



July 28, 2025

Momo Ishijima, Senior Planner
City of Sunnyvale
Community Development Department
456 West Olive Avenue
Sunnyvale, CA 94086

Via Email: mishijima@sunnyvale.ca.gov

Re: 135 South Murphy Avenue, Sunnyvale, CA
APN: 209-06-005

Dear Ms. Ishijima:

At the request of Zareen Khan, owner of Zareen Restaurant, and Sa'id Eghbal, her architect, I have reviewed the proposed project at 135 South Murphy Avenue in Sunnyvale, California. In 2018-2019, I assisted the City of Sunnyvale with an update to the *Design Guidelines for Murphy Station Heritage Landmark District (Design Guidelines)*. The update project included extensive field work along the commercial street, historical research, and development of recommendations for each building within the Murphy Station Heritage Landmark District. The *Design Guidelines* were adopted in July 2019.

135 South Murphy Avenue is Primary Contributor to the Murphy Station Heritage Landmark District. It was constructed in 1913 and is situated on the west side of Murphy Avenue. This one-story, wood-frame, stucco-clad, commercial building has a Mission Revival character with one of its primary features being a scalloped parapet at the Murphy Avenue façade. Other key front façade features are: single, centered, angled, recessed storefront entry; hexagonal tile at storefront entry threshold; storefront configuration with large windows above a ceramic tile base; smooth stucco exterior wall finish; and a simple color scheme. While the use of an awning was noted on the character defining-features list in the *Design Guidelines*, this feature is not required to maintain the overall historic character and integrity of the building.

I have reviewed Mr. Eghbal's drawings updated July 24, 2025, which detail proposed alterations to both the front and rear façade of 135 South Murphy Avenue. I have not reviewed or described in detail any proposed interior changes, as these would not be covered by the *Design Guidelines*, and the alterations proposed do not appear to have any impact on exterior features. The building has historically been used as a restaurant, and this use will continue. The project entails the following:



Ms. Ishijima
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Front Façade

- Remove canvas / vinyl awning covering transom windows about the storefront;
- New paint scheme: Farrow & Ball Base Color Dimity No. 2008 (Light) and Windows, Door & Trim Farrow & Ball Granite Black No 9920 (Dark);
- Repair exterior stucco as needed during painting;
- New, solid wood, sliding windows with tempered glazing fit into existing storefront window openings;
- New 4 x 4 ceramic tile at storefront bulkhead (Kohler “Idris” 4 x 4 Ceramic Tile White Carrare)
- New, solid wood, true divided light, clerestory storefront transom windows within the existing historic opening;
- New, solid wood, entry door with single, large, vertical light with tempered glazing;
- New, flush mount, globe fixture at entry ceiling (Statler Glass Simi Flush Mount Black and White); and
- Retain and protect hexagonal tile at front entry threshold during construction.

Rear Façade

- Remove arched canvas / vinyl awning over rear door;
- New paint scheme: Farrow & Ball Base Color Dimity No. 2008 (Light) and Windows, Door & Trim Farrow & Ball Granite Black No 9920 (Dark);
- Repair exterior stucco as needed during painting;
- Paint metal rear door: Farrow & Ball Granite Black No 9920.

Roof Mechanical Equipment

- Install new roof vents and mechanical equipment which will not be visible from Murphy Avenue.



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Based on review of the drawings and project information provided, it is my opinion that the project meets the recommendations in both the *Design Guidelines for Murphy Station Heritage Landmark District* and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. The proposed project will not impair the overall historic integrity of the building or impact the significant character-defining features as identified in the *Design Guidelines* for this building at 135 South Murphy Avenue.

Please let me know if you have any questions about my review of the proposed project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bridget Maley', with a stylized flourish at the end.

Bridget Maley
Principal

cc: Zareen Khan, Zareen Restaurant
Sa'id Eghbal, Architect

Attachments: 1) Photograph of hexagonal tile entry threshold;
2) Project Plans Reviewed Dated July 24, 2025

Attachment One – 135 South Murphy Avenue Design Review

City of Sunnyvale

July 28, 2025



Detail of hexagonal tiled entry at front façade which should be protected and retained during construction.

SPECIAL INSPECTIONS

PROVIDE "SPECIAL INSPECTIONS" FOR ITEMS AS REQUIRED BY THE CITY OF SUNNYVALE AND CALIFORNIA BUILDING CODE 2022, INCLUDING THE FOLLOWING:

- CONCRETE REINFORCEMENT PLACEMENT
- SEISMIC RESISTANCE ELEMENTS FOR MECHANICAL COMPONENTS
- POST-INSTALLED ANCHOR (EPOXY AND MECHANICAL)
- STRUCTURAL OBSERVATION FOR SEISMIC RESISTANCE ELEMENTS

SEE S0.1 FOR STATEMENT OF SPECIAL INSPECTIONS

DEFERRED SUBMITTALS

- FIRE ALARM
- HOOD SUPPRESSION SYSTEM
- NEW TENANT FORM
- KNOX BOX
- HAZMAT INSPECTION

PROJECT DATA

ADDRESS: 135 SOUTH MURPHY AVENUE
A.P.N.: 20906005
ZONING: DSP-2
EXISTING OCCUPANCY TYPE: A2
PROPOSED OCCUPANCY TYPE: A2
CONSTRUCTION: TYPE V-B
FIRE SPRINKLERS: NONE

STORIES: 1
BUILDING HEIGHT: 19'-1"

LOT AREA: 3,125.0 S.F.
BUILDING AREA: 1,568.0 S.F.
REAR PATIO AREA: 1,298.0 S.F. (NOT IN SCOPE)

CODES:
ALL CONSTRUCTION TO CONFORM TO THE 2022 CALIFORNIA BUILDING CODE, CONSISTING OF THE:
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA ENERGY STANDARDS
2022 GREEN BUILDING CODE
AND ALL OTHER APPLICABLE LOCAL ORDINANCES AS ADOPTED AND AMENDED BY THE CITY OF SUNNYVALE.

SCOPE OF WORK

EXTERIOR ALTERATIONS TO THE FRONT FACADE:
- REMOVE (E) CANVAS AWNING
- REMOVE CORRUGATED SHEET METAL COVERING (E) CLERESTORY WINDOWS
- (N) ENTRY DOOR WITHIN (E) OPENING
- (N) SLIDING WINDOWS WITHIN (E) OPENINGS
- (N) CLERESTORY WINDOWS WITHIN (E) OPENING
- (N) TILE AT STOREFRONT BULKHEAD
- (N) PAINT, BODY & TRIM

EXTERIOR ALTERATIONS TO REAR FACADE:
- REMOVE (E) CANVAS AWNING OVER REAR DOOR
- (N) REAR DOOR WITHIN (E) OPENING
- (N) PAINT, BODY & TRIM

PROJECT DIRECTORY

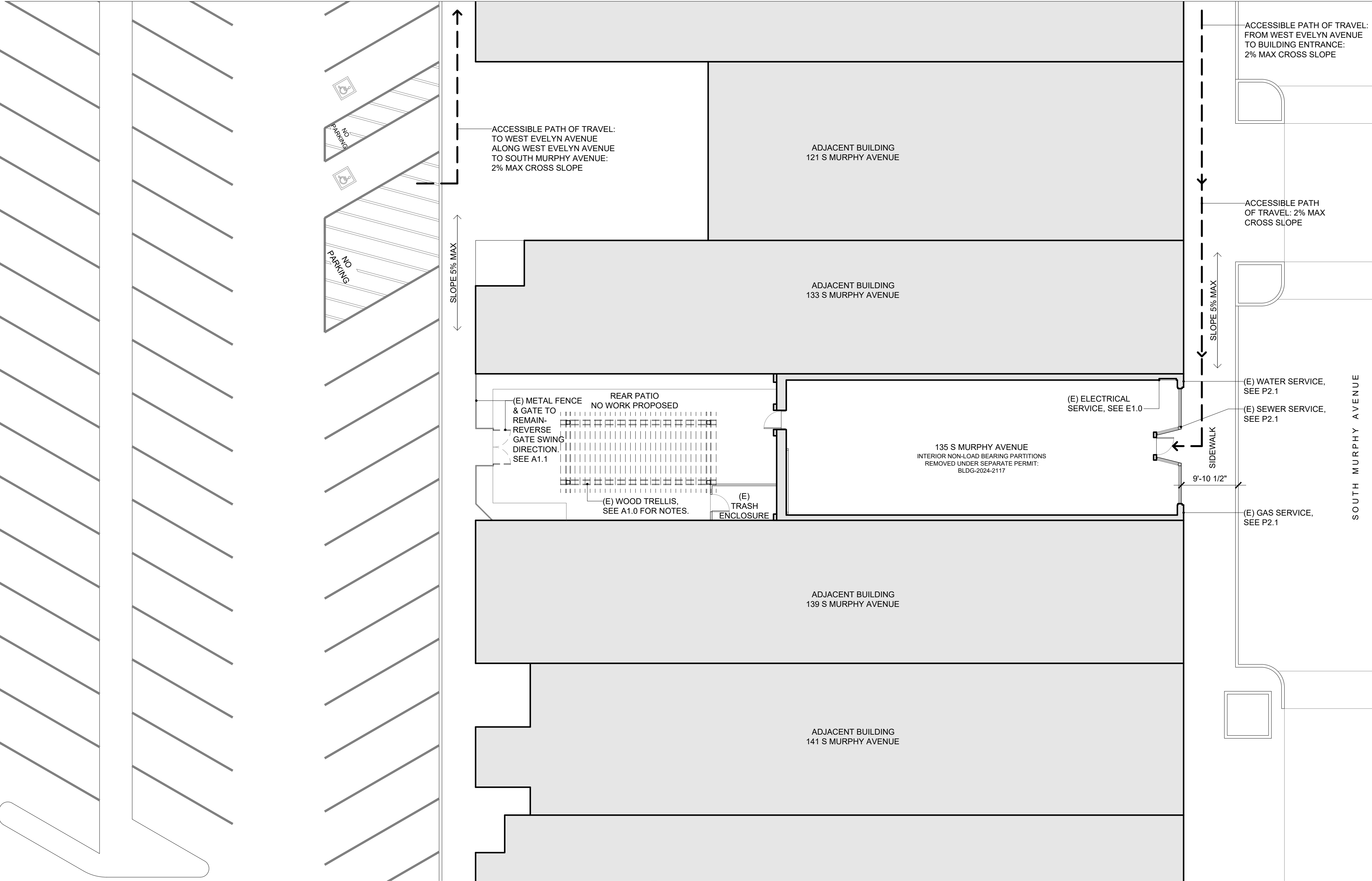
BUILDING OWNER	ZAREEN'S CURRY VILLAVE FOODS, INC 135 S MURPHY AVENUE SUNNYVALE, CA 94086 P. (510) 673-9587 E. ZAREENUMAIR@GMAIL.COM
ARCHITECT	SAID EGHBAL 482 WESLEY AVENUE OAKLAND, CA 94606 P. (510) 922-9722 E. SJE@SJEGHBAL.COM
FOOD SERVICE	COUNTY RESTAURANT SUPPLY 731 OLD COUNTY ROAD SAN CARLOS, CA 94070 P. (650) 591-8500 E. TIM@KITCHENBIZ.COM
STRUCTURAL ENGINEER	V & J ENGINEERING CONSULTANTS 2930 DOMINGO AVENUE, #1473 BERKELEY, CA 94705 P. (341) 242-3199 E. VINCENT@YJJECONSULTANTS.COM
MECHANICAL ENGINEER	LITZENBERGER ENGINEERING, INC. 3000-F DANVILLE BLVD., #209 ALAMO, CA 94507 P. (925) 899-7462 E. SHANE@LEI-CA.COM
ELECTRICAL ENGINEER	METRO POWER ENGINEERS, INC 3150 HILLTOP MALL ROAD, STE 22 RICHMOND, CA 94806 P. (510) 275-3000 E. TONY@METROPOWERENGINEERS.COM

DRAWING INDEX

A0.0	EXISTING SITE PLAN, PROJECT INFO
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A4.1b	PROPOSED EXTERIOR ELEVATION: FRONT CONTEXT VIEW
A4.2	PROPOSED SIGHTLINE DIAGRAM

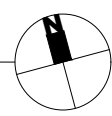
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P. 510.922.9722
E. SJE@SJEGHBAL.COM

ZAREEN'S
135 S. MURPHY AVE.
SUNNYVALE, CA 94086



EXISTING SITE PLAN

SCALE: 3/32" = 1'-0"

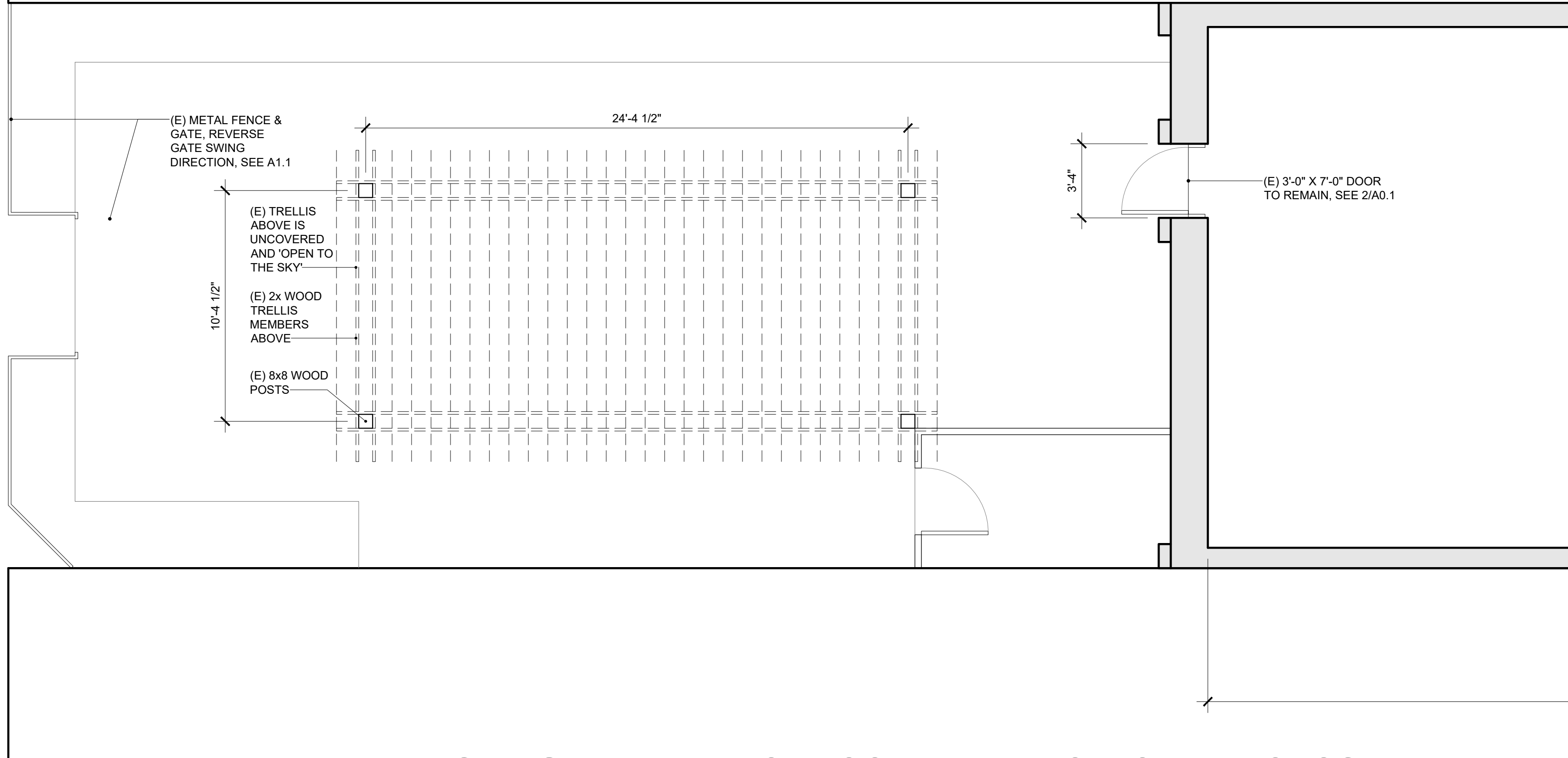


1

SHEET:
EXISTING
SITE PLAN,
PROJECT INFO.

A0.0

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WALL LEGEND

EXISTING MASONRY WALL TO REMAIN

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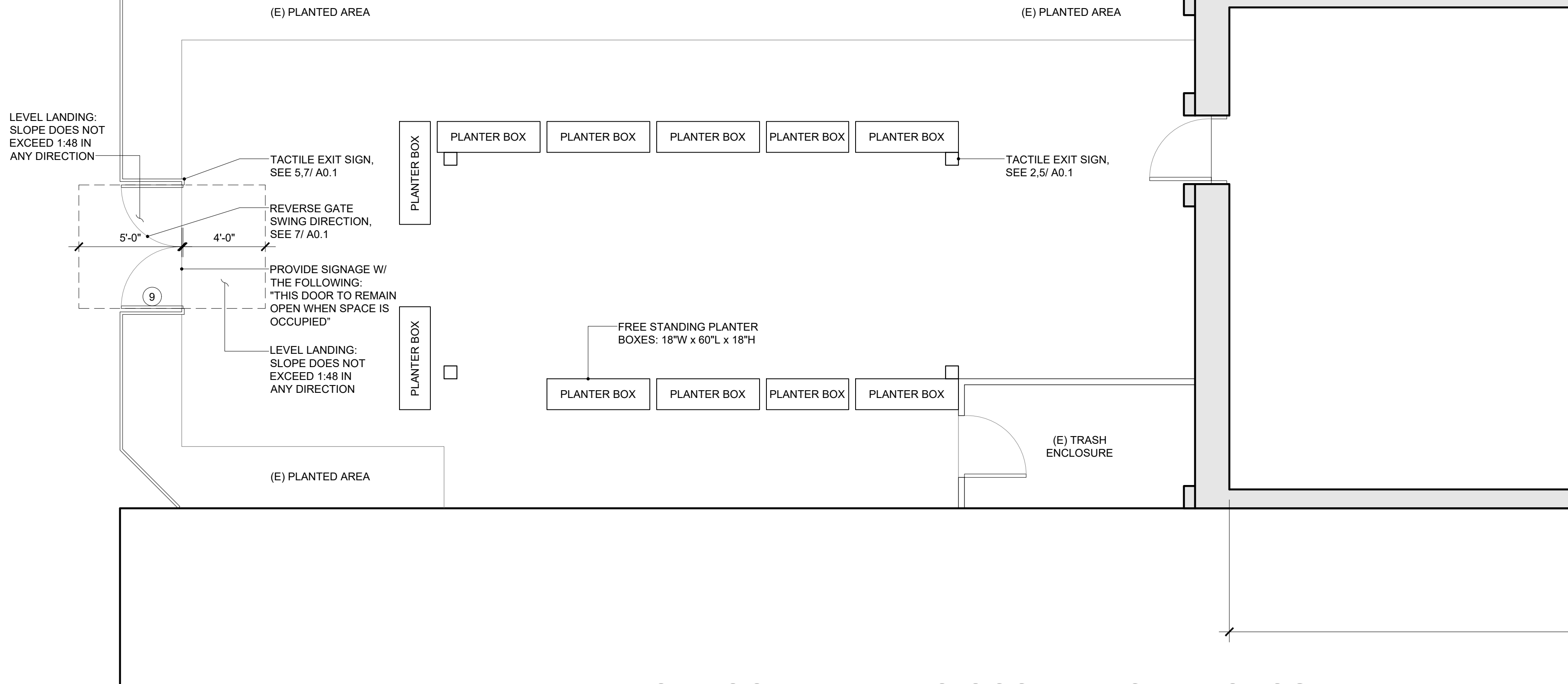
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LAP	07/24/2025

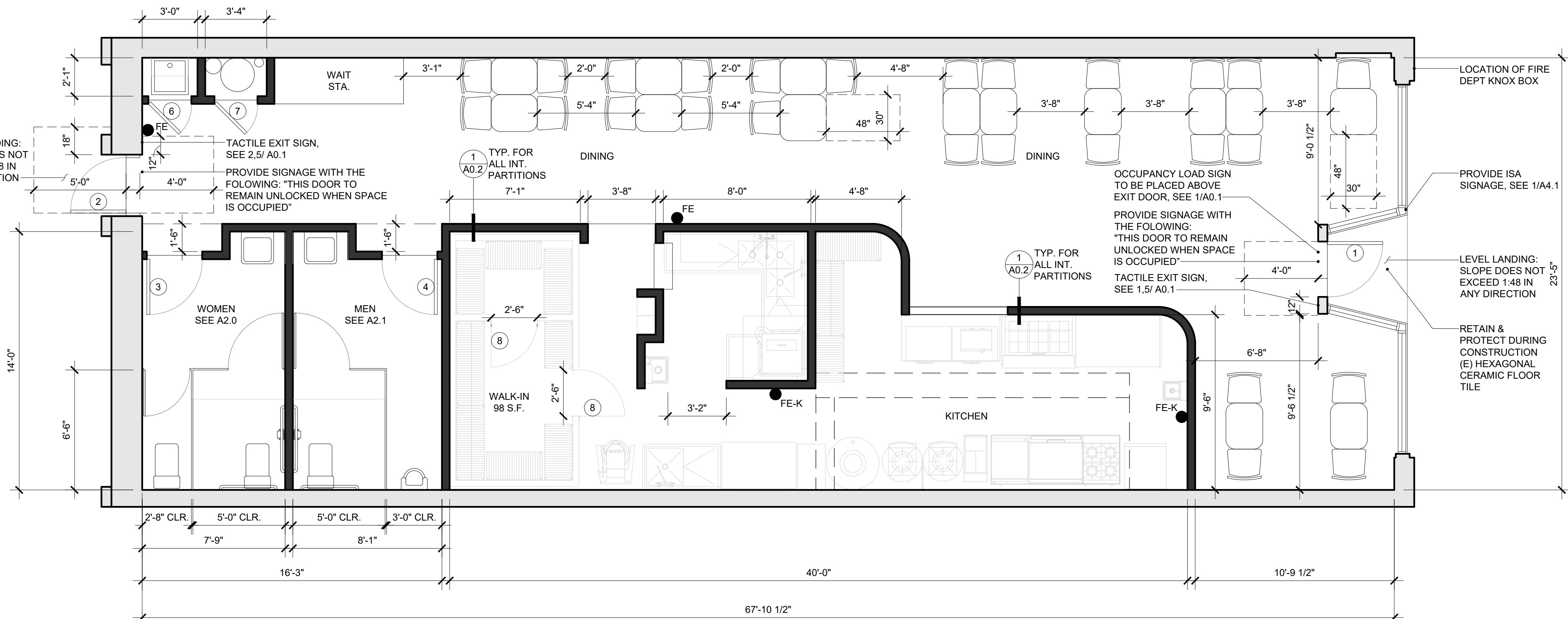
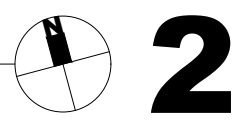
SHEET:
EXISTING
FLOOR PLAN

A1.0

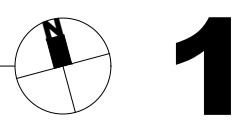
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REAR PATIO FLOOR PLAN: NO OCCUPANCY PROPOSED
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

- EXISTING WALL TO REMAIN
- PROPOSED NON RATED INTERIOR PARTITION, SEE 10/A0.1

FIXTURE SCHEDULE

TYPE	SYMBOL	DESCRIPTION	NOTES
FE	●	CLASS A (2-A:10-B:C) 5LB DRY CHEMICAL FIRE EXTINGUISHER	WALL MOUNTED, RECHARGEABLE, TAGGED UL RATING: 4A-80B:C
FE-K	●	CLASS K FIRE EXTINGUISHER	WALL MOUNTED, RECHARGEABLE, TAGGED UL RATING: 2A:K

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALL	CEILING
DINING	FC	BW	WG + P-1	CW
KITCHEN	FE	FE	WG + WF	CG + P-3
LAVATORY	FE	FE	WG + P-3 + WT-1	CG + P-3
WC-1	FE	FE	WG + P-3 + WT-2	CG + P-3
WC-2	FE	FE	WG + P-3 + WT-2	CG + P-3
WC-3	FE	FE	WG + P-3 + WT-2	CG + P-3
MOP	FE	FE	WG + WF	CG + P-3

FINISH SCHEDULE KEY

- FC EXISTING CONCRETE SLAB, POLISH & SEAL W/ LOW VOC WATER BASED MATTE FINISH
- FE ECO-GRIP SLIP RESISTANT FLOORING, 1/4" THICK MIN, W/ INTEGRAL 4" COVE BASE (3/8" MIN RADIUS)
- BW WOOD BASE- 1 x 3 PAINT GRADE
- WG GYPSUM BOARD WALL PANEL- 5/8" GYP. BD., LEVEL 5 FINISH
- WT-1 CERAMIC WALL TILE TYPE #1, DAL TILE BRAND, 4" x 4"
- WT-2 CERAMIC WALL TILE TYPE #3, GLAZED CERAMIC, 3" x 3"
- WF FIBER-REINFORCED PANEL, FROM 6" A.F.F. TO CLG.: KEMLITE GLASSBOARD FSI, SMOOTH FINISH
- CG DROPPED HARD-LID CEILING W/ 5/8" GYP. BD., LEVEL 5 FINISH
- CW EXISTING 1x WD DECKING & EXPOSED WOOD BEAMS
- P-1 (N) PAINT: BENJAMIN MOORE # FLAT COLOR TBD
- P-2 (N) PAINT: BENJAMIN MOORE # EGGSHELL COLOR TBD- 70% OR GREATER REFLECTANCE VALUE
- P-3 (N) PAINT: BENJAMIN MOORE #, SEMI GLOSS, COLOR TBD- 70% OR GREATER REFLECTANCE VALUE

DOOR SCHEDULE

DOOR #	DOOR TYPE	SIZE (W X H)	THRESH. DETAIL	HEAD DETAIL	DESCRIPTION
1	EXTERIOR	3'-0" x 7'-0"	10/A0.1	12/A0.1	ANODIZED ALUMINUM, W/ TEMPERED SINGLE LITE, SEE 1/A0.1
2	EXTERIOR	6'-0" x 7'-0"	10/A0.1	12/A0.1	SOLID CORE WD, STAIN GRADE V.G. DOUG. FIR W/ MATTE CLEAR COAT SEALER W/ TEMP. SINGLE LITE, SEE 2/A0.1
3	INTERIOR	3'-0" x 7'-0"	11/A0.1	12/A0.1	SOLID CORE WD, STAIN GRADE V.G. DOUG. FIR W/ MATTE CLEAR COAT SEALER, SEE 3/A0.1
4	INTERIOR	3'-0" x 7'-0"	11/A0.1	12/A0.1	SOLID CORE WD, STAIN GRADE V.G. DOUG. FIR W/ MATTE CLEAR COAT SEALER, SEE 3/A0.1
5	NOT USED				
6	INTERIOR	2'-4" x 7'-0"	11/A0.1	12/A0.1	SOLID CORE WD, STAIN GRADE V.G. DOUG. FIR W/ MATTE CLEAR COAT SEALER, SEE 4/A0.1
7	INTERIOR	2'-4" x 7'-0"	11/A0.1	12/A0.1	SOLID CORE WD, STAIN GRADE V.G. DOUG. FIR W/ MATTE CLEAR COAT SEALER, SEE 4/A0.1
8	INTERIOR	2'-6" x 7'-0"	SEE MFR CUTSHEETS	SEE MFR CUTSHEETS	INSULATED METAL PANEL DOOR, SEE MANUFACTURER CUTSHEETS
9	EXTERIOR	6'-0" x 5'-0"	N/A	N/A	SEE 7/A0.1

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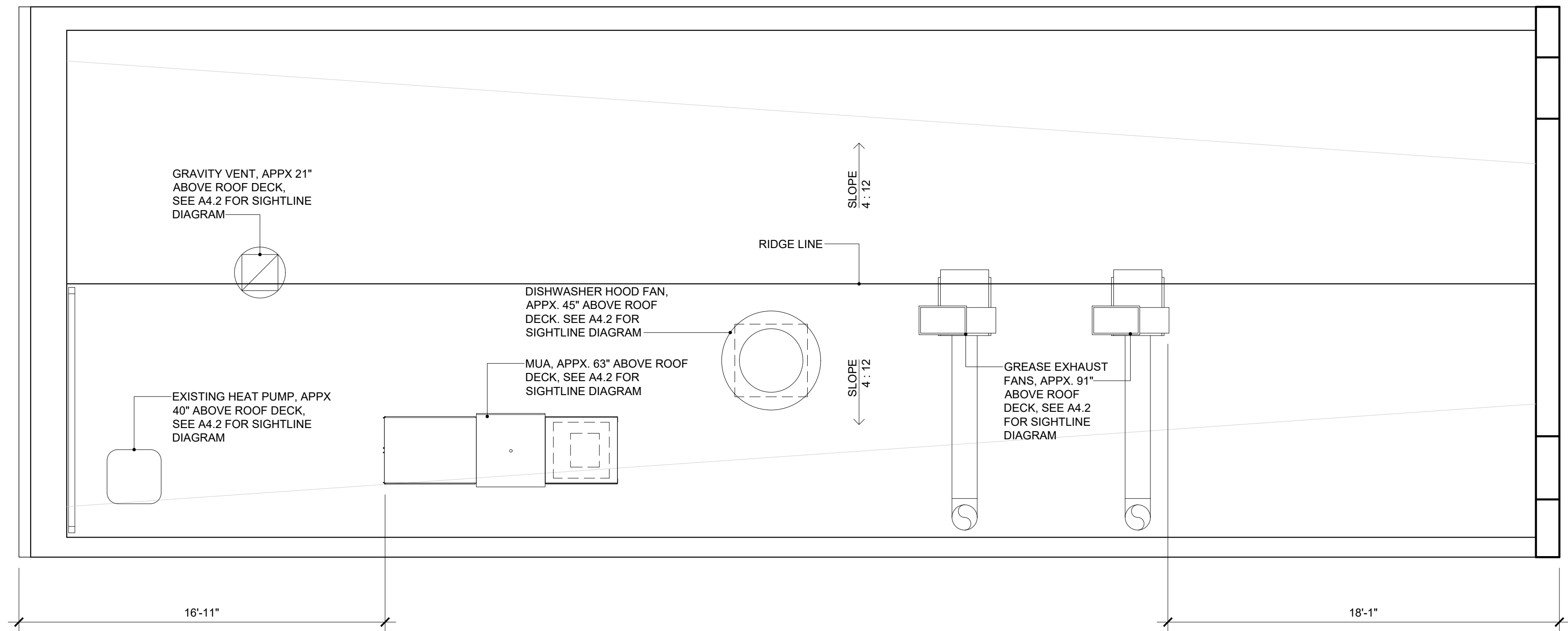
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4. PLAN CHECK_BLDG-2	01/13/2025
LAP	07/24/2025

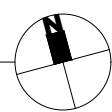
SHEET:
PROPOSED FLOOR PLAN

A1.1

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PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



1

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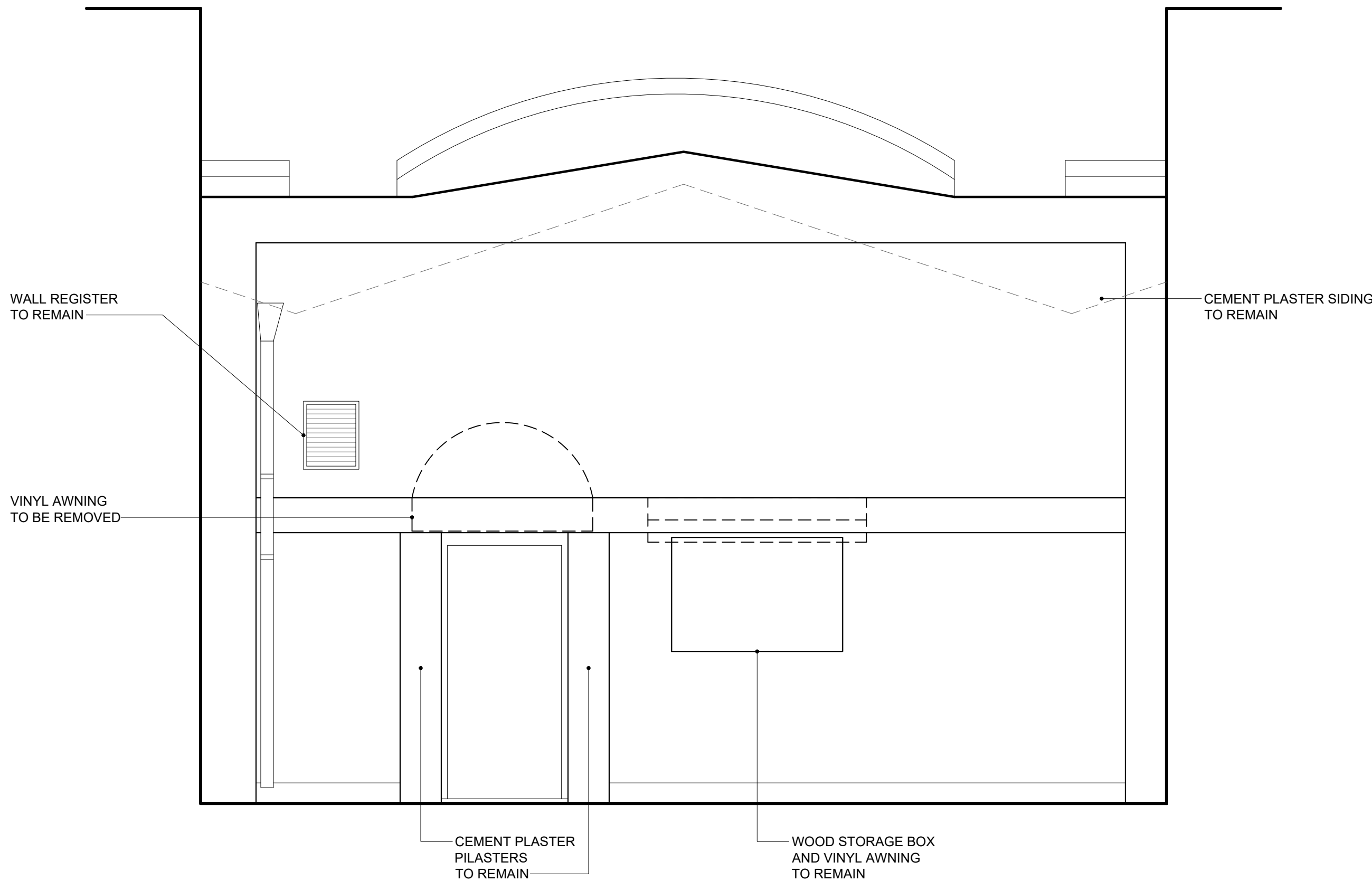
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SHEET:
**PROPOSED
ROOF PLAN**

A1.4

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EXISTING EXTERIOR ELEVATION: REAR
SCALE: 3/8" = 1'-0"

2



EXISTING EXTERIOR ELEVATION: FRONT
SCALE: 3/8" = 1'-0"

1

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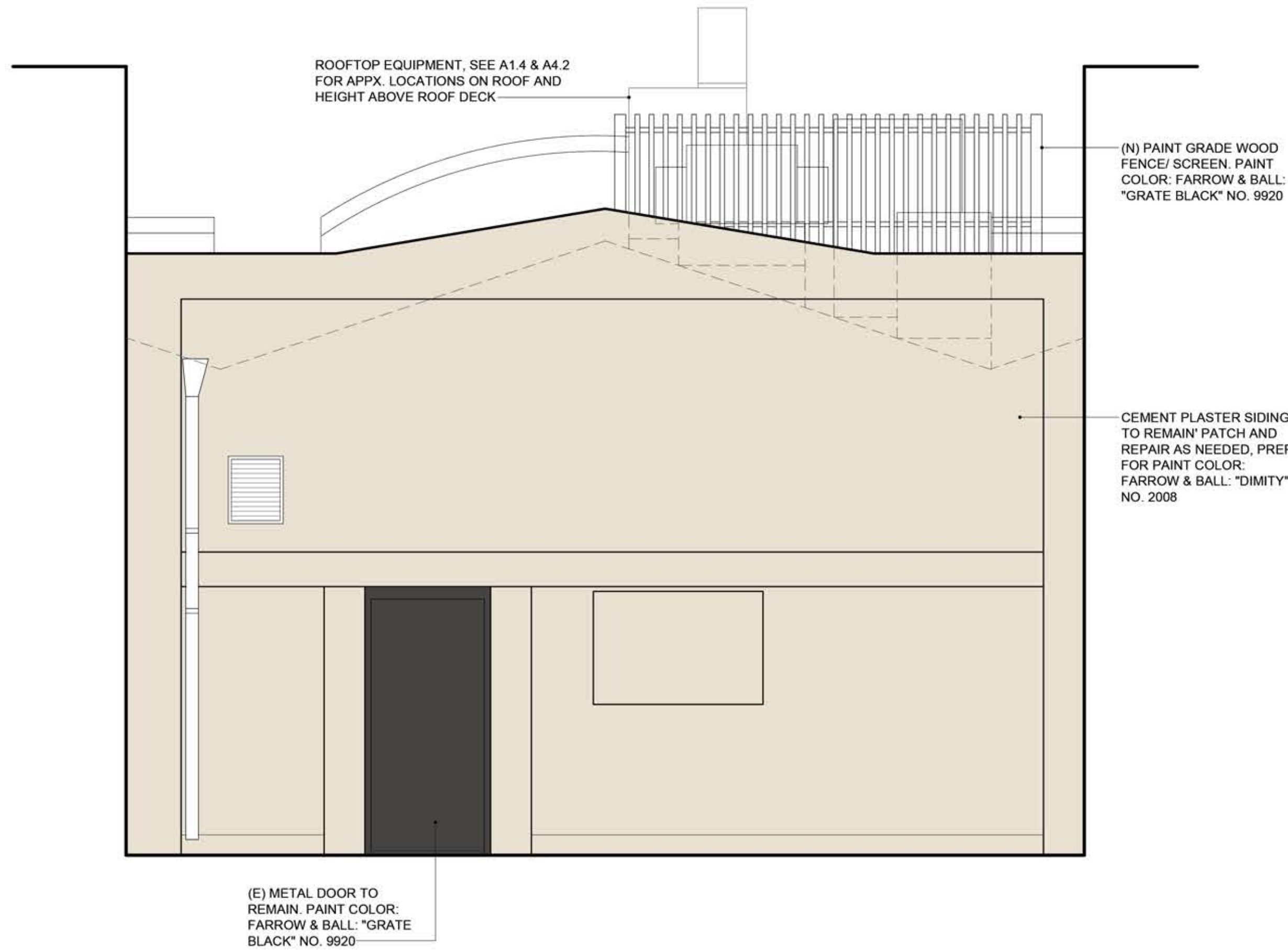
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SHEET:
**EXISTING
EXTERIOR
ELEVATIONS**

A4.0

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PROPOSED EXTERIOR ELEVATION: REAR
SCALE: 3/8" = 1'-0"

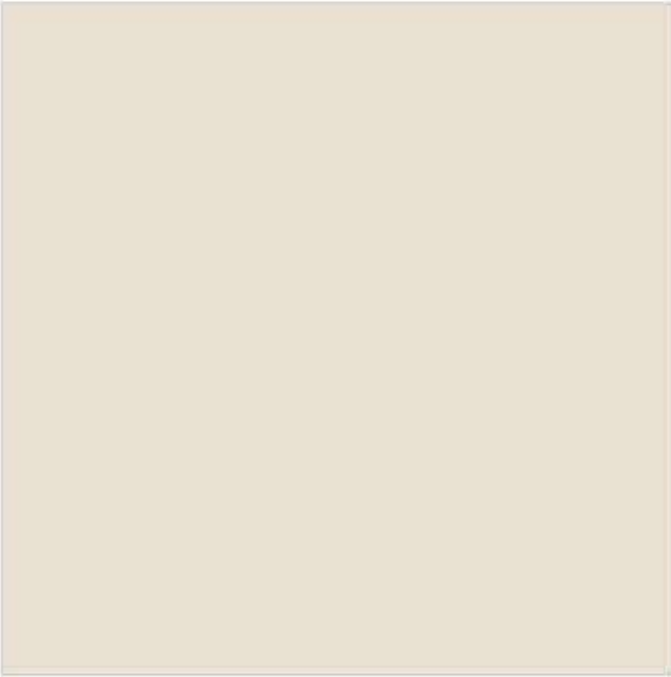
2



PROPOSED EXTERIOR ELEVATION: FRONT
SCALE: 3/8" = 1'-0"

1

EXTERIOR PAINT COLOR & TILE



FACADE PAINT COLOR:
FARROW & BALL: "DIMITY" NO. 2008



WINDOWS, DOOR & TRIM PAINT COLOR:
FARROW & BALL: "GRATE BLACK" NO. 9920



BULKHEAD TILE:
KOHLER "IDRIS" 4x4 CERAMIC TILE:
"WHITE CARRARE"



LIGHT FIXTURE:
STATLER GLASS SEMI-FLUSH MOUNT

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SHEET:
**PROPOSED
EXTERIOR
ELEVATIONS**

A4.1

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PROPOSED EXTERIOR ELEVATION: FRONT CONTEXT VIEW
SCALE: 3/8" = 1'-0"

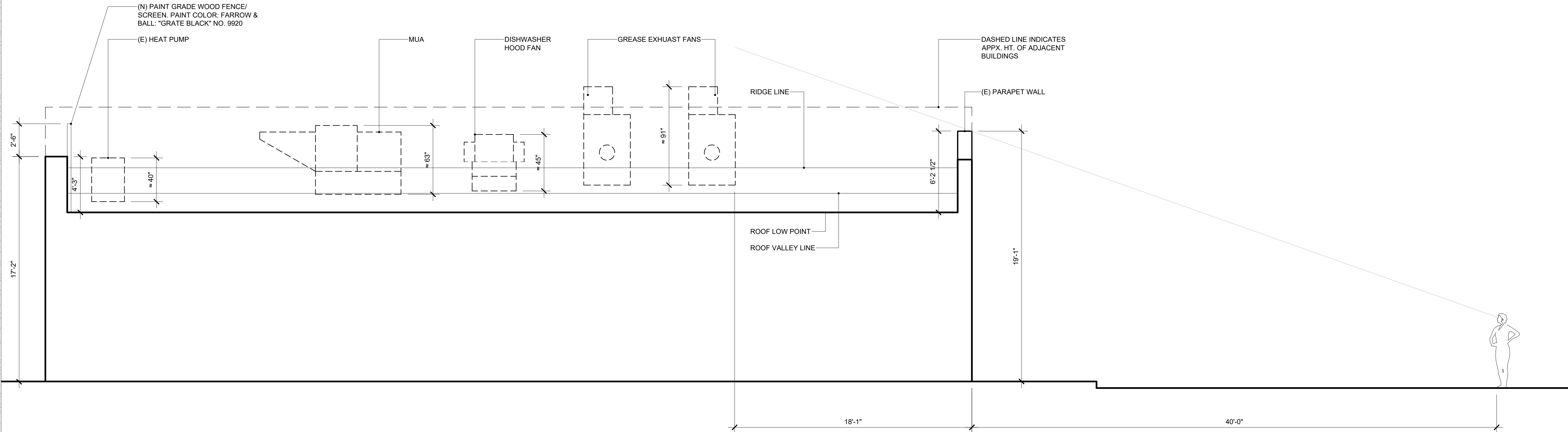
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SHEET:
**PROPOSED
EXTERIOR
ELEVATIONS:
CONTEXT
VIEW**

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SIGHTLINE DIAGRAM: SIDE VIEW OF BUILDING
SCALE: 1/4" = 1'-0"

1

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SHEET:
**PROPOSED
SIGHTLINE
DIAGRAM**

A4.2