



333-385 MOFFETT PARK DRIVE

SMP REV. 03 / MSDP REV. 01 SUBMITTAL - PLNG # 2025-0137

JULY 29TH 2025

CLIENT
Ellis Partners
ONE SANSOME STREET, SUITE 1550
SAN FRANCISCO, CA 94104

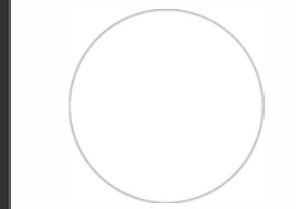
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2025.07.29 MSDP SUBMITTAL REV-02
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2025.01.20 SMP/MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

COVER

G0.00

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COMMERCIAL/INDUSTRIAL PROJECT DATA
Applicant should refer to the Sunnyvale Municipal Code (<http://qcode.us/codes/sunnyvale>) for current requirements.

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
<input type="checkbox"/> General Plan			
<input type="checkbox"/> Zoning District		moffett park specific plan	
<input type="checkbox"/> Use (If vacant, how long has it been vacant?)	commercial, retail	commercial / R&D	N/A
<input type="checkbox"/> Lot Size (sq. ft.)	217,798 SF	217,798 SF	min.
<input type="checkbox"/> Gross Floor Area (sq. ft.)	89,142 SF (per ALTA)	293,996 SF	294,027 SF max.
<input type="checkbox"/> Lot Coverage (%)	29,650 +/- SF	SEE G2.03	70% max.
<input type="checkbox"/> Floor Area Ratio (FAR)	217/49 = 0.23	1.35	0.35 / 1.35 / 2.0 max.
<input type="checkbox"/> Gross Floor Area of Tenant (sq. ft.)	n/a	n/a	n/a
<input type="checkbox"/> Building Height (ft.)	34.6'	85'	145' max.
<input type="checkbox"/> No. of Stories	2 stories	6 stories	n/a max.
<input type="checkbox"/> No. of Buildings On-Site	2 buildings	1 building	n/a
<input type="checkbox"/> Distance Between Buildings (ft.)	n/a	n/a - xodium	n/a max.
<input type="checkbox"/> Front Setbacks	93'	35' (2' from P.U.) / 24'-32' (from PDRS)	10' min; 40' max min.
<input type="checkbox"/> Left Side Setbacks (facing property)	38'	43' (48' from P.U.) / 10'-14' (from PDRS)	10' min; 40' max min.
<input type="checkbox"/> Right Side Setbacks (facing property)	80'	43'-47'	10' min; 40' max min.
<input type="checkbox"/> Rear Setback	73'	58'	10' min; 40' max min.
<input type="checkbox"/> Landscaping (total sq. ft.)		49,374 SF	if 43,560 SF min.
<input type="checkbox"/> % Based on Lot Area		23 SF	20% min.
<input type="checkbox"/> % Based on Parking Lot			n/a min.
<input type="checkbox"/> Parking Lot Area Shading (%)		16%	50% min. in 15 yrs.
<input type="checkbox"/> Water Conserving Plants (%)		80%	70% min.
<input type="checkbox"/> Total No. of Parking Spaces	338	Public: 218 / Private: 582	Public: 294 / Private: 588 max.
<input type="checkbox"/> Standards	327	Public: 36 / Private: 120	N/A min.
<input type="checkbox"/> Accessible Spaces	11	Public: 5 / Private: 8	Public: 4 / Private: 6 min.
<input type="checkbox"/> Covered Spaces	0	Public: 208 / Private: 568	min.
<input type="checkbox"/> Carpool Spaces	0	Public: 18 / Private: 47	8 % min.
<input type="checkbox"/> Aisle Width (ft.)	20'-26' (varies)	24'	24' min.
<input type="checkbox"/> Bicycle Parking (Class 1 / Class 2)		Class 1: 152 / Class 2: 38	Class 1: 147 / Class 2: 37 min.
<input type="checkbox"/> Impervious Surface Area (sq. ft.)	168,818 SF	168,189 SF	168,818 SF max.
<input type="checkbox"/> Impervious Surface (%)	77.4%	77.2%	77.4% max.
<input checked="" type="checkbox"/> Art in Private Development	Public Art Provided Onsite - project to coordinate with City of Sunnyvale		

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7380
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.
Sunnyvale.ca.gov - Search "Planning and Building"

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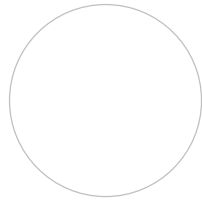
4 SUNNYVALE PROJECT DATA SHEET

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G0.02

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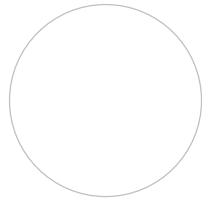
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date: 2025.01.15

CODE SUMMARY,
OCCUPANCY
SEPARATION
SECTION, FIRE
SEPARATION
DIAGRAM

G1.01

GENERAL INFORMATION

BUILDING ADDRESS: 333-385 MOFFETT PARK DRIVE, SUNNYVALE, CA 94089
APN: 110-34-005
LOT AREA: 217,788 SF
ZONING: M402
NEIGHBORHOOD: SUNNYVALE, CA
PROPERTY DEV. AREA: Sola (South of Java)
LOT COVERAGE: 82,650 SF / 217,788 SF = 38%
F.A.R.: 294,000 SF / 217,788 SF = 1.35
SCOPE OF WORK: SEE SCOPE OF WORK SECTION

APPLICABLE CODES

2022 CALIFORNIA TITLE 24 REGULATIONS (CALIFORNIA BUILDING STANDARDS CODE) INCLUDES:
2022 CALIFORNIA ADMINISTRATIVE CODE (CAC PART 1)
2022 CALIFORNIA BUILDING CODE (CBC PART 2)
2022 CALIFORNIA ELECTRICAL CODE (CEC PART 3)
2022 CALIFORNIA MECHANICAL CODE (CMC PART 4)
2022 CALIFORNIA PLUMBING CODE (CPC PART 5)
2022 CALIFORNIA ENERGY CODE (CEC PART 6)
2022 CALIFORNIA FIRE CODE (CFC PART 9)
2022 CALIFORNIA EXISTING BUILDING CODE (PART 10)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN PART 11)
2022 CALIFORNIA REFERENCED STANDARDS CODE (PART 12)

APPLICABLE LOCAL ZONING ORDINANCES

MOFFETT PARK SPECIFIC PLAN

NOTES:
ALONG WITH OTHER APPLICABLE CA STATE LAWS, LOCAL APPLICABLE CODES
AND REGULATIONS, THE MORE RESTRICTIVE PROVISIONS AND ADOPTED ORDINANCES SHALL PREVAIL.

CBC CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE

MIXED USED OCCUPANCY

BUSINESS GROUP B (SEC. 304.1); COMMERCIAL OFFICE
GROUP A ACCESSORY TO B (504.2); ELEVATOR LOBBIES
ASSEMBLY GROUP A-3 (SEC. 303.4); AMENITY TERRACE; BUILDING LOBBIES
PARKING GROUP S-2 (SEC. 311.3); PARKING GARAGE

CBC CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREA

BUILDING AREAS (SEPARATED, MIXED OCCUPANCY) (SECTION 503)			
STORY	OCCUPANCY GROUP	DESIGNATED AREA	ALLOWABLE AREA
1	A-3	6,791 SF	UNLIMITED
	B	5,815 SF	UNLIMITED
	S-2	95,313 SF	296,250 SF (W/ AREA INCR)
2	B	3,057 SF	UNLIMITED
	S-2	101,488 SF	296,250 SF (W/ AREA INCR)
3	S-2	116,493 SF	296,250 SF (W/ AREA INCR)
4	B	74,732 SF	UNLIMITED
5	B	75,967 SF	UNLIMITED
6	B	76,267 SF	UNLIMITED

MIXED OCCUPANCY ALLOWABLE HEIGHT AND STORIES (ABOVE GRADE) (TABLE 504.3):

OCCUPANCY: A-3, B, S-2
ALLOWABLE HEIGHT: 190 FT ABOVE GRADE PLANE
PROPOSED HEIGHT: 85 FT MAX TOP OF ROOFING HEIGHT (EXCL. PARAPETS, PENTHOUSES,
ROOF SCREENS, ETC.)

ALLOWABLE NO. OF STORIES ABOVE GRADE PLANE: 12
PROPOSED: 3 STORIES OFFICE OVER 3 STORIES ABOVE GRADE PARKING

MIXED OCCUPANCY ALLOWABLE AREAS (TABLE 506.2):

BUSINESS & STORAGE SPRINKLER MAX ALLOWABLE FACTOR
BAS2 SM 65,000 SF

MIXED OCCUPANCY AREA CALCULATIONS (SEC. 506.2.4)
 $A_t = [A] \times (N_t \times F)$ (SEC. 506.2.4)

$F = [F/P - 0.25] W/30$

CBC CHAPTER 6 - TYPE OF CONSTRUCTION

TYPE I-B
FULL SPRINKLERED: YES (NFPA 13)
HIGHRISE: NO

FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS (CBC TABLE 601)

BUILDING ELEMENT	FIRE RESISTANCE RATING REQUIRED	PROVIDED	REMARKS
PRIMARY STRUCTURAL FRAMING	2	2	-
BEARING WALLS (EXTERIOR)	2	2	-
BEARING WALLS (INTERIOR)	2	2	-
NONBEARING WALLS AND PARTITIONS (INTERIOR)	0	-	-
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	2	2	-
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1	1	-

FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION
DISTANCE (CBC TABLE 705.5)

FIRE SEPARATION DISTANCE = X FEET	FIRE SEPARATION REQUIRED	PROVIDED	FIRE RATING REQUIRED	PROVIDED	REMARKS
NORTH	30'	45'-3"	0	0	-
SOUTH	30'	42'-4"	0	0	-
EAST	30'	41'-2"	0	0	-
WEST	30'	41'-11"	0	0	-

CBC CHAPTER 7 - FIRE AND SMOKE PROTECTION

EXTERIOR WALLS PROJECTION (SEC. 705.2):

ALLOWABLE PROJECTIONS (PER SECTION AND TABLE 705.2)

FIRE SEPARATION DISTANCE (FEET)	REQ. DIST.	PROVIDED	REMARKS
NORTH	45'-3"	40' MAX	6" CORNICE
SOUTH	42'-4"	40' MAX	6" CORNICE
EAST	41'-2"	40' MAX	6" CORNICE
WEST	41'-11"	40' MAX	6" CORNICE

NP = NOT PERMITTED

EXTERIOR WALLS OPENINGS ALLOWED (SEC. 705.8):

ALLOWABLE PROJECTIONS (PER SECTION AND TABLE 705.8)

FIRE SEPARATION DISTANCE (FEET)	REQ. DIST.	PROVIDED	REMARKS
NORTH	45'-3"	>30	NO LIMIT UNPROTECTED SPRINK.
SOUTH	42'-4"	>30	NO LIMIT UNPROTECTED SPRINK.
EAST	41'-2"	>30	NO LIMIT UNPROTECTED SPRINK.
WEST	41'-11"	>30	NO LIMIT UNPROTECTED SPRINK.

NP = NOT PERMITTED

FIRE-RATED CONSTRUCTION (SEC. 713.4):

2HR SHAFT - 4 OR MORE STORIES (INCLUDING BASEMENTS)

FIRE-RATED OPENING PROTECTIVES (SEC. 716.4):

2 HR WALL 1 1/2 HR DOOR SHAFT, INTERIOR EXIT STAIRWAYS
1 HR WALL 1 HR DOOR FIRE BARRIER, SHAFT EXIT ACCESS STAIRWAY, ETC.
1 HR WALL 45 MIN DOOR OTHER FIRE BARRIERS/PARTITIONS
1 HR WALL 20 MIN DOOR FIRE PARTITION, CORRIDOR WALLS

CBC CHAPTER 8 - INTERIOR FINISHES

INTERIOR WALL AND CEILING FINISHES REQUIREMENTS BY OCCUPANCY (SEC. 803.13):

OCCUPANCY	INTERIOR EXIT STAIRWAYS AND GROUP RAMP AND ACCESS STAIRWAY AND RAMPS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAY AND RAMPS	ROOMS AND ENCLOSED SPACES
A-3	B	B	C
B	B	C	C
S-2	C	C	C

FLOORS TO MEET THE REQUIREMENTS OF SECTION 804

CBC CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS

AUTOMATIC SPRINKLER SYSTEM (SEC. 903):

PROVIDED

PORTABLE FIRE EXTINGUISHERS (SEC. 906):

TO BE PROVIDED IN ALL OCCUPANCIES.
LOW/ORDINARY HAZARD
2A RATING
11,250 SF MAX/PER EXTINGUISHER
75FT MAX DISTANCE

FIRE ALARM (SEC. 907):

EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM TO BE PROVIDED THAT
COMPLIES WITH CBC SECTION 907.5.2.2

CBC CHAPTER 10 MEANS OF EGRESS

DESIGN OCCUPANT LOAD (SEC. 1004.1):

MAX. FLOOR AREA ALLOWANCES PER OCCUPANT
ASSEMBLY (UNCONCENTRATED) 15 SF NET
ASSEMBLY (BENCHES) 1 PER 18" OF LENGTH
BUSINESS (UNCONCENTRATED) 150 SF GROSS
PARKING GARAGES 200 SF GROSS
ACCESSORY STORAGE/MECH. 300 SF GROSS

MEANS OF EGRESS SIZING (SEC. 1005):

SEE EGRESS PLANS FOR ACTUAL CAPACITIES
STARWAYS 0.2 (SEC. 1005.3.1 EXCEPTION 1)
OTHER EGRESS COMPONENTS 0.15 (SEC. 1005.3.2 EXCEPTION 2)
EGRESS CONVERGENCE AT LEVEL 1 (SEC. 1005.6)

SPACES WITH A SINGLE EXIT (SPRINKLER) (SEC. 1006.2.1):

GROUP	MAX. OCC. LOAD	MAX. COMMON PATH OF EGRESS
A-3	49	75 FT
B	49	100 FT
S-2	29	100 FT

NUMBER OF EXITS (SEC. 1006.3.1):

OCCUPANTS NUMBER OF EXITS OR EXIT ACCESS PER STORY
1-500 2 REQUIRED; 2 PROVIDED (BUILDING B)
501-1000 3 REQUIRED; 3 PROVIDED (BUILDING A)
1001+ 4 REQUIRED; 4 PROVIDED (PODIUM ROOFDECK ONLY)

CONFIGURATION (SEC. 1007.1.1 EXCEPTION 2):

TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS,
OR ANY COMBINATION THEREOF, THEY SHALL BE PLACED A DISTANCE APART
NOT LESS THAN ONE THIRD THE LENGTH OF THE MAXIMUM OVERALL
DIAGONAL DIMENSION OF THE AREA SERVED.

ALL DIAGONALS SHOWN ON EGRESS PLANS CONFORM.

ACCESSIBLE MEANS OF EGRESS (SEC. 1009.2.1):

1 ELEVATOR PER BUILDING (A AND B) TO BE PROVIDED WITH AN ELEVATOR T
THAT MEETS SECTION 1009.4, ELEVATOR CONNECTED TO EMERGENCY
POWER

DOORS, GATES AND TURNSTILES (SEC. 1010.1):

DOOR MIN. CLEAR WIDTH: 32" WITH MAX. LEAF 48" WIDE.

STAIRWAYS (SEC. 1011.2):

WIDTH: 44" MIN., 36" IF OCC. LOAD <50 (EXCEPTION 1)
HEADROOM: 80" MIN.
RISER HEIGHT: 4" MIN. - 7" MAX.
RISER DEPTH: 11" MIN.

EXIT ACCESS TRAVEL DISTANCE (SPRINKLER) (SEC. 1017):

GROUP	MAX. EXIT ACCESS TRAVEL DISTANCE
A	250 FT
B	300 FT
S-2	400 FT

DEAD END CORRIDOR MAX LENGTH (SEC. 1020.5):

GROUP	MAX. DEAD END
A	20 FT
B	50 FT
S-2	50 FT

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PARTITION RATING

3 HOUR FIRE-RESISTANCE
2 HOUR FIRE-RESISTANCE
1 HOUR FIRE-RESISTANCE

PARTITION TYPE

FIRE WALL
FIRE BARRIER
FIRE PARTITION
SMOKE BARRIER
SMOKE PARTITION

FOR FIRE DOOR RATINGS SEE CBC TABLE 716.1(2)
FOR FIRE WINDOWS SEE CBC TABLE 716.1(3)

FIRE EXTINGUISHERS (CFC SEC.906)

ALL FECS ARE SURFACE MOUNTED.
MAX TRAVEL DIST TO NEAREST FECS NOT TO EXCEED 75'

FEC-C ← FECS LOCATION
FH ← FIRE HOSE CABINET
* ← STROBE
P ← PULL STATION

OCCUPANCY GROUPS

B
S-2

ROOM TAG

Name → ROOM NAME
RM. NO. → ROOM NUMBER
OC → OCCUPANCY
AREA → AREA IN SQUARE FEET
1 OCC./ 100 SF → OCCUPANCY LOAD FACTOR
LOAD → TOTAL SPACE OCCUPANCY LOAD

EXIT DOOR TAG

DOOR 11 → DOOR MARK
EXIT LOAD: EL → EXIT OCCUPANCY LOAD
FACTOR: 0.2 → FACTOR
REQ. W.: ReqW → DOOR CLEAR WIDTH REQUIRED
WIDTH: 32" → DOOR CLEAR WIDTH PROVIDED

EXIT STAIR TAG

STAIR 1: B14.1 → STAIR MARK
LEVELS SERVED
EXIT LOAD: OL → EXIT OCCUPANCY LOAD
FACTOR: 0.2 → FACTOR
REQ. W.: ReqW → CLEAR WIDTH REQUIRED
WIDTH: 32" → CLEAR WIDTH PROVIDED

EXIT SIGN

EXIT SIGN - CEILING HUNG
DIRECTION OF EGRESS
DIRECTION OF EGRESS
EXIT SIGN - WALL HUNG

EXIT ACCESS TRAVEL DISTANCE

CP = 43' - 0" → COMMON PATH OF TRAVEL
EXIT
36" CLR PATH OF TRAVEL
MOST REMOTE POINT ON LEVEL
ACCESSIBLE PATH OF TRAVEL

EXIT LOAD TAG

DIRECTION OF EGRESS
EXIT LOAD
CUMULATIVE EXIT LOAD

DIAGONALS & SEPARATION DIST.

EXIT SEPARATION: 14' - 6" → SEPARATION BETWEEN EXITS
NAME OF THE SERVED AREA
MAXIMUM DIAGONAL OF SERVED AREA
Suite #1 MAX. OVERALL DIAGONAL = 29' - 0"
1/3 DIAGONAL = 9' - 8" → MAX. DIAGONAL DIVIDED BY 3 (+ MIN. SEPARATION BETWEEN EXITS ALLOWED)

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ROOM TAG

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1 OCC./ ← OCCUPANCY LOAD FACTOR
LOAD: ← TOTAL SPACE OCCUPANCY LOAD

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EXIT STAIR TAG

STAIR 1: B14.1 ← STAIR MARK
EXIT LOAD: OL ← LEVELS SERVED
EXIT OCCUPANCY LOAD
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EXIT SIGN

EXIT SIGN - CEILING HUNG
DIRECTION OF EGRESS
DIRECTION OF EGRESS
EXIT SIGN - WALL HUNG

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**CODE ANALYSIS
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OCCUPANT LOAD - LEVEL 1/P3

SPACE	AREA	OCCUPANT LOAD FACTOR	LOAD
ELEV. LOBBY	160 SF	150	2
ELEV. LOBBY	183 SF	150	2
ELEV. LOBBY	191 SF	150	2
ELEV. LOBBY	185 SF	150	2
ELEV. LOBBY	718 SF	150	8
ELEC	59 SF	300	1
ELEC	59 SF	300	1
ELEC	67 SF	300	1
ELEC	67 SF	300	1
IDF	53 SF	300	1
IDF	49 SF	300	1
IDF	53 SF	300	1
IDF	65 SF	300	1
P3 PARKING	115,113 SF	300	384
STORAGE	64 SF	300	1
	115,649 SF		383
	116,368 SF		401

1/32" = 1'-0"

OCCUPANCY & EXITING LEGEND

1/8" = 1'-0"

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PARTITION RATING

3 HOUR FIRE-RESISTANCE
2 HOUR FIRE-RESISTANCE
1 HOUR FIRE-RESISTANCE

PARTITION TYPE

FIRE WALL
FIRE BARRIER
FIRE PARTITION
SMOKE BARRIER
SMOKE PARTITION

FOR FIRE DOOR RATINGS SEE CBC TABLE 716.1(2)
FOR FIRE WINDOWS SEE CBC TABLE 716.1(3)

FIRE EXTINGUISHERS (CFC SEC.906)

ALL FEC ARE SURFACE MOUNTED.
MAX TRAVEL DIST TO NEAREST FEC NOT TO EXCEED 75'

FEC-C ← FEC LOCATION
FH ← FIRE HOSE CABINET
* ← STROBE
P ← PULL STATION

OCCUPANCY GROUPS

A-3
A-3
B
LINEAR
FOOTAGE
S-2

ROOM TAG

Name ← ROOM NAME
RM. NO. ← ROOM NUMBER
OC. ← OCCUPANCY
AREA: ← AREA IN SQUARE FEET
1 OCC./ ← OCCUPANCY LOAD FACTOR
LOAD: ← TOTAL SPACE OCCUPANCY LOAD

EXIT DOOR TAG

DOOR 11 ← DOOR MARK
EXIT LOAD: EL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W. ← REQ W ← DOOR CLEAR WIDTH REQUIRED
WIDTH: 32" ← DOOR CLEAR WIDTH PROVIDED

EXIT STAIR TAG

STAIR 1: B14.1 ← STAIR MARK
EXIT LOAD: OL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W. ← REQ W ← CLEAR WIDTH REQUIRED
WIDTH: 32" ← CLEAR WIDTH PROVIDED

EXIT SIGN

EXIT SIGN - CEILING HUNG
DIRECTION OF EGRESS
DIRECTION OF EGRESS
EXIT SIGN - WALL HUNG

EXIT ACCESS TRAVEL DISTANCE

CP = 43' - 0"
COMMON PATH OF TRAVEL
EXIT
36" CLR PATH OF TRAVEL
MOST REMOTE POINT ON LEVEL
ACCESSIBLE PATH OF TRAVEL

EXIT LOAD TAG

DIRECTION OF EGRESS
EXIT LOAD
CUMULATIVE EXIT LOAD

DIAGONALS & SEPARATION DIST.

EXIT SEPARATION: 14' - 6" ← SEPARATION BETWEEN EXITS
NAME OF THE SERVED AREA
MAXIMUM DIAGONAL
OF SERVED AREA
Suite #1 MAX. OVERALL DIAGONAL = 29' - 0"
1/3 DIAGONAL = 9' - 8" ← MAX. DIAGONAL DIVIDED BY 3
(+ MIN. SEPARATION BETWEEN
EXITS ALLOWED)

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**CODE ANALYSIS
PLANS**

G1.05

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file: AutoDesk Docs\22-387_333 Moffett Park_Driving\22-387_333 moffett park drive.rvt
7/28/2025 12:03:08 PM

1 FLOOR PLAN - LEVEL 2

1/32" = 1'-0"

OCCUPANCY & EXITING LEGEND

1/8" = 1'-0"

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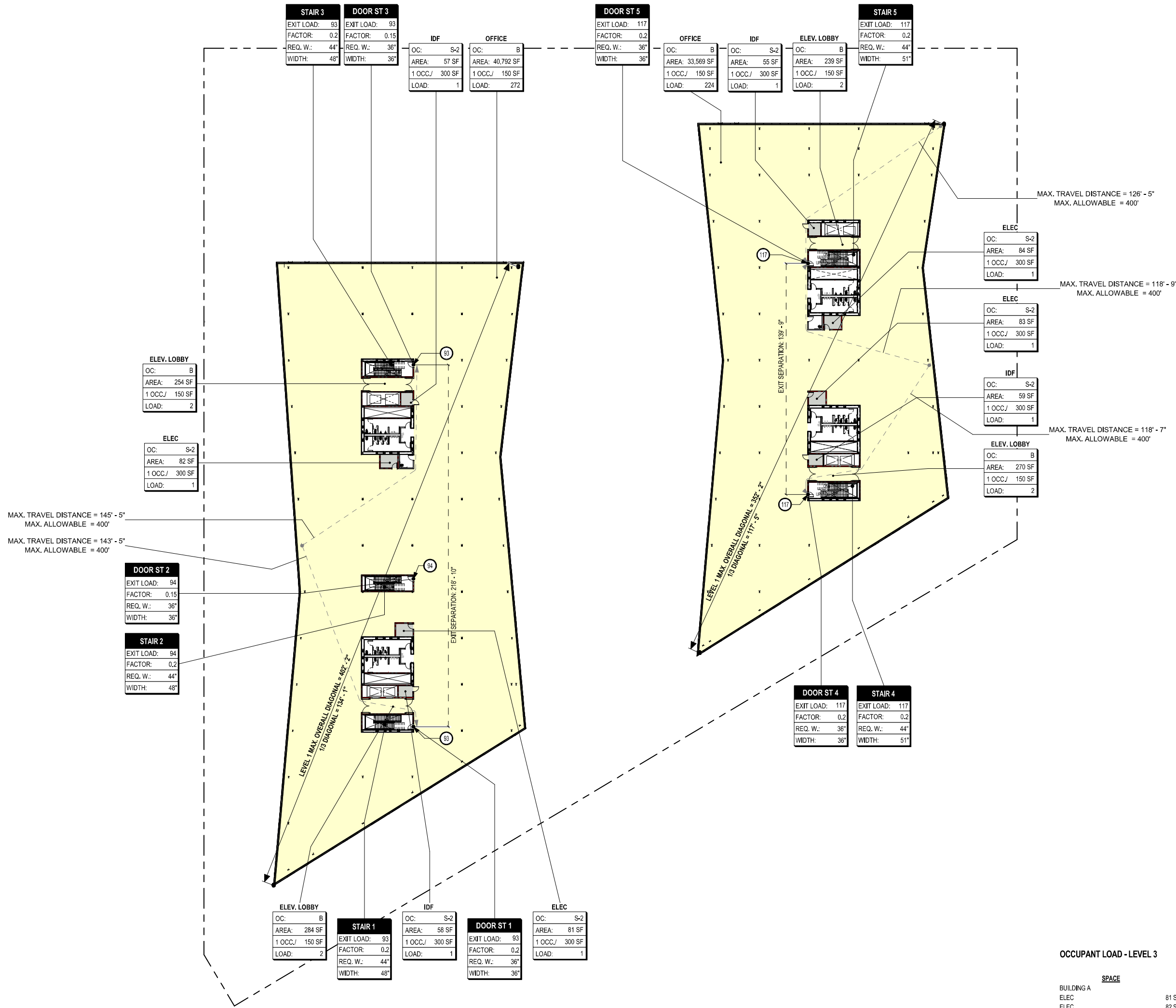
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OCCUPANT LOAD - LEVEL 3

SPACE	AREA	OCCUPANT LOAD FACTOR	LOAD
BUILDING A			
ELEC	81 SF	300	1
ELEC	82 SF	300	1
IDF	58 SF	300	1
IDF	57 SF	300	1
	279 SF		4
ELEV. LOBBY	284 SF	150	2
ELEV. LOBBY	254 SF	150	2
	538 SF		4
OFFICE	40,792 SF	150	272
	40,792 SF		272
	41,609 SF		280
BUILDING B			
ELEC	83 SF	300	1
ELEC	84 SF	300	1
IDF	55 SF	300	1
IDF	59 SF	300	1
	280 SF		4
ELEV. LOBBY	270 SF	150	2
ELEV. LOBBY	230 SF	150	2
	508 SF		4
OFFICE	33,569 SF	150	224
	33,569 SF		224
	34,368 SF		232

PARTITION RATING

3 HOUR FIRE-RESISTANCE
2 HOUR FIRE-RESISTANCE
1 HOUR FIRE-RESISTANCE

PARTITION TYPE

FIRE WALL
FIRE BARRIER
FIRE PARTITION
SMOKE BARRIER
SMOKE PARTITION

FOR FIRE DOOR RATINGS SEE CBC TABLE 716.1(2)
FOR FIRE WINDOWS SEE CBC TABLE 716.1(3)

FIRE EXTINGUISHERS (CFC SEC.906)

ALL FEC ARE SURFACE MOUNTED.
MAX TRAVEL DIST TO NEAREST FEC NOT TO EXCEED 75'

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FH ← FIRE HOSE CABINET
* ← STROBE
P ← PULL STATION

OCCUPANCY GROUPS

B
S-2

ROOM TAG

Name ← ROOM NAME
RM. NO. ← ROOM NUMBER
OC. ← OCCUPANCY
AREA: ← AREA IN SQUARE FEET
1 OCC./ ← OCCUPANCY LOAD FACTOR
LOAD: ← TOTAL SPACE OCCUPANCY LOAD

EXIT DOOR TAG

DOOR 11 ← DOOR MARK
EXIT LOAD: EL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W.: ReqW ← DOOR CLEAR WIDTH REQUIRED
WIDTH: 32" ← DOOR CLEAR WIDTH PROVIDED

EXIT STAIR TAG

STAIR 1: B14.1 ← STAIR MARK
EXIT LOAD: OL ← LEVELS SERVED
EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W.: ReqW ← CLEAR WIDTH REQUIRED
WIDTH: 32" ← CLEAR WIDTH PROVIDED

EXIT SIGN

EXIT SIGN - CEILING HUNG
DIRECTION OF EGRESS
DIRECTION OF EGRESS
EXIT SIGN - WALL HUNG

EXIT ACCESS TRAVEL DISTANCE

CP = 43' - 0" ← COMMON PATH OF TRAVEL
EXIT
36" CLR PATH OF TRAVEL
MOST REMOTE POINT ON LEVEL
ACCESSIBLE PATH OF TRAVEL

EXIT LOAD TAG

DIRECTION OF EGRESS
EXIT LOAD
CUMULATIVE EXIT LOAD

DIAGONALS & SEPARATION DIST.

EXIT SEPARATION: 14' - 6" ← SEPARATION BETWEEN EXITS
NAME OF THE SERVED AREA
MAXIMUM DIAGONAL OF SERVED AREA
Suite #1 MAX. OVERALL DIAGONAL = 29' - 0"
1/3 DIAGONAL = 9' - 8" ← MAX. DIAGONAL DIVIDED BY 3 (+ MIN. SEPARATION BETWEEN EXITS ALLOWED)

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PARTITION RATING
■■■■ 3 HOUR FIRE-RESISTANCE
■■■ 2 HOUR FIRE-RESISTANCE
■■ 1 HOUR FIRE-RESISTANCE

PARTITION TYPE
FIRE WALL
FIRE BARRIER
FIRE PARTITION
SMOKE BARRIER
SMOKE PARTITION

FOR FIRE DOOR RATINGS SEE CBC TABLE 716.1(2)
FOR FIRE WINDOWS SEE CBC TABLE 716.1(3)

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MAX TRAVEL DIST TO NEAREST FEC NOT TO EXCEED 75'

FEC-C ← FEC LOCATION
FH ← FIRE HOSE CABINET
* ← STROBE
P ← PULL STATION

OCCUPANCY GROUPS

B
S-2

ROOM TAG

Name ← ROOM NAME
RM. NO. ← ROOM NUMBER
OC. ← OCCUPANCY
AREA: ← AREA IN SQUARE FEET
1 OCC./ ← OCCUPANCY LOAD FACTOR
LOAD: ← TOTAL SPACE OCCUPANCY LOAD

EXIT DOOR TAG

DOOR 11 ← DOOR MARK
EXIT LOAD: EL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W.: ReqW ← DOOR CLEAR WIDTH REQUIRED
WIDTH: 32" ← DOOR CLEAR WIDTH PROVIDED

EXIT STAIR TAG

STAIR 1: B14.1 ← STAIR MARK
EXIT LOAD: OL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W.: ReqW ← CLEAR WIDTH REQUIRED
WIDTH: 32" ← CLEAR WIDTH PROVIDED

EXIT SIGN

EXIT SIGN - CEILING HUNG
DIRECTION OF EGRESS
DIRECTION OF EGRESS
EXIT SIGN - WALL HUNG

EXIT ACCESS TRAVEL DISTANCE

CP = 43' - 0" ← COMMON PATH OF TRAVEL
EXIT
36" CLR PATH OF TRAVEL
MOST REMOTE POINT ON LEVEL
ACCESSIBLE PATH OF TRAVEL

EXIT LOAD TAG

DIRECTION OF EGRESS
EXIT LOAD
CUMULATIVE EXIT LOAD

DIAGONALS & SEPARATION DIST.

EXIT SEPARATION: 14' - 6" ← SEPARATION BETWEEN EXITS
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2025.04.30 MSPD SUBMITTAL REV-01
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2023.10.12 SITE MASTER PLAN SUBMITTAL

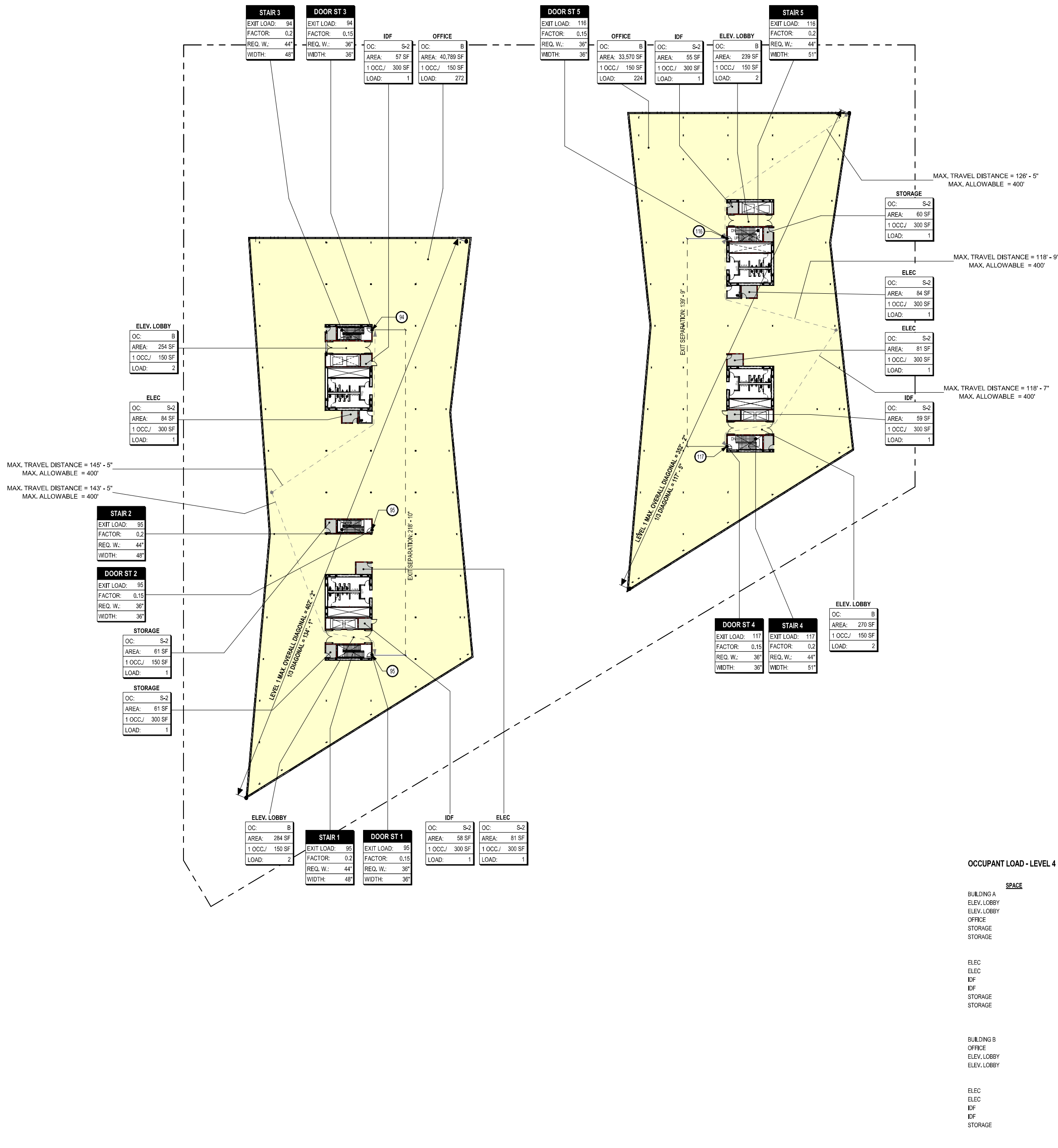
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**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**CODE ANALYSIS
PLANS**



OCCUPANT LOAD - LEVEL 4

SPACE	AREA	OCCUPANT LOAD FACTOR	LOAD
BUILDING A			
ELEV. LOBBY	284 SF	150	2
ELEV. LOBBY	254 SF	150	2
OFFICE	40,789 SF	150	272
STORAGE	61 SF	150	1
STORAGE	61 SF	150	1
	41,489 SF		278
ELEC	81 SF	300	1
ELEC	84 SF	300	1
IDF	58 SF	300	1
IDF	57 SF	300	1
STORAGE	61 SF	300	1
STORAGE	60 SF	300	1
	401 SF		6
	41,850 SF		284
BUILDING B			
OFFICE	33,570 SF	150	224
ELEV. LOBBY	270 SF	150	2
ELEV. LOBBY	239 SF	150	2
	34,079 SF		228
ELEC	81 SF	300	1
ELEC	84 SF	300	1
IDF	58 SF	300	1
IDF	55 SF	300	1
STORAGE	60 SF	300	1
	339 SF		5
	34,417 SF		233

OCCUPANCY & EXITING LEGEND

1/8" = 1'-0"

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PARTITION RATING

3 HOUR FIRE-RESISTANCE
2 HOUR FIRE-RESISTANCE
1 HOUR FIRE-RESISTANCE

PARTITION TYPE

FIRE WALL
FIRE BARRIER
FIRE PARTITION
SMOKE BARRIER
SMOKE PARTITION

FOR FIRE DOOR RATINGS SEE CBC TABLE 716.1(2)
FOR FIRE WINDOWS SEE CBC TABLE 716.1(3)

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MAX TRAVEL DIST TO NEAREST FEC NOT TO EXCEED 75'

FEC-C ← FEC LOCATION

[FH] ← FIRE HOSE CABINET

[S] ← STROBE

[P] ← PULL STATION

OCCUPANCY GROUPS

S-2

ROOM TAG

Name ← ROOM NAME
RM. NO. 101 ← ROOM NUMBER
OC: B ← OCCUPANCY
AREA: 150 SF ← AREA IN SQUARE FEET
1 OCC./ 100 SF ← OCCUPANCY LOAD FACTOR
LOAD: OL ← TOTAL SPACE OCCUPANCY LOAD

EXIT DOOR TAG

DOOR 11 ← DOOR MARK
EXIT LOAD: EL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W.: ReqW ← DOOR CLEAR WIDTH REQUIRED
WIDTH: 32" ← DOOR CLEAR WIDTH PROVIDED

EXIT STAIR TAG

STAIR 1: B14.1 ← STAIR MARK
LEVELS SERVED
EXIT LOAD: OL ← EXIT OCCUPANCY LOAD
FACTOR: 0.2 ← FACTOR
REQ. W.: ReqW ← CLEAR WIDTH REQUIRED
WIDTH: 32" ← CLEAR WIDTH PROVIDED

EXIT SIGN

EXIT SIGN - CEILING HUNG
DIRECTION OF EGRESS
DIRECTION OF EGRESS
EXIT SIGN - WALL HUNG

EXIT ACCESS TRAVEL DISTANCE

CP = 43' - 0" ← COMMON PATH OF TRAVEL
EXIT
36" CLR PATH OF TRAVEL
MOST REMOTE POINT ON LEVEL
ACCESSIBLE PATH OF TRAVEL

EXIT LOAD TAG

DIRECTION OF EGRESS
EXIT LOAD
CUMULATIVE EXIT LOAD

DIAGONALS & SEPARATION DIST.

EXIT SEPARATION: 14' - 6" ← SEPARATION BETWEEN EXITS
NAME OF THE SERVED AREA
MAXIMUM DIAGONAL OF SERVED AREA
Suite #1 MAX. OVERALL DIAGONAL = 29' - 0"
1/3 DIAGONAL = 9' - 8" ← MAX. DIAGONAL DIVIDED BY 3 (+ MIN. SEPARATION BETWEEN EXITS ALLOWED)

OCCUPANT LOAD - ROOF LEVEL

SPACE	AREA	OCCUPANT LOAD FACTOR	LOAD
BUILDING A			
MECHANICAL ENCLOSURE	14,608 SF	300	49
ELEV. CONTROL RM.	56 SF	300	1
ELEV. CONTROL RM.	56 SF	300	1
ELEC	165 SF	300	1
	14,887 SF		52
	14,887 SF		52
BUILDING B			
MECHANICAL ENCLOSURE	10,598 SF	300	36
ELEV. CONTROL RM.	59 SF	300	1
ELEV. CONTROL RM.	51 SF	300	1
ELEC	123 SF	300	1
	10,831 SF		39
	10,831 SF		39

1/32" = 1'-0"

OCCUPANCY & EXITING LEGEND

1/8" = 1'-0"

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date: 2025.01.15

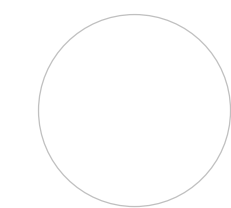
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2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

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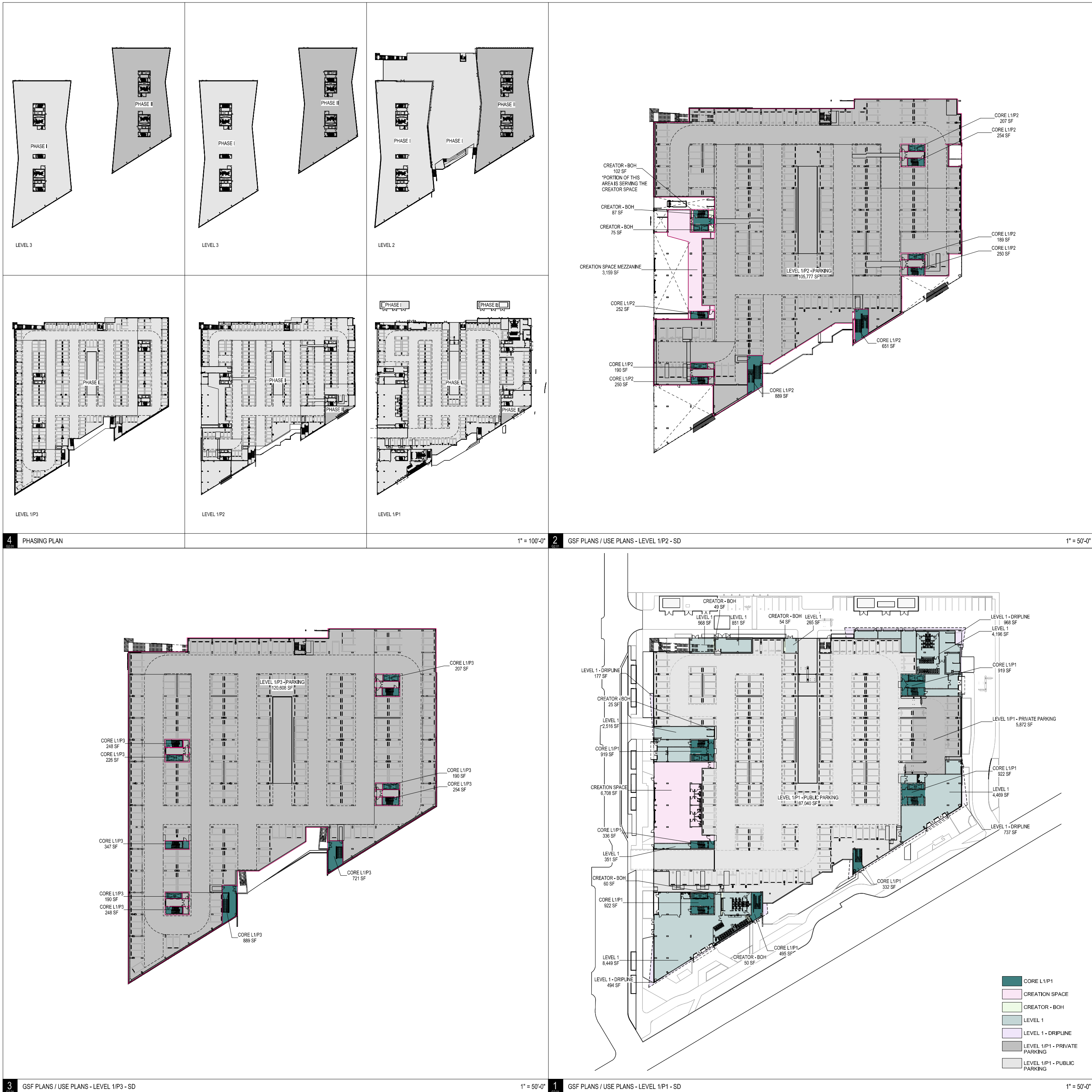
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**333-385 MOFFETT
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**BUILDING AREA
PLANS**

G2.01



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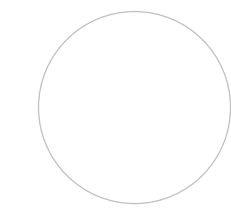
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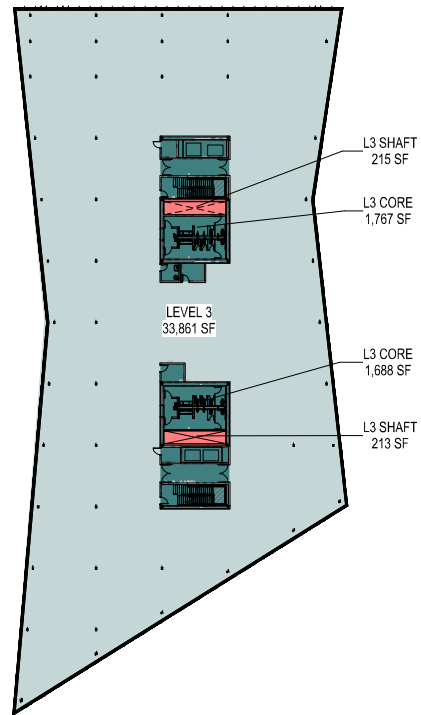
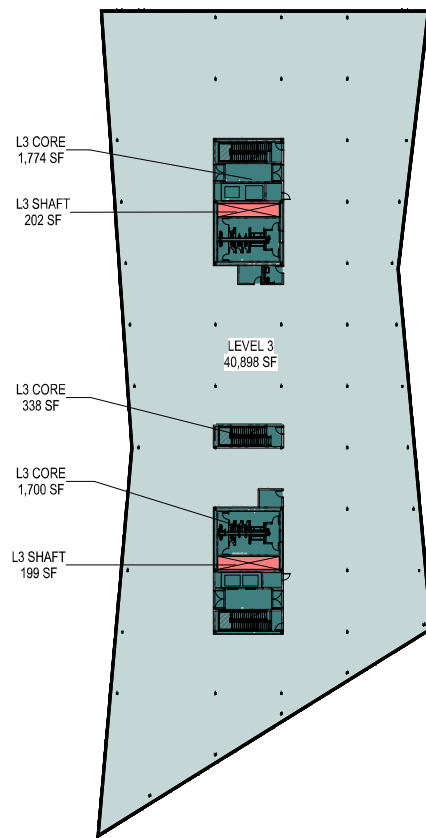
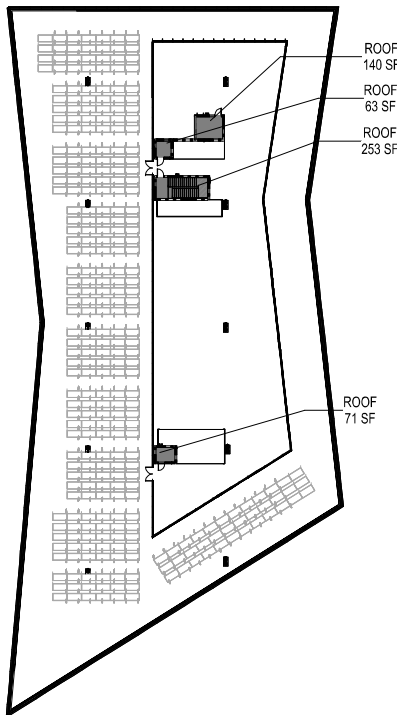
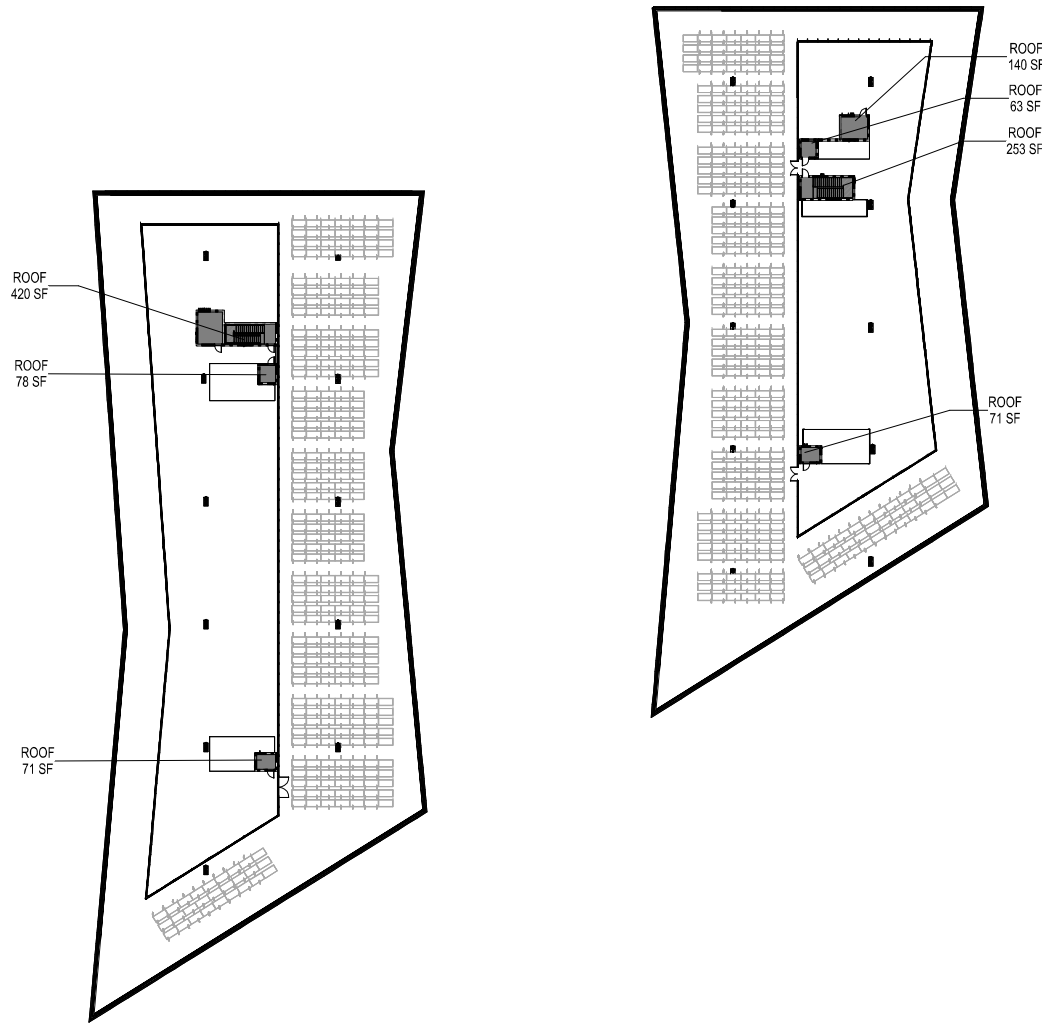
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**BUILDING AREA
PLANS**

G2.02

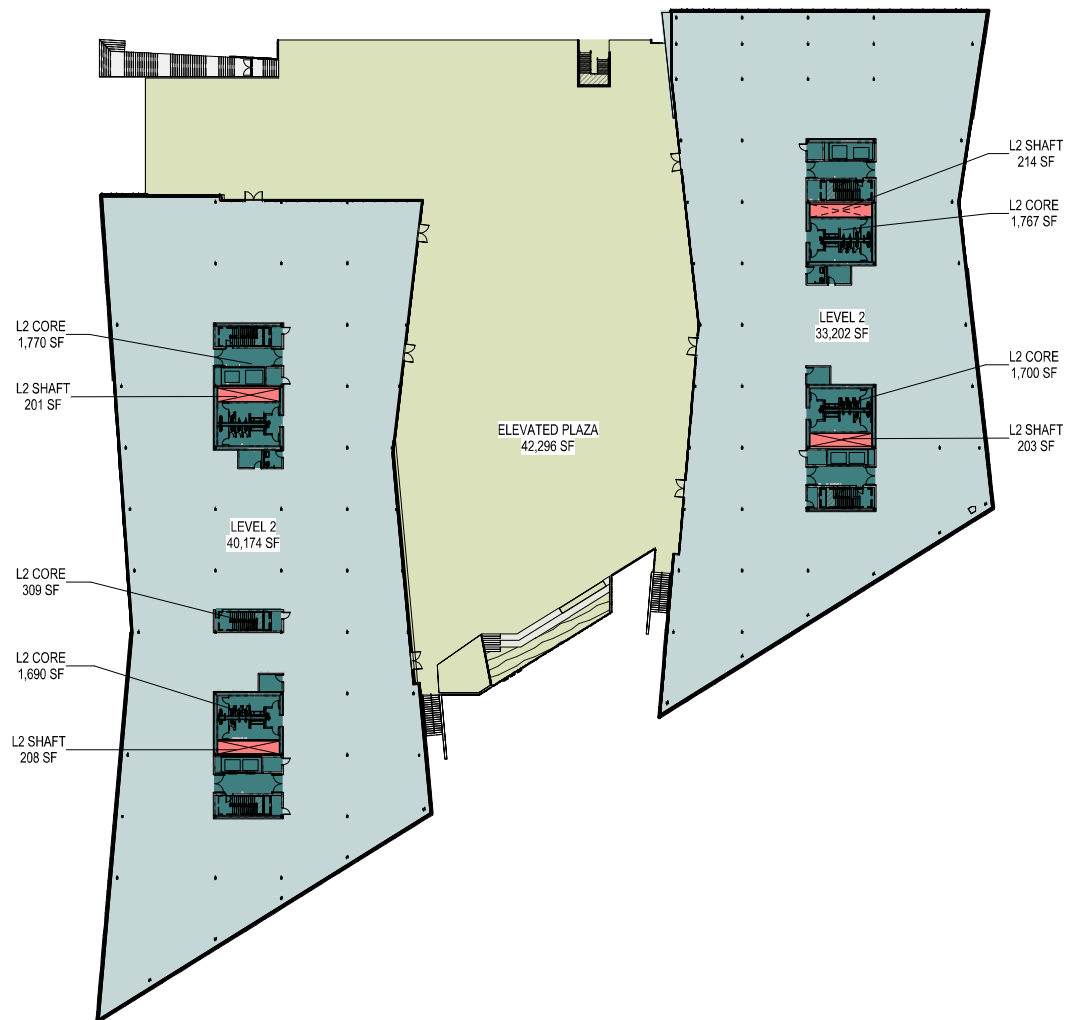
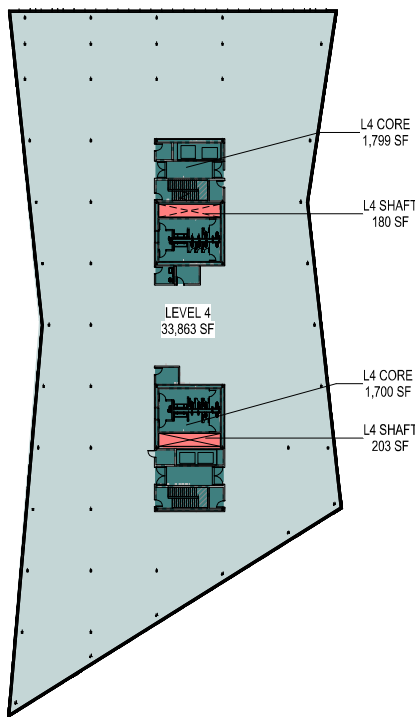
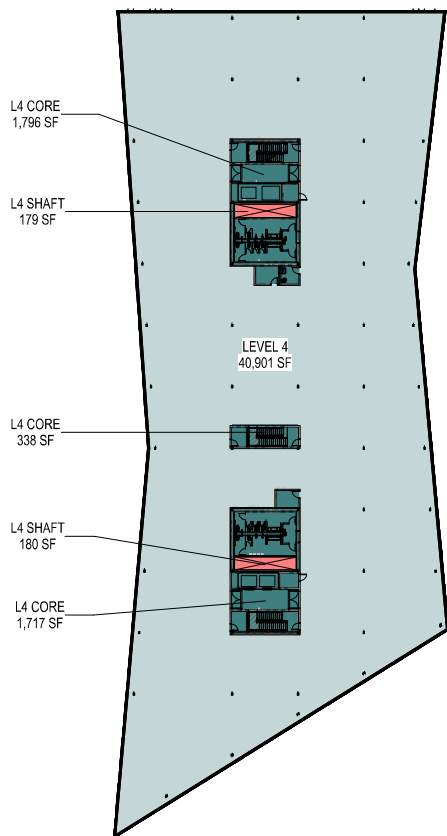


L3 CORE
L3 SHAFT
LEVEL 3

4 GSF PLANS / USE PLANS - ROOF - SD

1" = 50'-0" 2 GSF PLANS / USE PLANS - LEVEL 3 - SD

1" = 50'-0"



ELEVATED PLAZA
L2 CORE
L2 SHAFT
LEVEL 2

GROSS BUILDING AREAS - FAR

Level L1P1	
CORE L1P1	4,845 SF
CREATION SPACE	6,708 SF
CREATOR - BOH	239 SF
LEVEL 1	22,639 SF
Level L1P2	
CORE L1P2	3,767 SF
CREATION SPACE	3,159 SF
MEZZANINE	
CREATOR - BOH	284 SF
Level L1P3	
CORE L1P3	3,775 SF
Level L2	
L2 CORE	7,236 SF
L2 SHAFT	627 SF
LEVEL 2	73,375 SF
Level L3	
L3 CORE	7,267 SF
L3 SHAFT	629 SF
LEVEL 3	74,759 SF
Level L4	
L4 CORE	7,350 SF
L4 SHAFT	741 SF
LEVEL 4	74,763 SF
ROOF Level	
ROOF	1,064 SF
TOTAL SF	293,858 SF

AREAS NOT INCLUDED IN G.S.F.

ELEVATED PLAZA	42,296 SF
LEVEL 1 - DRIFLINE	2,377 SF
LEVEL 1P1 - PRIVATE PARKING	5,872 SF
LEVEL 1P1 - PUBLIC PARKING	87,940 SF
LEVEL 1P2 - PARKING	105,777 SF
LEVEL 1P3 - PARKING	120,608 SF
TOTAL SF	363,969 SF

3 GSF PLANS / USE PLANS - LEVEL 4 - SD

1" = 50'-0" 1 GSF PLANS / USE PLANS - LEVEL 2 - SD

1" = 50'-0"

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**333-385 MOFFETT
PARK DRIVE**

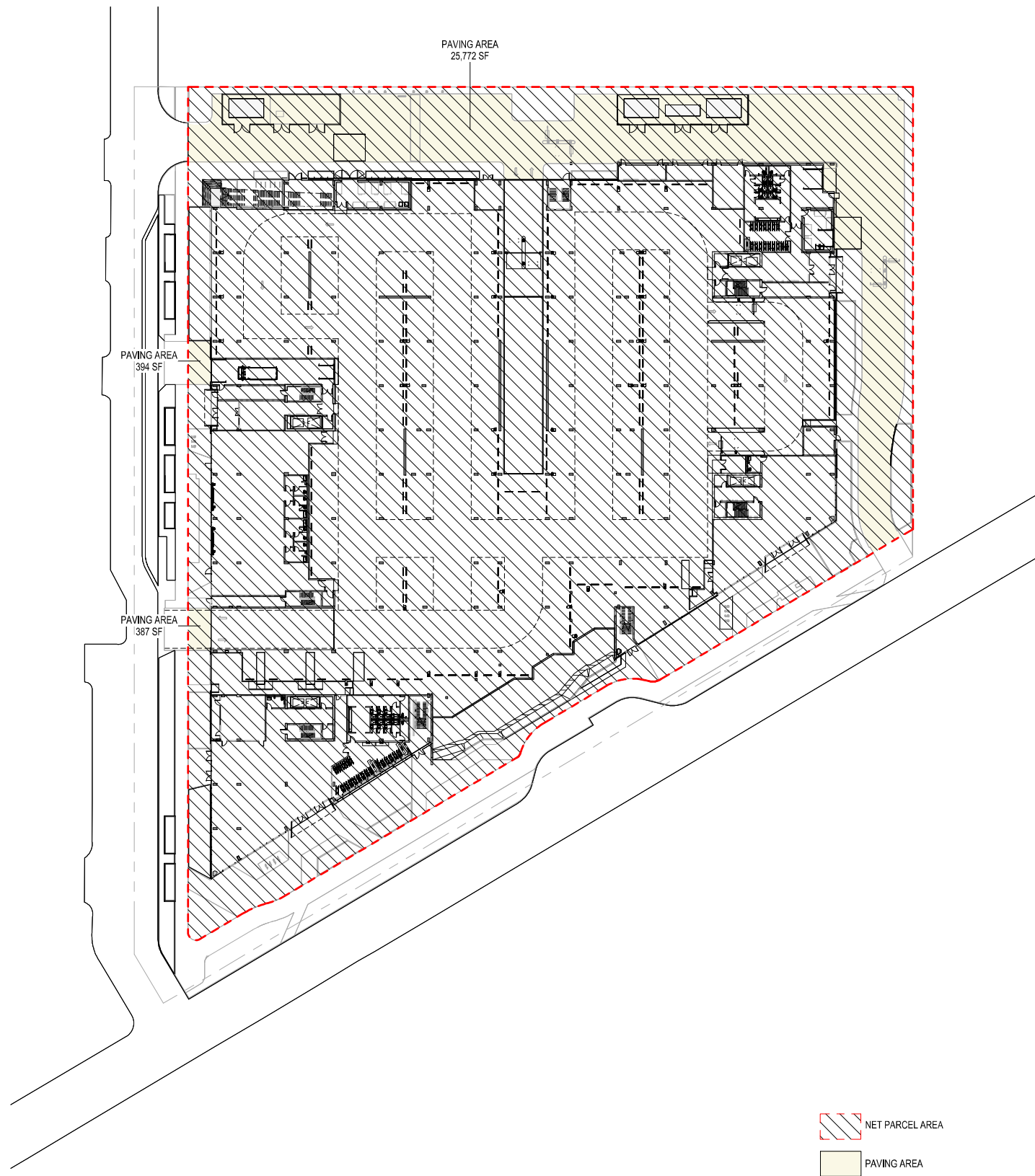
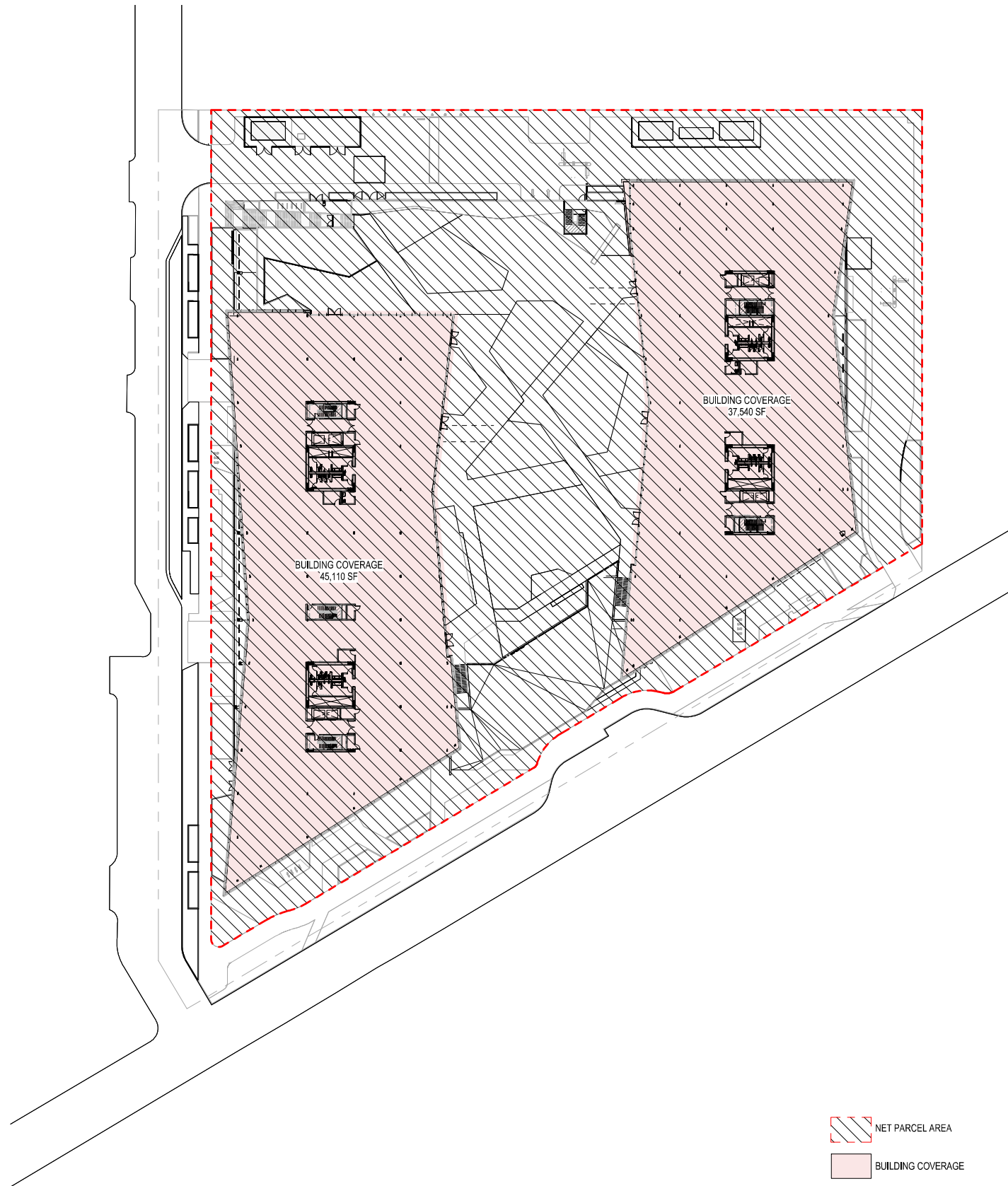
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**LOT COVERAGE AND
PAVING AREAS**

G2.03

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2 LEVEL 2

1 LEVEL 1

1 LEVEL 1

MOFFETT PARK SPECIFIC PLAN

CHAPTER 5.2.3 - BUILDING MASS COVERAGE AND PAVING AREA

BUILDING MASS COVERAGE

REQUIRED	NON-RESIDENTIAL DEVELOPMENT OUTSIDE FINE GRAIN CORE - 70% MAXIMUM
PROVIDED	NET PARCEL AREA = 188,129 SF PROVIDED BUILDING MASS COVERAGE = 82,650 SF 82,650 / 188,129 = 0.44 TOTAL 44%

PAVING AREA

REQUIRED	NON-RESIDENTIAL DEVELOPMENT OUTSIDE FINE GRAIN CORE - 25% MAXIMUM
PROVIDED	NET PARCEL AREA = 188,129 SF PROVIDED PAVING AREA = 26,553 SF 26,553 / 188,129 = 0.14 TOTAL 14%

MOFFETT PARK SPECIFIC PLAN SUMMARY

3" = 1'-0"

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CONSULTANT
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Consultant - Line 3
Consultant - Line 4
Consultant - Line 5



GREEN ROOF AREA

GREEN ROOF AREA TOTALS	
Name	Area

GREEN ROOF AREA 18,601 SF



NET ROOF AREA

NET ROOF AREA TOTALS	
Name	Area

NET ROOF AREA 46,196 SF

1 Level L2 - GREEN ROOF AREAS

1" = 50'-0"

2 Level ROOF - NET ROOF AREAS

1" = 50'-0"

MOFFETT PARK SPECIFIC PLAN

CHAPTER 5.4.3 - GREEN ROOFS

GREEN ROOF CALCULATIONS

REQUIRED	NET ROOF AREA BETWEEN 30,000 SF AND 40,999 SF = 40% GREEN ROOF PROVIDED.
NET ROOF AREA EXEMPTIONS	THE FOLLOWING USES ARE EXEMPT FROM NET ROOF AREA CALCULATIONS: COORDED AMENITY SPACES; COORDED SETBACKS; HVAC SYSTEMS; FIRE SUPPRESSION SYSTEMS; ASSOCIATED ASEMENTS AND SERVICE MAINTENANCE PATHWAYS TO ALL EQUIPMENT; AND EMERGENCY CORRIDORS. PUBLIC BUILDINGS AND MASS TIMBER BUILDINGS ARE FULLY EXEMPT FROM THIS STANDARD.
PROVIDED	NET ROOF AREA: 46,196 SF PROVIDED GREEN ROOF AREA: 18,601 SF 46,196 SF X 40% = 18,478 SF 18,601 SF > 18,478 SF
NOTES	NOTES ON EXCLUDED AREAS: 1) 6" ACCESS AISLE PROVIDED BETWEEN SOLAR PV PANELS FOR MAINTENANCE AND EGRESS. 2) 12" CLEARANCE FROM ALL ROOF EDGES FOR FACADE MAINTENANCE EQUIPMENT AND EGRESS. 3) ROOF MECHANICAL AREAS EXCLUDED, EXCEPT AT TOP OF ELEVATOR OVERRUNS AND ASSOCIATED ELECTRICAL ROOMS. 4) 6" EGRESS PATH PROVIDED BETWEEN SOLAR PV PANELS AND ROOF SCREEN.

MOFFETT PARK GREEN ROOF CALCULATION

3" = 1'-0"

2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL
date issue description

333-385 MOFFETT PARK DRIVE

SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

NET ROOF AREA/
GREEN ROOF
CALCULATION

G2.05

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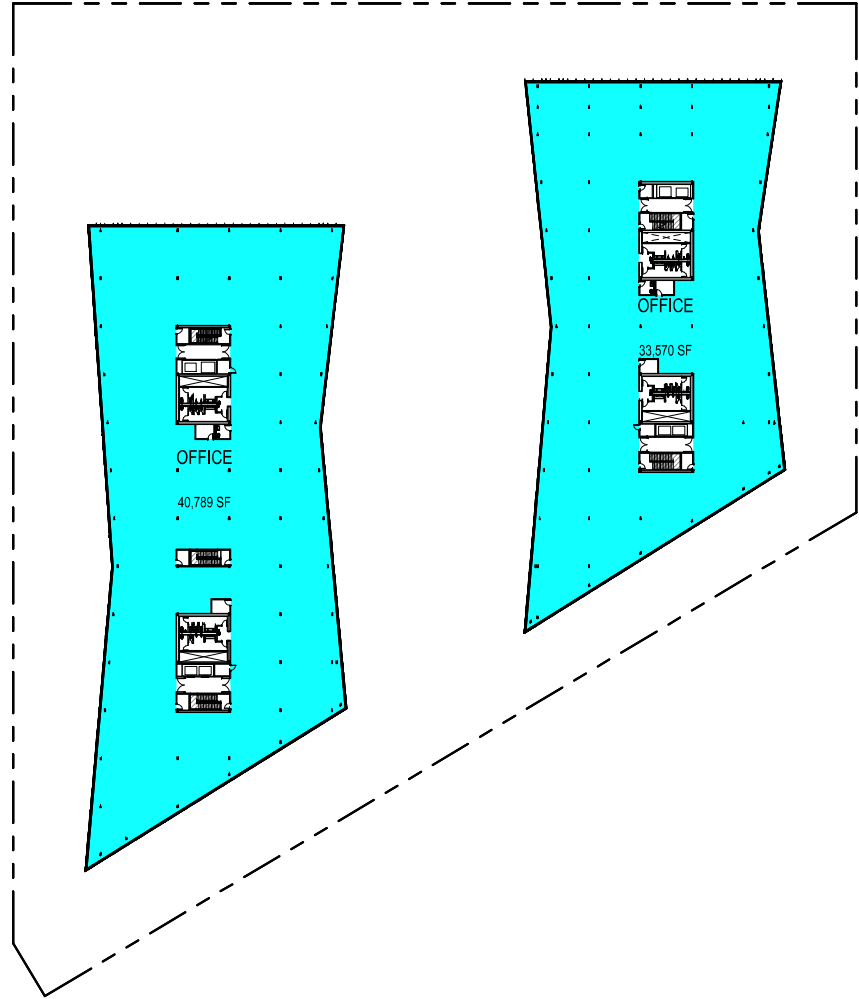
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2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-09
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMPI MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL
date issue description

**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

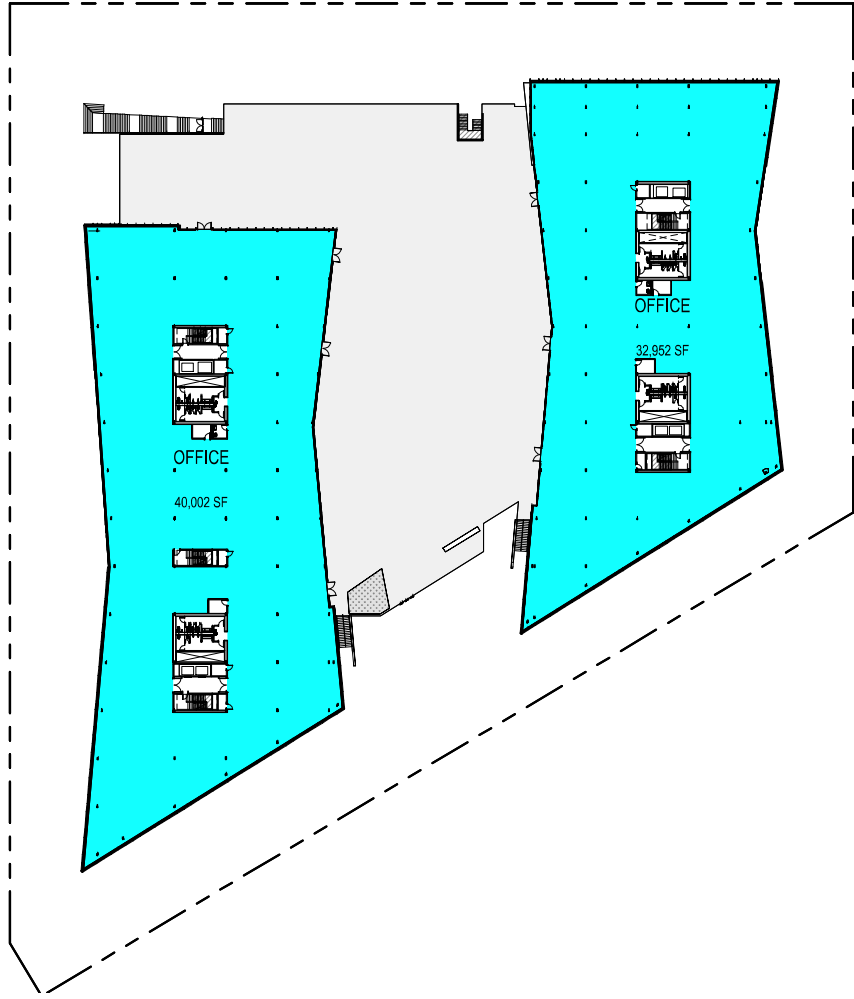
**PLUMBING
CALCULATIONS**

G2.06



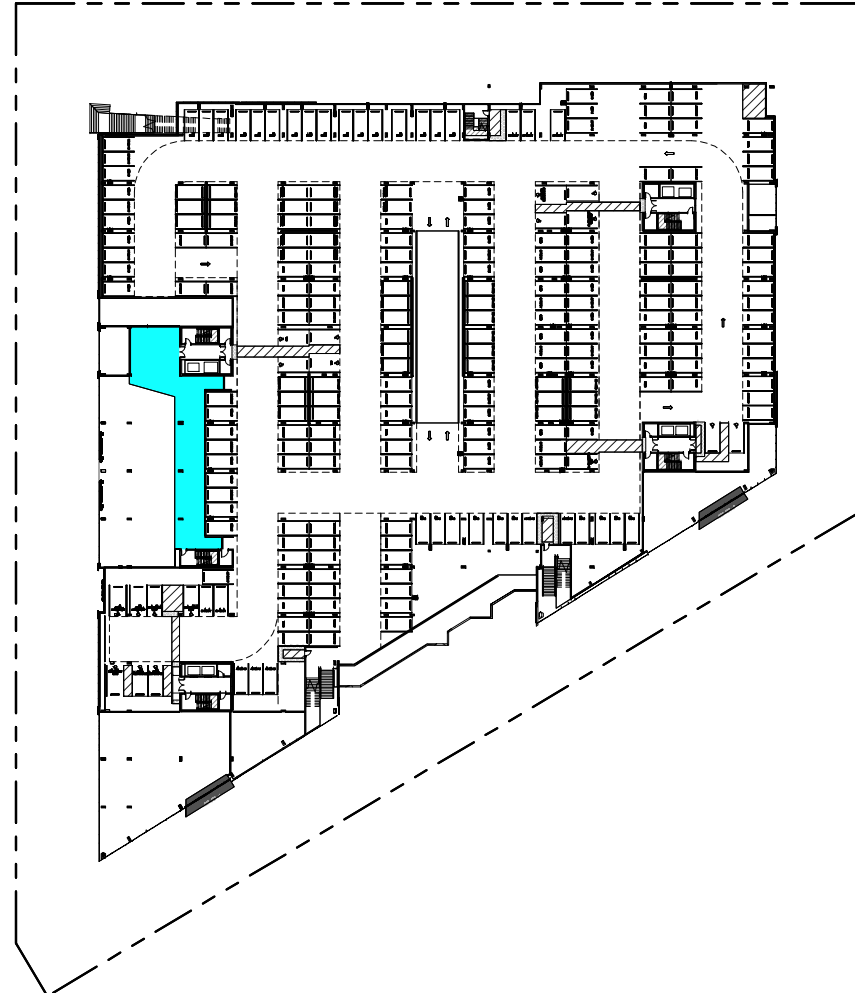
6 PCalcs - Level L4

1/64" = 1'-0"



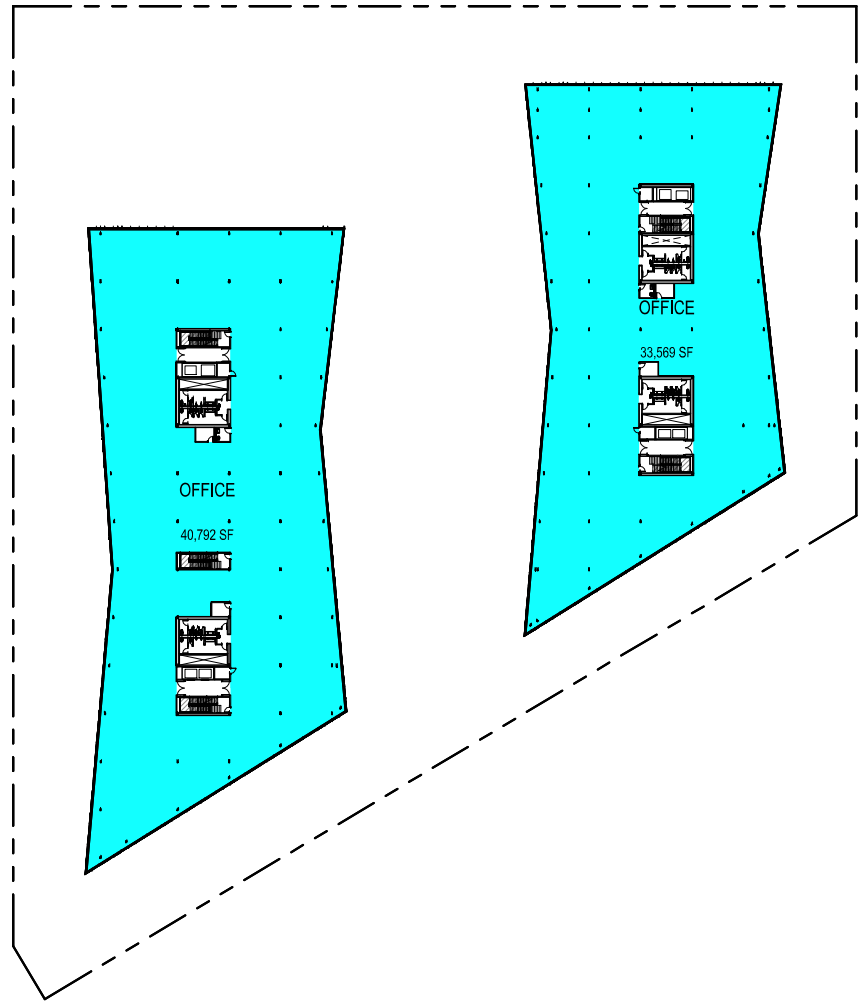
4 FLOOR PLAN - LEVEL 2

1/64" = 1'-0"



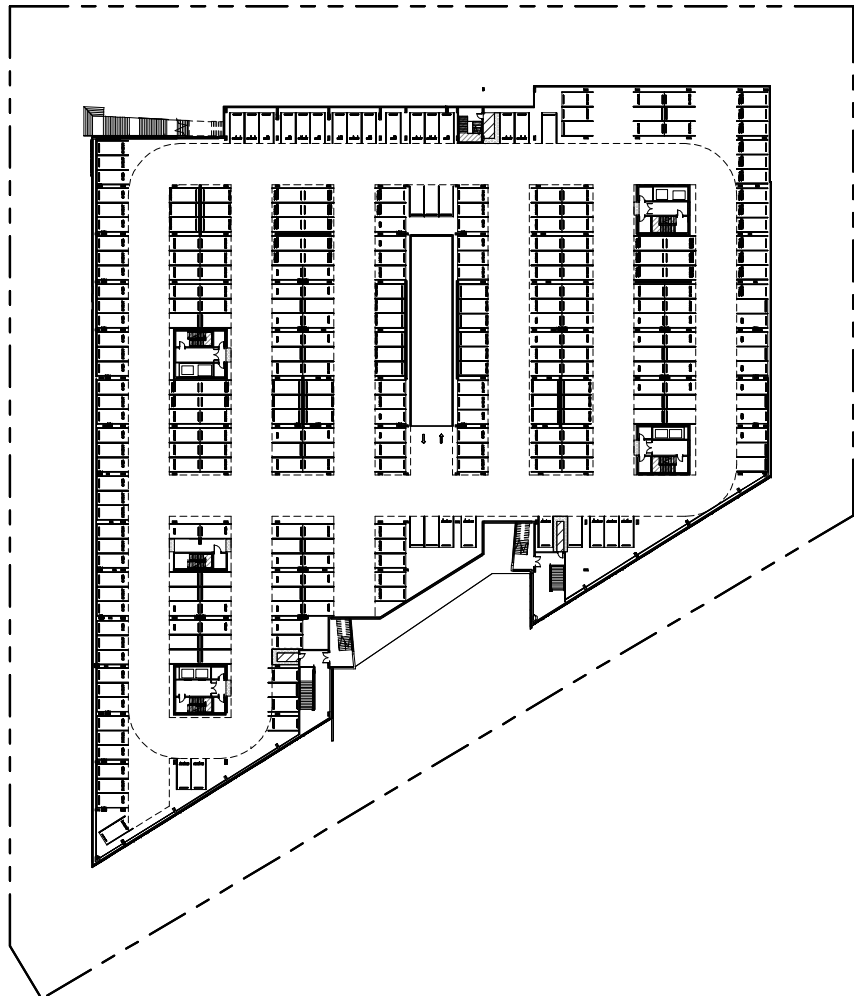
2 PCalcs - LEVEL 1/P2

1/64" = 1'-0"



5 PCalcs - Level L3

1/64" = 1'-0"



3 PCalcs - LEVEL 1/P3

1/64" = 1'-0"



1 FLOOR PLAN - LEVEL 1

1/64" = 1'-0"

PLUMBING CALCULATIONS BUILDING A (L2-L4)												
OCC. LOAD (2022 CPC 422.1 TABLE A)			MIN. REQ'D FIXTURES (2022 CPC TABLE 422.1)									
OC / OLF	AREA	OL	WC			URINALS		LAV			DF	SS
			M	F	UNISEX	M	F	M	F	UNISEX		
B / 150	100091	667	3.67	10.00		2.67		4.33	5.33		4.45	1
TOTAL REQ'D			4	10		3		5	6		5	1
TOTAL PROVIDED			12	24	3	12		18	18	3	6	0

PLUMBING CALCULATIONS BUILDING B (L2-L4)												
OCC. LOAD (2022 CPC 422.1 TABLE A)			MIN. REQ'D FIXTURES (2022 CPC TABLE 422.1)									
OC / OLF	AREA	OL	WC			URINALS		LAV			DF	SS
			M	F	UNISEX	M	F	M	F	UNISEX		
B / 150	121583	811	4.01	11.04		3.02		5.02	6.03		5.40	1
TOTAL REQ'D			5	12		4		6	7		6	1
TOTAL PROVIDED			12	24	3	12		18	18	3	6	0

PLUMBING CALCULATIONS CREATION SPACE												
OCC. LOAD (2022 CPC 422.1 TABLE A)			MIN. REQ'D FIXTURES (2022 CPC TABLE 422.1)									
OC / OLF	AREA	OL	WC			URINALS		LAV			DF	SS
			M	F	UNISEX	M	F	M	F	UNISEX		
B / 150	8870	59	0.59	1.97		0.30		0.39	0.59		0.39	1
TOTAL REQ'D			1	2		1		1	1		1	1
TOTAL PROVIDED			2	4	0	2		2	2	0	1	0

PLUMBING CALCULATIONS PARKING LEVELS												
OCC. LOAD (2022 CPC 422.1 TABLE A)			MIN. REQ'D FIXTURES (2022 CPC TABLE 422.1)									
OC / OLF	AREA	OL	WC			URINALS		LAV			DF	SS
			M	F	UNISEX	M	F	M	F	UNISEX		
B / 150	12070	80	0.80	2.51		0.40		0.54	0.80		0.54	1
S-2 / 4000	6136	2	0.01	0.01		0.00		0.01	0.01		0.01	1
TOTAL REQ'D			1	3		1		1	1		1	2
TOTAL PROVIDED			0	0	6	2		0	0	6	2	0

0
150
4000

Plumbing Calcs

BUILDING A
B / 150 121,583 SF
121,583 SF

BUILDING B
B / 150 100,091 SF
100,091 SF

CREATOR SPACE
B / 150 8,703 SF
8,703 SF

POOL/AM
B / 150 12,023 SF
S-2 / 4000 6,188 SF
18,212 SF

1/8" = 1'-0"

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2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP/MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

ACCESSIBILITY PLANS

G2.07

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6 LEVEL 4

1" = 50'-0" 4 LEVEL 2

1" = 50'-0" 2 LEVEL 1/P2

1" = 50'-0"

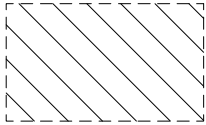
5 LEVEL 3

1" = 50'-0" 3 LEVEL 1/P3

1" = 50'-0" 1 LEVEL 1/P1

1" = 50'-0"

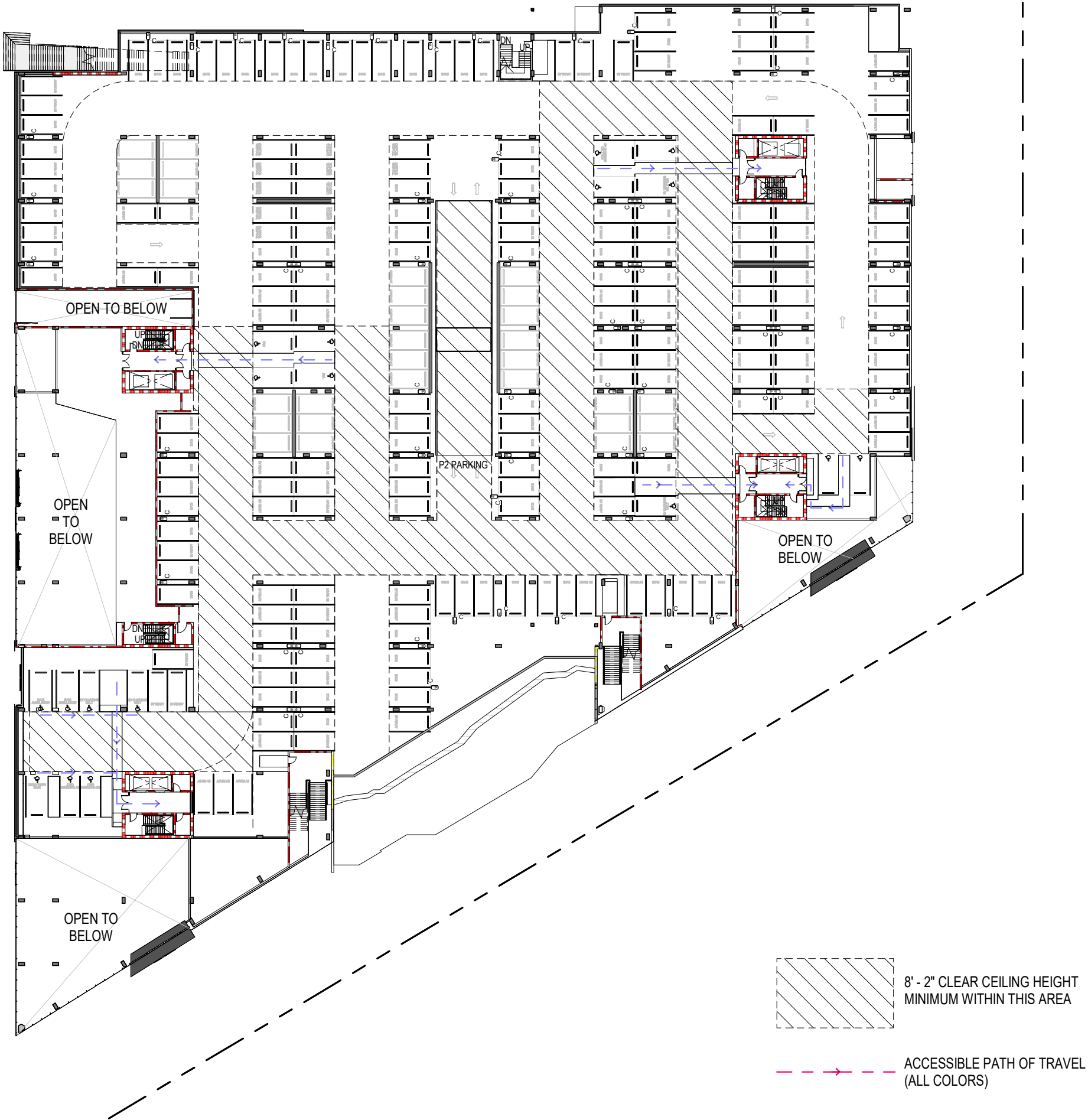
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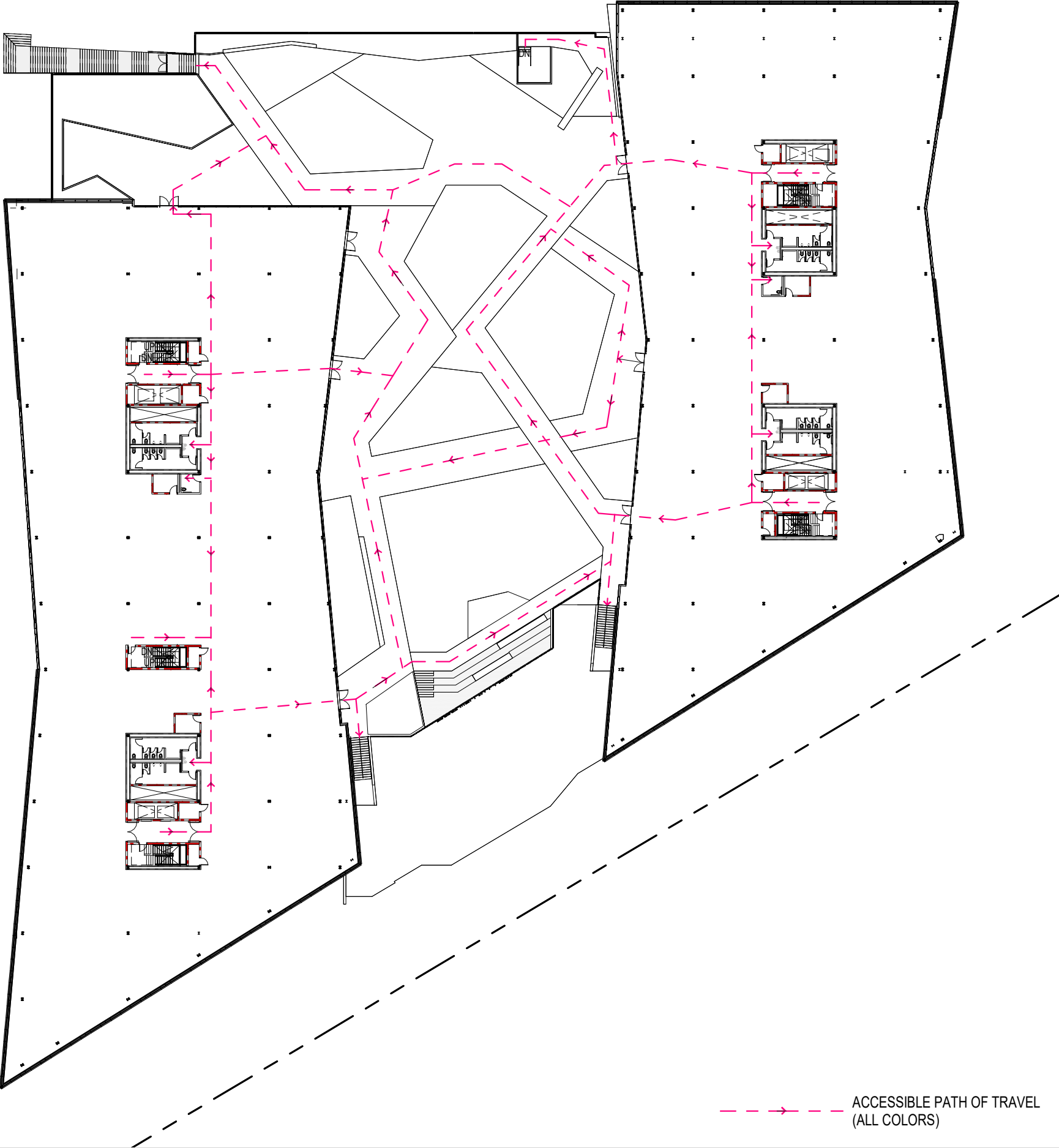
8' - 2" CLEAR CEILING HEIGHT
MINIMUM WITHIN THIS AREA



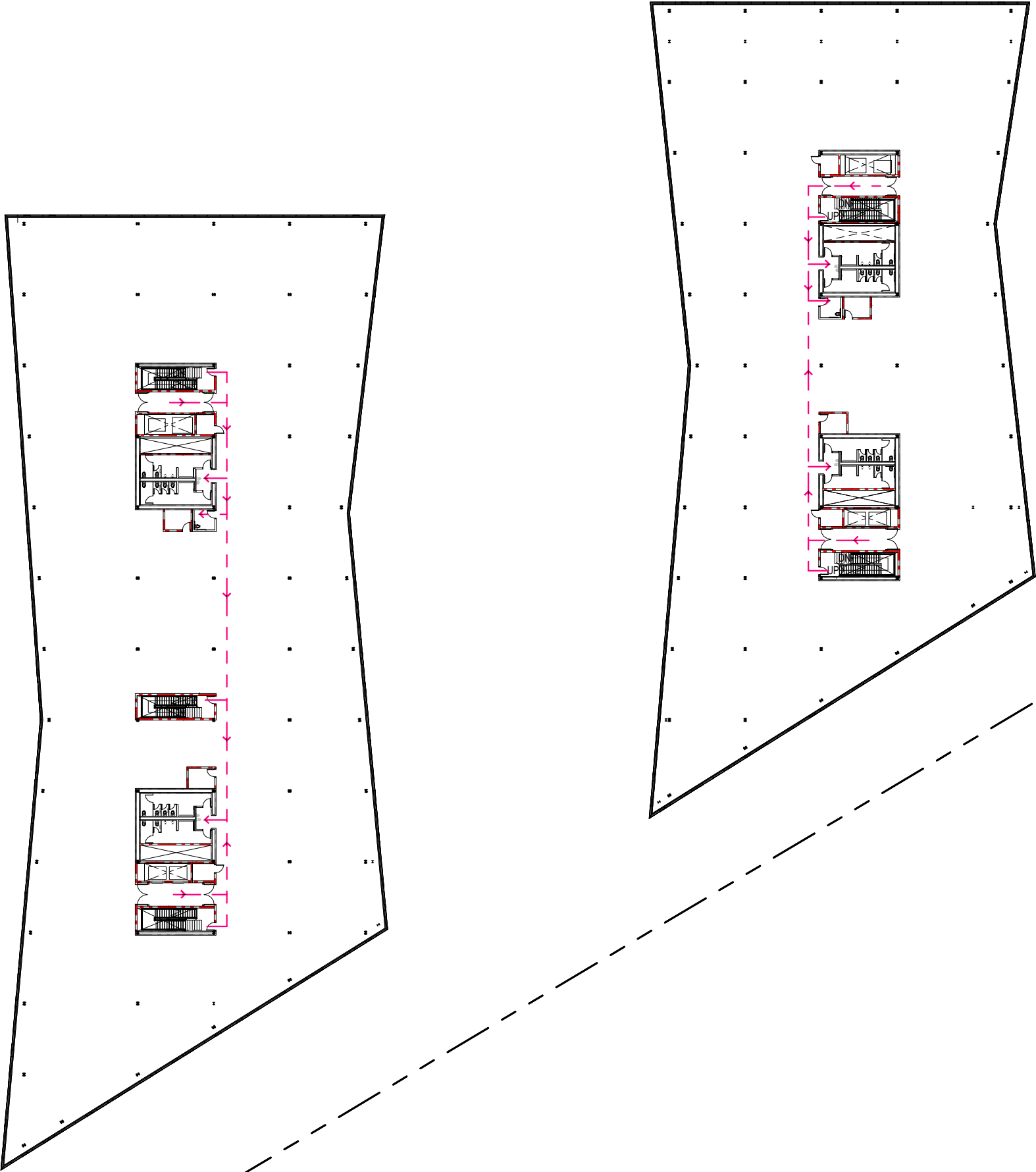
ACCESSIBLE PATH OF TRAVEL
(ALL COLORS)







ACCESSIBLE PATH OF TRAVEL
(ALL COLORS)



--->--- ACCESSIBLE PATH OF TRAVEL
(ALL COLORS)

ELEVATOR T THAT
MEETS SECTION 1009.4.
CONNECTED TO
EMERGENCY POWER.

ELEVATOR T THAT
MEETS SECTION 1009.4.
CONNECTED TO
EMERGENCY POWER.

--->--- ACCESSIBLE PATH OF TRAVEL
(ALL COLORS)

G3.02

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333 MOFFETT PARK DRIVE EAST ELEVATION



333 MOFFETT PARK DRIVE NORTH ELEVATION



333 MOFFETT PARK DRIVE SOUTH ELEVATION



333 MOFFETT PARK DRIVE WEST ELEVATION



385 MOFFETT PARK DRIVE NORTH ELEVATION



385 MOFFETT PARK DRIVE NORTH ELEVATION



385 MOFFETT PARK DRIVE EAST ELEVATION



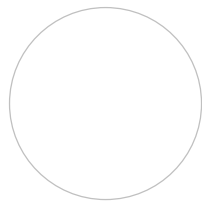
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385 MOFFETT PARK DRIVE SOUTH ELEVATION

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2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**EXISTING
CONDITIONS PHOTOS**

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385 MOFFETT PARK DRIVE WEST ELEVATION



LANEWAY NORTH LOOKING SOUTH



LANEWAY SOUTH LOOKING NORTH



LANEWAY SOUTH @ MOFFETT PARK DRIVE



237 MOFFETT PARK DRIVE BUILDING ENTRY DRIVEWAY



237 MOFFETT PARK DRIVE GARAGE ENTRY SOUTH



MOFFETT PARK DRIVE EAST LOOKING WEST



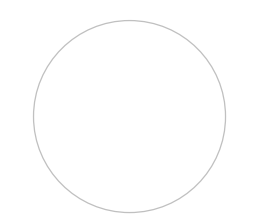
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333/385 MOFFETT PARK DRIVE MAIN VEHICLE ENTRY

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2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**EXISTING
CONDITIONS PHOTOS**

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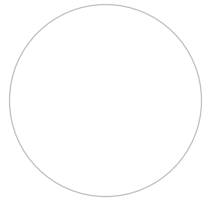
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2023.10.12 SITE MASTER PLAN SUBMITTAL

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3D VIEW

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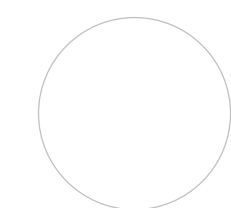
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date issue description



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3D VIEW

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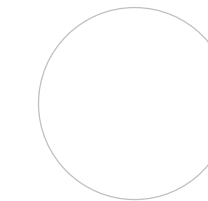
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2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

3D VIEW

G4.13

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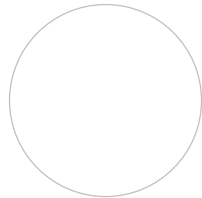
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3D VIEWS

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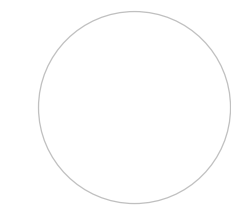
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3D VIEWS

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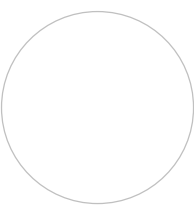
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3D VIEWS

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HILLSIDE PLANTING ILLUSTRATION

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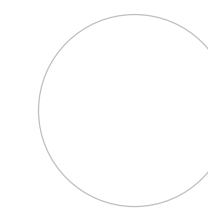
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3D VIEWS

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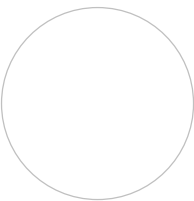
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**3D VIEWS - CONTEXT
VIEWS**

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**3D VIEWS - AERIAL
CONTEXT VIEWS**

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HISTORICAL CONTEXT - MOFFETT PARK AIRFIELD - US NAVY / NAS / NASA



AIRFIELD/RUNWAY LANDSCAPE



DIRIGIBLE AIRSHIP HANGARS 2 & 3 @ MOFFETT FIELD



MONUMENTAL BUILDING 'FLOATING' ON A PODIUM



CLEAR AND OPAQUES GLAZING AREAS FOR SOLAR SHADING & REDUCTION OF HEAT GAIN



INFLECTION OF LONG FACADE FOR DYNAMIC BUILDING ARTICULATION

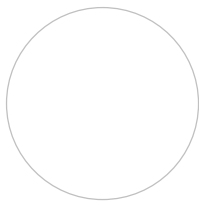


2 COMPLEMENTARY VOLUMES



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**HISTORIC & BUILDING
PRECEDENTS**

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LEGEND

	BOUNDARY LINE/LOT LINE
	EASEMENT LINE
	BUILDING LINE
	CURB LINE
	FENCE LINE
	GAS LINE
	TELEPHONE LINE
	RECLAIMED WATER LINE
	WATER LINE
	ELECTRIC LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE

BASIS OF BEARINGS

THE BEARING OF NORTH 75°55'55" WEST ALONG THE CENTERLINE OF HUMBOLDT COURT AS SHOWN ON THAT PARCEL MAP FILED FOR RECORD IN BOOK 435 OF MAPS AT PAGE 28 IN THE OFFICE OF THE COUNTY RECORDER OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS A CITY OF SUNNYVALE BENCHMARK, BM176, DESCRIBED AS BRASS DISC IN EAST END OF DOWNSTREAM HEADWALL AT INTERSECTION OF MOFFETT PARK DRIVE AND SUNNYVALE EAST CHANNEL.

ELEV = 19.37 FEET (NAVD83 DATUM)

SYMBOLS & ABBREVIATIONS

ACR	ACCESSIBLE RAMP
AD	AREA DRAIN
ANDOE	ANDOE PULLBOX
BFP	BACK FLOW PREVENTER
BIKE	BIKE RACK
BLDC	BUILDING CORNER
BOLD	BUILDING LINE
BOLD OWNG	BUILDING OVERHANG
BNDH	BENCH
BOL	BOLLARD
BW	BACK OF WALK
CB	CATCH BASIN
CDL	COLUMN CENTERLINE
COM-MH	COMMUNICATION MANHOLE
COM-FB	COMMUNICATION PULLBOX
CONC	CONCRETE
DWY	EXISTING GROUND
EG	EDGE OF PAVEMENT
EP	ELECTRIC PULLBOX
EPB	EDGE OF TRAVELED WAY
ETW	EDGE OF TRAVELED WAY
FC	FIRE DEPARTMENT CONNECTION
FF	BUILDING FINISHED FLOOR
FGDOR	FINISHED GRADE AT DOOR
FL	FLOW LINE
FLC	FENCE
FNCW	FENCE WIRE
GAPE	GATE POLE
GB	GRADE BREAK
GM	GAS METER
H-SYM	ACCESSIBLE SYMBOL
JP	JOINT POLE
LP	UP OF GUTTER
L/S	LANDSCAPE
BOLD OWNG	BUILDING OVERHANG
PED	PEDESTAL
PIV	POST INDICATOR VALVE
PM	PARKING METER
PNL	ELEC PANEL ON TO WALL
PP	POWER POLE
SSCO	STORM DRAIN CLEANOUT
SSM	SANITARY MANHOLE
SSN	SANITARY CLEANOUT
STL	STREET LIGHT
STPB	STREET LIGHT PULLBOX
SW	SIDEWALK
SWALE	SWALE
TC	TOP OF CURB
TEL-MH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
TREE	TREE (SPEC. STEM, TYPE)
VGUT	FLOWLINE VALLEY/GUTTER
VLT	ELEC VAULT
WM	WATER METER
WP	WHITE PAINT MARK
WV	WATER VALVE

GRAPHIC SCALE 1"=30'
30 0 30 60

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333 Moffett Drive

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project number: 20221116
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EXISTING
CONDITIONS AND
BOUNDARY PLAN

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DEMOLITION PLAN

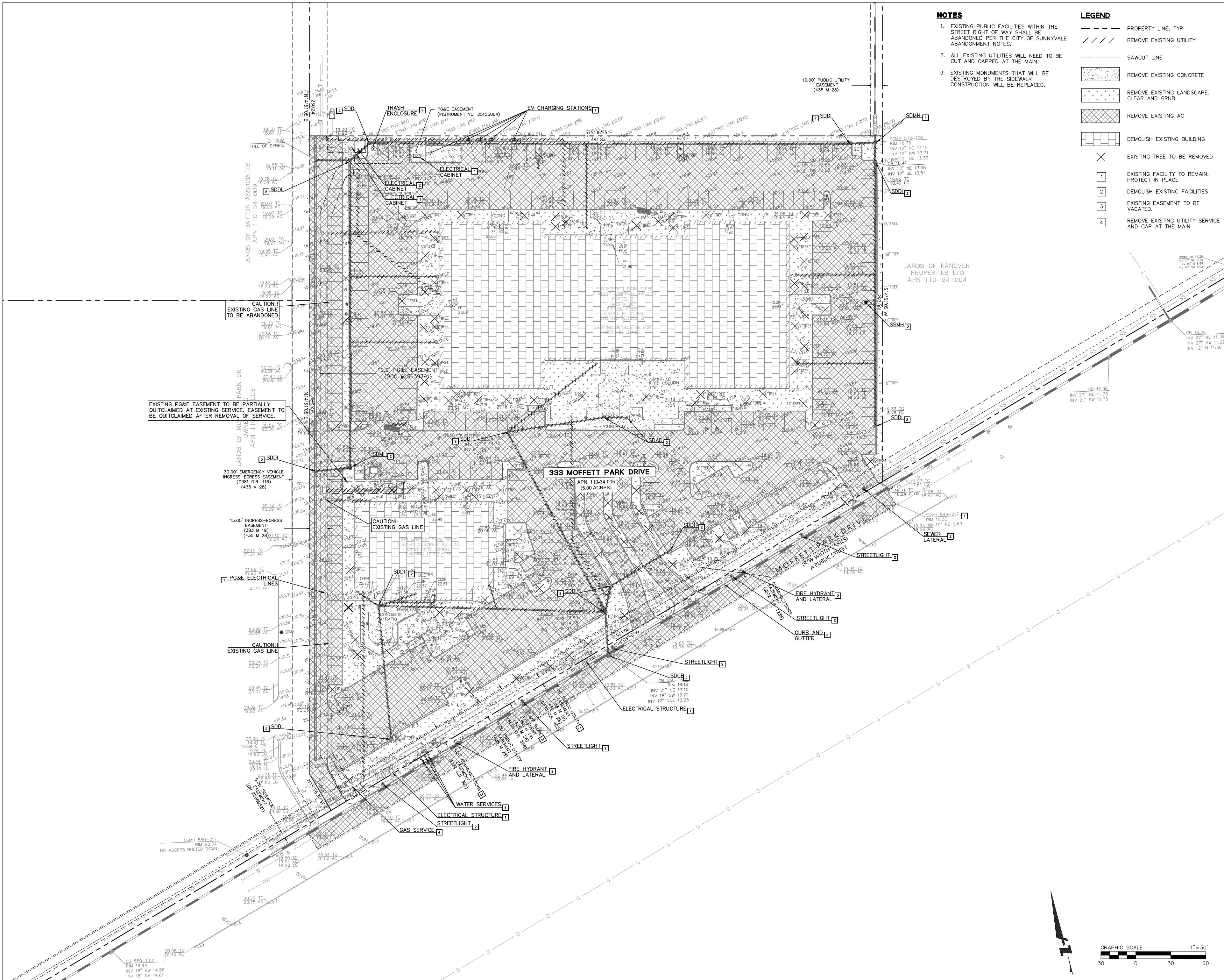
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NOTES

- EXISTING PUBLIC FACILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE ABANDONED PER THE CITY OF SUNNYVALE ABANDONMENT NOTES.
- ALL EXISTING UTILITIES WILL NEED TO BE CUT AND CAPPED AT THE MAIN.
- EXISTING MONUMENTS THAT WILL BE DESTROYED BY THE SIDEWALK CONSTRUCTION WILL BE REPLACED.

LEGEND

- PROPERTY LINE, TYP
- REMOVE EXISTING UTILITY
- SAWCUT LINE
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING LANDSCAPE, CLEAR AND GRUB.
- REMOVE EXISTING AC
- DEMOLISH EXISTING BUILDING
- EXISTING TREE TO BE REMOVED
- EXISTING FACILITY TO REMAIN, PROTECT IN PLACE
- DEMOLISH EXISTING FACILITIES
- EXISTING EASEMENT TO BE VACATED.
- REMOVE EXISTING UTILITY SERVICE AND CAP AT THE MAIN.



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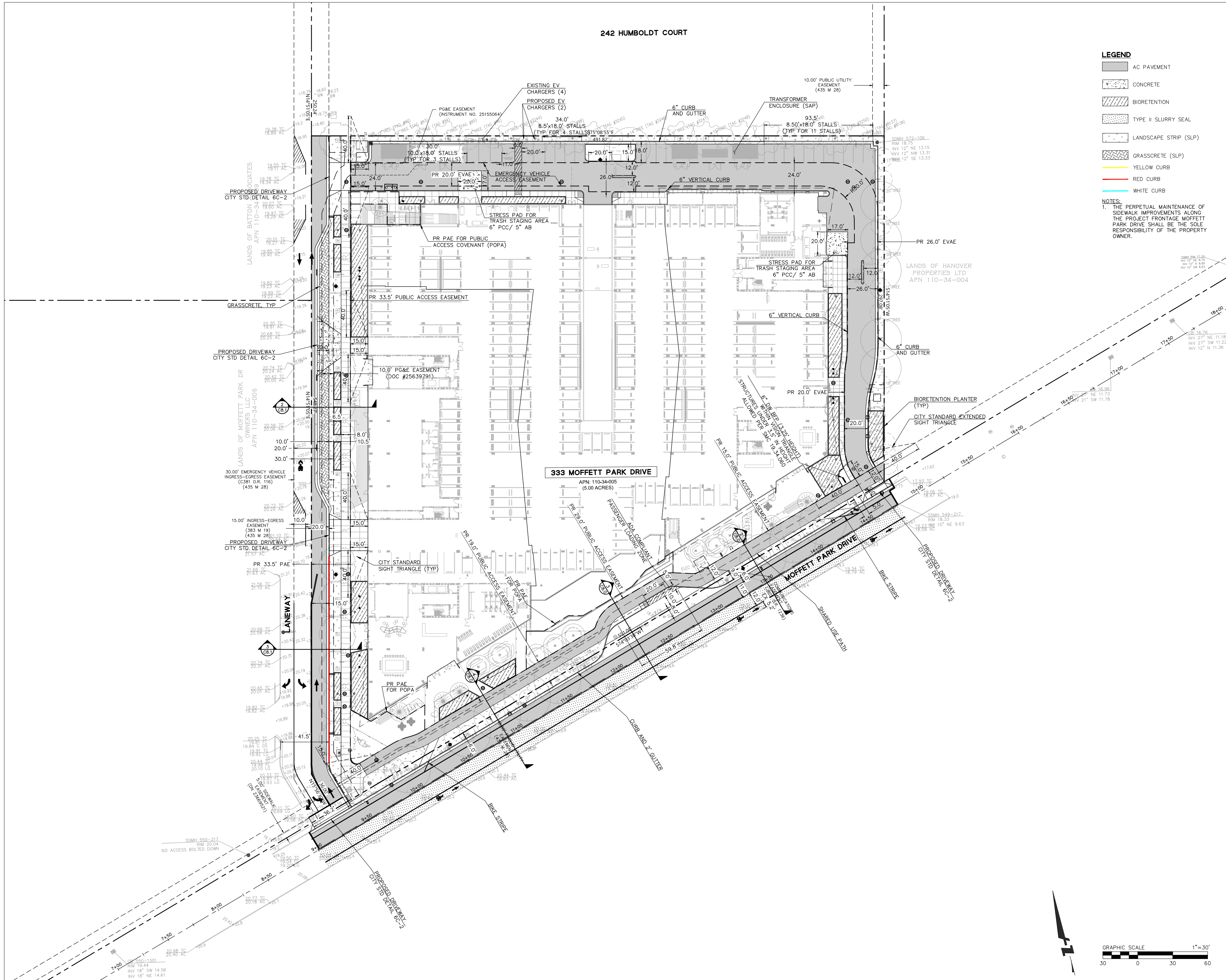
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PRELIMINARY SITE
PLAN

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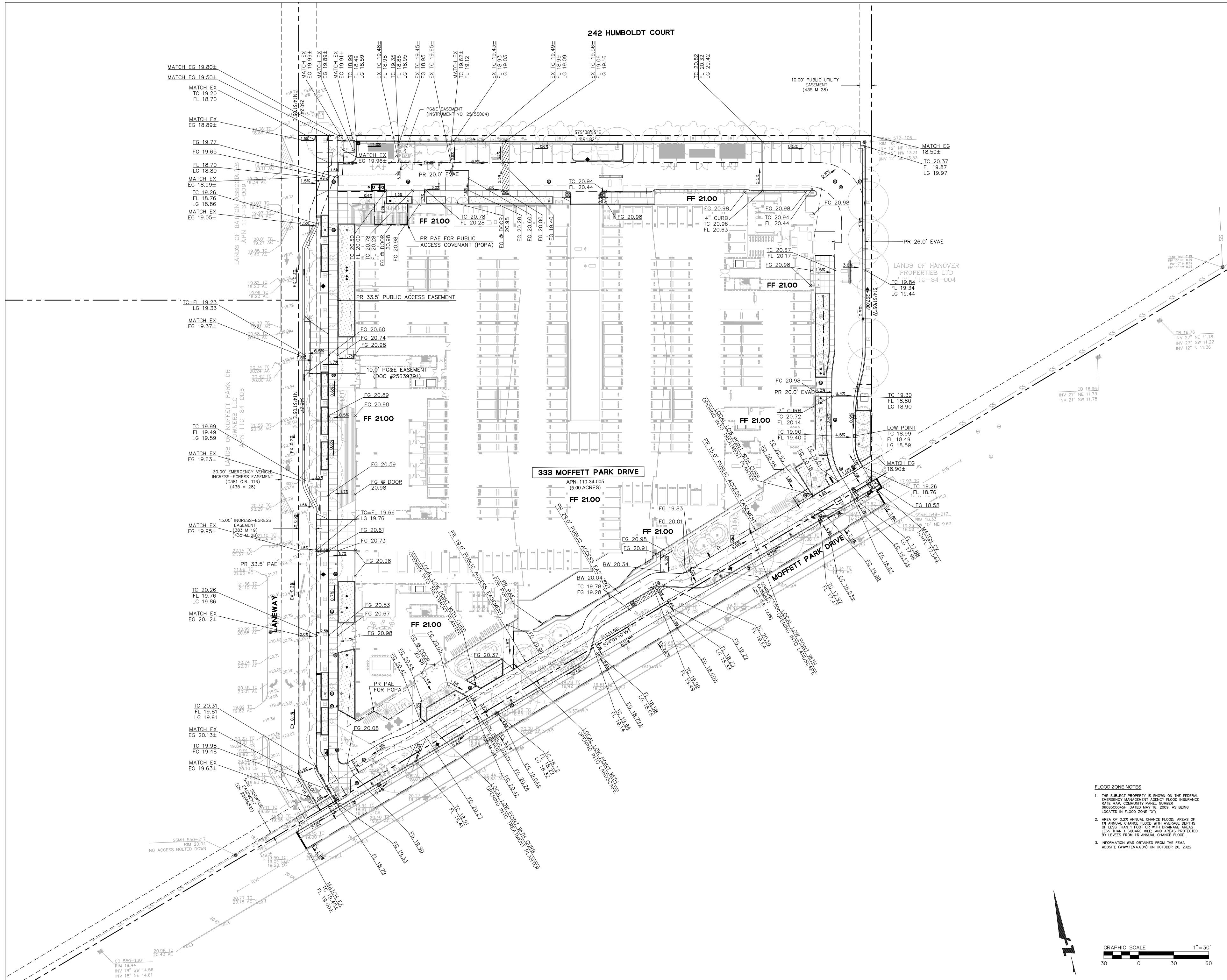
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**PRELIMINARY
GRADING AND
DRAINAGE PLAN**

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FLOOD ZONE NOTES

1. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 06085C004H, DATED MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "X".
2. AREA OF 0.2% ANNUAL CHANCE FLOOD: AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
3. INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON OCTOBER 20, 2022.

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**PRELIMINARY
UTILITY PLAN**

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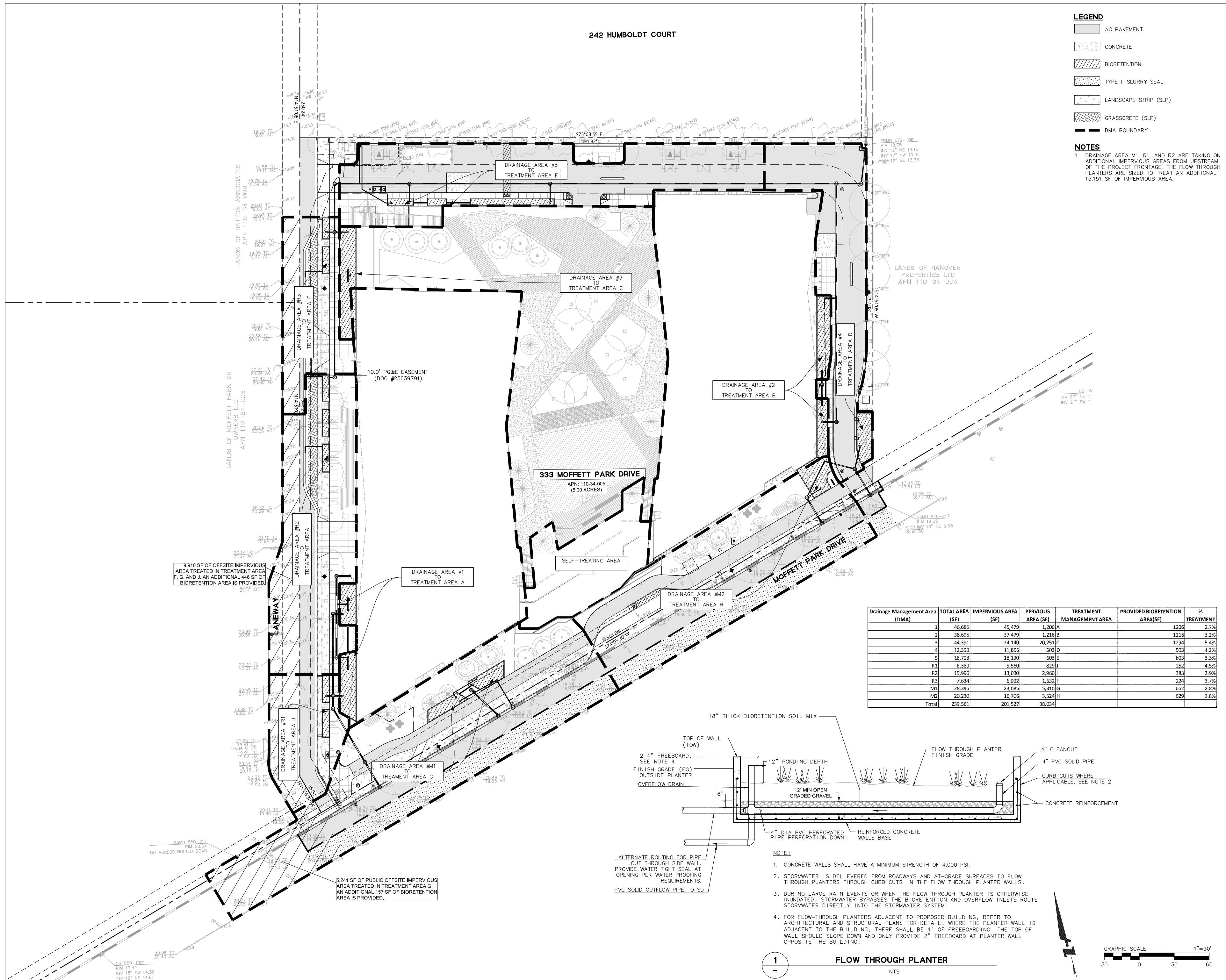
UTILITY LEGEND

- POC
- SDCB
- FH CLOW 865
- FDC
- BFP
- WATER VALVE
- POST INDICATOR VALVE (PIV)
- WATER METER
- MANHOLE
- OVERFLOW INLET AT BI-RETENTION AREA
- CLEANOUT
- STORM DRAIN BUBBLE-UP STRUCTURE
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DOMESTIC WATER LINE
- FIRE WATER LINE
- RECYCLE WATER LINE
- JOINT TRENCH LINE

UTILITY NOTES

- ALL UTILITY TRENCHING AND BACKFILLING MUST CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- CONTRACTOR SHALL MAINTAIN 12" VERTICAL CLEARANCE ABOVE AND BELOW EXISTING AND NEW UTILITY CROSSINGS EXCEPT AS NOTED.
- PROVIDE 5' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND STORM DRAIN AND 10' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND SANITARY SEWER.
- PROPOSED PIPE MATERIAL:
 - A. SS: SDR 26 PVC
 - B. 4" TO 12" SD: PVC SDR 35
 - C. 15" TO 24" SD: TYPE S CORRUGATED HDPE
 - D. DW/FW: C900 PVC
- ALL FIRE HYDRANTS SHALL BE A MINIMUM OF 4' CLEAR OF ALL VINES, BUSHES, IVY, ETC.
- THE FIRE AND DOMESTIC WATER SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED BEYOND THE PUBLIC WATER METERS.
- GAS, ELECTRICAL, AND TELECOM SHOWN FOR REFERENCE ONLY. SEE JOINT TRENCH PLANS BY OTHERS FOR JOINT TRENCH INFORMATION AND DETAILS.
- INSTALL "NO DUMPING, DRAINS TO BAY" INLET MARKER MEDALLION ON ALL PROPOSED CATCH BASINS AND DROP INLETS.
- MANHOLE AND OTHER UTILITY COVERS LOCATED IN PEDESTRIAN CIRCULATION PATHS SHALL NOT CAUSE OPENINGS GREATER THAN 0.5" WIDE IN THE DIRECTION OF TRAVEL OR VERTICAL OFFSETS GREATER THAN 0.25" HIGH.

GRAPHIC SCALE
30 0 30 60
1"=30'



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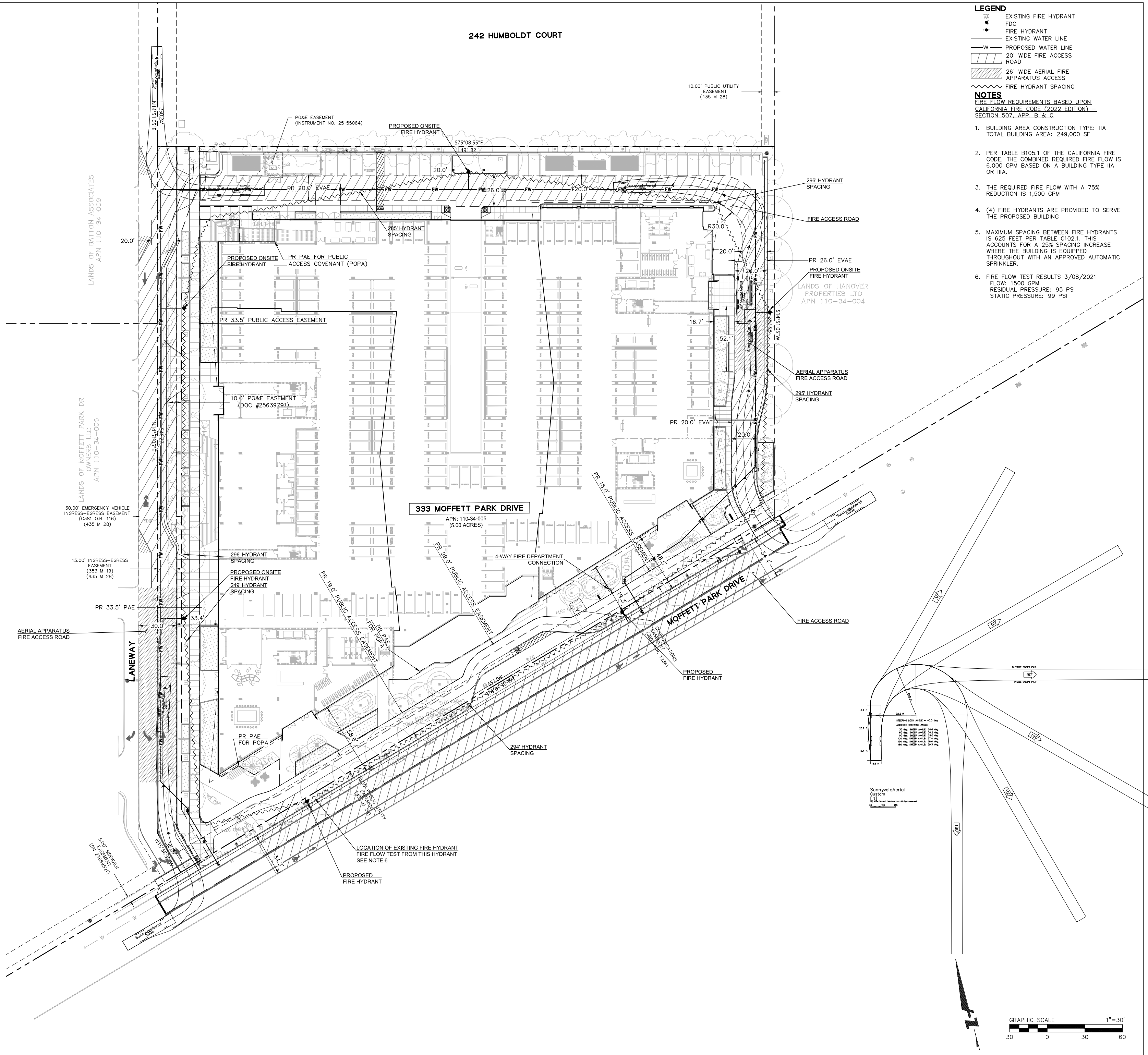
333 Moffett Drive

SUNNYVALE, CA 94089

project number: 20221116
date: 2025.07.28

**FIRE ACCESS
PLAN**

C7.0



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△ date revision description

2025.07.29	SMP/ISDP RESUBMITTAL
2025.04.23	SMP/ISDP RESUBMITTAL
2024.12.20	SMP SUBMITTAL REV. 1
2024.07.10	SITE MASTER PLAN RESUBMITTAL
2024.06.14	100% SCHEMATIC DESIGN
2023.11.30	ENTITLEMENT SET
2023.11.03	90% SCHEMATIC DESIGN
# 2023.10.12	SITE MASTER PLAN SUBMITTAL
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333 Moffett Drive

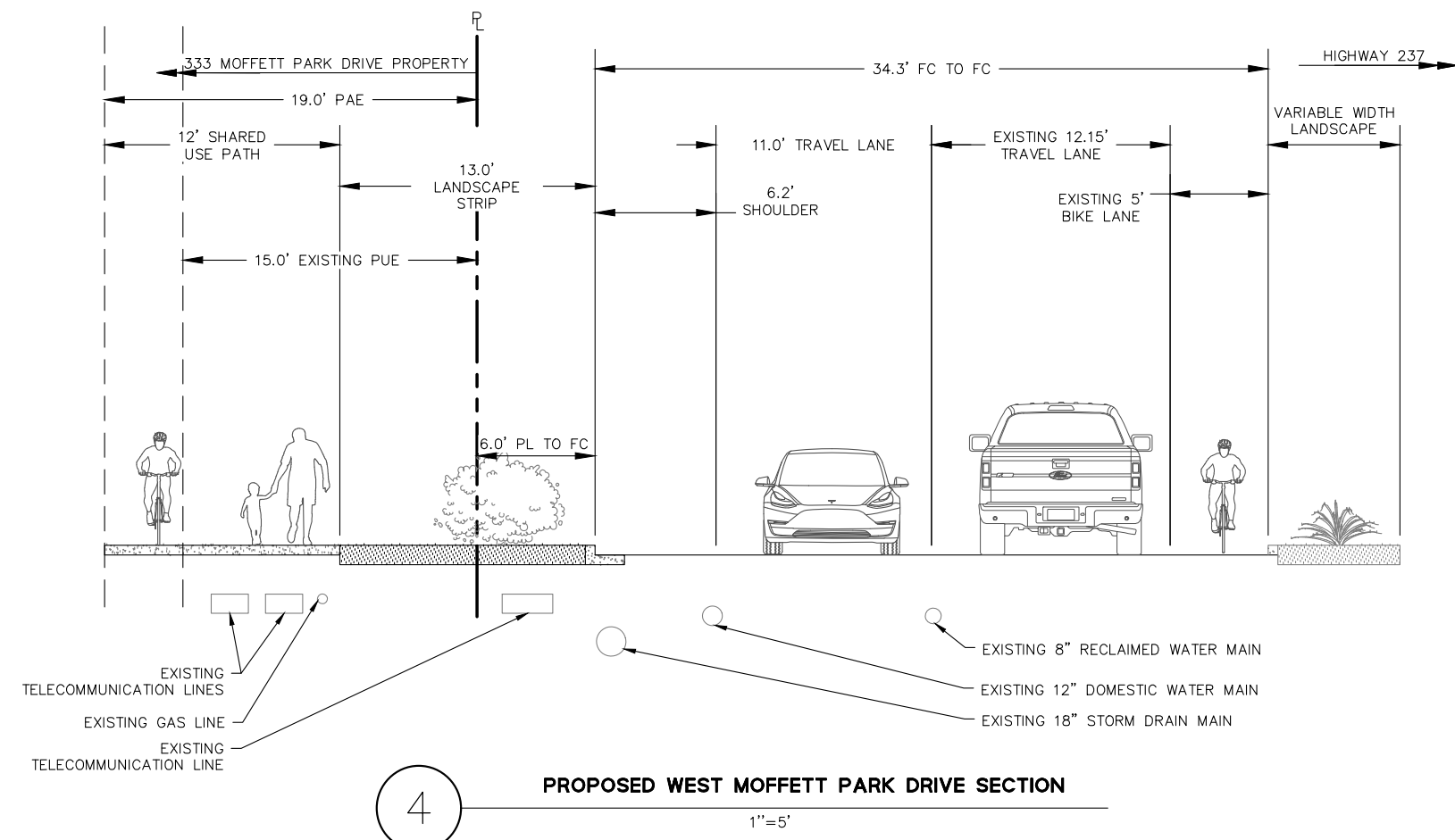
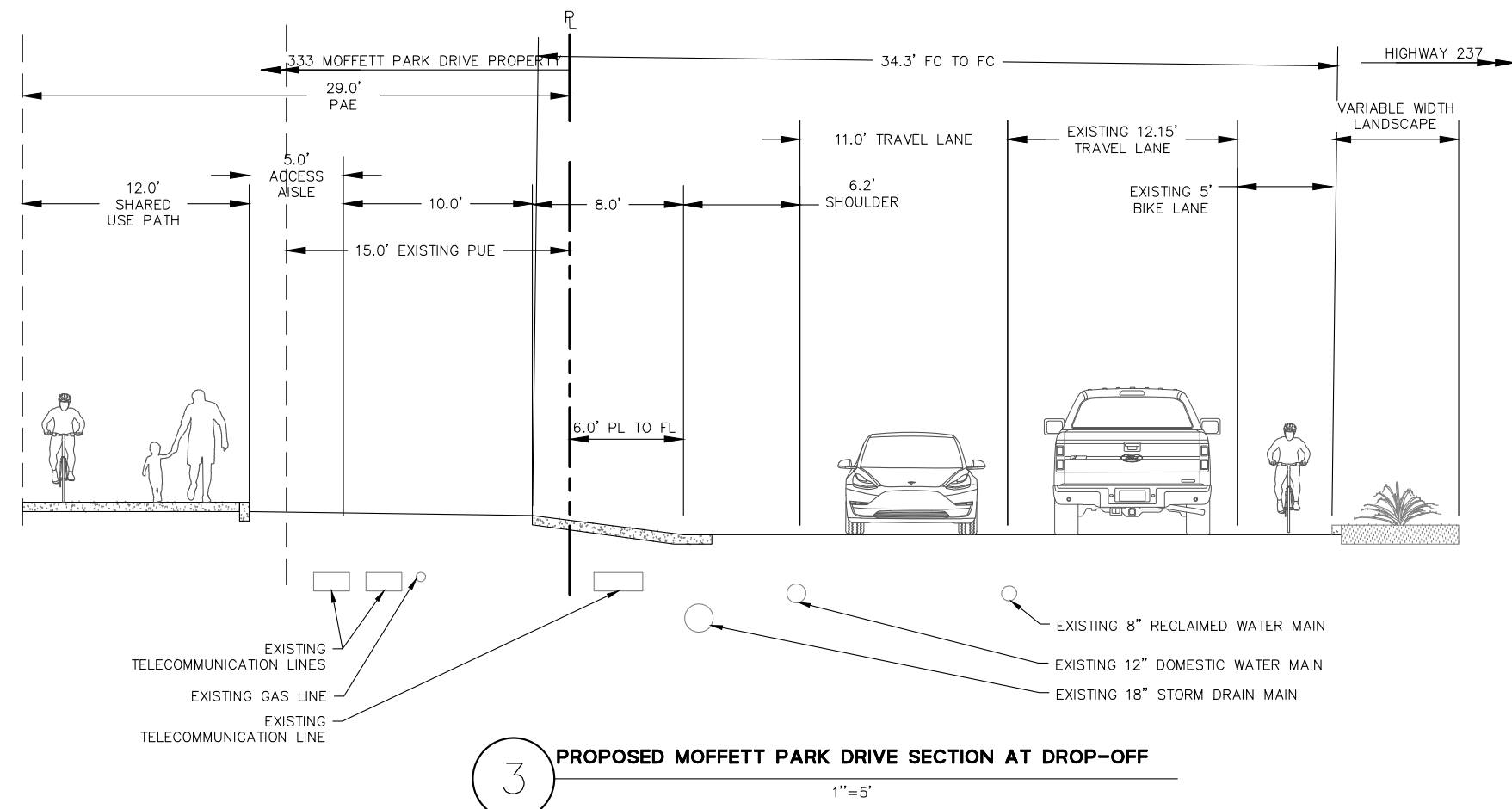
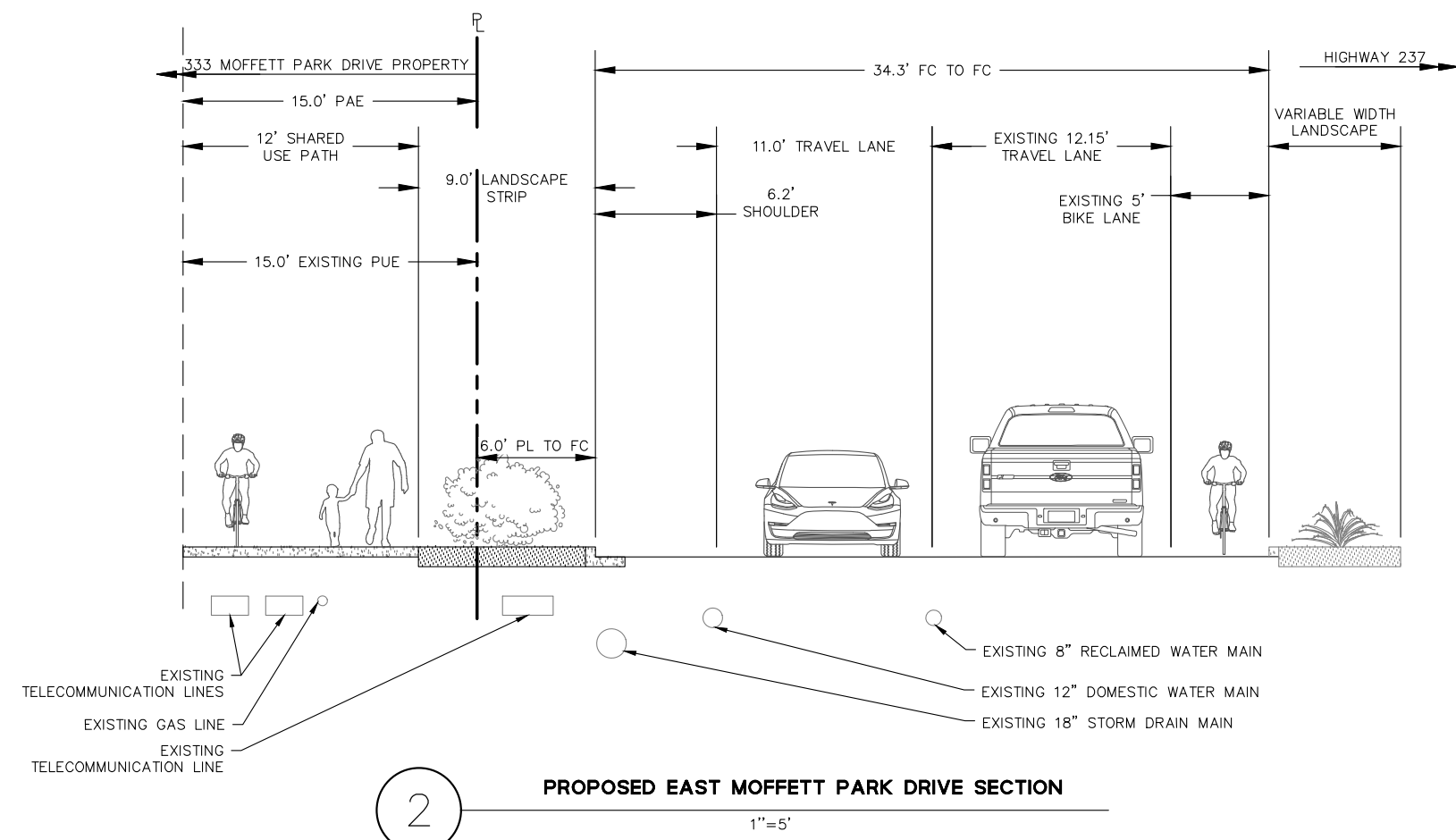
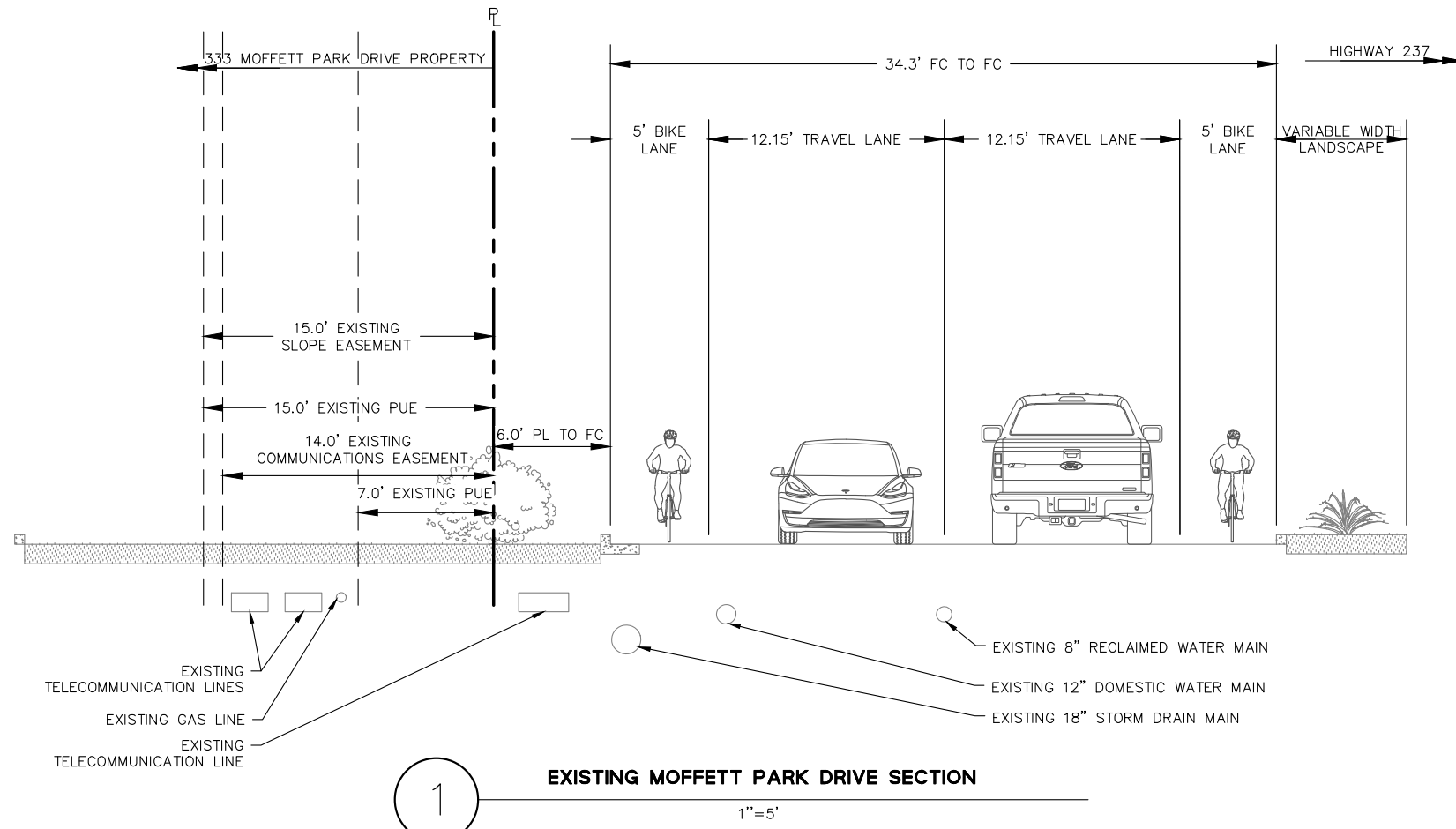
SUNNYVALE, CA 94089

project number: 20221116

date: 2025.07.28

**MOFFETT PARK
DRIVE CROSS
SECTIONS**

C8.0

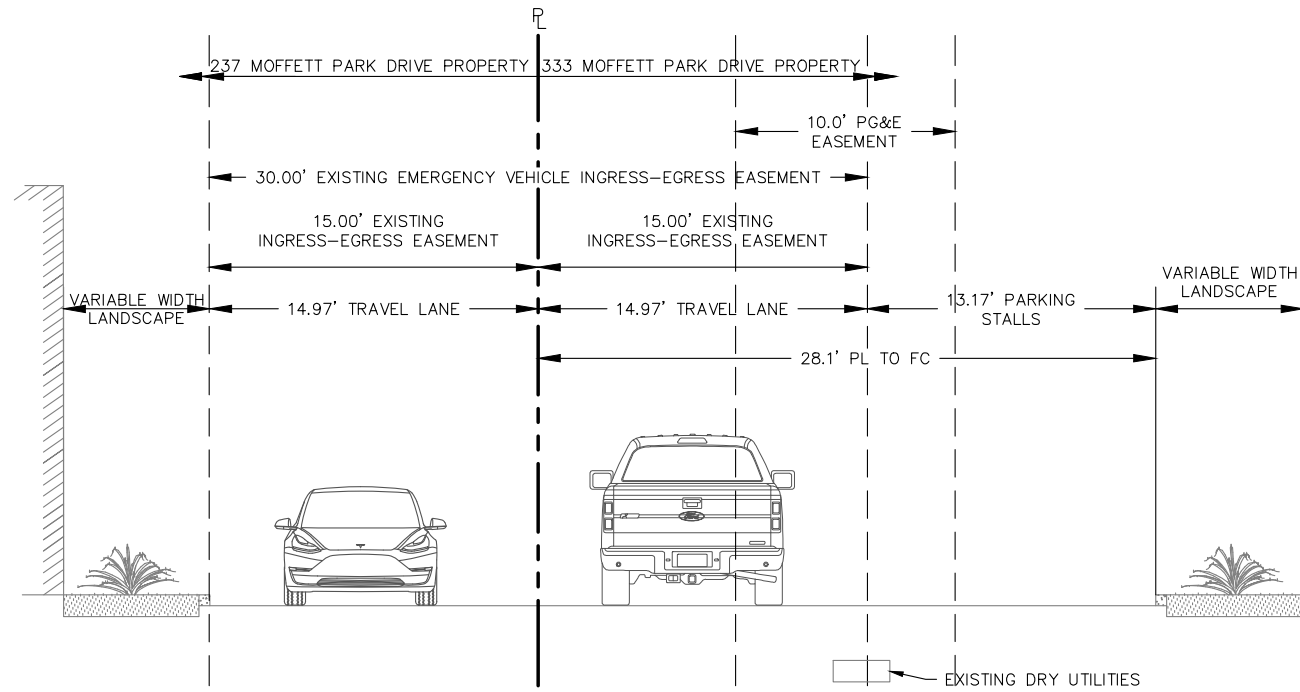


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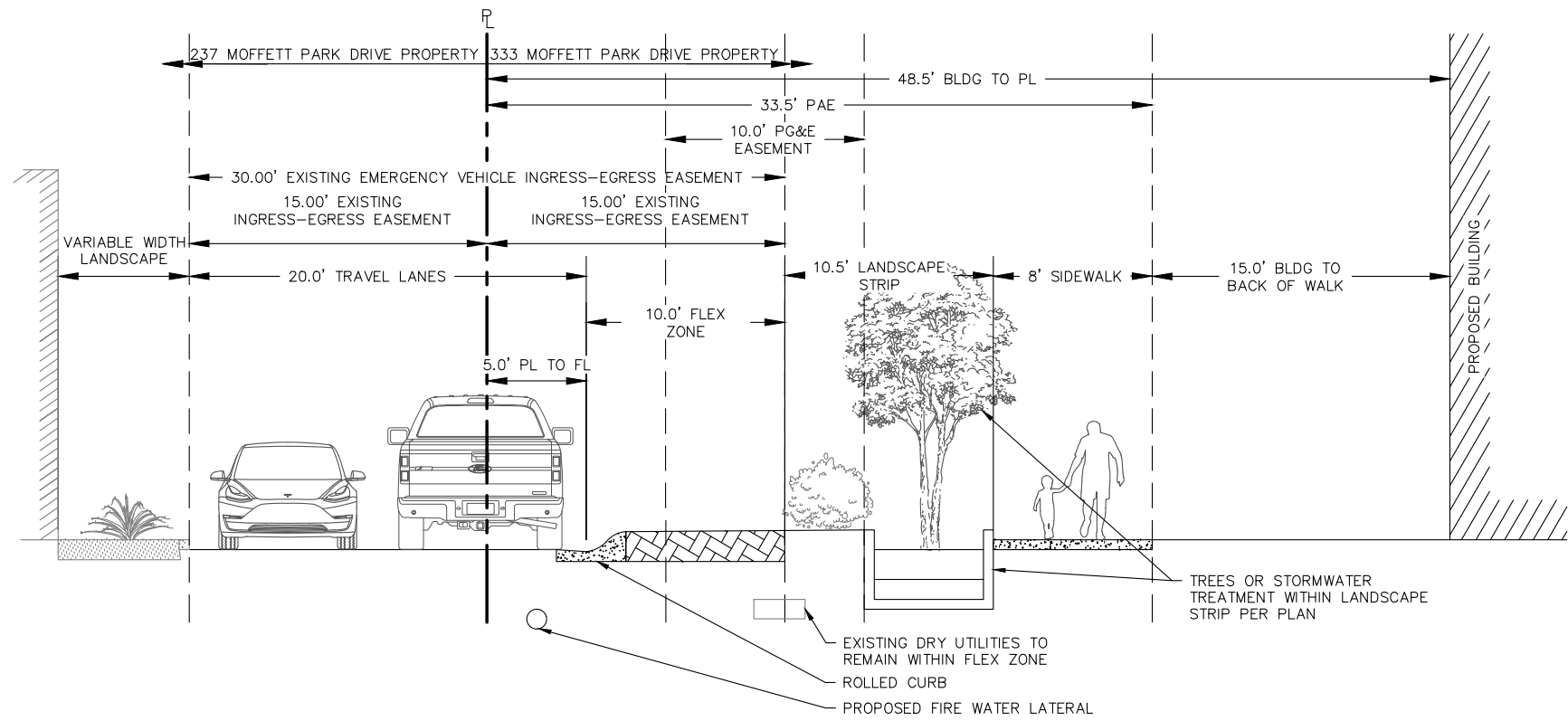
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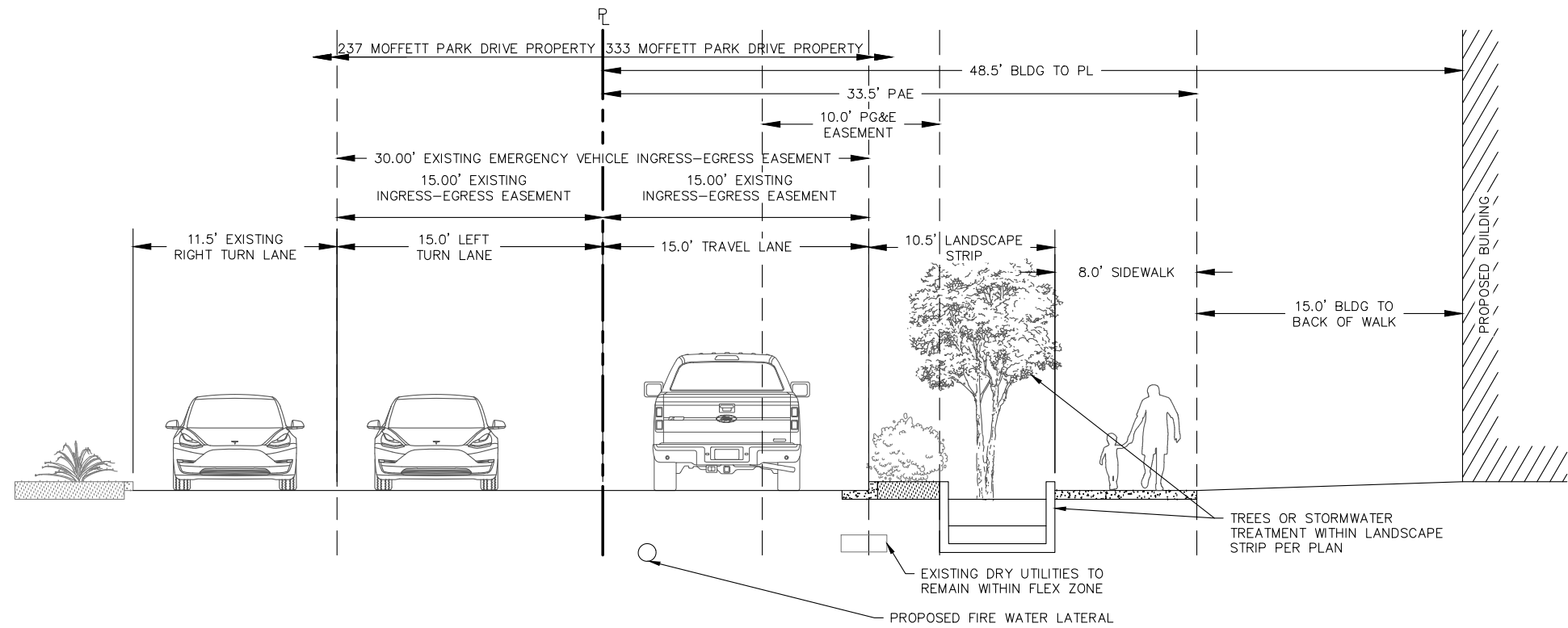
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1 EXISTING LANEWAY SECTION
1"=5'



2 PROPOSED NORTHERN LANEWAY SECTION
1"=5'



3 PROPOSED SOUTHERN LANEWAY SECTION
1"=5'

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2025.07.29		SMP/ISDP RESUBMITTAL
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333 Moffett Drive

SUNNYVALE, CA 94089

project number: 20221116
date: 2025.07.28


LANEWAY CROSS
SECTIONS

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	date	revision description
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333 Moffett Drive

SUNNYVALE, CA 94069

project number: 20221116
date: 2025.07.28

SUNNYVALE
TRASH TRUCK
TURNING

C9.0



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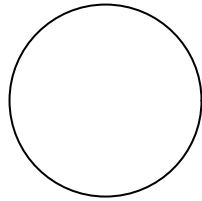
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2024.12.20 SMP SUBMITTAL
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2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

**LANDSCAPE NOTES &
LEGEND**

L0.00

Sheet List Table

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L0.02	LANDSCAPE ILLUSTRATIVE PLAN
L0.03	LANDSCAPE TREE DISPOSITION PLAN
L0.04	LANDSCAPE OPEN SPACE FRAMEWORK
L1.00	LANDSCAPE GRADING PLAN - PODIUM
L2.00	LANDSCAPE MATERIAL PLAN - GROUND
L2.01	LANDSCAPE MATERIALS PLAN - PODIUM
L4.00	LANDSCAPE IRRIGATION PLAN
L5.00	LANDSCAPE PLANTING PLAN - GROUND
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L6.05	LANDSCAPE CONSTRUCTION DETAILS - PODIUM
L7.00	LANDSCAPE PLANTING DETAILS

PROJECT ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LSJ	LONGITUDINAL SHRINKAGE JOINT
AB	AGGREGATE BASE	MAX	MAXIMUM
AD	AREA DRAIN	MFR	MANUFACTURER
ARCH	ARCHITECT	MH	MANHOLE
AVG	AVERAGE	MIN	MINIMUM
B&B	BALL AND BURLAP	MM	MILLIMETERS
BC	BACK OF CURB	NIC	NOT IN CONTRACT
BF	BOTTOM OF FENCE	NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
BOR	BACK OF RAMP	OCBW	ON CENTER EACH WAY
BOS	BOTTOM OF SLOPE	OD	OUTSIDE DIAMETER
BR	BIKE RACK	OPP	OPPOSITE
BS	BOTTOM OF STEP (STAIR)	PA	PIPE ANCHOR
BSW	BACK OF SIDEWALK	PLA	PLANTING AREA
BW	BOTTOM OF WALL	PED	PEDESTAL
CAL	CALIPER	PDSN	PEDESTRIAN
CB	CATCH BASIN OR CEMENT	PERF	PERFORATED
BASE		PIP	POINT OF CONNECTION
CH	CHANNEL OR CHILLER	POC	POINT OF CONNECTION
CHD	CONCRETE HEADER	PT	POINT OF TANGENCY
CIP	CAST-IN-PLACE	R	RADIUS
CJ	CONTROL JOINT	RB	ROOT BARRIER
CL	CENTER LINE	RGB	ROUNDED GRADE BREAK
CLR	CLEARANCE	RIM	RIM ELEVATION
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CO	CLEAN OUT	SAD	SEE ARCHITECTURAL DRAWINGS
COJ	CONSTRUCTION JOINT	SB	SPLASH BLOCK
CONC	CONCRETE	SBSD	SEE BUILDING STRUCTURAL DRAWINGS
CONT	CONTINUOUS	SCD	SEE CIVIL DRAWINGS
CP	CENTER POINT	SD	STORM DRAIN
CTR	CENTER	SED	SEE ELECTRICAL DRAWINGS
DB	DESIGN/BUILD	SG	SUBGRADE
DI	DRAIN INLET	SF	SQUARE FEET
DIA	DIAMETER	SHP	SWALE FLOWLINE HIGH POINT
DIM	DIMENSION	SIM	SIMILAR
DN	DOWN	SJ	SCORE JOINT
EA	EACH	SLD	SEE LIGHTING DRAWINGS
EF	EACH FACE	SPECS	SPECIFICATIONS
EJ	EXPANSION JOINT	SSL	STRAIGHT SLOPE
EJS	EXPANSION JOINT W/ SEALANT	SSD	SEE STRUCTURAL DRAWINGS
EL	ELEVATION	SSGD	SEE SIGN DRAWINGS
ENGR	ENGINEER	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
EP	EDGE OF PAVEMENT	TBD	TO BE DETERMINED
EQ	EQUAL	TD	TOP OF DRAIN
EW	EACH WAY	TOC	TOP OF CURB
(E)	EXISTING	TOR	TOP OF RAMP
FDC	FIRE DEPARTMENT CONNECTION	TPIL	TREE PLANTING TRENCH LIMIT
FFE	FINISHED FLOOR ELEVATION	TOBR	TOP OF BERM
FG	FINISHED GRADE	TOF	TOP OF FENCE
FH	FIRE HYDRANT	TOFG	TOP OF FOOTING
FL	FLOW LINE	TOPN	TOP OF FOUNDATION
FW	FACE OF WALL	T&B	TOP AND BOTTOM
FS	FINISHED SURFACE	TOP	TOP OF POST
GC	GENERAL CONTRACTOR	TOS	TOP OF SLOPE
GB	GRADE BREAK	TS	TOP OF STEP (STAIR)
GJ	GROUT JOINT	TSS	TOP OF STRUCTURAL SLAB
HPK	HANDICAP PARKING STALL	TW	TOP OF WALL
HC	HANDICAP	TWL	TREE WELL
HDR	HEADER	TYP	TYPICAL
HH	HANDHOLE	UFC	UNIFORM FIRE CODE
HP	HIGH POINT	VEH	VEHICULAR
HV	HOSE VALVE	WPM	WATER PROOF MEMBRANE
HVP	HANDICAP VAN PARKING STALL	WWF	WELDED WIRE FABRIC
ID	INSIDE DIAMETER		
IE	INVERT ELEVATION		
INV	INVERTED		
LOW	LIMIT OF WORK		
LPT	LOW POINT		

GENERAL LANDSCAPE PROJECT NOTES

- ALL NOTES APPEARING ON THESE PLANS SHALL BE CONSIDERED AS INCIDENTAL WORK AND AS A PART OF THIS CONTRACT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 8 (CAL/OSHA) AND THE GENERAL CONDITIONS OF THE PROJECT SPECIFICATIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION INCLUDING LOCATIONS OF FIBER OPTIC LINES, PROPOSED UTILITIES, AREA DRAINS, MANHOLES, AND VAULTS AS INDICATED ON THE PROJECT SURVEY AND ANY CIVIL UTILITY PLANS. OBTAIN COPIES OF UTILITY PLANS FROM OWNERS ARCHIVES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FIELD MARK ALL UTILITY LINES AND POT HOLE TO DETERMINE DEPTH OF BURIED UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL RECORD & MONITOR WORK IN THESE AREAS AND POT HOLE AS NEEDED TO IDENTIFY OBJECTS.
- FOR MARKING UNDERGROUND FACILITIES, CALL UNDERGROUND SERVICE ALERT MINIMUM TWO DAYS PRIOR TO DIGGING. 1-800-227-2600, BETWEEN 6:00 AM- 7:00 PM, MONDAY- FRIDAY, EXCEPT HOLIDAYS.
- PROTECT EXISTING UNDERGROUND UTILITIES, VAULTS AND CONNECTIONS AND REPAIR ANY DAMAGE TO FULL OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES WHICH CROSS THE LINE OF CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.
- CONTRACTOR SHALL COORDINATE UTILITY SHUTDOWN WITH CITY ENGINEER AND APPROPRIATE AGENCIES OR OWNER'S REPRESENTATIVE.
- REFER TO CIVIL DRAWINGS FOR ALL STORM DRAIN LINE CONNECTIONS IN LANDSCAPE PLANTING AREAS.
- REFER TO CIVIL DRAWINGS FOR IRRIGATION POINT OF CONNECTION AND SEPARATE IRRIGATION SERVICE METER.
- REFER TO CIVIL DRAWINGS FOR HORIZONTAL AND VERTICAL CONTROL OF DRIVE AISLES, CURBS, GUTTERS, AND CITY SIDEWALKS.
- REFER TO CIVIL DRAWINGS FOR ALL UTILITY CONNECTIONS, ADJUSTED UTILITY ELEVATIONS AND RIM ELEVATIONS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING AND IRRIGATION CONTROLLER CONNECTIONS
- EXISTING ELEVATION INFORMATION BASED ON TOPOGRAPHICAL SURVEY BY PROVIDED BY THE OWNER'S REPRESENTATIVE. VERIFY GRADES PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS VARY FROM PLANS.
- STORM INLET BOXES SHALL NOT BE LEFT UNCOVERED AT ANY TIME.
- THE CONTRACTOR SHALL PROCEED WITH DUE CAUTION DURING UNDERGROUND OPERATIONS AND SHALL REPAIR OR REPLACE ALL UTILITIES AND SERVICES, EITHER MARKED IN THE FIELD OR INDICATED ON THE PLANS, WHICH ARE DAMAGED DURING CONSTRUCTION, AT HIS OWN EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

- THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING AT THE CONTRACTOR'S OWN EXPENSE ANY DRAINAGE STRUCTURES, UTILITIES, WALLS, EXISTING PLANTS, FURNITURE, LIGHTS, WALKWAYS, PAVING, SIGNAGE, OR OTHER EXISTING IMPROVEMENTS TO REMAIN WHICH ARE DAMAGED OR DESTROYED BY OPERATION OF THIS CONTRACT. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES OCCURRING AS A RESULT OF THE CONTRACTOR'S OPERATION, ONSITE, ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE INFORMATION SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- WORK SHALL NOT BEGIN UNTIL ADEQUATE TEMPORARY BARRICADES, BARRIERS, FENCES, WARNING SIGNS, LIGHTS, OR OTHER SUCH TRAFFIC AND PEDESTRIAN WARNING AND CONTROL DEVICES AS REQUIRED ARE IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AT ALL TIMES.
- ADJUST LIDS OF ALL (E) IN-GRADE UTILITY BOXES AND VAULTS TO MEET NEW GRADES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL EXISTING PLANT MATERIAL TO REMAIN THROUGHOUT THE DURATION OF THE CONTRACT TO ENSURE HEALTHY OF PLANT MATERIAL TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. SEE SPEC. SECTIONS 32-93-00, PLANTING.
- KEEP ALL PLANTING AND PAVING AREAS FREE FROM WEEDS, DEBRIS AND TRASH THROUGHOUT THE DURATION OF THE CONTRACT.
- A DETAILED ADAPTIVE MANAGEMENT PLAN AND MAINTAINACE PROGRAM FOR THE PODIUM DURING THE START OF THE BUILDING PERMIT PHASE OF THE PROJECT.
- ALL PROPOSED DECORATIVE PAVEMENT, VERTICAL CURBS AND RETAINING WALLS PERTAINING TO ON-SITE DEVELOPMENT SHALL NOT BE LOCATED WITHIN THE CITY RIGHT-OF-WAY.

LANDSCAPE DESIGN CRITERIA

- PLANTING TO BE DESIGNED TO PROVIDE MAXIMUM SAFETY FOR USERS. PLANTING WILL BE PROVIDED ALONG WALLS, FENCES, AND AT BUILDING FOUNDATIONS AND WILL BE MAINTAINED AT AN APPROPRIATE HEIGHT FOR CLEAR VISIBILITY.
- FINISH GRADING SHALL BE POSITIVE SURFACE DRAINAGE ACROSS PLANTED AREAS AND AWAY FROM BUILDING FOUNDATIONS. REFER TO LANDSCAPE GRADING PLAN FOR ALL EXISTING AND PROPOSED GRADE INFORMATION.
- ALL AREAS ON GRADE SHALL RECEIVE 6" OF TOP SOIL AND 3" OF BARK MULCH. SOIL AMENDMENTS WILL BE ADDED BASED ON SOIL LAB RECOMMENDATIONS.
- STORMWATER MANAGEMENT TO COMPLY WITH SPECIAL PROJECT CATEGORY B/ C3 REQUIREMENTS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). BIOSWALES AND/OR INFILTRATION PLANTERS WILL BE USED TO TREAT STORM WATER. REFER TO CIVIL DOCUMENTS.
- LANDSCAPE FEATURES EMPLOYED TO MINIMIZE RUNOFF AND PROMOTE SURFACE FILTRATION INCLUDE:
A) PROVIDING GENTLE SLOPES NOT TO EXCEED 10 PERCENT IN LANDSCAPE AREAS.
B) INSTALLING PLANTS WITH LOW WATER REQUIREMENTS.
C) INSTALLING PLANTS APPROPRIATE FOR THE LOCATION AND MICRO-CLIMATE.
D) UTILIZING BIOSWALES AND/OR INFILTRATION PLANTERS TO CAPTURE RUNOFF BEFORE IT EXITS THE SITE.
E) INSTALLING COBBLE SPLASH PADS WHERE RUNOFF IS DISCHARGED INTO BIOSWALES OR INFILTRATION PLANTERS TO AVOID EROSION.
- ON SITE LANDSCAPE LIGHTING TO BE PROVIDED BY POLES AND BOLLARDS.
- ALL PLANTING GROUPS ARE DESIGNED FOR WATER USE AND ARRANGED BY WATER HYDROZONES BASED ON WATER NEEDS.
- PLANTING PALETTE HAS BEEN DEVELOPED BASED ON WATER USE REQUIREMENTS.
- "WATER USE RATING IS BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS), UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION. VL=VERY LOW, L=LOW, M=MEDIUM, H=HIGH
- TO PROMOTE PLANT HEALTH AND PLAN FOR THE USE OF RECYCLED WATER, THE DESIGN AND MAINTENANCE OF THE LANDSCAPE IRRIGATED WITH RECYCLED WATER WILL CONFORM TO SECTION 7 OF THE SUNNYVALE CITY RECYCLED WATER DEVELOPMENT STANDARDS.
- RECYCLED WATER SYSTEMS AND SYSTEM COMPONENTS WILL BE LABELED "RECYCLED WATER - DO NOT DRINK" ACCORDING TO STATE REGULATIONS AND THE SUNNYVALE CITY RECYCLED WATER DEVELOPMENT STANDARDS (SECTION 3), WHICH EVER IS MORE STRINGENT.
- QUICK COUPLER VALVE, SPRINKLER HEAD RING, DRIP TUBING, VALVES AND VALVE BOX LIDS ARE PURPLE AND CLEARLY TAGGED AND/OR LABELED
- IRRIGATION SYSTEM AND ITS COMPONENTS MUST BE LABELED ACCORDING TO STATE REGULATIONS AND THESE STANDARDS, WHICH EVER MAY BE MORE STRINGENT.
- LANDSCAPE PLAN SHALL MEET & COMPLY WITH THE NATIVE VEGETATION REQUIREMENT PER SECTION 6.6.3 URBAN FOREST AND APPENDIX B.

IRRIGATION DESIGN CRITERIA

- IRRIGATION DESIGN TO COMPLY WITH ABA 1881 REQUIREMENTS. FOLLOW THE STATEWIDE MODEL ORDINANCE DESIGN GUIDELINES AND CITY REQUIREMENTS WITH USE OF WATER EFFICIENT LANDSCAPING AND LOW WATER-WISE PLANTS. ALL PLANTED AREAS SHOWN WILL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
- THE IRRIGATED SYSTEMS WILL BE A PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL.
- ALL TREE, SHRUB AND GROUND COVER AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND DRIP OR LOW FLOW IRRIGATION SYSTEM. TREE, SHRUB, AND GROUND COVER AREAS SHALL BE ON SEPARATE VALVES.
- ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.
- ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS.
- THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY:
A) LOCATION AND SIZE OF WATER METERS FOR THE LANDSCAPE.
B) LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, QUICK COUPLERS, AND BACKFLOW PREVENTION DEVICES.
C) STATIC WATER PRESSURE AT THE POINT OF CONNECTION TO THE PUBLIC WATER SUPPLY.
D) FLOW RATE (GALLONS PER MINUTE) AND REMOTE CONTROL VALVE SIZE.
- QUICK COUPLERS WILL BE LOCATED AT EVERY 80 TO 100 FEET ALONG THE IRRIGATION MAIN LINE.
- IRRIGATION SYSTEM AND FINAL DESIGN SHALL BE PROVIDED AT A LATER DATE.
- IRRIGATION SYSTEM FEATURES EMPLOYED TO ACHIEVE WATER CONSERVATION GOALS INCLUDE:
A) SMART IRRIGATION CONTROLLERS CAPABLE OF RESPONDING TO ON-SITE WEATHER CONDITIONS.
B) CONTROLLERS WITH MULTIPLE PROGRAMS.
C) WATERING SCHEDULES EMPLOYING SHORT CYCLES.
D) RAIN SHUT-OFF DEVICES TO PREVENT IRRIGATION AFTER SIGNIFICANT PRECIPITATION.
E) DRIP AND/OR BUBBLER IRRIGATION FOR SHRUBS AND TREES IN PLANTER AREAS WHICH HAVE A SHRUB DENSITY THAT WILL CAUSE EXCESSIVE SPRAY INTERFERENCE OF AN OVERHEAD SYSTEM.
F) USE OF FLOW REDUCERS TO MITIGATE SPRAY OF BROKEN HEADS NEXT TO SIDEWALK, STREETS, AND DRIVEWAYS.
- ALL LANDSCAPE DESIGN SHALL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE SECTION 6.6.6 LANDSCAPE DESIGN GUIDELINES.

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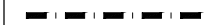


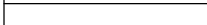

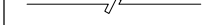





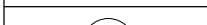
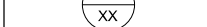

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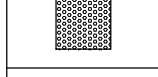
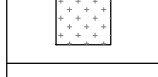
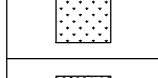

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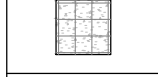
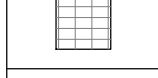
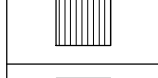

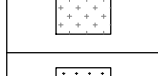

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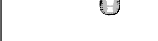


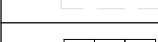
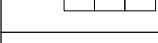



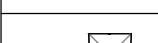
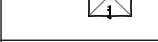
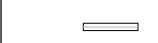
**LANDSCAPE NOTES &
LEGEND**








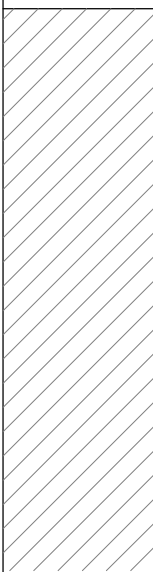
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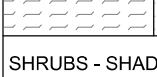

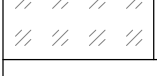




GENERAL LANDSCAPE PROJECT LEGEND		
KEY	DESCRIPTION	DETAIL
	LIMIT OF WORK	
	PROPERTY LINE	
	MATCH LINE	
	PHASE LINE	
	BREAK LINE	
	(E) SANITARY LINE	
	(E) STORM DRAIN LINE	
	(E) WATER LINE	
	(E) ELECTRIC LINE	
	(E) GAS LINE	
	DETAIL CALLOUT	
	ELEVATION INDICATOR	
	SECTION / ELEVATION DETAIL	
	TREE, REFER TO PLANTING PLAN	

LANDSCAPE MATERIAL LEGEND - GROUND LEVEL		
KEY	DESCRIPTION	DETAIL# / SHEET #
	CONCRETE PEDESTRIAN PAVING INTEGRAL COLOR CONCRETE PAVING FINISH: TOP-CAST 03 COLOR: TBD	1/L6.00
	PEDESTRIAN PAVING - TYPE 1 COLOR:TBD	4/L6.00
	PEDESTRIAN PAVING - TYPE 2 COLOR:TBD	8/L6.00
	STABILIZED DG PAVING	3/L6.03
	DETECTABLE WARNING PAVER	N/A
	PLANTING AREA	L7.00
	BIORETENTION PLANTING AREA	L7.00
	GEO-PAVER	1/L6.02

LANDSCAPE MATERIAL LEGEND - PODIUM LEVEL		
KEY	DESCRIPTION	DETAIL# / SHEET #
	PAVER ON PEDESTAL - TYPE 1	1/L6.03
	PAVER ON PEDESTAL - TYPE 2	1/L6.03
	PAVER ON PEDESTAL - TYPE 3	1/L6.03
	WOOD PAVER ON PEDESTAL -TYPE 4	2/L6.03
	DECOMPOSED GRANITE PAVING	3/L6.03
	PLANTING AREA	L7.00
	BIORTENTION PLANTING AREA	L7.00

SITE FURNISHING LEGEND				
KEY	DESCRIPTION	MODEL	MANUFACTURER	DETAIL# / SHEET #
	BIKE RACK TYPE 1	TBD	TBD	9/L6.00
	CAFE TABLE + CHAIR	TBD	TBD	N/A
	SINGLE CHAIRS	TBD	TBD	N/A
	COMMUNITY TABLE	TBD	TBD	N/A
	TABLE	TBD	TBD	N/A
	PING PONG TABLE	TBD	TBD	N/A
	TRASH/RECYCLE UNIT	TBD	TBD	N/A
	LOUNGE CHAIR	TBD	TBD	N/A
	CONCRETE SEATWALL	TBD	TBD	N/A
	CONCRETE BIORETENTION PLANTER	TBD	TBD	N/A
	OUTDOOR KITCHEN W/ BBQ + SINK	TBD	TBD	1/L6.04
	REMOVABLE UMBRELLA	TBD	TBD	N/A
	BENCH (GROUND LEVEL OR PODIUM)	TBD	TBD	2/L6.01, 2/L6.04
	BOULDER SEATING	TBD	TBD	5/L6.01
	REMOVABLE CUBE SEATING	TBD	TBD	N/A
	REMOVABLE TABLE	TBD	TBD	N/A

TREES*								
SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	WATER USE	80% MATURE CANOPY	MATURE SIZE
	ARB MAR	ARBUTUS MARINA	MARINA MADRONE	36" BOX	AS SHOWN	L	24' W	40' H X 30'W
	CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	AS SHOWN	L	12' W	25' H X 15'W
	LAG IND	LAGERSTROEMIA 'NATCHEZ'	NATCHEZ HYBRID CRAPE MYRTLE	36" BOX	AS SHOWN	L	16' W	25' H X 20'W
	PLA RAC	PLATANUS RACEMOSA	WESTERN SYCAMORE	36" BOX	AS SHOWN	M	28' W	80'H X 35' W
	QUE LOB	QUERCIS LOBATA	VALLEY OAK	36" BOX	AS SHOWN	L	40' W	70' H X 50' W
	ROB PUR	ROBINIA 'PURPLE ROBE'	PURPLE ROBE LOCUST	36" BOX	AS SHOWN	L	30' W	40' H X 30' W
	ULM PAR	ULMUS PARVIFOLIA 'DRAKE'	DRAKE CHINESE ELM	36" BOX	AS SHOWN	L	35' W	45' H X 43'W
HATCH	KEY	SCIENTIFIC NAME		SIZE	SPACING	WATER USE	MATURE SIZE	
SHRUBS - FULL SUN								
	ACH MIL	ACHILLEA MILLEFOLIUM	YARROW	1 GAL	2'-6"	L	2' H X 2' W	
	AGA AME	AGAVE AMERICANA	CENTURY PLANT	15 GAL	5'-0"	VL	4' H X 6' W	
	ASC FAS	ASCLEPIAS CALIFORNICA	CALIFORNIA MILKWEED	5 GAL	3'-0"	L	3' H X 3' W	
	ASC FAS	ASCLEPIAS FASCICULARIS	NARROW LEAF MILKWEED	5 GAL	3'-0"	L	3' H X 3' W	
	PHL FRU	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL	3'-0"	L	3' H X 5' W	
	ROS COU	ROMNEYA COULTERI	MATILILJA POPPY	5 GAL	2'-0"	L	5' H X 7' W	
	SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	6'-0"	L	3' H X 6' W	
	YUC FIL	YUCCA FILAMENTOSA 'BRIGHT EDGE'	BRIGHT EDGE YUCCA	5 GAL	4'-0"	L	3' H X 4' W	

SHRUB, GRASSES, PERENNIALS + GROUNDCOVER PLANTING SCHEDULE CONTINUED							
HATCH	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	WATER USE	MATURE SIZE
SHRUBS - PART SUN							
	AGA ATT	AGAVE ATTENUATA 'RAY OF LIGHT'	FOX TAIL AGAVE	5 GAL	5'-0"	L	4' H X 6' W
	ASP DEN	ASPARGAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	5 GAL	2'-0"	M	1' H X 1'-6' W
	ALO JOH	ALOE 'JOHNSON'S HYBRID'	ALOE 'JOHNSON'S HYBRID'	5 GAL	9'-0"	M	8' H X 10' W
	CAL GRA	CALANDRINIA GRANDIFLORA	ROCK PURSEANE	5 GAL	2'-0"	L	1' H X 3' W
	ERI FAS	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	5 GAL	2'-0"	L	8' H X 6' W
	EPI CAN	EPIOBIUM CANUM	CALIFORNIA FUSHIA	5 GAL	2'-0"	L	3' H X 3' W
	FAS JAP	FATSIA JAPONICA	JAPANESE ARALIA	5 GAL	3'-0"	M	10' H X 6' W
	LEU SAF	LEUCADENDRON 'SAFARI SUNSET'	SAFARI CONEBUSH	15 GAL	5'-0"	L	8' H X 6' W
	LUP ALB	LUPINUS ALBIFRONS	SILVER LUPINE	5 GAL	3'-0"	L	3' H X 4' W
	MEL MAJ	MELIANTHUS MAJOR	HONEY BUSH	15 GAL	5'-0"	L	6' H X 6' W
	PHI SEL	PHILODENDRON SELLOUM	TREE PHILODENDRON	15 GAL	5'-0"	M	8' H X 6' W
	RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY	15 GAL	8'-0"	L	6' H X 8' W
	SAL MEL	SALVIA MELLIFERA	BLACK SAGE	5 GAL	3'-0"	L	3' H X 4' W
	TIB URV	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	15 GAL	5'-0"	M	6' H X 6' W
SHRUBS - SHADE							
	ASP ELA	ASPIDISTRA ELATIOR	CAST IRON PLANT	5 GAL	1'-6"	L	2' H X 2' W
	CLI MIN	CLIVIA MINIATA	NATAL LILY	5 GAL	2'-0"	M	1'-6" H X 2' W
	MAH EUR	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL	2'-0"	L	3' H X 3' W
	POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	2'-0"	M	2' H X 2' W
	WOO FIM	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	3'-0"	M	4' H X 4' W
GRASSES AND GROUND COVERS - FULL SUN							
	ANE LES	ANEMANTHELE LESSONIANA	NEW ZEALAND WIND GRASS	5 GAL	2'-0"	M	2' H X 2' W
	BAC PIL	BACCHARIS PILULARIS	COYOTE BRUSH	5 GAL	2'-0"	L	1' H X 6' W
	BOU GRA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	5 GAL	2'-0"	L	1' H X 1' W
	CEA GRI	CEANOTHUS GRISEUS VAR. HORIZONTALIS	CALIFORNIAN LILAC	5 GAL	2'-0"	L	2' H X 8' W
	FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	2'-0"	M	6' H X 2' W
	MUH DUB	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	2'-0"	L	2' H X 2' W
	SEN VIT	SENECIO VITALIS	NARROW-LEAF CHALKSTICKS	1 GAL	2'-6"	L	1' H X 3' W
GRASSES AND GROUND COVERS - PART SUN							
	CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	2'-0"	L	2' H X 2' W
	DES CES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	2'-0"	L	2' H X 1.5' W
	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	3'-0"	L	2' H X 2' W
	MUH CAP	MUHLEBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE CLOUD MUHLY	5 GAL	4'-0"	L	4' H X 4' W
BIO RETENTION TREATMENT PLANTS							
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	5 GAL	2'-0"	L	2' H X 2' W
	BOU GRA	BOUTELOUA GRACILIS	BLUE GRAMA	5 GAL	2'-0"	L	2' H X 2' W
	CAR TUM	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE	5 GAL	3'-0"	L	3' H X 3' W
	DES CES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	2'-0"	L	2' H X 1.5' W
	ELY TRI	ELYMUS TRITICOIDES	CREEPING WILDRIE	5 GAL	2'-0"	L	2' H X 2' W
	JUN PAT	JUNCUS PATENS	COMMON RUSH	5 GAL	2'-0"	L	2' H X 1.5' W
	MUH DUB	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	3'-0"	L	2' H X 2' W
	SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	2'-6"	L	4' H X 4' W

LANDSCAPE NOTES & LEGEND

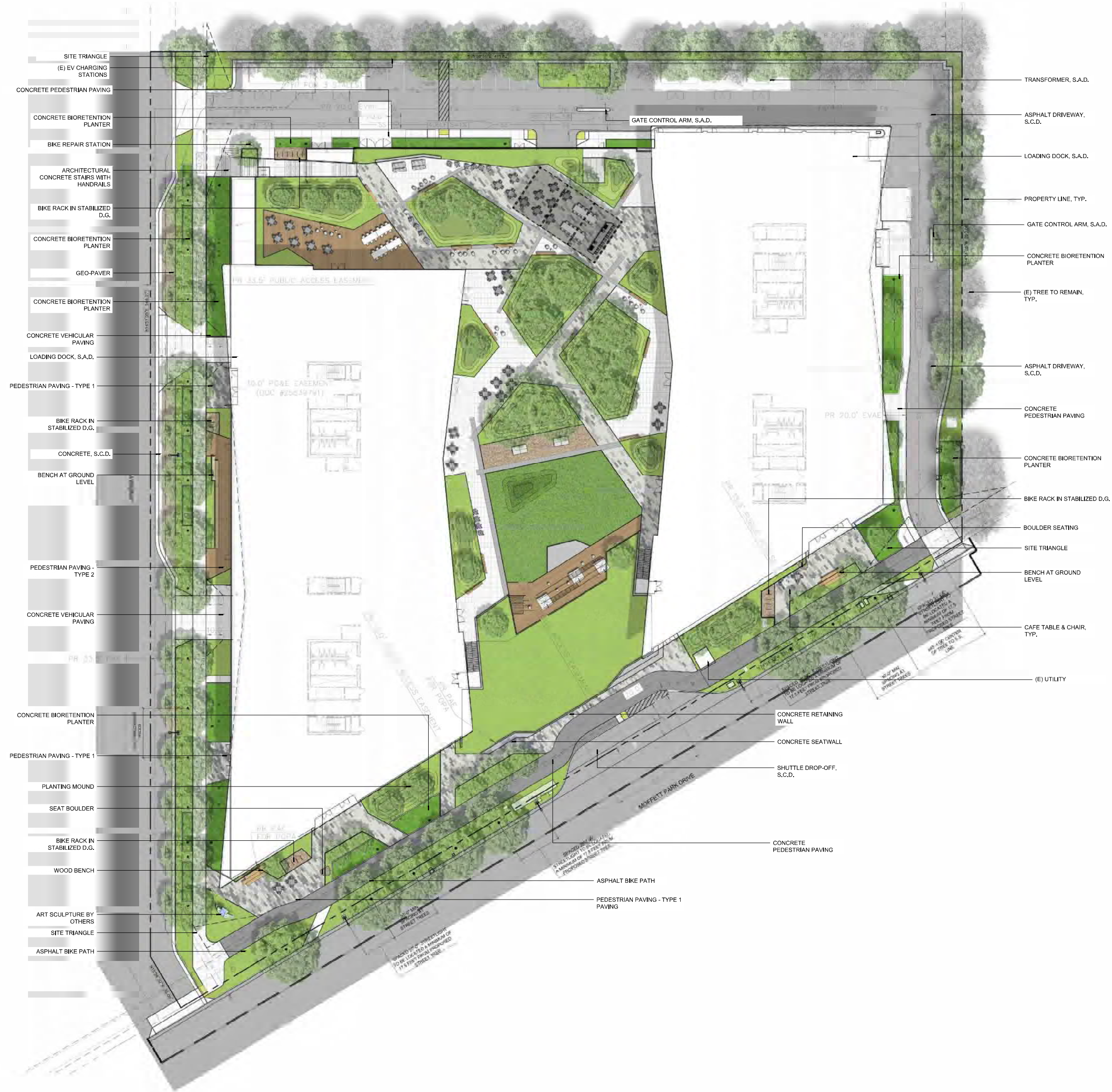
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SCALE: 1"=30'-0"

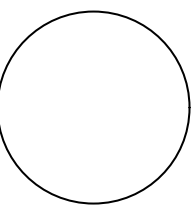
PROJECT NORTH

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LANDSCAPE ILLUSTRATIVE PLAN

2025.07.17 SMP/MSDP SUBMITTAL
2025.04.23 SMP/MSDP SUBMITTAL
2024.12.20 SMP SUBMITTAL
2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



333-385 MOFFETT PARK DRIVE

SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

LANDSCAPE ILLUSTRATIVE PLAN

L0.02

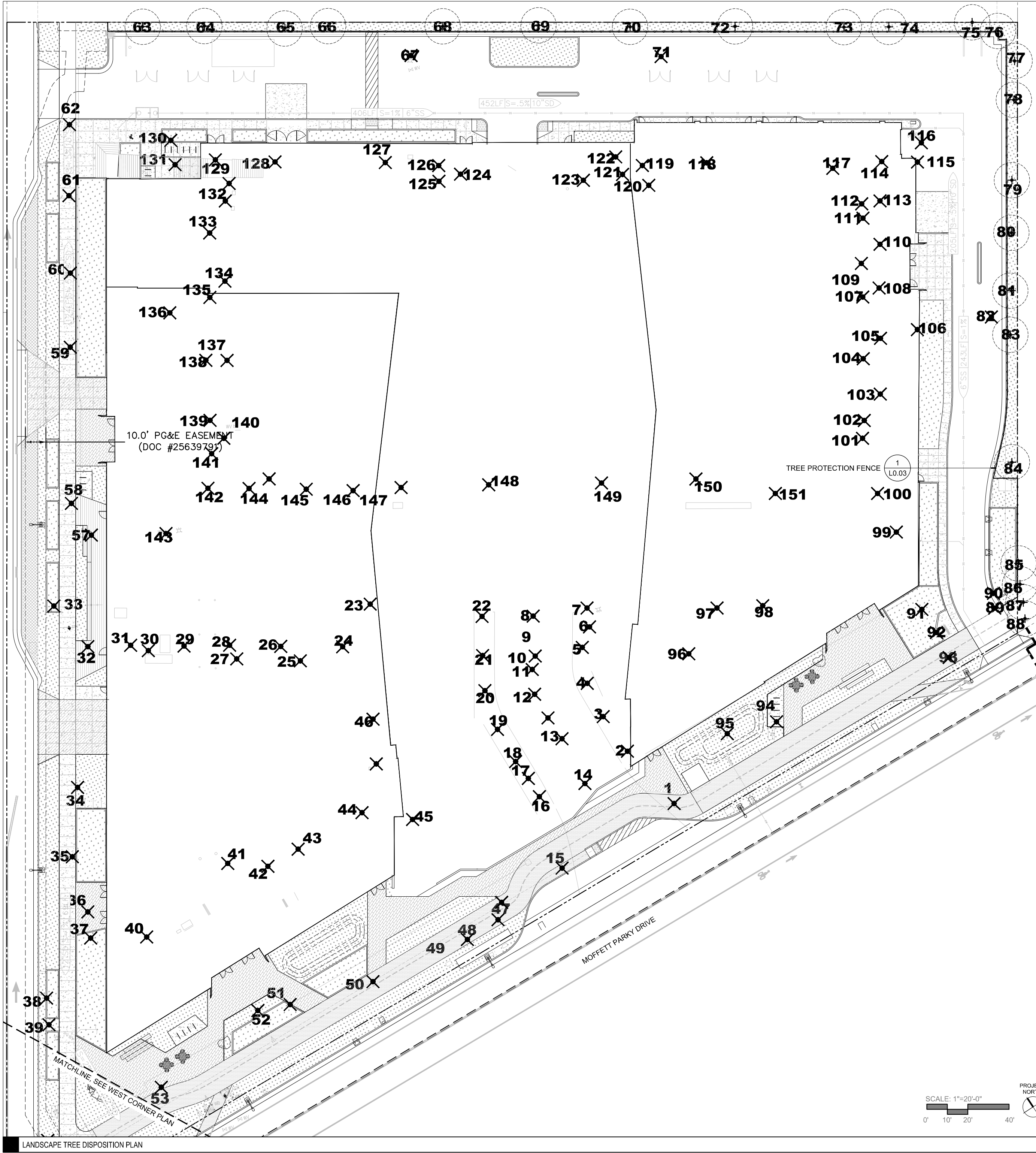
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TREE PROTECTION LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

EXISTING TREES TO REMAIN			
SPECIES	NUMBER	PROTECTED	NOT PROTECTED
LYNCH PINE	1	1	0
EUROPEAN WHITE BIRCH	1	1	0
PREMONT COTONWOOD	1	1	0
LYNCH PINE	1	1	0
WATSON ALB	1	1	0
WATSON ALB	1	1	0
TOTAL	6	6	0

PROPOSED TREES			
SPECIES	NUMBER	GROUND FLOOR	FLOOR FLOOR
LYNCH PINE	1	1	0
EUROPEAN WHITE BIRCH	1	1	0
PREMONT COTONWOOD	1	1	0
LYNCH PINE	1	1	0
WATSON ALB	1	1	0
WATSON ALB	1	1	0
TOTAL	6	6	0

TOTAL EXISTING TREES	6
TOTAL EXISTING TREES TO REMAIN	6
TOTAL EXISTING TREES TO BE REMOVED	0
TOTAL PROPOSED TREES	6
TOTAL TREES ON SITE	6

*52 of the 108 existing trees to be removed are considered protected as defined by the City of Sunnyvale Tree Preservation Ordinance 2023 93, Chapter 19.94

PROTECTED TREES						
EXISTING TREE SIZE	NUMBER ON EXISTING TREE	16" BOX	24" BOX	36" BOX	48" BOX	TREE NUMBER
12" DBH	1	1	0	0	0	1
14" DBH	1	1	0	0	0	2
16" DBH	1	1	0	0	0	3
18" DBH	1	1	0	0	0	4
20" DBH	1	1	0	0	0	5
22" DBH	1	1	0	0	0	6
24" DBH	1	1	0	0	0	7
26" DBH	1	1	0	0	0	8
28" DBH	1	1	0	0	0	9
30" DBH	1	1	0	0	0	10
32" DBH	1	1	0	0	0	11
34" DBH	1	1	0	0	0	12
36" DBH	1	1	0	0	0	13
38" DBH	1	1	0	0	0	14
40" DBH	1	1	0	0	0	15
42" DBH	1	1	0	0	0	16
44" DBH	1	1	0	0	0	17
46" DBH	1	1	0	0	0	18
48" DBH	1	1	0	0	0	19
50" DBH	1	1	0	0	0	20
52" DBH	1	1	0	0	0	21
54" DBH	1	1	0	0	0	22
56" DBH	1	1	0	0	0	23
58" DBH	1	1	0	0	0	24
60" DBH	1	1	0	0	0	25
62" DBH	1	1	0	0	0	26
64" DBH	1	1	0	0	0	27
66" DBH	1	1	0	0	0	28
68" DBH	1	1	0	0	0	29
70" DBH	1	1	0	0	0	30
72" DBH	1	1	0	0	0	31
74" DBH	1	1	0	0	0	32
76" DBH	1	1	0	0	0	33
78" DBH	1	1	0	0	0	34
80" DBH	1	1	0	0	0	35
82" DBH	1	1	0	0	0	36
84" DBH	1	1	0	0	0	37
86" DBH	1	1	0	0	0	38
88" DBH	1	1	0	0	0	39
90" DBH	1	1	0	0	0	40
92" DBH	1	1	0	0	0	41
94" DBH	1	1	0	0	0	42
96" DBH	1	1	0	0	0	43
98" DBH	1	1	0	0	0	44
100" DBH	1	1	0	0	0	45
102" DBH	1	1	0	0	0	46
104" DBH	1	1	0	0	0	47
106" DBH	1	1	0	0	0	48
108" DBH	1	1	0	0	0	49
110" DBH	1	1	0	0	0	50
112" DBH	1	1	0	0	0	51
114" DBH	1	1	0	0	0	52
116" DBH	1	1	0	0	0	53
118" DBH	1	1	0	0	0	54
120" DBH	1	1	0	0	0	55
122" DBH	1	1	0	0	0	56
124" DBH	1	1	0	0	0	57
126" DBH	1	1	0	0	0	58
128" DBH	1	1	0	0	0	59
130" DBH	1	1	0	0	0	60
132" DBH	1	1	0	0	0	61
134" DBH	1	1	0	0	0	62
136" DBH	1	1	0	0	0	63
138" DBH	1	1	0	0	0	64
140" DBH	1	1	0	0	0	65
142" DBH	1	1	0	0	0	66
144" DBH	1	1	0	0	0	67
146" DBH	1	1	0	0	0	68
148" DBH	1	1	0	0	0	69
150" DBH	1	1	0	0	0	70
152" DBH	1	1	0	0	0	71
154" DBH	1	1	0	0	0	72
156" DBH	1	1	0	0	0	73
158" DBH	1	1	0	0	0	74
160" DBH	1	1	0	0	0	75
162" DBH	1	1	0	0	0	76
164" DBH	1	1	0	0	0	77
166" DBH	1	1	0	0	0	78
168" DBH	1	1	0	0	0	79
170" DBH	1	1	0	0	0	80
172" DBH	1	1	0	0	0	81
174" DBH	1	1	0	0	0	82
176" DBH	1	1	0	0	0	83
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180" DBH	1	1	0	0	0	85
182" DBH	1	1	0	0	0	86
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208" DBH	1	1	0	0	0	99
210" DBH	1	1	0	0	0	100
212" DBH	1	1	0	0	0	101
214" DBH	1	1	0	0	0	102
216" DBH	1	1	0	0	0	103
218" DBH	1	1	0	0	0	104
220" DBH	1	1	0	0	0	105
222" DBH	1	1	0	0	0	106
224" DBH	1	1	0	0	0	107
226" DBH	1	1	0	0	0	108
228" DBH	1	1	0	0	0	109
230" DBH	1	1	0	0	0	110
232" DBH	1	1	0	0	0	111
234" DBH	1	1	0	0	0	112
236" DBH	1	1	0	0	0	113
238" DBH	1	1	0	0	0	114
240" DBH	1	1	0	0	0	115
242" DBH	1	1	0	0	0	116
244" DBH	1	1	0	0	0	117
246" DBH	1	1	0	0	0	118
248" DBH	1	1	0	0	0	119
250" DBH	1	1	0	0	0	120
252" DBH	1	1	0	0	0	121
254" DBH	1	1	0	0	0	122
256" DBH	1	1	0	0	0	123
258" DBH	1	1	0	0	0	124
260" DBH	1	1	0	0	0	125
262" DBH	1	1	0	0	0	126
264" DBH	1	1	0	0	0	127
266" DBH	1	1	0	0	0	128
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480" DBH	1	1	0	0	0	235</

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Client - Line 4
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LANDSCAPE OPEN SPACE TYPES

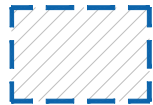


LIMIT OF PRIVATE OWNERSHIP PUBLIC
OCCUPANCY (POPAS)

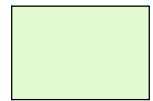
MOFFETT PARK DRIVE POPAS = 12,119 SF

8' POPAS STRIP (LANEWAY PAE
EXPANSION) = 4,549 SF.

BIKE SERVICE POPAS= 964 SF.



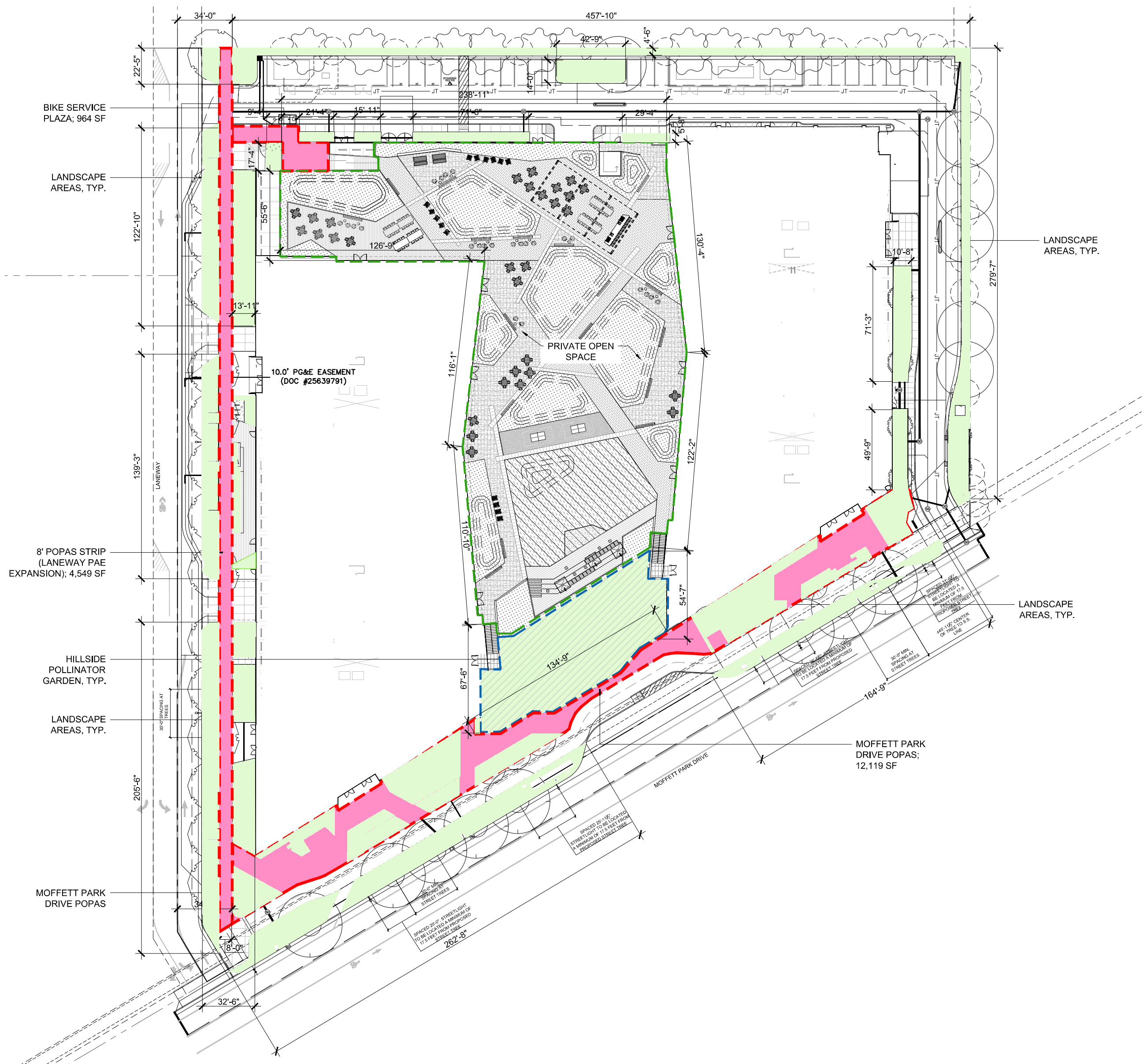
MINI PARK:
HILLSIDE POLLINATOR GARDEN, TYP. =
6,379 SF.



LANDSCAPE AREAS AT GROUND
FLOOR =31,445 SF.



LIMIT OF PRIVATE OPEN SPACE AT
PODIUM LEVEL = 42,800 SF.
THIS WILL INCLUDE A MINIMUM OF
20% OR (8,560 SF.) OF AREA SHALL
BE PLANTED WITH TREES, GROUND
COVER, AND/OR SHRUBS.

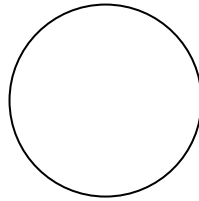


SCALE: 1"=30'-0"



2025.07.17 SMP/MSPD SUBMITTAL
2025.04.23 SMP/MSPD SUBMITTAL
2024.12.20 SMP SUBMITTAL
2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

LANDSCAPE OPEN
SPACE FRAMEWORK

L0.04

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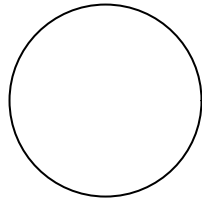
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**333-385 MOFFETT
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**LANDSCAPE GRADING
PLAN - PODIUM**

L1.00

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LANDSCAPE GRADING PLAN - PODIUM

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SUNNYVALE, CA 94089

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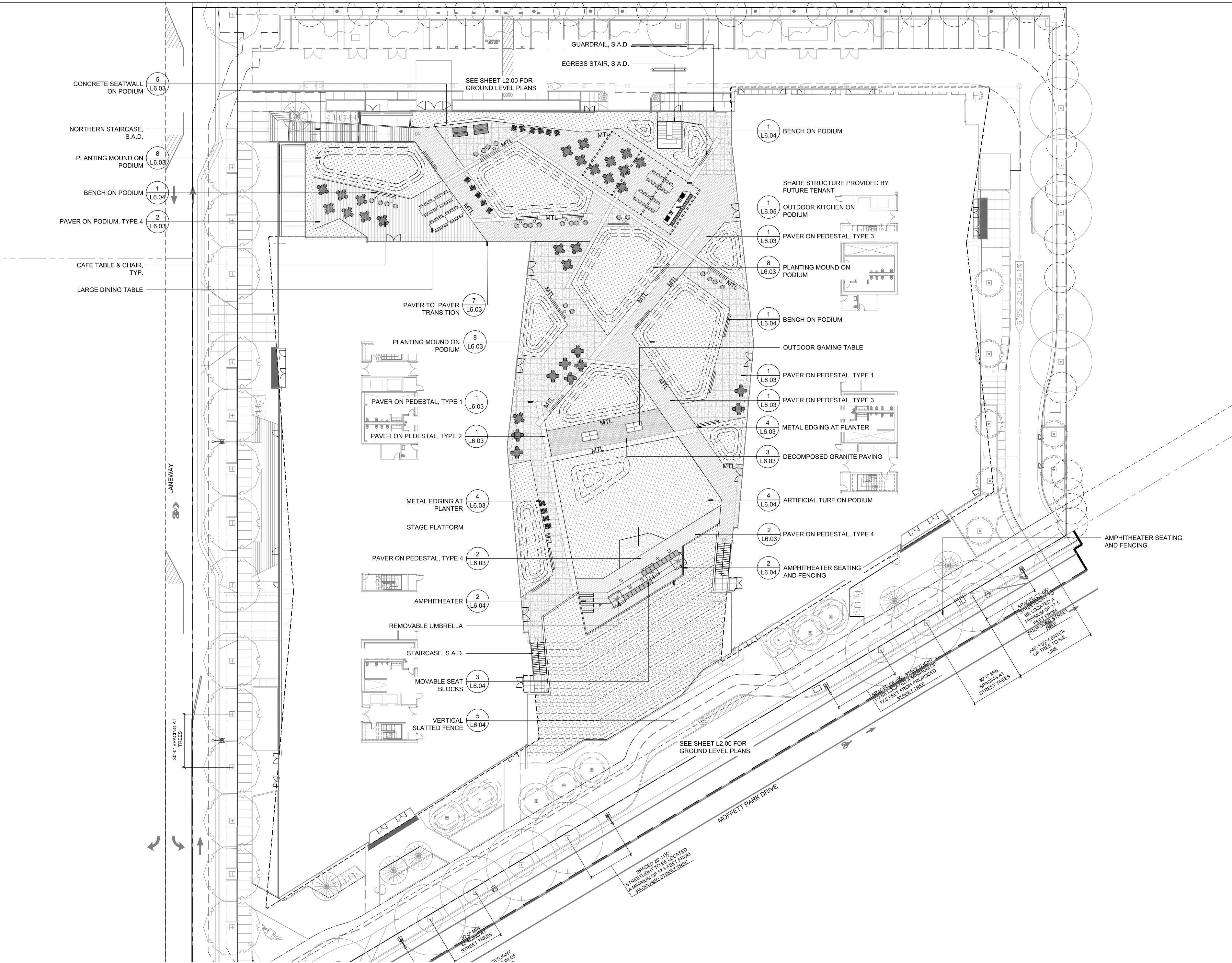
**LANDSCAPE
MATERIALS PLAN -
PODIUM**

L2.01

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LANDSCAPE MATERIALS PLAN - PODIUM

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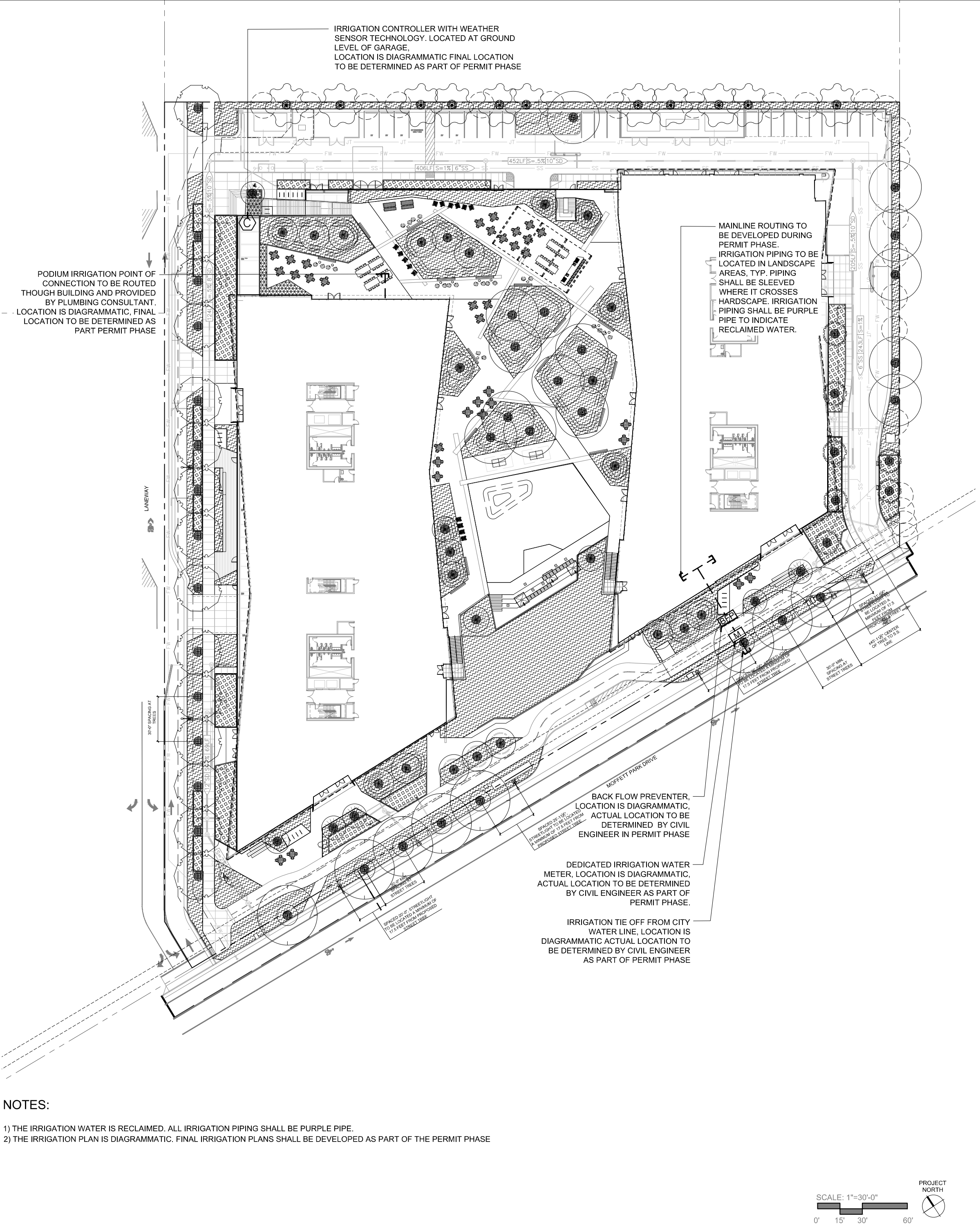
IRRIGATION DATA SUMMARY	
TOTAL LANDSCAPE AREA:	48,446 SQFT
PROJECT TYPE:	NEW, PRIVATE
WATER SUPPLY TYPE:	RECYCLED

IRRIGATION HYDROZONE LEGEND			
KEY	ZONE	IRRIGATION TYPE	TOTAL AREA
	HYDROZONE 1 - LOW SHRUBS	DRIP	38,317 SQFT
	HYDROZONE 2 - MEDIUM SHRUBS	DRIP	504 SQFT
	HYDROZONE 3 - LOW TREES	DRIP	2,128 SQFT
	HYDROZONE 4 - MEDIUM TREES	DRIP	308 SQFT
	HYDROZONE 5 - MEDIUM STORMWATER	DRIP	7189 SQFT

IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
	WATER METER
	BACKFLOW PREVENTER
	AUTOMATIC IRRIGATION CONTROLLER
	MAINLINE, SLEEVE UNDER HARDSCAPE, MAINLINE ROUTING IS DIAGRAMMATIC, ALL PIPING TO BE PURPLE PIPE

CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE WATER USE CALCULATION

California Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET _a)		45.4		Project Type		Non-Residential	
Hydrozone # / Planting Description ²		Plant Factor (PF)	Irrigation Method ³	Irrigation Efficiency (IE) ²	ETAF (PF/IE)	Landscape Area (Sq. Ft)	ETAF x Area
Regular Landscape Areas:							
1 - Low Shrubs	0.1	Drip	0.81	0.12	38510	4754	133825
2 - Medium Shrubs	0.5	Drip	0.81	0.62	504	311	8757
3 - Low Trees	0.2	Drip	0.81	0.25	2128	525	14790
4 - Medium Trees	0.6	Drip	0.81	0.74	308	238	6422
5 - Medium Stormwater	0.5	Drip	0.81	0.62	7197	4443	125050
Totals					48647	10062	288844
Special Landscape Areas:							
				1			0
				1			0
				1			0
				1			0
Totals					0	0	0
ETWU Total							288844
Maximum Allowed Water Allowance (MAWA)							616192



- NOTES:
- 1) THE IRRIGATION WATER IS RECLAIMED. ALL IRRIGATION PIPING SHALL BE PURPLE PIPE.
 - 2) THE IRRIGATION PLAN IS DIAGRAMMATIC. FINAL IRRIGATION PLANS SHALL BE DEVELOPED AS PART OF THE PERMIT PHASE

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LANDSCAPE IRRIGATION PLAN

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2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

333-385 MOFFETT
PARK DRIVE
SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

LANDSCAPE
IRRIGATION PLAN

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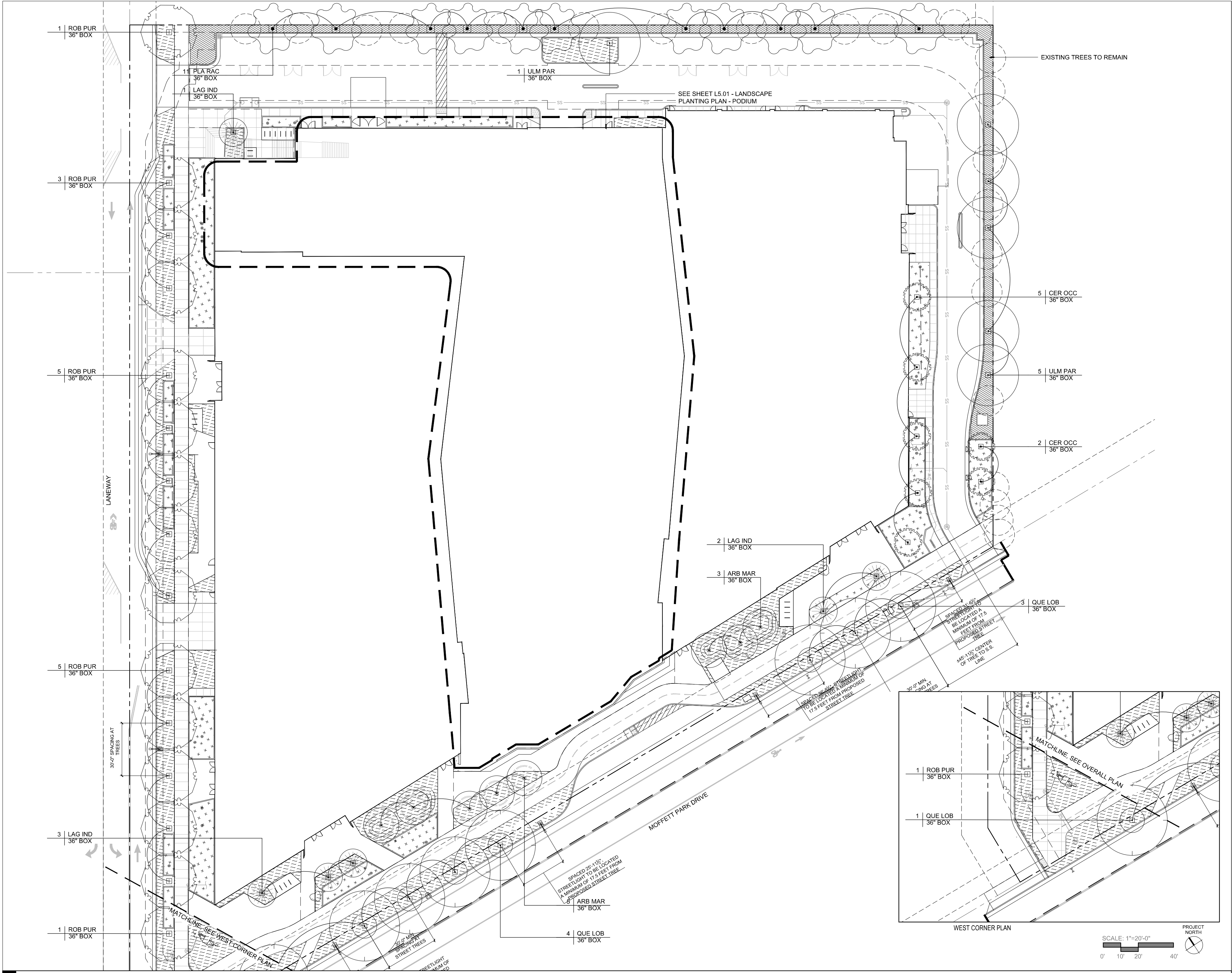
**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

**LANDSCAPE PLANTING
PLAN - GROUND**

L5.00

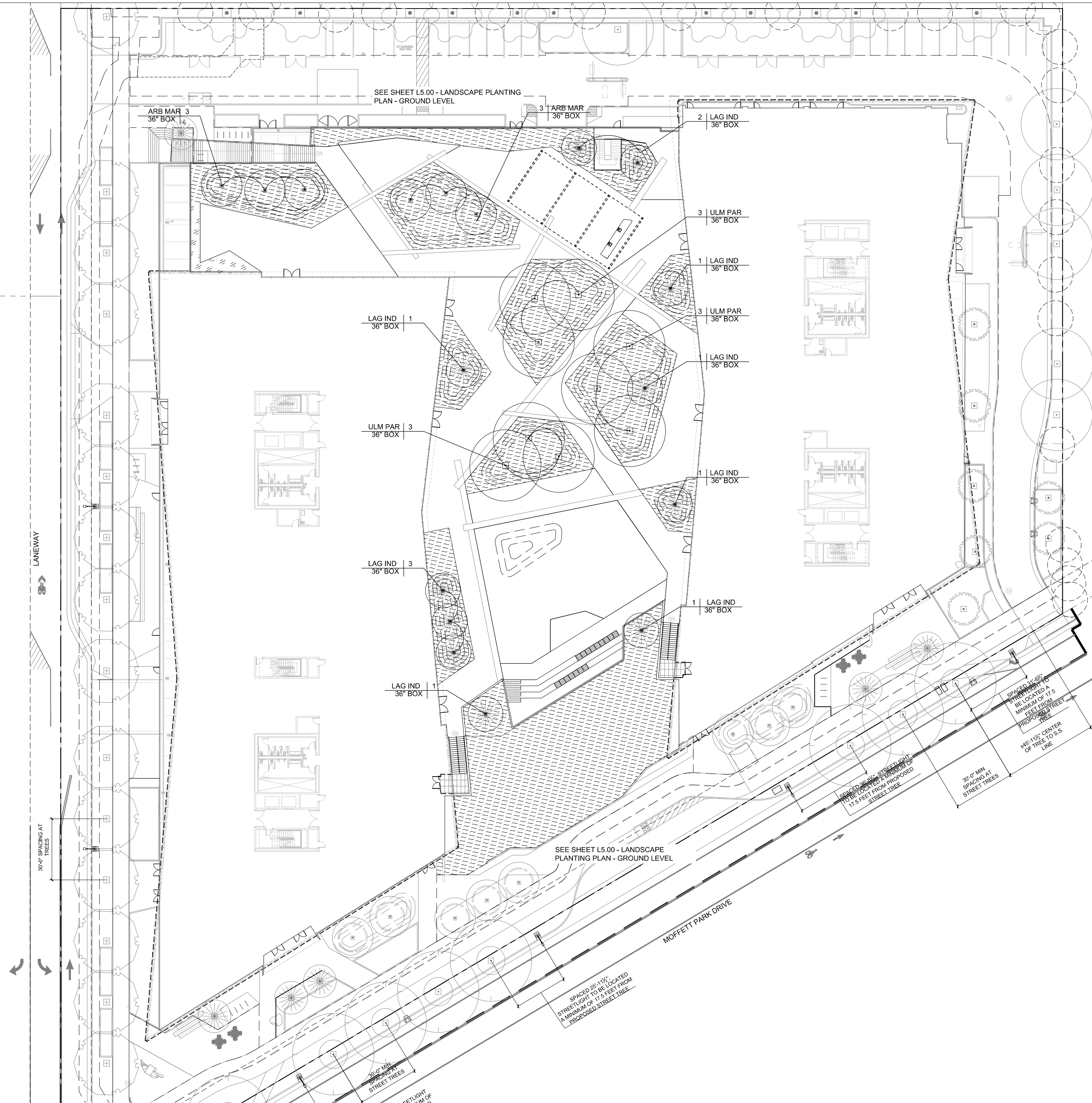
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2023.10.12	SITE MASTER PLAN SUBMITTAL



















































date	issue description
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file: AutoCAD Docx\722-387_333 Moffett Park Drive\22-387_333 moffett park drive.rvt
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SHRUBS - FULL SUN								
	ACHILLEA MILLEFOLIUM	AGAVE AMERICANA	ASCLEPIAS CALIFORNICA	ASCLEPIAS FASCICULARIS	PHLOMIS FRUTICOSA	ROMNEYA COULTERI	SALVIA CLEVELANDII	YUCCA FILAMENTOSA 'BRIGHT EDGE'
SHRUBS - PART SUN								
	AGAVE ATTENUATA 'RAY OF LIGHT'	ASPARAGUS DENSIFLORUS 'MYERS'	ALOE 'JOHNSON'S HYBRID'	CALANDRINIA GRANDIFLORA	ERIOGONUM FASCICULATUM	EPILOBIUM CANUM	FATSIA JAPONICA	LEUCADENDRON 'SAFARI SUNSET'
								
	LUPINUS ALBIFRONS	MELIANTHUS MAJOR	RHAMNUS CALIFORNICA	SALVIA MELLIFERA	TIBOUCHINA URVILLEANA	CLIVIA MINIATA	MAHONIA EURYBRACTEATA 'SOFT CARESS'	POLYSTICHUM MUNITUM
			GRASS + GROUND COVER - FULL SUN					
	WOODWARDIA FIMBRIATA			ANEMANTELE LESSONIANA	BACCHARIS PILULARIS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	CEANOTHUS GRISEUS VAR. HORIZONTALIS	FRAGARIA CHILOENSIS
			GRASS + GROUND COVER - PART SUN					
	SENECIO VITALIS			CHONDROPETALUM TECTORUM	DESCHAMPSIA CESPITOSA	LOMANDRA LONGIFOLIA 'BREEZE'	MUHLEBERGIA CAPILLARIS 'WHITE CLOUD'	
BIORETENTION PLANTS								
	ACHILLEA MILLEFOLIUM	BOUTELOUA GRACILIS	CAREX PRAEGRACILIS	DESCHAMPSIA CESPITOSA	ELYMUS TRITICOIDES	JUNCUS PATENS	MUHLENBERGIA DUBIA	SALVIA CLEVELANDII
TREES								
	ARBUTUS MARINA	CERCIS OCCIDENTALIS	LAGERSTROEMIA 'NATCHEZ'	PLATANUS RACEMOSA	QUERCUS LOBATA	ROBINIA X AMBIGUA 'PURPLE ROBE'	ULMUS PARVIFOLIA	

LANDSCAPE PLANTING IMAGES

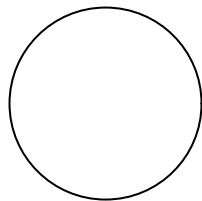
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**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

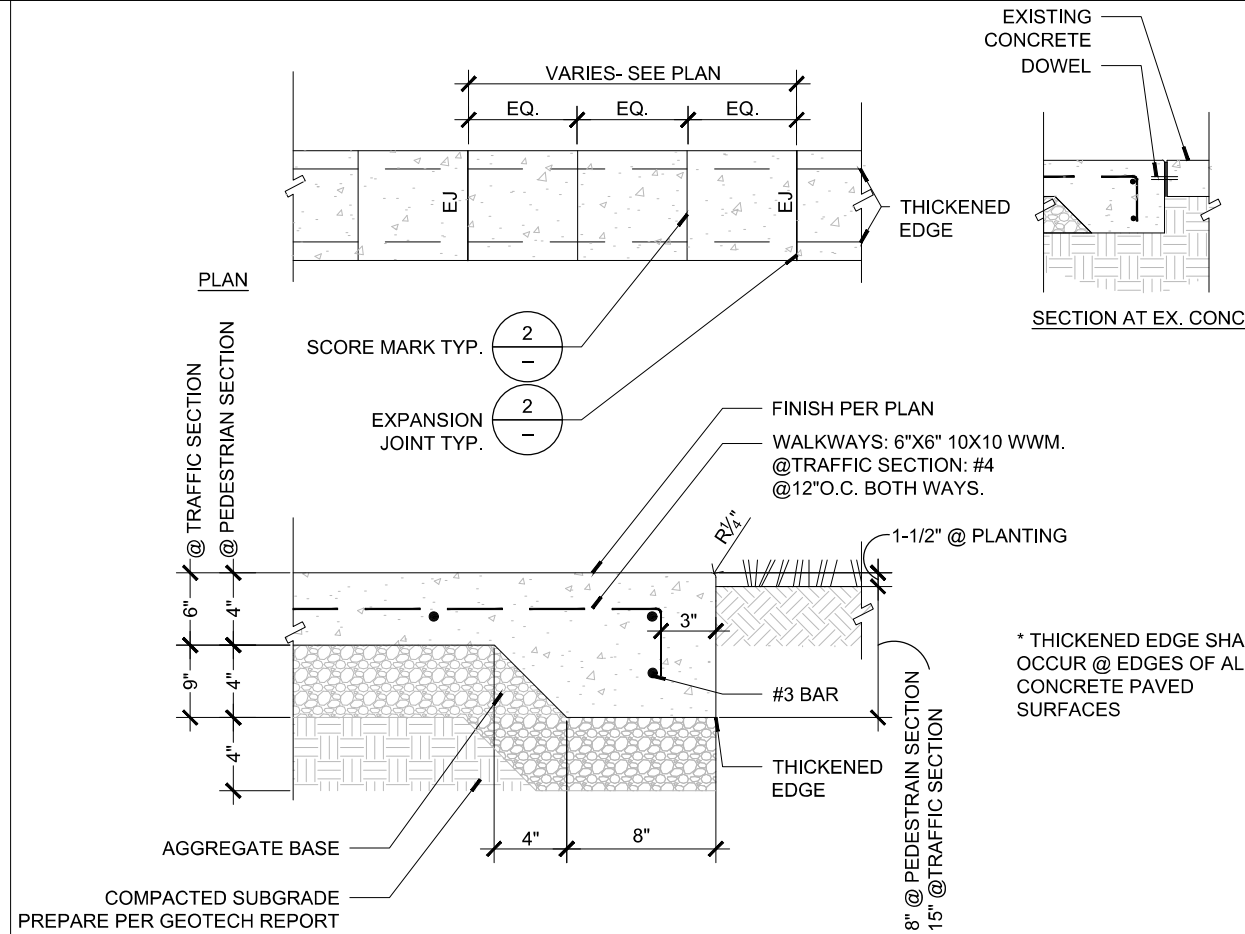
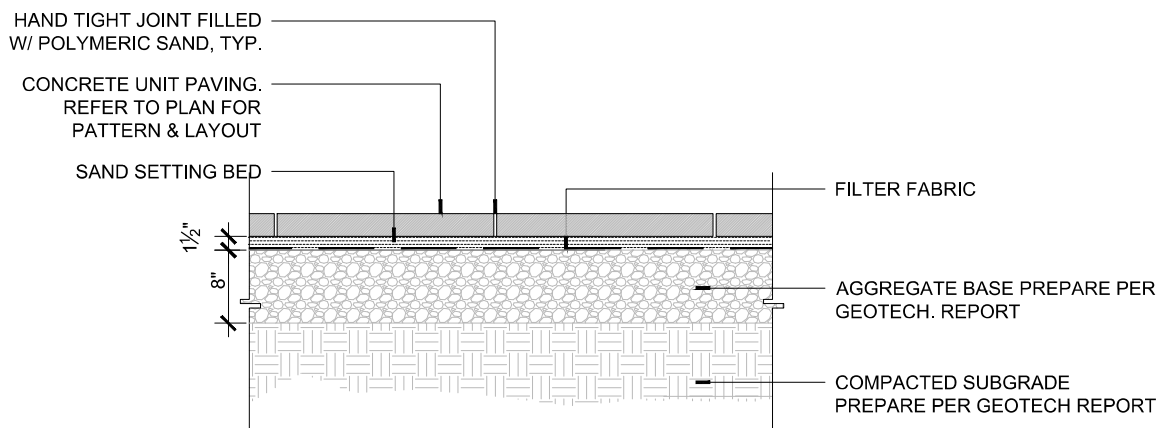
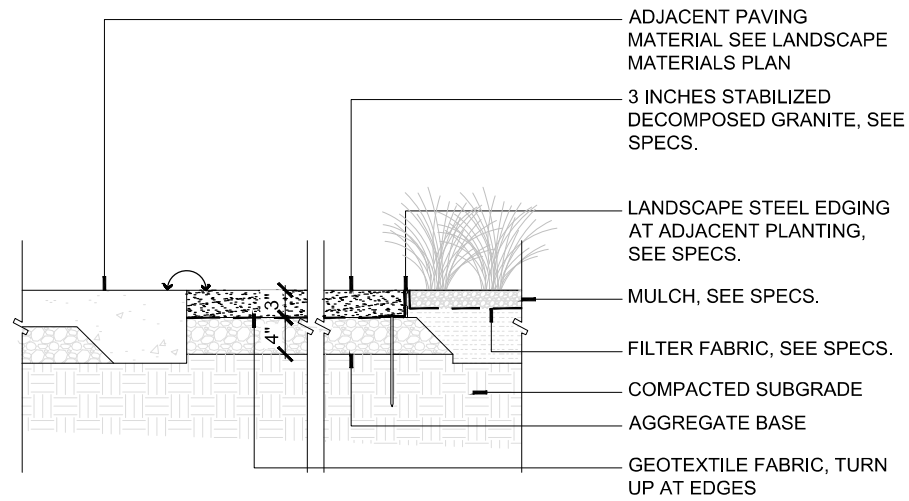
LANDSCAPE PLANTING
IMAGES

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7 STABILIZED D.G. PAVING

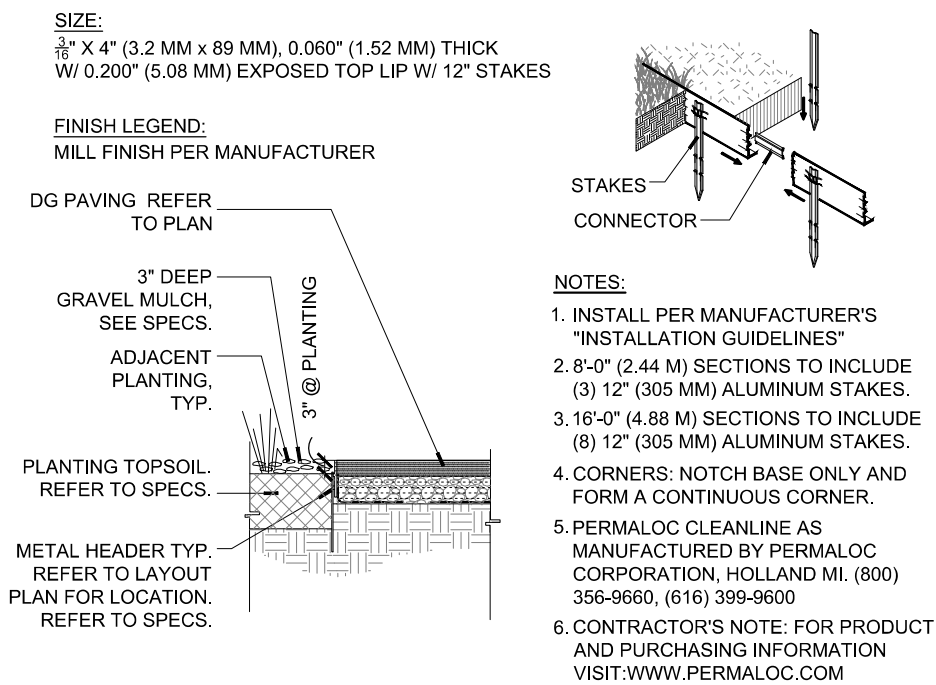
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4 PEDESTRIAN PAVING - TYPE 1

NTS

1 CONCRETE PAVING

NTS



8 PEDESTRIAN PAVING - TYPE 2

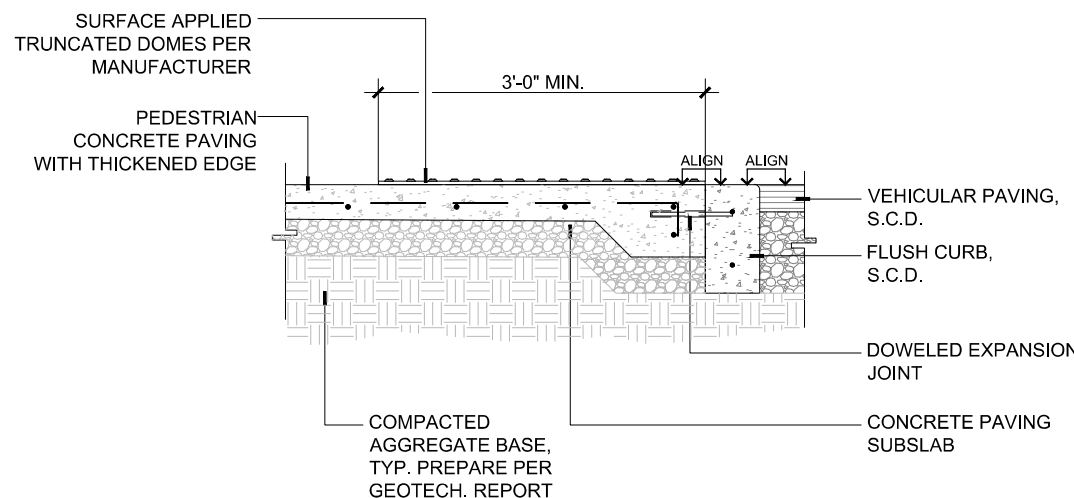
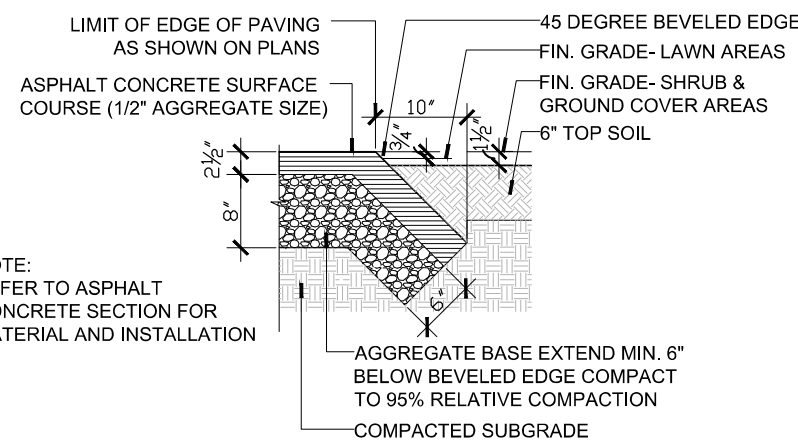
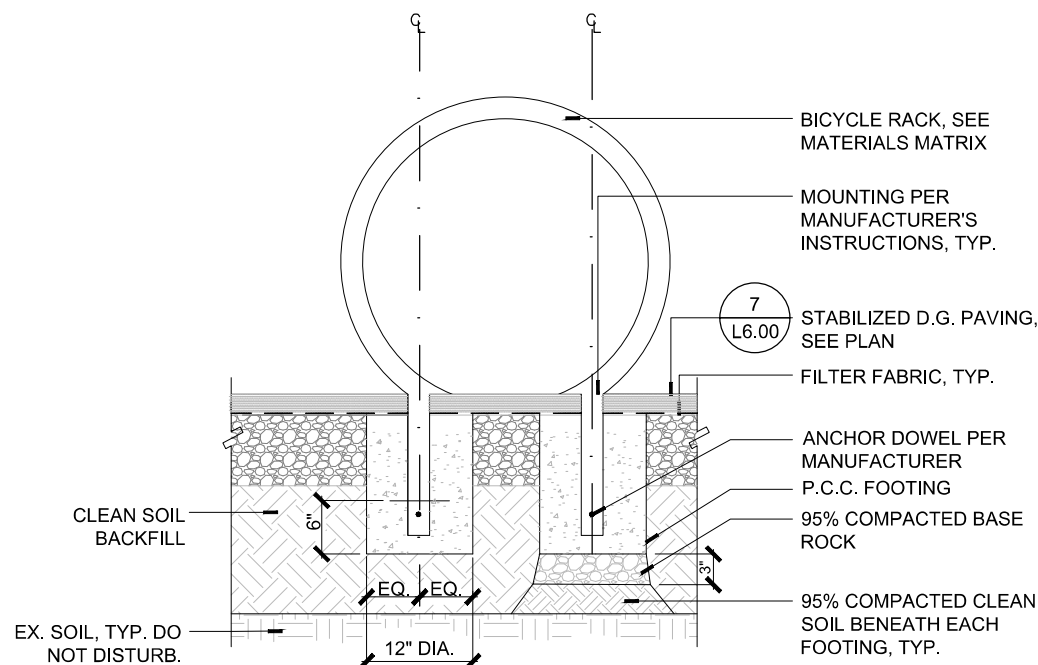
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5 METAL HEADER

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2 CONCRETE JOINT

NTS



9 BIKE RACK IN STABILIZED D.G.

NTS

6 ASPHALT PAVING

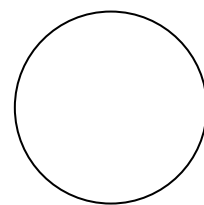
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3 DETECTABLE WARNING PAVER

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**LANDSCAPE
CONSTRUCTION
DETAILS**

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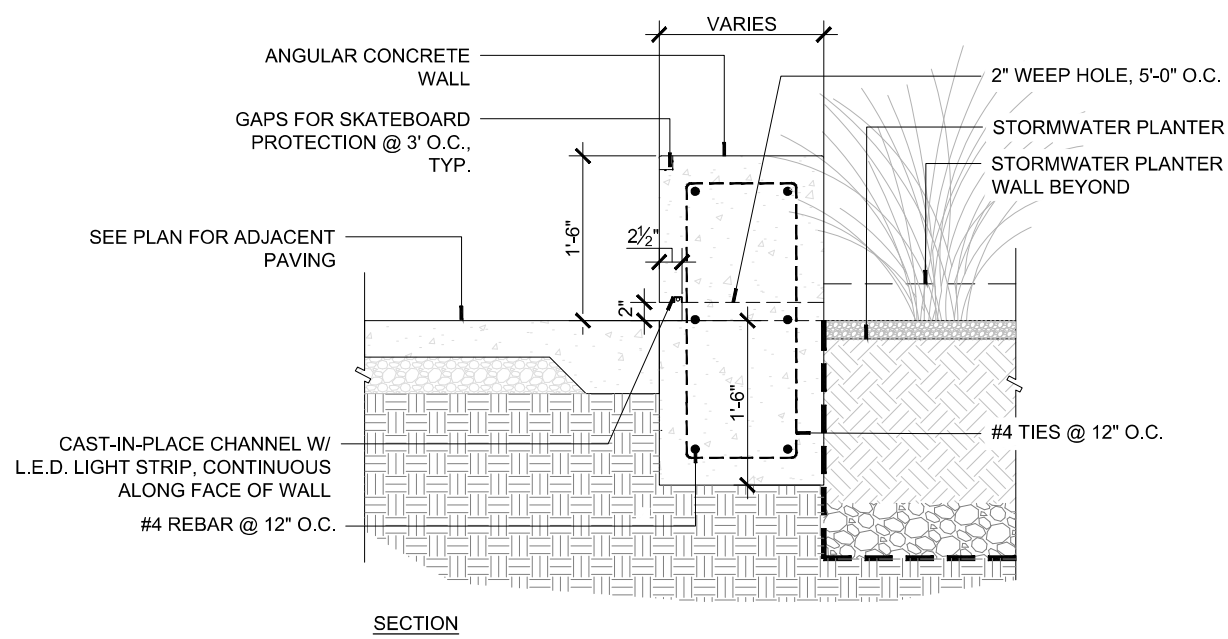
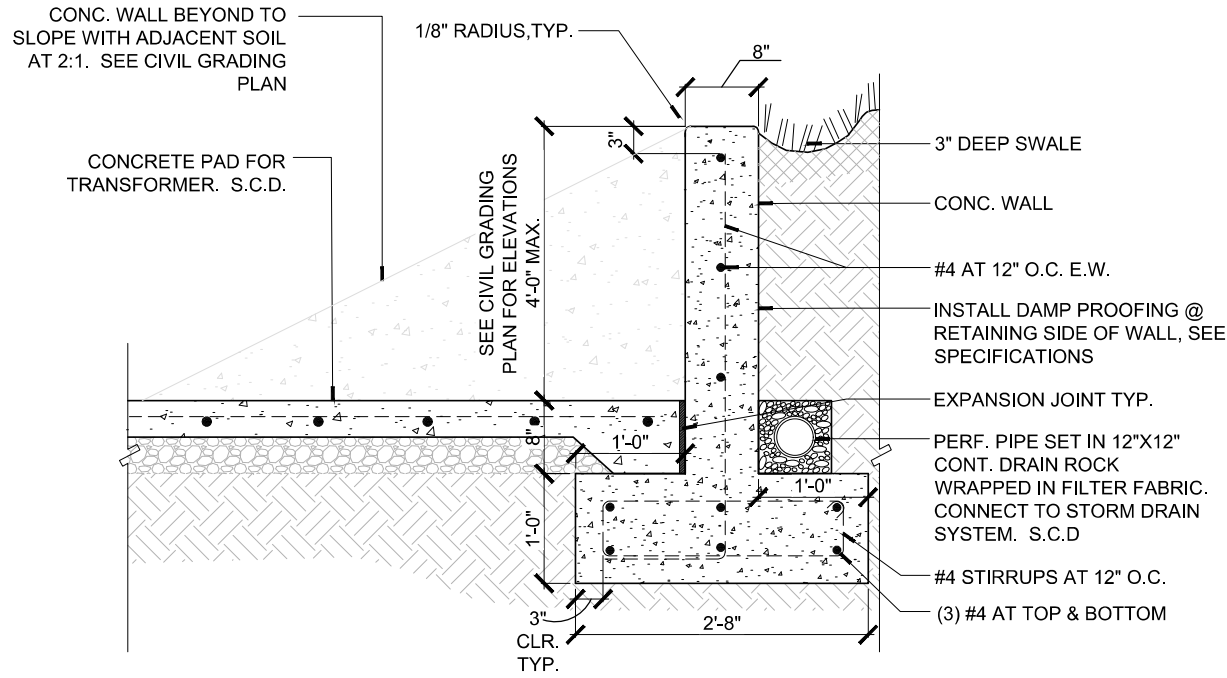
L6.00

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Client - Line 4
Client - Line 5

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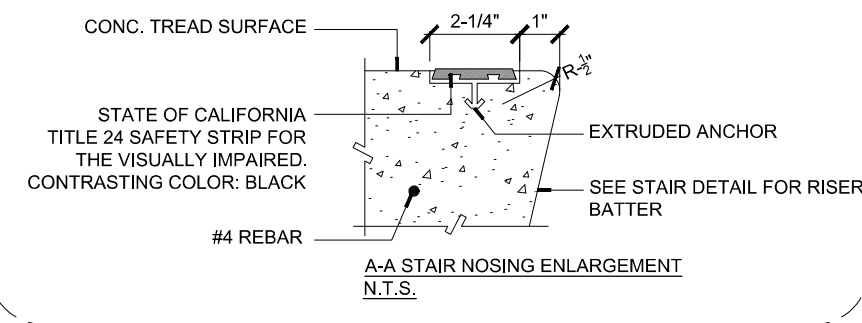
6 CONCRETE RETAINING WALL

4 BIKE REPAIR STATION

1 CONCRETE SEATWALL

NTS

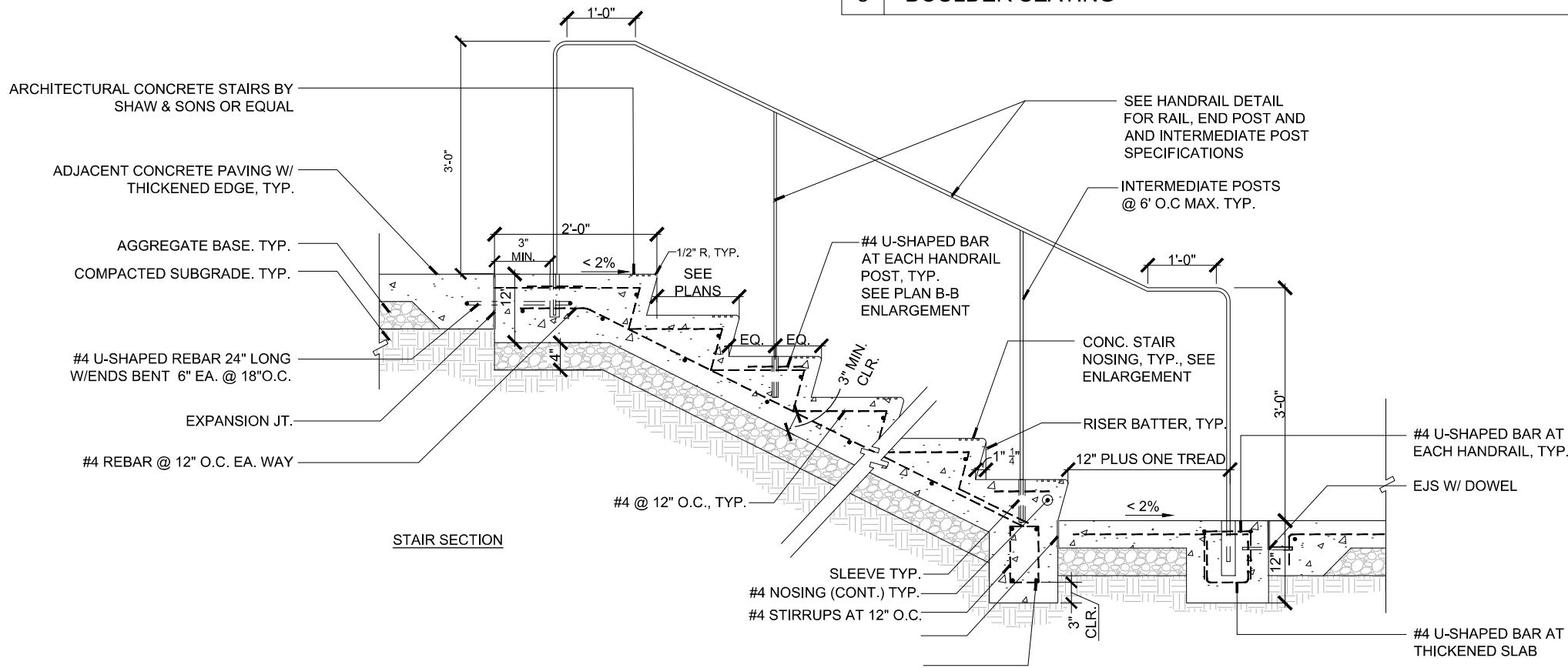
- NOTE:
1. SEE LAYOUT PLAN AND GRADING PLAN FOR NUMBER OF RISERS(R) AND TREADS(T)
 2. ALL EXPOSED FACES OF CONCRETE STAIR SHALL RECEIVE SAME FINISH & COLOR. REFER TO SPECIFICATIONS.
 3. HANDRAILS TO RECEIVE PRIMER AND PAINT. SEE SPECS FOR ADDITIONAL INFORMATION.
 4. ALL RAILING TO BE HOT DIPPED GALVANIZED STL., PRIMED AND PAINTED TO MATCH ARCHITECTURAL MULLIONS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.



5 BOULDER SEATING

2 BENCH ON GROUND LEVEL

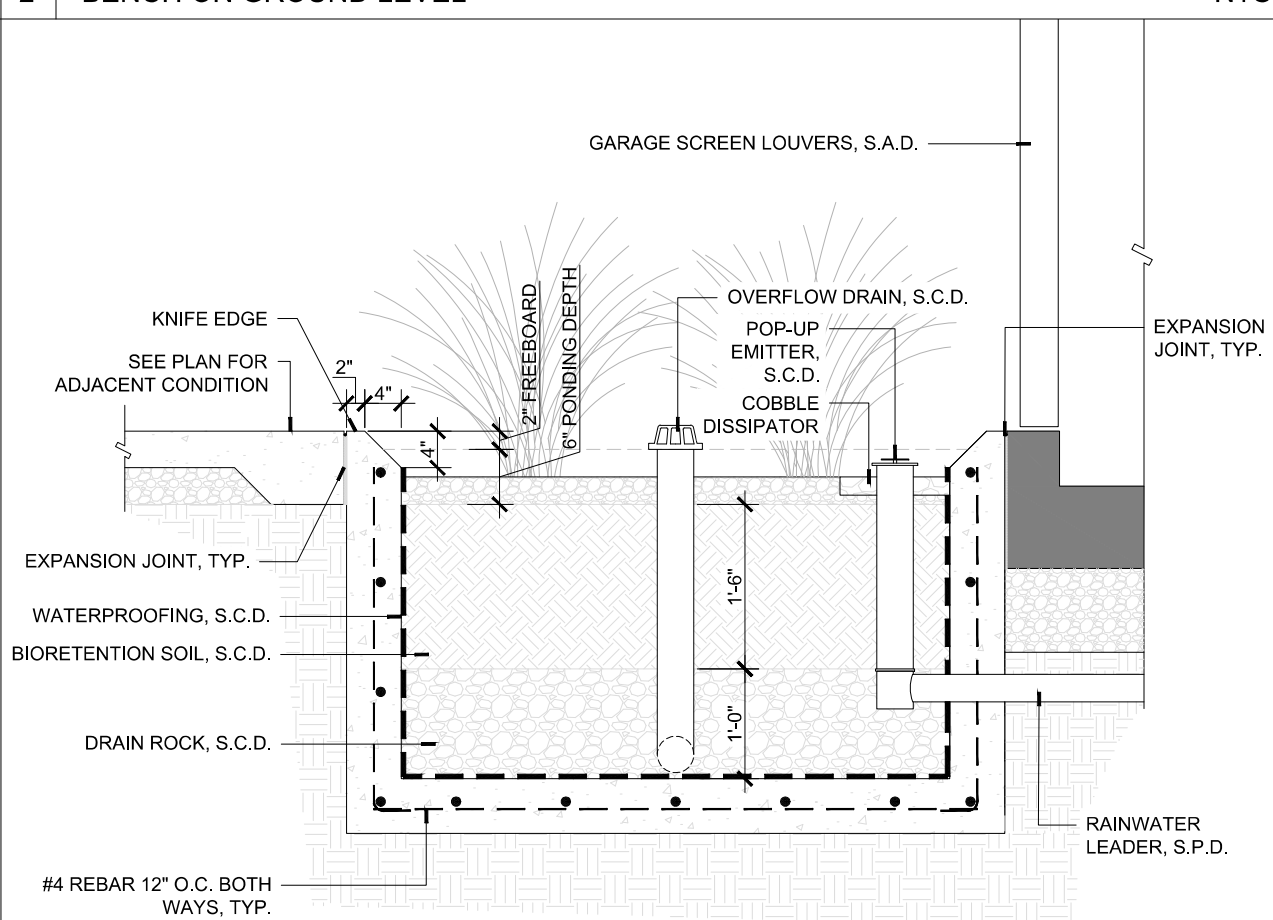
NTS



7 ARCHITECTURAL CONCRETE STAIR

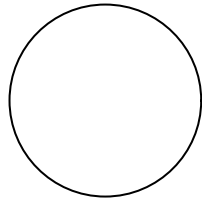
3 CONCRETE BIORETENTION PLANTER

NTS



2025.07.17 SMP/MSPD SUBMITTAL
2025.04.23 SMP/MSPD SUBMITTAL
2024.12.20 SMP SUBMITTAL
2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

**LANDSCAPE
CONSTRUCTION
DETAILS**

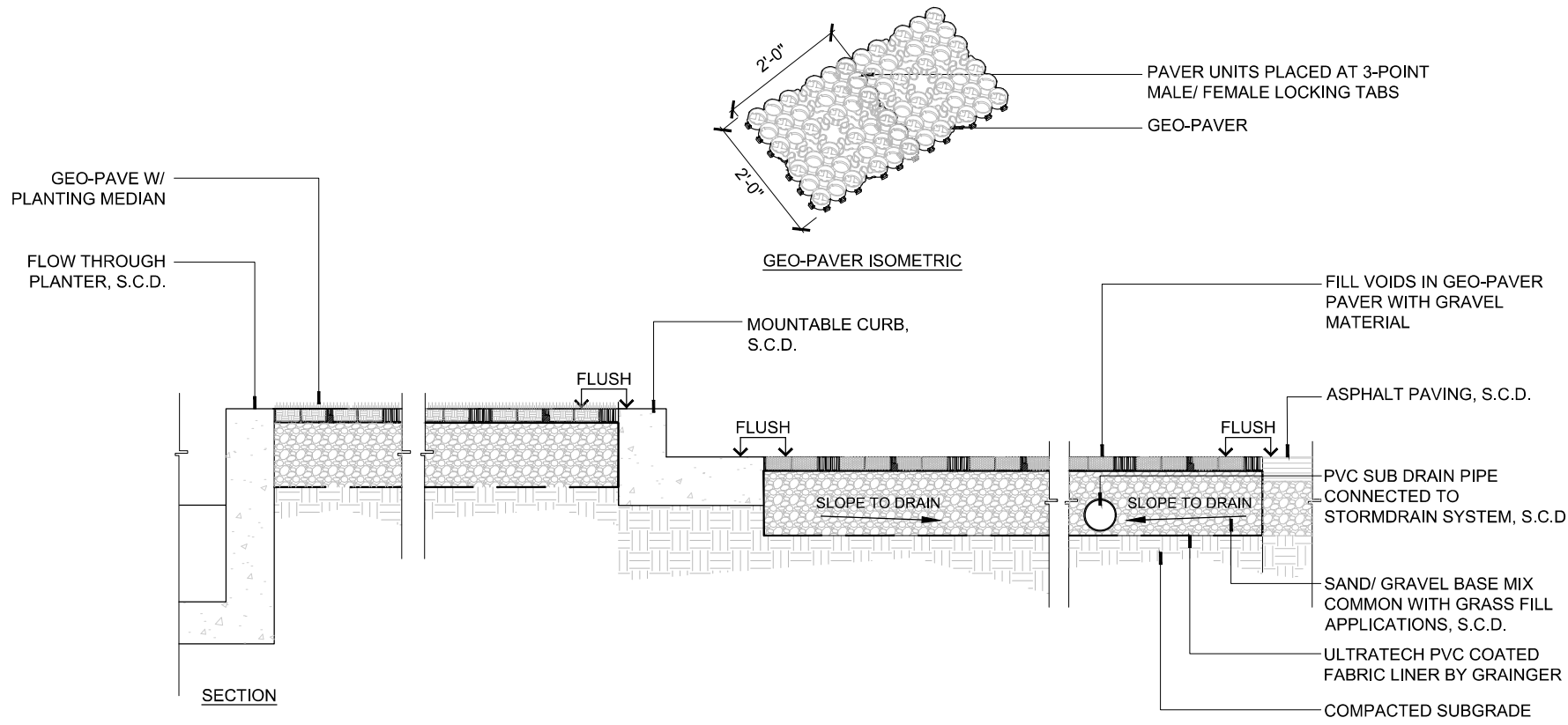
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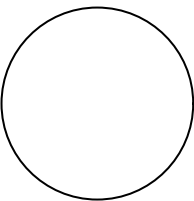
1 | GEO-PAVER

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file: AutoCAD Docx/122-387_333 Moffett Park Drive/22-387 333 moffett park drive.rvt
10/27/2023 2:10:20 PM

2025.07.17 SMP/MSPD SUBMITTAL
2025.04.23 SMP/MSPD SUBMITTAL
2024.12.20 SMP SUBMITTAL
2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

**LANDSCAPE
CONSTRUCTION
DETAILS**

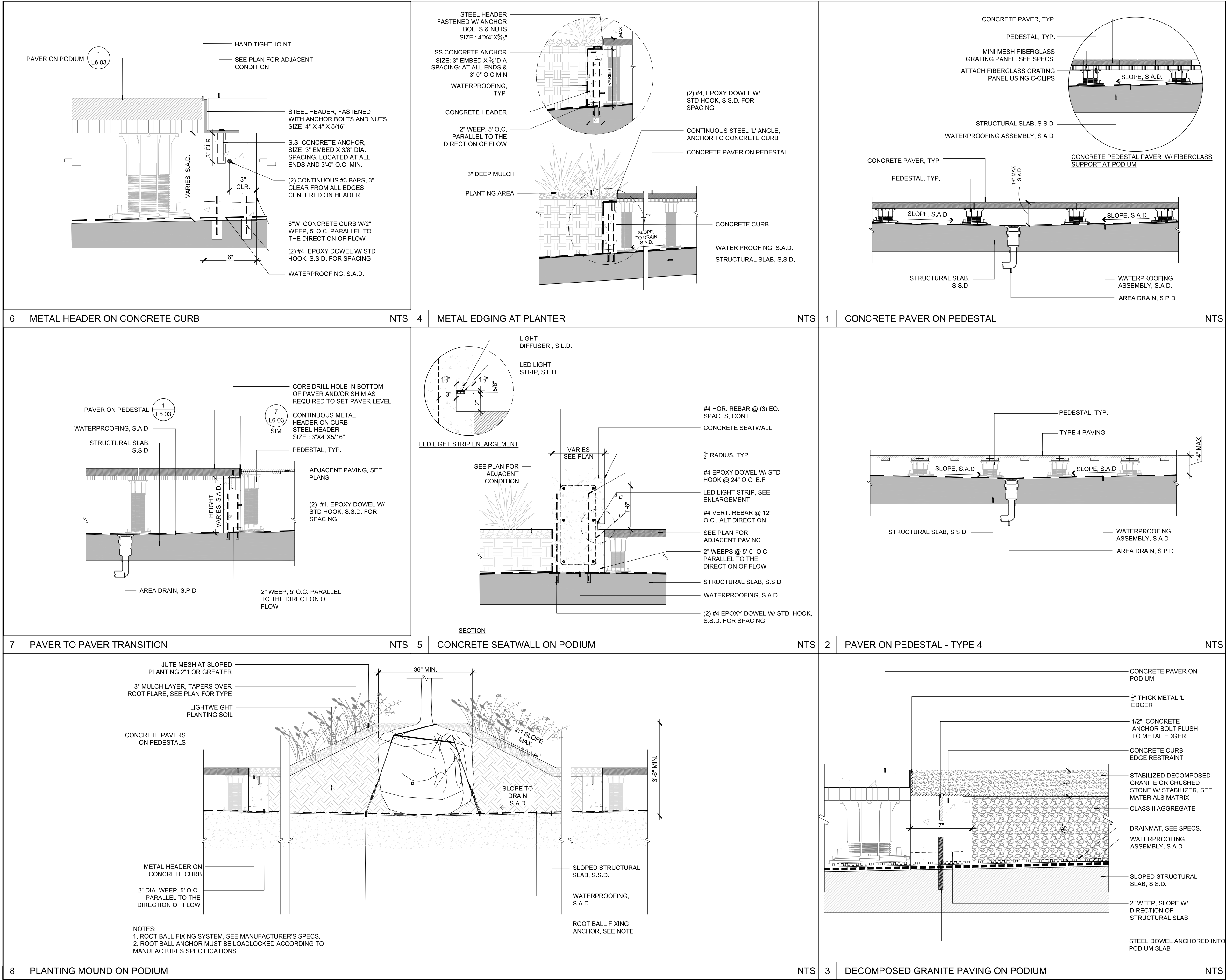
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L6.02

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2025.07.17	SNIP/MSDP SUBMITTAL	
2025.04.23	SNIP/MSDP SUBMITTAL	
2024.12.20	SNIP SUBMITTAL	
2024.06.14	100% SCHEMATIC DESIGN	
2023.11.03	90% SCHEMATIC DESIGN	
2023.10.12	SITE MASTER PLAN SUBMITTAL	

**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2024.12.20

**LANDSCAPE
CONSTRUCTION
DETAILS - PODIUM**

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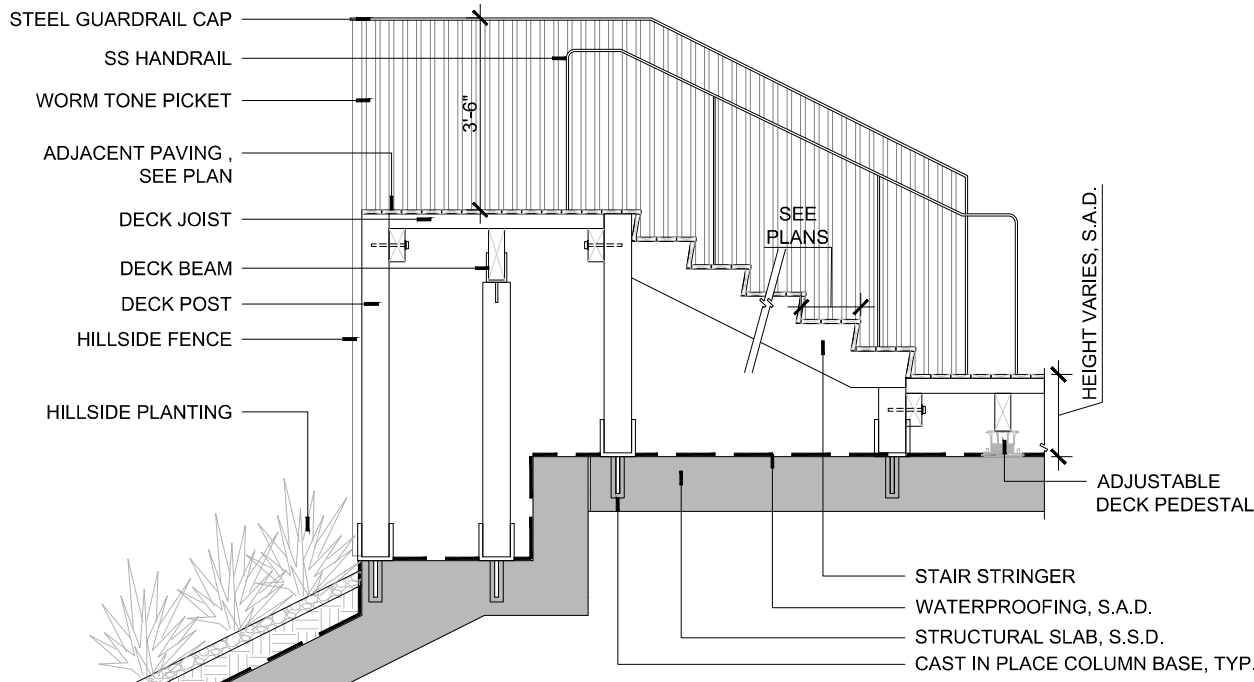
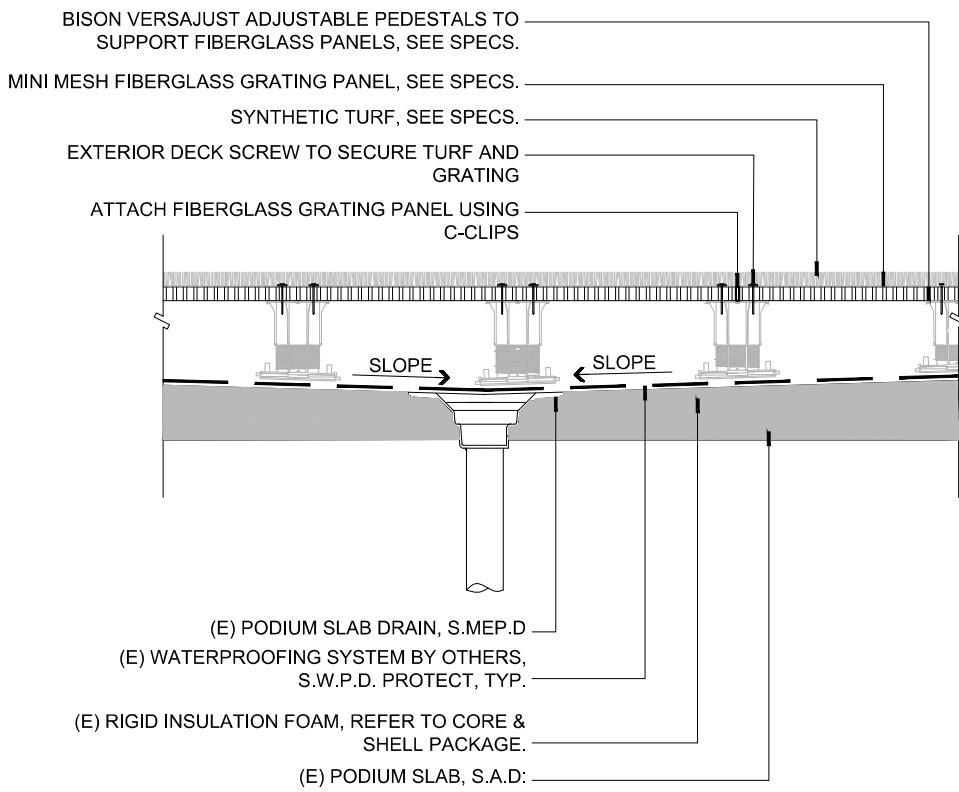
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- NOTES:
1. BENCH CONSTRUCTED WITH 6"X18" REDWOOD TIMBER
 2. HEAVY DUTY BOLTS TO BE THREADED THROUGH TIMBER MEMBERS

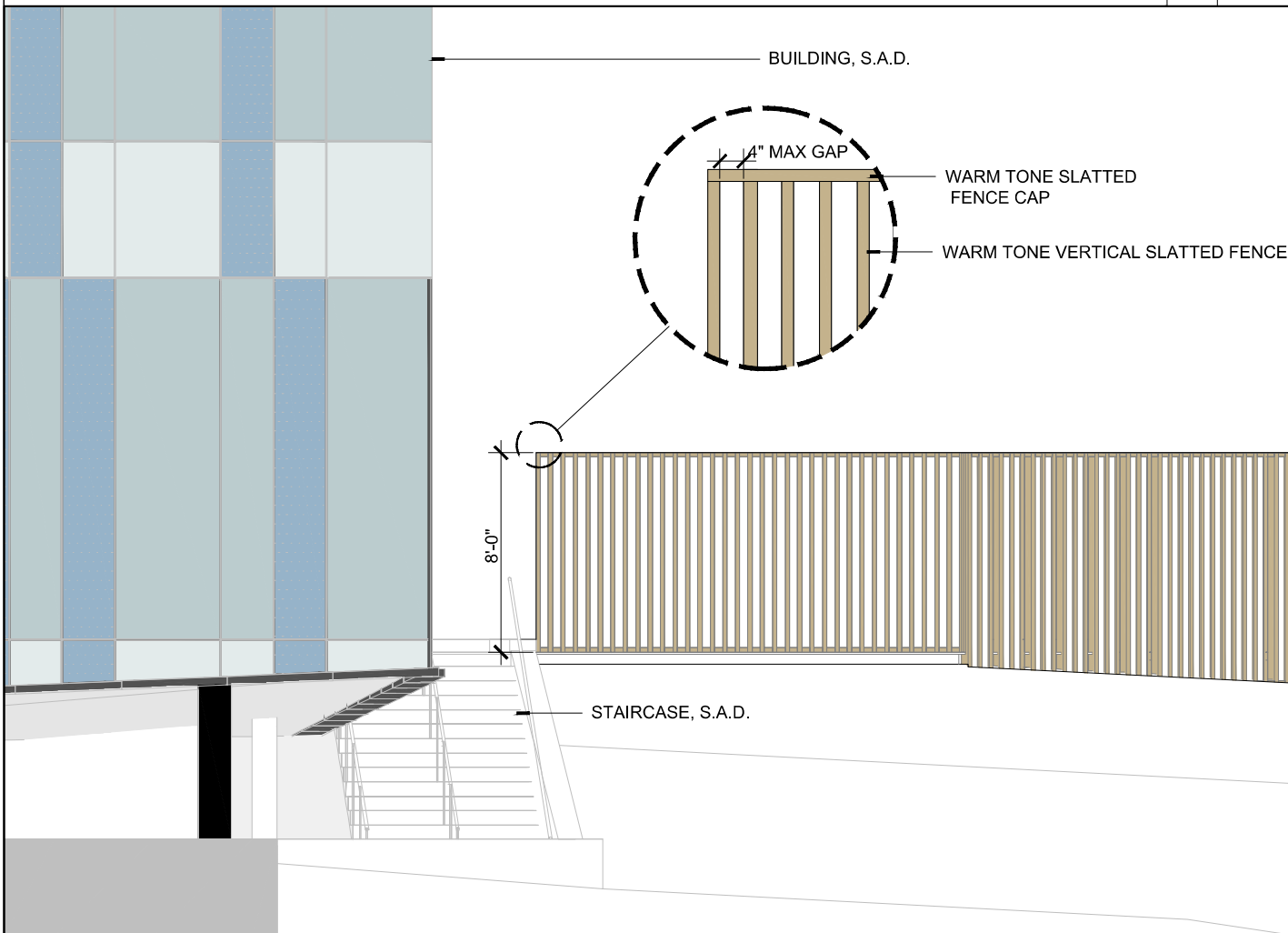
3 REMOVABLE SEAT BLOCKS

1 BENCH ON PODIUM



4 ARTIFICIAL TURF ON PODIUM

2 AMPHITHEATER

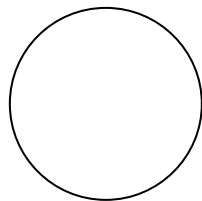


5 VERTICAL SLATTED FENCE

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2025.04.23 SMP/MSPO SUBMITTAL
2024.12.20 SMP SUBMITTAL
2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



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SUNNYVALE, CA 94089

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LANDSCAPE
CONSTRUCTION
DETAILS - PODIUM

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L6.04

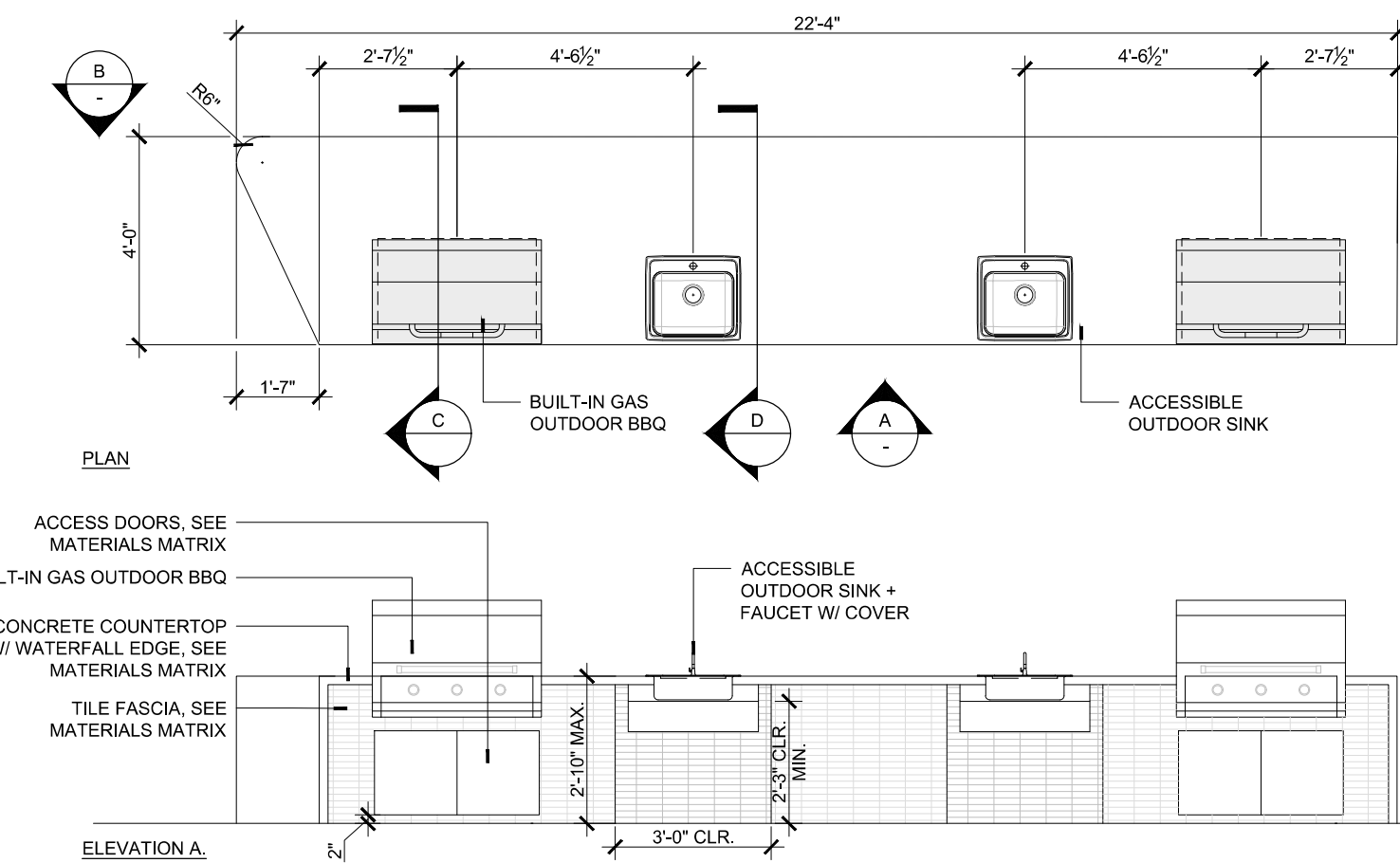
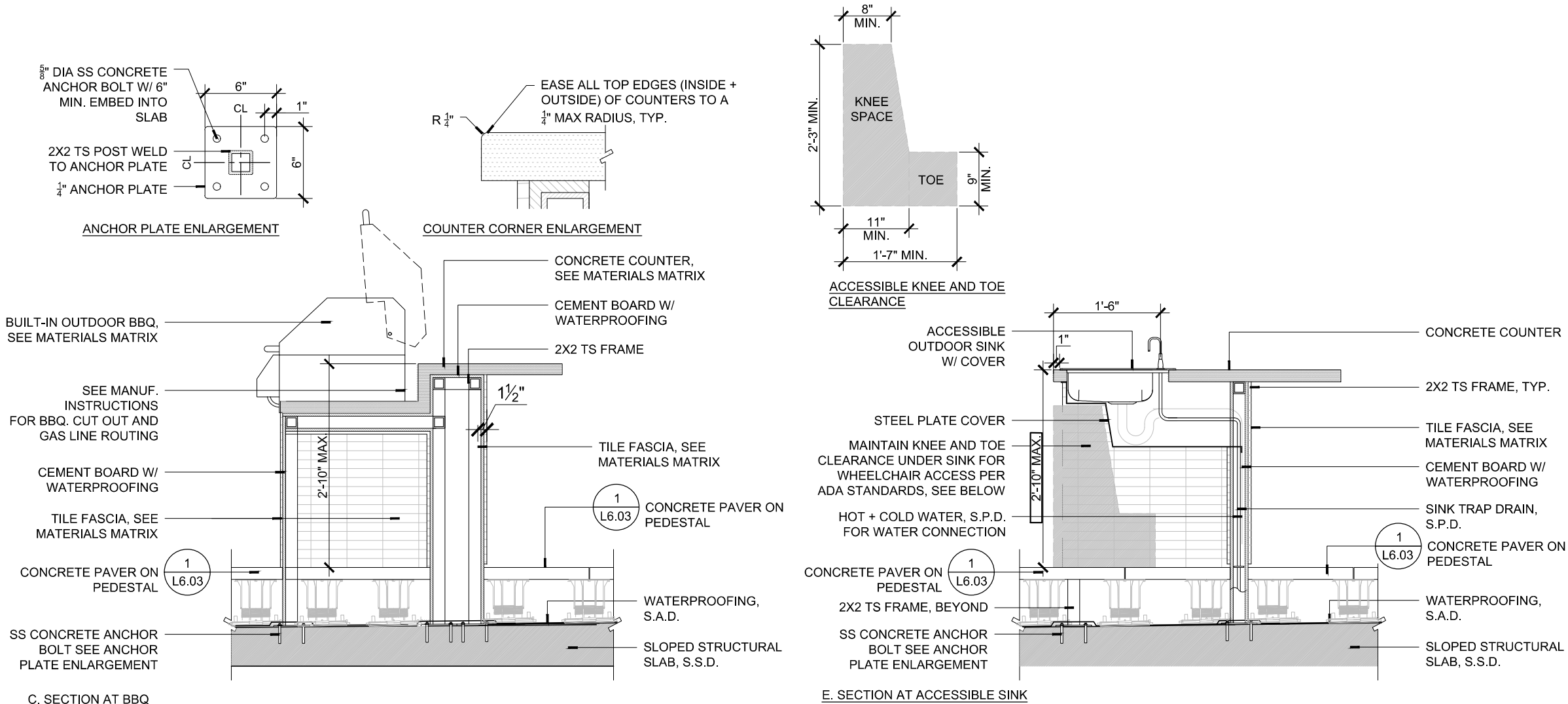
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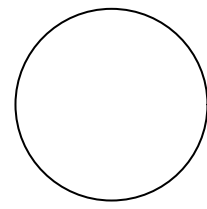
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2025.04.23 SMP/MSPD SUBMITTAL
2024.12.20 SMP SUBMITTAL
2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



333-385 MOFFETT PARK DRIVE
SUNNYVALE, CA 94089

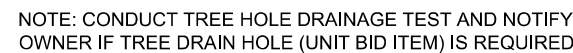
project number: 22-387
date: 2024.12.20

LANDSCAPE
CONSTRUCTION
DETAILS - PODIUM

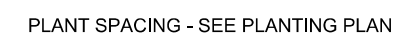


- FOR PLANT SPACING - SEE PLANTING PLAN

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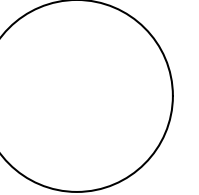
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date	issue description
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LANDSCAPE PLANTING DETAILS

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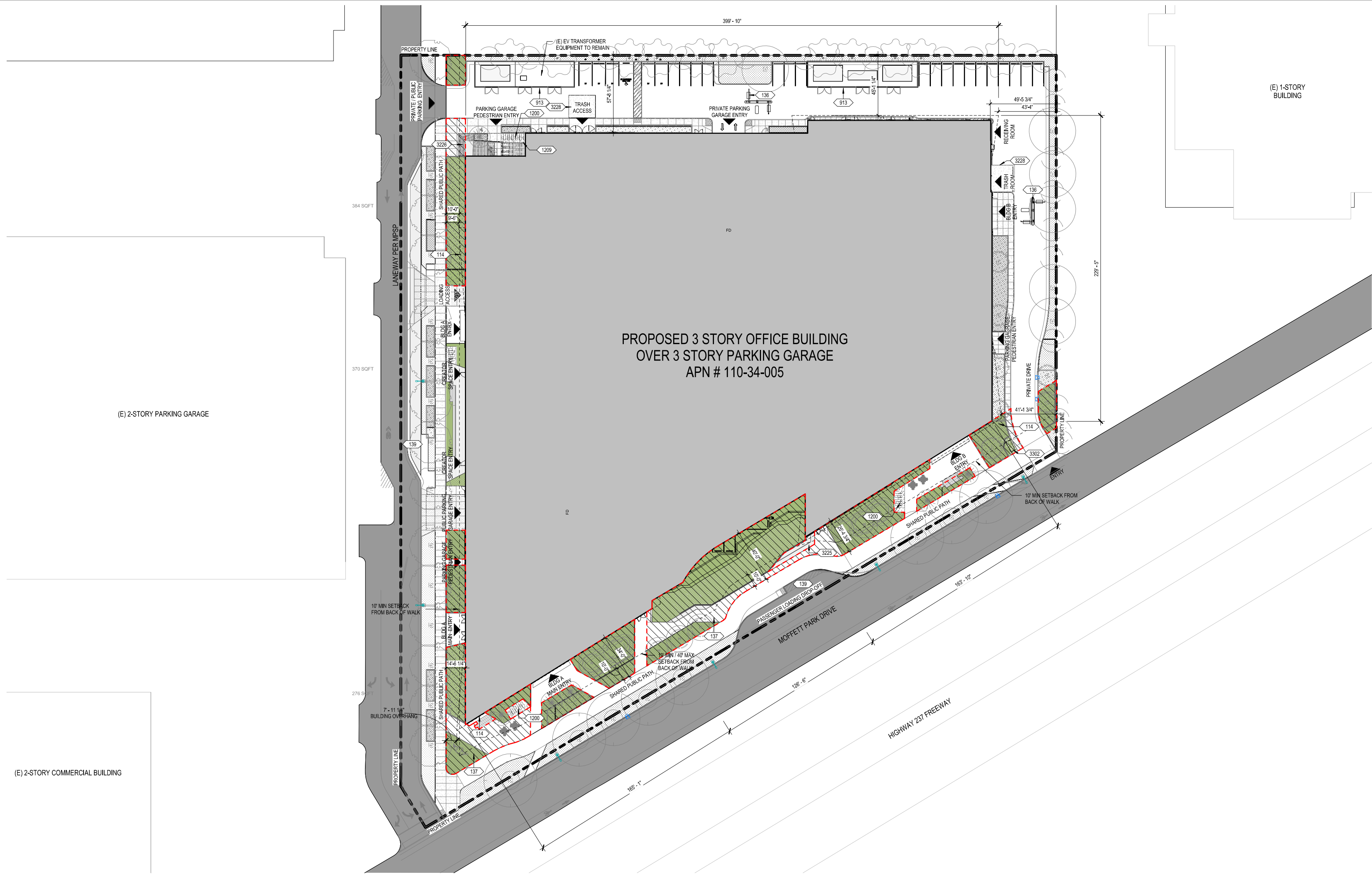
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(E) 2-STORY COMMERCIAL BUILDING

(E) 2-STORY PARKING GARAGE

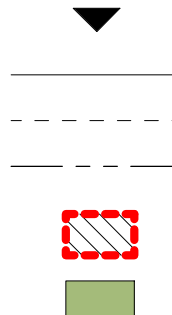
PROPOSED 3 STORY OFFICE BUILDING
OVER 3 STORY PARKING GARAGE
APN # 110-34-005



1/32" = 1'-0"

1 SITE PLAN

1. NO WORK IS TO BE DONE IN AREAS MARKED "N.J.C.", U.O.N.
2. GC SHALL REFER TO OWNER PROVIDED TOPOGRAPHICAL SURVEY, GEOTECHNICAL AND/OR ENVIRONMENTAL REPORT(S), DRY UTILITIES AND SHORING DRAWINGS OR SIM, SUCH DOCUMENTS ARE N.J.C. BY ARCHITECT BUT SHALL REFERED TO FOR COORDINATION



BUILDING MAIN ENTRY

BUILDING OUTLINE

EASEMENT LINE

PROPERTY LINE

17,256 SF SETBACK CHARACTER AREA
MINIMUM 80% LANDSCAPE AREA = 13,865 SF MIN. REQ.

14,004 SF LANDSCAPE AREA PROVIDED

* 5.2.2 BUILDING SETBACKS

C. GROUND FLOOR OFFICE, WHERE GROUND FLOOR OFFICE SPACE IS PROVIDED, THE SETBACK CHARACTER SHOULD ENHANCE THE PUBLIC REALM THROUGH LANDSCAPING, PRIVATE OPEN SPACE AREAS, AND GRADE SEPARATION. BUILDING SETBACK AREAS ABUTTING GROUND FLOOR OFFICE USES SHALL BE A MINIMUM 80% LANDSCAPE AREA.

* THE FOLLOWING GROUND FLOOR PROJECTIONS AND INTRUSIONS INTO THE SETBACK AREA SHALL BE EXCLUDED FROM CALCULATIONS: BUILDING ENTRIES, SEATING AREAS WITH DIRECT ACCESS TO INTERIOR SPACES, RESIDENTIAL PORCHES/BALCONIES, PUBLIC ART, DRIVEWAYS, BIKE PARKING

KEYNOTE TAG

- 114 BUILDING OVERHANG ABOVE
- 136 PARKING ACCESS CONTROL ARMS/ GATES
- 137 PUBLIC SEATING PARK, S.L.D.
- 139 VEHICLE DROPOFF, S.C.D.
- 913 PRE-FINISHED METAL PANEL, FINISH TO MATCH METAL PANEL FACADE (MTL-1), 6'-0" HIGH (ESTIMATED), FINAL HEIGHT BASED ON TRANSFORMER EQUIPMENT HEIGHT.
- 1200 BIKE RACK, S.L.D.
- 1209 BIKE REPAIR STATION
- 3225 CONCRETE RETAINING WALL AND BENCH, HIGH QUALITY ARCHITECTURAL CONCRETE, S.L.D.
- 3226 MONOLITHIC CONCRETE STAIR, HIGH QUALITY ARCHITECTURAL CONCRETE
- 3228 CONCRETE STRESS PAD, S.C.D.
- 3302 BFP, S.C.D.

- 2025.07.29 SMP SUBMITTAL REV-03
- 2025.07.29 MSDP SUBMITTAL REV-02
- 2025.04.30 SMP SUBMITTAL REV-01
- 2025.04.30 MSDP SUBMITTAL REV-01
- 2025.01.20 SMP SUBMITTAL
- 2023.11.03 90% SCHEMATIC DESIGN
- 2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

SITE PLAN

A1.01

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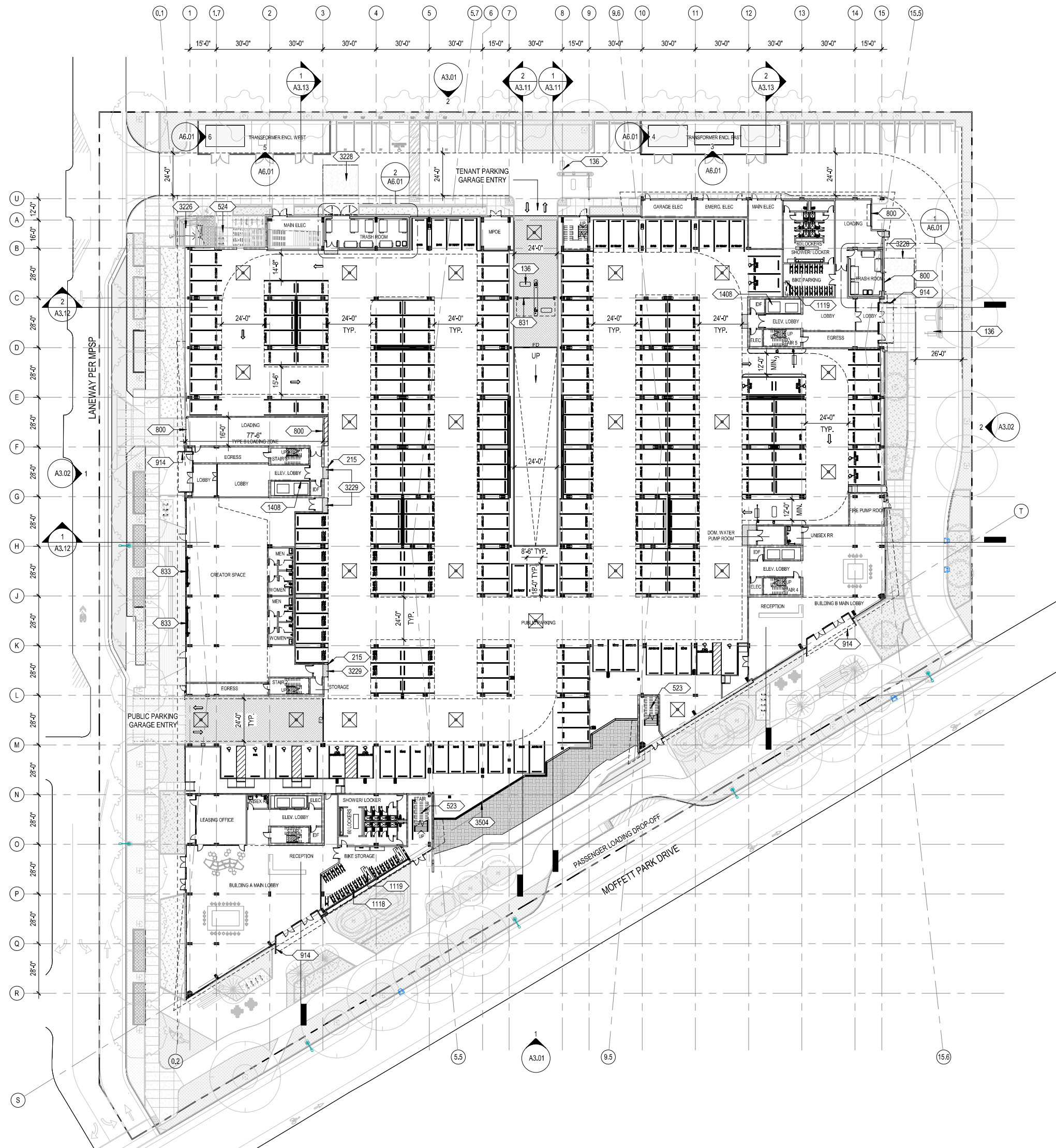
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1/32" = 1'-0"

1 FLOOR PLAN - LEVEL 1/P1

- A-01A PARTITION TAG
- ◇ CH 000 CURTAIN WALL TAG
- TRUNCATED DOMES
- CONCRETE WALL
- 1 HR. FIRE RATED WALL CONSTRUCTION
- 2 HR. FIRE RATED WALL CONSTRUCTION
- FIRE EXTINGUISHING CABINET, SEE FEC TABLE
- FD FLOOR DRAIN
- AREA DRAIN
- FD LINEAR DRAIN
- ROOF DRAIN
- TRAFFIC COATING AREA
- FIRE EXTINGUISHER CABINET TYPES
- FEC-A SURFACED MOUNTED
- FEC-B SEMI-RECESS MOUNTED
- FEC-C RECESS MOUNTED

FLOOR PLAN LEGEND

0000 KEYNOTE TAG

- 136 PARKING ACCESS CONTROL ARMS/ GATES
- 215 CONCRETE FILLED STEEL STAIRS
- 524 STEEL STAIR WITH PRECAST CONCRETE STAIR TREADS.
- 800 ROLLUP DOOR
- 831 OVERHEAD COILING SECURITY GRILLE, HIGH SPEED OPERATION
- 833 VERTICALLY OPERATING ALUMINUM AND IGU GARAGE DOOR, FINISH TO MATCH CURTAIN WALL FINISH.
- 914 METAL PANEL ENTRY PORTAL, FINISH TO MATCH CURTAIN WALL MULLION FINISH
- 1118 BIKE DECKER DOUBLE STACKING BIKE RACKS
- 1119 CARGO BIKE STORAGE ON LAMPACK, 1 OR 2 CARGO BIKES PER RACK AS SHOWN.
- 1408 GURNEY/ SERVICE ELEVATOR, ELEVATOR ON EMERGENCY POWER
- 3226 MONOLITHIC CONCRETE STAIR, HIGH QUALITY ARCHITECTURAL CONCRETE
- 3228 CONCRETE STRESS PAD, S.C.D.
- 3229 DETECTABLE WARNING
- 3504 CONCRETE WALL WITH HOT RUBBERIZED ASPHALTIC WATERPROOFING, S.S.D. LANDSCAPE AND FOAM BUILDUP ON STEPPED CONCRETE STRUCTURE, S.L.D.

KEYNOTE LEGEND

2025.07.29	SMP SUBMITTAL REV-03
2025.07.29	MSDP SUBMITTAL REV-02
2025.04.30	SMP SUBMITTAL REV-01
2025.04.30	MSDP SUBMITTAL REV-01
2025.01.20	SMP/MSDP SUBMITTAL
2023.11.03	90% SCHEMATIC DESIGN
2023.10.12	SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387

date: 2025.01.15

**FLOOR PLAN - LEVEL
1/P1**

A2.01

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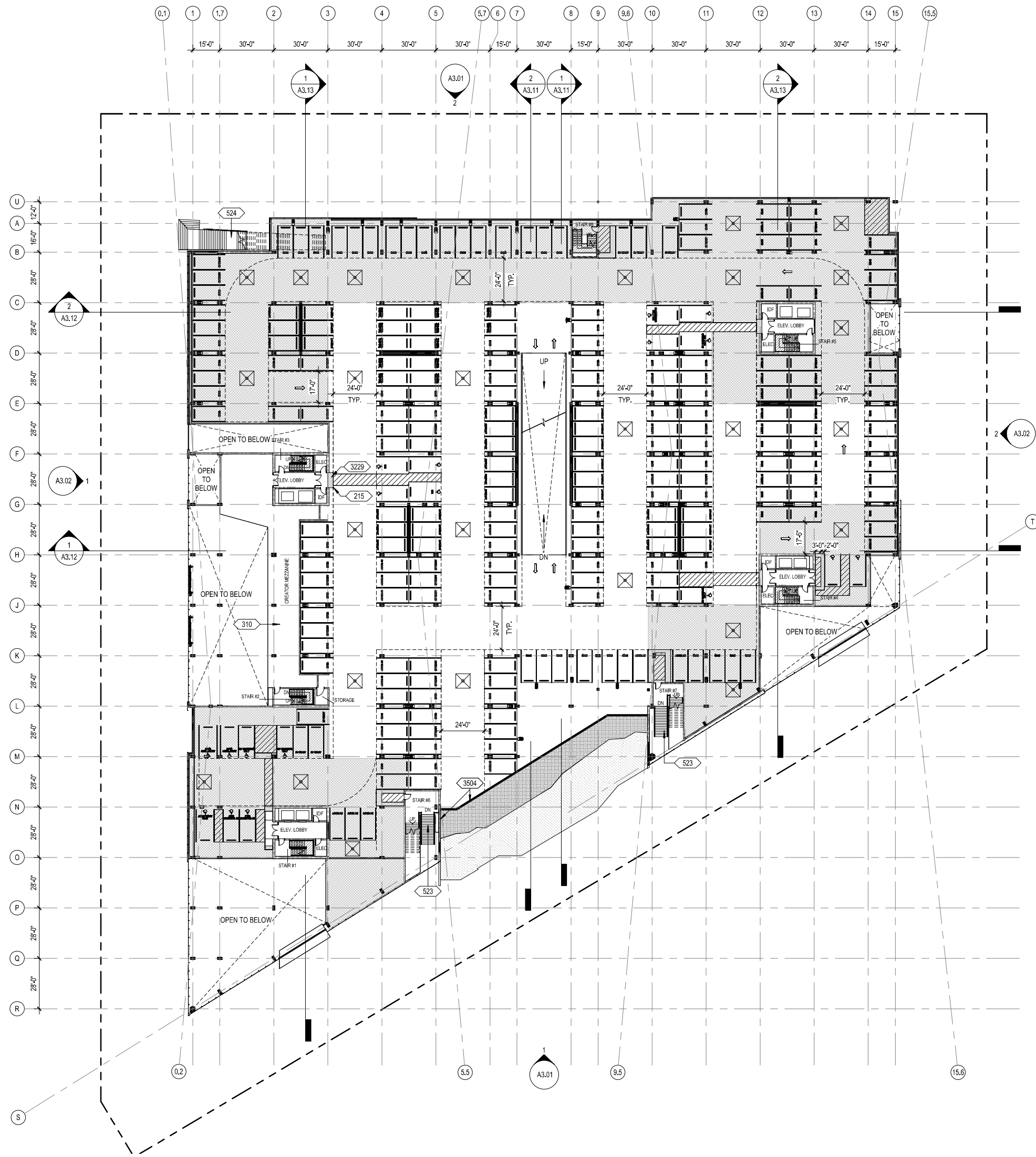
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1 FLOOR PLAN - LEVEL 1/P2



1/32" = 1'-0"

- FLOOR PLAN LEGEND**
- PARTITION TAG
 - CURTAIN WALL TAG
 - TRUNCATED DOMES
 - CONCRETE WALL
 - 1 HR. FIRE RATED WALL CONSTRUCTION
 - 2 HR. FIRE RATED WALL CONSTRUCTION
 - FIRE EXTINGUISHING CABINET, SEE FEC TABLE
 - FLOOR DRAIN
 - AREA DRAIN
 - LINEAR DRAIN
 - ROOF DRAIN
 - TRAFFIC COATING AREA
 - FIRE EXTINGUISHING CABINET TYPES**
 - FEC-A SURFACED MOUNTED
 - FEC-B SEMI-RECESS MOUNTED
 - FEC-C RECESS MOUNTED

- KEYNOTE LEGEND**
- KEYNOTE TAG
 - 215** CONCRETE SLAB FOR FUTURE MEZZANINE, S.S.D., RAILING AND FLOOR FINISH BY TENANT.
 - 310** CONCRETE FILLED STEEL STAIRS
 - 524** STEEL STAIR WITH PRECAST CONCRETE STAIR TREADS.
 - 322** DETECTABLE WARNINGS
 - 354** CONCRETE WALL WITH HOT RUBBERIZED ASPHALTIC WATERPROOFING, S.S.D. LANDSCAPE AND FOAM BUILDUP ON STEPPED CONCRETE STRUCTURE, S.L.D.

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMPI MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**FLOOR PLAN - LEVEL
1/P2**

A2.01.2

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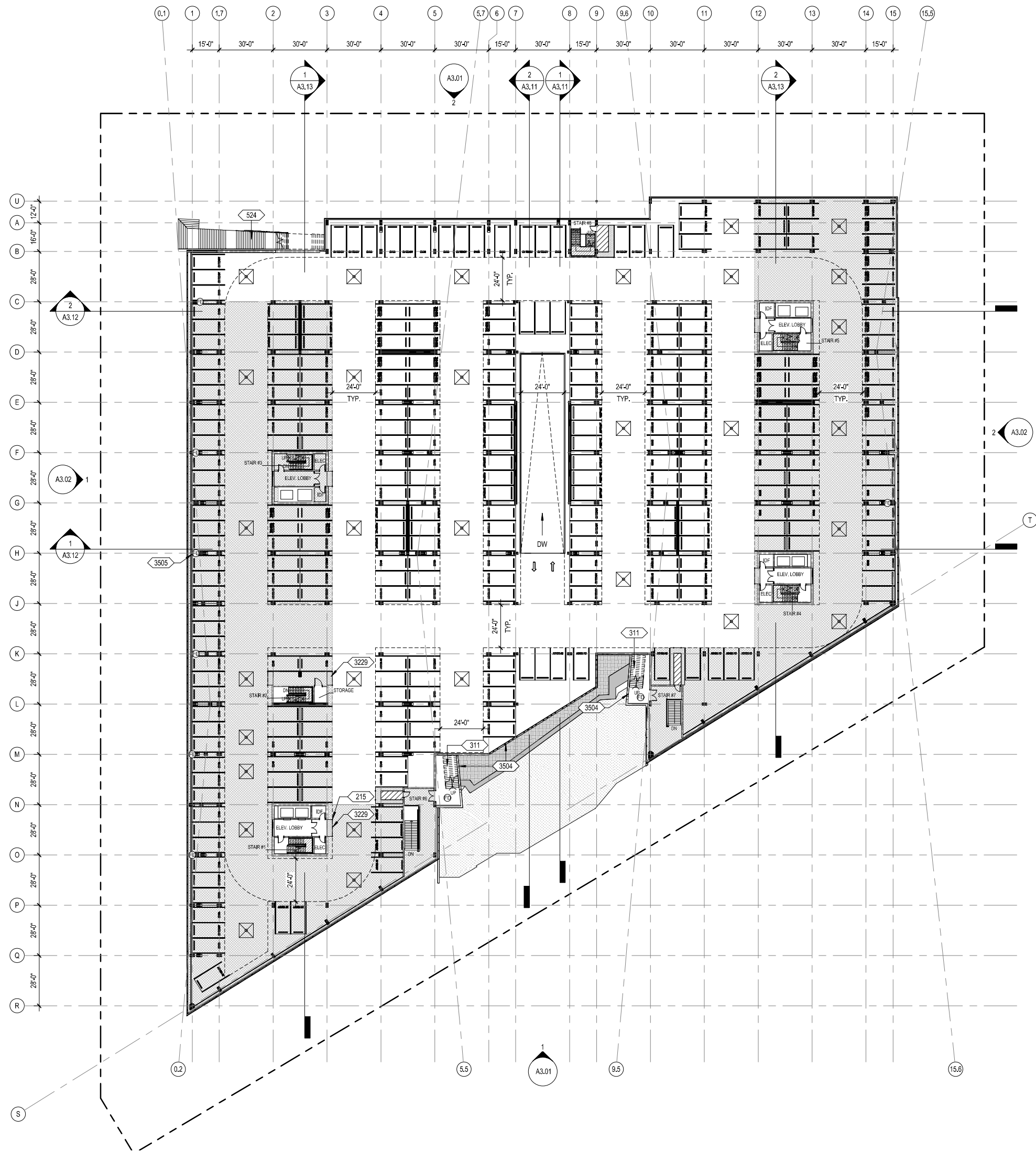
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1 FLOOR PLAN - LEVEL 1/P3



1/32" = 1'-0"

	PARTITION TAG
	CURTAIN WALL TAG
	TRUNCATED DOMES
	CONCRETE WALL
	1 HR. FIRE RATED WALL CONSTRUCTION
	2 HR. FIRE RATED WALL CONSTRUCTION
	FIRE EXTINGUISHER CABINET, SEE FEC TABLE
	FLOOR DRAIN
	AREA DRAIN
	LINEAR DRAIN
	ROOF DRAIN
	TRAFFIC COATING AREA
FIRE EXTINGUISHER CABINET TYPES	
	SURFACED MOUNTED
	SEMI-RECESS MOUNTED
	RECESS MOUNTED

FLOOR PLAN LEGEND

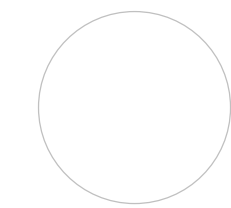
	KEYNOTE TAG
215	GALVANIZED STEEL STAIRS WITH PRECAST CONCRETE STAIR TREADS, S.L.D.
311	STEEL STAIR WITH PRECAST CONCRETE STAIR TREADS.
524	DETECTABLE WARNING
3229	CONCRETE WALL WITH HOT RUBBERIZED ASPHALTIC WATERPROOFING, S.S.D., LANDSCAPE AND FOAM BUILDUP ON STEPPED CONCRETE STRUCTURE, S.L.D.
3504	SLOPED CONCRETE TO DRAIN, 2" DROP, S.S.D.

KEYNOTE LEGEND

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2025.04.30	SMP SUBMITTAL REV-01
2025.04.30	MSDP SUBMITTAL REV-01
2025.01.20	SMP/MSDP SUBMITTAL
2023.11.03	90% SCHEMATIC DESIGN
2023.10.12	SITE MASTER PLAN SUBMITTAL

#	date	issue description
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**333-385 MOFFETT
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FLOOR PLAN - LEVEL
1/P3

A2.01.3

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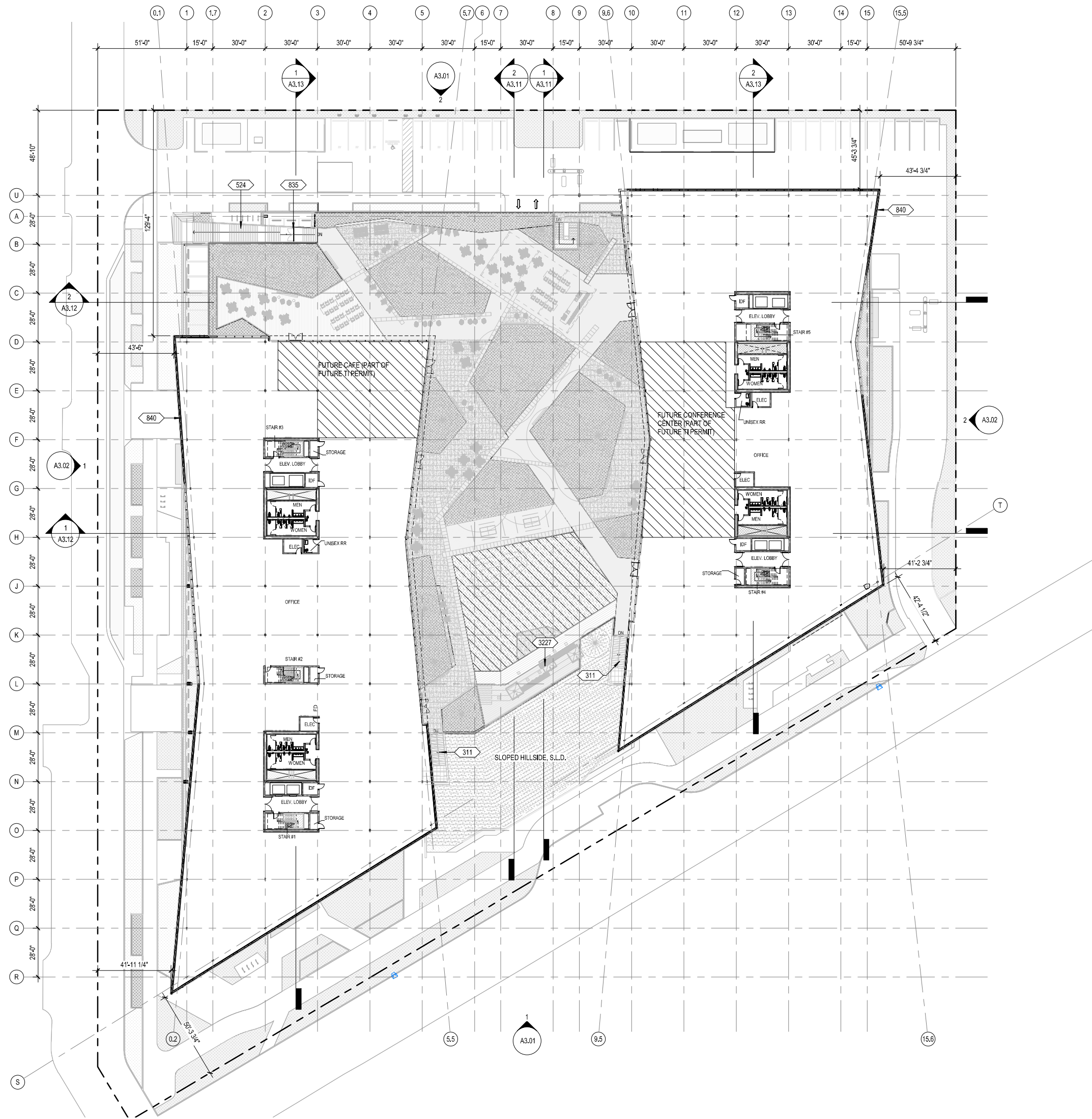
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1/32" = 1'-0"

1 FLOOR PLAN - LEVEL 2

- FLOOR PLAN LEGEND**
- PARTITION TAG
 - CURTAIN WALL TAG
 - TRUNCATED DOMES
 - CONCRETE WALL
 - 1 HR. FIRE RATED WALL CONSTRUCTION
 - 2 HR. FIRE RATED WALL CONSTRUCTION
 - FIRE EXTINGUISHING CABINET, SEE FEC TABLE
 - FLOOR DRAIN
 - AREA DRAIN
 - LINEAR DRAIN
 - ROOF DRAIN
 - TRAFFIC COATING AREA
 - FIRE EXTINGUISHER CABINET TYPES**
 - FEC-A SURFACED MOUNTED
 - FEC-B SEMI-RECESS MOUNTED
 - FEC-C RECESS MOUNTED

- KEYNOTE LEGEND**
- KEYNOTE TAG
 - 311 GALVANIZED STEEL STAIRS WITH PRECAST CONCRETE STAIR TREADS, S.L.D.
 - 524 STEEL STAIR WITH PRECAST CONCRETE STAIR TREADS.
 - 835 8FT TALL SECURITY GATES
 - 840 GLASS CURTAIN WALL, SEE ELEVATIONS FOR GLASS TYPE
 - 3227 WOOD DECK AND TIERED SEATING, S.L.D.

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-02
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP/MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**

SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**FLOOR PLAN - LEVEL
2**

A2.02

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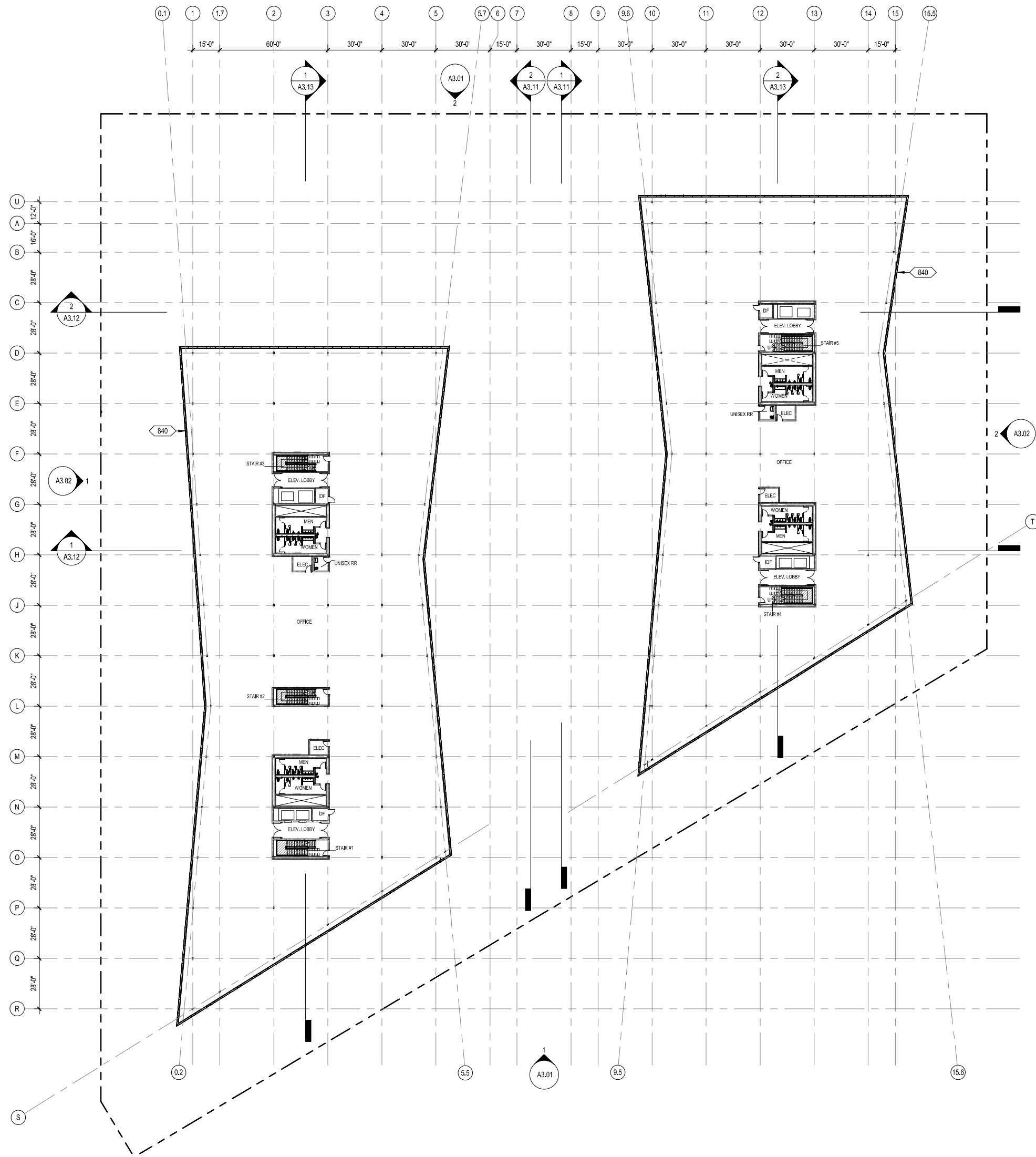
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1 FLOOR PLAN - LEVEL 4



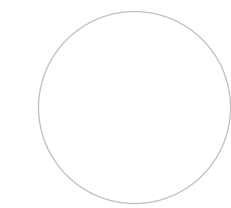
1/32" = 1'-0"

- FLOOR PLAN LEGEND**
- A3.01 PARTITION TAG
 - ◇ CH 000 CURTAIN WALL TAG
 - ▨ TRUNCATED DOMES
 - ▨ CONCRETE WALL
 - ▨ 1 HR. FIRE RATED WALL CONSTRUCTION
 - ▨ 2 HR. FIRE RATED WALL CONSTRUCTION
 - FECE FIRE EXTINGUISHING CABINET, SEE FECE TABLE
 - FD FLOOR DRAIN
 - AREA DRAIN
 - FD LINEAR DRAIN
 - ROOF DRAIN
 - TRAFFIC COATING AREA
 - FIRE EXTINGUISHER CABINET TYPES**
 - FECA SURFACED MOUNTED
 - FECE SEMI-RECESS MOUNTED
 - FECC RECESS MOUNTED

- KEYNOTE LEGEND**
- 0000 KEYNOTE TAG
 - B40 GLASS CURTAIN WALL, SEE ELEVATIONS FOR GLASS TYPE

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



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SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

**FLOOR PLAN - LEVEL
3**

A2.03

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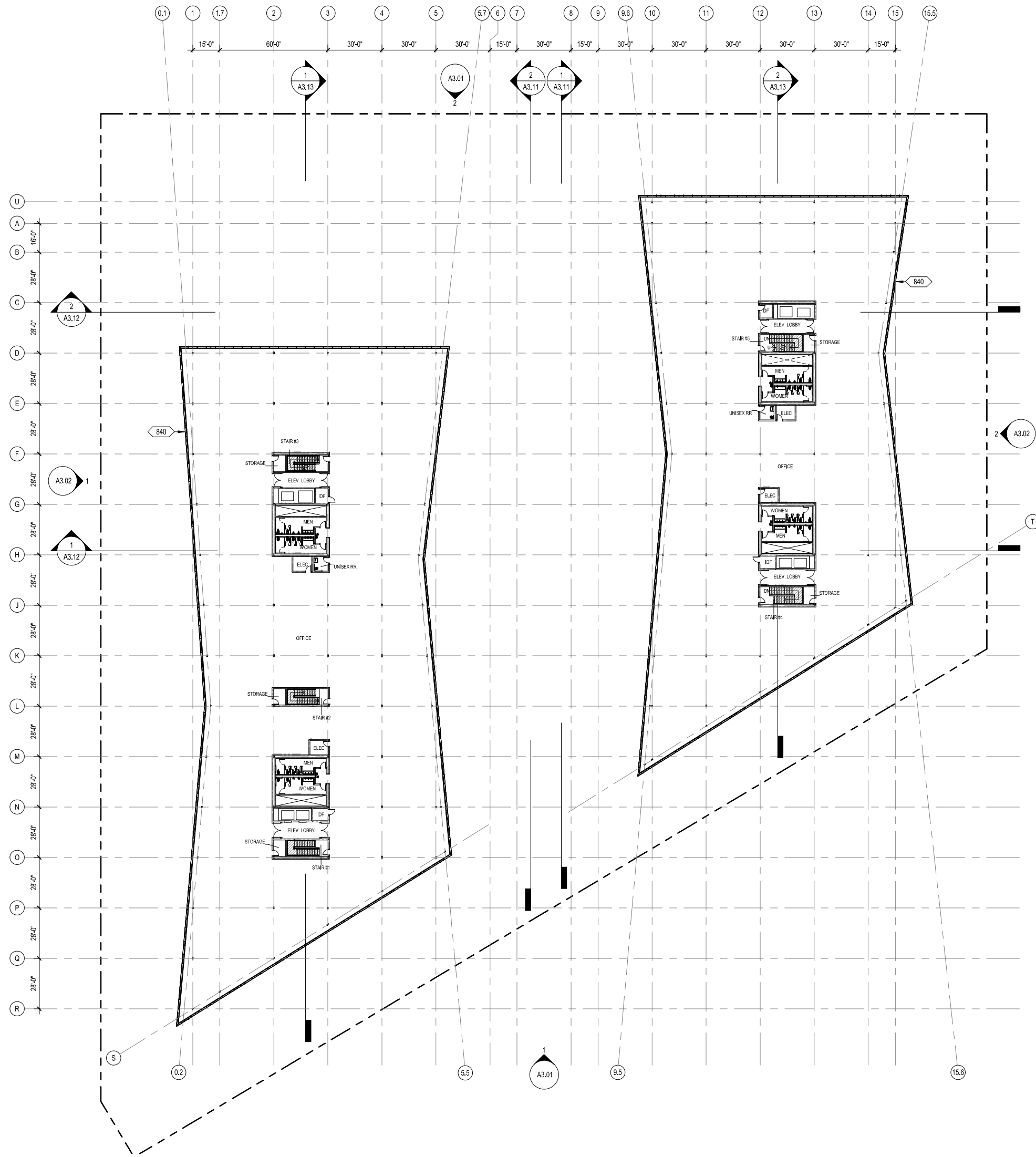
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1 FLOOR PLAN - LEVEL 5



1/32" = 1'-0"

- A3.01 PARTITION TAG
- ◇ CH 000 CURTAIN WALL TAG
- TRUNCATED DOMES
- CONCRETE WALL
- 1 HR. FIRE RATED WALL CONSTRUCTION
- 2 HR. FIRE RATED WALL CONSTRUCTION
- FEC FIRE EXTINGUISHING CABINET, SEE FEC TABLE
- FD FLOOR DRAIN
- AREA DRAIN
- FD LINEAR DRAIN
- ROOF DRAIN
- TRAFFIC COATING AREA
- FIRE EXTINGUISHER CABINET TYPES
- FEC-A SURFACED MOUNTED
- FEC-B SEMI-RECESS MOUNTED
- FEC-C RECESS MOUNTED

FLOOR PLAN LEGEND

- ◇ 0000 KEYNOTE TAG
- B40 GLASS CURTAIN WALL, SEE ELEVATIONS FOR GLASS TYPE

KEYNOTE LEGEND

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP/MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
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date issue description

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FLOOR PLAN - LEVEL
4

A2.04

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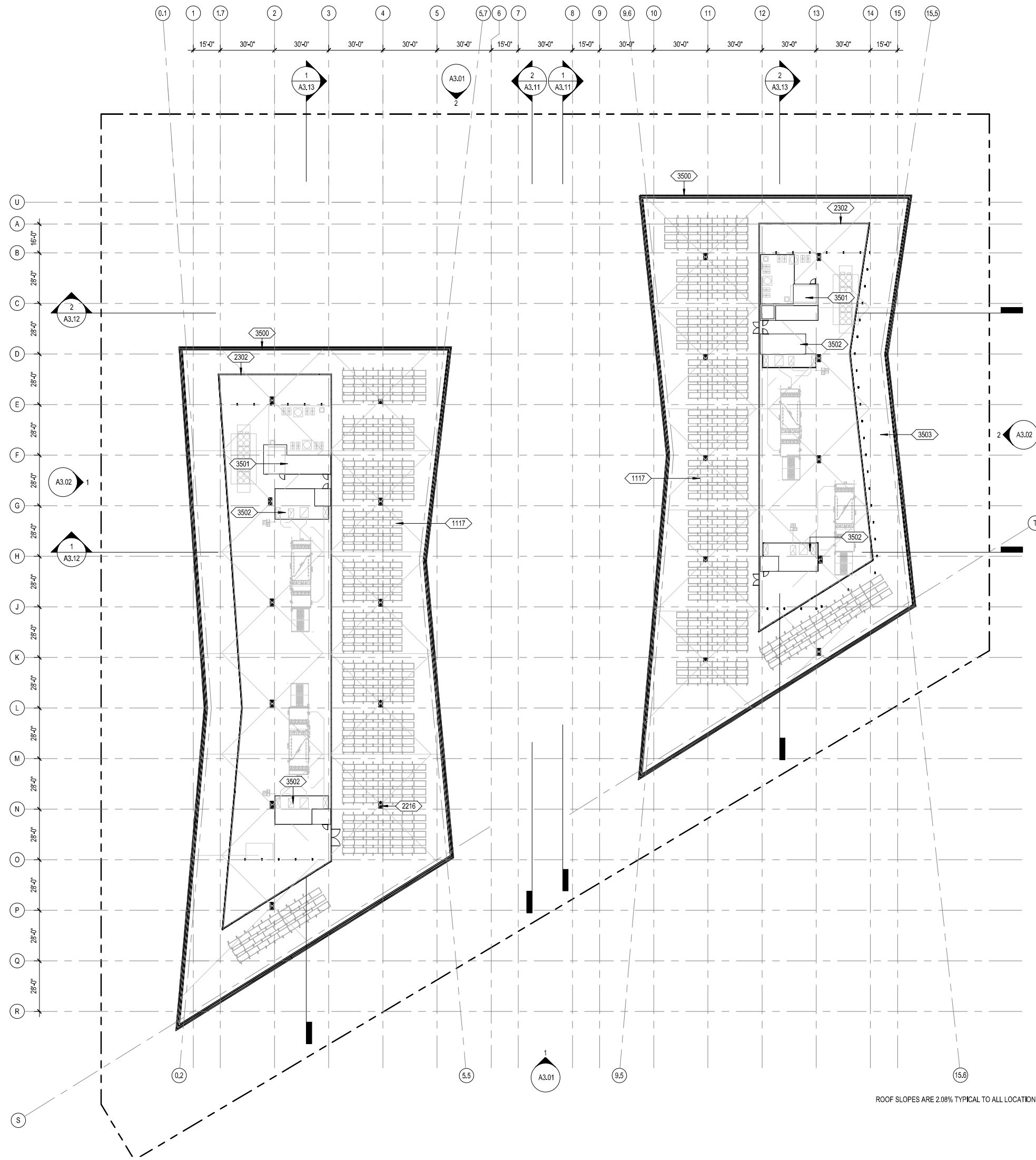
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1 FLOOR PLAN - ROOF LEVEL

1/32" = 1'-0"

- A3.01A PARTITION TAG
- ◇ CH 000 CURTAIN WALL TAG
- TRUNCATED DOMES
- CONCRETE WALL
- 1 HR. FIRE RATED WALL CONSTRUCTION
- 2 HR. FIRE RATED WALL CONSTRUCTION
- FIRE EXTINGUISHING CABINET, SEE FEC TABLE
- FD FLOOR DRAIN
- AREA DRAIN
- FD LINEAR DRAIN
- ROOF DRAIN
- TRAFFIC COATING AREA
- FIRE EXTINGUISHER CABINET TYPES
- FEC-A SURFACED MOUNTED
- FEC-B SEMI-RECESS MOUNTED
- FEC-C RECESS MOUNTED

FLOOR PLAN LEGEND

- 0000 KEYNOTE TAG
- 1117 SOLAR PANEL ARRAY. SEE ELECTRICAL NARRATIVE FOR REQUIREMENTS. GC TO INCLUDE ALL COMPONENTS OF SOLAR ARRAY INCLUDING STRUCTURAL SUPPORTS AND ELECTRICAL EQUIPMENT INFRASTRUCTURE.
- 2216 ROOF DRAIN & OVERFLOW, S.P.D.
- 2302 CORRUGATED METAL PANEL MECHANICAL SCREEN (10' TALL) ON PAINTED GALVANIZED STEEL STRUCTURE
- 3500 TOP OF CURTAIN WALL AND RECESSED PARAPET. SEE DETAILS ON ALOX
- 3501 TOP OF STAIR, ELECTRICAL AND EQUIPMENT ROOMS. CORRUGATED METAL PANEL WALLS, PARAPET AND CAPS. SINGLE PLY ROOFING TO TOP OF ROOMS
- 3502 TOP OF ELEVATOR OVERRUN AND MECHANICAL SHAFT. SINGLE PLY ROOFING AND WALLS
- 3593 SINGLE PLY ROOFING, WITH PRIMA TO STRUCTURAL PENETRATIONS, PROVIDE 1 ROOF DRAIN AND OVERFLOW PER STRUCTURAL BAY. 2.08% MIN SLOPE TO DRAIN. TYPICAL. ROOF DRAINS ARE STANDARD 8-LEVEL ROOF DRAINS.

KEYNOTE LEGEND

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2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMPI MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

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**FLOOR PLAN - ROOF
DECK**

A2.06

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A3.01

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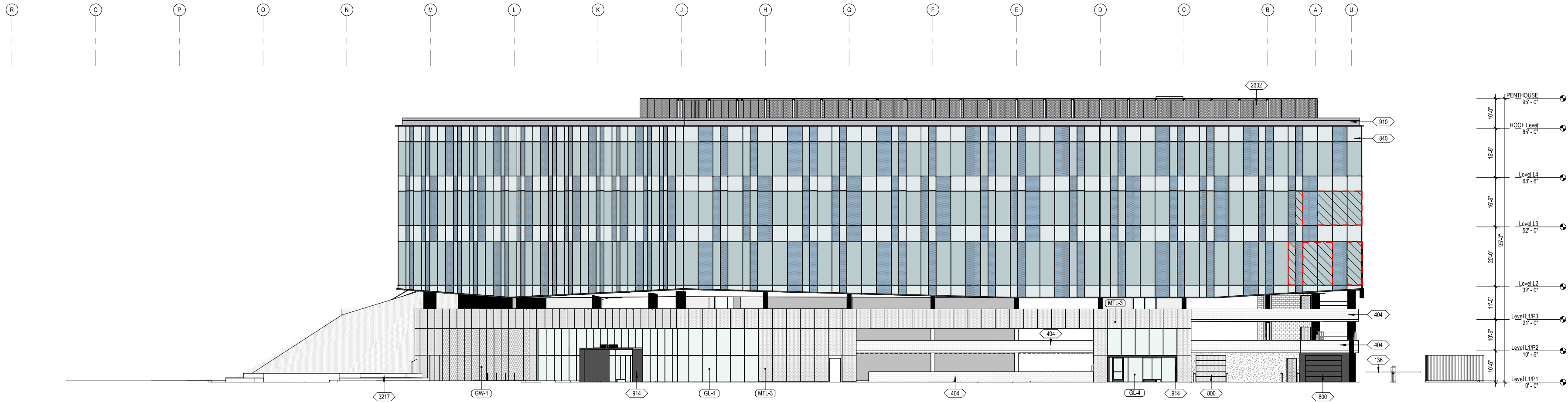
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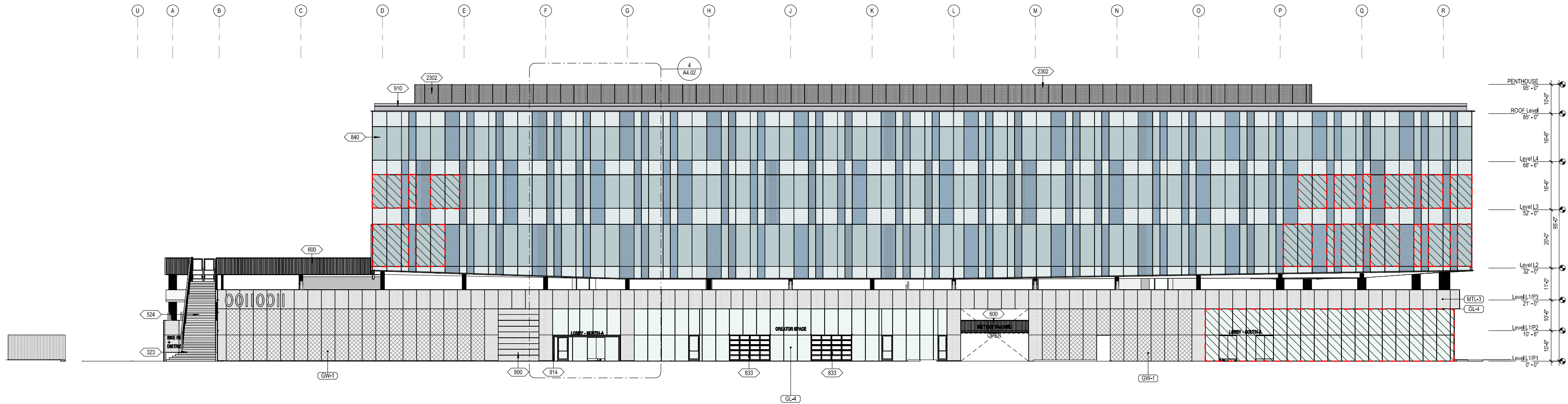
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2 EAST ELEVATION

1/16" = 1'-0"

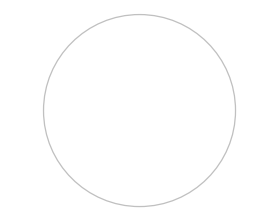


1 WEST ELEVATION

1/16" = 1'-0"

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2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMPI MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description



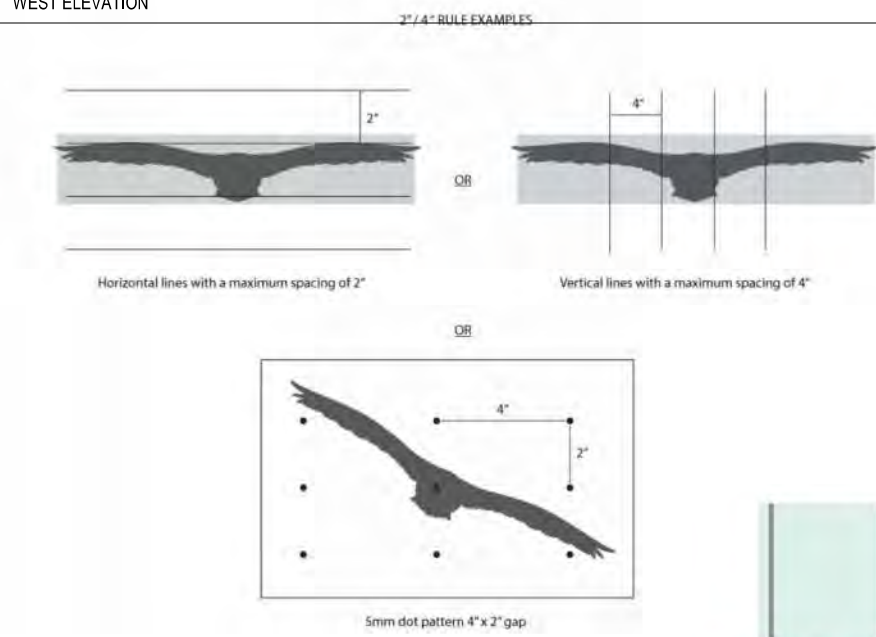
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project number: 22-387
date: 2025.01.15

**EAST / WEST
ELEVATION**

A3.02

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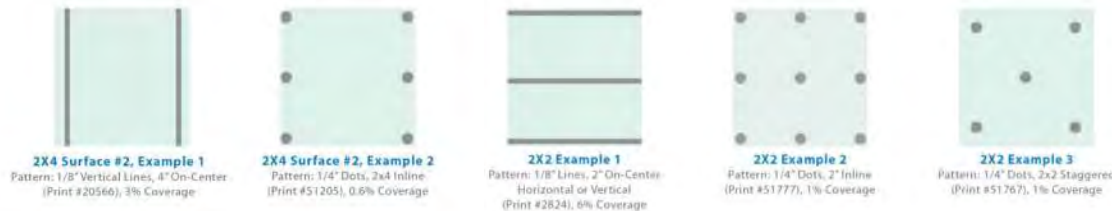


NOTE - GLASS BUILDING ENVELOPE IS DESIGNED AS 90% CLEAR TO OPAQUE RATIO FOR SOLAR HEAT GAIN REDUCTION. THEREFORE, ONLY CLEAR GLASS PANELS WOULD BE SUBJECT TO BIRD SAFE TREATMENT AS ASSESSED BELOW. OPAQUE GLASS PANELS ARE CONSIDERED TO COMPLY WITH BIRD-SAFE SURFACE TREATMENT REQUIREMENTS:

GLAZING ASSESSMENT OF PROJECT COMPLIANCE WITH THE CITY OF SUNNYVALE'S BIRD-SAFE * SEE AVIAN COLLISION RISK ASSESSMENT REPORT INCLUDED IN SUBMISSION TO SHOW COMPLIANCE WITH THE CITY'S BIRD-SAFE DESIGN REQUIREMENTS BASED ON ANALYSIS BY A QUALIFIED ORNITHOLOGIST WITH BIRD SAFETY EXPERTISE INDICATING THAT PROPOSED CONSTRUCTION WILL NOT POSE A HAZARD TO BIRDS.

AVIAN COLLISIONS WITH THE GLASS FACADES OF THE PROPOSED BUILDING ARE EXPECTED TO BE INFREQUENT DUE TO THE RELATIVELY LOW ABUNDANCE OF BIRDS IN THE VICINITY OF THE PROJECT SITE AS WELL AS THE USE OF BIRD-SAFE GLAZING ON THE BUILDING THAT WOULD REDUCE THE POTENTIAL FOR AVIAN COLLISIONS. THE PROJECT WOULD THEREFORE NOT RESULT IN THE LOSS OF A SUBSTANTIAL PROPORTION OF ANY SPECIES' SAN-AREA POPULATIONS OR ANY BAY-AREA BIRD COMMUNITY, EVEN IN THE ABSENCE OF BIRD-SAFE DESIGN, HOWEVER, AS DESIGNED, THE PROJECT WILL NOT COMPLY WITH ALL OF THE REQUIREMENTS IN THE CITY'S SPECIFIC PLAN AND BIRD-SAFE DESIGN GUIDELINES RELATED TO BIRD-SAFE DESIGN, AND WOULD BE REQUIRED TO EITHER MODIFY THE DESIGN TO COMPLY WITH THOSE REQUIREMENTS OR APPLY FOR A WAIVER (AS PERMITTED FOR SPECIFIC PLAN REQUIREMENTS) BASED ON THE SITE-SPECIFIC ANALYSIS CONTAINED HEREIN AND CONTINGENT ON APPROVAL BY THE PLANNING COMMISSION.

GLASS WITH APPLIED BIRD SAFE FITTING. SEE AVIAN COLLISION RISK ASSESSMENT.



MATERIAL TAG

CM-1 CONCRETE MASONRY UNIT, TYPE 1
GL-1 1" IGU VISION GLASS - REFER TO BOD
GL-2 1" IGU VISION GLASS WITH SHADOW BOX AND INSULATION - REFER TO BOD
GL-3 1" IGU SIMULATED ETCHED GLASS AND INSULATION - REFER TO BOD
GL-4 1" IGU VISION ULTRA CLEAR GLASS - REFER TO BOD
GW-1 CABLE NET FOR GREEN WALL
MTL-1 ALUMINUM, PTD.
MTL-2 CORRUGATED METAL PANEL, PTD.
MTL-3 ALUMINUM MESH, PTD.
MTL-4 METAL PANEL ON CONCRETE STEM WALL - PAINT TO MATCH
PL-1 DARK STUCCO ON METAL FRAMED WALL
PT-2 BLACK PAINT AT EXPOSED COLUMNS ON P3 LEVEL, LOBBIES AND PERIMETER

KEYNOTE TAG

136 PARKING ACCESS CONTROL ARMS/ GATES
323 PRECAST CONCRETE STAIR
404 CMU CHAIR WALL, PAINTED BLACK
524 STEEL STAIR WITH PRECAST CONCRETE STAIR TREADS.
600 WOOD SLAT RAILING ON METAL FRAME GUARDRAIL.
800 ROLL-UP DOOR
833 VERTICALLY OPERATING ALUMINUM AND IGU GARAGE DOOR, FINISH TO MATCH CURTAIN WALL FINISH.
840 GLASS CURTAIN WALL - SEE ELEVATIONS FOR GLASS TYPE
910 FRAMED PARAPET WALL WITH METAL PANEL FINISH TO MATCH MULLION PAINT
914 METAL PANEL ENTRY PORTAL, FINISH TO MATCH CURTAIN WALL MULLION FINISH
2302 CORRUGATED METAL PANEL MECHANICAL SCREEN (10' TALL) ON PAINTED GALVANIZED STEEL STRUCTURE
3217 CONCRETE BENCH, S.L.D.

MATERIAL LEGEND

KEYNOTE LEGEND

NOT FOR CONSTRUCTION

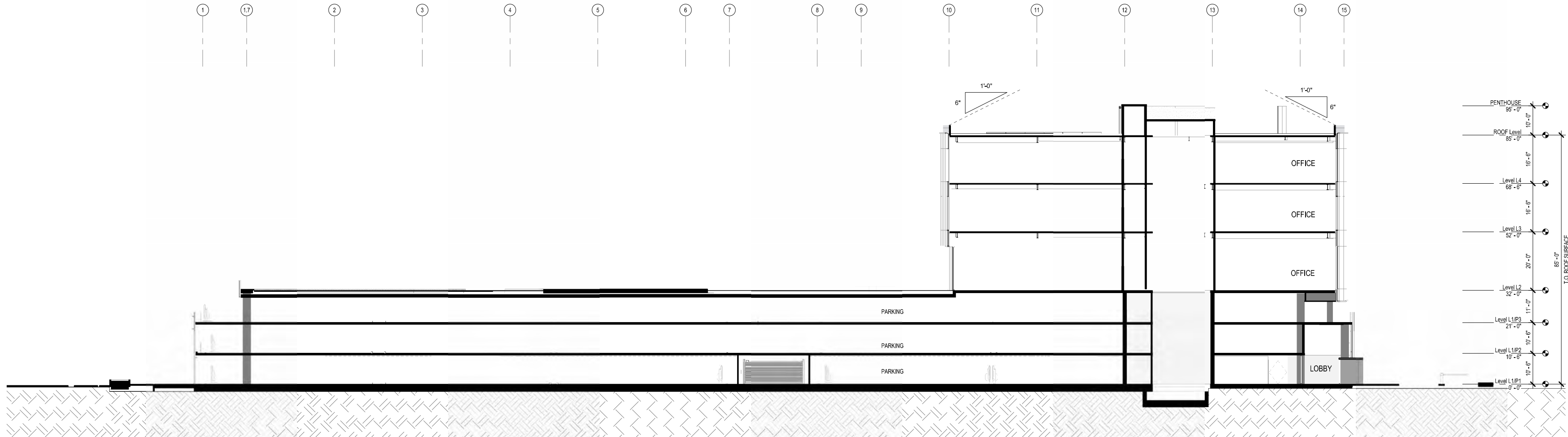
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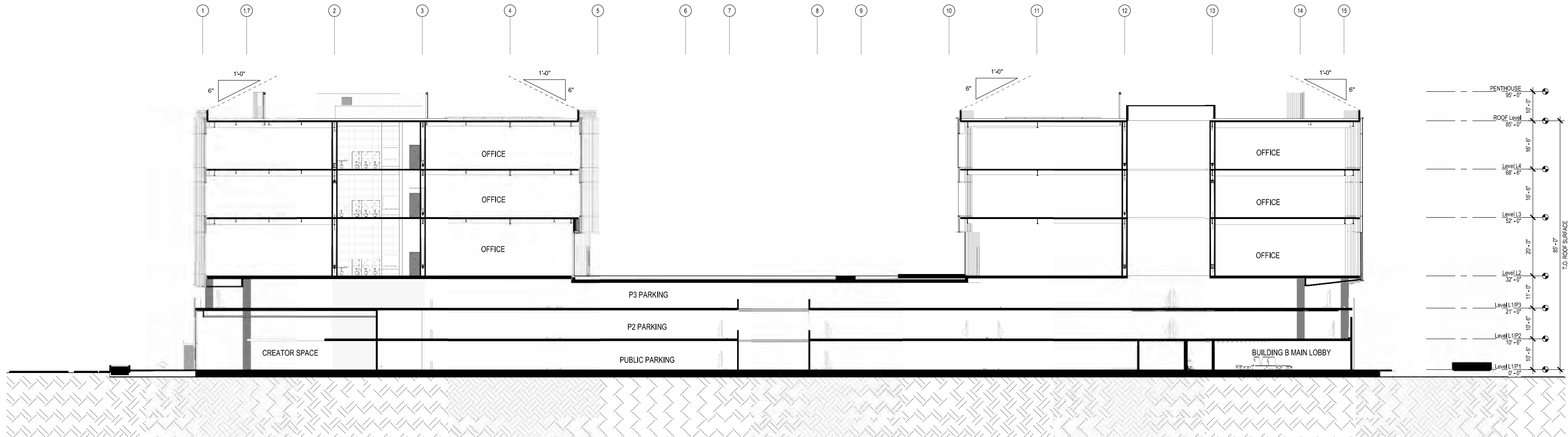
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2 BUILDING SECTION W-E BETWEEN GRIDS A.1 & B

1/16" = 1'-0"



1 BUILDING SECTION W-E BETWEEN GRIDS H & I

1/16" = 1'-0"

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP/MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

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BUILDING SECTIONS

A3.12

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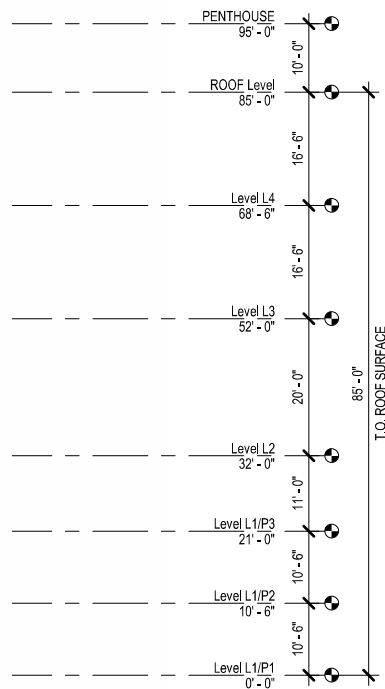
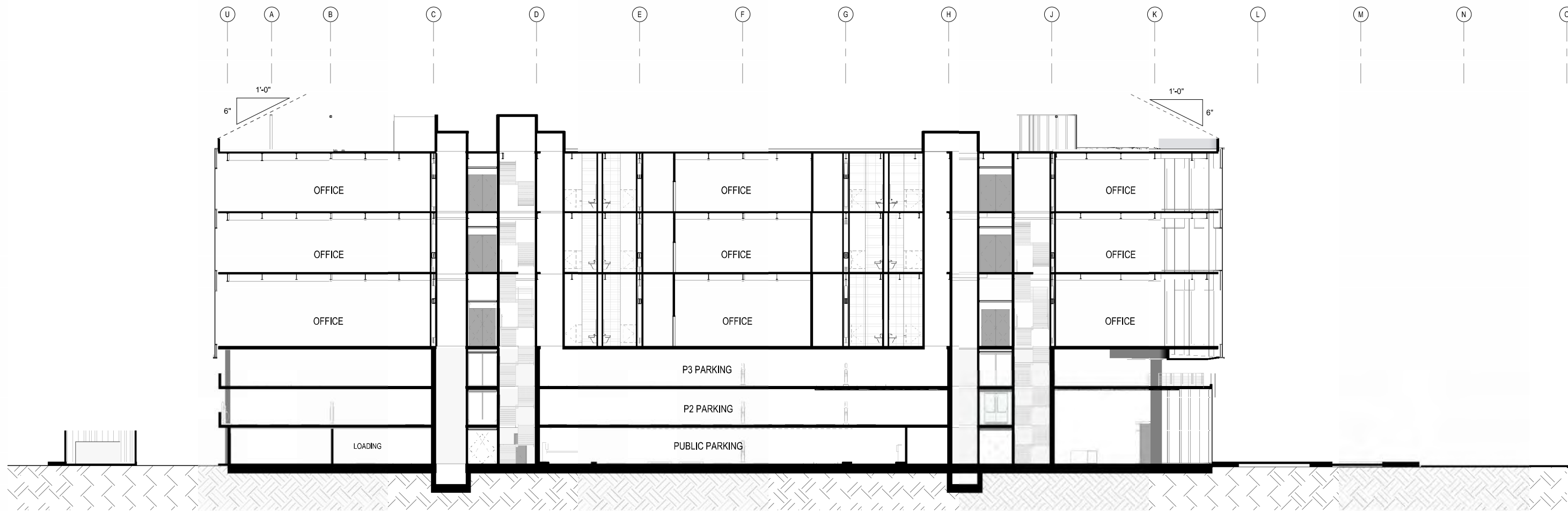
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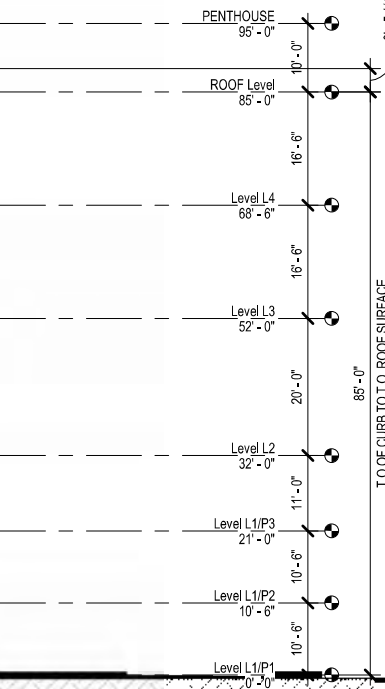
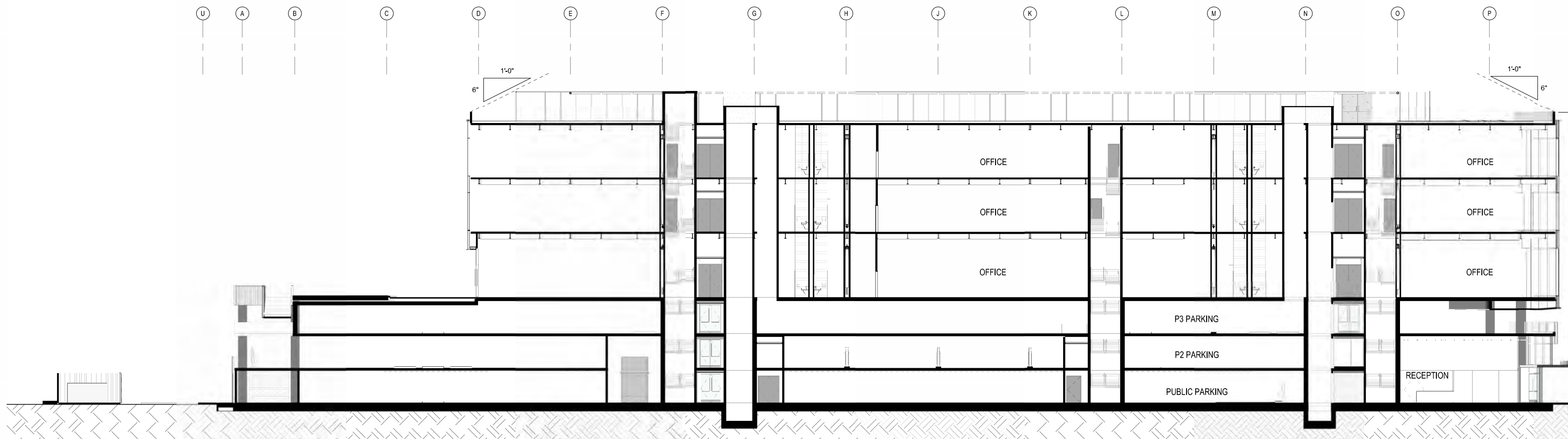
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2 BUILDING SECTION N-S BETWEEN GRIDS 12 & 13

1/16" = 1'-0"



1 BUILDING SECTION N-S BETWEEN GRIDS 2 & 3

1/16" = 1'-0"

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
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project number: 22-387
date: 2025.01.15

BUILDING SECTIONS

A3.13

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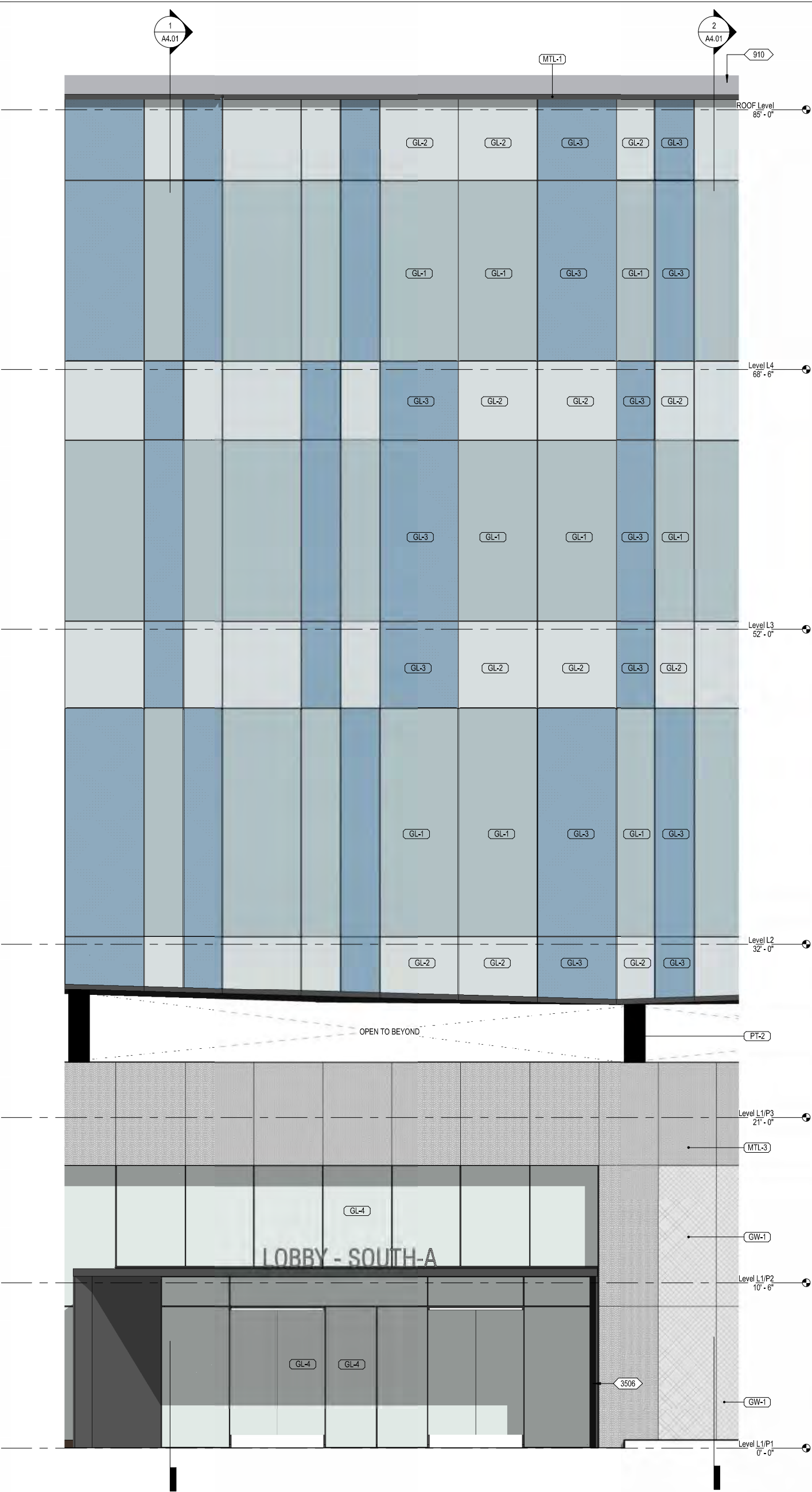
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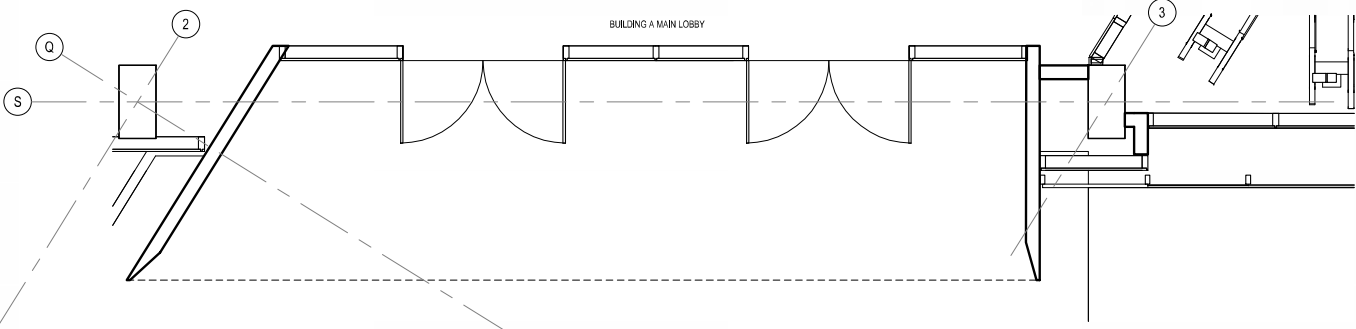
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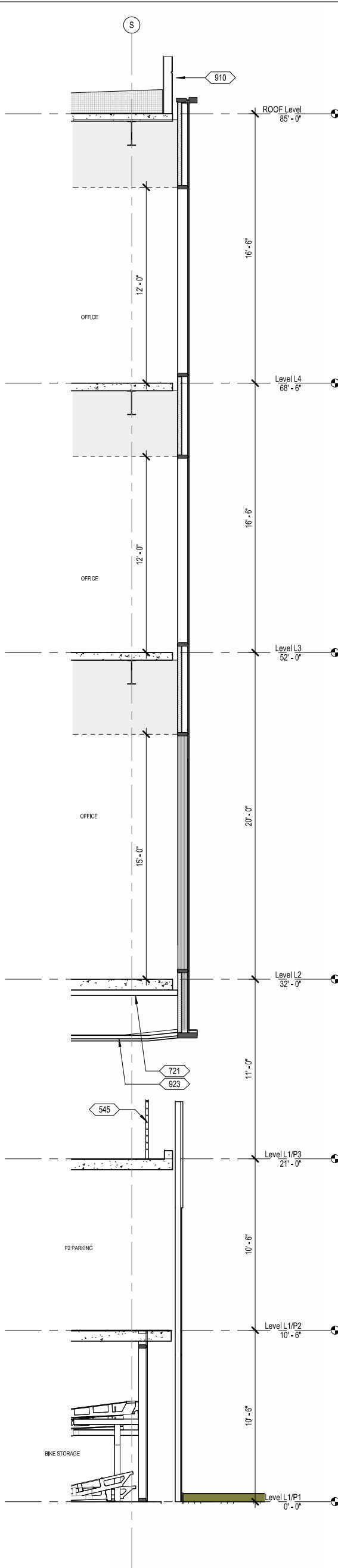
4 ENLARGED SOUTH ELEVATION

1/4" = 1'-0"

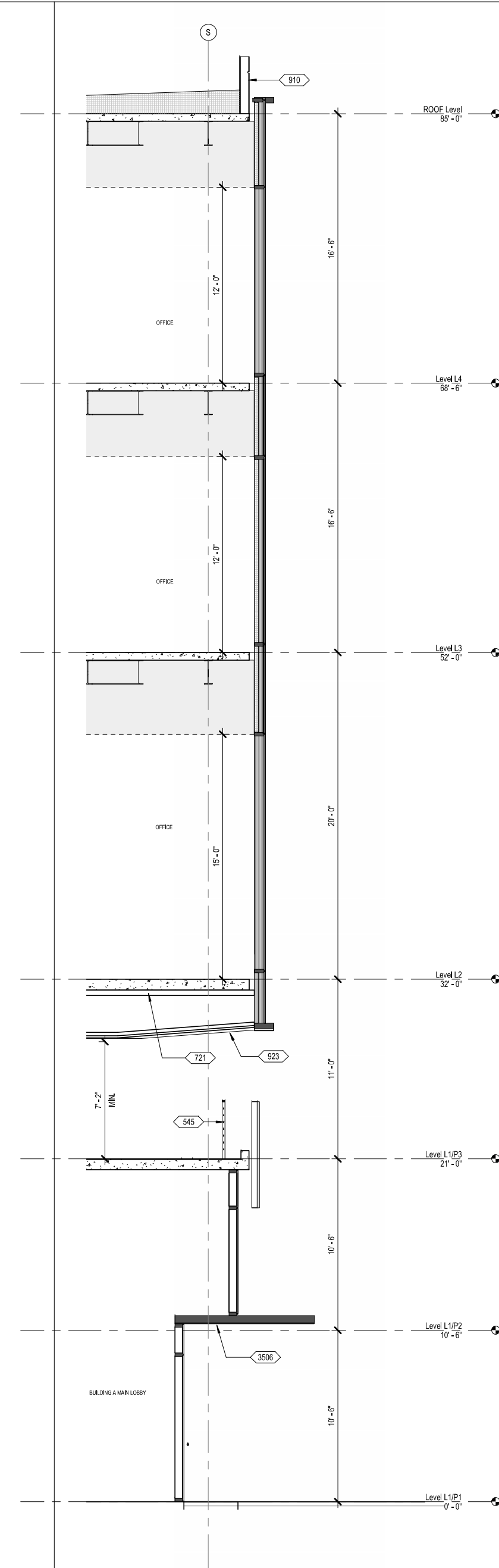


3 ENLARGED PLAN - BLDG A SOUTH WALL

1/4" = 1'-0"



2 WALL SECTION - BLDG A SOUTH WALL 1



1 WALL SECTION - BLDG A SOUTH WALL

- KEYNOTE TAG
- 945 CRASH RATED CABLE RAIL
 - 721 RIGID INSULATION
 - 910 FRAMED PARAPET WALL WITH METAL PANEL FINISH TO MATCH MULLION PAINT
 - 923 WOOD TONE METAL PLANK SOFFIT
 - 3506 METAL PANEL ENTRY CANOPY AND SIDES ON STRUCTURAL STEEL FRAME, FINISH TO MATCH CURTAIN WALL FINISH; WET JOINED METAL PANEL

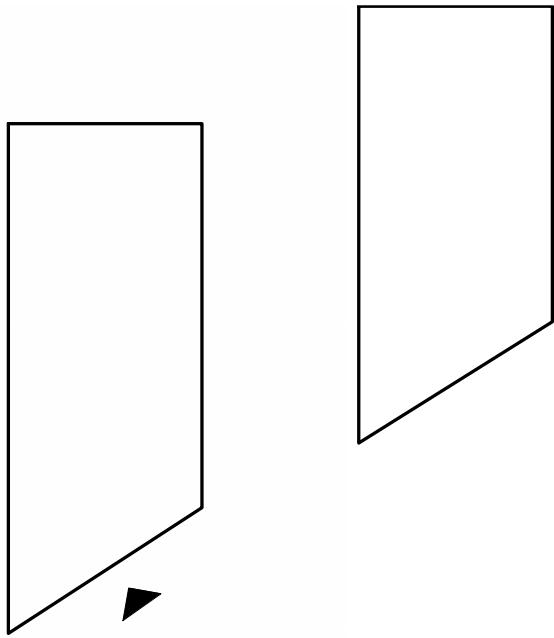
KEYNOTE LEGEND

1/4" = 1'-0"

MATERIAL TAG

- CM-1 CONCRETE MASONRY UNIT, TYPE 1
- GL-1 1" IGU VISION GLASS - REFER TO BOO
- GL-2 1" IGU VISION GLASS WITH SHADOW BOX AND INSULATION - REFER TO BOO
- GL-3 1" IGU SIMULATED ETCHED GLASS AND INSULATION - REFER TO BOO
- GL-4 1" IGU VISION ULTRA CLEAR GLASS - REFER TO BOO
- GW-1 CABLE NET FOR GREEN WALL
- MTL-1 ALUMINUM, PTD.
- MTL-2 CORRUGATED METAL PANEL, PTD.
- MTL-3 ALUMINUM MESH, PTD.
- MTL-4 METAL PANEL ON CONCRETE STEM WALL - PAINT TO MATCH
- PL-1 DARK STUCCO ON METAL FRAMED WALL
- PT-2 BLACK PAINT AT EXPOSED COLUMNS ON P3 LEVEL, LOBBIES AND PERIMETER

MATERIAL LEGEND



2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSP SUBMITTAL REV-01
2025.01.20 SMPI MSP SUBMITTAL
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ENLARGED
ELEVATION,
SECTIONS & PLANS

A4.01

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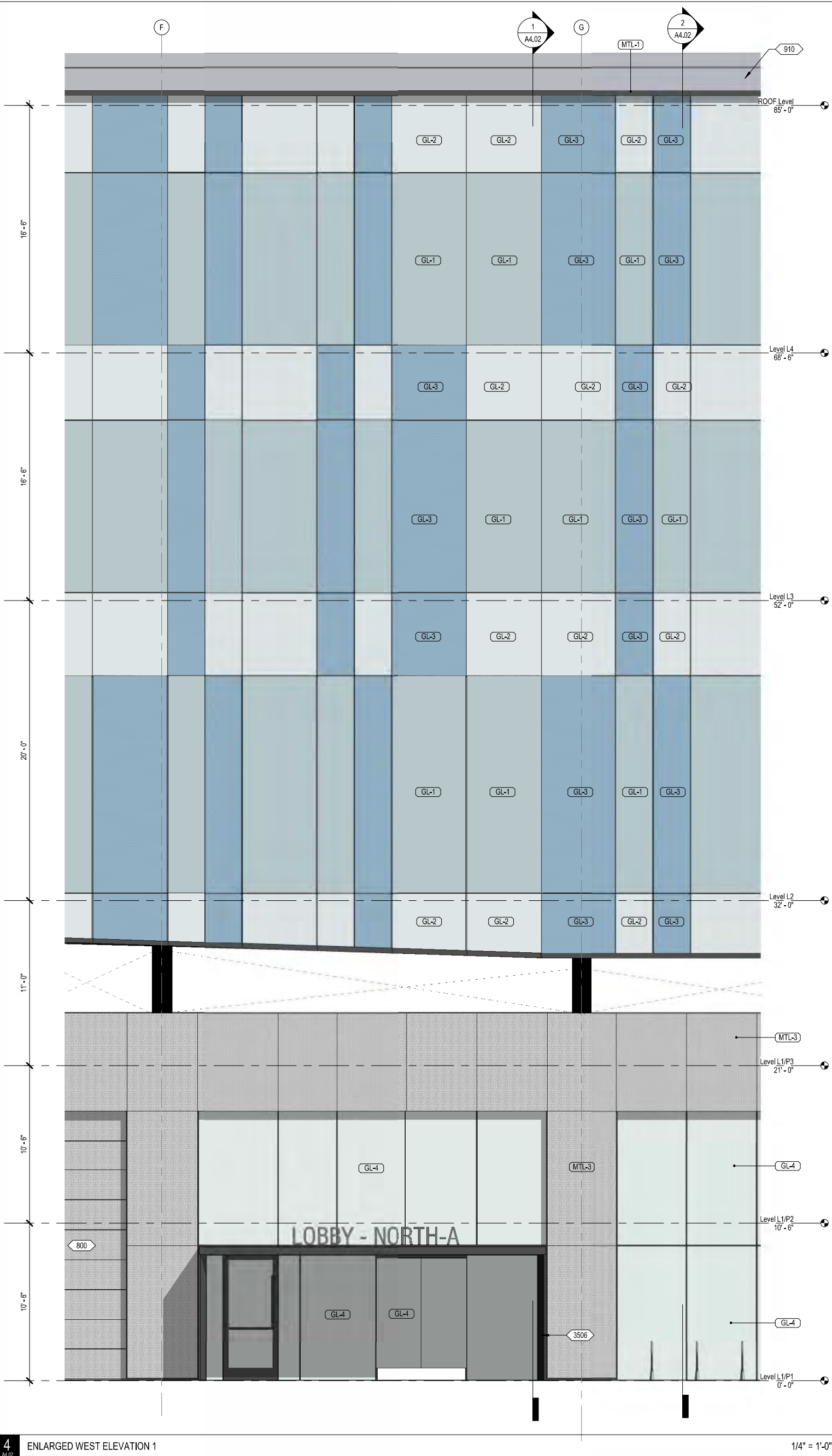
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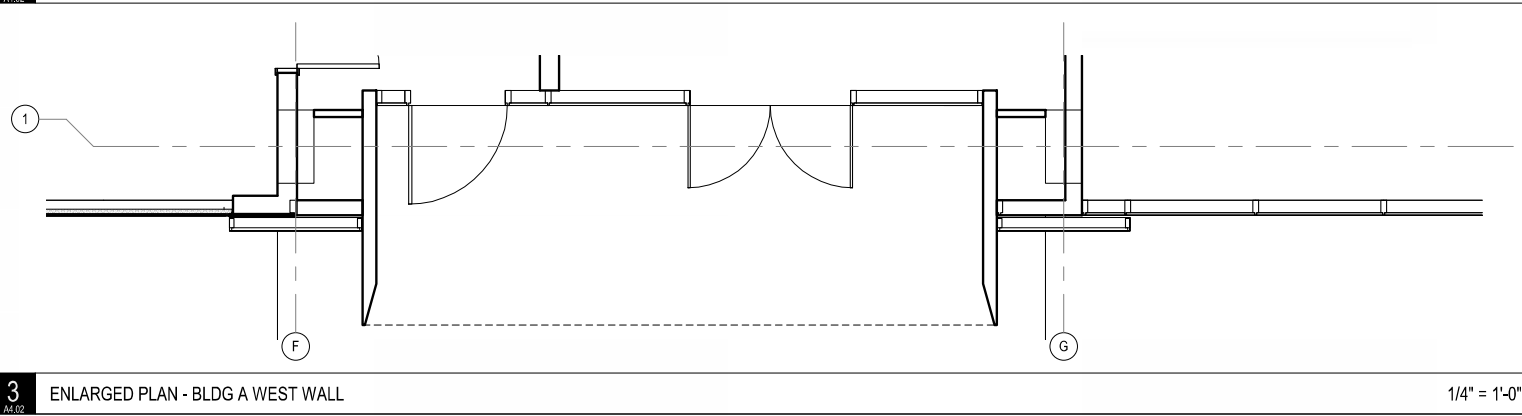
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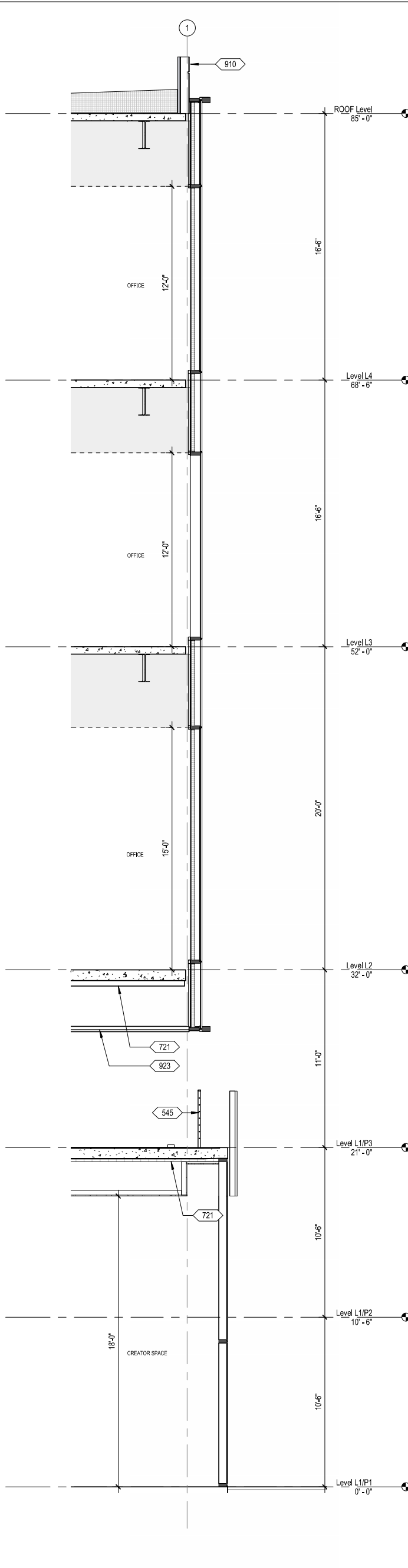
4 ENLARGED WEST ELEVATION 1

1/4" = 1'-0"



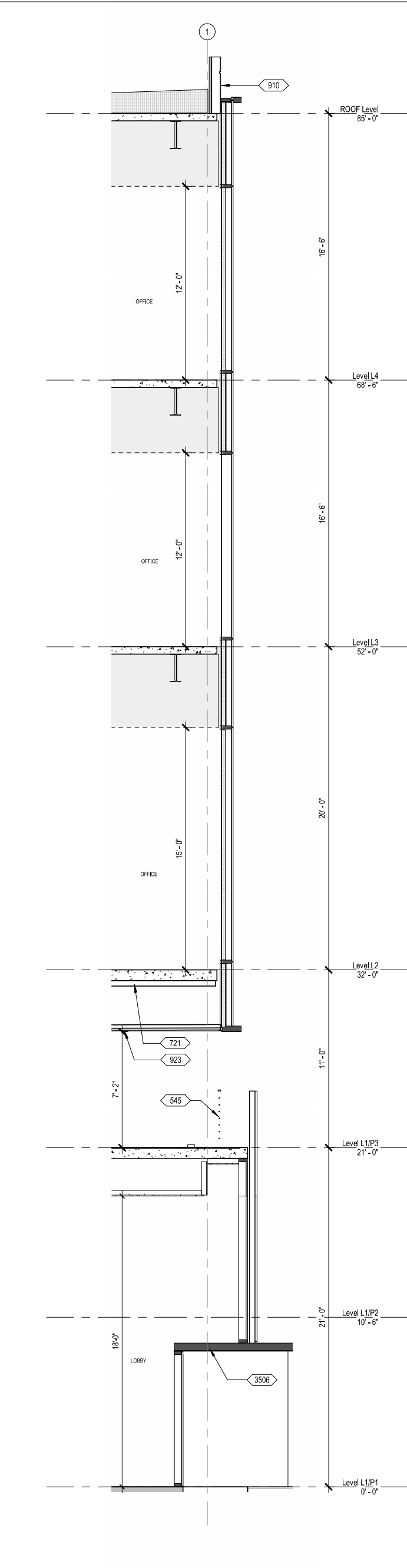
3 ENLARGED PLAN - BLDG A WEST WALL

1/4" = 1'-0"



2 WALL SECTION - BLDG A WEST WALL 1

1/4" = 1'-0"



1 WALL SECTION - BLDG A WEST WALL

1/4" = 1'-0"

KEYNOTE TAG

545 CRASH RATED CABLE RAIL
721 RIGID INSULATION
800 ROLL-UP DOOR
910 FRAMED PARAPET WALL WITH METAL PANEL FINISH TO MATCH MULLION PAINT
922 CEILING, N.A.C.
923 WOOD TONE METAL PLANK SOFFIT
3506 METAL PANEL ENTRY CANOPY AND SIDES ON STRUCTURAL STEEL FRAME FINISH TO MATCH CURTAIN WALL FINISH, WET JOINED METAL PANEL

KEYNOTE LEGEND

1/4" = 1'-0"

MATERIAL TAG

CM-1 CONCRETE MASONRY UNIT, TYPE 1
GL-1 1" ISU VISION GLASS - REFER TO BOO
GL-2 1" ISU VISION GLASS WITH SHADOW BOX AND INSULATION - REFER TO BOO
GL-3 1" ISU SIMULATED ETCHED GLASS AND INSULATION - REFER TO BOO
GL-4 1" ISU VISION ULTRA CLEAR GLASS - REFER TO BOO
GW-1 CABLE NET FOR GREEN WALL
MTL-1 ALUMINUM, PTD.
MTL-2 CORRUGATED METAL PANEL, PTD.
MTL-3 ALUMINUM MESH, PTD.
MTL-4 METAL PANEL ON CONCRETE STEM WALL - PAINT TO MATCH
PL-1 DARK STUCCO ON METAL FRAMED WALL
PT-2 BLACK PAINT AT EXPOSED COLUMNS ON P3 LEVEL, LOBBIES AND PERIMETER

MATERIAL LEGEND

project number: 22-387
date: 2025.01.15

ENLARGED
ELEVATION,
SECTIONS & PLANS

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL
date issue description

333-385 MOFFETT
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SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

ENLARGED
ELEVATION,
SECTIONS & PLANS

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- 0000 KEYNOTE TAG
- 400 CONCRETE MASONRY UNIT (CMU), S.S.D.
404 CMU CRASH WALL, PAINTED BLACK
600 WOOD SLAT RAILING ON METAL FRAME GUARDRAIL
721 RIGID INSULATION
724 BATT INSULATION
910 FRAMED PARAPET WALL WITH METAL PANEL, FINISH TO MATCH MULLION PAINT

KEYNOTE LEGEND

1/4" = 1'-0"

MATERIAL TAG

- CM-1 CONCRETE MASONRY UNIT, TYPE 1
GL-1 1" IGU VISION GLASS WITH SHADOW BOX AND INSULATION - REFER TO BOO
GL-2 1" IGU VISION GLASS WITH SHADOW BOX AND INSULATION - REFER TO BOO
GL-3 1" IGU SIMULATED ETCHED GLASS AND INSULATION - REFER TO BOO
GL-4 1" IGU VISION ULTRA CLEAR GLASS - REFER TO BOO
GW-1 CABLE NET FOR GREEN WALL
MTL-1 ALUMINUM, PTD.
MTL-2 CORRUGATED METAL PANEL, PTD.
MTL-3 ALUMINUM MESH, PTD.
MTL-4 METAL PANEL ON CONCRETE STEM WALL - PAINT TO MATCH
PL-1 DARK STUCCO ON METAL FRAMED WALL
PT-2 BLACK PAINT AT EXPOSED COLUMNS ON P3 LEVEL, LOBBIES AND PERIMETER

MATERIAL LEGEND

KEYPLAN

1/4" = 1'-0"

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

**333-385 MOFFETT
PARK DRIVE**

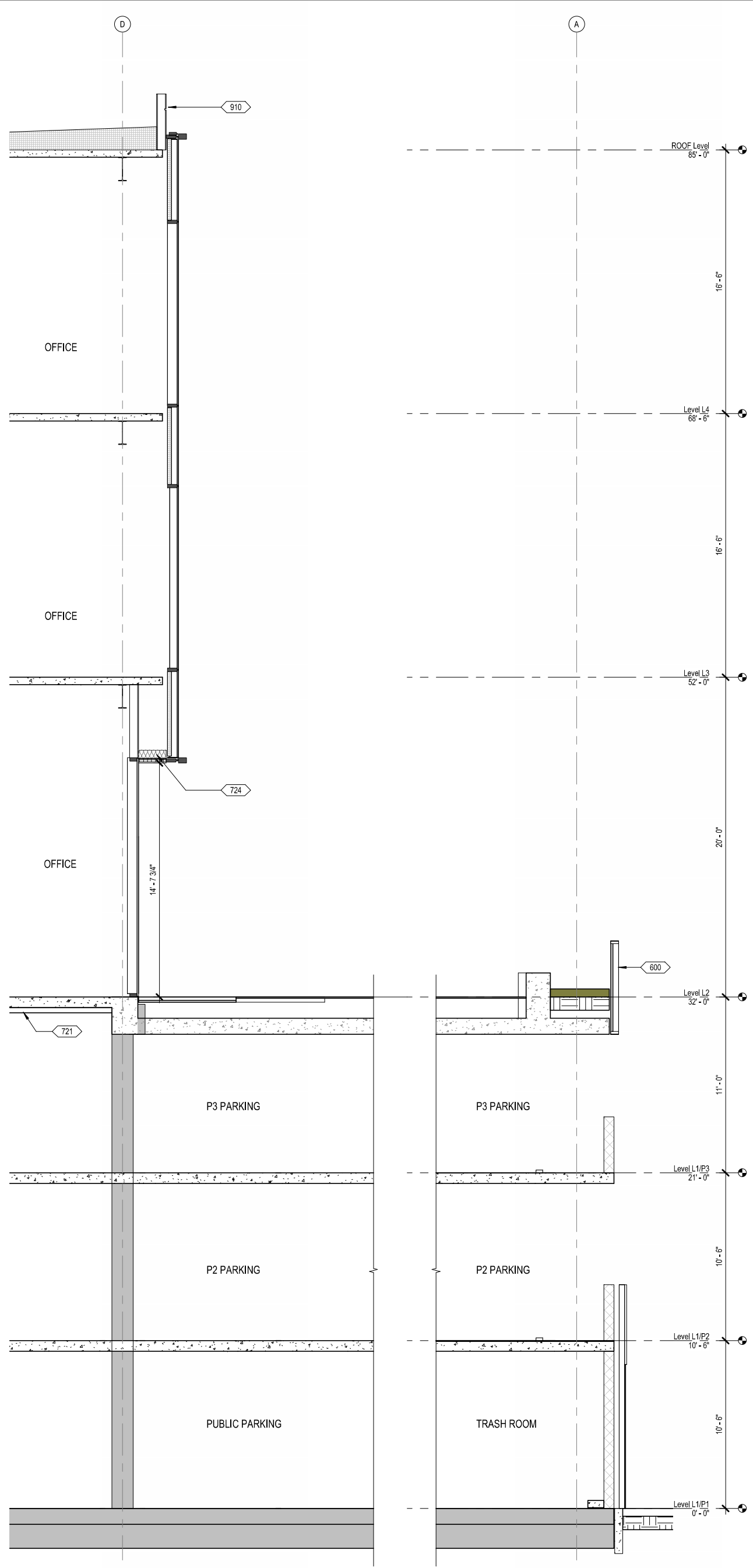
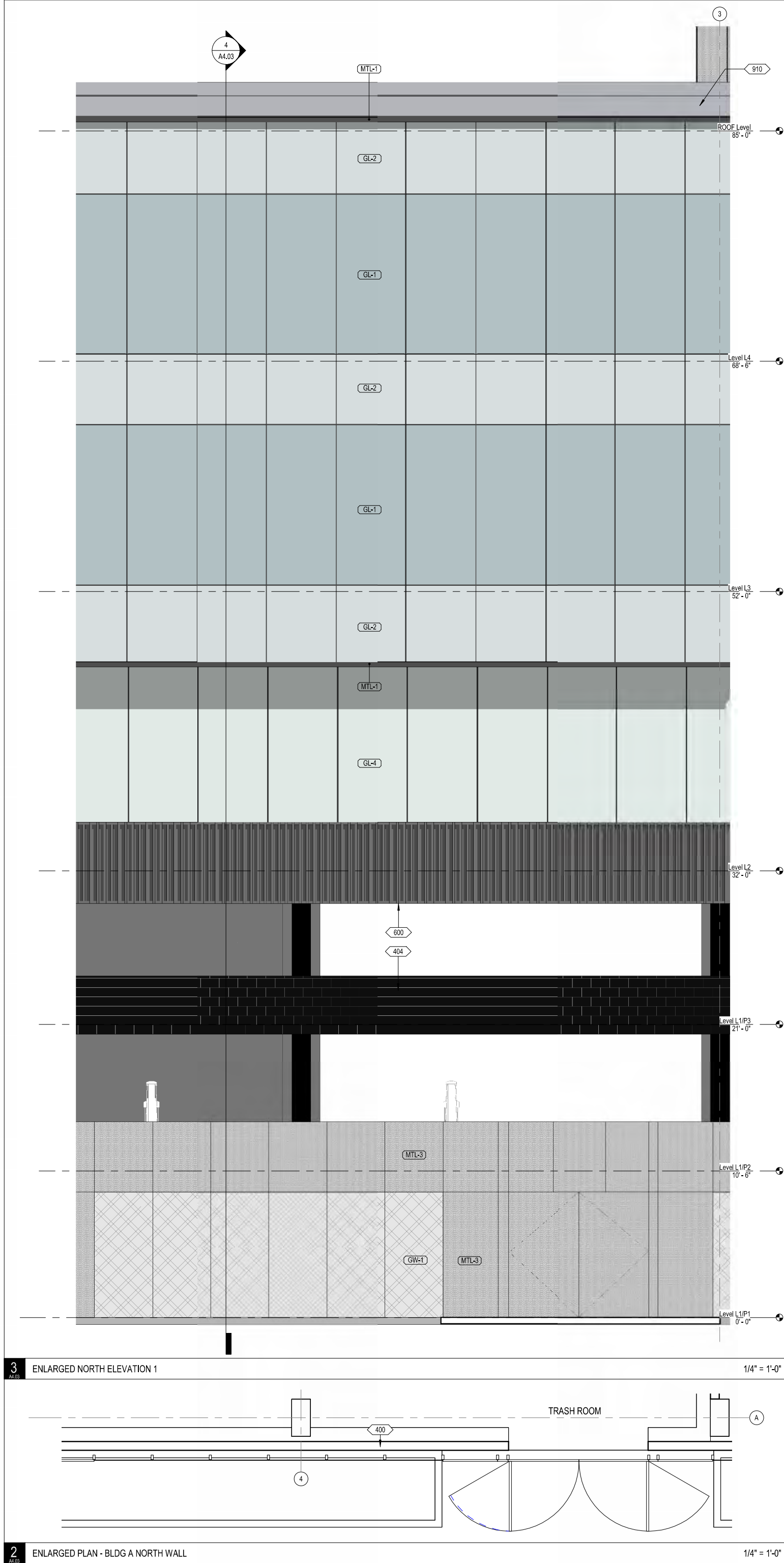
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project number: 22-387
date: 2025.01.15

**ENLARGED
ELEVATION,
SECTIONS & PLANS**

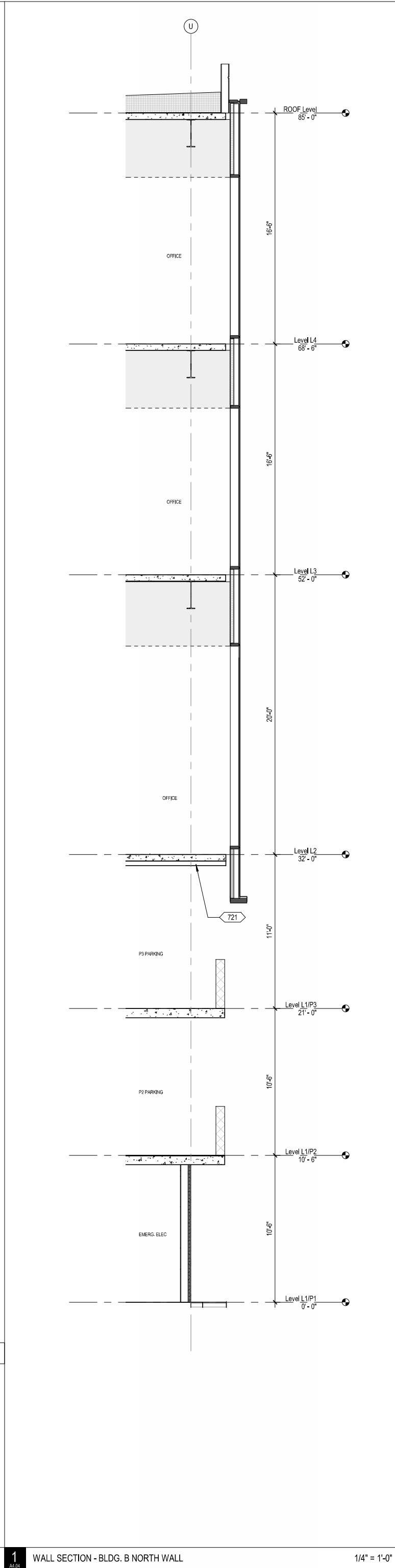
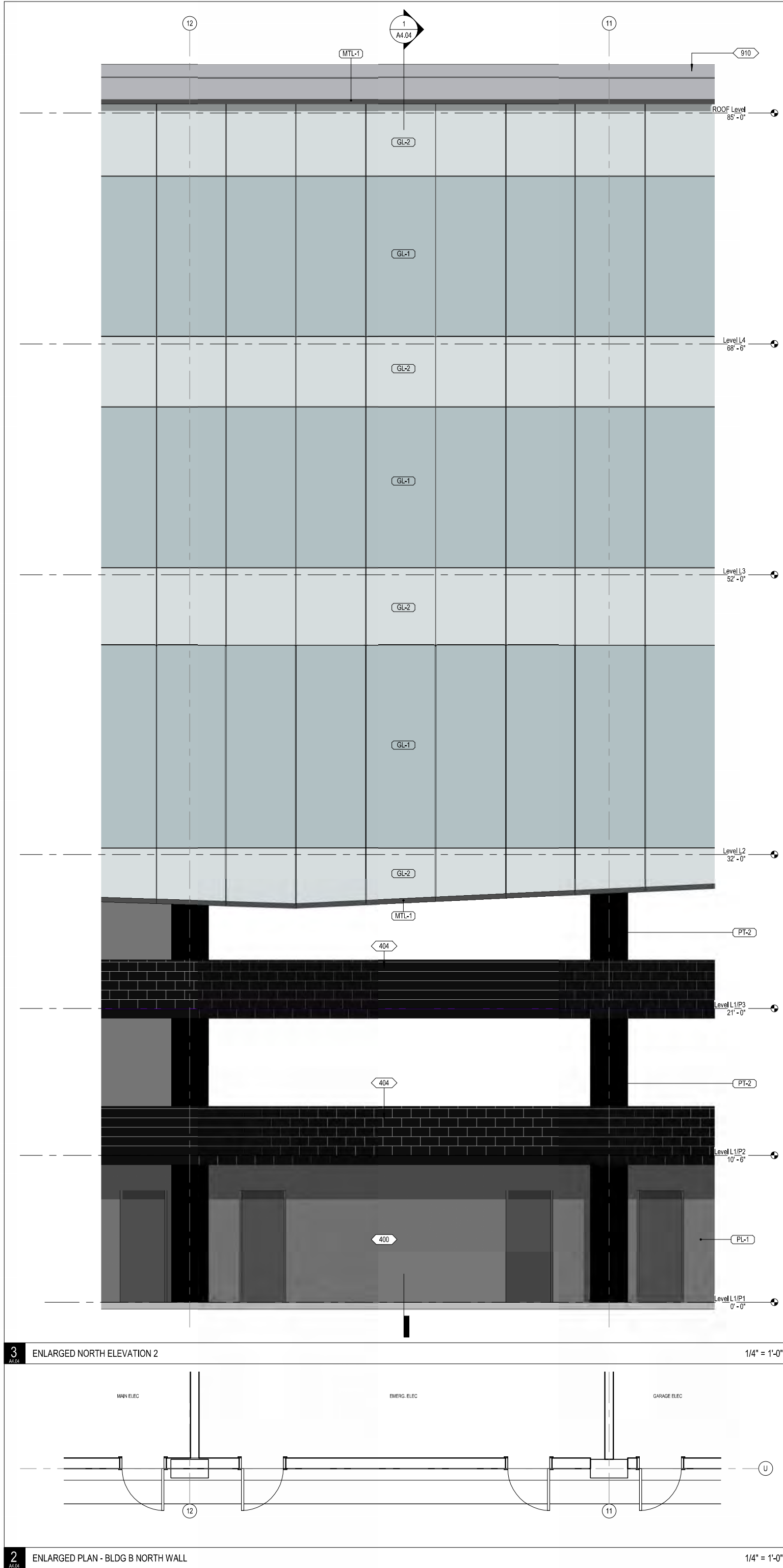
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KEYNOTE TAG	
400	CONCRETE MASONRY UNIT (CMU), S.S.D.
404	CMU CRASH WALL, PAINTED BLACK
721	RIGID INSULATION
910	FRAMED PARAPET WALL WITH METAL PANEL, FINISH TO MATCH MULLION PAINT

KEYNOTE LEGEND 1/4" = 1'-0"	
MATERIAL TAG	
CM-1	CONCRETE MASONRY UNIT, TYPE 1
GL-1	1" IGU VISION GLASS - REFER TO BOO
GL-2	1" IGU VISION GLASS WITH SHADOW BOX AND INSULATION - REFER TO BOO
GL-3	1" IGU SIMULATED ETCHED GLASS AND INSULATION - REFER TO BOO
GL-4	1" IGU VISION ULTRA CLEAR GLASS - REFER TO BOO
GM-1	CABLE NET FOR GREEN WALL
MTL-1	ALUMINUM, PTD.
MTL-2	CORRUGATED METAL PANEL, PTD.
MTL-3	ALUMINUM MESH, PTD.
MTL-4	METAL PANEL ON CONCRETE STEM WALL - PAINT TO MATCH
PL-1	DARK STUCCO ON METAL FRAMED WALL
PT-2	BLACK PAINT AT EXPOSED COLUMNS ON P3 LEVEL, LOBBIES AND PERIMETER

MATERIAL LEGEND	
KEYPLAN 1/4" = 1'-0"	

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brick.
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www.brick-arch.com

2023.09.29 SITE MASTER PLAN SUBMITTAL
date issue description

**333-385 MOFFETT
PARK DRIVE**
SUNNYVALE, CA 94089

project number: 22-387
date: 2025.01.15

ENLARGED
ELEVATION,
SECTIONS & PLANS

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Submittal Sheet



CAPACITY 4 Bikes per unit

MATERIALS Uprights: 4" 16 gauge tube
Upright bases: 1/4" plate
Cantilevers: 1/4" plate
Cantilever base: 1/4" plate
Trays: 1/4" plate

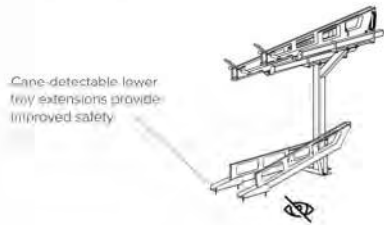
FINISHES ☒ **Galvanized**
An after fabrication hot-dipped galvanized finish is our standard option.
☒ **Powder Coat**
Our powder coat finish ensures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat

MOUNT OPTIONS **Surface only**
Each upright has one 1/4" plate feet that accept 1/2" wedge anchors

E-BIKE CHARGING ☐ **Add Electrical Outlets**
For lower trays only (fat bike trays recommended). Wiring must be performed by a licensed electrician. Racks with electrical outlets must be installed in an area protected from rain and on a GFI circuit. The outlets provided are IP54 weatherproof and UL, CE certified. Consult local electrical codes for more detail.

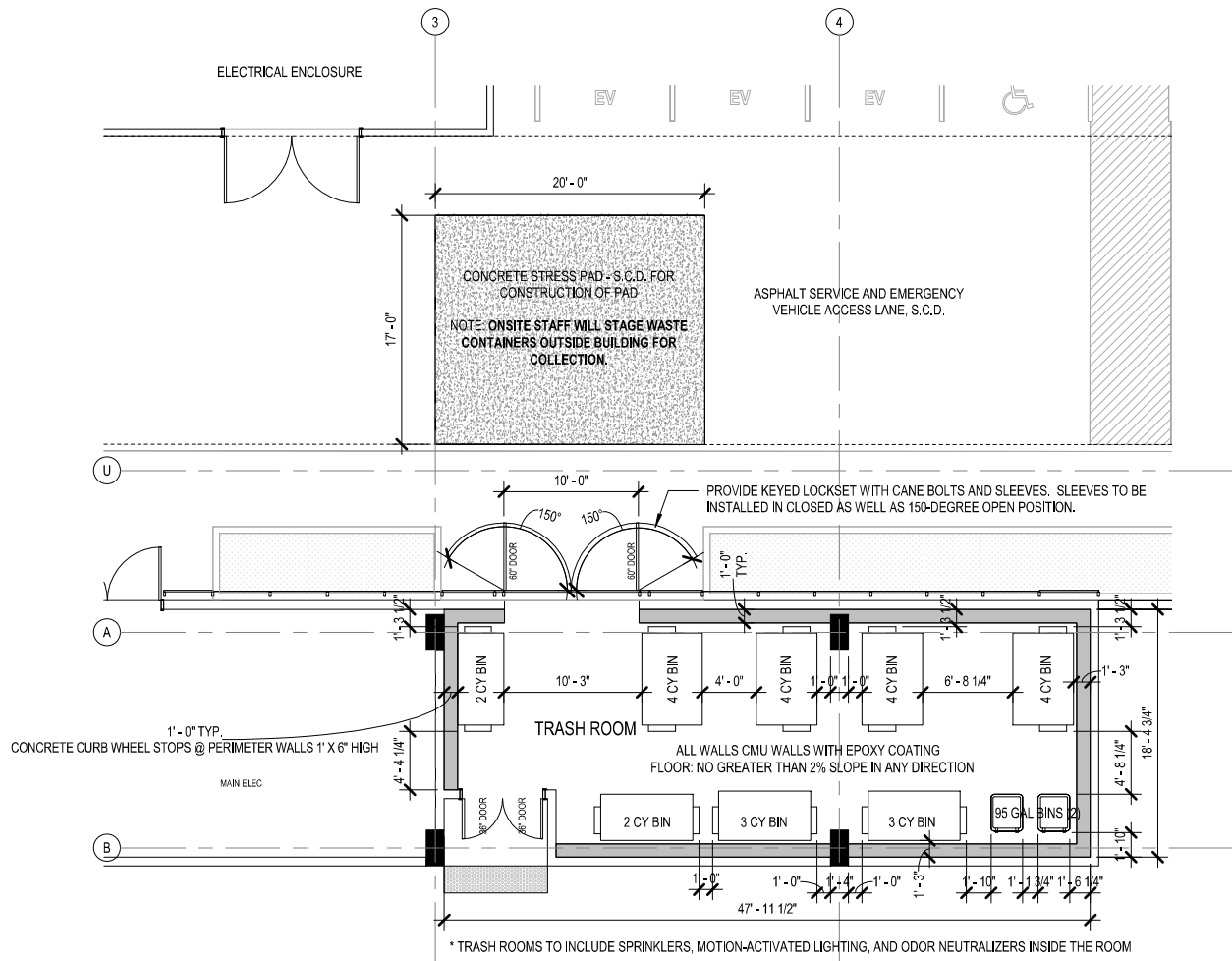
FAT BIKE TRAYS ☐ **Fat Bike Tray Option (Lower Level Only)**
Fat bike trays accommodate tires up to 5" wide. Standard trays accommodate tires up to 2.25" wide.

CANE STOPS ☐ **Add cane stops**
Available in galvanized or powder coat finish



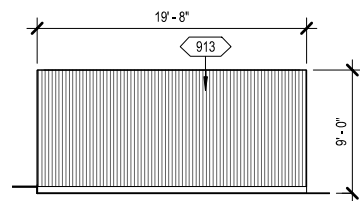
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5 BICYCLE RACK SPECIFICATION



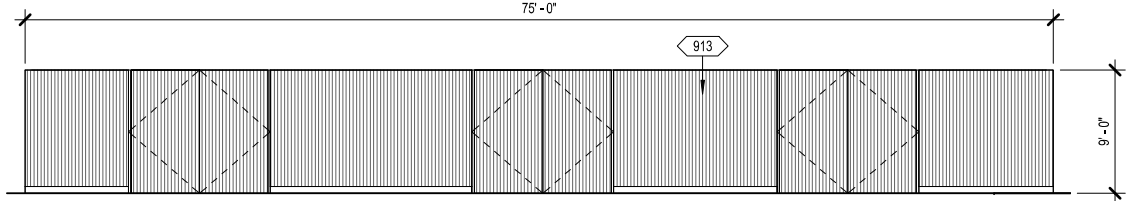
2 FLOOR PLAN - BUILDING A TRASH ROOM

1/8" = 1'-0"



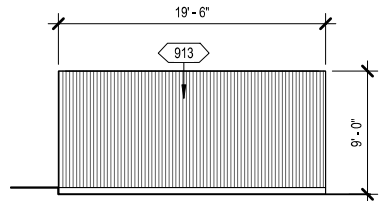
6 WEST TRANSFORMER ROOM - WEST ELEV EAST ELEV SIM

1/8" = 1'-0"



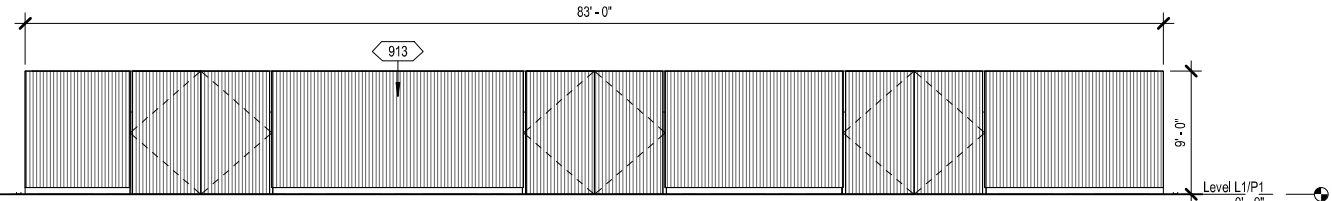
5 WEST TRANSFORMER ROOM - SOUTH ELEV NORTH ELEV SIM - NO DOORS TO NORTH ELEVATION

1/8" = 1'-0"



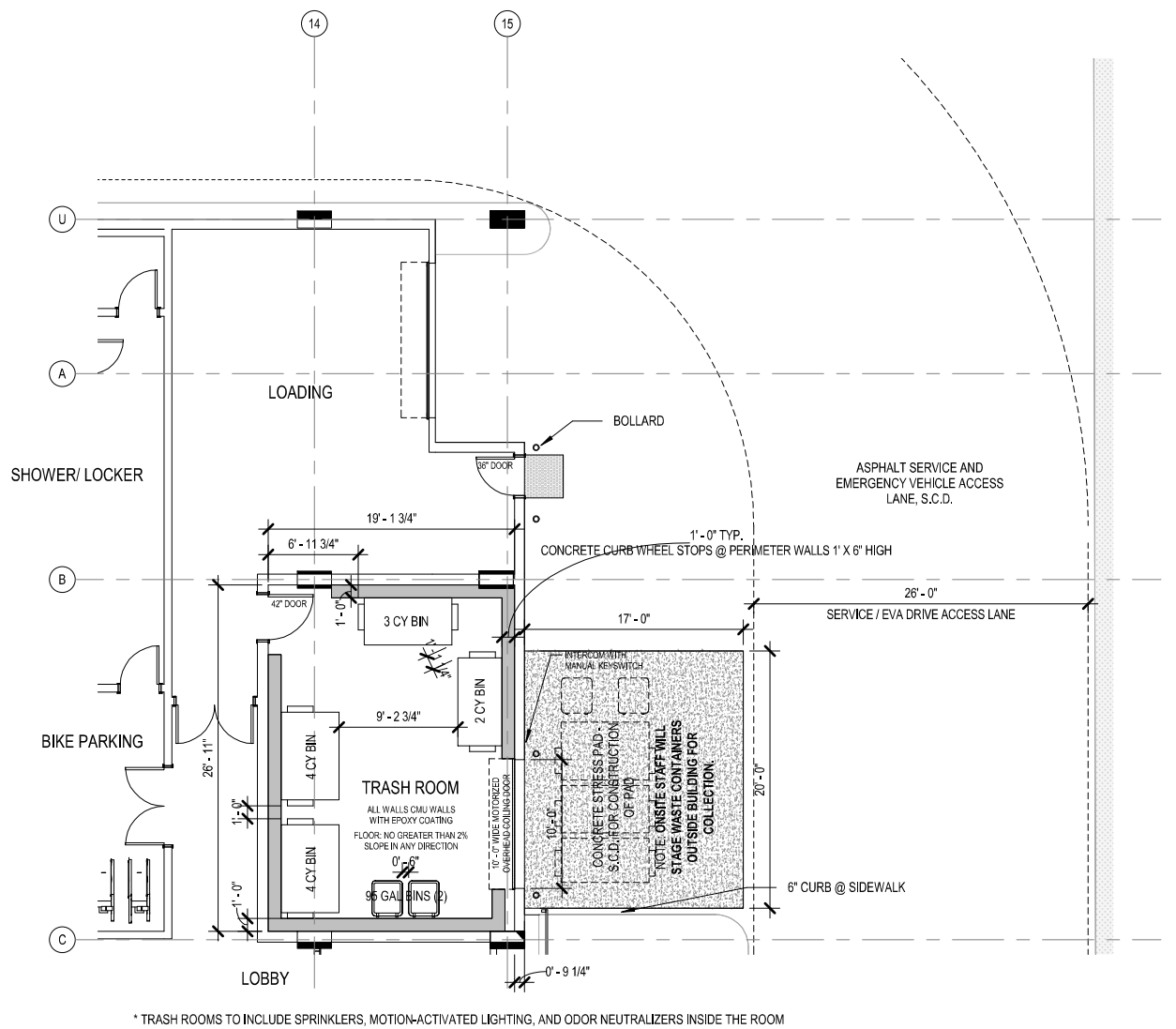
4 EAST TRANSFORMER ROOM - WEST ELEV EAST ELEV SIM

1/8" = 1'-0"



3 EAST TRANSFORMER ROOM - SOUTH ELEV NORTH ELEV SIM - NO DOORS TO NORTH ELEVATION

1/8" = 1'-0"



1 FLOOR PLAN - BUILDING B TRASH ROOM

1/8" = 1'-0"

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2025.07.29 MSDP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-01
2025.04.30 MSDP SUBMITTAL REV-01
2025.01.20 SMP/MSDP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

date issue description

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date: 2025.01.15

ENLARGED TRASH
ROOMS - STAGING &
ACCESS -
TRANSFORMER
ENCLOSURE
ELEVATIONS

A6.01

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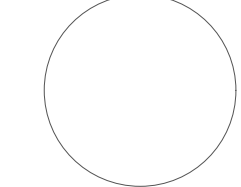
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GROUND LEVEL LIGHTING PLAN
AND LIGHT LEVEL CALCULATION
RESULTS

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2025.07.29 MSOP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-02
2025.04.30 MSOP SUBMITTAL REV-01
2025.01.20 SMP/MSOP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

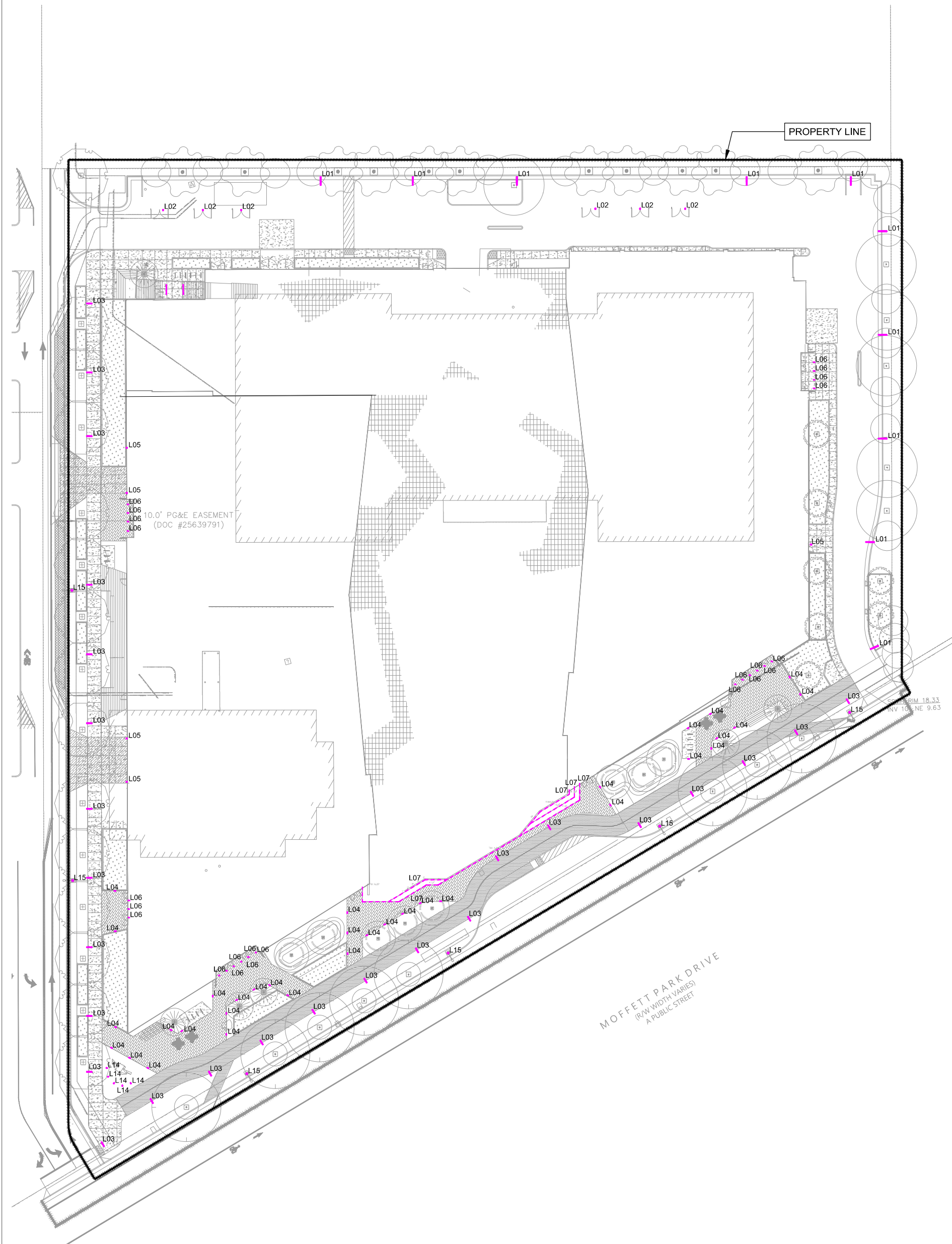
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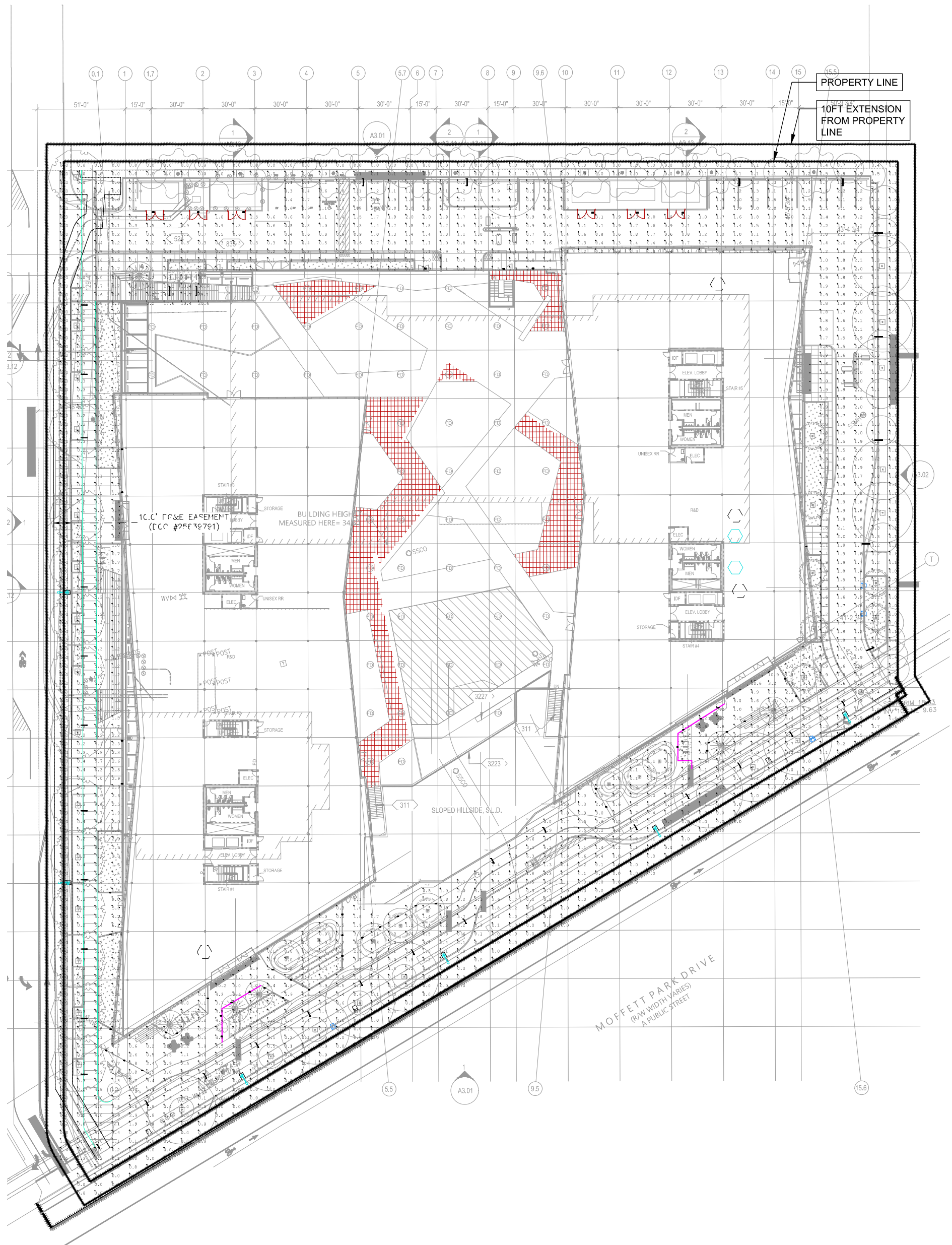
project number: 22-387
date: 2024.12.20

LT1.00



1 GROUND LEVEL LIGHTING PLAN

Scale: 1/32" = 1'-0"



2 GROUND LEVEL LIGHT LEVELS

Scale: 1/32" = 1'-0"

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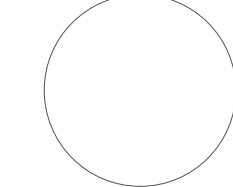
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PODIUM LEVEL LIGHTING PLAN
AND LIGHT LEVEL CALCULATION
RESULTS

2025.07.29 SMP SUBMITTAL REV-03
2025.07.29 MSOP SUBMITTAL REV-02
2025.04.30 SMP SUBMITTAL REV-02
2025.04.30 MSOP SUBMITTAL REV-01
2025.01.20 SMP MSOP SUBMITTAL
2023.11.03 90% SCHEMATIC DESIGN
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date: 2024.12.20



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LUMINAIRE SCHEDULE

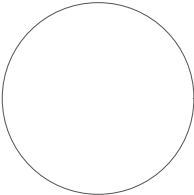
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Notes:

1. Lumbini Schedule should be filed in conjunction with Architectural Services drawings.
2. Before ordering, is the Contractor's responsibility to ensure load lines for Lumbini are within parameters.
3. Columns: Numbers/Order confirm indicator only. Where there is a discrepancy between the specified Lumbini information and the column number provided clarification MUST be sought from Elected before ordering.
4. All Lumbini Profiles to be confirmed by Architect before ordering.
5. Any changes to the document are shown in bold faces.

#	date	issue description
	2025.07.29	SMP SUBMITTAL REV-03
	2025.07.29	MSDP SUBMITTAL REV-02
	2025.04.30	SMP SUBMITTAL REV-02
	2025.04.30	MSDP SUBMITTAL REV-01
	2025.01.20	SMP/ MSDP SUBMITTAL
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	2023.10.12	SITE MASTER PLAN SUBMITTAL

	date	issue description
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