

1171 SONORA COURT PLANNING SUBMITTAL #5

07.10.2025



PROJECT DESCRIPTION

THE 1171 SONORA COURT PROJECT AIMS TO ENHANCE THE COMMUNITY BY CREATING A TRANSIT-ORIENTED AND SUSTAINABLE DEVELOPMENT WITHIN THE LAWRENCE STATION AREA PLAN IN SUNNYVALE, CALIFORNIA. THE PROPOSED 7-STORY BUILDING WILL CONSIST OF 5 STORIES OF WOOD FRAMING ABOVE A 2-STORY CONCRETE PODIUM, OFFERING A TOTAL OF 172 UNITS, INCLUDING 170 AFFORDABLE RENTAL UNITS AND TWO ON-SITE MANAGER UNITS.

TO PROMOTE WALKABILITY AND ACTIVATE THE STREET, RESIDENTIAL LOBBIES, MANAGEMENT AND SERVICE OFFICES, AND BIKE KITCHEN WILL BE LOCATED AT THE STREET LEVEL. THE DESIGN PRESERVES EXISTING EVERGREEN TREES TO MAINTAIN THE SITE'S UNIQUE CHARACTER, AND AMENITIES SUCH AS A PEDESTRIAN PLAZA AND PODIUM COURTYARD WILL BE AVAILABLE FOR RESIDENTS.

PARKING WILL BE ACCOMMODATED WITH A RATIO OF 0.5 REGULAR CAR PER UNIT, PROVIDING 89 PARKING SPACES IN THE 2-STORY PODIUM GARAGE.

THE PROJECT WILL EXCEED LOCAL DEVELOPMENT LIMITS ON DENSITY UNDER CALIFORNIA STATE DENSITY BONUS LAW AB 1287 WHICH ALLOWS PROJECT WITHIN ONE HALF MILE OF A MAJOR TRANSIT STOP TO EXCEED LOCAL DEVELOPMENT LIMIT ON DENSITY. WITH CONTEMPORARY ARCHITECTURE AND THOUGHTFUL USE OF MATERIALS, THIS DEVELOPMENT SEEKS TO CREATE A VIBRANT SENSE OF COMMUNITY WHILE CONTRIBUTING MUCH-NEEDED AFFORDABLE HOUSING.

PROJECT TEAM

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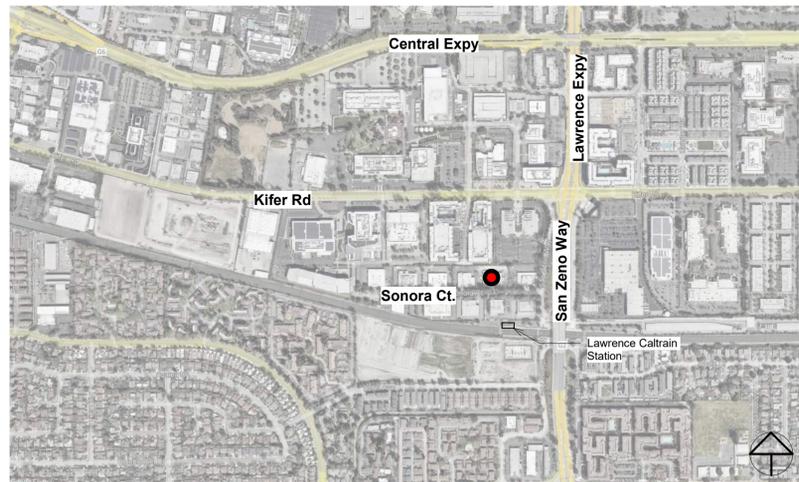
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VICINITY MAP



PROJECT SUMMARY

| Project Information | |
|--------------------------------|-------------------------------------|
| Address | 1171 SONORA CT |
| APN | 205-50-024 |
| Lot Area | 1.3 AC |
| Lot Coverage | 58% |
| Current Use | COMMERCIAL |
| Proposed Use | MULTI-FAMILY RESIDENTIAL |
| Zoning | MXD-1 |
| Proposed Density | 132 DU/AC |
| FAR | 3.54 |
| Occupancy | |
| Residential | R-2 |
| Garage | S-2 |
| Construction Type | |
| R-2 | TYPE IIIA, FULLY SPRINKLERED |
| S-2 | TYPE IA, FULLY SPRINKLERED |
| Building Height | |
| Building CodeE - Type IIIA | 85' to Roof membrane |
| Zoning Allowed | 100' |
| Proposed | 76' to Roof membrane, parapets vary |
| Setback | |
| Front | 25' PROVIDED (N/A REQUIRED) |
| Side | 10' PROVIDED (10' MINIMUM) |
| Rear | 10' PROVIDED (10' MINIMUM) |
| Usable Open Space | |
| Required | 50 SF PER UNIT |
| Provided | 57.05 SF PER UNIT |
| Landscaped Area | |
| Required | 20% OF ENTIRE SITE/ 11,346 SF |
| Provided | 11,576 SF/ 68.09 SF PER UNIT |
| Site Permeability Calculations | |
| Previous Area | 11,576 SF |
| Impervious Area | 45,154 SF |
| Concessions And Waivers | |
| Concessions Requested | 4 |
| Waivers Requested | 2 |

| | |
|--------------------------|----|
| Existing Surface Parking | 42 |
|--------------------------|----|

| Affordable Units | Quan. | Average N.S.F. | Mix | Rentable S.F. | Parking Ratio | Parking Provided |
|-------------------------------|------------|----------------|--------------|----------------|---------------|------------------|
| Unit S1 | 15 | 452 | 8.8% | 6,780 | | |
| Unit S2 | 11 | 400 | 6.5% | 4,393 | | |
| Unit S3 | 1 | 410 | 0.6% | 410 | | |
| Studios Total | 27 | 429 | 15.9% | 11,583 | 0.5 | 13.5 |
| Unit 1A | 6 | 648 | 3.5% | 3,884 | | |
| Unit 1B | 51 | 489 | 30.0% | 24,897 | | |
| 1 BR Units Total | 57 | 505 | 33.5% | 28,781 | 0.5 | 28.5 |
| Unit 2A | 43 | 710 | 25.3% | 30,514 | 0.5 | 21.5 |
| Unit 3A | 43 | 964 | 25.3% | 41,467 | 0.5 | 21.5 |
| Total Affordable Units | 170 | 663 | 100% | 112,345 | 0.5 | 89 |

| Manager's Units | Quan. | Average N.S.F. | Mix | Rentable S.F. | Parking Ratio | Parking Provided |
|----------------------------|----------|----------------|-----|---------------|---------------|------------------|
| 2BR (Unit 2A) | 2 | 721 | | 1442 | 0.5 | 2 |
| Total Manager Units | 2 | | | | | |

| Parking Required | Units | Ratio | Required | Provided |
|----------------------|-------|-------|-----------|-----------|
| Assigned Residential | 170 | 0.5 | 85 | 85 |
| Manager Units | 2 | 0.5 | 1 | 2 |
| Staff Parking | | | | 1 |
| Total | | | 86 | 88 |

| Type | Code Reference | Required | Level 1 | Level 2 | Provided |
|---|--|----------|-----------|---------|-----------|
| Standard | | | | | |
| Standard Stall (8'-6" x 18'-0") w/ Level 1 Receptacle | | | | 8 | 30 |
| EV Ready w/ Level 2 Receptacle (9'-0" x 18'-0") | 40% Total Stalls CalGreen 4.106.4.2.2.1b | | 36 | 36 | 0 |
| Level 2 EVSE Standard Connection (9'-0" x 18'-0") | CalGreen July 2024 Supplemental 4.106.4.2.2.2b | | 7 | 7 | 0 |
| Sub Total | | | | | 81 |
| Accessible | | | | | |
| Standard Accessible (9'-0" x 18'-0") | CBC Table 11b-208.2.3.1 | | 3 | 1 | 2 |
| Van Accessible (9'-0" x 18'-0") | CBC Table 11b-208.2.4 | | 1 | 0 | 1 |
| EVCS Standard Accessible (9'-0" x 18'-0") | CBC Table 11b-208.3.2.1 | | 1 | 1 | 0 |
| EVCS Van Accessible (9'-0" x 18'-0") | CBC Table 11b-208.3.2.1 | | 2* | 1 | 1 |
| Sub Total | | | | | 7 |
| Total | | | 50 | | 88 |

*One EVCS Capable Van Accessible stall for residents and one for staff

| Bike Parking | |
|-----------------------------|-----|
| Total Bike Parking Required | 58 |
| Total Bike Parking Provided | 110 |

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: Planning
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Sunnyvale, California
MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
PROJECT SUMMARY

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

G 1.0



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Sheet Title:
ALLOWABLE AREA & HEIGHT
Job No. 21009
Date: 07/10/2025
Scale: 1" = 40'-0"
Drawn By:

Sheet No:

G 2.0

AREA AND HEIGHT ANALYSIS

CONSTRUCTION TYPE IA
LEVEL 1-2
OCCUPANCY TYPE: S-2, R-2

CONSTRUCTION TYPE IIIA
LEVEL 3-7
OCCUPANCY TYPE: A-3, R-2, B

CBC 504 BUILDING HEIGHT & NUMBER OF STORIES

TYPE IA
TABLE 504.3 HEIGHT UNLIMITED
TABLE 504.4 STORIES UNLIMITED
TABLE 506.2 AREA UNLIMITED

TYPE IIIA
TABLE 504.3 HEIGHT 85 FEET (FULLY SPRINKLERED, WITHOUT AREA INCREASE)
TABLE 504.4 HEIGHT 65 FEET (FULLY SPRINKLERED, WITH AREA INCREASE)
TABLE 506.2 NS 5 (FULLY SPRINKLERED, WITHOUT AREA INCREASE)
TABLE 506.2 SM 24,000 SF
(WITH HEIGHT INCREASE) 24,000SF

Aa = ALLOWABLE AREA (SQUARE FEET)
At = TABULAR ALLOWABLE AREA FACTOR (SEE LEFT)
NS = TABULAR ALLOWABLE AREA FACTOR FOR NONSPRINKLERED BUILDING (SEE LEFT)
If = AREA FACTOR INCREASE DUE TO FRONTAGE
Sa = ACTUAL NUMBER OF BUILDING STORIES ABOVE GRADE PLANE, NOT TO EXCEED TWO FOR R OCCUPANCY
Aa = [At + (NS x If)] x Sa

TYPE IIIA ALLOWABLE AREA (BUILDING B) WITH AREA INCREASE

LEVELS 3-7
HEIGHT: 52'
OCCUPANCY R-2
NFPA 13 SPRINKLERED

IF CALCULATION PER CBC 506.3.1, TO QUALIFY FOR AN AREA FACTOR INCREASE BASED ON FRONTAGE, A BUILDING SHALL HAVE NOT LESS THAN 25 PERCENT OF ITS PERIMETER ON A PUBLIC WAY OR OPEN SPACE. SUCH OPEN SPACE SHALL BE EITHER ON THE SAME LOT OR DEDICATED FOR PUBLIC USE AND SHALL BE ACCESSED FROM A STREET OR APPROVED FIRE LANE.

PER CBC 506.3.2 TO QUALIFY FOR AN AREA FACTOR INCREASE BASED ON FRONTAGE, THE PUBLIC WAY OR OPEN SPACE ADJACENT TO THE BUILDING PERIMETER SHALL HAVE A MINIMUM DISTANCE (W) OF 20 FEET (6096 MM) MEASURED AT RIGHT ANGLES FROM THE BUILDING FACE TO ANY OF THE FOLLOWING:
1. THE CLOSEST INTERIOR LOT LINE.
2. THE ENTIRE WIDTH OF A STREET, ALLEY OR PUBLIC WAY.
3. THE EXTERIOR FACE OF AN ADJACENT BUILDING ON THE SAME PROPERTY.

THE PERIMETER OF BUILDING B IS 646';
25% OF THE PERIMETER IS: 646' x 25% = 161.5'
PROVIDED PERIMETER: 268.5' > 161.5'

PERIMETER ON EAST: 170', BUILDING FACE TO THE CLOSEST INTERIOR LOT LINE: 42'
PERIMETER ON SOUTH: 98.5', BUILDING FACE TO THE ENTIRE WIDTH OF A STREET: 69'
PER TABLE 506.3.3
FRONTAGE INCREASE FACTOR: 0.25

At = 24,000 SF
NS = 24,000 SF
If: 0.25
Sa = 2 (MAXIMUM FOR R OCCUPANCY)
Aa = [24,000 + (24,000 x 0.25)] x 2 = 60,000 SF
TOTAL AREA (BUILDING B) = 54,405 SF BUILDING AREA < ALLOWABLE AREA OF 60,000 SF

TYPE IIIA ALLOWABLE AREA (BUILDING C)

LEVELS 3
OCCUPANCY R-2, A-3, B
SPRINKLERED

R-2: Aa = [24,000 + (24,000 x 0)] = 24,000
A-3: Aa = [14,000 + (14,000 x 0)] = 14,000
B: Aa = [85,500 + (85,500 x 0)] = 85,500

LEVELS 4-7
OCCUPANCY R-2
SPRINKLERED
Aa = [24,000 + (24,000 x 0)] = 24,000

PER CBC 506.2.2, FOR BUILDINGS WITH MORE THAN THREE STORIES ABOVE GRADE PLANE, THE TOTAL BUILDING AREA SHALL BE SUCH THAT THE AGGREGATE SUM OF THE RATIOS OF THE ACTUAL AREA OF EACH STORY DIVIDED BY THE ALLOWABLE AREA OF SUCH STORIES, DETERMINED IN ACCORDANCE WITH EQUATION 5-3 BASED ON THE APPLICABLE PROVISIONS OF SECTION 508.1, MULTISTORY BUILDINGS CONTAINING A, E, H, I, L AND R OCCUPANCIES, HIGH-RISE BUILDINGS, AND OTHER APPLICATIONS LISTED IN SECTION 1.11 REGULATED BY THE OFFICE OF THE STATE FIRE MARSHAL, INCLUDING ANY OTHER ASSOCIATED NON-SEPARATED OCCUPANCIES, SHALL NOT EXCEED TWO.

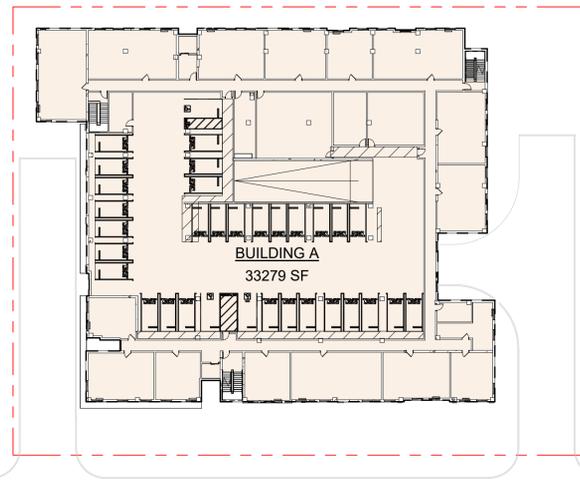
Level 3: 6299 SF/24,000 SF + 865 SF/14,000SF + 422 SF/85,500SF = 0.33
Level 4-7: 7816 SF/24,000 SF = 0.33

Total: 0.33+0.33+0.33+0.33 = 1.65 < 2

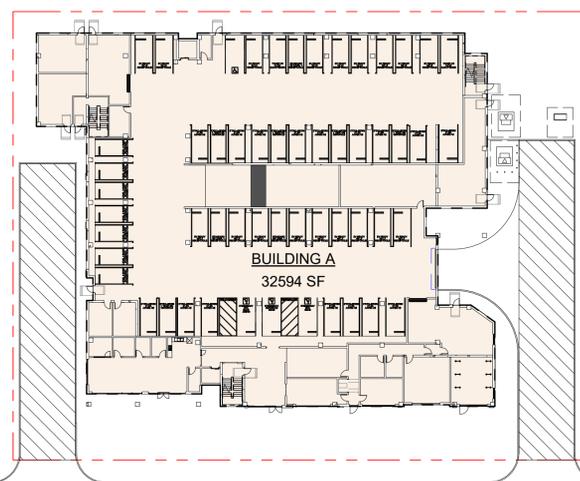
TYPE IIIA ALLOWABLE AREA (BUILDING D)

LEVELS 3-7
OCCUPANCY R-2
SPRINKLERED

At = 24,000 SF
NS = 24,000 SF
If = 0
Sa = 2 (MAXIMUM FOR R OCCUPANCY)
Aa = [24,000 + (24,000 x 0)] x 2 = 48,000 SF
TOTAL AREA (BUILDING D) = 42,576 SF BUILDING AREA < ALLOWABLE AREA OF 48,000 SF



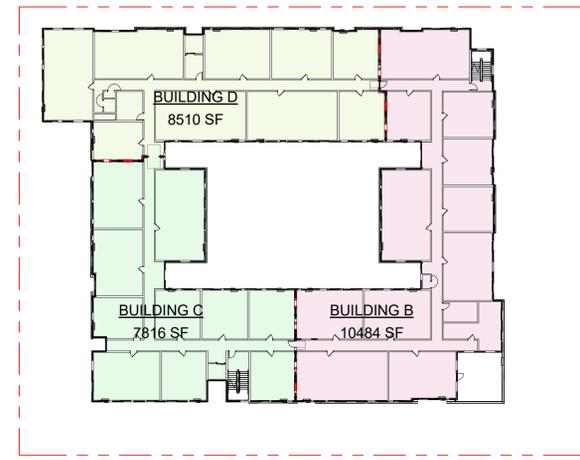
② Level 2
1" = 40'-0"



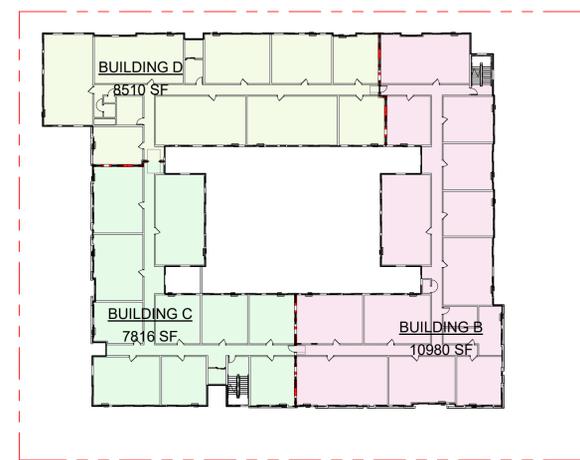
① Level 1
1" = 40'-0"

| ALLOWABLE AREA | | |
|----------------|---------|----------|
| Name | Level | Area |
| BUILDING A | | |
| BUILDING A | Level 1 | 32594 SF |
| BUILDING A | Level 2 | 33279 SF |
| | | 65873 SF |
| BUILDING B | | |
| BUILDING B | Level 3 | 10981 SF |
| BUILDING B | Level 4 | 10980 SF |
| BUILDING B | Level 5 | 10980 SF |
| BUILDING B | Level 6 | 10980 SF |
| BUILDING B | Level 7 | 10484 SF |
| | | 54405 SF |

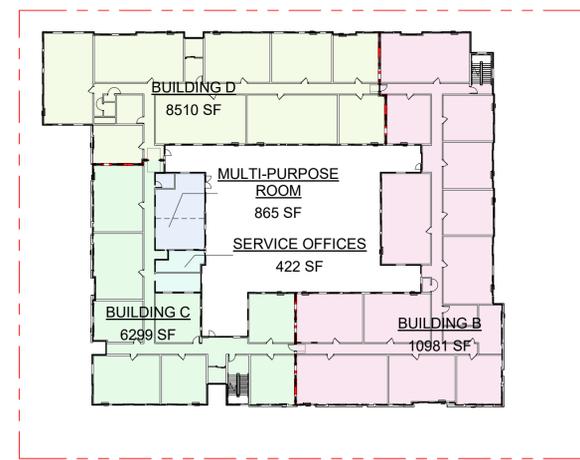
| ALLOWABLE AREA | | |
|--------------------|---------|-----------|
| Name | Level | Area |
| BUILDING C | | |
| BUILDING C | Level 3 | 6299 SF |
| MULTI-PURPOSE ROOM | Level 3 | 865 SF |
| SERVICE OFFICES | Level 3 | 422 SF |
| BUILDING C | Level 4 | 7816 SF |
| BUILDING C | Level 5 | 7816 SF |
| BUILDING C | Level 6 | 7816 SF |
| BUILDING C | Level 7 | 7816 SF |
| | | 38851 SF |
| BUILDING D | | |
| BUILDING D | Level 3 | 8510 SF |
| BUILDING D | Level 4 | 8510 SF |
| BUILDING D | Level 5 | 8510 SF |
| BUILDING D | Level 6 | 8510 SF |
| BUILDING D | Level 7 | 8510 SF |
| | | 42552 SF |
| | | 201680 SF |



⑤ Level 7
1" = 40'-0"



④ Level 4 ((Level 5&6 similar))
1" = 40'-0"



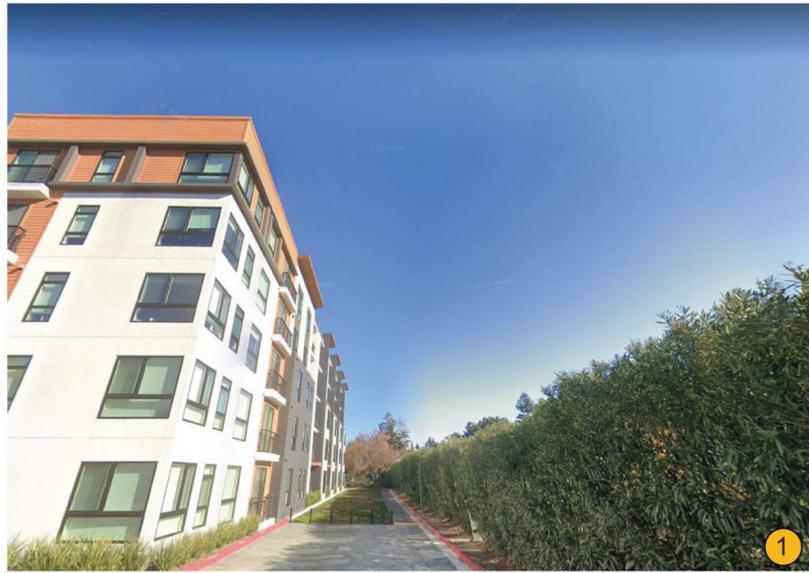
③ Level 3
1" = 40'-0"



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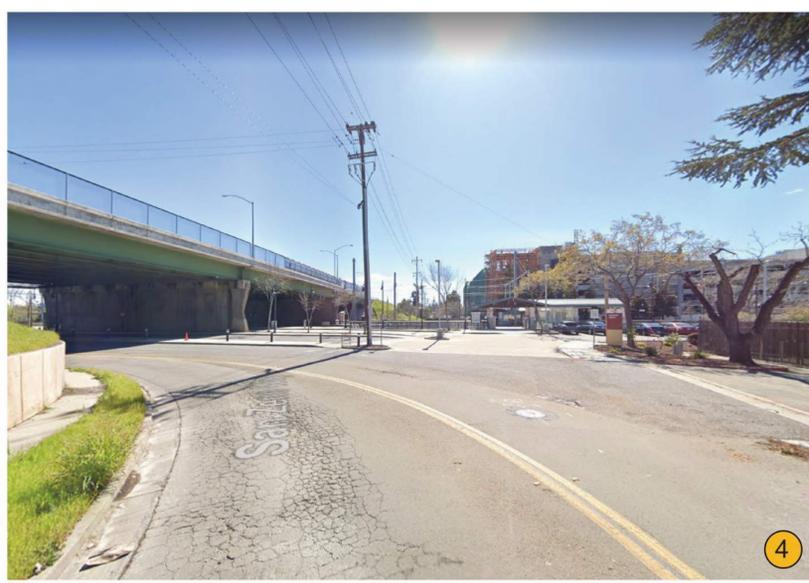
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2



3



4



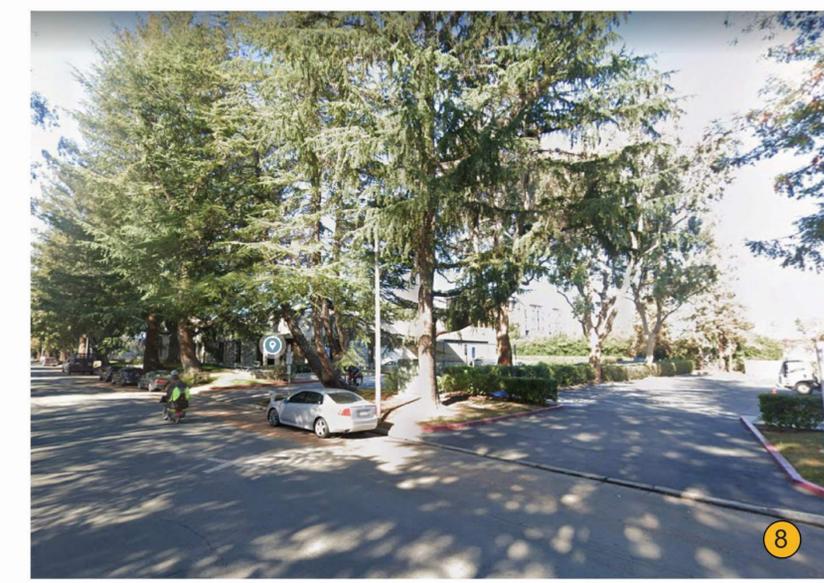
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6



7



8

1171 SONORA COURT
Sunnyvale, California
MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
EXISTING SITE
PHOTOS

Job No. 21009
Date: 07/10/2025
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Sheet Title:
CONTEXT NEIGHBORHOOD PLAN

Job No. 21009
 Date: 07/10/2025
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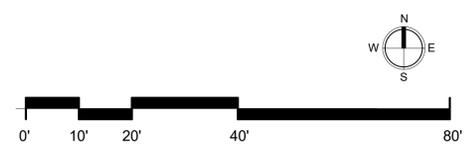
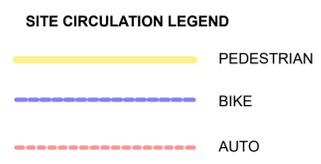
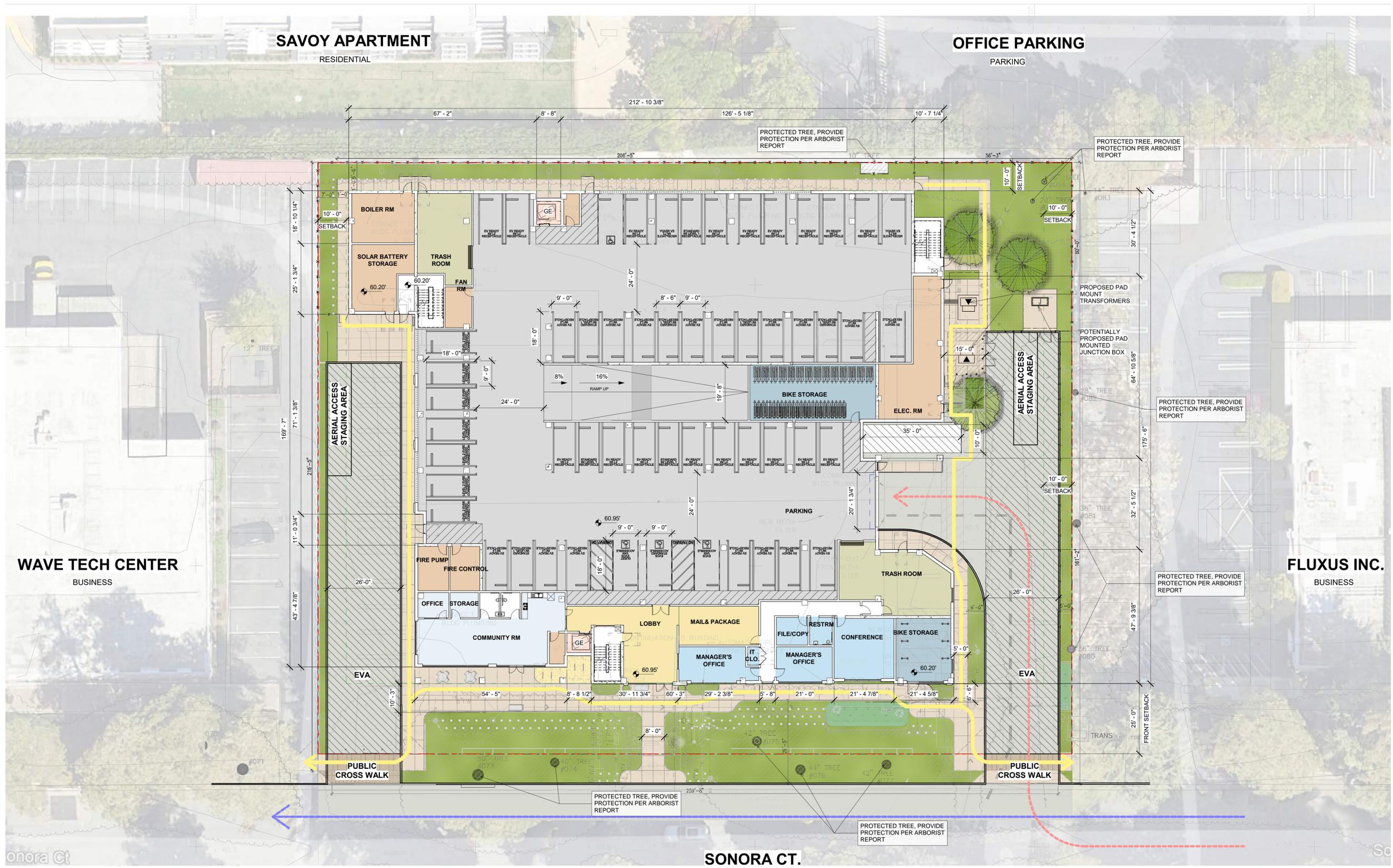


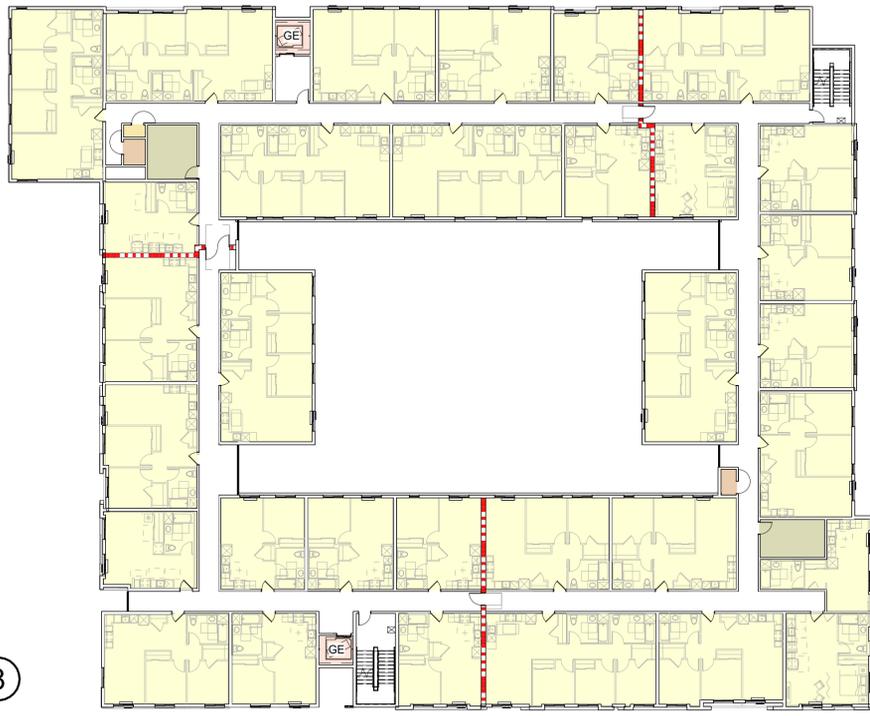
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Sheet Title:
ILLUSTRATIVE SITE PLAN

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
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LEVEL 6 FLOOR PLAN



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Sheet Title:
CONTEXT AERIAL
IMAGES

Job No. 21009
Date: 07/10/2025
Scale: 3/64" = 1'-0"
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City of Sunnyvale Citywide Objective Design Standards

2.3 Multifamily Residential Transition Space

Intent: To promote a sense of privacy and separation from the public/pedestrian realm for residents of street-facing residential projects. Low-, Mid- and High-Rise Multifamily Residential development shall include a street-facing transition space that incorporates a combination of design approaches from Table 2B to score at least 50 points. This standard also applies to residential buildings that are part of a Horizontal Mixed-Use project to provide a transition between commercial spaces and residential buildings.

| Category | Approach | Points |
|--|--|-----------|
| a. Entryway Design | Entryways accented by a change in external building material or application of a non-structural façade accent. | 20 |
| b. Projecting Shade Features | Integration of a continuous architectural shade feature spanning at least 50 percent of the building frontage. | 20 |
| c. Building Materials to Articulate Ground Surface | Use of paving stones, tile, masonry or patterned and colored concrete on the ground fronting all entryways. | 10 |
| Total | | 50 |



3.5 Massing and Bulk

Intent: To ensure each new building becomes an attractive, complementary addition to its surroundings by moderating its apparent size and scale. New structures will achieve this natural fit through context-responsive form and a variety of methods to break down large facades.

Table 3B includes standards for dividing the length of buildings of various size in order to modulate mass and scale.

| Standard | 100' or more building width |
|------------------------|---|
| a. General requirement | Building elevations shall be vertically divided by major recesses at maximum 75' intervals. |
| b. Division Standards | <ol style="list-style-type: none"> At least 10' wide by 5' deep from ground level to roof level; and of a color or material that contrasts with surrounding volumes, and incorporated anywhere within a 75-foot segment of horizontal elevation. |

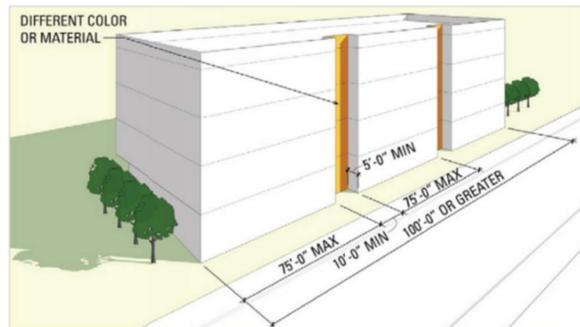
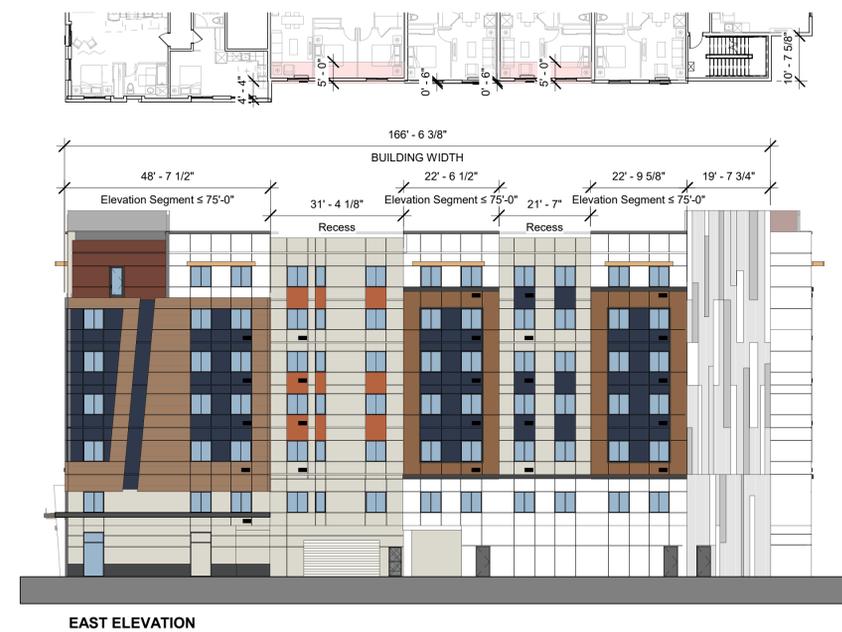
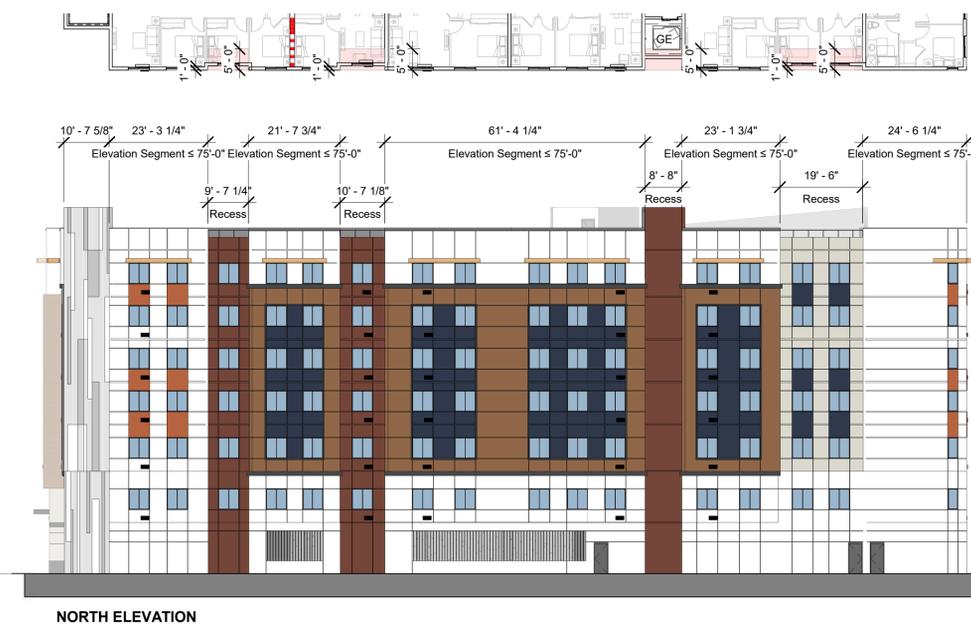


Figure 3-6 Division of building length; 100' or wider mid- and high-rise buildings.



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MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
OBJECTIVE DESIGN
STANDARDS
COMPLIANCE
DIAGRAMS

Job No. 21009
Date: 07/10/2025
Scale: 1" = 20'-0"
Drawn By:

Sheet No:

G 6.0

City of Sunnyvale Citywide Objective Design Standards

3.5.1 Mid-Rise and High-Rise Corner Buildings

1. A change in architectural massing of at least 30 feet horizontally on each side of the corner. This change shall be expressed by at least two of the following:

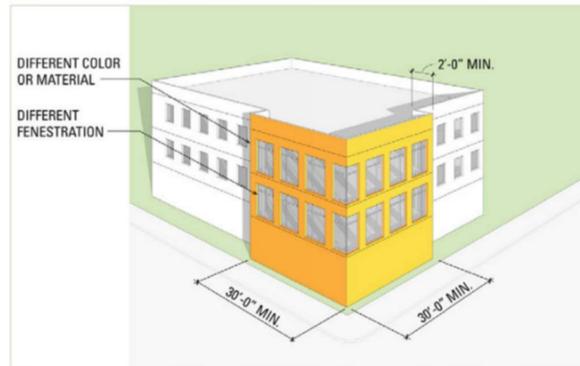


Figure 3-7 Approaches to corner architectural massing.

3.5.1 Mid-Rise and High-Rise Corner Buildings



SOUTH ELEVATION

A change in architectural massing occurs at 54'-8 5/8" and 30' horizontally on south and west.

- Use of different building materials from the main wall plane;
- Contrasting colors from the main wall plane



WEST ELEVATION

3.6.2 Mid-Rise and High-Rise Residential Articulation Standards

New mid-rise and high-rise residential development projects shall provide vertical elevation articulation in the form of a well-defined ground floor, a body (middle floors) and a cap (upper floor) to break up the building plane. The ground floor, middle and cap shall have visually distinct design features that adhere to all of the following requirements:

- 1. The ground floor elevation**
 - A line of awnings or canopies over ground floor storefronts or amenity space windows extending at least 75 percent of the elevation width.
- 2. The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap.**
- 3. The cap/upper floor is at the top of the building (not including any setback or high-rise tower)**
 - A change in exterior cladding material at the entirety of the top story that is different than the story below, effectively using the top story as a wall cap.
- 4. Architectural features marking main entries to buildings may extend above the ground floor.**
- 5. Vertical elements such as towers are not required to adhere to these standards.**



SOUTH ELEVATION

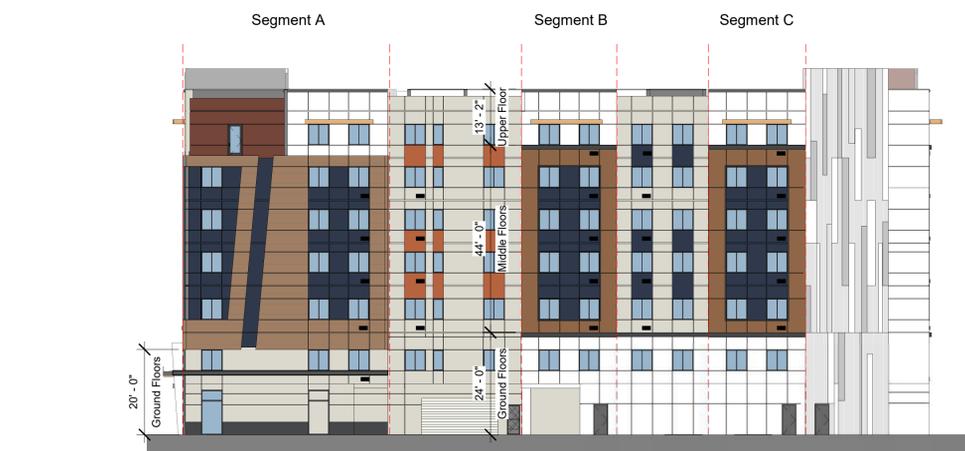
1. The ground floor elevation canopies width:
75% of the building elevation: $54'-10" + 97'-0" = 151'-10"$
 $193'-2" \times 75\% = 144'-10 \frac{1}{2}"$
151'-510" > 144'-10 1/2"

Complies with
"A line of awnings or canopies over ground floor storefronts or amenity space windows extending at least 75 percent of the elevation width."

2. **Vertical dimension**
Middle/Body floors: 45'-6"
Ground floors: 20'-0"
Upper floor: 15'-8"

Complies with
"The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap."

4. **Architectural feature**
Complies with
"Architectural features marking main entries to buildings may extend above the ground floor."



EAST ELEVATION

2. **Vertical dimension**
Segment A: Middle/Body floors: 45'-6"
Ground floors: 20'-0"
Upper floor: 15'-8"

Segment B & C: Middle/Body floors: 44'-0"
Ground floors: 24'-0"
Upper floor: 13'-2"

Complies with
"The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap."



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City of Sunnyvale Citywide Objective Design Standards

3.6.2 Mid-Rise and High-Rise Residential Articulation Standards

New mid-rise and high-rise residential development projects shall provide vertical elevation articulation in the form of a well-defined ground floor, a body (middle floors) and a cap (upper floor) to break up the building plane. The ground floor, middle and cap shall have visually distinct design features that adhere to all of the following requirements:

1. The ground floor elevation
 - A line of awnings or canopies over ground floor storefronts or amenity space windows extending at least 75 percent of the elevation width.
2. The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap.
3. The cap/upper floor is at the top of the building (not including any setback or high-rise tower)
 - A change in exterior cladding material at the entirety of the top story that is different than the story below, effectively using the top story as a wall cap.
4. Architectural features marking main entries to buildings may extend above the ground floor.
5. Vertical elements such as towers are not required to adhere to these standards.



NORTH ELEVATION

2. Vertical dimension
Segment A, B & C: Middle/Body floors: 44'-0"
Ground floors: 24'-0"
Upper floor: 13'-2"

Complies with
"The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap."



WEST ELEVATION

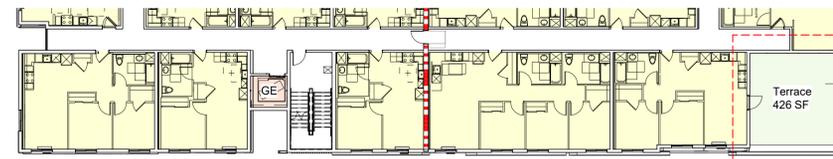
2. Vertical dimension
Segment A & B: Middle/Body floors: 45'-6"
Ground floors: 20'-0"
Upper floor: 15'-8"

Complies with
"The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap."

4.2.1.2 Variety in Building Elevation

All building elevations shall incorporate a combination of design strategies from Table 4A to score at least 100 points.

| Table 4A. Building Elevation Design Strategies | | | |
|--|-------------------------------|--|-----|
| Strategy | Building Detail Element | Points | |
| a. | Window and Entry Articulation | Recess all windows by three and one-half inches or more | 30 |
| b. | Window and Entry Articulation | Window size variation – include at least three windows that vary in size from all other windows on each elevation. | 20 |
| c. | Elevation Articulation | Include terraces above the first floor, a minimum of 10 feet in all directions and a total of at least 120 square feet in area, with railings that are no more than 42 inches in height, on at least one public street-facing exterior building elevation. | 20 |
| d. | Elevation Articulation | A building entry feature of at least two stories. | 10 |
| e. | Elevation Articulation | Pilasters or piers extending at least two stories. | 10 |
| f. | Elevation Articulation | Incorporation of scoring lines, reveals or expansion joints at least four inches wide at each floor of stucco/cement plaster wall surfaces. | 10 |
| Total | | | 100 |



Terrace on Level 7

c. Include terraces above the first floor, on Level 7, with dimensions of 19'-9 3/4" by 21'-6 1/4" and an area of 426 square feet. The terraces has railings no more than 42 inches in height and will face Sonora Ct.

d. The entry feature at the main entry is two-story high



SOUTH ELEVATION

f. Incorporation of reveals or expansion joints at least four inches wide at each floor of stucco/cement plaster wall surfaces.

a. All windows recessed by four inches
*See A 9.0-1 for Recessed Window Conceptual Detail

e. Pilasters extending two stories.

b. The circled windows on Level 2 vary in size from all the other windows on the south elevation



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City of Sunnyvale Citywide Objective Design Standards

4.2.1.2 Variety in Building Elevation

All building elevations shall incorporate a combination of design strategies from Table 4A to score at least 100 points.

| Table 4A. Building Elevation Design Strategies | | |
|--|--|------------|
| Strategy | Building Detail Element | Points |
| a. Window and Entry Articulation | Recess all windows by three and one-half inches or more | 30 |
| b. Window and Entry Articulation | Window size variation – include at least three windows that vary in size from all other windows on each elevation. | 20 |
| c. Elevation Articulation | Include terraces above the first floor, a minimum of 10 feet in all directions and a total of at least 120 square feet in area, with railings that are no more than 42 inches in height, on at least one public street-facing exterior building elevation. | 20 |
| d. Elevation Articulation | A building entry feature of at least two stories. | 10 |
| e. Elevation Articulation | Pilasters or piers extending at least two stories. | 10 |
| f. Elevation Articulation | Incorporation of scoring lines, reveals or expansion joints at least four inches wide at each floor of stucco/cement plaster wall surfaces. | 10 |
| Total | | 100 |



- a. All windows recessed four inches
*See A 9.0-1 for Recessed Window Conceptual Detail
- b. The circled windows vary in size from all the other windows on the east elevation

EAST ELEVATION



- a. All windows recessed by four inches
*See A 9.0-1 for Recessed Window Conceptual Detail
- b. The circled windows vary in size from all the other windows on the north elevation

NORTH ELEVATION



- a. All windows recessed by four inches
*See A 9.0-1 for Recessed Window Conceptual Detail
- b. The circled windows vary in size from all the other windows on the west elevation
- e. Pilasters extending two stories.

WEST ELEVATION



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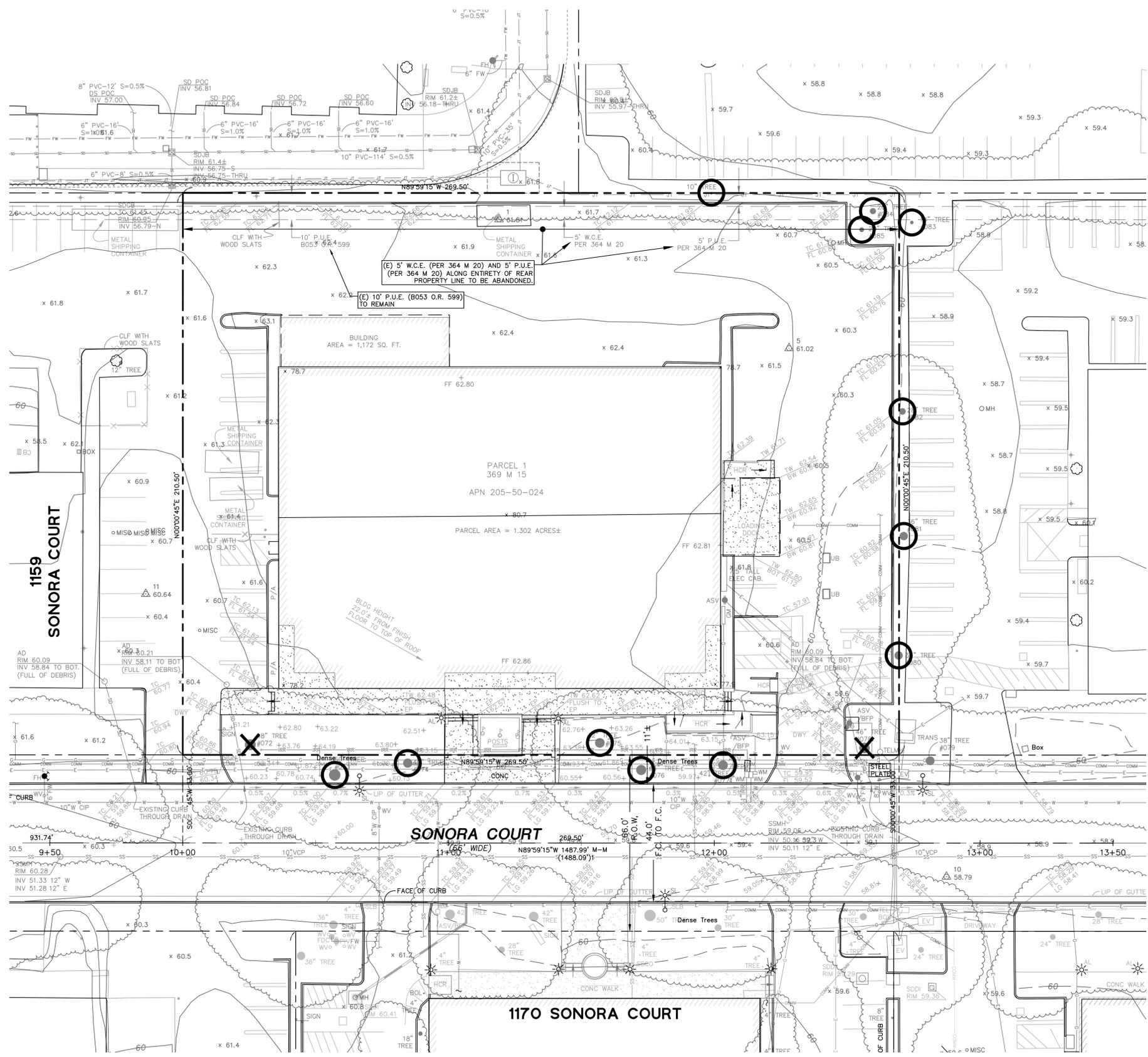


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Sheet Title:
OBJECTIVE DESIGN STANDARDS COMPLIANCE DIAGRAMS
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Drawn By:

Sheet No:

G 6.3



LEGEND

- PROPERTY LINE
- CENTER LINE
- ADJACENT PROPERTY LINE
- SD—SD— (E) STORM DRAIN LINE
- SS—SS— (E) SEWER LINE
- W—W— (E) WATER LINE
- G—G— (E) GAS LINE
- COMM—COMM— (E) COMMUNICATION LINE
- E—E— (E) ELECTRIC LINE
- X—X— (E) FENCE
- X—X— (E) EASEMENT



ABBREVIATIONS

- AL AREA LIGHT
- APN ASSESSORS PARCEL NUMBER
- BFP BACK FLOW PREVENTER
- BLDG BUILDING
- BOL BOLLARDS
- CB CATCH BASIN
- CLF CHAIN LINK FENCE
- COMM COMMUNICATIONS BOX
- CONC CONCRETE
- DI DRAIN INLET
- DWY DRIVEWAY
- EB ELECTRIC BOX
- EP EDGE OF PAVEMENT
- EV ELECTRIC VAULT
- F.C FACE OF CURB
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FL FLOW LINE
- FNC FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- JP JOINT POLE
- MW MONITORING WELL
- OH OVERHEAD ELECTRIC
- PIV POST INDICATOR VALVE
- P.U.E. PUBLIC UTILITY EASEMENT
- PP POWER POLE
- R.O.W. RIGHT OF WAY
- SDDI STORMDRAIN DRAIN INLET
- SDMH STORMDRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SW SIDEWALK
- TC TOP OF CURB AT FACE
- TRANS TRANSFORMER
- WB WATER BOX
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER
- WV WATER VALVE

BASIS OF BEARING

THE BEARING N89°59'15"W OF THE CENTERLINE OF SONORA COURT, BETWEEN FOUND MONUMENTS, AS SAID BEARING IS SHOWN ON THAT CERTAIN PARCEL MAP, FILED FOR RECORD ON JUNE 12, 1975 IN BOOK 357 OF MAPS AT PAGE 26, RECORDS OF SANTA CLARA COUNTY.

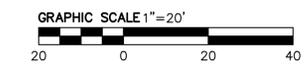
BENCHMARK

CITY OF SUNNYVALE "BM NO. 5" BRASS DISC ON TOP OF CURB NEXT TO CATCH BASIN AT SOUTHWEST CURB RETURN, INTERSECTION OF SAN ZENO WAY AND KIFER ROAD.

ELEVATION = 55.964 FEET, BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

MAP NOTES

1. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
2. THE TYPES, LOCATIONS, SIZES AND OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS SURVEY ARE BASED ON RECORD DRAWINGS AND PLANS FROM CITY OF SUNNYVALE. BKF PERFORMED THE UTILITY INVESTIGATION SERVICES USING CONVENTIONAL GROUND SURVEY TO DETERMINE THE APPROXIMATE HORIZONTAL POSITION AND DEPTHS OF EXISTING UTILITIES AND SERVICES ON THE SUBJECT SITE. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.
3. EXISTING TOPOGRAPHIC SURVEY PERFORMED BY BKF ENGINEERS DATED NOVEMBER 2019. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE AND HAVE INCLUDED COSTS TO CONDUCT SUCH INVESTIGATIONS ACCORDINGLY



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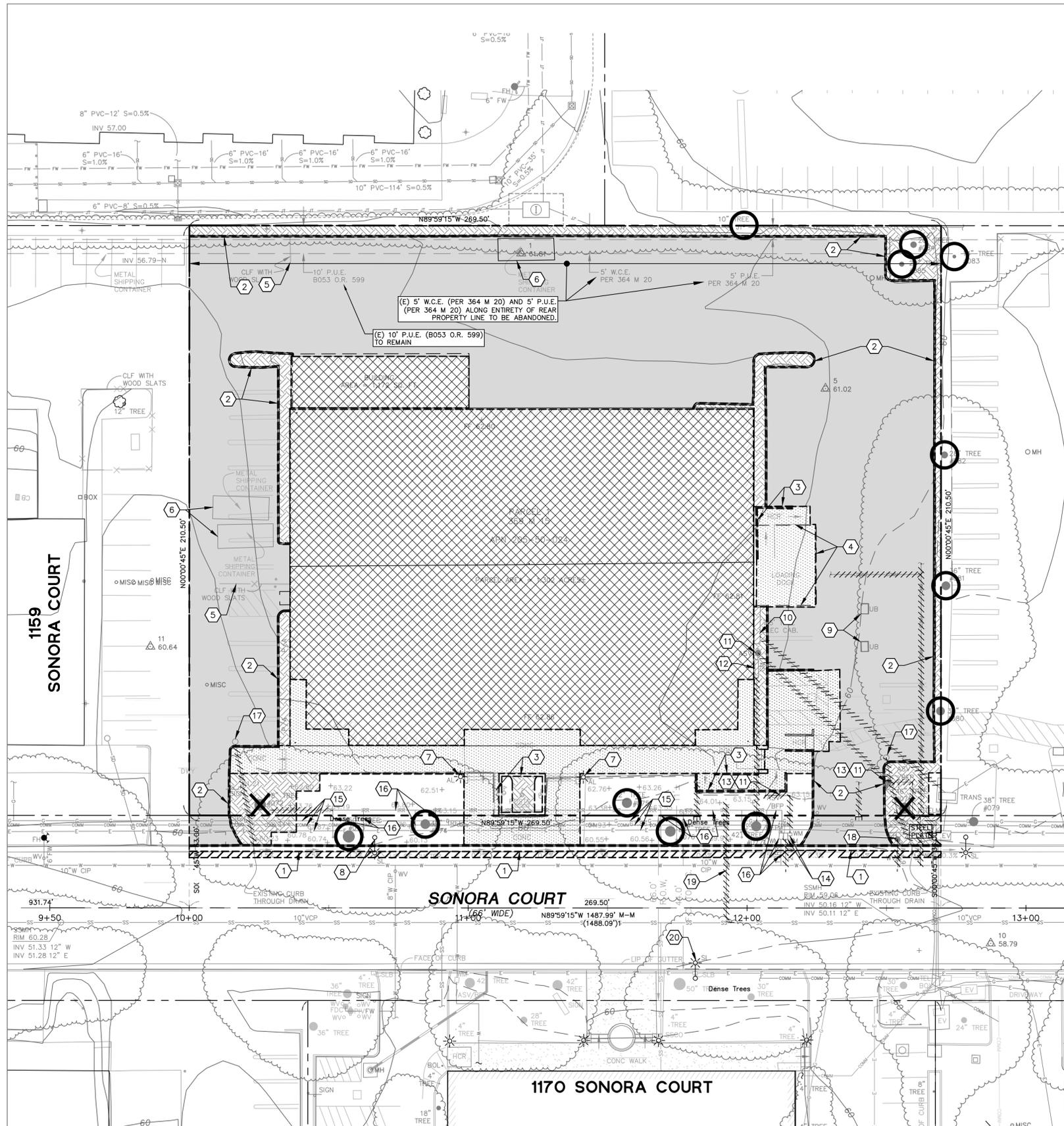


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Sheet Title:
EXISTING CONDITIONS

Job No. 20230144
Date: 06/25/2025
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Drawn By: SH

Sheet No: **C1.0**



LEGEND

| | |
|--|---|
| | PROPERTY LINE |
| | CENTER LINE |
| | ADJACENT PROPERTY LINE |
| | (E) STORM DRAIN LINE |
| | (E) SEWER LINE |
| | (E) WATER LINE |
| | (E) GAS LINE |
| | (E) COMMUNICATION LINE |
| | (E) ELECTRIC LINE |
| | (E) FENCE |
| | (E) EASEMENT |
| | TREE AND ASSOCIATED ROOTBALL TO BE PROTECTED IN PLACE |
| | TREE AND ASSOCIATED ROOTBALL TO BE REMOVED |
| | REMOVE EXISTING CURB & GUTTER |
| | REMOVE EXISTING UTILITY LINE |
| | ABANDON EXISTING UTILITY LINE |
| | AC DEEP LIFT |
| | DEMOLISH EXISTING BUILDING |
| | DEMOLISH EXISTING ASPHALT |
| | DEMOLISH EXISTING CONCRETE |
| | CLEAR AND GRUB |
| | CUT AND CAP EXISTING UTILITY LINE |

ABBREVIATIONS

| | |
|--------|----------------------------|
| AL | AREA LIGHT |
| APN | ASSESSOR'S PARCEL NUMBER |
| BFP | BACK FLOW PREVENTER |
| BLDG | BUILDING |
| BOL | BOLLARDS |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| COMM | COMMUNICATIONS BOX |
| CONC | CONCRETE |
| DI | DRAIN INLET |
| DWY | DRIVEWAY |
| EB | ELECTRIC BOX |
| EP | EDGE OF PAVEMENT |
| EV | ELECTRIC VAULT |
| F.C | FACE OF CURB |
| FDC | FIRE DEPARTMENT CONNECTION |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| FNC | FENCE |
| GM | GAS METER |
| HCR | HANDICAP RAMP |
| JP | JOINT POLE |
| MW | MONITORING WELL |
| OH | OVERHEAD ELECTRIC |
| PIV | POST INDICATOR VALVE |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PP | POWER POLE |
| R.O.W. | RIGHT OF WAY |
| SDDI | STORMDRAIN DRAIN INLET |
| SDMH | STORMDRAIN MANHOLE |
| SL | STREET LIGHT |
| SLB | STREET LIGHT BOX |
| SSCO | SANITARY SEWER CLEANOUT |
| SSMH | SANITARY SEWER MANHOLE |
| SW | SIDEWALK |
| TC | TOP OF CURB AT FACE |
| TRANS | TRANSFORMER |
| WB | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |
| WV | WATER VALVE |

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING CURB AND GUTTER.
- 2 REMOVE EXISTING VERTICAL CURB.
- 3 REMOVE EXISTING RETAINING WALL/CURB.
- 4 REMOVE EXISTING OVERHANG AND RAILING.
- 5 REMOVE EXISTING FENCE.
- 6 REMOVE EXISTING METAL SHIPPING CONTAINER.
- 7 REMOVE EXISTING LIGHT.
- 8 EXISTING STREET LIGHT TO REMAIN AND BE PROTECTED IN PLACE.
- 9 EXISTING UNKNOWN UTILITY BOXES TO BE REMOVED.
- 10 EXISTING ELECTRICAL CABINET TO BE REMOVED.
- 11 EXISTING WATER ASV TO BE REMOVED.
- 12 EXISTING GAS METER TO BE REMOVED.
- 13 EXISTING WATER BFP TO BE REMOVED.
- 14 REMOVE EXISTING WATER METER BOX.
- 15 EXISTING GAS, COMM, AND ELECTRICAL LINES RUNNING ALONG STREET FRONTAGE TO REMAIN AND BE PROTECTED IN PLACE.
- 16 EXISTING IRRIGATION LATERAL, METER, ASV/BFP, AND SYSTEM FOR MATURE TREES TO REMAIN AND BE PROTECTED IN PLACE. LOCATION OF IRRIGATION LINES SHOWN IS APPROXIMATE, BASED ON FIELD INVESTIGATION. SEE NOTE 1 ON LANDSCAPE SHEET L-4.
- 17 REMOVE EXISTING STORM DRAIN AREA DRAIN (SDAD) AND RESPECTIVE CURB THROUGH DRAIN.
- 18 EXISTING FIRE HYDRANT TO BE REMOVED.
- 19 EXISTING SANITARY SEWER LINE TO BE REMOVED.
- 20 REMOVE EXISTING STREET LIGHT AND MAINTAIN EXISTING STREET LIGHT CONNECTION.

DEMOLITION NOTES

1. CONTRACTOR TO RECYCLE BUILDING MATERIALS PER CITY OF SUNNYVALE STANDARD SPECIFICATIONS.
2. NEAR EXISTING TREES TO REMAIN, CONTRACTOR TO HAND EXCAVATE WITH CARE UNDER THE WITNESS AND SUPERVISION OF THE CITY ARBORIST.
3. APPROXIMATE SIZE OF BUILDING TO BE DEMOLISHED: 20,500± SF
4. EXISTING BUILDING USE: COMMERCIAL OFFICE
5. ALL WATER METERS AND METER VAULT/BOX SHALL NOT BE DISTURBED, REMOVED, OR DAMAGED. THE CITY OF SUNNYVALE STAFF WILL SHUT OFF WATER AT METER AS A COURTESY, 24-7 THROUGH OUR ON-CALL/STAND-BY STAFF. 408-730-7400 8AM -5PM M-F; 408-730-7181 5PM -8AM M-F AND SATURDAYS AND SUNDAYS. ALL ABANDONMENTS ARE TO BE PERFORMED PER CITY OF SUNNYVALE ABANDONMENT NOTES.
6. PRIOR TO ANY WORK ON BACKFLOW PREVENTERS, OBTAIN A BACKFLOW PERMIT IS COMPLETED THROUGH FINANCE. PLEASE CONTACT FINANCE DEPARTMENT AT (408) 730-7380 FOR ADDITIONAL INFORMATION.



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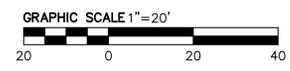
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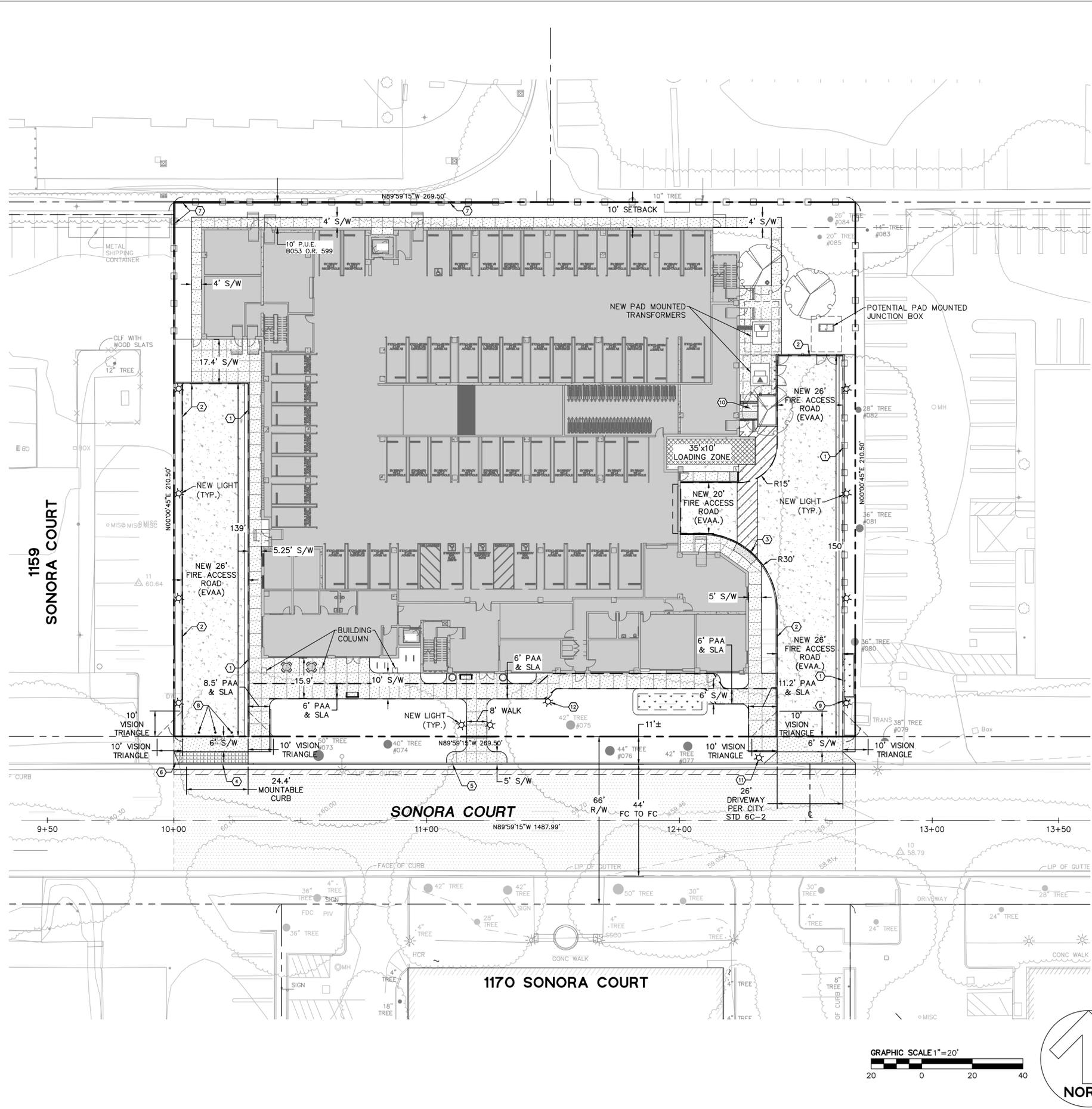
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Sheet Title:
DEMOLITION PLAN

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LEGEND

| | |
|--|---|
| | PROPERTY LINE |
| | CENTER LINE |
| | ADJACENT PROPERTY LINE |
| | (PR) PUBLIC ACCESS EASEMENT |
| | FLOW LINE |
| | VERTICAL CURB |
| | FLUSH CURB |
| | VERTICAL CURB & GUTTER |
| | PEDESTRIAN CONCRETE PAVEMENT, 4" PCC / 4" CLASS 2 AB (SLD FOR FINISH) |
| | BIORETENTION AREA |
| | AC DEEP LIFT |
| | VEHICULAR CONCRETE, 7" PCC (f'c=3,500 PSI) W/ #3 @ 18" O.C./ 6" CLASS 2 AB |
| | DECOMPOSED GRANITE (SLD) |
| | TYPE II SLURRY SEAL |
| | GRASSCRETE PAVERS |
| | PROPOSED LIGHT |

- KEY NOTES**
- ① 6" VERTICAL CURB AND GUTTER
 - ② NEW 6" VERTICAL CURB
 - ③ NEW FLUSH CURB
 - ④ NEW 6" MOUNTABLE CURB (PER CITY STANDARD DETAIL 15C-3)
 - ⑤ REPLACE TYPE II CURB AND 24" GUTTER (PER CITY STANDARD DETAIL 15C)
 - ⑥ INSTALL 2' DRIVEWAY FLARE (PER CITY STANDARD DETAIL 6C-2)
 - ⑦ NEW RETAINING CURB/WALL
 - ⑧ (3) NEW REMOVABLE, DROP-DOWN BOLLARDS SPACED AT 6.5' O.C.
 - ⑨ NEW BICYCLE PARKING SIGN, DIRECTING CYCLIST TO GARAGE FOR PARKING
 - ⑩ NEW CASE F CURB RAMP (PER CALTRANS STANDARD DETAIL A88A)
 - ⑪ INSTALL (1) NEW LSAP STREET LIGHT (ROADWAY + PED)
 - ⑫ INSTALL (1) NEW LSAP STREET LIGHT (PED ONLY) 85' FROM (N) STREET LIGHT TO THE EAST.

ABBREVIATIONS

| | |
|--------|-------------------------------|
| EVAA | EMERGENCY VEHICLE ACCESS AREA |
| FC/FOC | FACE OF CURB |
| PAA | PUBLIC ACCESS AREA |
| R | RADIUS |
| R/W | RIGHT OF WAY |
| SLA | STREET LIGHT AREA |
| S/W | SIDEWALK |
| TYP. | TYPICAL |

- NOTES**
1. THE PROJECT IS NOT RESPONSIBLE FOR INSTALLING BIKE LANES ALONG SONORA COURT. APPLICANT WILL BE PAYING AN IMPACT FEE LATER.
 2. THE PROJECT SHALL INSTALL TYPE II SLURRY SEAL ALONG SONORA COURT FROM LIP OF GUTTER TO LIP OF GUTTER, INCLUDING THE INTERSECTIONS. FINAL LIMITS OF STREET RESTORATION SHALL BE DETERMINED BY THE CITY.
 3. MAINTENANCE OF THE BIORETENTION FACILITY WITHIN THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE OWNER. A MAINTENANCE AGREEMENT FOR THE BIORETENTION FACILITY WILL BE REQUIRED.
 4. THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGES ON SONORA COURT SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 5. ALL EXISTING AND PROPOSED EASEMENTS ARE TO BE KEPT FREE AND CLEAR OF PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO BUILDING FOUNDATIONS, WALLS, BALCONIES, ROOF OVERHANGS AND EAVES.
 6. ALL STRUCTURES AND VEGETATION WITHIN EXTENDED DRIVEWAY VISION TRIANGLES MUST MEET REQUIREMENTS PER SUNNYVALE MUNICIPAL CODE 19.34.060.



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Sheet Title:
**PRELIMINARY
SITE PLAN**

Job No. 20230144
Date: 06/25/2025
Scale: 1" = 20'
Drawn By: SH

Sheet No: **C2.0**

LEGEND

- — — — — PROPERTY LINE
- — — — — CENTER LINE
- — — — — ADJACENT PROPERTY LINE
- W — W — (E) WATER LINE
- FH (E) FIRE HYDRANT
- FW NEW FIRE LINE
- NEW FIRE HYDRANT
- FDC NEW FIRE DEPARTMENT CONNECTION (FDC)
- NEW DOMESTIC/FIRE WATER BACK-FLOW PREVENTER (BFP)

ABBREVIATIONS

- BFP BACK FLOW PREVENTOR
- DW DOMESTIC WATER
- (E) EXISTING
- EVAA EMERGENCY VEHICLE ACCESS AREA
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FW FIRE WATER
- PIV POST INDICATOR VALVE
- PL PROPERTY LINE
- R RADIUS
- RPDA REDUCED PRESSURE DETECTOR ASSEMBLY
- W WATER
- WM WATER METER
- WV WATER VALVE

PRELIMINARY FIRE FLOW ANALYSIS

BASED ON THE 2022 CALIFORNIA FIRE CODE (CFC)

FIRE FLOW ANALYSIS: (MIXED CONSTRUCTION TYPE)
ANALYSIS BASED ON CFC 2019 TABLES B105.2 AND B105.1(2) AND CALIFORNIA STATE FIRE MARSHALL CODE INTERPRETATION #11-015

FLOORS 1 AND 2: TYPE IA
2 STORIES: 66,361 SF

FLOORS 3 THRU 7: TYPE IIIA
5 STORIES: 136,478 SF

TOTAL BUILDING AREA:
66,361 (TYPE IA) + 136,478 (TYPE IIIA) = 202,839 SF

FIRE FLOW PER CONSTRUCTION TYPE:
IA @ 202,839 = 5,000 GPM
IIIA @ 202,839 = 6,000 GPM

PERCENT OF BUILDING:
IA = 66,361 / 202,839 X 100 = 32.70%
IIIA = 136,478 / 202,839 X 100 = 67.30%

THEREFORE:
(0.3270 X 5,000) + (0.6730 X 6,000) = 5,673 GPM

CFC TABLE 105.2 FOOTNOTE "a" AND SUNNYVALE FIRE DEPARTMENT ALLOW A 75% REDUCTION IN FIRE FLOW WHEN A FIRE SPRINKLER SYSTEM IS PROVIDED IN ACCORDANCE WITH CFC SECTION 903.3.1.1 (NFPA 13 SYSTEM). RESULTING REDUCED FIRE FLOW SHALL NOT BE LESS THAN 1,000 GPM AT 20 PSI.

FINAL FIRE FLOW REQUIRED FOR 1171 SONORA COURT IS 1,418 GPM AT 20 PSI.

HYDRANT MINIMUM QUANTITY AND AVERAGE SPACING BETWEEN HYDRANTS:
(BASED ON CFC TABLE C102.1)

MINIMUM 1 HYDRANT

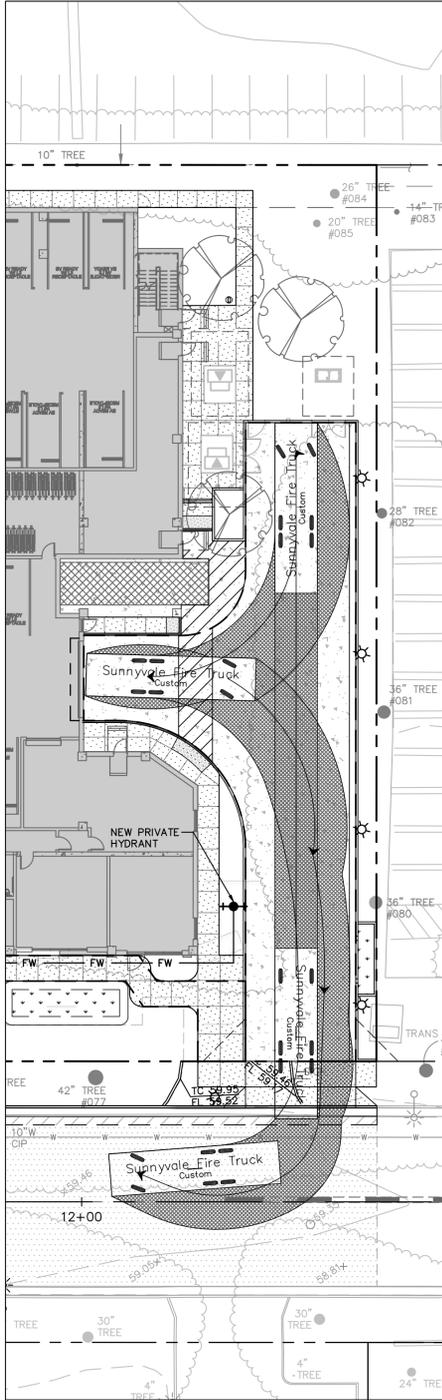
AVAILABLE FLOW AT PUBLIC MAIN AT 20 PSI:
PER NFPA 291 (2016) SECTION 4.10.1.2:

$$Q_r = Q_f \times h_r^{(0.54)} / h_f^{(0.54)}$$

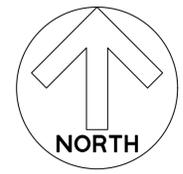
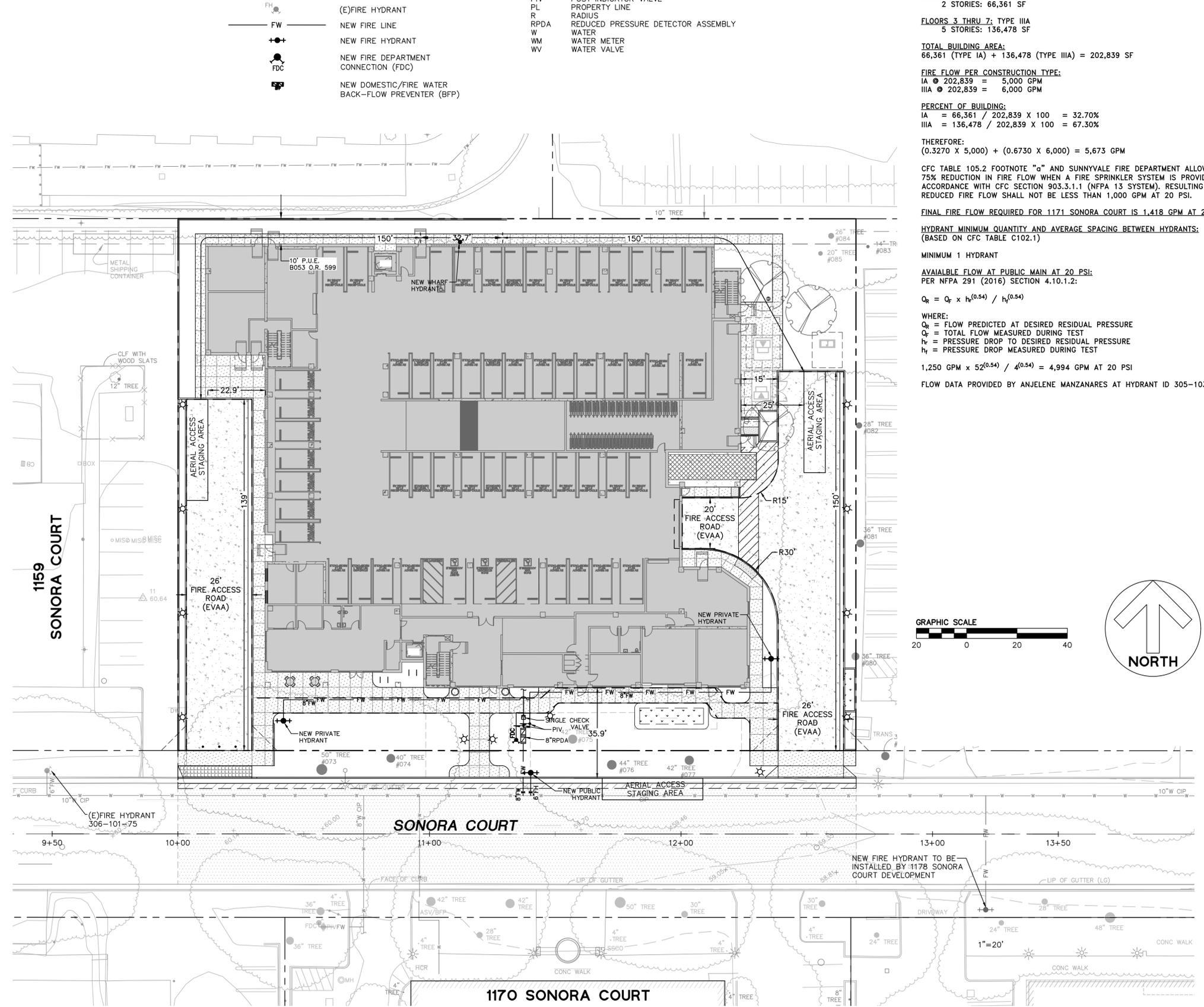
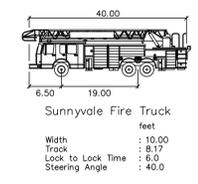
WHERE:
 Q_r = FLOW PREDICTED AT DESIRED RESIDUAL PRESSURE
 Q_f = TOTAL FLOW MEASURED DURING TEST
 h_r = PRESSURE DROP TO DESIRED RESIDUAL PRESSURE
 h_f = PRESSURE DROP MEASURED DURING TEST

$$1,250 \text{ GPM} \times 52^{(0.54)} / 4^{(0.54)} = 4,994 \text{ GPM AT 20 PSI}$$

FLOW DATA PROVIDED BY ANJELENE MANZANARES AT HYDRANT ID 305-103-75



FIRE TRUCK MOVEMENT



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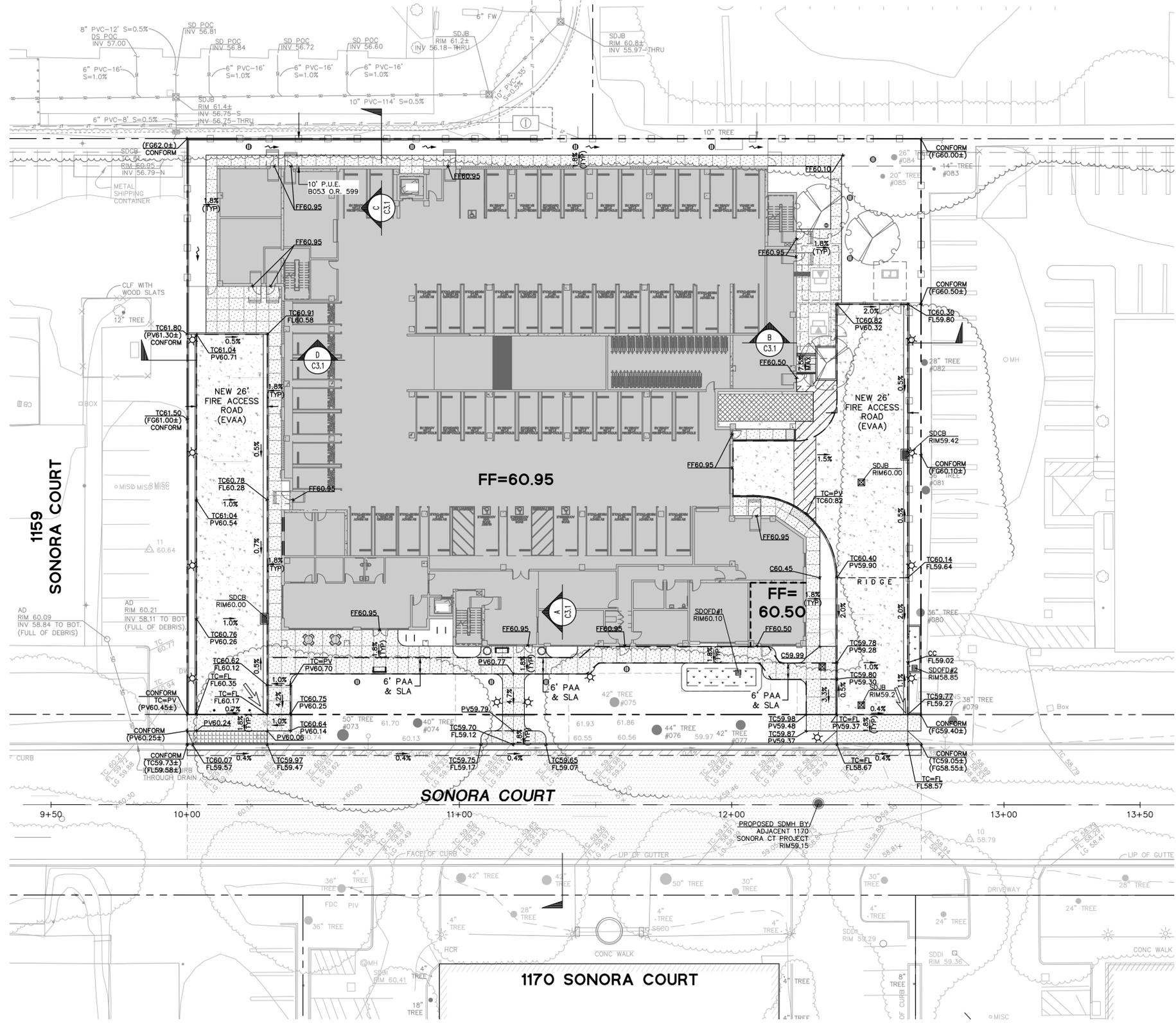


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Sheet Title:
FIRE ACCESS AND HYDRANT PLAN

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LEGEND

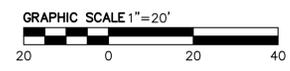
- PROPERTY LINE
- CENTER LINE
- ADJACENT PROPERTY LINE
- 150--- PROPOSED CONTOUR LINE
- 155--- EXISTING CONTOUR LINE
- GRADE BREAK LINE
- SOFTSCAPE 1.5% HARDSCAPE 1.5%
- TC100.27 PROPOSED SPOT ELEVATION
- (C100.27±) EXISTING SPOT ELEVATION
- ⇨ OVERLAND RELEASE

ABBREVIATIONS

- AC ASPHALT CONCRETE
- BS BOTTOM OF STEP
- BW BACK OF WALK
- CB CATCH BASIN
- CI CURB INLET
- C, CONC CONCRETE
- CC CURB CUT
- (E) EXISTING
- EVAA EMERGENCY VEHICLE ACCESS AREA
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- GB GRADE BREAK
- HP HIGH POINT
- JB JUNCTION BOX
- LG LIP OF GUTTER
- LP LOW POINT
- MAX MAXIMUM
- OFD OVERFLOW DRAIN
- OLR OVERLAND RELEASE
- PAA PUBLIC ACCESS AREA
- PC PERVIOUS CONCRETE
- PV PAVEMENT
- R/W RIGHT OF WAY
- SDMH STORM DRAIN MANHOLE
- SLA STREET LIGHT AREA
- SW SIDEWALK
- TC TOP OF CURB
- TD TRENCH DRAIN
- TS TOP OF STEP
- TW TOP OF WALL
- TYP TYPICAL

GRADING NOTES

1. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND SPECIFICATIONS.
2. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
3. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
4. SEE SITE ARCHITECT/LANDSCAPE PLANS FOR ALL WALKWAY COLORS, FINISHES, SCORE JOINT DETAILING AND LAYOUT.
5. ALL PAVED AREAS ARE TO SLOPE A MINIMUM OF 0.5%. ACCESSIBLE STALLS AND LOADING ZONES ARE TO SLOPE AT A MAXIMUM OF 2% IN ALL DIRECTIONS. ACCESSIBLE PATHWAYS ARE TO SLOPE AT A MAXIMUM OF 5% IN THE DIRECTION OF TRAVEL AND THE SLOPE CROSSWAYS TO THE DIRECTION OF TRAVEL SHALL BE AT A MAXIMUM OF 2%. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
6. ALL EXISTING AND PROPOSED EASEMENTS ARE TO BE KEPT FREE AND CLEAR OF PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO BUILDING FOUNDATIONS, WALLS, BALCONIES, ROOF OVERHANGS AND EAVES.



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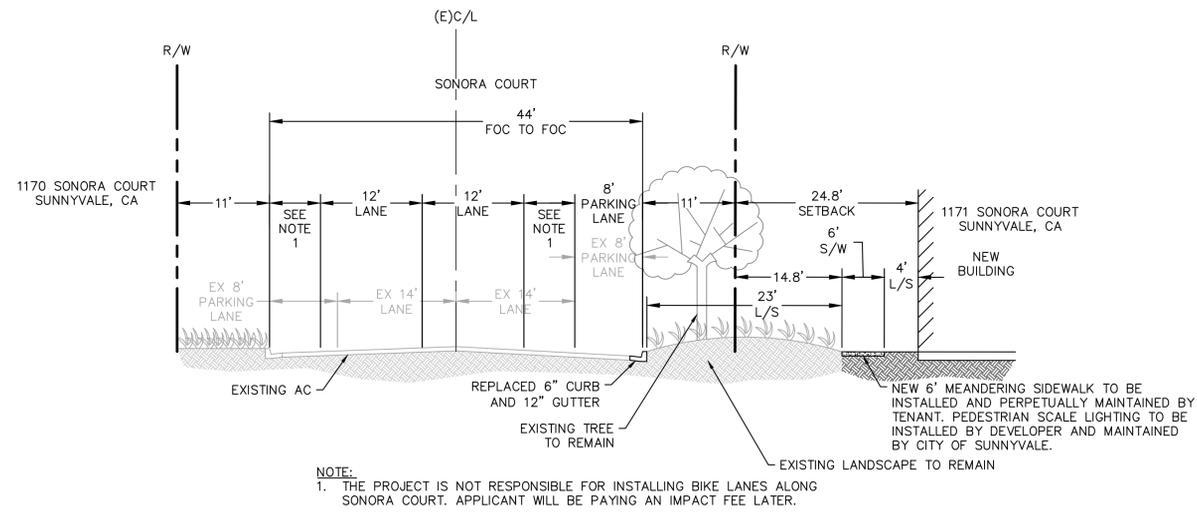
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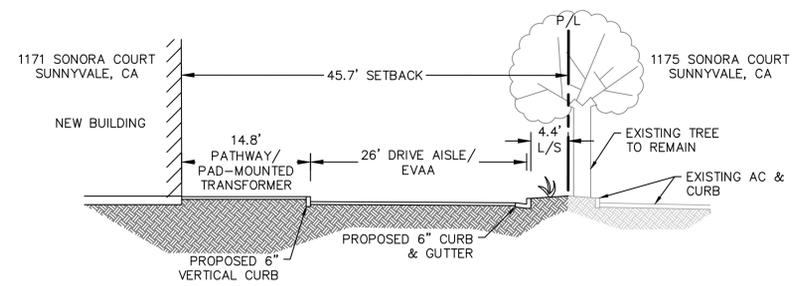
Sheet Title:
PRELIMINARY GRADING & DRAINAGE PLAN

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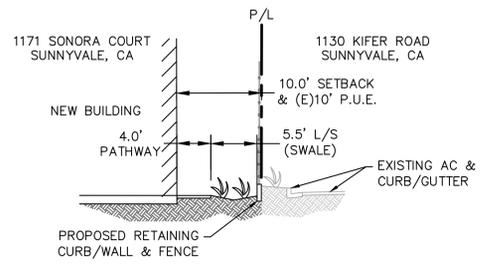
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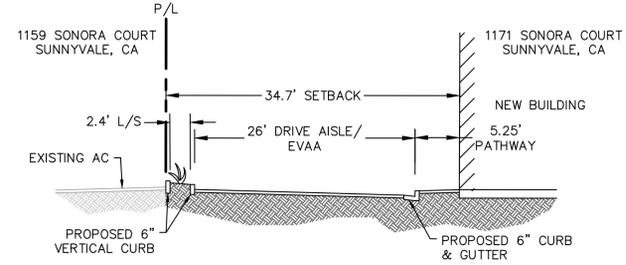
A SONORA COURT SECTION
NTS



B SECTION
NTS



C SECTION
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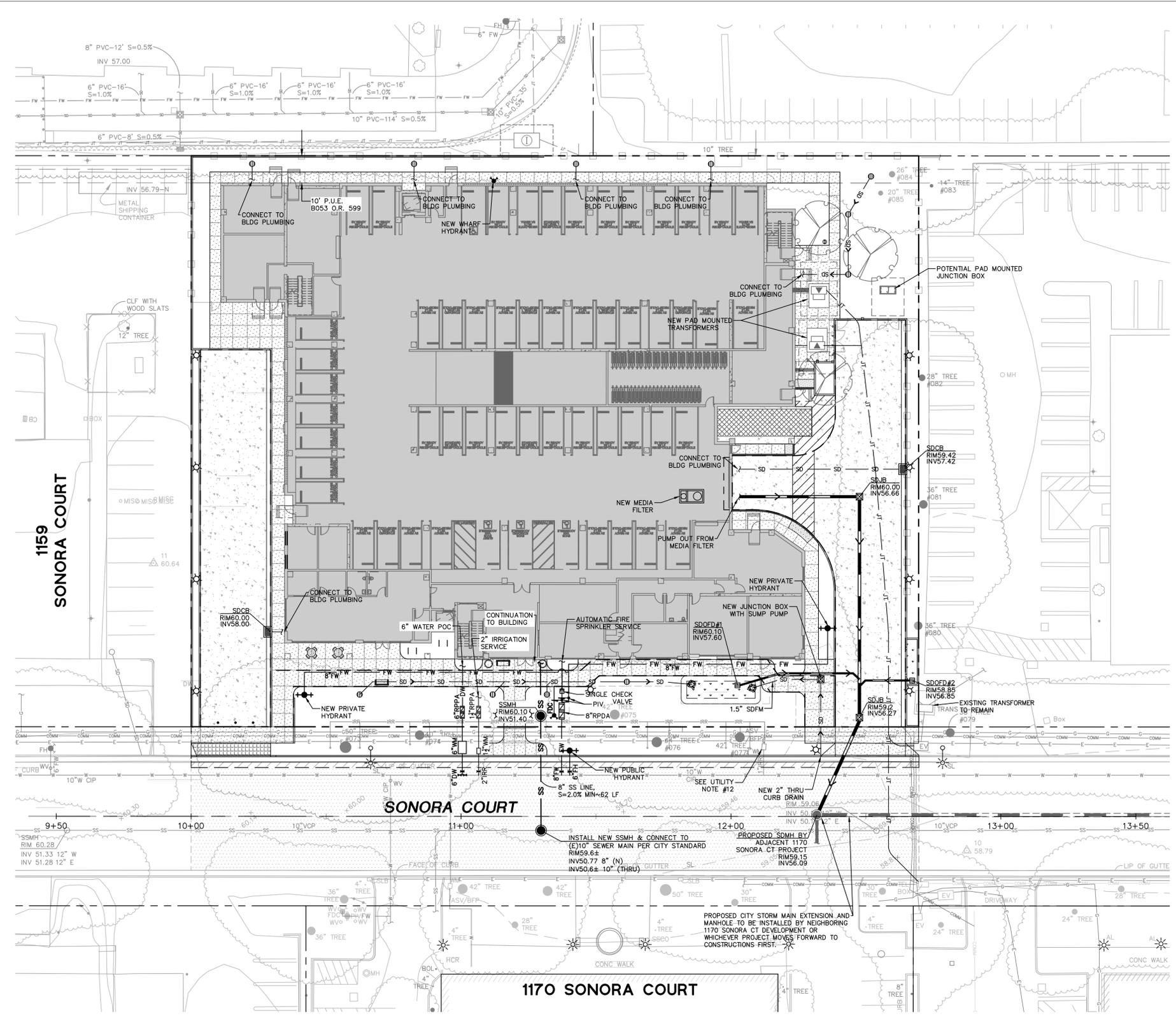
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SITE SECTIONS

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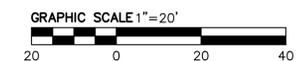
| | |
|-------|---|
| --- | PROPERTY LINE |
| --- | CENTER LINE |
| --- | ADJACENT PROPERTY LINE |
| SD | (E) STORM DRAIN LINE |
| SS | (E) SEWER LINE |
| W | (E) WATER LINE |
| G | (E) GAS LINE |
| COMM | (E) COMMUNICATION LINE |
| E | (E) ELECTRIC LINE |
| --- | NEW STORM DRAIN LINE (TREATED) |
| SD | NEW STORM DRAIN LINE (UNTREATED) |
| SS | NEW SANITARY SEWER LINE |
| FW | NEW FIRE LINE |
| DW | NEW DOMESTIC WATER LINE |
| IRR | NEW IRRIGATION LINE |
| JT | NEW JOINT TRENCH LINE (SHOW FOR REFERENCE ONLY) |
| SDAD | NEW AREA DRAIN |
| SDOFD | NEW OVERFLOW DRAIN |
| SDJB | NEW JUNCTION BOX |
| SDCO | NEW STORM DRAIN CLEANOUT |
| SDCB | NEW STORM DRAIN CATCH BASIN |
| SDBB | NEW STORM DRAIN BUBBLER BOX |
| SSMH | NEW SANITARY SEWER MANHOLE |
| WM | NEW WATER METER |
| + | NEW WATER VALVE |
| + | NEW FIRE HYDRANT |
| FDC | NEW FIRE DEPARTMENT CONNECTION (FDC) |
| BFP | NEW DOMESTIC/FIRE WATER BACK-FLOW PREVENTER (BFP) |
| TRANS | TRANSFORMER (SHOWN FOR REFERENCE ONLY) |
| MF | MEDIA FILTER |

UTILITY NOTES

1. DRY UTILITIES SHOWN FOR REFERENCE ONLY (ATT, COMCAST, PG&E, ETC.)
2. CONTRACTOR TO POT-HOLE ALL UTILITY CROSSINGS FOR GRAVITY LINES, AND REPORT ANY DISCREPANCIES TO THE ENGINEER
3. WHERE UTILITY CROSSINGS DO NOT MEET ONE FOOT OF CLEARANCE, (CDF) CONTROLLED DENSITY FILL AND A NEOPRENE CUSHION SHALL BE USED
4. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF EXISTING PIPES AND UTILITIES BY POT-HOLING BEFORE EXCAVATION WORK OR MAKING CONNECTIONS
5. THERE SHALL BE 5' OF MINIMUM SEPARATION BETWEEN EACH NEW WATER SERVICE CONNECTION
6. SERVICES SHOWN TO 5' OUTSIDE BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
7. ALL STORM DRAIN INLET FACILITIES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE STENCILED TO READ "NO DUMPING". STENCILS MAY BE BORROWED AND RETURNED BY COORDINATING WITH THE ENVIRONMENTAL SERVICES DEPARTMENT BY CALLING 408-730-7738.
8. PIPE MATERIAL:
 - 8.1. PRIVATE SD: PVC SDR-26, UNLESS OTHERWISE NOTED
 - 8.2. PRIVATE SS: PVC SDR-26
9. ONSITE SANITARY SEWER AND STORM SYSTEMS ARE PRIVATE.
10. PURSUANT TO SMC 12.60.130, INSTALL FULL TRASH CAPTURE DEVICES ON THE PROJECT SITE, PRIOR TO CONNECTING TO THE CITY'S STORM DRAIN COLLECTION SYSTEM. THE DEVELOPER SHALL BE RESPONSIBLE FOR PERPETUAL MAINTENANCE OF THOSE TRASH CAPTURE DEVICES.
11. ALL METALLIC PIPE, FITTINGS AND PARTS OF FIXTURES BURIED IN THE GROUND SHALL BE PROTECTED BY AT LEAST 8 MILS PLASTIC SLEEVE OR EQUIVALENT WRAPPING.
12. IF EXISTING 3" IRRIGATION WATER METER THAT IS TO REMAIN IS NOT RADIO-READ, IT IS TO BE UPGRADED WITH RADIO-READ METER.

ABBREVIATIONS

| | | | |
|--------|------------------------------------|-------|-------------------------------------|
| (TYP.) | TYPICAL | RPDA | REDUCED PRESSURE PRINCIPLE ASSEMBLY |
| AD | AREA DRAIN | PIV | POST INDICATOR VALVE |
| BFP | BACK FLOW PREVENTOR | POC | POINT OF CONNECTION |
| DW | DOMESTIC WATER | SD | STORM DRAIN |
| E | ELECTRICAL | SDCB | STORM DRAIN CATCH BASIN |
| (E) | EXISTING | SDFM | STORM DRAIN FORCE MAIN |
| FDC | FIRE DEPARTMENT CONNECTION | SDJB | STORM DRAIN JUNCTION BOX |
| FH | FIRE HYDRANT | SDOFD | STORM DRAIN OVERFLOW DRAIN |
| FW | FIRE WATER | SDMH | STORM DRAIN MANHOLE |
| INV | INVERT ELEVATION | SJTD | SEE JOINT TRENCH DRAWINGS |
| IRR | IRRIGATION | SS | SANITARY SEWER |
| LF | LINEAR FEET | SSCO | SANITARY SEWER CLEAN OUT |
| RIM | RIM ELEVATION OF STRUCTURE | W | WATER |
| RPDA | REDUCED PRESSURE DETECTOR ASSEMBLY | WM | WATER METER |
| | | WV | WATER VALVE |



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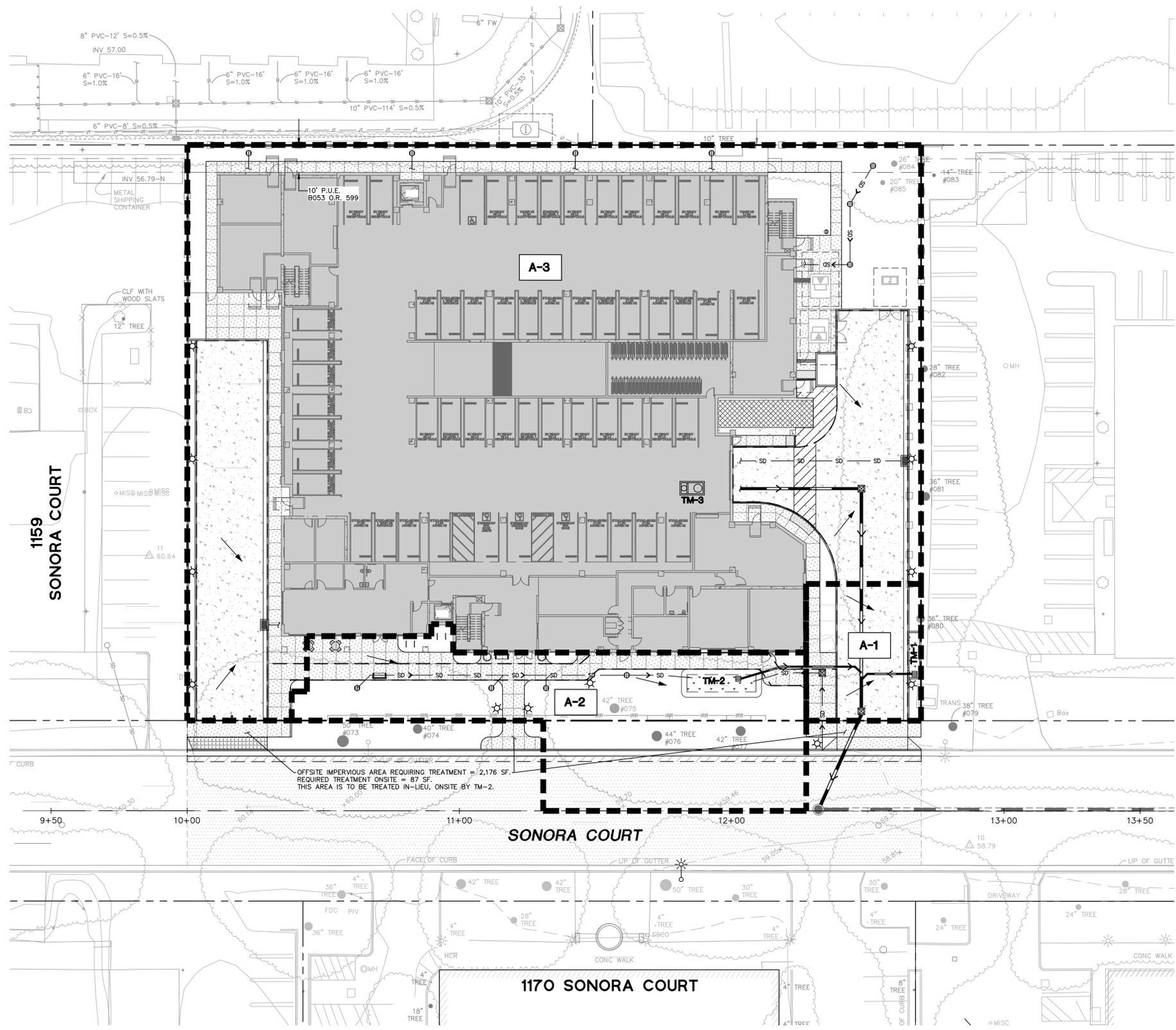
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PRELIMINARY UTILITY PLAN

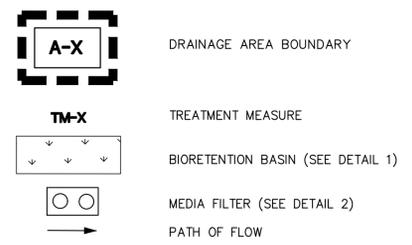
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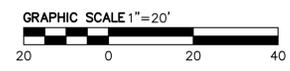
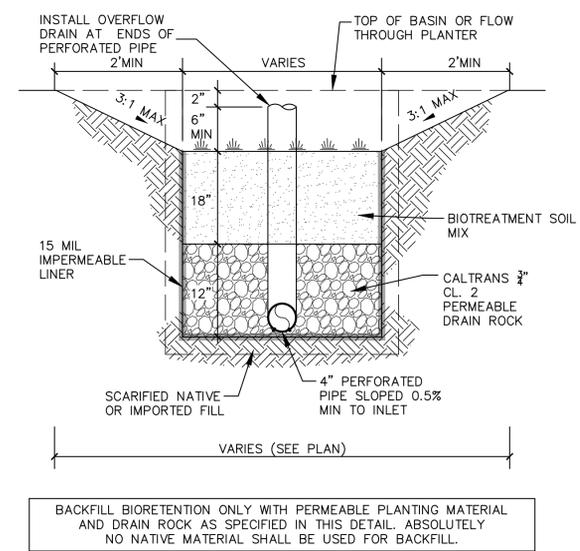
LEGEND

| | |
|--|----------------------------------|
| | PROPERTY LINE |
| | CENTER LINE |
| | ADJACENT PROPERTY LINE |
| | (E) STORM DRAIN LINE |
| | NEW STORM DRAIN LINE (TREATED) |
| | NEW STORM DRAIN LINE (UNTREATED) |



ABBREVIATIONS

| | |
|-------|-------------------|
| A | AREA |
| AC | ACRE |
| (N) | NEW |
| OFD | OVERFLOW DRAIN |
| R/W | RIGHT OF WAY |
| SD | STORM DRAIN |
| SF | SQUARE FEET |
| TM | TREATMENT MEASURE |
| (TYP) | TYPICAL |



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Sheet Title:
**PRELIMINARY
STORMWATER
MANAGEMENT
PLAN**

Job No. 20230144
Date: 06/25/2025
Scale: 1" = 20'
Drawn By: SH

Sheet No: **C5.0**

| TREATMENT CONTROL MEASURE SUMMARY | | | | | | | | | |
|-----------------------------------|-------------------------|-----------------------|--------------------------|-------------------------|----------------------------|---------------------|---|---------------|-----------------------------|
| DRAINAGE AREA | DRAINAGE AREA SIZE (SF) | PERVIOUS SURFACE (SF) | TYPE OF PERVIOUS SURFACE | IMPERVIOUS SURFACE (SF) | TYPE OF IMPERVIOUS SURFACE | TREATMENT CONTROL | TREATMENT AREA (SIZING: UNIFORM INTENSITY METHOD) | | CONFORMS TO SIZE STANDARDS? |
| | | | | | | | REQUIRED (SF) | PROVIDED (SF) | |
| A-1 | 2,108 | 362 | LANDSCAPE | 1,746 | CONCRETE | BIORETENTION (TM-1) | 70 | 70 | YES |
| A-2 | 4,986 | 3180 | LANDSCAPE | 1,806 | CONCRETE | BIORETENTION (TM-2) | 72 (159*) | 160 | YES |
| A-3 | 49,636 | 8,034 | LANDSCAPE | 41602 | CONCRETE | MEDIA FILTER (TM-3) | 0.182 CFS ** | 0.19 CFS | YES |
| TOTALS | 56,730 | 11,576 | | 45,154 | | | | | |

THIS PROJECT MEETS THE COUNTY OF SANTA CLARA C.3 MANUAL STANDARDS

*TOTAL REQUIRED TREATMENT OF 156 SF INCLUDES 87 SF IN-LIEU TREATMENT FOR OFFSITE IMPROVEMENTS.

**CALCULATION BASED ON 0.2 INCH/HOUR TREATMENT REQUIREMENT AND RATIONAL METHOD. SEE THIS SHEET FOR OLDCASTLE MEDIA FILTRATION DETAIL.

$Q=CIA$, $Q=FLOW$ IN CUBIC FEET PER SECOND (CFS)
 $C=0.80$
 $i=0.2$ IN/HR
 $A=AREA$ IN ACRES =49,636 SF =1.14 AC
 $Q=0.182$ CFS

Washington GULD*

2X #36.00" BOLTED & GASKETED ACCESS COVERS, RISERS & SLAB TAG IMPRESSIONS AS REQUIRED. FIELD POURED CONCRETE COLLAR REQUIRED, BY OTHERS. SEE NOTE 2.

VENTED OUTLET HOOD.

#18" MAXIMUM. SEE NOTE 3.

TOP SLAB RISER TAG IMPRESSION, AS REQUIRED.

BASE.

#18" MAXIMUM. SEE NOTE 3.

PERK FILTER™ CARTRIDGES.

CONCRETE FALSE FLOOR.

OUTLET CHAMBER.

CONCRETE DIVIDER WALL.

INLET WEIR/BYPASS ASSEMBLY.

INLET CHAMBER.

Notes:

- Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
- Filter system shall be supplied with traffic rated (H20) bolted & gasketed Ø36" circular access covers with risers as required. Shallow applications may require configurations with (H20) bolted & gasketed square/rectangular access hatches. Field poured concrete collars required, by others.
- Inlet & outlet pipe(s) (Ø 18" maximum) may enter device on all three sides of the inlet & outlet chambers respectively.
- Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
- For depths less than specified minimums contact Oldcastle® Stormwater Solutions for engineering assistance.

*** Treatment Flow Rates shown conform to Washington State GULD Specifications**

Perk Filter™
4' Wide Concrete Vault
Washington State GULD
Three to Seven Cartridges / Stacks

Oldcastle®
Stormwater Solutions
7121 Southpark Plaza, Suite 200 | Littleton, CO 80120 | PH: 800.579.8819 | oldcastlestormwater.com
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DRAWING NO. ECD-01122 DATE: JPR 10/3/14 JPR 3/2/11 SHEET 1 OF 2

Washington GULD*

FLOATABLES WEIR.

PRIMARY BYPASS BETWEEN FLOW THRU TUBES.

FLOW THRU TUBES INTO FILTER CHAMBER.

PERFORATED DRAIN-DOWN FEED-THRU.

2X FLOW THRU TUBES PER ASSEMBLY.

DETAIL A
INLET WEIR/BYPASS ASSEMBLY & DRAIN-DOWN. SCALE: NONE

2X #36.00" BOLTED & GASKETED ACCESS COVERS, RISERS & SLAB TAG IMPRESSIONS AS REQUIRED. FIELD POURED CONCRETE COLLAR REQUIRED, BY OTHERS. SEE NOTE 2.

PERK FILTER™ CARTRIDGE/STACKS.

CARTRIDGE BYPASS PORT.

VENTED OUTLET HOOD.

MINIMUM DEPTH. SEE CHART & NOTE 6.

#18" MAXIMUM. SEE NOTE 3.

TREATED OUTLETS.

CONCRETE FALSE FLOOR.

DRAIN-DOWN DEVICE. SEE NOTE 4.

SECTION A-A

| 4" VAULT | | | | | | | | | |
|---|---------------------------------|---------------------------------|---------------------------|---------------------------------|---------------------------|---------------------------------|---------------------------|---------------------------------|---------------------------|
| TREATMENT FLOW RATES, TOTAL FLOW CAPACITIES & MAXIMUM HEAD LOSS | | | | | | | | | |
| CARTRIDGE STACK QUANTITY | DIMENSION A - LENGTH (ID- FEET) | 12" x 12" | | | | 12" x 18" | | | |
| | | TREATMENT FLOW RATE (GPM / CFS) | TOTAL FLOW CAPACITY (CFS) | TREATMENT FLOW RATE (GPM / CFS) | TOTAL FLOW CAPACITY (CFS) | TREATMENT FLOW RATE (GPM / CFS) | TOTAL FLOW CAPACITY (CFS) | TREATMENT FLOW RATE (GPM / CFS) | TOTAL FLOW CAPACITY (CFS) |
| 3 | 7 | 20.4 / 0.045 | 2.9 | 30.6 / 0.068 | 4.3 | 40.8 / 0.091 | 5.0 | 51.0 / 0.114 | 6.7 |
| 4 | 9 | 27.2 / 0.061 | 2.9 | 40.8 / 0.091 | 4.4 | 54.4 / 0.121 | 5.0 | 68.0 / 0.152 | 6.8 |
| 6 | 9 | 34.0 / 0.076 | 2.9 | 51.0 / 0.114 | 4.4 | 68.0 / 0.152 | 5.1 | 85.0 / 0.188 | 6.8 |
| 6 | 11 | 40.8 / 0.091 | 3.0 | 61.2 / 0.136 | 4.5 | 81.6 / 0.182 | 5.1 | 102.0 / 0.227 | 6.9 |
| 7 | 11 | 47.6 / 0.106 | 3.0 | 71.4 / 0.159 | 4.5 | 95.2 / 0.212 | 5.2 | 119.0 / 0.265 | 7.0 |
| MAXIMUM HEAD LOSS | | 1.7 FEET | | 2.3 FEET | | 2.9 FEET | | 3.5 FEET | |

*** Treatment Flow Rates shown conform to Washington State GULD Specifications.**

Perk Filter™
4' Wide Concrete Vault
Washington State GULD
Three to Seven Cartridges / Stacks

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Stormwater Solutions
7121 Southpark Plaza, Suite 200 | Littleton, CO 80120 | PH: 800.579.8819 | oldcastlestormwater.com
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Architecture
Planning
Urban Design

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Sheet Title:
PRELIMINARY STORMWATER MANAGEMENT PLAN DETAILS
Job No. 20230144
Date: 06/25/2025
Scale:
Drawn By: SH

Sheet No: **C5.1**



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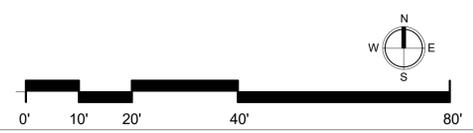
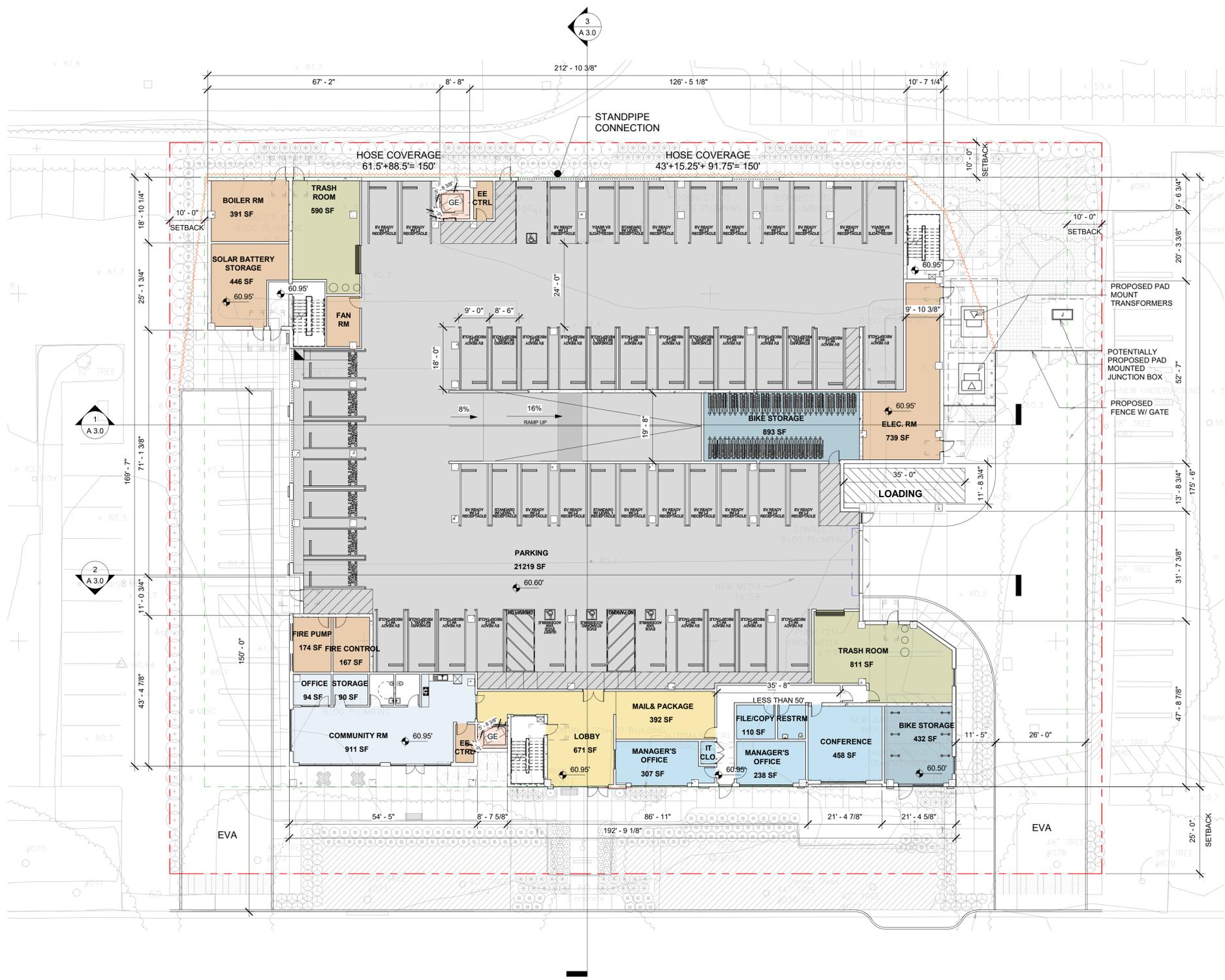
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Sheet Title:
**BUILDING PLAN
LEVEL 1**

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
Drawn By:

Sheet No:
A 1.0





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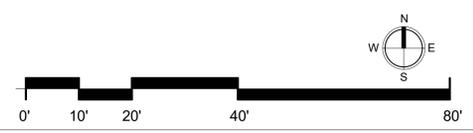


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Sheet Title:
**BUILDING PLAN
LEVEL 2**

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
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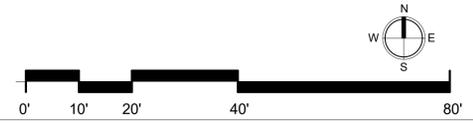


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Sheet Title:
**BUILDING PLAN
LEVEL 3**

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
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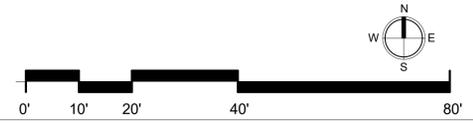


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Sheet Title:
**BUILDING PLAN
LEVEL 4-6**

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
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A 1.3





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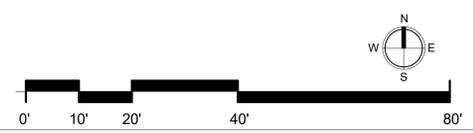
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Sheet Title:
**BUILDING PLAN
LEVEL 7**

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
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A 1.4





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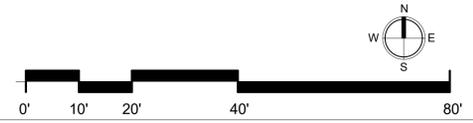
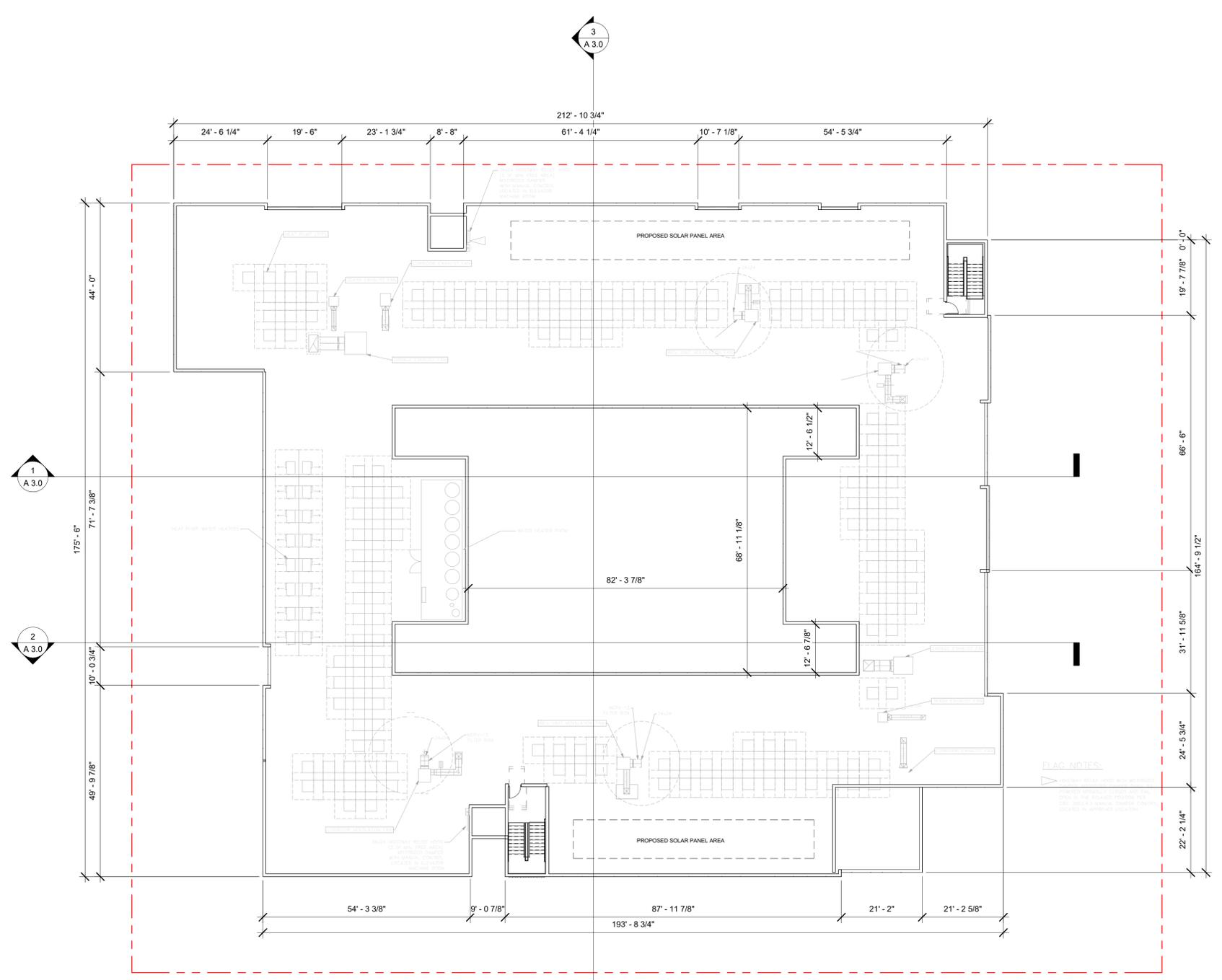


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Sheet Title:
ROOF PLAN

Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
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A 1.5





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Sheet Title:
FAR CALCULATION DIAGRAMS

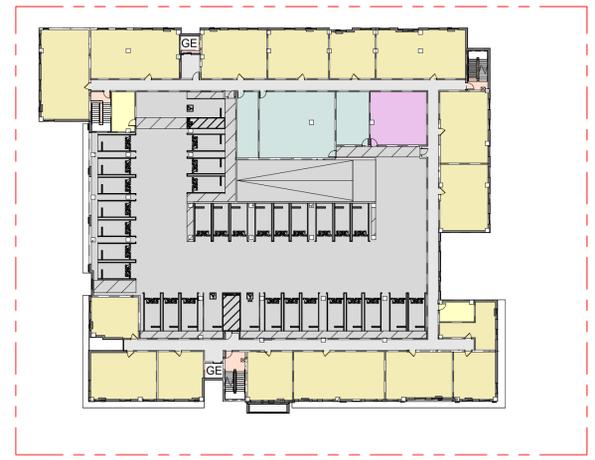
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Date: 07/10/2025
Scale: 1" = 40'-0"
Drawn By:

Sheet No:

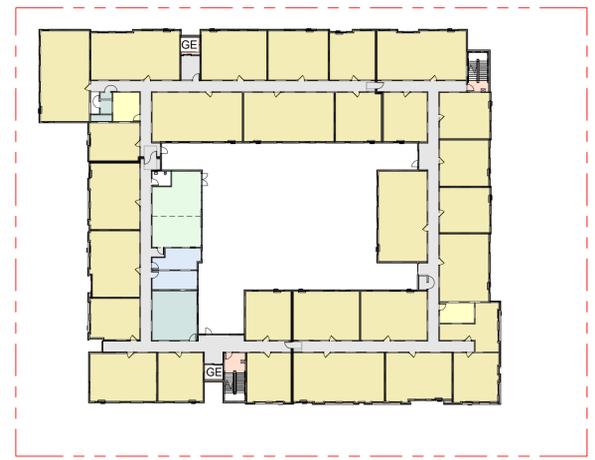
A 2.0



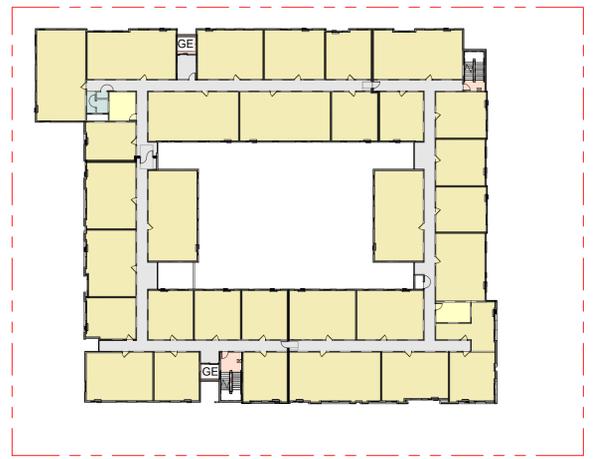
① Level 1
1" = 40'-0"



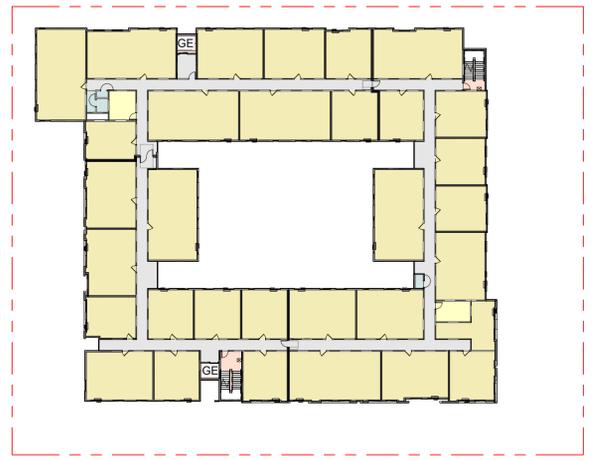
② Level 2
1" = 40'-0"



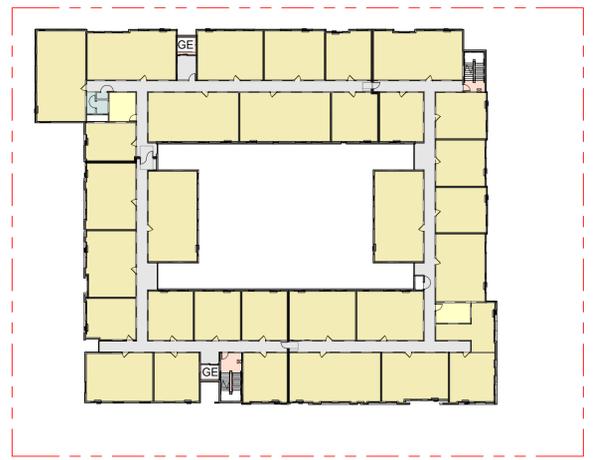
③ Level 3
1" = 40'-0"



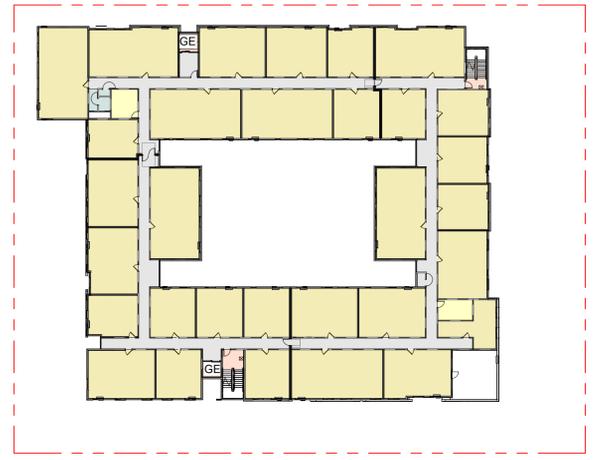
④ Level 4
1" = 40'-0"



⑤ Level 5
1" = 40'-0"



⑥ Level 6
1" = 40'-0"



⑦ Level 7
1" = 40'-0"

- PARKING ■ UTILITY ■ TRASH ■ BIKE STORAGE ■ UNIT ■ CIRCULATION
- VERTICAL CIRCULATION ■ LOBBY ■ OFFICE ■ MAIL ■ COMMON ■ AMENITY

| FLOOR AREA TABULATION | |
|-----------------------|----------|
| NAME | AREA |
| Level 1 | |
| AMENITY | 915 SF |
| BIKE STORAGE | 1437 SF |
| LEASING | 1699 SF |
| LOBBY | 658 SF |
| MAIL | 421 SF |
| PARKING | 22000 SF |
| TRASH | 1535 SF |
| UTILITY | 2347 SF |
| VERTICAL CIRCULATION | 824 SF |
| | 31836 SF |

| FLOOR AREA TABULATION | |
|-----------------------|----------|
| NAME | AREA |
| Level 4 | |
| CIRCULATION | 3608 SF |
| SERVICE | 111 SF |
| TRASH | 354 SF |
| UNIT | 22529 SF |
| VERTICAL CIRCULATION | 631 SF |
| | 27232 SF |
| Level 5 | |
| CIRCULATION | 3608 SF |
| SERVICE | 143 SF |
| TRASH | 354 SF |
| UNIT | 22531 SF |
| VERTICAL CIRCULATION | 631 SF |
| | 27267 SF |

| | |
|----------------------|----------|
| Level 2 | |
| CIRCULATION | 2823 SF |
| PARKING | 15030 SF |
| SERVICE | 1908 SF |
| TRASH | 399 SF |
| UNIT | 11590 SF |
| UTILITY | 694 SF |
| VERTICAL CIRCULATION | 835 SF |
| | 33279 SF |

| | |
|----------------------|----------|
| Level 6 | |
| CIRCULATION | 3608 SF |
| SERVICE | 111 SF |
| TRASH | 354 SF |
| UNIT | 22529 SF |
| VERTICAL CIRCULATION | 631 SF |
| | 27232 SF |

| | |
|----------------------|----------|
| Level 3 | |
| CIRCULATION | 3678 SF |
| LEASING | 422 SF |
| MULTI-PURPOSE ROOM | 795 SF |
| SERVICE | 623 SF |
| TRASH | 354 SF |
| UNIT | 20449 SF |
| VERTICAL CIRCULATION | 634 SF |
| | 26954 SF |

| | |
|----------------------|-----------|
| Level 7 | |
| CIRCULATION | 3644 SF |
| SERVICE | 111 SF |
| TRASH | 354 SF |
| UNIT | 22029 SF |
| VERTICAL CIRCULATION | 630 SF |
| | 26768 SF |
| | 200569 SF |

FAR CALCULATION
PER SUNNYVALE ZONING CODE 19.12.070
"Floor area ratio (FAR)" means a ratio, expressed as a percentage, of the gross floor area of a given building, buildings, or portion of a building, to the net area of the parcel of real property on which such building or buildings are located. In determining the FAR for residential uses, the gross floor area shall include the area devoted to covered parking.

BUILDING AREA: 200,569 SF
SITE AREA: 56,730 SF
FAR: 200,569 / 56,628 = 3.54



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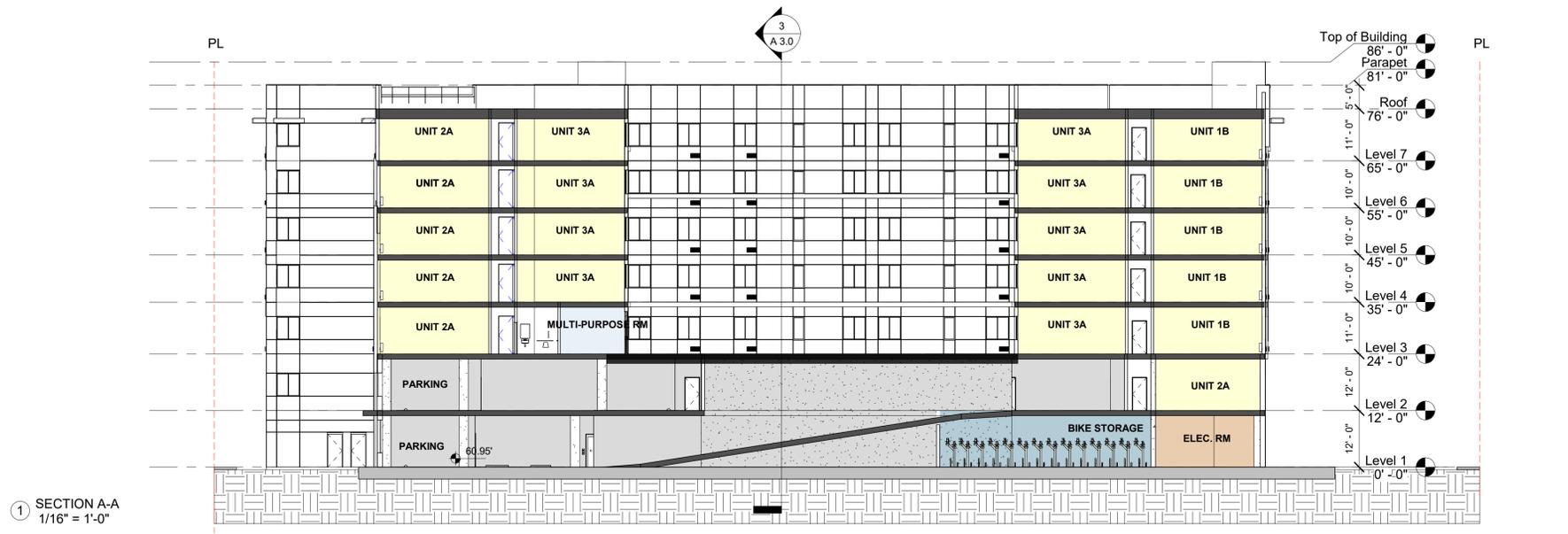
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Sheet Title:
BUILDING SECTIONS

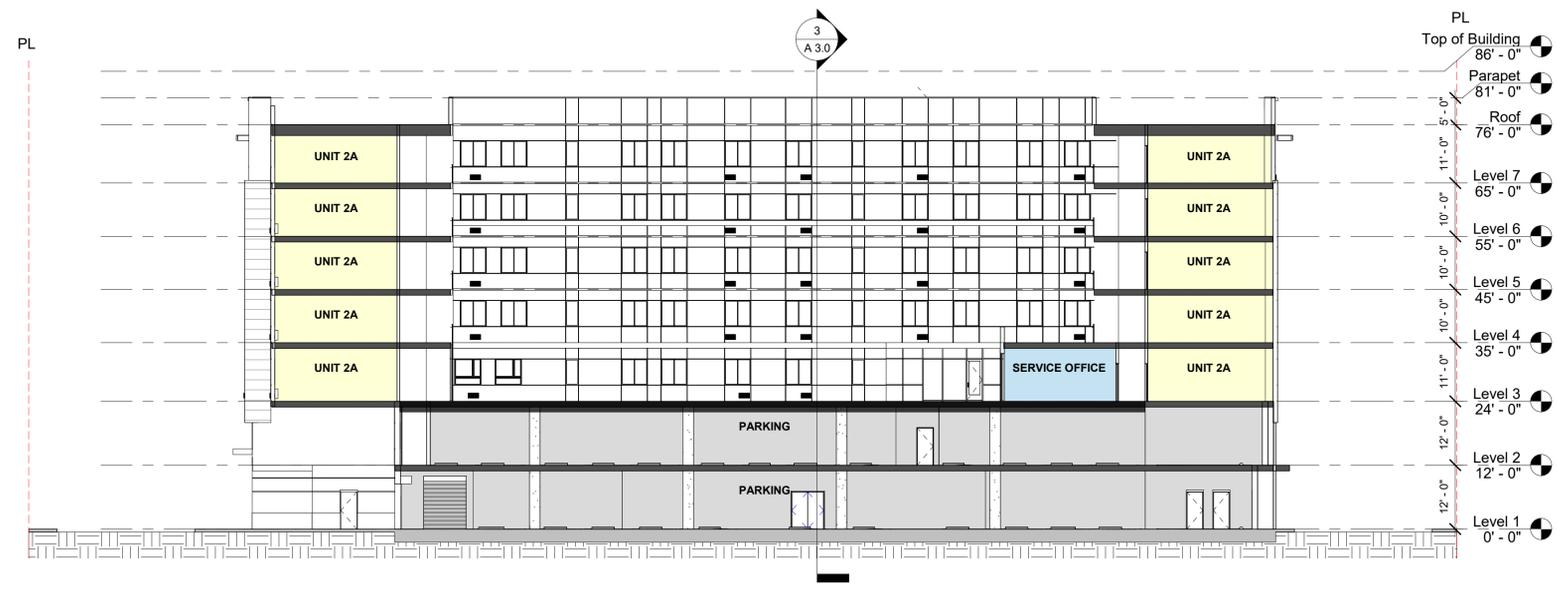
Job No. 21009
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Scale: As indicated
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Sheet No:

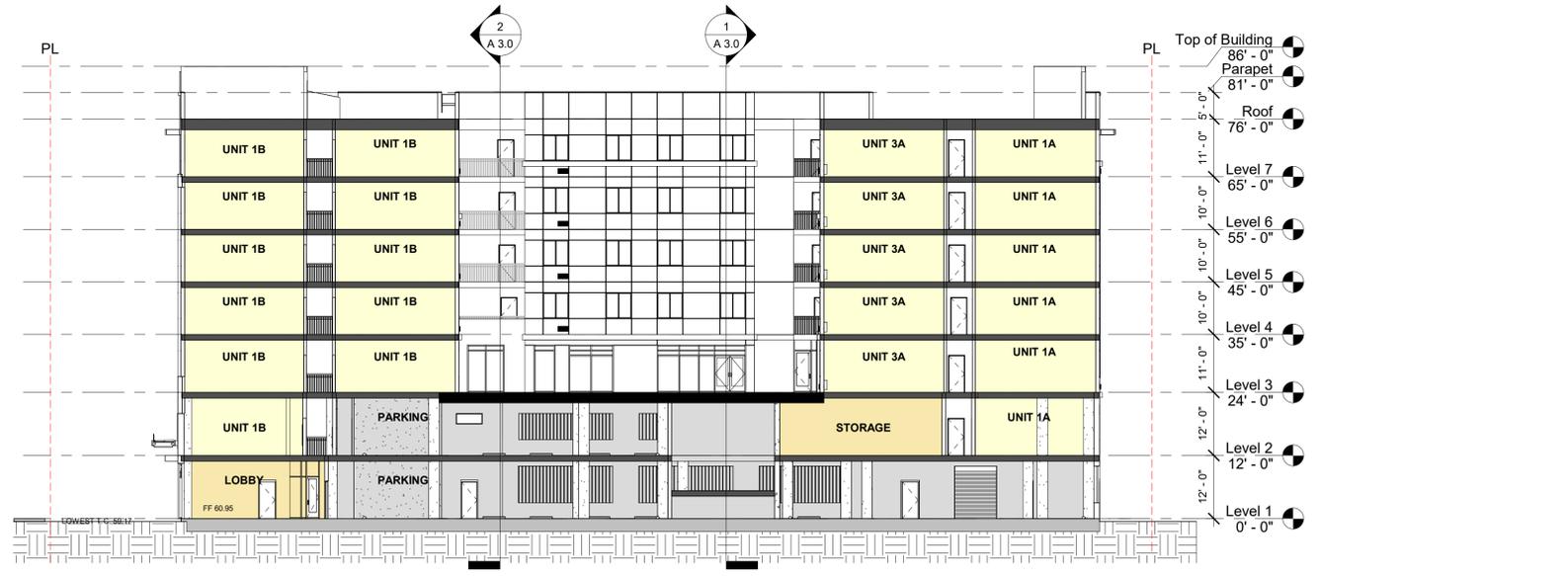
A 3.0



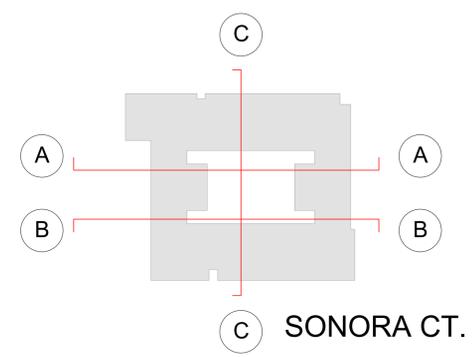
① SECTION A-A
1/16" = 1'-0"



② SECTION B-B
1/16" = 1'-0"



③ SECTION C-C
1/16" = 1'-0"



*ALL BUILDING DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL STRUCTURE



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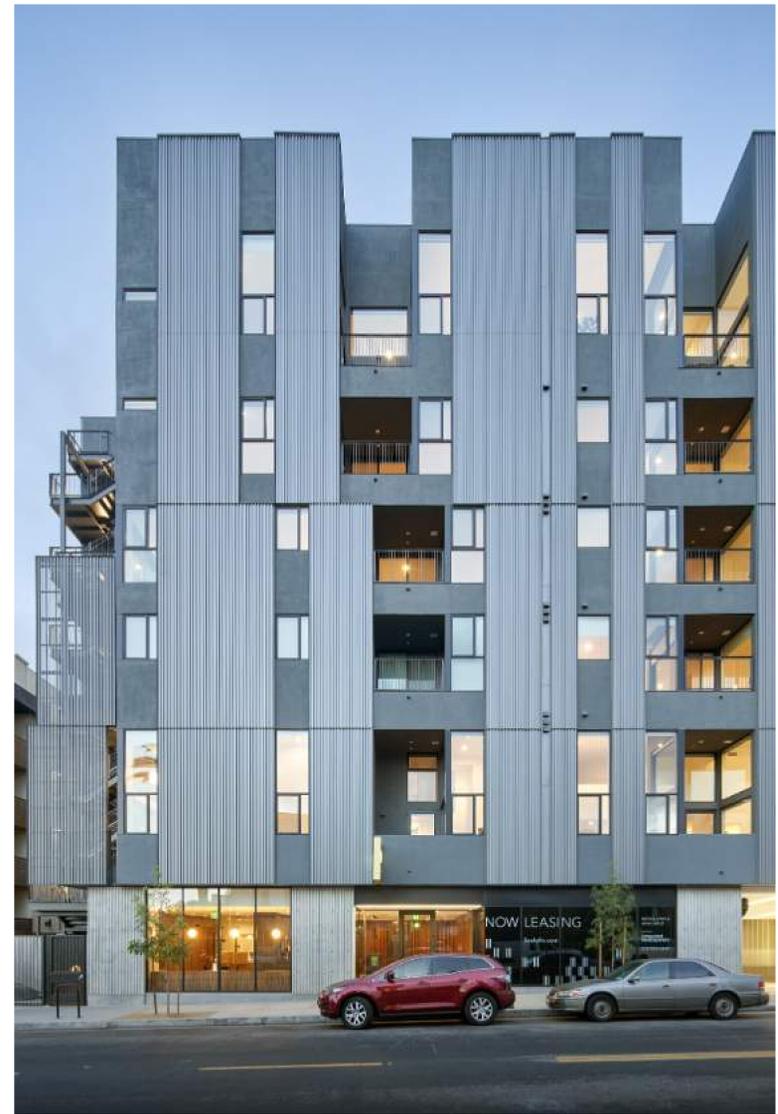
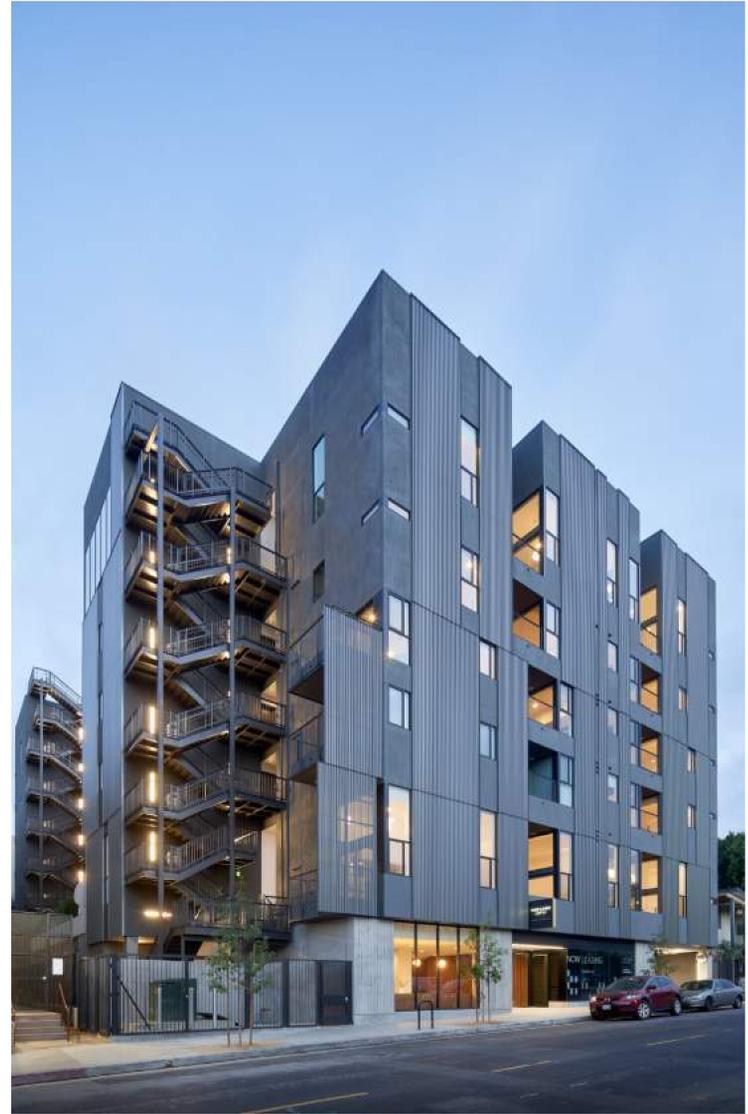


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Sheet Title:
INSPIRATIONAL
IMAGES

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Date: 07/10/2025
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(A) VIEW FROM SOUTHWEST

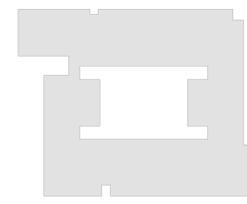
MATERIAL LEGEND

- (1a) CEMENT BOARD SIDING_TYPE 1
- (1b) CEMENT BOARD SIDING_TYPE 2
- (2a) STUCCO - BROWN
- (2b) STUCCO - WHITE
- (2c) STUCCO - DARK GRAY
- (2d) STUCCO - RUST
- (2e) STUCCO - DARK BLUE
- (2f) STUCCO - BEIGE
- (3) TILE
- (4) BRISE SOLEIL
- (5) VINYL WINDOW
- (6) GLAZING SYSTEM
- (7) VERTICAL GRILLE
- (8) CANOPY
- (9) BALCONY RAILING
- (10) AC GRILL



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SONORA CT.



*ALL BUILDING DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL STRUCTURE



(B) SOUTH ELEVATION SCALE: 1/16"= 1'-0"



SOUTH ELEVATION WITH TREES SCALE: 1/16"= 1'-0"

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Sheet Title:
SOUTH ELEVATION

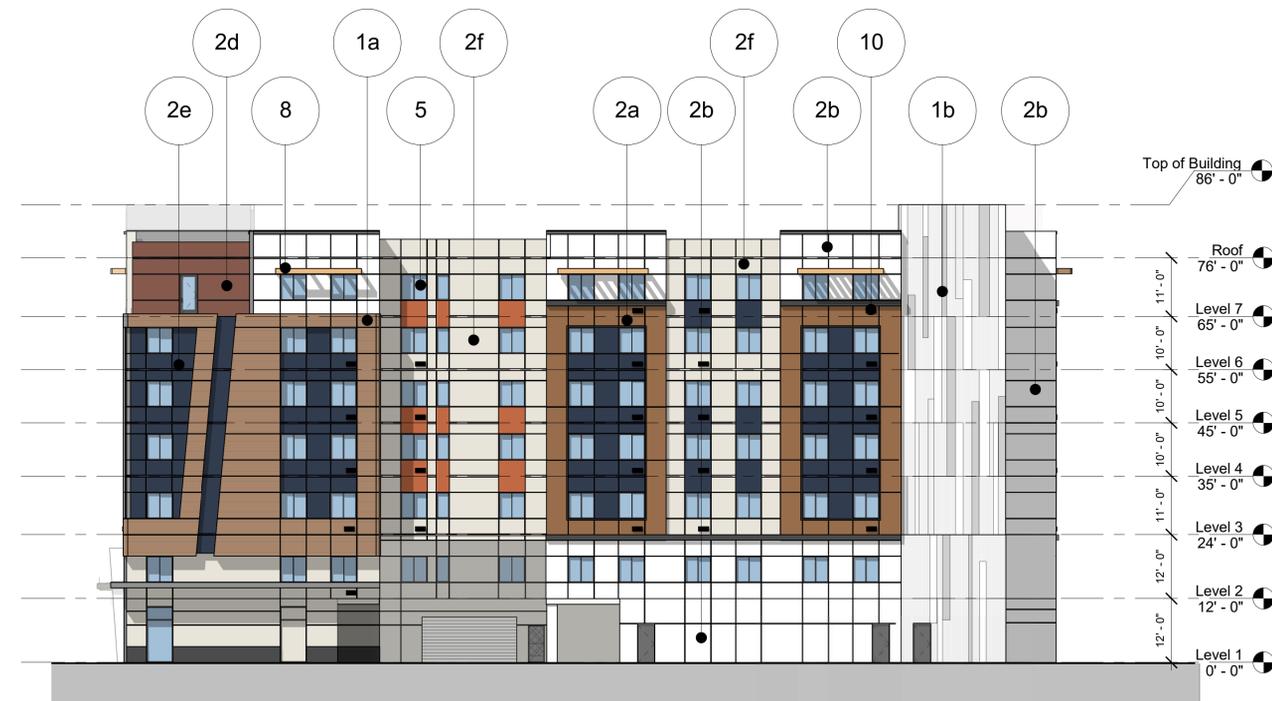
Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

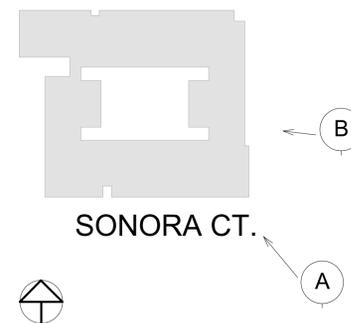
A 4.1



A VIEW FROM SOUTHEAST



B EAST ELEVATION SCALE: 1/16"= 1'-0"



*ALL BUILDING DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL STRUCTURE



EAST ELEVATION WITH TREES SCALE: 1/16"= 1'-0"

MATERIAL LEGEND

- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
- 7 VERTICAL GRILLE
- 8 CANOPY
- 9 BALCONY RAILING
- 10 AC GRILL



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MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
EAST ELEVATION

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

A 4.2



A VIEW FROM NORTHEAST

MATERIAL LEGEND

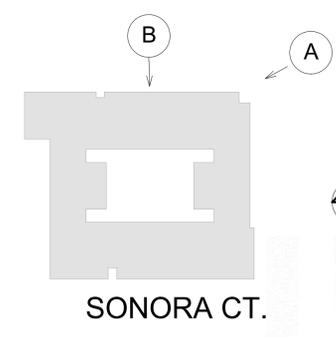
- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
- 7 VERTICAL GRILLE
- 8 CANOPY
- 9 BALCONY RAILING
- 10 AC GRILL



: Architecture
: Planning
: Urban Design

: 1970 Broadway, Suite 408
: Oakland, California 94612
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B NORTH ELEVATION SCALE: 1/16"= 1'-0"



NORTH ELEVATION WITH TREES SCALE: 1/16"= 1'-0"

1171 SONORA COURT
Sunnyvale, California
MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
NORTH ELEVATION

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:
A 4.3



MATERIAL LEGEND

- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
- 7 VERTICAL GRILLE
- 8 CANOPY
- 9 BALCONY RAILING
- 10 AC GRILL

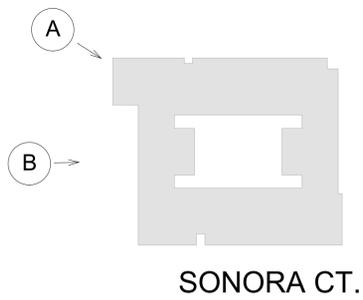


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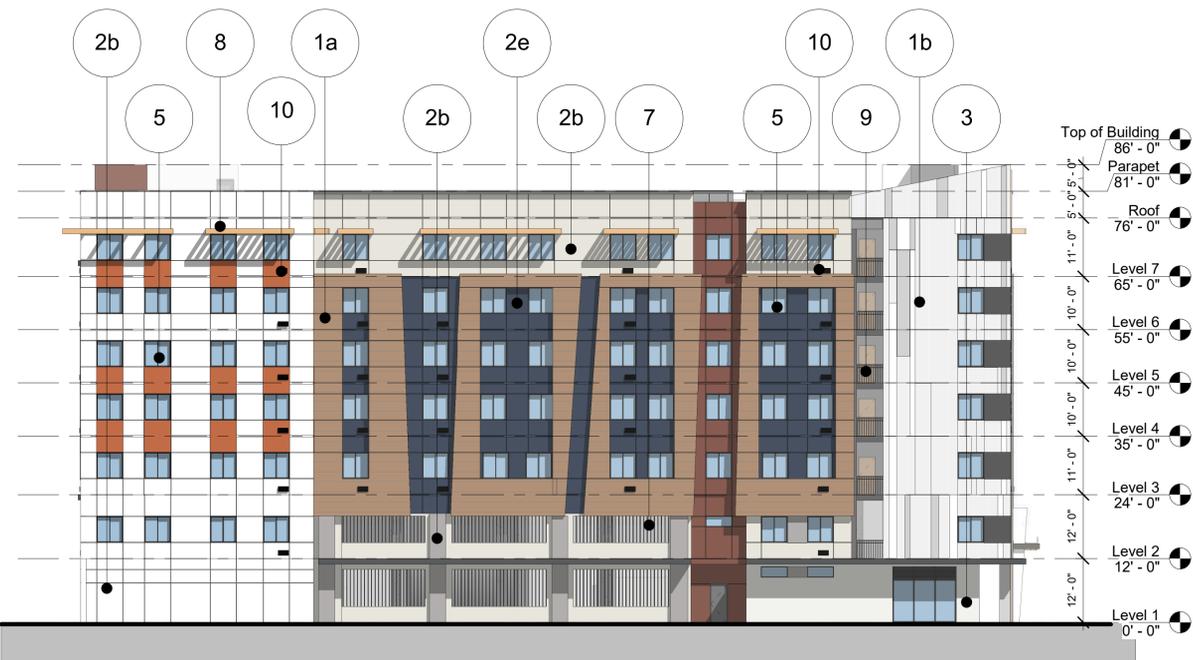
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A VIEW FROM NORTHWEST



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B WEST ELEVATION SCALE: 1/16"= 1'-0"



WEST ELEVATION WITH TREES SCALE: 1/16"= 1'-0"

1171 SONORA COURT
Sunnyvale, California

MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
WEST ELEVATION

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

A 4.4



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Sunnyvale, California
MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
COURTYARD ELEVATIONS

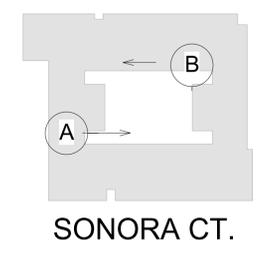
Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

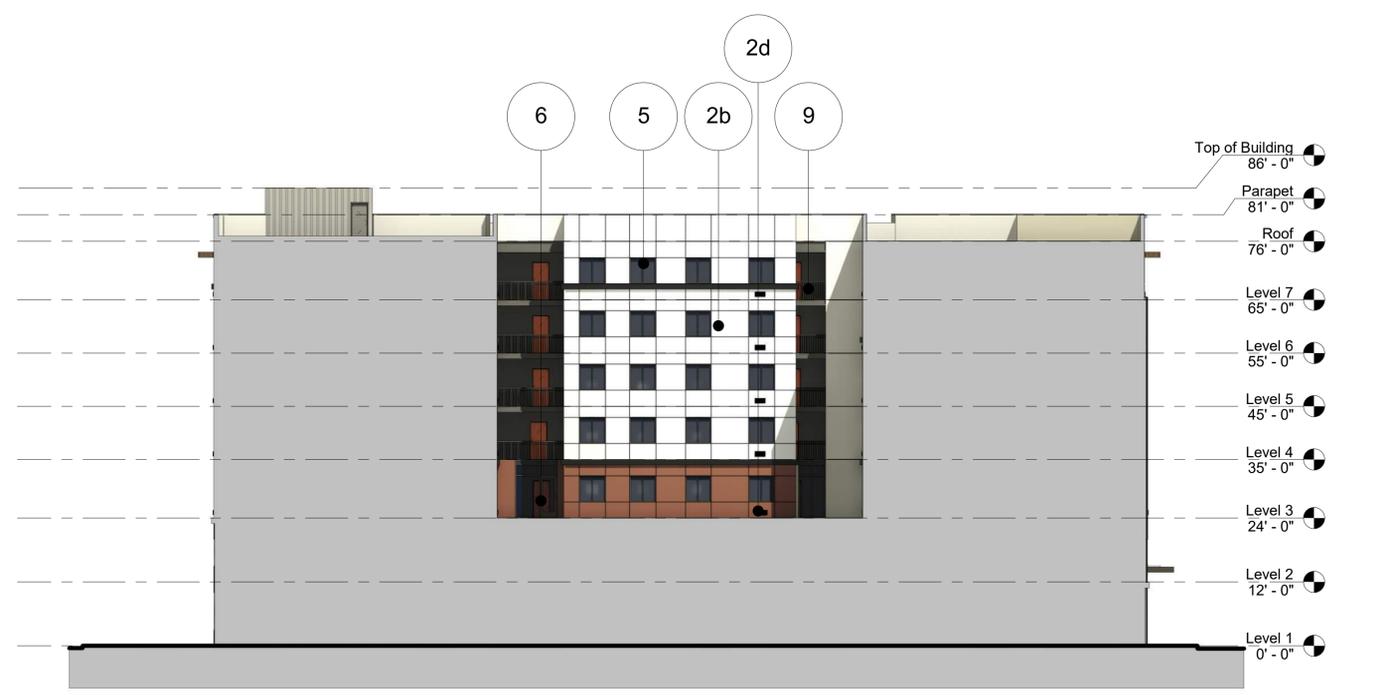
A 4.5

MATERIAL LEGEND

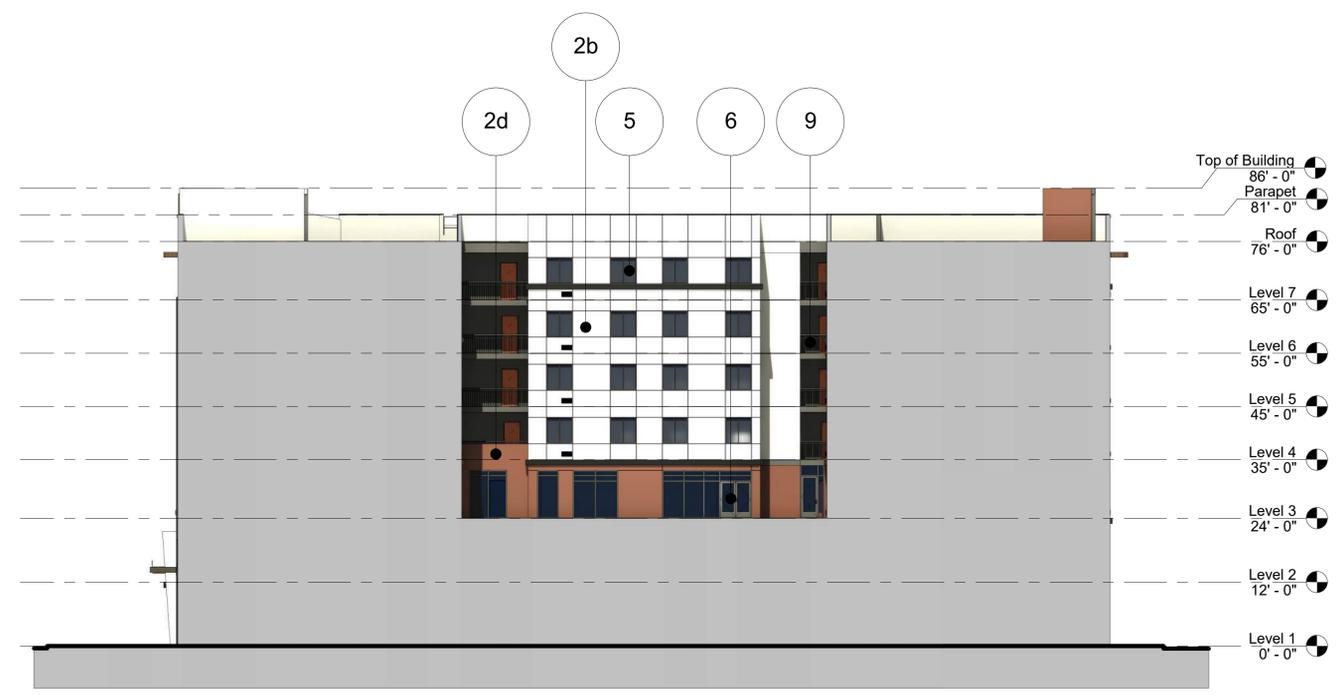
- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
- 7 VERTICAL GRILLE
- 8 CANOPY
- 9 BALCONY RAILING
- 10 AC GRILL



*ALL BUILDING DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL STRUCTURE



(A) COURTYARD EAST ELEVATION
1/16" = 1'-0"



(B) COURTYARD WEST ELEVATION
1/16" = 1'-0"



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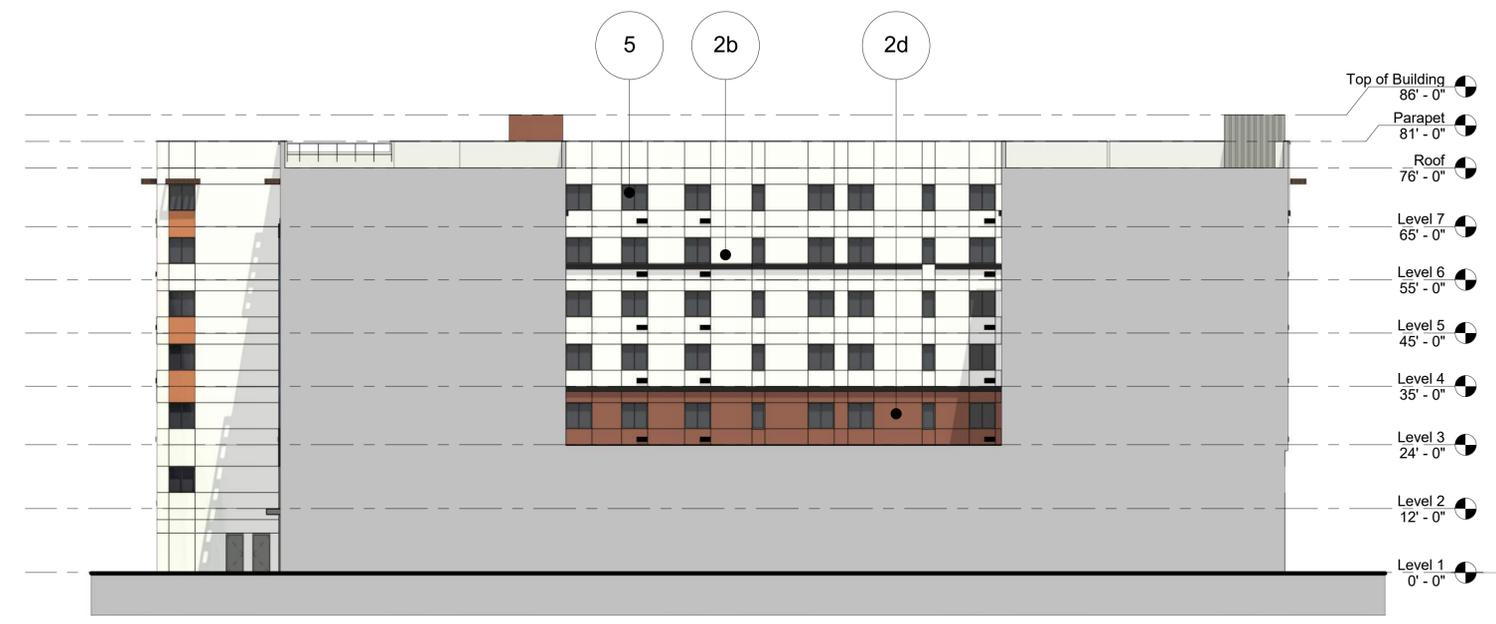


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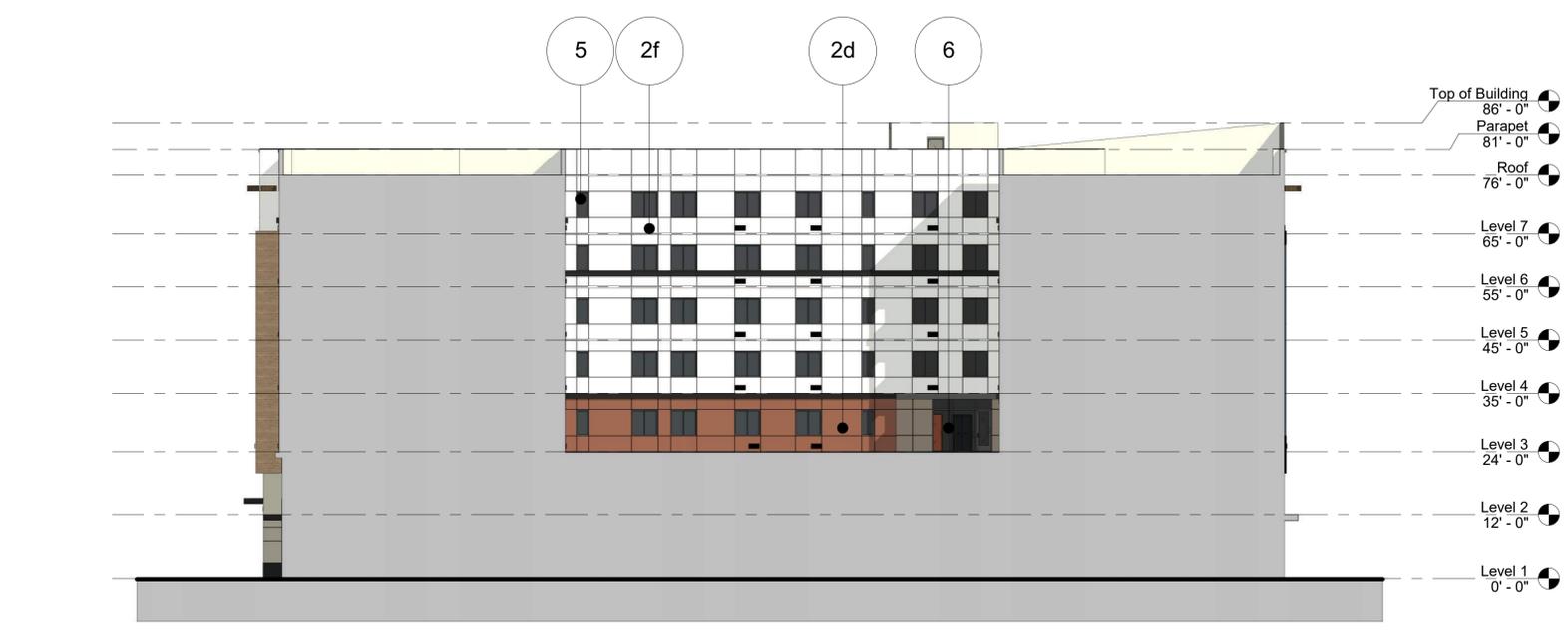
MATERIAL LEGEND

- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
- 7 VERTICAL GRILLE
- 8 CANOPY
- 9 BALCONY RAILING
- 10 AC GRILL

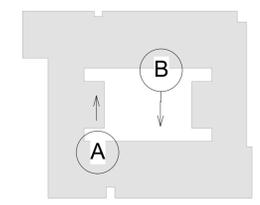
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A COURTYARD NORTH ELEVATION
1/16" = 1'-0"



B COURTYARD SOUTH ELEVATION
1/16" = 1'-0"



SONORA CT.

Sheet Title:
COURTYARD
ELEVATIONS

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

A 4.6



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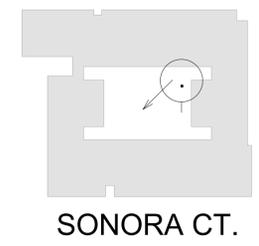


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Sunnyvale, California
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Sheet Title:
COURTYARD
RENDERING

Job No. 21009
Date: 07/10/2025
Scale: 1" = 80'-0"
Drawn By:

Sheet No:
A 4.7





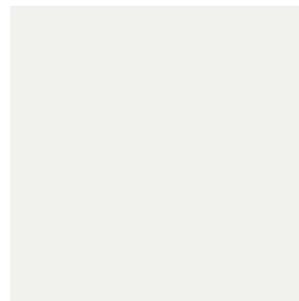
1a CEMENT BOARD SIDING_TYPE 1



1b CEMENT BOARD SIDING_TYPE 2



2a STUCCO - BROWN
BENJAMIN MOORE
GLENWOOD BROWN OR
SIMILAR



2b STUCCO - WHITE
BENJAMIN MOORE
SUPER WHITE OR SIMILAR



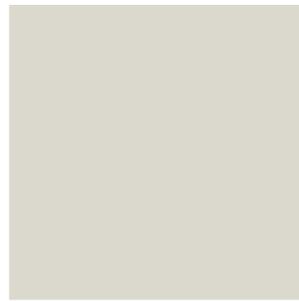
2c STUCCO - DARK GRAY
BENJAMIN MOORE
MIDNIGHT OIL OR SIMILAR



2d STUCCO - RUST
BENJAMIN MOORE
BEAVER BROWN OR
SIMILAR



2e STUCCO - BLUE
BENJAMIN MOORE
DEEP ROYAL OR SIMILAR



2f STUCCO - BEIGE
BENJAMIN MOORE
LIGHT PEWTER OR SIMILAR



3 TILE



4 BRISE SOLEIL



5 VINYL WINDOW
NO REFLECTIVE GLASS



6 GLAZING SYSTEM
NO REFLECTIVE GLASS



8 CANOPY

MATERIAL LEGEND

- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
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- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
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Sheet Title:
MATERIAL BOARD

Job No. 21009
 Date: 07/10/2025
 Scale: 12" = 1'-0"
 Drawn By:

Sheet No:

A 5.0



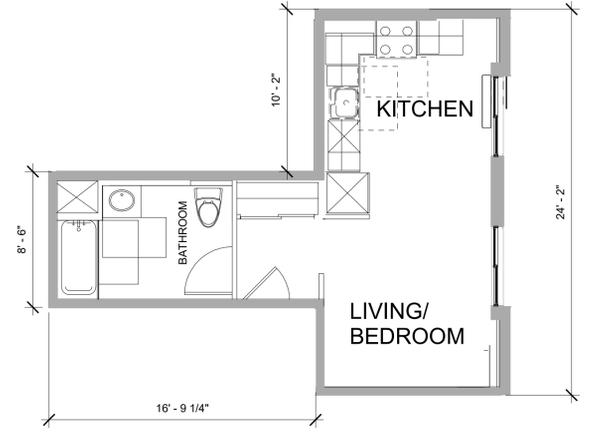
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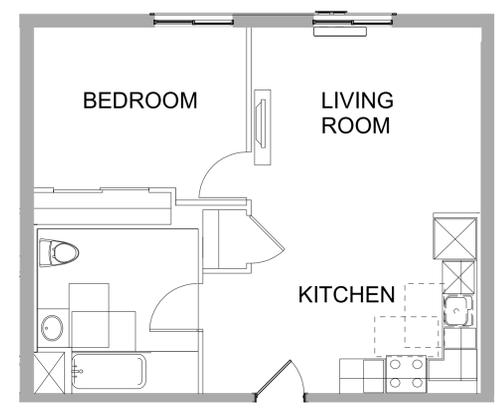
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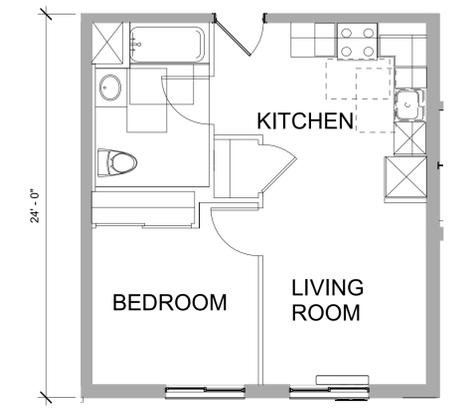
1 STUDIO UNIT - S1 - 450 SF
3/16" = 1'-0"



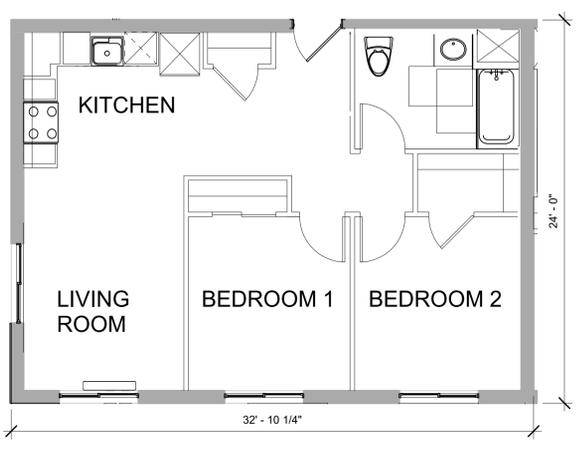
2 STUDIO UNIT - S2 - 400 SF
3/16" = 1'-0"



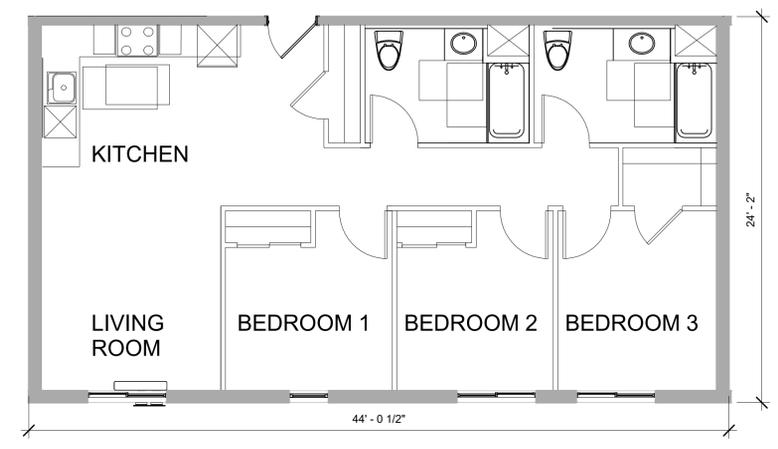
3 1-BED UNIT - 1A - 649 SF
3/16" = 1'-0"



4 1-BED UNIT- 1B - 491 SF
3/16" = 1'-0"



5 2 BED UNIT - 2A - 711 SF
3/16" = 1'-0"



6 3-BED UNIT - 3B- 968 SF
3/16" = 1'-0"

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Sunnyvale, California
MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
**REPRESENTATIVE
UNIT PLANS**

Job No. 21009
Date: 07/10/2025
Scale: 3/16" = 1'-0"
Drawn By:

Sheet No:

A 6.0

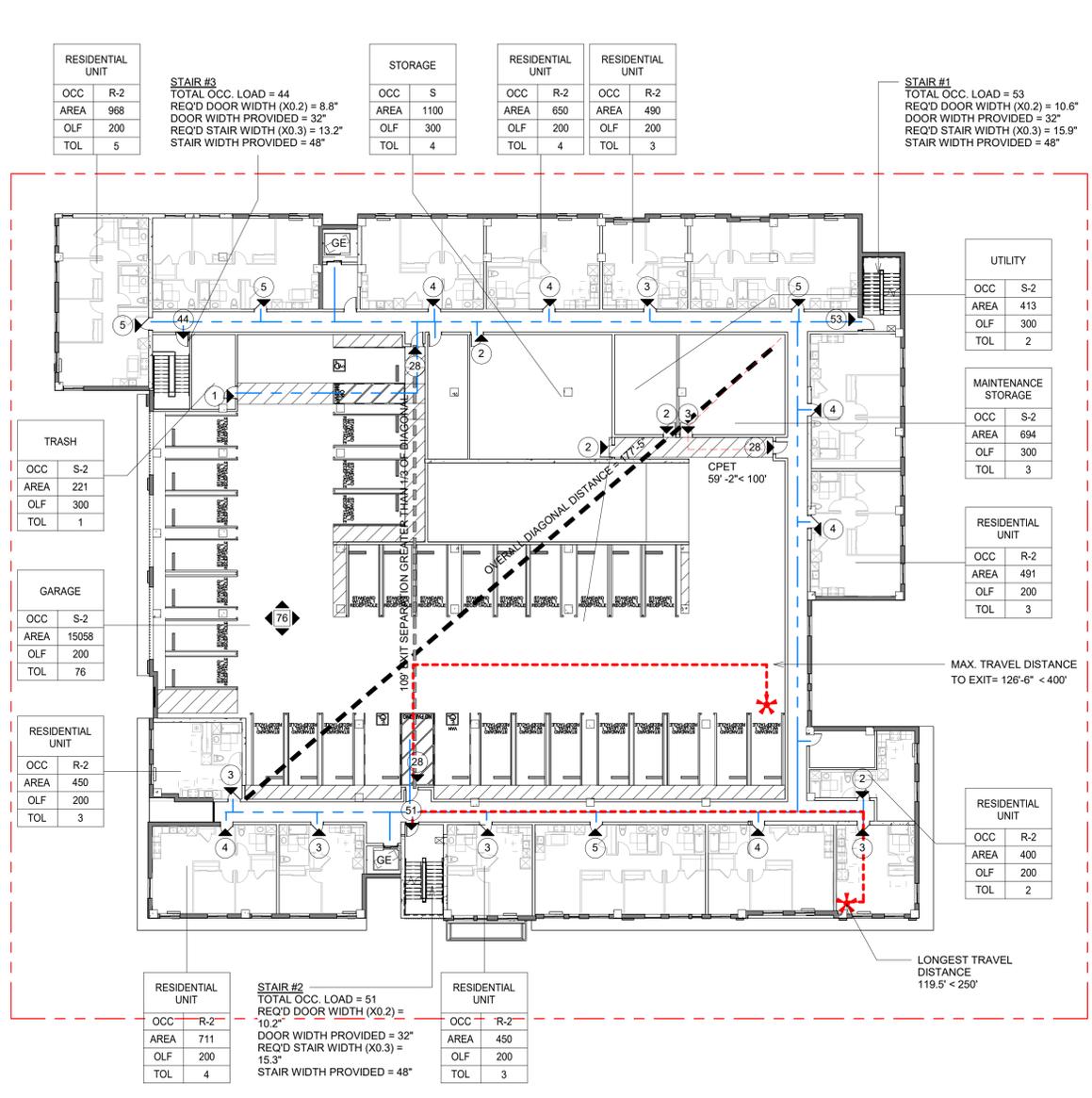


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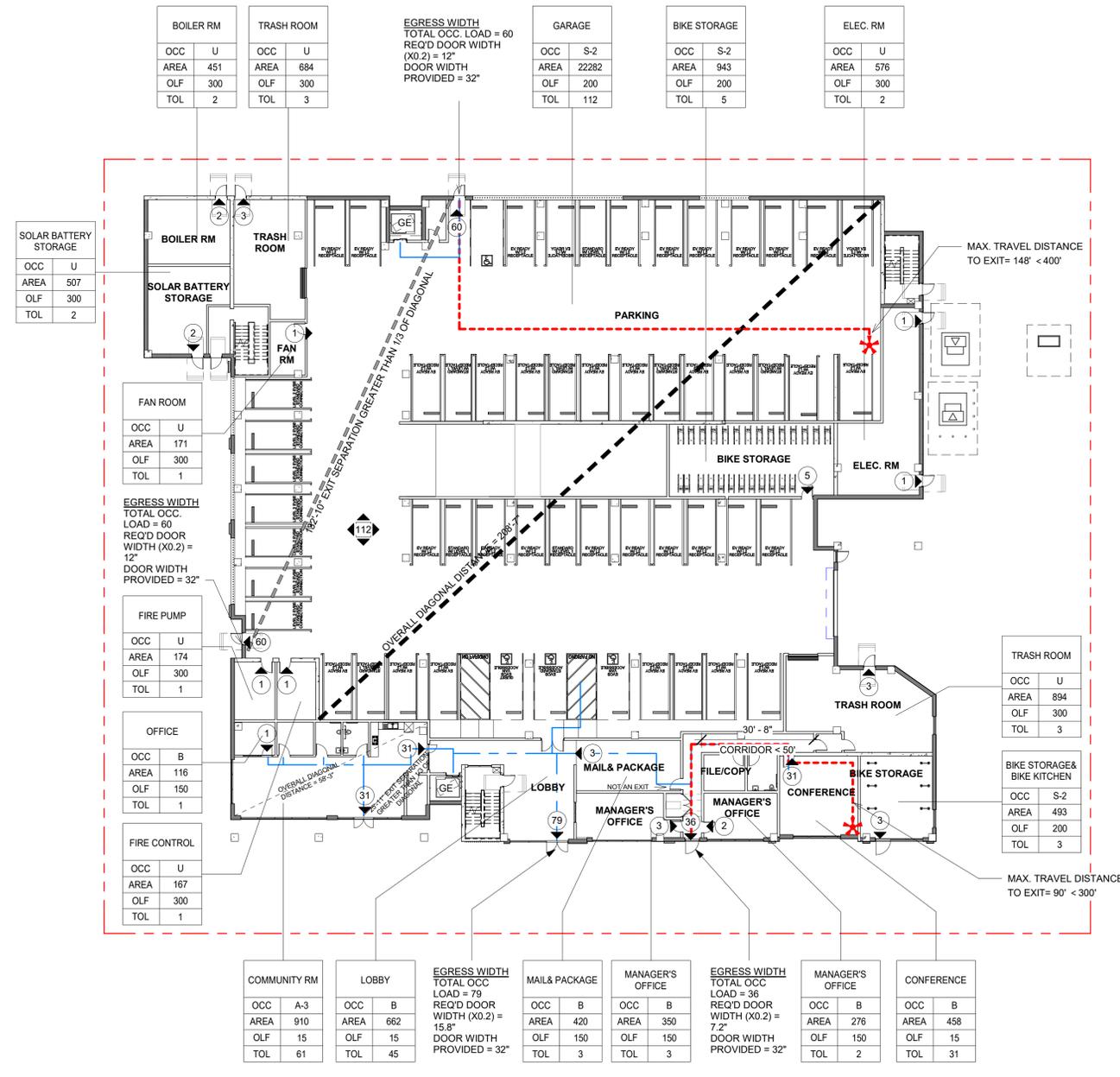
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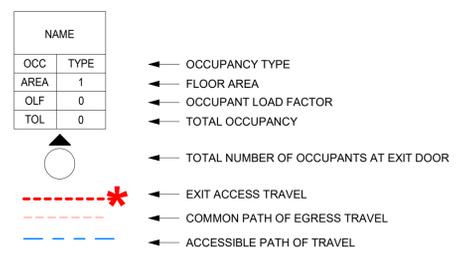
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ENGRESS PLAN_LEVEL 2 1" = 20'-0" 2



ENGRESS PLAN_LEVEL 1 1" = 20'-0" 1



Sheet Title:
EGRESS PLANS

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

A 7.0

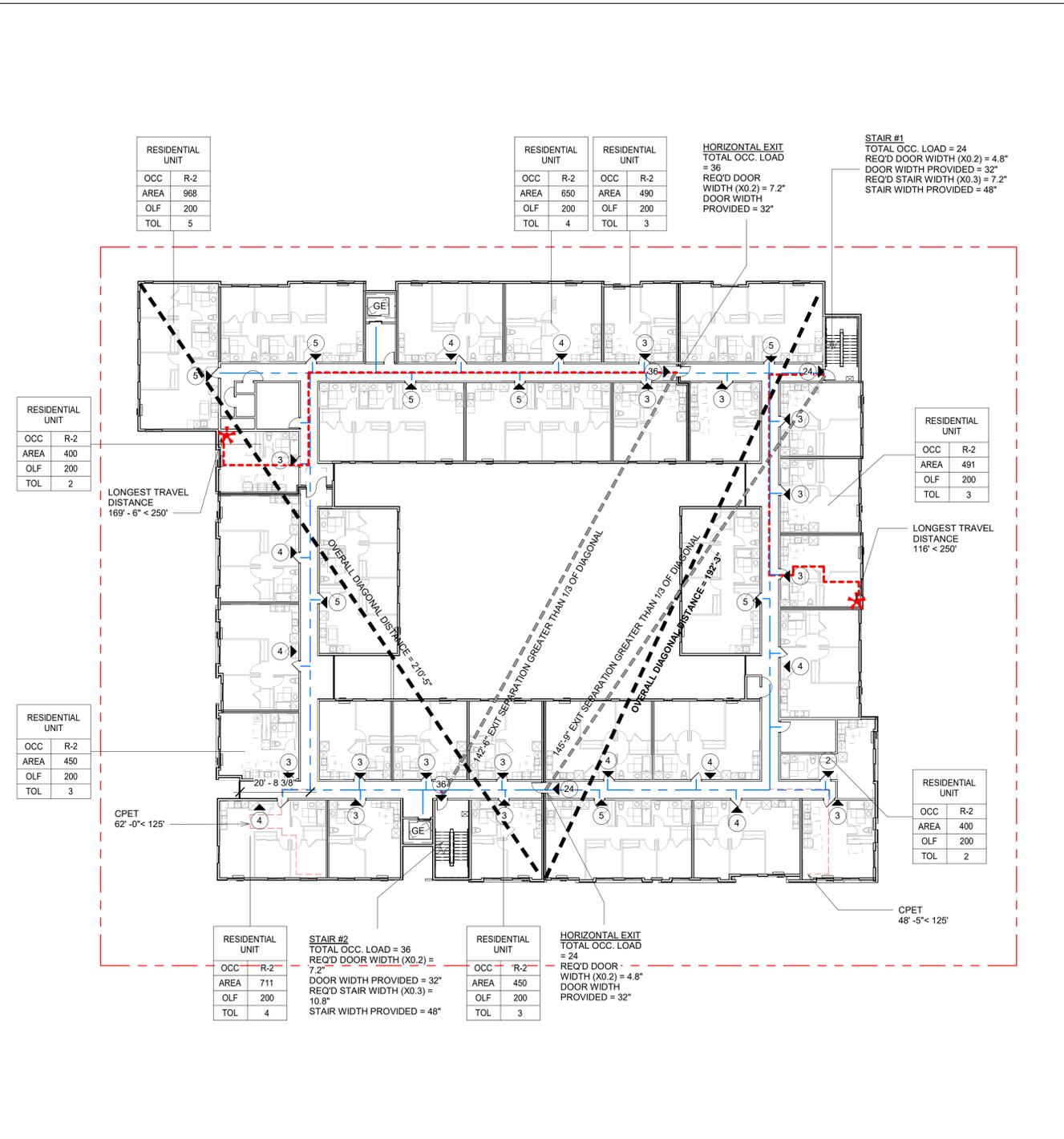


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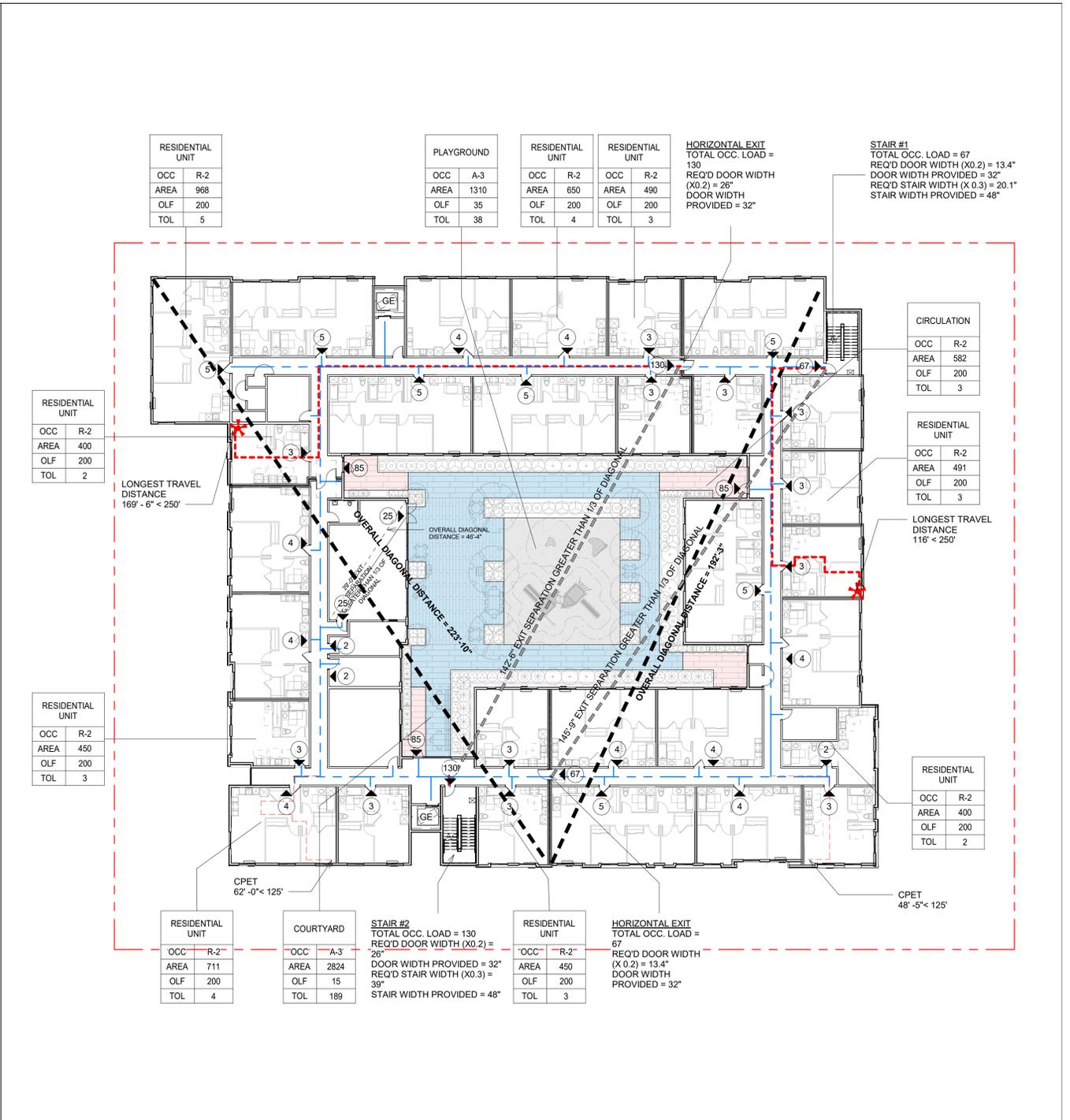
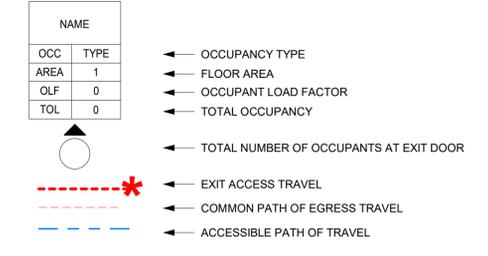
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ENGRESS PLAN_LEVEL 4 (LEVEL 5-6 SIMILAR) 1" = 20'-0" 2



ENGRESS PLAN_LEVEL 3 1" = 20'-0" 1

Sheet Title:
EGRESS PLANS

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:
A 7.1



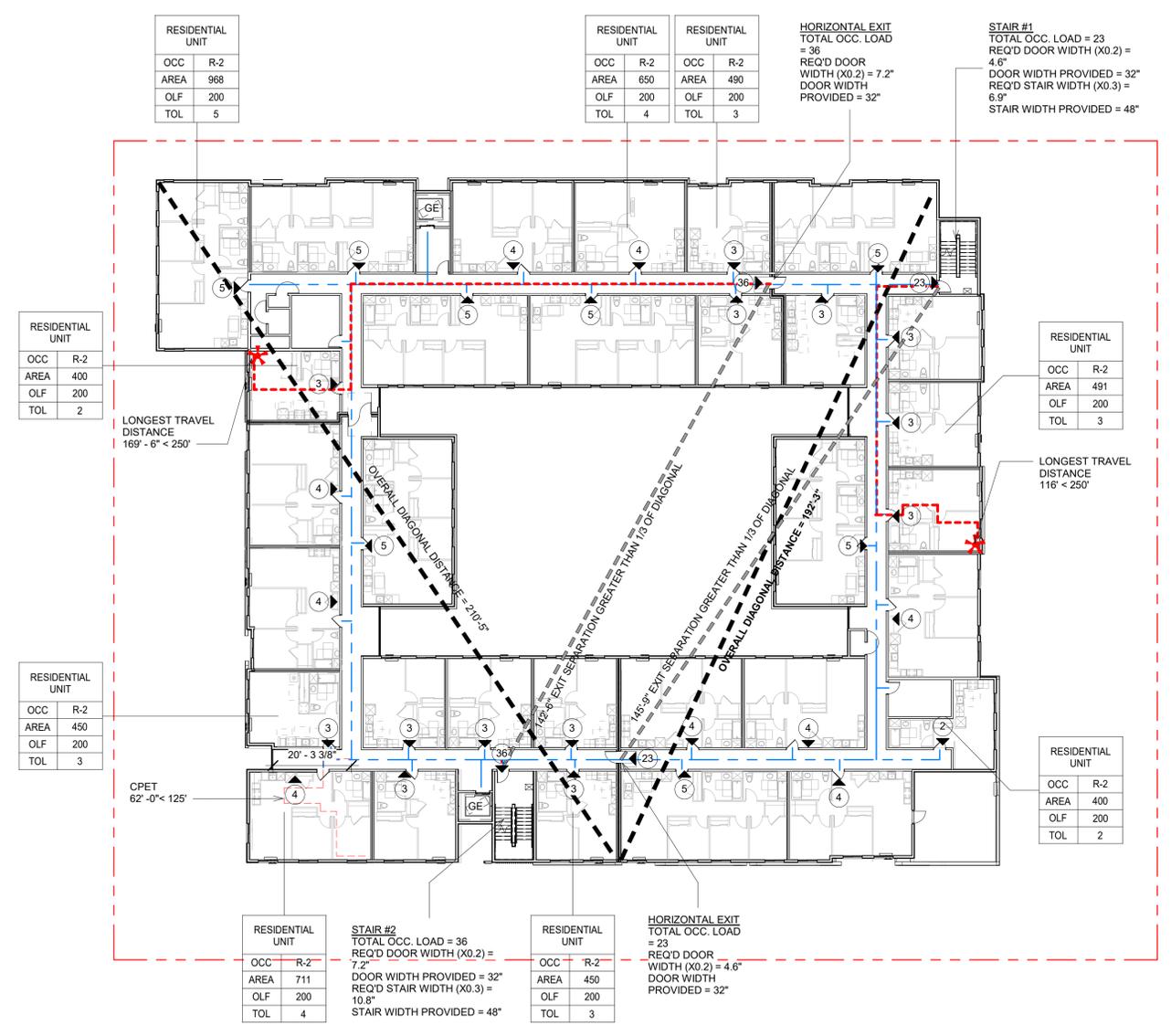
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ENGRESS PLAN_LEVEL 7 1" = 20'-0" 1

| NAME | | |
|------|------|--|
| OCC | TYPE | ← OCCUPANCY TYPE |
| AREA | 1 | ← FLOOR AREA |
| OLF | 0 | ← OCCUPANT LOAD FACTOR |
| TOL | 0 | ← TOTAL OCCUPANCY |
| | | ← TOTAL NUMBER OF OCCUPANTS AT EXIT DOOR |
| | | ← EXIT ACCESS TRAVEL |
| | | ← COMMON PATH OF EGRESS TRAVEL |
| | | ← ACCESSIBLE PATH OF TRAVEL |

Sheet Title:
EGRESS PLAN

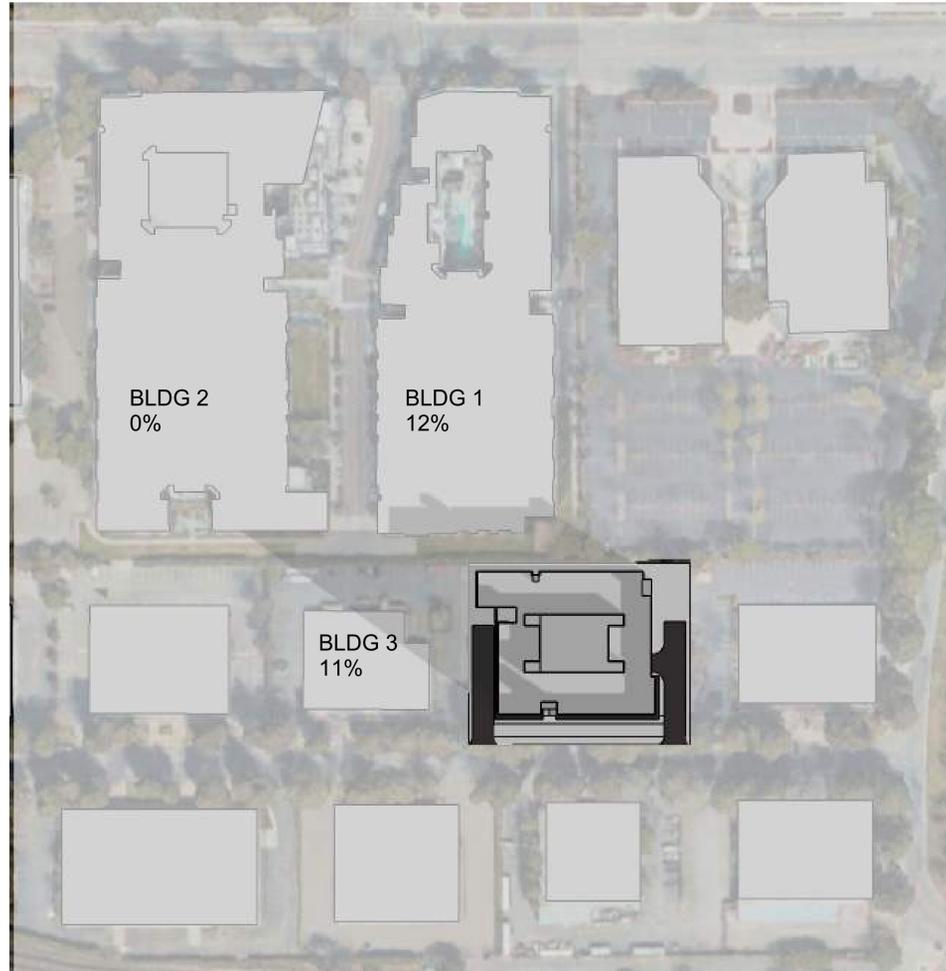
Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:
A 7.2

19.56.020. Solar energy systems—Impairment of solar access by structures.

(b) Applications for new construction above the first level of any structure shall include the following solar shading analysis by a qualified professional:

- (1) The solar shading analysis shall show the extent to which the proposed construction will shade adjacent rooftops and solar collectors at nine a.m. and three p.m. Pacific Time on December 21st.



12/21 9:00 AM

| | |
|------------|------------------|
| BUILDING 1 | 12% Not Complied |
| BUILDING 2 | 0% Complied |
| BUILDING 3 | 11% Not Complied |



12/21 3:00 PM

| | |
|------------|-------------|
| BUILDING 1 | 0% Complied |
| BUILDING 2 | 0% Complied |
| BUILDING 3 | 0% Complied |

This shading analysis is based on the existing adjacent 1-story buildings. Per Lawrence Station Area Plan, this area is envisioned as a higher density TOD district that most of the adjacent sites will be developed into the similar density and building heights as the proposed project. This will significantly reduce the shading percentages on the adjacent buildings.



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Sheet Title:
SOLAR STUDY

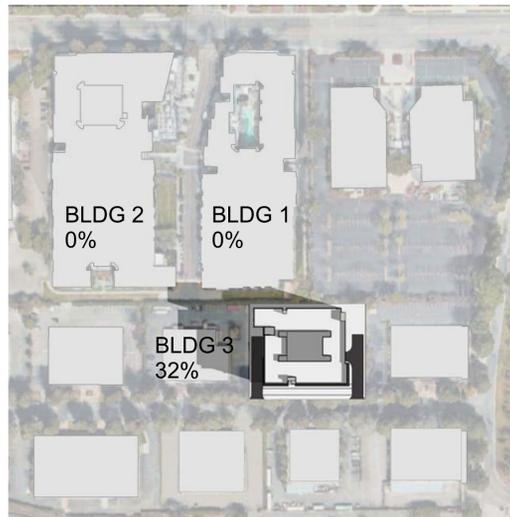
Job No. 21009
Date: 07/10/2025
Scale: 1/16" = 1'-0"
Drawn By:

Sheet No:

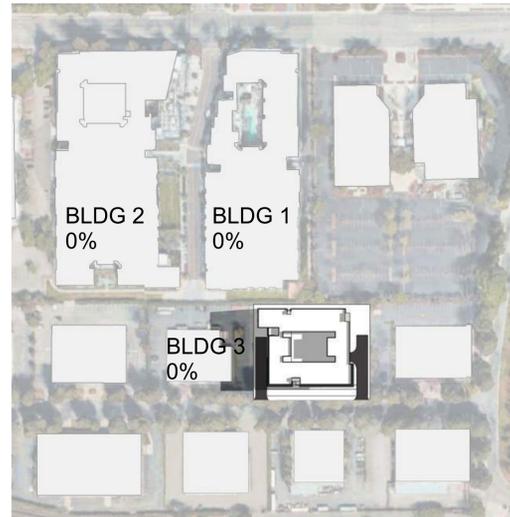
A 8.0

(b) Applications for new construction above the first level of any structure shall include the following solar shading analysis by a qualified professional:

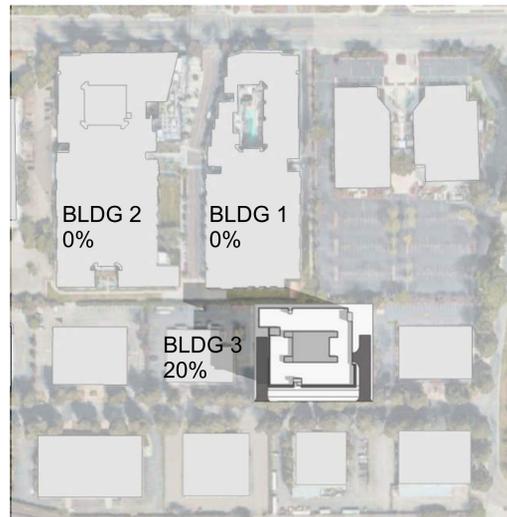
(2) If the above solar shading analysis shows a conflict with solar access greater than ten percent, the applicant shall provide an additional analysis which calculates the extent to which the proposed construction will shade adjacent rooftops and solar collectors between nine a.m. to three p.m. Pacific Time throughout the entire three hundred sixty-five-day solar cycle. If the analysis shows a cumulative shadowing effect of less than ten percent total over the course of the three hundred sixty-five-day solar cycle, the application shall be deemed to be in compliance with this section.



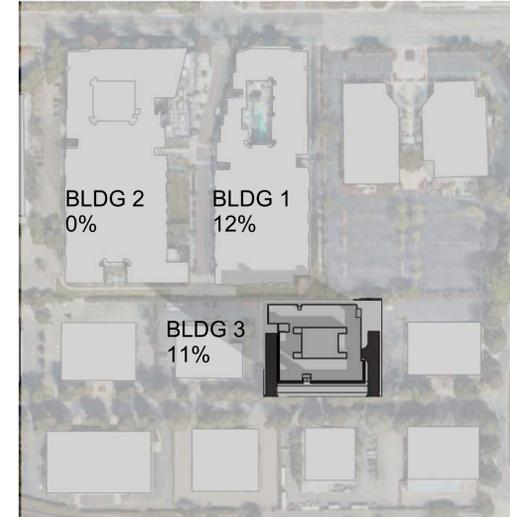
3/21 9AM



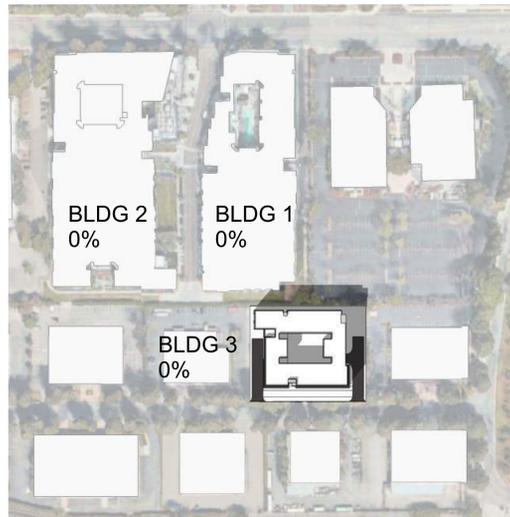
6/21 9AM



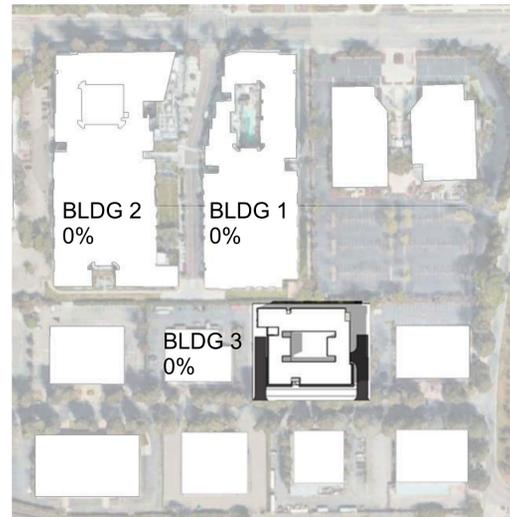
9/21 9AM



12/21 9AM



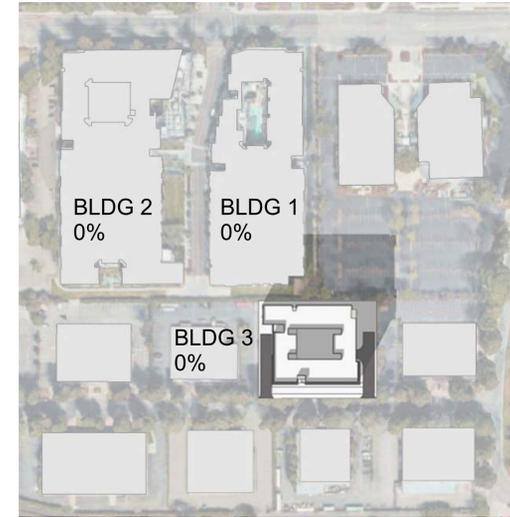
3/21 3 PM



6/21 3 PM



9/21 3 PM



12/21 3 PM

| | | Building 1 | | | Building 2 | | | Building 3 | | | | |
|-------------------|-------|------------|-----|----------------|------------|-----|----------------|------------|-----|----------------|--|--|
| | | 9AM | 3PM | Median Value | 9AM | 3PM | Median Value | 9AM | 3PM | Median Value | | |
| Spring Equinox | 3/21 | 0% | 0% | 0% | 0% | 0% | 0% | 32% | 0% | 16% | | |
| Summer Solstice | 6/21 | 0% | 0% | 0% | 0% | 0% | 0% | 0% | 0% | 0% | | |
| September Equinox | 9/21 | 0% | 0% | 0% | 0% | 0% | 0% | 20% | 0% | 10% | | |
| December Solstice | 12/21 | 12% | 0% | 6% | 0% | 0% | 0% | 11% | 0% | 5.5% | | |
| | | | | avg 1.5% | | | avg 0% | | | avg 7.875% | | |
| | | | | < 10% Complied | | | < 10% Complied | | | < 10% Complied | | |



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Sheet Title:
SOLAR STUDY

Job No. 21009
Date: 07/10/2025
Scale: 1" = 30'-0"
Drawn By:

Sheet No:

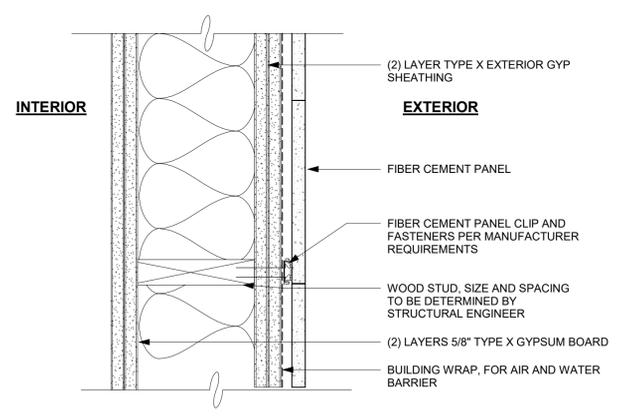
A 8.1



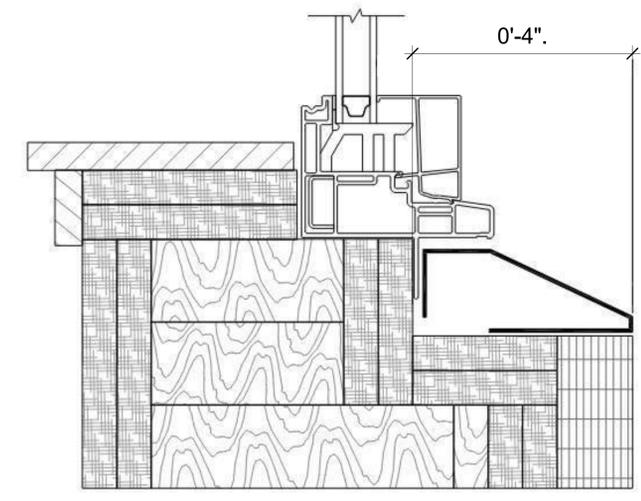
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FIBER CEMENT BOARD ATTACHEMENT CONCEPTUAL DETAIL 3" = 1'-0" 2



EXTERIOR ELEVATION RECESSED WINDOW CONCEPTUAL DETAIL 6" = 1'-0" 1

*ALL DETAILS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL STRUCTURE

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Sheet Title:
CONCEPTUAL
DETAILS

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:

A 9.0



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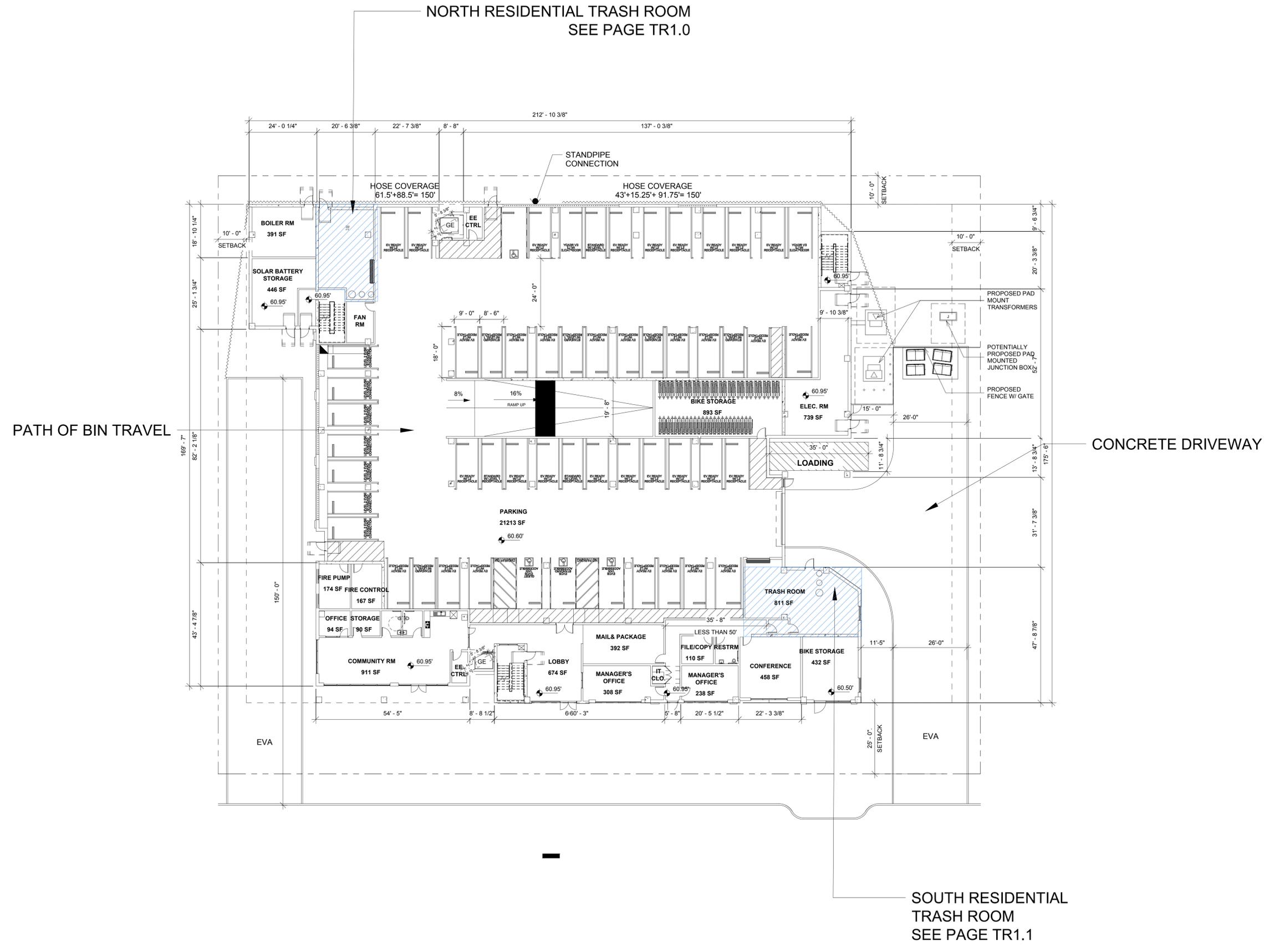
Sheet Title:

**OVERALL
SITE PLAN**

Job No. 21009
Date: 03/06/2025
Scale: 1/16" = 1'-0"
Drawn By: PK

Sheet No:

TR0.1



NORTH RESIDENTIAL TRASH ROOM
SEE PAGE TR1.0

SOUTH RESIDENTIAL
TRASH ROOM
SEE PAGE TR1.1

CONCRETE DRIVEWAY

PATH OF BIN TRAVEL



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Sheet Title:
TRASH COLLECTION ROOM SOUTH

Job No: 21009
Date: 03/06/2025
Scale: 3/8" = 1'-0"
Drawn By: PK

Sheet No:

TR1.1

SHEET NOTES:

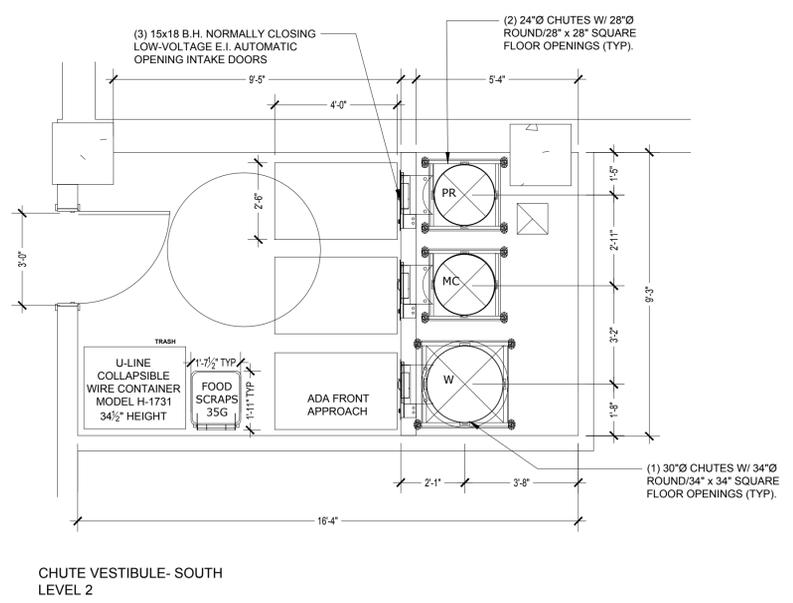
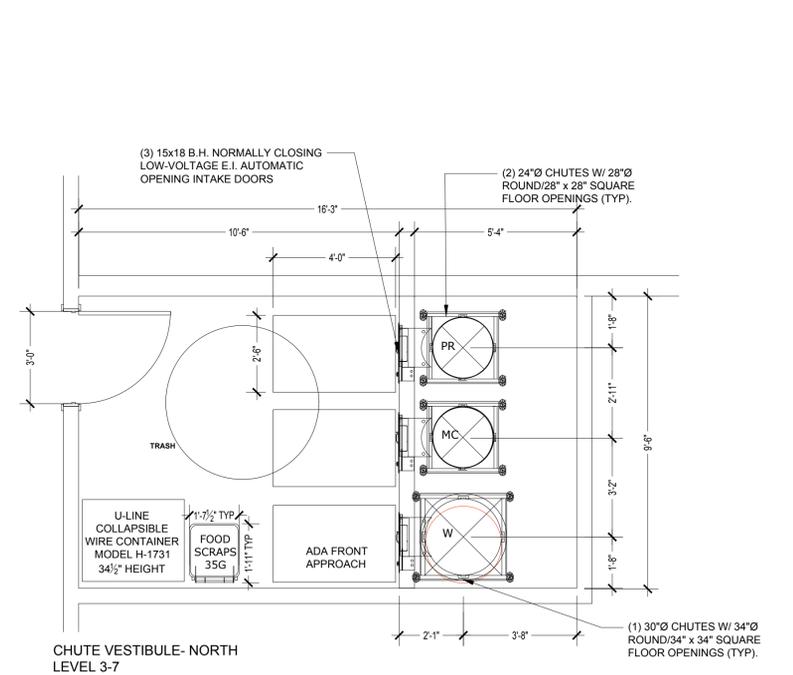
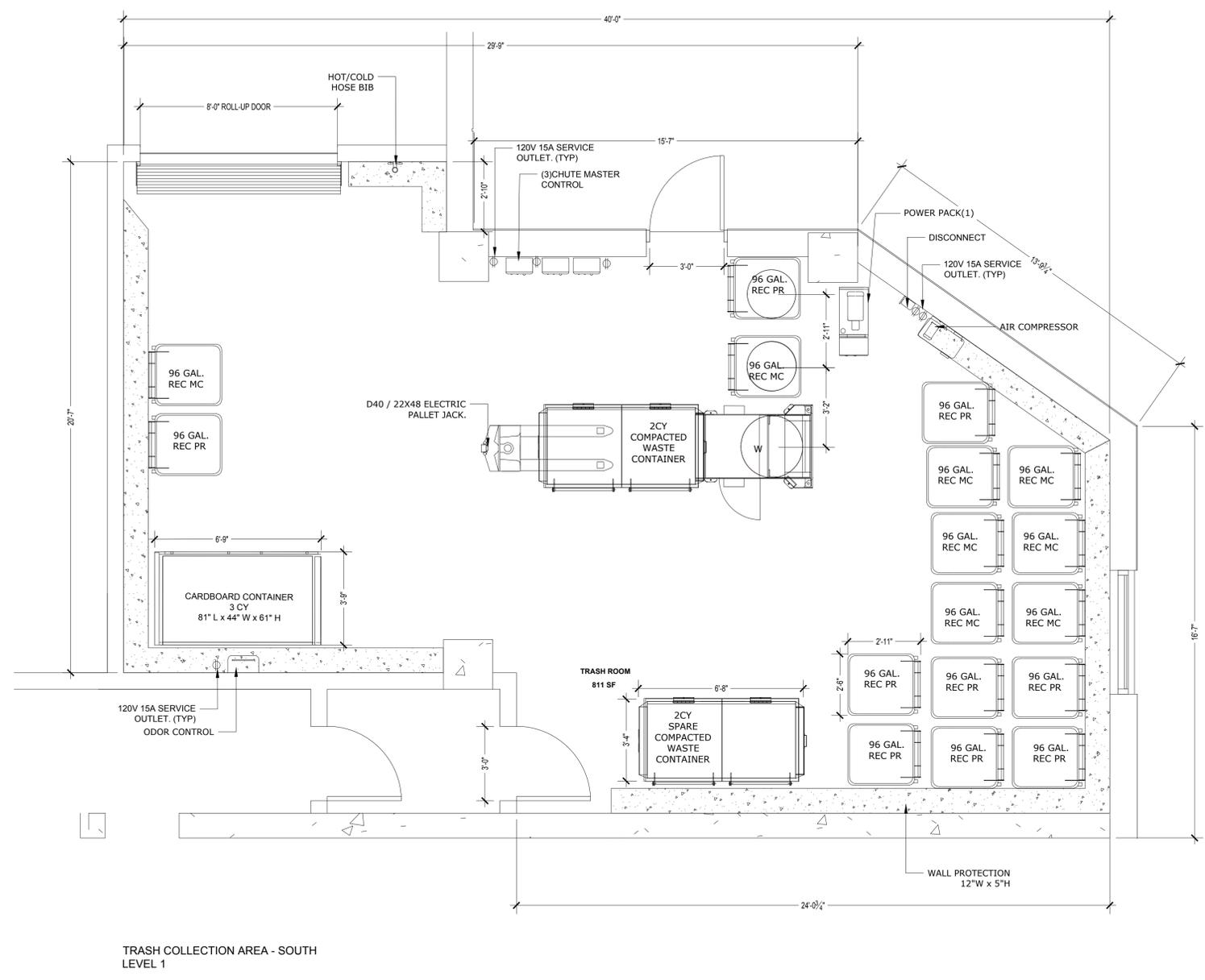
- RESIDENTIAL TRASH TERMINATION ROOM
- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
 - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION: 5"x12"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS.
 - 8'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2022 CBC.
 - (1) 30"Ø GRAVITY CHUTE WITH COMPACTORS FOR WASTE WITH 2CY FL CONTAINER & (1) 24" CHUTE FOR PAPER RECYCLING & METAL CONTAINER RECYCLING WITH 96 GAL CARTS. PROVIDE 2CY FL LOOSE CONTAINER FOR CARDBOARD. CHUTES SHALL TERMINATE AT 5'-9" AFF.
 - PP: COMPACTOR POWER PACKS SHALL BE FLOOR-MOUNTED. (1) SHP 3-PHASE, 208/230/460V, 30A DISCONNECTS 60" AFF.
 - MCP: CHUTE MASTER CONTROL PANEL (1 PER CHUTE) SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
 - AIR COMPRESSOR (OIL LESS) 4610AC WITH AUTOMATIC TANK DRAIN VALVE. 1HP RATED / RUNNING, 2HP PEAK, TWIN TANK CAPACITY 4.6 GALLONS, VOLTAGE @ 60 HZ 110 VOLTS, CURRENT 8.5 AMPS TO POWER THE CHUTE INTAKE DOORS.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
 - HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4500lb CAPACITY; TURNING RADIUS: 57.5". REQUIRES 120V 15A SERVICE OUTLETS.
 - CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY ROLLING DOOR, HELD OPEN BY 165' F FUSIBLE LINK.
 - (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

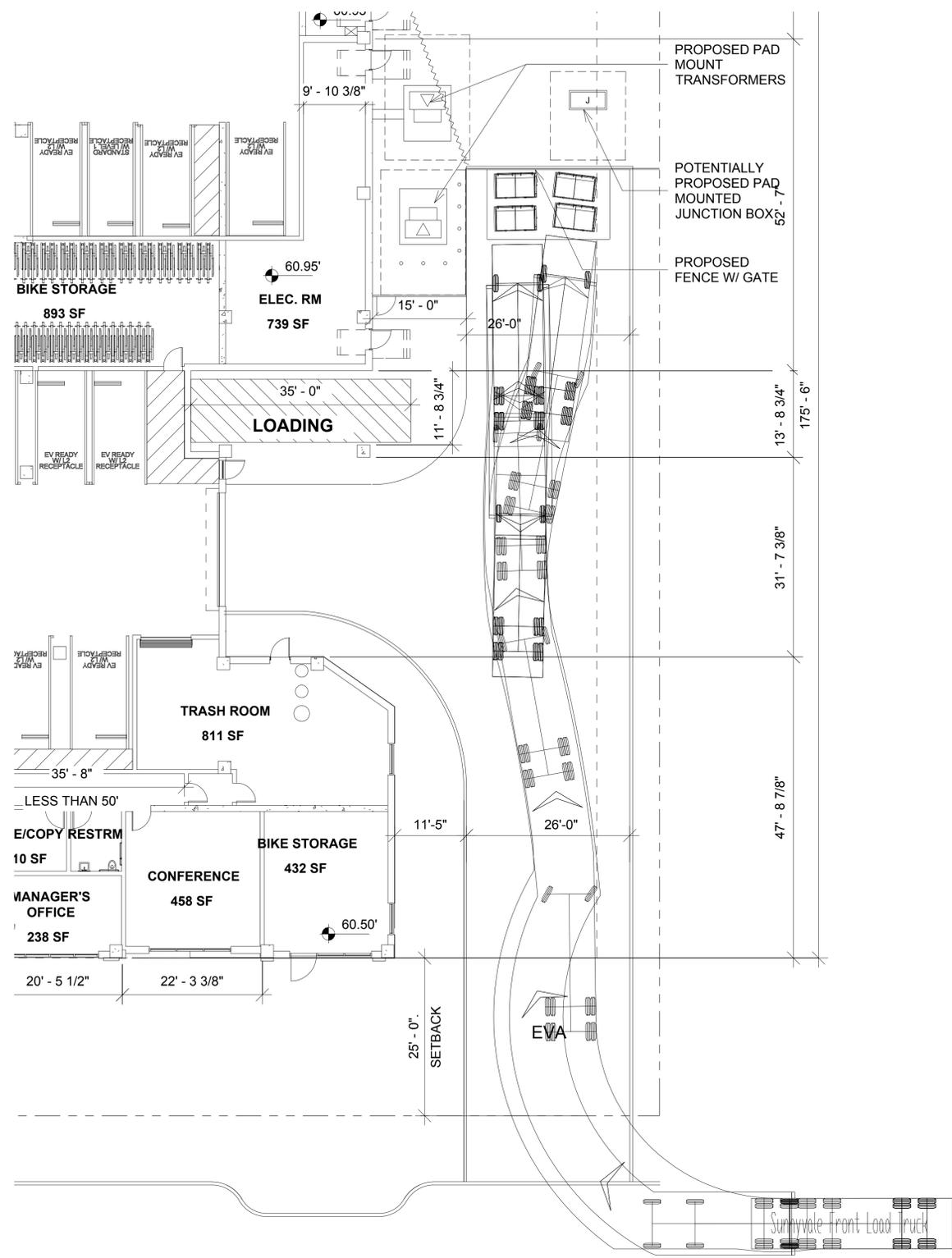
CHUTE INTAKE VESTIBULES:

- CHUTE INTAKE VESTIBULES SHALL BE 2HR FIRE-RATED (NFPA-82 6.2.5.1.1) WITH 1.5HR FIRE-RATED DOOR(S) (NFPA-82 6.2.3.1.3); 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS, PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 1TR2.0.
- CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES (BY OTHERS).
- PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9TR2.0 FOR ANCHORING AND MASON BRA-RED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

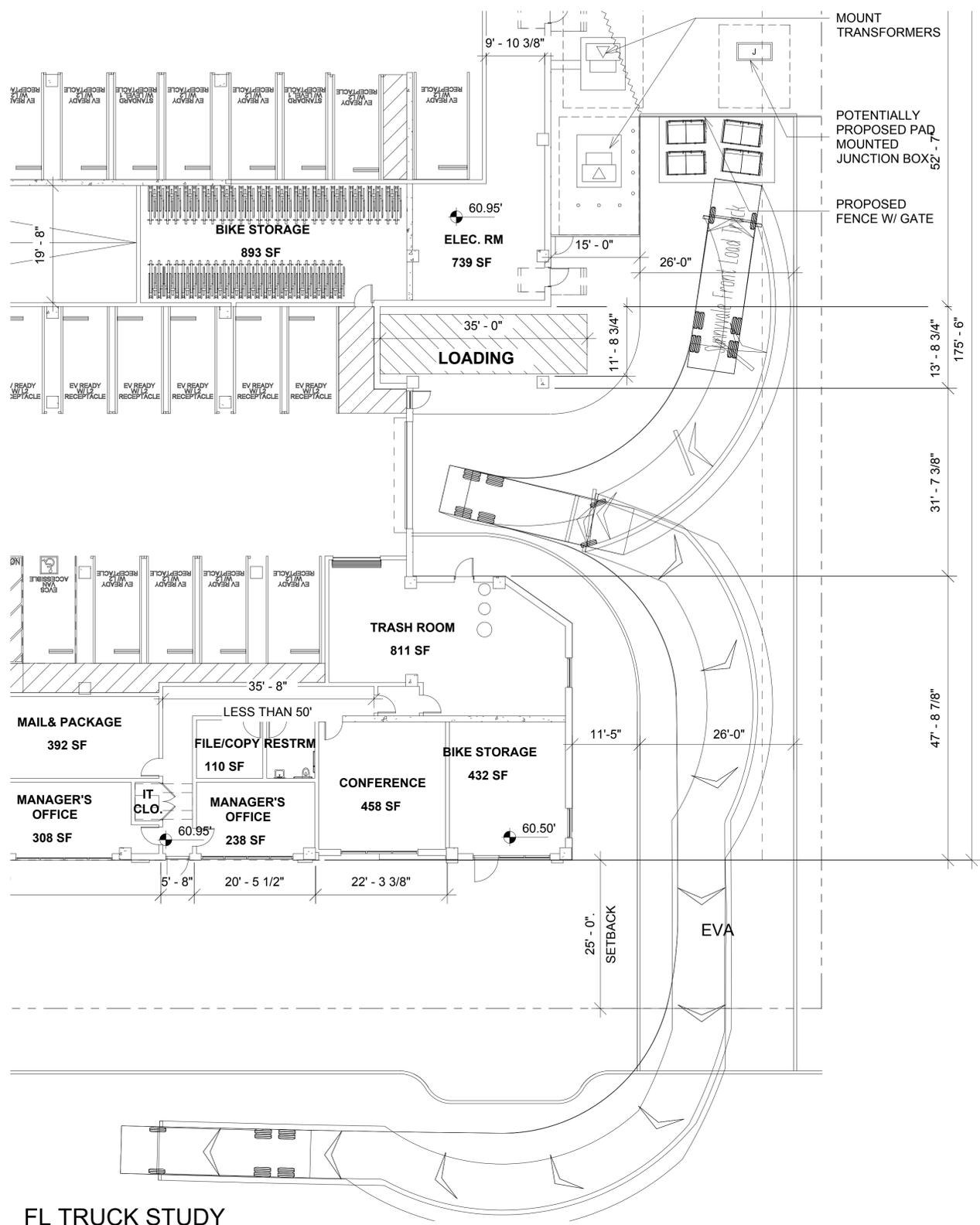
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- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

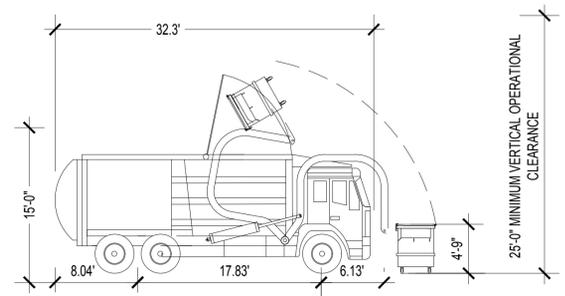




FL TRUCK STUDY
ENTERING THE PROPERTY



FL TRUCK STUDY
EXITING THE PROPERTY



| | |
|---|----------|
| Front Load 35ft overall, 30'-3 forks down | |
| Overall Length | 30.250ft |
| Overall Width | 8.330ft |
| Overall Body Height | 12.272ft |
| Min Body Ground Clearance | 0.961ft |
| Track Width | 8.000ft |
| Lock-to-lock time | 4.00s |
| Curb to Curb Turning Radius | 32.000ft |



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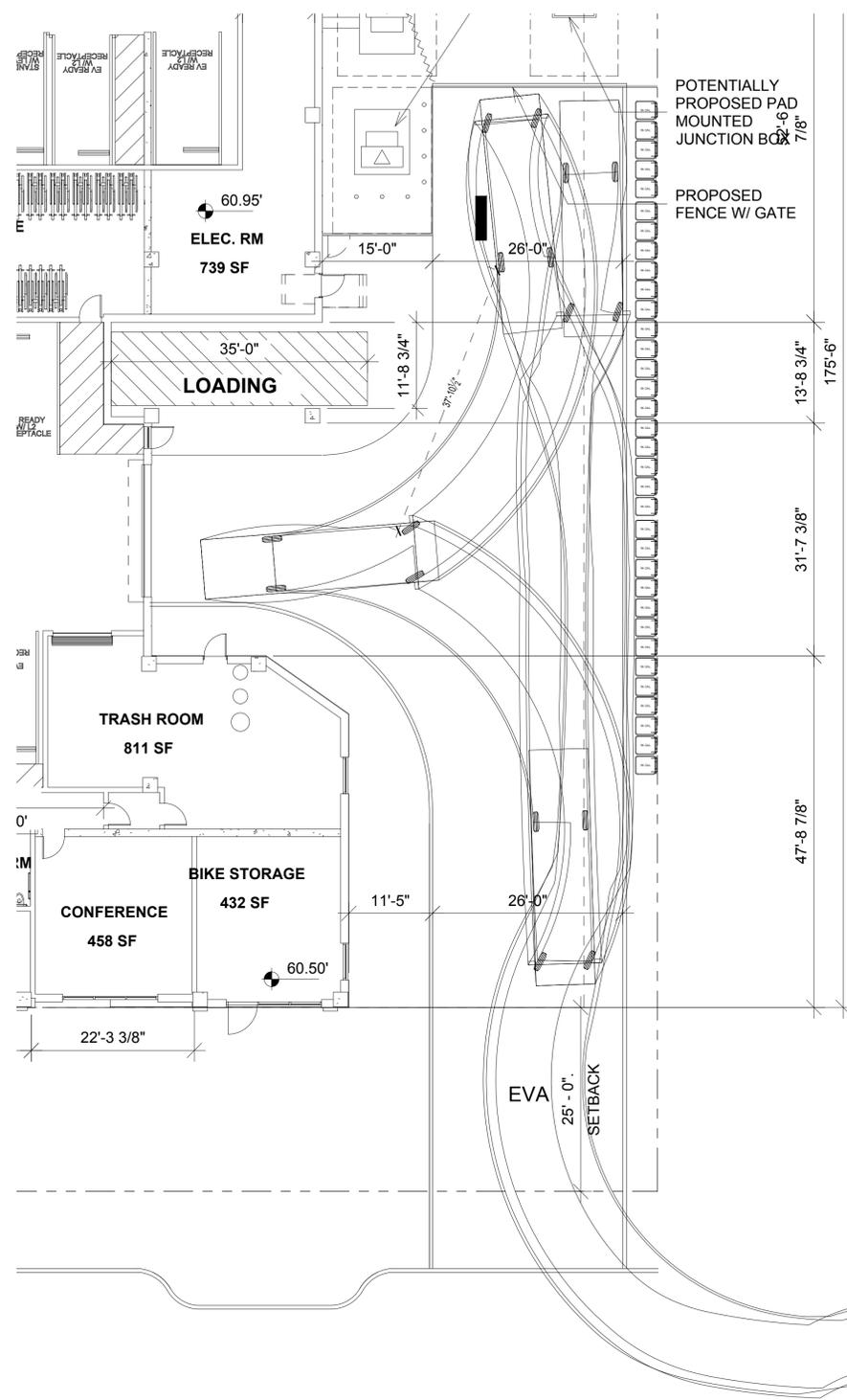
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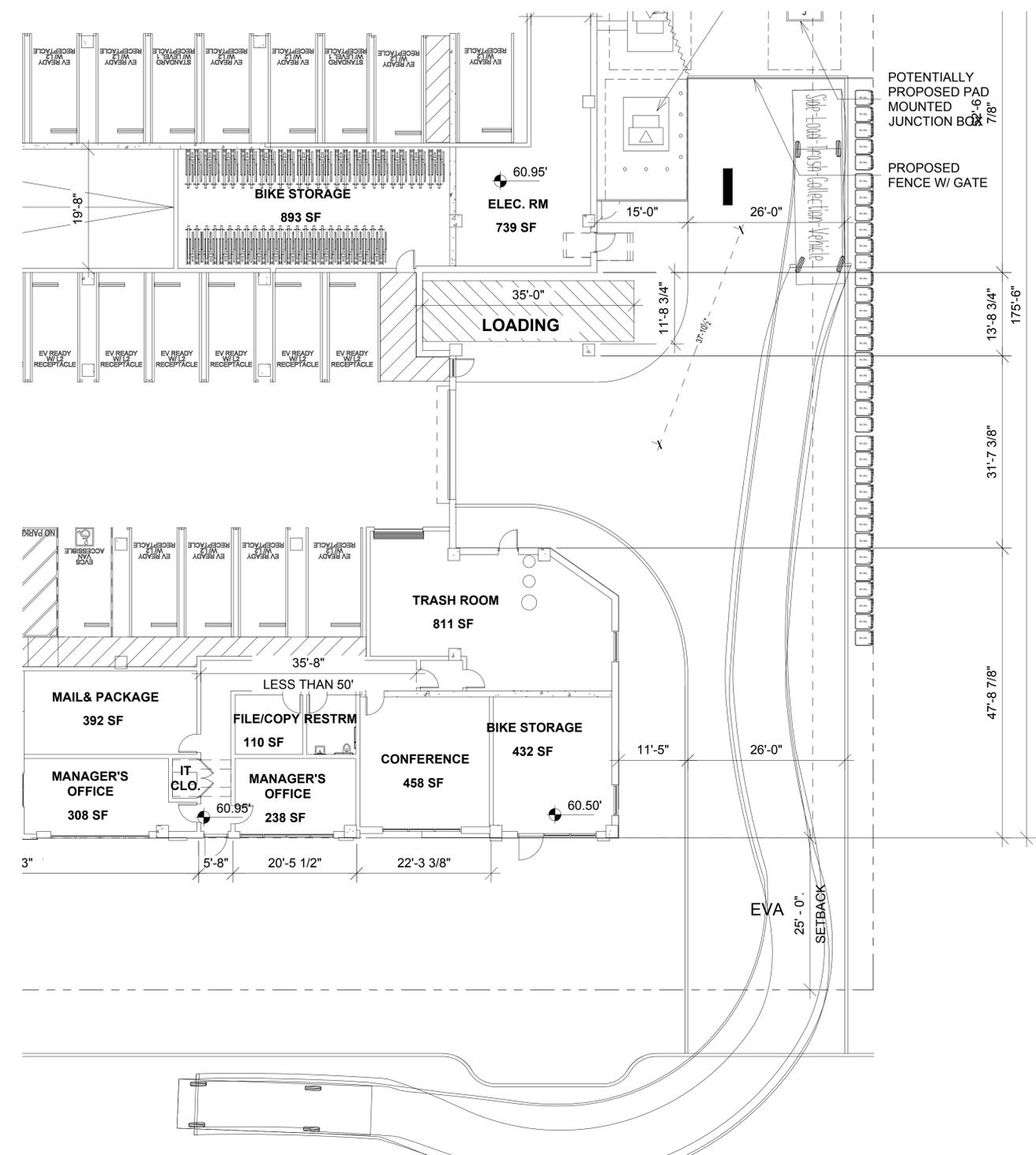
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FL TRUCK STUDY

Job No. 21009
Date: 03/06/2025
Scale: 3/32" = 1'-0"
Drawn By: PK

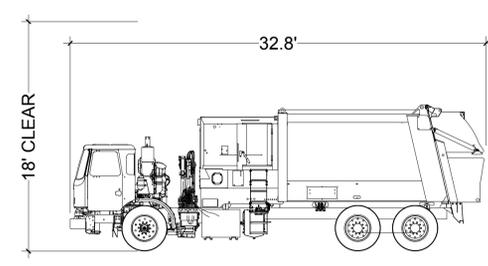
Sheet No:
TR1.2



**SIDE LOAD TRUCK STUDY
ENTERING THE PROPERTY**



**SIDE LOAD TRUCK STUDY
EXITING THE PROPERTY**



| 32.8 FT SIDE LOADER- SUNNYVALE | | |
|--------------------------------|--|----------|
| Overall Length | | 32.800ft |
| Overall Width | | 8.000ft |
| Min Body Ground Clearance | | 1.133ft |
| Track Width | | 7.500ft |
| Lock-to-lock time | | 6.00s |
| Max Wheel Angle | | 27.70° |



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Sheet Title:

SIDE LOAD TRUCK STUDY

Job No. 21009
Date: 03/06/2025
Scale: 3/32" = 1'-0"
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Sheet No:

TR1.3



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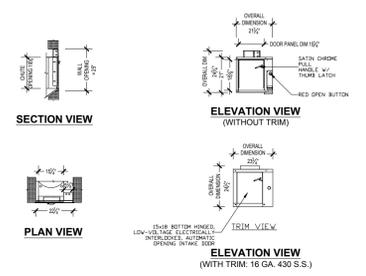
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Sheet Title:
CHUTE DETAILS

Job No. 21009
Date: 03/06/2025
Scale: NTS
Drawn By: PK

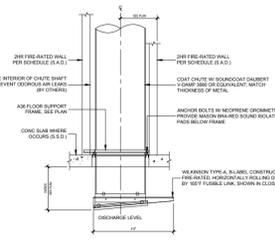
Sheet No:
TR2.0

- NOTES:
- INTAKE DOOR AND TRIM SHALL BE REMOVED FOR DOOR MAINTENANCE.
 - BOTTOM HINGED DOORS ARE SELF-CLOSING, NOISELESS, AND SELF-LATCHING. UL CLASSIFIED 90 MINUTE FIRE-RATED DOOR AND FRAME ASSEMBLY AND A TEMPERATURE RISE OF 250° F MAX IN 30 MINUTES.
 - MAX OPENING FOR INTAKE DOOR IS 14" FROM FACE OF FINISHED WALL.
 - 2022 CBC - 118.404.3.5 HEIGHT, CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES, AND NO LOWER THAN 15 INCHES ABOVE THE FINISHED FLOOR MEASURED TO THE CENTER OF THE GRIP.
 - 2022 CBC - 118.308.4 OPERATION, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS AND OPERATING MECHANISMS SHALL BE NO GREATER THAN 5 POUNDS.
 - UL LISTING FILE #3542 - VOLUME 1 - APPLICATION FOR WILKINSON STYLE DOOR ONLY.
 - 18" AIR ASSIST ACCESS DOOR IS LARGEST DOOR THAT WILL DESIGN FOR CHUTE INTAKE.
 - ATM WILL NEVER DESIGN A 2424 INTAKE DOOR AS THESE DOOR SIZES HAVE LED TO FATALITIES.
 - 3/4" THICK FABRIC-REINFORCED NEOPRENE RUBBER BATTLE AT EACH INTAKE DOOR.



2 CHUTE INTAKE DOOR
UPPER LEVELS
SCALE: 3/8" = 1'-0"

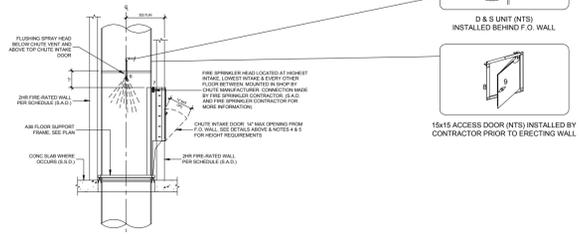
- NOTES:
- 2HR FIRE-RATED FACE WALL SHALL NOT BE ERRECTED UNTIL CHUTES HAVE BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
 - INTAKE DOOR NOT SHOWN FOR CLARITY.



- NOTES:
- PROVIDE HIGH PRESSURE CHUTE WASHDOWN NOZZLE.
 - FILL SANITATION TANK WITH CONCENTRATED DISINFECTING SOLUTION. THE SYRINX HOSE SHOULD REACH THE BOTTOM OF THE SOLUTION CONTAINER. TO FLUSH WITH CLEAR WATER, TURN HANDLE TO THE ON POSITION. FACTORY SETTING OF THE PROPORTIONING VALVE IS FOR 50 GALLONS PER GALLON OF DISINFECTING SOLUTION.
 - NOTE THAT THE ACCESS DOOR AND D & S UNIT ARE SHOWN OUTSIDE OF CHUTE SHAFT FOR CLARITY. ALL WASHDOWN EQUIPMENT WILL BE INSTALLED WITHIN CHUTE SHAFT, ABOVE THE HIGHEST INTAKE. (1) D & S UNIT PER CHUTE.
 - 2022 CBC - 118.404.3.5 HEIGHT, CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES, AND NO LOWER THAN 15 INCHES ABOVE THE FINISHED FLOOR MEASURED TO THE CENTER OF THE GRIP.
 - 2022 CBC - 118.308.4 OPERATION, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS AND OPERATING MECHANISMS SHALL BE NO GREATER THAN 5 POUNDS.
 - SUPPLIED BY VENDOR - INSTALLED BY PLUMBER.

PLUMBING SCHEMATIC LEGEND:

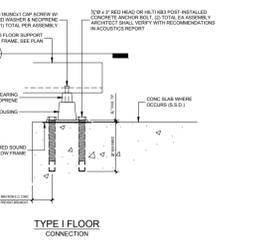
- 3/2" DOMESTIC HOT WATER INLET WITH VACUUM BREAKER (SUPPLIED/INSTALLED BY PLUMBING SUBCONTRACTOR).
- QUARTER-TURN GATE VALVE (SHUT-OFF AND BYPASS). (2) TOTAL (SUPPLIED/INSTALLED BY PLUMBING SUBCONTRACTOR).
- PLUMBING DESIGN, MATERIALS, AND INSTALLATION BY OTHERS (SUPPLIED/INSTALLED BY PLUMBING SUBCONTRACTOR).
- 24-1000 SOLENOID VALVE (OPTIONAL) NOT NEEDED FOR MANUAL OPERATION (NOT USED HERE).
- D & S UNIT - 1 GALLON CONTAINER, MOUNTING BRACKET, AND PROPORTIONAL VALVE AT REMOTE LOCATION. (SUPPLIED/MOUNTED BY CHUTE SUBCONTRACTOR. PLUMBED BY PLUMBING SUBCONTRACTOR).
- FLUSHING SPRAY HEAD BELOW CHUTE VENT. (SUPPLIED/MOUNTED BY CHUTE SUBCONTRACTOR. PLUMBED BY PLUMBING SUBCONTRACTOR).
- FIRE SPRINKLER IS LOCATED AT HIGHEST INTAKE, LOWEST INTAKE, AND EVERY OTHER FLOOR BETWEEN, TO BE STARTED FROM HIGHEST INTAKE (MOUNTED IN SHOP BY CHUTE MANUFACTURER. CONNECTION MADE BY FIRE SPRINKLER SUBCONTRACTOR).
- SIDE-HINGED, UL RATED 90 MINUTE B-LABEL ACCESS DOOR. (SUPPLIED BY CHUTE SUBCONTRACTOR. INSTALLED BY FRAMING SUBCONTRACTOR OR O.C).
- SATIN CHROME PULL-HANDLE. (SUPPLIED/INSTALLED BY CHUTE MANUFACTURER).



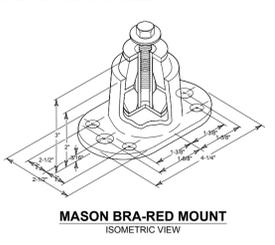
4 DISINFECTING AND SANITATION UNIT
AT HIGHEST INTAKE - ALL CHUTES
SCALE: 3/8" = 1'-0"

3 CHUTE AIR AND SOUND ISOLATION
SCALE: 3/8" = 1'-0"

- NOTES:
- REFER TO MANUFACTURER SPECIFICATIONS FOR ALL OTHER INFORMATION NOT LISTED.
 - (4) MASON BRA-RED SOUND ISOLATION PADS ASSEMBLES PER FLOOR SUPPORT FRAME.

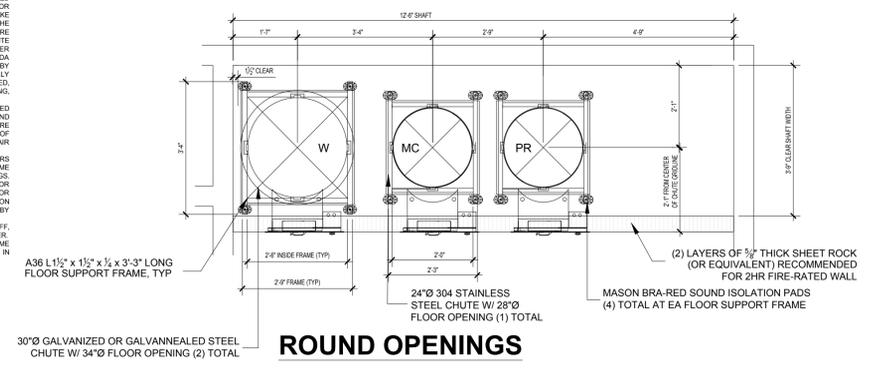


- NOTES:
- ALL HARDWARE PLATED.
 - REFER TO MANUFACTURER SPECIFICATIONS FOR ALL OTHER INFORMATION NOT INCLUDED.



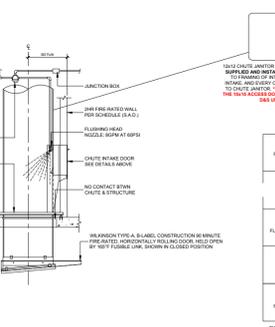
5 CHUTE SHAFT AT INTAKE
SCALE: 3/8" = 1'-0"

- NOTES:
- CHUTE INTAKE VESTIBULES SHALL BE 2HR FIRE-RATED WITH 90 MINUTE FIRE-RATED ACCESS DOOR FOR RESIDENTIAL ACCESS. NOTE THAT WHERE CHUTE INTAKE ROOMS ARE PROTECTED BY AUTOMATIC SPRINKLERS, THE ROOM SHALL BE ENCLOSED IN A MIN OF 1HR FIRE RESISTANCE-RATED CONSTRUCTION WITH 90 MINUTE FIRE-RATED ACCESS DOORS. 8-0" MIN DIAMETER WHEELCHAIR TURNING SPACE, REQUIRED PER ADA REQUIREMENTS POWER TO INTAKE DOORS SUPPLIED BY MOP. PROVIDE (1) 18" BOTTOM HINGED, NORMALLY CLOSED, LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING DOORS FOR WASTE RECYCLING, AND COMPOST AT EACH FLOOR. SEE DETAIL X-1.
 - 2HR FIRE-RATED FACE WALL SHALL NOT BE ERRECTED UNTIL CHUTES HAVE BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
 - PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. SEE PLAN FOR DIAMETER OF OPENINGS. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL X-2 FOR ANCHORING. FOUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB - PROVIDED BY MANUFACTURER.
 - TYPE I FLOOR TO PREVENT CONCRETE BREAK-OFF, VERIFY MINIMUM DISTANCE WITH STRUCTURAL ENGINEER.
 - ARCHITECT SHALL VERIFY ALL FLOOR SUPPORT FRAME ANCHORING CONNECTIONS WITH RECOMMENDATIONS IN ACOUSTICS REPORT.

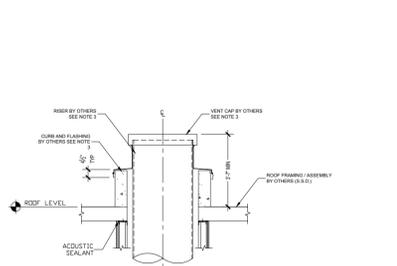


6 FLOOR SUPPORT FRAME ANCHORING
SCALE: 4/8" = 1'-0"

- NOTES:
- 12x12 SIDE-HINGED, UL RATED 90 MINUTE B-LABEL ACCESS DOOR. (SUPPLIED AND INSTALLED BY MEP CONTRACTOR PRIOR TO FRAMING OF INTAKE WALL).



- NOTES:
- ATTACHMENT OF ALL BLOCKING, CURBS, AND OTHER ROOF COMPONENTS SHALL BE DESIGNED AND INSTALLED TO MEET THE MINIMUM REQUIREMENTS OF MANUFACTURER.
 - SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS FOR ALL WORK BY OTHERS.
 - SUPPLIED BY VENDOR - INSTALLED BY ROOFER.



SOUND CONSULTANT TO VERIFY DETAILS AND UPDATE AS NECESSARY

7 CHUTE JANITOR
COMPOST CHUTE ONLY
SCALE: 3/8" = 1'-0"

8 CHUTE VENT
AT ROOF LEVEL
SCALE: 3/8" = 1'-0"

9 CHUTE SHAFT REQUIREMENTS
PLAN VIEWS
SCALE: NTS

- ### LEGEND
- ① EXISTING TREE TO REMAIN, TYP
 - ② CONCRETE PAVING, TYP
 - ③ APPROXIMATE LOCATION OF EXISTING PAVING, DASHED LINE, TYP
 - ④ BIKE RACK, TYP (8 SPACES TOTAL)
 - ⑤ STORMWATER TREATMENT AREA, TYP
 - ⑥ DECORATIVE PAVING & CROSSWALK CONNECTION
 - ⑦ SEATING AREA
 - ⑧ 6' HT KNOTWOOD ALUMINUM GATE, TYP
 - ⑨ 6' HT KNOTWOOD ALUMINUM FENCE, TYP, 1/1.8. ANY NEW FENCES/WALLS SHALL NOT HARM EXISTING TREE ROOTS PER SMC 19.48.
 - ⑩ PLANTING AREA, TYP
 - ⑪ BENCH, TYP
 - ⑫ PREFABRICATED PLANTER, TYP
 - ⑬ VISION TRIANGLE; ALL STRUCTURES & VEGETATION WITHIN EXTENDED DRIVEWAY VISION TRIANGLES & CORNER VISION TRIANGLES MUST MEET REQUIREMENTS PER SMC 19.34.060.

LANDSCAPE & OPEN SPACE CALCULATIONS

PER SMC 19.35.090 AND SMC 19.37.100 -

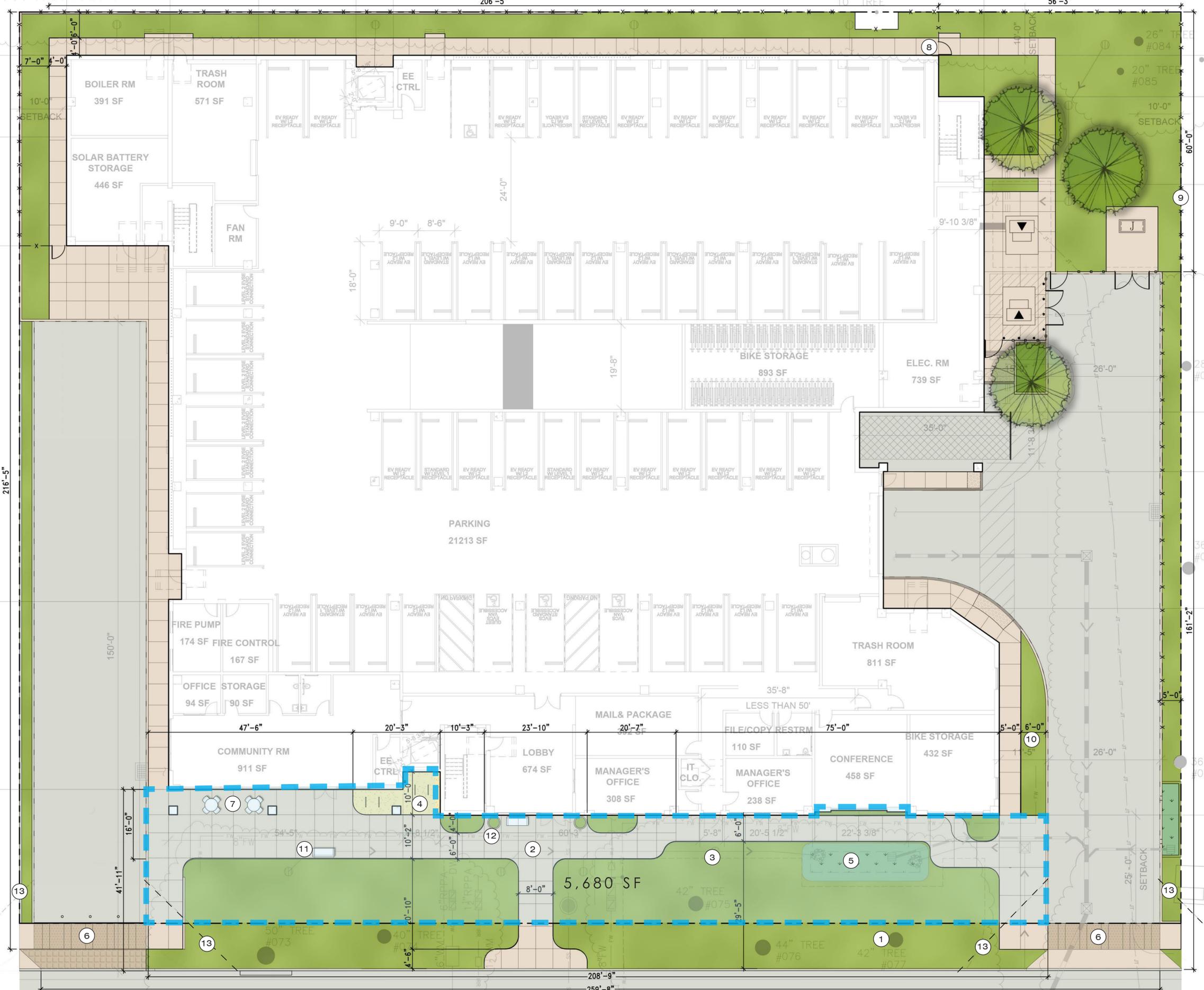
1. MINIMUM OF 20% OF THE ENTIRE SITE MUST BE LANDSCAPED.
2. UP TO 50% OF THE REQUIRED FRONT YARD AREA MAY BE COUNTED TOWARD THE USEABLE OPEN SPACE REQUIREMENT.

SITE AREA: 56,730 SF

LEVEL 1 LANDSCAPED AREA: 10,096 SF
 LEVEL 3 LANDSCAPED AREA: 1,480 SF
 TOTAL LANDSCAPED AREA: 11,576 SF / 20%
 TOTAL LANDSCAPED AREA PER UNIT (170 UNITS): 68.09 SF

LEVEL 1 USABLE OPEN SPACE: 2,840 SF (50% OF 5,680 SF PRE SMC)
 LEVEL 3 USABLE OPEN SPACE: 6,860 SF
 TOTAL USABLE OPEN SPACE: 9,700 SF / 17%
 TOTAL USABLE OPEN SPACE PER UNIT (170 UNITS): 57.05 SF

LANDSCAPE & OPEN SPACE EXHIBIT



LEGEND

- ① PLAY AREA WITH PLAY EQUIPMENT STRUCTURES FOR AGES 2-5 & 5-12 AND PLAY SURFACING. SEE NOTE 1.
- ② PAVERS ON AGGREGATE, TYP
- ③ 24" HEIGHT CMU PLANTER, TYP
- ④ TREE IN RAISED PLANTER, TYP
- ⑤ PREFAB PLANTER, TYP
- ⑥ ELECTRIC BBQ
- ⑦ BENCH, TYP
- ⑧ TABLE & CHAIRS, TYP
- ⑨ SEATWALL & SLOPED PLANTER
- ⑩ BREEZEWAY SEATING AREA

NOTES

- 1. CONCEPTUAL PLAY EQUIPMENT STRUCTURES AND LAYOUT ARE SHOWN; STRUCTURAL CALCULATIONS SHALL BE PROVIDED WITH PERMIT DRAWINGS.

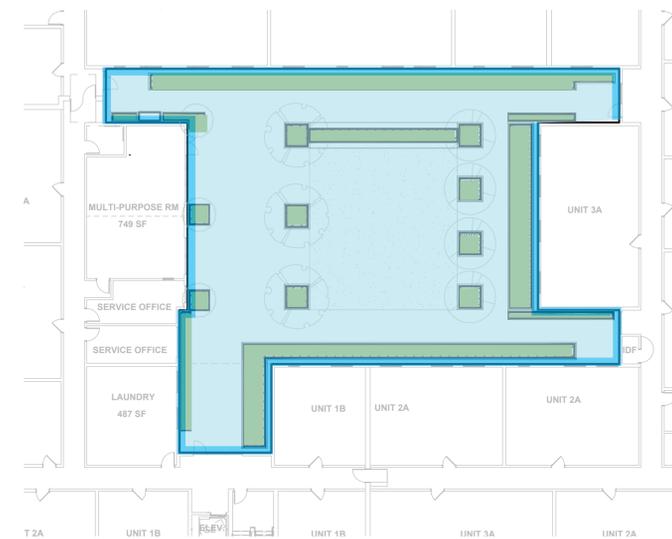
LANDSCAPE & OPEN SPACE CALCULATIONS

PER SMC 19.35.090 AND SMC 19.37.100 -
 1. MINIMUM OF 20% OF THE ENTIRE SITE MUST BE LANDSCAPED.
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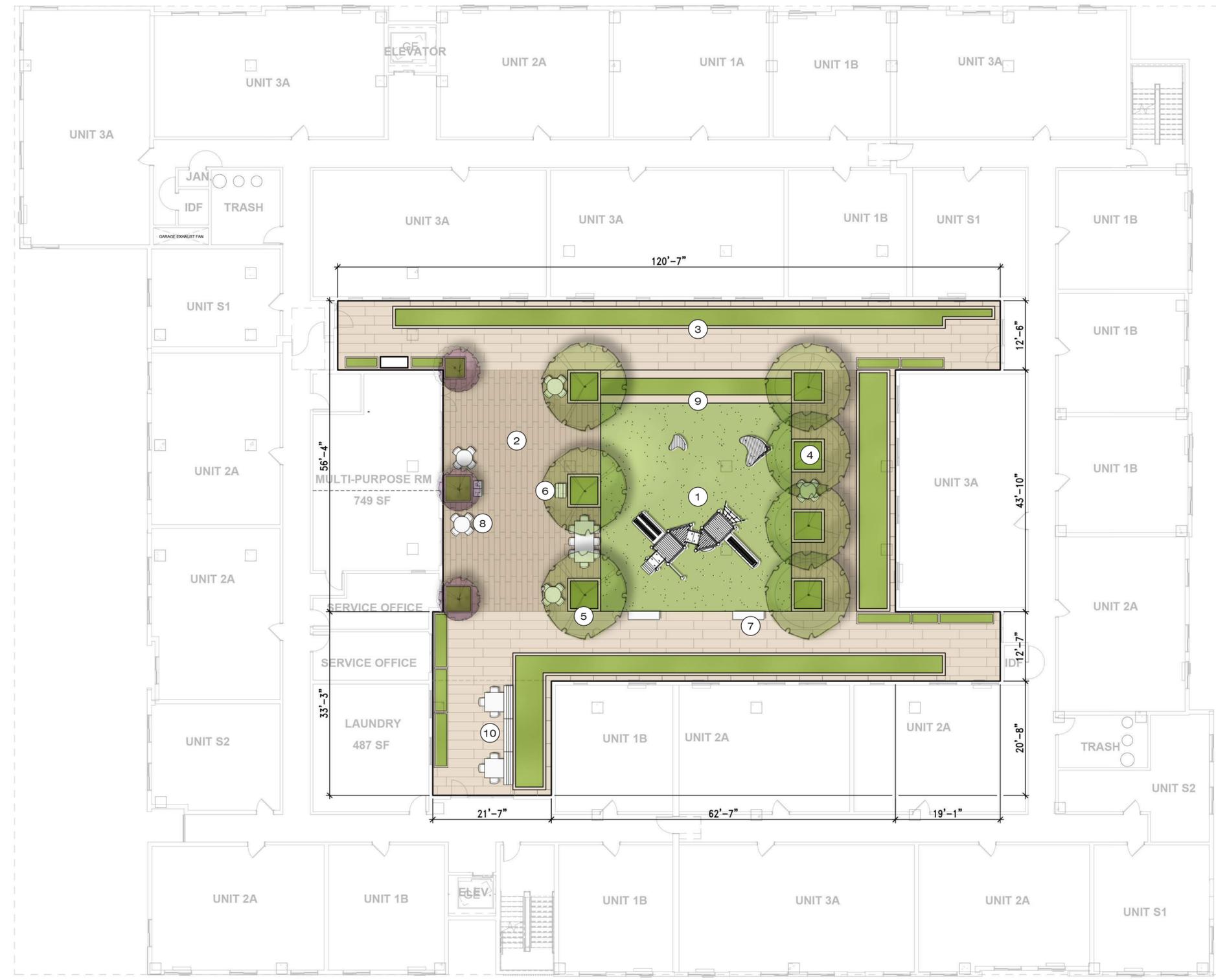
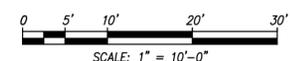
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 LEVEL 1 LANDSCAPED AREA: 10,096 SF
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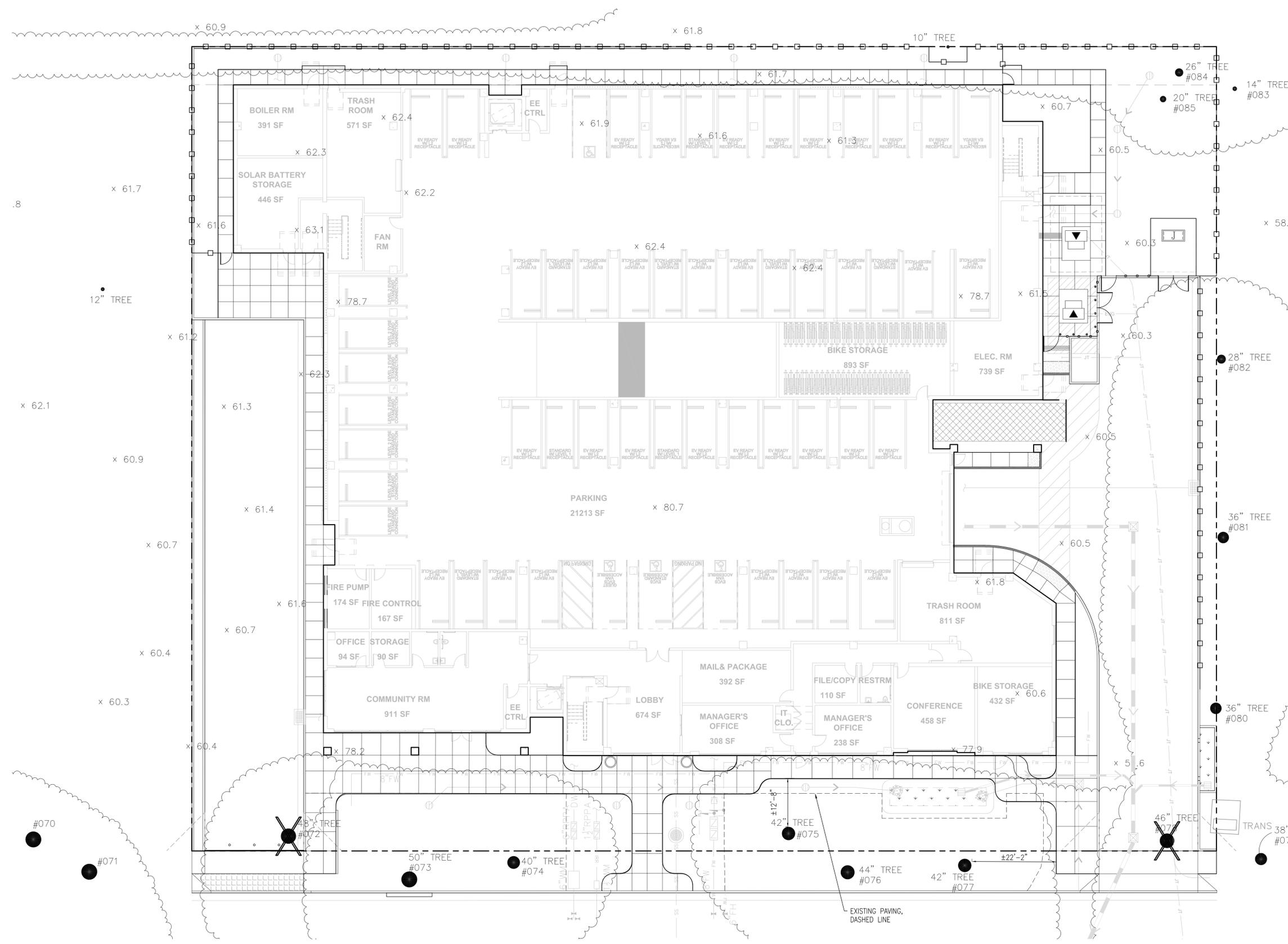
LEVEL 1 USABLE OPEN SPACE: 2,840 SF (50% OF 5,680 SF PRE SMC)
 LEVEL 3 USABLE OPEN SPACE: 6,860 SF
 TOTAL USABLE OPEN SPACE: 9,700 SF / 17%
 TOTAL USABLE OPEN SPACE PER UNIT (170 UNITS): 57.05 SF

LANDSCAPE & OPEN SPACE EXHIBIT



■ LANDSCAPED AREA
 ■ USABLE OPEN SPACE





EXISTING TREE LEGEND

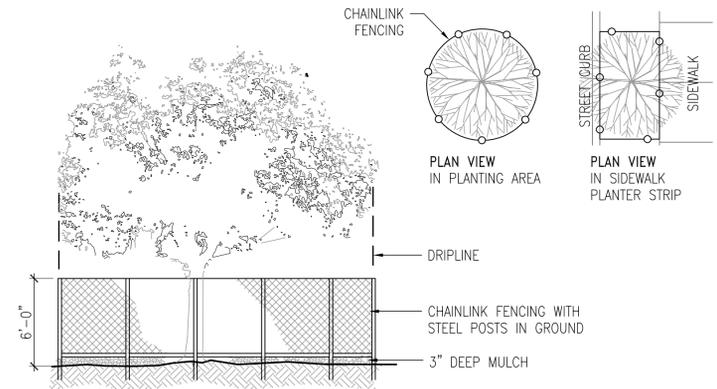


TREE REMOVAL & REPLACEMENT
 TREES TO BE REMOVED: 2
 PROTECTED TREES TO BE REMOVED: 2
 NEW TREES LEVEL 1: 3
 NEW TREES LEVEL 3: 10
 TOTAL NEW TREES: 13

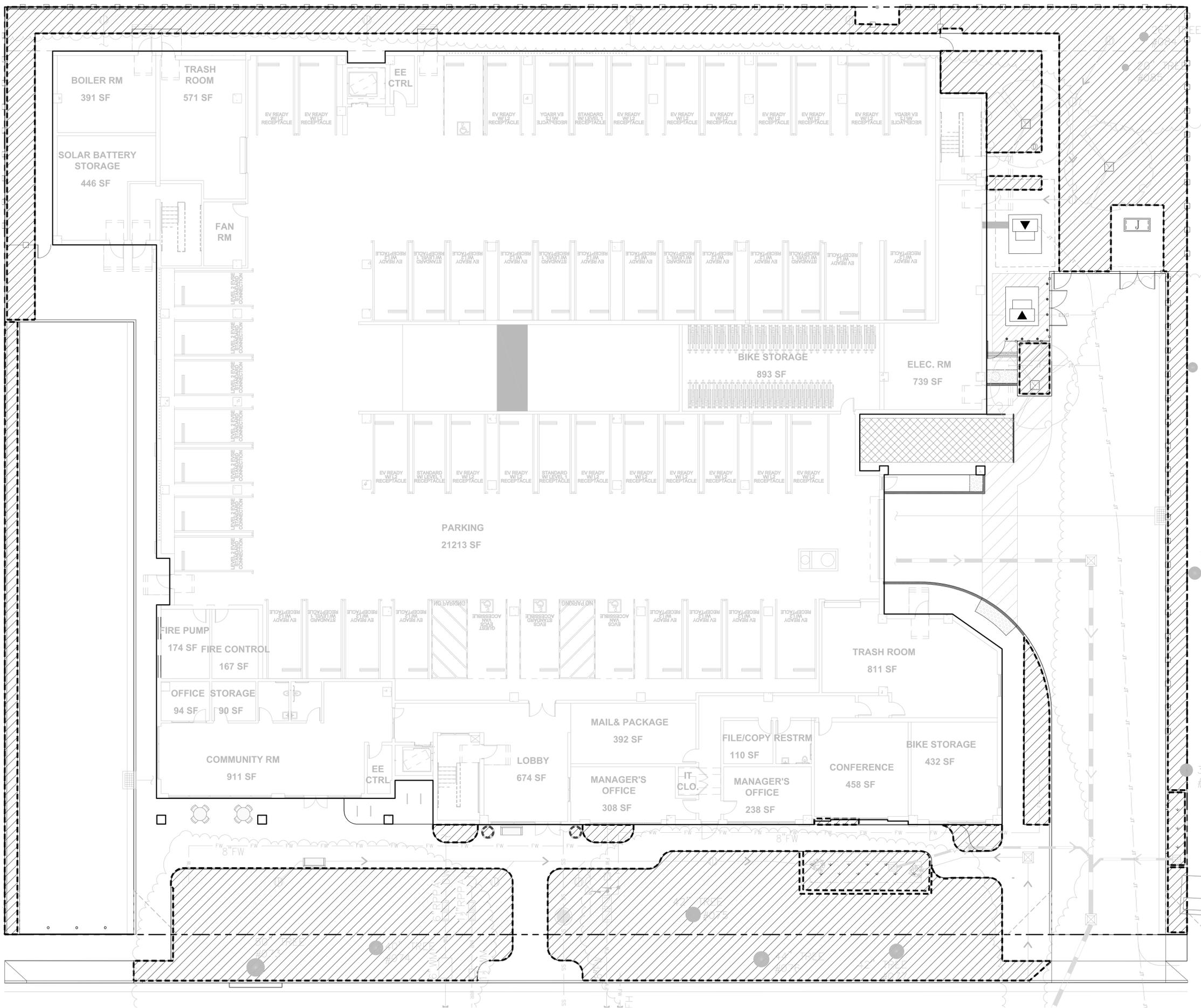
TREES PER SQUARE FEET OF LANDSCAPE AREA
 TREES PER 1,000 SF REQUIRED: 1
 TREES PER 1,000 SF PROPOSED: 1.14
 TOTAL LANDSCAPE AREA 11,576 SF = 1.12
 13 NEW TREES

- NOTES**
- REFER TO ARBORIST REPORT FOR MORE INFORMATION.
 - TREES TO BE PROTECTED & PRUNED UNDER ARBORIST SUPERVISION, TYP.
 - ALL NEW & EXISTING TREES WILL BE PRUNED TO PROVIDE REQUIRED CLEARANCE.
 - ANY NEW FENCES/WALLS SHALL NOT HARM EXISTING TREE ROOTS PER SMC 19.48.

| Tree No. | Species | Trunk Diameter (in.) | Protected Tree? | Condition 1=poor 5=excellent | Suitability for Preservation | Comments |
|----------|-------------------------|----------------------|-----------------|------------------------------|------------------------------|--|
| 70 | Coast redwood | 49 | Yes | 4 | High | Tall, upright form; broken, hanging branch on south side; off-site. |
| 71 | Coast redwood | 41 | Yes | 3 | Moderate | Tall, upright form; previously broken top; thin crown toward the top; off-site. |
| 72 | Deodar cedar | 49 | Yes | 3 | Moderate | Candelabra form; history of branch failures; three 20" lateral branches on north side sweep upright. |
| 73 | Coast redwood | 67 | Yes | 4 | Moderate | Very tall, upright form; large trunk with large exposed root flare; growing over curb; displacing light pole base. |
| 74 | Deodar cedar | 36 | Yes | 3 | Moderate | Candelabra form; multiple attachments between 6 - 12'; thinning crown; twig dieback. |
| 75 | Deodar cedar | 39 | Yes | 3 | Moderate | Candelabra form; broken hanging 10' branch; split in 12' limb; one sided west. |
| 76 | Coast redwood | 52 | Yes | 4 | High | Tall, upright form; full crown; exposed root flare growing over curb. |
| 77 | Deodar cedar | 43 | Yes | 3 | Moderate | Tall, wide crown; irregular form; two 20' branches sweep upward. |
| 78 | Deodar cedar | 30.24.23 | Yes | 3 | Moderate | Three stem at 4'; thin in middle of crown; history of branch failures; trunk leans south. |
| 79 | Deodar cedar | 29 | Yes | 3 | Moderate | Candelabra form; 24" lowest limb sweeps upright; one-sided east; thin interior crown; off-site. |
| 80 | Silver dollar gum | 36 | Yes | 3 | Low | Moderate crown spread; low live crown ratio; displacing curb; outgrowing planting strip. |
| 81 | Silver dollar gum | 35 | Yes | 2 | Low | Large, wide spreading crown; 18" recent branch failure; poor form; curbing replaced on east side. |
| 82 | Silver dollar gum | 28 | Yes | 2 | Low | Very thin; low live crown ratio; lion-tailed branches; curb replaced on the east side. |
| 83 | Coast redwood | 15 | Yes | 3 | Moderate | Upright form; bird nest on south side; 40 feet up; slight browning of needles; off-site. |
| 84 | Coast redwood | 20 | Yes | 3 | Moderate | Upright form; slight lean north; one-sided north. |
| 85 | Coast redwood | 21 | Yes | 3 | Moderate | Upright form; slight lean south; branch dieback; browning foliage. |
| 86 | California black walnut | 16 | Yes | 2 | Low | East stem dead; growing in hedge on north property line; estimated DBH; codominant at 6'. |
| 87 | Ginkgo | 12 | Yes | 4 | High | Wide crown; good form; high vigor; growing in a fenced enclosure; off-site; no tag. |



1 TREE PROTECTION FENCING
SCALE: NTS



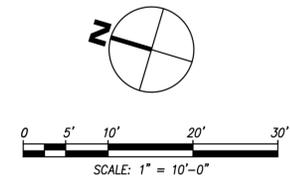
HYDROZONE CALCULATION TABLE

| | | | |
|---------------------------------------|---|---|----------------------------------|
| REFERENCE ANNUAL ET ₀ FOR: | SAN JOSE (NEAREST CITY, WUCOLS) | | 45.3 |
| ET ADJUSTMENT FACTOR | 0.55 | ET ADJ FACTOR PER MUELLO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL | 0.45 |
| HYDROZONE | WUCOLS IV PLANT FACTOR (PF) | IRR METHOD DRIP:0.81 ROTOR:0.75 BUBB:0.81 SPRAY:0.75 | ESTIMATED TOTAL WATER USE (ETWU) |
| 1 | .3 | S, D, & B | 4033.60 |
| 2 | .6 | B | 8.89 |
| 3 | .3 | D & B | 407.41 |
| 4 | .6 | D & B | 7905.69 |
| | | TOTAL | 11576.00 |
| SPECIAL LANDSCAPE AREAS | | | |
| --- | | | 0.00 |
| | | TOTAL | 0.00 |
| | | TOTAL | 0.00 |
| | | TOTAL | 0.00 |
| TOTAL LANDSCAPE AREA (LA + SLA) | | | 11,576.00 |
| TOTAL ETWU | TOTAL ETWU ALL AREAS (SLA AND REGULAR LA) | | 132,885.48 |
| MAMA | ANNUAL ETO(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)(SLA)] | | 178,817.95 |
| AVERAGE ETAF | SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA ₂) | | 0.41 |
| SITEWIDE ETAF | TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA ₂) | | 0.41 |

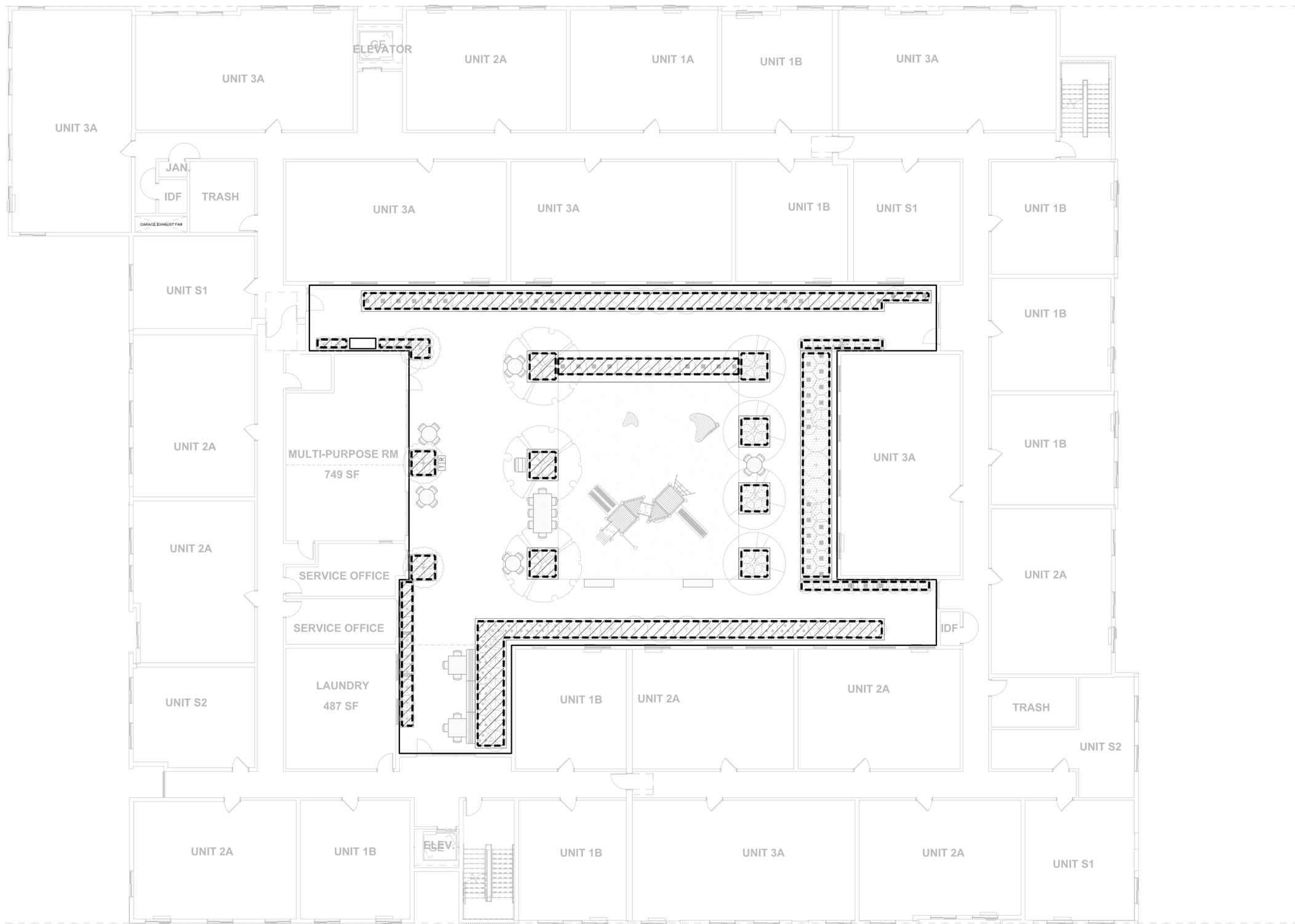
HYDROZONE LEGEND

| SYMBOL | ZONE | HYDROZONE | PLANT TYPE | IRRIGATION TYPE | AREA (SF) | % LANDSCAPE |
|----------|---------------|----------------|------------------------|----------------------|-----------|-------------|
| [Symbol] | 1 (1ST LEVEL) | LOW WATER | SHRUB, G.COVER & TREES | SUBSURFACE & BUBBLER | 10084 | 87.1% |
| [Symbol] | 2 (1ST LEVEL) | MODERATE WATER | TREES | BUBBLER | 12 | 0.1% |
| [Symbol] | 3 (3RD LEVEL) | LOW WATER | SHRUB, G.COVER & TREES | SUBSURFACE & BUBBLER | 1100 | 9.5% |
| [Symbol] | 4 (3RD LEVEL) | MODERATE WATER | SHRUB, G.COVER & TREES | SUBSURFACE & BUBBLER | 380 | 3.3% |
| | | | | | TOTAL | 11,576.0 |
| | | | | | | 100% |

- NOTES
- EXISTING SPRAY IRRIGATION FOR MATURE TREES TO BE MAINTAINED / UPGRADED IN KIND TO KEEP TREES HEALTHY DURING ALL PHASES OF PROJECT DEVELOPMENT AND CONSTRUCTION. EXISTING LAWN MAY OR MAY NOT BE RETAINED.
 - NO TRENCHING FOR NEW LATERALS TO OCCUR WITHIN DRIPLINE OF TREES.
 - ALL PLANTING AND IRRIGATION SHALL BE IN FULL COMPLIANCE WITH CITY WATER EFFICIENT LANDSCAPING ORDINANCES AND OTHER APPLICABLE CODES AND ORDINANCES.
 - IRRIGATION AT ALL LOW & MIXED WATER USE HYDROZONES TO USE WATER CONSERVING LOW-FLOW IRRIGATION HEADS OR DRIP TUBING.
 - TREES SHALL BE ON A VALVE CIRCUIT INDEPENDENT OF ALL OTHER PLANTING.
 - IRRIGATION CONTROLLER MODEL SHALL UTILIZE EVAPOTRANSPIRATION DATA AND RAIN SENSOR DATA TO AUTOMATICALLY ADJUST WATERING SCHEDULES.
 - IRRIGATION EQUIPMENT SHALL INCLUDE A MANUAL SHUT-OFF VALVE AND BACKFLOW PREVENTION DEVICE.
 - IRRIGATION SCHEDULE TO BE DEVELOPED AND MANAGED TO UTILIZE THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN PLANT HEALTH.



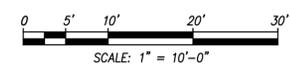
1171 SONORA COURT
SUNNYVALE, CA

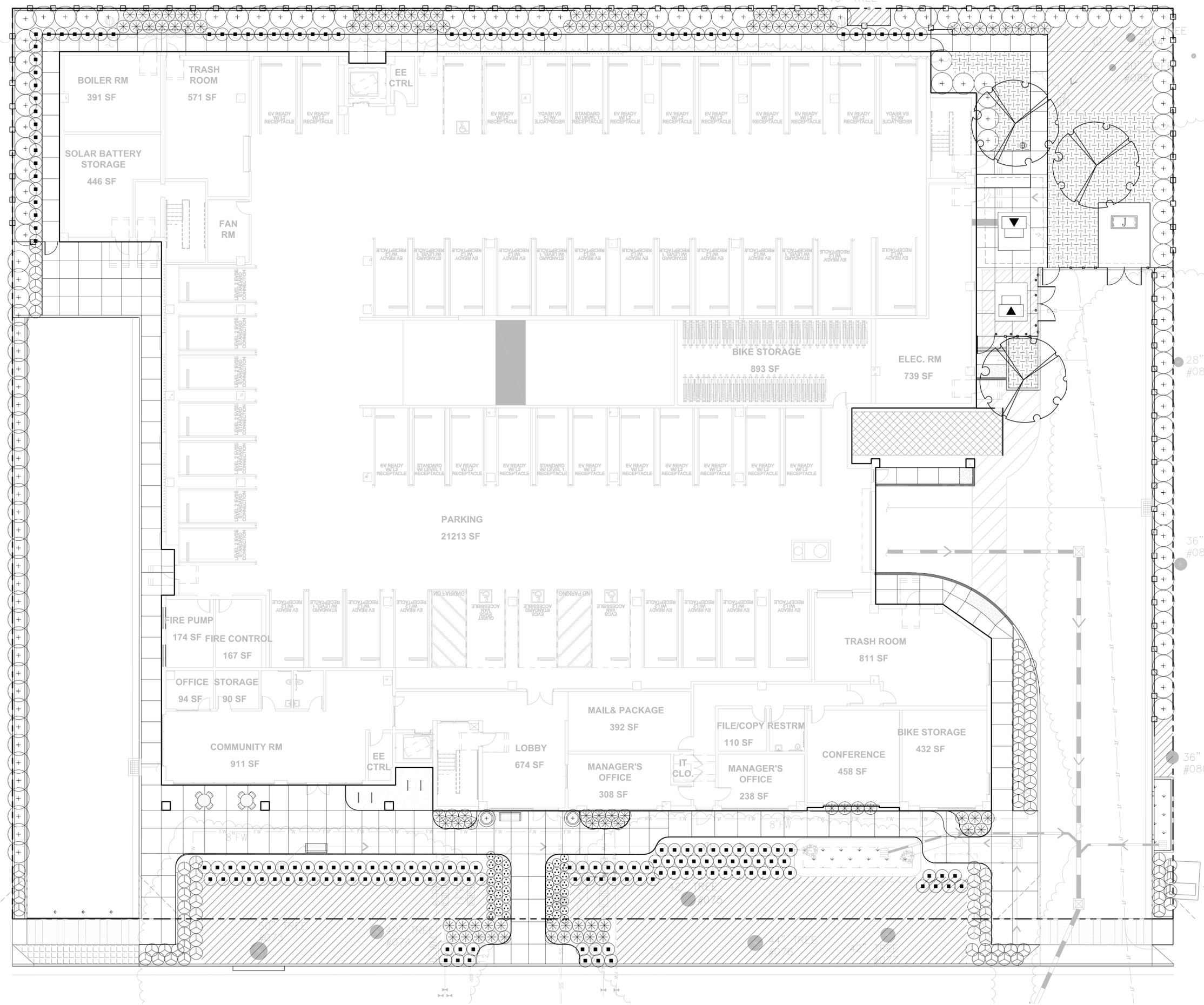


| HYDROZONE CALCULATION TABLE | | | | | | |
|--|-----------------------------|---|---|---------------------------|------------------------|----------------------------------|
| REFERENCE ANNUAL ET ₀ FOR: | | SAN JOSE (NEAREST CITY, WUCOLS) | | 45.3 | | |
| ET ADJUSTMENT FACTOR | 0.55 | ET ADJ. FACTOR PER MNELO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL | SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF) | 0.45 | | |
| HYDROZONE | WUCOLS IV PLANT FACTOR (PF) | IRR. METHOD DRIP:0.81 BUBB:0.81 | EFFICIENCY (IE) | ETAF ₂ (PF/IE) | LANDSCAPE AREA (SQ FT) | ESTIMATED TOTAL WATER USE (ETWU) |
| 1 | .3 | S, D, & B | 0.75 | 0.40 | 10084 | 113287.69 |
| 2 | .6 | B | 0.81 | 0.74 | 12 | 249.65 |
| 3 | .3 | D & B | 0.81 | 0.37 | 1100 | 11442.44 |
| 4 | .6 | D & B | 0.81 | 0.74 | 380 | 7905.60 |
| | | | | TOTAL | 11576.00 | 132,885.48 |
| SPECIAL LANDSCAPE AREAS | | | | | | |
| -- | | | | 1 | 0 | 0.00 |
| -- | | | | 0 | 0 | 0.00 |
| | | | | TOTAL | 0 | 0.00 |
| TOTAL LANDSCAPE AREA (LA + SLA) | | | | | 11,576.00 | |
| TOTAL ETWU | | | | | | TOTAL ETWU |
| TOTAL ETWU ALL AREAS (SLA AND REGULAR LA) | | | | | | 132,885.48 |
| MAMA (ANNUAL ETO)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]] | | | | | | 178,817.95 |
| AVERAGE ETAF | | | | | | 0.41 |
| SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA ₂) | | | | | | |
| SITEWIDE ETAF | | | | | | 0.41 |
| TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA ₂) | | | | | | |

| HYDROZONE LEGEND | | | | | | |
|------------------|---------------|----------------|------------------------|----------------------|-----------|-------------|
| SYMBOL | ZONE | HYDROZONE | PLANT TYPE | IRRIGATION TYPE | AREA (SF) | % LANDSCAPE |
| [Symbol] | 1 (1ST LEVEL) | LOW WATER | SHRUB, G.COVER & TREES | SUBSURFACE & BUBBLER | 10084 | 87.1% |
| [Symbol] | 2 (1ST LEVEL) | MODERATE WATER | TREES | BUBBLER | 12 | 0.1% |
| [Symbol] | 3 (3RD LEVEL) | LOW WATER | SHRUB, G.COVER & TREES | SUBSURFACE & BUBBLER | 1100 | 9.5% |
| [Symbol] | 4 (3RD LEVEL) | MODERATE WATER | SHRUB, G.COVER & TREES | SUBSURFACE & BUBBLER | 380 | 3.3% |
| TOTAL | | | | | 11,576.0 | 100% |

- NOTES
- EXISTING SPRAY IRRIGATION FOR MATURE TREES TO BE MAINTAINED / UPGRADED IN KIND TO KEEP TREES HEALTHY DURING ALL PHASES OF PROJECT DEVELOPMENT AND CONSTRUCTION. EXISTING LAWN MAY OR MAY NOT BE RETAINED.
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 - IRRIGATION SCHEDULE TO BE DEVELOPED AND MANAGED TO UTILIZE THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN PLANT HEALTH.





| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | HT/W | QTY | WOODS |
|------------------------------------|--------------------------------|--------------------|---------|----------|---------|-----|-------|
| TREES | | | | | | | |
| ACE PA | ACER PALMATUM | JAPANESE MAPLE | 24" BOX | PER PLAN | 20'x15' | | M |
| ARB MA | ARBUITUS 'MARINA' | STRAWBERRY TREE | 24" BOX | PER PLAN | 40'x30' | | L |
| CER OC | CERCIS OCCIDENTALIS | WESTERN REDBUD | 24" BOX | PER PLAN | 10'x12' | | L |
| LAG MU | LAGERSTROEMIA 'MUSKOGEE' | ORANGE MYRTLE | 24" BOX | PER PLAN | 20'x15' | | L |
| QUE AG | QUERCUS AGRIFOLIA | COAST LIVE OAK | 24" BOX | PER PLAN | 40'x30' | | VL |
| QUE LO | QUERCUS LOBATA | VALLEY OAK | 24" BOX | PER PLAN | 40'x30' | | L |
| PLA CO | PLATANUS ACERIFOLIA 'COLUMBIA' | LONDON PLANE TREE | 24" BOX | PER PLAN | 40'x30' | | M |
| LARGE SHRUBS | | | | | | | |
| + | ARCTOSTAPHYLOS SPP. | MANZANITA | 15 GAL | 6'-0" OC | 4'x6' | | L |
| | CEANOTHUS 'JOYCE COULTER' | WILD LILAC | 5 GAL | 4'-0" OC | 4'x9' | | L |
| | LEUCADENDRON 'JESTER' | SUNSHINE CONEBUSH | 15 GAL | 4'-0" OC | 4'x4' | | L |
| | RIBES SANGUINEUM V. GLUTINOSUM | FLOWERING CURRANT | 5 GAL | 4'-0" OC | 4'x4' | | L |
| MEDIUM SHRUBS & GRASSES | | | | | | | |
| | AGAVE PARVYI | CENTURY PLANT | 5 GAL | 2'-0" OC | 2'x3' | | L |
| | LOMANDRA LONGIFOLIA 'BREEZE' | DWARF MAT RUSH | 5 GAL | 3'-0" OC | 3'x3' | | L |
| | LIMONILUM PEREZYI | SEA LAVENDER | 5 GAL | 3'-0" OC | 3'x3' | | L |
| | MIMULUS AURANTIACUS | MONKEYFLOWER | 5 GAL | 3'-0" OC | 3'x4' | | L |
| | ROSMARINUS SPP. | ROSEMARY | 5 GAL | 3'-0" OC | 3'x4' | | L |
| | SALVIA SPP. | SAGE | 5 GAL | 3'-0" OC | 3'x3' | | L |
| SMALL SHRUBS & GRASSES | | | | | | | |
| | ANGOSTANTHOS SPP. | KANGAROO PAW | 5 GAL | 6'-0" OC | 3'x2' | | L |
| | BULBINE FRUTESCENS 'ORANGE' | ORANGE BULBINE | 1 GAL | 2'-0" OC | 1'x2' | | L |
| | CORREA 'CARMINE BELLS' | AUSTRALIAN FUCHSIA | 1 GAL | 3'-0" OC | 2'x3' | | L |
| | EPILOBIUM CANUM | CALIFORNIA FUCHSIA | 1 GAL | 2'-0" OC | 1'x2' | | L |
| | LIBERTIA PEREGRINANS | ORANGE LIBERTIA | 1 GAL | 5'-0" OC | 2'x2' | | L |
| | PENSTEMON 'MARGARITA BOP' | PENSTEMON | 1 GAL | 2'-0" OC | 1'x2' | | L |
| GROUNDCOVERS | | | | | | | |
| | ARCTOSTAPHYLOS SPP. | MANZANITA | 1 GAL | 6'-0" OC | 1'x6' | | L |
| | COTONEASTER 'CORAL BEAUTY' | COTONEASTER | 1 GAL | 4'-0" OC | 1'x4' | | L |
| | RIBES VIBURNIFOLIUM | EVERGREEN CURRANT | 1 GAL | 4'-0" OC | 3'x4' | | L |
| | SEDUM SPP. | SEDUM | 1 GAL | 3'-0" OC | 1'x2' | | L |
| | SENECIO MANDRALISCAE | BLUE FINGER | 1 GAL | 3'-0" OC | 2'x3' | | L |
| | SYMPHORICARPOS MOLLIS | CREeping SNOWBERRY | 1 GAL | 3'-0" OC | 2'x4' | | L |
| BIORETENTION AREAS | | | | | | | |
| | ACHILLEA MILLEFOLIUM | YARROW | 1 GAL | 2'-0" OC | 2'x2' | | L |
| | CHONDROPETALUM TECTORIUM | CAPE RUSH | 5 GAL | 3'-0" OC | 3'x3' | | L |
| | IRIS DOUGLASSIANA | DOUGLAS IRIS | BULB | 2'-0" OC | 2'x2' | | L |
| | JUNCUS PATENS | CA. GRAY RUSH | 1 GAL | 2'-0" OC | 2'x2' | | L |
| | HETEROMELES ARBUTIFOLIA | TOYON | 5 GAL | 5'-0" OC | 6'x6' | | L |
| | SISYRINCHIUM BELLUM | BLUE-EYED GRASS | 1 GAL | 2'-0" OC | 1'x2' | | L |

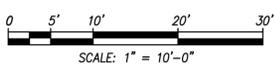
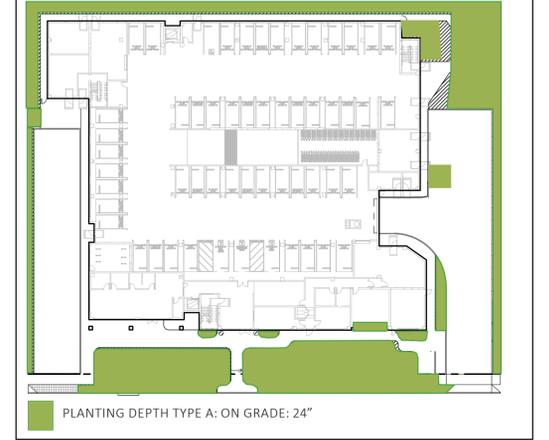
GENERAL PLANTING NOTES

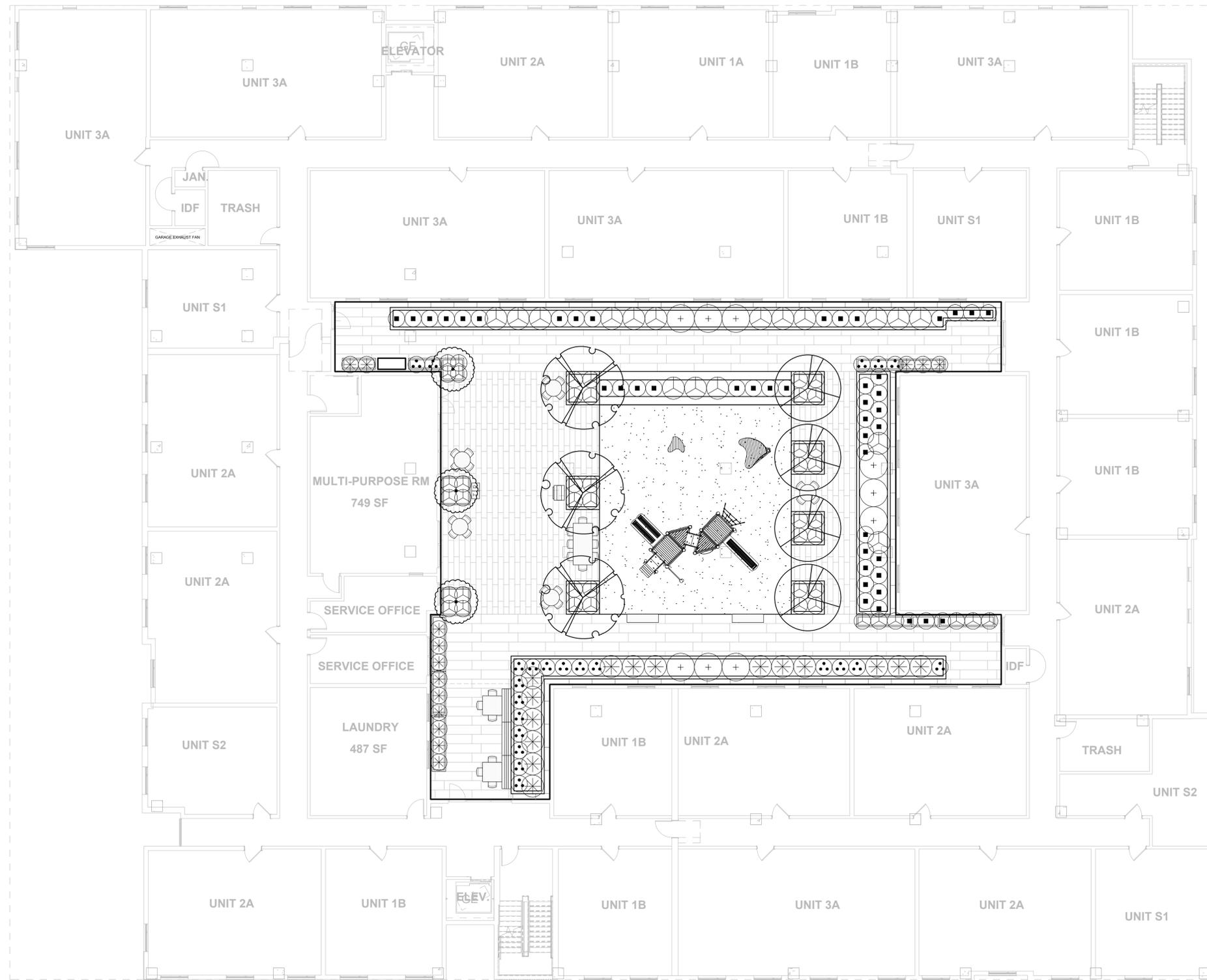
1. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC, UN-DYED MULCH RECYCLED FROM LOCAL ORGANIC MATERIALS SUCH AS TREE TRIMMINGS, PLANT, OR CLEAN WOOD WASTE.
2. 50% OF ALL SHRUBS AND GROUNDCOVER SHALL BE A MINIMUM OF 5-GALLON SIZE OR LARGER.
3. ALL NEW AND EXISTING TREES WILL BE PRUNED TO PROVIDE REQUIRED CLEARANCE.
4. ALL STRUCTURES & VEGETATION WITHIN EXTENDED DRIVEWAY VISION TRIANGLES & CORNER VISION TRIANGLES MUST MEET REQUIREMENTS PER SMC 19.34.060.
5. MINIMUM SOIL DEPTH FOR GROUND COVER : 12 INCHES
MINIMUM SOIL DEPTH FOR FOR SHRUBS : 20 INCHES
MINIMUM SOIL DEPTH FOR TREES: 36 INCHES
6. ALL TREES WITHIN 5'-0" OF PAVING SHALL HAVE 24" DEEP LINEAR ROOT BARRIERS.

SOIL DEPTH

| | | |
|---|---|-----|
| 1 | PLANTING DEPTH TYPE A: ON GRADE | 24" |
| 2 | PLANTING DEPTH TYPE B: ON STRUCTURE | 32" |
| 3 | PLANTING DEPTH TYPE C: TREES ON STRUCTURE | 36" |

SOIL DEPTH EXHIBIT





| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | HTW | QTY | W/OOLS |
|------------------------------------|--------------------------------|--------------------|---------|----------|---------|-----|--------|
| TREES | | | | | | | |
| ACE PA | ACER PALMATUM | JAPANESE MAPLE | 24" BOX | PER PLAN | 20'x15' | | M |
| ARB MA | ARBUTUS 'MARINA' | STRAWBERRY TREE | 24" BOX | PER PLAN | 40'x30' | | L |
| CER OC | CERCIS OCCIDENTALIS | WESTERN REDBUD | 24" BOX | PER PLAN | 10'x12' | | L |
| LAG MU | LAGERSTROEMIA 'MUSKOGEE' | ORPHE MYRTLE | 24" BOX | PER PLAN | 20'x15' | | L |
| QUE AG | QUERCUS AGRIFOLIA | COAST LIVE OAK | 24" BOX | PER PLAN | 40'x30' | | VL |
| QUE LO | QUERCUS LOBATA | VALLEY OAK | 24" BOX | PER PLAN | 40'x30' | | L |
| PLA CO | PLATANUS ACERIFOLIA 'COLUMBIA' | LONDON PLANE TREE | 24" BOX | PER PLAN | 40'x30' | | M |
| LARGE SHRUBS | | | | | | | |
| + | ARCTOSTAPHYLOS SPP. | MANZANITA | 15 GAL | 6'-0" OC | 4'x6' | | L |
| | CEANOTHUS 'JOYCE COULTER' | WILD LILAC | 5 GAL | 4'-0" OC | 4'x9' | | L |
| | LEUCADENDRON 'JESTER' | SUNSHINE CONEBUSH | 15 GAL | 4'-0" OC | 4'x4' | | L |
| | RISES SANGUINEUM V. GLUTINOSUM | FLOWERING CURRANT | 5 GAL | 4'-0" OC | 4'x4' | | L |
| MEDIUM SHRUBS & GRASSES | | | | | | | |
| | AGAVE PARRYI | CENTURY PLANT | 5 GAL | 2'-0" OC | 2'x3' | | L |
| | LOMANDRA LONGIFOLIA 'BREEZE' | DWARF MAT RUSH | 5 GAL | 3'-0" OC | 3'x3' | | L |
| | LIMONIUM PEREZII | SEA LAVENDER | 5 GAL | 3'-0" OC | 3'x3' | | L |
| | MMULIUS AURANTIACUS | MONKEYFLOWER | 5 GAL | 3'-0" OC | 3'x4' | | L |
| | ROSMARINUS SPP. | ROSEMARY | 5 GAL | 3'-0" OC | 3'x4' | | L |
| | SALVIA SPP. | SAGE | 5 GAL | 3'-0" OC | 3'x3' | | L |
| SMALL SHRUBS & GRASSES | | | | | | | |
| | ANIGOSANTHOS SPP. | KANGAROO PAW | 5 GAL | 6'-0" OC | 3'x2' | | L |
| | BULBINE FRUTESCENS 'ORANGE' | ORANGE BULBINE | 1 GAL | 2'-0" OC | 1'x2' | | L |
| | CORREA 'CARMINE BELLS' | AUSTRALIAN FUCHSIA | 5 GAL | 3'-0" OC | 2'x3' | | L |
| | EPILOBIUM CANUM | CALIFORNIA FUCHSIA | 1 GAL | 2'-0" OC | 1'x2' | | L |
| | LIBERTIA PEREGRINANS | ORANGE LIBERTIA | 1 GAL | 5'-0" OC | 2'x2' | | L |
| | PENSTEMON 'MARGARITA BOP' | PENSTEMON | 1 GAL | 2'-0" OC | 1'x2' | | L |
| GROUNDCOVERS | | | | | | | |
| | ARCTOSTAPHYLOS SPP. | MANZANITA | 1 GAL | 6'-0" OC | 1'x6' | | L |
| | COTONEASTER 'CORAL BEAUTY' | COTONEASTER | 1 GAL | 4'-0" OC | 1'x4' | | L |
| | RISES VIBURNIFOLIUM | EVERGREEN CURRANT | 1 GAL | 4'-0" OC | 3'x4' | | L |
| | SEDUM SPP. | SEDUM | 1 GAL | 3'-0" OC | 1'x2' | | L |
| | SENECIO MANDRALISCAE | BLUE FINGER | 1 GAL | 3'-0" OC | 2'x3' | | L |
| | SYMPHORICARPOS MOLLIS | CREeping SNOWBERRY | 1 GAL | 3'-0" OC | 2'x4' | | L |
| BIORETENTION AREAS | | | | | | | |
| | ACHILLEA MILLEFOLIUM | YARROW | 1 GAL | 2'-0" OC | 2'x2' | | L |
| | CHONDROPETALUM TECTORUM | CAPE RUSH | 5 GAL | 3'-0" OC | 3'x3' | | L |
| | IRIS DOUGLASSIANA | DOUGLAS IRIS | BULB | 2'-0" OC | 2'x2' | | L |
| | JUNCUS PATENS | CA. GRAY RUSH | 1 GAL | 2'-0" OC | 2'x2' | | L |
| | HETEROMELES ARBUTIFOLIA | TOYON | 5 GAL | 5'-0" OC | 6'x6' | | L |
| | SISYRINCHIUM BELLUM | BLUE-EYED GRASS | 1 GAL | 2'-0" OC | 1'x2' | | L |

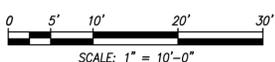
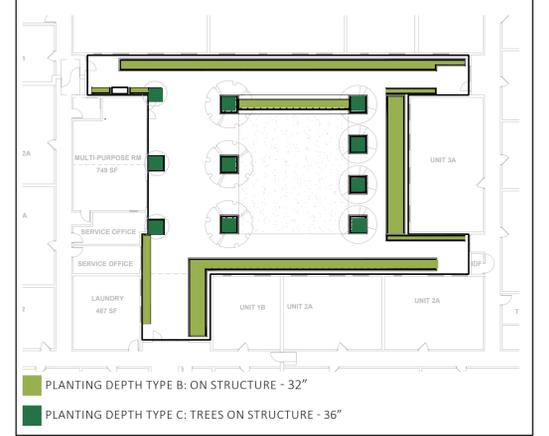
GENERAL PLANTING NOTES

1. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC, UN-DYED MULCH RECYCLED FROM LOCAL ORGANIC MATERIALS SUCH AS TREE TRIMMINGS, PLANT, OR CLEAN WOOD WASTE.
2. 50% OF ALL SHRUBS AND GROUNDCOVER SHALL BE A MINIMUM OF 5-GALLON SIZE OR LARGER.
3. ALL NEW AND EXISTING TREES WILL BE PRUNED TO PROVIDE REQUIRED CLEARANCE.
4. ALL STRUCTURES & VEGETATION WITHIN EXTENDED DRIVEWAY VISION TRIANGLES & CORNER VISION TRIANGLES MUST MEET REQUIREMENTS PER SMC 19.34.060.
5. MINIMUM SOIL DEPTH FOR GROUND COVER :12 INCHES
MINIMUM SOIL DEPTH FOR SHRUBS : 20 INCHES
MINIMUM SOIL DEPTH FOR TREES: 36 INCHES
6. ALL TREES WITHIN 5'-0" OF PAVING SHALL HAVE 24" DEEP LINEAR ROOT BARRIERS.

SOIL DEPTH

| | | |
|---|---|-----|
| 1 | PLANTING DEPTH TYPE A: ON GRADE | 24" |
| 2 | PLANTING DEPTH TYPE B: ON STRUCTURE | 32" |
| 3 | PLANTING DEPTH TYPE C: TREES ON STRUCTURE | 36" |

SOIL DEPTH EXHIBIT



TREES



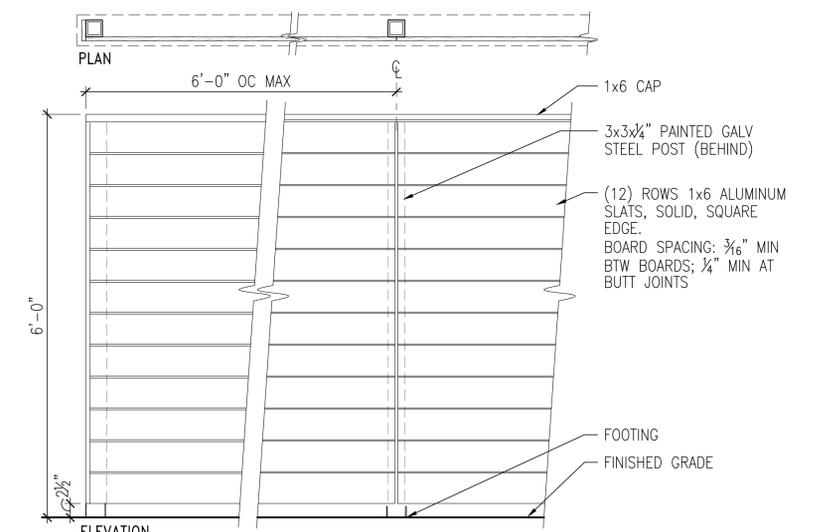
SHRUBS & GRASSES



GROUNDCOVERS



VINES



1 6' HEIGHT KNOTWOOD ALUMINUM FENCE
SCALE: NTS

Redaan Arm Mount LED Area Luminaire



Specifications

- Beam Angle: 30°
- Height: 20" (508mm)
- Weight: 11.5 lbs (5.2kg)

Ordering Information

EXAMPLE: RAD1 LED P3 30K 5YM MVOLT 8VA FE DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|-------------------------------------|----------|------|-------|
| 1 | Redaan Arm Mount LED Area Luminaire | 1 | EA | |

WDGE2 LED Architectural Wall Scape Precision Reflector Cavity



Specifications

- Depth: 1.5"
- Height: 1.5"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: WDG2 LED P3 30K 5YM T3M MVOLT SRM DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|---|----------|------|-------|
| 1 | WDGE2 LED Architectural Wall Scape Precision Reflector Cavity | 1 | EA | |

ZEDGE PRO BOLLARD



Specifications

- Height: 24"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: RAD1 LED P3 30K 5YM MVOLT P1 FE DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|-------------------|----------|------|-------|
| 1 | ZEDGE PRO Bollard | 1 | EA | |

BULLETO MINI



Specifications

- Height: 12"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: WDG2 LED P3 30K 5YM T3M MVOLT SRM DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|-----------------------------------|----------|------|-------|
| 1 | BULLETO MINI Floodlight Projector | 1 | EA | |

Redaan Post Top LED Area Luminaire



Specifications

- Height: 20"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: RAD1 LED P3 30K 5YM MVOLT P1 FE DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|------------------------------------|----------|------|-------|
| 1 | Redaan Post Top LED Area Luminaire | 1 | EA | |

DART SMALL EVENT POLE



Specifications

- Height: 12"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: WDG2 LED P3 30K 5YM T3M MVOLT SRM DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|-----------------------|----------|------|-------|
| 1 | DART Small Event Pole | 1 | EA | |

BLADE BLD



Specifications

- Height: 12"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: WDG2 LED P3 30K 5YM T3M MVOLT SRM DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|--------------------------------|----------|------|-------|
| 1 | BLADE BLD Floodlight Projector | 1 | EA | |

MB SMITH



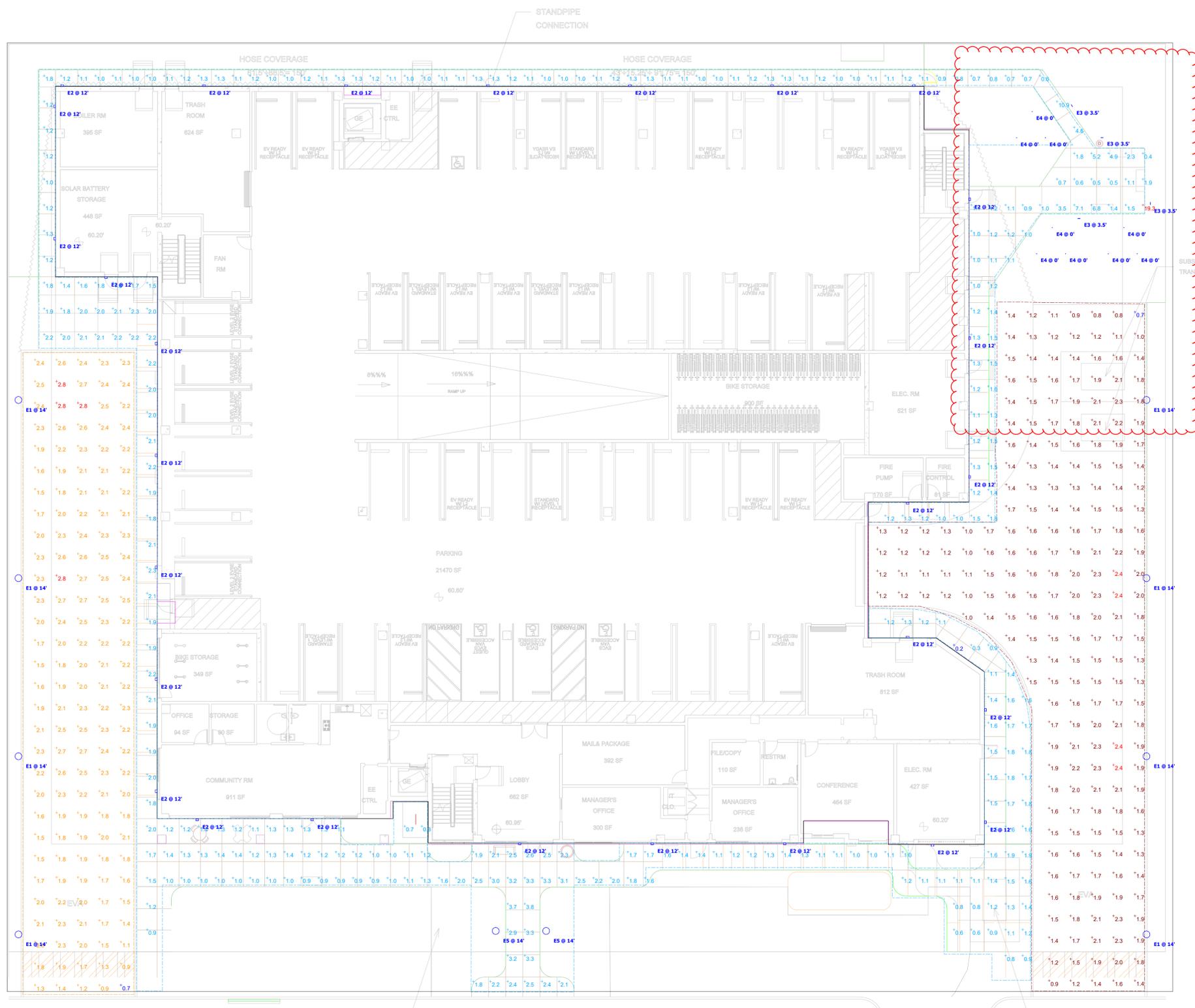
Specifications

- Height: 12"
- Weight: 11.5 lbs

Ordering Information

EXAMPLE: WDG2 LED P3 30K 5YM T3M MVOLT SRM DVAKD

| Part | Description | Quantity | Unit | Notes |
|------|-------------------------------|----------|------|-------|
| 1 | MB SMITH Floodlight Projector | 1 | EA | |



MINOR UPDATE TO PLAN NOT REFLECTED IN PHOTOMETRIC. PHOTOMETRIC PLAN UPDATES SHALL BE PROVIDED WITH BUILDING PERMIT SUBMITTAL.

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| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|-------------------|---|---|------|-----------------|-------------------|---------|
| ○ | E1 | 8 | Lithonia Lighting | RAD1 LED P1 27K ASY MVOLT (Mounting) | B1 U0 G1, 14" Pole with 4" tall fixture | LED | 3214 | 0.85 | 25.4134 |
| □ | E2 | 28 | Lithonia Lighting | WDGE2 LED P1 27K 80CRI T3M MVOLT SRM (Finish) | B0 U0 G1 | LED | 1205 | 0.85 | 11.1658 |
| — | E3 | 4 | TARGETTI | ZPB1140WDL327(Finish)/(Options)(Mounting)/(In stallation) | B0 U0 G1 | LED | 2123 | 0.85 | 14.5 |
| ○ | E4 | 9 | TARGETTI | BLMRPFEL1MW27/(Power Supply) | B1 U0 G0 | LED | 520 | 0.85 | 7.78 |
| ○ | E5 | 2 | Lithonia Lighting | RADP1 P1 27K ASY MVOLT (Mounting) | B2 U1 G2, 12" Pole with 2" tall fixture | LED | 3021 | 0.85 | 25.4134 |

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|-----------------------|--------|--------|---------|--------|---------|---------|
| Building Paths 0'0" | + | 1.6 fc | 19.3 fc | 0.2 fc | 96.5:1 | 80:1 |
| Garage Side Road 0'0" | + | 1.6 fc | 2.4 fc | 0.7 fc | 3.4:1 | 2.3:1 |
| Plan West Road 0'0" | + | 2.1 fc | 2.8 fc | 0.7 fc | 4.0:1 | 3.0:1 |

| Finish | Surface | Reflectance/Transmittance |
|----------|----------|---------------------------|
| Building | Building | 30 |
| Ground | Floor | 10 |

Ceiling Height: NA
Luminaire Mounting Height: As noted
Calculation Point Height: As noted

Luminaire illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstance.

1171 Sonora Court | Site
PC # 24-39697
Client: Jett Landscape Architects

Designer: J. Jett
Date: 09/17/2024
Scale: As Noted
Rev No.: Rev 01
Summary

Redaan Arm Mount LED Area Luminaire

Specifications
 Size: 23.5" x 12.5" x 12.5"
 Weight: 20 lbs
 Mount: 4" x 4" x 12.5"
 Height: 17.5" (to top)

Introduction
 The Redaan arm mount luminaire is the perfect choice for professional applications where superior aesthetics and light output are needed. Adding adjustable beam spread, the Redaan's low-profile design and smooth curves blend in with a variety of spaces. Perfect for carpentry, parks, pedestrian walkways, and more. The Redaan arm mount luminaire is the perfect choice for professional applications both day and night.

WDGE2 LED Architectural Wall Scape Precision Reflector Cavity

Specifications
 Depth: 1.5"
 Height: 1.5"
 Weight: 1.5 lbs

Introduction
 The WDGE2 LED family is designed for most specific areas and provides the most energy efficient and uniform lighting. The WDGE2 family provides additional energy savings and uniform lighting. The WDGE2 family provides additional energy savings and uniform lighting. The WDGE2 family provides additional energy savings and uniform lighting.

Ordering Information

| Part No. | Description | Quantity | Unit Price | Total Price |
|---|-------------|----------|------------|-------------|
| EXAMPLE: RAO1 LED P3 30K 5YM MVOLT PVA FE DVAND | | | | |

Ordering Information

| Part No. | Description | Quantity | Unit Price | Total Price |
|---|-------------|----------|------------|-------------|
| EXAMPLE: WDGE2 LED P3 4K 60K 3M MVOLT 3SM DVAND | | | | |

ZEDGE PRO BOLLARD

Small Scale Professional LED Bollard

Specifications
 Size: 12" x 12" x 12"
 Weight: 15 lbs

BULLETO MINI

Compact Adjustable Floodlight Projector

Specifications
 Size: 12" x 12" x 12"
 Weight: 15 lbs

Redaan Post Top LED Area Luminaire

Specifications
 Size: 23.5" x 12.5" x 12.5"
 Weight: 20 lbs
 Mount: 4" x 4" x 12.5"
 Height: 17.5" (to top)

DART SMALL EVENT POLE

Multi-headed Event Pole with Professional Adjustable Floodlight Projector

Specifications
 Size: 12" x 12" x 12"
 Weight: 15 lbs

BLADE BLD

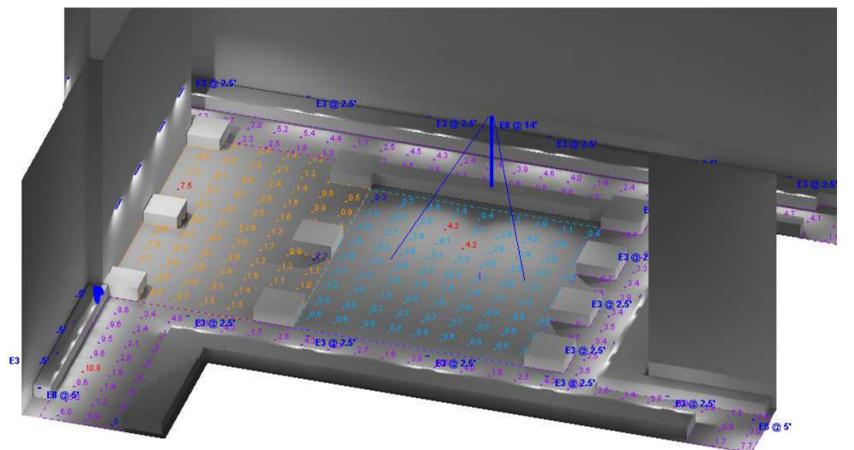
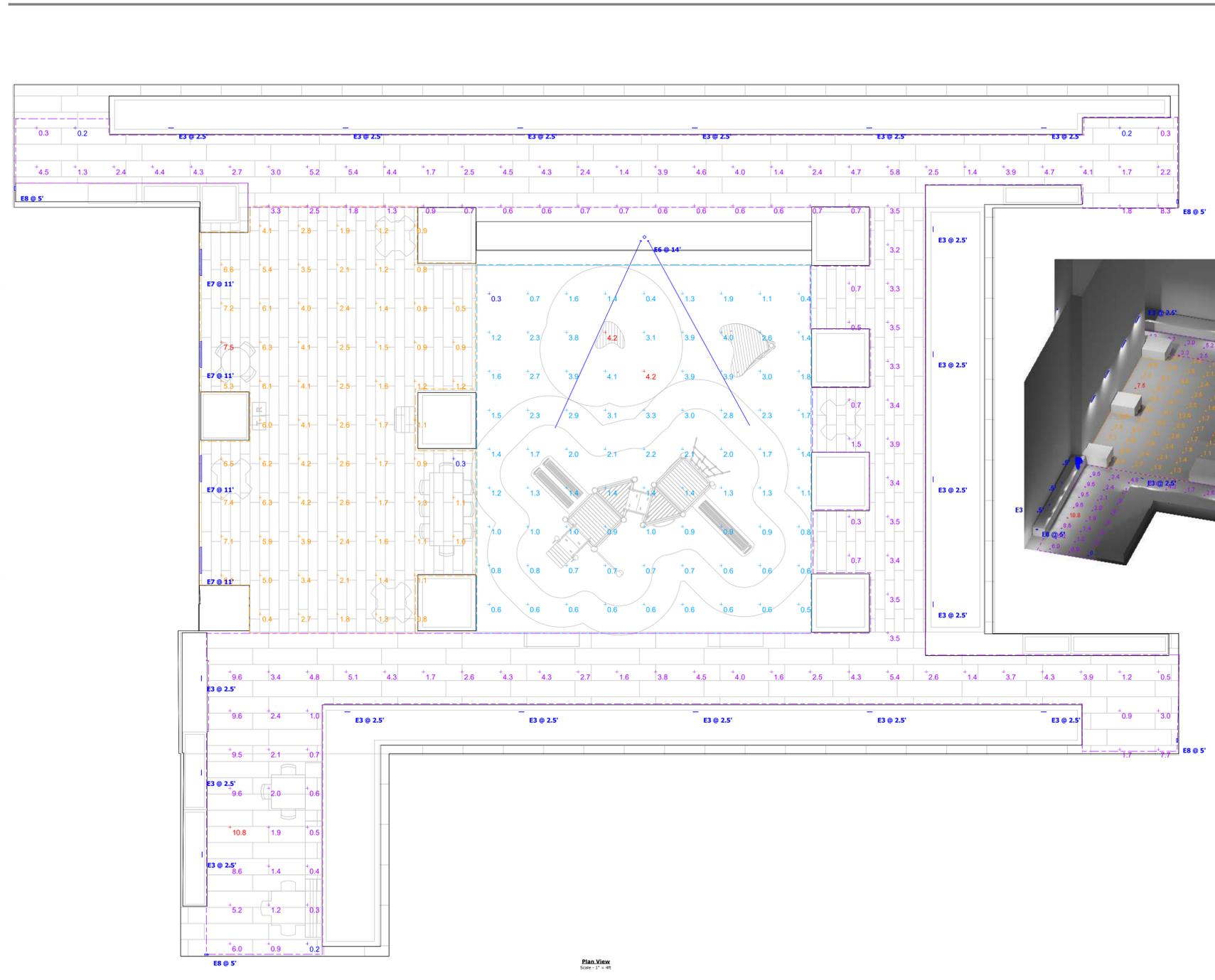
Wall Mount Luminaire

Specifications
 Size: 12" x 12" x 12"
 Weight: 15 lbs

MB SMITH

Wall Mount Luminaire

Specifications
 Size: 12" x 12" x 12"
 Weight: 15 lbs



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Ceiling Height: NA
 Luminaire Mounting Height: As noted
 Calculation Point Height: As noted

Luminaire Illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstance.

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|---------------|--|--|------|-----------------|-------------------|---------|
| — | E3 | 18 | TARGETTI | ZPB4140WDL327/Finish/ (Options)/(Mounting)/(In stallation) | Bollards are assumed to be mounted in 2' planters. Add 2' to the mounting height to get true total height. | LED | 2123 | 0.85 | 14.5 |
| ○ | E6 | 1 | TARGETTI | DASRPFL2M2724/(Pow er)/(LUSP01FE168/LUSP0 1BKTFED | B0 U0 G1 | LED | 2146 | 0.85 | 27.2 |
| — | E7 | 4 | Luminaire LED | BLD 3GM MINI0 15W 27K MVOLT DP (Finish) | B0 U0 G1 | LED | 1537 | 0.85 | 14.7 |
| — | E8 | 4 | TARGETTI | MRSW41FEMDL127 | B1 U0 G0 | LED | 954 | 0.85 | 7 |

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|----------------|--------|--------|---------|--------|---------|---------|
| BBQ Area 0'0" | + | 3.0 fc | 7.5 fc | 0.3 fc | 25.0:1 | 10.0:1 |
| Play Area 0'0" | + | 1.7 fc | 4.2 fc | 0.3 fc | 14.0:1 | 5.7:1 |
| Walkways 0'0" | + | 2.9 fc | 10.8 fc | 0.2 fc | 54.0:1 | 14.5:1 |

| Finish | Surface | Reflectance/ Transmittance |
|----------|----------|----------------------------|
| Building | Building | 30 |
| Ground | Floor | 10 |

1171 Sonora Court | Courtyard
 PC # 24-39697
 Client: Jett Landscape Architects

Designer
 Date
 Scale
 Rev No.
 Rev 01
 Summary