

**DRAFT CONSULTANT SERVICES AGREEMENT BETWEEN CITY OF SUNNYVALE
AND VERDE DESIGN, INC. FOR DESIGN AND CONSTRUCTION SUPPORT
SERVICES FOR SERRA PARK RENOVATION AND ENHANCEMENT**

THIS AGREEMENT, dated _____, is by and between the CITY OF SUNNYVALE ("CITY"), a California chartered municipal corporation, and VERDE DESIGN, INC. ("CONSULTANT"), a California corporation.

WHEREAS, CITY advertised a Request for Proposals (RFP) F25-436 on June 3rd, 2025 for Serra Park Renovation and Enhancement; and

WHEREAS, CONSULTANT submitted a proposal on July 8th, 2025; and

WHEREAS, CITY desires to secure professional services necessary for investigation, analysis, design, preparation of construction drawings and contract specifications, consultation, services during construction and other services for a project known as Serra Park Renovation and Enhancement; and

WHEREAS, CONSULTANT represents that it, and its sub-consultants, if any, possess the professional qualifications and expertise to provide the required services and are licensed by the State of California to practice engineering in the required disciplines;

NOW, THEREFORE, THE PARTIES ENTER INTO THIS AGREEMENT.

1. Services by CONSULTANT

CONSULTANT shall provide services in accordance with Exhibit "A" entitled "Detailed Scope of Work." All exhibits referenced in this Agreement are attached hereto and are incorporated herein by reference. To accomplish that end, CONSULTANT agrees to assign Pat Healy to this project, to act in the capacity of Project Manager and personally direct the professional services to be provided by CONSULTANT.

Except as specified in this Agreement, CONSULTANT shall furnish all technical and professional services, including labor, material, equipment, transportation, supervision and expertise to perform all operations necessary and required to satisfactorily complete the services required in this Agreement.

2. Notice to Proceed/Completion of Services

- A. CONSULTANT shall commence services upon receipt of a Notice to Proceed from CITY. Notice shall be deemed to have occurred three (3) calendar days after deposit in the regular course of the United States mail.
- B. When CITY determines that CONSULTANT has satisfactorily completed the services defined in Exhibit "A," CITY shall give CONSULTANT written Notice of Final Acceptance, and CONSULTANT shall not incur any further costs hereunder. CONSULTANT may request this determination of completion

when, in its opinion, it has satisfactorily completed the Scope of Work (Exhibit "A"), and if so requested, CITY shall make this determination within fourteen (14) days of such request.

3. Project Schedule

The Project Schedule is set forth in the attached Exhibit "A-1."

4. Payment of Fees and Expenses

Payments shall be made to CONSULTANT on a monthly basis as set forth in the attached Exhibit "B" entitled "Compensation Schedule." All compensation will be based on monthly billings as provided in Exhibit "B." Compensation will not be due until said detailed billing is submitted to CITY within a reasonable time before payment is expected to allow for normal CITY processing. An estimate of the percent of total completion associated with the various categories of the services shall be furnished by CONSULTANT with said billing. When applicable, copies of pertinent financial records will be included with the submission of billing(s) for all direct reimbursables. Compensation shall not exceed the amounts set forth in Exhibit "B" for each phase. In no event shall the total amount of compensation payable under this agreement exceed the sum of Nine Hundred Thirty-Seven Thousand Five Hundred Thirty-Three and No/100 Dollars (\$937,533.00) for the duration of the contract, as well as optional services in an amount not to exceed Three Hundred Forty-Five Thousand Six Hundred Twenty-Five and No/100 Dollars (\$345,625.00) unless upon written modification of this Agreement in accordance with Section 30 below. In no event shall the total amount of compensation payable under this agreement exceed the sum of One Million Two Hundred Eighty-Three One Hundred Fifty-Eight and No/100 Dollars (\$1,283,158.00). All invoices, including detailed backup, shall be sent to City of Sunnyvale, attention Accounts Payable, P.O. Box 3707, Sunnyvale, CA 94088-3707.

CONSULTANT will be reimbursed as promptly as fiscal procedures will permit upon receipt by the CITY of itemized invoices in triplicate. Invoices shall be submitted no later than 45 calendar days after the performance of work for which CONSULTANT is billing. Invoices shall detail the work performed on each milestone and each project as applicable. Invoices shall follow the format stipulated in the Compensation Schedule and shall reference the project title. The final invoice must contain the final cost and all credits due CITY. The final invoice should be submitted within 60 calendar days after completion of CONSULTANT's work.

5. No Assignment of Agreement

CONSULTANT bind themselves, their partners, successors, assigns, executors, and administrators to all covenants of this Agreement. Except as otherwise set forth in this Agreement, no interest in this Agreement or any of the work provided for under this Agreement shall be assigned or transferred, either voluntarily or by operation of law, without the prior written approval of CITY. However, claims for money due to or to become

due to CONSULTANT from CITY under this Agreement may be assigned to a bank, trust company or other financial institutions, or to a trustee in bankruptcy, provided that written notice of any such assignment or transfer shall be first furnished to CITY. In case of the death of one or more members of CONSULTANT's firm, the surviving member or members shall complete the services covered by this Agreement. Any such assignment shall not relieve CONSULTANT from any liability under the terms of this Agreement.

6. Consultant is an Independent Contractor

CONSULTANT is not an agent or employee of CITY but is an independent contractor with full rights to manage its employees subject to the requirements of the law. All persons employed by CONSULTANT in connection with this Agreement will be employees of CONSULTANT and not employees of CITY in any respect. CONSULTANT is responsible for obtaining statutory Workers' Compensation coverage for its employees.

7. Consultant's Services to be Approved by a Registered Professional

All reports, costs estimates, plans and other documents which may be submitted or furnished by CONSULTANT shall be approved and signed by a qualified registered professional in the State of California. The title sheet for calculations, specifications and reports, and each sheet of plans, shall bear the professional seal, certificate number, registration classification, expiration date of certificate and signature of the professional responsible for their preparation.

8. Standard of Workmanship

CONSULTANT represents and maintains that it is skilled in the professional calling necessary to perform the services and its duties and obligations, expressed and implied, contained herein, and CITY expressly relies upon CONSULTANT's representations regarding its skills and knowledge. CONSULTANT shall perform such services and duties in conformance to and consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California.

The plans, designs, specifications, estimates, calculations reports and other documents furnished under the Scope of Work (Exhibit "A") shall be of a quality acceptable to CITY. The criteria for acceptance of the work provided under this Agreement shall be a product of neat appearance, well-organized, technically and grammatically correct, checked and having the maker and checker identified. The minimum standard of appearance, organization and content of the drawings shall be that used by CITY for similar projects.

9. Responsibility of CONSULTANT

CONSULTANT shall be responsible for the professional quality, technical accuracy and the coordination of the services furnished by it under this Agreement. Neither CITY's review, acceptance nor payment for any of the services required under

this Agreement shall be construed to operate as a waiver of any rights under this Agreement or of any cause of action arising out of the performance of this Agreement and CONSULTANT shall be and remain liable to CITY in accordance with applicable law for all damages to CITY caused by CONSULTANT's negligent performance of any of the services furnished under this Agreement.

Any acceptance by CITY of plans, specifications, calculations, construction contract documents, reports, diagrams, maps and other material prepared by CONSULTANT shall not, in any respect, absolve CONSULTANT for the responsibility CONSULTANT has in accordance with customary standards of good engineering practice in compliance with applicable Federal, State, County and/or municipal laws, ordinances, regulations, rules and orders.

10. Right of CITY to Inspect Records of CONSULTANT

CITY, through its authorized employees, representatives, or agents, shall have the right, at any and all reasonable times, to audit the books and records including, but not limited to, invoices, vouchers, canceled checks, time cards of CONSULTANT for the purpose of verifying any and all charges made by CONSULTANT in connection with this Agreement. CONSULTANT shall maintain for a minimum period of three (3) years from the date of final payment to CONSULTANT or for any longer period required by law, sufficient books and records in accordance with generally accepted accounting practices to establish the correctness of all charges submitted to CITY by CONSULTANT. Any expenses not so recorded shall be disallowed by CITY.

11. Confidentiality of Material

All ideas, memoranda, specifications, plans, calculations, manufacturing procedures, data, drawings, descriptions, documents, discussions or other information developed or received by or for CONSULTANT and all other written information submitted to CONSULTANT in connection with the performance of this Agreement shall be held confidential by CONSULTANT and shall not, without the prior written consent of CITY be used for any purposes other than the performance of the Project services, nor be disclosed to an entity not connected with the performance of the Project services. Nothing furnished to CONSULTANT which is otherwise known to CONSULTANT or is or becomes generally known to the related industry shall be deemed confidential. CONSULTANT shall not use CITY's name, insignia or distribute exploitative publicity pertaining to the services rendered under this Agreement in any magazine, trade paper, newspaper or other medium without the express written consent of CITY.

12. No Pledging of CITY's Credit

Under no circumstances shall CONSULTANT have the authority or power to pledge the credit of CITY or incur any obligation in the name of CITY.

13. Ownership of Material

All material, including information developed on computer(s), which shall include, but not be limited to, data, sketches, tracings, drawings, plans, diagrams, quantities, estimates, specifications, proposals, tests, maps, calculations, photographs, reports and other material developed, collected, prepared or caused to be prepared, under this Agreement shall be the property of CITY, but CONSULTANT may retain and use copies thereof.

CITY shall not be limited, in any way, in its use of said material, at any time, for work associated with Project. However, CONSULTANT shall not be responsible for damages resulting from the use of said material for work other than Project, including, but not limited to the release of this material to third parties for work other than on Project.

14. Hold Harmless/Indemnification

Pursuant to the full language of California Civil Code §2782, Consultant/Design Professional agrees to indemnify, including the cost to defend, City and its officers, officials, employees, and volunteers from and against any and all claims, demands, costs, or liability that arise out of, or pertain to, or relate to the negligence, recklessness, or willful misconduct of Consultant and its employees or agents in the performance of services under this contract, but this indemnity does not apply to liability for damages arising from the sole negligence, active negligence, or willful acts of City; and does not apply to any passive negligence of City unless caused at least in part by the Consultant. City agrees that in no event shall the cost to defend charged to the Consultant exceed that professional's proportionate percentage of fault. This duty to indemnify shall not be waived or modified by contractual agreement or acts of the parties. The defense and indemnification obligations of this agreement are undertaken in addition to, and shall not in any way be limited by, the insurance obligations contained in this agreement. Consultant's responsibility for such defense and indemnity obligations shall survive the termination or completion of this agreement.

15. Insurance Requirements

The City requires that CONSULTANT maintain insurance requirements on the electronic insurance verification system. CONSULTANT shall procure and maintain, at its own expense, during the life of this Agreement, policies of insurance as specified in Exhibit "C" attached and incorporated herein by reference and shall provide all certificates and endorsements as specified in Exhibit "C" for approval by the City Risk Manager prior to CONSULTANT (or subcontractor) commencing any work under this Agreement.

16. Wage Rates

Pursuant to Sections 1770, 1771, 1774 – 1776, 1777.5, 1813, and 1815 of the California Labor Code, the successful bidder shall pay not less than the prevailing rate of per diem wages as determined by the Director of the State of California Department of Industrial Relations. Copies of such prevailing wage rates are available for review at the

office of City's Director of Public Works, 456 West Olive Avenue, Sunnyvale, California 94086. Wage rates can also be obtained through the California Department of Industrial Relations website at:

<http://www.dir.ca.gov/OPRL/DPreWageDetermination.htm>

Bidders shall promptly notify the person identified on the cover page of this bid invitation, in writing, about all labor classifications not listed in the prevailing wage determinations but necessary for the performance of the work described in the bid documents.

The successful bidder/contractor, and each subcontractor shall keep accurate payroll records, and comply in all respects with Labor Code section 1776, including the timely response to written notices requiring copies of such records, as provided for in such section. In the event the contractor or subcontractor fails to comply within the ten day period, that contractor or subcontractor shall forfeit one hundred dollars (\$100.00) for each calendar day, or portion thereof, for each worker, until strict compliance is effectuated, as provided by Labor Code section 1776(h).

Neither the notice inviting bids nor this Agreement shall constitute a representation of fact as to the prevailing wage rates upon which the CONTRACTOR or any subcontractor may base any claim against CITY.

It shall be mandatory upon CONTRACTOR and upon any subcontractor to pay not less than the specified rates to all laborers, workers, and mechanics employed in the execution of the Contract. It is further expressly stipulated that CONTRACTOR shall, as a penalty to CITY, forfeit two hundred dollars (\$200.00) for each calendar day, or portion thereof, for each laborer, worker, or mechanic paid less than the stipulated prevailing rates for any work done under this Contract by CONTRACTOR or by any subcontractor; and CONTRACTOR agrees to comply with all provisions of Section 1775 of the Labor Code.

In case it becomes necessary for CONTRACTOR or any subcontractor to employ on the project under this Agreement any person in a trade or occupation (except executives, supervisory, administrative, clerical, or other non-manual workers as such) for which no minimum wage rate is herein specified, CONTRACTOR shall immediately notify CITY who will promptly thereafter determine the prevailing rate for such additional trade or occupation and shall furnish CONTRACTOR with the minimum rate based thereon. The minimum rate thus furnished shall be applicable as a minimum for such trade or occupation from the time of the initial employment of the person affected and during the continuance of such employment.

17. No Third Party Beneficiary

This Agreement shall not be construed or deemed to be an agreement for the benefit of any third party or parties and no third party or parties shall have any claim or right of action hereunder for any cause whatsoever.

18. Notices

All notices required by this Agreement, other than invoices for payment which shall be sent directly to Accounts Payable, shall be in writing, and sent by first class with postage prepaid, or sent by commercial courier, to address below.

Nothing in this provision shall be construed to prohibit communication by more expedient means, such as by email, to accomplish timely communication. Each party may change the address by written notice in accordance with this paragraph. Notices delivered personally shall be deemed communicated as of actual receipt; mailed notices shall be deemed communicated as of three business days after mailing.

To CITY: Dennis Ng, Assistant Director of Public Work
Department of Public Works
CITY OF SUNNYVALE
P. O. Box 3707
Sunnyvale, CA 94088-3707

To CONSULTANT: Verde Design, Inc.
Attn: Mark Baginski, RLA, LEED AP
2455 The Alameda
Santa Clara, CA 95050

19. Waiver

CONSULTANT agrees that waiver by CITY of any one or more of the conditions of performance under this Agreement shall not be construed as waiver(s) of any other condition of performance under this Agreement.

20. Integrated Agreement

This Agreement embodies the agreement between CITY and CONSULTANT and its terms and conditions. No verbal agreements or conversation with any officer, agent or employee of CITY prior to execution of this Agreement shall affect or modify any of the terms or obligations contained in any documents comprising this Agreement. Any such verbal agreement shall be considered as unofficial information and in no way binding upon CITY.

21. Conflict of Interest

CONSULTANT shall avoid all conflicts of interest, or appearance of conflict, in performing the services and agrees to immediately notify CITY of any facts that may give rise to a conflict of interest. CONSULTANT is aware of the prohibition that no officer of CITY shall have any interest, direct or indirect, in this Agreement or in the proceeds thereof. During the term of this Agreement, CONSULTANT shall not accept employment

or an obligation which is inconsistent or incompatible with CONSULTANT'S obligations under this Agreement.

CONSULTANT'S duties and services under this agreement shall not include preparing or assisting the CITY with any portion of CITY'S preparation of a request for proposals, request for qualifications, or any other solicitation regarding a subsequent or additional contract with the CITY. The CITY shall at all times retain responsibility for public contracting, including with respect to any subsequent phase of this project. CONSULTANT participation in the planning, discussions, or drawing of project plans or specifications shall be limited to conceptual, preliminary, or initial plans or specifications. CONSULTANT shall cooperate with CITY to ensure that all bidders for a subsequent contract on any subsequent phase of this project have access to the same information, including all conceptual, preliminary, or initial plans or specifications prepared by contractor pursuant to this agreement.

Pursuant to CITY's Conflict of Interest Code, Council Policy 7.3.7, CITY has determined that, depending on the position, certain individuals performing services under this Agreement may be required to file a Statement of Economic Interest (Form 700), which can be found at www.fppc.ca.gov. If applicable, to facilitate electronic submittal of Form 700, CONSULTANT shall send the following information to cityclerk@sunnyvale.ca.gov: 1) first and last name(s) of CONSULTANT's employee(s); 2) email address(es) of CONSULTANT's employee(s); 3) date when CONSULTANT's employee(s) will begin work under this contract; and 4) (if known) date when CONSULTANT's employee(s) will cease work under this contract.

Government Code Section 91013 provides that any person who files a statement after its deadline shall be liable in the amount of \$10 per day, up to a maximum of \$100, in addition to any administrative penalty (up to the statutory maximum, currently \$5,000) imposed by the Fair Political Practices Commission (FPPC). If any of CONSULTANT's employee(s) is required to submit Form 700, and CITY does not receive CONSULTANT's Form 700, then CITY is required to refer this matter to the FPPC or other appropriate enforcement agency.

22. Governing Law, Jurisdiction and Venue

This Agreement shall be governed by and construed in accordance with the laws of the State of California, excluding its conflict of law principles. Proper venue for legal actions will be exclusively vested in a state court in the County of Santa Clara. The parties agree that subject matter and personal jurisdiction are proper in state court in the County of Santa Clara, and waive all venue objections.

23. Records, Reports and Documentation

CONSULTANT shall maintain complete and accurate records of its operation, including any and all additional records required by CITY in writing. CONSULTANT shall submit to CITY any and all reports concerning its performance under this Agreement that

may be requested by CITY in writing. CONSULTANT agrees to assist CITY in meeting CITY's reporting requirements to the state and other agencies with respect to CONSULTANT's work hereunder. All records, reports and documentation relating to the work performed under this Agreement shall be made available to City during the term of this Agreement.

24. Termination of Agreement

- A. If CONSULTANT defaults in the performance of this Agreement, or materially breaches any of its provisions, CITY at its option may terminate this Agreement by giving written notice to CONSULTANT. In the event of such termination, CONSULTANT shall be compensated in proportion to the percentage of satisfactory services performed or materials furnished (in relation to the total which would have been performed or furnished) through the date of receipt of notification from CITY to terminate. CONSULTANT shall present CITY with any work product completed at that point in time.
- B. Without limitation to such rights or remedies as CITY shall otherwise have by law, CITY also shall have the right to terminate this Agreement for any reason upon ten (10) days' written notice to CONSULTANT. In the event of such termination, CONSULTANT shall be compensated in proportion to the percentage of services performed or materials furnished (in relation to the total which would have been performed or furnished) through the date of receipt of notification from CITY to terminate. CONSULTANT shall present CITY with any work product completed at that point in time.
- C. If CITY fails to pay CONSULTANT, CONSULTANT at its option may terminate this Agreement if the failure is not remedied by CITY within (30) days after written notification of failure to pay.

25. Subcontracting

None of the services covered by this Agreement shall be subcontracted without the prior written consent of CITY. Such consent may be issued with notice to proceed if subcontract consultants are listed in the project work plan.

26. Fair Employment

CONSULTANT shall not discriminate against any employee or applicant for employment because of race, religious creed, color, national origin, ancestry, physical disability, mental disability, medical condition, genetic information, marital status, sex, gender, gender identity, gender expression, age, sexual orientation, or veteran or military status, or any other protected characteristic in violation of federal or state law.

27. Changes

CITY or CONSULTANT may, from time to time, request changes in the terms and

conditions of this Agreement. Such changes, which are mutually agreed upon by CITY and CONSULTANT, shall be incorporated in amendments to this Agreement by Section 30 below.

28. Other Agreements

This Agreement shall not prevent either Party from entering into similar agreements with others.

29. Severability Clause.

In case any one or more of the provisions contained herein shall, for any reason, be held invalid, illegal or unenforceable in any respect, it shall not affect the validity of the other provisions which shall remain in full force and effect.

30. Captions

The captions of the various sections, paragraphs and subparagraphs, of the contract are for convenience only and shall not be considered nor referred to for resolving questions of interpretation.

31. Entire Agreement; Amendment

This writing constitutes the entire agreement between the parties relating to the services to be performed or materials to be furnished hereunder. No modification of this Agreement shall be effective unless and until such modification is evidenced in writing as an amendment to this Agreement signed by all parties. If the amendment is signed electronically, the digital signatures must comply with the requirements of California Government Code Section 16.5.

32. Miscellaneous

Time shall be of the essence in this Agreement. Failure on the part of either party to enforce any provision of this Agreement shall not be construed as a waiver of the right to compel enforcement of such provision or any other provision.

IN WITNESS WHEREOF, the parties have executed this Agreement.

ATTEST:

CITY OF SUNNYVALE ("CITY")

By _____

By _____

City Clerk

City Manager

VERDE DESIGN, INC.
("CONSULTANT")

APPROVED AS TO FORM:

By _____

Name/Title

City Attorney

By _____

Name/Title

Exhibit A
Detailed Scope of Work
Serra Park Renovation and Enhancement
PR-25-01

I. General

The City of Sunnyvale is seeking proposals from licensed Landscape Architecture firms to provide professional services for design and preparation of bid documents and construction support for the Serra Park Renovation and Enhancement Project. The scope of work generally includes preparation of: preliminary design, public outreach, design development, bid documents, and bidding/construction support for Public Works competitive bidding. Ancillary work includes: environmental needs assessment (Phase 1 ESA) and document preparation (CEQA), construction cost estimating, schedule monitoring, preparation of reports and recommendations, and project management.

II. Project Information

A. Description

This project is for the renovation and enhancement of existing park features at Serra Park, a riverboat-themed park that includes but are not limited to a recreation center, multi-use sports fields, four tennis courts, picnic sites, a pond and artificial creek system, playgrounds, and a water play feature. Three public outreach meeting and two online surveys will be held during the preliminary design phase to gather feedback from neighbors, park users, and other stakeholders. Below are the potential improvements identified by City staff. This list may be refined based on public input and available budget. See Appendix 4, Project Map for the location of each item.

- Full condition assessment and renovation of the recreation building. Features to assess include, but are not limited to the following: lightings, windows, doors, electrical, plumbing, interior and exterior walls, ect.
- Replacement of park lighting systems with energy efficient fixtures, including lightings at the tennis courts.
- Renovation of the water play feature. (existing playgrounds to remain)
- Assessment and reconstruction of four tennis courts.
- Assess and replace landscaped and ornamental lawn along with the park irrigation and pump system.
- Assess the grass athletic field for replacement. City will not consider synthetic turf as option for improvement. (Agronomic study not included)
- Replacement of fixtures throughout the park including wooden picnic tables, benches, garbage bins and BBQ grills. Concrete picnic tables to remain.
- Assessment of the park's artificial creek system. This is an existing park feature that utilizes pumps to lift water up from the lower pond to the top of the creek system, then allows it to flow back to the pond.
 - Assess pumps and valves at pond.
 - Assess water line between pond and top of creek system.
- Assessment of installing EV charging station within the parking lot next to the tennis courts.
- Assessment and repair of damaged concrete pathways.
- Assessment of Wi-fi installation. Include three options with cost estimates and wi-fi heat maps for blanket coverage of the entire park, and wi-fi in the common areas and wi-fi in the park building only.

Optional Scope:

- Prepare improvement plan for the park's artificial creek system. Based on the findings of the base scope.
- Assess feasibility and implement Green Stormwater Infrastructure (GSI) improvement based on concept plan provided by City. See Appendix 6 – GSI Improvement Concept.
- Prepare and design to install two EV charging station within the parking lot next to the tennis courts.
- Prepare and include Wi-fi improvement in the PS&E.

B. Location

Serra Park is located at 730 The Dalles Avenue in Sunnyvale. Surrounding uses include residential on the north and east, dental care offices on the south, and land owned by the Cupertino School District on the west.

C. Existing Conditions (also see Appendix 3, Project Photos)

- Recreation building:
 - Built in 1960s, currently used for daycare service through recreations department.
 - Dry rot and termite damage visible from exterior.
 - Roof drainage issue.
 - Lighting, windows, doors, fans, floor tiles, heaters need replacement.
 - No restroom in the main building.
- Irrigation and pump system.
 - 4" water line from the street at 40 psi.
 - Single phase irrigation control system.
- Approximately 50 fluorescent light fixtures throughout the park.
- Existing restroom near the tennis court was installed recently and not included in this project.
- Athletic field has issues with turf quality and irrigation. Portion of athletic field owned by Cupertino School District and maintained by City of Sunnyvale.
- Artificial creek system and pond:
 - Pump and valves at the pond have access and maintenance issues.
 - Water line between the pond and top of creek system clogs due to tree roots.
 - Loss of water during operation due to leaks in the creek and pond lining.

III. Consultant Scope of Services

The consultant will perform all engineering/architecture and project management related work necessary to prepare plans and specifications suitable for Public Works bidding.

Consultant services shall include, but are not limited to: Project management, preliminary design, design development, bid documents, bidding support, and construction support services, as further detailed below:

A. Project Management

The consultant will be the primary responsible party for managing the project's schedule and consultant contract budget. In addition, the consultant is expected to attend progress meeting and prepare action item logs for subsequent follow-up. The consultant is expected

to maintain frequent and timely communication with City staff throughout the duration of the project.

All project schedules shall be prepared in Gantt chart format, utilizing Microsoft Project software. Three weeks for each City review shall be included. Schedule updates shall be provided at all progress meetings.

Consultant's own team should have provisions for quality assurance/quality control over work product prepared for the City. A statement of peer review will be required for overall constructability, coordination, and reasonable reduction in errors and omissions.

The total project budget, including both design and construction is \$10,051,294. This amount also includes construction and design contingencies (10%) and the installation of Public Art in the amount of 1% of the total construction cost. Additional construction budget might be available for the green street infrastructure. Consultant is expected to design a project that can be constructed within this budget and communicate often and early for any major changes to schedule and cost estimate.

Submit 75% submittal stage to the Building Division, per the instructions in *Appendix 5: Bldg. Dept Electronic Plan Check Submittal*. Consultant will also be responsible for making appointments (as necessary) and delivering all subsequent submittals to the Building Division.

The project must comply with the City of Sunnyvale Art in Public Places Policy. One percent (1%) of the project construction budget shall be allocated for installation of public art. Consultant must coordinate with the City's Department of Library and Recreation Services and provide exhibits showing potential public art locations as needed and assist in selection of the artist which will design the public art for this project. Consultant must also coordinate with the artist to incorporate art location(s) in the construction documents.

Consultant is responsible for coordinating and obtaining necessary applications and permits from utility companies such as PG&E and other stakeholders such as School district for project coordination.

Trimble Unity Construct (eBuilder) license and training: Consultant will be required to use Trimble Unity Construct™ software and protocols included in that software during this project, Consultant shall coordinate with City staff for training materials and Trimble Unity Construct introduction. City will provide consultant one Trimble Unity Construct license for the duration of the project. Trimble Unity Construct shall be utilized for all project management documentation and correspondence. The use of project management communications herein described is in addition to and does not replace or change any contractual responsibilities of the consultant.

B. *Preliminary Design*

The preliminary design phase will include field assessment and community outreach with schematic design.

1. Project Start-up

- a. Establish files and in-house documentation
- b. Obtain City documents related to site and other requirements
- c. Coordinate City-provided GIS maps, title, report, benchmarks

- d. Update and provide input on milestone schedule
2. Project Kick-off meeting
 - a. Meet with City Staff to identify roles and responsibilities
 - b. Review existing site plan, park improvements, and design intent
 - c. Review project's goals and objectives

3. Field Condition Assessment:

Consultant shall perform a detailed field investigation with City staff to confirm existing conditions and identify any major issues and remaining lifespan of all features within the site. Consultant shall be responsible for contacting utility companies, regulatory agencies, and other stakeholders to gather additional background information as part of this assessment.

Consultant shall compile and detail the findings into a technical memorandum with a detailed assessment and evaluation of existing park components. The memo shall indicate current condition and recommended improvements for the park components, along with preliminary cost estimates. At a minimum, this memorandum shall include the following:

- Recreation building:
 - General condition of the building (multi-use room, recreation office, and restrooms).
 - Assessment of necessary repairs, replacement, and renovation for code compliance.
- Park Features:
 - Tennis courts. (4 total)
 - Water play feature.
 - Artificial creek system.
- Hardscape
 - Assessment of accessible path of travel.
 - Assessment of existing concrete pathways and recommendation for replacement.
- Lighting systems
- Irrigation system (Heads, coverage, materials, pressure, booster pump, data and communication)
- Athletic grass field and ornamental lawn.
 - Evaluation of field programming and layout
- Implementation of GSI Improvement. See appendix 6.

Deliverables: A draft technical memorandum and a final technical memorandum shall be submitted for stakeholder review and comments and will contain the following items

(a) Field Condition Assessment to include:

- (i) Topographic and underground utility survey.
- (ii) Recreation building assessment.
- (iii) Planting and tree assessment.
- (iv) Arborist report of tree health.
- (v) Hardscape assessment including accessibility analysis for community building and project area.

- (vi) Water play area assessment.
 - (vii) Ornamental creek infrastructure assessment.
 - (viii) Irrigation assessment.
 - (ix) Accessibility analysis for community building and project area.
 - (x) Electrical and lighting system assessment.
 - (xi) Lead/Asbestos testing for existing buildings.
- (b) Update the initial assessment report based on City feedback.
- (c) Evaluation of Recreation Building for listing as a historic resource under CEQA.

All submittals shall include digital copies (PDF and native format) of all documents. Two submittals of the draft technical memorandum shall be provided, and each City review will be three weeks. Technical memorandums should include prioritization of improvements, preliminary cost estimates of identified improvements, and project schedules.

4. Public Outreach:

Three online public meetings will be held on weekday evenings in addition to two online surveys. City staff shall be provided all meeting materials (storyboards, presentation, etc) three weeks prior to the public meeting for review. Cost estimates shall be prepared for each concept plan prepared demonstrating that the project is within the allocated design and construction budget, inclusive of appropriate design contingencies.

- **Public Meeting #1:** Initial meeting will discuss current condition of the park and gather public input around the required and desired improvements. The consultant will lead the meeting, take notes, and prepare a meeting summary of all public input, including trends of ideas proposed. Meeting summary shall be provided to City within 1 week of the meeting date.
- **Online Survey #1:** First online survey will capture existing park use and desired improvements heard from the first public meeting. City staff will administer the online survey with series of questions developed by the consultant, then the consultant shall review and summarize the results of the survey.
- **Concept Plans:** Following the initial public meeting, consultant shall prepare three concept plans for City's review. Each concept plan shall include preliminary cost estimates that are within the specified design and construction budgets, including design contingencies. Concept plans may incorporate all items listed in project description, as well as recommendations from the condition assessment. Concept plans shall be prepared utilizing information from the condition assessment and initial public input. Consultant shall develop a list of other desired park components if remaining construction budget is available.
- **Public Meeting #2:** Second meeting will present the three concept plans to the public. The consultant will be expected to lead the meeting, take notes, and prepare a meeting summary of all public input, including trends of ideas proposed.
- **Online survey #2:** Second survey will capture feedback on the three presented concept plans to supplement Meeting #2. City staff will administer the online survey with series of questions developed by the

consultant, then the consultant shall review and summarize the results of the survey.

- **Public Meeting #3:** Third meeting shall present two refined concept plans, prepared by the consultant, which incorporate all feedback from the online surveys and previous two public outreach meetings. The consultant will be expected to lead the meeting, take notes, and prepare a meeting summary of all public input, including trends of ideas proposed.

In addition to the online public meetings and surveys, the consultant shall support City staff by preparing presentation slides and attending one Parks and Recreation Commission Meeting and one City Council Meeting. Both meetings are held in person on weekday evenings. City staff will lead the presentations while consultant provides technical support and assist City staff during Q&A session.

C. *Design Development*

Consultants shall be the Architect of Record and responsible for design and preparation of complete plans and technical specifications for the project.

All work is to comply with all applicable rules, regulations, code, law, and good practice for public facilities. When possible, the Consultant shall incorporate “green” building/construction practices, sustainability, energy efficiency, and low operations and maintenance costs into recommendations and subsequent design.

Use of contractors, and all applicable subcontractors which are required to pay prevailing wages, requires registration with the State of California, Department of Industrial Relations (DIR) through the Public Works Contractor Registration Program (PWC Registration) before bidding, being awarded, or performing work on public works projects in California. This includes those performing surveying work, material testing, inspection, trucking, boring, potholing, concrete deliveries and temporary service companies who provide workers to prevailing wage contractors. **For complete details, please refer to Appendix 1: Labor Compliance.**

Plans and specifications shall provide sufficient detail to result in a good quality product while allowing competitive pricing where possible and appropriate, and provide options to the contractor where appropriate to obtain the same good level of quality for the best bid price. Plans and specifications shall not specify proprietary products or services. Specifications shall be prepared in CSI 2020 format.

A portion of the western side of the park is owned by the Cupertino School District and maintained by the City of Sunnyvale as indicated on Appendix 2, Project Map. Consultant is responsible of coordinating with School District for improvements proposed on their property. Consultant is also responsible of coordinating with DSA for the review of proposed improvement as necessary.

Coordination and preparation of documentation to facilitate permits and outreach with utility companies, regulatory agencies, Building Division and other stakeholders will also be the consultant’s responsibility. If a Storm Water Management Plan (SWMP) is required for the project, the consultant shall prepare the SWMP and hire and pay a certified third-party reviewer from the SCVURPPP list of prequalified consultants as required for the building permit.

All submittals shall include digital copies (PDF and native format) of all documents. Consultant should expect one page-turn meeting per submittal.

1. 30% Submittal: Submit electronic PDF file package:
 - a. 30% plans: 30"x42" plans with cover sheet and plan sheet with base mapping and preliminary details.
 1. 30% plans to include:
 - a. Cover sheet
 - b. Demolition Plans
 - c. Preliminary Grading Plans
 - d. Drainage and Utility Plans
 - e. Material and Detail Reference Plans
 - f. Planting and Irrigation Plans
 - g. Preliminary Details
 - h. Phase 1 Environmental site assessment (ESA)
 - a. Submit Preliminary Reports:
 - Geotechnical report shall be submitted with information suitable for use in building assessment, aquatic features and lighting foundation design.
 - Environmental Site Assessment (ESA) shall be submitted documenting any existing contamination for material to be off hauled, and recommendations for disposal.
 - b. Cut sheets for equipment/appurtenances such as pump systems and electrical or mechanical equipment.
 - c. Documentation of outreach with franchise utility companies for facilities needed as a result of the proposed construction activities.
 - d. Project schedule update.
 - e. 30% construction cost estimate.
 - f. Brief memorandum of determination if the project's construction activities are within the NPDES Construction General Permit. Include project type and risk level.
 - g. Table of Contents list for technical specifications.
 - h. Recommendations for staging construction to reduce impact on surrounding neighborhood users.
 - i. Exhibit of potential art locations for the public art design.
 - j. Schedule for coordination with PG&E.
 - k. Schedule for coordination with DSA for any changes proposed on the school property.
2. 75% Submittal: All major issues have been resolved prior to this stage. The intent of this submittal is to provide plans and project documents in sufficient detail to allow for thorough and complete review.

Submit electronic PDF file package:

- a. 75% Plans: All subcontracted work shall be accounted for in this submittal. All project details have been accounted for. Construction staging/phasing information has been included. Deferred submittals are listed on the cover sheet of the plan set.

- b. 75% Plans to include:
 - a. Cover Page
 - b. Existing Conditions Plan
 - c. Accessibility Plan
 - d. Erosion Control Plan
 - e. Demolition Plan
 - f. Grading Plan
 - g. Drainage and Utilities Plan
 - h. Stormwater Control Plan
 - i. Layout Plan
 - j. Material and Detail Reference Plan
 - k. Irrigation Plan
 - l. Planting Plan
 - m. Creek and Pump Details
 - n. Water Play Area Plan and Equipment Details
 - o. Electrical details
 - p. Blanket Wi-Fi design (if optional task 7C is authorized), Electrical infrastructure/low voltage distribution design
 - q. Architectural floorplan and details
 - r. Structural details

- c. 75% specifications:
 - Technical specifications
 - Special Provisions, with recommended changes in track changes format. The Special Provisions shall also include the following:
 - Bid item descriptions and measurement and payment provisions
 - A list of minimum required submittals during construction
 - List of information available to Bidders, with disclaimer
 - A table listing all material testing and associated responsibility
 - A table list of materials requiring warranties, and associated warranty periods
- c. Project schedule update.
- d. 75% construction cost estimate in the form of the bid schedule.
- e. Utility conflicts have been resolved or a timeline for resolution of issues has been determined.
- f. CEQA Exemption documentation, suitable for filing at the County Recorder's Office.
- g. Responses to the City's review comments on the 30% submittal, along with return of mark-ups.
- h. Submit 75% plan set to building division review. See Appendix 4 for instruction.
- i. The Stormwater Management Plan has been submitted to the City's approved third-party reviewer.
- j. Water Efficiency design calculations to comply with Sunnyvale Municipal Code 19.37.050.
- k. Stormwater management and compliance with NPDES C.3 requirements have been incorporated into the project.
- l. Calculations and forms/reports containing information necessary ready for upload and for City to certify this project into the Stormwater Multiple

Application and Report Tracking System (SMARTS) for compliance under the Construction General Permit.

- m. Deferred submittals and special inspections have been identified on the plans.
 - n. Coordination with School District and DSA based on proposed work.
 - o. Documentation of status of permits needed (PG&E and/or Environmental).
 - p. Other supporting documentation as necessary.
3. 100% Submittal: All issues, prior comments, and concerns must be addressed in this submittal.

Submit electronic PDF file package:

- a. 100% plans
 - Peer review shall have been accomplished by this stage, with the statement and signature on the cover sheet. The professional shall sign, date, and seal the following Certification of Peer Review on a letterhead document with the transmittal of the final plans and specifications:

“The undersigned hereby certifies that a professional peer review of these plans and the required designs was conducted by me, a professional engineer with expertise and experience in the appropriate fields of engineering equal to or greater than the Engineer of Record, and that appropriate corrections have been made.”

100% Plans to include:

- a. Cover Page
 - b. Existing Conditions Plan
 - c. Accessibility Plan
 - d. Erosion Control Plan
 - e. Demolition Plan
 - f. Grading Plan
 - g. Drainage and Utilities Plan
 - h. Stormwater control plan
 - i. Layout Plan
 - j. Material and Detail Reference Plan
 - k. Irrigation Plan
 - l. Planting Plan
 - m. Creek and Pump details
 - n. Water Play Area Plan and Equipment Details
 - o. Electrical details
 - p. Blanket Wi-Fi design (if optional task is authorized), Electrical infrastructure/low voltage distribution design
 - q. Architectural floorplan and details
 - r. Structural details
- b. 100% specifications
 - Reviewed bid instructions
 - Finalized technical specifications.
 - Finalized Special Provisions
 - Project schedule update.
 - c. 100% construction cost estimate.

- d. Submit 100% plan set to building division review.
- e. Responses to the City's review comments on the 75% submittal, along with return of mark-ups.
- f. Coordination with public art artist to incorporate any details needed for anchorage of the artwork.
- g. All utility permits and coordination – PG&E, Cupertino School District, DSA, have been completed.
- h. Storm Water Management Plan third party certification.
- i. Other supporting documentation as necessary.

D. Bid Package

The bid package shall be finalized upon incorporation of the City's final comments from the 100% submittal, and incorporation of all Building Division comments.

Submit digital format (PDF and native format) of each of the documents listed below:

1. Digital copy of full sized plans (30" x 42"), stamped and signed on each sheet by the Engineer/Architect of Record and by discipline.
2. One digital copy of the specifications.
 - a. Technical specifications, with cover sheet stamped and signed by all necessary disciplines.
3. Final project schedule update.
4. Final construction cost estimate.

E. Bidding Services

Consultant will attend a pre-bid meeting, respond to all bidder's requests for information (RFIs), and support the City's coordination efforts to inform plan-holders of significant responses to RFIs and prepare addenda as necessary. During bidding, all proposers' communications will be directed through the City's Purchasing Officer.

If addenda to bid documents are extensive and are as a result of consultant's work product, conformed documents shall be prepared at no expense to the City. City will provide reproduction services.

F. Construction Support Services

The City's construction management team will have primary responsibility for construction management and inspection. The consultant's point of contact will be the City's construction manager, not the contractor.

The following is a minimum list of services and submittals required.

1. Attend and prepare information for an internal handoff meeting from the design team to the construction management team. Consultant shall be prepared to address: possible construction pitfalls, items for the construction management team to be aware of (special working hours, shortened timelines for submittal reviews, etc.).
2. Attend the pre-construction meeting.
3. Attend 5 periodic construction progress meetings.
4. Coordinate with public art artist.
5. Participate in the final inspection and development of punch lists.

6. Respond to RFIs, which includes clarifying or providing revisions or additional detail where necessary on the plans and specifications. Response to RFIs shall be timely in order to avoid construction delays and claims.
7. For projects with a building permit, the consultant shall stamp and sign any revisions to the contract plans as a result of responses to RFIs or as a result of executed change orders. Consultant shall ensure that all changes comply with the applicable codes. Coordination with the Building Department may be necessary.
8. Review and respond to all submittals within the period allocated in the contract documents and as necessary to avoid construction delays and claims.
9. Review proposed substitutions, if any, for conformance to plans and technical specifications.
10. Review and make recommendations on proposed changes to the contract (Request for Quotations and Contract Change Orders).
11. Prepare Record Drawings based upon red-lines provided by the contractor and field reviews. All changes shall be indicated in red and clouded. All plan sheets shall be stamped with red "Record Drawings" stamp. The stamp shall include Engineer of Record Company Name, name of Engineer of Record, date of the Record Drawing update, and standard disclaimer. See suggested stamp below:

RECORD DRAWINGS
COMPANY NAME:
ENGINEER OF RECORD:
DATE:
THE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED AS A RESULT.

The Record Drawings shall be prepared digitally, using AutoCAD. Final Record Drawings shall be submitted electronically, in PDF and CAD format.

12. Participate in the "Lessons Learned Meeting" with all parties at the end of the project.

Task G — Optional Services

1. Prepare improvement plans for the Park's artificial creek system.
 - a. Remove and replace Artificial Creek and Ponds Mechanical System
 - b. Remove and replace Artificial Creek and Ponds Mechanical System, Artificial Creek Bed, and Ponds
2. Design and Implement GSI (Stormwater) Improvements.
3. Coordination and Application for DSA review.
7. Electrical Improvements
 - a. New PG&E Service
 - b. Prepare and design two EVCS stalls at Tennis Court Parking Lot
 - c. Wi-Fi Improvements
8. Geotechnical Environmental Soil Sampling and Testing
11. Architectural design for renovation of recreation building

12. Potholing (as required)

Special Provisions

- A. Services or information required from the City:
1. Improvement plans or as-builts for utilities servicing the site
 2. Record plans for recent projects occurring on the site
 3. Applicable City standards and guidelines
 4. City specifications, details, and electronic title block
 5. Inspection and testing during construction
- B. Without attempting to be all-inclusive, and for purposes of clarity, the following items are specifically not included in the Scope of Services:
1. Meetings other than those listed in the Scope of Work
 2. Additional renderings or presentations beyond what is listed in the Scope of Work
 3. 3D graphics other than those listed in the Scope of Work
 4. Architectural design for a conventional (stick-built) building to replace the Recreation Building
 5. Mechanical, Electrical, Plumbing, or Fire Alarm design and associated Title-24 compliance documentation for the restroom building - It is assumed that the restroom and recreational building will be pre-fabricated modular building with a single point of connection for power
 6. Surveillance camera, sound system, projection (movie viewing), and security system design
 7. Offsite improvements – streets, traffic lights, and utility runs
 8. SWPPP testing and inspection during construction (QSP services)
 9. Geotechnical testing and inspection during construction – available upon request
 10. Construction Permit fees associated with the project
 11. Design for areas not identified in the project understanding
 12. Well or Lift Station design
 13. Modifications to existing buildings other than those listed
 14. Prequalification selection process for contractors or materials
 15. Separate bid packages, phasing, or construction sequence implementation beyond what is proposed.

IV. Available Documents

The below list of information is available for information only:

- Record drawings and plan sets, Appendix 5. The City does not guarantee the accuracy or completeness of record drawings. Consultant shall verify all information to their professional satisfaction.
 - PR-11/05-12 Serra Park Play Equipment Renovation
 - PR-86-02 Serra Park Improvements
 - PR-63-04 Serra Park Miscellaneous Park Improvements
- Utility block maps for City sanitary sewer and storm drain are available on the City's website. City staff will provide water facilities block maps as necessary.
<https://www.sunnyvale.ca.gov/city-services/online-services/maps-and-gis/utility-maps>

- Benchmarks for vertical control are listed on the City's website:
<https://www.sunnyvale.ca.gov/home/showpublisheddocument/1590/637820851886430000>
City standard specifications and details are available on the City's website - Details:
<https://www.sunnyvale.ca.gov/home/showpublisheddocument/2920/637822741794530000>
Specifications:
<https://www.sunnyvale.ca.gov/home/showpublisheddocument/1606/637820851912670000>

The below information will be provided during design to the consultant.

- GIS data for property lines, street center lines, and two (2) foot contours
- Aerial photographs from 2023 (ArcGIS format)
- City standard plan cover sheet

V. Appendices

1. Labor Compliance
2. Project Map
3. Project Photos
4. Building Department Submittal Instructions
5. Record Drawings
6. GSI Improvement Concept

Appendix 1

Labor Compliance

Contractor Registration with the State of California – Contractors, and all applicable subcontractors which are required to pay prevailing wages, must be registered with the State of California, Department of Industrial Relations (DIR) through the Public Works Contractor Registration Program (PWC Registration) before bidding, being awarded, or performing work on public works projects in California. This includes those performing surveying work, material testing, inspection, trucking, boring, pot holing, concrete deliveries and temporary service companies who provide workers to prevailing wage contractors. Registration must remain current throughout the project entirety. It is the contractor's responsibility to not allow their PWC Registration to lapse during the project and to ensure all Subcontractor's registrations remain current. The Labor Commissioner can assess penalties to public works contractors of up to \$10,000, in addition to the registration fee, for failure to register. Awarding agencies are also subject to penalties of \$100 a day, up to a maximum of \$10,000, for having an unregistered contractor perform work on a public works project. If any penalties are issued to the City for unregistered subcontractors or for a lapse in a contractor/subcontractor's PWC Registration, these penalties will be passed onto the contractor. **A contractor that allows an unregistered subcontractor to work on the project is also subject to penalties of \$100 a day up to \$10,000.** Contractors shall list all applicable PWC registration numbers on the Bid Form.

Hours of Work – Pursuant to Labor Code, Section 1810, eight hours of labor during any one calendar day and forty hours of labor during any one calendar week shall constitute the maximum hours of service upon all work done hereunder, and it is expressly stipulated that no laborer, worker, or mechanic employed at any time by the contractor or by any subcontractor or subcontractors under this Contract, upon the work or upon any part of the work contemplated by this Contract, shall be required or permitted to work thereon more than eight hours during any one calendar day and forty hours during any one calendar week, except, as provided by Section 1815 of the Labor Code of the State of California, work performed by employees of contractors in excess of eight hours per day and forty hours during any one week shall be permitted upon public work upon compensation for all hours worked in excess of eight hours per day at not less than one and one-half times the basic rate of pay. It is further expressly stipulated that for each and every violation of Sections 1811-1815, inclusive, of the Labor Code of the State of California, all the provisions whereof are deemed to be incorporated herein, Contractor shall forfeit, as a penalty to the City, twenty-five dollars (\$25.00) for each laborer, worker, or mechanic employed in the execution of this Contract by Contractor, or by any subcontractor under this Contract, for each calendar day during which the laborer, worker, or mechanic is required or permitted to work more than eight hours in any one calendar day and forty hours in any one calendar week in violation of the provisions of the Sections of the Labor Code. Such forfeiture amounts may be deducted from the contract sum.

Contractor and each Subcontractor shall keep, or cause to be kept, an accurate record showing the actual hours worked each calendar day and each calendar week by each worker employed on the project, which record shall be kept open at all reasonable hours to the inspection of the City, its officers and agents, and to the inspection of the appropriate enforcement agency of the State of California.

Wage Rates – Pursuant to Sections 1770, 1771 and 1774 of the Labor Code of the State of California, or any applicable local law, contractors shall not pay less than the prevailing rate of per diem wages as determined by the Director of the Department of Industrial Relations. The City has ascertained the general prevailing rate per diem wages and rates for holidays, and overtime work in the city, for each craft, classification or type of laborer, worker, or mechanic needed to execute this Contract. The City has adopted, by reference, the general prevailing rate of wages applicable to the work to be done under the Contract, as adopted and published by the Division of Labor Standards Enforcement and Labor Statistics and Research of the State of California, Department of Industrial Relations, to which reference is hereby made for a full and detailed description. A copy of the prevailing wage rates may be reviewed in the office of the Director of Public Works, City of Sunnyvale, 456 West Olive Avenue, Sunnyvale, California. Wage rates can also be obtained through the California Department of Industrial Relations website at: <http://www.dir.ca.gov/OPRL/DPreWageDetermination.htm>

Neither the notice inviting bids nor this Contract shall constitute a representation of fact as to the prevailing wage rates upon which the Contractor or any subcontractor may base any claim against the City.

In case it becomes necessary for Contractor or any subcontractor to employ on the project under this Contract any person in a trade or occupation (except executives, supervisory, administrative, clerical, or other non-manual workers as such) for

which no minimum wage rate is herein specified, Contractor shall immediately notify the City who will promptly thereafter determine the prevailing rate for such additional trade or occupation and shall furnish Contractor with the minimum rate based thereon. The minimum rate thus furnished shall be applicable as a minimum for such trade or occupation from the time of the initial employment of the person affected and during the continuance of such employment.

Prevailing Wage – As identified in the Notice to Bidders, the work contemplated by this agreement is a public work subject to prevailing wages under California Labor Code, Sections 1720 et. seq. The State of California Department of Industrial Relations has ascertained the general prevailing per diem wage rates in the locality in which the work is to be performed for each craft, classification, or type of worker required to perform the work. A schedule of the most recent general prevailing per diem wage rates made available to the City will be on file at the City's principal facility office and will be made available to any interested party upon request. This prevailing wage rate schedule is provided by the City for Bidder's information only and is not guaranteed by the City to be current. Contractor is obligated to verify all appropriate prevailing wage rates and pay those rates as required. By this reference the verified current schedule of prevailing wage rates is made part of the Contract Documents. Contractor shall pay not less than the prevailing per diem wage rates, as specified in the schedule and any amendments thereto, to all workers employed by contractor in the execution of the work. Contractor shall cause all subcontracts to include the provision that all subcontractors shall pay not less than the specified prevailing per diem wage rates to all workers employed by such subcontractors in the execution of the work.

Contractor shall forfeit to the City, as a penalty, no more than two hundred dollars (\$200.00) for each calendar day or portion thereof for each worker that is paid less than the specified prevailing per diem wage rates for the work or craft in which the worker is employed for any portion of the work done by contractor or any subcontractor in violation of the provisions of the Labor Code, and in particular Sections 1770 to 1781 thereof, inclusive. Such forfeiture amounts may be deducted from the contract sum. Contractor shall also pay to any worker who was paid less than the specified prevailing per diem wage rate for the work or craft for which the worker was employed for any portion of the work, for each calendar day, or portion thereof, for which the worker was paid less than the specified prevailing per diem wage rate, an amount equal to the difference between the specified prevailing per diem wage rate and the amount which was paid to the worker.

The City will not recognize any claim for additional compensation because of the payment by the Contractor for any wage rate in excess of prevailing wage rates set forth in the Agreement, including payment in excess of the prevailing wage for extra work paid by force account. The possibility of wage increases is one of the elements to be considered by the Contractor in determining the contractor's bid and will not, under any circumstances be considered as the basis of a claim against the City under the Agreement.

Certified Payroll Records – Pursuant to Labor Code, Sections 1776 et. Seq., contractor and all subcontractors shall keep an accurate payroll record, showing the name, address, social security number, job classification, straight time and overtime hours worked each day and week, and the actual per diem wages paid to each journeyman, apprentice, worker, or other employee employed in connection with the work. All payroll records shall be certified as being true and correct by contractor or subcontractors keeping such records; and the payroll records shall be provided to the City no later than three weeks after closing of payroll for City-funded projects, and no later than one week for federal aid projects. The contractor or subcontractor has 10 days in which to comply subsequent to receipt of a written notice requesting the records enumerated in Labor Code section 1776 (a). In the event that the contractor or subcontractor fails to comply within the 10-day period, he or she shall, as a penalty to the state or political subdivision on whose behalf the contract is made or awarded, forfeit one hundred dollars (\$100) for each calendar day, or portion thereof, for each worker, until strict compliance is effectuated. Certified payroll records shall be made available at reasonable hours at the contractor's principal office to the persons authorized to inspect such records pursuant to Labor Code section 1776. Certified payroll shall also be made available for inspection upon request by the State of California Division of Labor Standards Enforcement, or the Division of Apprenticeship Standards of the State of California Division of Industrial Relations.

Each contractor and every lower-tier subcontractor will be required to submit certified payrolls and labor compliance documentations electronically via the software LCPTracker. Contractor shall cause all subcontracts to include the provision that all subcontractors submit certified payrolls and labor compliance documentation electronically via LCPTracker. Electronic submission will be a web-based system, accessed on the World Wide Web by a web browser. Each contractor

user will be given a Log-On identification and password to access the City's reporting system. Access will be coordinated by a City representative.

Apprentice Program – Attention is directed to State of California Labor Code, Sections 3095, 1777.5, 1777.6, and 1777.7 and Title 8, California Code of Regulations, Section 200, and the applicable Sections that follow. Responsibility for compliance with these requirements lies with the contractor. To ensure compliance and complete understanding of the law requiring apprentices, and specifically the required ratio thereunder, contractor or subcontractors should, where some question exists, contact the Division of Apprenticeship Standards, 525 Golden Gate Avenue, San Francisco, California, or one of its branch offices prior to commencement of the work. In the event contractor willfully fails to comply with this section, it will be considered in violation of the requirements of the Contract.

Contractor and all of its subcontractors shall abide by the provisions of California Labor Code Section 1777.6 prohibiting discrimination in the acceptance of otherwise qualified apprentices; and California Labor Code Section 3095 which declares the unlawful discrimination in any recruitment or apprenticeship program on stated grounds. City shall be entitled to retain and withhold all penalties as authorized pursuant to California Labor code, Division 2, Part 7, Chapter 1, commencing with Section 1720 and following, in accordance with the provisions of that Chapter, and the regulations established by the Director of Industrial Relations pursuant to the statutory authority of such chapter.

Appendix 2 Project Map

Serra Park, 730 The Dalles Ave, Sunnyvale, CA 94087



Appendix 3 Project Photos



Figure 1: Water Play feature

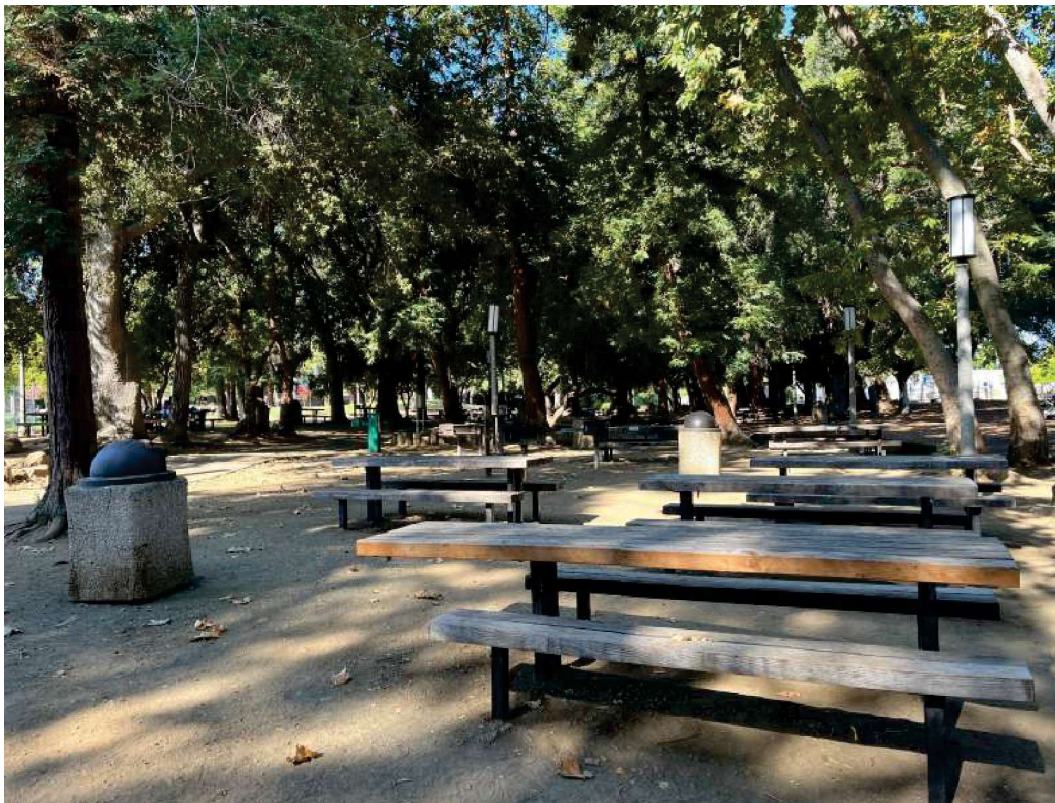


Figure 2: Picnic area with wooden tables, bbq grills, garbage bins, and light fixtures.



Figure 3: Wooden benches located throughout the park.



Figure 4: Recreation building



Figure 5: Park's lighting fixture



Figure 6: Tennis court



Figure 7: Pond



Figure 8: Artificial Creek System



Sunnyvale

ELECTRONIC PLAN CHECK SUBMITTALS

BUILDING DIVISION REQUIREMENTS

- All Building permits requiring plan checks shall be submitted online through the [E-OneStop Online Service permitting system](#).
- When submitting for permits through the online portal, allow five to 10 business days for submittal acceptance confirmation. Notification will be provided via email.

INSTRUCTIONS FOR SUBMITTING

New Building Permits – All new building permit submittals must include the following documents as PDFs:

- Permit Application – Must be complete with all fields filled in. Use the [Building and Fire Permit Application](#).
- Questionnaire for Non-residential projects – Complete the questionnaire at the end of this handout and include it with your submittal documents.
- Plans – Saved as a single file as one complete set, digitally stamped and signed by a design professional, if applicable.
- Structural Calculations – Digitally stamped and signed by a design professional, if applicable, and saved as a separate file.
- Other Supporting Documents (energy calculations, special inspection forms, etc.) – Saved as a separate file.
- Green Halo (GH) Registration – Newly constructed buildings and demolition projects, commercial and residential additions, and alterations to non-residential projects must register with GH to track construction and demolition waste and recycling. Visit Sunnyvale.wastetracking.com to register. A screenshot of your in-progress GH registration, showing the project address and GH tracking number, must be included in your submittal package, if applicable.
- Responsible Construction – Projects that are 15,000 square feet or larger are subject to the Responsible Construction Ordinance. [Acknowledgement of Responsibility](#) shall be completed and submitted to the Building Division before permit issuance. For additional information and instruction, refer to the [Permit Center](#).
- Use Tax Registration - All General Contractors and subcontractors with contract values greater than \$5 million should register the job site with the California Department of Tax and Fee Administration (CDFTA) where applicable. [Visit CDFTA's website](#) to register each qualifying contractor/subcontractor. The tax account administrators need to register the job site to report use tax directly to Sunnyvale. For questions, contact Economic Development at 408-730-7607.

Resubmittals

- Submit a **complete**, revised set of plans, calculations and supporting documents with

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444

Building and Planning hours are 8 a.m. - 12:30 p.m. and 1 - 5 p.m.

Sunnyvale.ca.gov

changes clouded. If there have been no changes to the plans and documents, you must still send the latest **complete** set. It is important that a complete plan set package is submitted at each round of plan check.

- Include a formal response letter addressing all City comments.

Addendums

- All revisions/addendums requiring plan check must be emailed.
- Submit revised sheets only with changes clouded and corresponding revision delta symbols. Sheets shall be digitally stamped and signed by the design professional, if applicable.
- Submit an itemized list of all revisions and addendums organized by page number.
- Include revised structural calculations, if applicable, with changes clouded and digitally stamped and signed by the Engineer of Record (EOR).
- A separate file should be included containing a copy of the approved full set of plans for reference.

Deferred Submittals

- All deferred submittals requiring plan check must be emailed.
- Each plan sheet must be digitally stamped and signed with the EOR's professional stamp and digitally stamped and signed with the EOR's review stamp. **No typed names or initials will be accepted.**
- The first page of the calculations must be digitally stamped and signed with the EOR's professional stamp and digitally stamped and signed with the EOR's review stamp. **No typed names or initials will be accepted.**
- Include a copy of the approved plan sheet that lists the City-approved deferred items.

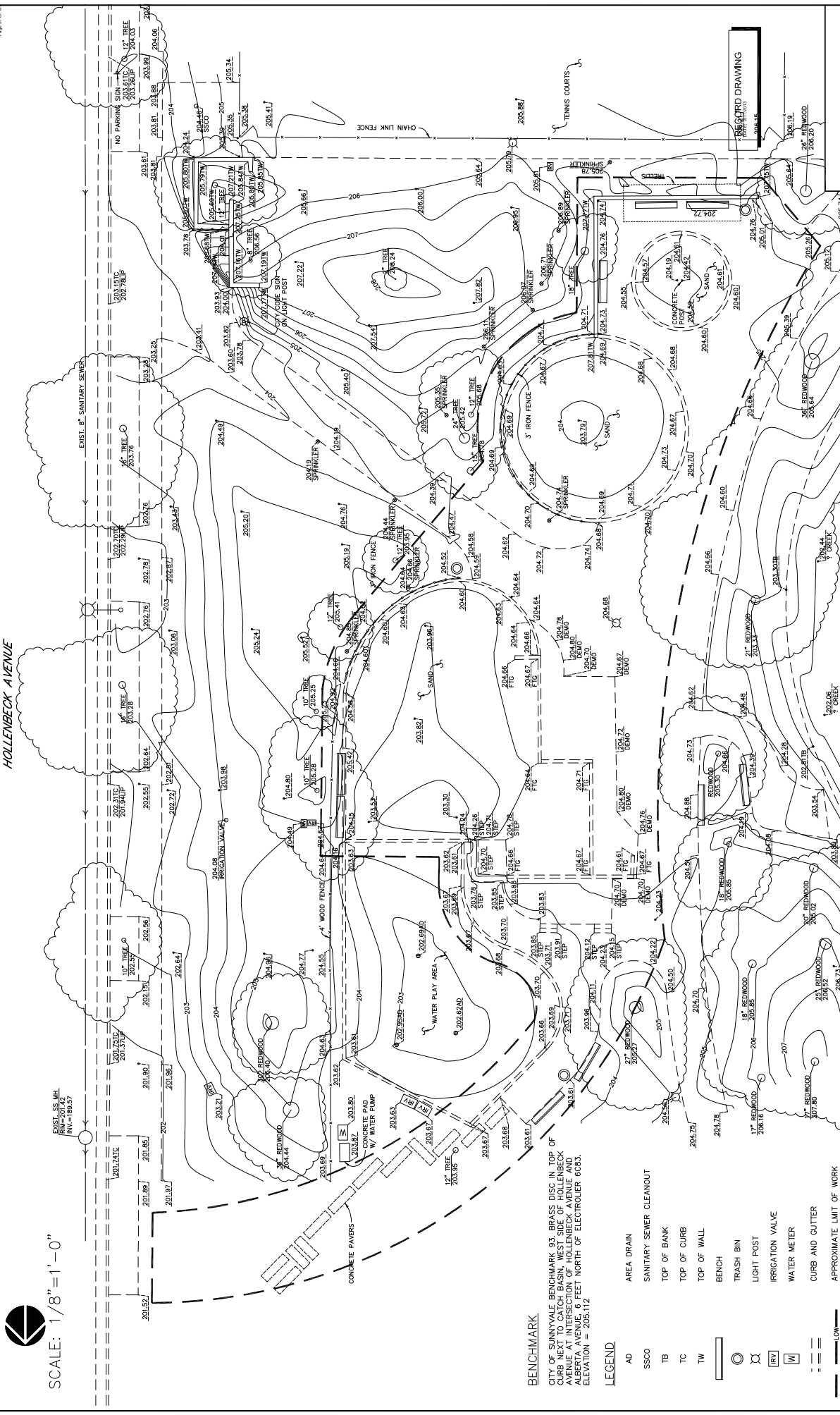
Additional Instructions

- When resubmitting on the portal, only upload the relevant file to the correct tiles. For example, upload Building Plans to the Building Plans tile, upload Structural Calculations to the Structural Calculations tile, etc.
- The City can accept a total attachment size of 150 MB; however, this number may be limited by your email provider.
- Larger files can be sent through a link to cloud storage. The link cannot require special permissions or login credentials.
- Plan sets must be submitted as one file. Larger plan sets can be organized into separate folders by discipline such as Architectural, Mechanical, Electrical, Plumbing, etc.
- Structural Calculations, response letters and other supporting documents must be organized into separate folders and not included in the plan set file.
- Files should be named so it is clear what they contain, with no internal company file names or file numbers.

See next page for additional application information.

Questionnaire for Non-residential Projects



1. Is this project associated with an already-approved planning permit?
2. Does the project involve a change of use such as an office as the old tenant and a restaurant as the new tenant?
3. Are exterior changes to the building or site proposed such as new roof-mounted equipment, trees removed from the parking lot, new windows, or new doors?
4. Is the project proposing any kitchen/café improvements? (This is for the Public Works Department to determine any sewer/water connection fees and updates to the trash management plan.)
5. Is the project going in a new shell building or space that has never been occupied **or** an existing building where landlord/market-ready shell improvement is in progress? If yes, provide the building permit number for the shell work. **Note a Building permit will not be released until the shell work is complete or substantially complete.**
6. Will the proposed project include the use of a new recycled water system? If so, an application along with plans must be submitted separately to the Environmental Services Department Water Division. Contact [Ray Orozco](#) directly at 408-730-7663 with any questions.



SCALE: 1/8" = 1'-0"

BENCHMARK
 CITY OF SUNNYVALE BENCHMARK 93. BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN, WEST SIDE OF HOLLENBECK AVENUE, 100 FEET NORTH OF ELECTROLIER 6028. ELEVATION = 205.112

- LEGEND**
- AD AREA DRAIN
 - SSCO SANITARY SEWER CLEANOUT
 - TB TOP OF BANK
 - TC TOP OF CURB
 - TW TOP OF WALL
 - BENCH BENCH
 - TRASH BIN TRASH BIN
 - LIGHT POST LIGHT POST
 - IRV IRRIGATION VALVE
 - W WATER METER
 - CURB AND GUTTER CURB AND GUTTER
 - APPROXIMATE LIMIT OF WORK

 CITY OF SUNNYVALE Sunnyvale, California		SERRA PARK PLAY EQUIPMENT RENOVATION TOPOGRAPHIC SURVEY	
City of Sunnyvale Santa Clara County Department of Public Works 400 West Olive Avenue Sunnyvale, CA 95088-3707		Project No. PR-1105/12 Drawing No. TS-1	
Scale 1/8" = 1'-0"		Designed By: RBH Drawn By: DOM Checked By: RBH Consultant's Job No.: 11-1291	
		FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES 0 1 2 3	
Civil Engineers - Planners Surveyors Civil Engineering Associates 2300 West Park Drive, Suite 200 Sunnyvale, CA 95058 Tel: (408) 255-1998		City of Sunnyvale Civil Engineers - Planners Surveyors 2300 West Park Drive, Suite 200 Sunnyvale, CA 95058 Tel: (408) 255-1998	
Rev.	Description	Date	Sheet
			2 of 10

DEMOLITION LEGEND

- SYMBOL**
- ☆ EX. ELECTROLER - PROTECT IN PLACE
 - ▨ EX. WATER PLAY AREA - PROTECT IN PLACE
 - ▩ EX. PLAY SAND TO BE SALVAGED - REF. TO NOTE #14.
 - ▧ EX. CONCRETE PAVING, CURB & BASECROCK TO BE REMOVED
 - ▦ EX. CONCRETE PAVING, CURB & BASECROCK TO REMAIN - PROTECT IN PLACE, TYP.
 - EX. TREE TO BE PRESERVED & PROTECTED
 - ⊗ EX. TREE TO BE REMOVED

- ABBREVIATIONS**
- LOW - APPROX. LIMIT OF WORK/TEMPORARY CONSTRUCTION FENCE LOCATION
 - IR - IRRIGATION SPRINKLER HEAD TO BE REMOVED
 - TBR - TO BE REMOVED
 - PIP - PROTECT IN PLACE
 - NIC - NOT IN CONTRACT

TREE PROTECTION NOTES

1. CLEARING WORK SHALL NOT BEGIN UNTIL TEMPORARY FENCES, BARRICADES, WARNING SIGNS AND OTHER PEDESTRIAN CONTROL DEVICES ARE INSTALLED.
2. ALL EXISTING CONCRETE PAVING, DECKING, PLAY EQUIPMENT, AND LOSS SHALL BE DEMOLISHED AND PAVED AREAS SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER OFF OF THE SITE.
3. TREES IDENTIFIED FOR REMOVAL SHALL BE REMOVED TO A POINT AT LEAST TWO FEET (2') BELOW FINISHED GRADE.
4. PRIOR TO COMMENCEMENT OF DEMOLITION, GRADING AND CONSTRUCTION, TEMPORARY FENCING SHALL BE INSTALLED AT THE DRIP LINE OF EACH TREE TO BE PRESERVED. FENCED AREA SHALL NOT BE VIOLATED DURING CONSTRUCTION.
5. ALL EXISTING ON-SITE TREES INDICATED TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING TREES SHALL BE PROTECTED BY THE CONTRACTOR. DEBRIS OR MATERIAL SHALL BE STOCKPILED AROUND THE BASE OF THE TREES. NO ONE SHALL DUMP DEBRIS OR FLUIDS WITHIN THE DRIP LINE OF ANY TREE (PLASTER, PAINT, THINNER, ETC.) ALL TREES SHALL BE PROTECTED BY THE CONTRACTOR. SOIL COMPACTED SHOULD BE NO MORE THAN 80% SOIL TUNNELING, TREKING, DAMAGE TO THE BARK. SOIL COMPACTED SHOULD BE NO MORE THAN 80% SOIL TUNNELING, TREKING, DAMAGE TO THE BARK. SOIL COMPACTED SHOULD BE NO MORE THAN 80% SOIL TUNNELING, TREKING, DAMAGE TO THE BARK.
6. ALL EXISTING ON-SITE TREES INDICATED TO REMAIN SHALL BE WATERED BY THE CONTRACTOR CONTINUOUSLY DURING THE COURSE OF CONSTRUCTION, AS NEEDED.
7. DO NOT DISTURB SURFACE SOIL WITHIN TREE DRIP LINE EXCEPT AS MANDATED BY CONSTRUCTION PLANS.
8. DURING EXTENDED PERIODS WITHOUT RAIN, SPRAY WASH TREES TO REMOVE ACCUMULATED CONSTRUCTION DUST.
9. GRADE IN LINES RADIAL TO THE EXISTING TREES BATHER THAN TANGENTIAL. IF ROOTS LARGER THAN 2" ARE ENCOUNTERED WHILE GRADING, & THEY ARE APPROVED FOR CUTTING BY THE ARBORIST, CUT THEM CLEANLY PER SPECS. DO NOT BE THEM UNTIL GRADING EQUIPMENT.
10. DO NOT ATTEMPT DEMOLITION OF TREES WITH GRADING EQUIPMENT WHEN TREES THAT ARE TO BE PRESERVED ARE IN THE VICINITY.

DEMOLITION NOTES

1. CLEARING WORK SHALL NOT BEGIN UNTIL TEMPORARY FENCES, BARRICADES, WARNING SIGNS AND OTHER PEDESTRIAN CONTROL DEVICES ARE INSTALLED.
2. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF SITE ALL MATERIALS AND APPURTENANCES IDENTIFIED FOR REMOVAL ON THE PLANS.
3. PROTECT ALL OPEN EXCAVATIONS, TRENCHES AND THE LIKE WITH FENCES, COVERS AND RAILINGS AS REQUIRED TO MAINTAIN SAFE PEDESTRIAN PASSAGE.
4. THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO ASCERTAIN THE EXACT LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO DOING WORK THAT MAY DAMAGE SUCH FACILITIES.
5. CONTRACTOR SHALL PRESERVE AND UTILIZE THE EXISTING PLAY SAND IN THE TOT AREAS AND THE EXISTING PLAY SAND TO BE SALVAGED TO THE PLAY SAND STORAGE AREA. PLAY SAND TO BE SALVAGED SHALL NOT BE INSTALLED. ANY EXCESS SAND SHALL BE REMOVED FROM THE SITE AT AN ADDITIONAL EXPENSE TO THE CITY.
6. GRIND 1/2" OFF TOP OF EXISTING CONCRETE SLAB AT BASE OF EXISTING LIGHT POST TO RECEIVE RESILIENT SURFACING.
7. CONTRACTOR SHALL PRESERVE AND UTILIZE THE EXISTING ON SITE PLAY SAND TO ACHIEVE A 12" DEPTH IN THE NEW TOT LOT WHERE RESILIENT SURFACING IS NOT INSTALLED.

Rev.	Description	Date



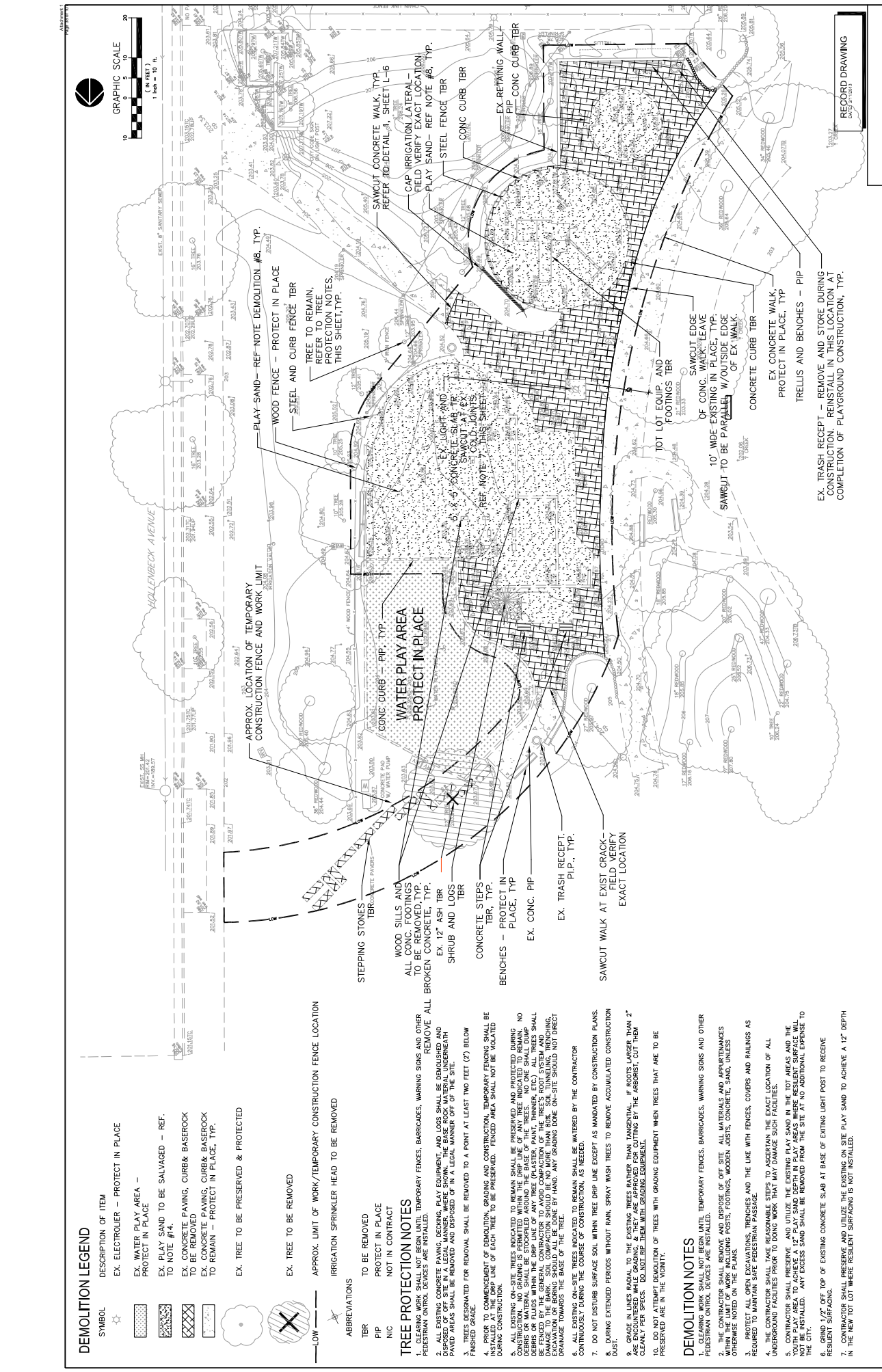
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Designed By:	RBH
Drawn By:	DOM
Checked By:	RBH
Consultant's Job No.	11-1291

DEMOLITION PLAN

SERRA PARK PLAY EQUIPMENT RENOVATION

City of Sunnyvale
Santa Clara County
California
Department of Public Works
465 West Olive Avenue
Sunnyvale, CA 95068-3707

Project No. PR-1105/12
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Sheet 3 of 10



RECORD DRAWING
DATE: 07/20/11

EX. TRASH RECEPT - REMOVE AND STORE DURING CONSTRUCTION. REINSTALL IN THIS LOCATION AT COMPLETION OF PLAYGROUND CONSTRUCTION, TYP.

SAWQUIT TO BE PARALLEL W/OUTSIDE EDGE OF EX WALK.

SAWQUIT WALK AT EXIST CRACK - FIELD VERIFY EXACT LOCATION

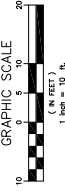
EX. LIGHT AND 8' X 5' CONCRETE SLAB TYP. SAWQUIT AT EX. COLD JOINTS. REFER NOTE # THIS SHEET.

WOOD SILLS AND ALL CONC. FOOTINGS TO BE REMOVED, TYP. EX. 12" ASH TBR SHRUB AND LOGS TBR

APPROX. LOCATION OF TEMPORARY CONSTRUCTION FENCE AND WORK LIMIT

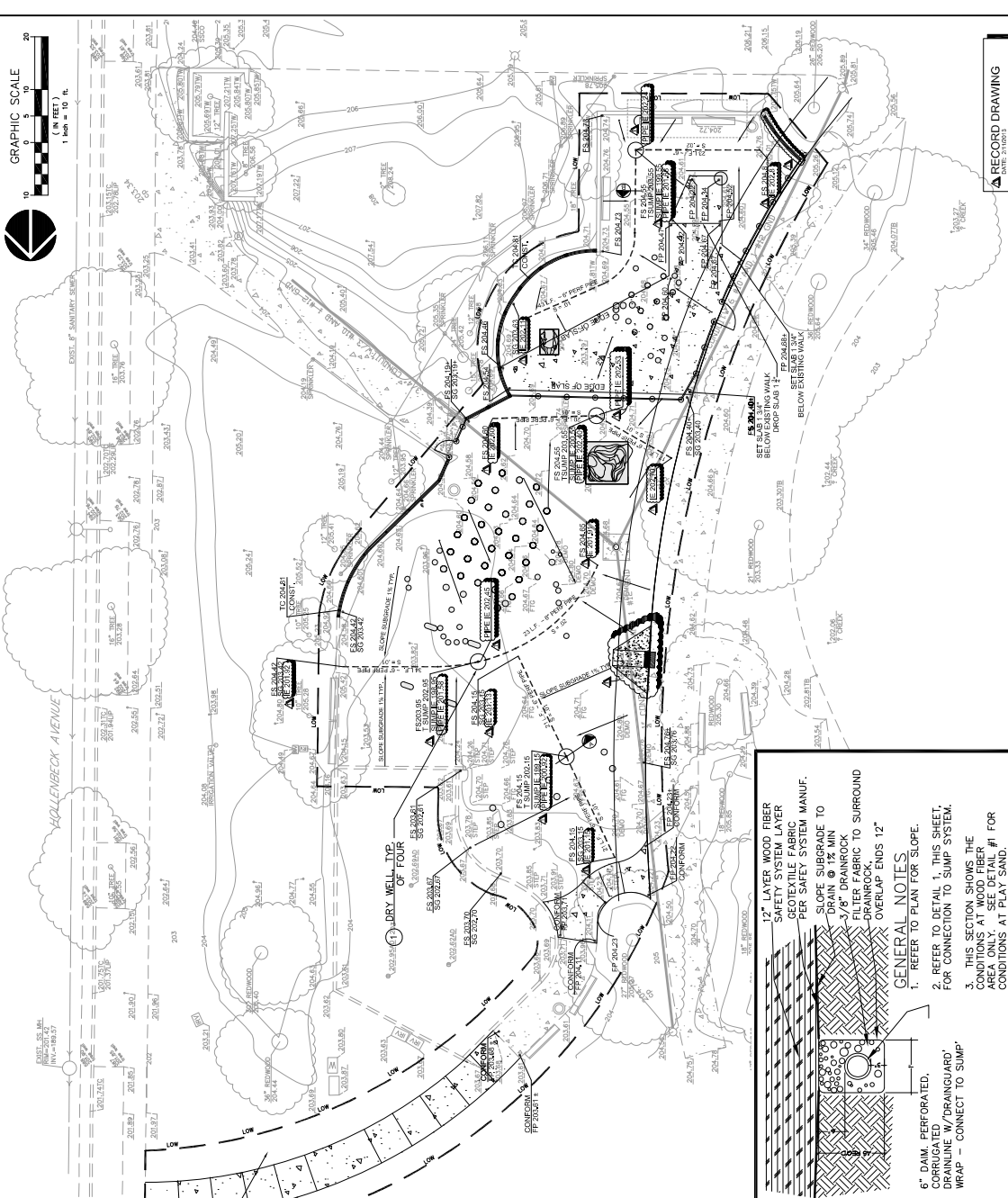
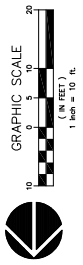
PLAY SAND - REF NOTE DEMOLITION #8, TYP.

HOLLENBECK AVENUE



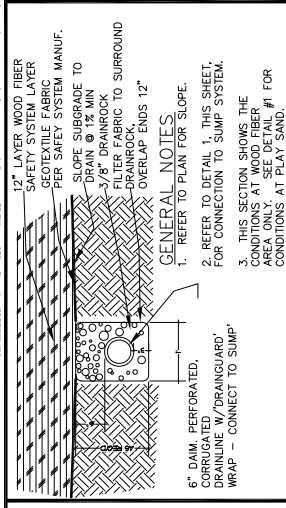
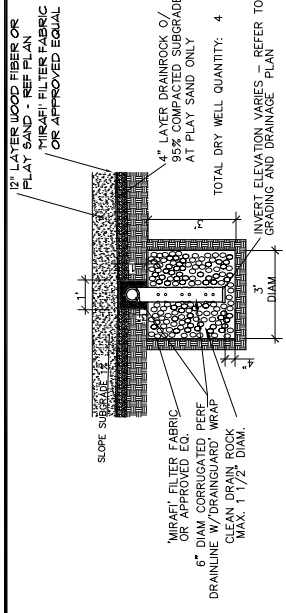
SYMBOL LEGEND

- ○ APPROXIMATE PLAY EQUIP. FOOTING LOCATION
- ⊕ EXISTING LIGHT POLE
- ⊕ HP HIGH POINT
- RE 8" CORRUGATED PERFORATED PIPE
- RW 12" CORRUGATED PERFORATED PIPE
- TC 12" CORRUGATED PERFORATED PIPE
- FG FINISHED GRADE ELEVATION
- FS FINISHED SUBGRADE ELEVATION
- SS SUB GRADE ELEVATION
- TYP TYPICAL
- P% PERCENTAGE SLOPE AND DIRECTION OF FALL
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- AND APPROXIMATE GRADE AT BASE
- LIMIT OF WORK LINE
- DRY WELL - REFER TO DETAIL 1, THIS SHEET



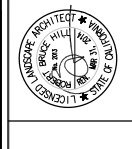
FINISH GRADING NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER OR HIS REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
2. ALL SITE UTILITIES SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION. ANY UTILITIES, STRUCTURES OR OTHER EXISTING FEATURES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED OR REPAIRED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND APPROXIMATE SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL GRADE ALL PLANTING AREAS IN A SMOOTH AND NATURAL APPEARANCE TO BLEND WITH EXISTING TOPOGRAPHY AND REPLACE ALL LAWN SHRUB AND GROUNDCOVERS IMPACTED BY CONSTRUCTION OPERATIONS. ALL DAMAGED LAWN AREAS SHALL BE REPLANTED WITH SOD.
4. THE CONTRACTOR SHALL PROVIDE POSITIVE SURFACE DRAINAGE IN ALL PLANTING AREAS IN A SMOOTH AND NATURAL APPEARANCE TO BLEND WITH EXISTING TOPOGRAPHY.
5. THE CONTRACTOR SHALL SET HIS STAKES OR WIRE TROUGH STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY AND HAVE GRADES CHECKED PRIOR TO PLACING CONCRETE OR TRENCHING.
6. COMPACTION SHALL BE DETERMINED USING ASTM D 1557-78
7. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED BY HIS OPERATIONS.
8. THE SURVEY MAP AND BASE INFORMATION WAS PREPARED BY CIVIL ENGINEERING ASSOCIATES. THIS MAP REPRESENTS TOPOGRAPHY OF SURFACE FEATURES ONLY.
9. SYMBOLS ARE NOT INTENDED TO REPRESENT EXACT SCALE.



1. DRY WELL SECTION 'A' SCALE: 1/2"=1'-0" 2. PIPE SECTION 'B' SCALE: 1"=1'-0"

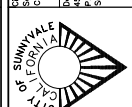
Rev.	Description	Date



Scale	RBH
Designed By:	RBH
Drawn By:	DOM
Checked By:	RBH
Consultant's Job No.	11-1291

SERRA PARK PLAY EQUIPMENT RENOVATION
GRADING AND DRAINAGE PLAN

City of Sunnyvale
Santa Clara County
California
Department of Public Works
405 West Olive Avenue
Sunnyvale, CA 94088-3707
Drawing No. L-2
Sheet 4 of 10



RECORD DRAWING
DATE: 7/10/13

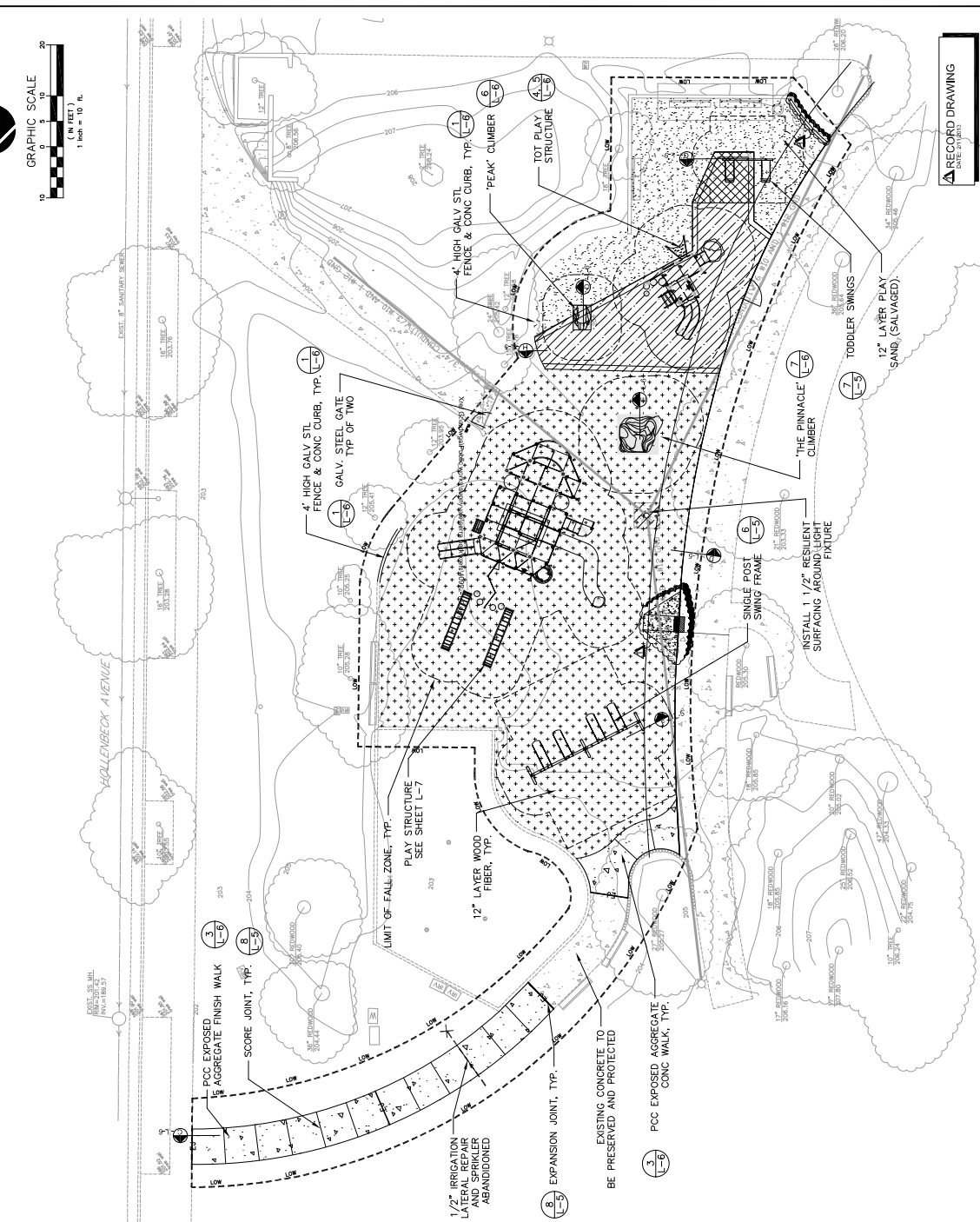
FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND PROPOSED IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR CONFLICTS THAT MAY ARISE. CONTACT THE CITY ENGINEER IMMEDIATELY FOR DIRECTION SHOULD CONFLICTS ARISE.
2. CONTRACTOR SHALL VERIFY CRITICAL DIMENSIONS, REFERENCE POINTS AND CONFLICTS PRIOR TO INITIATING WORK. NOTIFY ENGINEER IMMEDIATELY SHOULD CONFLICTS ARISE.
3. SHOULD THE CONTRACTOR ENCOUNTER CONDITIONS NOT SPECIFICALLY NOTED OR IMPLIMENTATION.
4. IF, FOR SOME REASON, THERE IS A DISCREPANCY BETWEEN ACTUAL CONDITIONS AND WRITTEN DIMENSIONS, NOTIFY CITY ENGINEER BEFORE PROCEEDING WITH WORK.
5. THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATIONS OF EXISTING AND FUTURE UNDERGROUND FACILITIES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK. CONTACT THE CITY PROJECT MANAGER AND THE UTILITY SERVICE ALERT (USA) 811 OR 800-227-2866 PRIOR TO INITIATING CONSTRUCTION.
7. COORDINATE ALL CONSTRUCTION ELEMENTS PRIOR TO INSTALLATION. VERIFY THE EXISTENCE AND LOCATIONS OF ALL EXISTING AND PROPOSED IMPROVEMENTS PRIOR TO INITIATING CONSTRUCTION. NOTIFY THE CITY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES ARISE.
8. CONTRACTOR SHALL LAYOUT ALL PROJECT ELEMENTS IN THE FIELD AND HAVE THEM APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
9. ALL MINOR ADJUSTMENTS MADE TO ACCOMMODATE EXISTING SITE CONDITIONS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
10. ALL NEW PAVED SURFACES SHALL CONFORM TO EXISTING PAVED SURFACES, TO THE EXTENT POSSIBLE. CONTRACTOR SHALL CONSTRUCT SMOOTH TRANSITIONS OF PAVING AND WALKS.

MATERIAL REFERENCE LEGEND

SYMBOL	DESCRIPTION OF ITEM	DETAIL REFERENCE
	RESILIENT SURFACING - 1 3/4" DEPTH	SHEET L-5, DETAIL 4
	RESILIENT SURFACING - 3 1/2" DEPTH	SHEET L-5, DETAIL 4
	12" DEPTH WOOD FIBER	REFER TO SPECIFICATIONS
	12" DEPTH PLAY SAND	SALVAGE EXISTING
	P.C.C. EXPOSED AGGREGATE FINISH WALK	SHEET L-6, DETAIL 3
	EXPANSION JOINT	SHEET L-5, DETAIL 8
	SCORE JOINT	SHEET L-5, DETAIL 8
	4" HIGH GALV. STEEL FENCE ON 6" WIDE PCC CURB	SHEET L-6, DETAIL 1
	LIMIT OF WORK LINE	
	EXISTING BENCH	
	EXISTING TRASH RECEPT.	RELOCATE ON SITE PER ENGINEER
	EXISTING LIGHT FIXTURE	PROTECT IN PLACE
	EXISTING TREE TO BE PRESERVED AND PROTECTED	

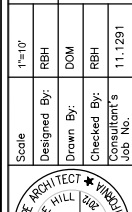


RECORD DRAWING
DATE: 01/20/14

City of Sunnyvale
Santa Clara County
California
Department of Public Works
405 West Olive Avenue
Sunnyvale, CA 94088-3707

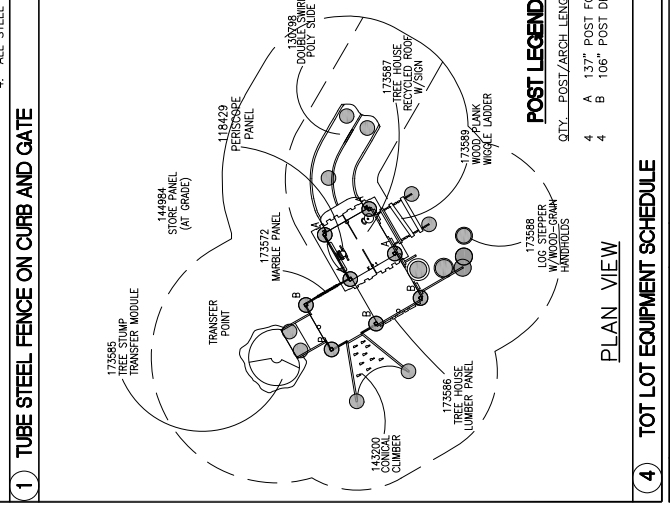
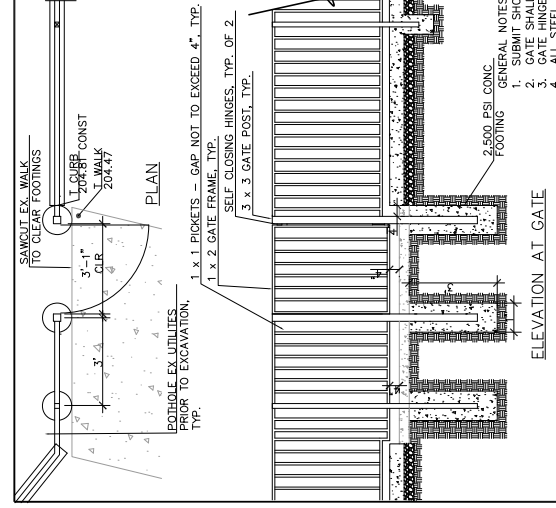
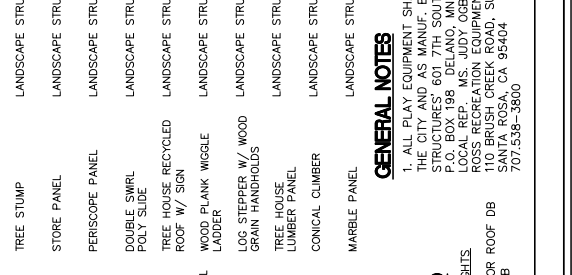
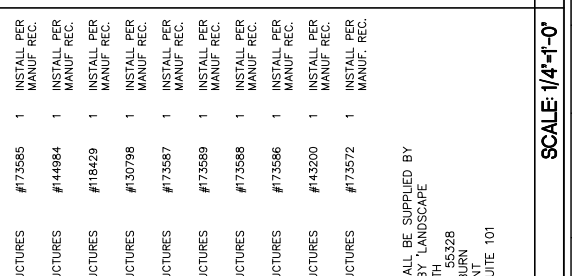
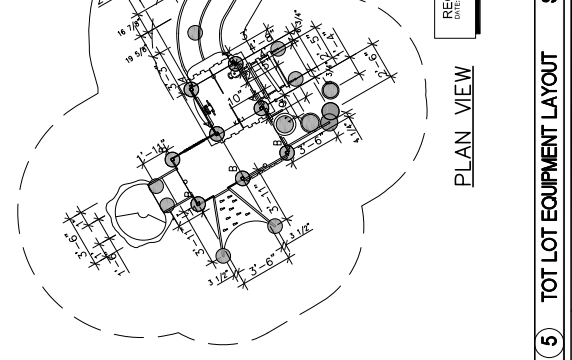
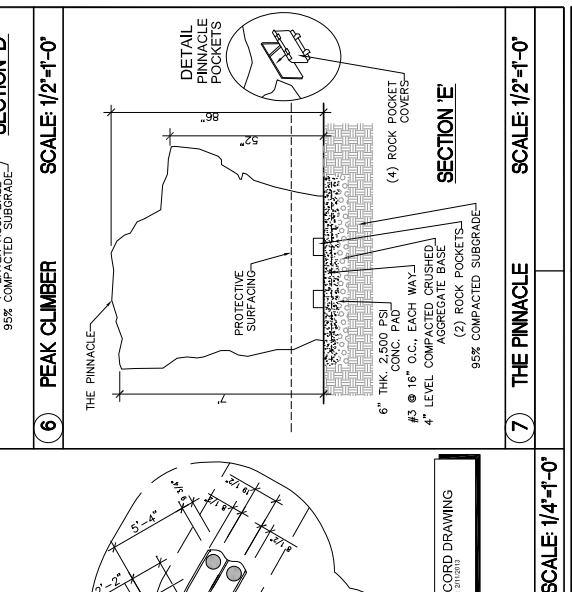
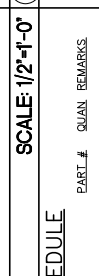
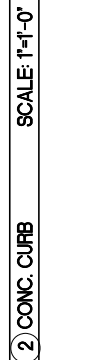
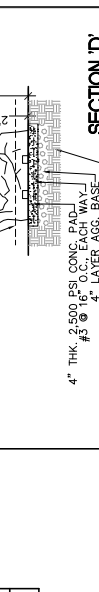
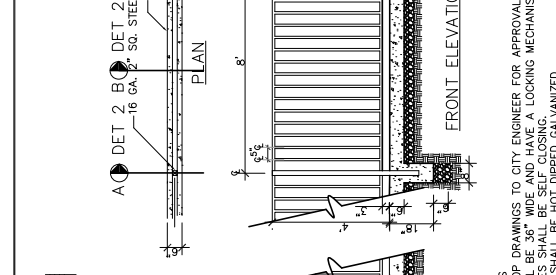
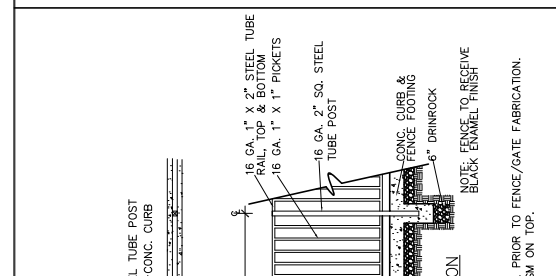
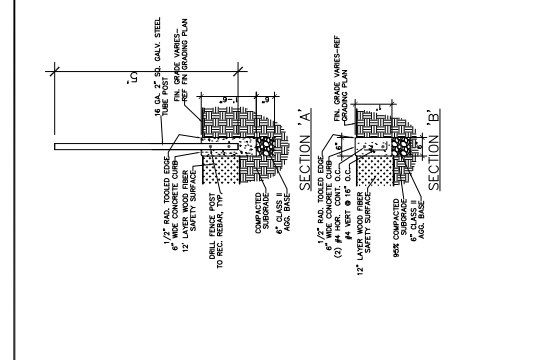
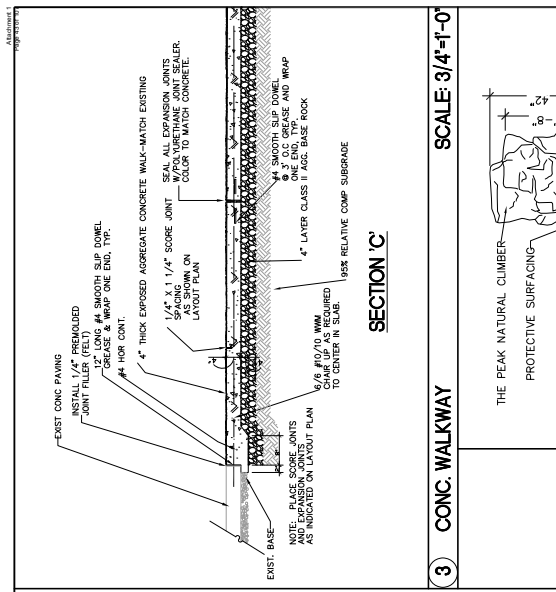
SERRA PARK PLAY EQUIPMENT RENOVATION
MATERIAL REFERENCE PLAN

Scale: 1"=10'
Designed By: RBH
Drawn By: DOM
Checked By: RBH
Consultant's Job No.: 11-1291



FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

Rev.	Description	Date



Rev.	Description	Date

ITEM	MANUF.	QTY.	REMARKS
TREE STUMP	LANDSCAPE STRUCTURES	#173585	1 INSTALL PER MANUF. REC.
STORE PANEL	LANDSCAPE STRUCTURES	#144984	1 INSTALL PER MANUF. REC.
PERISCOPE PANEL	LANDSCAPE STRUCTURES	#18429	1 INSTALL PER MANUF. REC.
DOUBLE SWRL POLY SLIDE	LANDSCAPE STRUCTURES	#130798	1 INSTALL PER MANUF. REC.
TREE HOUSE RECYCLED ROOF W/ SIGN	LANDSCAPE STRUCTURES	#173587	1 INSTALL PER MANUF. REC.
WOOD PLANK WIGGLE LADDER	LANDSCAPE STRUCTURES	#173589	1 INSTALL PER MANUF. REC.
LOG STEPPER W/ WOOD GRAIN HANDHOLDS	LANDSCAPE STRUCTURES	#173588	1 INSTALL PER MANUF. REC.
TREE HOUSE LUMBER PANEL	LANDSCAPE STRUCTURES	#173586	1 INSTALL PER MANUF. REC.
CONICAL CLIMBER	LANDSCAPE STRUCTURES	#143200	1 INSTALL PER MANUF. REC.
MARBLE PANEL	LANDSCAPE STRUCTURES	#173572	1 INSTALL PER MANUF. REC.

GENERAL NOTES
 1. ALL PLAY EQUIPMENT SHALL BE SUPPLIED BY THE CITY AND AS MANUF. BY 'LANDSCAPE STRUCTURES' 601 7TH SOUTH P.O. BOX 198 DELANO, MN 55328
 LOCAL REP. MS. JUDY OSBURN
 RECREATION EQUIPMENT
 10000 W. SUITE 101
 SANTA ROSA, CA 95404
 707.538-3800

POST LEGEND
 QTY. POST/ARCH LENGTHS
 4 A 137" POST FOR ROOF DB
 4 B 106" POST DB



4 TOT LOT EQUIPMENT SCHEDULE SCALE: 1/4"=1'-0"

SERRA PARK PLAY EQUIPMENT RENOVATION
 CONSTRUCTION DETAILS

City of Sunnyvale
 Santa Clara County
 California
 Department of Public Works
 455 West Olive Avenue
 Sunnyvale, CA 95088-3707

Project No. PR-1105/12
 Drawing No. L-6
 Sheet 9 of 10

5 TOT LOT EQUIPMENT LAYOUT SCALE: 1/4"=1'-0"

6 PEAK CLIMBER SCALE: 1/2"=1'-0"

7 THE PINNACLE SCALE: 1/2"=1'-0"

8 TUBE STEEL FENCE ON CURB AND GATE SCALE: 1/2"=1'-0"

9 CONC. WALKWAY SCALE: 3/4"=1'-0"

10 CONC. CURB SCALE: 1"=1'-0"

11 CONC. CURB SCALE: 1"=1'-0"

12 CONC. WALKWAY SCALE: 3/4"=1'-0"

13 PEAK CLIMBER SCALE: 1/2"=1'-0"

14 THE PINNACLE SCALE: 1/2"=1'-0"

FOR REDUCED PLANS
 ORIGINAL SCALE IS IN INCHES

PLAY EQUIPMENT SCHEDULE

ITEM	MANUFE.	REMARKS
84" BALCONY FERRY	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
BOW BARRIER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
FAN FLAG BARRIER ACCENT FOR TRI DECK	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
ZOO PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
BALL MAZE PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
24" KICK PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
CUSTOM SMOKE STACK	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
PUPPET PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
PIPE BARRIER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
PUPPET W/ WINDOW PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
HOLE PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
WHEEL PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
36" DECK DIFF. LADDER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
FERRY ROOF W/ ACCENTS	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
ZOO INFILL PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
MARK TWIN PANEL	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
DOUBLE SMOOSH POLY SLIDE	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
CASCADE CLIMBER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
HANDLE WHEEL CLIMBER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
POD CLIMBER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
TALK TUBE	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
PERISCOPE ATTACHMENT	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
CHIMNEY CLIMBER	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.
132" TUNNEL SLIDE	LANDSCAPE STRUCTURES	INSTALL PER MANUF. REC.

GENERAL NOTES
 ALL PLAY EQUIPMENT SHALL BE SUPPLIED BY THE CITY AND AS MANUF. BY:

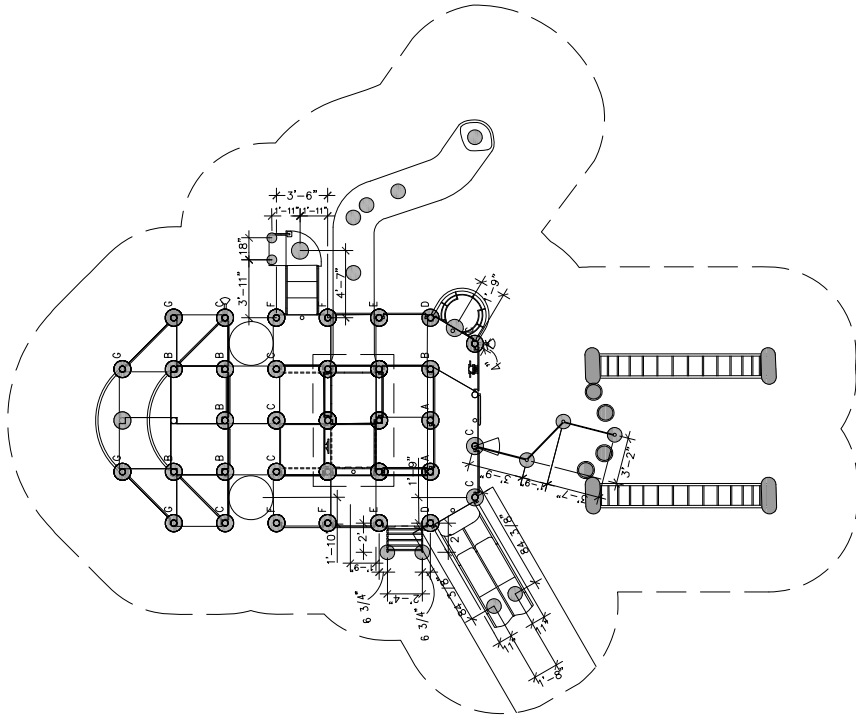
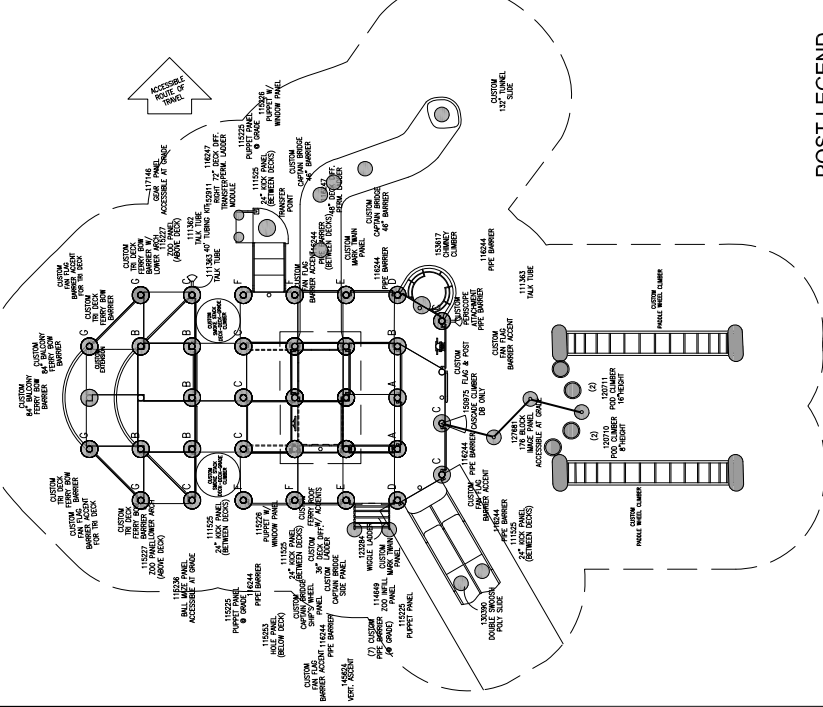
'LANDSCAPE STRUCTURES' 601 7TH SOUTH
 P.O. BOX 198 DELANO, MN 55328
 LOCAL REP. WIS. JUDY OGBURN
 ROCKS RECREATION EQUIPMENT
 110 BRUSH CREEK ROAD, SUITE 101
 SANTA ROSA, CA 95404
 707.538-3800

POST LEGEND

QTY: POST/ARCH LENGTHS

2	A	182" Steel Post DB
6	B	156" Alum Post DB
8	C	148" Alum Post DB
2	D	140" Alum Post DB
4	E	132" Alum Post DB
2	F	124" Alum Post DB
4	G	92" Alum Post DB

PLAN VIEW



PLAN VIEW

RECORD DRAWING
 IN COLOR

(2) PLAYGROUND EQUIPMENT LAYOUT SCALE: 1/4"=1'-0"

(1) PLAYGROUND EQUIPMENT SCHEDULE SCALE: 1/4"=1'-0"

		City of Sunnyvale Santa Clara County California Department of Public Works 405 West Olive Avenue Sunnyvale, CA 95088-3707	City of Sunnyvale Project No. PR-1105/12 Drawing No. L-7 Sheet 9 of 10
SERRA PARK PLAY EQUIPMENT RENOVATION CONSTRUCTION DETAILS		Scale Designed By: RBH Drawn By: DOM Checked By: RBH Consultant's Job No.: 11-1291	
HLL ASSOCIATES 10000 N. DEER CREEK ROAD SUITE 100 DUBLIN, CA 94568 (925) 835-8800 WWW.HLLASSOCIATES.COM	FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES		
Rev.	Description	Date	3 2 1

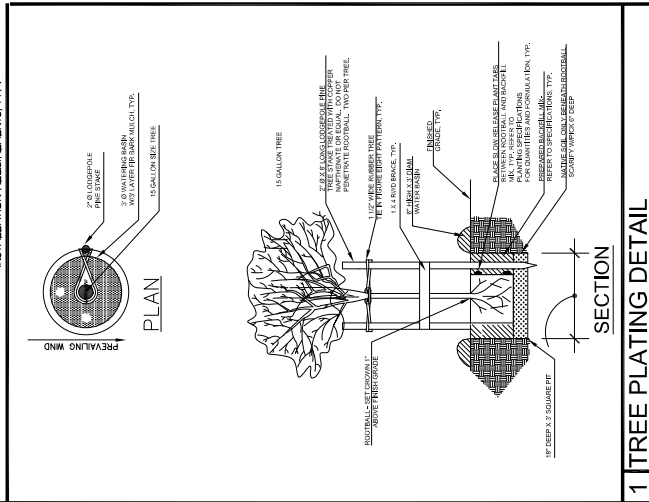
SYMBOL LEGEND

- ○ APPROXIMATE PLAY EQUIP. FOOTING LOCATION
- ⊕ EXISTING LIGHT POLE
- HP HIGH POINT
- RE 8" CORRUGATED PERFORATED PIPE
- RV RIN ELEVATION
- TC TOP OF CURB ELEVATION
- FG FINISHED GRADE ELEVATION
- FS FINISHED SURFACE ELEVATION
- SS SUB GRADE ELEVATION
- TP TYPICAL
- PERCENTAGE SLOPE AND DIRECTION OF FALL
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING TREE TO BE PRESERVED AND PROTECTED AND APPROXIMATE GRADE AT BASE
- LIMIT OF WORK LINE
- LOW

PLANT LEGEND

ABBREVIATION	BOTANICAL NAME	COTTON NAME	SIZE	HEIGHT AND SPREAD	REMARKS
PC	PITACHIA CHINENSIS	CHINESE PRISADE	9 GAL.	6' X 2-3' X 1' CAL	DOUBLE SPACE
L	DWARF FERTILE 600 LAM	RED ALLIUM DWARF BY APPROVED EQUAL	15 GAL. SEE TREE		

RED ALLIUM DWARF BY APPROVED EQUAL MEANS MEET ALL INSTALLATION REQUIREMENTS, TYP.



1 TREE PLANTING DETAIL

Rev.	Description	Date



Scale	Designed By: RBH
Drawn By: RBH	Checked By: RBH
Consultant's Job No. 11-1291	

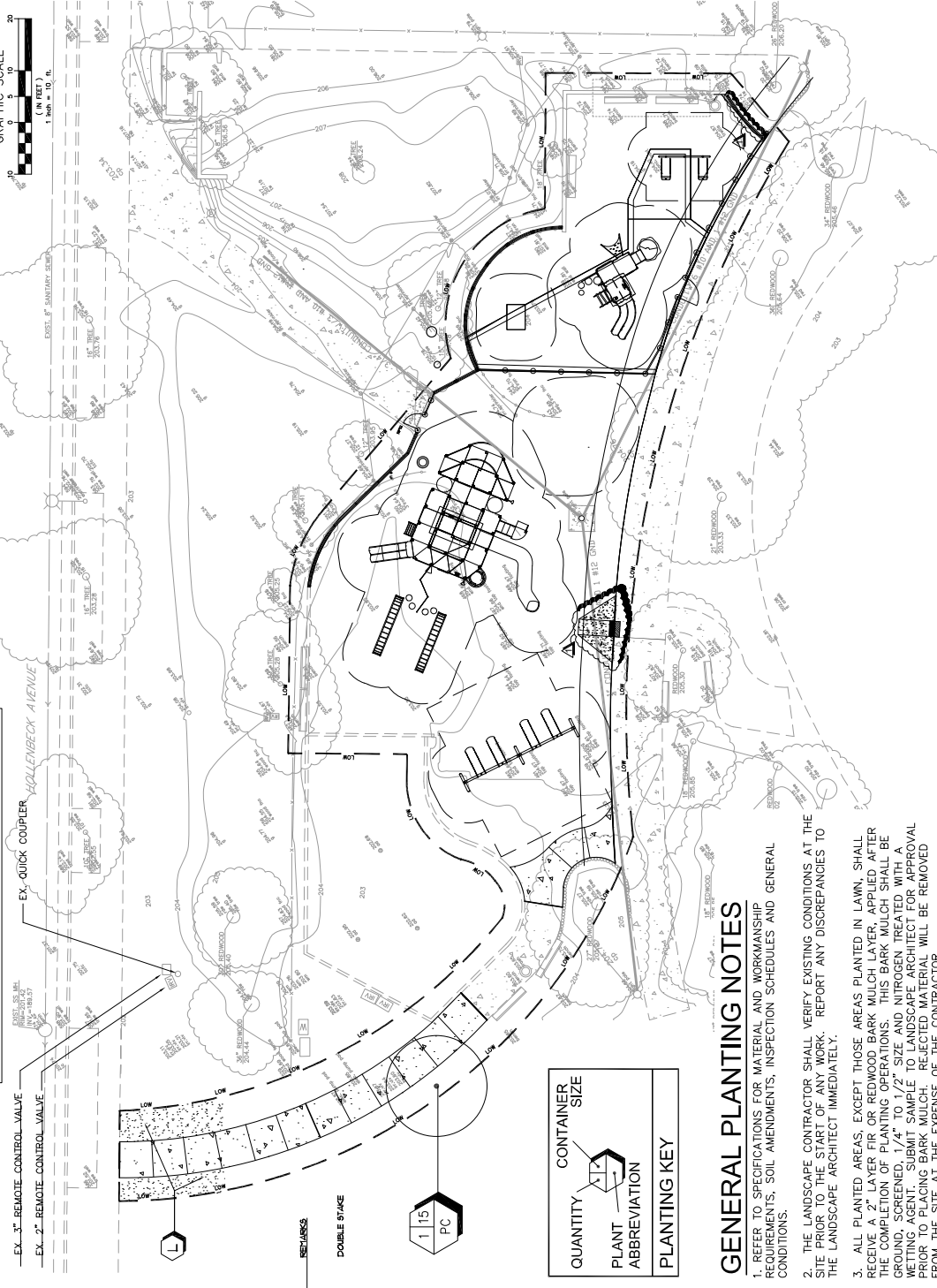
SERRA PARK PLAY EQUIPMENT RENOVATION
 PLANTING AND IRRIGATION PLAN

City of Sunnyvale
 Santa Clara County
 California
 Department of Public Works
 405 West Olive Avenue
 Sunnyvale, CA 94088-3707
 Project No. PR-1105/12
 Drawing No. L-8
 Sheet 10 of 10

DATE: 05/11/11
 DRAWN BY: RBH



NOTE: CONTRACTOR SHALL ADJUST EXISTING HEAD LOCATIONS TO KEEP NEW WALK DRY. INSTALL NEW HEADS AND LATERALS AS REQUIRED. FIELD VERIFY EX. HEAD LOCATIONS AND TYPE.

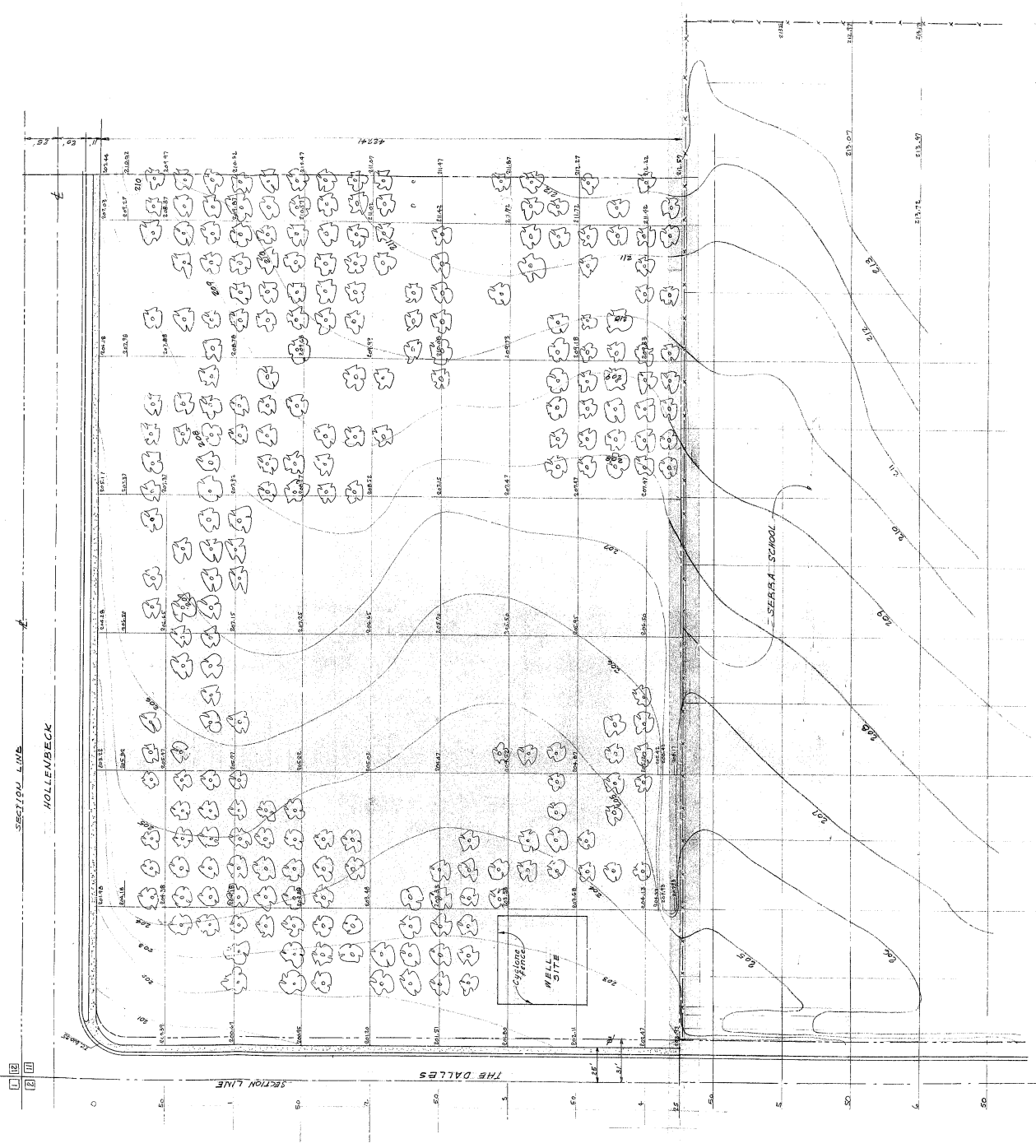


QUANTITY	CONTAINER SIZE	PLANT ABBREVIATION	PLANTING KEY
1	15 GAL.	PC	

GENERAL PLANTING NOTES

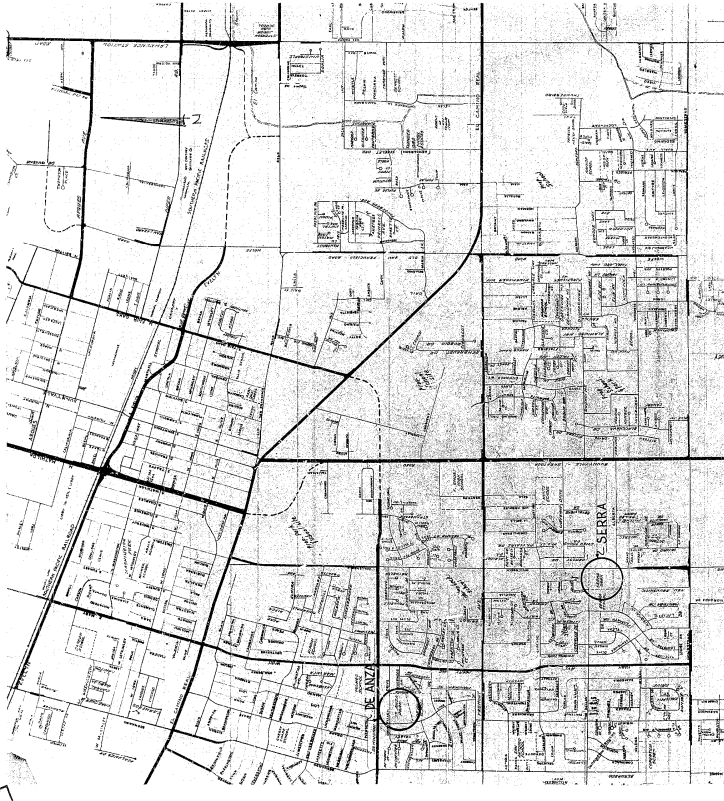
- REFER TO SPECIFICATIONS FOR MATERIAL AND WORKMANSHIP REQUIREMENTS, SOIL AMENDMENTS, INSPECTION SCHEDULES AND GENERAL CONDITIONS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- ALL PLANTED AREAS, EXCEPT THOSE AREAS PLANTED IN LAWN, SHALL RECEIVE A 2" LAYER FIR OR REDWOOD BARK MULCH LAYER, APPLIED AFTER THE COMPLETION OF PLANTING OPERATIONS. THIS BARK MULCH SHALL BE GROUND, SCREENED, 1/4" TO 1/2" SIZE AND NITROGEN TREATED WITH A WETTING AGENT. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLACING BARK MULCH. REJECTED MATERIAL WILL BE REMOVED FROM THE SITE AT THE EXPENSE OF THE CONTRACTOR.
- REFER TO SPECIFICATIONS FOR PLANTING PROCEDURES AND INSPECTION REQUIREMENTS.

RECORD DRAWING

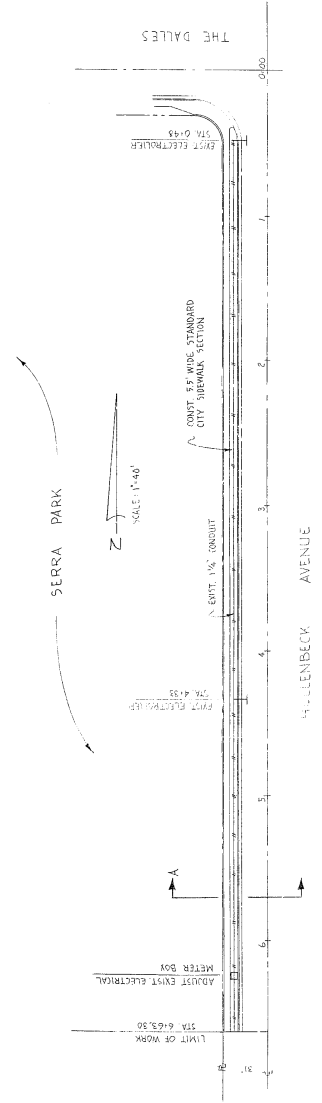


MISCELLANEOUS PARK IMPROVEMENTS

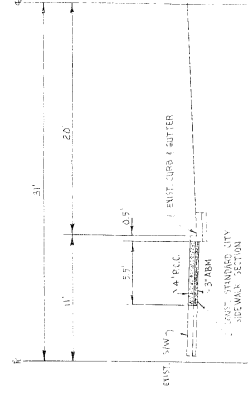
PR 63-4 SERRA PARK
PR 64-10 DE ANZA PARK



LOCATION MAP
SCALE 1"=160'



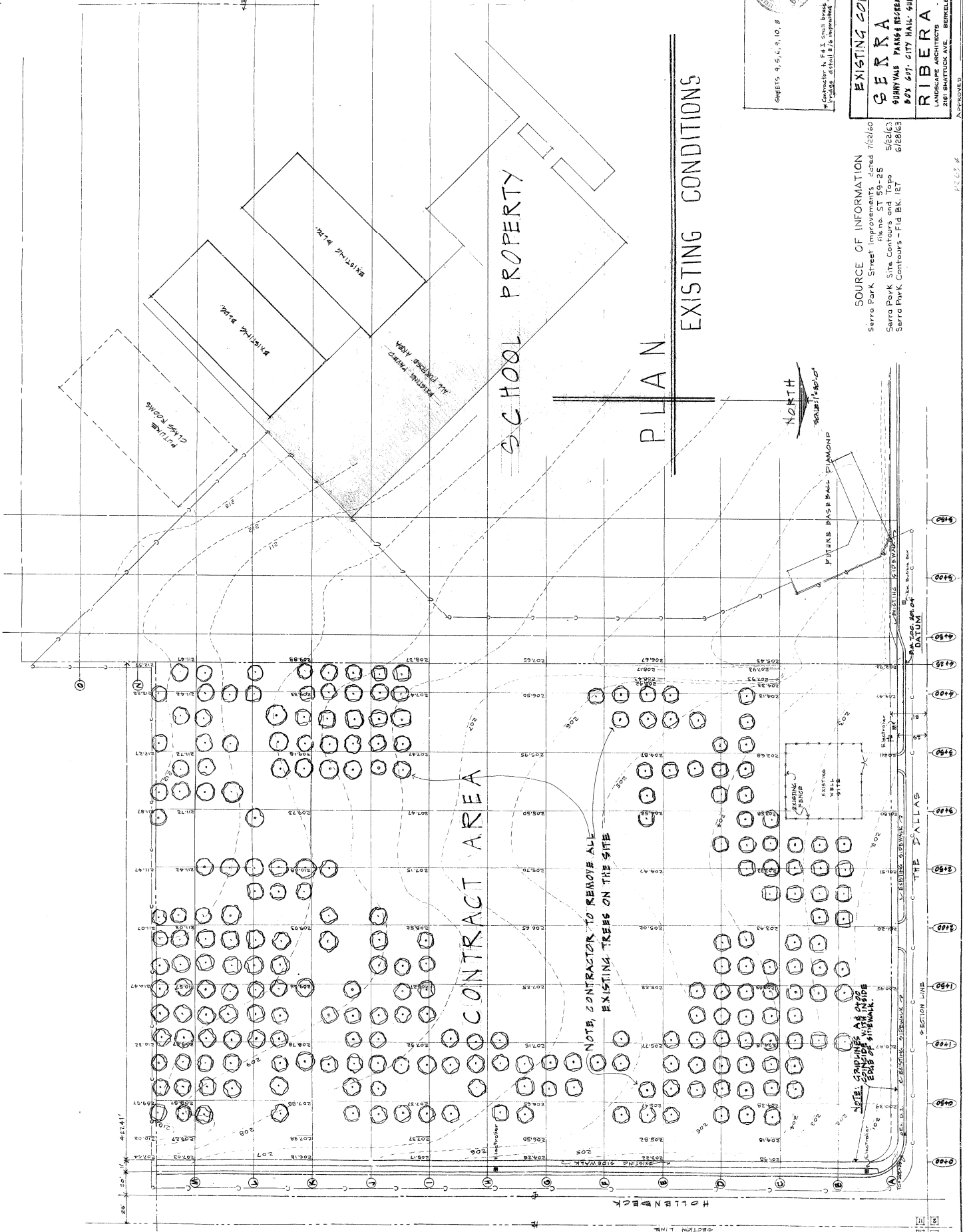
NOTE: CONST. 11'-8" x 5'-8" TIEB WELL -
LOCATION TO BE DETERMINED IN
FIELD.



CROSS SECTION A-A
1/32\"/>

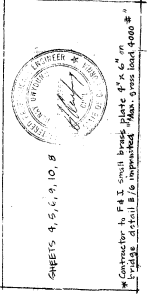
DESIGNED BY: [Blank]	DRAWN BY: J.L.A.	CHECKED BY: [Blank]	FIELD WORK NO.:
APPROVED BY: [Blank]	TITLE:	DATE: 5/10/05	SHEET NO. 2
SCALE: AS SHOWN	DEPARTMENT OF PUBLIC WORKS CITY OF SUNNYVALE		
PROJECT NO.:	FILE NO.:		

CP-P-32.1



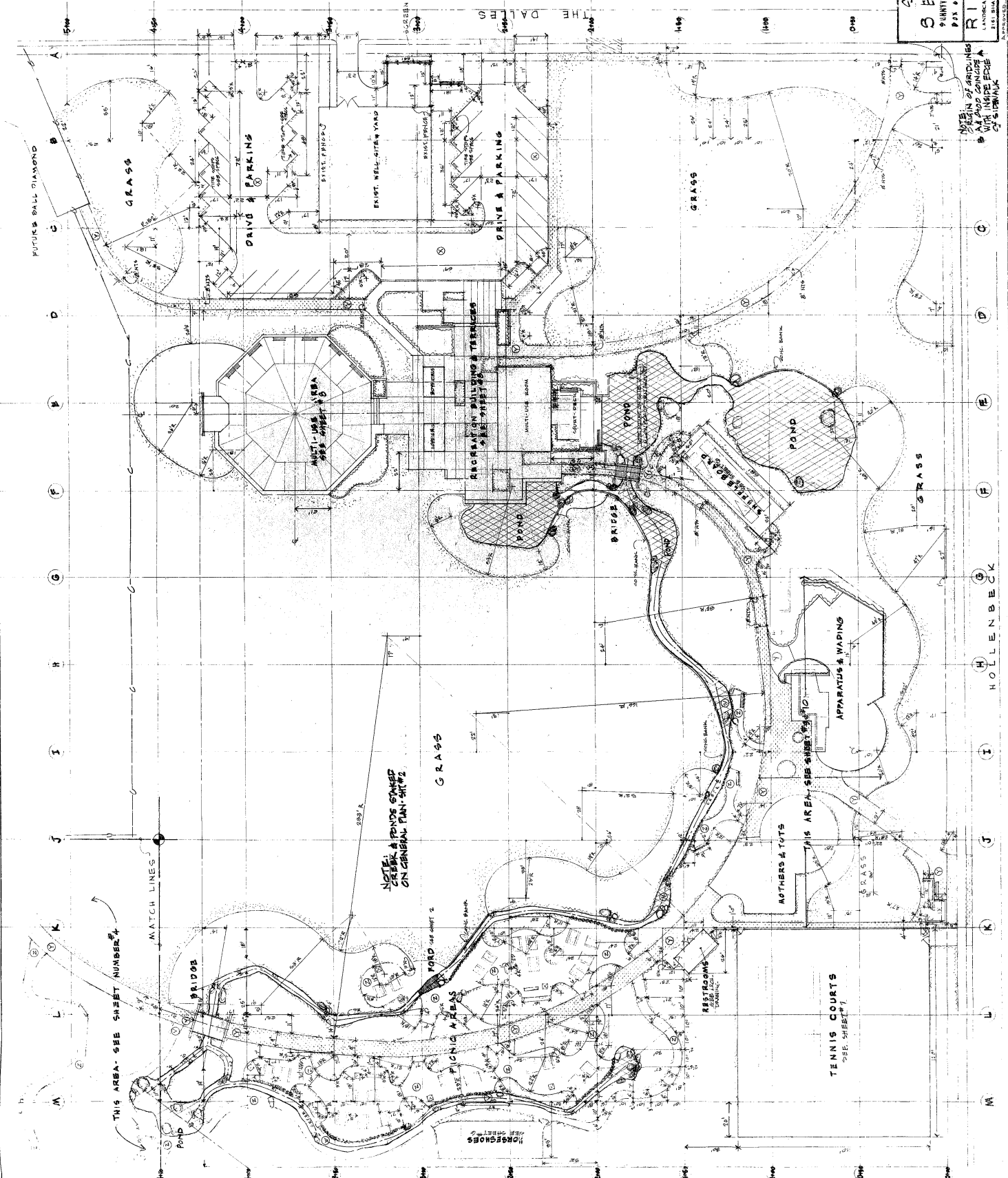
SOURCE OF INFORMATION
Serra Park Sheet Information, dated 7/25/00
Serra Park Site Contours and Topo 5/28/03
Serra Park Contours - Fld. Bk. 127 6/28/03

EXISTING CONDITIONS	
DATE: 10/15/03	BY: J.S.
GERA PARK 9999 VALES PARK & RECREATION PARKWAY 807 671 CITY HALL - SUNNYSIDE - ES 9-0291	
RIBERA & SUE LANDSCAPE ARCHITECTS 270 BANTUCK AVE. BERKELEY, CALIF. 94708	
PROJECT NO. 1	SHEET NO. 48



NOTE: CONTRACTOR TO REMOVE ALL EXISTING TREES ON THE SITE

NOTE: GRADINGS ARE ON 20' SPACING WITH INSIDE CORNER OF 1/4" RADIUS.



LEGEND
 ○ DETAIL NUMBER
 ○ SHEET NUMBER
 - - - - - CENTERLINE
 [Hatched Box] GRASS
 [Hatched Box] PLANTING

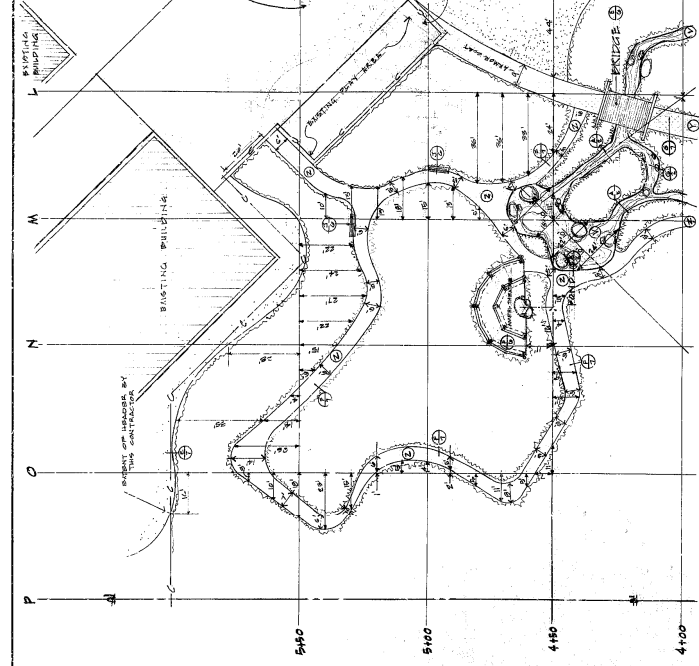
② ASPHALT
 ① 2" DRAIN SLOPE BOND ALL SPACES W/ 4" C. TRAMPERS.
 ③ GRASSY WALKWAY - 8" HD. 4" HD. RIDGES W/ 1/4" HD. C&E DECK.
 ④ CREEK
 ⑤ POND
 ⑥ ROADS & DRIVEWAYS CONTAINING OR SIMILAR FINISHES
 ⑦ INSTALL AS SPECIFIED
 NTP - NOT DRAWN TO SCALE

NOTE: SHEET 2 SHALL HAVE PRECEDENCE OVER SHEET 3

NORTH
 SCALE: 1" = 10'-0"

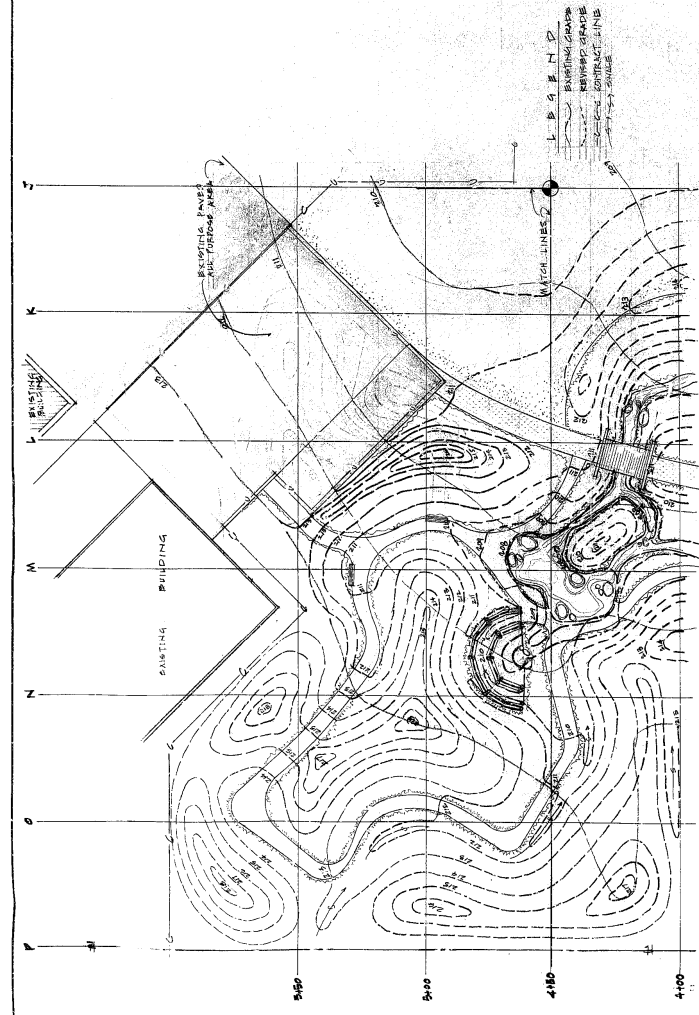
STAKING PLAN
SBRKRA PARK
 PLANNING, DESIGN & CONSTRUCTION
 1015 6TH ST. - SUITE 100 - SAN ANTONIO, TX 78205
RIBERA & SUE
 LANDSCAPE ARCHITECTS
 115. BAYVIEW AVE. - SUITE 100 - SAN ANTONIO, TX 78205
 DATE: 12/11/11
 SHEET NO. 3
 OF 24

NOTE: DESIGN OF GRADING SHALL BE DONE BY THE ARCHITECT. ALL POND SKETCHES ARE FOR GENERAL REFERENCE ONLY.



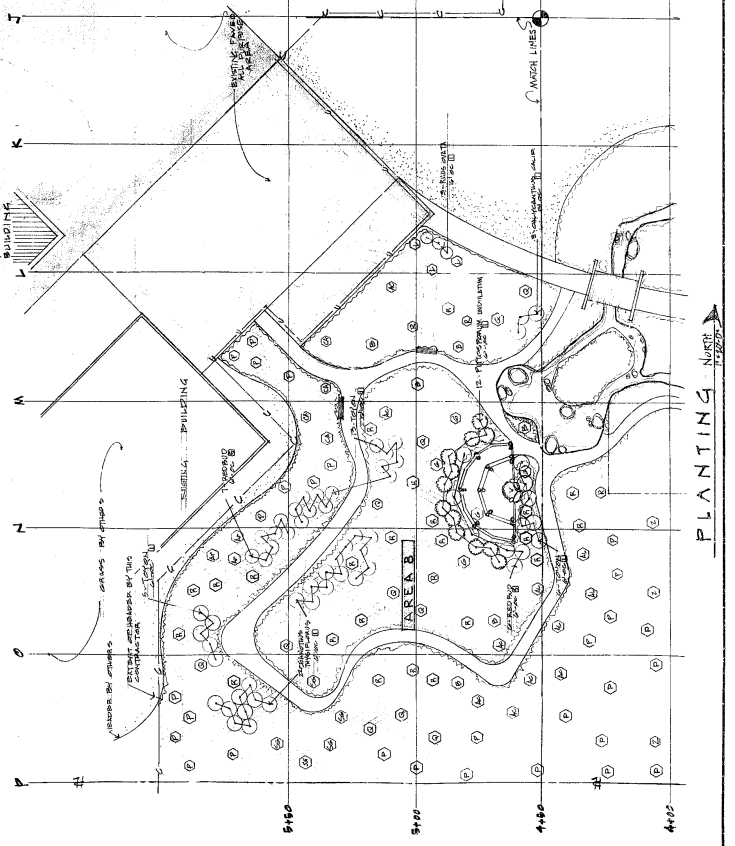
GENERAL & STAKING

LEGEND
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GRADING

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PLANTING

SHRUB LIST & LEGEND

PLANTING AREA	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	

NOTE!
 SEE SHEET NO. 12 FOR
 TREE LEGEND & LIST.
 PLANTING SYMBOLS, LEVEL, LEGEND, SPACING
 ON SHEET IS APPLICABLE TO THIS PLAN.

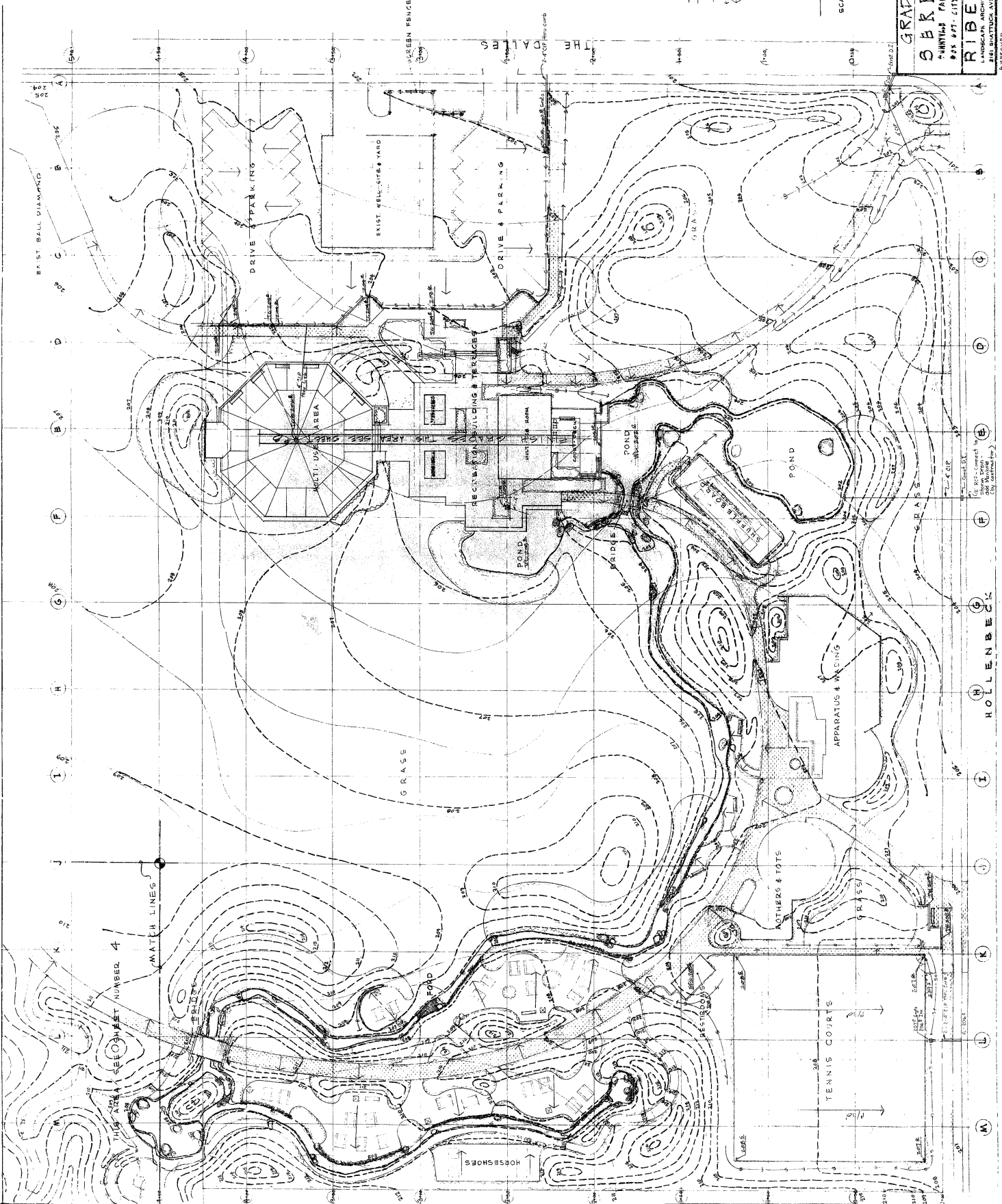
NOTE: ALL SHRUBS ARE 3 LINE GROUND LAND UNLESS
 OTHERWISE MARKED BY AN "H" INDICATING
 5 LINE GROUND MATERIAL REQUIRED.

SOUTH WEST PORTION OF SITE

SERRA PARK
 SUNNYVALE PARK & RECREATION DEPARTMENT
 BOX 607 - CITY HALL - SUNNYVALE, CALIF. 95081

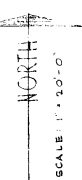
RIBERA & SUE
 LANDSCAPE ARCHITECTS
 2121 WHITTAKER AVE., BERKELEY, CALIF. 94704

DATE: 11/83
 SHEET NO. 4
 OF 21



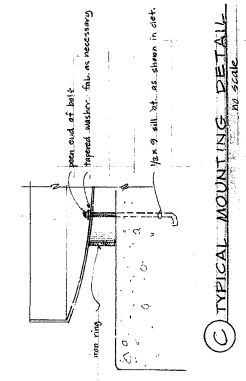
Utility Note:
Sewer laterals (see VCP) for the recreation building & existing utility building shall be installed. Water service (1/2" supply) & water for the recreation building shall be installed by the contractor. The City of Alameda shall be responsible for the responsibility of the contractor.

- LEGEND
- EXISTING GRADE
 - - - - - REVISED GRADE
 - SWALES
 - PITCH PAVERS (12% N)
 - DIRECTION OF FLOW
 - PROPOSED DRAINAGE INDICATED
 - SEE SHEET 52-1
 - SEE SHEET 52-2
 - SEE SHEET 52-3

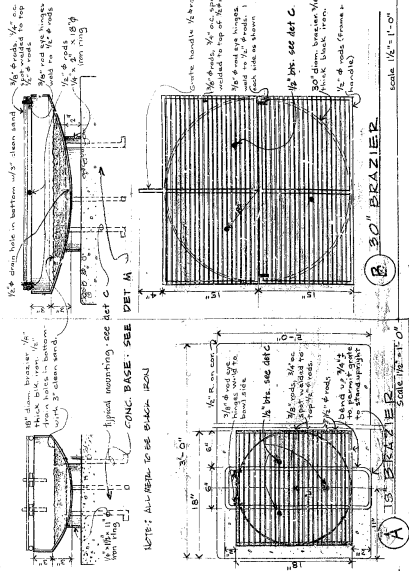


GRADING PLAN
SERRA PARK
SERRA PARK & RECREATION DEPARTMENT
P.O. BOX 6971, CITY HALL BUNNYVALE, RES. 0851
RIBERA & SUE
CIVIL ENGINEERS
1400 BROADWAY, BERKELEY, CALIF. 94704
PROJECT NO. 52-1
DATE 10/24/51
PAGE 52 OF 24

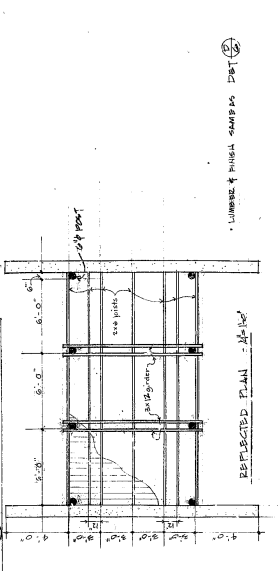
APPROVED: **HOLLENBECK**
DATE: 10/24/51
BY: [Signature]



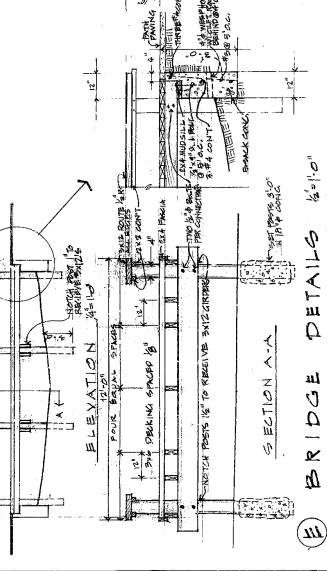
C TYPICAL MOUNTING DETAIL
1/4\"/>



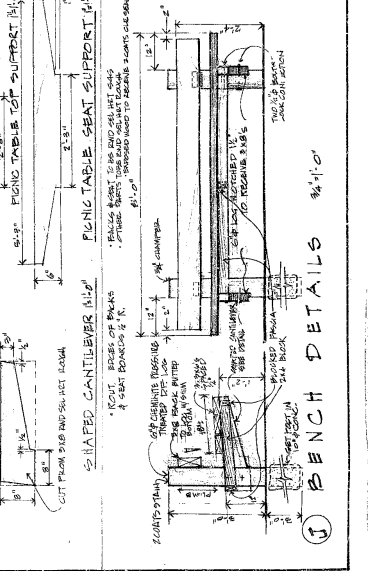
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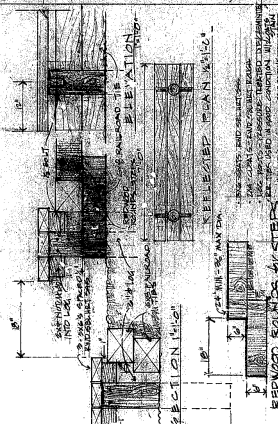
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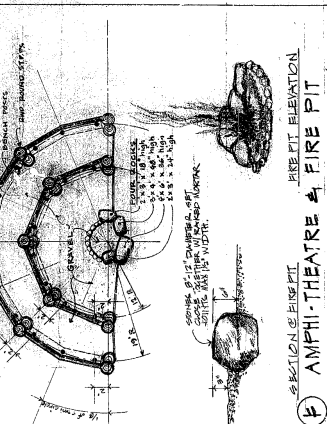
E BRIDGE DETAILS
3/4\"/>



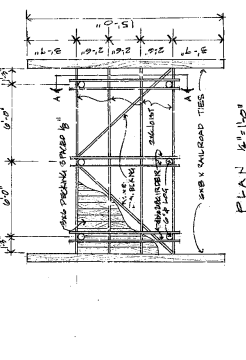
J BENCH DETAILS
3/4\"/>



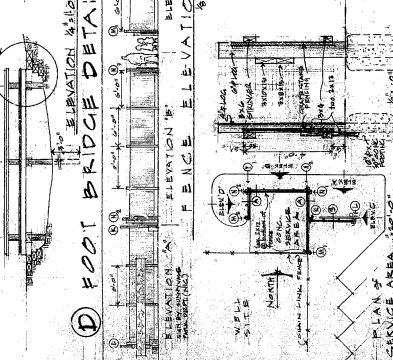
F AMPHI-THEATRE & FIRE PIT
3/4\"/>



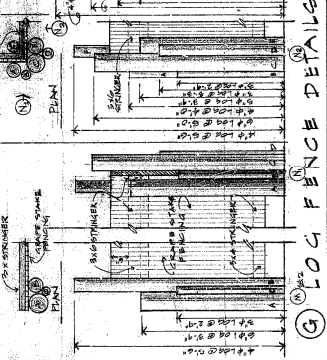
K PICNIC TABLE
3/4\"/>



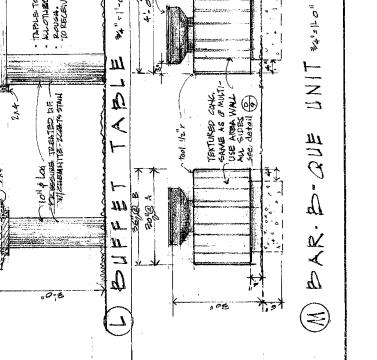
D FOOT BRIDGE DETAILS
3/4\"/>



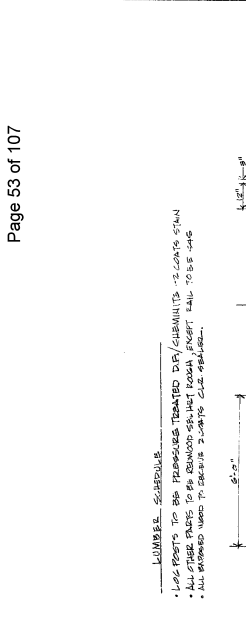
G LOG FENCE DETAILS
3/4\"/>



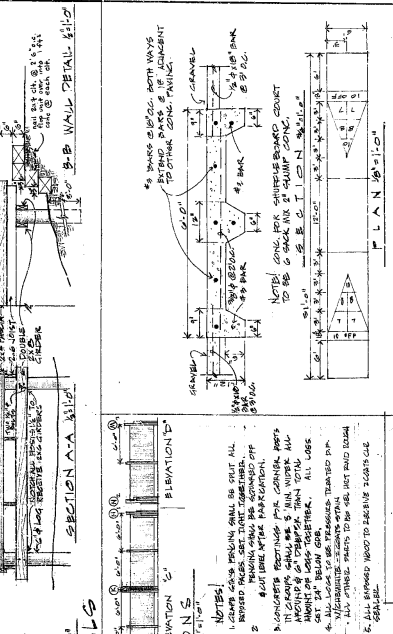
H SHUFFLEBOARD COURT
1/4\"/>



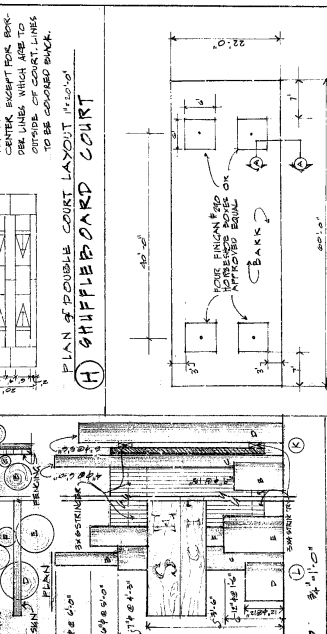
L BUFFET TABLE
3/4\"/>



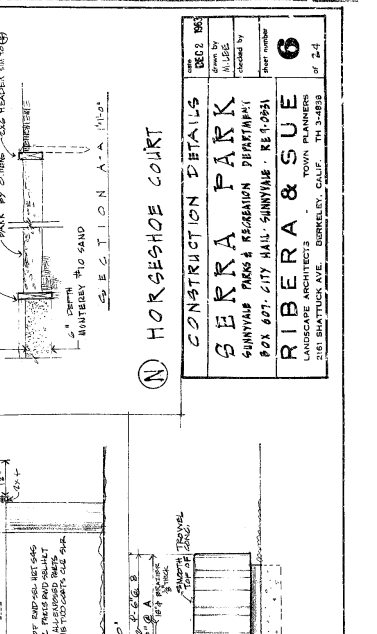
M BAR-QUEUE UNIT
3/4\"/>



N HORSESHOE COURT
1/4\"/>

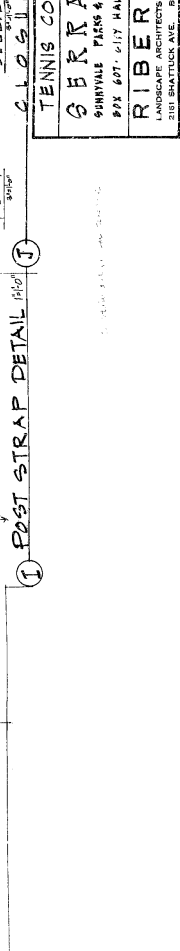
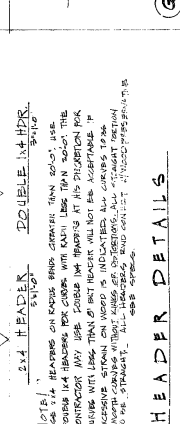
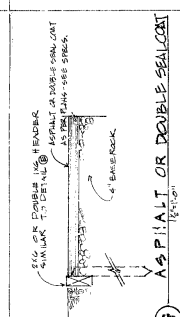
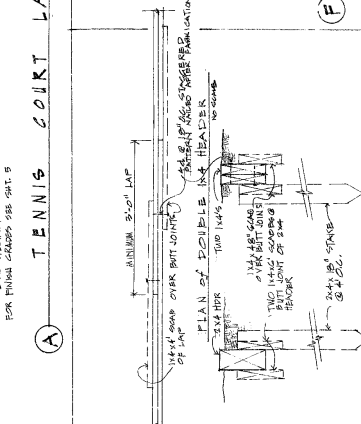
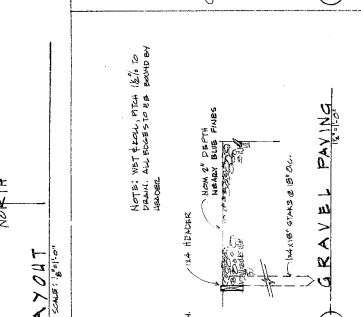
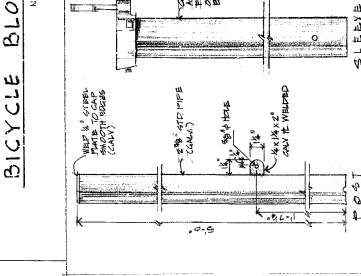
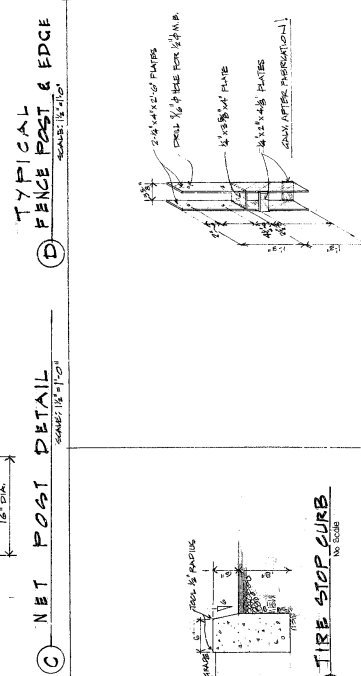
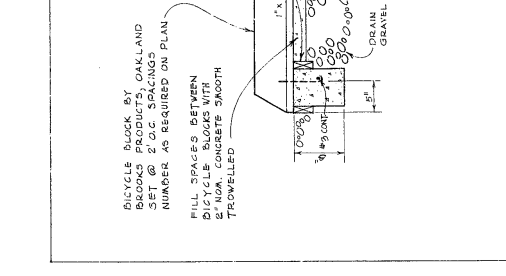
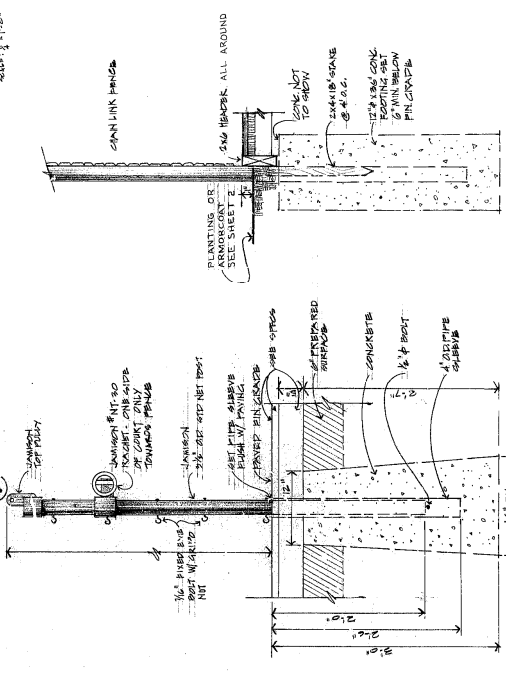
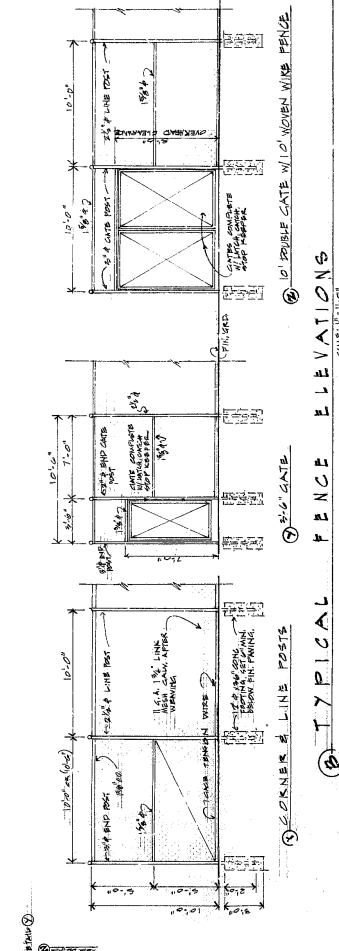
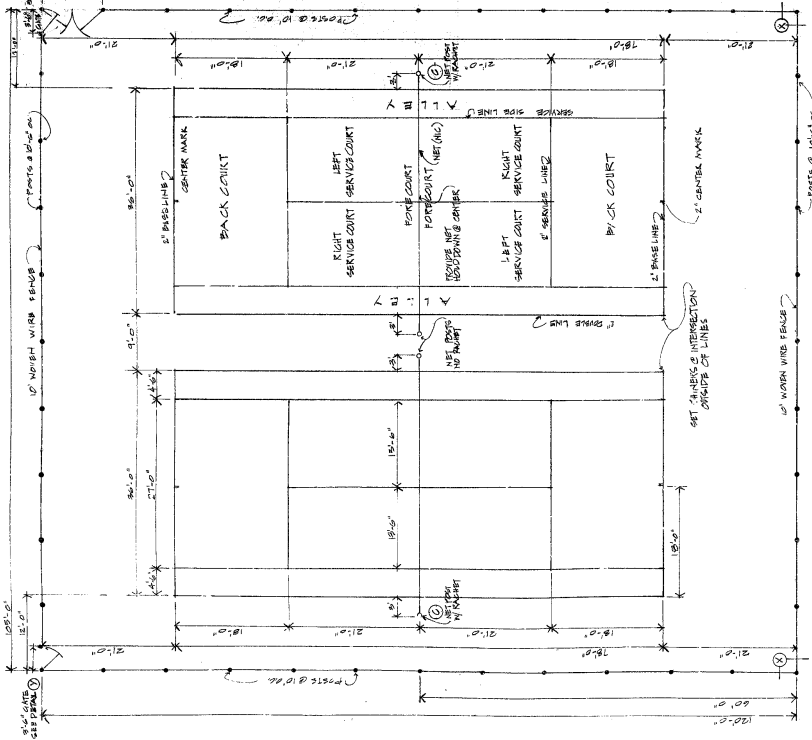


O CONSTRUCTION DETAILS
1/4\"/>

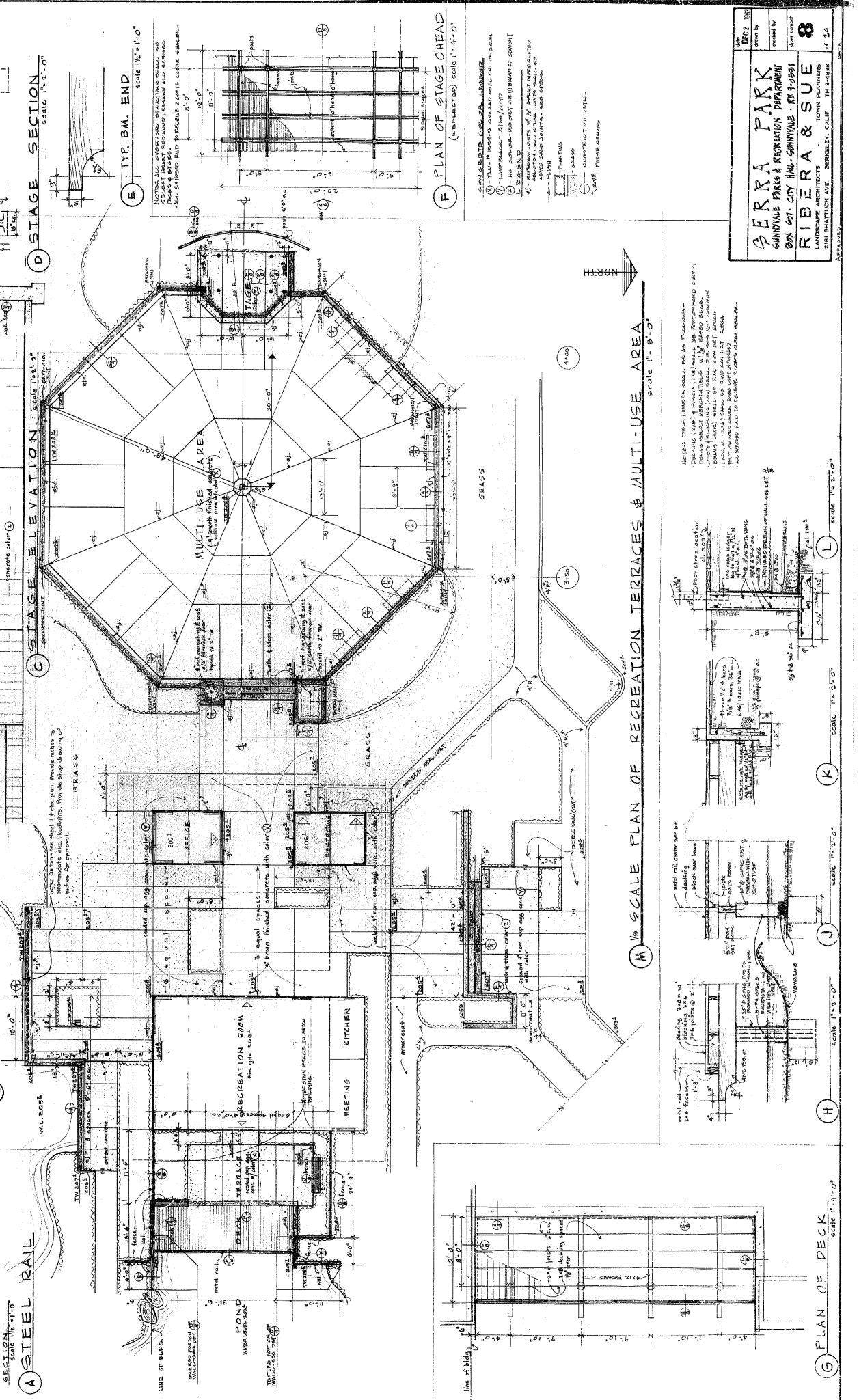
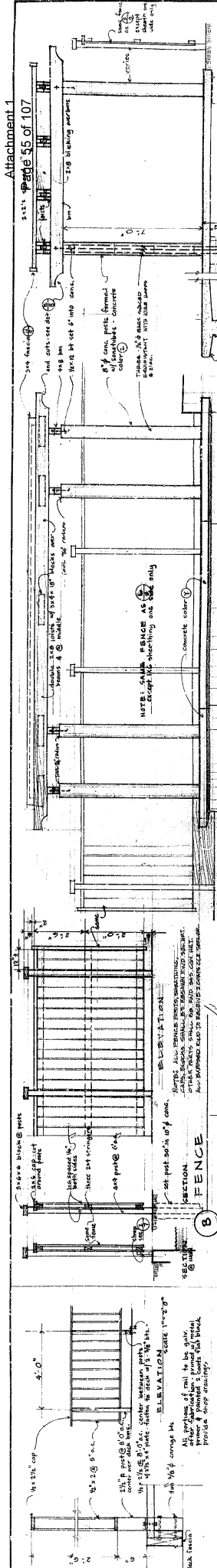


P CONSTRUCTION DETAILS
1/4\"/>

CONSTRUCTION DETAILS	DATE: 08/22/08
SEERA PARK	DESIGNED BY: [Signature]
SUNNYVALE PARKS & RECREATION DEPARTMENT	CHECKED BY: [Signature]
BOX 607, CITY HALL, SUNNYVALE, CA 95051	PROJECT NUMBER: 6
RIBERA & SUE	SCALE: AS SHOWN
300 SHATTUCK AVE., DUBLIN, CALIF. 94568	DATE: 08/22/08



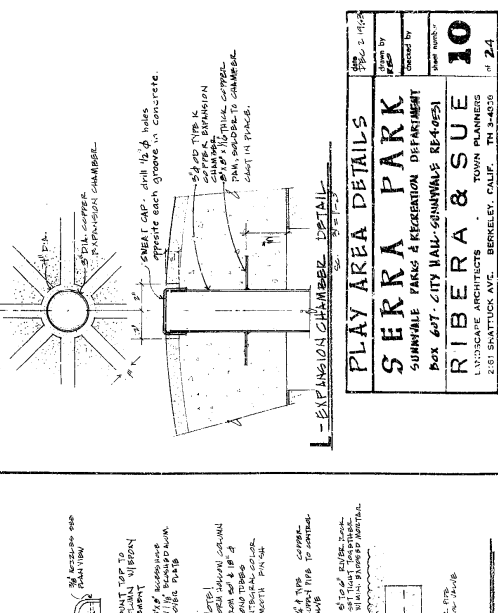
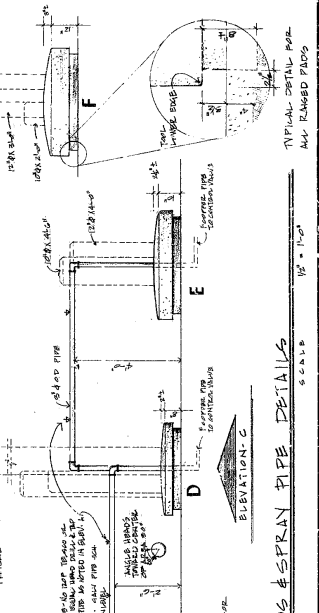
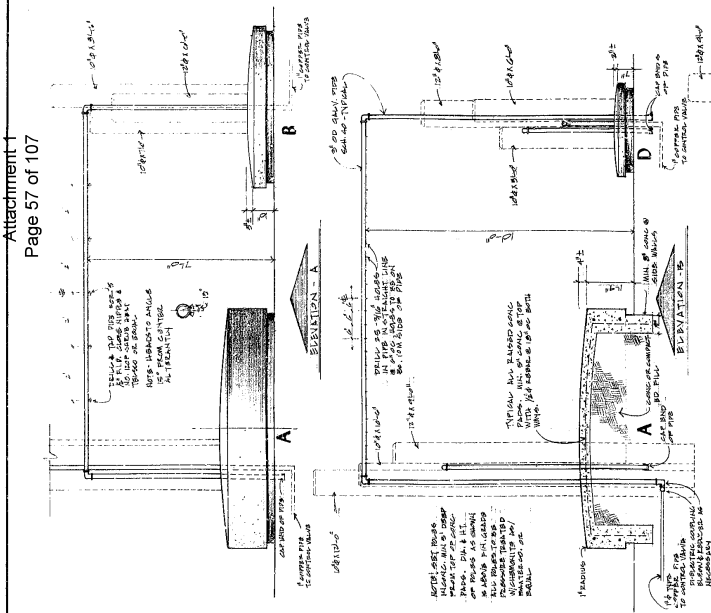
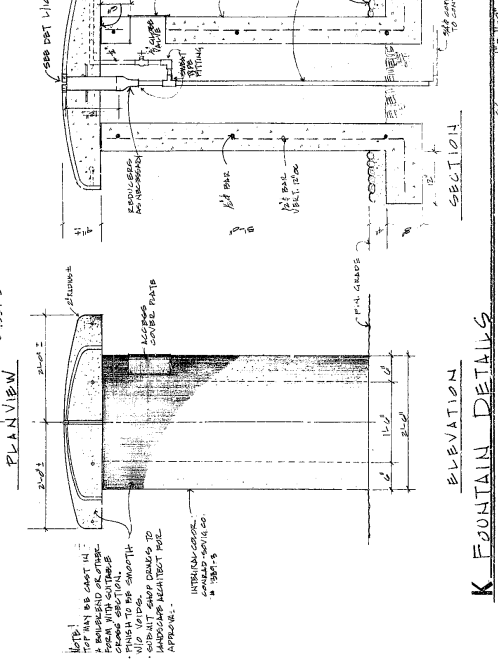
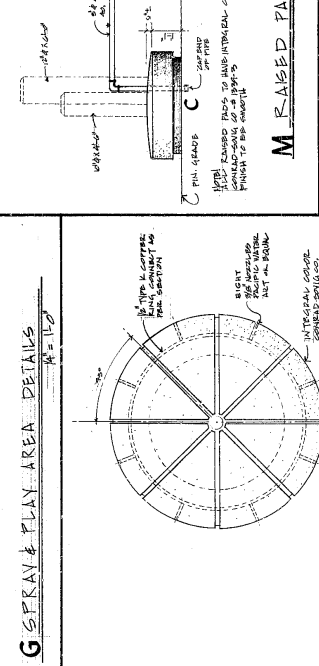
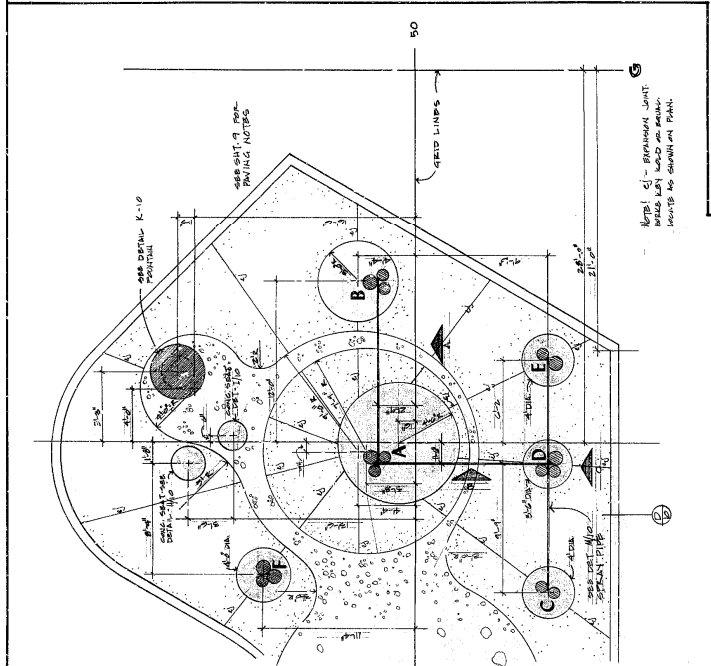
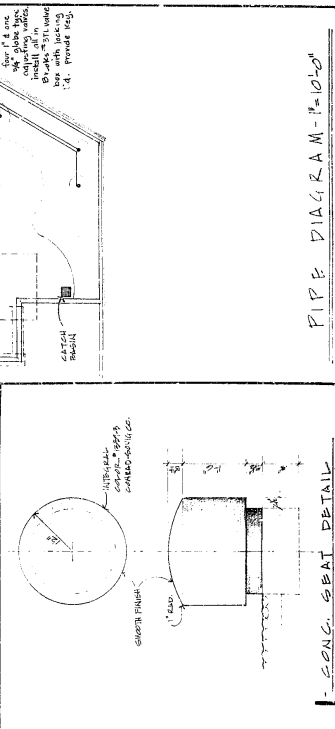
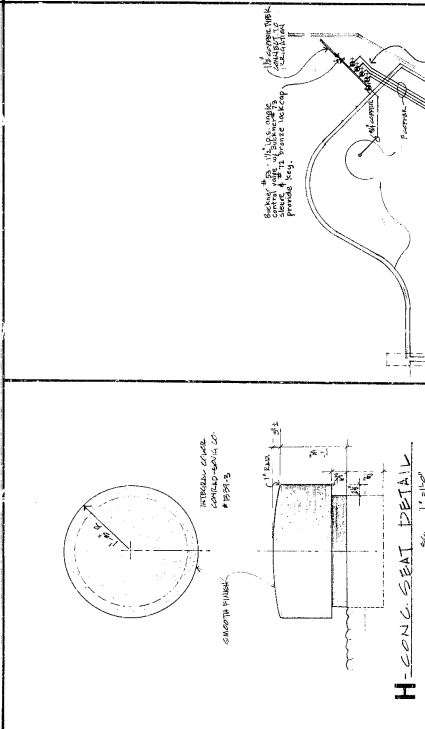
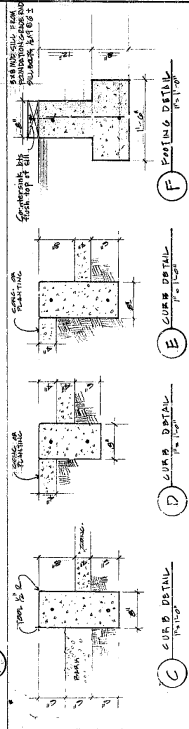
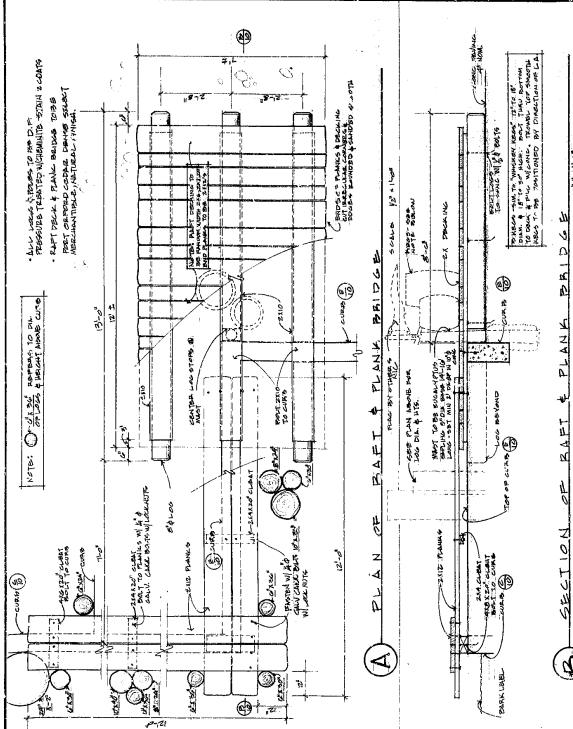
<p>TENNIS COURT DETAILS</p> <p>DATE: 05/14/14</p> <p>DESIGNED BY: [Signature]</p> <p>CHECKED BY: [Signature]</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>RIBERA & SUE</p> <p>LANDSCAPE ARCHITECTS</p> <p>2181 SHATTUCK AVE., BERKELEY, CALIF. 94704</p> <p>PHONE: (415) 841-1111</p> <p>FAX: (415) 841-1111</p> <p>WWW.RIBERAANDSUE.COM</p>
--	--



ARRERA PARK
SUNNYVALE PARKS & RECREATION DEPARTMENT
800 CITY AVE. SUNNYVALE, CA 95091

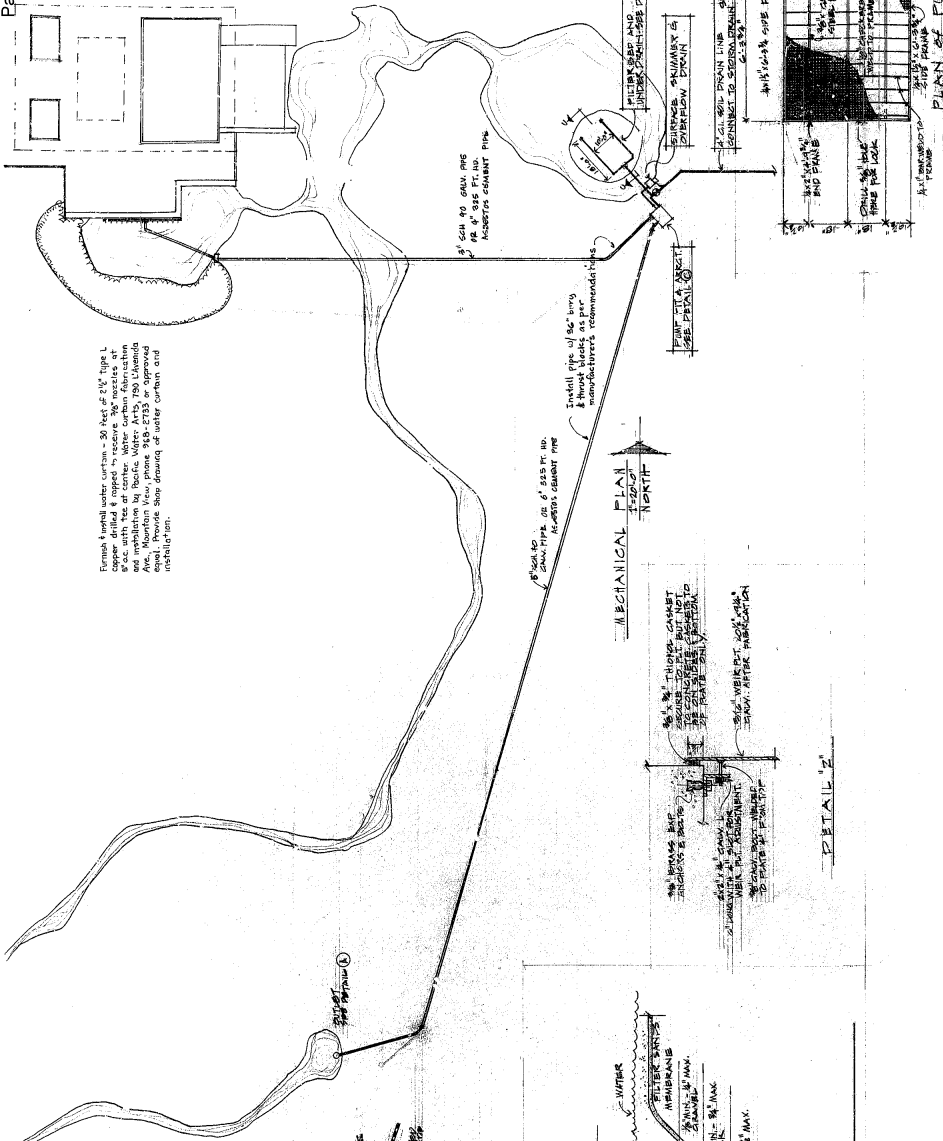
RIBERA & SUE
LANDSCAPE ARCHITECTS
2181 SHATTUCK AVE. BERKELEY, CALIF. 94704

DATE: 10/22/03
DRAWN BY: [Signature]
CHECKED BY: [Signature]
JOB NUMBER: 8
SHEET NUMBER: 55 OF 107

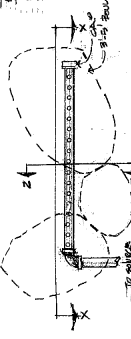


DESIGNED BY	DATE	10
CHECKED BY	DATE	
APPROVED BY	DATE	
PLAY AREA DETAILS SERRA PARK SUNSHINE PARKS & RECREATION DEPARTMENT Box 407 - CITY HALL - GUNNVILLE - RE-0261 RIBERA & SUE LANDSCAPE ARCHITECTS 1001 SHANTON WAY - BENNETT, CALIF. 94520		

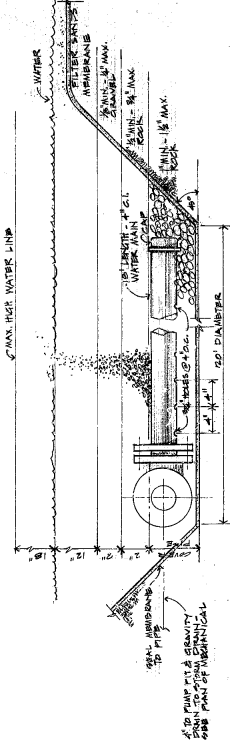
Remove 8 inch water curtain - 30 feet of 2 1/2" type L
water curtain. The water curtain shall be
installed with the water curtain fabric
and ventilation by Florida Water Authority, 790 University
Avenue, Tallahassee, Florida 32304. The water curtain
shall be installed in accordance with the manufacturer's
instructions.



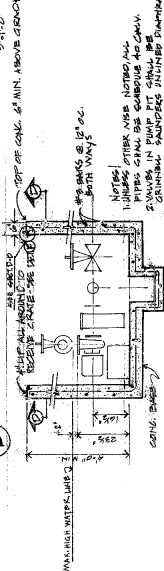
NOTE: THIS IS A PLAN OF THE SKIMMER AND OVERFLOW DRAIN. THE SKIMMER AND OVERFLOW DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE SKIMMER AND OVERFLOW DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



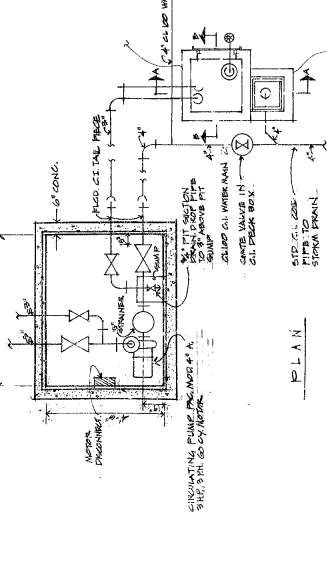
A OUTLET DETAILS



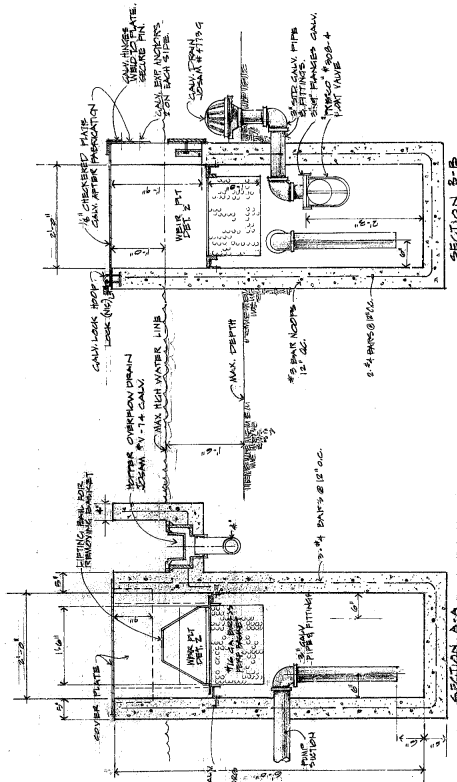
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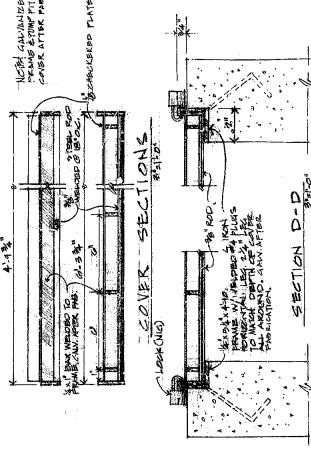
C PUMP PIT



D SKIMMER AND OVERFLOW DRAIN



E SURFACE SKIMMER & OVERFLOW DRAIN



F COVER DETAILS (FOOT IT)

CREAK MECHANICAL DETAILS
 DRAWN BY: J. L. LEE
 CHECKED BY: [Signature]
 DATE: 11/11/11
GERRA PARK
 GUNNVALE PARKS & RECREATION DEPARTMENT
 BOX 607 - CITY HALL - GUNNVALE - 94501
RIBERA & SUE
 LANDSCAPE ARCHITECTS
 2121 SHATTUCK AVE. BERKELEY, CALIF. 94704
 APPROVED: [Signature]

TREE LEGEND LIST

SYMBOL	TREE NAME	COMMON NAME	HEIGHT	SPREAD	PLANTING
①	ASPE. MACROPHYLLA	White Birch	12-15'	10-12'	10-12'
②	FRAXINUS AMERICANA	White Oak	12-15'	10-12'	10-12'
③	QUERCUS ALBA	White Oak	12-15'	10-12'	10-12'
④	QUERCUS PRINCEPIUM	White Oak	12-15'	10-12'	10-12'
⑤	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑥	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑦	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑧	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑨	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑩	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑪	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑫	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑬	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑭	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑮	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑯	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑰	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑱	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑲	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
⑳	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉑	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉒	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉓	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉔	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉕	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉖	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉗	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉘	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉙	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉚	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉛	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉜	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉝	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉞	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㉟	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊱	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊲	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊳	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊴	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊵	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊶	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊷	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊸	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊹	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊺	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊻	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊼	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊽	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊾	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'
㊿	QUERCUS LAEVOGLOBOSA	White Oak	12-15'	10-12'	10-12'

LEGEND

FRAXINUS AMERICANA 12" O.C.
FRAXINUS AMERICANA 18" O.C.

① - TREE
② - SHRUB

NOTE: 5' HIGHER DENOTES GRADIENT SIDE OF PLANTING POTENTIAL TO BE ARCHITECTURAL. THERE MUST BE 1" TO 2" ALL 9' POTENTIAL TO BE UNCLIPPED OFF WHITE.

SEE SHEET #4 FOR SHRUB LIST

PLANTING PLAN

SERRA PARK

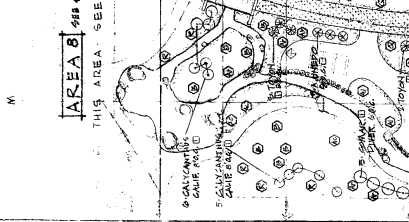
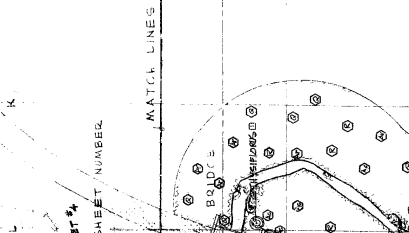
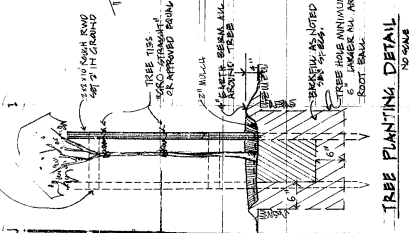
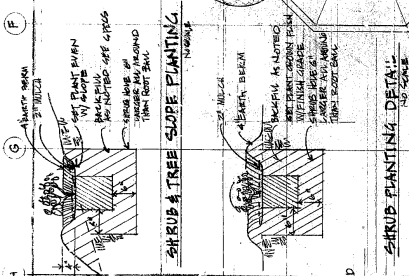
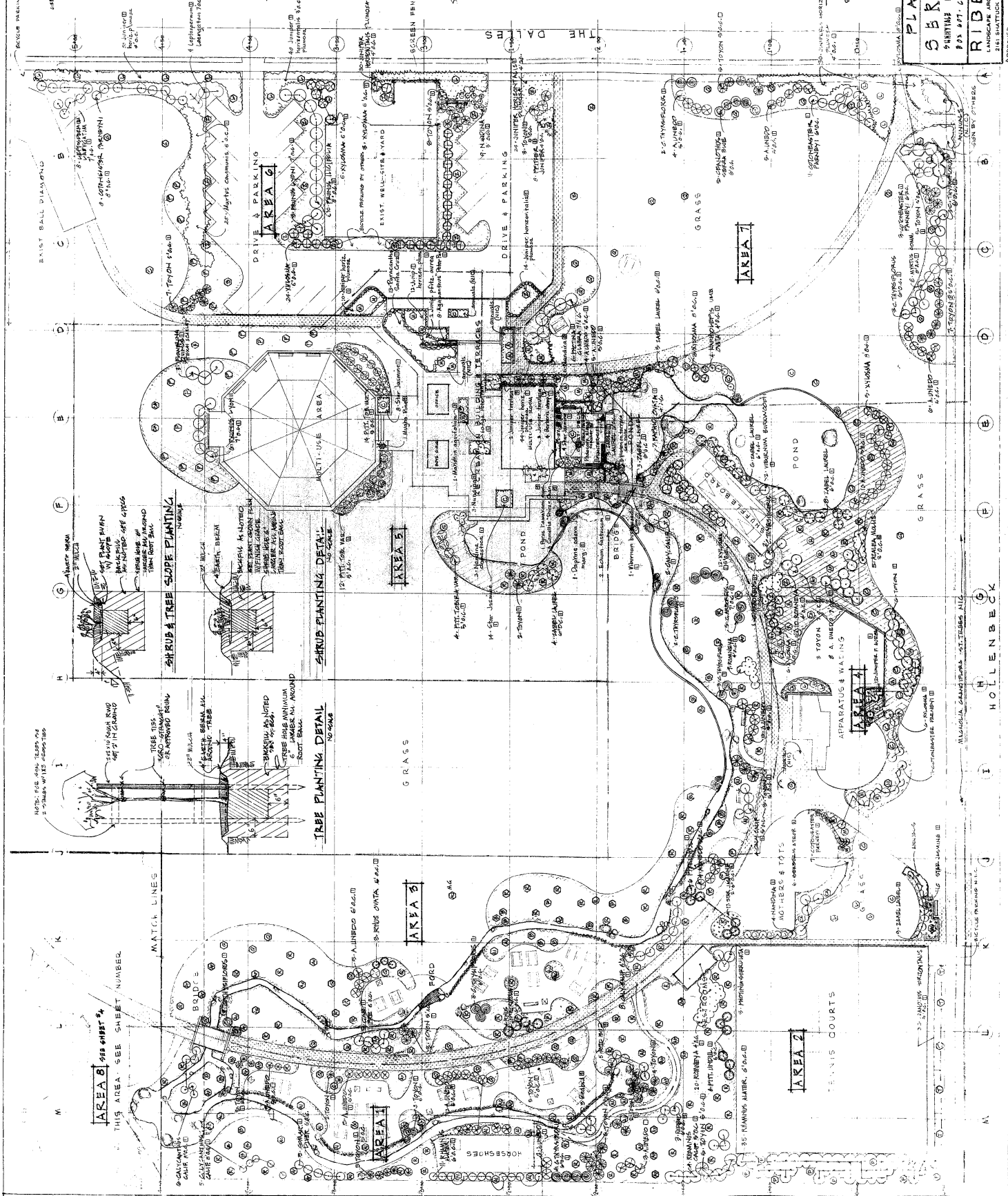
PLANNING PARKS & RECREATION DEPARTMENT
P.O. BOX 871, CITY HALL, SUNNYSIDE, N.Y. 10981

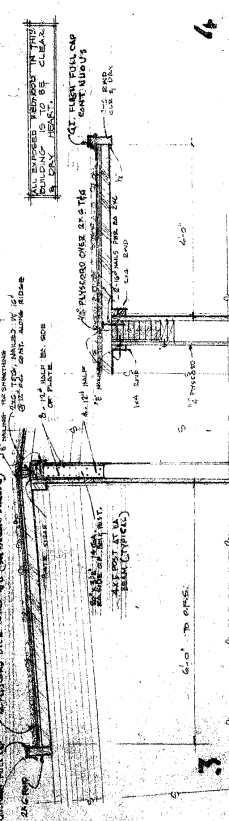
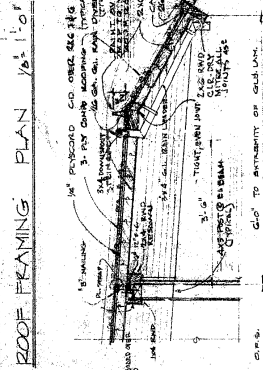
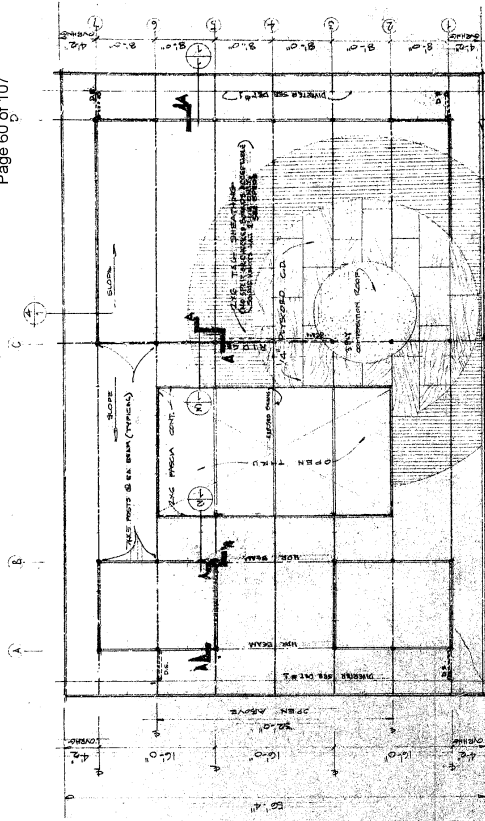
RIDER & SUE

ARCHITECTS
100 WEST 111th STREET, NEW YORK, N.Y. 10025

DATE: DEC 28, 1983
SCALE: 1" = 20'-0"

12

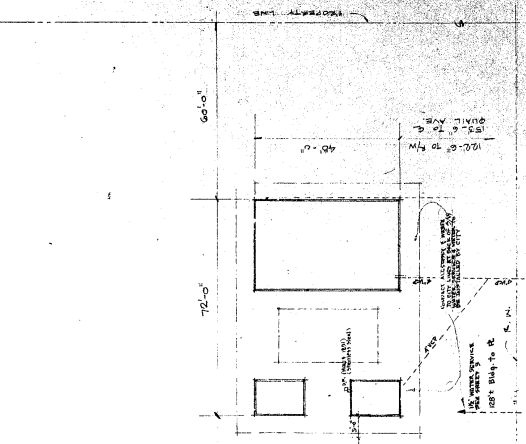




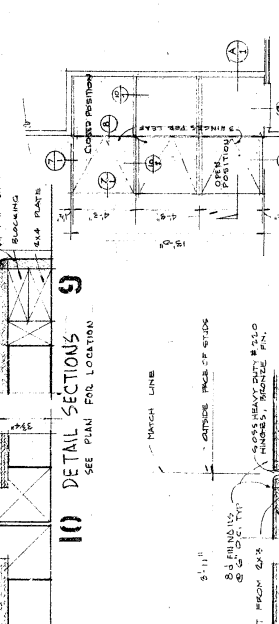
ROOF CONSTRUCTION AND
TRUSS DETAILS 3-4-11 - 1-1-2

RECREATION BUILDING
PARKS & RECREATION DEPARTMENT
MR. RICHARD MILKOWICH, DIRECTOR
SUNNYVALE, CALIFORNIA

SCHEIDT & DWYER ARCHITECTS
ARCHITECTS - CIVIL ENGINEERS
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
198 S. SAN ANTONIO ROAD - LOS ANGELES, CALIFORNIA



SITE PLAN AND
BUILDING LOCATION PLAN
(PRELIMINARY PLAN ONLY)



DRAWING SCHEDULE

SHEET 1	SITE, ROOF-DRAWINGS, & DETAILS
SHEET 2	FOUNDATION & DETAILS
SHEET 3	FLOOR PLAN-FINISH, DOOR SCHEDULE
SHEET 4	EXTERIOR ELEVATIONS
SHEET 5	INTERIOR ELEVATIONS FORBATH
SHEET 6	SECTION-STRUCTURAL FINISH DETAILS
SHEET 7	ELECTRICAL

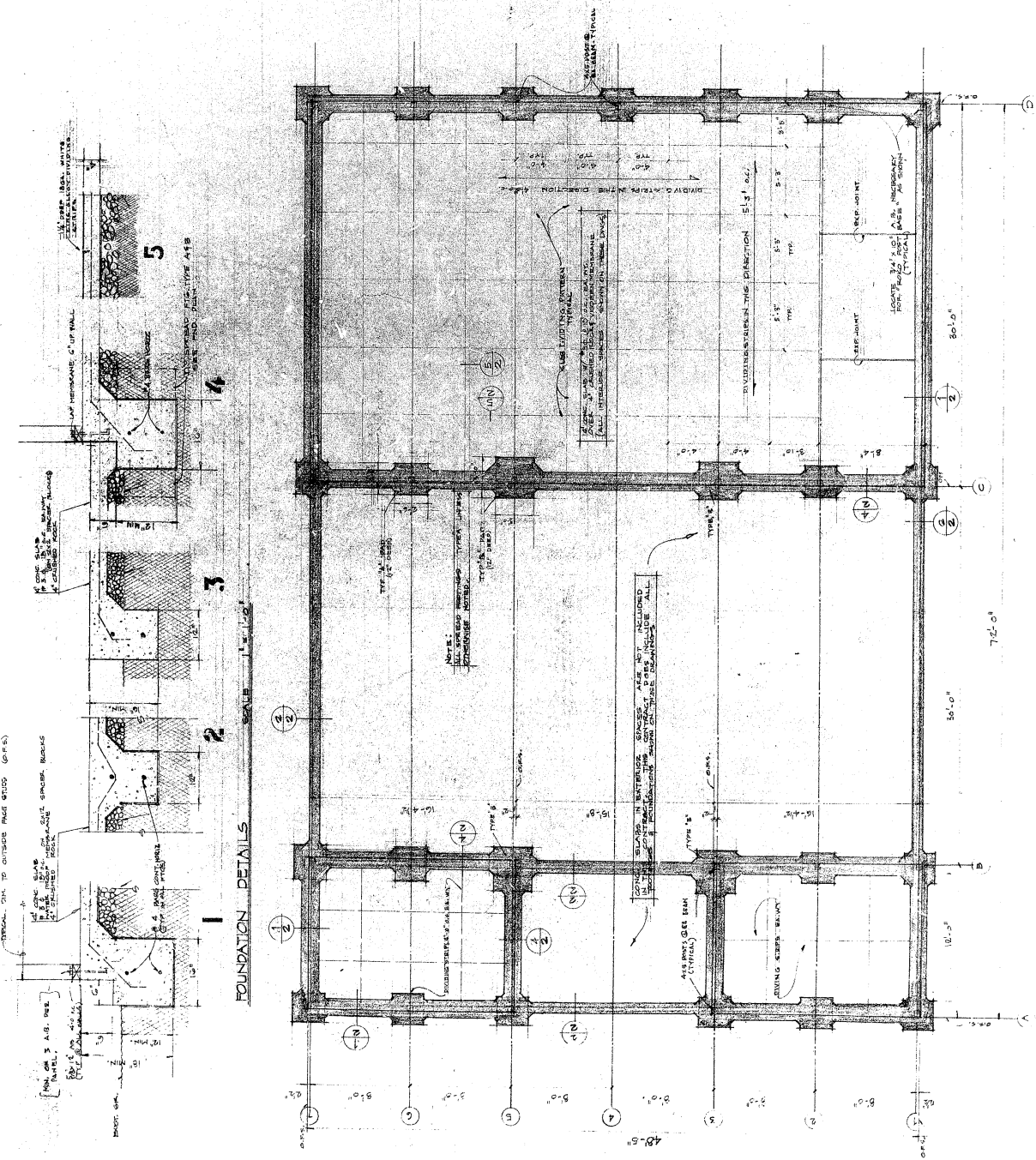
STOP DRAWINGS
CHECKED BY: [Name]
DATE: 3-4-11
SCALE: AS SHOWN
NOTES:
• ALL DIMENSIONS UNLESS OTHERWISE NOTED
• ALL MATERIALS TO BE SPECIFIED BY THE ARCHITECT
• ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF SUNNYVALE
• ALL WORK TO BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE
• ALL WORK TO BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE

SCHEMATIC - ROOF-FRAME PANELS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1. RAFTERS	8	2"	2.1	16.8
2. BEAMS	8	4"	2.1	16.8
3. PANELS	8	6"	1.2	9.6
4. NAILING	8	6"	1.2	9.6
5. FINISH	8	6"	1.2	9.6
6. TOTAL				62.4

NOTE: ALL DIMENSIONS TO BE NEEDED TO PLACE THE PLATE
SCALE: 1/8" = 1'-0"

DETAILS OF FOLDING STAGE



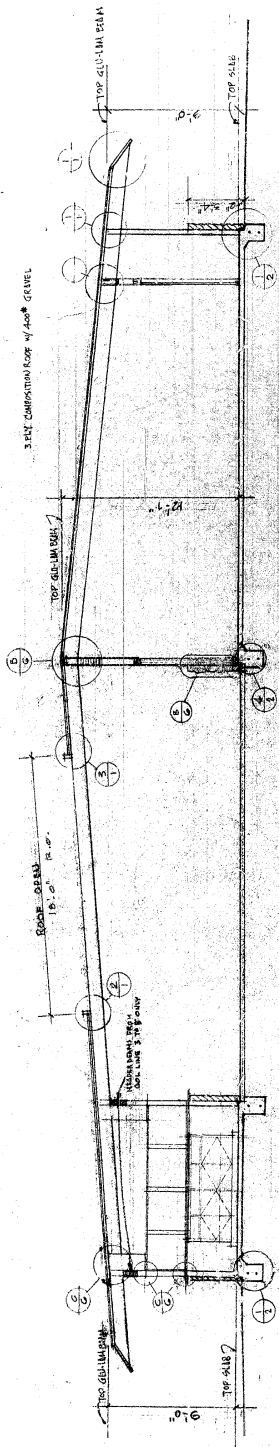
FOUNDATION PLAN SCALE 1/8" = 1'-0"

SUBMIT STEP DRAWINGS FOR ARCHITECT'S APPROVAL.
PROVIDE ANY MODIFICATION OF GRID & SPECIAL ATTACH. SHEET

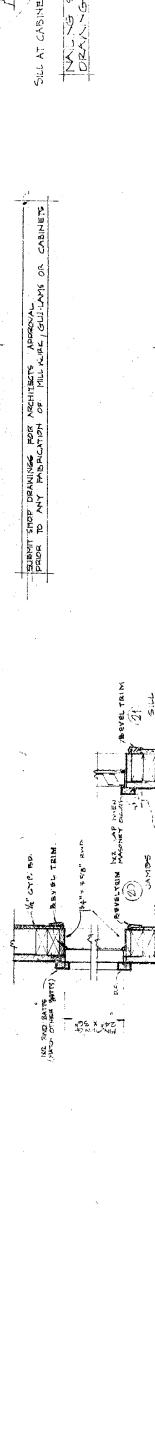
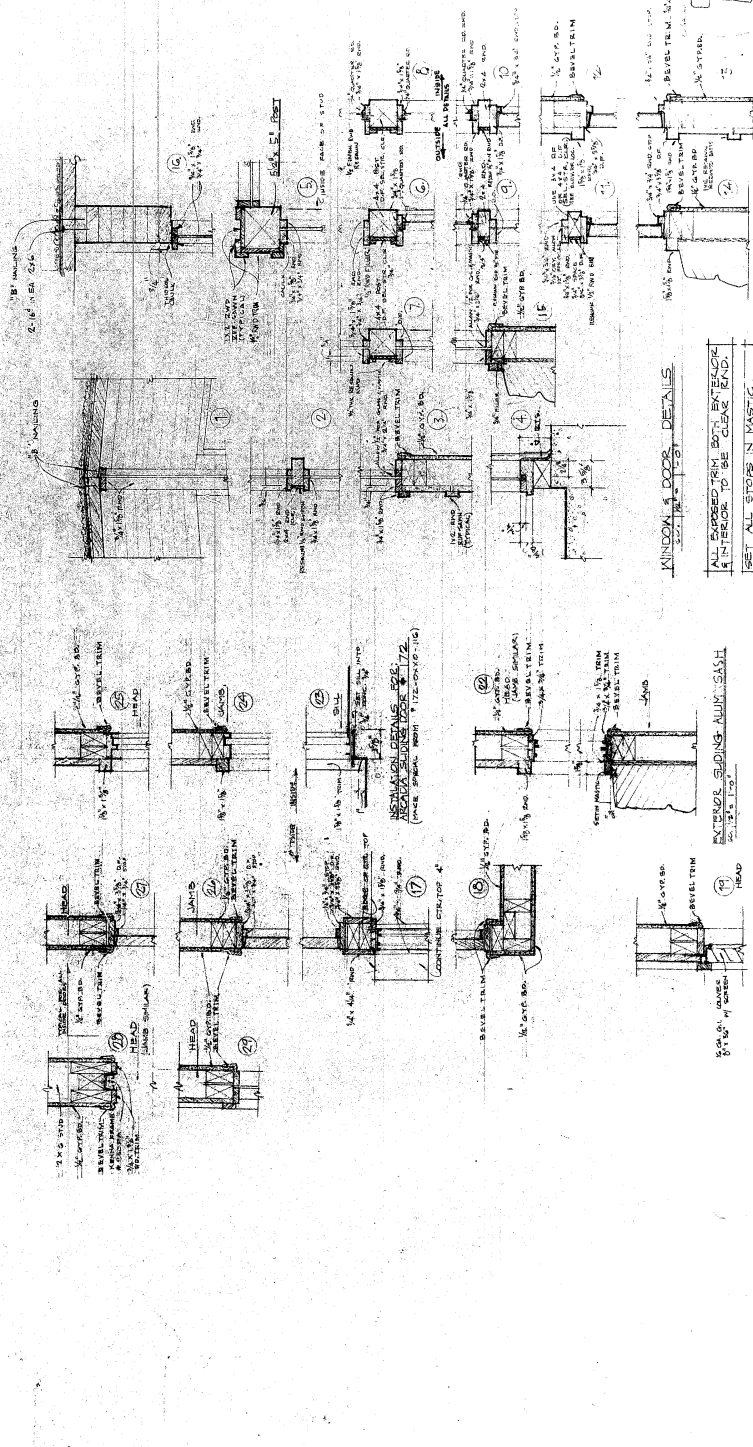
ROBERT P. FINE & ASSOCIATES
ARCHITECT - CIVIL PLANNER
MEMBER AMERICAN SOCIETY OF ARCHITECTS
175 S. SAN ANTONIO ROAD - LOS ANGELES, CALIFORNIA

RECREATION BUILDING
PARKS & RECREATION DEPARTMENT
MR. RICHARD MILKOVICH - DIRECTOR

62
14

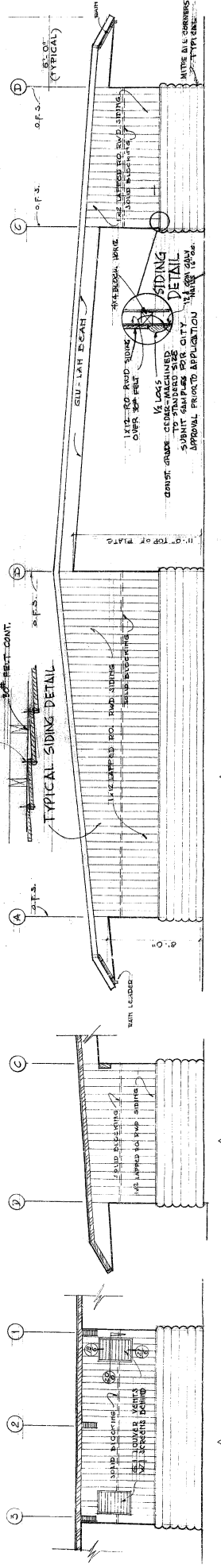
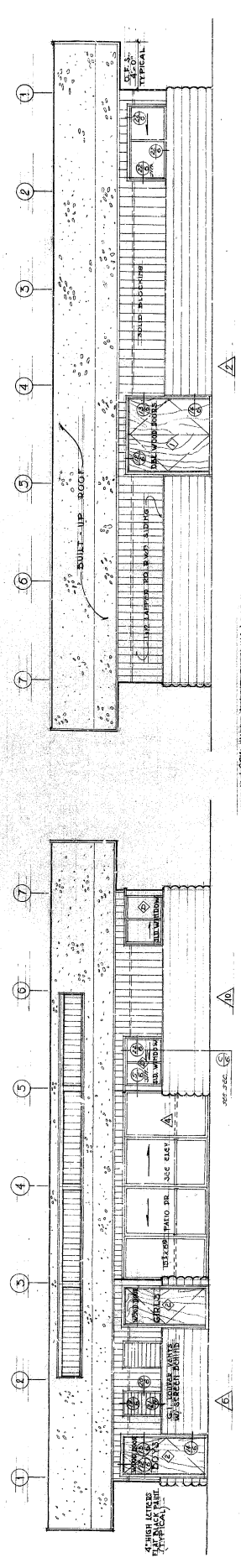
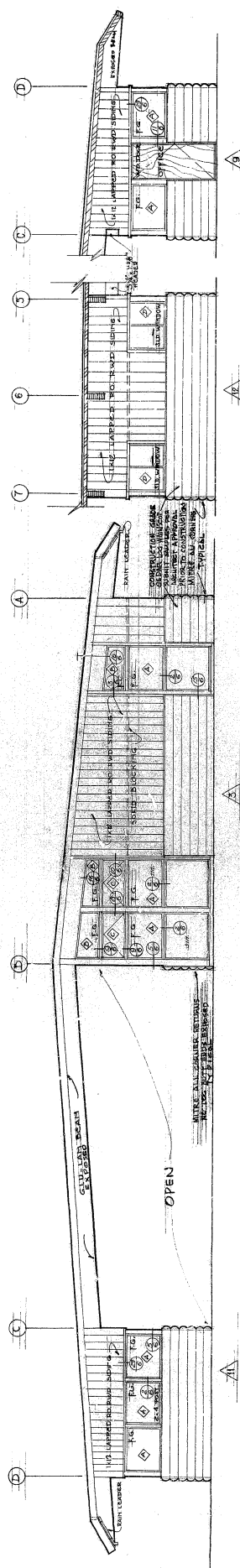
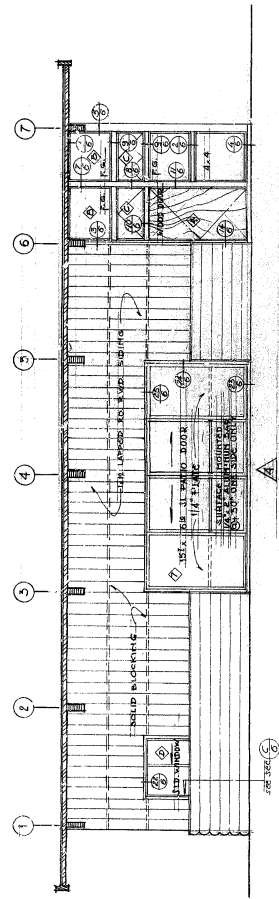


SECTION A-A
1/4" = 1'-0"



KENNETH P. ELVIN & ASSOCIATES
ARCHITECT - SITE PLANNER
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
175 E. SAN ANTONIO ROAD - LOS ANGELES, CALIFORNIA

RECREATION BUILDING
PARKS & RECREATION DEPARTMENT
MR. RICHARD MURKOVICH, DIRECTOR
SUNNYVALE, CALIFORNIA



EXTERIOR ELEVATIONS SCALE 1/4" = 1'-0"

KENNETH P. ELVIN - ASSOCIATES
ARCHITECT - SITE PLANNER
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
705 2 JAN AVENUE ROAD - LOS ANGELES, CALIFORNIA

SERRA PARK RECREATION BUILDING
PARKS AND RECREATION DEPARTMENT
MR. RICHARD MILKOVICH, DIRECTOR
SUNNYVALE, CALIFORNIA

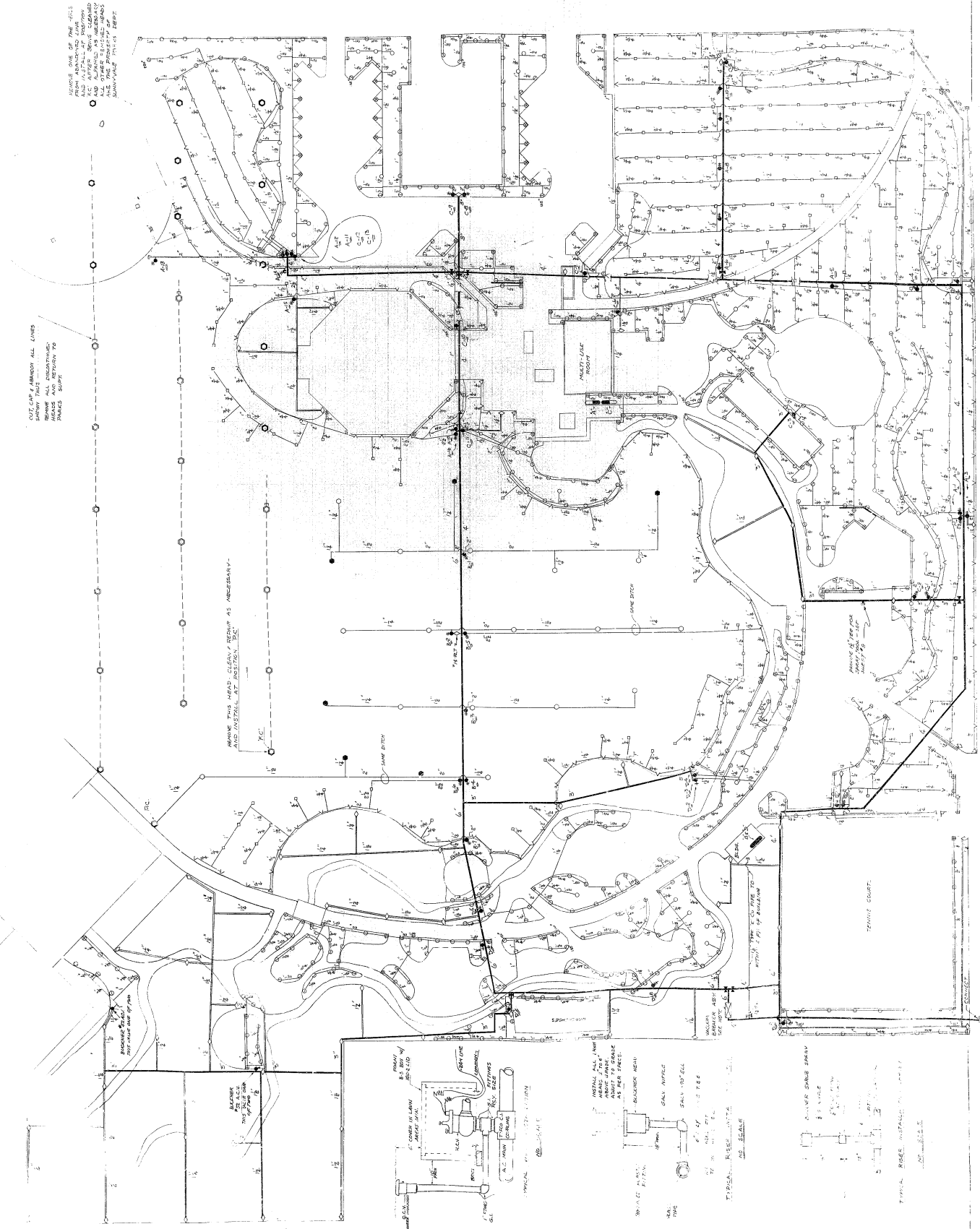
18-54

NOTES

1. SEE RISE VALUES ETC. IN SCHEDULES AND SPECIFICATIONS.
2. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL FIRE ALARM AND SIGNALING ASSOCIATION (NFPA) CODES.
4. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS (NBFU) CODES.
5. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
6. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
7. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
8. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
9. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
10. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
11. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
12. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
13. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.
14. ALL WIRING SHALL BE IN CONFORMANCE WITH THE NATIONAL ASSOCIATION OF FIRE UNDERWRITERS (NAFU) CODES.

WIRING SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY	UNIT
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LEGEND

- Service Mounted Light Fixture
- Mount 50" Up 400V
- Mount 80" Up 400V
- Above Conduit
- Below Conduit
- Homomorph Conduit See Note 3
- Conduit Only
- UAN Unless Otherwise Noted
- S.P.D. See Arch/Struct Drawings
- Detail Ref.
- Sheet

- 1. Number by symbol designates circuit.
- 2. Letter within Lighting Fixture indicates fixture type, mounting, and case letter designates mounting switch.

LEGEND NOTES

- 1. Lighting Standards
- 2. Stage Lighting
- 3. Spotlights
- 4. Undermount Lighting
- 5. Flood Lights
- 6. Outdoor Lights
- 7. Recreational
- 8. Outdoor Lights
- 9. Recreational
- 10. Outdoor Lights
- 11. Recreational
- 12. Outdoor Lights
- 13. Recreational
- 14. Outdoor Lights
- 15. Recreational
- 16. Outdoor Lights
- 17. Recreational
- 18. Outdoor Lights
- 19. Recreational
- 20. Outdoor Lights
- 21. Recreational
- 22. Outdoor Lights
- 23. Recreational
- 24. Outdoor Lights
- 25. Recreational
- 26. Outdoor Lights
- 27. Recreational
- 28. Outdoor Lights
- 29. Recreational
- 30. Outdoor Lights
- 31. Recreational
- 32. Outdoor Lights
- 33. Recreational
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- 39. Recreational
- 40. Outdoor Lights
- 41. Recreational
- 42. Outdoor Lights
- 43. Recreational
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- 45. Recreational
- 46. Outdoor Lights
- 47. Recreational
- 48. Outdoor Lights
- 49. Recreational
- 50. Outdoor Lights

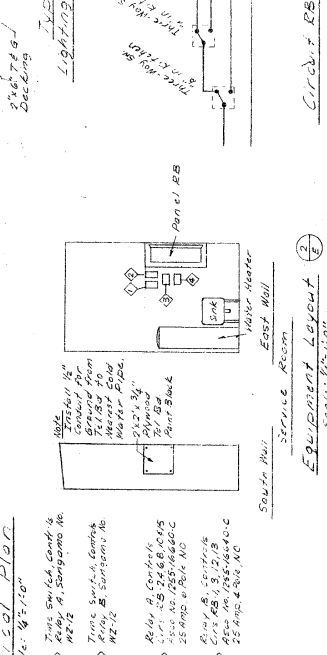
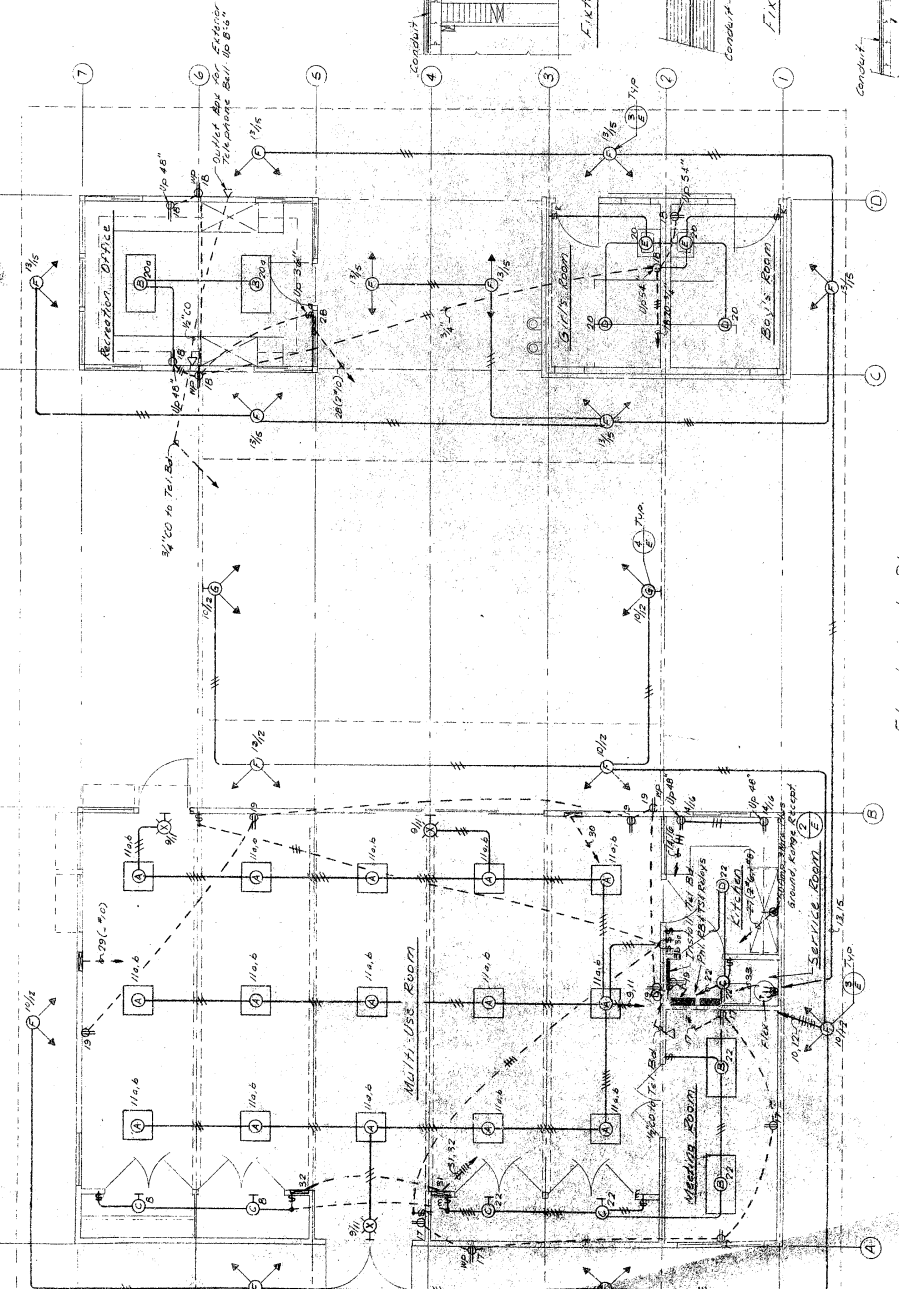
Rec'd on 11/19/19 Panel - RB
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No.	Description	Type	Qty	Watts	Volts	Phase	Notes
1	Lighting Standards	19A	1	1500	120	1	20
2	Stage Lighting	2	1	600	120	1	20
3	Spotlights	3	1	180	120	1	20
4	Undermount Lighting	4	1	90	120	1	20
5	Flood Lights	5	1	180	120	1	20
6	Outdoor Lights	6	1	180	120	1	20
7	Recreational	7	1	180	120	1	20
8	Outdoor Lights	8	1	180	120	1	20
9	Recreational	9	1	180	120	1	20
10	Outdoor Lights	10	1	180	120	1	20
11	Recreational	11	1	180	120	1	20
12	Outdoor Lights	12	1	180	120	1	20
13	Recreational	13	1	180	120	1	20
14	Outdoor Lights	14	1	180	120	1	20
15	Recreational	15	1	180	120	1	20
16	Outdoor Lights	16	1	180	120	1	20
17	Recreational	17	1	180	120	1	20
18	Outdoor Lights	18	1	180	120	1	20
19	Recreational	19	1	180	120	1	20
20	Outdoor Lights	20	1	180	120	1	20
21	Recreational	21	1	180	120	1	20
22	Outdoor Lights	22	1	180	120	1	20
23	Recreational	23	1	180	120	1	20
24	Outdoor Lights	24	1	180	120	1	20
25	Recreational	25	1	180	120	1	20
26	Outdoor Lights	26	1	180	120	1	20
27	Recreational	27	1	180	120	1	20
28	Outdoor Lights	28	1	180	120	1	20
29	Recreational	29	1	180	120	1	20
30	Outdoor Lights	30	1	180	120	1	20
31	Recreational	31	1	180	120	1	20
32	Outdoor Lights	32	1	180	120	1	20
33	Recreational	33	1	180	120	1	20
34	Outdoor Lights	34	1	180	120	1	20
35	Recreational	35	1	180	120	1	20
36	Outdoor Lights	36	1	180	120	1	20
37	Recreational	37	1	180	120	1	20
38	Outdoor Lights	38	1	180	120	1	20
39	Recreational	39	1	180	120	1	20
40	Outdoor Lights	40	1	180	120	1	20
41	Recreational	41	1	180	120	1	20
42	Outdoor Lights	42	1	180	120	1	20
43	Recreational	43	1	180	120	1	20
44	Outdoor Lights	44	1	180	120	1	20
45	Recreational	45	1	180	120	1	20
46	Outdoor Lights	46	1	180	120	1	20
47	Recreational	47	1	180	120	1	20
48	Outdoor Lights	48	1	180	120	1	20
49	Recreational	49	1	180	120	1	20
50	Outdoor Lights	50	1	180	120	1	20

Lighting Fixture Schedule

Qty	Description	Type	Watts	Volts	Phase	Notes
1	19A	19A	1500	120	1	20
2	2	2	600	120	1	20
3	3	3	180	120	1	20
4	4	4	90	120	1	20
5	5	5	180	120	1	20
6	6	6	180	120	1	20
7	7	7	180	120	1	20
8	8	8	180	120	1	20
9	9	9	180	120	1	20
10	10	10	180	120	1	20
11	11	11	180	120	1	20
12	12	12	180	120	1	20
13	13	13	180	120	1	20
14	14	14	180	120	1	20
15	15	15	180	120	1	20
16	16	16	180	120	1	20
17	17	17	180	120	1	20
18	18	18	180	120	1	20
19	19	19	180	120	1	20
20	20	20	180	120	1	20
21	21	21	180	120	1	20
22	22	22	180	120	1	20
23	23	23	180	120	1	20
24	24	24	180	120	1	20
25	25	25	180	120	1	20
26	26	26	180	120	1	20
27	27	27	180	120	1	20
28	28	28	180	120	1	20
29	29	29	180	120	1	20
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38	38	38	180	120	1	20
39	39	39	180	120	1	20
40	40	40	180	120	1	20
41	41	41	180	120	1	20
42	42	42	180	120	1	20
43	43	43	180	120	1	20
44	44	44	180	120	1	20
45	45	45	180	120	1	20
46	46	46	180	120	1	20
47	47	47	180	120	1	20
48	48	48	180	120	1	20
49	49	49	180	120	1	20
50	50	50	180	120	1	20

RECREATION BUILDING
PARKS and RECREATION DEPARTMENT
MR. RICHARD MILKOVICH - DIRECTOR
SUNNYVALE, CALIFORNIA



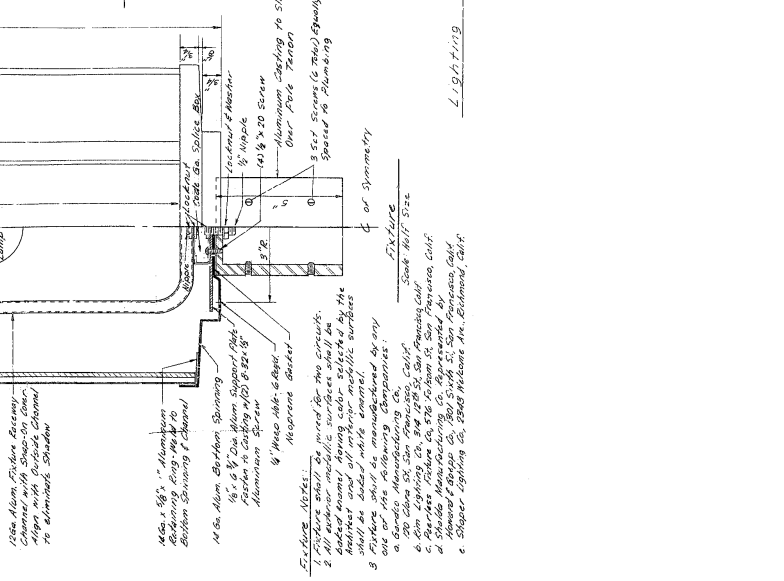
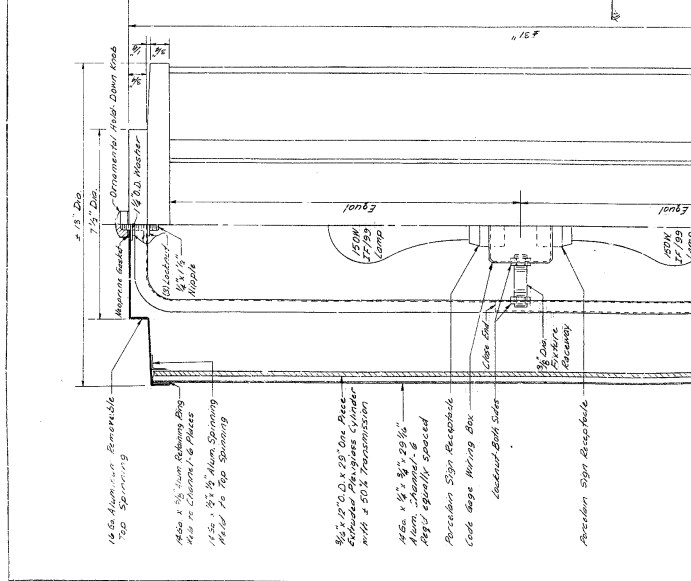
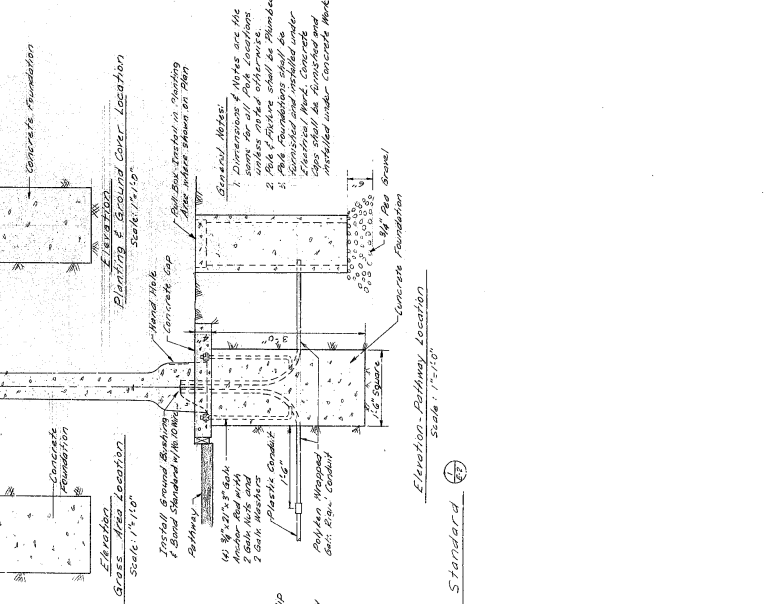
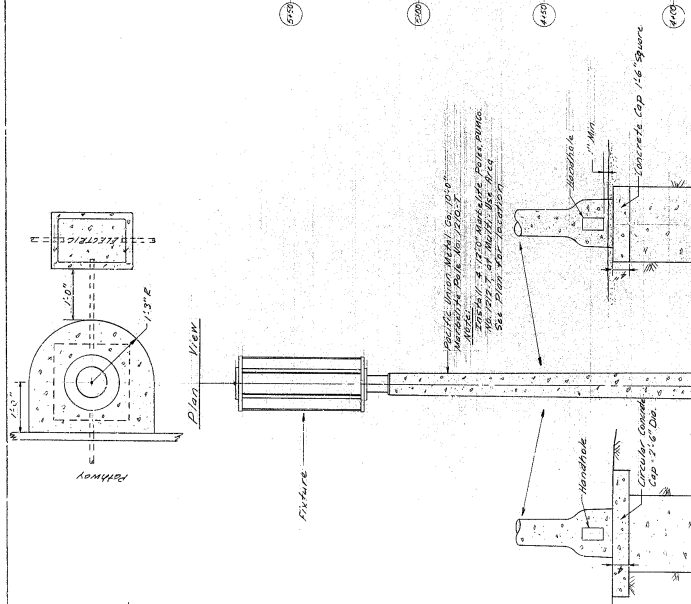
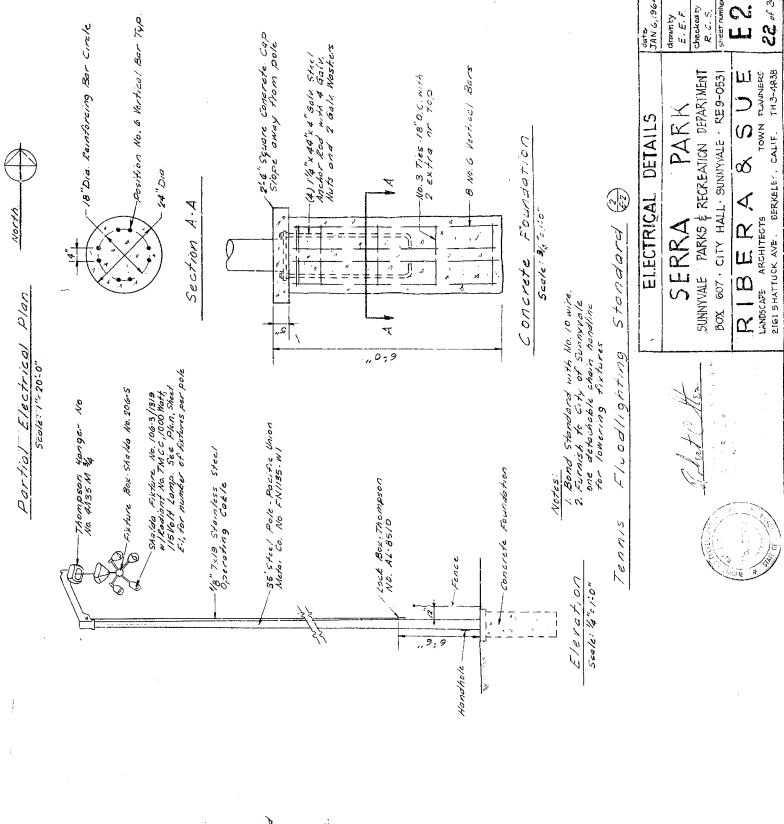
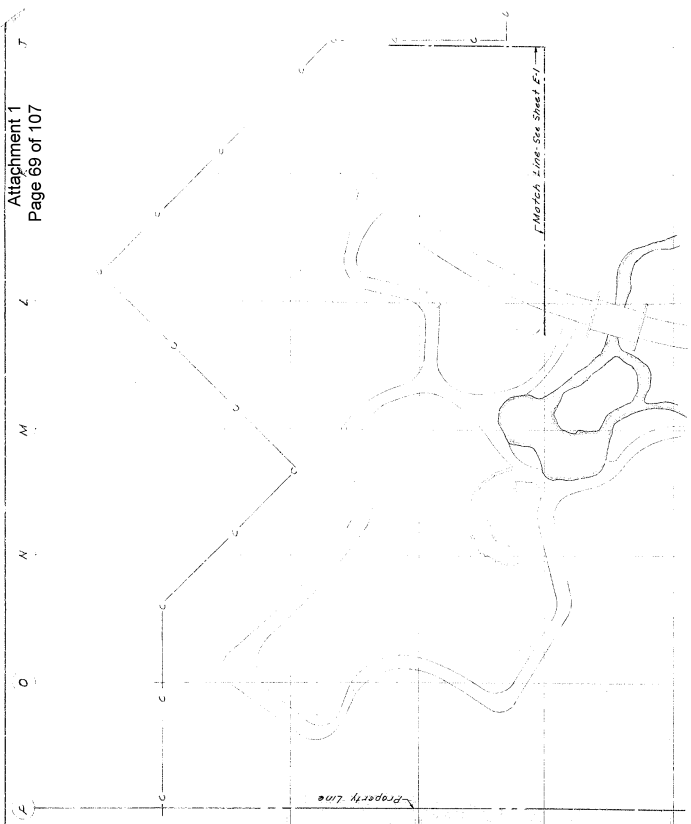
KEY

- 1 This switch controls 120V lighting in the Recreation Office.
- 2 This switch controls 120V lighting in the Boys' Room.
- 3 This switch controls 120V lighting in the Service Room.
- 4 This switch controls 120V lighting in the Multi-Use Room.
- 5 This switch controls 120V lighting in the Messing Booth.
- 6 This switch controls 120V lighting in the Restrooms.

Electrical Plan
Scale: 1/8" = 1'-0"

ROBERT C. STERN
ELECTRICAL ENGINEER
474 PAVAN STREET, SAN FRANCISCO 34

KENNETH P. ELVIN ASSOCIATES
ARCHITECT
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
178 S. SAN ANTONIO ROAD, SAN ANTONIO, CALIFORNIA



1/2" x 1/2" O.D. x 29 One Piece
Extruded Aluminum Cylinder
with 50% Transmittance

Also x 1/2" Alum. Reinforcing Ring
40 to Channel 1/8" Flange
1/8" x 3/16" Alum. Spinning
Alloy to 1/8" Spinning

1/2" x 1/2" O.D. x 29 One Piece
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1/8" x 3/16" Alum. Spinning
Alloy to 1/8" Spinning

ELECTRICAL DETAILS

SERRA PARK

SUNNYVALE PARKS & RECREATION DEPARTMENT
BOX 607 - CITY HALL, SUNNYVALE - RE9-0851

RIBERA & SUE

REGISTERED ELECTRICAL ENGINEERS
2819 HATLUCK AVE. BERKELEY, CALIF. 94708

DATE: JAN. 6, 1964

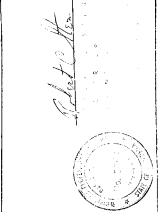
DRAWN BY: [Signature]

CHECKED BY: R. C. S.

APPROVED BY: [Signature]

PROJECT NO. E2

SHEET NO. 28



Electrical

Scale: 1/4" = 1'-0"

Elevation
Scale: 1/4" = 1'-0"

Section A-A
Scale: 1/4" = 1'-0"

Concrete Foundation
Scale: 1/4" = 1'-0"

Handrail
Scale: 1/4" = 1'-0"

Concrete Cap 16" Square
Scale: 1/4" = 1'-0"

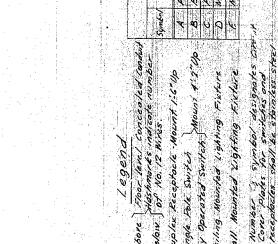
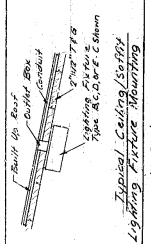
18" Dia. Reinforcing Bar Circle
Scale: 1/4" = 1'-0"

Handrail
Scale: 1/4" = 1'-0"

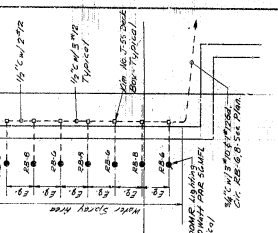
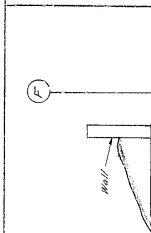
Concrete Foundation
Scale: 1/4" = 1'-0"

Concrete Cap 16" Square
Scale: 1/4" = 1'-0"

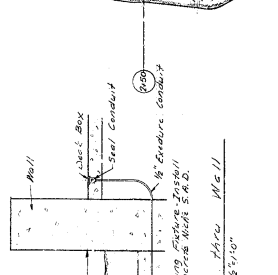
18" Dia. Reinforcing Bar Circle
Scale: 1/4" = 1'-0"



Undermeter Lighting
Scale: 1/8"=1'-0"



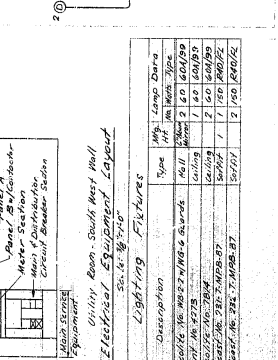
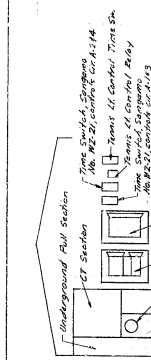
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Scale: 1/8"=1'-0"



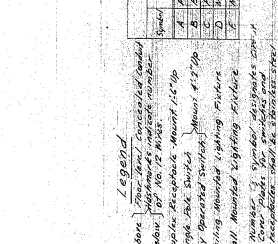
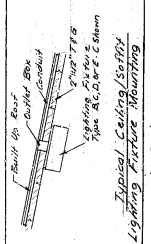
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Scale: 1/8"=1'-0"



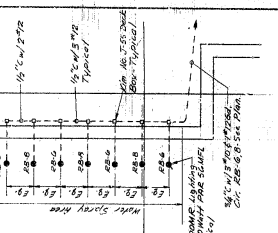
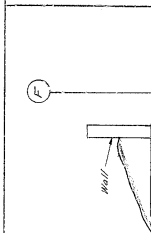
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Scale: 1/8"=1'-0"



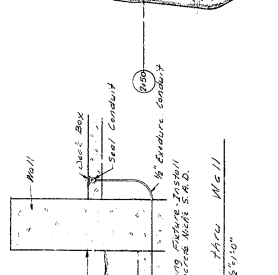
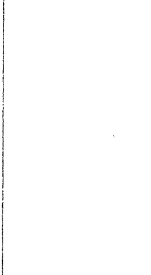
Electrical Equipment Layout
Scale: 1/8"=1'-0"



Lighting Fixture Mounting
Scale: 1/8"=1'-0"



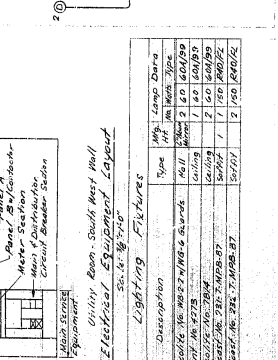
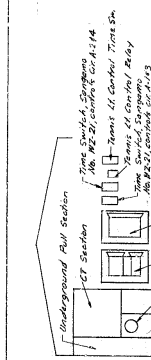
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



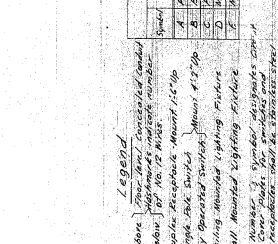
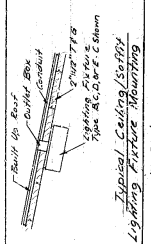
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



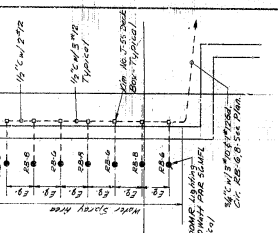
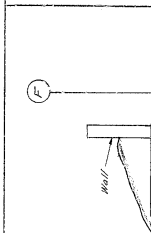
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



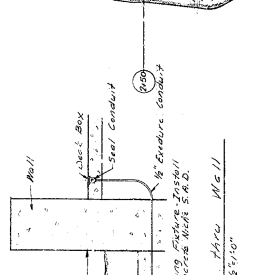
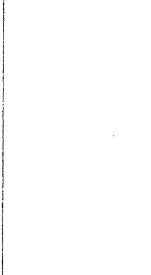
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



Lighting Fixture Mounting
Scale: 1/8"=1'-0"



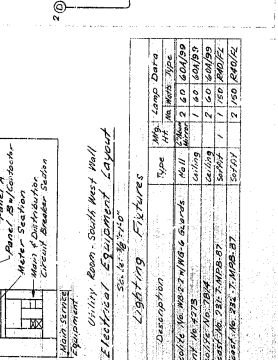
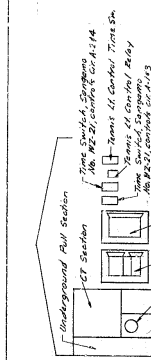
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



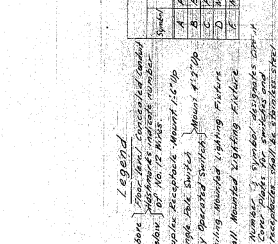
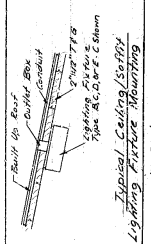
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



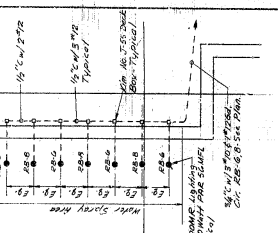
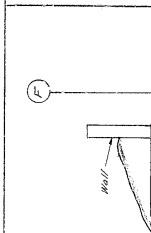
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



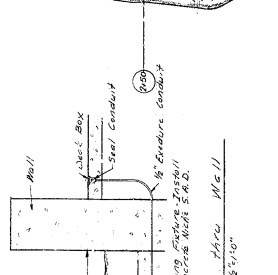
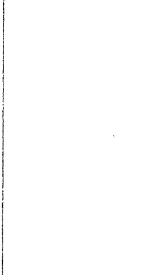
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



Lighting Fixture Mounting
Scale: 1/8"=1'-0"



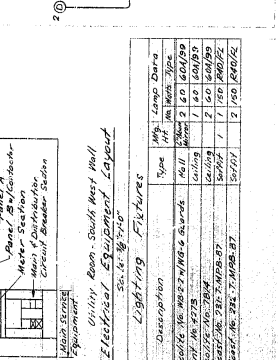
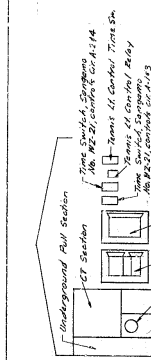
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



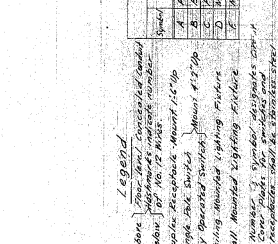
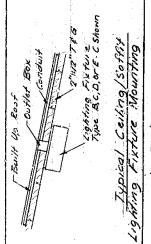
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



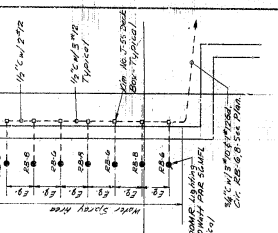
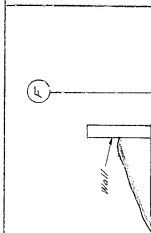
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



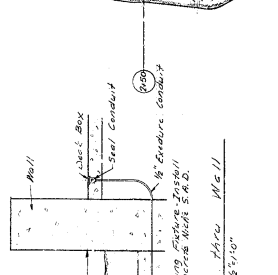
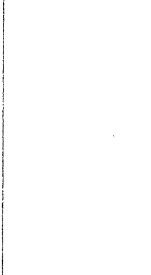
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



Lighting Fixture Mounting
Scale: 1/8"=1'-0"



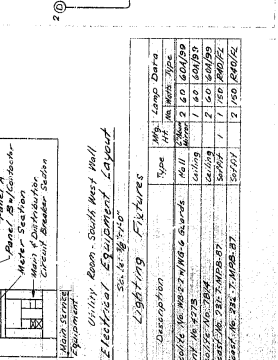
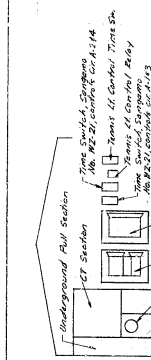
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



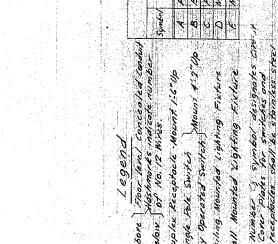
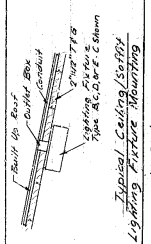
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



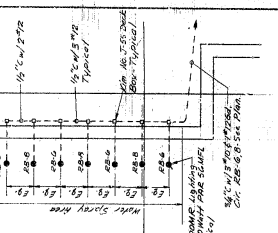
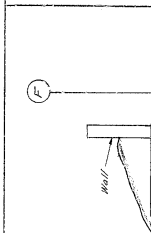
Lighting Fixture Mounting
Scale: 1/8"=1'-0"



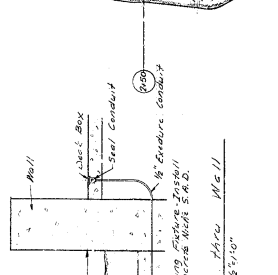
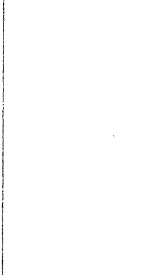
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Scale: 1/8"=1'-0"



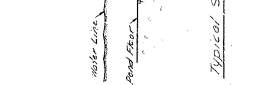
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Scale: 1/8"=1'-0"



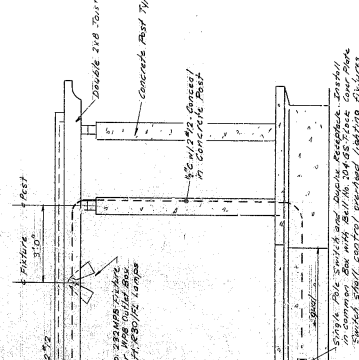
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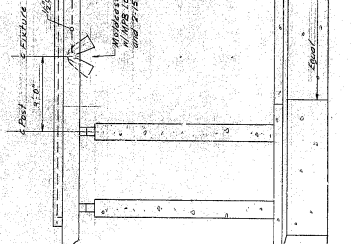
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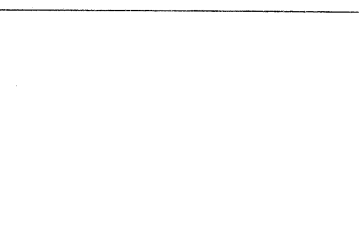
Lighting Fixture Mounting
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Elevation
Scale: 1/8"=1'-0"



Section
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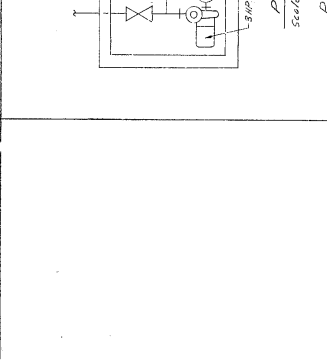
Elevation
Scale: 1/8"=1'-0"



Elevation
Scale: 1/8"=1'-0"



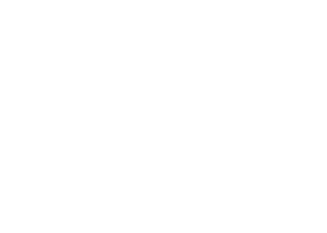
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Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"



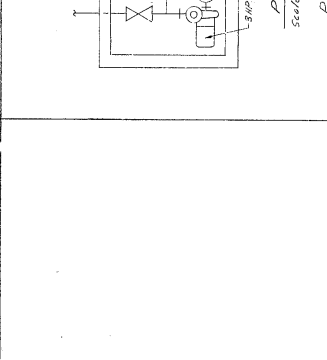
Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"

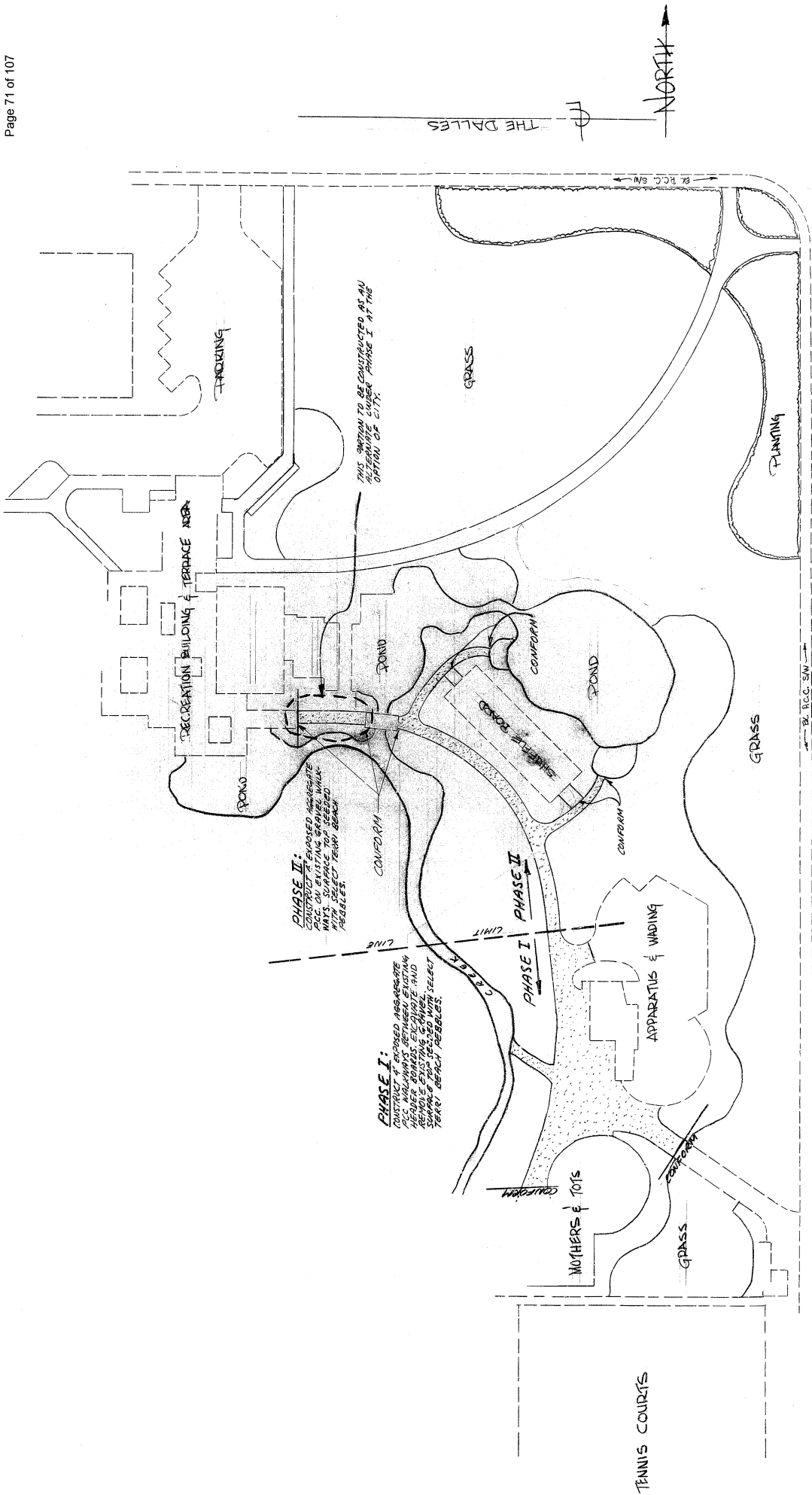


Electrical Equipment Layout
Scale: 1/8"=1'-0"



Electrical Equipment Layout
Scale: 1/8"=1'-0"

ELECTRICAL DETAILS
SERRA PARK
SUNNYVALE PARKS & RECREATION DEPARTMENT
BOX 607, CITY HALL, SUNNYVALE, CALIF. 95051
RIBERA & SUE
LANDSCAPE ARCHITECTS TOWN PLANNERS
2301 SHATTUCK AVENUE, BERKELEY, CALIF. 94704
DATE: 11/10/88
DRAWN BY: JES
CHECKED BY: JES
SCALE: AS SHOWN
JOB NUMBER: E3
SHEET NUMBER: 23 OF 24



PHASE I:
CONSTRUCT 4' EXPOSED ASPHALTITE
AND MILLWAYS BETWEEN EXISTING
REMOVABLE EXISTING GRASS.
REMOVE TOP SECTIONS WITH SELECT
TERRY BEACH REBBLES.

PHASE II:
CONSTRUCT 4' EXPOSED ASPHALTITE
WITH 3" SPALLS TOP SEED
WITH SELECT TERRY BEACH
REBBLES.

THIS SECTION TO BE CONSTRUCTED AS AN
ALTERNATE UNDER PHASE I AT THE
OPTION OF CITY.

HOLLENBECK AVENUE

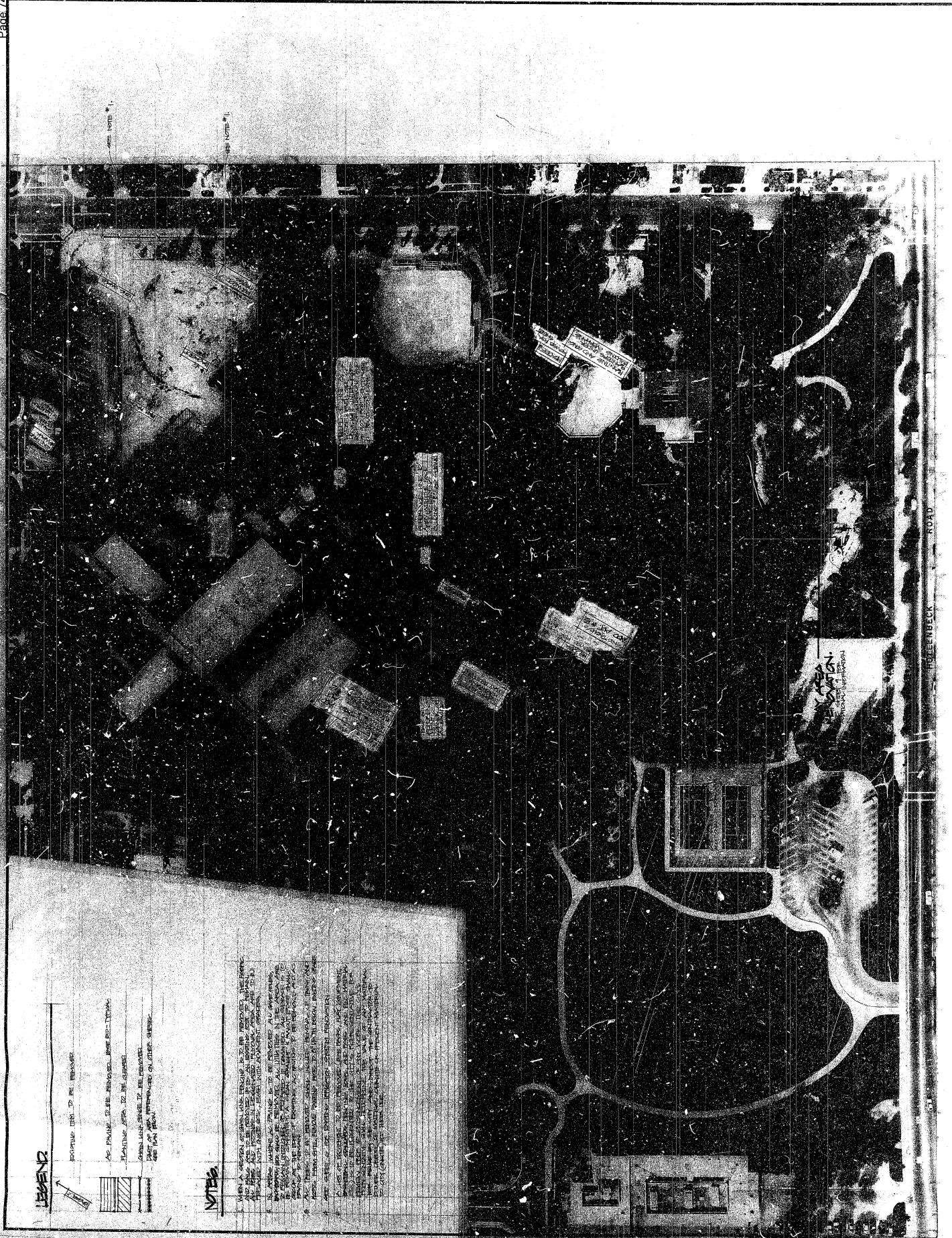
APPROVED BY:	REVIEWED FOR APPROVAL BY:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	FIELD NO.:	DATE:
Walter E. Smith Senior Engineer	W. E. Smith Senior Engineer	W. E. Smith Senior Engineer	W. E. Smith Senior Engineer	W. E. Smith Senior Engineer	100	JUN 1971
DATE:	R. E. NO.:	TITLE:	PROJECT:	DEPARTMENT:	CITY:	FILE NO.:
JUN 1971	100	SEABRA PARK SIDEWALK CONSTRUCTION	SEABRA PARK SIDEWALK CONSTRUCTION	DEPARTMENT OF PUBLIC WORKS	CITY OF SUNNYSIDE	71
SCALE:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:
1" = 20'						



SINGER & HODGES, Inc.
LANDSCAPE ARCHITECTURE
1542 PENNINGTON STREET
OAKLAND, CA 94612
(415) 891-9669

SERRA PARK IMPROVEMENTS
PROJECT
84.072 84.10.11 85.10.7
CITY OF SUNNYVALE, CALIFORNIA

SHEET TITLE
GATE REPAIR AND DEMOLITION PLAN



LEGEND

- EXPANDED AREA TO BE REPAIRED
- AS PAINTED TO BE REPAIRED, SEE BUILDING
- REPAIR AREA TO BE DEMOLISHED
- DEMOLITION AREA TO BE REPAIRED
- DEMOLITION AREA TO BE REPAIRED

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SUNNYVALE SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE AND THE CITY OF SUNNYVALE SPECIFICATIONS FOR CONSTRUCTION.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SUNNYVALE SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE AND THE CITY OF SUNNYVALE SPECIFICATIONS FOR CONSTRUCTION.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SUNNYVALE SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE AND THE CITY OF SUNNYVALE SPECIFICATIONS FOR CONSTRUCTION.

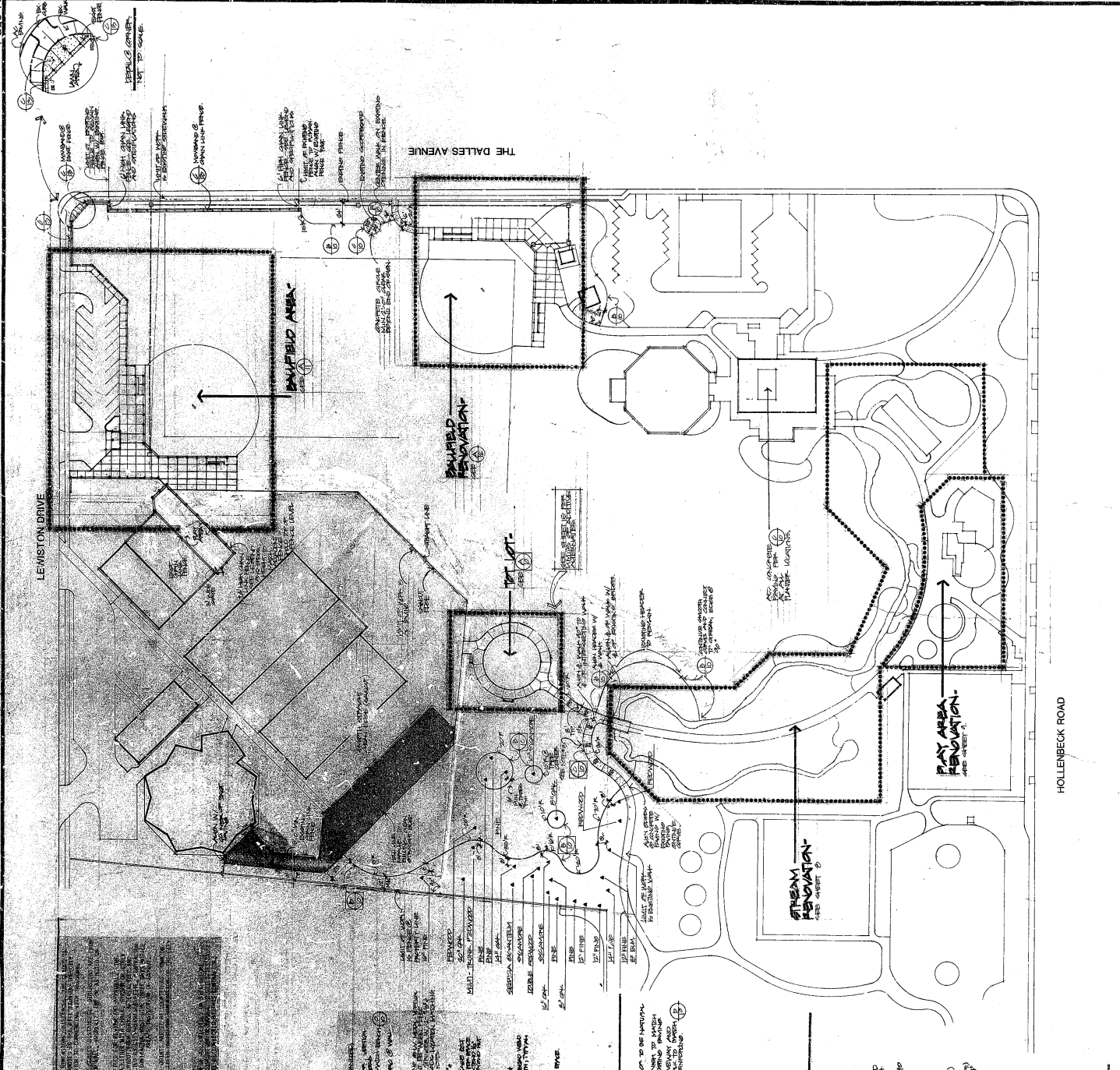
HOELENBECK ROAD



SINGER & HODGES, Inc.
LANDSCAPE ARCHITECTURE
1517 FRANKLIN STREET
OAKLAND, CA 94612
415.761.9005

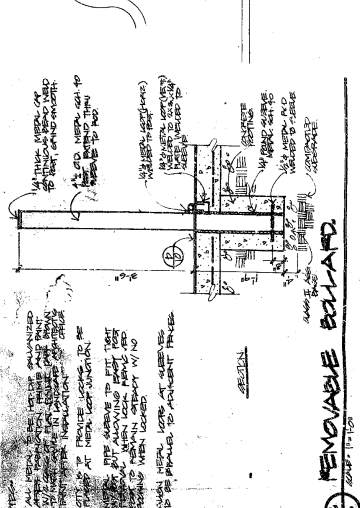
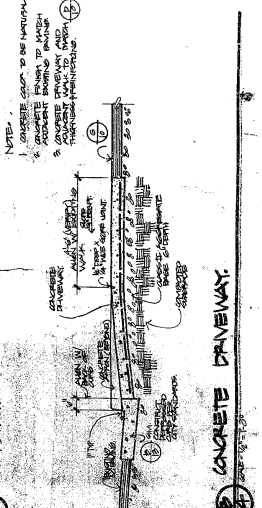
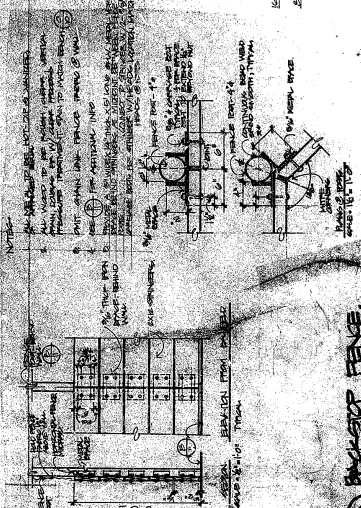
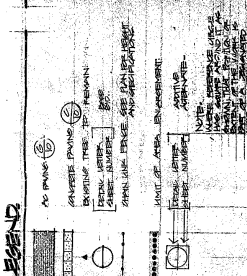
SERRA PARK IMPROVEMENTS
CITY OF SUNNYVALE, CALIFORNIA

SHEET TITLE
LANDSCAPE AND REFERENCE PLAN



NOTES

1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH WITH 4% FIBER REINFORCEMENT. ALL CONCRETE SHALL BE FINISHED TO MATCH EXISTING SURFACES UNLESS OTHERWISE NOTED.
2. ALL CONCRETE SHALL BE CURVED TO MATCH EXISTING SURFACES UNLESS OTHERWISE NOTED.
3. ALL CONCRETE SHALL BE FINISHED TO MATCH EXISTING SURFACES UNLESS OTHERWISE NOTED.
4. ALL CONCRETE SHALL BE FINISHED TO MATCH EXISTING SURFACES UNLESS OTHERWISE NOTED.
5. ALL CONCRETE SHALL BE FINISHED TO MATCH EXISTING SURFACES UNLESS OTHERWISE NOTED.





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1112 RIVINGTON STREET
OAKLAND, CA 94612
(415) 891-9669

SERRA PARK IMPROVEMENTS
CITY OF SUNNYVALE, CALIFORNIA

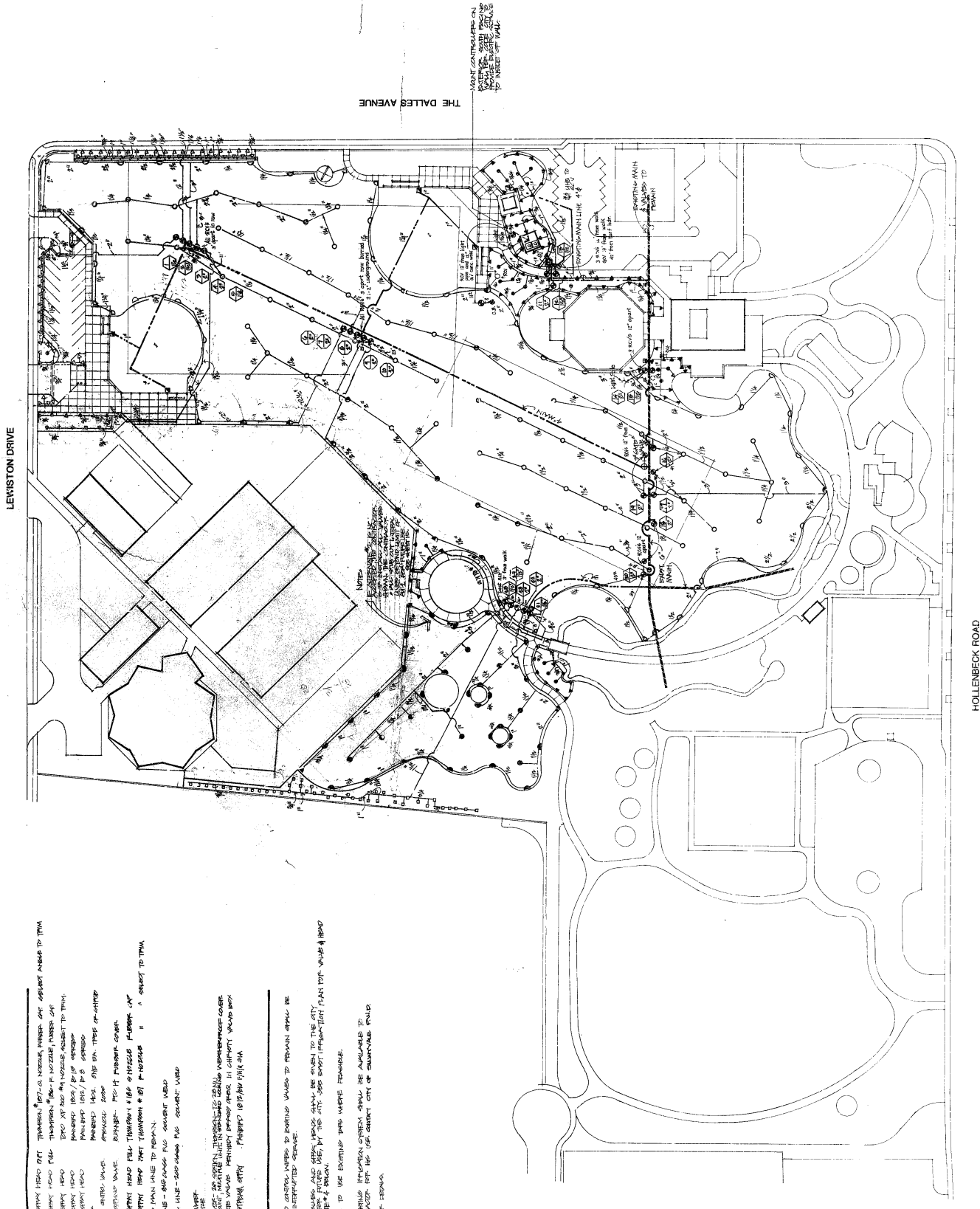
SHEET TITLE
IRRIGATION PLAN

SCALE: 1" = 40'

DATE: 04.10.11 08.10.11

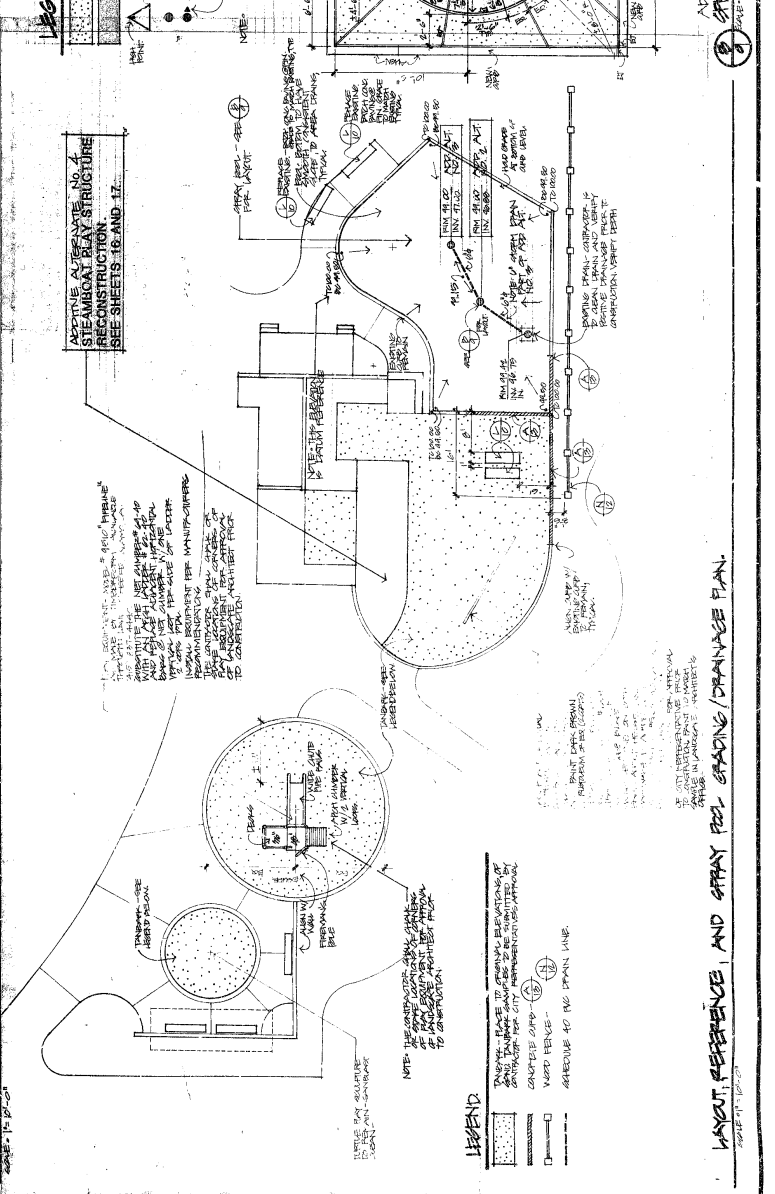
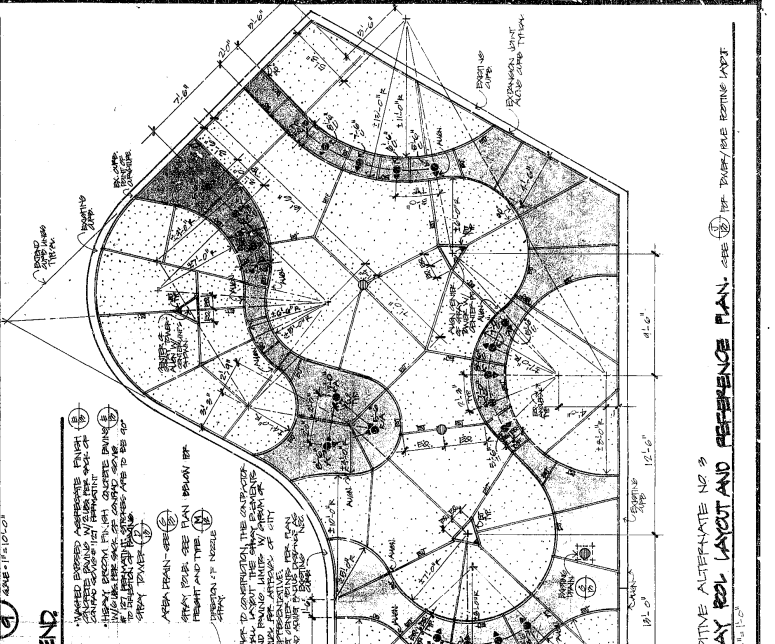
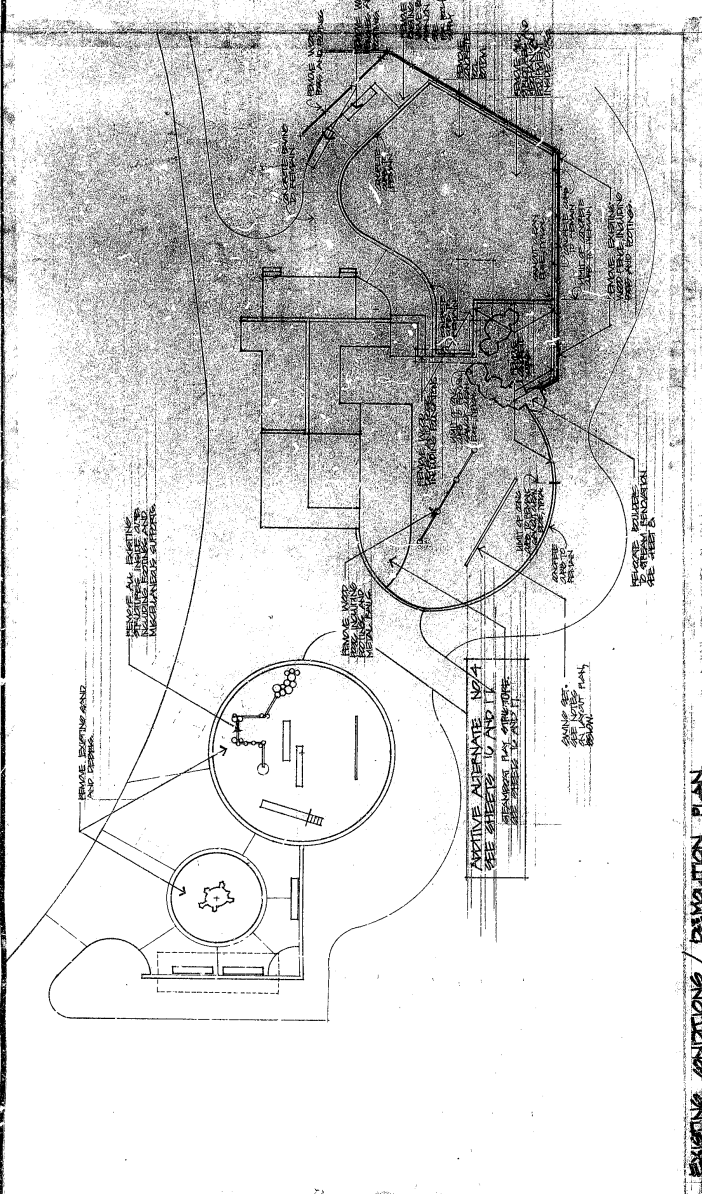
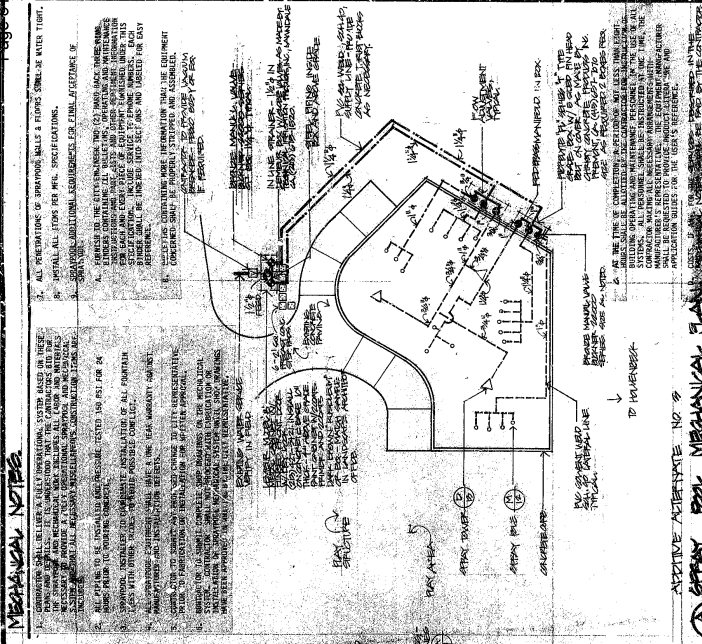
PROJECT NO: 100000000

SHEET NO: 6



- LEGEND**
- A B
 - 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
- NOTES**
1. EXISTING MAIN AND CONTROL VALVES TO EXISTING LINES TO REMAIN SHALL BE ALTERNATIVE WITH UNINTERRUPTED SERVICE.
 2. ALL ABOVE-GROUND VALVES AND SPRINKLER HEADS SHALL BE GIVEN TO THE CITY REPRESENTATIVE FOR FUTURE USE BY THE CITY. SEE EXISTING IRRIGATION PLAN FOR VALVE & HEAD LOCATIONS AND USE-4 BLOCK.
 3. NEW VALVES ARE TO USE EXISTING TAPS WHERE FEASIBLE.
 4. PANS OF THE EXISTING IRRIGATION SYSTEM SHALL BE AVAILABLE TO SUCCESSFULLY CONTRACTOR FOR THE USE OF CONTRACT CITY OF SUNNYVALE.
 5. SEE SHEET 12 FOR DETAILS.

"AS BUILT" 4.28.07

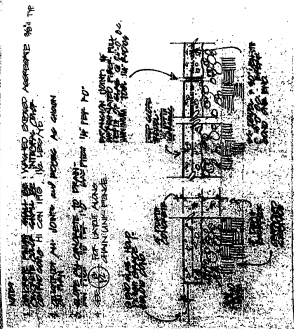




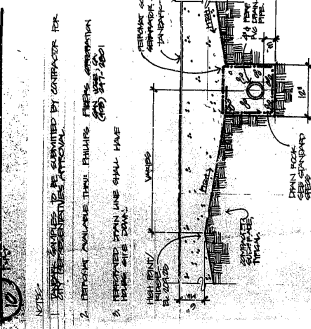
SINGER & HODGES, INC.
LANDSCAPE ARCHITECTURE
1415 BOYD STREET
SANTA ANA, CA 92701
(714) 943-9999

SERRA PARK IMPROVEMENTS
117 OF SUNNYVALE, CALIFORNIA

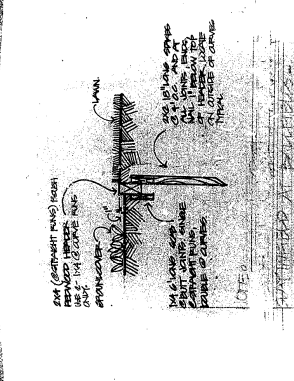
AREA ENGAGEMENT
AND DETAILS



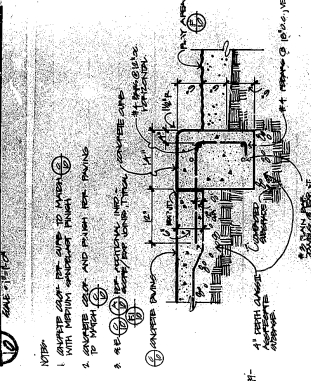
CONCRETE PAVING



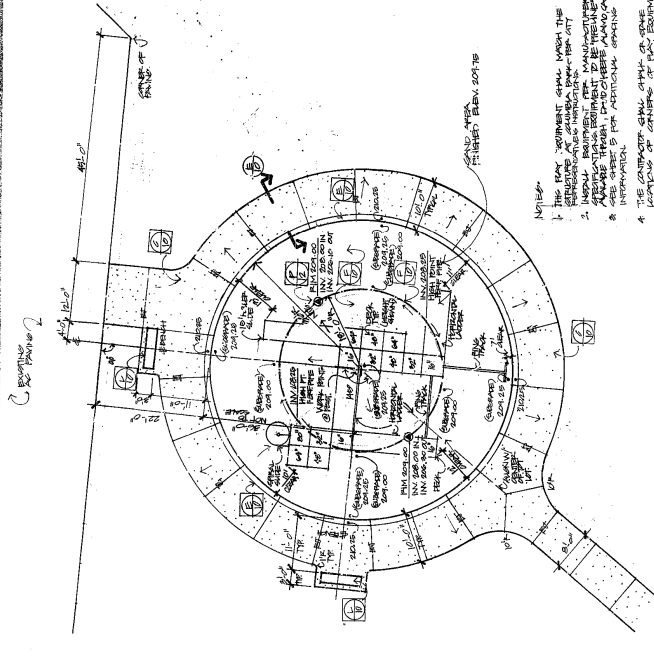
CONCRETE PAVING



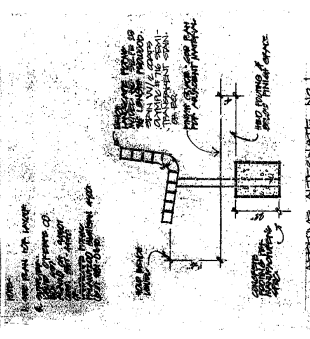
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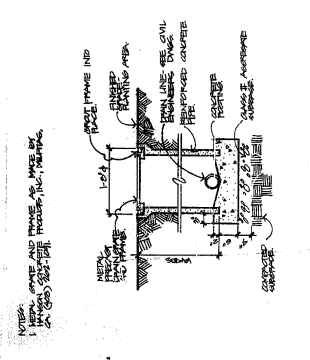
CONCRETE AND PAVING & PLAY AREA



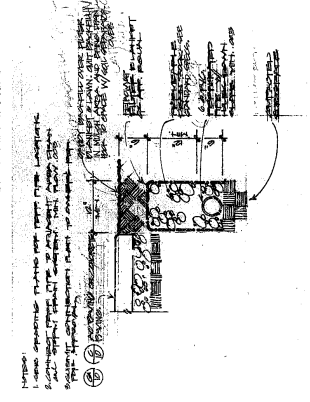
ADDITIVE ALTERNATE 1



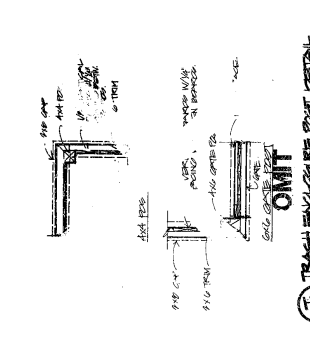
AC PAVING & PARKING



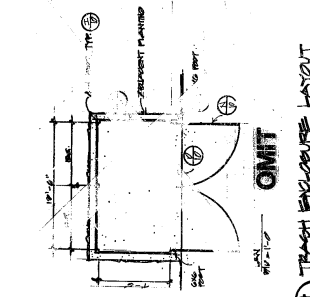
PLAY AREA



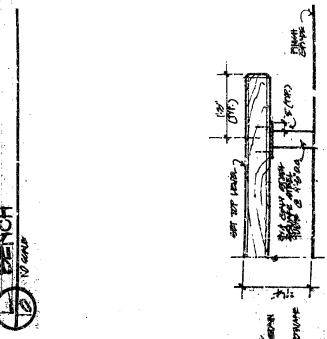
PERFORATED PIPE



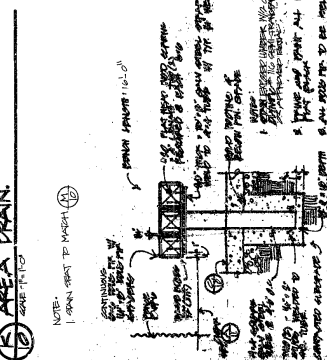
TRASH ENCLOSURE POST DETAIL



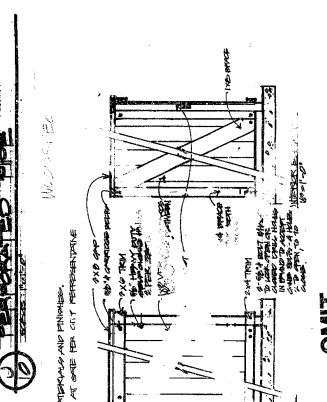
TRASH ENCLOSURE LAYOUT



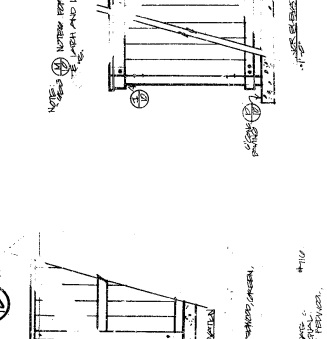
BENCH



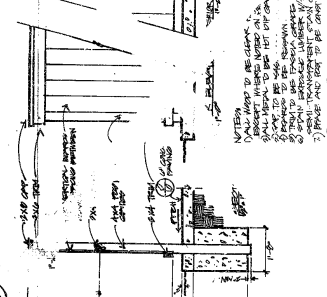
BENCH



TRASH ENCLOSURE GATE



TRASH ENCLOSURE FENCE



TRASH ENCLOSURE GATE

TRASH ENCLOSURE FENCE



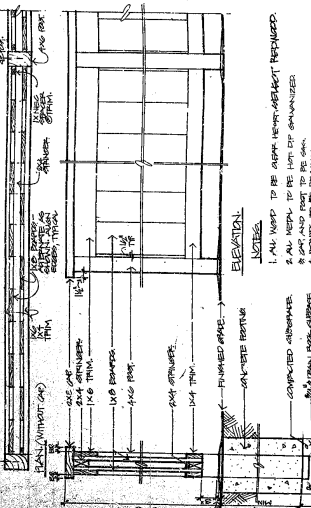
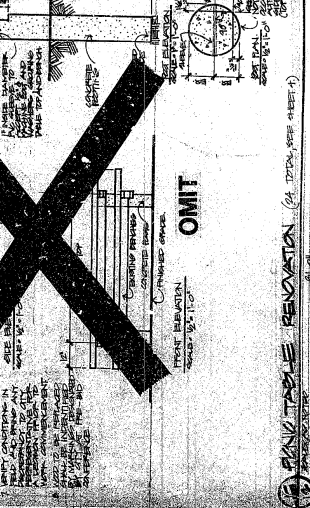
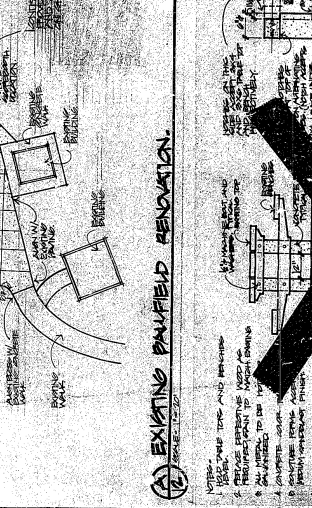
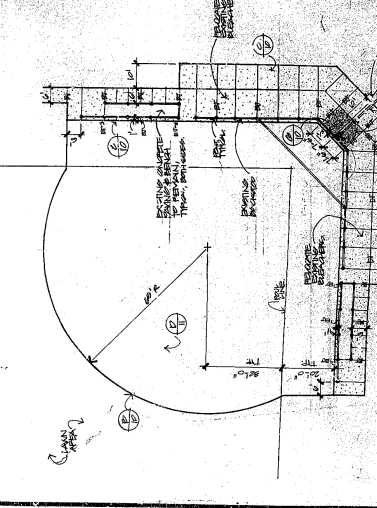
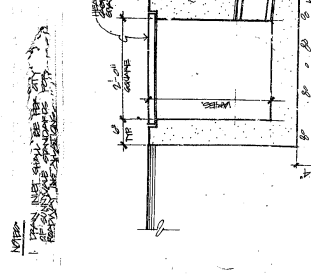
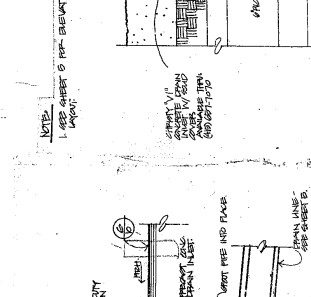
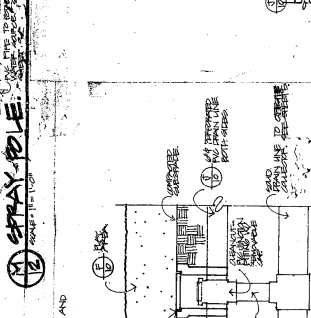
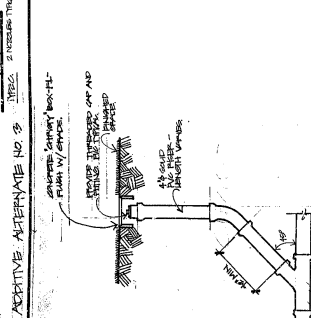
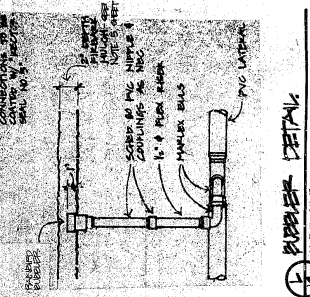
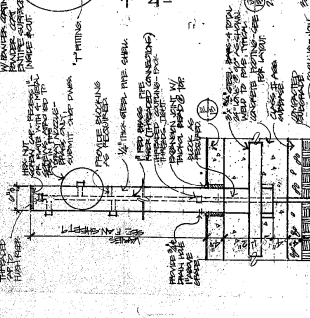
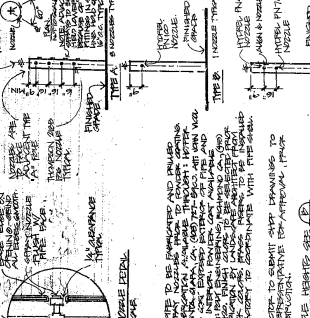
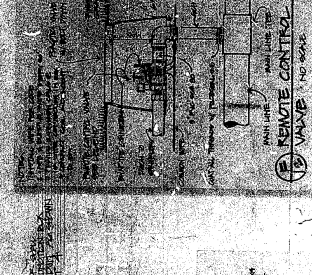
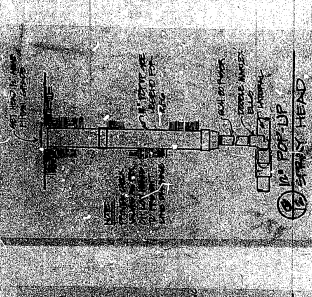
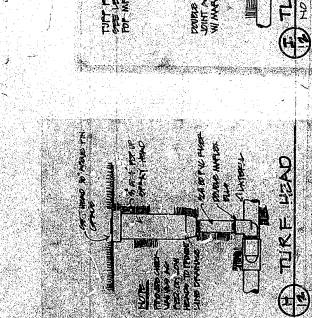
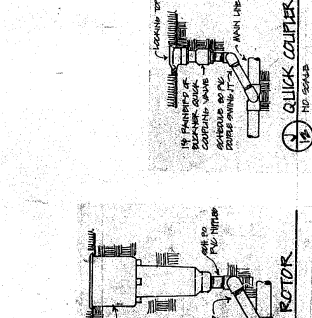
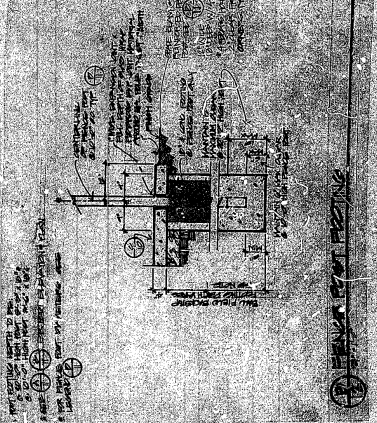
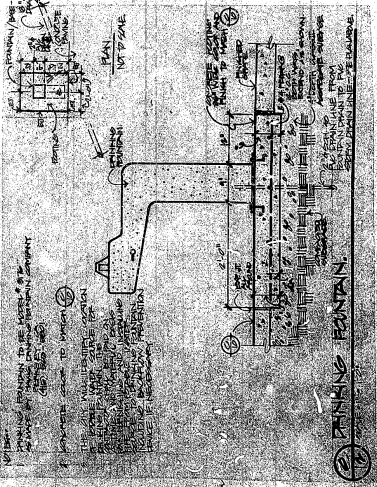
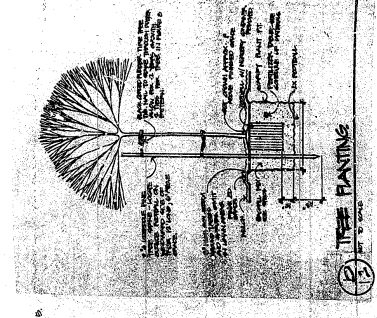
SINGAR & HODGES, Inc.
LANDSCAPE ARCHITECTURE
1515 BROADWAY STREET
OAKLAND, CA 94612
(415) 881-9989

SERRA PARK IMPROVEMENTS

CITY OF SUNNYVALE, CALIFORNIA
PROJECT NO. 15181-15181-15181-15181

AREA ENHANCEMENT AND DETAILS

DATE: 10/15/10
SCALE: AS SHOWN



NOTE: 1. SEE SHEET 8 OF RFP BEHAVIOR AND REPORT.

NOTE: 1. SEE SHEET 10 OF RFP BEHAVIOR AND REPORT.

NOTE: 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. 2. ALL WORK TO BE DONE TO THE EXISTING FINISH GRADE. 3. ALL WORK TO BE DONE TO THE EXISTING FINISH GRADE. 4. ALL WORK TO BE DONE TO THE EXISTING FINISH GRADE. 5. ALL WORK TO BE DONE TO THE EXISTING FINISH GRADE. 6. ALL WORK TO BE DONE TO THE EXISTING FINISH GRADE.

NOTE: 1. SEE SHEET 11 OF RFP BEHAVIOR AND REPORT.

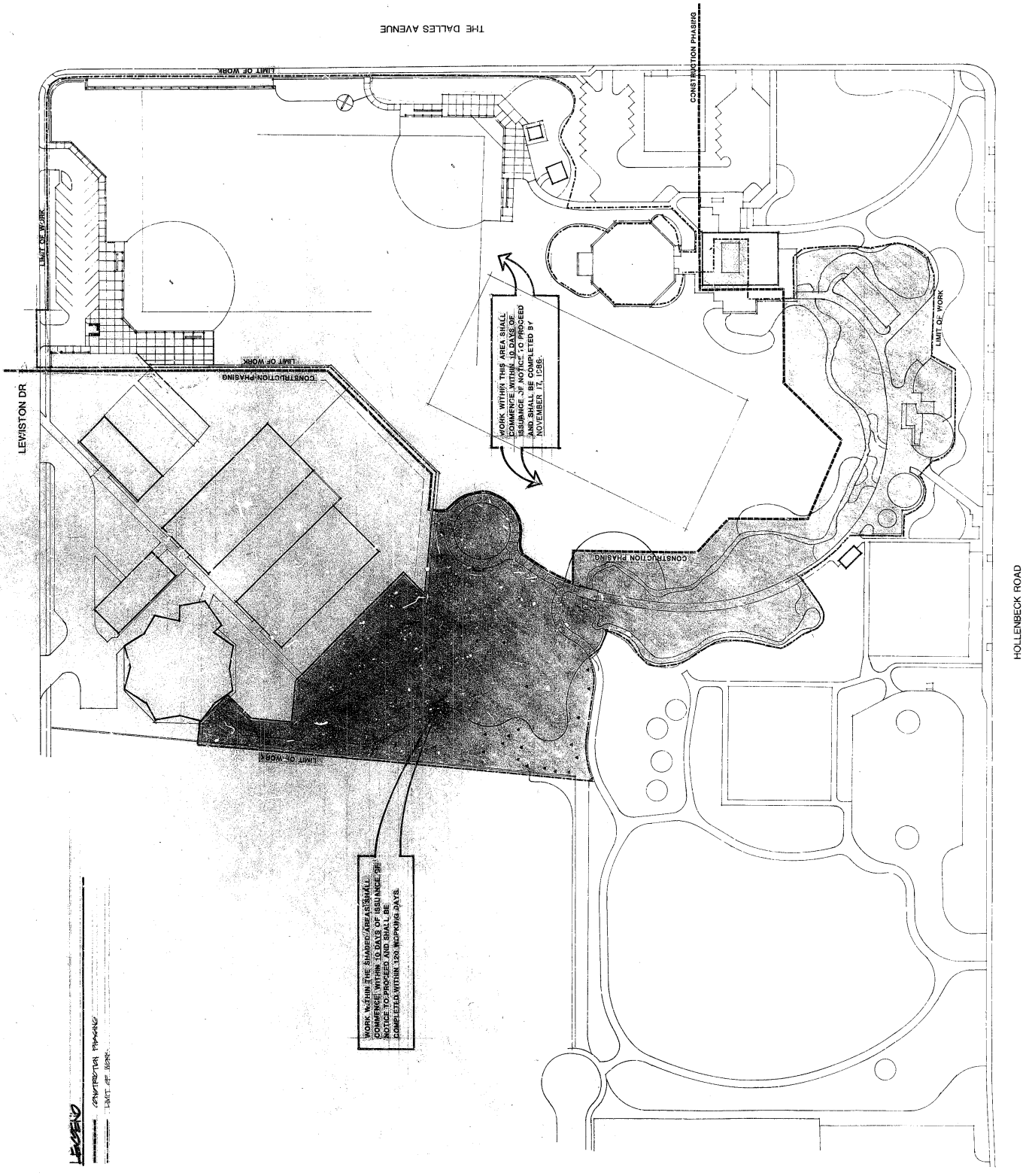


SINGER & HODGES, Inc.
LANDSCAPE ARCHITECTURE
14750 PLYMOUTH STREET
DANFORTH, CA 94517
(415) 951-5900

SERRA PARK IMPROVEMENTS

CITY OF SUNNYVALE, CALIFORNIA

CONSTRUCTION
LIMITS AND
PHASING PLAN



WORK WITHIN THE SHADDED AREAS SHALL COMMENCE WITHIN 10 DAYS OF ISSUANCE OF NOTICE TO PROCEED AND SHALL BE COMPLETED WITHIN 100 DAYS.

WORK WITHIN THIS AREA SHALL COMMENCE WITHIN 10 DAYS OF ISSUANCE OF NOTICE TO PROCEED AND SHALL BE COMPLETED BY NOVEMBER 11, 2000.

LEGEND
CONSTRUCTION PHASING
LIMIT OF WORK

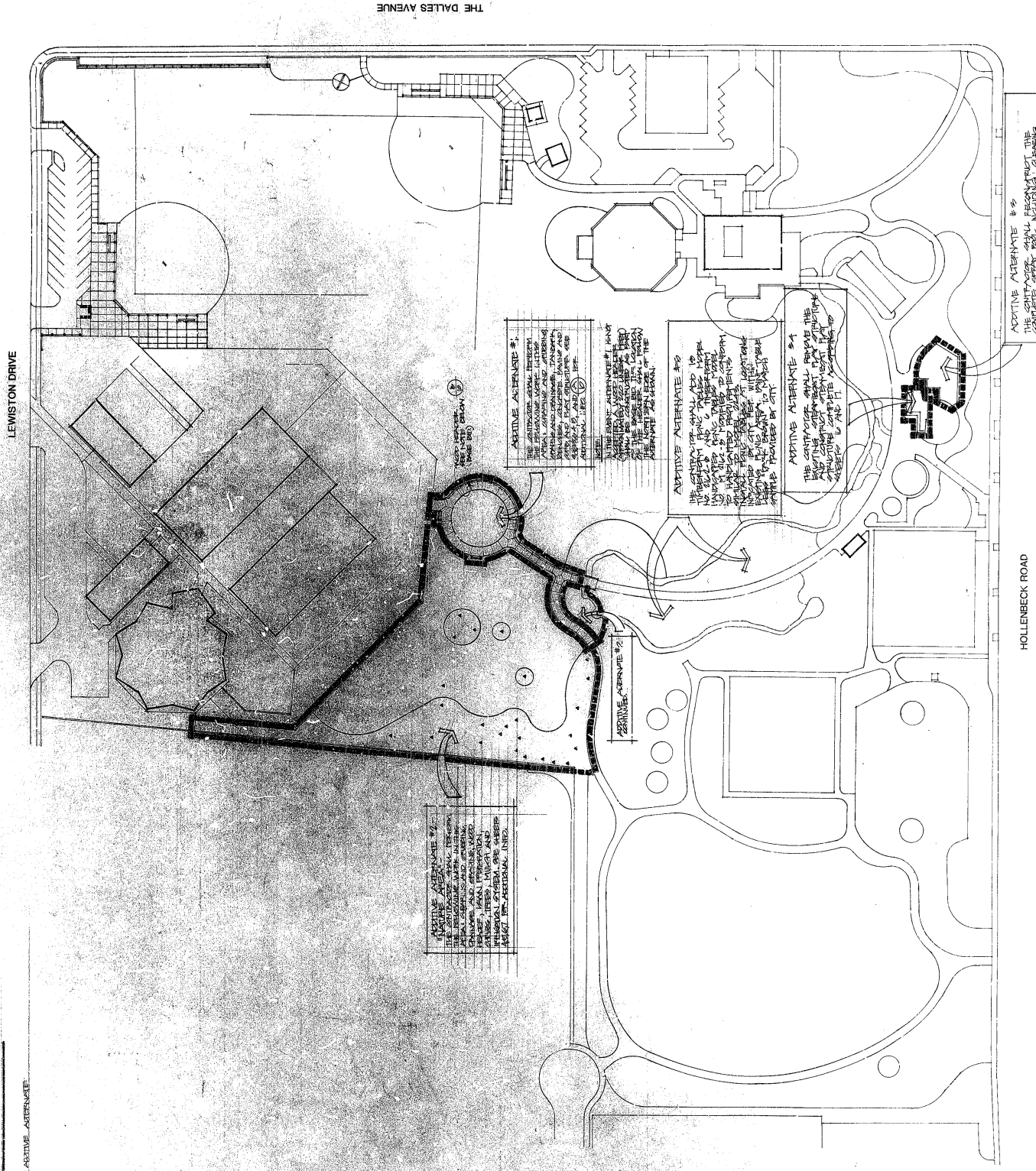


SINGER & HODGES, Inc.
LANDSCAPE ARCHITECTURE
1512 FRANKLIN STREET
OAKLAND, CA 94612
415.891.9689

PROJECT
SERRA PARK IMPROVEMENTS
CITY OF SUNNYVALE, CALIFORNIA

PROJECT NUMBER
84.072 84.101.1 85.107

SHEET TITLE
ADDITIVE ALTERNATE PLAN



LEWISTON DRIVE

THE DALES AVENUE

HOLLENBECK ROAD

LEGEND
LIMIT OF ADDITIVE ALTERNATE

ADDITIVE ALTERNATE #1
THE CONTRACTOR SHALL REMOVE THE EXISTING CONCRETE SIDEWALK AND RECONSTRUCT WITH NEW CONCRETE SIDEWALK TO ABUT THE EXISTING SIDEWALK.

ADDITIVE ALTERNATE #2
THE CONTRACTOR SHALL REMOVE THE EXISTING CONCRETE SIDEWALK AND RECONSTRUCT WITH NEW CONCRETE SIDEWALK TO ABUT THE EXISTING SIDEWALK.

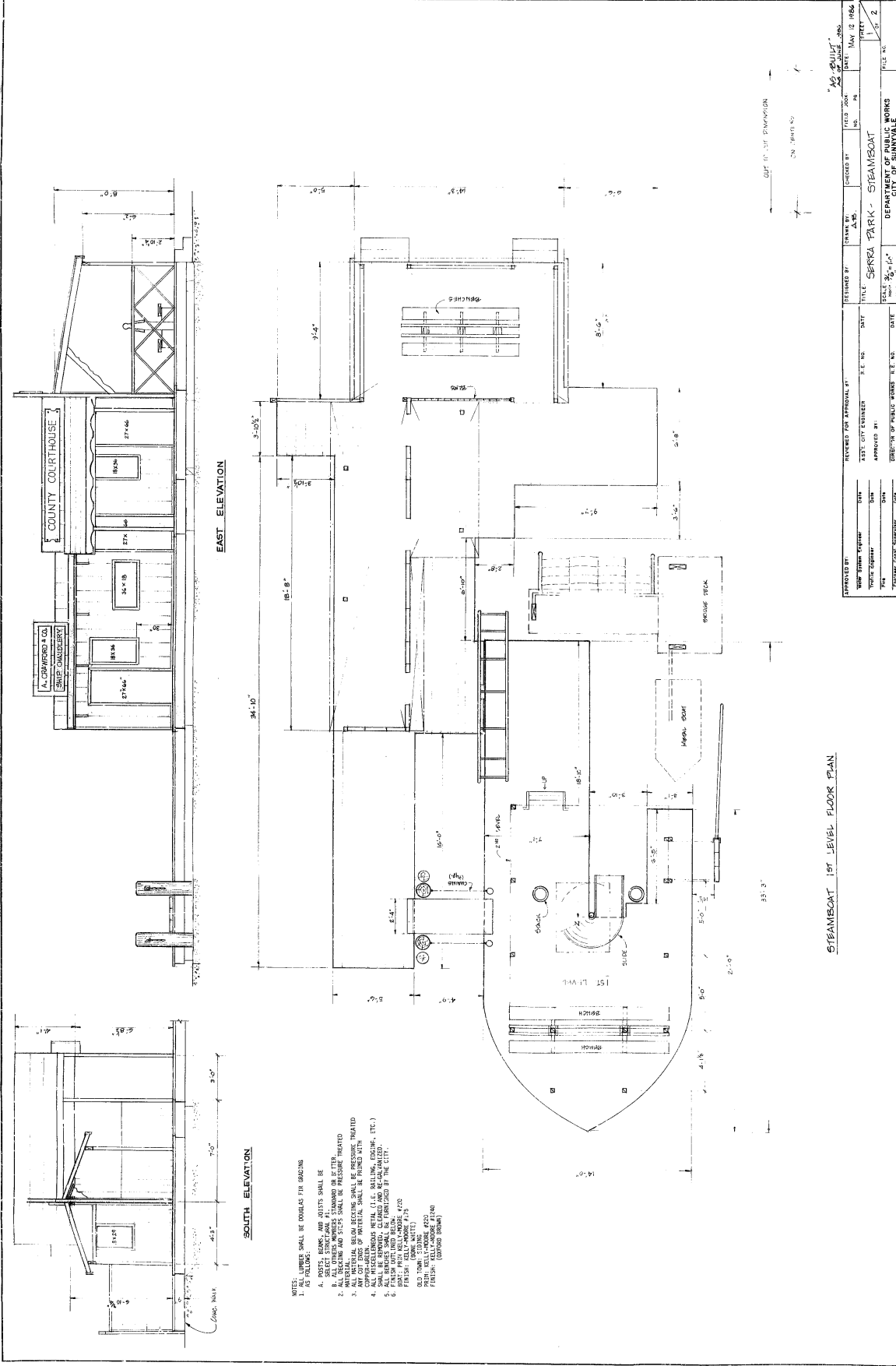
ADDITIVE ALTERNATE #3
THE CONTRACTOR SHALL REMOVE THE EXISTING CONCRETE SIDEWALK AND RECONSTRUCT WITH NEW CONCRETE SIDEWALK TO ABUT THE EXISTING SIDEWALK.

ADDITIVE ALTERNATE #5
THE CONTRACTOR SHALL RECONSTRUCT THE EXISTING CONCRETE SIDEWALK AND RECONSTRUCT WITH NEW CONCRETE SIDEWALK TO ABUT THE EXISTING SIDEWALK.

NOT HERE TO BE CONSIDERED

SERRA PARK IMPROVEMENTS
CITY OF SUNNYVALE, CALIFORNIA

SHEET TITLE
STEAMBOAT
PLAY STRUCTURE
RECONSTRUCTION



APPROVED BY:	DATE:	REVIEWED FOR APPROVAL BY:	DATE:
DESIGNED BY:	DATE:	APPROVED BY:	DATE:
CHECKED BY:	DATE:	APPROVED BY:	DATE:
DRAWN BY:	DATE:	APPROVED BY:	DATE:
TITLE:	DATE:	APPROVED BY:	DATE:
SCALE:	DATE:	APPROVED BY:	DATE:
PROJECT NO.:	DATE:	APPROVED BY:	DATE:
SHEET NO.:	DATE:	APPROVED BY:	DATE:
TOTAL SHEETS:	DATE:	APPROVED BY:	DATE:

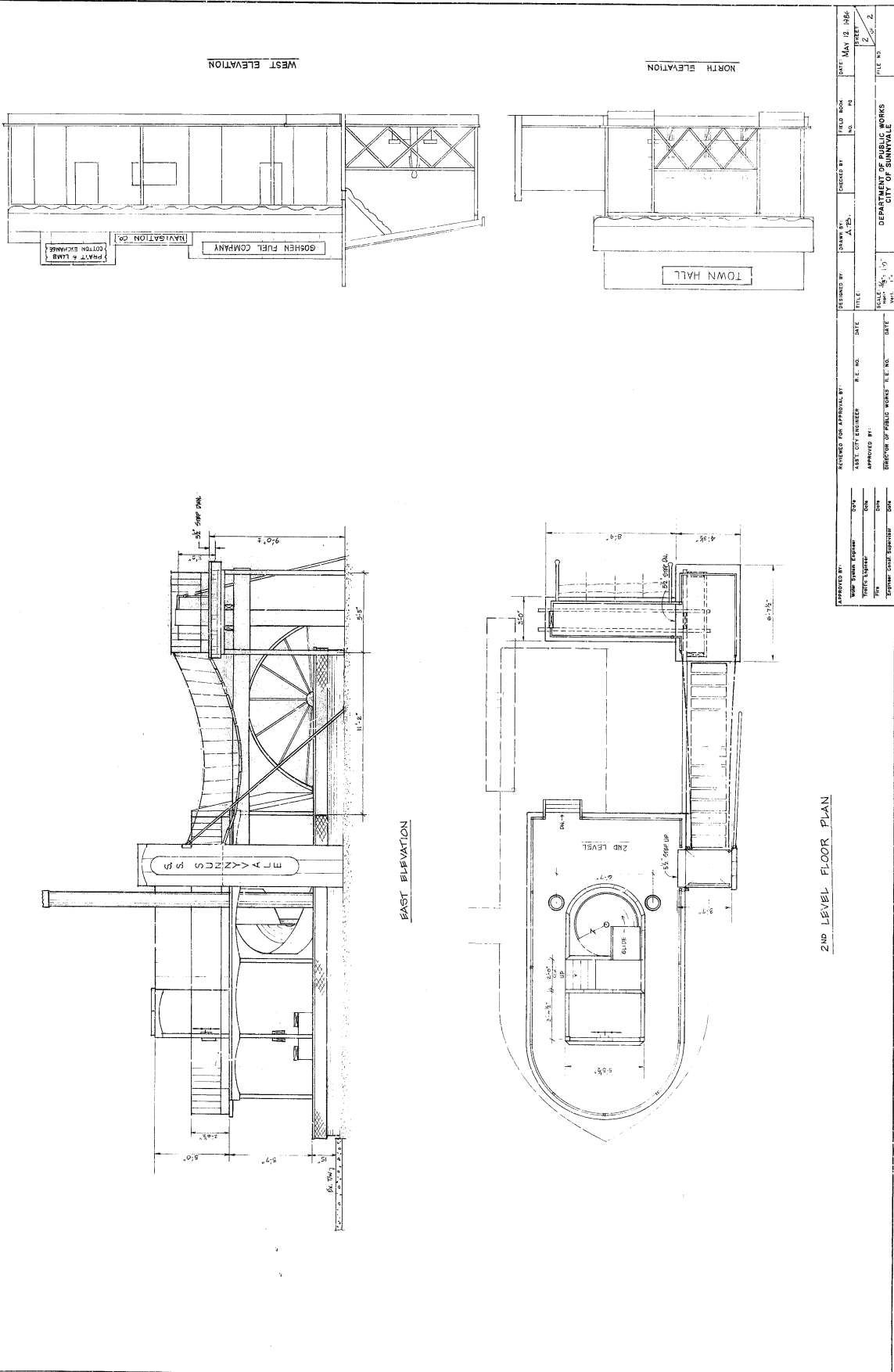
NOTE:

ALL MATERIALS SHALL BE RAILGATED AND RAILGATED, (ETC.)

SERRA PARK IMPROVEMENTS
CITY OF SUNNYVALE, CALIFORNIA

SHEET TITLE
TOWN HALL RENOVATION

SCALE



APPROVED BY: [Signature]	REVISIONS FOR APPROVAL BY: [Signature]	DESIGNED BY: A.T.D.	DATE: May 12, 1966
PROJECT ENGINEER: [Signature]	ASSY. CITY ENGINEER: [Signature]	CHECKED BY: [Signature]	SCALE: 1" = 1'-0"
TITLE: TOWN HALL RENOVATION	DATE: [Blank]	NO. 19	SHEET NO. 2
DATE: [Blank]	DATE: [Blank]	DEPARTMENT OF PUBLIC WORKS CITY OF SUNNYVALE	TITLE NO.

NOTE
ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE SPECIFIED. MATERIALS ARE AS SHOWN UNLESS OTHERWISE SPECIFIED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SUNNYVALE SPECIFICATIONS AND SHALL BE SUBJECT TO THE CITY OF SUNNYVALE PUBLIC WORKS DEPARTMENT.

Appendix 6 GSI Improvement Concept

City of Sunnyvale - Green Stormwater Infrastructure Feasibility Assessment

Serra Park



Concept Description

Serra Park was identified as a potential project site from the City's Capital Improvement Project (CIP) list. CIP projects were evaluated for their potential as regional GSI projects and for opportunities for on-site GSI to treat impervious areas within the project. Although a regional GSI concept was not pursued due to concerns about long-term operations and maintenance, Serra Park has a number of on-site impervious parking lots and other areas with potential for GSI integration.

Five GSI facilities are proposed as part of this concept. On the eastern side of the park, a driveway entrance off of Hollenbeck Avenue leads to a parking lot that provides access to the tennis courts. The parking lot drains towards a large catch basin located within the center of the parking lot. **Concept A** will add a 3-foot wide bioretention median that connects the two existing curbed landscaped circles, which will also be converted to bioretention planters, resulting in a total bioretention area of 1,350 square feet to manage stormwater runoff from 24,800 square feet of parking lot. The existing trees in the curbed landscaped circles will remain and need to be protected during construction.

For **Concept B**, the mounded landscaped area on the western edge of the parking lot will also be converted to a bioretention planter with approximately 1,500 square feet of bioretention area. Trench drains will be used to route stormwater runoff from 13,500 square feet of tennis courts across the concrete pathway into the bioretention planter.

For **Concept C**, a portion of the mounded landscaped area between the Hollenbeck parking lot and Hollenbeck Avenue will be converted into a bioretention basin with sloped sides. Trench drains will be used to direct the stormwater runoff from the street gutter on Hollenbeck Avenue through the sidewalk and into the bioretention basin. The bioretention basin will contain approximately 1,100 square feet of bioretention area and manage stormwater runoff from roughly 26,200 square feet of roadway area from Hollenbeck Avenue.

For **Concept D**, the proposed GSI facility will be located next to the parking lot on the northern side of the park off of The Dalles Avenue. The existing parking lot drains to a low point at a catch basin on the northeast side of the parking lot. The existing landscaped area adjacent to this corner of the parking lot will be converted into a bioretention planter with approximately 330 square feet of bioretention area. Stormwater runoff from roughly 5,600 square feet of parking lot will flow through a curb inlet into the bioretention planter. The bioretention basin has been designed to maintain the existing tree within the existing planter.

For **Concept E**, the proposed GSI facility for Serra Park will be located on the western side of the park in the parking lot off of Lewiston Avenue. The existing parking lot drains to a low point at a catch basin in the northwest corner of the parking lot. A portion of the existing landscaping strip adjacent to the parking lot will be converted to a bioretention planter. Approximately 350 square feet of bioretention area will manage 6,700 square feet of stormwater runoff from the parking lot, which will enter into the bioretention planter via multiple curb cut inlets.

Green Stormwater Infrastructure Information

Drainage Management Area
76,800 square feet

Bioretention Area / Storage Volume
4,630 sf / 0.106 ac-ft

Additional Project Benefits

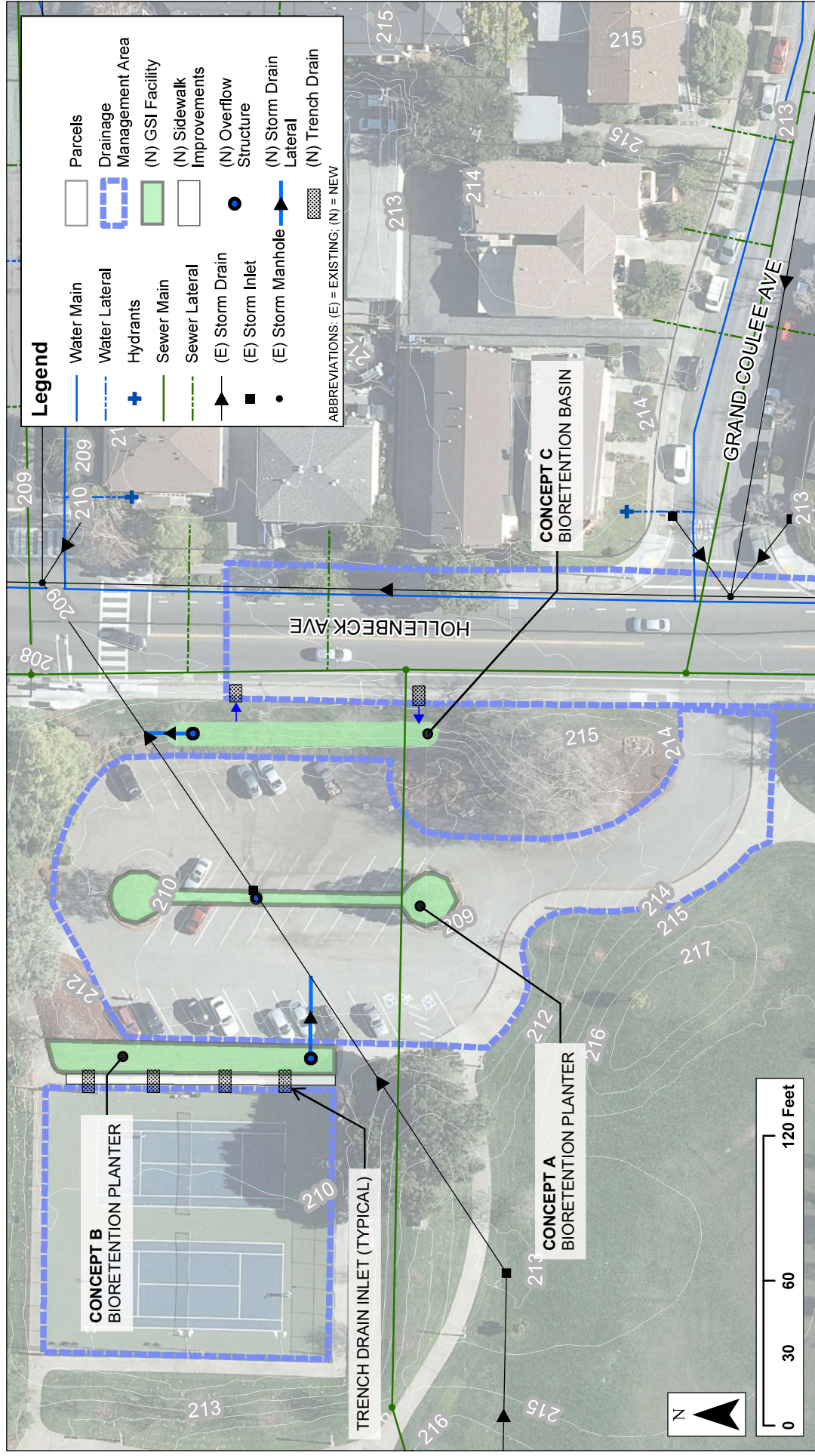
- » Additional greening and shading within parking lots
- » Improvement of drainage conditions at The Dalles Ave parking lot
- » Education about GSI benefits via interpretive signage and/or park programs has opportunity to reach large and more diverse audience at the park

Conceptual Site Drainage Area



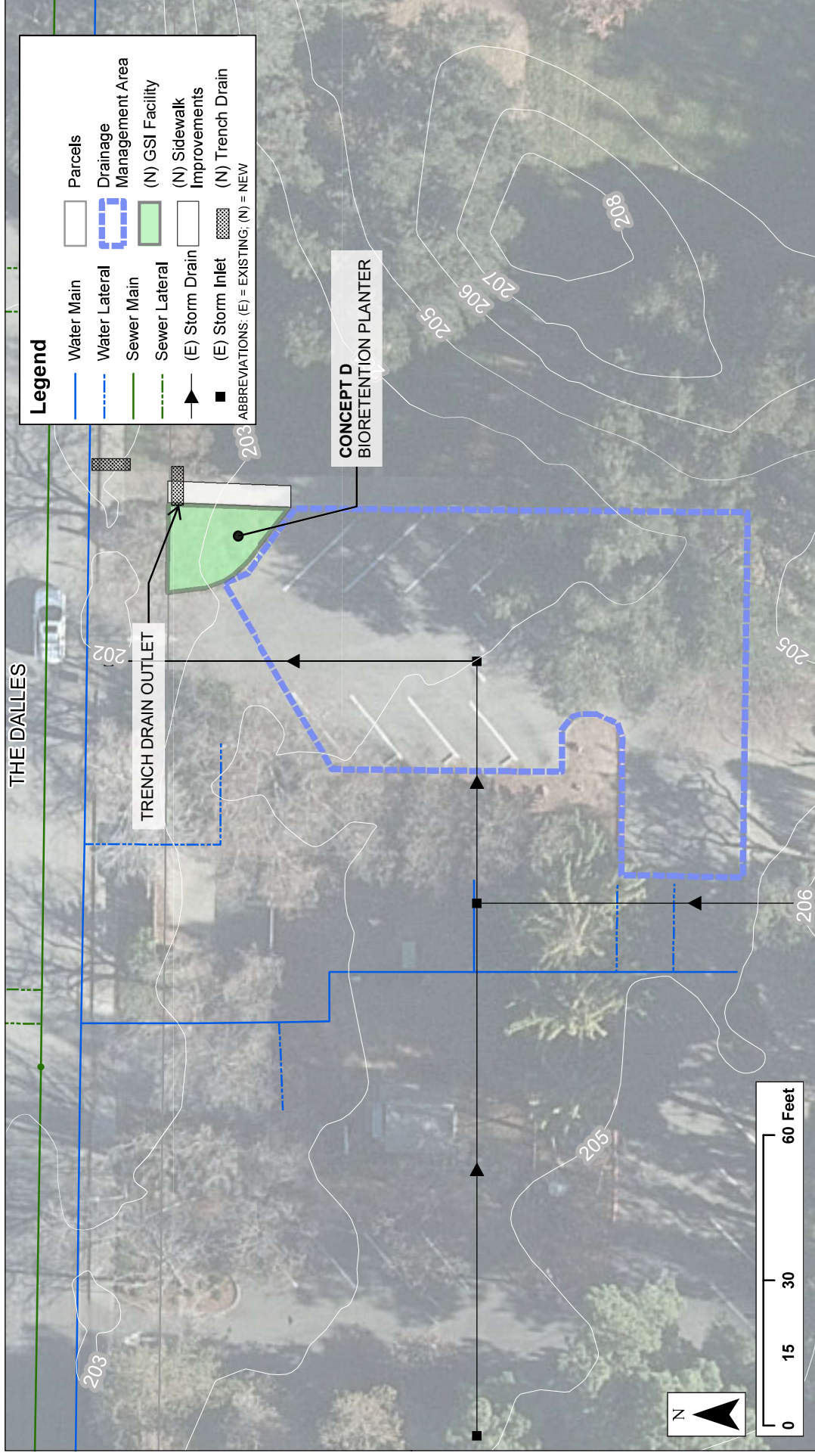
Serra Park

Concept Layout Plan - Hollenbeck Avenue Parking Lot (Concept A, B, & C)



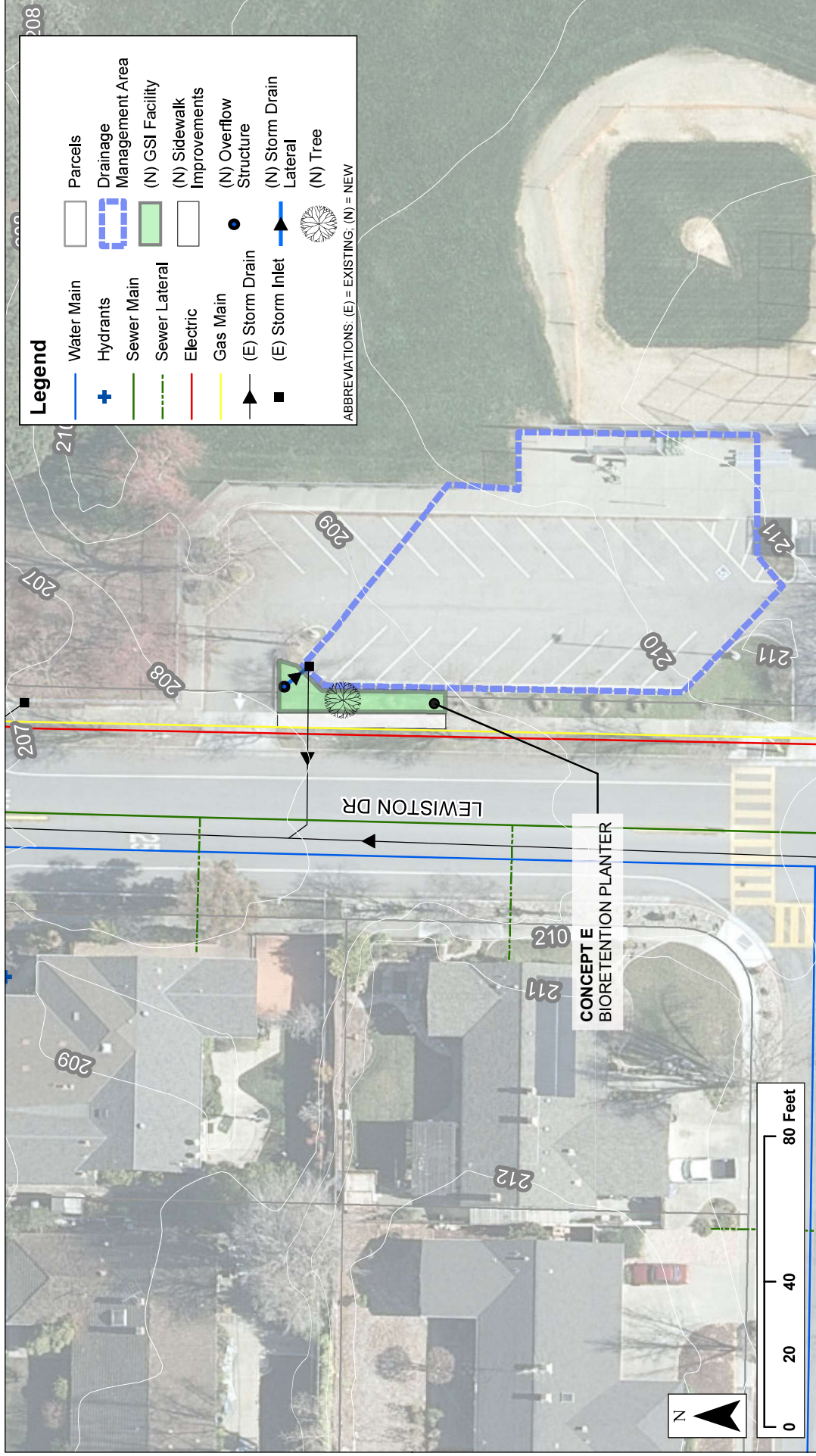
CONCEPT LAYOUT PLAN FOR ILLUSTRATION PURPOSES ONLY; FUTURE STRIPING AND FULL INTERSECTION DESIGN REQUIRED.

Concept Layout Plan - The Dalles Avenue Parking Lot (Concept D)



CONCEPT LAYOUT PLAN FOR ILLUSTRATION PURPOSES ONLY; FUTURE STRIPING AND FULL INTERSECTION DESIGN REQUIRED.

Concept Layout Plan - Lewiston Drive Parking Lot (Concept E)



CONCEPT LAYOUT PLAN FOR ILLUSTRATION PURPOSES ONLY; FUTURE STRIPING AND FULL INTERSECTION DESIGN REQUIRED.

Planning-Level Cost Estimate: Concept A & B

DESCRIPTION	UNIT COST	UNIT	QUANTITY	SUBTOTAL
Sawcutting Pavement	\$12	LF	9	\$100
Asphalt Demo, Excavation & Offhaul	\$4	SF	570	\$2,200
Concrete Demo, Excavation, & Offhaul	\$11	SF	232	\$2,600
Clearing & Grubbing	\$1	SF	2,850	\$2,900
Soil Excavation & Offhaul	\$70	CY	264	\$18,500
Biotreatment Soil	\$250	CY	158	\$39,600
Underdrains	\$6	SF	2,850	\$17,100
Drain Rock Subbase	\$160	CY	106	\$16,900
Bioretention Plantings & Mulch	\$25	SF	2,850	\$71,300
Planter Curb & Gutter & 36" Sidewalls	\$180	LF	412	\$74,200
Planter Curb & 36" Sidewalls	\$160	LF	174	\$27,800
Bioretention Curb Inlet	\$1,500	EA	2	\$3,000
Trench Drain	\$550	LF	20	\$11,000
Bioretention Overflow Structure	\$3,525	EA	2	\$7,100
Storm Drain Connections	\$7,500	EA	1	\$7,500
New Sidewalk/Sidewalk Repair	\$15	SF	232	\$3,500
Interpretive Sign	\$1,000	EA	1	\$1,000
			CONSTRUCTION SUBTOTAL	\$306,000
Traffic Control (10% construction)				\$30,600
Mobilization (10% construction)				\$31,000
Contingency (30% construction)				\$92,000
Design Fees (15% total)				\$69,000
			TOTAL PROJECT COST (DESIGN + CONSTRUCTION)	\$529,000

This is a planning-level cost estimate (\$2021) for design and construction. Soft costs for City administration and project management and post-construction operations and maintenance are not included. Other factors that may affect the cost of future construction include escalation and market conditions.

Planning-Level Cost Estimate: Concept C

DESCRIPTION	UNIT COST	UNIT	QUANTITY	SUBTOTAL
Sawcutting Pavement	\$12	LF	20	\$200
Clearing & Grubbing	\$1	SF	2,300	\$2,300
Soil Excavation & Offhaul	\$70	CY	163	\$11,400
Biotreatment Soil	\$250	CY	61	\$15,300
Underdrains	\$6	SF	1,100	\$6,600
Drain Rock Subbase	\$160	CY	41	\$6,500
Bioretention Plantings & Mulch	\$25	SF	1,100	\$27,500
Landscaping Soil	\$125	CY	89	\$11,100
Landscaping Plantings & Mulch	\$20	SF	1,200	\$24,000
Trench Drain	\$550	LF	15	\$8,300
Bioretention Overflow Structure	\$3,525	EA	1	\$3,500
Storm Drain Connections	\$7,500	EA	1	\$7,500
			CONSTRUCTION SUBTOTAL	\$124,000
Traffic Control (10% construction)				\$12,400
Mobilization (10% construction)				\$12,000
Contingency (30% construction)				\$37,000
Design Fees (15% total)				\$28,000
			TOTAL PROJECT COST (DESIGN + CONSTRUCTION)	\$213,000

This is a planning-level cost estimate (\$2021) for design and construction. Soft costs for City administration and project management and post-construction operations and maintenance are not included. Other factors that may affect the cost of future construction include escalation and market conditions.

Planning-Level Cost Estimate: Concept D

DESCRIPTION	UNIT COST	UNIT	QUANTITY	SUBTOTAL
Sawcutting Pavement	\$12	LF	9	\$100
Concrete Demo, Excavation, & Offhaul	\$11	SF	115	\$1,300
Clearing & Grubbing	\$1	SF	330	\$300
Soil Excavation & Offhaul	\$70	CY	31	\$2,100
Biotreatment Soil	\$250	CY	18	\$4,600
Drain Rock Subbase	\$160	CY	12	\$2,000
Bioretention Plantings & Mulch	\$25	SF	330	\$8,300
Planter Curb & Gutter & 36" Sidewalls	\$180	LF	33	\$5,900
Planter Curb & 36" Sidewalls	\$160	LF	43	\$6,900
Bioretention Curb Inlet	\$1,500	EA	1	\$1,500
Trench Drain	\$550	LF	15	\$8,300
New Sidewalk/Sidewalk Repair	\$15	SF	115	\$1,700
Interpretive Sign	\$1,000	EA	1	\$1,000
			CONSTRUCTION SUBTOTAL	\$44,000
Traffic Control (10% construction)				\$2,200
Mobilization (10% construction)				\$4,000
Contingency (30% construction)				\$13,000
Design Fees (15% total)				\$9,000
			TOTAL PROJECT COST (DESIGN + CONSTRUCTION)	\$72,000

This is a planning-level cost estimate (\$2021) for design and construction. Soft costs for City administration and project management and post-construction operations and maintenance are not included. Other factors that may affect the cost of future construction include escalation and market conditions.

Planning-Level Cost Estimate: Concept E

DESCRIPTION	UNIT COST	UNIT	QUANTITY	SUBTOTAL
Sawcutting Pavement	\$12	LF	9	\$100
Concrete Demo, Excavation, & Offhaul	\$11	SF	208	\$2,300
Clearing & Grubbing	\$1	SF	350	\$400
Soil Excavation & Offhaul	\$70	CY	32	\$2,300
Biotreatment Soil	\$250	CY	19	\$4,900
Tree Removal	\$2,000	EA	1	\$2,000
Underdrains	\$6	SF	350	\$2,100
Drain Rock Subbase	\$160	CY	13	\$2,100
Bioretention Plantings & Mulch	\$25	SF	350	\$8,800
Planter Curb & Gutter & 36" Sidewalls	\$180	LF	58	\$10,400
Planter Curb & 36" Sidewalls	\$160	LF	52	\$8,300
Bioretention Curb Inlet	\$1,500	EA	2	\$3,000
Bioretention Overflow Structure	\$3,525	EA	1	\$3,500
Storm Drain Connections	\$7,500	EA	1	\$7,500
New Sidewalk/Sidewalk Repair	\$15	SF	208	\$3,100
Interpretive Sign	\$1,000	EA	1	\$1,000
Trees	\$1,500	EA	1	\$1,500
			CONSTRUCTION SUBTOTAL	\$63,000
Traffic Control (10% construction)				\$6,300
Mobilization (10% construction)				\$6,000
Contingency (30% construction)				\$19,000
Design Fees (15% total)				\$14,000
			TOTAL PROJECT COST (DESIGN + CONSTRUCTION)	\$108,000

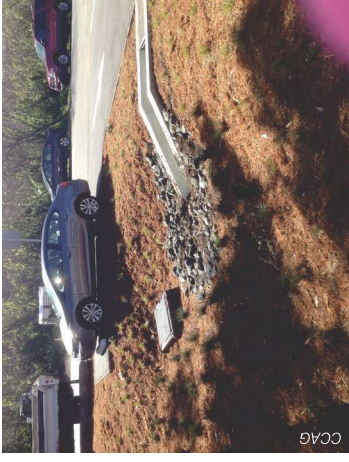
This is a planning-level cost estimate (\$2021) for design and construction. Soft costs for City administration and project management and post-construction operations and maintenance are not included. Other factors that may affect the cost of future construction include escalation and market conditions.

Serra Park

Site Elements



Parking lot bioretention planter, Moss Beach Post Office



Parking lot bioretention planter, Fitzgerald Reserve, Half Moon Bay



Parking lot rain garden, Gellert Park, Daly City



Parking lot rain garden, Gellert Park, Daly City

Green Infrastructure Sizing

DMA	Managed Area*	Proposed GSI	GSI Footprint	Ponding Depth	Soil Media Depth	Gravel Storage Depth
A (Hollenbeck tennis courts)	13,500 ft ²	Bioretention Planter	1,500 ft ²	6"	18"	12"
B (Hollenbeck parking lot)	24,800 ft ²	Bioretention Planter	1,350 ft ²	6"	18"	12"
C (Hollenbeck roadway)	26,200 ft ²	Bioretention Basin	1,100 ft ²	6"	18"	12"
D (The Dalles parking lot)	5,600 ft ²	Bioretention Planter	330 ft ²	6"	18"	12"
E (Lewiston parking lot)	6,700 ft ²	Bioretention Planter	350 ft ²	6"	18"	12"

*Managed area includes GSI footprint

Key assumptions for sizing of GSI footprint include:

- » GSI footprint for bioretention planters is measured from the inside perimeter of the bioretention planter walls/curb. Walls and curb are assumed to be 6" wide.
- » The bioretention planter surface is mostly level, in order to maximize the storage volume capacity of the planter. Where the bioretention planter abuts existing landscaping, the bioretention planter has side slopes of 3:1 from the finish surface elevation of the planer up to the existing landscaping elevation.
- » The bioretention basin has side slopes of 3:1 down to the finish surface elevation of the planter.

Exhibit A-1

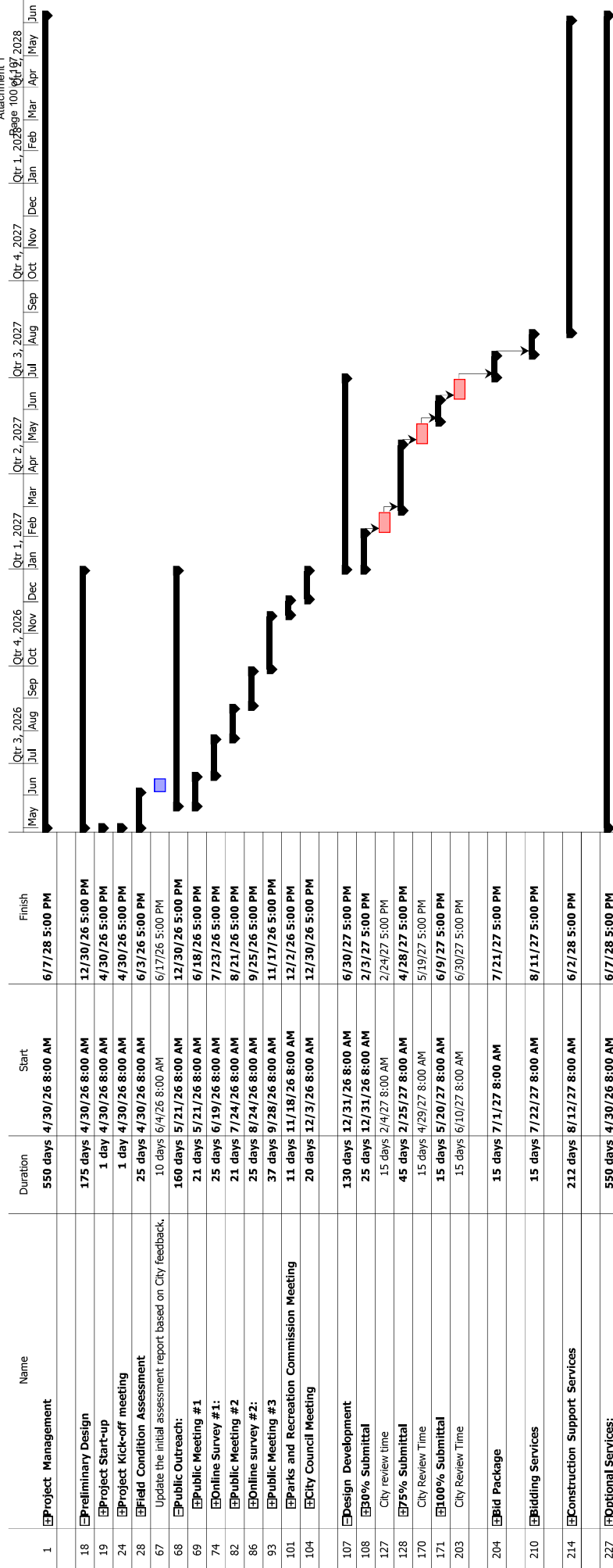


Exhibit C

INSURANCE REQUIREMENTS

CONSULTANT shall procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the work by the CONSULTANT, their agents, representatives, or employees.

Minimum Scope and Limits of Insurance. CONSULTANT shall maintain limits not less than:

1. **Commercial General Liability:** coverage written on an occurrence basis with limits not less than \$1,000,000 per occurrence and \$2,000,000 aggregate for bodily injury, personal injury and property damage. ISO Occurrence Form shall be at least as broad as CG 0001.
2. **Automobile Liability:** coverage with a combined single limit of not less than \$1,000,000 per occurrence applying to all owned, non-owned, or hired vehicles used in conjunction with this contract for bodily injury and property damage. ISO Form shall be at least as broad as CA 0001.
3. **Workers' Compensation:** Statutory Limits and **Employer's Liability:** \$1,000,000 per accident for bodily injury or disease.

Industry Specific Coverages. If checked below, the following insurance is also required:

Professional Liability / Errors and Omissions Liability coverage with limits not less than \$2,000,000 per claim.

Valuable Papers and Electronic Data Processing with limits not less than \$10,000 each.

Cyber & Tech Liability coverage with limits not less than of \$1,000,000 per occurrence or claim.

Commercial Crime coverage with limits not less than \$1,000,000 per occurrence to include employee and non-employee dishonesty and theft, forgery, fraud, disappearance and destruction of money and securities.

Coverage must include third party premises endorsement.

Deductibles, Self-Insured Retentions and Other Coverages:

Any deductibles or self-insured retentions must be declared and reviewed by the City of Sunnyvale, Risk Manager. The CONSULTANT shall guarantee payment of any losses and related investigations, claim administration and defense expenses within the deductible or self-insured retention. Policies containing any self-insured retention provision shall provide, or be endorsed to provide, that the SIR may be satisfied by either the Named Insured or the City.

The aforementioned insurance requirements can be met through any combination of self-insured, primary and excess/umbrella policies that fulfill the stipulated coverage as cited above.

Other Insurance Provisions:

1. During the term of the Agreement, the City of Sunnyvale, its officers, officials, employees, agents, and volunteers are to be covered as an additional insured in the CONSULTANT's commercial general liability policy with respect to liability arising out of activities performed by or on behalf of the CONSULTANT; products and completed operations of the CONSULTANT; premises owned, occupied or used by the CONSULTANT. The coverage shall contain no special limitations on the scope of protection afforded to the City of Sunnyvale, its officers, officials, employees, agents, or volunteers.

Additional Insured Endorsement for ongoing operations at least as broad as ISO CG 20 10 Scheduled, or automatic CG 20 38 and completed operations shall be at least as broad as ISO CG 20 37 scheduled or automatic ISO CG 20 40.

2. During the term of the Agreement, the CONSULTANT's Workers' Compensation policy shall be endorsed with a waiver of subrogation in favor of the City of Sunnyvale.
3. For any claims related to this agreement, the CONSULTANT's insurance shall be primary. Any insurance or self-insurance maintained by the City of Sunnyvale, its officers, officials, employees, agents and volunteers shall be excess of the CONSULTANT's insurance and shall not contribute with it and shall be at least as broad as ISO CG 20 01 04 13.
4. Any failure to comply with reporting or other provisions of the policies including breaches of warranties shall not affect coverage provided to the City of Sunnyvale, its officers, officials, employees, agents or volunteers.
5. The CONSULTANT's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
6. Each insurance policy required by this clause shall be endorsed to state that coverage shall not be suspended, voided, cancelled by either party, reduced in coverage or in limits except after thirty (30) days' prior written notice by email to riskmanagement@sunnyvale.ca.gov, has been given to the City.
7. Any umbrella or excess Insurance Liability policies shall be true "following form" of the underlying policy coverage, terms, conditions, and provisions and shall meet all of the insurance requirements stated in this document, including the additional insured, SIR, and primary and non-contributory insurance requirements for the benefit of City (if agreed to in a written contract or agreement) until all coverage carried by or available to the CONSULTANT's primary and excess liability policies are exhausted and before the City's own Insurance or self-insurance shall be called upon to contribute to a loss.
8. The policy limits of coverage shall be made available to the full limits of the policy. The minimum limits stated above shall not serve to reduce the CONSULTANT's policy limits of coverage. Therefore, the requirements for coverage and limits shall be (1) the minimum coverage and limits specified in this agreement, or (2) the broader coverage and maximum limits of coverage of any insurance policy or proceeds available to the named insured and also available to the Additional Insured, whichever is greater.

Acceptability of Insurers:

Insurance is to be placed with insurers with a current A.M. Best's rating of no less than Superior or Excellent, and who are admitted and authorized to do business and in good standing in California unless otherwise acceptable to the City of Sunnyvale's Risk Manager.

Verification of Coverage:

City utilizes an electronic insurance verification system to track and verify all insurance related documents. City is no longer accepting insurance documents by mail and will only accept electronic insurance documents. City will email the CONSULTANT requesting proof of insurance for this Agreement through an electronic insurance verification system, which includes instructions on how to upload insurance documents electronically. CONSULTANT shall furnish the City with an electronic Certificate of Insurance effecting the coverage required. The certificates are to be signed by a person authorized by that insurer to bind coverage on its behalf and name City of Sunnyvale, Attn: Risk Management, 456 W. Olive Ave, Sunnyvale, CA 94088 as the certificate holder. All certificates are to be received and approved by the City, Risk Manager prior to commencement of work.

The CONSULTANT shall provide certificate(s) evidencing renewals of all insurance required herein prior to the expiration date of any such insurance. CONSULTANT shall submit insurance certificates, reflecting the policy renewals through the City's electronic insurance verification system. City reserves the right to require complete, certified copies of all required insurance policies, at any time.

Subcontractors

CONSULTANT shall require all subcontractors to procure and maintain insurance policies subject to these requirements. Failure of CONSULTANT to verify existence of subcontractor's insurance shall not relieve CONSULTANT from any claim arising from subcontractors work on behalf of CONSULTANT.

Exhibit D LABOR COMPLIANCE REQUIREMENTS

Contractor Registration with the State of California – Contractors, and all applicable subcontractors which are required to pay prevailing wages, must be registered with the State of California, Department of Industrial Relations (DIR) through the Public Works Contractor Registration Program (PWC Registration) before bidding, being awarded, or performing work on public works projects in California. This includes those performing surveying work, material testing, inspection, trucking, boring, pot holing, concrete deliveries and temporary service companies who provide workers to prevailing wage contractors. Registration must remain current throughout the project entirety. It is the contractor's responsibility to not allow their PWC Registration to lapse during the project and to ensure all Subcontractor's registrations remain current. The Labor Commissioner can assess penalties to public works contractors of up to \$10,000, in addition to the registration fee, for failure to register. Awarding agencies are also subject to penalties of \$100 a day, up to a maximum of \$10,000, for having an unregistered contractor perform work on a public works project. If any penalties are issued to the City for unregistered subcontractors or for a lapse in a contractor/subcontractor's PWC Registration, these penalties will be passed onto the contractor. A contractor that allows an unregistered subcontractor to work on the project is also subject to penalties of \$100 a day up to \$10,000. Contractors shall list all applicable PWC registration numbers on the Bid Form.

Hours of Work – Pursuant to Labor Code, Section 1810, eight hours of labor during any one calendar day and forty hours of labor during any one calendar week shall constitute the maximum hours of service upon all work done hereunder, and it is expressly stipulated that no laborer, worker, or mechanic employed at any time by the contractor or by any subcontractor or subcontractors under this Contract, upon the work or upon any part of the work contemplated by this Contract, shall be required or permitted to work thereon more than eight hours during any one calendar day and forty hours during any one calendar week, except, as provided by Section 1815 of the Labor Code of the State of California, work performed by employees of contractors in excess of eight hours per day and forty hours during any one week shall be permitted upon public work upon compensation for all hours worked in excess of eight hours per day at not less than one and one-half times the basic rate of pay. It is further expressly stipulated that for each and every violation of Sections 1811-1815, inclusive, of the Labor Code of the State of California, all the provisions whereof are deemed to be incorporated herein, Contractor shall forfeit, as a penalty to the City, twenty-five dollars (\$25.00) for each laborer, worker, or mechanic employed in the execution of this Contract by Contractor, or by any subcontractor under this Contract, for each calendar day during which the laborer, worker, or mechanic is required or permitted to work more than eight hours in any one calendar day and forty hours in any one calendar week in violation of the provisions of the Sections of the Labor Code. Such forfeiture amounts may be deducted from the contract sum.

Contractor and each Subcontractor shall keep, or cause to be kept, an accurate record showing the actual hours worked each calendar day and each calendar week by each worker employed on the project, which record shall be kept open at all reasonable hours to the inspection of the City, its officers and agents, and to the inspection of the appropriate enforcement agency of the State of California.

Wage Rates – Pursuant to Sections 1770, 1771 and 1774 of the Labor Code of the State of California, or any applicable local law, contractors shall not pay less than the prevailing rate of per diem wages as determined by the Director of the Department of Industrial Relations. The City has ascertained the general prevailing rate per diem wages and rates for holidays, and overtime work in the city, for each craft, classification or type of laborer, worker, or mechanic needed to execute

this Contract. The City has adopted, by reference, the general prevailing rate of wages applicable to the work to be done under the Contract, as adopted and published by the Division of Labor Standards Enforcement and Labor Statistics and Research of the State of California, Department of Industrial Relations, to which reference is hereby made for a full and detailed description. A copy of the prevailing wage rates may be reviewed in the office of the Director of Public Works, City of Sunnyvale, 456 West Olive Avenue, Sunnyvale, California. Wage rates can also be obtained through the California Department of Industrial Relations website at: <http://www.dir.ca.gov/OPRL/DPreWageDetermination.htm>

Neither the notice inviting bids nor this Contract shall constitute a representation of fact as to the prevailing wage rates upon which the Contractor or any subcontractor may base any claim against the City.

In case it becomes necessary for Contractor or any subcontractor to employ on the project under this Contract any person in a trade or occupation (except executives, supervisory, administrative, clerical, or other non-manual workers as such) for which no minimum wage rate is herein specified, Contractor shall immediately notify the City who will promptly thereafter determine the prevailing rate for such additional trade or occupation and shall furnish Contractor with the minimum rate based thereon. The minimum rate thus furnished shall be applicable as a minimum for such trade or occupation from the time of the initial employment of the person affected and during the continuance of such employment.

Prevailing Wage – As identified in the Notice to Bidders, the work contemplated by this agreement is a public work subject to prevailing wages under California Labor Code, Sections 1720 et. seq. The State of California Department of Industrial Relations has ascertained the general prevailing per diem wage rates in the locality in which the work is to be performed for each craft, classification, or type of worker required to perform the work. A schedule of the most recent general prevailing per diem wage rates made available to the City will be on file at the City's principal facility office and will be made available to any interested party upon request. This prevailing wage rate schedule is provided by the City for Bidder's information only and is not guaranteed by the City to be current. Contractor is obligated to verify all appropriate prevailing wage rates and pay those rates as required. By this reference the verified current schedule of prevailing wage rates is made part of the Contract Documents. Contractor shall pay not less than the prevailing per diem wage rates, as specified in the schedule and any amendments thereto, to all workers employed by contractor in the execution of the work. Contractor shall cause all subcontracts to include the provision that all subcontractors shall pay not less than the specified prevailing per diem wage rates to all workers employed by such subcontractors in the execution of the work.

Contractor shall forfeit to the City, as a penalty, no more than two hundred dollars (\$200.00) for each calendar day or portion thereof for each worker that is paid less than the specified prevailing per diem wage rates for the work or craft in which the worker is employed for any portion of the work done by contractor or any subcontractor in violation of the provisions of the Labor Code, and in particular Sections 1770 to 1781 thereof, inclusive. Such forfeiture amounts may be deducted from the contract sum. Contractor shall also pay to any worker who was paid less than the specified prevailing per diem wage rate for the work or craft for which the worker was employed for any portion of the work, for each calendar day, or portion thereof, for which the worker was paid less than the specified prevailing per diem wage rate, an amount equal to the difference between the specified prevailing per diem wage rate and the amount which was paid to the worker.

The City will not recognize any claim for additional compensation because of the payment by the Contractor for any wage rate in excess of prevailing wage rates set forth in the Agreement, including payment in excess of the prevailing wage for extra work paid by force account. The

possibility of wage increases is one of the elements to be considered by the Contractor in determining the contractor's bid and will not, under any circumstances be considered as the basis of a claim against the City under the Agreement.

Certified Payroll Records – Pursuant to Labor Code, Sections 1776 et. Seq., contractor and all subcontractors shall keep an accurate payroll record, showing the name, address, social security number, job classification, straight time and overtime hours worked each day and week, and the actual per diem wages paid to each journeyman, apprentice, worker, or other employee employed in connection with the work. All payroll records shall be certified as being true and correct by contractor or subcontractors keeping such records; and the payroll records shall be provided to the City no later than three weeks after closing of payroll for City-funded projects, and no later than one week for federal aid projects. The contractor or subcontractor has 10 days in which to comply subsequent to receipt of a written notice requesting the records enumerated in Labor Code section 1776 (a). In the event that the contractor or subcontractor fails to comply within the 10-day period, he or she shall, as a penalty to the state or political subdivision on whose behalf the contract is made or awarded, forfeit one hundred dollars (\$100) for each calendar day, or portion thereof, for each worker, until strict compliance is effectuated. Certified payroll records shall be made available at reasonable hours at the contractor's principal office to the persons authorized to inspect such records pursuant to Labor Code section 1776. Certified payroll shall also be made available for inspection upon request by the State of California Division of Labor Standards Enforcement, or the Division of Apprenticeship Standards of the State of California Division of Industrial Relations.

Each contractor and every lower-tier subcontractor will be required to submit certified payrolls and labor compliance documentations electronically via the software LCPtracker. Contractor shall cause all subcontracts to include the provision that all subcontractors submit certified payrolls and labor compliance documentation electronically via LCPtracker. Electronic submission will be a web-based system, accessed on the World Wide Web by a web browser. Each contractor user will be given a Log-On identification and password to access the City's reporting system. Access will be coordinated by a City representative.

Apprentice Program – Attention is directed to State of California Labor Code, Sections 3095, 1777.5, 1777.6, and 1777.7 and Title 8, California Code of Regulations, Section 200, and the applicable Sections that follow. Responsibility for compliance with these requirements lies with the contractor. To ensure compliance and complete understanding of the law requiring apprentices, and specifically the required ratio thereunder, contractor or subcontractors should, where some question exists, contact the Division of Apprenticeship Standards, 525 Golden Gate Avenue, San Francisco, California, or one of its branch offices prior to commencement of the work. In the event contractor willfully fails to comply with this section, it will be considered in violation of the requirements of the Contract.

Contractor and all of its subcontractors shall abide by the provisions of California Labor Code Section 1777.6 prohibiting discrimination in the acceptance of otherwise qualified apprentices; and California Labor Code Section 3095 which declares the unlawful discrimination in any recruitment or apprenticeship program on stated grounds. City shall be entitled to retain and withhold all penalties as authorized pursuant to California Labor code, Division 2, Part 7, Chapter 1, commencing with Section 1720 and following, in accordance with the provisions of that Chapter, and the regulations established by the Director of Industrial Relations pursuant to the statutory authority of such chapter.