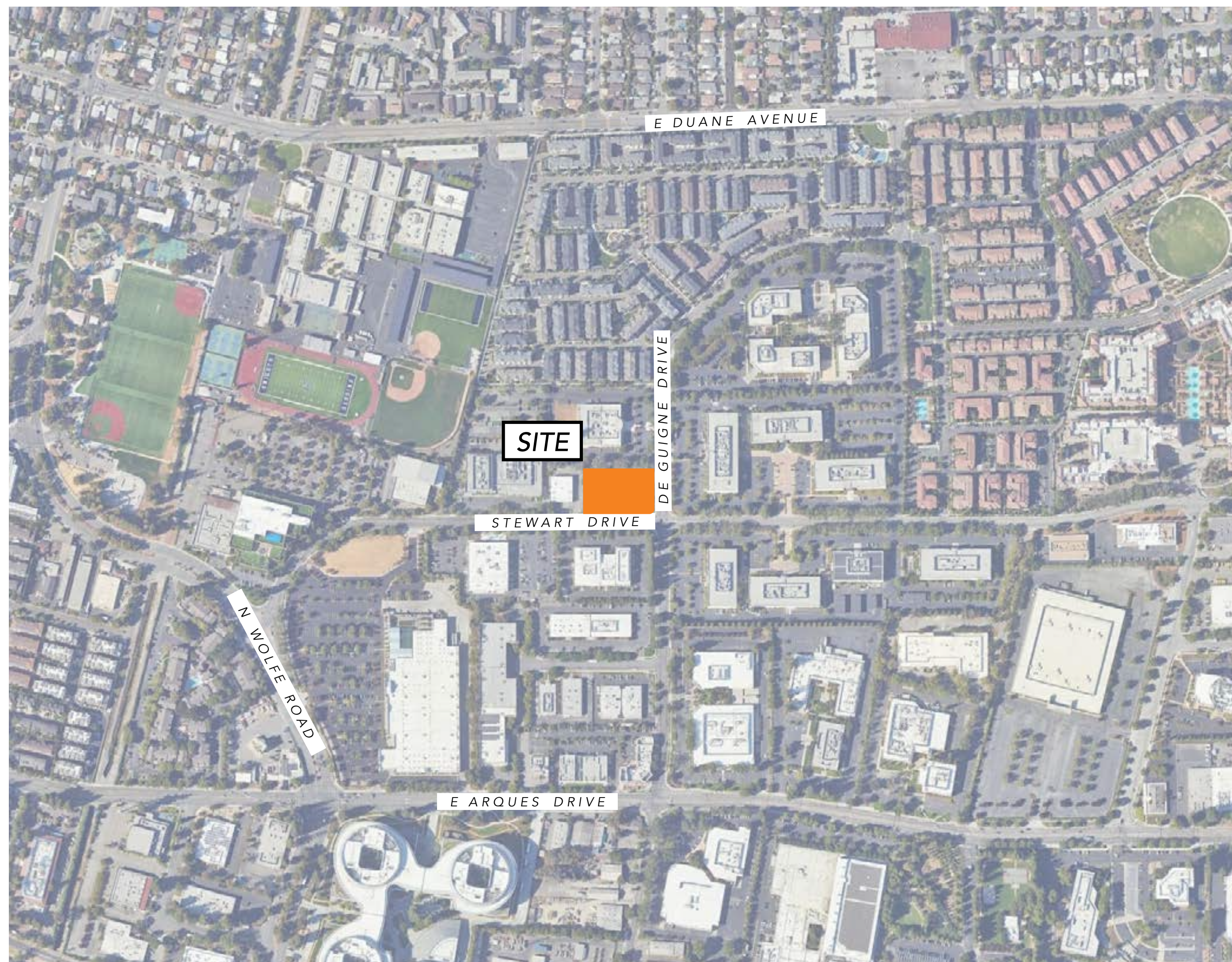


VICINITY MAP



THE ARCADE

ADDRESS:
845 STEWART DRIVE SUNNYVALE CA.

APN:
205-21-010 SANTA CLARA COUNTY

ACREAGE:
1.16AC

CURRENT USE:
COMMERCIAL

PROPOSED USE:
28 RESIDENTIAL UNITS
(24 MARKET RATE ~ 4 AFFORDABLE)

CONCEPTUAL CODE ANALYSIS:
CONSTRUCTION TYPE VB
OCCUPANCY R2/U
FIRE SUPPRESSION SYSTEM NFPA - 13 SPRINKLERS

SHEET INDEX

- GENERAL**
- G-1 COVER SHEET
 - G-2 PROJECT INFORMATION
 - G-3 EXISTING SITE PHOTOGRAPHS
 - G-4 ILLUSTRATIVE SITE PLAN
 - G-5 STEWART STREET FACADE RENDERING

- ARCHITECTURAL**
- A-1 CONCEPTUAL ARCHITECTURAL SITE PLAN
 - A-2 CONCEPTUAL FLOOR PLANS - BUILDING 1 & 3
 - A-2.1 CONCEPTUAL FLOOR AND ROOF PLANS - BUILDING 1 & 3
 - A-2.2 CONCEPTUAL ELEVATIONS, COLORS & MATERIALS - BUILDING 1 & 3
 - A-2.3 CONCEPTUAL ELEVATIONS, COLORS & MATERIALS - BUILDING 1 & 3
 - A-3 CONCEPTUAL FLOOR & ROOF PLANS - BUILDING 2
 - A-3.1 CONCEPTUAL ELEVATIONS, COLORS & MATERIALS - BUILDING 2
 - A-4 CONCEPTUAL FLOOR PLANS - BUILDING 4
 - A-4.1 CONCEPTUAL ELEVATIONS, COLORS & MATERIALS - BUILDING 4
 - A-5 ARCHITECTURAL SITE SECTION
 - A-6 CONCEPTUAL STREET FACADES
 - A-7 SOLAR ACCESS AND SHADOW ANALYSIS

- LANDSCAPE**
- L-1 OVERALL SITE PLAN
 - L-2 OPEN SPACE EXHIBIT
 - L-3 CONCEPTUAL WALL AND FENCE PLAN
 - L-4 WATER USE CALCULATIONS
 - L-5 CONCEPTUAL PLANT PALETTE
 - L-6 TREE PROTECTION PLAN

- LIGHTING**
- SL1 STREET LIGHTING GENERAL NOTES AND DETAILS
 - SL2 STREET LIGHTING GENERAL NOTES AND DETAILS
 - SL3 STREET LIGHTING SITE PLAN

- CIVIL**
- C-1.0 VESTING TENTATIVE MAP
 - C-2.0 EXISTING CONDITIONS PLAN
 - C-3.0 PRELIMINARY SITE PLAN
 - C-4.0 PRELIMINARY GRADING & DRAINAGE PLAN
 - C-4.1 PRELIMINARY GRADING SECTIONS
 - C-4.2 ACCESSIBILITY PLAN
 - C-4.3 CIRCULATION PLAN
 - C-5.0 PRELIMINARY UTILITY PLAN
 - C-6.0 PRELIMINARY STORMWATER TREATMENT PLAN
 - C-7.0 PRELIMINARY STORMWATER TREATMENT DETAILS
 - C-8.0 FIRE ACCESS PLAN

PROJECT TEAM

DEVELOPER
CITY VENTURES
Contact: Adam Foster
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C2 COLLABORATIVE
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949.542.7717 | QDeBence@C2Collaborative.com



COVER SHEET

CITY SUBMITTAL

November 11, 2025

The Arcade
845 Stewart Drive
Sunnyvale, CA

PROJECT TABULATIONS

PARCEL TABULATIONS								1.16 Ac
SITE AREA								28 units
RESIDENTIAL	Living Space	Garage	Total Unit SF	Covered Deck	Uncovered Patio		Beeds	
P1	3B/2.5Ba/2T	1,480	500	1,980	80	0	3	8 units
P2	3B/3/Ba/2T	1,419	480	1,899	80	160	3	11 units
P3	3B/3Ba/Den/2C/Opt 4bed	1,752	488	2,240	80	160	3	6 units
P3x	3B/3Ba/Den/2C/Opt 4bed	1,841	488	2,329	80	160	3	3 units
Parking								61 cars
Garage - ~ 2) 8.5x18 City Standard 2 car (400sfmin)								56 cars
Unassigned								5 cars
Open Space								
Usable Open Space								13,356 sf
Private - Patios and Decks								3,333 sf
Other Landscape Area								13,475 sf
Density Ratios								
Homes								24.14 du/ac
Parking								2.2 car/du
Open Space per Unit								0 sf/du
SITE TABULATION MATRIX								Provided
ACREAGE				MDR R-3				1.16 Ac
DENSITY Consistent to SDBL				24 du/ac max				24.14 du/ac
FAR Gross Floor Area (Living Space + Garage)/Site Area				40% Max of Ac				1.1 FAR
LOT COVERAGE (Building Footprints / Site Area in below table)				40% Max of Ac				41.7% %
PERVIOUS SURFACE AREA (Permeable Area of Site, See Calculations in Below Table)								13,557 SF
IMPERVIOUS SURFACE AREA (Building Footprint + Impervious Surfaces, See Calculations in Below Table)								36,973 SF
BUILDING HEIGHT Consistent to SDBL				35' Max				40'
BUILDING STORIES				3 Stories max				3 Stories
RESIDENTIAL								28 Units
Moderate Affordable Units				15% Moderate				4 Units
Market Rate								24 Units
RESIDENTIAL LIVING SPACE SF								43,484 SF
Residential Unit Average Living Space SF								1,553 ASF
OPEN SPACE								26,831 SF
Usable Open Space				400 sf/du				11,200 sf
Other Landscape Area				425 sf/du				11,900 sf

BUILDING AREAS	Living SF	Garage SF	Total SF
Building 1	15,733	4,872	20,605
Building 2	4,379	1,480	5,859
Building 3	15,733	4,872	20,605
Building 4	7,639	1,448	9,087
TOTAL SF	43,484	12,672	56,156

Impervious Surfaces Calculations	
Buildings	21,071
Roads	10,537
Walkways	5,365
Pervious Surface Calculations	
Landscaping	13,557
Site Area	50,530

Lot Coverage Calculations	
Building 1	7524 SF
Building 2	2240 SF
Building 3	7524 SF
Building 4	3783 SF
Total Building Footprint:	21071 SF
Site area	50530 SF
Building Footprints/Site Area	41.70% Coverage

ZONING SUMMARY

	Required	Proposed
General Plan Category	Medium Density Residential	Medium Density Residential
General Plan Consistent Zoning	R-3	R-3
Use	Office with a restaurant	Townhouse-style condominiums
General Plan Density	24 du/ac (Max. 28 Units)	24.14 du/ac (28 Units; 4 of which will be affordable)
Building Setback		
Front Setback	20'	16'
Left Side Setback	12'	25'-10"
Right Side Setback	12'	20'
Rear Setback	20'	5'
Max Building Height	None w/ State Density Bonus Waiver	42'
Max Stories	3	3
Residential Required Parking	56 spaces (Government Code §65915.p - Maximum Parking Ratio includes ADA & guest parking!)	61 spaces
Bicycle Parking	1 for every 4 units	1 provided in each unit garage
Usable Open Space	400sf/du = 11,200sf	477sf/du = 13,356sf
Other Landscaped Area	425sf/du = 11,900sf	481sf/du = 13,475sf

PROJECT NARRATIVE

City Ventures is excited to present The Arcade, located at 845 Stewart Drive. The 1.16 acre site is currently occupied by surface parking and existing office building that includes a restaurant. Residential development has been constructed on properties north and north-east of the site. The property's General Plan Land Use designation is Medium Density Residential, with a residential density of up to 24.14 dwelling units per acre (du/ac), or 28 total units.

City Ventures is proposing 28 solar, all-electric, three-story townhome-style condominiums, ranging from 1,419 – 1,841 square feet with 3-4 bedrooms (24.14 du/ac). The project will also include 4 below-market-rate (BMR) homes. The 4 below-market-rate homes will be sold consistent with the City's Municipal Code.

The homes will be accessed from shared paseos, common open space areas, and/or common drive aisles. Our vision for the project aims to create a vibrant, sustainable, and inclusive community that meets the needs of a modern urban lifestyle while preserving the unique character of the community. The site design includes perimeter sidewalks and an ingress/egress access point from Stewart Drive. The project will also include native plant species, trees, and flowers as well as a central picnic area.

The project's name, The Arcade, is inspired by Sunnyvale's globally significant achievements in the video game industry. We hope the project draws future innovators into the City.

Zoning at 845 Stewart Drive is Industrial and service zoning district (MS). Given the property's Medium Density Residential Land Use designation, the applicant requests the R-3 medium density residential zoning district be applied to the property as its best fit zoning.

The project is a Housing Development Project within the meaning of Government Code section 65589.5(h)(2) and has been designed to comply with applicable general plan and subdivision standards and criteria as described in Government Code section 65589.5(j). The project is eligible for a density bonus concession and waivers consistent with state Government Code §65915. City Ventures is proposing a concession and waivers as detailed in the charts in this submittal package. We reserve the right to request additional concessions or waivers and concessions in the future in accordance with state law.

Proposed Multifamily Development is Private Housing as defined in CBC Chapter 2

REQUESTED ENTITLEMENTS
Vesting Tentative Map
Design Review
Tree Removal Permit

City Ventures is enthusiastic about the opportunity to work with the City of Sunnyvale on this project. We believe The Arcade will be an important step toward meeting the housing needs of the area and will contribute to the continued success and vibrancy of the neighborhood. We look forward to collaborating with the City and community to bring this vision to life.

Thank you for your time and consideration.

CITY SUBMITTAL

November 11, 2025

The Arcade
845 Stewart Drive
Sunnyvale, CA

PROJECT INFORMATION



The Arcade
APN: 205-21-010 Santa Clara County
845 Stewart Dr.
Sunnyvale, CA



November 11, 2025
September 5, 2025
July 25, 2025
June 6, 2025

G-2

FDS#24018



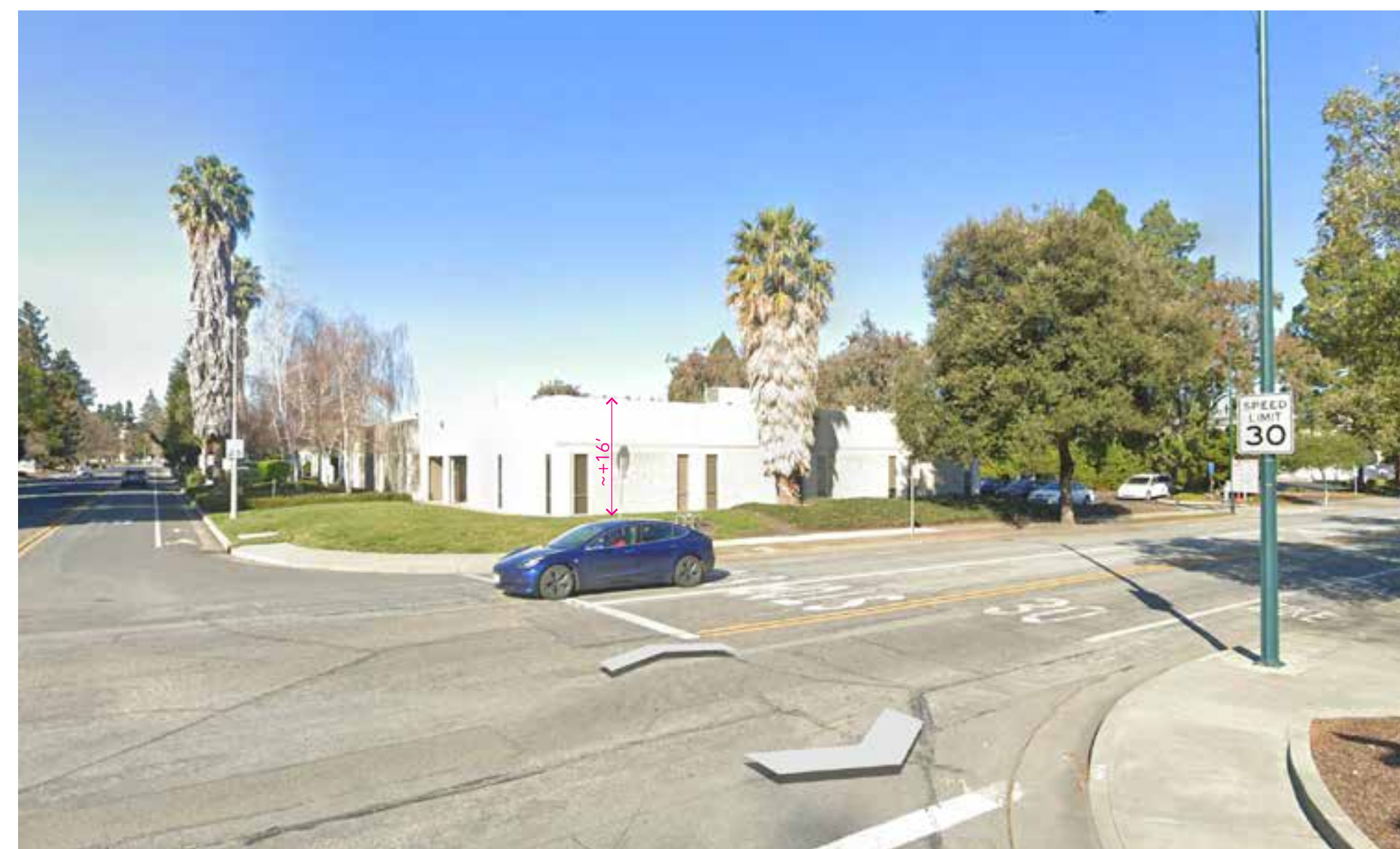
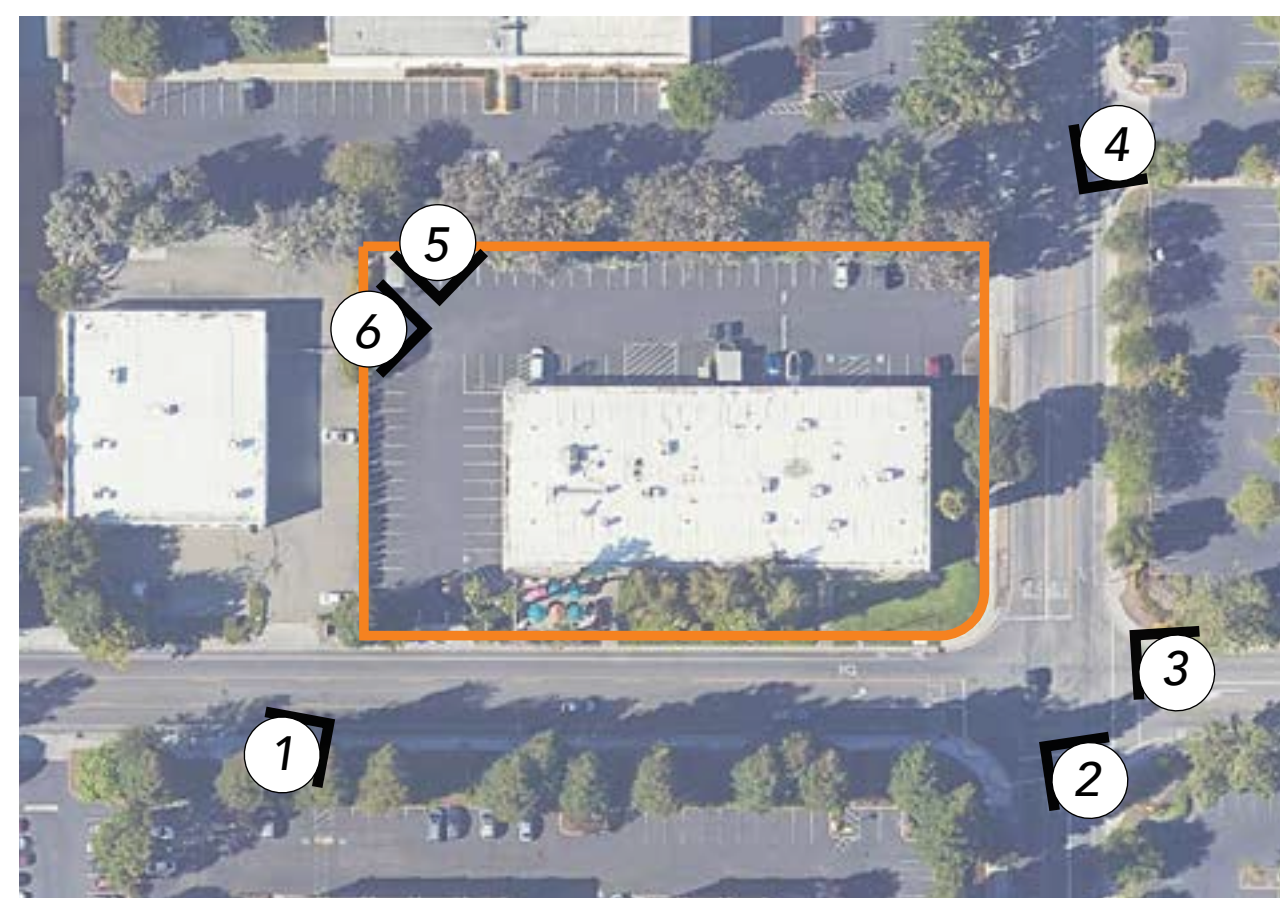
5 ~ NORTHERN PROPERTY LINE VIEWING EAST



4 ~ DE GUIGNE DRIVE VIEWING SOUTH EAST



6 ~ NORTHERN PROPERTY LINE VIEWING EAST



3 ~ DE GUIGNE DRIVE VIEWING NORTH WEST



1 ~ STEWART DRIVE VIEWING EAST NORTH



2 ~ STEWART DRIVE VIEWING WEST NORTH

EXISTING SITE PHOTOGRAPHS



ILLUSTRATIVE SITE PLAN



The Arcade
 APN; 205-21-010 Santa Clara County
 845 Stewart Dr.
 Sunnyvale, CA



November 11, 2025
 September 5, 2025
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G-4
 FDS#24018



STEWART DRIVE

CONCEPTUAL STREET FACADE RENDERING

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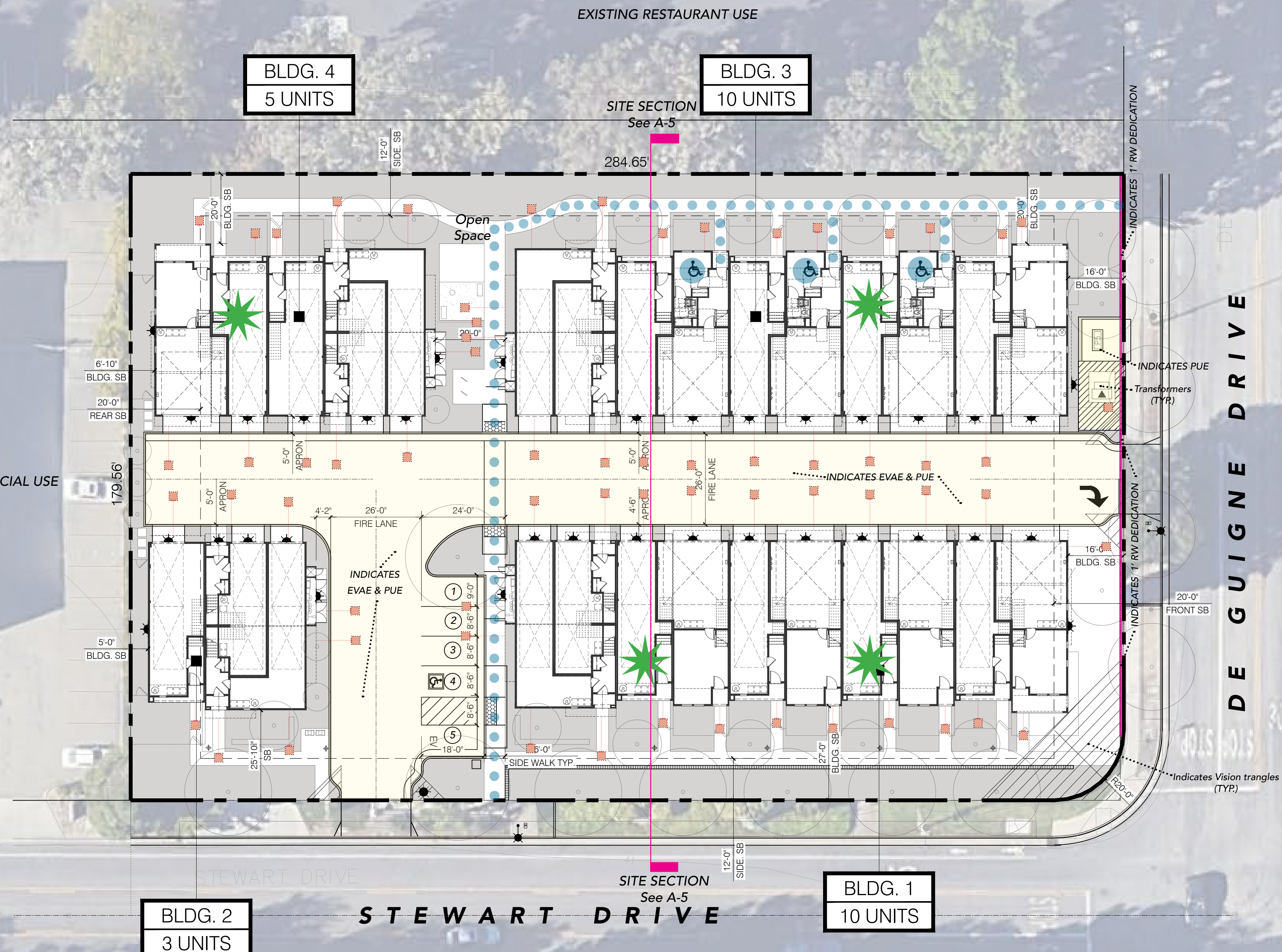


The Arcade
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G-5
FDS#24018

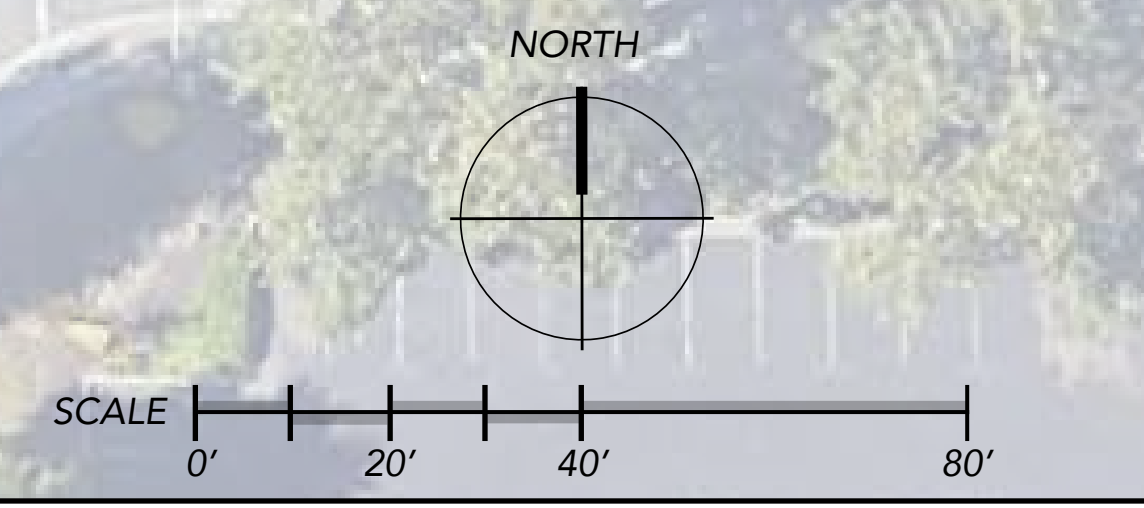


LEGEND

- INDICATES; 1.0' STREET EASEMENT DEDICATION
- INDICATES; FIRE LADDER PAD LOCATION - SEE A-5 FOR SECTION
- INDICATES; EVAE & PUE AREAS OF SITE
- INDICATES; PERVIOUS AREA OF SITE ~ 13,557SF
- INDICATES; ADA PATH OF TRAVEL
- INDICATES; CONCEPTUAL ADA ACCESSIBLE UNITS ~ 10% OF QUALIFYING UNITS
- INDICATES; CONCEPTUAL AFFORDABLE UNIT LOCATION

GENERAL NOTES

- SEE CIVIL AND LANDSCAPE SHEETS FOR ADDITIONAL INFORMATION
- SEE SDBL WAIVER AND CONCESSION LIST FOR ADDITIONAL INFORMATION
- AS STATED ON PAGE 8 OF SUNNYVALE'S DESIGN GUIDELINES FOR RECYCLING, ORGANICS AND SOLID WASTE SERVICES, AND SUNNYVALE MUNICIPAL CODE §19.38.030, TOWNHOUSES QUALIFY FOR INDIVIDUAL CART SERVICES IF EACH UNIT HAS AN ATTACHED GARAGE TO SHIELD CONTAINERS FROM PUBLIC VIEW. THE PROJECT PROPOSES INDIVIDUAL CART SERVICES, WITH CARTS STORED IN ATTACHED GARAGES THAT WILL SHIELD CONTAINERS FROM PUBLIC VIEW.



CONCEPTUAL ARCHITECTURAL SITE PLAN

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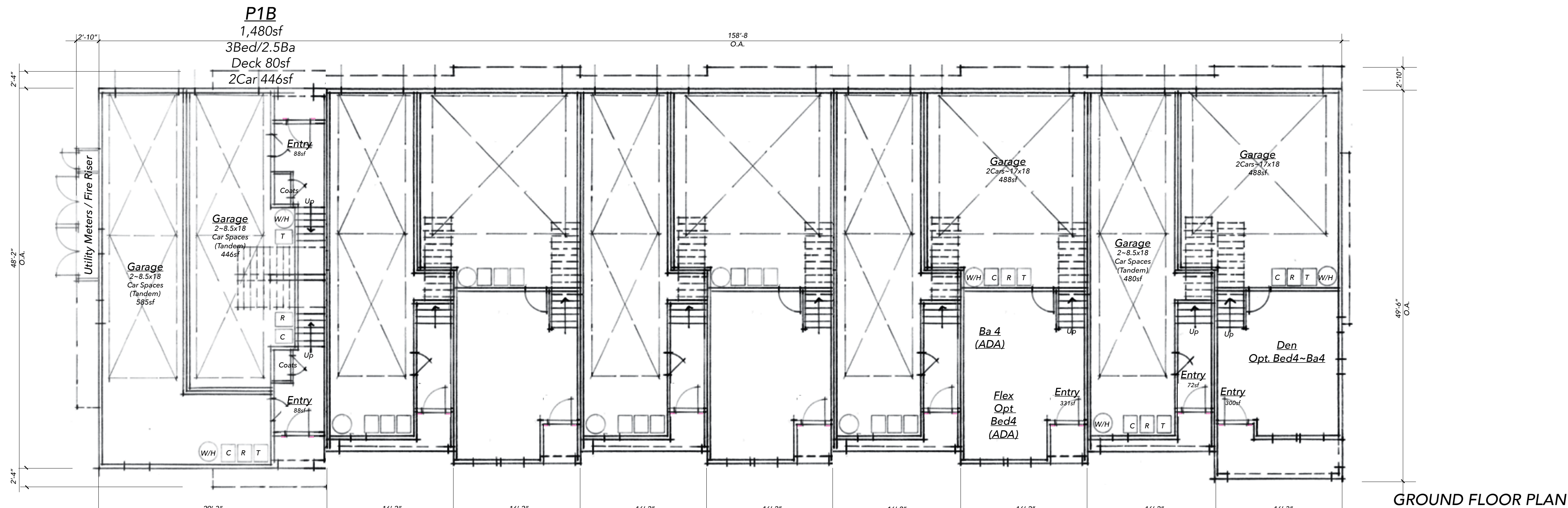
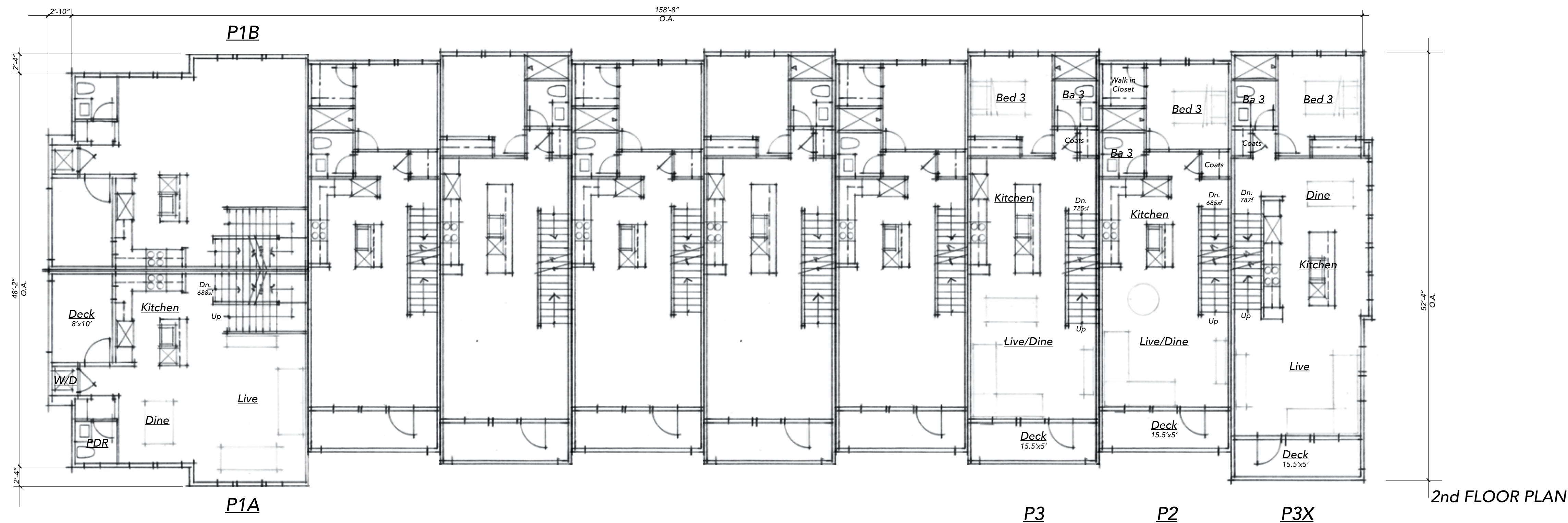


The Arcade
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Sunnyvale, CA



November 11, 2025
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A-1
FDS#24018



P1A
1,480sf
3Bed/2.5Ba
Deck 80sf
2Car 585sf

P3
1,752sf
3Bed/4BaADA/Flex
Opt; Bed4
Deck 80sf
2Car 488sf

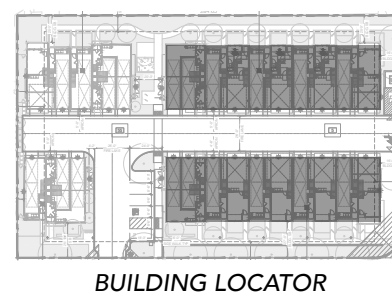
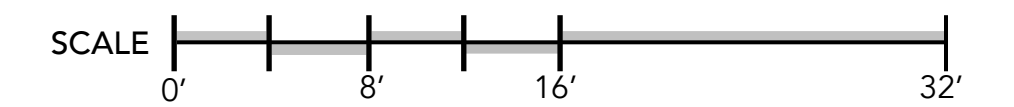
P2
1,419sf
3Bed/3Ba
Deck 80sf
2Car 480sf

P3X
1,841sf
3Bed/3Ba/Den
Opt. Bed4~Ba4
Deck 80sf
2Car 488sf

CONCEPTUAL CODE ANALYSIS:
CONSTRUCTION TYPE VB
OCCUPANCY R2/U
FIRE SUPPRESSION SYSTEM NFPA - 13 SPRINKLERS

NOTE:
FOUNDATION PER GEOTECHNICAL REPORT TO INCLUDE A VAPOR BARRIER AND PASSIVE VENTING TO BE INSTALLED AT TIME OF FOUNDATION CONSTRUCTION AS REVIEWED AND APPROVED BY SUNNYVALE BUILDING DEPT.

FLOORPLAN NOTES:
ALL BALCONIES ARE RECESSED AT LEAST 3' FROM MAIN WALL PLANE
INDICATES ALL ENTRY DOORS SHALL HAVE A 6" SURROUND OF ACCENT BRICK PROJECTING 3"



CONCEPTUAL FLOOR PLANS ~ BUILDINGS 1 & 3

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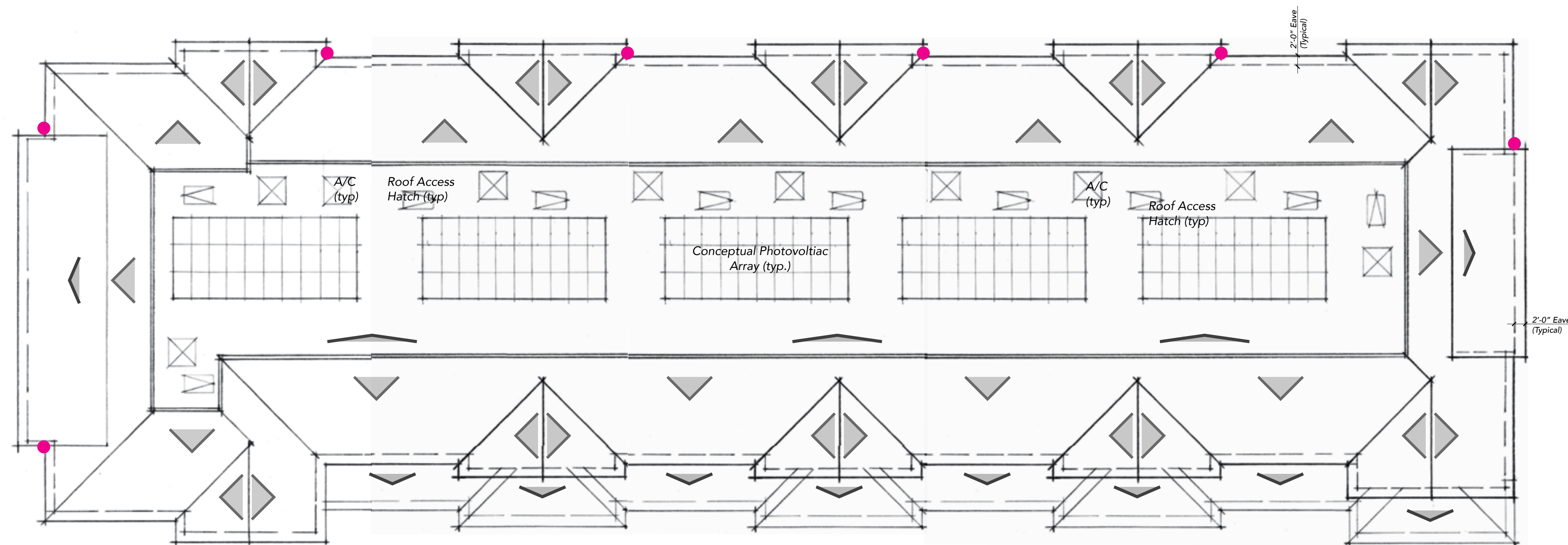


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Sunnyvale, CA



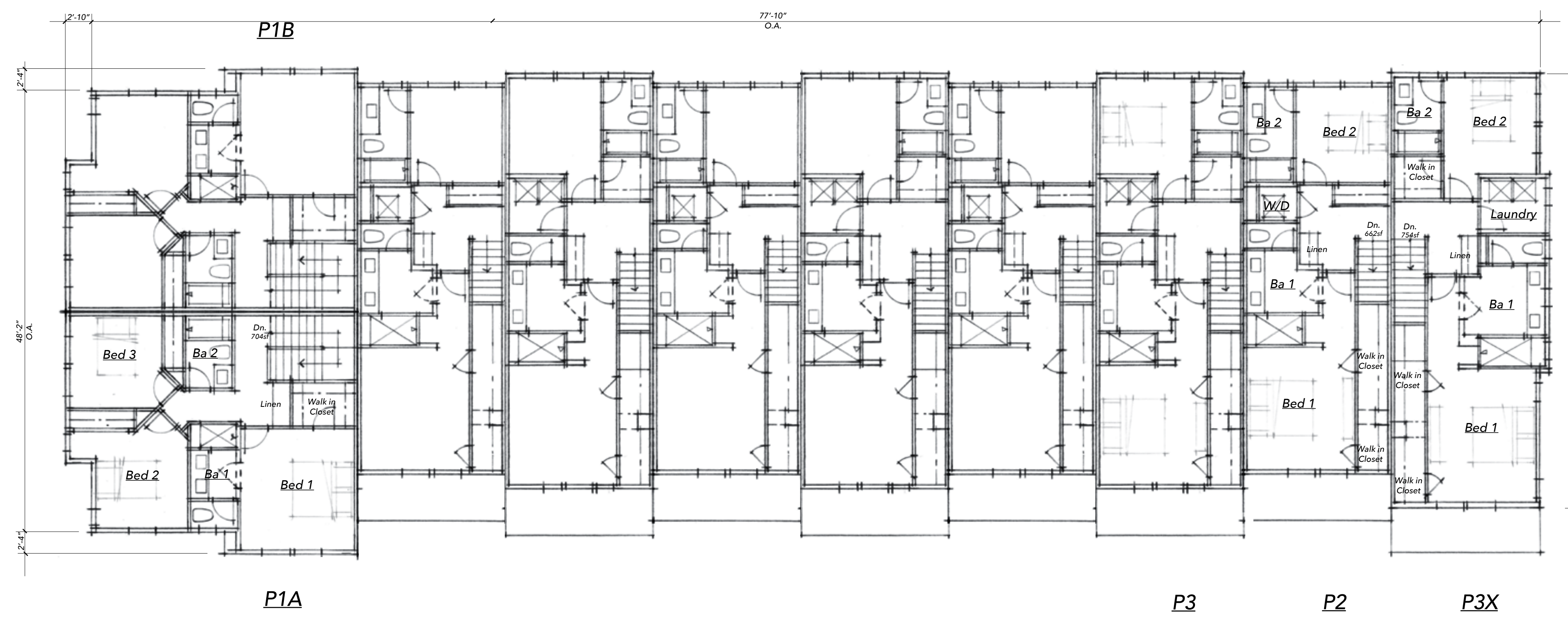
November 11, 2025
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A-2
FDS#24018

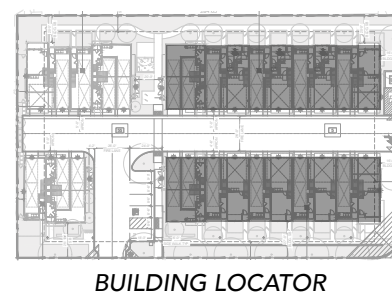


ROOF PLAN

ROOF PLAN NOTES
 Roof Pitch; ∇ 8:12 ∇ 4:12 ∇ 2%
 Overhangs Typical; Rake 1'-2" Eave 2'-0"
 ● Main Roof Downspout Location



3rd FLOOR PLAN

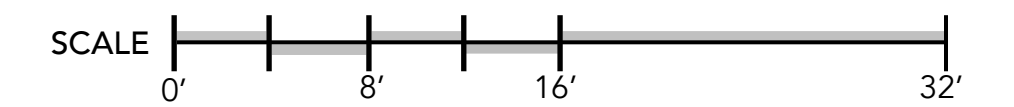


CONCEPTUAL FLOOR & ROOF PLANS ~ BUILDINGS 1 & 3

CONCEPTUAL CODE ANALYSIS:
 CONSTRUCTION TYPE VB
 OCCUPANCY R2/U
 FIRE SUPPRESSION SYSTEM NFPA - 13 SPRINKLERS

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FLOORPLAN NOTES:
 ALL BALCONIES ARE RECESSED AT LEAST 3' FROM MAIN WALL PLANE
 ▤ INDICATES ALL ENTRY DOORS SHALL HAVE A 6" SURROUND OF ACCENT BRICK PROJECTING 3"



The Arcade
 APN; 205-21-010 Santa Clara County
 845 Stewart Dr.
 Sunnyvale, CA



November 11, 2025
 September 5, 2025
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A-2.1
 FDS#24018

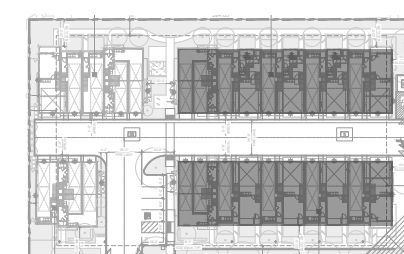


RIGHT SIDE ELEVATION ~ Building 3

LEFT SIDE ELEVATION ~ Building 1
(Street A frontage)



FRONT ELEVATION
(Stewart Dr. Frontage @ Building 1)

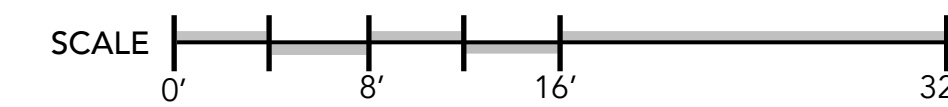


CONCEPTUAL ELEVATIONS ~ BUILDINGS 1 & 3



EXTERIOR MATERIALS LIST (or equal for all)		COLOR SPECIFICATIONS (or equal for all)	
Asphalt Composition Shingle Roofing	A	Weatherd Wood; CertainTeeed	
Wood Rake - Fascia - Eaves	B	SW9117; 8x Rake Resawn, 6x Fascia gutter	
Cementous Siding	C1 C2	C1 SW6150, C2 SW6152; .75x2.5 smooth batt @ 18"o.c.	
Cementous Trim Boards	D	SW7050 ; 5/4x7 Head, 4/4x4 Sides, 2x3 o/ 4/4x4 Sill	
Stucco	E1 E2	E1 SW7009, E2 SW7050; Sand	
Garage Door	F	SW9117; Coplay	
Entry Door	G	SW6193; Thermatru 'Smooth Star' FibreGlass	
Wood Railings	H	SW 7055; 1x6 slats @ 8"o.c.	
Vinyl Windows	I	White; Milgard	
Downspouts	J	Match adjacent color; 3.5" Round	
Architectural Lighting	K	Black Allenbury (Downward Lighting)	
Metal Vine Wire	L	SW 7055	
Brick Veneer	M	'Loften' Tenley Brick	
Brick Entry door Surround	N	'Wildon' Tenley Brick	

ELEVATION NOTES:
ALL BALCONIES ARE RECESSED AT LEAST 3" FROM MAIN WALL PLANE
STUCCO SHAL HAVE EXPANSION JOINTS PER MANUFACTURE SPECIFACATION
AND/OR NO STUCCO AREA GREATER THAN 400SF
ALL WINDOW PANES SHALL BE RECESSED A MINIMUM 2" FROM ADJACENT TRIM MATERIAL



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RIGHT SIDE ELEVATION ~ Building 1
DeGuigne Dr. frontage

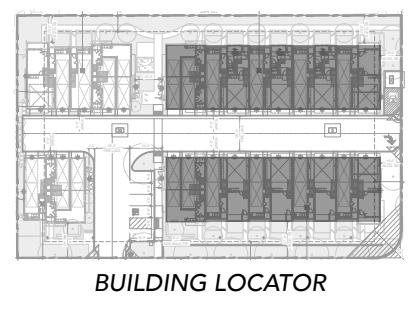
LEFT SIDE ELEVATION ~ Building 3
DeGuigne Dr. frontage



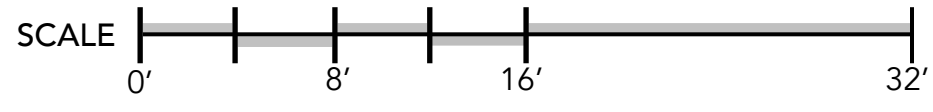
REAR ELEVATION



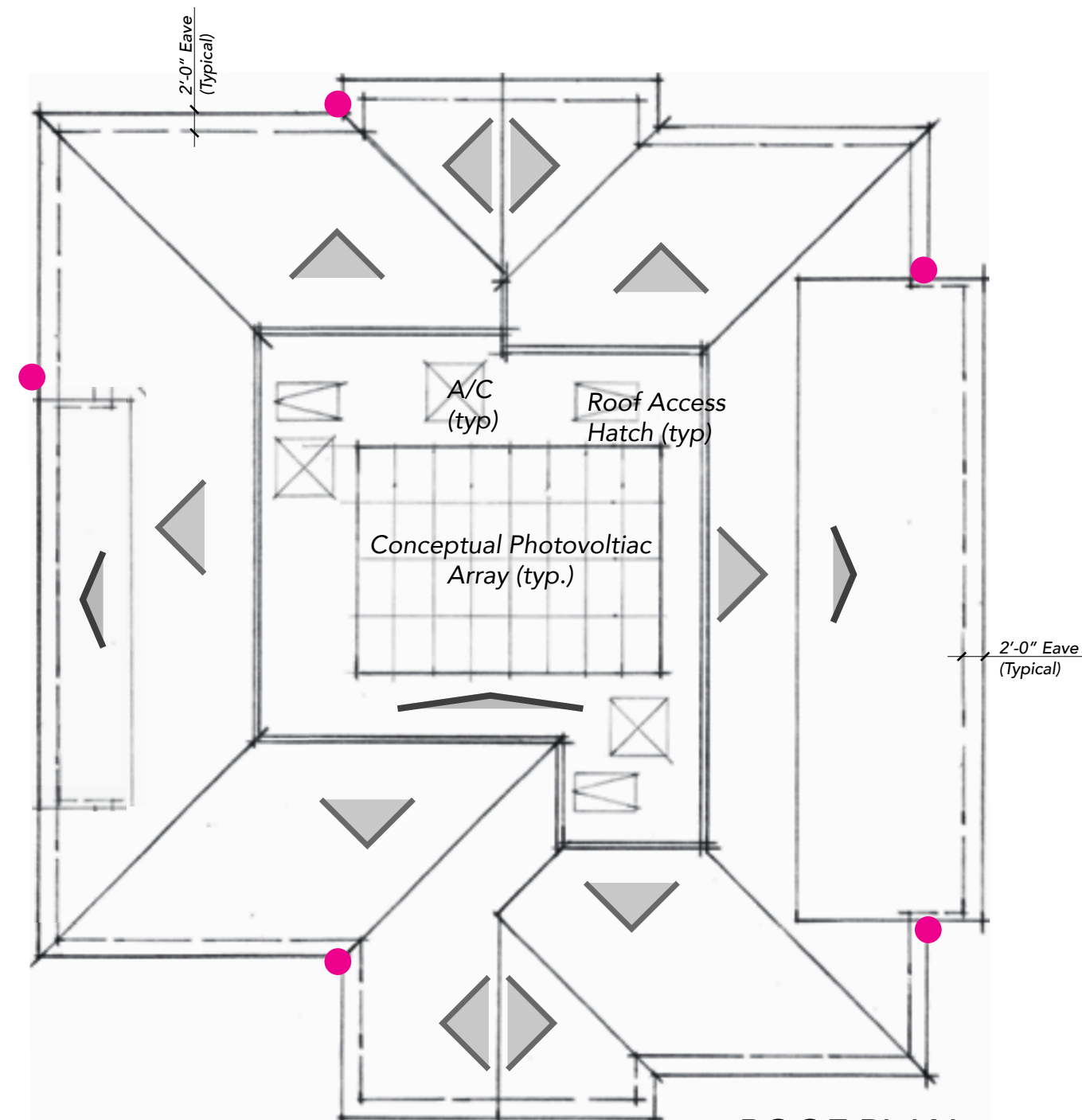
EXTERIOR MATERIALS LIST (or equal for all)	COLOR SPECIFICATIONS (or equal for all)
Asphalt Composition Shingle Roofing	A Weatherd Wood; CertainTeed
Wood Rake - Fascia - Eaves	B SW9117; 8x Rake Resawn, 6x Fascia gutter
Cementous Siding	C1 C2 C1 SW6150, C2 SW6152; .75x2.5 smooth batt @ 18"o.c.
Cementous Trim Boards	D SW7050 ; 5/4x7 Head, 4/4x4 Sides, 2x3 o/ 4/4x4 Sill
Stucco	E1 E2 E1 SW7009, E2 SW7050; Sand
Garage Door	F SW9117; Coplay
Entry Door	G SW6193; Thermatru 'Smooth Star' FibreGlass
Wood Railings	H SW 7055; 1x6 slats @ 8"o.c.
Vinyl Windows	I White; Milgard
Downspouts	J Match adjacent color; 3.5" Round
Architectural Lighting	K Black Allenbury (Downward Lighting)
Metal Vine Wire	L SW 7055
Brick Veneer	M 'Loften' Tenley Brick
Brick Entry door Surround	N 'Wildon' Tenley Brick



CONCEPTUAL ELEVATIONS ~ BUILDING 1 & 3

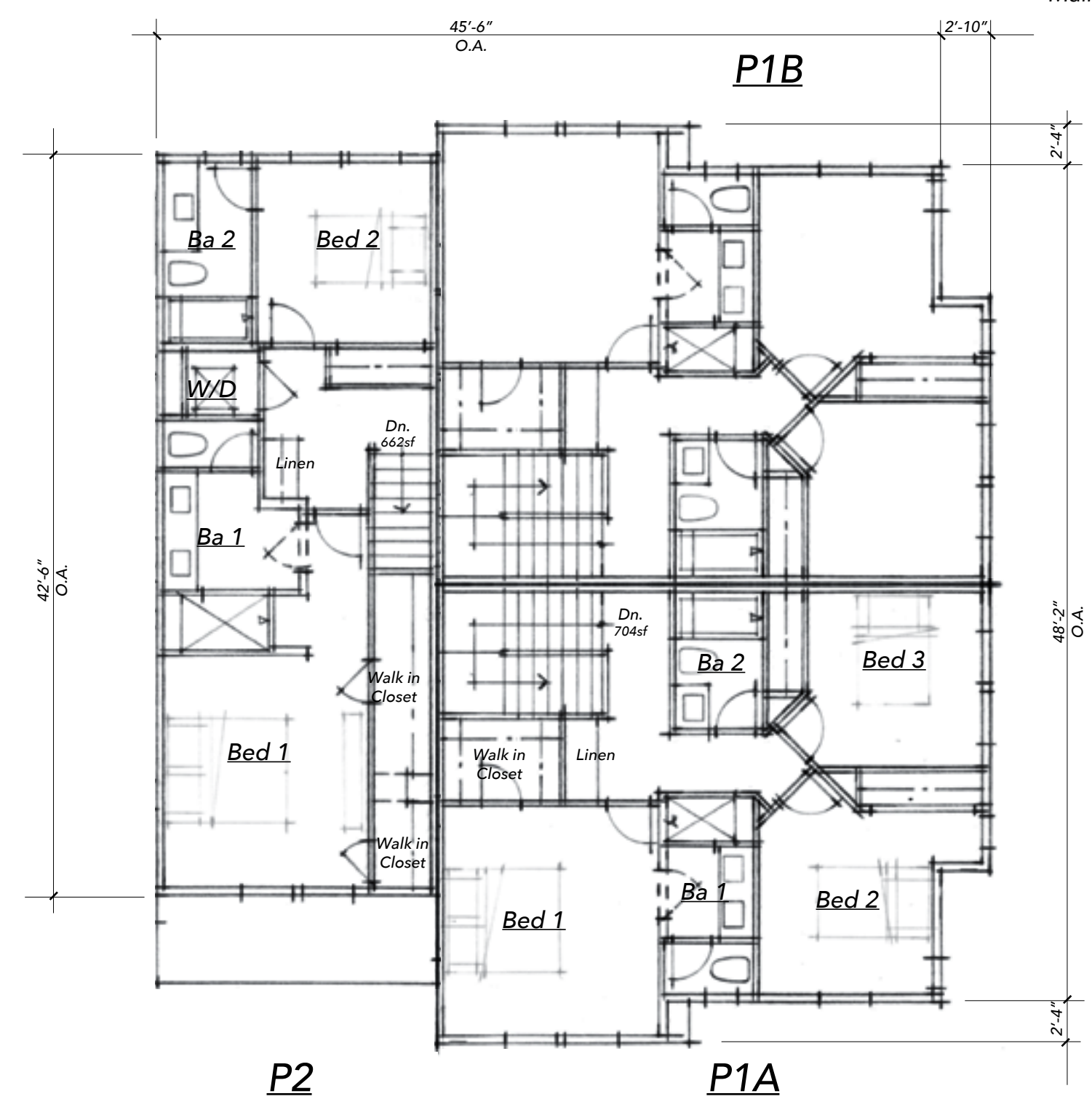
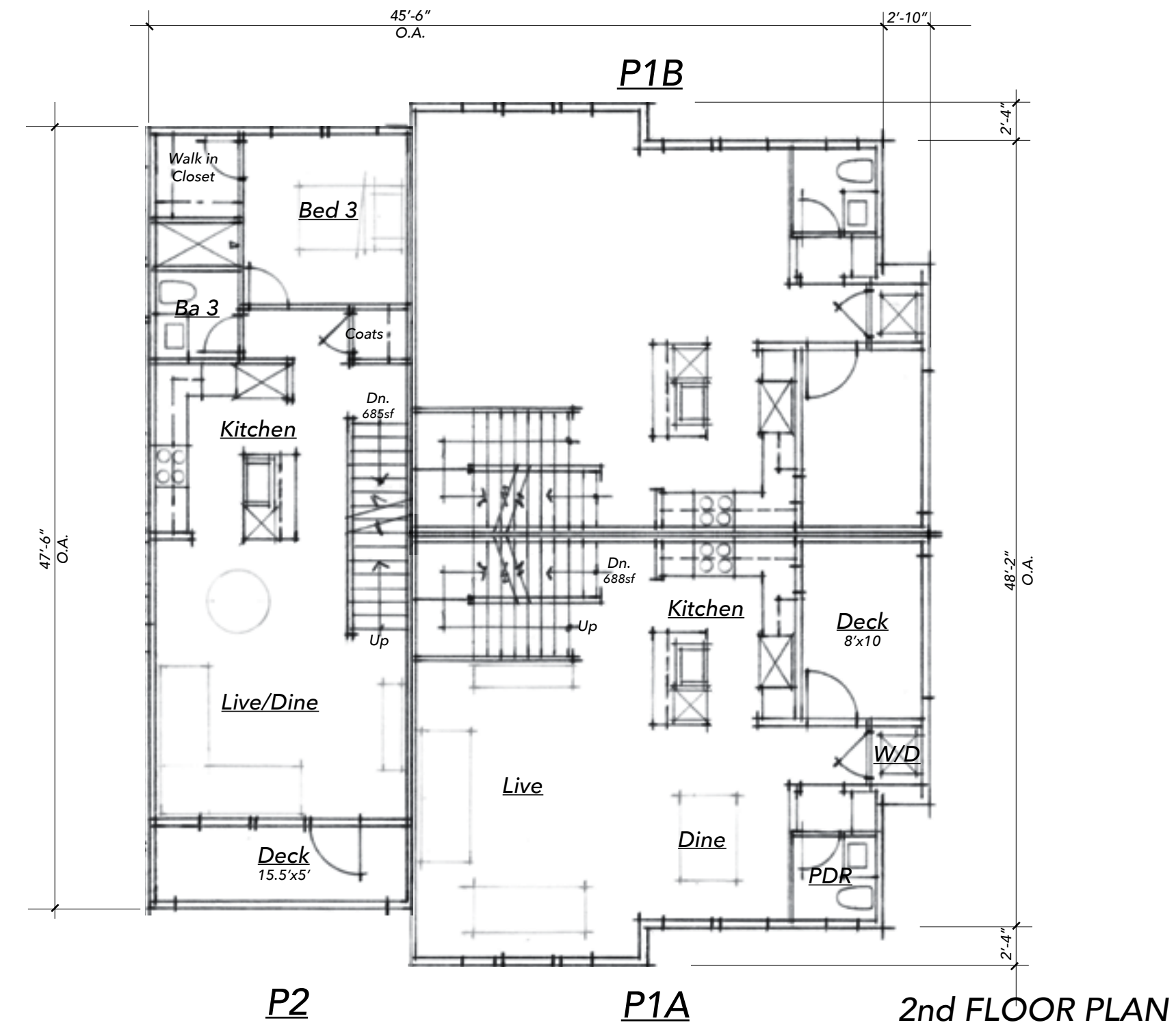


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ROOF PLAN

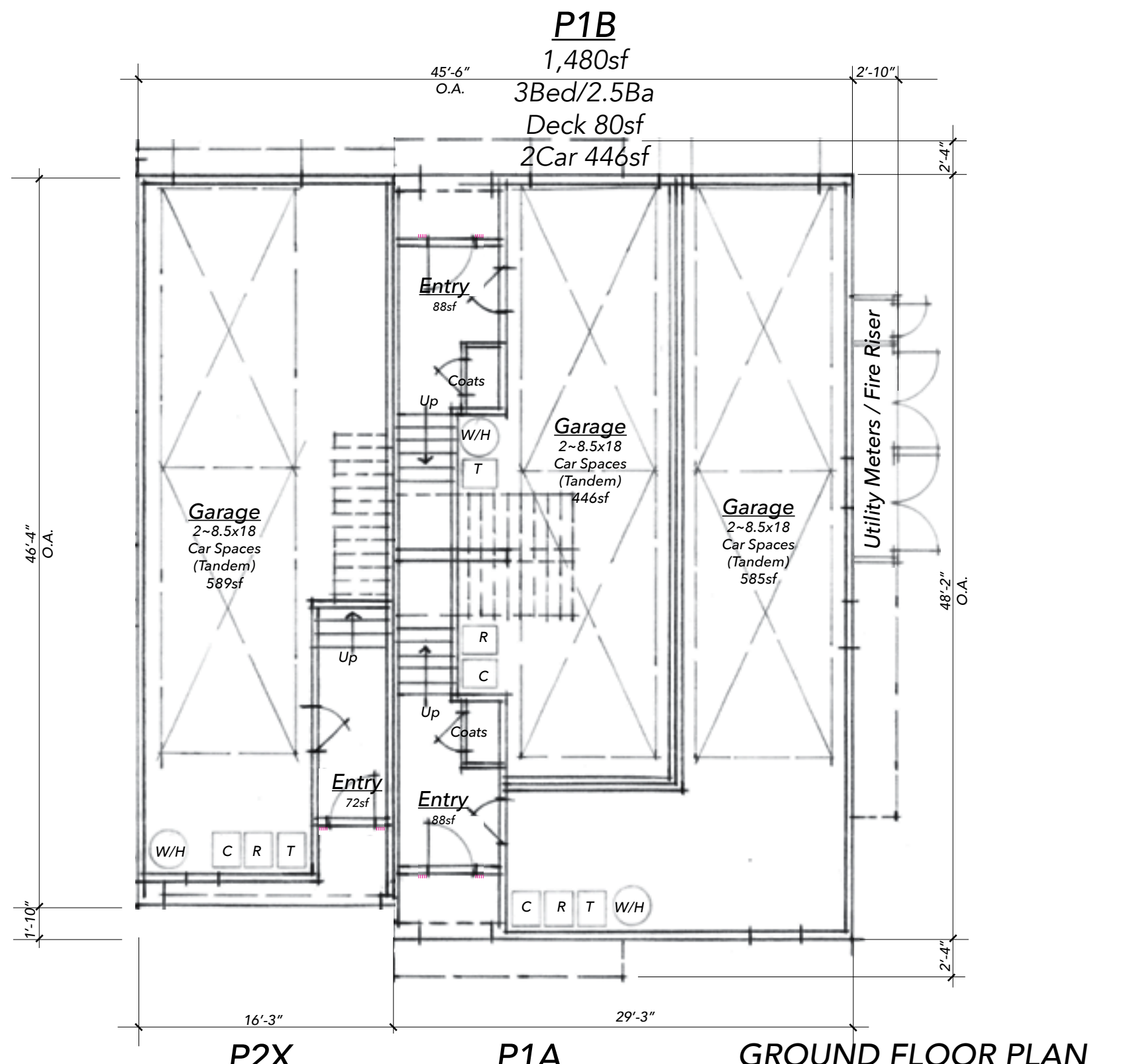
ROOF PLAN NOTES
 Roof Pitch; ∇ 8:12 ∇ 4:12 ∇ 2%
 Overhangs Typical; Rake 1'-2" Eave 2'-0"
 • Main Roof Downspout Location



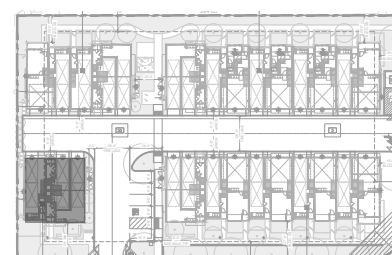
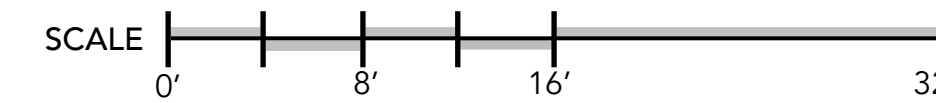
3rd FLOOR PLAN

CONCEPTUAL CODE ANALYSIS:
 CONSTRUCTION TYPE VB
 OCCUPANCY R2/U
 FIRE SUPPRESSION SYSTEM NFPA - 13 SPRINKLERS

NOTE:
 FOUNDATION PER GEOTECHNICAL REPORT TO INCLUDE A VAPOR BARRIER AND PASSIVE VENTING TO BE INSTALLED AT TIME OF FOUNDATION CONSTRUCTION AS REVIEWED AND APPROVED BY SUNNYVALE BUILDING DEPT.



FLOORPLAN NOTES:
 ALL BALCONIES ARE RECESSED AT LEAST 3' FROM MAIN WALL PLANE
 INDICATES ALL ENTRY DOORS SHALL HAVE A 6" SURROUND OF ACCENT BRICK PROJECTING 3"



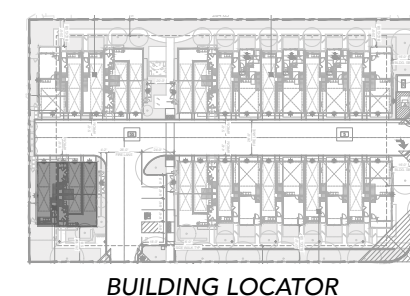
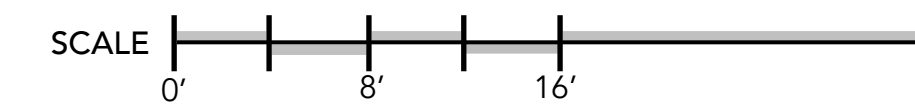
BUILDING LOCATOR

CONCEPTUAL FLOOR & ROOF PLANS ~ BUILDING 2

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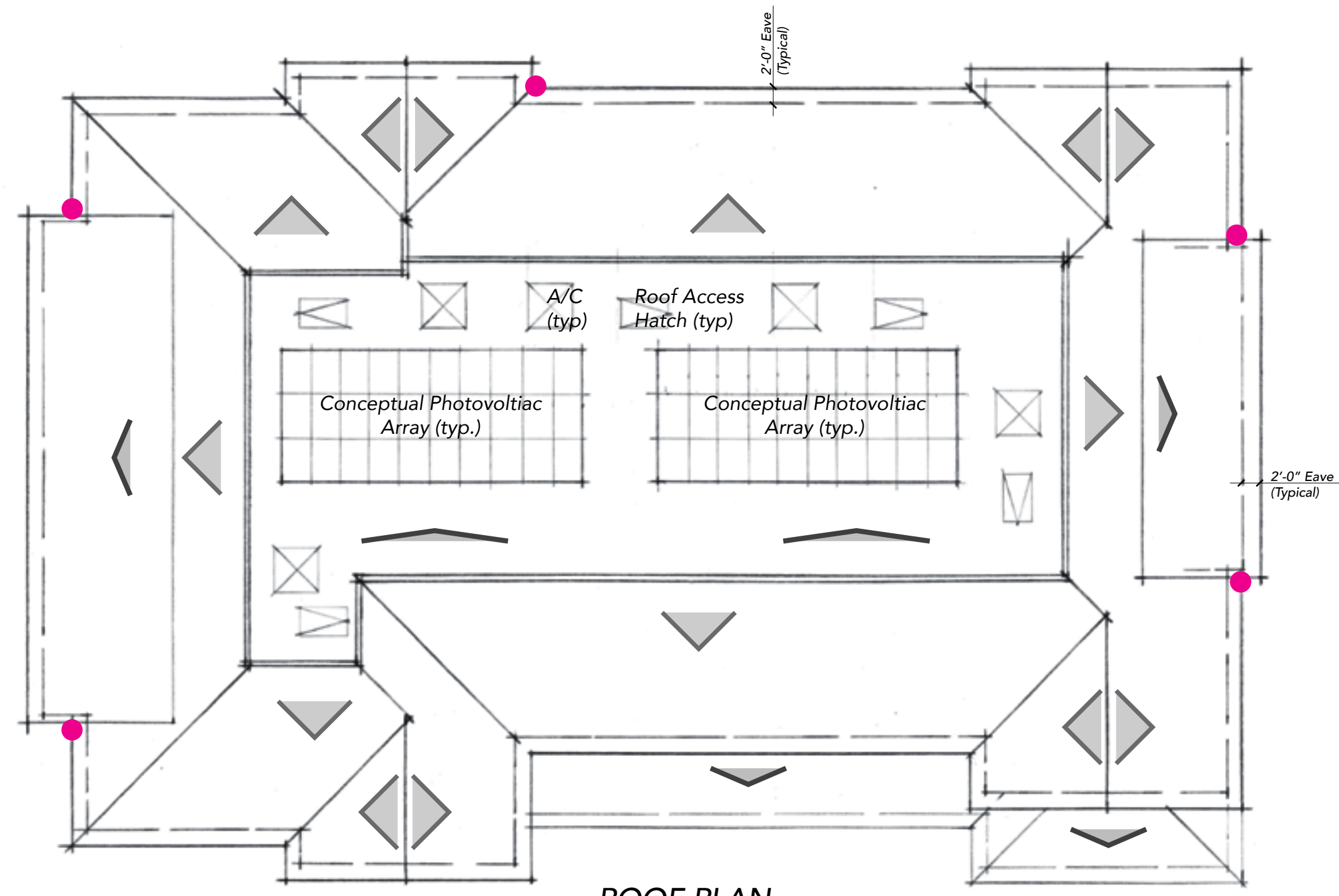


- EXTERIOR MATERIALS LIST**
(or equal for all)
- Asphalt Composition Shingle Roofing
 - Wood Rake - Fascia - Eaves
 - Cementous Siding
 - Cementous Trim Boards
 - Stucco
 - Garage Door
 - Entry Door
 - Wood Railings
 - Vinyl Windows
 - Downspouts
 - Architectural Lighting
 - Metal Vine Wire
 - Brick Veneer
 - Brick Entry door Surround
- COLOR SPECIFICATIONS**
(or equal for all)
- A Weatherd Wood; CertainTeed
 - B SW9117; 8x Rake Resawn, 6x Fascia gutter
 - C1 C2 C1 SW6150, C2 SW6152; .75x2.5 smooth batt @ 18" o.c.
 - D SW7050 ; 5/4x7 Head, 4/4x4 Sides, 2x3 o/ 4/4x4 Sill
 - E1 E2 E1 SW7009, E2 SW7050; Sand
 - F SW9117; Coplay
 - G SW6193; Thermatru 'Smooth Star' FibreGlass
 - H SW 7055; 1x6 slats @ 8" o.c.
 - I White; Milgard
 - J Match adjacent color; 3.5" Round
 - K Black Allenbury (Downward Lighting)
 - L SW 7055
 - M 'Loften' Tenley Brick
 - N 'Wildon' Tenley Brick



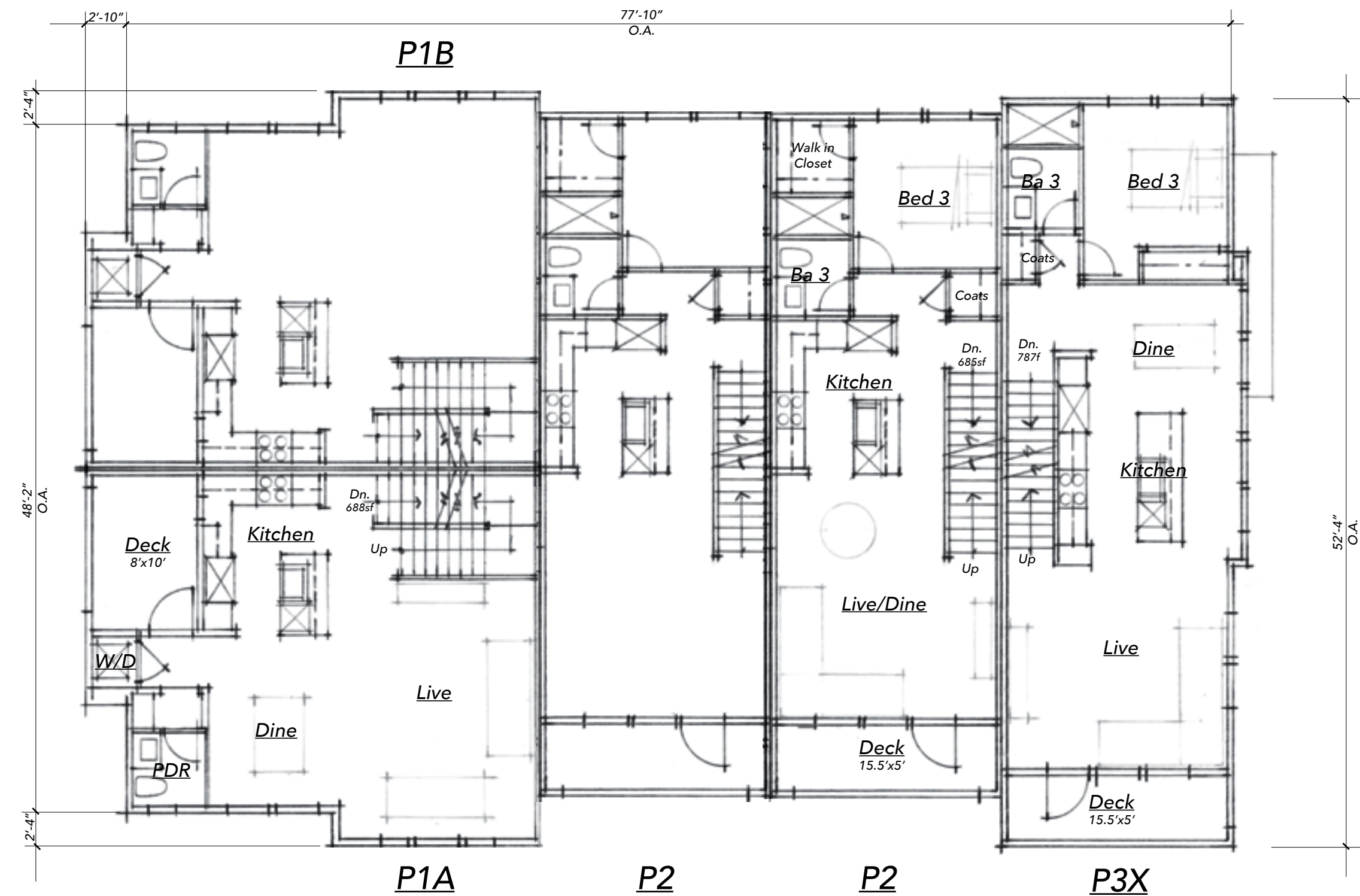
CONCEPTUAL ELEVATIONS ~ BUILDING 2

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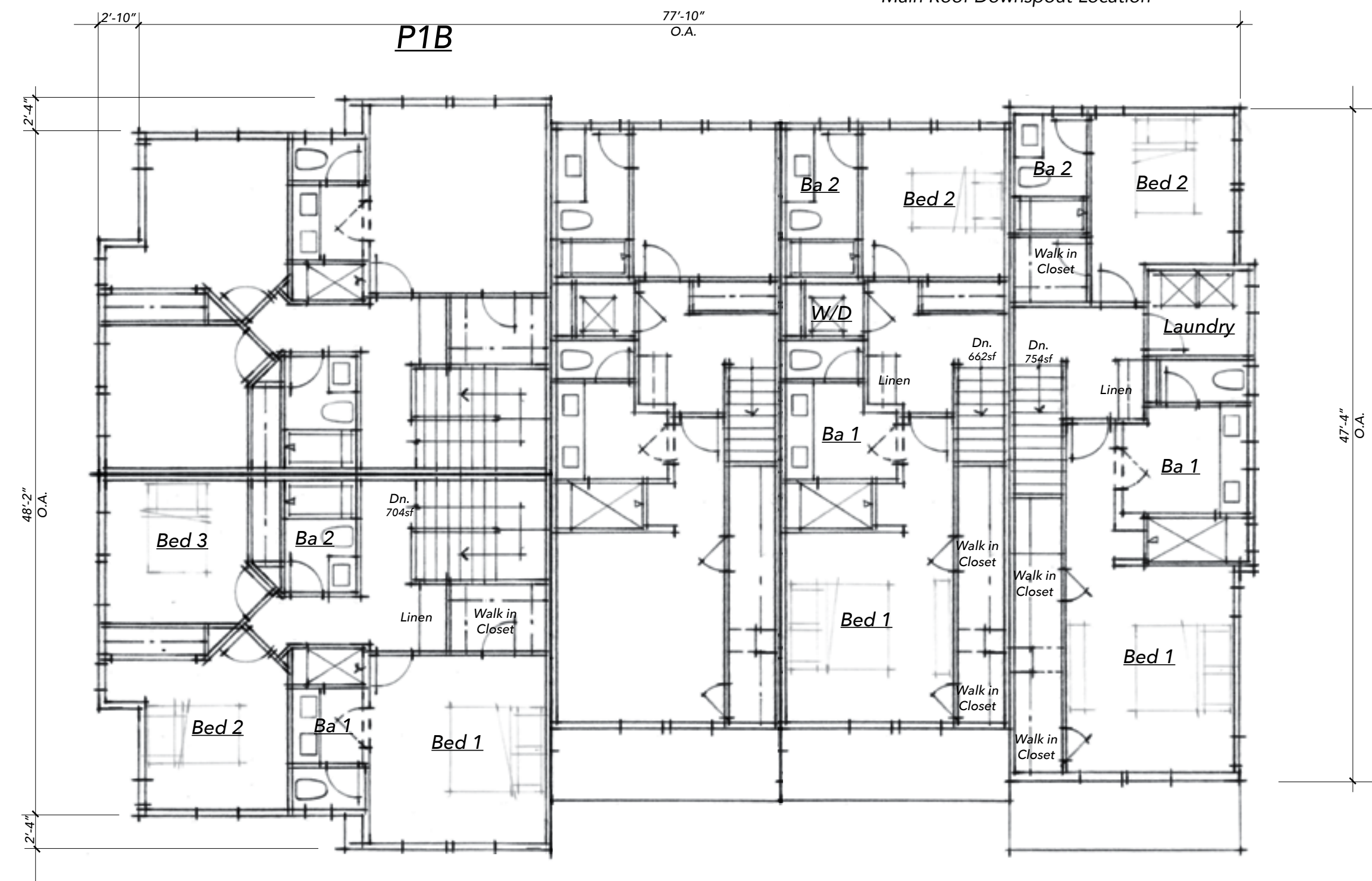


ROOF PLAN

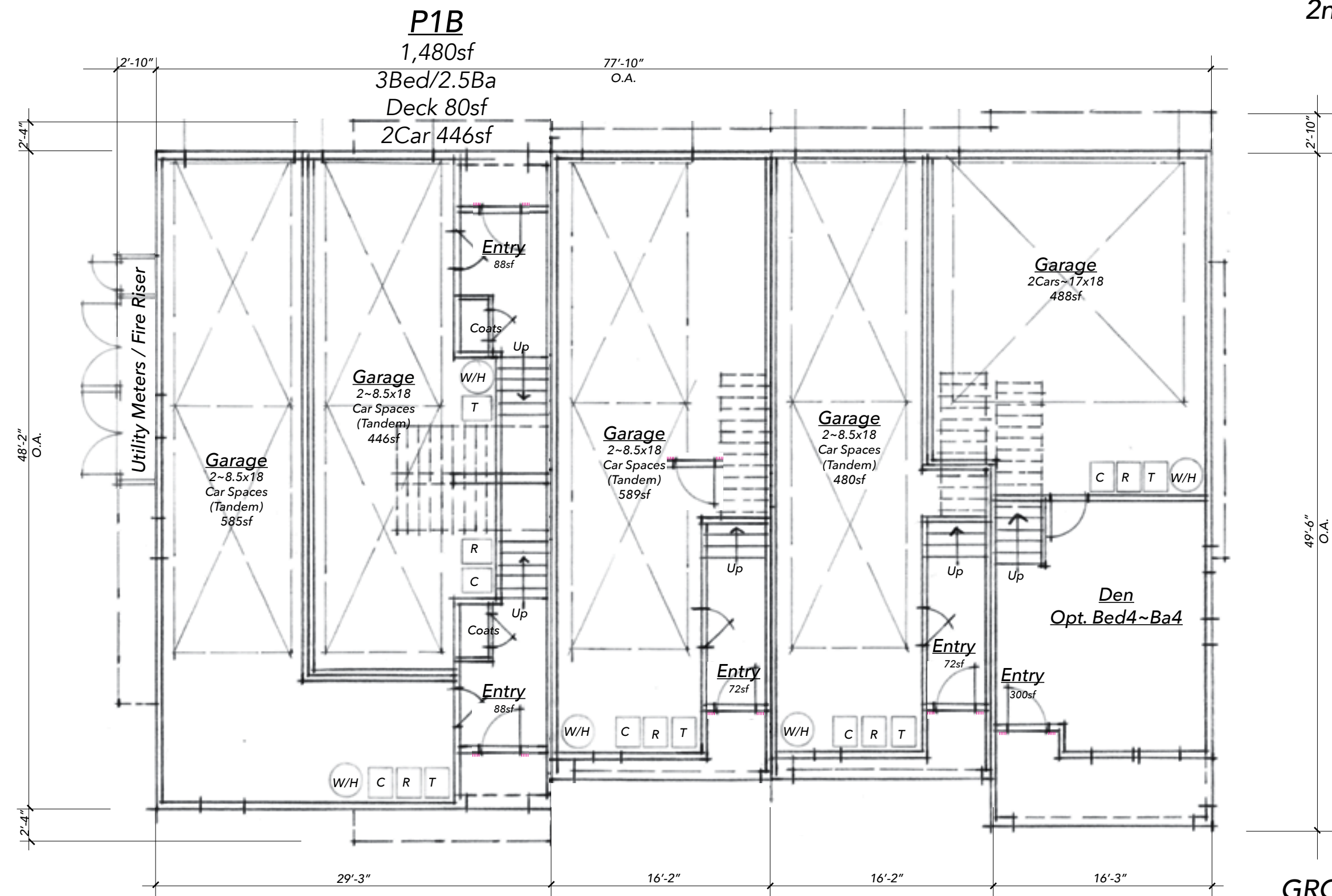
ROOF PLAN NOTES
 Roof Pitch; ∇ 8:12 ∇ 4:12 ∇ 2%
 Overhangs Typical; Rake 1'-2" Eave 2'-0"
 ● Main Roof Downspout Location



2nd FLOOR PLAN



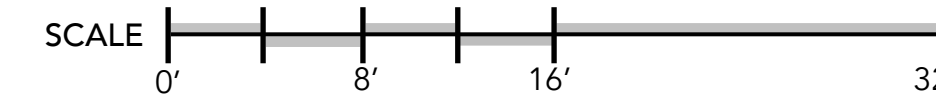
3rd FLOOR PLAN



GROUND FLOOR PLAN

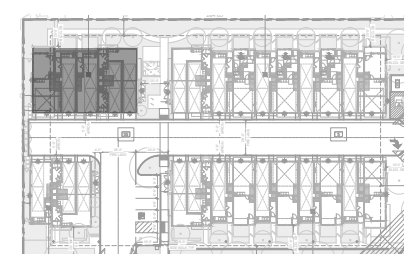
P1A 1,480sf 3Bed/2.5Ba Deck 80sf 2Car 585sf	P2X 1,419sf 3Bed/3Ba Deck 80sf 2Car 589sf	P2 1,419sf 3Bed/3Ba Deck 80sf 2Car 480sf	P3X 1,841sf 3Bed/3Ba/Den Opt. Bed4~Ba4 Deck 80sf 2Car 488sf
--	--	---	---

FLOORPLAN NOTES:
 ALL BALCONIES ARE RECESSED AT LEAST 3' FROM MAIN WALL PLANE
 ■ INDICATES ALL ENTRY DOORS SHALL HAVE A 6" SURROUND OF ACCENT BRICK PROJECTING 3"



CONCEPTUAL CODE ANALYSIS:
 CONSTRUCTION TYPE VB
 OCCUPANCY R2/U
 FIRE SUPPRESSION SYSTEM NFPA - 13 SPRINKLERS

NOTE:
 FOUNDATION PER GEOTECHNICAL REPORT TO INCLUDE A VAPOR BARRIER AND PASSIVE VENTING TO BE INSTALLED AT TIME OF FOUNDATION CONSTRUCTION AS REVIEWED AND APPROVED BY SUNNYVALE BUILDING DEPT.



BUILDING LOCATOR

CONCEPTUAL FLOOR & ROOF PLANS ~ BUILDING 4

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RIGHT SIDE ELEVATION



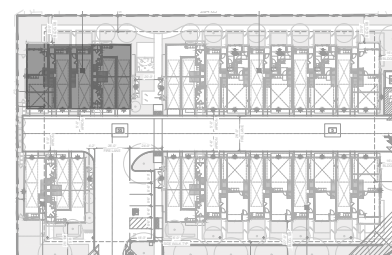
REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



BUILDING LOCATOR



EXTERIOR MATERIALS LIST

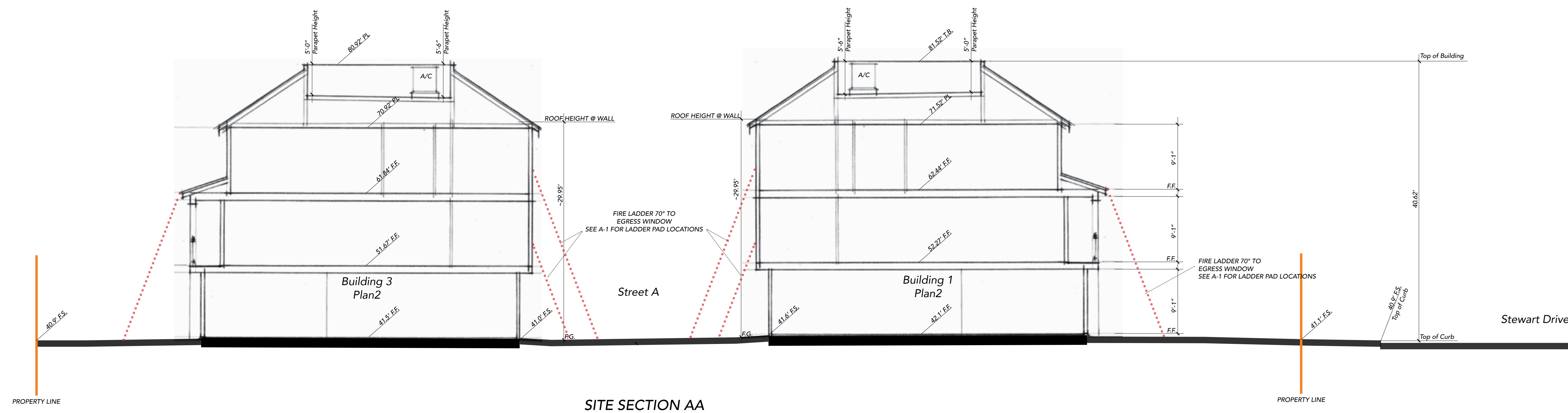
- (or equal for all)
- Asphalt Composition Shingle Roofing
- Wood Rake - Fascia - Eaves
- Cementous Siding
- Cementous Trim Boards
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COLOR SPECIFICATIONS

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CONCEPTUAL ELEVATIONS ~ BUILDING 4

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SITE SECTION AA

ARCHITECTURAL SITE SECTION

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The Arcade
 APN: 205-21-010 Santa Clara County
 845 Stewart Dr.
 Sunnyvale, CA



November 11, 2025
 September 5, 2025
 July 25, 2025
 June 6, 2025

A-5
 FDS#24018



Stewart Drive

Existing Office Building
~ Setback approximately 130' from De Guigne Drive
Property Line

De Guigne Drive Elevation



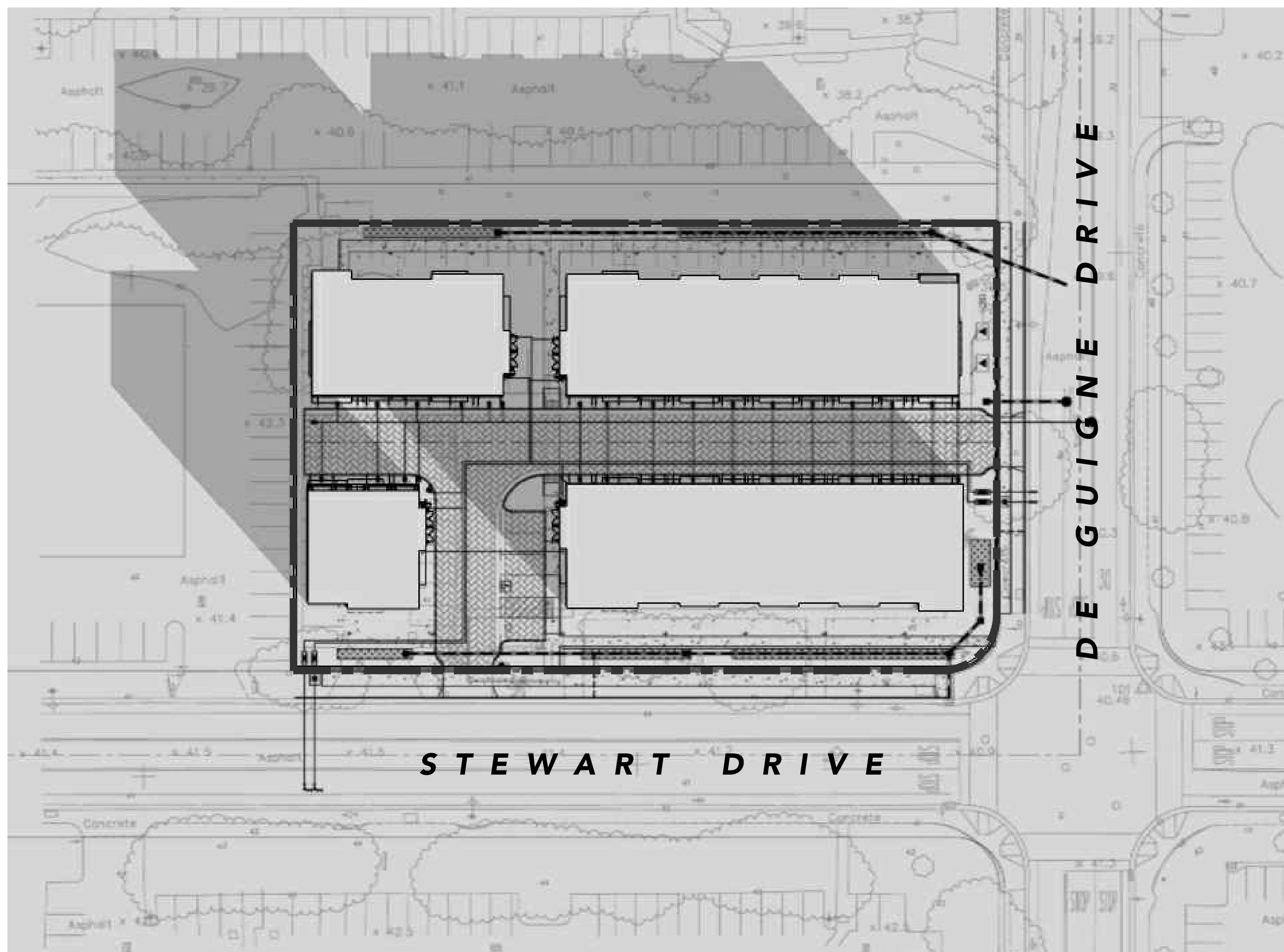
Existing Office Building
~ Setback approximately 50'
from Stewart Drive Property Line

De Guigne Drive

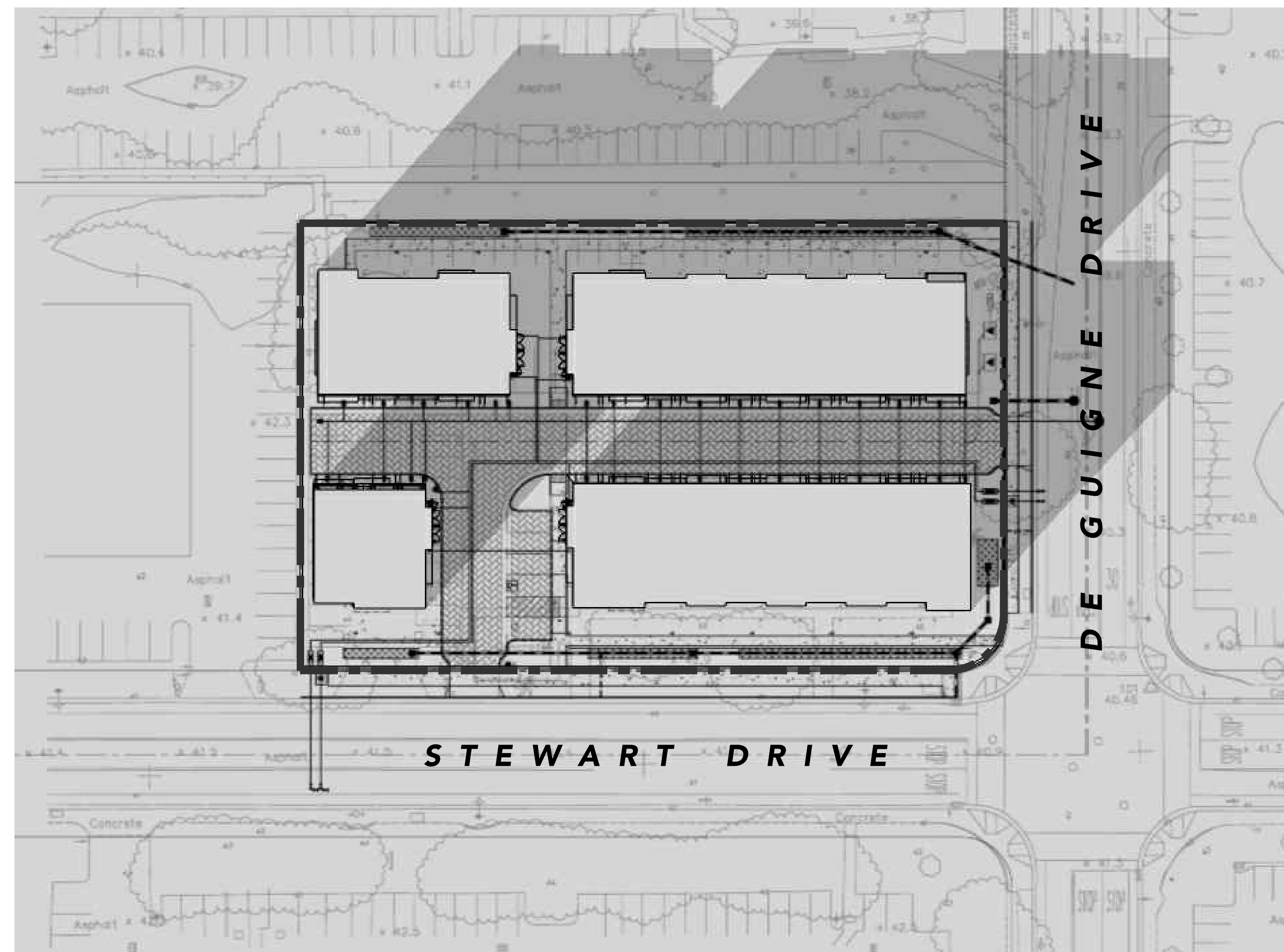
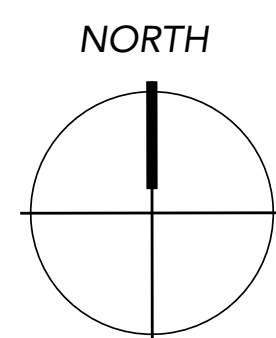
Stewart Drive Elevation

CONCEPTUAL STREET FACADES

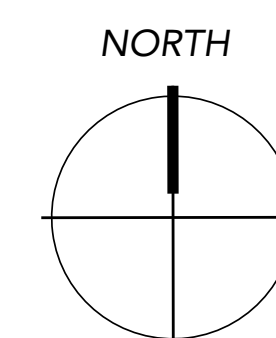
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DECEMBER 21 9:00 a.m.
 Altitude angle 15°
 Azimuth angle 137° East from North

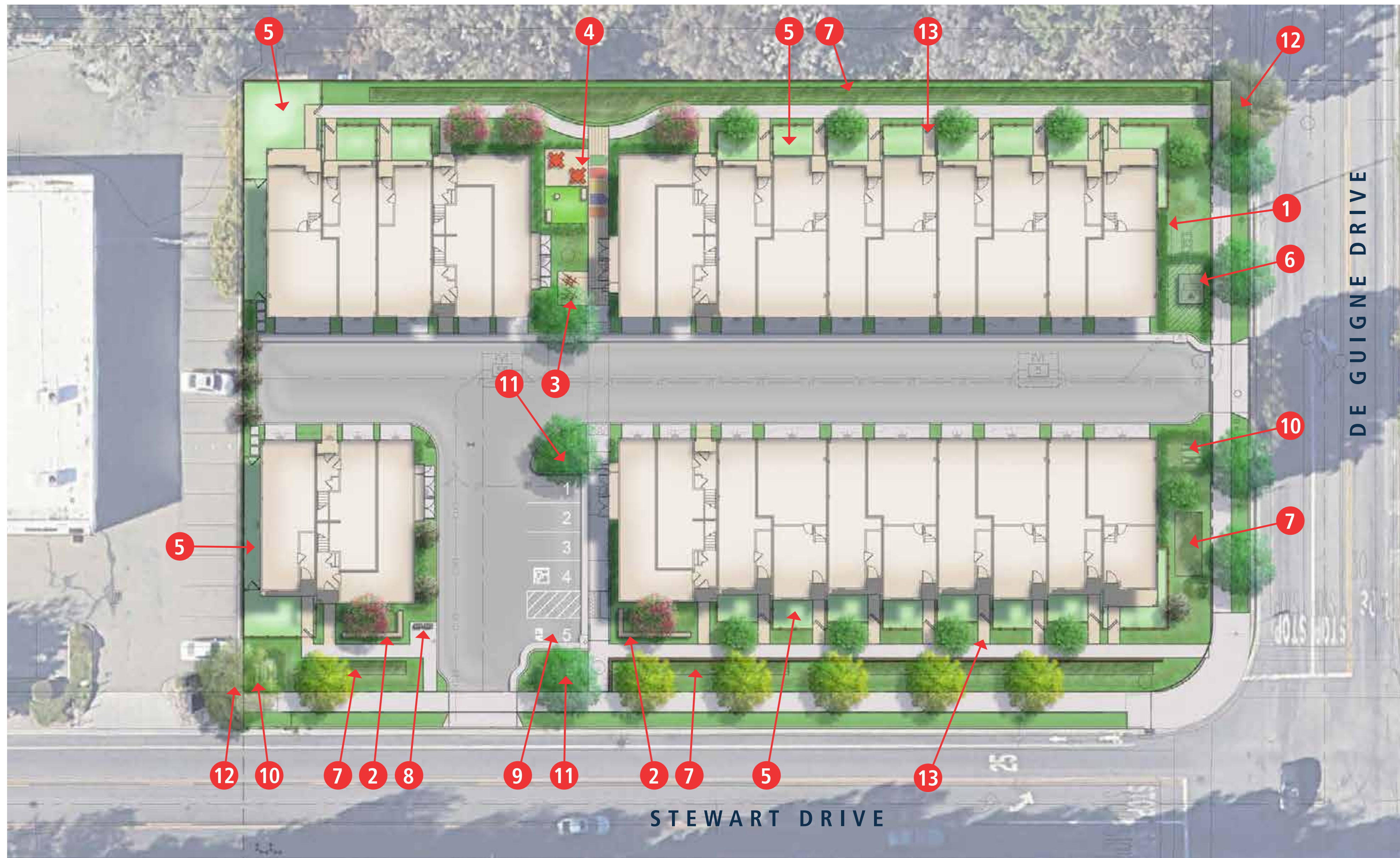


DECEMBER 21 3:00 p.m.
 Altitude angle 15°
 Azimuth angle 137° West from North



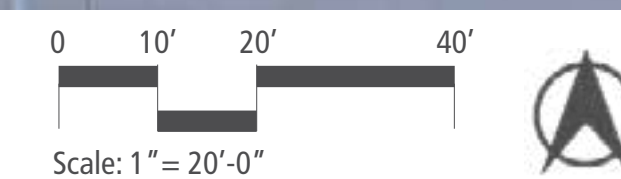
SOLAR ACCESS AND SHADOW ANALYSIS

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LEGEND

- 1** 36" Tall Hedge at Building
- 2** Decorative Low Wall
- 3** Bike Racks
- 4** 'Arcade' Amenity Area:
- Artificial Turf [or native grasses] w/ Themed Furnishings / Integrated Seating
- Guitar Fret Walkway (Colored Paving / Patterned Scoring)
- Shaded Picnic Tables (2)
- 5** Private Yard/Patio
- 6** Transformer per Civil Engineer - to be screened with planting
- 7** Stormwater Basin
- 8** Community Mailboxes
- 9** Parking Stall and Striping
- 10** Meter and Backflow per Civil Engineer - Screen with hedge and paint black.
- 11** Parking Lot Shade Tree -
to reach 50% min. shade coverage after 15 years of install.
See Sheet L-3 for calculation.
- 12** Existing Tree to Remain - refer to Conceptual Plant Palette.
- 13** Decorative Paving at Unit Entry Walks



OVERALL SITE PLAN



LEGEND

USABLE OPEN SPACE
 OPEN SPACE: 10,023 SF
 PATIOS AND DECKS: 3,333 SF*
 TOTAL: 477 SF PER UNIT (13,356 / 28 UNITS)
 REQUIRED PER UNIT: 400 SF (11,200 SF)

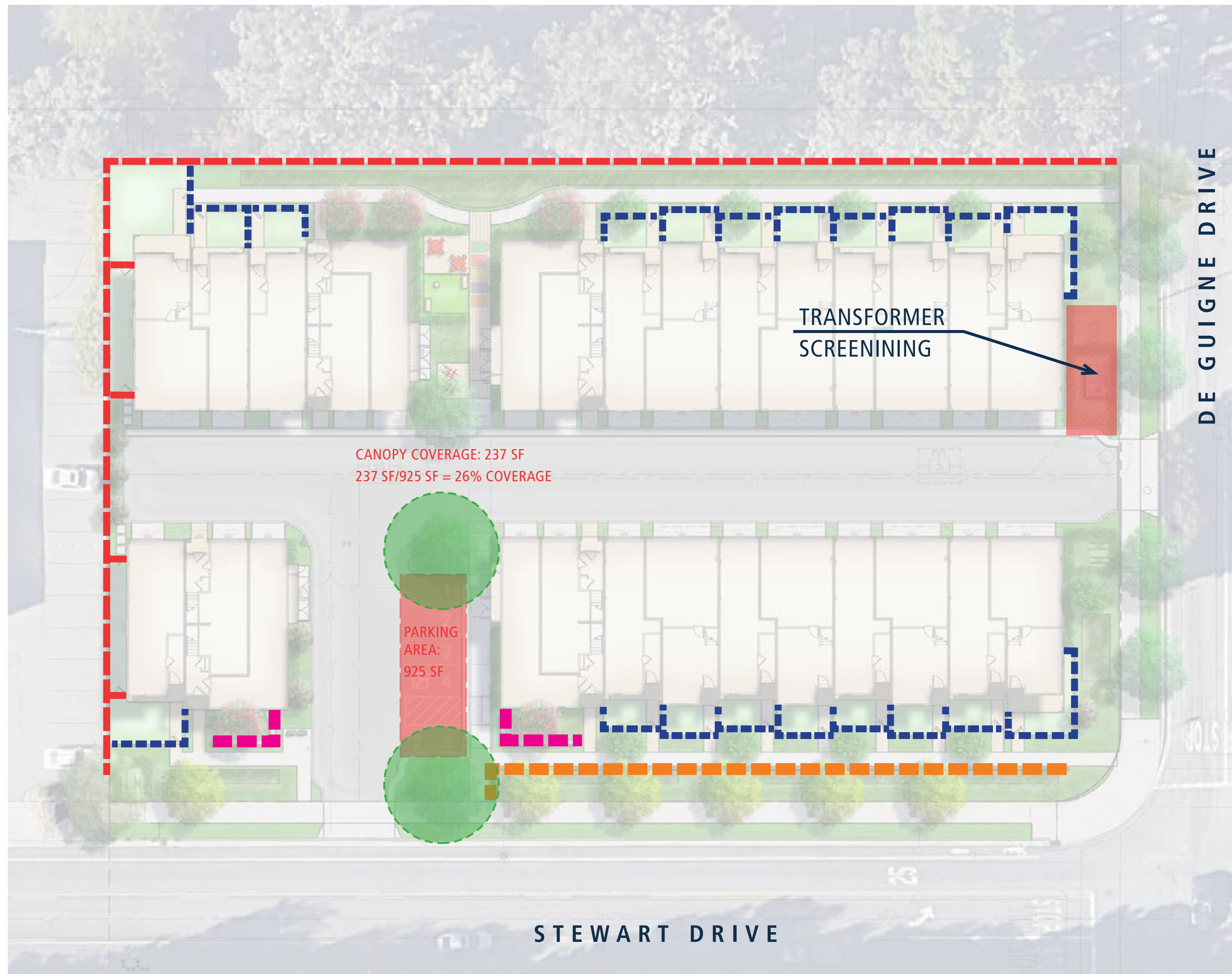
*Totals for each unit includes 80 SF decks on 2nd floor of each unit as part of the total calculation.
 *Only patios, with minimum of 10 feet in each direction and a total of 120 s.f. are calculated as usable open space.

OTHER LANDSCAPE AREA
 TOTAL: 481 SF PER UNIT (13,475 / 28 UNITS)
 REQUIRED PER UNIT: 425 SF (11,900 SF)

OPEN SPACE EXHIBIT



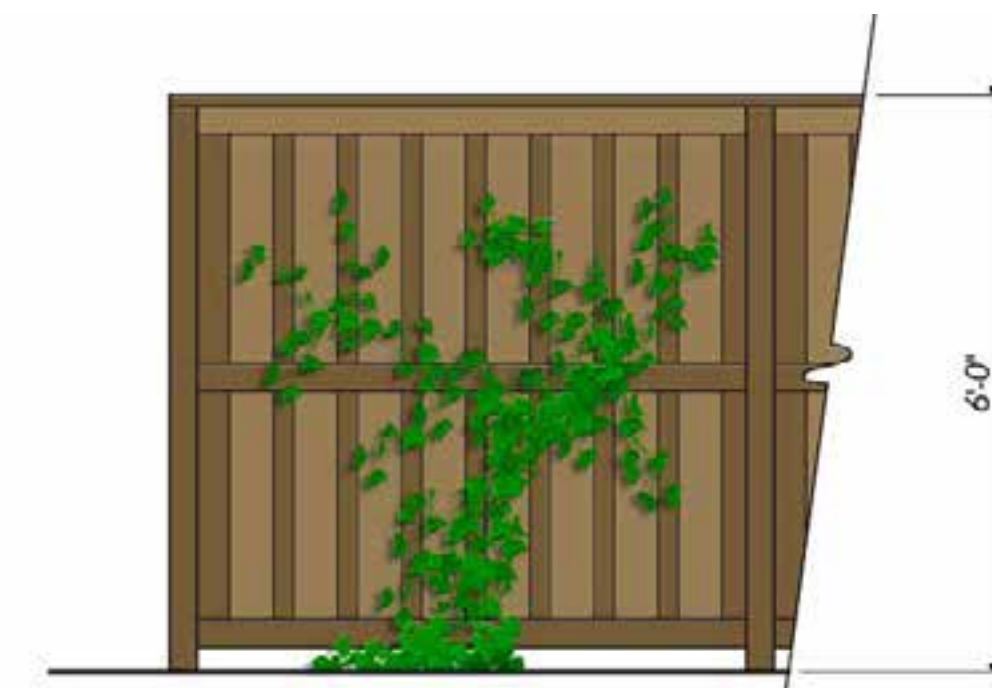
NTS



NOTES:

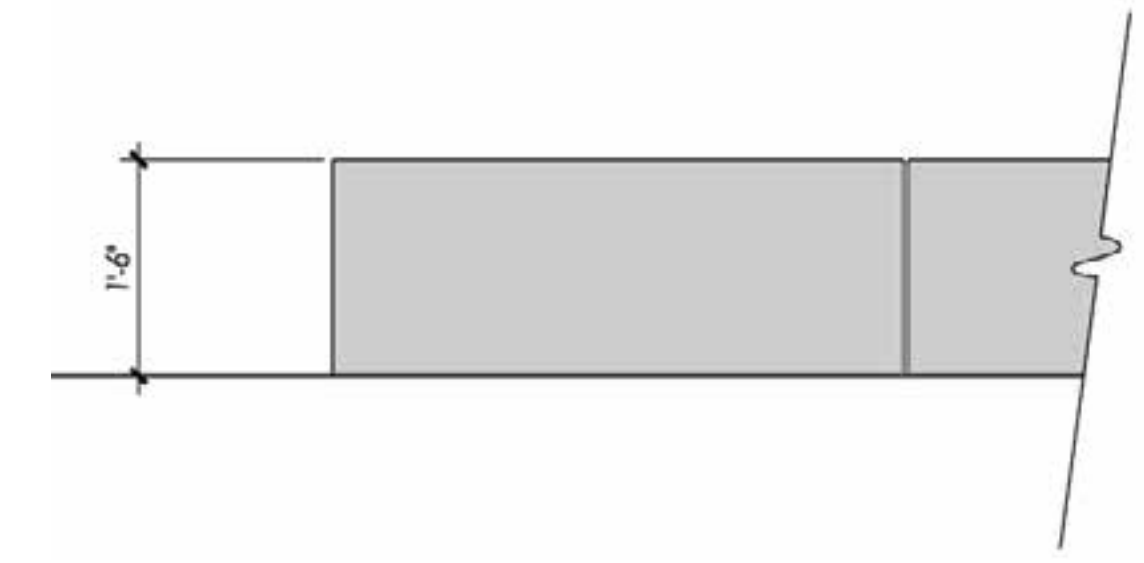
- Where fences occur within vision triangles, they are to be adjusted to comply with city open fence requirements:
 - 8' post spacing minimum
 - Max height of 4'-6"
 - 50% solid maximum at segments above 3'-6" height
 - Maximum 12" thick decorative elements
- Proposed patio fences are 3'-6" tall with 4" square posts and 1x6 wood panels.

LEGEND



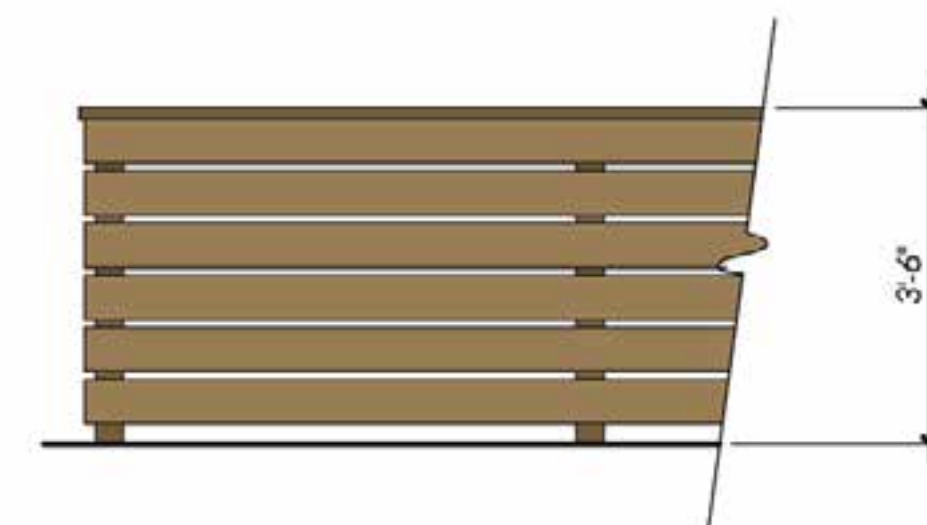
PERIMETER FENCE

- Wood Members
- 6'-0" ht.



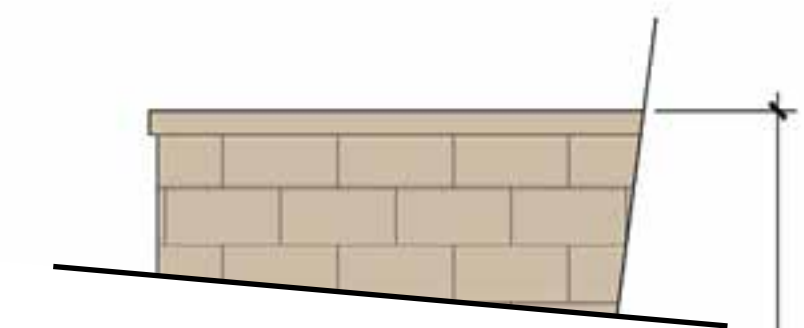
SEAT WALL

- PIP Concrete
- 1'-6" ht.



PATIO/SCREEN FENCE

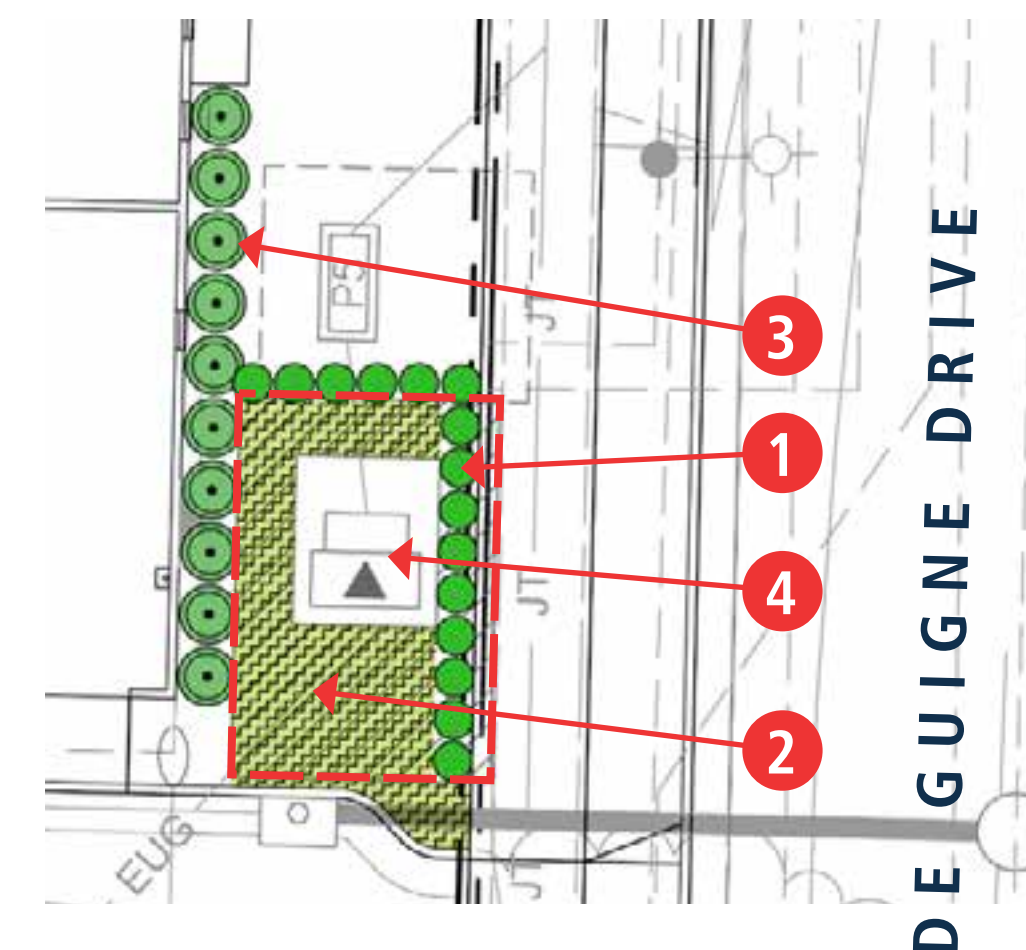
- Wood Members
- 3'-6" ht.



RETAINING WALL

- Splitface Block w/ Precision Cap
- 1.5' max height [Vaires per Civil]

TRANSFORMER SCREENING

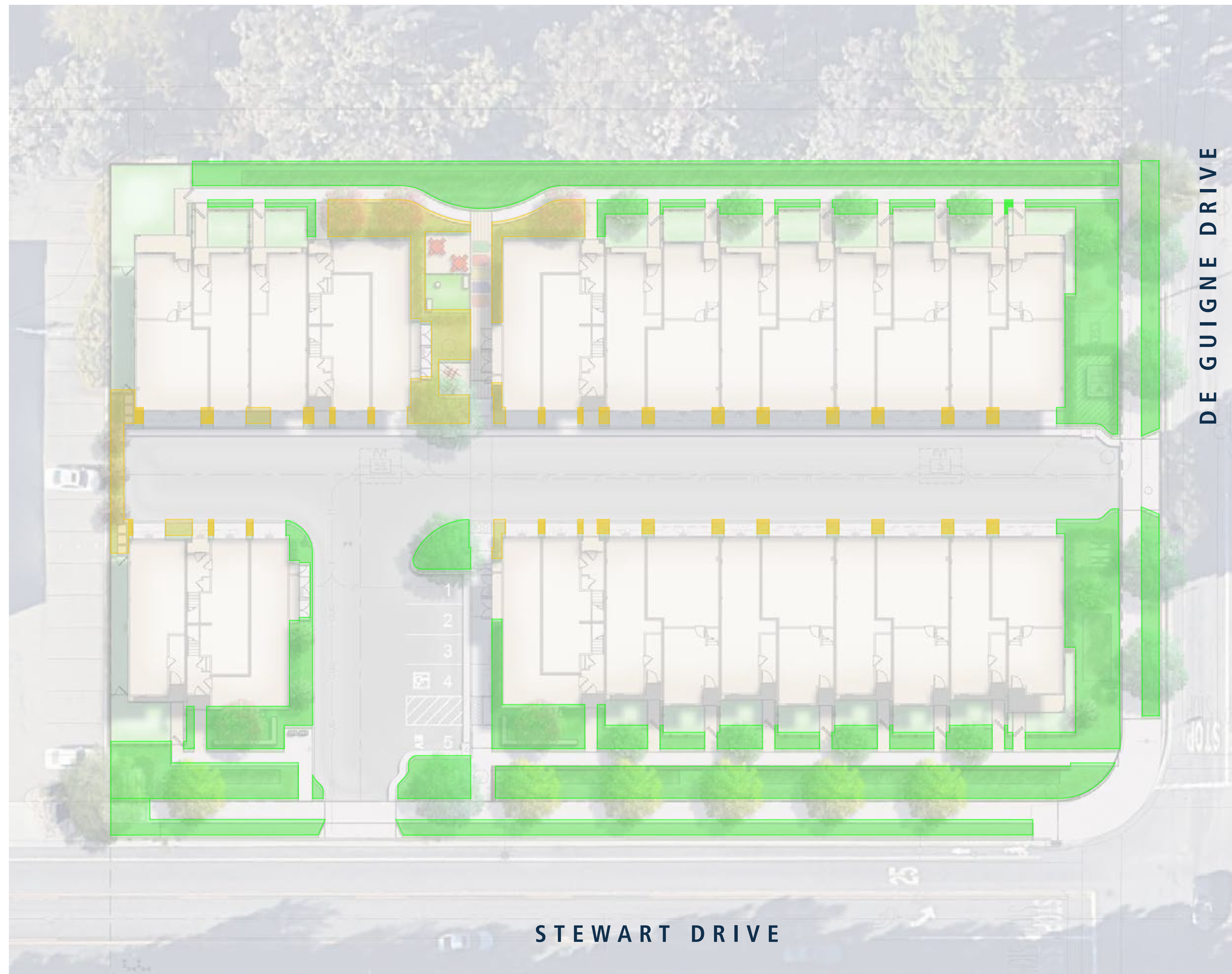


LEGEND:

- 1 5 gallon Screening Shrubs (Ceanothus or Similar)
- 2 1 gallon Groundcover Shrubs (Raphiolepis or Similar)
- 3 Adjacent Hedge Planting
- 4 Transformer
- Transformer Clear Work Zone



CONCEPTUAL WALL AND FENCE PLAN



HYDROZONES:

TOTAL LANDSCAPE AREA: 11,792

- LOW WATER USE: 10,042 SF (85%)
- MODERATE WATER USE: 1,750 SF (15%)

*Refer to Conceptual Plant Palette sheet for plant species associated with each Hydrozone.

WATER USE CALCULATIONS

WATER EFFICIENCY DESIGN OPTION 2

MAXIMUM APPLIED WATER ALLOWANCE		PROJECT #:
MAWA = (ETo) x (0.62) x [(0.55 x LA)+(0.45 x SLA)]		
ETo**	San Jose (Sunnyvale)	45.30 ETo (inches/year)
Enter total project Landscaped Area		11,792 LA (square feet)
Enter Special Landscaped Area		0 SLA (square feet)
RESULTS:		
		182,154.56 MAWA (gallons/year)

** Eto Values derived from Appendix A of the CA Model Water Efficient Landscape Ordinance, CA Dept. of Water Resources

MAWA = Maximum applied water allowance (gallons per year)
 ETo = Reference Evapotranspiration (inches per year)
 0.55 = ET Adjustment Factor (ETAF) for residential projects
 LA = Planted landscaped area including SLA and not including hardscapes. Also include surface area of water features not using recycled water.
 0.62 = Conversion Factor (to gallons per square foot)
 SLA = Portion of the Landscaped Area identified as Special Landscaped Area. Also include surface area of water features using recycled water.
 0.45 = The additional ET Adjustment Factor for SLA (1.0 - 0.55 = 0.45)

ESTIMATED TOTAL WATER USE		PROJECT #:
ETWU = (ETo) x (0.62) x [(PF x HA)/IE + SLA]		

Irrigation Efficiency Values

Drip System	0.81
Overhead Spray System	0.75
Water Feature/Other	0.75

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Moderate	0.4 - 0.6
High	0.7 - 1.0
Water Feature (High)	1.0
SLA	1.0

ETWU = Estimated total water use per year (gallons per year)
 ETo = Reference Evapotranspiration (inches per year)
 PF = Plant Factor from WUCOLS* or equivalent reference subject to approval
 HA = Hydrozone Area (square feet)
 SLA = Special Landscaped Area (square feet)
 0.62 = Conversion Factor (to gallons per square foot)
 IE = Average Irrigation Efficiency (minimum 0.75, assumed to be 0.76 for overhead spray system and 0.81 for drip system)

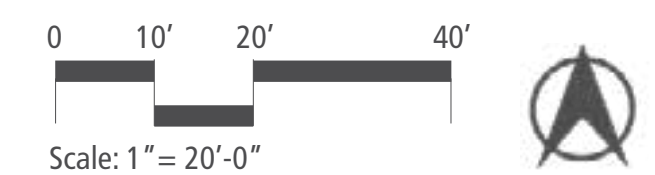
HYDROZONE TABLE

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Irrigation Type	Irrigation Efficiency (IE)	Hydrozone Area (HA) (sq ft)	[PF x HA]/IE
Zone 1	Very Low	0.1	Drip System	0.81	0	0
Zone 2	Moderate	0.6	Drip System	0.81	1,750	1,296
Zone 3	Water Feature (High)	1.0	Water Feature/Other	0.75	0	0
Zone 4	Low	0.2	Drip System	0.81	10,042	2,480
	SLA	1			0	
	Sum				11,792	3,776

RESULTS	MAWA = 182,155	ETWU = 106,047 gallons/year
----------------	----------------	-----------------------------

ETWU must be less than or equal to MAWA
 ETWU complies with MAWA

WATER USE CALCULATIONS



TREES:

SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
Acacia cultriformis	Knife Acacia	24" Box	L
Acer ssp.	Autumn Blaze Red Maple	36" Box	M
Araucaria heterophylla	Norfolk Island Pine	36" Box	M
Arbutus 'Marina'	Marina Strawberry Tree	36" Box	L
Cassia leptophylla	Gold Medallion Tree	36" Box	L
Cercidium 'Desert Museum'	Desert Museum Palo Verde	36" Box	VL
Cercis canadensis	Eastern Redbud	24" Box	M
Cercis occidentalis	Western Redbud	24" Box	VL
X Chitalpa tashkentensis 'Pink Dawn' Chitalpa	Chitalpa	36" Box	L
Cornus ssp.	Dogwood	24" Box	M
Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	36" Box	M
Jacaranda mimosifolia	Jacaranda	36" Box	M
Lagerstroemia ssp.	Crape Myrtle	24" Box	L
Laurus nobilis	Bay Laurel	24" Box	L
Liriodendron tulipifera	Tulip Tree	36" Box	M
Magnolia grandiflora	Southern Magnolia	36" Box	M
Magnolia stellata	Star Magnolia	24" Box	M
Melalueca quinquervia	Paperbark Tree	24" Box	L
Olea europaea 'Swan Hill'	Olive	36" Box	VL
Pinus halepensis	Aleppo pine	24" Box	L
Pinus pinea	Italian Stone Pine	36" Box	L
Pistacia chinensis	Chinese Pistache	36" Box	L
Platanus x acerfolia	London Plane Tree	36" Box	M
Platanus racemosa	Western Sycamore	36" Box	M
Podocarpus gracilior	African Fern Pine	36" Box	M
Podocarpus elongatus 'Monmal'	Icee Blue Yellow-wood	24" Box	M
Prunus ssp.	Cherry Plum	24" Box	L/M
Punica granatum	Pomegranate	24" Box	L
Pyrus ssp.	Pear	36" Box	M
Quercus ssp.	Valley Oak	36" Box	L/M
Rhus lancea	African Sumac	36" Box	L
Tillia ssp.	Linden	24" Box	M
Ulmus parvifolia 'True Green'	True Green Chinese Elm	36" Box	M
Umbellularia californica	California Bay	24" Box	M

SHRUB AND GROUND COVER:

LOW WATER USE HYDROZONE

SCIENTIFIC NAME	COMMON NAME	SIZE
Acacia redolens	Prostrate Acacia	1 gal.
Agave spp.	Agave	5 gal.
Aloe spp.	Aloe	5 gal.
Alogyne huegelli	Blue Hibiscus	15 gal.
Arctostaphylos spp.	Manzanita	5 gal.
Artemisia ssp.	Sagebrush	1 gal.
Bouteloua gracilis	Blue Grama	1 gal.
Callistemon spp.	Bottle Brush	5 gal.
Carex tumulicola	Foothill Sedge	1 gal.
Chondropetalum tectorum	Small Cape Rush	5 gal.
Cistus 'Sunset'	Magenta Rockrose	5 gal.
Cotoneaster spp.	Cotoneaster	5 gal.
Crassula spp.	Jade Plant	5 gal.
Dasyiron spp.	Desert Spoon	5 gal.
Dianella spp.	Flax Lily	5 gal.
Diets bicolor	Fortnight Lily	5 gal.
Festuca mairei	Atlas Fescue	5 gal.
Hesperaloe spp.	Yucca	5 gal.
Heteromeles arbutifolia	Toyon	15 gal.
Lavandula spp.	Lavender	5 gal.
Leucophyllum spp.	Barometer Bush	5 gal.
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	5 gal.
Ligustrum japonicum 'Texanum'	Waxleaf Privet	5 gal.
Lomandra spp.	Dwarf Mat Rush	5 gal.
Myoporum p. 'Putah Creek'	Creeping Myoporum	1 gal.
Myrtus communis	Common Myrtle	5 gal.
Olea europaea 'Montra'	Little Ollie Dwarf Olive	5 gal.
Phormium spp.	New Zealand Flax	15 gal.
Prunus caroliniana 'Bright n Tight'	Bright N Tight Carolina Laurel	15 gal.
Raphiolepis spp.	Indian Hawthorn	5 gal.
Rosmarinus officinalis	Rosemary	5 gal.
Salvia 'Bees Bliss'	Bee's Bliss Sage	5 gal.
Westringia spp.	Coast Rosemary	5 gal.

MEDIUM WATER USE HYDROZONE

SCIENTIFIC NAME	COMMON NAME	SIZE
Asparagus densiflorus	Asparagus Fern	5 gal.
Buxus japonica 'Green Beauty'	Japanese Boxwood	5 gal.
Ilex spp.	Holly	5 gal.
Juncus patens	California Gray Rush	5 gal.
Rosa spp.	Rose	5 gal.
Trachelospermum asiaticum	Asian Star Jasmine	1 gal.

VINES AND ESPALIERS:

LOW WATER USE HYDROZONE

SCIENTIFIC NAME	COMMON NAME	SIZE
Bougainvillea spp.	Bougainvillea	15 gal.
Macfadyena unguis-cati	Cat's claw	5 gal.
Rosa banksiae	Lady Banks Rose	15 gal.
Vitis spp.	Roger's Red California Grape	1 gal.

MEDIUM WATER USE HYDROZONE

SCIENTIFIC NAME	COMMON NAME	SIZE
Calliandra haematocephala	Pink Powderpuff	15 gal.
Distictis ssp.	Trumpet Vine	5 gal.
Eriobotrya deflexa	Bronze Loquat	15 gal.
Jasminum polyanthum	White jasmine	5 gal.
Lonicera japonica	Japanese Honeysuckle	5 gal.
Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	15 gal.
Trachelospermum jasmnoides	Star Jasmine	15 gal.



LEGEND

-  Street Tree (De Guigne and Internal)
Quercus agrifolia or similar
-  Street Tree (Stewart)
Platanus acerfolia or similar
-  Accent Tree
Lagerstoemia indica or similar
-  Small Accent Tree
Cercis canadensis or similar
-  Existing Tree to Remain
#362 Quercus agrifolia
#364 Sequoia sempervirens

NOTES:

-No existing or proposed street trees are to be planted within 5 feet of sanitary sewer lateral or 10 feet of a water lateral.

-Existing utility lines run beneath the planted parkway of Stewart Dr. Proposed street trees for this project will be placed behind back of walk where necessary to allow for required utility clearances.

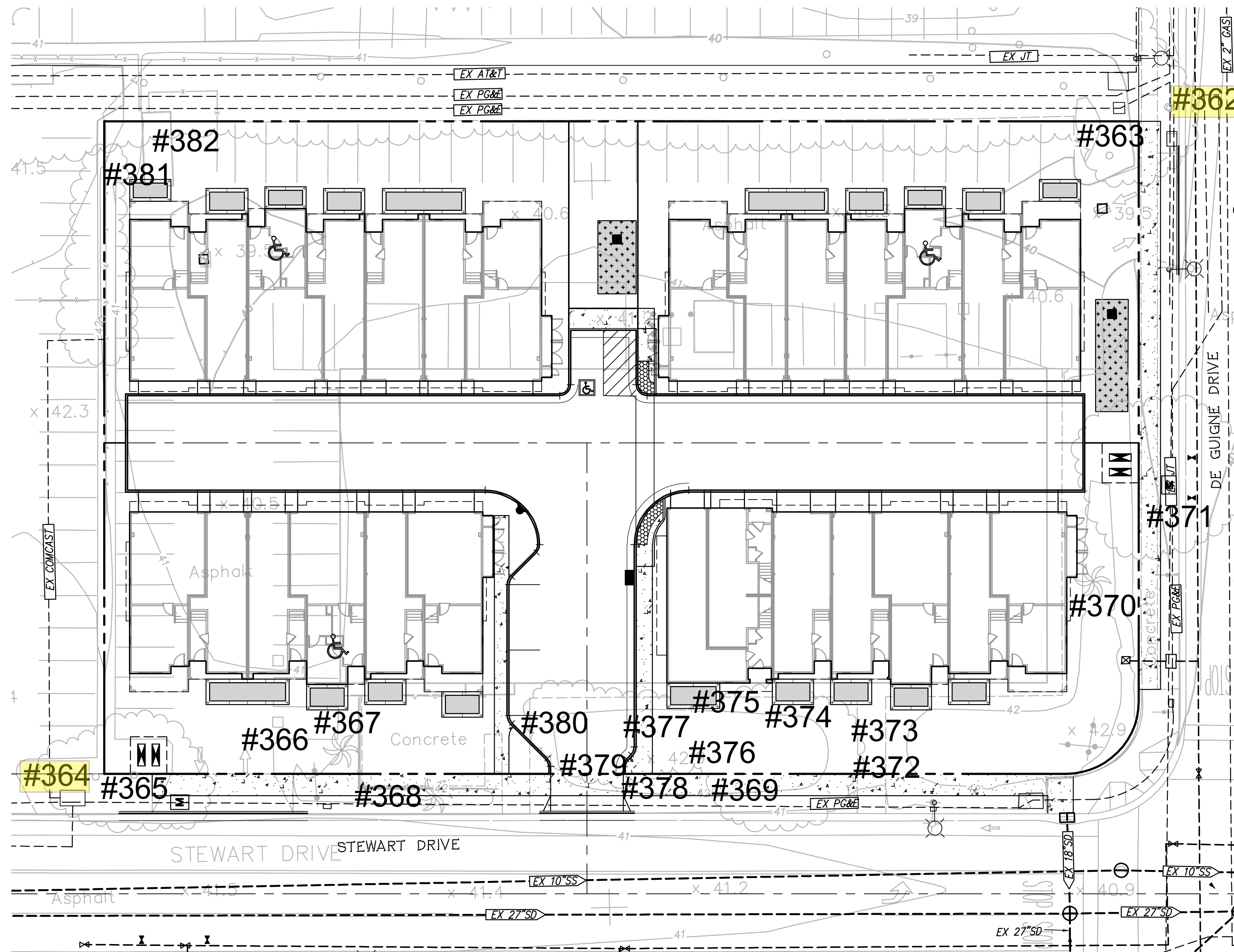
-Refer to water use calculations sheet for hydrozone locations.

-Low Water, visually-dense hedges will be planted to occupy a minimum of 25% of all horizontal building frontages to accommodate the City's transitional space design approach.

-Ground mounted utilities and mechanical equipment will be accommodated in the design of shrub planting to meet the city's location exception requirements (grouping utilities together, perpendicular orientation, screening shrubs, dark green paint, etc.).

CONCEPTUAL PLANT PALETTE

EXISTING TREE PLAN:

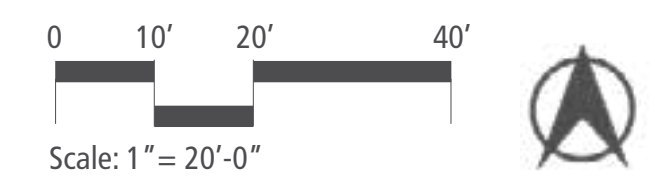


EXISTING TREE LIST:

tag #	locale	name	Genus species	circumference inches	diameter inches	drip line feet	height feet	Health	Health rating	Structure	Structure rating	Form	Form rating	notes	Protected in	Signature for Preservation
362	street near De Guigne entrance to parking lot	coast live oak	Quercus agrifolia	20.5	6.5	9,12,15,15	12	fair	3	fair	3	fair	3	bare compacted soil, limited rooting zone, no trunk taper, 33% live crown ratio (lcr)	YES	YES
363	DeGuigne entrance to parking lot	Hollywood juniper	Juniperus chinensis	48,20,12,17 (97)	30.9	20,6,12,12	22	good	4	poor	2	poor	2	Hedera canariensis rooting zone limited, root crown buried, stump sprout, trunks with included bark, leaning twisted topped scaffolds, 66% lcr	YES	NO
364	Stewart Drive parking lot entrance	coast redwood	Sequoia sempervirens	86	27.4	15,15,15,15	47	good	4	good	4	fair	3	limited rooting zone, new top sprouting, lcr 85%	YES	YES
365	Stewart Drive parking lot entrance	Hollywood juniper	Juniperus chinensis	23,19,24,42,15,12 (135)	43.0	12,12,3,9	25	good	4	poor	2	fair	3	Hedera canariensis rooting zone limited, root crown buried, stump sprout, trunks with included bark, leaning twisted topped scaffolds, 75% lcr	YES	NO
366	Stewart Drive parking lot entrance	Mexican fan palm	Washingtonia robusta	78	24.8	6' radius	66	good	4	good	4	good	4	Hedera canariensis rooting zone limited, root crown small wound	YES	YES
367	Stewart Drive parking lot entrance in front of	Mexican fan palm	Washingtonia robusta	88	28.0	9' radius	56	good	4	fair	3	fair	3	Hedera canariensis rooting zone limited, trunk leaning twist	YES	YES
368	Agape on	queen palm	Syagrus romanzoffiana	41	13.1	15' radius	30	good	4	good	4	good	4	limited rooting zone	YES	YES
369	near De Guigne corner	Mexican fan palm	Washingtonia robusta	72	22.9	12' radius	50	good	4	good	4	good	4	limited rooting zone	YES	YES
370	DeGuigne near building	Mexican fan palm	Washingtonia robusta	75	23.9	9' radius	50	good	4	good	4	good	4	Hedera canariensis rooting zone, dead fronds to 5' above grade	YES	YES
371	De Guigne street	holly oak	Quercus ilex	61.5	19.6	12,27,18,18	60	good	4	good	4	good	4	compacted limited rooting zone, root crown wound, lcr 60%	YES	YES
372	between Stewart & building	European white birch	Betula pendula	27	8.6	3,15,9,12	40	fair	3	fair	3	fair	3	Hedera canariensis & river rock rooting decayed dead trunk remains, minimal taper, grove tree lcr70%	NO	YES
373	between Stewart & building	European white birch	Betula pendula	10,24	10.8	12,12,16,4	40	fair	3	fair	3	fair	3	Hedera canariensis & river rock rooting roots minimal taper, grove tree lcr70%	NO	YES
374	between Stewart & building	European white birch	Betula pendula	23	7.3	18,6,15,5	40	fair	3	fair	3	fair	3	star jasmine, bare soil & river rocks in rooting zone, root crown decay from sprinkler, leaning & corrected lean trunk, grove tree lcr66%	NO	YES
375	between Stewart & building	European white birch	Betula pendula	29	9.2	9,9,12,15	40	good	4	good	4	good	4	star jasmine, bare soil & river rocks in rooting zone, grove tree lcr66%	NO	YES
376	between Stewart & building	European white birch	Betula pendula	11,5,5,5,7 (24)	10.8	9,2,3,6	20	poor	2	poor	2	poor	2	star jasmine, bare soil & river rocks in rooting zone, suppressed grove tree lcr 60%	NO	NO
377	between Stewart & building	European white birch	Betula pendula	25	8.0	6,15,7,18	30	fair	3	fair	3	fair	3	star jasmine, bare soil & river rocks in rooting zone, grove tree lcr66%	NO	YES
378	between Stewart & building	European white birch	Betula pendula	17,19 (36)	11.5	12,15,6,5	35	fair	3	fair	3	fair	3	star jasmine, bare soil & river rocks in rooting zone, codominant trunks with included bark, one dead top, dead patch of ground cover, grove tree lcr66%	NO	YES
379	between Stewart & building	European white birch	Betula pendula	11,1	3.5	18,22,9,15	40	good	4	good	4	good	4	star jasmine, bare soil & river rocks in rooting zone, dominant grove tree lcr 75%	NO	YES
380	between Stewart & building	European white birch	Betula pendula	8,5,14 (22.5)	7.2	3,2,2,4	25	poor	2	poor	2	poor	2	star jasmine, bare soil & river rocks in rooting zone, codominant trunks with included bark, dead tops, suppressed grove tree lcr 45%	NO	NO
381	sw corner behind parking lot	holly oak	Quercus ilex	16,9,17,19 (61)	19.4	6,15,6,20	25	good	4	very poor	1	poor	2	suppressed stump sprout or seedling growing into fence	NO	NO
382	sw corner behind parking lot	holly oak	Quercus ilex	11,14 (25)	8.0	3,3,6,6	25	fair	3	very poor	1	very poor	1	suppressed stump sprout or seedling growing into fence	NO	NO
		low			3.5		12.0		2.0		1.0		1.0			
		high			43.0		66.0		4.0		4.0		4.0			
		average			16.4		37.0		3.5		3.0		3.0			

NOTES:

- Highlight marks existing tree to be preserved (NOTE: NO existing tree within the property line of the proposed project are to be preserved).
- Existing trees are off property and should be avoided during construction, protection fencing can be installed at tree base if necessary for preservation.
- Refer to Arborist Report for additional information.



TREE PROTECTION PLAN

CITY VENTURES SUNNYVALE 2 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA

STREET LIGHTING NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE NATIONAL ELECTRIC CODE AND STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF SUNNYVALE.
2. THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO H.O.A. SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY THE CITY.
3. KEEP STREET LIGHTS A MINIMUM OF 3 FEET AWAY FROM THE EDGE OF DRIVEWAYS, SEWER AND WATER LATERALS AND 5 FEET AWAY FROM FIRE HYDRANTS & CATCH BASINS.
4. TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM), UNLESS OTHERWISE NOTED.
5. **CONDUIT AND FITTINGS:** ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED SCHEDULE 40 P.V.C., USE MINIMUM 2" SCH. 40 P.V.C. CONDUIT AND FITTINGS BELOW GRADE, UNLESS OTHERWISE NOTED OR REQUIRED. MINIMUM RADIUS BENDS SHALL BE 18". FOR ABOVE GROUND INSTALLATION USE METALLIC RIGID STEEL CONDUIT. PROVIDE PULL WIRE IN EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
6. **CONDUIT DEPTH:** 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 30" UNDER PAVEMENT.
7. **CABLE:** CABLE SHALL BE U.L. A.W.G. NO. 8, 7-STRAND SOFT COPPER, TYPE THW OR THWN WITH MINIMUM OF 3/64" (40 MIL) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED (40 MIL INSULATION).
8. **SPLICE BOXES:** SPLICE BOXES SHALL BE NO. 3-1/2 STATE TYPE WITH LID AND BRASS HOLD DOWN BOLTS, UNLESS OTHERWISE NOTED. LIDS TO BE INSCRIBED "STREET LIGHTING". SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. SPLICE BOXES TO BE SET ON A CONCRETE FOOTING WHEN SUBJECT TO TRAFFIC LOAD.
9. **FUSES:** EACH POLE SHALL BE DUXED WITH WATERPROOF IN-LINE FUSE HOLDERS AT EACH ADJACENT BOX WITH 5 AMP FUSE. FOR DUPLICATED LIGHTS, EACH LUMINAIRE SHALL BE FUSED SEPARATELY.
10. **SPLICING:** ALL SPLICES SHALL BE MADE IN HAND HOLES OR SPLICE BOXES ONLY. SPLICES SHALL BE MADE WITH "STACK -ON" CRIMP JOINTS, "SCOTCH LOCK" FASTENERS, OR APPROVED EQUAL. ON SPLICES MADE BELOW GRADE, WRAP WITH MOISTURE PROOF INSULATION THICKNESS.
11. **POLE NUMBERS:** OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE WITH PG&E AND/OR CITY FOR THEIR REQUIREMENTS.
12. **TRENCH:** CONDUIT CANNOT BE PLACED IN JOINT TRENCH. THE CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH AND BOX LOCATIONS. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENT IS CONTRACTOR'S RESPONSIBILITY.
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
14. TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
15. CONTRACTOR TO CONSULT WITH LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
16. LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER THE CITY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
17. CENTERLINE OF STREET LIGHTS SHALL BE LOCATED ON THE LOT LINE UNLESS OTHERWISE NOTED ON THESE PLANS.
18. ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY PRIOR TO INSTALLATION.
19. SET ALL STREET LIGHTS TO ULTIMATE FINISHED GRADE. CONSULT WITH CITY FOR PROPER PHYSICAL PROTECTION AND/OR SIGNING AND STRIPING ADJACENT TO ANY STREET LIGHTS INSTALLED IN THEIR ULTIMATE LOCATIONS THAT ARE NOT PROTECTED BY A VERTICAL CURB. BERM AND COMPACT EARTH TO FINISHED GRADE A MINIMUM OF 5' AROUND STREET LIGHT BASES AT THESE LOCATIONS.
20. CONTACT U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".
21. STREET LIGHT CONDUIT BENDS SHALL HAVE A MINIMUM 18" RADIUS. UNLESS OTHERWISE SHOWN ON THE PLANS, NO BEND SHALL BE INSTALLED IN THE STREET LIGHT SYSTEM WITHOUT PRIOR APPROVAL OF THE CITY INSPECTOR.
22. ALL BOXES ARE TO BE INSTALLED WITHIN THE R/W AND/OR P.U.E. AREA.

Specification Sheet

Millenia™
M450 Medium Post Top

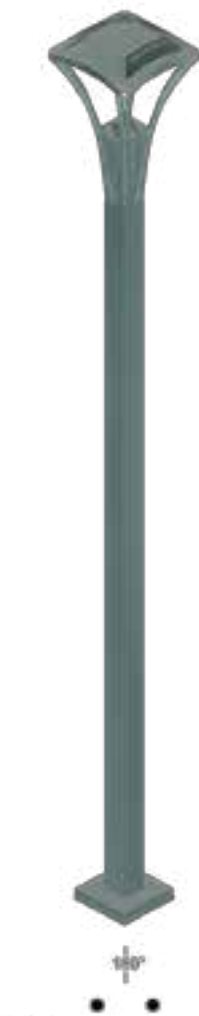
STERBERG ML600-12L2714-MDL014-SV1

How to Order

Part Number	Part Name	Qty	Notes
ML600-12L2714-MDL014-SV1	Millenia™ M450 Medium Post Top	1	

Notes:

1. All materials and workmanship shall conform to the National Electrical Code and Standard Specifications and Details of the City of Sunnyvale.
2. The contractor shall be responsible for obtaining all necessary permits and approvals.
3. The contractor shall be responsible for coordinating with all utility companies.
4. The contractor shall be responsible for protecting existing utilities.



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CONCEPTUAL ASSEMBLY DRAWING, SUBJECT TO MODIFICATION BY THE FACTORY

PT FIXTURE: PT
The medium scale Millenia™ M450 post top luminaire is a breakthrough in modern area lighting technology. Its new world urban design transcends traditional lighting convention by seamlessly incorporating form and function to get another level. Our innovative AAD™ "Advanced Air-Flow Dynamics" maximizes heat sink expansion to deliver unsurpassed thermal management for long-life LED performance and energy efficiency. Available with a myriad of options, the Millenia™ is perfect for commercial, institutional, and municipal markets. The cast aluminum upper shell is a 12" OD x 24" tall tower. The luminaire shall be used in US and Canada.

PT FIXTURE OPTIONS: -SV1-
Lens: Diffuse Acrylic Lens (DVA)
Control: None (N)

POLE: 48Q11-125
Model: 48Q11
Height: 11' 9" (11)
Diameter: 0.120" (1.25)

FINISH: STD
Assembly shall be powder coated to a yield to be determined standard finish. This option may be used for quoting purposes when a final decision on the finish specification is pending.

Customer Signature: _____ Date: 2025/05/26

Job Name: Sunnyvale 2

Job Location: Sunnyvale, CA

Drawing: R67204

1 of 2

LEGEND

- ESL — EXISTING STREET LIGHT CONDUIT
- SL — PROPOSED STREET LIGHT CONDUIT
- X"(X)"S.L. COND.) STREET LIGHTING CONDUIT LABEL, X' INDICATES CONDUIT LENGTH, (X)"S.L. COND.) INDICATES CONDUIT SIZE
- X"(XX) STREET LIGHTING WIRE LABEL, X' INDICATES WIRE LENGTH, (XX) INDICATES WIRE TYPE.
- (2W) 2-#8 CU. WIRE (SEE NOTE 15)
- (3W) 3-#8 CU. WIRE (SEE NOTE 15)
- (3WG) 2-#8 CU. WIRE & 1-#8 BARE CU. GROUND (UNLESS OTHERWISE NOTED); SEE NOTE 15 & GROUNDING DETAIL
- (4WG) 3-#8 CU. WIRE & 1-#8 BARE CU. GROUND (UNLESS OTHERWISE NOTED); SEE NOTE 15 & GROUNDING DETAIL
- EXISTING TRAFFIC SIGNAL
- STREET LIGHTING PULL BOX STATE TYPE #3 1/2, 10" x 17" x 12"
- STREET LIGHTING GROUND BOX STATE TYPE #5, 13" x 24" x 12"
- PROPOSED PRIVATE STREET LIGHT, POST TOP
- PROPOSED PRIVATE LIGHTING BOLLARD
- PROPOSED EXTERIOR LIGHT, WALL MOUNT, (BY OTHERS)
- EXISTING STREET LIGHT, POST TOP
- EXISTING STREET LIGHT, SINGLE ARM
- CIRCUIT NUMBER/PHASE (SEE ELECTRIC SOURCE DETAILS)
- POLE NUMBER
- STREET LIGHT POINT OF SERVICE
- FACE OF CURB

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

STREET LIGHTING SYSTEM (PRIVATE)

Item	Contractor	PG&E
WIRE:		
FURNISH:	●	○
INSTALL:	●	○
CONDUIT:	●	○
FURNISH:	●	○
INSTALL:	●	○
BASES:		
FURNISH:	●	○
INSTALL:	●	○
LUMINAIRES:		
FURNISH:	●	○
INSTALL:	●	○
SPLICE BOXES:		
FURNISH:	●	○
INSTALL:	●	○
EXCAVATE:	●	○
POLES & ARMS:		
FURNISH:	●	○
INSTALL:	●	○

SCHEDULE: _____ L/S3

INSTALL IN JOINT TRENCH: NO

INSTALL IN SEPARATE TRENCH: YES

CONDUIT SIZE: 2"

CONDUIT TYPE: SCH. 40

WIRE SIZE: VARIES TYPE: CU

ADDITIONAL NOTES:

-PRIVATE LIGHTS TO BE MAINTAINED BY H.O.A. (HOMEOWNER ASSOCIATION) UPON TRACT ACCEPTANCE.

Specification Sheet

Millenia™
M450 Medium Post Top

Fixed Dimming Resistor Board (FRB)

Optional numbered 10-step selector switch allows for fine adjustment of the light levels in the field, reproducible from location to location. Offers dimming from 25% to 100% of the original output. Enclosure is compatible material, sealed to protect components for the life of the product.

Photocell

Twist-Lock Style (Body Mount): The photocell shall be mounted in the main body of the luminaire. This option includes a cast aluminum light shield cover. The twist lock type photocell is mounted on a 3/4 second turn off, and shall turn on at 1.6 footcandles with a range of 0.3 footcandles. Photocell is 120/277 volt. Cover not for use with a wireless controller.


Lumen Chart(s)

Rated with CA lens

Model	LED Type	LED Qty	LED Power (W)	LED Voltage (V)	LED Current (A)	LED Temp (°C)	LED Life (hrs)	LED Beam Angle (°)	LED Output (lm)	LED Output (fc)	LED Output (ft-c)	LED Output (m-c)
ML600-12L2714-MDL014-SV1	3000K	10	10	3.0	3.3	35	50,000	120	100	1.0	1.0	1.0

Other Features

- Perforated vent to support passive cooling with AAD™ system "Advanced Air-Flow Dynamics"
- 7-Fin NEMA Twist-Lock Receptacle with light shield and Photocell



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CONCEPTUAL ASSEMBLY DRAWING, SUBJECT TO MODIFICATION BY THE FACTORY

Customer Signature: _____ Date: 2025/05/26

Job Name: Sunnyvale 2

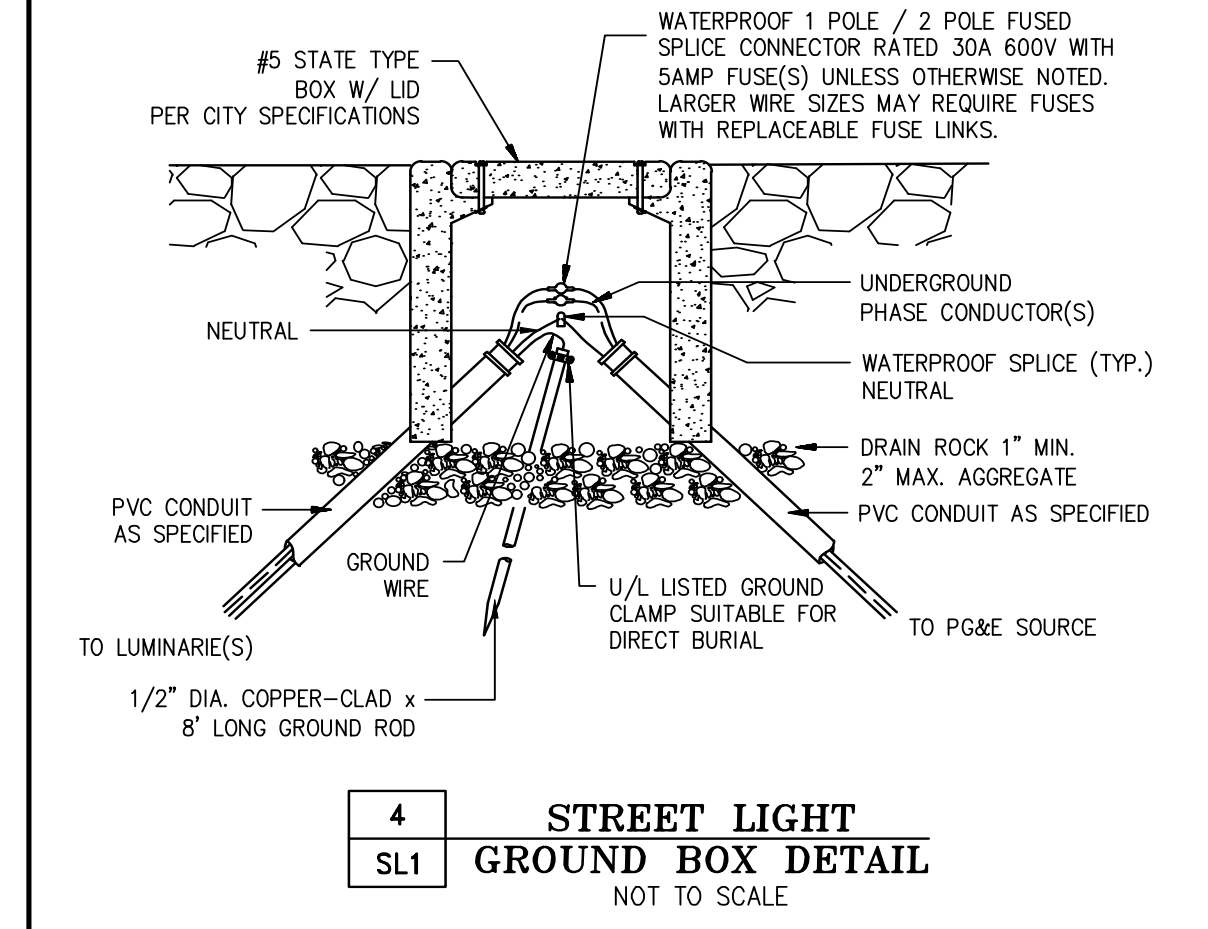
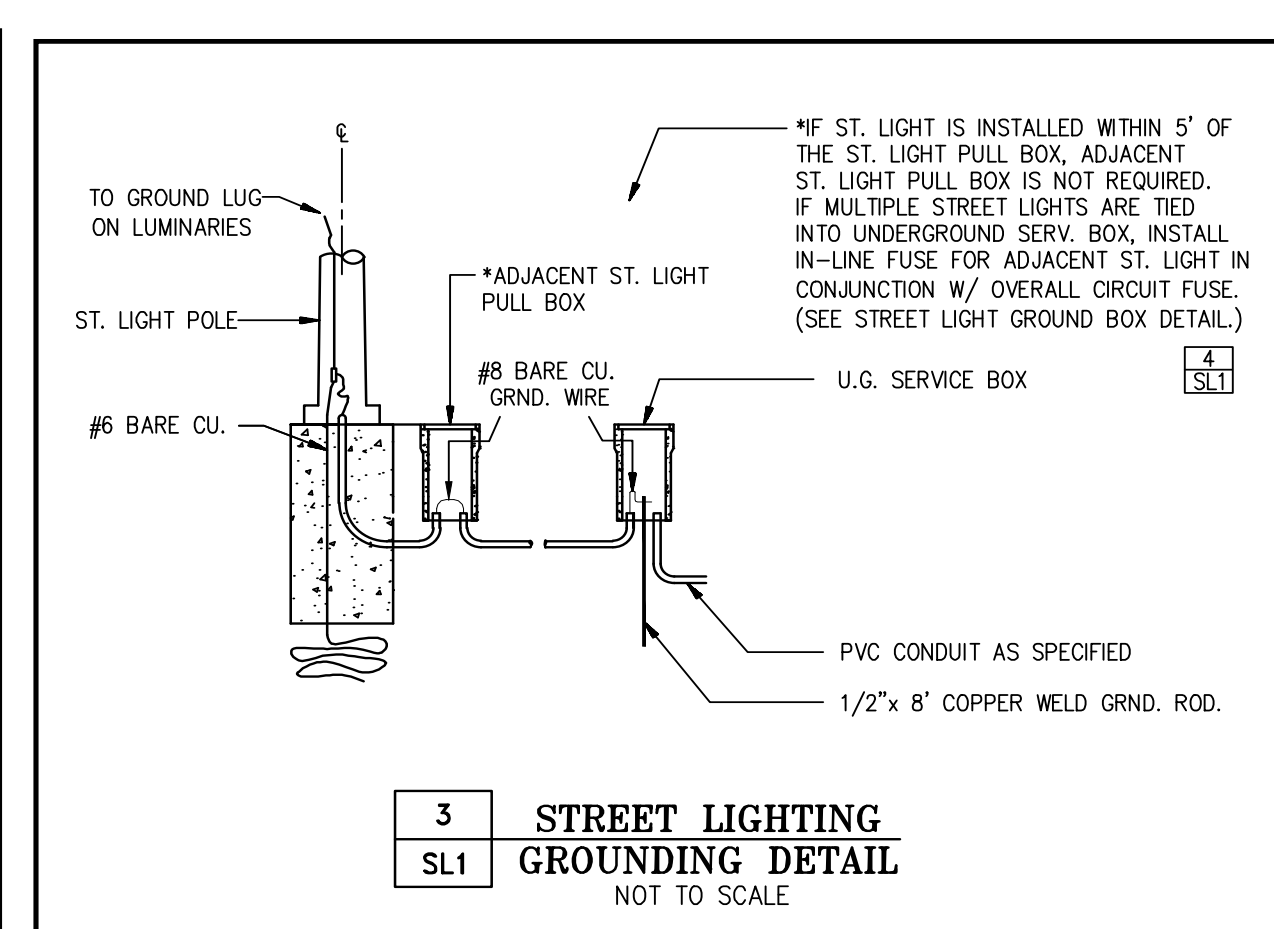
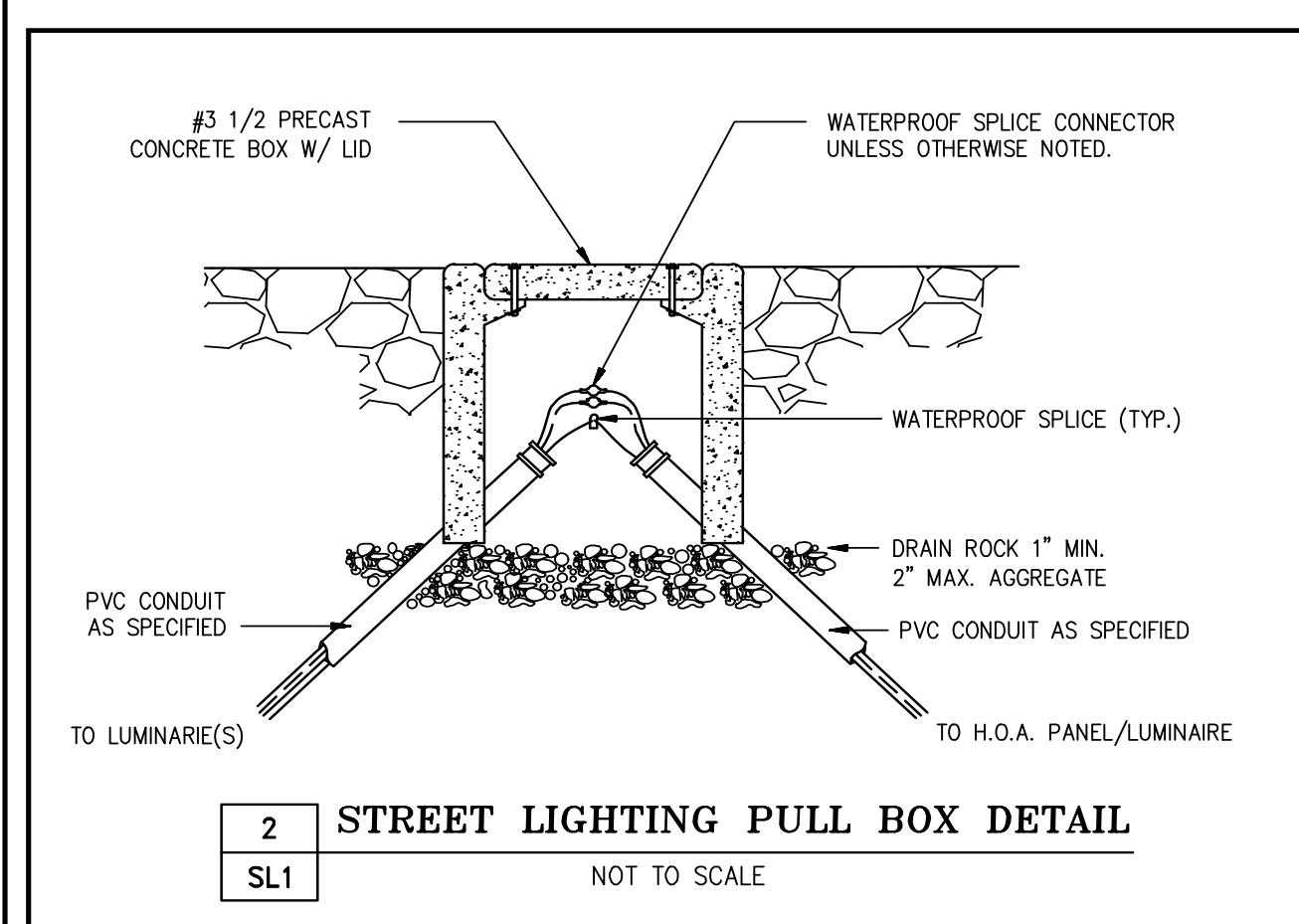
Job Location: Sunnyvale, CA

Drawing: R67204

2 of 2

VOLTAGE DROP CALCULATIONS

LOCATION	DISTANCE	LOAD		VOLTAGE 120/240	WIRE SIZE	% VOLTAGE DROP
		WATT	VOLT/AMP			



1 PRIVATE STREET LIGHT DETAIL
SL1 NOT TO SCALE

STREET LIGHTING GENERAL NOTES AND DETAILS

FOR REVIEW ONLY

Millenia™ ML360 Small

STERNBERG ML360-04FT-SV2-32L-2712-MDLO3-DIMMED TO 25% OUTPUT

How to Order

Mounting Configuration	Height (ft)	Series	LED	CCFL Color Temp (K)	Distribution Type	Driver Type	Lens	Optional Photocell (1)	Optional Ground Fault (1)	Optional Pole (1)	Optional Mounting Bracket (1)	Finish
ML (Millenia)	3	ML360	3000K	2700K	12	1200-2	MDLO3	CA	MD	MD	MD	SL2
FA (Flat Mount)	3	ML360	3000K	2700K	12	1200-2	MDLO3	CA	MD	MD	MD	SL2
FM (Flat Mount)	3	ML360	3000K	2700K	12	1200-2	MDLO3	CA	MD	MD	MD	SL2
WM (Wall Mount)	3	ML360	3000K	2700K	12	1200-2	MDLO3	CA	MD	MD	MD	SL2

Notes:
 1. Do not exceed "height".
 2. Do not exceed "width".
 3. Do not exceed "depth".
 4. Do not exceed "weight".
 5. Do not exceed "length".
 6. Do not exceed "width".
 7. Do not exceed "depth".
 8. Do not exceed "weight".
 9. Do not exceed "length".
 10. Do not exceed "width".
 11. Do not exceed "depth".
 12. Do not exceed "weight".
 13. Do not exceed "length".
 14. Do not exceed "width".
 15. Do not exceed "depth".
 16. Do not exceed "weight".
 17. Do not exceed "length".
 18. Do not exceed "width".
 19. Do not exceed "depth".
 20. Do not exceed "weight".

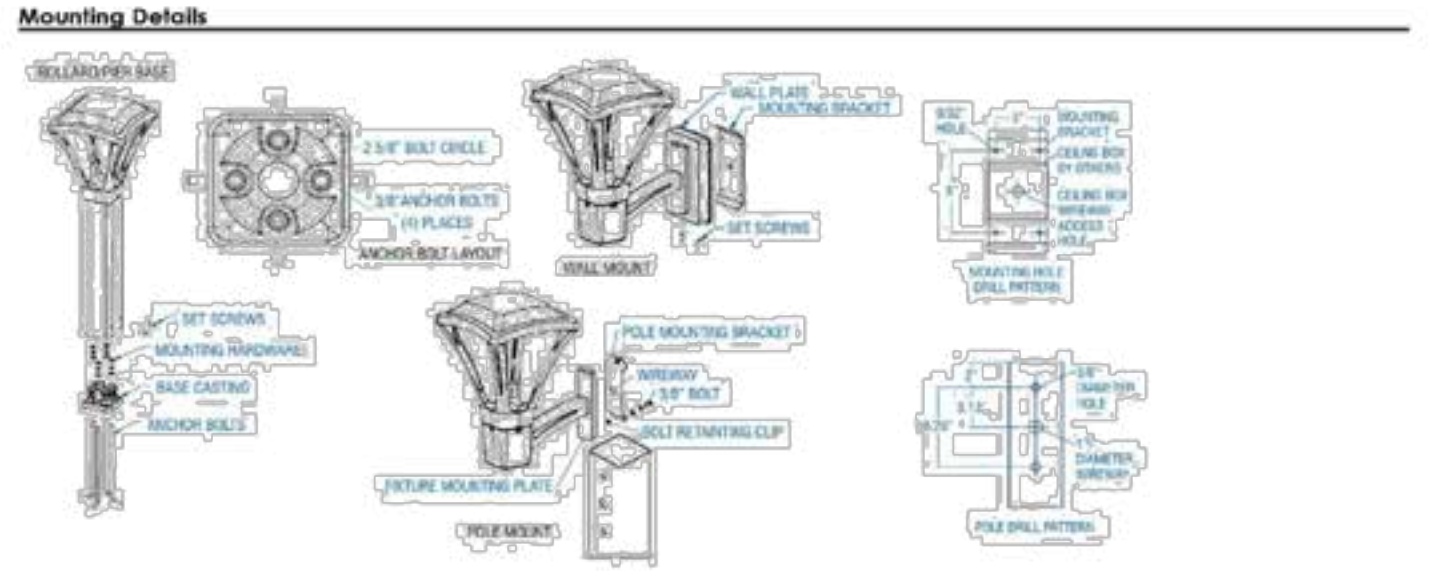
Sternberg
 300 Lawrence Ave., Fremont, CA 94538, USA | P: 510.770.3400 | E: contact@sternberglighting.com
 www.sternberglighting.com | www.sternberglighting.com/products/204

Millenia™ ML360 Small

Photocell: Bufton Photocell (On Plate): Optional photocell shall be mounted on a plate and installed on the pole shaft. The electronic bufton type photocell is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn off at 0.3 footcandles.

Lumen Chart(s)
 Tested with CA lens

Model #	T2 DELIVERED LUMENS	BLG	EFFICACY (LPW)	T2R DELIVERED LUMENS	BLG	EFFICACY (LPW)	T4 DELIVERED LUMENS	BLG	EFFICACY (LPW)	T4 DELIVERED LUMENS	BLG	EFFICACY (LPW)	WATTAGE
101.251-ML360-17	4810	89.000	81.9	4810	89.000	81.9	4810	89.000	81.9	4810	89.000	81.9	50.0
101.251-ML360-17	4810	89.000	81.9	4810	89.000	81.9	4810	89.000	81.9	4810	89.000	81.9	50.0
101.251-ML360-17	4810	89.000	81.9	4810	89.000	81.9	4810	89.000	81.9	4810	89.000	81.9	50.0



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1 PRIVATE LIGHTING BOLLARD DETAIL
 SL2 NOT TO SCALE

FORTE™ WALL

PROJECT: _____
 TYPE: _____
 QUANTITY: _____



PN: 4W

APPLICATION
 • WALL MOUNT
 • INDOOR OR OUTDOOR RATED

DIMENSION
 • 16" (40CM)

ILLUMINATION
 • DIRECT
 • LED 90CRI
 • 1,342 - 1,848 LUMENS

ELECTRICAL
 • 120V, 277V, AND 347V
 • 20mA SURGE SUPPRESSION STANDARD

DRIVER
 • WALL MOUNT (INTEGRAL)
 • REMOTE MOUNT (INDOOR OR OUTDOOR)

DIFFUSERS
 • CLEAR OR FROSTED, ELONGATED, GLASS GLOBE

MOUNTING
 • WALL, MOUNTED TO A 4" (10CM) J-BOX

CONSTRUCTION
 • ALUMINUM

FINISHES
 • AVAILABLE ANODIZED, BRUSHED, AND IN SEVERAL TMS POWDER COATED FINISHES
 • CUSTOM RAL FINISHES AVAILABLE

DIMMING
 • 0 - 10V STANDARD DIMMING

WEIGHT
 • 6.7 LB MAXIMUM

TMSLIGHTING
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 www.tmslighting.com | www.tmslighting.com/products/204

FORTE™ WALL

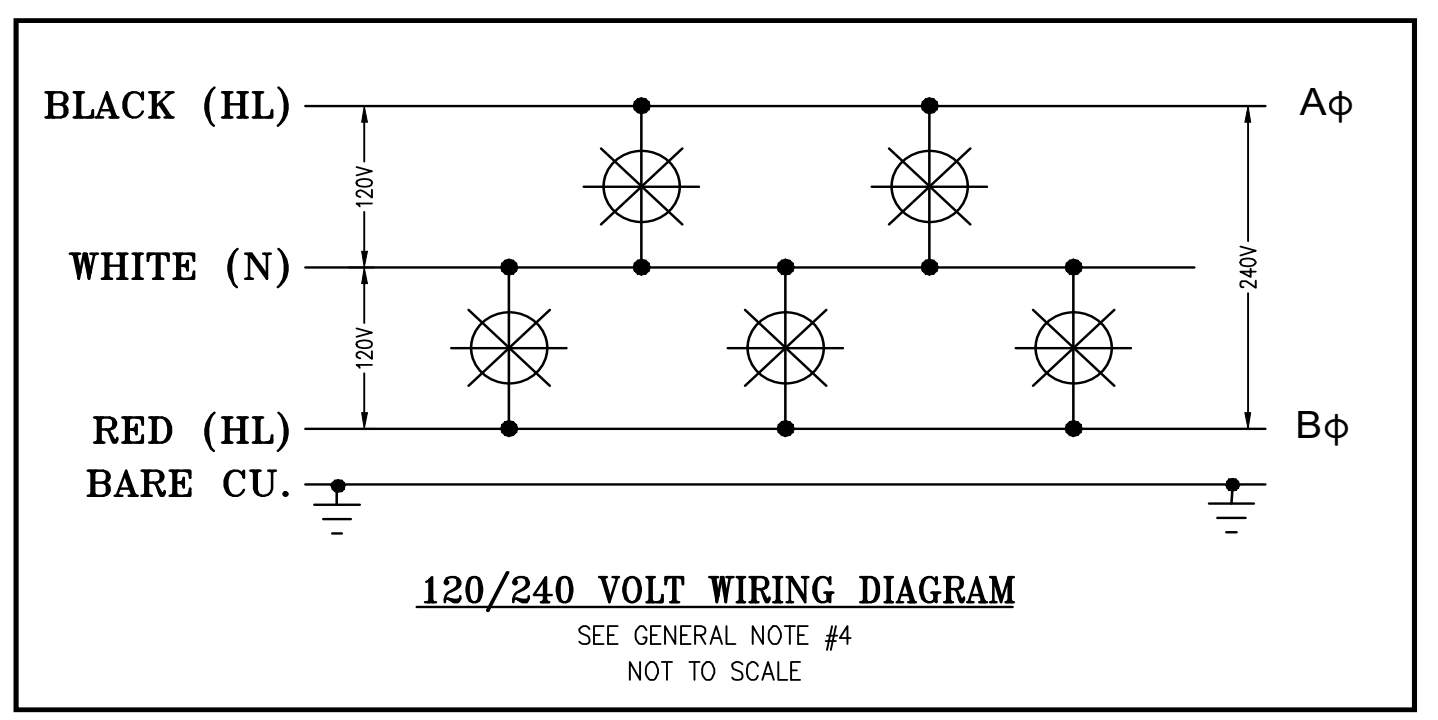
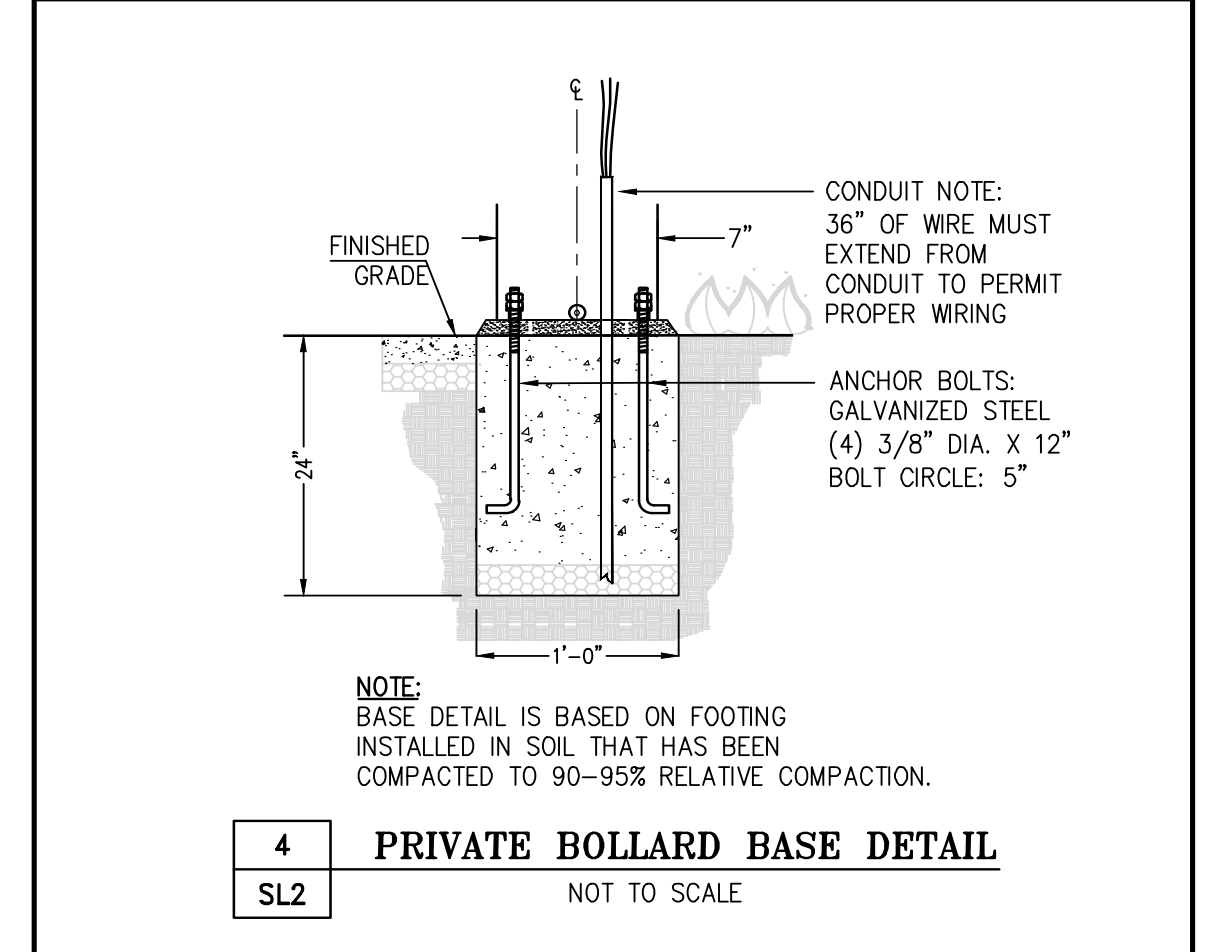
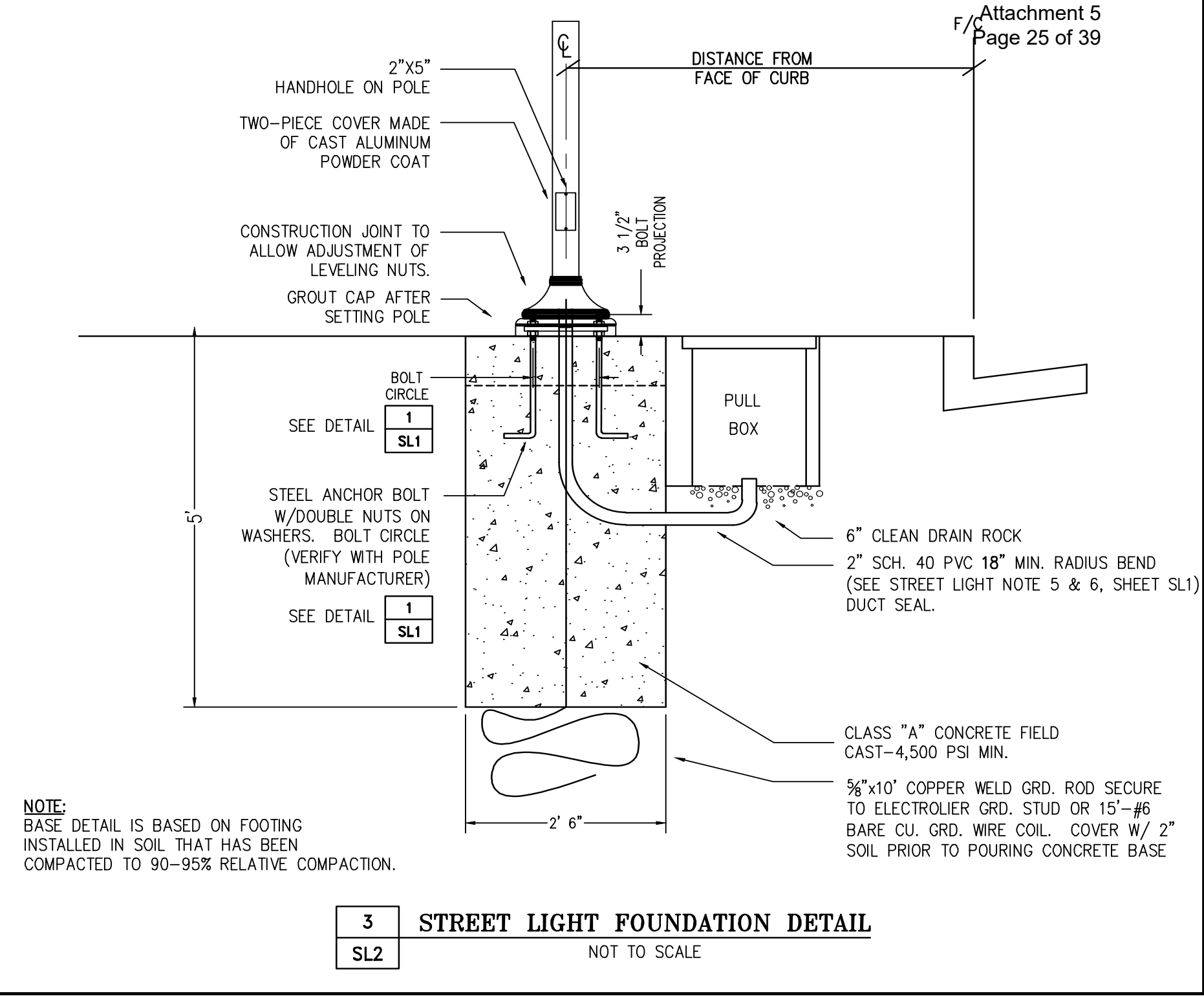
PROJECT: _____
 TYPE: _____
 QUANTITY: _____

4W

1.	INDOOR	OUTDOOR								
2.	100W MED BASE (MAX 100W INC)	15LED 15W LED 17W LED 19W LED								
3.	---	30K 3000K 3500K 4000K								
4.	120 120V	277 277V								
5.	---	WM N1 N4								
6.	F04 MATTE WHITE	F05 GLOSS WHITE	F15 MATTE BLACK	F31 GLOSS BLACK	F09 PEWTER	F31 SILVER METALLIC	F1A SATIN ALUMINUM	F06 CLAY BROWN	F07 ZELUS BROWN	F08 MIDNIGHT BLUE
7.	---	---	---	---	---	---	---	---	---	---
8.	---	---	---	---	---	---	---	---	---	---
9.	---	---	---	---	---	---	---	---	---	---
10.	---	---	---	---	---	---	---	---	---	---

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 www.tmslighting.com | www.tmslighting.com/products/204

2 EXTERIOR LIGHT, WALL MOUNT DETAIL
 SL2 NOT TO SCALE



STREET LIGHTING GENERAL NOTES AND DETAILS

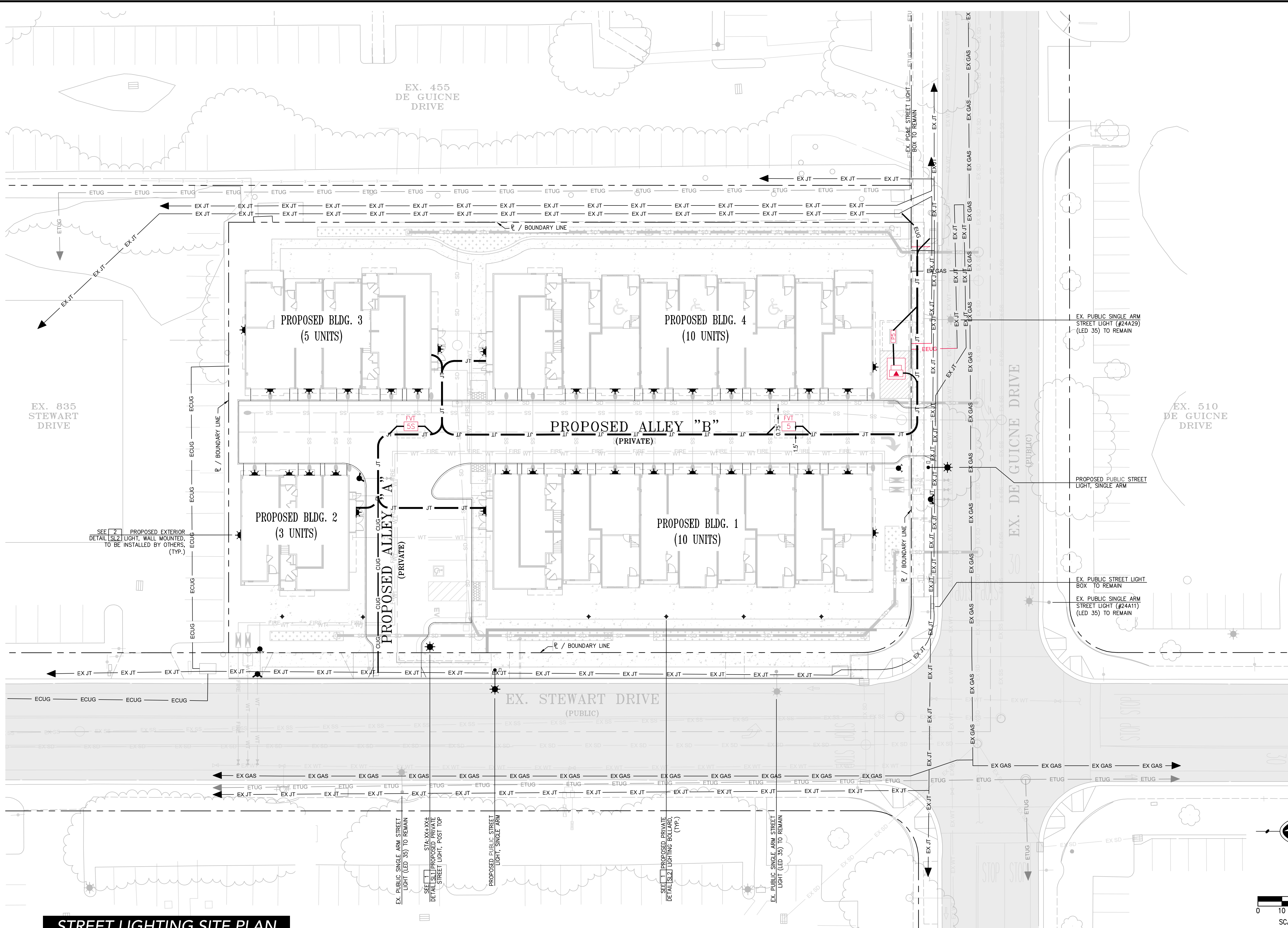
FOR REVIEW ONLY



The Arcade
 APN: 205-21-010 Santa Clara County
 845 Stewart Dr.
 Sunnyvale, CA



November 11, 2025
 September 5, 2025
 July 25, 2025
 June 6, 2025
SL2
 FDS#24018



STREET LIGHTING SITE PLAN

FOR REVIEW ONLY

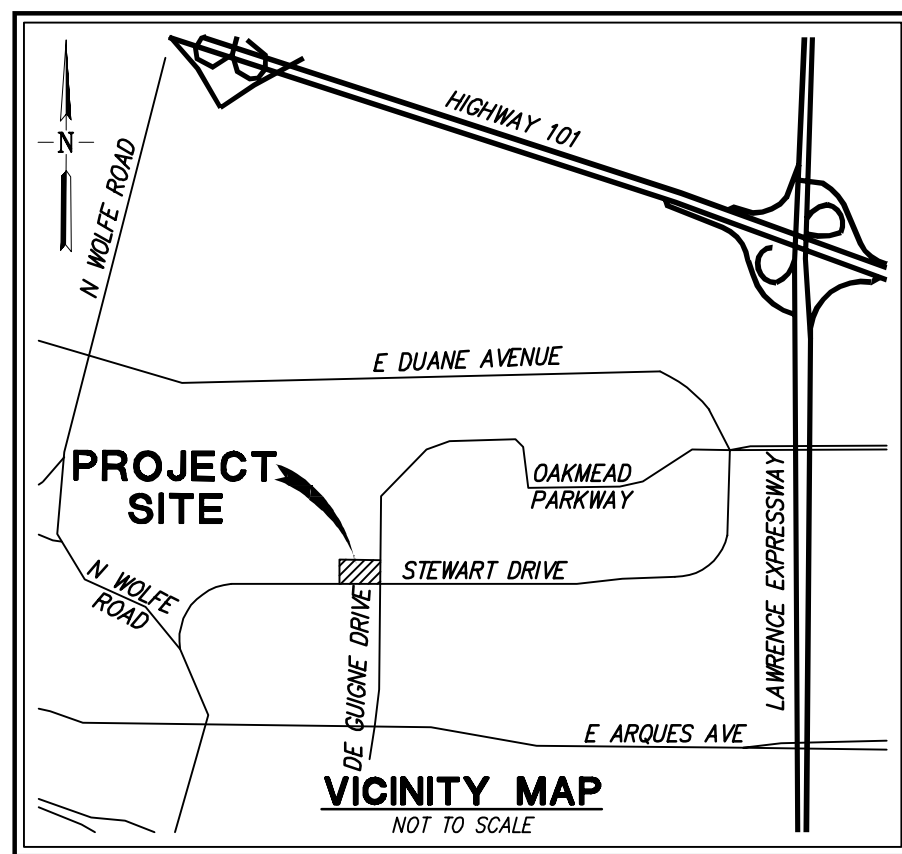


The Arcade
 APN: 205-21-010 Santa Clara County
 845 Stewart Dr.
 Sunnyvale, CA



November 11, 2025
 September 5, 2025
 July 25, 2025
 June 6, 2025

SL3
 FDS#24018



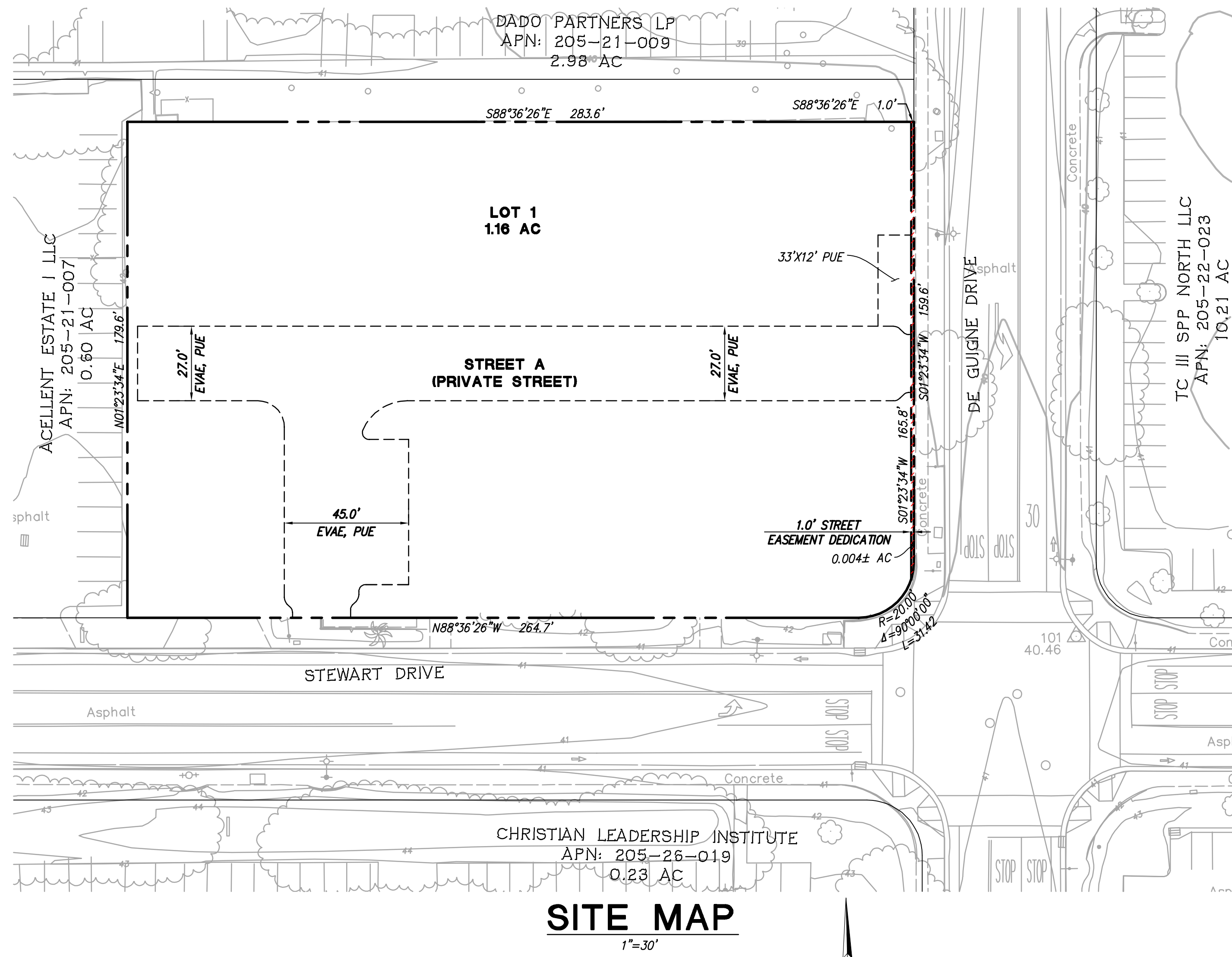
VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES **THE ARCADE** 845 STEWART DRIVE CITY OF SUNNYVALE, SANTA CLARA COUNTY, CALIFORNIA FOR: CITY VENTURES

1. OWNER: BAYPART THREE, LP
JENAB FAMILY VENTURES LLC
845 STEWART DRIVE, SUNNYVALE, CA 94085
2. APPLICANT: CITY VENTURES
444 SPEAR STREET, SUITE 200
SAN FRANCISCO, CA 94105
(949) 358-0751
CONTACT: JULIA KOPPMAN NORTON
3. CIVIL ENGINEER: RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94583
(925) 227-9100
CONTACT: DAVID TERHUNE
4. ARCHITECT: FOURNIER DESIGN STUDIO
311 MAIN STREET #10-C
SEAL BEACH, CA 90740
(562) 719-4650
CONTACT: ROLAND FOURNIER
5. LANDSCAPE DESIGNER: C2 COLLABORATIVE
100 AVENIDA MIRAMAR
SAN CLEMENTE, CA 92672
(949) 366-6624
CONTACT: CHRIS FORTUNADO
6. JOINT TRENCH: TARRAR UTILITY CONSULTANTS
2000 CROW CANYON PLACE, SUITE 435
SAN RAMON, CA 94583
(925) 240-2595
CONTACT: TAMMY MEDRANO
7. PROPERTY DESCRIPTION: THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SUNNYVALE, IN THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
PARCEL B, AS SHOWN ON A PARCEL MAP RECORDED FEBRUARY 10, 1978 IN BOOK 412 OF MAPS, PAGE 42 OF SANTA CLARA COUNTY.
8. PROPOSED LAND USE: RESIDENTIAL (MEDIUM DENSITY)
9. EXISTING GENERAL PLAN DESIGNATION: RESIDENTIAL (MEDIUM DENSITY)
10. EXISTING ZONING: R3: MEDIUM DENSITY RESIDENTIAL, MS: INDUSTRIAL AND SERVICE, ITR: INDUSTRIAL TO RESIDENTIAL, PD: PLANNED DEVELOPMENT
11. PROPOSED ZONING: R3: MEDIUM DENSITY RESIDENTIAL
12. EXISTING SPECIFIC PLAN: EAST SUNNYVALE SENSE OF PLACE PLAN
13. ASSESSOR PARCEL NUMBER: 205-21-010
14. GROSS SITE AREA: 1.17± ACRES
15. NET SITE AREA: 1.16 ACRES
16. EXISTING STRUCTURE AREA: 16.815± SF
17. NUMBER OF PROPOSED LOTS: 1
18. NUMBER OF PROPOSED BUILDINGS: 4
19. NUMBER OF PROPOSED UNITS: 28
20. PROPOSED DENSITY: 24.2 DU/AC
21. UTILITIES:
WATER: CITY OF SUNNYVALE
SANITARY SEWER: CITY OF SUNNYVALE
STORM DRAIN: CITY OF SUNNYVALE
FIRE: CITY OF SUNNYVALE
ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TV: COMCAST
20. STREETS & LIGHTING: ALL PROPOSED STREETS AND LIGHTING WITHIN THE PROJECT SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED
21. TRASH: INDIVIDUAL UNIT TRASH CAN PICKUP
22. PARKING: SEE SHEET C-3.0
23. EASEMENTS: PRIVATE STREETS SHALL HAVE A PUE AND EVAE
24. COMMON AREAS: COMMON AREAS SHALL BE MAINTAINED BY THE FUTURE HOMEOWNERS ASSOCIATION. NO PUBLIC AREAS ARE PROPOSED
25. SETBACK REQUIREMENTS: SEE SHEET C-3.0
26. BOUNDARY AS SHOWN IS COMPLIED FROM RECORD INFORMATION.
27. ALL OF THE PROPERTY LIES WITHIN FLOOD ZONE X AREA WITH REDUCED FLOOD RISK DUE TO LEVEE, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 06085C0045H, MAP DATED MAY 18, 2009.
28. TOPOGRAPHY SHOWN IS BASED ON AN AERIAL TOPOGRAPHIC MAP PREPARED IN JANUARY 2025, WITH HALF CONTOUR ACCURACY.
29. IT IS THE INTENT OF THE DEVELOPER TO FILE CONDOMINIUM PLANS AFTER THE FINAL MAP APPROVAL.

BENCHMARK
CITY OF SUNNYVALE BENCHMARK NO. 53, BEING A BRASS DISC IN THE TOP OF CURB NEXT TO A CATCH BASIN AT THE SOUTHWEST CURB RETURN AT THE INTERSECTION OF OAKMEAD PARKWAY & LAKESIDE DRIVE, HAVING AN ELEVATION OF 29.42 FEET.

BASIS OF BEARING
THE LINE TAKEN AS NORTH 88°36'26" WEST, BETWEEN TWO FOUND MONUMENTS AT THE CENTERLINE OF STEWART DRIVE AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 245 OF MAPS AT PAGE 50, OFFICIAL RECORDS OF SANTA CLARA COUNTY, IS BASED ON GPS OBSERVATIONS ON THE SMARTNET OF NORTH AMERICA NETWORK.

LOT AREAS	
LOT 1	50,862 SF
STREET EASEMENT DEDICATION	164 SF



SITE MAP
1"=30'

PLANS PREPARED UNDER THE DIRECTION OF:
David Terhune
DAVID TERHUNE, RCE 82632
RUGGERI-JENSEN-AZAR
09-05-2025
DATE



SHEET INDEX

SHEET NO.	DESCRIPTION
C-1.0	VESTING TENTATIVE MAP
C-2.0	EXISTING CONDITIONS AND SURVEY PLAN
C-3.0	PRELIMINARY SITE PLAN
C-4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C-4.1	PRELIMINARY GRADING SECTIONS
C-4.2	ACCESSIBILITY PLAN
C-4.3	CIRCULATION PLAN
C-5.0	PRELIMINARY UTILITY PLAN
C-6.0	PRELIMINARY STORMWATER CONTROL PLAN
C-7.0	PRELIMINARY STORMWATER TREATMENT DETAILS
C-8.0	FIRE ACCESS PLAN
C-9.0	TRASH MANAGEMENT PLAN

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VESTING
TENTATIVE MAP

C-1.0

JOB #241075
DECEMBER 23, 2025

LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	
---	LOT LINE	
---	RIGHT OF WAY	
---	CENTER LINE	
---	RETAINING WALL	
---	EASEMENT LINE	
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 12" SS
---	POTABLE WATER	EX 12" W
---	CURB & GUTTER	EX FC
---	SIDEWALK	
---	STORM WATER INLET	
---	DROP INLET	
---	AREA DRAIN	
---	BUBBLE UP	
---	MANHOLE	
---	SANITARY SEWER CLEAN OUT	
---	SANITARY SEWER LATERAL	
---	FIRE HYDRANT	
---	BLOW OFF	
---	WATER SERVICE WITH METER BOX	
---	BACKFLOW DEVICE	
---	WATER VALVE	
---	FIRE DEPARTMENT CONNECTION	
---	SINGLE ARM STREET LIGHT	
---	MONUMENT	
---	FENCE	
---	CURB RAMP	
---	CONTOUR ELEVATIONS	
---	SPOT ELEVATION	
---	BIO-RETENTION AREA IN LANDSCAPE AREA	

ABBREVIATIONS

AB	AGGREGATE BASE	WS	WATER SERVICE
AC	ASPHALT CONCRETE		
BLDG	BUILDING		
BNDY	BOUNDARY		
BOT	BOTTOM		
BSW	BACK OF SIDEWALK		
CL	CENTER LINE		
DI	DROP INLET		
DMA	DRAINAGE MANAGEMENT AREA		
DU	DWELLING UNITS		
ESMT	EASEMENT		
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT		
EX	EXISTING		
FC	FACE OF CURB		
FDC	FIRE DEPARTMENT CONNECTION		
FF	FINISHED FLOOR		
FG	FINISHED GRADE		
FH	FIRE HYDRANT		
FL	FLOW LINE		
FM	FORCE MAIN		
GB	GRADE BREAK		
HP	HIGH POINT		
INV	INVERT ELEVATION		
LAT	LATERAL		
LP	LOW POINT		
LS	LANDSCAPE		
JT	JOINT TRENCH		
MH	MANHOLE		
PAV	PAVEMENT		
PL	PROPERTY LINE		
PUE	PUBLIC UTILITY EASEMENT		
RET	CURB RETURN		
RW	RIGHT OF WAY		
SD	STORM DRAIN		
SDFM	STORM DRAIN FORCE MAIN		
SDMH	STORM DRAIN MANHOLE		
SL	STREET LIGHT		
SS	SANITARY SEWER		
SSCO	SANITARY SEWER CLEANOUT		
SSMH	SANITARY SEWER MANHOLE		
STD	STANDARD		
SWK	SIDEWALK		
SW	STORM WATER INLET		
TC	TOP OF CURB		
TG	TOP OF GRATE		
TYP	TYPICAL		
W	WATER LINE		
WM	WATER METER		

DEMOLITION LEGEND

	EXISTING BUILDING TO BE REMOVED
	EXISTING PAVEMENT, CURB & GUTTER, AND SIDEWALK TO BE REMOVED
	EXISTING UTILITY TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO RETAIN
	TREE NUMBER SEE TABLE FOR SIZE AND TREE SPECIES

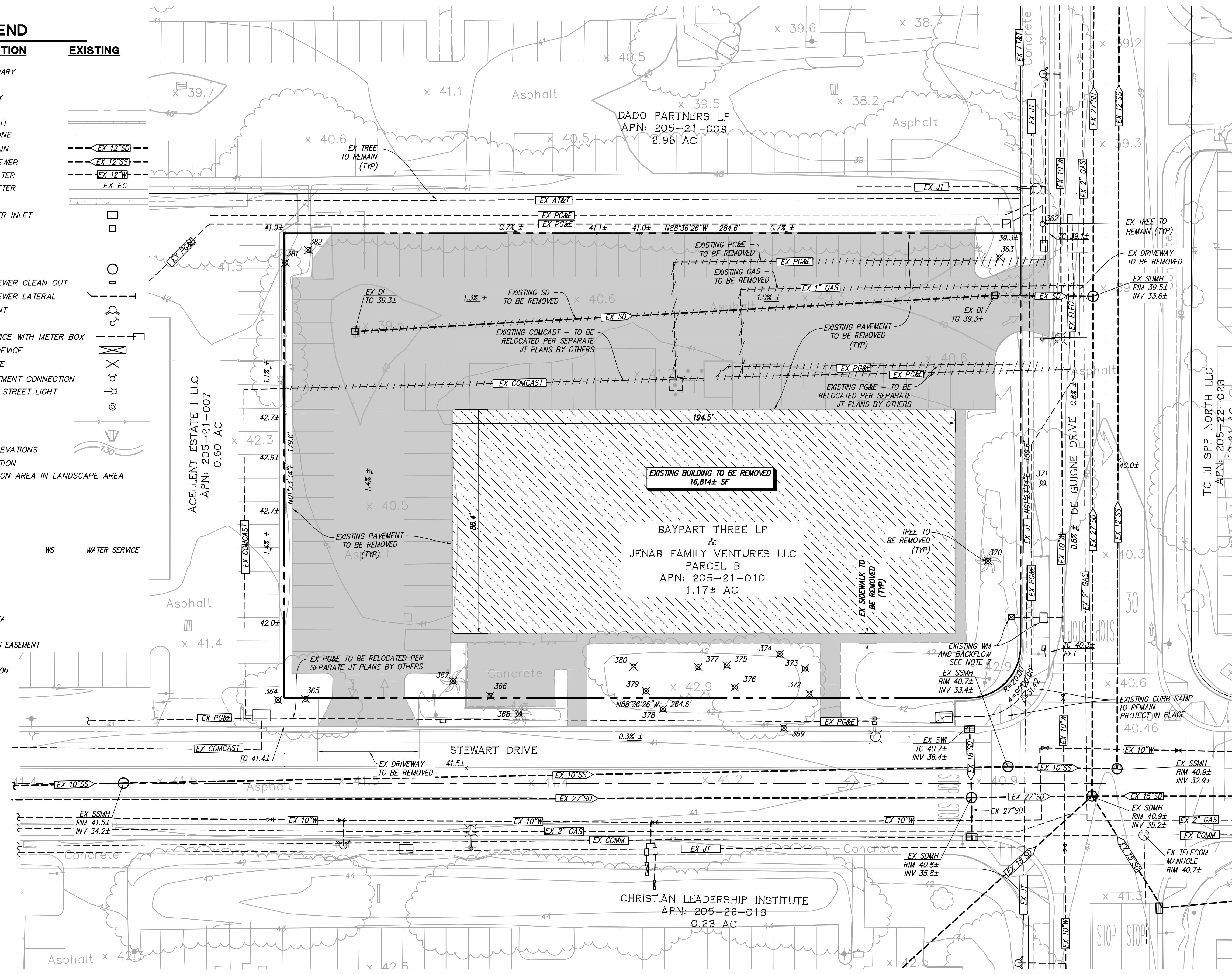
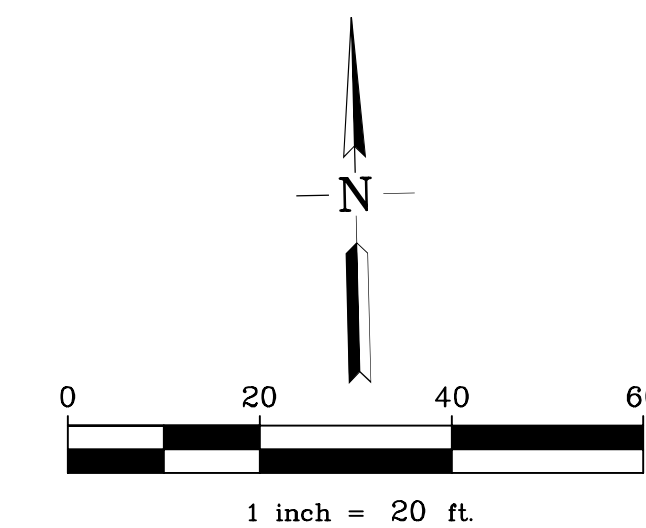
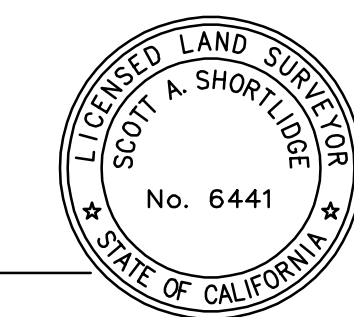
TREE NUMBER	SPECIES	TRUNK DIAMETER (IN.)	REMOVE OR REMAIN
362	COAST LIVE OAK	6.5	REMAIN
363	HOLLYWOOD JUNIPER	30.9	REMOVE
364	COAST REDWOOD	27.4	REMOVE
365	HOLLYWOOD JUNIPER	43	REMOVE
366	MEXICAN FAN PALM	24.8	REMOVE
367	MEXICAN FAN PALM	28	REMOVE
368	QUEEN PALM	13.1	REMOVE
369	MEXICAN FAN PALM	22.9	REMOVE
370	MEXICAN FAN PALM	23.9	REMOVE
371	HOLLY OAK	19.6	REMOVE
372	EUROPEAN WHITE BIRCH	8.6	REMOVE
373	EUROPEAN WHITE BIRCH	10.8	REMOVE
374	EUROPEAN WHITE BIRCH	7.3	REMOVE
375	EUROPEAN WHITE BIRCH	9.2	REMOVE
376	EUROPEAN WHITE BIRCH	10.8	REMOVE
377	EUROPEAN WHITE BIRCH	8	REMOVE
378	EUROPEAN WHITE BIRCH	11.5	REMOVE
379	EUROPEAN WHITE BIRCH	3.5	REMOVE
380	EUROPEAN WHITE BIRCH	7.2	REMOVE
381	HOLLY OAK	19.4	REMOVE
382	HOLLY OAK	8	REMOVE

NOTES:

1. THERE ARE NO EXISTING WELLS OR WATER EASEMENT OF RECORD.
2. THERE ARE NO EXISTING SEPTIC TANKS OF RECORD.
3. THERE ARE NO EXISTING EASEMENTS OF RECORD.
4. HAND DIG FOR EXCAVATION NEAR EXISTING STREET TREES.
5. LOCATION, SIZE, AND MATERIAL OF EXISTING BUILDING SANITARY SEWER LATERAL IS UNKNOWN. EXISTING BUILDING SANITARY SEWER LATERAL WILL BE REMOVED WITH DEMOLITION ACTIVITIES. THE TYPE OF EXISTING UTILITY PIPE MATERIAL IS NOT AVAILABLE PER RECORD.
6. EXISTING DOMESTIC WATER METER AND BACKFLOW TO BE REMOVED AND REPLACED.
7. EXISTING WATER LATERALS AND BACKFLOW PREVENTERS SHALL BE ABANDONED IF THEY DO NOT MEET CURRENT CITY STANDARDS.
8. EXISTING SEWER LATERALS SHALL BE ABANDONED IF THEY DO NOT MEET CITY STANDARDS.

PREPARED UNDER MY SUPERVISION

SCOTT A. SHORTLIDGE
PROFESSIONAL LAND SURVEYOR NO. 6441
SSHORTLIDGE@RA-GPS.COM



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EXISTING CONDITIONS AND SURVEY PLAN

C-2.0
JOB #241075
DECEMBER 23, 2025

PROJECT INFORMATION	
ASSESSOR PARCEL NUMBER	205-21-010
GROSS SITE AREA	1.17± AC
TOTAL RW DEDICATION	164 SF
NET SITE AREA	1.16 AC
PROPOSED LAND USE	RESIDENTIAL (MEDIUM DENSITY)
EXISTING ZONING	R3: MEDIUM DENSITY RESIDENTIAL
PROPOSED ZONING	R3: MEDIUM DENSITY RESIDENTIAL
NUMBER OF LOTS	1
NUMBER OF UNITS	28
CURRENT GENERAL PLAN DESIGNATION	RESIDENTIAL (MEDIUM DENSITY)
CURRENT SPECIFIC PLAN	EAST SUNNYVALE SENSE OF PLACE PLAN

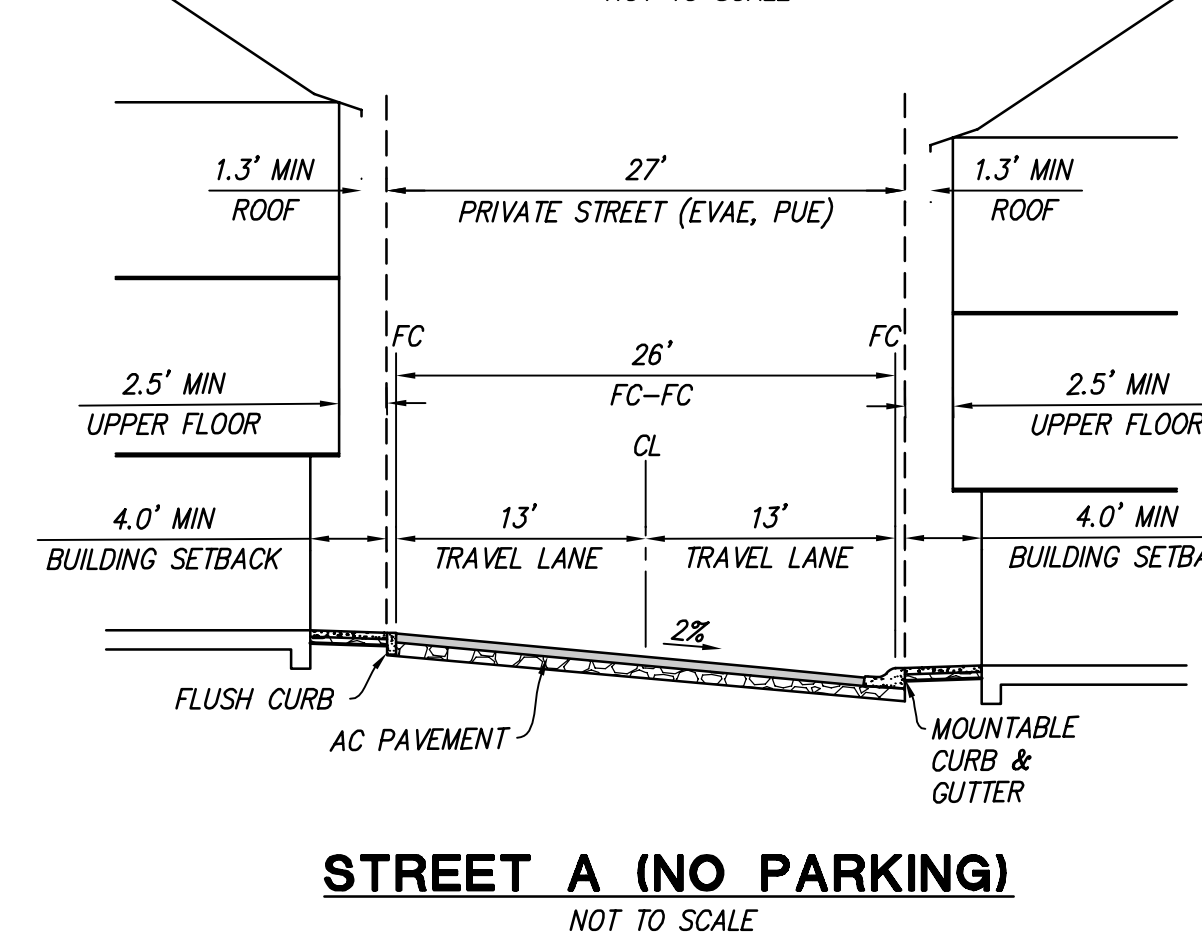
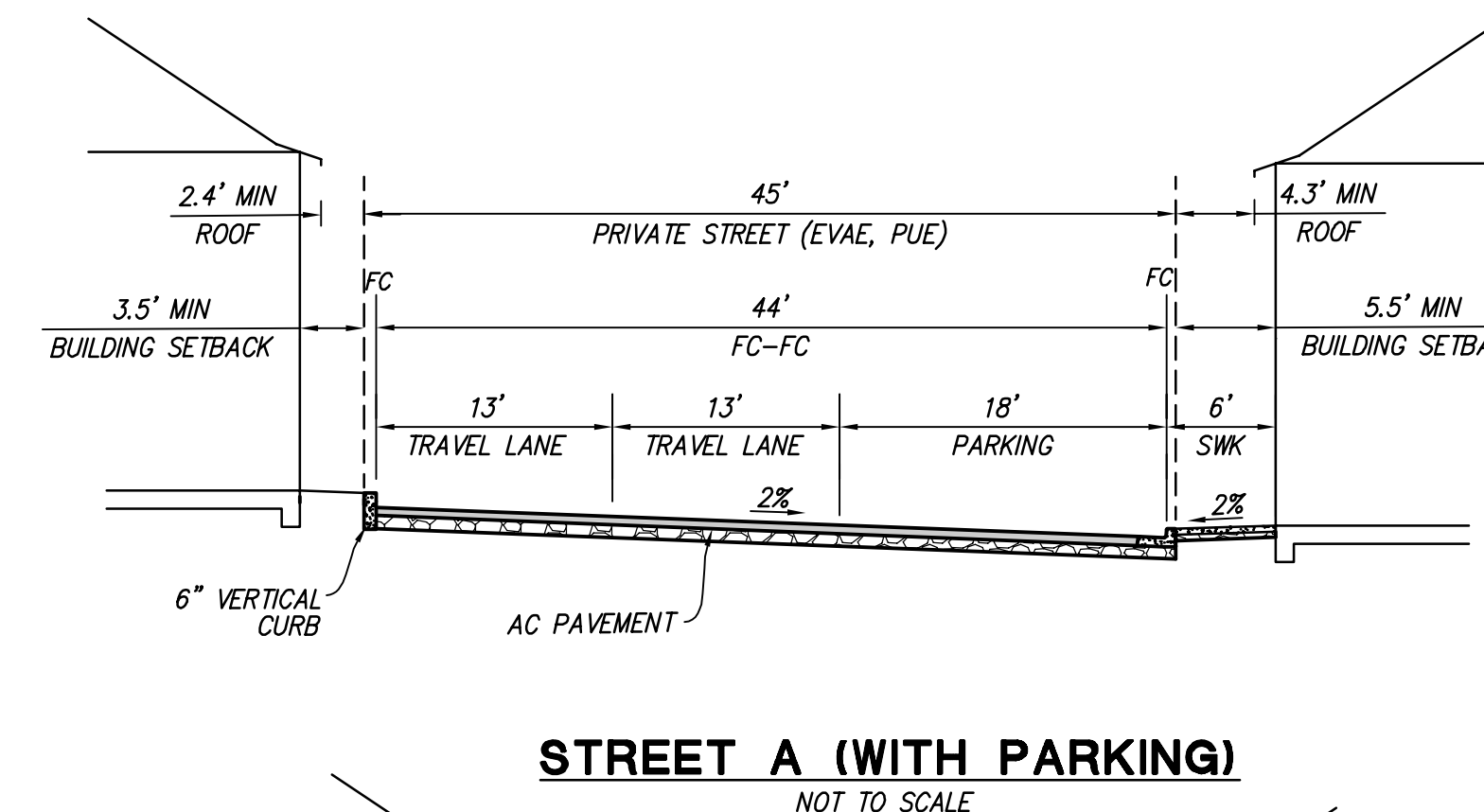
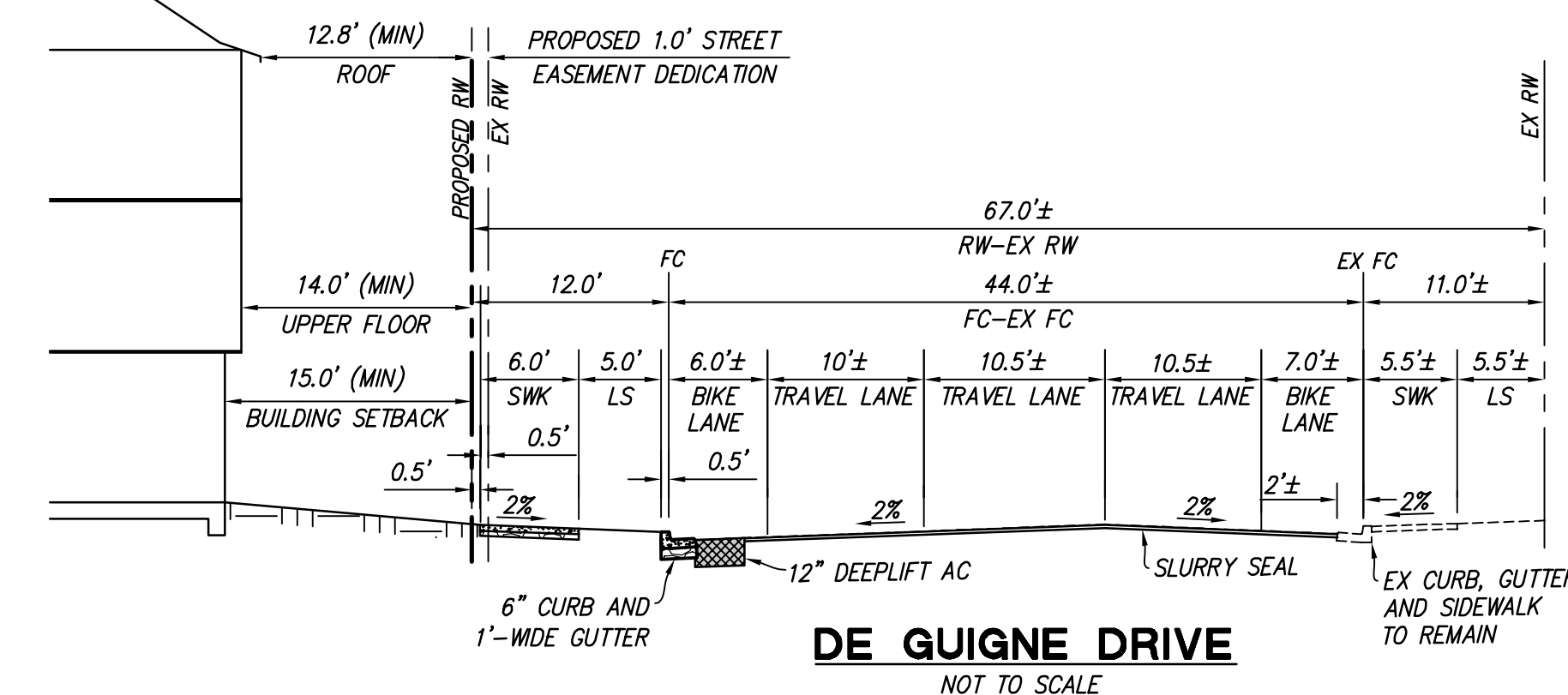
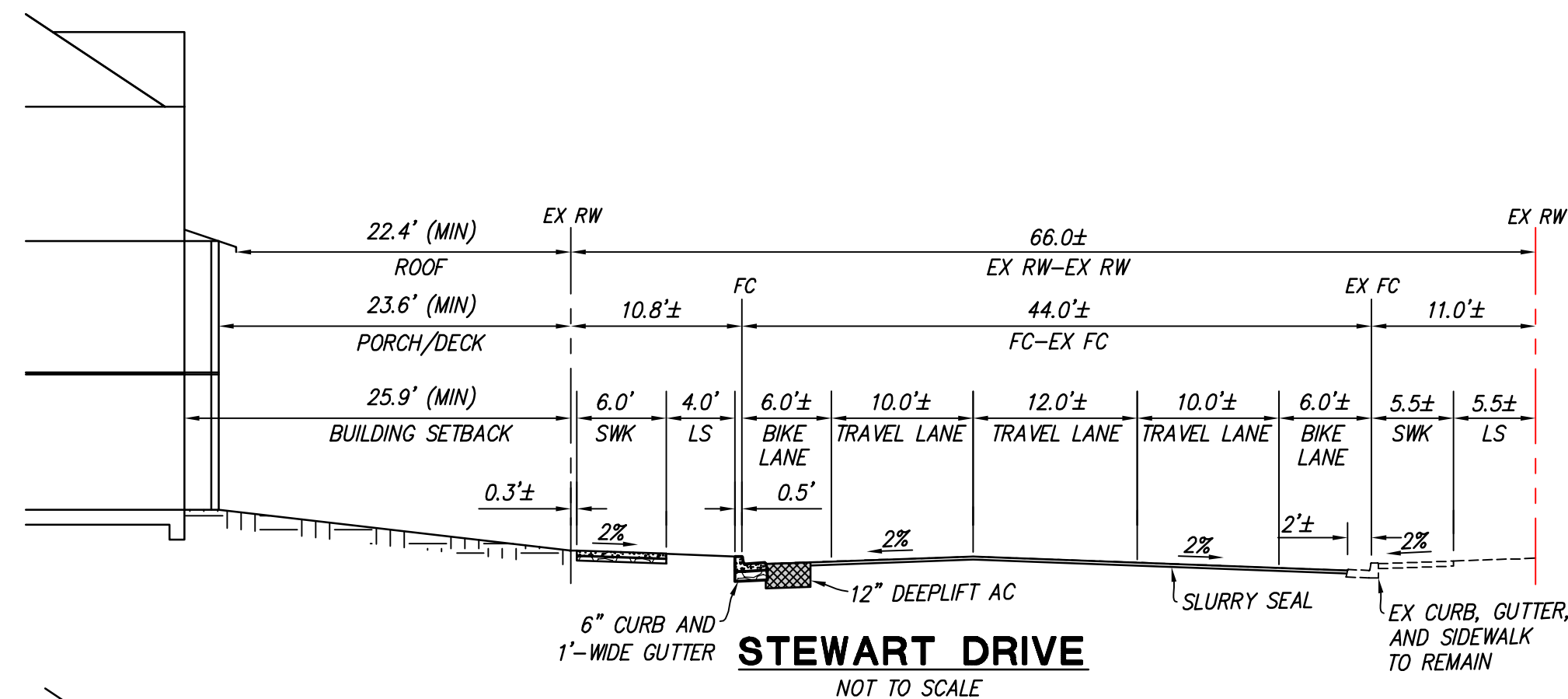
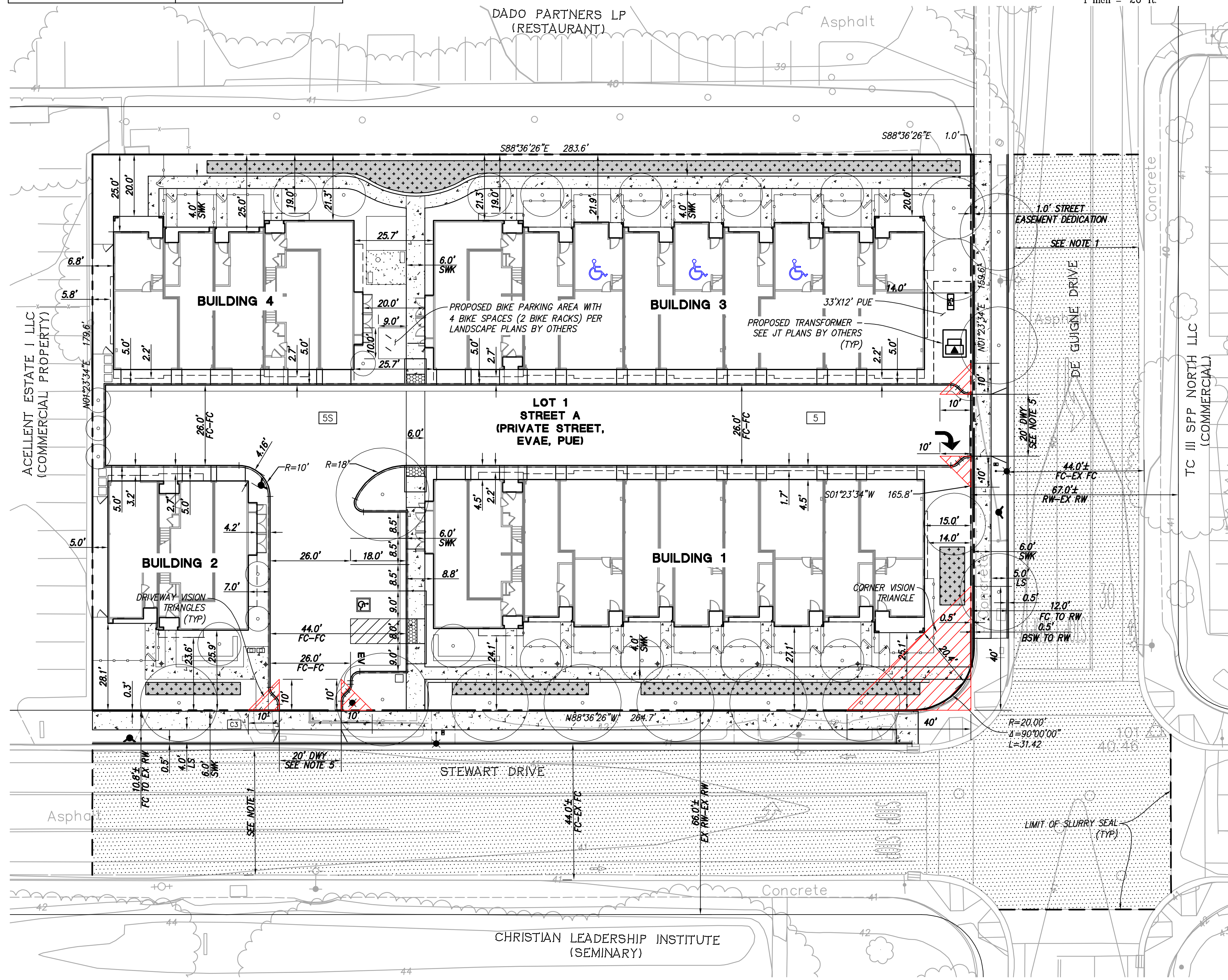
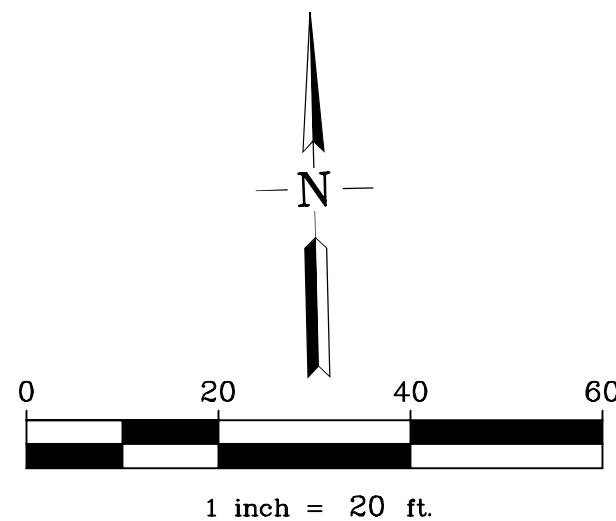
PARKING COUNTS	
GUEST PARKING	
STANDARD STALL	3
ADA (VAN) STALL	1
EV STALL	1
TOTAL	5

LEGEND

- ACCESSIBLE UNIT
- SLURRY SEAL

NOTES:

- FRONTAGE TO BE SLURRY-SEALED AND ALL STRIPING REPLACED IN-KIND.
- THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGES ON STEWART DRIVE AND DE GUIGNE DRIVE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- THERE ARE NO EXISTING ONSITE EASEMENTS OF RECORD.
- PURSUANT TO SUNNYVALE MUNICIPAL CODE SECTION 19.34.060 VISION TRIANGLES, THIS GROUND-LEVEL PATIO AREA WILL BE CONSTRUCTED OF OPEN FENCES AND BE KEPT FREE OF VEGETATION. THE PROJECT CC&RS WILL ADVISE THE FUTURE RESIDENT THAT MAXIMUM VEGETATION HEIGHT IN THE CORNER VISION TRIANGLE IS 3 AND ONE-HALF FEET. CC&RS WILL BE ENFORCED BY THE PROJECT HOMEOWNER'S ASSOCIATION.
- PROPOSED 20' WIDE DRIVEWAY PER CITY STANDARD DRAWING 5C-5.



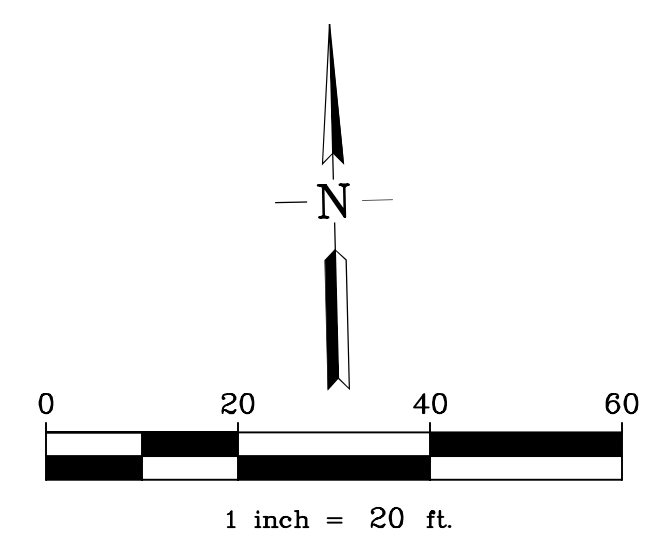
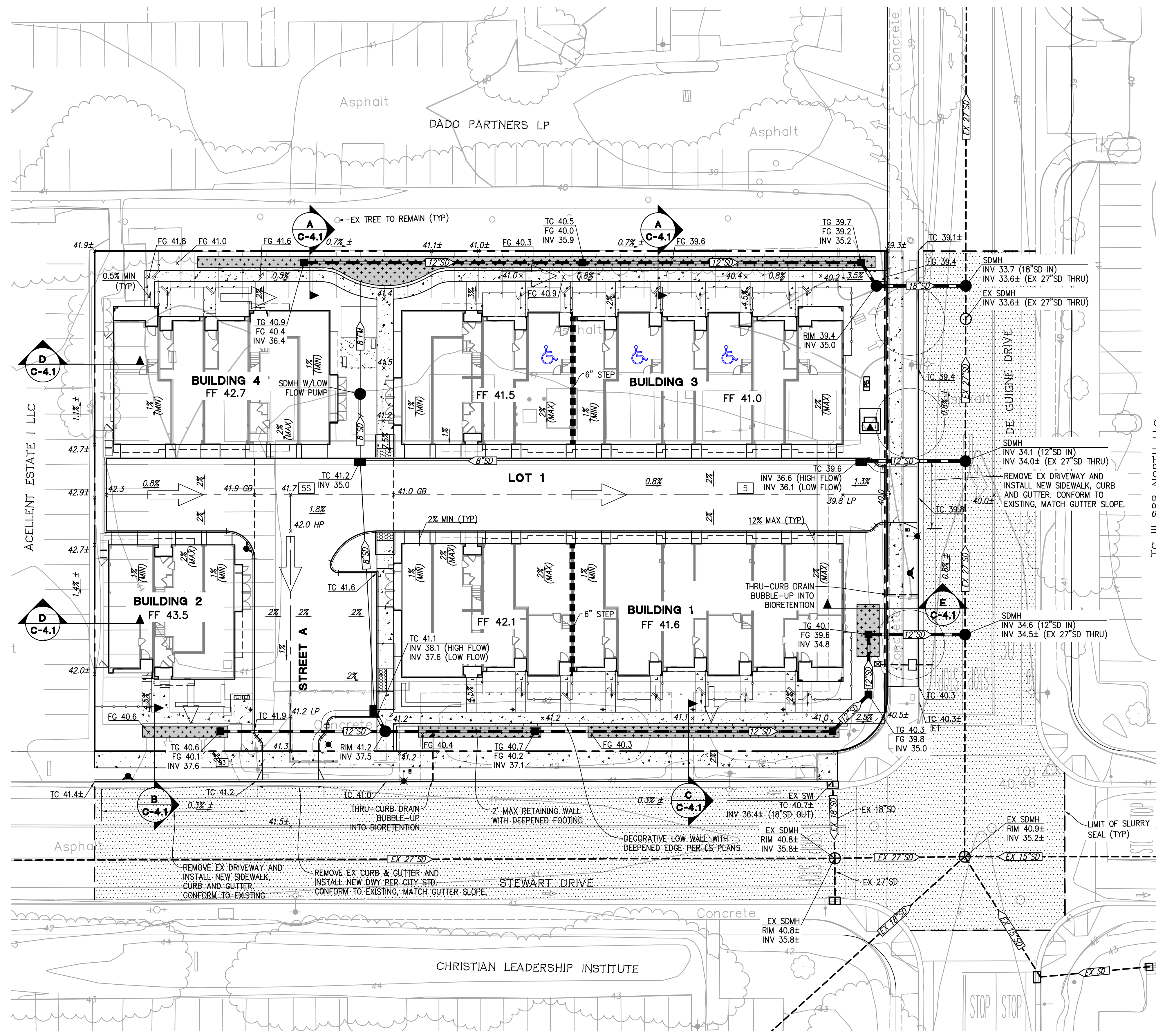
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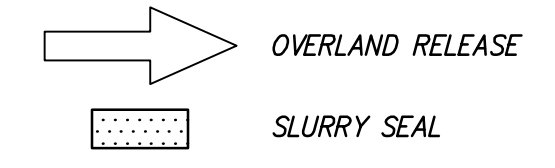
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PRELIMINARY SITE PLAN
C-3.0
JOB #241075
JANUARY 14, 2026



LEGEND



ESTIMATED EARTHWORK QUANTITIES

ITEMS	CUT (C.Y.)	FILL (C.Y.)
DEMOLITION & OFFHAUL	(1,650) ¹	-
ROUGH GRADING	500	1,950
RETAINING WALL SPOILS	50	-
FOUNDATION & PLUMBING SPOILS	700	-
TRENCH SPOILS	950	-
C.3 SPOILS	150	-
TOTAL	2,350	1,950
EXPORT	400	-

- NOTES:**
1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION. THE CONTRACTOR SHALL VERIFY ALL EARTHWORK QUANTITIES BEFORE START OF WORK. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER WITH ANY DISCREPANCIES.
 2. FOUNDATION AND PLUMBING SPOILS ARE ASSUMED AT 25 CY/UNIT.
 3. ASSUMED ALL EXISTING HARDSCAPE ON-SITE (ROADS, BUILDINGS, FOUNDATIONS, SIDEWALKS, ETC.) TO BE DEMOLISHED AND OFF-HAULED.

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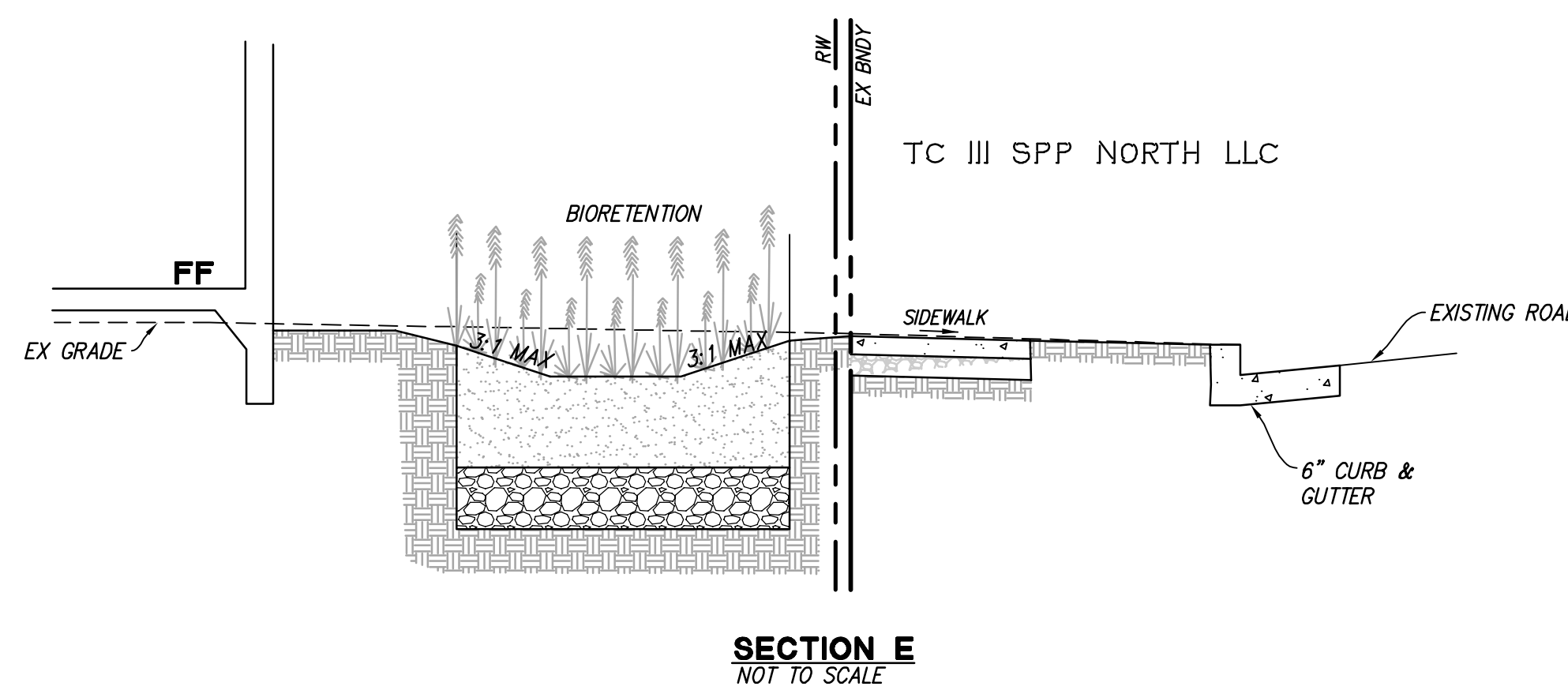
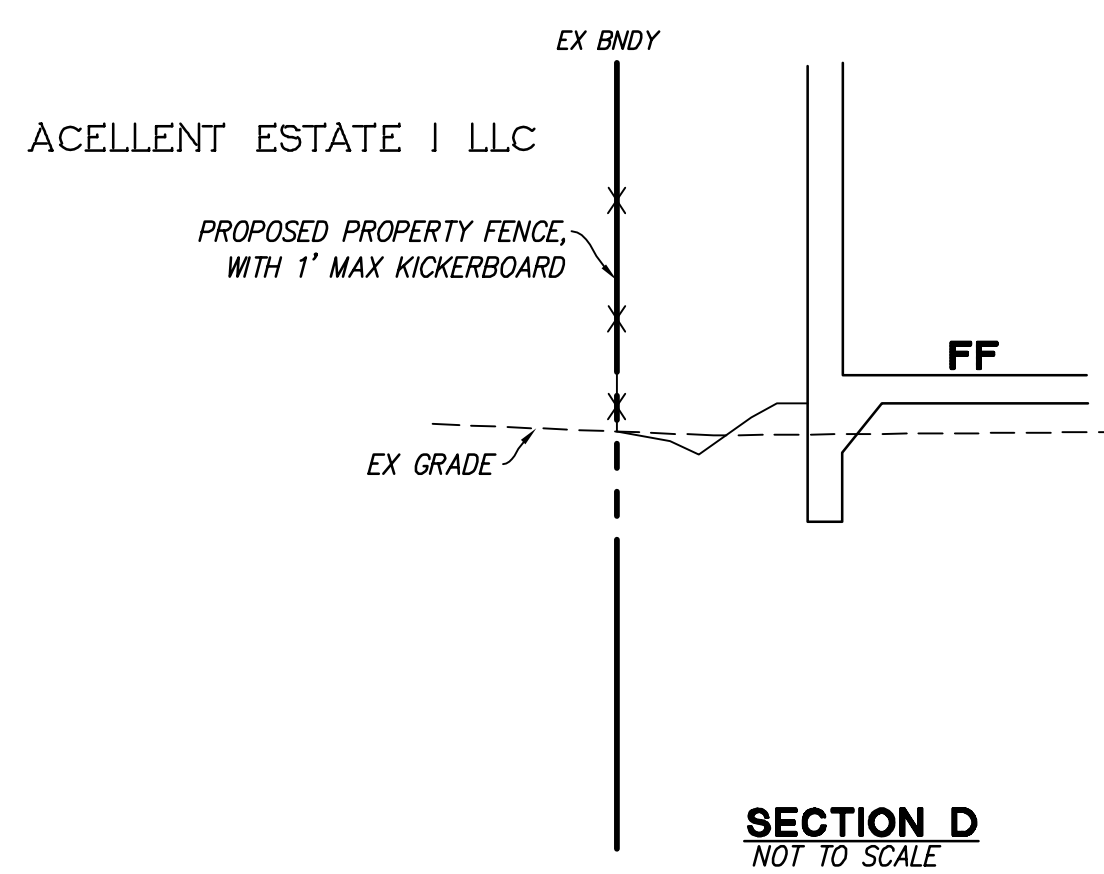
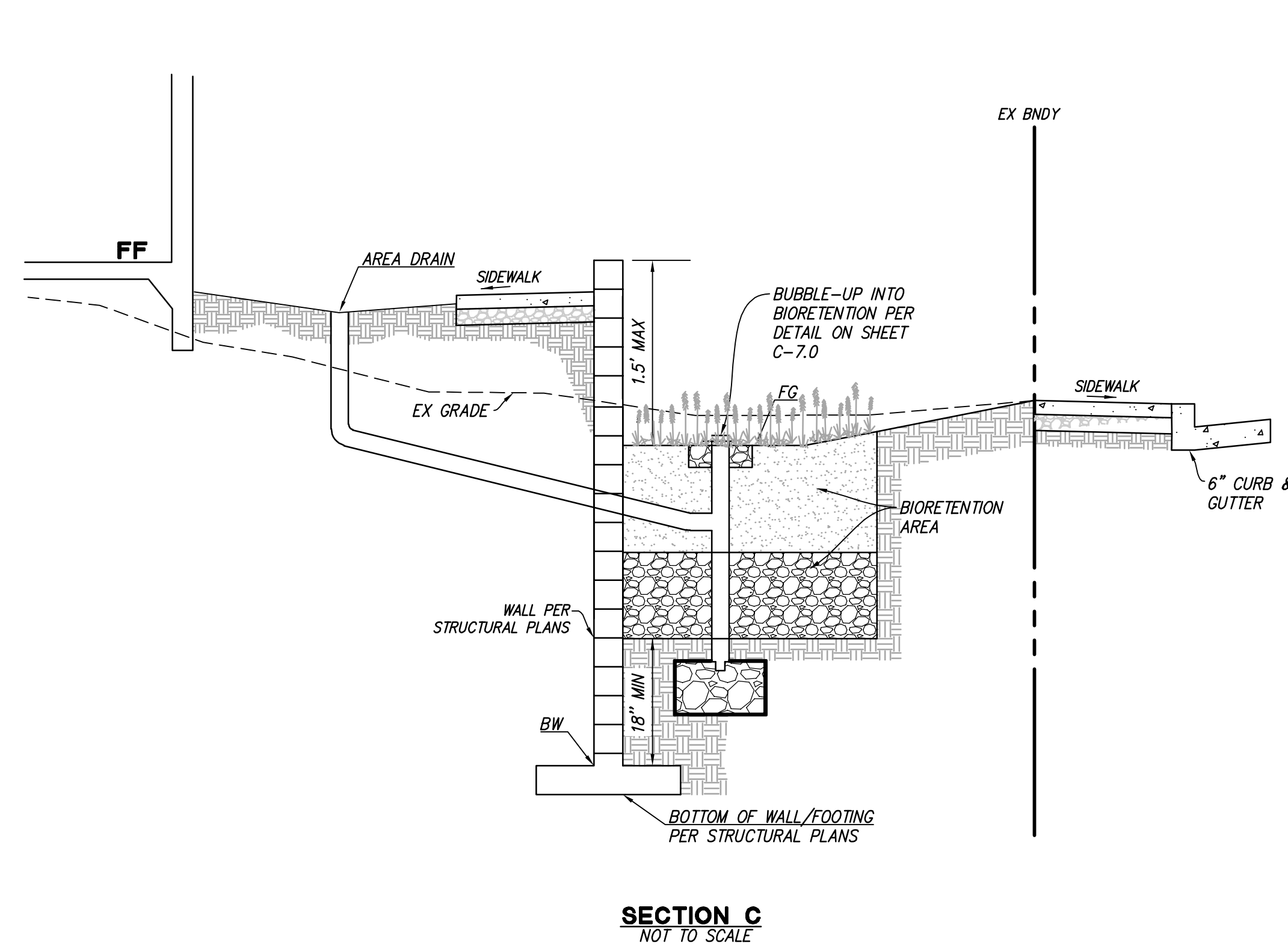
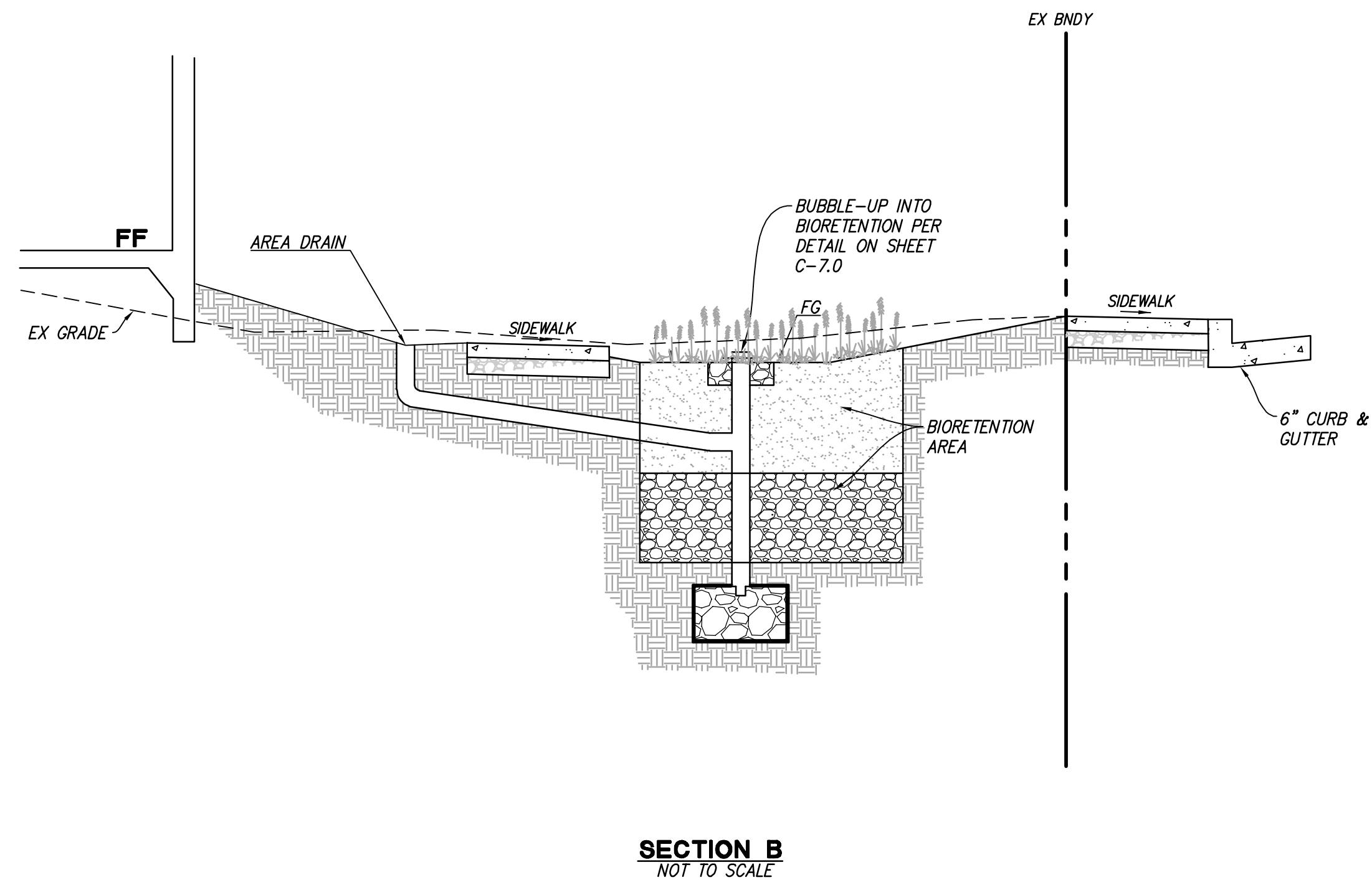
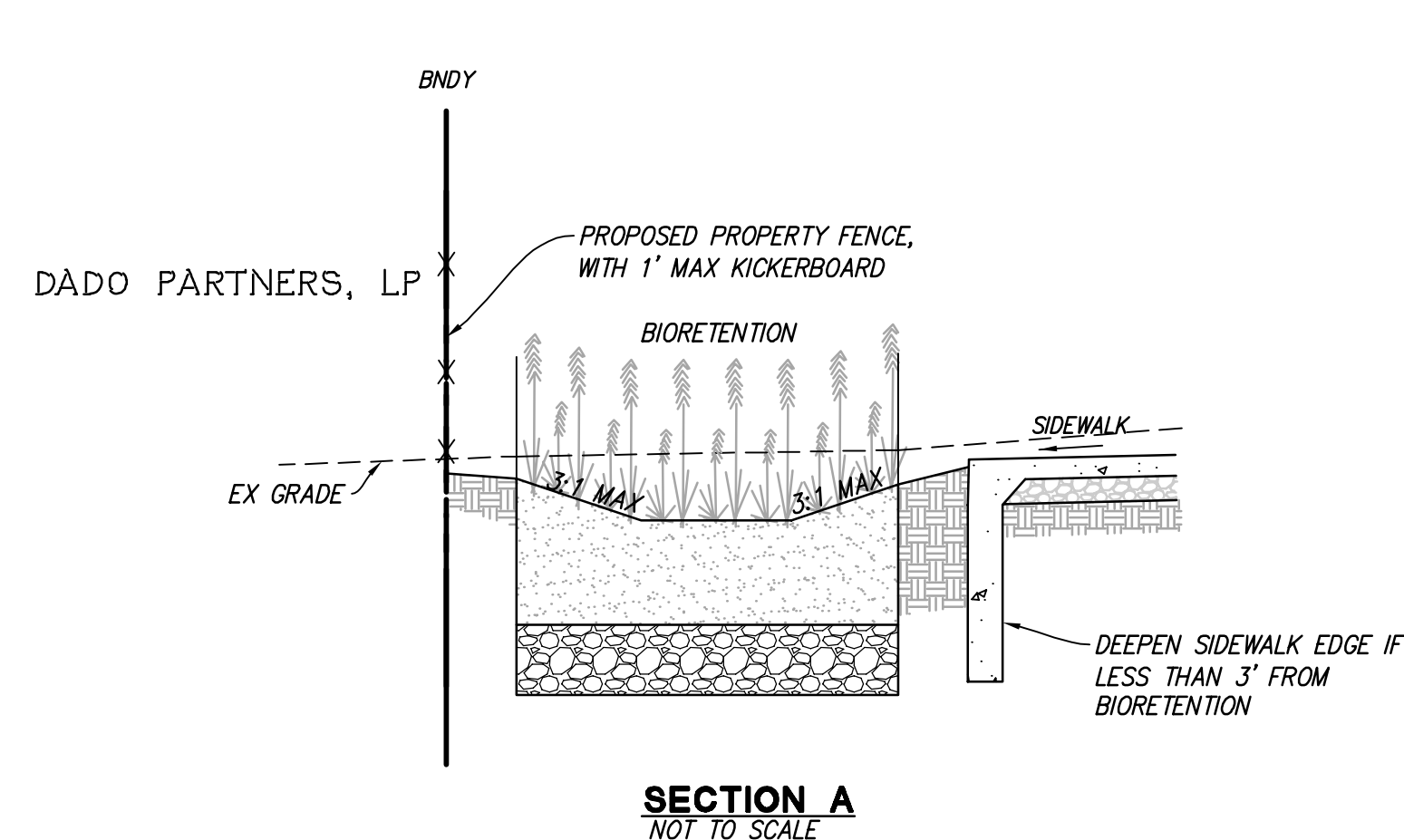
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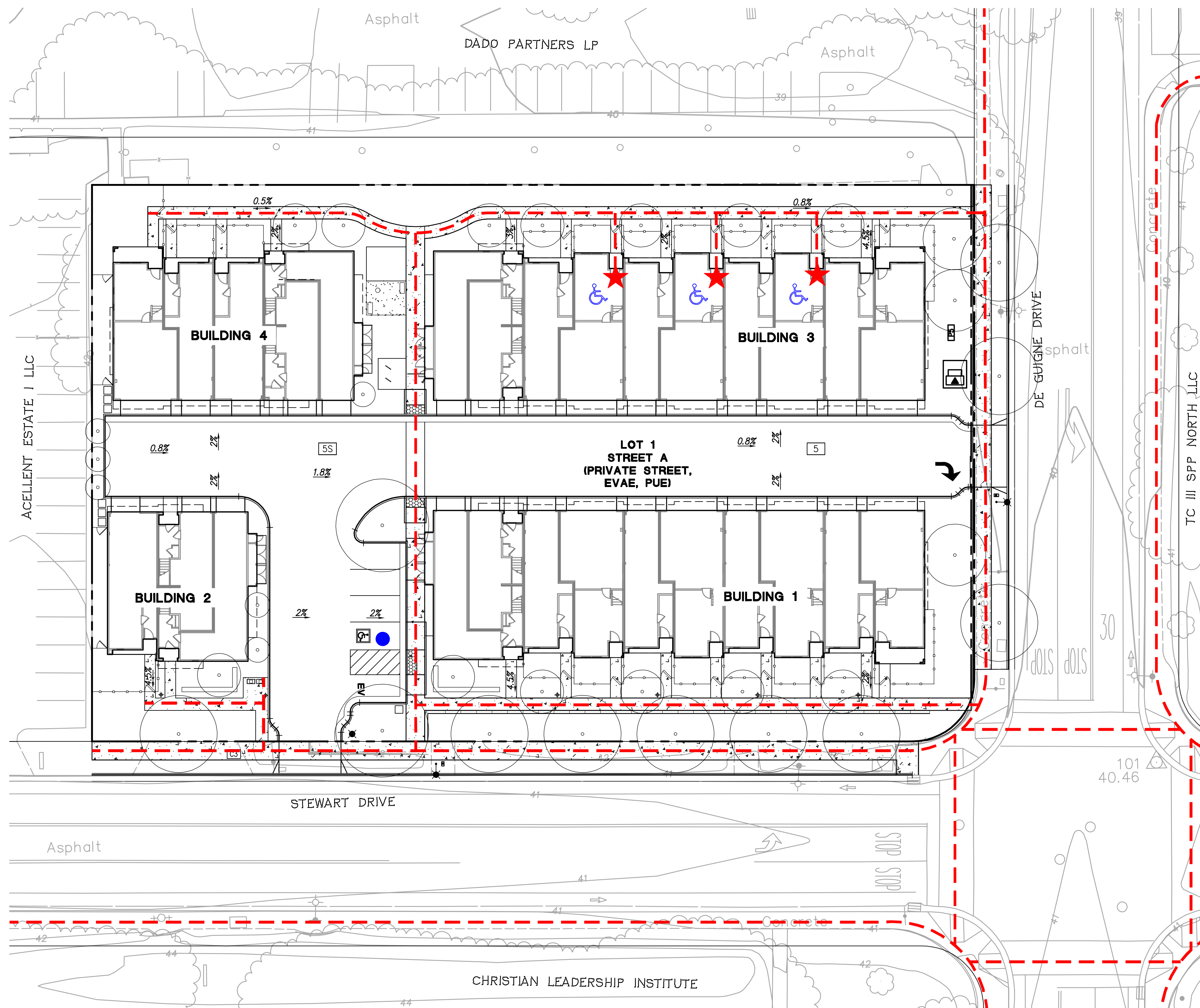
PRELIMINARY GRADING & DRAINAGE PLAN

FDS
FOURNIER DESIGN STUDIO
Planning | Design | Collaboration
Robert@FournierDesignStudio.com (542) 719-4450

C-4.0
JOB #241075
DECEMBER 23, 2025



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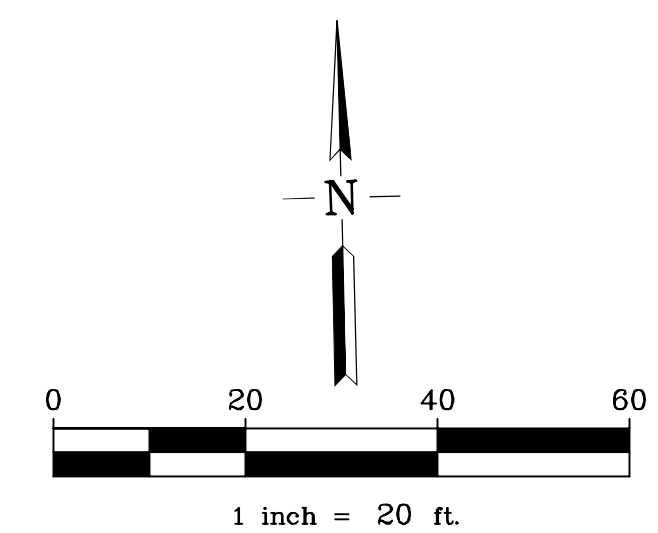


LEGEND

- - - ACCESSIBILITY PATH
- ★ ACCESSIBLE BUILDING ENTRANCE
- ACCESSIBLE PARKING SPACE

NOTES:

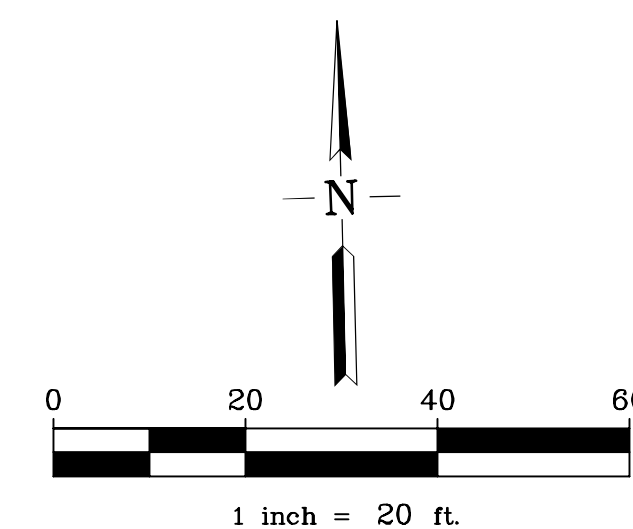
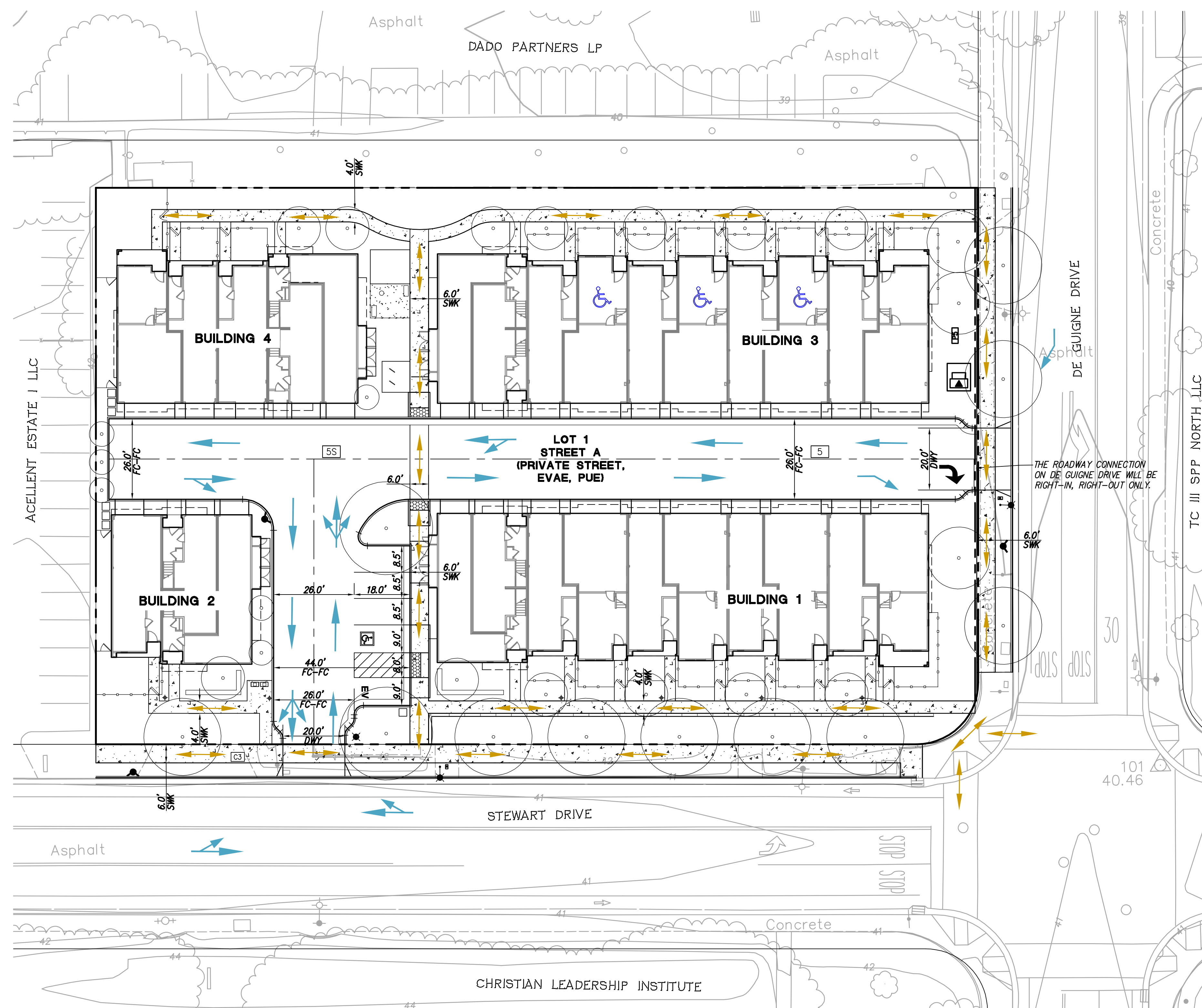
1. ALL CROSS SLOPES ON ADA PATH SHALL BE 2% MAX.



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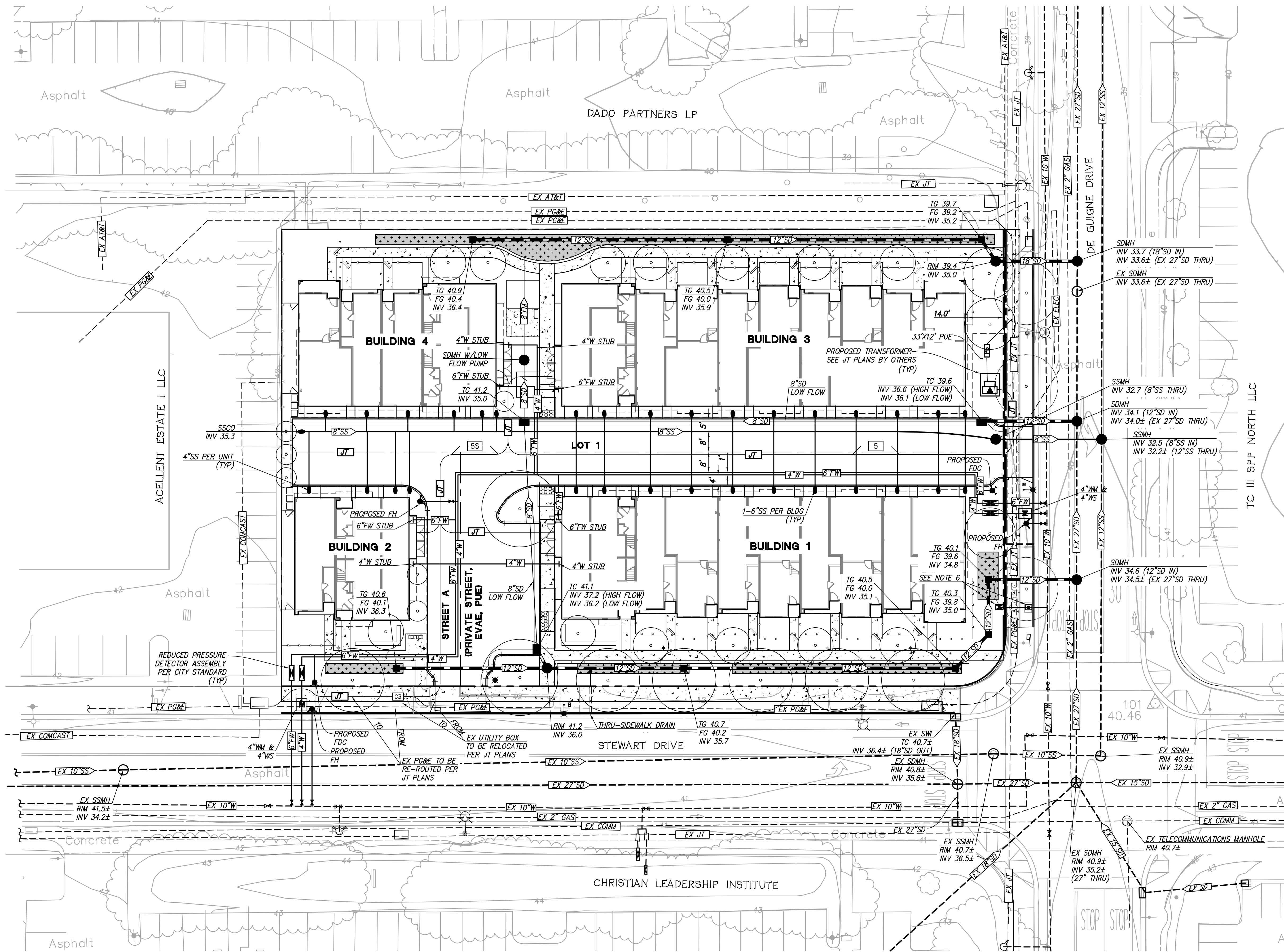
LEGEND

-  VEHICULAR PATH
-  PEDESTRIAN PATH



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- NOTES:**
1. ALL ONSITE UTILITIES TO BE PRIVATE.
 2. ALL EXISTING ONSITE UTILITIES TO BE REMOVED NOT SHOWN HEREIN.
 3. ON-LOT AREA DRAINS NOT SHOWN FOR PLAN CLARITY.
 4. MINIMUM SLOPE FOR 8" SANITARY SEWER SHALL BE S=0.0050.
 5. MINIMUM SLOPE FOR STORM DRAIN SHALL BE S=0.0050.
 6. REMOVE EXISTING DOMESTIC WATER METER AND BACKFLOW AND REPLACE WITH NEW IRRIGATION WATER METER AND BACKFLOW.
 7. ALL PUBLIC STORM DRAIN PIPES WILL BE RCP CLASS IV.
 8. ALL PRIVATE STORM DRAIN PIPES WILL BE HDPE.
 9. ALL SANITARY SEWER PIPES WILL BE SDR-26 PVC.
 10. ALL WATER PIPES WILL BE AWWA C900/C905 DR14 PVC.
 11. PROPOSED FIRE MAIN SHALL HAVE BACKFLOW ASSEMBLY PER CITY STANDARD DETAIL 21B. THE FDC SHALL POINT TOWARDS THE PUBLIC STREET.
 12. PROPOSED ONSITE HYDRANTS SHALL NOT BE PRESSURIZED BY FIRE DEPARTMENT CONNECTION.
 13. PROPOSED ONSITE HYDRANTS SHALL HAVE A PIV AND CHECK VALVE ON HYDRANT SUPPLY LINE.
 14. SEE LS PLANS FOR PROPOSED SCREENING AROUND PROPOSED TRANSFORMER.



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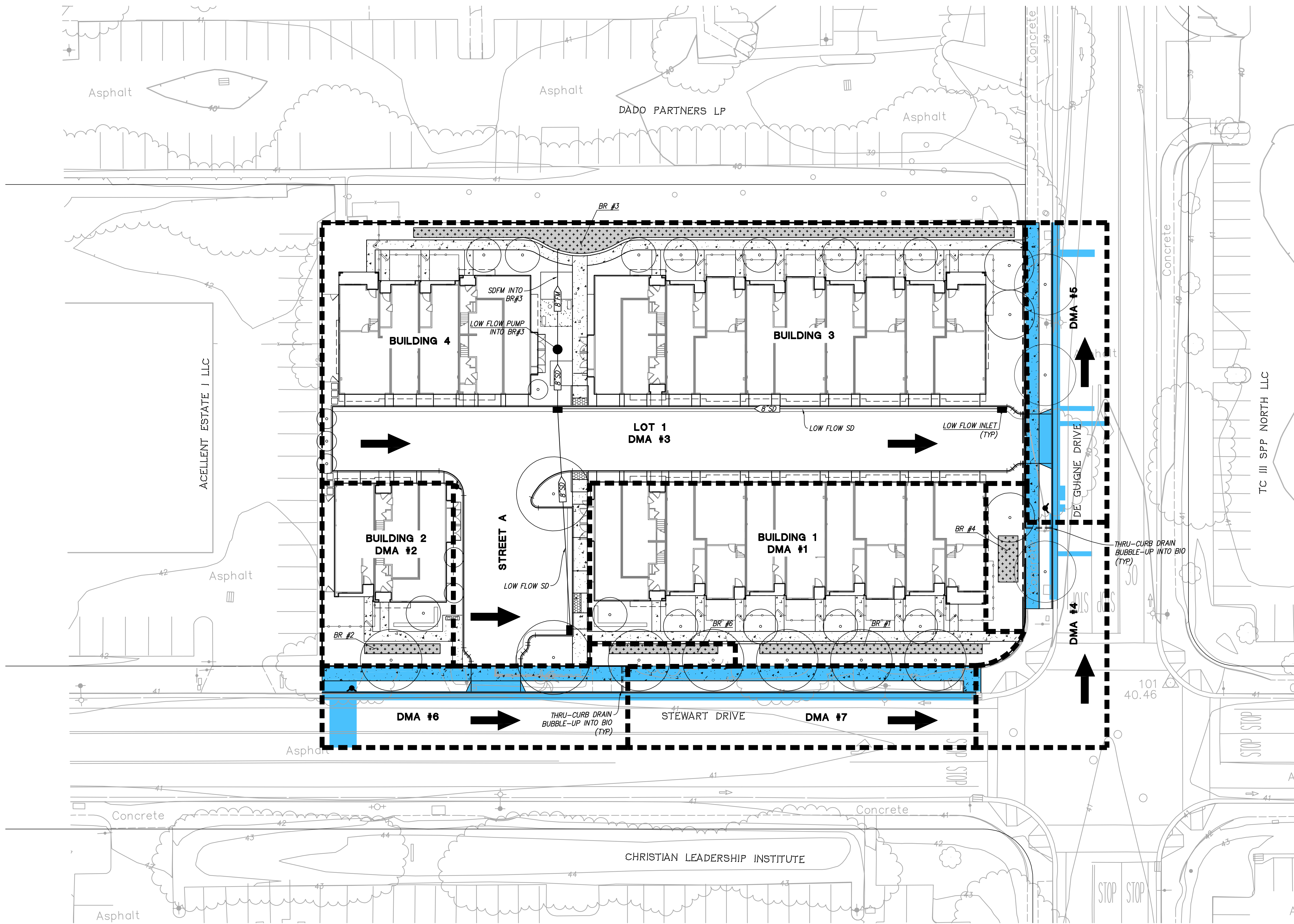


PRELIMINARY
UTILITY PLAN

C-5.0

JOB #241075
DECEMBER 23, 2025

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LEGEND

- DMA BOUNDARY
- BIO-RETENTION AREA
- NEW/DISTURBED OFFSITE AREA
- DIRECTION OF FLOW

ABBREVIATIONS

- BR BIO-RETENTION AREA
- DMA DRAINAGE MANAGEMENT AREA

NOTES:
1. DMA #6 AND DMA #4 TREATMENT ARE OVERSIZED TO ACCOUNT AS CREDIT FOR DMA #7 AND DMA #5. SEE SHEET C-7.0 FOR C.3 CALCULATIONS.



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PRELIMINARY STORMWATER CONTROL PLAN

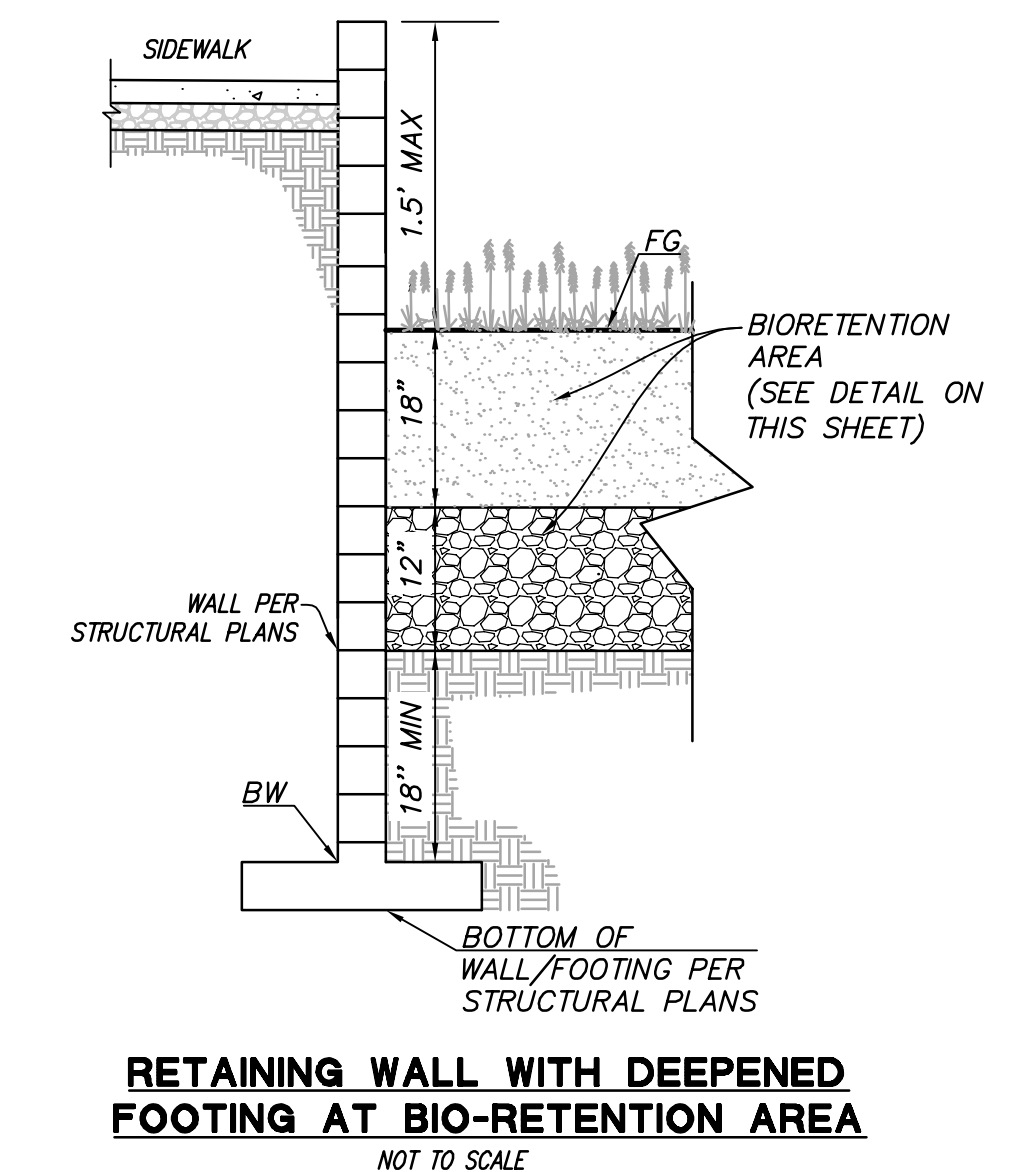
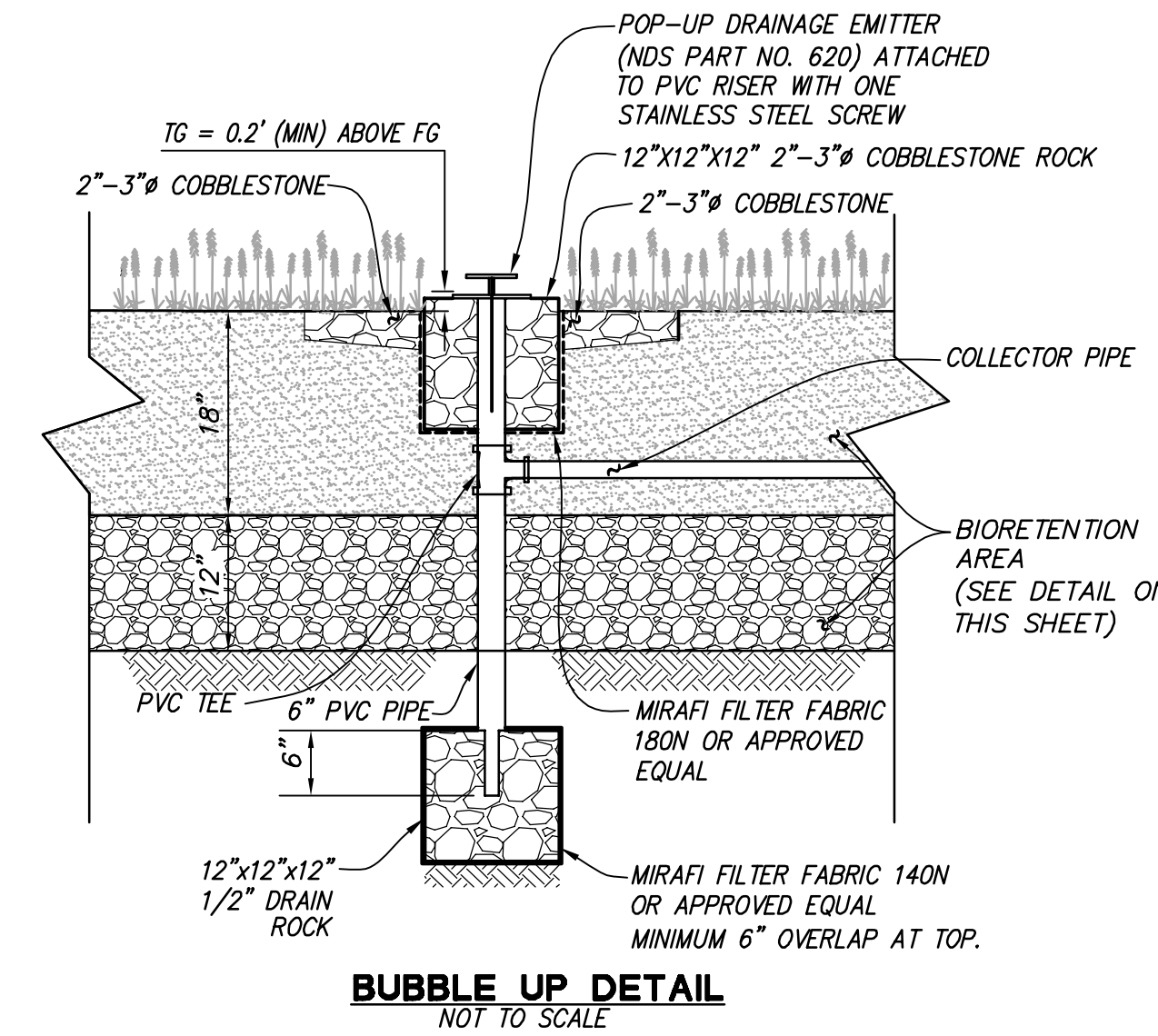
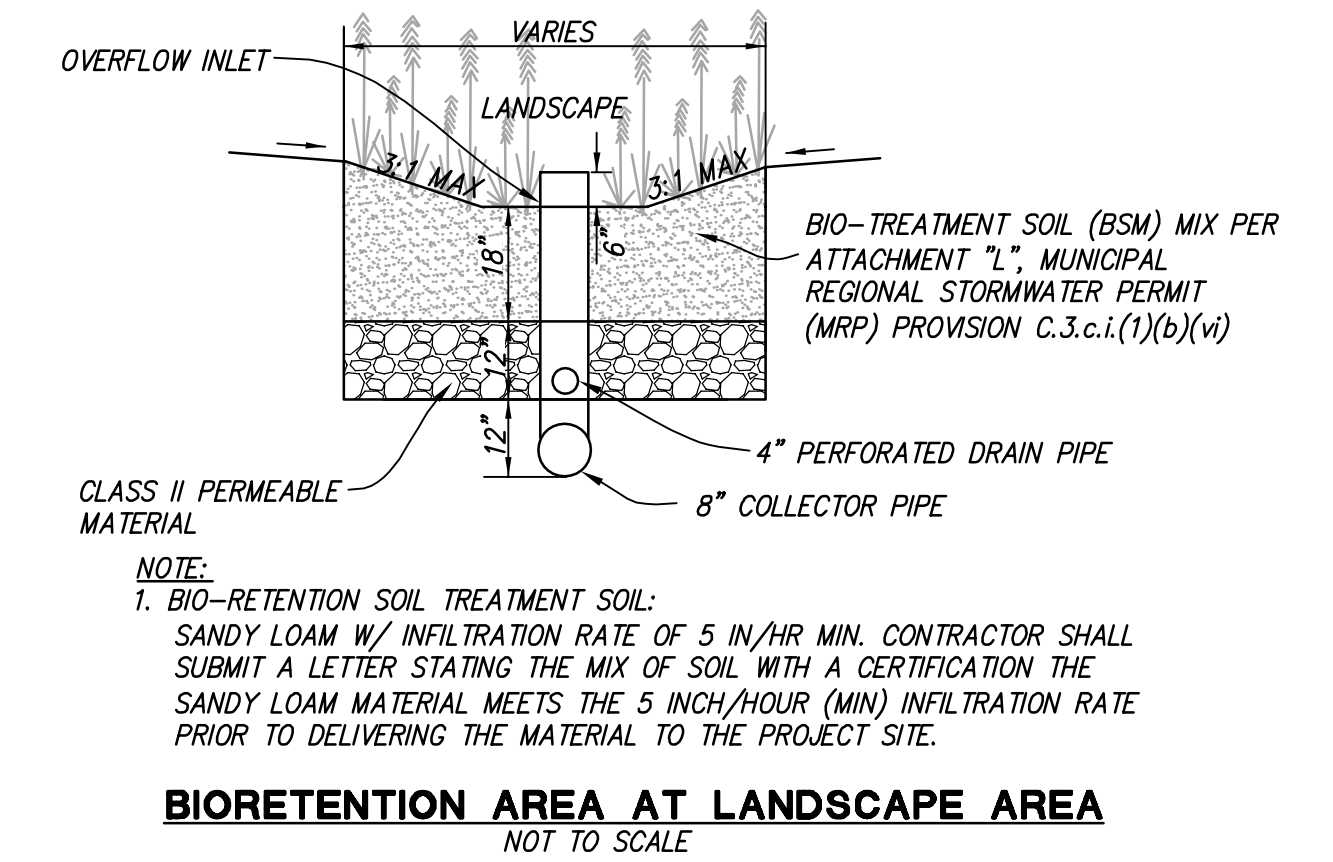
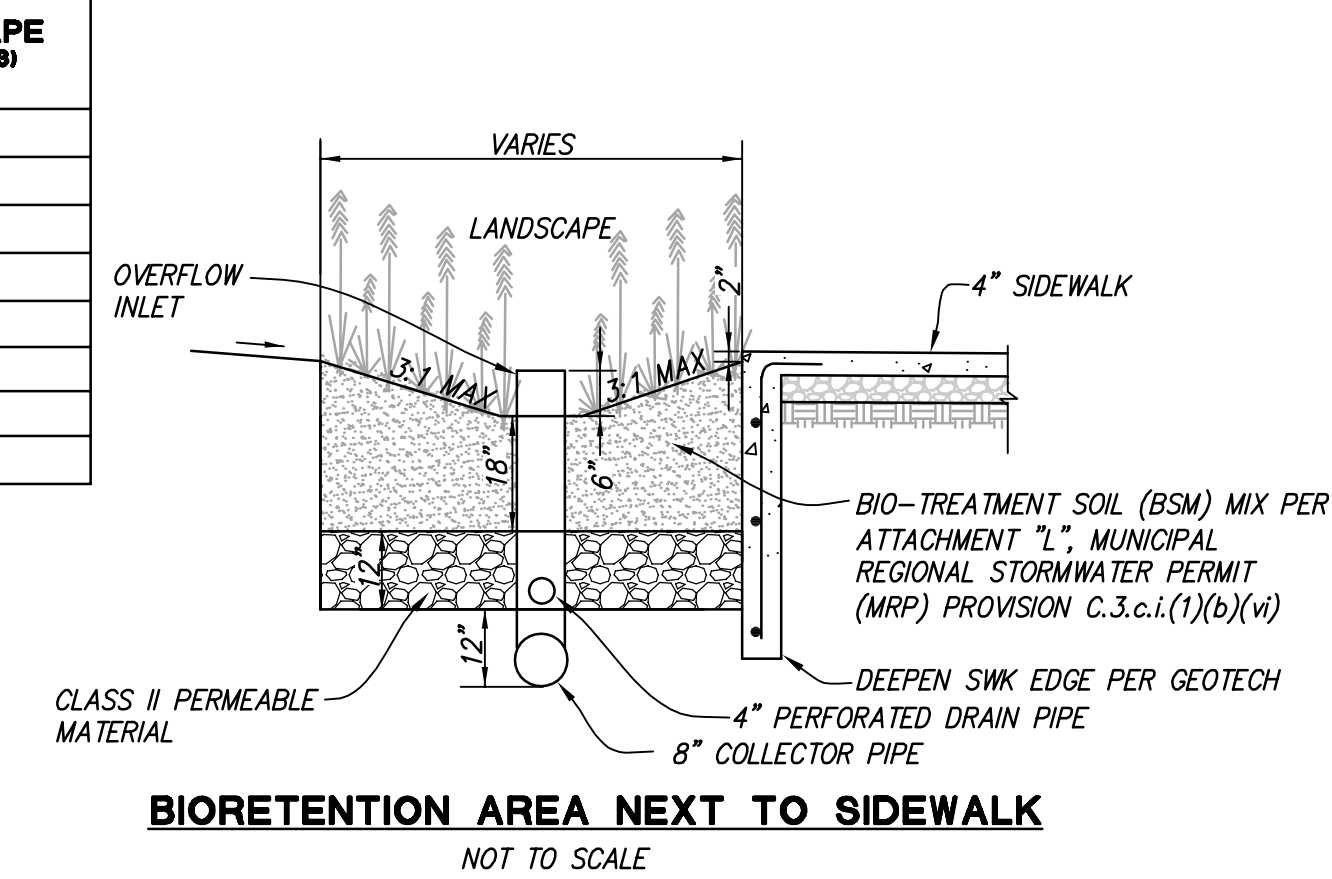


C-6.0
JOB #241075
DECEMBER 23, 2025

PRELIMINARY STORMWATER TREATMENT CALCULATIONS											
DRAINAGE MANAGEMENT AREA	SURFACE	TOTAL DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	TREATMENT TYPE	TREATMENT I.D.	NEW DISTURBED AREA ⁽³⁾	HARDSCAPE CREDIT ⁽³⁾
DMA # 1	ROOF/HARDSCAPE/LANDSCAPE	11,460	8,590	2,870	8,877	355	360	BIORETENTION	BR #1	-	-
DMA # 2	ROOF/HARDSCAPE/LANDSCAPE	3,935	2,451	1,484	2,589	104	122	BIORETENTION	BR #2	-	-
DMA # 3	ROOF/HARDSCAPE/LANDSCAPE	34,174	26,736	7,438	27,480	1,099	1,130	BIORETENTION	BR #3	-	-
DMA # 4	HARDSCAPE/LANDSCAPE	4,729	3,109	1,620	3,271	131	150	BIORETENTION	BR #4	355	2,754
DMA # 5	HARDSCAPE/LANDSCAPE	-	0	-	N/A: CREDIT APPLIED. SEE NOTE 3.	-	-	[CREDIT]	-	1,375	-1,375
DMA # 6	HARDSCAPE/LANDSCAPE	4,629	3,484	1,145	3,599	144	175	BIORETENTION	BR #6	1,391	2,093
DMA # 7	HARDSCAPE/LANDSCAPE	-	0	-	N/A: CREDIT APPLIED. SEE NOTE 3.	-	-	[CREDIT]	-	1,381	-1,381
TOTAL		58,927	44,370	14,557	45,826	1,833	1,937			4,502	2,091

IMPERVIOUS AND PERVIOUS SURFACES					
TYPE OF IMPERVIOUS SURFACE	PRE-PROJECT IMPERVIOUS SURFACE (SQ.FT.)	EX IMPERVIOUS SURFACE TO RETAIN (SQ.FT.)	EX IMPERVIOUS SURFACE TO BE REPLACED (SQ.FT.)	NEW IMPERVIOUS SURFACE TO BE CREATED (SQ.FT.)	POST-PROJECT IMPERVIOUS SURFACE (SQ.FT.)
ROOF AREAS	16,815	0	16,815	4,275	21,090
IMPERVIOUS SIDEWALKS, PATIOS, PATHS, DRIVEWAYS, STREETS	17,322	0	10,974	0	10,974
IMPERVIOUS UNCOVERED PARKING	10,944	0	630	0	630
TOTALS OF IMPERVIOUS SURFACES	45,081	0	28,419	4,275	32,694
TOTAL IMPERVIOUS SURFACE REPLACED AND CREATED			32,694		
TYPE OF PERVIOUS SURFACE	PRE-PROJECT PERVIOUS SURFACE (SQ.FT.)			NEW PERVIOUS SURFACE TO BE CREATED (SQ.FT.)	POST-PROJECT PERVIOUS SURFACE (SQ.FT.)
LANDSCAPING	10,494			25,294	25,294
PERVIOUS PAVING	0			0	0
GREEN ROOF	0			0	0
TOTAL PERVIOUS SURFACES	10,494			25,294	25,294
TOTAL SITE AREA	55,575			TOTAL SITE AREA	57,988

- NOTES:**
- THE CALCULATIONS ON THIS SHEET ARE BASED ON THE SCVURPP C.3 STORMWATER HANDBOOK, DATED OCTOBER, 2024 AND THE FOLLOWING CRITERIA:
 - 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% IMPERVIOUS AREA.
 - SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
 - SIZING FACTOR BASED ON 4% METHOD PER THE SCVURPP C.3 STORMWATER HANDBOOK.
 - PER THE SCVURPP C.3 STORMWATER HANDBOOK, THE BIORETENTIONS PROVIDED IN DMA #6 AND #4 ARE SIZED TO TREAT THE ENTIRE DMA AND NOT JUST THE NEW/DISTURBED AREA. THEREFORE, ADDITIONAL EXISTING HARDSCAPE SF IS BEING TREATED IN DMA #6 AND #4. THIS ADDITIONAL SQUARE FOOTAGE IS USED AS A CREDIT TO ACCOUNT FOR THE UNTREATED NEW/DISTURBED SF IN DMA #7 AND #5. THIS CREDIT IS SHOWN IN THE "HARDSCAPE CREDIT" COLUMN FOR EACH DMA AS A POSITIVE VALUE WHEN IT IS EARNED AND A NEGATIVE VALUE WHEN IT IS USED.



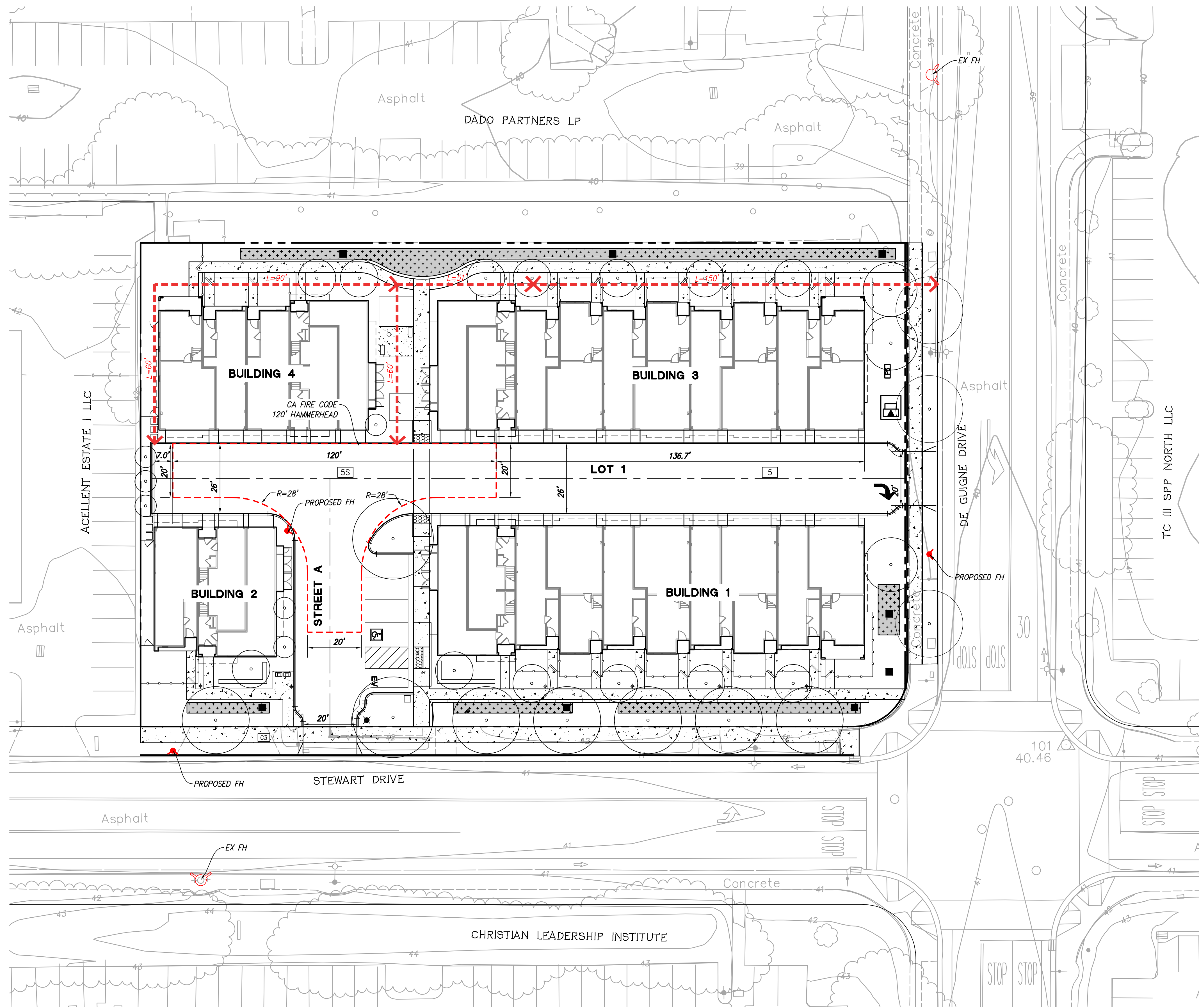
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LEGEND

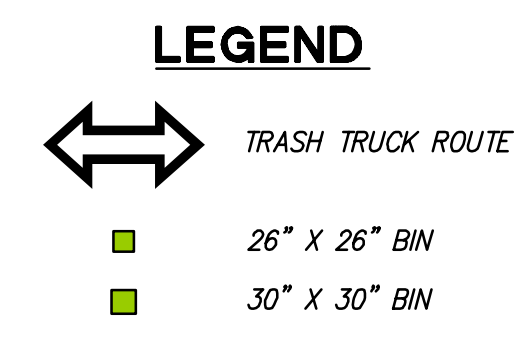
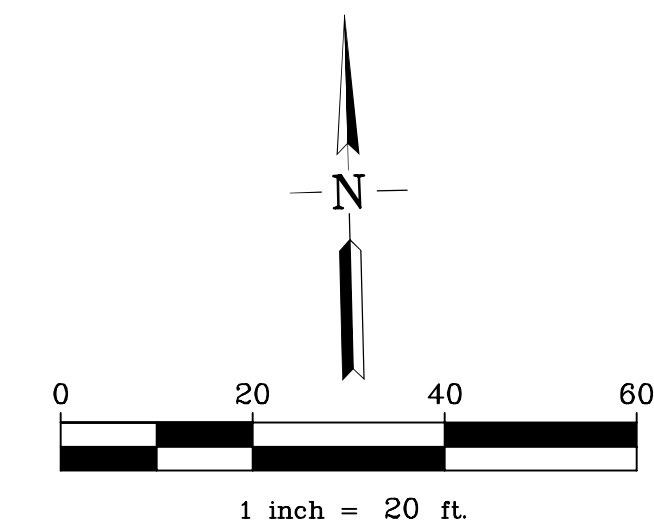
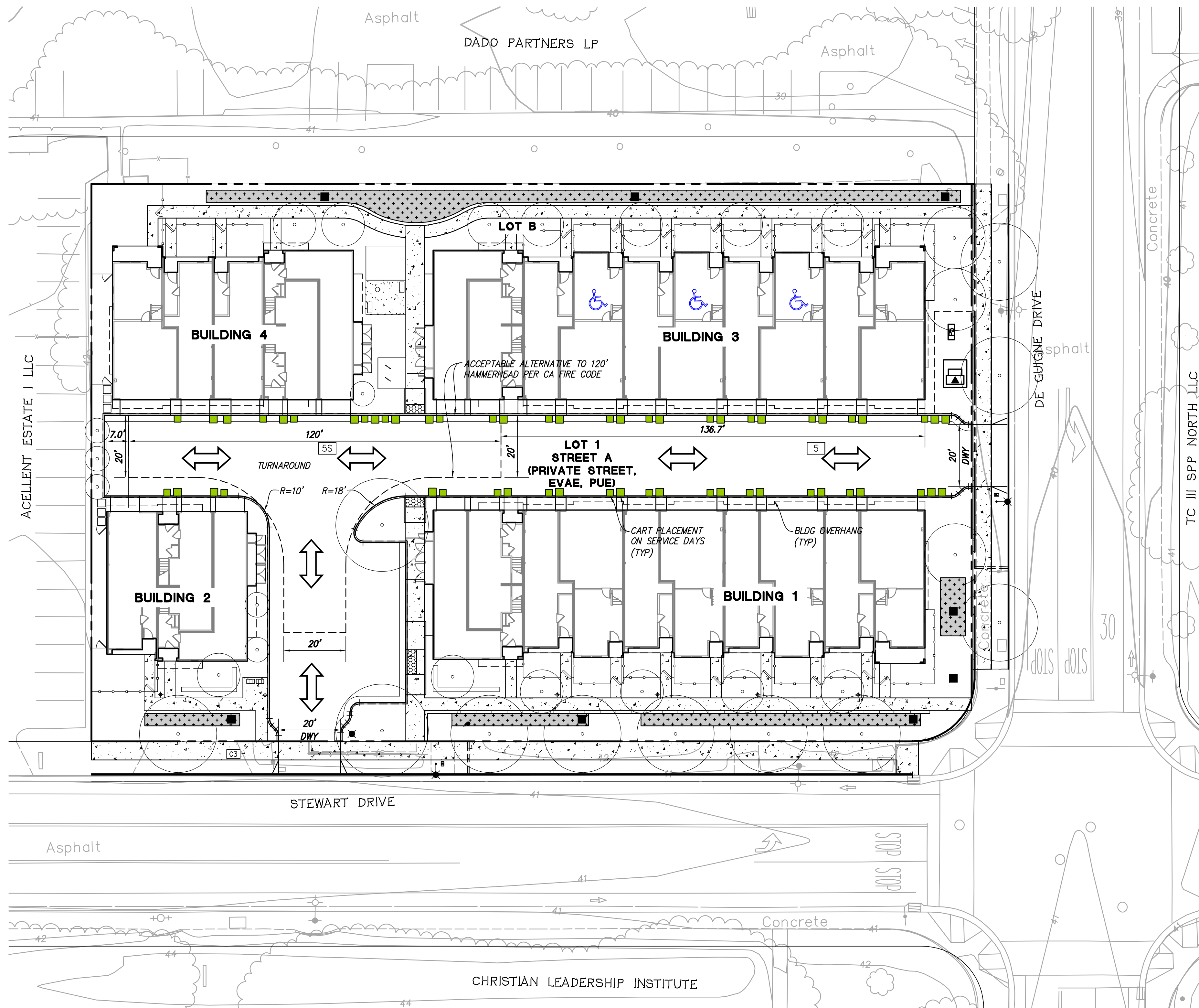
←---→ 150' FIRE HOSE PULL PER CA FIRE CODE

NOTES:

1. PROPOSED FIRE MAIN SHALL HAVE BACKFLOW ASSEMBLY PER CITY STANDARD DETAIL 21B. THE FDC SHALL POINT TOWARDS THE PUBLIC STREET.
2. PROPOSED ONSITE HYDRANTS SHALL NOT BE PRESSURIZED BY FIRE DEPARTMENT CONNECTION.
3. PROPOSED ONSITE HYDRANTS SHALL HAVE A PIV AND CHECK VALVE ON HYDRANT SUPPLY LINE.



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- NOTES:**
1. EACH UNIT WILL BE PROVIDED WITH ONE 64 GALLON GARBAGE CART AND ONE 96 GALLON SPLIT-LID RECYCLING CART, SIZES AS SHOWN.
 2. ON SERVICE DAYS, CARTS SHALL BE PRESENTED IN FRONT OF EACH TOWNHOME AT OR ADJACENT TO THE RESPECTIVE UNIT'S DRIVEWAY, AS SHOWN ON THE PLAN.

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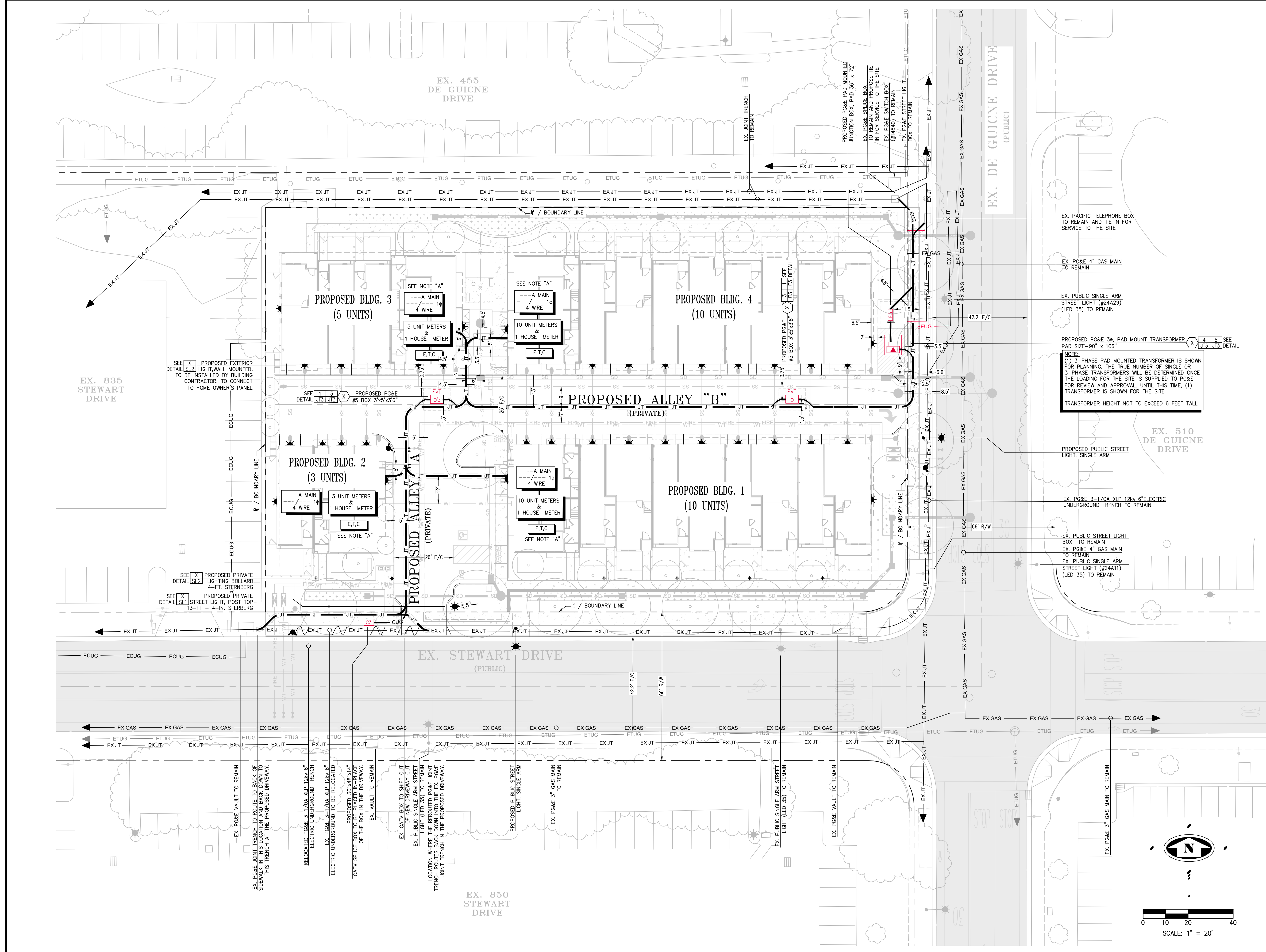
The Arcade
APN: 205-21-010 Santa Clara County
845 Stewart Dr.
Sunnyvale, CA



TRASH MANAGEMENT PLAN

C-9.0

JOB #241075
DECEMBER 23, 2025



CAUTION !! CAUTION !! CAUTION !!
EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

JOINT TRENCH OCCUPANCY GUIDE

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I*	J*	K*	L*	M*	N*	O*	P*	Q*	R*	S*	T*	U*	V*	W*
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRL.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

NOTE "A"

- JOINT TRENCH CONTRACTOR TO STUB CONDUITS 5' OUT FROM BUILDING WALL.
- BUILDING CONTRACTOR TO TIE-IN TO CONDUITS THAT ARE STUBBED BY JOINT TRENCH CONTRACTOR.
- JOINT TRENCH CONTRACTOR TO VERIFY SERVICE STUB LOCATION WITH DEVELOPER SITE SUPERINTENDENT.

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

NOTE:
ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.

SERVICE TERMINATION LEGEND

E.T.C. ELECTRIC, TELEPHONE, CATV LOCATION

CAUTION!
CONTRACTOR TO VERIFY SERVICE TIE-IN LOCATIONS AT BUILDINGS WITH DEVELOPER PRIOR TO INSTALLATION AND ADJUST TRENCH ROUTE AND OR DEPTH ACCORDINGLY. (TYPICAL)

NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND FOR CLARITY. PLEASE REFER TO THE CIVIL DRAWINGS FOR SURVEY OF EXACT LOCATIONS.

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

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JOINT TRENCH COMPOSITE PLAN
CITY VENTURES
SUNNYVALE 2
SUNNYVALE CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: JANUARY 2025
DATE LAST WORKED ON: 1/5/2026
SCALE: 1" = 20'
JOB NO.: 224204
DRAWN: TM
CHECKED: ML
PRELIMINARY
NOT FOR CONSTRUCTION
INTENT TO CONSTRUCT

FOR REVIEW ONLY

811
CALL BEFORE YOU DIG
UNDERGROUND SERVICE ALERT

C 59346
Exp. 06/30/25
CIVIL
STATE OF CALIFORNIA

SHEET
JT5
OF
JT5
SHEETS