

# 1215 BORDEAUX DR

SB330 RESUBMITTAL #3



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**PROJECT TEAM**

**APPLICANT**

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**ARBORIST**

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**CIVIL ENGINEER**

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**LIGHTING CONSULTANT**

**Niteo Lighting**  
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1215 BORDEAUX DR - PROJECT DATA

OVERALL SUMMARY*			
Gross Lot Area	86,038 sf (1.975 ac)	Short-Term Bike Parking	28 spaces
Neighborhood Park Area	13,980 sf (0.321 ac)	Long-Term Bike Parking	268 spaces
Easements/Dedications	11,483 sf (0.264 ac)	Traditional Parking Stalls	5 spaces
Net Lot Area**	60,575 sf (1.391 ac)	Mechanical Parking Stalls	212 spaces
Residential Units	265 du	Total Residential parking	217 spaces
Gross Project Density	134.2 du/ac	Total Parking Ratio	0.82 spaces/du
Average Unit Size	722 sf	Total Amenity	8,235 sf

\* Building Development Standards reference City of Sunnyvale Municipal Code Zoning Standards.

\*\* As per MPSP, Net Lot Area excludes publicly accessible open spaces and complete street easements & dedications from Gross

BUILDING SUMMARY														
Construction Type: 5 Stories of Type IIIA over 3 Stories of Type IA														
Occupancy Groups: R-2 (Residential), A-3 (Assembly), S-1 (Storage/Utility Rooms), S-2 (Garage)														
Unit Type	Description	NRSF	Levels								Total Count	Total per Unit Type	Unit Mix	Total NRSF
			Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Level 8				
P0-1	Studio / 1ba	478 sf	0	0	8	10	10	10	10	10	58	64	24%	27,724 sf
P0-2	Studio / 1ba	475 sf	0	0	1	1	1	1	1	1	6			2,850 sf
P1-0	1bd / 1ba	718 sf	0	0	14	15	15	15	15	15	89	160	60%	63,902 sf
P1-1	1bd / 1ba	766 sf	0	0	2	2	2	2	2	2	12			9,192 sf
P1-2	1bd / 1ba	826 sf	0	0	1	1	1	1	1	1	6			4,956 sf
P1-3	1bd / 1ba	699 sf	0	0	2	2	2	2	2	2	12			8,388 sf
P1-4	1bd / 1ba	759 sf	0	0	2	2	2	2	2	2	12			9,108 sf
P1-5	1bd / 1ba	817 sf	0	0	1	1	1	1	1	1	6			4,902 sf
P1-6	1bd / 1ba	757 sf	0	0	1	1	1	1	1	1	6			4,542 sf
P1-7	1bd / 1ba	754 sf	0	0	0	1	1	1	1	1	5			3,770 sf
P1-8	1bd / 1ba	700 sf	0	0	2	2	2	2	2	2	12	8,400 sf		
P2-0	2bd / 2ba	1,003 sf	0	0	3	3	3	3	3	3	17	41	16%	17,051 sf
P2-1	2bd / 2ba	1,109 sf	0	0	1	1	1	1	1	1	6			6,654 sf
P2-2	2bd / 2ba	1,135 sf	0	0	1	1	1	1	1	1	6			6,810 sf
P2-3	2bd / 2ba	1,129 sf	0	0	0	1	1	1	1	1	5			5,645 sf
P2-4	2bd / 2ba	978 sf	0	0	1	0	0	0	0	0	1			978 sf
P2-5	2bd / 2ba	1,077 sf	0	0	1	1	1	1	1	1	6			6,462 sf
<b>Totals</b>			<b>0</b>	<b>0</b>	<b>41</b>	<b>45</b>	<b>45</b>	<b>45</b>	<b>45</b>	<b>44</b>	<b>265</b>	<b>265</b>	<b>100%</b>	<b>191,334 sf</b>
<b>Average Unit Size 722 sf</b>														

VEHICLE PARKING SUMMARY			
VEHICLE PARKING PROVIDED			
Location	Traditional	Mechanical	Totals
Level 1	5 spaces	212 spaces	217 spaces
<b>Totals</b>	<b>5 spaces</b>	<b>212 spaces</b>	<b>217 spaces</b>
<b>Parking Ratio</b>	<b>0.82 spaces/du</b>		

BIKE PARKING SUMMARY*	
SHORT-TERM BIKE PARKING REQUIRED	
Zoning Standard	Required
1 space per 10 units	27 spaces
<b>Total Parking Provided</b>	<b>28 spaces</b>
LONG-TERM BIKE PARKING REQUIRED	
Zoning Standard	Required
1 space per 1 unit	265 spaces
<b>Total Parking Provided**</b>	<b>268 spaces</b>

\* Bike Parking Standards reference City of Sunnyvale

Moffet Park Specific Plan.

\*\* Includes 14 spaces for oversized/cargo bikes.

BUILDING MASS COVERAGE AND PAVING AREA SUMMARY	
REQUIRED/PERMITTED	
Net Lot Area	1.391 ac (60,575 sf)
Building Mass Coverage	Max. 70% (42,403 sf)
Paving Area	Max. 15% (9,086 sf)
PROVIDED	
Building Mass Coverage	67.3% (40,775 sf)
Paving Area	1.5% (893 sf)

AMENITY SUMMARY		
Location	Area	
Level 1 Amenity	5,990 sf	
Level 1 Pet Wash	370 sf	
Level 3 Amenity	1,335 sf	
Level 8 Amenity	540 sf	
<b>Total Amenity Provided</b>	<b>8,235 sf</b>	

USABLE OPEN SPACE SUMMARY	
USABLE OPEN SPACE REQUIRED	
Standard	Required
Min. 50 sf per unit	13,250 sf
<b>Total Usable Open Space Required</b>	<b>13,250 sf</b>

USABLE OPEN SPACE PROVIDED		
Levels	Common Open Space	Private Open Space
Level 1	3,145 sf	0 sf
Level 2	0 sf	0 sf
Level 3	13,020 sf	1,413 sf
Level 4	0 sf	2,116 sf
Level 5	0 sf	2,116 sf
Level 6	0 sf	2,116 sf
Level 7	0 sf	2,116 sf
Level 8	360 sf	2,061 sf
Sub-Totals	16,525 sf	11,938 sf
<b>Total Common Open Space Provided</b>	<b>16,525 sf</b>	
<b>Total Private Open Space Provided</b>		<b>11,938 sf</b>
<b>Total Usable Open Space Provided</b>	<b>28,463 sf</b>	

PUBLICLY ACCESSIBLE OPEN SPACE (PAOS) PROVIDED	
Location	Provided
Level 1 Park*	13,980 sf
<b>Total PAOS Provided</b>	<b>13,980 sf</b>

\* Level 1 Park refers to Bordeaux Neighborhood Park.

LANDSCAPE AREA SUMMARY	
LANDSCAPE AREA REQUIRED	
Location	Required
Min. 20% of net lot area	12,115 sf
<b>Total Landscape Area Req'd.</b>	<b>12,115 sf</b>

LANDSCAPE AREA PROVIDED	
Location	Provided
Level 1 Park	8,800 sf
Level 1 Entry Plaza	1,380 sf
Level 3 Courtyards	6,760 sf
<b>Total Landscape Area Provd.</b>	<b>16,940 sf</b>
<b>Percentage of Lot Area</b>	<b>28%</b>

RESIDENTIAL GROSS SQUARE FOOTAGE* CALCULATIONS - Sunnyvale Municipal Code							
Building Type	Garage Floor Area	Residential Floor Area	Total Building Floor Area	Total No. of Buildings	Total Residential Gross Floor Area	Total Non-Residential Gross Floor Area	Total Gross Square Footage of Construction
Multi-Family Building	39,712 gsf	257,586 gsf	297,298 gsf	1	297,298 gsf	0 gsf	297,298 gsf

\*Per Sunnyvale Municipal Code - Ch. § 19.12.080 Definitions, (13) "Gross floor area", (b) Commercial, Industrial, Multifamily and Other Uses

The sum of the areas computed from the outside dimensions of a building, including corridors, supporting columns and unsupported wall projections (except for: eaves, uncovered balconies, uncovered porches, covered porches on the ground floor, uncovered stairways, fire escapes, landing places, fireplaces, and similar architectural features) for each floor including mezzanine floors and enclosed and unenclosed roofed patios where the roof is more than fifty percent solid.

RESIDENTIAL GROSS SQUARE FOOTAGE* CALCULATIONS - CBC Code							
Building Type	Garage Floor Area	Residential Floor Area	Total Building Floor Area	Total No. of Buildings	Total Residential Gross Floor Area	Total Non-Residential Gross Floor Area	Total Gross Square Footage of Construction
Multi-Family Building	39,712 gsf	247,709 gsf	287,421 gsf	1	287,421 gsf	0 gsf	287,421 gsf

\*Per California Building Code - Ch. 2 Definitions - Area, Building

The area included within surrounding exterior walls, or exterior walls and fire walls, exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

ZONING CODE INFORMATION	
<b>SITE INFORMATION</b>	
Address	1215 Bordeaux Drive
APN	110-25-017
Parcel Area	86,031 sq. ft. / 1.975 acres
Specific Plan Area	Moffett Park Specific Plan: MP-R (Residential)
<b>ENVIRONMENTAL CONSIDERATIONS</b>	
Historic Resources	None are known to exist
Cultural Resources	None are known to exist
Flood Zone	X (Area of 500-year flood; area of 100-year flood with avg depths <1ft)

PROJECT DEVELOPMENT DATA				
	PERMITTED / REQUIRED	BASE PROJECT	PROPOSED PROJECT	NOTES
<b>DENSITY</b>				
Minimum	70 du/ac	-	± 134.2 du/ac	
Maximum	None	-	-	
<b>BUILDING / PARCEL INFO</b>				
Building Footprint	-	-	± 50,911 sf (Ground Floor) ± 40,758 sf (Podium Level)	
Building Mass Coverage	70% Max Net Parcel Area (66,268 sq.ft.)	-	± 67.3% (40,775 sq.ft. building footprint at podium level less than 35ft height)	
Paving Area	15% Max Net Parcel Area (66,268 sq.ft.)	-	± 1.5% (893 sq.ft.)	
Landscape Area	20% Min. (12,115 sq.ft.)	-	± 28% (16,490 sq.ft.)	
Block Size	400 ft length max 1400 ft perimeter max	-	± 386' Block Length ± 1,200' Block Perimeter	
F.A.R.	None	-	-	
Publicly-Accessible Open Space	80 ft Easement (Bordeaux Neighborhood Park)	-	70 ft Easement to face of building w/ building encroachments with min 12ft clearance	<b>DENSITY BONUS WAIVER REQUESTED</b>
<b>AREAS</b>				
Total Residential Gross Floor Area	-	± 572,000 sf	297,275 sf	Per City of Sunnyvale Municipal Code Definition
Usable Open Space (Private + Common Open Space)	50 sf/du	Required = 13,250 sf Provided = 13,250 sf	Required = 13,250 sf Provided = ± 28,463 sf	
Common Open Space Standards	Min 20ft width Min 60% open to sky Min 20% landscaped	-	Min 20ft width Min 60% open to sky ± 16,940 sq.ft. landscaping (28%)	
Partially Enclosed Interior Courtyards	80% of highest height of adj. façade or 55ft, whichever is less	-	North Courtyard: ± 44ft South Courtyard: ± 54.5ft	<b>DENSITY BONUS WAIVER REQUESTED</b>
Green Roof	20% 5,000 - 14,999 sf (Net Roof Area)	-	-	<b>DENSITY BONUS WAIVER REQUESTED</b>
Residential Storage	Min 125 cu.ft / unit Min. width 3ft	-	-	<b>DENSITY BONUS WAIVER REQUESTED</b>
<b>HEIGHT</b>				
Number of Stories	-	16	8	
Max. Building Height	160 ft Max	160 ft	± 84.75 ft to Roof Shlg per CBC Definition ± 91ft to Parapet from top of curb closest to main bldg Per Zoning Definition	
<b>SETBACKS</b>				
Ground Floor Storefront	Min. 0ft - Max. 15ft 80% of bldg. frontage within min/max	Min. 0ft - Max. 15ft 80% of bldg. frontage within min/max	Min. 5'-0" - Max. 15'-9" 81% of bldg. frontage is within 0 - 15 ft	
Ground Floor (Other Uses)	Min. 18 ft - Max. 25 ft 60% of bldg. frontage within min/max	Min. 18 ft - Max. 25 ft 60% of bldg. frontage within min/max	Min. 5'-0" (at 5th Avenue) 0'-0" (at Bordeaux Neighborhood Park)	
Ground Floor Rear	0 ft	0ft	See Publicly-Accessible Open Space	<b>DENSITY BONUS WAIVER REQUESTED</b>
Ground Floor Side	0 ft	0ft	9'-10" to 10'-7"	
Upper-Story Residential	North: 10 ft from PAOS South: 18 ft East: 18 ft West: 10 ft	-	North: Setback encroachment of 2 ft, max projection of 8 ft at balconies South: Min. 5 ft East: Min. 5 ft West: Min. 10 ft	

PROJECT DEVELOPMENT DATA (continued)				
	PERMITTED / REQUIRED	BASE PROJECT	PROPOSED PROJECT	NOTES
<b>UNITS</b>				
Residential Density	No Max	± 220 du/ac	± 134.2 du/ac	
Total Unit Count	-	± 435 du	± 265 du	
BMR Unit Count	-	± 66 du	± 40 du	
Average Unit Size	-	± 722 nrsf	± 722 nrsf	
<b>PARKING</b>				
Residential Car Parking	Max 1.0 (At Plan Adoption) Max 0.75 (At Full Build Out)	0 spaces	217 spaces (± 0.82 spaces/unit)	
EV Parking	Unbundled 30% Lvl 2 EV Ready 30% Level 1 EV Ready	-	2025 CalGreen Residential Mandatory Measure EV Parking compliant	<b>DENSITY BONUS CONCESSION APPLIED</b>
Off-Street Loading	(1) Type A Required (1) Type C Required	(1) Type A (1) Type C	(1) Timed (Striped) Loading/Trash Service Zone along 5th Avenue - 10ft W x 70ft L (1) Type C within residential garage	<b>DENSITY BONUS WAIVER REQUESTED</b>
Bike Parking (Long-Term Residential)	1 space / unit	Required = 580 spaces	Required = 265 spaces Provided = 268 spaces	
Bike Parking (Short-Term Residential)	1 space / 10 units	Required = 58 spaces	Required = 27 spaces Provided = 28 spaces	
Lockers	75% of total long-term spaces provided	Required = 435 lockers	Required = 201 lockers Provided = 0 lockers	<b>DENSITY BONUS WAIVER REQUESTED</b>
<b>BUILDING MASSING</b>				
Building Length	380ft Max Length	-	± 298'-6"	
Façade Modulation Major Break	(2) major breaks for façades > 250ft 20'x10' & 20'x20'	-	1 major break provided on the Western elevation (8 ft deep x 34.5ft wide) Height: From top of double-height ground level up to roof plane	<b>DENSITY BONUS WAIVER REQUESTED</b>
Minor Break	Max 150 ft length min. 2ft deep x 4ft wide	-	1 minor break provided on the Northern elevation (1 ft deep x 8 ft wide) Height: From top of double-height ground level up to roof plane	<b>DENSITY BONUS WAIVER REQUESTED</b>
Façade Articulation	Facades > 150ft (2) distinct façade compositions	-	(2) distinct façade compositions for North and West elevations	
<b>UTILITIES</b>				
Transformer Placement	Building interior or below-grade	-	Building Interior and/or Below-grade	
<b>GROUND FLOOR DESIGN</b>				
Active Vertical Circulation	Building lobbies for primary entries shall include direct access to a stairwell	-	Compliant	
Storefront Design Floor-to-floor Height	Min 15ft Floor-to-Floor Min 12ft clear floor-to-ceiling	-	± 20ft floor-to-floor ± Min 12ft clear floor-to-ceiling	
Transparent Glazing	Min. 60% transparent glazing between 1.5 - 7.5 ft in height	-	Total ± 241'-5" Storefront Length (along Bordeaux frontage, North Amenity frontage and South Entry Plaza frontage) ± 162'-9" is transparent glazing (67.4%) ± 78'-8" is translucent glazing (32.6%)	<b>DENSITY BONUS WAIVER REQUESTED</b>
Fenestration	Ground floor storefronts to have min. 40% façade area fenestrated	-	± 162'-9" out of ± 353'-0" of total façade length is fenestrated (46%)	
Weather Protection	Min. 6 ft wide by 4 ft deep (by recessing the entry, providing an awning, or a combination)	-	4 ft deep awnings provided at entries	

**CALGREEN RESIDENTIAL MANDATORY CHECKLIST**  
THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2023

Following is a standardized checklist of the 2022 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference
<b>4.1 Planning and Design</b>		
4.106.2	<b>Storm Water Drainage and Retention during construction.</b> A plan is developed and implemented to manage storm water drainage during construction.	Sheet: Noted
4.106.3	<b>Grading and paving.</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings.	Sheet: Noted
4.106.4.1	<b>New one- and two-family dwellings and townhouses with attached private garages.</b>	Sheet: N/A
	<ol style="list-style-type: none"> <li>In private garages with two or more parking spaces, install a Level 2 EV Ready Space and Level 1 EV Ready Space.</li> <li>In private garages with only one parking space, install a Level 2 EV Ready Space.</li> <li>In each carport space assigned to a dwelling unit, install a Level 2 EV Ready Space.</li> <li>For parking spaces not assigned to a dwelling unit:                             <ol style="list-style-type: none"> <li>30% of the unassigned parking space(s) shall be provided with at least one Level 2 EV Ready Space. Calculations for the required minimum number of Level 2 EV Ready spaces shall be rounded up to the nearest whole number.</li> <li>In addition, each remaining unassigned parking space(s) shall be provided with at least a Level 1 EV Ready Space.</li> </ol> </li> </ol>	
4.106.4.1.1	<b>Identification.</b> The raceway termination location shall be permanently and visibly marked as "Level 2 EV Ready".	
4.106.4.2	<b>New multifamily dwellings.</b> The following requirements apply to all new multifamily dwellings: <ol style="list-style-type: none"> <li>30% of the dwelling units with parking space(s) shall be provided with at least one Level 2 EV Ready Space. Calculations for the required minimum number of Level 2 EV Ready spaces shall be rounded up to the nearest whole number.</li> <li>In addition, each remaining dwelling unit with parking space(s) shall be provided with at least a Level 1 EV Ready Space.</li> </ol>	Sheet: Compliant See Sheet AD 14 Parking and Circulation Level 1 Plan
<b>Notes:</b> <ol style="list-style-type: none"> <li>ALMS may be installed to decrease electrical service and transformer costs associated with EV Charging Equipment subject to review of the authority having jurisdiction.</li> <li>Installation of Level 2 EV Ready Spaces above the minimum number required level may offset the minimum number Level 1 EV Ready Spaces required on a 1:1 basis.</li> <li>The requirements apply to multifamily buildings with parking spaces including: a) assigned or leased to individual dwelling units, and b) unassigned residential parking.</li> <li>If a building permit applicant provides documentation detailing that the increased cost of utility service or on-site transformer capacity would exceed an average of \$4,500 for each parking space, the applicant shall provide documentation detailing that the increased cost of utility service or on-site transformer capacity would exceed an average of \$4,500 for each parking space.</li> </ol>		

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444  
Building and Planning hours are 8 a.m. - 12:30 p.m. and 1 - 5 p.m.  
Sunnyvale.ca.gov

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<b>4.2 Energy Efficiency</b>		
4.201.1	<b>Scope</b> Compliance with the California Energy Commission mandatory standards.	Sheet: Noted
<b>4.3 Water Efficiency and Conservation</b>		
4.303.1.1	<b>Water Closets.</b> Effective flush volume of all water closets shall not exceed 1.28 gallons per flush.	Sheet: Noted
4.303.1.2	<b>Urinals.</b> The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.	Sheet: Noted
4.303.1.3	<b>Showerheads.</b> Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all shower heads shall not exceed 1.8 gallons per minute at 80 psi.	Sheet: Noted
4.303.1.4	<b>Faucets.</b> Residential lavatory faucets shall not exceed 1.2 gpm at 60 psi. Lavatory faucets in common and public use areas in residential buildings shall not exceed 0.5 gpm at 60 psi. Metering faucets installed in residential buildings shall not deliver more than 0.2 gallons per cycle. Kitchen faucets shall not exceed 1.8 gpm at 60 psi.	Sheet: Noted
4.303.2	<b>Submeters for multifamily building and dwelling units in mixed-use residential/commercial buildings.</b> Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.	Sheet: Noted
4.303.3	<b>Standards for plumbing fixtures and fittings.</b> Plumbing fixtures and fittings shall be installed per the California Plumbing Code.	Sheet: Noted
4.304.1	<b>Outdoor potable water use in landscape areas.</b> Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO).	Sheet: Noted
4.305.1	<b>Recycled water supply systems.</b> Newly constructed residential developments, where recycled water is available from a municipal source may be required to have recycled water supply systems installed.	Sheet: Noted
<b>4.4 Material Conservation and Resource Efficiency</b>		
4.406.1	<b>Rodent Proofing.</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents.	Sheet: Noted
4.408	<b>Construction waste management.</b> Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste. The City of Sunnyvale requires the use of Green Halo, the Construction and Demolition Waste Management Plan (CDWMP) waste-tracking program to document and monitor compliance.	Sheet: Noted
4.410.1	<b>Operation and maintenance manual.</b> An operation and maintenance manual shall be provided to the building occupant or owner.	Sheet: Noted
4.410.2	<b>Recycling by occupants.</b> Where 5 or more multifamily dwelling units are constructed on a building site, readily accessible areas shall be identified for the collection of recycling.	Sheet: Noted
<b>4.5 Environmental Quality</b>		
4.503.1	<b>Fireplaces.</b> Any installed wood stove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limit.	Sheet: N/A
4.504.1	<b>Covering of duct openings and protection of mechanical equipment during construction.</b> Duct openings and other related air distribution component openings shall be covered during construction.	Sheet: Noted

Page 3 of 5

702.2 <b>Special Inspection.</b> Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	Noted
703.1 <b>Documentation.</b> Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	

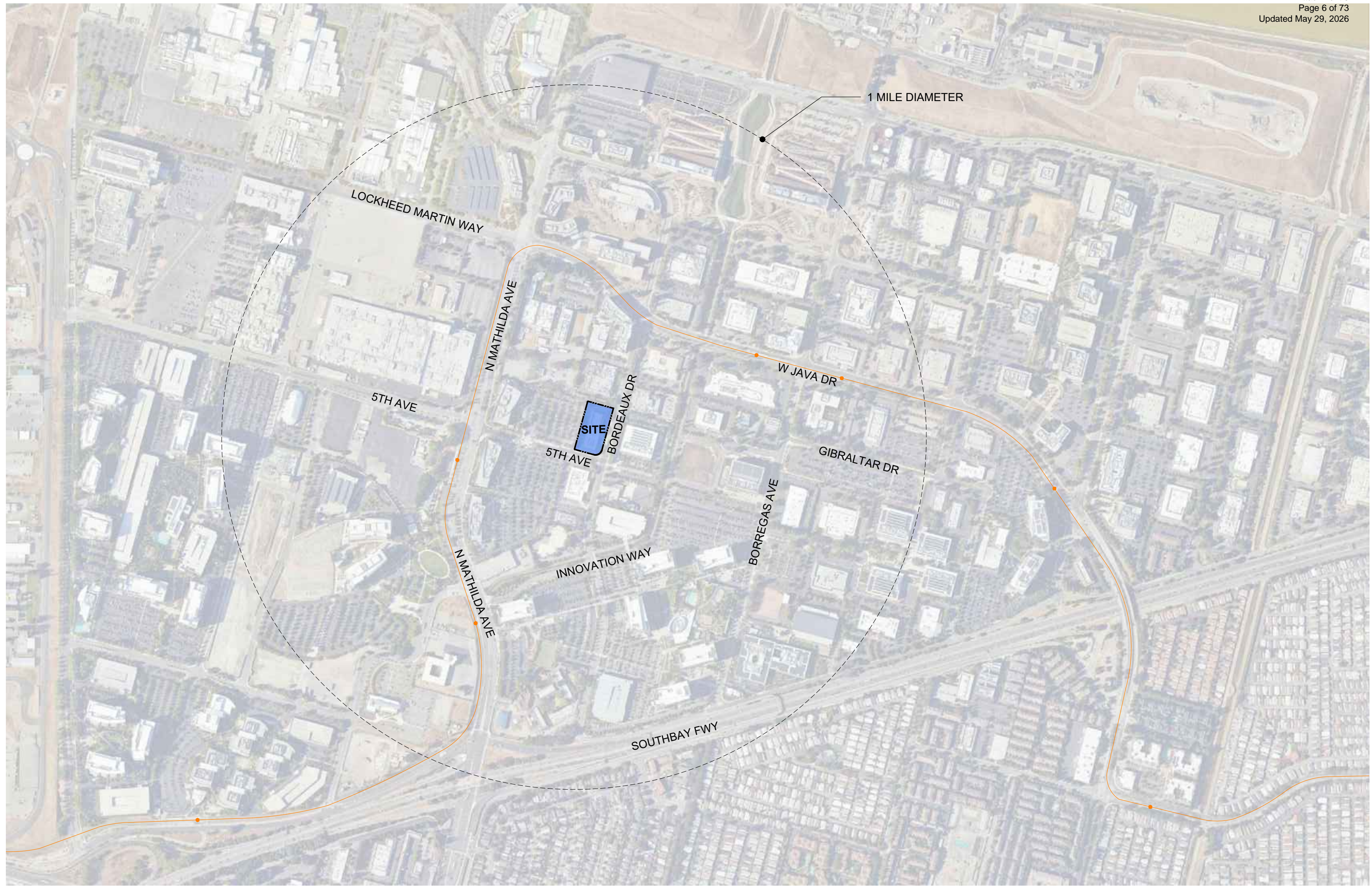
Page 5 of 5

spaces with Level 2 EV Ready Spaces and Level 1 EV Ready Spaces, the applicant shall provide EV infrastructure up to a level that would not exceed this cost for utility service or on-site transformer capacity.	
5. All accessible parking spaces for covered newly constructed multifamily dwellings shall provide Level 1 EV Ready Space or Level 2 EV Ready Spaces.	
4.106.4.2.2.1 <b>Electric vehicle charging stations (EVCS).</b> Electric vehicle charging stations required by Section 4.106.4.2 shall comply with Section 4.106.4.2.2.1.	Compliant See Sheet AD 14 Parking and Circulation Level 1 Plan
<b>Exception:</b> Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code Chapter 11B, for applicable requirements.	
4.106.4.3 <b>New hotels and motels.</b> In residential new construction buildings designated primarily for hotel and motel use with parking: <ol style="list-style-type: none"> <li>20% of parking spaces shall be provided with at least one Level 2 Ready Space. Calculations for the required minimum number of Level 2 Ready Space shall be rounded up to the nearest whole number.</li> <li>An additional 50% shall be provided with at least EV Capable.</li> </ol> Calculations for the required minimum number of spaces equipped with Level 2 Ready Space and EV Capable spaces shall all be rounded up to the nearest whole number.	Sheet: N/A
Construction plans and specifications shall demonstrate that all raceways shall be a minimum of 1" and sufficient for installation of Level 2 Ready Space and all required EV Capable spaces; Electrical calculations shall substantiate the design of the electrical system to include the rating of equipment and any on-site distribution transformers, and have sufficient capacity to simultaneously charge EVs at all required EV spaces including EV Capable spaces; and service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.	
<b>Notes:</b> <ol style="list-style-type: none"> <li>ALMS may be installed to increase the number of EV chargers or the amperage or voltage beyond the minimum requirements in this code. The option does not allow for installing less electrical panel capacity than would be required without ALMS.</li> </ol>	
4.106.4.3 <b>Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.</b> When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.	N/A
<b>Notes:</b> <ol style="list-style-type: none"> <li>Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</li> <li>There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</li> </ol>	

Page 2 of 5

4.504.2 <b>Finish material pollutant control.</b> Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.	Sheet: Noted
<b>Paints and coatings.</b> Paints, stains and other coatings shall be compliant with VOC limits.	
<b>Aerosol paints and coatings.</b> Aerosol paints and coatings shall be compliant with product weighted MTR limits for VOC and other toxic compounds.	
<b>Verification.</b> Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	
4.504.3 <b>Carpet systems.</b> All carpet and carpet cushion installed in the building interior shall meet the testing and product requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350.)	Sheet: Noted
<b>Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 4.504.1.	
4.504.4 <b>Resilient flooring systems.</b> Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350.)	Sheet: Noted
4.504.5 <b>Composite wood products.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.)	Sheet: Noted
4.505.2 <b>Concrete slab foundations.</b> Vapor retarder and capillary break is installed at slab-on-grade foundations.	Sheet: Noted
4.505.3 <b>Moisture content of building materials.</b> Moisture content of building materials used in wall and floor framing is checked before enclosure.	Sheet: Noted
4.506.1 <b>Each bathroom shall be provided with the following:</b> <ol style="list-style-type: none"> <li>ENERGY STAR fans ducted to terminate outside the building.</li> <li>Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system.</li> <li>Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent.</li> </ol>	Sheet: Noted
4.507.2 <b>Heating and air-conditioning system design.</b> Duct systems are sized, designed, and equipment is selected using the following methods: <ol style="list-style-type: none"> <li>Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent.</li> <li>Size duct systems according to ANSI/ACCA 1 Manual D-2014 or equivalent.</li> <li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2016 or equivalent.</li> </ol>	Sheet: Noted
<b>Chapter 7: Installer and Special Inspector Qualifications</b>	
702.1.1 <b>Installer Training.</b> HVAC system installers are trained and certified in the proper installation of HVAC systems.	Sheet: Noted

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**KEY MAP**   NTS



**3**  
North-East Corner



**2**  
North-West Corner



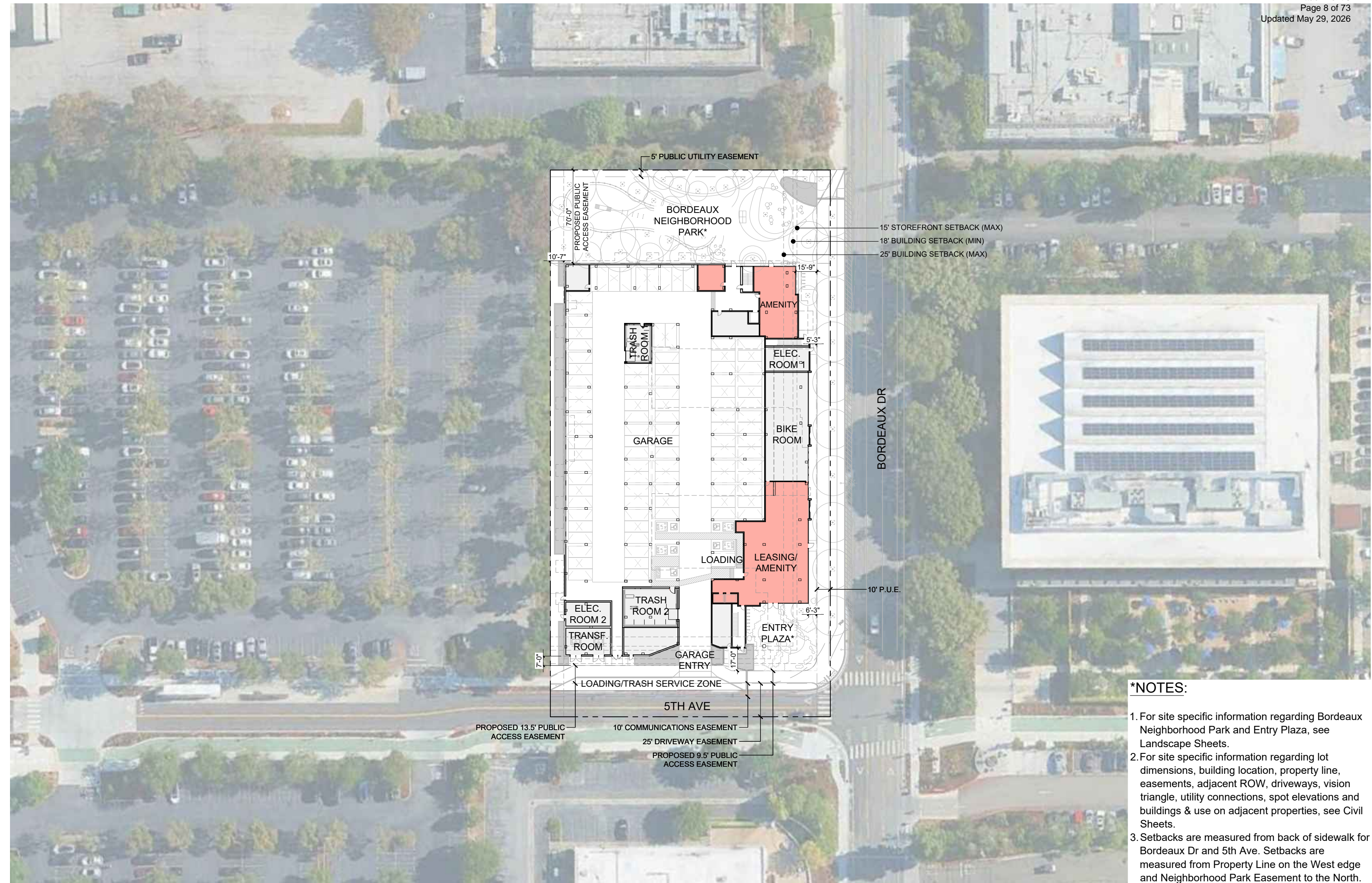
**5**  
East Entry View



**4**  
North-East Aerial

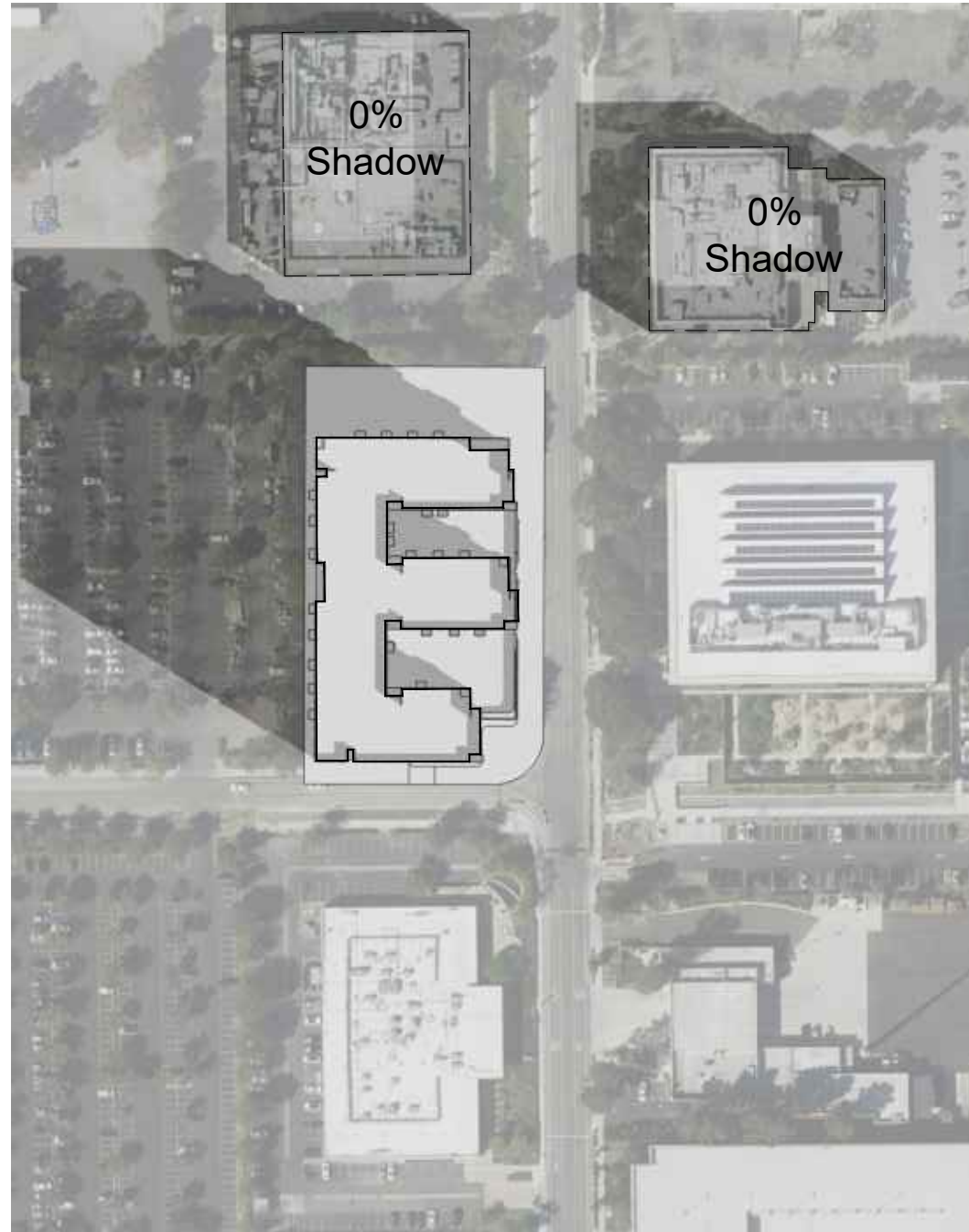


**1**  
South-West Corner



**\*NOTES:**

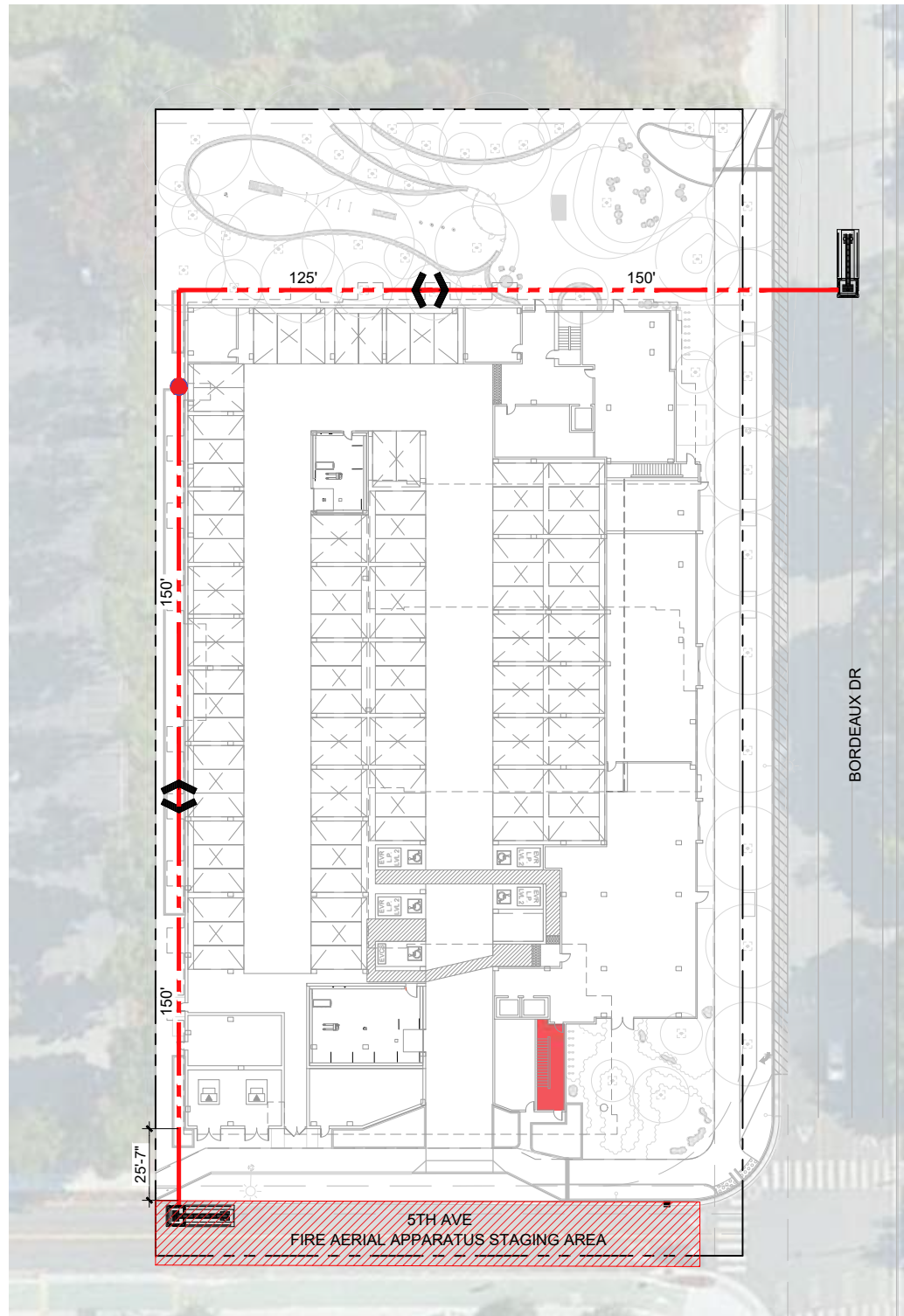
1. For site specific information regarding Bordeaux Neighborhood Park and Entry Plaza, see Landscape Sheets.
2. For site specific information regarding lot dimensions, building location, property line, easements, adjacent ROW, driveways, vision triangle, utility connections, spot elevations and buildings & use on adjacent properties, see Civil Sheets.
3. Setbacks are measured from back of sidewalk for Bordeaux Dr and 5th Ave. Setbacks are measured from Property Line on the West edge and Neighborhood Park Easement to the North.



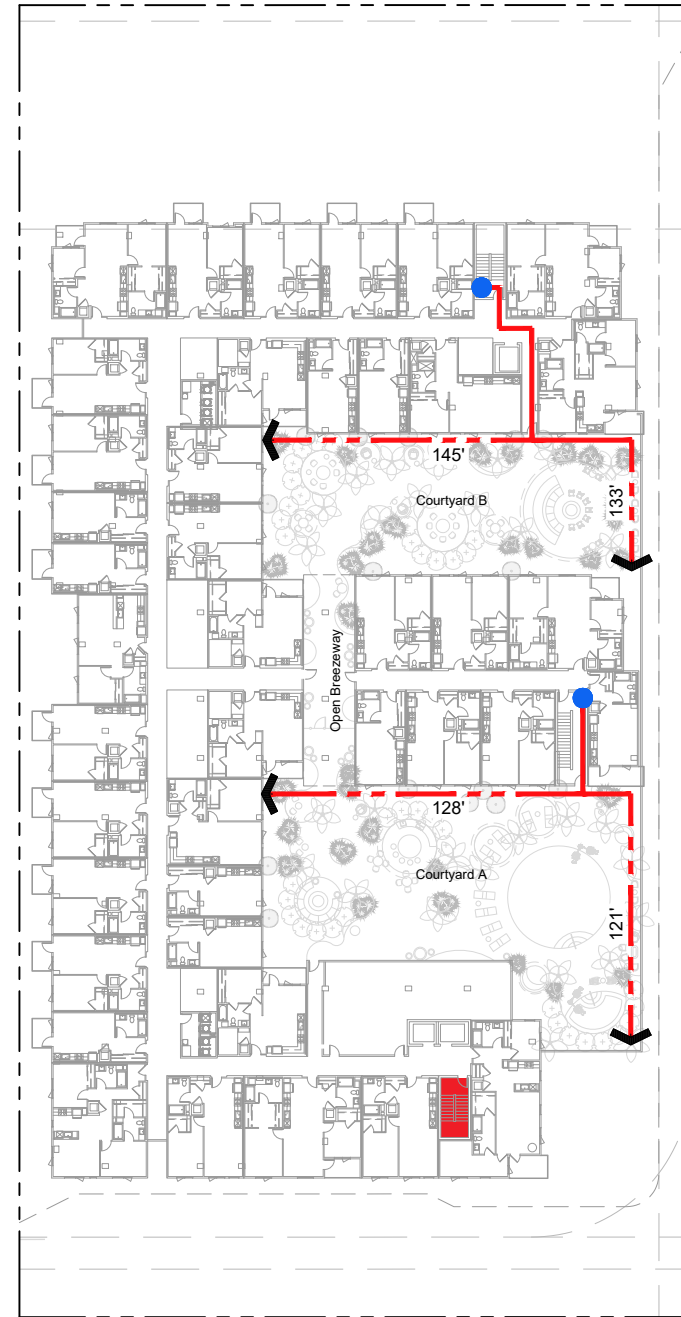
**DECEMBER 21ST**  
9 AM



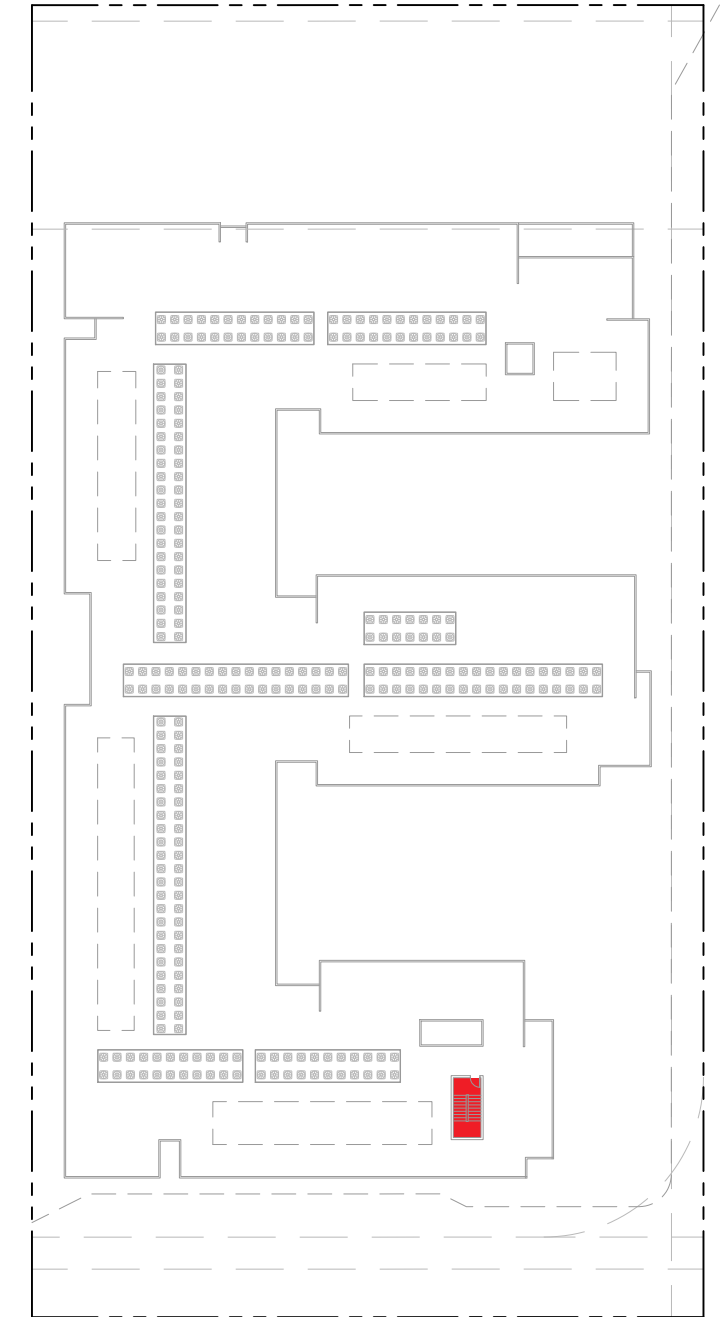
**DECEMBER 21ST**  
3 PM



1. Level 1 Plan



2. Level 3 Plan


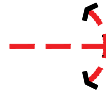





3. Roof Level Plan

**PROJECT SUMMARY**

Proposed Use: Multifamily Residential  
 Construction Type: 5 Stories of Type IIIA over 3 Stories of Type IA  
 Building Height: ± 91'-0", 8 Stories (per Zoning Definition)  
 Fire Sprinkler: NFPA 13

**LEGEND**

-  Fire Aerial Apparatus Staging Area
-  150' minimum hose pull radius and travel distance as noted
-  Wet standpipe
-  Wet standpipe at stair
-  2-hr rated stair w/ roof access

**NOTE**

For site specific information regarding exiting fire hydrant, FDC, fire hydrant, standpipe, existing water line, proposed water line, 150' fire access, 20' fire access road and 26' wide aerial fire apparatus access, see Civil Sheet C6.0 Fire Access Plan.

**Construction Type:** 5 Stories of Type IIIA over 3 Stories of Type IA

Allowable Building Height (CBC Table 504.3)

Allowable building heights: Type IIIA R-2 = 65 feet, 4 Stories

Allowable building heights with Sprinkler Increase: Type IIIA R-2 = 85 feet, 5 Stories

**BUILDING 1**

Mixed-Occupancy Building Calculation

**R2 Allowable Building Area (CBC Section 506.2.2)**

$$A_a = [A_t + (NS \times I_f)]$$

$$A_a = [24,000 + (24,000 \times 0)]$$

$$A_a = 24,000 \text{ SF}$$

**R2 Allowable Building Area per Floor = 24,000 SF**

\* $A_a$  = Allowable area (square feet)

\* $A_t$  = Tabular allowable area factor per Table 506.2

\*NS=Tabular allowable area factor per Table 506.2 for a nonsprinklered building

\* $I_f$  = Frontage Increase (not taken)

Level	Name	Area
Level 4	BLDG 1 (R2)	6,751 SF < 24,000 SF - OK!
Level 5	BLDG 1 (R2)	6,751 SF < 24,000 SF - OK!
Level 6	BLDG 1 (R2)	6,751 SF < 24,000 SF - OK!
Level 7	BLDG 1 (R2)	6,751 SF < 24,000 SF - OK!
Level 8	BLDG 1 (R2)	5,523 SF < 24,000 SF - OK!
Level 8	BLDG 1 (A3)	540 SF < 14,000 SF - OK!

**A3 Allowable Building Area (CBC Section 506.2.2)**

$$A_a = [A_t + (NS \times I_f)]$$

$$A_a = [14,000 + (14,000 \times 0)]$$

$$A_a = 14,000 \text{ SF}$$

**A3 Allowable Building Area per Floor = 14,000 SF**

\* $A_a$  = Allowable area (square feet)

\* $A_t$  = Tabular allowable area factor per Table 506.2

\*NS=Tabular allowable area factor per Table 506.2 for a nonsprinklered building

\* $I_f$  = Frontage Increase (not taken)

BLDG 1 (R2) Level 4 Ratio = 6,751 / 24,000 = 0.28
BLDG 1 (R2) Level 5 Ratio = 6,751 / 24,000 = 0.28
BLDG 1 (R2) Level 6 Ratio = 6,751 / 24,000 = 0.28
BLDG 1 (R2) Level 7 Ratio = 6,751 / 24,000 = 0.28
BLDG 1 (R2) Level 8 Ratio = 5,523 / 24,000 = 0.23
BLDG 1 (R2) Ratios Total = 1.35

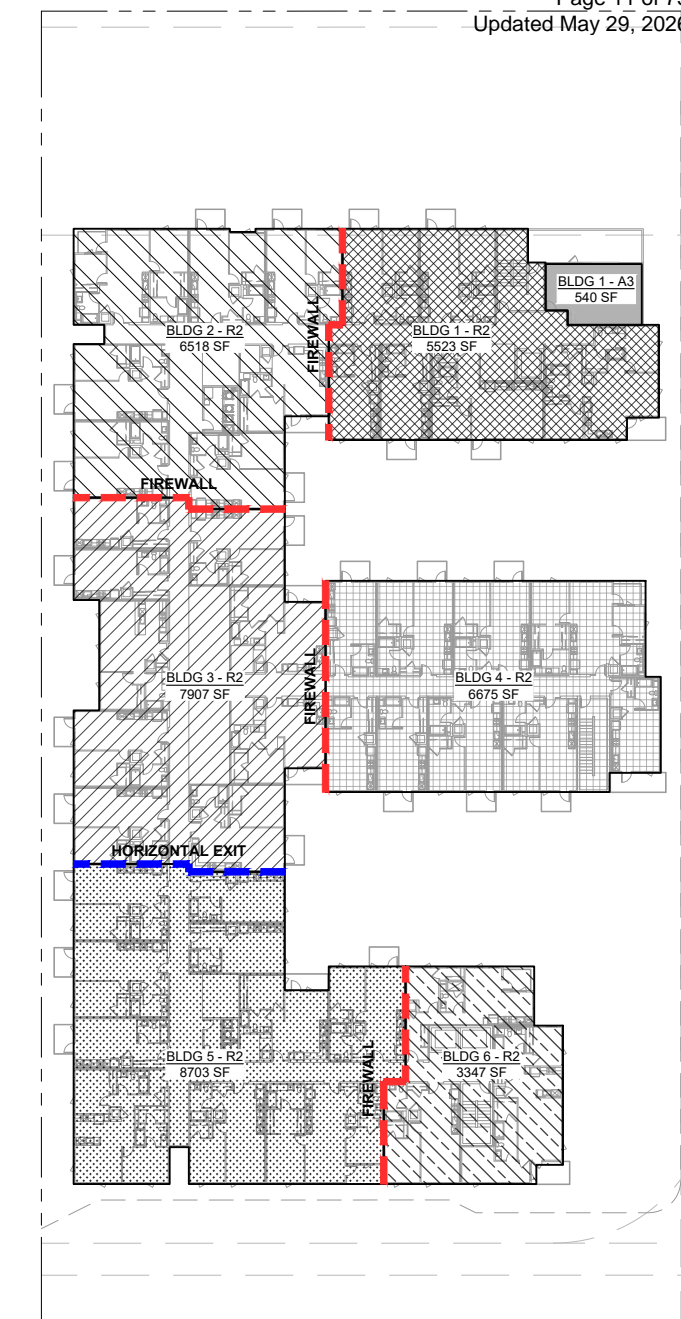
$$\text{BLDG 1 (A3) Level 8 Ratio} = 540 / 14,000 = 0.04$$

$$\text{BLDG 1 (A3) Ratios Total} = 0.08$$

$$\text{Sum of Ratios} = 1.35 + 0.04 = 1.39 < 2.00 - \text{OK!}$$



1. Level 4 to 7



2. Level 8

**BUILDINGS 2 TO 6**

Single-Occupancy Building Calculation

**Allowable Building Area (CBC Section 506.2.1)**

$$A_a = [A_t + (NS \times I_f)] \times S_a$$

$$A_a = [24,000 + (24,000 \times 0)] \times 2$$

$$A_a = 48,000 \text{ SF}$$

**R2 Allowable Building Area per Building = 48,000 SF**

\* $A_a$  = Allowable area (square feet)

\* $A_t$  = Tabular allowable area factor per Table 506.2

\*NS=Tabular allowable area factor per Table 506.2 for a nonsprinklered building

\* $I_f$  = Frontage Increase (not taken)

\* $S_a$  = Number of building stories above grade plane, not to exceed 2

**Building 2 Calculations**

Level	Area
Level 4	6,857 SF
Level 5	6,857 SF
Level 6	6,857 SF
Level 7	6,857 SF
Level 8	6,518 SF

Total	33,946 SF
33,946 SF < 48,000 SF - OK!	

**Building 3 Calculations**

Level	Area
Level 4	8,304 SF
Level 5	8,304 SF
Level 6	8,304 SF
Level 7	8,304 SF
Level 8	7,907 SF

Total	41,123 SF
41,123 SF < 48,000 SF - OK!	

**Building 4 Calculations**

Level	Area
Level 4	7,101 SF
Level 5	7,101 SF
Level 6	7,101 SF
Level 7	7,101 SF
Level 8	6,675 SF

Total	35,079 SF
35,079 SF < 48,000 SF - OK!	

**Building 5 Calculations**

Level	Area
Level 4	9,002 SF
Level 5	9,002 SF
Level 6	9,002 SF
Level 7	9,002 SF
Level 8	8,703 SF

Total	44,711 SF
44,711 SF < 48,000 SF - OK!	

**Building 6 Calculations**

Level	Area
Level 4	3,397 SF
Level 5	3,397 SF
Level 6	3,397 SF
Level 7	3,397 SF
Level 8	3,347 SF

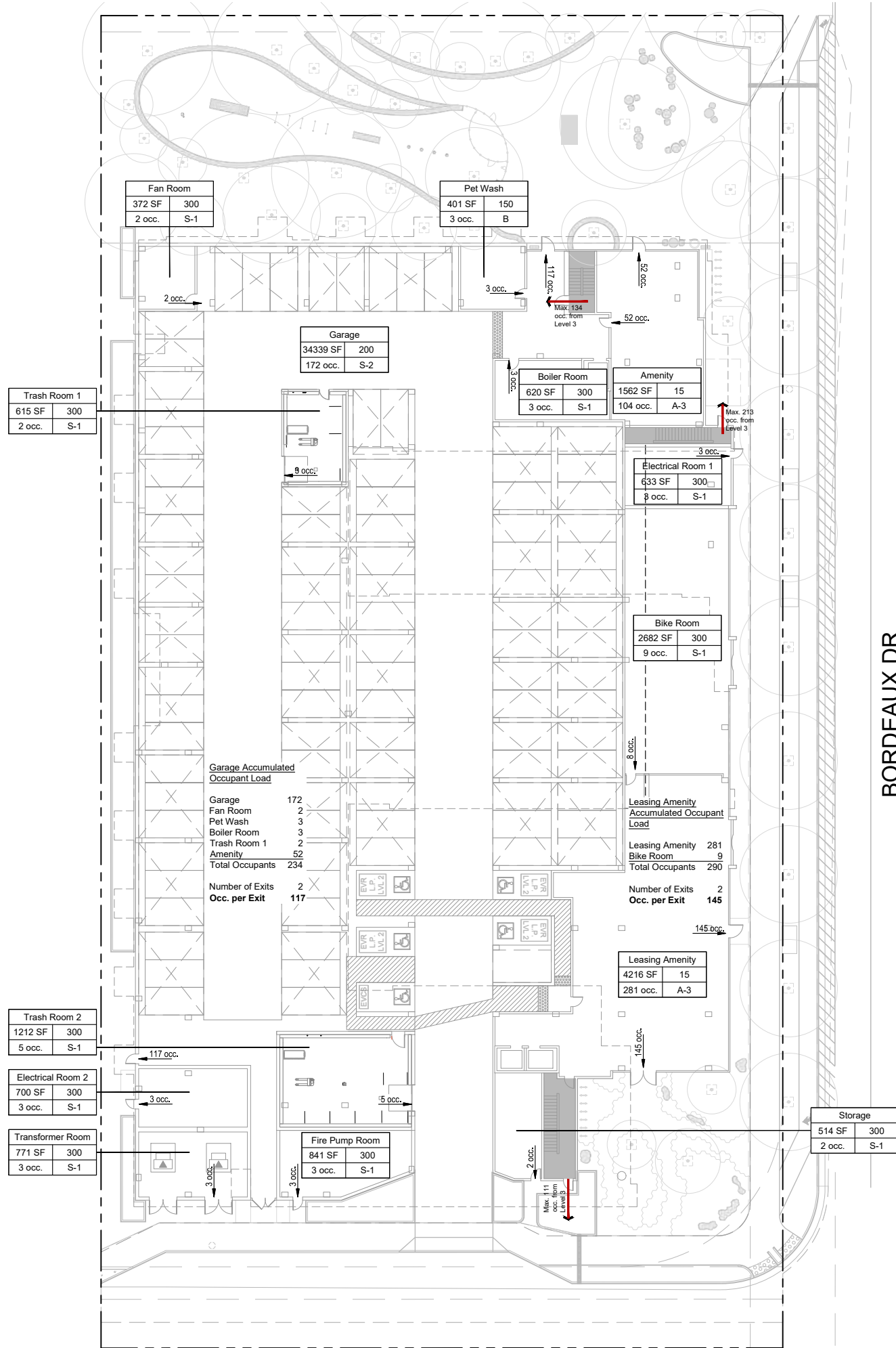
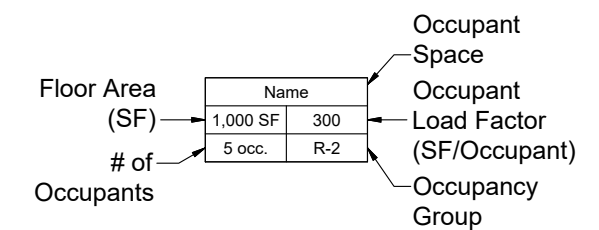
Total	16,935 SF
16,935 SF < 48,000 SF - OK!	

**NOTES:**

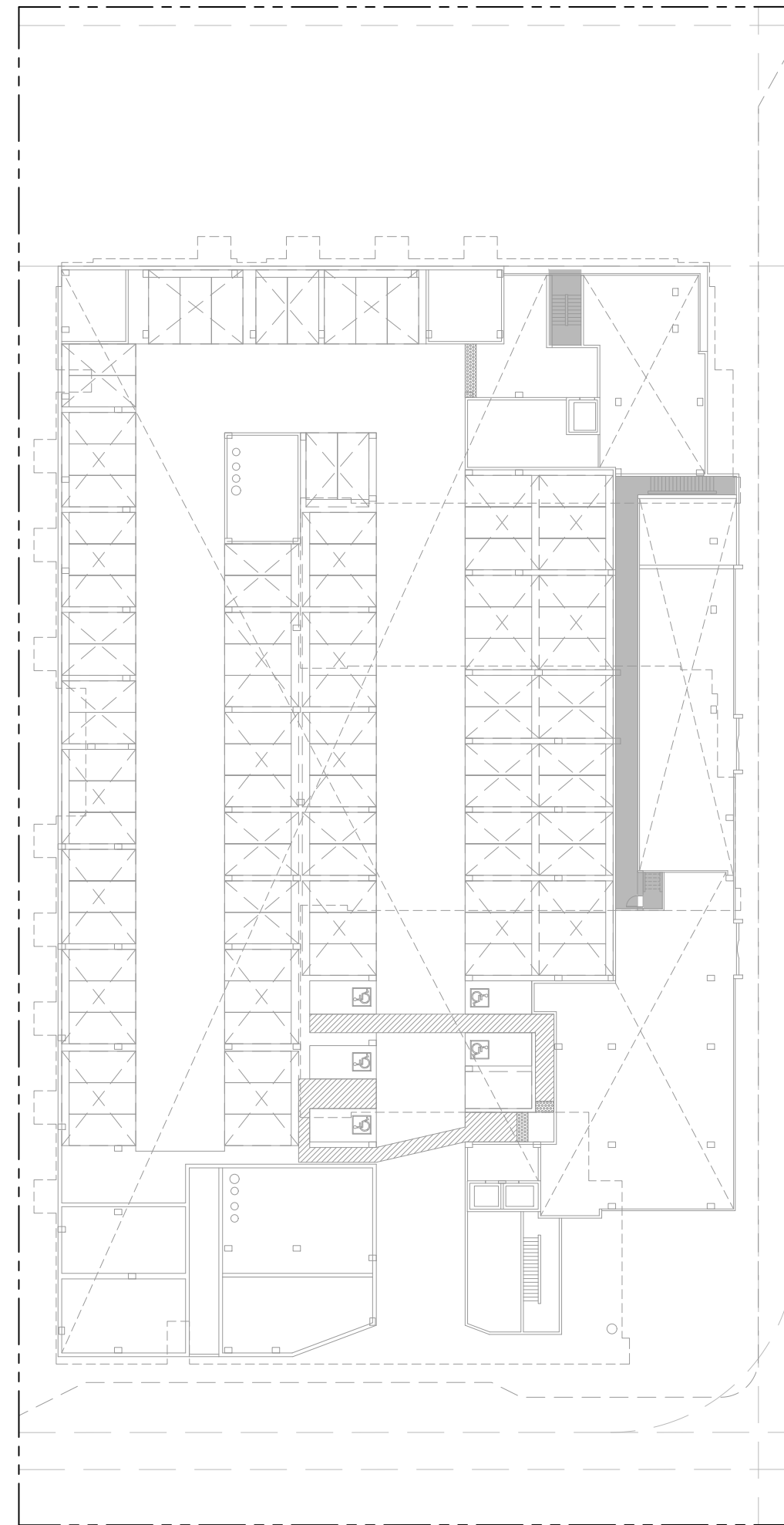
1. Egress width shall comply with CBC section 1005
  - 1.a. Required Stair Width = Occupant Load x 0.2" (CBC 1005.3.1 Exception 1)
  - 1.b. Required Door Width = Occupant Load x 0.15" (CBC 1005.3.2 Exception 1; 36" min. width doors provided at exits throughout)
2. Summary of Occupant Load at each Egress Component:
  - 2.a. Typical 3'-0" Door provides 34" of clearance for 226 occupants
  - 2.b. Typical 6'-0" Door (Double 3'-0" Leaf) provides 68.5" of clearance for 443 occupants
3. Egress components for exiting assembly spaces have been sized as per CBC 1030.
4. Width of stair shall not be less than 44" per CBC 1009.4. A 44" Stair provides clearance for 220 occupants.
5. Fire sprinkler and Emergency Communication System are a deferred submittal by general contractor/client.
6. Roof access door shall not lock occupants on the roof.
7. Exterior walls are constructed at 1 hour fire resistive rating at Type I Construction and 2 hour fire resistive rating at Type IIIA Construction.

**LEGEND:**

- Firewall
- Horizontal Exit (H.E.)
- X occ. → Number of Occupants Exiting
- Stair Exit Path
- Rated Corridor / Refuge Area for Horizontal Exit
- 2-Hr Rated Enclosure



1. Level 1 Plan



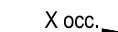





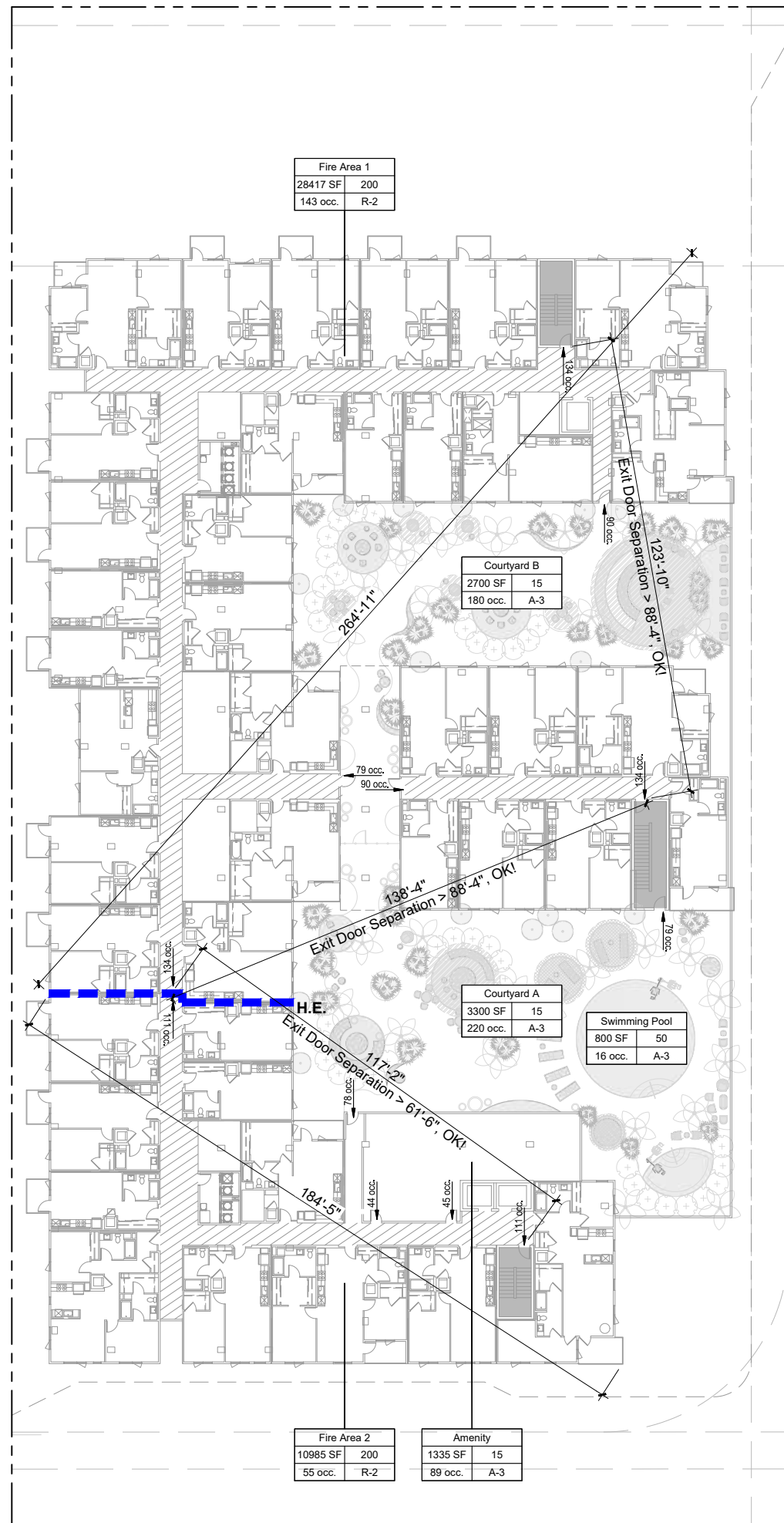
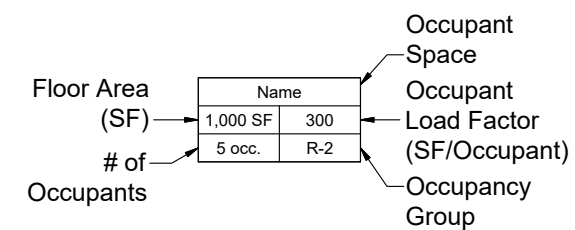
2. Level 2 Plan

**NOTES:**

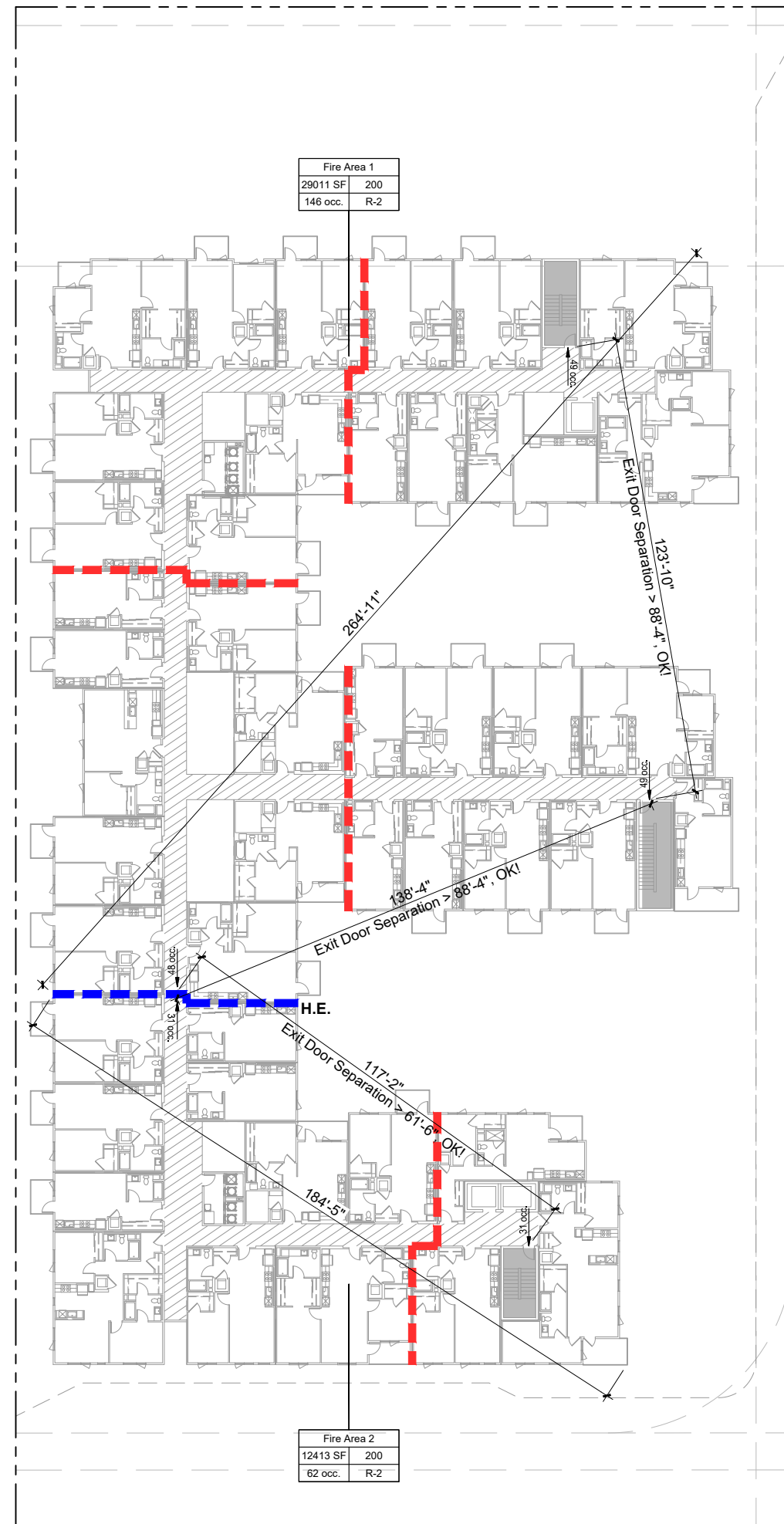
1. Egress width shall comply with CBC section 1005
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  - 1.b. Required Door Width = Occupant Load x 0.15" (CBC 1005.3.2 Exception 1; 36" min. width doors provided at exits throughout)
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6. Roof access door shall not lock occupants on the roof.
7. Exterior walls are constructed at 1 hour fire resistive rating at Type I Construction and 2 hour fire resistive rating at Type IIIA Construction.

**LEGEND:**

-  Firewall
-  Horizontal Exit (H.E.)
-  Number of Occupants Exiting
-  Stair Exit Path
-  Rated Corridor / Refuge Area for Horizontal Exit
-  2-Hr Rated Enclosure



1. Level 3 Plan



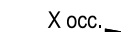





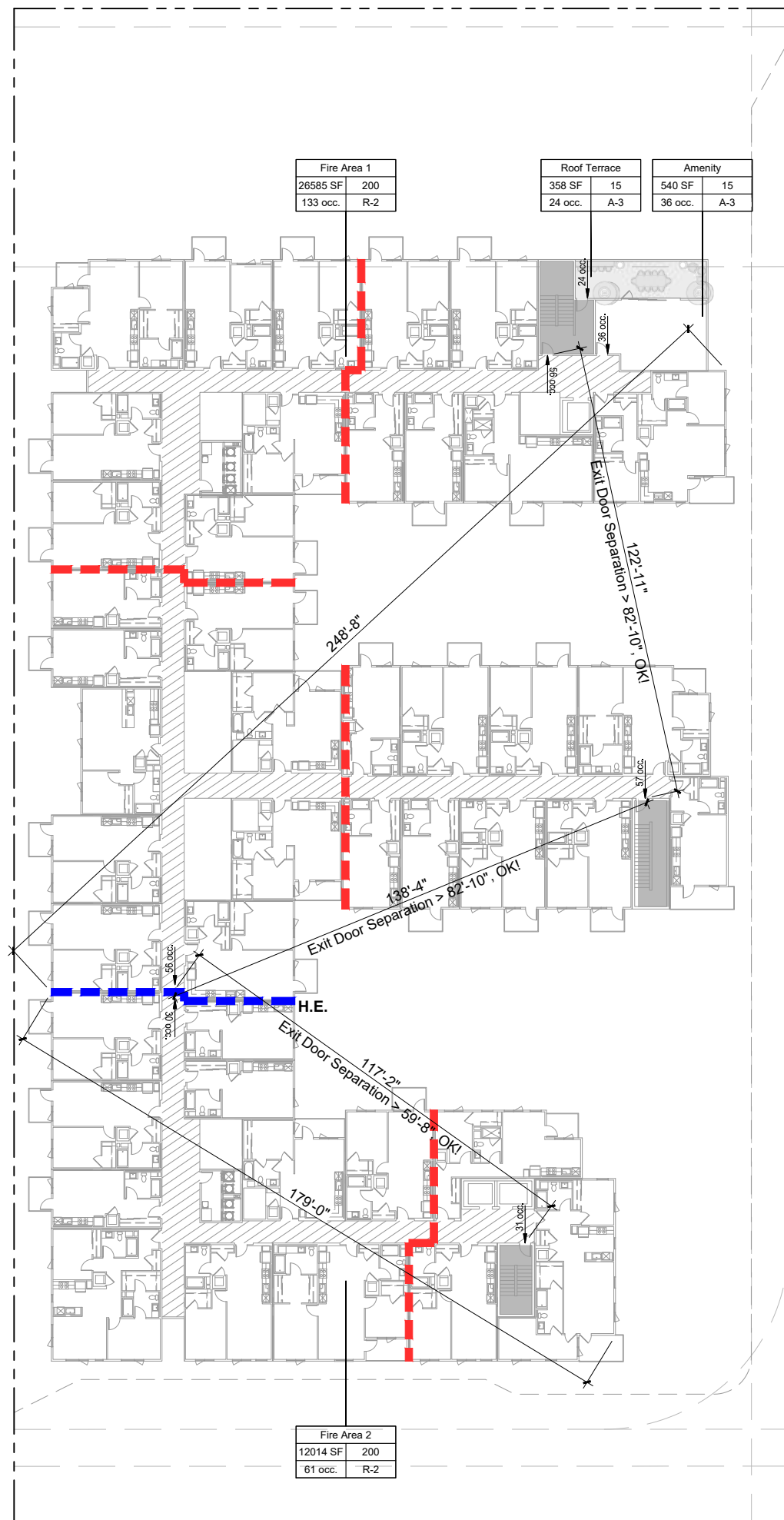
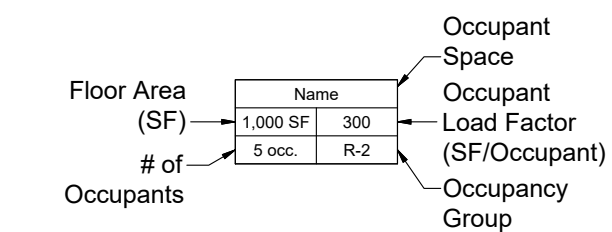
2. Level 4 to 7 Plan

**NOTES:**

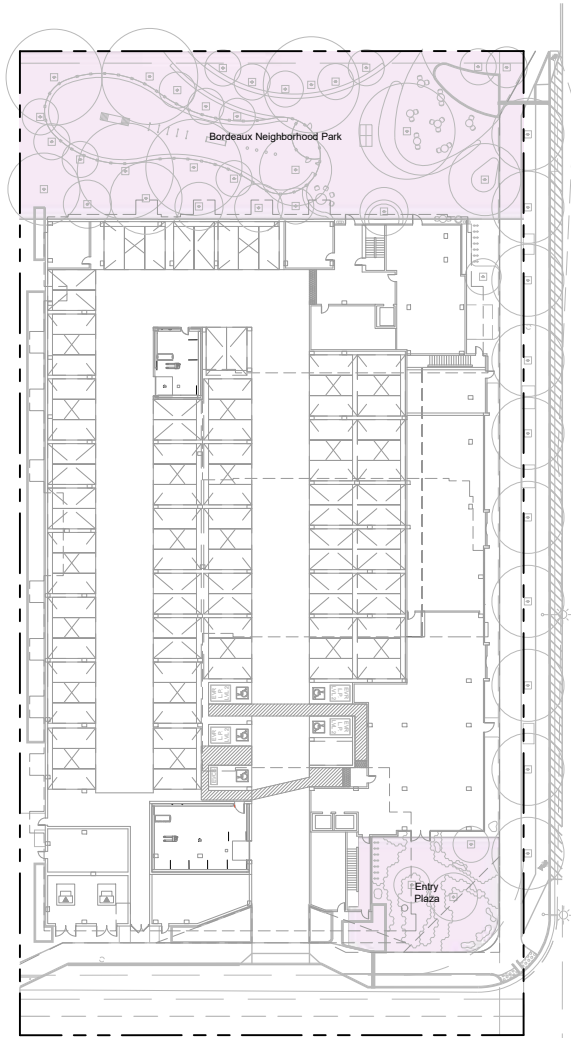
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6. Roof access door shall not lock occupants on the roof.
7. Exterior walls are constructed at 1 hour fire resistive rating at Type I Construction and 2 hour fire resistive rating at Type IIIA Construction.

**LEGEND:**

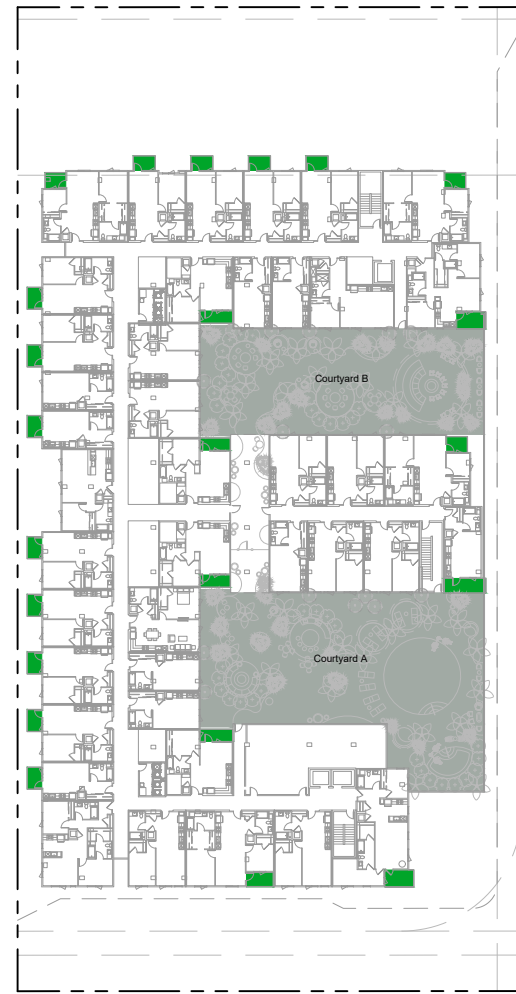
-  Firewall
-  Horizontal Exit (H.E.)
-  Number of Occupants Exiting
-  Stair Exit Path
-  Rated Corridor / Refuge Area for Horizontal Exit
-  2-Hr Rated Enclosure



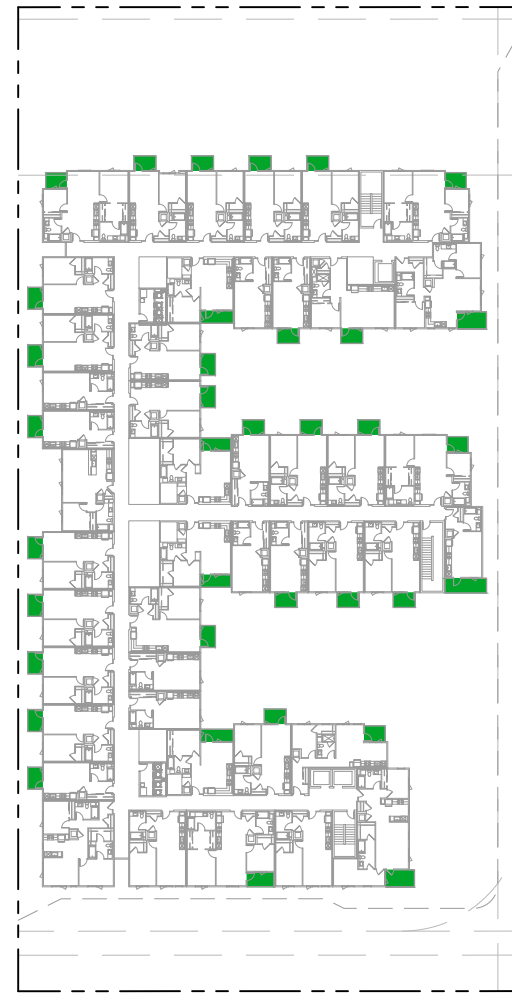
1. Level 8 Plan



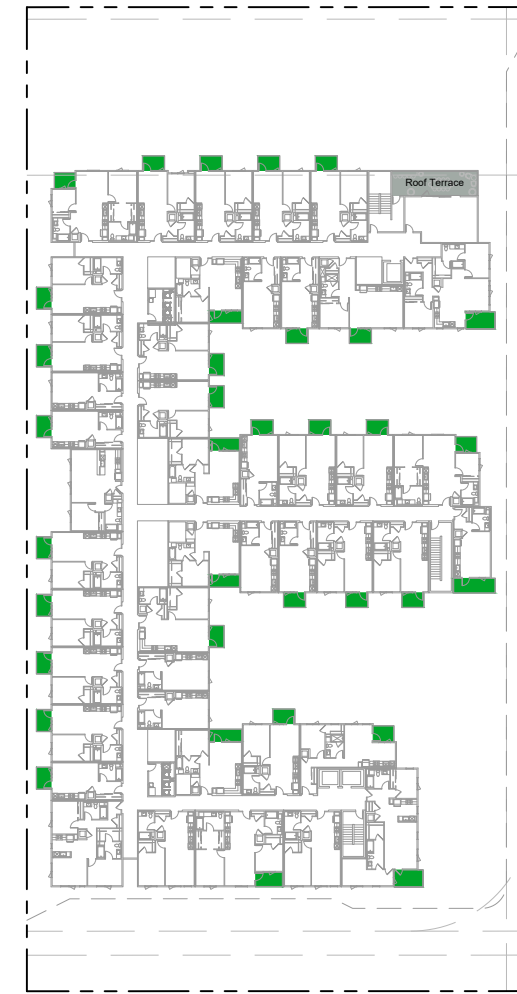
1. Level 1 Plan



2. Level 3 Plan



3. Levels 4 to 7 Plan



4. Level 8 Plan

USABLE OPEN SPACE SUMMARY	
USABLE OPEN SPACE REQUIRED	
Standard	Required
Min. 50 sf per unit	13,250 sf
<b>Total Usable Open Space Required</b>	<b>13,250 sf</b>

USABLE OPEN SPACE PROVIDED		
Levels	Common Open Space	Private Open Space
Level 1	3,145 sf	0 sf
Level 2	0 sf	0 sf
Level 3	13,020 sf	1,413 sf
Level 4	0 sf	2,116 sf
Level 5	0 sf	2,116 sf
Level 6	0 sf	2,116 sf
Level 7	0 sf	2,116 sf
Level 8	360 sf	2,061 sf
Sub-Totals	16,525 sf	11,938 sf
<b>Total Common Open Space Provided</b>	<b>16,525 sf</b>	
<b>Total Private Open Space Provided</b>		<b>11,938 sf</b>
<b>Total Usable Open Space Provided</b>		<b>28,463 sf</b>

PUBLICLY ACCESSIBLE OPEN SPACE (PAOS) PROVIDED	
Location	Provided
Level 1 Park*	13,980 sf
<b>Total PAOS Provided</b>	<b>13,980 sf</b>

\* Level 1 Park refers to Bordeaux Neighborhood Park.

LANDSCAPE AREA SUMMARY	
LANDSCAPE AREA REQUIRED	
Location	Required
Min. 20% of net lot area	12,115 sf
<b>Total Landscape Area Req'd.</b>	<b>12,115 sf</b>

LANDSCAPE AREA PROVIDED	
Location	Provided
Level 1 Park	8,800 sf
Level 1 Entry Plaza	1,380 sf
Level 3 Courtyards	6,760 sf
<b>Total Landscape Area Prov'd.</b>	<b>16,940 sf</b>
<b>Percentage of Lot Area</b>	<b>28%</b>

**NOTE**

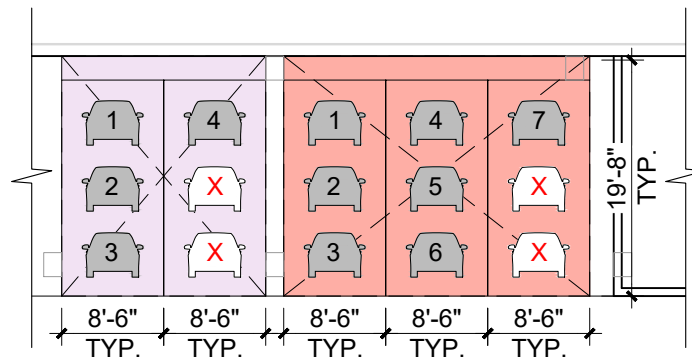
For information regarding areas of usable open space that are landscaped vs hardscaped, refer to Landscape sheets.

**LEGEND**

- Private Residential Open Space
- Common Residential Open Space
- Publicly Accessible Open Space



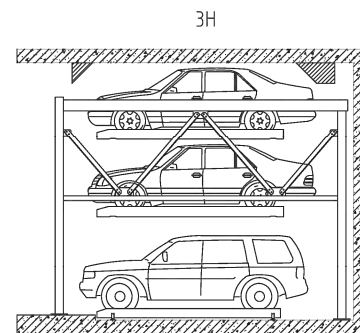
1. Level 1 Plan



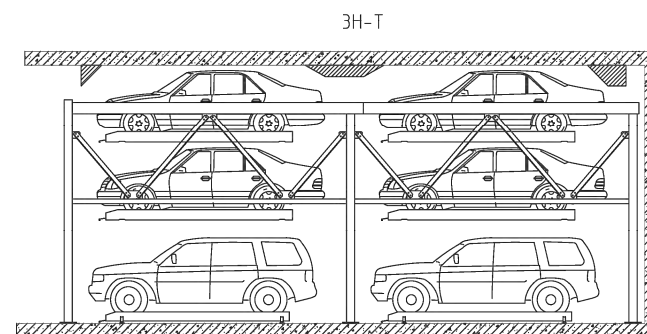
2. Operation Diagram

**Puzzle System Description**

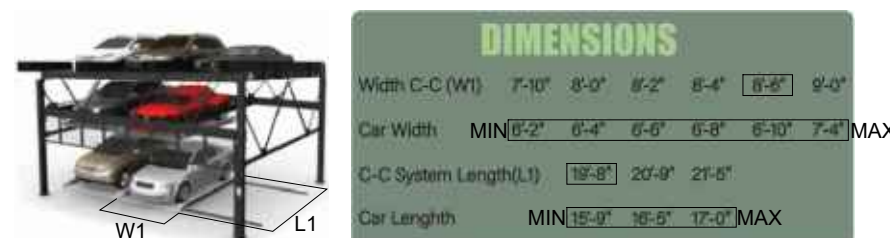
The plan above shows the 3-High Puzzle Parking System in a 2-Bay and 3-Bay configuration. This means 3 levels of parking rows; the plan also proposes tandem systems. The Puzzle solution requires you to leave one space empty for the first two levels (shown by the X car symbol above). Puzzle Parking stalls shall have automated vehicle release during all hours of operation.



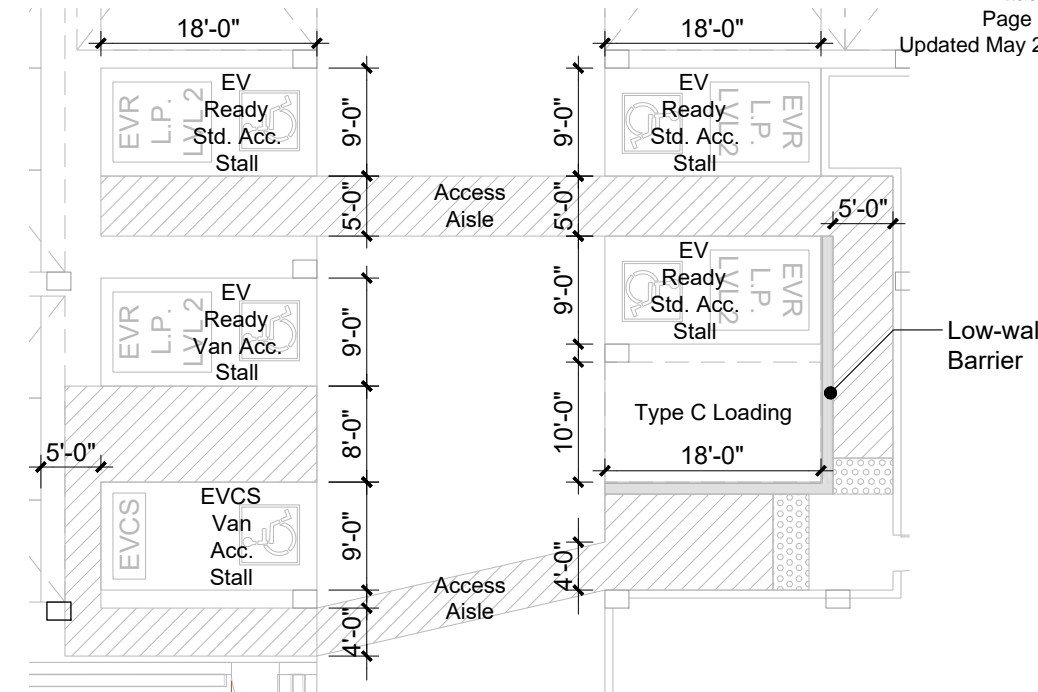
3. 3-High Puzzle Parking Schematic Section A, typical



4. 3-High Tandem Puzzle Parking Schematic Section B, typical



5. Puzzle Parking System Dimensions



6. Enlarged Plan

VEHICLE PARKING SUMMARY			
VEHICLE PARKING PROVIDED			
Location	Traditional	Mechanical	Totals
Level 1	5 spaces	212 spaces	217 spaces
<b>Totals</b>	<b>5 spaces</b>	<b>212 spaces</b>	<b>217 spaces</b>
<b>Ratio</b>	<b>0.82 spaces/du</b>		

ACCESSIBLE PARKING SUMMARY		
Total Number of Spaces	Required <sup>A</sup>	Provided
217 spaces	5 spaces	5 spaces
<b>Totals</b>	<b>5 spaces</b>	<b>5 spaces</b>

<sup>A</sup>As per 2025 CBC Sec 1109A.4, at least 2 percent of the assigned parking spaces serving covered multifamily dwelling units shall be accessible in each type of parking facility.

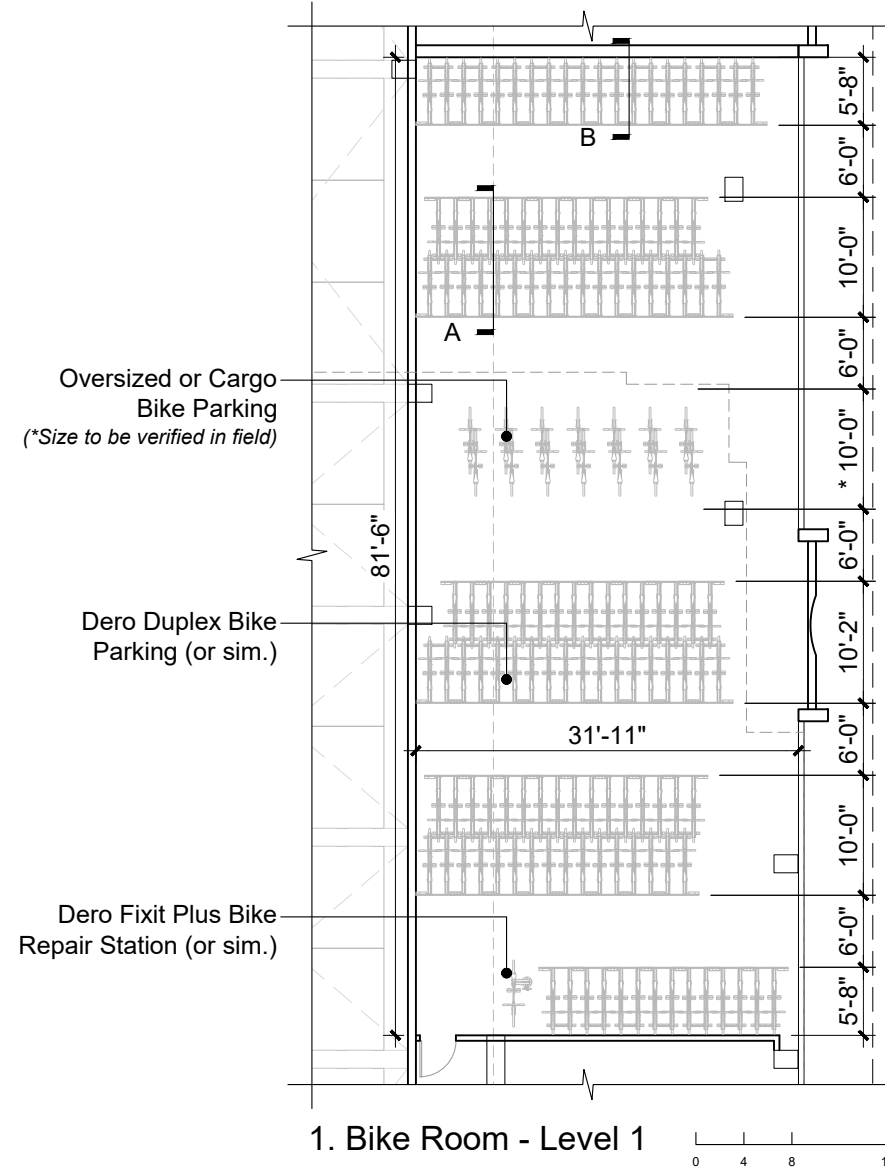
EV PARKING SUMMARY		
EV Parking	Required*	Provided**
EVCS Spaces (Charging Station Provided)	1 space	1 space
Low power Level 2 EV Ready Spaces (Receptacle Provided)	4 spaces	4 spaces
<b>Totals</b>	<b>5 spaces</b>	<b>5 spaces</b>

<sup>A</sup>As per 2025 CALGreen Building Standards Code, Sec. 4.106.4.2.2, 1.a.1, areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the CBC are an exception to the EV parking requirement.

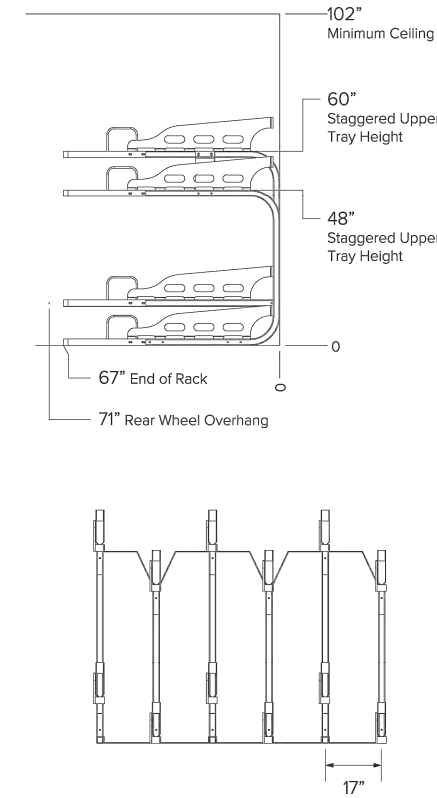
<sup>\*\*</sup>As per SMC 16.43.050, (d), 1. a., 10% of the number of assigned parking spaces shall be equipped with Level 2 EV chargers. 40% of dwelling units with a parking space shall be Level 2 EV Ready (rounded up to the next whole number) and the remaining shall be at least one low power Level 2 EV charging receptacle shall be provided at an assigned parking space for each dwelling unit. Areas of parking facilities served by parking lifts, including but not limited to, automated mechanical-access open parking garages as defined in the California Building Code are an Exception.

**Legend**

- Traditional Parking Space
- 2-Bay Mechanical Parking Space (Puzzle & Puzzle Tandem)
- 3-Bay Mechanical Parking Space (Puzzle & Puzzle Tandem)
- EVCS Space
- Low power Level 2 EV Ready Space
- Vehicular Circulation
- Detectable Warnings (per CBC Sections 11B-247.1 & 11B-705.1)
- Bike Circulation

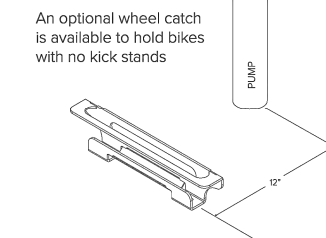
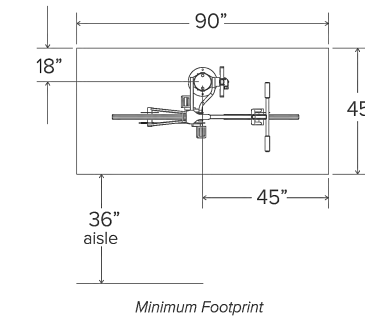
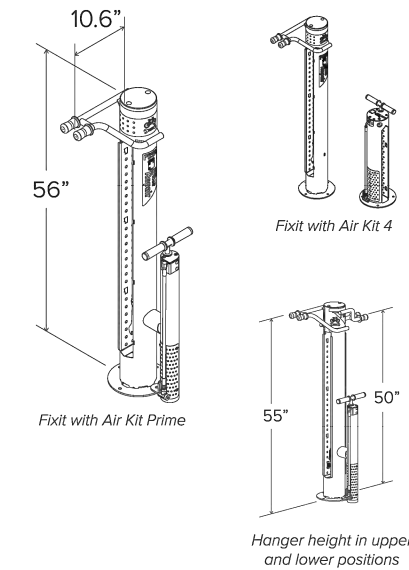


1. Bike Room - Level 1



2. Dero Duplex Bike Parking (or sim.) Spec Sheet

- CAPACITY** Varies per configuration  
Minimum 6 bike system required for stability
- MATERIALS** **Main frame tube:** 2" 11g square tube  
**Connector plates:** 1/4" plate  
**Bike trays:** 11g plate
- FINISHES**
- Galvanized**  
An after fabrication hot dipped galvanized finish is our standard option.
  - Powder Coat**  
Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final thick TGIC polyester powder coat
  - Stainless**  
304 grade stainless steel material with external surfaces polished to a satin finish. All surfaces passivated.
- MOUNT OPTIONS** **Surface only**  
Each connector plate accepts 3/8" wedge anchors.



An optional wheel catch is available to hold bikes with no kick stands

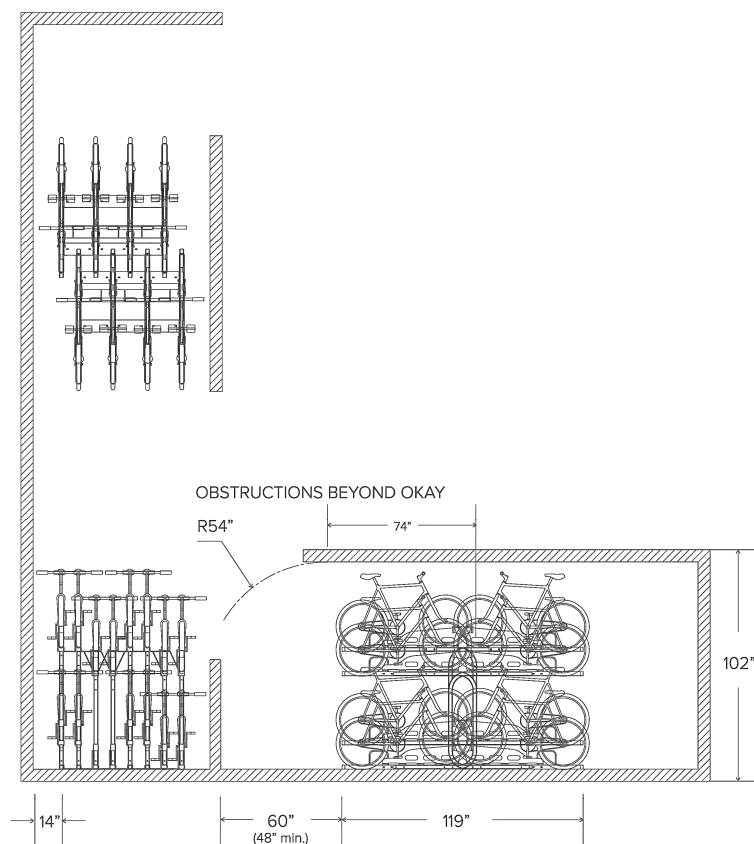
- CAPACITY**  1 Bike (One set of hanger arms)  
 2 Bikes (Two sets of hanger arms)
- MATERIALS** **Main body:** 6" x 12g tube  
**Bike Hanger:** 1" solid round bar  
**Foot:** 10" dia. x .25" plate  
**Tool tethers:** 3/16" stainless steel cable  
**Manual air pump**  
**Hand tools:**  
Phillips and flat head screwdrivers  
2.5, 3, 4, 5, 6, 8mm Allen wrenches  
T25 Torx wrench  
32mm Headset wrench  
15mm Pedal wrench  
8, 9, 10, 11mm box wrenches  
Tire levers (2)
- FINISHES**
- Galvanized**  
An after fabrication hot dipped galvanized finish is our standard option. **Cap, hanger arms, and strike plates are galvanized only.**
  - Powder Coat**  
Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final thick TGIC polyester powder coat
- MOUNT OPTIONS** **Surface only**  
Fixit has 10" diameter x.25" foot with four anchors per foot. Tamper-resistant fasteners are included.
- PUMP OPTIONS**
- No Pump
  - Air Kit Prime
    - Attached to Fixit
    - Separate
  - Air Kit 4
- CANE STOP**  Add Cane Stop (Galvanized only)

A cane-detectable attachment beneath the hanger arms is available for improved safety. (Additional cost)

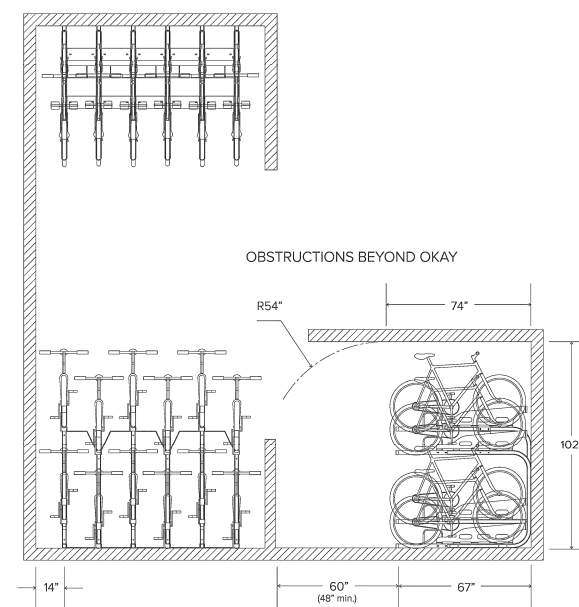
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Patents US 9,498,880 and 9,505,124. Additional patent pending

3. Dero Fixit Plus Bike Repair Station (or sim.) Spec Sheet



4. Schematic Section A - Double Sided



5. Schematic Section B - Single Sided

**Bike Parking Calculations**

LONG-TERM BIKE PARKING SUMMARY	
Zoning Standard	Required
1 space per 1 unit	265 spaces
<b>Total Parking Provided*</b>	<b>268 spaces</b>

\* Includes 14 spaces for oversized/cargo bikes.

**NOTE:**

For location of short-term bike parking, see Sheet A0.15

**NEW HOME RATING SYSTEM, VERSION 9.1**

**MULTIFAMILY CHECKLIST**

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Built By Green, a non-profit organization committed to creating healthy, energy and resource-efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality (16), Resources (3), and Water (2), and meet the prerequisites (CA) Green Mandatory (M 1, J 1, L 1, J 6, O).

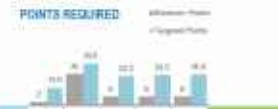
Directions for User: Column A is a dropdown menu with the options of "Yes", "No", or "TRC" or a range of percentages to indicate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information, please visit [www.greenpointrated.com](http://www.greenpointrated.com). Built By Green is not a credit enhancement agency.

A home with GreenPoint Rated is all features are verified by a Certified GreenPoint Rated through Built By Green.

New Home Multifamily Version 9.1

Points Targeted: 121  
Certification Level Targeted: Gold  
Complexity Pathway Targeted: All Electric Low-Rise



MEASURES	Points Achieved	Points Possible	Notes
<b>SECTION 1: GENERAL</b>			
<b>CA Green Tax (REQUIRED)</b>	4	4	
<b>SECTION 2: CONSTRUCTION</b>			
<b>A1. Construction Footprint</b> (See Prerequisite for Section 2A. Min. of 100 sq ft for residential and 500 sq ft for commercial)	4	4	
<b>A2. Job Site Construction Waste Diversion</b>	4	4	
A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover)	4	4	
A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility	4	4	
<b>A3. Recycled Content Base Material</b> (Minimum 20% Recycled Content)	4	4	
<b>A4. Heat Island Effect Reduction (Non-Roof)</b>	4	4	
<b>A5. Construction Environmental Quality Management Plan Including Flush-Out</b>	4	4	
<b>A6. Stormwater Control: Prescriptive Path</b>	4	4	
A6.1 Permeable Paving Material	4	4	
A6.2 Infiltration and/or Site Retention Features	4	4	
A6.3 Non-Leaching Roofing Materials	4	4	
A6.4 Street Stormwater Street Design	4	4	
<b>A7. Stormwater Control: Performance Path</b> (Minimum 20% of Total Runoff Retention)	4	4	
<b>SECTION 3: FOUNDATION</b>			
<b>B1. Low Carbon Concrete</b> (Minimum 40%)	4	4	
<b>B2. Radon-Resistant Construction</b>	4	4	
<b>B3. Foundation Drainage System</b>	4	4	
<b>B4. Sealed Crawlspace</b>	4	4	
<b>B5. Structural Pest Control</b>	4	4	
B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	4	4	
B5.2 Paint Traps, Beams, or Shims at Least 36 Inches from the Foundation	4	4	Center of traps shall be spaced 30" min. from foundation
<b>SECTION 4: LANDSCAPE</b>			
<b>C1. Plants Grouped by Water Needs (Hydrozoning)</b>	4	4	17,400 sq ft of total landscape area provided.
<b>C2. Three Inches of Organic Mulch in Planting Beds</b>	4	4	
<b>C3. Resource Efficient Landscapes</b>	4	4	
C3.1 No Invasive Species Listed by Cal-IPC	4	4	
C3.2 Plants Chosen and Located to Close to Natural Site (Local Native/Adapted)	4	4	
C3.3 Drought Tolerant, California Native, or Other Appropriate Species	4	4	
<b>C4. Minimal Turf in Landscape</b>	4	4	No irrigated turf provided. Synthetic turf provided for dog park, but is not regularly watered. Wash doggie.
C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	4	4	
C4.2 Turf on a Small Percentage of Landscaped Area	4	4	
<b>C5. Trees to Moderate Building Temperature</b> (To meet 10% of floor cooling and shade building)	4	4	
<b>C6. High-Efficiency Irrigation System</b>	4	4	
<b>C7. One Inch of Compost in the Top Six to Twelve Inches of Soil</b> (on-site source)	4	4	
<b>C8. Rainwater Harvesting System</b>	4	4	
C8.1 Rainwater Harvesting System with 300 Gallon Storage Capacity	4	4	
C8.2 Rainwater to Flush Toilets or Meet 50% of Landscape Irrigation Demand	4	4	
<b>C9. Recycled Wastewater Irrigation System</b>	4	4	
<b>C10. Submeter or Dedicated Meter for Landscape Irrigation</b>	4	4	Recycled water water will be separate from building and potable supply meters.
<b>C11. Efficient Landscape Water Budget</b>	4	4	
<b>C12. Environmentally Preferable Materials for Site</b>	4	4	
C12.1 Environmentally Preferable Materials for 70% of Hardscapes and Fencing	4	4	
C12.2 Play Structures and Surfaces Have an Average Recycled Content of 20%	4	4	
<b>C13. Reduced Light Pollution</b> (Direct lighting to be shielded and directed downwards)	4	4	
<b>C14. Large Shaded Tree(s)</b>	4	4	
<b>C15. Third Party Landscape Program Certification</b>	4	4	
<b>C16. Maintenance Contract with Certified Professional</b> (See Prerequisite for Section 4.1)	4	4	
<b>C17. Community Garden</b>	4	4	Not anticipated in design or scope of work at this time.

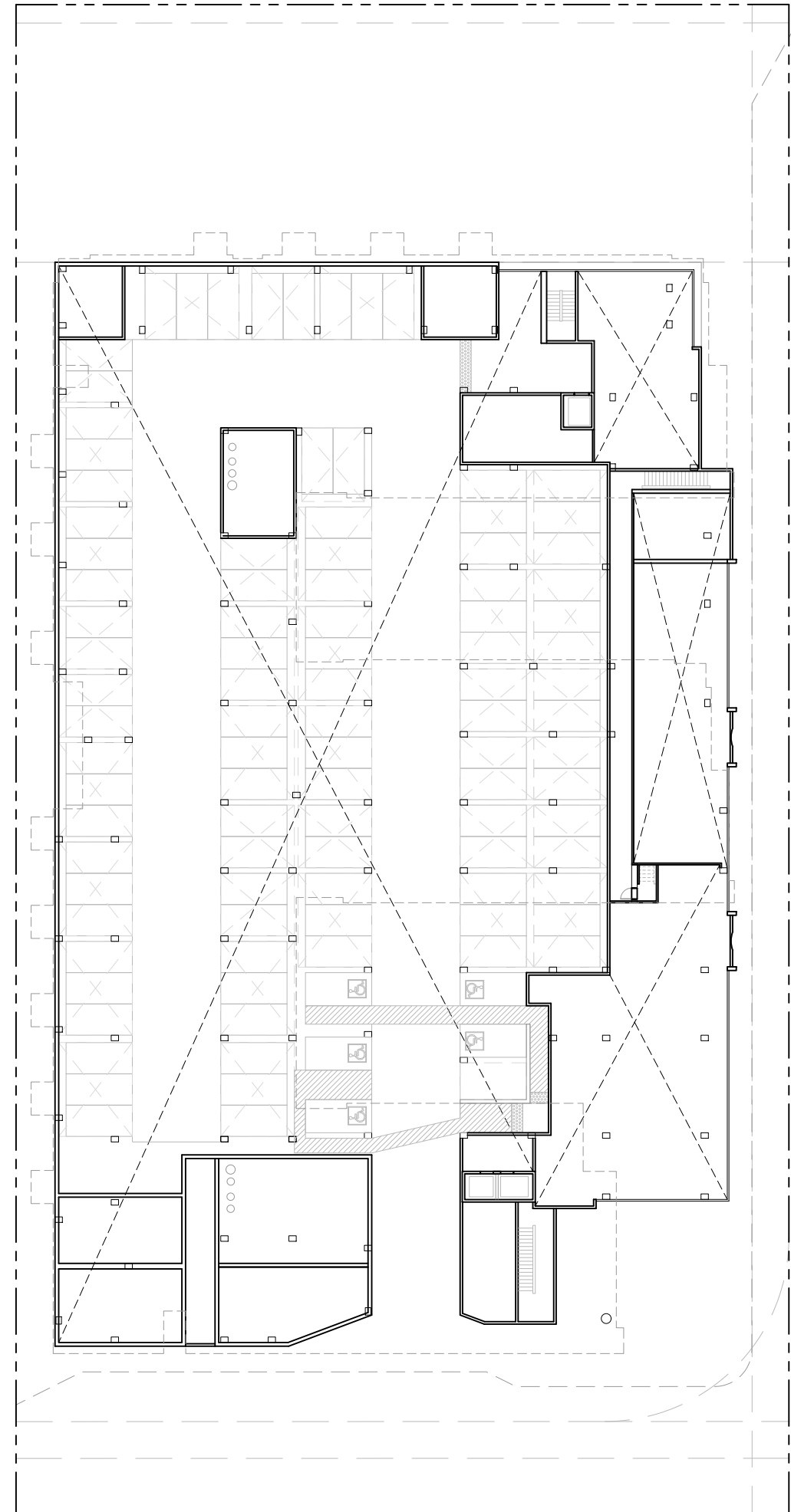
SECTION 5: MECHANICAL, ELECTRICAL AND PLUMBING	Points Achieved	Points Possible	Notes
<b>D1. Optimal Valve Engineering</b>	4	4	
D1.1 Joints, Suffers, and Shells at 24 Inches or Greater	4	4	
D1.2 Non-Load Bearing Door and Window Headers Sealed for Load	4	4	
D1.3 Advanced Flaming Measures	4	4	
<b>D2. Construction Material Efficiencies</b>	4	4	
D2.1 Prefabricated Wall or Roof Framing (Pre-constructed and not based on a steel deck support)	4	4	
D2.2 Prefabricated Modular Units	4	4	
<b>D3. Engineered Beams and Headers</b>	4	4	
<b>D4. Insulated Headers</b>	4	4	
<b>D5. FSC-Certified Wood</b>	4	4	
D5.1 Dimensional Lumber, Studs, and Timber	4	4	
D5.2 Panel Products	4	4	
<b>D6. Solid Wall Systems</b>	4	4	
D6.1 At Least 90% of Floors	4	4	
D6.2 At Least 90% of Exterior Walls	4	4	
D6.3 At Least 90% of Roofs	4	4	
<b>D7. Energy Needs on Roof Trusses</b>	4	4	
<b>D8. Overhangs and Gutters</b>	4	4	
<b>D9. Reduced Pollution Entering the Home from the Garage</b>	4	4	
D9.1 Detached or No Garage	4	4	
D9.2 Mitigation Strategies for Attached Garage	4	4	
<b>D10. Structural Pest and Rat Control</b>	4	4	
D10.1 No Wood Located At Least 12 Inches Above the Soil	4	4	
D10.2 Wood Framing Treated With Sealer or Factory-Integrated, or Wall Materials Other Than Wood	4	4	
<b>D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)</b>	4	4	
<b>SECTION 6: EXTERIOR</b>			
<b>E1. Environmentally Preferable Decking</b>	4	4	
<b>E2. Flashing Installation Third-Party Verified</b>	4	4	
<b>E3. Rain Screen Wall System</b>	4	4	
<b>E4. Durable and Non-Combustible Cladding Materials</b>	4	4	
<b>E5. Durable and Fire Resistant Roofing Materials or Assembly</b>	4	4	
<b>E6. Vegetated Roof</b>	4	4	
<b>E7. Cool Roof</b>	4	4	
<b>SECTION 7: INSULATION</b>			
<b>F1. Insulation with 32% Post-Consumer or 80% Post-Industrial Recycled Content</b>	4	4	
F1.1 Walls and Floors	4	4	
F1.2 Ceilings	4	4	
<b>F2. Low-Emitting Insulation</b>	4	4	
F2.1 Walls and Floors	4	4	
F2.2 Ceilings	4	4	
<b>F3. Low GWP Insulation That Does Not Contain Fire Retardants</b>	4	4	
F3.1 Cavity Walls and Floors	4	4	
F3.2 Ceilings	4	4	
F3.3 Exterior and Garage Insulation	4	4	
<b>SECTION 8: PLUMBING</b>			
<b>G1. Efficient Distribution of Domestic Hot Water</b>	4	4	
G1.2 WaterSense Warme Line for Hot Water Distribution	4	4	
G1.3 Reduced Efficiency in Hot Water Distribution	4	4	
<b>G2. Indoor Water-Efficient Fixtures</b>	4	4	
G2.1 WaterSense Showerheads 1.75 gpm	4	4	
G2.2 WaterSense Bathroom Faucets with a 1.0 gpm	4	4	
G2.3 WaterSense Toilets with a Maximum Performance (MP) Threshold of No Less Than 1.6 Gallons per Flush (GPF) or 1.1 gpf	4	4	
G2.4 Urinals with Flush Rate of 0.1 gpf	4	4	
<b>G3. Pre-Flushing for Graywater System</b>	4	4	
<b>G4. Operational Graywater System</b>	4	4	
<b>G5. Thermostatic Shower Shut-Off Valve</b>	4	4	
<b>G6. Submeter Water for Tenants</b>	4	4	
<b>SECTION 9: MECHANICAL VENTILATION AND AIR CONDITIONING</b>			
<b>H1. All Electric or Sealed Combustion Units</b>	4	4	
H1.1 Sealed Combustion Furnace or Heat Pump	4	4	
H1.2 Sealed Combustion or Heat Pump Water Heater	4	4	
<b>H2. High-Performing Zoned Hydronic Radiant Heating System</b>	4	4	
<b>H3. Effective Ductwork</b>	4	4	
H3.1 Duct Leaks or Duct Joints and Seams	4	4	
H3.2 Pressure Balance for Ductwork System	4	4	
<b>H4. Advanced Practices for Cooling</b>	4	4	
H4.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms	4	4	
H4.2 Operable Windows and Slights Located to Induce Cross Ventilation in At Least One Room in 90% of Units	4	4	All units have operable windows.
<b>H5. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality</b>	4	4	
H5.1 Meet ASHRAE Standard 62.2-2019 Ventilation Residential Standards	4	4	
H5.2 Advanced Ventilation Standards	4	4	
H5.3 Outdoor Air is Filtered and Tempered	4	4	
<b>H6. Effective Range Design and Installation</b>	4	4	
H6.1 Effective Range Hood Design and Design	4	4	
H6.2 Automatic Range Hood Control	4	4	
<b>H7. High Efficiency HVAC Filter (MERV 16+)</b>	4	4	
<b>H8. Advanced Refrigerants</b> (See general building code for alignment)	4	4	

SECTION 10: APPLIANCES AND LAUNDRY	Points Achieved	Points Possible	Notes
<b>J1. Onsite Renewable Generation (PV, Micro Hydr, and Wind)</b>	4	4	
<b>J2. Low Carbon Homes</b>	4	4	
J2.1 Near-Zero Energy Home (at least 60% of annual site energy use)	4	4	
J2.2 Near-Zero Energy Home with Flexibility Strategies (at least 10% of annual energy use)	4	4	
<b>J3. Battery Storage and Thermal Load Shifting</b>	4	4	
J3.1 Battery Energy Storage System (BESS)	4	4	
J3.2 Auxiliary Thermal Energy Storage System or Pre-Heating of Hot Water	4	4	
J3.3 Pre-Cooling Equipment for AC	4	4	
<b>J4. Solar Hot Water Systems to Preheat Domestic Hot Water</b>	4	4	
<b>SECTION 11: BUILDING PERFORMANCE AND TESTING</b>			
<b>J5. Third-Party Verification of Quality of Insulation Installation</b>	4	4	
<b>J6. Supply and Return Air Flow Testing</b>	4	4	
<b>J7. Compartmentalization of Units</b> (See Prerequisite for Section 11.1 and 11.2)	4	4	
<b>J8. All Electric or Combustion Appliance Safety Testing</b>	4	4	
<b>J9. Building Energy Performance</b>	4	4	All Electric Compliance - Multifamily must be all-electric and meet T24. Climate Zone 4 - Coastal / Bay Area (with marine). EIR/EIS compliance margin from Net Energy Use Summary (do not include renewables).
J9.1 All Electric Homes Meets or Outperforms Title 24 Part 6 (Pass/Fail)	4	4	
J9.2 Non-Residential Spaces Outperforms Title 24 (See Prerequisite for Section 11.1)	4	4	
<b>J10. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst (Required)</b>	4	4	
<b>J11. Participation in Utility Program with Third-Party Plan Review</b>	4	4	
<b>J12. ENERGY STAR® for Homes</b>	4	4	
<b>J13. EPA Indoor AirPlus Certification</b>	4	4	
<b>SECTION 12: INTERIORS</b>			
<b>K1. Entrypaths Designed to Reduce Tracked-In Contaminants</b>	4	4	
K1.1 Entrypaths for Individual Units (Entrypaths are subject to a minimum pre-purchase cleaning to show owner)	4	4	
K1.2 Entrypaths to Buildings (Entrypaths are subject to a minimum pre-purchase cleaning to show owner)	4	4	
<b>K2. Zero-VOC Interior Wall and Ceiling Paints</b>	4	4	
<b>K3. Low-VOC Coales and Adhesives</b>	4	4	
<b>K4. Environmentally Preferable Materials for Interior Finish</b>	4	4	
K4.1 Cabinets	4	4	
K4.2 Interior Trim	4	4	
K4.3 Shelving	4	4	
K4.4 Doors	4	4	
K4.5 Countertops	4	4	
<b>K5. Formaldehyde Emissions in Interior Finish Exceed CARB</b>	4	4	
K5.1 Doors	4	4	
K5.2 Cabinets and Countertops	4	4	
K5.3 Interior Trim and Shelving	4	4	
<b>K6. Products That Comply With the Health Product Declaration Open Standard</b>	4	4	
<b>K7. Indoor Air Formaldehyde Testing</b> (See Prerequisite for Section 12.1)	4	4	
<b>K8. Comprehensive Inclusion of Low-Emitting Finishes</b>	4	4	
K8.1 Durable Cabinet Construction (Painted by customer and show, installed on-site)	4	4	
K8.2 Durable Cabinet Hardware (See Prerequisite for Section 12.1)	4	4	
<b>K9. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes</b>	4	4	
<b>SECTION 13: FLOORING</b>			
<b>L1. Environmentally Preferable Flooring</b>	4	4	
<b>L2. Durable Flooring</b> (See Prerequisite for Section 13.1)	4	4	
<b>L3. Thermal Mass Flooring</b>	4	4	
<b>SECTION 14: APPLIANCES AND LAUNDRY</b>			
<b>M1. ENERGY STAR® Dishwasher</b>	4	4	
<b>M2. Efficient Clothes Washing and Drying</b>	4	4	
M2.1 CEE-Rated or ENERGY STAR® Clothes Washer	4	4	
M2.2 ENERGY STAR® Dryer	4	4	
M2.3 Solar Dryer/Laundry Lines	4	4	
<b>M3. Size-Efficient ENERGY STAR® Refrigerator</b>	4	4	
<b>M4. Permanent Centers for Waste Reduction Strategies</b>	4	4	
M4.1 Bulk in Recycling Center	4	4	
M4.2 Bulk in Composting Center	4	4	
M4.3 Triple Trash Chutes in Multifamily Building (Minimum one level)	4	4	
<b>M5. Lighting Efficiency</b>	4	4	
M5.1 High-Efficiency Lighting	4	4	
M5.2 Lighting System Designed to EPA Footcandle Standards or Designed by Lighting Consultant	4	4	
<b>M6. Electric Vehicle Charging Stations and Infrastructure</b>	4	4	
<b>M7. Central Laundry</b>	4	4	Units have individual laundry.
<b>M8. Gearless Elevator</b>	4	4	
<b>M9. Gas Infrastructure Removed for Major Alterations</b>	4	4	
<b>M10. All-Electric Commercial Kitchen</b>	4	4	

M. COMMUNITY					
<b>M1. Smart Development</b>					
Yes	N1.1 Infill Site	5	5	1	
No	N1.2 Designated Brownfield Site	5	5	1	
Yes	N1.3 Conserve Resources by Increasing Density	4	5	2	2
No	N1.4 Cluster Homes for Land Preservation	5	5	1	
No	N1.5 Home Size Efficiency	4	5	10	
Yes	Enter the area of the home, in square feet	Average unit size = 730 sq. footable square footage			
2	Enter the number of bedrooms	Maximum 2 bedroom unit provided.			
<b>M2. Home(s) Development Located Near Major Transit Stop</b>					
Yes	M2.1 Within 1 Mile of a Major Transit Stop	1	5		
Yes	M2.2 Within 1/2 mile of a Major Transit Stop	4	5		
<b>M3. Pedestrian and Bicycle Access</b>					
Yes	M3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	5	5		
1	Enter the number of Tier 1 services				
5	Enter the number of Tier 2 services				
No	M3.2 Connection to Pedestrian Pathways	1	5		
Yes	M3.3 Traffic Calming Strategies	5	5		
Yes	M3.4 Sidewalk Buffering from Roadways and 5-8 Feet Wide	1	5		
Yes	M3.5 Bicycle Storage for Residents	5	5		
Yes	M3.6 Bicycle Storage for Non-Residents	1	5		
1 (minimum)	M3.7 Protected Parking Capacity	5	5		0.82 spaces per unit provided.
<b>M4. Outdoor Gathering Places</b>					
Yes	M4.1 Public or Semi-Public Outdoor Gathering Places for Residents	1	5		
No	M4.2 Public Outdoor Gathering Places with Direct Access to Community Services	4	5		
<b>M5. Social Interaction</b>					
Yes	M5.1 Resident Enters with Views to Galleries	5	5		
Yes	M5.2 Entrance Visible from Street and/or Other Public Areas	1	5		
No	M5.3 Porches Oriented to Street and Public Space	4	5		
<b>M6. Passive Solar Design</b>					
No	M6.1 Heating Load	5	5		
No	M6.2 Cooling Load	4	5	2	
<b>M7. Adaptable Building</b>					
Yes	M7.1 Universal Design Principles in Units	5	5	1	
No	M7.2 Full-Function Independent Rental Unit	5	5		
<b>M8. Resiliency</b>					
No	M8.1 Climate Impact Assessment (see Appendix, Section 4.00, Item 10, of General Conditions)	5	5	1	5
No	M8.2 Strategies to Address Assessment Findings	4	5	1	5
<b>M9. Social Equity</b>					
No	M9.1 Diverse Workforce (Diverse Owners or Leaseholders)	5	5		5
No	M9.2 Community Location (Workplaces/Services)	5	5	1	
<b>M10. Affordability</b>					
No	M10.1 Dedicated Units for Households Making 80% of AMI or Less	5	5		10% of total units are dedicated to lower income families.
No	M10.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less	5	5		
No	M10.3 At Least 20% of Units at 120% AMI or Less are For Sale	4	5		
<b>M11. Mixed-Use Development</b>					
No	M11.1 Low/Work Units include a Dedicated Commercial Entrance	5	5		
Yes	M11.2 At Least 2% of Development Floor Space Supports Mixed Use	5	5		
No	M11.3 Half of the Non-Residential Floor Space is Dedicated to Community Services	4	5		

O. GREEN						
Yes	O1. GreenPoint Rated Checklist in Blueprints	1	5	10	10	
Yes	O2. Pre-Construction Kickoff Meeting with Owner and Subcontractors	3	5	1	10	
Yes	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs	5	5	10	10	
No	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals	5	5	10	10	
<b>O5. Home System Monitors</b>						
No	O5.1 Home Energy System Monitor	4	5			
No	O5.2 Home Water System Monitor	5	5		1	
No	O5.3 Home Indoor Air Quality System Monitor	5	5			
No	O5.4 Home Outdoor Air Quality System Monitor	5	5	1		
<b>O6. Green Building Education</b>						
No	O6.1 Marketing Green Building	5	5			
No	O6.2 Green Building Signage	5	5		10	
Yes	O7. Green Appraisal Attendance or Energy Efficiency Score	1	5			
No	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation	5	5	1		
Yes	O9. Residents Are Offered Free or Discounted Transit Passes	5	5			
Yes	O10. Vandalism Deterrence Practices and Vandalism Management Plan	5	5	1		
Yes	O11. Smokefree Housing	5	5			
Yes	O12. Integrated Pest Management Plan	5	5	1		
<b>P. PERFORMANCE</b>						
<b>P1. Acoustics: Noise and Vibration Control</b>						
	Enter the number of Tier 1 practices					
	Enter the number of Tier 2 practices					
<b>P2. Mixed-Use Design Strategies</b>						
No	P2.1 Tenant Improvement Requirements for Build-Out	5	5	1	1	
Yes	P2.2 Commercial Loading Area Separated for Residential Area	1	5			
No	P2.3 Separate Mechanical and Plumbing Systems	5	5			
<b>P3. Commissioning</b>						
No	P3.1 Design Phase	5	5	1	1	
No	P3.2 Construction Phase	5	5	1		
No	P3.3 Post-Construction Phase	5	5	1		
No	P4. Building Envelope Testing	5	5	1	1	
<b>Summary</b>						
		Total Available Points in Specific Categories				
		100	48	100	97	57
		Minimum Points Required in Specific Categories				
		50	25	25	25	25
<b>Total Points Achieved</b>		121	142	114	114	114

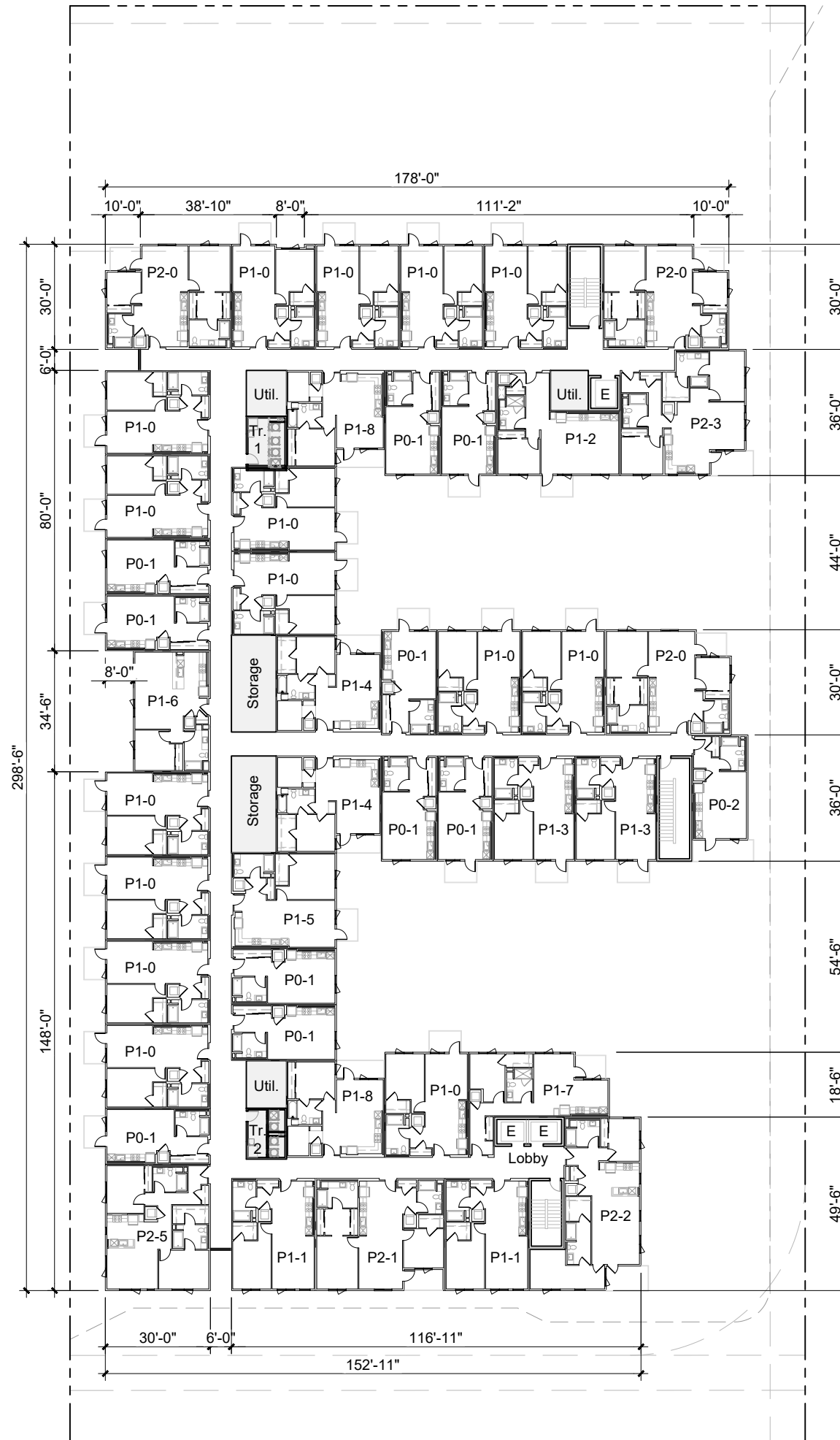


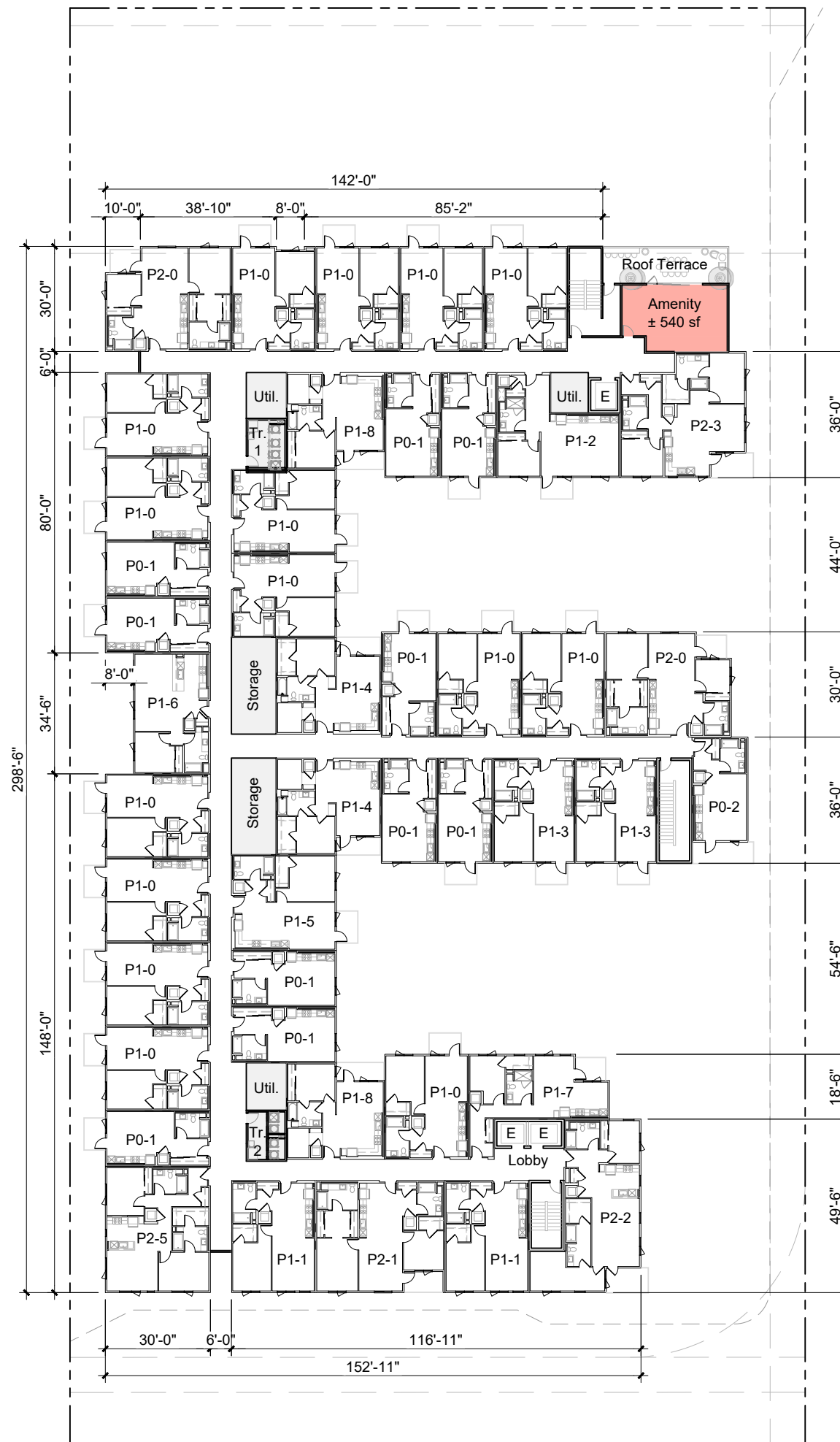




**NOTE:**

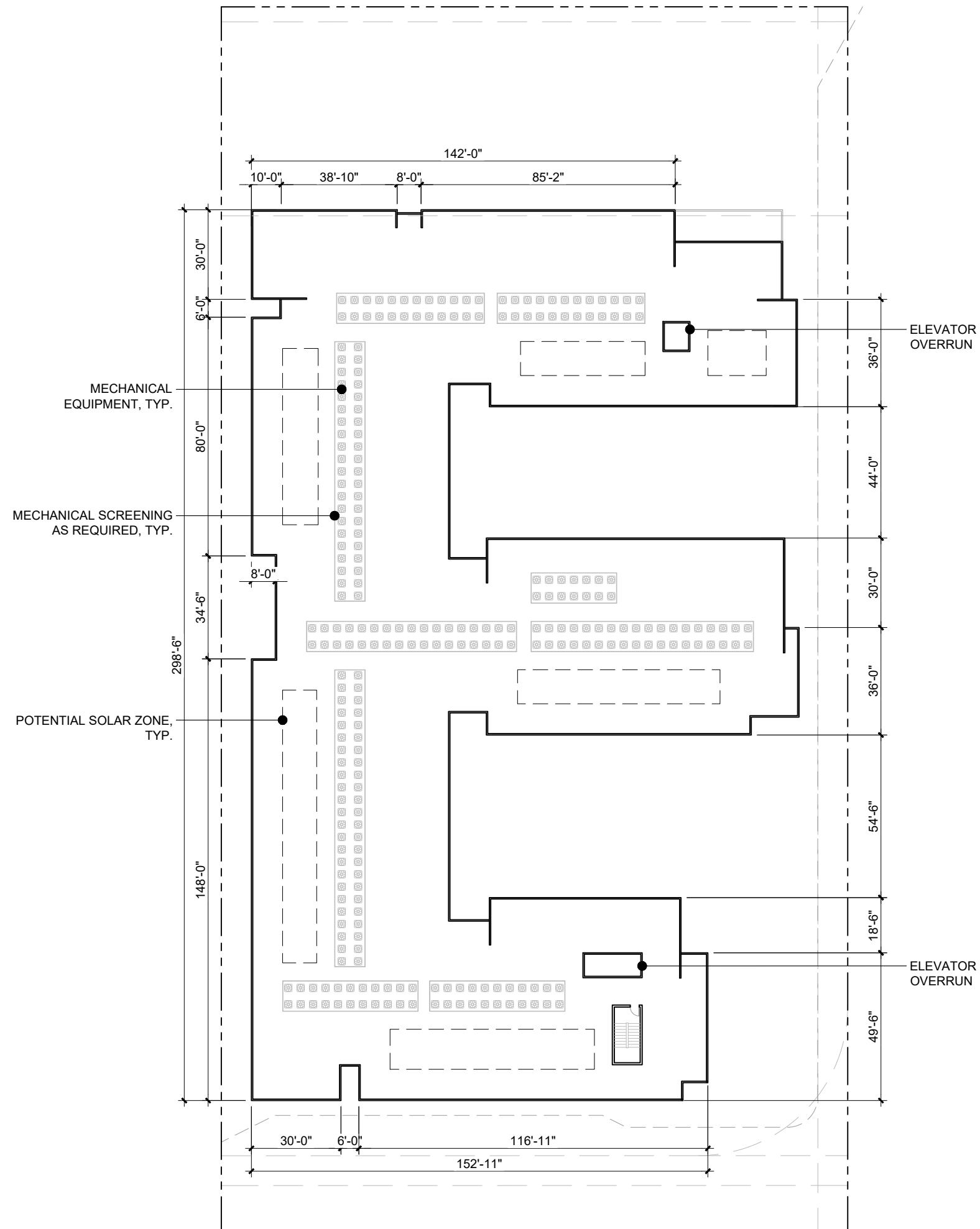
Refer to Landscape Sheet L1.1:  
 Landscape Plan Level 3 & 8 for  
 podium courtyard design.

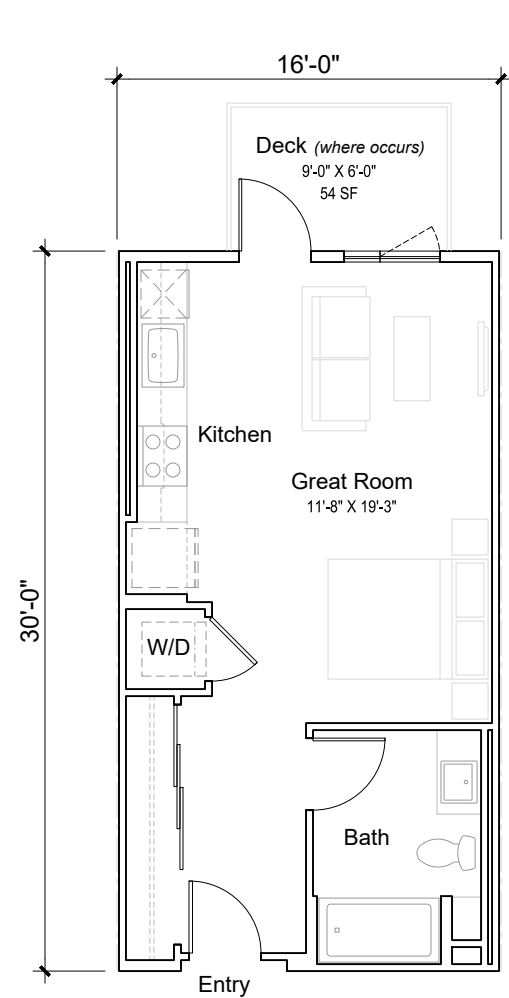




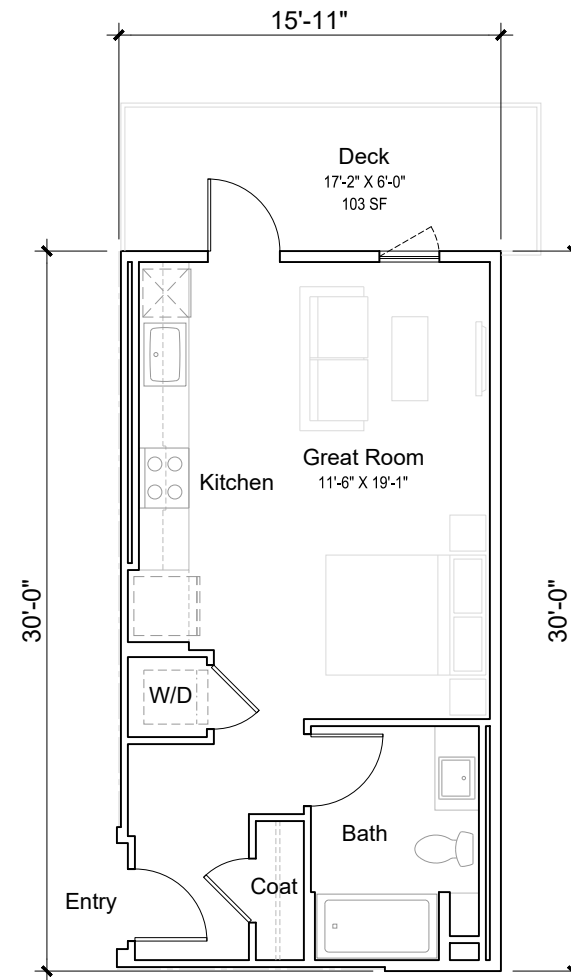
**NOTE:**

Refer to Landscape Sheet L1.1:  
 Landscape Plan Level 3 & 8 for roof  
 terrace design.

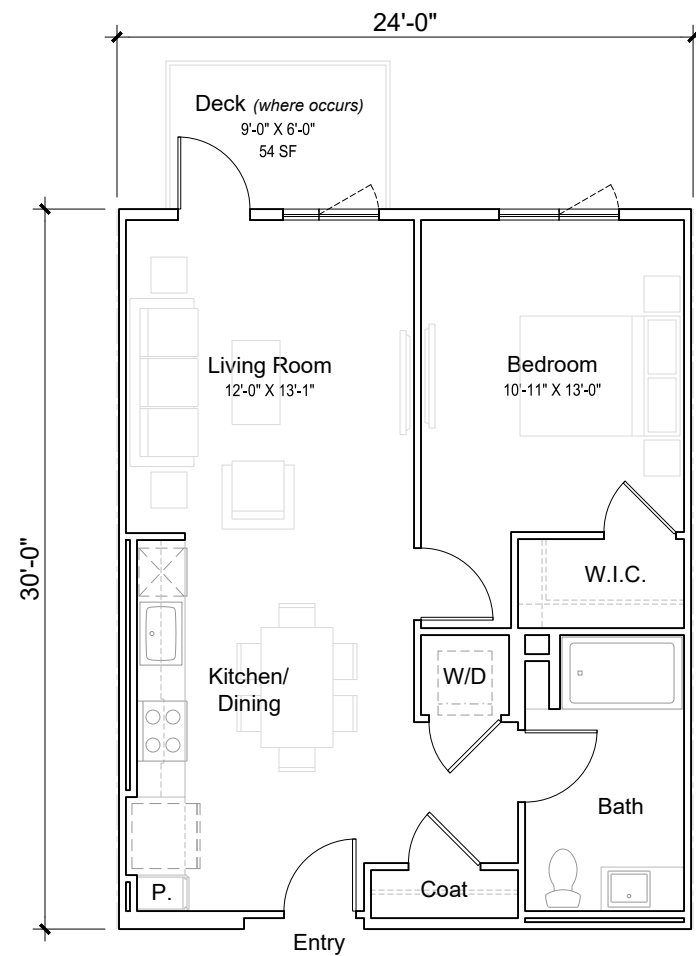




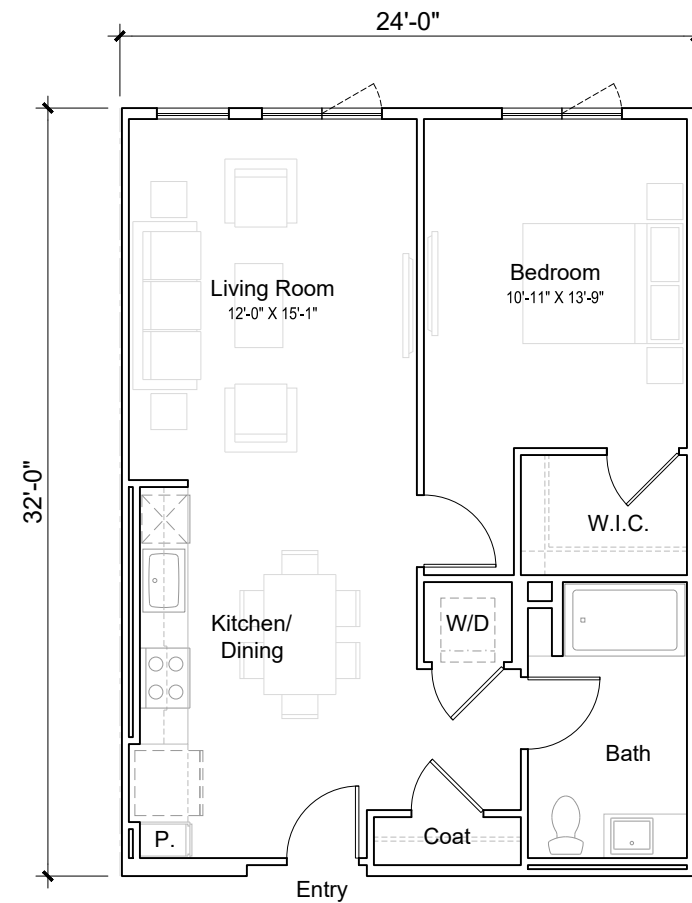
**P0-1**  
STUDIO  
478 NRSF  
No. of Occurrences: 58



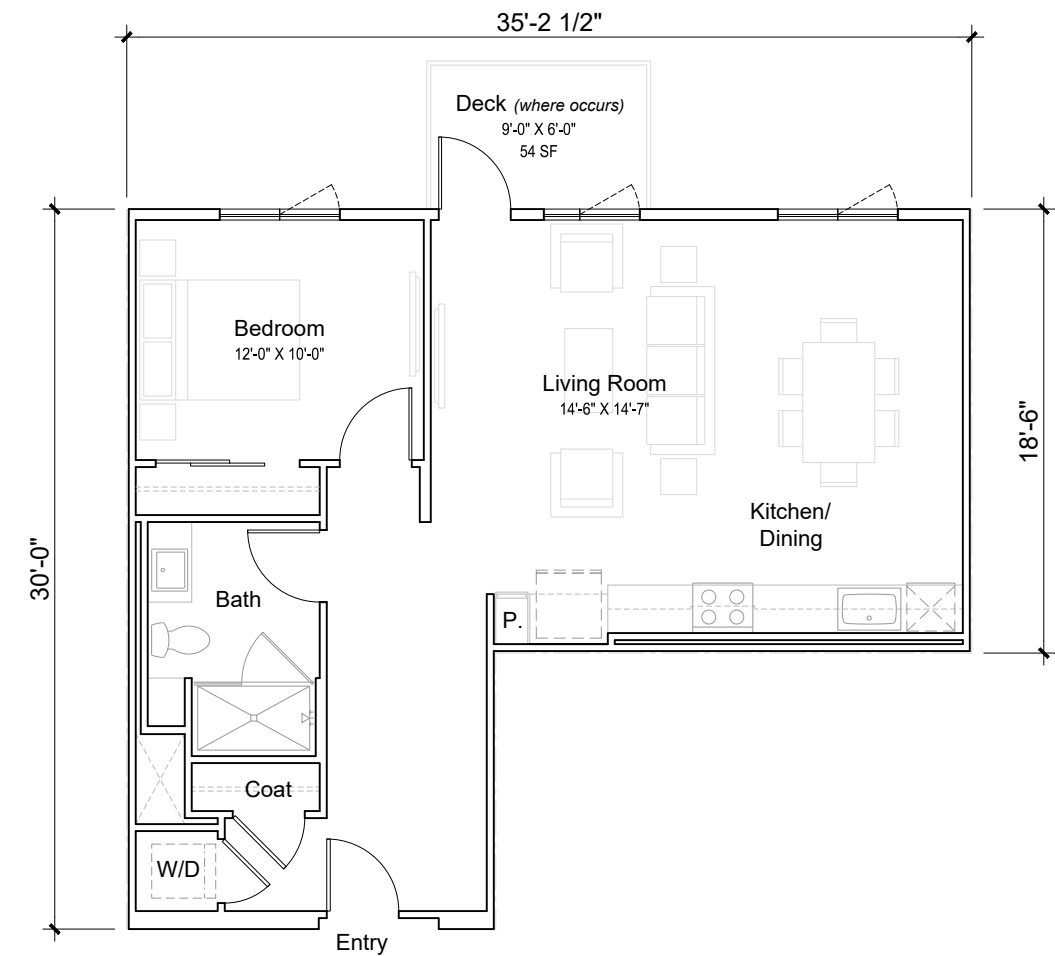
**P0-2**  
STUDIO  
475 NRSF  
No. of Occurrences: 6



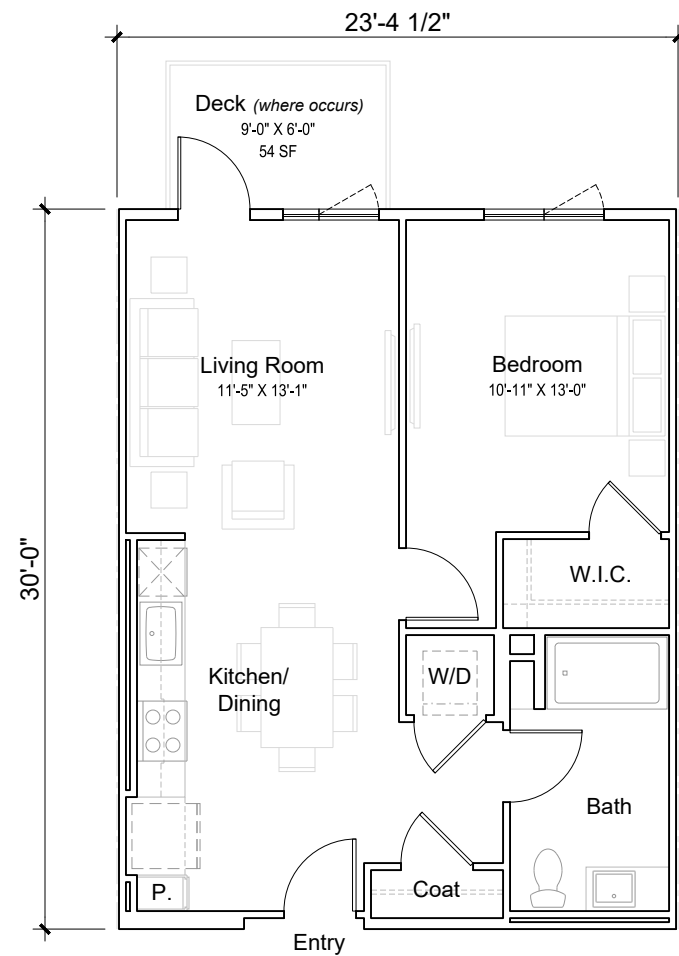
**P1-0**  
 1 BDRM (1BD / 1BA)  
 718 NRSF  
 No. of Occurrences: 89



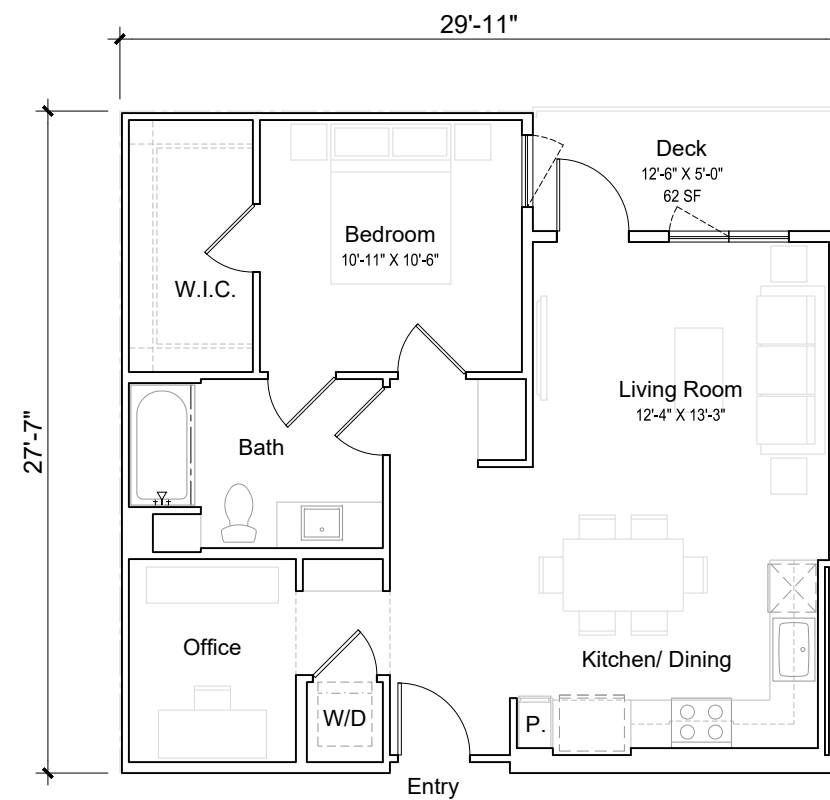
**P1-1**  
 1 BDRM (1BD / 1BA)  
 766 NRSF  
 No. of Occurrences: 12



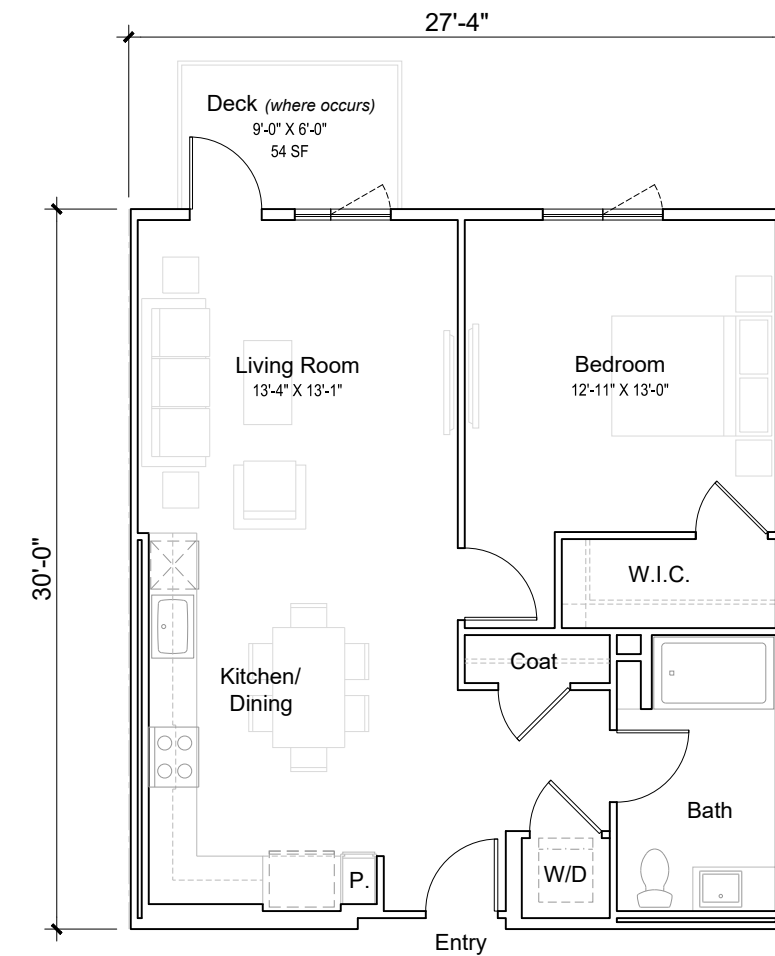
**P1-2**  
 1 BDRM (1BD / 1BA)  
 826 NRSF  
 No. of Occurrences: 6



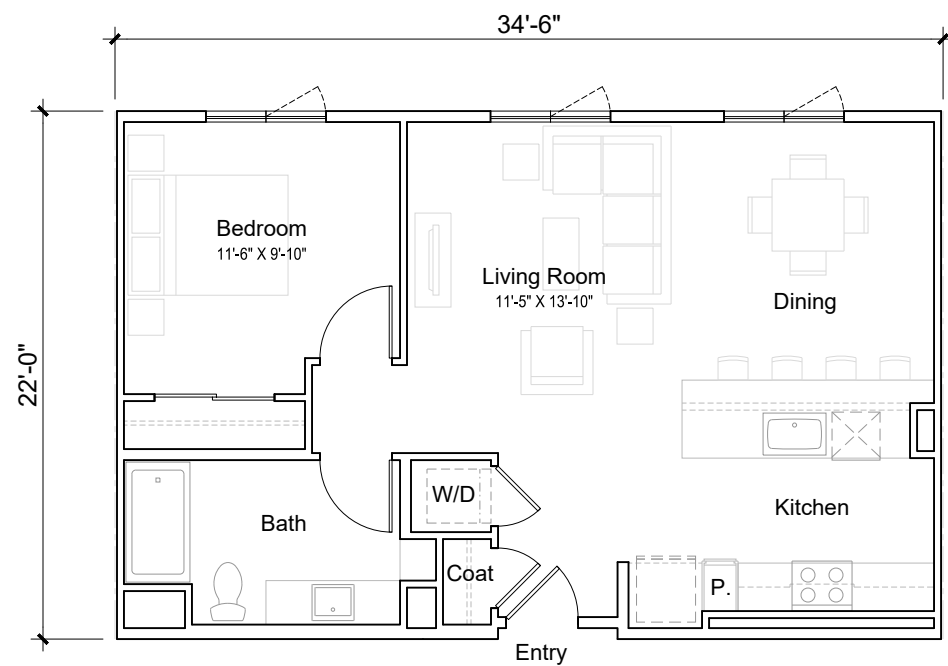
**P1-3**  
 1 BDRM (1BD / 1BA)  
 699 NRSF  
 No. of Occurrences: 12



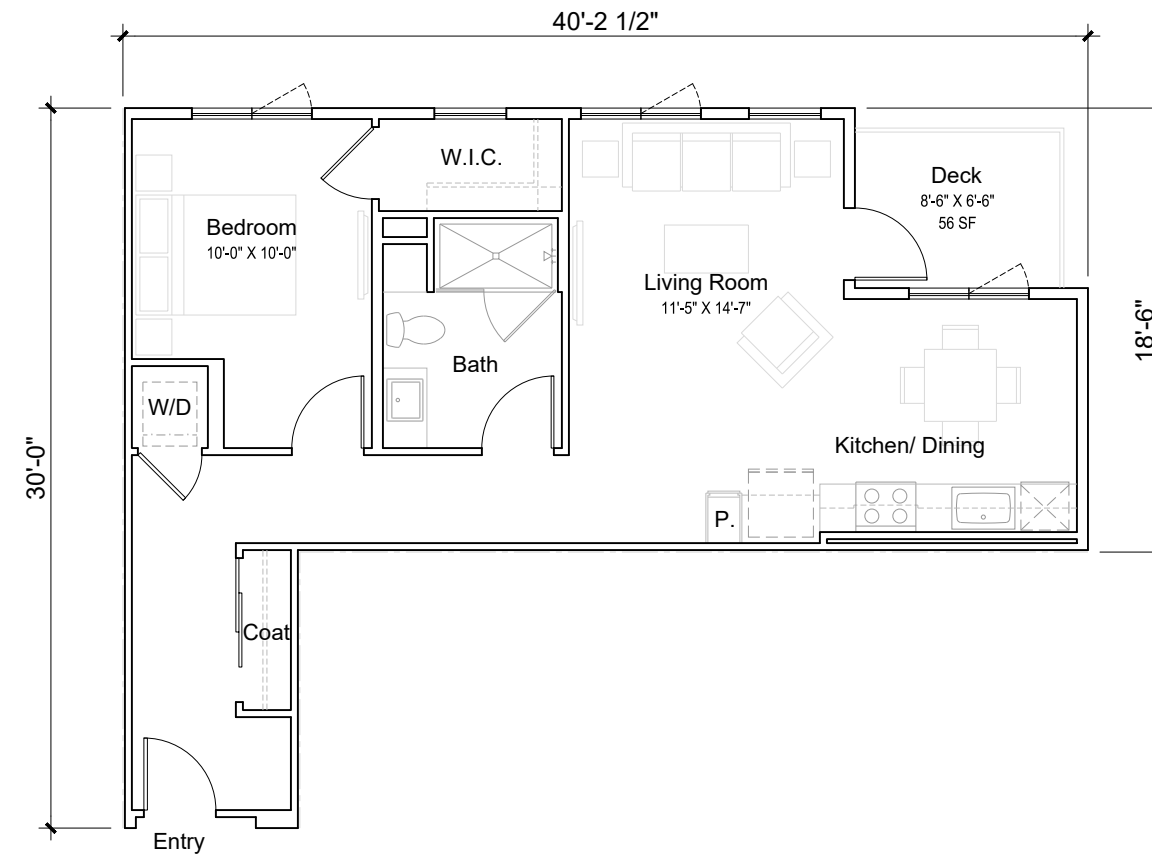
**P1-4**  
 1 BDRM (1BD / 1BA)  
 759 NRSF  
 No. of Occurrences: 12



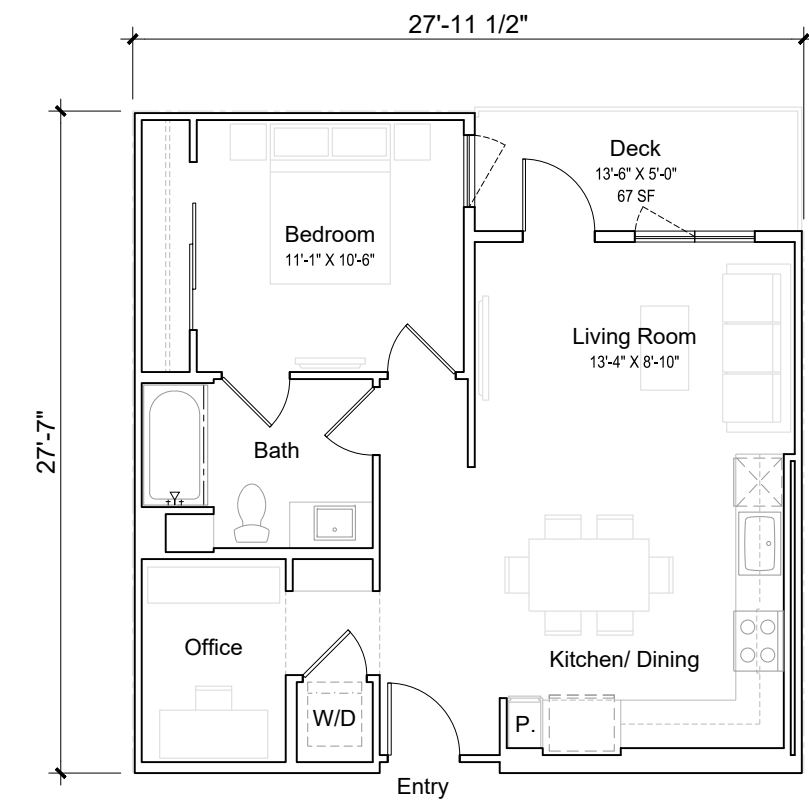
**P1-5**  
 1 BDRM (1BD / 1BA)  
 817 NRSF  
 No. of Occurrences: 6



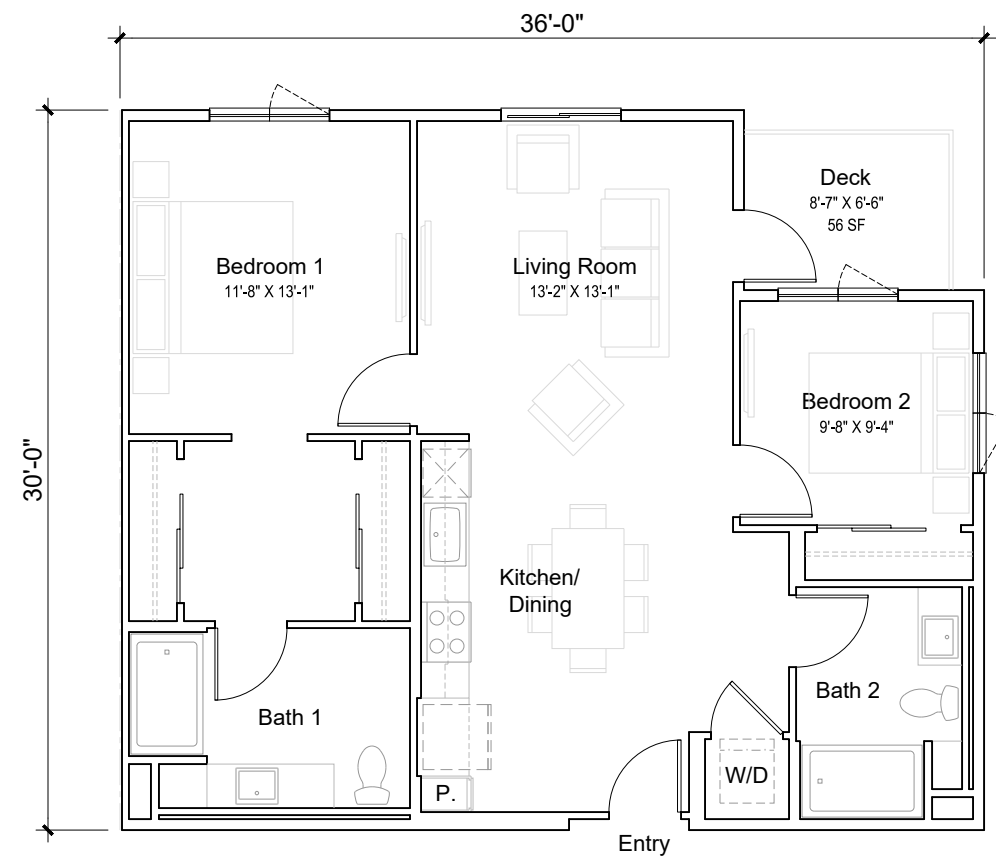
**P1-6**  
 1 BDRM (1BD / 1BA)  
 757 NRSF  
 No. of Occurrences: 6



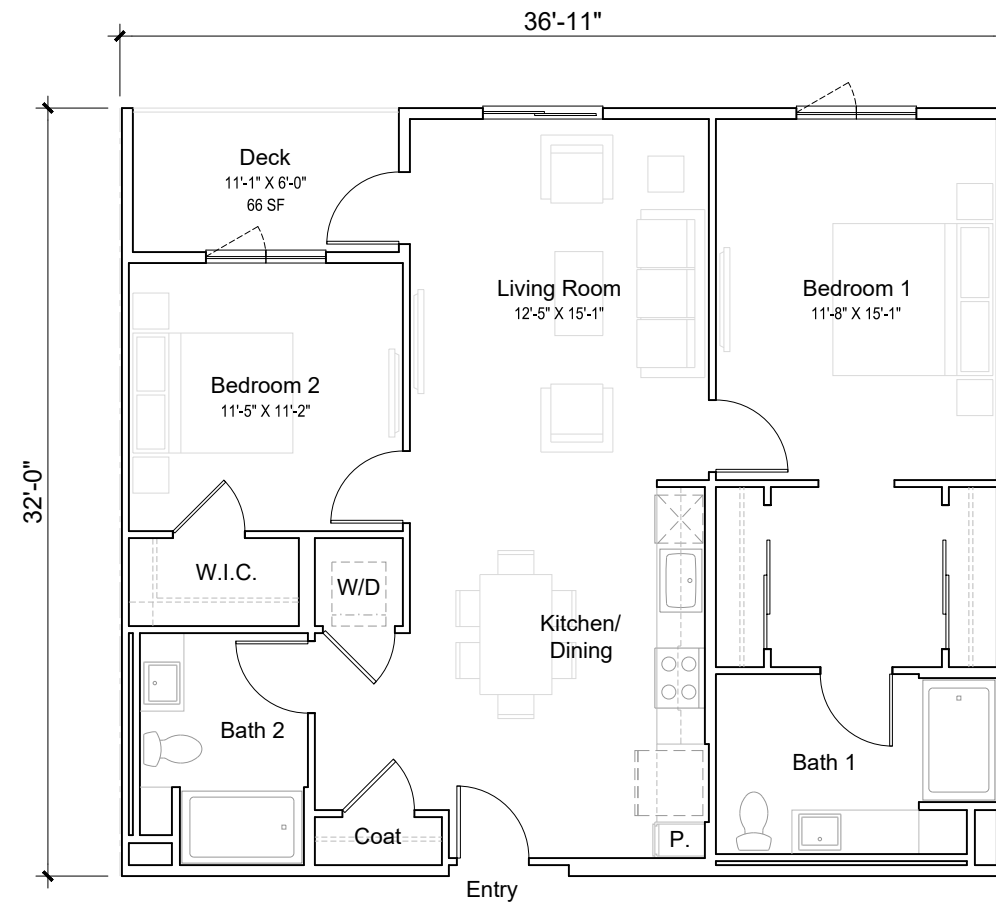
**P1-7**  
 1 BDRM (1BD / 1BA)  
 754 NRSF  
 No. of Occurrences: 5



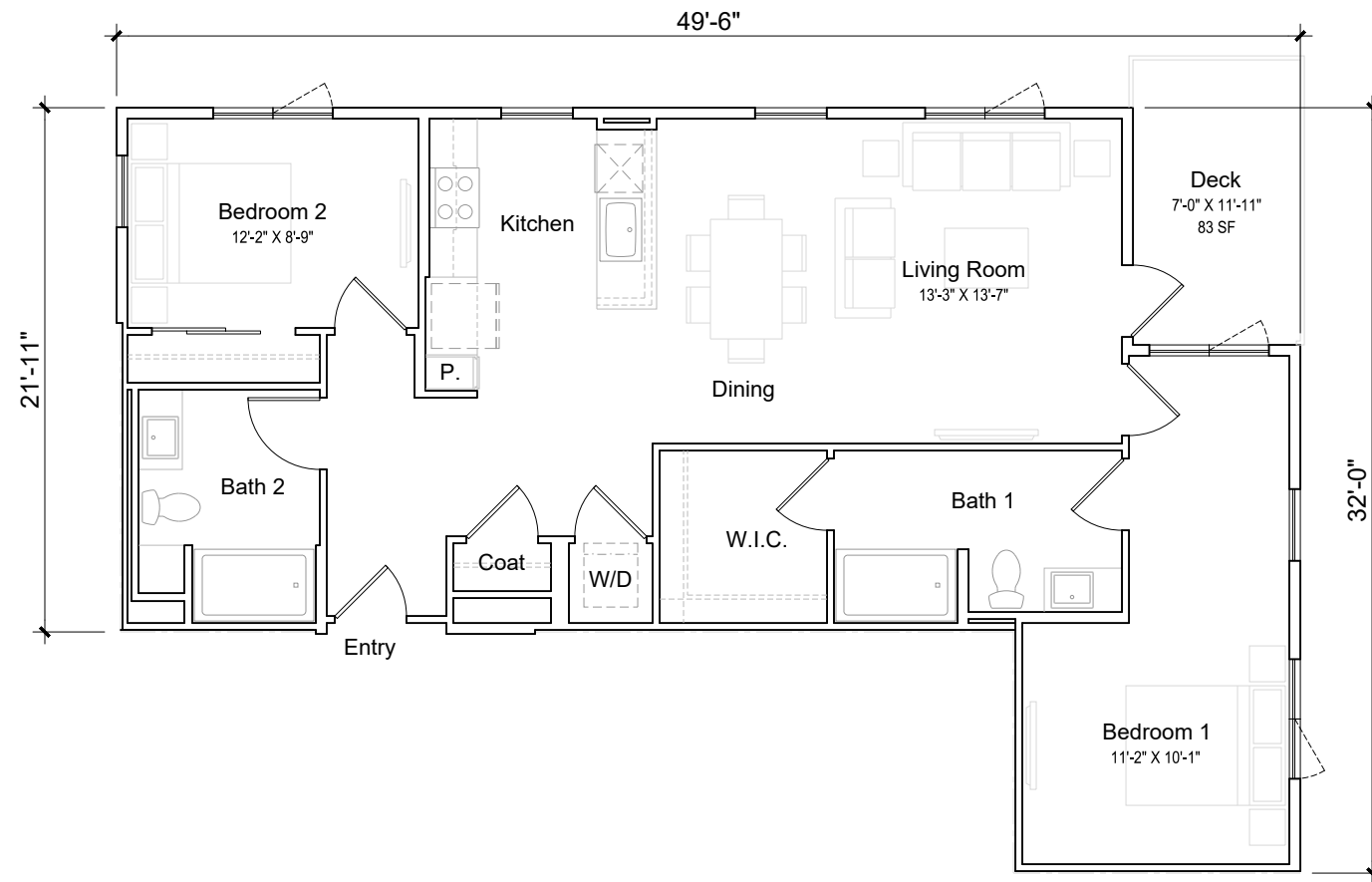
**P1-8**  
 1 BDRM (1BD / 1BA)  
 700 NRSF  
 No. of Occurrences: 12



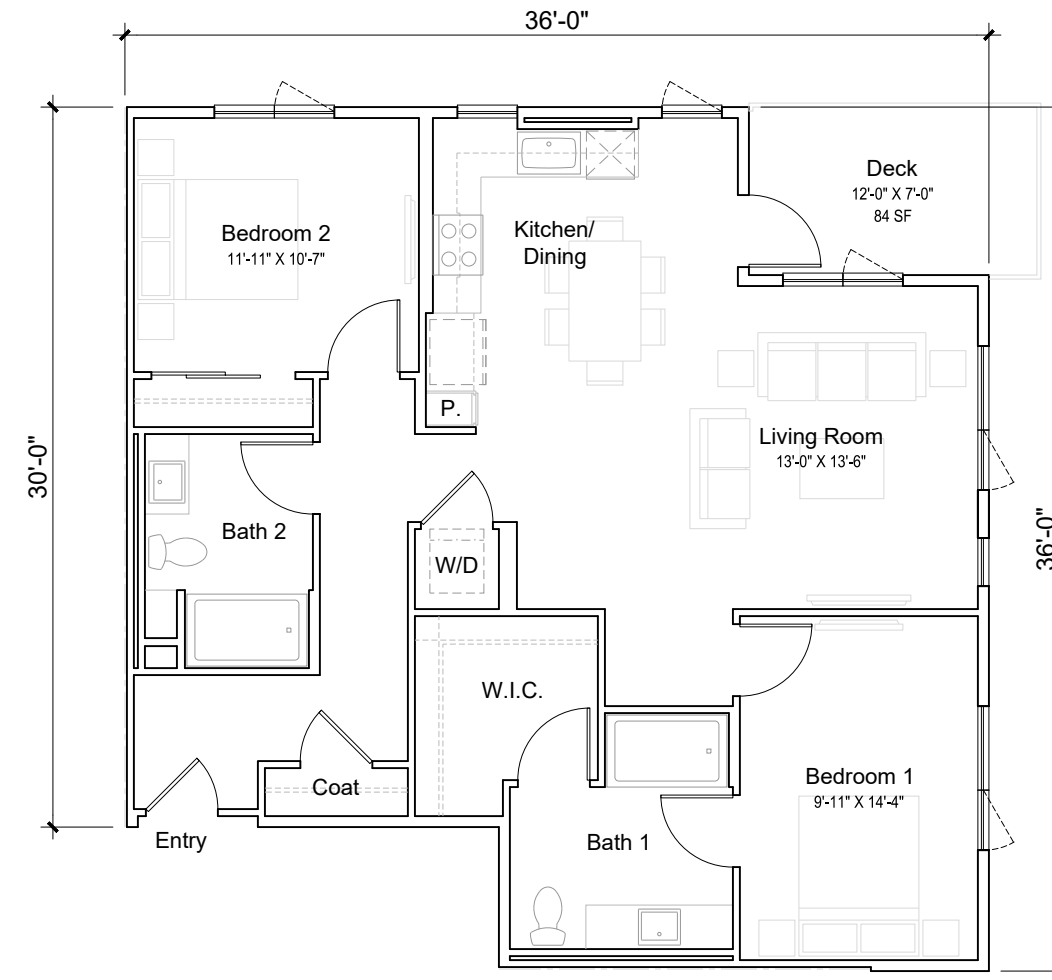
**P2-0**  
 2 BDRM (2BD / 2BA)  
 1003 NRSF  
 No. of Occurrences: 17



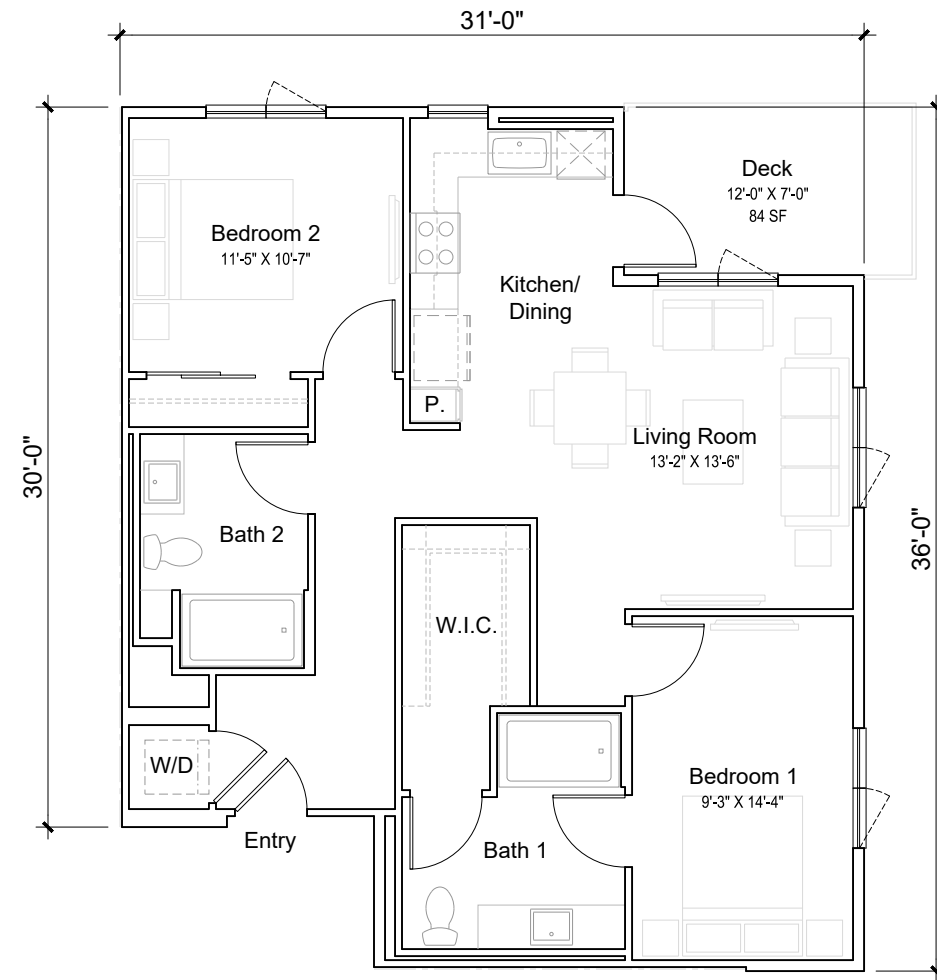
**P2-1**  
 2 BDRM (2BD / 2BA)  
 1109 NRSF  
 No. of Occurrences: 6



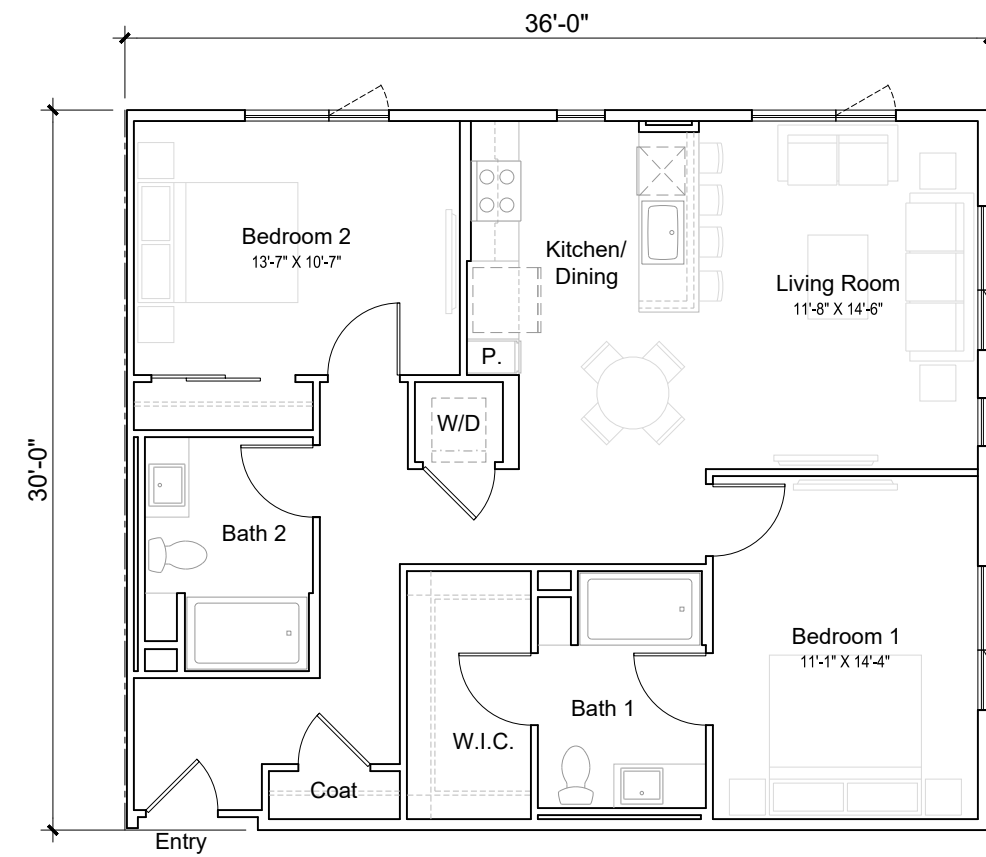
**P2-2**  
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 1135 NRSF  
 No. of Occurrences: 6



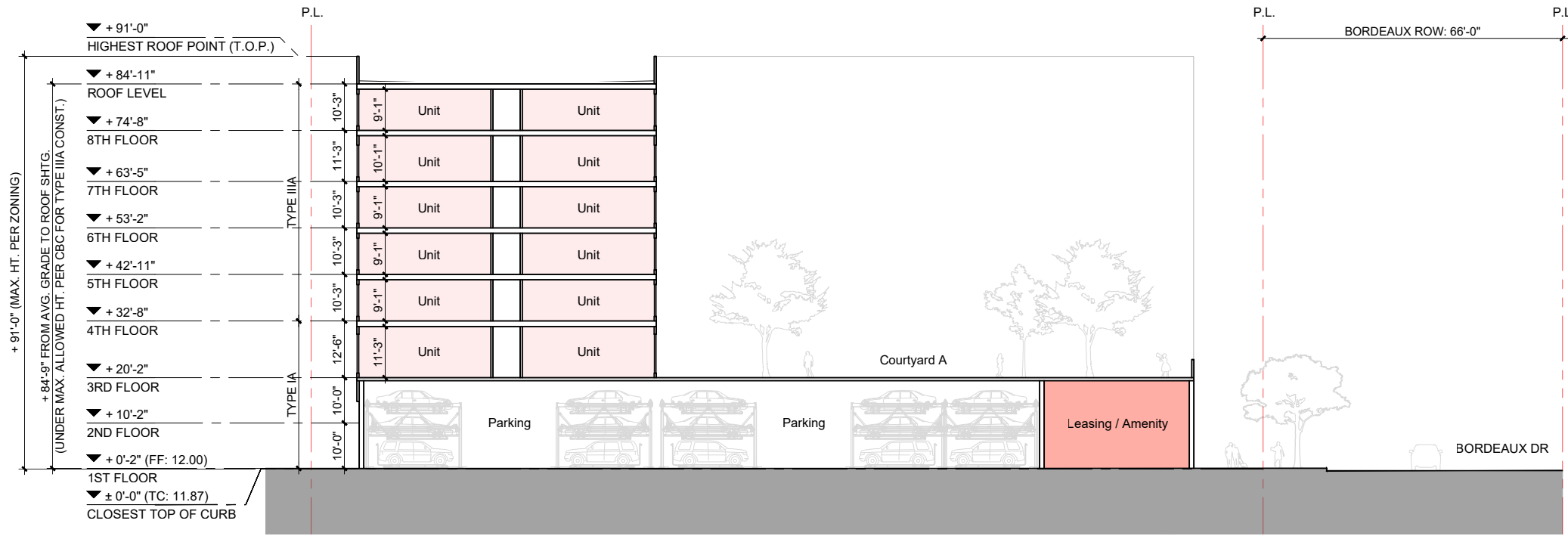
**P2-3**  
 2 BDRM (2BD / 2BA)  
 1129 NRSF  
 No. of Occurrences: 5



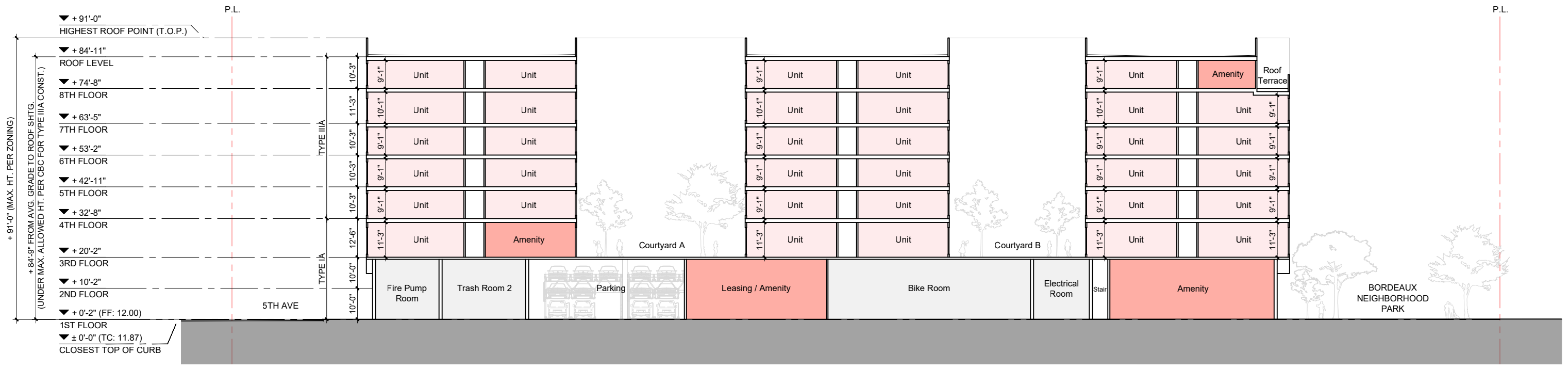
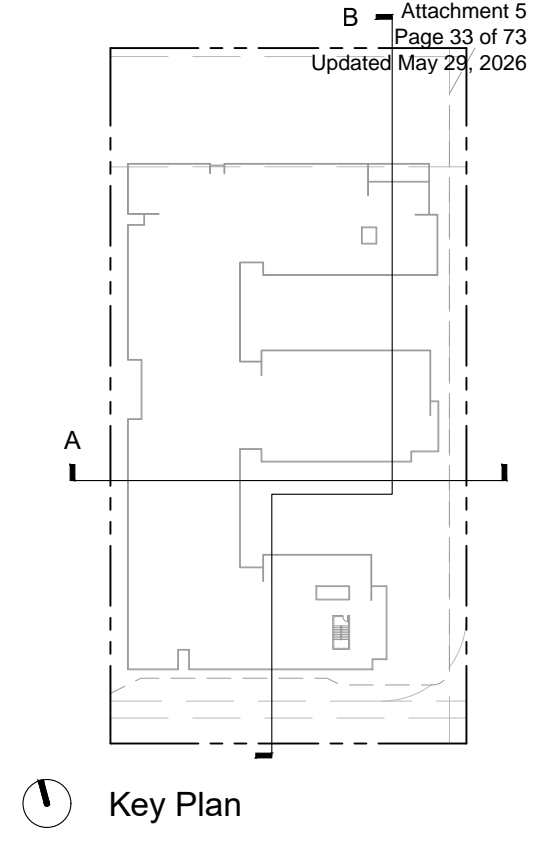
**P2-4**  
 2 BDRM (2BD / 2BA)  
 978 NRSF  
 No. of Occurrences: 1



**P2-5**  
 2 BDRM (2BD / 2BA)  
 1077 NRSF  
 No. of Occurrences: 6



1. Section A



2. Section B

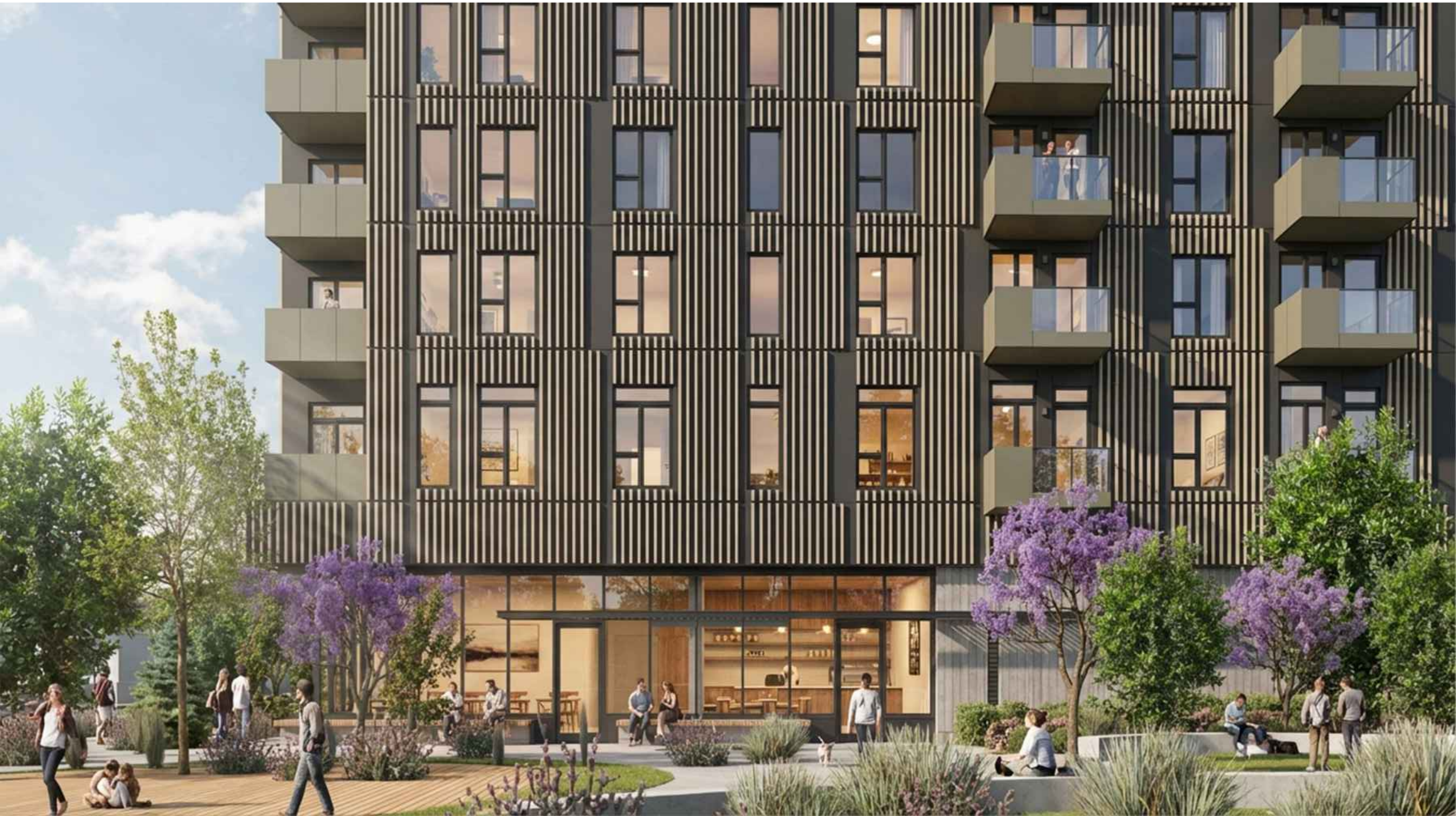
















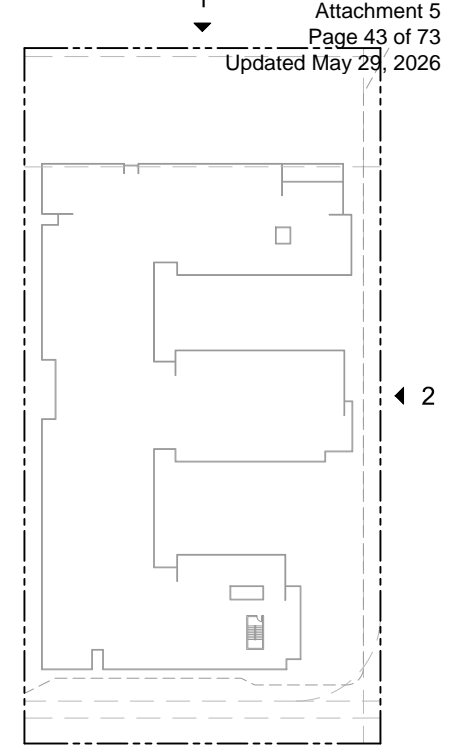




1. North Elevation - Facing Bordeaux Neighborhood Park

**Bird Safe Design Notes**  
(per Moffet Park Specific Plan Ch. 5.4.2)

1. The project will implement glazing treatment to all proposed glass railings and surfaces per the MPSP specifications.
2. As per MPSP 5.4.2.3., the Northern facade shall have treated glazing at all heights as it is within 300 ft of Bordeaux Neighborhood Park (which is larger than one acre in size).
3. For the remaining facades, at a minimum no more than 10% of the surface of the total exterior facade between the ground and 60 ft shall have untreated glazing.
4. As per MPSP 5.4.2.3.a, bird-friendly glazing treatments shall include elements with a min. horizontal width of 1/4 inch and max. vertical height of 1/8 inch with a max. vertical spacing of 2 inches and max. horizontal spacing of 2 inches. Reflectivity of glass is ensured to be below 15%



Key Plan



2. East Elevation - Facing Bordeaux Dr

**Material Legend**

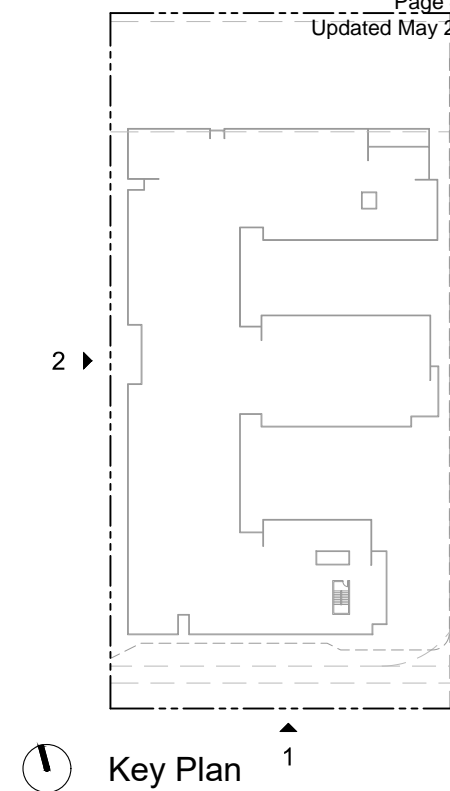
S1	Stucco - SW 9542 Natural White (or sim.)
S2	Stucco - SW 7019 Gauntlet Gray (or sim.)
S3	Stucco - SW 7069 Iron Ore (or sim.)
S4	Stucco - SW 6038 Truly Taupe (or sim.)
S5	Stucco - SW 6039 Poised Taupe (or sim.)
B1	Cementitious Flat Panel - Black Water (or sim.)
B2	Cementitious Board and Batten - Navajo Beige (or sim.)
C1	Fluted Concrete
C2	Board-form Concrete
W1	Vinyl Window - Black
W2	Storefront - Black
W3	Storefront - SW 7649 Silverplate (or sim.)
D1	Fiberglass Door - Black
G1	Glass Railing
M1	Flat Metal Panel Railing - SW 9542 Natural White (or sim.)
M2	Flat Metal Panel Railing - SW 6179 Artichoke (or sim.)
M3	Flat Metal Panel Railing - SW 9100 Umber Rust (or sim.)
M4	Flat Metal Panel Railing - SW 7030 Anew Gray (or sim.)
A1	Metal Awning
A2	Metal Awning with Wood Panel Soffit
L1	Louver Screening
L2	Decorative Gate



1. South Elevation - Facing 5th Ave

**Bird Safe Design Notes**  
(per Moffet Park Specific Plan Ch. 5.4.2)

1. The project will implement glazing treatment to all proposed glass railings and surfaces per the MPSP specifications.
2. As per MPSP 5.4.2.3., the Northern facade shall have treated glazing at all heights as it is within 300 ft of Bordeaux Neighborhood Park (which is larger than one acre in size).
3. For the remaining facades, at a minimum no more than 10% of the surface of the total exterior facade between the ground and 60 ft shall have untreated glazing.
4. As per MPSP 5.4.2.3.a, bird-friendly glazing treatments shall include elements with a min. horizontal width of 1/4 inch and max. vertical height of 1/8 inch with a max. vertical spacing of 2 inches and max. horizontal spacing of 2 inches. Reflectivity of glass is ensured to be below 15%



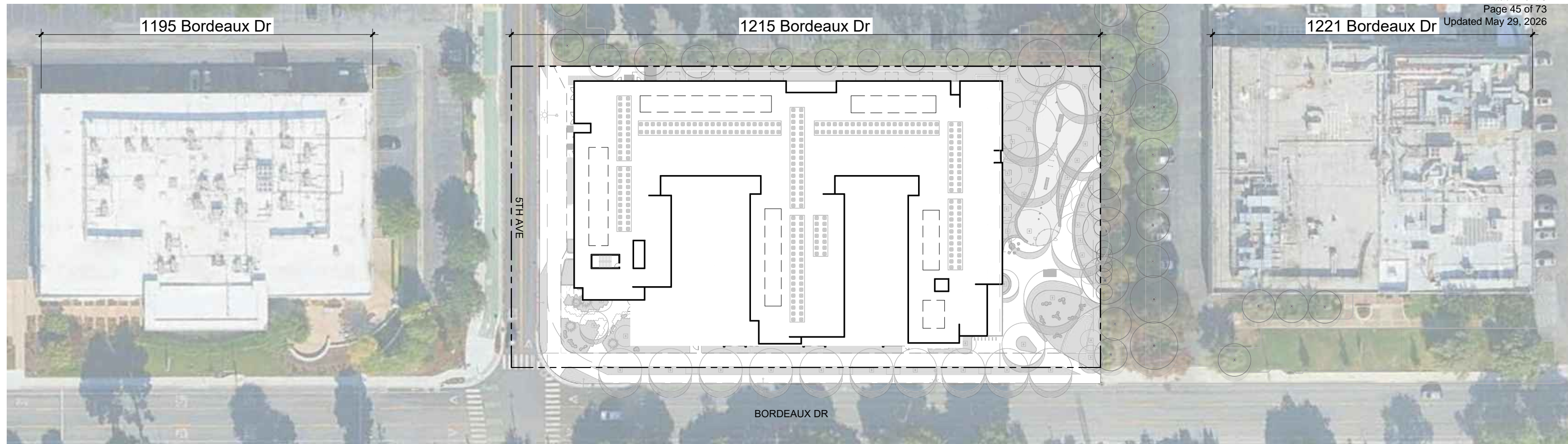
Key Plan



2. West Elevation - Facing Paseo

**Material Legend**

- S1 Stucco - SW 9542 Natural White (or sim.)
- S2 Stucco - SW 7019 Gauntlet Gray (or sim.)
- S3 Stucco - SW 7069 Iron Ore (or sim.)
- S4 Stucco - SW 6038 Truly Taupe (or sim.)
- S5 Stucco - SW 6039 Poised Taupe (or sim.)
  
- B1 Cementitious Flat Panel - Black Water (or sim.)
- B2 Cementitious Board and Batten - Navajo Beige (or sim.)
  
- C1 Fluted Concrete
- C2 Board-form Concrete
  
- W1 Vinyl Window - Black
- W2 Storefront - Black
- W3 Storefront - SW 7649 Silverplate (or sim.)
  
- D1 Fiberglass Door - Black
- G1 Glass Railing
  
- M1 Flat Metal Panel Railing - SW 9542 Natural White (or sim.)
- M2 Flat Metal Panel Railing - SW 6179 Artichoke (or sim.)
- M3 Flat Metal Panel Railing - SW 9100 Umber Rust (or sim.)
- M4 Flat Metal Panel Railing - SW 7030 Anew Gray (or sim.)
  
- A1 Metal Awning
- A2 Metal Awning with Wood Panel Soffit
  
- L1 Louver Screening
- L2 Decorative Gate



1. Site Plan



2. Streetscape Elevation along Bordeaux Dr - Proposed



3. Streetscape Elevation along Bordeaux Dr - Existing



Cementitious Flat Panel - Black Water (or sim.)  
 Cementitious Board and Batten - Navajo Beige (or sim.)



Flat Metal Panel Railing  
 To match SW 9542  
 Natural White (or sim.)



Flat Metal Panel Railing  
 To match SW 9100  
 Umber Rust (or sim.)



Storefront  
 SW 7649 Silverplate  
 (or sim.)



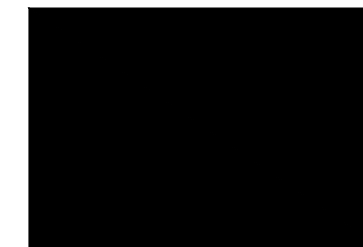
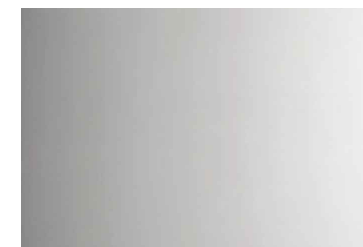
Deep Backset Frame  
 Vinyl Window Detail  
 (VPI or sim.)



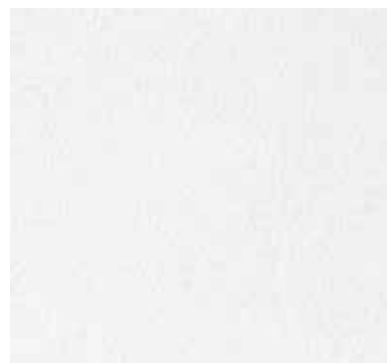
Flat Metal Panel Railing  
 To match SW 6179  
 Artichoke (or sim.)



Flat Metal Panel Railing  
 To match SW 7030  
 Anew Gray (or sim.)



Vinyl Window - Black  
 Storefront - Black  
 Fiberglass Door - Black



Stucco  
 SW 9542 Natural White  
 (or sim.)



Stucco  
 SW 7019 Gauntlet Gray  
 (or sim.)



Stucco  
 SW 7069 Iron Ore  
 (or sim.)



Board-form Concrete  
 (or sim.)



Louver Screen  
 (or sim.)



Fluted Concrete  
 (or sim.)



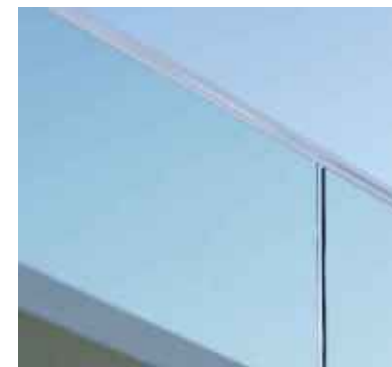
Glazing Treatment for  
 Privacy (or sim.)



Stucco  
 SW 6038 Truly Taupe  
 (or sim.)



Stucco  
 SW 6039 Poised Taupe  
 (or sim.)



Glass Railing Reference  
 (or sim.)

LEGEND

AC	ASPHALTIC CONCRETE	ADJACENT PROPERTY LINE
AN	ANODE	BUILDING LINE
AL	AREA LIGHT	BUILDING OVERHANG
BFP	BACK FLOW PREVENTOR	EASEMENT LINE
BR	BIKE RACK	FENCE
CB	CATCH BASIN	PROPERTY LINE
CLDR	CENTERLINE DOOR	STREET CENTERLINE
COL	COLUMN	
COM	COMMUNICATION	
CONC	CONCRETE	
DI	DROP INLET	
DWY	DRIVEWAY	
E CAB	ELECTRICAL CABINET	
EP	EDGE OF PAVEMENT	
EVC	ELECTRIC VEHICLE CHARGER	
FDC	FIRE DEPARTMENT CONNECTION	
FL	FLOW LINE	
GM	GAS METER	
LG	LIP OF GUTTER	
LSCP	LANDSCAPE	
PVC	POLYVINYL CHLORIDE	
RCP	REINFORCED CONCRETE PIPE	
RRFB	RECTANGULAR RAPID FLASHING BEACON	
RWW	RECLAIMED WATER VALVE	
SDMH	STORM DRAIN MANHOLE	
SL	STREET LIGHT	
SLB	STREET LIGHT BOX	
SN	SIGN	
SSCO	SANITARY SEWER CLEANOUT	
SSMH	SANITARY SEWER MANHOLE	
TB	TOP OF BOX	
TC	TOP OF CURB	
TMH	TELECOMMUNICATION MANHOLE	
TS	TRAFFIC SIGNAL	
TSB	TRAFFIC SIGNAL BOX	
UB	UTILITY BOX	
VCP	VITRIFIED CLAY PIPE	
WB	WATER BOX	
WM	WATER METER	
WV	WATER VALVE	

LINETYPE LEGEND

---	ADJACENT PROPERTY LINE
---	BUILDING LINE
---	BUILDING OVERHANG
---	EASEMENT LINE
---	FENCE
---	PROPERTY LINE
---	STREET CENTERLINE

MAP REFERENCES

R1	TRACT MAP NO. 4515, 245 M 14
R2	PARCEL MAP, 765 M 49-52
R2	PARCEL MAP, 910 M 37-40

BASIS OF BEARINGS

THE BEARING, NORTH 14°52'14" EAST, OF THE MONUMENT LINE OF BORDEAUX DRIVE BETWEEN FOUND MONUMENTS, AS SAID BEARING AND MONUMENTS ARE SHOWN ON TRACT NO. 4515, ENTITLED "MOFFET INDUSTRIAL PARK NO. 1-2", FILED FOR RECORD ON DECEMBER 2, 1968 IN BOOK 245 OF MAPS, AT PAGE 14, RECORDS OF SANTA CLARA COUNTY.

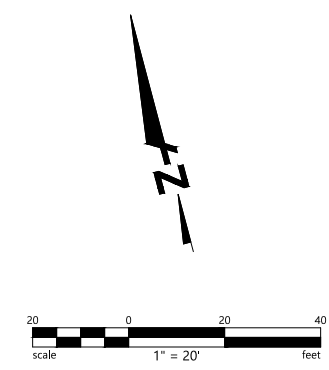
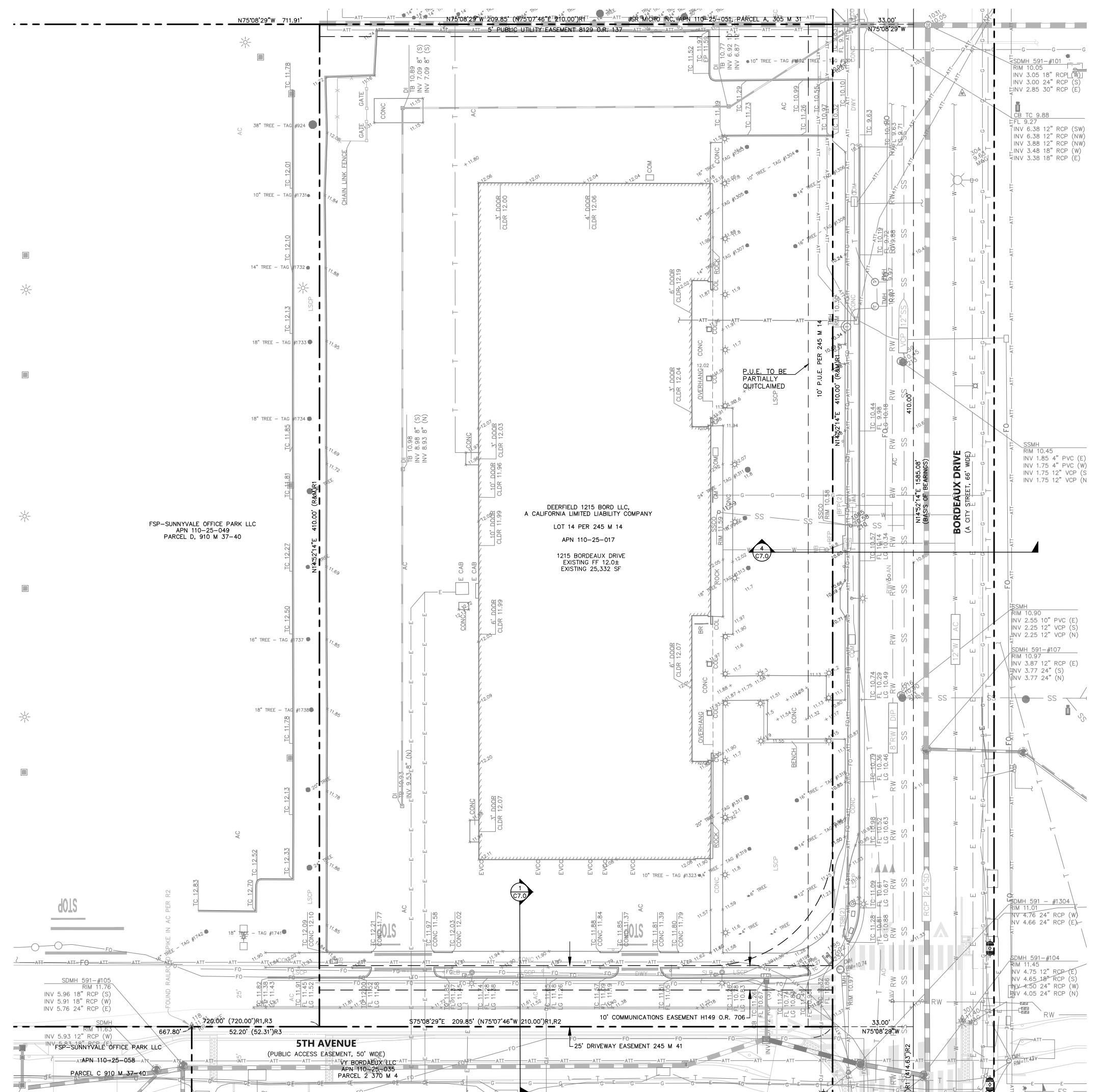
ELEVATION DATUM

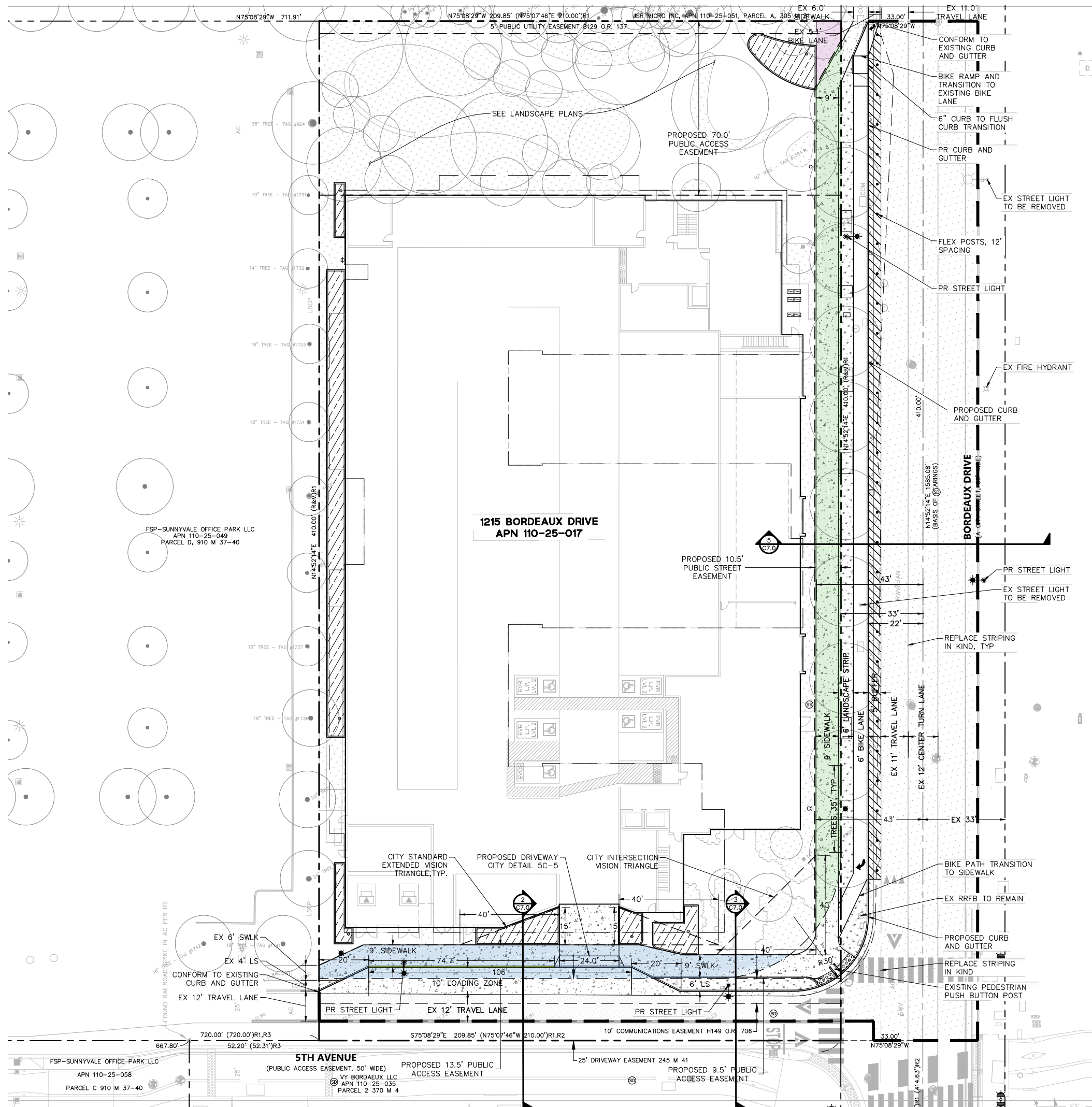
A SANTA CLARA VALLEY WATER DISTRICT BENCHMARK, NAMED "BM 180", DESCRIBED AS A BRASS DISK ON TOP OF THE SOUTH END OF THE EAST CONCRETE HEADWALL AT THE SOUTHERLY CORNER OF BORDEAUX DRIVE AT SUNNYVALE WEST CHANNEL.

ELEVATION = 18.65 FEET (NAVD88)

SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- DATE OF THE FIELD SURVEY: APRIL 30, 2025 & MAY 1 & 5, 2025.
- UNDERGROUND INFORMATION SHOWN IS FOR REFERENCE ONLY. ONLY EXCAVATION OR POTHOLING WILL REVEAL THE TYPE, SIZE, AND LOCATION OF EXISTING UNDERGROUND UTILITY LINES.
- TREE LABELS REPRESENT THE DIAMETER OF THE TREE TRUNK IN INCHES AT BREAST HEIGHT (~48").
- BOUNDARY AND EASEMENT INFORMATION SHOWN HEREON IS BASED ON PUBLIC RECORD DATA AND THE PRELIMINARY TITLE REPORT PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED MARCH 5, 2025.
- EXISTING STRIPING AND UTILITIES SHOWN ALONG 5TH AVENUE ARE FROM RECORD DRAWINGS.



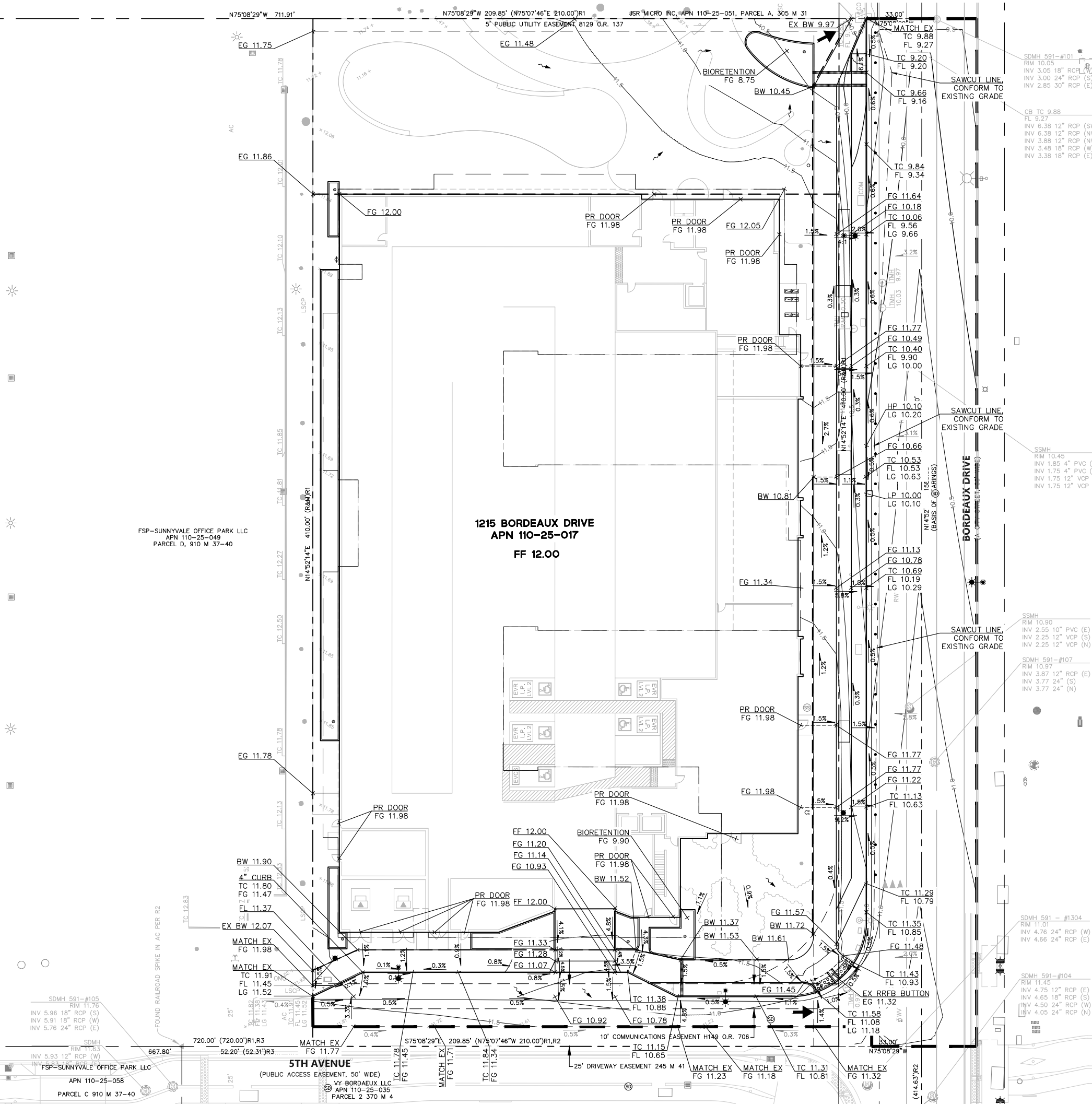


**LEGEND**

- AC PAVEMENT
- CONCRETE
- BIORETENTION
- LANDSCAPE STRIP (SLP)
- TYPE II SLURRY SEAL
- YELLOW CURB
- PUBLIC ACCESS EASEMENT
- PUBLIC STREET EASEMENT
- EXISTING PUBLIC UTILITY EASEMENT

**NOTES:**

1. THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGE BORDEAUX DRIVE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. EXISTING MONUMENTS THAT WILL BE DESTROYED BY THE SIDEWALK CONSTRUCTION WILL BE REPLACED.

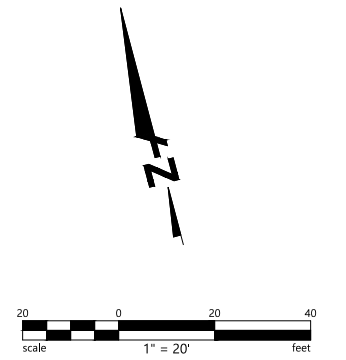


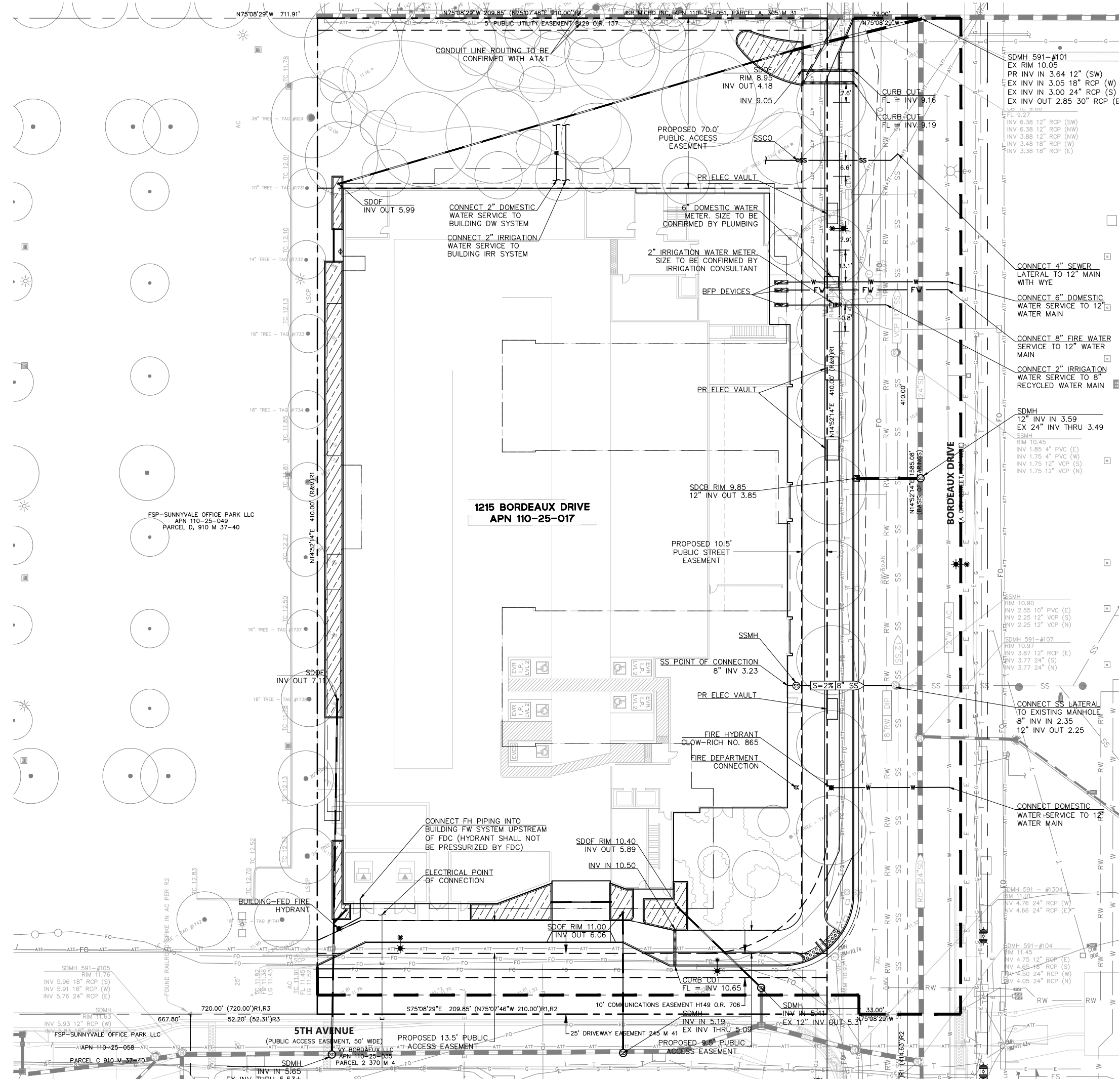
**FLOOD ZONE NOTES**

1. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 060850045H, DATED MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "X".
2. AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
3. INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON AUGUST 15, 2025.

**LEGEND**

➔ OVERLAND RELEASE PATH



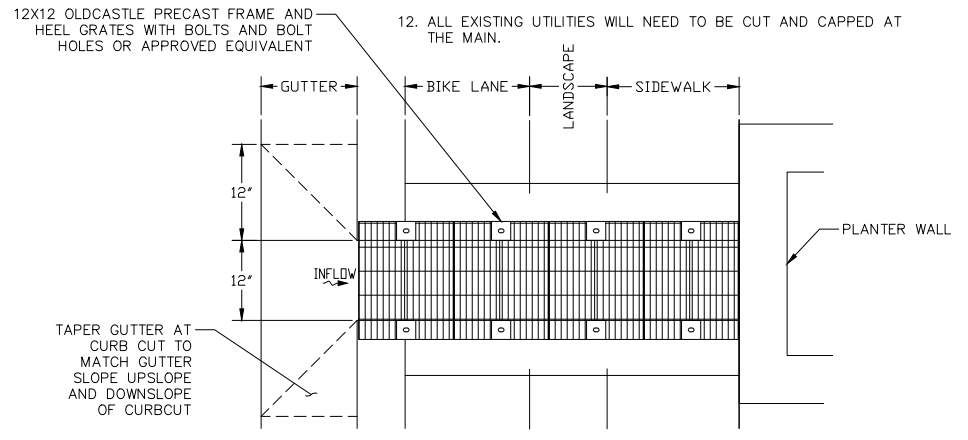


**UTILITY LEGEND**

	POC
	SDCB
	BFP
	MANHOLE
	OVERFLOW INLET AT BIORETENTION AREA
	FIRE HYDRANT
	FDC
	STANDPIPE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	DOMESTIC WATER LINE
	FIRE WATER LINE
	RECYCLE WATER LINE
	IRRIGATION WATER LINE

**UTILITY NOTES**

- ALL UTILITY TRENCHING AND BACKFILLING MUST CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- CONTRACTOR SHALL MAINTAIN 12" VERTICAL CLEARANCE ABOVE AND BELOW EXISTING AND NEW UTILITY CROSSINGS EXCEPT AS NOTED.
- PROVIDE 5' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND STORM DRAIN AND 10' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND SANITARY SEWER.
- PROPOSED PIPE MATERIAL:  
A. SS: SDR 26 PVC  
B. 4" TO 12" SD: PVC SDR 35  
C. 15" TO 24" SD: TYPE S CORRUGATED HDPE  
D. DW/FW: C900 PVC
- PER CITY DETAILS 2B AD 2B-2, ALL FIRE HYDRANTS SHALL BE A MINIMUM OF 3' CLEAR OF ALL VINES, BUSHES, TREES, IVY, ETC.
- THE FIRE AND DOMESTIC WATER SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED BEYOND THE PUBLIC WATER METERS.
- GAS, ELECTRICAL, AND TELECOM SHOWN FOR REFERENCE ONLY. SEE JOINT TRENCH PLANS BY OTHERS FOR JOINT TRENCH INFORMATION AND DETAILS.
- INSTALL "NO DUMPING, DRAINS TO BAY" INLET MARKER MEDALLION ON ALL PROPOSED CATCH BASINS AND DROP INLETS.
- MANHOLE AND OTHER UTILITY COVERS LOCATED IN PEDESTRIAN CIRCULATION PATHS SHALL NOT CAUSE OPENINGS GREATER THAN 0.5" WIDE IN THE DIRECTION OF TRAVEL OR VERTICAL OFFSETS GREATER THAN 0.25" HIGH.
- PRELIMINARY FIRE, DOMESTIC, AND IRRIGATION WATER SIZES ARE SHOWN. SERVICE SIZES NEED TO BE CONFIRMED WITH PLUMBING ENGINEER.
- EXISTING PUBLIC FACILITIES WITHIN THE STREET RIGHT OF WAY SHALL BE ABANDONED PER THE CITY OF SUNNYVALE ABANDONMENT NOTES.
- ALL EXISTING UTILITIES WILL NEED TO BE CUT AND CAPPED AT THE MAIN.



**1 THROUGH-CURB DRAIN**  
NTS

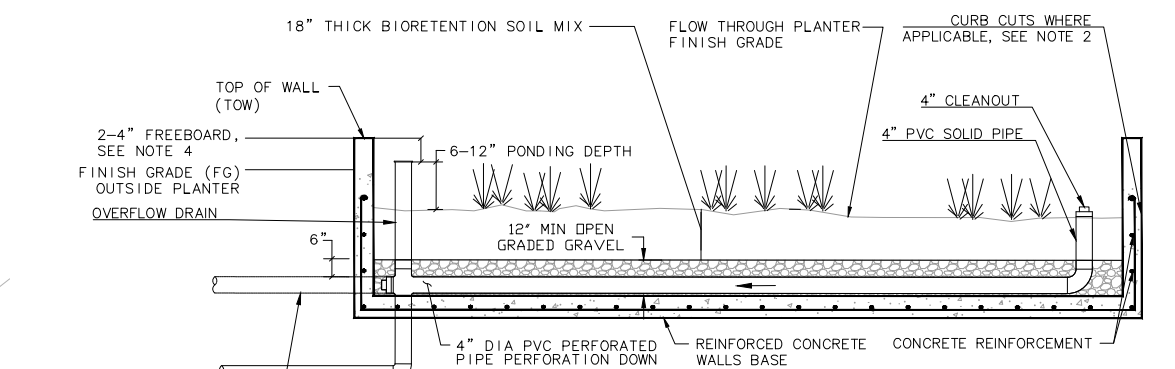
**LEGEND**

- AC PAVEMENT
- CONCRETE
- BIORETENTION
- LANDSCAPE (SLP)
- EXISTING IMPERVIOUS AREA TO BE REPLACED, 2,412 SF IMPERVIOUS AREA TO BE TREATED IN LIEU IN DMA 5
- EXISTING IMPERVIOUS AREA TO REMAIN AND TREATED IN LIEU (2,937 SF)
- DMA LINE

**NOTES**

1. PLUMBING ENGINEER SHALL CONFIRM ROOF DRAINAGE. BIORETENTION AREAS MAY NEED TO BE ADJUSTED WITH ROOF DRAINAGE DESIGN.
2. BIORETENTIONS ARE SIZED USING THE COMBINATION FLOW AND VOLUME METHOD.

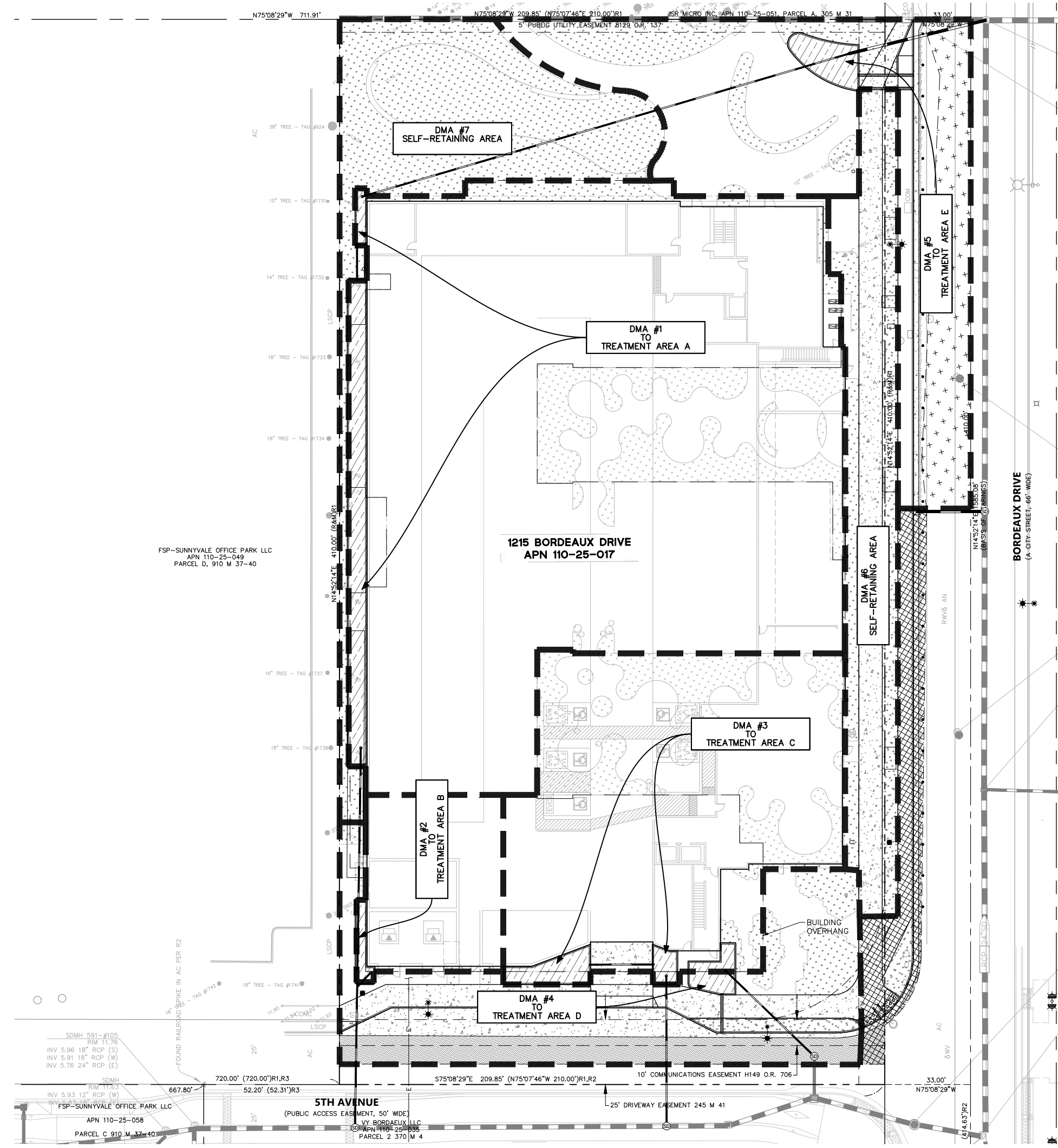
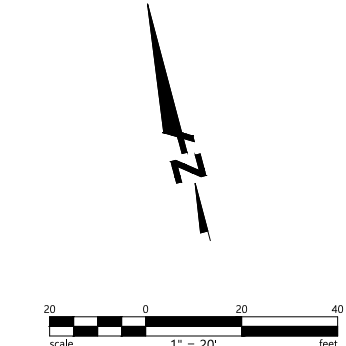
PROPOSED STORMWATER MANAGEMENT TABLE							
DRAINAGE MANAGEMENT AREA (DMA)	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT AREA	PROVIDED BIORETENTION AREA (SF)	TREATMENT PERCENTAGE <sup>2</sup>	IMPERVIOUS TO PERVIOUS RATIO (2.0 MAX)
1	37604	33,223	4379	A	1289	3.9%	-
2	3722	3,594	128	B	128	3.6%	-
3	14396	11,103	3293	C	395	3.6%	-
4	8866	7438	1428	D	226	3.0%	-
5	12213	9805	2408	E	352	3.6%	-
6	6379	3710	2669	-	SELF-RETAINING	-	1.1
7	7691	133	7558	-	SELF-RETAINING	-	0.0
<b>TOTAL</b>	<b>90872</b>	<b>69005</b>	<b>21863</b>	-	-	-	-



ALTERNATE ROUTING FOR PIPE OUT THROUGH SIDE WALL. PROVIDE WATER TIGHT SEAL AT OPENING PER WATER PROOFING REQUIREMENTS.  
PVC SOLID OUTFLOW PIPE TO SD

- NOTE:**
1. CONCRETE WALLS SHALL HAVE A MINIMUM STRENGTH OF 4,000 PSI.
  2. STORMWATER IS DELIVERED FROM ROADWAYS AND AT-GRADE SURFACES TO FLOW THROUGH PLANTERS THROUGH CURB CUTS IN THE FLOW THROUGH PLANTER WALLS.
  3. DURING LARGE RAIN EVENTS OR WHEN THE FLOW THROUGH PLANTER IS OTHERWISE INUNDATED, STORMWATER BYPASSES THE BIORETENTION AND OVERFLOW INLETS ROUTE STORMWATER DIRECTLY INTO THE STORMWATER SYSTEM.
  4. FOR FLOW-THROUGH PLANTERS ADJACENT TO PROPOSED BUILDING, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAIL. WHERE THE PLANTER WALL IS ADJACENT TO THE BUILDING, THERE SHALL BE 4" OF FREEBOARDING. THE TOP OF WALL SHOULD SLOPE DOWN AND ONLY PROVIDE 2" FREEBOARD AT PLANTER WALL OPPOSITE THE BUILDING.

**1** FLOW THROUGH PLANTER  
NTS



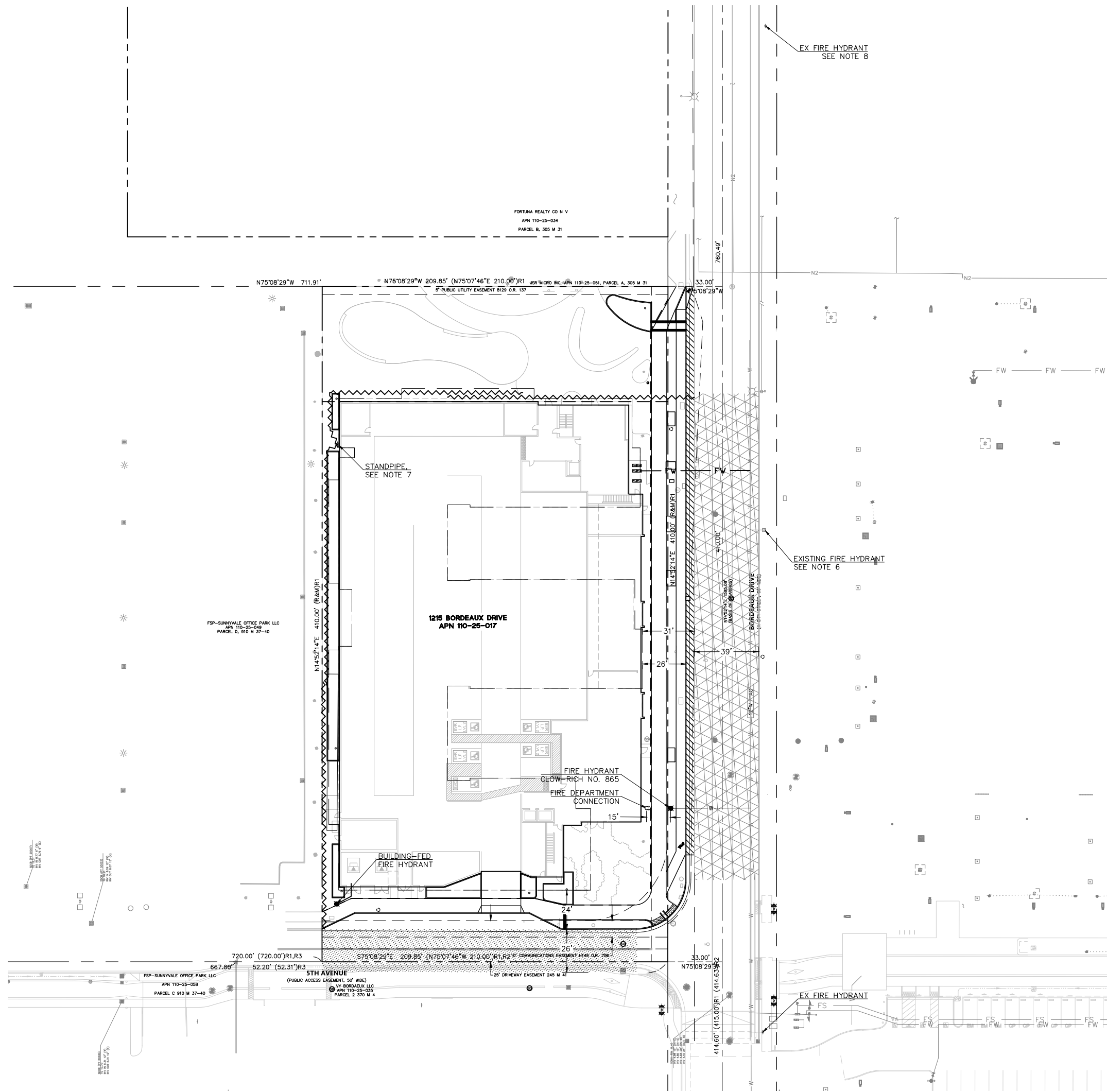
**NOTES**

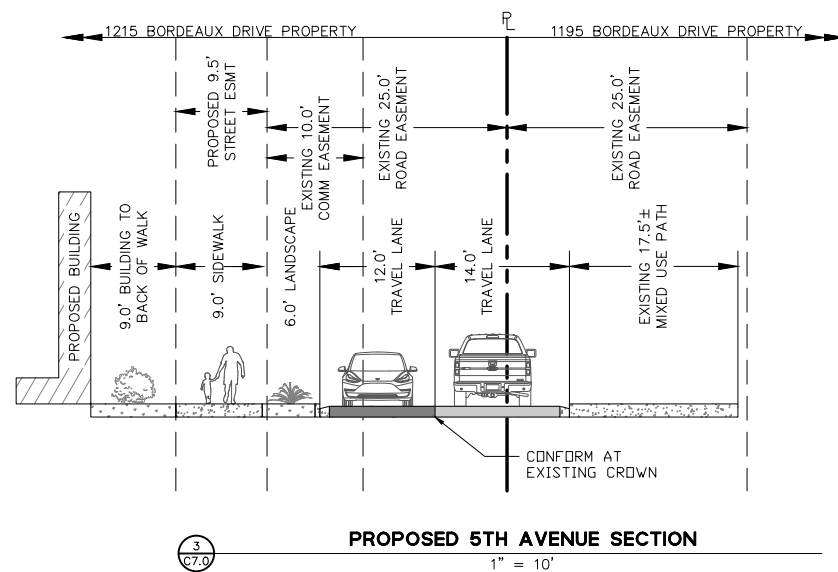
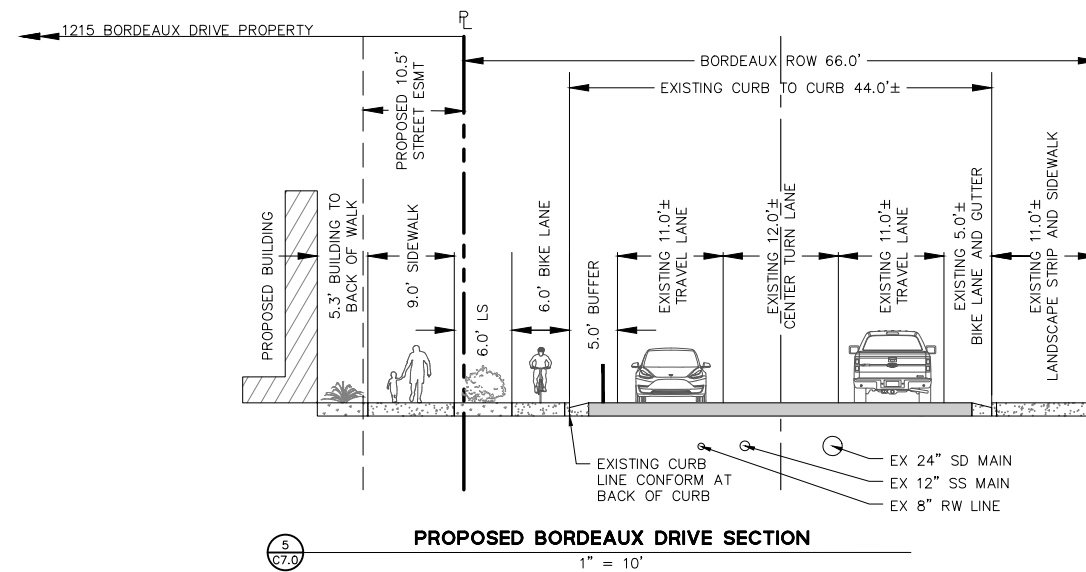
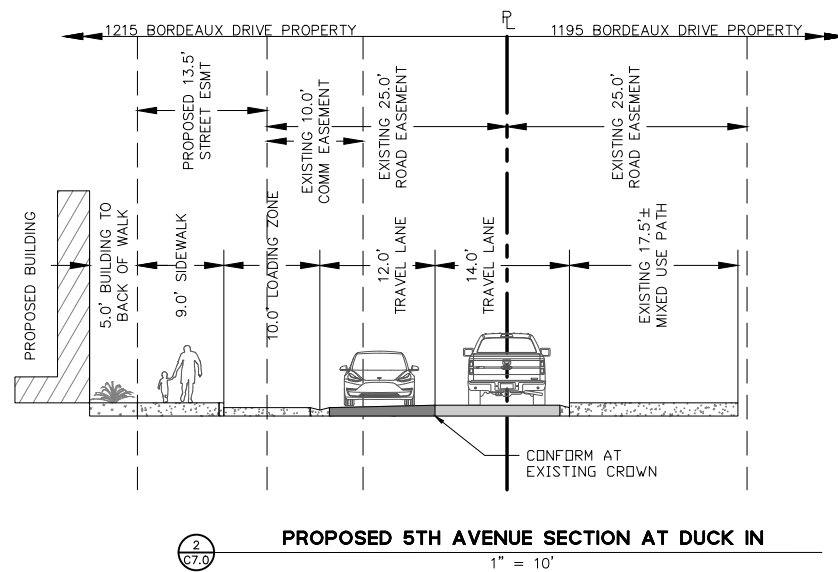
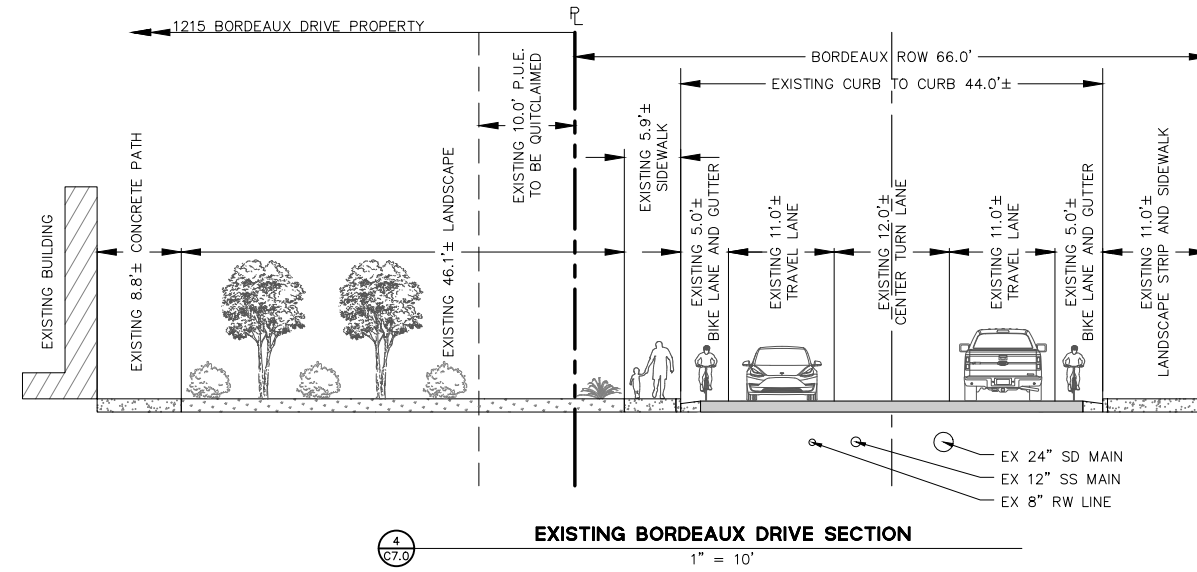
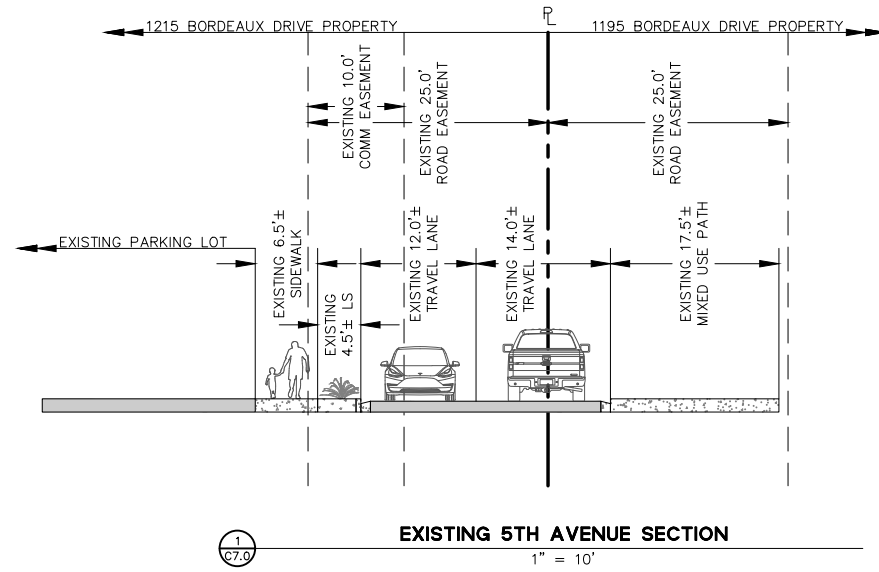
FIRE FLOW REQUIREMENTS BASED UPON CALIFORNIA FIRE CODE (2022 EDITION) — SECTION 507, APP. B & C

- BUILDING AREA CONSTRUCTION TYPE:  
I-A (3 LEVELS) / III-A (5 LEVELS)  
TOTAL BUILDING AREA: 300,000 SF
- PER TABLE B105.1 OF THE CALIFORNIA FIRE CODE, THE COMBINED REQUIRED FIRE FLOW IS 6,000 GPM BASED ON A BUILDING TYPE IIIA.
- THE REQUIRED FIRE FLOW WITH A 75% REDUCTION IS 1,500 GPM
- (1) FIRE HYDRANTS ARE PROVIDED TO SERVE THE PROPOSED BUILDING
- MAXIMUM SPACING BETWEEN FIRE HYDRANTS IS 625 FEET PER TABLE C102.1. THIS ACCOUNTS FOR A 25% SPACING INCREASE WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER.
- FIRE FLOW TEST RESULTS 04/20/2021  
FLOW: 1520 GPM  
RESIDUAL PRESSURE: 94 PSI  
STATIC PRESSURE: 98 PSI
- PORTIONS OF THE BUILDING ARE SITUATED FURTHER THAN 150' FROM A FIRE ACCESS ROAD. TO ADDRESS THIS CONDITION, A BUILDING-FED STANDPIPE IS PROPOSED.
- FIRE HYDRANT AT APPROXIMATE EXISTING LOCATION, VERIFY IN FIELD.

**LEGEND**

- EXISTING FIRE HYDRANT
- FDC
- FIRE HYDRANT
- STANDPIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- 150' FIRE ACCESS
- MIN 20' WIDE FIRE ACCESS ROAD
- MIN 26' WIDE AERIAL FIRE APPARATUS ACCESS







**SCHEDULE**

- PAVING TYPE A  
Concrete or Concrete Unit Pavers
- PAVING TYPE B  
Concrete Unit Paver or Wood Decking
- PAVING TYPE C  
Concrete Unit Pavers
- PAVING TYPE D  
Concrete Unit Pavers with Planting
- LAWN (SYNTHETIC TURF OR SOD)
- PLANTING
- BIORETENTION
- FURNISHING
- CANOPY TREE
- STREET TREE  
*Platanus racemosa*
- ACCENT TREE
- EVERGREEN TREE
- MID-SIZE ACCENT SHRUB
- BOULDER

**GENERAL NOTE**

1. NEW STREET TREES (*PLATANUS RACEMOSA*) SHOWN IN THE 6-FOOT PUBLIC RIGHT-OF-WAY LANDSCAPE BUFFER ARE SHOWN FOR REFERENCE. STREET TREE FINAL LOCATIONS SHALL BE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS AS PART OF FUTURE OFFSITE IMPROVEMENT PLANS AND ENCROACHMENT PERMIT.
2. REMOVE INVASIVE SPECIES PRESENT ON SITE, REMOVAL SHOULD INCLUDE FULL STEM, ROOT, AND RHIZOME AS WELL AS DISPOSAL OFF-SITE TO PREVENT REGROWTH.
3. ALL PLANTING AREAS SHALL RECEIVE 3" LAYER OF BARK MULCH. BIORETENTION PLANTERS SHALL RECEIVE 3" LAYER OF NO-FLOAT MULCH.
4. SOIL AMENDMENTS AND STRUCTURED SOIL SHALL BE INCORPORATED BASED ON WHAT IS APPROPRIATE FOR SELECTED PLANTS. COMPOST AND/OR ORGANIC MATERIAL SHALL BE INCORPORATED AT A MINIMUM RATE OF 4 CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES, OR AS APPROPRIATE FOR SELECTED PLANTS.
5. ALL PLANTING AND IRRIGATION SHALL COMPLY WITH REQUIREMENTS IN SUNNYVALE MUNICIPAL CODE 19.37 AND IN ACCORDANCE WITH THE GOALS AND GUIDELINES OF THE MOFFETT PARK SPECIFIC PLAN.
6. PLANTING AREAS SHALL BE COMPRISED OF 80% NATIVE VEGETATION.
7. ALL PLANTING SHALL BE PERMANENTLY IRRIGATED WITH RECYCLED WATER AND COMPLY WITH THE SUNNYVALE WATER EFFICIENT LANDSCAPE ORDINANCE. SEE WATER BUDGET CALCULATION WORKSHEET INCLUDED.
8. IRRIGATION CONTROLLER AND ANY REQUIRED BACKFLOW DEVICES SHALL BE SCREENED FROM PUBLIC VIEW.
9. IRRIGATION SYSTEM WILL COMPLY WITH REQUIREMENTS FOR RECYCLED WATER AND THE MWELD ORDINANCE.
10. THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGES ON BORDEAUX DR SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
11. WOOD DECKING SHALL UTILIZE PRESSURE TREATED WOODS, CEDAR, OR REDWOOD.
12. ALL PEDESTRIAN CIRCULATION WITHIN THE BORDEAUX NEIGHBORHOOD PARK WILL COMPLY WITH UNIVERSAL ACCESS AND ADA COMPLIANCE. ALL SURFACES WILL BE FIRM, STABLE, AND SLIP-RESISTANT.

**LEGEND**

- (PL) PROPERTY LINE
- (LLOW) LANDSCAPE LIMIT OF WORK - OFFSET 24" FOR CLARITY
- EASEMENT
- EXISTING STREETLIGHT
- PROPOSED STREETLIGHT
- FENCE
- VISION TRIANGLE

**NEIGHBORHOOD PARK**

- EDGE OF PROPOSED BORDEAUX NEIGHBORHOOD PARK
- EXISTING TREES, PROTECT IN PLACE, SEE ARBORIST REPORT

**PROGRAM AREA**

PARK PLANTING	± 5800 sf
SITE PLANTING	± 6400 sf
BIORETENTION	± 2400 sf
LAWN (SYNTHETIC TURF OR SOD)	± 2900 sf
<b>TOTAL LANDSCAPE</b>	<b>± 17500 sf</b>
<b>TOTAL HARDSCAPE</b>	<b>± 12100 sf</b>

**GENERAL NOTE**

1. ALL PODIUM PLANTING AREAS SHALL RECEIVE 3" LAYER OF BARK MULCH, OR 1" OF GRAVEL MULCH IN AREAS WHERE PLANT DENSITY IS LOW TO HELP PROTECT SOIL STABILITY AND MOISTURE FROM WIND.
2. ADEQUATE IMPORTED STRUCTURED SOIL VOLUME SHALL BE PROVIDED FOR ON-STRUCTURE PODIUM TREES, SHRUBS, AND GROUNDCOVERS IN ACCORDANCE WITH MSPSP GUIDELINES: 36-INCH MINIMUM DEPTH FOR TREES, 20-INCH MINIMUM DEPTH FOR SHRUBS, 12-INCH MINIMUM DEPTH FOR GROUNDCOVERS.
3. ALL PLANTING AND IRRIGATION SHALL COMPLY WITH REQUIREMENTS IN SUNNYVALE MUNICIPAL CODE 19.37 AND IN ACCORDANCE WITH THE GOALS AND GUIDELINES OF THE MOFFETT PARK SPECIFIC PLAN.
6. PLANTING AREAS SHALL BE COMPRISED OF 80% NATIVE VEGETATION.
7. ALL TREES ON THE PODIUM SHALL BE ANCHORED AT THE ROOTBALL, IF REQUIRED, BASED ON WIND SHEAR, PRESSURE, AND SUCTION CAPACITY.
8. IRRIGATION SHALL BE ROUTED FROM THE AT-GRADE RECYCLED WATER POINT OF CONNECTION THROUGH BUILDING BY PLUMBING ENGINEER.
9. SHADE STRUCTURES SHALL BE DESIGNED WITH PARTIALLY OPEN CANOPIES IN ACCORDANCE WITH ALL APPLICABLE ZONING, BUILDING, AND FIRE CODES.

**LEGEND**

- (PL) PROPERTY LINE
- (LLOW) LANDSCAPE LIMIT OF WORK - OFFSET 24" FOR CLARITY
- FENCE AND GATE

**SCHEDULE**

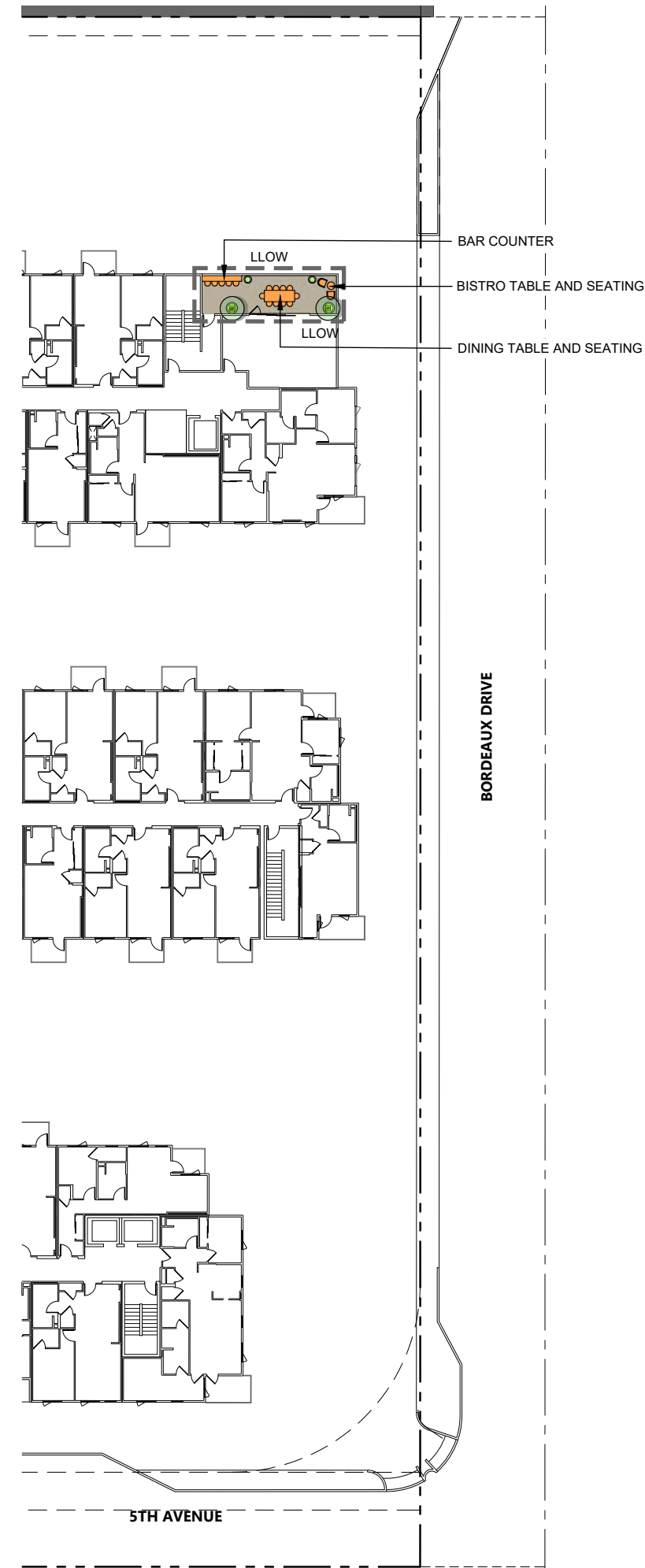
- PAVING TYPE A  
Concrete or Concrete Unit Pavers
- PAVING TYPE B  
Concrete Unit Paver or Wood Decking
- POOL (±800 sf)  
SPA (±180 sf)
- RAISED PLANTING  
18"-36" Height
- FURNISHING
- SHADE STRUCTURE
- CABANA
- EVERGREEN TREE
- PALM TREE
- MID-SIZE ACCENT TREE A
- MID-SIZE ACCENT TREE B
- MID-SIZE ACCENT SHRUB
- ADA POOL LIFT

**PODIUM AREA**

PLANTING	± 6160 sf
POOL AND SPA	± 990 sf
<b>TOTAL LANDSCAPE</b>	<b>± 7150 sf</b>
<b>TOTAL HARDSCAPE</b>	<b>± 7100 sf</b>



**LEVEL 3 LANDSCAPE PLAN**



**LEVEL 8 LANDSCAPE PLAN**



CONCRETE PAVING



UNIT PAVER



UNIT PAVER WITH PLANTING



SYNTHETIC TURF



WOOD DECKING



BOULDER



WATER FEATURE



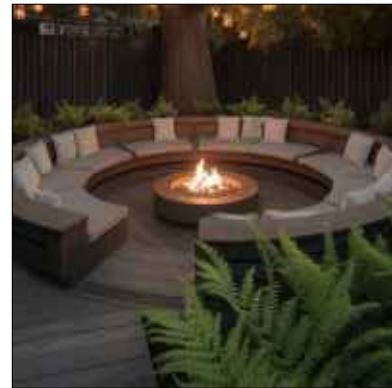
PLANTER



BENCH



BENCH



SOFA & FIRE



BIKE RACK



WASTE RECEPTACLE



TABLE & CHAIR



LOUNGE



SHADE ELEMENT



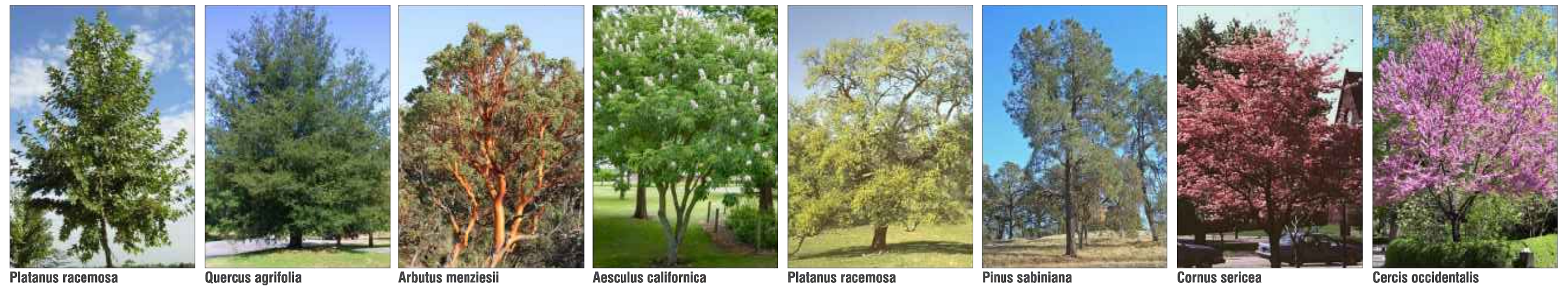
SHADE ELEMENT



SHADE ELEMENT

**LEVEL 1 PLANTING SCHEDULE**

Abbreviation	Botanical Name	Common Name	Size	Trunk	Spacing in inches	WUCOLS	Native or Adaptive	Evergreen / Deciduous
Street Trees				Std/Multi		L - M - H	N/A	E/D
<b>PR</b>	<i>Platanus racemosa</i>	California Sycamore	36" Box	Std	Per Plan	M	N	D
<b>Trees</b>								
<b>QA</b>	<i>Quercus agrifolia</i>	Coast live oak	Specimen	Std	Per plan	VL	N	E
<b>AM</b>	<i>Arbutus menziesii</i>	Pacific madrone	36" Box	Std	Per plan	L	N	E
<b>AC</b>	<i>Aesculus californica</i>	California buckeye	36" Box	Multi	Per Plan	VL	N	D
<b>PS</b>	<i>Pinus sabiniana</i>	California foothill pine	36" Box	Std	Per Plan	VL	N	E
<b>CS</b>	<i>Cornus sericea</i>	Red Osier Dogwood	36" Box	Std	Per Plan	M	N	D
<b>CO</b>	<i>Cercis occidentalis</i>	Western Redbud	36" Box	Multi	Per Plan	L	N	D
<b>PR</b>	<i>Platanus racemosa</i>	California sycamore	36" Box	Std	Per Plan	M	N	D
<b>Shrubs</b>								
<b>RS</b>	<i>Ribes sanguineum</i>	Flowering Currant	5 Gal		36" o.c.	L	N	D
<b>AC</b>	<i>Artemisia californica</i>	California Sage	1 Gal		24" o.c.	L	N	E
<b>BP</b>	<i>Baccharis pilularis</i>	Coyote Bush	5 Gal		36" o.c.	L	N	E
<b>FC</b>	<i>Frangula californica</i>	Coffeeberry	5 Gal		48" o.c.	L	N	E
<b>HA</b>	<i>Heteromeles arbutifolia</i>	Toyon	15 Gal		48" o.c.	L	N	E
<b>PI</b>	<i>Prunus ilicifolia</i>	Hollyleaf cherry	15 Gal		48" o.c.	L	N	E
<b>LA</b>	<i>Lupinus albilfrons</i>	Silver lupine	5 Gal		24" o.c.	VL	N	D
<b>MA</b>	<i>Myrica californica</i>	Pacific Wax Myrtle	5 Gal		24" o.c.	M	N	E
<b>RC</b>	<i>Rosa californica</i>	California Wild Rose	5 Gal		36" o.c.	L	N	E
<b>Perennials</b>								
<b>EC</b>	<i>Eschscholzia californica</i>	California Poppy	1 Gal		24" o.c.	L	N	D
<b>AM</b>	<i>Achillea millefolium 'Sonoma Coast'</i>	Sonoma Coast Common Yarrow	1 Gal		12" o.c.	L	N	D
<b>DA</b>	<i>Diplacus aurantiacus</i>	Sticky monkey-flower	1 Gal		24" o.c.	VL	N	E
<b>AF</b>	<i>Asclepias fascicularis</i>	Narrow Leaf Milkweed	1 Gal		24" o.c.	L	N	D
<b>MV</b>	<i>Monardella villosa</i>	Coyote Mint	1 Gal		24" o.c.	VL	N	D
<b>RAC</b>	<i>Ranunculus californicus</i>	California Buttercup	1 Gal		24" o.c.	L	N	D
<b>SY</b>	<i>Symphyotrichum chilense</i>	California Aster	1 Gal		24" o.c.	L	N	D
<b>SS</b>	<i>Salvia spathacea</i>	Hummingbird Sage	5 Gal		24" o.c.	L	N	E
<b>ECA</b>	<i>Epilobium canum</i>	California fuchsia	5 Gal		24" o.c.	L	N	E
<b>Grasses</b>								
<b>MC</b>	<i>Melica californica</i>	California Melicgrass	1 Gal		24" o.c.	L	N	D
<b>CB</b>	<i>Carex barbarae</i>	Santa Barbara Sedge	5 Gal		24" o.c.	L	N	D
<b>SP</b>	<i>Stipa pulchra</i>	Purple needlegrass	1 Gal		24" o.c.	VL	N	D
<b>SA</b>	<i>Sesleria autumnalis</i>	Autumn Moor Grass	1 Gal		24" o.c.	L	N	E
<b>SB</b>	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	1 Gal		24" o.c.	L	N	E
<b>Bioretention</b>								
<b>JP</b>	<i>Juncus patens</i>	California Gray Rush	5 Gal		36" o.c.	L	N	E
<b>KM</b>	<i>Koeleria macrantha</i>	Junegrass	1 Gal		24" o.c.	L	N	E
<b>MR</b>	<i>Muhlenbergia rigens</i>	Deer Grass	5 Gal		24" o.c.	L	N	E
<b>MA</b>	<i>Diplacus aurantiacus</i>	Sticky Monkeyflower	5 Gal		24" o.c.	VL	N	E
<b>SV</b>	<i>Solidago velutina</i>	Velvety Goldenrod	1 Gal		24" o.c.	M	N	E
<b>ID</b>	<i>Iris douglasiana</i>	Douglas Iris	1 Gal		24" o.c.	L	N	E



**LEVEL 3 & 8 PLANTING SCHEDULE**

Abbreviation	Botanical Name	Common Name	Size	Trunk	Spacing in inches	WUCOLS	Native or Adaptive	Evergreen / Deciduous
Trees/Palms				Std/Multi		L - M - H	N/A	E/D
AC	Aesculus californica	California buckeye	36" Box	Multi	Per Plan	VL	N	D
WF	Washingtonia filifera Alt : Brahea edulis	California Palm Alt : Guadalupe palm	18"-20"H B&B	Std	Per plan	L Alt : L	N Alt : A	E
AN	Acer negundo	Boxelder maple	36" Box	Std	Per plan	M	N	D
PI	Prunus ilicifolia	Hollyleaf cherry	24" Box	Std	Per plan	L	N	E
CS	Cornus sericea	Red Osier Dogwood	36" Box	Std	Per Plan	M	N	D
CO	Cercis occidentalis	Western Redbud	36" Box	Multi	Per Plan	L	N	D
PR	Platanus racemosa	California sycamore	36" Box	Std	Per Plan	M	N	D
<b>Shrubs</b>								
AME	arctostaphylos manzanita 'emerald carpet'	Emerald Carpet manzanita	5 Gal		24" o.c.	L	N	E
LA	Lupinus albifrons	Silver lupine	5 Gal		36" o.c.	L	N	E
SS	Salvia spathacea	Hummingbird Sage	5 Gal		24" o.c.	L	N	E
MA	Myrica californica	Pacific Wax Myrtle	5 Gal		24" o.c.	M	N	E
FC	Frangula californica	Coffeeberry	5 Gal		24" o.c.	L	N	E
<b>Perennials</b>								
AM	Achillea millefolium 'Sonoma Coast'	Sonoma Coast Common Yarrow	1 Gal		12" o.c.	L	N	E
EC	Eschscholzia californica	California Poppy	1 Gal		24" o.c.	L	N	D
ID	Iris douglasiana	Douglas Iris	1 Gal		24" o.c.	L	N	E
SY	Symphyotrichum chilense	California Aster	1 Gal		12" o.c.	L	N	D
EC	Epilobium canum	California Fuchsia	1 Gal		24" o.c.	L	N	E
HM	Heuchera micrantha	Crevice alumroot	1 Gal		24" o.c.	M	N	E
CY	Ceanothus 'yankee point'	'Yankee Point' California Lilac	5 Gal		24" o.c.	L	N	E
EG	Erigeron glaucus	Seaside Daisy	1 Gal		12" o.c.	L	N	E
<b>Grasses</b>								
MC	Melica californica	California Melicgrass	1 Gal		24" o.c.	L	N	D
SA	Sesleria autumnalis	Autumn Moor Grass	1 Gal		24" o.c.	M	N	E
FC	Festuca californica	California Fescue	1 Gal		24" o.c.	L	N	E
CD	Carex divulsa	Grey Sedge	1 Gal		24" o.c.	L	N	E
LC	Leymus condensatus 'canyon prince'	'Canyon Prince' Wild Rye	1 Gal		24" o.c.	L	N	E



Arctostaphylos manzanita



Lupinus albifrons



Salvia spathacea



Myrica californica



Frangula californica



Achillea millefolium 'Sonoma Coast'



Iris douglasiana



Symphyotrichum chilense



Epilobium canum



Heuchera micrantha



Eschscholzia californica



Ceanothus 'yankee point'



Erigeron glaucus



Melica californica



Sesleria autumnalis



Festuca californica



Carex barbarae



Leymus condensatus



Aesculus californica



Washingtonia filifera



Acer negundo



Prunus ilicifolia



Cornus sericea








Cercis occidentalis


**GENERAL NOTE**

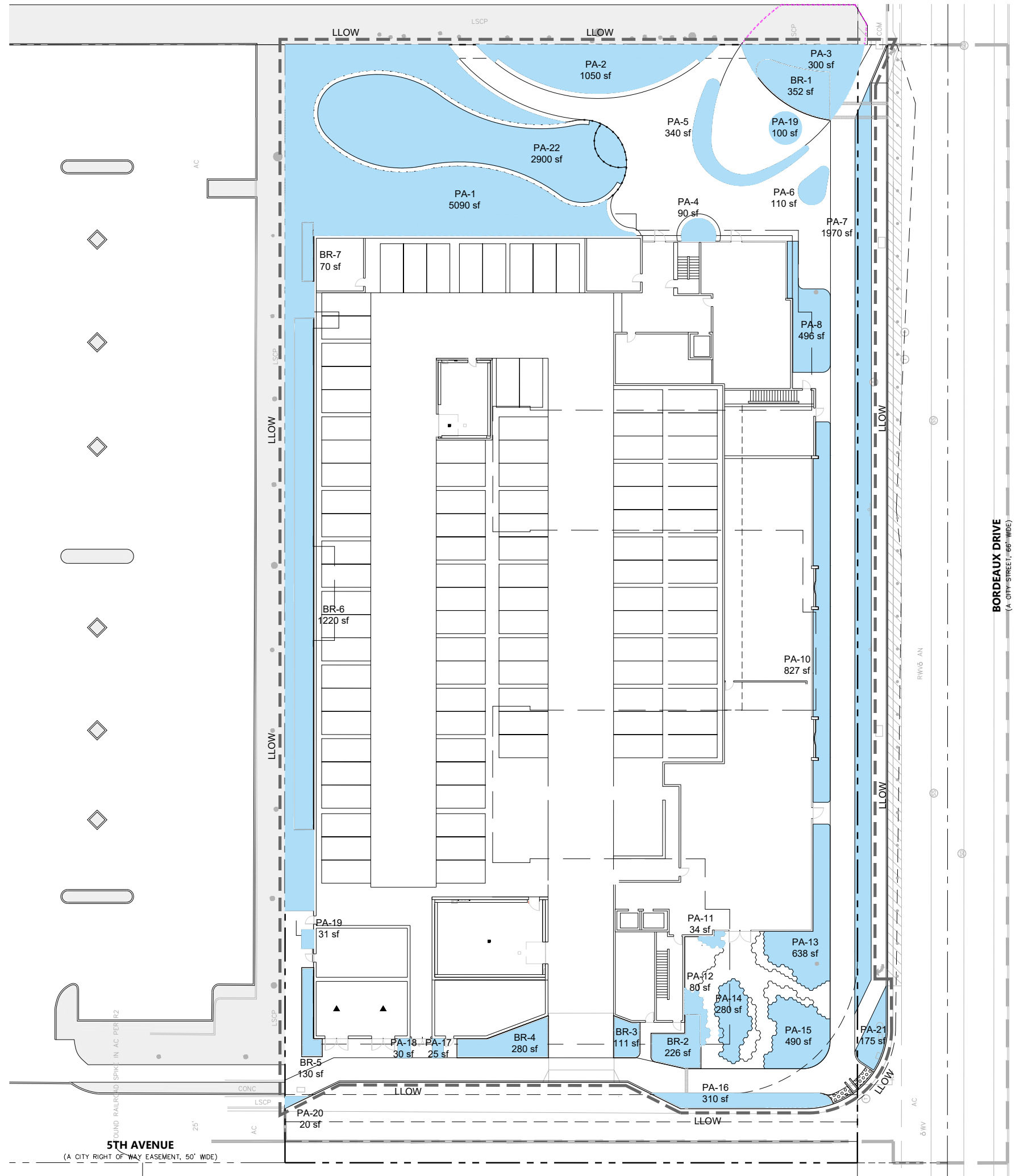
1. PROJECT WILL BE IRRIGATED USING RECYCLED WATER.
2. ALL LANDSCAPED AREAS WILL HAVE A PERMANENT IRRIGATION SYSTEM. INCLUDING:
  - A. AUTOMATIC WEATHER SENSOR CONTROLLERS UTILIZING EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND CAPABLE OF DUAL OR MULTIPLE PROGRAMMING THAT SUSPEND IRRIGATION DURING UNFAVORABLE WEATHER CONDITIONS OR IF THE SOIL IS STILL MOIST ARE INCORPORATED.
  - B. VALVES AND CONTROL CIRCUITS SEPARATED BASED ON WATER NEEDS OF A HYDROZONE AND MASTER AND MANUAL SHUT-OFF VALVES.
3. IRRIGATION CONTROLLERS AND BACKFLOW DEVICES ARE SCREENED FROM PUBLIC VIEW.
4. VALVES AND CONTROL CIRCUITS SEPARATED BASED ON WATER NEEDS OF A HYDROZONE AND MASTER AND MANUAL SHUT-OFF VALVES.
5. PRESSURE REGULATORS INCORPORATED IF THE WATER PRESSURE DOES NOT MEET THE RECOMMENDED PRESSURE OF THE DEVICES.
6. A MASTER VALVE AND FLOW SENSOR
7. IRRIGATION SYSTEM SHALL BE DESIGNED AND MAINTAINED TO MEET OR EXCEED 81% IRRIGATION EFFICIENCY FOR DRIP SYSTEMS AND 75% EFFICIENCY FOR OVERHEAD SPRAY.
8. IRRIGATION SYSTEM SHALL UTILIZE DRIP IRRIGATION (NON-SPRAY) FOR TREES, SHRUBS, MULCHED AREAS, AREAS WITH SLOPE >10% AND AREAS LESS THAN 10 FT. WIDE
9. OVERHEAD SPRAY IRRIGATION MAY BE USED FOR CLUSTERED SHRUBS AND TURF AREAS AT LEAST 10 FT. WIDE, AND DEVICES MEET ANSI LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARDS

**LEGEND**

	(PL) PROPERTY LINE
	(LLOW) LANDSCAPE LIMIT OF WORK - OFFSET 24" FOR CLARITY
	EASEMENT
	PA-X PLANTING AREA
	BR-X BIORETENTION AREA

**SCHEDULE**

	SLA (SPECIAL LANDSCAPED AREA - IRRIGATED WITH RECYCLED WATER)
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**LEGEND**

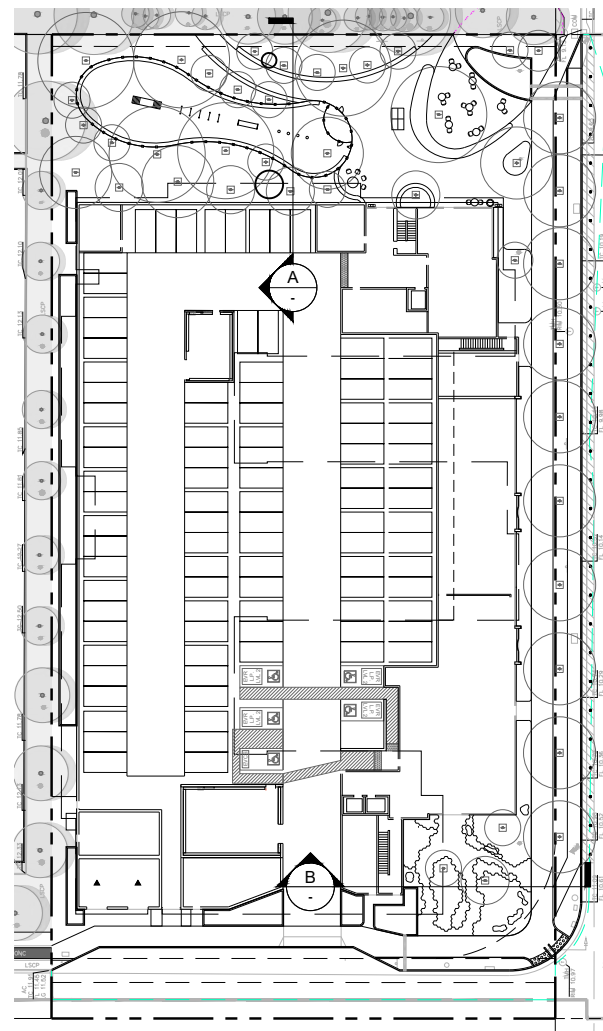
- — — — — (PL) PROPERTY LINE
- - - - - (LLOW) LANDSCAPE LIMIT OF WORK  
- OFFSET 24" FOR CLARITY
- ⌒ DOOR
- PA-X PLANTING AREA

**SCHEDULE**

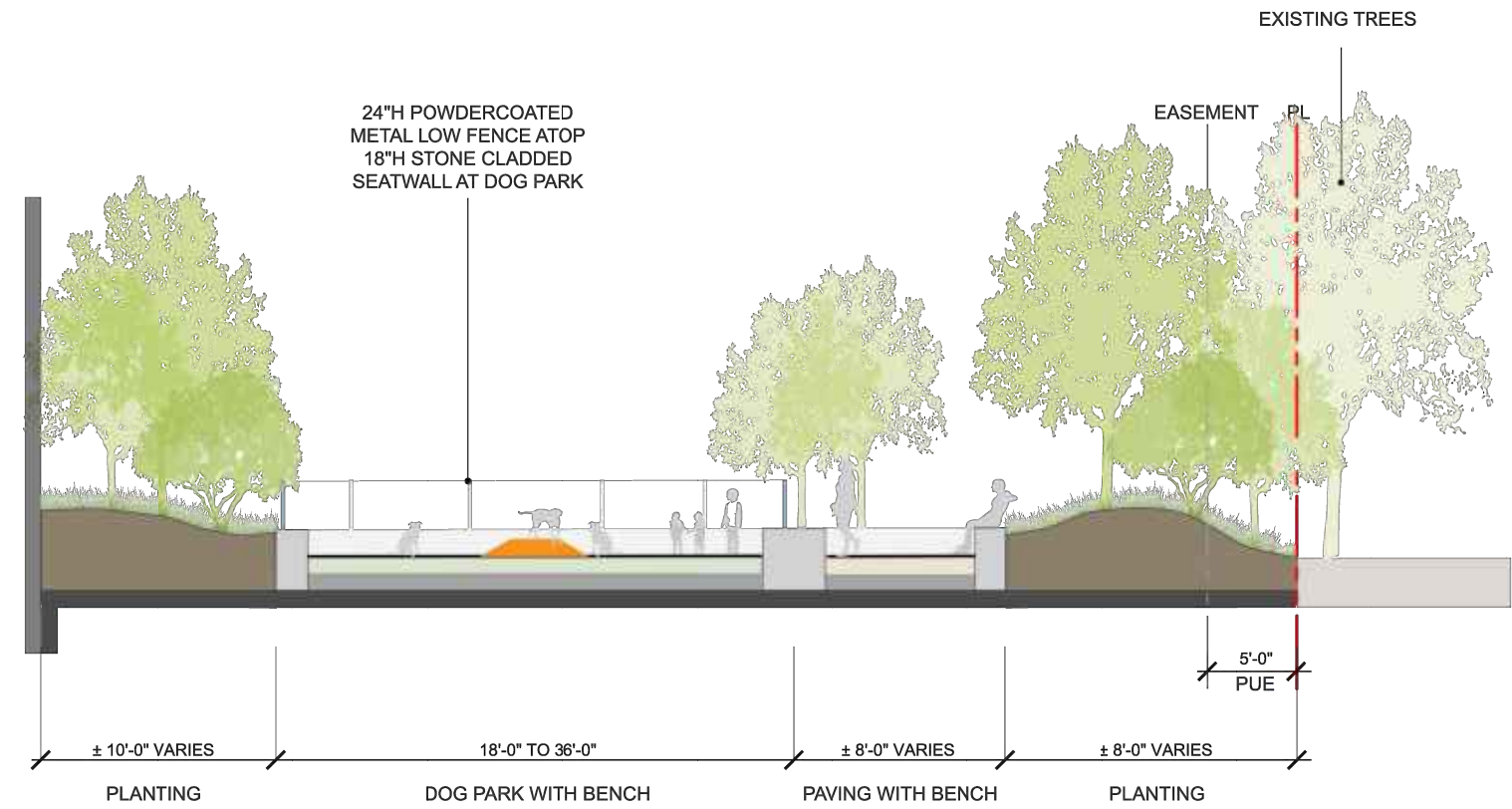
- SLA  
(SPECIAL LANDSCAPED AREA -  
IRRIGATED WITH RECYCLED  
WATER)







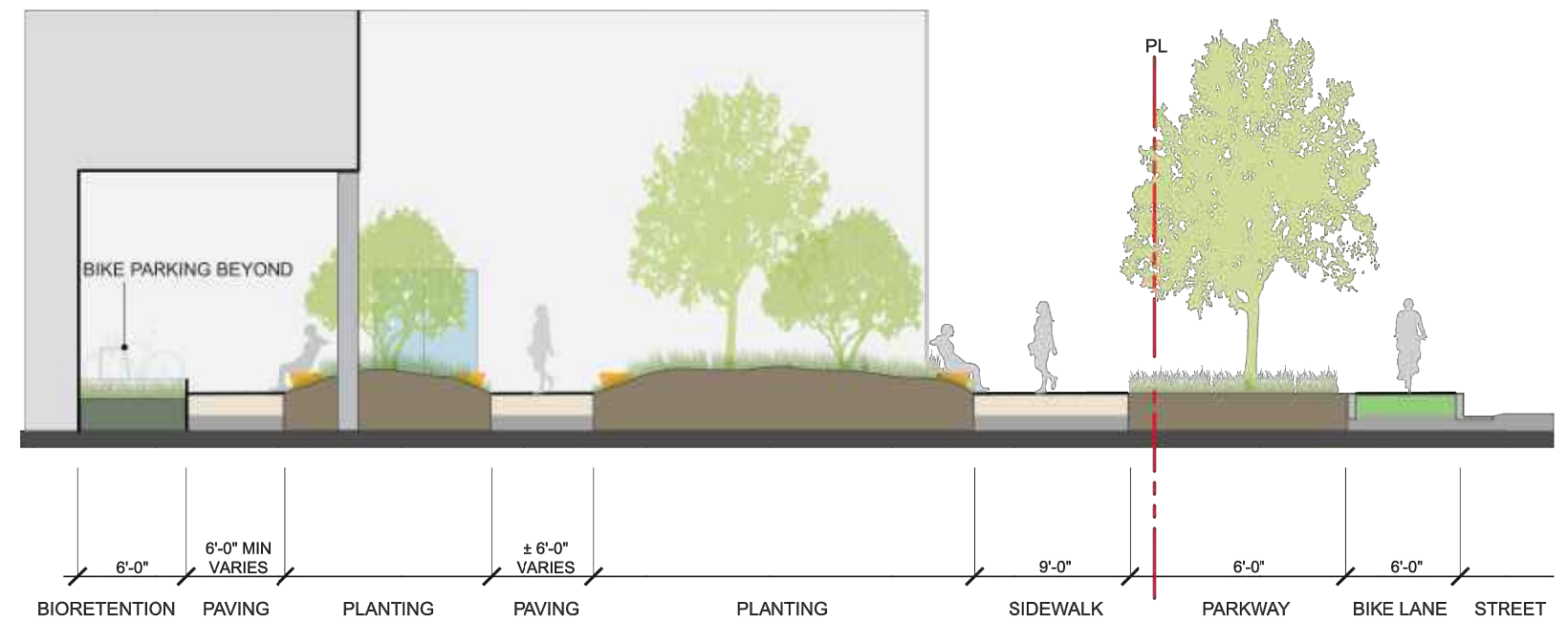
KEY PLAN



SECTION

SCALE: 3/16" = 1'

B



SECTION

SCALE: 3/16" = 1'

A

**TREE PROTECTION NOTES**

**EXISTING TREES**

1. TREES WERE INVENTORIED IN AUGUST 2025. SOME TREES MAY HAVE ADDITIONAL TREE TAG NUMBERS AS A RESULT OF MULTIPLE SURVEYS.
2. FOR THE FOLLOWING TREES, ACCURATE LOCATIONS SHALL BE VERIFIED PRIOR TO PROCEEDING WITH WORK: 5266, 5268, 5410, 5411, 5412, 5413, 5414, 5487, 5488, 5489, AND 5490.
3. RECOMMENDATIONS FOR TREE REMOVAL ARE BASED ON REVIEW BY H. T. HARVEY'S ARBORIST OF LIKELY INFRASTRUCTURE CONFLICTS AND COORDINATION WITH THE DESIGN TEAM.

**TREE PROTECTION MEASURES**

4. TREE PROTECTION SHALL COMPLY WITH THE PROJECT PLANS. WHERE CITY REQUIREMENTS CONFLICT WITH THE CONSTRUCTION DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
5. PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL MEET ON-SITE WITH THE PROJECT ARBORIST TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.
  - A. PRIOR TO TREE REMOVAL, TREES TO BE REMOVED SHALL BE FLAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
5. PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION, TREE PROTECTION ZONES (TPZ) OF ALL TREES TO REMAIN SHALL BE FENCED AS SHOWN ON THE PLANS AND DETAIL 1 / L1.01.
  - A. CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED FOR COMPLETE FENCE SYSTEM. CONTRACTOR SHALL LAY OUT AND INSTALL FENCING PER DRAWINGS AND AS APPROVED BY OWNER'S REPRESENTATIVE DURING THE PRE-INSTALLATION CONFERENCE. FENCE LAYOUT SHALL NOT OBSTRUCT SAFE PASSAGE OR VISIBILITY AT VEHICLE INTERSECTIONS WHERE FENCE IS LOCATED ADJACENT TO PEDESTRIAN WALKWAYS OR IN CLOSE PROXIMITY TO STREET INTERSECTIONS, DRIVES, OR OTHER VEHICULAR CIRCULATION.
  - B. A TPZ SHALL BE REGARDED AS THE AREA BENEATH A TREE'S CANOPY, OR EXTENDING FROM THE FACE OF THE TRUNK TO TEN (10) TIMES THE TREE'S DIAMETER AT BREST HEIGHT (DBH), WHICHEVER IS GREATER. TREE PROTECTION ZONES IN LINEAR PLANTING STRIPS SHALL EXTEND FARTHER, AS DETERMINED BY THE PROJECT ARBORIST.
  - C. TREE PROTECTION ZONES SHOWN ON THE PLANS ARE APPROXIMATE. FENCE SHALL ENCOMPASS THE ENTIRE TPZ UNLESS SPECIFICALLY NOTED ON THE PLANS AND APPROVED BY THE PROJECT ARBORIST.
  - D. CONSTRUCTION FENCE SHALL BE AN ACCEPTABLE FORM OF PROTECTION FOR TREES LOCATED OUTSIDE THE LIMIT OF WORK
6. CONTRACTOR SHALL APPLY WOOD BARK MULCH AS SHOWN IN DETAIL 1 / AT1.01 AND MAINTAIN AS DESCRIBED IN NOTE 31.
7. AT NO TIME SHALL TPZ FENCE BE MOVED OR MODIFIED TO FACILITATE CONSTRUCTION ACTIVITIES EXCEPT WITH PRIOR REVIEW AND APPROVAL BY THE PROJECT ARBORIST. CONTRACTOR SHALL MAINTAIN TREE PROTECTION ZONE FENCE IN GOOD CONDITION AS ACCEPTABLE TO THE PROJECT ARBORIST FOR THE DURATION OF CONSTRUCTION.
8. THE TPZ MAY EXTEND BEYOND THE TPZ FENCE, PER THE PLANS. ALL WORK RESTRICTIONS APPLY WITHIN THE ENTIRE TPZ, INCLUDING THOSE AREAS OUTSIDE OF THE TREE PROTECTION ZONE FENCE.

**DEMOLITION AND CONSTRUCTION AT EXISTING TREES**

9. ALL WORK APPROVED BY THE PROJECT ARBORIST WITHIN THE TPZ SHALL BE PERFORMED BY HAND AND/OR AIR SPADE, INCLUDING CLEARING AND GRUBBING.
10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL REVIEW ALL RELEVANT ITEMS OF WORK THAT MAY REQUIRE GRADING AND TRENCHING, INCLUDING BUT NOT LIMITED TO IRRIGATION, ELECTRICAL, AND UTILITY LINES, BOXES, METERS AND VAULTS. WHERE SUCH ITEMS ARE PROPOSED WITHIN TPZS, THE CONTRACTOR SHALL WORK WITH THE PROJECT ARBORIST TO IDENTIFY SUITABLE ALTERNATIVES.
11. THE FOLLOWING SHALL NOT OCCUR WITHIN TPZS, UNLESS OTHERWISE PERMITTED BY THE PROJECT ARBORIST:
  - A. FOOT TRAFFIC.
  - B. TRENCHING AND GRADING.
  - C. OPERATION OR STORAGE OF VEHICLES, AND/OR EQUIPMENT.
  - D. STORAGE OF CONSTRUCTION MATERIALS, TRASH, DEBRIS, OR EXCAVATED MATERIAL.
  - E. MIXING, DUMPING, RUNOFF, WASHOUT OR SPILLAGE OF LIQUIDS OTHER THAN CLEAN, POTABLE WATER FOR IRRIGATION.
  - F. DEWATERING OPERATIONS THAT CAUSE PONDING, ERODING, OR EXCESSIVE WETTING.
  - G. TREE PRUNING, INCLUDING ROOT AND CROWN PRUNING.
  - H. ATTACHMENT OF SIGNS TO, OR WRAPPING MATERIALS AROUND, TREES OR PLANTS.
11. DO NOT DIRECT VEHICLE OR EQUIPMENT EXHAUST TOWARD TREE PROTECTION ZONES OR FOLIAGE.
12. ALL EXISTING, UNUSED LINES OR PIPES BENEATH THE CANOPIES OF TREES TO REMAIN SHALL BE ABANDONED OR CUT OFF AT EXISTING SOIL GRADE.
13. GRADING SHALL NOT SIGNIFICANTLY ALTER DRAINAGE TO OR FROM TPZS.
14. CONTRACTOR SHALL COORDINATE WITH PROJECT ARBORIST PRIOR TO GRINDING STUMPS WITHIN TPZS.
15. NO PLANTING OR IRRIGATION SHALL BE INSTALLED WITHIN 6 FEET OF TRUNKS OF TREES TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS AND APPROVED BY PROJECT ARBORIST.

**TRENCHING, EXCAVATION AND GRADING IN TPZS**

16. WHERE SHOWN ON THE PLANS AND APPROVED BY THE PROJECT ARBORIST, EXCAVATION SHALL BE COMPLETED UNDER THE SUPERVISION OF THE PROJECT ARBORIST.
17. PRIOR TO APPROVED EXCAVATION WITHIN A TPZ, AN EXPLORATORY TRENCH SHALL BE DUG ALONG THE EDGE OF THE EXCAVATION CLOSEST TO THE TREE TRUNK. THIS TRENCH SHALL BE DUG BY HAND OR BY AIR SPADE TO THE FULL DEPTH OF THE EXCAVATION OR 30 INCHES, WHICHEVER IS LESS.

18. WITHIN THE EXPLORATORY TRENCH, ROOTS LESS THAN TWO (2) INCHES IN DIAMETER THAT WILL BE AFFECTED BY TEMPORARY AND PERMANENT CONSTRUCTION SHALL BE CUT MANUALLY, USING A CLEAN, SHARP HAND SAW.
19. CUTS SHALL BE MADE PERPENDICULAR TO THE DIRECTION OF GROWTH, AND SHALL BE CLEAN AND SMOOTH, WITH THE BARK INTACT WITH NO ROUGH EDGES OR TEARS.
20. WHEN ROOTS LARGER THAN TWO (2) INCHES IN DIAMETER ARE EXPOSED, CONTRACTOR SHALL NOTIFY PROJECT ARBORIST. EXCAVATION SHALL BE DISCONTINUED UNTIL INSTRUCTIONS TO RESOLVE THE CONDITIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE AND PROJECT ARBORIST.
21. AFTER ROOTS ARE CLEANLY SEVERED AND PROTECTED, EXCAVATION EQUIPMENT MAY BE OPERATED WITHIN THE TPZ FROM THE SIDE OF THE TRENCH FARTHEST FROM THE TREE, UP TO THE LIMIT OF WHERE ROOTS HAVE BEEN CUT AND REMOVED.
22. WITHIN 1 HOUR, TEMPORARILY COVER EXPOSED AND CUT ROOTS WITH EARTH OR MULCH, OR WRAP WITH BURLAP.
23. HAND WATER AND MAINTAIN ROOTS IN A MOIST CONDITION.
24. BACKFILL WITHIN EIGHT (8) HOURS. CONTRACTOR SHALL REQUEST AND RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY OTHER TIMETABLE FOR THIS WORK. DURING BACKFILL, CONTRACTOR SHALL CAREFULLY PLACE SOIL UNDER AND AROUND EXPOSED ROOTS AND HAND TAMP BACKFILL INTO PLACE.
25. TUNNELING, BY DRILLING, AUGER BORING, OR PIPE JACKING, MAY BE EMPLOYED WITH APPROVAL OF THE OWNER'S REPRESENTATIVE.

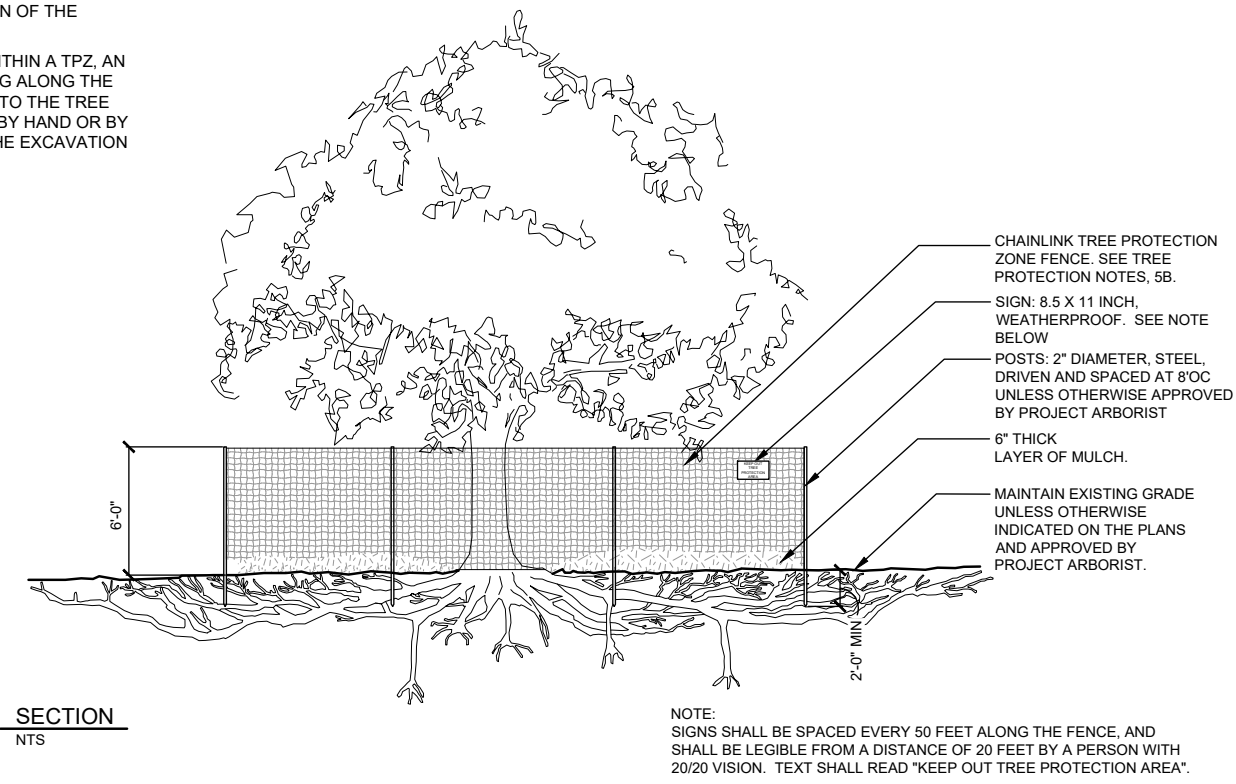
**CROWN PRUNING**

26. AT NO TIME SHALL TREE LIMBS BE CUT BY CONSTRUCTION PERSONNEL. WHERE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, CONTRACTOR SHALL REQUEST APPROVAL FROM PROJECT ARBORIST TO TIE BACK OR PRUNE BRANCHES.
27. NO PRUNING SHALL TAKE PLACE EXCEPT AS APPROVED BY THE PROJECT ARBORIST. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AND ISA TREE PRUNING GUIDELINES.

28. PRIOR TO PERFORMING TREE WORK ON SUDDEN OAK DEATH REGULATED HOST SPECIES, CONTRACTOR SHALL FOLLOW PROTOCOLS DESCRIBED AS FOLLOWS:
  - A. CONTRACTOR SHALL DISPOSE OF PLANT MATERIALS IN A LANDFILL OR AT AN INDUSTRIAL-SCALE COMPOSTING FACILITY.
  - B. CONTRACTOR SHALL NOT TRANSPORT PLANT MATERIALS TO OTHER LOCATIONS ON PROJECT SITE. CONTAMINATED PLANT DEBRIS SHALL NOT BE USED FOR ANY PURPOSES AT ANY OTHER LOCATION.

**MAINTENANCE**

29. CONTRACTOR SHALL IRRIGATE OR MAINTAIN IRRIGATION TO EXISTING TREES TO REMAIN UNTIL PERMANENT IRRIGATION IS INSTALLED.
  - A. CONTRACTOR SHALL PREPARE AN IRRIGATION SCHEDULE FOR REVIEW BY THE PROJECT ARBORIST.
30. CONTRACTOR SHALL TREAT OR REPLACE TREES INDICATED TO REMAIN OR BE RELOCATED THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE.
31. CONTRACTOR SHALL MAINTAIN MULCH WITHIN THE TPZ PER DETAIL 1 / AT1.01. MULCH SHALL BE HELD BACK TWO FEET FROM THE BASE OF TREE TRUNKS AND ONE FOOT FROM STEMS OF OTHER WOODY PLANTS.
32. ANY ACCUMULATED CONSTRUCTION DUST ON LIMBS OR FOLIAGE IS TO BE REMOVED WITH WATER PERIODICALLY OR AS DIRECTED BY PROJECT ARBORIST.
32. CONTRACTOR SHALL REMOVE IVY FROM EXISTING TREES. CONTRACTOR SHALL VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
  - A. IVY GROWING FROM THE GROUND SHALL BE PULLED BY HAND AND ALL STEM FRAGMENTS REMOVED. IVY ON TREES WITH STEMS LARGER THAN ONE (1) INCH IN DIAMETER SHALL BE CUT TO WITHIN TWO (2) INCHES OF THE SOIL SURFACE AND THEN PULLED FROM THE TREE.
  - B. CONTRACTOR SHALL USE CARE TO MINIMIZE DAMAGE TO AND PROTECT ALL EXISTING AND NATURALLY RECRUITING WOODY VEGETATION TO REMAIN DURING IVY REMOVAL.



SECTION  
NTS

NOTE:  
SIGNS SHALL BE SPACED EVERY 50 FEET ALONG THE FENCE, AND SHALL BE LEGIBLE FROM A DISTANCE OF 20 FEET BY A PERSON WITH 20/20 VISION. TEXT SHALL READ "KEEP OUT TREE PROTECTION AREA".

1 TREE PROTECTION ZONE FENCE

L\_TREE\_PROTECTION\_SAFETY\_NETTING\_32

**ONSITE TREE REMOVAL AND REPLACEMENT SUMMARY**

	REMOVE	REMAIN
PROTECTED* TREE	12	0
OTHER TREE	8	0
<b>TOTAL</b>	<b>20</b>	<b>0</b>

NOTE: REPLACEMENT TREES REQUIRED ARE AT MINIMUM, SEVEN (7) 24" BOX TREES AND FIVE (5) 36" BOX TREES, UP TO A MAXIMUM OF SEVENTEEN (17) 24" BOX TREES.

**OFFSITE AND CITY TREE REMOVAL AND REPLACEMENT SUMMARY**

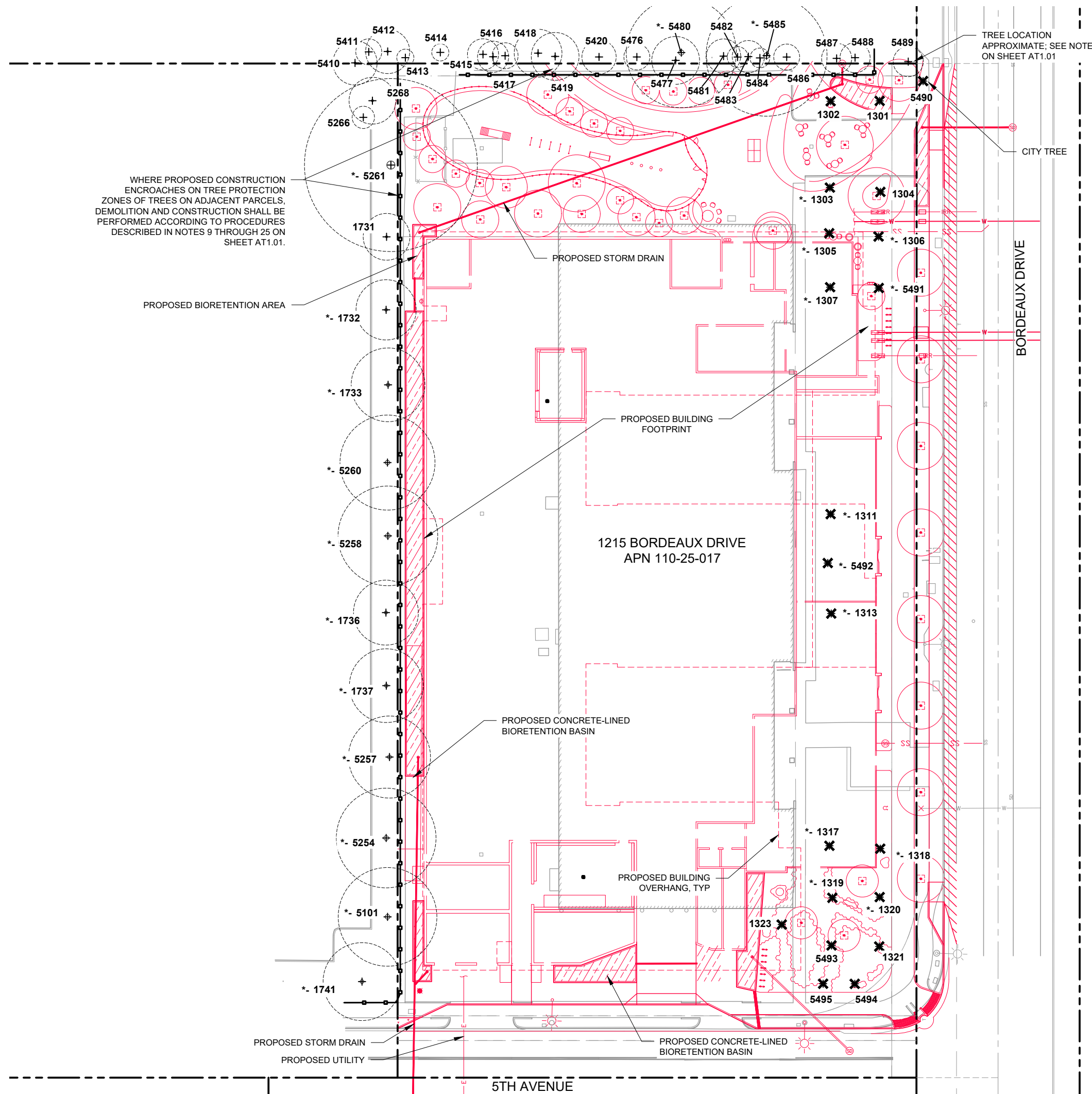
	REMOVE (PROTECTED* AND OTHER)	REMAIN (PROTECTED* AND OTHER)
OFFSITE PRIVATE TREE	0	37
CITY TREE	1	0
<b>TOTAL</b>	<b>1</b>	<b>37</b>

NOTE: NO REPLACEMENT TREES ARE REQUIRED FOR OFFSITE TREES AT THIS TIME.

**EXISTING TREES**

TREE TAG #	OTHER TAG	SCIENTIFIC NAME	COMMON NAME	DBH	PROTECTED	REMOVE	OWNERSHIP
1301		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	11		X	ONSITE
1302		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	9		X	ONSITE
1303		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	17.5	YES	X	ONSITE
1304		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	8		X	ONSITE
1305		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	15	YES	X	ONSITE
1306		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	15	YES	X	ONSITE
1307		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	12	YES	X	ONSITE
1311		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	24	YES	X	ONSITE
1313		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	22	YES	X	ONSITE
1317		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	21	YES	X	ONSITE
1318		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	16.5	YES	X	ONSITE
1319		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	13	YES	X	ONSITE
1320		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	14	YES	X	ONSITE
1321		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	11.5		X	ONSITE
1323		MAYTENUS BOARIA	MAYTEN TREE	5.5		X	ONSITE
1731		FRAXINUS UHDEI	EVERGREEN ASH	11			OFFSITE PRIVATE
1732		FRAXINUS UHDEI	EVERGREEN ASH	14	YES		OFFSITE PRIVATE
1733		FRAXINUS UHDEI	EVERGREEN ASH	17	YES		OFFSITE PRIVATE
1736		FRAXINUS UHDEI	EVERGREEN ASH	15	YES		OFFSITE PRIVATE
1737		FRAXINUS UHDEI	EVERGREEN ASH	17	YES		OFFSITE PRIVATE
1741		FRAXINUS UHDEI	EVERGREEN ASH	18	YES		OFFSITE PRIVATE
5101		FRAXINUS UHDEI	EVERGREEN ASH	22.5	YES		OFFSITE PRIVATE
5254		FRAXINUS UHDEI	EVERGREEN ASH	23	YES		OFFSITE PRIVATE
5257	1738	FRAXINUS UHDEI	EVERGREEN ASH	19	YES		OFFSITE PRIVATE
5258		FRAXINUS UHDEI	EVERGREEN ASH	23	YES		OFFSITE PRIVATE
5260		FRAXINUS UHDEI	EVERGREEN ASH	22	YES		OFFSITE PRIVATE
5261		EUCALYPTUS SIDEROXYLON	RED IRONBARK	40	YES		OFFSITE PRIVATE
5266		ACACIA MELANOXYLON	BLACKWOOD ACACIA	5			OFFSITE PRIVATE
5268		FRAXINUS UHDEI	EVERGREEN ASH	11			OFFSITE PRIVATE
5410		POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	11, 6			OFFSITE PRIVATE
5411		POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	6			OFFSITE PRIVATE
5412		POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	11, 4			OFFSITE PRIVATE
5413		POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	4			OFFSITE PRIVATE
5414		PRUNUS LUSITANICA	PORTUGUESE LAUREL	4, 3			OFFSITE PRIVATE
5415		PRUNUS LUSITANICA	PORTUGUESE LAUREL	7, 6, 1, 1			OFFSITE PRIVATE
5416		PRUNUS LUSITANICA	PORTUGUESE LAUREL	7, 2, 2			OFFSITE PRIVATE
5417		PRUNUS LUSITANICA	PORTUGUESE LAUREL	5, 3, 2, 1			OFFSITE PRIVATE
5418		OLEA EUROPAEA	OLIVE	11			OFFSITE PRIVATE
5419		PRUNUS LUSITANICA	PORTUGUESE LAUREL	11, 3			OFFSITE PRIVATE
5420		PRUNUS LUSITANICA	PORTUGUESE LAUREL	8, 7, 7, 2, 2			OFFSITE PRIVATE
5476		PRUNUS LUSITANICA	PORTUGUESE LAUREL	6, 4, 4, 3.5, 3			OFFSITE PRIVATE
5477		OLEA EUROPAEA	OLIVE	11, 5			OFFSITE PRIVATE
5480		EUCALYPTUS CAMALDULENSIS	RED GUM	26	YES		OFFSITE PRIVATE
5481		PRUNUS LUSITANICA	PORTUGUESE LAUREL	8, 2			OFFSITE PRIVATE
5482		PRUNUS LUSITANICA	PORTUGUESE LAUREL	5, 3			OFFSITE PRIVATE
5483		PRUNUS LUSITANICA	PORTUGUESE LAUREL	7, 1			OFFSITE PRIVATE
5484		PRUNUS LUSITANICA	PORTUGUESE LAUREL	4.5, 3, 2.5, 1, 1			OFFSITE PRIVATE
5485		EUCALYPTUS CAMALDULENSIS	RED GUM	28, 9	YES		OFFSITE PRIVATE
5486		PRUNUS LUSITANICA	PORTUGUESE LAUREL	5.5, 5, 4, 4, 2, 1			OFFSITE PRIVATE
5487		PRUNUS LUSITANICA	PORTUGUESE LAUREL	7, 4, 3, 1			OFFSITE PRIVATE
5488		PRUNUS LUSITANICA	PORTUGUESE LAUREL	6.5, 1, 1			OFFSITE PRIVATE
5489		PRUNUS LUSITANICA	PORTUGUESE LAUREL	7			OFFSITE PRIVATE
5490		PINUS CANARIENSIS	CANARY ISLAND PINE	4		X	CITY
5491		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	18.5	YES	X	ONSITE
5492		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	19	YES	X	ONSITE
5493		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6		X	ONSITE
5494		QUERCUS LOBATA	VALLEY OAK	4.5		X	ONSITE
5495		QUERCUS LOBATA	VALLEY OAK	4.5		X	ONSITE

\* PER SUNNYVALE MUNICIPAL CODE, A PROTECTED TREE IS ANY TREE OF A SIGNIFICANT SIZE, DEFINED AS A TREE 38 INCHES OR GREATER IN CIRCUMFERENCE (12 INCH DBH) MEASURED FOUR AND ONE-HALF FEET ABOVE GROUND FOR SINGLE TRUNK TREES. FOR MULTI-TRUNK TREES "SIGNIFICANT SIZE" MEANS A TREE WHICH HAS AT LEAST ONE TRUNK WITH A CIRCUMFERENCE 38 INCHES OR GREATER MEASURED FOUR AND ONE-HALF FEET ABOVE GROUND LEVEL, OR IN WHICH THE MEASUREMENTS OF THE CIRCUMFERENCE OF EACH OF THE MULTI-TRUNKS, WHEN MEASURED FOUR AND ONE-HALF FEET ABOVE THE GROUND LEVEL, ADDED TOGETHER EQUAL AN OVERALL CIRCUMFERENCE 113 INCHES OR GREATER (36 INCH DBH).



WHERE PROPOSED CONSTRUCTION EN-CROACHES ON TREE PROTECTION ZONES OF TREES ON ADJACENT PARCELS, DEMOLITION AND CONSTRUCTION SHALL BE PERFORMED ACCORDING TO PROCEDURES DESCRIBED IN NOTES 9 THROUGH 25 ON SHEET AT1.01.

PROPOSED BIORETENTION AREA

PROPOSED STORM DRAIN

PROPOSED BUILDING FOOTPRINT

1215 BORDEAUX DRIVE  
 APN 110-25-017

PROPOSED CONCRETE-LINED BIORETENTION BASIN

PROPOSED BUILDING OVERHANG, TYP

PROPOSED STORM DRAIN  
 PROPOSED UTILITY

PROPOSED CONCRETE-LINED BIORETENTION BASIN

TREE LOCATION APPROXIMATE; SEE NOTE 2 ON SHEET AT1.01

CITY TREE

BORDEAUX DRIVE

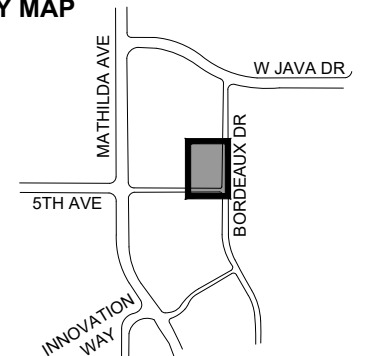
5TH AVENUE

**LEGEND**

- EXISTING TREE TO BE PROTECTED  
 TREE PROTECTION ZONE, SEE NOTE 5 AND DETAIL 1 / AT1.01
- 0000** TREE NUMBER  
 \*- INDICATES PROTECTED TREE
- TREE TO BE REMOVED
- TREE PROTECTION ZONE FENCE <sup>1</sup> AT1.01
- PROPOSED BUILDING, LANDSCAPE, HARDSCAPE, AND UTILITY IMPROVEMENTS. SHOWN FOR REFERENCE ONLY.
- PROPERTY BOUNDARY

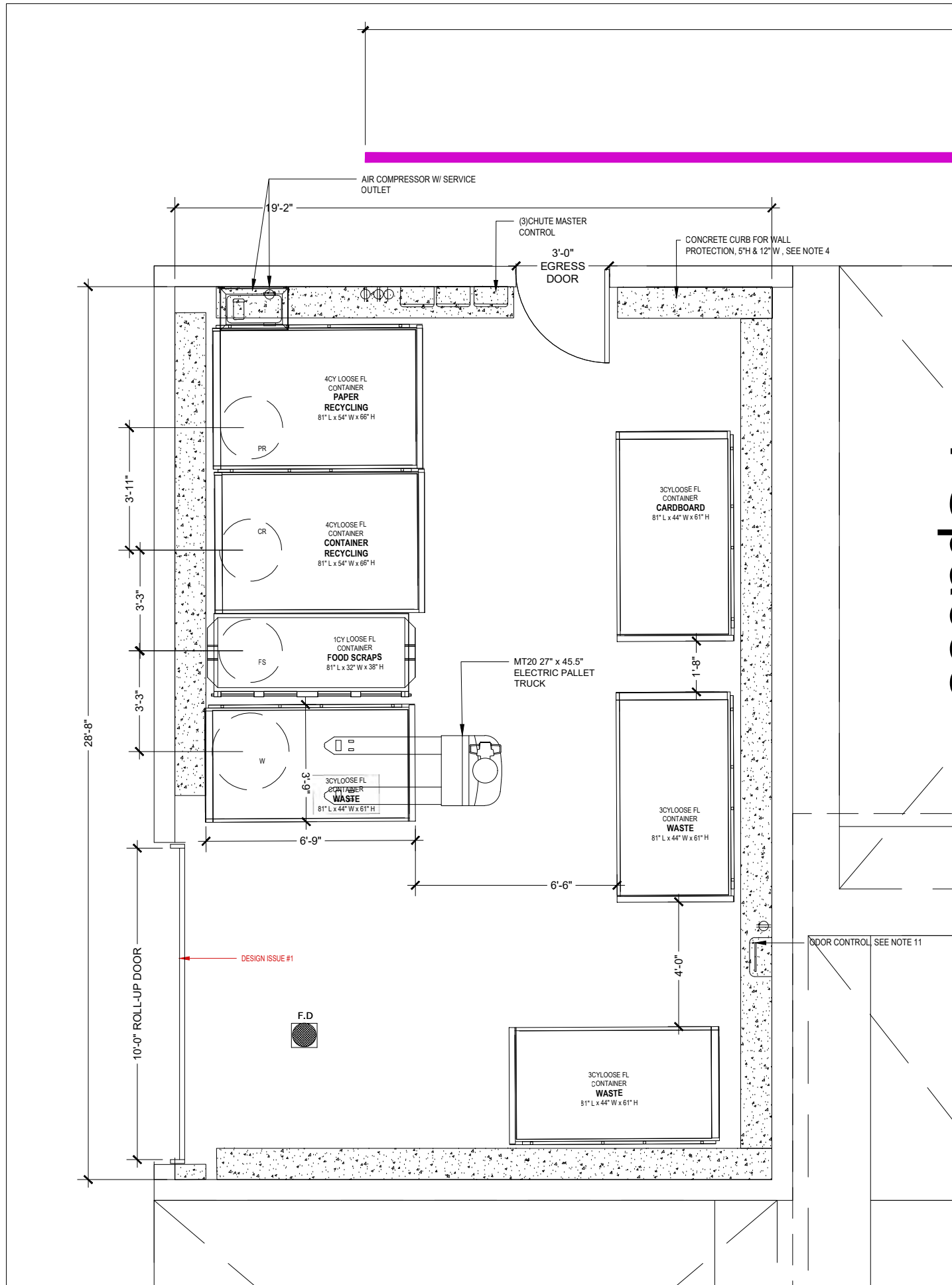
NOTES:  
 1. SEE SHEET AT1.01 FOR TREE NOTES AND DETAIL AND AT1.02 FOR TREE PROTECTION AND REMOVAL SCHEDULE.

**KEY MAP**

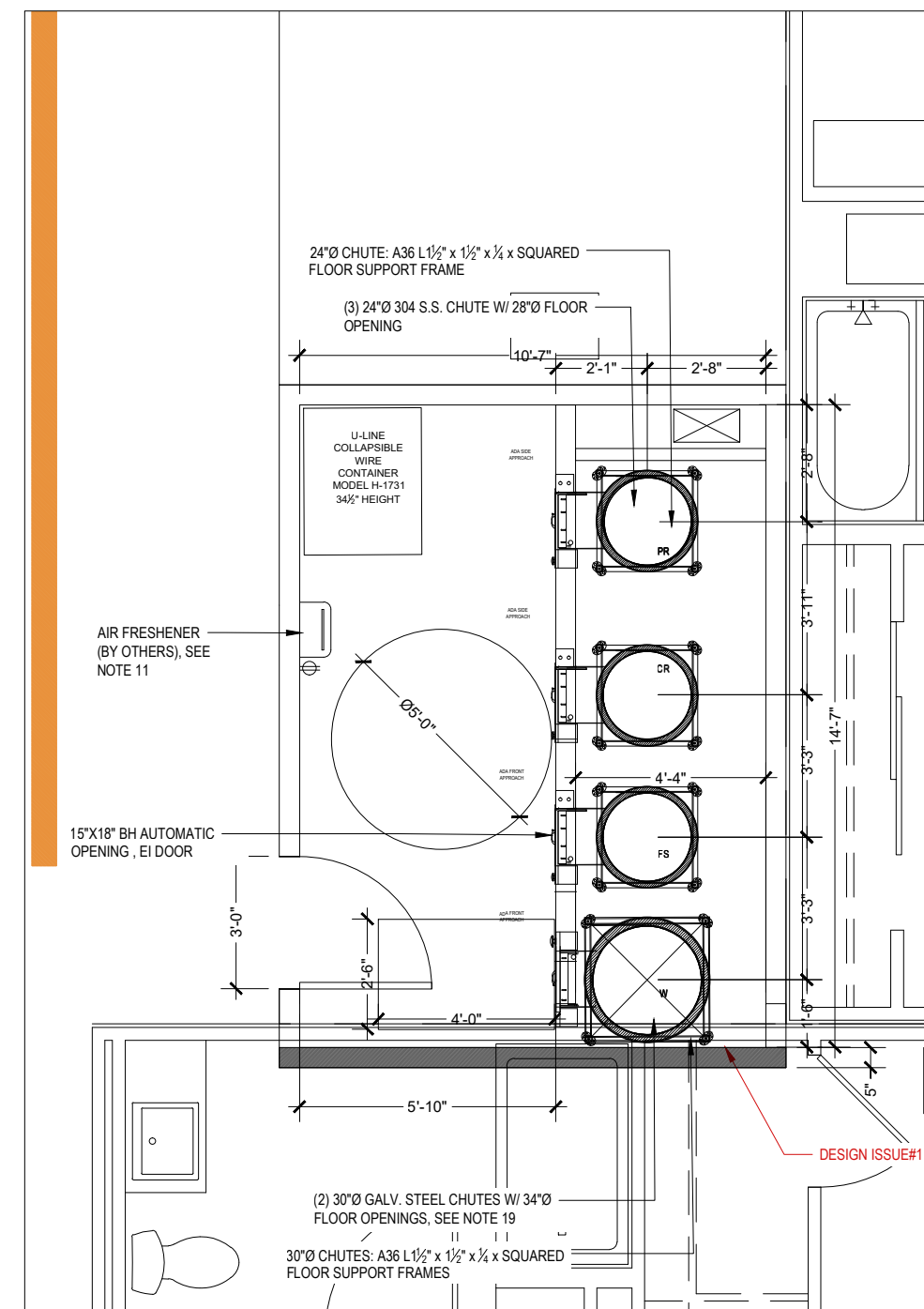








**NORTH RESI TRASH COLLECTION AREA**  
LEVEL 1  
SCALE: 1/2"=1'-0"



**NORTH RESI TRASH COLLECTION AREA**  
SIM AT LEVEL 3-8  
SCALE: 1/2"=1'-0"

- SHEET NOTES:**
- NORTH RESIDENTIAL TRASH ROOM LEVEL 1.**
- TRASH COLLECTION ROOM IS 2HR FIRE-RATED - RESTRICTED ACCESS.
  - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING, FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN.
  - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT 8'-0" AFF.
  - WALL PROTECTION: 12"Wx5"H CONCRETE CURB AT BASE OF ALL NON-REINFORCED CONCRETE WALLS.
  - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/SF PER CBC2022.
  - INSTALL 8'-0" WIDE ROLL-UP DOOR FOR TRANSFERRING CONTAINERS. INSTALL 3'-0" NFPA COMPLIANT DOOR FOR FIRE EGRESS.
  - (1) 30"Ø 16-GAUGE GALVANIZED / GALVANNEALED OR ALUMINIZED STEEL CHUTE WITH 3CY LOOSE CONTAINER CHUTES TERMINATE 6'-0" AFF.
  - (3) 24"Ø 16-GAUGE GALVANIZED / GALVANNEALED OR ALUMINIZED STEEL CHUTE WITH 4CY FL LOOSE CONTAINERS FOR CONTAINER RECYCLING & MIXED PAPER. PROVIDE (1) 1CY FL CONTAINER FOR FOOD SCRAPS.
  - MCP CHUTE MASTER CONTROL PANEL (1 PER CHUTE) SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. 120V 15A SERVICE OUTLET REQUIRED.
  - AC AIR COMPRESSOR (DL LESS) 4610AC WITH AUTOMATIC TANK DRAIN VALVE, 2 HP PEAK, TWIN TANK CAPACITY 4.6 GALLONS, VOLTAGE @ 60 HZ 110 VOLTS, CURRENT 8.5 AMPS TO POWER THE CHUTE INTAKE DOORS (1) TOTAL.
  - ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. 120V 15A SERVICE OUTLET REQUIRED. MECHANICALLY ACTIVATED AIR FRESHENERS AND FREQUENT VESTIBULE CLEAN UPS ARE RECOMMENDED FOR ALL TRASH VESTIBULES TO REDUCE ODORS ON THESE FLOORS.
  - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
  - PROVIDE MT20 27' X 45.5' ELECTRIC PALLET TRUCK FOR MOVING BINS. 4500LB CAPACITY WITH 67" TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
  - PROVIDE (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.
  - TYPES A, B LABEL CONSTRUCTION, HORIZONTALLY ROLLING DOOR, HELD OPEN BY 165°F FUSIBLE LINK, SHOWN IN CLOSED POSITION.

- CHUTE INTAKE VESTIBULES, SIMILAR AT LEVELS 2-8.**
- CHUTE INTAKE VESTIBULES SHALL BE 2HR FIRE-RATED WITH 90-MINUTE FIRE-RATED ACCESS DOOR FOR RESIDENTIAL ACCESS. \*NOTE THAT WHERE CHUTE INTAKE ROOMS ARE PROTECTED BY AUTOMATIC SPRINKLERS, THE ROOM SHALL BE ENCLOSED IN A MIN OF 1HR FIRE RESISTANCE-RATED CONSTRUCTION WITH 45-MINUTE FIRE-RATED ACCESS DOORS". 5'-0" MIN DIAMETER WHEELCHAIR TURNING SPACE REQUIRED PER ADA REQUIREMENTS. POWER TO INTAKE DOORS SUPPLIED BY MCP. PROVIDE (4) 15X18 BOTTOM HINGED, LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING DOOR AT EACH FLOOR. SEE DETAIL 2/TR2.0, 30" X 44" FRONT / SIDE APPROACH REQUIRED PER ADA STANDARDS.
  - MANAGEMENT TO PROVIDE 35GAL FOOD SCRAP CONTAINER FOR COMPOST DISPOSAL. STAFF TO EMPTY IN CONTAINERS DAILY AT TRASH ROOM.
  - 2HR FIRE-RATED FACE WALL SHALL NOT BE ERRECTED UNTIL CHUTES HAVE BEEN INSTALLED. FOR SOUND PROOFING PURPOSES. ATM RECOMMENDS DOUBLE STUD-WALLS OR EQUIVALENT ADJACENT TO OCCUPIED SPACES. ATM RECOMMENDS INTERIOR OF SHAFT TO BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES. ARCHITECT TO SELECT SUITABLE ASSEMBLY.
  - PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND OCTAGONAL FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. SEE PLAN FOR DIAMETER OF OPENINGS. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/TR2.0 FOR ANCHORING.
- GENERAL NOTES:**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
  - ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

**DESIGN ISSUES:**

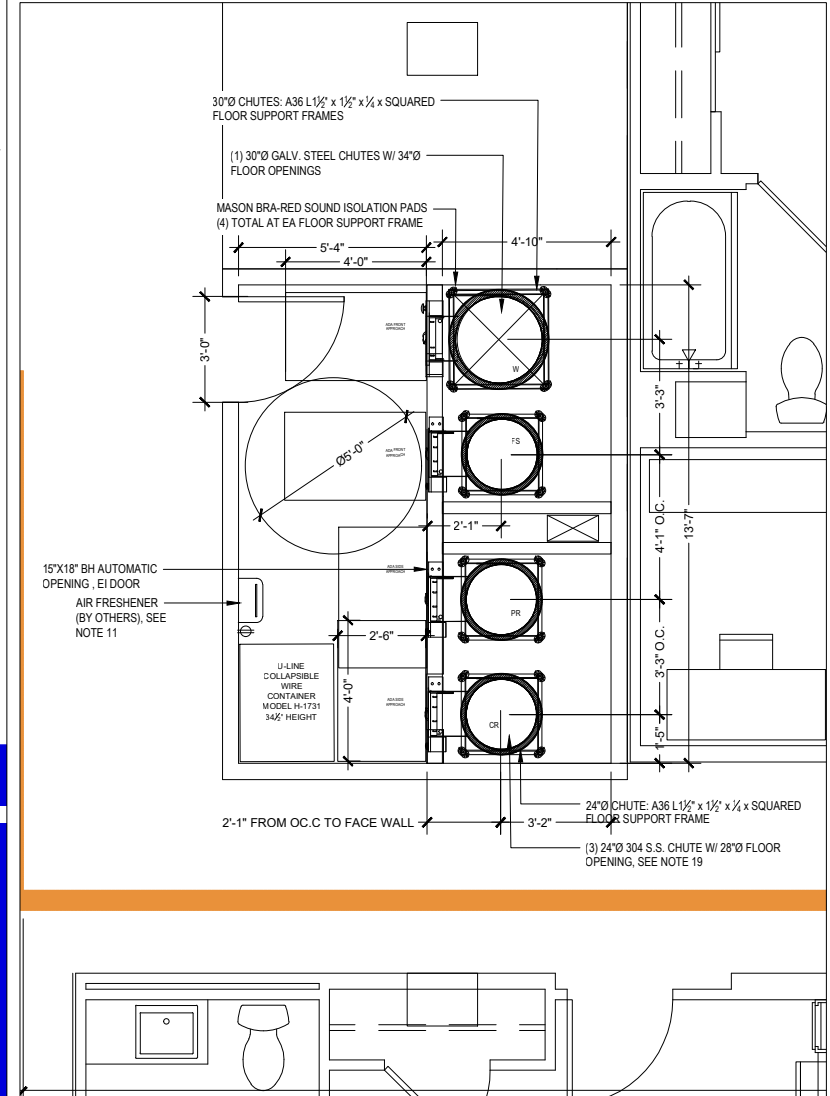
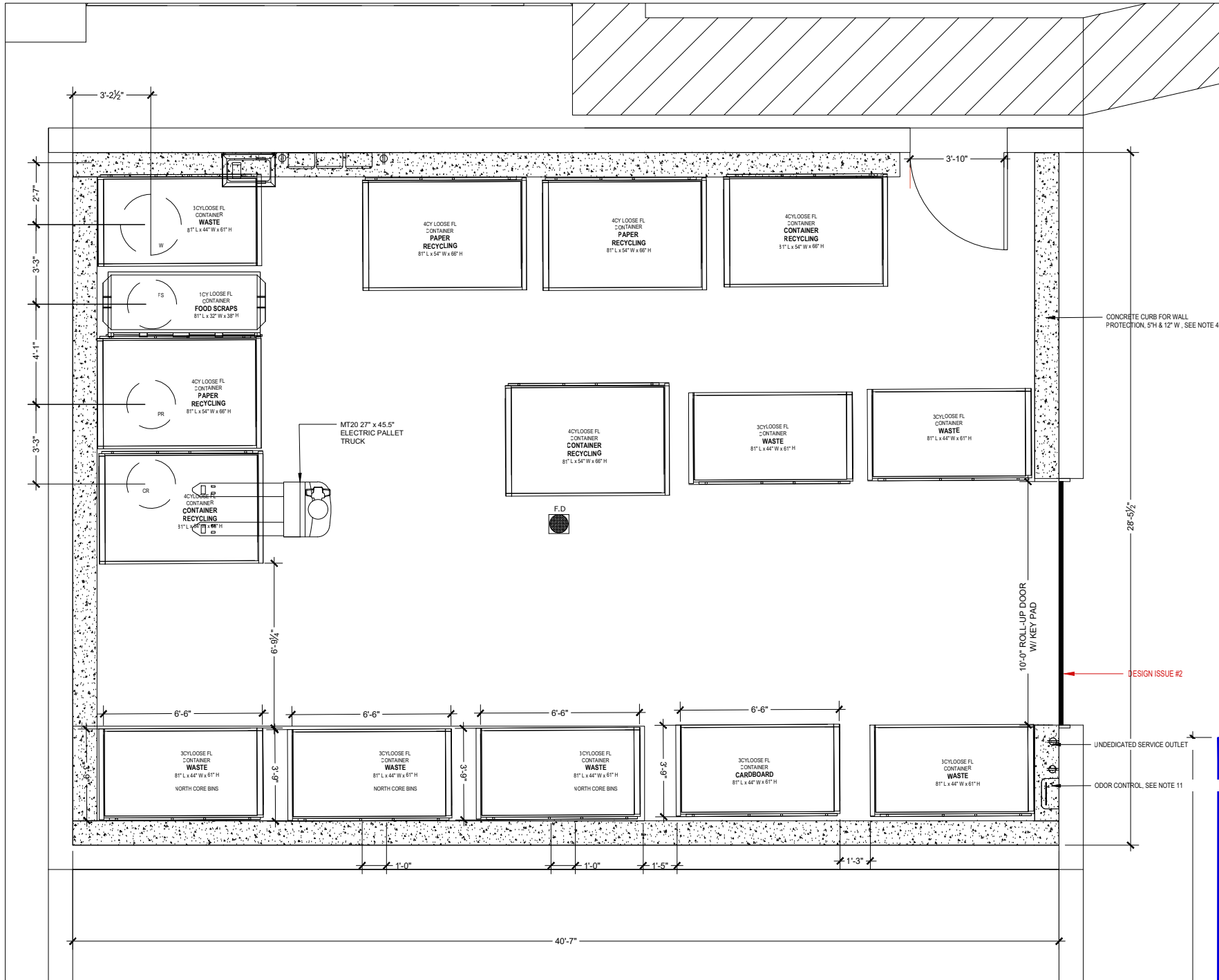
- INCREASE THE SIZE OF ROLL-UP DOOR TO 10'-0".

- SHEET NOTES:**
- TRASH COLLECTION ROOM IS 2HR FIRE-RATED - RESTRICTED ACCESS.
  - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN.
  - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT 2'-0" AFF.
  - WALL PROTECTION: 12"X6"X5" CONCRETE CURB AT BASE OF ALL NON-REINFORCED CONCRETE WALLS.
  - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM8F PER CBC2022.
  - INSTALL 10'-0" WIDE ROLL-UP DOOR FOR TRANSFERRING CONTAINERS. INSTALL 3'-0" NFPA COMPLIANT DOOR FOR FIRE EGRESS.
  - (1) 30"Ø 16-GAUGE GALVANIZED / GALVANNEALED OR ALUMINIZED STEEL CHUTE WITH 3CY LOOSE CONTAINER. CHUTES TERMINATE 6'-0" AFF.
  - (3) 24"Ø 16-GAUGE GALVANIZED / GALVANNEALED OR ALUMINIZED STEEL CHUTE WITH 4CY FL LOOSE CONTAINERS FOR CONTAINER RECYCLING & MIXED PAPER. PROVIDE (1) 1CY FL CONTAINER FOR FOOD SCRAPS.
  - MCP: CHUTE MASTER CONTROL PANEL (1 PER CHUTE) SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. 120V 15A SERVICE OUTLET REQUIRED.
  - AC: AIR COMPRESSOR (OIL-LESS) 4610AC WITH AUTOMATIC TANK DRAIN VALVE. 2 HP PEAK. TWIN TANK CAPACITY 4.6 GALLONS. VOLTAGE @ 60 HZ 110 VOLTS. CURRENT 8.5 AMPS TO POWER THE CHUTE INTAKE DOORS. (1) TOTAL.
  - OC: ODOOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. 120V 15A SERVICE OUTLET REQUIRED. MECHANICALLY ACTIVATED AIR FRESHENERS AND FREQUENT VESTIBULE CLEAN UPS ARE RECOMMENDED FOR ALL TRASH VESTIBULES TO REDUCE ODORS ON THESE FLOORS.
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  - PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND OCTAGONAL FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. SEE PLAN FOR DIAMETER OF OPENINGS. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/12.0 FOR ANCHORING.

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- DESIGN ISSUES:**
- INCREASE THE SIZE OF ROLL-UP DOOR TO 10'-0".



**SOUTH RESI TRASH COLLECTION AREA**  
LEVEL 1  
SCALE: 3/8"=1'-0"

**SOUTH RESI TRASH COLLECTION AREA**  
SIM AT LEVEL 3-8  
SCALE: 3/8"=1'-0"

**LEGEND**

**LIGHTING FIXTURES COLOR LEGEND**







- LIGHTING FIXTURES MOUNTED ABOVE EYE LEVEL (ABOVE 5'-6")
- LIGHTING FIXTURES MOUNTED BELOW EYE LEVEL (ABOVE 5'-6")

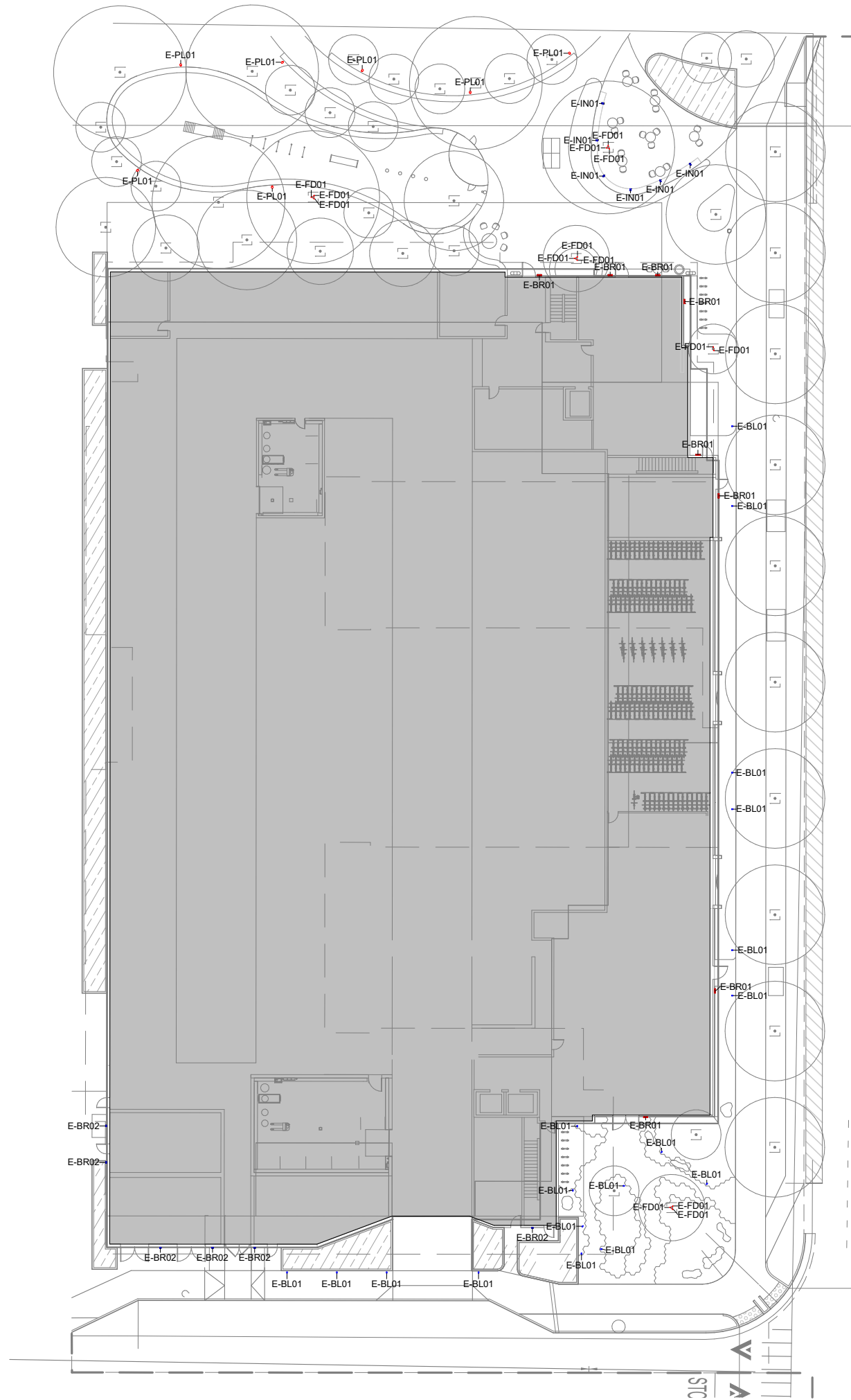
**HATCH LEGEND**

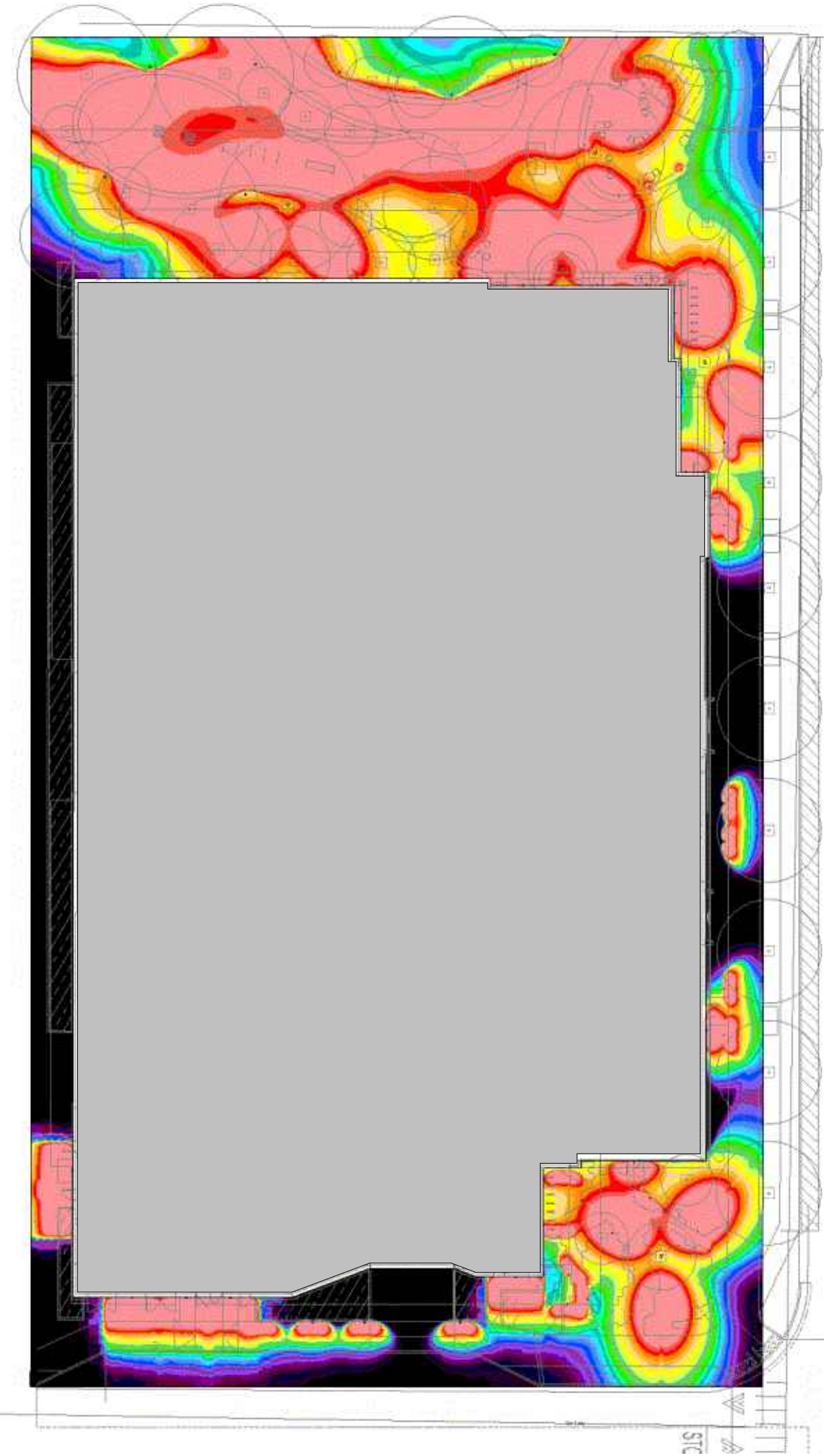
- BY OTHERS

**SCHEDULE**

**Lighting Legend - L1**

Image	Specification Code	Description	Manufacturer	Count	Total Length
	E-BL01	Entry Bollard	Louis Poulsen	18	0' - 0"
	E-BR01	Wall Sconce	Louis Poulsen	8	0' - 0"
	E-BR02	Wall Sconce	Lumenpulse	6	0' - 0"
	E-FD01	Tree Moonlighting @ Platning	Auroralight	14	0' - 0"
	E-IN01	Wall/Step Lights	Auroralight	6	0' - 0"
	E-PL01	Poles "Bishop"	Hess	7	0' - 0"





**LEGEND**



**SCHEDULE**

**Lighting Legend - L1**

Image	Specification Code	Description	Manufacturer	Count	Total Length
	E-BL01	Entry Bollard	Louis Poulsen	18	0' - 0"
	E-BR01	Wall Sconce	Louis Poulsen	8	0' - 0"
	E-BR02	Wall Sconce	Lumenpulse	6	0' - 0"
	E-FD01	Tree Moonlighting @ Platning	Auroralight	14	0' - 0"
	E-IN01	Wall/Step Lights	Auroralight	6	0' - 0"
	E-PL01	Poles "Bishop"	Hess	7	0' - 0"

**LEGEND**

**LIGHTING FIXTURES COLOR LEGEND**







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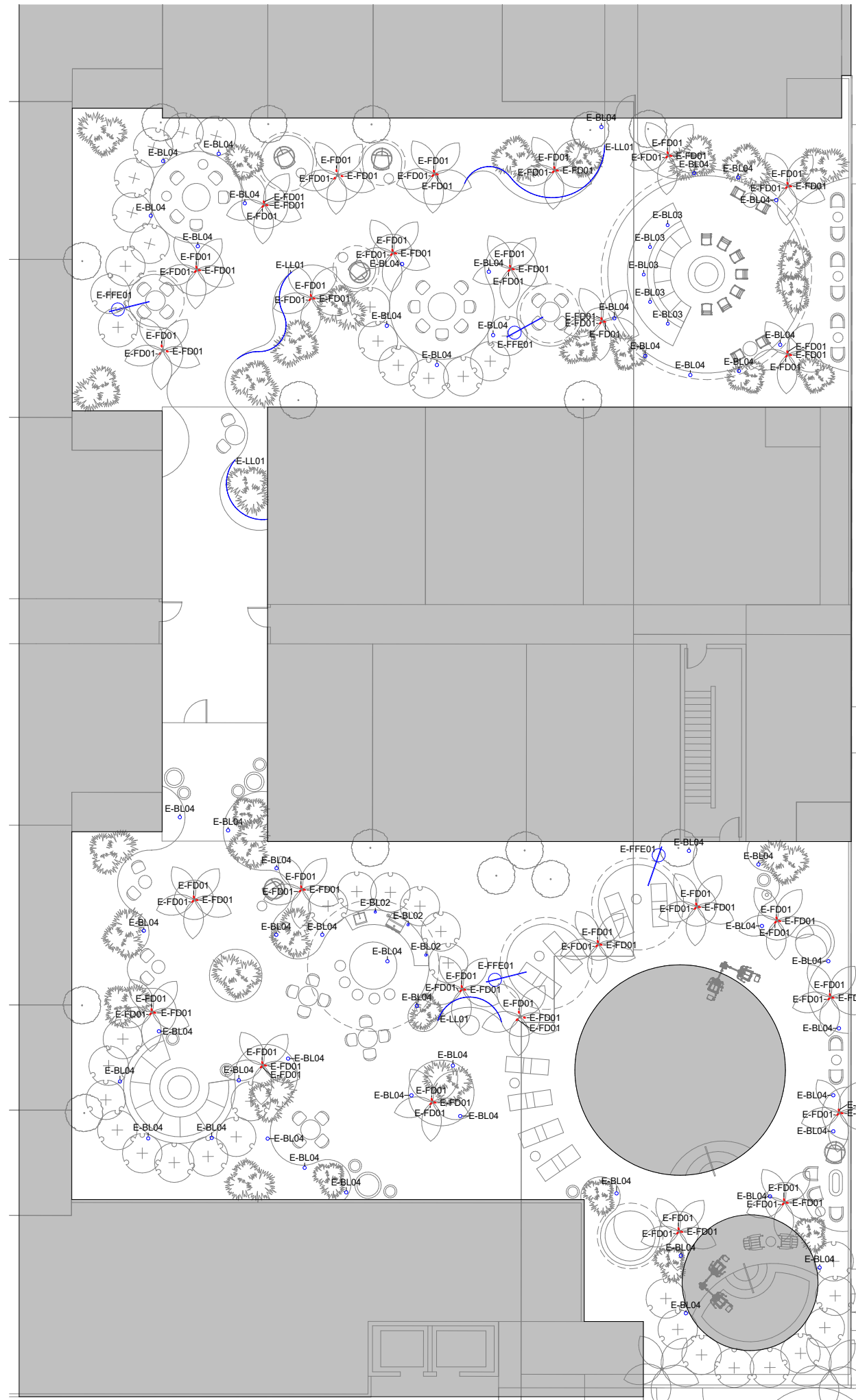
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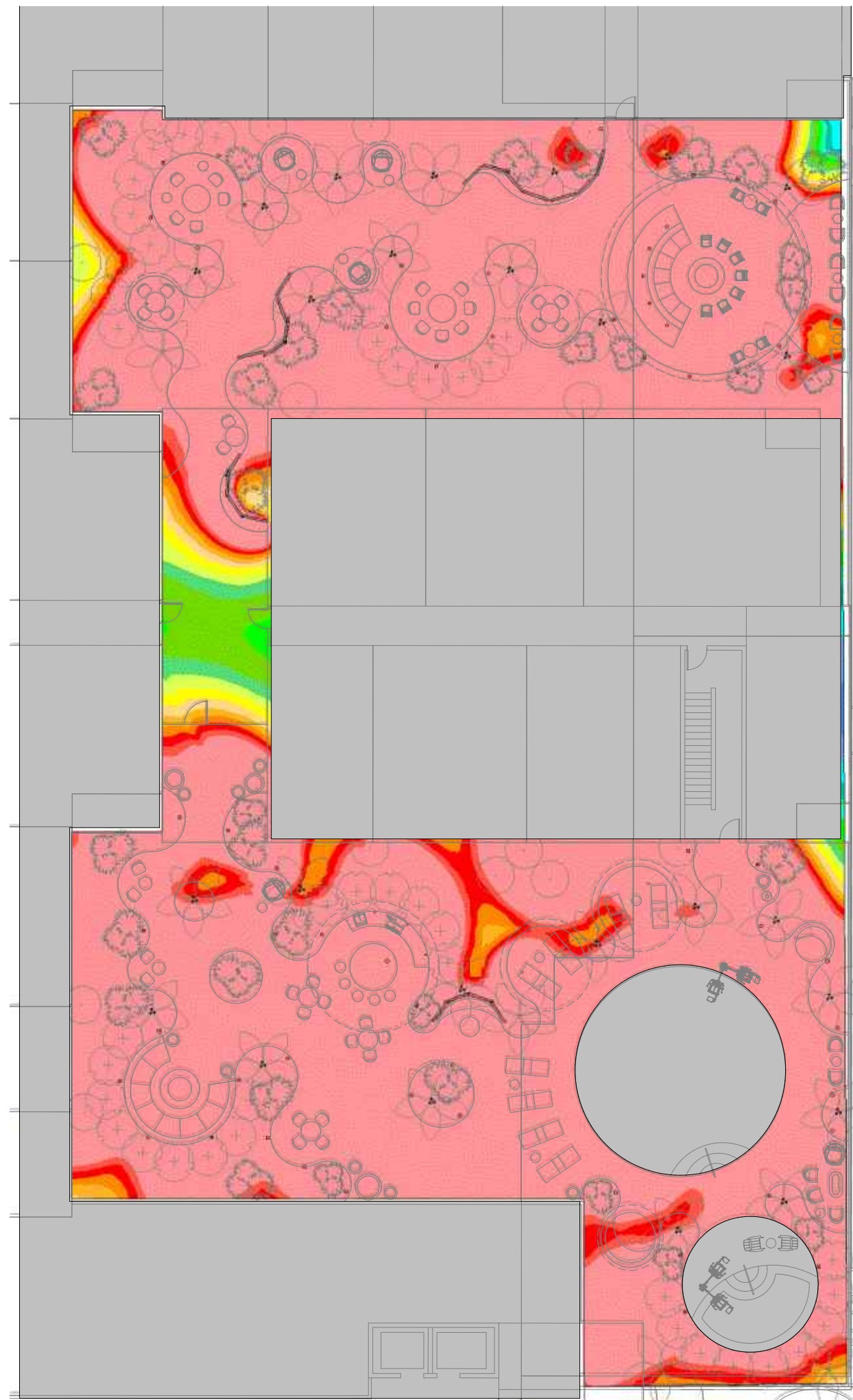
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**SCHEDULE**

**Lighting Legend - L3**

Image	Specification Code	Description	Manufacturer	Count	Total Length
	E-BL02	Lamp @ Countertop	Auroralight	3	0' - 0"
	E-BL03	Seat Lamp	BK Lighting	5	0' - 0"
	E-BL04	Bollard	Auroralight	51	0' - 0"
	E-FD01	Tree Moonlighting @ Platning	Auroralight	81	0' - 0"
	E-FFE01	Floor Lamp	Landscape Forms	4	0' - 0"
	E-LL01	Lights @ Curves	Luminii	148	74' - 0"





**LEGEND**



**SCHEDULE**

**Lighting Legend - L3**

Image	Specification Code	Description	Manufacturer	Count	Total Length
	E-BL02	Lamp @ Countertop	Auroralight	3	0' - 0"
	E-BL03	Seat Lamp	BK Lighting	5	0' - 0"
	E-BL04	Bollard	Auroralight	51	0' - 0"
	E-FD01	Tree Moonlighting @ Platting	Auroralight	81	0' - 0"
	E-FFE01	Floor Lamp	Landscape Forms	4	0' - 0"
	E-LL01	Lights @ Curves	Luminii	148	74' - 0"