01 \*GUEST BIKE PARKING

02 \*SCREEN WALL AT PARKVIEW TRANSFORMER \*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022

Page 1 of 34

Attachment 1

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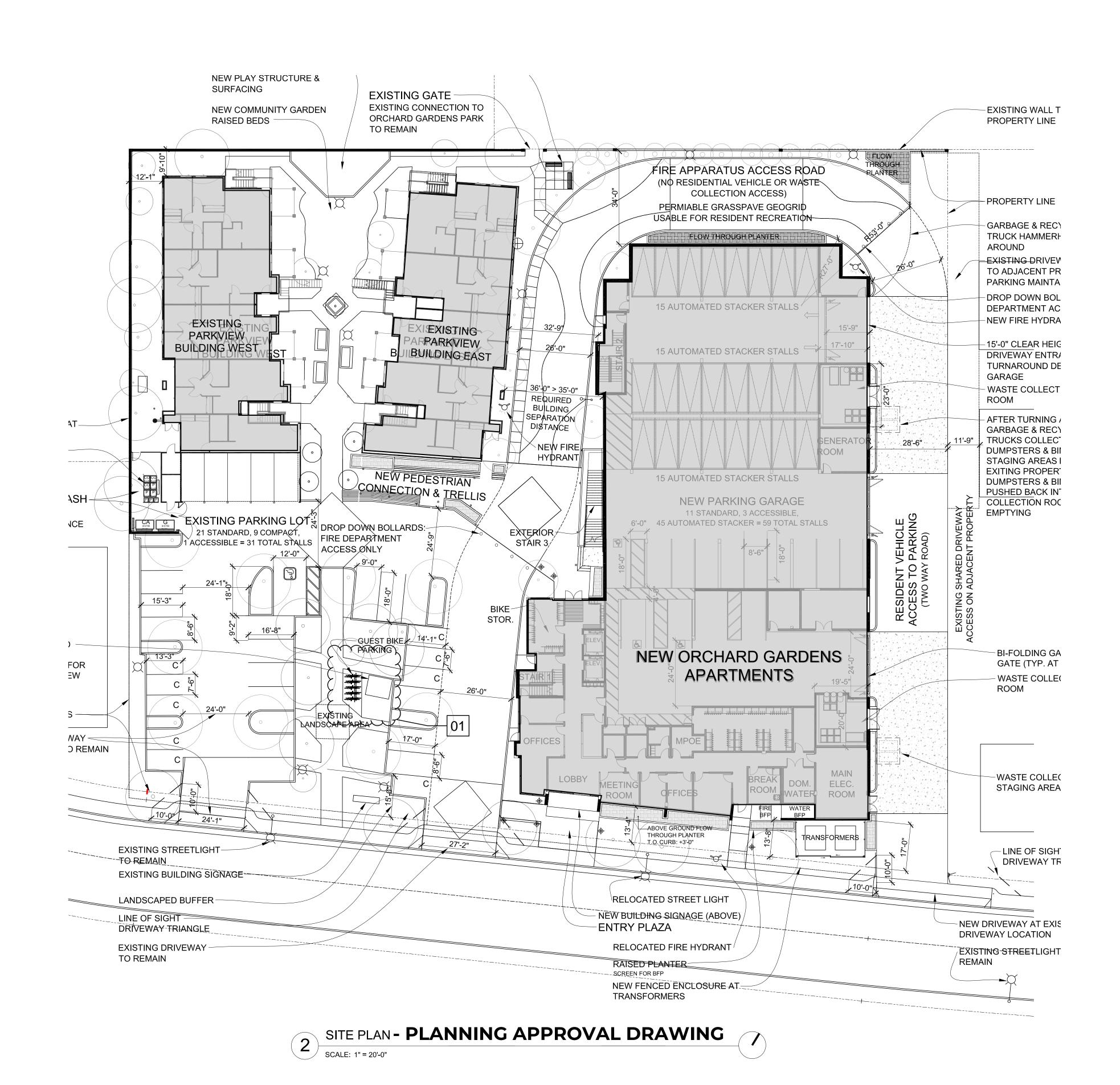
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ADJUSTMENT No.

JOB No. 20001

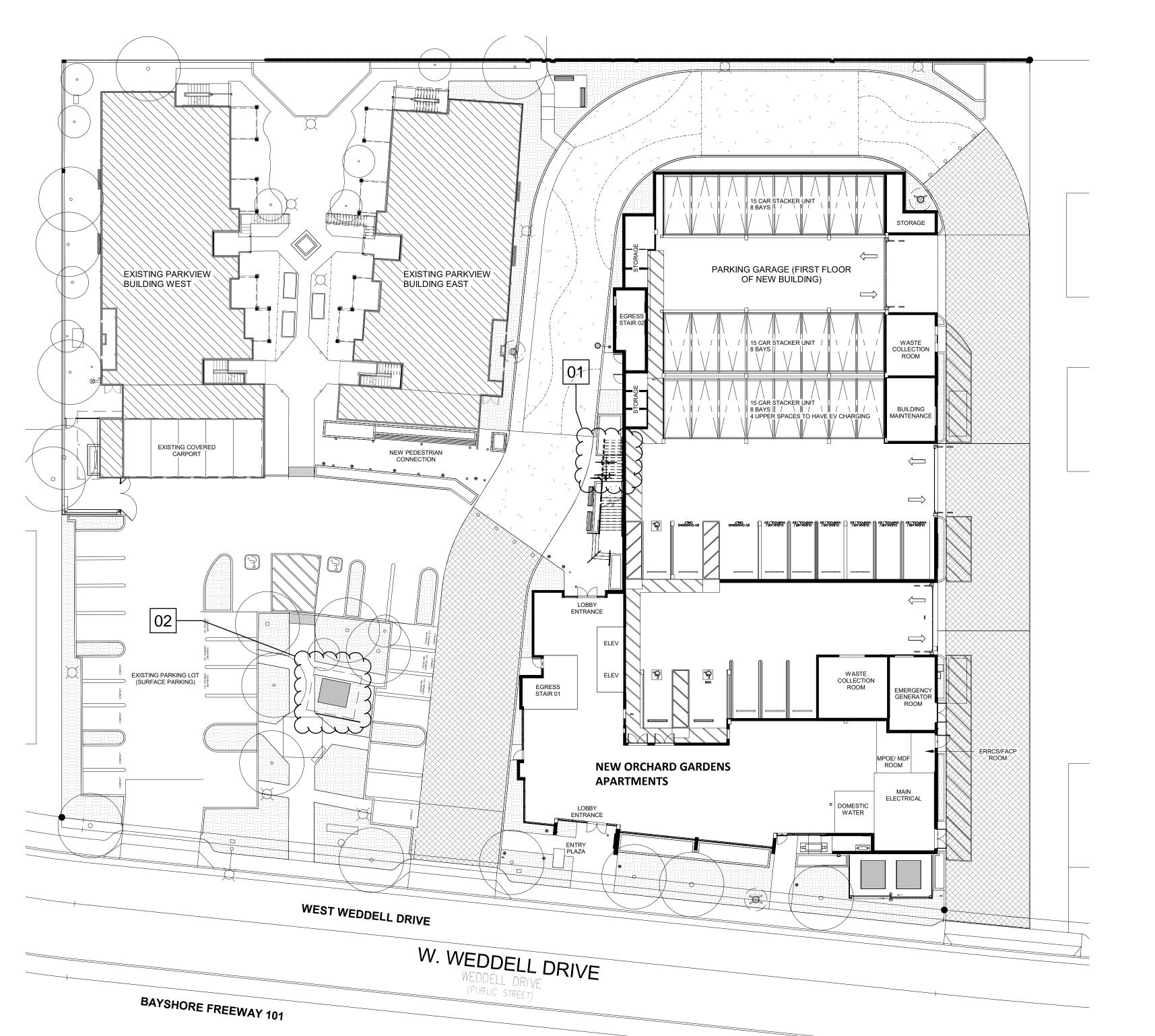
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Conformance Documentation

**A-1** 



(M)CONCRETE EXTERIOR **BUILDING WALL** SCREEN WALL/FENCE: 4X4 HSS POSTS WITH HORIZONTAL ALUMINUM SIDING (WOOD-LIKE FINISH) FIRST FLOOR PRIVACY BEAM **EXTRUSIONS ATTACHED** 3 ENLARGED TRANSFORMER ENCLOSURE SIDE ELEVATION

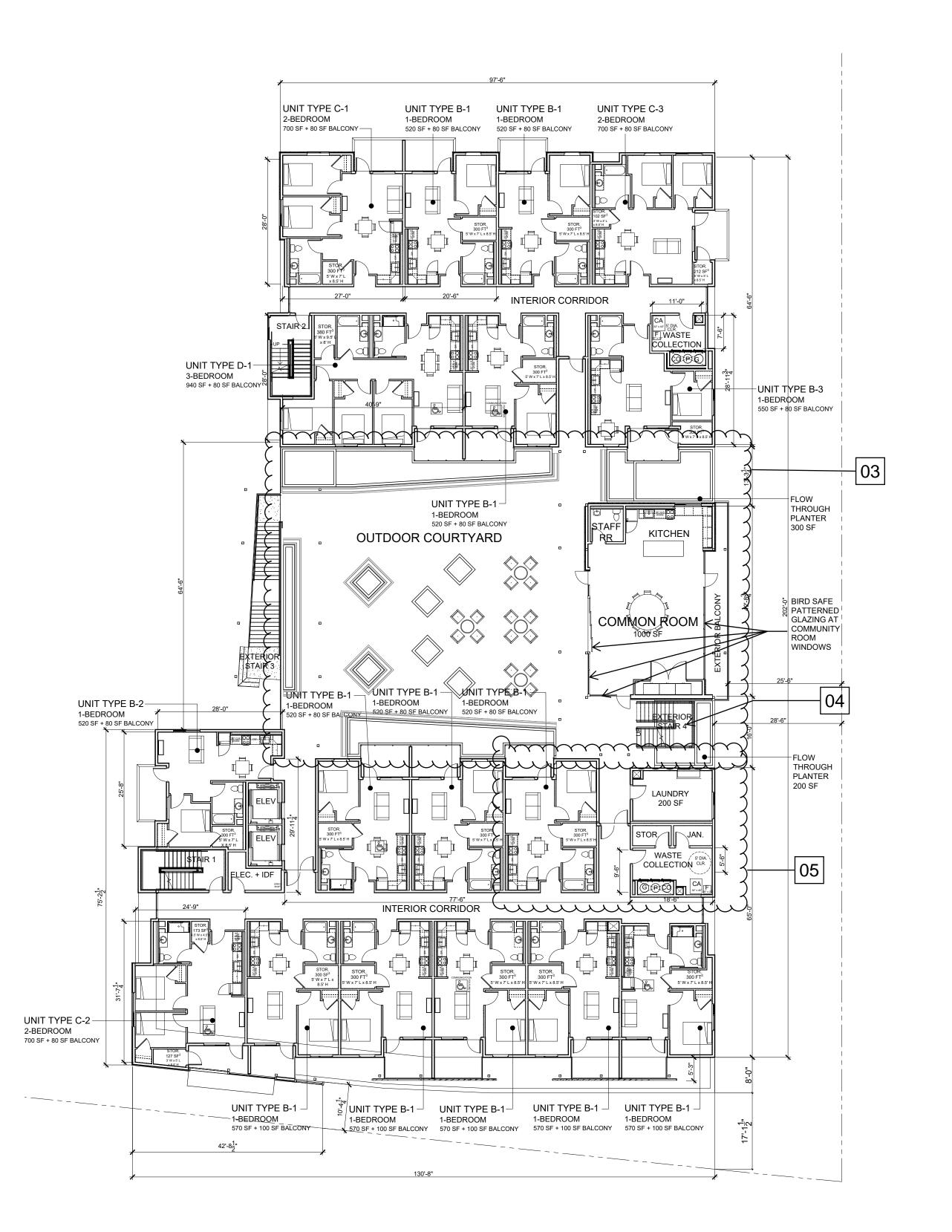


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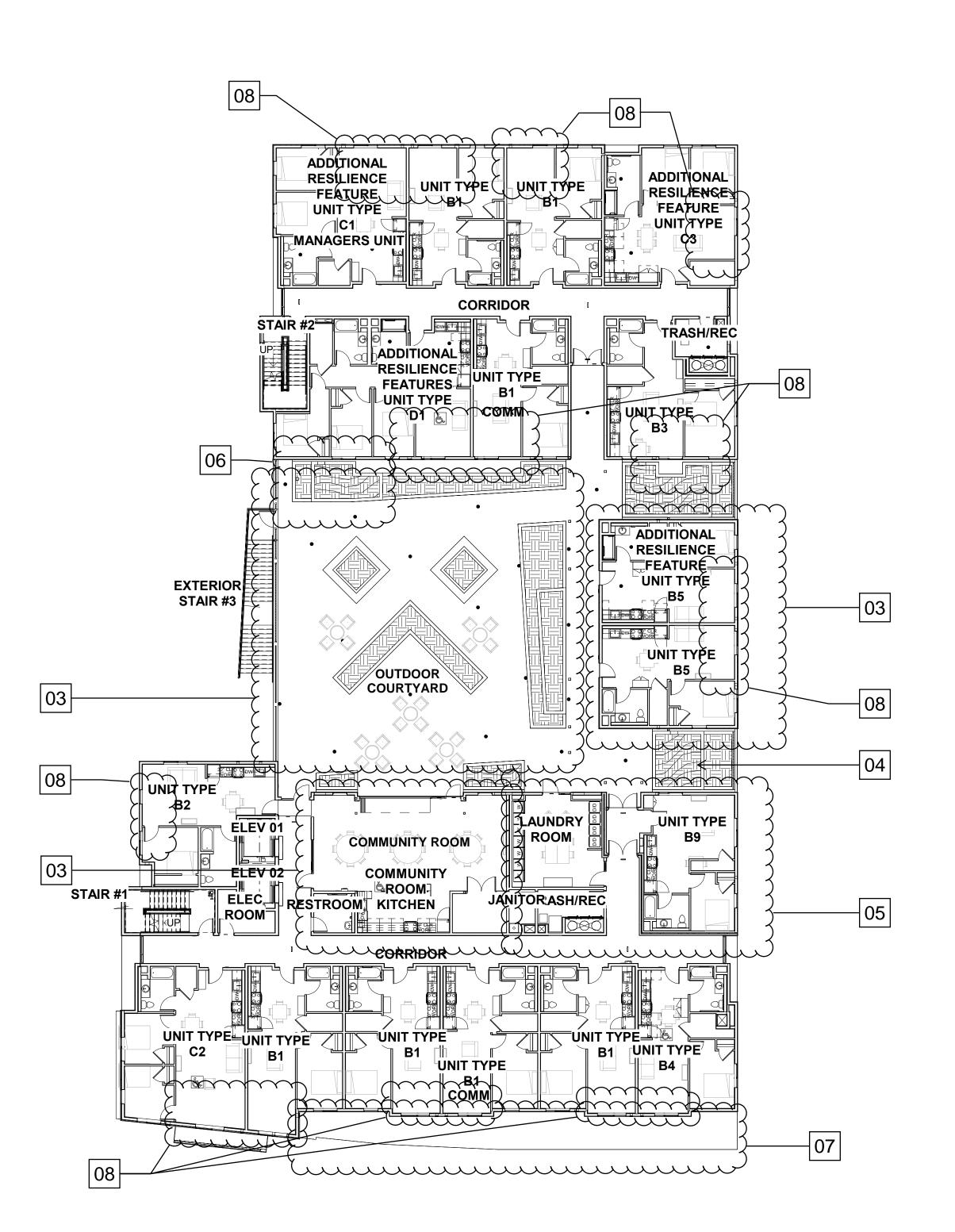
Attachment 1 Page 2 of 34

- 03 \*COMMUNITY ROOM RELOCATION AND COURTYARD ROTATION
- 04 \*EXTERIOR STAIR 04 REMOVED. ENLARGED RAISED PLANTERS IN PLACE.
- 05 \*BUILDING A COMMON ROOM AND RESIDENTIAL UNIT STACK SWAPPED
- 06 RELOCATED FLOW THROUGH PLANTERS
- 07 REMOVED LIVING ROOF OVER PODIUM ON SOUTHERN FRONTAGE
- 08 REMOVED ALL BALCONIES.

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022









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ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:
FIRST COMMUNITY HOUSING

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ADJUSTMENT 4/30/20

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Documentation **A-2** 

- 09 REMOVAL OF SOUTHERN SCREEN WALLS AND BALCONIES.
- 10 \*ROOFTOP EQUIPMENT SCREEN REVISED TO SOLID WALL, NOT VISIBLE FROM STREET.
- 11 \*HIGHEST SLOPED PORTION OF THE ROOF RAISED TO 75'-5" ALONG THE EAST SIDE OF BUILDING
- 12 REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY
- 13 PLANTER WALL MATERIAL AT FRONT ELEVATION CHANGED FROM WOOD BOARD OVER CONCRETE TO CMU
- \*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET,

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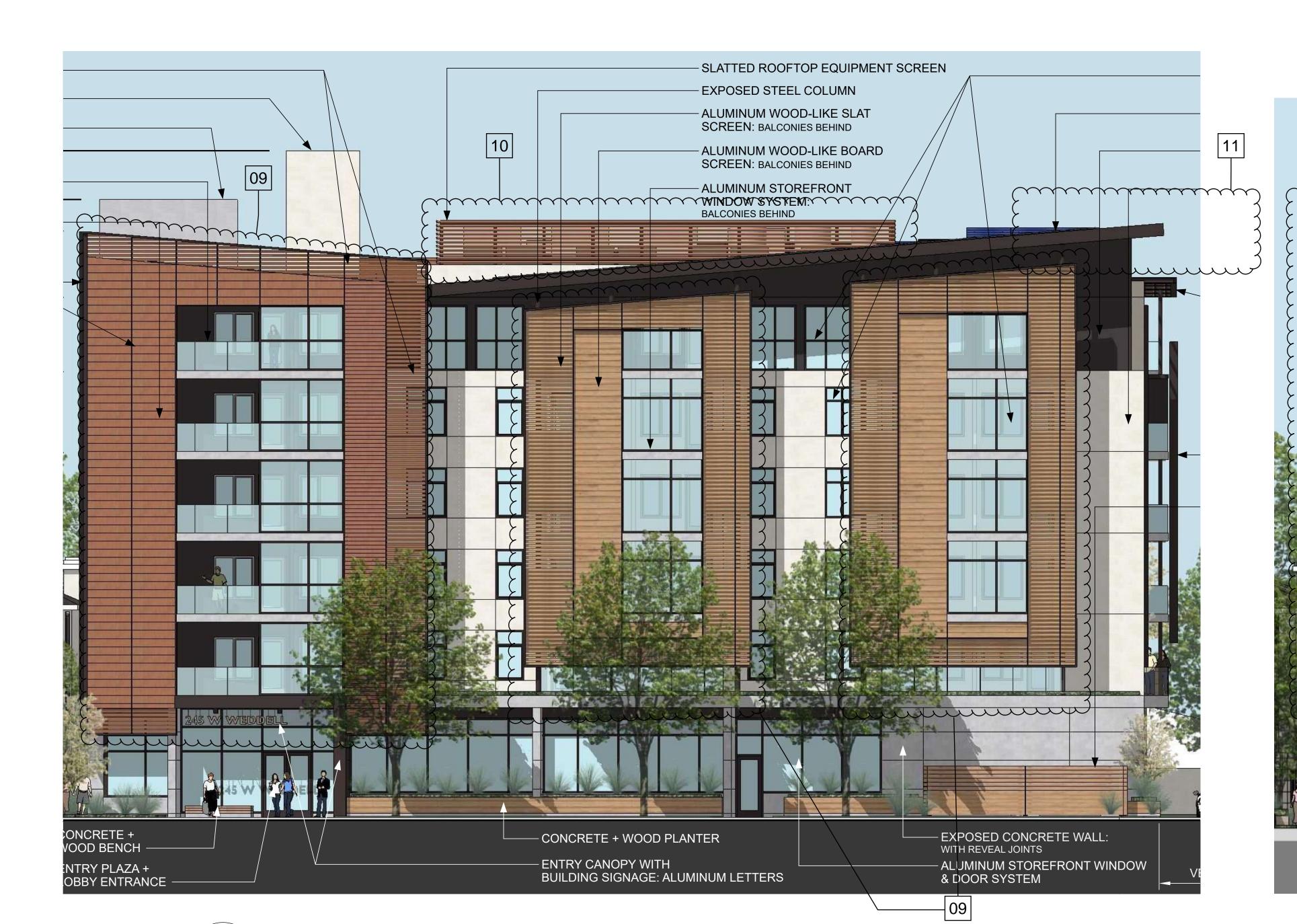
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 $2 ) \frac{30017}{1/8" = 1'-0"}$ 



SOUTH ELEVATION (STREET ELEVATION) - MISC. PLANNING PERMIT ADJUSTMENT DRAWING

SOUTH ELEVATION (STREET ELEVATION) - PLANNING APPROVAL DRAWING

**A-3** 

PLAN CHI MISC. PLADIOSTIV

JOB No. 20001 DRAWN BY: RV CHECKED BY: SV

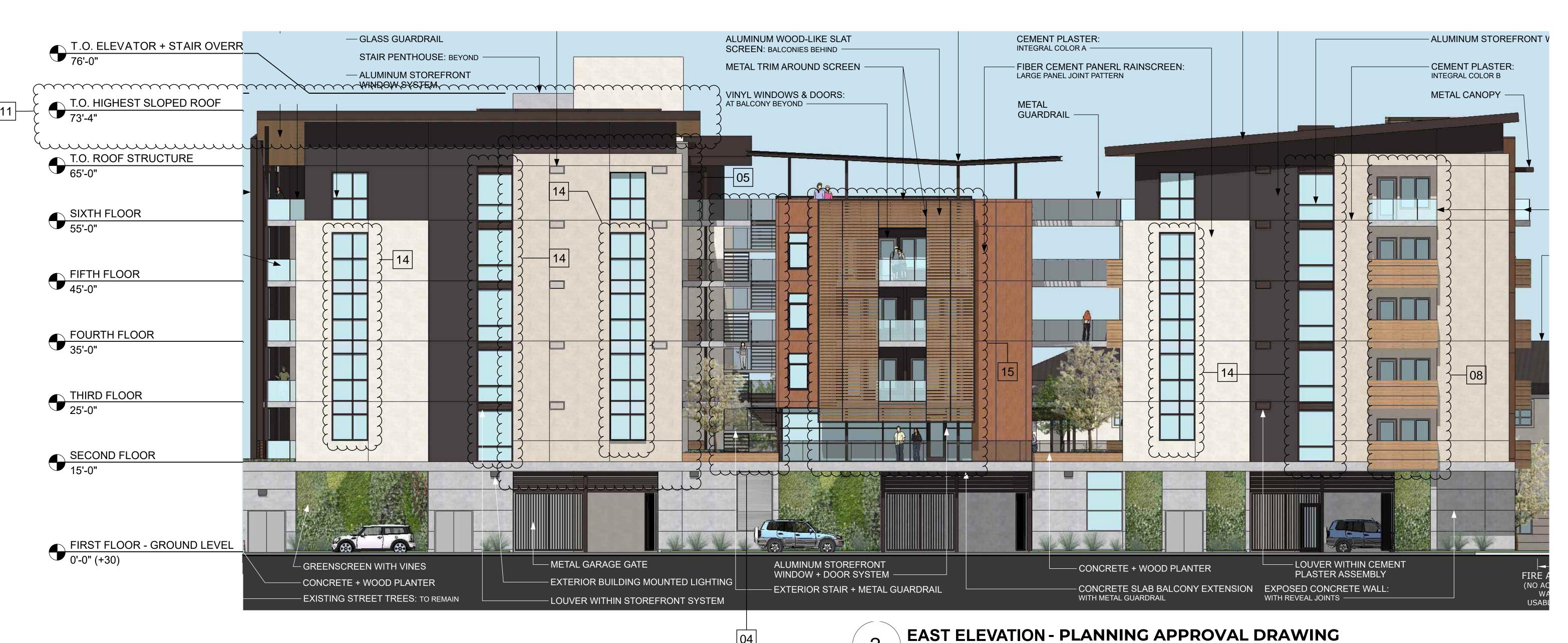
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Permit -





/ 1/8" = 1'-0"

**SHEET NOTES** 

04 \*EXTERIOR STAIR 04 REMOVED. ENLARGED RAISED PLANTERS IN PLACE.

05 \*BUILDING A COMMON ROOM AND RESIDENTIAL UNIT STACK

08 REMOVED ALL BALCONIES.

\*HIGHEST SLOPED PORTION OF THE ROOF RAISED TO 75'-5" ALONG THE EAST SIDE OF BUILDING

12 REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY

14 REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENINGS

15 BUILDING B1 EXTERIOR FACADE UPDATED TO REFLECT COMMON ROOM RELOCATION.

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022

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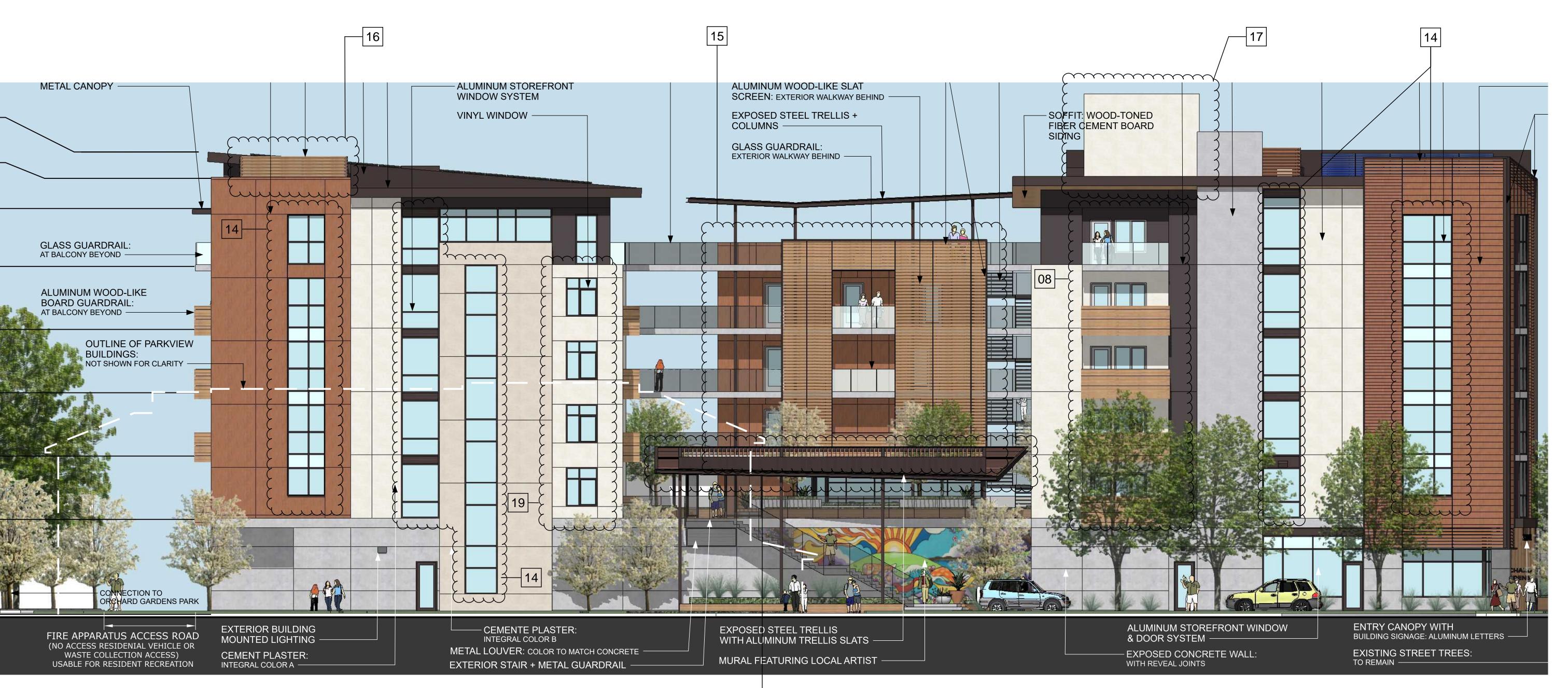
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**A-4** 



WEST ELEVATION - PLANNING APPROVAL DRAWING



## **SHEET NOTES**

BUILDING B2.

- 08 REMOVED ALL BALCONIES.
- 12 REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY
- 14 REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENINGS
- \*BUILDING B1 EXTERIOR FACADE UPDATED TO REFLECT COMMON ROOM RELOCATION.
- 16 REMOVED VRF EQUIPMENT AND ROOF EQUIPMENT SCREEN ON
- 17 ELEVATOR OVERRUN HEIGHT REDUCED TO 73'-6"
- 18 REMOVAL OF STEEL CANOPY OVER EXTERIOR STAIR
- 19 WINDOW LITES AND MULLIONS SHIFTED TO MAINTAIN OSHA GUARDRAIL REQUIREMENTS
- 20 VERTICAL METAL PICKET GUARDRAIL

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, **REVIEWED AUGUST 2022** 

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Documentation **A-5** 

METAL GUARDRAIL WITH FRAMED METAL MESH INFILL PANEL COLOR: ZINC GREY, TYPICAL; DARK ANODIZED BRONZE AT WESTERN EDGE OF COURTYARD PLANNING APPROVAL DRAWING



3 NORTH ELEVATION - BUILDING A

PLANNING APPROVAL DRAWING



NORTH ELEVATION - BUILDING B2

1/8" = 1'-0"

MISC. PLANNING PERMIT ADJUSTMENT DRAWING



NORTH ELEVATION - BUILDING A

MISC. PLANNING PERMIT ADJUSTMENT DRAWING

# **SHEET NOTES**

- \*COMMUNITY ROOM RELOCATION AND COURTYARD ROTATION
- 08 REMOVED ALL BALCONIES.

BUILDING B2.

- 12 REPLACE CENTRALIZED VRF SYSTEM WITH PTHP, PROVIDE NECESSARY LOUVERS
- 14 REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENINGS
- 14 REPLACE STOREFRONT AND WINDOW WALL WITH PUNCHED OPENING

16 REMOVED VRF EQUIPMENT AND ROOF EQUIPMENT SCREEN ON

- 18 REMOVAL OF STEEL CANOPY OVER EXTERIOR STAIR
- 21 ROOFTOP EQUIPMENT REDUCED DUE TO CHANGE FROM VRF TO PTHPS

\*STARRED ITEMS WERE PART OF THE PREVIOUSLY REVIEWED MPP SET, REVIEWED AUGUST 2022

Page 6 of 34

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A-6



COURTYARD AERIAL RENDERING - PLANTER/SEAT WALL UPDATES MISC. PLANNING PERMIT ADJUSTMENT DRAWING



MISC. PLANNING PERMIT ADJUSTMENT DRAWING

PEDESTRIAN CONNECTION RENDERING - PLANTER/SEAT WALL UPDATES

1/8" = 1'-0"

MATERIAL + REFERENCE IMAGES - PLANTER/SEAT WALL UPDATES

1/8" = 1'-0"

101 - Shot Blast

Standard - Light/Medium Weight Standard - Light/Medium Weight Standard - Light/Medium Weight Standard - Light/Medium Weight

PLAN CHECK RESPONSE DESIGN

Standard - Light/Medium Weight Standard - Light/Medium Weight Standard - Light/Medium Weight Standard - Light/Medium Weight

PROPOSED CMU PLANTER WALL MATERIAL,

PLANTERS ALONG THE STREET FRONTAGE,

COURTYARD. THE CMU PLANTER WALLS
PROVIDE A DURABLE AND AESTHETICALLY
PLEASING SOLUTION ADDING TEXTURE AND
COLOR TO THESE AREAS.

COLOR, STACKING AND CAP FOR RAISED

1 STREET FRONTAGE RENDERING - PLANTER/SEAT WALL UPDATES

MISC. PLANNING PERMIT ADJUSTMENT DRAWING

**SHEET NOTES** 

13 PLANTER WALL MATERIAL AT FRONT ELEVATION CHANGED FROM WOOD BOARD OVER CONCRETE TO CMU

22 REMOVAL OF DECORATIVE STEEL TRELLIS OVER ROOF GARDEN

Page 7 of 34

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**A-7** 





### **SHEET NOTES**

- 22 REMOVAL OF DECORATIVE STEEL TRELLIS OVER ROOF GARDEN.
- 23 ROOF EAVE EXTENDED BALANCING BUTTERFLY ROOF
- 24 HORIZONTAL TONGUE & GROOVE SIDING IN HONEY
- 25 HORIZONTAL LAP SIDING IN CHARCOAL GREY
- 26 TERRA COTTA COLORED PANELS
- 27 PRECEDENT IMAGE WITH PANELS AND RECESSED HORIZONTAL LAP

Page 8 of 34

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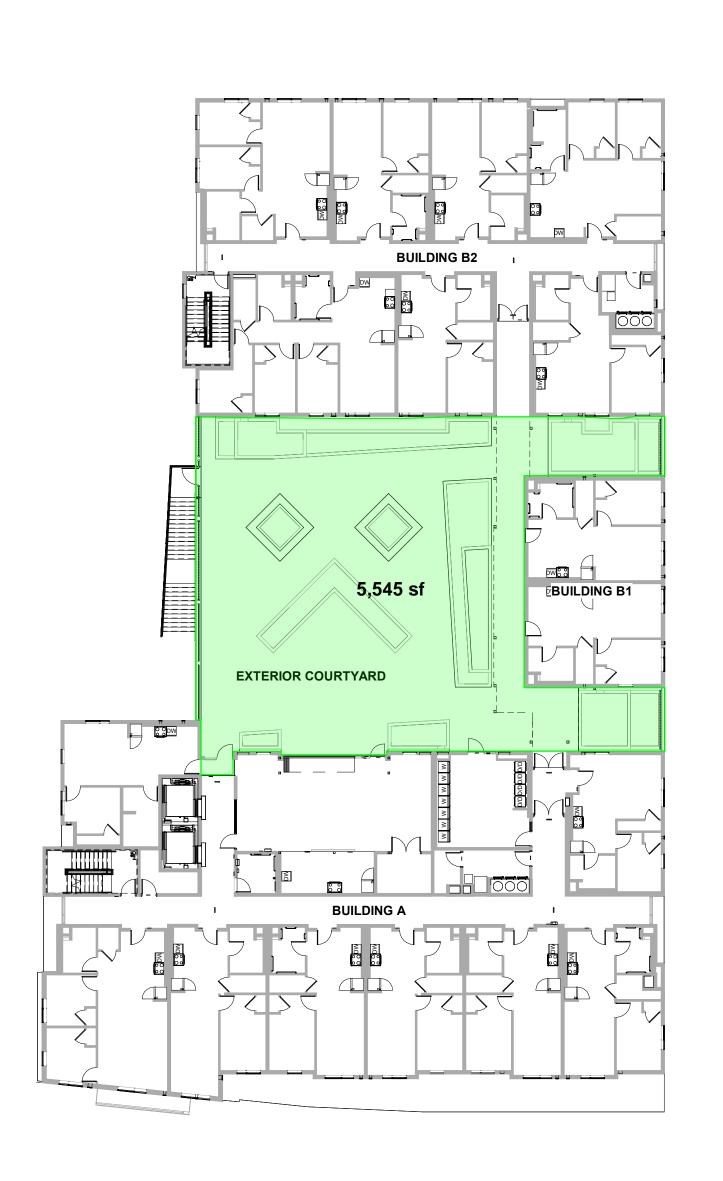
**A-8** 

STREET FRONTAGE RENDERING - EXTERIOR CLADDING UPDATES

1/8" = 1'-0"

LANDSCAPE AREA (PLANTING AREAS): 40.4% PARKING LOT LANDSCAPE AREA: PARKING LOT AREA 15,313 SF LANDSCAPE AREA IN PARKING LOT 3,447 SF % LANDSCAPE AREA IN PARKING LOT 22.5% OTHER LANDSCAPE AREAS: SITE (BEYOND PARKING LOT AREA) LANDSCAPE AREA 19,681 SF COURTYARD LANDSCAPE AREA 5,545 SF 1,602 SF ROOF DECK LANDSCAPE AREA TOTAL OTHER LANDSCAPE AREA 26,828 SF TOTAL OTHER LANDSCAPE AREA/UNIT 218.1 SF/UNIT \*NOTE: PROJECT IS REQUESTING A WAIVER FOR LANDSCAPE AREA/UNIT REQUIREMENT OF 375 SF/UNIT. TOTAL LANDSCAPE AREA: LANDSCAPE AREA IN PARKING LOT 3,447 SF TOTAL OTHER LANDSCAPE AREA 26,828 SF 30,275 SF TOTAL LANDSCAPE AREA REQUIRED LANDSCAPE AREA: MIN. 20% OF SITE AREA PROPOSED LANDSCAPE AREA: 30,275 SF / 74,923.2 SF = 40.4%

# 3 LANDSCAPE AREA EXHIBIT - SIXTH FLOOR PLAN 1" = 20'-0"

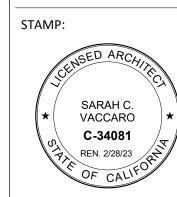




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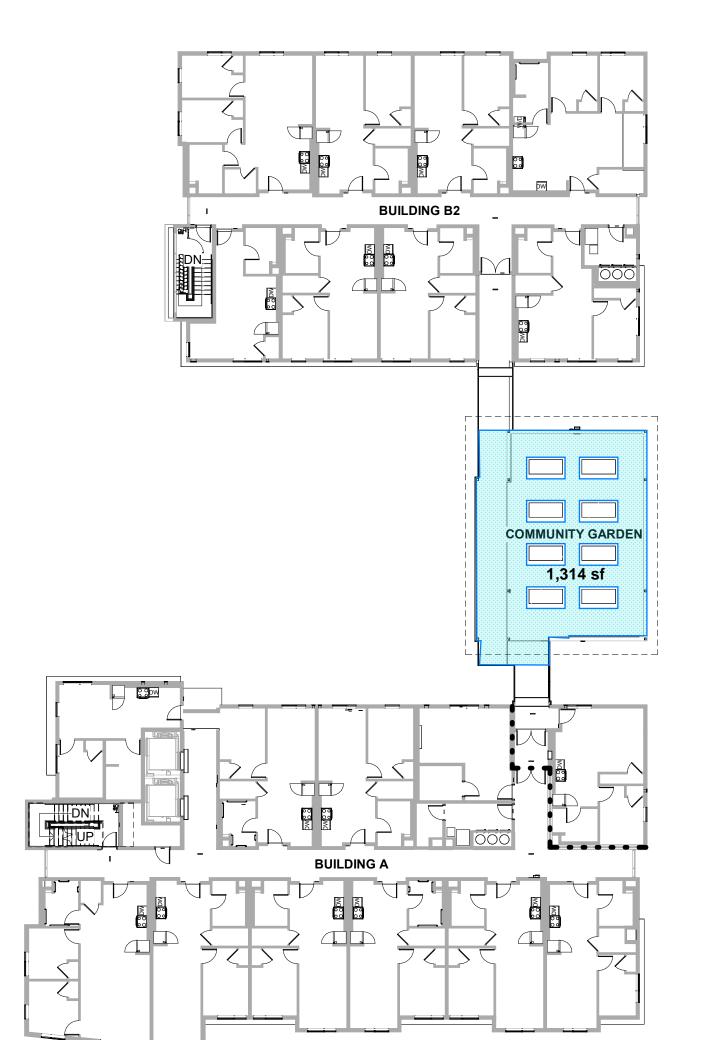
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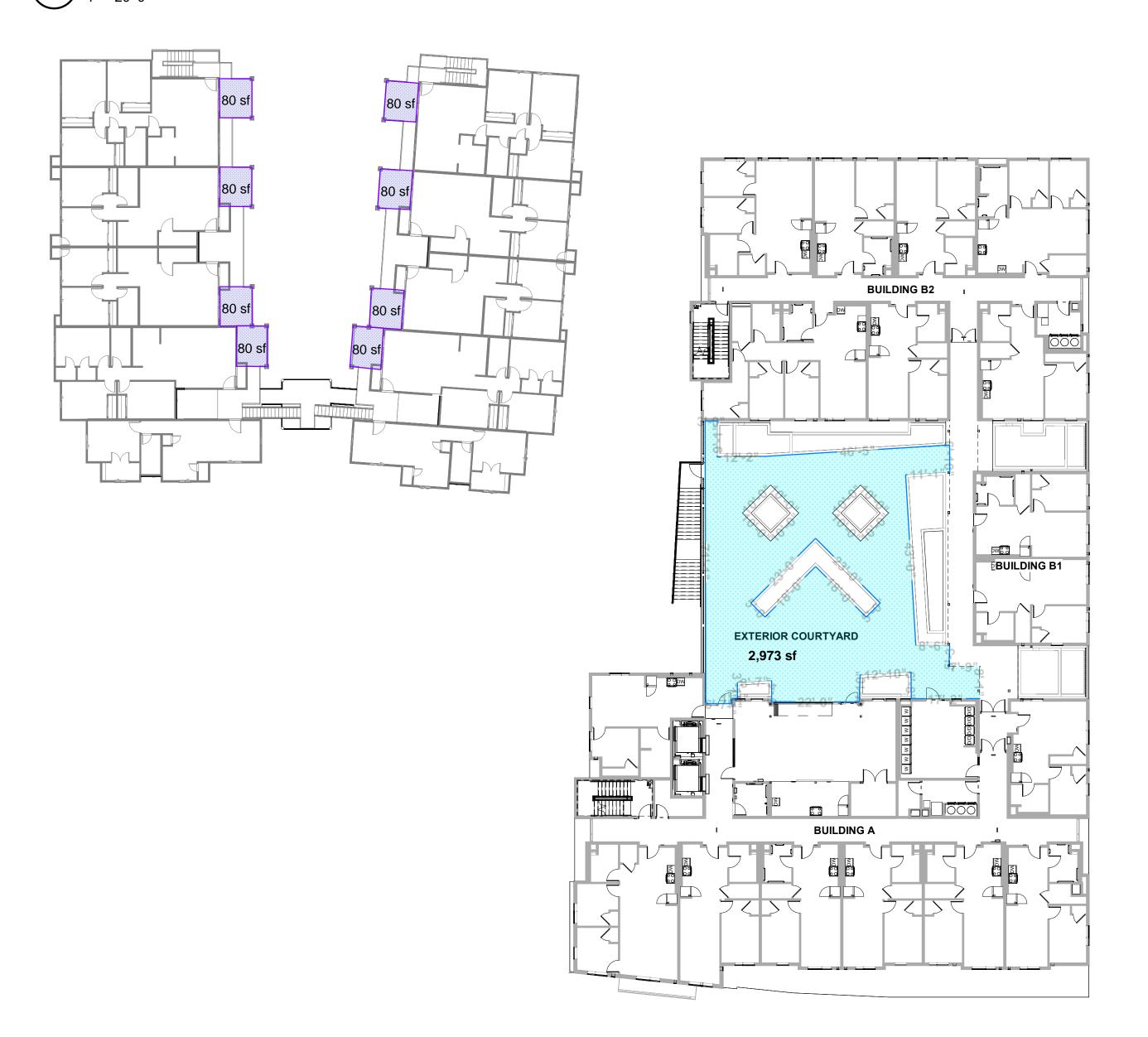
LANDSCAPE AREA EXHIBIT

G3.21

SPACE/UNIT REQUIREMENT OF 380 SF/UNIT

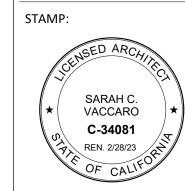


# USABLE SPACE EXHIBIT - SIXTH FLOOR PLAN





\*NOTE: PROJECT IS USING A CONCESSION TO REDUCE USABLE OPEN



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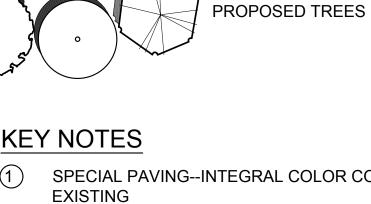
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USABLE OPEN SPACE

EXHIBIT

Job: FCH\_ORC TLA 20001





### **KEY NOTES**

(STORMWATER 5

EX TREES TO BE

(STORMWATER 5

- EX TREES TO BE REMOVED

(ON GREEN\$CREEN PANELS)

(ON GREENSCREEN PANELS)

EX TREE TO BE REMOVED

1

LEGEND

1 SPECIAL PAVING--INTEGRAL COLOR CONCRETE TO MATCH

GROUNDCOVER AREA

**EXISTING TREES** 

**REPORT** 

EXISTING TREES

TO BE REMOVED

TO REMAIN

- "TURF BLOCK" GEOGRID REINFORCED PAVING FOR FIRE
- APPARATUS ACCESS ROAD ②A TURF PAVING
- ②B GRAVEL PAVING
- © GROUNDCOVER PAVING
- DROP DOWN BOLLARDS
- PERMEABLE CONCRETE PAVING (SEE CIVIL DRAWINGS)
- STORMWATER TREATMENT AREA/PLANTER (SEE CIVIL DRAWINGS)
- BENCH/SEATING SURFACE
- SITE FURNITURE
- SITE LIGHTING FIXTURE--SEE SITE LIGHTING PLAN
- RAISED PLANTER (ON STRUCTURE)
- TENANT COMMUNITY GARDENING PLANTER
- EXISTING APPROX. 6 FT HIGH STUCCO/MASONRY WALL AT PL TO REMAIN
- SEATING AREA AT ENTRY TO PARK
- EXISTING PLANTING AREAS TO BE INFILLED WITH PLANT MATERIAL AS
- PERMEABLE PAVERS
- BIKE SHARE PARKING
- EXISTING PLAY LOT TO BE RENOVATED
- 17 PROPOSED TRANSFORMER(S)

### PROPOSED PLANT LIST (SUMMARY FOR L-1 AND L-2)

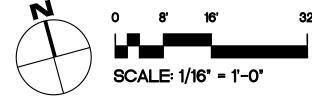
PLANT LIST						
ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	QUANT.	CA Native	MISC. NOTES & REQUIREMENTS
TREES						
CER OCC	Cercis occidentalis	Western Redbud	24" Box	15	X	SL/Stem up.
LAG NAT	Lagerstroemia i. 'Natchez'	Crape Myrtle (White)	24" Box	11		Stds. matched forms
PIS CHI	Pistacia chinensis	Chinese Pistache	24" box	9		Hi. Br.
TRI CON	Tristania conferta	Brisbane Box	24" box	4	1	
SHRUBS						
RHA CAL	Rhamnus californica 'Mound San Bruno'	Coffeeberry	5 G.C.	27	Х	Br. Gr., F&B
SAL CLE	Salvia clevelandii	Cleveland Sage	1 G.C.	10	Х	
SAL SPA	Salvia spathacea	Hummingbird Sage	1 G.C.	29	X	
PERENNIALS/B	ULBS/ANNUALS		70			
ACH MS	Achillea millefolium 'Moonshine'	Common Yarrow	1 G.C.	75	Х	
CAL KF	Calamagrostis a.'Karl Foerster'	Reed Grass	5 G.C.	4		
CHO ELE	Chloropetalum elephantinum	Large Cape Rush	1 G.C.	47		
ERI GLA	Erigeron glaucus	Beach Aster	1 G.C.	91	Х	
ERI UMB	Eriogonum umbellatum 'Polyanthem'	Sulfur Buckwheat	1 G.C.	26	X	
HEM OG	Hemerocallis 'Our Gertrude'*	Evergreen, repeat bloom Daylily	B.R.	15	X	Double fan min., plant at 18" o.c. max.
IRI DOU	Iris douglasiana	Douglas Iris	1 G.C.	137	X	The same same same same same same same sam
JUN PAT	Juncus patens	California Grey Rush	1 G.C.	333	X	
MUH RIG	Muhlenbergia rigens	Deer Grass	5 G.C.	16	X	
PEN ALO	Pennisetum alopecuroides	Fountain Grass	1 G.C.	12		
ZAU CAT	Zauschneria 'Catalina'	California Fuchsia	1 G.C.	36	X	
GROUNDCOVE	RS					
ARC MC	Arctostaphylos hookeri 'Monterey Carpet'	Monterey Manzanita	5 G.C.	1390 SF	X	Plant at 24" o.c.
CEA YP	Ceanothus griseus var h. 'Yankee Point'	Yankee Point California Lilac	1 G.C.	660 SF	X	Plant at 48" o.c.
CAR TEX	Carex texensis	Catlin Sedge	1 G.C.	1940 SF		Plant at 15" o.c.
VINES						
VINES HAR HW	Hardenbergia violacea 'Happy Wanderer'	N.C.N.	5 G.C.	9	1	
TAK TVV	Hardenbergia violacea Happy vvanderer	N.C.N.	3 G.C.	9		
LAWN (SOD)						
SOD	Sodded lawn shall be "Native Mow Free" dro available through Delta Bluegrass Co, (800)				Х	
	BBREVIATIONS:					
SL LE De	Single main, straight, dominant, leader	Harl El mile for 45 and 1	f 0 411 1			
Hi. Br.	High branched—lowest limbs held above roo	tball 5' min. for 15 gallon can 6' min.	for 24" box	rees		
No Top	No topping or pruning of upper branches					
Br. Gr.	Branched to ground	l l l l l l l l l l l l l l l l l l l		a alternation to		
F & B	Full dense, bushy, vigorous plants, with your		es, no old/wo	ody plants.		
N.V.S30 deg.	Narrow upright vase shape 30 degrees or les					
N.V.S45 deg.	Narrow upright vase shape 45 degrees or les	ss spread in branch/trunk structure				
T.F.	Tree Form					
S.F.	Shrub Form					
N.F.	Narrow upright Form					
Mult. St.	Multi stemmed					
G.C.	Gallon Can					
Stem up.	Stem up to expose trunk and lower branch p	attern				
O.C.	On center					

### NOTES

1. FOR PROPOSED TREE REPLACEMENTS AND ADDITIONAL TREES SEE SHEET L-5.

2. FOR SOIL PREPARATION NOTES SEE SHEET L-2.

Taniguchi Landscape Architecture 1013 South Claremont St. Ste 1 San Mateo, CA 94401 tel. 650.638.9985 fax. 650.638.9986



EX STREET TREE TO

#29

**EXISTING** 

**PARKVIEW** 

WEST

(1)

#<u>12</u>7

#157

#2

-EX STREET TREES

TO REMAIN

EX TREES TO

REMAIN

#31

#33

#35

PLAN: FIRST FLOOR

8 (EXIST)

ATTOORAND WATERWATTE WATERWATTE A SHEWATTE WATERWATTE W

EX STREET TREE —— TO BE REMOVED

ORCHARD

**GARDENS** 

**APARTMENTS** 

SOD

(OVER GRASS PAVE).

TREATMENT PLANTERS

RHA CAL -

CHO ELE

(STORMWATER TREATMENT)

— HEM OG

-(8) (EXIST)

#28

EX TREES TO

**EXISTING** 

**PARKVIEW** 

**EAST** 

#27

LAG NAT— SAL SPA — ACH MIL —

CER OCC 7

CHO ELE JUN PAT ——

-(8)(EXIST)

ZAU CAT---

EX TREES TO BE REMOVED

WEST WEDDELL DRIVE

**BAYSHORE FREEWAY 101** 

—SAL CLE

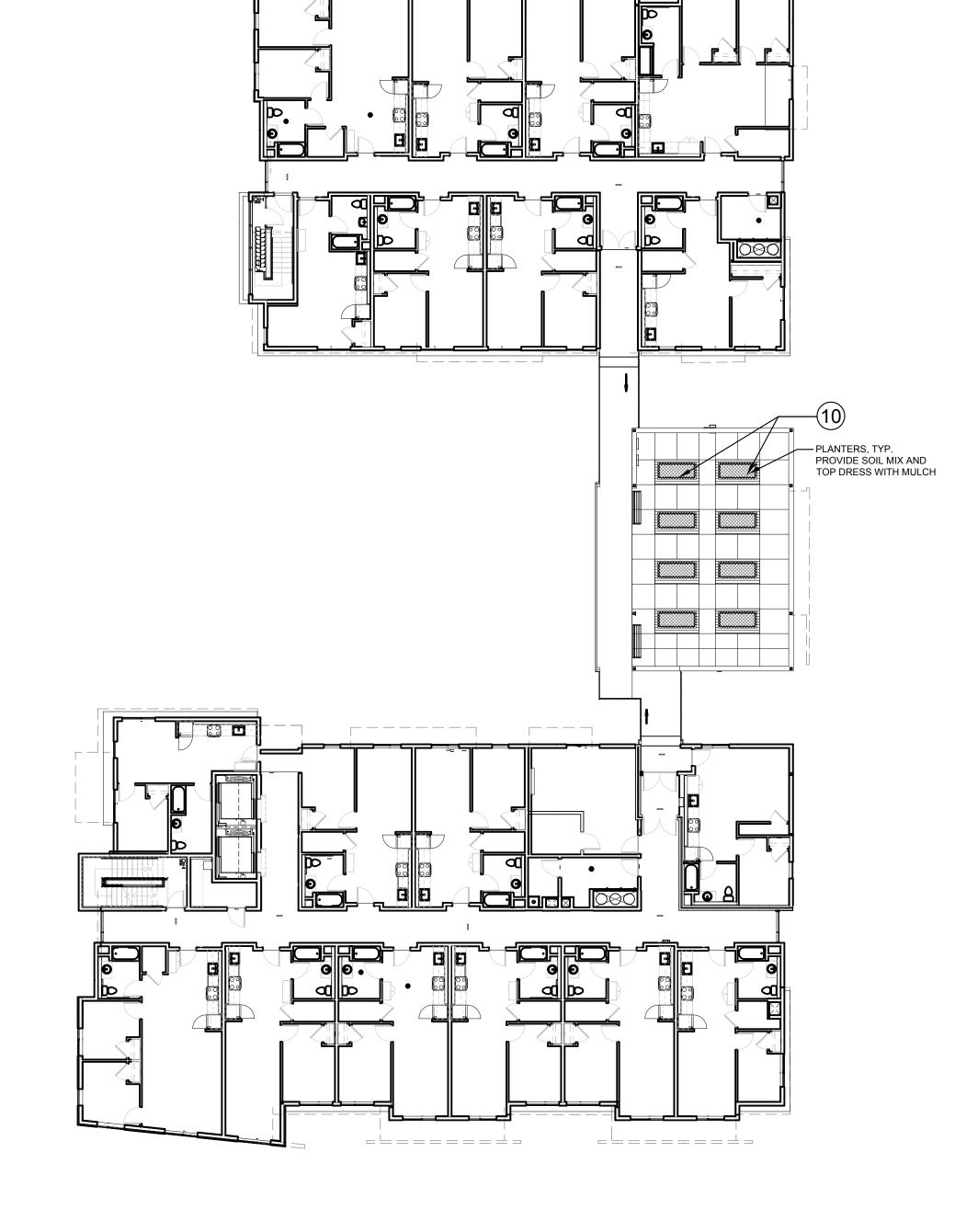
\_\_ACH MIL -IRI DOU JUN PAT

EX STREET TREES TO

### **KEY NOTES**

LEGEND

- SPECIAL PAVING--INTEGRAL COLOR CONCRETE
- STORMWATER TREATMENT AREA/PLANTER (SEE CIVIL DRAWINGS)
- BENCH/SEATING SURFACE
- SITE LIGHTING FIXTURE--SEE SITE LIGHTING PLAN
- RAISED PLANTER (ON STRUCTURE)
- TENANT COMMUNITY GARDENING PLANTER



### NOTES

- 1. SEE PLANT LIST, SHEET L-1.
- 2. FOR PROPOSED TREE REPLACEMENTS AND ADDITIONAL TREES SEE SHEET L-5.
- 3. INSTALL 3" DEEP LAYER OF MULCH IN ALL PLANTING AREAS (OTHER THAN TURF AREAS). MULCH TO BE ORGANIC RECYCLED CHIPPED WOOD IN DARK BROWN COLOR.
- 4. COMPOST WILL BE INCORPORATED AT A MINIMUM 4 CUBIC YARDS PER 1000 SF TO A DEPTH OF 6 INCHES. A QUALIFIED SOIL TESTING LABORATORY SHALL COMPLETE A SOIL FERTILITY TEST PRIOR TO AMENDING THE PLANTING SOIL AND SHALL PROVIDE RECOMMENDATIONS FOR ORGANIC COMPOST TO BRING THE SOIL ORGANIC MATTER TO A MINIMUM OF 5% BY DRY WEIGHT AND INCORPORATING ORGANIC FERTILIZERS TO RECOMMENDED LEVELS FOR THE PLANTING AREAS. THE FINAL TESTING RESULTS, RECOMMENDATIONS AND ORGANIC COMPOST SHALL BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT

Taniguchi Landscape Architecture

1013 South Claremont St. Ste 1 San Mateo, CA 94401

tel. 650.638.9985

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ORCHAR

REVISIONS

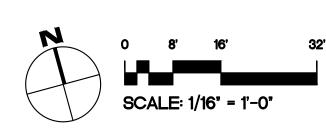
LANDSCAPE PLAN SECOND AND SIXTH LEVELS

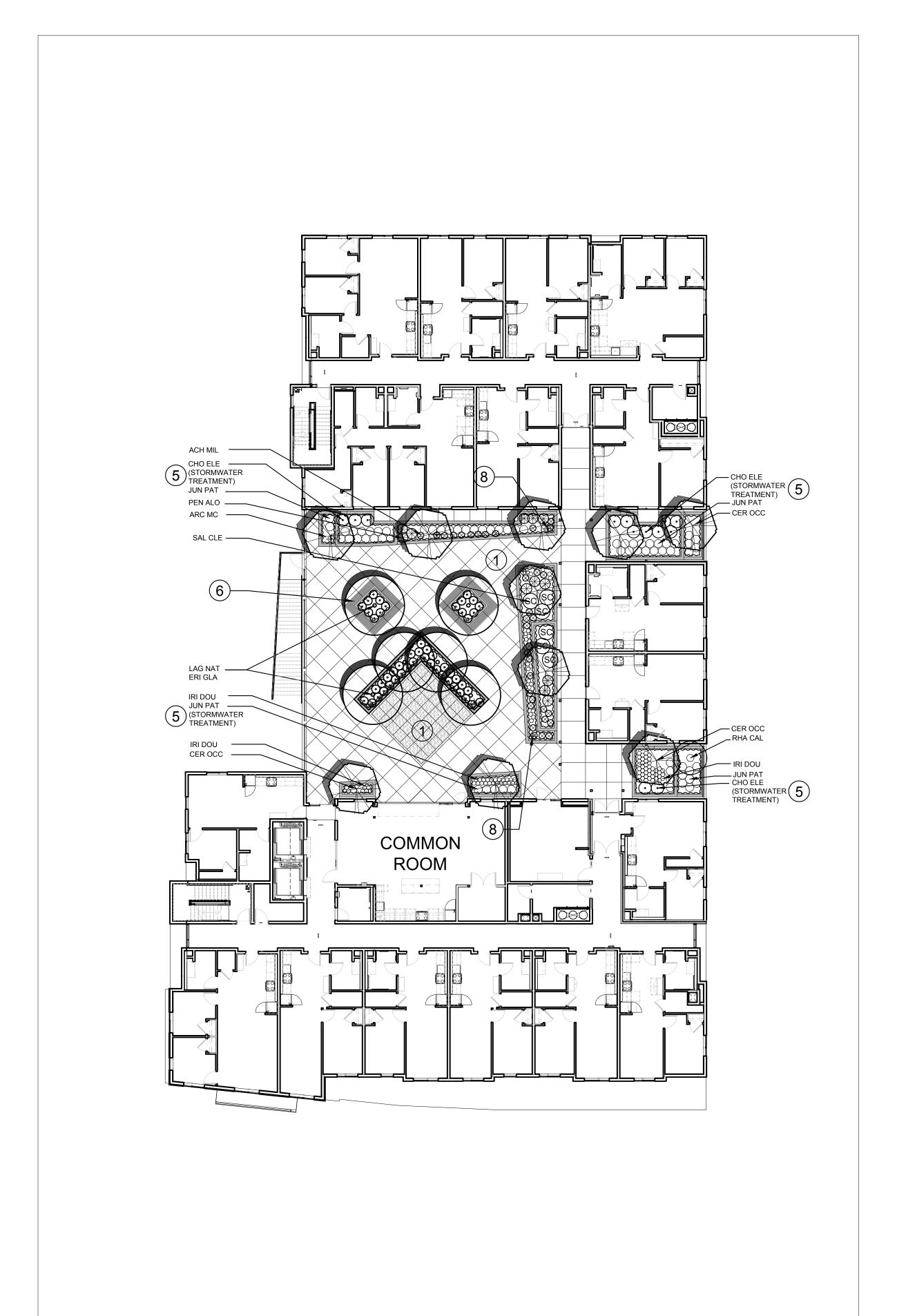
SDP Planning Resubmittal

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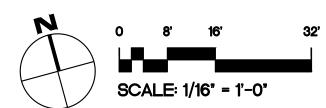
Job: FCH\_ORC TLA 20001

PLAN: SIXTH LEVEL





PLAN: SECOND LEVEL

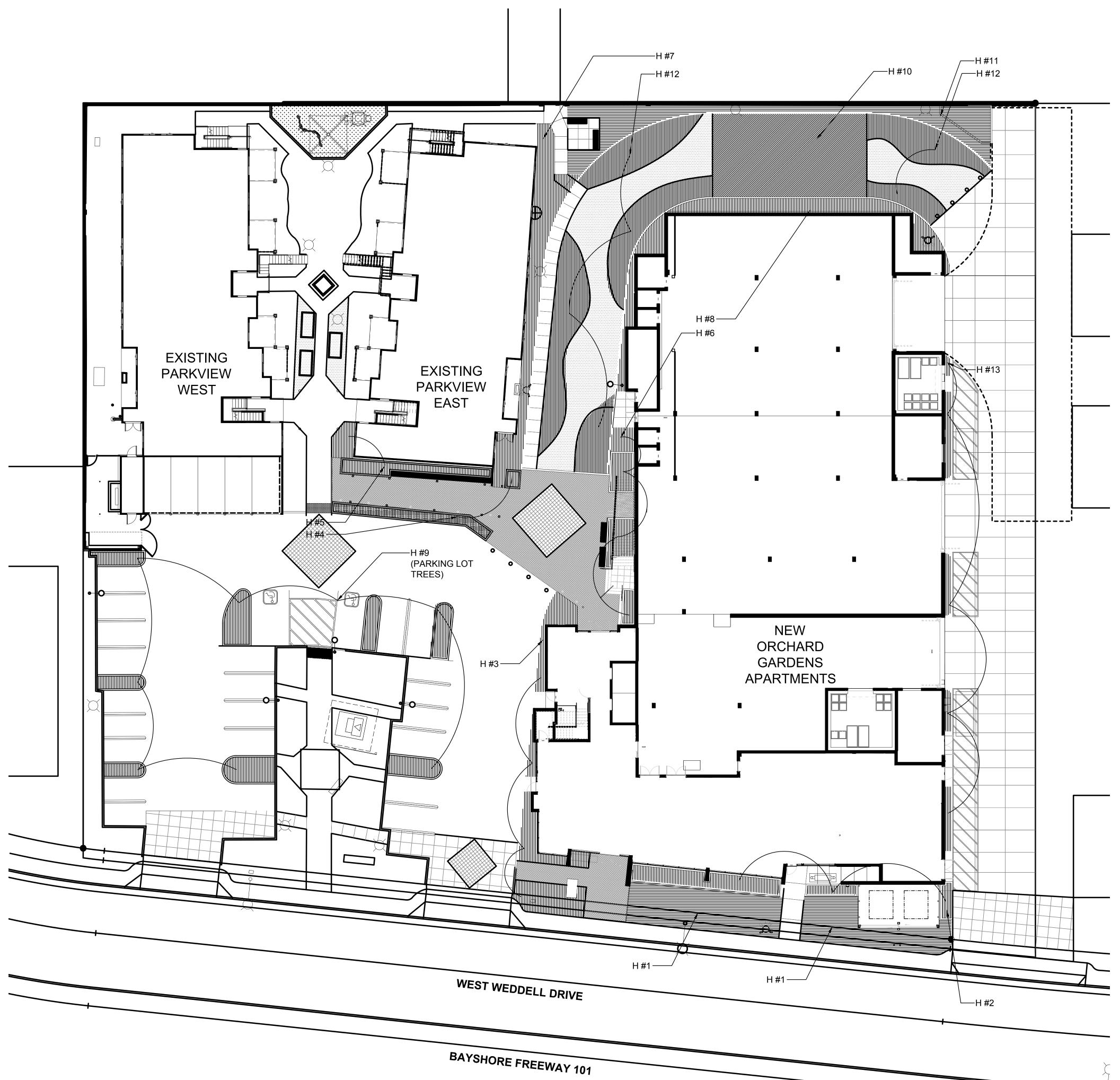


PHONE: 408.295.2210

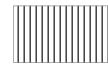
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### HYDROZONE LEGEND



LOW WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS)



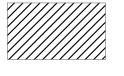
MEDIUM WATER USE



(SUBSURFACE DRIP AND/OR DRIP EMITTERS)



HIGH WATER USE



H #X

HYDROZONE NUMBER

<b>V</b>							
MAWA = (ETo) $\times$ (0.62) $\times$ [(0.45 $\times$ LA)+(0.55 $\times$ SLA)]							
FT-**	San Jose (Sunnyvale)		×				
ETo**		45.30	ETo (inches/year)				
Enter total project Landscaped Area		10,023	LA (square feet)				
Enter Special Landscaped Area		0	SLA (square feet)				
RESULTS:							
		126,677.69	MAWA (gallons/year)				

ETWU = (ETo) x (0.62	) x [(PF x HA)/IE + SLA]								
Irrigation Efficiency V	/alues				I.				
Drip System	0.81	ETWU =	Estimated total water use per year (	gallons per year)					
Overhead Spray System	0.75		ETo = Reference Evapotranspiration (inches per year)						
	0.75	PF =	Plant Factor from WUCOLS* or equiv	alent reference subje	ect to approval				
water reature/Other	0.73	J HΔ =	Hydrozone Area (square feet)	87	15 M				
			Special Landscaped Area (square fee	t)					
Plant Water Use Type	Plant Factor		7292 32 3 2001 3 30 30						
Very Low	0 - 0.1		Conversion Factor (to gallons per squ	93					
Low	0.2 - 0.3		Average Irrigation Efficiency (minims system)	um 0.75, assumed to	be 0.76 for overnead spray sy	stem and 0.81 for dr			
Moderate	0.4 - 0.6		system						
High	0.7 - 1.0	ļ							
Water Feature (High)	1.0	1							
SLA	1.0								
HYDROZONE TABLE									
HTDROZONE TABLE		Plant Factor		Irrigation	Hydrozone Area (HA)	[PF x HA]/IE			
Hydrozone	Plant Water Use Type(s)	(PF)	Irrigation Type	Efficiency (IE)	(sq ft)	(sq ft)			
Zone 1	Moderate	0.4	Drip System	0.81	1,129	558			
Zone 2	Low	0.2	Drip System	0.81	277	68			
Zone 3	Low	0.2	Drip System	0.81	528	130			
Zone 4	Low	0.2	Drip System	0.81	152	38			
Zone 5	Low	0.2	Drip System	0.81	203	50			
Zone 6	Low	0.2	Drip System	0.81 0.81	265	65 158			
Zone 7	Low	0.2	Drip System		641				
Zone 8	Low	0.2	Drip System	0.81	552	136			
Zone 9	Low	0.5	Drip System	0.81	655	404			
Zone 10	High	0.8	Overhead Spray System	0.75	1,262	1,346			
Zone 10 Zone 11	Moderate	0.4	Drip System	0.75	843	416			
Zone 12	Low	0.2	Overhead Spray System	0.75	1,932	515			
Zone 13	Low	0.2	Drip System	0.73	164	40			
Zone 14	Low	0.2	Drip System	0.81	468	116			
Zone 15	Low	0.2	Drip System	0.81	539	133			
Zone 16	Low	0.2	Drip System	0.81	245	60			
Zone 17	Moderate	0.5	Drip System	0.81	168	104			
	SLA	1			0				
		Sum			10,023	4,339			
RESULTS									
	126,678	ETWU =			424 972	allons/year			

### **NOTES**

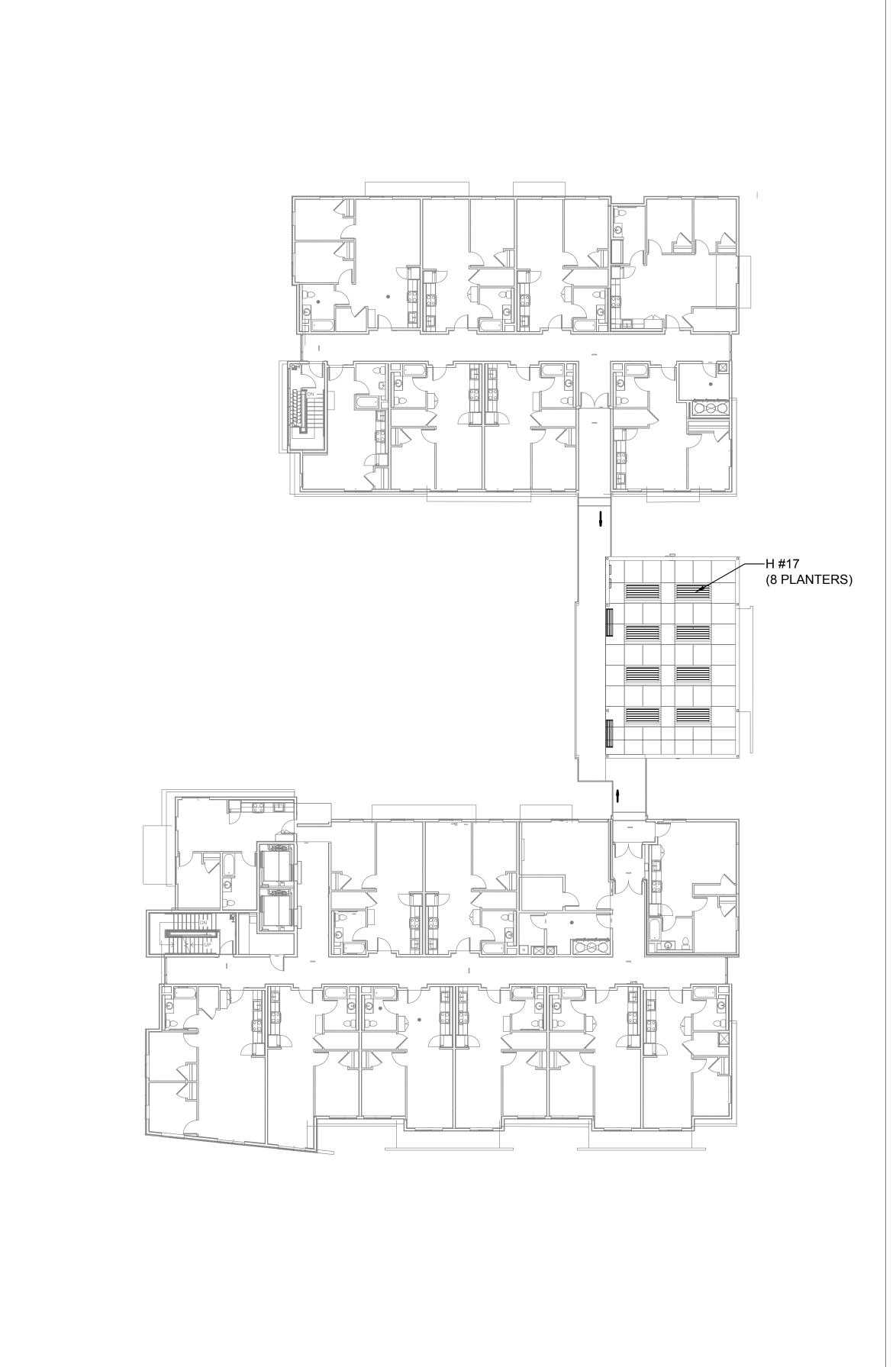
1. FOR IRRIGATION CONCEPT AND STANDARDS, SEE SHEET L-4.

Issued: 04.15.2025

Job: FCH\_ORC

Job: FCH\_OF TLA 20001 Sheet



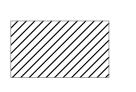




LOW WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS)



MEDIUM WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS)



HIGH WATER USE (OVERHEAD SPRAY)

H #X HYDROZONE NUMBER

#### CONCEPTUAL IRRIGATION STATEMENT

- 1 Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials; 2) groundcovers, and 3) native and water conserving plant materials.
- 2 Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
- 3 Part shade areas include moderate water use areas having morning and/or afternoon shade.
- 4 Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide moist conditions.
- 5 Layout shall be designed for minimum runoff and overspray onto non-landscaped areas
- 6 Low volume sprinklers shall be used wherever possible with head to head coverage.
- 7 Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
- 8 Drip irrigation shall be utilized at non-traffic or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
- 9 The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
- 10 Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

#### STANDARDS FOR IRRIGATION EQUIPMENT

- 1 Mainlines shall be 1120 pvc-schedule 40 for pipe size 1 1/2" and smaller, 1120 pvc-class 315 for pipe sizes 2" and 2 1/2", bell and ring pvc-class 160 for pipe sizes 3" and larger.
- 2 Lateral lines shall be 1120 pvc-class 200.
- 3 Depth of mainline: 24" of cover
  Depth of lateral line: 18" of cover
  Depth of pipe under paving: 24" of cover encased in a sleeve
- 4 Backflow preventer shall be a type approved by and installed per local codes.
- 5 Sprinklers shall have matched precipitation rates within each control valve circuit.
- 6 Precipitation rates for sprinklers shall match soil absorption rate.
- 7 Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
- 8 Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
- 9 Rain sensing override devices shall be installed with controller.

### NOTES

1. FOR IRRIGATION WATER USE CALCULATIONS, SEE SHEET L-3.

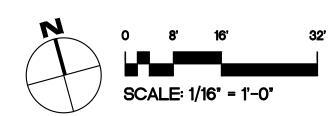
#### PLAN: SECOND LEVEL

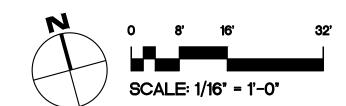
H #14 —

H #15 -

COMMON

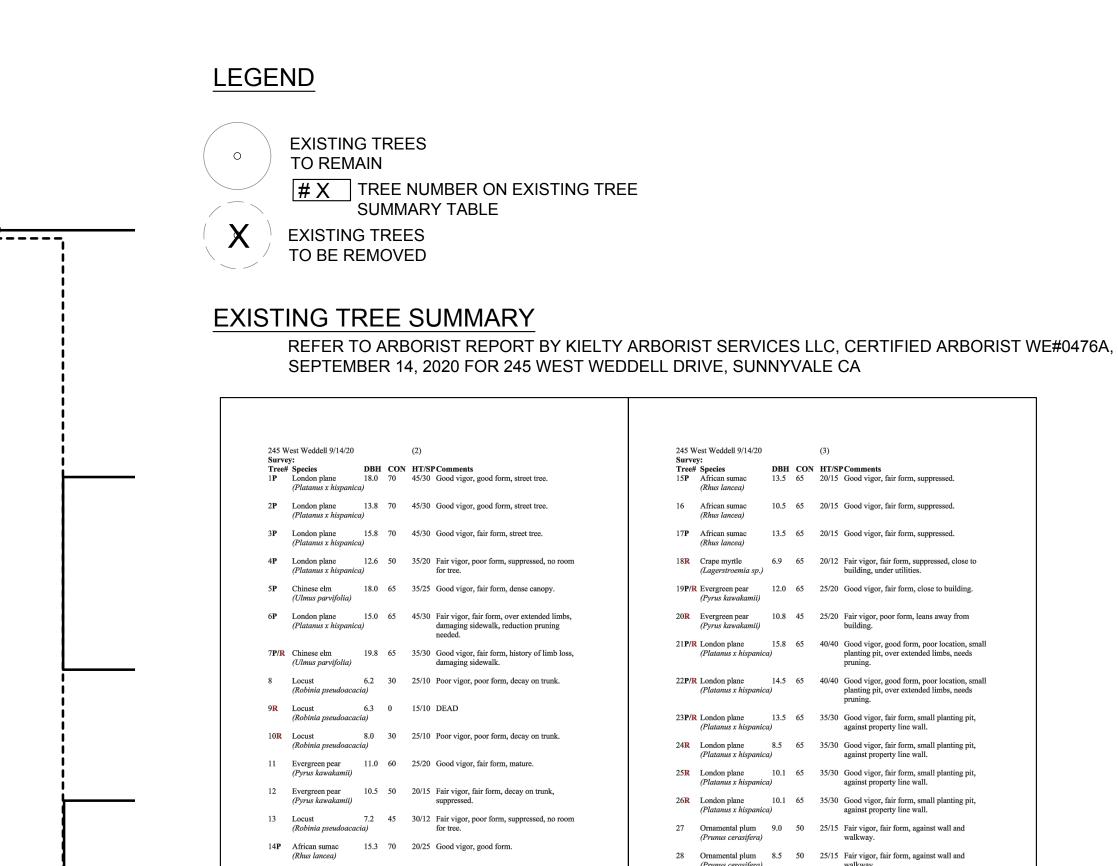
ROOM





Issued: 04.15.2025

Job: FCH\_ORC TLA 20001



#23

**'-----**

D'

#26

#25

NEW

ORCHARD

**GARDENS** 

**APARTMENTS** 

EX STREET—

REMOVED

TREES TO BE

- EX STREET

TREES TO

#24

Survey:
Tree# Species
DBH CON HT/SP Comments
1P London plane
18.0 70 45/30 Good vigor, good form, street tree. 13.5 65 20/15 Good vigor, fair form, suppressed. 2P London plane 13.8 70 45/30 Good vigor, good form, street tree. 16 African sumac 10.5 65 20/15 Good vigor, fair form, suppressed. 3P London plane 15.8 70 45/30 Good vigor, fair form, street tree. 17P African sumac 13.5 65 20/15 Good vigor, fair form, suppressed. 4P London plane 12.6 50 35/20 Fair vigor, poor form, suppressed, no room 18R Crape myrtle 6.9 65 20/12 Fair vigor, fair form, suppressed, close to (Lagerstroemia sp.) 5P Chinese elm 18.0 65 35/25 Good vigor, fair form, dense canopy. 19P/R Evergreen pear 12.0 65 25/20 Good vigor, fair form, close to building. (Pyrus kawakamii) 6P London plane 15.0 65 45/30 Fair vigor, fair form, over extended limbs, 20R Evergreen pear 10.8 45 25/20 Fair vigor, poor form, leans away from damaging sidewalk, reduction pruning needed. (Pyrus kawakamii) 7P/R Chinese elm 19.8 65 35/30 Good vigor, fair form, history of limb loss, planting pit, over extended limbs, needs (Platanus x hispanica) 6.2 30 25/10 Poor vigor, poor form, decay on trunk. 22P/R London plane 14.5 65 40/40 Good vigor, good form, poor location, small planting pit, over extended limbs, needs 23P/R London plane 13.5 65 35/30 Good vigor, fair form, small planting pit, 10R Locust 8.0 30 25/10 Poor vigor, poor form, decay on trunk. 11 Evergreen pear 11.0 60 25/20 Good vigor, fair form, mature. 12 Evergreen pear 10.5 50 20/15 Fair vigor, fair form, decay on trunk, (Pyrus kawakamii) 50 50 20/15 Fair vigor, fair form, decay on trunk, suppressed. 26R London plane 10.1 65 35/30 Good vigor, fair form, small planting pit, (Platanus x hispanica) against property line wall. 13 Locust 7.2 45 30/12 Fair vigor, poor form, suppressed, no room (Robinia pseudoacacia) for tree. 27 Ornamental plum 9.0 50 25/15 Fair vigor, fair form, against wall and (Prunus cerasifera) 14**P** African sumac 15.3 70 20/25 Good vigor, good form. (*Rhus lancea*) 28 Ornamental plum 8.5 50 25/15 Fair vigor, fair form, against wall and (Prunus cerasifera) walkway. 245 West Weddell 9/14/20 245 West Weddell 9/14/20 DBH CON HT/SP Comments

5.8 45 25/15 Fair to poor vigor, poor form, decay on leaders. Tree# Species

DBH CON HT/SP Comments

29P Evergreen pear 13.8 50 30/20 Fair vigor, fair form, close to building. 43R Crape myrtle 5.0 60 20/10 Fair vigor, fair form, suppressed. 30 Japanese maple 8.7 70 15/15 Good vigor, fair form, poor union at 3 feet. 9.0 30 30/20 Poor vigor, poor form, in decline 44R Crape myrtle 7.8 60 25/12 Fair vigor, fair form. 32 Evergreen pear 9.8 60 25/20 Fair vigor, fair form, close to wall and building. 45\*P Hollywood juniper 15-9est 45 30/20 Fair vigor, poor form, against foundation (Juniperus chinensis) and driveway, poor location. 5.0 50 10/10 Fair vigor, fair form. 33 Evergreen pear 11.6 60 25/20 Fair vigor, fair form, close to wall and (Nerium oleander) (Pyrus kawakamii) Oleander 4.0 50 10/10 Fair vigor, fair form. (Nerium oleander) 34 Evergreen pear 10.5 60 25/20 Fair vigor, fair form, close to wall and (Pyrus kawakamii) 35R Locust 7.2 0 30/12 DEAD. (Robinia pseudoacacia) 48 Oleander 5.0 50 10/10 Fair vigor, fair form. (Nerium oleander) 36R Locust 10.0 30 35/20 Fair vigor, poor form, included bark, (Pseudoacacia) hazard. Recommended for removal 49R Oleander (Nerium oleander) 50 Oleander 5.0 50 10/10 Fair vigor, fair form. (Nerium oleander) 37\*P Hollywood juniper 12.0 60 30/25 Good vigor, fair form, into property by 10 37B\*P Hollywood juniper 12.0 60 30/20 Good vigor, fair from, into property by 10 \*-indicates neighbors tree P-Indicates protected tree by city ordinance. 38 Japanese maple 6.0 50 15/12 Fair vigor, fair form. (Acer palmatum) 39 Japanese maple 6.0 50 15/12 Fair vigor, fair form. (Acer palmatum) 40 Japanese maple 6.0 50 15/12 Fair vigor, fair form. (Acer palmatum) 41R Evergreen pear 10.3 65 25/20 Good vigor, fair form, close to building. (Pyrus kawakamii)

245 West Weddell 9/14/20

TREE CANOPY REPLACEMENT Number Tree species | Common Name DBH (dia)inch Replacement Tree Quantity Alternative Tree Size Two--24" Box 7 Ulmus parvifolia | Chinese Elm 19.8 One--36" Box Three-15 Gallon 19 Pyrus kawakamii | Evergreen Pear 12 One--24" Box 21 Platanus x hispanica |London Plane 15.8 One--24" Box Three-15 Gallon 22 Platanus x hispanica | London Plane 14.5 One--24" Box Three-15 Gallon 13.5 23 Platanus x hispanica |London Plane One--24" Box Three-15 Gallon One--36" Box and Four--24" Two-24" Box and Twelve-15 TOTAL REPLACEMENT TREES NEEDED

> Two-24" Box and Twelve-15 PROPOSED REPLACEMENT (#39--24" box shown on plant list/plans)

> > Taniguchi Landscape Architecture

CLA 2942

tel. 650.638.9985 fax. 650.638.9986

1013 South Claremont St. Ste 1 San Mateo, CA 94401

ADDITIONAL TREES		
Landscape Area (SF)	Required Trees per 1,000 SF Landscape Area	# Trees Proposed
10,023	11	39



LEX STREET

REMAIN

#31

#32

#33

#34

#35

**EXISTING** 

**PARKVIEW** 

#12

#11

TREES TO

REMAIN

**EXISTING** 

PARKVIEW

EAST

#42

WEST WEDDELL DRIVE

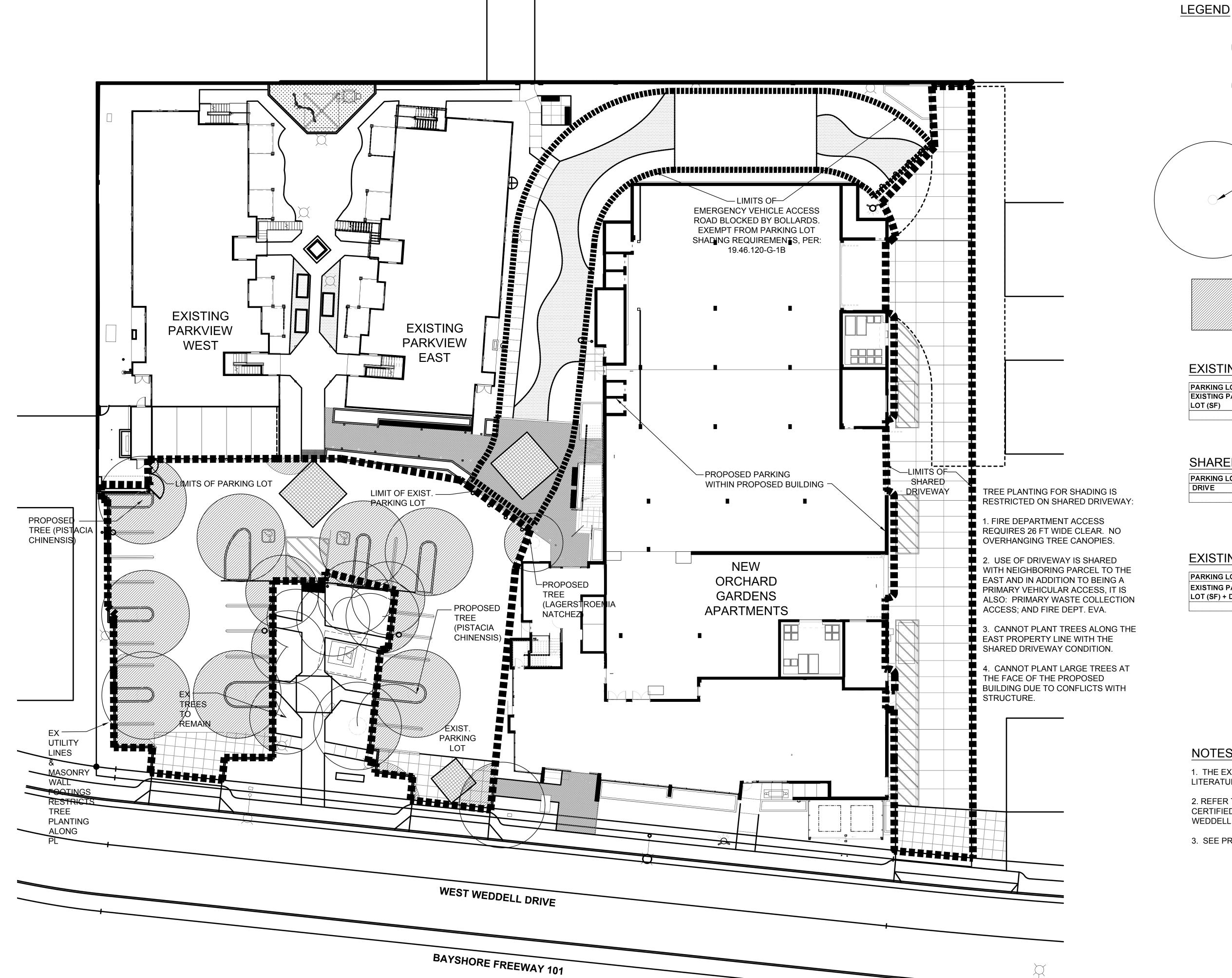
BAYSHORE FREEWAY 101

Issued: 04.15.2025

Job: FCH\_ORC TLA 20001







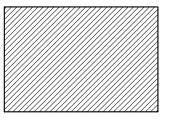
**EXISTING TREES** TO REMAIN

#X TREE NUMBER ON EXISTING TREE **SUMMARY TABLE** 

**EXISTING TREES** TO BE REMOVED

TREE CANOPY DIAGRAM -15 YEAR CANOPY OUTLINE

-AT INSTALLATION CANOPY OUTLINE (VARIES WITH NURSERY PRODUCTION AND "CROP") OR EXISTING CANOPY OUTLINE FOR EXISTING TREES TO REMAIN



AREA OF SHADE ON PARKING AREA

#### **EXISTING PARKING LOT**

PARKING LOT TREE S EXISTING PARKING LOT (SF)	TREE SHADING AT 15 YEARS (SF)	PERCENT SHADING
11,855	6184	52%

#### SHARED DRIVEWAY

PARKING LOT TREE SHADING						
DRIVE	TREE SHADING AT 15 YEARS (SF)	PERCENT SHADING				
6,902	0	0%				

### EXISTING PARKING LOT AND SHARED DRIVEWAY

PARKING LOT TREE SHADING							
EXISTING PARKING LOT (SF) + DRIVE	TREE SHADING AT 15 YEARS (SF)	PERCENT SHADING					
18,757	6184	33%					

### NOTES:

1. THE EXISTING TREES ARE SHOWN WITH 15 YEAR CANOPIES BASED ON LITERATURE SOURCES.

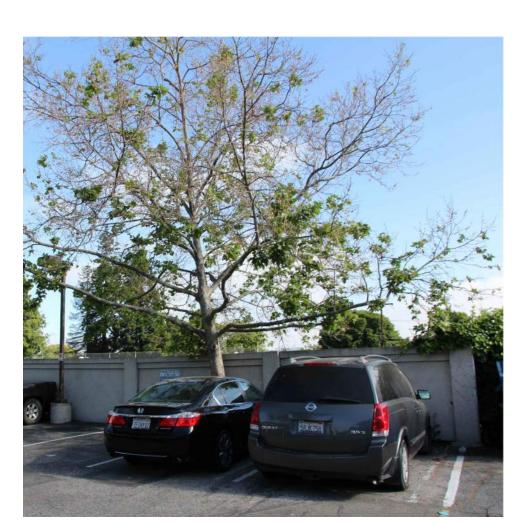
2. REFER TO ARBORIST REPORT BY KIELTY ARBORIST SERVICES LLC, CERTIFIED ARBORIST WE#0476A, SEPTEMBER 14, 2020 FOR 245 WEST WEDDELL DRIVE, SUNNYVALE CA

3. SEE PROPOSED TREE PLANTING ON SHEET L-1 AND L-2.

Taniguchi Landscape Architecture Signature 04/15/25 Renewal Date 10/31/26 1013 South Claremont St. Ste 1 San Mateo, CA 94401 fax. 650.638.9986

WEST PROPERTY LINE





NORTH PROPERTY LINE



WEST PROPERTY LINE B PLANTER WALLS SEAT WALLS



COURTYARD AND PEDESTRIAN CROSSING



BENCH (BACKED)



BENCH (WALL-MOUNTED)

SITE FURNITURE

TABLES/CHAIRS

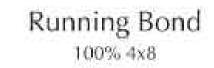


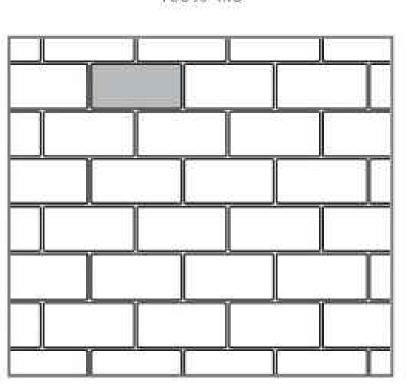


PAVING



INTEGRAL COLOR (CONCRETE PAVING & CONCRETE WALLS)







PERMEABLE PAVER PATERN

INTEGRAL COLOR

MA	ATERIAL	FINISH	COLOR
Α	FENCESNo new fences proposed		
В	WALLS		
	Existing to be retained on North and West property lines (approx 6 ft. high)	Masonry /stucco	Tan
	Planter Walls (24 to 30 in. high)	Integral color concrete	Tan
	Seat Walls (18 in high)	Integral color concrete	Tan
С	PAVING		
	Concrete	Integral color concrete	Tan
	Permeable Concrete Paver	Integral color concrete	Tan
D	LIGHTING		
	See Sheets A-7.3 and A-7.4 for exterior fixture types		
E	ARBORS		
	Building-mounted. See south and west elevations, Sheet A-4.3 and perspectives, Sheet A-4.2	See exterior finish schedule, Sheet A-8.1	
F	WATER FEATURES		
	None proposed		
G	SITE FURNITURE		
	Benchesbacked and with arms	Factory finish	Light wood tones
	Benchesbleacher-type	Factory finish	Light wood tones
	Tables/Chairs	Factory finish	Light wood tones

Taniguchi Landscape Architecture 1013 South Claremont St. Ste 1 San Mateo, CA 94401 tel. 650.638.9985 fax. 650.638.9986

650 CASTRO STREET, SUITE 120 #490 MOUNTAIN VIEW, CA 94041 PHONE: 408.295.2210

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Attachment 1 Page 17 of 34

ORCHARI A DEVELOPMEN 245 W. WEDDEL

 $\triangle$ REVISIONS

SDP Planning Resubmittal

Issued: 04.15.2025

b) California Plumbing Code and California Building Code Provisions AWWA standards and specifications;

City of Sunnyvale Standard Details and Specifications where applicable; These plans and details shown hereon;

Administration, Office of Standards and rules of the State Division of Industrial Safety. g) Latest edition of the California State Code of Regulations Title 24.

h) The Project Specifications i) Soils Investigation prepared by:

TRC Companies, Inc.

) Standards of the United States Department of Labor, Occupational Safety and Health

21 Griffin Road North Windsor, CT 06095 Phone: 1-860-298-9692

Report Titled: Geotechnical Investigaion Residential Development 245 West Weddell Drive Sunnyvale, California (July 7, 2020)

j) City of Sunnyvale Grading Permit for Where conflicts exist between any of the above listed specifications, the most stringent listed specification shall prevail.

2. It is the responsibility of the Contractor to secure all permits necessary to perform the work, including but not limited to, work in the public right-of-way, grading, tree removal, and utility modifications.

3. Contractor shall supply all equipment, labor, and materials necessary to perform the work shown on

4. It shall be the responsibility of the various contractors to coordinate their work so as to eliminate conflicts and work toward the general good and completion of the entire project.

5. All workmanship and materials furnished by Contractor shall be of the kind and quality described in the specifications and shall be first class throughout. Neither final acceptance nor final payment by Owner shall relieve the Contractor of responsibility for faulty materials or workmanship.

6. In the event of any conflict of information shown in these plans or any conflict between these plans and the intent of a consistent and functional product, the Contractor shall so notify the Owner in writing, upon which notice the Owner shall resolve the conflict by the issuance of a written order, revised plans or both. The Contractor shall bear full cost and responsibility for work affected by such conflicts and performed by Contractor prior to such notice to the Owner and issuance of such order and/or revised plans.

7. Contractor shall provide adequate dust control at all times as required by Owner's representative.

8. Contractor shall exercise all necessary caution to avoid damage to any existing trees, or surface improvements, or to any existing drainage structure, water structures, sewer cleanouts, manholes, or junction boxes for underground electric, telephone, or cable TV, or storm sewer, sanitary sewer, water line, and underground utilities, which are to remain in place and shall bear full responsibility for any damage thereto.

9. All known existing utility lines are shown for information only. Contractor shall exercise all necessary caution to avoid damage to any existing utility lines or facilities to remain in place, whether or not such lines or facilities are shown on these plans, and shall bear full responsibility for any damage thereto. Contractor is advised to Contact Underground Service Alert (USA) at 811 or a private Underground Locater Service (at contractor's expense) and the affected utility company for marking underground lines prior to beginning work.

10. Inspection of work: The City of Sunnyvale Public Works Department will inspect all work involving conformance to grading permit. A representative of Owner will inspect all work, including grades and compaction of earthwork. Contractor shall notify the City of Sunnyvale Design and Construction Department at 408-858-4960 forty eight (48) hours prior to any work within the Public Right of Way.

11. Engineer shall have no responsibility for Contractor's work methods and procedures, jobsite conditions, jobsite safety or adherence to safety procedures and requirements.

12. The Contractor agrees that, in accordance with generally accepted construction practices, the Contractor will be required to assume sole and complete responsibility for jobsite conditions during the course of construction of the project, including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours. The contractor agrees to defend, indemnify and hold Owner and Engineer harmless from any and all liability, real or alleged, in connection with the performance of the work on this project, exempting liability arising from the sole negligence of the Engineer or Owner.

13. Parking lot striping shall be laid out in accordance with the Horizontal Control Plan, and in accordance with the City of Sunnyvale Standard specifications.

14. Contractor shall provide appropriate traffic control measures as outlined in the City of Sunnyvale specifications and as directed by the City Engineer.

15. Contractor shall use Best Management Practices (BMPs) consistent with CASQA and local jurisdiction requirements.

16. Existing accessible routes and accessible parking serving facilities and buildings that are operational during construction shall remain unobstructed, save and useable by people with disabilities.

### **UNDERGROUND NOTES**

1. Contractor shall expose and verify location and elevation of existing utilities, including sanitary and storm sewers, and water lines before constructing new facilities. Contractor shall cap existing irrigation lines where necessary so that the remaining irrigation system will continue to be operational for the existing landscaping

2. Materials for pipe, storm water inlets and cleanouts and installation procedures shall be in accordance with applicable California Building Code sections and the City of Sunnyvale Standard Specifications, the Project Specifications and these plans and details shown hereon.

3. Ensure grates are ADA compliant for all existing inlets to remain in travelled access paths, subject to pedestrian traffic. Replace as necessary.

4. All trench excavation and backfill for sewer lines shall conform to requirements of the City of Sunnyvale Standard Specifications. Jetting of backfill materials to achieve compaction is not allowed.

5. All trenches and excavations shall be constructed in strict compliance with the applicable sections of California and Federal O.S.H.A. requirements and other applicable safety ordinances. Contractor shall bear full responsibility for trench shoring design and installation.

6. Materials for pipe and installation requirements for domestic water lines shall be in accordance with applicable California Plumbing Code sections and the City of Sunnyvale Standard Specifications and these

### **GRADING AND PAVING NOTES**

1. Work shall consist of all clearing, grubbing, and stripping, preparation of land to be filled, excavation, spreading, compaction and control of the fill, and all subsidiary work necessary to complete the grading to conform to the lines, grades and slopes, as shown on the accepted plans and as specified in the Geotechnical

2. The contractor's attention is directed to the Geotechnical Investigation prepared by TRC Companies, Inc.

The Contractor's attention is directed to the City of Sunnyvale Grading Permit (# ) for the project. Contractor shall adhere to the requirements thereof.

4. The Contractor shall notify the Soil Engineer, TRC Companies, Inc. Phone: 1-860-298-9692 and the City of Sunnyvale, at least forty—eight (48) hours prior to commencement of any grading

5. A representative of the Soils Engineer shall be on site during grading operations and shall perform such testing as deemed necessary. The representative shall observe the grading operation for conditions that should be corrected, and identify those conditions with recommended corrective measures to the Contractor.

7. All existing trash, debris, roots, tree remains and other rubbish shall be removed from the site so as to

6. In the event that any unusual conditions not covered by these notes and the Soils Investigation are encountered during grading operations, the Soils Engineer shall be immediately notified for

leave the areas that have been disturbed with a neat and finished appearance free from unsightly debris. No

8. Contractor shall grade to the line and elevations shown on the plan within the following horizontal and vertical tolerance, in the areas indicated:

Horizontal 0.50' +0.05'+a. Building Pad Subgrade 0.05'+ 0.05'+ b. Driveway and parking area subgrade preparation

Compaction of subgrade materials shall extend a minimum of five (5) feet beyond building limits and three (3) feet beyond pavement, walkway, and curb and gutter limits.

9. All aggregate base material and the handling and placement thereof shall be in accordance with the Caltrans Standard Specifications. Aggregate base materials shall be Class II.

10. Compacted building pads shall extend 5 feet minimum beyond building footprint.

11. Asphalt concrete (AC) shall be Type B, 3/4" maximum aggregate size for base course and 1/2" maximum aggregate size for surface course, as specified for surface course material in the Caltrans Specification. 2" thickness may be placed in one lift.

12. SC-70 liquid asphalt prime coat conforming to the provisions of the Caltrans Specifications shall be applied at the rate of 0.15+ gallons per square yard to surface of aggregate base prior to placement of asphalt concrete.

13. SS—I emulsified asphalt paint binder conforming to the provisions of the Caltrans Specification shall be applied at the rate of 0.07+ gallons per square yard to existing asphalt concrete surface and

be diluted with equal parts water and applied at the rate of 0.15+ gallons per square yard to surface of the new finished asphalt paving surface and existing asphalt paving surfaces to remain in place. Existing asphalt surfaces shall be cleaned prior to seal coat operation.

15. Contractor shall adjust all inlets, valve boxes, manhole rims, and sewer cleanouts to new finish grade. 16. Materials handling and placement of Portland Cement Concrete shall be in accordance with applicable sections of the Caltrans Standard Specifications and these plans and details shown hereon. Concrete to be Class A, 6 sack, 3000 PSI concrete.

### **ABBREVIATIONS**

**LEGEND** NOTE: NOT ALL ABBREVIATIONS DESCRIPTION **PROPOSED** MAY BE USED FOR ALL PROJECTS AB AGGREGATE BASE NEW (PROPOSED) PROPERTY LINE AC ASPHALT CONCRETE ON CENTER CENTERLINE

ACCESSIBLE OUTSIDE FINISH GRADE ASPHALT PAVEMENT ARCHITECTURAL PAVEMENT SURFACE ELEVATION BOTTOM OF STEP ELEVATION PERF PERFORATED ASPHALT SEAL BOTTOM OF RAMP POWER POLE BOTTOM OF STEP ELEVATION PROPERTY LINE CURB & GUTTER BIORETENTION SOIL MIX PSD PERFORATED STORM DRAIN PSD (C) PERFORATED STORM DRAIN COLLECTOR VERTICAL CURB BTM BOTTOM OF SLOPE BW BACK OF WALK ELEVATION PSD (D) PERFORATED STORM DRAIN DISTRIBUTOR VALLEY GUTTER BOW BOTTOM OF WALL ELEVATIONS RECORD DOCUMENT CATCH BASIN REINFORCED SIDEWALK CAST IRON RIM ELEVATION ACCESSIBLE RAMP CENTER LINE RAT SLAB

STORM DRAIN INLET

FIRE HYDRANT

ELECTROLIER

STORM DRAIN

WATER LINE

**FENCE** 

CONTOUR

EDGE OF PAVEMENT

DIRECTION & RATE OF SLOPE

SANITARY SEWER

RAIN WATER LEADER

VERTICAL

VAULT

WATER

WATER VALVE

UNLESS NOTED OTHERWISE

VLT

ELECTRICAL BOX EDGE OF PAVEMENT EDGE OF TRAVELED WAY

FNC FENCE FIRE HYDRANT

LANDSCAPE

MAXIMUM

MANHOLE

MONUMENT LINE

MATCH EXISTING ELEVATION

vertical concrete surfaces to receive asphalt concrete. 14. SS—I emulsified liquid asphalt seal coat conforming to the provisions of the Caltrans Specifications shall

C&G CURB AND GUTTER DIAMETER DOWNSPOUT SEE ARCH DRAWINGS DOMESTIC WATER STORM DRAIN SEE ELECTRICAL DRAWINGS ELECTRICAL STREET LIGHT EXISTING SEE LANDSCAPE DRAWINGS SHUT-OFF VALVE SANITARY SEWER SANITARY SEWER CLEANOUT ELECTRICAL VAULT STD STANDARD S/W SIDEWALK STLT STREET LIGHT FINISHED FLOOR ELEVATION TELEPHONE FL FLOW LINE TOP OF BANK FOC FACE OF CURB TOE OF BANK GAS TOP OF SLOPE GB GRADE BREAK TOP OF CURB GROUND ELEVATION TOP OF STEP ELEVATION HC ACCESSIBLE TOP OF WALL ELEVATION HORIZ HORIZONTAL TELEPHONE POLE JOINT POLE TOP OF RAMP IRRIGATION CONTROL VALVE TOP OF STEP ELEVATION TRAFFIC SIGNAL BOX LINEAR FEET TYP TYPICAL

— ss — ( )

**EXISTING** 

CITY STAMP:

Attachment 1 Page 18 of 34

650 CASTRO STREET

MOUNTAIN VIEW, CA 94041

WWW.ARCHITECTSFORA.COM

PHONE: 408.295.2210

SUITE 120 #490

\_\_\_ DETAIL NUMBER - SHEET UPON WHICH DETAIL APPEARS

~

\_\_\_\_\_ X \_\_\_\_

ARD

PLAN CHECK **RESPONSE 1** 

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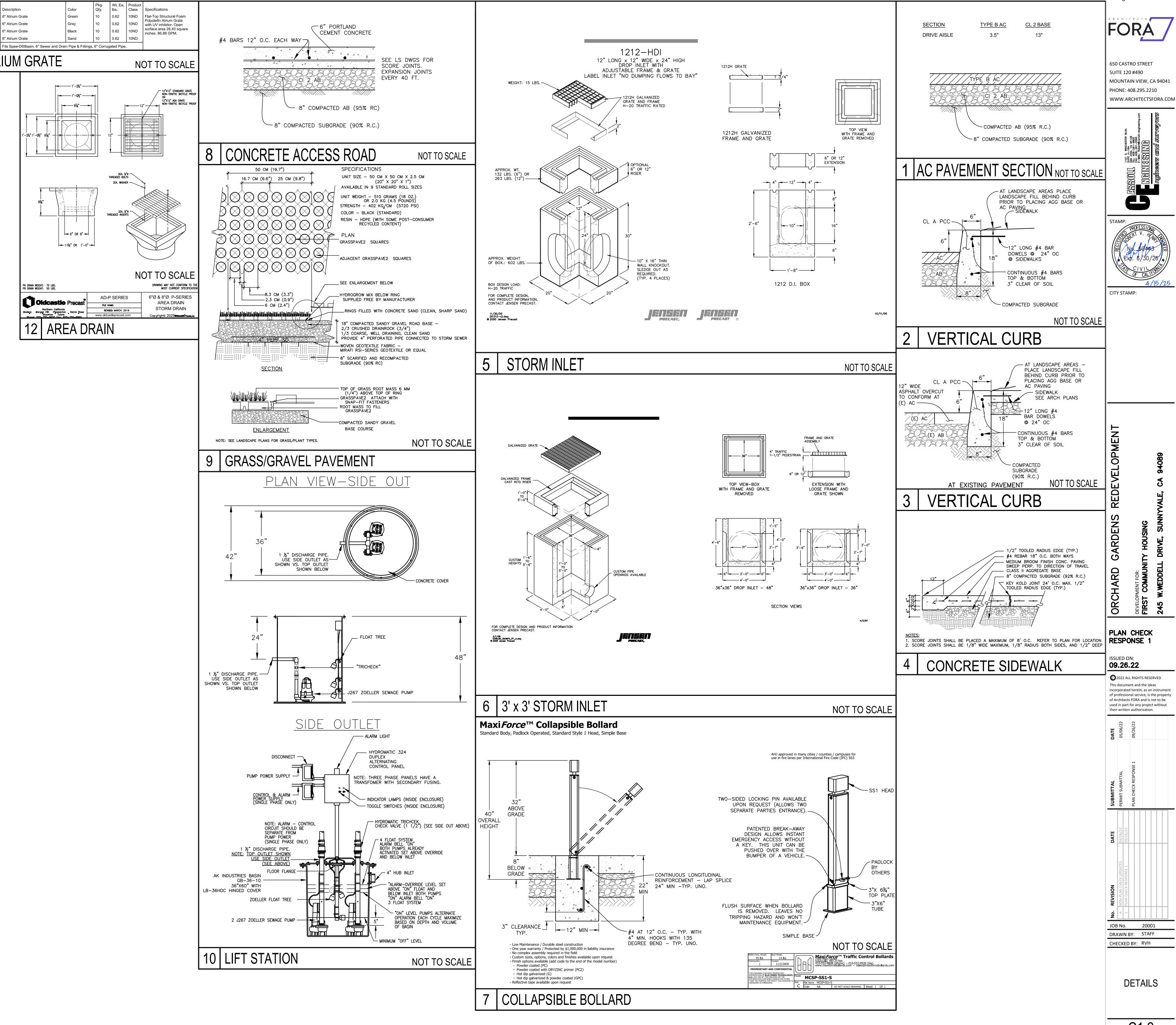
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JOB No. 20001 DRAWN BY: STAFF

LEGEND, & **ABBREVIATIONS** 

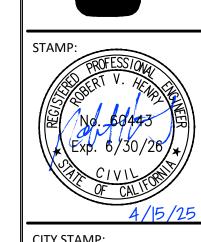
CHECKED BY: RVH

plans and details shown hereon.



Page 19 of 34

Attachment 1



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C1.2

' Atrium Grate

' Atrium Grate

' Atrium Grate

1'-0½" ----

6" OR 8"-

11¾" OR 1'-0"-

AREA DRAIN

FILE NAME:

P6 DRAIN WEIGHT: 70 LBS. P8 DRAIN WEIGHT: 50 LBS.

Oldcastle Precast

Northern California Madera Morgan Hill Pleasanton Santa Rosa Stockton Tulare

6" NDS ATRIUM GRATE

#### CITY OF SUNNYVALE PUBLIC WORKS DEPARTMENT / ENGINEERING DIVISION & ENVIRONMENTAL SERVICES DEPARTMENT

November 2021

#### **ABANDONMENT NOTES:**

#### POTABLE AND RECYCLED WATER:

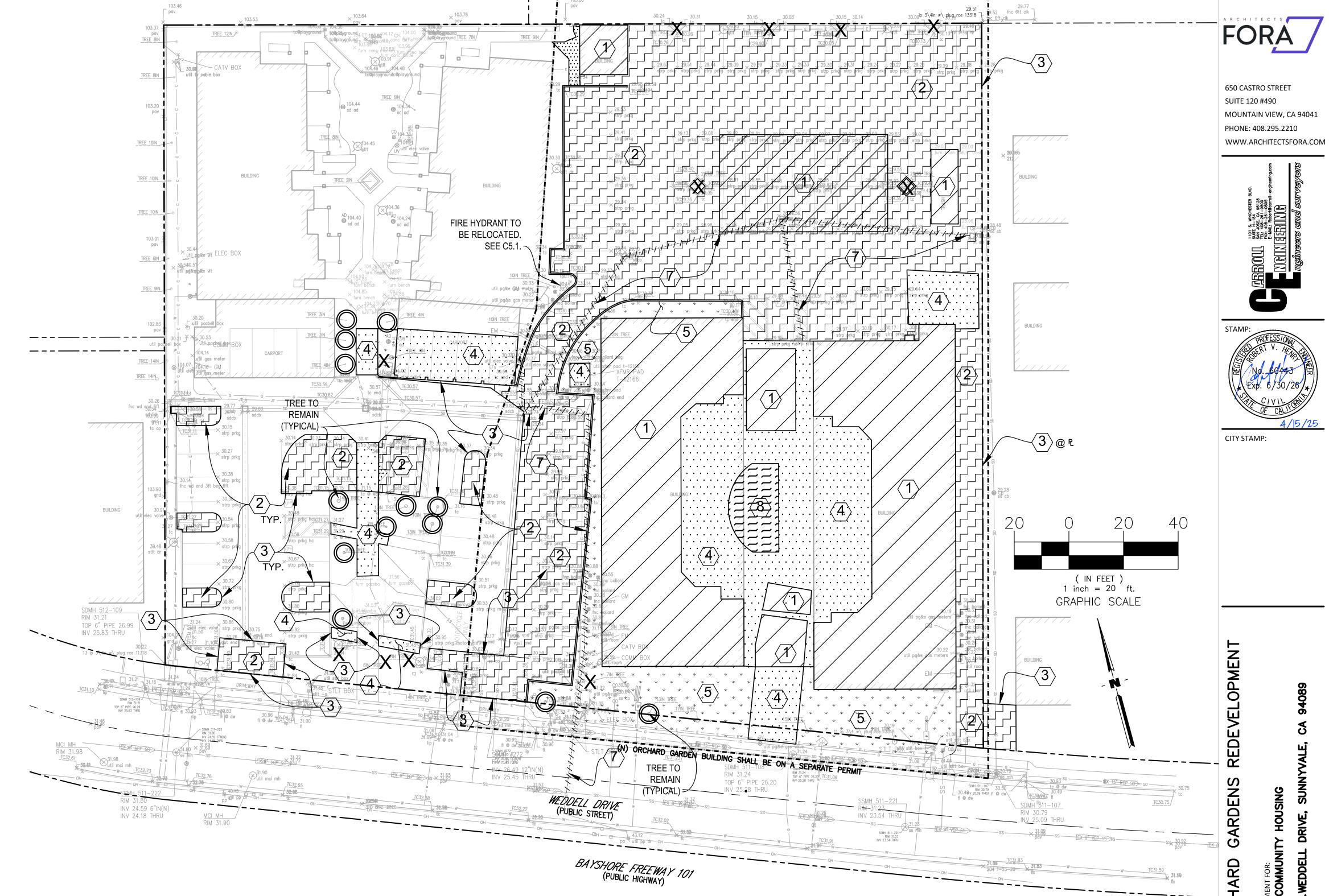
- City Valves: Contractor shall not open, close, or in any way adjust any City valves including but not limited to valves on mains, laterals, and water meters. Valve operation shall only be performed by City crews.
- Backflow Preventers (BFPs): Contractor shall not remove or relocate any BFPs without first obtaining a Backflow Installation, Removal, and Relocation Permit (Backflow Permit) from the Utility Billing office, City Hall Annex, 650 W. Olive Avenue (408-730-7400). This permit will provide required steps for BFP removal. After removal of an underground BFP, Contractor shall remove the vault and backfill the trench
- 3. Water Meters (WMs): Contractor shall not remove any WMs. Removal of WM shall only be performed by City crews. After WM removal by City, Contractor shall dispose of WM box/vault, backfill trench, and restore surface per City standards and requirements.
- Service Interruption: Prior to abandonment, Contractor shall coordinate with the Dept of Public Works (DPW) Inspector to schedule the water shutdown. The Contractor shall submit a draft service interruption notification for Inspector review. After approval, the Contractor shall distribute the notification to all affected customers within the shutdown area as defined by the Inspector.
- <u>Lateral Connections at Mains:</u> Contractor shall <u>not</u> remove any tapping saddles or tees from public mains. This task will only be done by City crews. At these locations, Contractor shall excavate access trench to the dimensions required by the DPW Inspector and shall install shoring for all such trenches, including trenches less than 5 feet deep. DPW Inspector will arrange for City crews to perform disconnection and restoration of the main. After City completes its work, Contractor shall remove any abandoned pipe within 3 horizontal feet of the main and backfill the
- Fire Hydrants: After lateral abandonment, remove the hydrant bury and any other pipe features to minimum 24-inches below grade. Deliver hydrant barrel to the City's Corp Yard at 221 Commercial St. Contact the DPW Inspector for drop-off coordination.
- 7. <u>Mains and Laterals:</u> Pipes may be abandoned in place or removed. Pipes 4" and larger to be abandoned in place shall be filled with lightweight cellular concrete (LCC) of 28-day compressive strength between 50 and 200 psi. LCC installer must first be approved by the DPW Inspector. Smaller pipe may be left in place empty.

- (a) Disconnect lateral from main. Remove existing wye and/or segment of existing main as needed to meet the following requirement. New PVC main segment must connect to minimum 2 horizontal feet of buried & undamaged main where nearest buried joints are minimum 2 feet away from the trench wall. Use flashlight inside the main to check distance to joints. Expose and remove additional main as needed to meet this requirement.
- (b) Install segment of new SDR 26 PVC main on ¾" crushed rock bedding. Connect new PVC to existing main via couplings with stainless steel shear bands, Mission Flex-Seal ARC or approved equal. For new lateral at same location, install PVC wye with SDR 26 PVC stubs. <u>Do not backfill before inspection and approval from the DPW Inspector.</u>
- (c) Remove abandoned lateral within 3 horizontal feet of the active sewer main. Remove or abandon in place any remaining lateral extending to the back of walk or property line, whichever is further. Remove any property line cleanout to minimum 24" below grade, and cap remaining riser.
- Mains & Laterals: Pipes may be abandoned in place or removed. All pipes to be abandoned in place shall be filled with lightweight cellular concrete (LCC) of 28-day compressive strength between 50 and 200 psi. LCC installer must first be approved by the DPW Inspector.
- Abandoned Pipe Connections at Manholes (MHs): Where abandoned pipe connects to MH(s), enter MH(s) and plug the pipe hole with concrete. Plug shall be finished flush with manhole wall, and any abandoned channel shall be filled with concrete flush with the bench, such that no evidence of a previous connection remains. Repair any remaining active channel(s) as directed by the DPW Inspector. Perform the same task at any private MH to remain at the upstream end
- Manhole Abandonment: Break apart existing MH base. Install new SDR 26 PVC main segment per Sewer Note 1 above. Hinged MH frames and lids shall be delivered to the City's Corp Yard at 221 Commercial St. Remove all other MH parts to 4 feet below grade. Abandon in place all deeper MH features. For hardscape surface, backfill void with Class 2 AB to 95% compaction. For unpaved surface, backfill with native soil to 85% compaction.

### STORM DRAINS:

- Mains & Laterals: Follow Sewer Note 2.
- Abandoned Pipes at Manholes and Catch Basins: Follow Sewer Note 3.
- Manhole Abandonment: Follow Sewer Note 4, though restore the main with new RCP, Class III

- Contractor is responsible for verifying the location of all existing utilities.
- Contact the City or other utility owners as needed for removal, abandonment, or relocation of their
- 3. Upon discovery of any unidentified utilities, coordinate with the DPW Inspector for direction.
- 4. See demolition plans for removal of on-site improvements.
- Abandonment of all pipes and features shall be shown in the Contractor's detailed redlines. These redlines shall be provided to the engineer of record for the preparation of accurate Record



1. THE LIMITS OF DEMOLITION SHOWN HEREON ARE TO PROVIDE THE CONTRACTOR WITH A GENERAL SCOPE OF PRECISE LIMITS OF PAVEMENT REMOVAL AND GRADING SHOULD BE TAKEN FROM THE GRADING AND DRAINAGE THE CONTRACTOR SHOULD ALSO REFERENCE LANDSCAPE

ARCHITECT PLANS, ARCHITECTURAL PLANS, AND THE CONSTRUCTION DOCUMENTS FOR A COMPLETE SCOPE OF WORK. 2. DEMOLITION WORK SHALL CONFORM TO CAL GREEN

CODE SECTIONS 5.408.3 (CONSTRUCTION WASTE REDUCTION BY AT LEAST 50%) AND 5.408..4 (EXCAVATED SOIL AND LAND CLEARING DEBRIS), AND LOCAL CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS. THE MOST STRINGENT CODE SHALL PREVAIL.

3. ALL SIGNS, POSTS, AND FOOTINGS TO BE REMOVED WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED OTHERWISE.

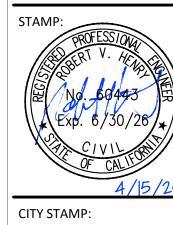
# LEGEND TREE TO BE REMOVED NOTE: ALL OTHER TREES TO REMAIN UNLESS NOTED OTHERWISE TREE TO REMAIN. CONTRACTOR TO PROVIDE TREE PROTECTION FENCING. NO STORAGE OF MATERIALS UNDER TREE CANOPIES ALLOWED. BUILDING OR CARPORT TO BE REMOVED INCLUDING FOUNDATIONS & UTILITIES SEE ARCH. PLANS PAVING TO BE REMOVED INCLUDING BASE ROCK & HEADERBOARD SAWCUT PAVEMENT- SEE SHEET C3.1 FOR EXACT LIMITS CONCRETE TO BE REMOVED INCLUDING BASE ROCK SHRUBS AND/OR LANDSCAPING TO BE REMOVED —×—×—×—×— FENCE TO BE REMOVED INCLUDING POSTS & FOOTING REMOVE UNDERGROUND CONDUIT/ UTILITY & STRUCTURES ·/·/·/·/·/·/·/· PLUG CONDUITS. ABANDON SEWER AND WATER LINES PER CITY ABANDONMENT NOTES. POOL TO BE REMOVED. SIDE SLOPS OF EXCAVATION SHOULD BE SLOPED AT INCLINATIONS NO STEEPER

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Attachment 1 Page 20 of 34

650 CASTRO STREET SUITE 120 #490 MOUNTAIN VIEW, CA 94041



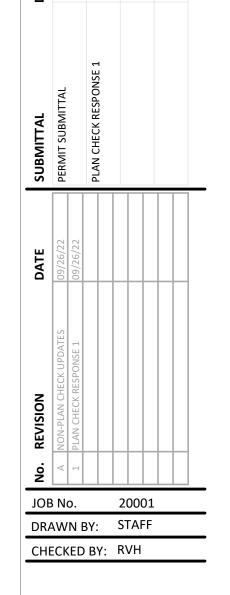


PLAN CHECK **RESPONSE 1** 

OR

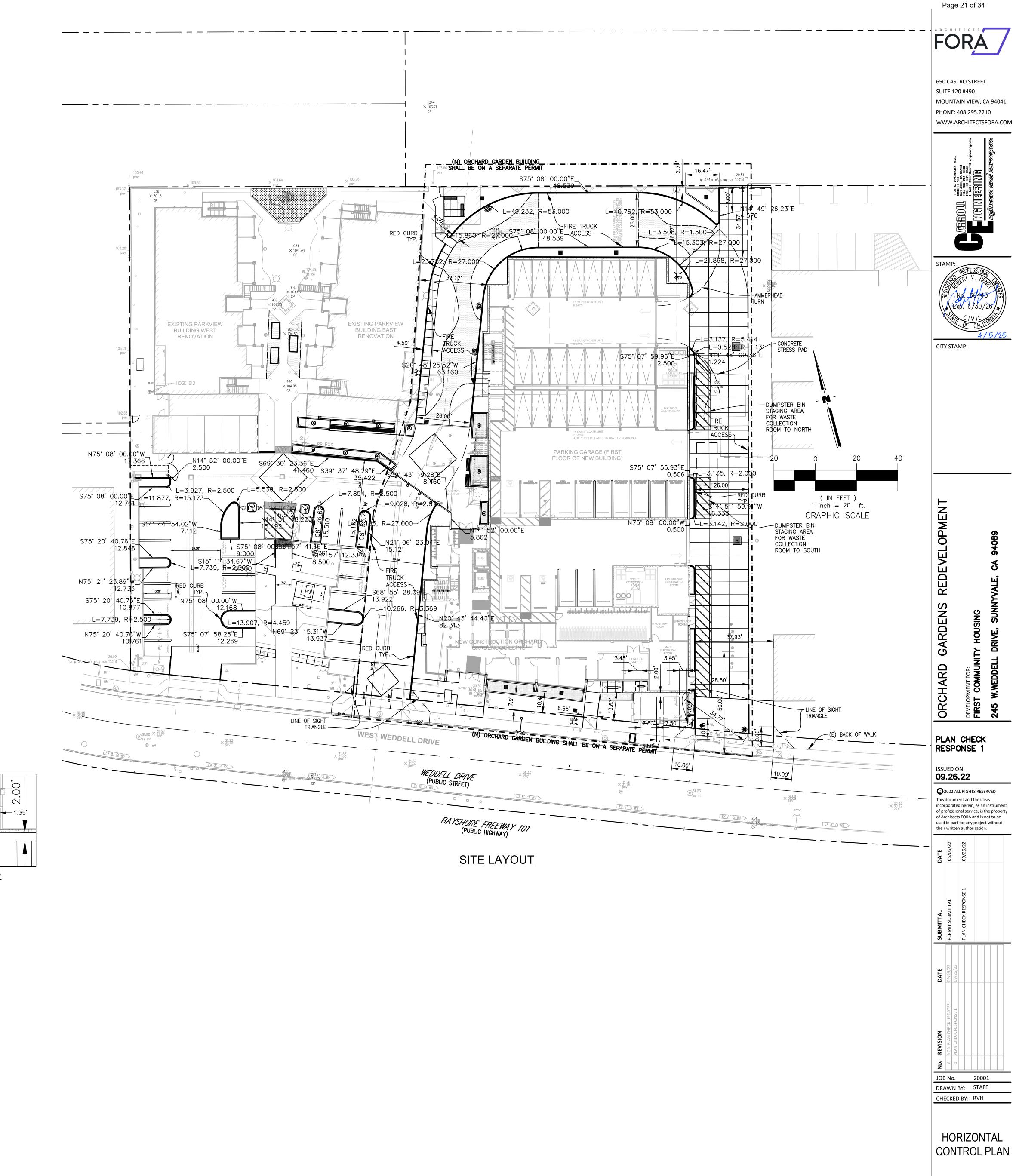
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DEMOLITION PLAN

C2.1



RPDA CLEARANCES SCALE: 1"=10'

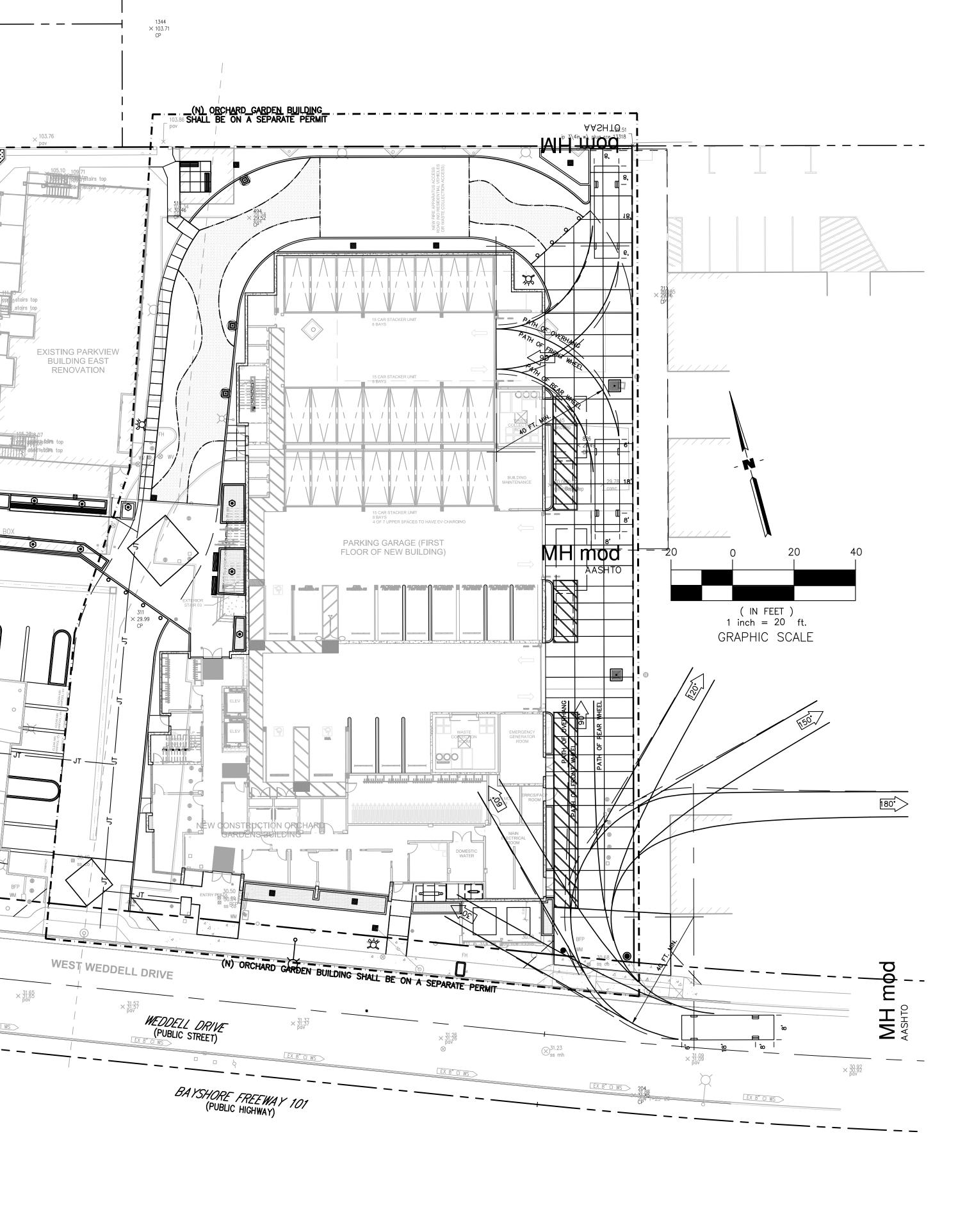
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Attachment 1

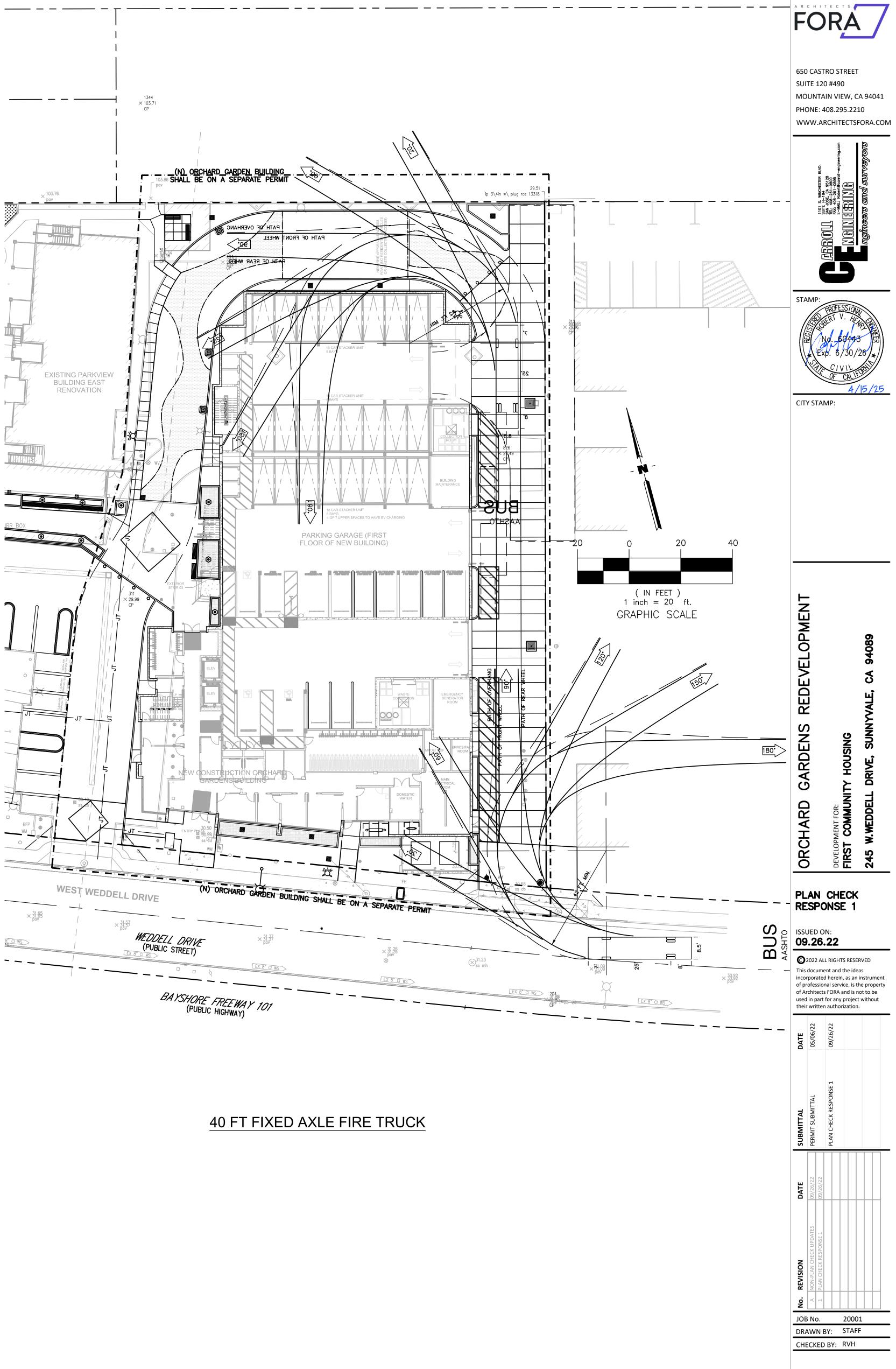
CONTROL PLAN

C3.1

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GARBAGE TRUCK



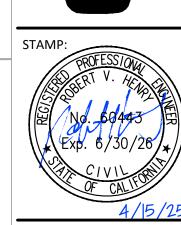
C3.2

HORIZONTAL

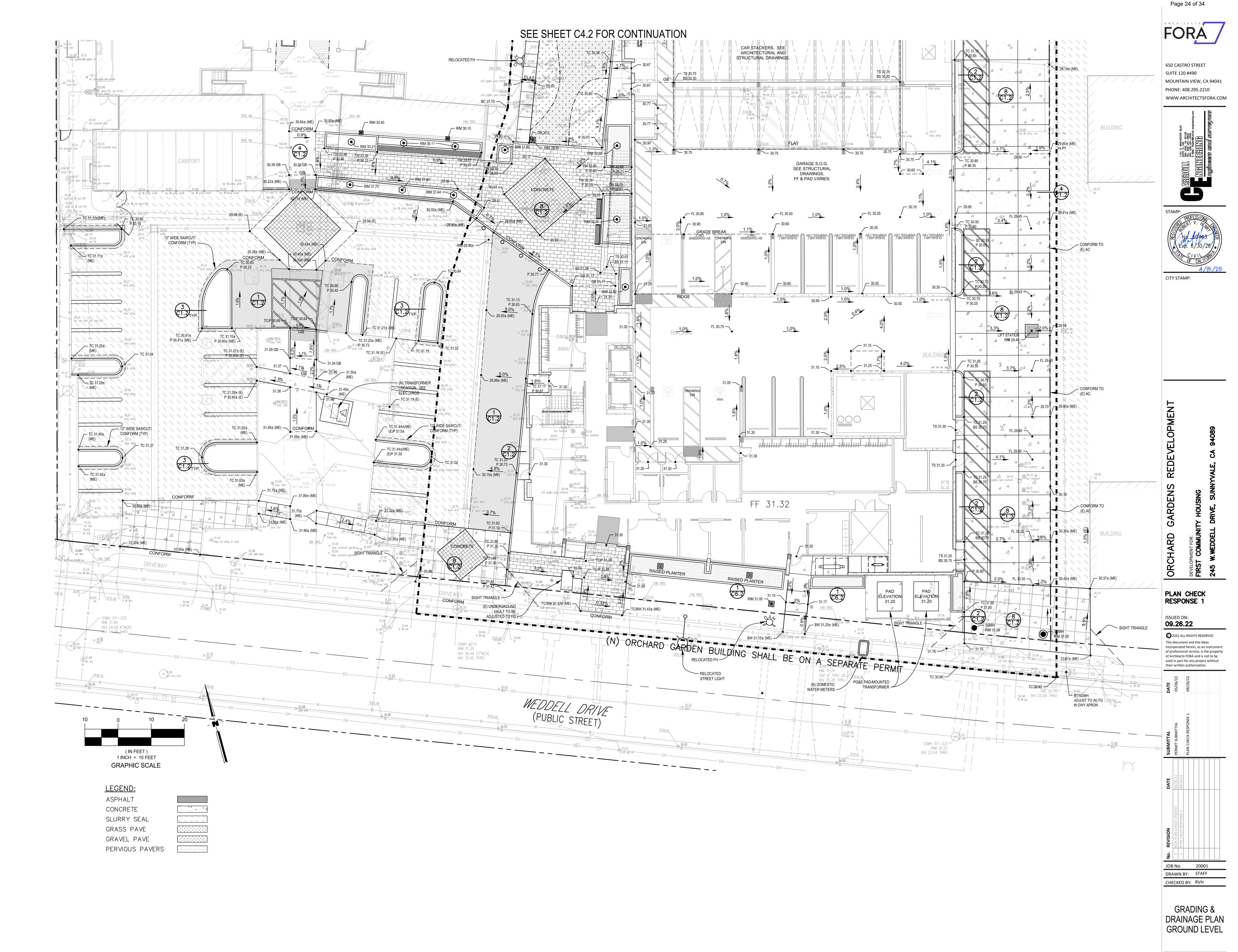
CONTROL PLAN

Attachment 1 Page 22 of 34

Attachment 1

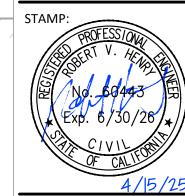


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C4.1

Attachment 1

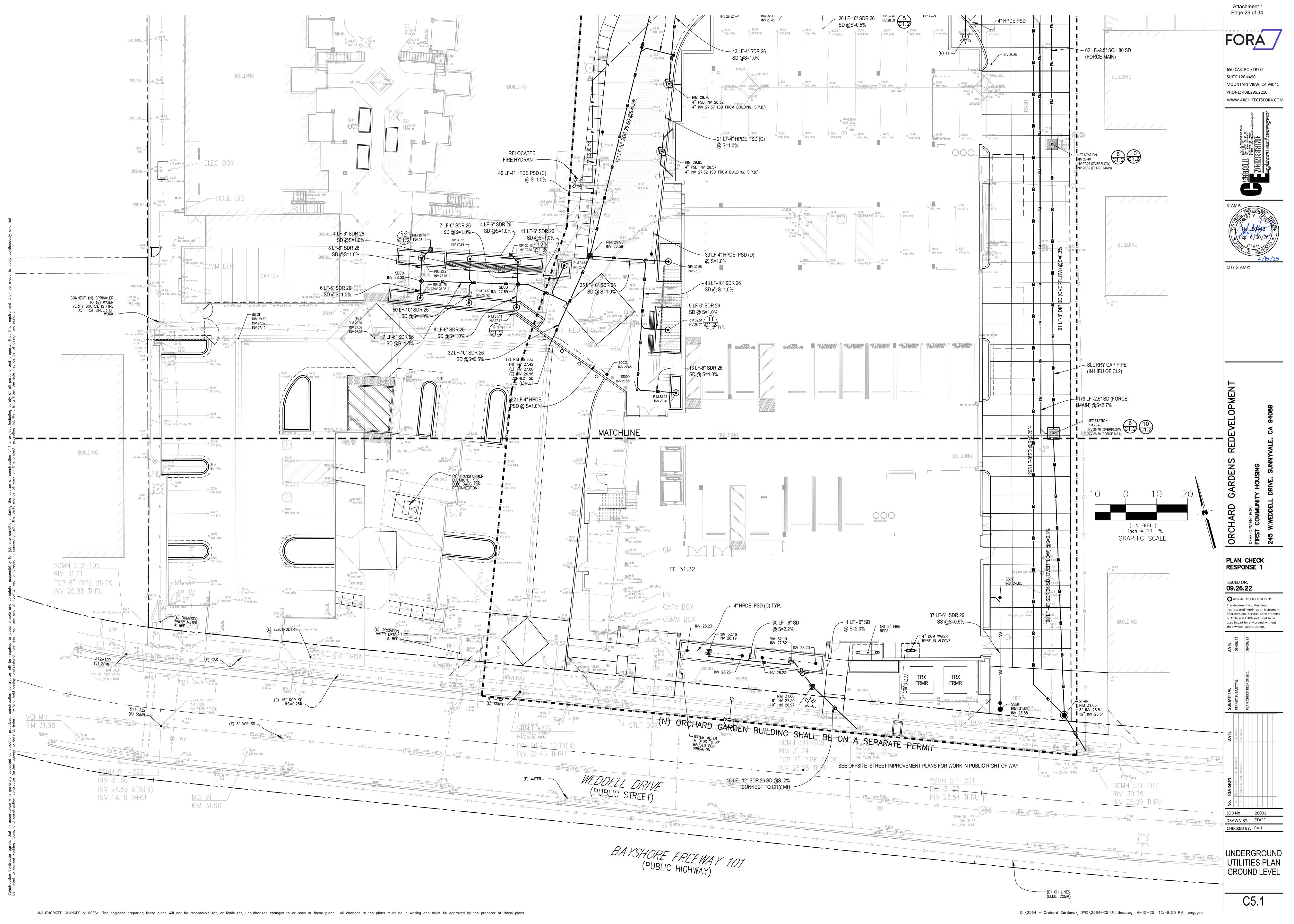


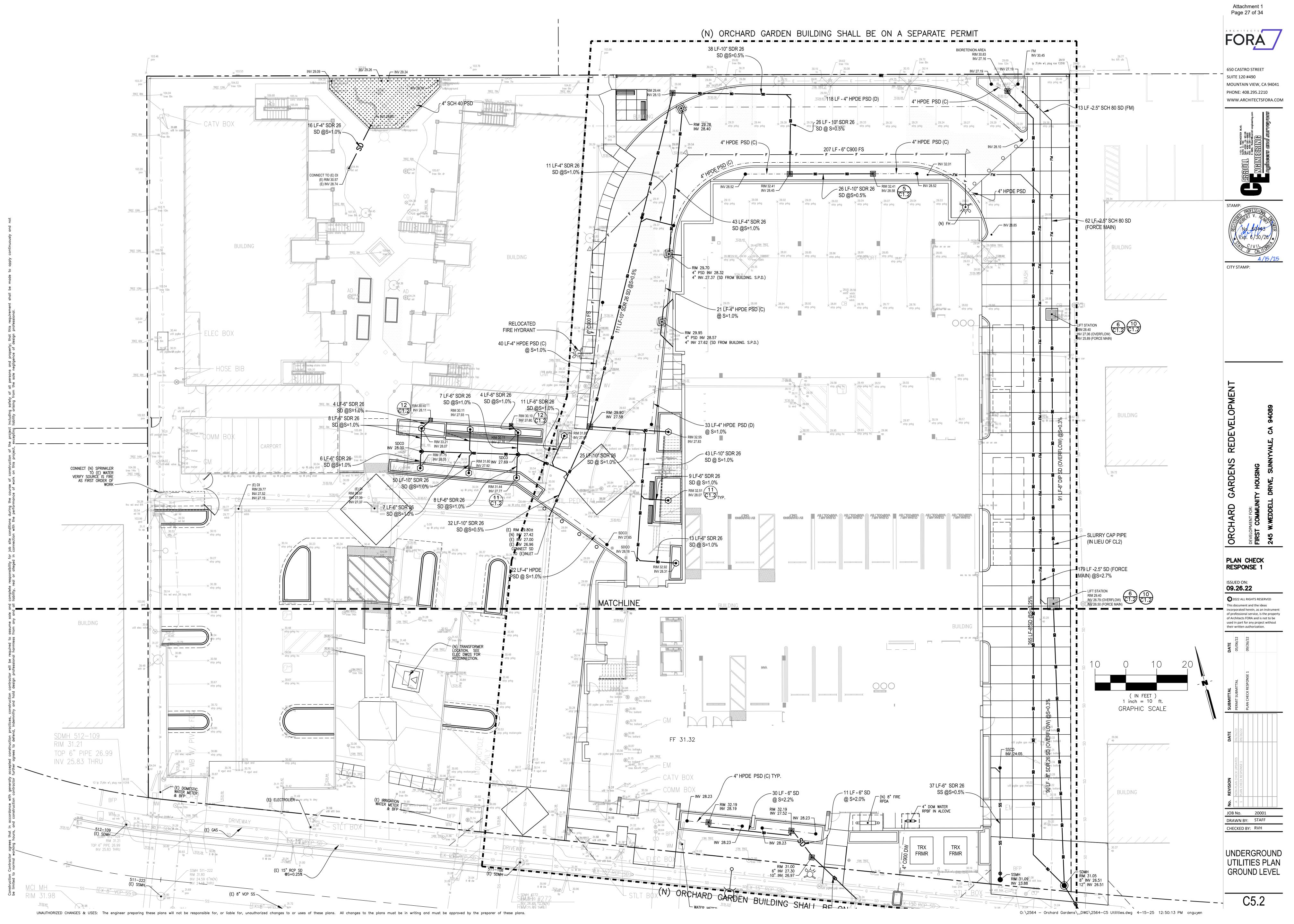
Attachment 1 Page 25 of 34

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DRAINAGE PLAN GROUND LEVEL

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#### STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BE A LICENSED PROFESSIONAL OR CONTRACTOR.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

#### STORM WATER MANAGEMENT NOTES

- 1. THE STORM WATER MANAGEMENT MEASURES SHOWN HEREON ARE DESIGNED TO BE IN SUBSTANTIAL CONFORMANCE WITH MUNICIPAL REGIONAL STORM WATER PERMIT ORDER NO. R2-2015-0049 AND THE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0009-DWQ AS EFFECTIVE IN 2008.
- 2. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE IMPROVEMENTS ARE CONSTRUCTED AND MAINTAINED PURSUANT TO THE AFOREMENTIONED ORDERS. OWNER SHALL IMPLEMENT MAINTENANCE MEASURES PURSUANT TO APPENDIX G OF THE C.3 HANDBOOK PUBLISHED BY SCYURPPP.
- 3. LESS THAN 50% OF THE SITE IS BEING COMPLETELY IMPROVED. AS SUCH, ONLY NEW IMPROVEMENTS ARE SUBJECT TO C.3 REQUIREMENTS.
- 4. MITIGATION WAS DESIGNED TO BE ACHIEVED VIA COMBINED FLOW BASED METHODS BASED UPON "C.3 STORMWATER HANDBOOK" PUBLISHED BY SCVURPPP AS EFFECTIVE IN 2016.
- 5. THE PROJECT DOES NOT CREATE AND/OR REPLACE MORE THAN ONE ACRE OF IMPERVIOUS AREA. AS SUCH, THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS AS SET FORTH IN THE MS4 PERMIT.
- 6. THE AREA OF DISTURBANCE IS LESS THAN ONE ACRE. AS SUCH, A DISCHARGE PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD IS NOT REQUIRED. HOWEVER, THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES (BMPs) AS SET FORTH IN THE CASQA CONSTRUCTION HANDBOOK.

#### PERVIOUS MATERIAL DESIGN CRITERIA

- 1. DESIGN SHALL BE REVIEWED AND APPROVED BY A LICENSED GEOTECHNICAL ENGINEER AND THE MORE CONSERVATIVE DESIGN SHALL GOVERN.
- 2. DESIGN FOR PERVIOUS PAVERS SHALL BE REVIEWED BY THE CONCRETE PAVER MANUFACTURER AND THE INTERLOCKING CONCRETE PAVEMENT INSTITUTE (ICPI). A REPORT OF THE SUITABILITY OF THE DESIGN SHALL BE GIVEN TO THE PROJECT ENGINEER PRIOR TO PLACEMENT OF THE PERVIOUS PAVER.
- 3. INSTALLATION OF PERVIOUS PAVERS SHALL ONLY BE DONE BY CONTRACTORS HOLDING A CERTIFICATE OF COMPLETION IN THE ICPI PERVIOUS CONCRETE PAVER INSTALLER TECHNICIAN COURSE. SUCH CONTRACTOR SHALL HAVE AT LEAST ONE FOREMAN WITH THIS CERTIFICATION ON THE JOB SITE AT ALL TIMES.
- 4. ALL NEW PERVIOUS PAVEMENT SHALL HAVE AN INFILTRATION RATE OF 100 IN/HR WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
  5. PROTECT EXCAVATED AREA FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.

LEGEND:

DRAINAGE MANAGEMENT
AREA (DMA) BOUNDARY

TREATMENT CONTROL
MEASURE (TCM)

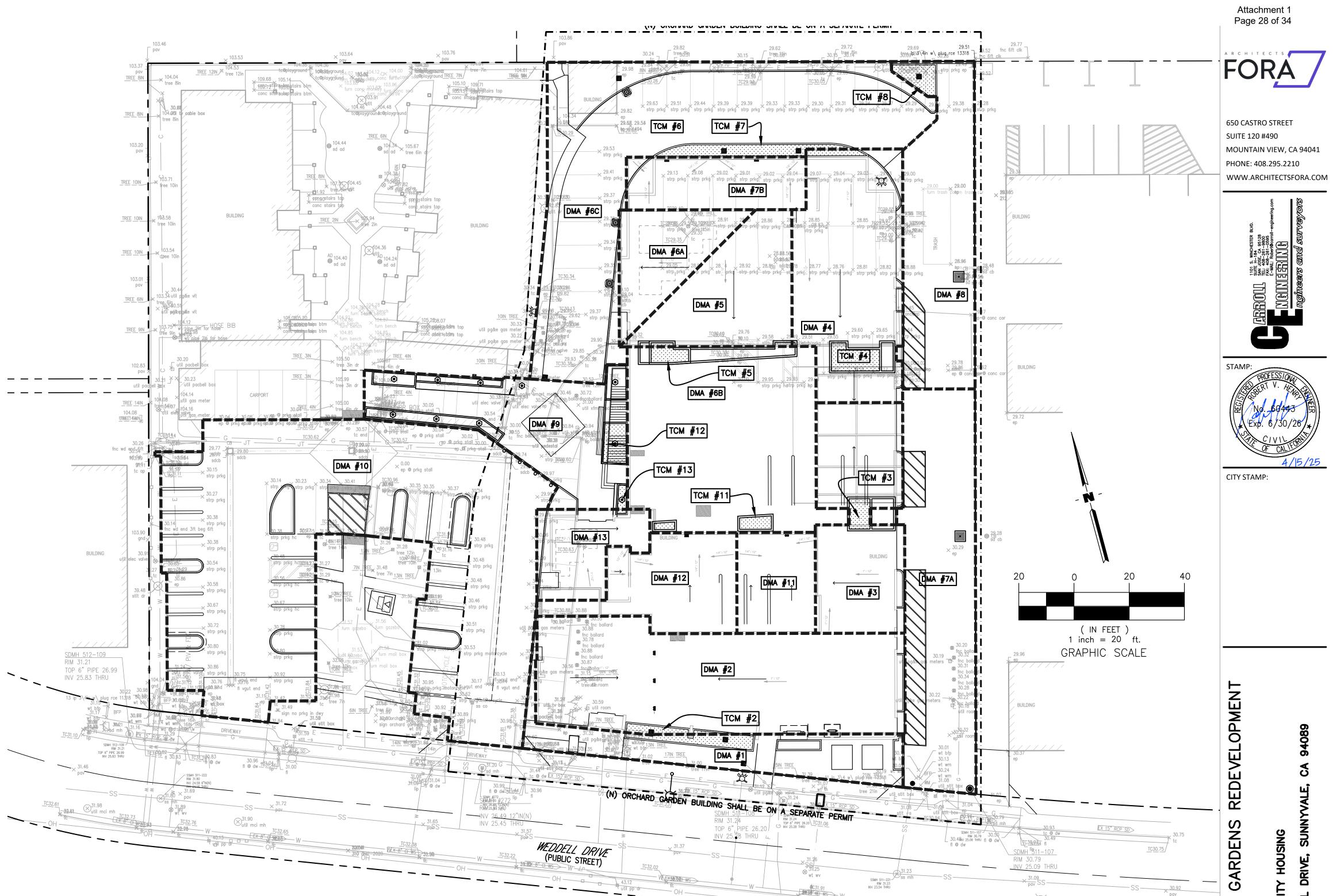
### TREATMENT CONTROL MEASURE SUMMARY TABLE

job site conditions durin connection with the perf	DMA#	TCM#	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	Treated by	Bioretention	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Credit Trees	Treatment Credit (s.f.)	Comments
	1	1	Onsite	Self-treating areas	LID	2C. Flow: 4% Method **	1,860	246	222	1,392	4.43%	0	0	6	N/A	N/A	N/A	N/A	Releases to landscape area
and complete re all liability, rea	2	2	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	5,057	5,057	0	0	12.03%	202	203	6	N/A	N/A	N/A	N/A	
tion contractor will be required to assume sole and complete responsibility for hold design professional harmless from any and all liability, real or alleged in	3	3	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	2,518	2,473	0	45	5.99%	99	104	6	N/A	N/A	N/A	N/A	
be required to	4	4	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	3,389	3,389	0	0	8.07%	136	148	6	N/A	N/A	N/A	N/A	
contractor will d design profes	5	5	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,874	1,874	0	0	4.46%	75	82	6	N/A	N/A	N/A	N/A	
	6	6	Onsite	Pervious pavement w/ underdrain	LID	1B. Volume	12,772	6,791	4,948	1,033	30.39%	0	N/A	N/A	0.2	0.2	N/A	N/A	
accepted construction practices, construc further agrees to defend, indemnifry and	7	7	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	5,037	5,037	0	0	11.99%	201	219	6	N/A	N/A	N/A	N/A	Disconnected. Pumped from DMA.
construction de rees to de	8	8	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	2,922	2,623	0	299	6.95%	105	112	6	N/A	N/A	N/A	N/A	
accepted further ag	9	9	Onsite	Pervious pavement w/ underdrain	LID	1B. Volume	2,813	564	1767	482	6.69%	0	N/A	N/A	0.2	0.2	N/A	N/A	
ontractor	10	10	Onsite	Maintenance	N/A	N/A	11,672	11,101	0	693	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Reducing impervious area & adding trees
in accordance with generally and construction contractor	11	11	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,041	1,041	0	0	2.48%	42	51	6	N/A	N/A	N/A	N/A	
	12	13	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,681	1,681	0	0	4.00%	67	80	6	N/A	N/A	N/A	N/A	
agrees that orking hours,	13	13	Onsite	Flow-Through planter concrete lined* w/ underdrain	LID	2C. Flow: 4% Method **	1,057	1,057	0	0	2.52%	42	48	6	N/A	N/A	N/A	N/A	
ractor mal wa						Totals:	42,021	31,833	6,937	3,251	100.00%								

### Footnotes

- \* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
- \*\* Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)
- \*\*\* Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.
- \*\*\*\* DMA XX is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of DMA XX. EQ-1 is not required to be treated as it is [insert reason here]

  UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



BAYSHORE FREEWAY 101 (PUBLIC HIGHWAY)

2. Surface Data

Project Phase

2.a. Number:

N/A

2.b. Total Area of Site:

Total Existing
Impervious Surfaces

2.c. on Site:

Total Area of Site that

2.d. will be disturbed:

0.96 acres

PLAN CHECK RESPONSE 1

ISSUED ON:

09.26.22

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No. REVISION DATE SUBMITTAL

A NON-PLAN CHECK UPDATES 09/26/22

PERMIT SUBMITTAL

1 PLAN CHECK RESPONSE 1 09/26/22

PLAN CHECK RESPONS

PLAN CHECK RESPONS

STORM WATER MANAGEMENT PLAN (SWMP) ROOF LEVEL

CHECKED BY: RVH

C6.1

BIORETENTION & FLOW-THROUGH PLANTER NOTES:

1. SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.

2. PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.

3. SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS

4. CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.

5. A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.

6. DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

#### SITE DESIGN MEASURES:

- 1. CREATE NEW PERVIOUS AREAS:
- a. PARKING STALLS.
- b. WALKWAYS AND PATIOS. c. LANDSCAPING.
- d. PRIVATE STREETS AND SIDEWALKS.

### 3. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

2. CLUSTER STRUCTURES/PAVEMENT.

- 4. PARKING: a. ON TOP OF OR UNDER BUILDINGS.
- b. NOT PROVIDED IN EXCESS OF CODE.
- 5. INSTALL A GREEN ROOF ON ALL OR A PORTION OF THE ROOF.

#### SOURCE CONTROL MEASURES:

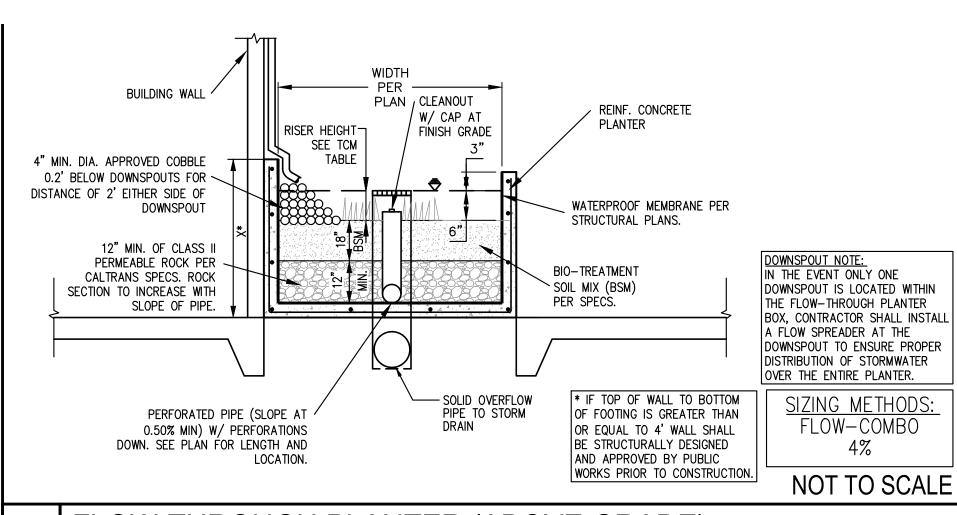
- 1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
- a.INTERIOR PARKING STRUCTURES.

#### 2. INDUSTRIAL, OUTDOOR MATERIAL STORAGE, AND RECYCLING

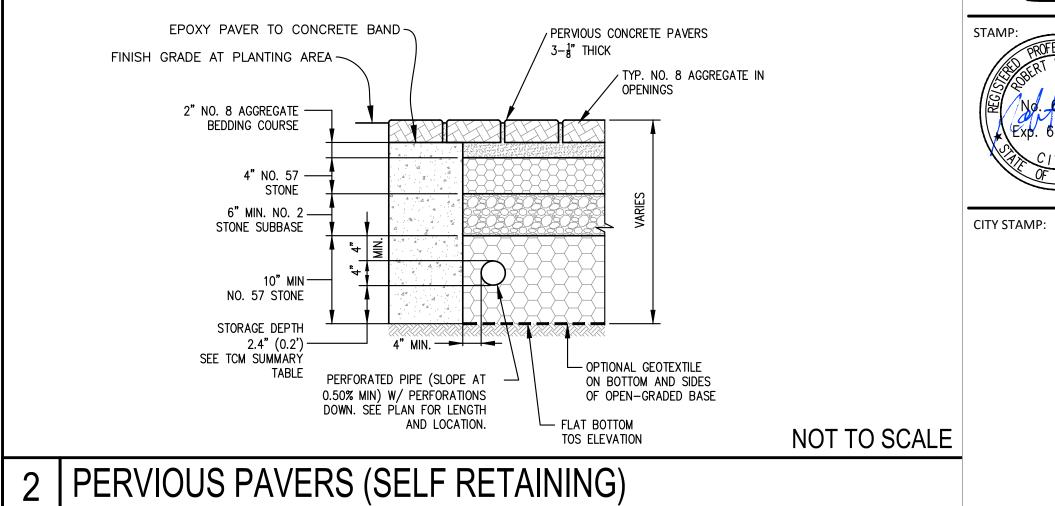
UNDER PERMANENT ROOF OR COVERING, AS APPROPRIATE c.DIRECT PONDED WATER TO THE SANITARY SEWER, ONSITE TREATMENT SYSTEM(S), OR TO OFFSITE DISPOSAL. d.INSTALL BERMS OR CURBING TO PREVENT RUNOFF FROM

b.STOCKPILE MATERIAL ON AN IMPERVIOUS SURFACE OR

- THE STORAGE/ PROCESSING AREAS e. SEGREGATE POLLUTANT GENERATING ACTIVITIES INTO A DISTINCT DRAINAGE MANAGEMENT AREA(S) AND PROVIDE
- TREATMENT. 3. BENEFICIAL LANDSCAPING.
- 4. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- 5. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- 6. STORM DRAIN LABELING.
- 7. OTHER: \_\_\_\_\_



# 1 | FLOW-THROUGH PLANTER (ABOVE GRADE)



Attachment 1 Page 29 of 34

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MOUNTAIN VIEW, CA 94041

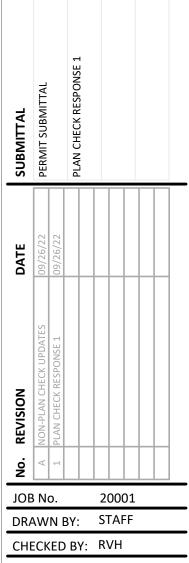
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PLAN CHECK

**RESPONSE 1** ISSUED ON:

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STORM WATER MANAGEMENT **DETAILS &** SECTION CUTS

C6.2

I.B. PROPERTY OWNER: First Community Housing

**RESPONSIBLE PARTY FOR MAINTENANCE:** II.A. CONTACT:

Geoff Morgan II.B. PHONE NUMBER OF CONTACT: 408-291-8650 Ext. 19

II.C. EMAIL: <u>Geoffreym@firsthousing.org</u>

II.D. ADDRESS: 75 E. Santa Clara St. San Jose, CA 95113

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS MAINTENANCE TASK FREQUENCY OF TASK NO. REMOVE OBSTRUCTIONS, WEEDS, DEBRIS, AND TRASH FROM BIORETENTION AREA QUARTERLY, OR AS NEEDED AFTER STORM EVENTS AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY. INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES QUARTERLY, OR AS NEEDED NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT AFTER STORM EVENTS SOILS WITH THE APPROVED SOIL MIX AND REPLANT. QUARTERLY, OR AS NEEDED CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLAN ANY AFTER STORM EVENTS CLOGGED UNDERDRAINS. MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING QUARTERLY THE CORRECT AMOUNT OF WATER (IF APPLICABLE). ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE ANNUALLY, BEFORE THE WET FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE SEASON BEGINS BEIRETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS. USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS ANNUALLY, BEFORE THE WET 6 INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AND SEASON BEGINS UNDERDRAIN. CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2-3 INCHES PER SOIL ANNUALLY, BEFORE THE WET SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. SEASON BEGINS IT IS RECOMMENDED THAT 2"-3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR. INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ANNUALLY, BEFORE THE WET 8 ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE SEASON BEGINS ACCUMULATED SEDIMENT. INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS ANNUALLY, BEFORE THE WET FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING. SEASON BEGINS REPLACE BIOTREATMENT SOILS AND MULCH, IF NEEDED. CHECK FOR STANDING ANNUALLY, BEFORE THE WET 10 WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND **SEASON BEGINS** DEBRIS. REPLACE DEAD PLANTS.

11 INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.

ANNUALLY, BEFORE THE WET

SEASON

TABLE 1 ROLITINE MAINTENANCE ACTIVITIES FOR FLOW-THROLIGH PLANTERS

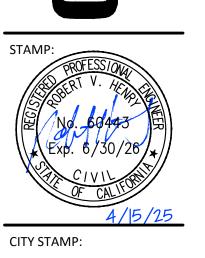
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BEOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/ REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT, AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH, AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS
11	INSPECT SYSTEM OFR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATOR, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS

	TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR PERVIOUS PAVEMENT					
NO.	MAINTENANCE TASK	FREQUENCY OF TASK				
1	CHECK FOR SEDIMENT AND DEBRIS ACCUMULATION. PREVENT SOIL FROM WASHING OR BLOWING ONTO THE PAVEMENT. DO NOT STORE SAND, SOIL, MULCH OR OTHER LANDSCAPING MATERIALS ON PERVIOUS PAVEMENT SURFACES.	TWO TO FOUR TIMES ANNUALLY				
2	CONDUCT PREVENTATIVE SURFACE CLEANING, USING COMMERCIALLY AVAILABLE REGENERATIVE AIR OR VACUUM SWEEPERS, TO REMOVE SEDIMENT AND DEBRIS.	TWO TO FOUR TIMES ANNUALLY				
3	INSPECT FOR ANY SIGNS OF PAVEMENT FAILURE. REPAIR ANY SURFACE DEFORMATIONS OR BROKEN PAVERS. REPLACE MISSING JOINT FILLER IN PICP.	TWO TO FOUR TIMES ANNUALL				
4	CHECK FOR STANDING WATER ON THE PAVEMENT SURFACE WITHIN 30 MINUTES AFTER A STORM EVENT.	TWO TO FOUR TIMES ANNUALL				
5	INSPECT UNDERDRAIN OUTLETS AND CLEANOUTS, PREFERABLY BEFORE THE WET SEASON. REMOVE TRASH/ DEBRIS.	TWO TO FOUR TIMES ANNUALL				
6	REMOVE SEDIMENT AND DEBRIS ACCUMULATION ON PERVIOUS PAVEMENT.	TWO TO FOUR TIMES ANNUALL				
7	REMOVE WEEDS. MOW VEGETATION IN GRID PAVEMENTS (SUCH AS TURF BLOCK) AS NEEDED.	AS NEEDED				
8	PERFORM RESTORATIVE SURFACE CLEANING WITH A VACUUM SWEEPER, AND/OR RECONSTRUCTION OF PART OF THE PERVIOUS SURFACE TO RESTORE SURFACE PERMEABILITY AS NEEDED. REPLENISH AGGREGATE IN PICP JOINTS OR GRIS AD NEEDED AFTER RESTORATIVE SURFACE CLEANING.	AS NEEDED				
9	POWER WASHING WITH SIMULTANEOUS VACUUMING ALSO CAN BE USED TO RESTORE SURFACE INFILTRATION TO HIGHTLY CLOGGED AREAS OF PERVIOUS CONCRETE, POROUS ASPHALT OR PICT, BUT IS NOR RECOMMENDED FOR GRID PAVEMENTS.	AS NEEDED				
10	INSPECT PERVIOUS PAVING AREA USING THE ATTACHED INSPECTION CHECKLINT.	QUARTERLY OR AS NEEDED				

Attachment 1 Page 30 of 34

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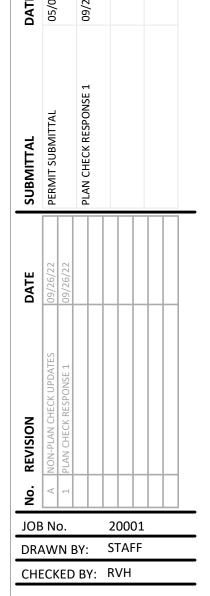




PLAN CHECK **RESPONSE 1** 

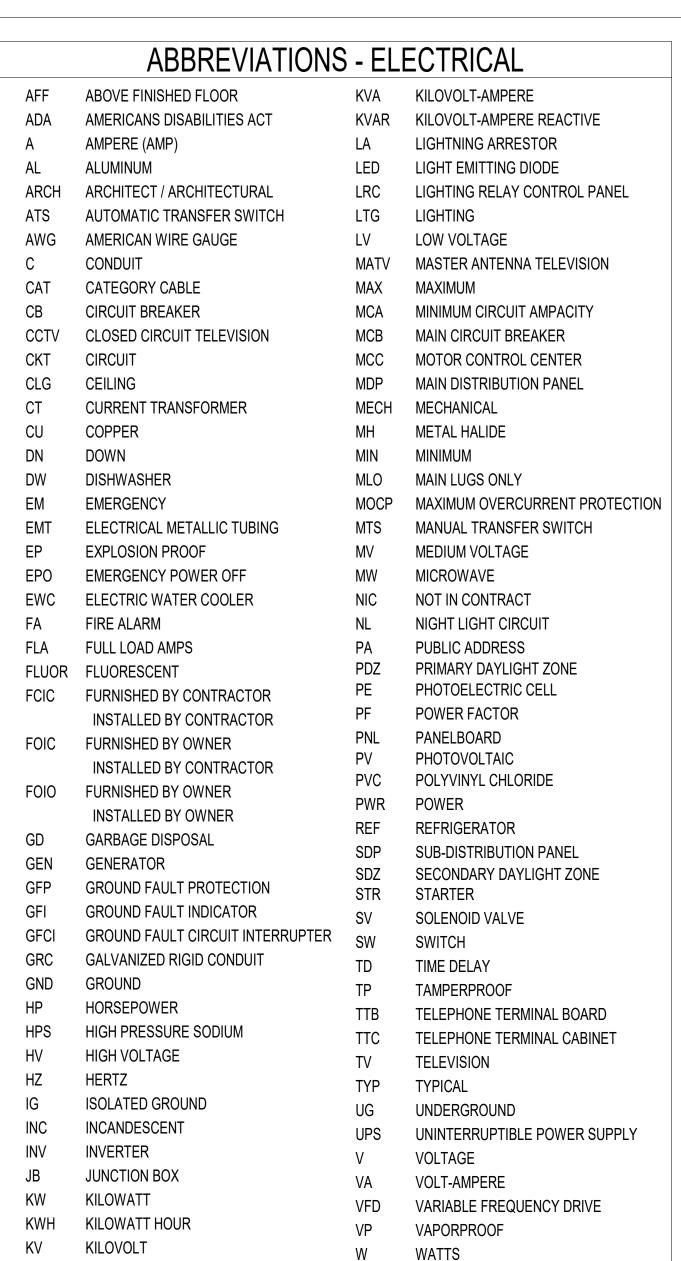
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STORM WATER **MANAGEMENT** OPERATION AND PROCEDURES MAINTENANCE

C6.3

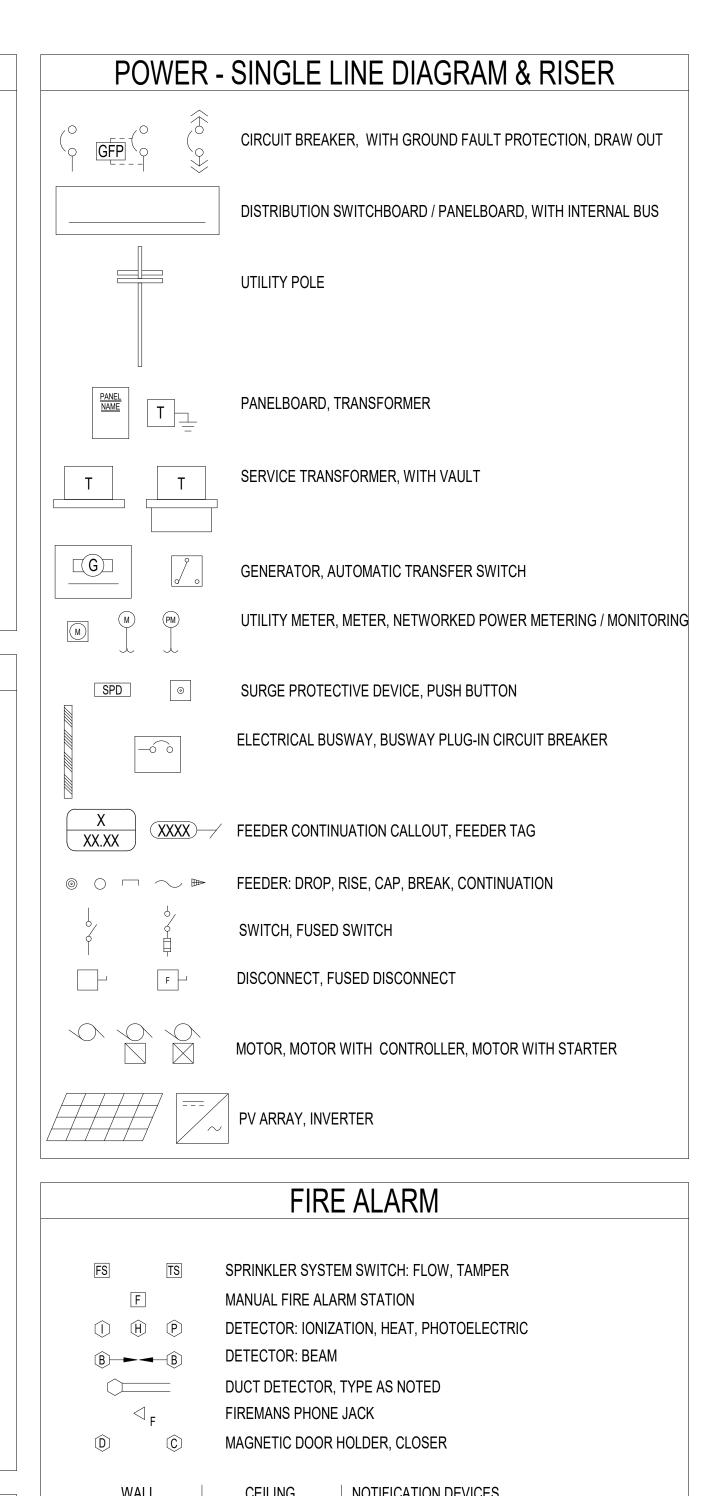


WEATHERPROOF

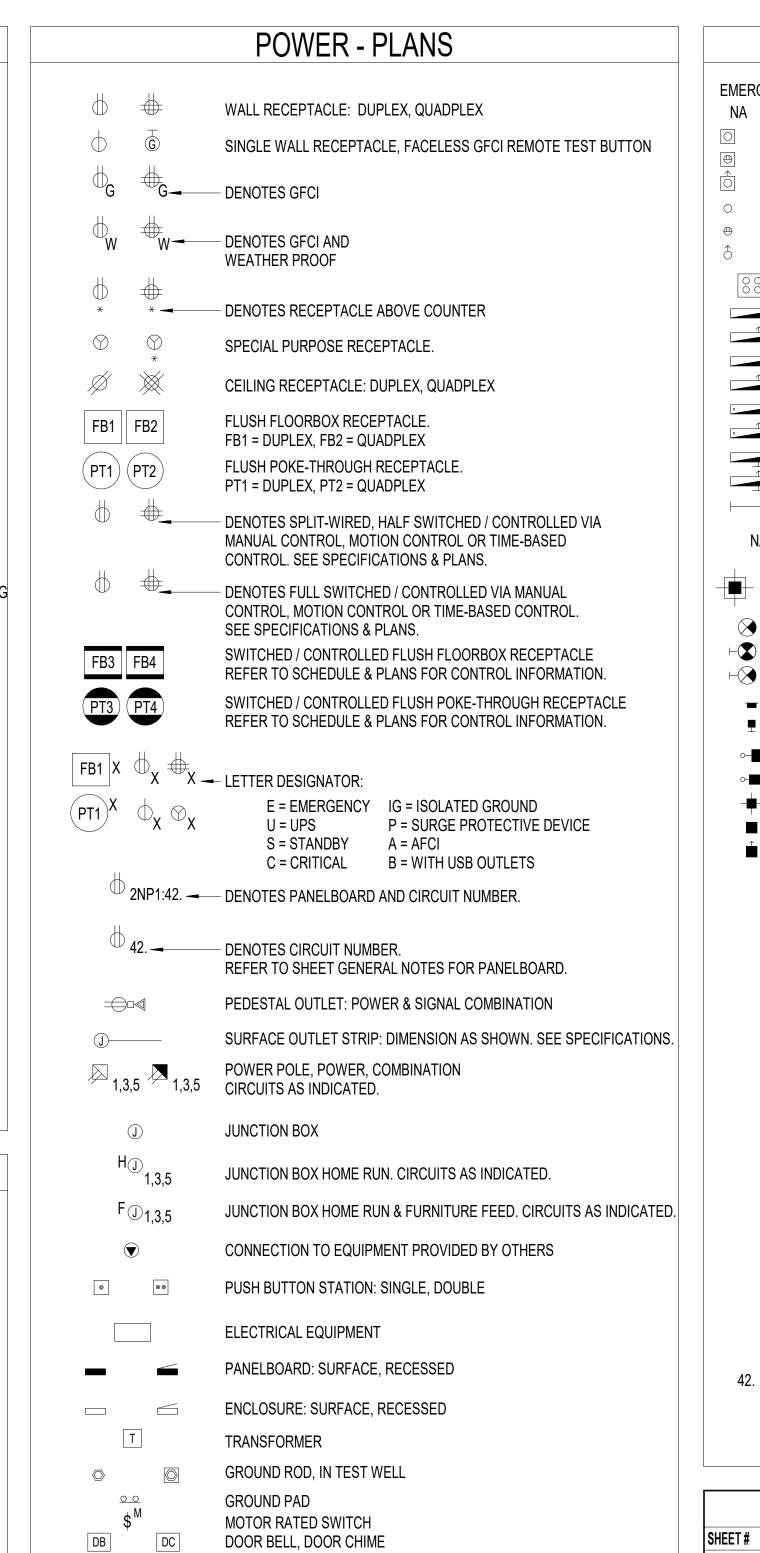
XFMR TRANSFORMER

#### ELECTRICAL EQUIPMENT DESIGNATION BLANK - NORMAL POWER E - EMERGENCY POWER U - UNINTERRUPTIBLE POWER <u>VOLTAGE:</u> -2 - 208Y/120V 4 - 480Y/277V 5 - 4160Y/2400V 15 - 12470Y/7200V **EQUIPMENT**: D - MAIN DISTRIBUTION PANEL S - SUB DISTRIBUTION PANEL B - BUSWAY M - MOTOR CONTROL CENTER A - AUTOMATIC TRANSFER SWITCH P - POWER PANEL L - LIGHTING PANEL T - TRANSFORMER U - UPS LRC - LIGHTING RELAY CONTROL PANEL **BUILDING LEVEL:** 0 - BASEMENT 1 - FIRST LEVEL 2 - SECOND LEVEL 3 - THIRD LEVEL 4 - FOURTH LEVEL A - FIRST IN SERIES OF EQUIPMENT B - SECOND IN SERIES OF EQUIPMENT

DESIGNATION SYMBOLS					
	123	EQUIPMENT DESIGNATOR SEE SCHEDULE.			
$\langle E \rangle$	$\langle X \rangle$	EXISTING TO REMAIN, EXISTING TO BE REMOVED			
$\langle R \rangle$	$\langle F \rangle$	EXISTING TO BE RELOCATED, FUTURE			
$\langle N \rangle$	lacksquare	NEW, POINT OF CONNECTION			
$\langle 1 \rangle$	$\rangle$	NOTE			



o F	DUCT DETECTOR, FIREMANS PHONE	JACK
© © WALL	MAGNETIC DOOR I	HOLDER, CLOSER   NOTIFICATION DEVICES
- <b>F</b> -	-(F)-	FIRE ALARM: VISUAL
F	F -F-	FIRE ALARM: HORN; HORN W/VISUAL
<b>▽</b>	\$ -\$-	FIRE ALARM: SPEAKER; SPEAKER W/VISUAL
F -F-	(F) -(F)-	FIRE ALARM: BELL; BELL W/VISUAL



THIS IS A STANDARD LEGEND SHEET, THEREFORE, SOME SYMBOLS MAY APPEAR ON THIS SHEET THAT DO NOT APPEAR ON THE DRAWINGS.

GENERAL NOTES

### APPLICABLE CODES

2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA ENERGY CODE TITLE 24 PART 6 SUNNYVALE REACH CODE

### FIRE ALARM NOTE

THE FIRE ALARM SYSTEM DESIGN IS CONTRACTOR DESIGN/BUILD, REFER TO SPECIFICATIONS FOR THE REQUIREMENTS. COORDINATE FINAL QUANTITY, LOCATION, AND CONNECTION WITH DEFERRED FIRE ALARM SUBMITTAL.

### **COORDINATION NOTES**

- A. ALL BURIED IRON, STEEL, CAST IRON, DUCTILE IRON, GALVANIZED STEEL, DIELECTRIC COATED STEEL, OR IRON SHOULD BE PROPERLY PROTECTED AGAINST CORROSION. PROVIDE CATHODIC PROTECTION WHERE REQUIRED. REFER TO CROSS-TRADE DRAWINGS FOR INFORMATION ON PIPING AND QUANTITY.
- B. REFER TO SHEET G1.21 FOR LOCATIONS OF FIRE WALL BUILDING SEPARATION AND 3-HOUR HORIZONTAL BUILDING SEPARATION.
- C. REFER TO LANDSCAPE DRAWINGS FOR ALL IRRIGATION DEVICE AND CONDUIT LOCATIONS. BACKBOX AND CONDUIT INFRASTRUCTURE AND ASSOCIATED JUNCTION/PULLBOX TO BE PROVIDED UNDER DIVISION 26 SCOPE OF WORK. PROVIDE PULL STRINGS WITHIN EACH INDEPENDENT CONDUIT RUN END TO END FOR EASE OF CABLE PULL.

		LIGHTING
BUTTON	EMERGENCY NORMAL NA  O  O  O  O  O  O  O  O  O  O  O  O  O	TRACK: WITH CURRENT LIMITER, WITHOUT CURRENT LIMITER RECESSED DOWNLIGHT:: SQUARE, ROUND RECESSED WALLWASHER: SQUARE, ROUND RECESSED ADJUSTABLE ACCENT: SQUARE, ROUND DOWNLIGHT: SURFACE: SQUARE, ROUND WALL WASHER: SURFACE SQUARE, ROUND ADJUSTABLE ACCENT: SURFACE: SQUARE, ROUND ADJUSTABLE ACCENT: MULTILAMP LINEAR: RECESSED LINEAR: RECESSED ASYMMETRIC LINEAR: SURFACE LINEAR: SURFACE LINEAR: SUSPENDED LINEAR: SUSPENDED LINEAR: WALL MOUNTED LINEAR: WALL MOUNTED STRIP LIGHT LINEAR: UNDERCABINET
	NA	LINEAR ACCENT: ARCHITECTURE INTEGRATED
		PENDANT: SQUARE, ROUND
l.	NA  ⊢★  NA  NA  NA  NA	EXIT SIGN: TOP SURFACE OR TOP RECESSED: SINGLE , DOUBLE EXIT SIGN: SIDE OR FLAG MOUNT: SINGLE , DOUBLE EXIT SIGN: BACK SURFACE MOUNT
CLE	■	WALL MOUNTED: RECESSED: SQUARE, ROUND WALL MOUNTED: SURFACE: SQUARE, ROUND POLE-MOUNTED: AREA: SQUARE, ROUND POLE-MOUNTED: STREET: RECTANGULAR, OVAL POLE-MOUNTED: PEDESTRIAN: SQUARE, ROUND BOLLARD 360: SQUARE, ROUND BOLLARD 180: SQUARE, ROUND INGRADE SQUARE, ROUND INGRADE ADJUSTABLE SQUARE, ROUND FLOOD LIGHT
	\$ \$ <sup>2</sup>	CONTROL STATION. REFER TO SCHEDULE.  WALL SWITCH: 1 POLE, 2 POLE
IFICATIONS.	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	WALL SWITCH: 1 POLE, 2 POLE WALL SWITCH: 3 WAY, 4 WAY WALL SWITCH: KEY LOCK WALL SWITCH: LOW VOLTAGE, PILOT WALL SWITCH: TIMER, MANUAL DIMMER WALL COMBINATION OCCUPANCY SWITCH, OCCUPANCY DIMMER WALL COMBINATION VACANCY SWITCH, VACANCY DIMMER
INDICATED.	PEH PE X SS X SS X SS X SS X SS X SS X	PHOTOELECTRIC CELL: WALL MOUNTED, CEILING MOUNTED OCCUPANCY SENSOR: CEILING OR WALL MOUNTED VACANCY SENSOR: CEILING OR WALL MOUNTED "X" DESIGNATES DEVICE TYPE: U: ULTRASONIC R: INFRARED DT: DUAL TECHNOLOGY
	L# EM a,b,c,d,eetc 42. PNL:42. Z###	DESIGNATES LUMINAIRE TYPE (SEE LUMINAIRE SCHEDULE) DESIGNATES EMERGENCY FIXTURE DESIGNATES STANDALONE CONTROL ZONE. DESIGNATES LIGHTING CIRCUIT, PANEL:CIRCUIT. DESIGNATES NETWORK CONTROL ZONE. REFER TO SCHEDULE REFER TO ZONE SCHEDULE FOR CIRCUITING OF NETWORKED LIGHTING.

SHEET#	SHEET NAME	
E-0.1	CAMBOL & LECENDS AND ADDDEVS ELECTRICAL	
=-0.1 =-0.2	SYMBOLS, LEGENDS AND ABBREVS - ELECTRICAL LUMINAIRE SCHEDULE - ELECTRICAL	
=-0.2 =-0.3	EQUIPMENT SCHEDULE - ELECTRICAL	
=-0.3 =-0.4	TITLE 24 - ELECTRICAL	
E-0.4 E-0.5	TITLE 24 - ELECTRICAL  TITLE 24 - ELECTRICAL	
	TITLE 24 - ELECTRICAL  TITLE 24 - ELECTRICAL	
E-0.6 E-0.7	TITLE 24 - ELECTRICAL  TITLE 24 - ELECTRICAL	
=-0. <i>1</i> =-0.8	TITLE 24 - ELECTRICAL  TITLE 24 - ELECTRICAL	
	SITE PLANS - LIGHTING PHOTOMETRICS	
E-0.9		
-0.10	FIRST FLOOR PLAN - LIGHTING PHOTOMETRICS	
E-0.11	SECOND FLOOR PLAN - LIGHTING PHOTOMETRICS	
-1.1	SITE PLANS - ELECTRICAL	
E-1.2	SITE PLANS - LIGHTING	
E-2.1	FIRST FLOOR PLAN - LIGHTING	
-2.2	SECOND FLOOR PLAN - LIGHTING	
-2.3	THIRD FLOOR PLAN - LIGHTING	
-2.4	FOURTH FLOOR PLAN - LIGHTING	
-2.5	FIFTH FLOOR PLAN - LIGHTING	
E-2.6	SIXTH FLOOR PLAN - LIGHTING	
-2.7	ROOF PLAN - LIGHTING	
E-3.1	FIRST FLOOR PLAN - ELECTRICAL	
-3.2	SECOND FLOOR PLAN - ELECTRICAL	
E-3.3	THIRD FLOOR PLAN - ELECTRICAL	
E-3.4	FOURTH FLOOR PLAN - ELECTRICAL	
-3.5	FIFTH FLOOR PLAN - ELECTRICAL	
E-3.6	SIXTH FLOOR PLAN - ELECTRICAL	
E-3.7	ROOF PLAN - ELECTRICAL	
E-4.1	PARTIAL PLANS AND SECTIONS - LIGHTING	
-4.2	PARTIAL PLANS AND SECTIONS - LIGHTING	
-5.1	PARTIAL PLANS AND SECTIONS - ELECTRICAL	
-5.2	PARTIAL PLANS AND SECTIONS - ELECTRICAL	
E-5.3	PARTIAL PLANS AND SECTIONS - ELECTRICAL	
E-5.4	PARTIAL PLANS AND SECTIONS - ELECTRICAL	
E-6.1	DETAILS - ELECTRICAL	
E-6.2	DETAILS - ELECTRICAL	
E-7.1	DIAGRAMS - ELECTRICAL	
-7.2	DIAGRAMS - ELECTRICAL	
E-7.3	DIAGRAMS - PHOTOVOLTAIC - ELECTRICAL	
<del>-</del> 7.4	DIAGRAMS - GROUNDING - ELECTRICAL	
E-8.1	PANEL SCHEDULES	
-8.2	PANEL SCHEDULES	
E-8.3	PANEL SCHEDULES	
E-8.4	PANEL SCHEDULES	
Grand total:	43	

ELECTRICAL SHEET LIST

FORA /

Attachment 1 Page 31 of 34

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PAE

ТАМР:

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ORCHARD GARDENS REDEVELOPMENT

DEVELOPMENT FOR:
FIRST COMMUNITY HOUSING

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No. REVISION

No. REVISION

1

JOB No. 20-2036

DRAWN BY: Author

CHECKED BY: Checker

SYMBOLS,

LEGENDS

ABBREVS -

ELECTRICAL

AND

NOTES

MOUNTING

SURFACE -CEILING

Attachment 1 Page 32 of 34

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SUBMITTAL	PERMIT SUBMITTAL		PLAN CHECK BESPONSE 1					
	2022	2022	2025					
DATE	09/26/2022	09/26/2022	04/30/2025					
REVISION	REVISION NON-PLAN CHECK UPDATES PLAN CHECK RESPONSE 1		Misc. Planning Permit Adjustment					
No.	⋖	Н	2					
JOE	B No	ο.		2	0-2	03	86	

DRAWN BY: Author CHECKED BY: Checker LUMINAIRE

SCHEDULE -ELECTRICAL

XTURE TYPE	IMAGE	PRODUCT DESCRIPTION	BASIS OF DESIGN MANUFACTURER	SIZE	INPUT WATTS	LAMP SOURCE (Type, CCT, Delivered Lumens)	DRIVER TYPE	INPUT VOLTAGE	FINISH	MOUNTING	NOTES
S2B						NOT USED			<b>~~~</b>		
<b>S3</b>		EXTERIOR LED BOLLARD Site	BEGA 88261-K3-BLK+ 79824	DIA: 10" H: 37.375"	20.6	LED, 3000K, 1577LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	BOLLARD	
<b>S</b> 4	8	EXTERIOR LED FESTOON LIGHTING WITH SHADES FOR DARK SKY COMPLIANCE Level 2 Courtyard, Level 6 Trellis	TOKISTAR CABLE/SOURCE: EXBK-24-UBIW-S14-F MOUNTING: EX-MDA-BK SHADE: EX-CS1-B	DIA. 5" H: 3"	2.7 W/LF	LED, 3000K	REMOTE DIMMABLE LED DRIVER TBD	277V	BLACK	POLE / CATENARY	
<b>S</b> 5						NOT USED					
S6		EXTERIOR LED SCONCE Unit Balconies	BEGA 33449-K30-BLK	W: 4.75" H: 5.5" D: 5.5"	8.2	LED, 3000K, 420LM	INTEGRAL DIMMABLE LED DRIVER TBD	120V	BLACK	SURFACE - WALL	1. MOUNTING HEIGHT TO BE 6'-8" AFF TO BOTTOM OF FIXTURE.
<b>S</b> 7		EXTERIOR LED SCONCE Exterior Areas	WAC DS-WD05-F930S-BK	H: 12.5" D: 4.875"	25X2	LED, 3000K, 2075 X2 LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	SURFACE - WALL	1. BUG RATING: B1-U0-G1. 2. MOUNTING HEIGHT TO BE 8'-0" AFF TO BOTTOM OF FIXTURE.
S8		EXTERIOR LED SCONCE Exterior Areas	LITHONIA WDGE3-P1-30K-80-RFT-MVOLT-SRM-OPTION S-BLACK	W: 18" H: 9" D: 8"	15	LED, 3000K, 7500LM	INTEGRAL DIMMABLE LED DRIVER TBD	MVOLT	BLACK	SURFACE - WALL	1. BUG RATING: B1-U0-G1. 2. MOUNTING HEIGHT TO BE 12'-0" AFF TO BOTTOM OF FIXTURE.
S9		12' POLE LIGHT W/ 14" SQUARE LED HEAD Site	GARDGO FORM 10 EH14L-32L-900-WW-G3 MOUNTING-2-277-DD-FP1-HIS BLA	W: 14" H: 7" D: 14" POLE: 12'	45	LED, 3000K, 10450LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	POLE	1. POLES FINISH TO MATCH EXISTING POLES ON THE SITE. 2. BUG RATING: B1-U0-G1. 3. FIXTURE TO BE MOUNTED AT TOP OF 12' POLE.
S10	·	STEP LIGHT W/ FORWARD THROW Level 2 Courtyard	BEGA 24060+K3-BLK	W: 13" H: 5" D: 5.5"	12.2W	LED, 3000K 848LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	RECESSED - WALL	1. MOUNTING HEIGHT TO BE 2'-6" AFF TO CENTER OF FIXTURE.
<b>S11</b>		POST MOUNT FLOOD LIGHT WITH FORWARD THROW OPTIC Stairs, Level 2 Courtyard	BEGA 33815-K3-BLK	W: 4 3/8" H: 7 1/2" D: 4 3/8"	7.9W	LED, 3000K 618LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	SURFACE-POST	1. REFERENCE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.

LIGHTING CONTROL SEQUENCE OF OPERATIONS

AUTOMATIC DAYLIGHTING CONTROLS (PHOTOCELL)

YES, WITHIN DAYLIT ZONES

YES, WITHIN DAYLIT ZONES

YES, WHEN SUFFICIENT DAYLIGHT IS SENSED

NO

NO

YES, WHEN SUFFICIENT DAYLIGHT IS SENSED

DEMAND RESPONSIVE CONTROLS

/ES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPD IS GREATER THAN 0.5 W/SF

YES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM

/ES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPD IS GREATER THAN 0.5 W/SF

/ES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPD IS GREATER THAN 0.5 W/SF

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/ES, PROGRAMMABLE AND ADDRESSABLE CONTROL SYSTEM IF LPD IS GREATER THAN 0.5 W/SF

ACCEPTANCE TESTING & CERTIFICATION

YES

YES

NOTES

DIM TO 50% WHEN ZONE IS UNOCCUPIED

AUTO OFF WHEN ZONE IS UNOCCUPIED

AUTO OFF WHEN ZONE IS UNOCCUPIED

AUTO OFF WHEN ZONE IS UNOCCUPIED

DIM TO 50% WHEN ZONE IS UNOCCUPIED

DIM TO 50% WHEN ZONE IS UNOCCUPIED

PROVIDE OCCUPANCY SENSOR FOR ALL FIXTURES MOUNTED LESS THAN 24'-0" ABOVE GRADE, DIM TO 50% WHEN ZONE IS UNOCCUPIED

2. Contractor shall verify all recessed fixtures are provided with trim suitable for final approved ceiling type.
3. Contractor to coordinate all mounting details with Architect and Lighting Designer. Requested clarifications to be issued as RFI's.
4. Contractor shall coordinate and provide all mounting hardware required for installation in final ceiling and wall systems.
5. Electrical Engineer to verify all voltage and all emergency fixture coordination.
6. Electrical Engineer to provide all necessary information pertaining to coordination of remote drivers/transformers including sizing of driver, gauge and type of secondary wiring
7. Electrical Engineer to confirm compatibility of specified lamp (s) and driver(s) with final specified lighting control dimming system.
6. All fixtures are to be dimmable to 1% unless otherwise noted.
7. Final color temperatures to be determined based on mockup in the field.

LOBBY, LOUNGE AREAS

INTERIOR CORRIDORS AND CIRCULATION

EXTERIOR CORRIDORS AND CIRCULATION

EGRESS STAIRS AND VESTIBULES

BREAKROOM, CLUBHOUSE ROOM, COMMUNITY ROOM

RESTROOMS

MECHANICAL, PLUMBING, AND TELECOM EQUIPMENT ROOMS GREATER THAN 100 SQUARE FEET

STORAGE ROOMS, BUILDING MAINTENANCE RESTROOMS, JANITOR'S CLOSETS, TRASH ROOM, , PET WASH

MAIL ROOM

ELEVATOR LOBBY

PARKING GARAGE

EXTERIOR LIGHTING

ON/OFF CONTROL

ON/OFF CONTROL

ON/OFF CONTROL

ON/OFF CONTROL

ON/OFF CONTROL

ON/OFF CONTROL

MULTI-LEVEL CONTROLS

YES, ANY FIXTURE > 40W

YES, IF LPD IS GREATER THAN 0.5 W/SF

YES, ANY FIXTURE > 40W

SHUT-OFF CONTROLS

OCCUPANCY SENSOR

	Living Rooms, Bedrooms				9000101					
L2	JA8 CERTIFIED LED WALL-MOUNTED LINEAR VANITY SCONCE Bathrooms	ELITE LIGHTING 2-OC1-LED-3000L-DIMMING 120-30K-90-EMERGENCY WIRING	L: 2'-0" H: 4.49" D: 3.74"	23	LED, 3000K, 3000LM	INTEGRAL DIMMABLE LED DRIVER	120V	WHITE	SURFACE - WALL	
L3	JA8 CERTIFIED LED SURFACE-MOUNT WITH FROSTED DIFFUSER Closets	ELITE LIGHTING RL991-1200L-DIMTR-120-30K-90-WH	DIA: 9" H: 5/8"	18	LED, 3000K, 1200LM	INTEGRAL DIMMABLE TRIAC/120V LED DRIVER	120V	WHITE	SURFACE - CEILING	
L4	LED RECESSED DOWNLIGHT Cooridors	ELITE LIGHTING REL437-1100L-DIMTR-30K-W-WH REL437-RT-CL-WH	DIA: 5"	14	LED, 3000K, 1100LM	INTEGRAL DIMMABLE TRIAC/120V LED DRIVER	120V	WHITE	RECESSED - CEILING	
L5	WITH FROSTED DIFFUSER	FINELITE HP-2-SM-D-LENGTH-S-930-F-96LG-277-S C1%- MOUNTING-FE-FINISH-EMERGENCY-SEI R-OPTIONS	H: 5"	24 W/FT	LED, 3000K, 335LM/FT	INTEGRAL DIMMABLE LED DRIVER	277V	BY ARCHITECT	SURFACE - CEILING	1. FINISH TO BE DETERMINED I ARCHITECT. DESIGN INTENT IS FIXTURE FINISH TO MATCH CE MATERIAL.
L6	LED LINEAR DIRECT / INDIRECT PENDANT Offices	FINELITE HP-2-P-ID-LENGTH-S-H-930-F F-96LG-277-DC-FC1%-FA50 MOUNTING-FE-SW-EMERGENCY-SENSC PTIONS	W: 2.25" H: 4.75" DR-O L: Refer to lighting layouts	11 W/FT	LED, 3000K, 1008LM/FT	INTEGRAL DIMMABLE LED DRIVER	277V	WHITE	PENDANT	1. MOUNTING HEIGHT TO BE 8' TO BOTTOM OF FIXTURE.
L7	LED SURFACE-MOUNT Bike Storage	ELITE LIGHTING OSS-LED-14-2200L-DIMTR-MVOLT-30K-90 A	0-US W: 14" L: 14"	28	LED, 3000K, 2200LM	INTEGRAL DIMMABLE LED DRIVER	MVOLT	WHITE ACRYLIC LENS	SURFACE - CEILING	
L8	LINEAR LENSED EXTRUTED UNDERCAB LIGHT Community Room	Q TRAN LIGHT ENGINE: SW24/5.0-WET-30-WIR IN-WIRE OUT-WIRE COLOR-WIRE-TYPE-LENGTH EXTRUSION: WIDE-FINISH-PL-FR-TYPE-LENGTH	W: .90" H: .34" L: Refer to lighting layouts	5W/FT	LED, 3000K 367LM/FT	REMOTE DIMMABLE LED DRIVER	277V	BY ARCHITECT	SURFACE	1. FIXTURE TO BE MOUNTED OF UNDERSIDE OF TOP CABINET ILLUMINATE THE COUNTER 2. FINISH TO BE DETERMINED ARCHITECT. DESIGN INTENT INTENTION OF THE PROPERTY OF T
L9	2X2 RECESSED TROFFER W/     ANGLED SIDES     Copy/Storage Rooms	FINELITE HPR LED-A-2x2-DC0-S-830 277V-SC-CEILING-SENSORS	W: 2' H: 4" L: 2'	28.5W	LED, 3000K 3346LM	INTEGRAL DIMMABLE LED DRIVER	277V	WHITE	RECESSED	
L10	2X4 RECESSED TROFFER W/     ANGLED SIDES     Break Room	FINELITE HPR LED-A-1x4-DC0-S-830 277V-SC-CEILING-SENSORS	W: 1' H: 4" L: 4'	28.5W	LED, 3000K 3052LM	INTEGRAL DIMMABLE LED DRIVER	277V	WHITE	RECESSED	
L11	RECTANGULAR RESIN COATED, VANDAL RESISTANT WALL SCONCE Unit Corridors	ALVA LIGHT AU-R15W-30-9-RE7W12H-FINISH-SL	W: 7" H: 12" D: 4"	15W	LED, 3000K, 1025LM	INTEGRAL DIMMABLE LED ELV DRIVER	277V	BY ARCHITECT	SURFACE - WALL	1. FIXTURE MOUNTING HEIGH 6'-8" TO BOTTOMF OF FIXTURI FINAL MOUNTING HEIGHT TO DETERMINED BY ARCHITECT. 2. DESIGN INTENT IS FOR FIXT BE LOCATED BY SIDE OF OPE DOOR. 3. FINISH TO BE DETERMINED ARCHITECT.
P1	MOUNTING POLE FOR FESTOON LIGHTING, FIXTURE TYPE S4 Level 2 Outdoor Courtyard	VALMONT ROUND TAPERED POLE DS200-DESIGNATION-MOUNTING-FPBV- FBC-ANCHOR BOLTS	-BK- H: 12'-0"	N/A	N/A	N/A	N/A	BLACK	N/A	
<b>S1</b>	EXTERIOR LED SURFACE-MOUNTED DOWNLIGHT Exterior Cooridoors, Exterior Soffits	BEGA 66979-K3-BLK	DIA: 7.5" H: 6.125"	19	LED, 3000K, 1800LM	INTEGRAL DIMMABLE LED DRIVER TBD	277V	BLACK	SURFACE - CEILING	
S2A	EXTERIOR SURFACE-MOUNTED ADJUSTABLE CYLINDER WITH LOCKABLE AIMING Community Garden	BK LIGHTING DE-LED-TR-x99-WFL-BLW-12-11-B-CONT S-120	ROL DIA: 3" H: 8"	13	LED, 3000K, 823LM	INTEGRAL DIMMABLE LED DRIVER TBD	120V	BLACK WRINKLE	SURFACE - TRELLIS	

LAMP SOURCE (Type, CCT,

**Delivered Lumens)** 

LED, 3000K, 900LM

INTEGRAL DIMMABLE LED

DRIVER

INPUT VOLTAGE FINISH

120V

OPAL WHITE

INPUT WATTS

DIA: 11" H: 3"

PRODUCT DESCRIPTION

JA8 CERTIFIED LED SURFACE-MOUNT WITH FROSTED

DIFFUSER

Living Rooms, Bedrooms

BASIS OF DESIGN MANUFACTURER

ELITE LIGHTING ECH-CL-LED-1006-3000K

BACK OF HOUSE LUMINAIRE SCHEDULE										
TAG	DESCRIPTION	INPUT WATTS	LAMP SOURCE	DRIVER	VOLTAGE	MANUFACTURER AND MODEL NUMBER	ALTERNATE MANUFACTURERS	LOCATION		
B1	4' SURFACE MOUNTED LINEAR LED FIXTURE WITH POLYCARBONATE LENS AND STEEL HOUSING WITH WHITE FINISH	48W	LED, 4438 LUMENS 82 CRI, 3500K CCT	INTEGRAL 0-10V DIMMING	277V	KENALL, ROUGH-HOUSE RHL7 SERIES	WILLIAMS, DAYBRITE	STORAGE ROOMS, CUSTODIAN ROOMS, JANITOR'S CLOSETS		
B2	4' SURFACE MOUNTED LINEAR LED FIXTURE WITH POLYCARBONATE LENS AND STEEL HOUSING WITH WHITE FINISH, UL LISTED FOR WET LOCATION	40W	LED, 4700 LUMENS, 82 CRI, 3500K CCT	INTEGRAL 0-10V DIMMING	277V	H.E. WILLIAMS, FULLY ENCLOSED & GASKETED INDUSTRIAL 96 SERIES	KENALL, DAYBRITE	ELEVATOR PITS, TOP OF SHAFTS		
В3	4' SURFACE MOUNTED, LOW PROFILE, LINEAR LED STRIP LIGHT WITH WIREGUARD PROVIDE EMERGENCY BACK-UP LED BATTERY WHERE INDICATED WITH A DRAWING NOTE.	44W	LED, 5500 LUMENS, 80 CRI, 3500K CCT	INTEGRAL 0-10V DIMMING	277V	H.E. WILLIAMS, NARROW LED STRIP 75R SERIES	DAYBRITE, KENALL	MECHANICAL ROOMS, ELECTRICAL ROOMS, TELECOM ROOMS, EQUIPMENT ROOMS		
B4	SURFACE MOUNTED LENSED LED FIXTURE WITH INTEGRAL OCCUPANCY SENSOR AND BI-LEVEL OPERATION SUITABLE FOR WALL OR CEILING MOUNTING.	40W	LED, 4000 LUMENS, 80 CRI, 3500K CCT	INTEGRAL 0-10V DIMMING	277V	H.E. WILLIAMS, SURFACE OR WALL MOUNT LIGHT SLF SERIES	DAYBRITE, KENALL	STAIRWELLS, VESTIBULES AND BOH CORRIDORS		
B5	SURFACE MOUNTED LED WALL PACK FIXTURE. UL LISTED FOR WET LOCATIONS. DIE-CAST ALUMINUM HOUSING WITH STAINLESS STEAL HARDWARE, TEMPERED FLAT GLASS LENS AND SILICON GASKETS. PROVIDE LOCAL OCCUPANCY SENSOR WITH FIXTURE. PROVIDE EMERGENCY BACK-UP LED BATTERY WHERE REQUIRED.	36W	LED, 3000 LUMENS, 70 CRI, 4000K CCT	INTEGRAL 0-10V DIMMING	120V	H.E. WILLIAMS, VOLTAIRE ARCHITECTURAL WALL PACK VWP SERIES	GARDCO, LEOTEK	ROOF MECHANICAL AREA		
В6	LED WALL/CEILING MOUNTED GASKETED LENSED FIXTURE, WET LOCATION. PROVIDE EMERGENCY BATTERY PACK WHERE INDICATED.	49W	LED, 4758 LUMENS, 82 CRI, 3500K CCT	INTEGRAL 0-10V DIMMING	277V	KENALL MLHA8-48-F-FINISH-PP- 45L35K-DCC-DV-LEL	BEGA	EQUIPMENT ROOMS (WET LOCATION, PLENUM)		
B7	NOT USED									
B8	SURFACE MOUNTED LED LUMINAIRE WITH INTEGRAL OCCUPANCY SENSOR	60	LED, 3500K	INTEGRAL 0-10V DIMMING	277V	ORACLE-ELITE LIGHTING 4-OW1IP-LED-6000L-DIM10-MVOLT-40K-85		PARKING GARAGE		
х	UNIVERSAL MOUNTED THIN PROFILE GREEN LED EDGE LIT EXIT SIGN. COORDINATE MOUNTING HEIGHT WITH ARCH. DWGS. BRUSHED ALUMINUM HOUSING.	<5W	GREEN LED		277V	H.E. WILLIAMS, EDGE-LIT LED EXIT SIGN	EMERGILITE, EVENLITE			
X1	LED POLYCARBONATE EXIT SIGN; CONTRACTOR TO COORDINATE DIRECTIONAL INDICATOR REQUIREMENTS BASED ON ELECTRICAL DRAWINGS. GREEN LETTERS, WHITE FINISH. DAMP LOCATION LISTED.	2W	GREEN LED		277V	EVENLITE TELESIS SERIES COMMERCIAL GRADE LED EXIT SIGNS	EMERGILITE, CHLORIDE			
X2	LED WET LISTED EXIT SIGN, CAST ALUMINUM OR STAINLESS STEEL SURFACE, CONTRACTOR TO COORDINATE DIRECTIONAL INDICATOR OR REQUIREMENTS BASED ON REQUIREMENT. GREEN LETTERS, ALUMINUM OR BLACK FINISH.	<5W	GREEN LED		277V	EVENLITE SENTRY CDW SERIES LED EXIT SIGNS	EMERGILITE, CHLORIDE			

Attachment 1 Page 33 of 34

FORA

650 CASTRO STREET,
SUITE 120 #490
MOUNTAIN VIEW, CA 94041
PHONE: 408.295.2210
WWW.ARCHITECTSFORA.COM



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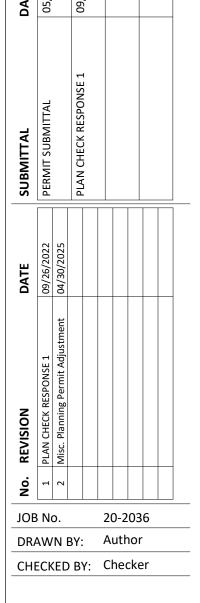
DEVELOPMENT FOR:
FIRST COMMUNITY HOUSING
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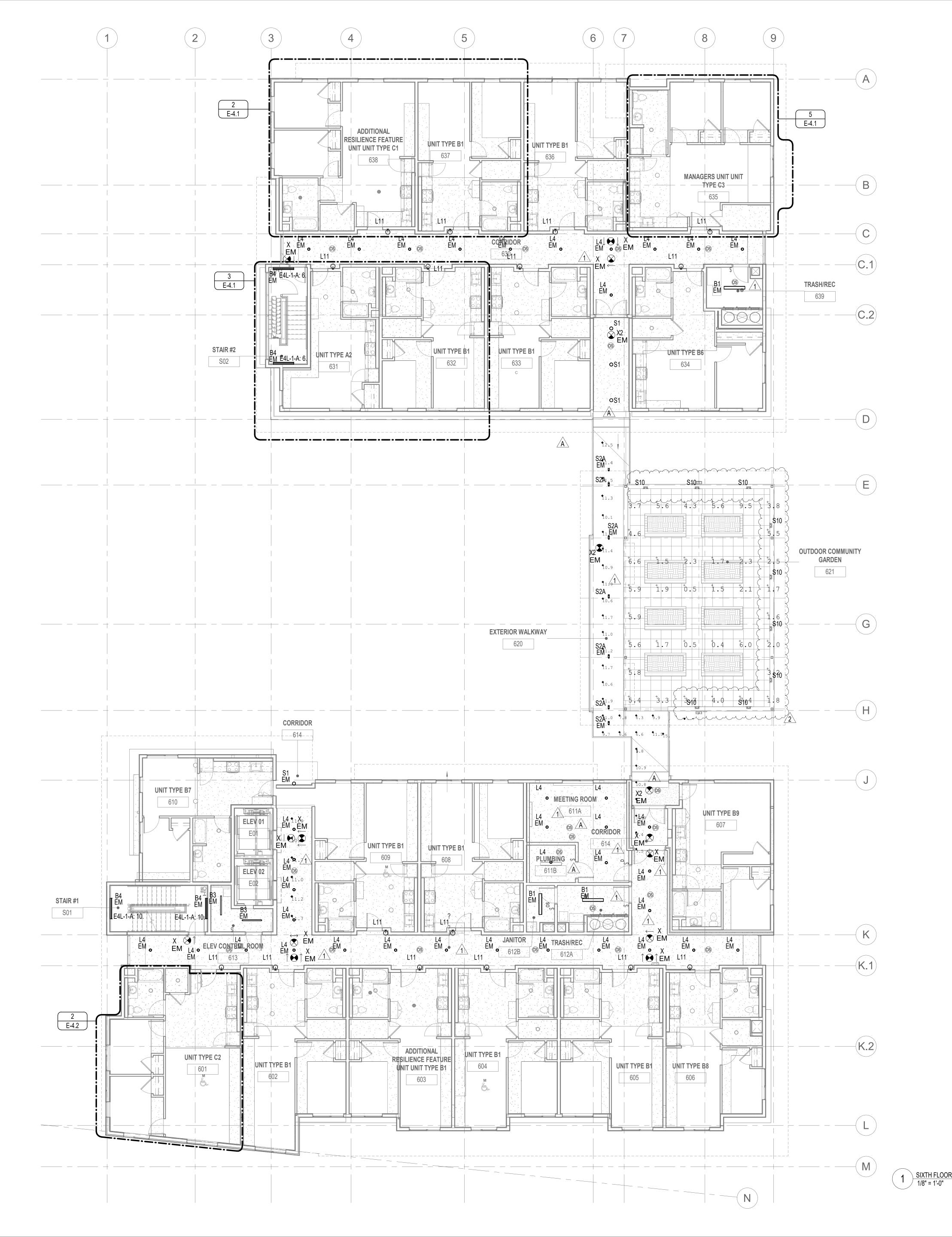
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SECOND
FLOOR PLAN
- LIGHTING
PHOTOMETRICS

E-0.11



### **GENERAL NOTES:**

- A. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLANS FOR LUMINAIRE LOCATIONS AND MOUNTING HEIGHTS. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR EXACT LOCATION AND MOUNTING HEIGHTS OF LUMINAIRES AND SWITCHES.
- B. REFER TO DRAWING E-0.2 FOR LUMINAIRE SCHEDULE.
- C. REFER TO THE LIGHTING CONTROL SEQUENCE OF OPERATIONS FOR CONTROL REQUIREMENTS.
- D. COORDINATE LIGHTING IN BACK-OF-HOUSE SPACES AND EQUIPMENT ROOMS WITH EQUIPMENT, PIPING, AND OTHER DISCIPLINES PRIOR TO ROUGH-IN. PROVIDE CHAIN OR PENDANT SUPPORT TO PROVIDE UNOBSTRUCTED ILLUMINATION.
- CIRCUIT ALL NORMAL POWER LIGHTING TO PANEL 4L-5-A, UNLESS OTHERWISE NOTED. CIRCUIT ALL EMERGENCY POWER LIGHTING TO PANEL E4L-4-A, UNLESS OTHERWISE NOTED.
- F. PROVIDE FIRESTOPPING AT ALL PENETRATIONS THROUGH RATED STAIR ENCLOSURES, RATED EGRESS CORRIDORS, RATED SHAFTS, FLOOR AND CEILING ASSEMBLIES.
- G. REFER TO TYPICAL UNIT PLANS FOR LIGHTING INFORMATION.
- H. A TOTAL OF 14 PERMANENT SUPPORTIVE HOUSING UNITS SHALL BE PROVIDED FOR THE PROJECT. LOCATION AND REQUIREMENT OF UNITS TBD AND SHALL BE COORDINATED.
- I. CIRCUIT ALL NORMAL POWER LIGHT FIXTURES TO 4L-5-A:5, UNLESS OTHERWISE
- J. CIRCUIT ALL EMERGENCY POWER LIGHT FIXTURES TO E4L-4-A:6, UNLESS OTHERWISE NOTED.

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PHONE: 408.295.2210

MOUNTAIN VIEW, CA 94041

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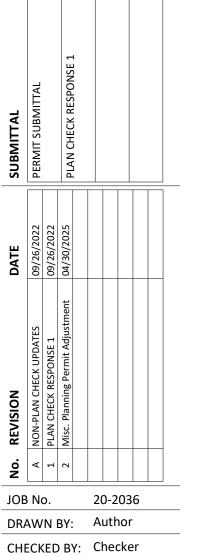
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SIXTH FLOOR PLAN -LIGHTING