

ABBREVIATIONS

AB	ANCHOR BOLT	O/	OVER
AC	ASPHALT CONCRETE	OC	ON CENTER
AD	AREA DRAIN	OH	OVERHEAD
ADJ.	ADJACENT	OPNG.	OPENING
AFF	ABOVE FINISH FLOOR	PL.	PLATE
ALUM.	ALUMINUM	PLF	POUNDS PER LINEAL FOOT
ALT.	ALTERNATE	PLAM.	PLASTIC LAMINATE
ARCH.	ARCHITECT/ARCHITECTURAL	PLYWD.	PLYWOOD
AVG.	AVERAGE	PNT.	PAINT
AWC	ACOUSTICAL WALL COVERING	PSF	POUNDS PER SQUARE FOOT
BD.	BOARD	PSI	POUNDS PER SQUARE INCH
BLDG.	BUILDING	PT	PRESSURE TREATED
BLKG.	BLOCKING	PVC.	POLYVINYLCHLORIDE
BRZ.	BRONZE	PVMT.	PAVEMENT
BTM.	BOTTOM	RA	RETURN AIR
BTWN.	BETWEEN	RAD.	RETURN AIR
BUR	BUILT UP ROOFING	RB	RUBBER BASE
BW	BOTH WAYS	RCF	REFLECTED CEILING PLAN
CB	CATCH BASIN	RD	ROOF DRAIN
CF	CUBIC FEET	RWD.	REDWOOD
CG	CORNER GUARD	REF.	REFERENCE
CJ	CONTROL JOINT	REFR.	REFRIGERATOR
CLKG.	CAULKING	REG.	REGISTER
CLG.	CELLING	REQD.	REQUIRED
CLR.	CLEAR	REV.	REVISION
CMU	CONCRETE MASONRY UNIT	RM.	ROOM
CO.	CLEANOUT	RO	ROUGH OPENING
COTG.	CLEANOUT TO GRADE	RWL	RAINWATER LEADER
COL.	COLUMN	SCHED.	SCHEDULE
CONC.	CONCRETE	SD	STORM DRAIN
CONT.	CONTINUOUS	SEC.	SECTION
CPT.	CARPET	S.E.D	SEE ELECTRICAL DRAWINGS
CT	CERAMIC TILE	SF	SQUARE FOOT
CTR.	CENTER	S.F.S.D.	SEE FOOD SERVICE DRAWINGS
CW	COLD WATER	SHTG.	SHEATHING
DBL.	DOUBLE	SHWR.	SHOWER
DEPT.	DEPARTMENT	SIM.	SIMILAR
DF.	DOUGLAS FIR	S.M.D.	SEE MECHANICAL DRAWINGS
DIA.	DIAMETER	SPEC.	SPECIFICATION
DIAG.	DIAGONAL	S.P.D.	SEE PLUMBING DRAWINGS
DIM.	DIMENSION	S.S.D.	SEE STRUCTURAL DRAWINGS
DISP.	DISPENSER	S.S.	STAINLESS STEEL
DL	DEAD LOAD	SS	SOLID SURFACE
DN.	DOWN	S.T.C.	SOUND TRANSMISSION COEFFICIENT
DR.	DOOR	STD.	STANDARD
DWG.	DRAWING	STL.	STEEL
DW	DISHWASHER	STRUCT.	STRUCTURAL
(E)	EXISTING	SUSP.	SUSPENDED
EA.	EACH	SYS.	SYSTEM
EB.	EXPANSION BOLT	T.	TEMPERED
EIFS	EXTERIOR INSULATION FINISH SYSTEM	TEL.	TELEPHONE
EJ.	EXPANSION JOINT	T.O.C.	TOP OF CURB
ELEC.	ELECTRIC/ELECTRICAL	T&G	TONGUE & GROOVE
ELEV.	ELEVATOR/ELEVATION	TS	TUBE STEEL
EN.	EDGE NAILING	T.V.	TELEVISION
ENCL.	ENCLOSURE	TYP.	TYPICAL
EP.	ELECTRICAL PANEL	U.O.N.	UNLESS OTHERWISE NOTED
EQUIP.	EQUIPMENT	VCT	VINYL COMPOSITION TILE
EXT.	EXTERIOR	VENT.	VENTILATION/VENTILATOR
FA.	FIRE ALARM	VERT.	VERTICAL
FD	FLOOR DRAIN	V.I.F.	VESTIBULE
FDC	FIRE DEPARTMENT CONNECTION	W/	WITH
FE	FIRE EXTINGUISHER	WC	WATER CLOSET
FEC	FIRE EXTINGUISHER CABINET	WD.	WOOD
FF	FINISH FLOOR	WH	WATER HEATER
FH	FIRE HYDRANT	WDW.	WINDOW
FHC	FIRE HOSE CABINET	W/O	WITHOUT
FIN.	FINISH	WP.	WATERPROOF
FL	FLOW LINE	WSC.	WAINSCOT
FLSHG.	FLASHING	WT.	WEIGHT
FLR.	FLOOR	WWF	WELDED WIRE FABRIC
FLUOR.	FLUORESCENT		
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FOW	FACE OF WALL		
FRP	FIBERGLASS REINFORCED PLASTIC		
FRMG.	FRAMING		
FT.	FOOT		
FTG.	FOOTING		
GA.	GAUGE		
GALV.	GALVANIZED		
GC	GENERAL CONTRACTOR		
GLB	GLUE LAMINATED BEAM		
GRDR.	GIRDER		
GSM	GALVANIZED SHEET METAL		
GWB	GYPSUM WALL BOARD		
HB	HOSE BIBB		
HD	HOLD/DOWN		
HDR.	HEADER		
HGR.	HANGER		
HM.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR.	HOUR		
HT.	HEIGHT		
HVAC	HEATING/VENTILATING/AIR CONDITIONING		
HW	HOT WATER		
IN.	INCH/INCHES		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		
JT.	JOINT		
KP	KICK PLATE		
KIT.	KITCHEN		
LAV.	LAVATORY		
LB	LAG BOLT		
LBS	POUND		
LF	LINEAR FOOT		
LL	LIVE LOAD		
LS	LAG SCREW		
LVL	LAMINATED VENEER LUMBER		
MAX.	MAXIMUM		
MB	MACHINE BOLT		
MECH.	MECHANICAL		
MFD.	MANUFACTURED		
MFR.	MANUFACTURER		
MICRO.	MICROWAVE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTD.	MOUNTED		
MTL.	METAL		
(N)	NEW		
NIC	NOT IN CONTRACT		
NA	NOT APPLICABLE		
NTS	NOT TO SCALE		

RESIDENTIAL BUILDING PERMIT FOR: FANUCCHI RESIDENCE

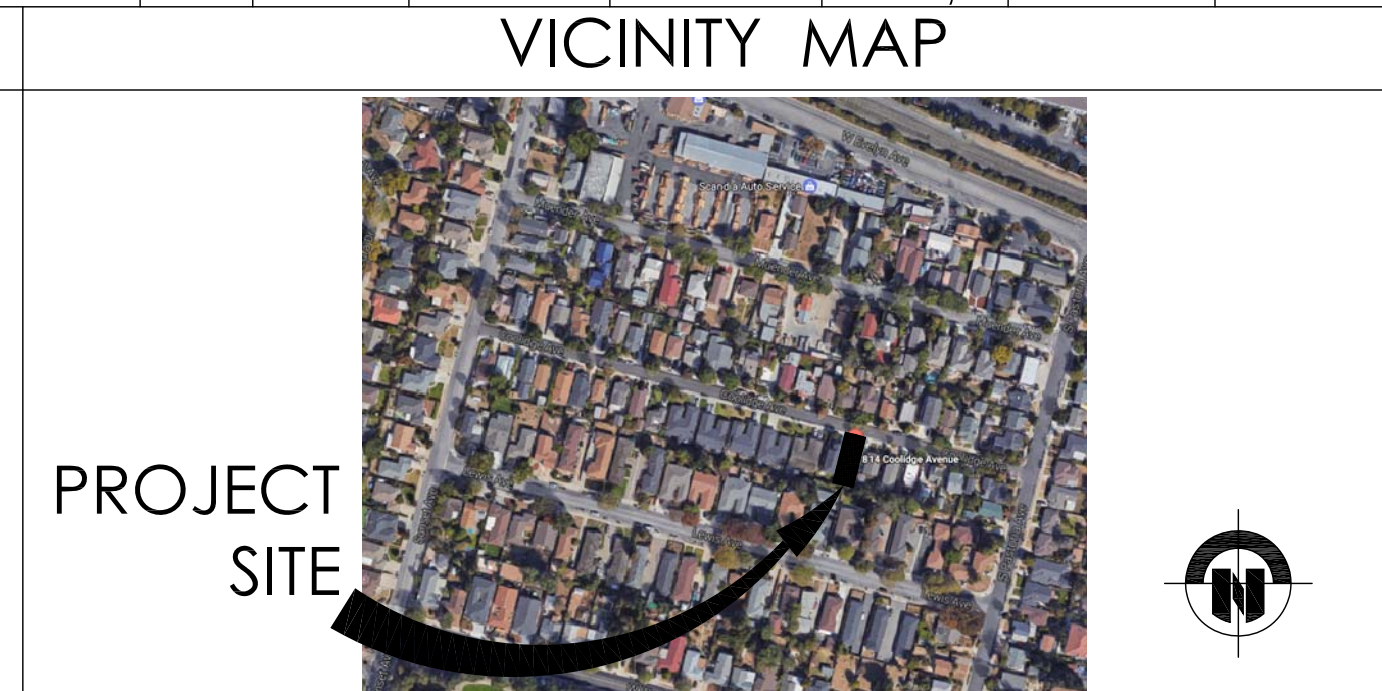
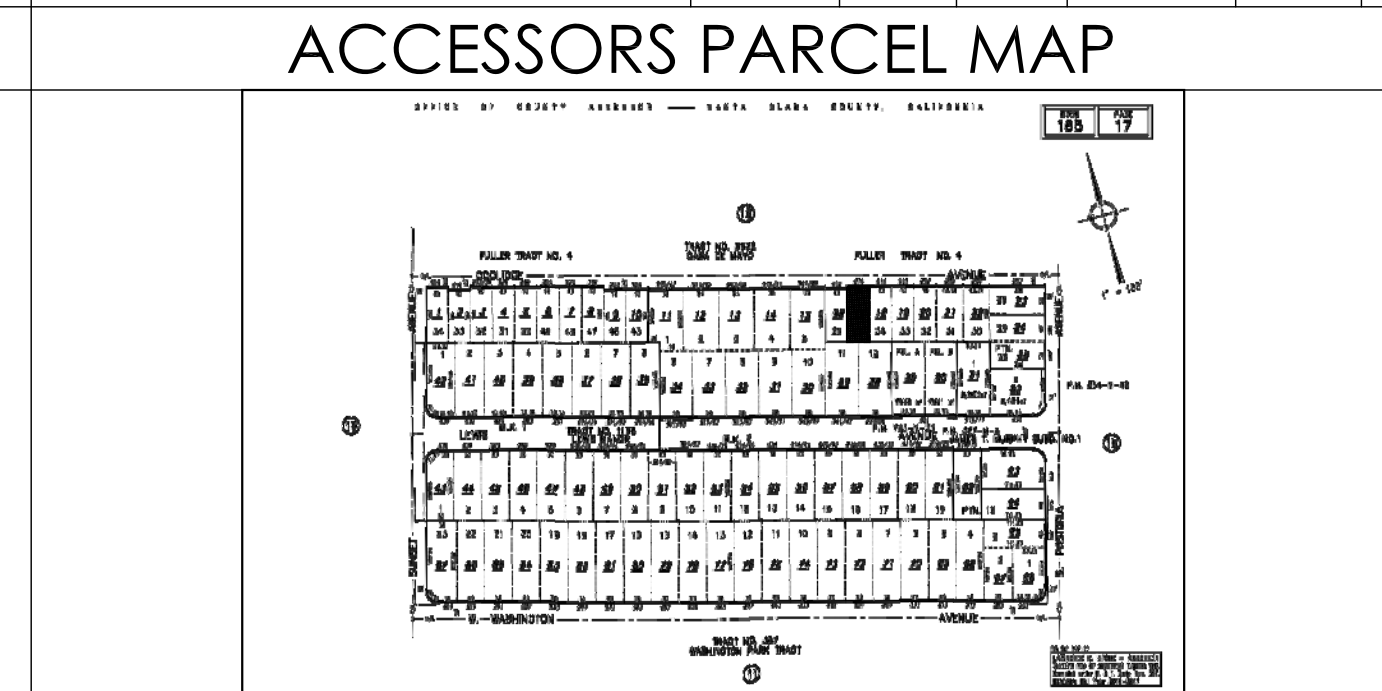
814 COOLIDGE AVENUE SUNNYVALE, CA 94086

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CONSULTANTS		DRAWING INDEX		PROJECT DATA									
CLIENT RAQUEL AND JOE FANUCCHI 814 COOLIDGE AVENUE SUNNYVALE, CA 94086		ARCHITECT DAN STARK 111 W. ST. JOHN ST. STE 950 SAN JOSE, CA 95113		ARCHITECTURAL A0.1 COVER SHEET & GENERAL NOTES A1.1 DEMO AND NEW SITE PLAN A1.2 SITE ANALYSIS A2.1 DEMO AND NEW FLOOR PLAN A3.1 RCP, INTERIOR ELEVATION, FLOOR AREA DIAGRAM, ELEVATIONS, DOOR AND WINDOW SCHEDULE SECTIONS A7.1 A7.2		APN :..... 165-17-017 NO. OF STORIES..... 1 TYPE OF CONSTRUCTION..... TYPE V-B CODES USED..... 2016: C.B.C., C.P.C., C.M.C., C.E.C., C.F.C., CALIFORNIA ENERGY CODE, CAL GREEN BUILDING STANDARDS CODE, AND ADOPTED CODES							
SCOPE OF WORK <ul style="list-style-type: none"> DEMOLITION OF EXISTING HOUSE AND GARAGE NEW HOUSE AND UNCONDITIONED GARAGE GENERAL SITE AND LANDSCAPING ASSOCIATED WITH NEW WORK 				EXISTING ZONING: R2 LOT SIZE: 4,000 SF LIVING AREA: 1,069 SF GARAGE: 351 SF ACCESSORY STRUCTURE: 351 SF FAR: 35% LOT COVERAGE: 1,577 SF LANDSCAPING: 1,416 SF FRONT SETBACK: 15'-0" SIDE SETBACK: 3'-2" & 9'-10" REAR SETBACK: 29'-0" HEIGHT: N/A		PROPOSED ZONING: R2 LOT SIZE: 3,800 SF (200 SF LOST TO DEDICATION /R.O.W.) LIVING AREA: 1,640 SF GARAGE: 323 SF ACCESSORY STRUCTURE: N/A FAR: 1963/4000 = 49% LOT COVERAGE: 2,063 SF LANDSCAPING: 1,309 SF (200 SF LOST TO DEDICATION /R.O.W.) FRONT SETBACK: 10'-0" (5'-0" LOST TO DEDICATION /R.O.W.) SIDE SETBACK: 3'-2" & 4'-0" REAR SETBACK: 20'-0" HEIGHT: 21'-10"		TITLE 19 REQUIREMENTS ZONING: R2 LOT SIZE: 8,000 SF LIVING AREA: N/A GARAGE: N/A ACCESSORY STRUCTURE: N/A FAR: 45% LOT COVERAGE: N/A LANDSCAPING: N/A FRONT SETBACK: 20'-0" SIDE SETBACK: 4'-0" MIN. (TOTAL OF 10'-0") REAR SETBACK: 20'-0" HEIGHT: 30'-0" MAX.					

MATERIAL SYMBOLS	
	BASE ROCK
	CONCRETE
	EARTH (SECTION)
	EXISTING WALL SECTION
	WOOD MEMBER (BLOCKING)
	WOOD MEMBER (CONTINUOUS, NOMINAL SIZE INDICATED)
	PLYWOOD
	GYPSUM WALL BOARD SECTION
	METAL (STEEL OR IRON)
	RIGID INSULATION BOARD OR TILE



FIRE DEPARTMENT NOTES	
1.	APPROVED ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTAGE & SHALL CONTRAST W/ THEIR BACKGROUND
2.	PROVIDE AN EMERGENCY TELEPHONE ON THE JOB PRIOR TO ANY CONSTRUCTION
3.	A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK
4.	A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK
5.	KNOX BOX IS RECOMMENDED FOR BUILDINGS & REQUIRED FOR ALL FIRE DEPARTMENT ACCESS GATES. CONTACT LOCAL FIRE DEPARTMENT FOR ADDITIONAL INFORMATION
6.	FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE MAINTAINED CLEAR & UNOBSTRUCTED. PROVIDE PROPER FIRE LANE SIGNAGE & CURB STRIPING PER THE VEHICLE CODE SECTION 22500.1. CONTACT THE FIRE DEPARTMENT FOR FIRE LANE PROGRAM GUIDELINES
7.	NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLES 3-D & 3-E

GENERAL CONTRACTOR NOTES	
1.	MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK
2.	VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OF THESE PLANS AND SPECIFICATIONS
3.	MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF HIS OPERATIONS
4.	NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED & ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE W/ THE REVIEWED SHOP DRAWINGS & SAMPLES
5.	CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT
6.	SHOULD AN ERROR APPEAR IN THE NOTES, SPECIFICATIONS, OR DRAWINGS, OR IN WORK DONE BY OTHERS, AFFECTING THIS WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS AS TO PROCEDURE. IF CONTRACTOR PROCEEDS W/ WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT
7.	SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED
8.	PATCHING, REPAIRING AND REPLACING OF MATERIAL SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES
9.	ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/ NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFIED BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & HIS DESIGN/ CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED
10.	HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THIS AGREEMENT.

VARIANCE/HARDSHIP REQUEST	
MULTIPLE FACTORS CONTRIBUTE TO THIS REQUEST FOR A VARIANCE TO SEVERAL ZONING RULES FOR OUR PROPOSED RENOVATION AT 814 COOLIDGE AVE. IN SUNNYVALE, CA.	
THE EXISTING PROPERTY IS LOCATED IN AN R2 ZONE WHICH REQUIRES A MINIMUM 8,000 SF LOT BUT OUR LOT IS ONLY 4,000 SF. THIS SIGNIFICANT REDUCTION IN LOT SIZE MAKES IT DIFFICULT TO ACCOMMODATE ALL ZONING STANDARDS. THE PROPOSED HOUSE REPRESENTS A 50% FAR WHICH IS SLIGHTLY MORE THAN THE REQUIRED 45%. THIS FAR IS REQUESTED BECAUSE OF THE SMALL SIZE OF THE LOT AND BECAUSE IT IS IN KEEPING WITH OTHER NON-CONFORMING HOUSE IN THE NEIGHBORHOOD AS SEE ON SHEET A1.2.	
THE REDESIGNED HOUSE IS PROPOSED TO SIT ON THE EXISTING FOUNDATION AT THE NORTHWEST CORNER OF THE HOUSE. RE-USING THE EXISTING FOUNDATION MAKES POSSIBLE ECONOMY ASSOCIATED WITH AVOIDING EXTENSIVE EXCAVATION AND CONCRETE WORK WHEN POSSIBLE.	
SEVERAL EXISTING NON-CONFORMING ZONING STANDARDS ARE PRESENT ON SITE AND WE ARE REQUESTING THAT A FEW BE LEFT IN PLACE INCLUDING:	
<ul style="list-style-type: none"> THE EXISTING HOUSE HAS A NON-CONFORMING FRONT YARD SETBACK OF 15'-0". ALTHOUGH WE PROPOSE TO RELOCATE THE FRONT PORCH AWAY FROM THE PROPOSED ATTACHED 1-CAR GARAGE WE WOULD LIKE TO KEEP THE EXISTING NON-CONFORMING 15'-0" SETBACK. WE DO BELIEVE THAT THE 15'-0" SETBACK FITS WELL WITHIN THE CHARACTER OF THE NEIGHBORHOOD. THE NORTHWEST CORNER OF THE (E) HOUSE HAS A NON-CONFORMING FRONT YARD SETBACK OF 18'-0". WE WOULD LIKE TO KEEP THE EXISTING NON-CONFORMING SETBACK AT THIS LOCATION, KEEPING THE NORTHWEST CORNER OF THE HOUSE AS IT IS CURRENTLY LOCATED ALLOWS THE HOUSE TO FIT ON ITS NARROW LOT AND HAS SIGNIFICANT ECONOMY ASSOCIATED WITH KEEPING AND REUSING THE WESTERN FOUNDATION WALL OF THE HOUSE. THE WESTERN SIDE YARD SETBACK IS A NON-CONFORMING 3'-2". WE WOULD LIKE TO KEEP THIS NON-CONFORMING SETBACK IN ORDER TO ALLOW THE HOUSE TO FIT ON ITS NARROW LOT AND FOR ECONOMY AS MENTIONED ABOVE. KEEPING THIS NON-CONFORMING SIDE YARD SETBACK WOULD MEAN THAT WE WOULD NOT BE COMPLIANT WITH THE FIRE DEPARTMENTS REQUEST FOR A 6'-0" (PERPENDICULAR) LADDER PAD OUT OF THE MIDDLE BEDROOM IN THE HOUSE. 	

WATER EFFICIENT LANDSCAPING & CALGREEN	
THE PROJECT WILL COMPLY WITH SUNNYVALE REQUIREMENTS FOR WATER-EFFICIENT LANDSCAPING & THE WATER-EFFICIENT LANDSCAPING CHECKLIST WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.	
THE PROJECT WILL COMPLY WITH ALL CALGREEN RESIDENTIAL MANDATORY REQUIREMENTS AND THE CHECKLIST WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.	

PROJECT LAYOUT	
11.	THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF THE PROJECT AND ALL OF ITS COMPONENT PARTS. LAYOUT ENGINEERING AND DIMENSIONAL INFORMATION, IN ADDITION TO THE INFORMATION CONTAINED ON THE CONTRACT DRAWINGS, THAT MAY BE DETERMINED BY THE CONTRACTOR AS NECESSARY TO ACCURATELY CONSTRUCT THE PROJECT IN CONFORMANCE WITH THE DESIGN INTENT AS SHOWN IN THE CONTRACT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.

FIRE PREVENTION NOTES	
1.	THE BUILDING WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.
2.	AN APPROVED AUTOMATIC FORE SPRINKLERS SYSTEM SHALL BE DESIGNED AN INSTALLED IN ACCORDANCE WITH NFPA 13D IS REQUIRED THROUGHOUT EACH STRUCTURE.
3.	BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (ESCAPE WINDOW) IN ACCORDANCE WITH CFC SECTION 1029. (CFC 1029)
4.	LANDSCAPING AND LOCATIONS OF SLEEPING ROOMS RELATIVE TO PROPERTY LINES SHALL BE LOCATED SO AS TO PROVIDE APPROVED LADDER ACCESS TO EACH SLEEPING ROOM.
5.	THE BUILDING WILL HAVE APPROVED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS THROUGHOUT EACH STRUCTURE.

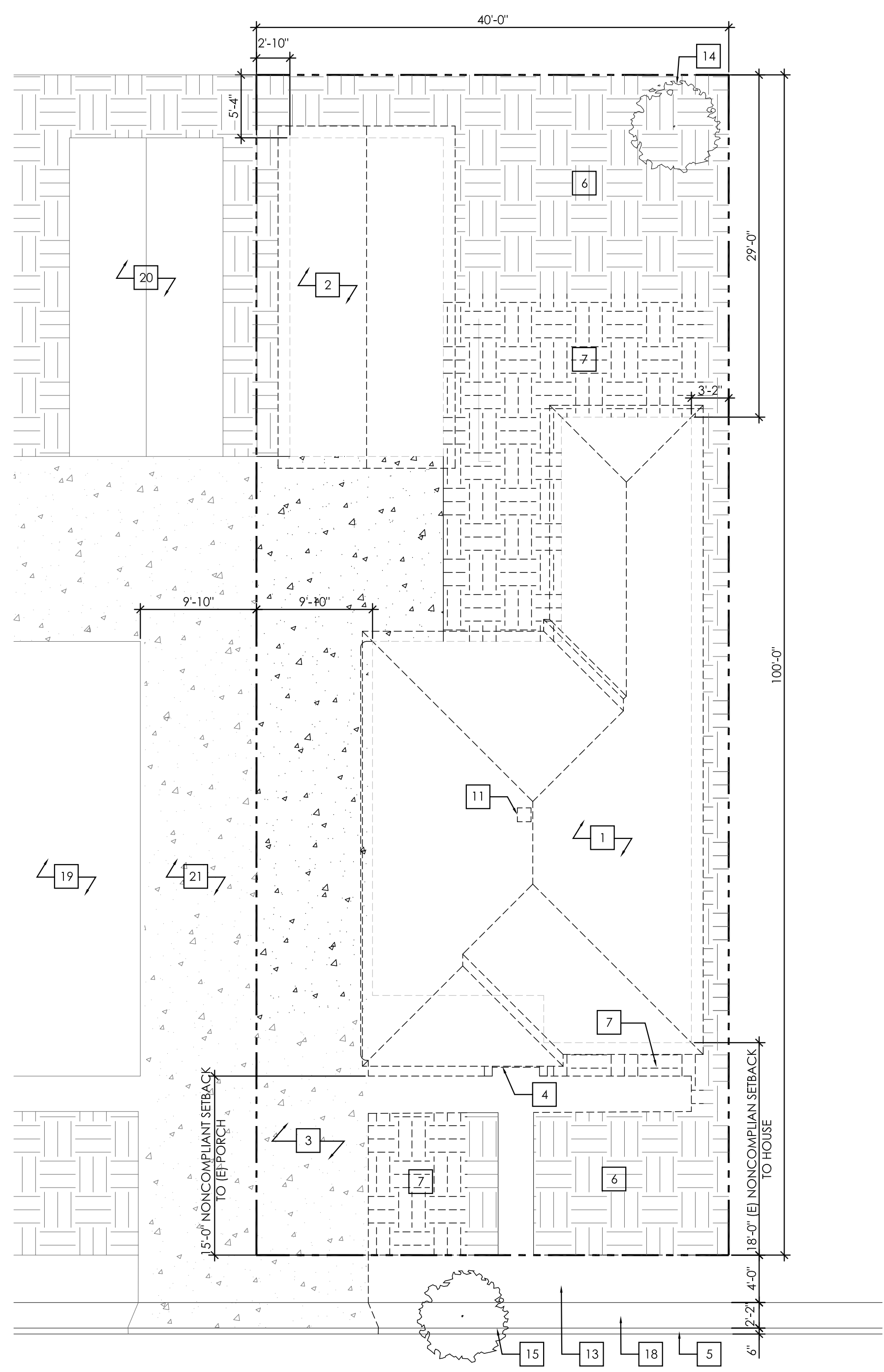
FANUCCHI RESIDENCE
 814 COOLIDGE AVENUE
 SUNNYVALE, CA 94086

REVISIONS	
08.15.17	FOR PLANNING REVIEW
11.17.17	PLANNING COMMENTS
01.04.18	PLANNING COMMENTS
03.01.2018	PLANNING COMMENTS

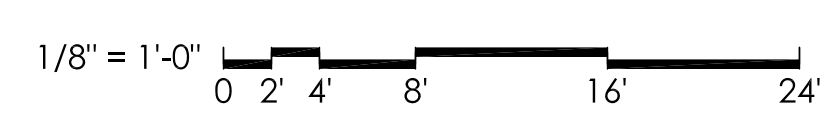
COVER SHEET

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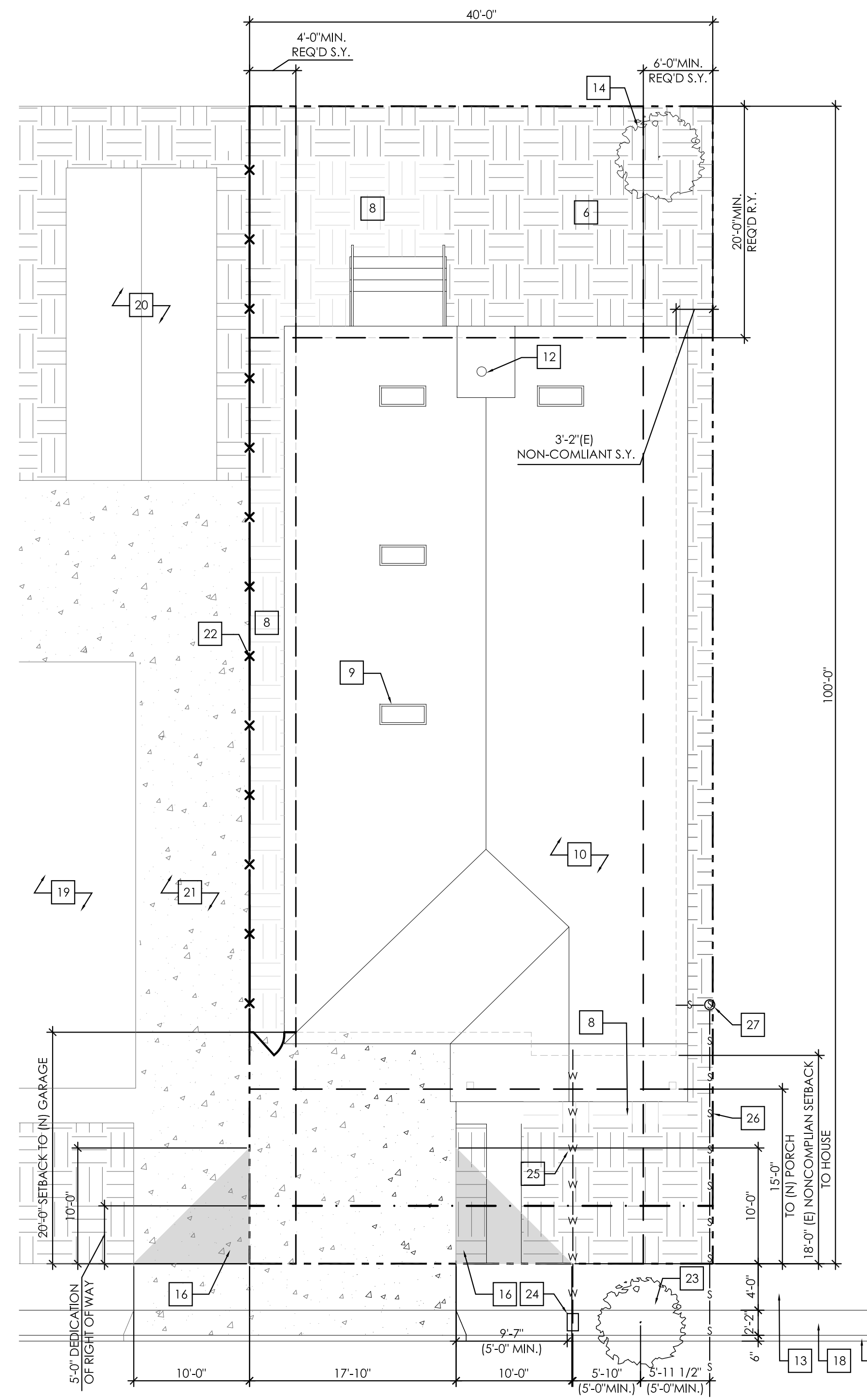
PLANNING SET



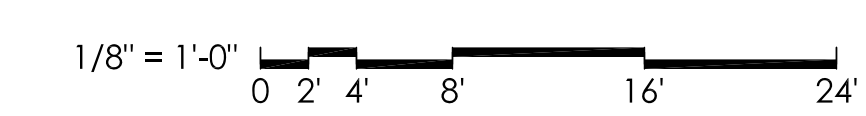
COOLIDGE AVENUE



DEMO SITE PLAN 16



COOLIDGE AVENUE



NEW SITE PLAN 8

LEGEND

- (E) CONCRETE
- (D) CONCRETE
- (N) CONCRETE
- (D) LANDSCAPING
- (E) LANDSCAPING
- (N) LANDSCAPING
- PROPERTY LINE
- (N) 5'-0" TALL FENCE
- (E) SANITARY SEWER LINE
- (E) WATER SERVICE LINE

KEY NOTES

- 1 (E) BUILDING
- 2 (E) GARAGE TO BE DEMOD
- 3 (E) DRIVEWAY ENTRY
- 4 (E) STAIRS
- 5 (E) CONCRETE CURB
- 6 (E) LANDSCAPING
- 7 (E) LANDSCAPE TO BE REMOVED
- 8 (N) LANDSCAPING
- 9 (N) SKYLIGHT
- 10 (N) BUILDING
- 11 (E) CHIMNEY
- 12 (N) CHIMNEY
- 13 (E) SIDEWALK
- 14 (E) TREE TO REMAIN
- 15 (E) STREET TREE TO BE REMOVED, TREE REMOVAL PERMIT HAS BEEN OBTAINED BY OWNER
- 16 DRIVEWAY VISION TRIANGLE
- 17 (N) CURB CUT AND RELOCATED DRIVEWAY
- 18 (E) PAVED AND LANDSCAPED PLANNING STRIP
- 19 (E) NEIGHBOR'S HOUSE
- 20 (E) NEIGHBOR'S GARAGE
- 21 (E) NEIGHBOR'S DRIVEWAY TO REMAIN
- 22 (N) 5'-0" TALL FENCE AS SHOWN, ALL (N) WORK AND REPAIR TO (E) NEIGHBOR'S DRIVEWAY AS NEEDED TO BE COMPLETED BY THE 814 COOLIDGE HOMEOWNER
- 23 RELOCATED STREET TREE FINAL SPECIES AND LOCATION TBD, TO BE SUBMITTED WITH BUILDING PERMIT
- 24 (E) WATER METER TO BE UPGRADED TO A 3/4 INCH RADIO READ WATER METER, AND SHALL BE MAINTAIN A MIN. 5'-0" HORIZONTAL DISTANCE FROM STREET TREE AND DRIVEWAY
- 25 (E) WATER SERVICE LINE
- 26 (E) SANITARY SEWER LINE, SHELL BE MAINTAIN A MIN. 5'-0" HORIZONTAL DISTANCE FROM STREET TREE.
- 27 (E) SANITARY SEWER CLEAN OUT

GENERAL NOTES

1. CONSULT WITH OWNER REGARDING ALL ITEMS TO BE SALVAGED AND STORAGE LOCATION OF SALVAGED/RELOCATED ITEMS
2. CONSULT WITH OWNER REGARDING DUMPSTER LOCATION
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL ITEMS INCLUDING LANDSCAPE, NOT INTENDED TO BE DEMOLISHED
4. PROVIDE ADEQUATE SUPPORT AND BRACING DURING CONSTRUCTION

SHEET NOTES

1. REMOVE (E) LANDSCAPE AS REQ'D IN EFFECTED AREA OF WORK

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DEMO SITE PLAN
NEW SITE PLAN

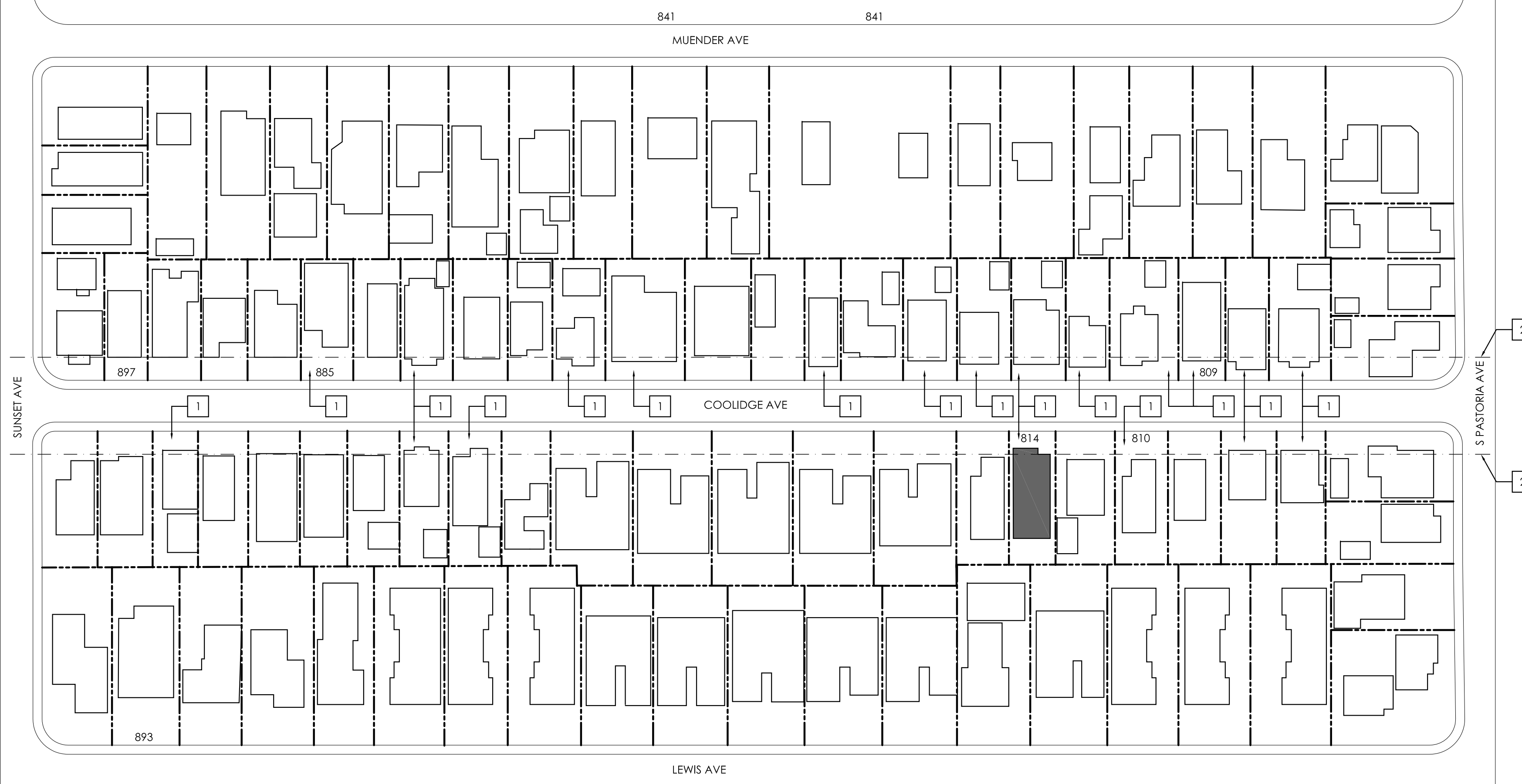
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A1.1

PLANNING SET

BUILDING FORM TYPES

- "U" SHAPE WITH RECESSED ENTRY AND FRONT ATTACHED GARAGE
- RECTANGULAR FORM WITH A VOID/RECESSED ENTRY ON THE SIDE
- RECTANGULAR FORM WITH RECESSED FRONT ENTRY AND ATTACHED GARAGE
- RECTANGULAR FORM WITH RECESSED FRONT ENTRY AND DETACHED GARAGE ON THE BACKYARD



LEGEND

- (E) BUILDING FOOT PRINT
- SITE
- PROPERTY LINE
- REQUIRED 20'-0" FRONT SETBACK

KEY NOTES

- 1 (E) NON-COMPLIANT SETBACKS
- 2 REQUIRED 20'-0" FRONT SETBACK

NEIGHBORHOOD STYLE

ACCORDING TO "TYPICAL SUNNYVALE HOME STYLES" IN SUNNYVALE SINGLE FAMILY HOME DESIGN TECHNIQUES (PAGE 5-8), SUNNYVALE'S NEIGHBORHOOD PATTERNS AND ARCHITECTURAL STYLES ARE CHARACTERIZED BY UNIQUE FRONT YARD SETBACKS, FENCING AND LANDSCAPING, GARAGE LOCATION, ROOF TYPES, ENTRY TREATMENT, EXTERIOR WALL COMPLEXITY, WINDOW TYPES/SIZE/PROPORTIONS, EXTERIOR BUILDING MATERIALS, DECORATIVE ELEMENTS ETC.

THE PROPOSED FANUCCHI RESIDENCE WILL BE BUILT IN A CONTEMPORARY CALIFORNIA STYLE. LOCATED IN THE WASHINGTON NEIGHBORHOOD, THE STYLE IS TYPICAL OF THE RANCH-STYLE NEIGHBORHOOD HOMES FOUND THERE WITH FOLLOWING PATTERNS:

A. FRONT ELEVATION:

- ENTRY PORCHES WITH SUBSTANTIAL SUPPORTING COLUMNS, OR RECESSED ENTRY DEFINED WITH COLUMNS
- SINGLE CAR GARAGE ATTACHED OR DETACHED
- FRONT YARD WITH PEDESTRIAN WALK CONNECTION TO SIDEWALK
- STUCCO FINISH WITH DECORATIVE STONE

B. ROOF STYLE:

- SIMPLE HIP ROOF FORMS WITH EXTENSION OVER ENTRY, SLOPING AWAY FROM STREET FRONT
- GABLE ROOF WITH DEEP FASCIAS FACING THE STREET WITH DECORATIVE VENT UNDER THE ROOF PEAK

C. WINDOWS:

- LARGE WINDOW FACING THE STREET, OFTEN PAIRED
- WOOD TRIM AROUND WINDOWS

SITE PLAN 6

1/64" = 1'-0"

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REVISIONS

08.15.17	FOR PLANNING REVIEW
11.17.17	PLANNING COMMENTS
01.04.18	PLANNING COMMENTS
03.01.2018	PLANNING COMMENTS

SITE ANALYSIS

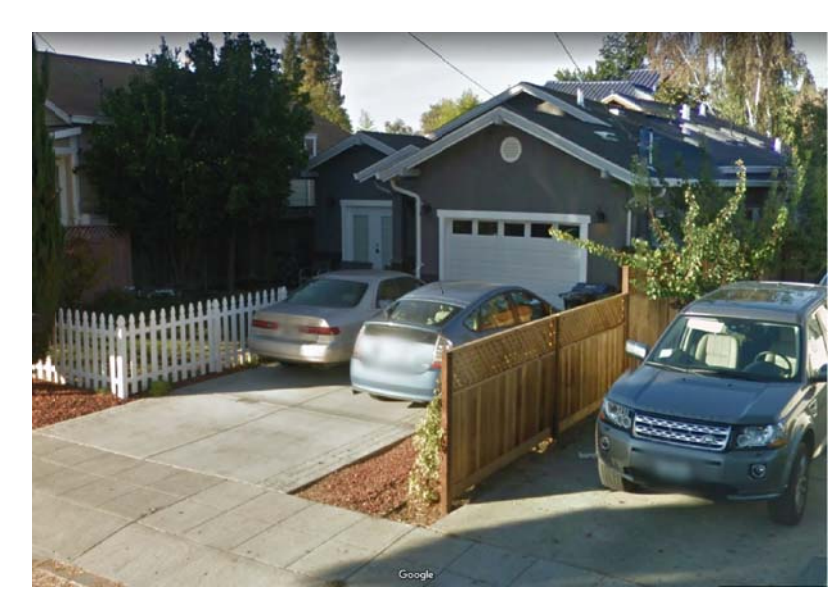
Date	05.18.2017
Scale	1/64" = 1'-0"
Drawn	DS
Job	17041-1
Sheet	

A1.2

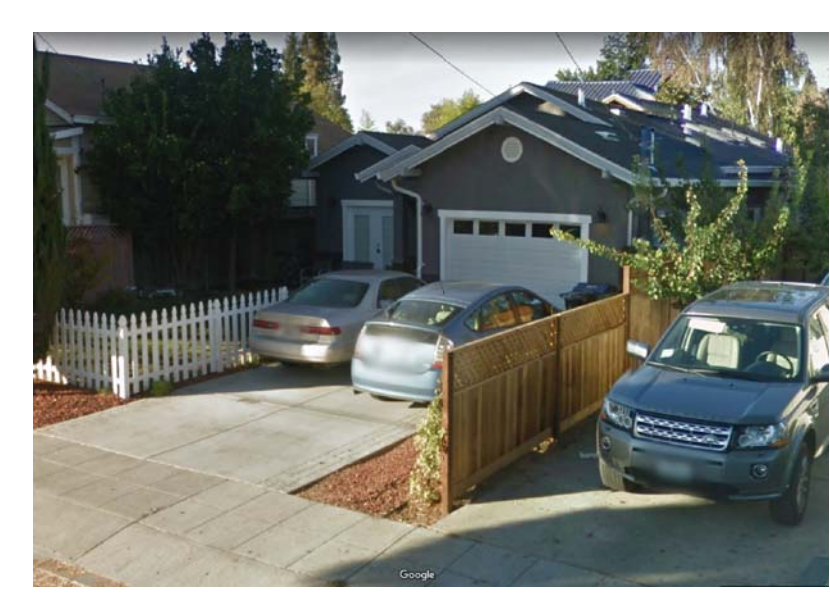
PLANNING SET



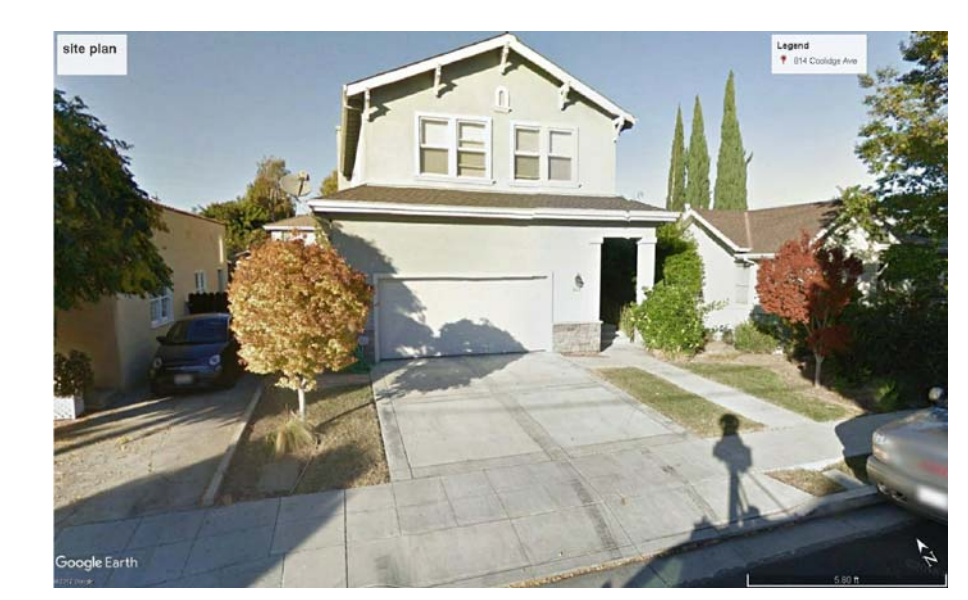
-ONE STORY SINGLE FAMILY HOUSE, WITH GABLE ROOF FACING THE STREET
-ENTRANCE WITH PORCH AND SUPPORTING COLUMNS
-ATTACHED FRONT GARAGE



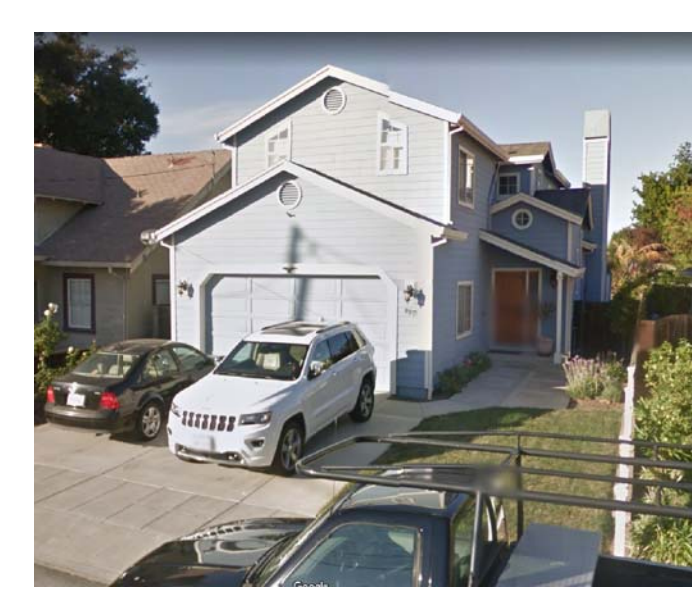
885 COOLIDGE AVE
- PLANNING PERMIT # 20147936
- RECEIVED APPROVED VARIANCES
- NO REQUIRED REAR AND SIDE SETBACKS
- FAR EXCEED MINIMUM OF 45%
- PLATE HEIGHT APPROXIMATELY 9'-0"
- CALIFORNIA CONTEMPORARY ARCHITECTURE STYLE



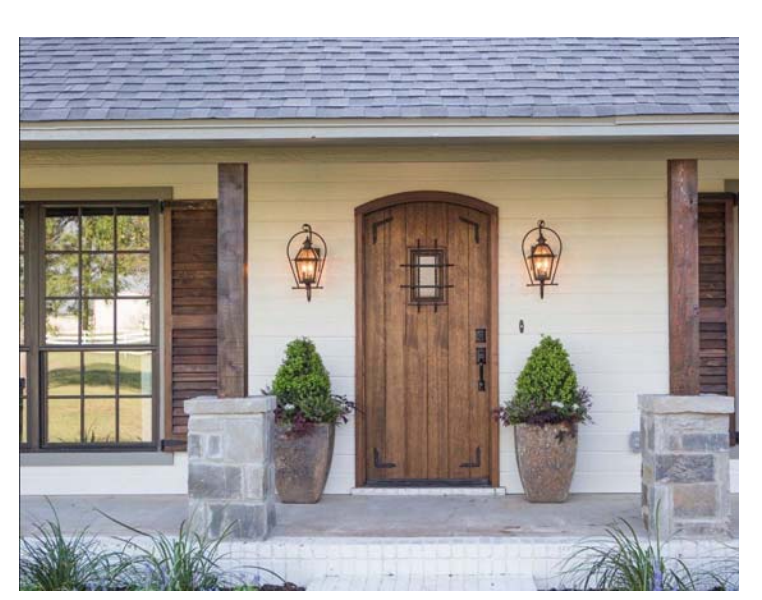
885 COOLIDGE AVE
- FRONT ELEVATION WITH RECESSED ENTRANCE AND GARAGE
- GABLE ROOF STYLE FACING THE STREET
- FRONT WINDOW WITH WOOD TRIM
- VENT UNDER THE ROOF PEAK
- FRONT YARD WITH PATH CONNECTING TO THE SIDEWALK
- PLATE HEIGHT APPROXIMATELY 9'-0"
- CALIFORNIA CONTEMPORARY ARCHITECTURE STYLE



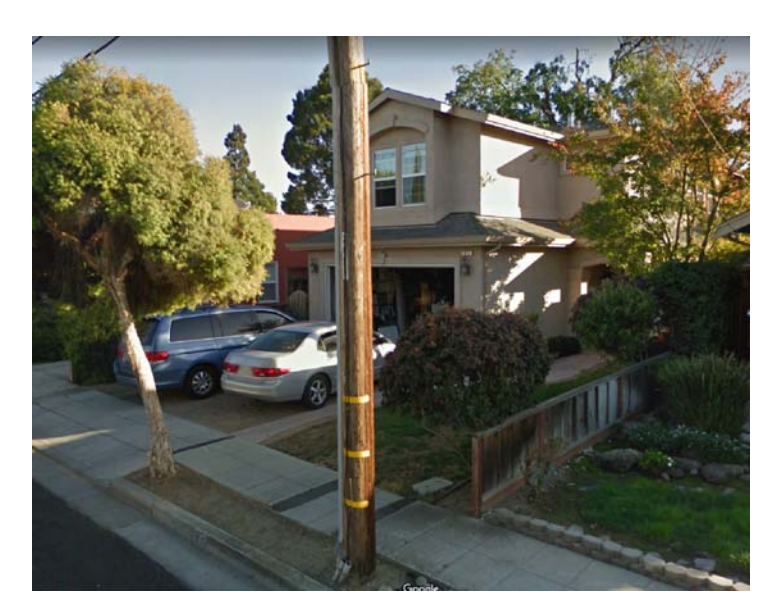
809 COOLIDGE AVE
- FRONT ELEVATION WITH RECESSED ENTRANCE DEFINED BY COLUMN AND FRONT GARAGE
- GABLE ROOF FACING THE STREET AND MANSARD ROOF STYLE
- DECORATIVE DETAIL UNDER THE ROOF PEAK
- COLUMNS AND STAIRS LEADING TO AN ENTRY DOOR
- WINDOWS WITH WOOD TRIM
- FRONT YARD WITH PATH CONNECTING TO THE SIDEWALK
- PLATE HEIGHT APPROXIMATELY 12'-0"
- CALIFORNIA CONTEMPORARY ARCHITECTURE STYLE



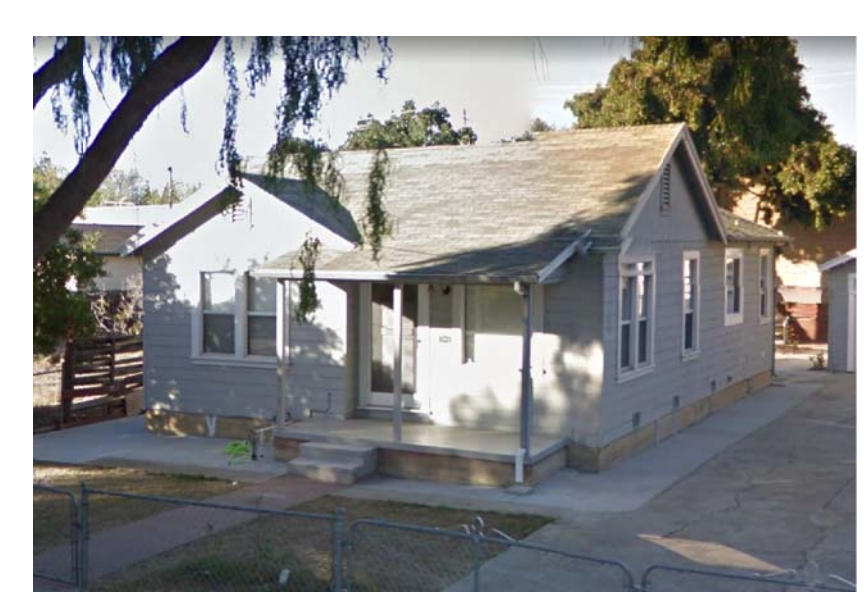
897 COOLIDGE AVE
- FRONT ELEVATION WITH RECESSED ENTRANCE DEFINED BY COLUMN AND FRONT GARAGE
- GABLE ROOF FACING THE STREET
- WINDOWS WITH WOOD TRIM
- CIRCULAR VENT UNDER THE ROOF PEAK
- FRONT YARD WITH PATH CONNECTING TO THE SIDEWALK
- PLATE HEIGHT APPROXIMATELY 11'-0"
- CALIFORNIA CONTEMPORARY ARCHITECTURE STYLE



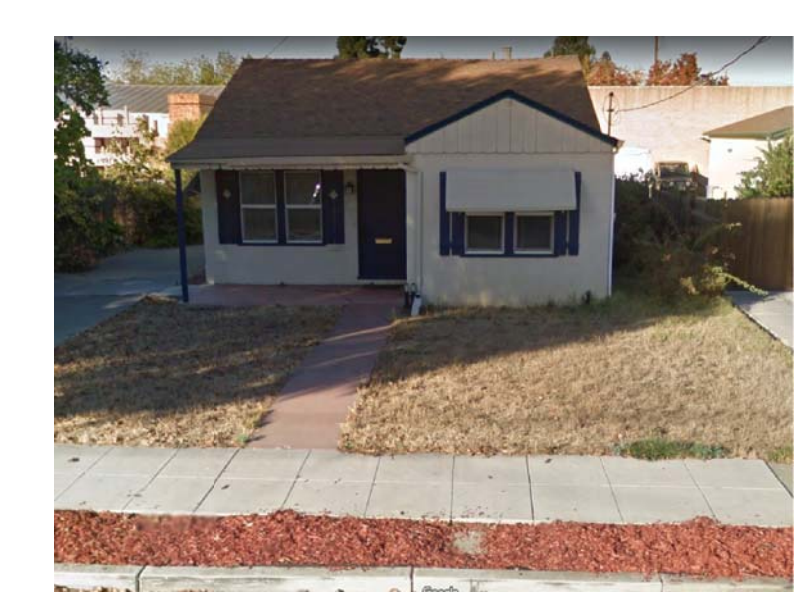
-WOOD DOORS, WINDOWS, AND COLUMNS
-DECORATIVE STONE ON FRONT FACADE



810 COOLIDGE AVE
- PLANNING PERMIT # 20000027
- RECEIVED APPROVED VARIANCES
- NO REQUIRED SIDE SETBACK
- FAR EXCEED MINIMUM OF 45%
- PLATE HEIGHT APPROXIMATELY 10'-0"
- CALIFORNIA CONTEMPORARY ARCHITECTURE STYLE



841 MUENDER AVE
- RECESSED ENTRY PORCH WITH SUPPORTING COLUMNS
- GABLE ROOF STYLE FACING THE STREET AND SIMPLE HIP ROOF WITH EXTENSION OVER ENTRY
- FRONT PAIRED WINDOW WITH WOOD TRIM
- VENT UNDER THE ROOF PEAK
- FRONT YARD WITH PATH CONNECTING TO THE SIDEWALK
- PLATE HEIGHT APPROXIMATELY 9'-0"



855 MUENDER AVE
- RECESSED ENTRY PORCH WITH SUPPORTING COLUMNS
- GABLE ROOF STYLE FACING THE STREET AND SIMPLE HIP ROOF WITH EXTENSION OVER ENTRY
- FRONT PAIRED WINDOWS WITH WOOD TRIM
- FRONT YARD WITH PATH CONNECTING TO THE SIDEWALK
- PLATE HEIGHT APPROXIMATELY 9'-0"

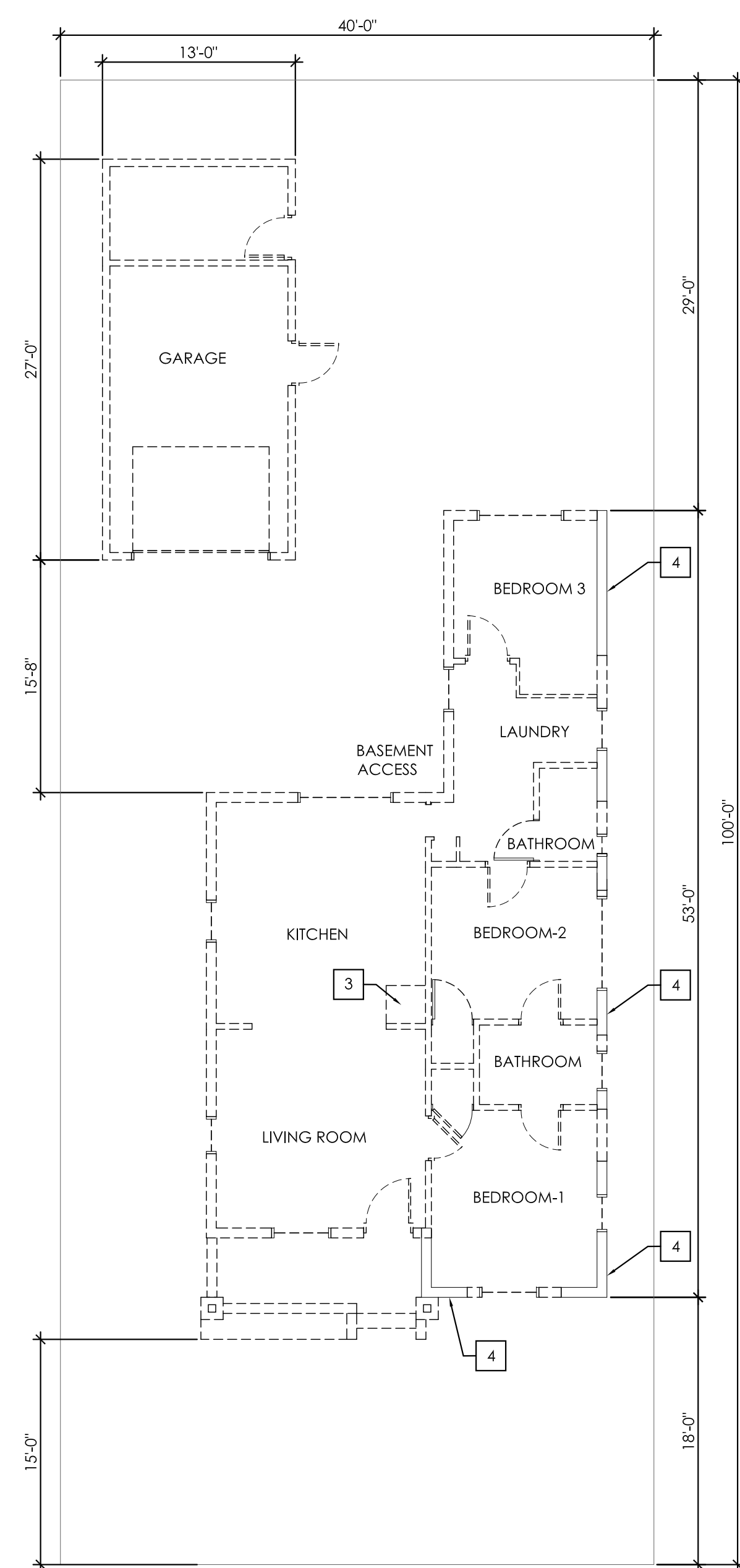


893 LEWIS AVE
- FRONT ELEVATION WITH RECESSED ENTRANCE AND FRONT GARAGE
- GABLE ROOF FACING THE STREET AND HIP ROOF SLOPING AWAY FROM STREET WITH EXTENSION OVER ENTRY
- VENT UNDER THE ROOF PEAK
- FRONT YARD WITH PATH CONNECTING TO THE SIDEWALK
- PLATE HEIGHT APPROXIMATELY 9'-0"
- CALIFORNIA CONTEMPORARY ARCHITECTURE STYLE

INSPIRATIONAL IMAGES 20

NEIGHBORING HOUSES WITH APPROVED VARIANCES 16

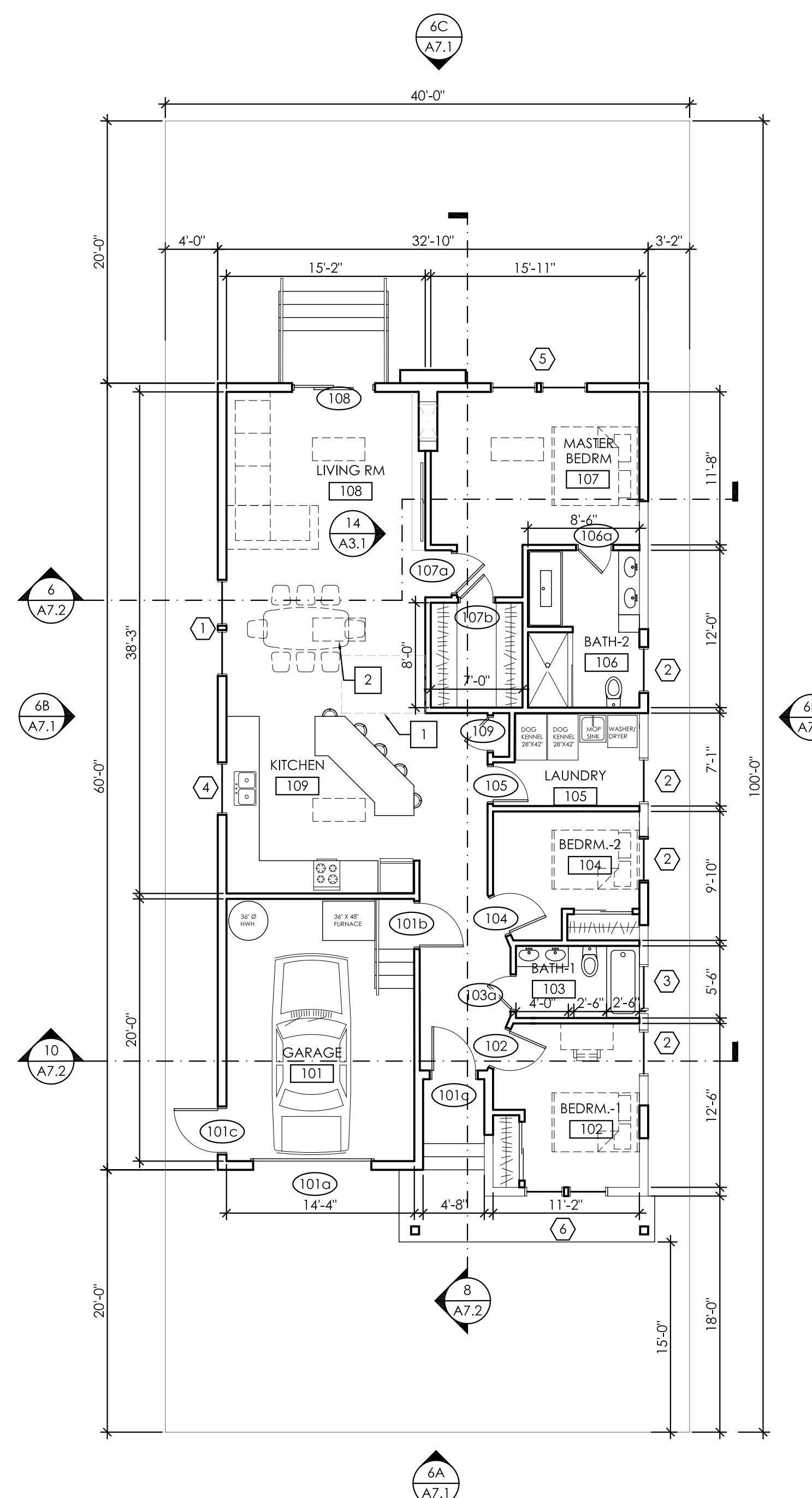
NEIGHBORHOOD STYLE EXAMPLES 4



1/8" = 1'-0"
0 2' 4' 8' 16' 24'

EXISTING AND DEMO FLOOR PLAN

16



1/8" = 1'-0"
0 2' 4' 8' 16' 24'

NEW FLOOR PLAN

8

LEGEND

- (E) WALL TO REMAIN
- (D) WALL
- (N) WALL
- (D) DOOR
- (N) DOOR
- (E) WINDOW TO REMAIN
- (D) WINDOW
- (N) WINDOW
- SECTION TAG
- ELEVATION TAG
- WALL TAG
- DOOR TAG
- WINDOW TAG
- ROOM TAG

KEY NOTES

- 1 RELOCATED BASEMENT ACCESS
- 2 (N) SKYLIGHT ABOVE
- 3 (E) CHIMNEY
- 4 (E) WALL AND FOUNDATION TO REMAIN

GENERAL NOTES

1. CONSULT WITH OWNER REGARDING ALL ITEMS TO BE SALVAGED AND STORAGE LOCATION OF SALVAGED/RELOCATED ITEMS
2. CONSULT WITH OWNER REGARDING DUMPSTER LOCATION
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL ITEMS INCLUDING LANDSCAPE. NOT INTENDED TO BE DEMOLISHED
4. PROVIDE ADEQUATE SUPPORT AND BRACING DURING CONSTRUCTION

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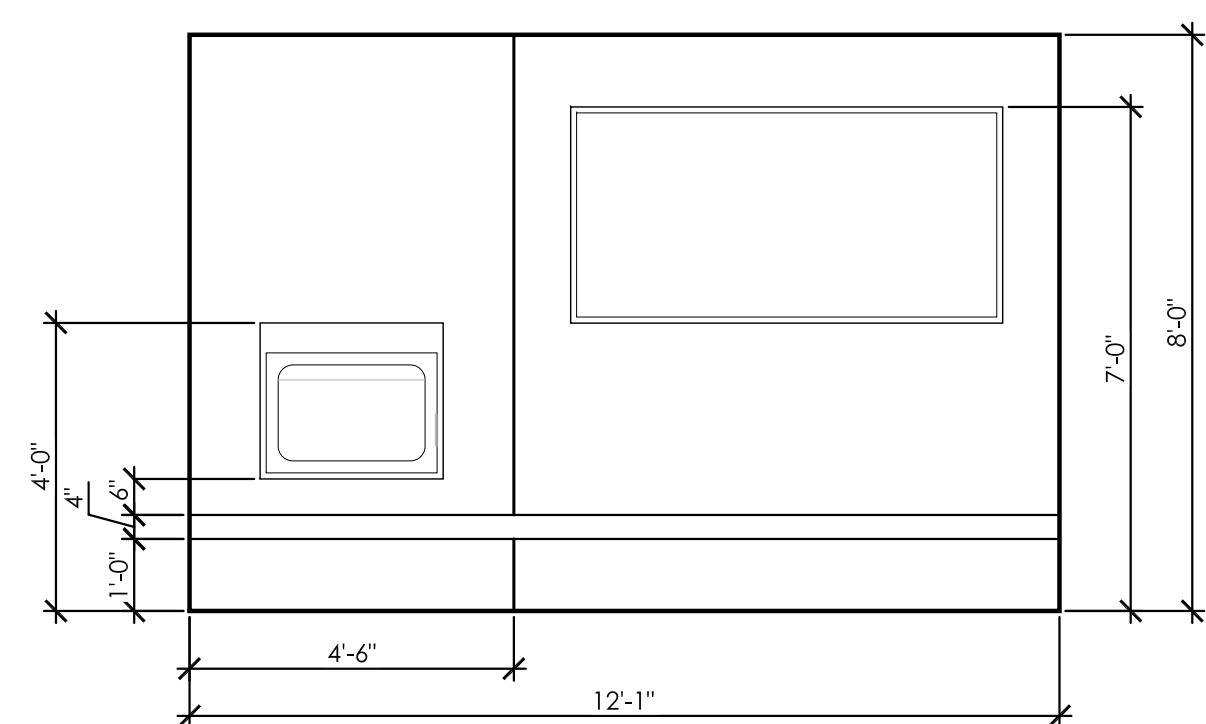
08.15.17	FOR PLANNING REVIEW
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DEMO PLAN
NEW FLOOR PLAN

Date	05.18.2017
Scale	1/8" = 1'-0"
Drawn	DS
Job	17041-1
Sheet	

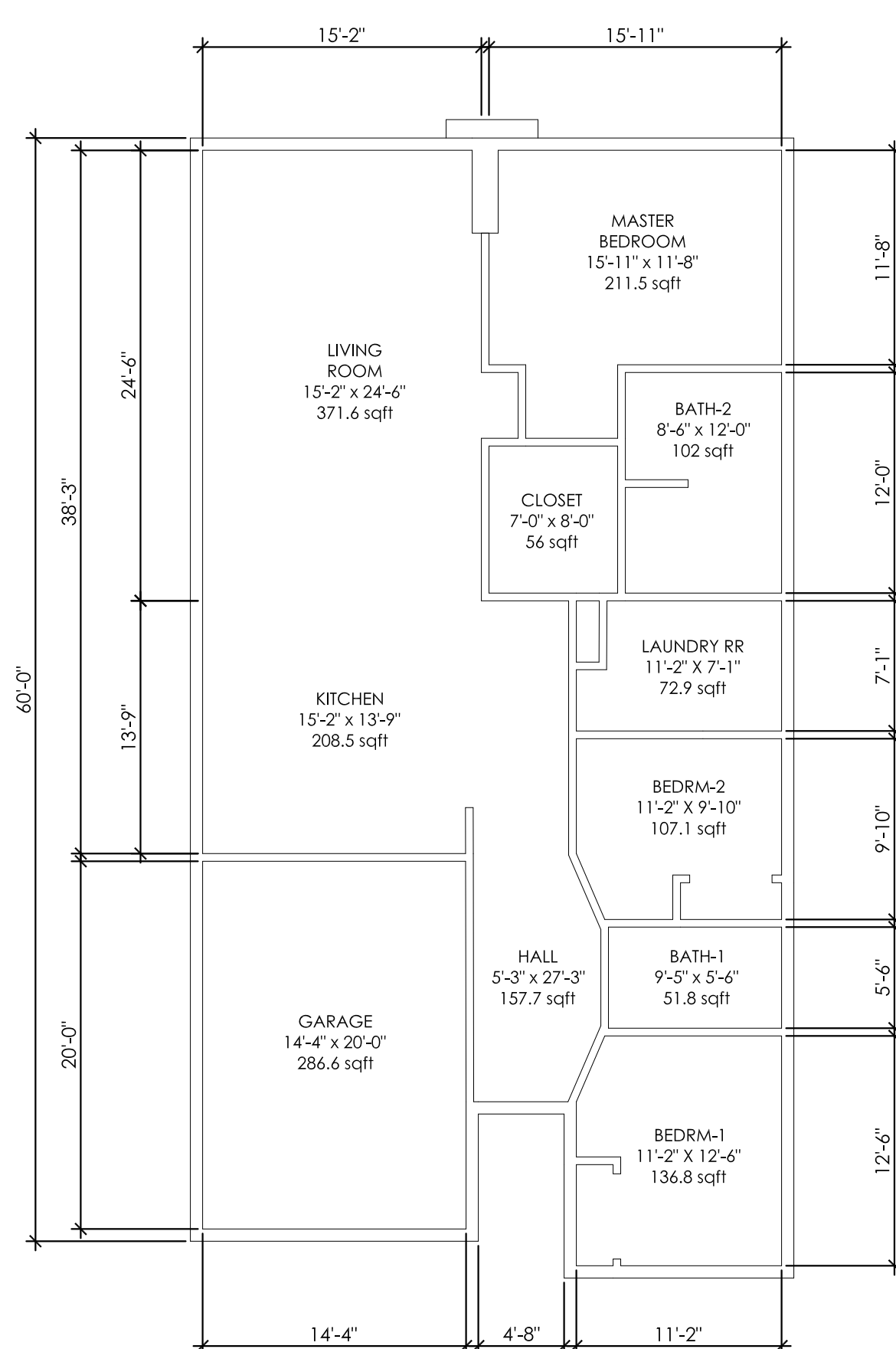
A2.1

PLANNING SET



FIREPLACE ELEVATION 14

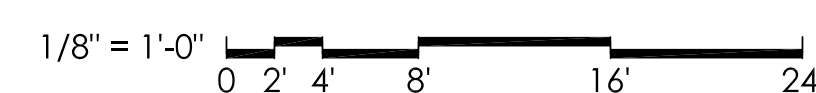
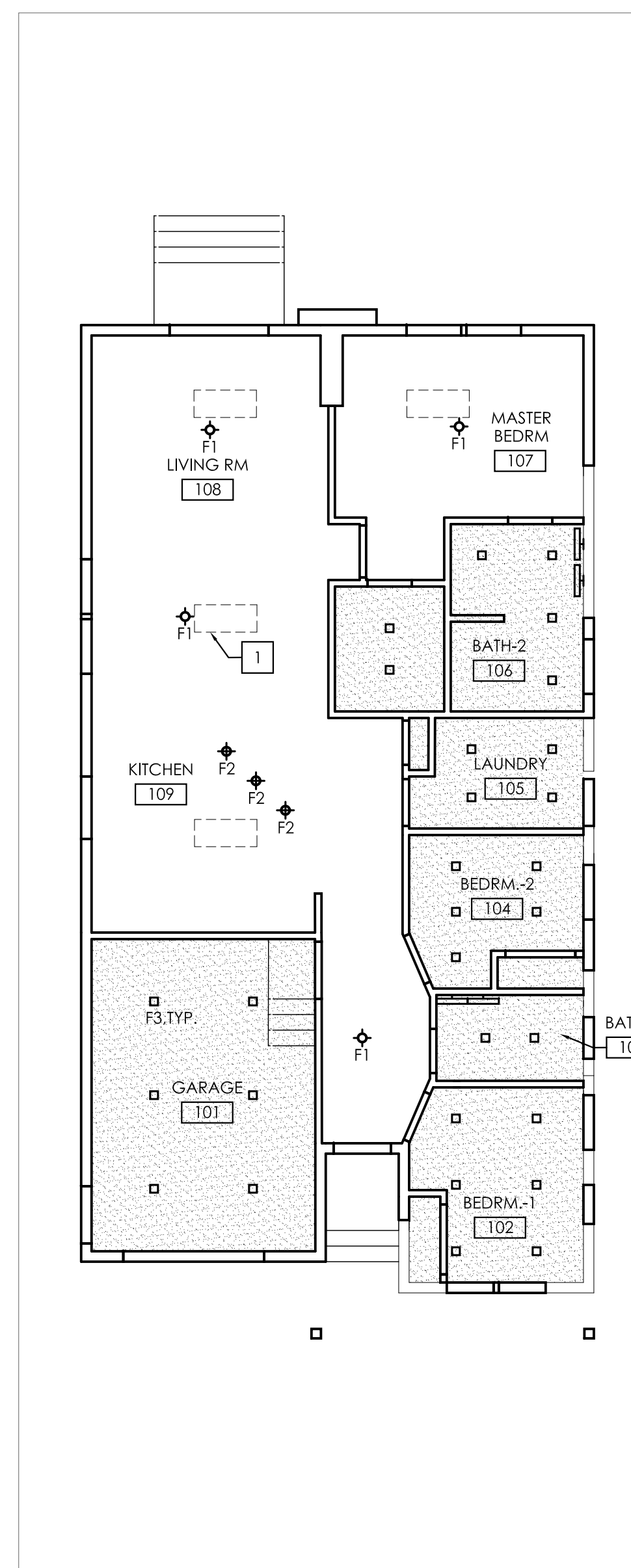
3/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE NET ROOM AREAS, AND MAY DIFFER FROM GROSS DIMENSIONS SHOWN ELSEWHERE.

FLOOR AREA DIAGRAM 16

1/8" = 1'-0"



NEW RCP PLAN 8

LEGEND

- OPEN TO FRAMING ABOVE, PROVIDE (N) BLACK CAP SHEET
- (N) GYP. CEILING PAINTED
- (N) ACCENT PENDANT FIXTURE
- (N) ACCENT PENDANT FIXTURE
- (N) 4' SQUARE SPECTRUM LIGHTING INC. LED RECESSED DOWNLIGHT
- (N) RESTROOM WALL SCONCE
- (N) CEILING HEIGHT

KEY NOTES

- 1 (N) SKYLIGHT

GENERAL NOTES

1. ALL RECESSED DOWNLIGHTS/WALL WASHERS SHALL BE CENTERED IN THE VISUAL TILE PATTERN, U.O.N.
2. ALL CEILING FIXTURES AND WIRING FOR LIGHT FIXTURES, EXIT SIGNS, OR OTHER ELECTRICAL DEVICES SHALL BE U.L. APPROVED, THERMALLY PROTECTED, AND SHALL BE INSTALLED IN CONDUIT OR OTHER WIRING METHOD APPROVED BY THE BUILDING DEPARTMENT.
3. REPLACE ALL DAMAGED CEILING TILES AND GRID MEMBERS THROUGHOUT AREA OF WORK TO MATCH EXISTING.
4. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. ENGINEERING OF SWITCHING AND CIRCUITRY SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTS.
5. WHEN AN ENTIRELY NEW CEILING GRID IS TO BE INSTALLED, SPRINKLER CONTRACTOR SHALL PROVIDE ESCUTCHEON RING EXTENSIONS WITH 2" CLEARANCE AROUND HEAD, OR ALTERNATELY INSTALL FLEX-HEAD CONNECTIONS AT ALL SPRINKLER HEADS IN AREA OF NEW CEILING.
6. MECHANICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS AND SHALL COMPLY WITH THE REQUIREMENTS OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24.
7. PROVIDE FIRE DAMPERS AT ALL PENETRATIONS OF FIRE RATED ASSEMBLIES AS REQUIRED. DAMPERS SHALL BE FIRE/SMOKE WITH SMOKE ACTIVATION AS REQUIRED BY 2013 CBC

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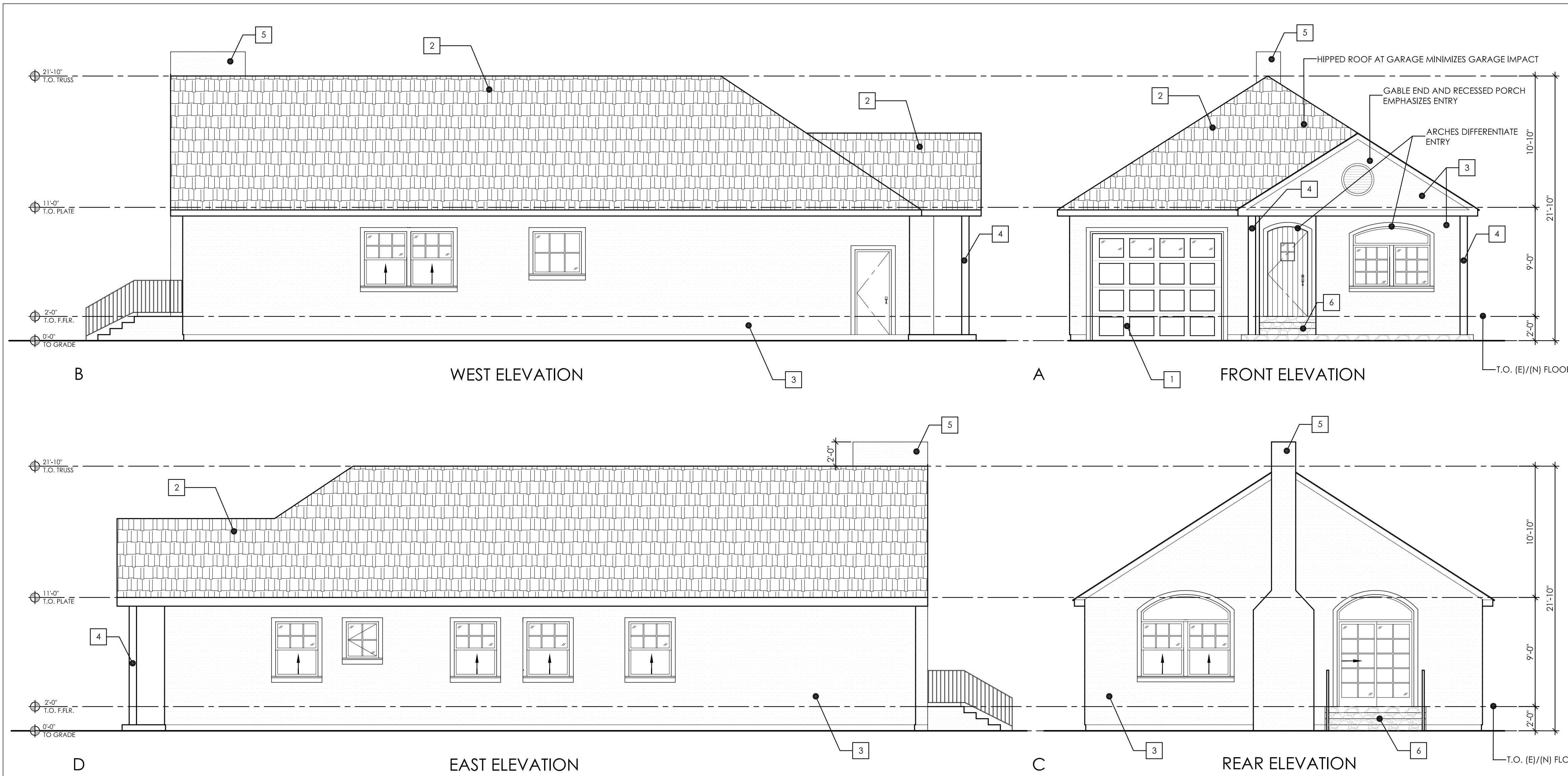
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REFLECTED CEILING PLAN
INTERIOR ELEVATION
FLOOR AREA DIAGRAM

Date	05.18.2017
Scale	1/8"=1'-0"
Drawn	
Job	17041-1
Sheet	

A3.1

PLANNING SET



KEY NOTES

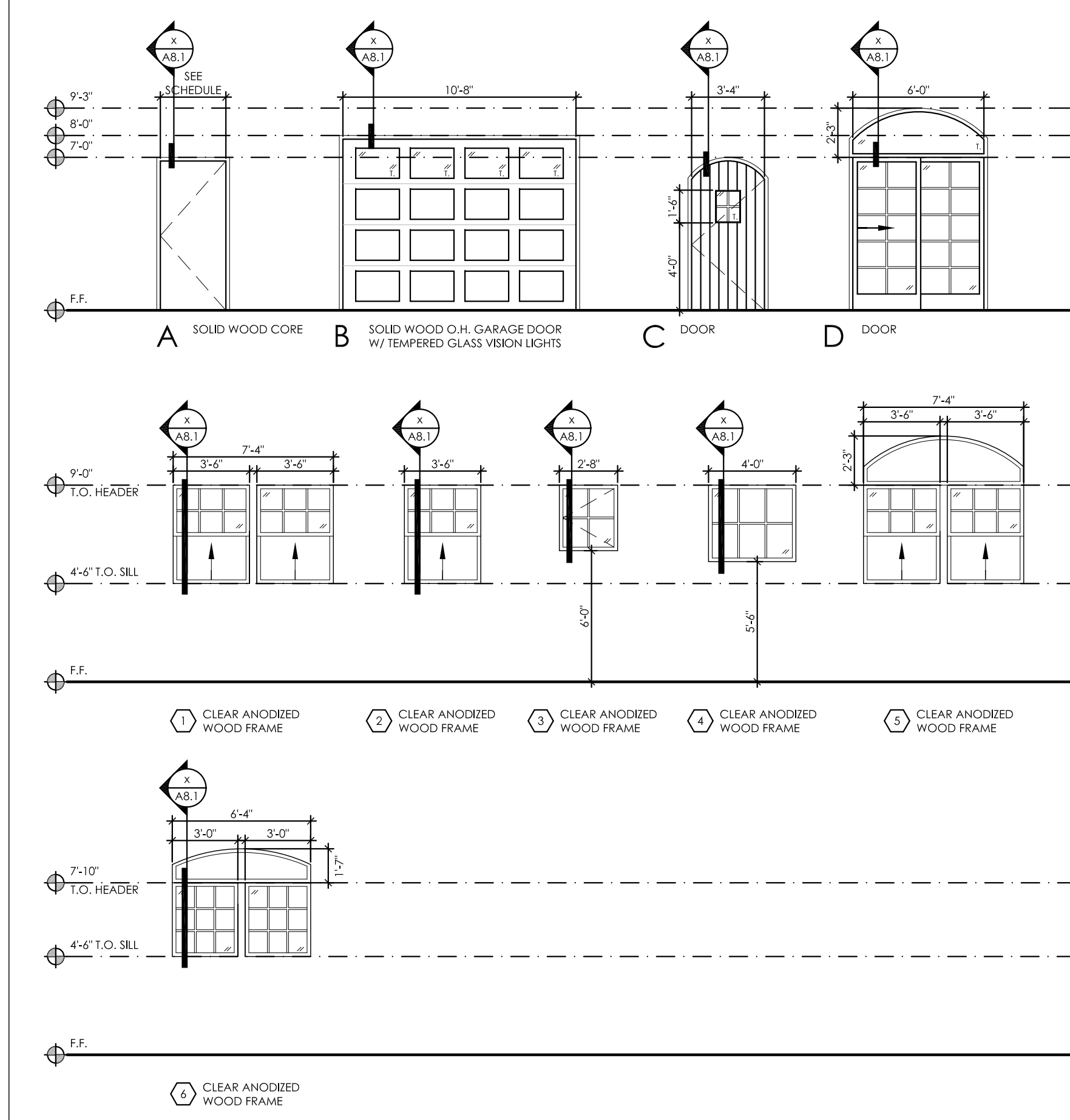
- 1 (N) GARAGE DOOR
- 2 (N) ASPHALT SHINGLE, COLOR TBD
- 3 1" STUCCO, COLOR TBD
- 4 8x8 PAINTED WOOD POST
- 5 STUCCO CHIMNEY
- 6 DECORATIVE STONE ON FRONT AND BACK FACADE

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3/16" = 1'-0" GARAGE ELEVATIONS 6

DOOR NUMBER	ROOM	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	HARD WARE GROUP	HEAD DETAIL	FRAME MATERIAL	FRAME FINISH	FIRE RATED	KICK PLATES (H)	REMARKS & NOTES
101a	GARAGE	10'-8" X 8'-0"	B	WOOD SOLID CORE	ETR	ETR		WOOD	ETR	N		(N) DOOR
101b	GARAGE	3'-4" X 7'-0"	A	WOOD SOLID CORE	ETR	3		WOOD	ETR	N		(N) DOOR
101c	GARAGE	3'-4" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
101c	ENTRY	3'-4" X 7'-0"	C	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
102	BEDROOM-1	3'-0" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
103a	NOT USED	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
103b	BATHROOM-1	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
104	BEDROOM-2	3'-0" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
105	LAUNDRY	2'-8" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
106a	BATHROOM-2	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
106b	NOT USED	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
106c	NOT USED	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
107a	MASTER BEDROOM	3'-0" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
107b	MASTER BEDROOM- WALK IN CLOSET	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR
108	LIVING ROOM	6'-0" X 7'-0"	D	H.M	ETR			WOOD	ETR	N		(N) DOOR
109	KITCHEN	2'-6" X 7'-0"	A	WOOD SOLID CORE	ETR			WOOD	ETR	N		(N) DOOR



3/16" = 1'-0" DOOR AND WINDOW SCHEDULE 8

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ELEVATIONS DOOR AND WINDOW SCHEDULE

Date	05.18.2017
Scale	AS SHOWN
Drawn	DS
Job	17041-1
Sheet	

A7.1

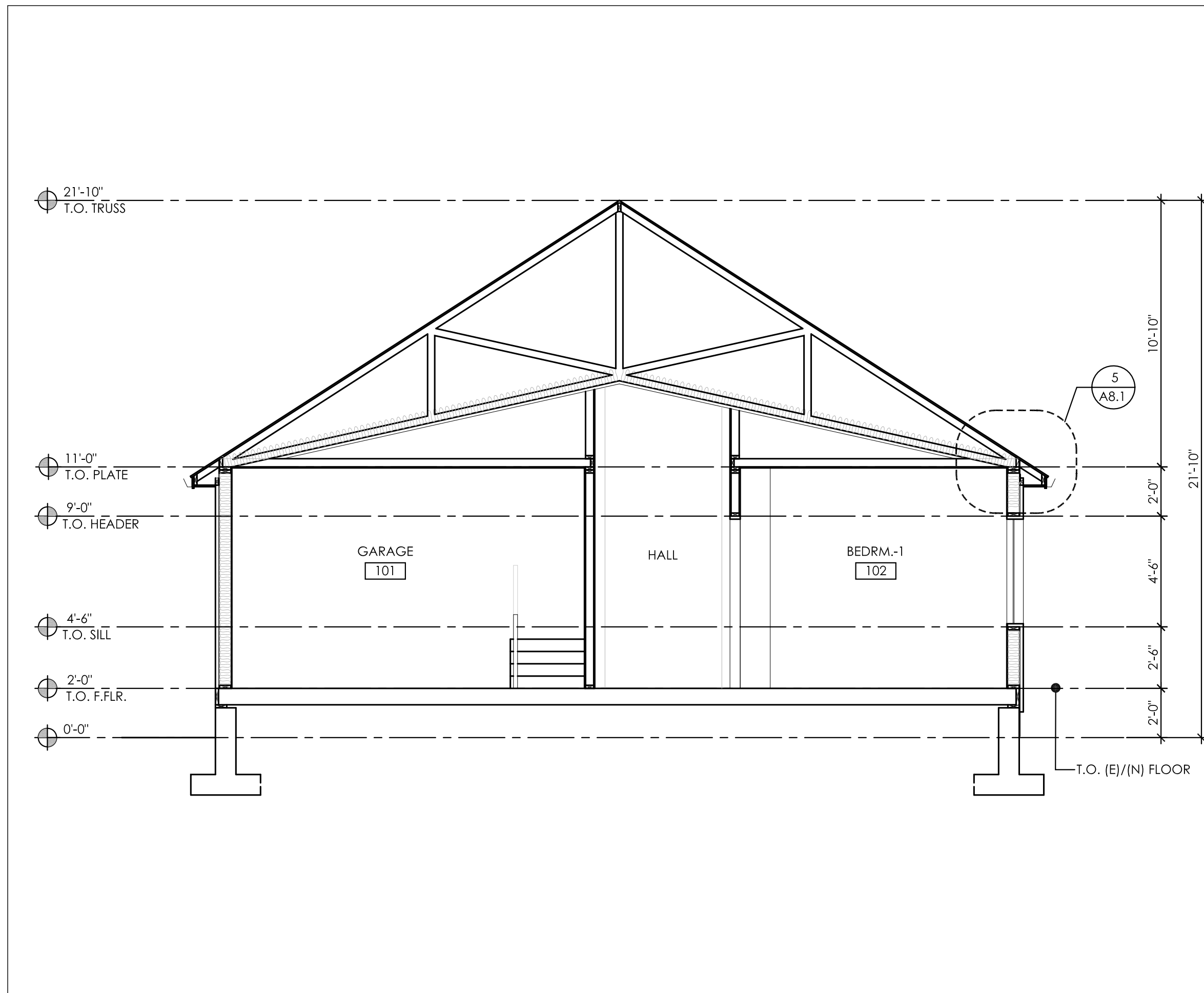
PLANNING SET

LEGEND

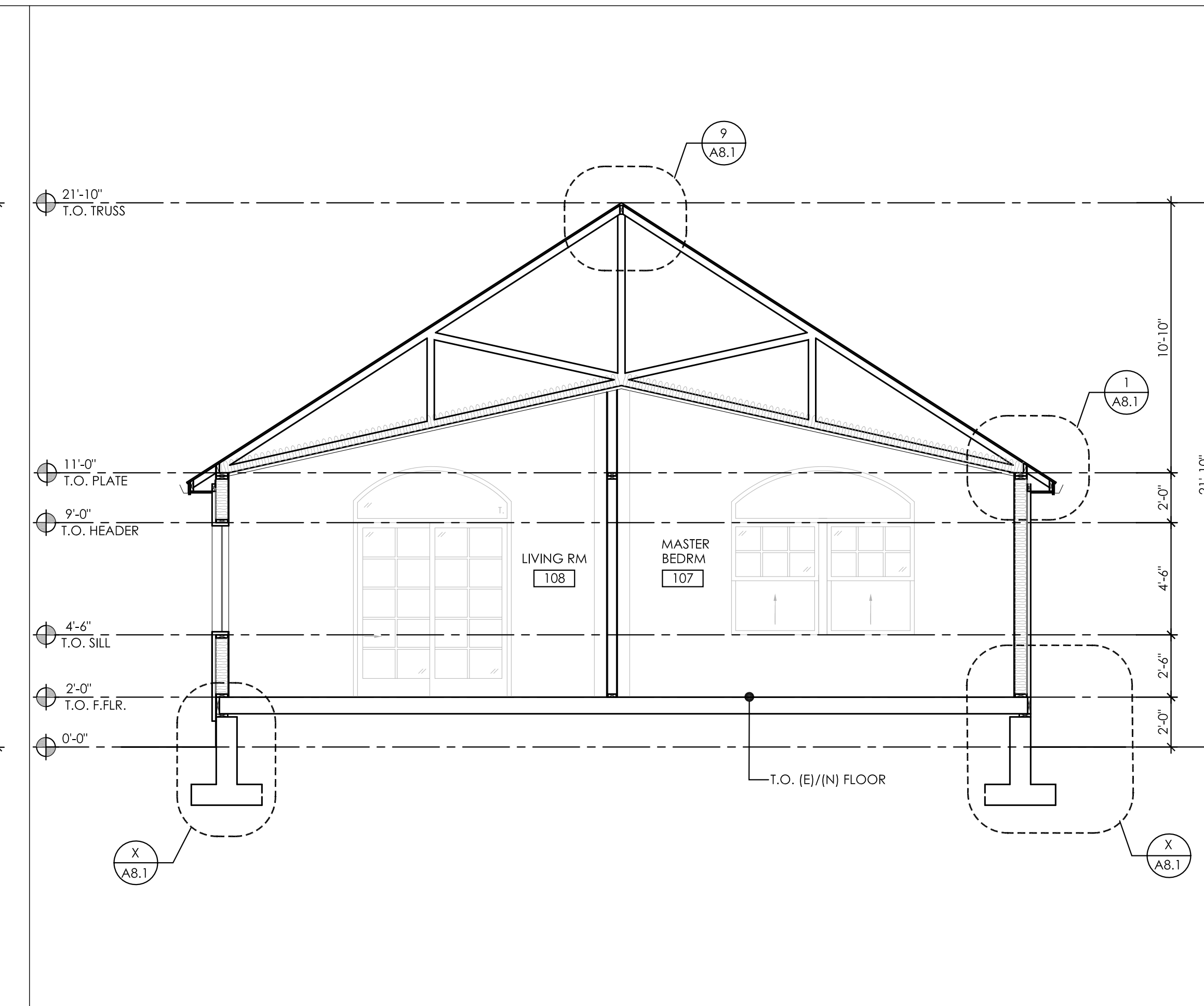
(X/XXX) DETAIL TAG

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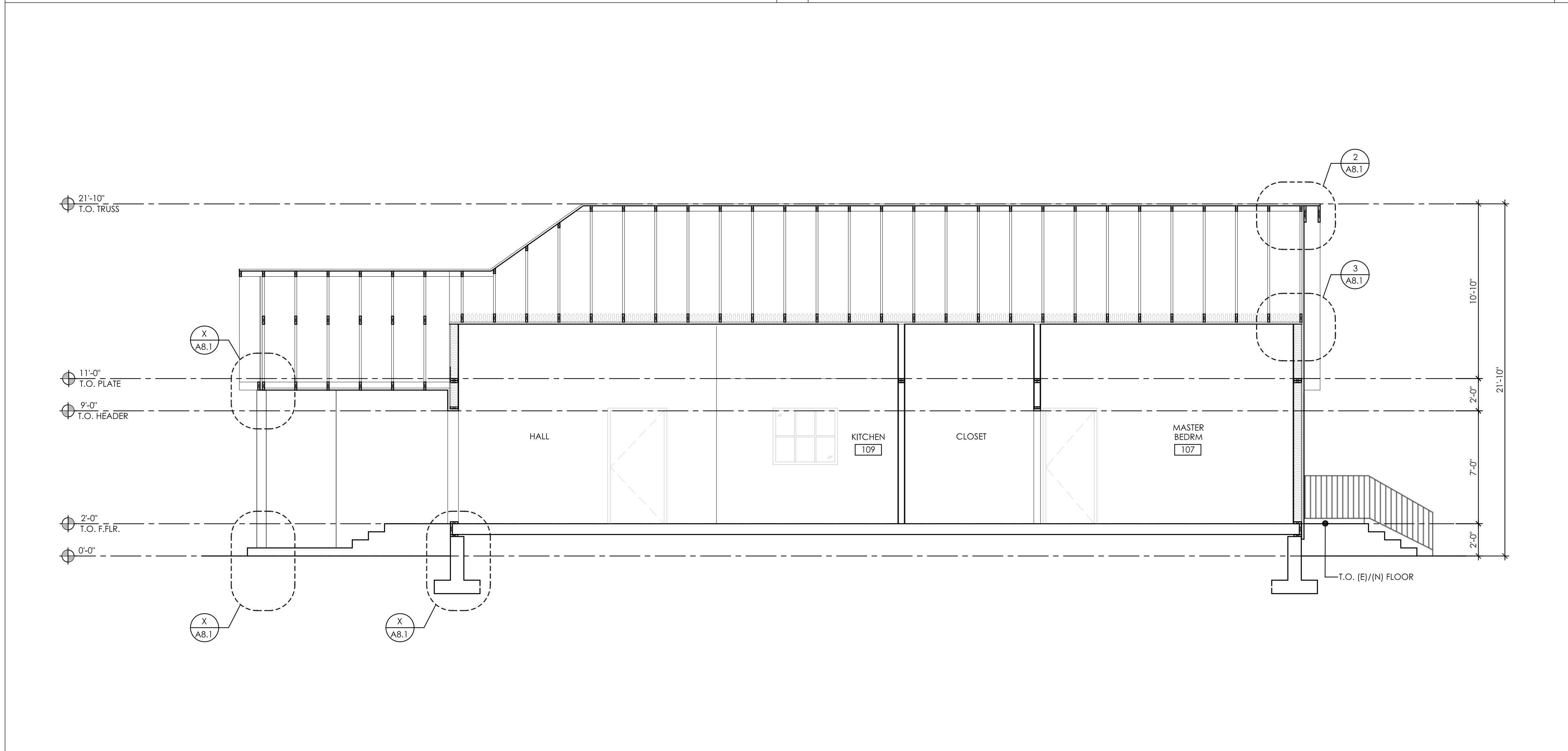
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1/4" = 1'-0" SHORT SECTION 10



1/4" = 1'-0" SHORT SECTION 6



1/4" = 1'-0" LONG SECTION 8

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SECTIONS

Date	05.18.2017
Scale	1/4" = 1'-0"
Drawn	DS
Job	17041-1
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A7.2

PLANNING SET



FANUCCHI RESIDENCE
FRONT ELEVATION - RENDERING

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02.14.2018