



Sunnyvale

1150-1170 Kifer Road Project 2022-7168

George Schroeder, Principal Planner
Planning Commission, October 9, 2023

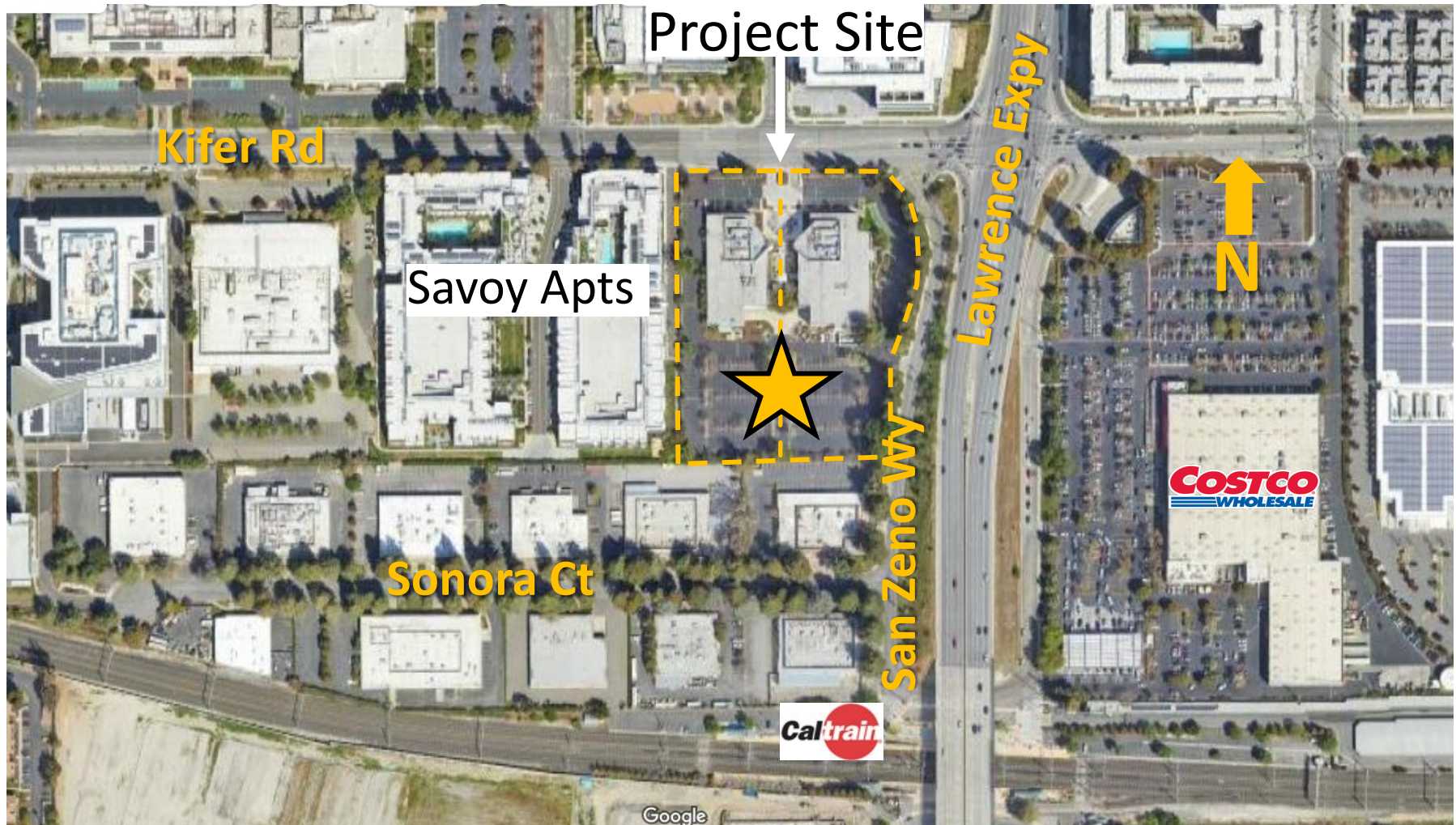
Overview

- Special Development Permit and Tentative Parcel Map
- Proposed Project:
 - ◆ Construct an eight-story, 225-unit apartment building
 - Includes 36 low-income and 8 very-low income units
 - ◆ Parking structure within the first three levels
 - Existing offices would use two levels of parking structure
 - ◆ Relocate existing lot line
 - One lot each for offices and apartments
- Project is subject to HAA, SB 330, State Density Bonus

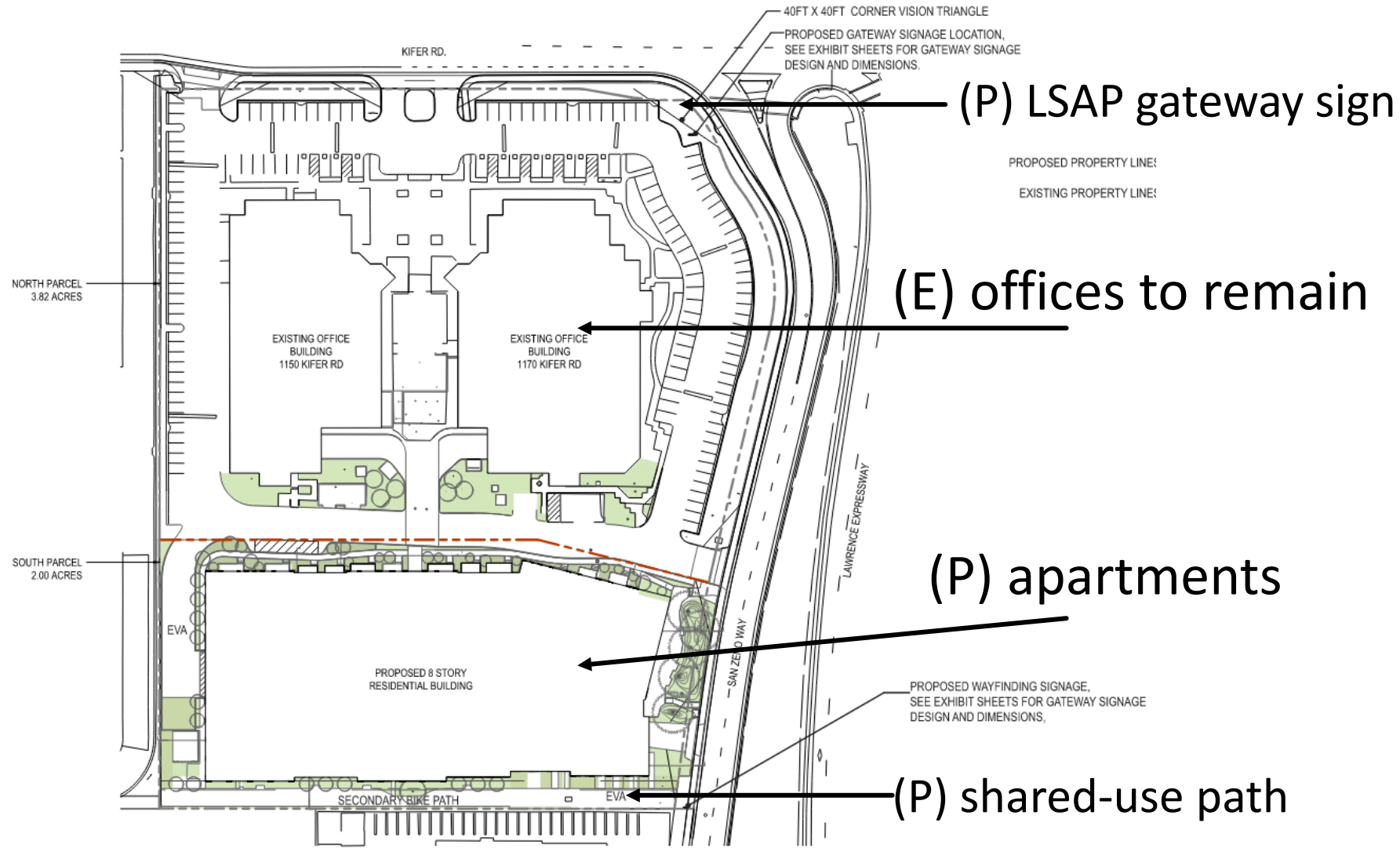
Background

- General Plan Designation: Transit Mixed-Use
- Specific Plan: Lawrence Station Area Plan (LSAP)
- Zoning: Flexible Mixed-Use I (MXD-I)
 - ◆ Residential:
 - Allowed: 45 du/ac (baseline)
 - ◆ Voluntary Incentives:
 - LSAP Incentives Program: up to 35 du/ac density incentive points
 - Green Building incentive
 - State Density Bonus
 - Proposed: 112.5 du/ac
 - ◆ Combination of 30 LSAP incentive points and 50% State Density Bonus

Site Context



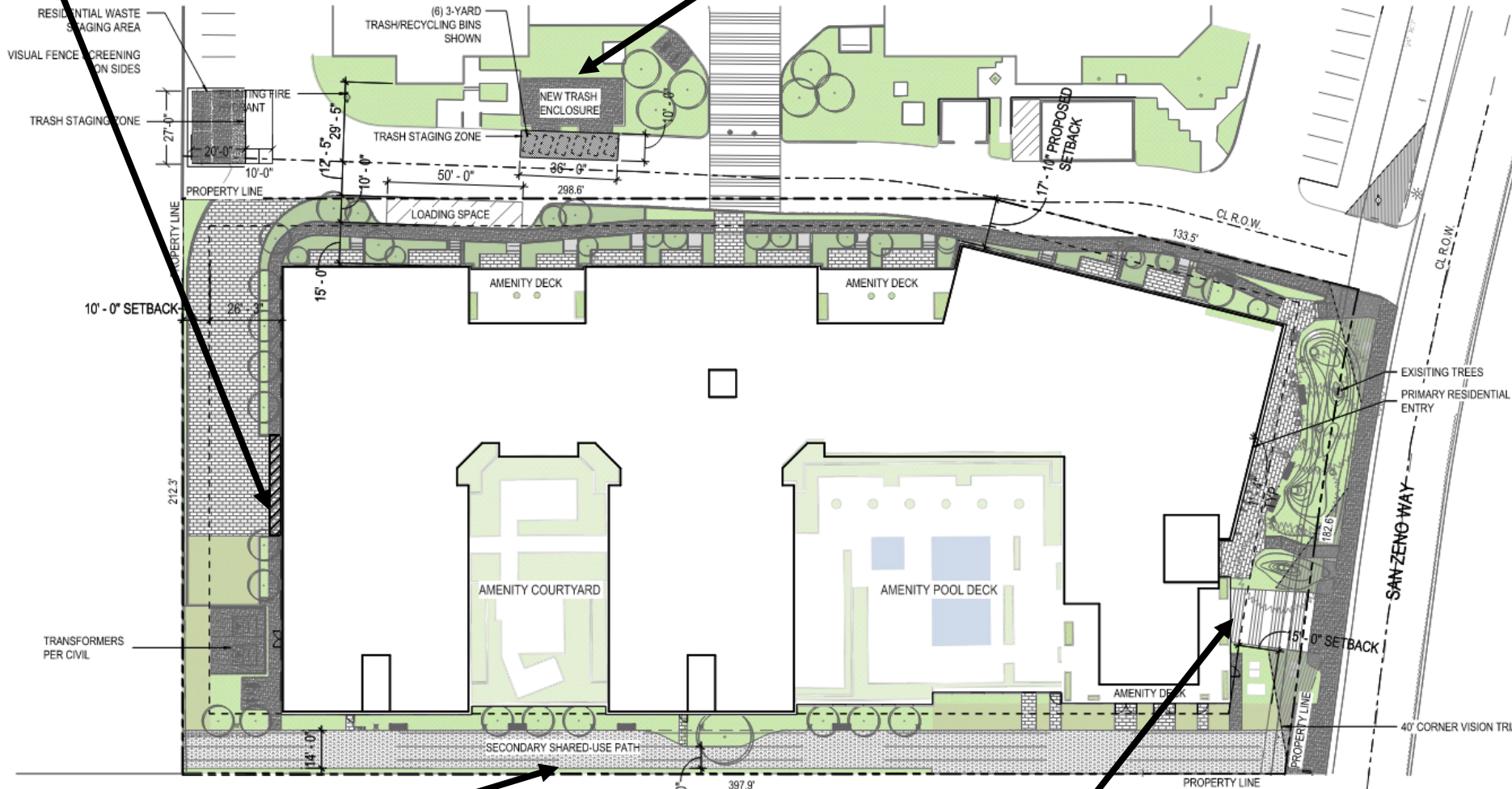
Overall Site Plan



Enlarged Site Plan

Office garage entry

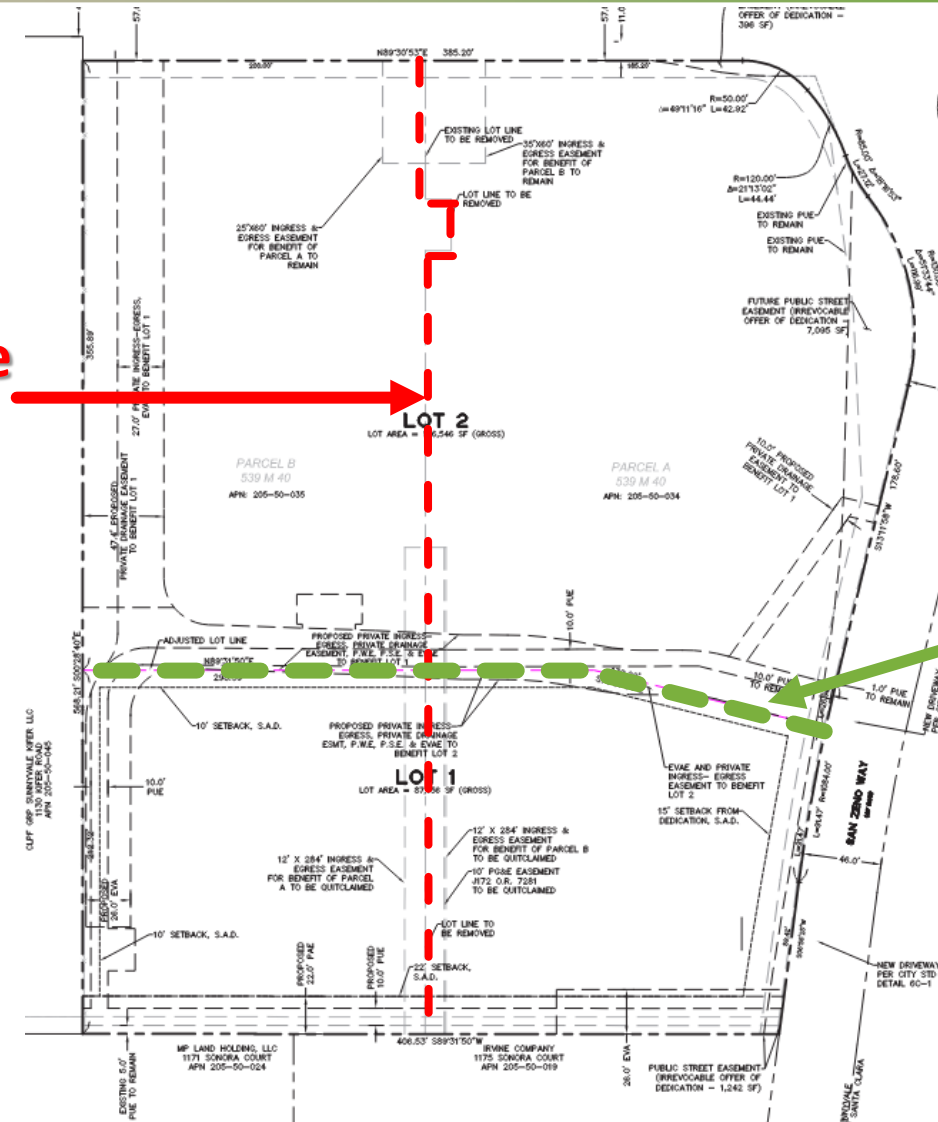
Office trash encl.



Shared use path

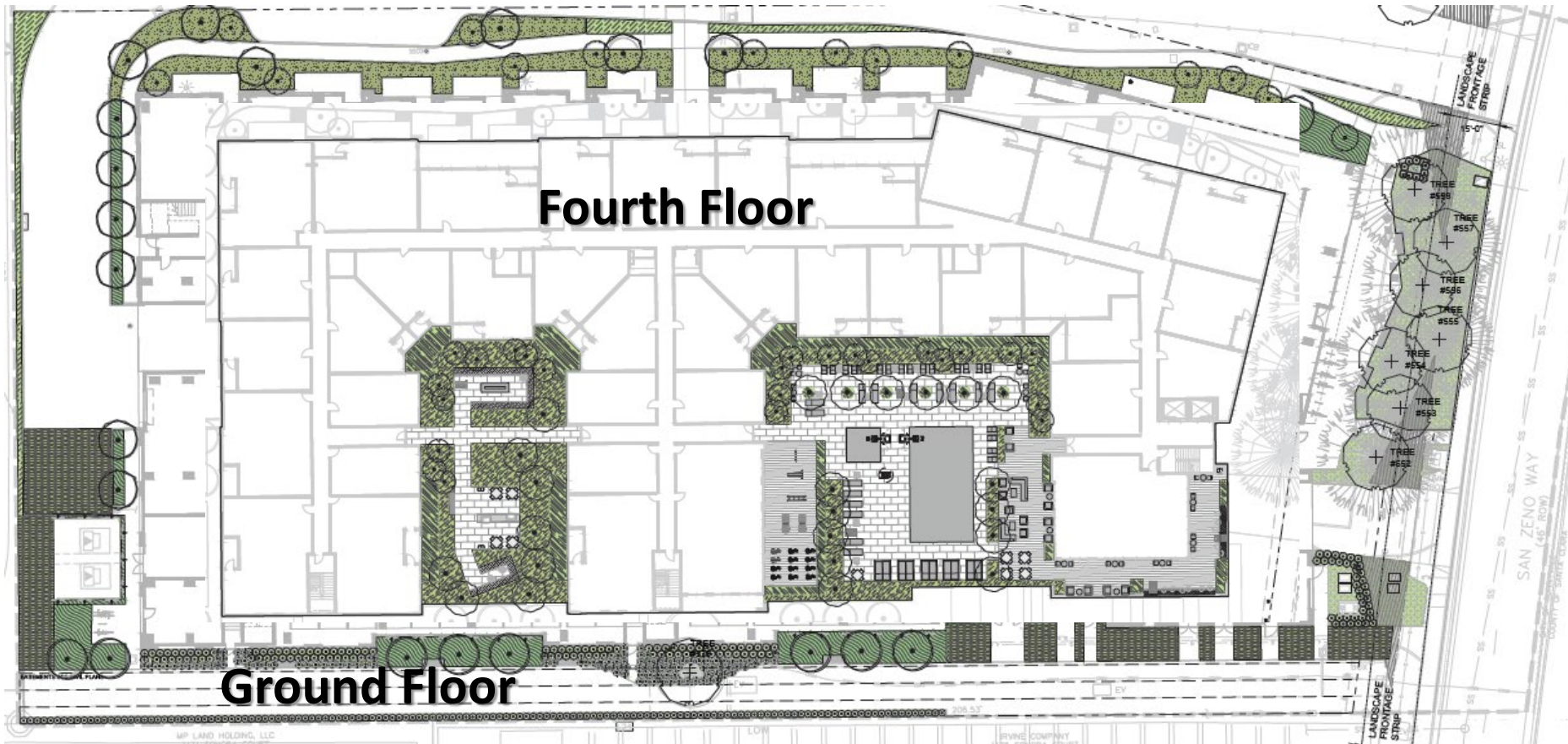
Residential garage entry

Existing Lot Line



Proposed Lot Line

Proposed Landscaping/Tree Plantings



San Zeno Wy Rendering - Northeast



San Zeno Wy Rendering - Southeast



North Rendering



West Rendering



South Rendering



State Density Bonus Waivers Requested

- Lot Width (188' when 200' is required)
- Building setback to shared-use path (6'-2" when 10' req)
- Nine LSAP Objective Design Guidelines
 - ◆ Parking access from side, rear, or interior drive aisle
 - ◆ Three vertical building modules, 15' wide x 5' deep
 - ◆ 15' x 15' wall recesses every 175 feet of wall plane
 - ◆ Reduce building height every 100' within 15' of height limit
 - ◆ Additional 15' building setback above 50' in height
 - ◆ Reduced floor plate sizes above 75'
 - ◆ Blank walls no greater than 30' along shared-use path
 - ◆ 20' x 20' wall recesses every 200' along shared-use path
 - ◆ 6' high exterior walls in parking structure

Recommended Findings

- Project is consistent with 2016 LSAP EIR and 2021 LSAP SEIR – no new environmental impacts
- Project attains the objectives and purposes of the General Plan and LSAP
- Project will not impair adjacent properties
- Project site is suitable for subdivision, and consistent with General Plan and LSAP

Recommendation

Alternatives

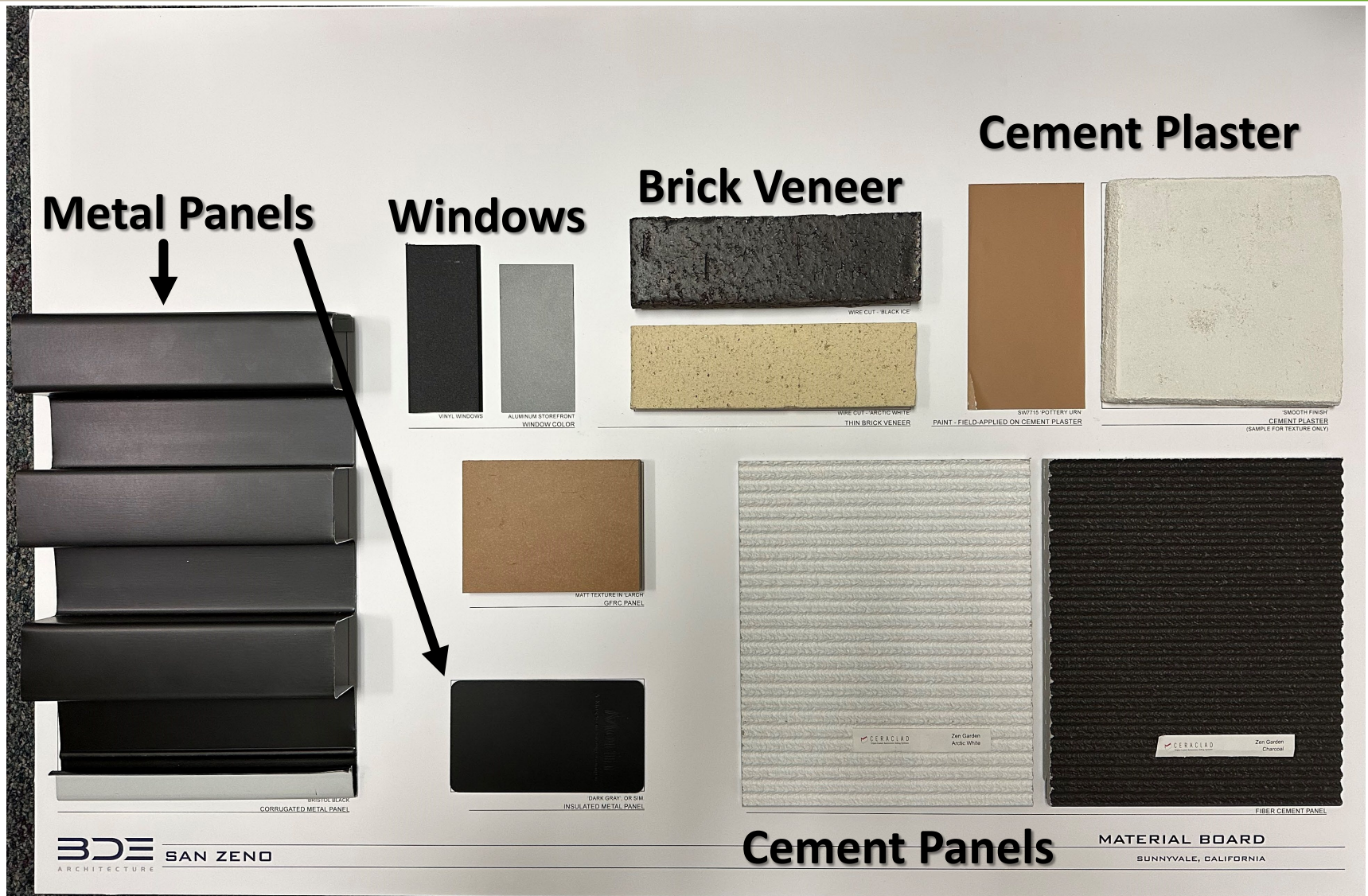
1. Approve SDP/TPM and CEQA determination per rec. COAs
2. Approve SDP/TPM and CEQA determination with mods
3. Do not make findings and direct staff where changes should be made

Staff Recommendation

Alternative 1: Approve the SDP/TPM and CEQA consistency determination per the recommended findings and conditions of approval

Backup Slides

Color and Material Board



Color and Material Application – North Side



MATERIAL PALETTE - NORTH

Color and Material Application – South Side

