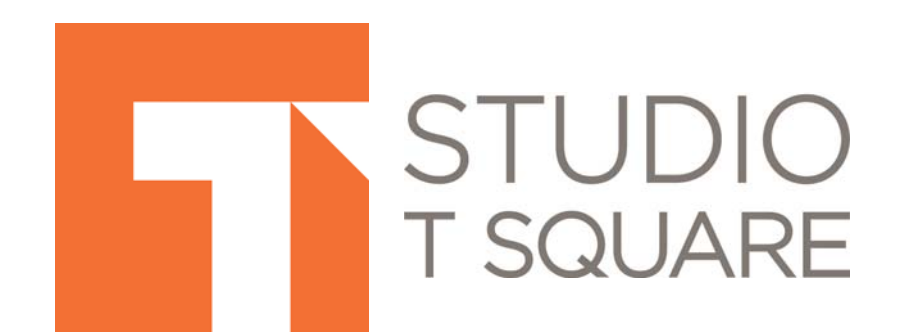


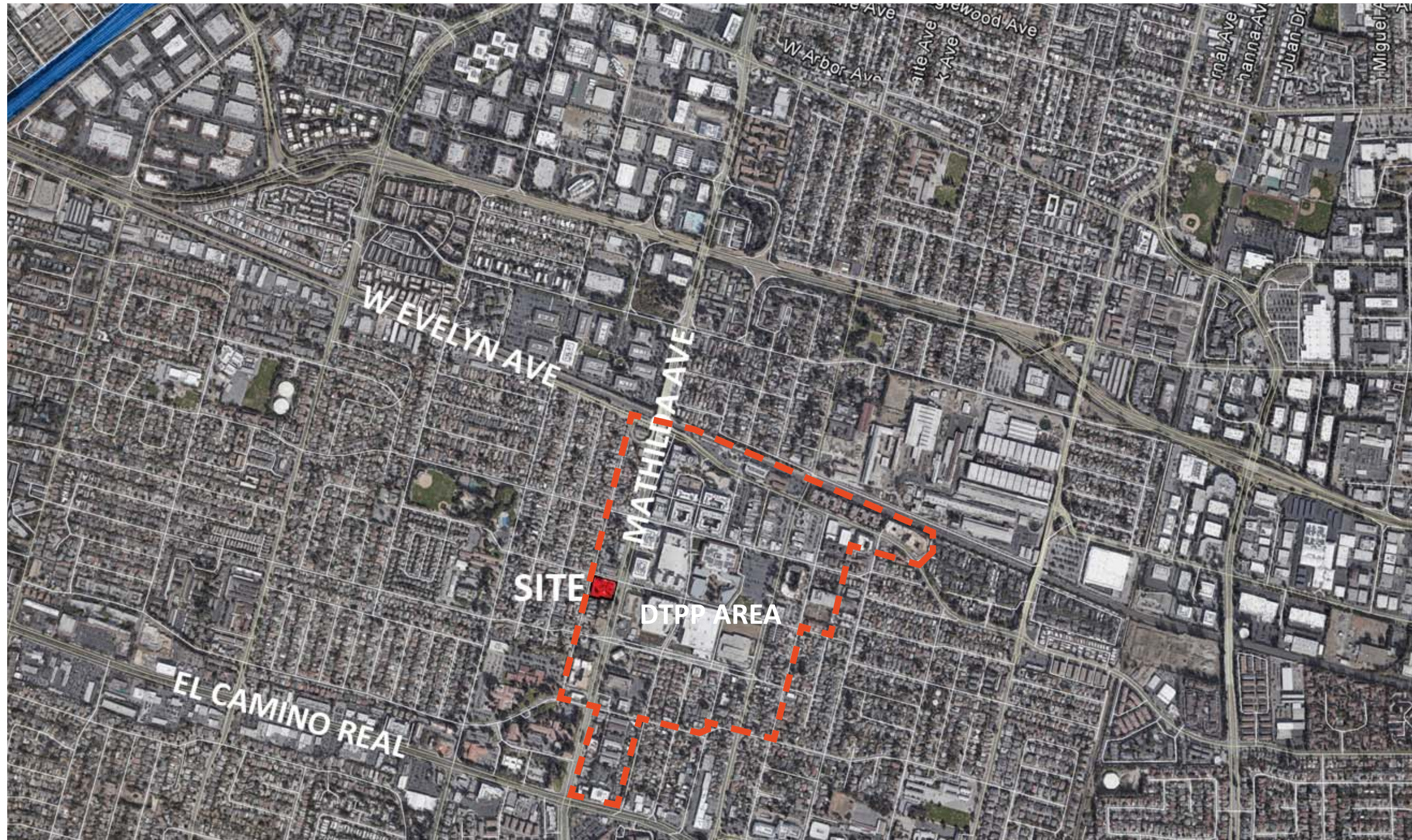


311 S Mathilda Avenue, Sunnyvale, CA

APRIL 2018



VICINITY MAP:



PROPERTY INFORMATION:

Site Address: 311 S Mathilda Avenue, Sunnyvale, CA 94086
 APN: 165-13-050
 Site Area: 1.01
 Existing Use: Commercial
 Proposed Use: Commercial, Multi-family Residential
 Density: 54 du/acre
 Proposed Density: 75 du/acre
 (54 x 0.05 Green Building Bonus = +2 units)
 (2+54 x 1.35 SDB = 75 units allowed)

PROJECT DESCRIPTION:

311 Mathilda is a mixed-use project located on the corner of McKinley and S Mathilda in Sunnyvale. The project comprises of 5,000 square foot of commercial frontage along Mathilda that will replace the existing Denny's restaurant. The residential component will be made up of 75 units with some allotted for below market rate. On Charles Street side, four townhouse type units line the frontage to reduce the scale towards the single family neighborhood. A central podium courtyard provides open space for the residents. This layout provides a small-scale appearance along Charles Street.

PROJECT TEAM:

APPLICANT:
 LANE PARTNERS
 644 Menlo Avenue 2nd Floor
 Menlo Park, CA 94025
 Contact: MARCUS GILMOUR
 Phone: 650.838.0100

CIVIL ENGINEER:
 BKF ENGINEERS
 4670 Willow Rd, Suite 250
 Pleasanton, CA 94588
 Contact: ALEXIS MATUSEK
 Phone: 925.396.7700

UTILITY ENGINEER:
 GIACALONE DESIGN SERVICES, INC.
 5820 Stoneridge Mall Rd Ste 345,
 Pleasanton, CA 94588
 Contact: ANDREW CUMMINS
 Phone: 925.467.1740

APPLICANT:
 BAY WEST DEVELOPMENT
 1725 S. Bascom Ave, Suite 1050
 Campbell, CA 95008
 Contact: PETE BERITZHOFF
 Phone: 408.680.4938

LANDSCAPE:
 SAW // SPIEGEL AIHARA WORKSHOP
 2325 3rd ST, Suite 216
 San Francisco, CA 94107
 Contact: MEGUMI AIHARA
 Phone: 415.890.4729

MEP ENGINEERS:
 ALFA TECH
 1321 Ridder Park Drive, No. 50
 San Jose, CA 95131
 Contact: Saied Nazeri
 Phone: 408.487.1200

ARCHITECT/PLANNER:
 STUDIO T-SQ, INC.
 304 12th Street, Suite 2A
 Oakland, CA 94607
 Contact: DOUGLAS OLIVER
 Phone: 510.451.2850

TRASH MANAGEMENT
 AMERICAN TRASH MANAGEMENT
 1900 Powell Street, STE 890
 Emeryville, CA 94608
 Contact: Scott Brown
 Phone: 415.292.5401

STRUCTURAL ENGINEER
 HOHBACH-LEWIN, INC
 260 Sheridan Ave, Suite 150
 Palo Alto, CA 94306
 Contact: Dan Lewin
 Phone: 650.617.5930

SHEET INDEX:

- G1.0 Project Summary
- SP1.0 Vicinity Map and Existing Site Photos
 - SP1.1 Illustrative Site Plan
 - SP1.2 Circulation Diagram
 - SP1.3 Fire Access Plan
 - SP1.4 Open Space Calculation
 - SP1.5 Shadow Study
- A2.0 Basement Level Plan
 - A2.1 Street Level Plan
 - A2.2 Podium Level Plan
 - A2.3 Third Level Plan
 - A2.4 Fourth Level Plan
 - A2.5 Fifth Level Plan
 - A2.6 Roof Level Plan
- A3.0 Building Elevation and Perspective
 - A3.1 Building Elevation and Perspective
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 - A3.3 Building Elevation and Perspective
 - A3.4 Color and Material Board
- A4.0 Building Sections
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 - A4.2 Schematic Detail
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- A5.0 Unit Plans
 - A5.1 Unit Plans
 - A5.2 Unit Plans
 - A5.3 GreenPoint Rated Check List
- L1.0 Landscape Concept Plan
- L4.0 Landscape Planting Plan
- L5.0 Landscape Hydrozone Plan
- C0.0 Civil Cover Sheet
- C1.0 Existing Conditions Plan
- C2.0 Proposed Civil Site Plan
- C3.0 Preliminary Grading Plan
- C4.0 Preliminary Utility Plan
- C5.0 Preliminary Stormwater Control Plan
- INT1 Joint Trench Intent Title Sheet
- INT2 Joint Trench Intent Plan
- T0.1 Residential Trash Collection Plan
- T0.2 Restaurant Trash Collection Plan
- T0.3 Remote Trash Collection Room
- T0.4 Trash Staging Area
- T1.1 Restaurant Bin Movement Plan
- T1.2 Path of Travel Plan
- T1.3 Path of Travel Plan
- T1.4 Path of Travel Plan
- T2.0 Chute Details

BUILDING PROGRAM:

UNITS	Quan.	N.S.F.	Mix	Rentable S.F.	Parking Provided
Studios Total	8	596	10.7%	4,765	8
1BR Units Total	41	764	54.7%	31,338	41
2BR Units Total	26	1376	34.7%	35,777	26
ALL UNITS -TOTAL	75	958	100.0%	71,880	75

RESIDENTIAL	
Residential Parking Required (.5 per bedroom)	51
Guest Parking Provided	7
Total Residential Parking Provided (3 Accessible)	82
Residential Bike Parking Required (1 per 4 units)	19
Residential Bike Parking Provided	54

COMMERCIAL	
Existing Commercial	4,057 SF
Proposed Commercial	4860
Commercial Parking Required (1 per 110 SF)	44
Commercial Parking Provided (2 Accessible Stalls)	47

STORAGE REQUIRED (200 cuft per S/1 BD, 300 cuft per 2+ BD)		17,600
# of storage per level	200 cu ft	300 cu ft
Level B1	44	14
Level 1	0	0
Level 2	0	3
Level 3	0	3
Level 4	0	3
Level 5	6	3
Total	50	26
STORAGE PROVIDED (Partially on decks / remainder in garage)		17,800

COMMON OPEN SPACE REQUIRED- (50 square feet required per unit)	3,750
COMMON OPEN SPACE PROVIDED- (roof deck and courtyard)	5,035

OPEN AREA	
Site Area SF	44111
Building Coverage SF	31910
Courtyard SF	4285
Roof Deck	750
Private Balcony	3465
OPEN AREA PROVIDED	8500



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 : Urban Design

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 : (510) 451 - 2850

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 311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
 Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:
 PROJECT SUMMARY

Job No. 16044
 Date: 4/18/2018
 Scale:
 Drawn By:

Sheet No:

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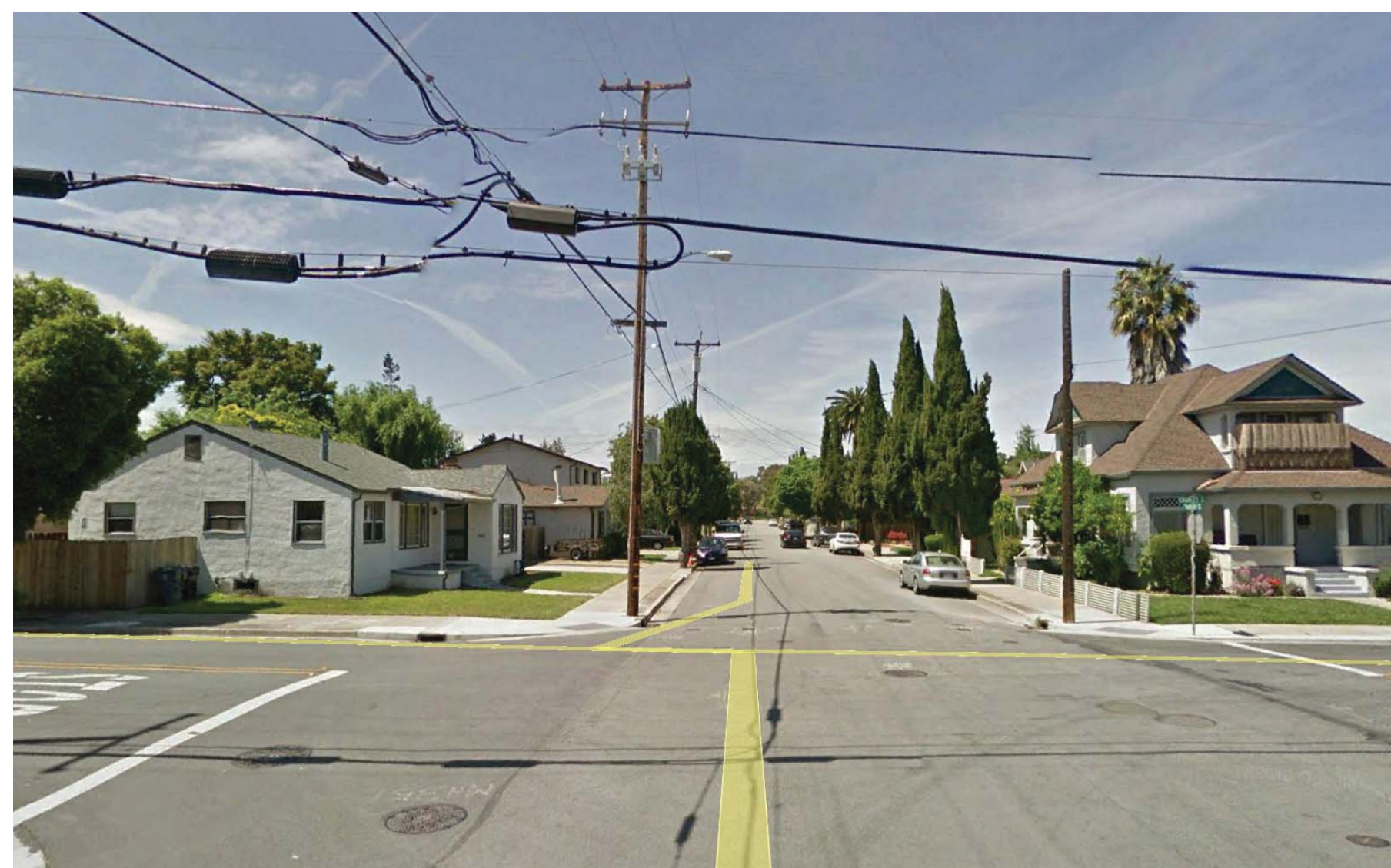
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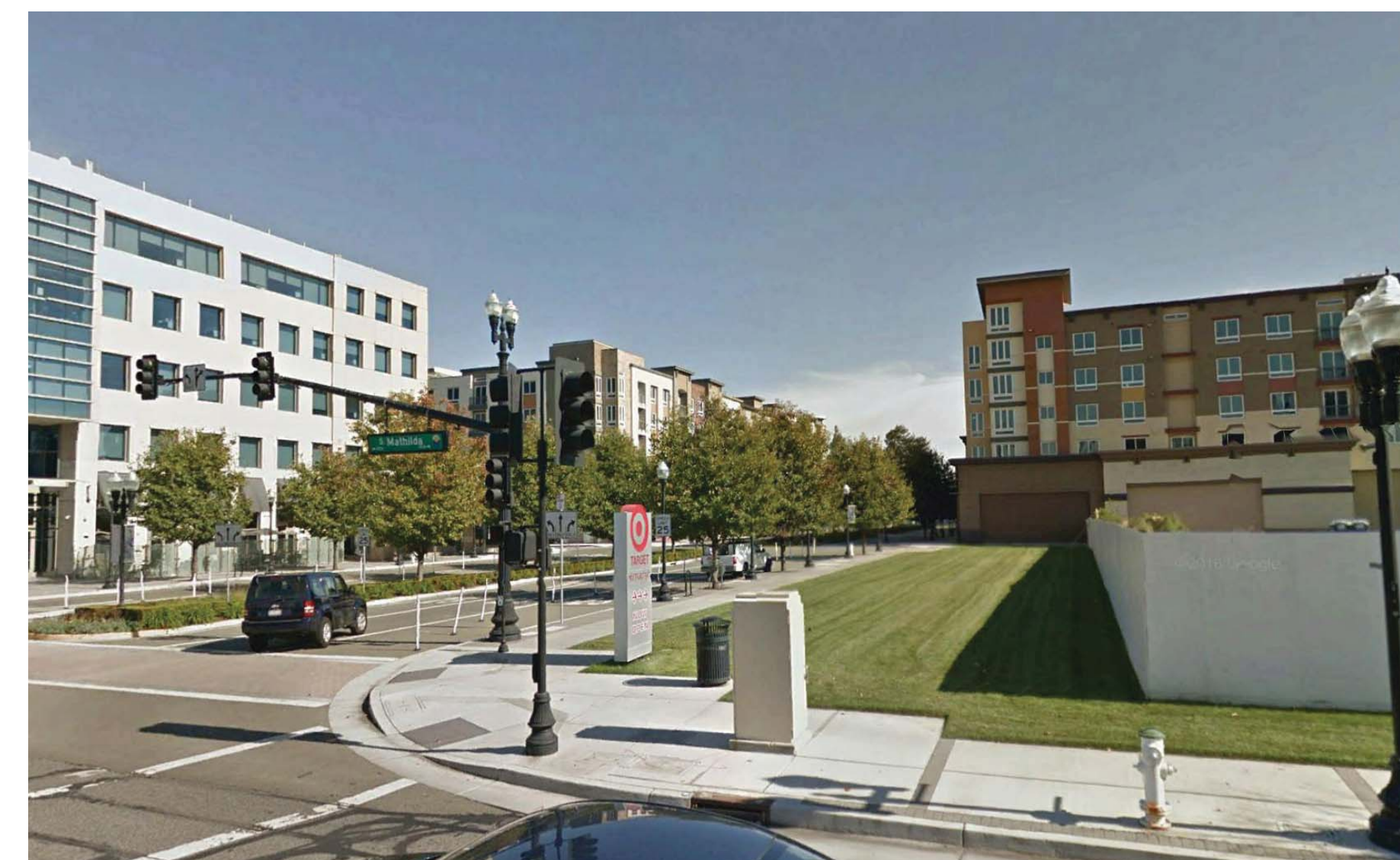
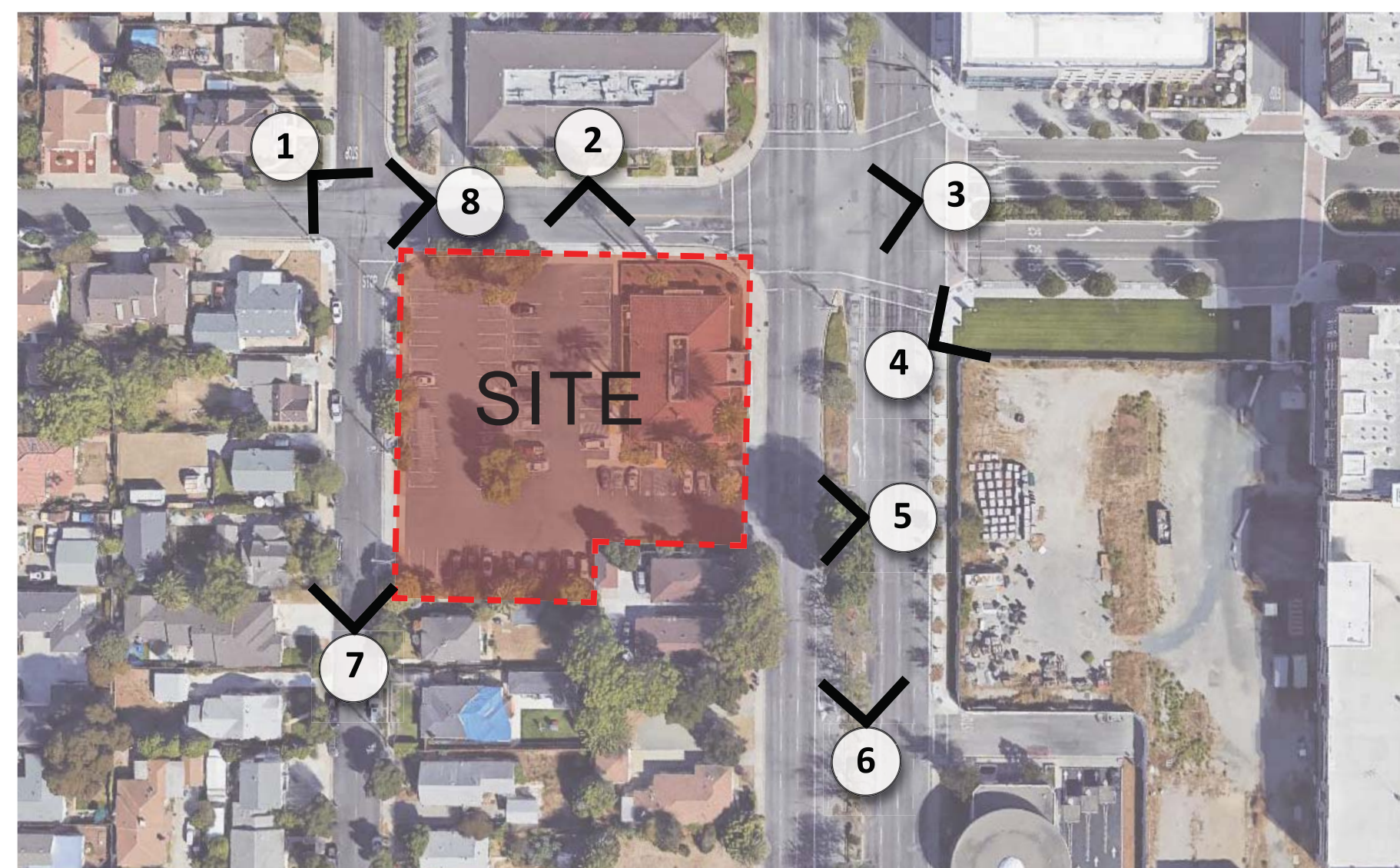
2. W MCKINLEY AVE LOOKING SOUTH



3. W MCKINLEY AVE LOOKING WEST



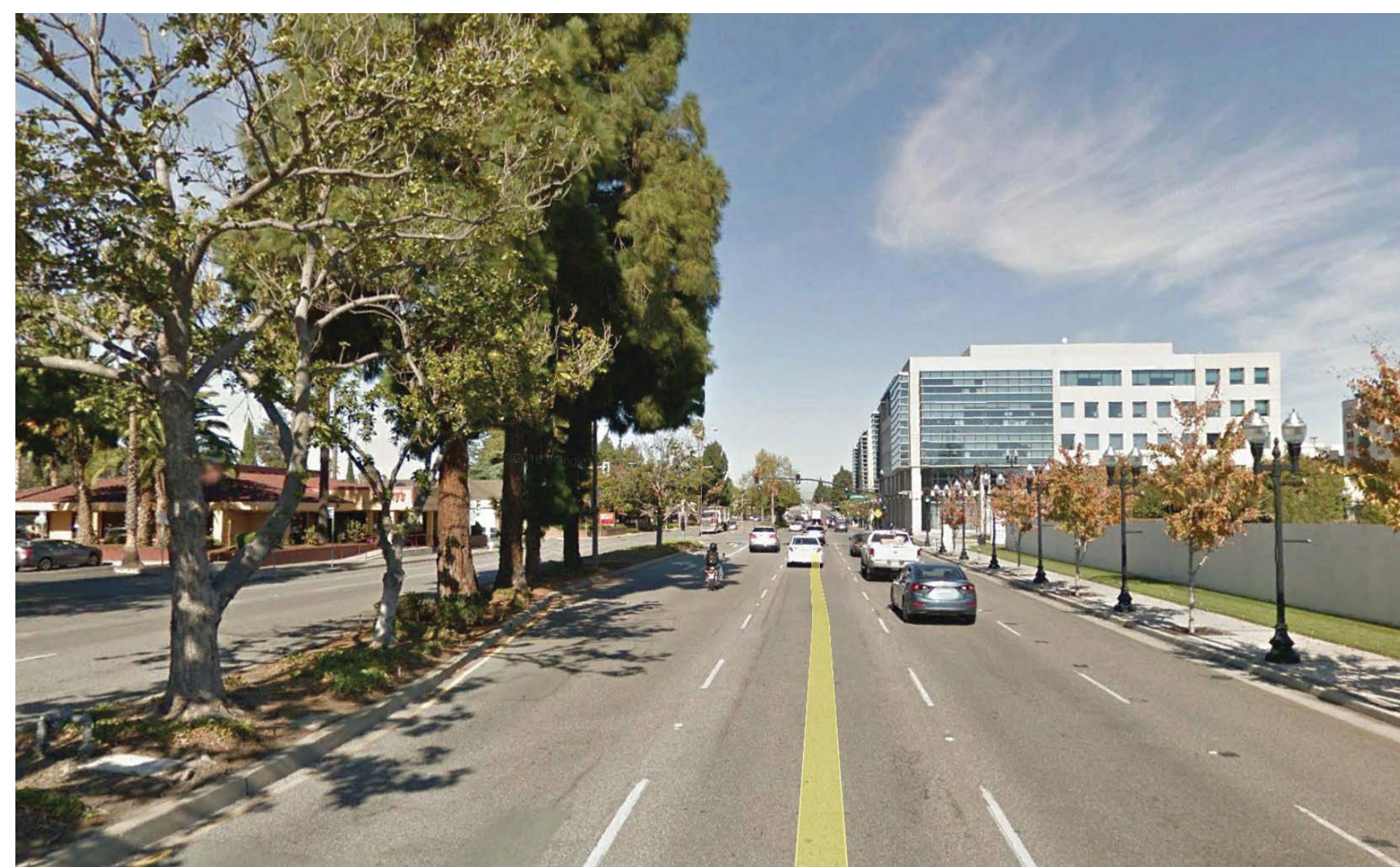
8. W MCKINLEY AVE LOOKING WEST



4. S MATHILDA AVE LOOKING NORTH EAST



7. CHARLES ST LOOKING NORTH



6. S MATHILDA AVE LOOKING NORTH



5. S MATHILDA AVE LOOKING WEST

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Sheet Title:
VICINITY MAP AND
EXISTING SITE
PHOTOS

Job No. 16044
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Sheet Title:
ILLUSTRATIVE SITE PLAN

Job No. 16044
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 Drawn By:

Sheet No:
SP1.1

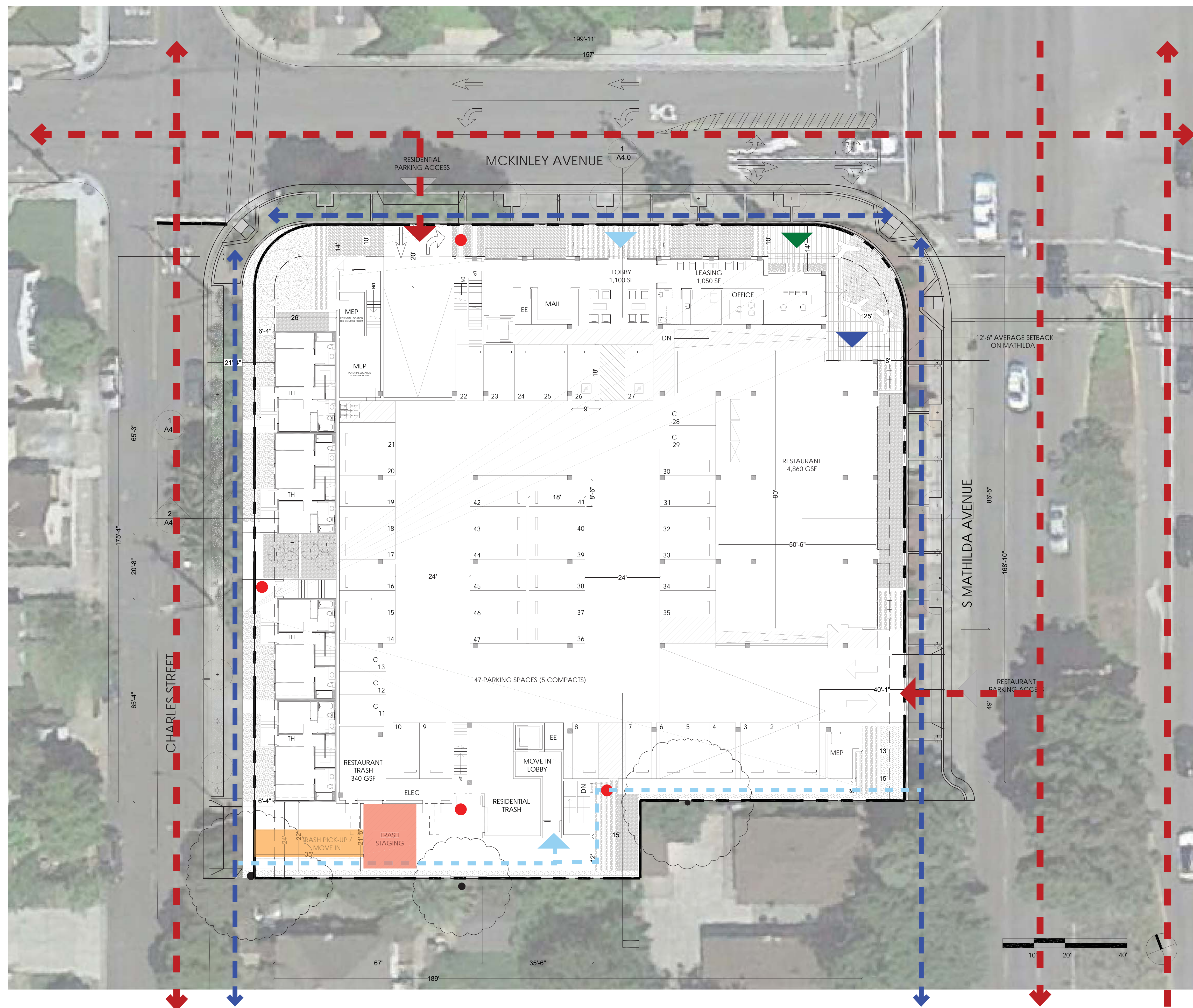


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- PUBLIC PEDESTRIAN CIRCULATION
- PRIVATE PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- TRASH STAGING AREA
- MOVE IN / TRASH PICK-UP
- RESIDENTIAL PEDESTRIAN ACCESS
- VEHICULAR ACCESS
- VISITOR PEDESTRIAN ACCESS
- COMMERCIAL PEDESTRIAN ACCESS
- EMERGENCY EXIT ONLY

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CIRCULATION DIAGRAM

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- 150 FIRE HOSE REACH
- COURTYARD EGRESS
- FIRE TRUCK CIRCULATION
- FIRE LADDER PAD

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Sheet Title:
FIRE ACCESS PLAN

Job No. 16044
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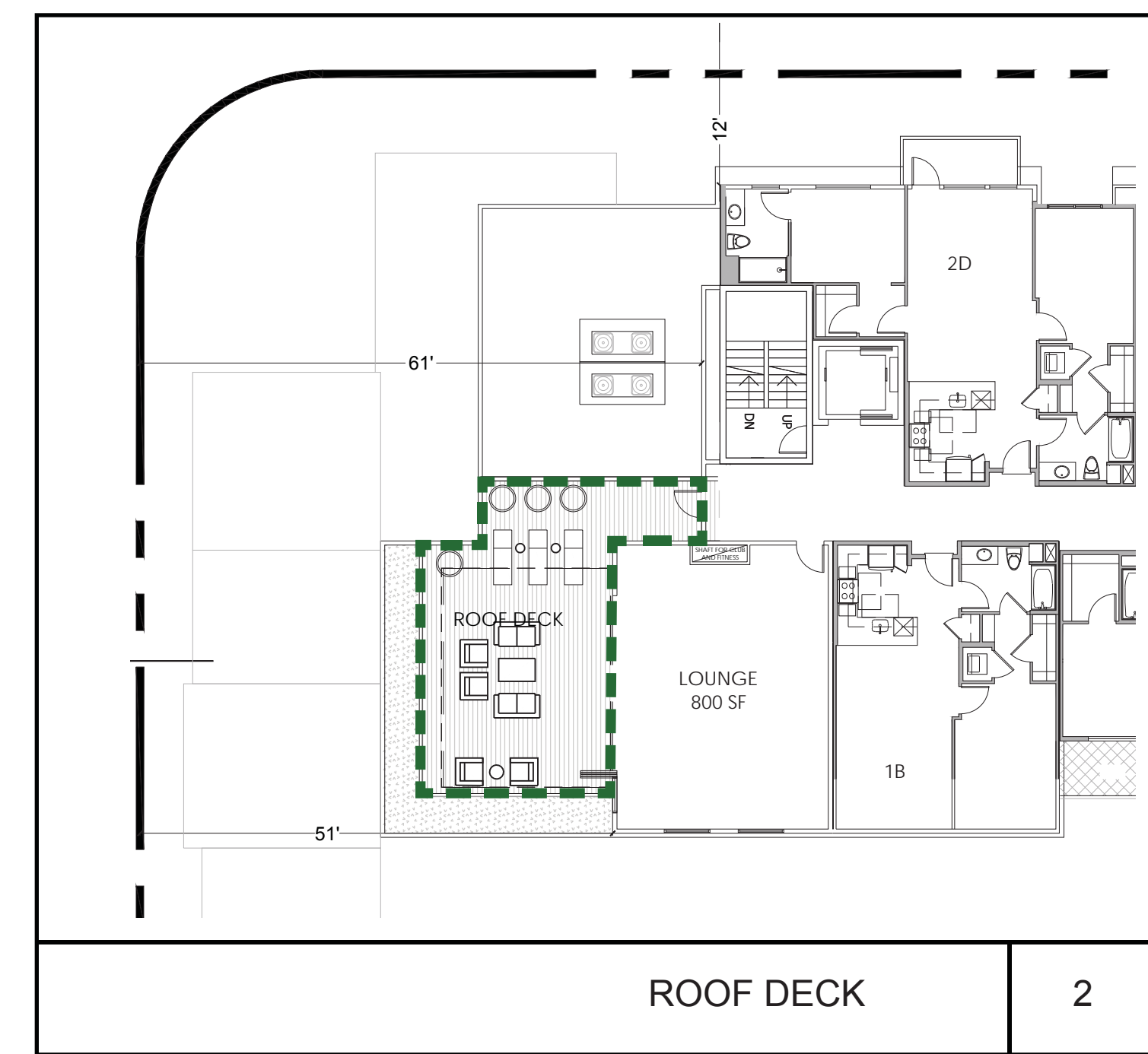


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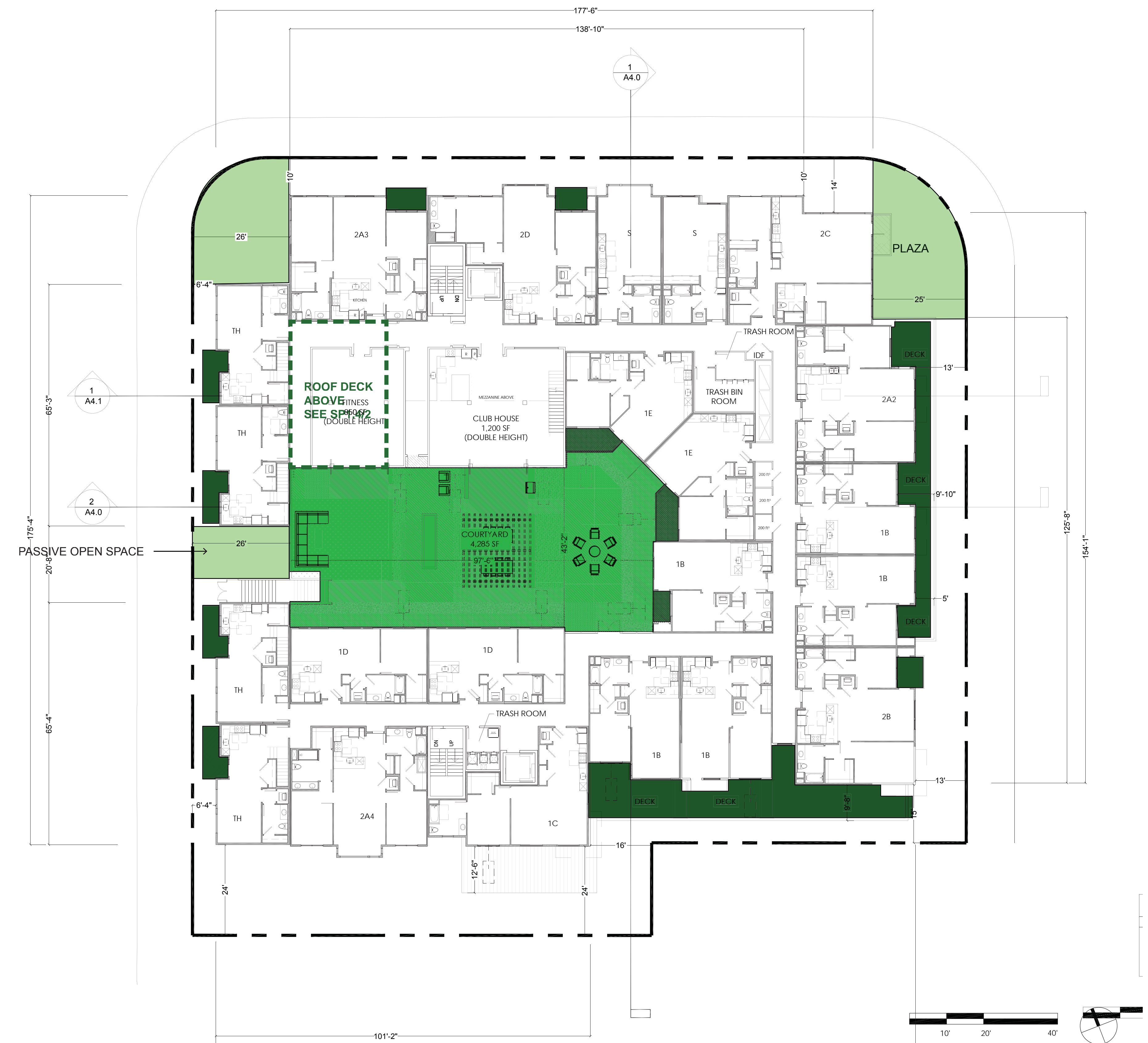
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ROOF DECK

2



- EXTERIOR PUBLIC
- COURTYARD
- PRIVATE BALCONIES
- ROOF DECK

OPEN SPACE REQUIREMENT
50 SF(PER UNIT) X 75 =3750 SF

OPEN SPACE PROVIDED
EXTERIOR PUBLIC = 1,990 SF
COURTYARD = 4,285 SF
PRIVATE BALCONIES = 3,465 SF
ROOF DECK = 750 SF

TOTAL PROVIDED = 10,490 SF (WITH EXTERIOR PUBLIC)
8,500 SF (WITHOUT EXTERIOR PUBLIC)

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Sheet Title:
**OPEN SPACE
CALCULATION**

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Dec 21 9:00AM



Jun 21 9:00AM



Mar/Sep 21 9:00AM



Dec 21 12:00PM



Jun 21 12:00PM



Mar/Sep 21 12:00PM



Dec 21 03:00PM



Jun 21 03:00PM



Mar/Sep 21 03:00PM

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Sheet Title:
SHADOW STUDY

Job No. 16044
 Date: 4/18/2018
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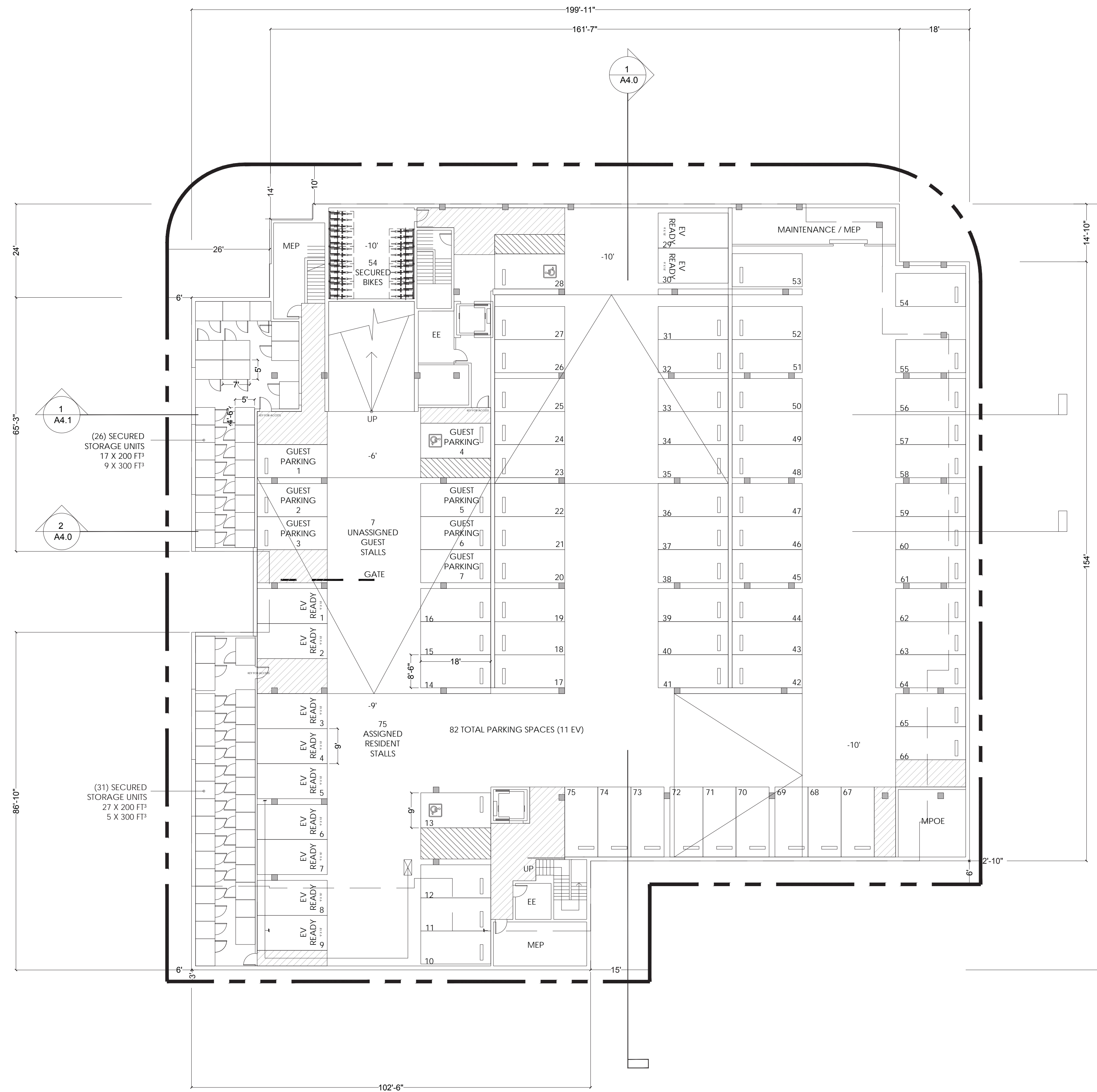


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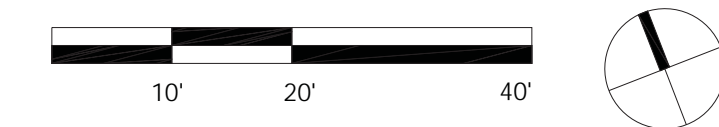
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STORAGE TYPE	CU FT	QUANTITY
	200 FT ³	44
	300 FT ³	14



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Sheet Title:
BASEMENT LEVEL PLAN

Job No. 16044
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Scale: 1/16 = 1 - 0
Drawn By:

Sheet No:

A2.0

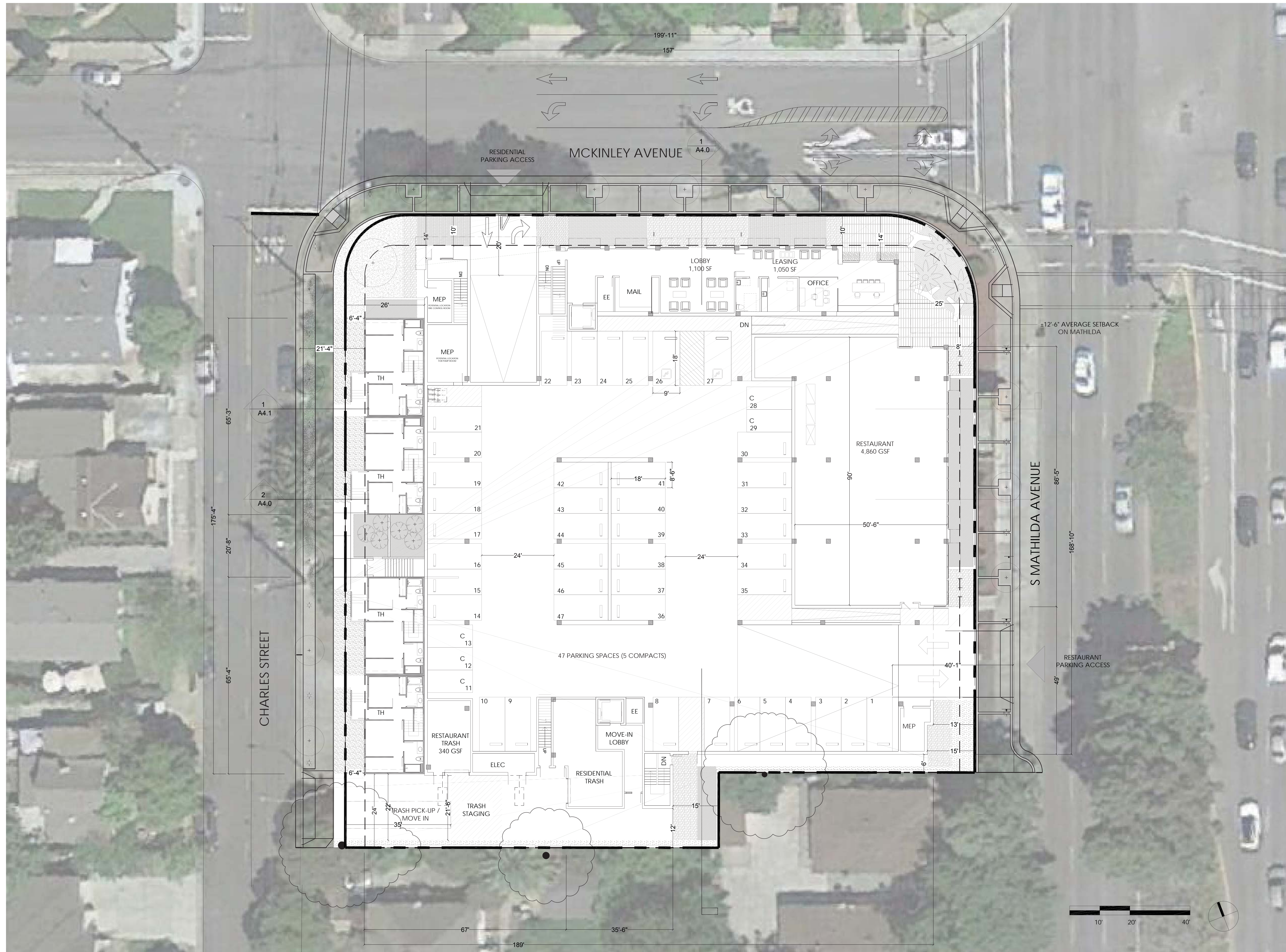


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Sheet Title:
STREET LEVEL PLAN

Job No. 16044
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MATHILDA AVERAGE SETBACK = (25' x 17.8 + 8' x 52.6 + 13' x 29.6) / 164' (TOTAL FRONTAGE) = ±12'-6" AVERAGE

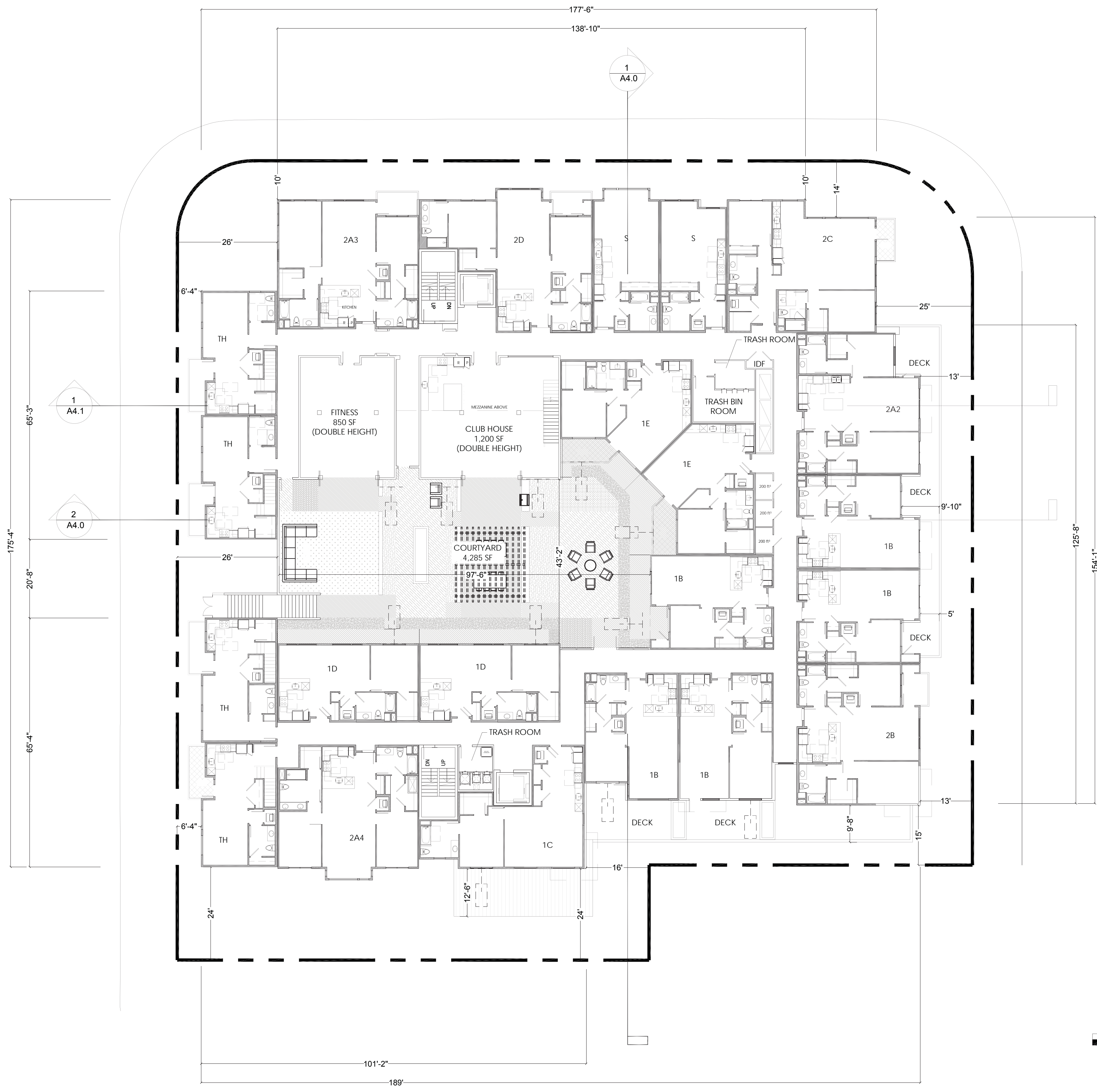


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STORAGE TYPE	CU FT	QUANTITY
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PODIUM LEVEL PLAN

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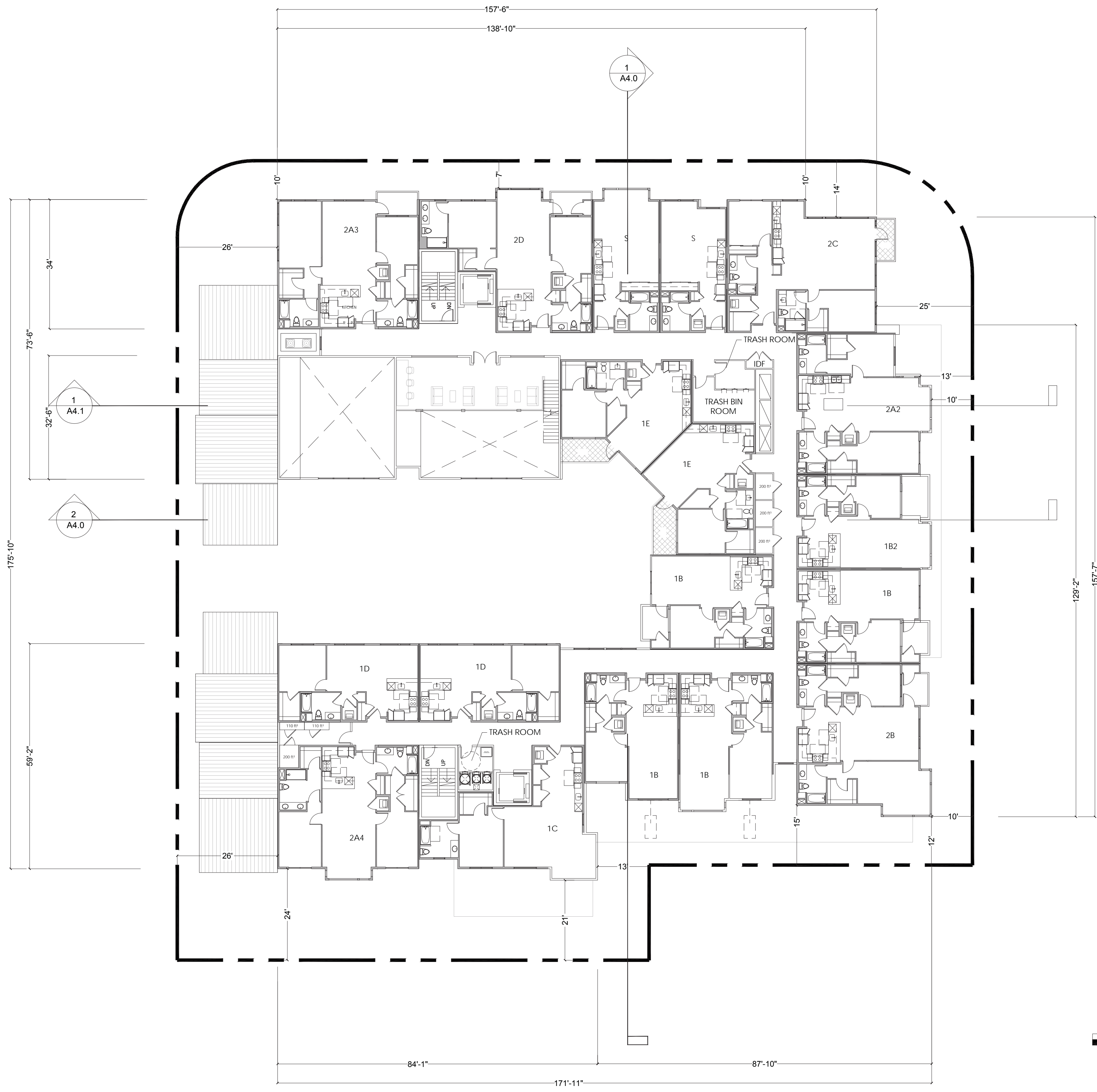


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Sheet Title:
THIRD LEVEL PLAN

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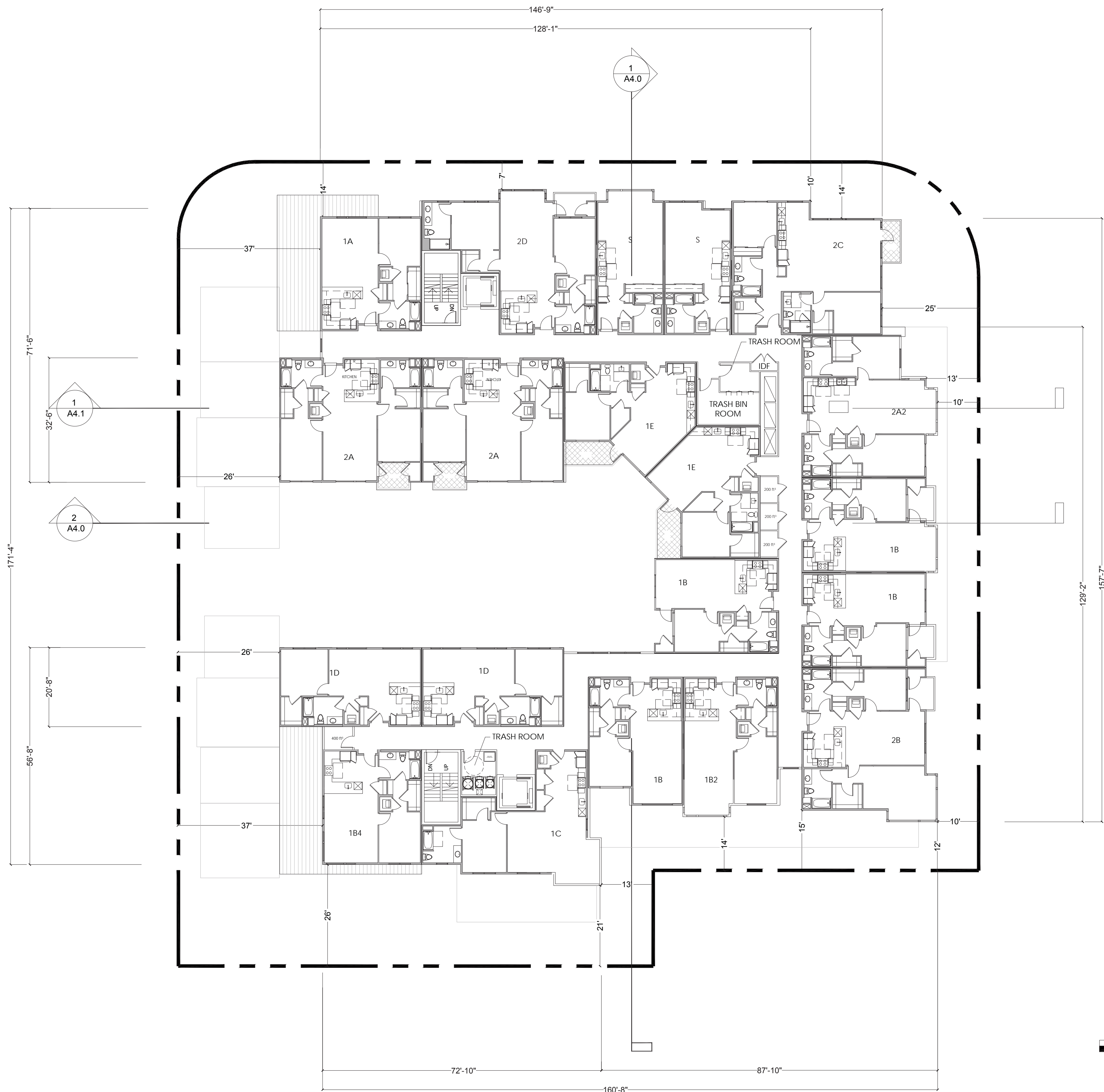


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STORAGE TYPE	CU FT	QUANTITY
	300 FT ³	3



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Sheet Title:
FOURTH LEVEL PLAN

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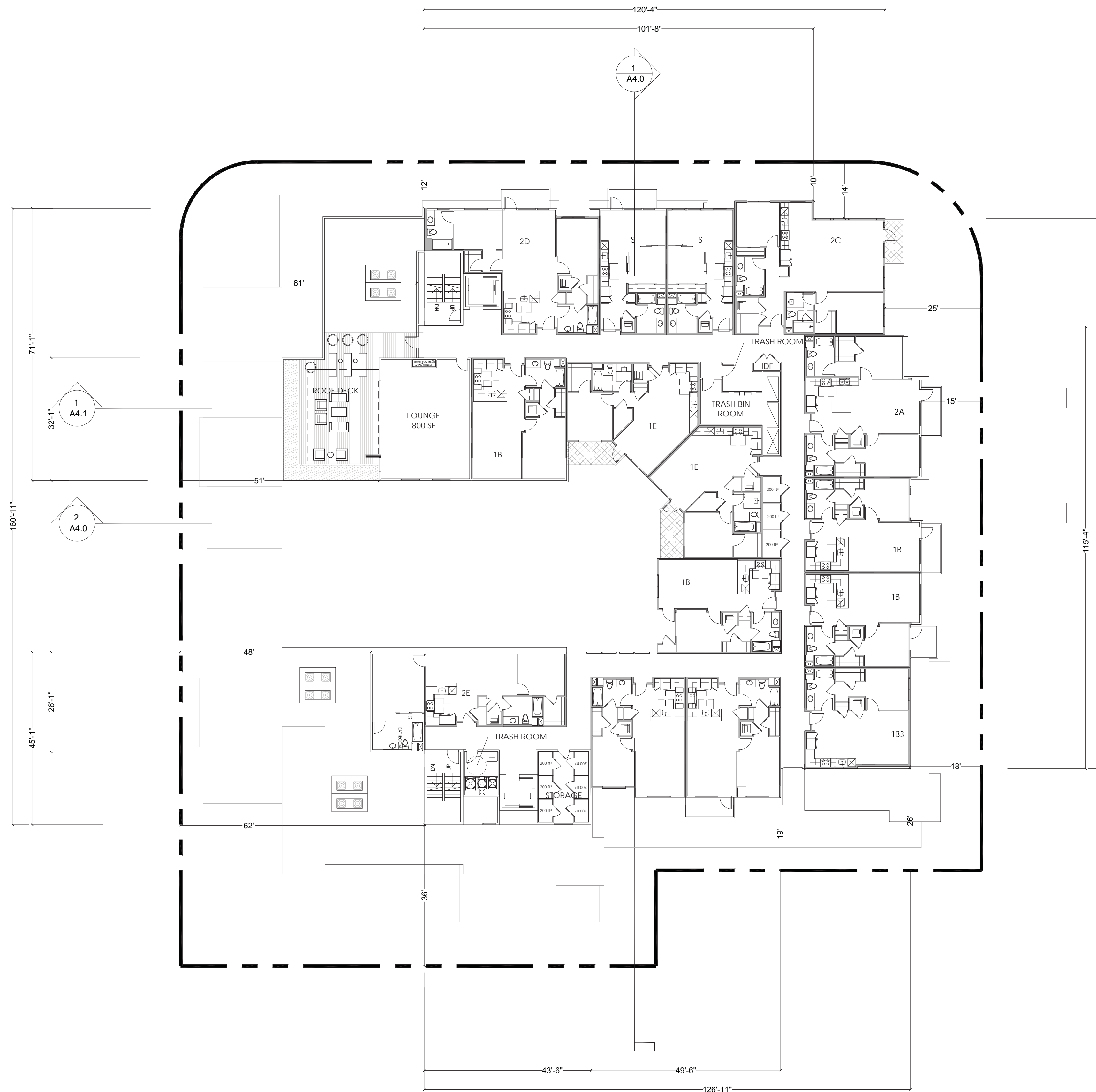


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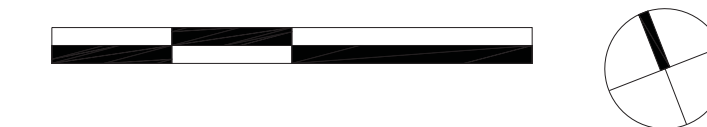
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STORAGE TYPE	CU FT	QUANTITY
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	300 FT ³	3



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Sheet Title:
FIFTH LEVEL PLAN

Job No. 16044
Date: 4/18/2018
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Sheet No:

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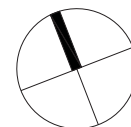
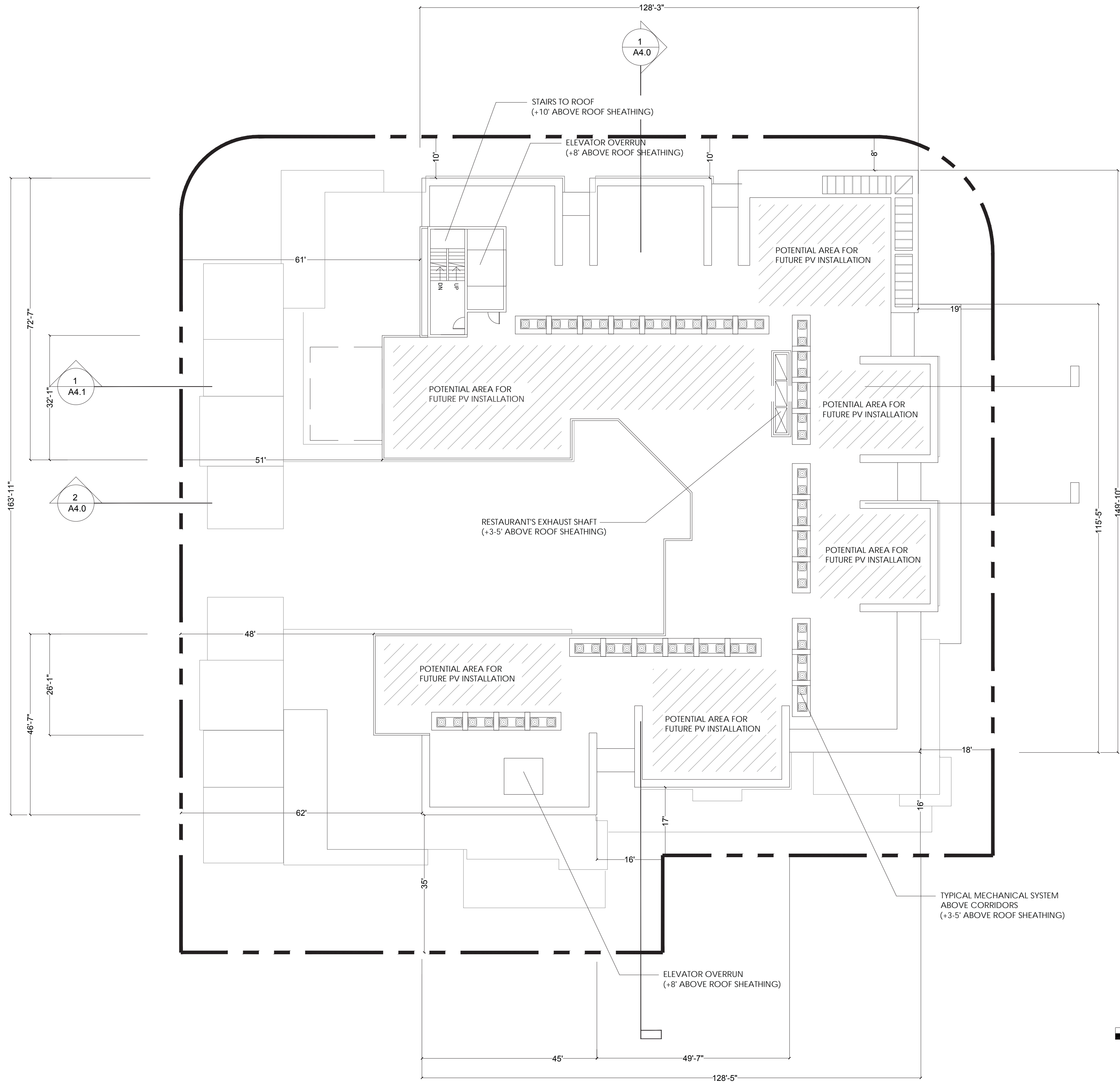


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Sheet Title:
ROOF LEVEL PLAN

Job No. 16044
Date: 4/18/2018
Scale: 1/16 = 1 - 0
Drawn By:

Sheet No:
A2.6



**STUDIO
T SQUARE**

: Architecture
: Planning
: Urban Design

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: Oakland, California 94607
: (510) 451 - 2850

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SCALE: 1/16" = 1' - 0"

①	STUCCO (SW7656 RHINESTONE)
②	STUCCO (SW7073 NETWORK GRAY)
③	STUCCO (SW7075 WEB GRAY)
④	STUCCO (SW6118 LEATHER BOUND)
⑤	SIDING (SW7633 TAUPE TONE)
⑥	SIDING (SW7705 WHEAT PENNY)
⑦	RAIN SCREEN (NICHIIHA VINTAGE WOOD CEDAR)
⑧	METAL AWNING (BLACK)
⑨	METAL SEAMED ROOF
⑩	STOREFRONT (BLACK)
⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING



SCALE: N.T.S.

311 Mathilda
311 S Mathilda Ave, Sunnyvale, CA 94086

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Sheet Title:
**BUILDING
ELEVATIONS AND
PERSPECTIVES**

Job No. 16044
Date: 4/18/2018
Scale: AS NOTED
Drawn By:

Sheet No:

A3.0



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⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING

MCKINLEY AVE ELEVATION

2

SCALE: 1/16" = 1' - 0"



MCKINLEY AVE PERSPECTIVE

1

SCALE: N.T.S.

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Job No. 16044
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⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING



CHARLES ST ELEVATION

2

SCALE: 1/16" = 1' - 0"



CHARLES ST PERSPECTIVE

1

SCALE: N.T.S.

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BUILDING ELEVATIONS AND PERSPECTIVES

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⑫	VINYL WINDOW (BLACK)
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⑭	PERFORATED METAL RAILING



SOUTH ELEVATION

2

SCALE: 1/16" = 1' - 0"



CHARLES ST LOOKING NORTH PERSPECTIVE

1

SCALE: N.T.S.

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BUILDING ELEVATIONS AND PERSPECTIVES

Job No. 16044
Date: 4/18/2018
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Drawn By:

Sheet No:

A3.3

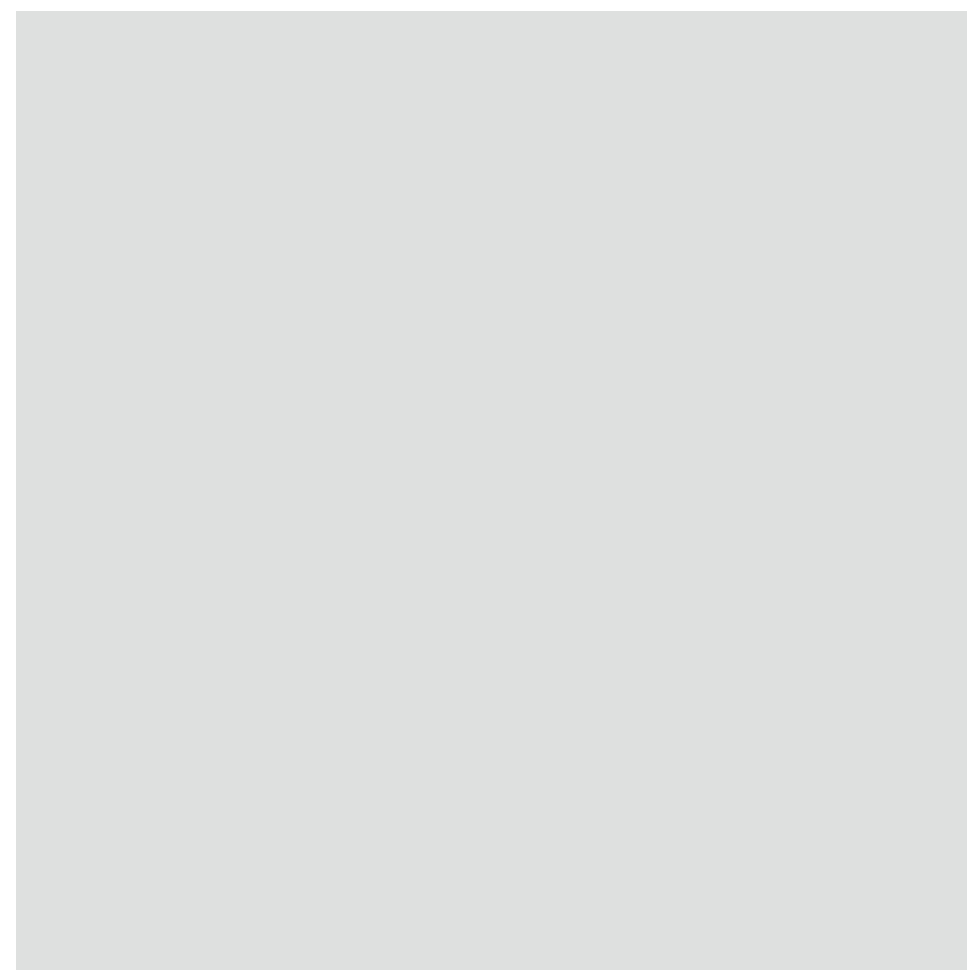


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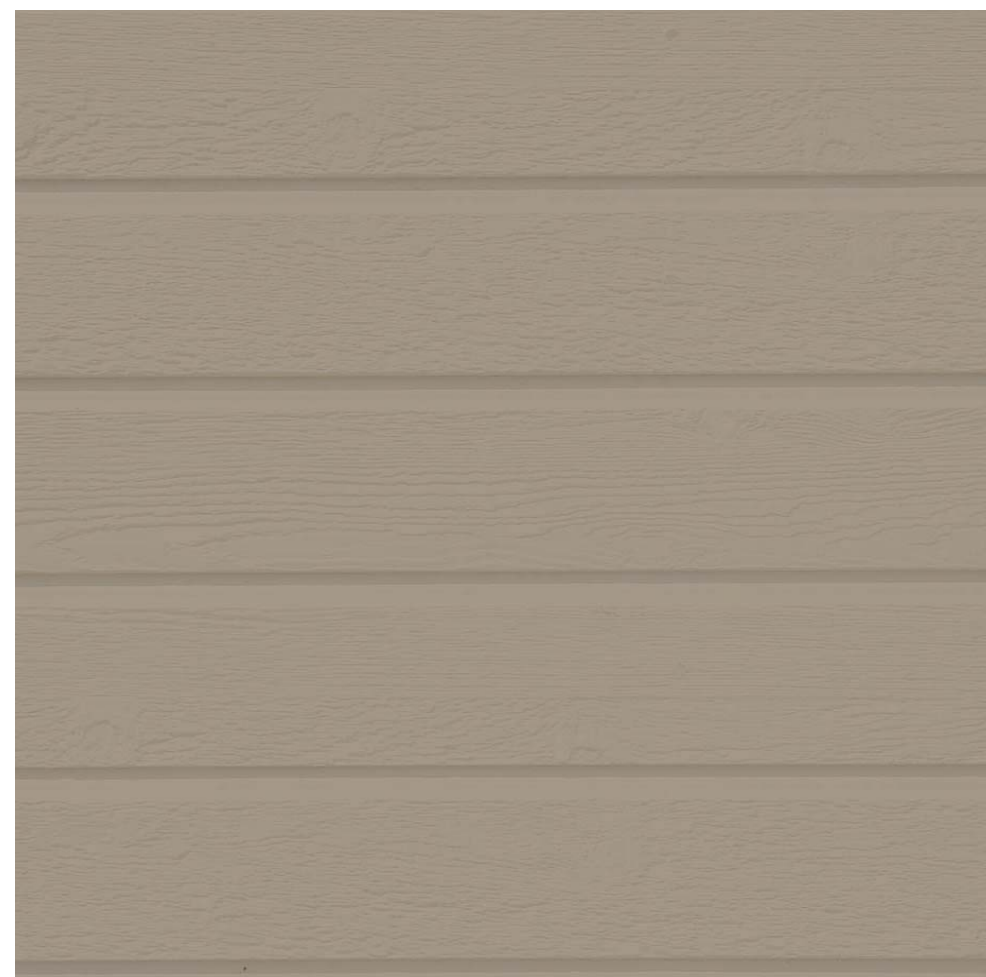
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03 STUCCO (SW7075 WEB GRAY)



04 STUCCO (SW6118 LEATHER BOUND)



05 SIDING (SW7633 TAUPE TONE)



06 SIDING (SW7705 WHEAT PENNY)



07 RAIN SCREEN (NICHHA VINTAGE WOOD CEDAR)



08 METAL AWNING (BLACK)



09 METAL SEAMED ROOF



10 STOREFRONT (BLACK)



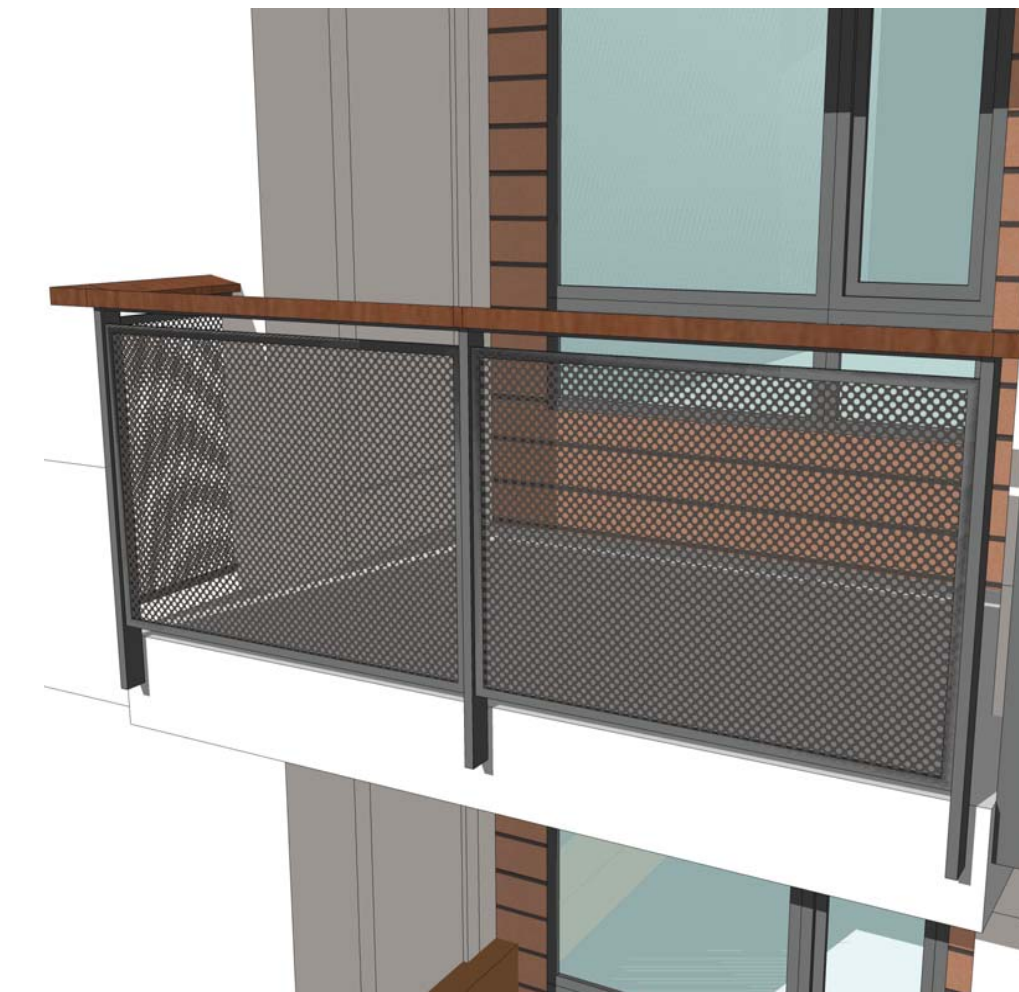
11 ALUMINUM WINDOW (BLACK)



12 VINYL WINDOW (BLACK)



13 GLASS RAILING



14 PERFORATED METAL RAILING

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Sheet Title:
**COLOR AND
MATERIAL BOARD**

Job No. 16044
Date: 4/18/2018
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Drawn By:

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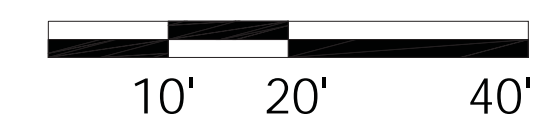
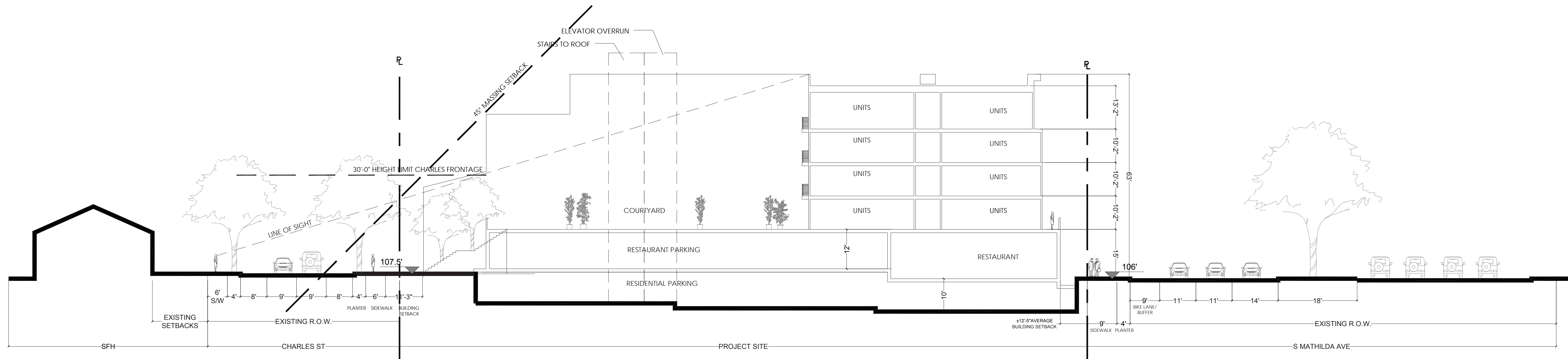


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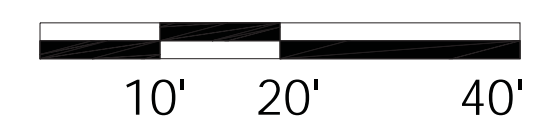
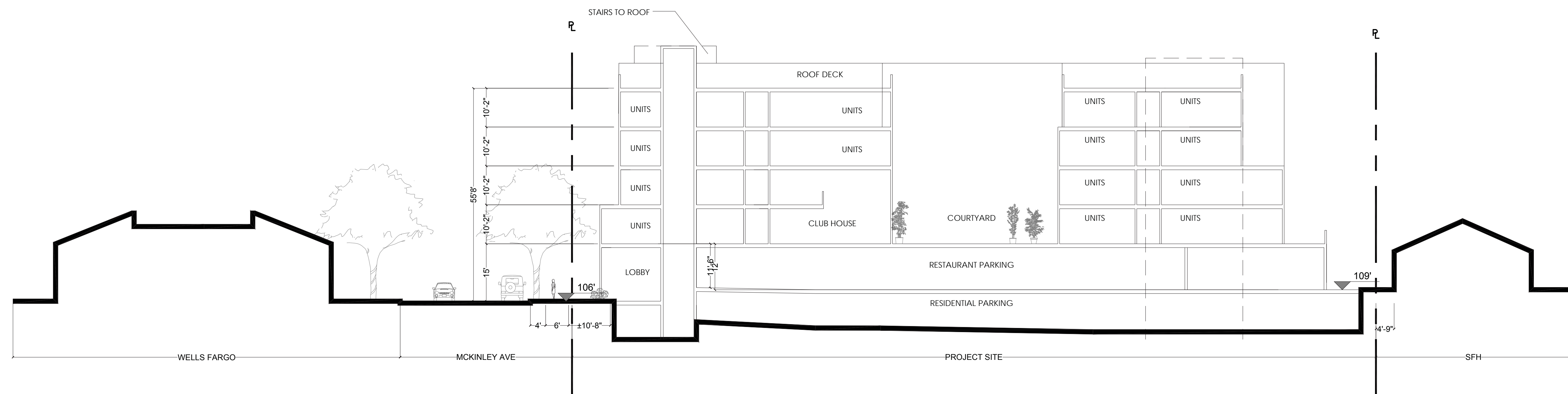
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SECTION 2

2

SCALE: 1/16" = 1' - 0"



SECTION 1

1

SCALE: 1/16" = 1' - 0"

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**BUILDING
SECTIONS**

Job No. 16044
Date: 4/18/2018
Scale: AS NOTED
Drawn By:

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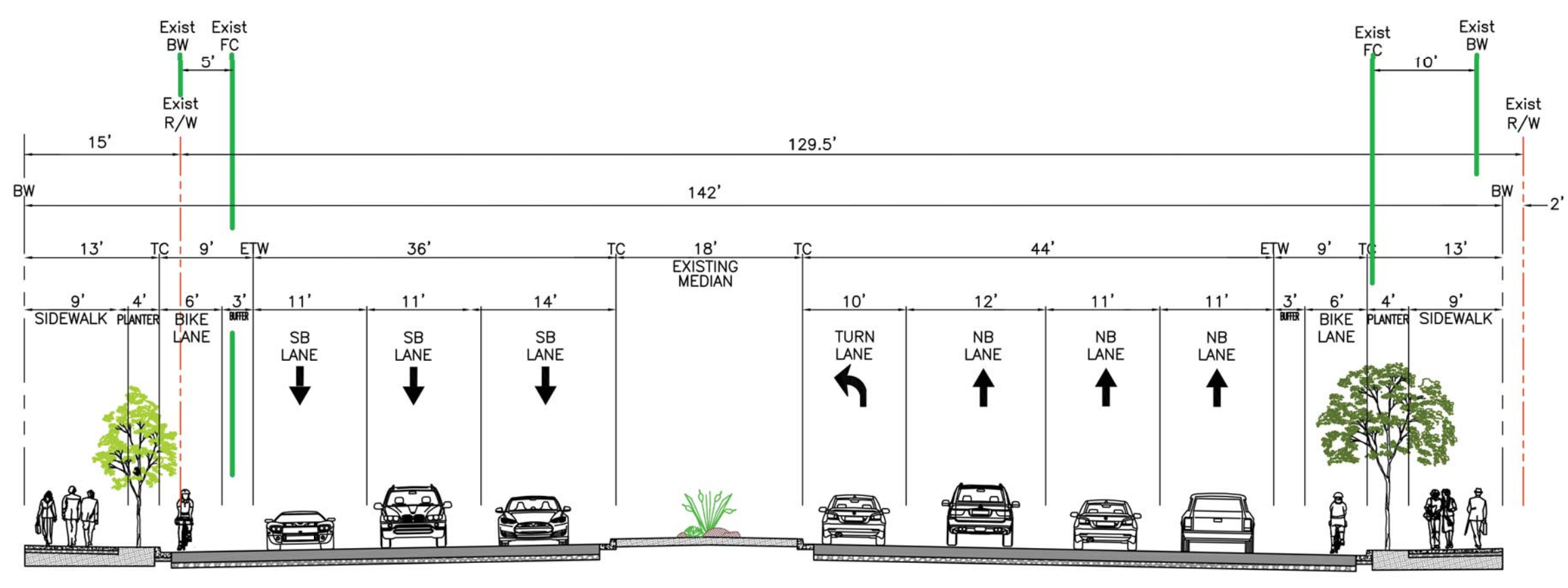


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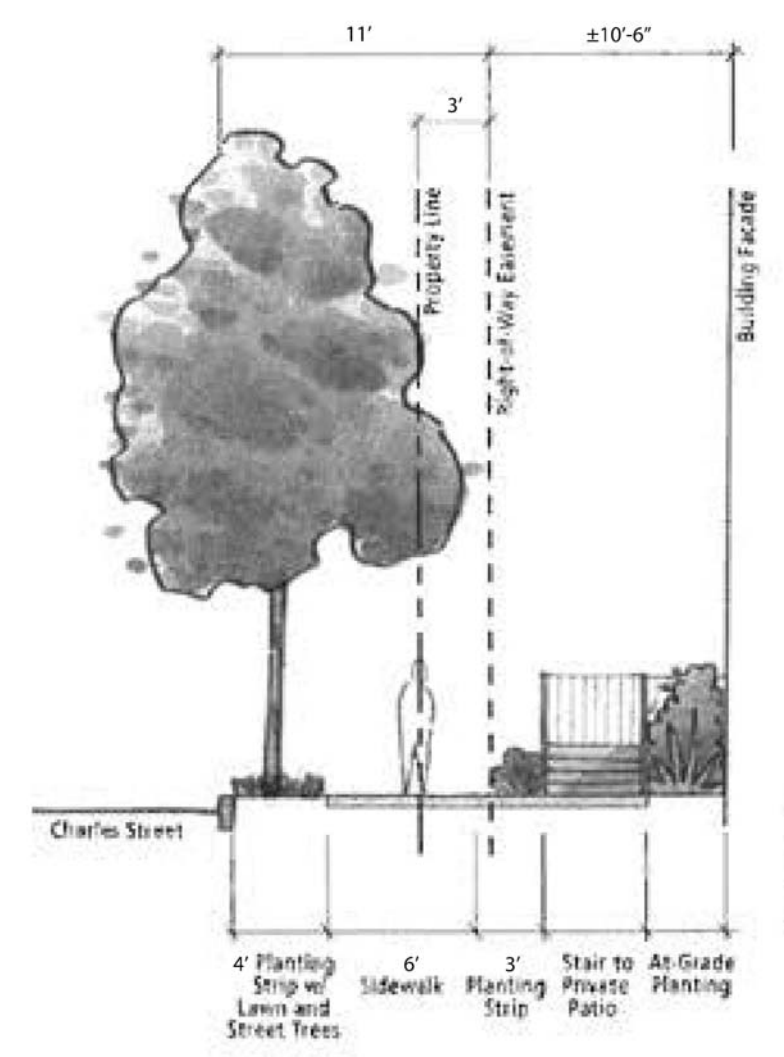
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DTPP-MATHILDA AVENUE SECTION

3

N.T.S.

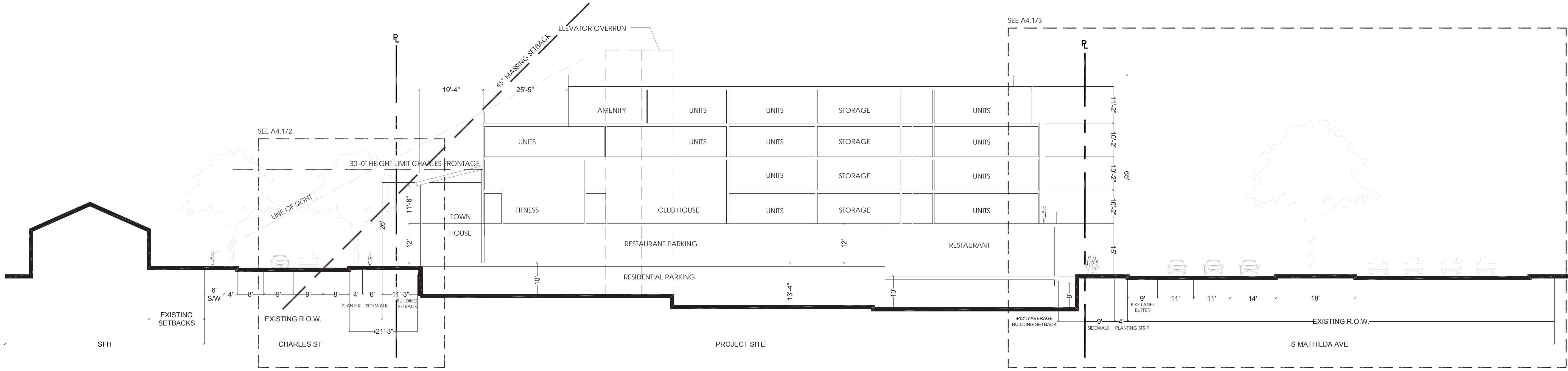
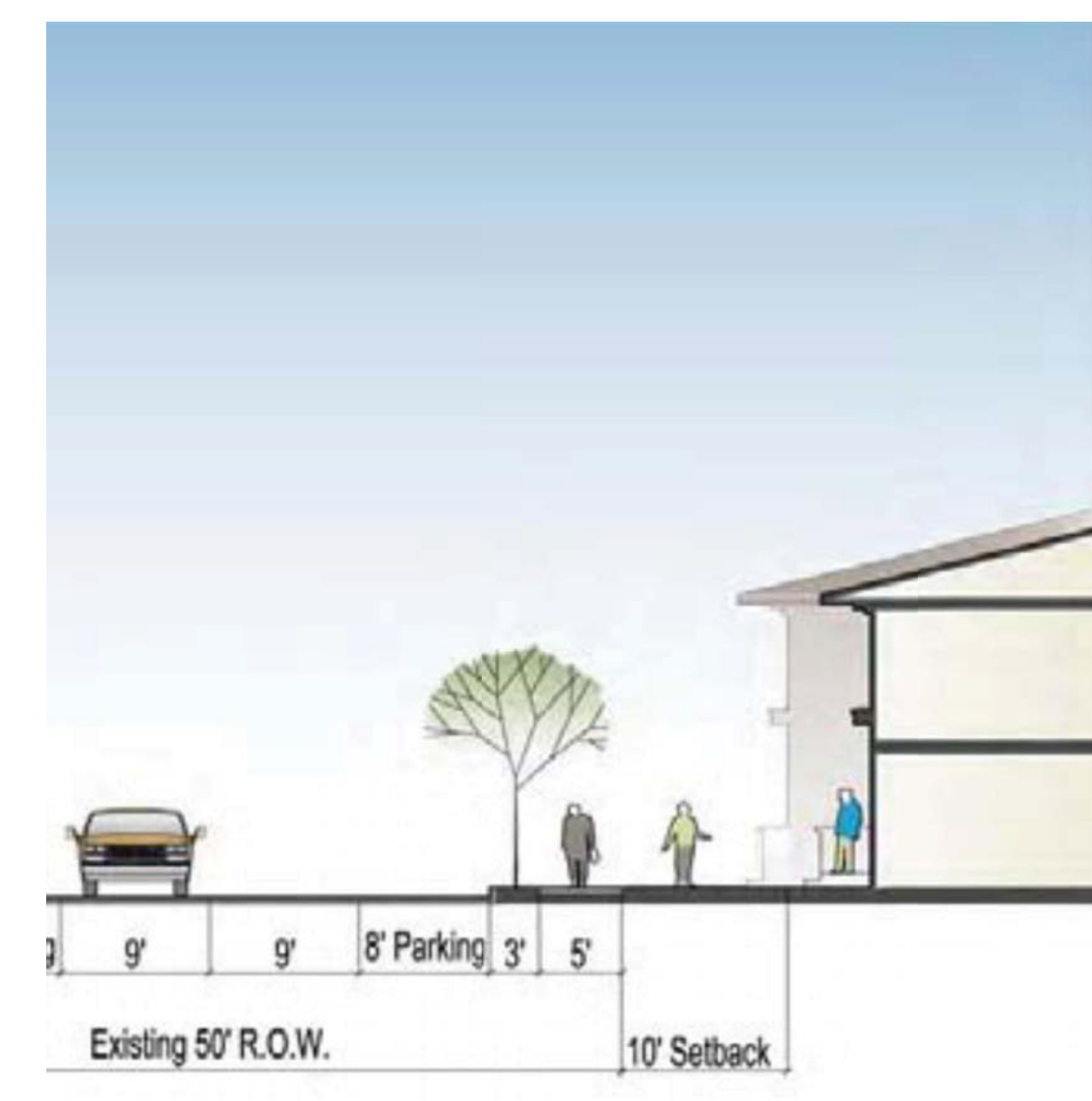


481 MATHILDA PROPOSED CHARLES AVENUE SECTION

DTPP-CHARLES AVENUE SECTION

2

N.T.S.



SECTION 1

1

SCALE: 1/16" = 1' - 0"

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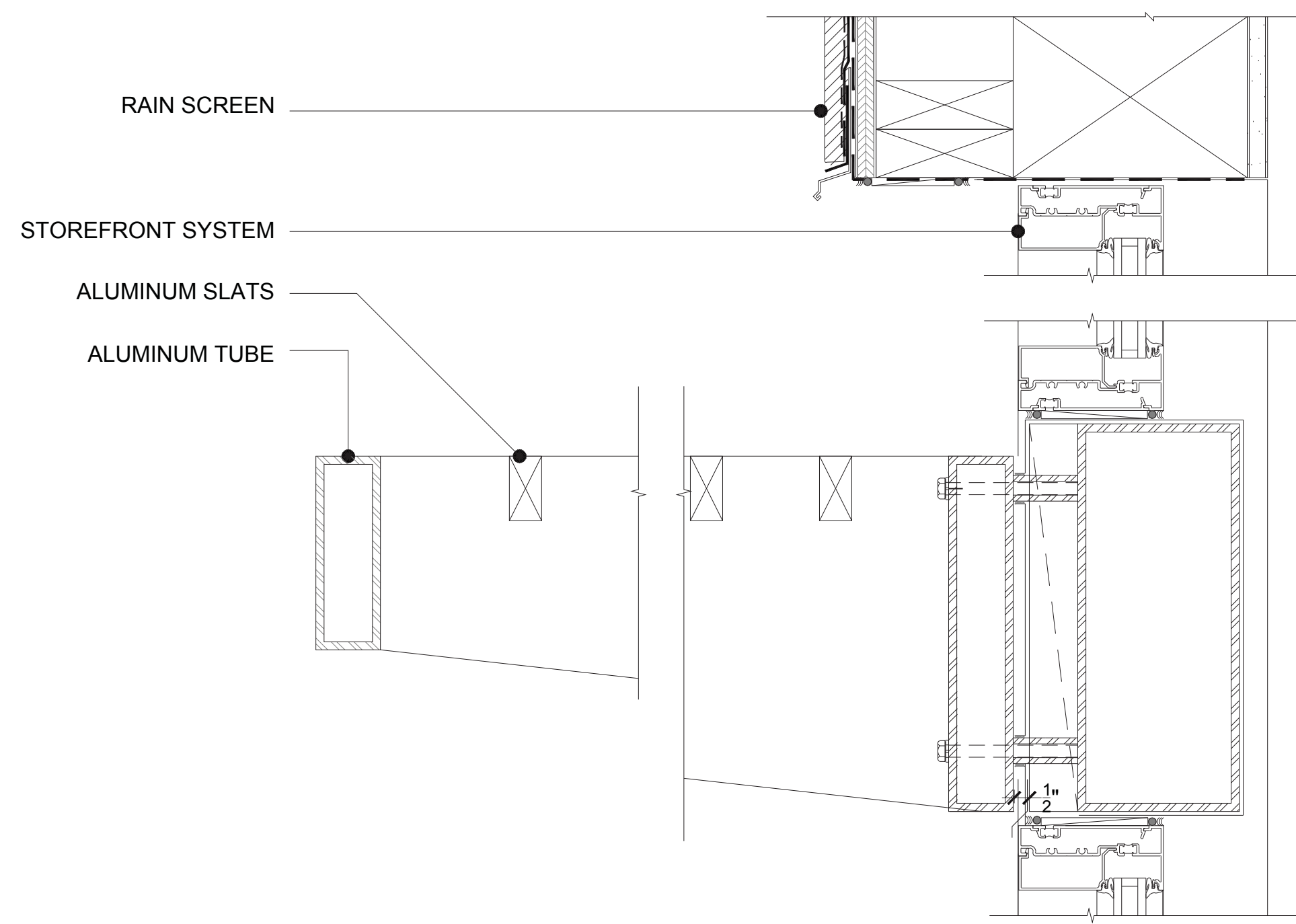


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STOREFRONT AWNING DETAIL

SCALE: 3" = 1' - 0"

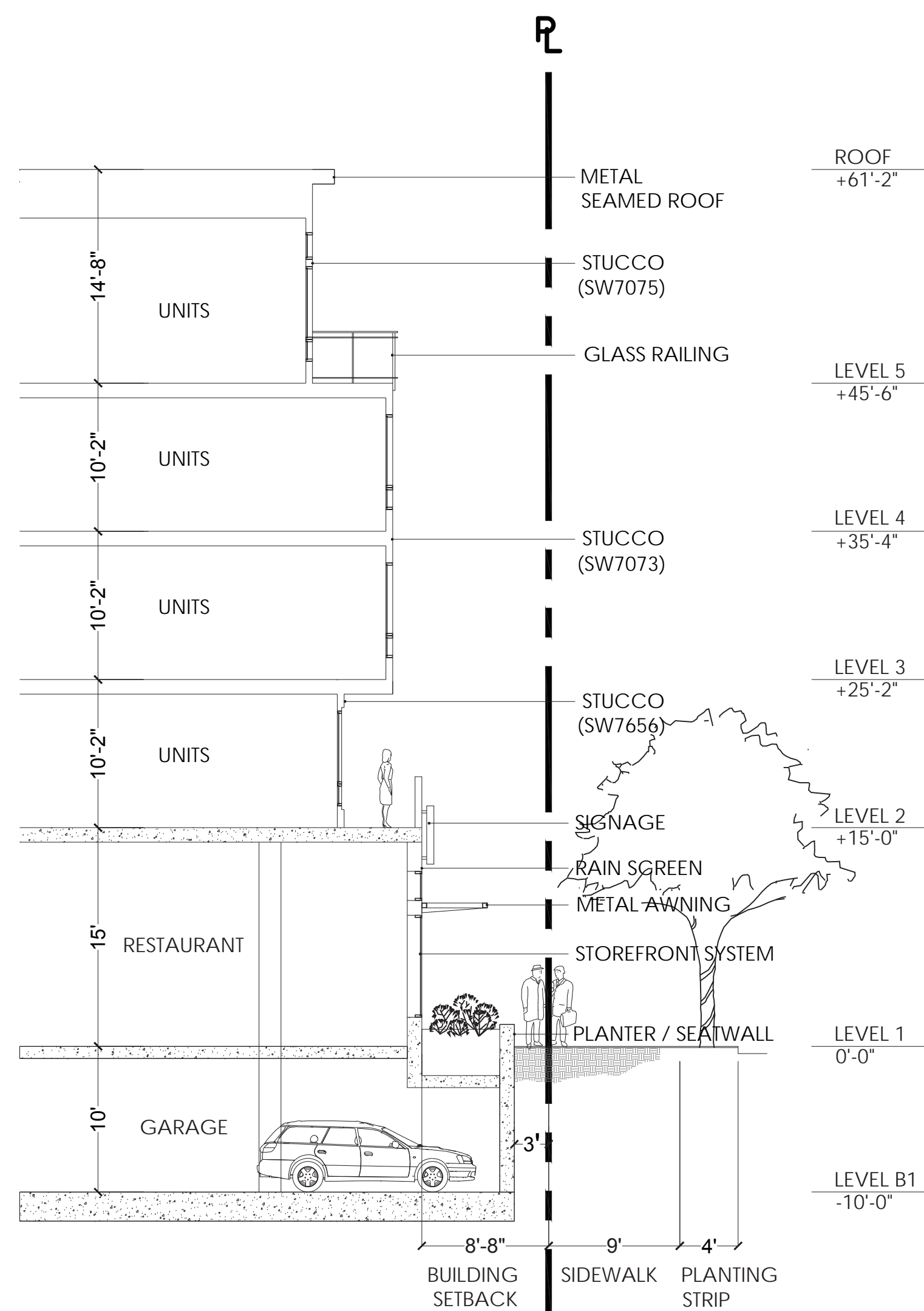
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ENLARGED ELEVATION

N.T.S.

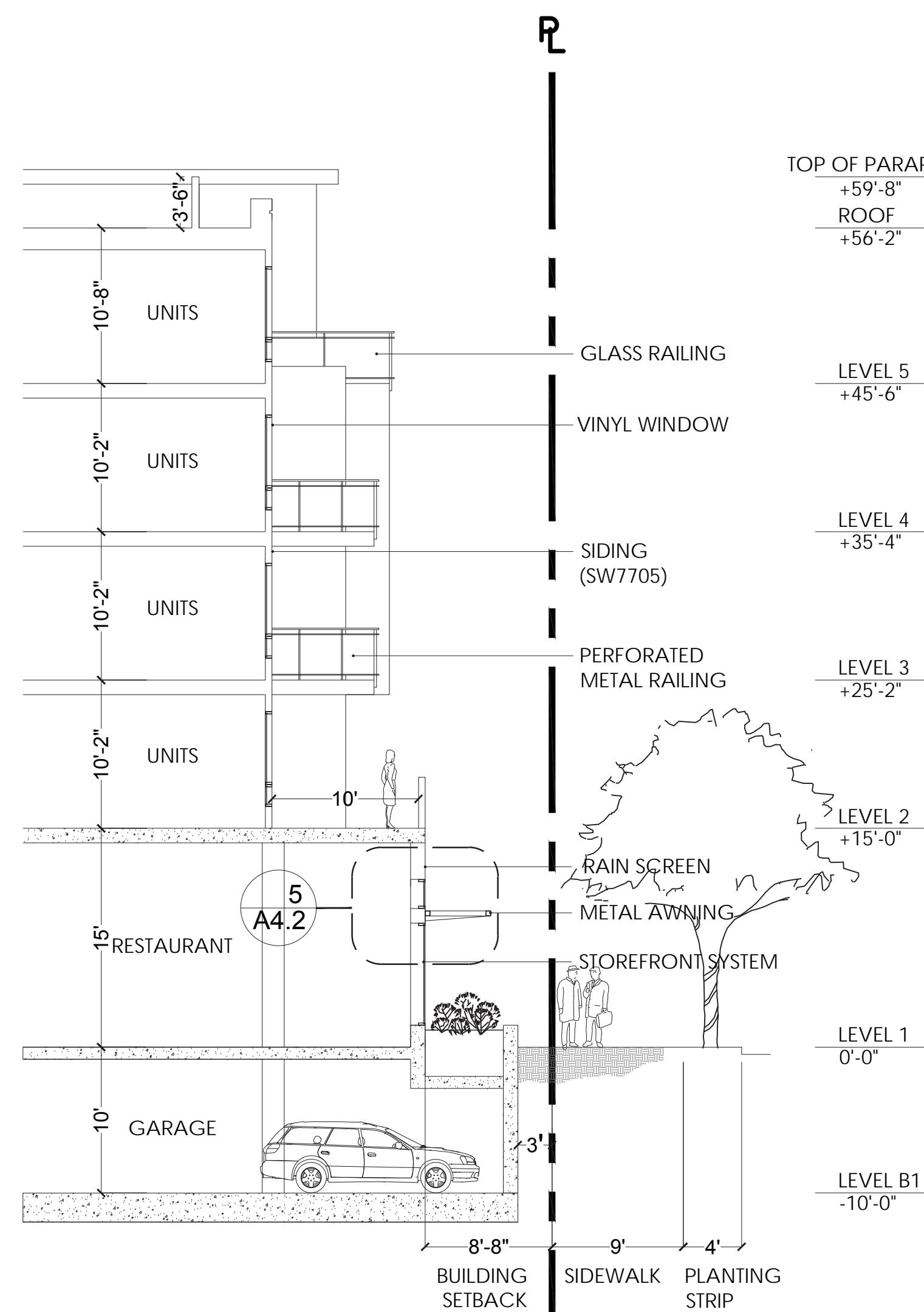
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BAY SECTION

SCALE: 1/8" = 1' - 0"

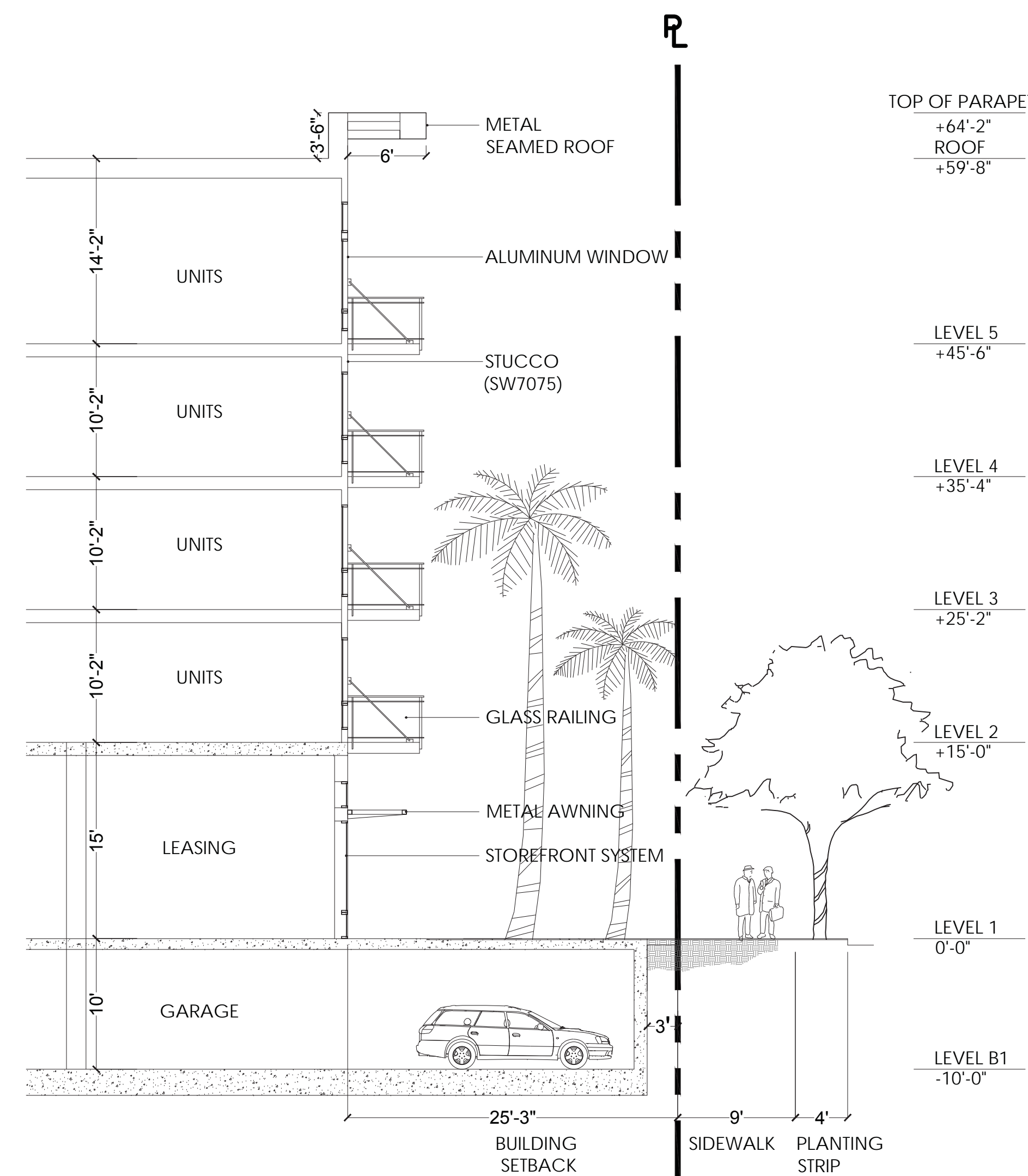
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BALCONY SECTION

SCALE: 1/8" = 1' - 0"

2



CORNER TOWER SECTION

SCALE: 1/8" = 1' - 0"

1

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 SCHEMATIC DETAIL

Job No. 16044
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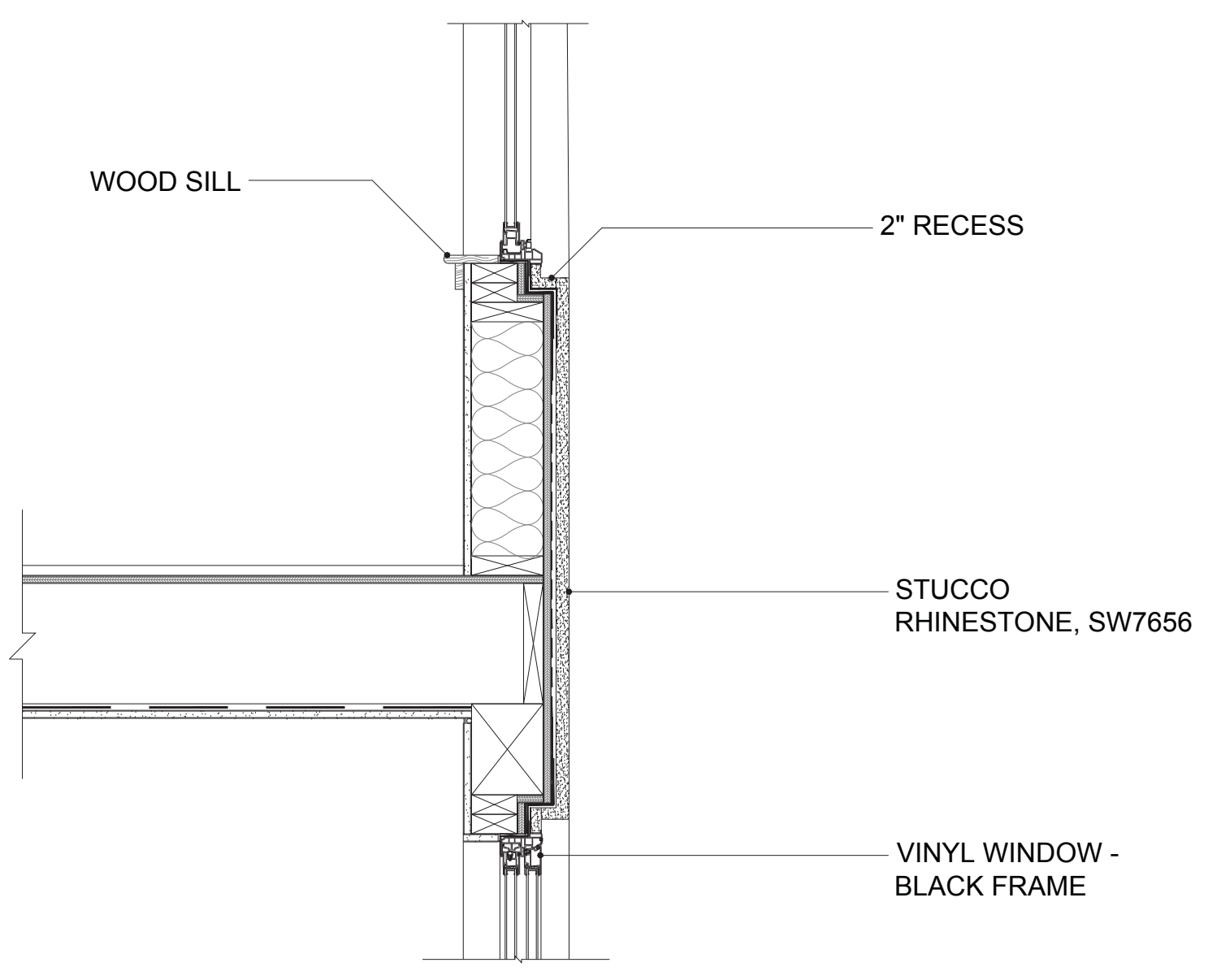


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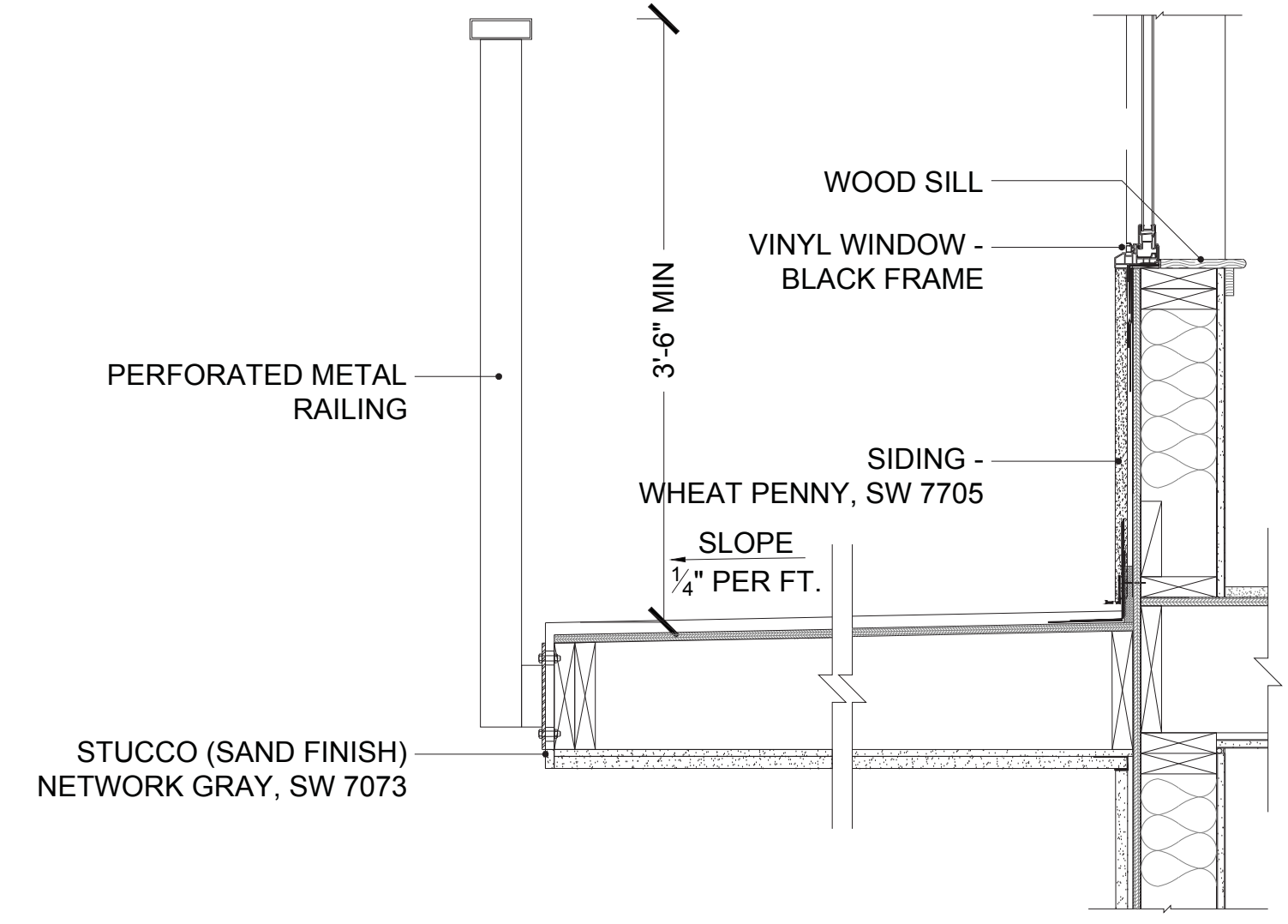
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RECESSED WINDOW DETAIL

6

SCALE: 1" = 1'-0"



INSET BALCONY DETAIL

5

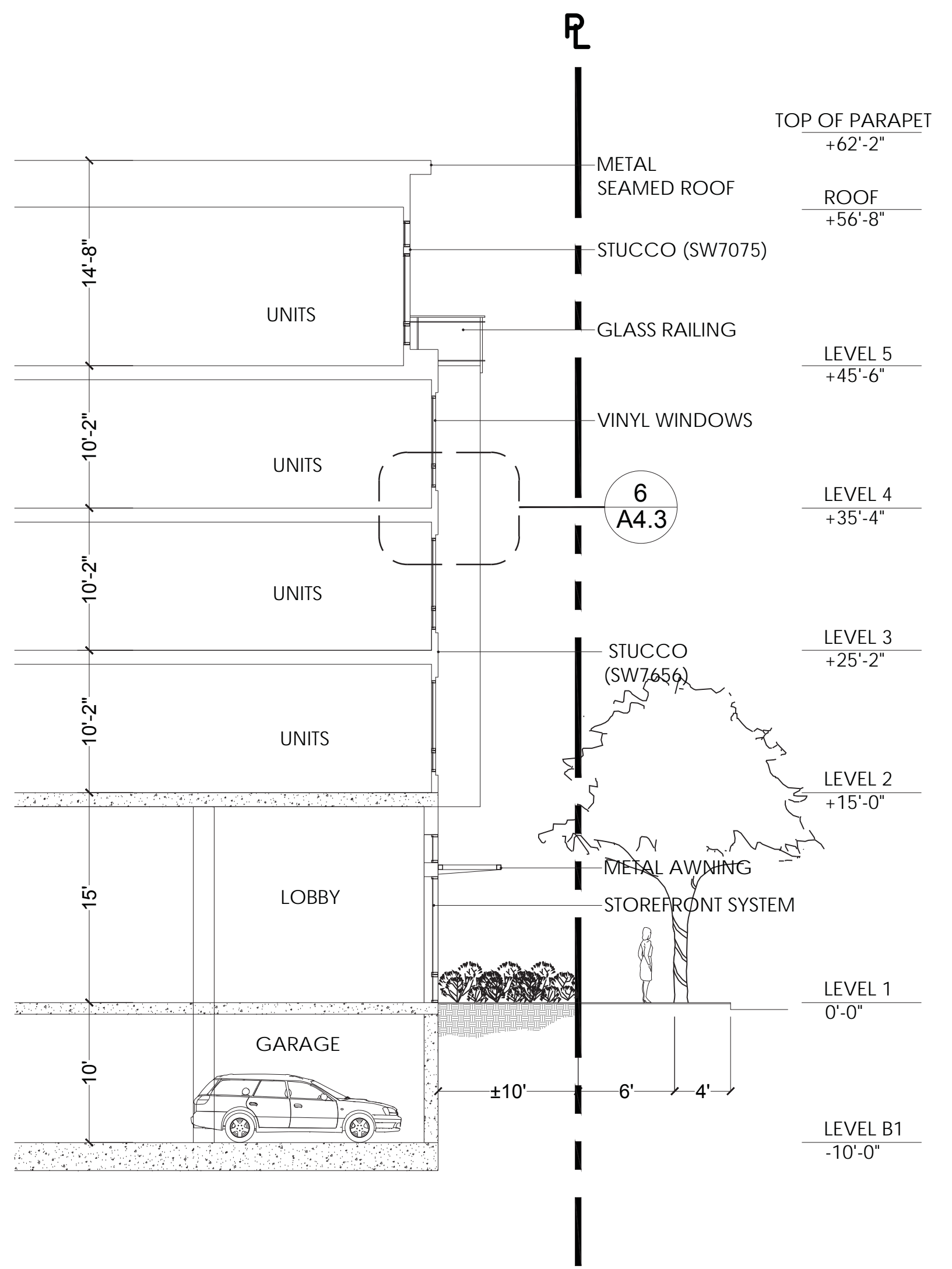
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ENLARGED ELEVATION

4

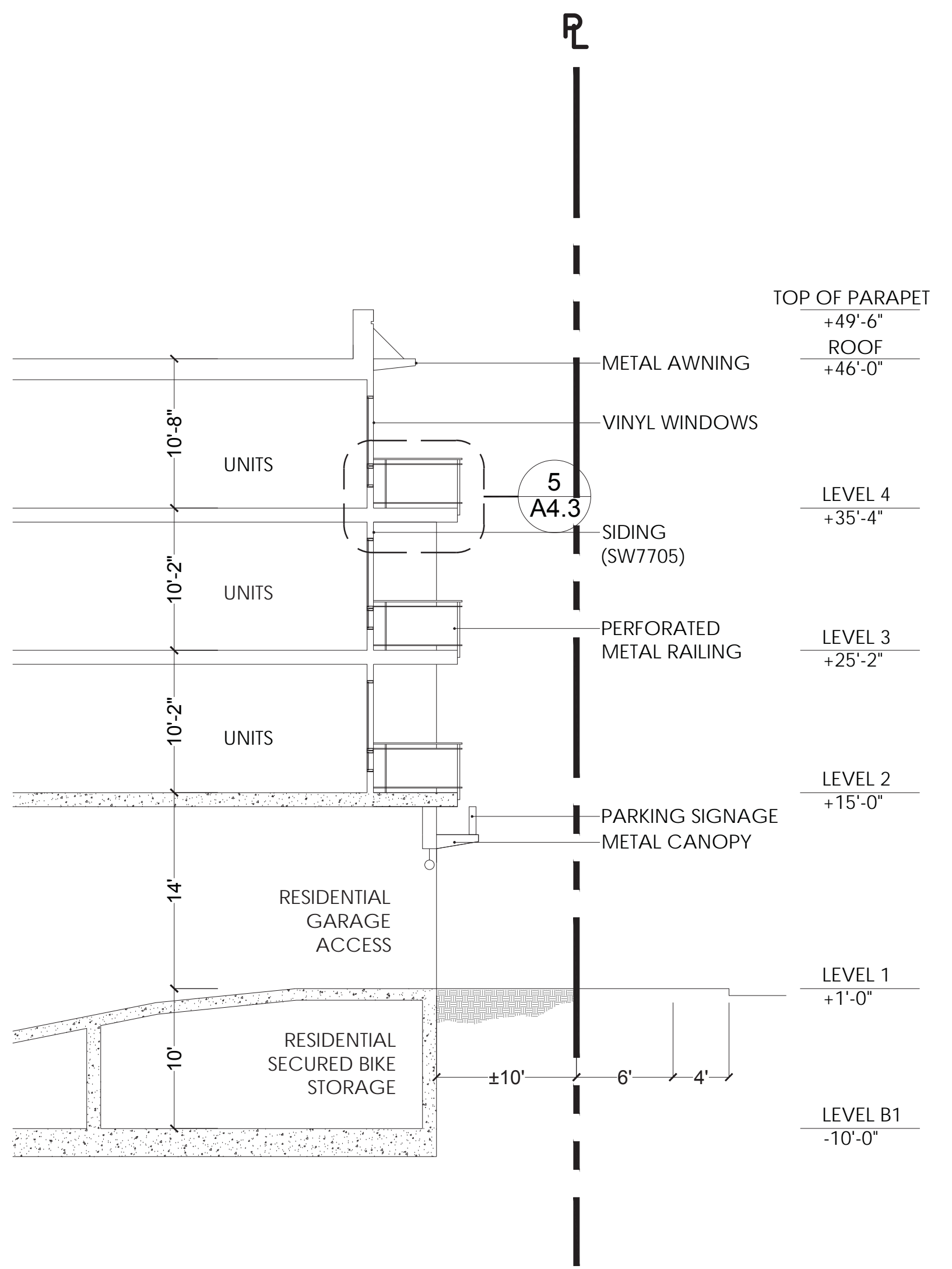
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LOBBY SECTION

3

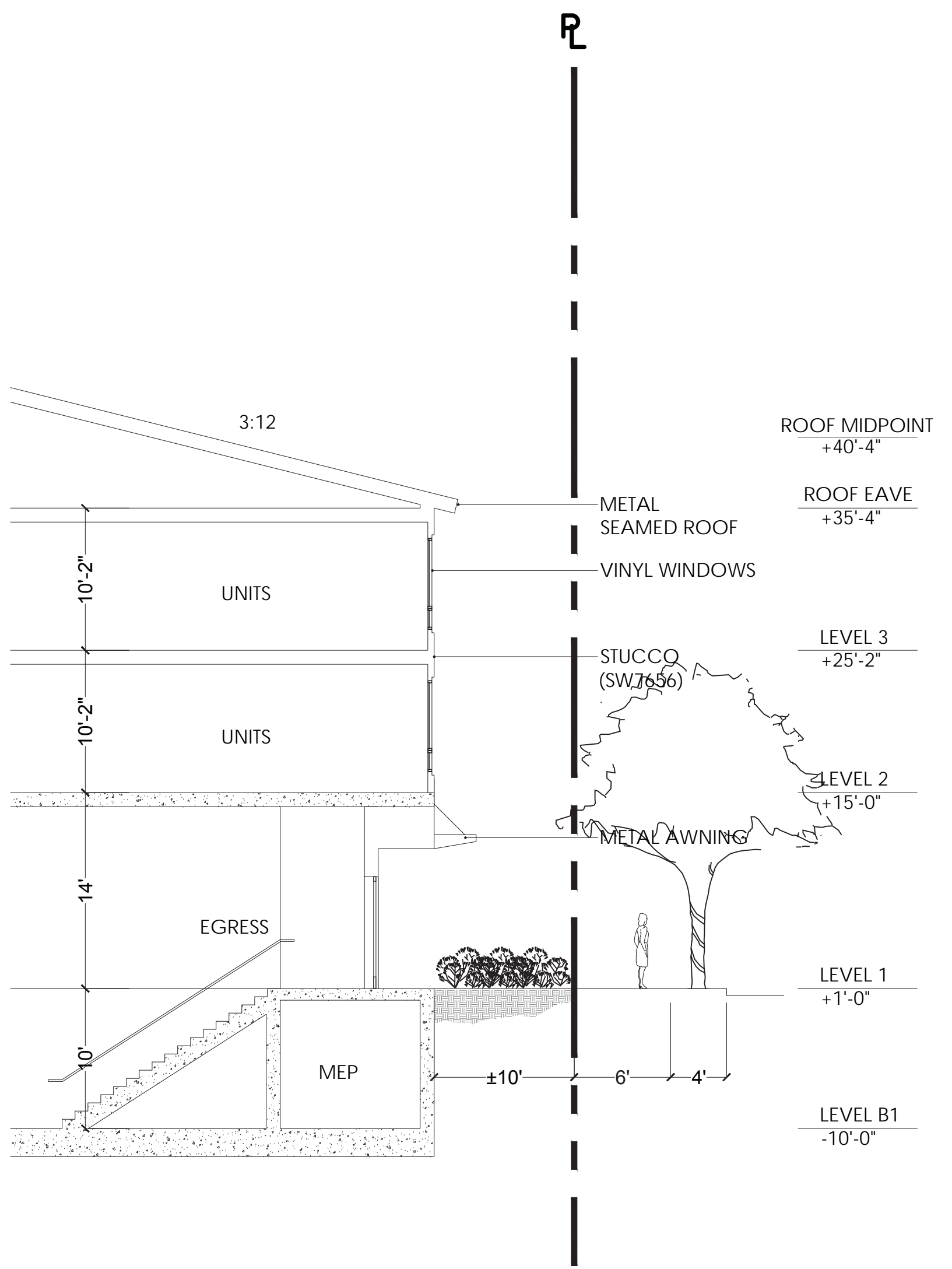
SCALE: 1/8" = 1'-0"



RESIDENTIAL GARAGE ENTRY SECTION

2

SCALE: 1/8" = 1'-0"



MCKINLEY / CHARLES CORNER SECTION

1

SCALE: 1/8" = 1'-0"

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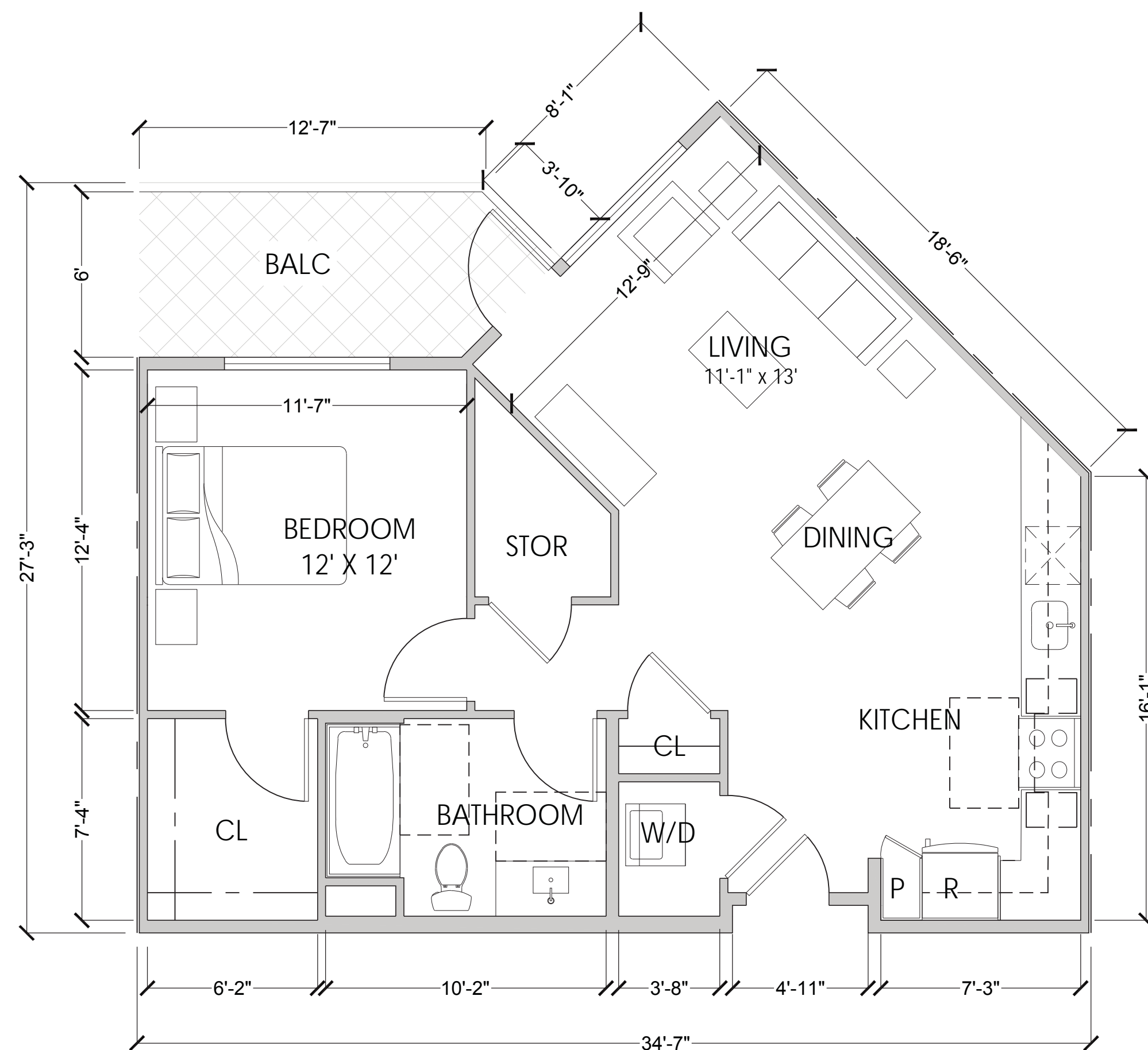


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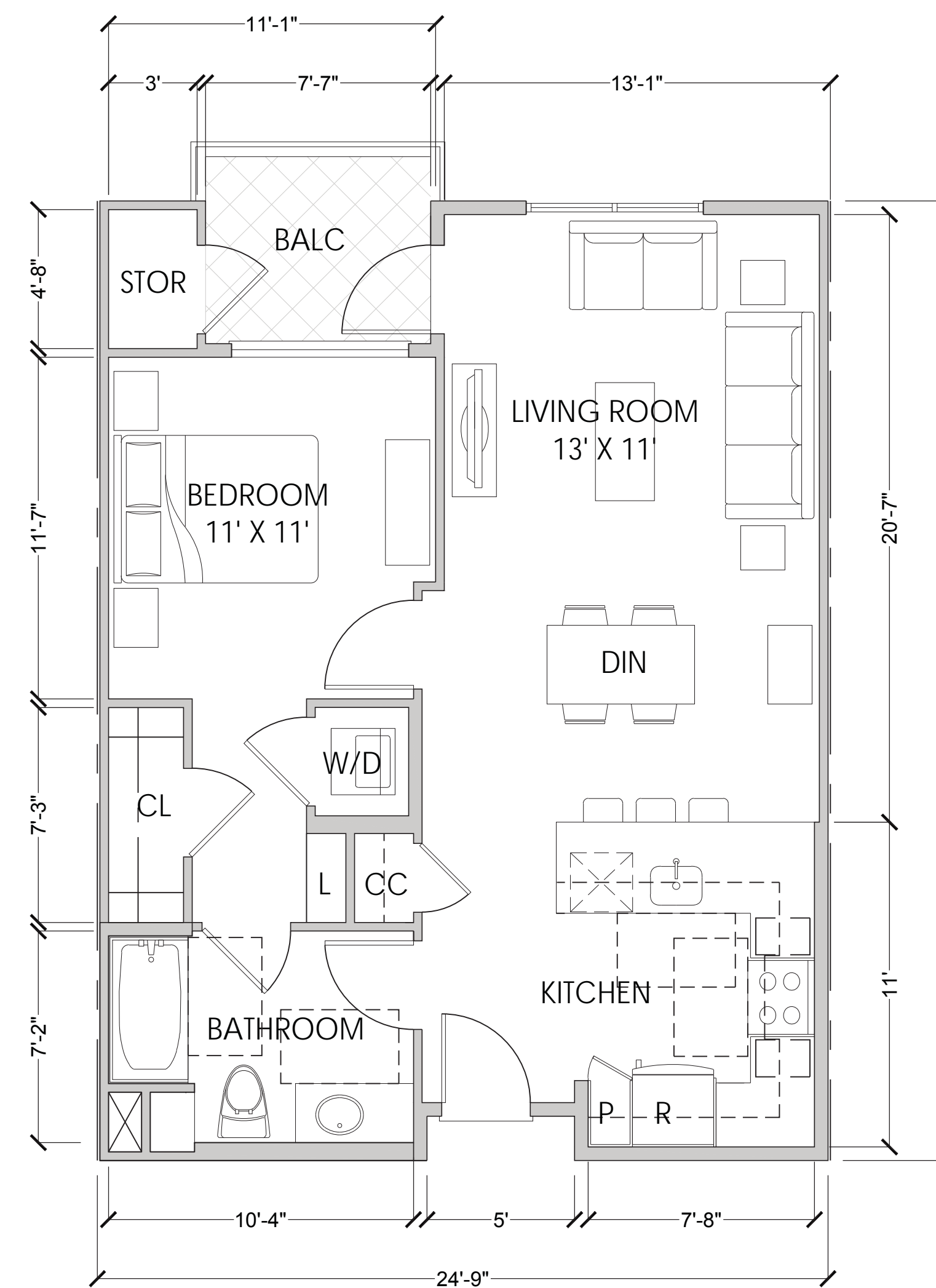
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UNIT 1E - 1BR + 1BA (775 SF)

SCALE: 1/4" = 1' - 0"

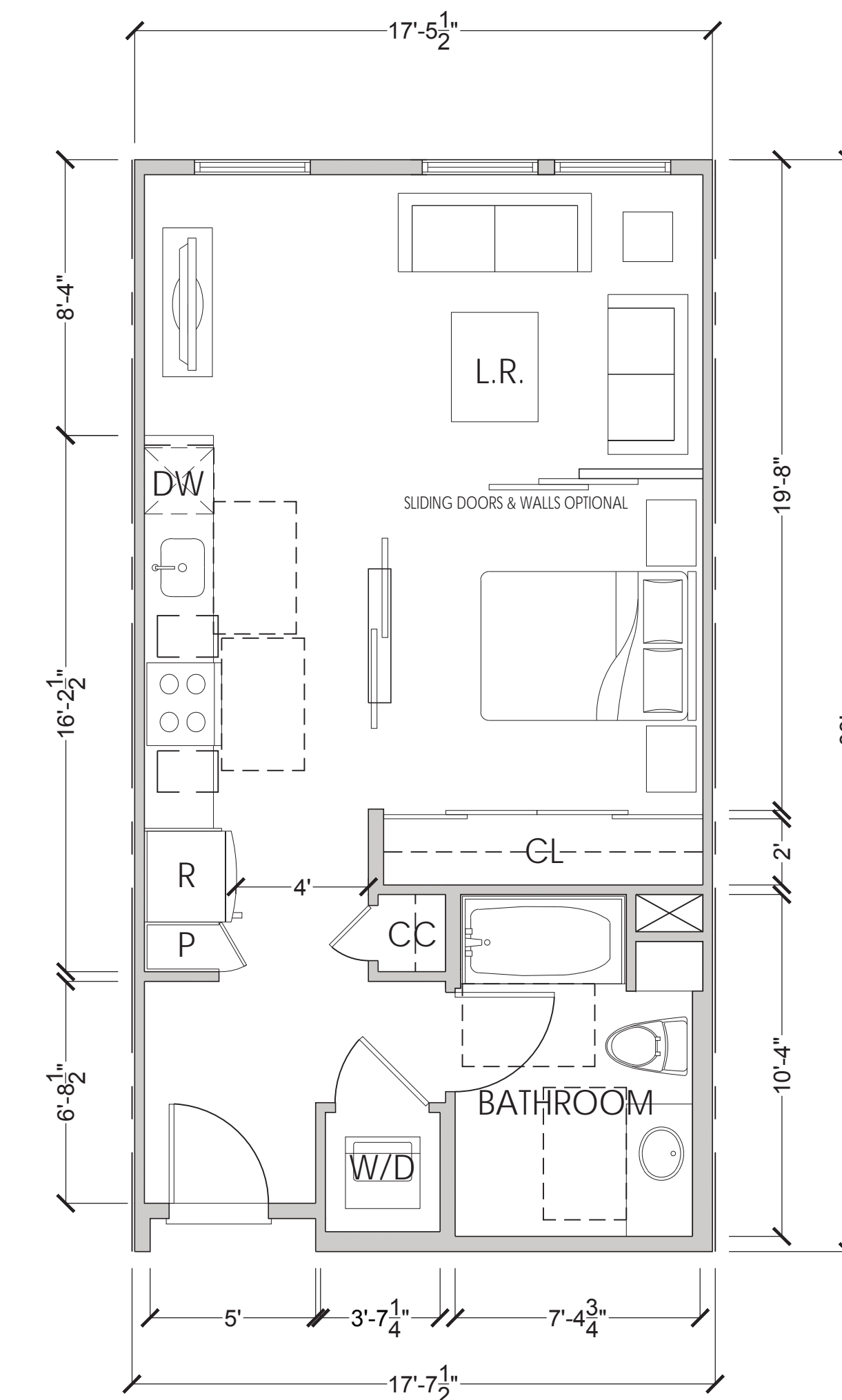
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UNIT 1B - 1BR + 1BA (705-848 SF)

SCALE: 1/4" = 1' - 0"

2



UNIT S - STUDIO (560-633 SF)

SCALE: 1/4" = 1' - 0"

1

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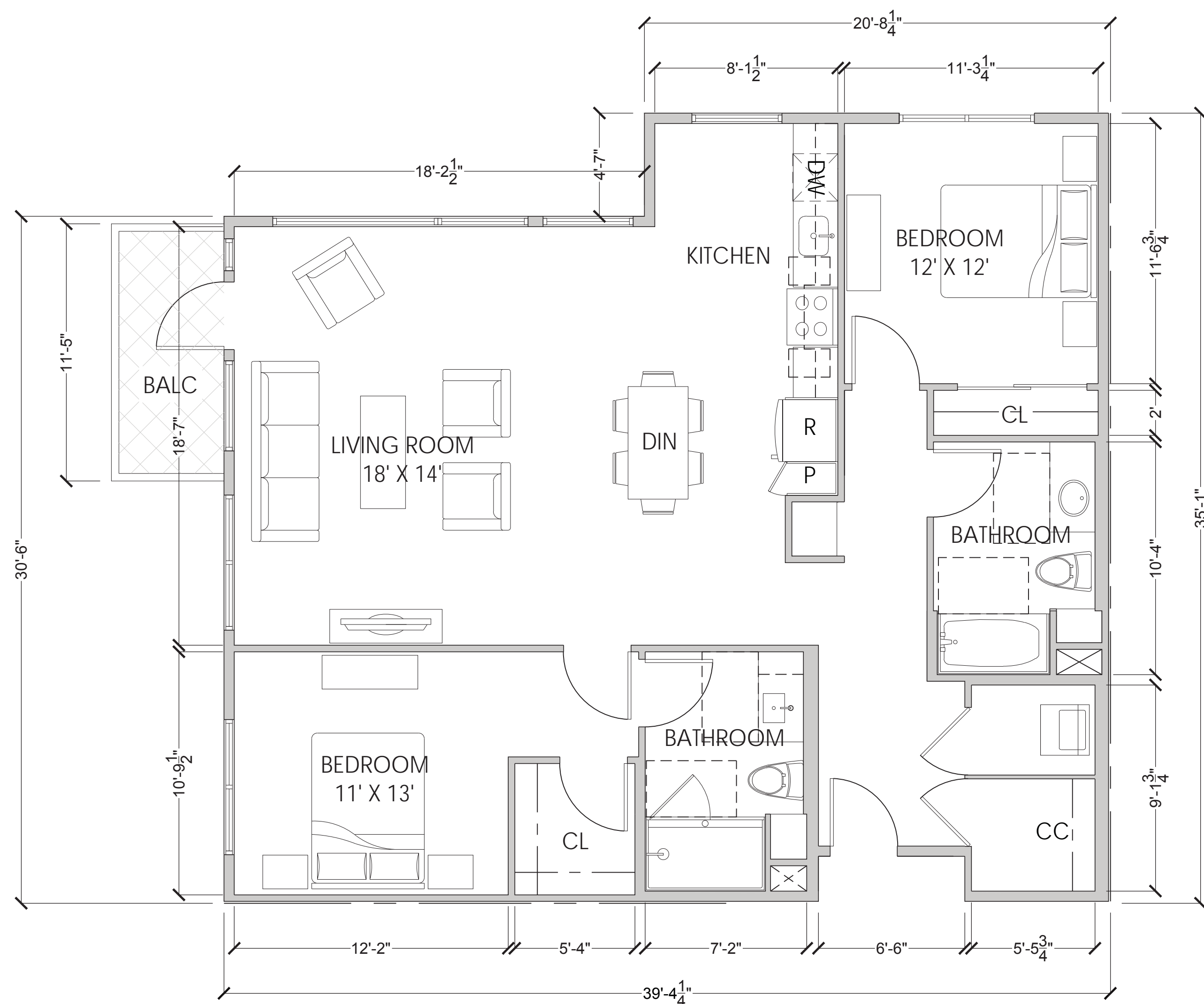


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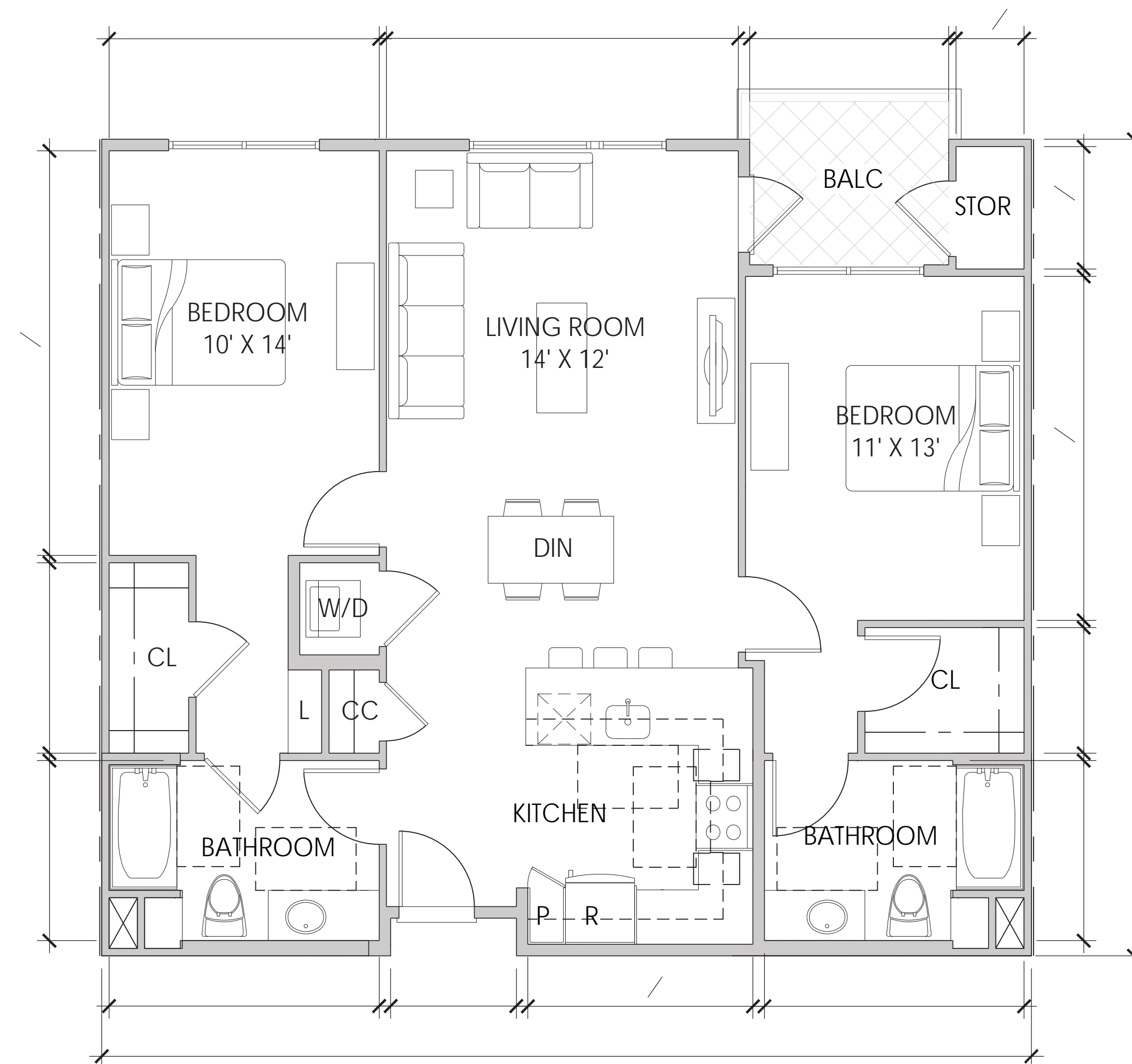
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UNIT 2C - 2BR + 2BA (1270 SF)

2

SCALE: 1/4" = 1' - 0"



UNIT 2A - 2BR + 2BA (1120-1190 SF)

1

SCALE: 1/4" = 1' - 0"

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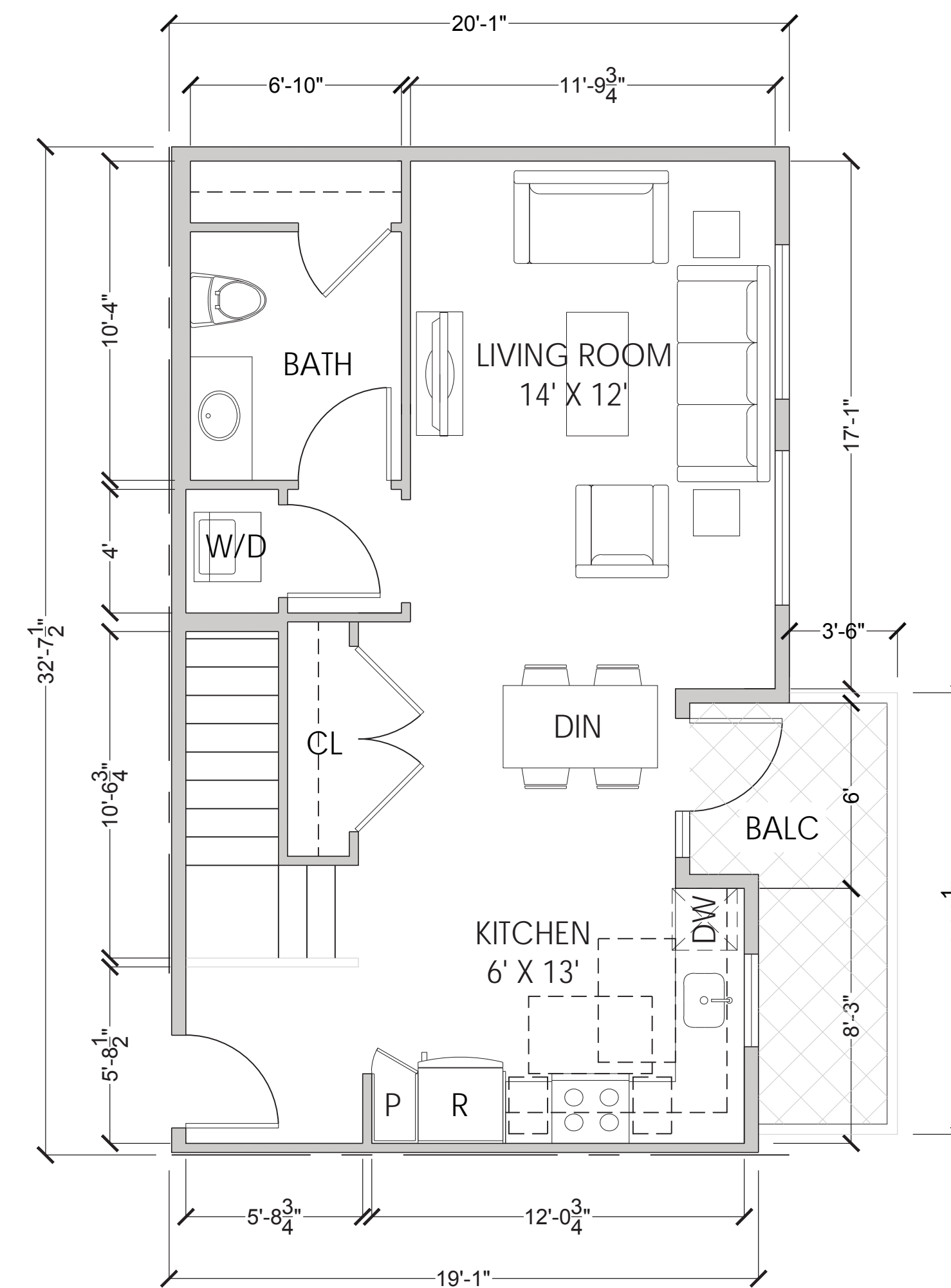
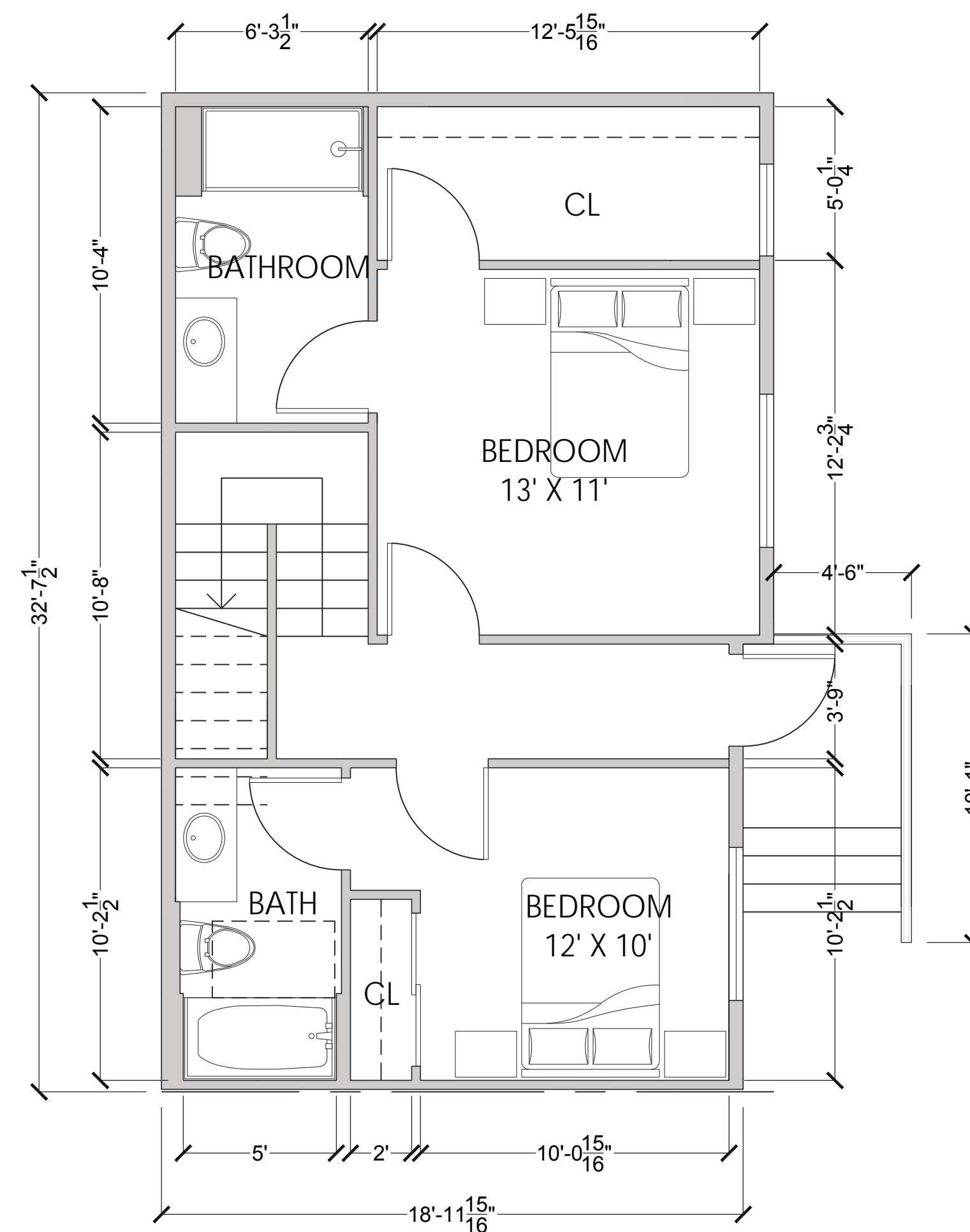


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UPP

UNIT TH - 2BR + 2.5BA (1248 SF)

SCALE: 1/4" = 1' - 0"

1

N U D N N ND N ND P N

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UNIT PLANS

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Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

311 Mathilda
311 S Mathilda Ave, Sunnyvale, CA 94086

Sheet Title:
GREENPOINT RATED CHECK LIST

Job No. 16044
Date: 4/18/2018
Scale:
Drawn By:

Sheet No:

A5.3

Points Available	Points Earned	Category	Energy	Materials	Resources	Water
1	1	G2.2 Water-Sense Bathroom Faucets with 1.0gpm or less				1
1	1	G2.3 Water-Sense Toilets with a Maximum Performance (MP) Threshold of No. Less Than 500 Grams 1.28gpf CR 1.1 gpf				1
1	1	G2.4 Urinals with Flush Rate of 0.1 Gallons/Flush				1
1	1	G3. Pre-Plumbing for Graywater System				1
1	1	G4. Operational Graywater System				1
1	1	G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout				1
1	1	G6. Submeter Water for Tenants				1
0	0	H1. Sealed Combustion Units				0
1	1	H1.1 Sealed Combustion Furnace				1
1	1	H1.2 Sealed Combustion Water Heater				1
1	1	H2. High Performance Zoned Hydronic Radiant Heating System				1
1	1	H3. Effective Ductwork				1
1	1	H3.1 Duct Mastic on Duct Joints and Seams				1
1	1	H3.2 Pressure Balance the Ductwork System				1
1	1	H5. Advanced Practices for Cooling				1
1	1	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms				1
1	1	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room of Units				1
1	1	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality				1
1	1	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards				1
1	1	H6.2 Advanced Ventilation Standards				1
1	1	H6.3 Outdoor Air is Filtered and Tempered				1
1	1	H7. Effective Range Design and Installation				1
1	1	H7.1 Effective Range Hood Ducting and Design				1
1	1	H7.2 Automatic Range Hood Control				1
1	1	H8. High Efficiency HVAC Filter (MERV 13+)				1
1	1	H9. Advanced Refrigerants				1
1	1	I1. Pre-Plumbing for Solar Water Heating				1
1	1	I2. Preparation for Future Photovoltaic Installation				1
1	1	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)				1
1	1	I4. Net Zero Energy Home				1
1	1	I4.1 Net Zero Energy Home				1
1	1	I4.2 Net Zero Electric				1
1	1	I5. Energy Storage System				1
1	1	I6. Solar Hot Water Systems to Preheat Domestic Hot Water				1
1	1	I7. Photovoltaic System for Multifamily Projects				1
1	1	J1. Third-Party Verification of Quality of Insulation Installation				1
1	1	J2. Supply and Return Air Flow Testing				1
1	1	J3. Mechanical Ventilation Testing				1
1	1	J4. Combustion Appliance Safety Testing				1
1	1	J5. Building Energy Performance				1
1	1	J5.1 Home Meets or Exceeds Energy Compliance Pathway				1
1	1	J5.2 Non-Residential Spaces Outperform Title 24				1
1	1	J6. Title 24 Prepared and Signed by a CABC Certified Energy Analyst				1
1	1	J7. Participation in Utility Program with Third-Party Plan Review				1
1	1	J8. ENERGY STAR for Homes				1
1	1	J9. EPA Indoor airPlus Certification				1
1	1	J10. Blower Door Testing				1
1	1	J11. Compartmentalization of Units				1
0	0	K1. Entrways Designed to Reduce Tracked-In Contaminants				0
1	1	K1.1 Entrways to Individual Units				1
1	1	K1.2 Entrways to Buildings				1
1	1	K2. Zero-VOC Interior Wall and Ceiling Paints				1
1	1	K3. Low-VOC Caulks and Adhesives				1
1	1	K4. Environmentally Preferable Materials for Interior Finish				1
1	1	K4.1 Cabinets				1
1	1	K4.2 Interior Trim				1

GreenPoint Rated New Home Multifamily Checklist Version 7.0

Points Available	Points Earned	Category	Energy	Materials	Resources	Water
1	1	C14. Large Mature Trees				1
1	1	C15. Third-Party Landscape Program Certification				1
1	1	C16. Maintenance Contract with Certified Professional				1
1	1	C17. Community Garden				1
0	0	D1. Qualified Value Engineering				0
1	1	D1.1 Joints, Rafters, and Studs at 24 Inches on Center				1
1	1	D1.2 Non-Load Bearing Door and Window Headers Sized for Load				1
1	1	D1.3 Advanced Framing Measures				1
1	1	D2. Construction Material Efficiencies				1
1	1	D3. Engineered Lumber				1
1	1	D3.1 Engineered Beams and Headers				1
1	1	D3.2 Wood Joists or Web Trusses for Floors				1
1	1	D3.3 Engineered Lumber for Roof Rafters				1
1	1	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications				1
1	1	D3.5 OSB for Subfloor				1
1	1	D3.6 OSB for Wall and Roof Sheathing				1
1	1	D4. Insulated Headers				1
1	1	D5. FSC-Certified Wood				1
1	1	D5.1 Dimensional Lumber, Studs, and Trimmer				1
1	1	D5.2 Panel Products				1
1	1	D6. Solid Wall Systems				1
1	1	D6.1 At Least 90' of Floors				1
1	1	D6.2 At Least 90' of Exterior Walls				1
1	1	D6.3 At Least 90' of Roofs				1
1	1	D7. Energy Heels on Roof Trusses				1
1	1	D8. Overhangs and Gutters				1
1	1	D9. Reduced Pollution Entering the Home from the Garage				1
1	1	D9.1 Detached Garage				1
1	1	D9.2 Mitigation Strategies for Attached Garage				1
1	1	D10. Structural Pest and Rot Controls				1
1	1	D10.1 All Wood Located At Least 12 Inches Above the Soil				1
1	1	D10.2 Wood Framing Treated With Borates or Factory-Impregnated or Wall Materials Other Than Wood				1
1	1	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)				1
1	1	E1. Environmentally Preferable Decking				1
1	1	E2. Flashing Installation Third-Party Verified				1
1	1	E3. Rain Screen Wall System				1
1	1	E4. Durable and Non-Combustible Cladding Materials				1
1	1	E5. Durable and Fire-Resistant Roofing Materials or Assembly				1
1	1	E5.1 Durable and Fire-Resistant Roofing Materials or Assembly				1
1	1	E5.2 Roofing Warranty for Shingle Roofing				1
1	1	E6. Vegetated Roof				1
1	1	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content				1
1	1	F1.1 Walls and Floors				1
1	1	F1.2 Ceilings				1
1	1	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions				1
1	1	F2.1 Walls and Floors				1
1	1	F2.2 Ceilings				1
1	1	F3. Insulation That Does Not Contain Fire Retardants				1
1	1	F3.1 Cavity Walls and Floors				1
1	1	F3.2 Ceilings				1
1	1	F3.3 Interior and Exterior Insulation				1
1	1	G1. Efficient Distribution of Domestic Hot Water				1
1	1	G1.1 Insulated Hot Water Pipes				1
1	1	G1.2 WaterSense Water Lines for Hot Water Distribution				1
1	1	G1.3 Increased Efficiency in Hot Water Distribution				1
1	1	G2. Install Water-Efficient Fixtures				1
1	1	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve				1

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Points Available	Points Earned	Category	Energy	Materials	Resources	Water
1	1	A1. Construction Footprint				1
1	1	A2. Job Site Construction Waste Diversion				1
1	1	A2.1 75% C&D Waste Diversion (Including Alternative Daily Cover)				1
1	1	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)				1
1	1	A2.3 Recycling Rates from Third-Party Verified Mixed Use Waste Facility				1
1	1	A3. Recycled Content Base Material				1
1	1	A4. Heat Island Effect Reduction (Non-Roof)				1
1	1	A5. Construction Environmental Quality Management Plan Including Flush-Out				1
1	1	A6. Stormwater Control: Prescriptive Path				1
1	1	A6.1 Permeable Paving Material				1
1	1	A6.2 Filtration and/or Bio-Retention Features				1
1	1	A6.3 Non-Leaching Roofing Materials				1
1	1	A6.4 Smart Stormwater Street Design				1
1	1	A7. Stormwater Control: Performance Path				1
1	1	B1. Fly Ash and/or Slag in Concrete				1
1	1	B2. Radon-Resistant Construction				1
1	1	B3. Foundation Drainage System				1
1	1	B4. Moisture Controlled Crawspace				1
1	1	B5. Structural Pest Controls				1
1	1	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections				1
1	1	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation				1
1	1	C1. Plants Grouped by Water Needs (Hydrozoning)				1
1	1	C2. Three Inches of Mulch in Planting Beds				1
1	1	C3. Resource Efficient Landscapes				1
1	1	C3.1 No Invasive Species Listed by Cal-IPC				1
1	1	C3.2 Plants Chosen and Located to Grow in Natural Soil				1
1	1	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species				1
1	1	C4. Minimal Turf in Landscape				1
1	1	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide				1
1	1	C4.2 Turf on a Small Percentage of Landscaped Area				1
1	1	C5. Trees to Moderate Building Temperature				1
1	1	C6. High-Efficiency Irrigation System				1
1	1	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil				1
1	1	C8. Rainwater Harvesting System				1
1	1	C9. Recycled Wastewater Irrigation System				1
1	1	C10. Submeter or Dedicated Meter for Landscape Irrigation				1
1	1	C11. Landscape Moisture Water Budget				1
1	1	C12. Environmentally Preferable Materials for Site				1
1	1	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing				1
1	1	C12.2 Play Structures and Surfaces Have an Average Recycled Content >20%				1
1	1	C13. Reduced Light Pollution				1

GreenPoint Rated New Home Multifamily Checklist Version 7.0

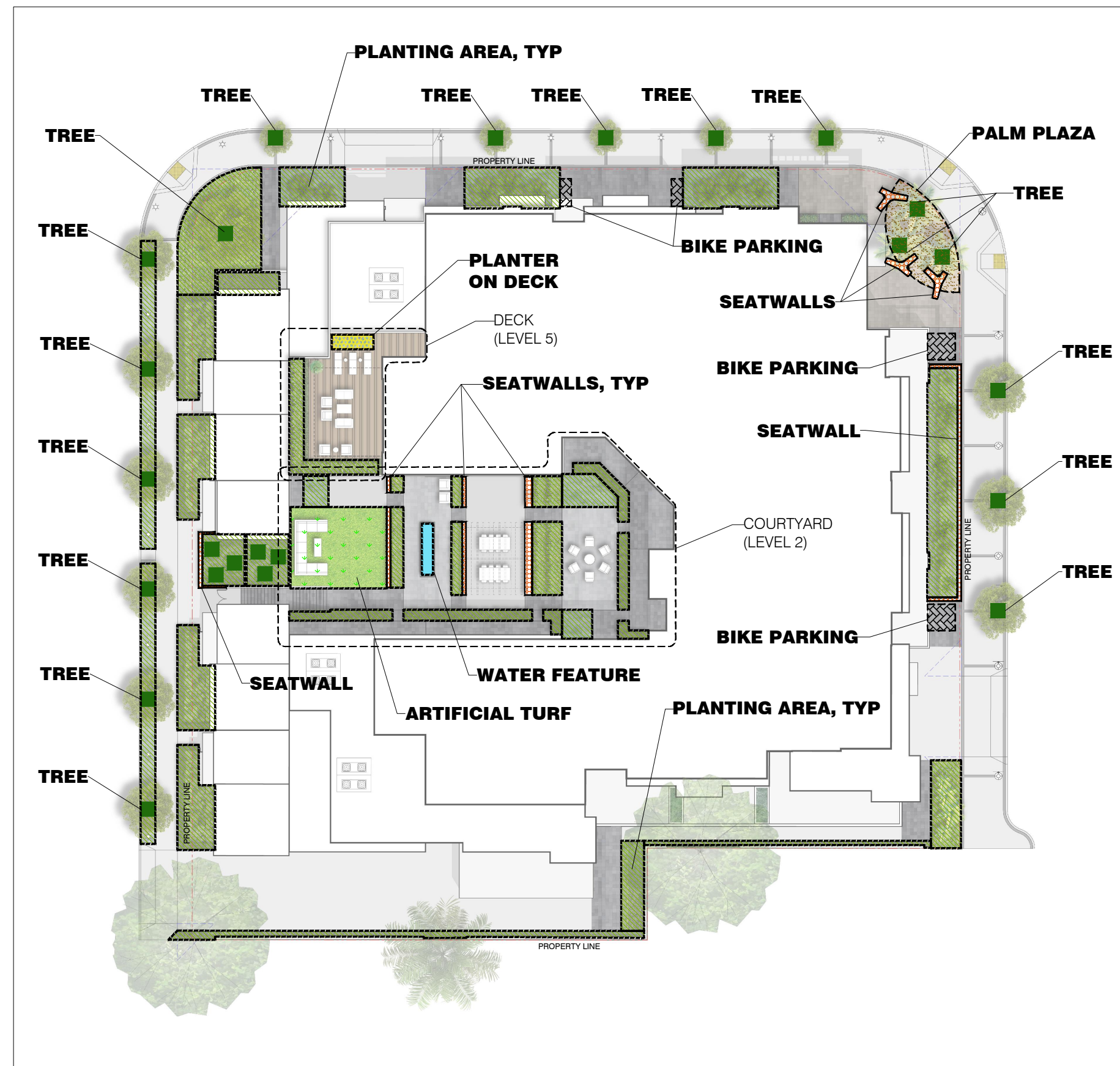
Points Available	Points Earned	Category	Energy	Materials	Resources	Water
1	1	K4.3 Stairways				1
1	1	K4.4 Doors				1
1	1	K4.5 Counter tops				1
1	1	K5. Formaldehyde Emissions in Interior Finish Exceed CARB				1
1	1	K5.1 Doors				1
1	1	K5.2 Cabinets and Countertops				1
1	1	K5.3 Interior Trim and Shelving				1
1	1	K6. Products That Comply With the Health Product Declaration Open Standard				1
1	1	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion				1
1	1	K8. Comprehensive Inclusion of Low-Emitting Finishes				1
1	1	K9. Durable Cabinets				1
1	1	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes				1
1	1	L1. Environmentally Preferable Flooring				1
1	1	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				1
1	1	L3. Durable Flooring				1
1	1	L4. Thermal Mass Flooring				1
1	1	M1. ENERGY STAR Dishwasher				1
1	1	M2. Efficient Clothes Washing and Drying				1
1	1	M2.1 CEE-Rated Clothes Washer				1
1	1	M2.2 Energy Star Dryer				1
1	1	M2.3 Solar Dryer Laundry Lines				1
1	1	M3. Size-Efficient ENERGY STAR Refrigerator				1
1	1	M4. Permanent Centers for Waste Reduction Strategies				1
1	1	M4.1 Built-In Recycling Center				1
1	1	M4.2 Built-In Composting Center				1
1	1	M5. Lighting Efficiency				1
1	1	M5.1 High-Efficiency Lighting				1
1	1	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant				1
1	1	M6. Electric Vehicle Charging Stations and Infrastructure				1
1	1	M7. Central Laundry				1
1	1	M8. Gearless Elevator				1
1	1	N1. Smart Development				1

NOTES:

1. For Building Details, See Arch Dwgs.
2. For Street Improvement Details, See Civil Dwgs.
3. For Planting Information, See L4.0 Landscape Planting Plan



LANDSCAPE AREA DIAGRAM:



LANDSCAPE AREA LEGEND:

SYMBOL	LANDSCAPE ZONE	AREA/ SQ FT (INSIDE OF PROPERTY LINE)	AREA/ SQ FT (OUTSIDE OF PROPERTY LINE)	AREA/ SQ FT (TOTAL)
[Green Tree Symbol]	TREES	112	272	384
[Shaded Green]	PLANTING AREA	4417	1198	5615
[Shaded Light Green]	PALM PLAZA	311	14	325
[Shaded Light Blue]	ARTIFICIAL TURF	581	0	581
[Shaded Light Blue]	WATER FEATURE	42	0	42
[Shaded Light Green]	SEATWALLS	238	32	270
[Shaded Light Green]	BIKE PARKING	155	0	155
[Shaded Light Green]	PLANTER ON DECK	45	0	45
	TOTAL	5901	1516	7417

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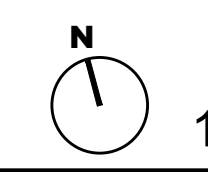


311 Mathilda
 311 S Mathilda Ave, Sunnyvale, CA 94086
Lane Partners / Bay West Development
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
 Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:
Landscape Concept Plan

Job No. 16044
 Date: 03/20/2018
 Scale: 1/16" = 1'-0"
 Drawn By:

Sheet No:
L1.0



- NOTES:**
- For Building Details, See Arch Dwg.
 - For Street Improvement Details, See Civil Dwg.
 - For Landscape Materials, See L1.0 Landscape Concept Plan
 - 3" of mulch applied on all exposed planting surfaces.
 - Compost at a minimum rate of 4 cy per 1000 sf of permeable area, to a depth of 6".
 - "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

ROOF DECK						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	Agave attenuata Foxtail Agave	--	5 or 15 Gal	7" O.C.	
	AB	Agave shawii x attenuata 'Blue Flame' Agave 'Blue Flame'	--	5 or 15 Gal	5" O.C.	
	AL	Aloe hybrid "LEO 3711" Super Red™ Aloe	--	5 or 15 Gal	40" O.C.	
	AY	Anigozanthos 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	24" O.C.	
	CA	Calamagrostis x acutiflora 'Karl Foerster' Foerster's Feather Reed Grass	--	1 or 5 Gal	24" O.C.	
	PA	Panicum virgatum 'Heavy Metal' Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	
	PC	Phormium cookianum 'Cream Delight' Cream Delight New Zealand Flax	--	1 or 5 Gal	5" O.C.	
	VB	Verbena bonariensis Tall Verbena	--	5 or 15 Gal	30" O.C.	

COURTYARD						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AY	Anigozanthos 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	24" O.C.	
	CB	Carex divulsa Berkeley Sedge	--	1 or 5 Gal	24" O.C.	
	CS	Carex phyllocephala 'sparkler' Sparkler Sedge	--	1 or 5 Gal	24" O.C.	
	CT	Chondropetalum tectorum Small Cape Rush	--	1 or 5 Gal	30" O.C.	
	LG	Liriope 'gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	LL	Lomandra longifolia 'Breeze' Dwarf Mat Rush	--	1 or 5 Gal	36" O.C.	
	RV	Ribes viburnifolium Evergreen Currant	--	1 or 5 Gal	30" O.C.	
	NC	Nephrolepis cordifolia California Sword Fern	--	15 Gal	30" O.C.	
	WG	Woodwardia fimbriata Giant Chain Fern	--	15 Gal	36" O.C.	
	PR	Prunus caroliniana 'Compacta' Dwarf Carolina Laurel Cherry	--	15 Gal	36" O.C.	
	RC	Rhamnus californica California Coffeeberry	--	15 Gal	36" O.C.	

TREES						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AR	Acer rubrum Red Maple	4	36" Box	30" O.C. As Shown	Sunnyvale Street Tree for 3 Mathilda Avenue. Follow City Specifications.
	CD	Calocedrus decurrens Incense Cedar	5	36" Box	30" O.C. As Shown	Sunnyvale Street Tree for W McKinley Avenue. Follow City Specifications.
	CO	Cercis occidentalis Western Redbud	6	8'-10" Tall	15" O.C. As Shown	3 Multi-stem Trees, 3 Standard
	QS	Quercus shumardii Shumard Oak	6	36" Box	30" O.C.	Sunnyvale Street Tree for Charles Street. Follow City Specifications.
	QS1	Quercus shumardii Shumard Oak	1	60" Box	30" O.C.	Sunnyvale Street Tree at Corner Garden. Follow City Specifications.
	PC	Phoenix canariensis Canary Island date palm	3	Transplant - Size Varies	As shown	Transplanted Trees from Site - Size Varies (22"-35" Diameter, 20'-45" Height)
	WR	Washingtonia robusta Mexican Fan Palm	3	Transplant - Size Varies	As shown	Transplanted Tree from Site - Size Varies (15"-21" Diameter, 40'-50" Height)

CHARLES ST PARK STRIP & CORNER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DA	Dianella revoluta 'Little Rev' Little Rev™ Flax Lily	--	1 or 5 Gal	24" O.C.	
	DI	Diets iridioides African Iris	--	1 or 5 Gal	30" O.C.	
	LG	Liriope 'Gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	

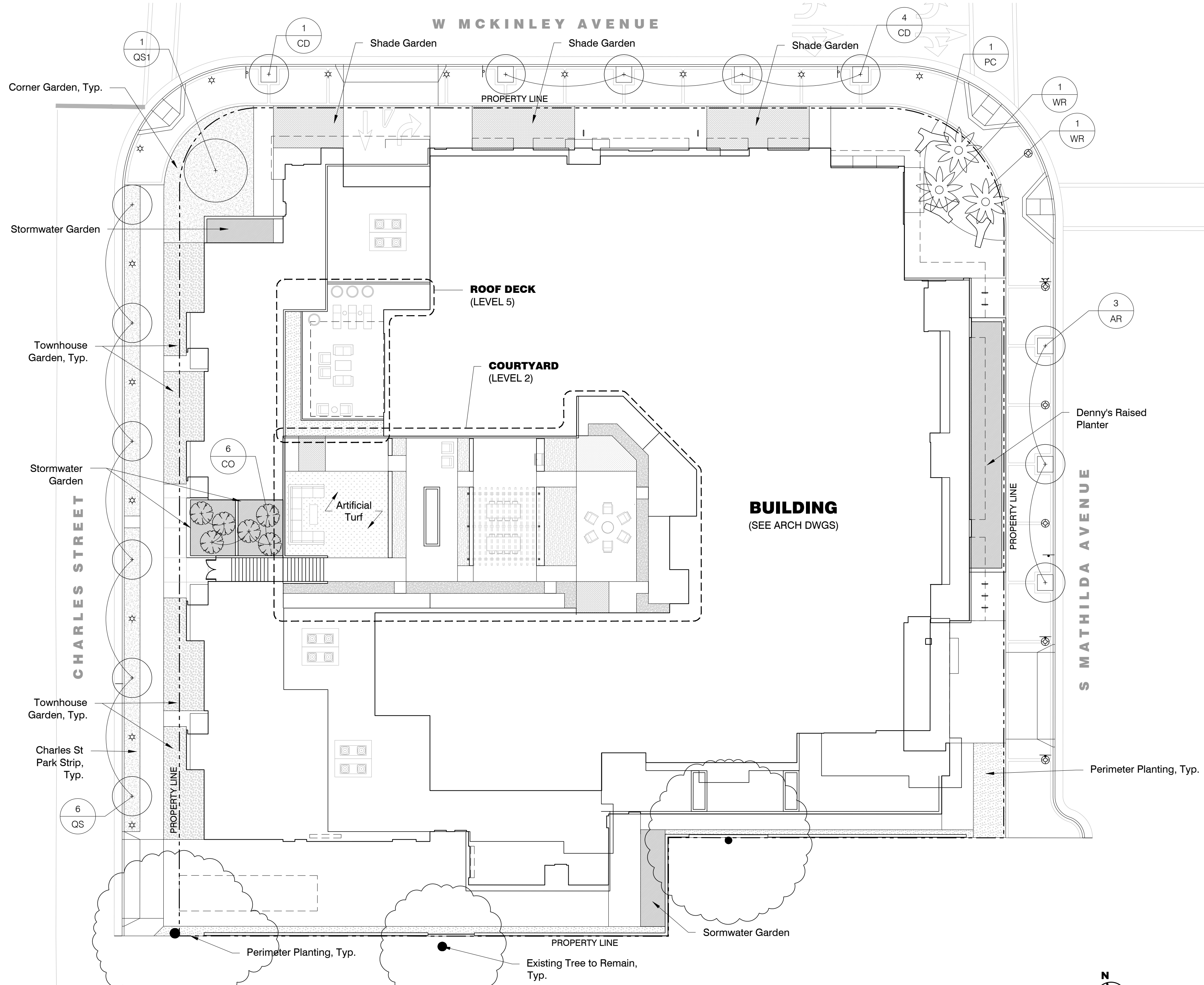
PERIMETER PLANTING						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AB	Agave shawii x attenuata 'Blue Flame' Agave 'Blue Flame'	--	5 or 15 Gal	5" O.C.	
	AG	Agave 'Blue Glow' Blue Glow Agave	--	5 or 15 Gal	24" O.C.	
	CP	Carex phyllocephala 'sparkler' Sparkler Sedge	--	1 or 5 Gal	15" O.C.	
	PC	Phormium cookianum 'Cream Delight' Cream Delight New Zealand Flax	--	1 or 5 Gal	5" O.C.	
	SF	Semiarundinaria fastuosa 'Vividis' Temple Bamboo	--	1 Gal	30" O.C.	

DENNY'S RAISED PLANTER (STORMWATER GARDEN)						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	Agave attenuata Foxtail Agave	--	5 or 15 Gal	5" O.C.	
	AC	Aloe capitata var. quartzicola Aloe	--	5 or 15 Gal	30" O.C.	
	CS	Carex barbarae Santa Barbara sedge	--	1 or 5 Gal	12" O.C.	
	AN	Anigozanthos 'Big Red' Big Red Kangaroo Paws	--	8'-10" Tall	30" O.C.	
	CA	Calamagrostis x acutiflora 'Karl Foerster' Foerster's Feather Reed Grass	--	1 or 5 Gal	24" O.C.	
	CP	Carex phyllocephala 'sparkler' Sparkler Sedge	--	1 or 5 Gal	15" O.C.	
	DC	Deschampsia caespitosa 'Susan's Choice' Tufted Hair Grass	--	1 or 5 Gal	30" O.C.	
	FF	Furcraea foetida False Agave	--	5 or 15 Gal	6" O.C.	
	HR	Hesperaloe parviflora Red Yucca	--	5 or 15 Gal	30" O.C.	
	LG	Liriope 'Gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	DT	Dianella tasmanica Tasman Flax-lily	--	1 or 5 Gal	24" O.C.	
	JC	Juncus patens California Grey Rush	--	1 or 5 Gal	12" O.C.	
	PA	Panicum virgatum 'Heavy Metal' Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	
	PE	Pennisetum orientale 'Fairy Tails' Evergreen Fountain Grass	--	1 or 5 Gal	30" O.C.	
	CT	Chondropetalum tectorum Small Cape Rush	--	1 or 5 Gal	12" O.C.	

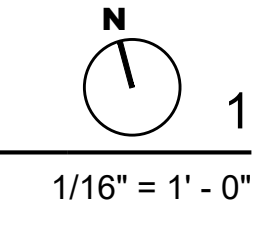
SHADE GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DI	Dicksonia antarctica Tasmanian tree fern	--	15 Gal	12" O.C.	
	NE	Nephrolepis cordifolia California Sword Fern	--	15 Gal	30" O.C.	
	RI	Ribes viburnifolium Evergreen Currant	--	1 or 5 Gal	30" O.C.	
	WO	Woodwardia fimbriata Giant Chain Fern	--	15 Gal	36" O.C.	

STORMWATER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	CS	Carex barbarae Santa Barbara sedge	--	1 or 5 Gal	12" O.C.	
	CB	Carex divulsa Berkeley Sedge	--	1 or 5 Gal	12" O.C.	
	CL	Chondropetalum elephantium Large Cape Rush	--	1 or 5 Gal	24" O.C.	
	CT	Chondropetalum tectorum Small Cape Rush	--	1 or 5 Gal	12" O.C.	
	JC	Juncus patens California Grey Rush	--	1 or 5 Gal	12" O.C.	
	JE	Juncus patens 'Elk Blue' Elk Blue CA Rush	--	1 or 5 Gal	12" O.C.	

TOWNHOUSE GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DA	Dianella revoluta 'Little Rev' Little Rev™ Flax Lily	--	1 or 5 Gal	24" O.C.	
	DI	Diets iridioides African Iris	--	1 or 5 Gal	30" O.C.	
	EB	Escaellonia bifida White Escallonia	--	15 Gal	36" O.C.	
	HQ	Hydrangea quercifolia Oakleaf Hydrangea	--	15 Gal	4" O.C.	
	LG	Liriope 'Gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	WF	Woodwardia fimbriata Giant Chain Fern	--	15 Gal	36" O.C.	



PLANTING PLAN
PLAN



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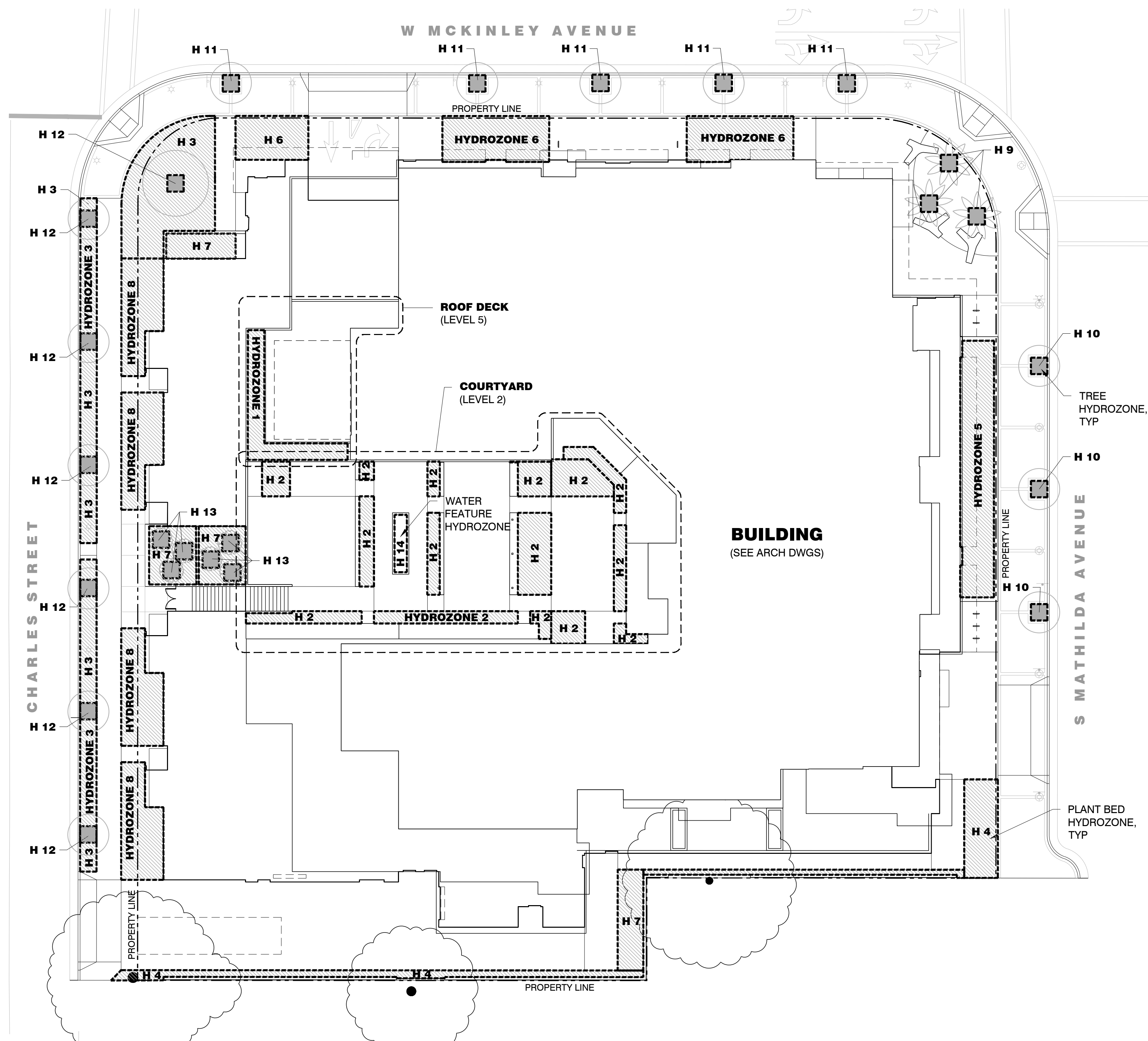
311 Mathilda
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Lane Partners / Bay West Development
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:
Landscape Planting Plan
Job No. 16044
Date: 03/20/2018
Scale: 1/16" = 1'-0"
Drawn By:

Sheet No:
L4.0

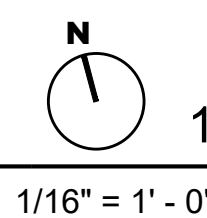
NOTES:

1. For Building Details, See Arch Dwgs.
2. For Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See L1.0 Landscape Concept Plan
4. For Planting Information, See L4.0 Landscape Planting Plan



HYDROZONE PLAN

PLAN



MAXIMUM APPLIED WATER ALLOWANCE		PROJECT #:
MAWA = (ETo) x (0.62) x [(0.45 x LA)+(0.55 x SLA)]		
ETo**	San Jose (Sunnyvale)	45.30 ETo (inches/year)
Enter total project Landscaped Area		6,042 LA (square feet)
Enter Special Landscaped Area		0 SLA (square feet)
RESULTS:		
		76,363.03 MAWA (gallons/year)

** Eto Values derived from Appendix A of the CA Model Water Efficient Landscape Ordinance, CA Dept. of Water Resources

- MAWA= Maximum applied water allowance (gallons per year)
- ETo = Reference Evapotranspiration (inches per year)
- 0.45 = ET Adjustment Factor (ETAF) for nonresidential projects
- LA = Planted landscaped area including SLA and not including hardscapes. Also include surface area of water features not using recycled water.
- 0.62 = Conversion Factor (to gallons per square foot)
- SLA = Portion of the Landscaped Area identified as Special Landscaped Area. Also include surface area of water features using recycled water.
- 0.55 = The additional ET Adjustment Factor for SLA (1.0 - 0.45 = 0.55)

ESTIMATED TOTAL WATER USE		PROJECT #:				
ETWU = (ETo) x (0.62) x [(PF x HA)/IE + SLA]						
Irrigation Efficiency Values						
Drip System	0.81					
Overhead Spray System	0.75					
Water Feature/Other	0.75					
Plant Water Use Type		Plant Factor				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Moderate		0.4 - 0.6				
High		0.7 - 1.0				
Water Feature (High)		1.0				
SLA		1.0				
HYDROZONE TABLE						
Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Irrigation Type	Irrigation Efficiency (IE)	Hydrozone Area (HA) (sq ft)	[PF x HA]/IE (sq ft)
1. ROOF DECK	Low	0.3	Drip System	0.81	208	77
2. COURTYARD	Moderate	0.4	Drip System	0.81	1,023	505
3. CHARLES ST PARK STRIP & CORNER PARK	Low	0.2	Drip System	0.81	1,139	281
4. PERIMETER PLANTING	Low	0.2	Drip System	0.81	509	628
5. DENNY'S RAISED PLANTER	Low	0.2	Drip System	0.81	509	126
6. SHADE GARDEN	Moderate	0.4	Drip System	0.81	764	377
7. STORMWATER GARDEN	Very Low	0.1	Drip System	0.81	484	60
8. TOWNHOUSE GARDEN	Moderate	0.4	Drip System	0.81	980	484
9. PALM TREES	Low	0.2	BUBBLER	0.81	48	12
10. RED MAPLE	Low	0.4	BUBBLER	0.81	48	24
11. INCENSE CEDAR	Low	0.2	BUBBLER	0.81	80	20
12. SHUMARD OAK	Low	0.2	BUBBLER	0.81	112	28
13. WESTERN REDBUD	Low	0.2	BUBBLER	0.81	96	24
14. WATER FOUNTAIN	High	1.0	OTHER	0.75	42	56
SLA		1			0	
Sum					6,042	2,701
RESULTS						
MAWA =	76,363	ETWU =			75,854	gallons/year

- ETWU = Estimated total water use per year (gallons per year)
- ETo = Reference Evapotranspiration (inches per year)
- PF = Plant Factor from WUCOLS* or equivalent reference subject to approval
- HA = Hydrozone Area (square feet)
- SLA = Special Landscaped Area (square feet)
- 0.62 = Conversion Factor (to gallons per square foot)
- IE = Average Irrigation Efficiency (minimum 0.75, assumed to be 0.75 for overhead spray system and 0.81 for drip system)

ETWU must be less than or equal to MAWA
ETWU complies with MAWA

PROJECT MEETS WATER EFFICIENCY REQUIREMENTS:

ETWU is less than MAWA

SAW
SAW // SPIEGEL AIHARA WORKSHOP
2325 3rd St. #216 // San Francisco, CA 94107
info@s-a-works.com // 415.890.4729
www.s-a-works.com



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Lane Partners / Bay West Development
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:

Landscape Hydrozone Plan

Job No. 16044
Date: 03/20/2018
Scale: 1/16" = 1'-0"
Drawn By:

Sheet No:

L5.0

VESTING TENTATIVE MAP APPLICATION

A ONE LOT SUBDIVISION FOR CONDOMINIUM PURPOSES

311 MATHILDA AVENUE

CITY OF SUNNYVALE SANTA CLARA COUNTY, CALIFORNIA



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PROJECT SUMMARY

1. **OWNER/SUBDIVIDER:** LANE PARTNERS
644 MENLO AVE, 2ND FLOOR
MENLO PARK, CA 94025
2. **ENGINEER:** BKF ENGINEERS
4670 WILLOW ROAD, SUITE 250
PLEASANTON, CA 94588
TEL (925) 396-7700
FAX (925) 396-7799
3. **SUBDIVIDED AREA:** 44,111 SQ FT (APPROX. 1.01 ACRES)
(41,486 SQ FT AFTER PROPOSED STREET DEDICATION)
4. **UTILITIES:**
WATER SUPPLY: CITY OF SUNNYVALE
FIRE PROTECTION: CITY OF SUNNYVALE
SEWAGE DISPOSAL: CITY OF SUNNYVALE
STORM DRAIN: CITY OF SUNNYVALE
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TELEVISION: COMCAST
5. **APN:** 165-13-050
6. **ZONING:** DSP (DOWNTOWN SPECIFIC PLAN)
7. **LAND USE:** MIXED USE
8. **GENERAL PLAN:** COMMERCIAL GENERAL BUSINESS
9. **FLOOD ZONE DESIGNATION:** ZONE X PER MAP #06085C0206H
AREA OF 0.2% ANNUAL CHANCE FLOODPLANE
10. **NUMBER OF LOTS:** 1 WITH CONDOMINIUM UNITS
11. **NUMBER OF RESIDENTIAL CONDO UNITS:** 75
12. **NUMBER OF RETAIL CONDO UNITS:** 1



VICINITY MAP
NTS

SHEET INDEX

NUMBER	DESCRIPTION
C0.0	CIVIL COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C2.0	PROPOSED CIVIL SITE PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	PRELIMINARY STORMWATER CONTROL PLAN

BENCHMARK

CITY OF SUNNYVALE BRASS DISK MONUMENT, DESIGNATED "BM2," SET IN TOP OF CURB NEXT TO CATCH BASIN AT TRAFFIC SIGNAL BOX ON THE SOUTHWEST CORNER OF WEST OLIVE AVE. AND MATHILDA AVE.
ELEVATION = 115.872 (NAVD88)

BASIS OF BEARINGS

NORTH 14°52'00" EAST, BEING THE EASTERLY LINE OF PARCEL 1, BEING PARALLEL AND DISTANT 60.00 FEET WESTERLY OF THE LINE BETWEEN TWO CITY MONUMENTS IN THE RIGHT OF WAY OF MATHILDA AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN BOOK 543 OF MAPS AT PAGE 24, RECORDS OF SANTA CLARA COUNTY.

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
APN	ASSESSOR PARCEL NUMBER	LF	LINEAR FOOT	STD	STANDARD
APPROX	APPROXIMATE	LP	LIP OF GUTTER	SWE	SIDEWALK EASEMENT
BFP	BACK FLOW PREVENTION DEVICE	LP	LIP POINT	TC	TOP OF CURB
BLDG	BUILDING	MAX	MAXIMUM	TEL, TELE	TELEPHONE
BW	BACK OF WALK	MIN	MINIMUM	TG	TOP OF GRATE
C&G	CURB AND GUTTER	MH	MANHOLE	THRU	THROUGH
CB	CATCH BASIN	MON	MONUMENT	TM	TENTATIVE MAP
CD	CURB DRAIN	(N)	NEW	TOS	TOP OF SLAB
CI	CURB INLET	NO.	NUMBER	TRANS	TRANSFORMER
CONC	CONCRETE	NTS	NOT TO SCALE	TS	TRAFFIC SIGNAL
CY	CUBIC YARDS	PG&E	PACIFIC GAS & ELECTRIC	TSB/TSPB	TRAFFIC SIGNAL BOX
DEMO	DEMOLITION	PGE	P&G EASEMENT	TYP	TYPICAL
DI	DROP INLET	PG&E TOWER LINE EASEMENT	PG&E TOWER LINE EASEMENT	UB	UTILITY BOX
DW	DOMESTIC WATER	PIV	POST INDICATOR VALVE	UE	UTILITY EASEMENT
DW, D/W, DWY	DRIVEWAY	P/L	PROPERTY LINE	USD	UNION SANITARY DISTRICT
E, ELEC	ELECTRIC	POC	POINT OF CONNECTION	VCP	VITRIFIED CLAY PIPE
(E), EX, EXIST	EXISTING	PR, PROP	PROPOSED	W	WATER
EB	ELECTRIC BOX	PRV	PRESSURE REDUCING VALVE	WL	WATER LINE
EG	EXISTING GROUND	PSE	PUBLIC SURVEY EASEMENT	WM	WATER METER
EL, ELEV	ELEVATION	R	RADIUS	WV	WATER VALVE
EP	EDGE OF PAVEMENT	ROP	REINFORCED CONCRETE PIPE	W/W	WITH
ESMT	EASEMENT	RE	ROADWAY EASEMENT		
ETW	EDGE OF TRAVELED WAY	RIM	RIM ELEVATION		
EVAE	EMERGENCY VEHICLE ACCESS	R/W, R-O-W	RIGHT OF WAY		
FC	FACE OF CURB	RTE	RAIL TRACK EASEMENT		
FDC	FIRE DEPARTMENT CONNECTION	RUE	ROAD UTILITY EASEMENT		
FF	FINISHED FLOOR	S	SLOPE		
FG	FINISH GRADE	SD	STORM DRAIN		
FH	FIRE HYDRANT	SDCB	STORM DRAIN CATCH BASIN		
FL	FLOW LINE	SDCI	STORM DRAIN CURB INLET		
FS	FINISHED SURFACE	SDCO	STORM DRAIN CLEANOUT		
GB	GRADE BREAK	SDJB	STORM DRAIN JUNCTION BOX		
GM	GAS METER	SDMH	STORM DRAIN MANHOLE		
HC/HCR	HANDICAP RAMP	SHT	SHEET		
HDPE	HIGH DENSITY POLYETHYLENE	SL	SLOPE		
HP	HIGH POINT	SOFT	SOFT		
INV	INVERT	SS	SANITARY SEWER		
IRR	IRRIGATION	SSCO	SANITARY SEWER CLEANOUT		
JP	JOINT POLE	SSMH	SANITARY SEWER MANHOLE		
JT	JOINT TRENCH	SW, S/W	SIDEWALK		

LEGEND

PROPOSED	EXISTING
PROPERTY LINE	PROPERTY LINE
ELECTRICAL LINE	ELECTRICAL LINE
GAS LINE	GAS LINE
STORM DRAIN LINE	STORM DRAIN LINE
SANITARY SEWER	SANITARY SEWER
EX WATER LINE	EX WATER LINE
FIRE WATER LINE	FIRE WATER LINE
MANHOLE (MH)	MANHOLE (MH)
STORM DRAIN OVERFLOW (SDO)	STORM DRAIN OVERFLOW (SDO)
STORMWATER TREATMENT VAULT (STV)	STORMWATER TREATMENT VAULT (STV)
BACKFLOW PREVENTER (BFP)	BACKFLOW PREVENTER (BFP)
FIRE HYDRANT	FIRE HYDRANT
CLEANOUT (CO)	CLEANOUT (CO)
WATER VALVE (WV)	WATER VALVE (WV)
WATER METER (WM)	WATER METER (WM)
AREA DRAIN (AD)	AREA DRAIN (AD)
BIORETENTION AREA (SEE DETAIL 1/C5.0)	BIORETENTION AREA (SEE DETAIL 1/C5.0)
FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)	FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)

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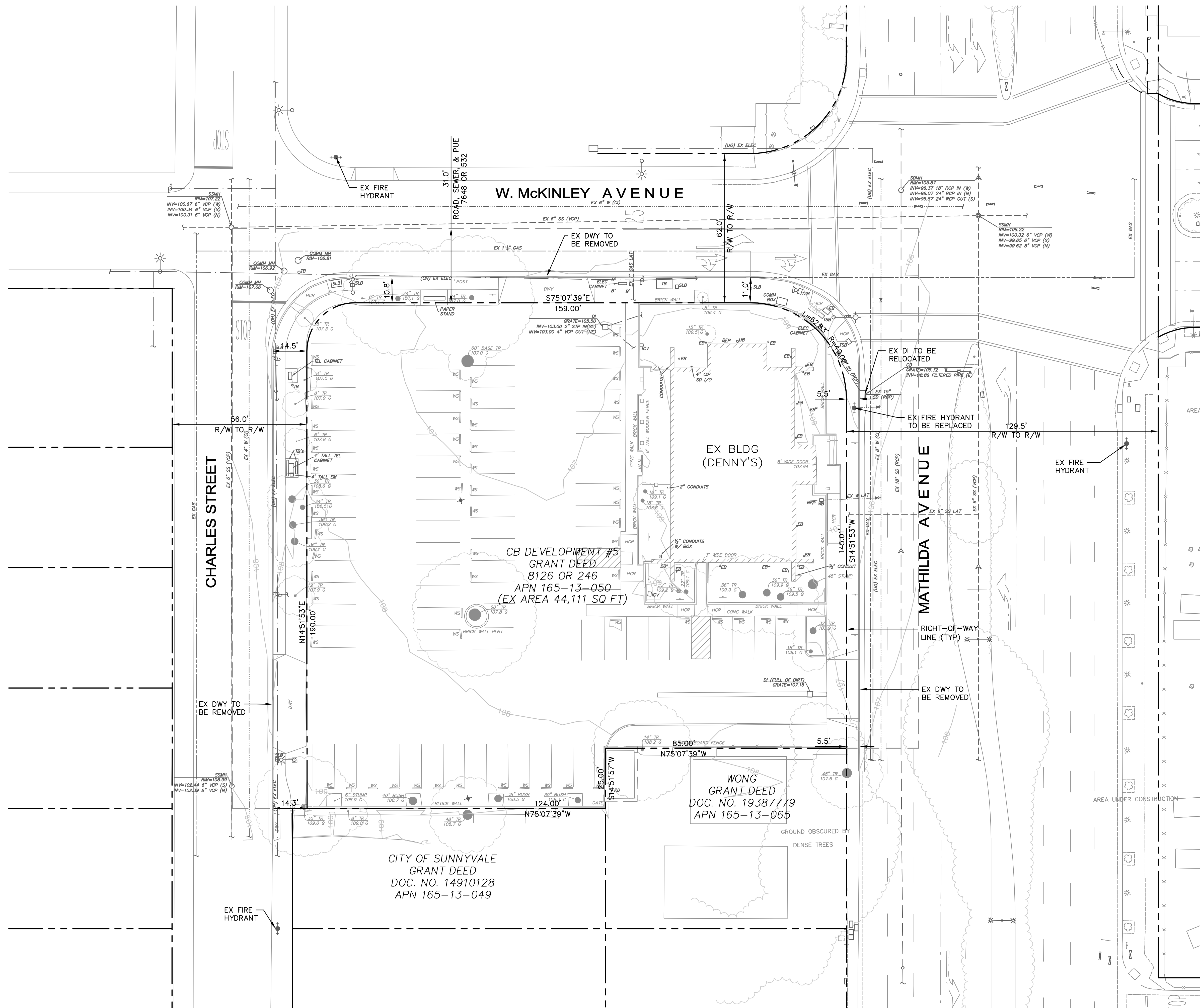
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Sheet Title:
CIVIL COVER SHEET

Job No. 20177004
Date: 06/04/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C0.0

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHETS\01_MAPLEX.dwg
 PLOT DATE: 03-19-18 PLOTTED BY: arca



LEGEND:

- PROPERTY LINE
- EXISTING CONTOUR
- ☆ AREA/YARD LIGHT
- ⊕ ELECTROLIER
- ⊕ FIRE HYDRANT
- ⊕ SIGN
- ⊕ STREET LIGHT
- ⊕ GUY WIRE
- ⊕ JOINT POLE/POWER POLE
- ⊕ WATER VALVE
- ⊕ SIGNAL LIGHT

NOTES:

1. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR PROPERTY LINE UNLESS NOTED OTHERWISE.

ABBREVIATIONS:

B	==	BOLLARD
BFP	==	BACKFLOW PREVENTOR
BLDG COR	==	BUILDING CORNER
BW	==	BACK OF WALK
CB	==	CATCH BASIN
CCP	==	CONCRETE PAD
CIP	==	CAST IRON PIPE
COMM	==	COMMUNICATION
CONC	==	CONCRETE
DI	==	DROP INLET
EB	==	ELECTRICAL BOX
EP	==	EDGE OF PAVEMENT
HCR	==	HANDICAP RAMP
ICV	==	IRRIGATION CONTROL VALVE
MH	==	MANHOLE
SD	==	STORM DRAIN
SD I/O	==	STORM DRAIN INLET/OUTLET
SDMH	==	STORM DRAIN MANHOLE
SLB	==	STREET LIGHTING BOX
SSMH	==	SANITARY SEWER MANHOLE
TB	==	TELEPHONE BOX
TEL	==	TELEPHONE
TSB	==	TRAFFIC SIGNAL BOX
UB	==	UTILITY BOX
NM	==	WATER METER
WS	==	WHEEL STOP



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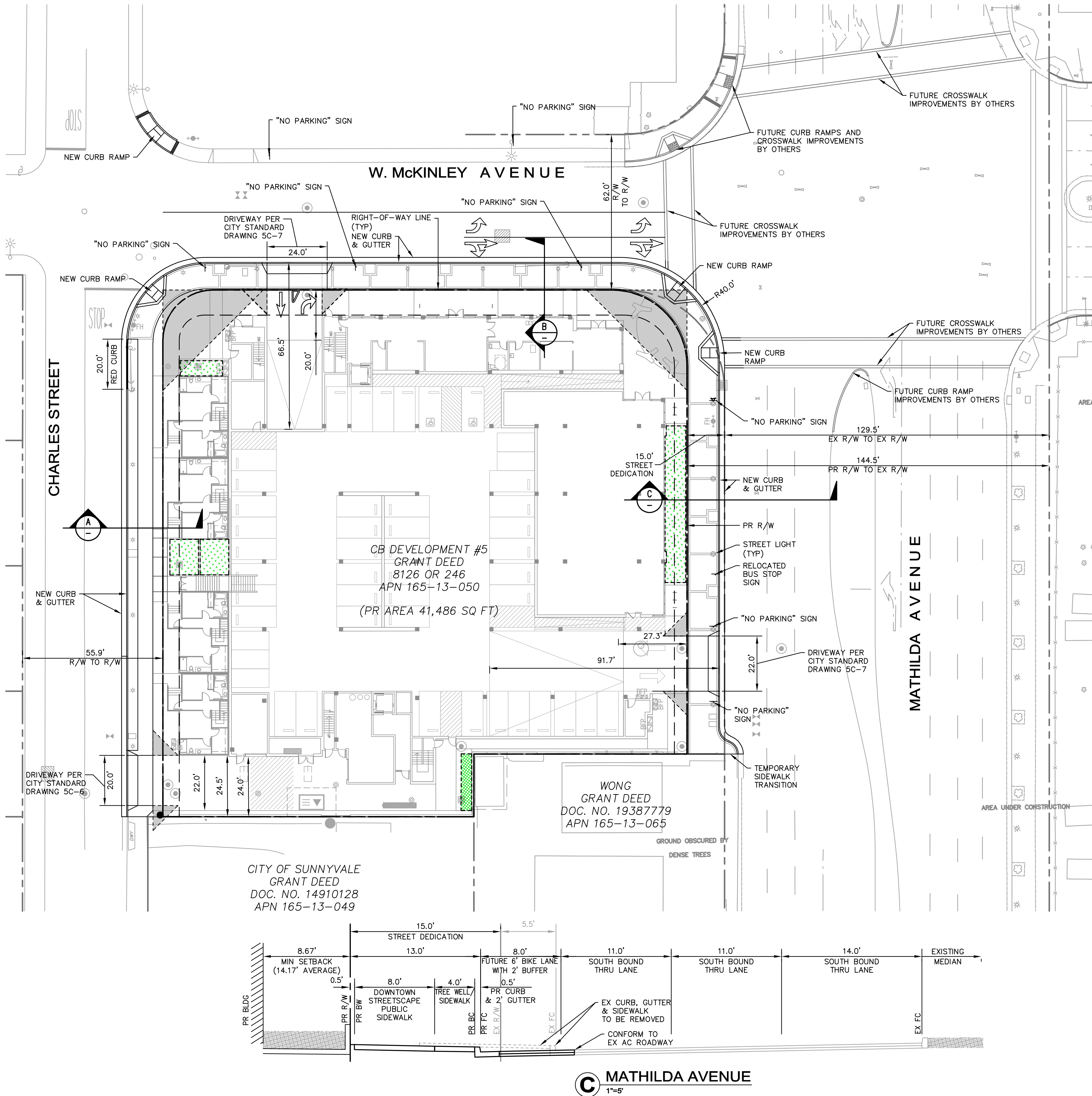
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Sheet Title:
EXISTING CONDITIONS PLAN

Job No. 20177004
 Date: 03/21/2018
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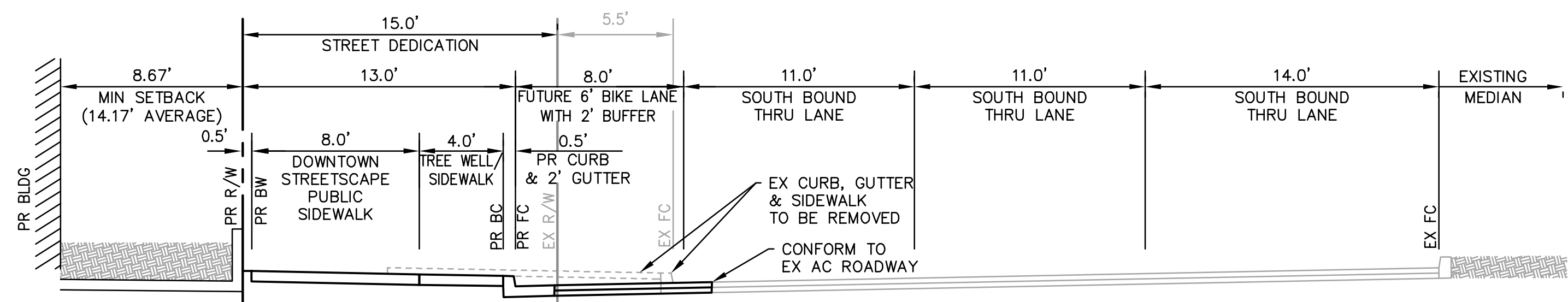
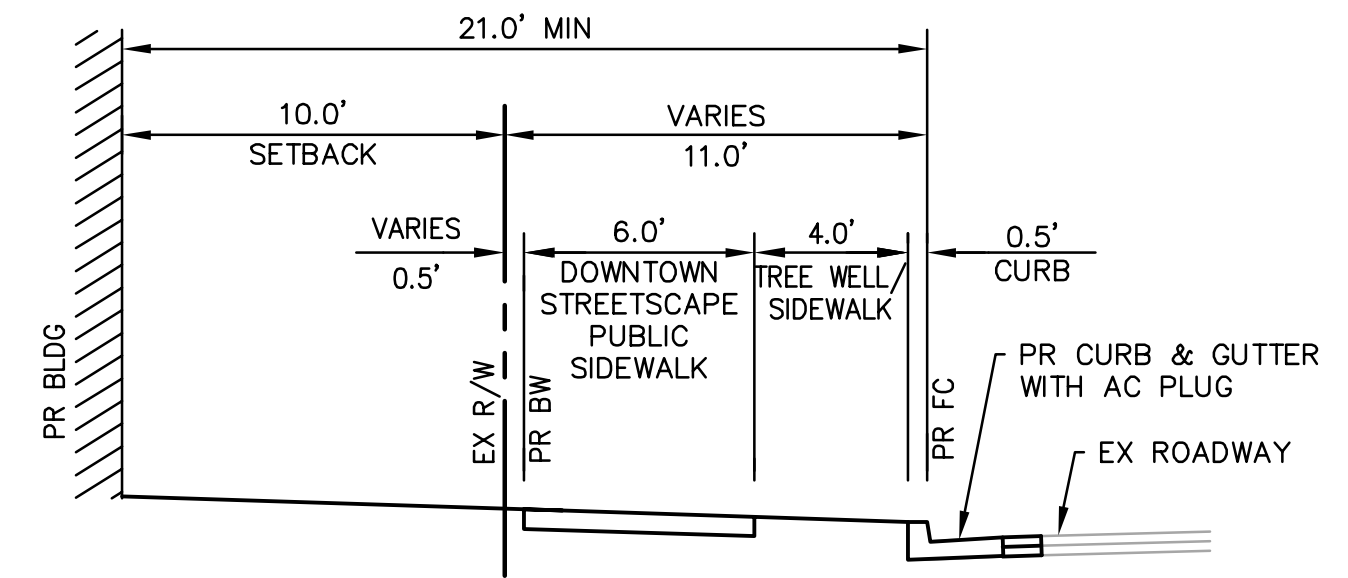
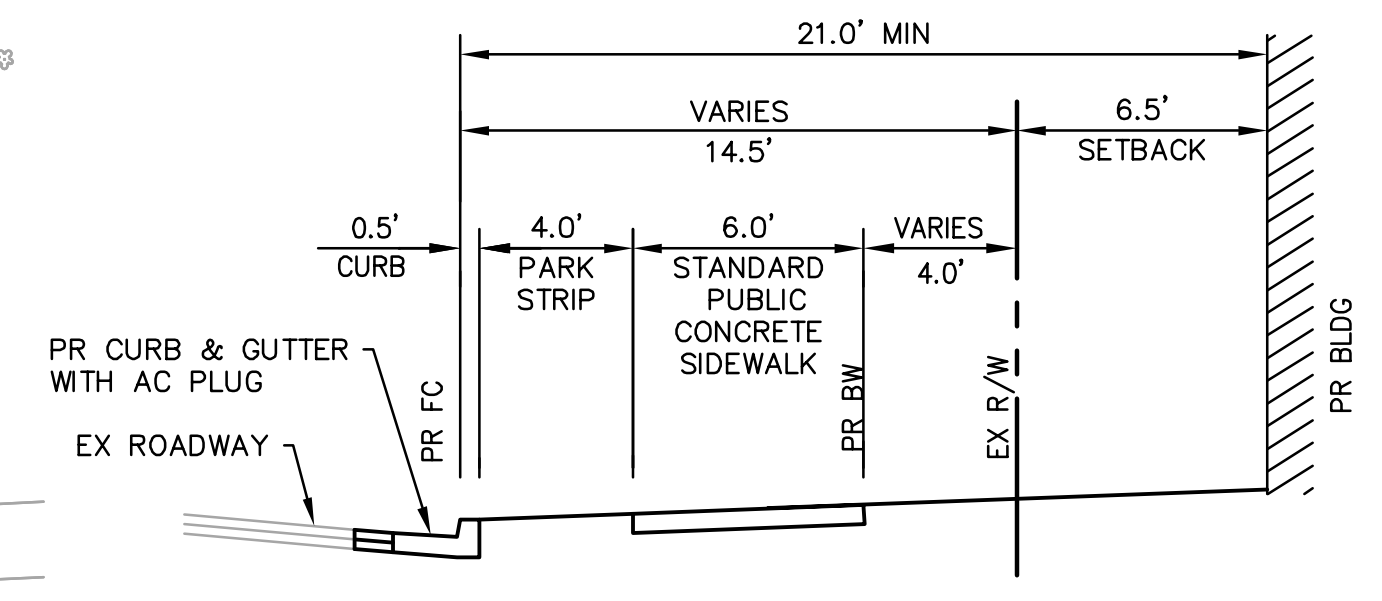
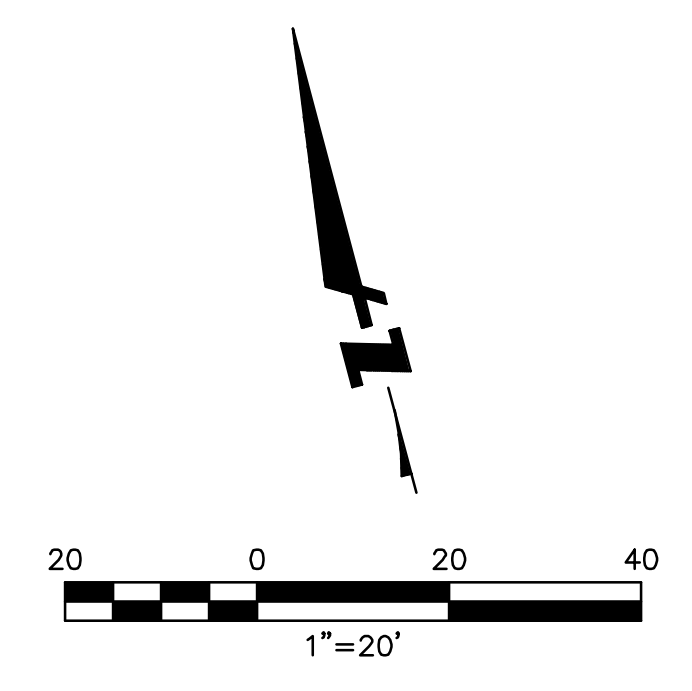


LEGEND:

- PROPERTY LINE
- [Green Dotted Pattern] FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)
- [Green Cross-hatch Pattern] BIORETENTION AREA (SEE DETAIL 1/C5.0)
- [Triangle Symbol] VISION TRIANGLE

NOTES:

1. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
2. ALL DIMENSIONS ARE TO THE FACE OF CURB OR PROPERTY LINE UNLESS NOTED OTHERWISE.



DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHEETS\02_MAPLSP.dwg
PLOT DATE: 03-19-18 PLOTTED BY: arca

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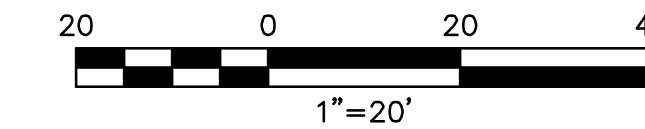
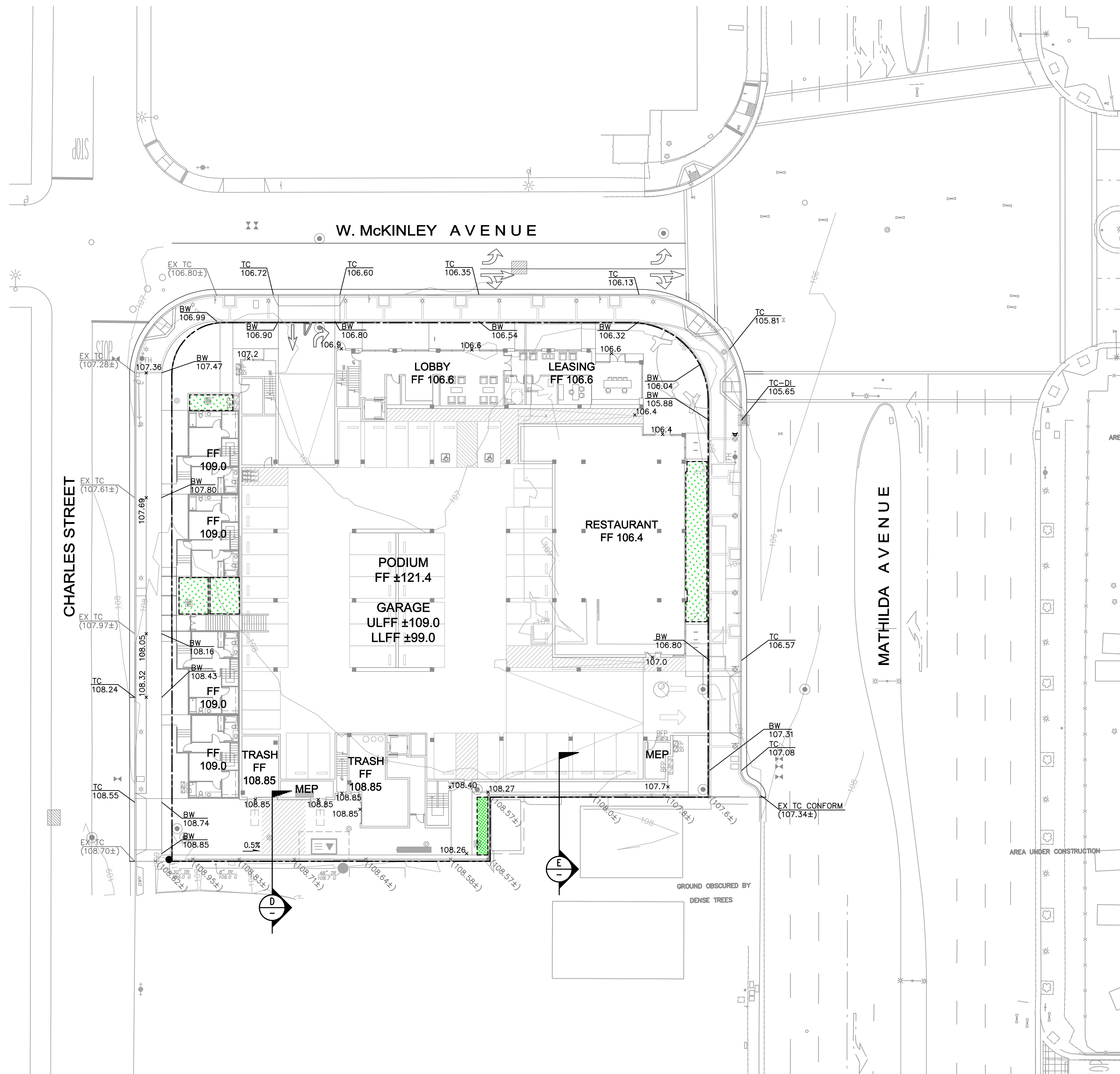
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Sheet Title:
PROPOSED CIVIL SITE PLAN

Job No. 20177004
Date: 03/21/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C2.0

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENG\PLANNING\SHEETS\03_MAP\03.dwg
 PLOT DATE: 03-19-18 PLOTTED BY: arca



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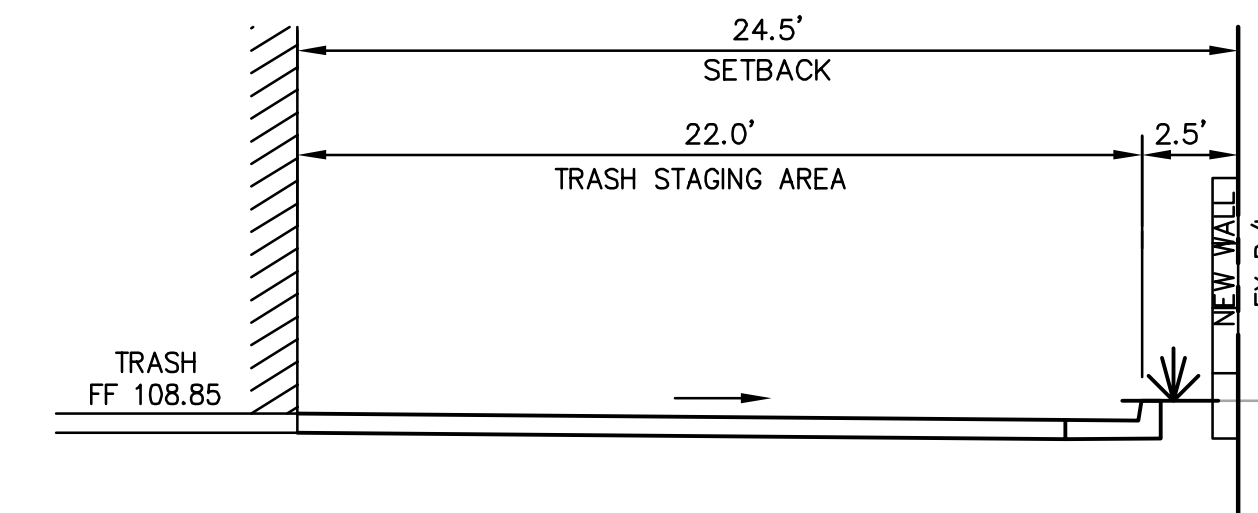
- — — — — PROPERTY LINE
- - - - - GRADE BREAK/RIDGELINE
- [Green Dotted Box] FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)
- [Green Stippled Box] BIORETENTION AREA (SEE DETAIL 1/C5.0)
- (XX.X) X EXISTING GRADE
- XX.X X PROPOSED GRADE
- X.X% DRAINAGE SLOPE AND DIRECTIONAL LABEL
- MANHOLE
- STORMWATER TREATMENT VAULT

ABBREVIATIONS:

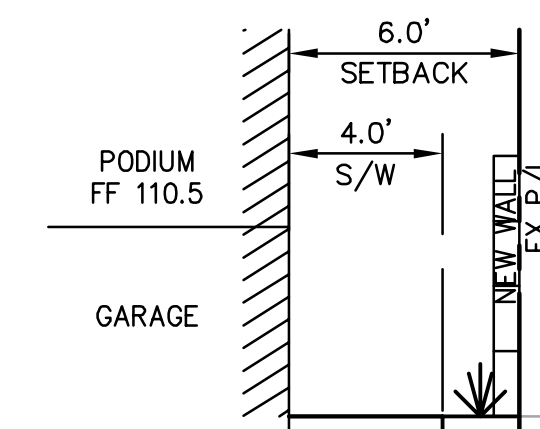
- AD AREA DRAIN
- CB CATCH BASIN
- DI DRAIN INLET
- ESMT EASEMENT
- INV INVERT
- LP LOW POINT
- MH MANHOLE
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SQ FT SQUARE FEET
- STV STORMWATER TREATMENT VAULT
- TC TOP OF CURB
- TYP TYPICAL
- W WATER

NOTES:

1. ALL GRADING WORK SHALL BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL RECOMMENDATIONS, INCLUDING SITE STRIPPING AND OVEREXCAVATION REQUIREMENTS.
2. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
3. SEE SHEET C2.0 FOR CROSS-SECTIONS ALONG CHARLES STREET, MCKINLEY AVENUE AND MATHILDA AVENUE.



D SECTION D
1"=5'



E SECTION E
1"=5'



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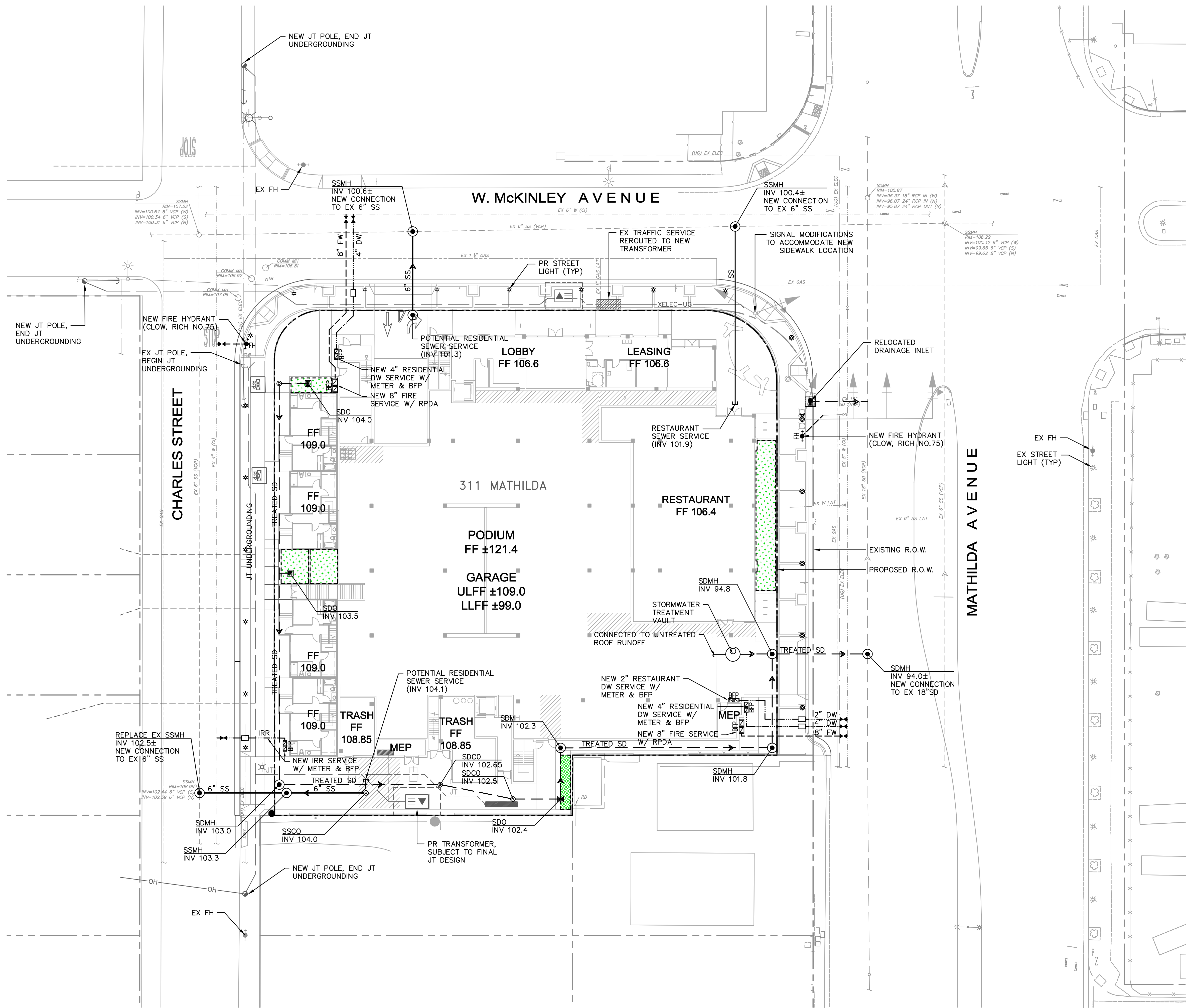
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Sheet Title:
PRELIMINARY GRADING PLAN

Job No. 20177004
 Date: 03/21/2018
 Scale: PER PLAN
 Drawn By: KA

Sheet No:
C3.0

DRAWING NAME: K:\2017\177004_311-S_Mathilda\ENR\PLANNING\04_MAPLUT.dwg
PLOT DATE: 06-13-18



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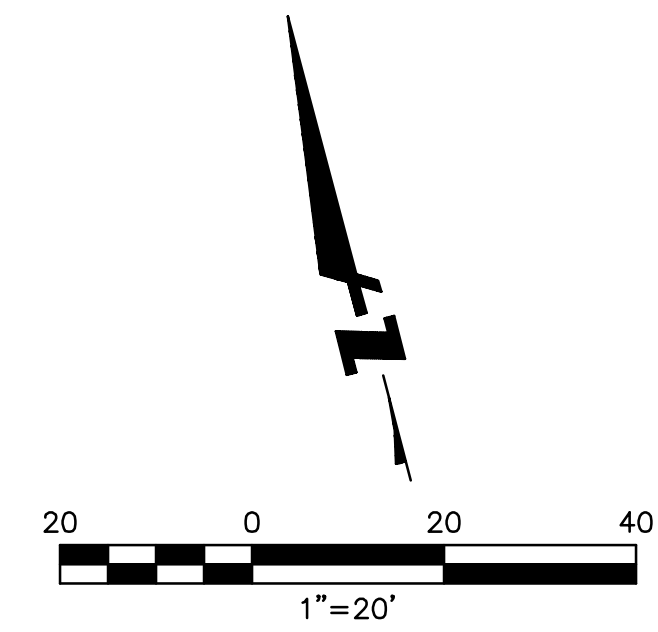
- PROPERTY LINE
- - - EX ELECTRICAL LINE
- - - EX GAS LINE
- - - EX STORM DRAIN LINE
- - - EX SANITARY SEWER
- - - EX WATER LINE
- PR STORM DRAIN LINE
- PR SANITARY SEWER LINE
- PR DOMESTIC WATER LINE
- PR FIRE WATER LINE
- MANHOLE (MH)
- CLEANOUT (CO)
- STORM DRAIN OVERFLOW (SDO)
- STORMWATER TREATMENT VAULT (STV)
- BACKFLOW PREVENTER (BFP)
- WATER METER (WM)
- AREA DRAIN (AD)
- ⊕ WATER VALVE (WV)
- BIORETENTION AREA (SEE DETAIL 1/C5.0)
- FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)

ABBREVIATIONS:

- | | |
|------|----------------------------|
| AD | AREA DRAIN |
| BFP | BACKFLOW PREVENTER |
| CO | CLEANOUT |
| DW | DOMESTIC WATER |
| EX | EXISTING |
| FF | FINISH FLOOR |
| FH | FIRE HYDRANT |
| FW | FIRE WATER |
| INV | INVERT |
| IRR | IRRIGATION |
| JT | JOINT TRENCH |
| MH | MANHOLE |
| OH | OVER HEAD |
| S | SLOPE |
| SD | STORM DRAIN |
| SDCO | STORM DRAIN CLEANOUT |
| SDMH | STORM DRAIN MANHOLE |
| SDO | STORM DRAIN OVERFLOW |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| SSMH | SANITARY SEWER MANHOLE |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| USD | UNTREATED STORM DRAIN LINE |
| W | WATER |
| WM | WATER METER |
| WV | WATER VALVE |

NOTES:

1. WATER SEWER AND STORM DRAIN IMPROVEMENTS TO BE INSTALLED PER CITY DESIGN STANDARDS.
2. BACKFLOW PREVENTERS SHALL BE LOCATED ON PRIVATE PROPERTY.
3. EXISTING BUILDING LATERALS TO BE REMOVED/ABANDONNED.
4. TRAFFIC SIGNAL POLE, MAST ARM, AND SIGNAL HEADS AT THE SOUTHWEST CORNER OF MATHILDA AVENUE AND MCKINLEY AVENUE SHALL BE UPGRADED PER DOWNTOWN STREETScape STANDARD DETAIL REQUIREMENTS AND RELOCATED IN COORDINATION WITH THE INTERSECTION IMPROVEMENTS. PREVIOUS PLANS TO MODIFY THE EXISTING SIGNAL POLE AT THE SOUTHWEST CORNER OF MATHILDA AND MCKINLEY TO THE ULTIMATE CONDITION AS PART OF A SEPARATE DEVELOPMENT WILL REQUIRE STAGING DUE TO THE CONSIDERABLE DIFFERENCE IN LOCATIONS BETWEEN EXISTING AND PROPOSED CURB RAMPS. IMPROVEMENT STAGING TO BE COORDINATED WITH THE DIVISION OF TRANSPORTATION AND TRAFFIC (DOT) STAFF AT THE CITY DURING THE PROJECT OFFSITE IMPROVEMENT PHASE.



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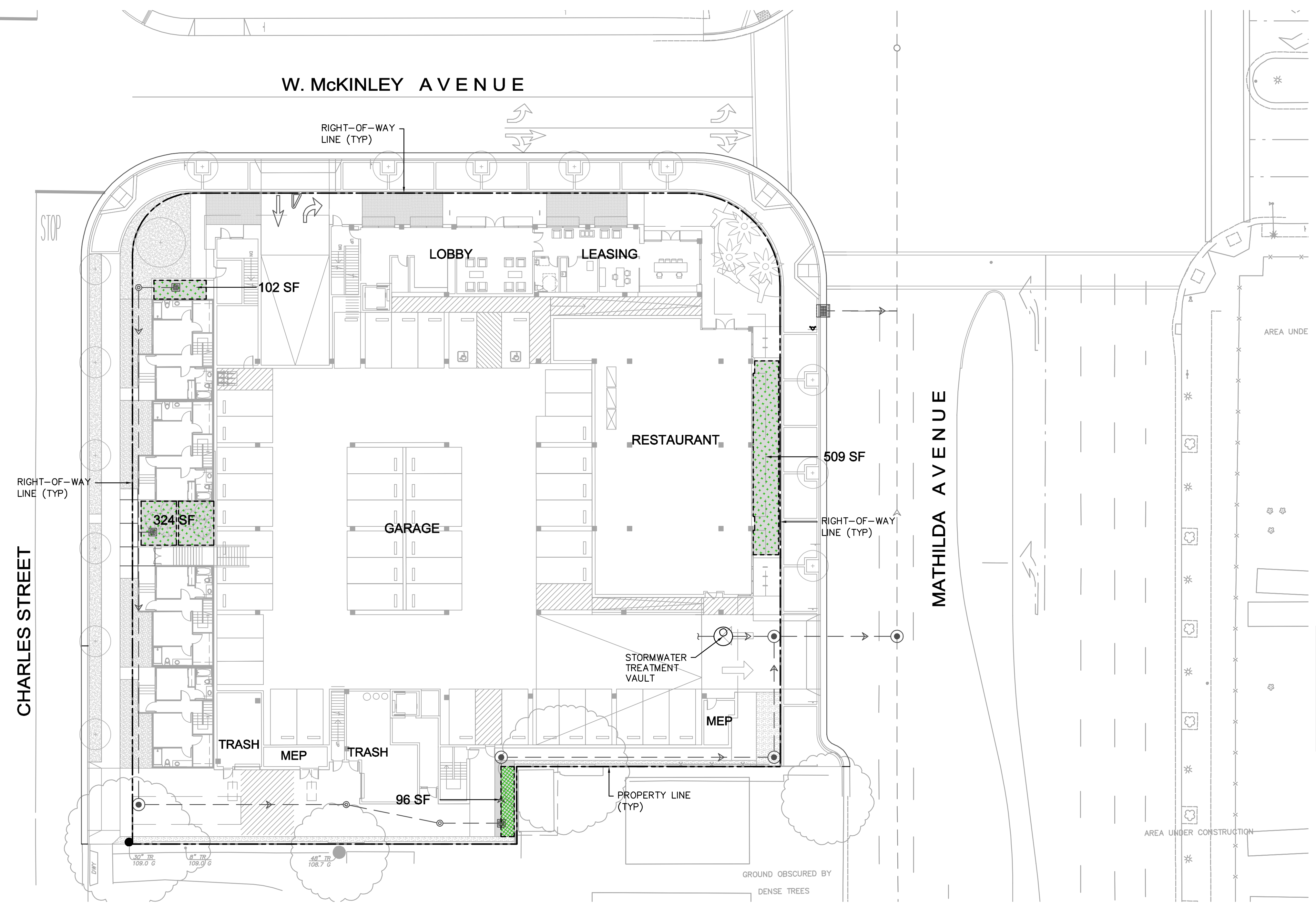
Sheet Title:
PRELIMINARY UTILITY PLAN

Job No. 20177004
Date: 06/04/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C4.0



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LEGEND:

- PROPERTY LINE
- - - EX STORM DRAIN LINE
- - - PR STORM DRAIN LINE
- [Pattern] FLOW-THRU PLANTER (SEE DETAIL 2, THIS SHEET)
- [Pattern] BIORETENTION AREA (SEE DETAIL 1, THIS SHEET)
- (Circle with dot) STORMWATER TREATMENT VAULT (STV)
- (Circle with cross) STORM DRAIN MANHOLE (SDMH)
- (Square with cross) STORM DRAIN OVERFLOW (SDO)

NOTES:

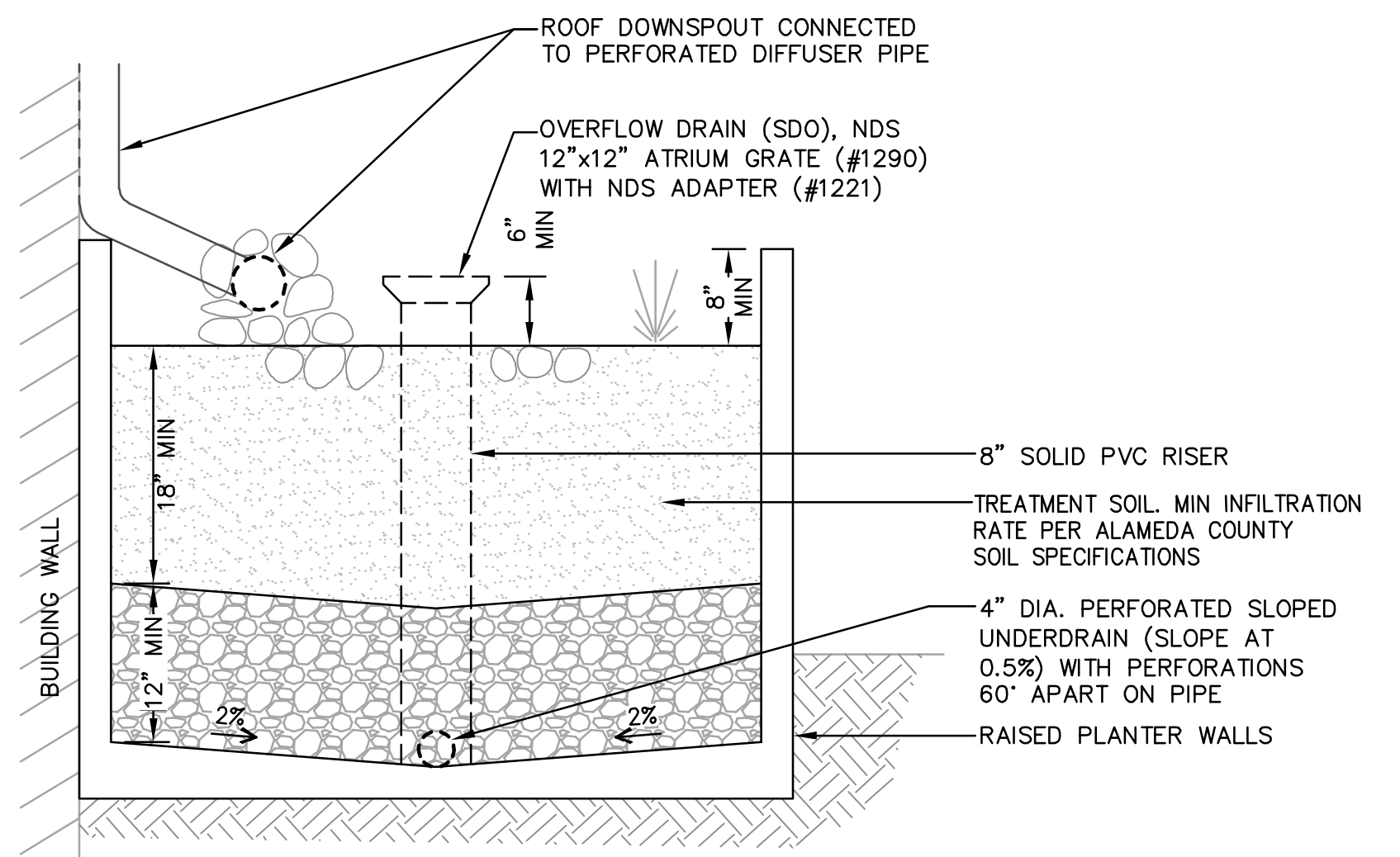
- THIS PROJECT QUALIFIES FOR 65% TRANSIT-ORIENTED DEVELOPMENT (TOD) CREDITS UNDER THE MRP CATEGORY C SPECIAL PROJECT CRITERIA.

TOD CREDITS:	
+ 25% - LOCATION	[WITHIN 0.5 MILES OF EXISTING TRANSIT HUB]
+ 20% - DENSITY	[> 60 DU/AC]
+ 20% - PARKING	[0% AT-GRADE PARKING]
+ 65% - TOTAL CREDITS	
- FLOW-THRU PLANTERS AND BIORETENTION AREAS ARE SIZED FOR 4% OF THE IMPERVIOUS AREA DRAINING TO THEM PER THE FLOW TREATMENT SIZING METHOD.

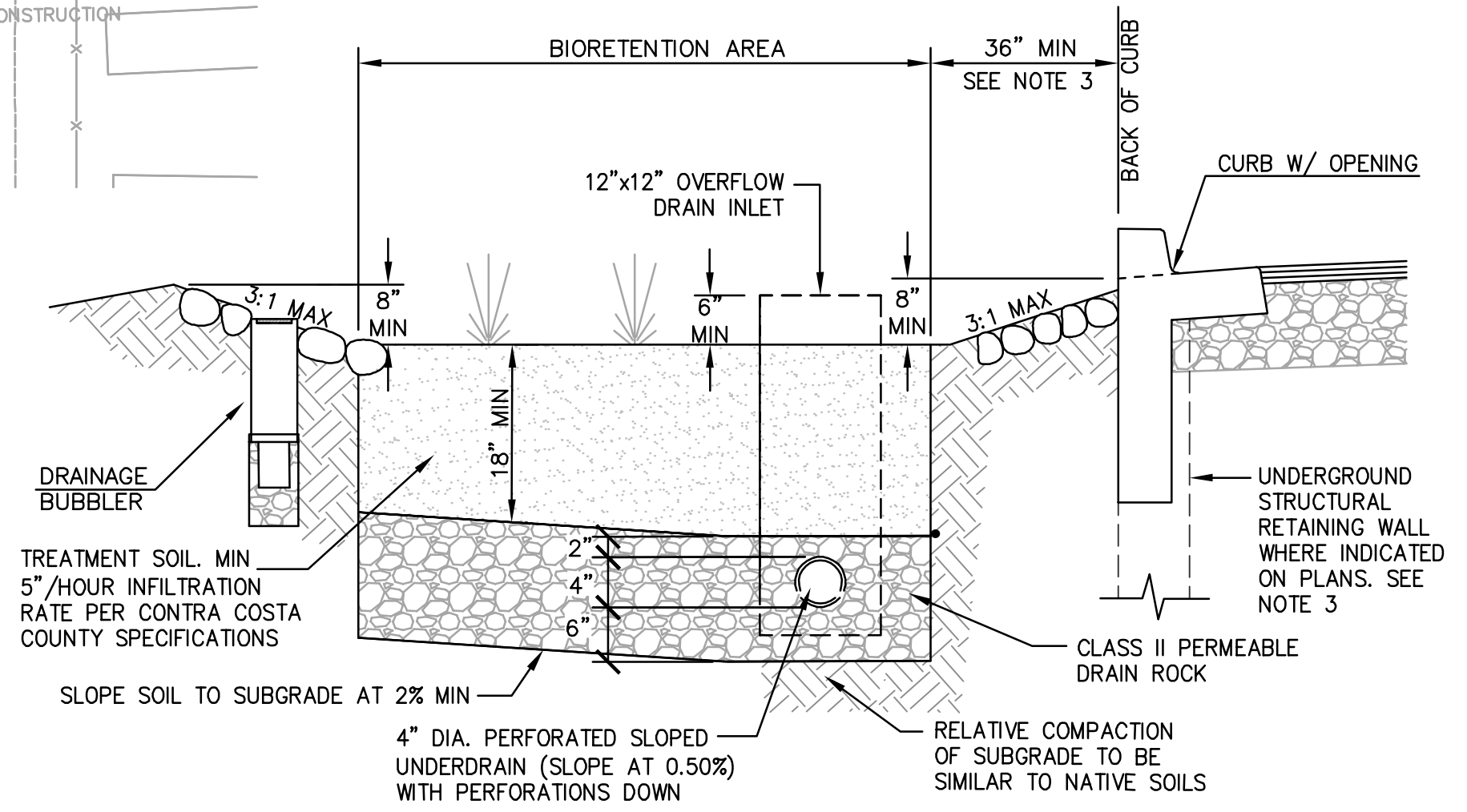
STORMWATER MANAGEMENT TABLE

Method of Treatment	Description of Drainage Area	Drainage Area (sf)	% of Total Drainage Area	Required Treatment Area* (sf)	Potential Treatment Area (sf)	Excess (sf)
Bioretention Area	Pavement	2,375	6%	95	96	1
Flow-Thru Planter	Roof	13,500	35%	540	935	395
2:1 Drain to Landscape	Pavement	3,295	9%	1,571	1,767	196
Media Filtration Vault	Pavement, Podium, & Roof	19,167	50%	N/A	N/A	N/A

*SEE NOTE 2.



2 FLOW-THRU PLANTER
NTS



1 BIORETENTION AREA
NTS

- NOTES:**
- PLACE 4" MIN. DIA. APPROVED NOYO COBBLE (OR APPROVED EQUIVALENT) FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" FROM EDGE OF STRUCTURE.
 - TREATMENT SOIL TO BE UNCOMPACTED AT FINAL CONDITION. KEEP HEAVY EQUIPMENT OUT OF TREATMENT AREAS.
 - STRUCTURAL BIORETENTION RETAINING WALL WITH FOOTING OR CROSS-BRACING REQUIRED AT ALL LOCATIONS WHERE BIORETENTION BASINS ARE LESS THAN 3' FROM CURB OR WALL.

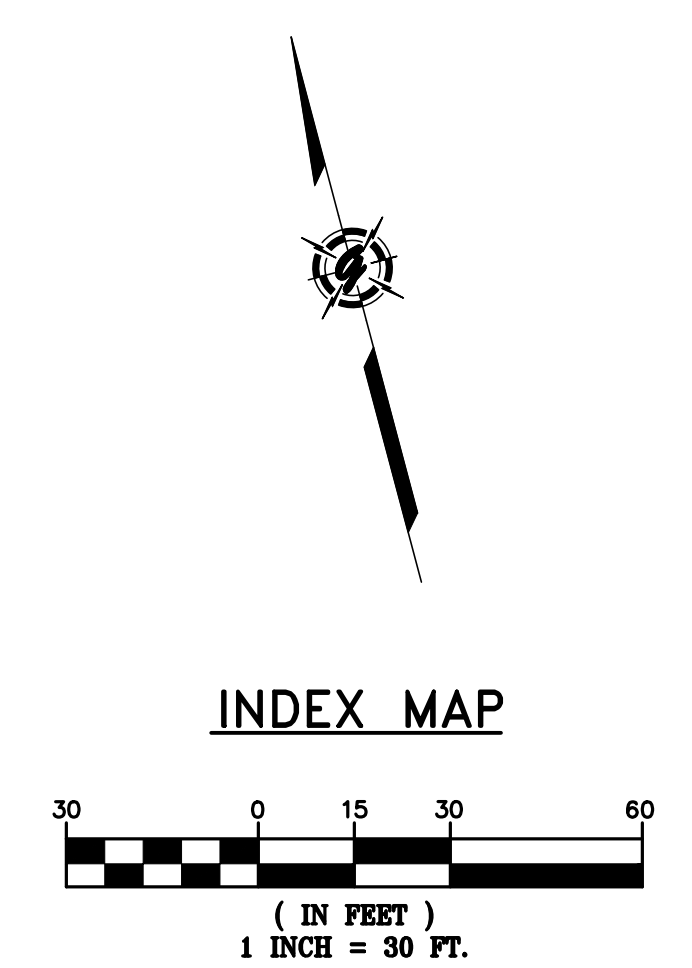
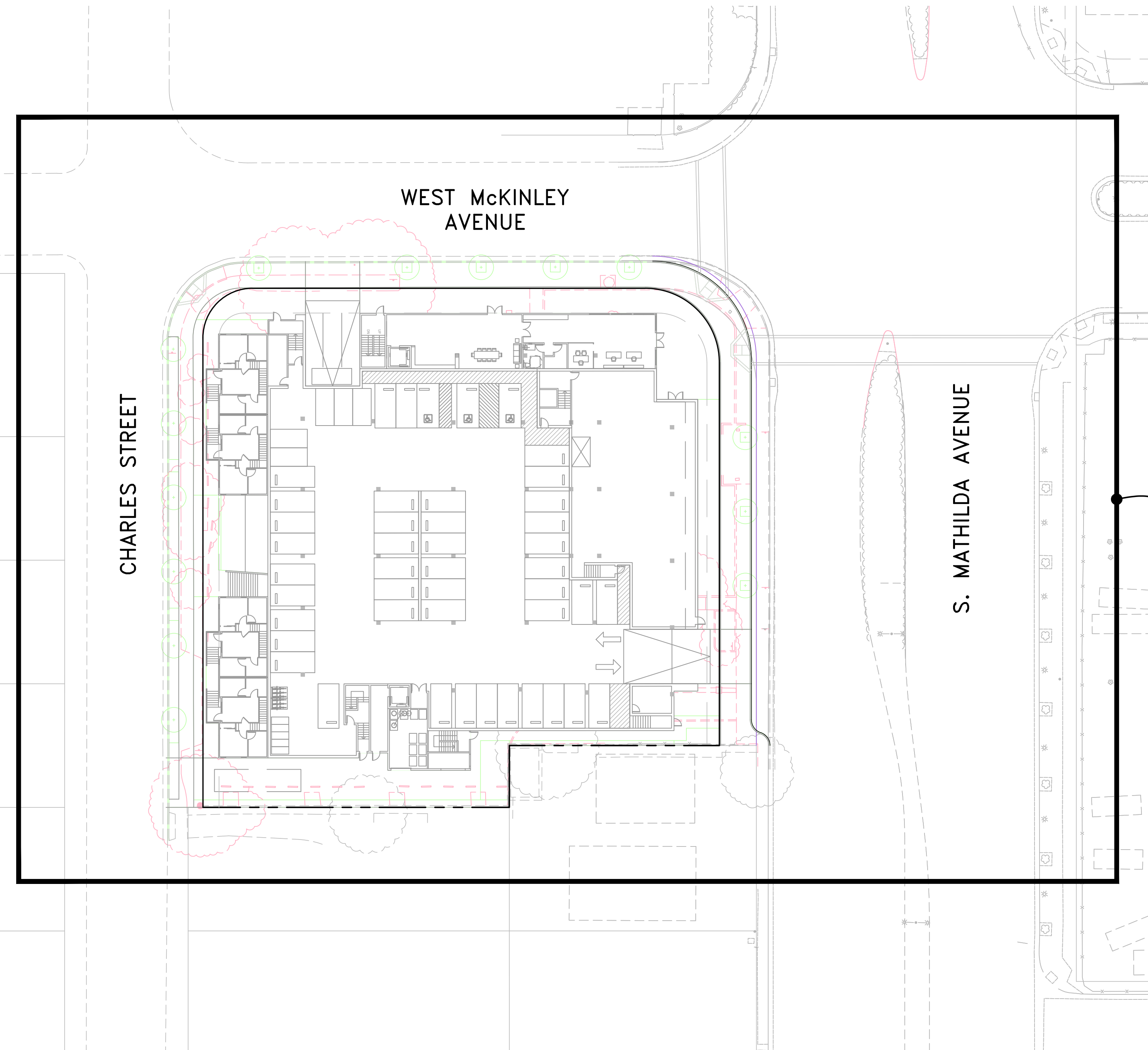
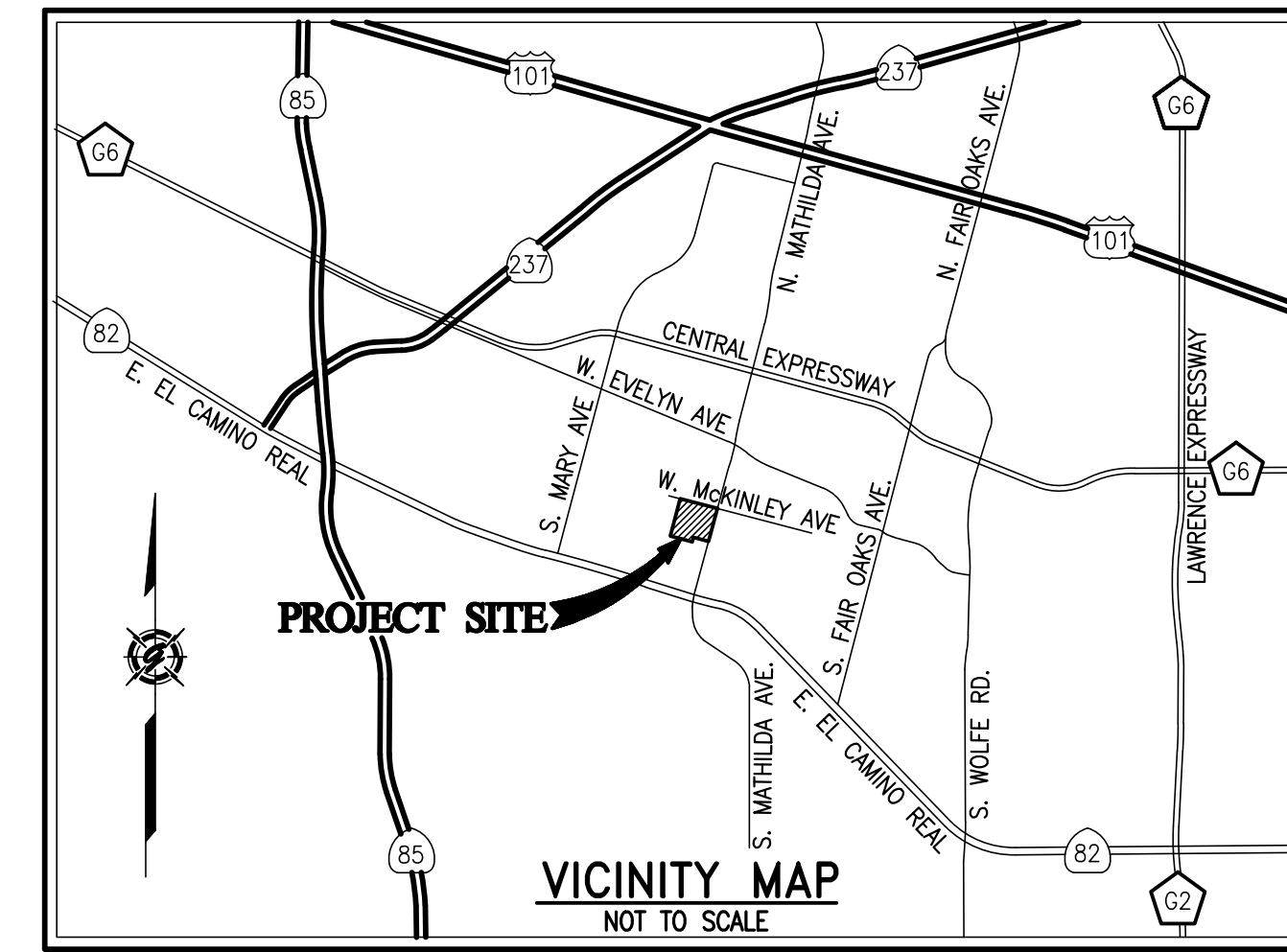
311 Mathilda
311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025
Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:
PRELIMINARY STORMWATER CONTROL PLAN
Job No. 20177004
Date: 03/21/2018
Scale: PER PLAN
Drawn By: KA

Sheet No:
C5.0

**LANE PARTNERS
311 MATHILDA
311 SOUTH MATHILDA AVE.
SUNNYVALE, CALIFORNIA
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



GIACALONE
DESIGN SERVICES, INC.
5820 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.467.1740 | WWW.GIACALONEDSIGN.COM

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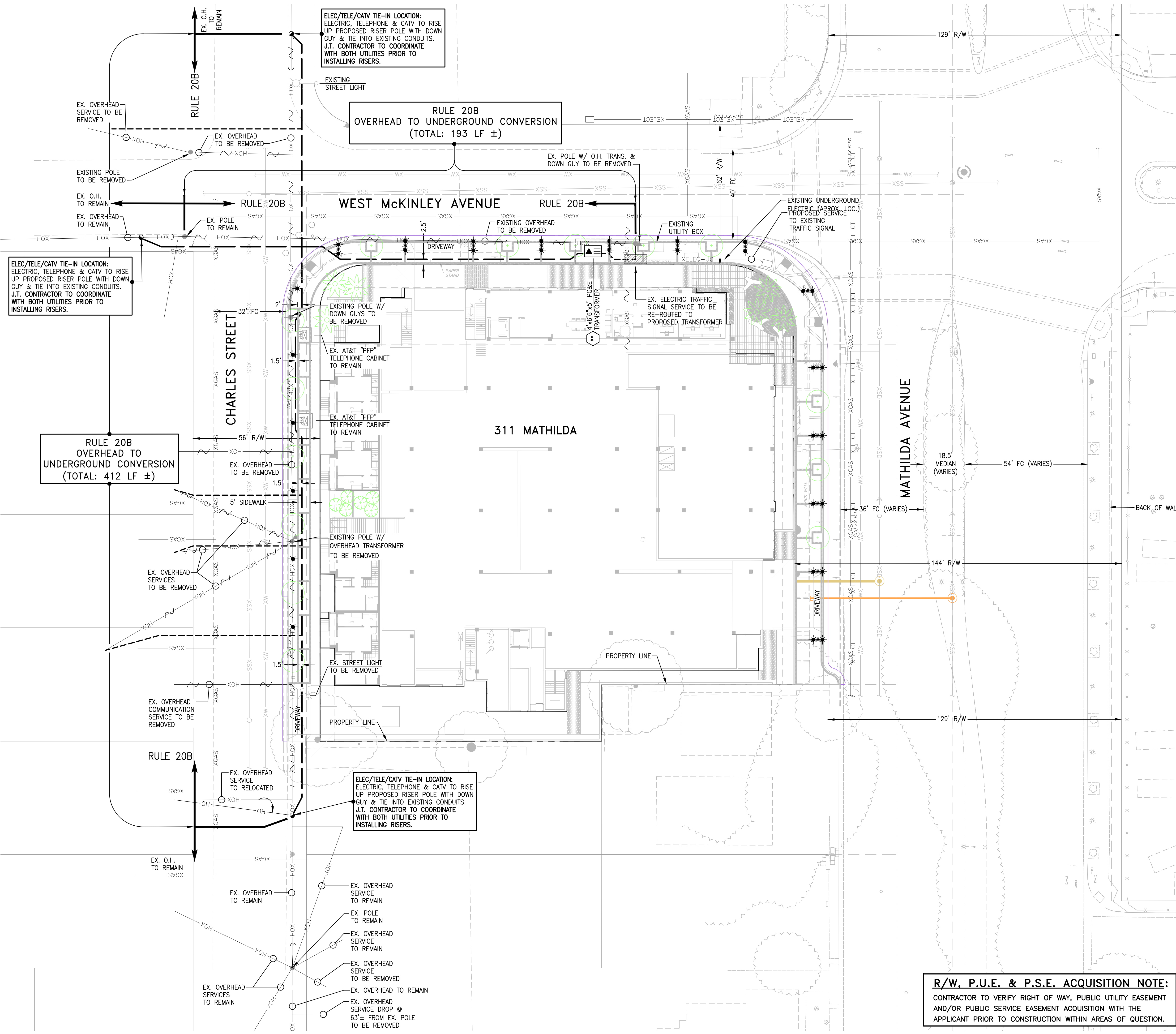
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Sheet Title:
**JOINT TRENCH INTENT
TITLE SHEET**

Job No. 17-093
Date: 03/21/2018
Scale: 1"=30'
Drawn By: JPS

Sheet No:
INT1

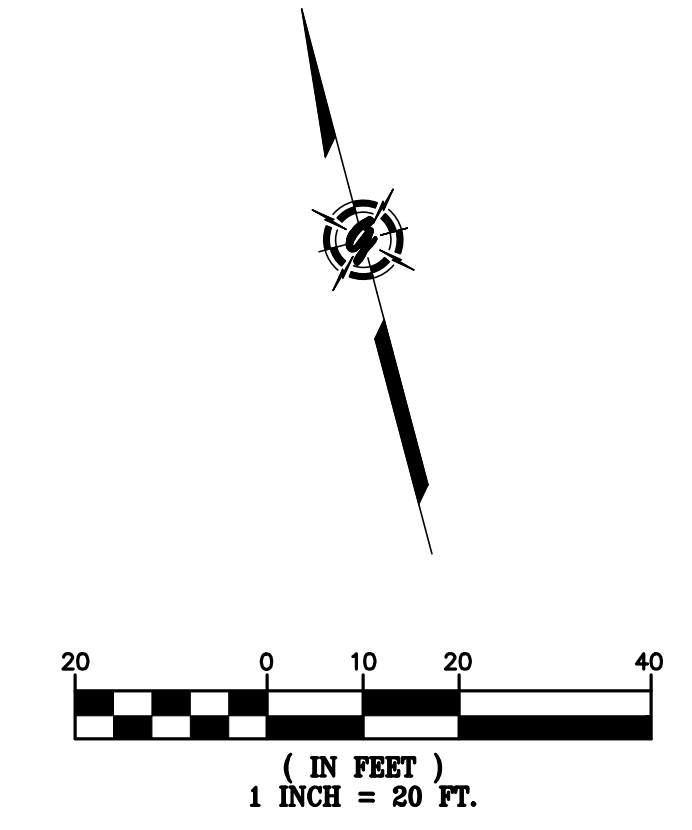


LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPICE BOX
	PROPOSED POST TOP STREET LIGHT
	PROPOSED DOUBLE ARM POST TOP STREET LIGHT
	EXISTING STREET LIGHT
	PROPOSED NEW RISER POLE
	PROPOSED NEW GUY ANCHOR
	EXISTING UTILITY POLE
	EXISTING UTILITY POLE GUY ANCHOR
	4x6 E.S. PG&E TRANSFORMER

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NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

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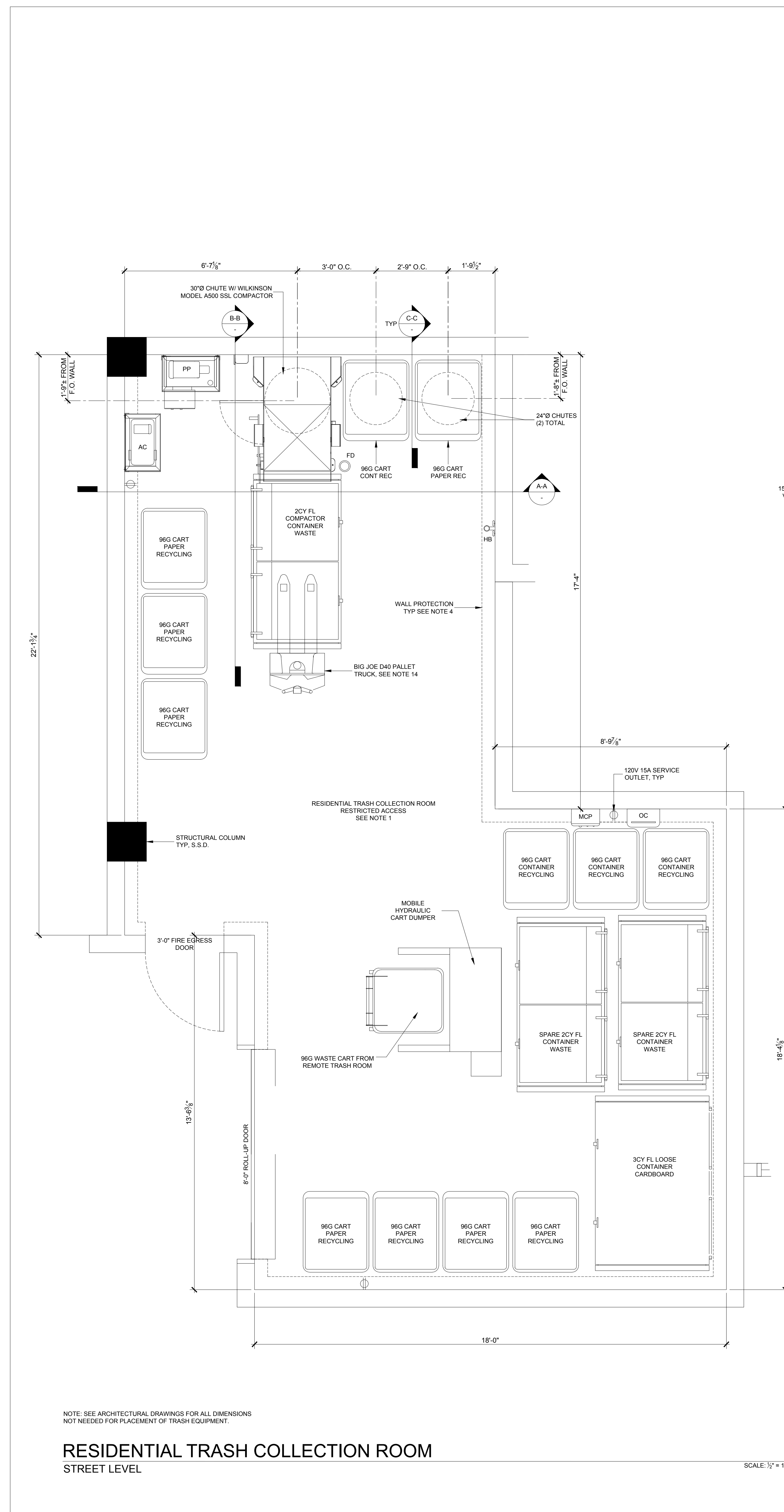
Sheet Title:

JOINT TRENCH INTENT
TITLE SHEET

Job No. 17-092
Date: 03/21/2018
Scale: 1"=20'
Drawn By: JPS

Sheet No:

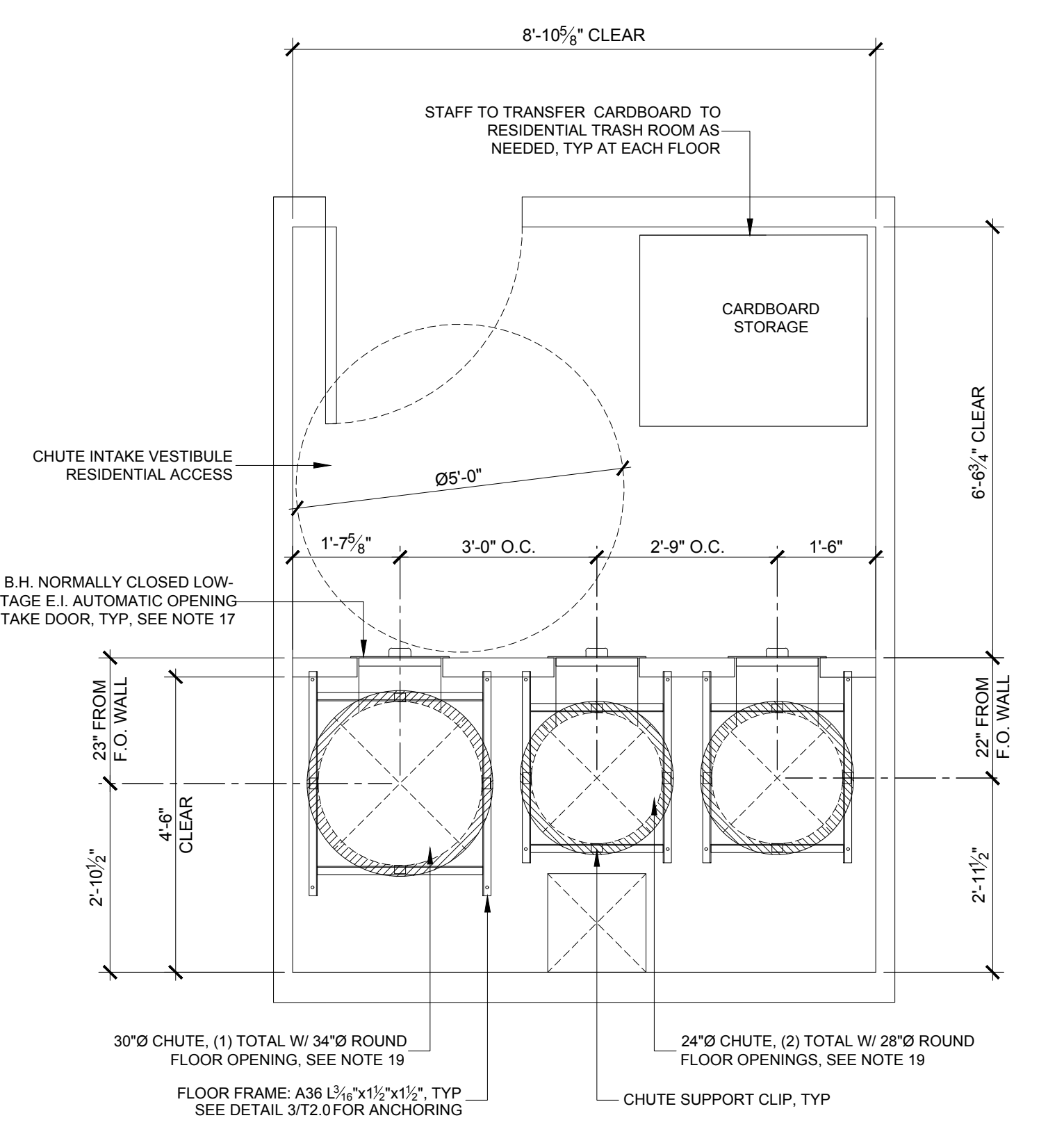
INT2



RESIDENTIAL TRASH COLLECTION ROOM
STREET LEVEL

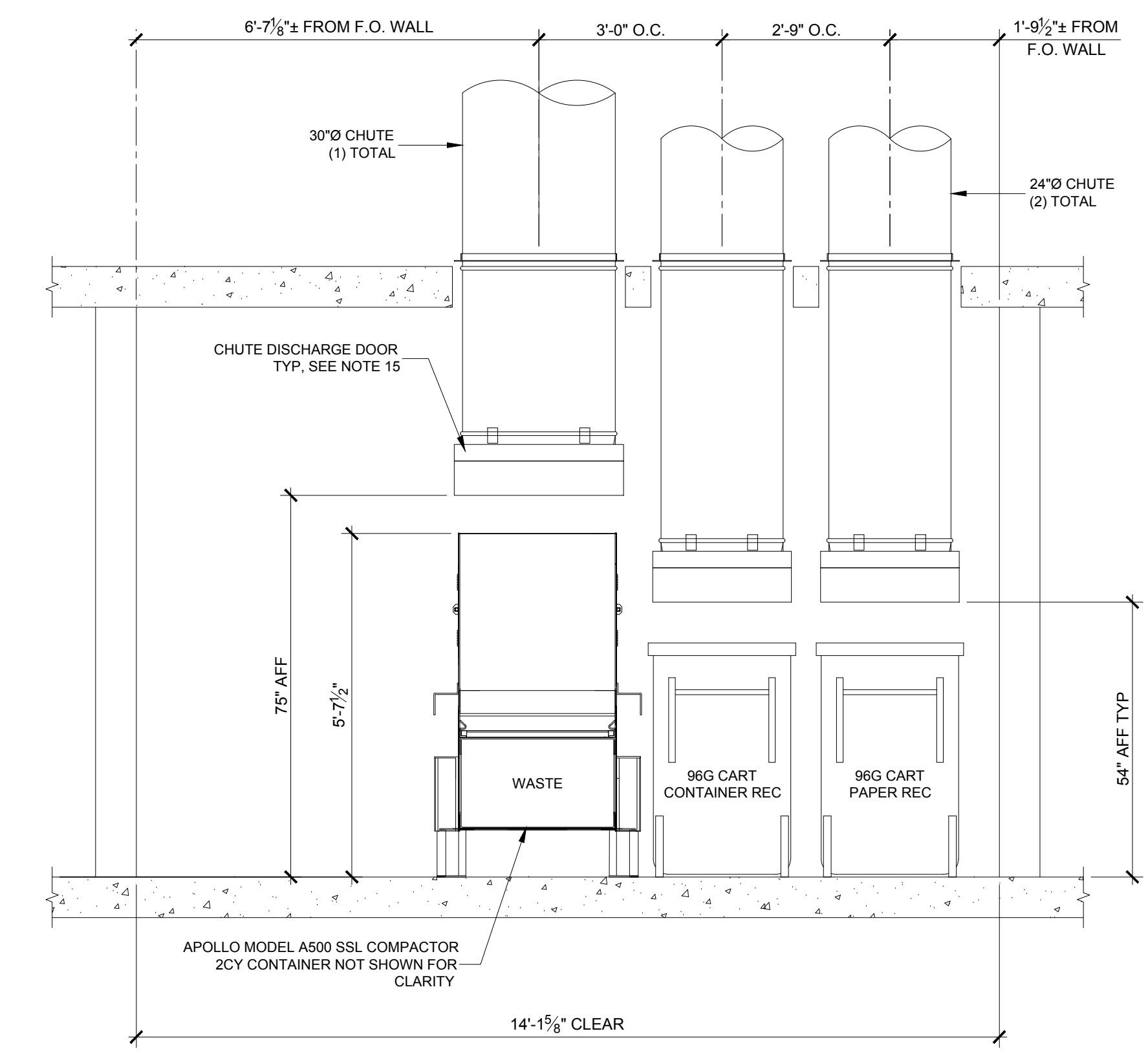
NOTE: SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT NEEDED FOR PLACEMENT OF TRASH EQUIPMENT.

SCALE: 1/2" = 1'-0"



CHUTE INTAKE VESTIBULES
TYPICAL AT PODIUM - LEVEL 5

SCALE: 1/2" = 1'-0"



SECTION A-A

NOTE: SEE RESIDENTIAL TRASH COLLECTION ROOM PLAN FOR TRASH EQUIPMENT OR ANY OTHER INFORMATION NOT SHOWN IN SECTIONS.

SECTIONS
AT RESIDENTIAL TRASH COLLECTION ROOM

EQUIPMENT SCHEDULE: RESIDENTIAL TRASH COLLECTION ROOM	
QTY:	DESCRIPTION:
5	TOTAL FLOORS
3	GALVANIZED STEEL CHUTES: (1) 30" CHUTE AND (2) 24" CHUTES
12	TOTAL FLOOR SUPPORT FRAMES (ONE AT EACH FLOOR PENETRATION)
12	15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING CHUTE INTAKE DOORS
2	TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY INSULATED SLIDING-STEEL CHUTE DISCHARGE DOORS, HELD OPEN BY 165°F FUSIBLE LINK
1	APOLLO MODEL A500 SINGLE-SIDE LATCH COMPACTOR
1	COMPACTOR POWER PACK: 5HP 3-PHASE, 208/230/460V WITH 30A DISCONNECT
3	2CY FRONT-LOAD COMPACTOR CONTAINERS
1	3CY FRONT-LOAD LOOSE CONTAINER
12	96G LOOSE TOTE CARTS
4	96G LOOSE TOTE CARTS (CARDBOARD DISPOSAL AT VESTIBULES)
1	96G LOOSE TOTE CARTS (CARDBOARD DISPOSAL AT VESTIBULES)
1	CHUTE AIR COMPRESSOR: 2HP MOTOR
1	CHUTE MASTER CONTROL PANEL
1	FLOOR DRAIN
1	ODOR CONTROL UNIT
1	HOT AND COLD HOSE BIBB
1	8'-0" ROLL-UP DOOR
1	3'-0" FIRE EGRESS DOOR
1	BIG JOE D40 ELECTRIC PALLET TRUCK

PROJECTED COLLECTION SCHEDULE: RESIDENTIAL TRASH COLLECTION ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 2CY FL COMPACTOR CONTAINERS	2x/wk
CARDBOARD	(1) 3CY FL LOOSE CONTAINER	2x/wk
PAPER RECYCLING	(8) 96G LOOSE TOTE CARTS	2x/wk
CONTAINER RECYCLING	(4) 96G LOOSE TOTE CARTS	2x/wk

- SHEET NOTES:**
- RESIDENTIAL TRASH COLLECTION ROOM: STREET LEVEL**
- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS. FF - 3'-0"
 - FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FFP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION: 10"Hx6"W CONCRETE CURB AT BASE OF WALLS. DO NOT INSTALL CURB ON WALL AT END OF COMPACTOR OR POWER PACK.
 - INSTALL 8'-0" ROLL-UP DOOR AND 3'-0" FIRE EGRESS DOOR
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FIT PER 2016 CBC.
 - (1) 30" GRAVITY CHUTE WITH (1) COMPACTOR FOR WASTE - PROVIDE 2CY CONTAINER. (2) 24" GRAVITY CHUTES WITH 96G TOTE CARTS FOR PAPER AND CONTAINER RECYCLING. ALL CHUTES SHALL BE 304 S.S.
 - 30" CHUTE: TERMINATES 5' AFF. 24" CHUTES: TERMINATE 64" AFF.
 - PP: COMPACTOR POWER PACK SHALL BE WALL-MOUNTED 60" AFF. (1) 5HP 3-PHASE, 208/230/460V, 30A DISCONNECTS 60" AFF.
 - MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES.
 - AC: 2HP CHUTE AIR COMPRESSOR SHALL BE WALL-MOUNTED 60" AFF.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
 - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY, TURNING RADIUS: 45.5'.
 - CHUTE DISCHARGE DOOR: TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165°F FUSIBLE LINK.
 - 120V, 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).
- CHUTE INTAKE VESTIBULES: TYPICAL AT PODIUM - LEVEL 5**
- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR: 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (3) 15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING CHUTE INTAKE DOORS AT EACH FLOOR. SEE DETAIL 172.0.
 - CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
 - CHUTE SUPPORT FLOOR FRAME: ROUND FLOOR OPENINGS AT CONCRETE FLOORS, AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. 24" CHUTE: 35" LONG FLOOR FRAME. 30" CHUTE: 41" LONG FLOOR FRAME.
- GENERAL NOTES:**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

Architecture
Planning
Urban Design

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Oakland, California 94607
(510) 451-2850

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415.292.5410 Fax

Consultant

311 Mathilda
311 S Mathilda Ave., Sunnyvale, CA 94086

Lane Partners
644 Menlo Ave., 2nd Floor, Menlo Park, CA 94025

Description	Date
BUILDING PERMIT SUBMITTAL	08/06/2017
PLAN CHECK RESPONSE	03/16/2018

AMERICAN TRASH MANAGEMENT

AMERICAN TRASH MANAGEMENT
1500 POWELL STREET, SUITE 800
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

Sheet Title:
RESIDENTIAL TRASH COLLECTION PLAN

STREET LEVEL

Job No. 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No:

T0.1

SCALE: 1/2" = 1'-0"

EQUIPMENT SCHEDULE: RESTAURANT TRASH COLLECTION ROOM	
QTY:	DESCRIPTION:
5	TOTAL FLOORS
1	2CY FRONT-LOAD LOOSE - FOOD SCRAPS
1	3CY FRONT-LOAD LOOSE - CARDBOARD
2	4CY FRONT-LOAD LOOSE - WASTE
1	50G DRUM (HOT GREASE)
1	FLOOR DRAIN
1	ODOR CONTROL UNIT
1	HOT AND COLD HOSE BIBB
1	BIG JOE D40 ELECTRIC PALLET TRUCK

PROJECTED COLLECTION SCHEDULE: RESTAURANT TRASH COLLECTION ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 4CY FL LOOSE CONTAINER	2x/wk
CARDBOARD RECYCLING	(1) 3CY FL LOOSE CONTAINER	2x/wk
FOOD SCRAPS	(1) 2CY FL LOOSE CONTAINER	2x/wk

- SHEET NOTES:**
- RESTAURANT TRASH COLLECTION ROOM: STREET LEVEL**
- TRASH COLLECTION ROOM SHALL BE 2HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS. FF-43-07.
 - FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION: 10"x6"x6" CONCRETE CURB AT BASE OF WALLS.
 - INSTALL 8'-0" ROLL-UP DOOR AND 3'-0" FIRE EGRESS DOOR
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
 - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY; TURNING RADIUS: 45.5".
 - 120V, 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).
- GENERAL NOTES:**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

: Architecture
 : Planning
 : Urban Design

: 304 12th Street, Suite 2A
 : Oakland, California 94607
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Consultant

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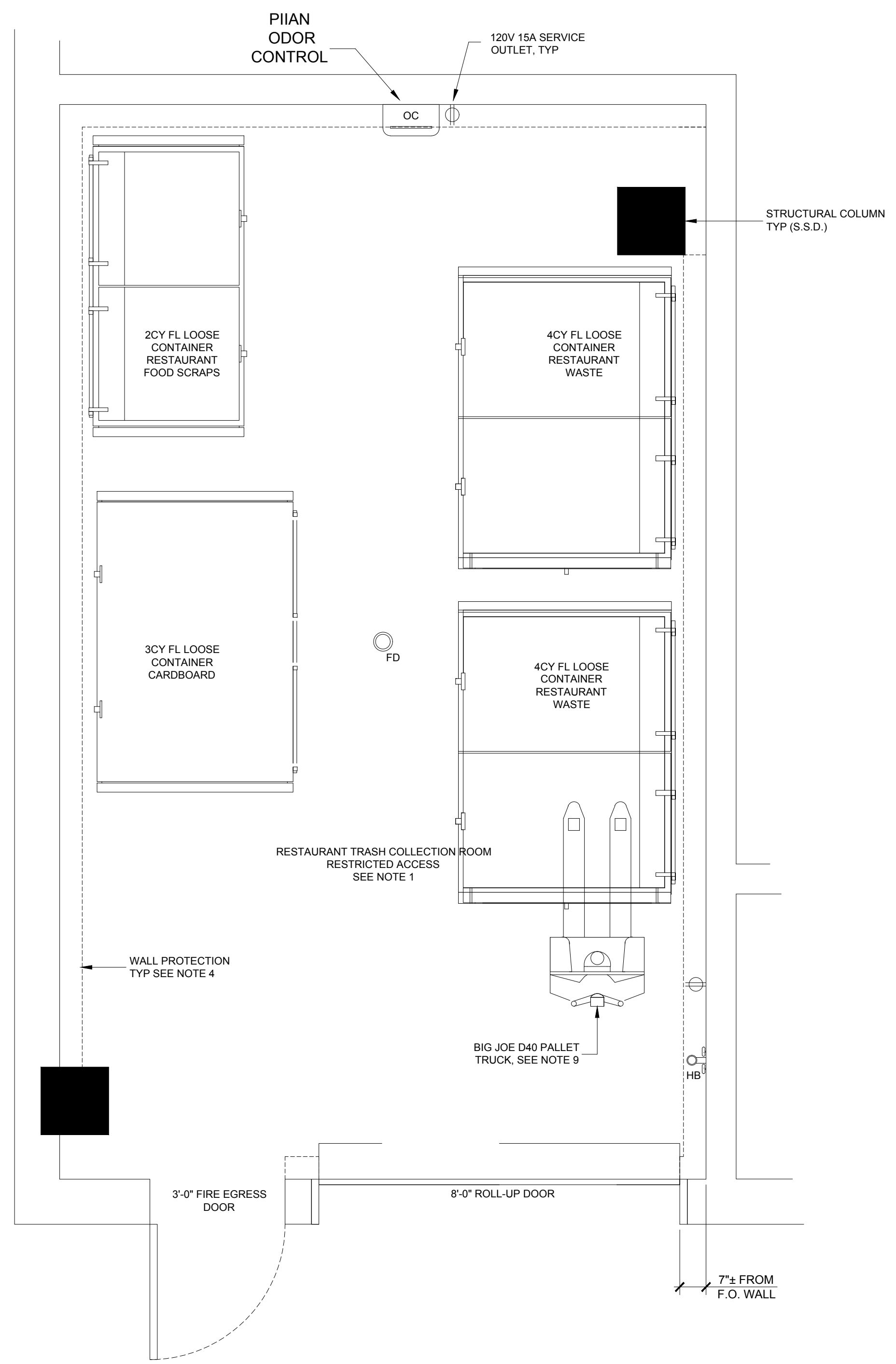
Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018



Sheet Title:
RESTAURANT TRASH COLLECTION PLAN
 STREET LEVEL

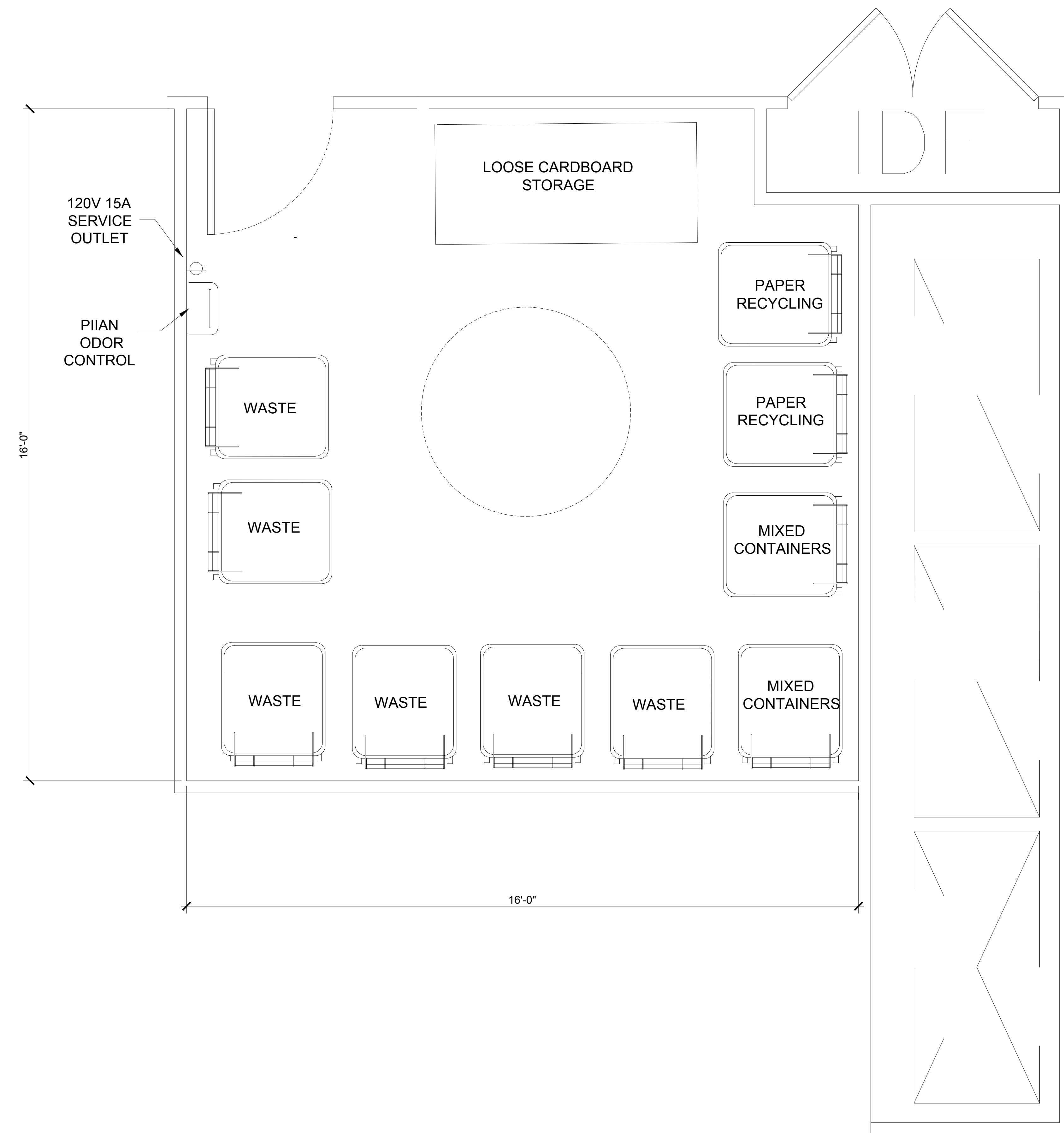
Job No: 16044
 Date: 03/16/2018
 Scale: AS INDICATED

Sheet No:
T0.2



RESTAURANT TRASH COLLECTION ROOM
 STREET LEVEL

SCALE: 1/2" = 1'-0"



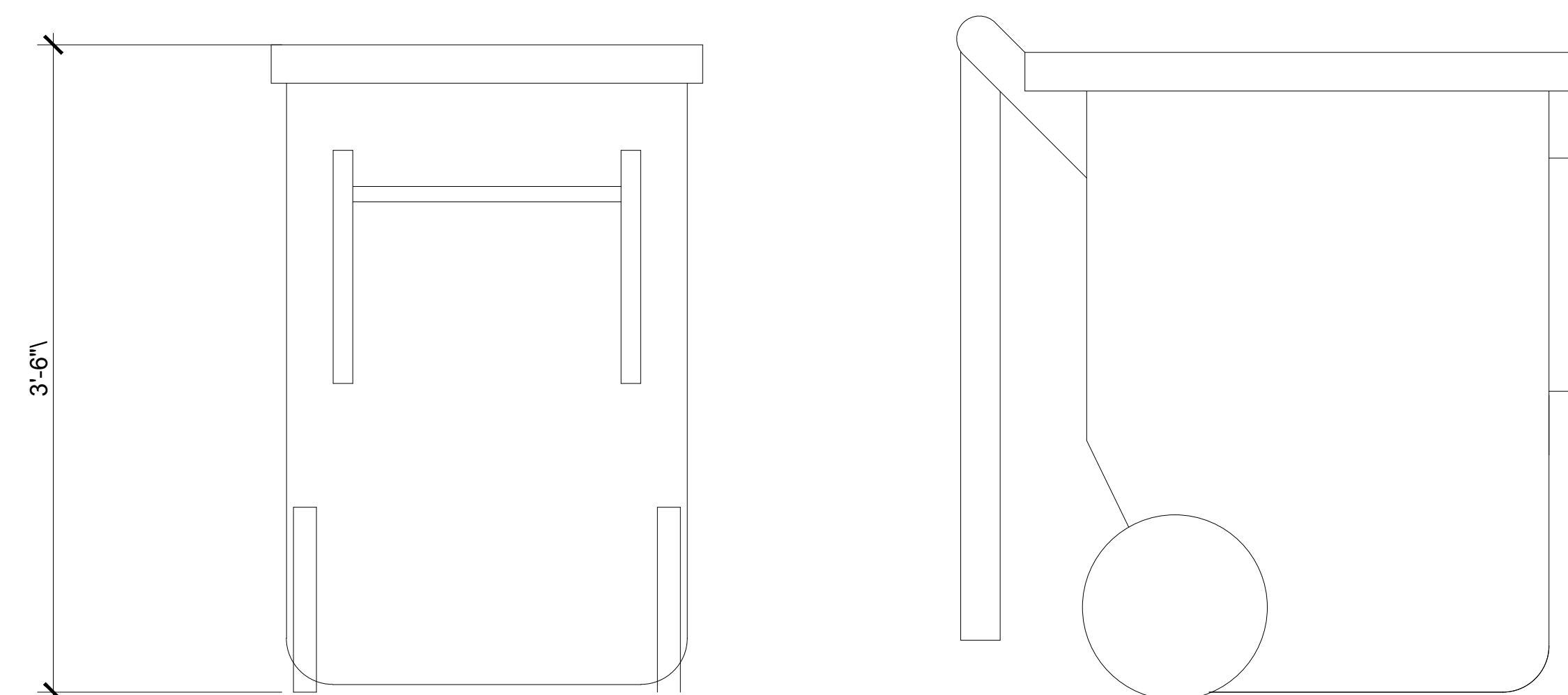
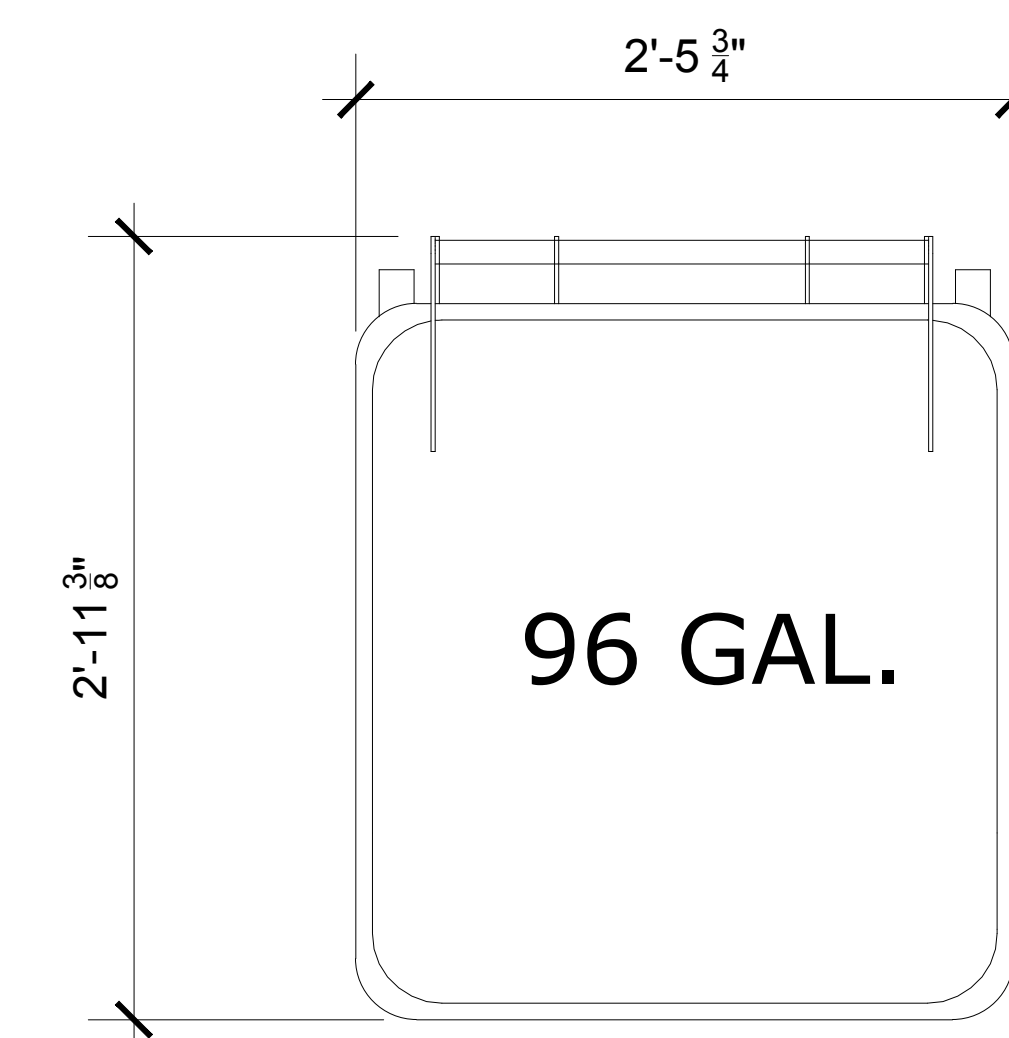
SHEET NOTES:

REMOTE TRASH COLLECTION ROOM:

1. TRASH COLLECTION ROOM SHALL BE 1HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS. .
2. FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
5. 120V, 15A SERVICE OUTLET REQUIRED.

GENERAL NOTES:

1. ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.



96 GAL CART

REMOTE TRASH COLLECTION ROOM
RESIDENTIAL LEVELS

: Architecture
: Planning
: Urban Design

: 304 12th Street, Suite 2A
: Oakland, California 94607
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Lane Partners
644 Menlo Ave., 2nd Floor, Menlo Park, CA 94025

Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

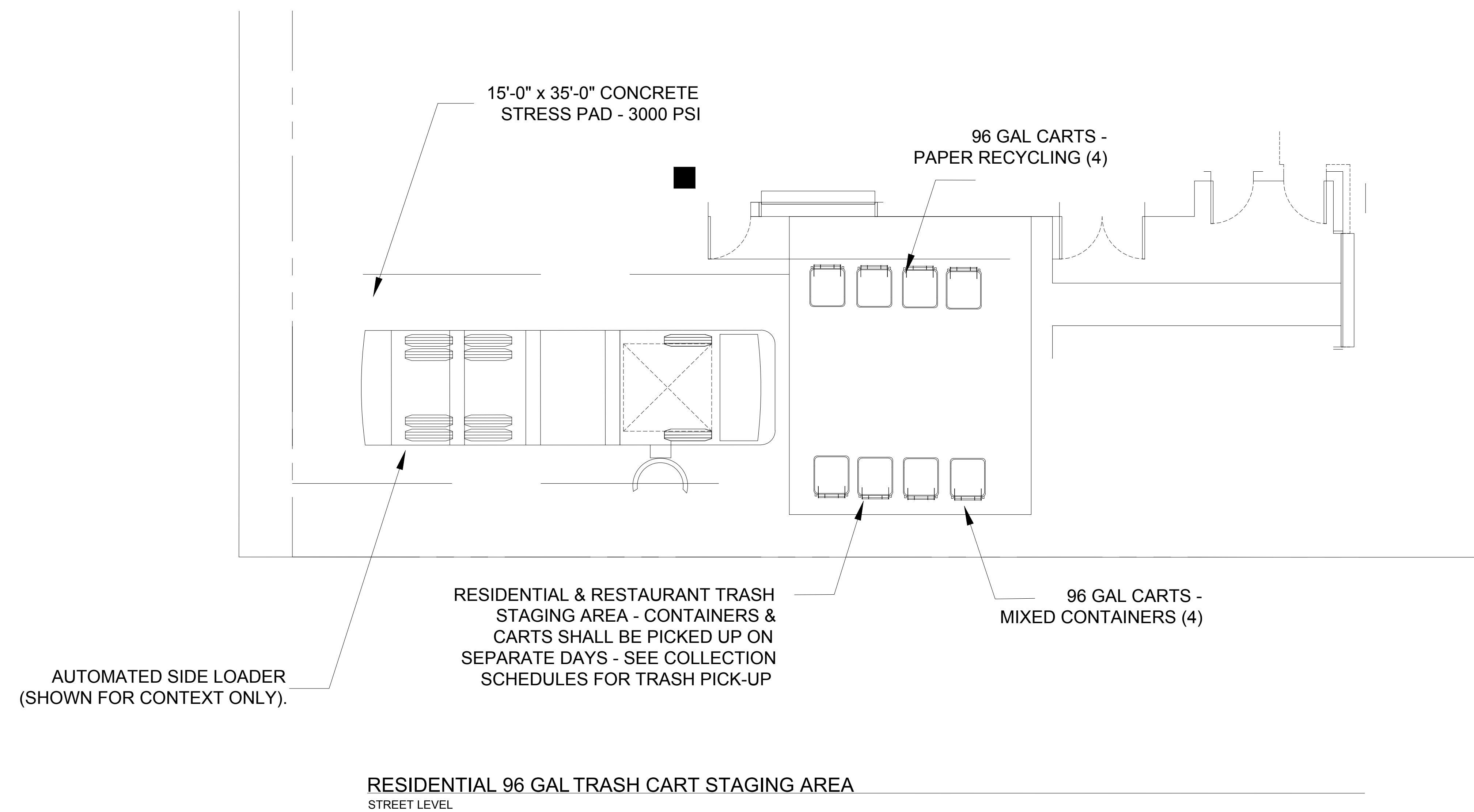
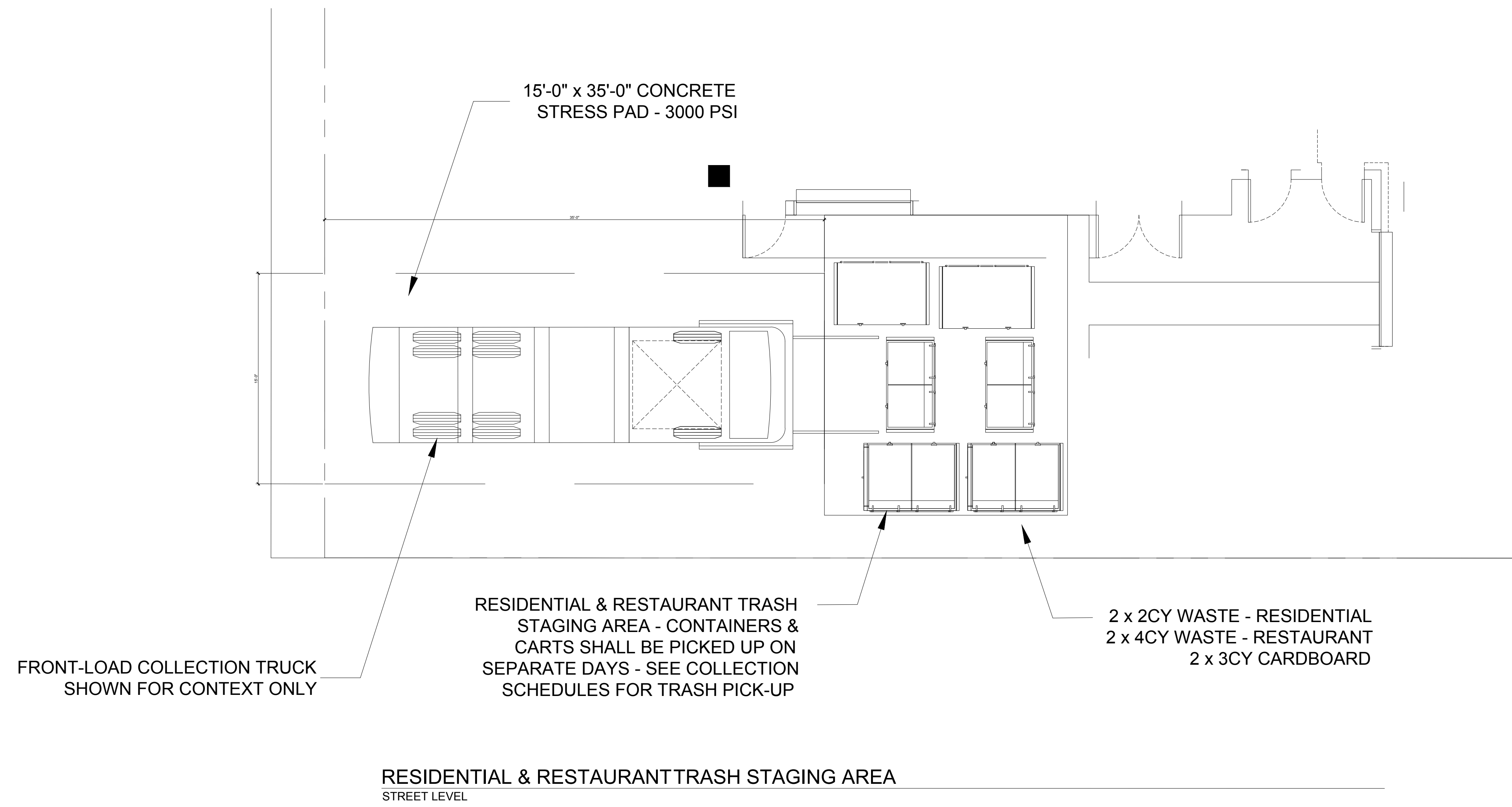


Sheet Title:
REMOTE TRASH COLLECTION ROOM
UPPER LEVEL

Job No: 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No:

T0.3



: Architecture
: Planning
: Urban Design

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Consultant

Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018

AMERICAN TRASH MANAGEMENT
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Sheet Title:
TRASH STAGING AREA

Job No: 16044
Date: 03/16/2018
Scale: AS INDICATED

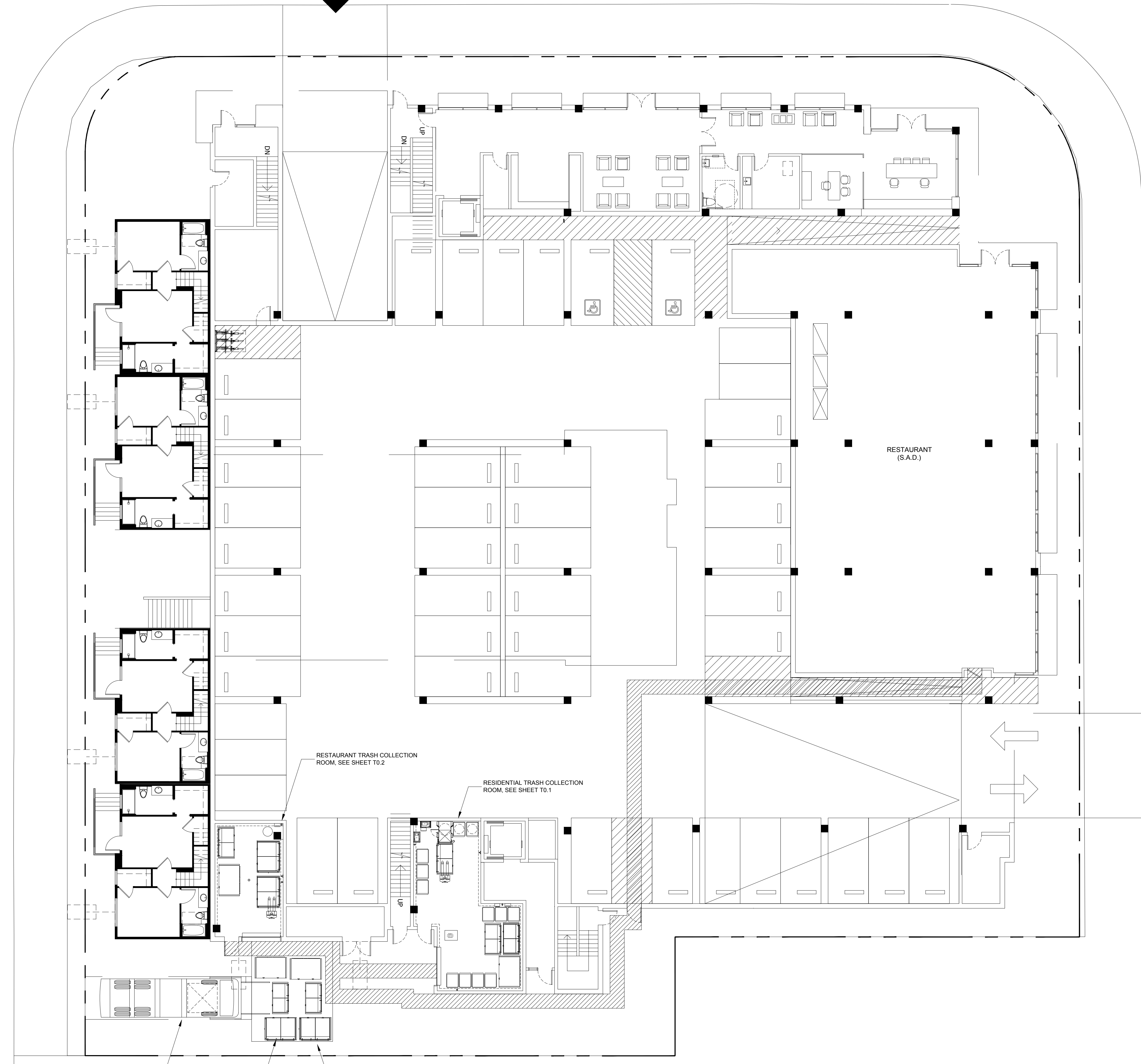
Sheet No:

T0.4

CHARLES AVENUE

MCKINLEY AVENUE

S MATHILDA AVENUE



FRONT-LOAD COLLECTION TRUCK SHOWN FOR CONTEXT ONLY

RESIDENTIAL & RESTAURANT TRASH STAGING AREA - CONTAINERS & CARTS SHALL BE PICKED UP ON SEPARATE DAYS - SEE COLLECTION SCHEDULES FOR TRASH PICK-UP

2 x 2CY WASTE - RESIDENTIAL
2 x 4CY WASTE - RESTAURANT
2 x 3CY CARDBOARD

RESTAURANT TRASH COLLECTION ROOM. SEE SHEET T0.2

RESIDENTIAL TRASH COLLECTION ROOM. SEE SHEET T0.1

SHEET NOTES:
RESTAURANT BIN MOVEMENT PLAN: STREET LEVEL
 1. DISTANCE FROM RESTAURANT TO RESTAURANT TRASH COLLECTION ROOM IS ±262'-0". DISTANCE FROM RESIDENTIAL TRASH ROOM TO TRASH STAGING AREA IS ±22'-0".

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 3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

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 : Planning
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: 304 12th Street, Suite 2A
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 : (510) 451-2850

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Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

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LEGEND:
 1. RESTAURANT PATH OF TRAVEL TO TRASH STAGING AREA SHOWN AS:

RESTAURANT BIN MOVEMENT PLAN
 STREET LEVEL

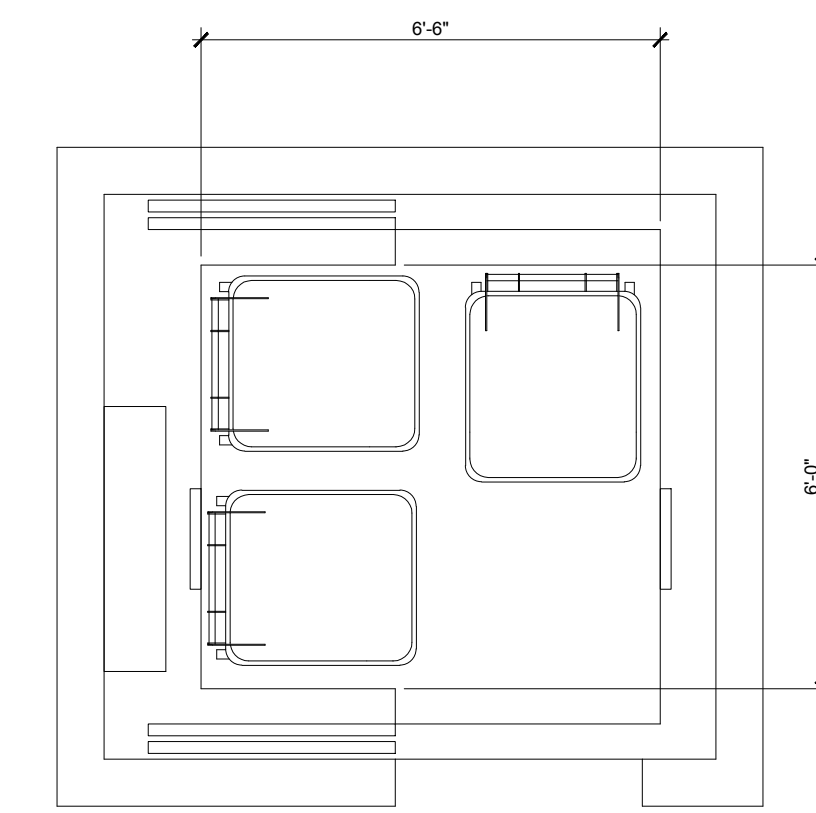
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Sheet Title:
RESTAURANT BIN MOVEMENT PLAN
 STREET LEVEL

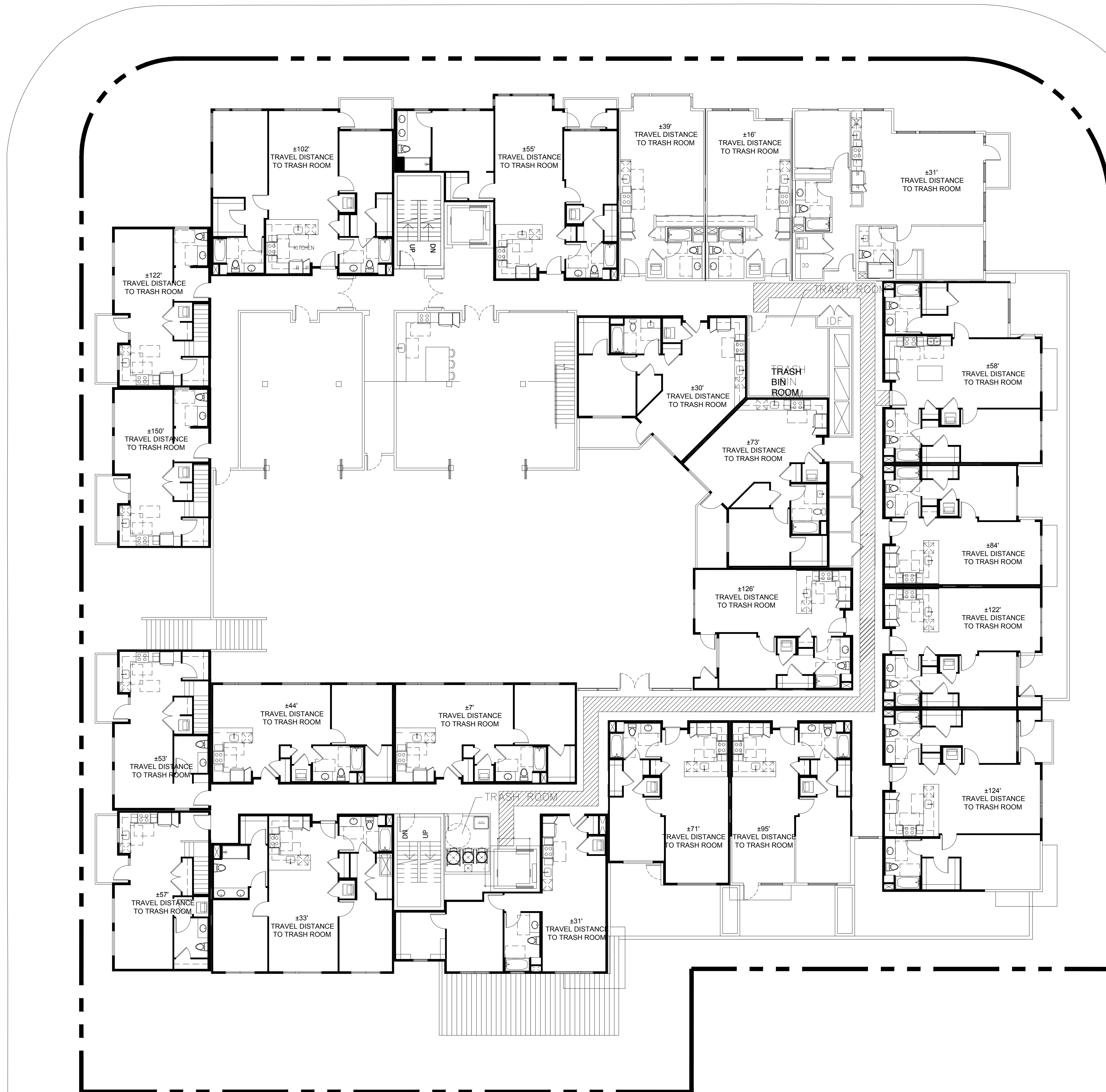
Job No. 16044
 Date: 03/16/2018
 Scale: AS INDICATED

Sheet No:
T1.1

- SHEET NOTES:**
- PATH OF TRAVEL PLAN: UPPER LEVEL**
- (35) TOTAL RESIDENTIAL UNIT EXCEEDS THE CITY OF SUNNYVALE'S ALLOWABLE TRAVEL DISTANCE TO TRASH ROOMS (150'-0"). SEE PLAN FOR MARKED UNITS.
 - MAX DISTANCE RESIDENTIAL UNIT FROM CHUTE INTAKE VESTIBULE: 283'-0".
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ELEVATOR WITH 96 GAL CARTS
STREET LEVEL



- LEGEND:**
- RESIDENTIAL UNITS EXCEEDING 150'-0" FROM TRASH ROOM SHOWN AS:
 - RESIDENTIAL PATH OF TRAVEL TO CHUTE INTAKE VESTIBULE SHOWN AS:

PATH OF TRAVEL PLAN
FROM REMOTE RESIDENTIAL COLLECTION ROOM TO ELEVATOR

SCALE: 3/4" = 1'-0"

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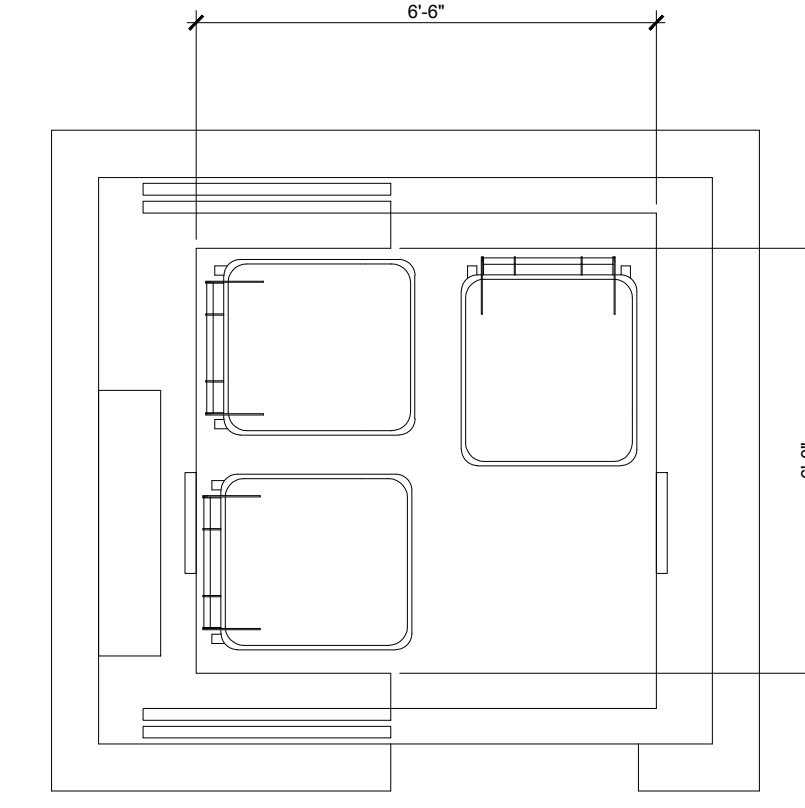
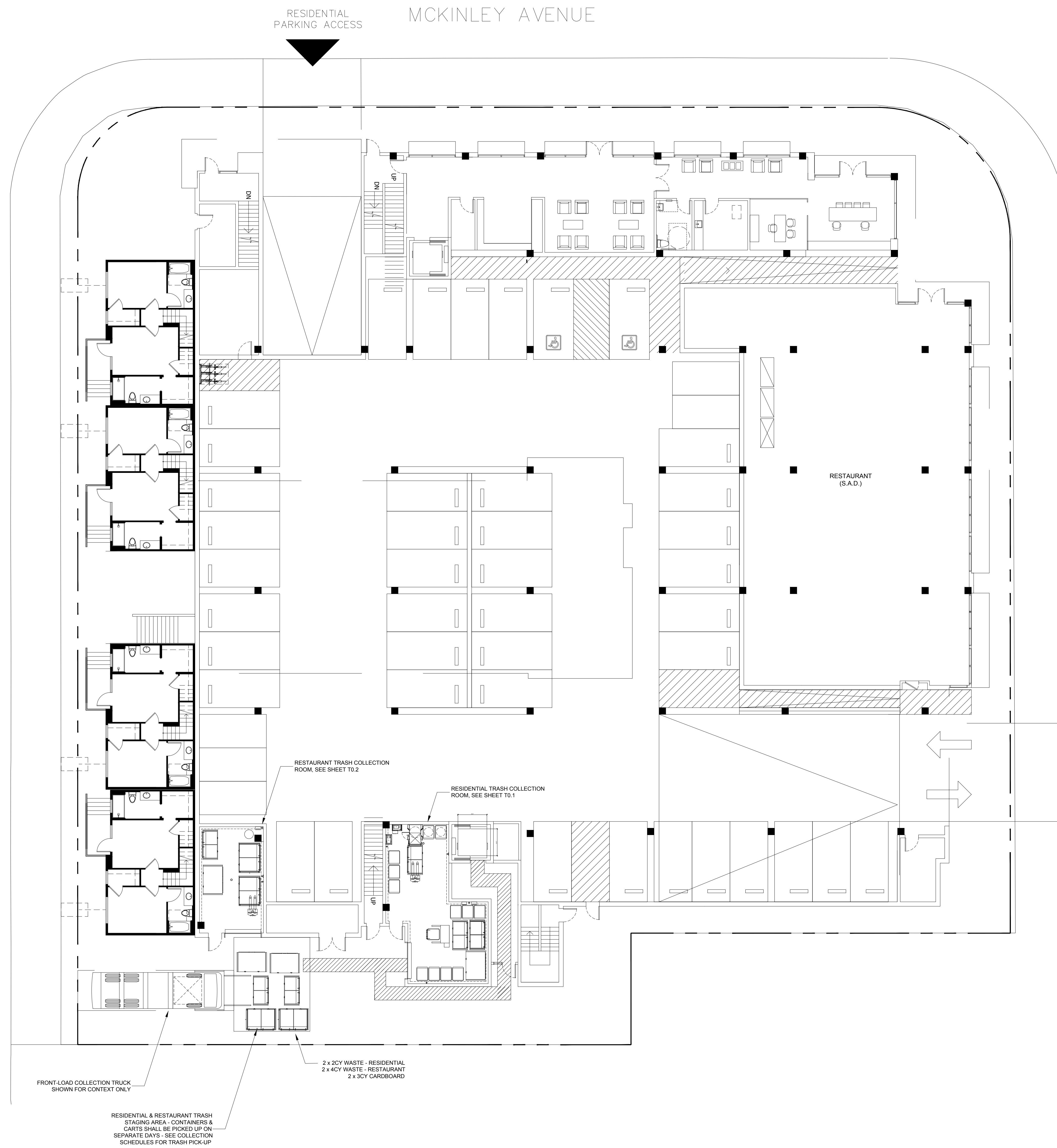
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Sheet Title:
PATH OF TRAVEL PLAN
UPPER LEVEL

Job No. 16044
Date: 03/16/2018
Scale: AS INDICATED

Sheet No.:

T1.2



ELEVATOR WITH 96 GAL CARTS
STREET LEVEL

S MATHILDA AVENUE

RESTAURANT
PARKING ACCESS

CHARLES AVENUE

RESIDENTIAL
PARKING ACCESS
MCKINLEY AVENUE

FRONT-LOAD COLLECTION TRUCK
SHOWN FOR CONTEXT ONLY

RESIDENTIAL & RESTAURANT TRASH
STAGING AREA - CONTAINERS &
CARTS SHALL BE PICKED UP ON
SEPARATE DAYS - SEE COLLECTION
SCHEDULES FOR TRASH PICK-UP

2 x 2CY WASTE - RESIDENTIAL
2 x 4CY WASTE - RESTAURANT
2 x 3CY CARDBOARD

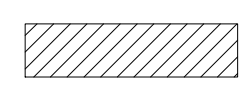
RESTAURANT TRASH COLLECTION
ROOM. SEE SHEET T0.2

RESIDENTIAL TRASH COLLECTION
ROOM. SEE SHEET T0.1

RESTAURANT
(S.A.D.)

96 GAL CART MOVEMENT PATH FROM ELEVATOR TO CENTRAL TRASH ROOM
STREET LEVEL

LEGEND:
1. REMOTE TRASH ROOM PATH OF
TRAVEL TO CENTRAL TRASH ROOM.



SCALE: 3/32" = 1'-0"

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Description	Date
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PLAN CHECK RESPONSE	03/16/2018

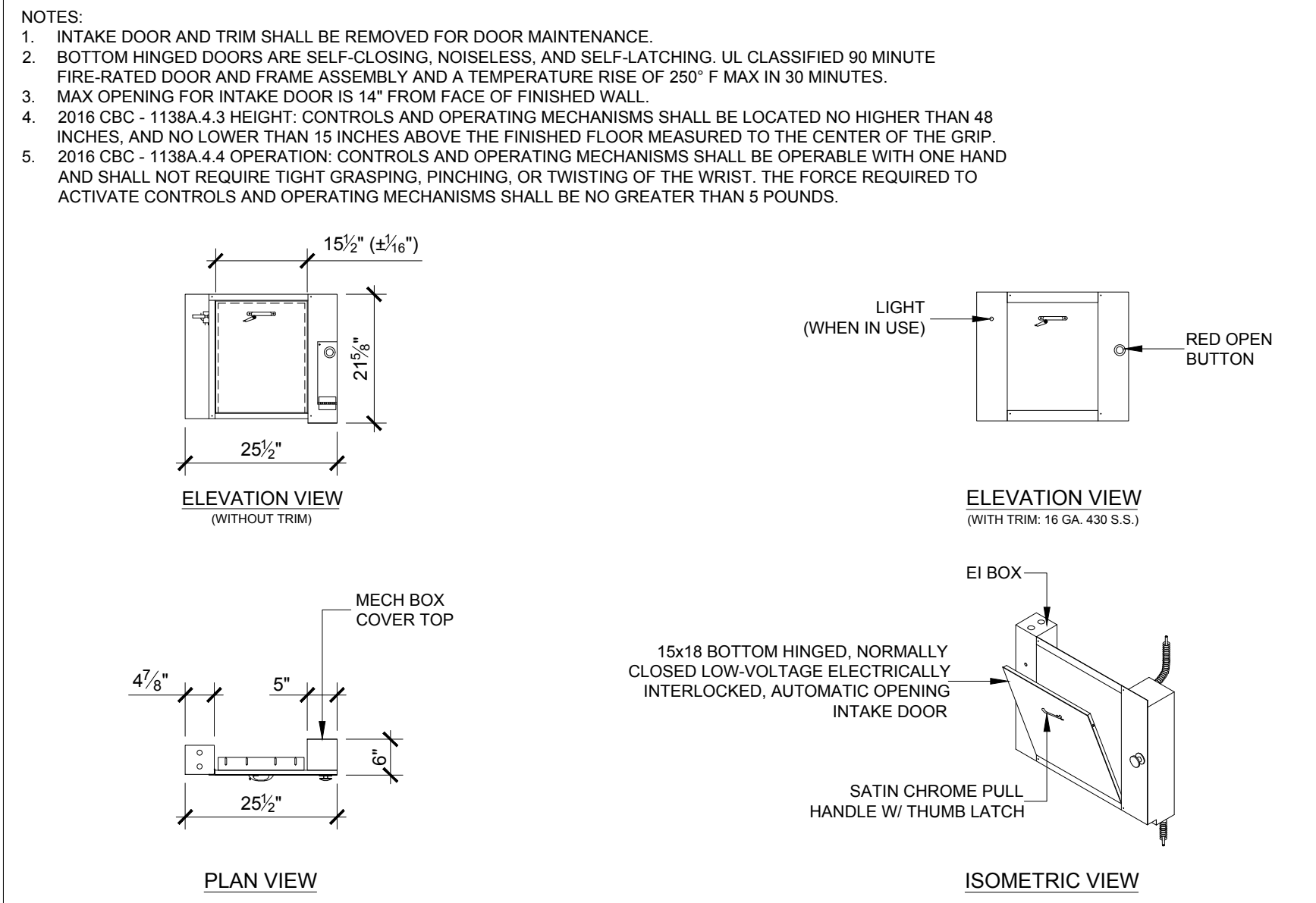
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TRASH MANAGEMENT**
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Sheet Title:
**PATH OF TRAVEL
PLAN**
ELEVATOR TO CENTRAL
TRASH ROOM

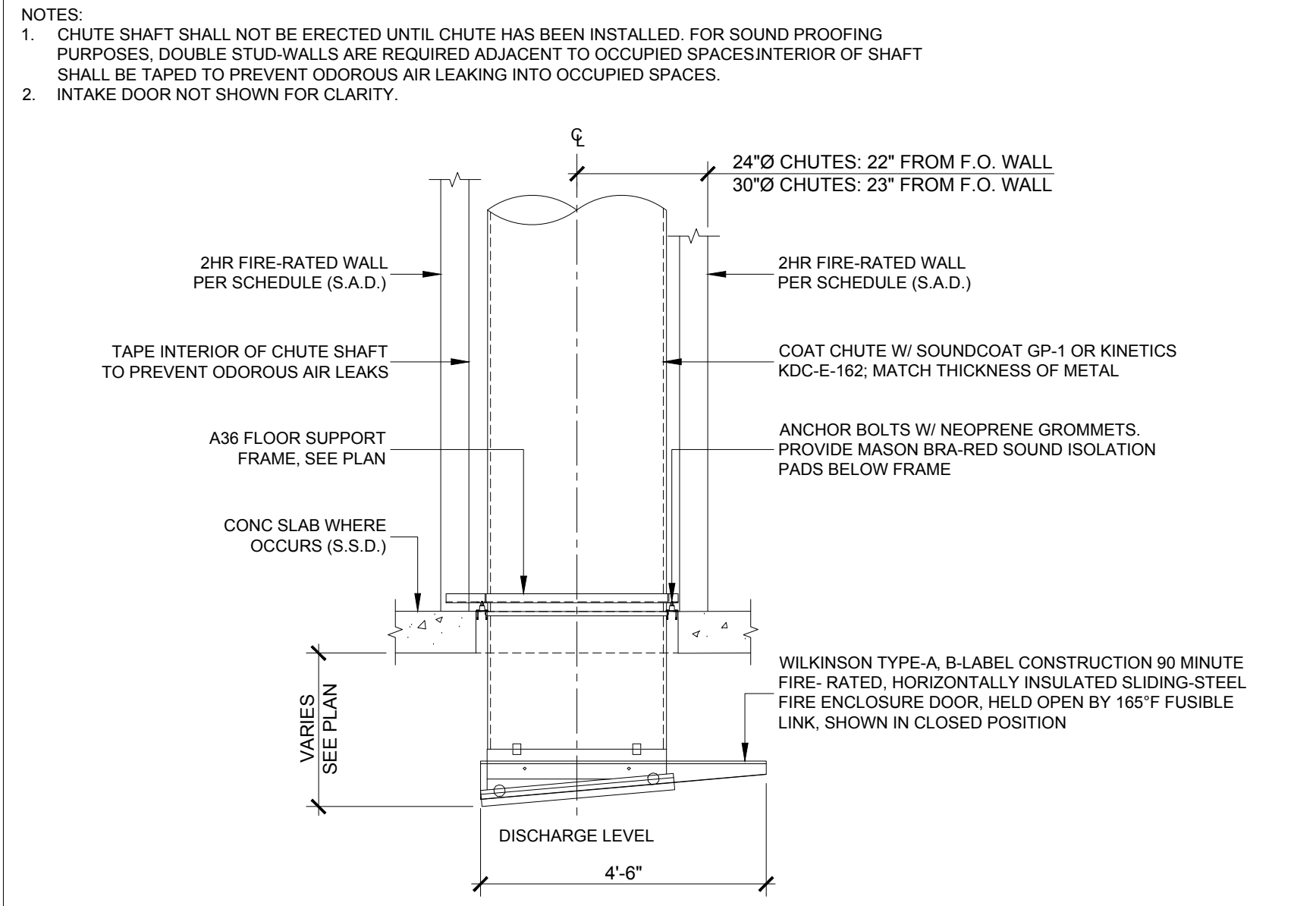
Job No. 16044
Date: 03/16/2018
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Sheet No:

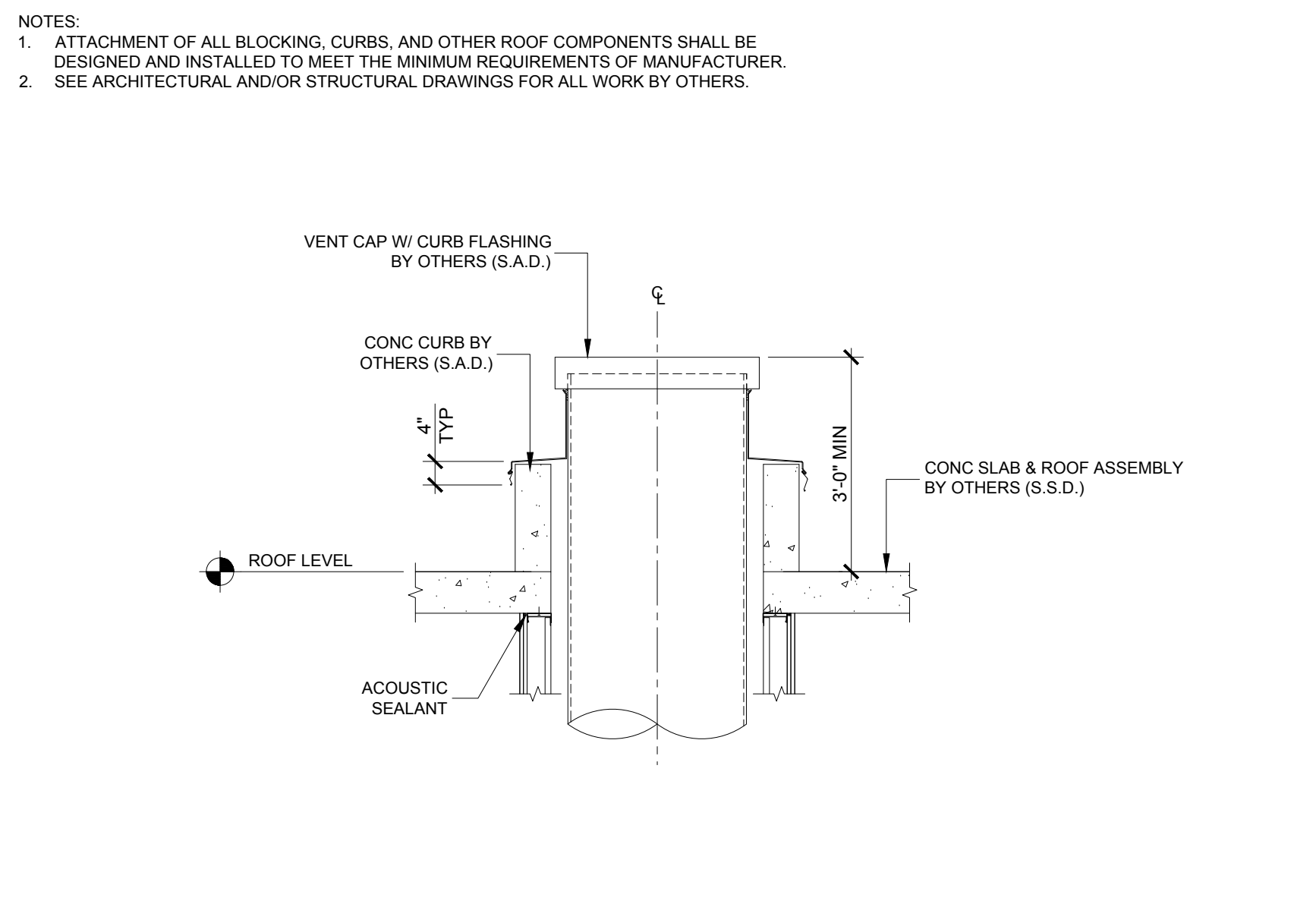
T1.4



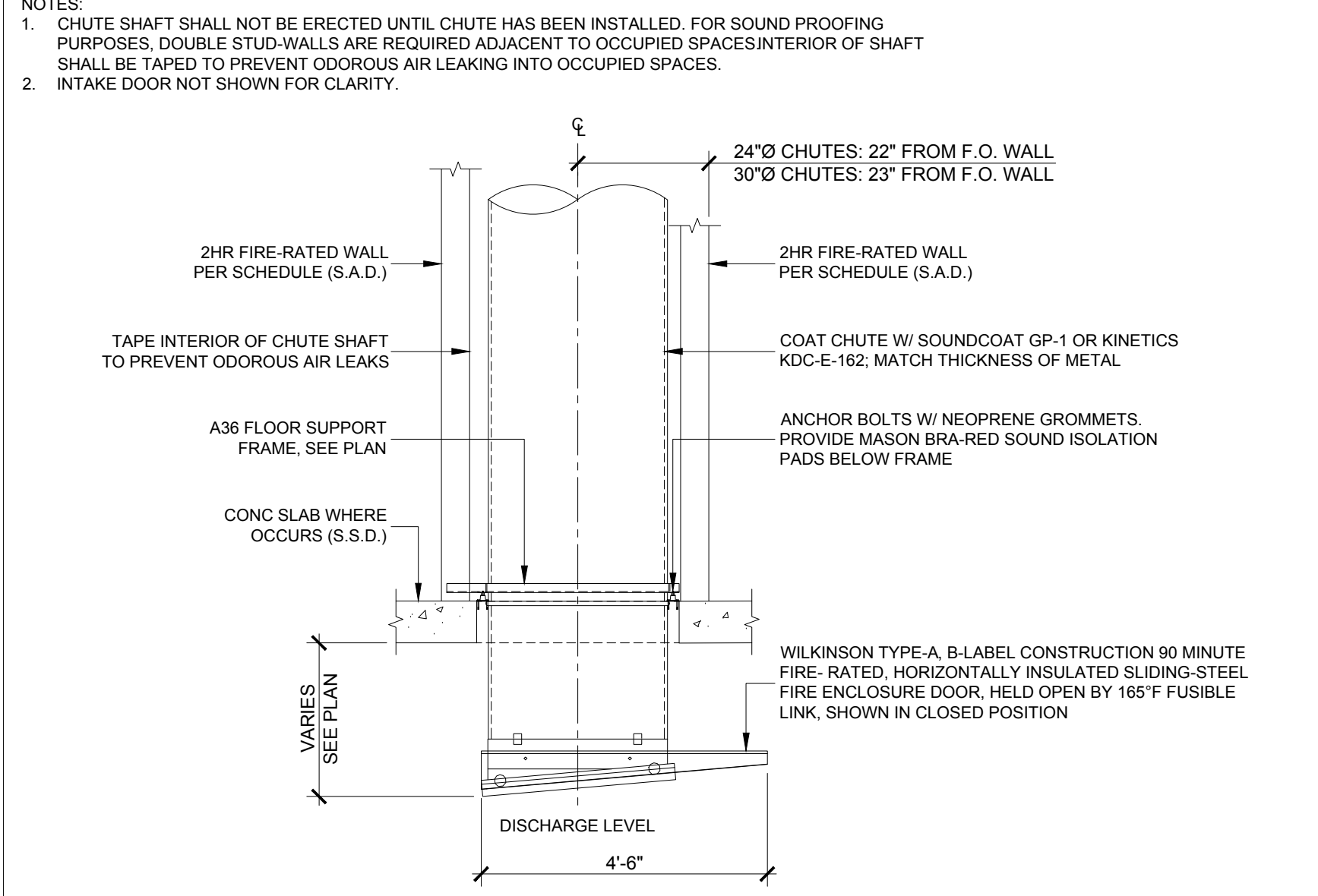
1 CHUTE INTAKE DOOR
PODIUM - LEVEL 5
SCALE: 1/2" = 1'-0"



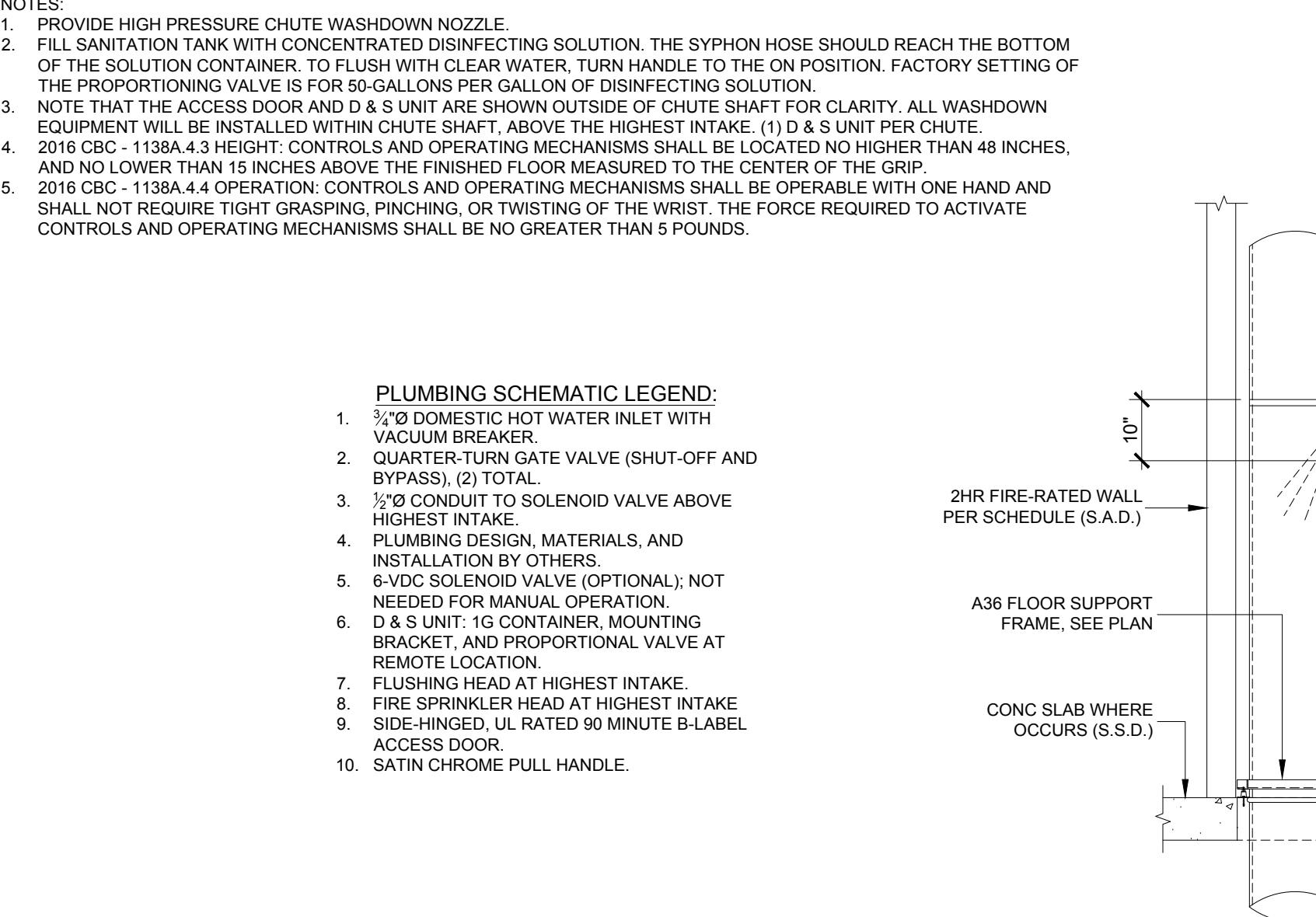
2 CHUTE SHAFT ANCHORING
TYP RESIDENTIAL LEVEL
SCALE: 1/2" = 1'-0"



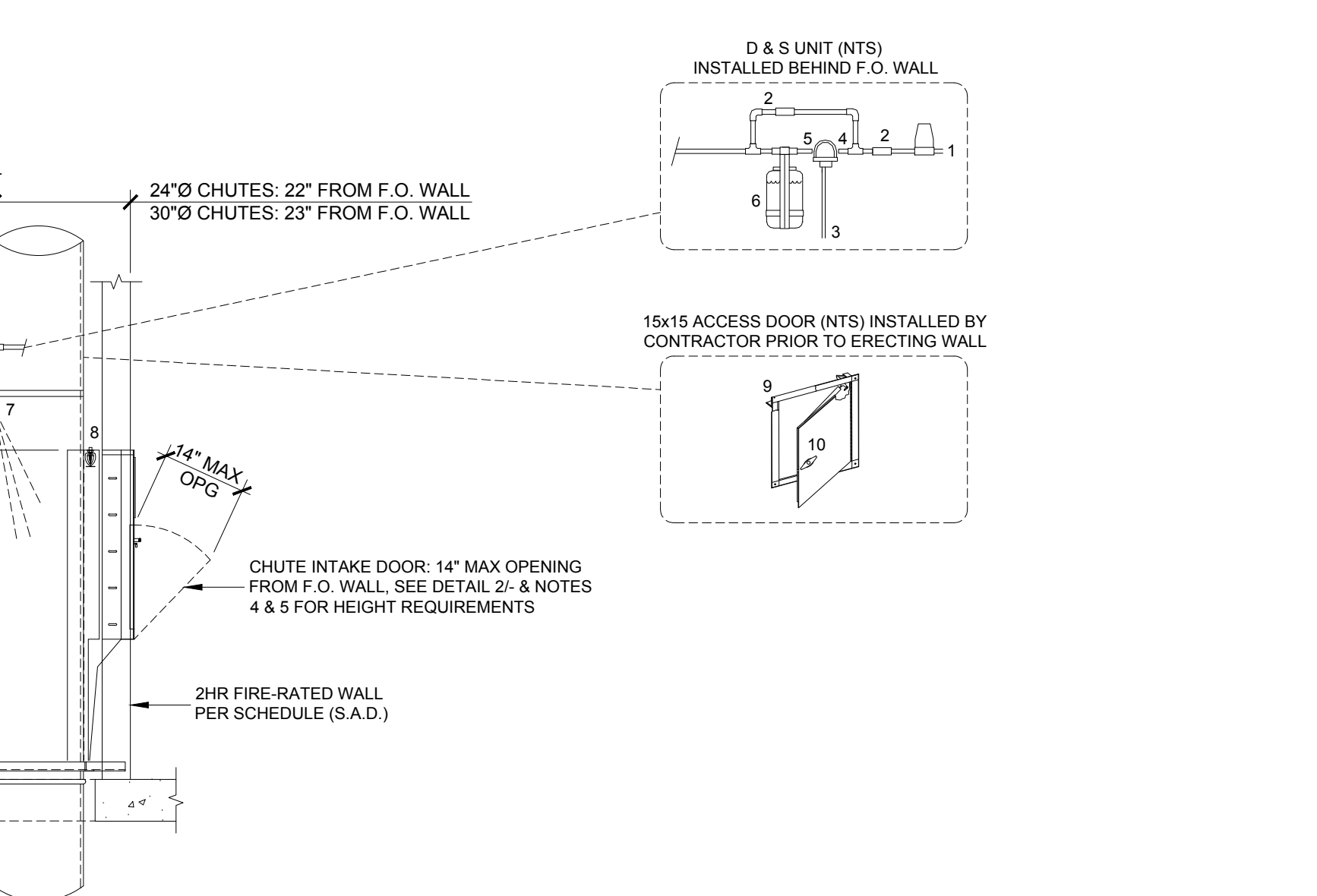
3 CHUTE VENT
AT ROOF LEVEL
SCALE: 1'-0" = 1'-0"



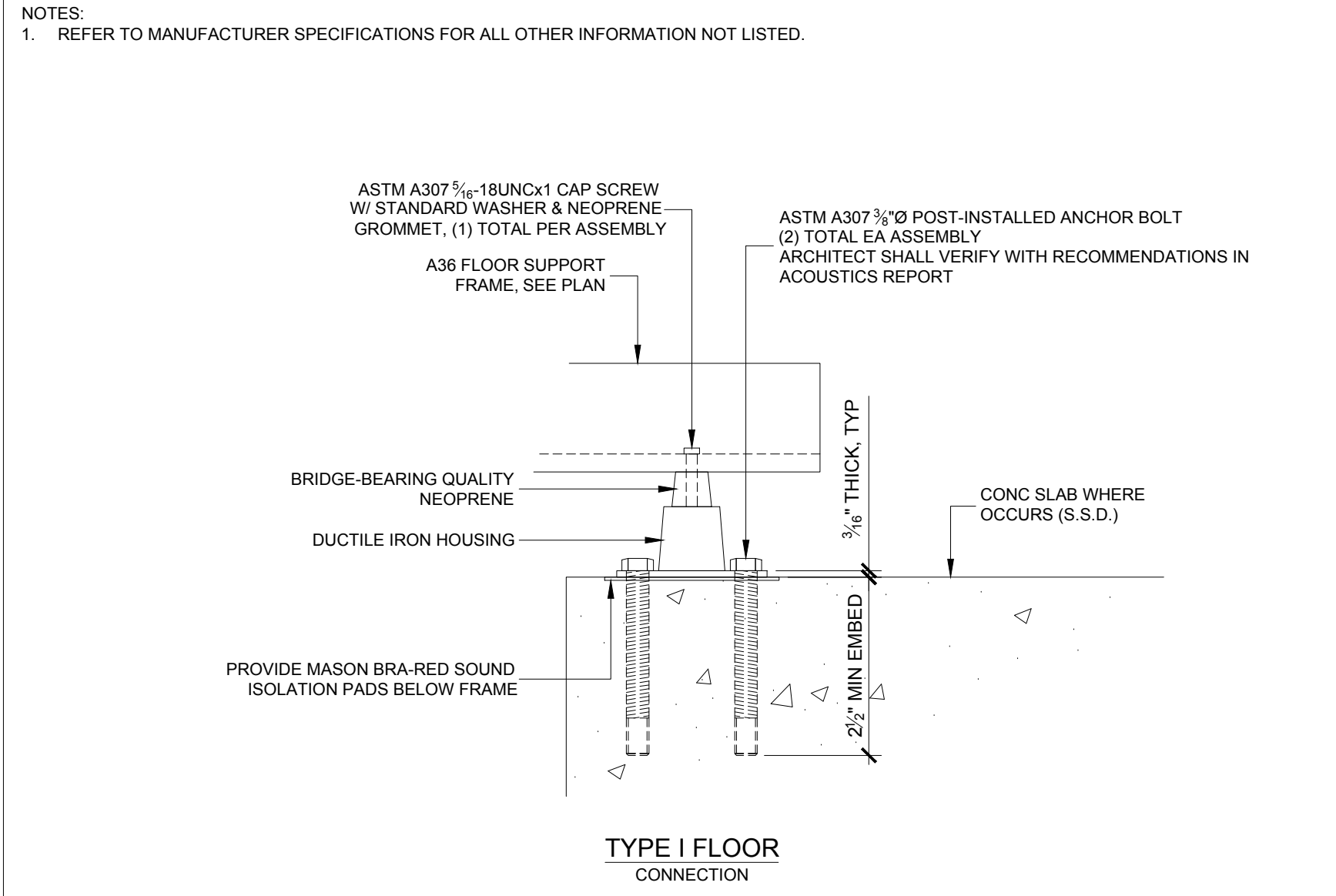
5 CHUTE AIR AND SOUND ISOLATION
SCALE: 1/2" = 1'-0"



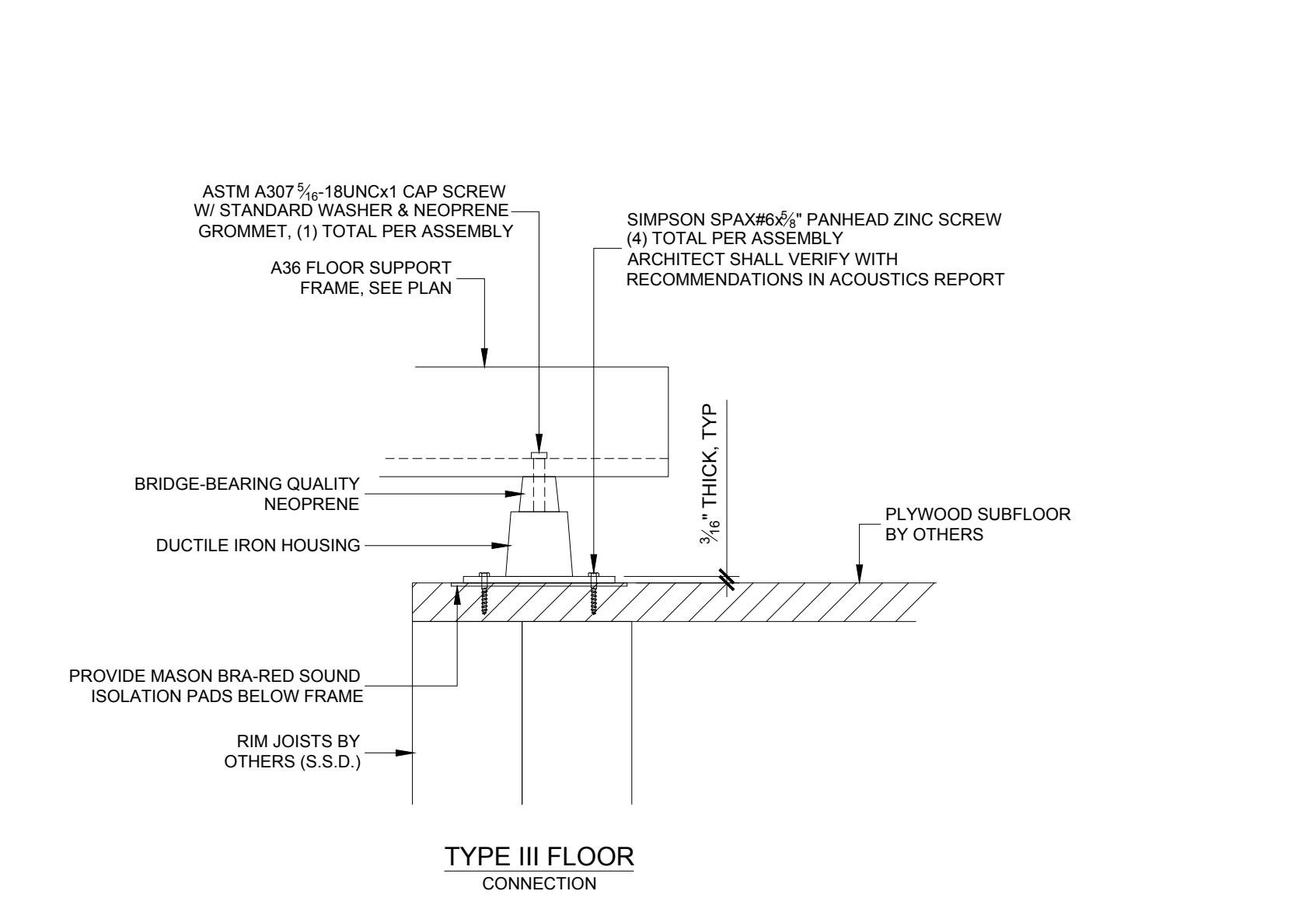
6 TRASH SANITATION UNIT
AT HIGHEST INTAKE
SCALE: 1/2" = 1'-0"



8
SCALE: 1/2" = 1'-0"



9 FLOOR SUPPORT FRAME ANCHORING
SECTION VIEWS
SCALE: 1/2" = 1'-0"



SHEET NOTES: 24"Ø AND 30"Ø CHUTE DETAILS

- CHUTE MATERIAL: GALVANIZED STEEL
- ALL WALL ASSEMBLIES ENCASE THE CHUTE SHAFT SHALL BE 2HR FIRE-RATED.
- SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS TO VERIFY ALL INFORMATION NOT RELATED TO ATM'S SCOPE OF WORK PER AGREEMENT.
- POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

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Sheet Title:

CHUTE DETAILS
24"Ø AND 30"Ø

Job No. 16044
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T2.0