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| | |
|---------------|-------------|
| JOB NAME | DALLA BETTA |
| JOB NO. | 190204 |
| DATE | 02/27/19 |
| DRAWN | DW AW |
| REVISION DATE | BY |

ANOTHER SUCCESSFUL PROJECT BY:

ORCHARD HOME DESIGN
REMODELING DESIGN PROFESSIONALS, INC.
WWW.ORCHARDHD.COM (408) 370-3366
80 GILMAN AVE. #29 CAMPBELL, CALIFORNIA 95008

SHEET # 1
PROJECT DATE 02/27/19
SCOPE OF WORK

REMODEL TO:
THE DALLA BETTA RESIDENCE
814 SELKIRK PLACE
SUNNYVALS, CALIFORNIA 94087
(605) 619-2658

SHEET
1
OF X SHEETS

| RESIDENTIAL PROJECT DATA | | | |
|-----------------------------|--------------------|-------------------------|--------------------|
| GENERAL PLAN CATEGORY | EXISTING CONDITION | PROPOSED PROJECT | PROPOSED |
| ZONING DISTRICT | R-O | - | NEW ADU |
| LOT SIZE | 8552.74 | 8552.74 | |
| GROSS FLOOR AREA | 2398 SQ.FT. | 3548 SQ.FT. | 3848.73 SQ.FT. |
| HEATED FLOOR AREA | 1958 SQ.FT. | 2123 SQ.FT. | ADU:999 SQ.FT. |
| PORCH | 167 SQ.FT. | 167+20 SQ.FT. | 56 SQ.FT. |
| GARAGE | 440 SQ.FT. | 440 SQ.FT. | NONE |
| HEATED AREA TO BE REMOVED | - | -(357 SQ.FT.) | -(342 SQ.FT.) |
| HEATED AREA TO BE ADDED | - | 522 SQ.FT. | 999 SQ.FT. |
| NET INCREASE | | 165 SQ.FT. | 657 SQ.FT. |
| FLOOR AREA RATIO | .2830 | .3816 | .45 MAX |
| LOT COVERAGE w/ PORCHES | 2565 = 29.99% | 2370 = 27.71% | 3445 OR 40.27% |
| NEW ATTACHED ADU | N/A | N/A | 999 SQ.FT. |
| BUILDING HEIGHT | 17'-8" VS 30' MAX. | SAME | 15'-5" |
| FRONT SETBACK | 18'-6"@ GARAGE | 20'-9" MAIN / 4'-9" ADU | 20'-0" ALLOWED |
| INTERIOR SIDE SETBACK | 20'-5" | 4'-9" 4'-5" | 4'-0" ALLOWED |
| EXT (STREET) SIDE SETBACK | 14'-4" | 14'-4" 9'-2" | 9'-0" ALLOWED |
| REAR SETBACK | 10'-3" | 23'-3" 5'-8" | 10'-0" PROVISIONAL |
| TOTAL # OF PARKING SPACES | 4 | 4 | N/A |
| IMPERVIOUS SURFACE AREA | | | |

SCOPE OF WORK

ADD 657 SQ.FT. FLOOR AREA AND RE-BUILD 342 SQ. FT. OF PRIOR HEATED FLOOR AREA FOR 999 SQ. FT. ONE STORY - 2 BEDROOM, 2 BATH ATTACHED ADU

REBUILD 15 SQ.FT. AND ADD 507 SQ.FT ADDITION FOR NEW MASTER BEDROOM TO TO 1 STORY SINGLE FAMILY RESIDENCE.

ALL NEW WINDOWS TO BE "MILGARD" DUAL GLAZED UNITS WITH VINYL FRAME OR EQUAL. ALL NEW WEST FACING WINDOWS SHALL BE "LOW E".

ALL NEW SQUARE SKYLIGHTS SHALL BE: FLAT, TEMPERED, DUAL GLAZE BRONZE ANODIZED ALUMINUM FRAME UNITS AS MANUFAC. BY "VELUX" (OR EQUAL). ALL NEW TUBE SKYLIGHTS SHALL BE TLR MODEL "SUN TUNNEL" UNITS AS MANUFAC. BY "VELUX" (OR EQUAL). I.A.M.F.O. #ER-0019.

ALL NEW EXTERIOR TRIM AND FINISH TO MATCH EXISTING.

WALL LEGEND

| | |
|--|-----------------------------------|
| | EXISTING WALLS TO REMAIN |
| | EXISTING WALLS TO BE REMOVED |
| | NEW WALLS / PROPOSED CONSTRUCTION |

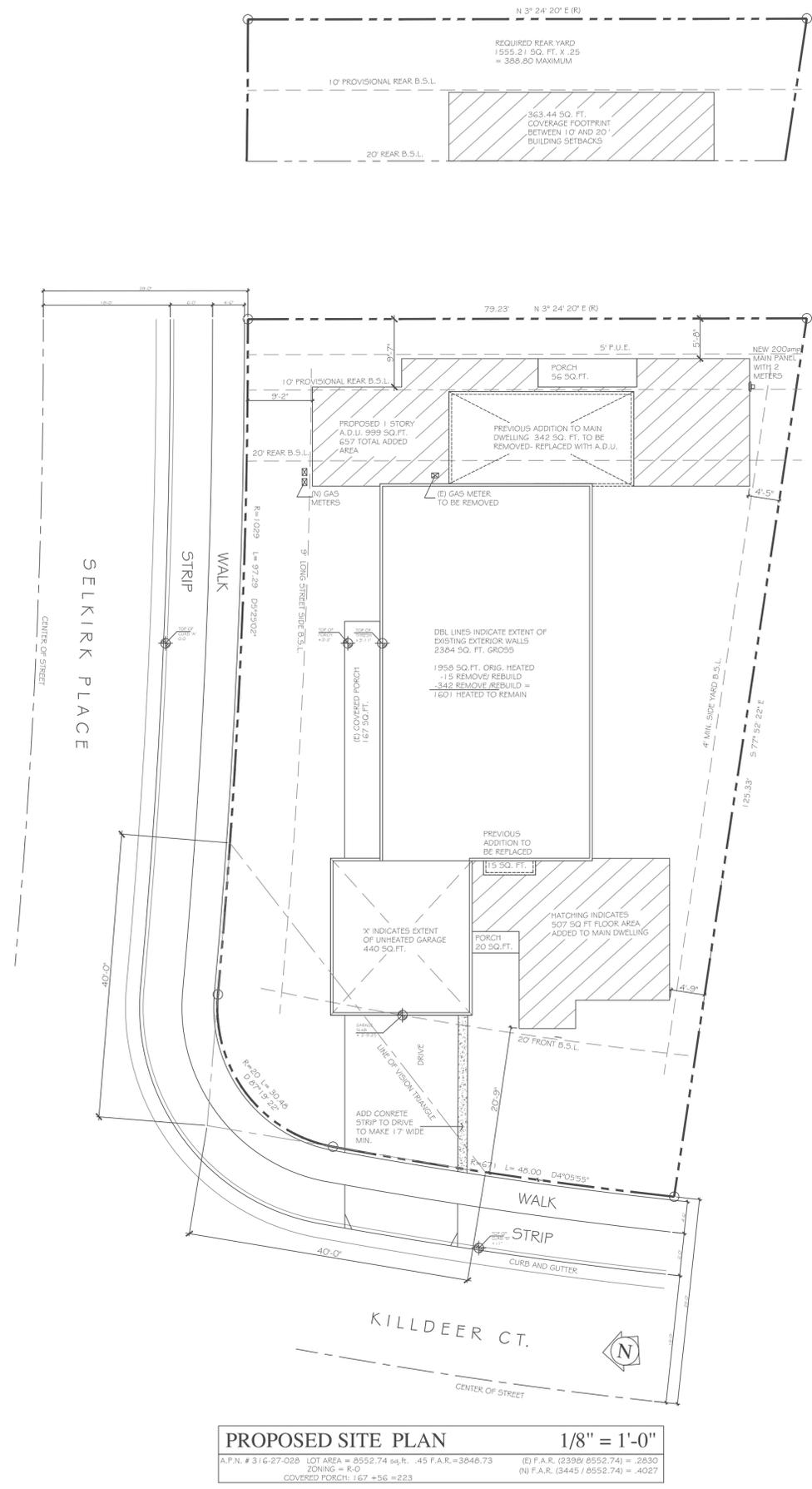
DEMOLITION NOTES:

DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY. CONTRACTORS SHALL COORDINATE DEMOLITION CAREFULLY WITH FLOOR PLAN AND OTHER SHEETS WHICH INDICATE THE EXTENT AND NATURE OF THE NEW CONSTRUCTION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE DESIGNER. CONTRACTOR SHALL SECURELY SHORE IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVING ANY SUPPORTING STRUCTURES

SHEET INDEX

| SHEET # | DRAWING TITLE |
|---------|---------------------------------------|
| 1 | SITE PLAN RESIDENTIAL PROJECT DATA |
| 2 | EXISTING FLOOR PLAN / DEMOLITION PLAN |
| 3 | PROPOSED FLOOR PLAN |
| 4 | ROOF PLAN |
| 5 | EXISTING EXTERIOR ELEVATIONS |
| 6 | PROPOSED EXTERIOR ELEVATIONS |
| 7 | CONSTRUCTION SECTIONS |

conditions of approval



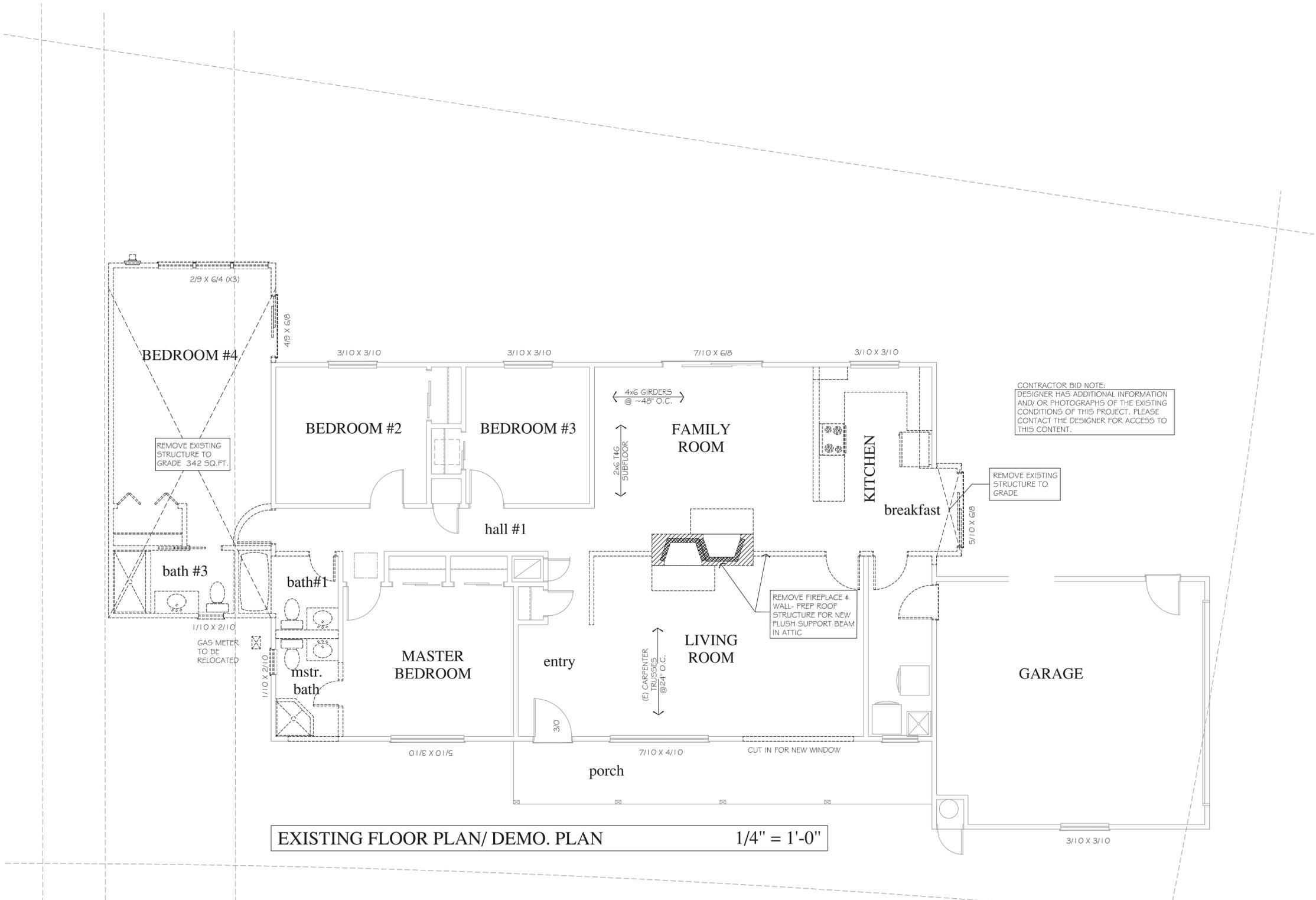


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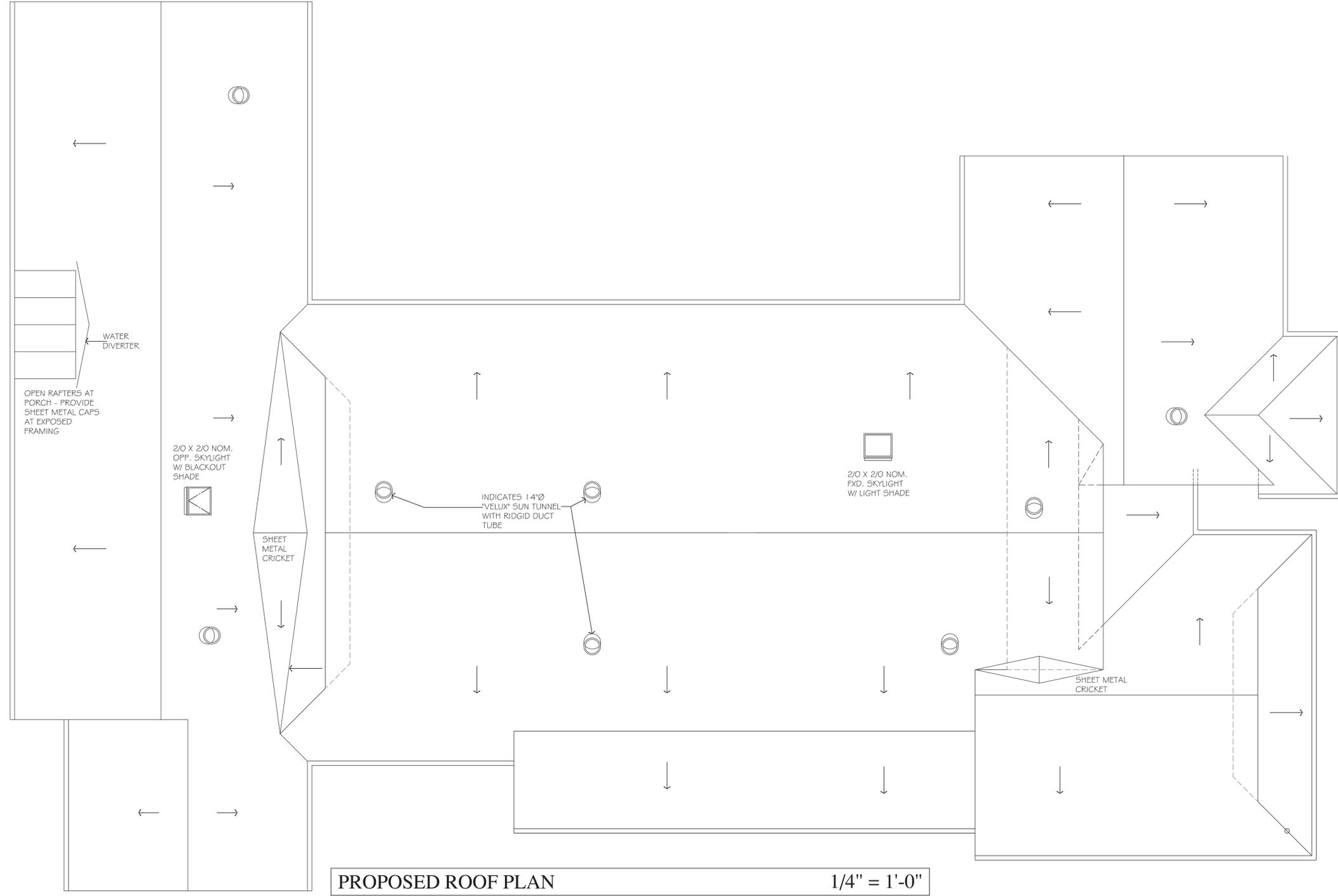


CONTRACTOR BID NOTE:
 DESIGNER HAS ADDITIONAL INFORMATION AND/OR PHOTOGRAPHS OF THE EXISTING CONDITIONS OF THIS PROJECT. PLEASE CONTACT THE DESIGNER FOR ACCESS TO THIS CONTENT.

**EXISTING FLOOR PLAN/
 DEMOLITION PLAN**

REMODEL TO:
THE DALLA BETTA RESIDENCE
 814 SELKIRK PLACE
 SUNNYVALES, CALIFORNIA 94087
 (605) 619-2658

EXISTING FLOOR PLAN/ DEMO. PLAN 1/4" = 1'-0"



PROPOSED ROOF PLAN 1/4" = 1'-0"

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ROOF PLAN

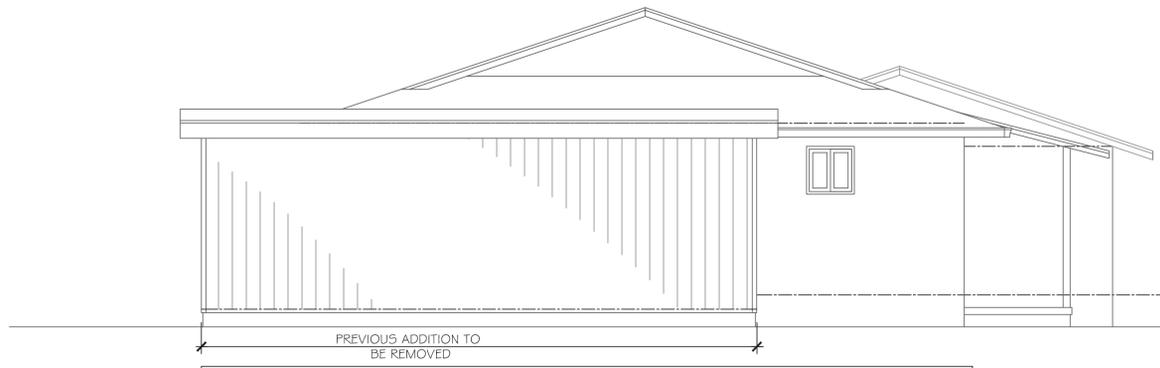
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SHEET
4
 OF X SHEETS

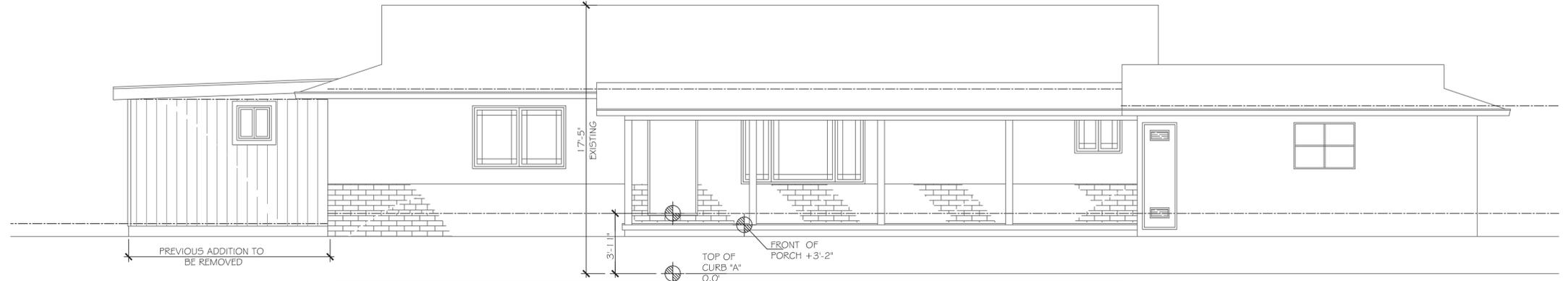
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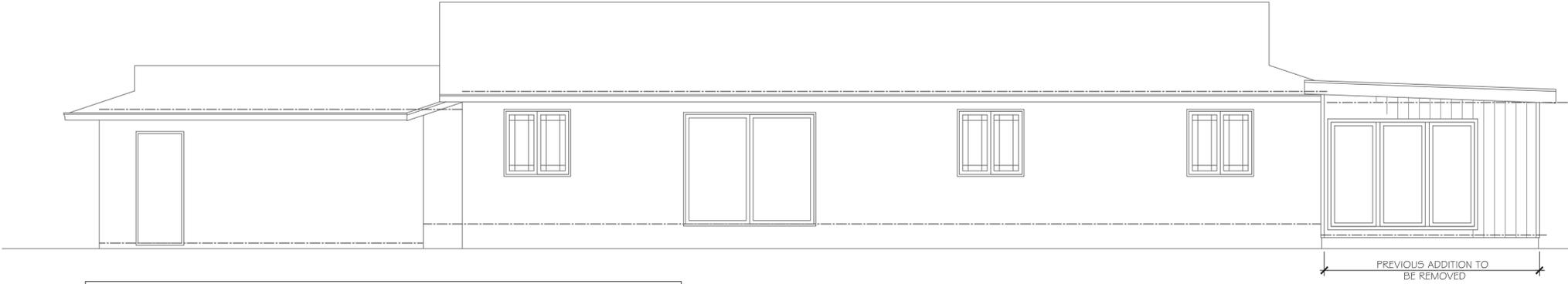




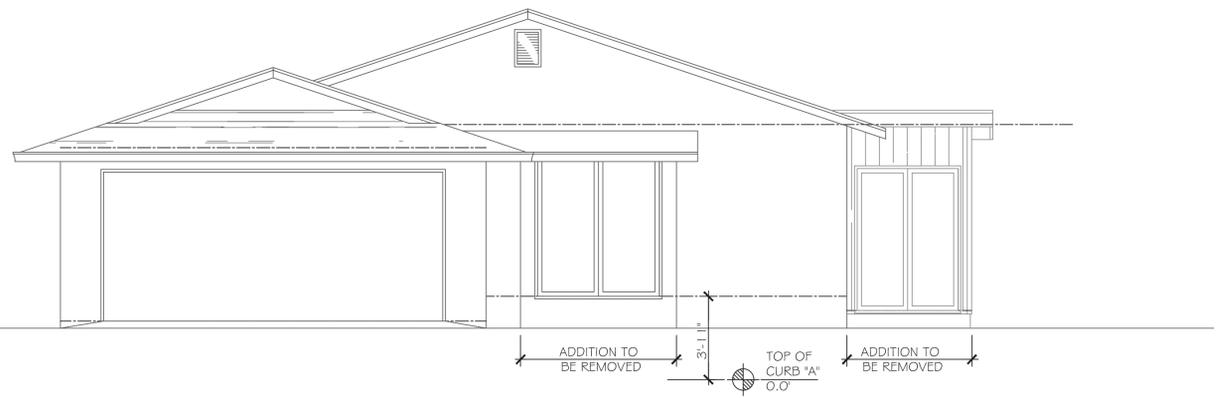
(E) REAR ELEVATION 1/4"=1'-0"



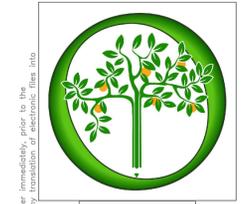
(E) LEFT SIDE ELEVATION (Selkirk) 1/4"=1'-0"



(E)RIGHT SIDE ELEVATION 1/4"=1'-0"



(E) FRONT ELEVATION (Killdeer) 1/4"=1'-0"



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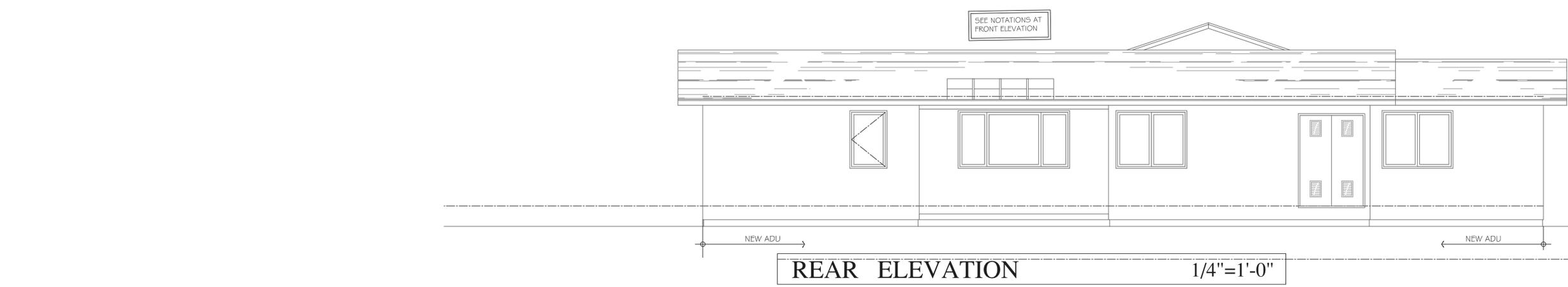
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EXISTING ELEVATIONS

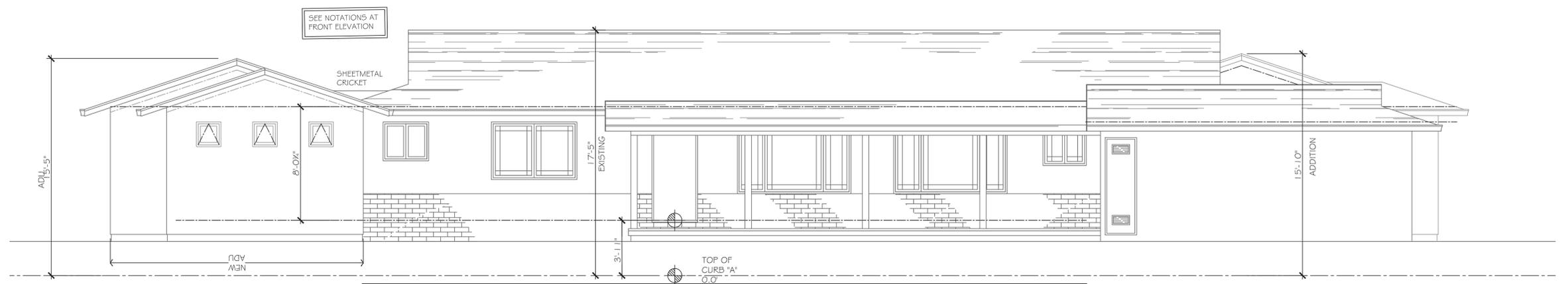
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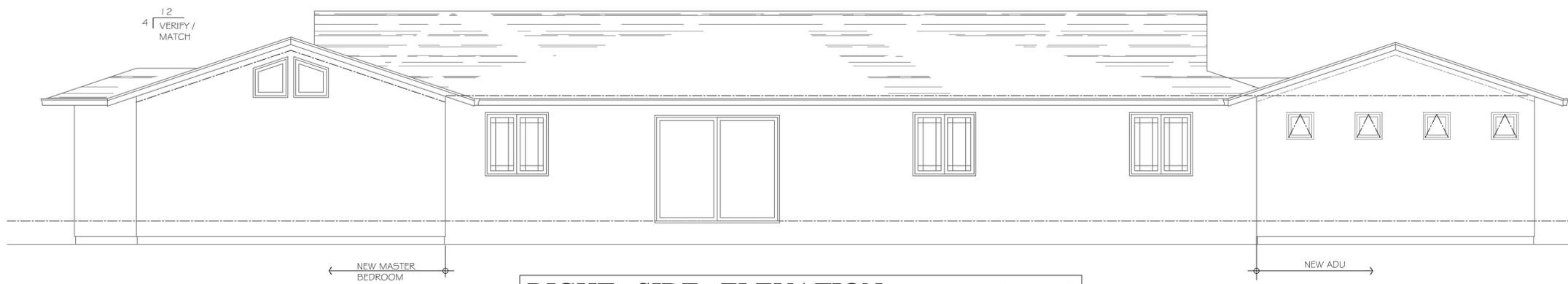
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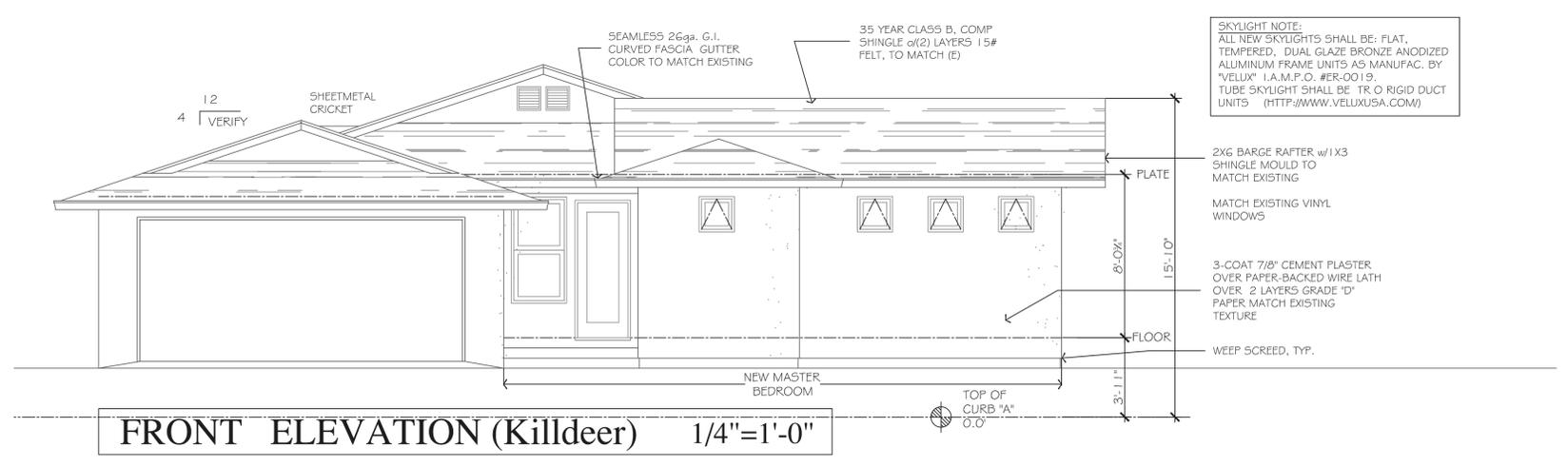
REAR ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION (Selkirk) 1/4"=1'-0"



RIGHT SIDE ELEVATION 1/4"=1'-0"



FRONT ELEVATION (Kildeer) 1/4"=1'-0"

SKYLIGHT NOTE:
ALL NEW SKYLIGHTS SHALL BE: FLAT,
TEMPERED, DUAL GLAZE BRONZE ANODIZED
ALUMINUM FRAME UNITS AS MANUFAC. BY
"VELUX" I.A.M.P.O. #ER-0019.
TUBE SKYLIGHT SHALL BE TR-O RIGID DUCT
UNITS (HTTP://WWW.VELUXUSA.COM)

2X6 BARGE RAFTER w/1X3
SHINGLE MOULD TO
MATCH EXISTING
MATCH EXISTING VINYL
WINDOWS
3-COAT 7/8" CEMENT PLASTER
OVER PAPER-BACKED WIRE LATH
OVER 2 LAYERS GRADE "D"
PAPER MATCH EXISTING
TEXTURE
WEEP SCREED, TYP.



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PROPOSED ELEVATIONS

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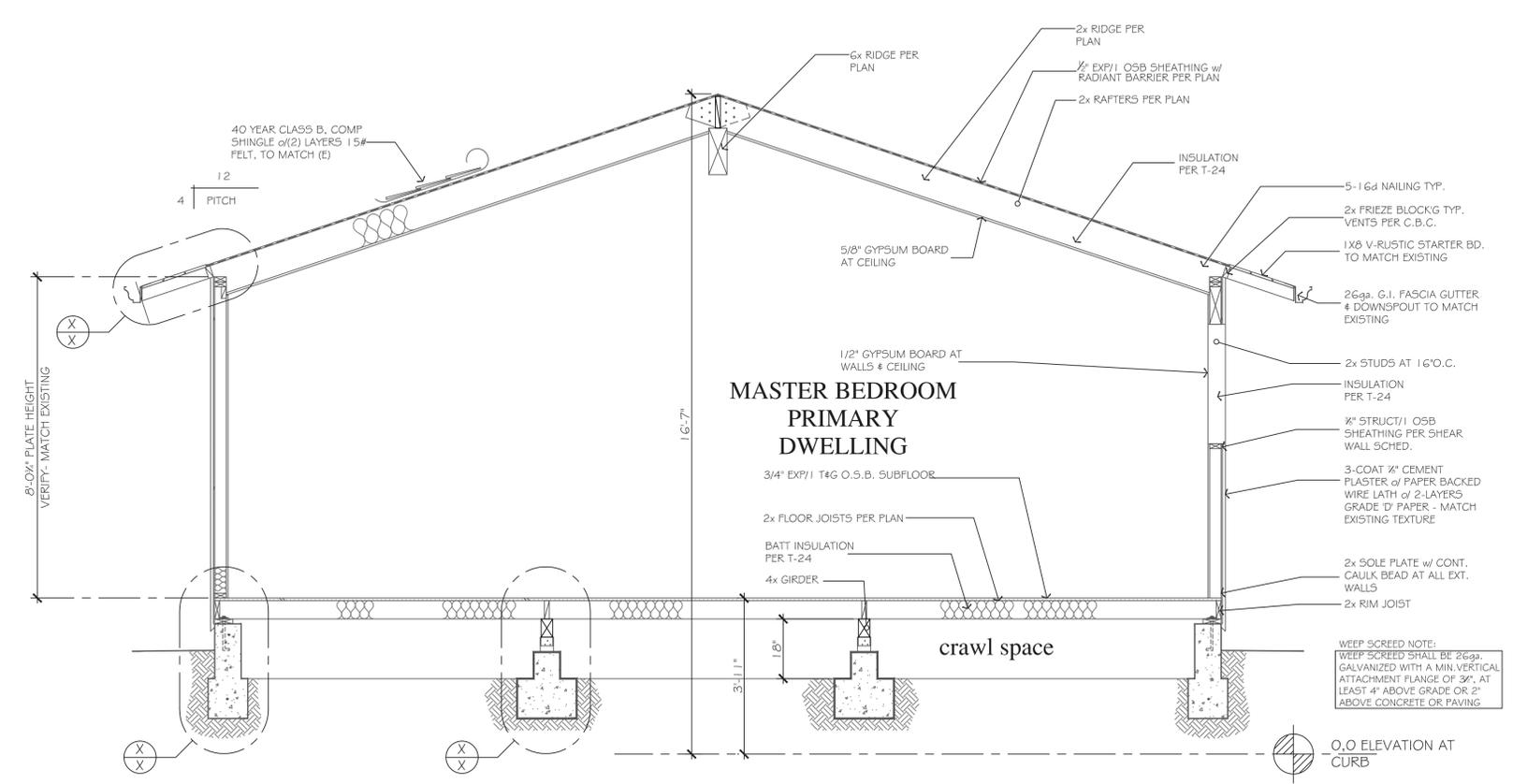
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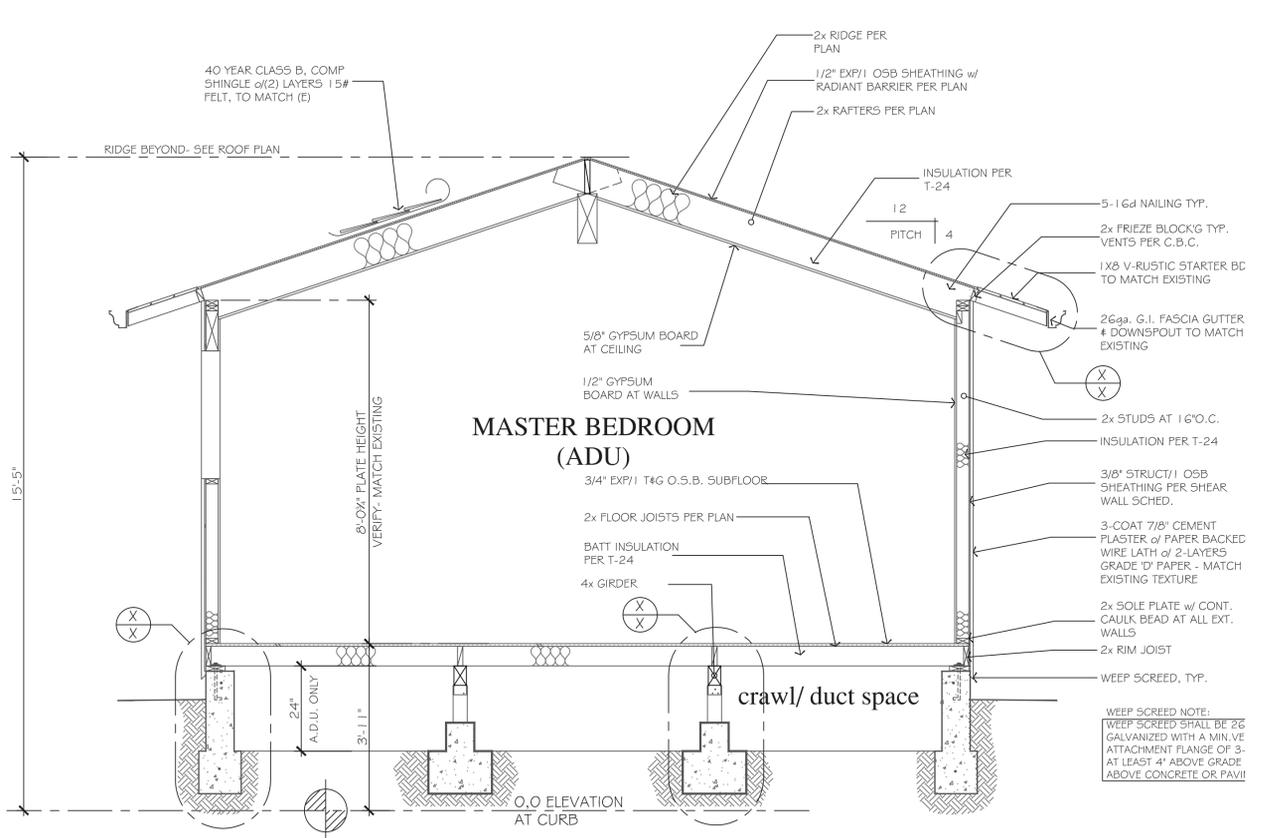
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CONSTRUCTION SECTION 1/2"=1'-0"



CONSTRUCTION SECTION @ ADU 1/2"=1'-0"

SECTIONS

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