

SCOPE OF WORK:

1. ADDING SECOND FLOOR OF 465 SQUARE FEET ON TOP OF GARAGE AND EXISTING FIRST FLOOR
2. ADDING 507 SQUARE FEET ON THE FIRST FLOOR TO CREATE A NEW MASTER BEDROOM AND EXTENDING EXISTING KITCHEN
3. REPLACING ALL WINDOWS WITH ENERGY EFFICIENT
4. REPLACING FURNACE FOR EXISTING AND ADDITION AREAS ON FIRST FLOOR
5. REPLACING EXISTING ROOF WITH CLASS C SHINGLE ROOF
6. REPLACING ALL EXISTING OUTLETS WITH NEW OUTLETS WITH GROUND CONDUCTORS
7. CONVERTING FIREPLACE TO GAS
8. UPGRADING ELECTRICAL PANEL TO 250A
9. INSULATING GARAGE WALLS

PROJECT DATA:

- | | |
|--|----------------------|
| 1. A.P.N. | 205-06-045 |
| 2. LOT AREA | 5,200 SF |
| 3. ZONING | R-0 |
| 4. OCCUPANCY | R-3/U |
| 5. STORY | 2 |
| 6. EXISTING LIVING AREA | 1,107 SF |
| 7. EXISTING GARAGE AREA | 425 SF |
| 8. PROPOSED ADDING FIRST FLOOR | 507 SF |
| 9. PROPOSED ADDING SECOND FLOOR | 470 SF |
| 10. TOTAL PROPOSED ADDING LIVING AREA | 977 SF |
| 11. TOTAL NEW LIVING AREA | 2,084 SF |
| 12. TOTAL IMPERIOUS AREA | 2,039 SF |
| 13. LOT COVERAGE | 2,039/5,200 = 39.21% |
| 14. TOTAL RATIO (1ST & 2ND / LOT SIZE) | 2,509/5,200 = 48.25% |

ELECTRICAL SYMBOLS

- ⊙ Ceiling Mounted Light Fixture
- ⊙ Wall Mounted Light Fixture
- ⊙ FL Fluorescent Light Fixture w/Diffuser
- ⊙ 110V. 20A Ground fault Interruptor Outlet
- ⊙ Outlet connected to Arc fault circuit interrupter
- ⊙ Single Switch
- ⊙ Three Way Switch
- ⊙ Smoke Alarm
- ⊙ Carbon Monoxide Alarm
- ⊙ Attic Access
- ⊙ Light and Exhaust Fan
- ⊙ Heat Vent
- ⊙ Recessed Light
- ⊙ Internet / Phone
- ⊙ Television Outlet

ARCHITECTURAL SYMBOLS

- ▬ NEW WALL TO BE BUILT
- ▬ NEW BEARING WALL
- ▬ NEW ONE-HOUR WALL
- ▬ EXISTING WALL TO REMAIN
- ▬ HEADER 4"x8"
- ▬ EXISTING WALL TO BE REMOVED
- (N) NEW
- (E) EXISTING
- ▬ INSULATION

REFERENCE:

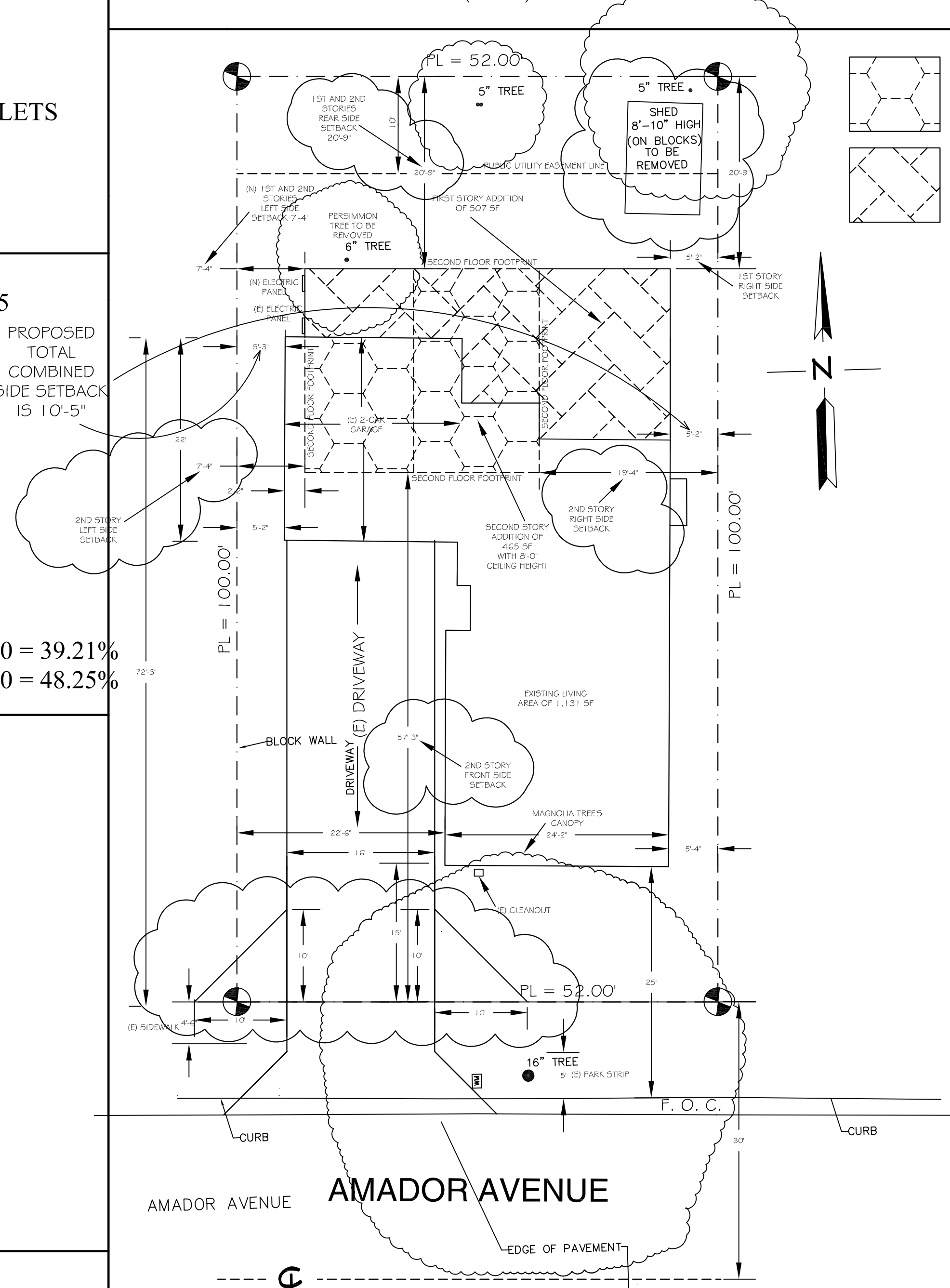
CALIFORNIA BUILDING CODE	2016
CALIFORNIA RESIDENTIAL CODE	2016
CALIFORNIA ELECTRICAL CODE	2016
GREEN BUILDING STANDARDS CODE	2016
CALIFORNIA MECHANICAL CODE	2016
CALIFORNIA PLUMBING CODE	2016
CALIFORNIA FIRE CODE	2016
CALIFORNIA ENERGY CODE	2016

ADDING SECOND FLOOR ON TOP OF GARAGE & A MASTER BEDROOM ON FIRST FLOOR

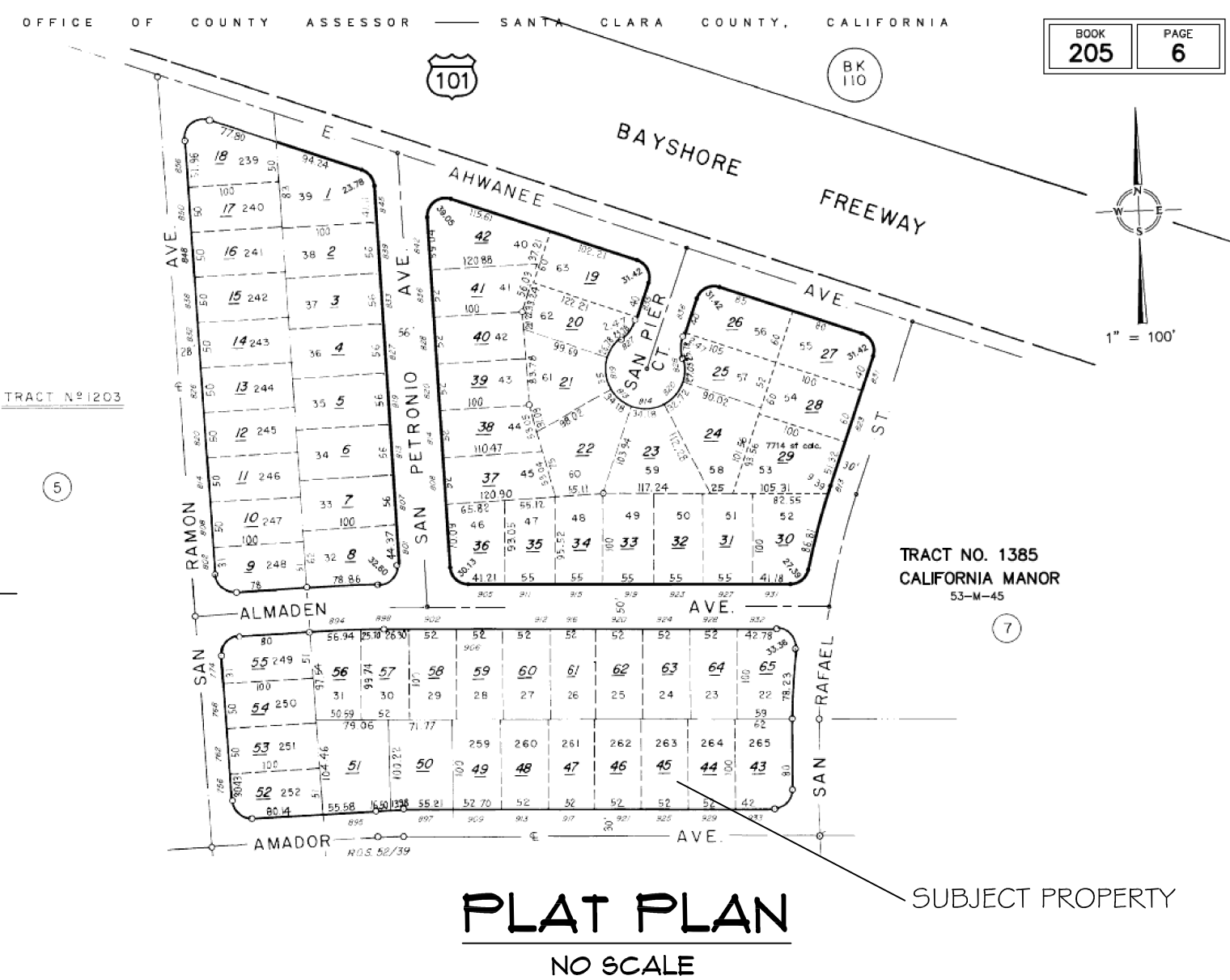
925 Amador Ave
Sunnyvale, CA 94085
Owner: Trinh Thai
(408) 306-3096

JIMMY DINH'S DRAFTING

18302 SOLANO COURT
MORGAN HILL, CA 95037
669-300-7200
E-mail: JimmyDinh2003@gmail.com



SITE PLAN
SCALE: 1/16" = 1'-0"



PLAT PLAN
NO SCALE

PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO BUILDING INSPECTION.

PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIED COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WAS ACHIEVED.

BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

ALL PENETRATIONS INTO UNCONDITIONED SPACES (I.E. ATTIC, UNDER FLOOR, ETC.) SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

UFER GROUND WILL BE INSTALLED.

ALL CIRCUIT SUPPLYING OUTLETS DWELLING UNIT BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION ARC-FAULT CIRCUIT INTERRUPTER.

ALL RECEPTACLES SERVING KITCEHN COUNTERTOPS, INCLUDING ISLANDS AND PENINSULAS, BATHROOMS, GARAGES, OUTDOORS, LAUNDRY, UTILITY, SUNROOMS UNFINISHED BASEMENTS AND WITHIN 6' OF WET BAR SINKS SHALL BE GFCI PROTECTED.

SEPARATE CIRCUITS WILL BE PROVIDED FOR THE BATHROOMS, LAUNDRY ROOM, GARBAGE DISPOSAL/DISHWASHER, TWO AT THE LITCHEN COUNTERTOPS, AND HVAC (AS REQUIRED BY THE MANUFACTURER).

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- Sheet A-1: Site Plan and Notes
- Sheet A-2: Existing/ Proposed Floor Plan
- Sheet A-3: Diagram of Floor Plan
- Sheet A-4: Existing/ Proposed Elevations
- Sheet A-5: Existing/ Proposed Roof Plan
- Sheet A-6: Streetscape Plan
- Sheet A-7: Solar Study

HEATING REQUIREMENTS - RESIDENTIAL

Dwelling units, guest rooms and congregate residences shall be provided with heating facilities capable of maintaining a room temperature of 68 degree F at a point 3 feet above the floor in all habitable rooms and 2 feet from exterior wall.

All mixing valves (including over a tub) shall be pressure balancing and set at a maximum 120 degree F. All water filler valve in bath tubs/whirlpools shall have a temperature limiting device set at a maximum of 120 degree F. The water heater thermostat cannot be used to meet these provisions. Access shall be provided for all tempura mixing valves.

Bathtub waste opening in the floor over the crawl space shall be protected by a metal screen not exceeding 1/2" or a solid cover.

The hot water pipe from the water heater to the kitchen will be insulated, hot and cold pipes first 5 feet at water heater, hot water pipes 3/4" or larger, all pipes for recirculating system; if underground, insulate and water-proof casting.

All plumbing vents shall terminate not less than 6" above roof nor less than 1' from any vertical surface. Vents shall terminate not less than 10" from or 3' above any window, door, opening, air intake, or vent shaft nor 3' from lot line.

If water pressure exceeds 80 psi, an expansion tank and an approved pressure regulator shall be installed.

A non-removable backflow preventer or bib-type vacuum breaker will be installed on all exterior hose bibs.

All joints and seams of duct systems shall be sealed material meeting the UL 181 standard.

All receptacles will be tamper-resistant (TR marking).

Rain gutters, downspouts and splash blocks throughout are required.

All recessincandescent lighting fixtures shall be rated as air-tight (AT) and, when installed in an insulated ceiling shall have an approved zero clearance insulation cover (IC).

Provide showers and tub-shower combinations with individual control valves of the pressure balance or the thermostatic mixing valve type.

If any new electrical switches and/or outlet boxes are installed, there must be a minimum 24" horizontal separation for electrical boxes located on opposite sides of firewall.

If recessing an existing or new electrical service panel (main or sub-panel) into the 5/8" type 'x' gyp. board, provide full blocking around panel and install fire-rated gyp. board behind it. Use materials for an approved method of fire-stopping cable penetrations of fire-rated wall, floor and/or ceiling.

All under-floor cleanouts shall be extended to the exterior of the building if located more than 20' from the under-floor access.

ATTIC VENTILATION CALCULATION

FOR 2ND FLOOR ATTIC AREA OF 465 SQUARE FEET (8' CEILING)
TOTAL VENTILATION REQUIRED IS 465 x 144/150 SQ-IN. = 446 SQ-IN.
NUMBER OF VENTS = 446/(5.5 x22) = 4 BLOCKED VENTS

FOR 1ST FLOOR ATTIC AREA OF 259 SQUARE FEET (8' CEILING)
TOTAL VENTILATION REQUIRED IS 259 x 144/150 SQ-IN. = 138 SQ-IN.
NUMBER OF VENTS = 138/(5.5 x22) = 2 BLOCKED VENTS PLUS EXISTING VENTS THAT WILL BE COVERED BY THIS ADDITION (VIP BY CONTRACTOR).

FOR CRAWL SPACE OF 507 SQUARE FEET
TOTAL VENTILATION REQUIRED IS 507 x 144/150 SQ-IN. = 487 SQ-IN. PLUS EXISTING VENTS THAT WILL BE COVERED BY THIS ADDITION (VIP BY CONTRACTOR).

**DINH'S
DESIGNS**
669-300-7200

SUBMITTAL #3

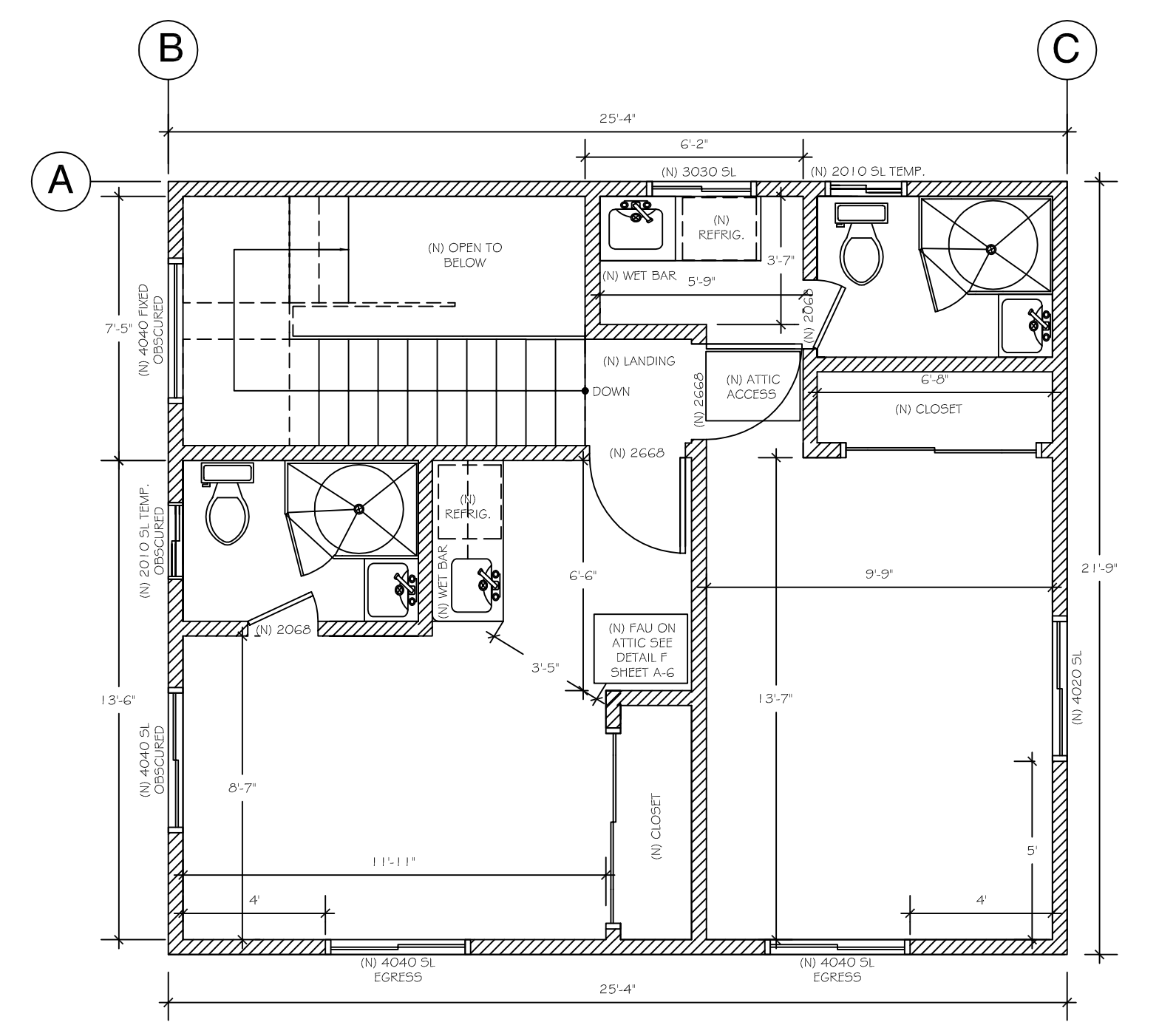
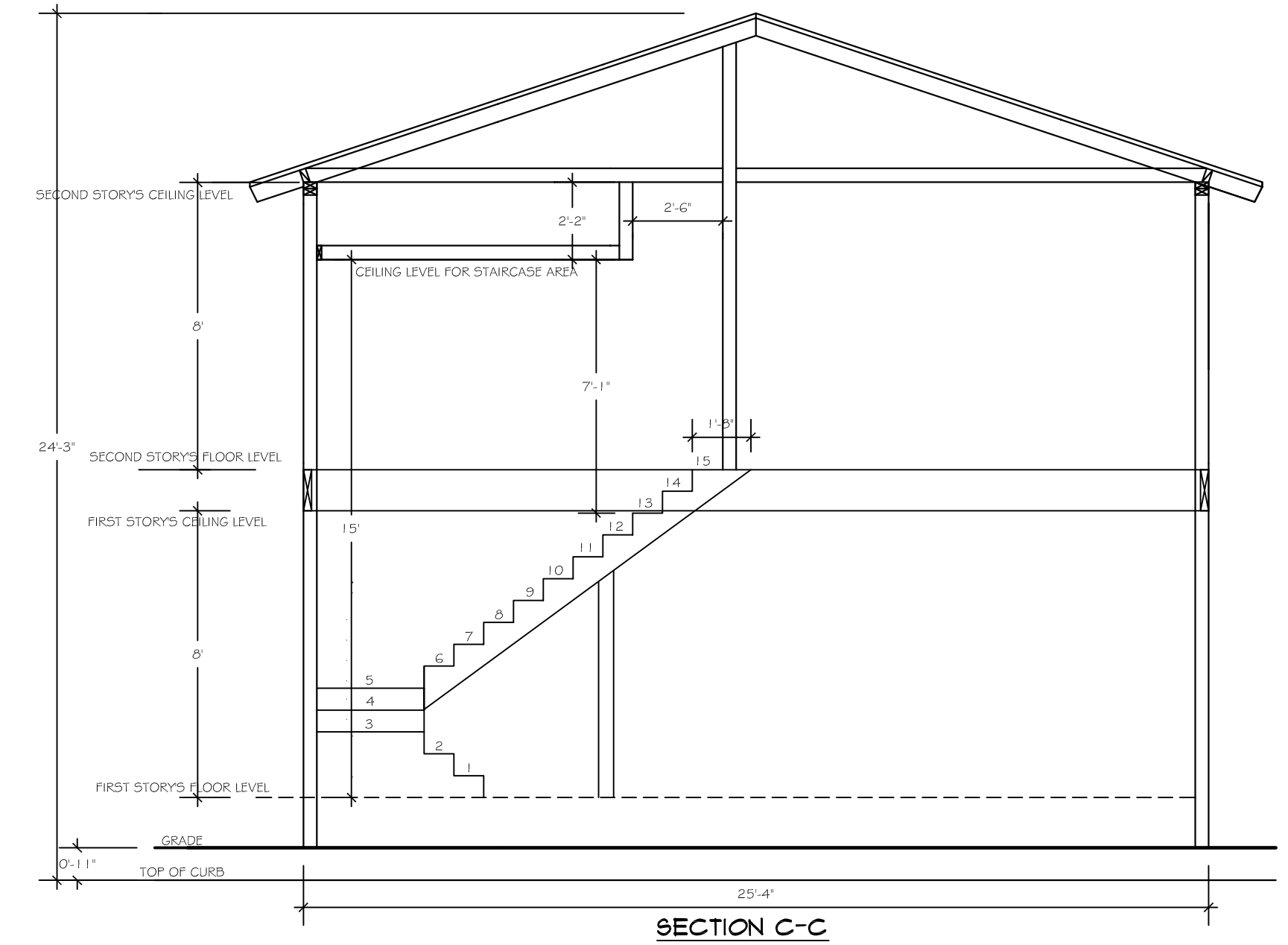
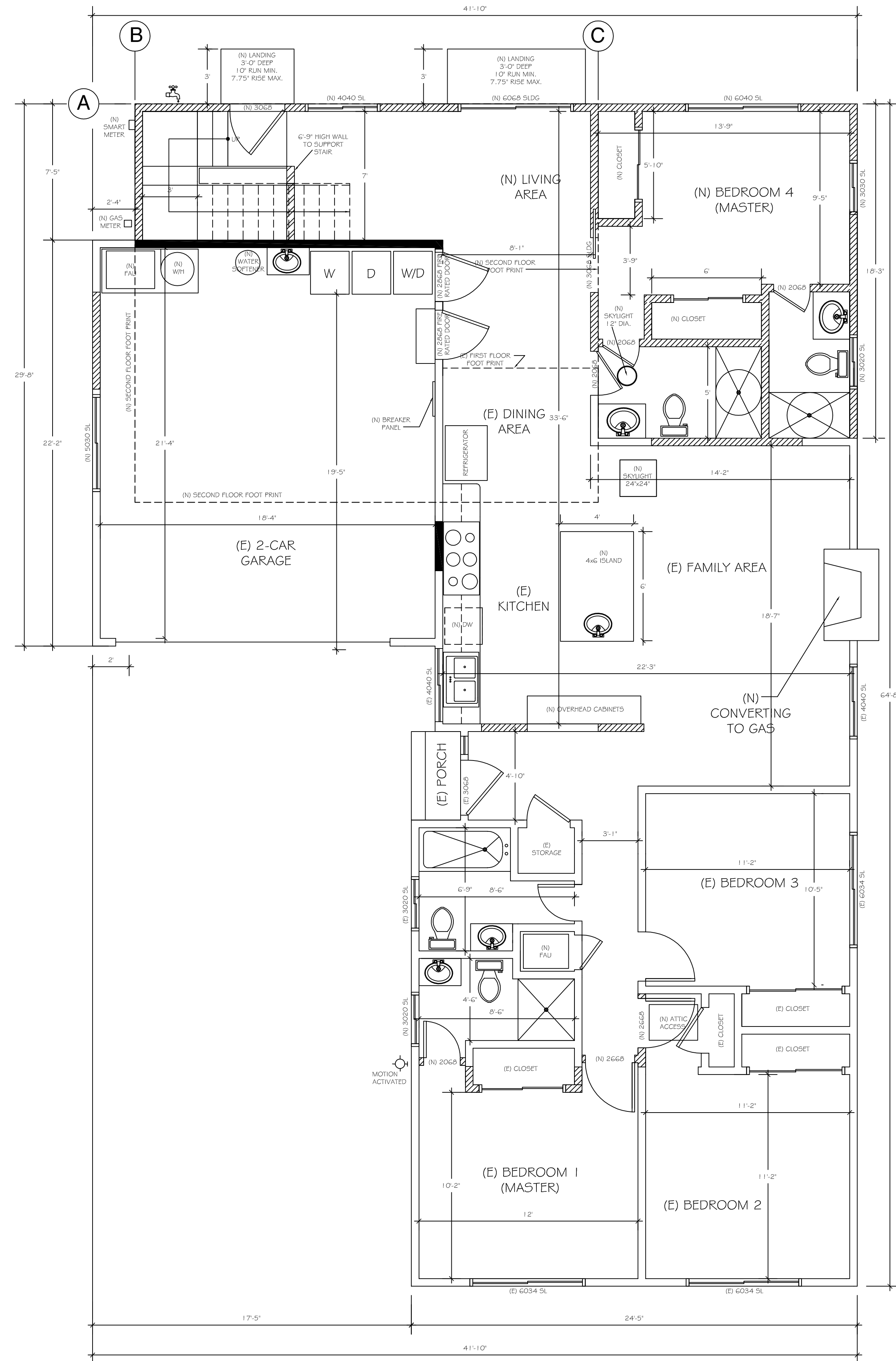
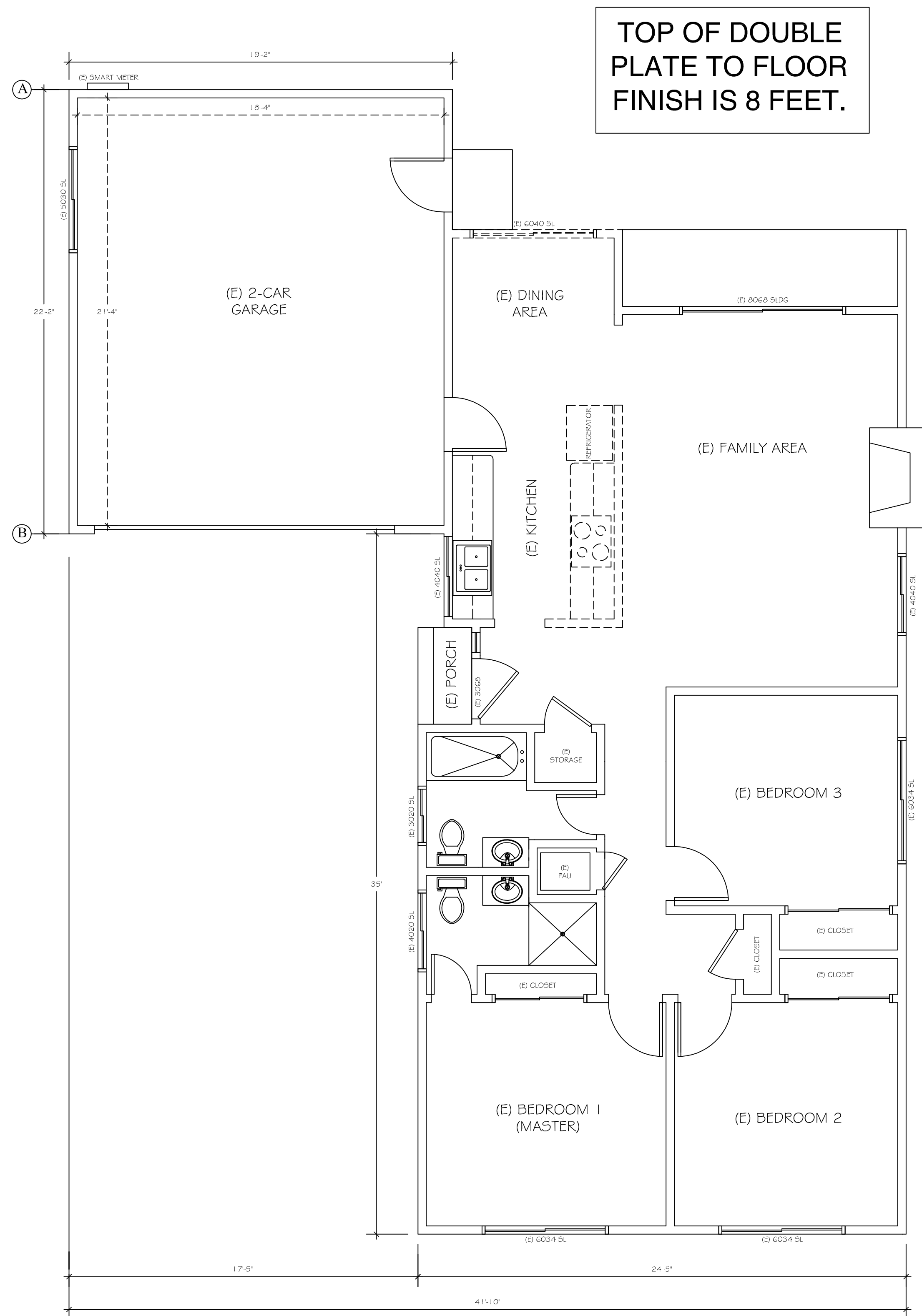
Jimmy Dinh's Drafting
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JimmysDrafting.Wordpress.com

SITE PLAN & NOTES
925 AMADOR AVE
SUNNYVALE, CA 94085
OWNER: TRINH THAI

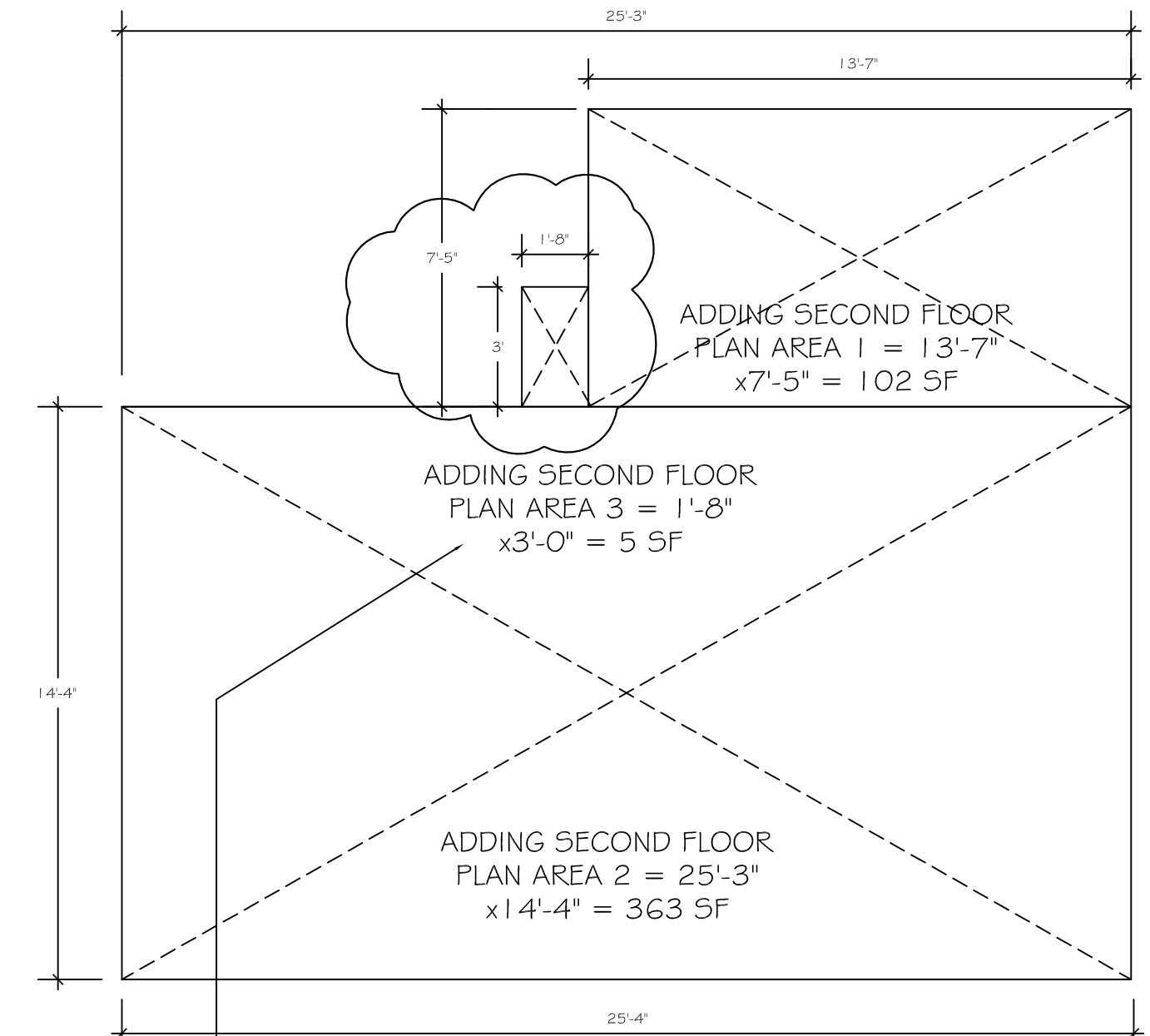
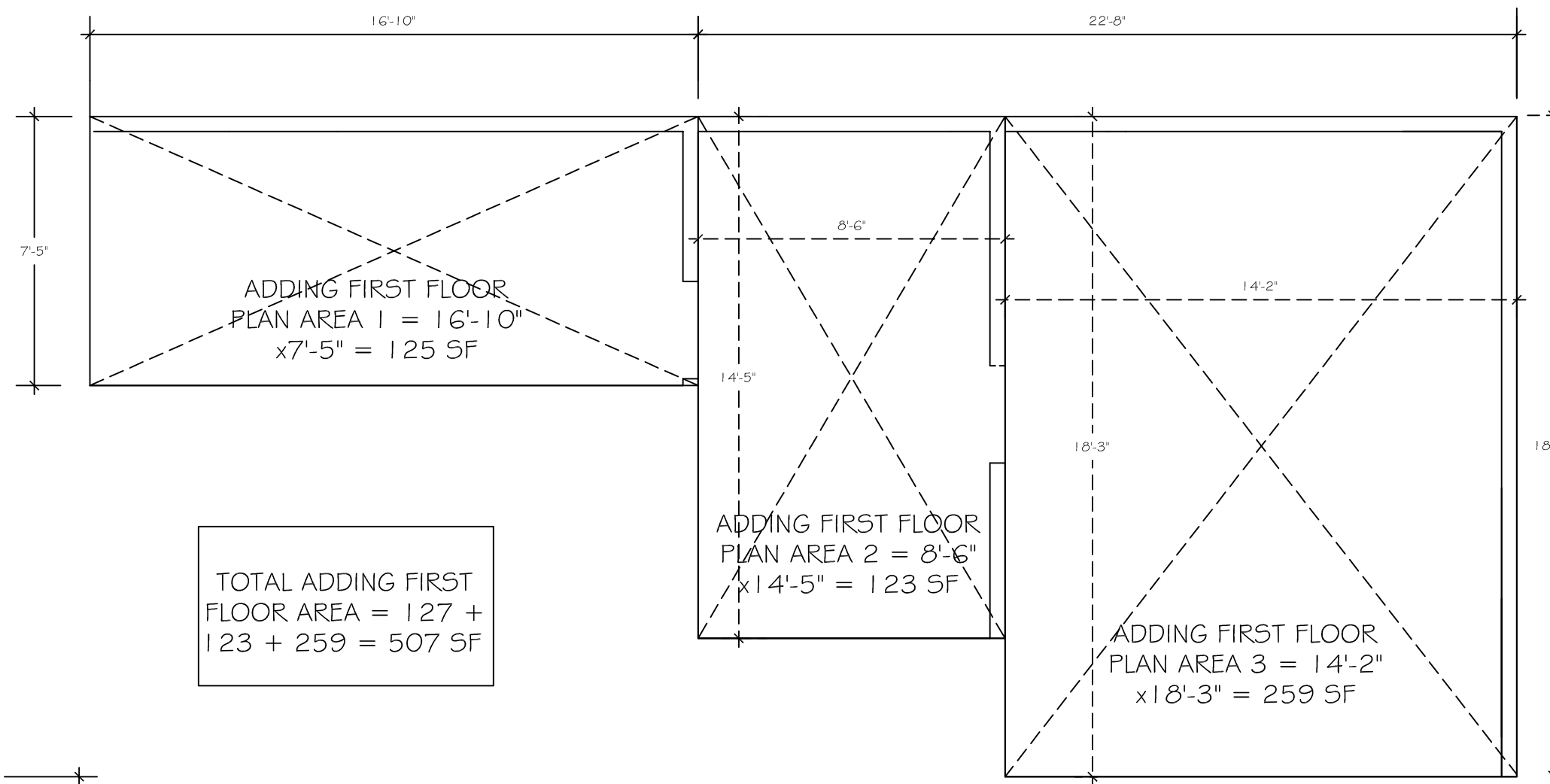
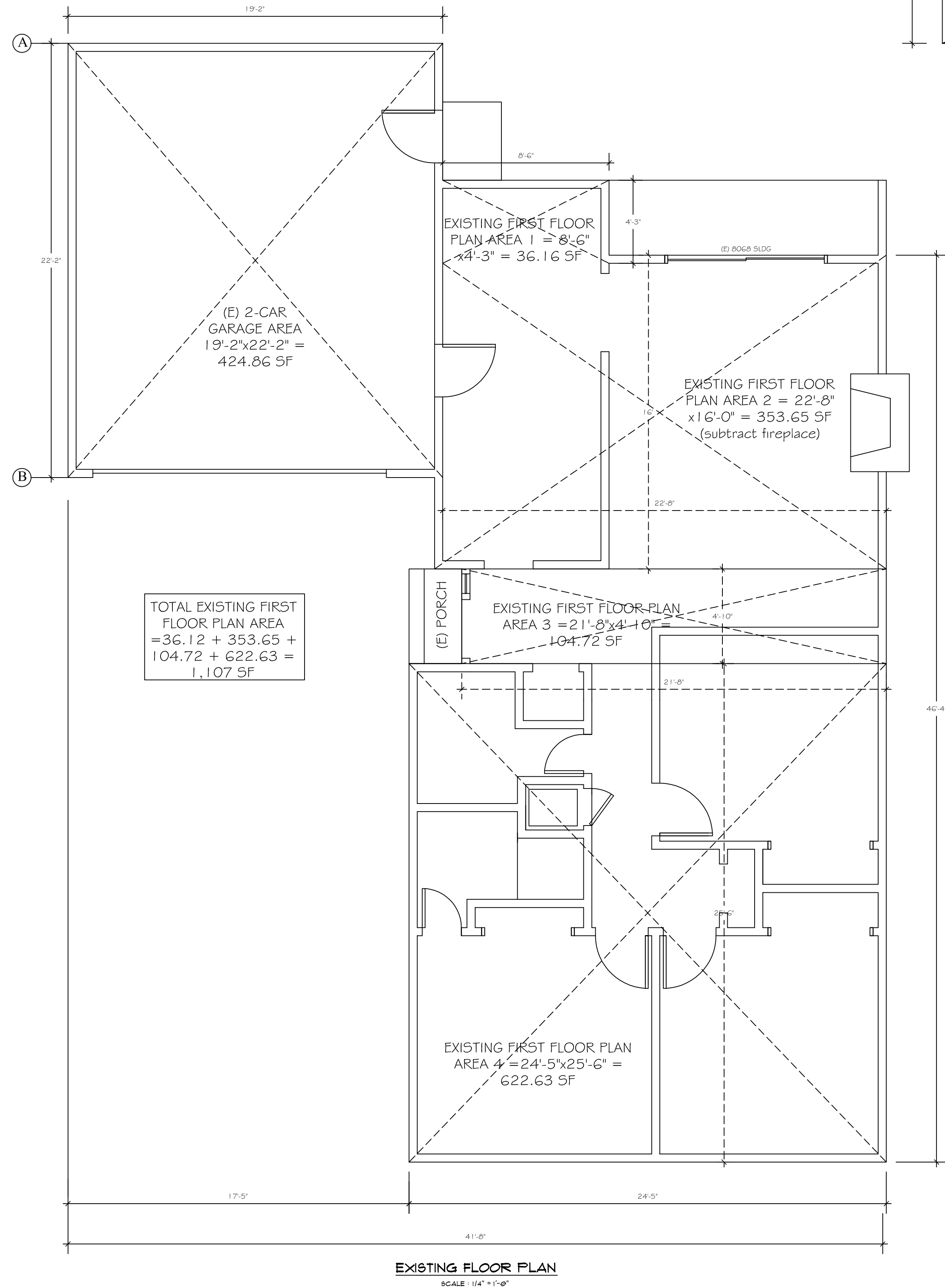
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A-2	ALL RIGHTS RESERVED	DRAWN BY	06/10/2017	EXISTING & PROPOSED FLOOR PLANS 925 AMADOR AVE SUNNYVALE, CA 94085 OWNER: TRINH THAI	Jimmy Dinh's Drafting 18302 Solano Court Morgan Hill, CA 95037 (669) 300-7200 Jimmy'sDrafting.wordpress.com	SUBMITTAL #3 DINH'S DESIGNS 669-300-7200
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THIS NEW AREA ADDED BECAUSE SUNNYVALE COUNTS > 15' STAIRCASE AREA AS LIVING AREA

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Merigan Hill, CA 94087
(669) 300-7200
SunnysDrafting.wordpress.com

DIAGRAMS OF FLOOR PLANS
925 AMADOR AVE
SUNNYVALE, CA 94085
OWNER: TRINH THAI

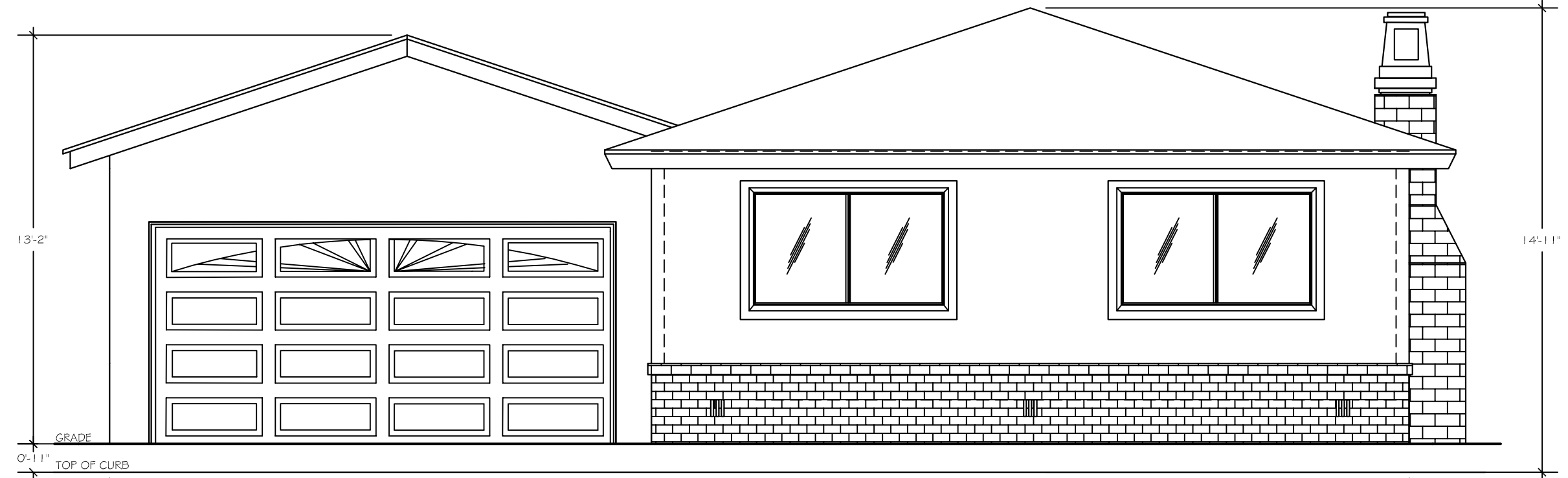
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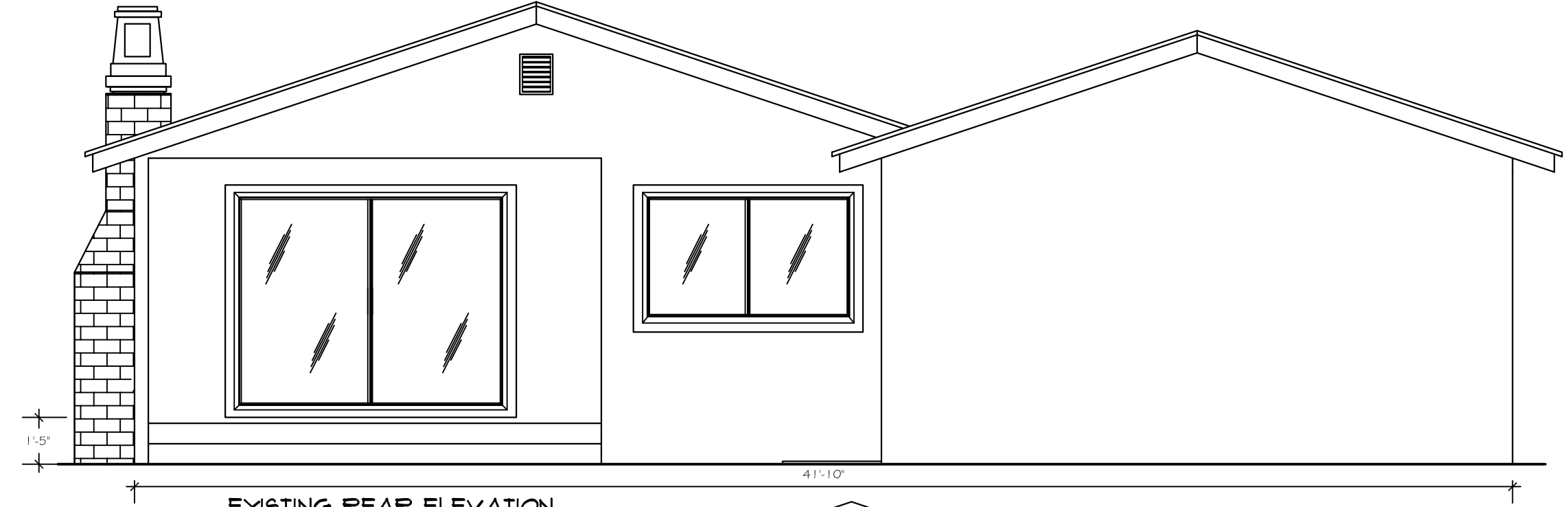
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EXISTING FRONT ELEVATION



EXISTING COLOR FRONT ELEVATION
NO SCALE

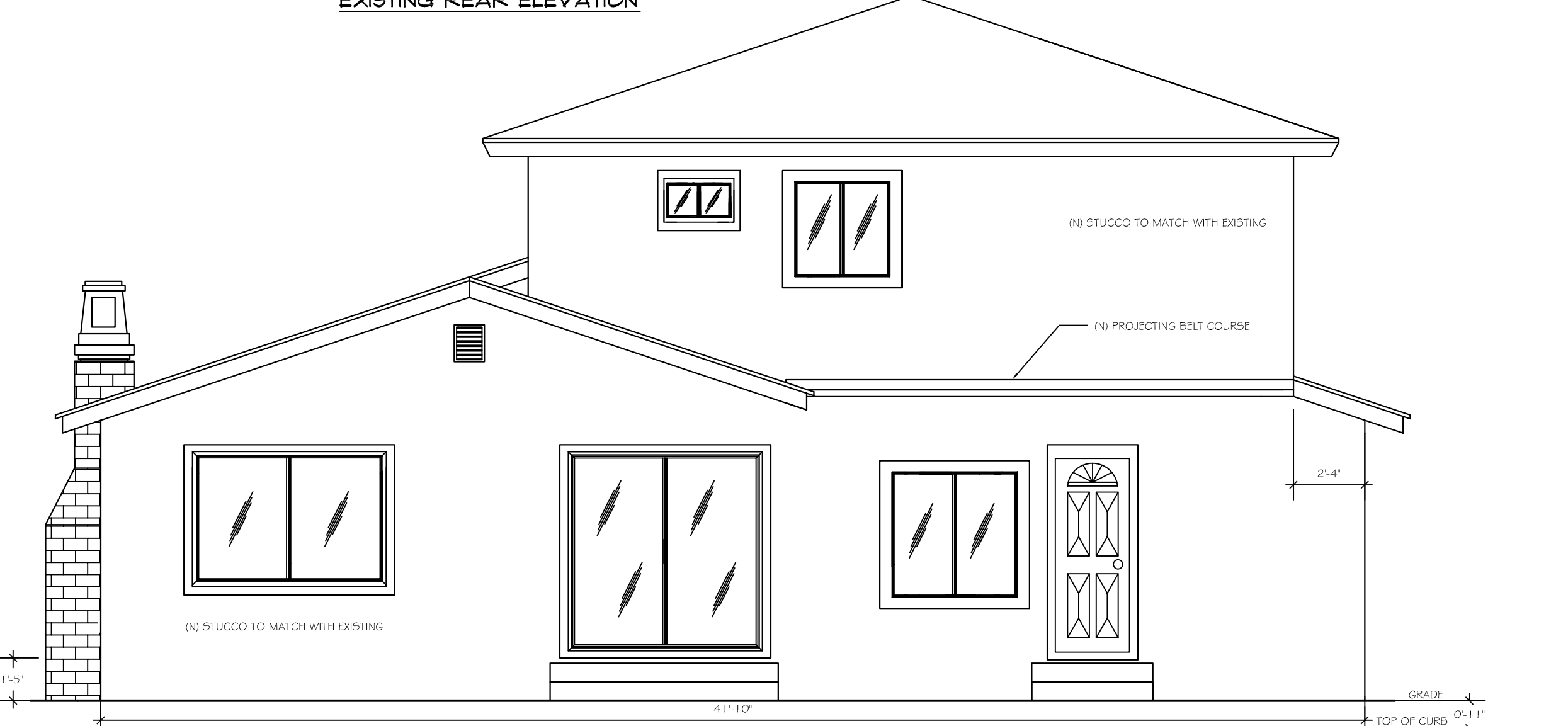


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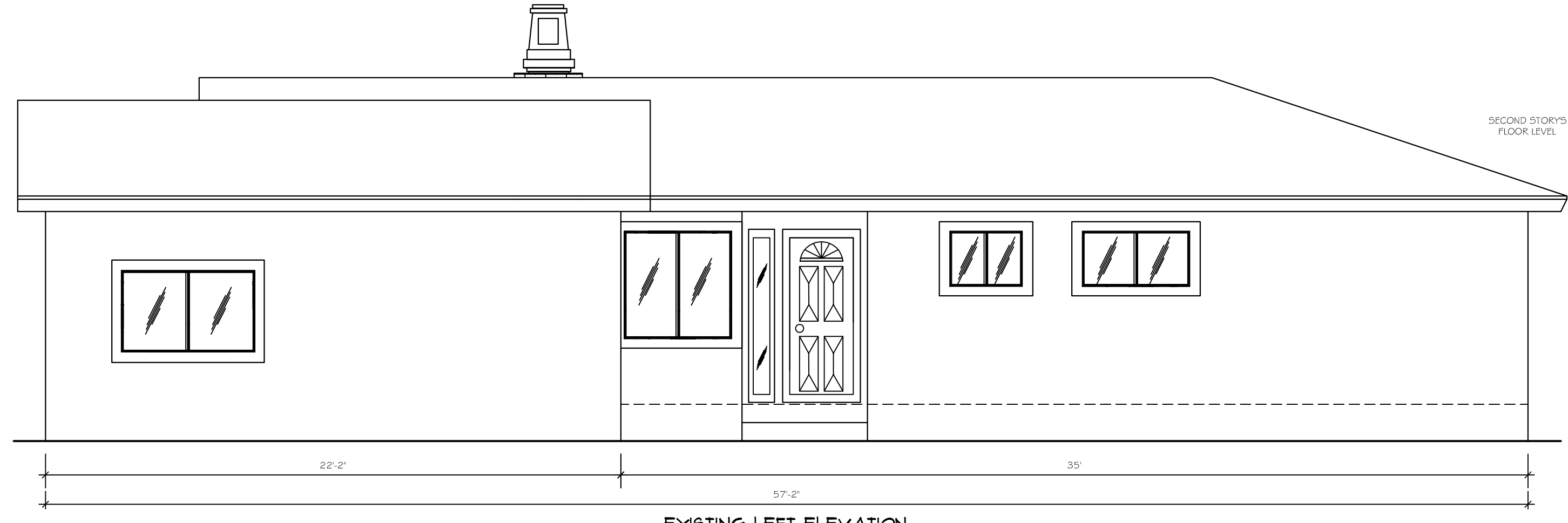


PROPOSED FRONT ELEVATION

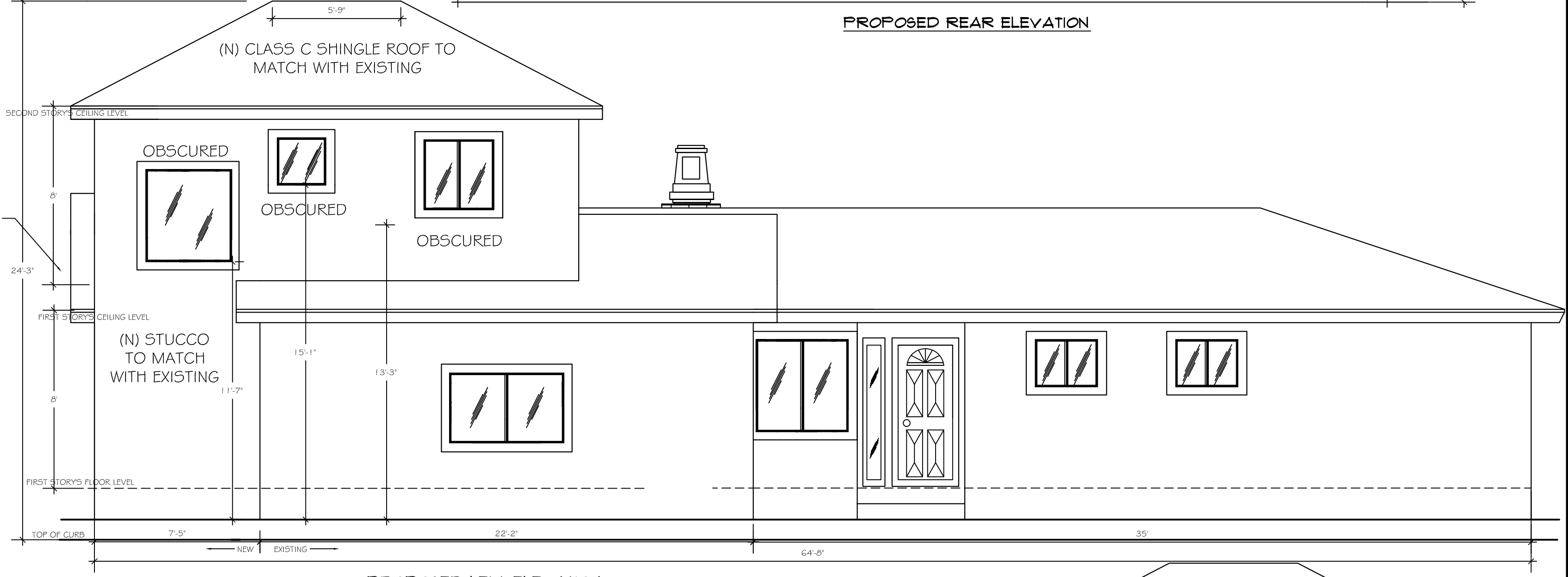
COLORS AND MATERIALS USED FOR WALLS, ROOF AND WINDOW TRIMS SHALL BE CONSISTENT WITH EXISTING MATERIALS THROUGHOUT THE HOUSE



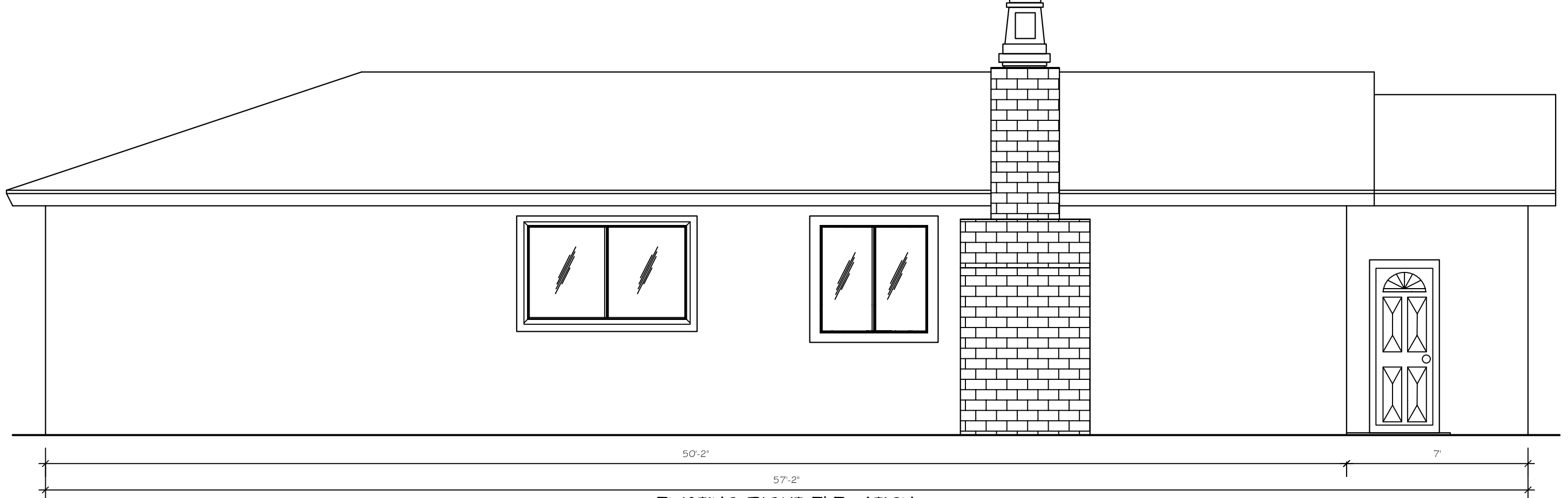
PROPOSED REAR ELEVATION



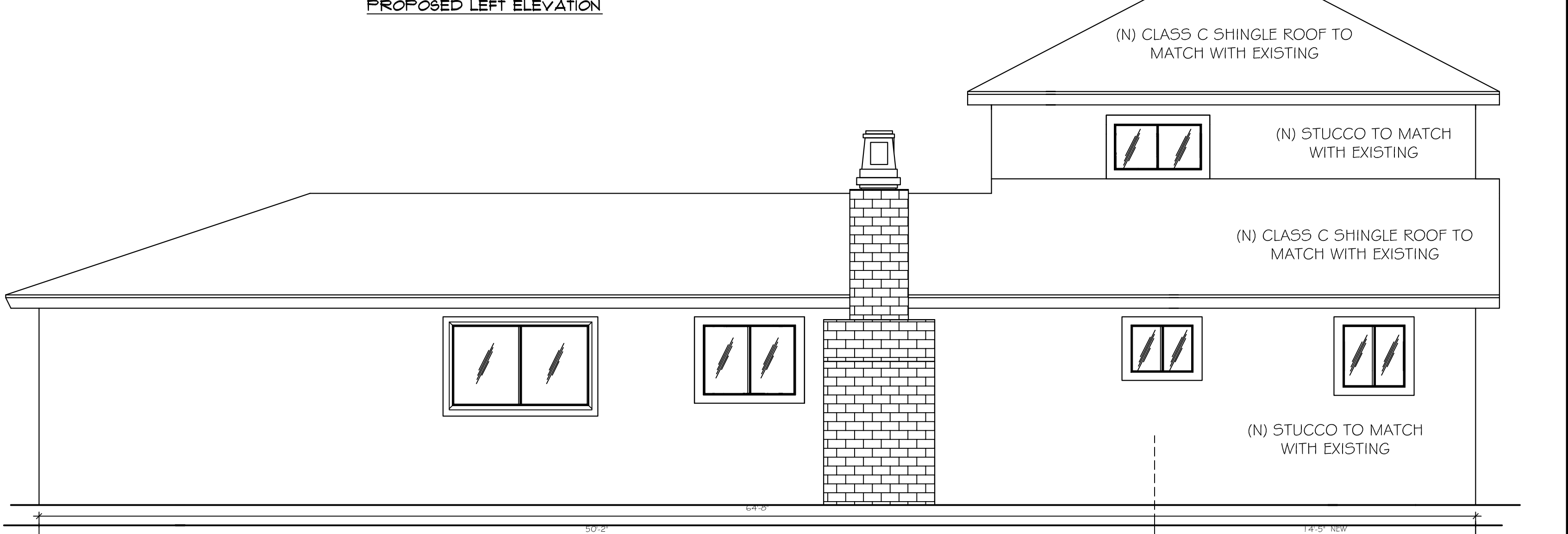
EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION



EXISTING RIGHT ELEVATION



PROPOSED RIGHT ELEVATION

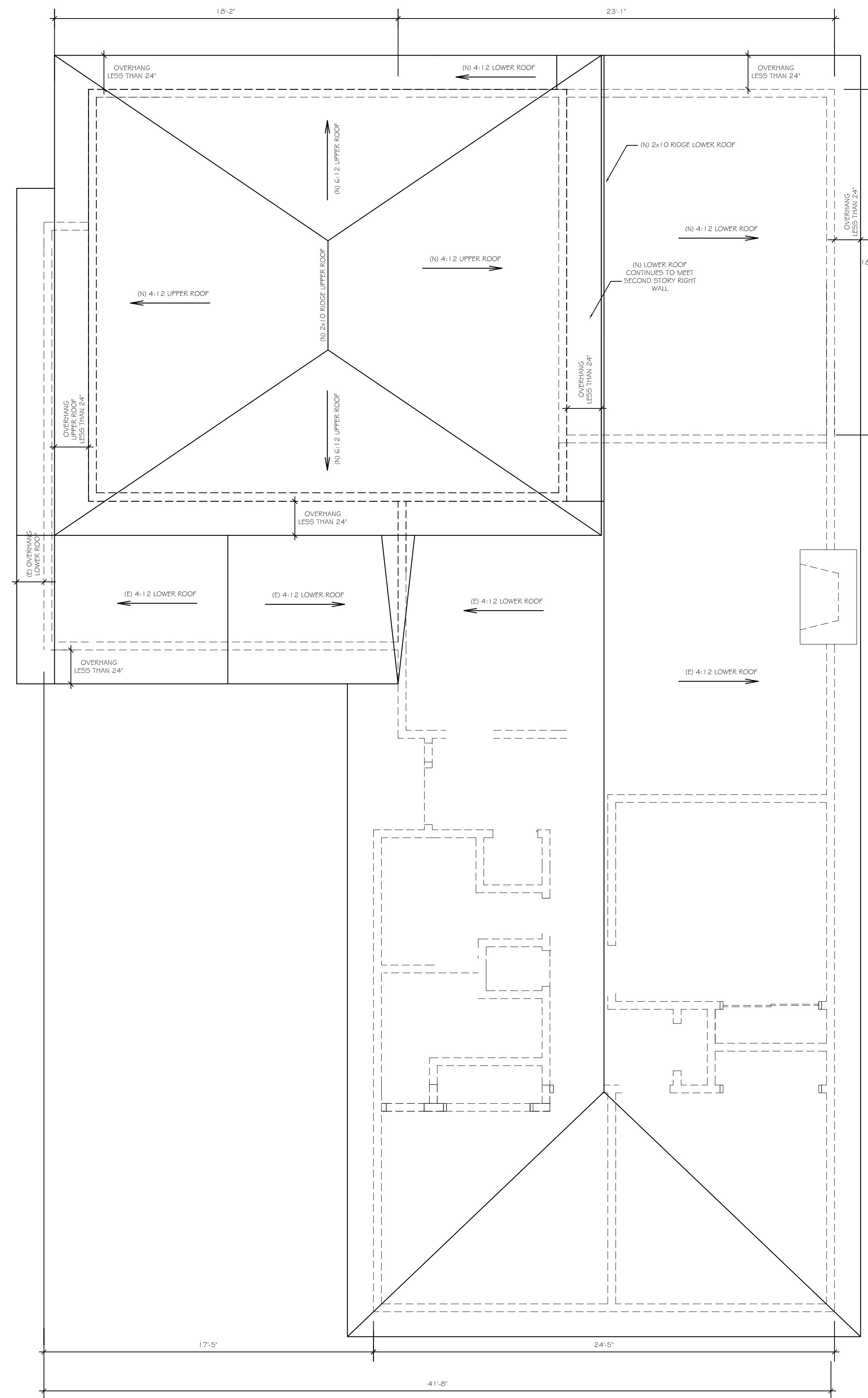
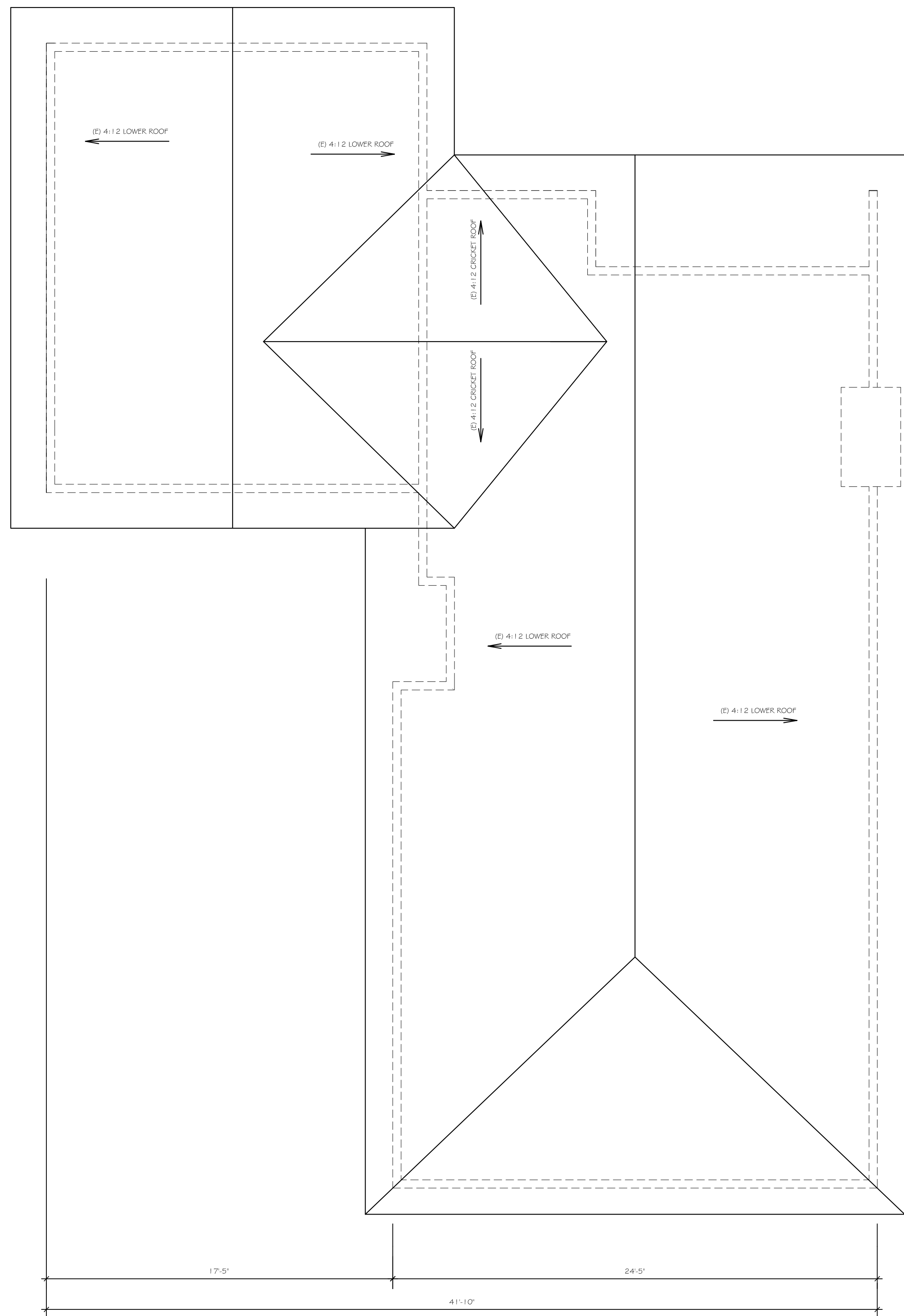
EXISTING & PROPOSED ELEVATIONS
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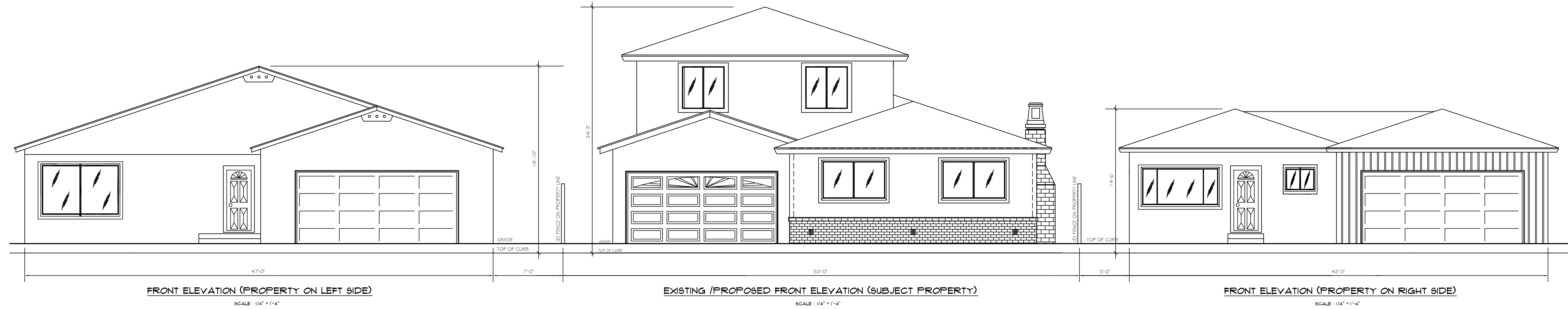
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RESIDENTIAL PROJECT DATA

Applicant should refer to the Sunnyvale Municipal Code for current requirements.

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
<input type="checkbox"/> General Plan Category			
<input type="checkbox"/> Zoning District	R-0	R-0	
<input type="checkbox"/> Lot Size (sq. ft.)	5200	5200	min.
<input type="checkbox"/> Gross Floor Area (sq. ft.)	1556	2079	max.
<input type="checkbox"/> Lot Coverage (%)	1556	2039	max.
<input type="checkbox"/> Number of Units	1	1	max.
<input type="checkbox"/> Density (units/acre)	1/(5200/43560)	1/(5200/43560)	max.
<input type="checkbox"/> Meets 75% min?	Yes	Yes	max.
<input type="checkbox"/> Bedrooms / Unit	3	6	max.
<input type="checkbox"/> Unit Sizes (sq. ft.)	1556	2079	
<input type="checkbox"/> Lockable Storage / Unit (cu. ft.)	0	0	max.
<input type="checkbox"/> Number of Buildings On-Site	1	1	
<input type="checkbox"/> Distance Between Buildings	N/A	N/A	min.
<input type="checkbox"/> Building Height (ft.)	14'-11"	24'-3"	max.
<input type="checkbox"/> No. of Stories	1	2	max.
<input type="checkbox"/> Front Setbacks (1 st Story/2 nd Story)	15'6"/NA	15'6"/58'-1"	min.
<input type="checkbox"/> Left Side Setbacks(1 st Story/2 nd Story facing property)	4'8"/NA	4'8"/7'-0"	min.
<input type="checkbox"/> Right Side Setbacks(1 st Story/2 nd Story facing property)	4'6"/NA	4'6"/19'-8"	min.
<input type="checkbox"/> Rear Setback	27'-4"	20' ¹ / ₂	min.
<input type="checkbox"/> Landscaping (total sq. ft.)	463	463	min.
<input type="checkbox"/> Landscaping (sq. ft./unit)	463/5200	463/5200	
<input type="checkbox"/> Useable Open Space (sq. ft./unit)	2823/5200	2317/5200	15 ft. min.
<input type="checkbox"/> Parking Lot Area Shading (%)	425	400	50% min. in 15 yrs.
<input type="checkbox"/> Water Conserving Plants (%)	463/5200	463/5200	70% min.
<input type="checkbox"/> Total No. of Parking Spaces	2	2	min.
<input type="checkbox"/> Standards	2	2	min.
<input type="checkbox"/> Compacts / % of total	1	1	max.
<input type="checkbox"/> Accessible Spaces	2	2	min.
<input type="checkbox"/> Covered Spaces	2	2	min.
<input type="checkbox"/> Aisle Width (ft.)	3'-2"	3'-2"	
<input type="checkbox"/> Bicycle Parking	4	4	
<input type="checkbox"/> Impervious Surface Area (sq. ft.)	1556	2039	
<input type="checkbox"/> Impervious Surface (%)	30%	39.5%	

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444
Planners and Building Division staff are available 8:00 a.m. to noon and 1:00 to 5:00 p.m.
www.SunnyvalePlanning.com / www.SunnyvaleBuilding.com

Rev. 8/07 (yellow)

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STREETScape ELEVATIONS
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 OWNER: TRINH THAI

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**DINH'S
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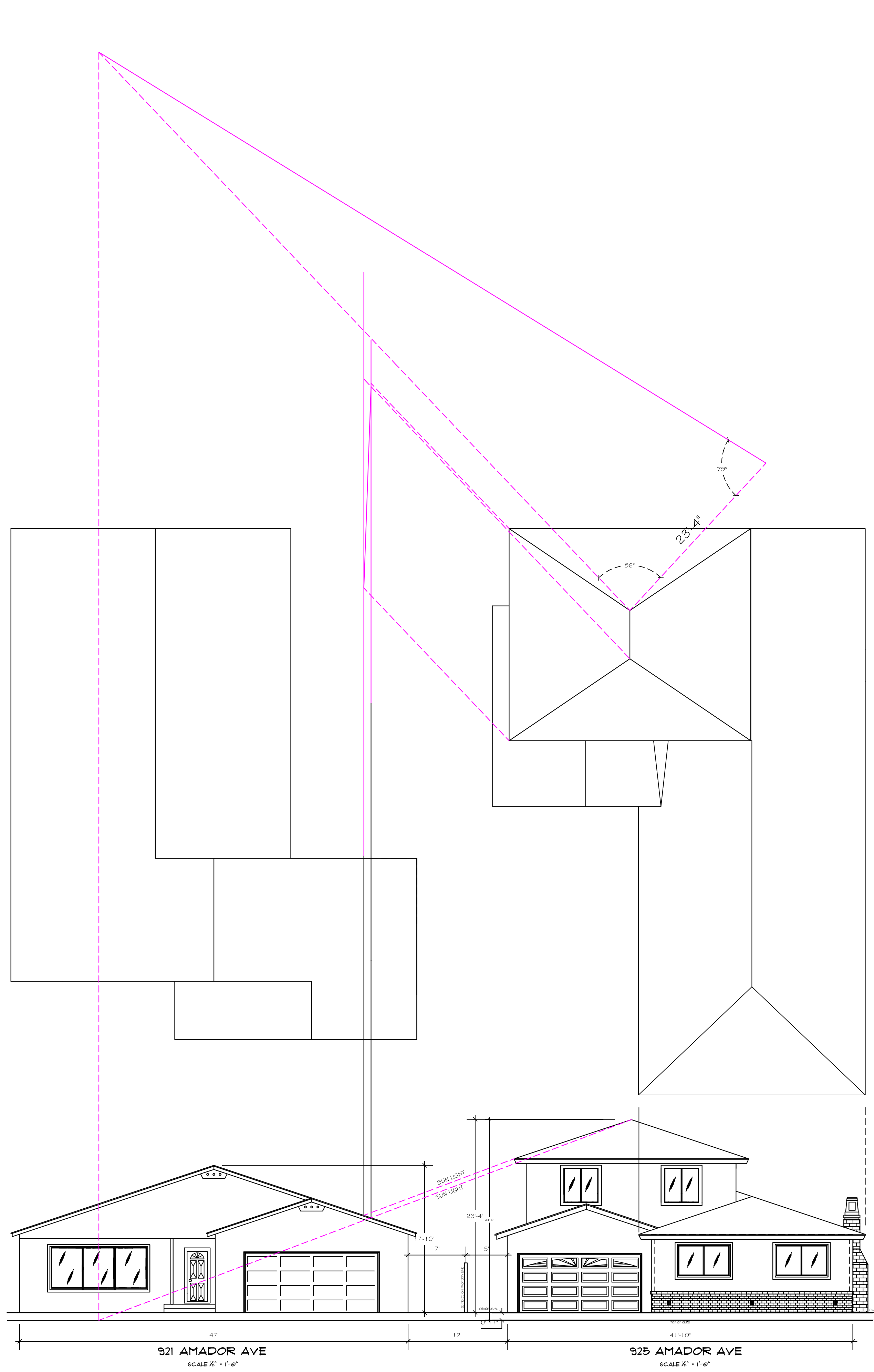
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SOLAR STUDY
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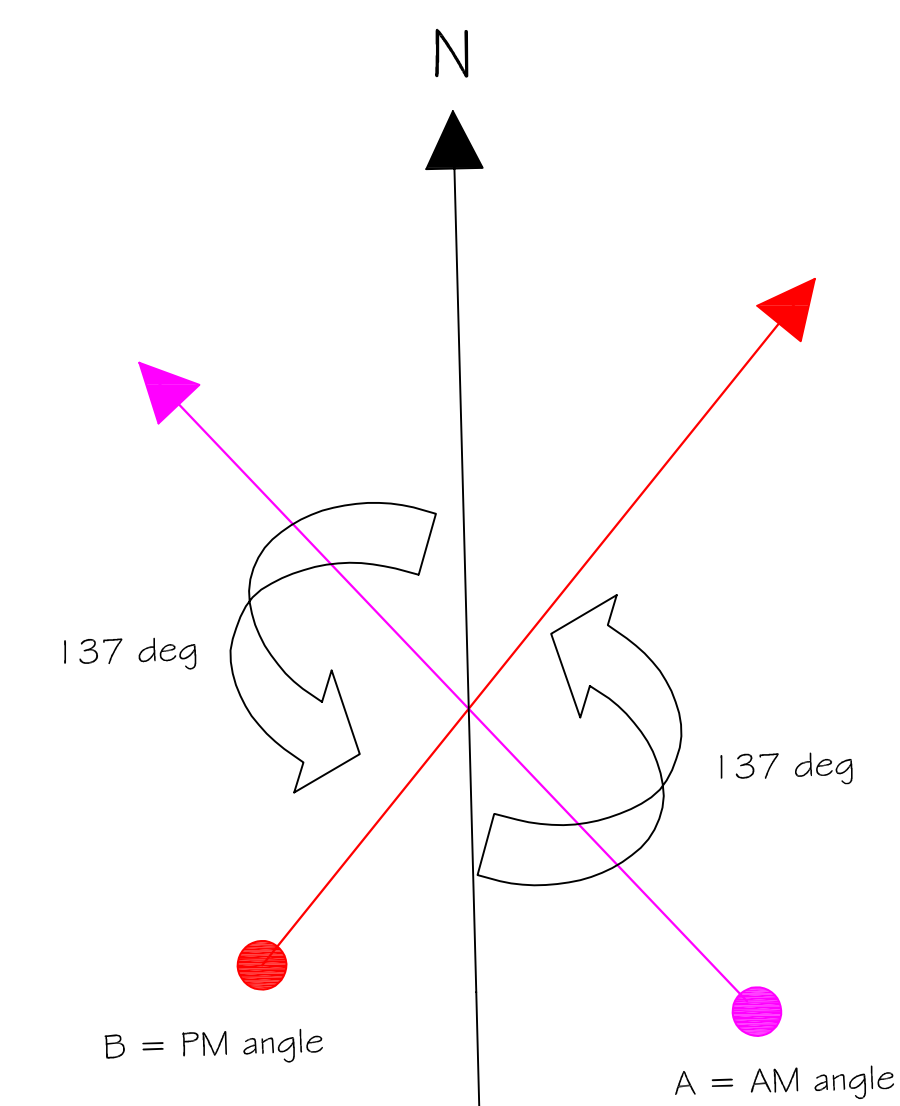
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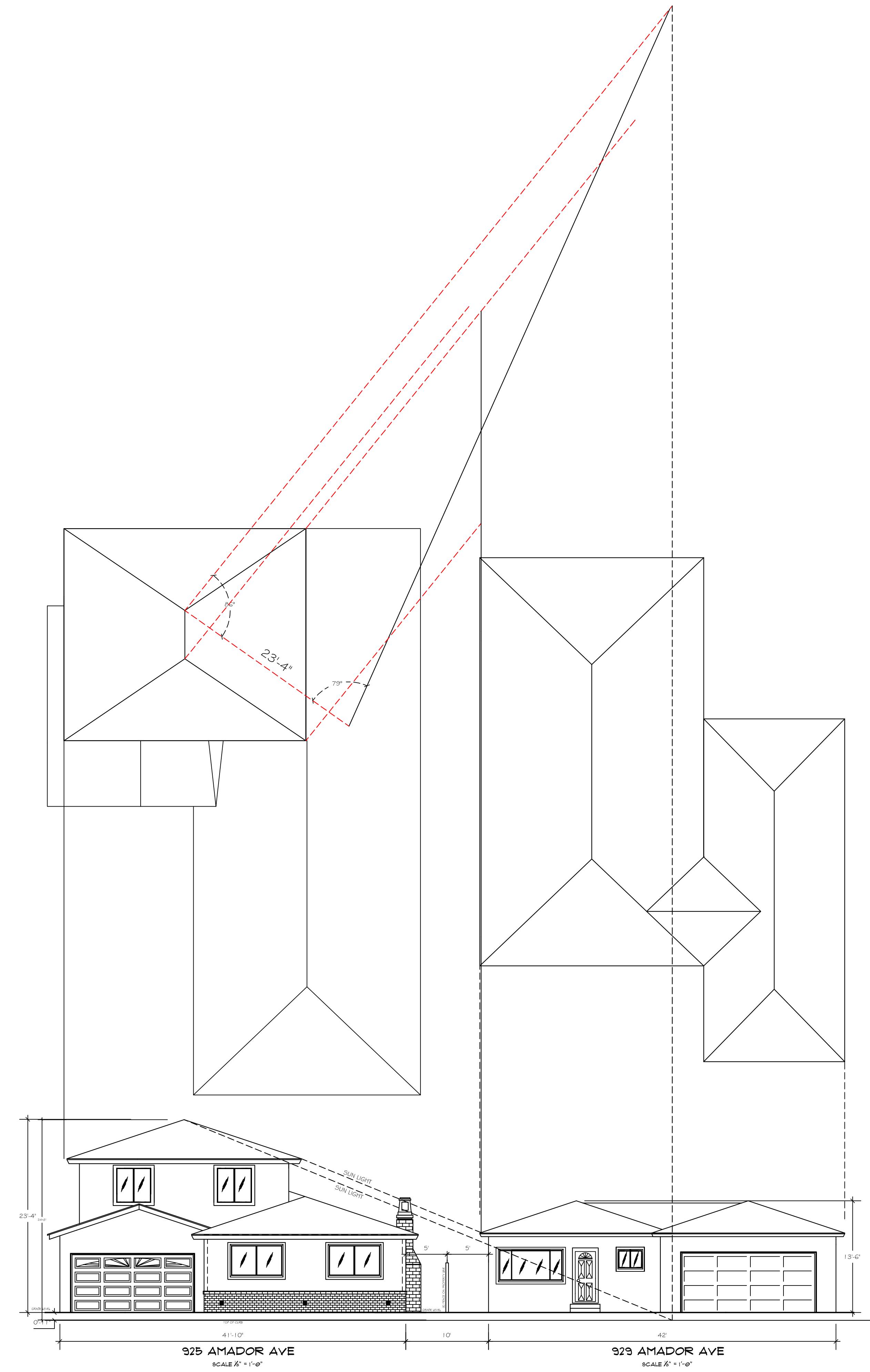
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AM ANALYSIS: AREA SHADED AS A $\frac{0.5F}{2302.5F} = 0\%$
PERCENTAGE OF TOTAL ROOF AREA



**NOTE: ADJACENT
HOUSES CURRENTLY
HAVE NO SOLAR PANELS
ON THEIR ROOF TOPS**



PM ANALYSIS: AREA SHADED AS A $\frac{0.5F}{2105.5F} = 0\%$
PERCENTAGE OF TOTAL ROOF AREA