



Sunnyvale

1154 and 1170 Sonora Court Projects 2022-7270 and 2022-7271

Aastha Vashist, Senior Planner
Planning Commission, November 13, 2023

Overview

- Required Permits for Both Projects:
 - ◆ Special Development Permit
 - ◆ Vesting Tentative Parcel Map
 - ◆ Development Agreement
 - For office projects > 35% FAR
- Projects are subject to State Density Bonus and AB 2097 (No minimum auto parking)

	1154 Sonora	1170 Sonora
Lot area (acres)	1.88	1.09
Bldg. stories	7 + 2 levels below-grade parking	
Res. Units	173 (28 BMR)	107 (18 BMR)
Density	92 du/ac	98 du/ac
Office/R&D s.f.	142,270	79,211
Office/R&D FAR	173%	167%
Retail s.f.	N/A	377

Background

- General Plan Designation: Transit Mixed Use (TMU)
- Specific Plan: Lawrence Station Area Plan (LSAP)
- Zoning: MXD-I/S (Flexible Mixed-Use I/Sonora Court)
 - ◆ Allowed: 54 du/acre
 - ◆ Voluntary Density Incentives:
 - LSAP Incentive Program: Up to an additional 26 du/acre incentive points
 - State Density Bonus
- Proposed:
 - ◆ 1154: 92 du/acre (with 7 incentive points, plus 50% State Density Bonus)
 - ◆ 1170: 98 du/acre (with 11 incentive points, plus 50% State Density Bonus)

Development Agreement

BENEFITS TO CITY

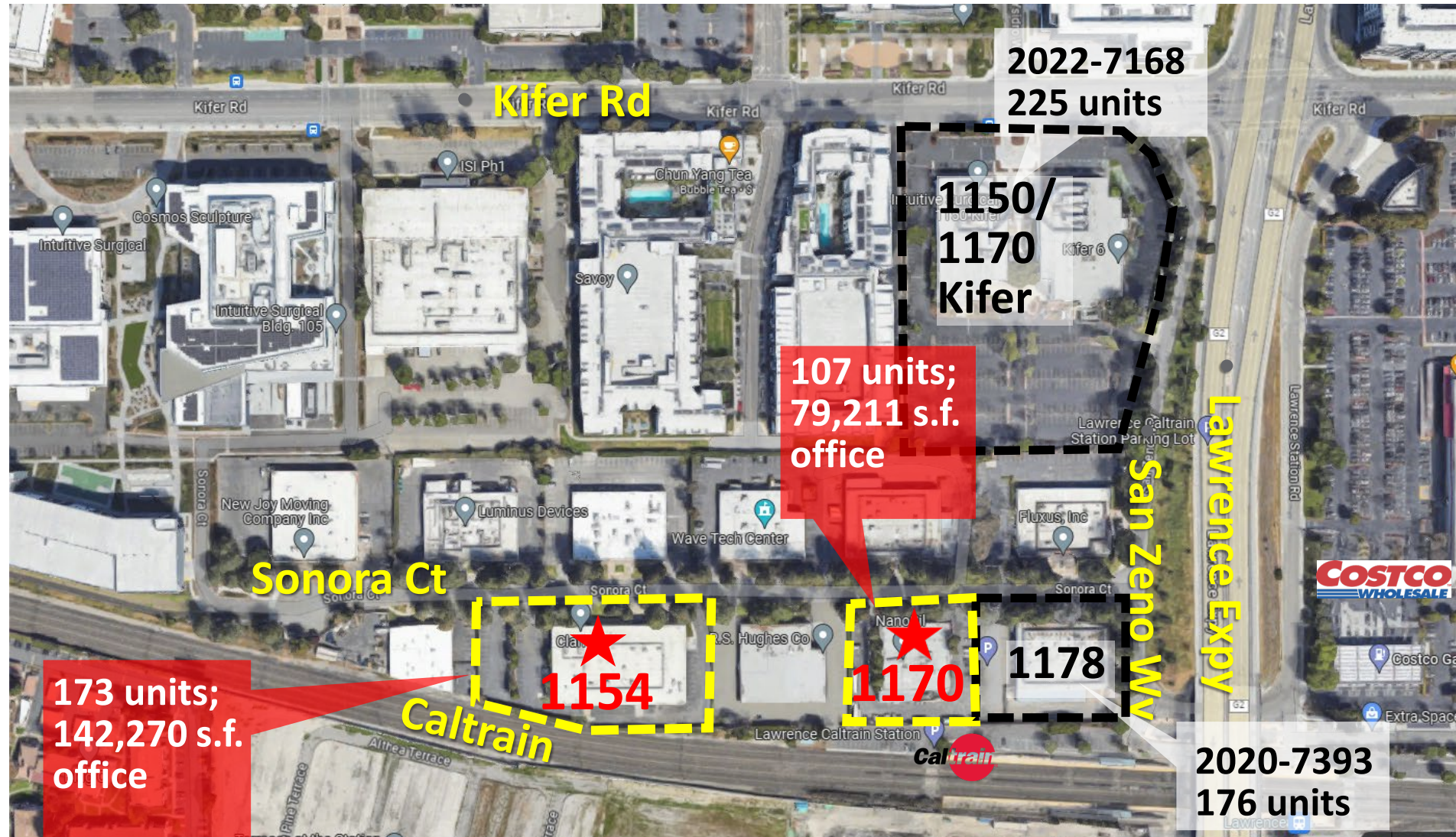
- ◆ BMR units – **total of 46** (16% of total project)
 - **10 units** affordable to **Very Low** income Households
 - **36 units** affordable to **Low** Income Households
- ◆ Additional LSAP incentives (valued at \$32,000)
- ◆ Pedestrian connection and improvements to Lawrence Caltrain Station
- ◆ Community Benefit Fund contribution of ~\$1.2M
- ◆ Point of Sale for Project Construction (sales tax revenue)

Development Agreement

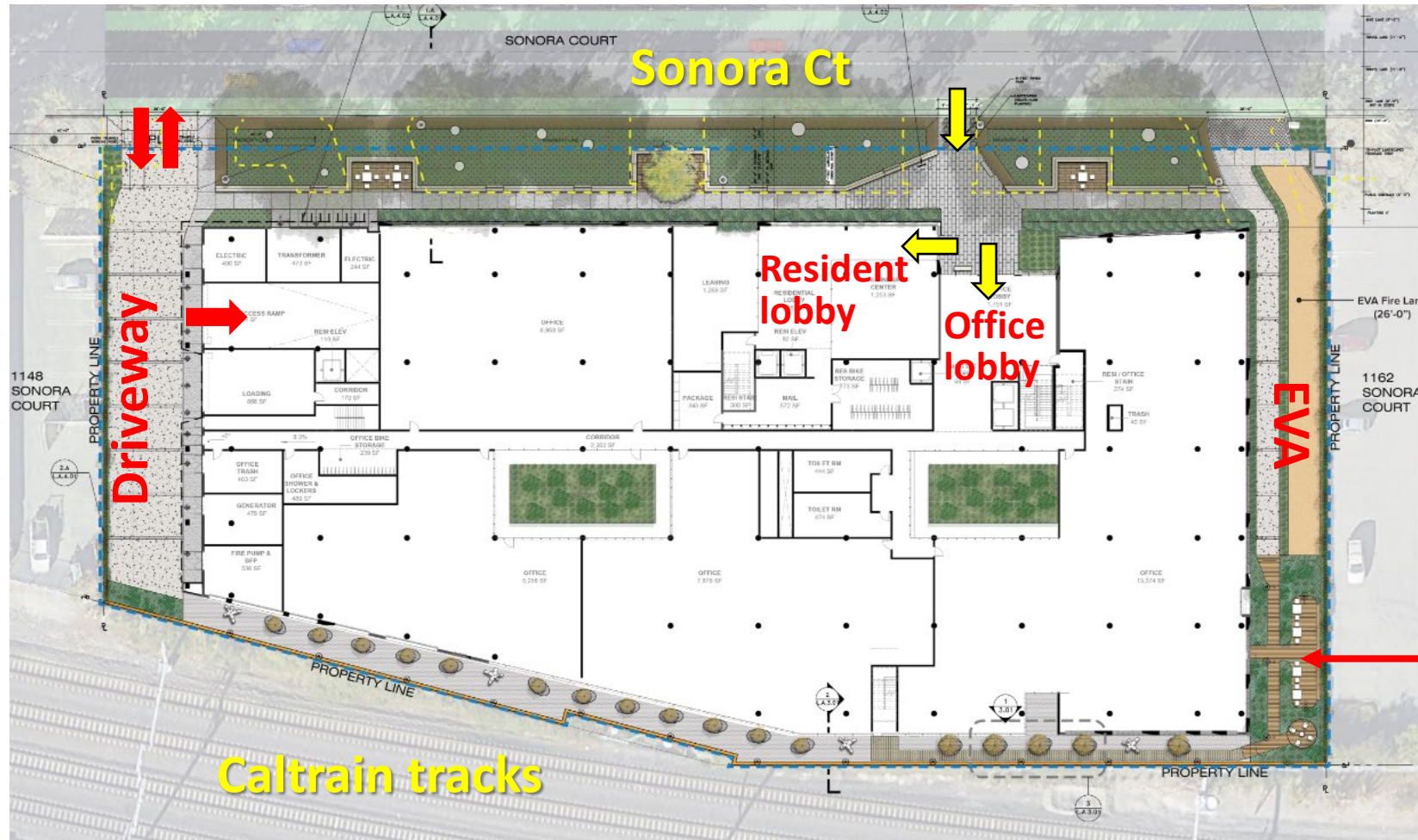
BENEFITS TO DEVELOPER

- ◆ Office Density Bonus
 - Above 150% FAR
- ◆ Additional Time to exercise permits
 - 10 years with up to two, one-year extensions
- ◆ No change to Impact Fees
 - Except built in escalators

Site Context

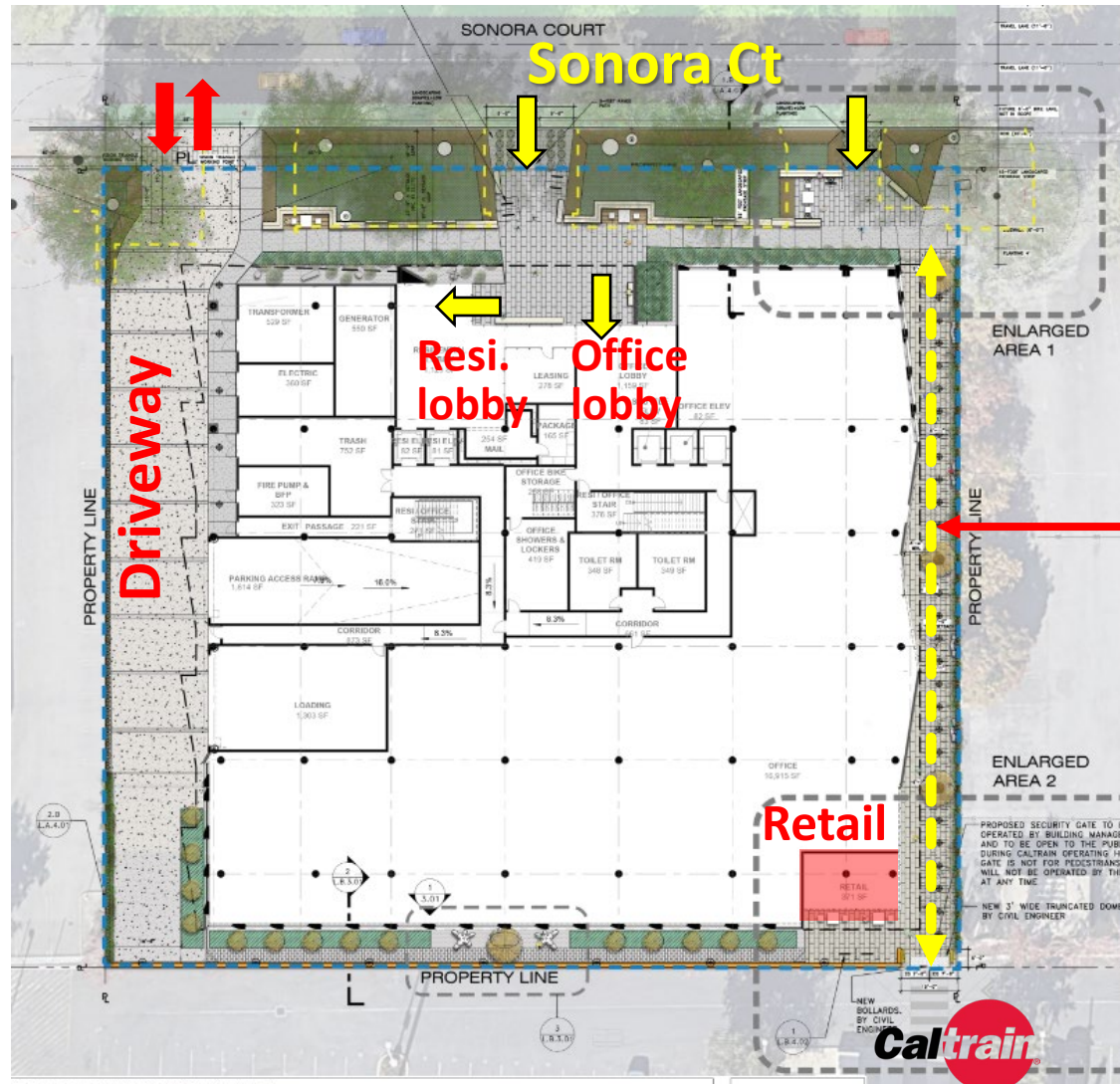


1154 Sonora Court: Site Plan



Usable
Open
Space

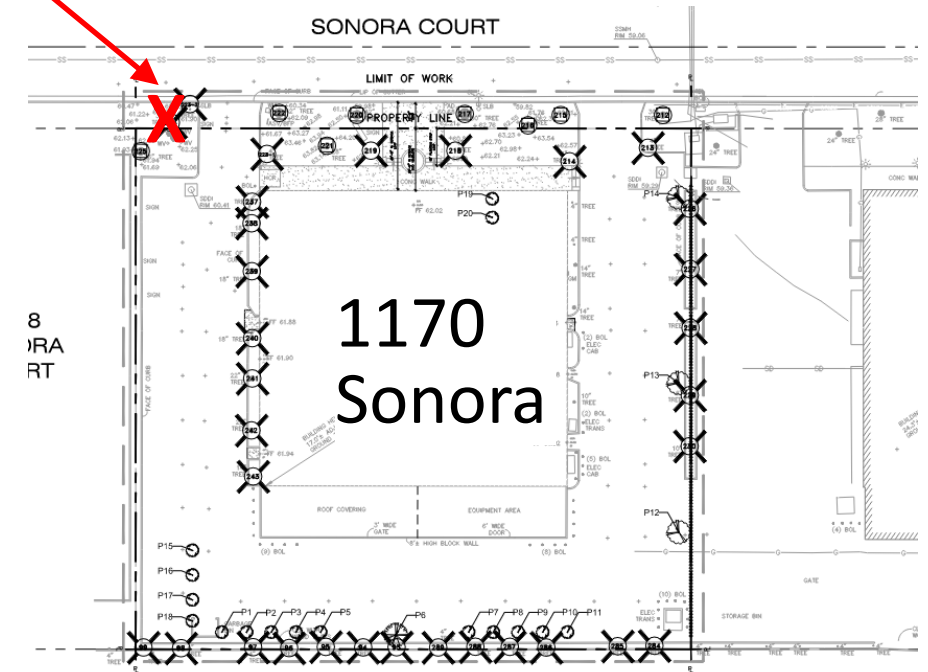
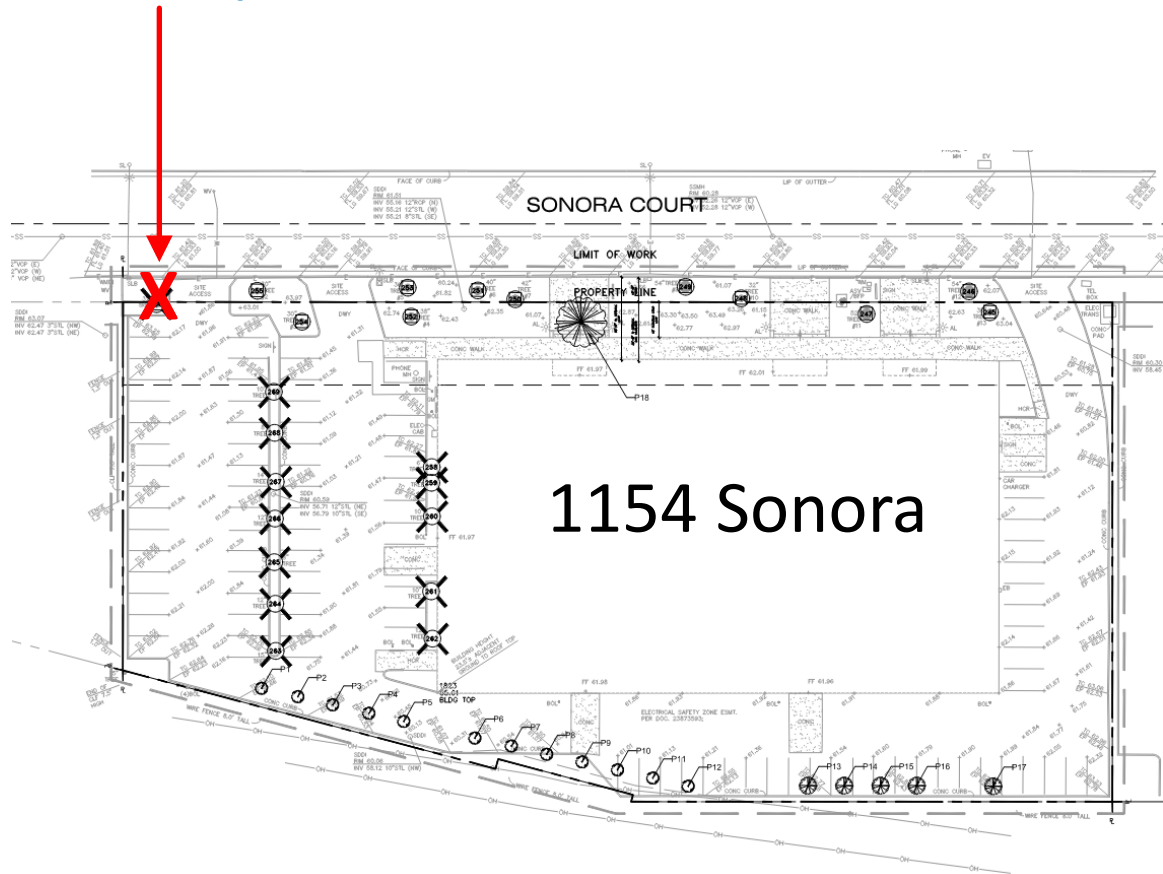
1170 Sonora Court: Site Plan



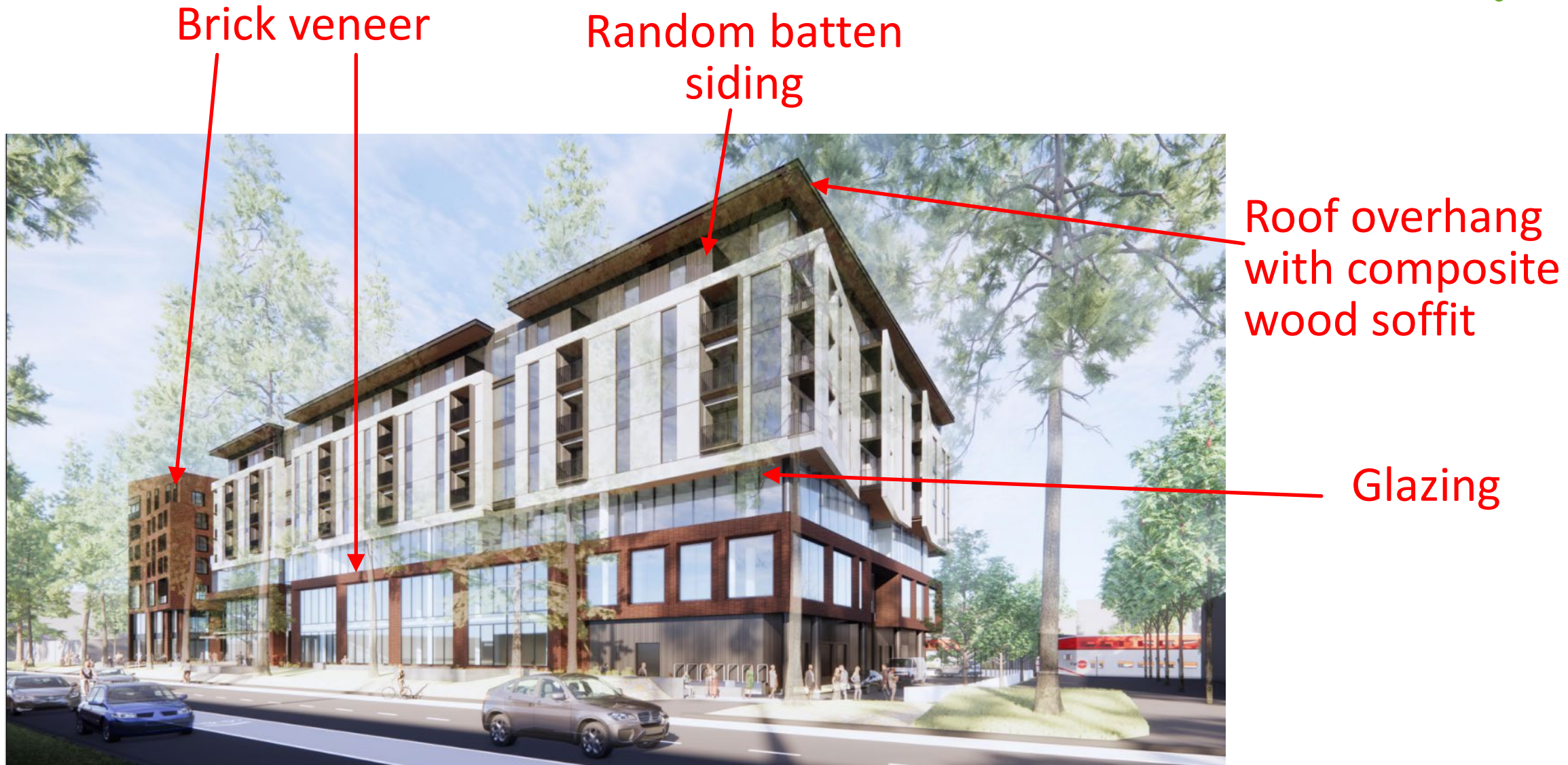
Proposed pedestrian connection to Lawrence Caltrain Station

Tree Preservation

Proposed removal of two cedar trees



1154 Site: Rendering from Sonora Ct (West)



1154 Site: Rendering from Sonora Ct (East)

Brick veneer-clad tower



1154 Site: Rendering from Sonora Ct (North)



Entrance lobbies

1154 Site: Rendering from Caltrain tracks (South)



1170 Site: Rendering from Sonora Ct (North)



Dark grey
batten cement
siding

Aluminum
window
wall

Walkway
to Caltrain
Station

Brick Veneer

Entrance Lobby

Tan painted lap cement siding

1170 Site: Pedestrian Connection



1170 Site: Rendering from Sonora Ct (West)



1170 Site: Rendering from Caltrain tracks (South)

Perforated metal screen

Dark grey batten cement siding



State Density Bonus Waivers and Incentives

	Required	1154 Sonora	1170 Sonora
WAIVERS			
Landscaping strip <i>strip from inside public sidewalk</i>	15'	4'	4'
Distance of trash enclosure from units	150 feet max.	Not met for 36 units (21%)	Not met for 28 units (26%)
Landscape area	20% min.	18.5%	12.5%
INCENTIVE/CONCESSION			
Allowable office FAR	150% max. (w/DA)	173%	167%

LSAP Objective Design Guidelines

Does not meet 4 Objective LSAP Design Guidelines

- ◆ 15' x 5' Vertical Building Modulation per guideline BMA-UDG1
- ◆ Reduced Floor Plate Sizes above 75 feet per guideline RB-UDG6
- ◆ **1154 Site:** 15' x 15' Horizontal Building Modulation per guideline BMA-UDG4
- ◆ **1170 Site:** 18' height for retail spaces per guideline BO-UDG9

Staff Finding

- ◆ Waivers are reasonable given the site conditions and additional density enabled by State Density Bonus law

Recommendations

Staff Recommendation

Recommend Alternatives 1, 2 and 3 to City Council:

1. Make the Determination required by Resolution No. 371-81 for DA
2. Make the required findings to approve the CEQA determination and approve the SDP and Vesting Tentative Parcel Map.
3. Introduction of an Ordinance Approving and Adopting a DA between the City of Sunnyvale and SKS Partners.

Questions