

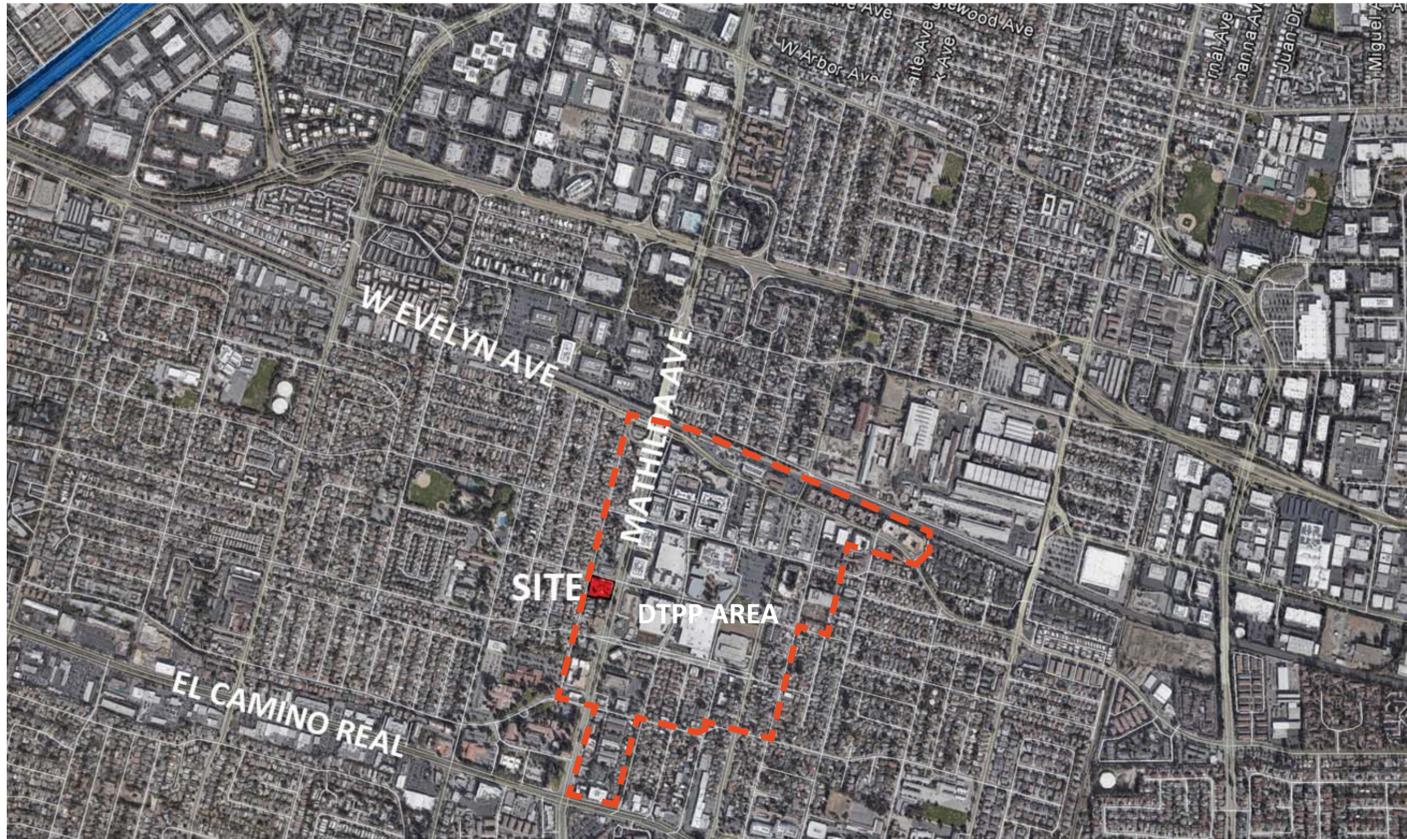


311 S Mathilda Avenue, Sunnyvale, CA

APRIL 2018



VICINITY MAP:



PROPERTY INFORMATION:

Site Address: 311 S Mathilda Avenue, Sunnyvale, CA 94086
 APN: 165-13-050
 Site Area: 1.01
 Existing Use: Commercial
 Proposed Use: Commercial, Multi-family Residential
 Density: 54 du/acre
 Proposed Density: 75 du/acre
 (54 x 0.05 Green Building Bonus = +2 units)
 (2+54 x 1.35 SDB = 75 units allowed)

PROJECT DESCRIPTION:

311 Mathilda is a mixed-use project located on the corner of McKinley and S Mathilda in Sunnyvale. The project comprises of 5,000 square foot of commercial frontage along Mathilda that will replace the existing Denny's restaurant. The residential component will be made up of 75 units with some allotted for below market rate. On Charles Street side, four townhouse type units line the frontage to reduce the scale towards the single family neighborhood. A central podium courtyard provides open space for the residents. This layout provides a small-scale appearance along Charles Street.

PROJECT TEAM:

APPLICANT:
 LANE PARTNERS
 644 Menlo Avenue 2nd Floor
 Menlo Park, CA 94025
 Contact: MARCUS GILMOUR
 Phone: 650.838.0100

CIVIL ENGINEER:
 BKF ENGINEERS
 4670 Willow Rd, Suite 250
 Pleasanton, CA 94588
 Contact: ALEXIS MATUSEK
 Phone: 925.396.7700

UTILITY ENGINEER:
 GIACALONE DESIGN SERVICES, INC.
 5820 Stoneridge Mall Rd Ste 345,
 Pleasanton, CA 94588
 Contact: ANDREW CUMMINS
 Phone: 925.467.1740

APPLICANT:
 BAY WEST DEVELOPMENT
 1725 S. Bascom Ave, Suite 1050
 Campbell, CA 95008
 Contact: PETE BERITZHOFF
 Phone: 408.680.4938

LANDSCAPE:
 SAW // SPIEGEL AIHARA WORKSHOP
 2325 3rd ST, Suite 216
 San Francisco, CA 94107
 Contact: MEGUMI AIHARA
 Phone: 415.890.4729

MEP ENGINEERS:
 ALFA TECH
 1321 Ridder Park Drive, No. 50
 San Jose, CA 95131
 Contact: Saied Nazeri
 Phone: 408.487.1200

ARCHITECT/PLANNER:
 STUDIO T-SQ, INC.
 304 12th Street, Suite 2A
 Oakland, CA 94607
 Contact: DOUGLAS OLIVER
 Phone: 510.451.2850

TRASH MANAGEMENT
 AMERICAN TRASH MANAGEMENT
 1900 Powell Street, STE 890
 Emeryville, CA 94608
 Contact: Scott Brown
 Phone: 415.292.5401

STRUCTURAL ENGINEER
 HOHBACH-LEWIN, INC
 260 Sheridan Ave, Suite 150
 Palo Alto, CA 94306
 Contact: Dan Lewin
 Phone: 650.617.5930

SHEET INDEX:

- G1.0 Project Summary
- SP1.0 Vicinity Map and Existing Site Photos
 - SP1.1 Illustrative Site Plan
 - SP1.2 Circulation Diagram
 - SP1.3 Fire Access Plan
 - SP1.4 Open Space Calculation
 - SP1.5 Shadow Study
- A2.0 Basement Level Plan
 - A2.1 Street Level Plan
 - A2.2 Podium Level Plan
 - A2.3 Third Level Plan
 - A2.4 Fourth Level Plan
 - A2.5 Fifth Level Plan
 - A2.6 Roof Level Plan
- A3.0 Building Elevation and Perspective
 - A3.1 Building Elevation and Perspective
 - A3.2 Building Elevation and Perspective
 - A3.3 Building Elevation and Perspective
 - A3.4 Color and Material Board
- A4.0 Building Sections
 - A4.1 Building Sections
 - A4.2 Schematic Detail
 - A4.3 Schematic Detail
- A5.0 Unit Plans
 - A5.1 Unit Plans
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 - A5.3 GreenPoint Rated Check List
- L1.0 Landscape Concept Plan
- L4.0 Landscape Planting Plan
- L5.0 Landscape Hydrozone Plan
- C0.0 Civil Cover Sheet
- C1.0 Existing Conditions Plan
- C2.0 Proposed Civil Site Plan
- C3.0 Preliminary Grading Plan
- C4.0 Preliminary Utility Plan
- C5.0 Preliminary Stormwater Control Plan
- INT1 Joint Trench Intent Title Sheet
- INT2 Joint Trench Intent Plan
- T0.1 Residential Trash Collection Plan
- T0.2 Restaurant Trash Collection Plan
- T0.3 Remote Trash Collection Room
- T0.4 Trash Staging Area
- T1.1 Restaurant Bin Movement Plan
- T1.2 Path of Travel Plan
- T1.3 Path of Travel Plan
- T1.4 Path of Travel Plan
- T2.0 Chute Details

BUILDING PROGRAM:

UNITS	Quan.	N.S.F.	Mix	Rentable S.F.	Parking Provided
Studios Total	8	596	10.7%	4,765	8
1BR Units Total	41	764	54.7%	31,338	41
2BR Units Total	26	1376	34.7%	35,777	26
ALL UNITS -TOTAL	75	958	100.0%	71,880	75

RESIDENTIAL	
Residential Parking Required (.5 per bedroom)	51
Guest Parking Provided	7
Total Residential Parking Provided (3 Accessible)	82
Residential Bike Parking Required (1 per 4 units)	19
Residential Bike Parking Provided	54

COMMERCIAL	
Existing Commercial	4,057 SF
Proposed Commercial	4860
Commercial Parking Required (1 per 110 SF)	44
Commercial Parking Provided (2 Accessible Stalls)	47

STORAGE REQUIRED (200 cuft per S/1 BD, 300 cuft per 2+ BD)		17,600
# of storage per level	200 cu ft	300 cu ft
Level B1	44	14
Level 1	0	0
Level 2	0	3
Level 3	0	3
Level 4	0	3
Level 5	6	3
Total	50	26
STORAGE PROVIDED (Partially on decks / remainder in garage)		17,800

COMMON OPEN SPACE REQUIRED- (50 square feet required per unit)	3,750
COMMON OPEN SPACE PROVIDED- (roof deck and courtyard)	5,035

OPEN AREA	
Site Area SF	44111
Building Coverage SF	31910
Courtyard SF	4285
Roof Deck	750
Private Balcony	3465
OPEN AREA PROVIDED	8500



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Lane Partners / Bay West Development
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
 Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:
 PROJECT SUMMARY

Job No. 16044
 Date: 4/18/2018
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1. CHARLES ST LOOKING SOUTH EAST



2. W MCKINLEY AVE LOOKING SOUTH



3. W MCKINLEY AVE LOOKING WEST



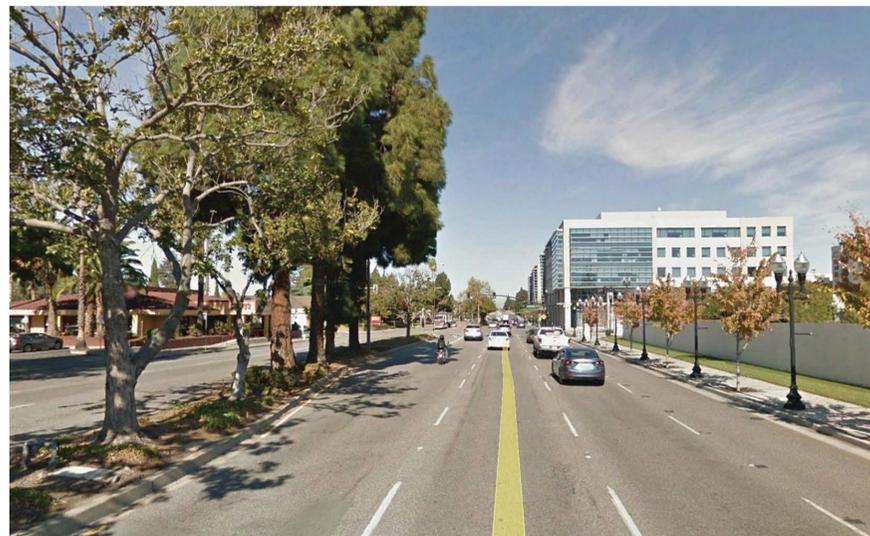
8. W MCKINLEY AVE LOOKING WEST



4. S MATHILDA AVE LOOKING NORTH EAST



7. CHARLES ST LOOKING NORTH



6. S MATHILDA AVE LOOKING NORTH



5. S MATHILDA AVE LOOKING WEST

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Sheet Title:
**VICINITY MAP AND
EXISTING SITE
PHOTOS**

Job No. 16044
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Sheet Title:
ILLUSTRATIVE SITE PLAN

Job No. 16044
 Date: 4/18/2018
 Scale: 1/16" = 1' - 0"
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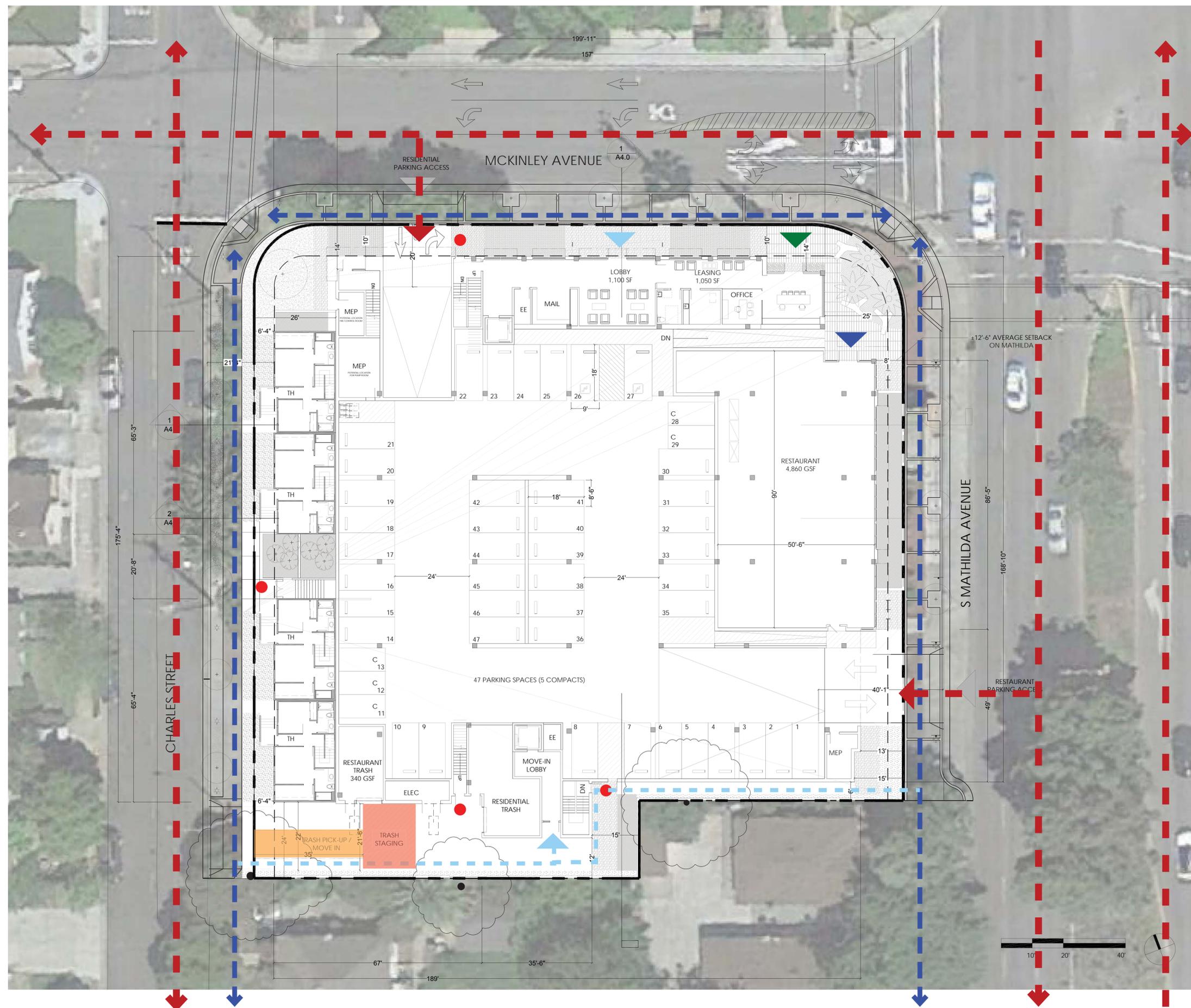


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- PUBLIC PEDESTRIAN CIRCULATION
- PRIVATE PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- TRASH STAGING AREA
- MOVE IN / TRASH PICK-UP
- RESIDENTIAL PEDESTRIAN ACCESS
- VEHICULAR ACCESS
- VISITOR PEDESTRIAN ACCESS
- COMMERCIAL PEDESTRIAN ACCESS
- EMERGENCY EXIT ONLY

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CIRCULATION DIAGRAM

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- 150 FIRE HOSE REACH
- COURTYARD EGRESS
- FIRE TRUCK CIRCULATION
- FIRE LADDER PAD

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Sheet Title:
FIRE ACCESS PLAN

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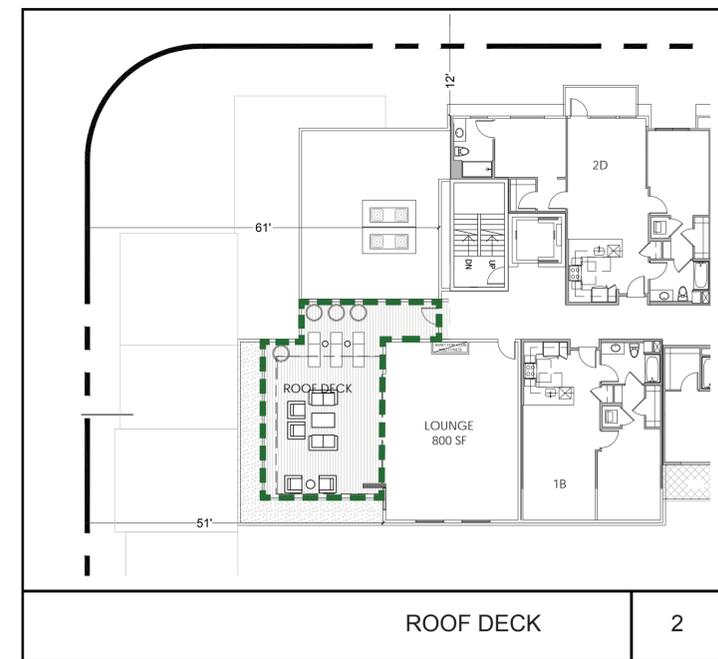


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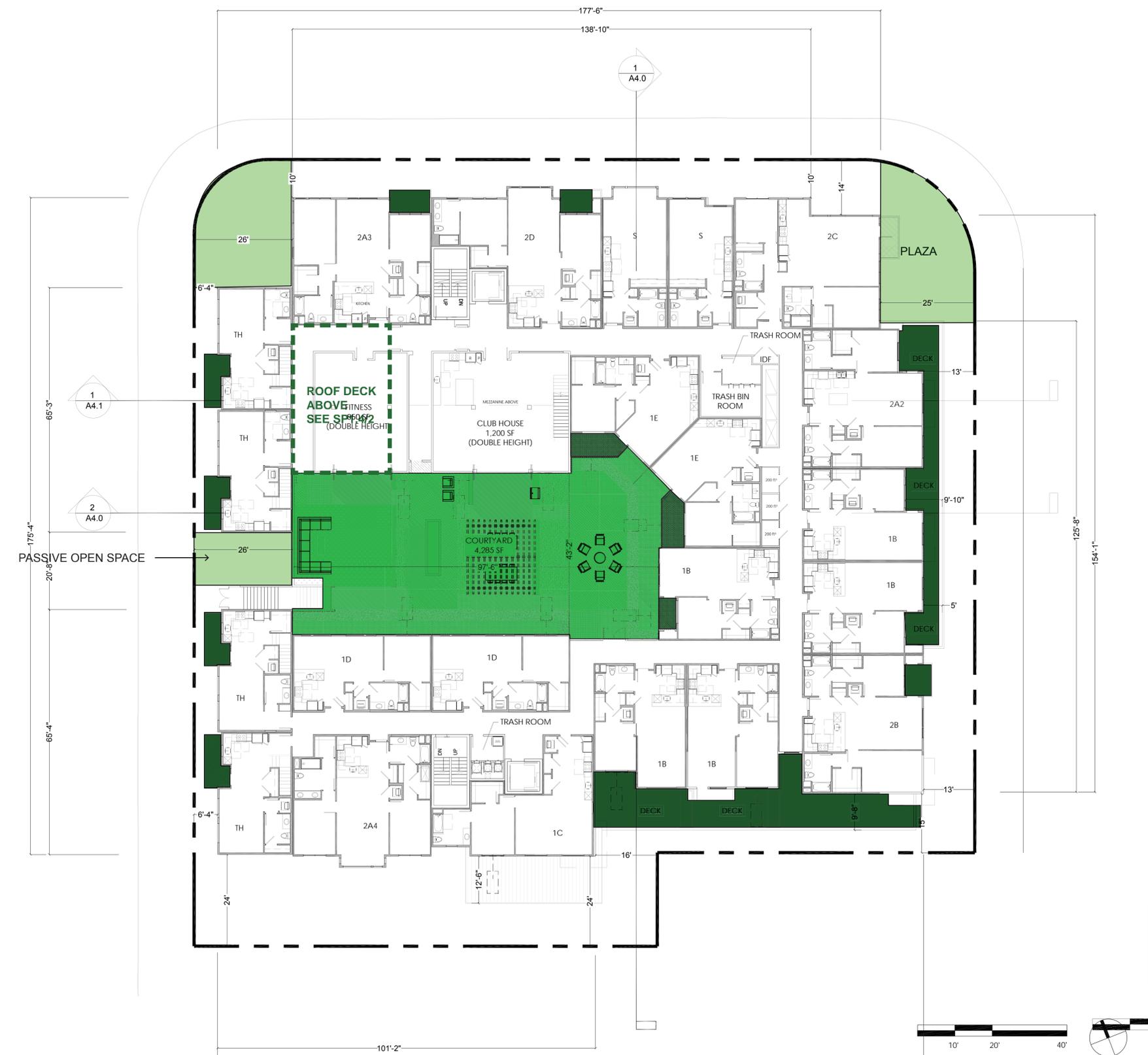
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ROOF DECK

2



- EXTERIOR PUBLIC
- COURTYARD
- PRIVATE BALCONIES
- ROOF DECK

OPEN SPACE REQUIREMENT
50 SF(PER UNIT) X 75 =3750 SF

OPEN SPACE PROVIDED
EXTERIOR PUBLIC = 1,990 SF
COURTYARD = 4,285 SF
PRIVATE BALCONIES = 3,465 SF
ROOF DECK = 750 SF

TOTAL PROVIDED = 10,490 SF (WITH EXTERIOR PUBLIC)
8,500 SF (WITHOUT EXTERIOR PUBLIC)

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Sheet Title:
OPEN SPACE CALCULATION

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Dec 21 9:00AM



Jun 21 9:00AM



Mar/Sep 21 9:00AM



Dec 21 12:00PM



Jun 21 12:00PM



Mar/Sep 21 12:00PM



Dec 21 03:00PM



Jun 21 03:00PM



Mar/Sep 21 03:00PM

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Sheet Title:
SHADOW STUDY

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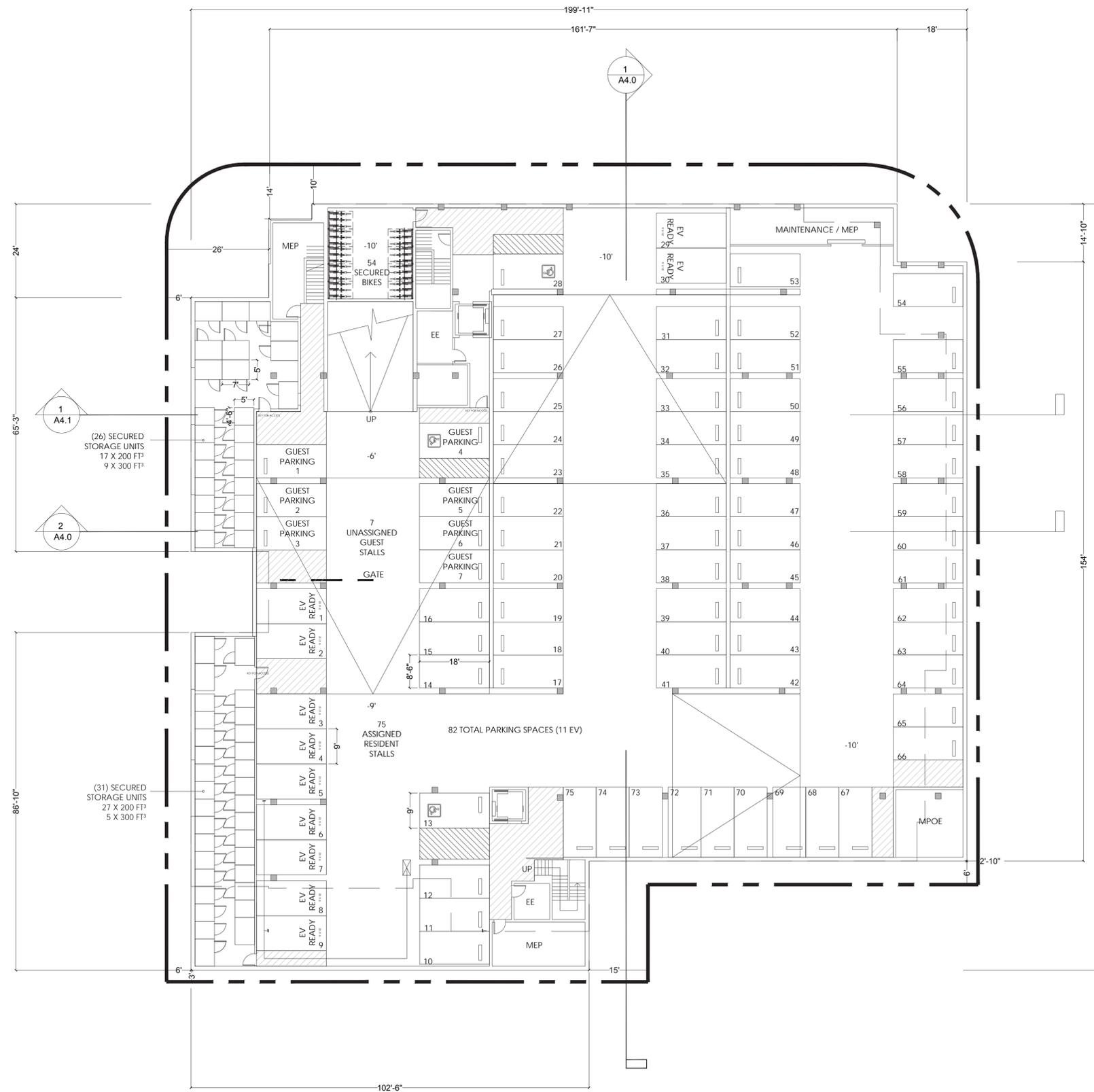


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STORAGE PROVIDED		
STORAGE TYPE	CU FT	QUANTITY
	200 FT ³	44
	300 FT ³	14



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Sheet Title:
BASEMENT LEVEL PLAN

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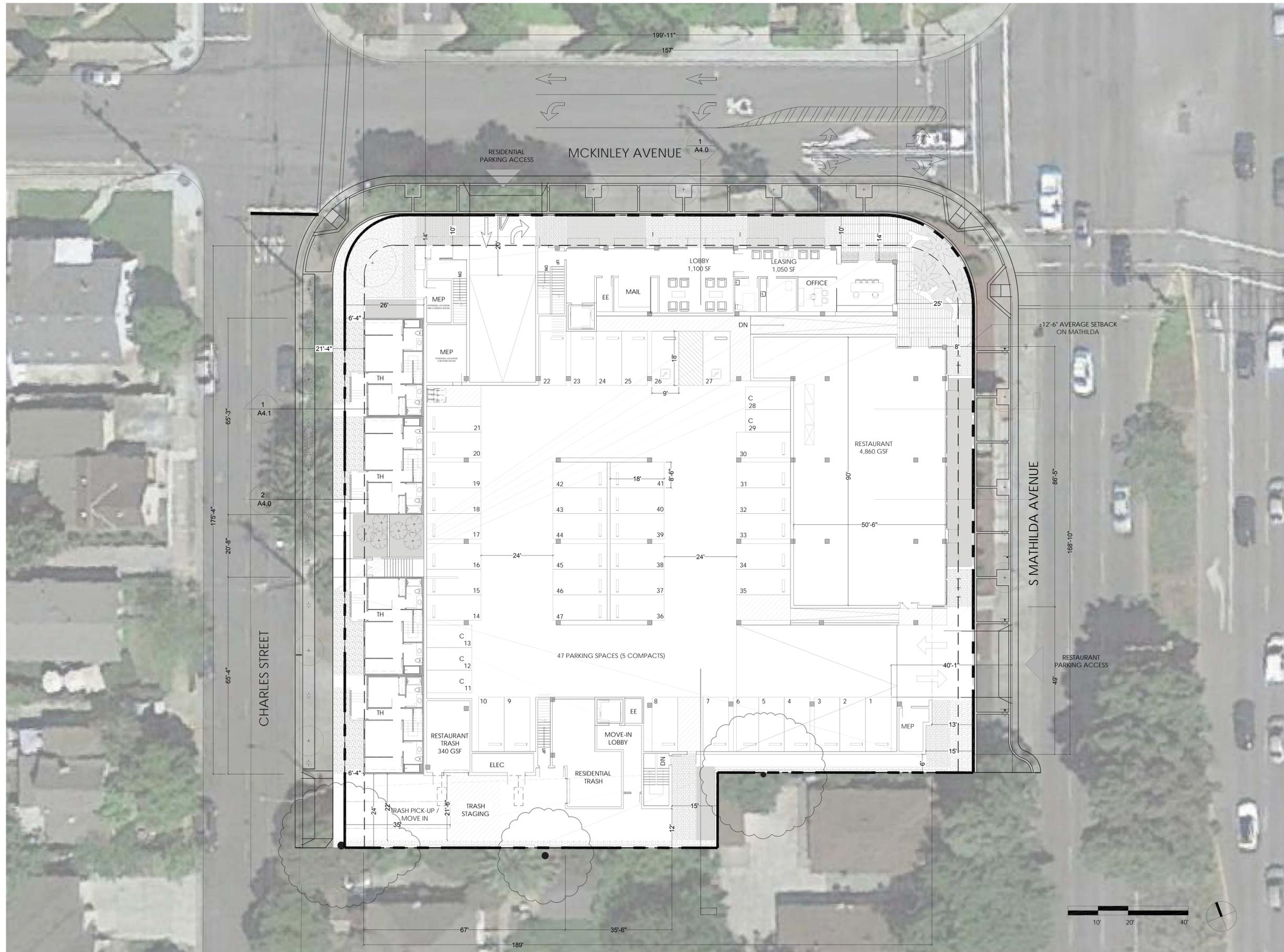


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Sheet Title:
STREET LEVEL PLAN

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A2.1

MATHILDA AVERAGE SETBACK = (25' x 17.8 + 8' x 52.6 + 13' x 29.6) / 164' (TOTAL FRONTAGE) = ±12'-6" AVERAGE

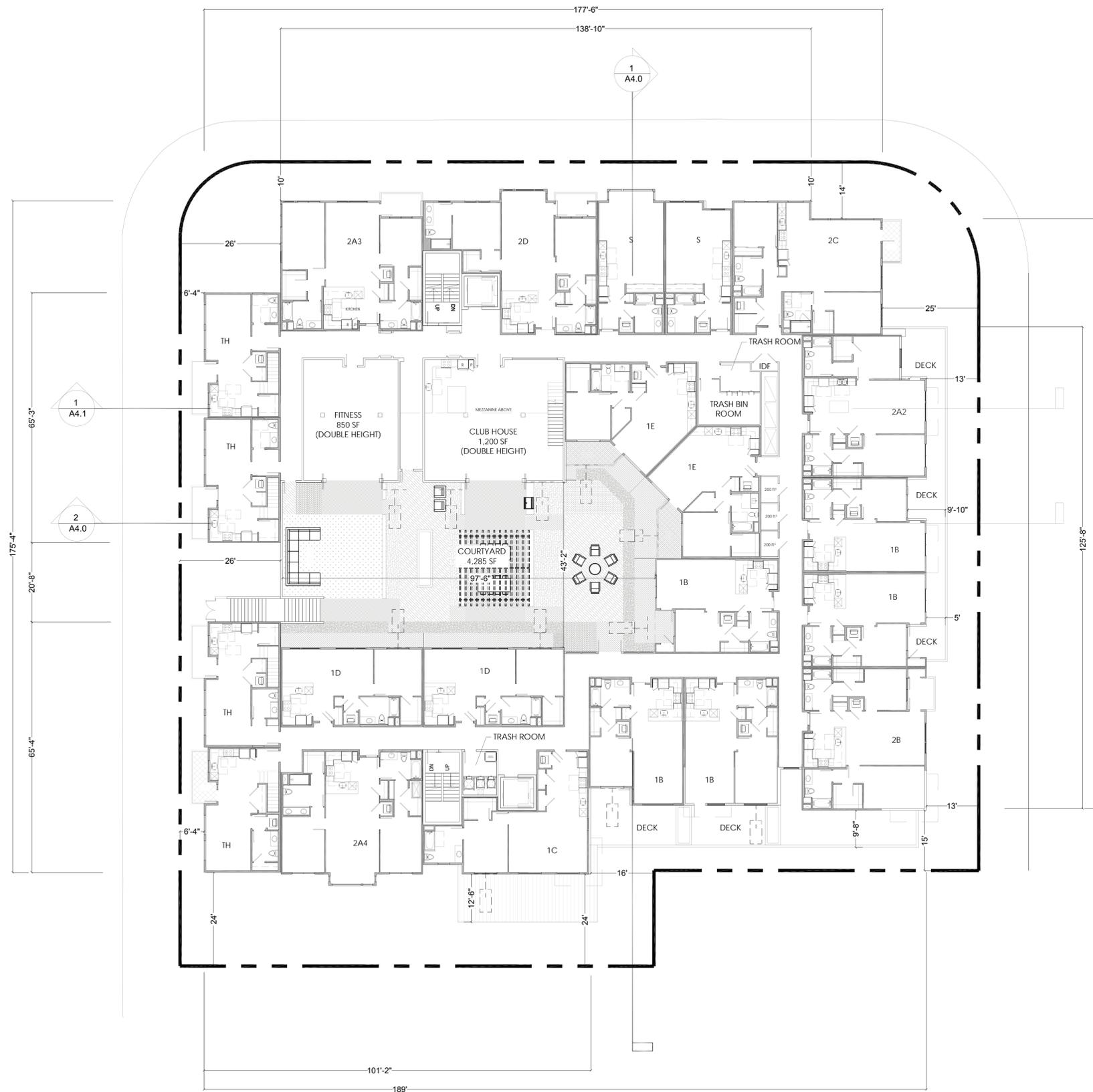


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STORAGE TYPE	CU FT	QUANTITY
	300 FT ³	3



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Sheet Title:
PODIUM LEVEL PLAN

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STORAGE TYPE	CU FT	QUANTITY
	300 FT ³	3



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Sheet Title:
THIRD LEVEL PLAN

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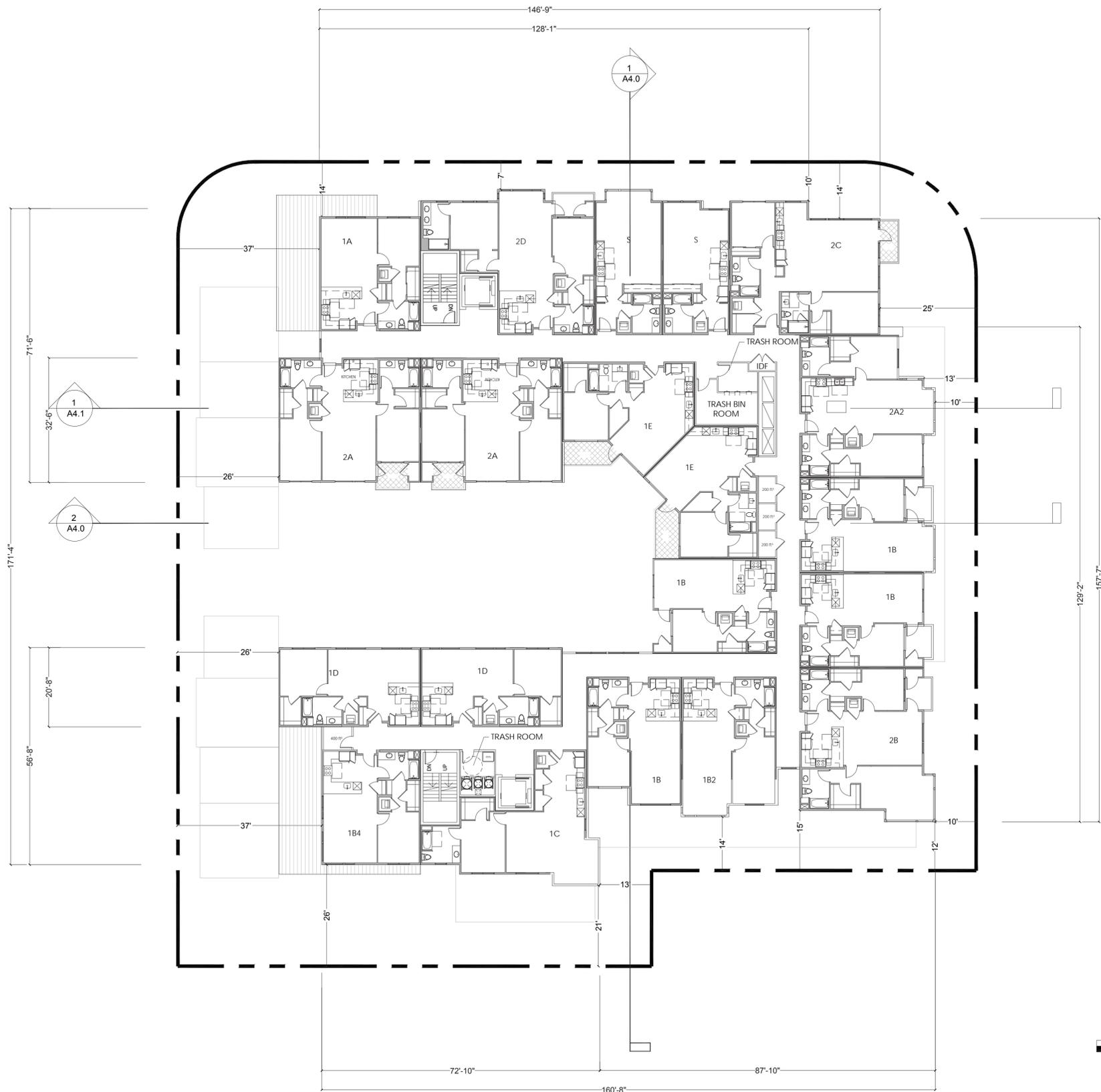


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STORAGE TYPE	CU FT	QUANTITY
	300 FT ³	3



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Sheet Title:
FOURTH LEVEL PLAN

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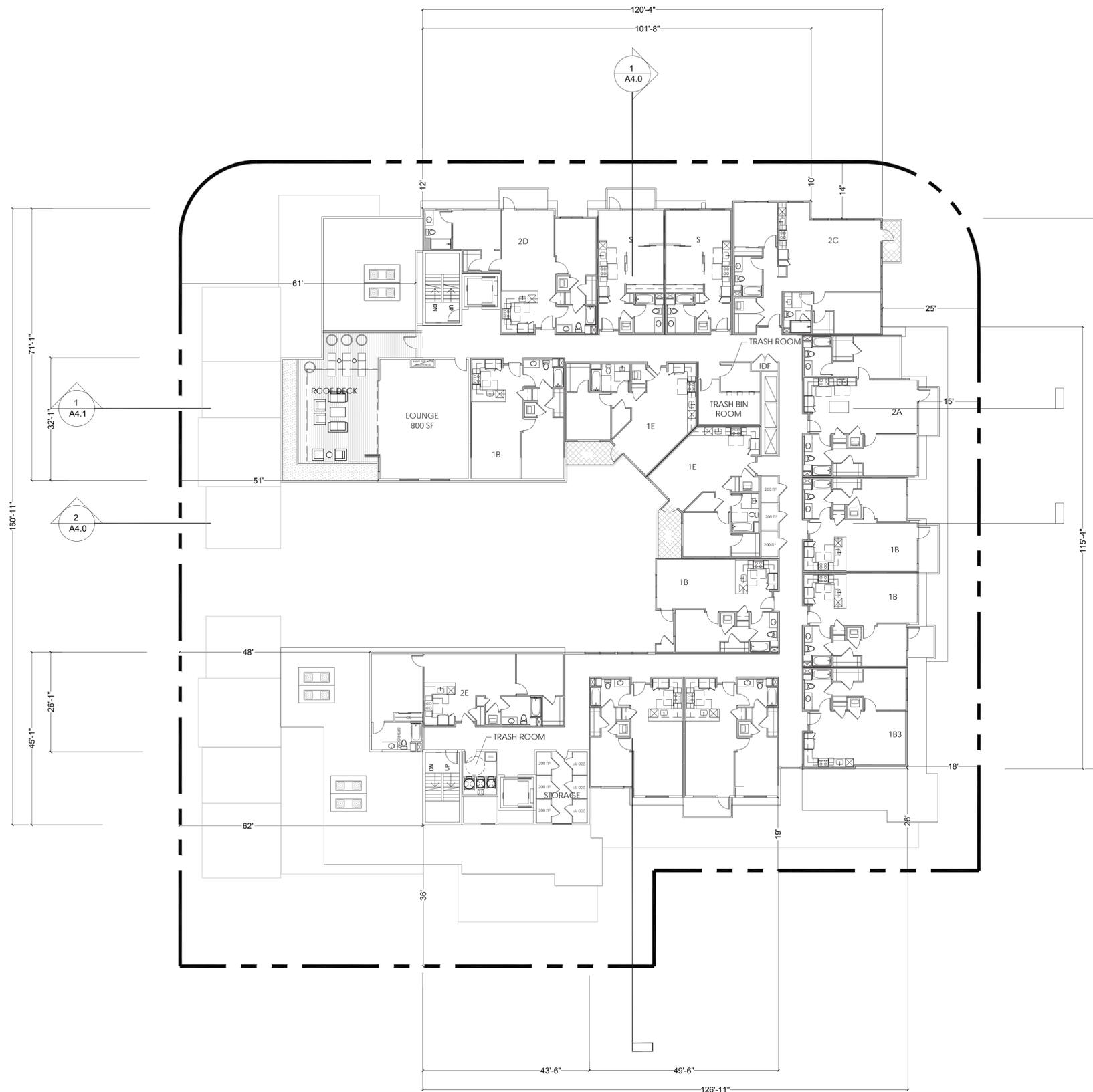


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STORAGE TYPE	CU FT	QUANTITY
	200 FT ³	6
	300 FT ³	3



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Sheet Title:
FIFTH LEVEL PLAN

Job No. 16044
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S MATHILDA AVE ELEVATION

2

SCALE: 1/16" = 1' - 0"



S MATHILDA AVE PERSPECTIVE

1

SCALE: N.T.S.

①	STUCCO (SW7656 RHINESTONE)
②	STUCCO (SW7073 NETWORK GRAY)
③	STUCCO (SW7075 WEB GRAY)
④	STUCCO (SW6118 LEATHER BOUND)
⑤	SIDING (SW7633 TAUPE TONE)
⑥	SIDING (SW7705 WHEAT PENNY)
⑦	RAIN SCREEN (NICHIIA VINTAGE WOOD CEDAR)
⑧	METAL AWNING (BLACK)
⑨	METAL SEAMED ROOF
⑩	STOREFRONT (BLACK)
⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING

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Sheet Title:
BUILDING ELEVATIONS AND PERSPECTIVES

Job No. 16044
Date: 4/18/2018
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Drawn By:

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①	STUCCO (SW7656 RHINESTONE)
②	STUCCO (SW7073 NETWORK GRAY)
③	STUCCO (SW7075 WEB GRAY)
④	STUCCO (SW6118 LEATHER BOUND)
⑤	SIDING (SW7633 TAUPE TONE)
⑥	SIDING (SW7705 WHEAT PENNY)
⑦	RAIN SCREEN (NICHIIA VINTAGE WOOD CEDAR)
⑧	METAL AWNING (BLACK)
⑨	METAL SEAMED ROOF
⑩	STOREFRONT (BLACK)
⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING

MCKINLEY AVE ELEVATION

2

SCALE: 1/16" = 1' - 0"



MCKINLEY AVE PERSPECTIVE

1

SCALE: N.T.S.

311 Mathilda
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Lane Partners / Bay West Development
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:
BUILDING ELEVATIONS AND PERSPECTIVES

Job No. 16044
Date: 4/18/2018
Scale: AS NOTED
Drawn By:

Sheet No:

A3.1



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①	STUCCO (SW7656 RHINESTONE)
②	STUCCO (SW7073 NETWORK GRAY)
③	STUCCO (SW7075 WEB GRAY)
④	STUCCO (SW6118 LEATHER BOUND)
⑤	SIDING (SW7633 TAUPE TONE)
⑥	SIDING (SW7705 WHEAT PENNY)
⑦	RAIN SCREEN (NICHIIA VINTAGE WOOD CEDAR)
⑧	METAL AWNING (BLACK)
⑨	METAL SEAMED ROOF
⑩	STOREFRONT (BLACK)
⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING



CHARLES ST ELEVATION

2

SCALE: 1/16" = 1' - 0"



CHARLES ST PERSPECTIVE

1

SCALE: N.T.S.

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⑦	RAIN SCREEN (NICHIIA VINTAGE WOOD CEDAR)
⑧	METAL AWNING (BLACK)
⑨	METAL SEAMED ROOF
⑩	STOREFRONT (BLACK)
⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING



SOUTH ELEVATION

2

SCALE: 1/16" = 1' - 0"



CHARLES ST LOOKING NORTH PERSPECTIVE

1

SCALE: N.T.S.

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BUILDING ELEVATIONS AND PERSPECTIVES

Job No. 16044
Date: 4/18/2018
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Sheet No:

A3.3

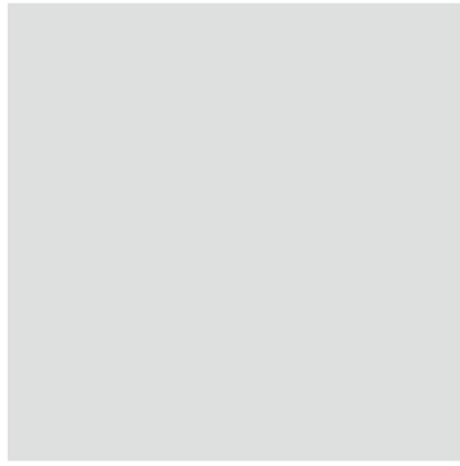


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01 STUCCO (SW7656 RHINESTONE)



02 STUCCO (SW7073 NETWORK GRAY)



03 STUCCO (SW7075 WEB GRAY)



04 STUCCO (SW6118 LEATHER BOUND)



05 SIDING (SW7633 TAUPE TONE)



06 SIDING (SW7705 WHEAT PENNY)



07 RAIN SCREEN (NICHHA VINTAGE WOOD CEDAR)



08 METAL AWNING (BLACK)



09 METAL SEAMED ROOF



10 STOREFRONT (BLACK)



11 ALUMINUM WINDOW (BLACK)



12 VINYL WINDOW (BLACK)



13 GLASS RAILING



14 PERFORATED METAL RAILING

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Sheet Title:
**COLOR AND
MATERIAL BOARD**

Job No. 16044
Date: 4/18/2018
Scale:
Drawn By:

Sheet No:

A3.4

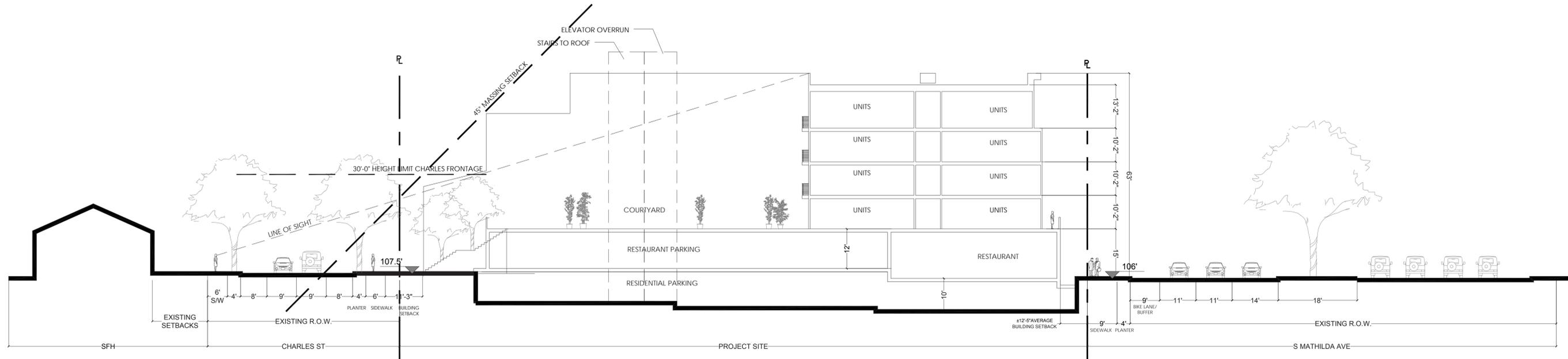


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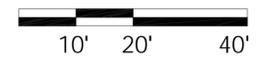
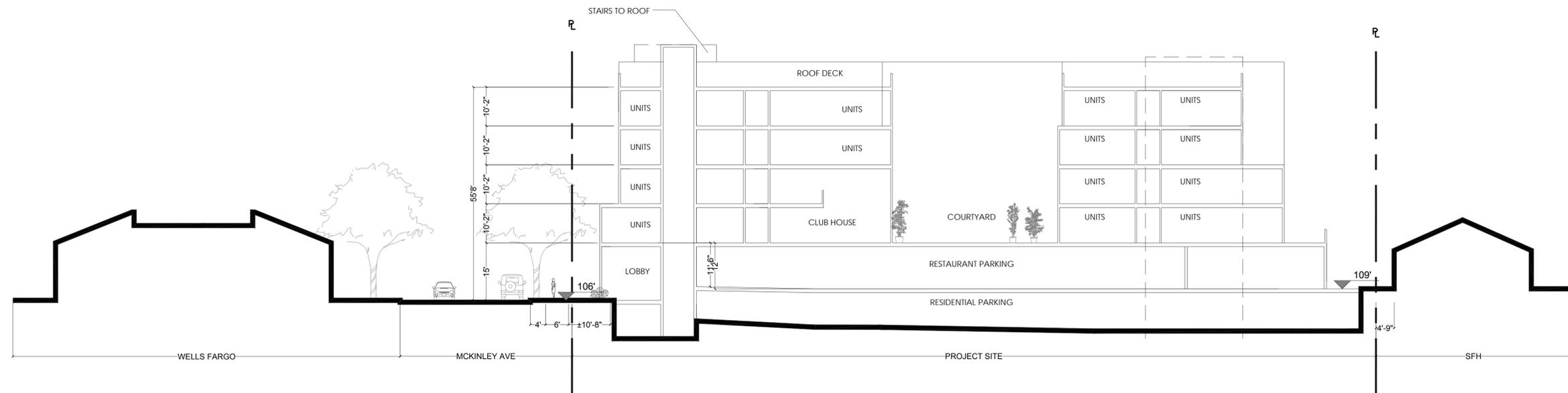
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SECTION 2

2

SCALE: 1/16" = 1' - 0"



SECTION 1

1

SCALE: 1/16" = 1' - 0"

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Sheet Title:
**BUILDING
SECTIONS**

Job No. 16044
Date: 4/18/2018
Scale: AS NOTED
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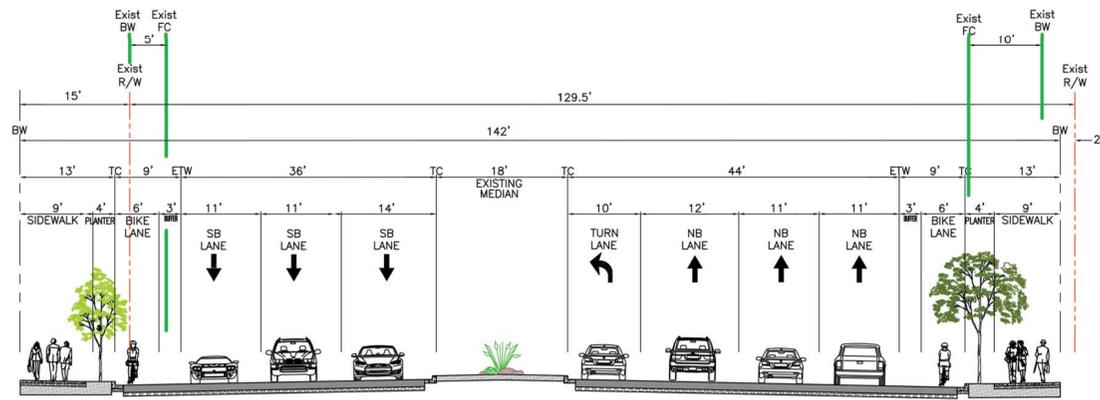


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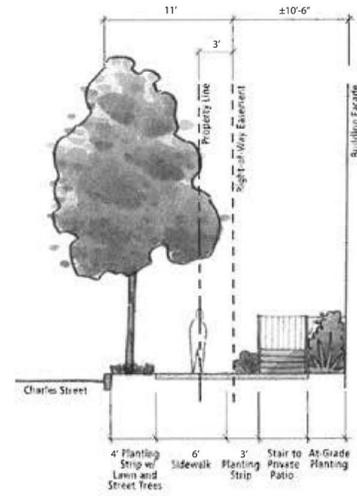
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DTPP-MATHILDA AVENUE SECTION

3

N.T.S.

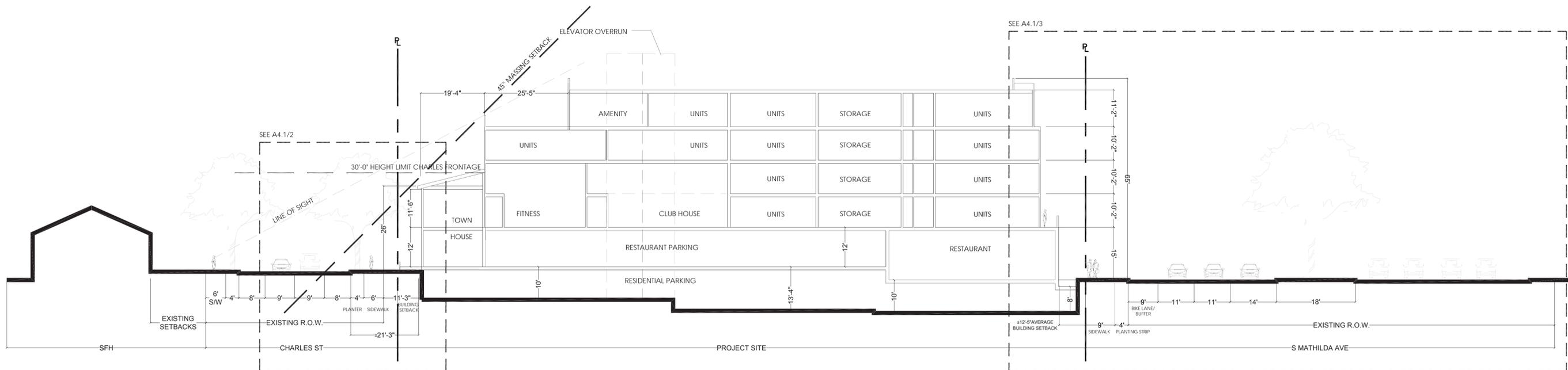


481 MATHILDA PROPOSED CHARLES AVENUE SECTION

DTPP-CHARLES AVENUE SECTION

2

N.T.S.



SECTION 1

1

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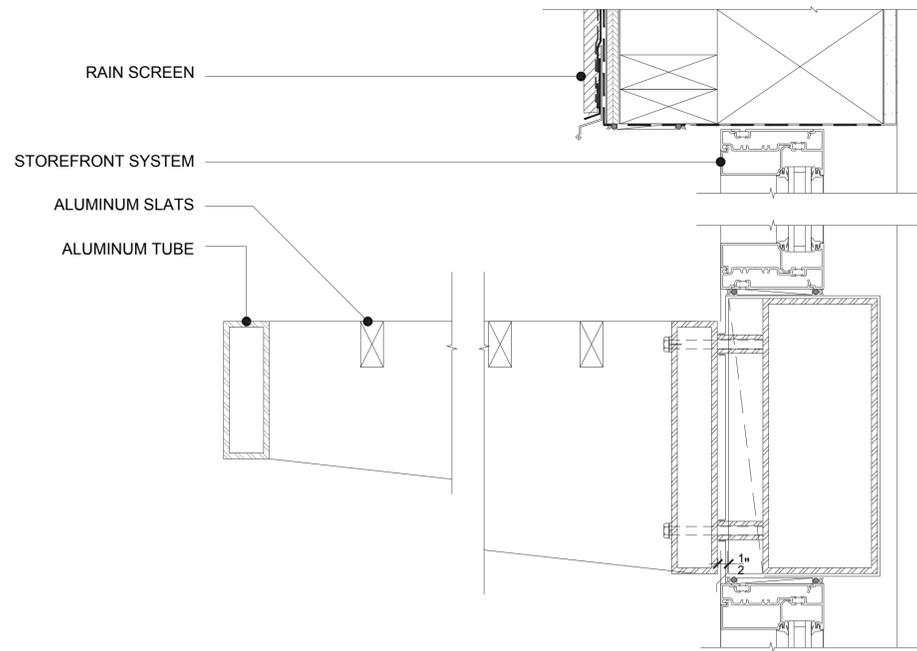


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STOREFRONT AWNING DETAIL

SCALE: 3" = 1' - 0"

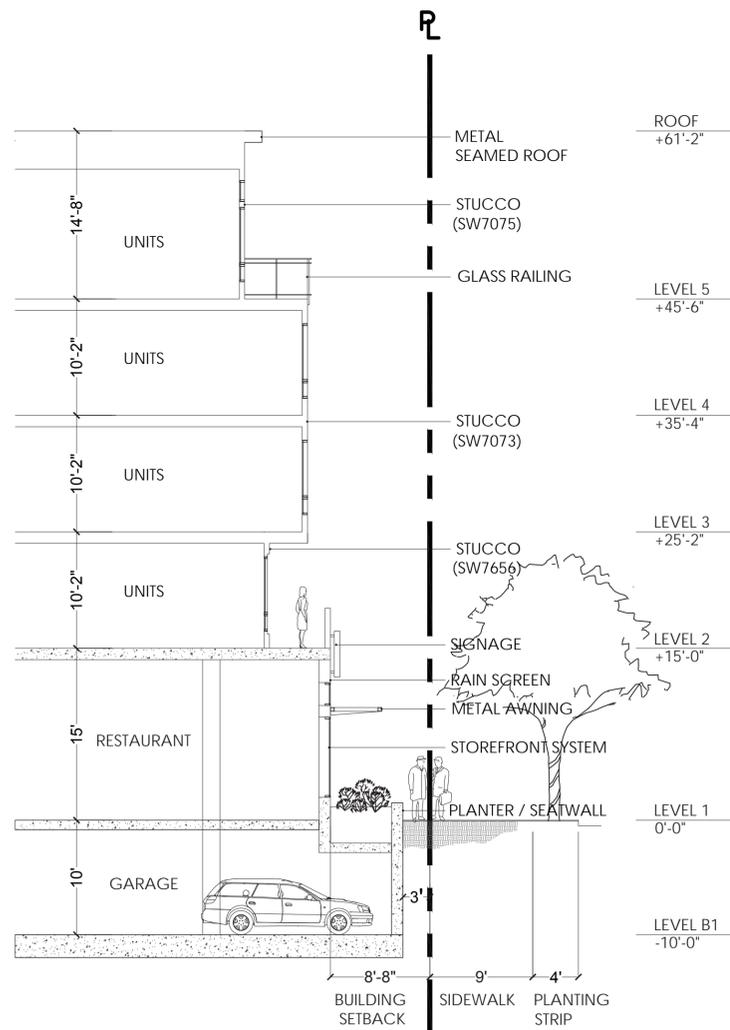
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ENLARGED ELEVATION

N.T.S.

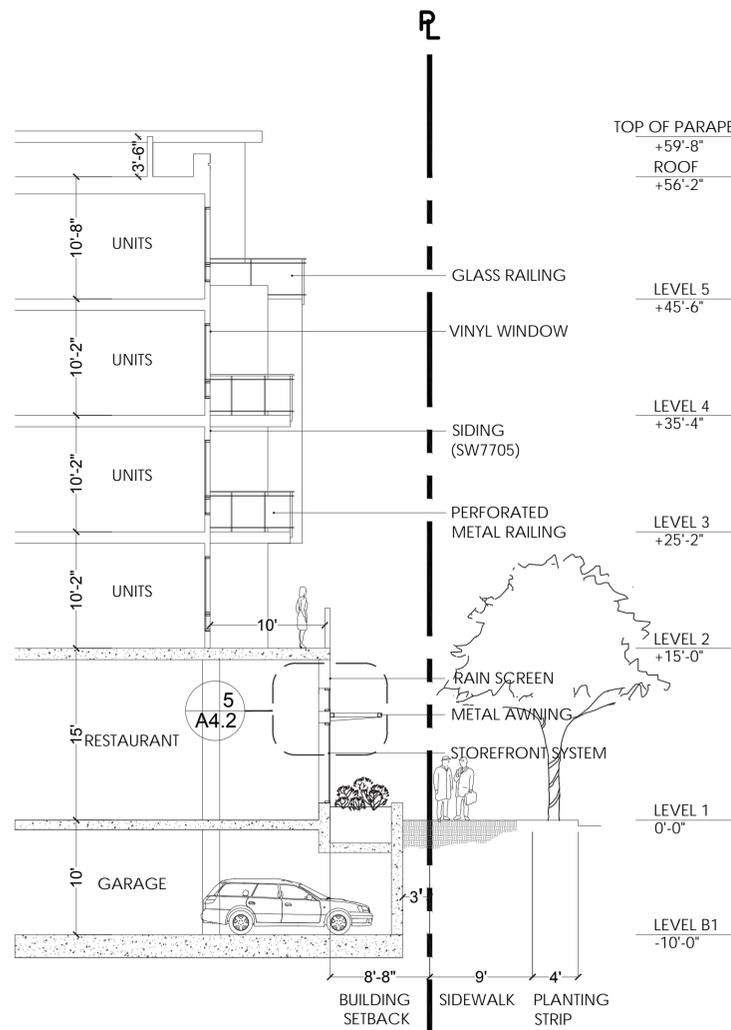
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BAY SECTION

SCALE: 1/8" = 1' - 0"

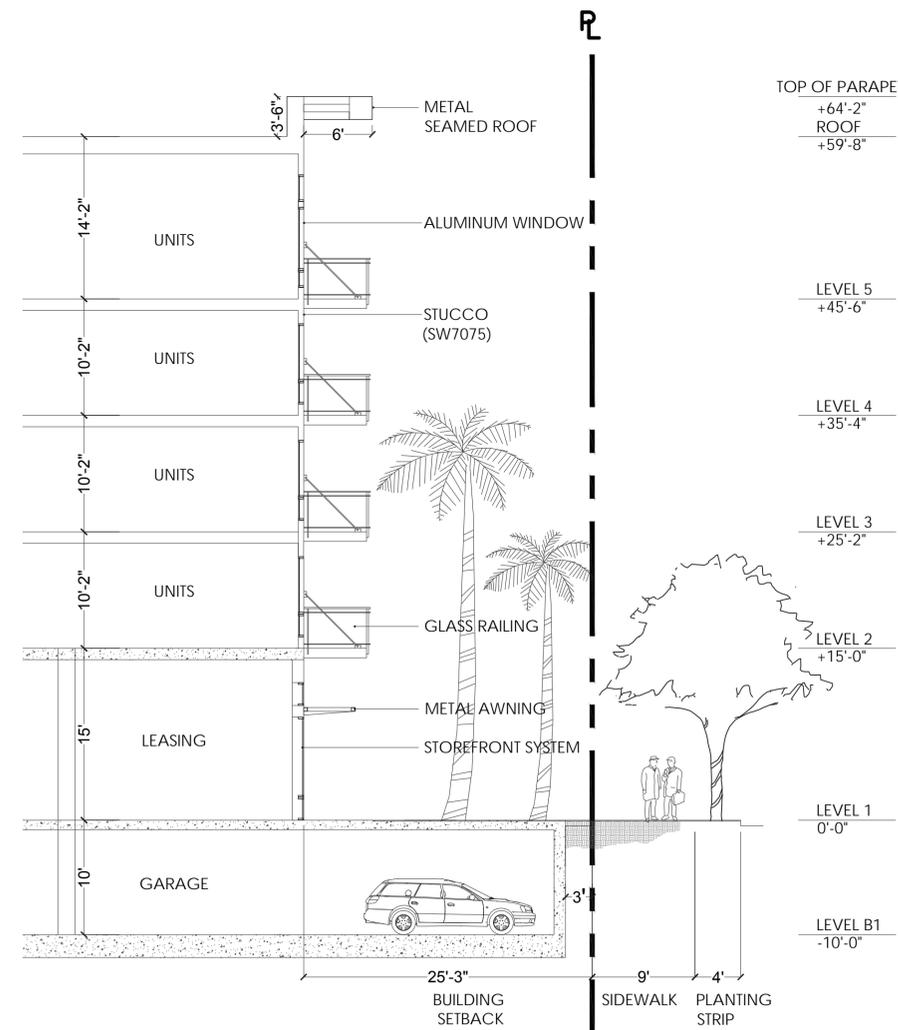
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BALCONY SECTION

SCALE: 1/8" = 1' - 0"

2



CORNER TOWER SECTION

SCALE: 1/8" = 1' - 0"

1

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Date: 4/18/2018
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Drawn By:

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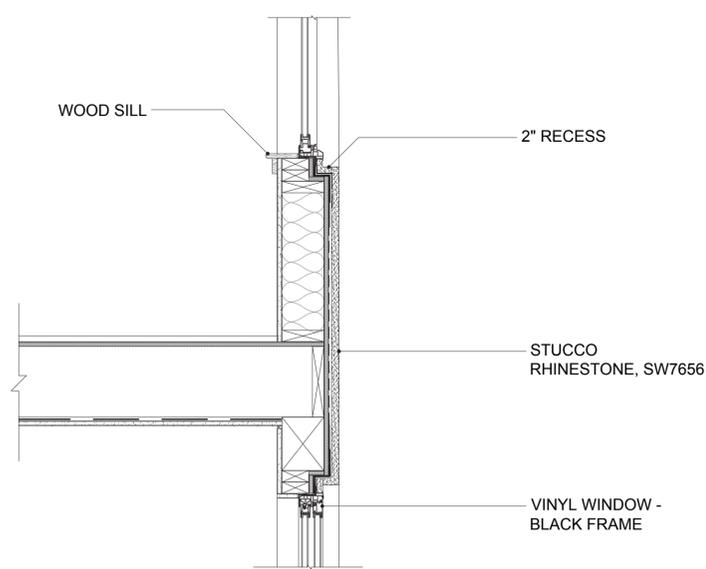


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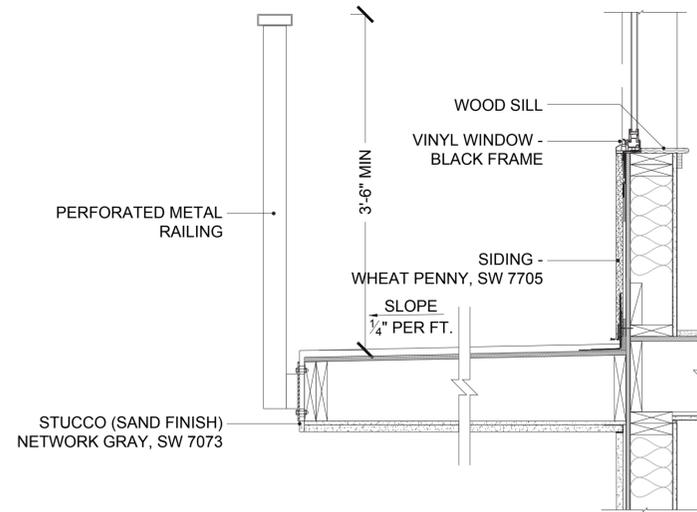
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RECESSED WINDOW DETAIL

6

SCALE: 1" = 1' - 0"



INSET BALCONY DETAIL

5

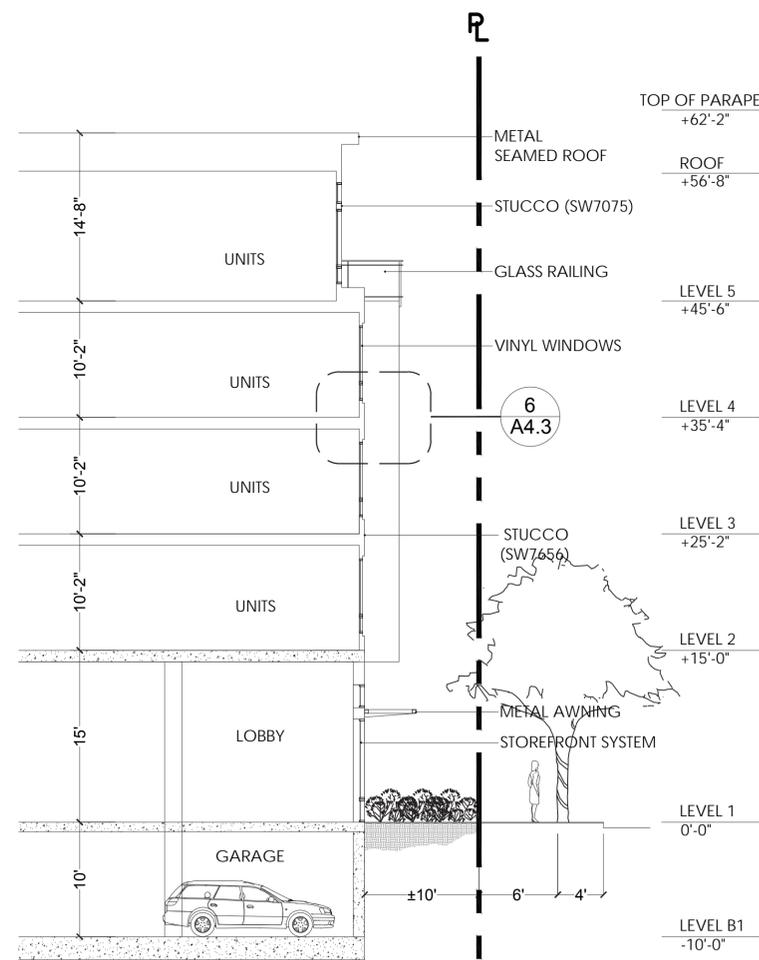
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ENLARGED ELEVATION

4

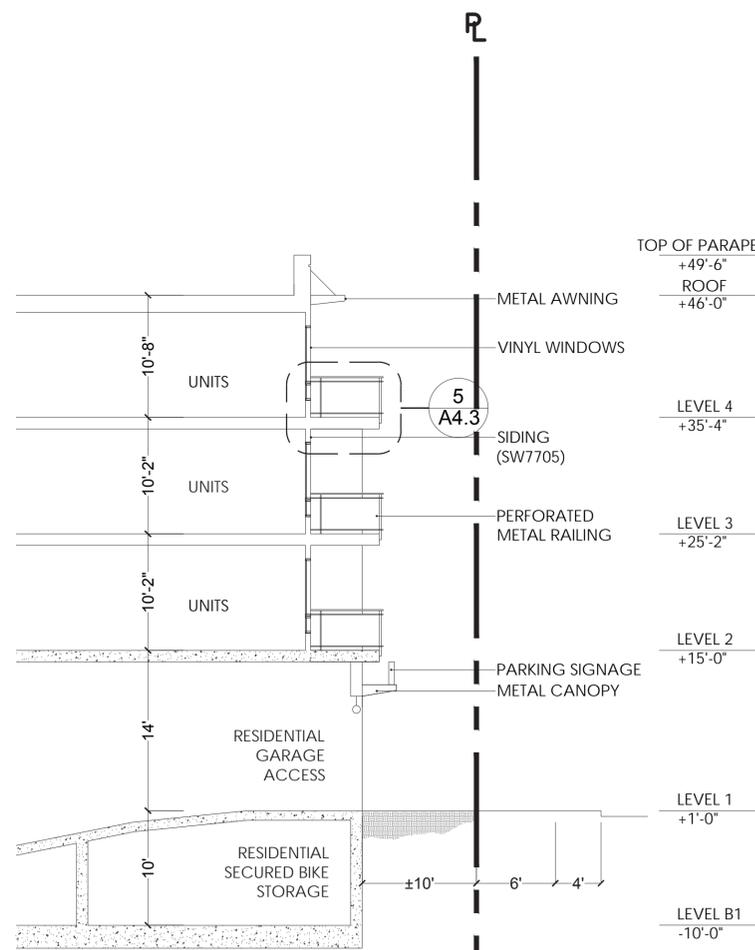
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LOBBY SECTION

3

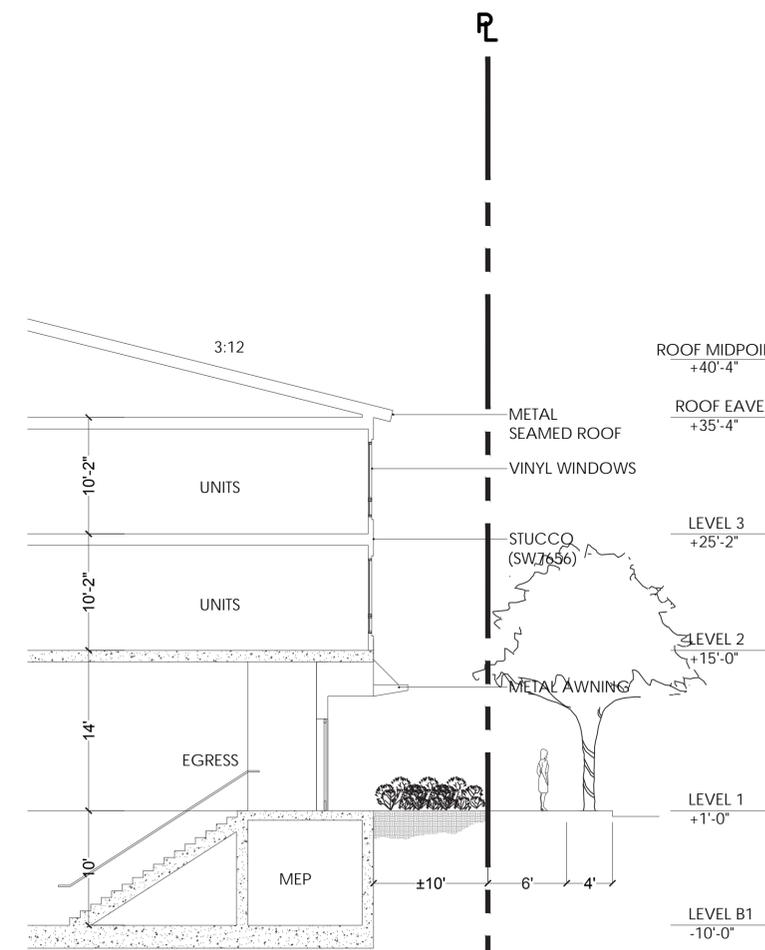
SCALE: 1/8" = 1' - 0"



RESIDENTIAL GARAGE ENTRY SECTION

2

SCALE: 1/8" = 1' - 0"



MCKINLEY / CHARLES CORNER SECTION

1

SCALE: 1/8" = 1' - 0"

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Job No. 16044
Date: 4/18/2018
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A4.3

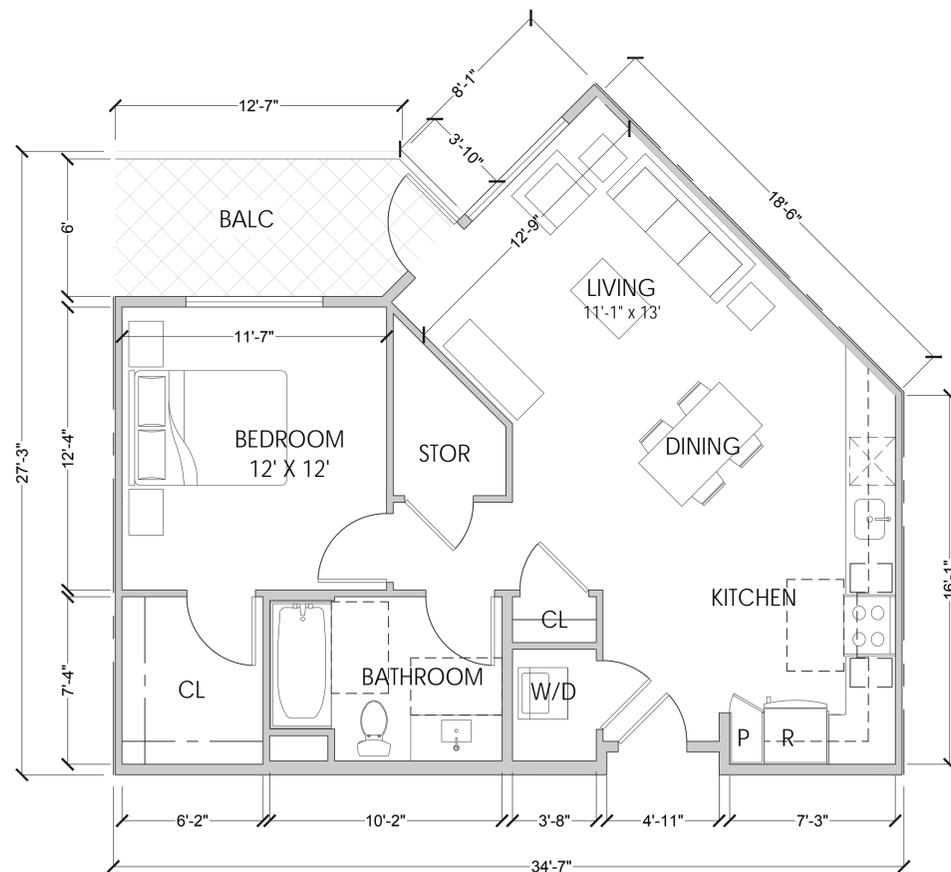


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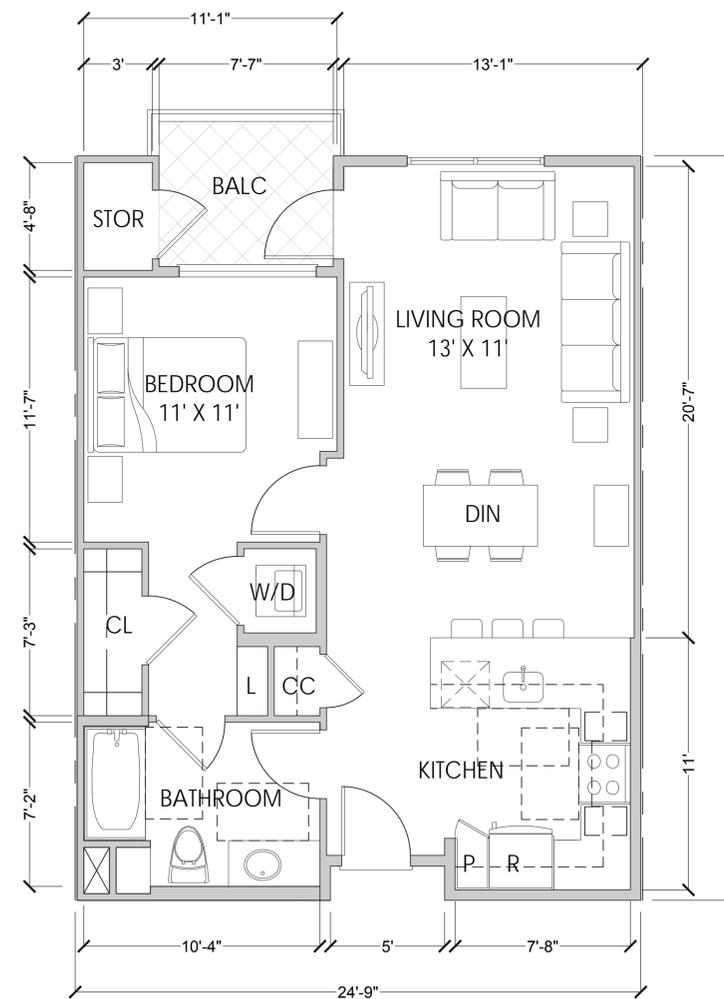
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UNIT 1E - 1BR + 1BA (775 SF)

SCALE: 1/4" = 1' - 0"

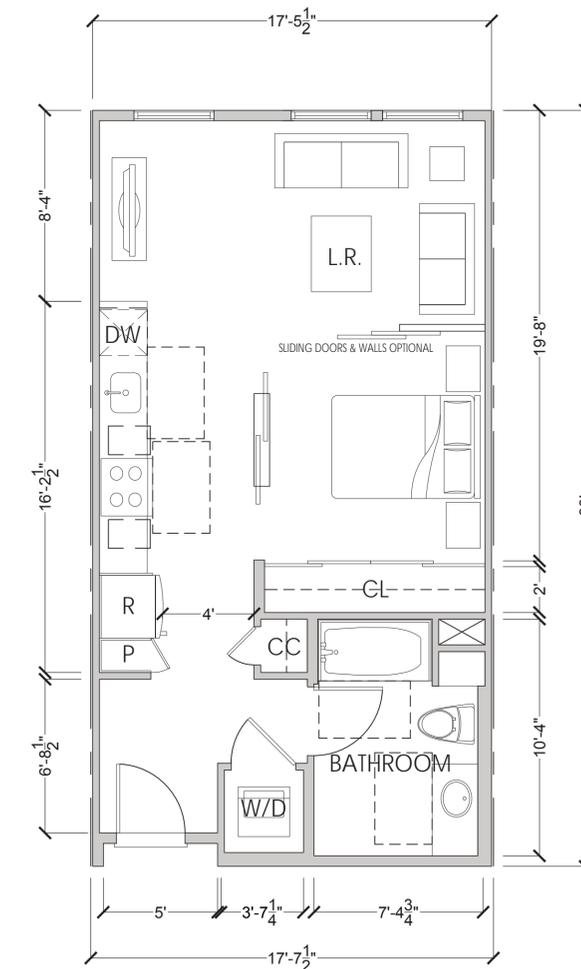
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UNIT 1B - 1BR + 1BA (705-848 SF)

SCALE: 1/4" = 1' - 0"

2



UNIT S - STUDIO (560-633 SF)

SCALE: 1/4" = 1' - 0"

1

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Sheet Title:
UNIT PLANS

Job No. 16044
Date: 4/18/2018
Scale: 1/4" = 1' - 0"
Drawn By:

Sheet No:

A5.0

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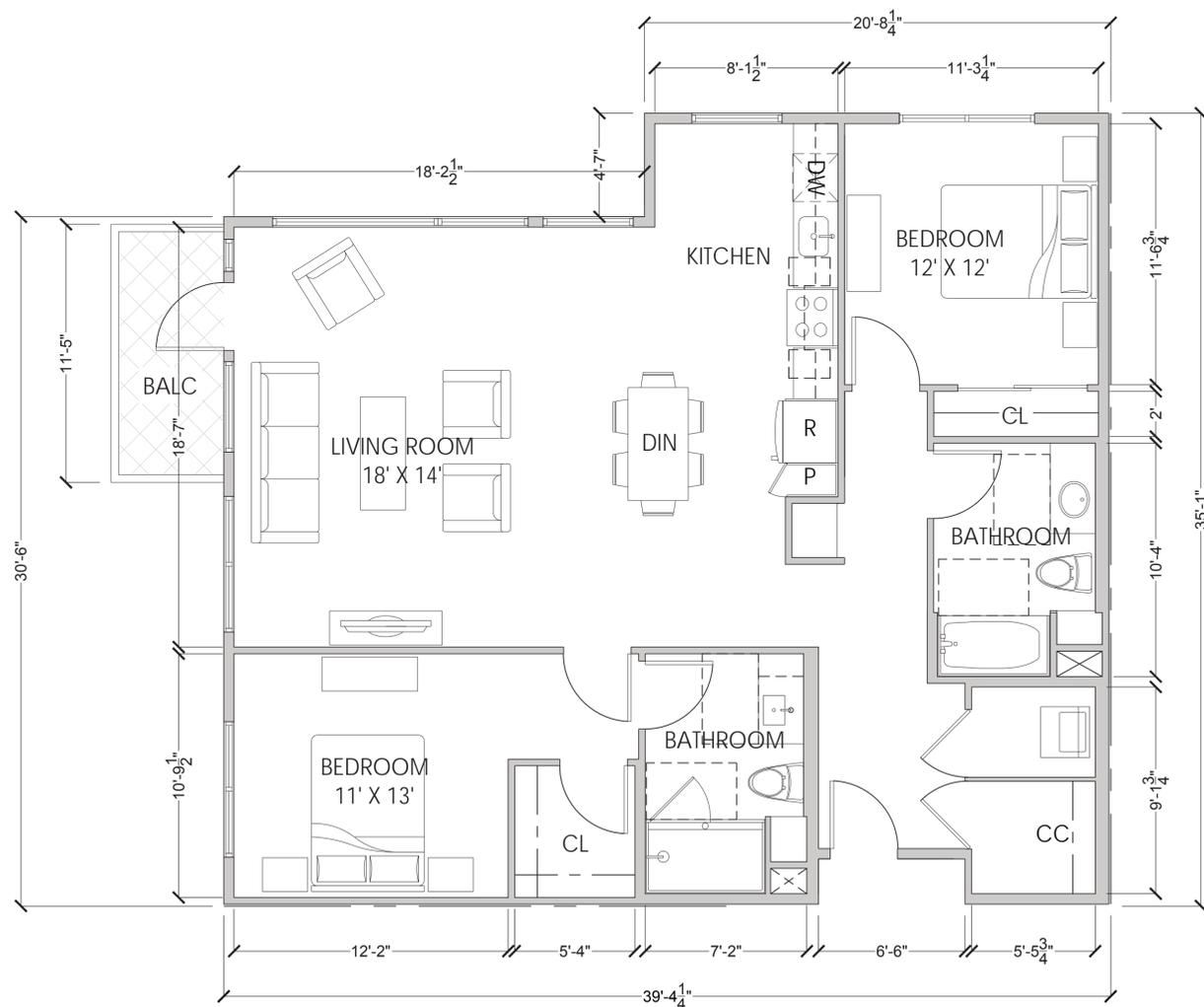


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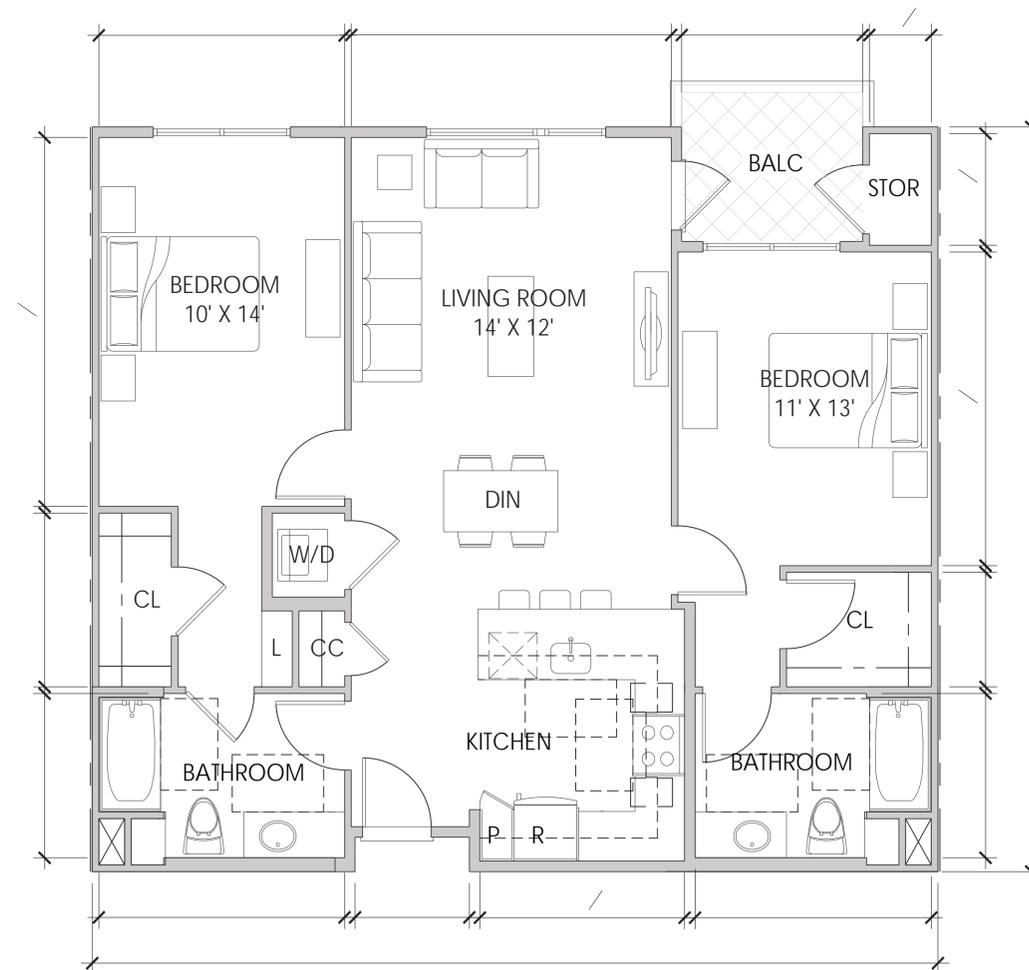
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UNIT 2C - 2BR + 2BA (1270 SF)

2

SCALE: 1/4" = 1' - 0"



UNIT 2A - 2BR + 2BA (1120-1190 SF)

1

SCALE: 1/4" = 1' - 0"

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Sheet Title:
 UNIT PLANS

Job No. 16044
 Date: 4/18/2018
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Sheet No:

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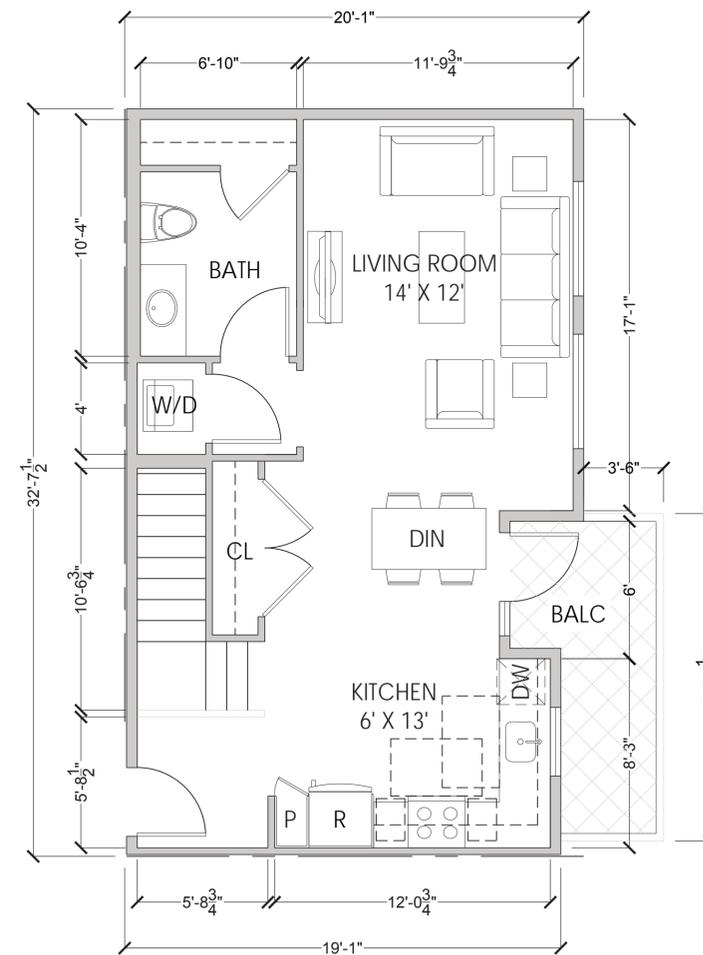
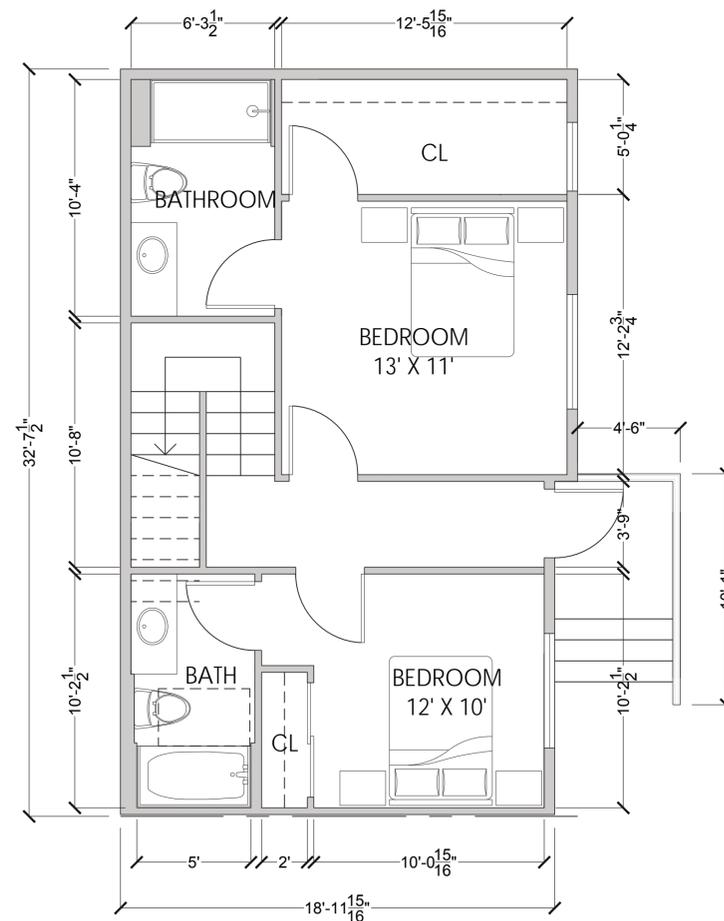


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UPP

UNIT TH - 2BR + 2.5BA (1248 SF)

SCALE: 1/4" = 1' - 0"

1

N U D N N ND N ND P N

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UNIT PLANS

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Sheet Title:
GREENPOINT RATED CHECK LIST

Job No. 16044
Date: 4/18/2018
Scale:
Drawn By:

Sheet No:

A5.3

NEW HOME RATING SYSTEM, VERSION 7.0							
MULTIFAMILY CHECKLIST							
Total Points Targeted: 110							
Current Score: 100							
POINTS REQUIRED							
Minimum Points: 75							
Targeted Points: 100							
Measures							
Category	Measure	Points Available	Points Earned	Comments	Notes	Points Required	
A. SITE	A1. Construction Footprint	1	1				
	A2. Job Site Construction Waste Diversion	2	2				
	A2.1 75% C&D Waste Diversion (Including Alternative Daily Cover)	2	2				
	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)	2	2				
	A2.3 Recycling Rates from Third-Party Verified Mixed Use Waste Facility	2	2				
	A3. Recycled Content Base Material	1	1				
	A4. Heat Island Effect Reduction (Non-Roof)	1	1				
	A5. Construction Environmental Quality Management Plan Including Flush-Out	1	1				
	A6. Stormwater Control: Prescriptive Path	3	3				
	A6.1 Permeable Paving Material	1	1				
A6.2 Filtration and/or Bio-Retention Features	1	1					
A6.3 Non-Leaching Roofing Materials	1	1					
A6.4 Smart Stormwater Street Design	1	1					
A7. Stormwater Control: Performance Path	3	3					
B. FOUNDATION	B1. Fly Ash and/or Slag in Concrete	1	1				
	B2. Radon-Resistant Construction	2	2				
	B3. Foundation Drainage System	2	2				
	B4. Moisture Controlled Crawspace	1	1				
	B5. Structural Pest Controls	1	1				
	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	1	1				
	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	1	1				
	C. LANDSCAPE	C1. Plants Grouped by Water Needs (Hydrozoning)	1	1			
		C2. Three Inches of Mulch in Planting Beds	1	1			
		C3. Resource Efficient Landscapes	3	3			
C3.1 No Invasive Species Listed by Cal-IPC		1	1				
C3.2 Plants Chosen and Located to Grow in Natural Soil		1	1				
C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species		1	1				
C4. Minimal Turf in Landscape		2	2				
C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide		2	2				
C4.2 Turf on a Small Percentage of Landscaped Area		2	2				
C5. Trees to Moderate Building Temperature		1	1				
C6. High-Efficiency Irrigation System	2	2					
C7. One Inch of Compost in the Top Six to Twelve Inches of Soil	1	1					
C8. Rainwater Harvesting System	1	1					
C9. Recycled Wastewater Irrigation System	1	1					
C10. Submeter or Dedicated Meter for Landscape Irrigation	2	2					
C11. Landscape Moisture Water Budget	1	1					
C12. Environmentally Preferable Materials for Site	1	1					
C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing	1	1					
C12.2 Play Structures and Surfaces Have an Average Recycled Content >20%	1	1					
C13. Reduced Light Pollution	1	1					

© Build It Green GreenPoint Rated New Home Multifamily Checklist Version 7.0

NEW HOME RATING SYSTEM, VERSION 7.0						
MULTIFAMILY CHECKLIST						
Total Points Targeted: 110						
Current Score: 100						
POINTS REQUIRED						
Minimum Points: 75						
Targeted Points: 100						
Measures						
Category	Measure	Points Available	Points Earned	Comments	Notes	Points Required
D. STRUCTURAL FRAME AND BUILDING ENVELOPE	D1. Qualified Value Engineering	2	2			
	D1.1 Joints, Rafters, and Studs at 24 Inches on Center	2	2			
	D1.2 Non-Load Bearing Door and Window Headers Sized for Load	2	2			
	D1.3 Advanced Framing Measures	2	2			
	D2. Construction Material Efficiencies	1	1			
	D3. Engineered Lumber	1	1			
	D3.1 Engineered Beams and Headers	1	1			
	D3.2 Wood Joists or Web Trusses for Floors	1	1			
	D3.3 Engineered Lumber for Roof Rafters	1	1			
	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications	1	1			
D4. Insulated Headers	1	1				
D4.1 Insulated Headers	1	1				
D5. FSC-Certified Wood	1	1				
D5.1 Dimensional Lumber, Studs, and Trimmer	1	1				
D5.2 Panel Products	1	1				
D6. Solid Wall Systems	1	1				
D6.1 At Least 90% of Floors	1	1				
D6.2 At Least 90% of Exterior Walls	1	1				
D6.3 At Least 90% of Roofs	1	1				
D7. Energy Heels on Roof Trusses	1	1				
D8. Overhangs and Gutters	1	1				
D9. Reduced Pollution Entering the Home from the Garage	1	1				
D9.1 Detached Garage	1	1				
D9.2 Mitigation Strategies for Attached Garage	1	1				
D10. Structural Pest and Rot Controls	1	1				
D10.1 All Wood Located At Least 12 Inches Above the Soil	1	1				
D10.2 Wood Framing Treated With Borates or Factory-Impregnated or Wall Materials Other Than Wood	1	1				
D11. Moisture-Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)	2	2				
E. EXTERIOR						
E1. Environmentally Preferable Decking	1	1				
E2. Flashing Installation Third-Party Verified	2	2				
E3. Rain Screen Wall System	2	2				
E4. Durable and Non-Combustible Cladding Materials	1	1				
E5. Durable Roofing Materials	1	1				
E5.1 Durable and Fire-Resistant Roofing Materials or Assembly	1	1				
E5.2 Roofing Warranty for Shingle Roofing	1	1				
E6. Vegetated Roof	2	2				
F. INSULATION						
F1. Insulation with 20% Post-Consumer or 60% Post-Industrial Recycled Content	1	1				
F1.1 Walls and Floors	1	1				
F1.2 Ceilings	1	1				
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions	1	1				
F2.1 Walls and Floors	1	1				
F2.2 Ceilings	1	1				
F3. Insulation That Does Not Contain Fire Retardants	1	1				
F3.1 Cavity Walls and Floors	1	1				
F3.2 Ceilings	1	1				
F3.3 Interior and Exterior Insulation	1	1				
G. PLUMBING						
G1. Efficient Distribution of Domestic Hot Water	1	1				
G1.1 Insulated Hot Water Pipes	1	1				
G1.2 WaterSense Showerheads for Hot Water Distribution	1	1				
G1.3 Increased Efficiency in Hot Water Distribution	1	1				
G2. Install Water-Efficient Fixtures	2	2				
G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2	2				

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NEW HOME RATING SYSTEM, VERSION 7.0						
MULTIFAMILY CHECKLIST						
Total Points Targeted: 110						
Current Score: 100						
POINTS REQUIRED						
Minimum Points: 75						
Targeted Points: 100						
Measures						
Category	Measure	Points Available	Points Earned	Comments	Notes	Points Required
H. HEATING, VENTILATION, AND COOLING	H1. Sealed Combustion Units	2	2			
	H1.1 Sealed Combustion Furnace	2	2			
	H1.2 Sealed Combustion Water Heater	2	2			
	H2. High-Performing Zoned Hydronic Radiant Heating System	1	1			
	H3. Effective Ductwork	1	1			
	H3.1 Duct Mastic on Duct Joints and Seams	1	1			
	H3.2 Pressure Balance the Ductwork System	1	1			
	H4. ENERGY STAR® Bathroom Fans Per HWI Standards with Air Flow Verified	1	1			
	H5. Advanced Practices for Cooling	1	1			
	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms	1	1			
H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room of Units	1	1				
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality	1	1				
H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards	1	1				
H6.2 Advanced Ventilation Standards	1	1				
H6.3 Outdoor Air is Filtered and Tempered	1	1				
H7. Effective Range Design and Installation	1	1				
H7.1 Effective Range Hood Ducting and Design	1	1				
H7.2 Automatic Range Hood Control	1	1				
H8. High Efficiency HVAC Filter (MERV 13+)	1	1				
H9. Advanced Refrigerants	1	1				
I. RENEWABLE ENERGY						
I1. Pre-Plumbing for Solar Water Heating	1	1				
I2. Preparation for Future Photovoltaic Installation	1	1				
I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	1	1				
I4. Net Zero Energy Home	1	1				
I4.1 Net Zero Energy Home	1	1				
I4.2 Net Zero Electric	1	1				
I5. Energy Storage System	1	1				
I6. Solar Hot Water Systems to Preheat Domestic Hot Water	1	1				
I7. Photovoltaic System for Multifamily Projects	1	1				
J. BUILDING PERFORMANCE AND TESTING						
J1. Third-Party Verification of Quality of Insulation Installation	1	1				
J2. Supply and Return Air Flow Testing	1	1				
J3. Mechanical Ventilation Testing	1	1				
J4. Combustion Appliance Safety Testing	1	1				
J5. Building Energy Performance	1	1				
J5.1 Home Meets or Exceeds Energy Compliance Pathway	1	1				
J5.2 Non-Residential Spaces Outperform Title 24	1	1				
J6. Title 24 Prepared and Signed by a CABC Certified Energy Analyst	1	1				
J7. Participation in Utility Program with Third-Party Plan Review	1	1				
J8. ENERGY STAR for Homes	1	1				
J9. EPA Indoor airPlus Certification	1	1				
J10. Blower Door Testing	1	1				
J11. Compartmentalization of Units	1	1				
K. FINISHES						
K1. Entrances Designed to Reduce Tracked-In Contaminants	1	1				
K1.1 Entrances to Individual Units	1	1				
K1.2 Entrances to Buildings	1	1				
K2. Zero-VOC Interior Wall and Ceiling Paints	1	1				
K3. Low-VOC Caulks and Adhesives	1	1				
K4. Environmentally Preferable Materials for Interior Finish	1	1				
K4.1 Cabinets	1	1				
K4.2 Interior Trim	1	1				

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NEW HOME RATING SYSTEM, VERSION 7.0						
MULTIFAMILY CHECKLIST						
Total Points Targeted: 110						
Current Score: 100						
POINTS REQUIRED						
Minimum Points: 75						
Targeted Points: 100						
Measures						
Category	Measure	Points Available	Points Earned	Comments	Notes	Points Required
K. APPLIANCES AND LIGHTING	K1. ENERGY STAR® Dishwasher	1	1			
	K2. Efficient Clothes Washing and Drying	2	2			
	K2.1 CEE-Rated Clothes Washer	2	2			
	K2.2 Energy Star Dryer	1	1			
	K3. Size-Efficient ENERGY STAR Refrigerator	1	1			
	K4. Permanent Centers for Waste Reduction Strategies	1	1			
	K4.1 Built-In Recycling Center	1	1			
	K4.2 Built-In Composting Center	1	1			
	K5. Lighting Efficiency	2	2			
	K5.1 High-Efficiency Lighting	2	2			
K5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant	2	2				
K6. Electric Vehicle Charging Stations and Infrastructure	1	1				
K7. Central Laundry	1	1				
K8. Gearless Elevator	1	1				
L. FLOORING						
L1. Environmentally Preferable Flooring	1	1				
L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential	1	1				
L3. Durable Flooring	1	1				
L4. Thermal Mass Flooring	1	1				
M. COMMUNITY						
M1. Smart Development	2	2				
M1.1 Infill Site	2	2				
M1.2 Designated Brownfield Site	1	1				
M1.3 Conserve Resources by Increasing Density	2	2				
M1.4 Cluster Homes for Land Preservation	1	1				
M1.5 Home Size Efficiency	1	1				
M2. Home(s)/Development Located Near Major Transit Stop	1	1				
M2.1 Within 1 Mile of a Major Transit Stop	1	1				
M2.2 Within 1/2 Mile of a Major Transit Stop	1	1				
M3. Pedestrian and Bicycle Access	1	1				
M3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	1	1				
M3.2 Enter the area of the home, in a safe feet	1	1				
M3.3 Enter the number of bedrooms	1	1				
M4. Outdoor Gathering Places	1	1				
M5. Social Interaction	1	1				
M5.1 Residence Enters with Views to Callers	1	1				
M5.2 Entrances Visible from Street and/or Other Front Doors	1	1				

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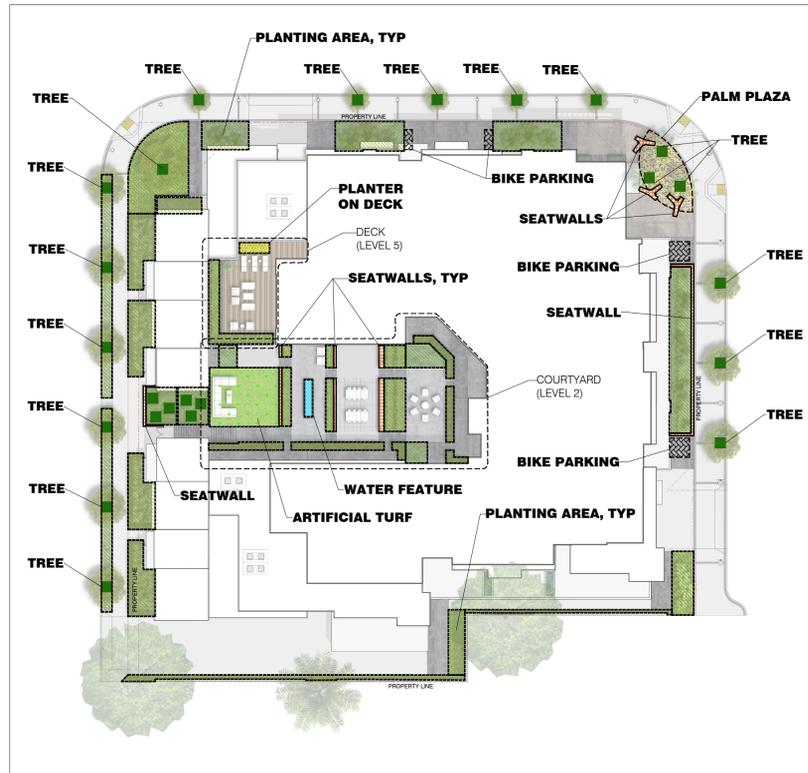
NEW HOME RATING SYSTEM, VERSION 7.0						
MULTIFAMILY CHECKLIST						

NOTES:

1. For Building Details, See Arch Dwgs.
2. For Street Improvement Details, See Civil Dwgs.
3. For Planting Information, See L4.0 Landscape Planting Plan



LANDSCAPE AREA DIAGRAM:



LANDSCAPE AREA LEGEND:

SYMBOL	LANDSCAPE ZONE	AREA/ SQ FT (INSIDE OF PROPERTY LINE)	AREA/ SQ FT (OUTSIDE OF PROPERTY LINE)	AREA/ SQ FT (TOTAL)
[Green Symbol]	TREES	112	272	384
[Light Green Hatching]	PLANTING AREA	4417	1198	5615
[Tan Hatching]	PALM PLAZA	311	14	325
[Blue Hatching]	ARTIFICIAL TURF	581	0	581
[Light Blue Hatching]	WATER FEATURE	42	0	42
[Orange Hatching]	SEATWALLS	238	32	270
[Grey Hatching]	BIKE PARKING	155	0	155
[Yellow Hatching]	PLANTER ON DECK	45	0	45
	TOTAL	5901	1516	7417

LANDSCAPE CONCEPT PLAN

PLAN



1/16" = 1' - 0"

SAW
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 2325 3rd St. #216 // San Francisco, CA 94107
 info@s-a-works.com // 415.890.4729
 www.s-a-works.com



311 Mathilda
 311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
 Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:

Landscape Concept Plan

Job No. 16044
 Date: 03/20/2018
 Scale: 1/16" = 1'-0"
 Drawn By:

Sheet No:

L1.0

- NOTES:**
- For Building Details, See Arch Dwg's.
 - For Street Improvement Details, See Civil Dwg's.
 - For Landscape Materials, See L1.0 Landscape Concept Plan
 - 3" of mulch applied on all exposed planting surfaces.
 - Compost at a minimum rate of 4 cy per 1000 sf of permeable area, to a depth of 6".
 - "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

ROOF DECK						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	<i>Agave attenuata</i> Foxtail Agave	--	5 or 15 Gal	7" O.C.	
	AB	<i>Agave shawii x attenuata</i> 'Blue Flame' Agave 'Blue Flame'	--	5 or 15 Gal	5" O.C.	
	AL	<i>Aloe hybrid</i> "LEO 3711" Super Red™ Aloe	--	5 or 15 Gal	40" O.C.	
	AY	<i>Anigozanthos</i> 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	24" O.C.	
	CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' Foerster's Feather Reed Grass	--	1 or 5 Gal	24" O.C.	
	PA	<i>Panicum virgatum</i> 'Heavy Metal' Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	
	PC	<i>Phormium cookianum</i> 'Cream Delight' Cream Delight New Zealand Flax	--	1 or 5 Gal	5" O.C.	
	VB	<i>Verbena bonariensis</i> Tall Verbena	--	5 or 15 Gal	30" O.C.	

COURTYARD						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AY	<i>Anigozanthos</i> 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	24" O.C.	
	CB	<i>Carex divulsa</i> Berkeley Sedge	--	1 or 5 Gal	24" O.C.	
	CS	<i>Carex phyllocephala</i> 'sparkler' Sparkler Sedge	--	1 or 5 Gal	24" O.C.	
	CT	<i>Chondropetalum tectorum</i> Small Cape Rush	--	1 or 5 Gal	30" O.C.	
	LG	<i>Liriope 'gigantea'</i> Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	LL	<i>Lomandra longifolia</i> 'Breeze' Dwarf Mat Rush	--	1 or 5 Gal	36" O.C.	
	RV	<i>Ribes viburnifolium</i> Evergreen Currant	--	1 or 5 Gal	30" O.C.	
	NC	<i>Nephrolepis cordifolia</i> California Sword Fern	--	15 Gal	30" O.C.	
	WG	<i>Woodwardia fimbriata</i> Giant Chain Fern	--	15 Gal	36" O.C.	
	PR	<i>Prunus caroliniana</i> 'Compacta' Dwarf Carolina Laurel Cherry	--	15 Gal	36" O.C.	
	RC	<i>Rhamnus californica</i> California Coffeeberry	--	15 Gal	36" O.C.	

TREES						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AR	<i>Acer rubrum</i> Red Maple	4	36" Box	30" O.C. As Shown	Sunnyvale Street Tree for 3 Mathilda Avenue. Follow City Specifications.
	CD	<i>Calocedrus decurrens</i> Incense Cedar	5	36" Box	30" O.C. As Shown	Sunnyvale Street Tree for W McKinley Avenue. Follow City Specifications.
	CO	<i>Cercis occidentalis</i> Western Redbud	6	8'-10" Tall	15" O.C. As Shown	3 Multi-stem Trees, 3 Standard
	QS	<i>Quercus shumardii</i> Shumard Oak	6	36" Box	30" O.C.	Sunnyvale Street Tree for Charles Street. Follow City Specifications.
	QS1	<i>Quercus shumardii</i> Shumard Oak	1	60" Box	30" O.C.	Sunnyvale Street Tree at Corner Garden. Follow City Specifications.
	PC	<i>Phoenix canariensis</i> Canary Island date palm	3	Transplant - Size Varies	As shown	Transplanted Trees from Site - Size Varies (22"-35" Diameter, 20'-45" Height)
	WR	<i>Washingtonia robusta</i> Mexican Fan Palm	3	Transplant - Size Varies	As shown	Transplanted Tree from Site - Size Varies (15"-21" Diameter, 40'-50" Height)

CHARLES ST PARK STRIP & CORNER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DA	<i>Dianella revoluta</i> 'Little Rev' Little Rev™ Flax Lily	--	1 or 5 Gal	24" O.C.	
	DI	<i>Diets iridioides</i> African Iris	--	1 or 5 Gal	30" O.C.	
	LG	<i>Liriope 'Gigantea'</i> Giant Lilyturf	--	1 or 5 Gal	30" O.C.	

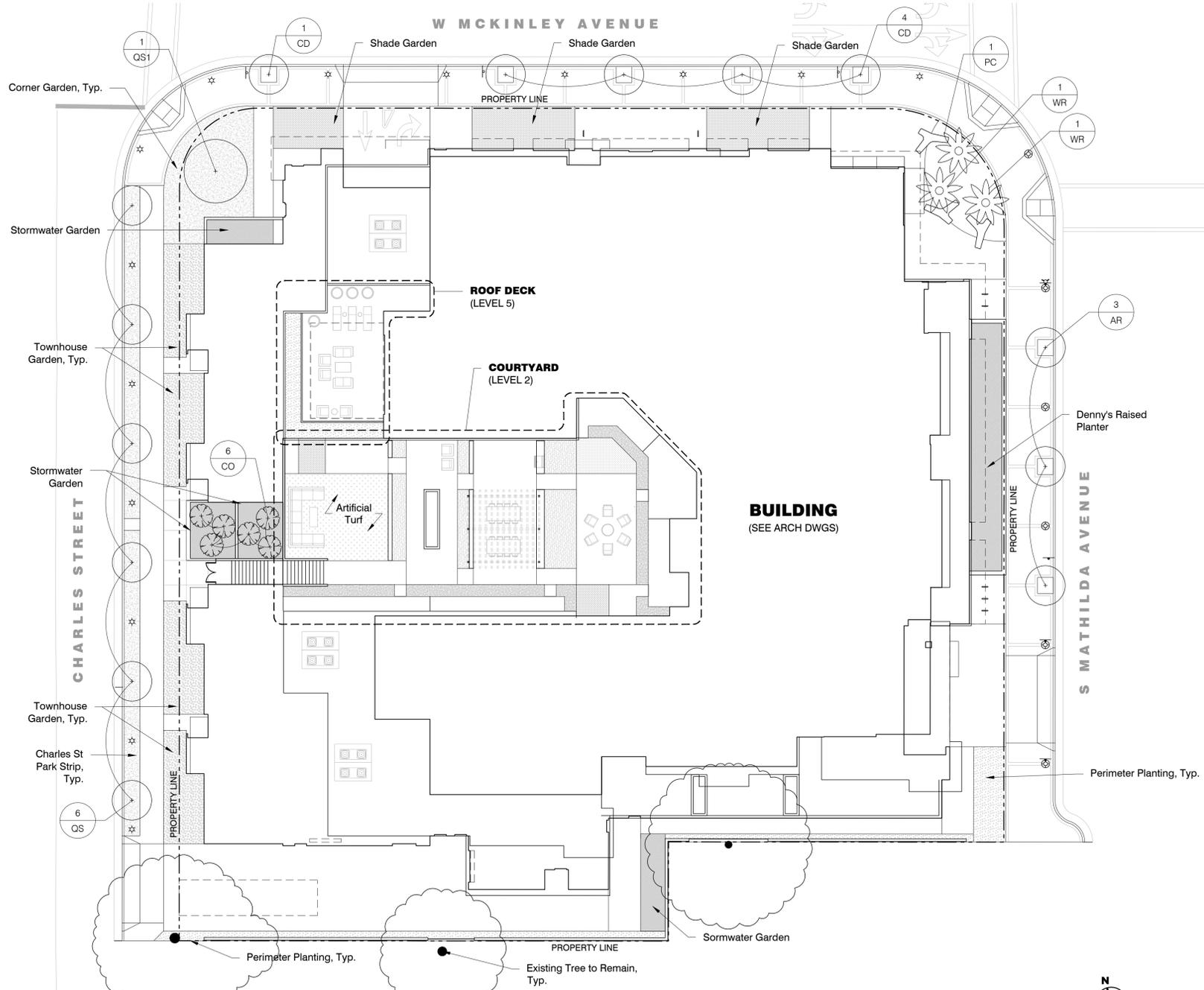
PERIMETER PLANTING						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AB	<i>Agave shawii x attenuata</i> 'Blue Flame' Agave 'Blue Flame'	--	5 or 15 Gal	5" O.C.	
	AG	<i>Agave 'Blue Glow'</i> Blue Glow Agave	--	5 or 15 Gal	24" O.C.	
	CP	<i>Carex phyllocephala</i> 'sparkler' Sparkler Sedge	--	1 or 5 Gal	15" O.C.	
	PC	<i>Phormium cookianum</i> 'Cream Delight' Cream Delight New Zealand Flax	--	1 or 5 Gal	5" O.C.	
	SF	<i>Semiarundinaria fastuosa</i> 'Vividis' Temple Bamboo	--	1 Gal	30" O.C.	

DENNY'S RAISED PLANTER (STORMWATER GARDEN)						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	<i>Agave attenuata</i> Foxtail Agave	--	5 or 15 Gal	5" O.C.	
	AC	<i>Aloe capitata</i> var. <i>quartzicola</i> Aloe	--	5 or 15 Gal	30" O.C.	
	CS	<i>Carex barbarae</i> Santa Barbara sedge	--	1 or 5 Gal	12" O.C.	
	AN	<i>Anigozanthos</i> 'Big Red' Big Red Kangaroo Paws	--	8'-10" Tall	30" O.C.	
	CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' Foerster's Feather Reed Grass	--	1 or 5 Gal	24" O.C.	
	CP	<i>Carex phyllocephala</i> 'sparkler' Sparkler Sedge	--	1 or 5 Gal	15" O.C.	
	DC	<i>Deschampsia caespitosa</i> 'Susan's Choice' Tufted Hair Grass	--	1 or 5 Gal	30" O.C.	
	FF	<i>Furcraea foetida</i> False Agave	--	5 or 15 Gal	6" O.C.	
	HR	<i>Hesperaloe parviflora</i> Red Yucca	--	5 or 15 Gal	30" O.C.	
	LG	<i>Liriope 'Gigantea'</i> Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	DT	<i>Dianella tasmanica</i> Tasman Flax-lily	--	1 or 5 Gal	24" O.C.	
	JC	<i>Juncus patens</i> California Grey Rush	--	1 or 5 Gal	12" O.C.	
	PA	<i>Panicum virgatum</i> 'Heavy Metal' Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	
	PE	<i>Pennisetum orientale</i> 'Fairy Tails' Evergreen Fountain Grass	--	1 or 5 Gal	30" O.C.	
	CT	<i>Chondropetalum tectorum</i> Small Cape Rush	--	1 or 5 Gal	12" O.C.	

SHADE GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DI	<i>Dicksonia antarctica</i> Tasmanian tree fern	--	15 Gal	12" O.C.	
	NE	<i>Nephrolepis cordifolia</i> California Sword Fern	--	15 Gal	30" O.C.	
	RI	<i>Ribes viburnifolium</i> Evergreen Currant	--	1 or 5 Gal	30" O.C.	
	WO	<i>Woodwardia fimbriata</i> Giant Chain Fern	--	15 Gal	36" O.C.	

STORMWATER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	CS	<i>Carex barbarae</i> Santa Barbara sedge	--	1 or 5 Gal	12" O.C.	
	CB	<i>Carex divulsa</i> Berkeley Sedge	--	1 or 5 Gal	12" O.C.	
	CL	<i>Chondropetalum elephantium</i> Large Cape Rush	--	1 or 5 Gal	24" O.C.	
	CT	<i>Chondropetalum tectorum</i> Small Cape Rush	--	1 or 5 Gal	12" O.C.	
	JC	<i>Juncus patens</i> California Grey Rush	--	1 or 5 Gal	12" O.C.	
	JE	<i>Juncus patens</i> 'Eik Blue' Eik Blue CA Rush	--	1 or 5 Gal	12" O.C.	

TOWNHOUSE GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DA	<i>Dianella revoluta</i> 'Little Rev' Little Rev™ Flax Lily	--	1 or 5 Gal	24" O.C.	
	DI	<i>Diets iridioides</i> African Iris	--	1 or 5 Gal	30" O.C.	
	EB	<i>Escaellonia bifida</i> White Escallonia	--	15 Gal	36" O.C.	
	HQ	<i>Hydrangea quercifolia</i> Oakleaf Hydrangea	--	15 Gal	4" O.C.	
	LG	<i>Liriope 'Gigantea'</i> Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	WF	<i>Woodwardia fimbriata</i> Giant Chain Fern	--	15 Gal	36" O.C.	



PLANTING PLAN
PLAN

SAW
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 2325 3rd St. #216 // San Francisco, CA 94107
 info@s-a-works.com // 415.890.4729
 www.s-a-works.com



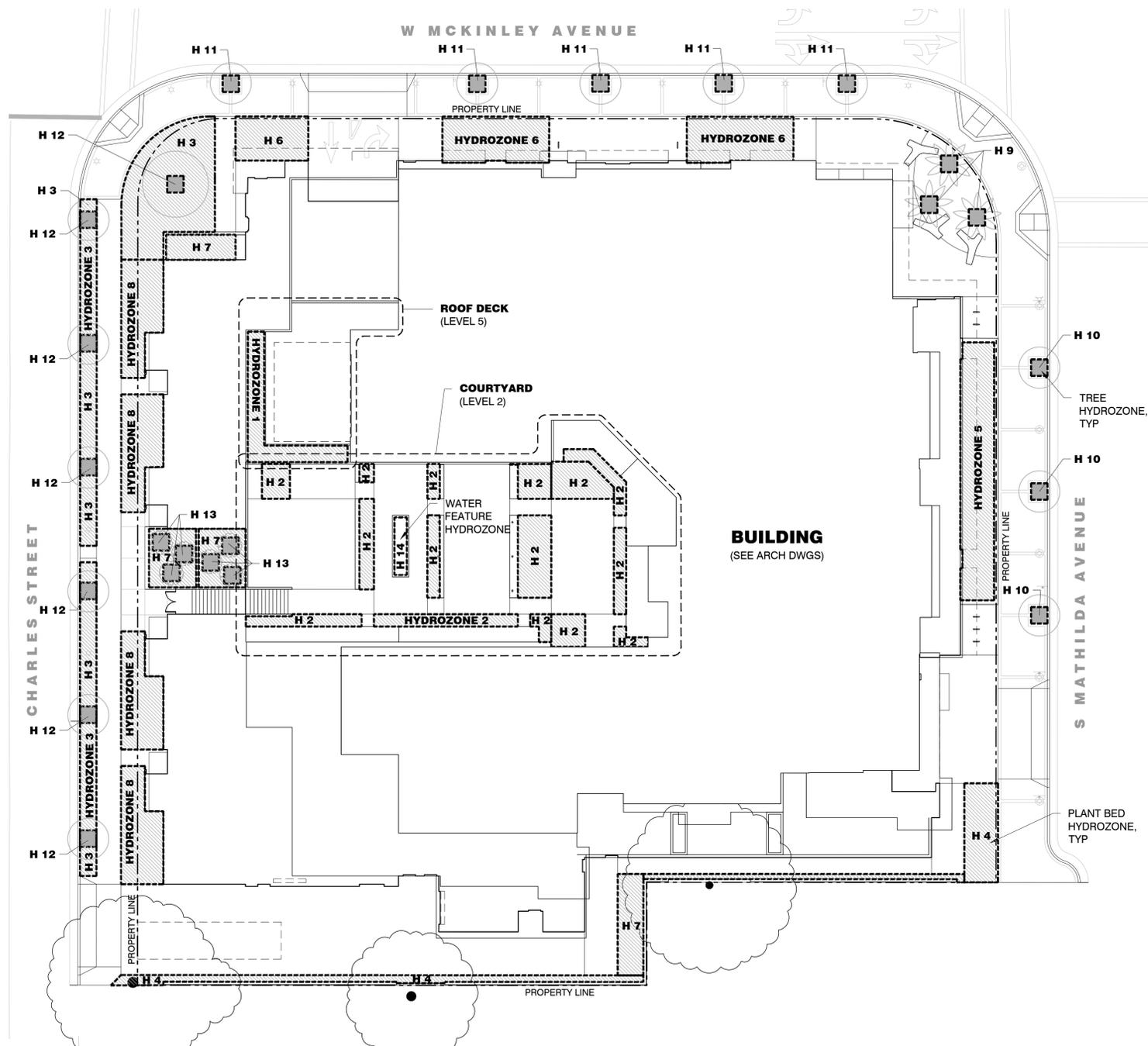
311 Mathilda
 311 S Mathilda Ave, Sunnyvale, CA 94086
Lane Partners / Bay West Development
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
 Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:
Landscape Planting Plan
 Job No. 16044
 Date: 03/20/2018
 Scale: 1/16" = 1'-0"
 Drawn By:

Sheet No:
L4.0

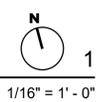
NOTES:

1. For Building Details, See Arch Dwgs.
2. For Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See L1.0 Landscape Concept Plan
4. For Planting Information, See L4.0 Landscape Planting Plan



HYDROZONE PLAN

PLAN



MAXIMUM APPLIED WATER ALLOWANCE		PROJECT #:
MAWA = (ETo) x (0.62) x [(0.45 x LA)+(0.55 x SLA)]		
ETo**	San Jose (Sunnyvale)	45.30 ETo (inches/year)
Enter total project Landscaped Area		6,042 LA (square feet)
Enter Special Landscaped Area		0 SLA (square feet)
RESULTS:		
		76,363.03 MAWA (gallons/year)

** Eto Values derived from Appendix A of the CA Model Water Efficient Landscape Ordinance, CA Dept. of Water Resources

MAWA= Maximum applied water allowance (gallons per year)
 ETo = Reference Evapotranspiration (inches per year)
 0.45 = ET Adjustment Factor (ETAF) for nonresidential projects
 LA = Planted landscaped area including SLA and not including hardscapes. Also include surface area of water features not using recycled water.
 0.62 = Conversion Factor (to gallons per square foot)
 SLA = Portion of the Landscaped Area identified as Special Landscaped Area. Also include surface area of water features using recycled water.
 0.55 = The additional ET Adjustment Factor for SLA (1.0 - 0.45 = 0.55)

ESTIMATED TOTAL WATER USE		PROJECT #:				
ETWU = (ETo) x (0.62) x [(PF x HA)/IE + SLA]						
Irrigation Efficiency Values						
Drip System	0.81					
Overhead Spray System	0.75					
Water Feature/Other	0.75					
Plant Water Use Type		Plant Factor				
Very Low	0 - 0.1					
Low	0.2 - 0.3					
Moderate	0.4 - 0.6					
High	0.7 - 1.0					
Water Feature (High)	1.0					
SLA	1.0					
HYDROZONE TABLE						
Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Irrigation Type	Irrigation Efficiency (IE)	Hydrozone Area (HA) (sq ft)	[PF x HA]/IE (sq ft)
1. ROOF DECK	Low	0.3	Drip System	0.81	208	77
2. COURTYARD	Moderate	0.4	Drip System	0.81	1,023	505
3. CHARLES ST PARK STRIP & CORNER PARK	Low	0.2	Drip System	0.81	1,139	281
4. PERIMETER PLANTING	Low	0.2	Drip System	0.81	509	628
5. DENNY'S RAISED PLANTER	Low	0.2	Drip System	0.81	509	126
6. SHADE GARDEN	Moderate	0.4	Drip System	0.81	764	377
7. STORMWATER GARDEN	Very Low	0.1	Drip System	0.81	484	60
8. TOWNHOUSE GARDEN	Moderate	0.4	Drip System	0.81	980	484
9. PALM TREES	Low	0.2	BUBBLER	0.81	48	12
10. RED MAPLE	Low	0.4	BUBBLER	0.81	48	24
11. INCENSE CEDAR	Low	0.2	BUBBLER	0.81	80	20
12. SHUMARD OAK	Low	0.2	BUBBLER	0.81	112	28
13. WESTERN REDBUD	Low	0.2	BUBBLER	0.81	96	24
14. WATER FOUNTAIN	High	1.0	OTHER	0.75	42	56
SLA	1				0	
Sum					6,042	2,701
RESULTS		MAWA = 76,363	ETWU = 75,854	gallons/year		

ETWU must be less than or equal to MAWA
 ETWU complies with MAWA

PROJECT MEETS WATER EFFICIENCY REQUIREMENTS:

ETWU is less than MAWA

SAW
 SAW // SPIEGEL AIHARA WORKSHOP
 2325 3rd St. #216 // San Francisco, CA 94107
 info@s-a-works.com // 415.890.4729
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Lane Partners / Bay West Development
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
 Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:
Landscape Hydrozone Plan

Job No. 16044
 Date: 03/20/2018
 Scale: 1/16" = 1'-0"
 Drawn By:

Sheet No:
L5.0

VESTING TENTATIVE MAP APPLICATION

A ONE LOT SUBDIVISION FOR CONDOMINIUM PURPOSES

311 MATHILDA AVENUE

CITY OF SUNNYVALE SANTA CLARA COUNTY, CALIFORNIA



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PROJECT SUMMARY

1. **OWNER/SUBDIVIDER:** LANE PARTNERS
644 MENLO AVE, 2ND FLOOR
MENLO PARK, CA 94025
2. **ENGINEER:** BKF ENGINEERS
4670 WILLOW ROAD, SUITE 250
PLEASANTON, CA 94588
TEL (925) 396-7700
FAX (925) 396-7799
3. **SUBDIVIDED AREA:** 44,111 SQ FT (APPROX. 1.01 ACRES)
(41,486 SQ FT AFTER PROPOSED STREET DEDICATION)
4. **UTILITIES:**
WATER SUPPLY: CITY OF SUNNYVALE
FIRE PROTECTION: CITY OF SUNNYVALE
SEWAGE DISPOSAL: CITY OF SUNNYVALE
STORM DRAIN: CITY OF SUNNYVALE
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TELEVISION: COMCAST
5. **APN:** 165-13-050
6. **ZONING:** DSP (DOWNTOWN SPECIFIC PLAN)
7. **LAND USE:** MIXED USE
8. **GENERAL PLAN:** COMMERCIAL GENERAL BUSINESS
9. **FLOOD ZONE DESIGNATION:** ZONE X PER MAP #06085C0206H
AREA OF 0.2% ANNUAL CHANCE FLOODPLANE
10. **NUMBER OF LOTS:** 1 WITH CONDOMINIUM UNITS
11. **NUMBER OF RESIDENTIAL CONDO UNITS:** 75
12. **NUMBER OF RETAIL CONDO UNITS:** 1



SHEET INDEX

NUMBER	DESCRIPTION
C0.0	CIVIL COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C2.0	PROPOSED CIVIL SITE PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	PRELIMINARY STORMWATER CONTROL PLAN

BENCHMARK

CITY OF SUNNYVALE BRASS DISK MONUMENT, DESIGNATED "BM2," SET IN TOP OF CURB NEXT TO CATCH BASIN AT TRAFFIC SIGNAL BOX ON THE SOUTHWEST CORNER OF WEST OLIVE AVE. AND MATHILDA AVE.
ELEVATION = 115.872 (NAVD88)

BASIS OF BEARINGS

NORTH 14°52'00" EAST, BEING THE EASTERLY LINE OF PARCEL 1, BEING PARALLEL AND DISTANT 60.00 FEET WESTERLY OF THE LINE BETWEEN TWO CITY MONUMENTS IN THE RIGHT OF WAY OF MATHILDA AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN BOOK 543 OF MAPS AT PAGE 24, RECORDS OF SANTA CLARA COUNTY.

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
APN	ASSESSOR PARCEL NUMBER	LF	LINEAR FOOT	STD	STANDARD
APPROX	APPROXIMATE	LP	LIP OF GUTTER	SWE	SIDEWALK EASEMENT
BFP	BACK FLOW PREVENTION DEVICE	LP	LIP POINT	TC	TOP OF CURB
BLDG	BUILDING	LP	LIP POINT	TEL, TELE	TELEPHONE
BW	BACK OF WALK	MAX	MAXIMUM	TG	TOP OF GRATE
C&G	CURB AND GUTTER	MIN	MINIMUM	THRU	THROUGH
CB	CATCH BASIN	MH	MANHOLE	TM	TENTATIVE MAP
CD	CURB DRAIN	MON	MONUMENT	TOS	TOP OF SLAB
CI	CURB INLET	(N)	NEW	TRANS	TRANSFORMER
CONC	CONCRETE	NO.	NUMBER	TS	TRAFFIC SIGNAL
CY	CUBIC YARDS	NTS	NOT TO SCALE	TSB/TSPB	TRAFFIC SIGNAL BOX
DEMO	DEMOLITION	PG&E	PACIFIC GAS & ELECTRIC	TYP	TYPICAL
DI	DROP INLET	PGE	P&G EASEMENT	UB	UTILITY BOX
DW	DOMESTIC WATER	PG&E TOWER LINE EASEMENT	PG&E TOWER LINE EASEMENT	UE	UTILITY EASEMENT
DW, D/W, DWY	DRIVEWAY	PIV	POST INDICATOR VALVE	USD	UNION SANITARY DISTRICT
E, ELEC	ELECTRIC	P/L	PROPERTY LINE	VCP	VITRIFIED CLAY PIPE
(E), EX, EXIST	EXISTING	POC	POINT OF CONNECTION	W	WATER
EB	ELECTRIC BOX	PROP	PROPOSED	WL	WATER LINE
EG	EXISTING GROUND	PRV	PRESSURE REDUCING VALVE	WM	WATER METER
EL, ELEV	ELEVATION	PSE	PUBLIC SURVEY EASEMENT	WV	WATER VALVE
EP	EDGE OF PAVEMENT	R	RADIUS	W/	WITH
ESMT	EASEMENT	ROP	REINFORCED CONCRETE PIPE		
ETW	EDGE OF TRAVELED WAY	RE	ROADWAY EASEMENT		
EVAE	EMERGENCY VEHICLE ACCESS	RIM	RIM ELEVATION		
FC	FACE OF CURB	R/W, R-O-W	RIGHT OF WAY		
FDC	FIRE DEPARTMENT CONNECTION	RTE	RAIL TRACK EASEMENT		
FF	FINISHED FLOOR	RUE	ROAD UTILITY EASEMENT		
FG	FINISH GRADE	S	SLOPE		
FH	FIRE HYDRANT	SD	STORM DRAIN		
FL	FLOW LINE	SDCB	STORM DRAIN CATCH BASIN		
FS	FINISHED SURFACE	SDCI	STORM DRAIN CURB INLET		
GB	GRADE BREAK	SDCO	STORM DRAIN CLEANOUT		
GM	GAS METER	SDJB	STORM DRAIN JUNCTION BOX		
HC/HCR	HANDICAP RAMP	SDMH	STORM DRAIN MANHOLE		
HDPE	HIGH DENSITY POLYETHYLENE	SHT	SHEET		
HP	HIGH POINT	SL	STREET LIGHT		
INV	INVERT	SOFT	SQUARE FEET		
IRR	IRRIGATION	SS	SANITARY SEWER		
JP	JOINT POLE	SSCO	SANITARY SEWER CLEANOUT		
JT	JOINT TRENCH	SSMH	SANITARY SEWER MANHOLE		
		SW, S/W	SIDEWALK		

LEGEND

PROPOSED	EXISTING
PROPERTY LINE	PROPERTY LINE
ELECTRICAL LINE	ELECTRICAL LINE
GAS LINE	GAS LINE
STORM DRAIN LINE	STORM DRAIN LINE
SANITARY SEWER	SANITARY SEWER
EX WATER LINE	EX WATER LINE
FIRE WATER LINE	FIRE WATER LINE
MANHOLE (MH)	MANHOLE (MH)
STORM DRAIN OVERFLOW (SDO)	STORM DRAIN OVERFLOW (SDO)
STORMWATER TREATMENT VAULT (STV)	STORMWATER TREATMENT VAULT (STV)
BACKFLOW PREVENTER (BFP)	BACKFLOW PREVENTER (BFP)
FIRE HYDRANT	FIRE HYDRANT
CLEANOUT (CO)	CLEANOUT (CO)
WATER VALVE (WV)	WATER VALVE (WV)
WATER METER (WM)	WATER METER (WM)
AREA DRAIN (AD)	AREA DRAIN (AD)
BIORETENTION AREA (SEE DETAIL 1/C5.0)	BIORETENTION AREA (SEE DETAIL 1/C5.0)
FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)	FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)

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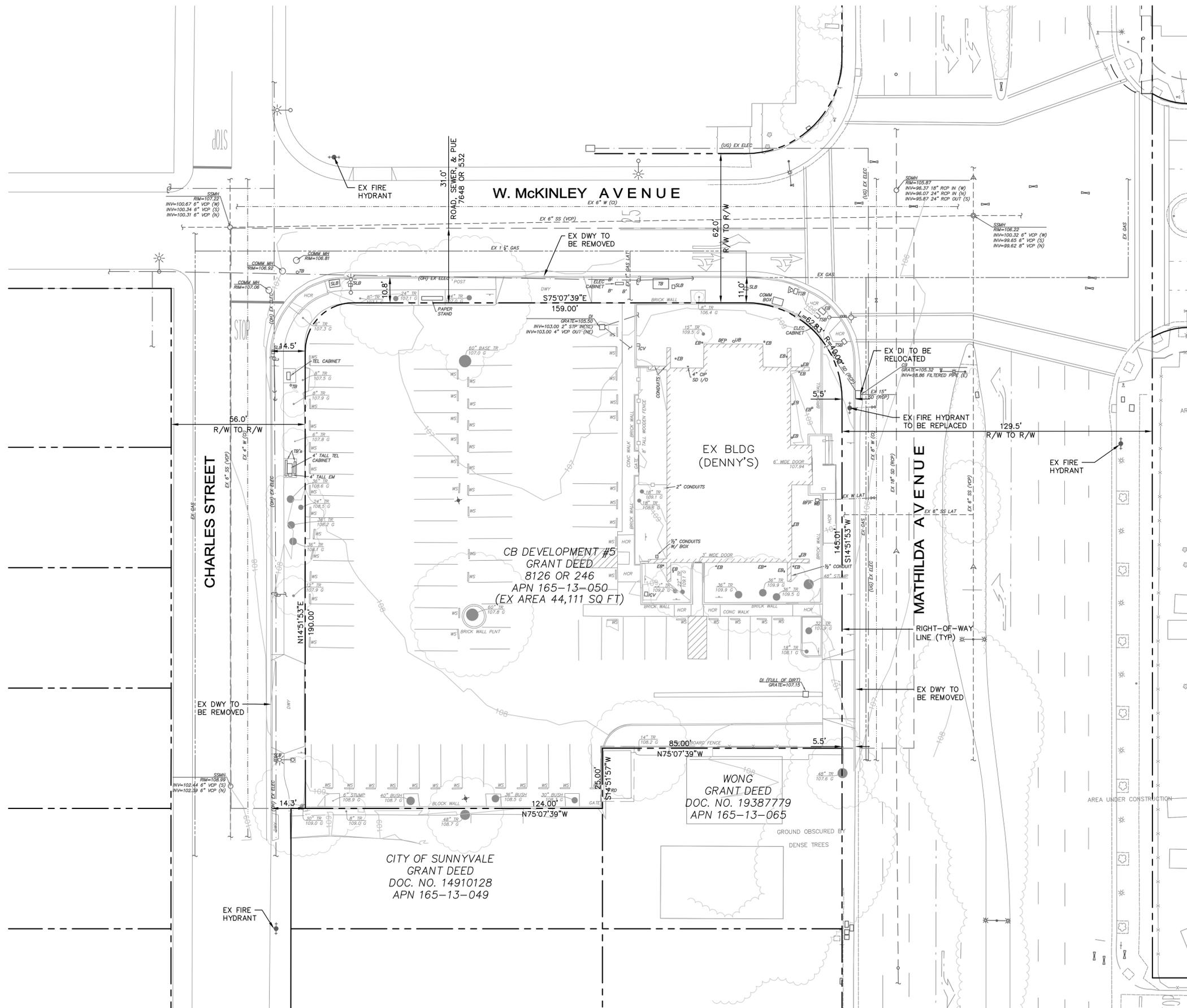
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CIVIL COVER SHEET

Job No. 20177004
Date: 06/04/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C0.0

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHEETS\C0_MAP\CV.dwg
PLOT DATE: 06-13-18 PLOTTED BY: arcc

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHEETS\01_MAPLEX.dwg
 PLOT DATE: 03-19-18 PLOTTED BY: arca



LEGEND:

- PROPERTY LINE
- EXISTING CONTOUR
- ☆ AREA/YARD LIGHT
- ⊕ ELECTROLIER
- ⊕ FIRE HYDRANT
- ⊕ SIGN
- ⊕ STREET LIGHT
- ⊕ GUY WIRE
- ⊕ JOINT POLE/POWER POLE
- ⊕ WATER VALVE
- ⊕ SIGNAL LIGHT

NOTES:

1. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR PROPERTY LINE UNLESS NOTED OTHERWISE.

ABBREVIATIONS:

B	==	BOLLARD
BFP	==	BACKFLOW PREVENTOR
BLDG COR	==	BUILDING CORNER
BW	==	BACK OF WALK
CB	==	CATCH BASIN
CCP	==	CONCRETE PAD
CIP	==	CAST IRON PIPE
COMM	==	COMMUNICATION
CONC	==	CONCRETE
DI	==	DROP INLET
EB	==	ELECTRICAL BOX
EP	==	EDGE OF PAVEMENT
HCR	==	HANDICAP RAMP
ICV	==	IRRIGATION CONTROL VALVE
MH	==	MANHOLE
SD	==	STORM DRAIN
SD I/O	==	STORM DRAIN INLET/OUTLET
SDMH	==	STORM DRAIN MANHOLE
SLB	==	STREET LIGHTING BOX
SSMH	==	SANITARY SEWER MANHOLE
TB	==	TELEPHONE BOX
TEL	==	TELEPHONE
TSB	==	TRAFFIC SIGNAL BOX
UB	==	UTILITY BOX
NM	==	WATER METER
WS	==	WHEEL STOP



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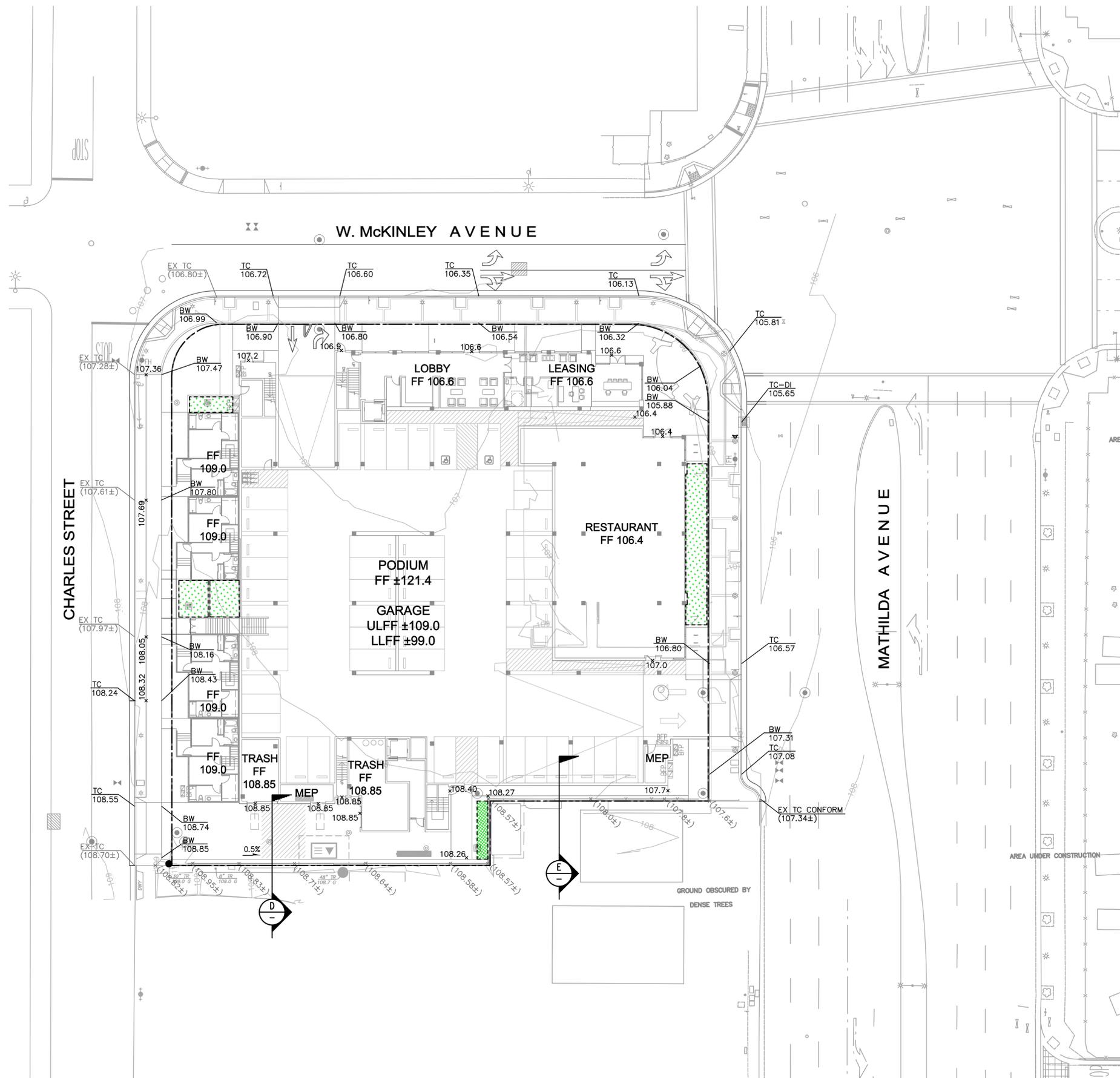
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Sheet Title:
EXISTING CONDITIONS PLAN

Job No. 20177004
 Date: 03/21/2018
 Scale: PER PLAN
 Drawn By: KA

Sheet No:
C1.0

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHEETS\03_MAP\03.dwg
PLOT DATE: 03-19-18 PLOTTED BY: arco



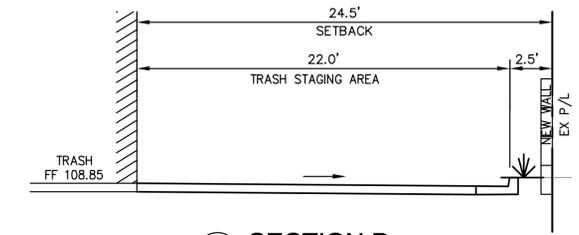
LEGEND:

- — — — — PROPERTY LINE
- - - - - GRADE BREAK/RIDGELINE
- [Green Dotted Box] FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)
- [Green Stippled Box] BIORETENTION AREA (SEE DETAIL 1/C5.0)
- (XX.X) X EXISTING GRADE
- XX.X X PROPOSED GRADE
- X.X% DRAINAGE SLOPE AND DIRECTIONAL LABEL
- MANHOLE
- STORMWATER TREATMENT VAULT

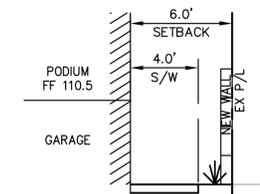
ABBREVIATIONS:

AD	AREA DRAIN
CB	CATCH BASIN
DI	DRAIN INLET
ESMT	EASEMENT
INV	INVERT
LP	LOW POINT
MH	MANHOLE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ. FT	SQUARE FEET
STV	STORMWATER TREATMENT VAULT
TC	TOP OF CURB
TYP	TYPICAL
W	WATER

- NOTES:**
- ALL GRADING WORK SHALL BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL RECOMMENDATIONS, INCLUDING SITE STRIPPING AND OVEREXCAVATION REQUIREMENTS.
 - LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
 - SEE SHEET C2.0 FOR CROSS-SECTIONS ALONG CHARLES STREET, MCKINLEY AVENUE AND MATHILDA AVENUE.



D SECTION D
1"=5'



E SECTION E
1"=5'

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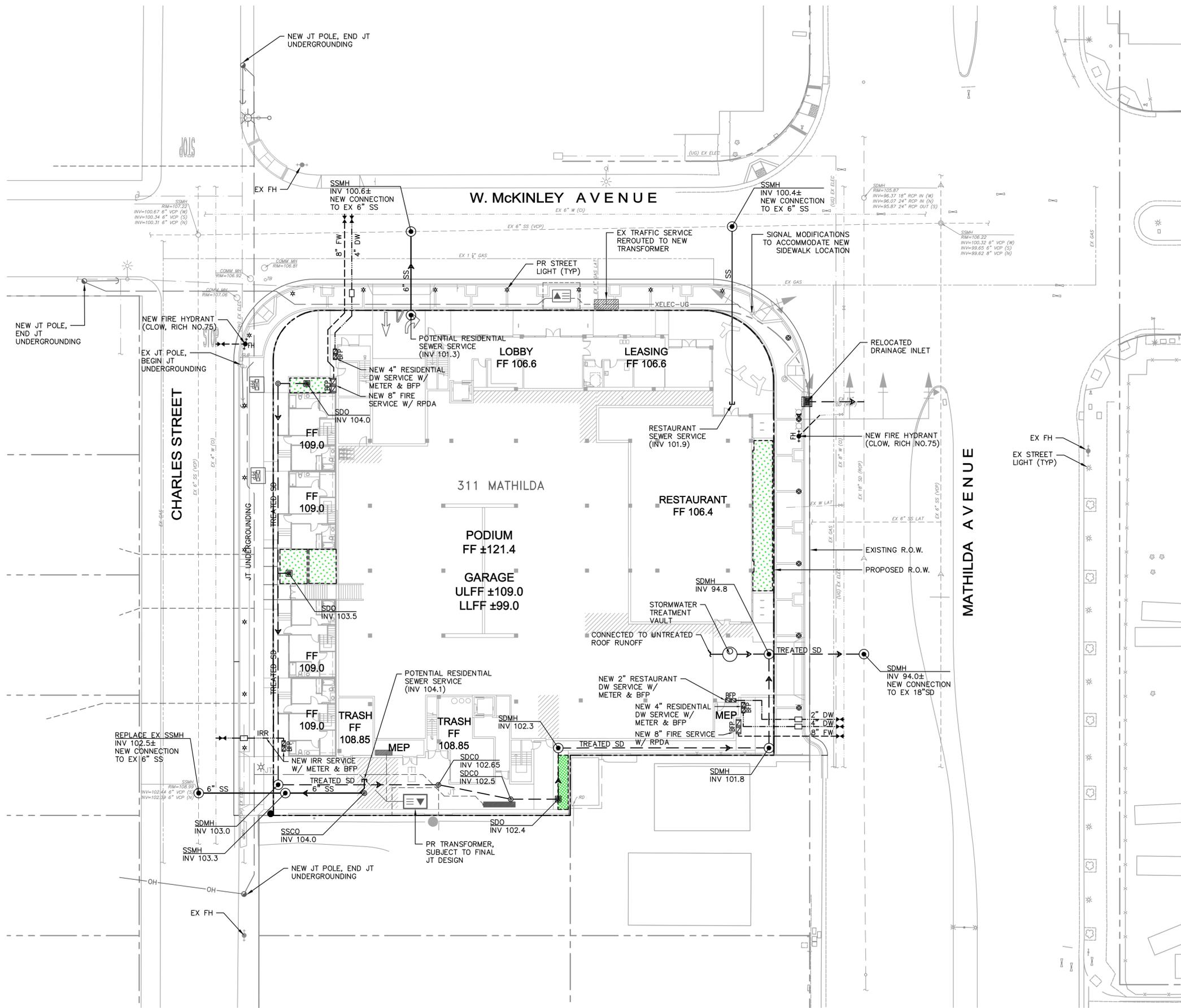
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Sheet Title:
PRELIMINARY GRADING PLAN

Job No. 20177004
Date: 03/21/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C3.0

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENR\PLANNING\04_MAPLUT.dwg
 PLOT DATE: 06-13-18 PLOTTED BY: arcc



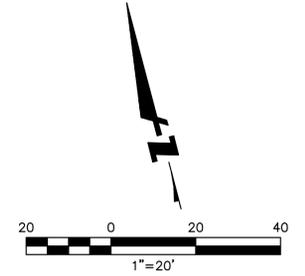
LEGEND:

- PROPERTY LINE
- - - EX ELECTRICAL LINE
- - - EX GAS LINE
- - - EX STORM DRAIN LINE
- - - EX SANITARY SEWER
- - - EX WATER LINE
- PR STORM DRAIN LINE
- PR SANITARY SEWER LINE
- PR DOMESTIC WATER LINE
- PR FIRE WATER LINE
- MANHOLE (MH)
- CLEANOUT (CO)
- STORM DRAIN OVERFLOW (SDO)
- STORMWATER TREATMENT VAULT (STV)
- BACKFLOW PREVENTER (BFP)
- WATER METER (WM)
- AREA DRAIN (AD)
- × WATER VALVE (WV)
- BIORETENTION AREA (SEE DETAIL 1/C5.0)
- FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)

ABBREVIATIONS:

AD	AREA DRAIN
BFP	BACKFLOW PREVENTER
CO	CLEANOUT
DW	DOMESTIC WATER
EX	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
FW	FIRE WATER
INV	INVERT
IRR	IRRIGATION
JT	JOINT TRENCH
MH	MANHOLE
OH	OVER HEAD
S	SLOPE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
SDO	STORM DRAIN OVERFLOW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TYP	TYPICAL
UG	UNDERGROUND
USD	UNTREATED STORM DRAIN LINE
W	WATER
WM	WATER METER
WV	WATER VALVE

- NOTES:**
1. WATER SEWER AND STORM DRAIN IMPROVEMENTS TO BE INSTALLED PER CITY DESIGN STANDARDS.
 2. BACKFLOW PREVENTERS SHALL BE LOCATED ON PRIVATE PROPERTY.
 3. EXISTING BUILDING LATERALS TO BE REMOVED/ABANDONNED.
 4. TRAFFIC SIGNAL POLE, MAST ARM, AND SIGNAL HEADS AT THE SOUTHWEST CORNER OF MATHILDA AVENUE AND MCKINLEY AVENUE SHALL BE UPGRADED PER DOWNTOWN STREETScape STANDARD DETAIL REQUIREMENTS AND RELOCATED IN COORDINATION WITH THE INTERSECTION IMPROVEMENTS. PREVIOUS PLANS TO MODIFY THE EXISTING SIGNAL POLE AT THE SOUTHWEST CORNER OF MATHILDA AND MCKINLEY TO THE ULTIMATE CONDITION AS PART OF A SEPARATE DEVELOPMENT WILL REQUIRE STAGING DUE TO THE CONSIDERABLE DIFFERENCE IN LOCATIONS BETWEEN EXISTING AND PROPOSED CURB RAMPS. IMPROVEMENT STAGING TO BE COORDINATED WITH THE DIVISION OF TRANSPORTATION AND TRAFFIC (DOT) STAFF AT THE CITY DURING THE PROJECT OFFSITE IMPROVEMENT PHASE.



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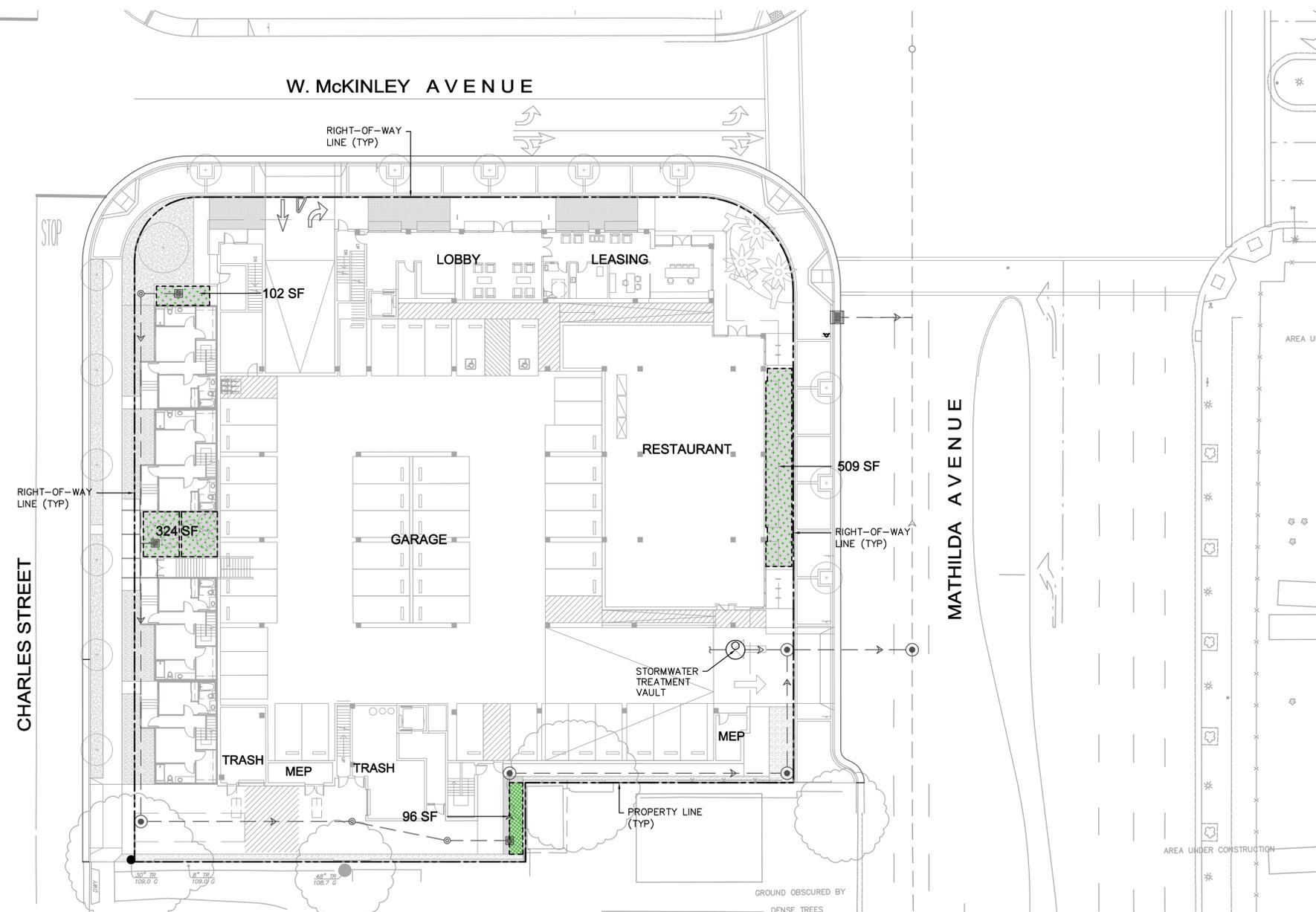
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Sheet Title:
PRELIMINARY UTILITY PLAN

Job No. 20177004
 Date: 06/04/2018
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 Drawn By: KA

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LEGEND:

- PROPERTY LINE
- - - EX STORM DRAIN LINE
- - - PR STORM DRAIN LINE
- [Pattern] FLOW-THRU PLANTER (SEE DETAIL 2, THIS SHEET)
- [Pattern] BIORETENTION AREA (SEE DETAIL 1, THIS SHEET)
- STORMWATER TREATMENT VAULT (STV)
- STORM DRAIN MANHOLE (SDMH)
- STORM DRAIN OVERFLOW (SDO)

NOTES:

- THIS PROJECT QUALIFIES FOR 65% TRANSIT-ORIENTED DEVELOPMENT (TOD) CREDITS UNDER THE MRP CATEGORY C SPECIAL PROJECT CRITERIA.

TOD CREDITS:

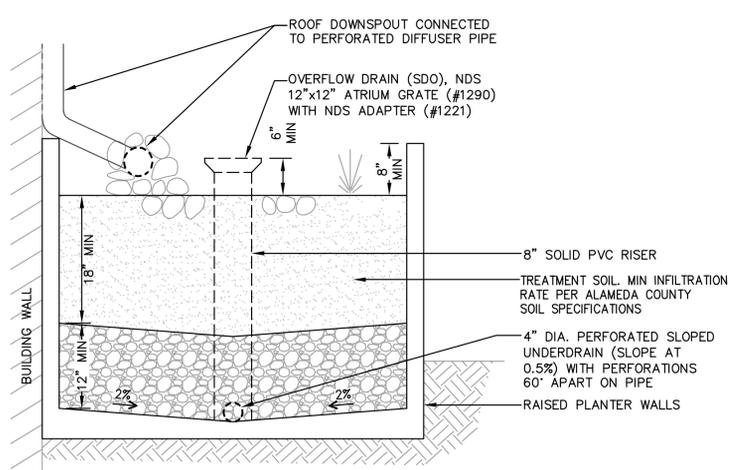
- + 25% - LOCATION [WITHIN 0.5 MILES OF EXISTING TRANSIT HUB]
- + 20% - DENSITY [> 60 DU/AC]
- + 20% - PARKING [0% AT-GRADE PARKING]
- + 65% - TOTAL CREDITS

- FLOW-THRU PLANTERS AND BIORETENTION AREAS ARE SIZED FOR 4% OF THE IMPERVIOUS AREA DRAINING TO THEM PER THE FLOW TREATMENT SIZING METHOD.

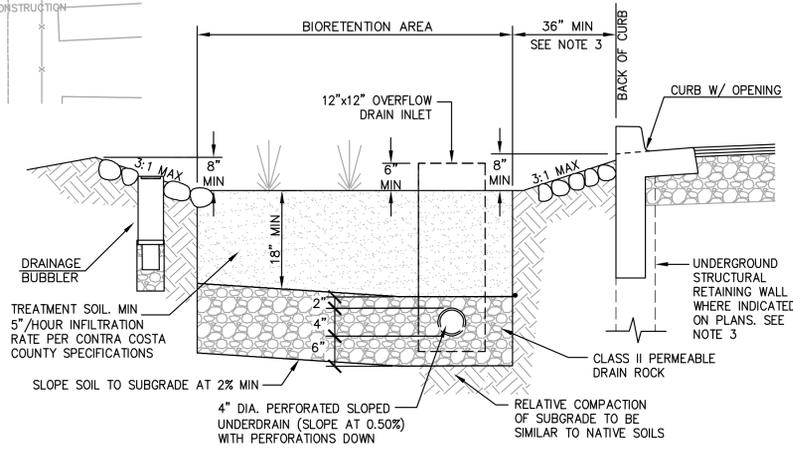
STORMWATER MANAGEMENT TABLE

Method of Treatment	Description of Drainage Area	Drainage Area (sf)	% of Total Drainage Area	Required Treatment Area* (sf)	Potential Treatment Area (sf)	Excess (sf)
Bioretention Area	Pavement	2,375	6%	95	96	1
Flow-Thru Planter	Roof	13,500	35%	540	935	395
2:1 Drain to Landscape	Pavement	3,295	9%	1,571	1,767	196
Media Filtration Vault	Pavement, Podium, & Roof	19,167	50%	N/A	N/A	N/A

*SEE NOTE 2.



2 FLOW-THRU PLANTER
NTS



1 BIORETENTION AREA
NTS

- NOTES:**
- PLACE 4" MIN. DIA. APPROVED NOYO COBBLE (OR APPROVED EQUIVALENT) FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" FROM EDGE OF STRUCTURE.
 - TREATMENT SOIL TO BE UNCOMPACTED AT FINAL CONDITION. KEEP HEAVY EQUIPMENT OUT OF TREATMENT AREAS.
 - STRUCTURAL BIORETENTION RETAINING WALL WITH FOOTING OR CROSS-BRACING REQUIRED AT ALL LOCATIONS WHERE BIORETENTION BASINS ARE LESS THAN 3' FROM CURB OR WALL.

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHEETS\05_MAPL\SW.dwg
PLOT DATE: 03-19-18 PLOTTED BY: arca

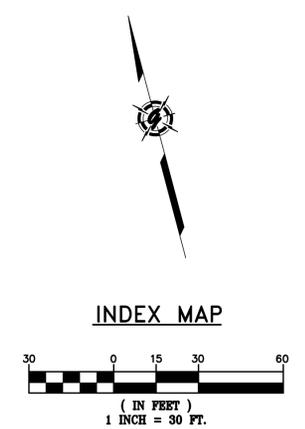
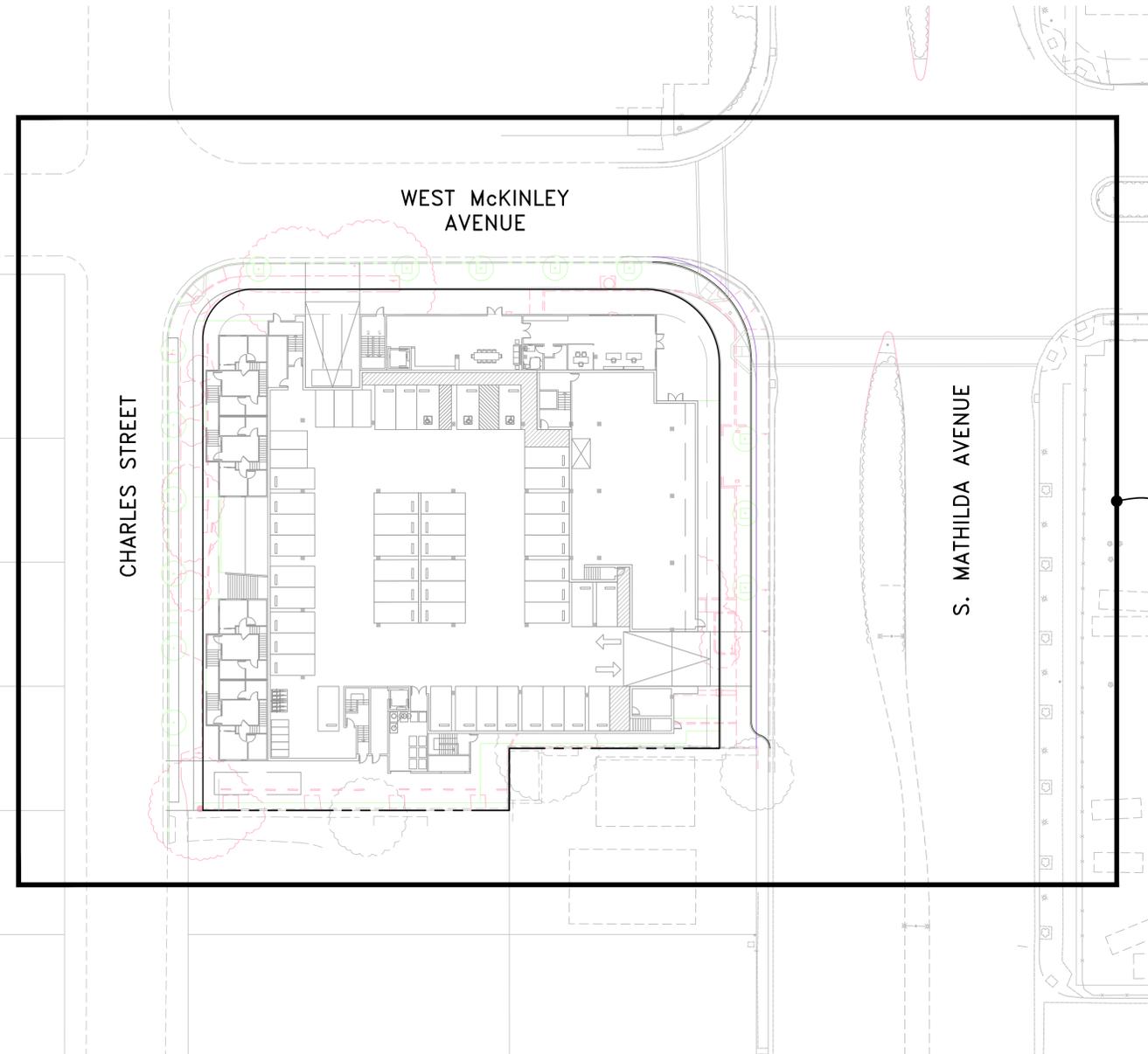
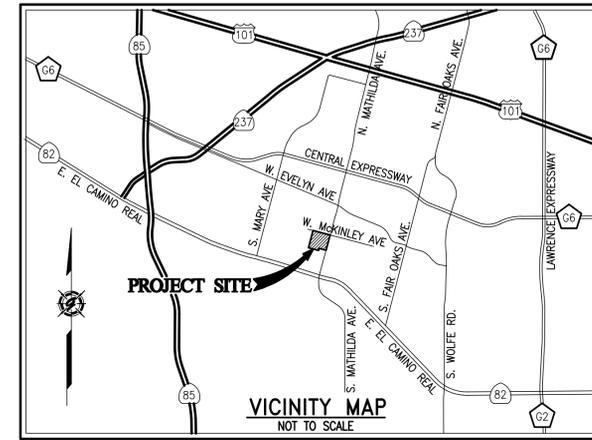
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Sheet Title:
PRELIMINARY STORMWATER CONTROL PLAN
Job No. 20177004
Date: 03/21/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C5.0

**LANE PARTNERS
311 MATHILDA
311 SOUTH MATHILDA AVE.
SUNNYVALE, CALIFORNIA
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



SEE SHEET INT2

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DESIGN SERVICES, INC.
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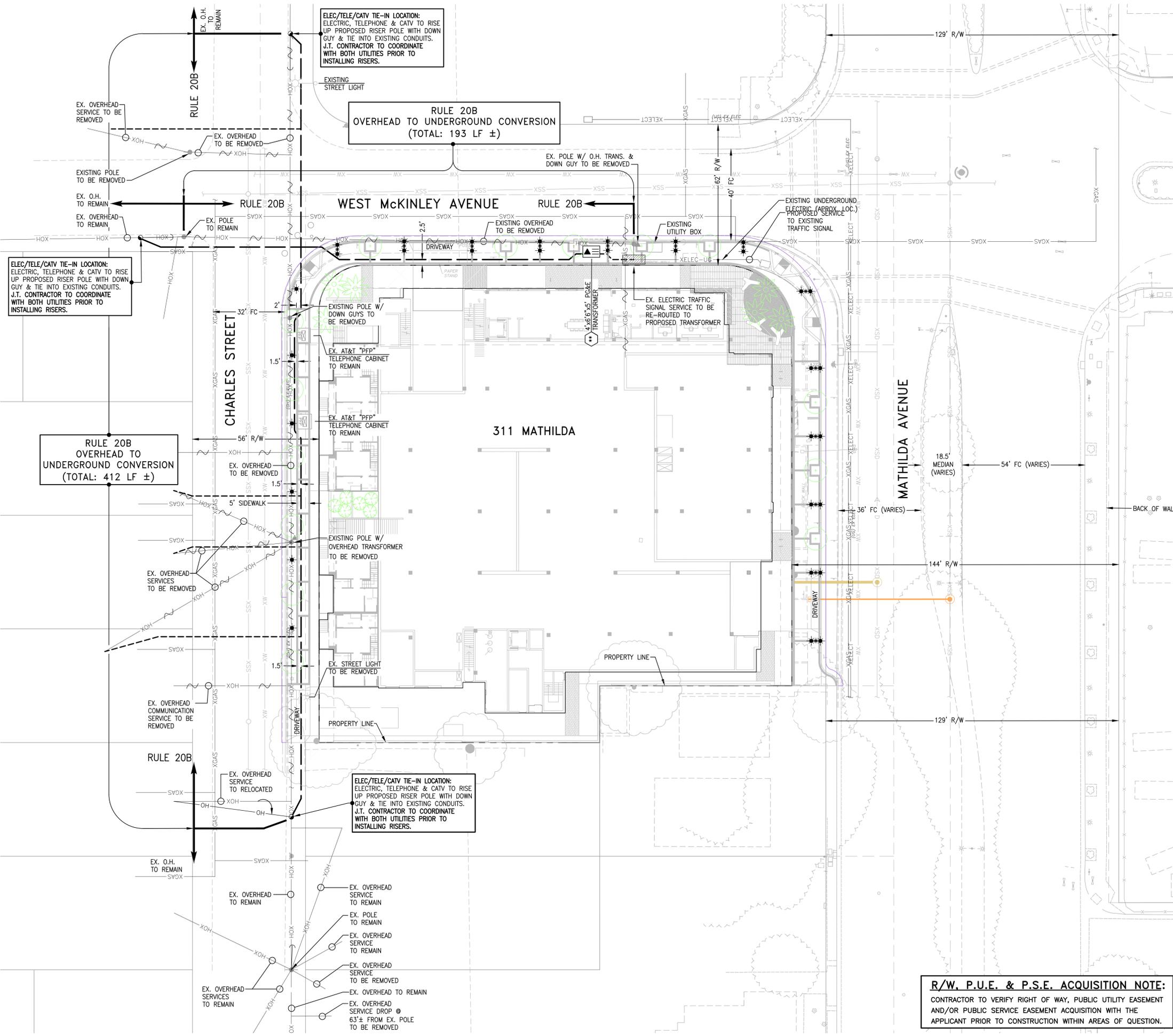
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Sheet Title:
**JOINT TRENCH INTENT
TITLE SHEET**

Job No. 17-093
Date: 03/21/2018
Scale: 1"=30'
Drawn By: JPS

Sheet No:
INT1

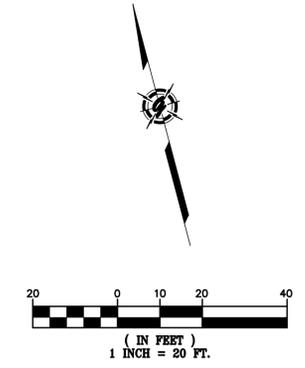


LEGEND

- EXISTING TRENCH OR UTILITIES
- PROPOSED TRENCH (DISTRIBUTION)
- PROPOSED TRENCH (SERVICE)
- PROPOSED STREET LIGHT TRENCH
- EXISTING UTILITY SPLICE BOX
- PROPOSED POST TOP STREET LIGHT
- PROPOSED DOUBLE ARM POST TOP STREET LIGHT
- EXISTING STREET LIGHT
- PROPOSED NEW RISER POLE
- PROPOSED NEW GUY ANCHOR
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE GUY ANCHOR
- 4'x6'6'x5' PG&E TRANSFORMER

GIACALONE
DESIGN SERVICES, INC.
5820 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.487.1740 | WWW.GIACALONEDSIGN.COM

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NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

311 Mathilda
311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

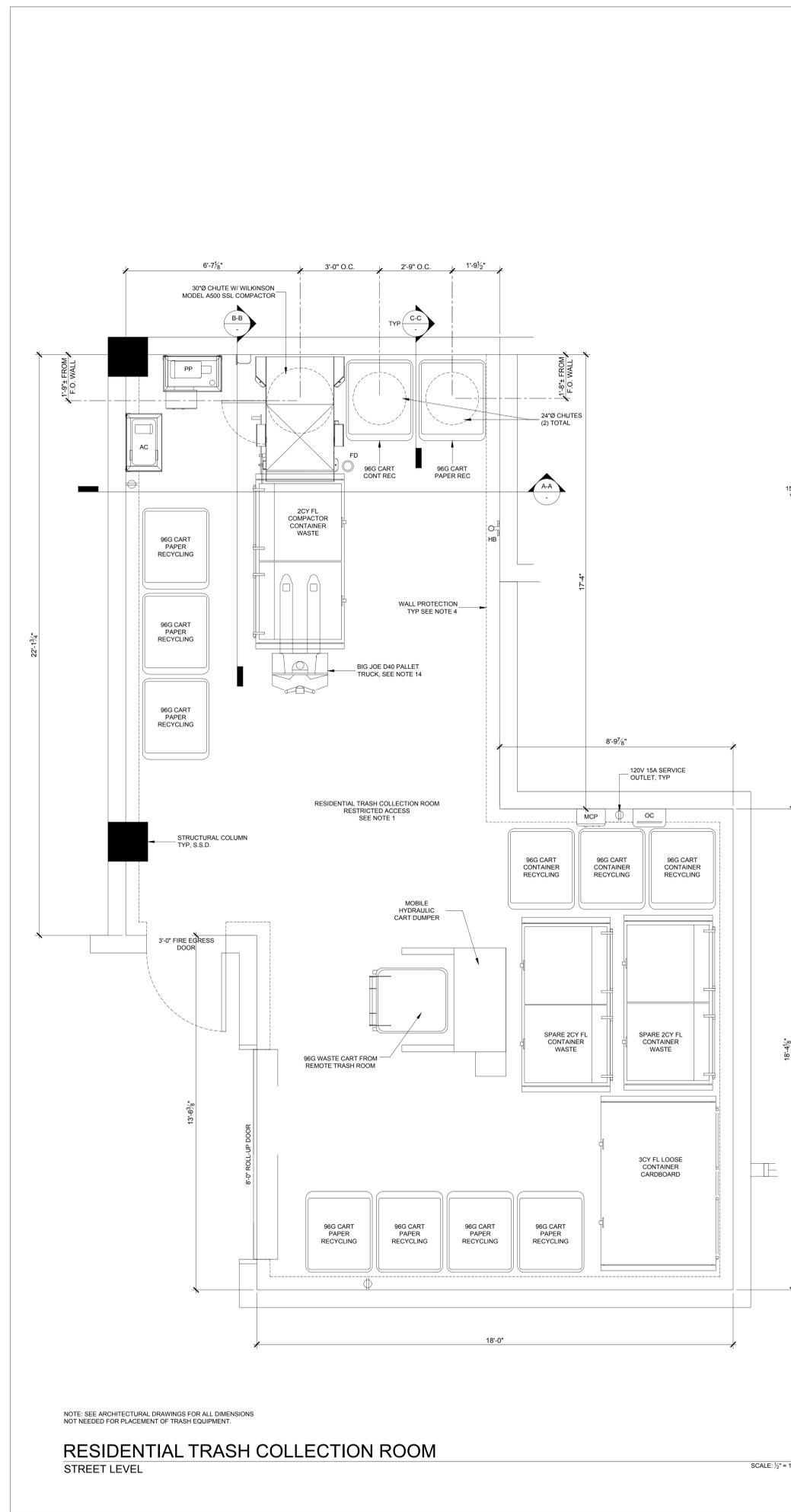
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JOINT TRENCH INTENT TITLE SHEET

Job No. 17-092
Date: 03/21/2018
Scale: 1"=20'
Drawn By: JPS

Sheet No:

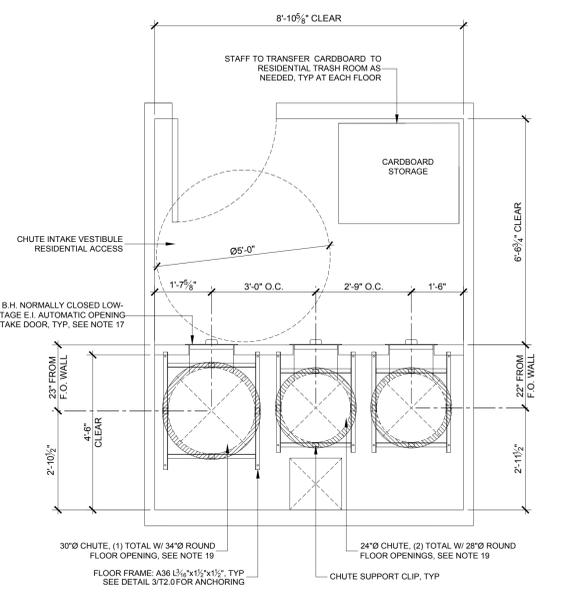
INT2



RESIDENTIAL TRASH COLLECTION ROOM
STREET LEVEL

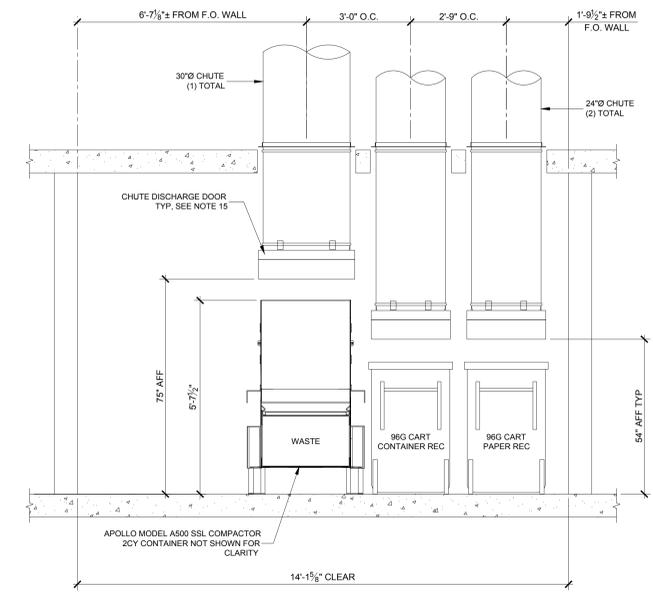
NOTE: SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT NEEDED FOR PLACEMENT OF TRASH EQUIPMENT.

SCALE: 1/2" = 1'-0"



CHUTE INTAKE VESTIBULES
TYPICAL AT PODIUM - LEVEL 5

SCALE: 1/2" = 1'-0"



SECTION A-A

NOTE: SEE RESIDENTIAL TRASH COLLECTION ROOM PLAN FOR TRASH EQUIPMENT OR ANY OTHER INFORMATION NOT SHOWN IN SECTIONS.

SECTIONS
AT RESIDENTIAL TRASH COLLECTION ROOM

EQUIPMENT SCHEDULE: RESIDENTIAL TRASH COLLECTION ROOM	
QTY:	DESCRIPTION:
5	TOTAL FLOORS
3	GALVANIZED STEEL CHUTES: (1) 30" CHUTE AND (2) 24" CHUTES
12	TOTAL FLOOR SUPPORT FRAMES (ONE AT EACH FLOOR PENETRATION)
12	15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING CHUTE INTAKE DOORS
2	TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY INSULATED SLIDING-STEEL CHUTE DISCHARGE DOORS, HELD OPEN BY 165°F FUSIBLE LINK
1	APOLLO MODEL A500 SINGLE-SIDE LATCH COMPACTOR
1	COMPACTOR POWER PACK: 5HP 3-PHASE, 208/230/460V WITH 30A DISCONNECT
3	2CY FRONT-LOAD COMPACTOR CONTAINERS
1	3CY FRONT-LOAD LOOSE CONTAINER
12	96G LOOSE TOTER CARTS
4	96G LOOSE TOTER CARTS (CARDBOARD DISPOSAL AT VESTIBULES)
1	96G LOOSE TOTER CARTS (CARDBOARD DISPOSAL AT VESTIBULES)
1	CHUTE AIR COMPRESSOR: 2HP MOTOR
1	CHUTE MASTER CONTROL PANEL
1	FLOOR DRAIN
1	ODOR CONTROL UNIT
1	HOT AND COLD HOSE BIBB
1	8'-0" ROLL-UP DOOR
1	3'-0" FIRE EGRESS DOOR
1	BIG JOE D40 ELECTRIC PALLET TRUCK

PROJECTED COLLECTION SCHEDULE: RESIDENTIAL TRASH COLLECTION ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 2CY FL COMPACTOR CONTAINERS	2x/wk
CARDBOARD	(1) 3CY FL LOOSE CONTAINER	2x/wk
PAPER RECYCLING	(8) 96G LOOSE TOTER CARTS	2x/wk
CONTAINER RECYCLING	(4) 96G LOOSE TOTER CARTS	2x/wk

- SHEET NOTES:**
- RESIDENTIAL TRASH COLLECTION ROOM: STREET LEVEL**
- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS. FF - 3'-0"
 - FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FFP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION: 10"X6" CONCRETE CURB AT BASE OF WALLS. DO NOT INSTALL CURB ON WALL AT END OF COMPACTOR OR POWER PACK.
 - INSTALL 8'-0" ROLL-UP DOOR AND 3'-0" FIRE EGRESS DOOR
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FIT PER 2016 CBC.
 - (1) 30" GRAVITY CHUTE WITH (1) COMPACTOR FOR WASTE - PROVIDE 2CY CONTAINER. (2) 24" GRAVITY CHUTES WITH 96G TOTER CARTS FOR PAPER AND CONTAINER RECYCLING. ALL CHUTES SHALL BE 304 S.S.
 - 30" CHUTE: TERMINATES 5' AFF. 24" CHUTES: TERMINATE 64" AFF.
 - PP: COMPACTOR POWER PACK SHALL BE WALL-MOUNTED 60" AFF. (1) 5HP 3-PHASE, 208/230/460V, 30A DISCONNECTS 60" AFF.
 - MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES.
 - AC: 2HP CHUTE AIR COMPRESSOR SHALL BE WALL-MOUNTED 60" AFF.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
 - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY, TURNING RADIUS: 45.5'.
 - CHUTE DISCHARGE DOOR: TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165°F FUSIBLE LINK.
 - 120V, 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).
- CHUTE INTAKE VESTIBULES: TYPICAL AT PODIUM - LEVEL 5**
- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR: 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (3) 15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING CHUTE INTAKE DOORS AT EACH FLOOR. SEE DETAIL 172.0.
 - CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
 - CHUTE SUPPORT FLOOR FRAME: ROUND FLOOR OPENINGS AT CONCRETE FLOORS, AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. 24" CHUTE: 35" LONG FLOOR FRAME. 30" CHUTE: 41" LONG FLOOR FRAME.
- GENERAL NOTES:**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

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Consultant

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Lane Partners
644 Menlo Ave., 2nd Floor, Menlo Park, CA 94025

Description	Date
BUILDING PERMIT SUBMITTAL	08/06/2017
PLAN CHECK RESPONSE	03/16/2018

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SBROWN@TRASHMANAGE.COM

Sheet Title:
RESIDENTIAL TRASH COLLECTION PLAN

STREET LEVEL

Job No. 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No:

T0.1

SCALE: 1/2" = 1'-0"

EQUIPMENT SCHEDULE: RESTAURANT TRASH COLLECTION ROOM	
QTY:	DESCRIPTION:
5	TOTAL FLOORS
1	2CY FRONT-LOAD LOOSE - FOOD SCRAPS
1	3CY FRONT-LOAD LOOSE - CARDBOARD
2	4CY FRONT-LOAD LOOSE - WASTE
1	50G DRUM (HOT GREASE)
1	FLOOR DRAIN
1	ODOR CONTROL UNIT
1	HOT AND COLD HOSE BIBB
1	BIG JOE D40 ELECTRIC PALLET TRUCK

PROJECTED COLLECTION SCHEDULE: RESTAURANT TRASH COLLECTION ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 4CY FL LOOSE CONTAINER	2x/wk
CARDBOARD RECYCLING	(1) 3CY FL LOOSE CONTAINER	2x/wk
FOOD SCRAPS	(1) 2CY FL LOOSE CONTAINER	2x/wk

- SHEET NOTES:**
- RESTAURANT TRASH COLLECTION ROOM: STREET LEVEL**
- TRASH COLLECTION ROOM SHALL BE 2HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS. FF-43-07.
 - FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT. 8'-0" AFF.
 - INSTALL WALL PROTECTION. 10"x6"x6" CONCRETE CURB AT BASE OF WALLS.
 - INSTALL 8'-0" ROLL-UP DOOR AND 3'-0" FIRE EGRESS DOOR
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
 - OC. ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
 - HB. HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY. TURNING RADIUS: 45.5".
 - 120V, 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).
- GENERAL NOTES:**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

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 : Planning
 : Urban Design

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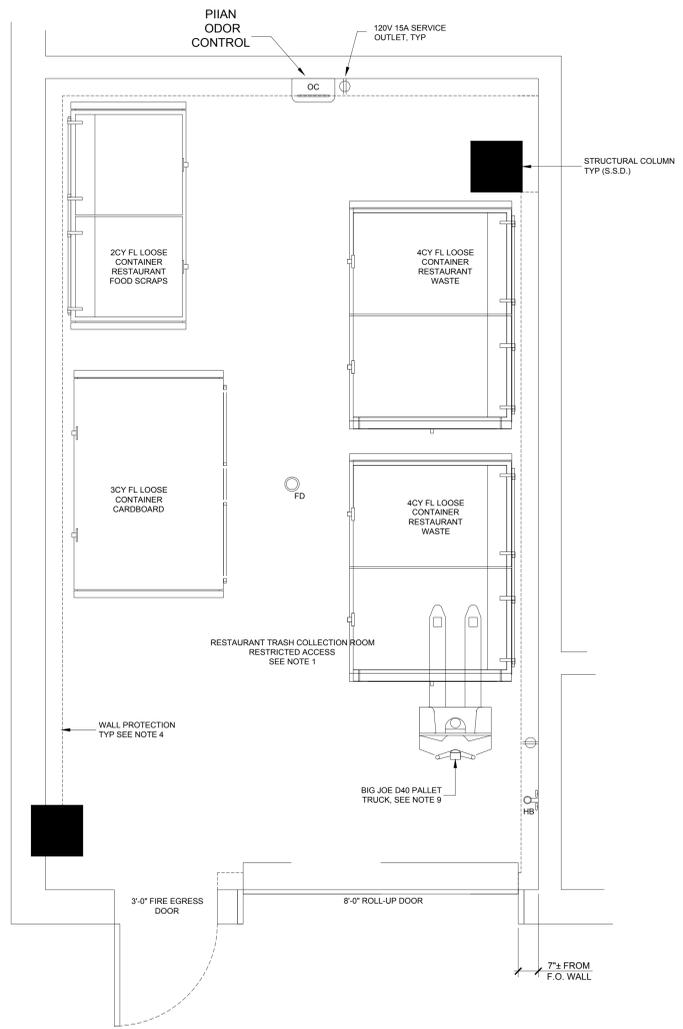
Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018



Sheet Title:
RESTAURANT TRASH COLLECTION PLAN
 STREET LEVEL

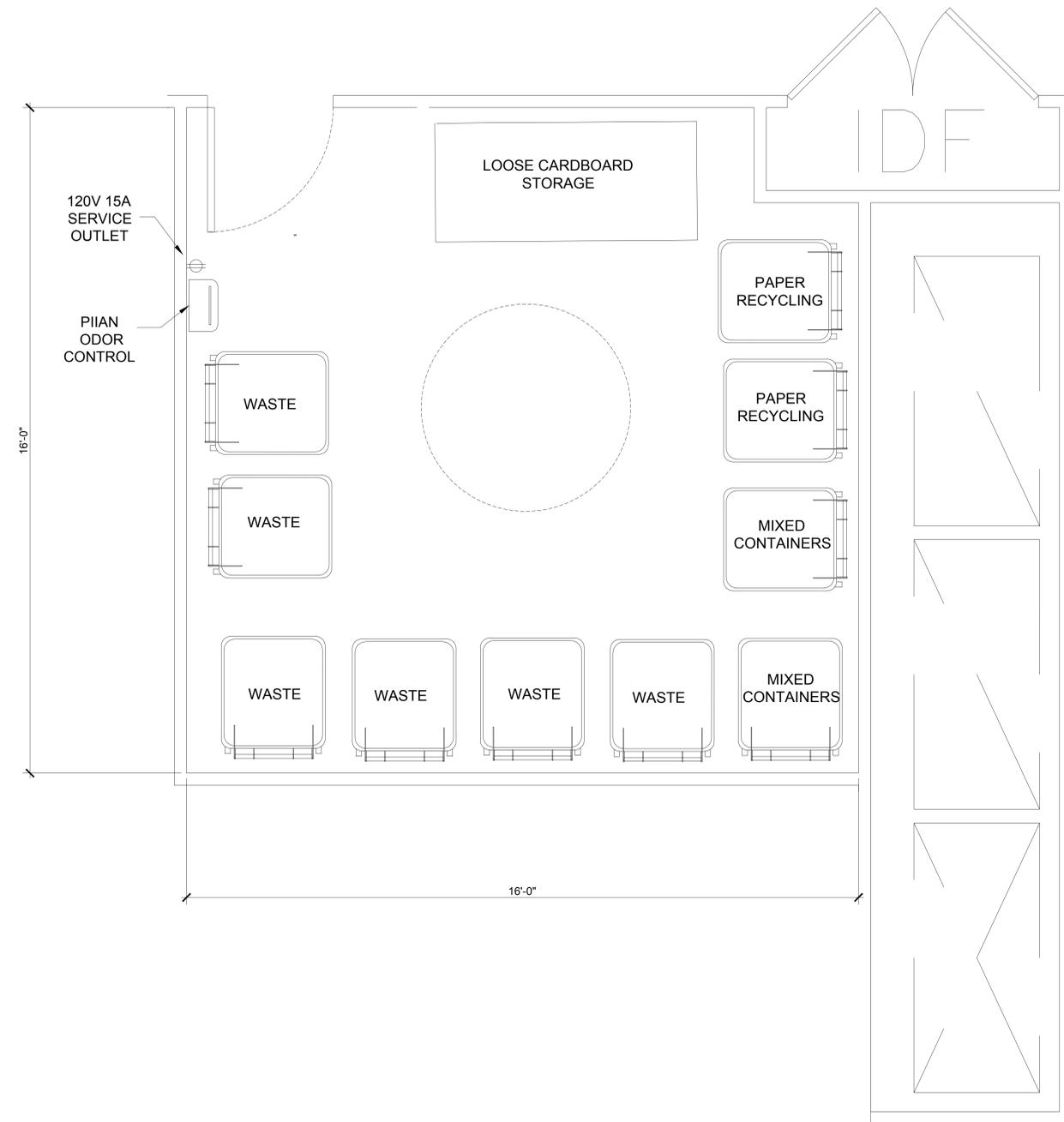
Job No: 16044
 Date: 03/16/2018
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Sheet No:
T0.2



RESTAURANT TRASH COLLECTION ROOM
 STREET LEVEL

SCALE: 1/2" = 1'-0"



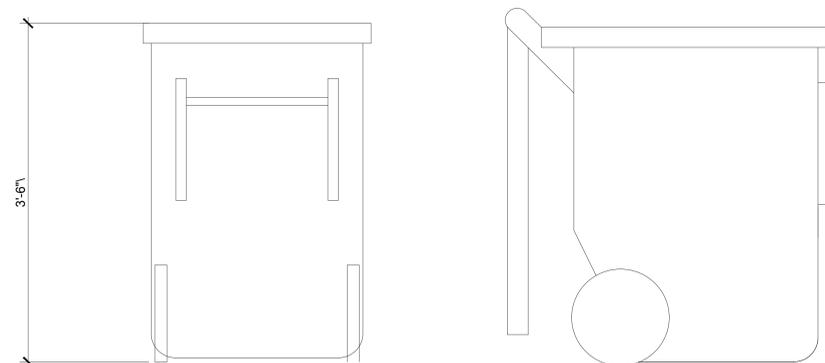
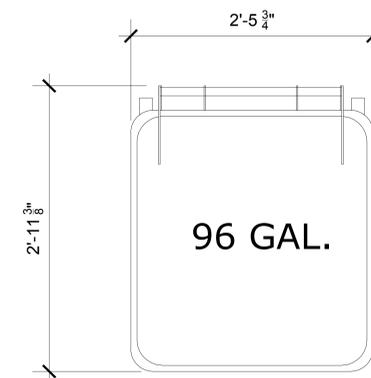
SHEET NOTES:

REMOTE TRASH COLLECTION ROOM:

1. TRASH COLLECTION ROOM SHALL BE 1HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS. .
2. FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
5. 120V, 15A SERVICE OUTLET REQUIRED.

GENERAL NOTES:

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96 GAL CART

REMOTE TRASH COLLECTION ROOM
RESIDENTIAL LEVELS

: Architecture
: Planning
: Urban Design

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Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

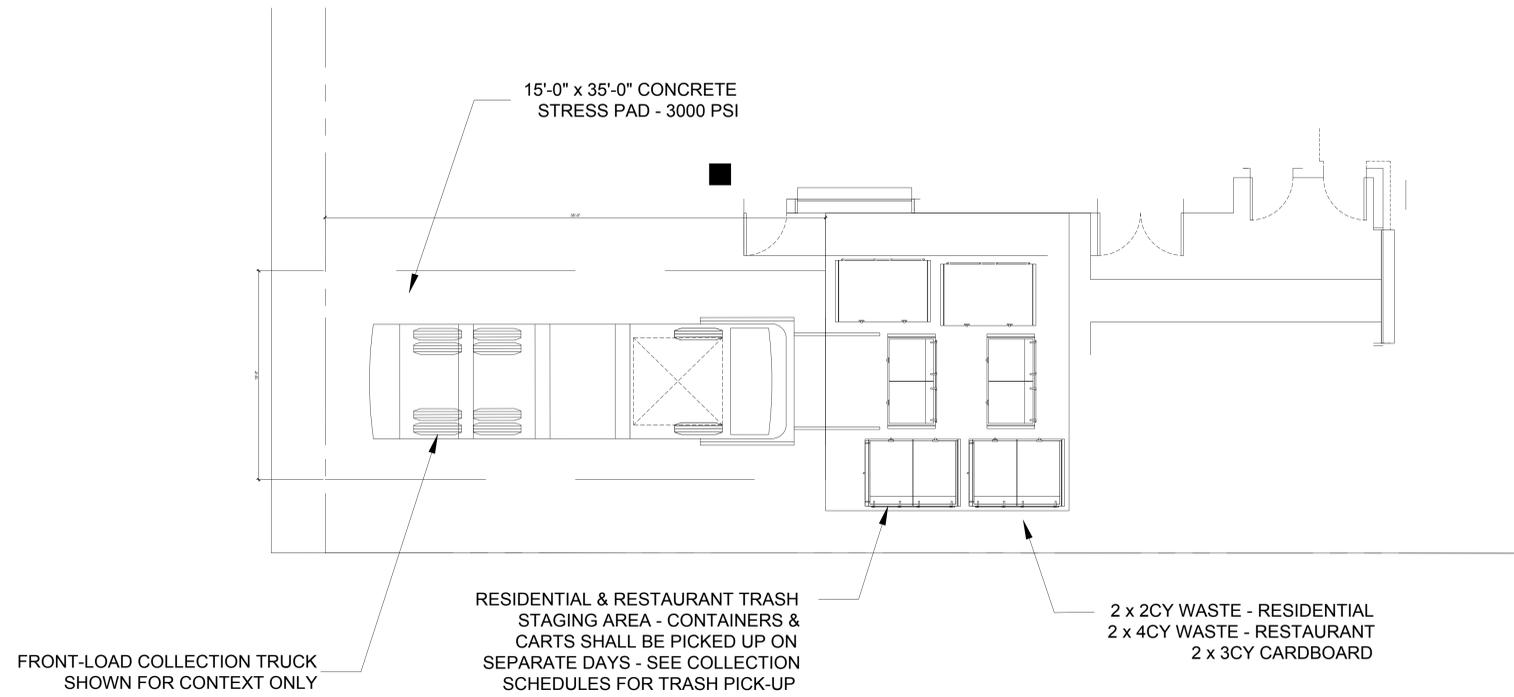


Sheet Title:
REMOTE TRASH COLLECTION ROOM
UPPER LEVEL

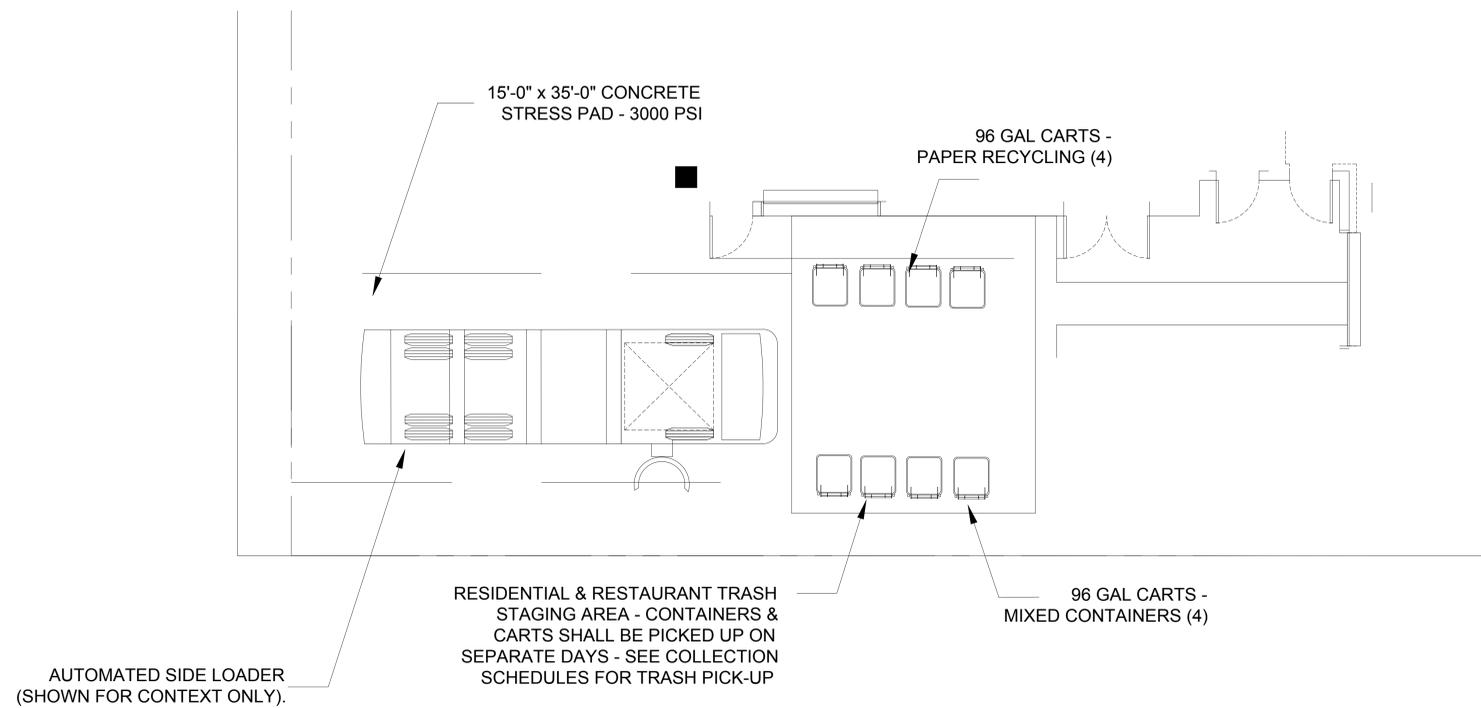
Job No: 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No:

T0.3



RESIDENTIAL & RESTAURANT TRASH STAGING AREA
STREET LEVEL



RESIDENTIAL 96 GAL TRASH CART STAGING AREA
STREET LEVEL

: Architecture
: Planning
: Urban Design

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Description	Date
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PLAN CHECK RESPONSE	03/16/2018

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Sheet Title:
TRASH STAGING AREA

Job No: 16044
Date: 03/16/2018
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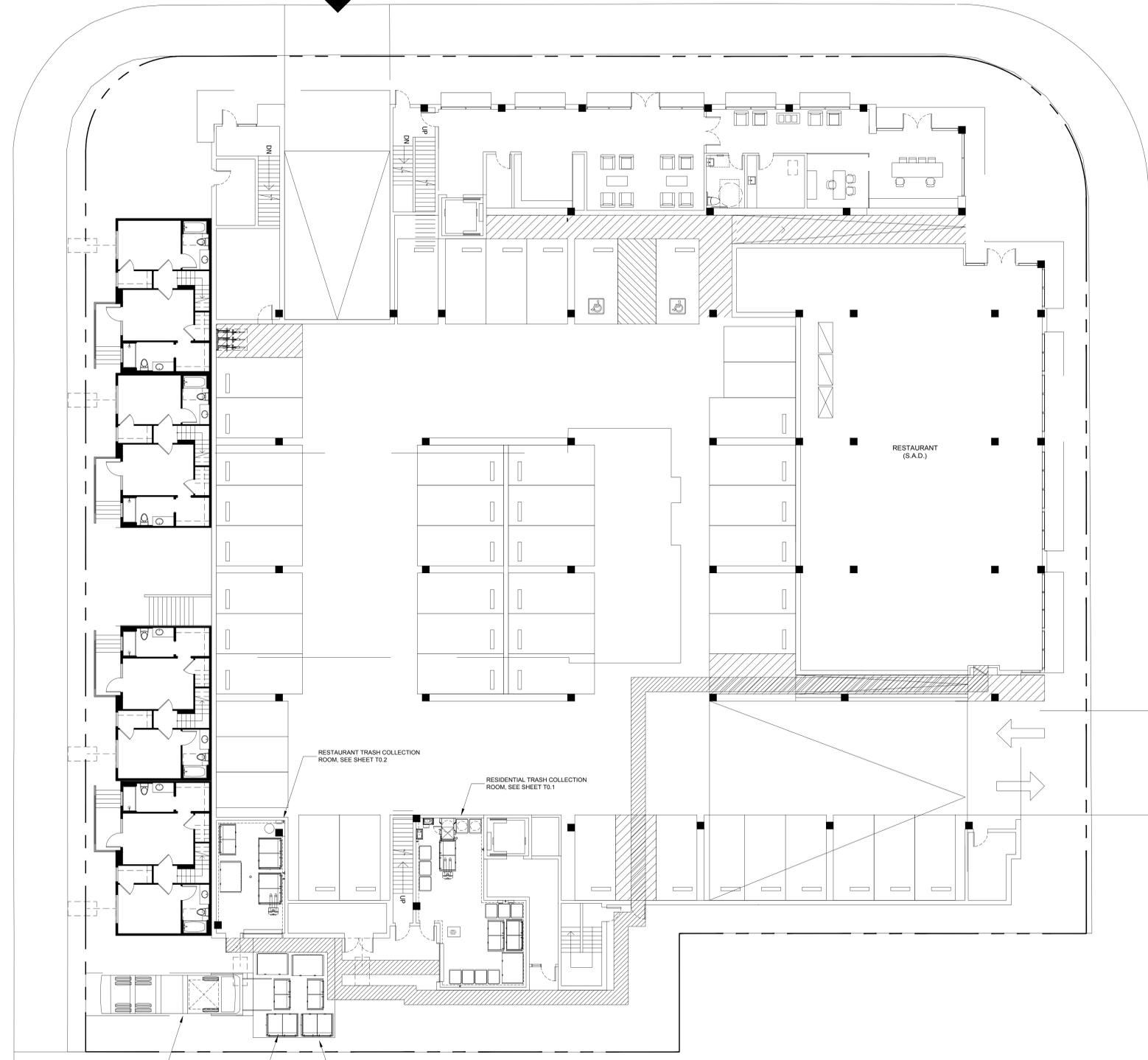
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CHARLES AVENUE

MCKINLEY AVENUE

S MATHILDA AVENUE



FRONT-LOAD COLLECTION TRUCK SHOWN FOR CONTEXT ONLY

RESIDENTIAL & RESTAURANT TRASH STAGING AREA - CONTAINERS & CARTS SHALL BE PICKED UP ON SEPARATE DAYS - SEE COLLECTION SCHEDULES FOR TRASH PICK-UP

RESTAURANT TRASH COLLECTION ROOM. SEE SHEET TO.2

RESIDENTIAL TRASH COLLECTION ROOM. SEE SHEET TO.1

2 x 2CY WASTE - RESIDENTIAL
2 x 4CY WASTE - RESTAURANT
2 x 3CY CARDBOARD

SHEET NOTES:
RESTAURANT BIN MOVEMENT PLAN: STREET LEVEL
 1. DISTANCE FROM RESTAURANT TO RESTAURANT TRASH COLLECTION ROOM IS ±262'-0". DISTANCE FROM RESIDENTIAL TRASH ROOM TO TRASH STAGING AREA IS ±22'-0".

GENERAL NOTES:
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Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

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LEGEND:
 1. RESTAURANT PATH OF TRAVEL TO TRASH STAGING AREA SHOWN AS: [Hatched Box]

RESTAURANT BIN MOVEMENT PLAN
 STREET LEVEL

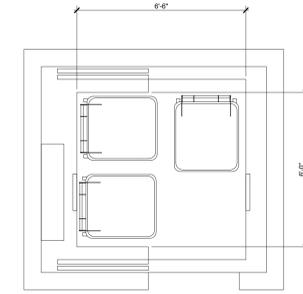
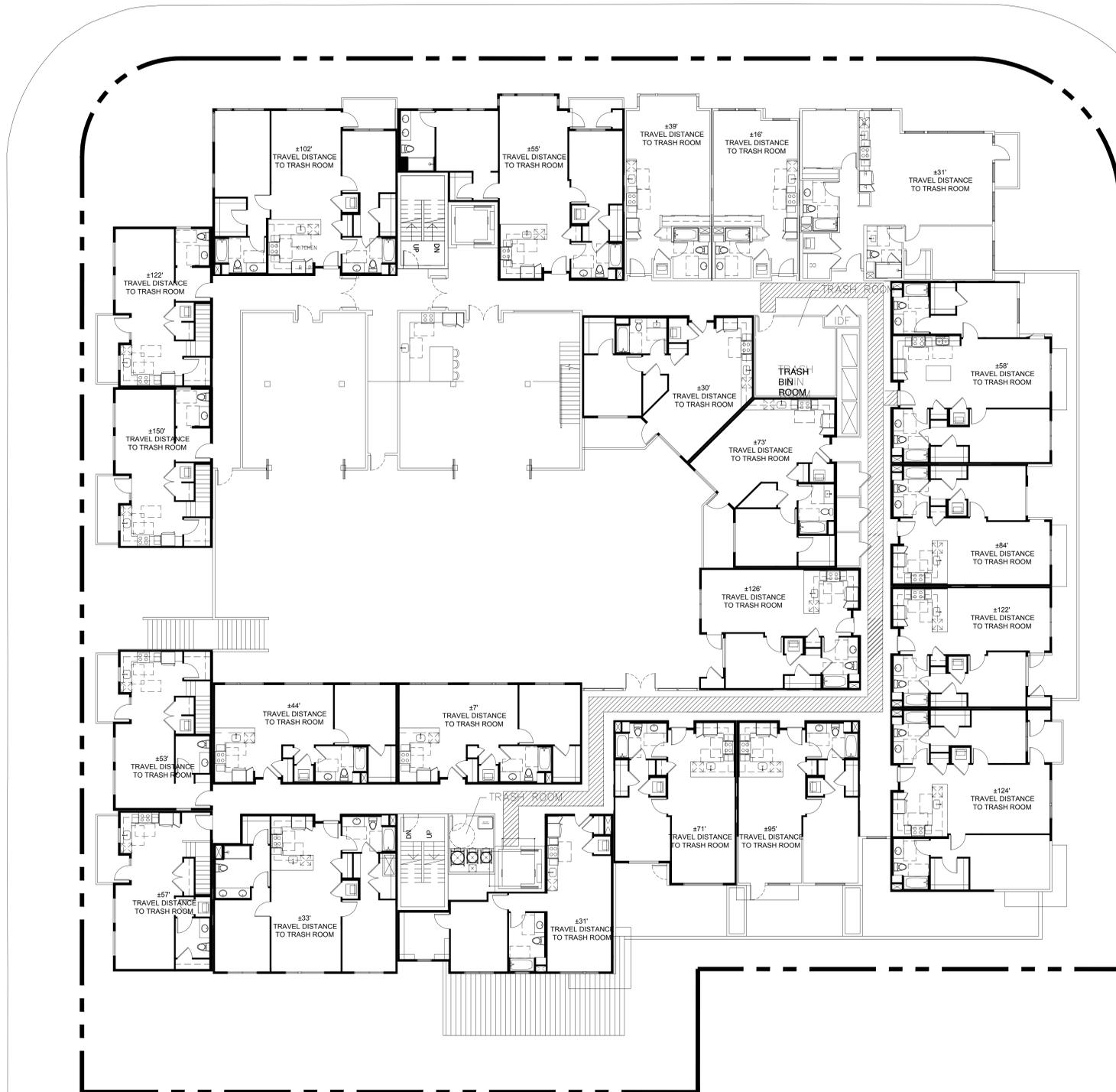
SCALE: 3/8" = 1'-0"

Sheet Title:
RESTAURANT BIN MOVEMENT PLAN
 STREET LEVEL

Job No. 16044
 Date: 03/16/2018
 Scale: AS INDICATED

Sheet No:
T1.1

- SHEET NOTES:**
- PATH OF TRAVEL PLAN: UPPER LEVEL**
- (35) TOTAL RESIDENTIAL UNIT EXCEEDS THE CITY OF SUNNYVALE'S ALLOWABLE TRAVEL DISTANCE TO TRASH ROOMS (150'-0"). SEE PLAN FOR MARKED UNITS.
 - MAX DISTANCE RESIDENTIAL UNIT FROM CHUTE INTAKE VESTIBULE: 283'-0".
- GENERAL NOTES:**
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ELEVATOR WITH 96 GAL CARTS
STREET LEVEL

- LEGEND:**
- RESIDENTIAL UNITS EXCEEDING 150'-0" FROM TRASH ROOM SHOWN AS:
 - RESIDENTIAL PATH OF TRAVEL TO CHUTE INTAKE VESTIBULE SHOWN AS:

PATH OF TRAVEL PLAN
FROM REMOTE RESIDENTIAL COLLECTION ROOM TO ELEVATOR

SCALE: 3/8" = 1'-0"

Architecture
Planning
Urban Design

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Consultant

311 Mathilda
311 S. Mathilda Ave., Sunnyvale, CA 94086
Lane Partners
644 Menlo Ave., 2nd Floor, Menlo Park, CA 94025

Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 890
EMERYVILLE, CALIFORNIA 94608
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SBROWNB@TRASHMANAGE.COM

Sheet Title:
PATH OF TRAVEL PLAN
UPPER LEVEL

Job No. 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No.:

T1.2

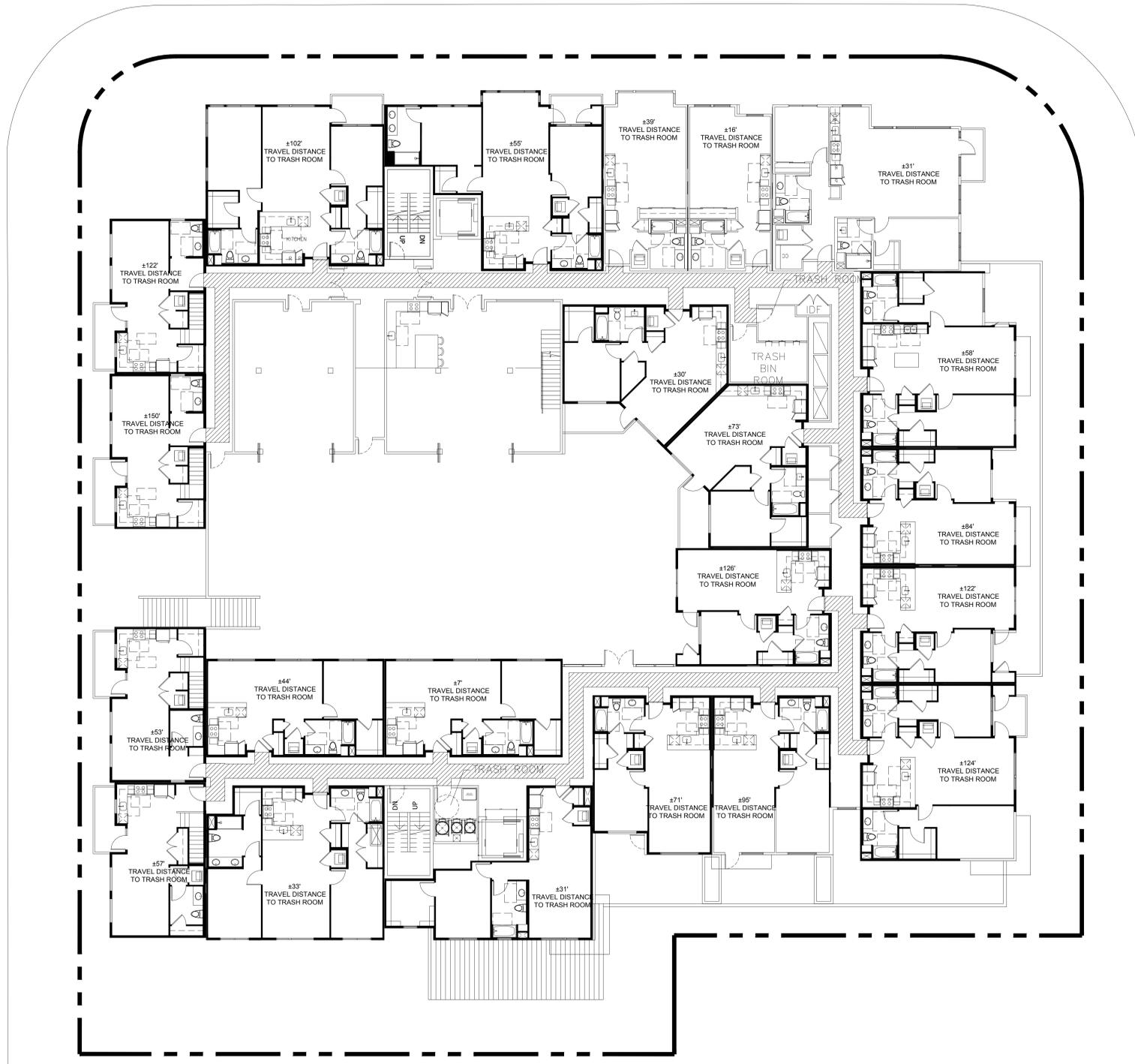
SHEET NOTES:

PATH OF TRAVEL PLAN: UPPER LEVEL

- (35) TOTAL RESIDENTIAL UNITS EXCEED THE CITY OF SUNNYVALE'S ALLOWABLE TRAVEL DISTANCE TO TRASH ROOMS (150'-0"). SEE PLAN FOR MARKED UNITS.
- MAX DISTANCE RESIDENTIAL UNIT FROM CHUTE INTAKE VESTIBULE: 263'-0".

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Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018

LEGEND:

- RESIDENTIAL UNITS EXCEEDING 150'-0" FROM TRASH ROOM SHOWN AS: 
- RESIDENTIAL PATH OF TRAVEL TO CHUTE INTAKE VESTIBULE SHOWN AS: 

PATH OF TRAVEL PLAN
FROM RESIDENTIAL UNITS TO CHUTE INTAKE VESTIBULE - PODIUM LEVEL

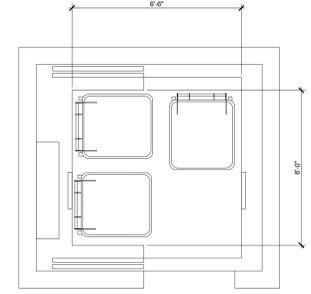
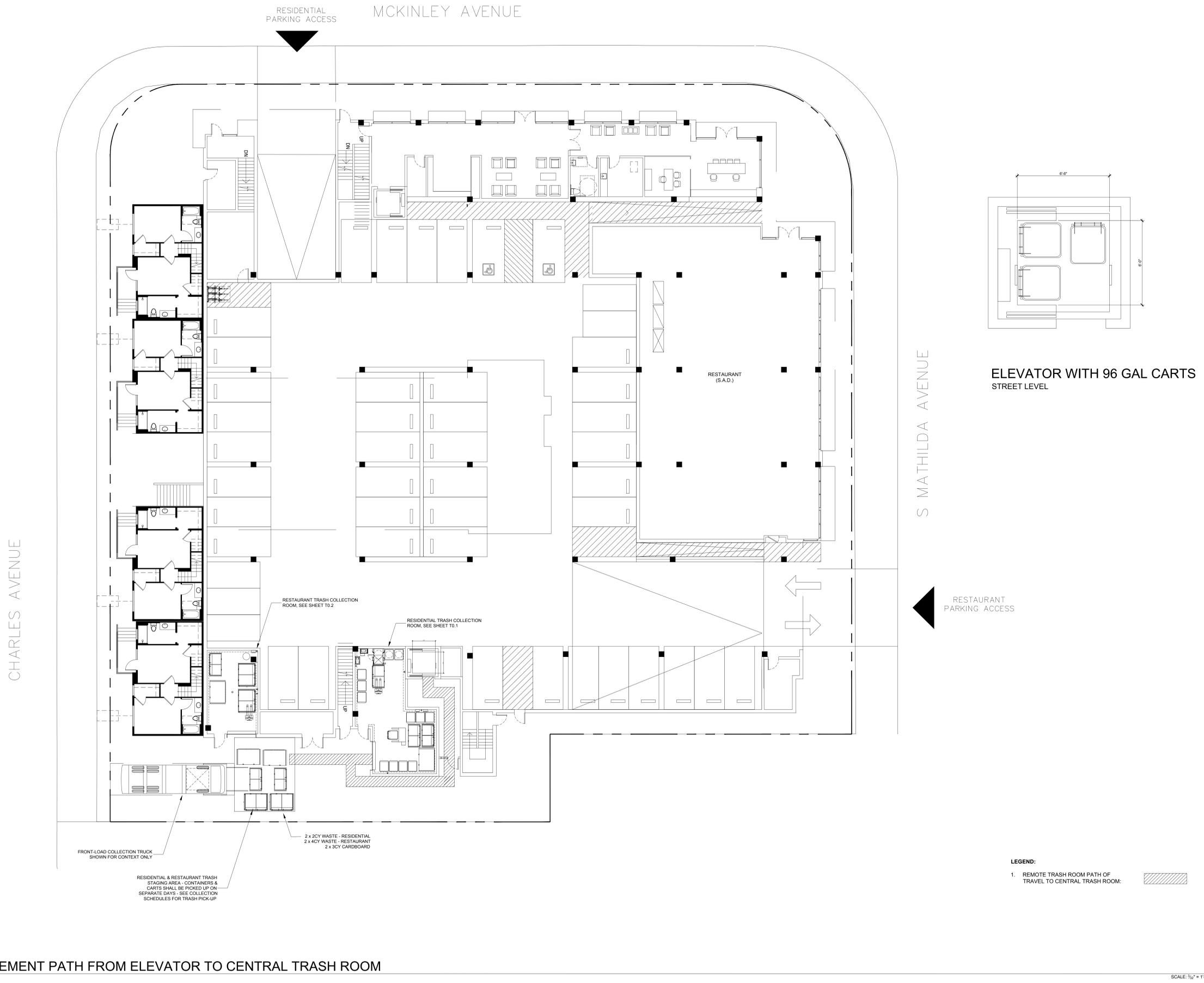
SCALE: 3/8" = 1'-0"

Sheet Title:
PATH OF TRAVEL PLAN
TO VESTIBULES - UPPER LEVEL

Job No: 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No:

T1.3



ELEVATOR WITH 96 GAL CARTS STREET LEVEL

96 GAL CART MOVEMENT PATH FROM ELEVATOR TO CENTRAL TRASH ROOM STREET LEVEL

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Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

AMERICAN TRASH MANAGEMENT

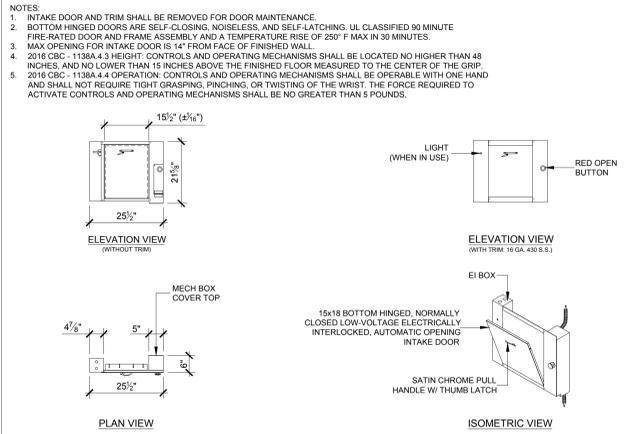
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Sheet Title:
PATH OF TRAVEL PLAN
ELEVATOR TO CENTRAL TRASH ROOM

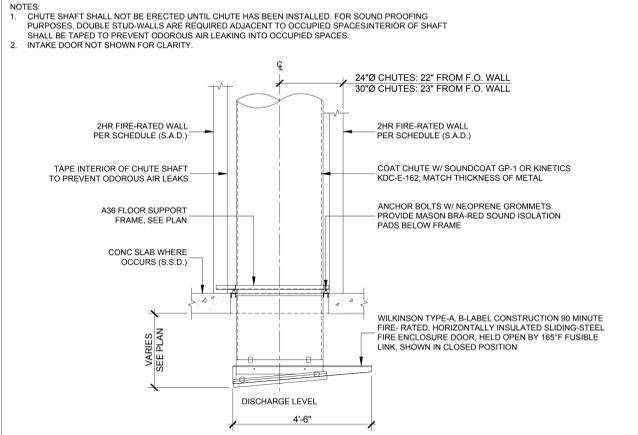
Job No. 16044
Date: 03/16/2018
Scale: AS INDICATED

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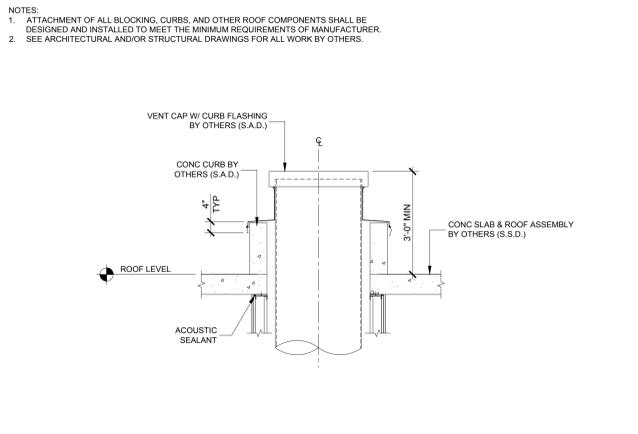
T1.4



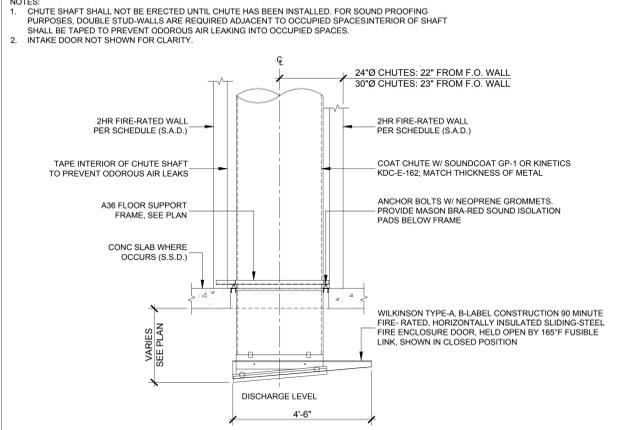
1 CHUTE INTAKE DOOR
PODIUM - LEVEL 5
SCALE: 1/2" = 1'-0"



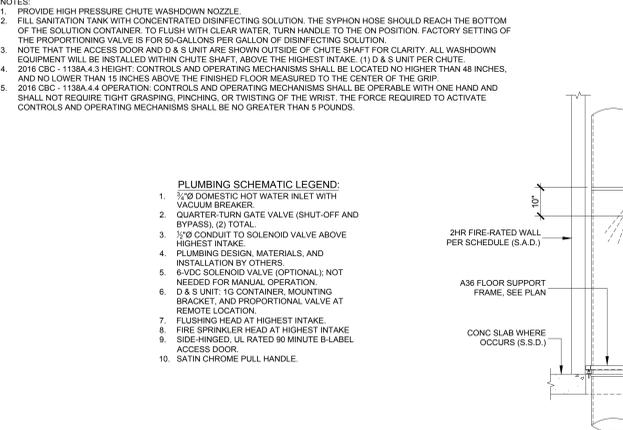
2 CHUTE SHAFT ANCHORING
SCALE: 1/2" = 1'-0"



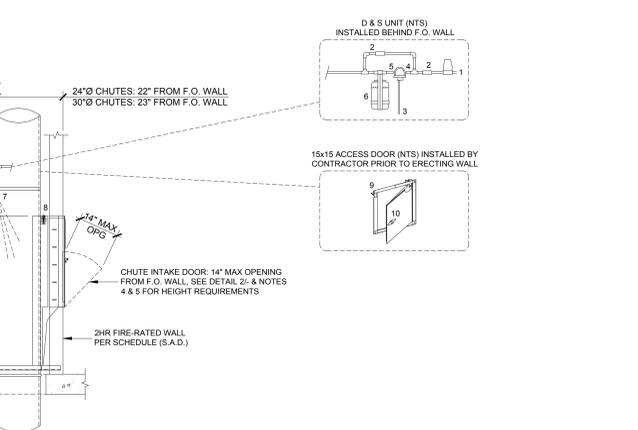
3 CHUTE VENT
AT ROOF LEVEL
SCALE: 1'-0" = 1'-0"



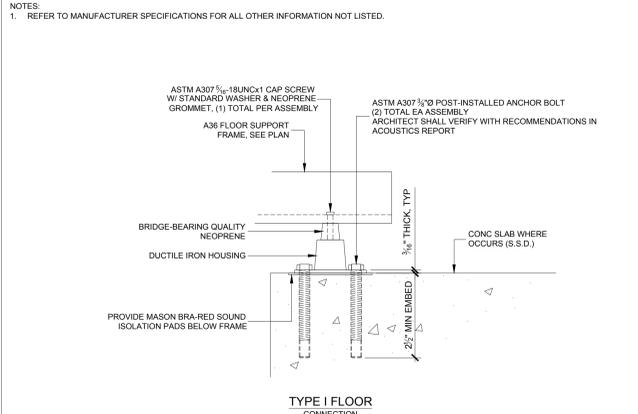
5 CHUTE AIR AND SOUND ISOLATION
SCALE: 1/2" = 1'-0"



6 TRASH SANITATION UNIT
AT HIGHEST INTAKE
SCALE: 1/2" = 1'-0"



8
SCALE: 1/2" = 1'-0"



9 FLOOR SUPPORT FRAME ANCHORING
SECTION VIEWS
SCALE: 1/2" = 1'-0"

SHEET NOTES: 24"Ø AND 30"Ø CHUTE DETAILS

- CHUTE MATERIAL: GALVANIZED STEEL
- ALL WALL ASSEMBLIES ENCASE THE CHUTE SHAFT SHALL BE 2HR FIRE-RATED.
- SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS TO VERIFY ALL INFORMATION NOT RELATED TO ATM'S SCOPE OF WORK PER AGREEMENT.
- POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

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PLAN CHECK RESPONSE	03/16/2018

Sheet Title:
CHUTE DETAILS
24"Ø AND 30"Ø

Job No. 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No.
T2.0