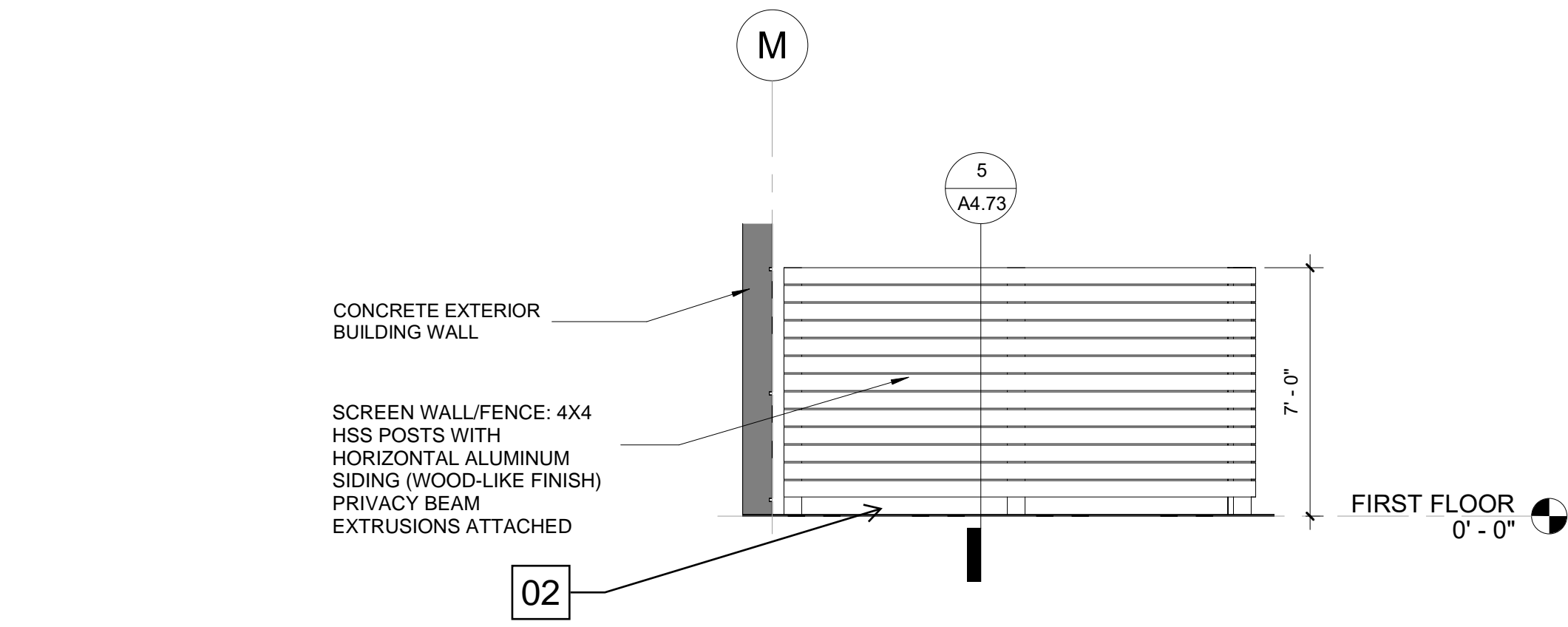
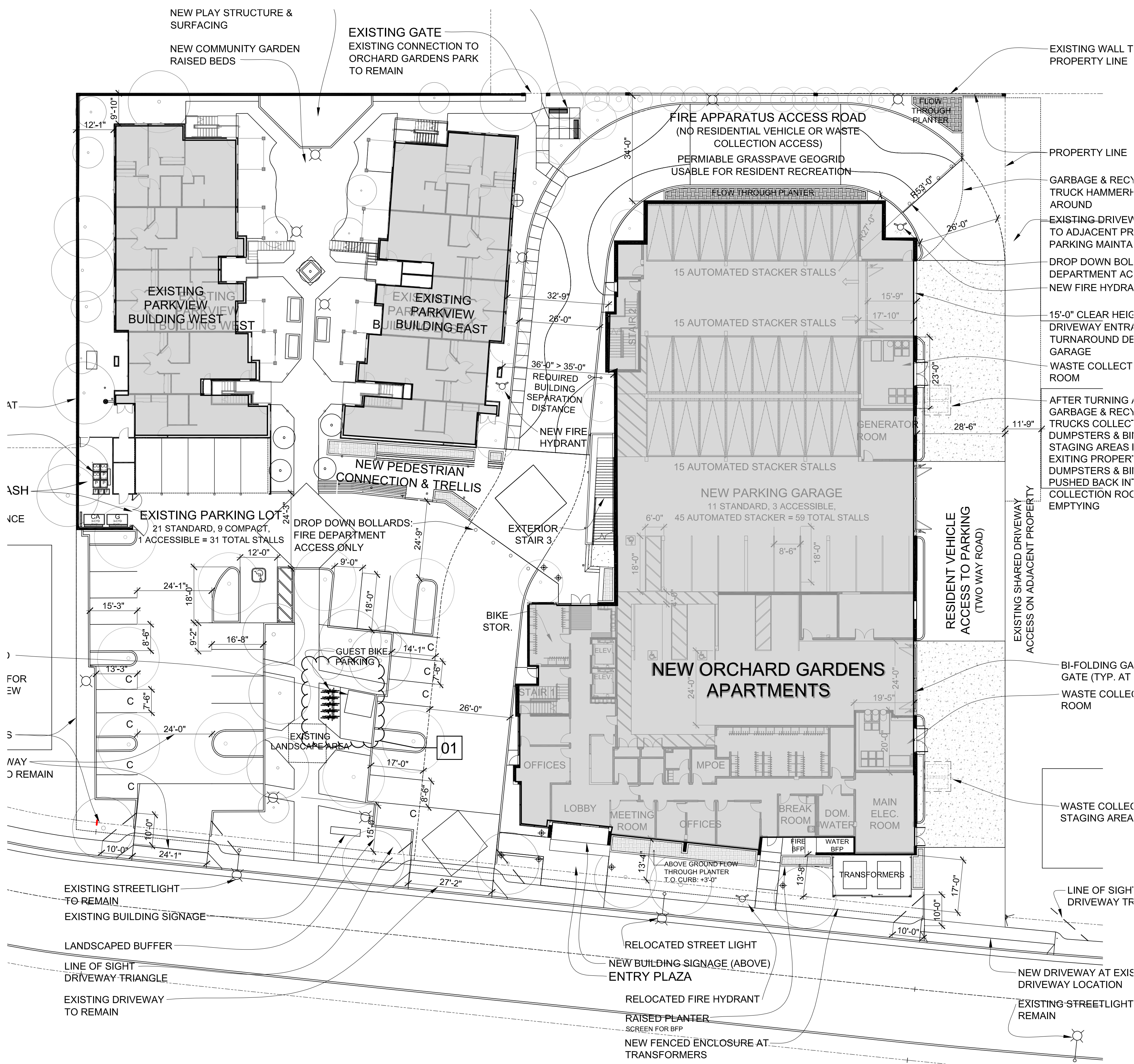


SHEET NOTES

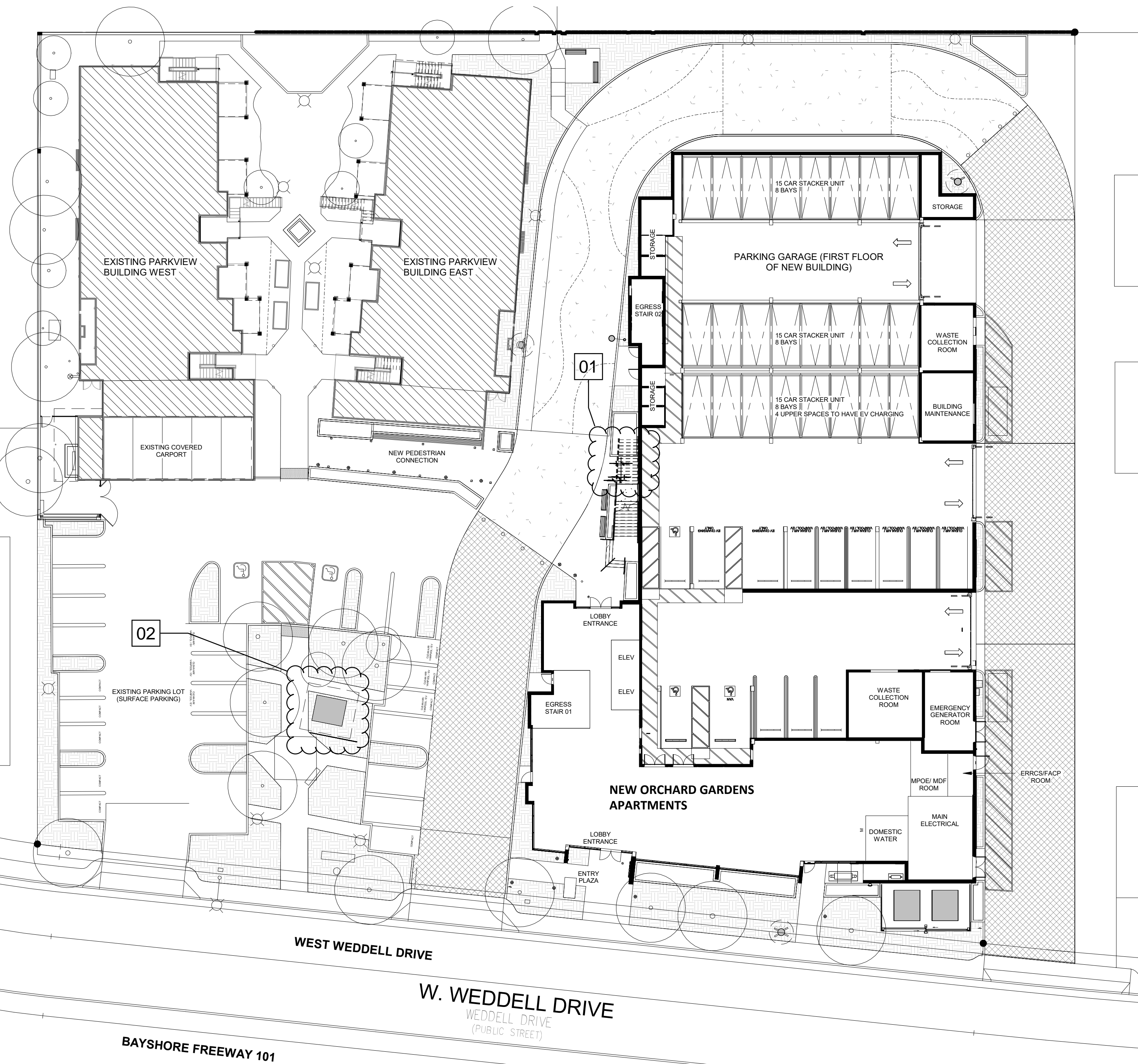
- 01 \*GUEST BIKE PARKING
- 02 \*SCREEN WALL AT PARKVIEW TRANSFORMER
- \*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET,  
REVIEWED AUGUST 2022



3 ENLARGED TRANSFORMER ENCLOSURE SIDE ELEVATION  
1/4" = 1'-0"



2 SITE PLAN - PLANNING APPROVAL DRAWING  
SCALE: 1" = 20'-0"



1 SITE PLAN - MISC. PLANNING PERMIT ADJUSTMENT DRAWING  
1" = 20'-0"



SHEET NOTES

- 03 \*COMMUNITY ROOM RELOCATION AND COURTYARD ROTATION
- 04 \*EXTERIOR STAIR 04 REMOVED. ENLARGED RAISED PLANTERS IN PLACE.
- 05 \*BUILDING A COMMON ROOM AND RESIDENTIAL UNIT STACK SWAPPED
- 06 RELOCATED FLOW THROUGH PLANTERS
- 07 REMOVED LIVING ROOF OVER PODIUM ON SOUTHERN FRONTAGE
- 08 REMOVED ALL BALCONIES.
- \*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET,  
REVIEWED AUGUST 2022

STAMP:

CITY STAMP:

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W.WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS &  
PERMIT SUBMITTAL  
ISSUED ON:  
07.14.2025

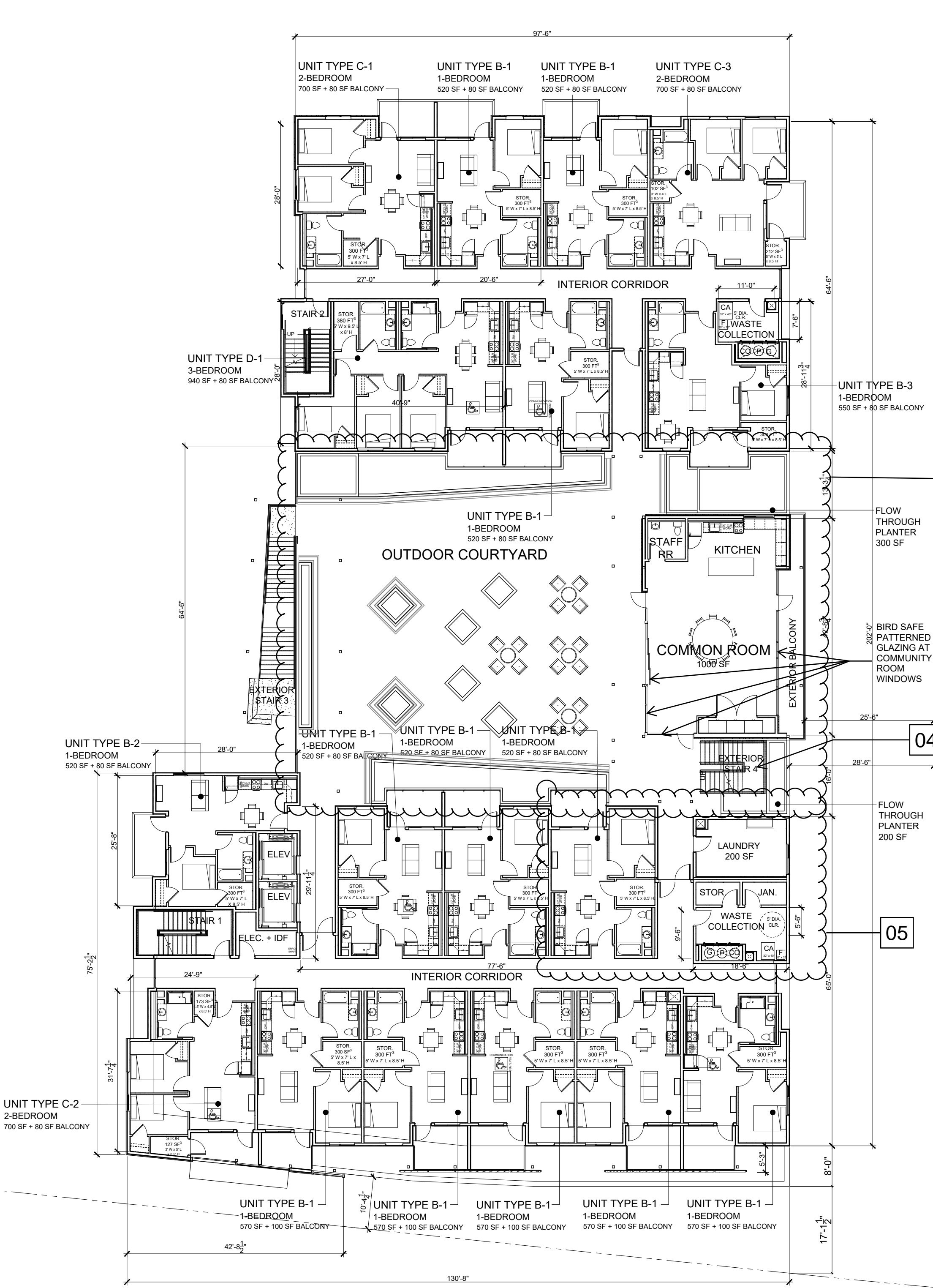
© 2025 ALL RIGHTS RESERVED  
This document and the ideas  
incorporated herein, as an instrument  
of professional service, is the property  
of architects FORA and is not to be  
used in part for any project without  
their written authorization.

No.	REVISION	DATE	SUBMITTAL	DATE
1	PLAN CHECK RESPONSE 1	9/26/2022	100% CONSTRUCTION DOCUMENTS	01/01/22
2	MISC. PLANNING PERMIT ADJUSTMENT	4/20/2025	8 PERMIT SUBMITTAL	

No.	REVISION	DATE	SUBMITTAL	DATE
1	PLAN CHECK RESPONSE 1	9/26/2022	100% CONSTRUCTION DOCUMENTS	01/01/22
2	MISC. PLANNING PERMIT ADJUSTMENT	4/20/2025	8 PERMIT SUBMITTAL	

JOB No. 20001  
DRAWN BY: RV  
CHECKED BY: SV

Misc. Plan  
Permit -  
Substantial  
Conformance  
Documentation



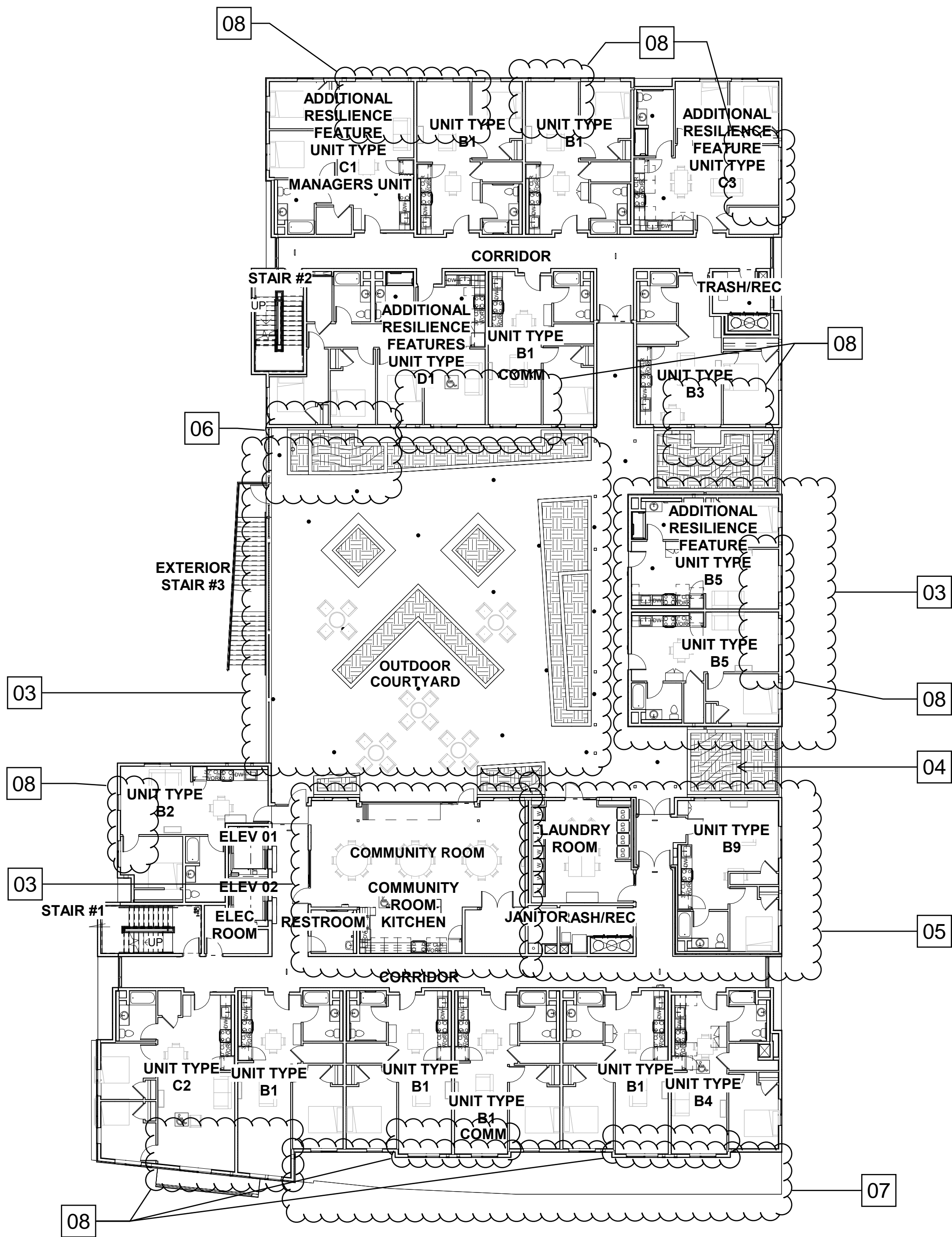
2

SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"

PLANNING APPROVAL DRAWING

/



1

SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"

MISC. PLANNING PERMIT ADJUSTMENT DRAWING

/



SHEET NOTES

- 09REMOVAL OF SOUTHERN SCREEN WALLS AND BALCONIES.
- 10\*ROOFTOP EQUIPMENT SCREEN REVISED TO SOLID WALL, NOT VISIBLE FROM STREET.
- 11\*HIGHEST SLOPED PORTION OF THE ROOF RAISED TO 75'-5" ALONG THE EAST SIDE OF BUILDING
- 12REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY LOUVERS
- 13PLANTER WALL MATERIAL AT FRONT ELEVATION CHANGED FROM WOOD BOARD OVER CONCRETE TO CMU

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022

STAMP:

CITY STAMP:

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS &  
PERMIT SUBMITTAL  
ISSUED ON:  
07.14.2025

© 2025 ALL RIGHTS RESERVED  
This document and the ideas  
incorporated herein, as an instrument  
of professional service, is the property  
of architects FORA and is not to be  
used in part for any project without  
their written authorization.

SUBMITTAL	DATE	DATE
100% CONSTRUCTION DOCUMENTS	01/01/22	
PERMIT SUBMITTAL		

No.	REVISION	DATE	SUBMITTAL
1	PLAN CHECK RESPONSE 1	9/26/2022	
2	MISC. PLANNING PERMIT ADJUSTMENT	4/20/2025	

JOB No. 20001  
DRAWN BY: RV  
CHECKED BY: SV

Misc. Plan  
Permit -  
Substantial  
Conformance  
Documentation

A-3



2

SOUTH ELEVATION (STREET ELEVATION) - PLANNING APPROVAL DRAWING

1/8" = 1'-0"



1

SOUTH ELEVATION (STREET ELEVATION) - MISC. PLANNING PERMIT ADJUSTMENT DRAWING

1/8" = 1'-0"



SHEET NOTES

- 04 \*EXTERIOR STAIR 04 REMOVED. ENLARGED RAISED PLANTERS IN PLACE.
- 05 \*BUILDING A COMMON ROOM AND RESIDENTIAL UNIT STACK SWAPPED
- 08 REMOVED ALL BALCONIES.
- 11 \*HIGHEST SLOPED PORTION OF THE ROOF RAISED TO 75'-5" ALONG THE EAST SIDE OF BUILDING
- 12 REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY LOUVERS
- 14 REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENINGS
- 15 BUILDING B1 EXTERIOR FACADE UPDATED TO REFLECT COMMON ROOM RELOCATION.
- \*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022

STAMP:

CITY STAMP:

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W.WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS &  
PERMIT SUBMITTAL

ISSUED ON:  
07.14.2025

© 2025 ALL RIGHTS RESERVED  
This document and the ideas  
incorporated herein, as an instrument  
of professional service, is the property  
of Architects FORA and is not to be  
used in part for any project without  
their written authorization.

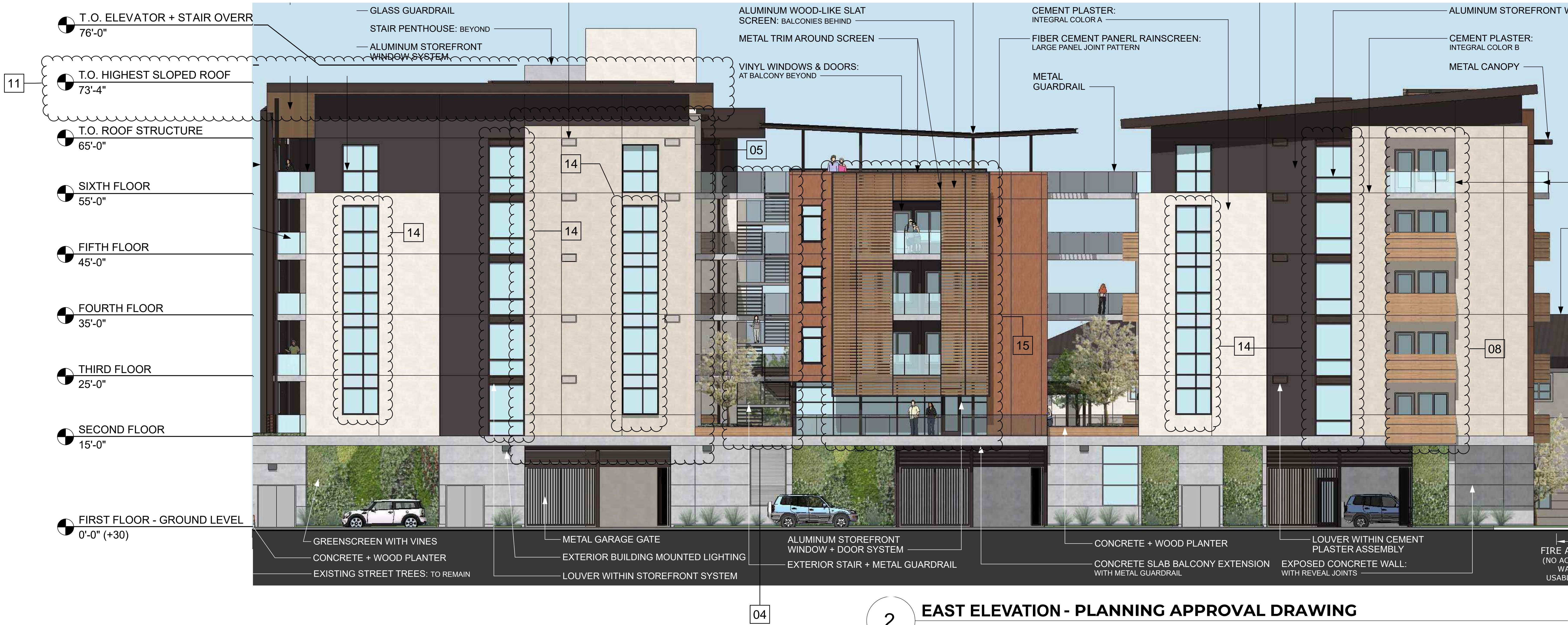
DATE	SUBMITTAL
01/01/22	100% CONSTRUCTION DOCUMENTS
04/20/23	MISC. PLANNING PERMIT & PERMIT SUBMITTAL

DATE	REVISION
9/26/2022	1 PLAN CHECK RESPONSE 1
4/20/2025	2 MISC. PLANNING PERMIT ADJUSTMENT

JOB No. 20001  
DRAWN BY: RV  
CHECKED BY: SV

Misc. Plan  
Permit -  
Substantial  
Conformance  
Documentation

A-4





## SHEET NOTES

- |    |   |
|----|---|
| 08 | REMOVED ALL BALCONIES.  |
| 12 | REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY LOUVERS       |
| 14 | REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENINGS                  |
| 15 | *BUILDING B1 EXTERIOR FACADE UPDATED TO REFLECT COMMON ROOM RELOCATION.   |
| 16 | REMOVED VRF EQUIPMENT AND ROOF EQUIPMENT SCREEN ON BUILDING B2.           |
| 17 | ELEVATOR OVERRUN HEIGHT REDUCED TO 73'-6"                                 |
| 18 | REMOVAL OF STEEL CANOPY OVER EXTERIOR STAIR                               |
| 19 | WINDOW LITES AND MULLIONS SHIFTED TO MAINTAIN OSHA GUARDRAIL REQUIREMENTS |
| 20 | VERTICAL METAL PICKET GUARDRAIL   |

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET,  
REVIEWED AUGUST 2022

STAMP:

CITY STAMP:

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION

## ORCHARD GARDENS REDEVELOPMENT

**ORCHARD GARDEN**  
DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYSIDE

**100%  
CONSTRUCTION  
DOCUMENTS &  
PERMIT SUBMITTAL**

ISSUED ON:  
07.14.2025

© 2022 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional service, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

SUBMITTAL	DATE
100% CONSTRUCTION DOCUMENTS & PERMIT SUBMITTAL	01/01/22

[illegible]

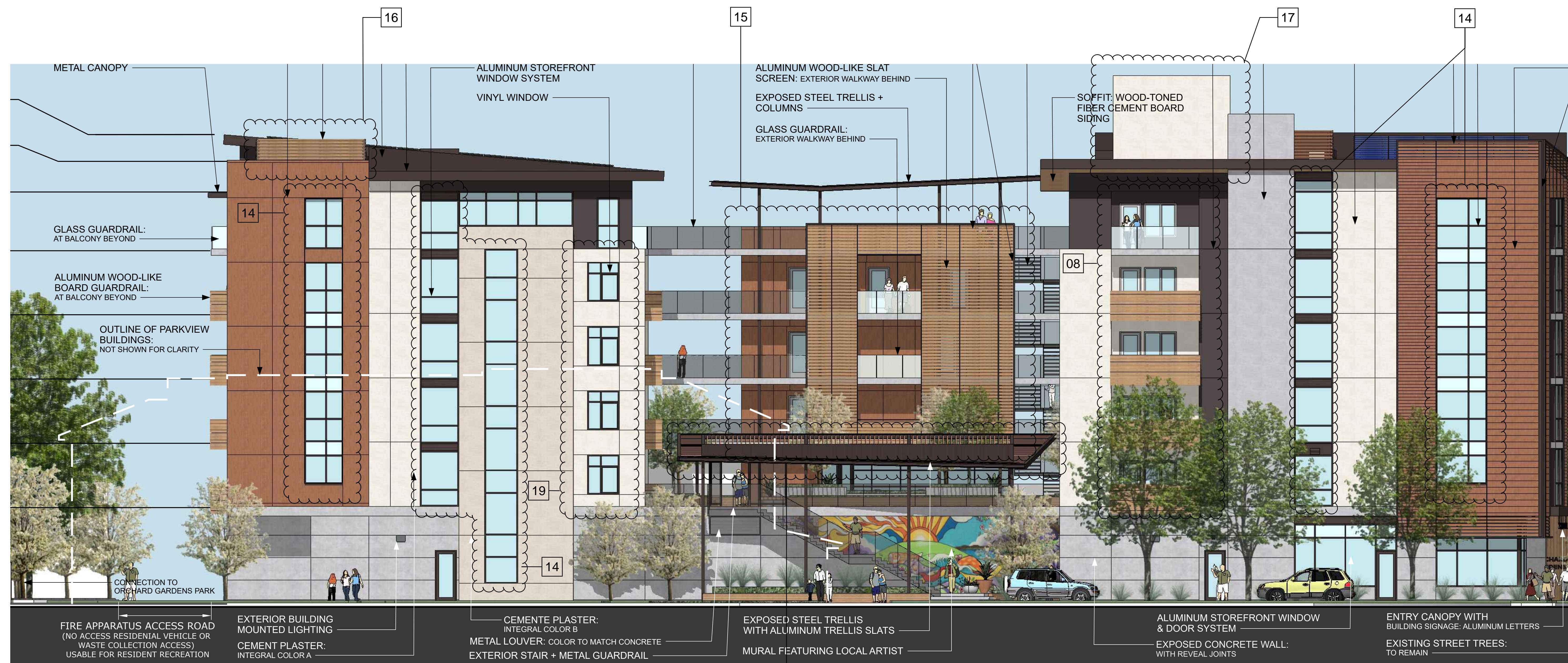
IOR No. 20001

JOB NO.	20001
DRAM (N.B.V.):	R/C

CHECKED BY: SV

Misc. Plan  
Permit -  
Substantial  
Conformance  
Documentation

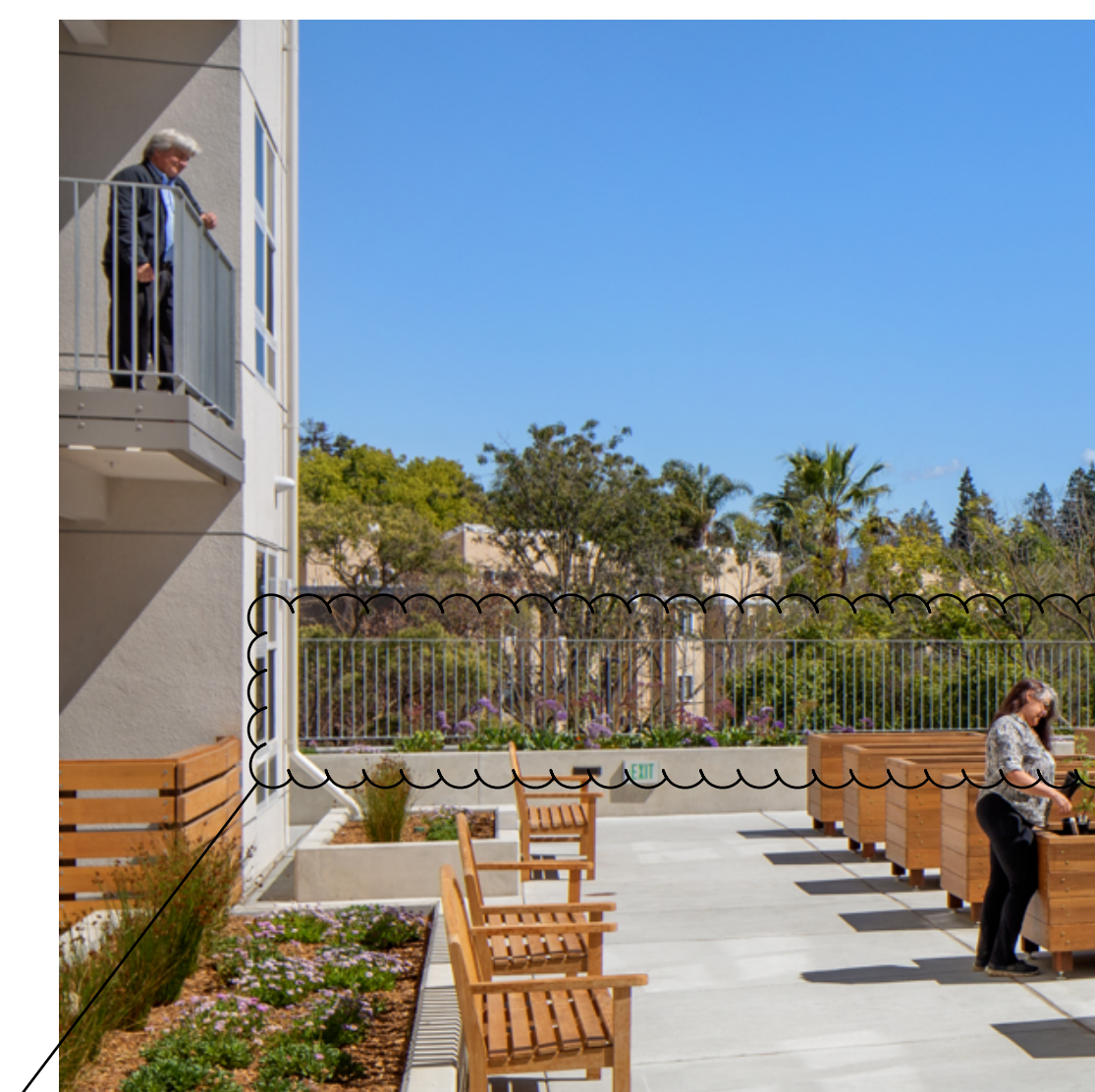
A-5



2) **WEST ELEVATION - PLANNING APPROVAL DRAWING**

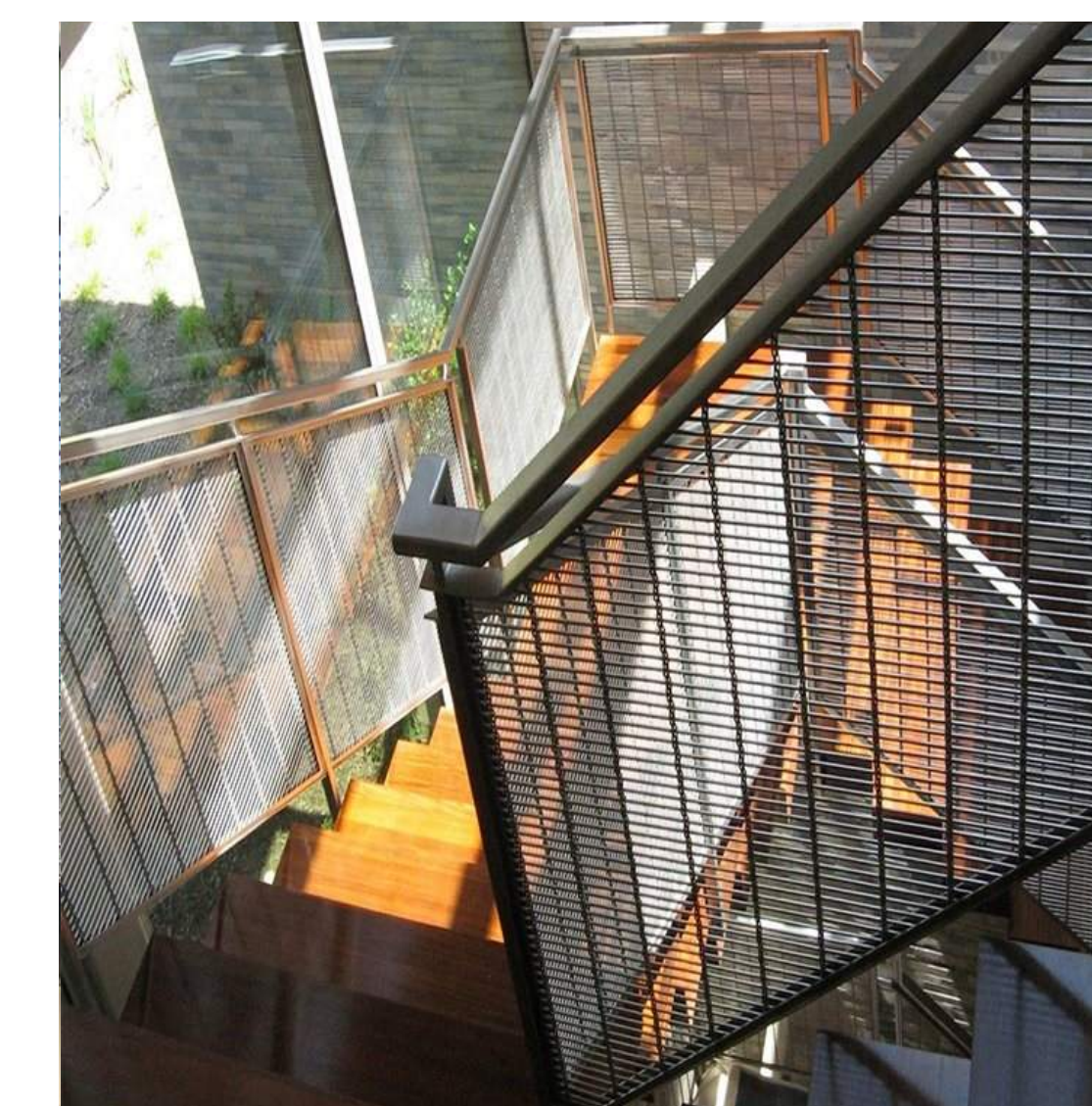
$$1/8'' = 1'-0''$$


**WEST ELEVATION - MISC. PLANNING PERMIT ADJUSTMENT DRAWING**

$$\frac{1}{8}'' = 1'-0'$$


**G** VERTICAL METAL PICKET GUARDRAIL  
COLOR: ZINC GREY, TYPICAL

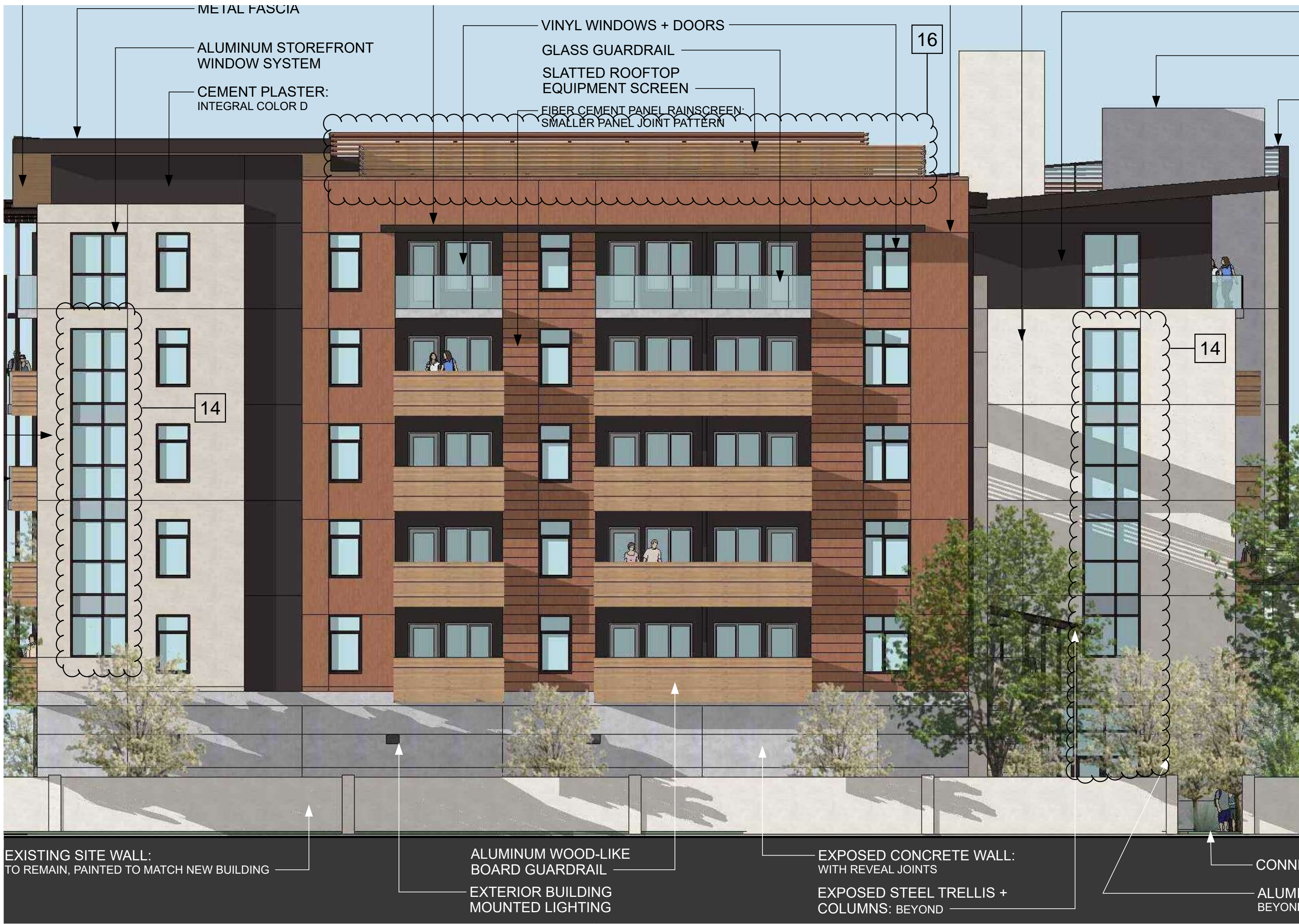
## PLAN CHECK RESPONSE DESIGN



**G**  
METAL GUARDRAIL WITH FRAMED METAL MESH INFILL PANEL  
COLOR: ZINC GREY, TYPICAL;  
DARK ANODIZED BRONZE AT WESTERN EDGE OF COURTYARD

## PLANNING APPROVAL DRAWING





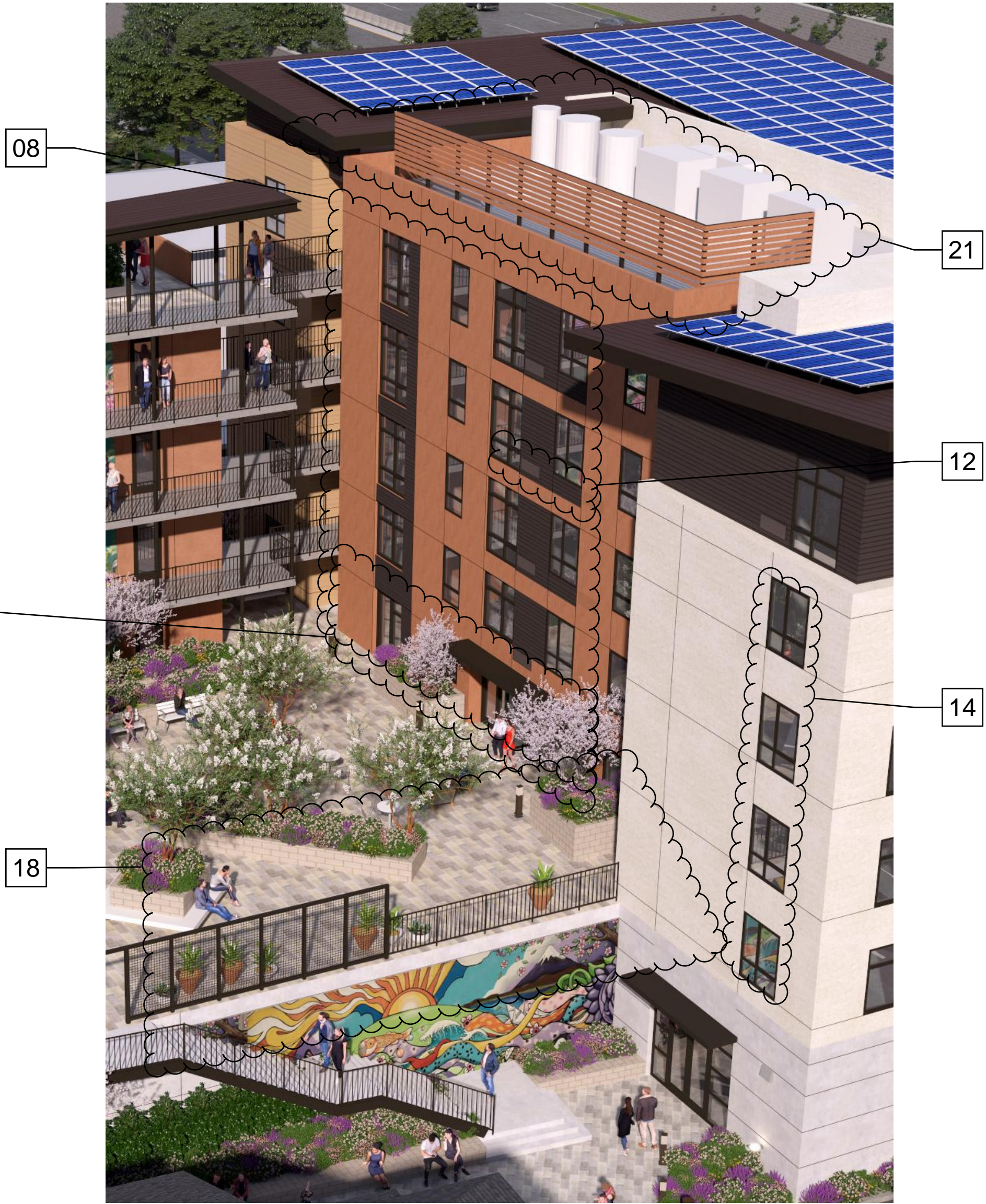
4 NORTH ELEVATION (PARK ELEVATION) - PLANNING APPROVAL DRAWING  
1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING B2  
1/8" = 1'-0"  
MISC. PLANNING PERMIT ADJUSTMENT DRAWING



3 NORTH ELEVATION - BUILDING A  
1/8" = 1'-0"  
PLANNING APPROVAL DRAWING



1 NORTH ELEVATION - BUILDING A  
1/8" = 1'-0"  
MISC. PLANNING PERMIT ADJUSTMENT DRAWING

- SHEET NOTES**
- 03 \*COMMUNITY ROOM RELOCATION AND COURTYARD ROTATION
  - 08 REMOVED ALL BALCONIES.
  - 12 REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY LOUVERS
  - 14 REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENINGS
  - 16 REMOVED VRF EQUIPMENT AND ROOF EQUIPMENT SCREEN ON BUILDING B2.
  - 18 REMOVAL OF STEEL CANOPY OVER EXTERIOR STAIR
  - 21 ROOFTOP EQUIPMENT REDUCED DUE TO CHANGE FROM VRF TO PTHPS

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS &  
PERMIT SUBMITTAL  
ISSUED ON:  
07.14.2025

© 2025 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional service, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

DATE	SUBMITTAL
01/01/22	100% CONSTRUCTION DOCUMENTS
04/20/23	100% CONSTRUCTION DOCUMENTS & PERMIT SUBMITTAL

DATE	REVISION
9/26/2022	1 PLAN CHECK RESPONSE 1
4/20/2025	2 MISC. PLANNING PERMIT ADJUSTMENT

JOB No. 20001  
DRAWN BY: RV  
CHECKED BY: SV

Misc. Plan  
Permit -  
Substantial  
Conformance  
Documentation

A-6





13

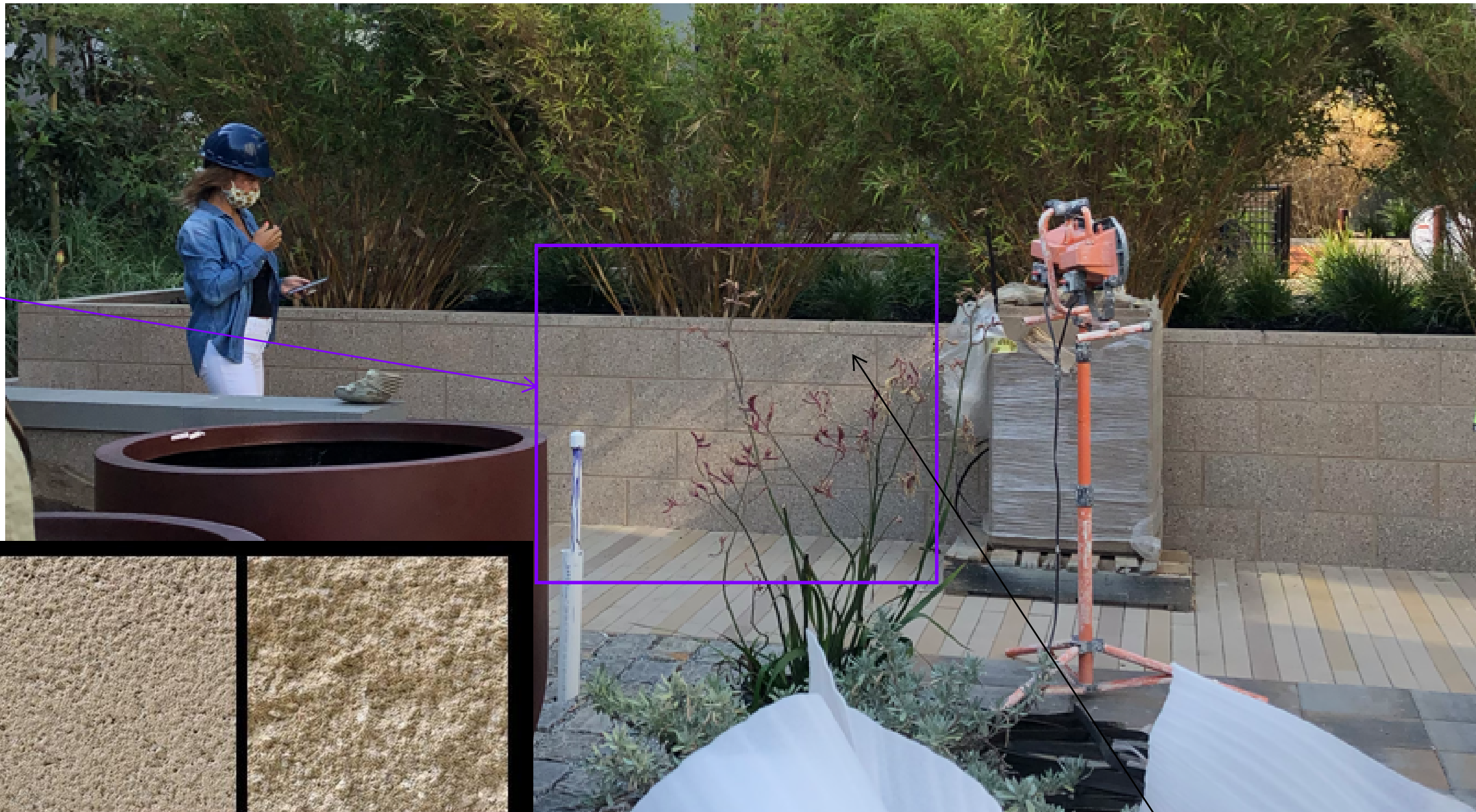
4 COURTYARD AERIAL RENDERING - PLANTER/SEAT WALL UPDATES  
1/8" = 1'-0"  
MISC. PLANNING PERMIT ADJUSTMENT DRAWING



22

2 PEDESTRIAN CONNECTION RENDERING - PLANTER/SEAT WALL UPDATES  
1/8" = 1'-0"  
MISC. PLANNING PERMIT ADJUSTMENT DRAWING

PROPOSED CMU PLANTER WALL MATERIAL, COLOR, STACKING AND CAP FOR RAISED PLANTERS ALONG THE STREET FRONTAGE, PEDESTRIAN CONNECTION AND COURTYARD. THE CMU PLANTER WALLS PROVIDE A DURABLE AND AESTHETICALLY PLEASING SOLUTION ADDING TEXTURE AND COLOR TO THESE AREAS.



3 MATERIAL + REFERENCE IMAGES - PLANTER/SEAT WALL UPDATES  
1/8" = 1'-0"  
PLAN CHECK RESPONSE DESIGN



13

1 STREET FRONTAGE RENDERING - PLANTER/SEAT WALL UPDATES  
1/8" = 1'-0"  
MISC. PLANNING PERMIT ADJUSTMENT DRAWING

#### SHEET NOTES

- 13 PLANTER WALL MATERIAL AT FRONT ELEVATION CHANGED FROM WOOD BOARD OVER CONCRETE TO CMU
- 22 REMOVAL OF DECORATIVE STEEL TRELLIS OVER ROOF GARDEN

STAMP:

CITY STAMP:

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS &  
PERMIT SUBMITTAL

ISSUED ON:

07.14.2025

© 2025 ALL RIGHTS RESERVED  
This document and the ideas  
incorporated herein, as an instrument  
of professional service, is the property  
of Architects FORA and is not to be  
used in part for any project without  
their written authorization.

No.	REVISION	DATE	SUBMITTAL	DATE
1	PLAN CHECK RESPONSE 1	9/26/2022	100% CONSTRUCTION DOCUMENTS	01/01/22
2	MISC. PLANNING PERMIT ADJUSTMENT	4/20/2025	100% CONSTRUCTION DOCUMENTS & PERMIT SUBMITTAL	

JOB No. 20001

DRAWN BY: RV

CHECKED BY: SV

Misc. Plan  
Permit -  
Substantial  
Conformance  
Documentation

A-7

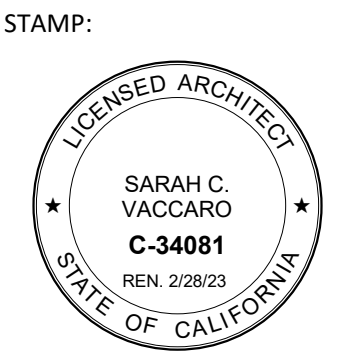












CITY STAMP:

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING

245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

PLAN CHECK  
RESPONSE 1

ISSUED ON:  
09.26.22

© 2022 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional service, is the property of Architects FORA, and is not to be used in part for any project without their written authorization.

No.	REVISION	DATE	SUBMITTAL	DATE
1	PLAN CHECK RESPONSE 1	09/26/22	PERMIT SUBMITTAL	05/06/22
			PLAN CHECK RESPONSE 1	09/26/22

JOB No. 20001  
DRAWN BY: Author  
CHECKED BY: Checker

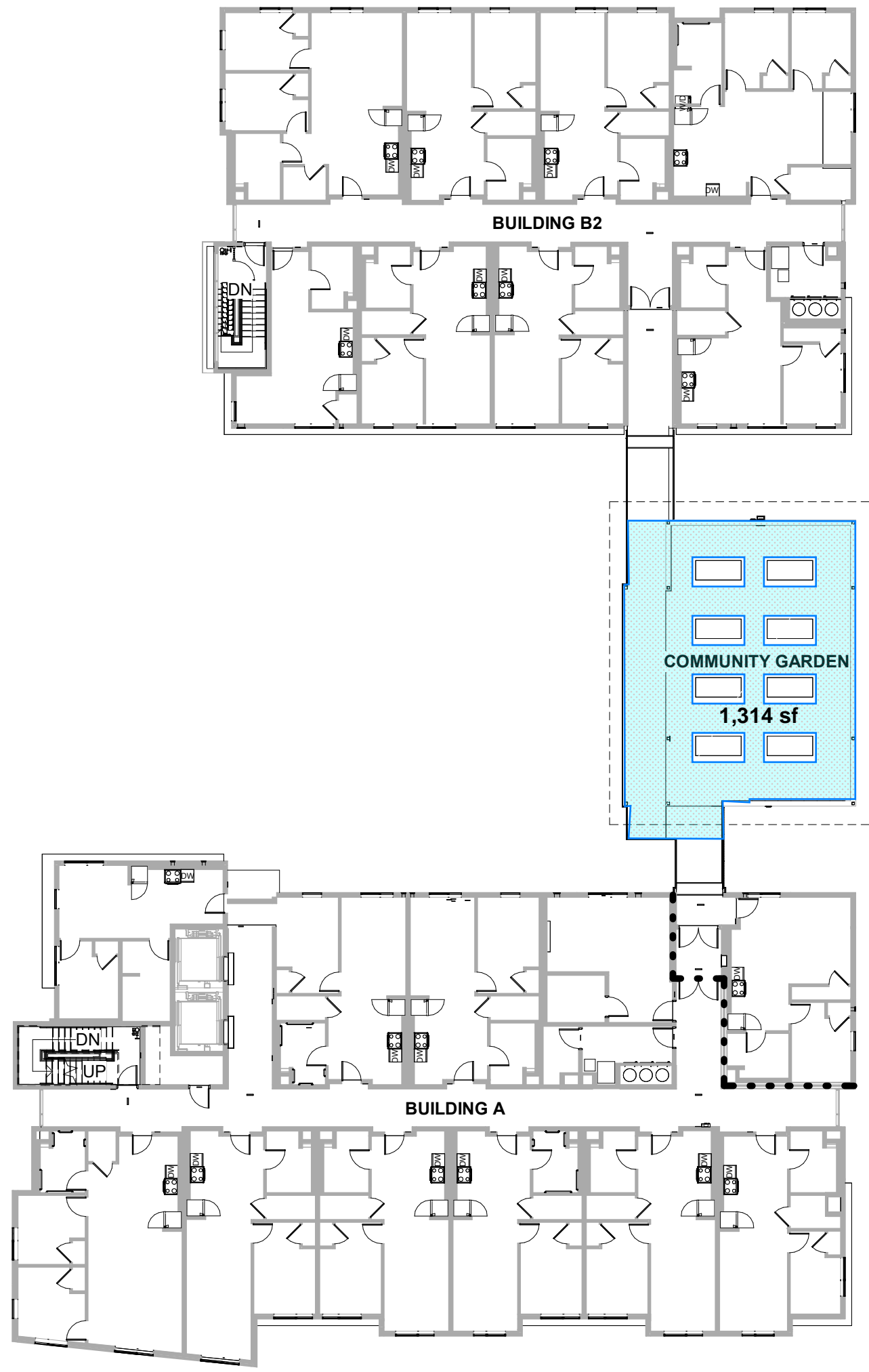
A

USABLE  
OPEN SPACE  
EXHIBIT

G3.22

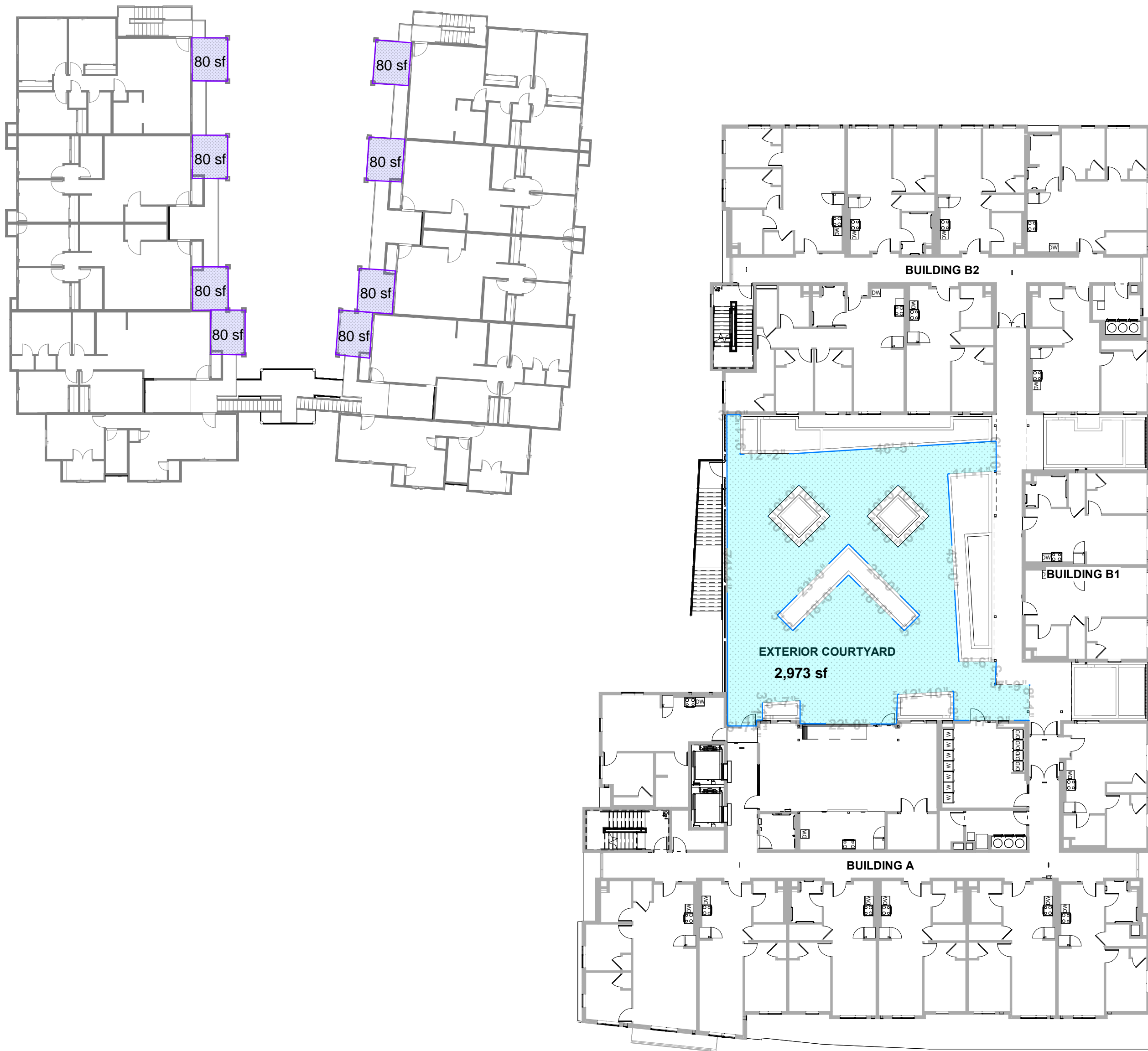
USABLE OPEN SPACE:		27.7%
SITE (FIRST FLOOR):		14,539 SF
COURTYARD (SECOND FLOOR):		2,973 SF
SIXTH FLOOR:		1,314 SF
TOTAL COMMUNAL USABLE OPEN SPACE:		18,826 SF
PRIVATE (UNIT BALCONIES):		
24 UNITS (WITH COMPLIANT BALCONIES**) * 80 SF =		1,920 SF
TOTAL USABLE OPEN SPACE:		20,746 SF
TOTAL USABLE OPEN SPACE %:		20,746 SF / 74,923.2 SF = 27.7%
TOTAL USABLE OPEN SPACE / UNIT:		168 SF/UNIT*

\*NOTE: PROJECT IS USING A CONCESSION TO REDUCE USABLE OPEN SPACE/UNIT REQUIREMENT OF 380 SF/UNIT



3 USABLE SPACE EXHIBIT - SIXTH FLOOR PLAN

1" = 20'-0"



1 USABLE SPACE EXHIBIT - SECOND FLOOR PLAN

1" = 20'-0"



2 USABLE SPACE EXHIBIT - SITE PLAN

1" = 20'-0"



**LEGEND**

SHRUB AND GROUND COVER AREA  
PROPOSED TREES  
EXISTING TREES TO REMAIN  
EXISTING TREES TO BE REMOVED  
TREE NUMBER ON EXISTING TREE SUMMARY TABLE (SHEET L-5) AND ARBORIST REPORT

**KEY NOTES**

- SPECIAL PAVING--INTEGRAL COLOR CONCRETE TO MATCH EXISTING
- "TURF BLOCK" GEOGRID REINFORCED PAVING FOR FIRE APPARATUS ACCESS ROAD
- TURF PAVING
- GRAVEL PAVING
- GROUND COVER PAVING
- DROP DOWN BOLLARDS
- PERMEABLE CONCRETE PAVING (SEE CIVIL DRAWINGS)
- STORMWATER TREATMENT AREA/PLANTER (SEE CIVIL DRAWINGS)
- BENCH/SEATING SURFACE
- SITE FURNITURE
- SITE LIGHTING FIXTURE--SEE SITE LIGHTING PLAN
- RAISED PLANTER (ON STRUCTURE)
- TENANT COMMUNITY GARDENING PLANTER
- EXISTING APPROX. 6 FT HIGH STUCCO/MASONRY WALL AT PL TO REMAIN
- SEATING AREA AT ENTRY TO PARK
- EXISTING PLANTING AREAS TO BE INFILLED WITH PLANT MATERIAL AS NEEDED
- PERMEABLE PAVERS
- BIKE SHARE PARKING
- EXISTING PLAY LOT TO BE RENOVATED
- PROPOSED TRANSFORMER(S)

**PROPOSED PLANT LIST (SUMMARY FOR L-1 AND L-2)**

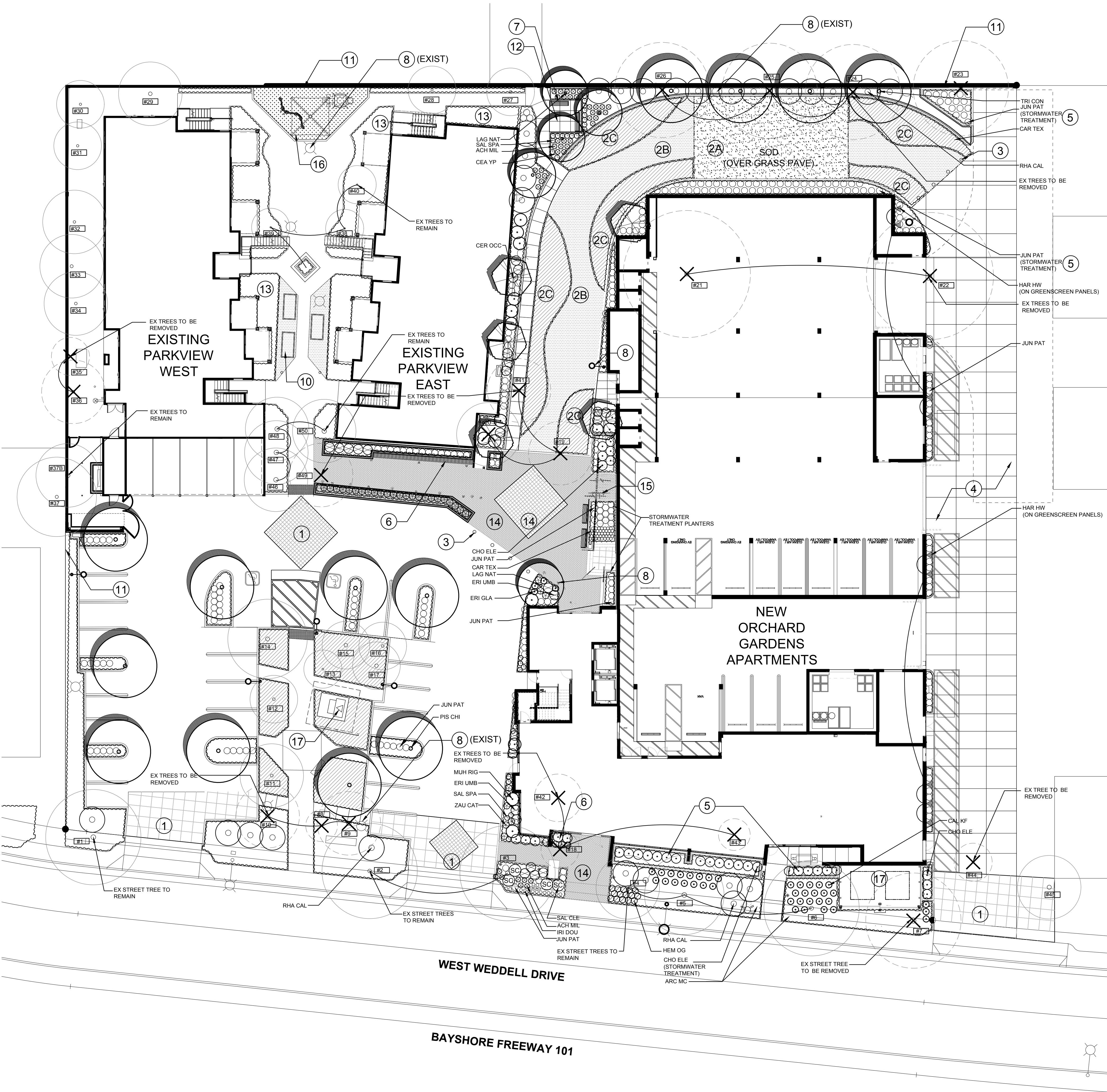
PLANT LIST							
ABBREV. TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANT.	CA Native	MSC. NOTES & REQUIREMENTS	
CER OCC	<i>Cercis occidentalis</i>	Western Redbud	24" Box	15	X	SL/Stem up.	
LAG NAT	<i>Lagerstroemia l. 'Natchez'</i>	Crape Myrtle (White)	24" Box	11		Stds. matched forms	
PIS CHI	<i>Pistacia chinensis</i>	Chinese Pistache	24" box	9		H. Br.	
TRI CON	<i>Tristania conferta</i>	Brisbane Box	24" box	4			
SHRUBS							
RHA CAL	<i>Rhamnus californica</i> 'Mound San Bruno'	Coffeeferry	5 G.C.	27	X	Br. Gr., F&B	
SAL CLE	<i>Salvia clevelandii</i>	Cleveland Sage	1 G.C.	10	X		
SAL SPA	<i>Salvia spathacea</i>	Hummingbird Sage	1 G.C.	29	X		
PERENNIALS/BULBS/ANNUALS							
ACH MS	<i>Achillea millefolium</i> 'Moonshine'	Common Yarrow	1 G.C.	75	X		
CAL KF	<i>Calamagrostis a. 'Karl Foerster'</i>	Reed Grass	5 G.C.	4			
CHO ELE	<i>Chloropetalum elephanthum</i>	Large Cape Rush	1 G.C.	47			
ERI GLA	<i>Erigeron glaucus</i>	Beach Aster	1 G.C.	91	X		
ERI UMB	<i>Eriogonum umbellatum</i> 'Polyanthem'	Sulfur Buckwheat	1 G.C.	26	X		
HEM OG	<i>Hemerocallis</i> 'Our Gertrude'	Evergreen, repeat bloom Daylily	B.R.	15	X	Double fan min., plant at 18" o.c. max.	
IRI DOU	<i>Iris douglasiana</i>	Douglas Iris	1 G.C.	137	X		
JUN PAT	<i>Juncus patens</i>	California Grey Rush	1 G.C.	333	X		
MUH RIG	<i>Muhlenbergia rigens</i>	Deer Grass	5 G.C.	16	X		
PEN ALO	<i>Pennisetum alopecuroides</i>	Fountain Grass	1 G.C.	12			
ZAU CAT	<i>Zauschneria 'Catalina'</i>	California Fuchsia	1 G.C.	36	X		
GROUNDCOVERS							
ARC MC	<i>Arctostaphylos hookeri</i> 'Monterey Carpet'	Monterey Manzanita	5 G.C.	1390 SF	X	Plant at 24" o.c.	
CEA YP	<i>Ceanothus griseus</i> var h. 'Yankee Point'	Yankee Point California Lilac	1 G.C.	660 SF	X	Plant at 48" o.c.	
CAR TEX	<i>Carex texensis</i>	Catlin Sedge	1 G.C.	1940 SF		Plant at 15" o.c.	
VINES							
HAR HW	<i>Hardenbergia violacea</i> 'Happy Wanderer'	N.C.N.	5 G.C.	9			
LAWN (SOD)							
SOD	Sodded lawn shall be "Native Mow Free" drought tolerant mix available through Delta Bluegrass Co., (800) 637-5873				X		
PLANT LIST ABBREVIATIONS:							
SL	Single main, straight, dominant, leader						
H. Br.	High branched--lowest limbs held above football 5' min. for 15 gallon can 6' min. for 24" box trees						
No Top	No topping or pruning of upper branches						
Br. Gr.	Branched to ground						
F & B	Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no old/woody plants.						
N.V.S.-30 deg.	Narrow upright vase shape 30 degrees or less spread in branch/trunk structure						
N.V.S.-45 deg.	Narrow upright vase shape 45 degrees or less spread in branch/trunk structure						
T.F.	Tree Form						
S.F.	Shrub Form						
N.F.	Narrow upright Form						
Mult. St.	Multi stemmed						
G.C.	Gallon Can						
Stem up.	Stem up to expose trunk and lower branch pattern						
O.C.	On center						

**NOTES**

- FOR PROPOSED TREE REPLACEMENTS AND ADDITIONAL TREES SEE SHEET L-5.
- FOR SOIL PREPARATION NOTES SEE SHEET L-2.

Taniguchi Landscape Architecture  
CLA 2842  
1013 South Claremont St. Ste 1  
San Mateo, CA 94401  
tel: 650.638.9866  
fax: 650.638.9868

**NOTES**  
Signature: [Signature]  
Date: 07/15/25  
Reviewed: [Signature]  
Date: 10/31/28  
STATE OF CALIFORNIA



0 8' 16' 32'  
SCALE: 1/16" = 1'-0"

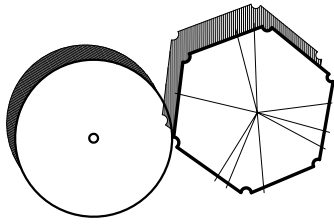
PLAN: FIRST FLOOR



**LEGEND**



SHRUB AND  
GROUNDCOVER AREA



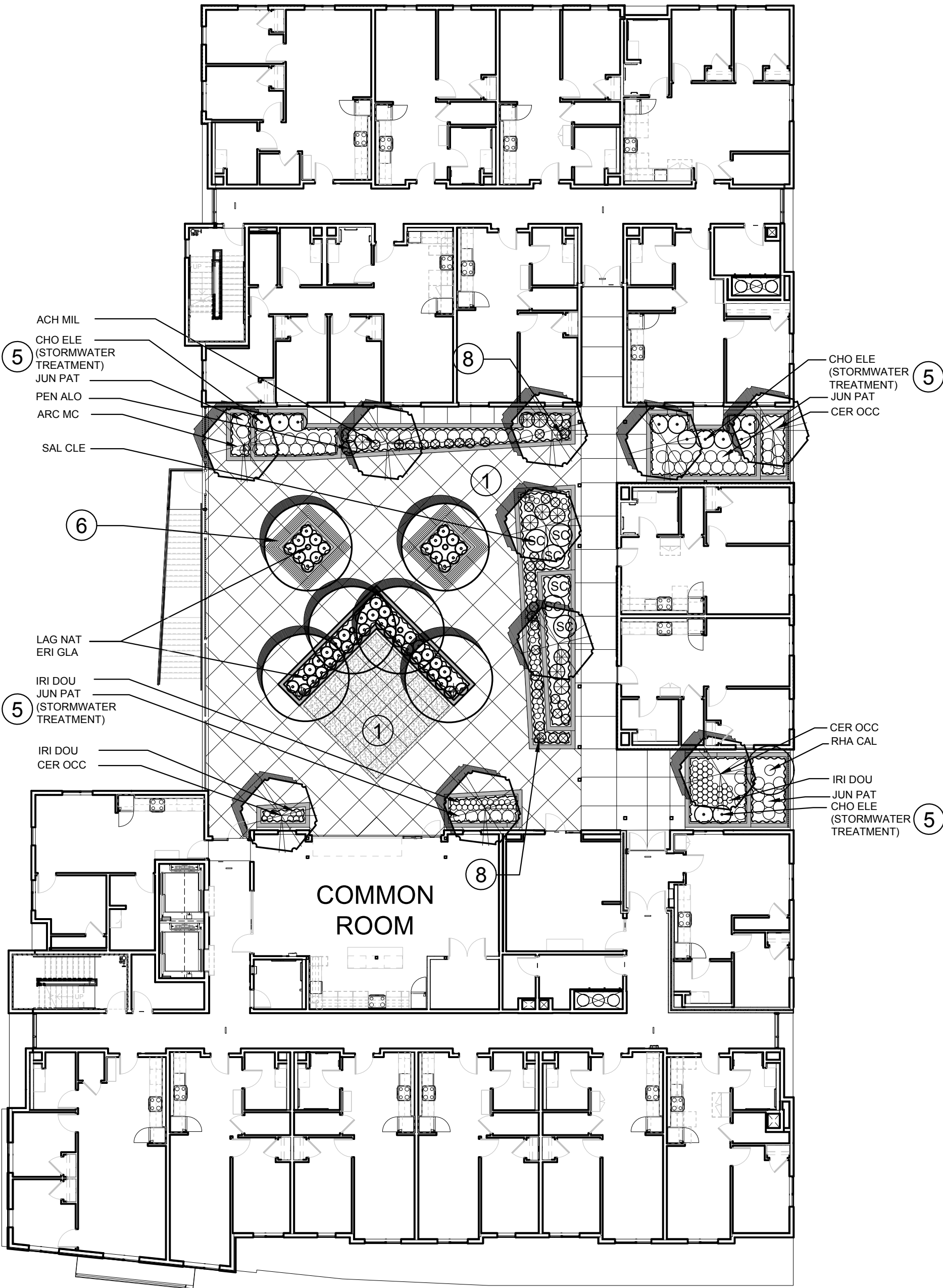
PROPOSED TREES

**KEY NOTES**

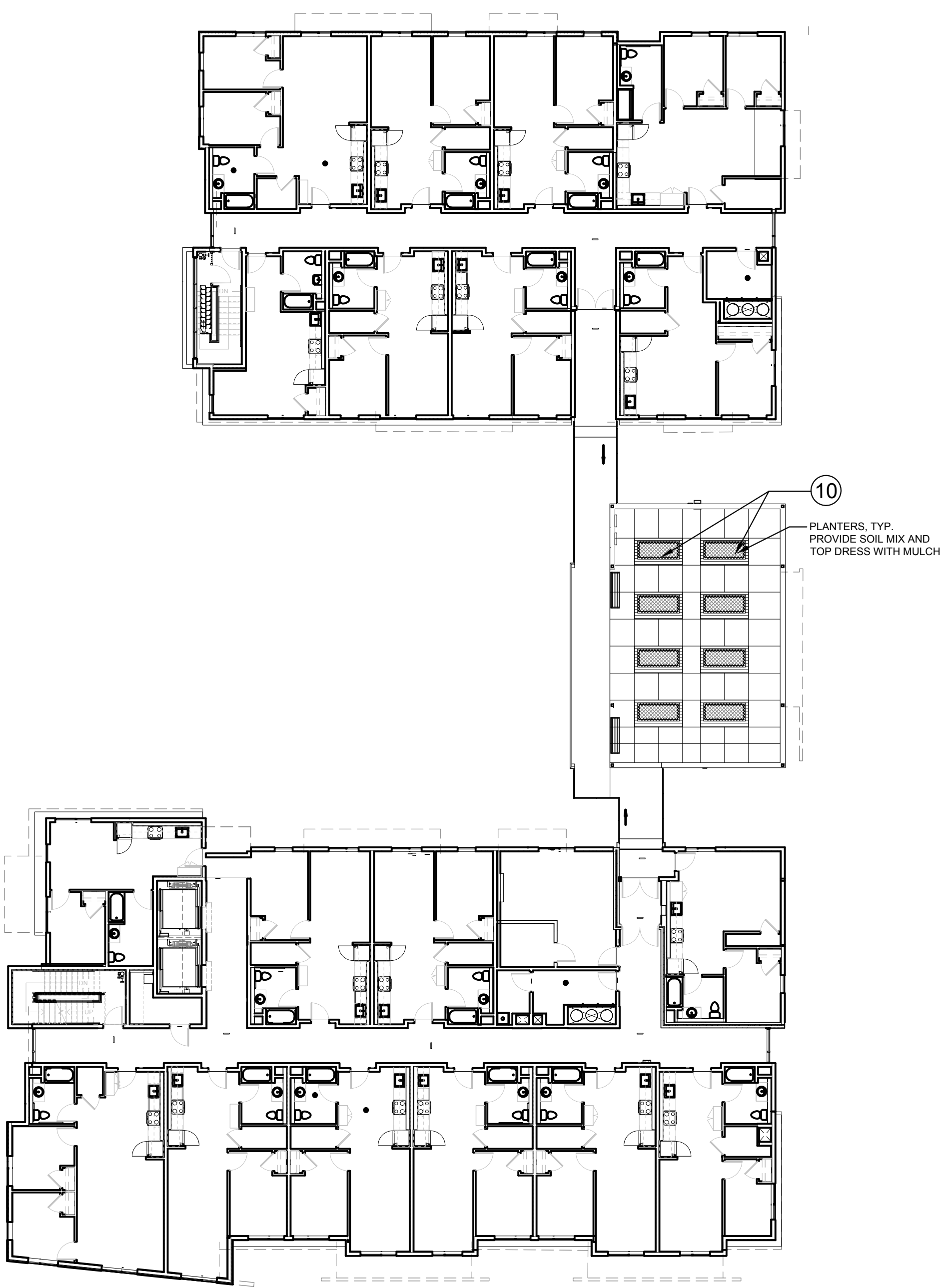
- ① SPECIAL PAVING--INTEGRAL COLOR CONCRETE
- ⑤ STORMWATER TREATMENT AREA/PLANTER (SEE CIVIL DRAWINGS)
- ⑥ BENCH/SEATING SURFACE
- ⑧ SITE LIGHTING FIXTURE--SEE SITE LIGHTING PLAN
- ⑨ RAISED PLANTER (ON STRUCTURE)
- ⑩ TENANT COMMUNITY GARDENING PLANTER

**NOTES**

- SEE PLANT LIST, SHEET L-1.
- FOR PROPOSED TREE REPLACEMENTS AND ADDITIONAL TREES SEE SHEET L-5.
- INSTALL 3" DEEP LAYER OF MULCH IN ALL PLANTING AREAS (OTHER THAN TURF AREAS). MULCH TO BE ORGANIC RECYCLED CHIPPED WOOD IN DARK BROWN COLOR.
- COMPOST WILL BE INCORPORATED AT A MINIMUM 4 CUBIC YARDS PER 1000 SF TO A DEPTH OF 6 INCHES. A QUALIFIED SOIL TESTING LABORATORY SHALL COMPLETE A SOIL FERTILITY TEST PRIOR TO AMENDING THE PLANTING SOIL AND SHALL PROVIDE RECOMMENDATIONS FOR ORGANIC COMPOST TO BRING THE SOIL ORGANIC MATTER TO A MINIMUM OF 5% BY DRY WEIGHT AND INCORPORATING ORGANIC FERTILIZERS TO RECOMMENDED LEVELS FOR THE PLANTING AREAS. THE FINAL TESTING RESULTS, RECOMMENDATIONS AND ORGANIC COMPOST SHALL BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT.



PLAN: SECOND LEVEL



PLAN: SIXTH LEVEL






HYDROZONE LEGEND

	LOW WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
	MEDIUM WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
	HIGH WATER USE
H #X	HYDROZONE NUMBER

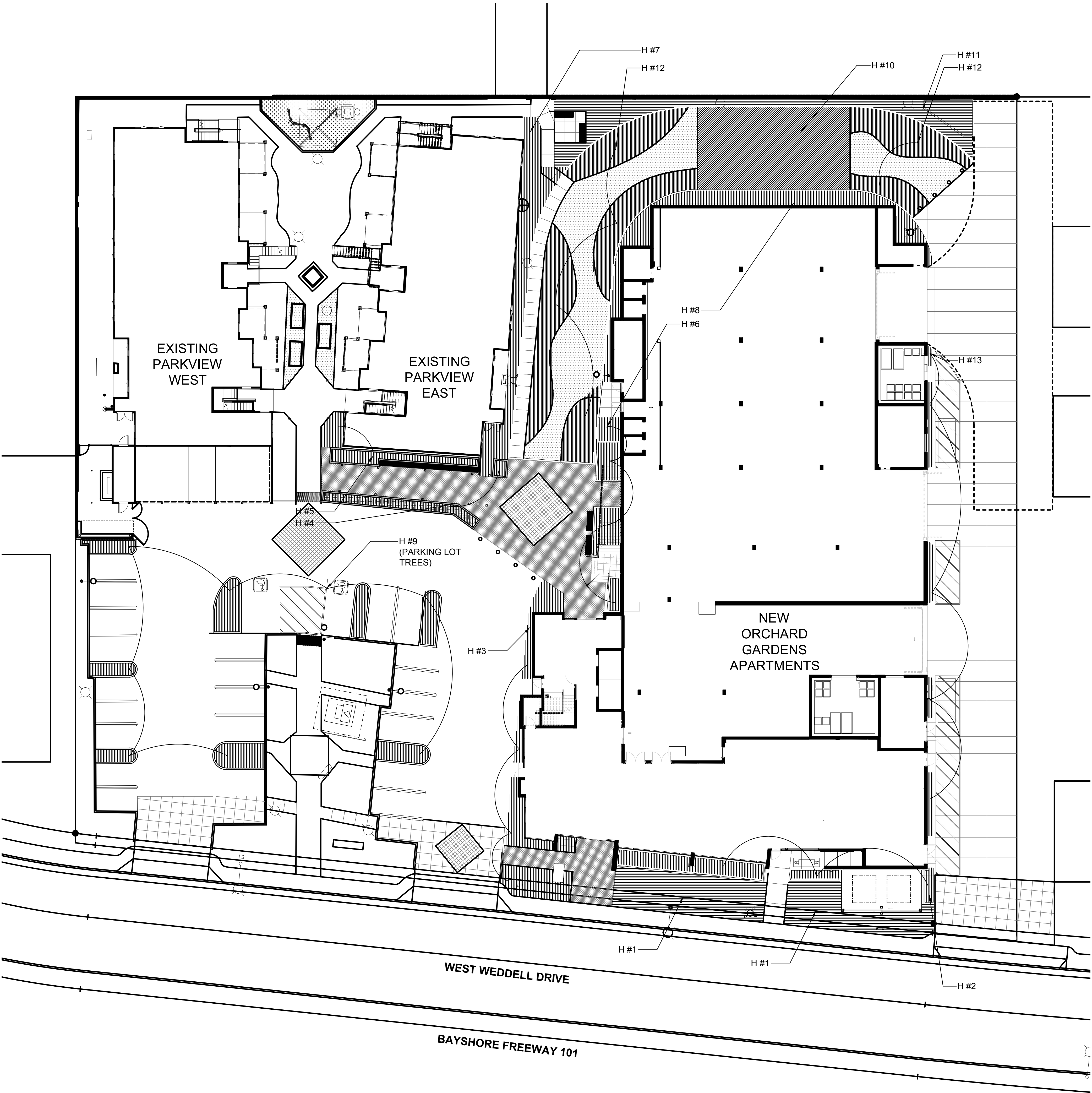
	MAXIMUM APPLIED WATER ALLOWANCE	PROJECT #:
MAWA = (ETo) x (0.62) x [(0.45 x LA)+(0.55 x SLA)]		
ETo**	San Jose (Sunnyvale)	45.30 ETo (inches/year)
Enter total project Landscaped Area	10,023	LA (square feet)
Enter Special Landscaped Area	0	SLA (square feet)
RESULTS:	126,677.69	MAWA (gallons/year)

 ESTIMATED TOTAL WATER USE		PROJECT #:				
ETWU = (ETo) x (0.62) x [(PF x HA)/IE + SLA]						
<b>Irrigation Efficiency Values</b>						
Drip System	0.81	ETWU = Estimated total water use per year (gallons per year)				
Overhead Spray System	0.75	ETo = Reference Evapotranspiration (inches per year)				
Water Feature/Other	0.75	PF = Plant Factor from WUCOLS* or equivalent reference subject to approval				
<b>Plant Water Use Type</b>		HA = Hydrozone Area (square feet)				
Very Low	0 - 0.1	SLA = Special Landscaped Area (square feet)				
Low	0.2 - 0.3	0.62 = Conversion Factor (to gallons per square foot)				
Moderate	0.4 - 0.6	IE = Average Irrigation Efficiency (minimum 0.75, assumed to be 0.76 for overhead spray system and 0.81 for drip system)				
High	0.7 - 1.0					
Water Feature (High)	1.0					
SLA	1.0					
<b>HYDROZONE TABLE</b>						
Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Irrigation Type	Irrigation Efficiency (IE)	Hydrozone Area (HA) (sq ft)	[PF x HA]/IE (sq ft)
Zone 1	Moderate	0.4	Drip System	0.81	1,129	558
Zone 2	Low	0.2	Drip System	0.81	277	68
Zone 3	Low	0.2	Drip System	0.81	528	130
Zone 4	Low	0.2	Drip System	0.81	152	38
Zone 5	Low	0.2	Drip System	0.81	203	50
Zone 6	Low	0.2	Drip System	0.81	265	65
Zone 7	Low	0.2	Drip System	0.81	641	158
Zone 8	Low	0.2	Drip System	0.81	552	136
Zone 9	Low	0.5	Drip System	0.81	655	404
Zone 10	High	0.8	Overhead Spray System	0.75	1,262	1,346
Zone 11	Moderate	0.4	Drip System	0.81	843	416
Zone 12	Low	0.2	Overhead Spray System	0.75	1,932	515
Zone 13	Low	0.2	Drip System	0.81	164	40
Zone 14	Low	0.2	Drip System	0.81	468	116
Zone 15	Low	0.2	Drip System	0.81	539	133
Zone 16	Low	0.2	Drip System	0.81	245	60
Zone 17	Moderate	0.5	Drip System	0.81	168	104

NOTES

1. FOR IRRIGATION CONCEPT AND STANDARDS, SEE SHEET L-4.

PLAN: FIRST FLOOR





HYDROZONE LEGEND

- LOW WATER USE  
(SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- MEDIUM WATER USE  
(SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- HIGH WATER USE  
(OVERHEAD SPRAY)

H #X                      HYDROZONE NUMBER

CONCEPTUAL IRRIGATION STATEMENT

- 1 Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials; 2) groundcovers, and 3) native and water conserving plant materials.
- 2 Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
- 3 Part shade areas include moderate water use areas having morning and/or afternoon shade.
- 4 Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide moist conditions.
- 5 Layout shall be designed for minimum runoff and overspray onto non-landscaped areas
- 6 Low volume sprinklers shall be used wherever possible with head to head coverage.
- 7 Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
- 8 Drip irrigation shall be utilized at non-traffic or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
- 9 The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
- 10 Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

STANDARDS FOR IRRIGATION EQUIPMENT

- 1 Mainslines shall be 1120 pvc-schedule 40 for pipe size 1 1/2" and smaller, 1120 pvc-class 315 for pipe sizes 2" and 2 1/2", bell and ring pvc-class 160 for pipe sizes 3" and larger.
- 2 Lateral lines shall be 1120 pvc-class 200.
- 3 Depth of mainsline:    24" of cover  
Depth of lateral line:   18" of cover  
Depth of pipe under paving: 24" of cover encased in a sleeve
- 4 Backflow preventer shall be a type approved by and installed per local codes.
- 5 Sprinklers shall have matched precipitation rates within each control valve circuit.
- 6 Precipitation rates for sprinklers shall match soil absorption rate.
- 7 Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
- 8 Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
- 9 Rain sensing override devices shall be installed with controller.

NOTES

1. FOR IRRIGATION WATER USE CALCULATIONS, SEE SHEET L-3.

ORCHARD GARDENS  
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

REVISIONS

IRRIGATION HYDROZONE PLAN  
SECOND AND SIXTH LEVELS

SDP Planning Resubmittal

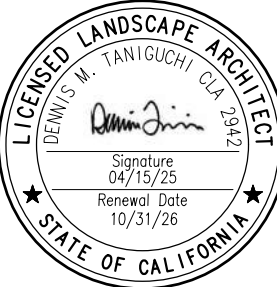
Issued:    04.15.2025

Job:    FCH\_ORC  
      TLA 20001

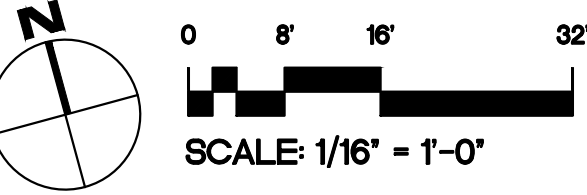
Sheet

L-4

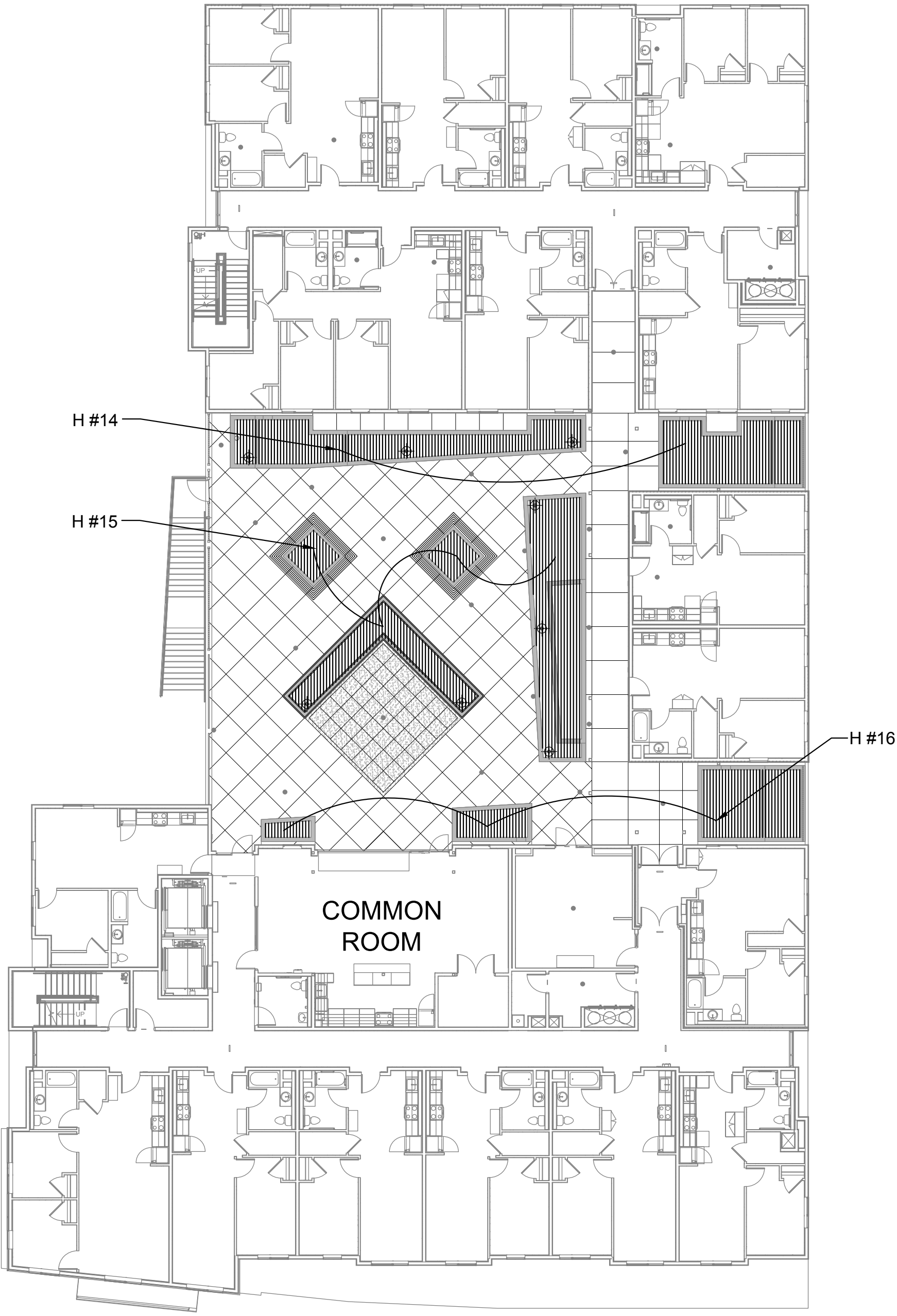
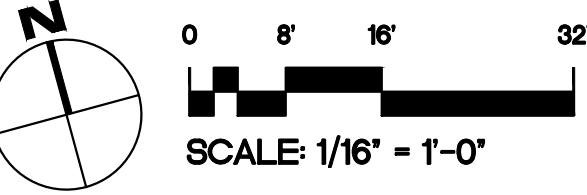
Taniguchi Landscape Architecture  
CLA 2842  
1013 South Claremont St. Ste 1  
San Mateo, CA 94401  
tel. 650.638.9886  
fax. 650.638.9886



PLAN: SIXTH LEVEL



PLAN: SECOND LEVEL





LEGEND

- EXISTING TREES  
TO REMAIN  
# X TREE NUMBER ON EXISTING TREE  
SUMMARY TABLE  
EXISTING TREES  
TO BE REMOVED

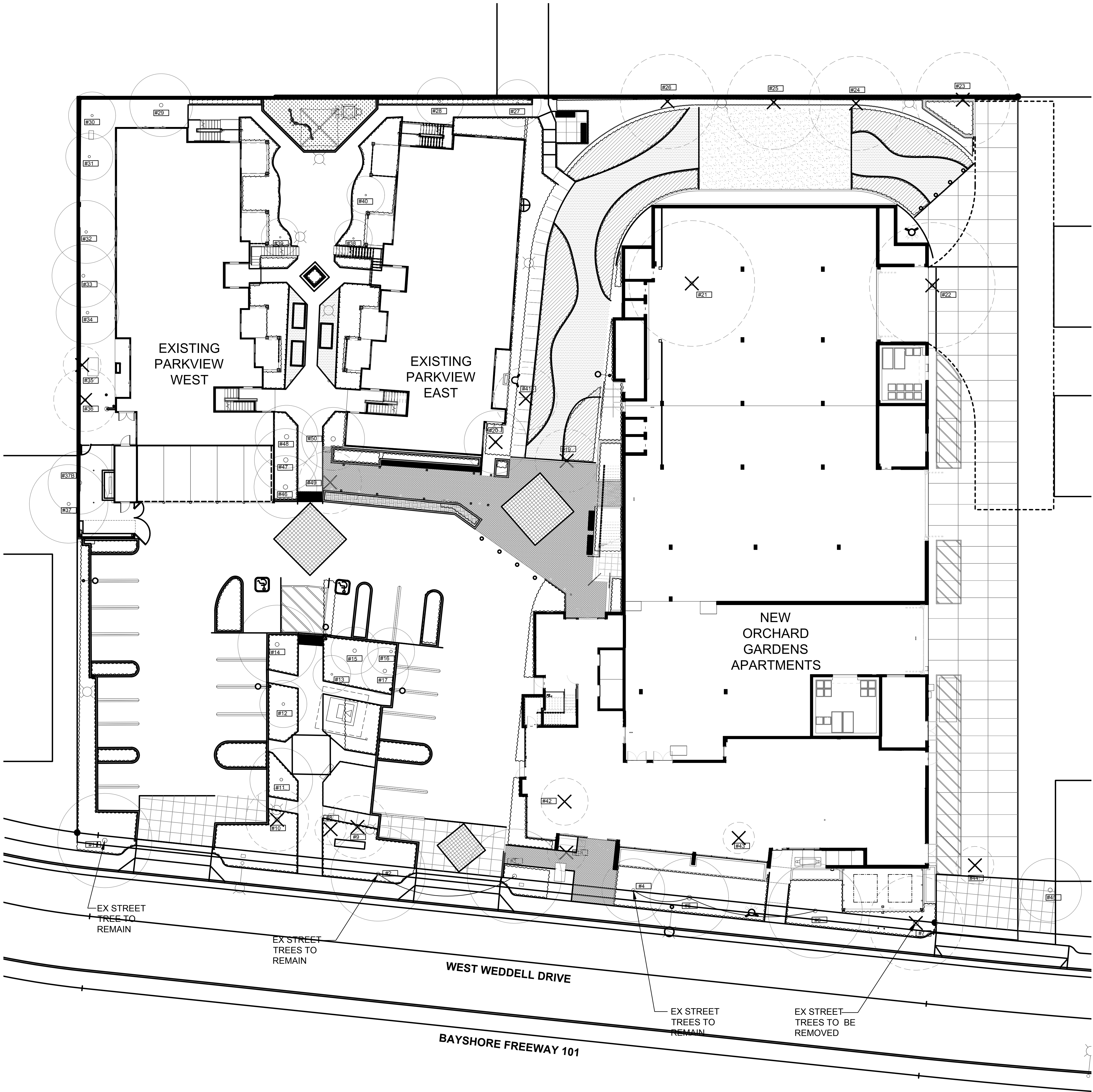
EXISTING TREE SUMMARY

REFER TO ARBORIST REPORT BY KIELTY ARBORIST SERVICES LLC, CERTIFIED ARBORIST WE#0476A,  
SEPTEMBER 14, 2020 FOR 245 WEST WEDDELL DRIVE, SUNNYVALE CA

245 West Weddell 9/14/20 Survey: Tree# Species DBH CON HT/SP Comments 1P London plane 13.8 70 45/30 Good vigor, good form, street tree. 2P London plane 13.8 70 45/30 Good vigor, good form, street tree. 3P London plane 15.8 70 45/30 Good vigor, fair form, street tree. 4P London plane 12.6 50 35/20 Fair vigor, poor form, suppressed, no room for tree. 5P Chinese elm 18.0 65 35/25 Good vigor, fair form, dense canopy. 6P London plane 15.0 65 45/30 Fair vigor, fair form, over extended limbs, damaging sidewalk, reduction pruning needed. 7P/R Chinese elm 19.8 65 35/30 Good vigor, fair form, history of limb loss, damaging sidewalk. 8 Locust 6.2 30 25/10 Poor vigor, poor form, decay on trunk. 9R Locust 6.3 0 15/10 DEAD 10R Locust 8.0 30 25/10 Poor vigor, poor form, decay on trunk. 11 Evergreen pear 11.0 60 25/20 Good vigor, fair form, mature. 12 Evergreen pear 10.5 50 20/15 Fair vigor, poor form, decay on trunk, suppressed. 13 Locust 7.2 45 30/12 Fair vigor, poor form, suppressed, no room for tree. 14P African name 15.3 70 20/25 Good vigor, good form. (Pittosporum)	245 West Weddell 9/14/20 Survey: Tree# Species DBH CON HT/SP Comments 16 African name 10.5 65 20/15 Good vigor, fair form, suppressed. 17P African name 13.5 65 20/15 Good vigor, fair form, suppressed. 18R Crap myrtle 6.9 65 20/12 Fair vigor, fair form, suppressed, close to building, under egress. 19P/R Evergreen pear 12.0 65 25/20 Good vigor, fair form, close to building. 20R Evergreen pear 10.8 45 25/20 Fair vigor, poor form, leans away from building. 21P/R London plane 15.8 65 40/40 Good vigor, good form, poor location, small planting pit, over extended limbs, needs training. 22P/R London plane 14.5 65 40/40 Good vigor, good form, poor location, small planting pit, over extended limbs, needs training. 23P/R London plane 13.5 65 35/30 Good vigor, fair form, small planting pit, against property line wall. 24R London plane 8.5 65 35/30 Good vigor, fair form, small planting pit, against property line wall. 25R London plane 10.1 65 35/30 Good vigor, fair form, small planting pit, against property line wall. 26R London plane 10.1 65 35/30 Good vigor, fair form, small planting pit, against property line wall. 27 Ornamental plant 9.0 50 25/15 Fair vigor, fair form, against wall and walkway. 28 Ornamental plant 8.5 50 25/15 Fair vigor, fair form, against wall and walkway. (Prunus cerasifera)
245 West Weddell 9/14/20 Survey: Tree# Species DBH CON HT/SP Comments 29P Evergreen pear 13.8 50 30/20 Fair vigor, fair form, close to building. 30 Japanese maple 8.7 70 15/15 Good vigor, fair form, poor union at 3 feet. 31 Locust 9.0 30 30/20 Poor vigor, poor form, in decline. 32 Evergreen pear 9.8 60 25/20 Fair vigor, fair form, close to wall and building. 33 Evergreen pear 11.6 60 25/20 Fair vigor, fair form, close to wall and building. 34 Evergreen pear 10.5 60 25/20 Fair vigor, fair form, close to wall and building. 35R Locust 7.2 0 30/12 DEAD. 36R Locust 10.0 30 35/20 Fair vigor, poor form, included bark, hazard. Recommended for removal. 37P/R Hollywood juniper 12.0 60 30/25 Good vigor, fair form, into property by 10 feet. 37P/R Hollywood juniper 12.0 60 30/20 Good vigor, fair form, into property by 10 feet. 38 Japanese maple 6.0 50 15/12 Fair vigor, fair form. 39 Japanese maple 6.0 50 15/12 Fair vigor, fair form. 40 Japanese maple 6.0 50 15/12 Fair vigor, fair form. 41R Evergreen pear 10.3 65 25/20 Good vigor, fair form, close to building. (Pyrus kawakamii)	245 West Weddell 9/14/20 Survey: Tree# Species DBH CON HT/SP Comments 42R Locust 5.8 45 25/15 Fair to poor vigor, poor form, decay on leaders. 43R Crap myrtle 5.0 60 20/10 Fair vigor, fair form, suppressed. 44R Crap myrtle 7.8 60 25/12 Fair vigor, fair form. 45P/R Hollywood juniper 15-foot 45 30/20 Fair vigor, poor form, against foundation and driveway, poor location. 46 Oleander 5.0 50 10/10 Fair vigor, fair form. 47 Oleander 4.0 50 10/10 Fair vigor, fair form. 48 Oleander 5.0 50 10/10 Fair vigor, fair form. 49R Oleander 5.0 50 10/10 Fair vigor, fair form. 50 Oleander 5.0 50 10/10 Fair vigor, fair form. (Nerium oleander) * indicates neighbors tree P-indicates protected tree by city ordinance.

TREE CANOPY REPLACEMENT				
Number	Tree species   Common Name	DBH (dia)inch	Replacement Tree Quantity	Alternative Tree Size
7	Ulmus parvifolia   Chinese Elm	19.8	One-36" Box	Two-24" Box
19	Pyrus kawakamii   Evergreen Pear	12	One-24" Box	Three-15 Gallon
21	Platanus x hispanica   London Plane	15.8	One-24" Box	Three-15 Gallon
22	Platanus x hispanica   London Plane	14.5	One-24" Box	Three-15 Gallon
23	Platanus x hispanica   London Plane	13.5	One-24" Box	Three-15 Gallon
TOTAL REPLACEMENT TREES NEEDED			One-36" Box and Four-24" Box	Two-24" Box and Twelve-15 Gallon
PROPOSED REPLACEMENT			Two-24" Box and Twelve-15 Gallon (#39-24" box shown on plant list/plans)	

ADDITIONAL TREES		
Landscape Area (SF)	Required Trees per 1,000 SF Landscape Area	# Trees Proposed
10,023	11	39



PLAN: FIRST FLOOR

ORCHARD GARDENS  
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

REVISIONS

EXISTING TREE PLAN

SDP Planning Resubmittal

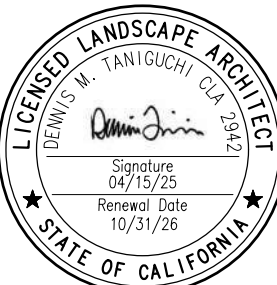
Issued: 04.15.2025

Job: FCH\_ORC  
TLA 20001

Sheet

L-5

Taniguchi Landscape Architecture  
CLA 2842  
1013 South Claremont St. Ste 1  
San Mateo, CA 94401  
tel: 650.638.9866  
fax: 650.638.9868





LEGEND

- EXISTING TREES TO REMAIN  
# X TREE NUMBER ON EXISTING TREE SUMMARY TABLE
- EXISTING TREES TO BE REMOVED

TREE CANOPY DIAGRAM

15 YEAR CANOPY OUTLINE

AT INSTALLATION CANOPY OUTLINE (VARIES WITH NURSERY PRODUCTION AND "CROP") OR EXISTING CANOPY OUTLINE FOR EXISTING TREES TO REMAIN

AREA OF SHADE ON PARKING AREA

EXISTING PARKING LOT

PARKING LOT TREE SHADING		
EXISTING PARKING LOT (SF)	TREE SHADING AT 15 YEARS (SF)	PERCENT SHADING
11,855	6184	52%

SHARED DRIVEWAY

PARKING LOT TREE SHADING		
DRIVE	TREE SHADING AT 15 YEARS (SF)	PERCENT SHADING
6,902	0	0%

EXISTING PARKING LOT AND SHARED DRIVEWAY

PARKING LOT TREE SHADING		
EXISTING PARKING LOT (SF) + DRIVE	TREE SHADING AT 15 YEARS (SF)	PERCENT SHADING
18,757	6184	33%

NOTES:

- THE EXISTING TREES ARE SHOWN WITH 15 YEAR CANOPIES BASED ON LITERATURE SOURCES.
- REFER TO ARBORIST REPORT BY KIELTY ARBORIST SERVICES LLC, CERTIFIED ARBORIST WE#0476A, SEPTEMBER 14, 2020 FOR 245 WEST WEDDELL DRIVE, SUNNYVALE CA
- SEE PROPOSED TREE PLANTING ON SHEET L-1 AND L-2.

ORCHARD GARDENS  
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

REVISIONS

EXISTING PARKING LOT  
SHADING PLAN

SDP Planning Resubmittal

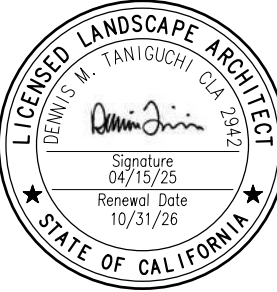
Issued: 04.15.2025

Job: FCH\_ORC  
TLA 20001

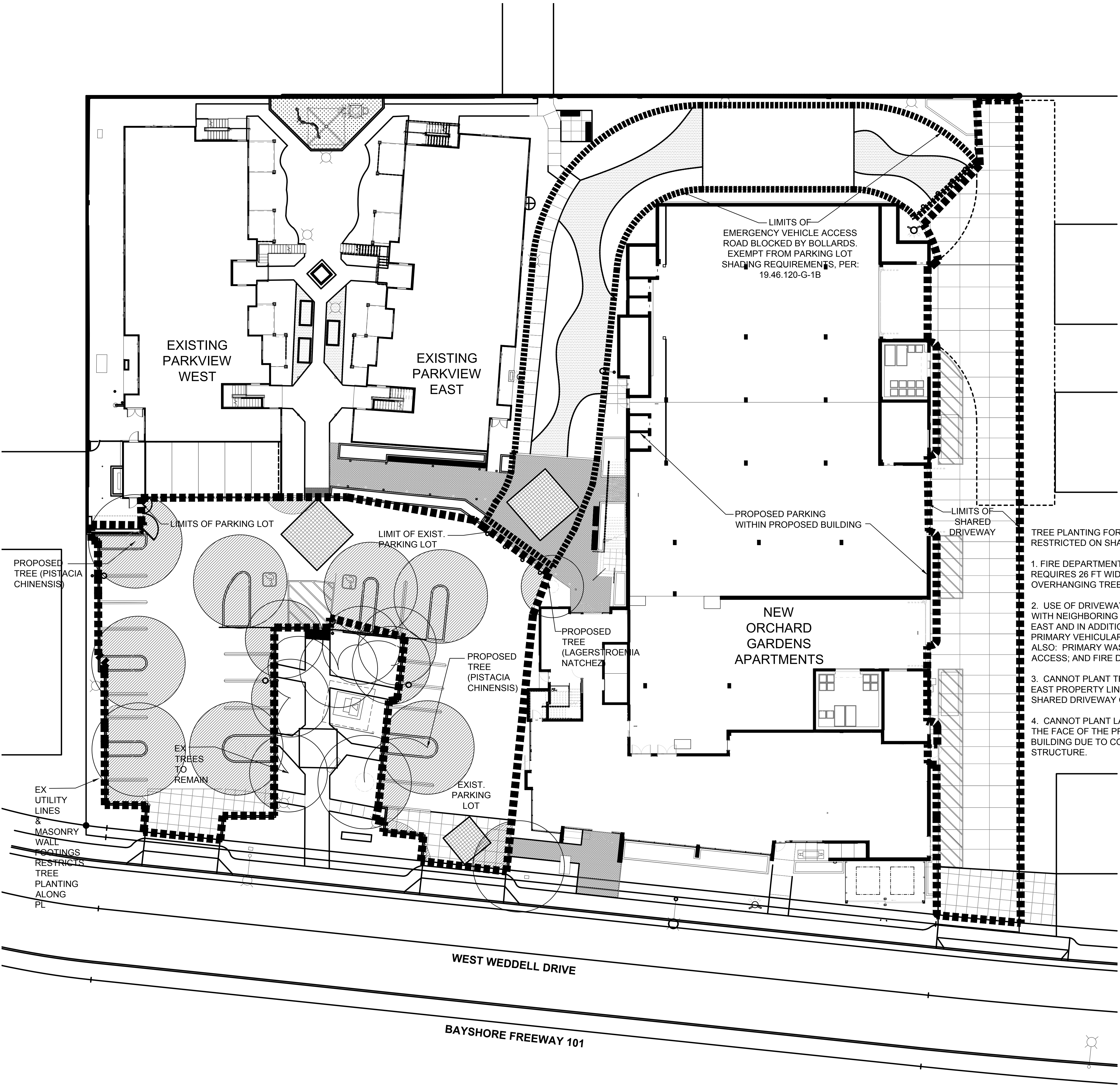
Sheet

L-6

Taniguchi Landscape Architecture  
CLA 2942  
1013 South Claremont St. Ste 1  
San Mateo, CA 94401  
tel: 650.638.9585  
fax: 650.638.9585



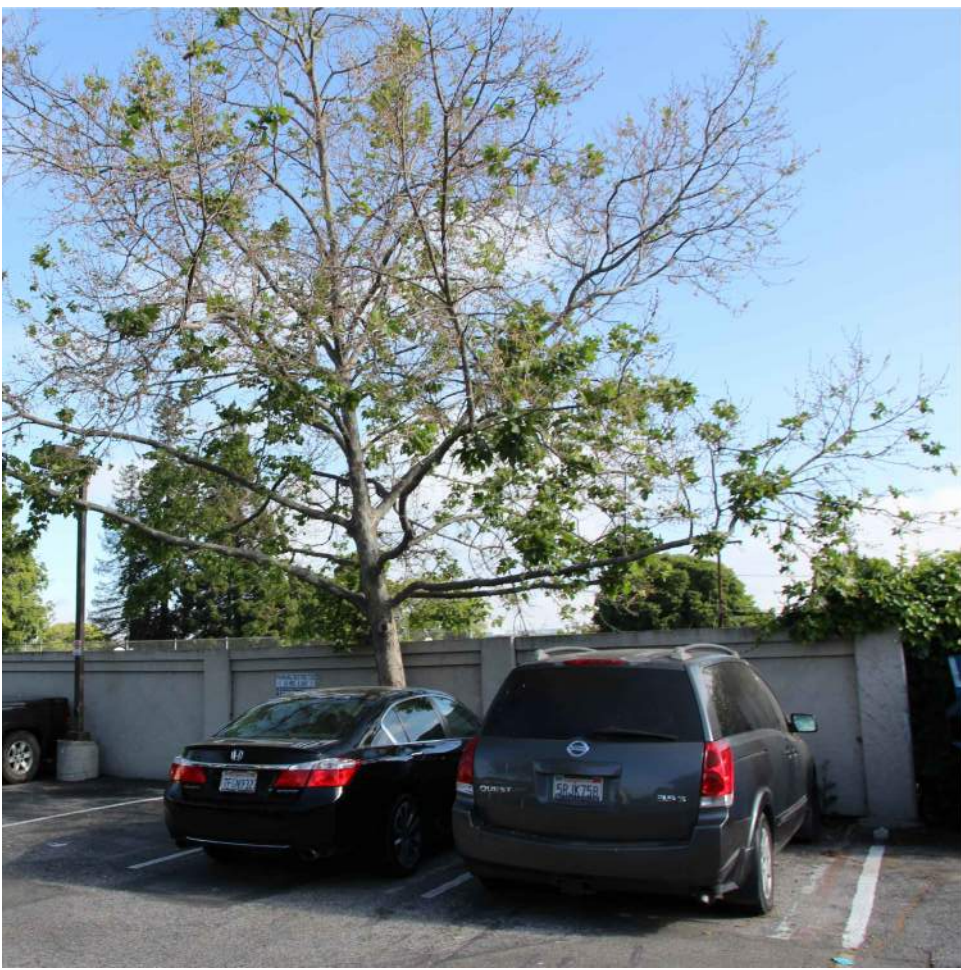
PLAN: FIRST FLOOR







**B**  
EXISTING WALLS  
WEST PROPERTY LINE



NORTH PROPERTY LINE



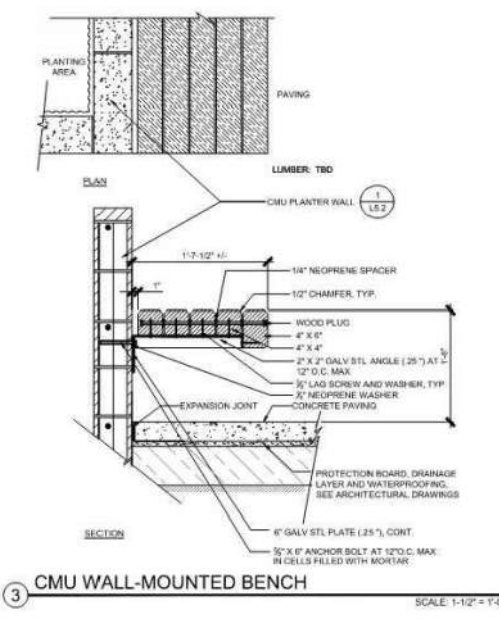
**B**  
PLANTER WALLS  
SEAT WALLS  
WEST PROPERTY LINE



**C**  
PAVING  
CONCRETE SCORING  
INTEGRAL COLOR  
(CONCRETE PAVING &  
CONCRETE WALLS)



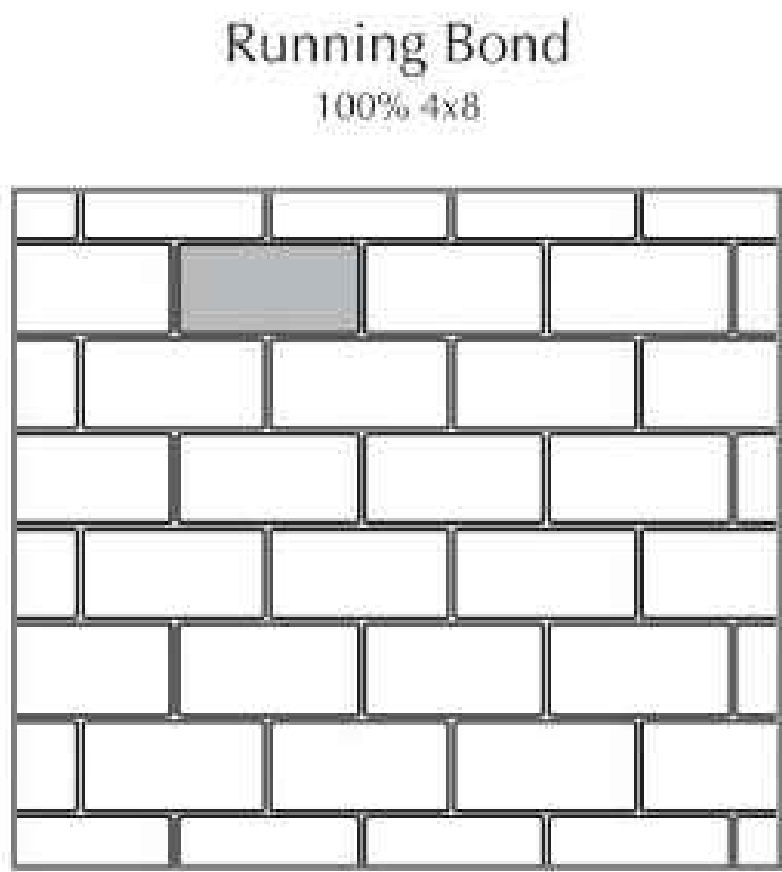
BENCH  
(WALL-MOUNTED)



BENCH (BACKED)



COURTYARD AND  
PEDESTRIAN CROSSING



PERMEABLE PAVER PATTERN  
INTEGRAL COLOR



**G**  
SITE FURNITURE  
TABLES/CHAIRS

MATERIAL	FINISH	COLOR
<b>A</b>	FENCES--No new fences proposed	
<b>B</b>	WALLS	
Existing to be retained on North and West property lines (approx 6 ft. high)	Masonry /stucco	Tan
Planter Walls (24 to 30 in. high)	Integral color concrete	Tan
Seat Walls (18 in high)	Integral color concrete	Tan
<b>C</b>	PAVING	
Concrete	Integral color concrete	Tan
Permeable Concrete Paver	Integral color concrete	Tan
<b>D</b>	LIGHTING	
See Sheets A-7.3 and A-7.4 for exterior fixture types		
<b>E</b>	ARBORS	
Building-mounted. See south and west elevations, Sheet A-4.3 and perspectives, Sheet A-4.2	See exterior finish schedule, Sheet A-8.1	
<b>F</b>	WATER FEATURES	
None proposed		
<b>G</b>	SITE FURNITURE	
Benches--backed and with arms	Factory finish	Light wood tones
Benches--bleacher-type	Factory finish	Light wood tones
Tables/Chairs	Factory finish	Light wood tones



## LEGEND

- | NOTE: NOT ALL ABBREVIATIONS MAY BE USED FOR ALL PROJECTS |                           |         |                            |
|--|---------------------------|---------|----------------------------|
| AB   | AGGREGATE BASE            | (N)     | NEW (PROPOSED)             |
| AC   | ASPHALT CONCRETE          | O.C.    | ON CENTER                  |
| ACC  | ACCESSIBLE                | OFG     | OUTSIDE FINISH GRADE       |
| ARCH   | ARCHITECTURAL             | P       | PAVEMENT SURFACE ELEVATION |
| BOS  | BOTTOM OF STEP ELEVATION  | PERF    | PERFORATED                 |
| BR   | BOTTOM OF RAMP            | PP      | POWER POLE                 |
| BS   | BOTTOM OF STEP ELEVATION  | ℙ       | PROPERTY LINE              |
| BSM  | BIORETENTION SOIL MIX     | PSD     | PERFORATED STORM DRAIN     |
| BTM  | BOTTOM OF SLOPE           | PSD (C) | PERFORATED STORM DRAIN     |
| BW   | BACK OF WALK ELEVATION    | PSD (D) | PERFORATED STORM DRAIN     |
| BOW  | BOTTOM OF WALL ELEVATIONS | (RD)    | RECORD DOCUMENT            |
| CB   | CATCH BASIN               | REINF   | REINFORCED                 |
| CI   | CAST IRON                 | RIM     | RIM ELEVATION              |
| CL   | CENTER LINE               | RS      | RAT SLAB                   |
| C&G  | CURB AND GUTTER           | RWL     | RAIN WATER LEADER          |
| DA   | DIAMETER                  | S=      | SLOPE                      |
| DSD  | DOWNSPOUT                 | S.A.D.  | SEE ARCH DRAWINGS          |
| DW   | DOMESTIC WATER            | SD      | STORM DRAIN                |
| DWY  | DRIVEWAY                  | S.E.D.  | SEE ELECTRICAL DRAWINGS    |
| E  | ELECTRICAL                | SL      | STREET LIGHT               |
| (E)  | EXISTING                  | S.L.D.  | SEE LANDSCAPE DRAWINGS     |
| EB   | ELECTRICAL BOX            | SOV     | SHUT-OFF VALVE             |
| EE   | EDGE OF PAVEMENT          | SS      | SANITARY SEWER             |
| ETW  | EDGE OF TRAVELED WAY      | SSCO    | SANITARY SEWER CLEANOUT    |
| EV   | ELECTRICAL VAULT          | STD     | STANDARD                   |
| FNC  | FENCE                     | S/W     | SIDEWALK                   |
| FH   | FIRE HYDRANT              | STLT    | STREET LIGHT               |
| FF   | FINISHED FLOOR ELEVATION  | T       | TELEPHONE                  |
| FL   | FLOW LINE                 | TOB     | TOP OF BANK                |
| FOC  | FACE OF CURB              | TOE     | TOE OF BANK                |
| G  | GAS                       | TOP     | TOP OF SLOPE               |
| GB   | GRADE BREAK               | TC      | TOP OF CURB                |
| GND  | GROUND ELEVATION          | TOS     | TOP OF STEP ELEVATION      |
| HC   | ACCESSIBLE                | TOW     | TOP OF WALL ELEVATION      |
| HORIZ  | HORIZONTAL                | TP      | TELEPHONE POLE             |
| JP   | JOINT POLE                | TR      | TOP OF RAMP                |
| ICV  | IRRIGATION CONTROL VALVE  | TS      | TOP OF STEP ELEVATION      |
| INV  | INVERT                    | TSB     | TRAFFIC SIGNAL BOX         |
| LF   | LINEAR FEET               | TYP     | TYPICAL                    |
| LS   | LANDSCAPE                 | VERT    | VERTICAL                   |
| MAX  | MAXIMUM                   | VLT     | VAULT                      |
| (ME)   | MATCH EXISTING ELEVATION  | W       | WATER                      |
| MH   | MANHOLE                   | WV      | WATER VALVE                |
| MIN  | MINIMUM                   | UNO     | UNLESS NOTED OTHERWISE     |
| ML   | MONUMENT LINE             |         |                            |

DESCRIPTION	DETAIL	PROPOSED	EXISTING
PROPERTY LINE			---
CENTERLINE			---
ASPHALT PAVEMENT			
ASPHALT SEAL			
CURB & GUTTER			==
VERTICAL CURB		==	
VALLEY GUTTER		==	
SIDEWALK			
ACCESSIBLE RAMP			
STORM DRAIN INLET			
FIRE HYDRANT			
ELECTROLIER			
SANITARY SEWER		---	SS ---
STORM DRAIN		---	SD ---
WATER LINE		---	W ---
DIRECTION & RATE OF SLOPE			
SWALE			
FENCE			---
EDGE OF PAVEMENT			---
CONTOUR			

DETAIL NUMBER

SHEET UPON WHICH DETAIL APPEARS

ARCHITECTS  
**FORA**

650 CASTRO STREET  
SUITE 120 #490  
MOUNTAIN VIEW, CA 94041  
PHONE: 408.295.2210  
WWW.ARCHITECTSFORACON.COM

CE  
C  
E

Professional Engineer  
No. 60493  
Exp. 6/30/26  
4/15/25

Professional Engineer  
No. 60493  
Exp. 6/30/26  
4/15/25

STAMP:  

REGISTERED PROFESSIONAL ENGINEER  
MARTIN V. FORA  
No. 60493  
Exp. 6/30/26  
CIVIL  
STATE OF CALIFORNIA  
4/15/25

CITY STAMP:  

ORCHARD GARDENS REDEVELOPMENT  
DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

PLAN CHECK RESPONSE 1

ISSUED ON:  
09.26.22

© 2022 ALL RIGHTS RESERVED

This document and the ideas incorporated herein, as an instrument of professional service, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

SUBMITTAL	DATE
PERMIT SUBMITTAL	05/06/22
PLAN CHECK RESPONSE 1	09/26/22

No.	REVISION	DATE
1.	ANSWER PLAN CHECK COMMENTS	09/26/22
2.	PLAN CHECK RESPONSE 1	09/26/22

JOB NO.	20001
DRAWN BY:	STAFF
CHECKED BY:	RWH

NOTES,  
LEGEND, &  
ABBREVIATIONS



C1.2



DATE	05/06/23	09/14/23
SUBMITTAL	PERMIT SUBMITTAL	PLAN CHECK RESPONSE 1

DATE	05/06/23	09/14/23
REVISION	1. MODIFIED CHECK RESPONSE 1	2. PLAN CHECK RESPONSE 1

JOB No.	20001
DRAWN BY:	STAFF
CHECKED BY:	RVH

CITY OF SUNNYVALE  
PUBLIC WORKS DEPARTMENT / ENGINEERING DIVISION  
& ENVIRONMENTAL SERVICES DEPARTMENT

November 2021

ABANDONMENT NOTES:

POTABLE AND RECYCLED WATER:

- City Valves:** Contractor shall not open, close, or in any way adjust any City valves including but not limited to valves on mains, laterals, and water meters. Valve operation shall only be performed by City crews.
- Backflow Preventers (BFPs):** Contractor shall not remove or relocate any BFPs without first obtaining a Backflow Installation, Removal, and Relocation Permit (Backflow Permit) from the Utility Billing office, City Hall Annex, 650 W. Olive Avenue (408-730-7400). This permit will provide required steps for BFP removal. After removal of an underground BFP, Contractor shall remove the vault and backfill the trench.
- Water Meters (WMs):** Contractor shall not remove any WMs. Removal of WM shall only be performed by City crews. After WM removal by City, Contractor shall dispose of WM box/vault, backfill trench, and restore surface per City standards and requirements.
- Service Interruption:** Prior to abandonment, Contractor shall coordinate with the Dept of Public Works (DPW) Inspector to schedule the water shutdown. The Contractor shall submit a draft service interruption notification for Inspector review. After approval, the Contractor shall distribute the notification to all affected customers within the shutdown area as defined by the Inspector.
- Lateral Connections at Mains:** Contractor shall not remove any tapping saddles or tees from public mains. This task will only be done by City crews. At these locations, Contractor shall excavate access trench to the dimensions required by the DPW Inspector and shall install shoring for all such trenches, including trenches less than 5 feet deep. DPW Inspector will arrange for City crews to perform disconnection and restoration of the main. After City completes its work, Contractor shall remove any abandoned pipe within 3 horizontal feet of the main and backfill the trench.
- Fire Hydrants:** After lateral abandonment, remove the hydrant bury and any other pipe features to minimum 24-inches below grade. Deliver hydrant barrel to the City's Corp Yard at 221 Commercial St. Contact the DPW Inspector for drop-off coordination.
- Mains and Laterals:** Pipes may be abandoned in place or removed. Pipes 4" and larger to be abandoned in place shall be filled with lightweight cellular concrete (LCC) of 28-day compressive strength between 50 and 200 psi. LCC installer must first be approved by the DPW Inspector. Smaller pipe may be left in place empty.

SEWERS:

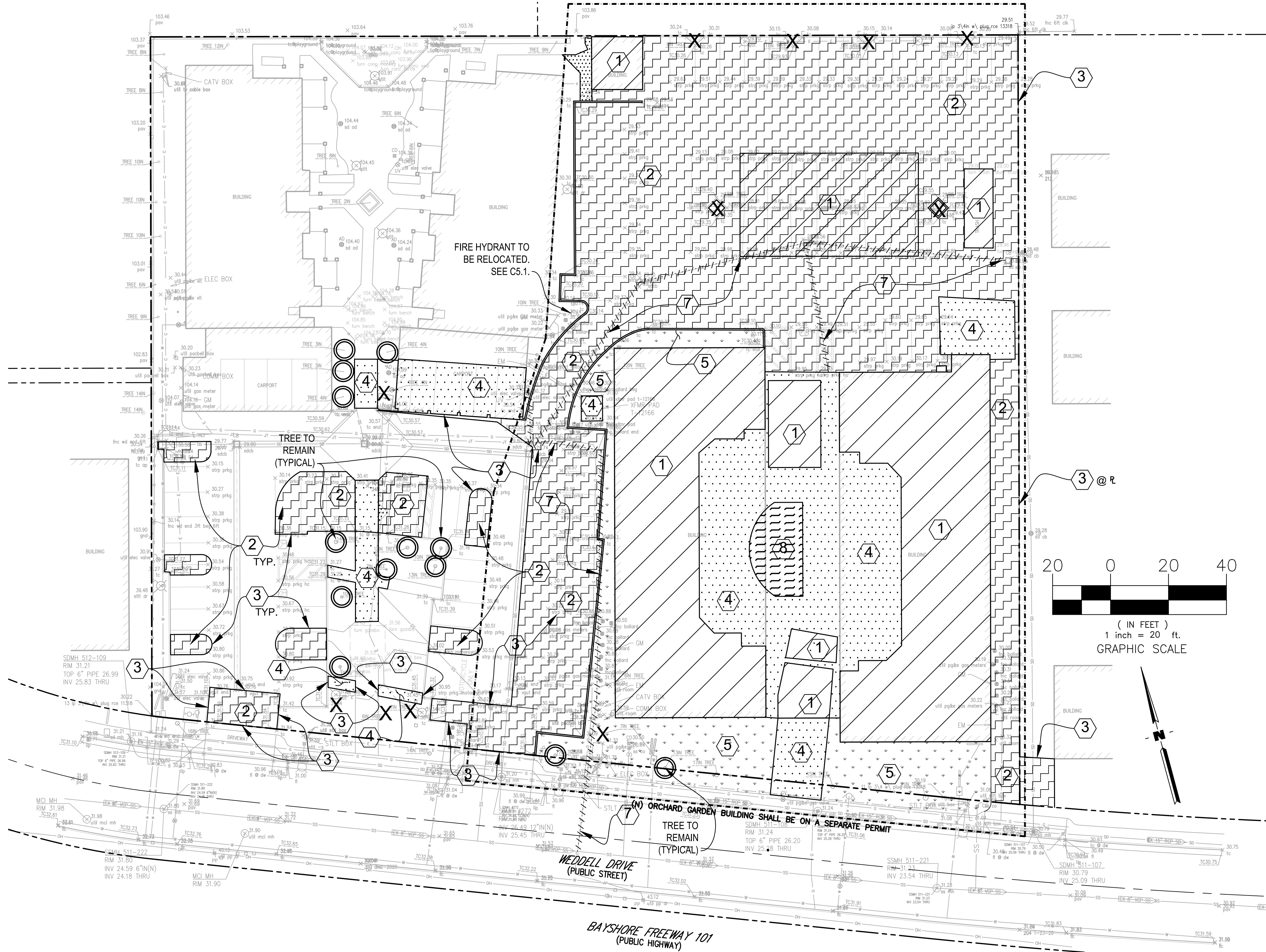
- Lateral connections at mains.**
  - Disconnect lateral from main. Remove existing wye and/or segment of existing main as needed to meet the following requirement. New PVC main segment must connect to minimum 2 horizontal feet of buried & undamaged main where nearest buried joints are minimum 2 feet away from the trench wall. Use flashlight inside the main to check distance to joints. Expose and remove additional main as needed to meet this requirement.
  - Install segment of new SDR 26 PVC main on ¾" crushed rock bedding. Connect new PVC to existing main via couplings with stainless steel shear bands, Mission Flex-Seal ARC or approved equal. For new lateral at same location, install PVC wye with SDR 26 PVC stubs. Do not backfill before inspection and approval from the DPW Inspector.
  - Remove abandoned lateral within 3 horizontal feet of the active sewer main. Remove or abandon in place any remaining lateral extending to the back of walk or property line, whichever is further. Remove any property line cleanout to minimum 24" below grade, and cap remaining riser.
- Mains & Laterals:** Pipes may be abandoned in place or removed. All pipes to be abandoned in place shall be filled with lightweight cellular concrete (LCC) of 28-day compressive strength between 50 and 200 psi. LCC installer must first be approved by the DPW Inspector.
- Abandoned Pipe Connections at Manholes (MHs):** Where abandoned pipe connects to MH(s), enter MH(s) and plug the pipe hole with concrete. Plug shall be finished flush with manhole wall, and any abandoned channel shall be filled with concrete flush with the bench, such that no evidence of a previous connection remains. Repair any remaining active channel(s) as directed by the DPW Inspector. Perform the same task at any private MH to remain at the upstream end of an abandoned lateral.
- Manhole Abandonment:** Break apart existing MH base. Install new SDR 26 PVC main segment per Sewer Note 1 above. Hinged MH frames and lids shall be delivered to the City's Corp Yard at 221 Commercial St. Remove all other MH parts to 4 feet below grade. Abandon in place all deeper MH features. For hardscape surface, backfill void with Class 2 AB to 95% compaction. For unpaved surface, backfill with native soil to 85% compaction.

STORM DRAINS:

- Mains & Laterals:** Follow Sewer Note 2.
- Abandoned Pipes at Manholes and Catch Basins:** Follow Sewer Note 3.
- Manhole Abandonment:** Follow Sewer Note 4, though restore the main with new RCP, Class III or higher.

GENERAL:

- Contractor is responsible for verifying the location of all existing utilities.
- Contact the City or other utility owners as needed for removal, abandonment, or relocation of their facilities.
- Upon discovery of any unidentified utilities, coordinate with the DPW Inspector for direction.
- See demolition plans for removal of on-site improvements.
- Abandonment of all pipes and features shall be shown in the Contractor's detailed redlines. These redlines shall be provided to the engineer of record for the preparation of accurate Record Drawings.



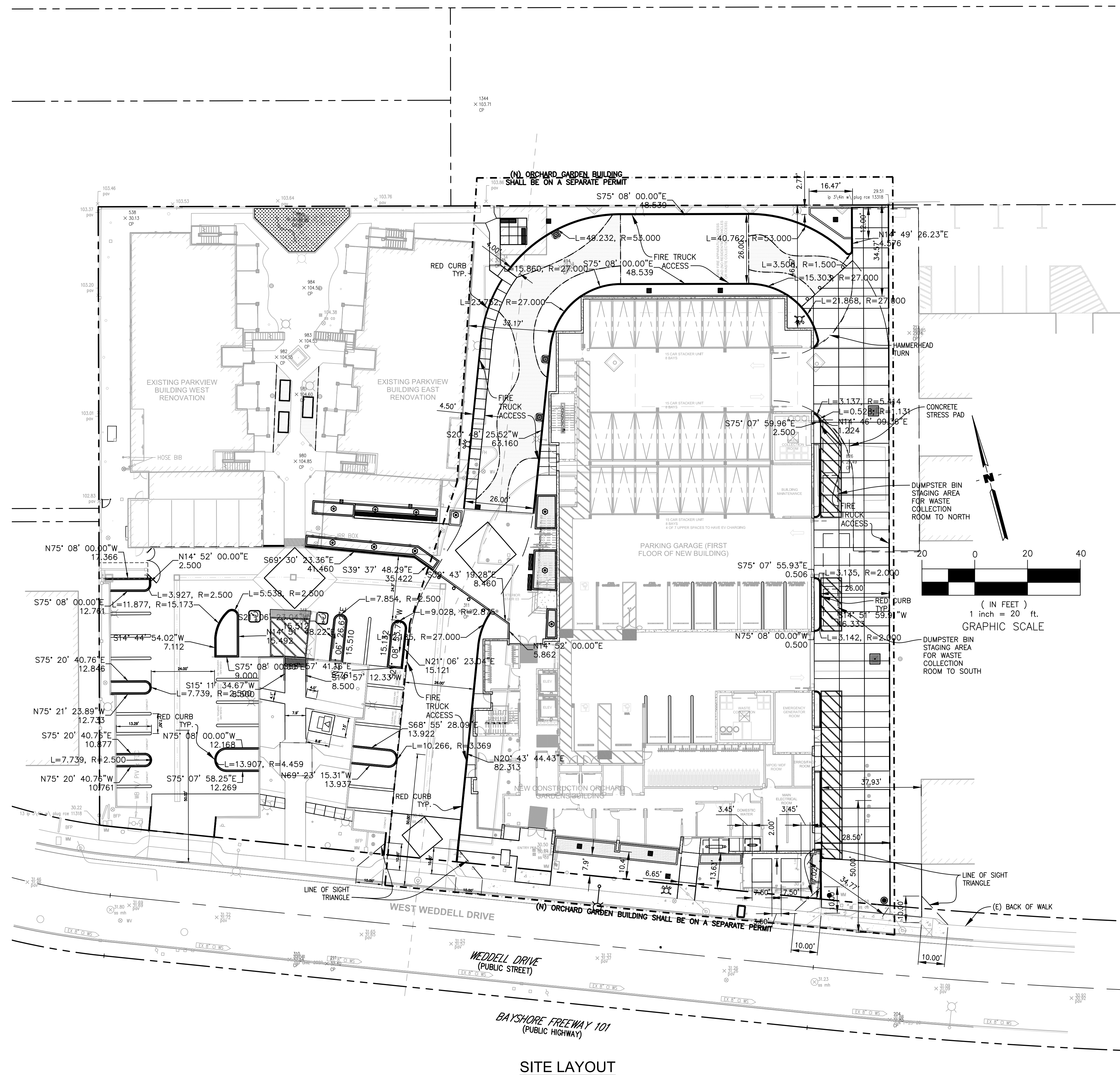
NOTES:

- THE LIMITS OF DEMOLITION SHOWN HEREON ARE TO PROVIDE THE CONTRACTOR WITH A GENERAL SCOPE OF WORK. PRECISE LIMITS OF PAVEMENT REMOVAL AND GRADING SHOULD BE TAKEN FROM THE GRADING AND DRAINAGE PLAN. THE CONTRACTOR SHOULD ALSO REFERENCE LANDSCAPE ARCHITECT PLANS, ARCHITECTURAL PLANS, AND THE CONSTRUCTION DOCUMENTS FOR A COMPLETE SCOPE OF WORK.
- DEMOLITION WORK SHALL CONFORM TO CAL GREEN CODE SECTIONS 5.408.3 (CONSTRUCTION WASTE REDUCTION BY AT LEAST 50%) AND 5.408.4 (EXCAVATED SOIL AND LAND CLEARING DEBRIS), AND LOCAL CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS. THE MOST STRINGENT CODE SHALL PREVAIL.
- ALL SIGNS, POSTS, AND FOOTINGS TO BE REMOVED WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED OTHERWISE.

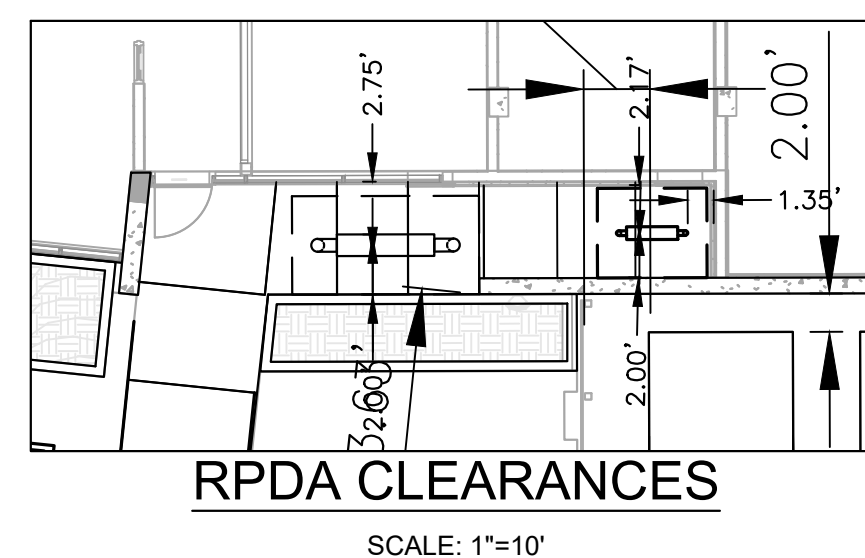
LEGEND

- X TREE TO BE REMOVED  
NOTE: ALL OTHER TREES TO REMAIN UNLESS NOTED OTHERWISE
- O TREE TO REMAIN. CONTRACTOR TO PROVIDE TREE PROTECTION FENCING. NO STORAGE OF MATERIALS UNDER TREE CANOPIES ALLOWED.
- 1 BUILDING OR CARPORT TO BE REMOVED INCLUDING FOUNDATIONS & UTILITIES SEE ARCH. PLANS
- 2 PAVING TO BE REMOVED INCLUDING BASE ROCK & HEADERBOARD
- 3 SAWCUT PAVEMENT- SEE SHEET C3.1 FOR EXACT LIMITS
- 4 CONCRETE TO BE REMOVED INCLUDING BASE ROCK
- 5 SHRUBS AND/OR LANDSCAPING TO BE REMOVED
- 6 FENCE TO BE REMOVED INCLUDING POSTS & FOOTING
- 7 REMOVE UNDERGROUND CONDUIT/ UTILITY & STRUCTURES PLUG CONDUITS. ABANDON SEWER AND WATER LINES PER CITY ABANDONMENT NOTES.
- 8 POOL TO BE REMOVED. SIDE SLOPS OF EXCAVATION SHOULD BE SLOPED AT INCLINATIONS NO STEEPER THAN 3:1.





## SITE LAYOUT



SCALE: 1"=10'

Construction Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.





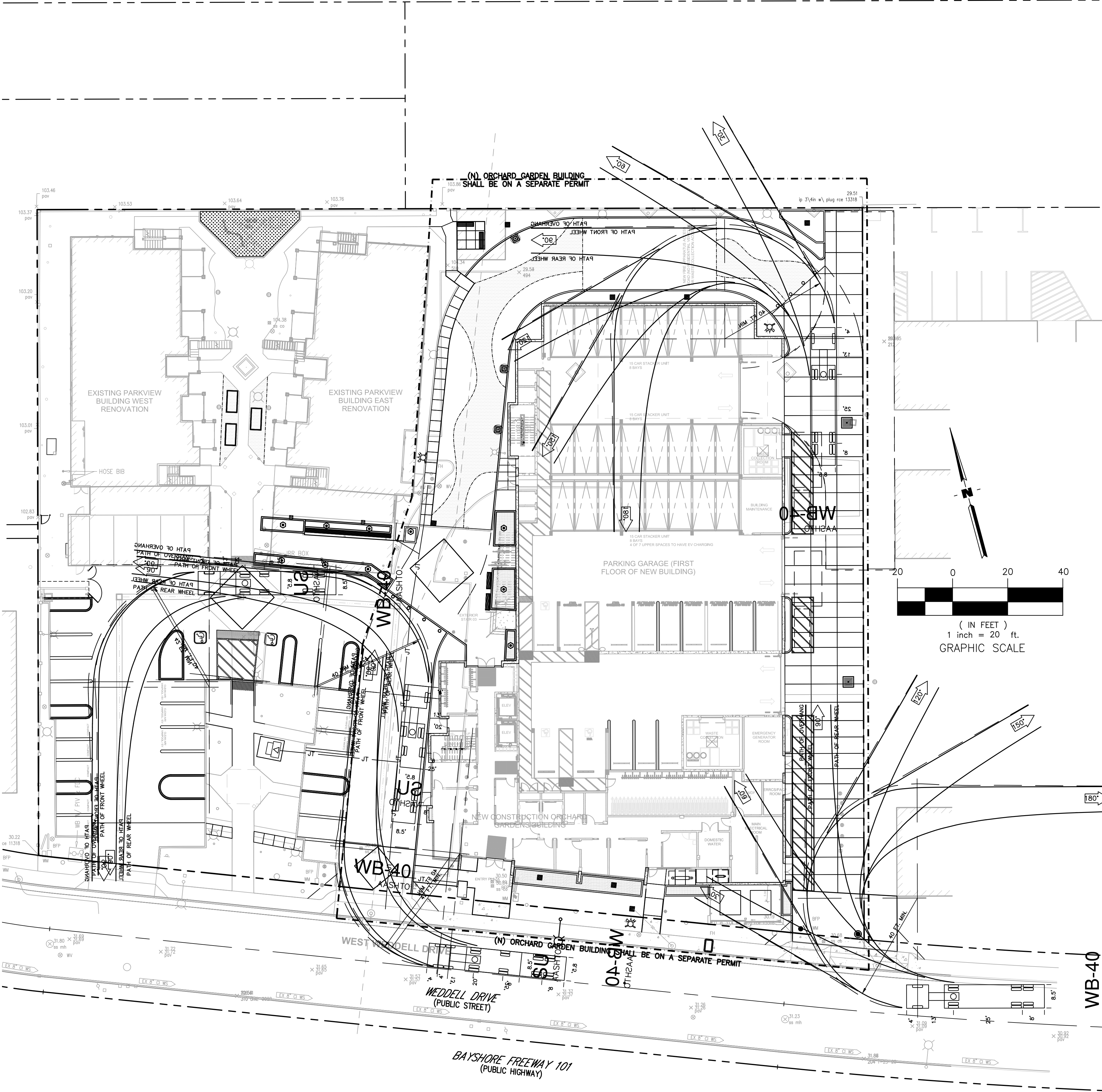
GARBAGE TRUCK



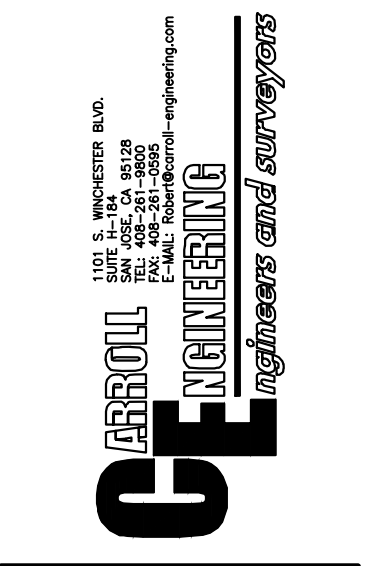
40 FT FIXED AXLE FIRE TRUCK



Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume site and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, cost or damages in connection with the performance of work on this project, including liability arising from the use negligence of design professional.



WB-40/SU TEMPLATE (FIRE/DELIVERY TRUCK)



CITY STAMP:

ORCHARD GARDENS REDEVELOPMENT  
DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W.WEDDELL DRIVE, SUNNYVALE, CA 94089

PLAN CHECK  
RESPONSE 1

ISSUED ON:  
09.26.22

© 2022 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional services, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

DATE	SUBMITTAL	DATE
05/06/23	PERMIT SUBMITTAL	09/26/23
09/26/23	PLAN CHECK RESPONSE 1	

No.	REVISION	DATE
1	1. MODIFIED CHECK COMMENTS	09/26/23
2	2. PLAN CHECK RESPONSE 1	09/26/23

JOB No. 20001  
DRAWN BY: STAFF  
CHECKED BY: RVH

HORIZONTAL  
CONTROL PLAN

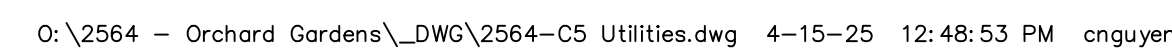


Construction Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, including liability arising from the performance of work on this project, excepting liability arising from the sole negligence of design professional.

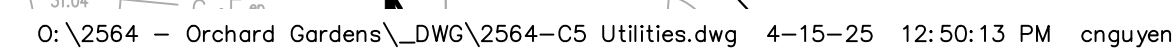














Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to ensure site and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal business hours and construction activities. The contractor shall be responsible for any and all damages, including but not limited to, property damage, personal injury, or death, arising from the site negligence of design professional.

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BE A LICENSED PROFESSIONAL OR CONTRACTOR.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

STORM WATER MANAGEMENT NOTES

- THE STORM WATER MANAGEMENT MEASURES SHOWN HEREON ARE DESIGNED TO BE IN SUBSTANTIAL CONFORMANCE WITH MUNICIPAL REGIONAL STORM WATER PERMIT ORDER NO. R2-2015-0049 AND THE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0009-DWG AS EFFECTIVE IN 2008.
- IT IS THE OWNER'S RESPONSIBILITY TO ENSURE IMPROVEMENTS ARE CONSTRUCTED AND MAINTAINED PURSUANT TO THE AFOREMENTIONED ORDERS. OWNER SHALL IMPLEMENT MAINTENANCE MEASURES PURSUANT TO APPENDIX G OF THE C3 HANDBOOK PUBLISHED BY SCVURPPP.
- LESS THAN 50% OF THE SITE IS BEING COMPLETELY IMPROVED. AS SUCH, ONLY NEW IMPROVEMENTS ARE SUBJECT TO C.3 REQUIREMENTS.
- MITIGATION WAS DESIGNED TO BE ACHIEVED VIA COMBINED FLOW BASED METHODS BASED UPON "C3 STORMWATER HANDBOOK" PUBLISHED BY SCVURPPP AS EFFECTIVE IN 2016.
- THE PROJECT DOES NOT CREATE AND/OR REPLACE MORE THAN ONE ACRE OF IMPERVIOUS AREA. AS SUCH, THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS AS SET FORTH IN THE MS4 PERMIT.
- THE AREA OF DISTURBANCE IS LESS THAN ONE ACRE. AS SUCH, A DISCHARGE PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD IS NOT REQUIRED. HOWEVER, THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES (BMPs) AS SET FORTH IN THE CASQA CONSTRUCTION HANDBOOK.

PERVIOUS MATERIAL DESIGN CRITERIA

- DESIGN SHALL BE REVIEWED AND APPROVED BY A LICENSED GEOTECHNICAL ENGINEER AND THE MORE CONSERVATIVE DESIGN SHALL GOVERN.
- DESIGN FOR PERVIOUS PAVERS SHALL BE REVIEWED BY THE CONCRETE PAVER MANUFACTURER AND THE INTERLOCKING CONCRETE PAVEMENT INSTITUTE (ICPI). A REPORT OF THE SUITABILITY OF THE DESIGN SHALL BE GIVEN TO THE PROJECT ENGINEER PRIOR TO PLACEMENT OF THE PERVIOUS PAVER.
- INSTALLATION OF PERVIOUS PAVERS SHALL ONLY BE DONE BY CONTRACTORS HOLDING A CERTIFICATE OF COMPLETION IN THE ICPI PERVIOUS CONCRETE PAVER INSTALLER TECHNICIAN COURSE. SUCH CONTRACTOR SHALL HAVE AT LEAST ONE FOREMAN WITH THIS CERTIFICATION ON THE JOB SITE AT ALL TIMES.
- ALL NEW PERVIOUS PAVEMENT SHALL HAVE AN INFILTRATION RATE OF 100 IN/HR WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
- PROTECT EXCAVATED AREA FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.

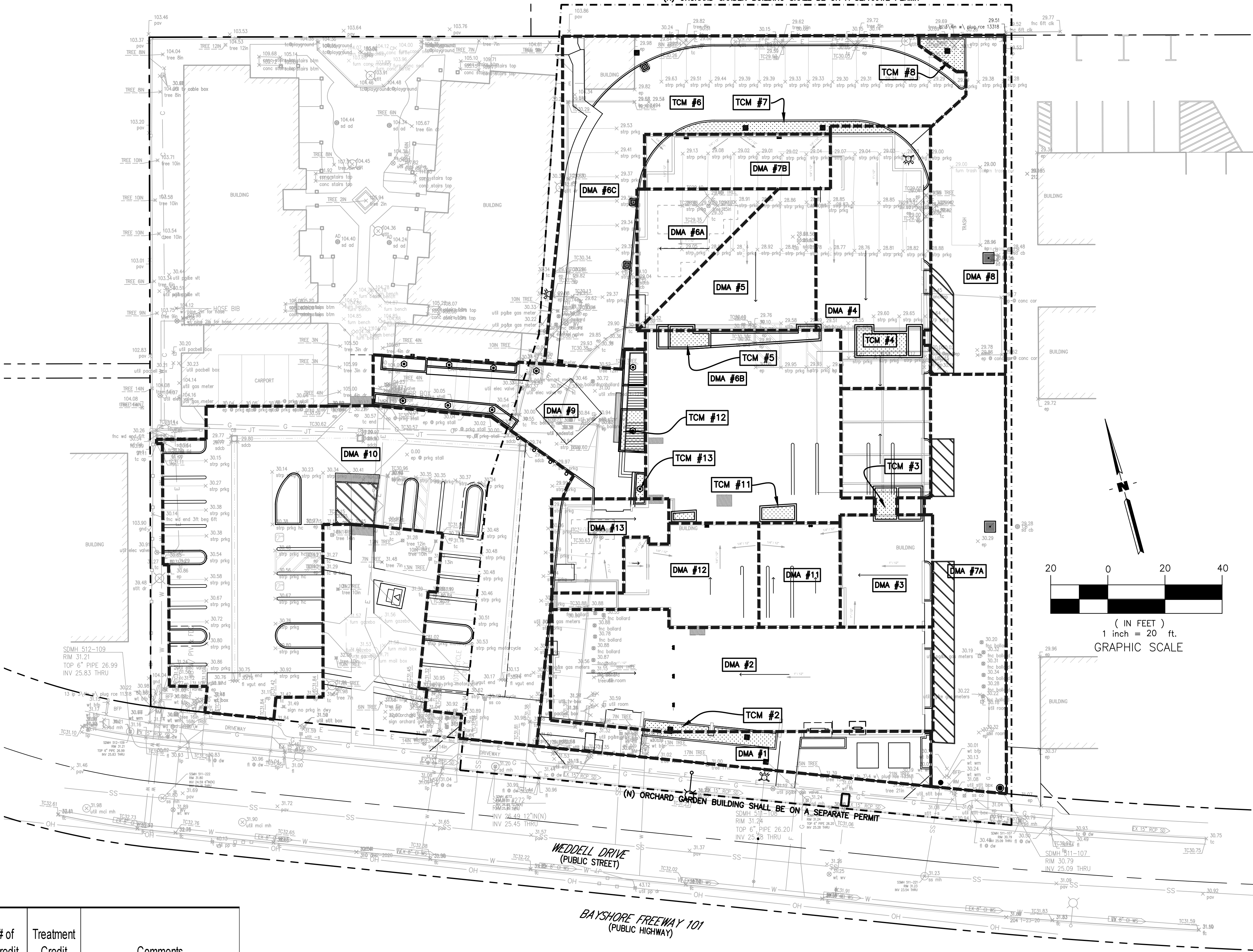
LEGEND:

- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- TREATMENT CONTROL MEASURE (TCM)

TREATMENT CONTROL MEASURE SUMMARY TABLE

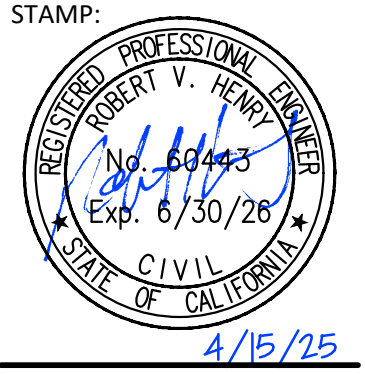
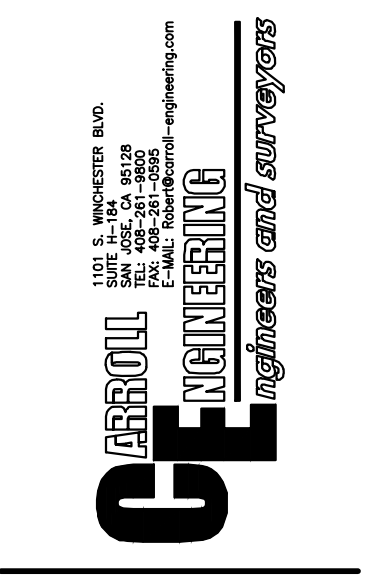
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Credit Trees	Treatment Credit (s.f.)	Comments
1	1	Onsite	Self-treating areas	LID	2C. Flow: 4% Method **	1,860	246	222	1,392	4.43%	0	0	6	N/A	N/A	N/A	N/A	Releases to landscape area
2	2	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	5,057	5,057	0	0	12.03%	202	203	6	N/A	N/A	N/A	N/A	
3	3	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	2,518	2,473	0	45	5.99%	99	104	6	N/A	N/A	N/A	N/A	
4	4	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	3,389	3,389	0	0	8.07%	136	148	6	N/A	N/A	N/A	N/A	
5	5	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,874	1,874	0	0	4.46%	75	82	6	N/A	N/A	N/A	N/A	
6	6	Onsite	Pervious pavement w/ underdrain	LID	1B. Volume	12,772	6,791	4,948	1,033	30.39%	0	N/A	N/A	0.2	0.2	N/A	N/A	
7	7	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	5,037	5,037	0	0	11.99%	201	219	6	N/A	N/A	N/A	N/A	Disconnected. Pumped from DMA.
8	8	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	2,922	2,623	0	299	6.95%	105	112	6	N/A	N/A	N/A	N/A	
9	9	Onsite	Pervious pavement w/ underdrain	LID	1B. Volume	2,813	564	1767	482	6.69%	0	N/A	N/A	0.2	0.2	N/A	N/A	
10	10	Onsite	Maintenance	N/A	N/A	11,672	11,101	0	693	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Reducing impervious area & adding trees
11	11	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,041	1,041	0	0	2.48%	42	51	6	N/A	N/A	N/A	N/A	
12	13	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,681	1,681	0	0	4.00%	67	80	6	N/A	N/A	N/A	N/A	
13	13	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,057	1,057	0	0	2.52%	42	48	6	N/A	N/A	N/A	N/A	
Totals:						42,021	31,833	6,937	3,251	100.00%								

Footnotes:  
\* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.  
\*\* Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)  
\*\*\* Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.  
\*\*\*\* DMA XX is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of DMA XX. EQ-1 is not required to be treated as it is [insert reason here]



2. Surface Data

Project Phase		
2.a. Number:		N/A
2.b. Total Area of Site:		1.72 acres
Total Existing Impervious Surfaces		
2.c. on Site:	62,850 sq. ft.	
Total Area of Site that 2.d. will be disturbed:	0.96 acres	



ORCHARD GARDENS REDEVELOPMENT  
DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

PLAN CHECK  
RESPONSE 1

ISSUED ON:  
09.26.22

© 2022 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional services, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

DATE	REVISION	DATE	REVISION
05/06/23	1. NON-COMPLIANCE	07/04/23	1. NON-COMPLIANCE
07/04/23	2. PLAN CHECK RESPONSE 1	07/04/23	2. PLAN CHECK RESPONSE 1

JOB No.	20001
DRAWN BY:	STAFF
CHECKED BY:	RVH

STORM WATER  
MANAGEMENT  
PLAN (SWMP)  
ROOF LEVEL



Construction Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, cost or charges in connection with the performance of work on this project, including liability arising from the sole negligence of design professional.

SITE DESIGN MEASURES:

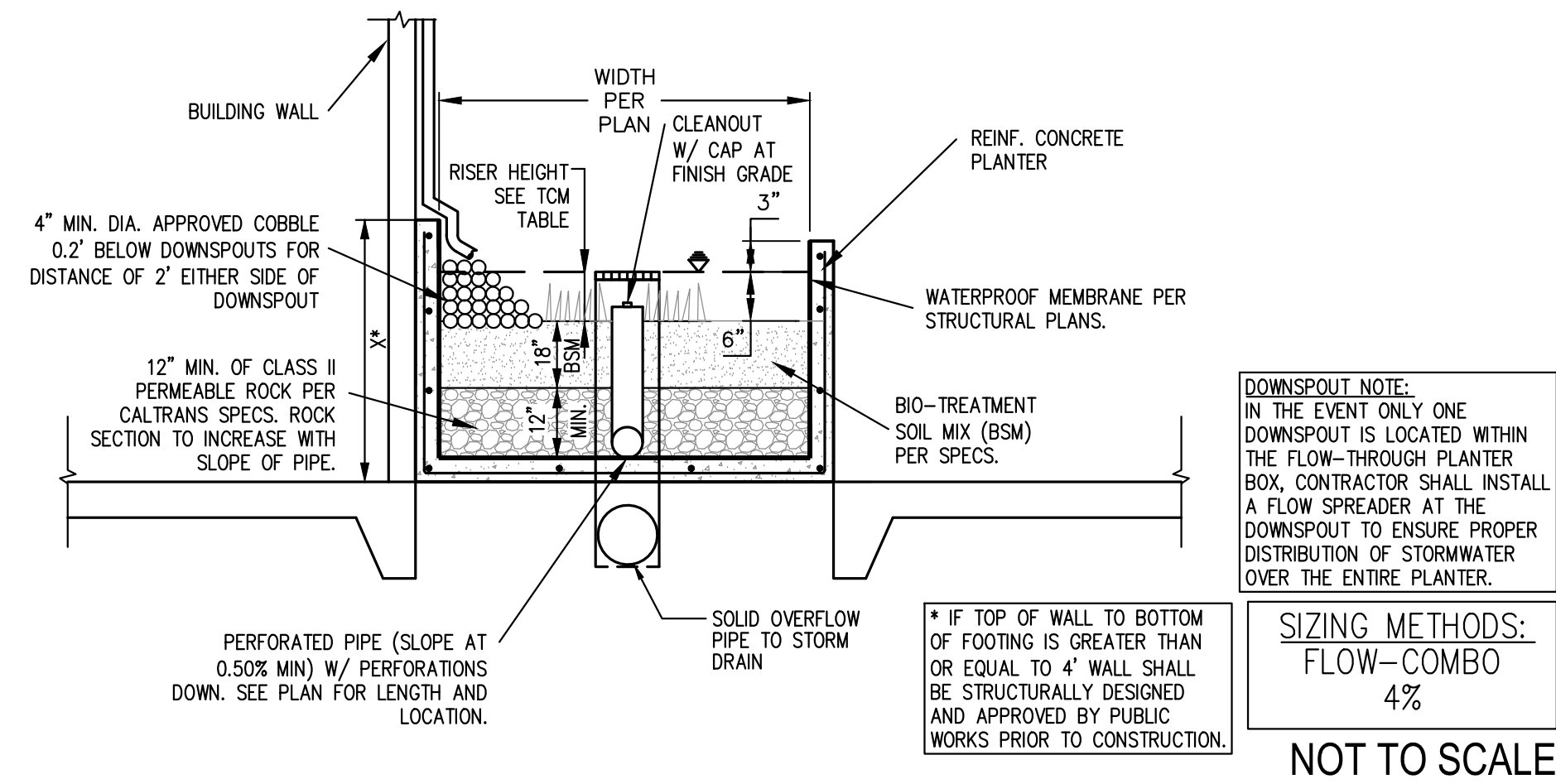
1. CREATE NEW PERVIOUS AREAS:
  - a. PARKING STALLS.
  - b. WALKWAYS AND PATIOS.
  - c. LANDSCAPING.
  - d. PRIVATE STREETS AND SIDEWALKS.
2. CLUSTER STRUCTURES/PAVEMENT.
3. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
4. PARKING:
  - a. ON TOP OF OR UNDER BUILDINGS.
  - b. NOT PROVIDED IN EXCESS OF CODE.
5. INSTALL A GREEN ROOF ON ALL OR A PORTION OF THE ROOF.

BIORETENTION & FLOW-THROUGH PLANTER NOTES:

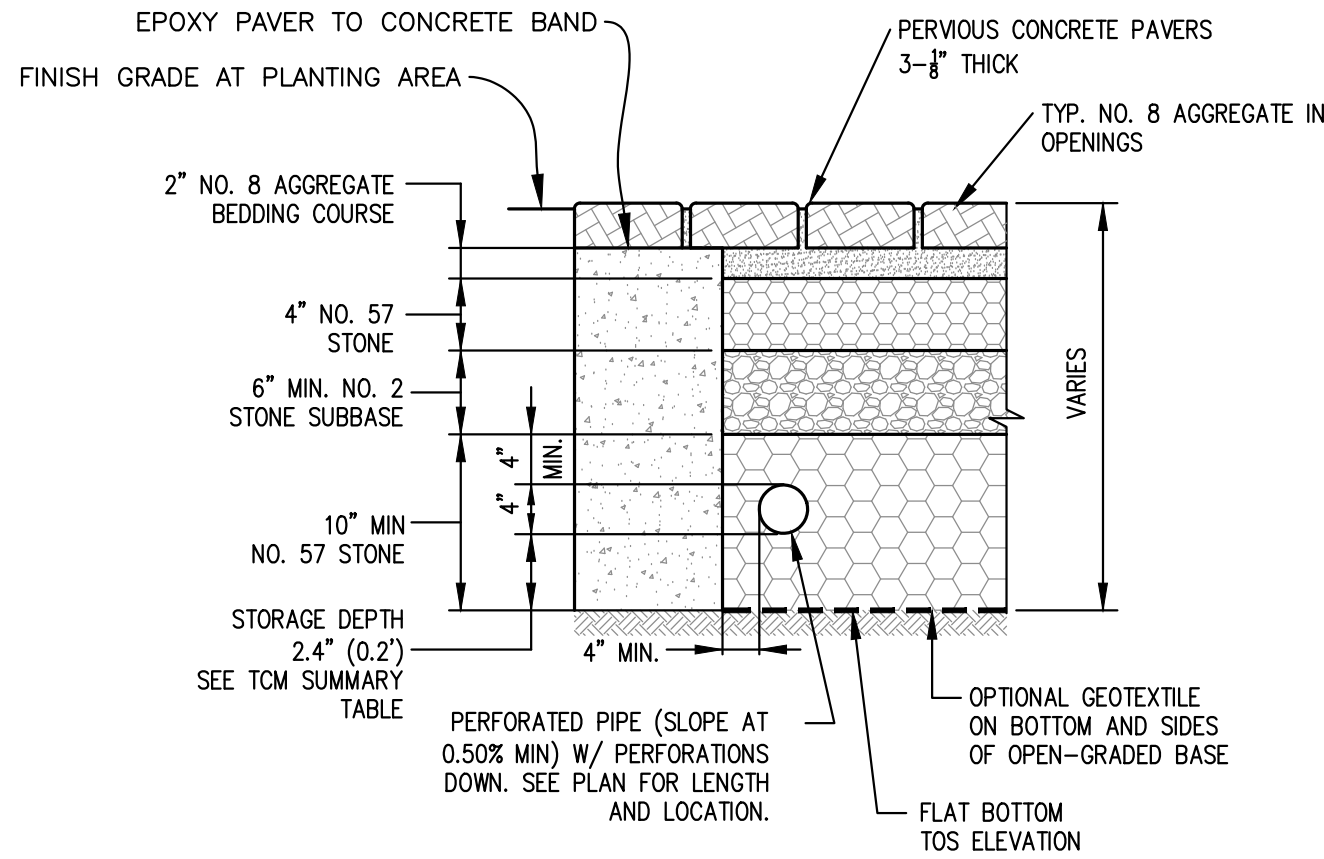
1. SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
2. PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
3. SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
4. CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
5. A MINIMUM 0.2" DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
6. DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

SOURCE CONTROL MEASURES:

1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
  - a. INTERIOR PARKING STRUCTURES.
2. INDUSTRIAL, OUTDOOR MATERIAL STORAGE, AND RECYCLING FACILITIES:
  - b. STOCKPILE MATERIAL ON AN IMPERVIOUS SURFACE OR UNDER PERMANENT ROOF OR COVERING, AS APPROPRIATE
  - c. DIRECT PONDED WATER TO THE SANITARY SEWER, ONSITE TREATMENT SYSTEM(S), OR TO OFFSITE DISPOSAL.
  - d. INSTALL BERMS OR CURBING TO PREVENT RUNOFF FROM THE STORAGE/ PROCESSING AREAS
  - e. SEGREGATE POLLUTANT GENERATING ACTIVITIES INTO A DISTINCT DRAINAGE MANAGEMENT AREA(S) AND PROVIDE TREATMENT.
3. BENEFICIAL LANDSCAPING.
4. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
5. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
6. STORM DRAIN LABELING.
7. OTHER: \_\_\_\_\_



1 FLOW-THROUGH PLANTER (ABOVE GRADE)



2 PERVIOUS PAVERS (SELF RETAINING)

PLAN CHECK  
RESPONSE 1

ISSUED ON:  
**09.26.22**

© 2022 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional services, is the property of Architects FORa and is not to be used in part for any project without their written authorization.

DATE	DATE	DATE	DATE
05/06/23	09/14/23	09/14/23	09/14/23
PERMIT SUBMITTAL	PLAN CHECK RESPONSE 1		

REVISION	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
1. MODIFIED CHECK DATES	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23
2. PLAN CHECK RESPONSE 1	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23	09/14/23

JOB No. 20001  
DRAWN BY: STAFF  
CHECKED BY: RVH

STORM WATER  
MANAGEMENT  
DETAILS &  
SECTION CUTS



Construction Contractor agrees that, in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

Construction Contractor agrees that, in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

Construction Contractor agrees that, in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

Construction Contractor agrees that, in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.



STAMP:

CITY STAMP:

ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W. WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS

ISSUED ON:  
09/26/22

© 2022 ALL RIGHTS RESERVED  
This document and the ideas  
incorporated herein, as an instrument  
of professional service, is the property  
of Architects FORA, and is not to be  
used in part for any project without  
their written authorization.

DATE	DATE	DATE
05/06/22	09/16/22	
SUBMITTAL	PERMIT SUBMITTAL	PLAN CHECK RESPONSE 1

DATE	DATE	DATE
09/26/2022		
REVISION		
1. PLAN CHECK RESPONSE 1		

JOB No. 20-2036  
DRAWN BY: Author  
CHECKED BY: Checker

SYMBOLS,  
LEGENDS  
AND  
ABBREVS -  
ELECTRICAL

E-O.1

## LIGHTING

EMERGENCY	NORMAL	
NA	NA	TRACK: WITH CURRENT LIMITER, WITHOUT CURRENT LIMITER
RECESSED DOWNLIGHT: SQUARE, ROUND	RECESSED DOWNLIGHT: SQUARE, ROUND	
RECESSED WALL WASHER: SQUARE, ROUND	RECESSED WALL WASHER: SQUARE, ROUND	
RECESSED ADJUSTABLE ACCENT: SQUARE, ROUND	RECESSED ADJUSTABLE ACCENT: SQUARE, ROUND	
DOWNLIGHT: SURFACE: SQUARE, ROUND	DOWNLIGHT: SURFACE: SQUARE, ROUND	
WALL WASHER: SURFACE SQUARE, ROUND	WALL WASHER: SURFACE SQUARE, ROUND	
ADJUSTABLE ACCENT: SURFACE: SQUARE, ROUND	ADJUSTABLE ACCENT: SURFACE: SQUARE, ROUND	
ADJUSTABLE ACCENT: MULTILAMP	ADJUSTABLE ACCENT: MULTILAMP	
LINEAR: RECESSED	LINEAR: RECESSED	
LINEAR: RECESSED ASYMMETRIC	LINEAR: RECESSED ASYMMETRIC	
LINEAR: SURFACE	LINEAR: SURFACE	
LINEAR: SURFACE ASYMMETRIC	LINEAR: SURFACE ASYMMETRIC	
LINEAR: SUSPENDED	LINEAR: SUSPENDED	
LINEAR: SUSPENDED ASYMMETRIC	LINEAR: SUSPENDED ASYMMETRIC	
LINEAR: WALL MOUNTED	LINEAR: WALL MOUNTED	
LINEAR: WALL MOUNTED ASYMMETRIC	LINEAR: WALL MOUNTED ASYMMETRIC	
STRIP LIGHT	STRIP LIGHT	
LINEAR: UNDERCABINET	LINEAR: UNDERCABINET	
LINEAR ACCENT: ARCHITECTURE INTEGRATED	LINEAR ACCENT: ARCHITECTURE INTEGRATED	
PENDANT: SQUARE, ROUND	PENDANT: SQUARE, ROUND	
EXIT SIGN: TOP SURFACE OR TOP RECESSED: SINGLE , DOUBLE	EXIT SIGN: TOP SURFACE OR TOP RECESSED: SINGLE , DOUBLE	
EXIT SIGN: SIDE OR FLAG MOUNT: SINGLE, DOUBLE	EXIT SIGN: SIDE OR FLAG MOUNT: SINGLE, DOUBLE	
EXIT SIGN: BACK SURFACE MOUNT	EXIT SIGN: BACK SURFACE MOUNT	
WALL MOUNTED: RECESSED: SQUARE, ROUND	WALL MOUNTED: RECESSED: SQUARE, ROUND	
WALL MOUNTED: SURFACE: SQUARE, ROUND	WALL MOUNTED: SURFACE: SQUARE, ROUND	
POLE-MOUNTED: AREA: SQUARE, ROUND	POLE-MOUNTED: AREA: SQUARE, ROUND	
POLE-MOUNTED: STREET: RECTANGULAR, OVAL	POLE-MOUNTED: STREET: RECTANGULAR, OVAL	
POLE-MOUNTED: PEDESTRIAN: SQUARE, ROUND	POLE-MOUNTED: PEDESTRIAN: SQUARE, ROUND	
BOLLARD 360: SQUARE, ROUND	BOLLARD 360: SQUARE, ROUND	
BOLLARD 180: SQUARE, ROUND	BOLLARD 180: SQUARE, ROUND	
INGRADE SQUARE, ROUND	INGRADE SQUARE, ROUND	
INGRADE ADJUSTABLE SQUARE, ROUND	INGRADE ADJUSTABLE SQUARE, ROUND	
FLOOD LIGHT	FLOOD LIGHT	
CONTROL STATION. REFER TO SCHEDULE.	CONTROL STATION. REFER TO SCHEDULE.	
WALL SWITCH: 1 POLE, 2 POLE	WALL SWITCH: 1 POLE, 2 POLE	
WALL SWITCH: 3 WAY, 4 WAY	WALL SWITCH: 3 WAY, 4 WAY	
WALL SWITCH: KEY LOCK	WALL SWITCH: KEY LOCK	
WALL SWITCH: LOW VOLTAGE, PILOT	WALL SWITCH: LOW VOLTAGE, PILOT	
WALL SWITCH: TIMER, MANUAL DIMMER	WALL SWITCH: TIMER, MANUAL DIMMER	
WALL COMBINATION OCCUPANCY SWITCH, OCCUPANCY DIMMER	WALL COMBINATION OCCUPANCY SWITCH, OCCUPANCY DIMMER	
WALL COMBINATION VACANCY SWITCH, VACANCY DIMMER	WALL COMBINATION VACANCY SWITCH, VACANCY DIMMER	
PHOTOELECTRIC CELL: WALL MOUNTED, CEILING MOUNTED	PHOTOELECTRIC CELL: WALL MOUNTED, CEILING MOUNTED	
OCCUPANCY SENSOR: CEILING OR WALL MOUNTED	OCCUPANCY SENSOR: CEILING OR WALL MOUNTED	
VACANCY SENSOR: CEILING OR WALL MOUNTED	VACANCY SENSOR: CEILING OR WALL MOUNTED	
"X" DESIGNATES DEVICE TYPE:	"X" DESIGNATES DEVICE TYPE:	
U: ULTRASONIC R: INFRARED DT: DUAL TECHNOLOGY	U: ULTRASONIC R: INFRARED DT: DUAL TECHNOLOGY	
DESIGNATES LUMINAIRE TYPE (SEE LUMINAIRE SCHEDULE)	DESIGNATES LUMINAIRE TYPE (SEE LUMINAIRE SCHEDULE)	
DESIGNATES EMERGENCY FIXTURE	DESIGNATES EMERGENCY FIXTURE	
DESIGNATES STANDALONE CONTROL ZONE.	DESIGNATES STANDALONE CONTROL ZONE.	
DESIGNATES LIGHTING CIRCUIT, PANEL/CIRCUIT.	DESIGNATES LIGHTING CIRCUIT, PANEL/CIRCUIT.	
DESIGNATES NETWORK CONTROL ZONE. REFER TO SCHEDULE	DESIGNATES NETWORK CONTROL ZONE. REFER TO SCHEDULE	
REFER TO ZONE SCHEDULE FOR CIRCUITING OF NETWORKED LIGHTING.	REFER TO ZONE SCHEDULE FOR CIRCUITING OF NETWORKED LIGHTING.	

## ELECTRICAL SHEET LIST

SHEET #	SHEET NAME
E-0.1	SYMBOLS, LEGENDS AND ABBREVS - ELECTRICAL
E-0.2	LUMINAIRE SCHEDULE - ELECTRICAL
E-0.3	EQUIPMENT SCHEDULE - ELECTRICAL
E-0.4	TITLE 24 - ELECTRICAL
E-0.5	TITLE 24 - ELECTRICAL
E-0.6	TITLE 24 - ELECTRICAL
E-0.7	TITLE 24 - ELECTRICAL
E-0.8	TITLE 24 - ELECTRICAL
E-0.9	SITE PLANS - LIGHTING PHOTOMETRICS
E-0.10	FIRST FLOOR PLAN - LIGHTING PHOTOMETRICS
E-0.11	SECOND FLOOR PLAN - LIGHTING PHOTOMETRICS
E-1.1	SITE PLANS - ELECTRICAL
E-1.2	SITE PLANS - LIGHTING
E-2.1	FIRST FLOOR PLAN - LIGHTING
E-2.2	SECOND FLOOR PLAN - LIGHTING
E-2.3	THIRD FLOOR PLAN - LIGHTING
E-2.4	FOURTH FLOOR PLAN - LIGHTING
E-2.5	FIFTH FLOOR PLAN - LIGHTING
E-2.6	SIXTH FLOOR PLAN - LIGHTING
E-2.7	ROOF PLAN - LIGHTING
E-3.1	FIRST FLOOR PLAN - ELECTRICAL
E-3.2	SECOND FLOOR PLAN - ELECTRICAL
E-3.3	THIRD FLOOR PLAN - ELECTRICAL
E-3.4	FOURTH FLOOR PLAN - ELECTRICAL
E-3.5	FIFTH FLOOR PLAN - ELECTRICAL
E-3.6	SIXTH FLOOR PLAN - ELECTRICAL
E-3.7	ROOF PLAN - ELECTRICAL
E-4.1	PARTIAL PLANS AND SECTIONS - LIGHTING
E-4.2	PARTIAL PLANS AND SECTIONS - LIGHTING
E-5.1	PARTIAL PLANS AND SECTIONS - ELECTRICAL
E-5.2	PARTIAL PLANS AND SECTIONS - ELECTRICAL
E-5.3	PARTIAL PLANS AND SECTIONS - ELECTRICAL
E-5.4	PARTIAL PLANS AND SECTIONS - ELECTRICAL
E-6.1	DETAILS - ELECTRICAL
E-6.2	DETAILS - ELECTRICAL
E-7.1	DIAGRAMS - ELECTRICAL
E-7.2	DIAGRAMS - ELECTRICAL
E-7.3	DIAGRAMS - PHOTOVOLTAIC - ELECTRICAL
E-7.4	DIAGRAMS - GROUNDING - ELECTRICAL
E-8.1	PANEL SCHEDULES
E-8.2	PANEL SCHEDULES
E-8.3	PANEL SCHEDULES
E-8.4	PANEL SCHEDULES
Grand total: 43	

## POWER - PLANS

WALL RECEPTACLE: DUPLEX, QUADPLEX	
SINGLE WALL RECEPTACLE, FACELESS GFCI REMOTE TEST BUTTON	
— G —	DENOTES GFCI
— W —	DENOTES GFCI AND WEATHER PROOF
—	DENOTES RECEPTACLE ABOVE COUNTER
SPECIAL PURPOSE RECEPTACLE.	
CEILING RECEPTACLE: DUPLEX, QUADPLEX	
FLUSH FLOORBOX RECEPTACLE FB1 = DUPLEX, FB2 = QUADPLEX	
FLUSH POKE-THROUGH RECEPTACLE. PT1 = DUPLEX, PT2 = QUADPLEX	
DENOTES SPLIT-WIRED, HALF SWITCHED / CONTROLLED VIA MANUAL CONTROL, MOTION CONTROL OR TIME-BASED CONTROL. SEE SPECIFICATIONS & PLANS.	
DENOTES FULL SWITCHED / CONTROLLED VIA MANUAL CONTROL, MOTION CONTROL OR TIME-BASED CONTROL. SEE SPECIFICATIONS & PLANS.	
SWITCHED / CONTROLLED FLUSH FLOORBOX RECEPTACLE REFER TO SCHEDULE & PLANS FOR CONTROL INFORMATION.	
SWITCHED / CONTROLLED FLUSH POKE-THROUGH RECEPTACLE REFER TO SCHEDULE & PLANS FOR CONTROL INFORMATION.	
FB1 X	LETTER DESIGNATOR:
PT1 X	E = EMERGENCY IG = ISOLATED GROUND
	U = UPS P = SURGE PROTECTIVE DEVICE
	S = STANDBY A = AFCI
	C = CRITICAL B = WITH USB OUTLETS
2NP1:42	DENOTES PANELBOARD AND CIRCUIT NUMBER.
42	DENOTES CIRCUIT NUMBER. REFER TO SHEET GENERAL NOTES FOR PANELBOARD.
PEDESTAL OUTLET: POWER & SIGNAL COMBINATION	
1.3,5	SURFACE OUTLET STRIP: DIMENSION AS SHOWN. SEE SPECIFICATIONS.
1.3,5	POWER POLE, POWER, COMBINATION CIRCUITS AS INDICATED.
1.3,5	JUNCTION BOX
H 1.3,5	JUNCTION BOX HOME RUN. CIRCUITS AS INDICATED.
F 1.3,5	JUNCTION BOX HOME RUN & FURNITURE FEED. CIRCUITS AS INDICATED.
	CONNECTION TO EQUIPMENT PROVIDED BY OTHERS
	PUSH BUTTON STATION: SINGLE, DOUBLE
	ELECTRICAL EQUIPMENT
	PANELBOARD: SURFACE, RECESSED
	ENCLOSURE: SURFACE, RECESSED
	TRANSFORMER
	GROUND ROD, IN TEST WELL
	GROUND PAD
	MOTOR RATED SWITCH
	DOOR BELL, DOOR CHIME

## GENERAL NOTES

THIS IS A STANDARD LEGEND SHEET, THEREFORE, SOME SYMBOLS MAY APPEAR ON THIS SHEET THAT DO NOT APPEAR ON THE DRAWINGS.

## APPLICABLE CODES

2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA ENERGY CODE TITLE 24 PART 6  
SUNNYVALE REACH CODE

## FIRE ALARM NOTE

THE FIRE ALARM SYSTEM DESIGN IS CONTRACTOR DESIGN/BUILD, REFER TO SPECIFICATIONS FOR THE REQUIREMENTS. COORDINATE FINAL QUANTITY, LOCATION, AND CONNECTION WITH DEFERRED FIRE ALARM SUBMITTAL.

## COORDINATION NOTES

- ALL BURIED IRON, STEEL, CAST IRON, DUCTILE IRON, GALVANIZED STEEL, DIELECTRIC COATED STEEL, OR IRON SHOULD BE PROPERLY PROTECTED AGAINST CORROSION. PROVIDE CATHODIC PROTECTION WHERE REQUIRED. REFER TO CROSS-TRADE DRAWINGS FOR INFORMATION ON PIPING AND QUANTITY.
- REFER TO SHEET G1.21 FOR LOCATIONS OF FIRE WALL BUILDING SEPARATION AND 3-HOUR HORIZONTAL BUILDING SEPARATION.
- REFER TO LANDSCAPE DRAWINGS FOR ALL IRRIGATION DEVICE AND CONDUIT LOCATIONS, BACKBOX AND CONDUIT INFRASTRUCTURE AND ASSOCIATED JUNCTION/PULLBOX TO BE PROVIDED UNDER DIVISION 26 SCOPE OF WORK. PROVIDE PULL STRINGS WITHIN EACH INDEPENDENT CONDUIT RUN END TO END FOR EASE OF CABLE PULL.

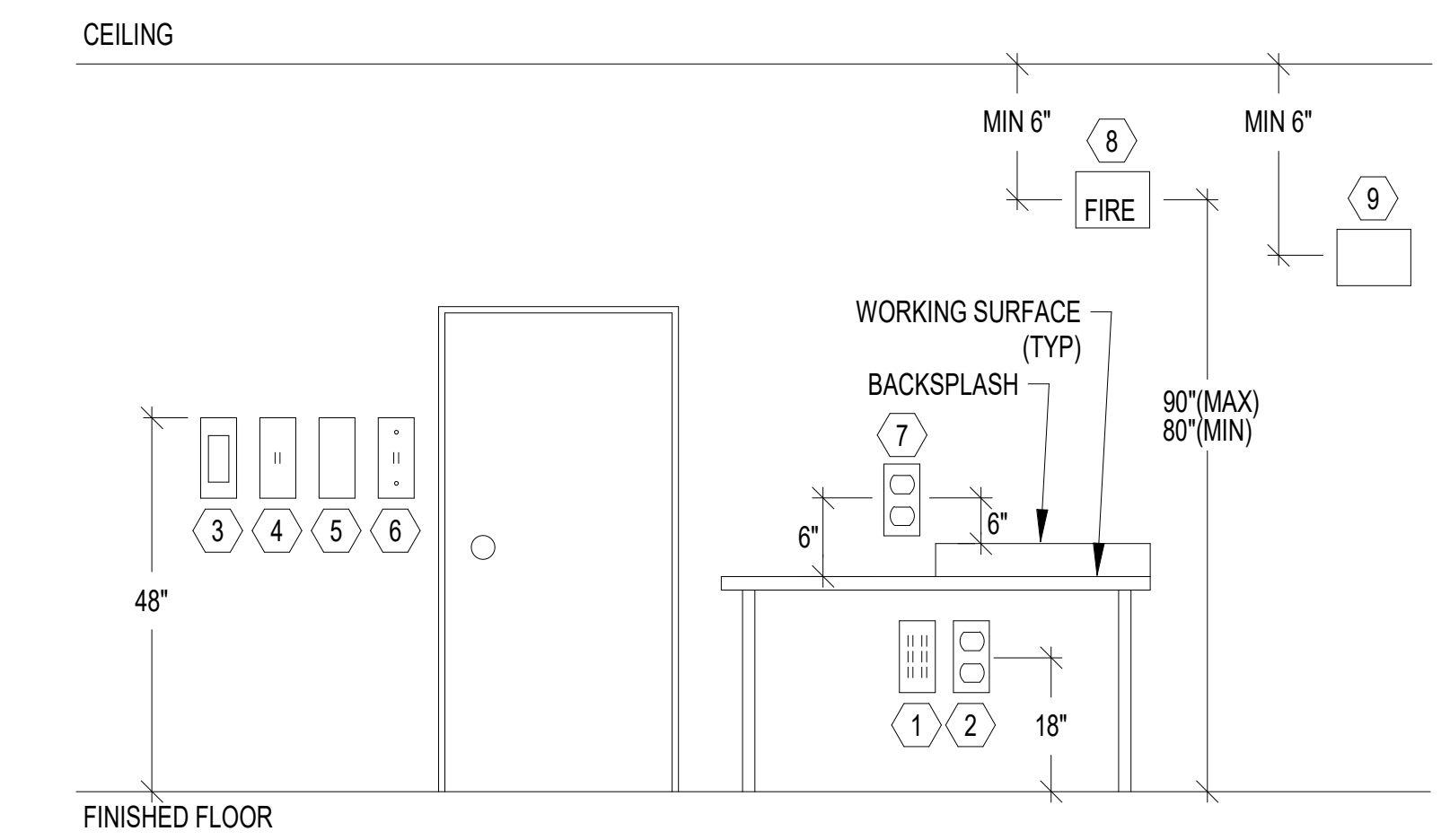
## POWER - SINGLE LINE DIAGRAM & RISER

CIRCUIT BREAKER, WITH GROUND FAULT PROTECTION, DRAW OUT	
DISTRIBUTION SWITCHBOARD / PANELBOARD, WITH INTERNAL BUS	
UTILITY POLE	
PANELBOARD, TRANSFORMER	
SERVICE TRANSFORMER, WITH VAULT	
GENERATOR, AUTOMATIC TRANSFER SWITCH	
UTILITY METER, METER, NETWORKED POWER METERING / MONITORING	
SURGE PROTECTIVE DEVICE, PUSH BUTTON	
ELECTRICAL BUSWAY, BUSWAY PLUG-IN CIRCUIT BREAKER	
FEEDER CONTINUATION CALLOUT, FEEDER TAG	
FEEDER: DROP, RISE, CAP, BREAK, CONTINUATION	
SWITCH, FUSED SWITCH	
DISCONNECT, FUSED DISCONNECT	
MOTOR, MOTOR WITH CONTROLLER, MOTOR WITH STARTER	
PV ARRAY, INVERTER	

## FIRE ALARM

FS	TS	SPRINKLER SYSTEM SWITCH: FLOW, TAMPER
F		MANUAL FIRE ALARM STATION
1	P	DETECTOR: IONIZATION, HEAT, PHOTOELECTRIC
2	B	DETECTOR: BEAM
3		DUCT DETECTOR, TYPE AS NOTED
4	F	FIREMANS PHONE JACK
5	C	MAGNETIC DOOR HOLDER, CLOSER
WALL	CEILING	NOTIFICATION DEVICES
-F-	-F-	FIRE ALARM: VISUAL
F	F	FIRE ALARM: HORN; HORN W/VISUAL
S	S	FIRE ALARM: SPEAKER; SPEAKER W/VISUAL
F	F	FIRE ALARM: BELL; BELL W/VISUAL
C	C	FIRE ALARM: CHIME; CHIME W/VISUAL

## DEVICE MOUNTING HEIGHTS



### GENERAL NOTES:

- LOCATE ALL FIRE ALARM DEVICES PER CODE.
- LOCATE ALL ACCESSIBLE SWITCHES PER ADA GUIDELINES.
- FIELD COORDINATE ALL ABOVE COUNTER DEVICES WITH MILLWORK CONTRACTOR.
- IF APPLICABLE, TELECOM CONSULTANTS' DRAWINGS TAKE PRECEDENCE OVER THIS DETAIL FOR TELECOM DEVICES.

### NOTES:

- TELECOM OUTLET.
- RECEPTACLE.
- FIRE ALARM PULL STATION.
- LIGHT SWITCH.
- CARD READER.
- WALL PHONE.
- ABOVE COUNTER DEVICE. MAINTAIN A CONSISTENT HEIGHT THROUGHOUT SPACE.
- FIRE ALARM STROBE.
- OCCUPANCY SENSOR.

## ELECTRICAL EQUIPMENT DESIGNATION

POWER TYPE:	
BLANK - NORMAL POWER	
E - EMERGENCY POWER	
U - UNINTERRUPTIBLE POWER	
VOLTAGE:	
2 - 208V/120V	
4 - 480Y/277V	
5 - 4160Y/2400V	
15 - 12470Y/7200V	
EQUIPMENT:	
D - MAIN DISTRIBUTION PANEL	
S - SUB DISTRIBUTION PANEL	
B - BUSWAY	
M - MOTOR CONTROL CENTER	
A - AUTOMATIC TRANSFER SWITCH	
P - POWER PANEL	
L - LIGHTING PANEL	
T - TRANSFORMER	
U - UPS	
LRC - LIGHTING RELAY CONTROL PANEL	
BUILDING LEVEL:	
0 - BASEMENT	
1 - FIRST LEVEL	
2 - SECOND LEVEL	
3 - THIRD LEVEL	
4 - FOURTH LEVEL	
ETC.	
IDENTIFIER:	
A - FIRST IN SERIES OF EQUIPMENT	
B - SECOND IN SERIES OF EQUIPMENT	
ETC.	

## DESIGNATION SYMBOLS

---	123	EQUIPMENT DESIGNATOR SEE SCHEDULE.
E	X	EXISTING TO REMAIN, EXISTING TO BE REMOVED
R	F	EXISTING TO BE RELOCATED, FUTURE
N		NEW, POINT OF CONNECTION
1		NOTE

## ABBREVIATIONS - ELECTRICAL

AFF	ABOVE FINISHED FLOOR	KVA	KILOVOLT-AMPERE
ADA	AMERICANS DISABILITIES ACT	KVAR	KILOVOLT-AMPERE REACTIVE
A	AMPERE (AMP)	LA	LIGHTNING ARRESTOR
AL	ALUMINUM	LED	LIGHT EMITTING DIODE
ARCH	ARCHITECT / ARCHITECTURAL	LRC	LIGHTING RELAY CONTROL PANEL
ATS	AUTOMATIC TRANSFER SWITCH	LTG	LIGHTING
AWG	AMERICAN WIRE GAUGE	LV	LOW VOLTAGE
C	CONDUIT	MATV	MASTER ANTENNA TELEVISION
CAT	CATEGORY CABLE	MAX	MAXIMUM
CB	CIRCUIT BREAKER	MCA	MINIMUM CIRCUIT AMPACITY
CCTV	CLOSED CIRCUIT TELEVISION	MCB	MAIN CIRCUIT BREAKER
CKT	CIRCUIT	MCC	MOTOR CONTROL CENTER
CLG	CEILING	MDP	MAIN DISTRIBUTION PANEL
CT	CURRENT TRANSFORMER	MECH	MECHANICAL
CU	COPPER	MH	METAL HALIDE
DN	DOWN	MIN	MINIMUM
DW	DISHWASHER	MLO	MAIN LUGS ONLY
EM	EMERGENCY	MOC	MAXIMUM OVERCURRENT PROTECTION
EMT	ELECTRICAL METALLIC TUBING	MTS	MANUAL TRANSFER SWITCH
EP	EXPLOSION PROOF	MV	MEDIUM VOLTAGE
EPO	EMERGENCY POWER OFF	MW	MICROWAVE
EW	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT
FA	FIRE ALARM	NL	NIGHT LIGHT CIRCUIT
FLA	FULL LOAD AMPS	PA	PUBLIC ADDRESS
FLUOR	FLUORESCENT	PDZ	PRIMARY DAYLIGHT ZONE
FCIC	FURNISHED BY CONTRACTOR	PE	PHOTOELECTRIC CELL
	INSTALLED BY CONTRACTOR	PF	POWER FACTOR
FOIC	FURNISHED BY OWNER	PNL	PANELBOARD
	INSTALLED BY CONTRACTOR	PV	PHOTOVOLTAIC
FOIO	FURNISHED BY OWNER	PVC	POLYVINYL CHLORIDE
	INSTALLED BY OWNER	PWR	POWER
GD	GARBAGE DISPOSAL	REF	REFRIGERATOR
GEN	GENERATOR	SDP	SUB-DISTRIBUTION PANEL
GFP	GROUND FAULT PROTECTION	SDZ	SECONDARY DAYLIGHT ZONE
GFI	GROUND FAULT INDICATOR	SV	SOLENOID VALVE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	SW	SWITCH
GRC	GALVANIZED RIGID CONDUIT	TD	TIME DELAY
GND	GROUND	TP	TAMPERPROOF
HP	HORSEPOWER	TB	TELEPHONE TERMINAL BOARD
HPS	HIGH PRESSURE SODIUM	TTC	TELEPHONE TERMINAL CABINET
HV	HIGH VOLTAGE	TV	TELEVISION
HZ	HERTZ	TYP	TYPICAL
IG	ISOLATED GROUND	UG	UNDERGROUND
INC	INCANDESCENT	UPS	UNINTERRUPTIBLE POWER SUPPLY
INV	INVERTER	V	VOLTAGE
JB	JUNCTION BOX	VA	VOLT-AMPERE
KW	KILOWATT	VFD	VARIABLE FREQUENCY DRIVE
KWH	KILOWATT HOUR	VP	VAPORPROOF
KV	KILOVOLT	W	WATTS
		WP	WEATHERPROOF
		XFMR	TRANSFORMER



STAMP:

CITY STAMP:

## ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING

100%  
CONSTRUCTION  
DOCUMENTS

ISSUED ON:  
09/26/22

© 2022 ALL RIGHTS RESERVED

This document and the ideas incorporated herein, as an instrument of professional service, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

SUBMITTAL	DATE
PERMIT SUBMITTAL	05/06/22
PLAN CHECK RESPONSE 1	09/26/22

No.	REVISION	DATE
A.	NON-PLAN CHECK UPDATES	09/26/2022
1.	PLAN CHECK RESPONSE 1	09/26/2022
2.	Misc Planning Permit Adjustment	04/30/2025







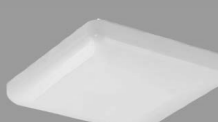
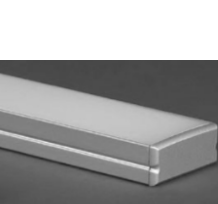
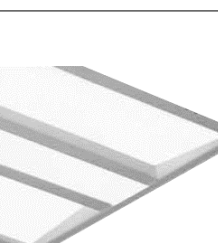
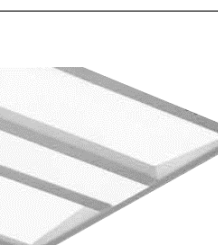
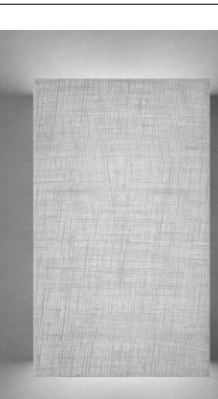

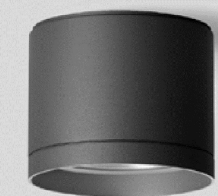

JOB No. 20-2030

DRAWN BY: Author

CHECKED BY: Checke







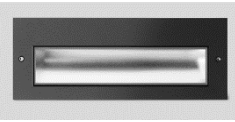
LUMINAIRE  
SCHEDULE -  
ELECTRICAL

E-0.2

FIXTURE TYPE	IMAGE	PRODUCT DESCRIPTION	BASIS OF DESIGN MANUFACTURER	SIZE	INPUT WATTS	LAMP SOURCE (Type, CCT, Delivered Lumens)	DRIVER TYPE	INPUT VOLTAGE	FINISH	MOUNTING	NOTES
L1		J&B CERTIFIED LED SURFACE-MOUNT WITH FROSTED DIFFUSER Living Rooms, Bedrooms	ELITE LIGHTING ECH-CL-LED-1008-3000K	DIA: 11" H: 3"	15	LED, 3000K, 900LM	INTEGRAL DIMMABLE LED DRIVER	120V	OPAL WHITE	SURFACE - CEILING	
L2		J&B CERTIFIED LED WALL-MOUNTED LINEAR VANITY SCONCE Bathrooms	ELITE LIGHTING 2-OC1-LED-3000-DIMMING 120-30K-90-EMERGENCY WIRING	L: 7.4" H: 4.45" D: 3.74"	23	LED, 3000K, 3000LM	INTEGRAL DIMMABLE LED DRIVER	120V	WHITE	SURFACE - WALL	
L3		J&B CERTIFIED LED SURFACE-MOUNT WITH FROSTED DIFFUSER Closets	ELITE LIGHTING RL991-1200L-DIMTR-120-30K-90-WH	DIA: 9" H: 5.8"	18	LED, 3000K, 1200LM	INTEGRAL DIMMABLE TRIAC/120V LED DRIVER	120V	WHITE	SURFACE - CEILING	
L4		LED RECESSED DOWNLIGHT Corridors	ELITE LIGHTING REL437-1100L-DIMTR-30K-W-WH REL437-RT-CL-WH	DIA: 5"	14	LED, 3000K, 1100LM	INTEGRAL DIMMABLE TRIAC/120V LED DRIVER	120V	WHITE	RECESSED - CEILING	
L5		LED SURFACE-MOUNTED LINEAR WITH FROSTED DIFFUSER Main Lobby, Community Kitchen	FINELITE HP-2-SM-D-LENGTH-S-930-F-96LG-277-SC-F C1%- MOUNTING-FE-FINISH-EMERGENCY-SENSOR- R-OPTIONS	W: 2.25" H: 5" L: Refer to lighting layouts	24 WIFT	LED, 3000K, 335LM/FT	INTEGRAL DIMMABLE LED DRIVER	277V	BY ARCHITECT	SURFACE - CEILING	1. FINISH TO BE DETERMINED BY ARCHITECT. DESIGN INTENT IS FOR FIXTURE FINISH TO MATCH CEILING MATERIAL.
L6		LED LINEAR DIRECT / INDIRECT PENDANT Offices	FINELITE HP-2-P-D-LENGTH-S-H-830-F F-96LG-277-DC-FC1%-FA30 MOUNTING-FE-SW-EMERGENCY-SENSOR-O PTIONS	W: 2.25" H: 4.75" L: Refer to lighting layouts	11 WIFT	LED, 3000K, 1008LM/FT	INTEGRAL DIMMABLE LED DRIVER	277V	WHITE	PENDANT	1. MOUNTING HEIGHT TO BE 8'-0" AFF TO BOTTOM OF FIXTURE.
L7		LED SURFACE-MOUNT Bike Storage	ELITE LIGHTING QSS-LED-14-2200L-DIMTR-MVOLT-30K-90-US A	W: 14" H: 14"	28	LED, 3000K, 2200LM	INTEGRAL DIMMABLE LED DRIVER	110VOLT	WHITE ACRYLIC LENS	SURFACE - CEILING	
L8		LINEAR LENSED EXTRUDED UNDERCAB LIGHT Community Room	O TRAN LIGHT ENGINE: SW2435-DIMET-30-WIRE IN-WIRE OUT-WIRE COLOR-WIRE-TYPE-LENGTH EXTRUSION WIDE-FINISH-PL-FR-TYPE-LENGTH	W: .50" H: .34" L: Refer to lighting layouts	5W/FT	LED, 3000K, 367LM/FT	REMOTE DIMMABLE LED DRIVER	277V	BY ARCHITECT	SURFACE	1. FIXTURE TO BE MOUNTED ON UNDERSIDE OF TOP CABINET TO ILLUMINATE THE COUNTER 2. FINISH TO BE DETERMINED BY ARCHITECT. DESIGN INTENT IS FOR FIXTURE FINISH TO MATCH CABINET FINISH.
L9		2X2 RECESSED TROFFER W/ ANGLED SIDES Copy/Storage Rooms	FINELITE HPR LED-A-144-DC03-S-830 277V-SC-CEILING-SENSORS	W: 2" H: 4" L: 2'	28.5W	LED, 3000K 3346LM	INTEGRAL DIMMABLE LED DRIVER	277V	WHITE	RECESSED	
L10		2X4 RECESSED TROFFER W/ ANGLED SIDES Break Room	FINELITE HPR LED-A-144-DC03-S-830 277V-SC-CEILING-SENSORS	W: 1" H: 4" L: 4'	28.5W	LED, 3000K 3052LM	INTEGRAL DIMMABLE LED DRIVER	277V	WHITE	RECESSED	
L11		RECTANGULAR RESIN COATED, VANDAL-RESISTANT WALL SCONCE Unit Corridors	ALVA LIGHT AUR-151W-30-9-RE7W12H-FINISH-SL	W: 7" H: 12" D: 4"	15W	LED, 3000K, 1025LM	INTEGRAL DIMMABLE LED ELV DRIVER	277V	BY ARCHITECT	SURFACE - WALL	1. FIXTURE MOUNTING HEIGHT TO BE 6'-6" TO BOTTOM OF FIXTURE MIN. FINAL MOUNTING HEIGHT TO BE DETERMINED BY ARCHITECT. 2. DESIGN INTENT IS FOR FIXTURE TO BE LOCATED BY SIDE OF OPEN UNIT DOOR. 3. FINISH TO BE DETERMINED BY ARCHITECT.
P1		MOUNTING POLE FOR FESTOON LIGHTING, FIXTURE TYPE S4 Level 2 Outdoor Courtyard	VALMONT ROUND TAPERED POLE DS200-DESIGNATION-MOUNTING-FPBV-BK- FBC-ANCHOR BOLTS	H: 12'-0"	N/A	N/A	N/A	N/A	BLACK	N/A	
S1		EXTERIOR LED SURFACE-MOUNTED DOWNLIGHT Exterior Corridors, Exterior Soffits	BEGA 66979-K3-BLK	DIA: 7.5" H: 6.125"	19	LED, 3000K, 1800LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	SURFACE - CEILING	
S2A		EXTERIOR SURFACE-MOUNTED ADJUSTABLE CYLINDER WITH LOCKABLE AIMING Community Garden	BK LIGHTING DE-LED-TR-x09-VFL-BLW-12-11-B-CONTROL S-120	DIA: 3" H: 8"	13	LED, 3000K, 823LM	INTEGRAL DIMMABLE LED DRIVER TBD	120V	BLACK WRINKLE	SURFACE - TRELLIS	

[illegible]

GENERAL NOTES:  
IN BACK-OF-HOUSE AREAS, UNLESS OTHERWISE NOTED, WHERE SURFACE-MOUNTED LIGHT FIXTURES ARE LOCATED IN AREAS WITHOUT ARCHITECTURAL CEILINGS, DEFAULT MOUNTING HEIGHT IS 8'-6" ABOVE FINISHED FLOOR WHERE UNDERSIDE OF SLAB IS AT OR BELOW THE FIXTURE MOUNTING HEIGHT INDICATED, MOUNT TO UNDERSIDE OF SLAB. WHERE UNDERSIDE OF SLAB IS ABOVE THE FIXTURE MOUNTING HEIGHT INDICATED, PROVIDE CHAIN HANGERS TO SUSPEND FIXTURES TO MOUNTING HEIGHT. COORDINATE EXACT MOUNTING LOCATIONS TO AVOID OBSTRUCTIONS TO LIGHT DISTRIBUTION.

FIXTURE TYPE	IMAGE	PRODUCT DESCRIPTION	BASIS OF DESIGN MANUFACTURER	SIZE	INPUT WATTS	LAMP SOURCE (Type, CCT, Delivered Lumens)	DRIVER TYPE	INPUT VOLTAGE	FINISH	MOUNTING	NOTES
S2B		NOT USED									
S3		EXTERIOR LED BOLLARD Site	BEGA 88261-K3-BLK-7 78624	DIA. 10" H. 37.375"	20.6	LED, 3000K, 1577LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	BOLLARD	
S4		EXTERIOR LED FESTOON LIGHTING WITH SHADES FOR DARK SKY COMPLIANCE Level 2 Courtyard, Level 6 Trellis	TOKISTAR CABLE/SOURCE: EXBK-24-JUBIW-S14-F MOUNTING: EX-MDB-BK SHADE: EX-CS1-B	DIA. 5" H. 3"	2.7 W/LF	LED, 3000K	REMOTE DIMMABLE LED DRIVER TBD	277V	BLACK	POLE / CATENARY	
S5		NOT USED									
S6		EXTERIOR LED SCONCE Unit Balconies	BEGA 33449-K30-BLK	W: 4.75" H: 5.5" D: 5.5"	8.2	LED, 3000K, 420LM	INTEGRAL DIMMABLE LED DRIVER TBD	120V	BLACK	SURFACE - WALL	1. MOUNTING HEIGHT TO BE 6'-8" AFF TO BOTTOM OF FIXTURE.
S7		EXTERIOR LED SCONCE Exterior Areas	WAC DS-WD05-F830S-BK	H: 12.5" D: 4.875"	25X2	LED, 3000K, 2975 X2 LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	SURFACE - WALL	1. BUG RATING: 8'-10'-G1 2. MOUNTING HEIGHT TO BE 8'-0" AFF TO BOTTOM OF FIXTURE.
S8		EXTERIOR LED SCONCE Exterior Areas	LITHONIA WDGE3-P1-30K-48-RFT-4-MVOLT-SRM-OPTION S-BLACK	W: 18" H: 19" D: 8"	15	LED, 3000K, 7500LM	INTEGRAL DIMMABLE LED DRIVER TBD	MVOLT	BLACK	SURFACE - WALL	1. BUG RATING: 8'-10'-G1 2. MOUNTING HEIGHT TO BE 12'-0" AFF TO BOTTOM OF FIXTURE.
S9		12' POLE LIGHT W/ 14" SQUARE LED HEAD Site	GARDGO FORM 10 EH14L-32L-900-WW-G3 MOUNTING-2-277-DD-FP1-HIS BLA	W: 14" H: 7" D: 14"  POLE: 12'	45	LED, 3000K, 10450LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	POLE	1. POLES FINISH TO MATCH EXISTING POLES ON THE SITE. 2. BUG RATING: 8'-10'-G1. 3. FIXTURE TO BE MOUNTED AT TOP OF 12' POLE.
S10		STEP LIGHT W/ FORWARD THROW Level 2 Courtyard	BEGA 24080-K3-BLK	W: 13" H: 5" D: 5.5"	12.2W	LED, 3000K 848LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	RECESSED - WALL	1. MOUNTING HEIGHT TO BE 2'-6" AFF TO CENTER OF FIXTURE.
S11		POST MOUNT FLOOD LIGHT WITH FORWARD THROW OPTIC Stairs, Level 2 Courtyard	BEGA 33815-K3-BLK	W: 4.38" H: 7.12" D: 4.38"	7.9W	LED, 3000K 618LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	SURFACE-POST	1. REFERENCE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.

GENERAL NOTES

1. Architect to verify all visible fixture finishes.
2. Contractor shall verify all recessed fixtures are provided with trim suitable for final approved ceiling type.
3. Contractor to coordinate all mounting details with Architect and Lighting Designer. Requested clarifications to be issued as RFI's.
4. Contractor shall coordinate and provide all mounting hardware required for installation in final ceiling and wall systems.
5. Electrical Engineer to verify compatibility of all emergency fixture coordination.
6. Electrical Engineer to verify all necessary information for the installation of remote devices/transformers including using of driver, gauge and type of secondary wiring.
7. Electrical Engineer to confirm compatibility of specified lamp(s) and driver(s) with final specified lighting control dimming system.
8. All fixtures are to be dimmable to 1% unless otherwise noted.
9. Final color temperatures to be determined based on mockup in the field.

LIGHTING CONTROL SEQUENCE OF OPERATIONS							
AREA	AREA CONTROL'S	MULTI-LEVEL CONTROLS	SHUT-OFF CONTROLS	AUTOMATIC DAYLIGHTING CONTROLS (PHOTOCELL)	DEMAND RESPONSE CONTROLS	ACCEPTANCE TESTING & CERTIFICATION	NOTES
LOBBY, LOUNGE AREAS	ON/OFF CONTROL	YES	OCCUPANCY SENSOR	YES, WITHIN DAY/LIT ZONES	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	DM TO 50% WHEN ZONE IS UNOCCUPIED
INTERIOR CORRIDORS AND CIRCULATION	ON/OFF CONTROL	YES	OCCUPANCY SENSOR	YES, WITHIN DAY/LIT ZONES	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	DM TO 50% WHEN ZONE IS UNOCCUPIED
EXTERIOR CORRIDORS AND CIRCULATION	ON/OFF CONTROL	YES, ANY FUTURE > 40W	OCCUPANCY SENSOR	YES, WHEN SUFFICIENT DAYLIGHT IS SENSED	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM	YES	DM TO 50% WHEN ZONE IS UNOCCUPIED
EGRESS STAIRS AND VESTIBULES	ON/OFF CONTROL	YES	OCCUPANCY SENSOR	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	DM TO 50% WHEN ZONE IS UNOCCUPIED
BREAKROOM, CLUBHOUSE ROOM, COMMUNITY ROOM	ON/OFF CONTROL	YES	OCCUPANCY SENSOR	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	AUTO OFF WHEN ZONE IS UNOCCUPIED
RESTROOMS	ON/OFF CONTROL	NO	OCCUPANCY SENSOR	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	AUTO OFF WHEN ZONE IS UNOCCUPIED
ELECTRICAL ROOMS, ELEVATOR MACHINE ROOM, ELEVATOR SHAFTS, AND ELEVATOR HOISTWAYS	ON/OFF CONTROL	YES, IF LPO IS GREATER THAN 0.5 WSP	NO	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	
MECHANICAL, PLUMBING, AND TELECOM EQUIPMENT ROOMS GREATER THAN 100 SQUARE FEET	ON/OFF CONTROL	YES, IF LPO IS GREATER THAN 0.5 WSP	NO	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	
STORAGE ROOMS, BUILDING MAINTENANCE RESTROOMS, JANUATOR'S CLOSET, TRASH ROOM, PET WASH	ON/OFF CONTROL	YES, IF LPO IS GREATER THAN 0.5 WSP	OCCUPANCY SENSOR	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	AUTO OFF WHEN ZONE IS UNOCCUPIED
WALK ROOM	ON/OFF CONTROL	YES, IF LPO IS GREATER THAN 0.5 WSP	OCCUPANCY SENSOR	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	DM TO 50% WHEN ZONE IS UNOCCUPIED
ELEVATOR LOBBY	ON/OFF CONTROL	YES	NO	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	
PARKING GARAGE	ON/OFF CONTROL	YES	OCCUPANCY SENSOR	NO	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	DM TO 50% WHEN ZONE IS UNOCCUPIED
EXTERIOR LIGHTING	N/A	YES, ANY FUTURE > 40W	BUILDING TIME/CLOCK PHOTOCELL	YES, WHEN SUFFICIENT DAYLIGHT IS SENSED	YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPO IS GREATER THAN 0.5 WSP	YES	PROVIDE OCCUPANCY SENSOR FOR ALL FIXTURES MOUNTED LESS THAN 20' IF ABOVE SPACE, DM TO 50% WHEN ZONE IS UNOCCUPIED



## ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:  
FIRST COMMUNITY HOUSING  
245 W.WEDDELL DRIVE, SUNNYVALE, CA 94089

100%  
CONSTRUCTION  
DOCUMENTS

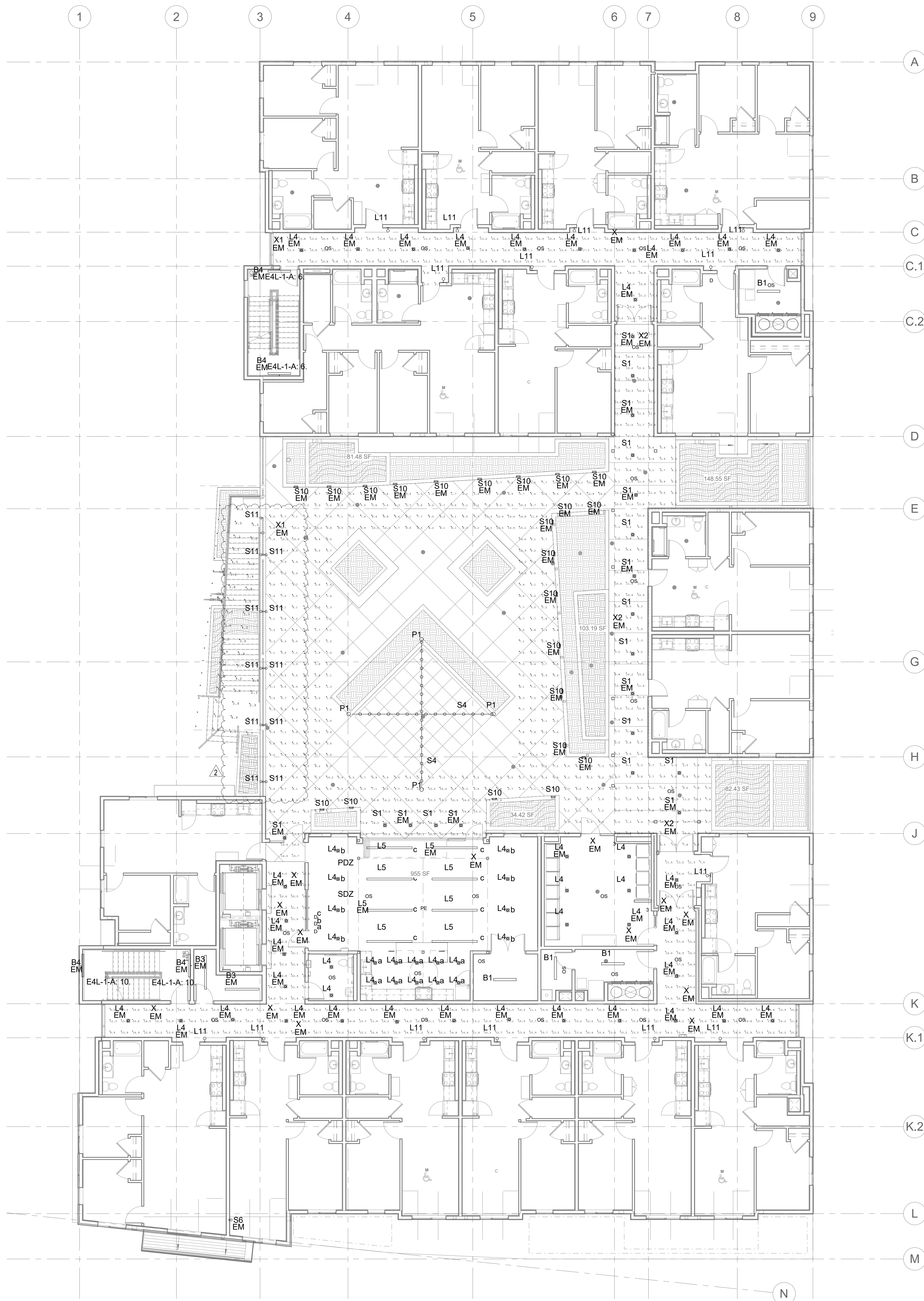
ISSUED ON:  
09/26/22

© 2022 ALL RIGHTS RESERVED  
This document and the ideas incorporated herein, as an instrument of professional service, is the property of Architects FORA and is not to be used in part for any project without their written authorization.

No.	REVISION	DATE	SUBMITTAL	DATE
1	PLAN CHECK RESPONSE 1	09/26/2022	PERMIT SUBMITTAL	05/08/22
2	Misc. Planning Permit Adjustment	06/20/2023	PLAN CHECK RESPONSE 1	09/26/22

JOB No.	20-2036
DRAWN BY:	Author
CHECKED BY:	Checker

SECOND  
FLOOR PLAN  
- LIGHTING  
PHOTOMETR

E-0.11 

1 SECOND FLOOR PLAN - Lighting - Corridor Calc - Interior  
1/8" = 1'-0"



