

# 1220 Oakmead Parkway

Sunnyvale, California



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A0.0**



# 1220 Oakmead Parkway

## Sunnyvale, California

PROJECT DATA

ADDRESS:	1220 OAKMEAD PARKWAY
ASSESSOR PARCEL NUMBER:	216-44-048
SITE AREA:	0.93 ACRES (40,314 SF)
ZONING:	M-S
EXISTING USE:	VACANT COMMERCIAL
PROPOSED USE:	HOTEL
GUEST ROOMS PROPOSED:	152 ROOMS
STORIES ALLOWED:	8 STORIES
STORIES PROPOSED:	6 STORIES + BASEMENT
HEIGHT ALLOWED:	75 FEET
HEIGHT PROPOSED:	75 FEET
LOT COVERAGE ALLOWED:	45% (18,060 SF)
LOT COVERAGE PROPOSED:	43.5% (17,555 SF)
LANDSCAPED AREA:	23% (9,264 SF -SEE A2.0 FOR BREAKDOWN)
CONSTRUCTION TYPE:	IA (BASMENT GARAGE & 1ST FLOOR) IIIA (2ND THRU 6TH FLOOR)
PROPOSED TOTAL FLOOR AREA	91,845 SF (SEE A2.0 FOR BREAKDOWN)
OAKMEAD PKWY YARD REQUIRED:	35 FEET
LAKESIDE DR. YARD REQUIRED:	25 FEET
PARKING REQUIRED:	122 SPACES (0.8 SPACES PER ROOM)
PARKING PROPOSED:	93 SPACES (0.6 SPACES PER ROOM)
GARAGE PARKING:	80 SPACES
SURFACE PARKING:	13 SPACES
ACCESSIBLE PARKING:	4 SPACES
EV PARKING:	5 SPACES
TOTAL BICYCLE PARKING:	16 BIKES (13% > 5% REQ'D)
BICYCLE SHORT TERM:	8 BIKES
BICYCLE LONG TERM:	8 BIKES

VICINITY MAP



PROJECT DESCRIPTION

THIS PROJECT PROPOSES A NEW 6 STORY, 152 GUEST ROOM HOTEL ON THE APPROXIMATELY 0.93 ACRE SITE. THE SITE IS ZONED M-S AND A HOTEL USE IS ALLOWED WITH A USE PERMIT. THIS HOTEL WILL BE BRANDED. THE SPECIFIC BRAND IS YET TO BE DETERMINED.

PARKING FOR THE HOTEL IS PRIMARILY PROVIDED IN BELOW GRADE PARKING GARAGE. THERE ARE 13 SURFACE PARKING STALLS. THE PARKING RATIO IS BEING PROPOSED AS A REDUCTION WITH THE SUPPORT OF A TRAFFIC DEMAND MANAGEMENT PLAN AND PARKING ANALYSIS.

HOTEL AMENITIES INCLUDE A FITNESS ROOM, DINING AREA, BAR, MEETING FACILITIES, GREEN ROOFS TERRACES, COURTYARD, AND POOL.

SIGNS SHALL NOT BE PART OF THIS APPROVAL. SIGNS SHALL COMPLY WITH THE CITY'S SIGN ORDINANCE (SUNNYVALE MUNICIPAL CODE CHAPTER 19.44). SIGNS ARE SHOWN FOR REFERENCE AND WILL BE UNDER A SEPARATE SUBMITTAL.

GUESTROOM DATA

FLOOR	KING	KING ADA	DBLE QUEEN	DBLE QUEEN ADA	1 BED	TOTAL
2ND FLOOR	16 ROOMS	1 ROOM	11 ROOMS	1 ROOM	-	29 ROOMS
3RD FLOOR	19 ROOMS	1 ROOM	11 ROOMS	1 ROOM	-	32 ROOMS
4TH FLOOR	19 ROOMS	1 ROOM	12 ROOMS	-	-	32 ROOMS
5TH FLOOR	19 ROOMS	1 ROOM	12 ROOMS	-	-	32 ROOMS
6TH FLOOR	14 ROOMS	1 ROOM	11 ROOMS	-	1 ROOM	27 ROOMS
TOTALS	87	5	57	2	1	152 ROOMS

PROJECT DIRECTORY

**OWNER**  
BPR PROPERTIES  
953 INDUSTRIAL AVE. SUITE 100  
PALO ALTO, CA 94303  
ATTN: PERRY PATEL  
PHONE: (510) 912-8740  
EMAIL: PPATEL@BPRPROPERTIES.COM

**ARCHITECT**  
ARRIS STUDIO ARCHITECTS  
1327 ARCHER STREET, SUITE 220  
SAN LUIS OBISPO, CA 93401  
ATTN: ADRIANA COOK  
PHONE: (805) 547-2240 x113  
EMAIL: ADRIANA@ARRIS-STUDIO.COM

**CIVIL ENGINEER**  
RFE ENGINEERING, INC  
2260 DOUGLAS BLVD., SUITE 160  
ROSEVILLE, CA 95661  
ATTN: BOB EYNCK  
PHONE: (916) 772-7800  
EMAIL: REYNCK@RFEENGINEERING.COM

**LANDSCAPE ARCHITECT**  
FIRMA CONSULTANTS, INC.  
187 TANK FARM RD, STE 230  
SAN LUIS OBISPO, CA 93401  
ATTN: LINDSAY CORICA  
PHONE: (805) 781-9800  
EMAIL: LINDSAY@FIRMACONSULTANTS.COM

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C4	PRELIMINARY WATER & SANITARY SEWER PLAN
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C6	PRELIMINARY STORMWATER QUALITY CONTROL PLAN
C7	PRELIMINARY DEMOLITION PLAN

1	TOPOGRAPHIC SURVEY
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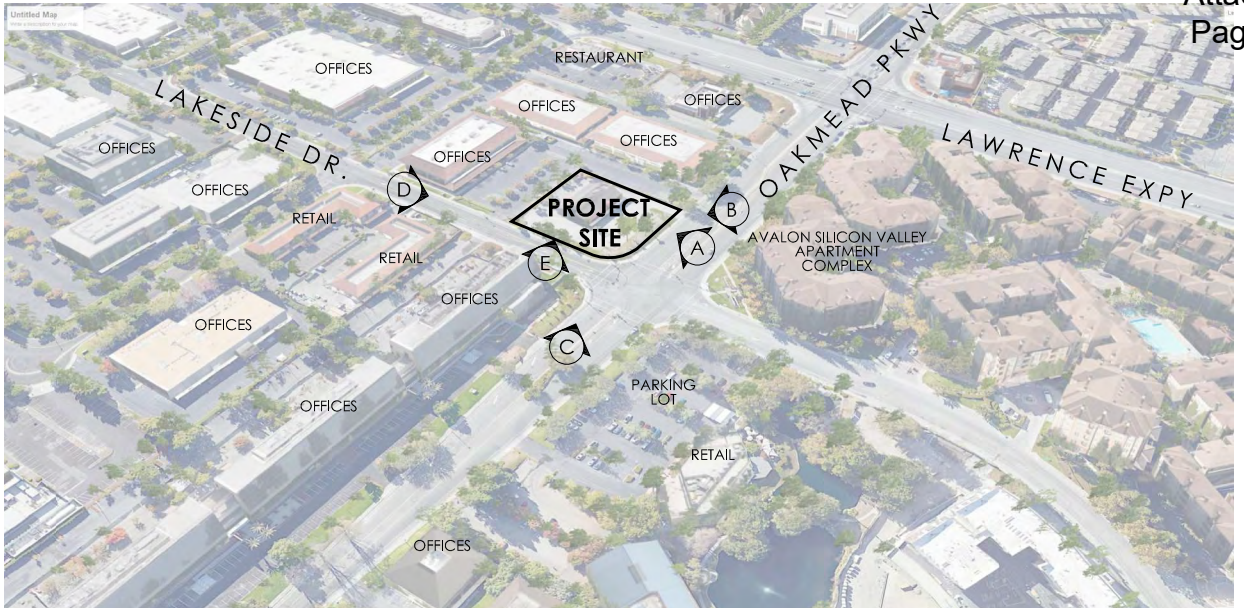
LANDSCAPE SHEETS	
L1	SCHEMATIC LANDSCAPE PLAN
L2	SCHEMATIC SHADING EXHIBIT
L3	SCHEMATIC LANDSCAPE PLAN - GREEN ROOF



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**(B) VIEW AT CORNER OF OAKMEAD PKWY AND LAKESIDE DR**



**(D) VIEW OF ADJACENT OFFICES ON LAKESIDE DRIVE**



**(C) VIEW AT CORNER OF OAKMEAD PKWY AND LAKESIDE DR**



**(E) VIEW OF EXISTING SITE & ADJACENT PROPERTY**

**CONTEXTUAL SITE PHOTOS**



GREEN BUILDING PROGRAM FOR NON-RESIDENTIAL PER THE CITY OF SUNNYVALE:

>30,000 S.F. CALGREEN MANDATORY MEASURES (RESIDENTIAL FOR HOTEL) AND LEED GOLD LEVEL WITH USGBC CERTIFICATION, INCLUDING DESIGN PHASE CREDITS REVIEWED AND APPROVED BY USGBC.

PROJECTS CAN INCREASE FAR BY 10% OR HEIGHT BY 10' ACHIEVING:  
LEED GOLD LEVEL WITH USGBC CERTIFICATION THAT ACHIEVES AT LEAST 75 TOTAL POINTS WITH DESIGN PHASE CREDITS REVIEWED AND APPROVED BY USGBC **AND** ALL ARE ALL ELECTRIC (NO GAS LINE CONNECTION)

CALGREEN MANDATORY MEASURES (RESIDENTIAL) CHECKLIST:

4.106.4.3	NEW HOTEL AND MOTELS, EV SPACES CAPABLE OF SUPPORTING FUTURE INSTALL OF EVSE
4.201.1	COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION MANDATORY STANDARDS
4.303.1.1	WATER CLOSETS. EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH
4.303.1.2	URINALS. THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH
4.303.1.3	SHOWERHEADS. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI.
4.303.1.4	FAUCETS. RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI. METERING FAUCETS INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI.
4.303.2	STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER THE CALIFORNIA PLUMBING CODE.
4.304.1	OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO)
4.305.1	RECYCLED WATER SUPPLY SYSTEMS. NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED.
4.406.1	RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS.
4.410.1	OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
4.503.3	MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
4.504.1	COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
4.504.2	FINISH MATERIAL POLLUTANT CONTROL. ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. PAINTS AND COATINGS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOE LIMITS. AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. VERIFICATION. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOE LIMIT FINISH MATERIALS HAVE BEEN USED.

4.504.3	CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: <div><div>1. CARPET AND RUG LNSTITUTE'S GREEN LABEL PLUS PROGRAM.</div><div>2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)</div><div>3. NSFI ANSI 140 AT THE GOLD LEVEL.</div><div>4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGETM GOLD.</div></div> <div>4.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.</div> <div>4.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.</div>
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4.504.4	RESILIENT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS IN STALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: <div><div>1. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.</div><div>2. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN &amp; SCHOOLS PROGRAM).</div><div>3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.</div></div> <div>4.MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 201 0 (ALSO KNOWN AS SPECIFICATION 01350).</div>
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4.504.5	COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONT ROL MEASURE FOR COMPOSI TE WOOD (17 CCR 93J20 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTION S, AS SHOWN IN TABLE 4.504.5.
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4.505.2	CONCRETE SLAB FOUNDATIONS. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.
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4.507.2	HEATING AND AIR-CONDITIONING SYSTEM DESI GN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: <div><div>1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.</div><div>2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.</div><div>3. 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING</div><div>4. TO ANSI/ACCA 3 MANUAL 5-2014 OR EQUIVALENT.</div><div>5.</div></div>
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702.1	INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
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702.2	SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
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703.1	DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.
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1220 Oakmead Parkway

Sunnyvale, CA

DATE: JUNE 23, 2022

SCALE: N.T.S.

SHEET: A1.2



**LEED v4 for BD+C: New Construction and Major Renovation**  
Project ChecklistProject Name: **1220 Oakmead Parkway, Sunnyvale, CA**  
Date: **05/06/2022**Y ? N  

Credit Integrative Process

1

14	0	0	Location and Transportation	16
			Credit LEED for Neighborhood Development Location	16
1			Credit Sensitive Land Protection	1
			Credit High Priority Site	2
5			Credit Surrounding Density and Diverse Uses	5
5			Credit Access to Quality Transit	5
1			Credit Bicycle Facilities	1
1			Credit Reduced Parking Footprint	1
1			Credit Green Vehicles	1

8	0	0	Sustainable Sites	10
Y			Prereq Construction Activity Pollution Prevention	Required
1			Credit Site Assessment	1
			Credit Site Development - Protect or Restore Habitat	2
1			Credit Open Space	1
3			Credit Rainwater Management	3
2			Credit Heat Island Reduction	2
1			Credit Light Pollution Reduction	1

9	0	0	Water Efficiency	11
Y			Prereq Outdoor Water Use Reduction	Required
Y			Prereq Indoor Water Use Reduction	Required
Y			Prereq Building-Level Water Metering	Required
2			Credit Outdoor Water Use Reduction	2
6			Credit Indoor Water Use Reduction	6
			Credit Cooling Tower Water Use	2
1			Credit Water Metering	1

0	0	0	Energy and Atmosphere	33
Y			Prereq Fundamental Commissioning and Verification	Required
Y			Prereq Minimum Energy Performance	Required
Y			Prereq Building-Level Energy Metering	Required
Y			Prereq Fundamental Refrigerant Management	Required
			Credit Enhanced Commissioning	6
			Credit Optimize Energy Performance	18
			Credit Advanced Energy Metering	1
			Credit Demand Response	2
			Credit Renewable Energy Production	3
			Credit Enhanced Refrigerant Management	1
			Credit Green Power and Carbon Offsets	2

2	0	0	Materials and Resources	13
Y			Prereq Storage and Collection of Recyclables	Required
Y			Prereq Construction and Demolition Waste Management Planning	Required
			Credit Building Life-Cycle Impact Reduction	5
			Credit Building Product Disclosure and Optimization - Environmental Product Declarations	2
			Credit Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
			Credit Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit Construction and Demolition Waste Management	2

16	0	0	Indoor Environmental Quality	16
Y			Prereq Minimum Indoor Air Quality Performance	Required
Y			Prereq Environmental Tobacco Smoke Control	Required
2			Credit Enhanced Indoor Air Quality Strategies	2
3			Credit Low-Emitting Materials	3
1			Credit Construction Indoor Air Quality Management Plan	1
2			Credit Indoor Air Quality Assessment	2
1			Credit Thermal Comfort	1
2			Credit Interior Lighting	2
3			Credit Daylight	3
1			Credit Quality Views	1
1			Credit Acoustic Performance	1

0	0	0	Innovation	6
			Credit Innovation	5
			Credit LEED Accredited Professional	1

3	0	0	Regional Priority	4
1			Credit Regional Priority: Specific Credit	1
1			Credit Regional Priority: Specific Credit	1
1			Credit Regional Priority: Specific Credit	1
			Credit Regional Priority: Specific Credit	1

52	0	0	TOTALS	Possible Points: 110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110				

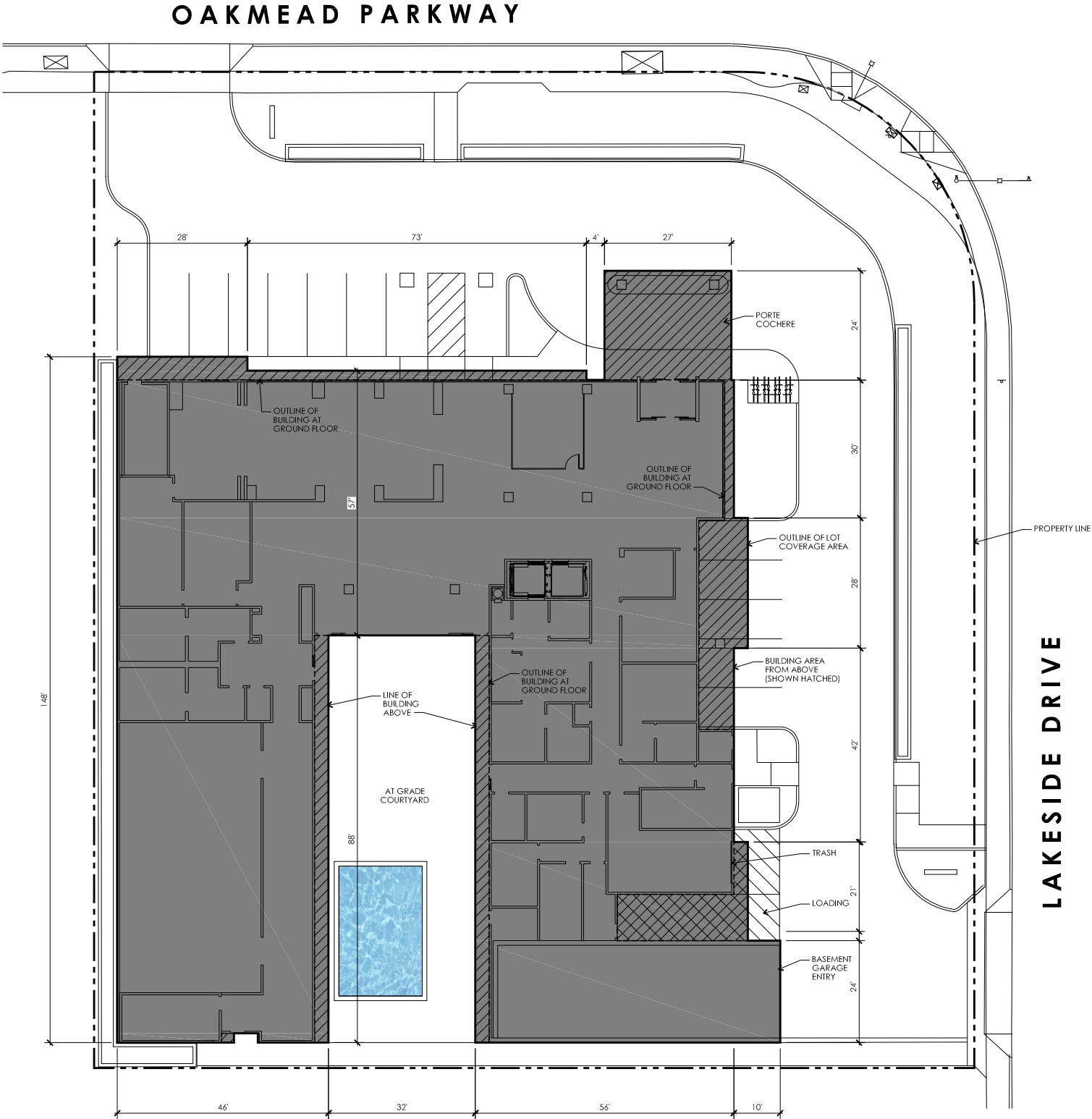
**LEED AP VERIFICATION**REBECCA NEWMAN  
LEED AP - GBCI# 0010226842  
ARRIS STUDIO ARCHITECTS  
(805) 547-2240 EXT. 122  
EMAIL: REBECCA@ARRIS-STUDIO.COM**LEED CHECKLIST**1220 Oakmead Parkway  
Sunnyvale, CADate: JUNE 23, 2022  
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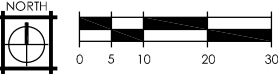
LOT COVERAGE CALCULATIONS

SITE AREA:	0.93 ACRES (40,314 SF)
LOT COVERAGE ALLOWED:	45% (18,060 SF)
LOT COVERAGE PROPOSED:	43.5% (17,555 SF)
(ENTIRE SHADED AREA*)	

\*HATCH REPRESENTS OVERHANGING AREAS FROM UPPER FLOORS.  
THIS IS INCLUDED IN THE OVERALL LOT COVERAGE AREA.



LOT COVERAGE DIAGRAM



1220 Oakmead Parkway  
Sunnyvale, CA



FIRE PREVENTION NOTE

- A. THE PROPOSED PROJECT WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.
- B. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW (FLOW, PRESSURE & DURATION) FOR FIRE PROTECTION AND FIREFIGHTING OPERATIONS SHALL BE PROVIDED TO THE PREMISES VIA A SEPARATE FIRE SERVICE MAIN PER CFC SECTION 507. ESD WILL CONFIRM IS HYDRAULIC MODELING IS REQUIRED. FIRE FLOW REQUIREMENTS FOR THIS PROJECT IS 2,906 GPM OUT OF 3 HYDRANTS FOR 2 HOURS. A FIRE PUMP, IF REQUIRED TO MEET DEMAND OF THE WATER BASED FIRE PROTECTION SYSTEM DESIGN, SHALL BE INSTALLED PER CFC SECTION 913 AND NFPA 20.

FLOOR AREA CALCULATION

1ST FLOOR	14,110 SF
2ND FLOOR	15,887 SF
3RD FLOOR	15,887 SF
4TH FLOOR	15,887 SF
5TH FLOOR	15,887 SF
6TH FLOOR	14,187 SF
<b>TOTAL</b>	<b>91,845 S.F.</b>

BASEMENT PARKING GARAGE 31,210 S.F.

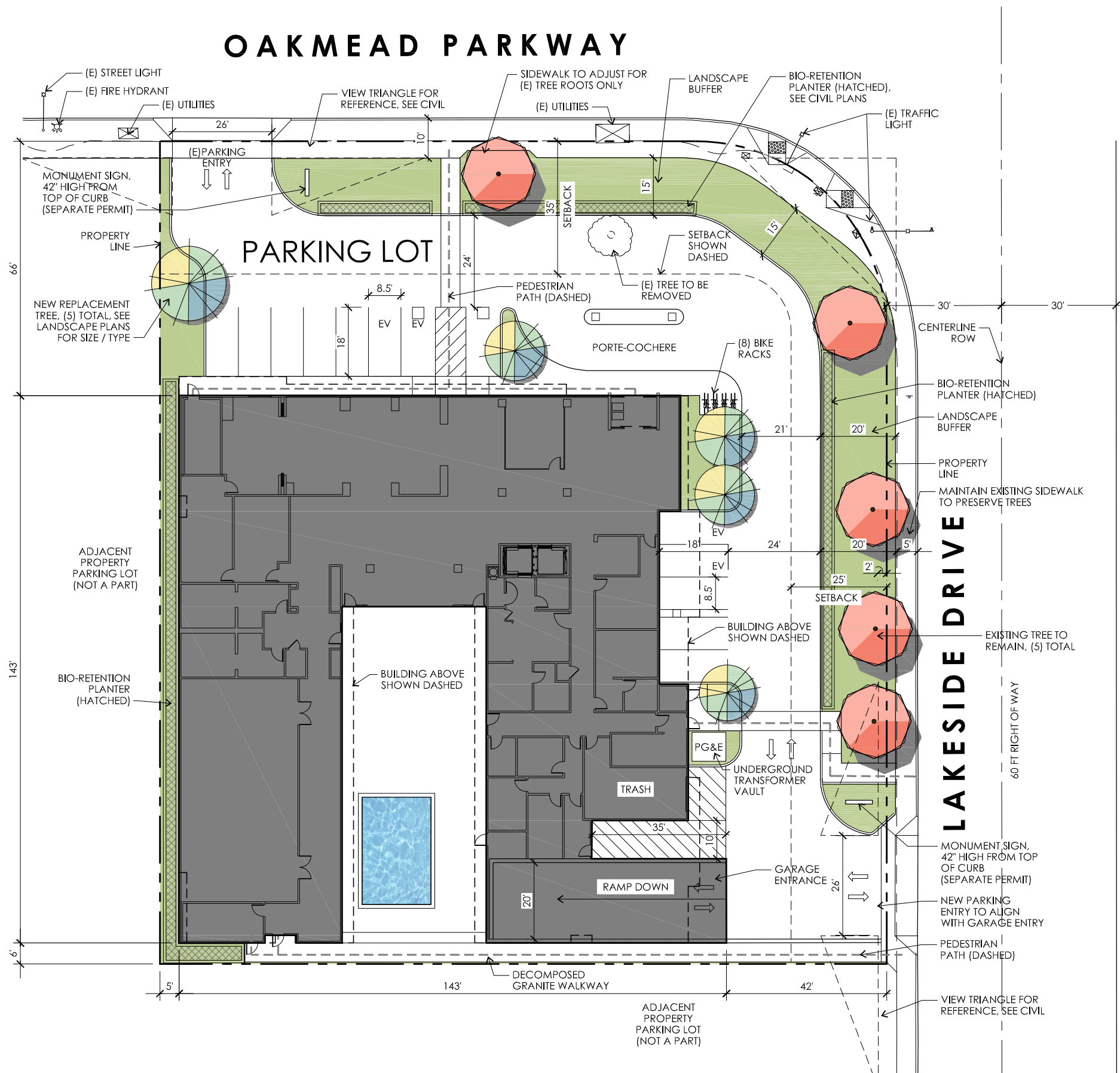
SITE AREA: 40,314 SF (0.93 ACRES)

LANDSCAPE AREAS

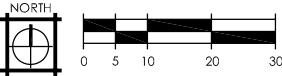
TOTAL AREA	91,845 S.F.
REQUIRED LANDSCAPING	<b>9,185 S.F. (10%)</b>

LANDSCAPING BREAKDOWN:

STREET FRONTAGE	4,593 S.F.
SOUTH/WEST PROPERTY LINE	1,220 S.F.
ADJACENT TO BUILDING	628 S.F.
GROUND FLOOR COURTYARD	220 S.F.
2ND FLR GREEN ROOF/TERRACE	570 S.F.
PORTE COCHERE GREEN ROOF	610 S.F.
PARKING GARAGE GREEN ROOF	193 S.F.
6TH FLR GREEN ROOF/TERRACE	1,230 S.F.
<b>TOTAL PROVIDED LANDSCAPING</b>	<b>9,264 S.F.</b>



PROPOSED OVERALL SITE PLAN





1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1" = 30' @ 11x17  
Sheet: 1" = 15' @ 24x36

**A2.0**



SOLID WASTE CALCULATION

A.	BUILDING SIZE	152 GUEST ROOMS
B.	PROJECTED WASTE	0.13 CYD
C.	WEEKLY VOLUME	20 CYD

A.	KITCHEN/DINING S.F.	5,250
B.	PROJECTED WASTE	0.003 CYD
C.	WEEKLY VOLUME	16 CYD

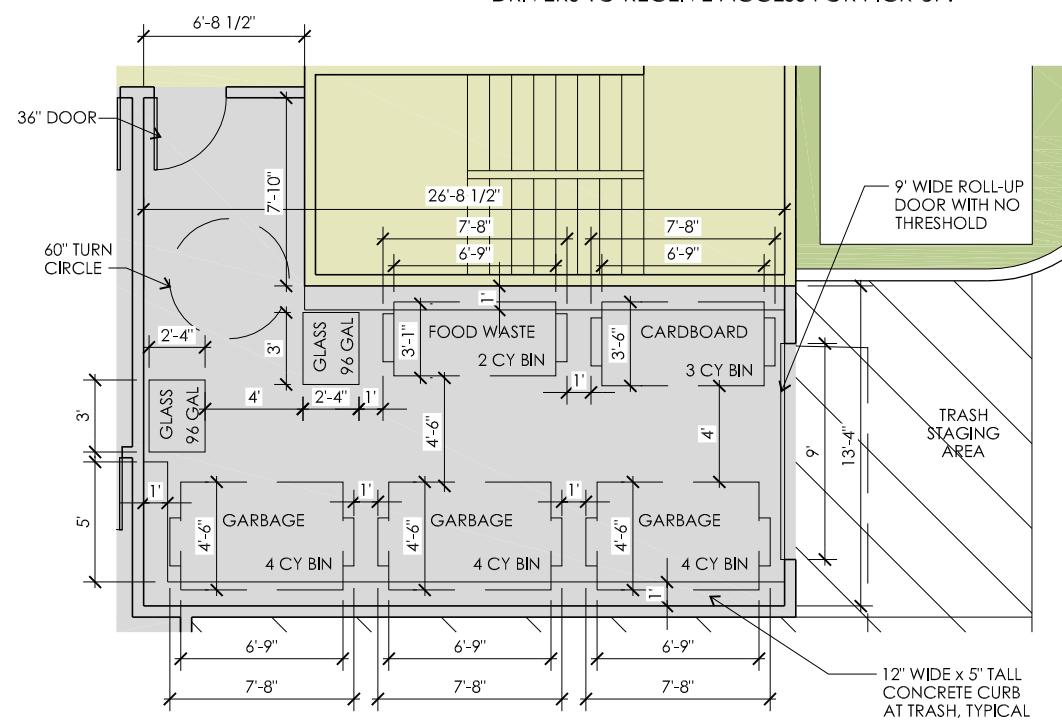
TOTAL WEEKLY VOLUME	36 CYD
DIVIDE BY 3 SERVICE DAYS	12 CYD/DAY
4 CY CONTAINERS	3 BINS

TOTAL CONTAINERS (SERVICED 3x A WEEK):  
(3) 4 CY GARBAGE BIN  
(1) 3 CY CARDBOARD BIN  
(1) 2 CY FOOD WASTE BIN  
(2) 96 GAL CART FOR GLASS (OPERATED BY SJCC)

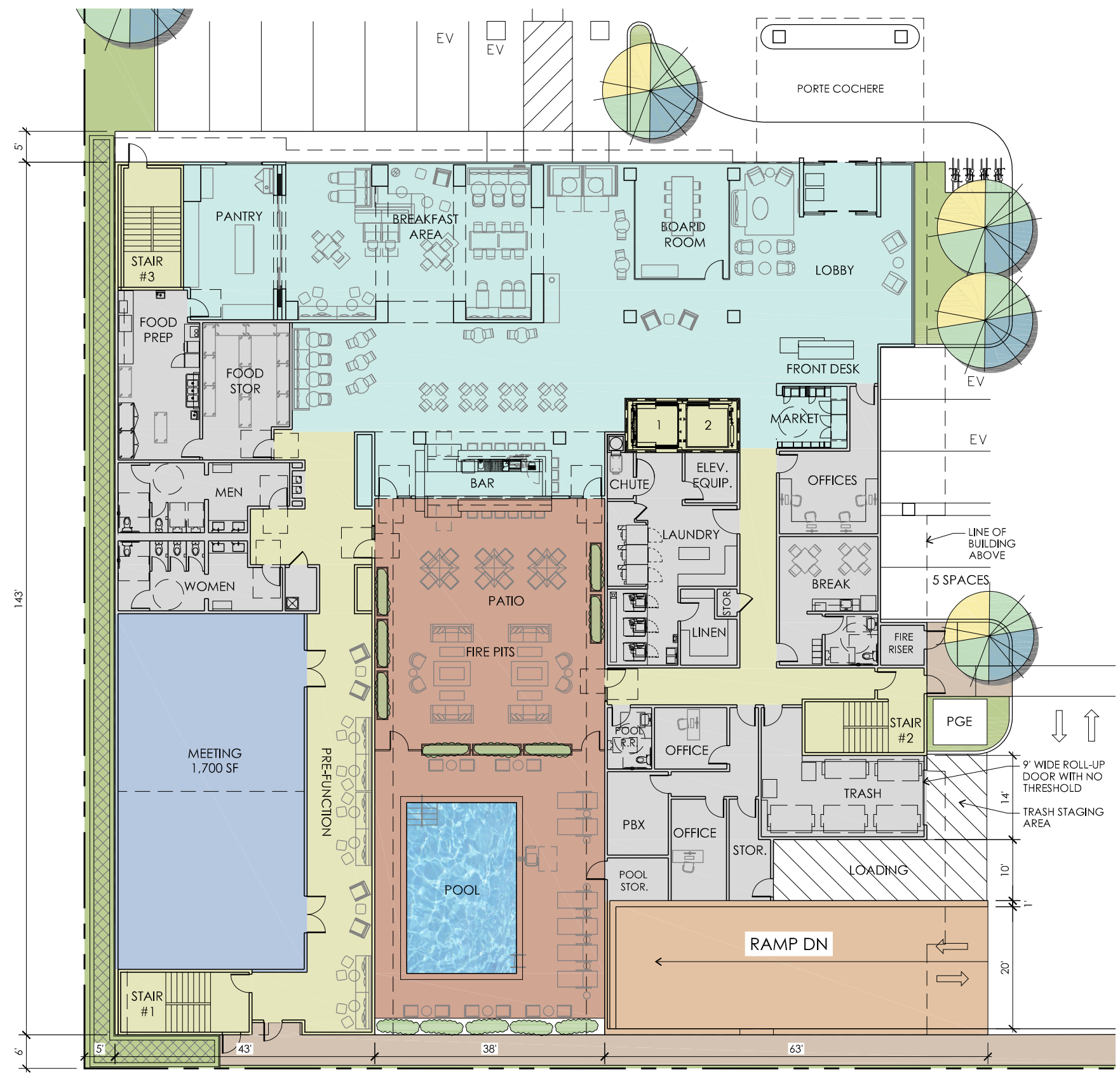
TRASH ROOM CEILING REQUIRED: 9'-2"

TRASH ROOM CEILING PROVIDED: 13'-9"

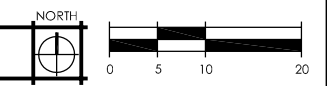
- TRASH NOTES:
1. WHEEL STOPS (POURED CEMENT 12" FROM INSIDE ENCLOSURE WALL OUTWARD, 5" HIGH
  2. SPRINKLER SYSTEM, NFPA-13
  3. MOTION-ACTIVATED LIGHTING
  4. MECHANICAL SYSTEM FOR ODOR CONTROL
  5. ROLL-UP DOOR TO BE PUSH BUTTON OPERATED FROM INTERIOR AND KEY CARD ACCESS ON EXTERIOR. DRIVERS TO RECEIVE ACCESS FOR PICK-UP.



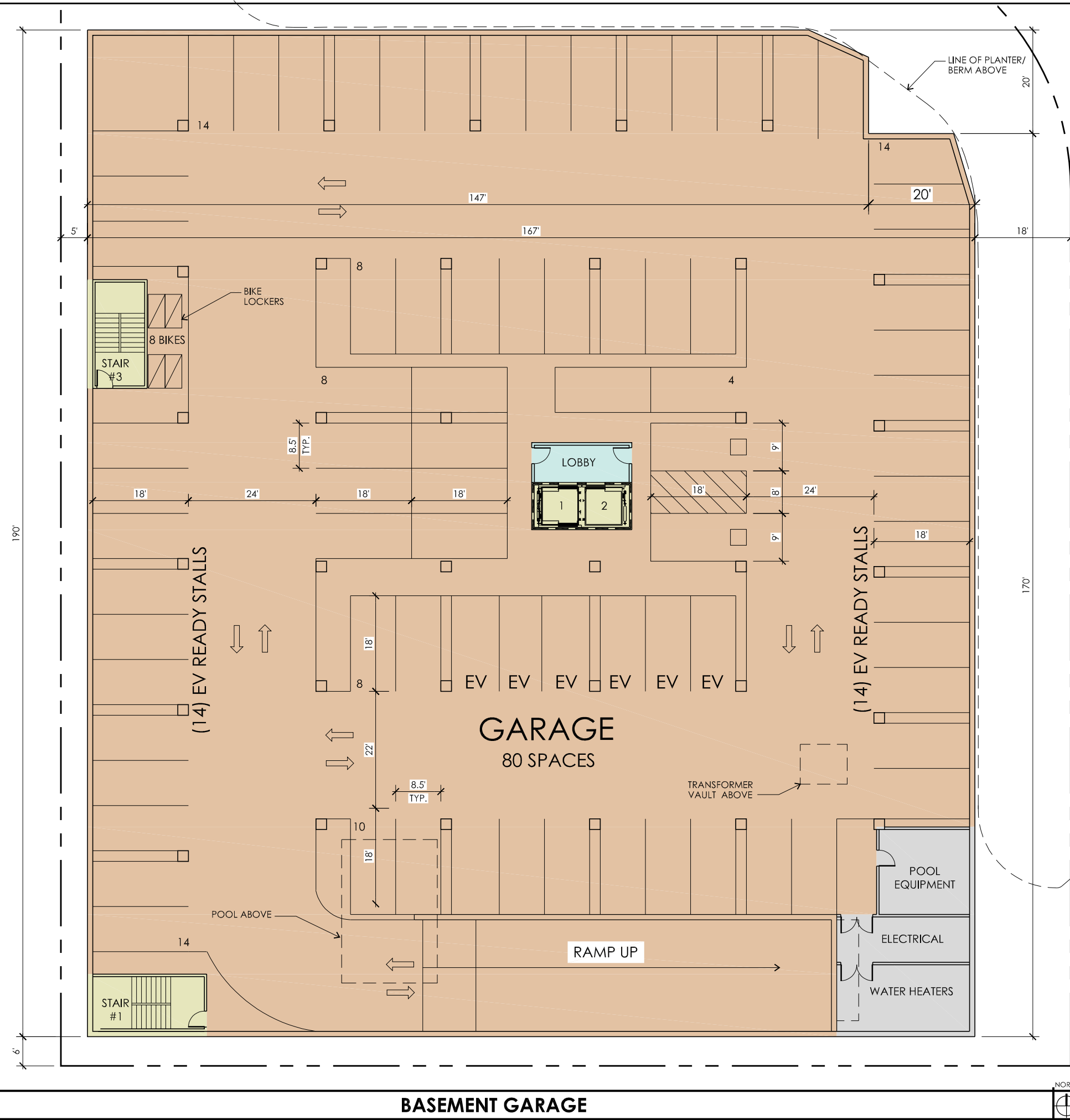
TRASH ROOM ENLARGED PLAN



FIRST FLOOR PLAN



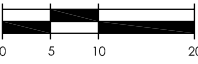








SECOND FLOOR PLAN



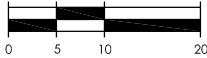
1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1" = 20' @ 11x17  
Sheet: 1" = 10' @ 24x36  
**A2.3**





THIRD THRU FIFTH FLOOR PLANS



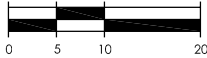
1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1" = 30' @ 11x17  
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**A2.4**





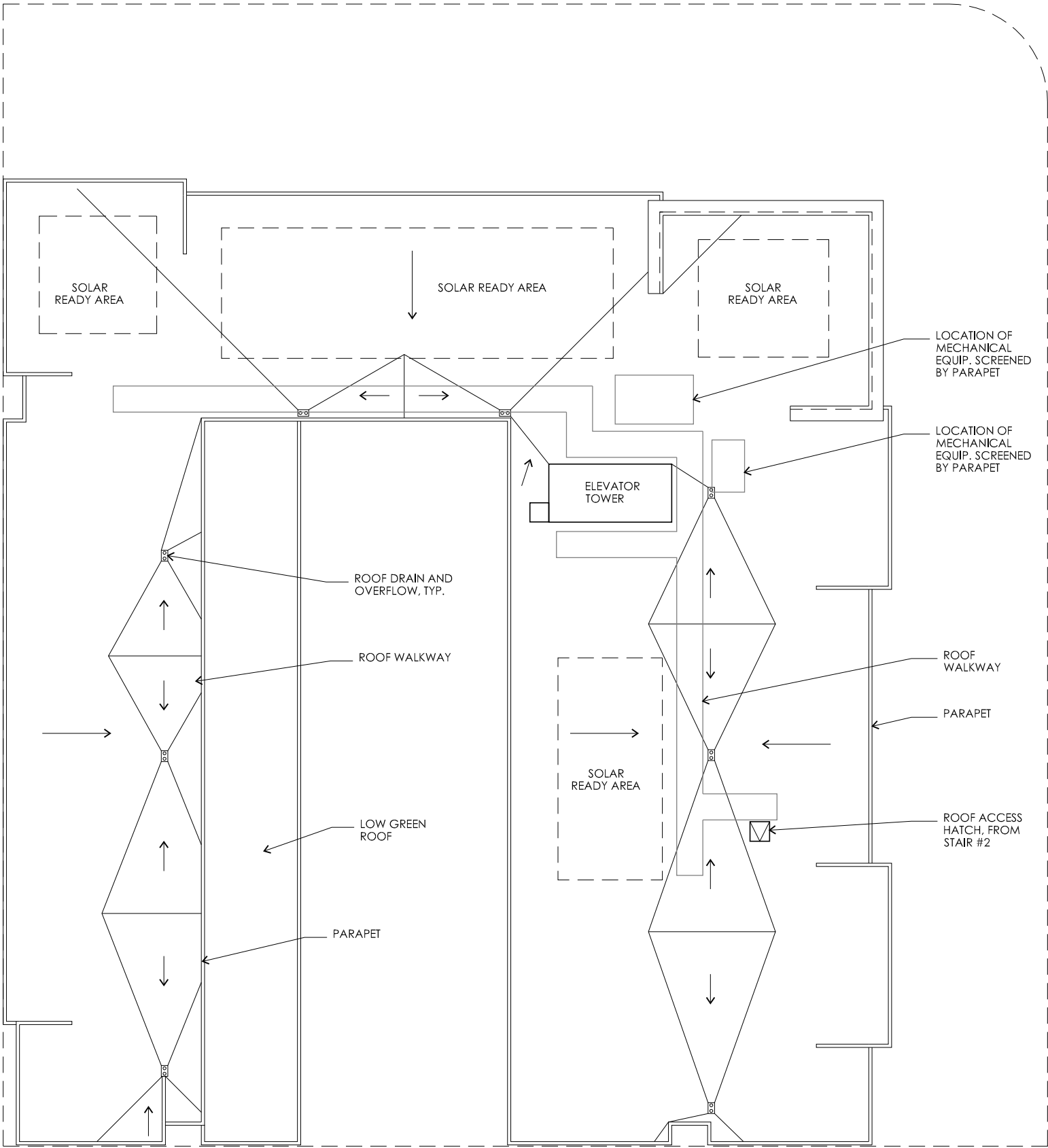
SIXTH FLOOR PLAN



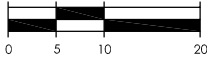
1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1" = 20' @ 11x17  
Sheet: 1" = 10' @ 24x36

A2.5



ROOF PLAN



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1" = 20' @ 11x17  
1" = 10' @ 24x36

Sheet  
**A2.6**





VIEW FROM CORNER OF OAKMEAD PARKWAY AND LAKESIDE DRIVE



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A3.0**





VIEW FROM OAKMEAD PARKWAY



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A3.1**





VIEW FROM LAKESIDE DRIVE



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A3.2**





VIEW OF POOL DECK



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A3.3**





NIGHTTIME RENDERING



1220 Oakmead Parkway  
Sunnyvale, CA

Date	JUNE 23, 2022
Scale	N.T.S.
Sheet	<b>A3.4</b>





LAKESIDE SIDEWALK PERSPECTIVE



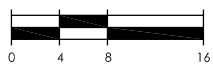
1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A3.5**



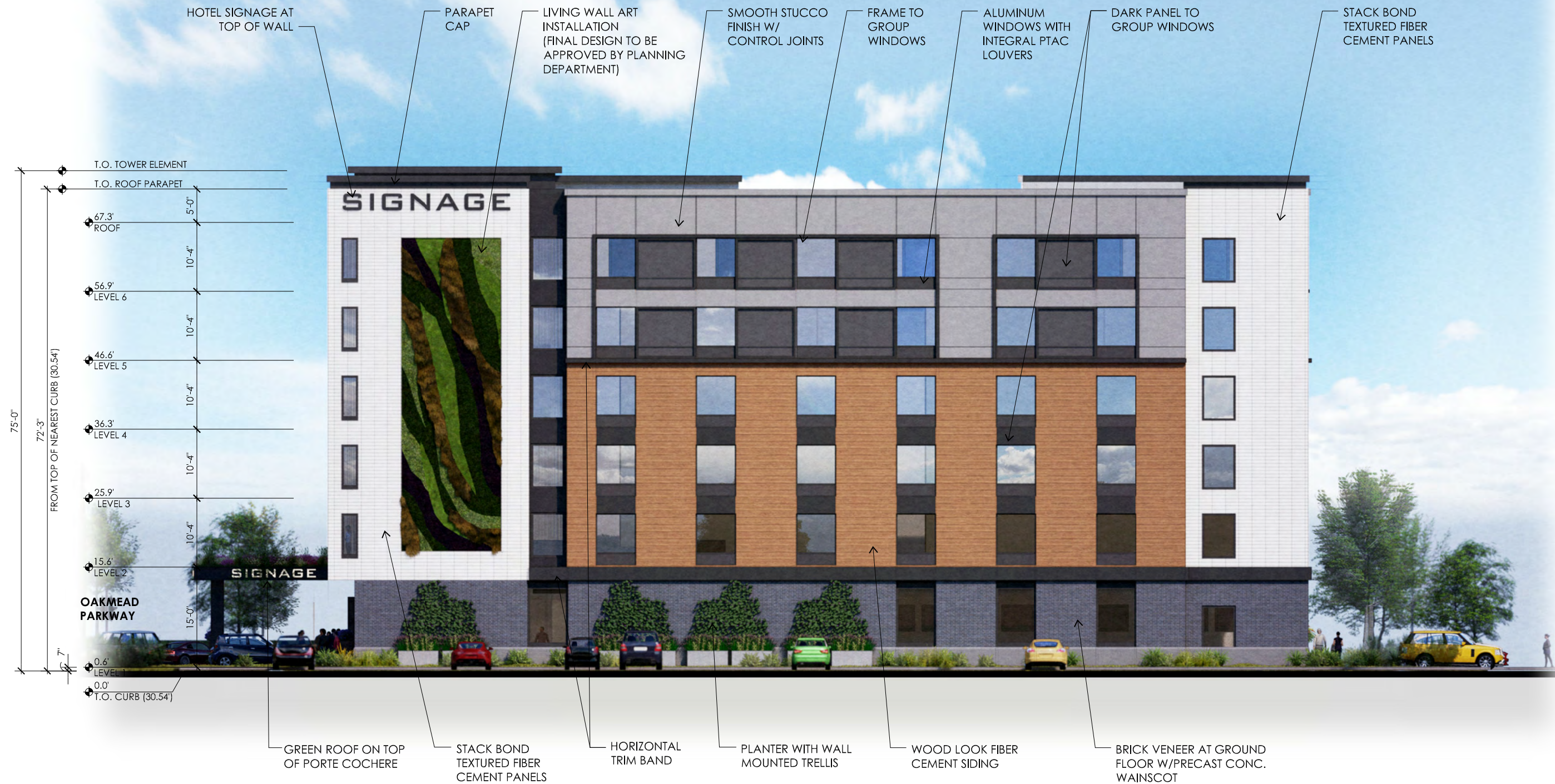


OAKMEAD PARKWAY ELEVATION (NORTH)

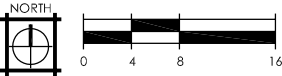



	1220 Oakmead Parkway Sunnyvale, CA		Date: JUNE 23, 2022
			Scale: 1/16" = 1' @ 11x17
			1/8" = 1' @ 24x36
			Sheet: <b>A4.0</b>





SIDE ELEVATION (WEST)

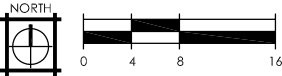



	1220 Oakmead Parkway Sunnyvale, CA		Date: JUNE 23, 2022
			Scale: 1/16" = 1' @ 11x17
			1/8" = 1' @ 24x36
			Sheet: <b>A4.1</b>





REAR ELEVATION (SOUTH)

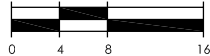


	1220 Oakmead Parkway Sunnyvale, CA		Date: JUNE 23, 2022
			Scale: 1/16" = 1' @ 11x17
			1/8" = 1' @ 24x36
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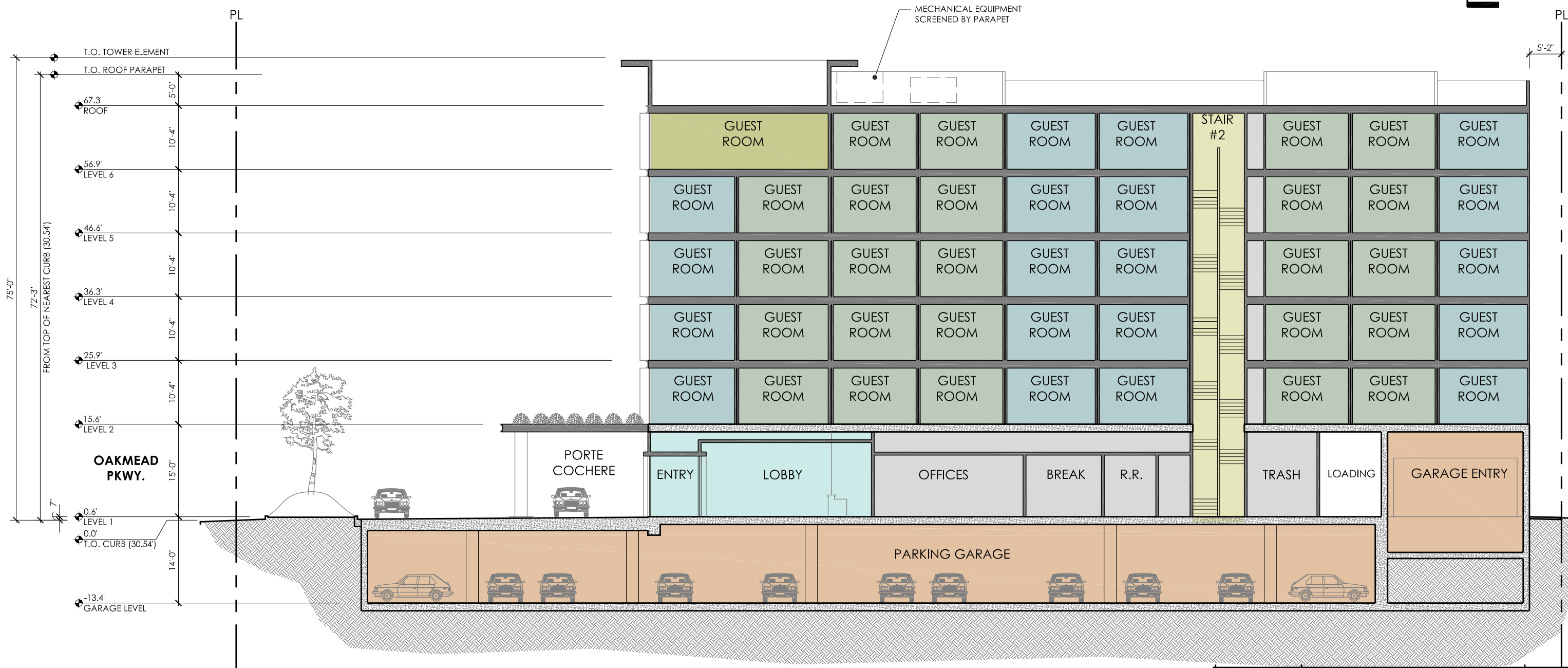
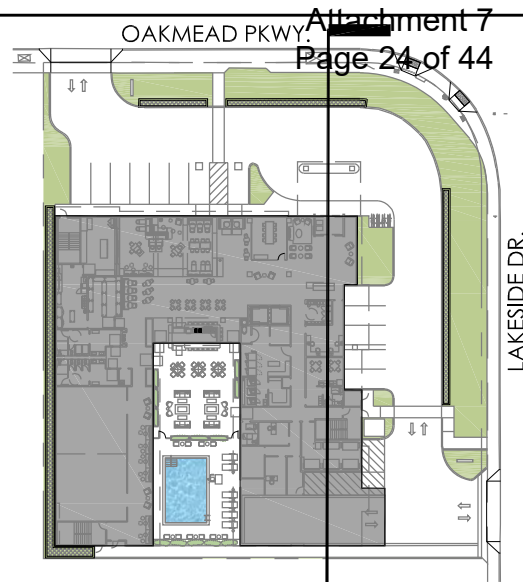
LAKESIDE DRIVE ELEVATION (EAST)



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1/16" = 1' @ 11x17  
1/8" = 1' @ 24x36  
Sheet: **A4.3**





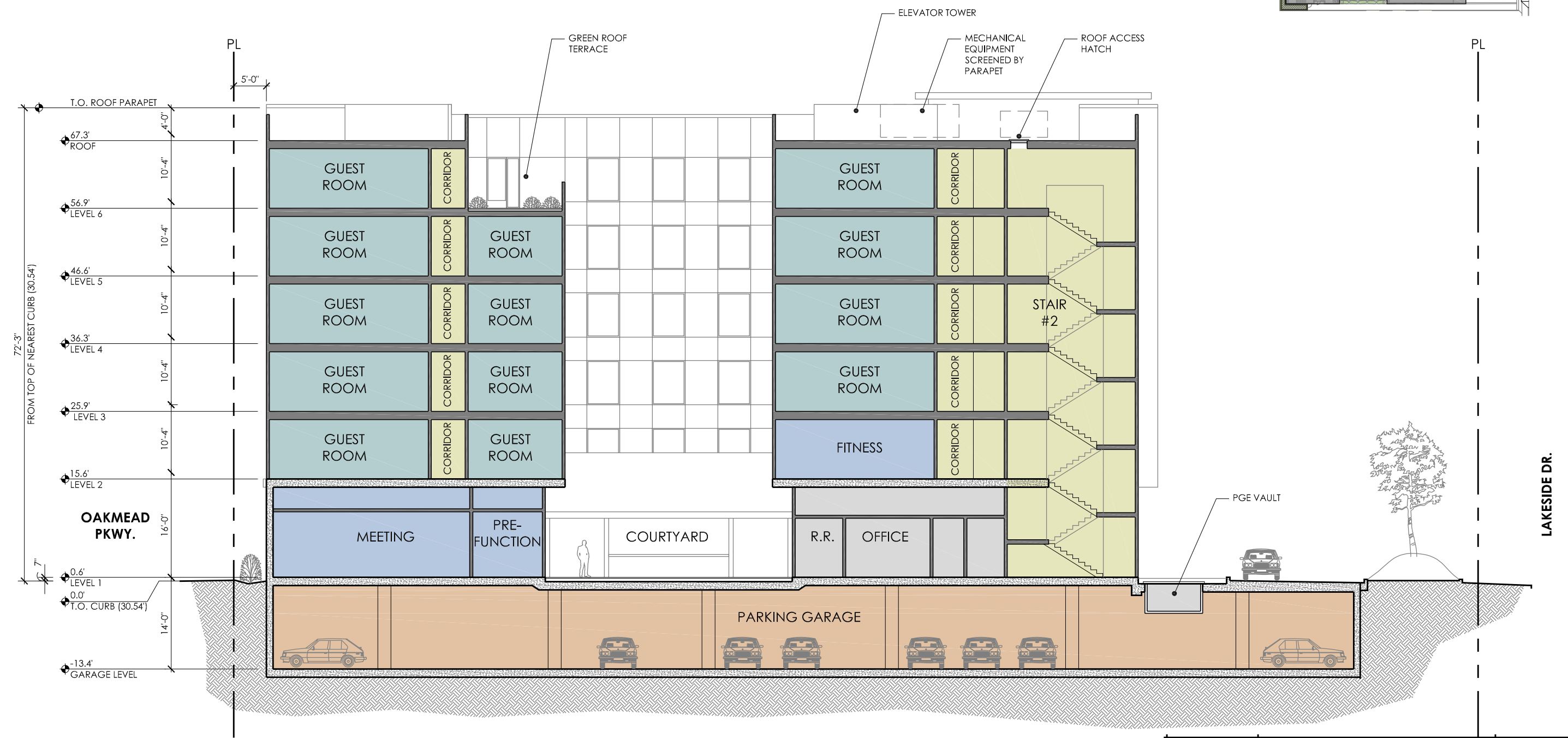
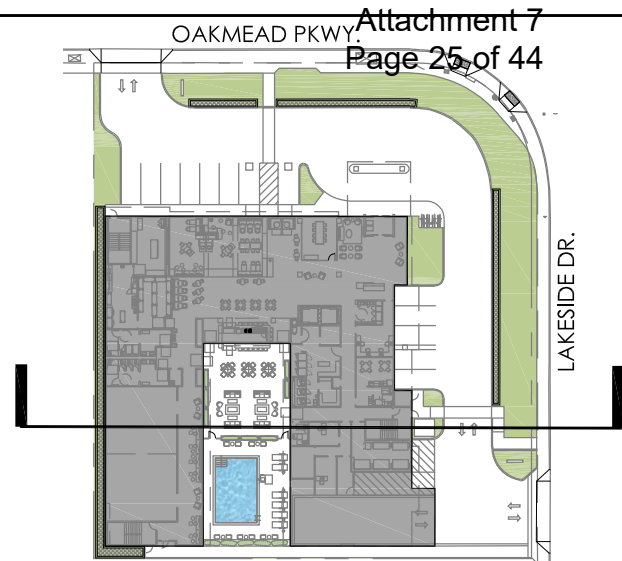
PROPOSED HOTEL SECTION 1



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1/16" = 1' @ 11x17  
1/8" = 1' @ 24x36  
Sheet: **A6.0**





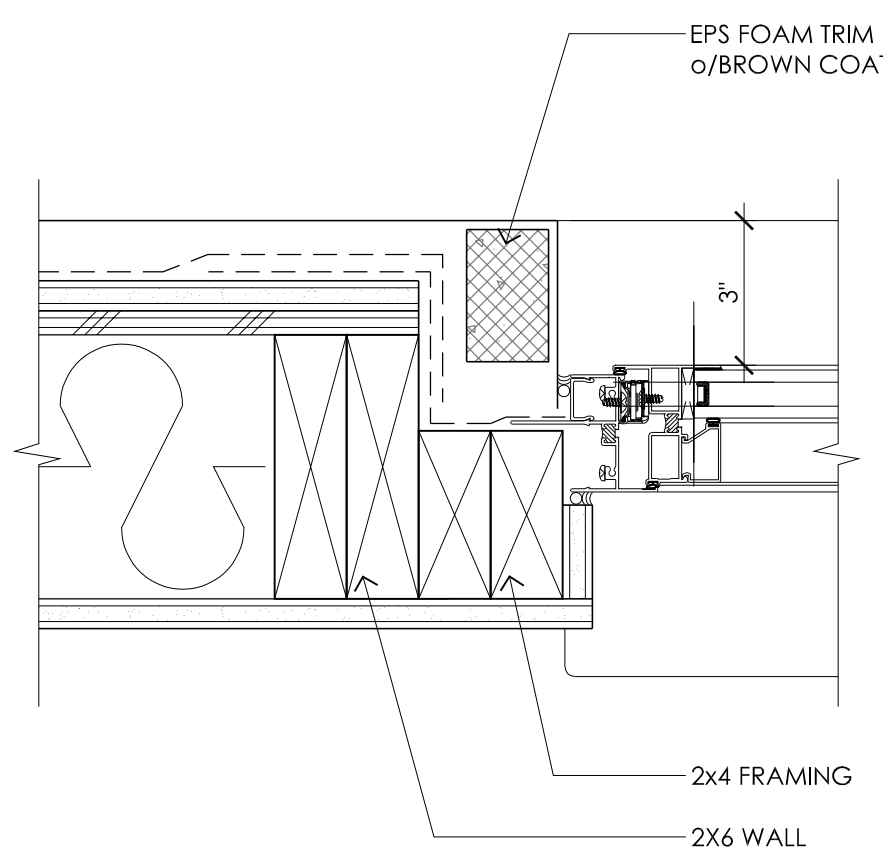
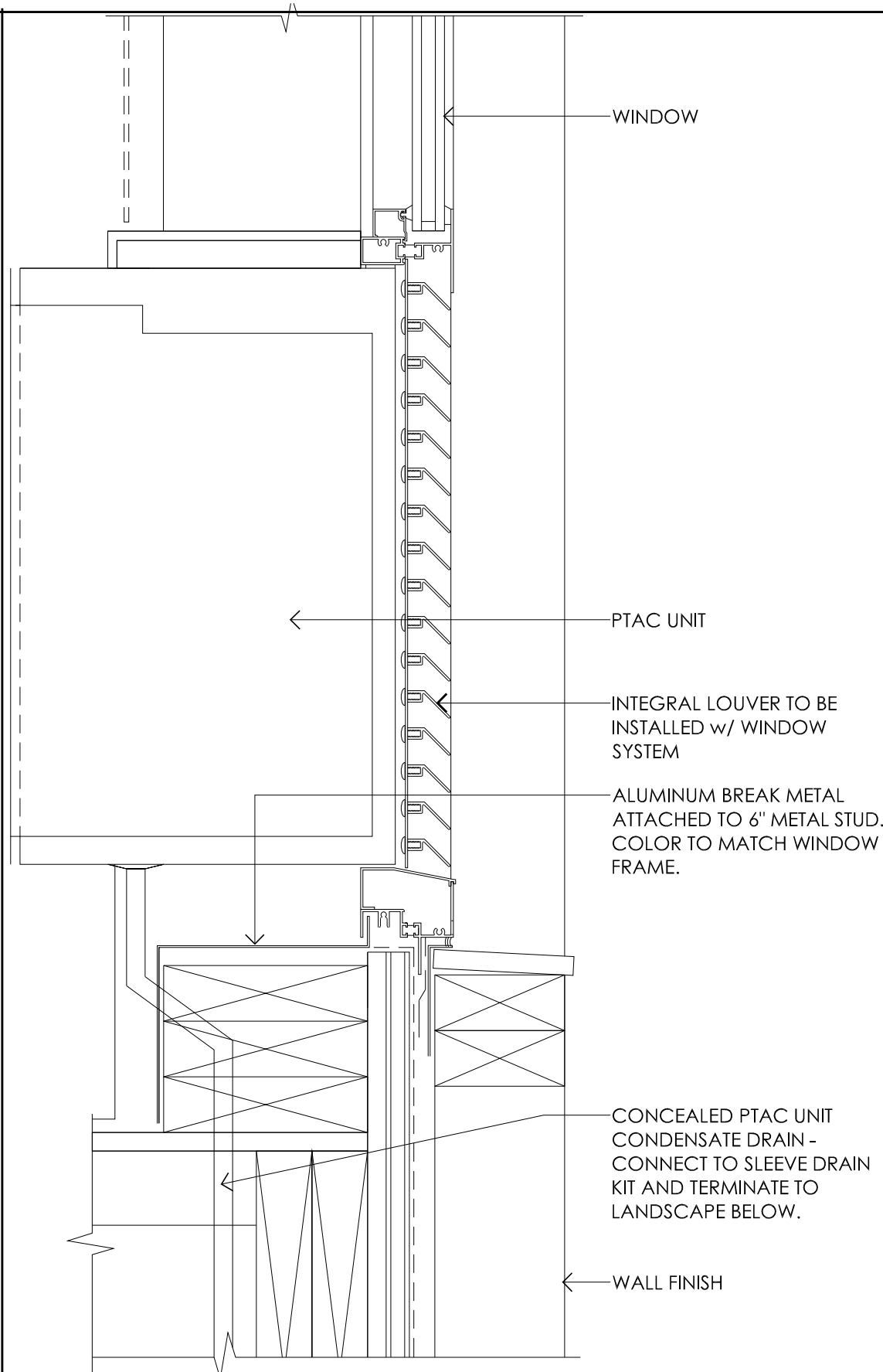
PROPOSED HOTEL SECTION 2



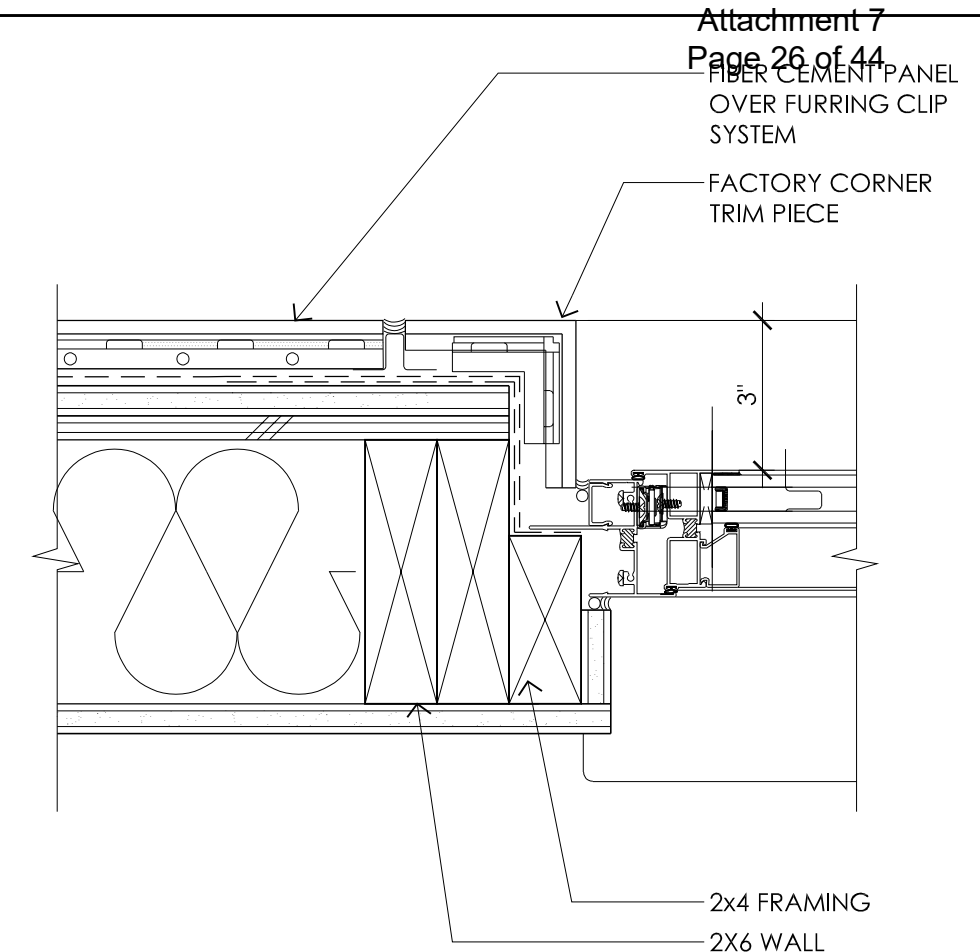
1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: 1/16" = 1' @ 11x17  
1/8" = 1' @ 24x36  
Sheet: **A6.1**





**WINDOW JAMB - STUCCO**  
3" = 1'-0"



**WINDOW JAMB - FIBER CEMENT**  
3" = 1'-0"



**INTEGRAL WINDOW AND LOUVER**

**INTEGRAL WINDOW AND LOUVER**  
3" = 1'-0"





**S-1**  
FIBER CEMENT SIDING  
NICHHA NOVENARY PANEL  
COLOR: OPAL



**W-1**  
FIBER CEMENT SIDING  
NICHHA  
VINTAGE WOOD: CEDAR



**C-1**  
PRECAST  
CONCRETE VENEER  
VERISTONE  
SMOKE GRAY FINE



**B-1**  
BRICK VENEER  
ENDICOTT  
FACE BRICK SERIES:  
DARK IRON SPOT



**P-1**  
PAINTED STUCCO  
BENJAMIN MOORE  
GULL WING GRAY; 2134-50



**P-2**  
PAINTED STUCCO  
BENJAMIN MOORE  
DEEP SILVER; 2124-30



**P-3**  
PAINTED STUCCO  
BENJAMIN MOORE  
WROUGHT IRON; 2124-10



**A-1**  
ALUMINUM WINDOWS & STOREFRONT  
DARK BRONZE ANODIZED  
(WINTech WINDOWS; KAWNEER STOREFRONT)

PROPOSED COLOR AND MATERIALS BOARD



1220 Oakmead Parkway  
Sunnyvale, CA

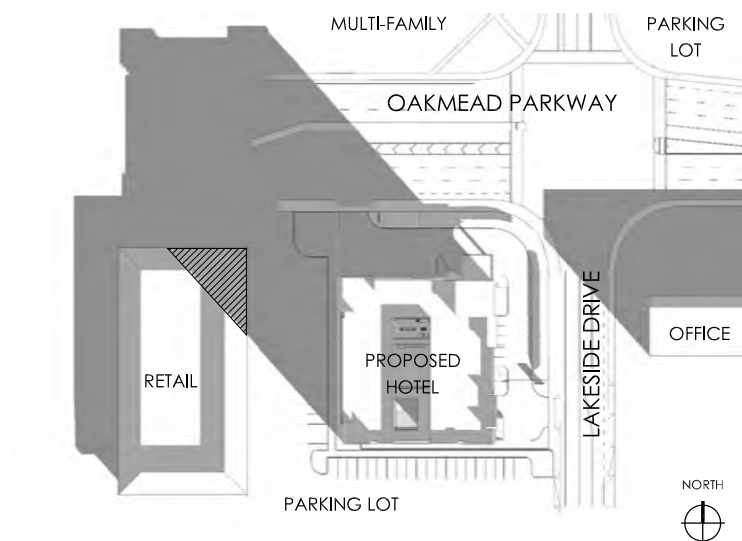
Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet: **A7.0**



WINTER SOLSTICE (DEC. 21)

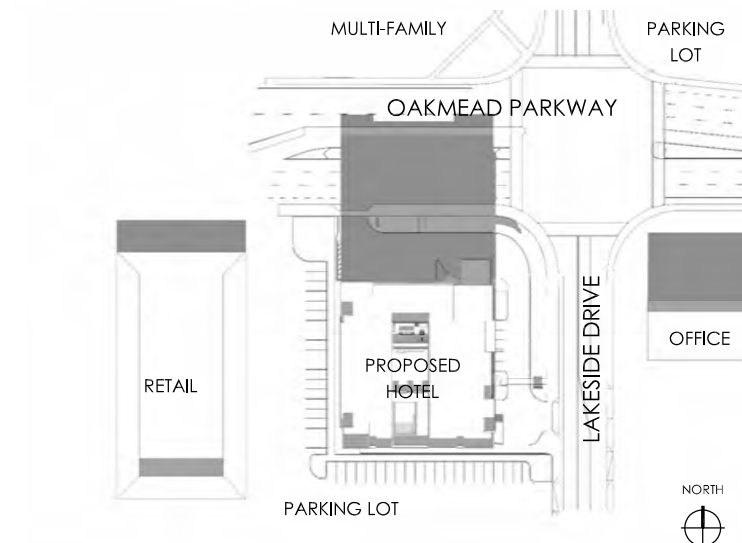
SPRING EQUINOX (MAR. 21)

SUMMER SOLSTICE (JUNE 21)

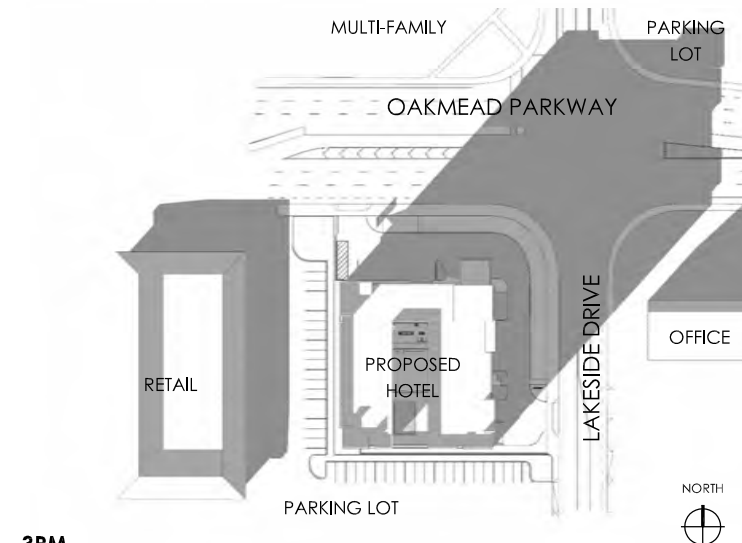


ONLY SHADOW CAST ON  
NEIGHBORING BUILDING IS  
9AM ON DECEMBER 21ST.  
SHADOW CAST BY OUR  
BUILDING ON NEIGHBORING  
ROOF SHOWN HATCHED.  
CUMULATIVE AREA = 2,320  
S.F. 9%<10%

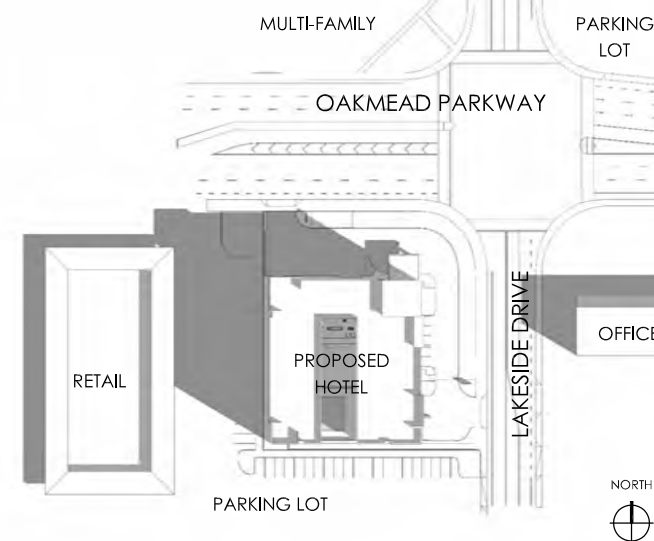
9AM



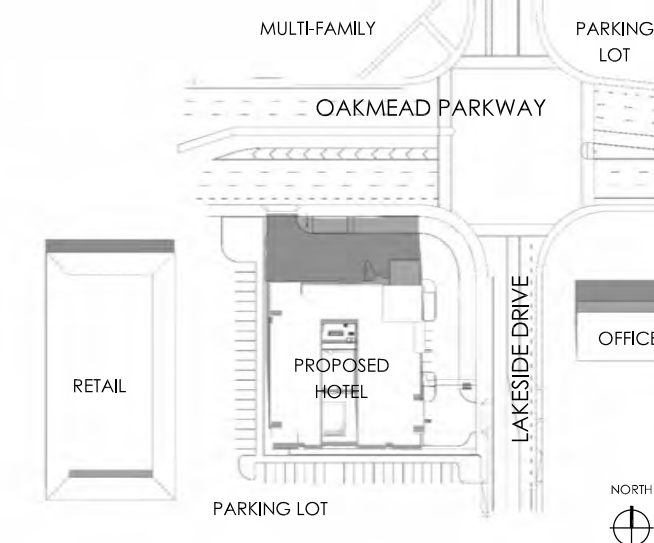
NOON



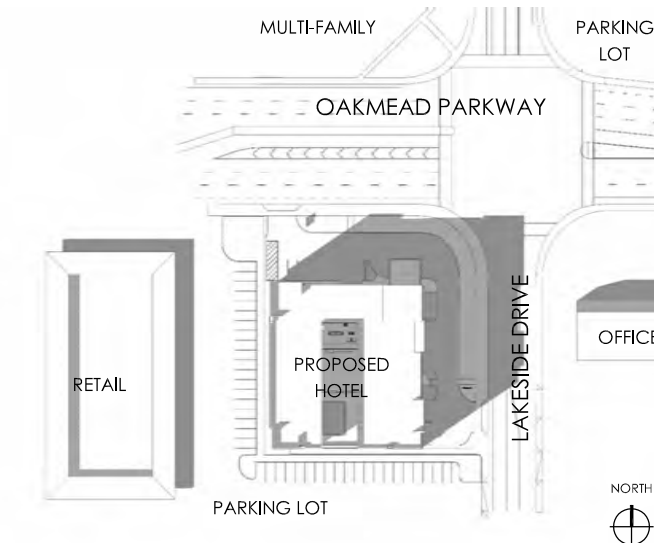
3PM



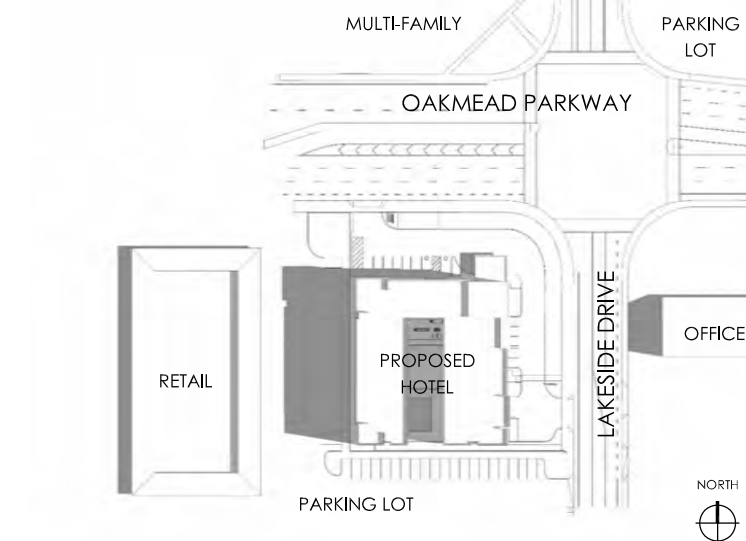
9AM



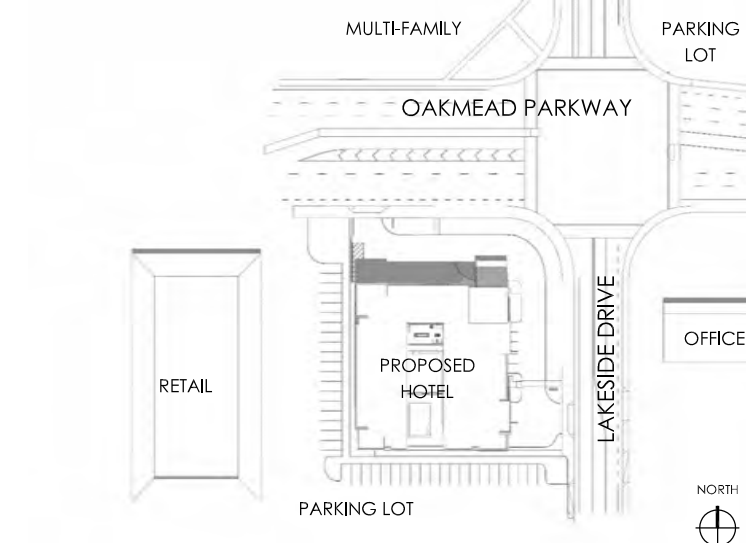
NOON



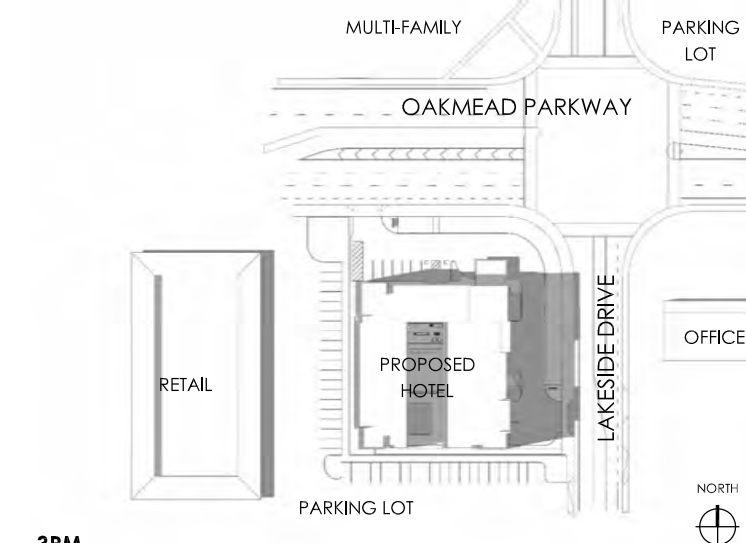
3PM



9AM



NOON



3PM

NOTE: PER SMC 19.56.020 SOLAR ENERGY SYSTEMS, THE SOLAR SHADING ANALYSIS SHALL SHOW THE EXTENT TO WHICH THE PROPOSED CONSTRUCTION WILL SHADE ADJACENT ROOF TOPS AND SOLAR COLLECTORS AT NINE AM AND THREE PM ON DECEMBER 21ST.

SOLAR SHADING STUDY



1220 Oakmead Parkway  
Sunnyvale, CA

Date: JUNE 23, 2022  
Scale: N.T.S.  
Sheet:

A8.0

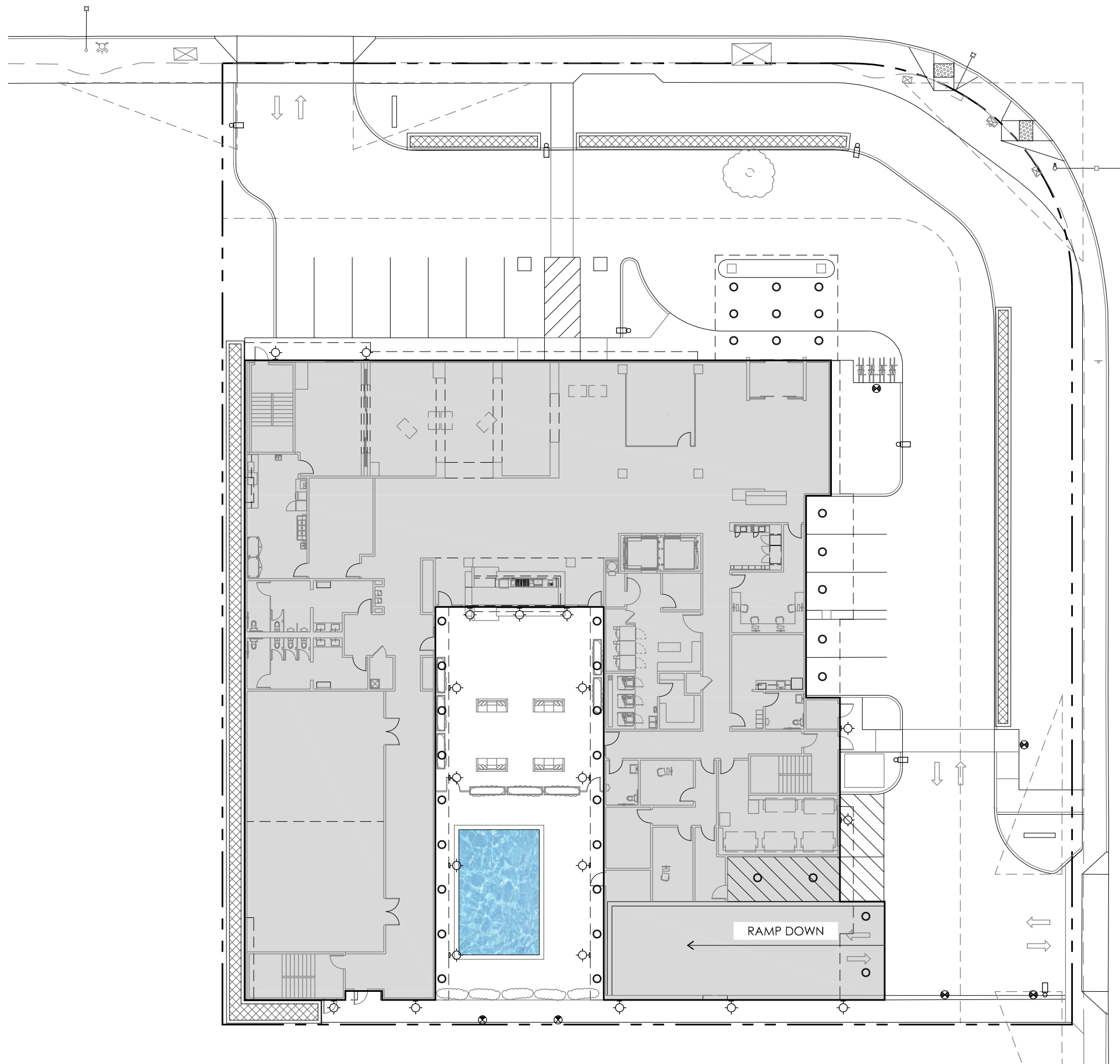


**LIGHTING LEGEND**

- RECESSED DOWN LIGHT
- ⊕ WALL MOUNTED LIGHT
- POLE LIGHT
- ⊗ BOLLARD LIGHT

**OAKMEAD PARKWAY**

**LAKESIDE DRIVE**



**PROPOSED SITE LIGHTING PLAN**



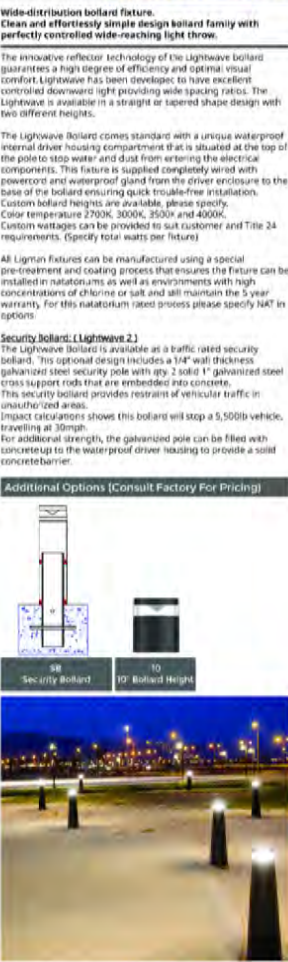
1220 Oakmead Parkway  
Sunnyvale, CA





Date	JUNE 23, 2022
Scale	N.T.S.
Sheet	<b>E-1</b>



Attachment 7  
Page 30 of 44

## LIGHTING LEGEND



-  RECESSED DOWN LIGHT
-  WALL MOUNTED LIGHT
-  POLE LIGHT
-  BOLLARD LIGHT



Date **JUNE 23, 2022**

Scale **N.T.S**

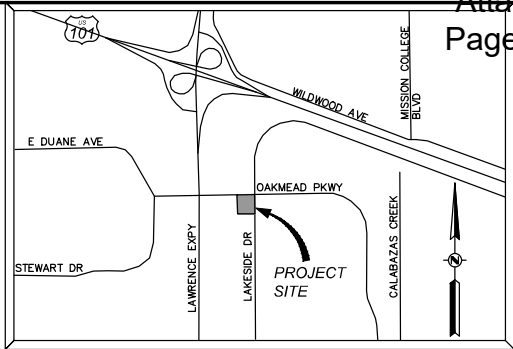
Sheet **E-1**



# HAMPTON INN SUNNYVALE

## PRELIMINARY SITE IMPROVEMENT PLANS

1220 OAKMEAD PARKWAY  
SUNNYVALE, CA, 94085  
APN: 216-44-048



VICINITY MAP  
NOT TO SCALE

### SHEET INDEX:

- C1 TITLE SHEET
- C2 PRELIMINARY SITE PLAN
- C3.1 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN
- C3.2 PRELIMINARY STREET SECTIONS
- C4 PRELIMINARY WATER & SANITARY SEWER PLAN
- C5.1 PRELIMINARY PEDESTRIAN & VEHICLE CIRCULATION PLAN
- C5.2 PRELIMINARY PEDESTRIAN & VEHICLE CIRCULATION PLAN
- C5.3 PRELIMINARY PEDESTRIAN & VEHICLE CIRCULATION PLAN
- C6 PRELIMINARY STORMWATER QUALITY CONTROL PLAN
- C7 PRELIMINARY DEMOLITION PLAN

### TOPOGRAPHIC SURVEY:

TRIAD/HOLMES ASSOCIATES  
FIELD SURVEY DATED: AUGUST 2021

RFE ENGINEERING  
SUPPLEMENTAL FIELD SURVEY DATED: OCTOBER 2021

### BENCHMARK:

CITY OF SUNNYVALE BENCHMARK NO. 53:  
BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT  
THE SOUTHWEST CURB RETURN OF INTERSECTION AT  
OAKMEAD PARKWAY AND LAKESIDE DRIVE.  
ELEVATION=29.42' (NAVD 88)

### ZONING:

MS (INDUSTRIAL)

### JURISDICTION:

CITY OF SUNNYVALE

### FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", THE PROJECT SITE IS DETERMINED TO  
BE AT REDUCED FLOOD RISK DUE TO A LEVEE BY THE NATIONAL FLOOD INSURANCE  
PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06085C0063H  
DATED: 05/18/2009

### PROPERTY OWNER / DEVELOPER:

BPR PROPERTIES  
953 INDUSTRIAL AVENUE, SUITE 100  
PALO ALTO, CA 94303

UTILITY CONTACT INFORMATION			
UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
GAS	PG&E	CUSTOMER SERVICE	1-800-468-4743
ELECTRIC	PG&E	CUSTOMER SERVICE	1-800-468-4743
FIRE	FIRE DEPARTMENT	CUSTOMER SERVICE	(408)-730-7212
WATER	SANTA CLARA VALLEY WATER DISTRICT (SCVWD)	CUSTOMER SERVICE	(408)-265-2600
SEWER	CITY OF SUNNYVALE	CUSTOMER SERVICE	(408)-730-7400
DRAINAGE	CITY OF SUNNYVALE	CUSTOMER SERVICE	(408)-730-7400
U.S.A.	UNDERGROUND SERVICE ALERT		

### UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY  
INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE  
THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE  
AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT  
GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT  
LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS  
ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS  
NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
DOMESTIC WATER	XX"DW	XX"DW
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"G	XX"G
SDMH	⊙	⊙
DRAINAGE INLET	⊠	⊠
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	⊙	⊙
SSCO	⊙	⊙
FIRE HYDRANT	⊠	⊠
PIV	⊠	⊠
FDC	⊠	⊠
WATER VALVE	⊠	⊠
WATER METER	⊠	⊠
CONCENTRIC REDUCER	⊠	⊠
BACKFLOW PREVENTION ASSEMBLY	⊠	⊠
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	⊠	⊠
AIR RELEASE VALVE	⊠	⊠
BLOW OFF ASSEMBLY	⊠	⊠
PIPE CAP	⊠	⊠
GAS VALVE	⊠	⊠
TELEPHONE MH	⊠	⊠
UTILITY POLE	⊠	⊠
UTILITY POLE WITH LIGHT	⊠	⊠
STREET LIGHT	⊠	⊠
SITE LIGHT	⊠	⊠
JUNCTION/PULL BOX	⊠	⊠
MONUMENT WELL	⊠	⊠
BOLLARD	⊠	⊠
SIGN	⊠	⊠
FENCE	---	---
RETAINING WALL	---	---
BLOCK WALL	---	---
MAJOR CONTOUR	2s	2s
MINOR CONTOUR	---	---
GRADE BREAK LINE	---	---
TREE & DRIP	⊠	⊠
CONTROL POINT	⊠	⊠
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	---	---
TRUNCATED DOMES	⊠	⊠
BUILDING	---	---

### ABBREVIATIONS:

AB	AGGREGATE BASE	EP	EDGE OF PAVEMENT	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	ETW	EDGE OF TRAVELED WAY	LP	LOW POINT
ARV	AIR RELEASE VALVE	EVC	END OF VERTICAL CURVE	LT	LEFT TURN OR LEFT
BC	BEGIN CURVE	FDC	FIRE DEPARTMENT CONNECTION	MAX	MAXIMUM
BCR	BEGIN CURVE RETURN	FF	FINISH FLOOR	MH	MAINTENANCE HOLE
BLDG	BUILDING	FG	FINISHED GROUND	MIN	MINIMUM
BOC	BACK OF CURB	FGBW	FINISHED GROUND @ BOT. WALL	NE	NORTHEAST
BOW	BACK-OF-WALK	FGTW	FINISHED GROUND @ TOP OF WALL	NW	NORTHWEST
BVC	BEGIN VERTICAL CURVE	FH	FIRE HYDRANT	OC	ON CENTER
BW	BOTTOM OF WALL	FL	FLOW LINE	OH	OVERHEAD
CAB	CABINET	FOC	FACE OF CURB	OHT&E	OVERHEAD TELEPHONE & ELECTRIC
CONC	CONCRETE	FP	FINISH PAVEMENT	OMP	OPEN METAL PIPE
C&G	CURB & GUTTER	FS	FIRE SPRINKLER	(P)	PROPOSED
CG&S	CURB, GUTTER & SIDEWALK	GB	GRADE BREAK	PCC	PORTLAND CEMENT CONCRETE
CH	CHORD	GR	GRADE ELEVATION	(P)	POINT OF COMPOUND CURVE
C	CENTERLINE	GV	GATE VALVE	PG	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	GVW	GROSS VEHICLE WEIGHT	PIV	POST INDICATOR VALVE
CR	CURB RETURN	HC	HANDICAP	HC	HANDICAP
CTV	CABLE TV	HCR	HANDICAP RAMP	POC	POINT OF CONNECTION
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	HDPE	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE
DI	DRAIN / DROP INLET	HP	HIGH POINT	PT	POINT OF TANGENCY
DIP	DUCTILE IRON PIPE	IRR	IRRIGATION	PUE	PUBLIC UTILITY EASEMENT
DS	DOWN SPOUT	INV	INVERT	PVI	POINT OF VERTICAL INTERSECTION
(E)	EXISTING	I.E.	INVERT ELEVATION	RC	RELATIVE COMPACTION
EC	END CURVE	JP	JOINT POLE	RCP	REINFORCED CONCRETE PIPE
ECR	END CURB RETURN	L	LENGTH	ROW	RIGHT-OF-WAY
		LF	LINEAL FEET	RT	RIGHT TURN OR RIGHT

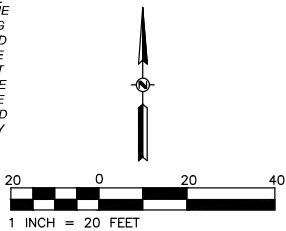
DIONEX CO.  
APN: 216-44-115  
ZONING: MS  
4.46 ACRES

(P) BUILDING  
BPR PROPERTIES  
APN: 216-44-048  
ZONING: MS  
0.92 ACRES

DIONEX CO.  
APN: 216-44-115  
ZONING: MS  
4.46 ACRES

### NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE  
CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING  
UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED  
UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE  
ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT  
FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE  
ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE  
ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND  
WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY  
CONFLICTS EXIST.



Know what's below.  
Call before you dig.  
or (800) 227-2600



BPR PROPERTIES  
953 INDUSTRIAL AVE, ST 100  
PALO ALTO, CA 94303  
PERRY PATEL  
PPATEL@BPRPROPERTIES.COM

HAMPTON INN SUNNYVALE  
1220 OAKMEAD PARKWAY  
SUNNYVALE, CA 94085  
PRELIMINARY SITE PLAN

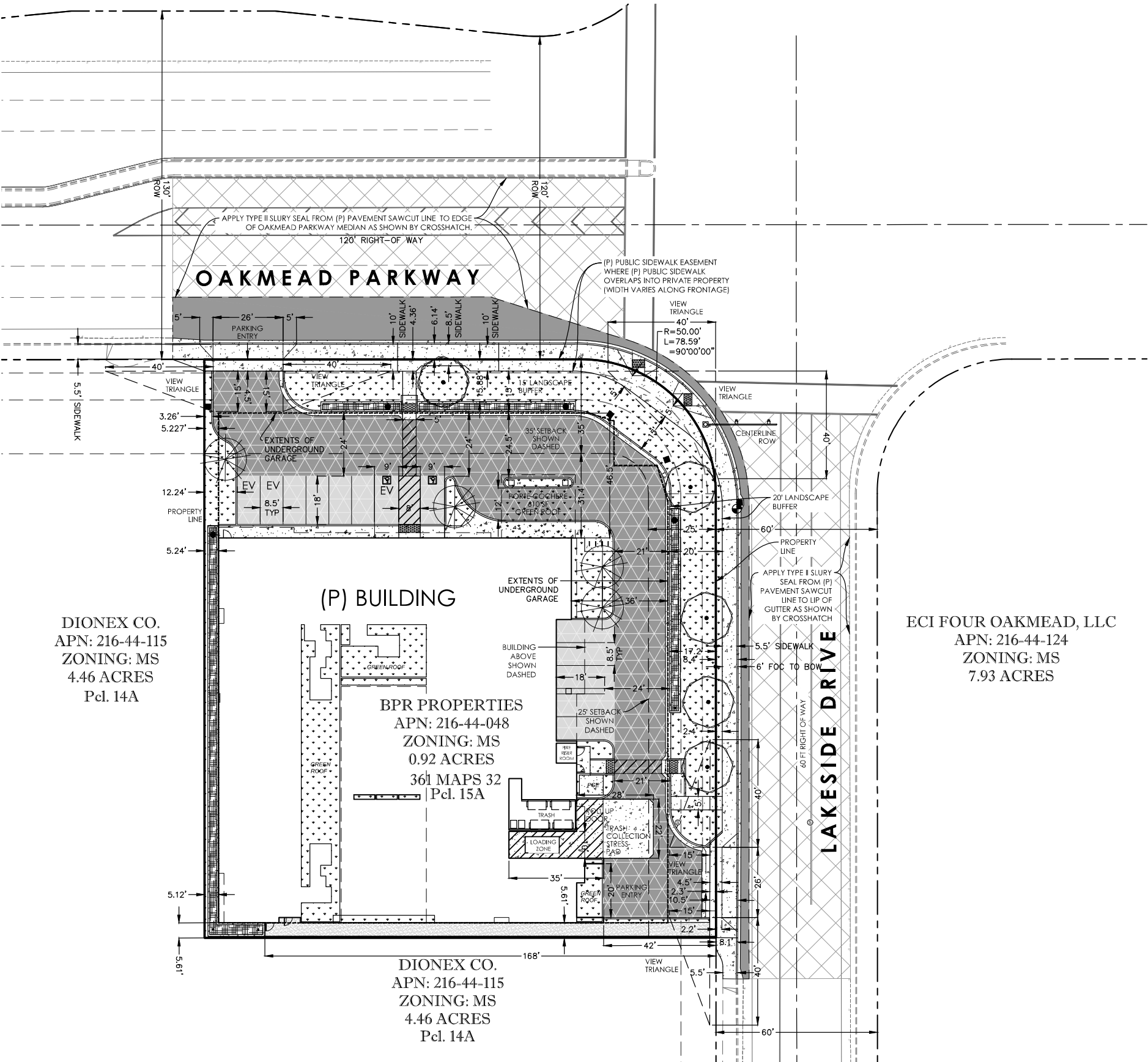
Sheet  
**C1**  
1 of 10  
08/02/2022

NOT FOR CONSTRUCTION



**HAMPTON INN SUNNYVALE**  
**PRELIMINARY SITE PLAN**  
1220 OAKMEAD PARKWAY  
SUNNYVALE, CA, 94085  
APN: 216-44-048

DESCRIPTION	LEGEND EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
DOMESTIC WATER	XX"DW	XX"DW
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"G	XX"G
SDMH	⊙	⊙
DRAINAGE INLET	⊠	⊠
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	⊙	⊙
SSCO	⊙	⊙
FIRE HYDRANT	⊙	⊙
PV	⊙	⊙
FDC	⊙	⊙
WATER VALVE	⊙	⊙
WATER METER	⊙	⊙
CONCENTRIC REDUCER	⊙	⊙
BACKFLOW PREVENTION ASSEMBLY	⊙	⊙
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	⊙	⊙
AIR RELEASE VALVE	⊙	⊙
BLOW OFF ASSEMBLY	⊙	⊙
PIPE CAP	⊙	⊙
GAS VALVE	⊙	⊙
TELEPHONE MH	⊙	⊙
UTILITY POLE	⊙	⊙
UTILITY POLE WITH LIGHT	⊙	⊙
STREET LIGHT	⊙	⊙
SITE LIGHT	⊙	⊙
JUNCTION/PULL BOX	⊙	⊙
MONUMENT WELL	⊙	⊙
BOLLARD	⊙	⊙
SIGN	⊙	⊙
FENCE	---	---
RETAINING WALL	---	---
BLOCK WALL	---	---
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---
GRADE BREAK LINE	---	---
TREE & DRIP	⊙	⊙
CONTROL POINT	⊙	⊙
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	X 157.01 AC	X 13.34 AC
MATCH (E) GRADE ELEVATION	---	---
TRUNCATED DOMES	---	---
BUILDING	---	---
UNDERGROUND GARAGE EXTENTS	---	---
AC DRIVE AISLE WITH GUARDTOP COOLSEAL ASPHALT SEALCOAT	---	---
AC PARKING WITH GUARDTOP COOLSEAL ASPHALT SEALCOAT	---	---
TYPE II SLURRY SEAL	---	---



DIONEX CO.  
APN: 216-44-115  
ZONING: MS  
4.46 ACRES  
Pcl. 14A

BPR PROPERTIES  
APN: 216-44-048  
ZONING: MS  
0.92 ACRES  
361 MAPS 32  
Pcl. 15A

ECI FOUR OAKMEAD, LLC  
APN: 216-44-124  
ZONING: MS  
7.93 ACRES

DIONEX CO.  
APN: 216-44-115  
ZONING: MS  
4.46 ACRES  
Pcl. 14A

Attachment 7  
Page 32 of 44

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PPATEL@BPRPROPERTIES.COM

HAMPTON INN SUNNYVALE  
1220 OAKMEAD PARKWAY  
SUNNYVALE, CA 94085  
PRELIMINARY SITE PLAN

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C2  
2 of 10  
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DRAINAGE, & PAVING PLAN

Sheet  
**C3.1**  
3 of 10  
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### LEGEND:

AC DRIVE AISLE WITH GUARDTOP COOLSEAL ASPHALT SEALCOAT		SPOT ELEVATION (ABBREVIATION)	13.34 FG
AC PARKING WITH GUARDTOP COOLSEAL ASPHALT SEALCOAT		MATCH (E) GRADE ELEVATION	13.61 AC MATCH (E)
DECOMPOSED GRANITE		INTERMEDIATE CONTOURS	25
HEAVY DUTY PCC		INDEX CONTOUR	
LIGHT DUTY PCC		STORM DRAIN PIPE	XX"SD
LANDSCAPING SEE PLANS BY OTHERS		DRAINAGE INLET	
BIORETENTION PLANTERS		STORM DRAIN MANHOLE	D
TRUNCATED DOMES		SURFACE FLOW / DRAINAGE FLOW	
GRADE BREAK LINE	GB	OVERLAND RELEASE	
FINISHED FLOOR ELEVATION	FF: 123.00	TYPE II SLURRY SEAL	
UNDERGROUND GARAGE EXTENTS			

### CONSTRUCTION KEYNOTES:

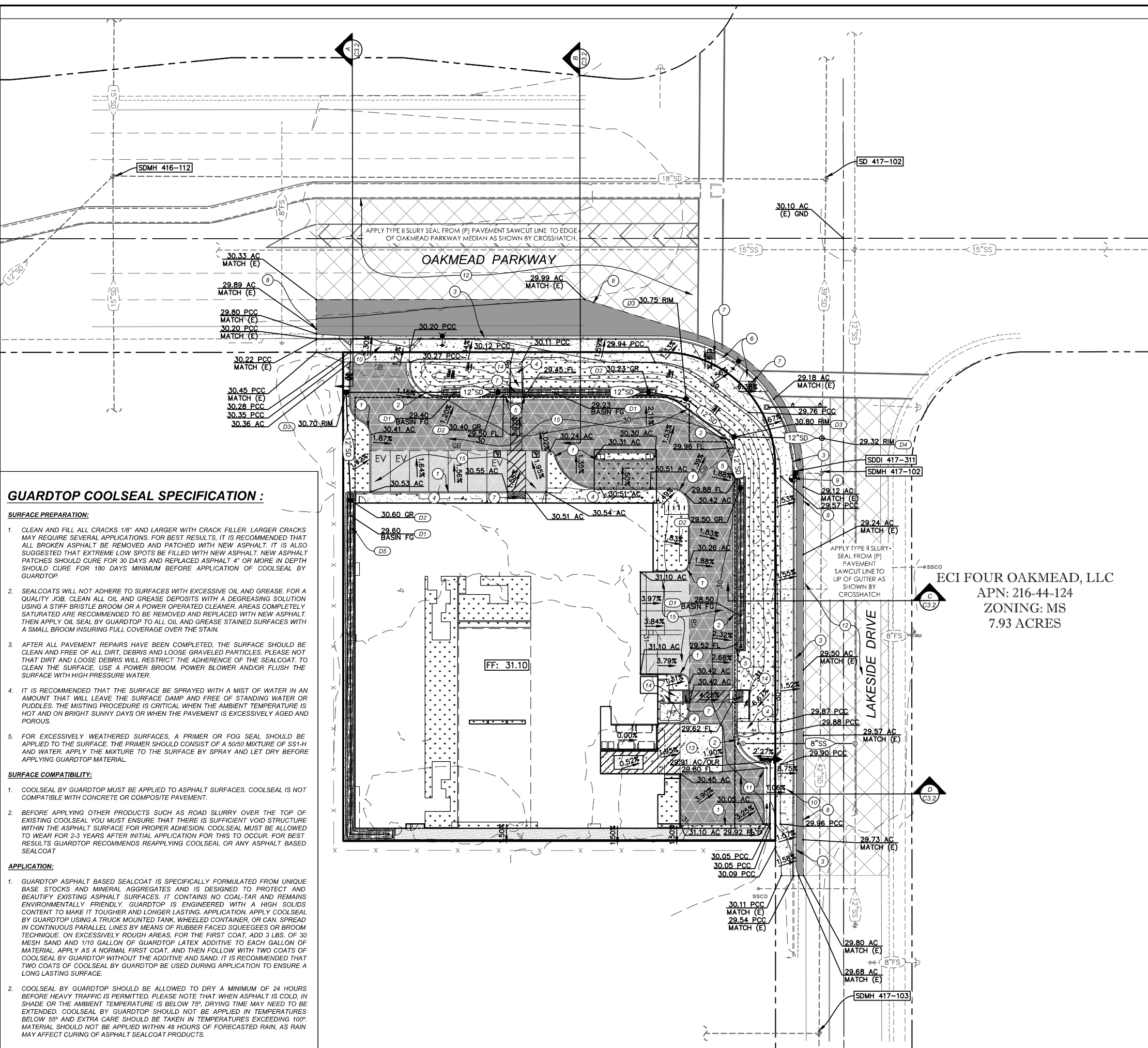
- ON-SITE 6" CONCRETE BARRIER CURB
- ON-SITE CONCRETE CURB & GUTTER
- CONSTRUCT OFF-SITE CONCRETE CURB, 1' GUTTER AND SIDEWALK PER CITY OF SUNNYVALE STANDARD DETAIL 9C
- CONCRETE FLATWORK
- 2' CURB OPENING
- ACCESSIBLE DIRECTIONAL CROSSWALK RAMP (FLUSH PAN).
- CAST-IN-PLACE TRUNCATED DOMES
- SAWCUT LINE
- MONUMENT TO BE RESET AFTER CONSTRUCTION OF NEW CURB, GUTTER AND SIDEWALK. PER CITY OF SUNNYVALE STANDARD DETAIL 21C
- MONOLITHIC CURB, GUTTER, SIDEWALK, AND DRIVEWAY APPROACH PER CITY OF SUNNYVALE DETAIL 6C-2
- 3' ON-SITE VALLEY GUTTER
- APPLY TYPE II SLURRY SEAL TO LIMITS SHOWN ON PLAN.
- CONSTRUCT TRASH ENCLOSURE STRESS PAD WITH 6" PCC OVER 5" CLASS II AB.
- CONSTRUCT ACCESSIBLE RAMP
- APPLY COOLSEAL ASPHALT PAVEMENT SEALCOAT PER GUARDTOP COOLSEAL SPECIFICATION. THIS SHEET.

### DRAINAGE KEYNOTES:

- (D1) FLOW-THROUGH PLANTER WITH EXTENDED CONCRETE CURBS AND UNDERDRIAN. SEE SHEET C6 FOR DETAILS.
- (D2) DRAIN INLET WITH DOME GRATE
- (D3) STORM DRAIN JUNCTION STRUCTURE WITH SOLID COVER.
- (D4) (P) STORM DRAIN MANHOLE
- (D5) SPLASH BLOCK / RIP RAP AT ROOF DOWNSPOUT. DOWNSPOUT LOCATIONS PER ARCHITECT.
- NOTE: ALL STORM DRAIN MATERIAL TO BE SDR-35 PVC OR APPROVED EQUIVALENT.



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### GUARDTOP COOLSEAL SPECIFICATION :

#### SURFACE PREPARATION:

- CLEAN AND FILL ALL CRACKS 1/8" AND LARGER WITH CRACK FILLER. LARGER CRACKS MAY REQUIRE SEVERAL APPLICATIONS. FOR BEST RESULTS, IT IS RECOMMENDED THAT ALL BROKEN ASPHALT BE REMOVED AND PATCHED WITH NEW ASPHALT. IT IS ALSO SUGGESTED THAT EXTREME LOW SPOTS BE FILLED WITH NEW ASPHALT. NEW ASPHALT PATCHES SHOULD CURE FOR 30 DAYS AND REPLACED ASPHALT 4" OR MORE IN DEPTH SHOULD CURE FOR 180 DAYS MINIMUM BEFORE APPLICATION OF COOLSEAL BY GUARDTOP.
- SEALCOATS WILL NOT ADHERE TO SURFACES WITH EXCESSIVE OIL AND GREASE. FOR A QUALITY JOB, CLEAN ALL OIL AND GREASE DEPOSITS WITH A DEGREASING SOLUTION USING A STIFF BRISTLE BROOM OR A POWER OPERATED CLEANER. AREAS COMPLETELY SATURATED ARE RECOMMENDED TO BE REMOVED AND REPLACED WITH NEW ASPHALT. THEN APPLY OIL SEAL BY GUARDTOP TO ALL OIL AND GREASE STAINED SURFACES WITH A SMALL BROOM INSURING FULL COVERAGE OVER THE STAIN.
- AFTER ALL PAVEMENT REPAIRS HAVE BEEN COMPLETED, THE SURFACE SHOULD BE CLEAN AND FREE OF ALL DIRT, DEBRIS AND LOOSE GRAVELED PARTICLES. PLEASE NOTE THAT DIRT AND LOOSE DEBRIS WILL RESTRICT THE ADHERENCE OF THE SEALCOAT. TO CLEAN THE SURFACE, USE A POWER BROOM, POWER BLOWER AND/OR FLUSH THE SURFACE WITH HIGH PRESSURE WATER.
- IT IS RECOMMENDED THAT THE SURFACE BE SPRAYED WITH A MIST OF WATER IN AN AMOUNT THAT WILL LEAVE THE SURFACE DAMP AND FREE OF STANDING WATER OR PUDDLES. THE MISTING PROCEDURE IS CRITICAL WHEN THE AMBIENT TEMPERATURE IS HOT AND ON BRIGHT SUNNY DAYS OR WHEN THE PAVEMENT IS EXCESSIVELY AGED AND POROUS.
- FOR EXCESSIVELY WEATHERED SURFACES, A PRIMER OR FOG SEAL SHOULD BE APPLIED TO THE SURFACE. THE PRIMER SHOULD CONSIST OF A 50/50 MIXTURE OF SS-I-H AND WATER. APPLY THE MIXTURE TO THE SURFACE BY SPRAY AND LET DRY BEFORE APPLYING GUARDTOP MATERIAL.

#### SURFACE COMPATIBILITY:

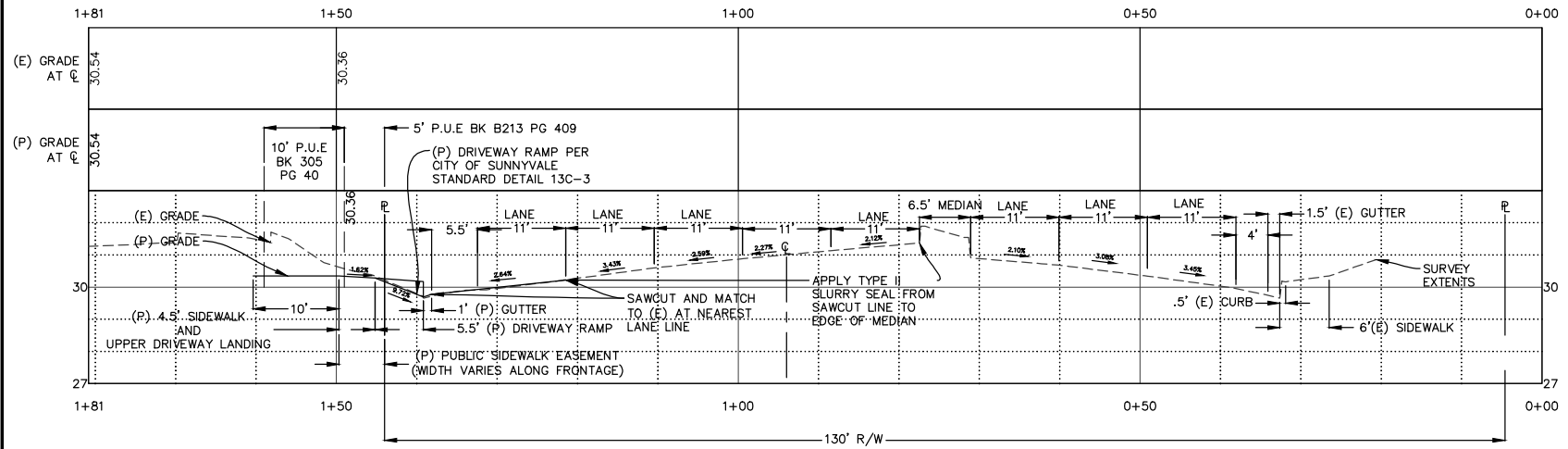
- COOLSEAL BY GUARDTOP MUST BE APPLIED TO ASPHALT SURFACES. COOLSEAL IS NOT COMPATIBLE WITH CONCRETE OR COMPOSITE PAVEMENT.
- BEFORE APPLYING OTHER PRODUCTS SUCH AS ROAD SLURRY OVER THE TOP OF EXISTING COOLSEAL YOU MUST ENSURE THAT THERE IS SUFFICIENT VOID STRUCTURE WITHIN THE ASPHALT SURFACE FOR PROPER ADHESION. COOLSEAL MUST BE ALLOWED TO WEAR FOR 2-3 YEARS AFTER INITIAL APPLICATION FOR THIS TO OCCUR. FOR BEST RESULTS GUARDTOP RECOMMENDS REAPPLYING COOLSEAL OR ANY ASPHALT BASED SEALCOAT

#### APPLICATION:

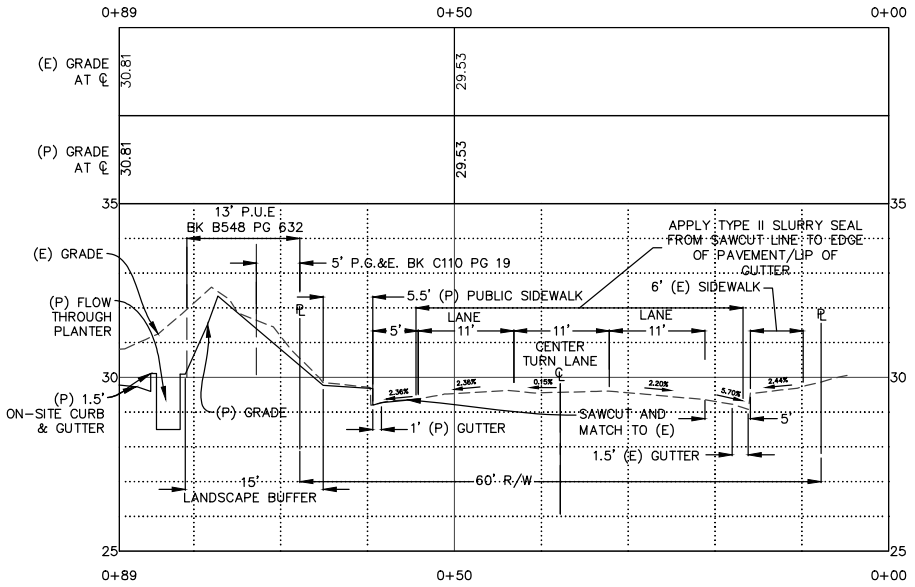
- GUARDTOP ASPHALT BASED SEALCOAT IS SPECIFICALLY FORMULATED FROM UNIQUE BASE STOCKS AND MINERAL AGGREGATES AND IS DESIGNED TO PROTECT AND BEAUTIFY EXISTING ASPHALT SURFACES. IT CONTAINS NO COAL-TAR AND REMAINS ENVIRONMENTALLY FRIENDLY. GUARDTOP IS ENGINEERED WITH A HIGH SOLIDS CONTENT TO MAKE IT TOUGHER AND LONGER LASTING. APPLICATION: APPLY COOLSEAL BY GUARDTOP USING A TRUCK MOUNTED TANK, WHEELED CONTAINER, OR CAN. SPREAD IN CONTINUOUS PARALLEL LINES BY MEANS OF RUBBER FACED SQUEEGEES OR BROOM TECHNIQUE. ON EXCESSIVELY ROUGH AREAS, FOR THE FIRST COAT, ADD 3 LBS. OF 30 MESH SAND AND 1/10 GALLON OF GUARDTOP LATEX ADDITIVE TO EACH GALLON OF MATERIAL. APPLY AS A NORMAL FIRST COAT, AND THEN FOLLOW WITH TWO COATS OF COOLSEAL BY GUARDTOP WITHOUT THE ADDITIVE AND SAND. IT IS RECOMMENDED THAT TWO COATS OF COOLSEAL BY GUARDTOP BE USED DURING APPLICATION TO ENSURE A LONG LASTING SURFACE.
- COOLSEAL BY GUARDTOP SHOULD BE ALLOWED TO DRY A MINIMUM OF 24 HOURS BEFORE HEAVY TRAFFIC IS PERMITTED. PLEASE NOTE THAT WHEN ASPHALT IS COLD, IN SHADE OR THE AMBIENT TEMPERATURE IS BELOW 75°, DRYING TIME MAY NEED TO BE EXTENDED. COOLSEAL BY GUARDTOP SHOULD NOT BE APPLIED IN TEMPERATURES BELOW 55° AND EXTRA CARE SHOULD BE TAKEN IN TEMPERATURES EXCEEDING 100°. MATERIAL SHOULD NOT BE APPLIED WITHIN 48 HOURS OF FORECASTED RAIN, AS RAIN MAY AFFECT CURING OF ASPHALT SEALCOAT PRODUCTS.

Z:\2021 Projects\21-169 Hampton Inn Sunnyvale\WORKING CAD\C3-1-PRM GRADING PLAN 21-169.dwg Aug 02, 2022-03:21 pm

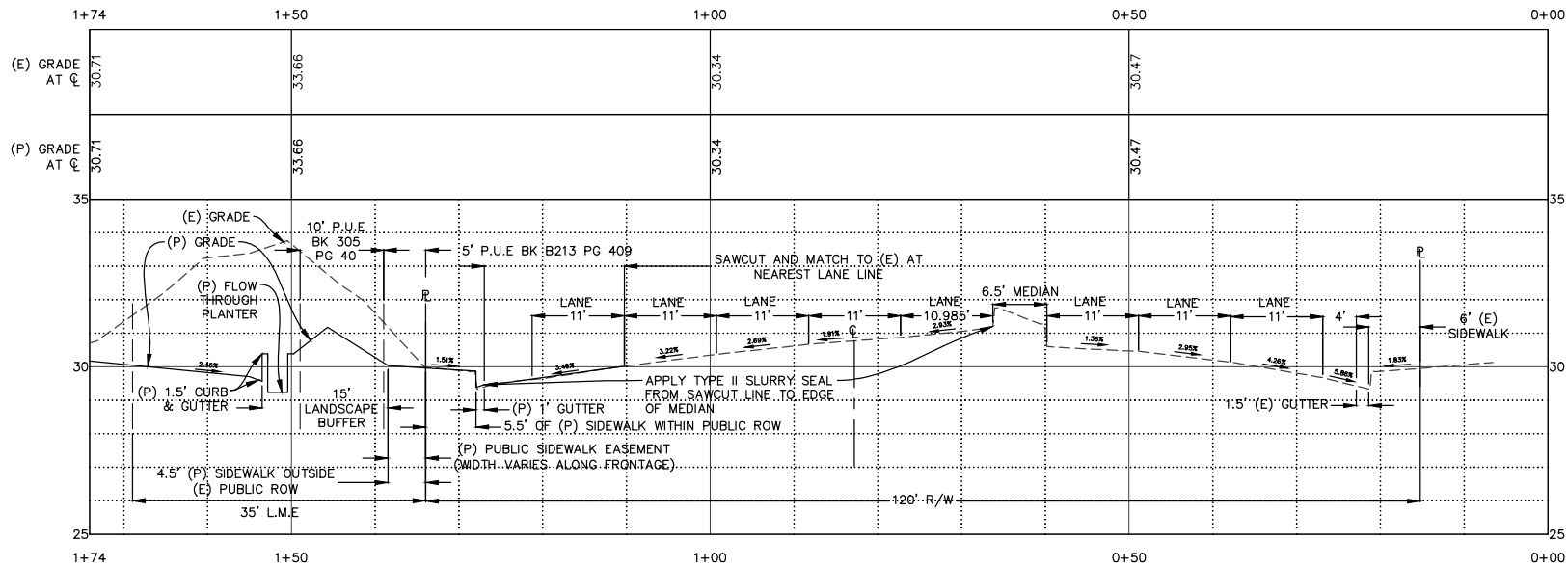




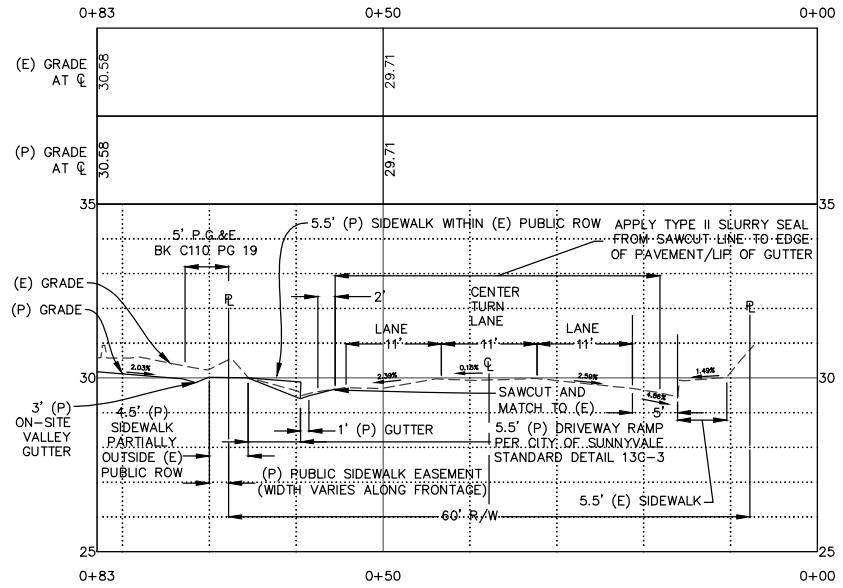
**A**  
C3.1  
**SECTION A - OAKMEAD PARKWAY**  
NOT TO SCALE



**C**  
C3.1  
**SECTION C - LAKESIDE DRIVE**  
NOT TO SCALE



**B**  
C3.1  
**SECTION B - OAKMEAD PARKWAY**  
NOT TO SCALE



**D**  
C3.1  
**SECTION D - LAKESIDE DRIVE**  
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CWE-RFE PROJECT 21-169 - HAMPTON INN SUNNYVALE; 1220 OAKMEAD PARKWAY, SUNNYVALE, CA 94085



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**PUBLIC HYDRANTS:**

- APN: 216-44-115  
ZONING: MS  
4.46 ACRES  
Pcl. 14A

1. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW (FLOW, PRESSURE & DURATION) FOR FIRE PROTECTION AND FIREFIGHTING OPERATIONS SHALL BE PROVIDED TO THE PREMISES VIA A SEPARATE FIRE SERVICE MAIN PER CFC SECTION 507. COORDINATION WITH SUNNYVALE ESD WILL OCCUR DURING CONSTRUCTION LEVEL DESIGN TO DETERMINE IF HYDRAULIC MODELING IS REQUIRED.

1. ALL WATER MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF SUNNYVALE, AND SANTA CLARA VALLEY WATER DISTRICT (SCVWD) STANDARDS, RESPECTIVELY.
2. ALL SEWER MATERIALS AND INSTALLATION OF PUBLIC SEWER FACILITIES SHALL BE IN ACCORDANCE WITH CITY OF SUNNYVALE STANDARDS.
3. THE CONTRACTOR SHALL POTHOLE AND VERIFY THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE INSTALLATION OF PROPOSED UTILITIES. ANY UNANTICIPATED CONFLICTS SHALL BE REDESIGNED PRIOR TO BEGINNING WORK.
4. ALL TRENCHING AND TRENCH RESTORATION FOR WATER AND SEWER UTILITIES SHALL COMPLY WITH CITY OF SUNNYVALE STANDARDS.
5. WATERLINES TO BE INSTALLED WITH 36" MIN. COVER.
6. ALL SEWER PIPE SHALL BE CONSTRUCTED WITH SDR-26 PVC PIPE.
7. SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.
8. WATERLINES TO CROSS ABOVE SANITARY SEWER OR STORM DRAIN PIPES WITH MIN. 12" CLEAR FROM OUTER DIAMETER OF PIPE.

ECI FOUR OAKMEAD, LLC  
APN: 216-44-124  
ZONING: MS  
7.93 ACRES

PG&E UTILITY VAULTY WILL BE  
RELOCATED AND REINSTALLED  
TO GRADE IN THE PROPOSED  
SIDEWALK

(S1) PLACE SANITARY SEWER MANHOLE (SSMH) PER CITY OF SUNNYVALE DETAIL 1A. VERIFY SIZE, LOCATION, AND INVERT ELEVATIONS OF PIPE CONNECTION(S) PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. TRENCH RESTORATION PER CITY OF SUNNYVALE STANDARDS AND SPECIFICATIONS.

(S2) CONNECT (P) 8" SEWER LATERAL TO (P) SANITARY SEWER MANHOLE (SSMH) PER PLAN. VERIFY SIZE, LOCATION, AND INVERT OF PROPOSED PIPE CONNECTION PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. MINIMUM SLOPE TO THE BUILDING TO BE 2.0% MIN.

(S3) SANITARY SEWER POINT OF CONNECTION. CONTRACTOR TO VERIFY WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.



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LEGEND:

ACCESSIBLE PATH OF TRAVEL



PEDESTRIAN CIRCULATION NOTES:

1. THE SCOPE OF PEDESTRIAN CIRCULATION SHOWN ON THE CIVIL PLANS IS FROM THE PUBLIC ROW TO THE BUILDING ENTRANCES.
2. SEE ARCHITECTURE PLANS FOR PEDESTRIAN PATHS OF TRAVEL WITHIN THE INTERIOR FOOTPRINT OF THE PROPOSED BUILDING.

DRAWING SCALE NOTES:

1. PLAN VIEWS OF VEHICLE TRACKING/SWEEP PATHS ARE IN 1" = 30' SCALE.
2. VEHICLE ELEVATION VIEW DETAIL IS NTS (NOT TO SCALE).
3. TURNING TEMPLATES DETAIL IS IN 1" = 20' SCALE.

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NO.	REVISION	DATE	BY	CHECK
1				
2				

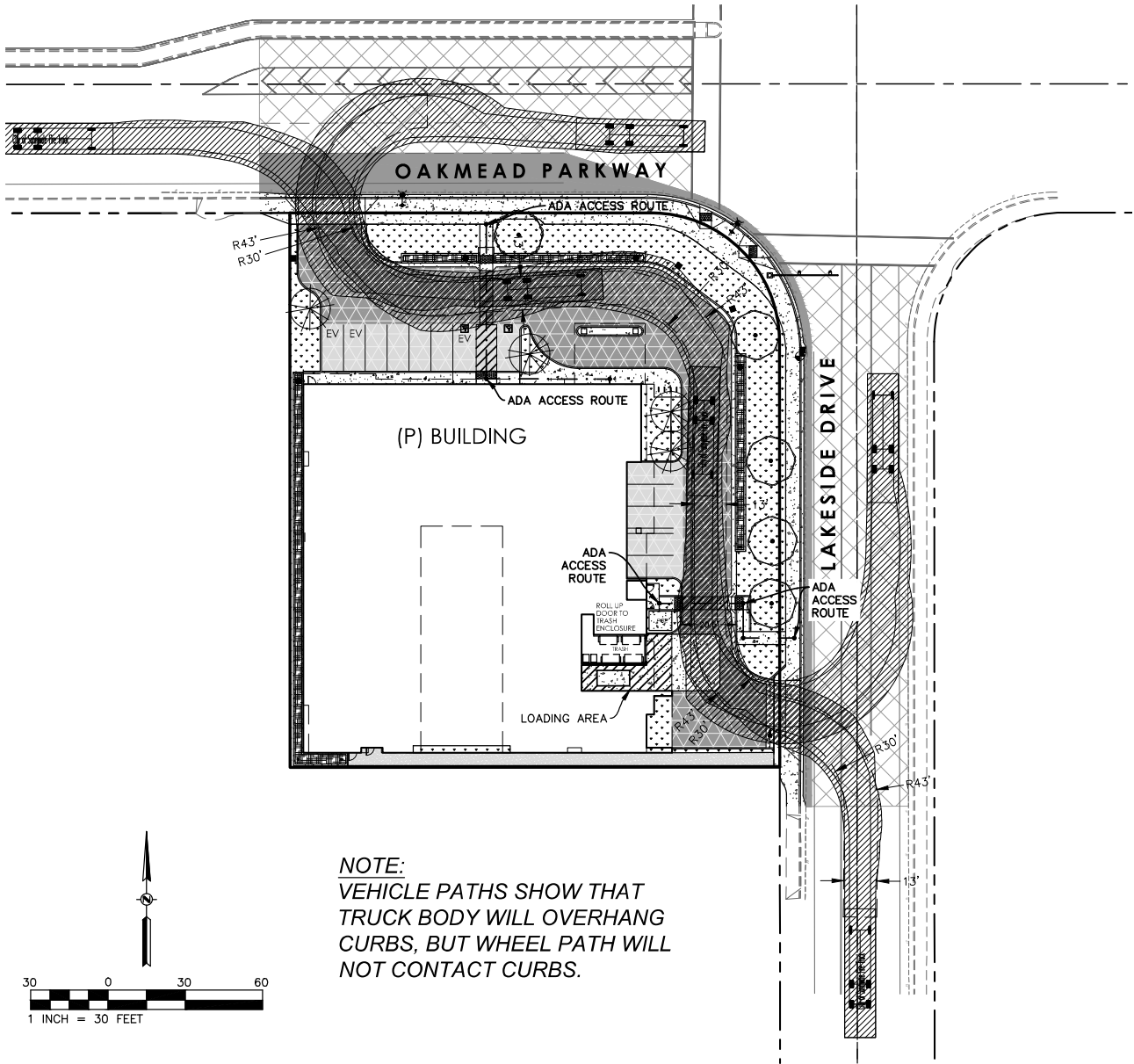
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SUNNYVALE, CA 94085  
PRELIMINARY  
CIRCULATION PLAN

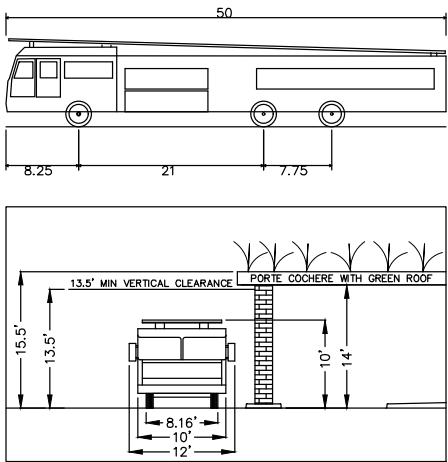
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08/02/2022



NOTE:  
VEHICLE PATHS SHOW THAT  
TRUCK BODY WILL OVERHANG  
CURBS, BUT WHEEL PATH WILL  
NOT CONTACT CURBS.

CITY OF SUNNYVALE FIRE TRUCK	
Overall Length	50'
Overall Width*	12'
Width With Outriggers Deployed	18'
Overall Body Height	10'
Min Body Ground Clearance	1.685'
Track Width	8.160'
Lock-To-Lock Time	6.00s
Max Wheel Angle	45.00°
Front Bumper To Front Axel	8.25'
Wheelbase	21'
Rear Axel To Rear Bumper	13'
Min Inside Curb Radius (20' Road)	30'
Outside Turning Radius	43'
Vertical Clearance	13.5'
GVW	83,000lbs

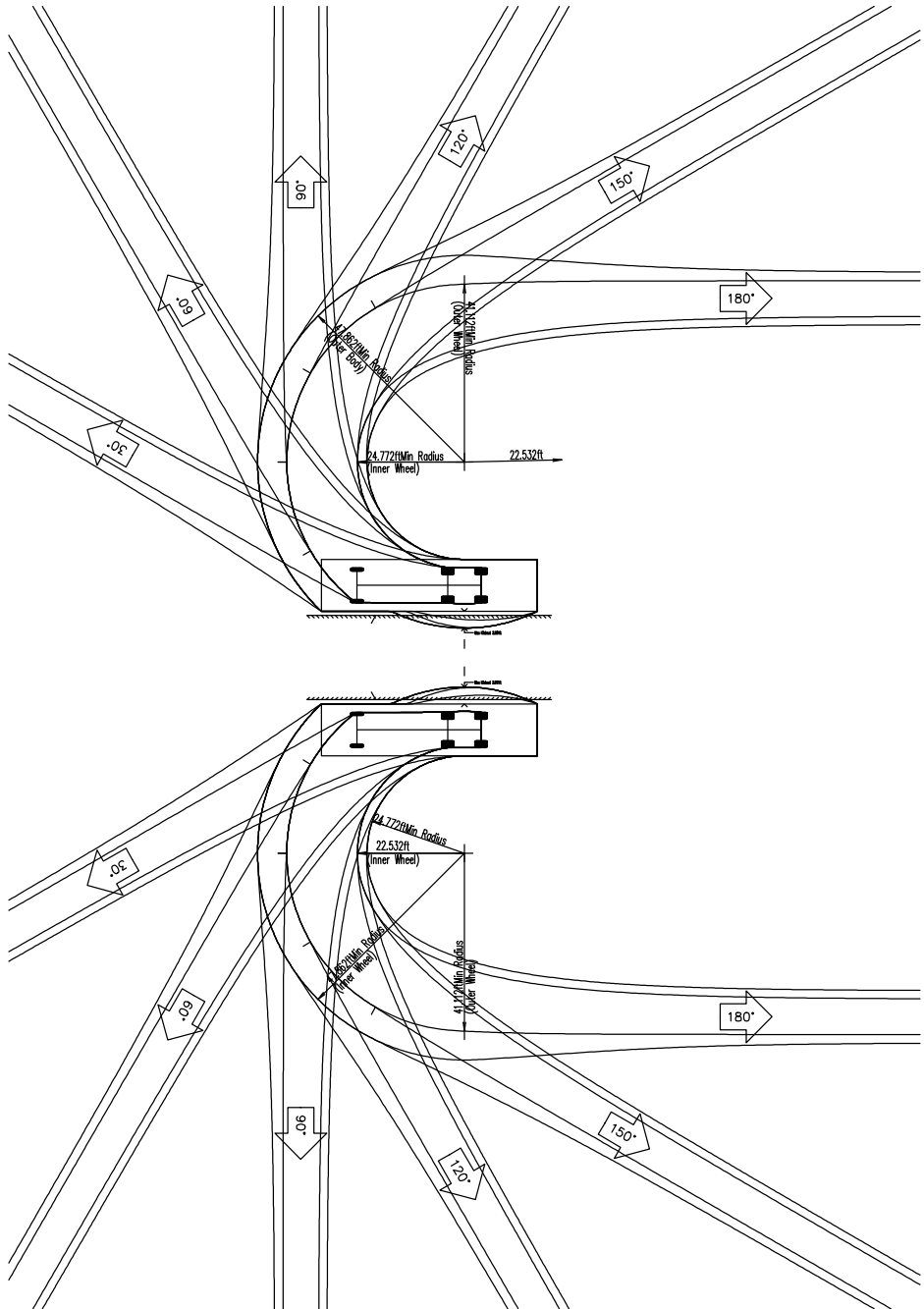
NOTE:  
\*OVERALL WIDTH IS BASED ON MIRROR TO MIRROR OF 12 FEET. PER WE WILL USE THIS NUMBER TO ALLOW FOR A SAFETY MARGIN OF OTHER APPARATUS FROM SUNNYVALE AND MUTUAL AID AGENCIES.



1  
C5.1

FIRE TRUCK ELEVATION VIEWS

NTS



2  
C5.1

FIRE TRUCK TURNING TEMPLATE

SCALE: 1" = 20'



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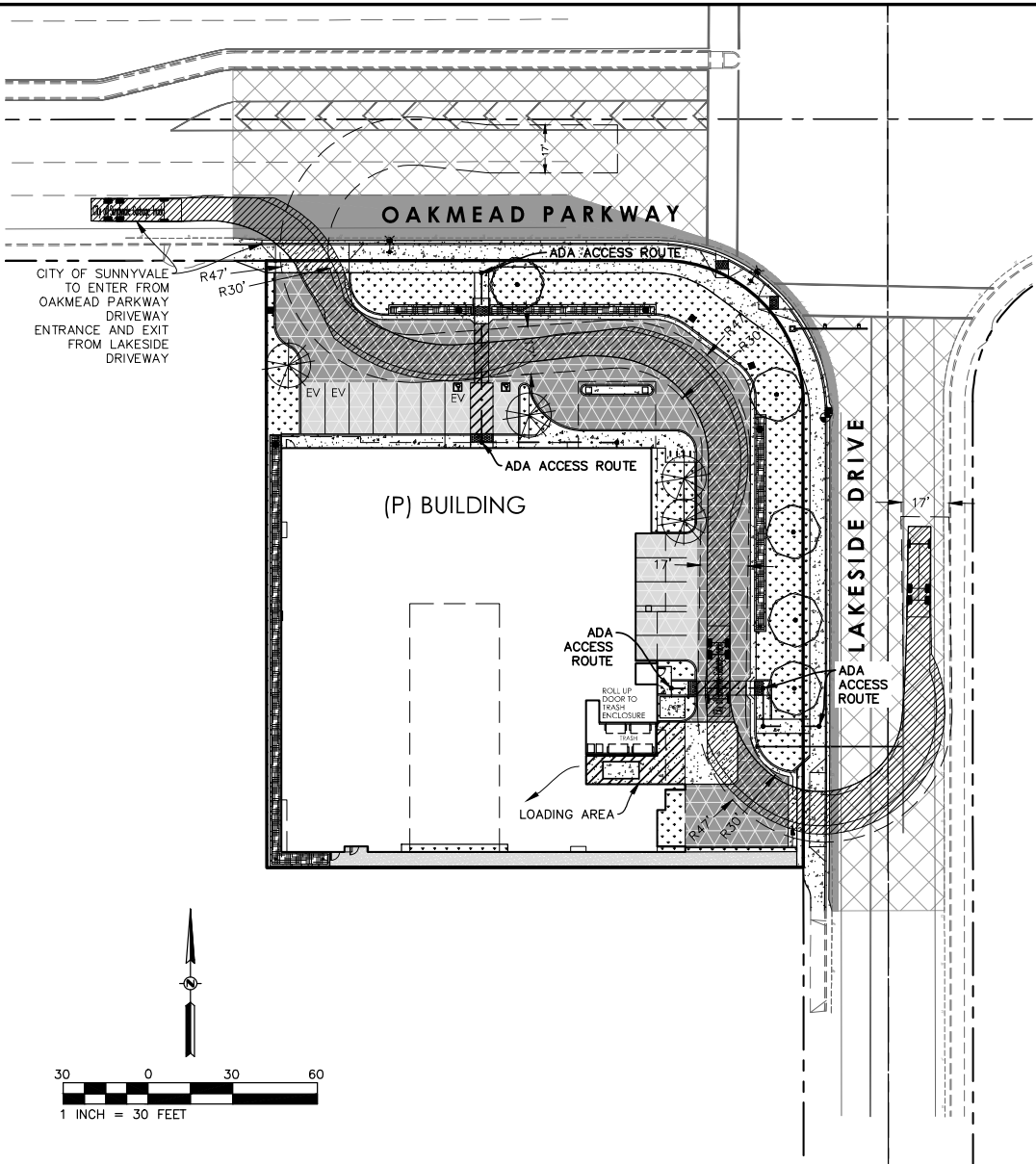
LEGEND:

ACCESSIBLE PATH OF TRAVEL

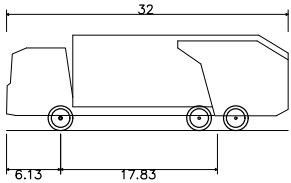


PEDESTRIAN CIRCULATION NOTES:

1. THE SCOPE OF PEDESTRIAN CIRCULATION SHOWN ON THE CIVIL PLANS IS FROM THE PUBLIC ROW TO THE BUILDING ENTRANCES.
2. SEE ARCHITECTURE PLANS FOR PEDESTRIAN PATHS OF TRAVEL WITHIN THE INTERIOR FOOTPRINT OF THE PROPOSED BUILDING.



CITY OF SUNNYVALE GARBAGE TRUCK	
Overall Length	32'
Overall Width	10'
Overall Body Height	10.830'
Min Body Ground Clearance	1.661'
Track Width	8'
Lock-To-Lock Time	6.00s
Curb To Curb turning Radius	33.50'
Max Wheel Angle	45.00°
Front Bumper To Front Axel	6.13'
Wheelbase	17.834'
Rear Axel To Rear Bumper	5.953'
Min Inside Curb Radius (20' Road)	30'
Outside Turning Radius	47'
Minimum Vertical Operational Clearance	20'



1  
C5.2

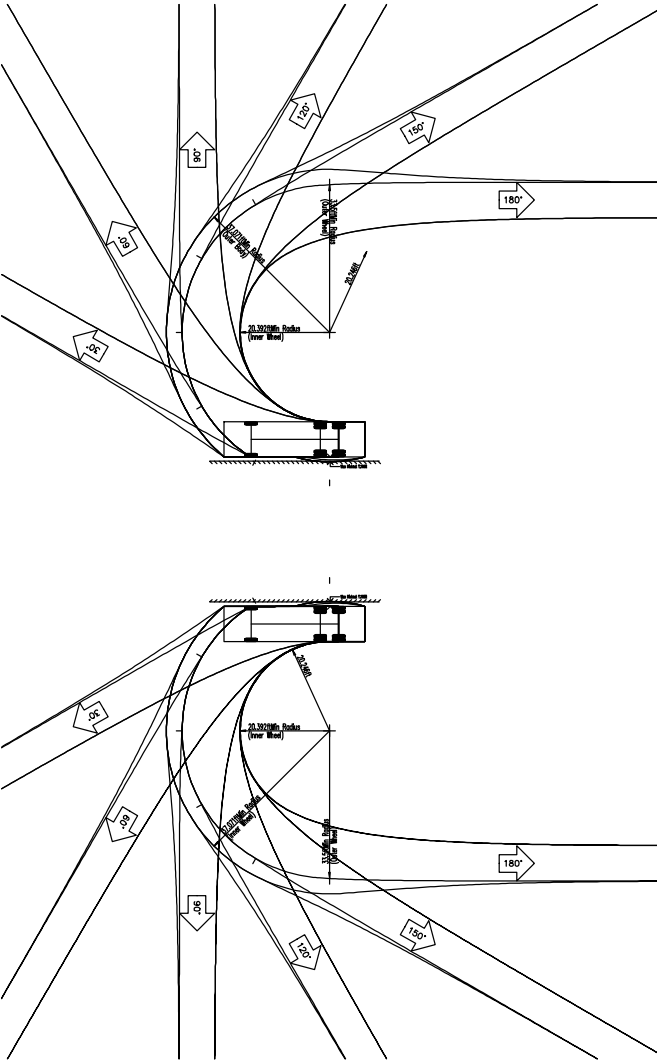
GARBAGE / RCYC. TRUCK ELEVATION VIEW

NTS

2  
C5.2

GARBAGE / CYC. TRUCK TURNING TEMPLATES

SCALE: 1" = 20'



DRAWING SCALE NOTES:

1. PLAN VIEWS OF VEHICLE TRACKING/SWEEP PATHS ARE IN 1" = 30' SCALE.
2. VEHICLE ELEVATION VIEW DETAIL IS NTS (NOT TO SCALE)
3. TURNING TEMPLATES DETAIL IS IN 1" = 20' SCALE.



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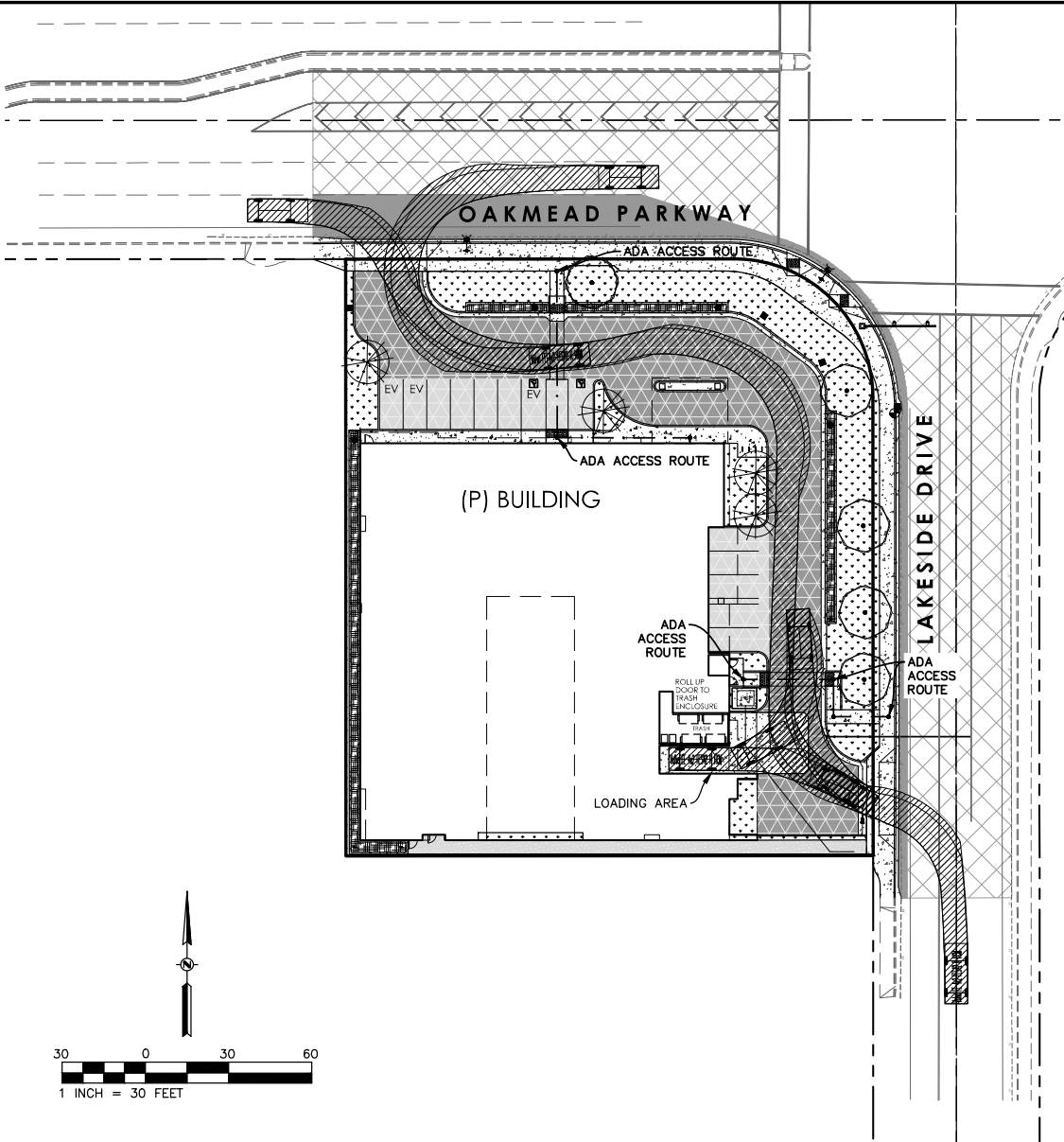
LEGEND:

ACCESSIBLE PATH OF TRAVEL

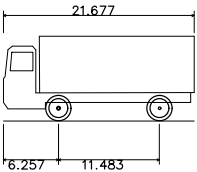


PEDESTRIAN CIRCULATION NOTES:

1. THE SCOPE OF PEDESTRIAN CIRCULATION SHOWN ON THE CIVIL PLANS IS FROM THE PUBLIC ROW TO THE BUILDING ENTRANCES.
2. SEE ARCHITECTURE PLANS FOR PEDESTRIAN PATHS OF TRAVEL WITHIN THE INTERIOR FOOTPRINT OF THE PROPOSED BUILDING.



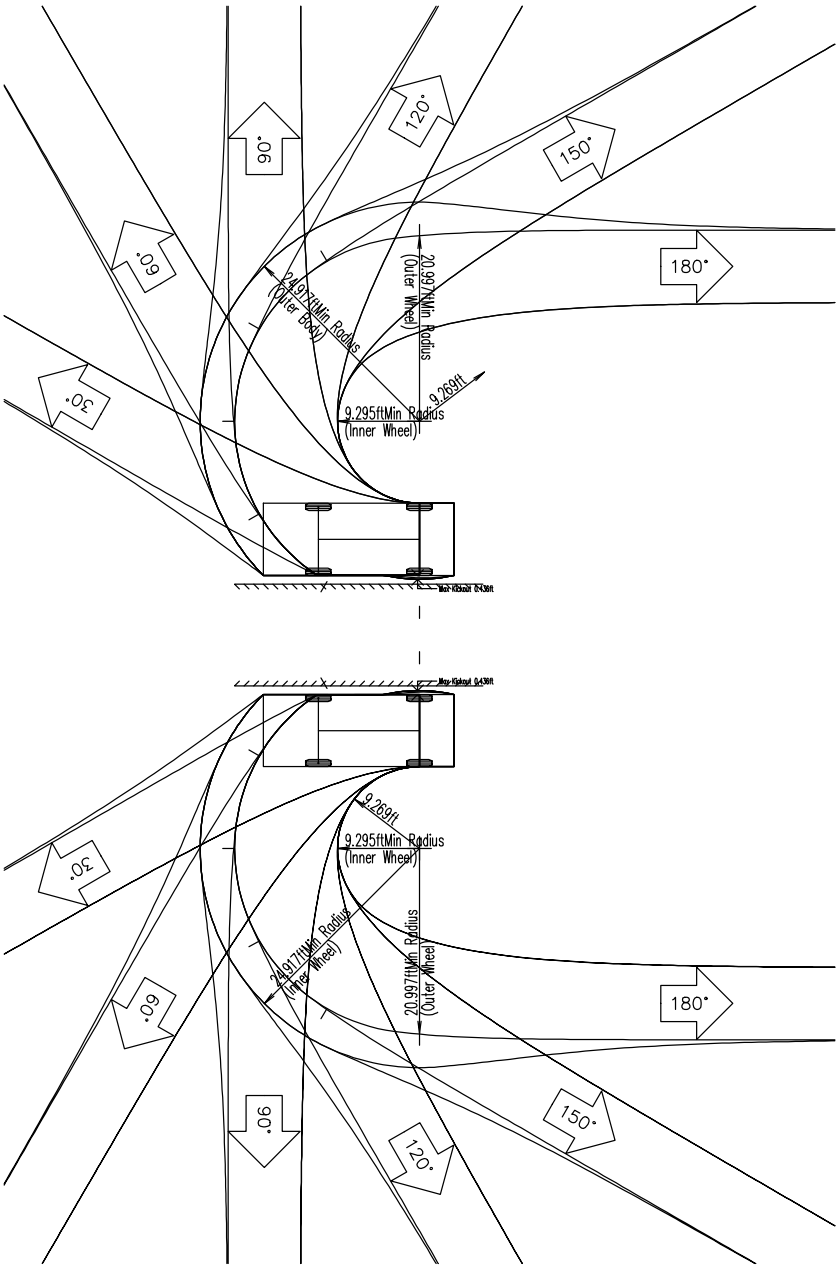
DELIVERY TRUCK	
Overall Length	21.677'
Overall Width	98.424'
Overall Body Height	9.606'
Min Body Ground Clearance	1.370'
Track Width	8.202'
Lock-To-Lock Time	6.00S
Curb To Curb Turning Radius	20.997'
Front Bumper To Front Axel	6.257'
Wheelbase	11.483'
Rear Axle To Rear Bumper	3.937'
GVW	39,683lbs



1  
C5.3

DELIVERY TRUCK ELEVATION VIEW

NTS



2  
C5.3

DELIVERY TRUCK TURNING TEMPLATES

SCALE: 1" = 10'

DRAWING SCALE NOTES:

1. PLAN VIEWS OF VEHICLE TRACKING/SWEEP PATHS ARE IN 1" = 30' SCALE.
2. VEHICLE ELEVATION VIEW DETAIL IS NTS (NOT TO SCALE)
3. TURNING TEMPLATES DETAIL IS IN 1" = 10' SCALE.



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STORMWATER CONTROL PLAN

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C6  
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## LEGEND

DRAINAGE  
MANAGEMENT AREA  
ID AND AREA

DMA-1  
1,000 SF

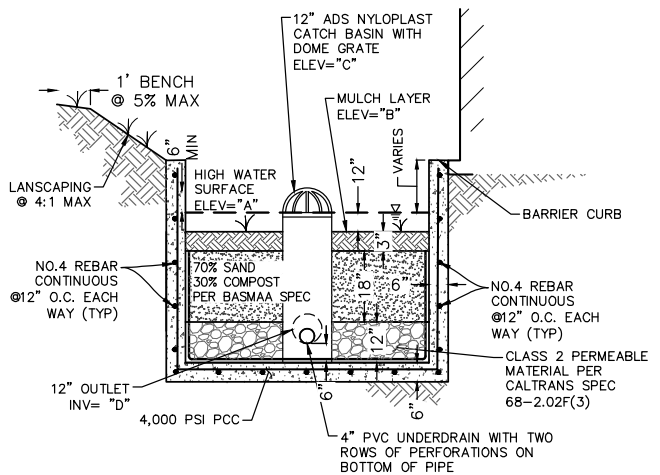
DRAINAGE  
MANAGEMENT AREA  
BOUNDARY

OVERLAND RELEASE

FLOW-THROUGH  
PLANTER BMP

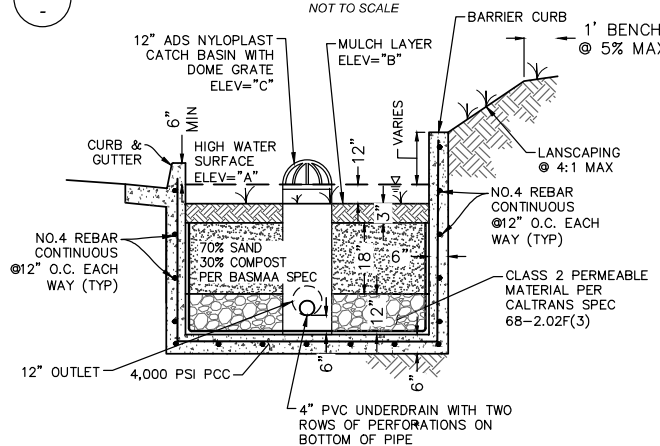
SURFACE FLOW  
DIRECTION

LANDSCAPING SEE  
PLANS BY OTHERS



NOTES:  
1. SEE LANDSCAPE PLANS FOR VEGETATION.  
2. PLANTING SURFACE SHALL BE LEVEL ACROSS EACH PLANTER.  
3. SEE PLAN FOR LOCATIONS OF UNDERDRAIN PIPE AND OUTLET CONTROL STRUCTURE.

## FLOW-THROUGH PLANTER 1 SECTION A



NOTES:  
1. SEE LANDSCAPE PLANS FOR VEGETATION.  
2. PLANTING SURFACE SHALL BE LEVEL ACROSS EACH PLANTER.  
3. SEE PLAN FOR LOCATIONS OF UNDERDRAIN PIPE AND OUTLET CONTROL STRUCTURE.

## FLOW-THROUGH PLANTERS 2, 3, AND 4 SECTION B

## FLOW-THROUGH PLANTERS

ID	ITEM	PLANTER 1	PLANTER 2	PLANTER 3	PLANTER 4
A	HIGH WATER SURFACE ELEVATION	30.60	30.40	30.23	29.5
B	TOP OF MULCH ELEVATION (BASIN FG)	29.60	29.40	29.23	28.50
C	OVERFLOW DRAIN GRATE ELEVATION	30.60	30.40	30.23	29.50

## Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information	Hampton Inn Sunnyvale	This calculation presented here are based on the combination flow and volume sizing method provided in the Countywide Program's C-3 Technical Guidance. The steps presented below are explained in Section 3.2 of the Guidance.
Project Name:	Hampton Inn Sunnyvale	
Site Address or APN:	244 05-011	
MAP:	34	- From Figure B-3 off Appendix B
MAP <sub>adj</sub> :	13.9	50 Airport Usage
Correction Factor:	1.01	= MAP <sub>adj</sub> / MAP

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)	
Name of DMA:	DMA-03
Type of Surface	Area (Sq. Ft.)
Impervious surface	5,922
Pervious surface	3,127
Total DMA Area (square feet)	9,049
% Impervious Area	65.46%

3.0 Calculate Unit Basin Storage Volume in Inches		
Average Slope for DMA	4%	
Unit basin storage volume	0.58	= From Figure B-2 in Appendix B
Adjusted Unit Basin Storage Vol	0.58	= (Unit Basin Storage Volume) x (Correction Factor)
BMP Design Volume (cubic feet)	441	= (Adjusted Unit Storage Vol) x (DMA Area)

4.0 Calculate the Duration of the Rain Event		
Rainfall intensity (in/hr)	0.2	= Per CASQA and C-3 Chapter 3
Rainfall Duration (hours)	2.92	= (Adjusted Unit Storage Vol)/(Rainfall Intensity)

7.0 Optimize Size of Treatment Measure		
Treatment Area (sf)	300	Final Flow-Through Planter Surface Area
Treated Runoff Volume (cf)	242	= (Treatment Area) x (5 in/hr infiltration) x (1hr/12in) x (Rainfall Duration)
Ponding Runoff Volume (cf)	197	= (BMP Design Vol) - (Treated Runoff Vol)
Ponding Depth (in)	11.81	= (Ponding Runoff) / (1% of DMA) -> Should be < 12"

Project Impervious and pervious areas					
	Pre-Project Impervious Surface (sq. ft.)	Existing Impervious Surface to be Retained (sq. ft.)	Existing Impervious Surface to be Removed (sq. ft.)	Pre-Project Pervious Surface (sq. ft.)	Post-Project Pervious Surface (sq. ft.)
Roof area(s)	5,922	0	4,444	12,243	18,887
Impervious sidewalks, patios, paths, driveways, streets	10,302	0	11,906	1,110	13,104
Impervious uncovered parking	7,530	0	1,304	118	1,422
<b>Totals:</b>	<b>23,754</b>	<b>0</b>	<b>17,654</b>	<b>13,471</b>	<b>31,213</b>
<b>1.B.1.f: Total Impervious Surface Replaced and Created: (Sum of totals for columns 1.B.1.c and 1.B.1.d):</b>					
<b>31213</b>					
Type of Pervious Surface	Pre-Project Pervious Surface (sq. ft.)	Post-Project Pervious Surface(s) (sq. ft.)			
Landscaping	11,818	8,681			
Pervious Paving	0	0			
Green Roof	0	2,903			
<b>Totals:</b>	<b>11,818</b>	<b>11,584</b>			
<b>Total Site Area (Total Impervious + Total Pervious)</b>	<b>40,470</b>	<b>40,477</b>			

## SOURCE CONTROL MEASURES

- MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
- PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER (OR PROHIBIT).
- RETAIN EXISTING VEGETATION AS PRACTICABLE.
- LANDSCAPING:
  - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
  - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
  - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
  - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
  - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:
  - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
  - ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
  - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.

## GENERAL STORMWATER NOTES:

- SEE THE GRADING, DRAINAGE, AND PAVING PLAN, SHEET C2, FOR ADDITIONAL DRAINAGE INFORMATION.
- SEE PROJECT DRAINAGE REPORT FOR PEAK FLOW CALCULATIONS.



Know what's below.  
Call before you dig.  
or (800) 227-2600



20 0 20 40  
SCALE: 1"=20'

## Worksheet for Calculating the Combination Flow and Volume Method

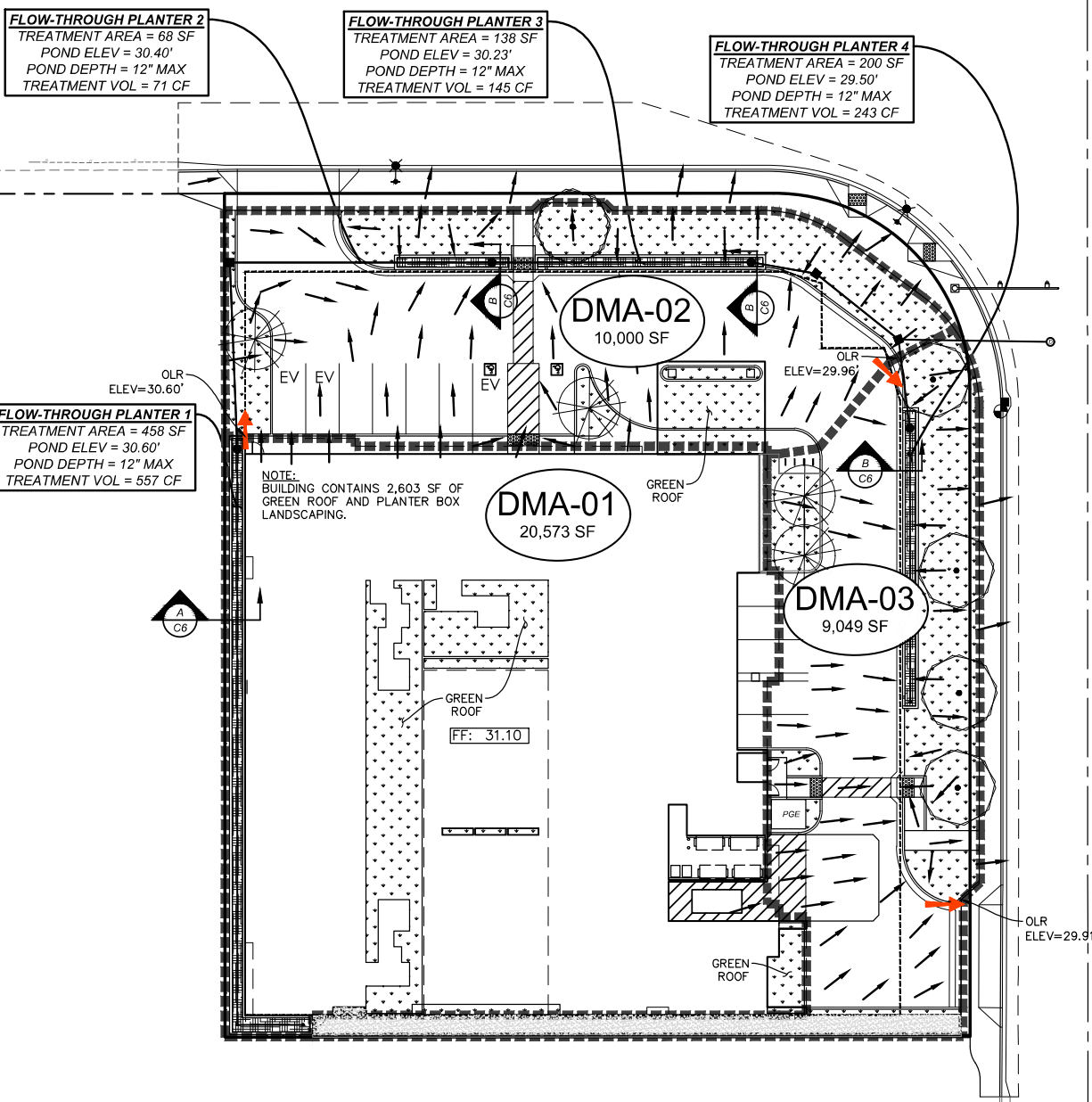
1.0 Project Information	Hampton Inn Sunnyvale	This calculation presented here are based on the combination flow and volume sizing method provided in the Countywide Program's C-3 Technical Guidance. The steps presented below are explained in Section 3.2 of the Guidance.
Project Name:	Hampton Inn Sunnyvale	
Site Address or APN:	244 05-011	
MAP:	34	- From Figure B-3 off Appendix B
MAP <sub>adj</sub> :	13.9	50 Airport Usage
Correction Factor:	1.01	= MAP <sub>adj</sub> / MAP

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)	
Name of DMA:	DMA-01
Type of Surface	Area (Sq. Ft.)
Impervious surface	17,796
Pervious surface	2,778
Total DMA Area (square feet)	20,573
% Impervious Area	86.51%

3.0 Calculate Unit Basin Storage Volume in Inches		
Average Slope for DMA	1%	
Unit basin storage volume	0.56	From Figure B-2 in Appendix B
Adjusted Unit Basin Storage Vol	0.56	= [Unit Basin Storage Volume] x [Correction Factor]
BMP Design Volume (cubic feet)	1001	= [Adjusted Unit Storage Vol] x [DMA Area]

4.0 Calculate the Duration of the Rain Event		
Rainfall intensity (in/hr)	0.2	Per CASQA and C-3 Chapter 3
Rainfall Duration (hours)	2.92	= (Adjusted Unit Storage Vol)/(Rainfall Intensity)

2.0 Optimize Size of Treatment Measure		
Treatment Area (sf)	458	= Final Flow-Through Planter Surface Area
Treated Runoff Volume (cf)	597	= (Treatment Area) x (5 in/hr infiltration) x (1ft/12in) x (Rainfall Duration)
Ponding Runoff Volume (cf)	444	= BMP Design Vol - (Treated Runoff Vol)
Ponding Depth (in)	11.64	= (Ponding Runoff) / (3% of DMA) --> Should be < 12"





LEGEND:

- DEMOLISH AND REMOVE
- DEMOLISH AND REMOVE UTILITY
- TREE REMOVAL

DEMOLITION KEYNOTES:

- REMOVE AND REPLACE EXISTING PAVEMENT FOR PROPOSED UTILITY CONNECTIONS - SEE SHEET C3 FOR IMPROVEMENTS. TRENCH RESTORATION IN CITY RIGHT OF WAY TO BE PER LATEST CITY STANDARDS.
- REMOVE AND REPLACE (E) PAVEMENT, CURB, GUTTER, AND SIDEWALK. RECONSTRUCT AND REPAVE PER LATEST IN CITY DESIGN STANDARDS.

DEMOLITION PLAN NOTES:

- SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND PORTLAND CEMENT CONCRETE SIDEWALKS AND CURB AND GUTTERS WITHIN THE LIMITS OF DEMOLITION. ENGINEER SHALL VERIFY LIMITS OF DEMOLITION, PROTECT EXISTING PAVEMENTS AND IMPROVEMENTS TO REMAIN.
- THE DISPOSAL OF ALL DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND IT SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. ANY PERMITS REQUIRED FOR SUCH DISPOSAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SAWCUT ASPHALT 2' MIN FROM (E) CURB, (P) CURB OR AS OTHERWISE SHOWN ON PLANS.
- ALL EXISTING STRIPING AND MARKINGS TO BE REMOVED SHALL BE REMOVED BY WET SANDBLASTING OR GRINDING. PAVEMENT LEGENDS AND ARROWS THAT ARE REMOVED SHALL BE REMOVED IN A BLOCK PATTERN. ALL STRIPING AND MARKING REMOVAL AREAS SHALL BE TREATED WITH AN APPROVED PAVEMENT SEALER.
- REMOVE EXISTING VEGETATION, MULCH, IRRIGATION, AND OTHER AS REQUIRED IN AREA OF PROJECT IMPROVEMENTS. CAP AND RELOCATE IRRIGATION AS NEEDED. SEE LANDSCAPE PLANS.
- EXISTING FACILITIES (e.g. IRRIGATION, ELECTRICAL) TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. SEE APPLICABLE LANDSCAPE, ELECTRICAL AND ARCHITECTURAL PLANS.
- REMOVE EXISTING PCC TO LIMITS SHOWN. SAWCUT AT EXISTING SCORE AND/OR EXPANSION JOINTS WHEN POSSIBLE.
- ANY WORK IN THE CITY / COUNTY ROW SHALL REQUIRE A TRAFFIC CONTROL PLAN PRIOR TO THE ISSUANCE OF ANY PERMIT.
- ANY PAVEMENT CUT AND REPAIR WITHIN THE CITY / COUNTY ROW SHALL BE REPAIRED PER CITY / COUNTY STANDARDS.
- THE CONTRACTOR SHALL COMPLY WITH PROVISIONS OF THE SAFETY AND HEALTH REGULATION FOR CONSTRUCTION, PROMULGATED BY THE SECRETARY OF LABOR UNDER SECTION 107 OF THE CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (40 USC 327 ET SEQ.) AS SET FORTH IN TITLE 29, C.F.R., CAL/OSHA, AND THE REGULATIONS ISSUED THEREUNDER. COMPLIANCE SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CURRENT CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS, (CCR) TITLE 24, PART9, ARTICLE 87 - FIRE SAFETY DURING CONSTRUCTION ALTERATION OR DEMOLITION OF A BUILDING, SECTION 8706 - FIRE SAFETY DURING DEMOLITION.
- CONTRACTOR SHALL PREPARE A DEMOLITION PLAN SCHEDULE TO IDENTIFY THE SEQUENCE OF SUCH WORK AND SUPPORTING DOCUMENTATION INCLUDING A RECYCLING PLAN, ANTICIPATED HAZARDOUS MATERIALS AND ABATEMENT PROCEDURES, NAME AND CERTIFICATION FOR THE INTENDED DISPOSAL AND/OR RECYCLING FACILITIES, AND DEMOLITION SAFETY PLAN. CONTRACTOR SHALL SCHEDULE ALL WORK TO COINCIDE WITH NEW CONSTRUCTION, MOVING AND FACILITY OCCUPANCY. DEMOLITION PLAN SHALL BE ACCEPTED BY THE OWNER PRIOR TO COMMENCING DEMOLITION WORK OF EXISTING STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE 72 HOUR NOTICE TO THE OWNER AND ANY AFFECTED UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITIES.
- EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES TO BE DEMOLISHED.
- PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES, AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. PROVIDE TEMPORARY IRRIGATION WHEN IRRIGATION SUPPLY TO BE DISRUPTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, AND PROTECTION OF ADJACENT UNDERGROUND UTILITIES. CONTRACTOR SHALL PROVIDE BRACING AND SHORING WHEN REQUIRED.
- EXISTING UTILITIES TO BE REMOVED: DEMOLISH AND REMOVE EXISTING BELOW GRADE UTILITIES UNLESS OTHERWISE NOTED.
- REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE. STORE AND PROTECT.
- BACKFILL OPEN PITS AND HOLES CAUSED AS A RESULT OF DEMOLITION WITH EXCESS SOIL ON SITE PER RECOMMENDATIONS CONTAINED IN THE SOILS REPORT FOR BACKFILL MATERIAL.
- UNIFORMLY ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF CONSTRUCTION AREA AND PROTECTION OF PUBLIC SAFETY DURING ALL TIMES DURING DEMOLITION WORK.
- HAZARDOUS MATERIALS:  
A. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS, PROCEDURES, AND ABATEMENT SPECIFICATIONS FOR THE SAFE REMOVAL OF HAZARDOUS WASTE MATERIALS.  
B. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. NOTIFY ENGINEER & ARCHITECT.  
C. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.
- PROTECT (E) IRRIGATION AND MAINTAIN TO ALL LANDSCAPE AREAS NOT DISTURBED BY THE PROJECT DURING CONSTRUCTION.

NOTES:

- SEE NOTICE TO CONTRACTOR ON SHEET C1 FOR POTHOLES RECOMMENDATIONS.
- GEOTECHNICAL RECOMMENDATIONS FOR SITE WORK SHALL BE IMPLEMENTED. SEE SHEET C1 FOR GEOTECHNICAL REPORT INFORMATION.

PROTECT-IN-PLACE KEYNOTES:

- PROTECT-IN-PLACE TREE. ESA FENCING TO BE PLACED AROUND PERIMETER OF TREE BELOW DRIPLINE DURING CONSTRUCTION.
- PROTECT-IN-PLACE UTILITY BOX. RAISE TO FINISHED GRADE WITH PROPOSED IMPROVEMENTS. TRAFFIC RATED (H20) COVER TO REPLACE EXISTING COVER, IF NECESSARY.
- PROTECT-IN-PLACE WATER LINE DURING CONSTRUCTION.
- PROTECT-IN-PLACE/RECONSTRUCT (E) CITY BENCHMARK PER LATEST CITY STANDARD.
- PROTECT ALL EXISTING STREETLIGHT CONDUITS AND CONDUCTORS AND REPLACE ALL EXISTING PULL BOXES ALONG THE ENTIRE PROJECT FRONTAGE. ANY DAMAGES TO THE EXISTING CONDUIT SHALL BE REPLACED IN KIND FROM STREETLIGHT PULL BOX TO STREETLIGHT PULL BOX LOCATED NORTH OF THE PROJECT FRONTAGE AND WEST OF THE PROJECT FRONTAGE.

ECI FOUR OAKMEAD, LLC  
APN: 216-44-124  
ZONING: MS  
7.93 ACRES

BPR PROPERTIES  
APN: 216-44-048  
ZONING: MS  
0.92 ACRES

DIONEX CO.  
APN: 216-44-115  
ZONING: MS  
4.46 ACRES



Know what's below.  
Call before you dig.  
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NOT FOR CONSTRUCTION

NO.	CHECK	BY	DESIGN	DATE	REVISION
1	SBS	KSD	DESIGN		
2	SBS	KSD	DRAWN		
3			QUANT.		



BPR PROPERTIES  
953 INDUSTRIAL AVE, ST 700  
PALO ALTO, CA 94303  
PERRY PATEL  
PPATEL@BPRPROPERTIES.COM

HAMPTON INN SUNNYVALE  
1220 OAKMEAD PARKWAY  
SUNNYVALE, CA 94085  
DEMOLITION PLAN

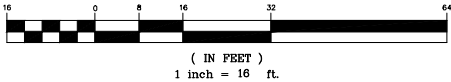
Sheet  
C7  
10 of 10  
08/02/2022





CONTOUR INTERVAL: 1'

GRAPHIC SCALE



LEGEND

AC	ASPHALT CONCRETE
BM	BENCHMARK
BOL	BOLLARD
CONC	CONCRETE
ELEC	ELECTRIC
ESMT	EASEMENT
FF	FINISHED FLOOR
FL	FLOWLINE
G	GAS
GM	GAS METER
PB	PACBELL
PGE	PACIFIC GAS & ELECTRIC
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TSB	TRAFFIC SIGNAL BOX
UNKN	UNKNOWN
UTIL	UTILITY
VL	VAULT
W	WATER
WM	WATER METER
L.M.E	LANDSCAPE & MAINTENANCE EASEMENT
P.U.E	PUBLIC UTILITIES EASEMENT
---	SUBJECT PROPERTY LINE
---	CENTERLINE
---	EASEMENT LINE
---	EDGE OF PAVEMENT
---	FLOWLINE
40	EXISTING GROUND CONTOUR & ELEV.
X28.23	EXISTING GROUND SPOT ELEVATION
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
⊙	WATER VALVE
BM	CITY OF SUNNYVALE BENCHMARK NO. 53: BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN OF INTERSECTION AT OAKMEAD PARKWAY AND LAKESIDE DRIVE. ELEVATION=29.42'

I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN AUGUST, 2021, THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND DO NOT REFLECT A BOUNDARY SURVEY UNLESS SPECIFICALLY NOTED HEREON, AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.

SITE NOTES 1220 OAKMEAD PARKWAY  
APN 216-44-048

40313.5 sq.ft.  
±0.93 ACRES

1220 OAKMEAD PARKWAY  
TOPOGRAPHIC SURVEY  
SUNNYVALE, CALIFORNIA

DATE	8/24/2021
SCALE	1"=16'
DRAWN	SC
JOB NO.	9-2244
DWG	1
SHEET 1	OF 1



Preliminary Plant Material

TREES

*Platanus acerifolia* 'Columbia' / London Plane Tree 36" Box size  
*Quercus shumardii* / Shumard Oak 36" Box Size  
*Tristania conferta* / Brisbane Box 36" Box Size  
*Photinia fraseri* STD / Standard Photinia 15gal Size

Platanus and Quercus trees have been selected from the Canopy Tree Library:  
<http://www.sunnyvalletrees.org/tree-selection-and-care/> Selected trees were chosen based on site criteria: Low - Moderate Water Use, Fast Growth Rate, Large Canopy, and planter size for each respective tree selected.

SHRUBS AND GRASSES - 5 Gallon Minimum Size. Low Water Use

*Arctostaphylos* 'Sunset' / Sunset Manzanita  
*Ceanothus* 'Julia Phelps' / Small Leaf Mountain Lilac  
*Olea europaea* 'Little Ollie' / Dwarf Olive  
*Perovskia* 'Blue Spire' / Blue Spire Russian Sage  
*Phormium* 'Sundowner' / Sundowner New Zealand Flax  
*Rosmarinus officinalis* 'Tuscan Blue' / Rosemary

GROUNDCOVERS - 1 Gallon Minimum Size. Low Water Use.

*Dianella revoluta* 'Little Rev' / Little Rev Flax Lily  
*Leymus condensatus* 'Canyon Prince' / Canyon Prince Wild Rye  
*Myoporum parvifolium* 'Putah Creek' / Creeping Myoporum  
*Salvia* x 'Heatwave Blaze' / Heatwave Blaze Sage  
*Westringia* 'Blue Gem' / Blue Gem Westringia

BIO RETENTION PLANT MATERIAL - 1 Gallon Minimum Size

*Carex divulsa* / Berkeley Sedge  
*Chondropetalum tectorum* / Small Cape Rush  
*Juncus patens* 'Elk Blue' / Elk Blue California Gray Rush  
*Rosa californica* / California Wild Rose

Note: Refer to Civil Plans for Bioretention areas

GREEN ROOF / LIVE ROOF PLANTERS - flats and plug sizes.

*Agrostis pallens* / Bent Grass  
*Sedum* species: *sedum sarmentosum*, *sedum ternatum*  
*Allium* species  
*Carex* species  
*Tulbagia violacea* / Society Garlic

REFER TO L3 FOR LIVE ROOF DETAIL

WATER CONSERVATION NOTES

Planting and irrigation shall be designed to conserve water. The following factors have been incorporated to aid in the success of the project landscape:

1. Irrigation system to be a fully automatic underground system utilizing either low-precipitation spray heads, bubblers, or drip emitters, or a combination thereof. Irrigation hydrozones shall be separated with control valves and controller stations into appropriate and compatible zones.
2. Irrigation controller shall be weather (E.T.) based and designed to automatically adjust irrigation in response to changes in the plant's water needs as weather conditions change.
3. Plant materials proposed are selected for their compatibility to climatic and site conditions, resistance to wind, and drought tolerance.
4. All planters shall be mulched with a 3" minimum layer of organic mulch throughout.
5. Plant materials proposed shall be grouped into distinct hydrozones utilizing plants with similar water needs.
6. Water needs of plant material proposed have been evaluated utilizing the WUCOLS Project (Water Use Classification of Landscape Species) prepared by the University of California Cooperative extension, February 1992. All plant materials proposed are selected for low to moderate water needs in this climate.



*Lomandra* 'Arctic Frost' / Arctic Frost Ma; Rush



*Westringia* 'Blue Gem' / Blue Gem Westringia



*Salvia* x 'Heatwave Blaze' / Heatwave Blaze Sage



*Arctostaphylos* 'Sunset' / Sunset Manzanita



*Phormium* 'Sundowner' / Sundowner Flax



*Ceanothus* 'Julia Phelps' / Small Leaf Mountain Lilac



*Quercus shumardii* / Shumard Oak  
Proposed Parking Lot Tree



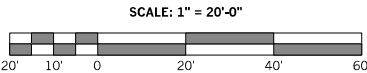
*Platanus acerifolia* 'Columbia' / London Plane Tree  
Proposed Parking Lot Tree



Schematic Landscape Plan

Sunnyvale Hotel

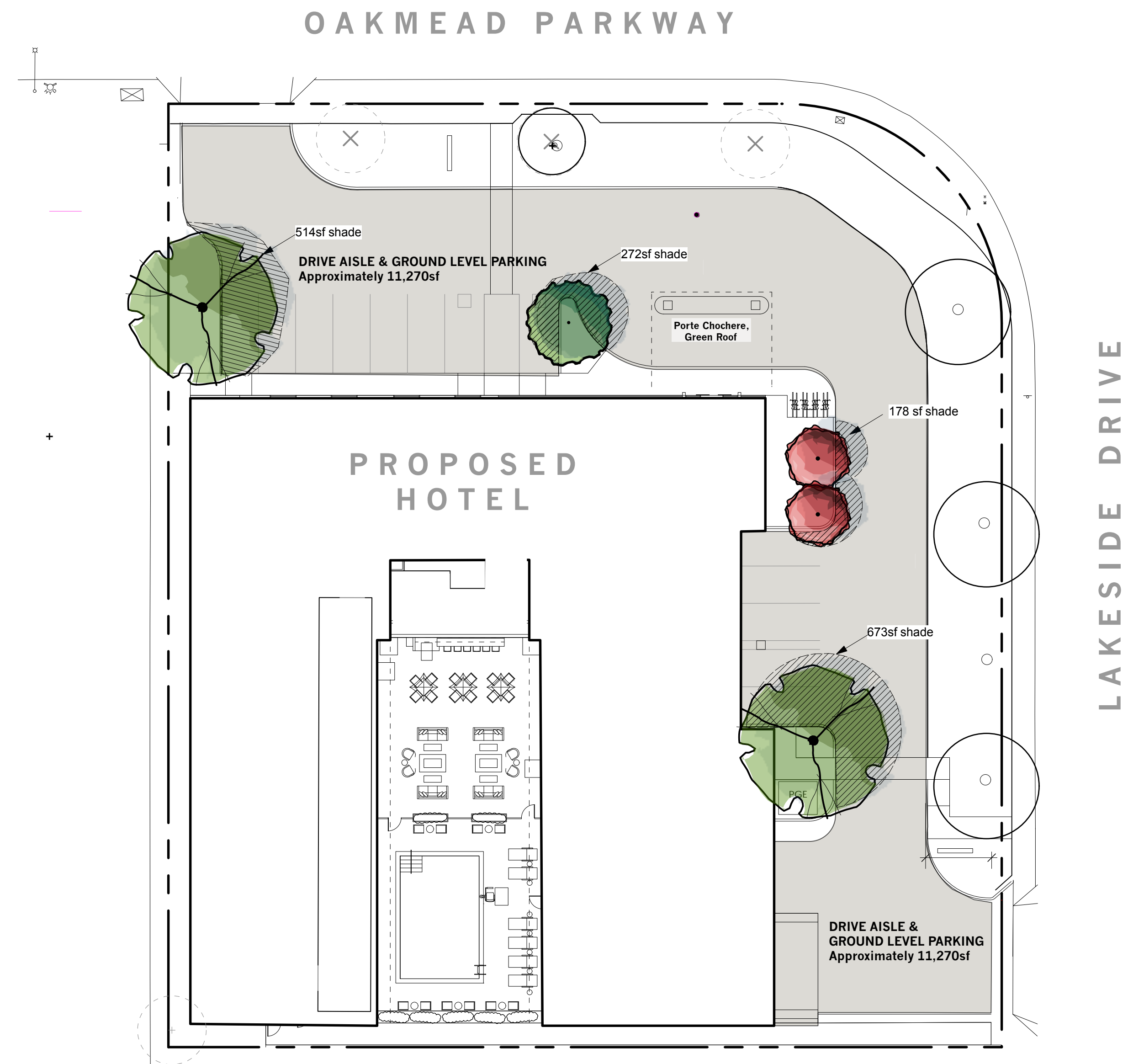
1220 Oakmead Parkway, Sunnyvale, CA 94085



EXHIBIT

L1







**City of Sunnyvale  
Landscape Area / Parking Lot Shading Calculation Notes**

- A. TOTAL DRIVE AISLE & GROUND LEVEL PARKING AREA: 11,270SF  
COOL PAVEMENT TECHNOLOGY SHALL BE APPLIED
- B. TOTAL SHADE AREA 1,637 SF (14.5%)

**Shade Exhibit Legend**

-  Drive aisle and ground level parking area shaded by tree canopy is 1,637 SF
-  Drive aisle and ground level parking area. Cool Pavement surface.



# Schematic Shading Exhibit

Sunnyvale Hotel  
1220 Oakmead Parkway, Sunnyvale, CA 94085

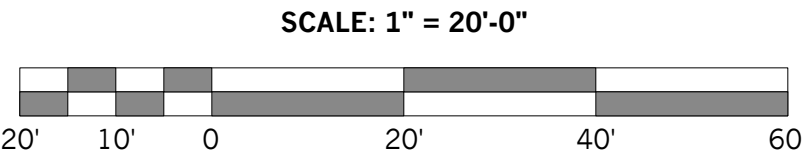


EXHIBIT  
**L2**



Preliminary Plant Material



**GREEN ROOF / LIVE ROOF PLANTERS** - flats and plug sizes.  
*Agrostis pallens*: Bent Grass  
*Sedum* species: *sedum sarmentosum*, *sedum ternatum*  
*Allium* species  
*Carex* species  
*Tulbagia violacea* / Society Garlic

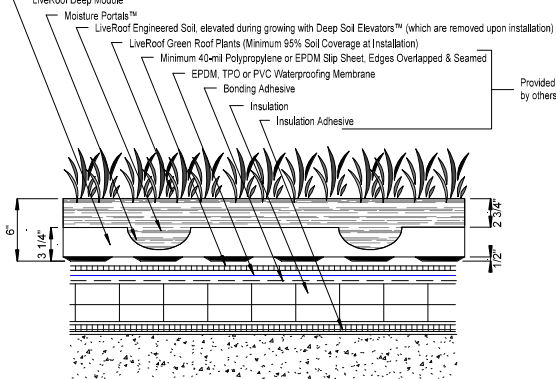
Live Roof Planter Detail

LiveRoof System modular trays shall be installed at proposed green roof areas. Second Floor and Sixth Floor green roof landscape areas are passive outdoor space for hotel guests.

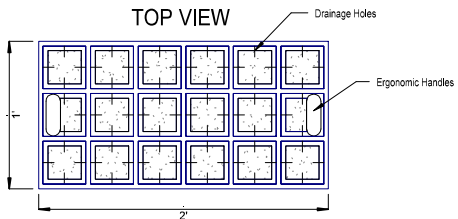
LiveRoof DEEP SYSTEM

Over Conventional Roofing Assembly

SIDE VIEW



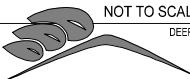
TOP VIEW



LiveRoof System Saturated Weight: 40-50 lbs / sf

ILLUSTRATIONS ARE TO CONCEPTUALLY ASSIST PROFESSIONALS IN DESIGNING LIVEROOF INSTALLATIONS. LIVEROOF DOES NOT ACCEPT RESPONSIBILITY FOR ENGINEERING BASED ON ILLUSTRATIONS. A QUALIFIED ROOFING SPECIALIST SHOULD BE CONSULTED TO DETERMINE APPROPRIATE WATERPROOFING AND ROOF DECK MATERIALS AND SUITABLE DESIGN.

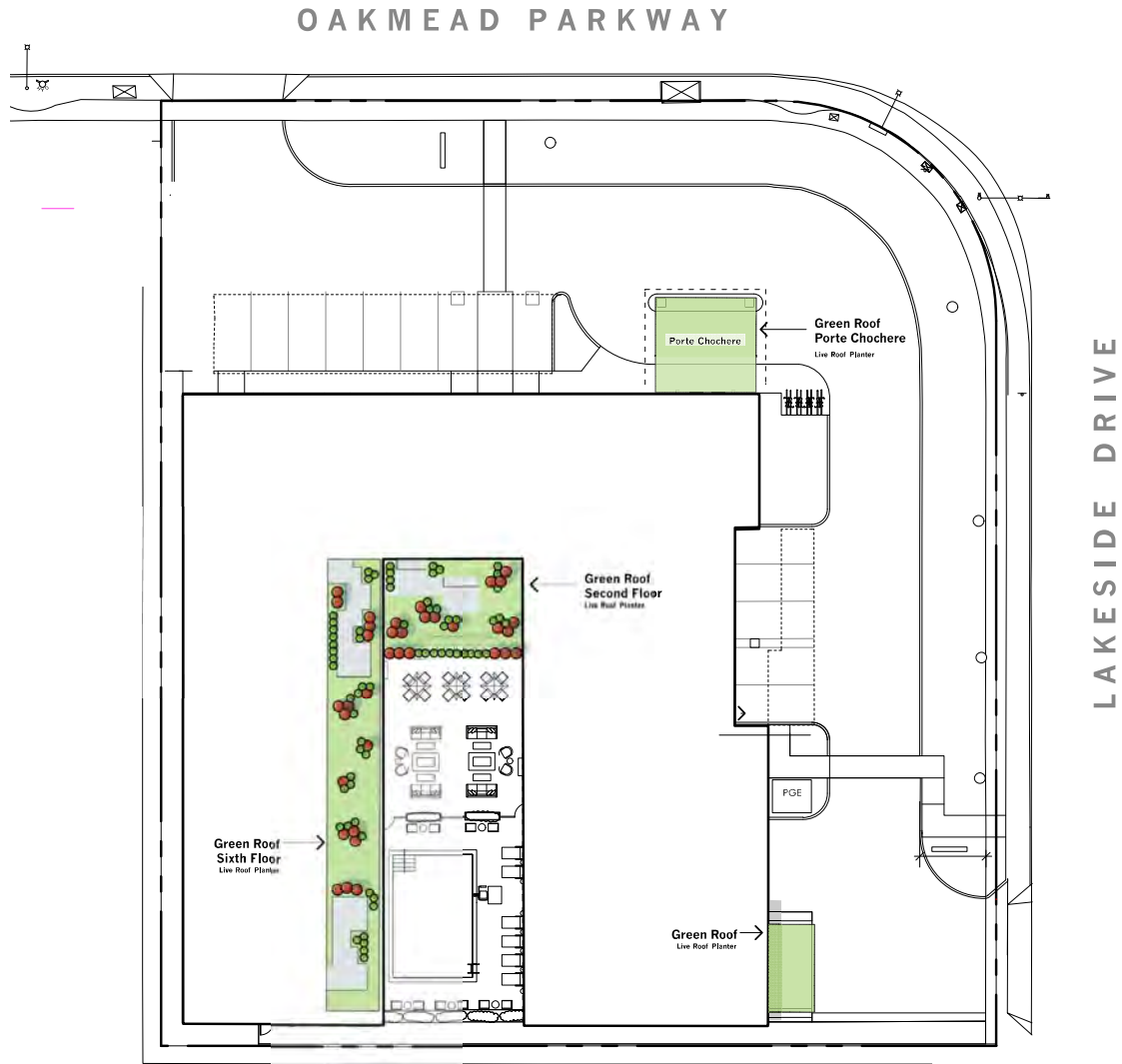
NOT TO SCALE



**LiveRoof**

LiveRoof, LLC  
P.O. Box 533  
Spring Lake, MI 49456

(800) 875-1392  
www.liveroof.com



Character Image: Green Roof Landscape



Character Image: Green Roof Landscape



Schematic Landscape Plan- Green Roof

Sunnyvale Hotel

1220 Oakmead Parkway, Sunnyvale, CA 94085

EXHIBIT

L3

