

333-385 MOFFETT PARK DRIVE

SMP REV. 03 / MSDP REV. 01 SUBMITTAL - PLNG # 2025-0137

JULY 29TH 2025

2025.01.20 SMP/ MSDP SUBMITTAL 2023.11.03 90% SCHEMATIC DESIGN

333-385 MOFFETT **PARK DRIVE** SUNNYVALE, CA 94089

COVER

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222 SUTTER STREET, SUITE 500 SAN FRANCISCO, CA 94108

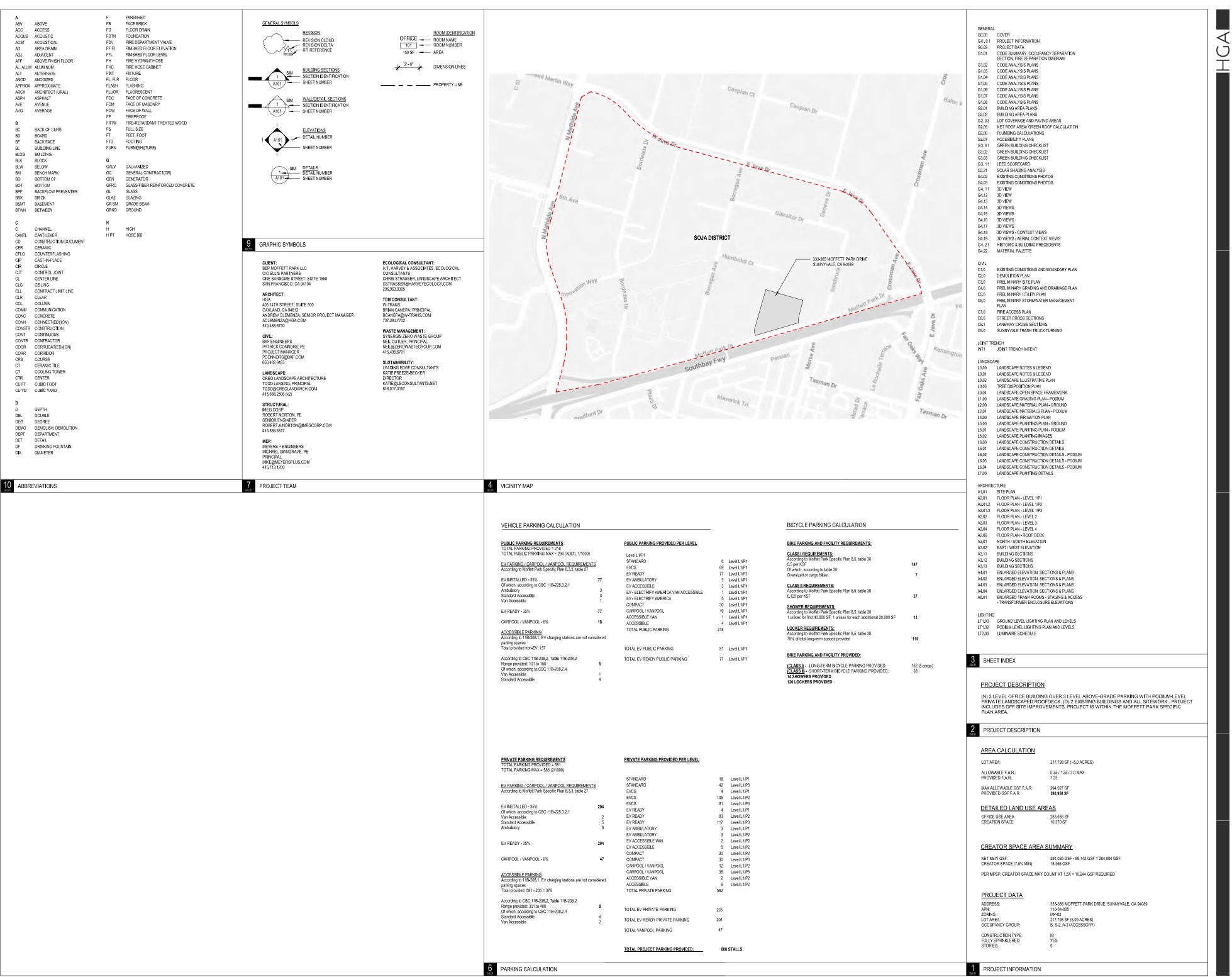
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333-385 MOFFETT

PARK DRIVE

SUNNYVALE, CA 94089

project number: 22-387

INFORMATION

PROJECT

2025.01.15

2023.10.12 SITE MASTER PLAN SUBMITTAL

CLIENT
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COMMERCIAL/INDUSTRIAL PROJECT DATA

Sunnyvale

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRE PERMITT	
General Plan				
Zoning District		moffett park specific plan		
Use (If vacant, how long has it been vacant?)	commercial, retail	commercial / R&D	N/A	
Lot Size (sq. ft.)	217,798 SF	217,798 SF		min.
Gross Floor Area (sq. ft.)	89,142 SF (per ALTA)	293,996 SF	294,027 SF	max.
Lot Coverage (%)	29,650 +/- SF	SEE G2.03	70%	max.
Floor Area Ratio (FAR)	217/49 = 0.23	1.35	0.35 / 1.35 / 2.0	max.
Gross Floor Area of Tenant (sq. ft.)	n/a	n/a	n/a	
Building Height (ft.)	34.6'	85'	145'	max.
No. of Stories	2 stories	6 stories	n/a	max.
No. of Buildings On-Site	2 buildings	1 building n	n/a	
Distance Between Buildings (ft.)	n/a	n/a ɔodium)	n/a	max.
Front Setbacks	93'	39'-52' (from PL) / 24'-32' (from PSWE)	10' min; 40' max	min.
Left Side Setbacks (facing property)	38'	43'-48' (from PL) / 10'-14' (from PSWE	10' min; 40' max	min.
Right Side Setbacks (facing property)	80'	43'-47'	10' min; 40' max	min.
Rear Setback	73'	58'	10' min; 40' max	min.
Landscaping (total sq. ft.)		49,374 SF F	43,560 SF	min.
% Based on Lot Area		23 SF	20%	min.
% Based on Parking Lot			n/a	min.
Parking Lot Area Shading (%)		16%	50% min. in 1	5 yrs.
Water Conserving Plants (%)		80%	70%	min.
Total No. of Parking Spaces	338	Public: 218 / Private: 582	Public: 294 / Private: 588	max
Standards	327	Public: 36 / Private: 120	N/A	min.
Accessible Spaces	11	Public: 5 / Private: 8	Public: 4 / Private: 6	min.
Covered Spaces	0	Public: 208 / Private: 568		min.
Carpool Spaces	0	Public: 18 / Private: 47	8 %	min.
Aisle Width (ft.)	20'-26' (varies)	24'	24'	min.
Bicycle Parking (Class 1 / Class 2)		Class 1: 152 / Class 2: 38	Class 1: 147 / Class 2: 37	min.
Impervious Surface Area (sq. ft.)	168,618 SF	168,189 SF	168,618 SF	max.
Impervious Surface (%)	77,4%	77,2%	77.4% max.	

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7580

Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.

Sunnyvale.ca.gov - Search "Planning and Building"

4 SUNNYVALE PROJECT DATA SHEET

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project number: 22-387 date: 2025.01.15

PROJECT DATA

G0.02

6 PARKING CALCULATION

ARCHITECT

CBC CHAPTER 8 - INTERIOR FINISHES INTERIOR WALL AND CEILING FINISHES REQUIREMENTS BY OCCUPANCY (SEC. 803.13): OCCUPANCY INTERIOR EXIT STAIRWAYS CORRIDORS AND ROOMS AND ENCLOSED SPACES
AND GROUP RAMPS AND ENCLOSURE FOR EXIT SPACES
ACCESS STAIRWAY AND RAMPS
C FLOORS TO MEET THE REQUIREMENTS OF SECTION 804. CBC CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS AUTOMATIC SPRINKLER SYSTEM (SEC. 903): PORTABLE FIRE EXTINGUISHERS (SEC. 906): TO BE PROVIDED IN ALL OCCUPANCIES.
LOW/ORD INARY HAZARD
2-A RATING 2-A RATING 11,250 SF MAX.PER EXTINGUISHER 75FT MAX DISTANCE FIRE ALARM (SEC. 907):

EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM TO BE PROVIDED THAT COMPLIES WITH CBC SECTION 907.5.2.2 CBC CHAPTER 10 MEANS OF EGRESS DESIGN OCCUPANT LOAD (SEC. 1004.1): MAX.FLOOR AREA ALLOWANCES PER OCCUPANT

ASSEMBLY (UNCONCENTRATED)

ASSEMBLY (BENCHES)

BUSINESS (UNCONCENTRATED)

PARKING GARAGES

ACCESSORY STORAGE/MECH.

300 SF GROSS

ACCESSORY STORAGE/MECH.
 MEANS OF EGRESS SIZING (SEC. 1005):

 SEE EGRESS PLANS FOR ACTUAL CAPACITIES

 WIDTH (INCHES/OCCUPANT)

 STAIRWAYS
 0,2
 (SEC. 1005.3.1 EXCEPTION 1)

 OTHER EGRESS COMPONENTS
 0.15
 (SEC. 1005.3.2 EXCEPTION 2)
 EGRESS CONVERGENCE AT LEVEL 1 (SEC. 1005.6) SPACES WITH A SINGLE EXIT (SPRINKLER) (SEC. 1006.2.1):
 GROUP
 MAX. OCC. LOAD
 MAX. COMMON PATH OF EGRESS

 A-3
 49
 75 FT
 | NUMBER OF EXITS (SEC. 1006.3.1):
OCCUPANTS	NUMBER OF EXITS OR EXIT ACCESS PER STORY
1-500	2 REQUIRED, 2 PROVIDED (BUILDING B)
501-1000	3 REQUIRED, 3 PROVIDED (BUILDING A)
1001+	4 REQUIRED, 4 PROVIDED (BUILDING A)

TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STARWAYS OR RAMPS,

OR ANY COMBINATION THEREOF, THEY SHALL BE PLACED A DISTANCE APART

NOT LESS THAN ONE THIRD THE LENGTH OF THE MAXIMUM OVERALL

DIAGONAL DIMENSION OF THE AREA SERVED. ALL DIAGONALS SHOWN ON EGRESS PLANS CONFORM. ACCESSIBLE MEANS OF EGRESS (SEC. 1009.2.1):

1 ELEVATOR PER BUILDING (A AND B) TO BE PROVIDED WITH AN ELEVATOR T THAT MEETS SECTION 1009.4. ELEVATOR CONNECTED TO EMERGENCY DOWNER. DOORS, GATES AND TURNSTILES (SEC. 1010.1): DOOR MIN. CLEAR WIDTH: 32" WITH MAX. LEAF 48" WIDE. STAIRWAYS (SEC. 1011.2):
WIDTH: 44" MIN., 36" IF OCC. LOAD <50 (EXCEPTION 1)
HEADROOM: 80" MIN.
RISER HEIGHT: "MIN - 7" MAX.
RISER DEPTH: 11" MIN. EXIT ACCESS TRAVEL DISTANCE (SPRINKLER) (SEC. 1017):

GROUP MAX. EXIT ACCESS TRAVEL DISTANCE
250 FT DEAD END CORRIDOR MAX LENGTH (SEC. 1020.5): GROUP MAX. DEAD END 20 FT

333-385 MOFFETT PARK DRIVE, SUNNYVALE, CA 94089 BUILDING ADDRESS:
APN:
LOT AREA:
ZONING:
NEIGHBORHOOD:
PROPERTY DEV. AREA:
LOT COVERAGE:
F.A.R:
SCOPE OF WORK: 294,000 SF/ 217,798 SF= 1.35 SEE SCOPE OF WORK SECTION APPLICABLE CODES
2022 CALIFORNIA TITLE 24 REGULATIONS (CALIFORNIA BUILDING STANDARDS CODE) INCLUDES:
2022 CALIFORNIA ADMINISTRATIVE CODE (CAC PART 1)
2022 CALIFORNIA BUILDING CODE (CBC PART 2) 2022 CALIFORNIA BUILDING CODE (CBC PART 2)
2022 CALIFORNIA ELECTRICAL CODE (CEC PART 3)
2022 CALIFORNIA MECHANICAL CODE (CMC PART 4)
2022 CALIFORNIA PLUMBING CODE (CPC PART 5)
2022 CALIFORNIA ENERGY CODE (CEC PART 6)
2022 CALIFORNIA FIRE CODE (CFC PART 9)
2022 CALIFORNIA EXISTING BUILDING CODE (PART 10)
2022 CALIFORNIA EXISTING BUILDING CODE (PART 10)
2022 CALIFORNIA EXERNIA BUILDING STANDARDS CODE (CALGREEN PART 11)
2022 CALIFORNIA ERFERENCED STANDARDS CODE (PART 12)

APPLICABLE LOCAL ZONING ORDINANCES
MOFFETT PARK SPECIFIC PLAN

ALONG WITH OTHER APPLICABLE CA STATE LAWS, LOCAL APPLICABLE CODES AND REGULATIONS, THE MORE RESTRICTIVE PROVISIONS AND ADOPTED ORDINANCES SHALL PREVAIL.

CBC CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE

MIXED USED OCCUPANCY

BUSINESS GROUP B (SEC. 304.1); COMMERCIAL OFFICE
GROUP A ACCESSORY TO B (508.2); ELEVATOR LOBBIES
ASSEMBLY GROUP A-3 (SEC. 303.4); AMENITY TERRACE; BUILDING LOBBIES
PARKING GROUP S-2 (SEC. 311.3); PARKING GARAGE

CBC CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREA BUILDING AREAS (SEPARATED, MIXED OCCPANCY) (SECTION 503)

DESIGNATED AREA
6,791 SF
UNLIMITED OCCUPANCY GROUP A-3 UNLIMITED UNLIMITED 296,250 SF (W/ AREA INCR) 5,815 SF 95,313 SF 3,057 SF 101,488 SF 116,493 SF 74,732 SF 75,967 SF 76,267 SF UNLIMITED UNLIMITED 296,250 SF (W/ AREA INCR) 296,250 SF (W/ AREA INCR) UNLIMITED UNLIMITED UNLIMITED UNLIMITED

MIXED OCCUPANCY ALLOWABLE HEIGHT AND STORIES (ABOVE GRADE) (TABLE 504.3):

OCCUPANOY: A-3.B, S-2 ALLOWABLE HEIGHT: 180 FT ABOVE GRADE PLANE PROPOSED HEIGHT: 85 FT MAX TOP OF ROOFING HEIGHT (EXCL: PARAPETS, PENTHOUSES, ROOF SCREENS, ETC.)

ALLOWARI E NO. OF STORIES ABOVE GRADE PLANE: 12 PROPOSED: 3 STORIES OFFICE OVER 3 STORIES ABOVE GRADE PARKING

MIXED OCCUPANCY ALLOWABLE AREAS (TABLE 506.2): BUSINESS & STORAGE SPRINKLER MAX. ALLOWABLE FACTOR 69,000 SF

MIXED OCCUPANCY AREA CALCULATIONS (SEC. 506.2.4)

Aa = [At + (Ns x If)] (SEC. 506.2.4) If = [F/P - 0.25] W/30

CBC CHAPTER 6 - TYPE OF CONSTRUCTION
TYPE I-B

FULL SPRINKLERED : YES (NFPA 13) HIGH-RISE: NO

FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS (CBC TABLE 601) FIRE RESISTANCE RATING REMARKS BUILDING ELEMENT REQUIRED PROVIDED PRIMARY STRUCTURAL FRAMING 2 BEARING WALLS (EXTERIOR) BEARING WALLS (INTERIOR) NONBEARING WALLS AND PARTITIONS 0 (INTERIOR) FLOOR CONSTRUCTION AND ASSOCIATED 2 2

FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (CBC TABLE 705.5) FIRE SEPARATION

ROOF CONSTRUCTION AND ASSOCIATED 1 1 SECONDARY MEMBERS

FIRE SEPARATION FIRE RATING
REQUIRED PROVIDED DISTANCE = X FEET FIRE SEPARATION 45'-3" 0 0 -30' 42'-4" 0 0 41'-2" 0 0 30' 41'-11" 0 CBC CHAPTER 7 - FIRE AND SMOKE PROTECTION

EXTERIOR WALLS PROJECTION (SEC. 705.2):

FIRE SEPARATION
DISTANCE(FSD) REQ. DIST. PROVIDED

40" MAX 6" CORNICE 40" MAX 6" CORNICE NP = NOT PERMITTED

EXTERIOR WALLS OPENINGS ALLOWED (SEC. 705.8): ALLOWABLE PROJECTIONS (PER SECTION AND TABLE 705.8)

REQ. DIST. PROVIDED REMARKS NO LIMIT UNPROTECTED/ SPRINK. UNPROTECTED/ SPRINK. UNPROTECTED/ SPRINK. NP = NOT PERMITTED

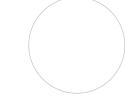
FIRE-RATED CONSTRUCTION (SEC. 713.4):
2HR SHAFT - 4 OR MORE STORIES (INCLUDING BASEMENTS)

FIRE-RATED OPENING PROTECTIVES (SEC. 716.4):

2 HR WALL

1 112 HR DOOR
SHAFT, INTERIOR EXIT STAIRWAYS
1 HR WALL
1 HR DOOR
1 HR WALL
1 HR WALL
20 MIN DOOR
OTHER FIRE BARRIER: SPARTITIONS
1 HR WALL
20 MIN DOOR
FIRE PARTITION: CORRIDOR WALLS

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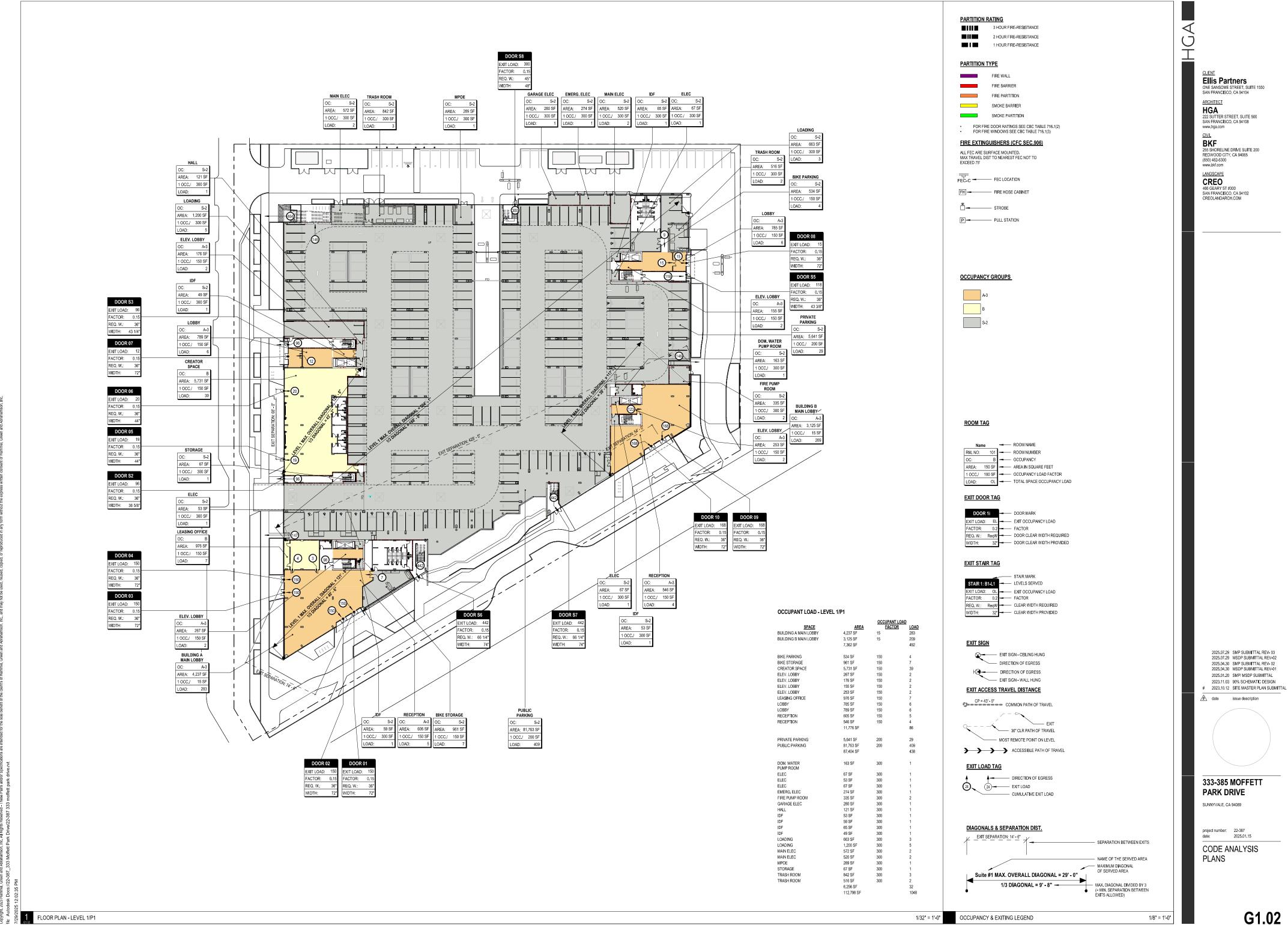
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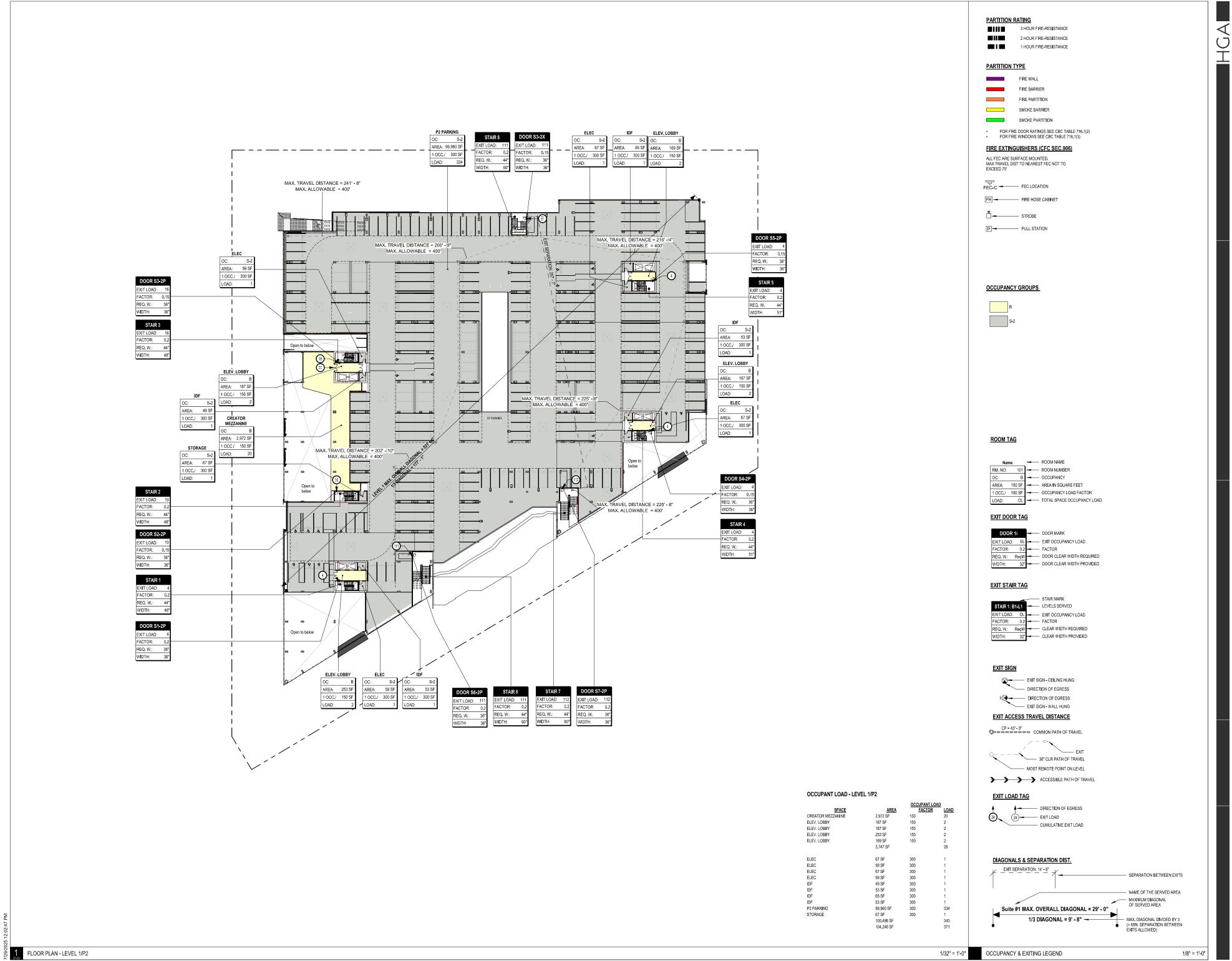
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CODE SUMMARY, OCCUPANCY SEPARATION SECTION, FIRE SEPARATION DIAGRAM

G1.01



G1.02



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CODE ANALYSIS PLANS

G1.03

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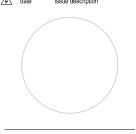
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date issue description



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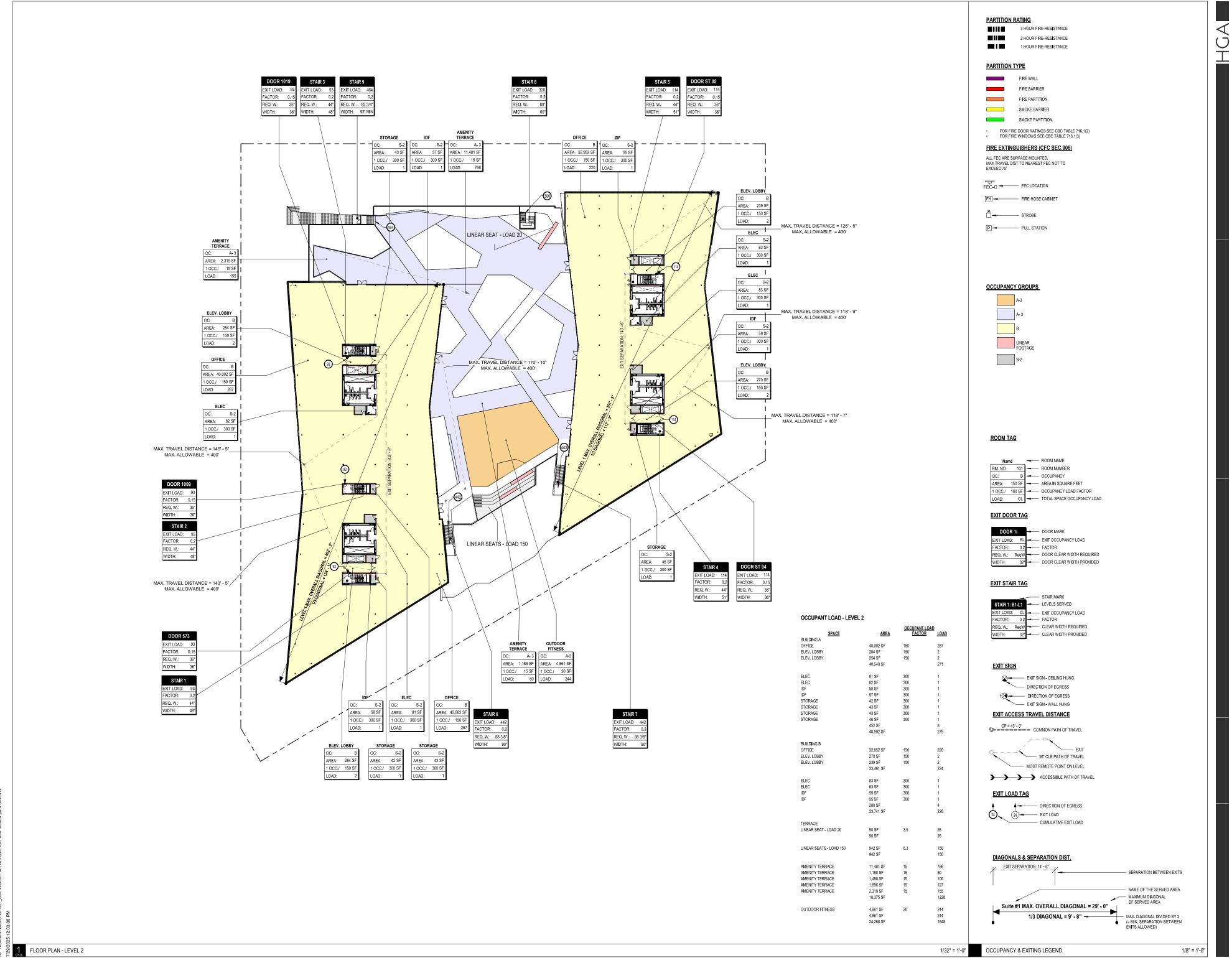
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CODE ANALYSIS

PLANS

G1.04



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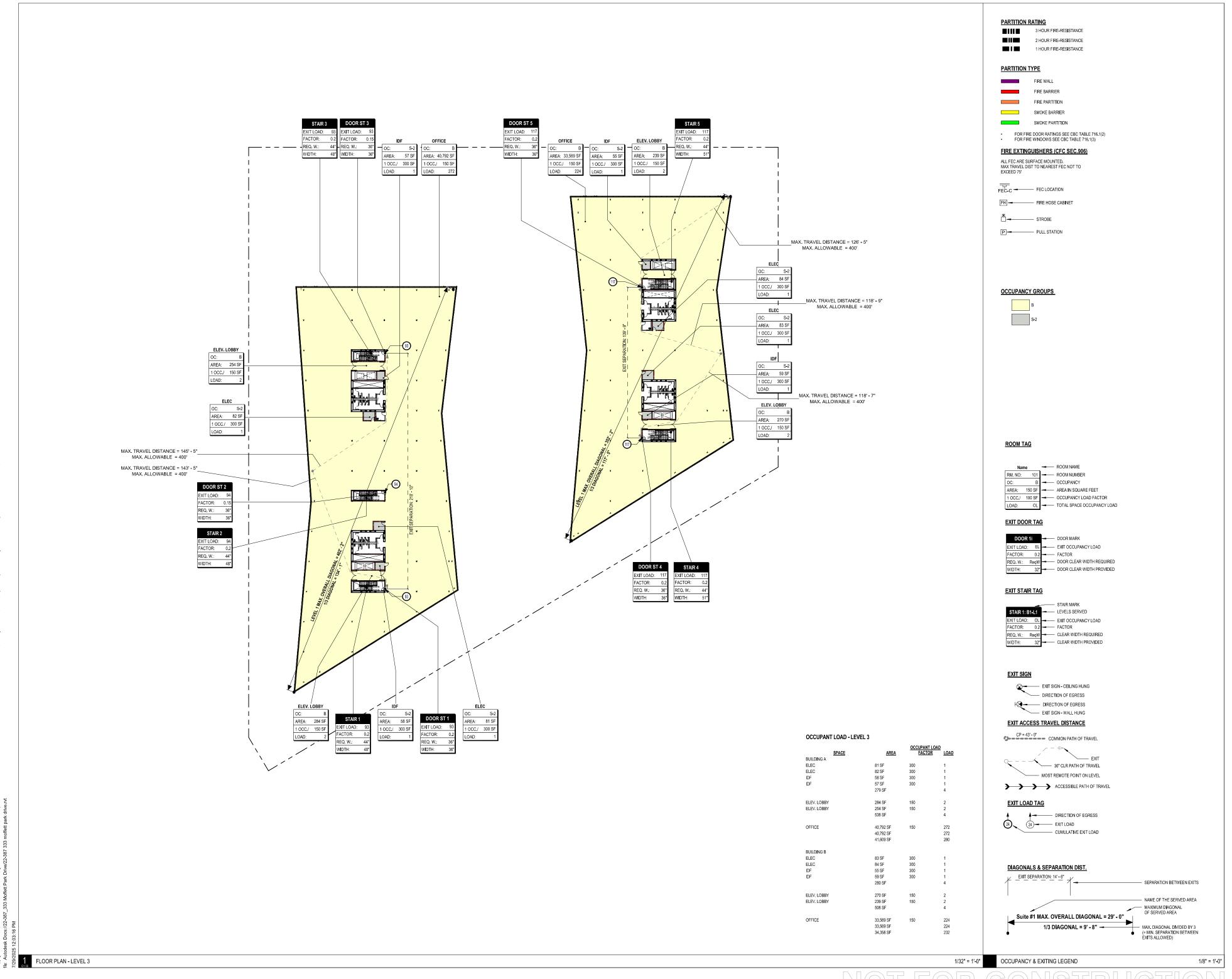
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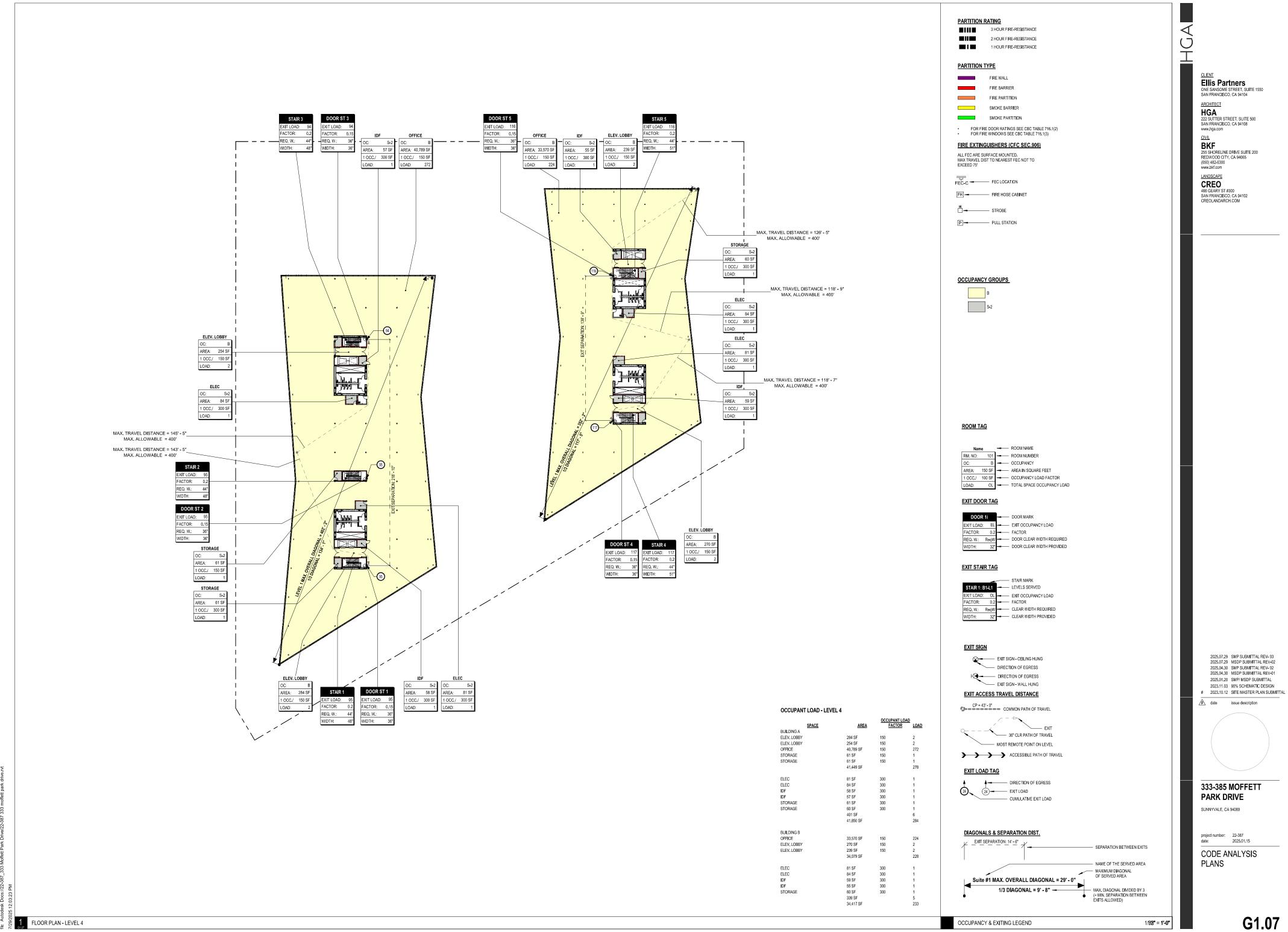
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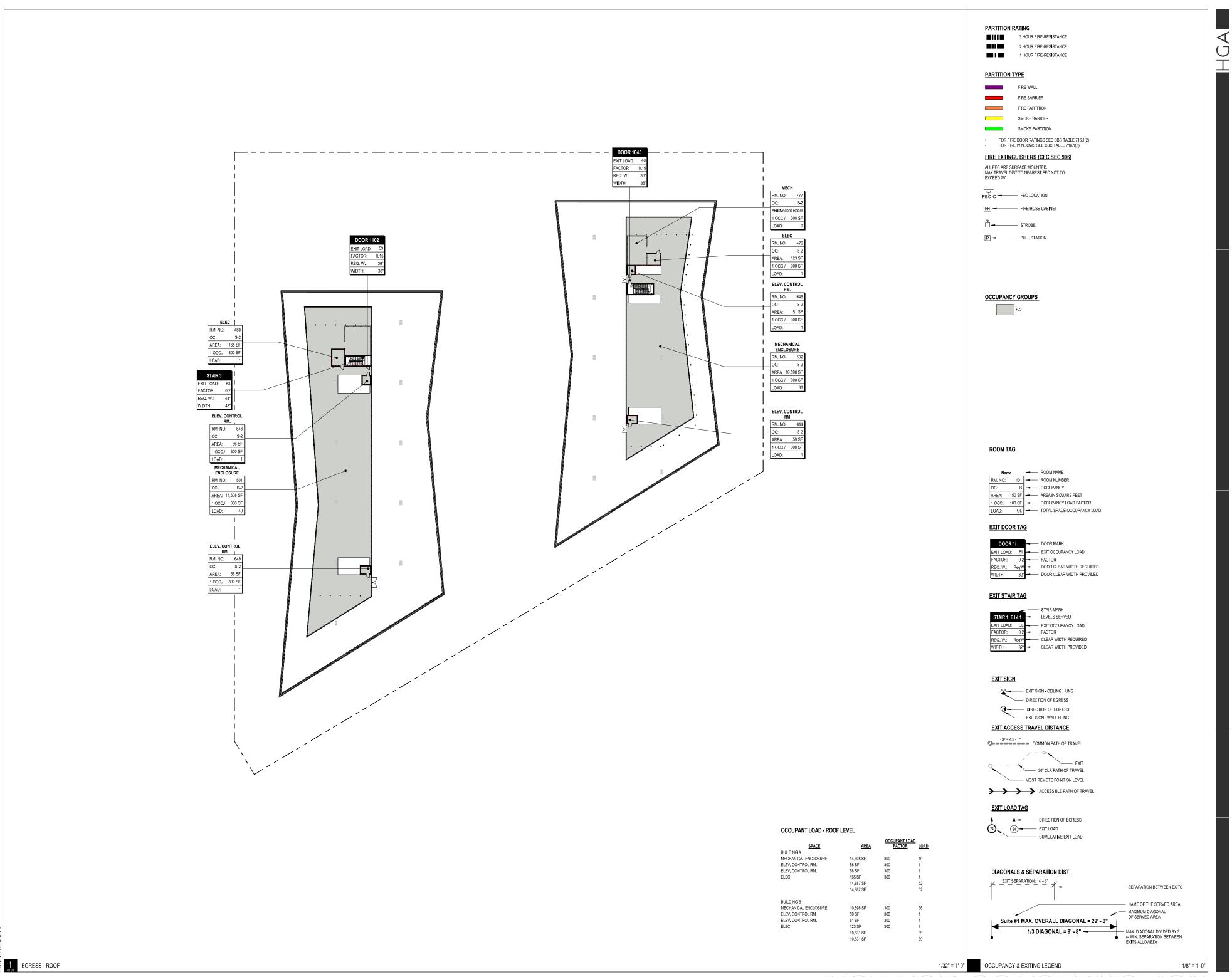
CODE ANALYSIS PLANS

G1.06

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G1.07



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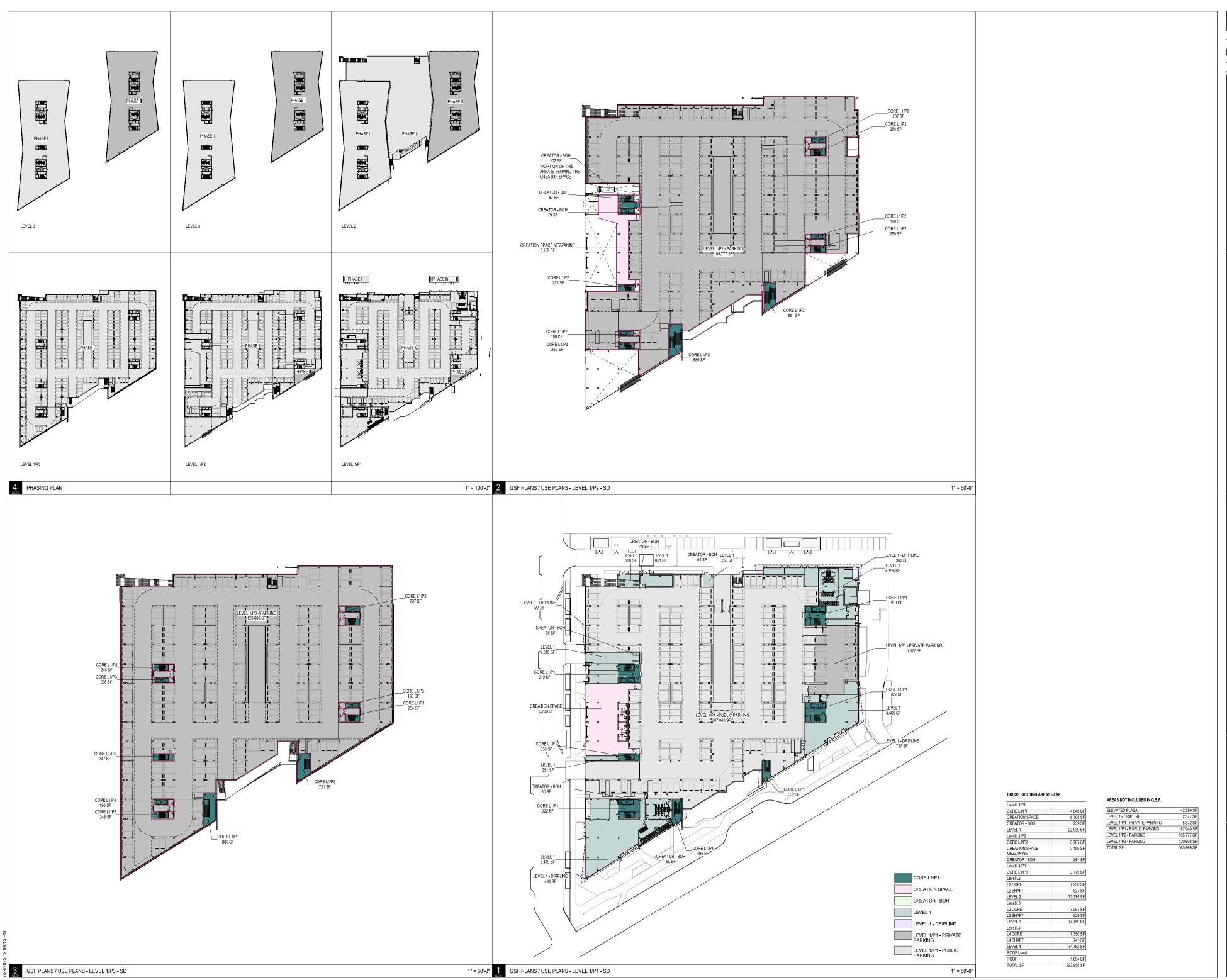
PARK DRIVE

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PLANS

G1.08



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BUILDING AREA
PLANS

333-385 MOFFETT

PARK DRIVE

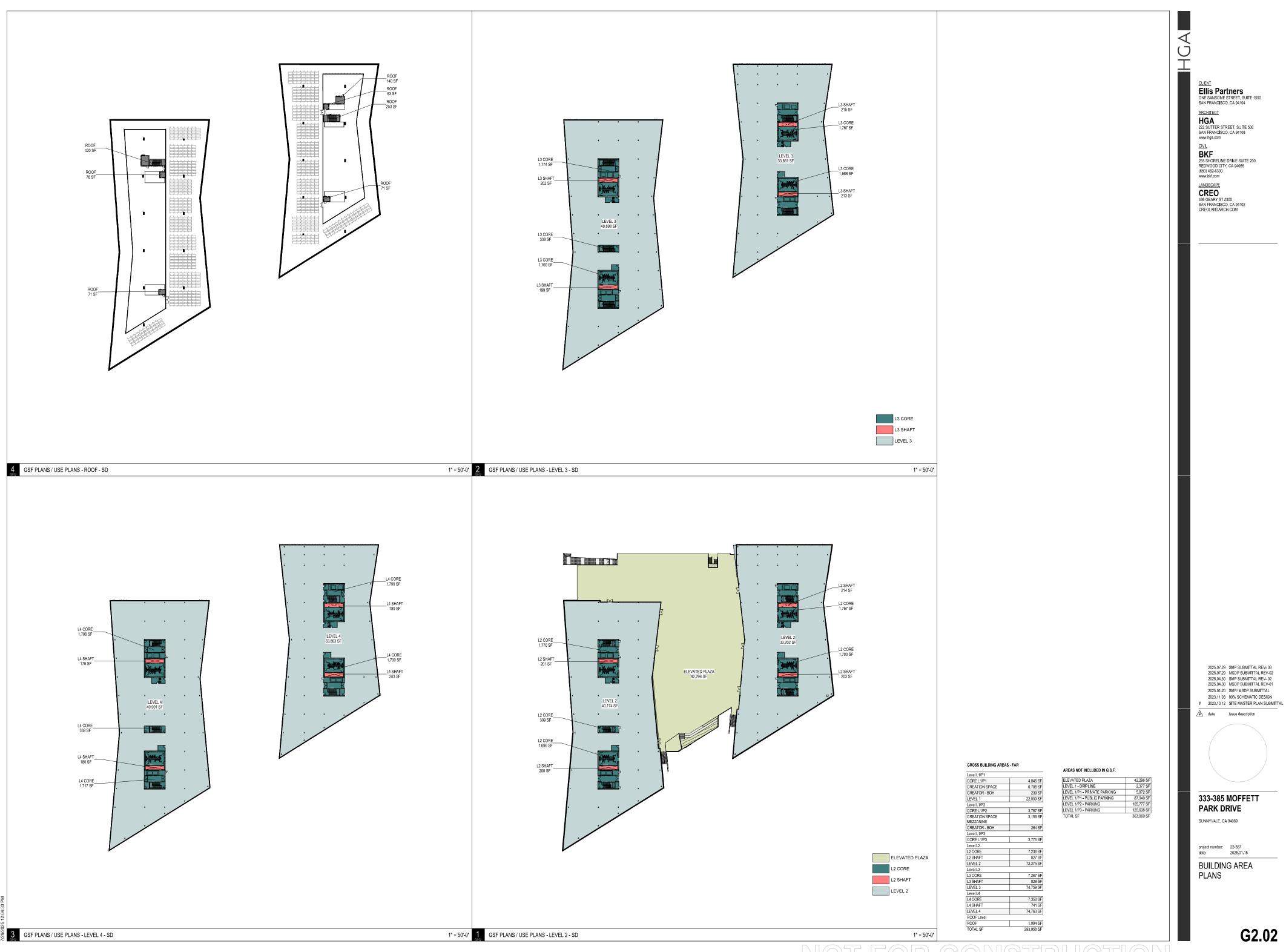
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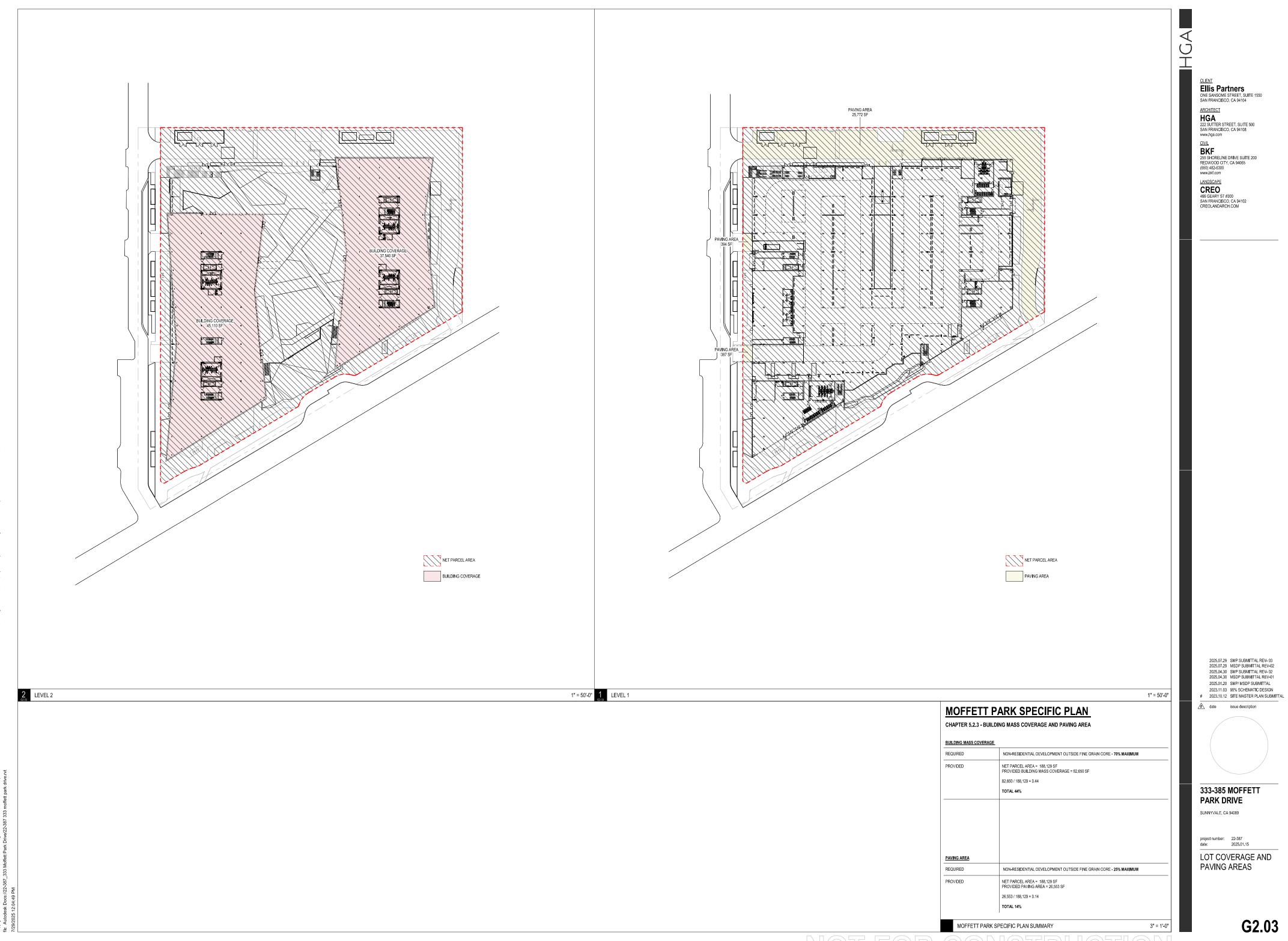
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G2.01

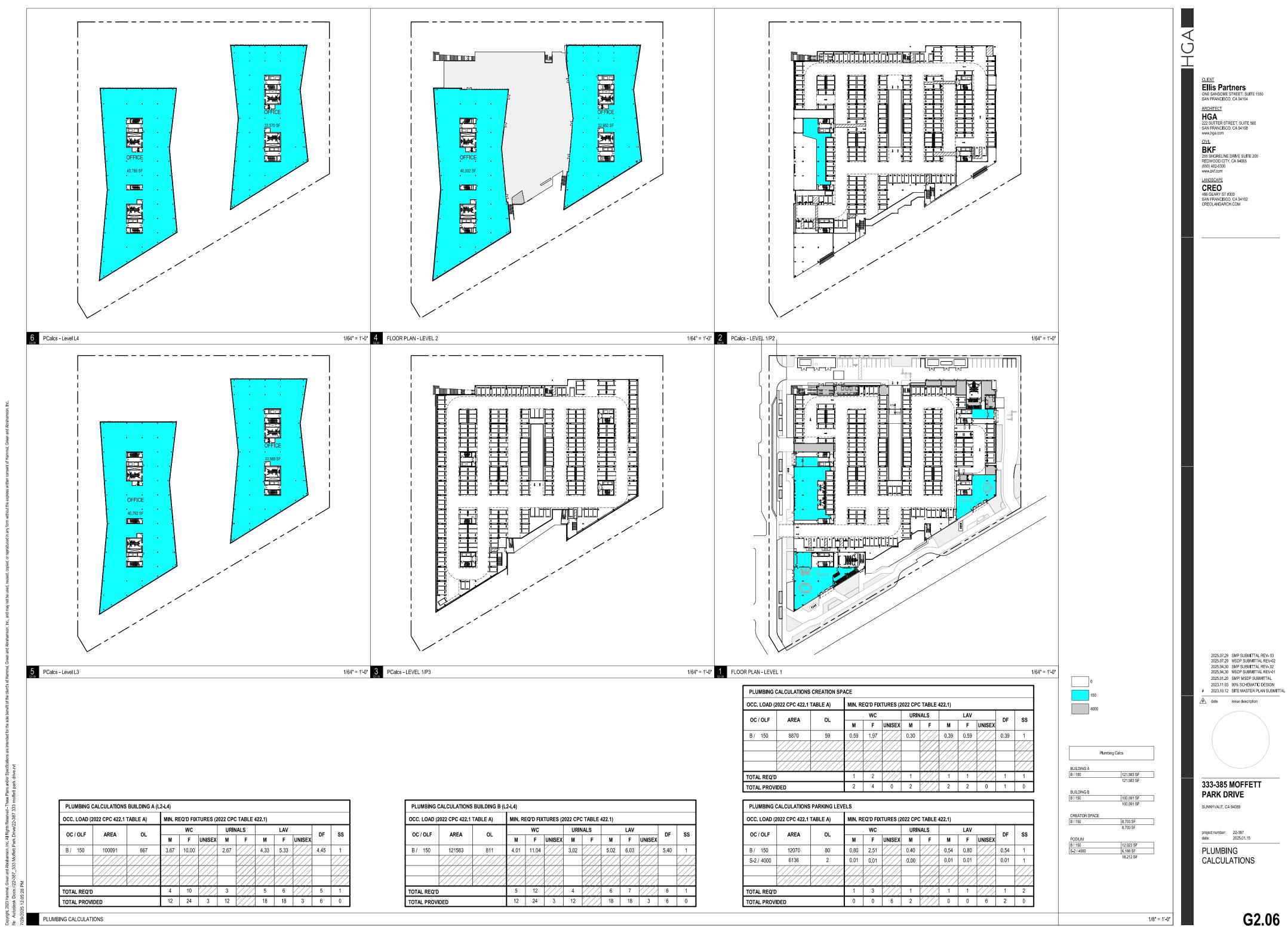
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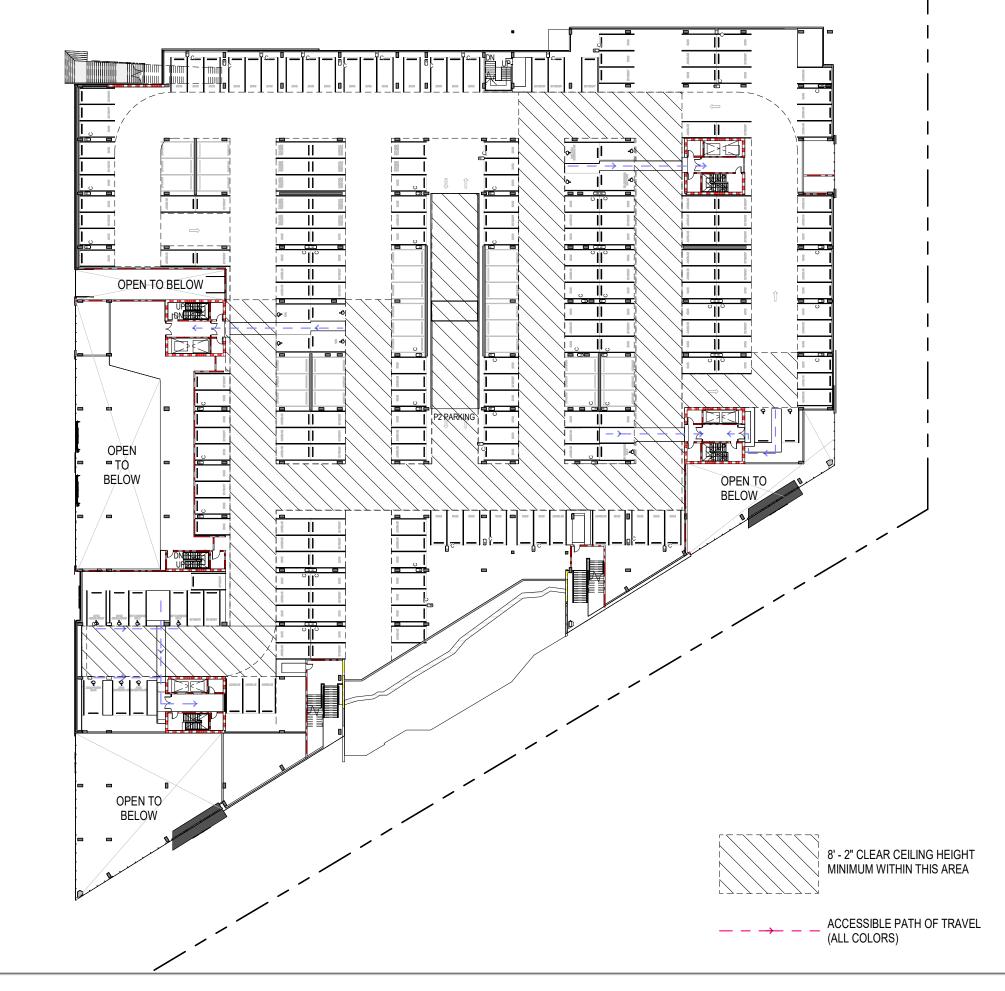
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G2.07



1" = 50'-0"

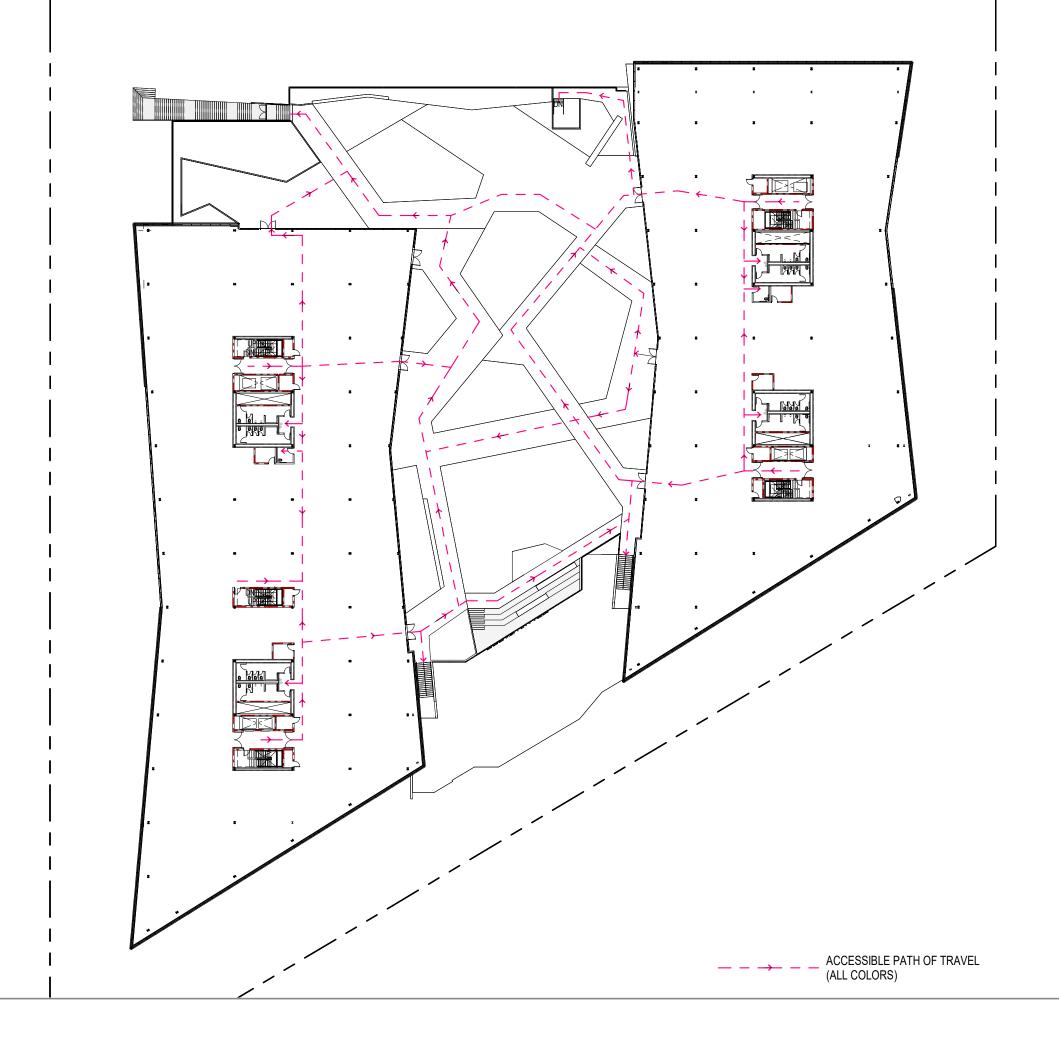


LEVEL 1/P2 1" = 50'-0"

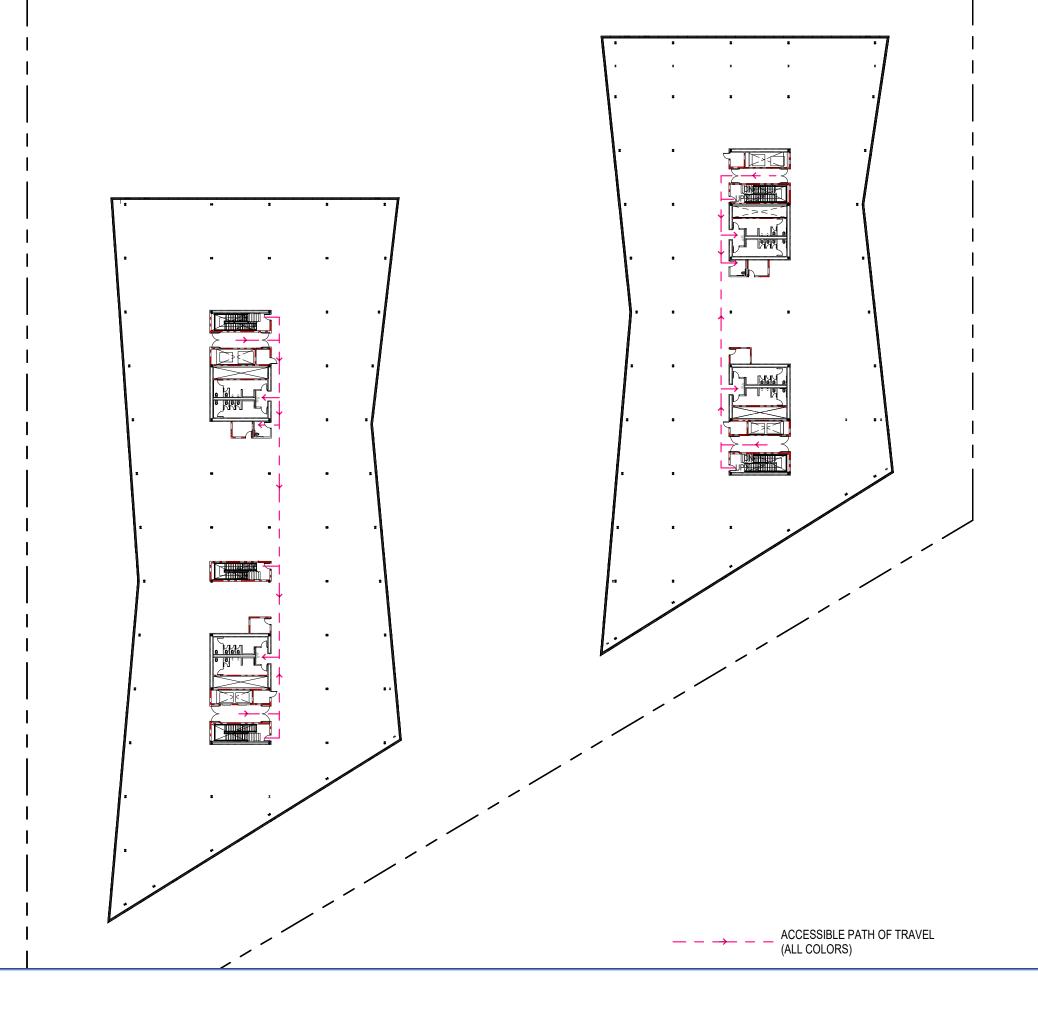


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LEVEL 1/P3

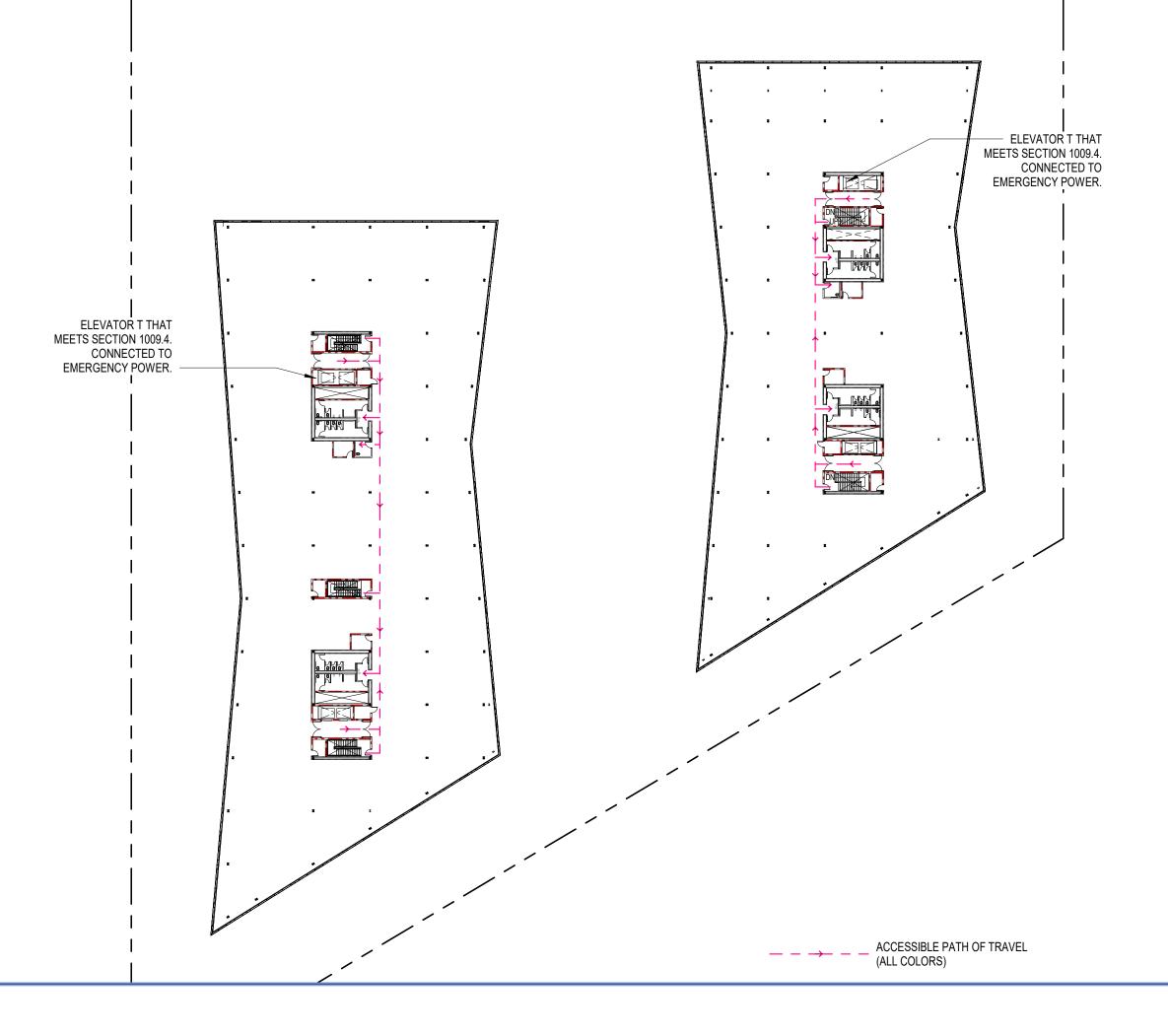


4 G2.07 1" = 50'-0"



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LEVEL 3



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AIA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

	NONRESIDENT	IAL
N/A RESPON.	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL	Y N/A RESPO
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mendatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code.	
	but are not required unless adopted by a city, county, or city and sounty as specified in Section 101.7, 301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building atterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and atterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.	
	A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.	
	301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only: Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seg. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.	☑ □ ARC
	301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.	
	301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC)	
	SECTION 302 MIXED OCCUPANCY BUILDINGS	
	302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.	
	SECTION 303 PHASED PROJECTS	
	303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.	
	303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.	
	ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-99 Division of the Stelle Antiberty, Structural Safety DSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations: N Naw	
	CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES	
	DIVISION 5.1 PLANNING AND DESIGN	Ix □ ARC
	SECTION 5.101 GENERAL 5.101.1 SCOPE The provisions of this chapter guilline planning, design and development methods that include environmentally responsible site selection, building design, building sting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.	G0.0
	SECTION 5.102 DEFINITIONS 5.102.1 DEFINITIONS	
	The following terms are defined in Chapter 2 (and are included here for reference) CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 iamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above natir, and 100 (10 percent) at a vertical angle of	
	80 degrees above nadir. This applies to all lateral angles around the luminaire. LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following:	Ш
	Zero emission vehicle (ZEV), enhanced advanced technology PZEV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1962. High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating od 9 oe	
	10 as regulated under 40 CFR Section 600 Subpart D. NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is partified to	
	zero-emission vehicle standards. TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.	
	VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortrick or truck tractor, pesigned for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.	
	Note: Source: Vehicle Code. Division 1, Section 668	
	ZEV. Any vehicle certified to zero-emission standards.	
i ix	SECTION 5.106 SITE DEVELOPMENT 5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE DF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale; shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:	
	5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management antitior erosion control ordinance.	
	5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.	
	1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, isut are not limited to, the following: a. Scheduling construction activity during dry weather, when possible, b. Preservation of natural features, vegetation, soil, and buffers around surface waters. Drainage swales or lined ditches to control stormwater flow d. Mulching or hydroseeding to stabilize disturbed soils. e. Erosion control to protect slopes. f. Protection of storm drain linets (gravel bags or calch basin inserfs). g. Henmeter sediment control (perimeter sitt tence, abor roits). h. Sediment trap or sediment basin to relative sediment on site.	
	Stabilized construction exits Wind erosion control. Other soil loss BMPs acceptable to the enforcing agency. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:	
	Dewalering activities. Material handling and waste management.	1 1 1

a Dewalering activities

Material handling and waste management.

Bullding materials stockpile management

Management of washout areas (concrete, paints, stucco. etc.).

Control of vehicle/equipment fueling to contractor's staging area.

Vehicle and equipment cleaning performed off site.

Spill, prevention and control.

Other housekeeping BMPs acceptable to the enforcing apericy.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale. Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must compty with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit). The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runof (pre-project hydrology) with the installation of positions from the present successful to the project hydrology) with the installation of positions from the present successful to the permits emphasize fund freduction through on-site stormwater use, interception, evapotranspiration, and infiltration through on-site stormwater use, interception, evapotranspiration, and infiltration through on-site stormwater use, interception, evapotranspiration, and infiltration design measure. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural. practices and be approved by the enforcing agenc

Refer to the current applicable permits on the State Water Resources Control Board website at: should be given during the initial design process for appropriate integration into site development. 5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2.

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; primate the applicable local ordinance, Whichever is stricter

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being.

5,106,4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.

5,106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following: Covered, lockable enclosures with permanently anchored racks for bicycles.
 Lockable bicycle rooms with permanently anchored racks, of
 Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle perking. [D9A-93] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2 5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently

accessed with a minimum of four two-bike capacity tacks per new building.

5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles;

Lockable bicycle rooms with permanently anchored racks; or
 Lockable, permanently anchored bicycle lockers.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code:

1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions: Where there is no local utility power supply

 Where the local utility is unable to supply adequate power.

Where there is evidence suitable to the local enforcement agency substantiating the local unity intrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project. 2. Parking spaces accessible only by automated mechanical car parking systems are not required to comply with this code section

5.106.5.3.1 EV capable spaces.
[N] EV capable spaces shall be provided in accordance with Table 5.106,5.3.1 and the following

iquirements:

1 Raceways complying with the California Electrical Code and no less that 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the EV capable and into a suitable listed cabinet, box enclosure or equivalent. A common raceway may be sed to serve multiple EV charging spaces.

2. A service panel or subpanel (s) shall be provided with panel space and electrical load.

 A service panel of subpanel (s) shell be provided win panel space and electrical load capacity for a dedicated 208/240 volt. 40-ampere minimum train space and electrical load capable space, with delivery of 30-ampere minimum to an installed EVSE at each EVCS.
 The electrical system and any on-site distribution fransformers shall have sufficient capacity to supply full rated amperage at each EV capable space.
 The service panel or subpanel circuit directory shall identify the reserved overcurrent protective devices space(s) as "EV CAPABLE". The raceway fermination location shall be reconsecuted and wishin panels of a "EV CAPABLE". permanently and visibly marked as "EV CAPABLE."

(vuie. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. Sea vehicle Code Section 22511.2 for further details.

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSEYS
0-9	0	0
10-25	2	.Ø
26-50	8	2
51-75	13	3
76-100	17.	-4-
101-150	25	6
151-200	35	9
201 AND OVER	20% of total	25% of EV capable spaces

2. The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count toward the total number of required EV capable spaces shown in column 2.

5.106.5.3.2 Electric vehicle charging stations (EVCS)
EV capable spaces shall be provided with EVSE to create EVCS in the number indicated in Table 5.106.5,3.1 The EVCS required by Table 5.106.5,3.1 may be provided with EVSE in any combination of Level 2 and Direct Current Fast Charging (OCFC), except that at least one Level 2 EVSE shall be

permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger.

The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the

5.106.5.3.3 Use of automatic load management systems (ALMS).
ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity specified in Section . S. 106.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW white simultaneously charging multiple EVs. When EVSE is installed, accessible EVSC shall be provided in accordance with the California Building Code, Chapter 11B. Section 11B-228.3.

Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle)

5.106.5.4 Electric Vehicle (EV) charging: medium-duty and heavy-duty. [N] Construction shall comply with section 5.106.5.4.1 to facilitate future installation of electric vehicle supply equipment (EVSE). Construction for warehouses, grocery stores and retail stores with planned off-street to spaces shall also comply with Section 5.106.5.4.1 for future installation of medium- and heavy-duty EVSE.

ses shall also comply with Section 0.100.54.1 for future instance may be selected from the section is not feasible based upon one of the following conditions;

a. Where there is no local utility power supply.

b. Where the local utility is unable to supply adequate power.

c. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.53, may adversely impact the construction coal of the project.

When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5,4.1 Electric vehicle charging readiness requirements for warehouse, grocery stores and retail store ith planned off-street loading spaces.

NI In order to avoid future demolition when adding EV charging supply and distribution equipment, spare raceways(s) or busway(s) and adequate capacity for transformers(s), service panels(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and apperications shall include but are not limited to, the following:

tions shall include out are not limited to, the relicioning.

1. The transformer, main service equipment and subpanel shall meet the minimum power requirement in Table 5.106.5.4.1 to accommodate the dedicated branch circuits for the The construction documents shall indicate on or more location(s) convenient to the planned

offstreet loading space(s) reserved for medium-and heavy-duty ZEV charging cabinets and charging dispensers, and a pathway reserved for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispense(s) as shown in Table 3. Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential future medium and neavy-duly EVSE will be located and shall terminate in closs proximity to the potential future location of the charging equipments for medium- and heavy-duty

The raceway(s) or busway(s) shall be sufficient size to carry the minimum additional system to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table 5.106.5.4.1.

TABLE 5.106.5.4.1 RACEWAY CONDUIT AND PANEL POWER
REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE [N]

BUILDING TYPE	BUILDING SIZE (SQ. FT.)	NUMBER OF OFF-STREET LOADING SPACES	ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY & BUSWAY AND TRANSFORMER & PANEL
	10,000 to 90,000	t or 2	200
Grocery	10,000 16 90,000	3 or Greater	400
	Greater than 90,000	1 or Greater	400
	40.000 to 895 000	1 tor 2	200
Retail	10,000 to 135,000	3 or Greater	400
	Greater than 135,000	1 or Greater	400
	The second section 1	for 2	200
Warehouse	20,000 to 256,000	3 or Greater	400
	Greater than 256,000	1 or Greater	400

5.106,8 LIGHT POLLUTION REDUCTION, [N], I Outdoor lighting systems shall be designed and installed to comply

1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and

Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter B);

Uplight and Care ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter B) and

Chapter 8) and

Allowable BUG ratings not exceeding those shown in Table 5 106.8. [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7. whichever is more stringent.

or area lighting

lighting including decorative

Luminaires that qualify as exceptions in Sections 130.2 (b) and 140.7 of the California Energy Code

Emergency lighting.

Building facade meeting the requirements in Table 140.7.B of the California Energy Code, Part 6.

Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8. Alternate materials, designs and methods of construction.

5. Luminaires with less than 6,200 initial luminaire lumens.

ALLOWABLE RATING	ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4
MAXIMUM ALLOWABLE BACKLIGHT RATING 3					
Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	Na Limil	No Limit
Luminaire back hemisphere is 1-2 MH from property line	N/A	82	ва	Б4	Ва
Luminaire back hemisphere is 0.5-1 MH from property line	N/A	Bi	B2	83	ва
Luminaire back hemisphere is less than 0.5 MH from properly line	N/A	B6	B0	RI	R2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					

TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT,

GLARE RATING . (G) MAXIMUM ALLOWABLE N/A GI G2 G) GLARE RATING (G) MAXIMUM ALLOWABLE Gü G1 GLARE RATING (G) MAXIMUM ALLOWABLE GO GO MAXIMUM ALLOWABLE GU G0 (30) 191 GLARE RATING (G) IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy

insidered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. property lines that abut public roadways and public transit corridors, the property line may be considered to be the enterline of the public roadway or public transit comdor for the purpose of determining compliance with this

5.106.8.1 Facing- Backlight
Luminaries within 2MH of a property line shall be oriented so that the hearest property line is behind the lixture, and shall comply with the backlight rating specified in Table 5.106.8 based on the lighting zone and distance to te nearest point of that properly line.

Exception: Corners. If two properly lines (or two segments of the same property line) have equidistant point

to the luminaire, then the luminaire may be priented so that the intersection of the two lines (the comer) is directly betind the luminaire. The luminaire shall still use the distance to the nearest points(s) on the propert lines to determine the required backlight rating.

o.o.c racing-state.
For luminaries covered by 5.100.8.1, if a property line also exists within or extends into the front hemisphere with 2MH of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point on the nearest property line within the front benefits the property of the property

Note: [N]

1. See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.

2. Refer to Chapter 8 (Compiliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, California Energy Code Tables 130.2-A and 130.2-B.

Refer to the California Building Code for requirements for additions and alterations.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface to the state of the state of the following or the state of th manage all surface water flows to keep water from water include, but are not limited to, the following:

Swales.
Water collection and disposal systems.

Water collection and disposal systems.
 French drains.
 Water retention gardens.
 Other water measures which keep surface water away from buildings and aid in groundwater recharge.

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2. and 5.105.12.3. Percentages shown shall be measured at noon on the cummer solstice, Landscape in necessary to establish and maintain tree health shall comply with Section 5.304.6

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years. Exceptions: Surface parking area covered by solar photovoltaic shade structures with roofing, materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in

5.106.12.2 Landscape areas. Shade Iress plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years

Exceptions: Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

Exceptions:

Walks, hardscape areas covered by solar photovoltaic shade structures or shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be parmitted in whole or in part in its

DIVISION 5.2 ENERGY EFFICIENCY SECTION 5.201 GENERAL .201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5,301 GENERAL ns of this chapter shall establish the means of conserving water use indoors, outdoors 5.301.1 Scope. The provisions of and in wastewater conveyance.

SECTION 5.302 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference) EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) IDSA-SSI. An adjustment factor when applied to

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The

GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been effected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthly processing, manufacturing, or erating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroo

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and

ashbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adept the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.

POTABLE WATER. Water that is dirinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.

aving Jurisdiction.

RECYCLED WATER. Water which, as a result of freatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur (Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.

SUBMETER. [HCD 1] A secondary device beyond a meter that measures water consumption of an individual rental unit within a multium residential structure or mixed-use residential and commercial structure. (See Civic Code Section 1954.202 (g) and Water code Section 517 for additional details.)

WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).

project number: 22-387 date: 2025.01.15 GREEN BUILDING CHECKLIST

G3.01

2025.07.29 SMP SUBMITTAL REV- 03

2025.07.29 MSDP SUBMITTAL REV-02

2025.04.30 MSDP SUBMITTAL REV-01 2025.01.20 SMP/ MSDP SUBMITTAL 2023.11.03 90% SCHEMATIC DESIGN

2023.10.12 SITE MASTER PLAN SUBMITTAL

333-385 MOFFETT

PARK DRIVE

SUNNYVALE, CA 94089

SECTION 5.303 INDOOR WATER USE ring devices shall be installed for the uses described in Sections 5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows: 1. For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. Where separate submeters for individual building tenants are unleasible, for water supplied to the lowing subsystems:

a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s),

b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s),

c. Steam and hot water boilers with energy input more than 500.000 Btu/n (147 kW). 5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Prumbing fixtures (water closets and 5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per lush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type tollets. Note: The effective flush volume of dual flush tollets is defined as the composite, average flush volume of 5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urmals shall 5.303.3.3 Showerheads. [BSC-CG]
5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criterie of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead 5.303.3.4 Faucets and fountains. 5.303.3.4.1 Nonresidential Layatory faucets. Layatory faucets shall have a maximum flow rate of not nore than 0.5 gallons per minute at 60 psi 5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 50 psi. Kitchen faucets may temporarily increase the flow above the maximum rate but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallon 5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 ns per minute/20 [rim space (inches) at 60 psi] 5,303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle. 5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 (nm space (inches) at 60 ps]. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve When installed, shall meet the requirements in the California Code of Regulations. Title 20 (Appliance Efficiency Regulations). Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7), and shall be equipped with an integral automatic shutoff. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 spray force in ounce force (ozf)] duct Class 1 (≤ 5.0 ozl) Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf roduct Class 3 (> 8.0 ozf) 5.303.4 COMMERCIAL KITCHEN EQUIPMENT. 5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 30 gm of water.
Note: This code section does not affect local jurisdiction authority to prohibit or require disposer. 5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply 5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed SECTION 5.304 OUTDOOR WATER USE 304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comple with a local water efficient landscape ordinance or the current California Department of Water Resources: Model Wate Miclant Landscape Ordinance (MWELO), whichever is more stringent. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.

MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/

hall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.

EFFICIENCY

SECTION 5.401 GENERAL

5.304.6.1 Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE

5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource thereby through protection of buildings from extentor motalistine, construction waste diversion, employment of exteniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.

ns of this chapter shall outline means of achieving material conservation and resource

5.304.6.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet.

NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023) 5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference). ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed tested, operated and maintained to meet the owner's project requirements. TEST. A procedure to determine quantitative performance of a system or equipment SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local 5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods. 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures 5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows: 5.407.2.2.1 Exterior door protection. Primary exterior entries shalf be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following: An installed awning at least 4 feet in depth.
The door is protected by a roof overhang at least 4 feet in depth.
The door is recessed at least 4 feet.
Other methods which provide equivalent protection. 5.407,2.2.2 Flashing. Install flashings integrated with a drainage plane SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND 5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition weste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent. bulk mixed (single stream).

likentifies diversion facilities where construction and demolition waste material collected will be taken.

Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill Note: The owner or contractor shall make the determination if the construction and demolition waste material Exceptions to Sections 5.408.1.1 and 5.408.1.2: Excavated soil and land-cleaning debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities 5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirem as approved by the enforcing agency. 5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1. through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-List-Folder/CALGreen may be used to assist in documenting compliance with the waste response to the content of the cont management plan.

Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (Califocyte). 5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Wasterns such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibit Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Wasterns and California prohibited Universal Wasterns an 5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of frees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed. Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation. If contamination by disease or past infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material.

For a map of know pest and/or disease quarantine zones, consuit with the California Department of Food and Agnoutture. (www.cdfa.ca.gov) 5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS 5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-nazardous materials for recycling, including (at a minimur paper; corrupated cardiobard; plass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWELO. 5.410.1.1 Additions. All additions conducted wiltin a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.

Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space

5.410.1.2 Sample ordinance. Space ellocation for recycling areas shall compty with Chapter 18. Part 3. Division 30 of the Public Resources Code: Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document of the

ATA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

5.410.2 COMMISSIONING. (N) New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by OSHPD or for I-occupancies. ote: For energy-related systems under the scope (Section 100) of the California Energy Code, including neati-antilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as wate-eating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements Owner's or Owner representative's project requirements:
 Basis of design.
 Commissioning measures shown in the construction documents.
 Commissioning plan.
 Functional performance testing.
 Documentation and training.
 Commissioning report: Unconditioned warehouses of any size.
 Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not 1) IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional performance feets or to adjust and balance systems. Functional performance testing for heating, vertilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code. 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following:

1. Environmental and sustainability goals:

2. Building sustainable goals.

3. Indoor environmental quality requirements.

4. Project program, including facility functions and hours of operation, and need for after hours operation. 5 Equipment and systems expectations 5.410.2.2 Basis of Design (BOD), [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems: 5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following:

1. General project information:
2. Commissioning gloats:
3. Systems to be commissioned. Plans to test systems and components shall include:
a. An explanation of the original design intent.
b. Equipment and systems to be tested, including the extent of tests.
c. Functions to be tested.
d. Conditions under which the test shall be performed. Measurable criteria for acceptable performance 5. Commissioning process activities, schedules and responsibilities. Plans for the completion of 5.410.2.4 Functional performance teating. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall centain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustment. 5,410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are require including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR). Title 8, Section 5142, and other related regulations. 5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following:

 Site information, including facility description, history and current requirements.

 Site contact information.
 Basic operations and maintenance, including general site operating procedures, basic Major systems Site equipment inventory and maintenance notes A copy of verifications required by the enforcing agency or this code.

Other resources and documentation, if applicable. System/equipment overview (what it is, what it does and with what other systems and/or Review and demonstration of servicing/preventive maintenance 4. Review of the record drawings on the system/equipment 5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or 5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of Note: For energy-related systems under the scope (Section 100) of the Galifornia Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well

Renewable energy systems.

specifications and applicable standards on each system

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's

5,410.4.3,1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balanci Council National Standards or as approved by the enforcing agency

detailed operating and maintenance instructions and copies of guaranties/warefuls for each system, O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related 5.410.4.5.1 Inspections and reports, include a copy of all inspection verifications and reports required DIVISION 5.5 ENVIRONMENTAL QUALITY as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)3 for additional testing requirements of specific 5.410.4.2 Systems. Devolop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, initiating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbor. ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one poun

COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening mours (7 kcept that a 5 decibel adjustment is added to the equivalent continuou o 10pm) in addition to the 10 dB nightlime adjustment used in the Ldn. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and mediu nsity fiberboard, "Composite wood products" does not include hardboard, structural plywood, structural panels tructural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists or inger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(8). Note: See CCR, Title 17, Section 93120 1. DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 4-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.). **DECIBEL (db).** A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure sound power, sound intensity) with respect to a reference quantity. trucks, vans, neighborhood electric vehicles, electric molorcycles, and the like, primarily powered by an electric molor that draws current from a rechargeable storage battery. I'uel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code iff-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground upport equipment, tractors, boats, and the like, are not included. ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicle ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing

5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representate

signed by the individual responsible for performing these services

FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections

GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greening as relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one. GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995), or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found to column "100 yr" of Table 2.14.

HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a direchlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (8) any oxone depteting substance as defined in Title 40 of the Code of Sederal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).

LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction,

LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that. (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).

MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999 **MAXIMUM INCREMENTAL REACTIVITY (MIR).** The maximum change in weight of ozone formed by adding a compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to flundreths of a gram (g O^3 lg ROC)

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this roduct (excluding container and packaging).

SIG. Pounds per square inch, guage REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

SCHRADER ACCESS VALVES. Access fittings with a valve core installed,

HORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, UPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square fee imore conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected remote compressor units or condensing units.

VOC. A votable organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)

lote: Where specific regulations are clied from different agencies such as SCAQMD, ARB, etc., the VOC definition activities of the specific regulation is the one that prevails for the specific measure in guestion. SECTION 5.503 FIREPLACES

5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealer wood-storus or pellet stove, and refer to residential requirements in the California Energy Code. Title 24. Part 6, Subchapter 7, Section 150, Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances. 5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) entission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.

SECTION 5.504 POLLUTANT CONTROL

SECTION 3.504 POLLUTANT CONTROL.

5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filliers with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.1-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately orior to obsupancy, or, if the building is

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and vertilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system. DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTERDED TO LIE USED AN A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) GODE. DUE TO THE VARIABLES BETWEEN BUILDING VERHICATION WITH THE FULL OQUE

2025.04.30 MSDP SUBMITTAL REV-01 2025.01.20 SMP/ MSDP SUBMITTAL 2023.11.03 90% SCHEMATIC DESIGN 2023.10.12 SITE MASTER PLAN SUBMITTAL

2025.07.29 SMP SUBMITTAL REV- 03

2025.07.29 MSDP SUBMITTAL REV-02



333-385 MOFFETT PARK DRIVE SUNNYVALE, CA 94089

project number: 22-387 date: 2025.01.15

GREEN BUILDING CHECKLIST

Ellis Partners

222 SUTTER STREET, SUITE 500 SAN FRANCISCO, CA 94108

CREO

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5:504.4.1 through

2. Aerosol ednesives, and smaller unit sizes of senesyes, and sealant or causing compounds (in units of product, less packaging, which po not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations. Title 17, commencing

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT:	2
Less Water and Less Exempt Compounds in Grams per L	iter
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	BO .
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
MOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE

2 FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMEN' DISTRICT RULE 1168, www.arb.cs.gov/DRDB/SC/CURHTML/R1168.PDF

less Water and Less Exempt Compounds in Grams	per Liter
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	A50
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL.	
NONPORQUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER.	750

DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specially coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or easure; and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for ROG in Section 94522(a)(3) and other requirements, including prehibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Gode of Regulations, Title 17, commencing with Section 94520; and in areas under the junscitation of theBay Area Air Quality Management District additionally comply with the percent VOC by weight of product

COATING CATEGORY	CURRENT VOC LIMIT	
SPECIALTY COATINGS		
ALUMINUM ROOF COATINGS	400	
BASEMENT SPECIALTY COATINGS	400	
BITUMINOUS ROOF COATINGS	50	
BITUMINOUS ROOF PRIMERS	350	
BOND BREAKERS	350	
CONCRETE CURING COMPOUNDS	350	
CONCRETE/MASONRY SEALERS	100	
DRIVEWAY SEALERS	50	
DRY FOG COATINGS	†50	
FÄUX FINISHING COATINGS	.350	
FIRE RESISTIVE COATINGS	350	
FLOOR COATINGS	100	
FORM-RELEASE COMPOUNDS	250	
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	
HIGH-TEMPERATURE COATINGS	420	
INDUSTRIAL MAINTENANCE COATINGS	250	
LOW SOLIDS COATINGS:	120	
MAGNESITE CEMENT COATINGS	450	
MASTIC TEXTURE COATINGS	100	
METALLIC PIGMENTED COATINGS	500	
MULTICOLOR COATINGS	250	
PRETREATMENT WASH PRIMERS	420	
PRIMERS, SEALERS, & UNDERCOATERS	100	
REACTIVE PENETRATING SEALERS	350	
RECYCLED COATINGS	250	
ROOF COATINGS	50	
RUST PREVENTATIVE COATINGS	250	
SHELLACS:		
CLEAR	730	
OPAQUE	550	
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	
STAINS	250	
STONE CONSOLIDANTS	450	
SWIMMING POOL COATINGS	340	
TRAFFIC MARKING COATINGS	100	
TUB & TILE REFINISH COATINGS	420	
WATERPROOFING MEMBRANES	250	
WOOD COATINGS	275	
WOOD PRESERVATIVES:	350	
ZINC-RICH PRIMERS	340	

TABLE 5.504.4.3 - CONT.

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

 VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5 504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of Manufacturer's product specification
 Field verification of on-site product containers

All carpet installed in the bullding interior shall meet the requirements of the California Department of Public Health. "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers." Version 1.2, January 2017 (Emission testing method for California See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/AQ/Pages/VOC.aspx#material

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and

Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmenta Chambers, "Version 1.2, January 2017 (Emission testing method for California Specifications

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications.

 Chain of custody certifications.

Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2266 or European 636.3S

standards.
5. Other methods acceptable to the enforcing agency

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER	MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARDs	0,13

5.504.4.6 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standa Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specifications 13.250).

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits. 5,504.4.7 Thermal insulation

rements of the California Department of Public Health, "Standard Method of the Testing Comply with the requirements of the California Department of Public reason, Surface Institute of Voltage and Evaluation of Voltage Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, "Version 1.2, January 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification organisms and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.7.1 Verification of compliance. Documentation shall be provided verifying that thermal insulation materials meet the poliutant emission limits.

5.594.4.8 Acoustical ceiling and wall panels.
Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2. January 2017 (Emission testing method for California Specification 01350).
See California Department of Public Health's website for certification programs and testing labs.

5.504.4.8.1 Verification of compliance. Documentation shall be provided verifying that acoustical

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 18. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

5,504,5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking

rohibit smoking within 25 feet of building entries, outdoor air Intakes and operable windows and within the building as fready prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any otly, ounty, bity and county, California Community College, campus of the California State University, or campus of the Inversity of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post ignage to inform building occupants of the prohibitions. SECTION 5.505 INDOOR MOISTURE CONTROL

5.595.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code. CCI. Tille 24. Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR. Title 8.

5,506.2 CARBON DIOXIDE (CO2) MONITORING. For buildings or additions equipped with demand control entilation, CO₂ sensors and ventilation controls shall be specified and installed in accordance with the requirements The California Energy Code, Section 120(c)(4)

5.506.3 Carbon dioxide (CO2) monitoring in classrooms.
(DSA-SS) Each public K-12 school classroom, as listed in Table 120.1-A of the California Energy Code, shall be equipped with a carbon dioxide monitor or sensor that meets the following requirements:

The monitor or sensor shall be permanently affixed in a tamper-proof manner in each classroom between 3 6 feet (914 mm and 1829 mm) above the floor and at least 5 feet (1524 mm) away from door and operable

windows:

When the monitor or sensor is not integral to an Energy Management Control System (EMCS), the monitor or sensor shall display the carbon dioxide readings on the device. When the sensor is integral to an EMCS, the carbon dioxide readings shall be available to and regularly monitored by facility personnel. A monitor shall provide notification though a visual indicator on the monitor when the carbon dioxide (avels in the classroom have exceeded 1,100ppm. A sensor integral to an EMCS shall provide notification to facility personnel through a visual and/or audible indicator when the carbon dioxide levels in the classroom have exceeded 1,100ppm.

exceeded 1.100ppm.

The manutor or sensor shall measure carbon dioxide levels at minimum 15- minute intervals and shall maintain a record of provious carbon dioxide measurements of not less than 30 days duration. The monitor or sensor used to measure carbon dioxide levels shall have the capacity to measure carbon dioxide levels with a range of 400ppm to 2000ppm or greater. The monitor or sensor shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbon thorde concentration and shall be certified by the manufacturer to require calibration no more frequently than once every 5 years.

SECTION 5.507 ENVIRONMENTAL COMFORT
5.507 A ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class
(STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission
Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in
Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings. Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and conf-delling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite ST the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OTC rating of no less than 40, with exterior windows of a minimum STC of 40 or OTC of 30 in the following locations:

1. Within the 65 CNEL noise contour of an airport.

1 Lin or CNEL for military airports shall be determined by the facility Air Installation Compatible

2. Lon or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element. 2. Within the 65 CNEL or Liminoles contour of a freeway or expressway, railroad, industrial source of

ixed-guideway source as determined by the Noise Element of the General Plan 5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{cq.} 1-thr during any hour of operation shall have building, addition or alteration. exterior wall and roof-deiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-celling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-11tr) of 50 dBA in occupied areas during any hour of operation.

appropriate to the building, addition or attenation project to mitigate sound migration to the interior.

5,507,4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record. 5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenan spaces and public places shall have an STC of at least 40

Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbase.org/PDF/CaseStudies/stc_jcc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do no

5,508,1.2 Halons, Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8.000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potentia (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO_2), and potentially other refrigerants.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack. 5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a

5,508.2.1.2.1 Anchorage. One-foulti-inch OD lubling shall be securely clamped to a rigid trase to keep vibration levels below 8 mils.

5.508.2.1.3 Flared tubing connections. Double-flared lubing connections may be used for pressure

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Code and as

5.508,2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the nuclure disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5,508.2,2.2 Access valves. Only Schrader access valves with a brass or steel body are

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps

5.598.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place. 5.508.2.2.2.1 Chain tethers. Chain lethers to fit ovr the stem are required for valves

Exception: Valves with seat caps that are not removed from the valve during stem

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar salt shall have evaporator coils of corrosion-resistant material, such as stainless steet; or be coated to preven

5.508.2.3,1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to

with a device the indicates the level of refrigerant in the receiver. 5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum. 5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and relest for pressure using the same

5.508,2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- and pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and

5.508,2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 3 5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hour

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

New System installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or settification program. Uncertified persons may perform HVAC installations when under the direct supervision and seponsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC system. xamples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship grograms.

Public utility training programs.
Training programs by trade, labor or statewide energy consulting or verification organizations.
Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.

702,2 SPECIAL INSPECTION [HCD]. When in sponsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or after dulies necessary to substantials compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector.

Certification by a national or regional green building program or standard publisher.
 Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
 Successful completion of a third party apprentice training program in the appropriate trade.
 Other programs acceptable to the enforcing agency.

Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
 HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspections shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate ection or identified applicable checklist.

RDS (GALGREEN) CODE - DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS COCUMENT, INCLUDING VERIFICATION WITH THE FULL CODI

255 SHORELINE DRIVE SUITE 200 REDWOOD CITY, CA 94065

2025.07.29 SMP SUBMITTAL REV- 03 2025.07.29 MSDP SUBMITTAL REV-02 2025.04.30 MSDP SUBMITTAL REV-01 2025.01.20 SMP/ MSDP SUBMITTAL 2023.11.03 90% SCHEMATIC DESIGN 2023.10.12 SITE MASTER PLAN SUBMITTAL

333-385 MOFFETT PARK DRIVE

SUNNYVALE, CA 94089

project number: 22-387 date: 2025.01.15

GREEN BUILDING CHECKLIST

HGA

CLIENT
Ellis Partners
ONE SANSOME STREET, SUITE 1550
SAN FRANCISCO, CA 94104

ARCHITECT
HGA
222 SUTTER STREET, SUITE 500
SAN FRANCISCO, CA 94108
www.hga.com

CIVIL

BKF
255 SHORELINE DRIVE SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

LANDSCAPE
CREO
466 GEARY ST #300
SAN FRANCISCO, CA 94102
CREOLANDARCH.COM

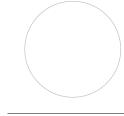
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2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL

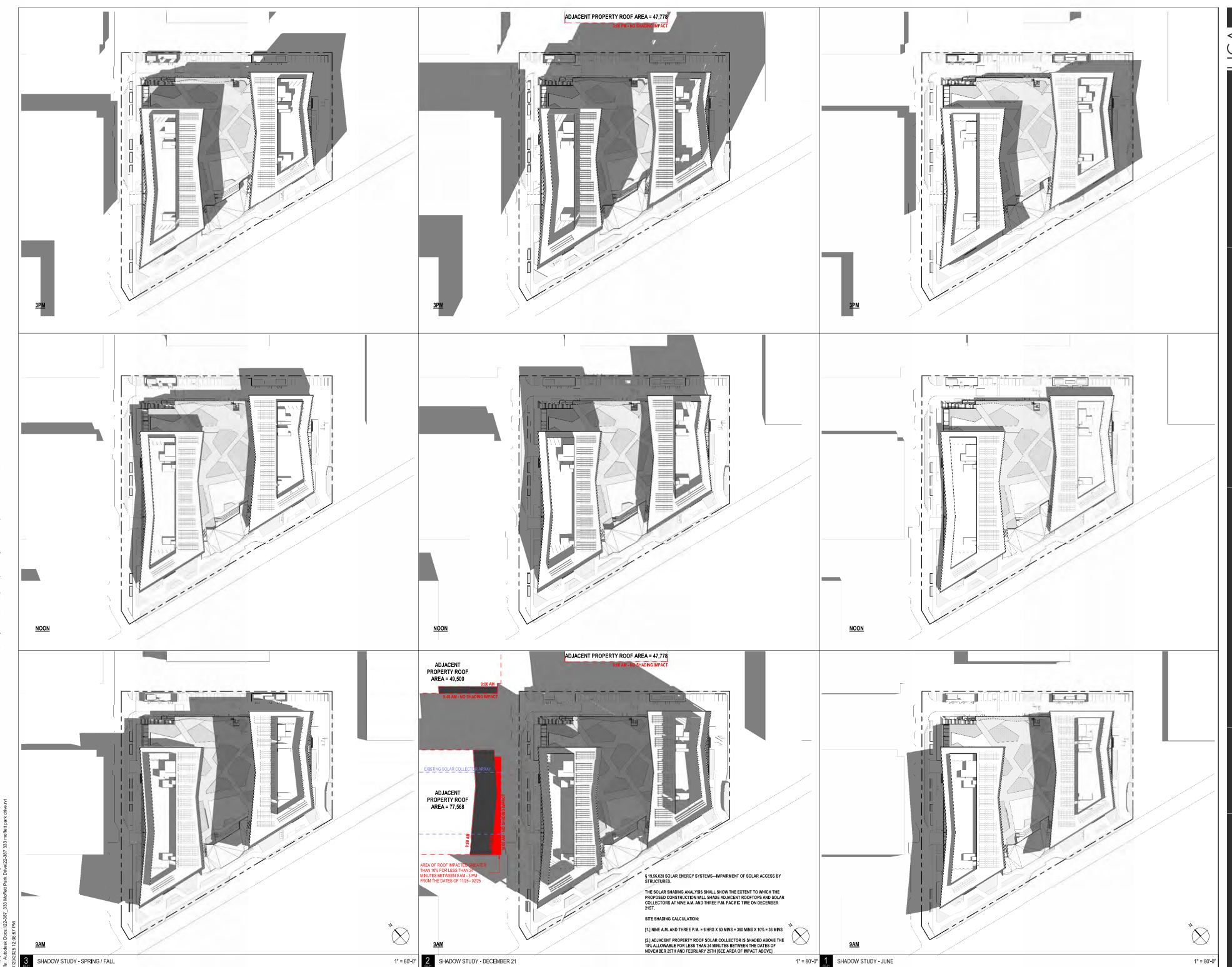
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333-385 MOFFETT PARK DRIVE

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project number: 22-387 date: 2025.01.15



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SOLAR SHADING ANALYSIS

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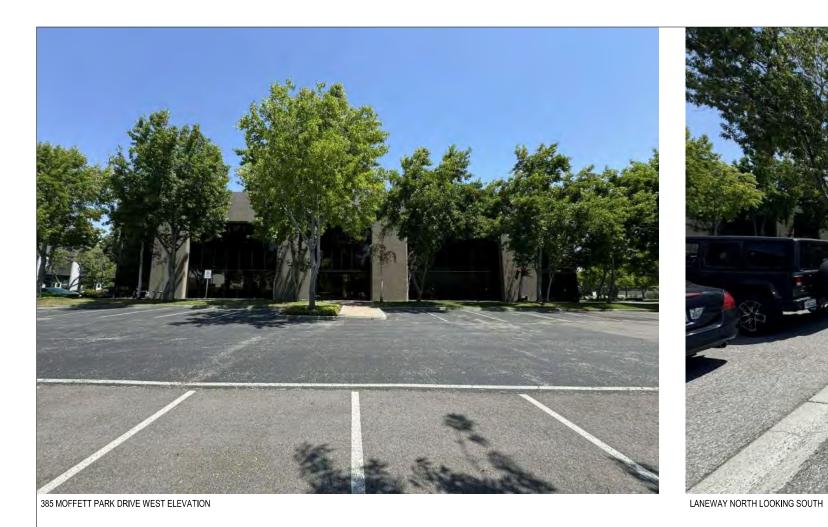
EXISTING CONDITIONS PHOTOS

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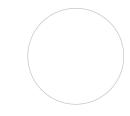
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3D VIEW

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3D VIEWS





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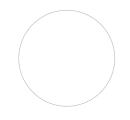
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3D VIEWS



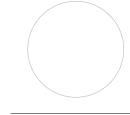
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HILLSIDE PLANTING ILLUSTRATION



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3D VIEWS - CONTEXT VIEWS



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project number: 22-387

3D VIEWS - AERIAL CONTEXT VIEWS

CLEAR AND OPAQUES GLAZING AREAS FOR SOLAR SHADING & REDUCTION OF HEAT GAIN

MONUMENTAL BUILDING 'FLOATING' ON A PODIUM

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HISTORIC & BUILDING PRECEDENTS

2 COMPLEMENTTARY VOLUMES

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INFLECTION OF LONG FACADE FOR DYNAMIC BUILDING ARTICULATION

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** date issue description

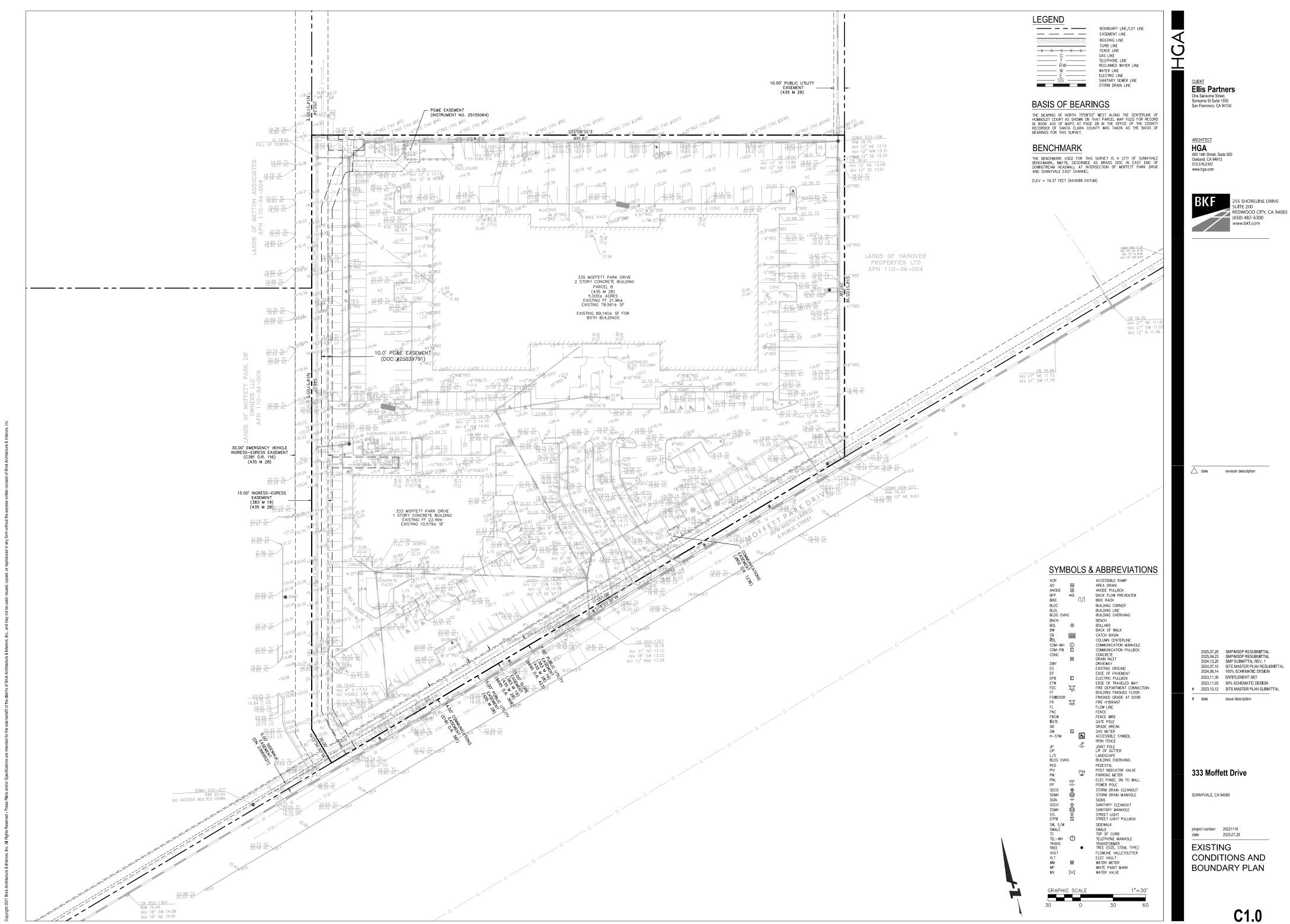


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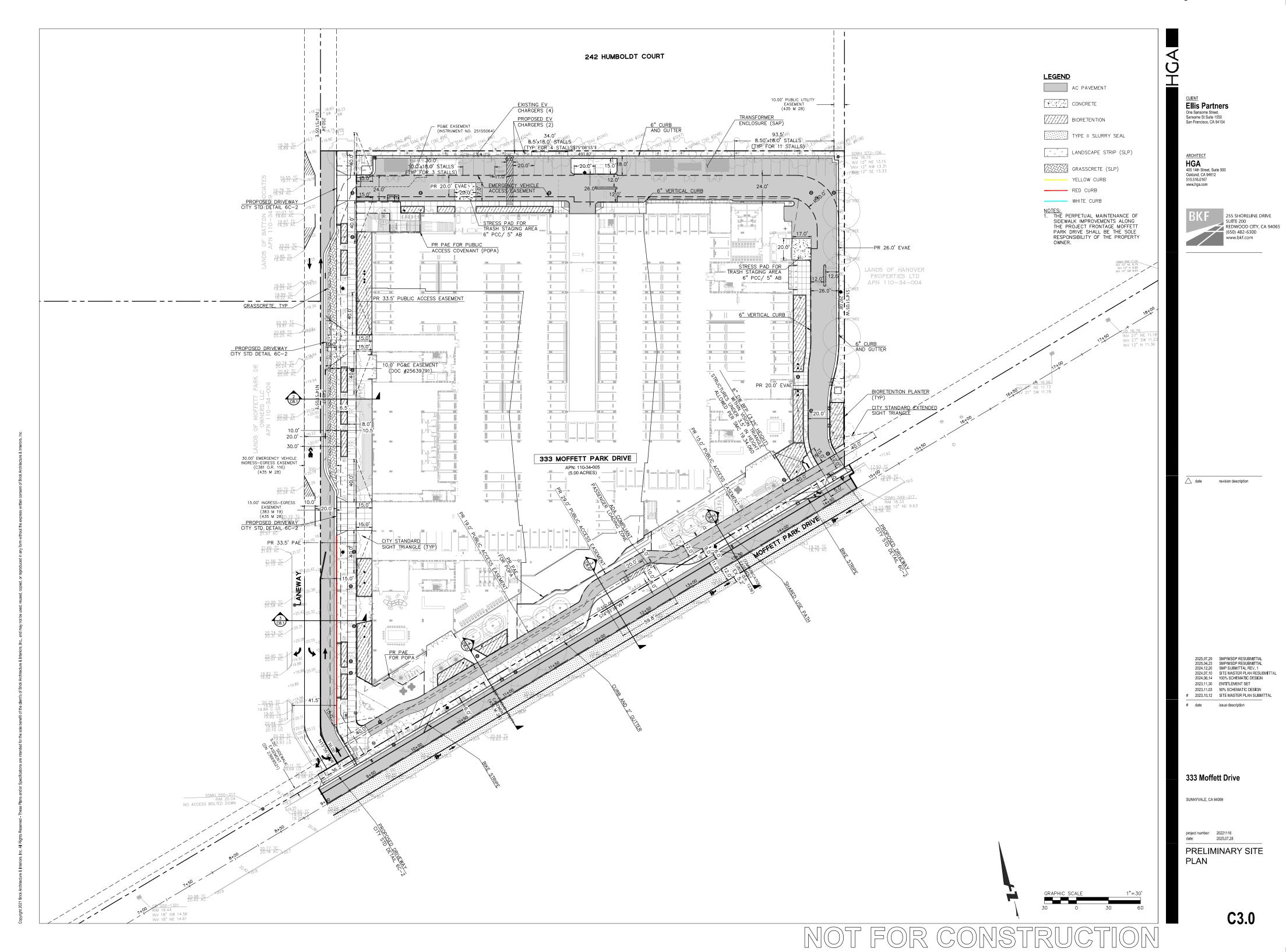
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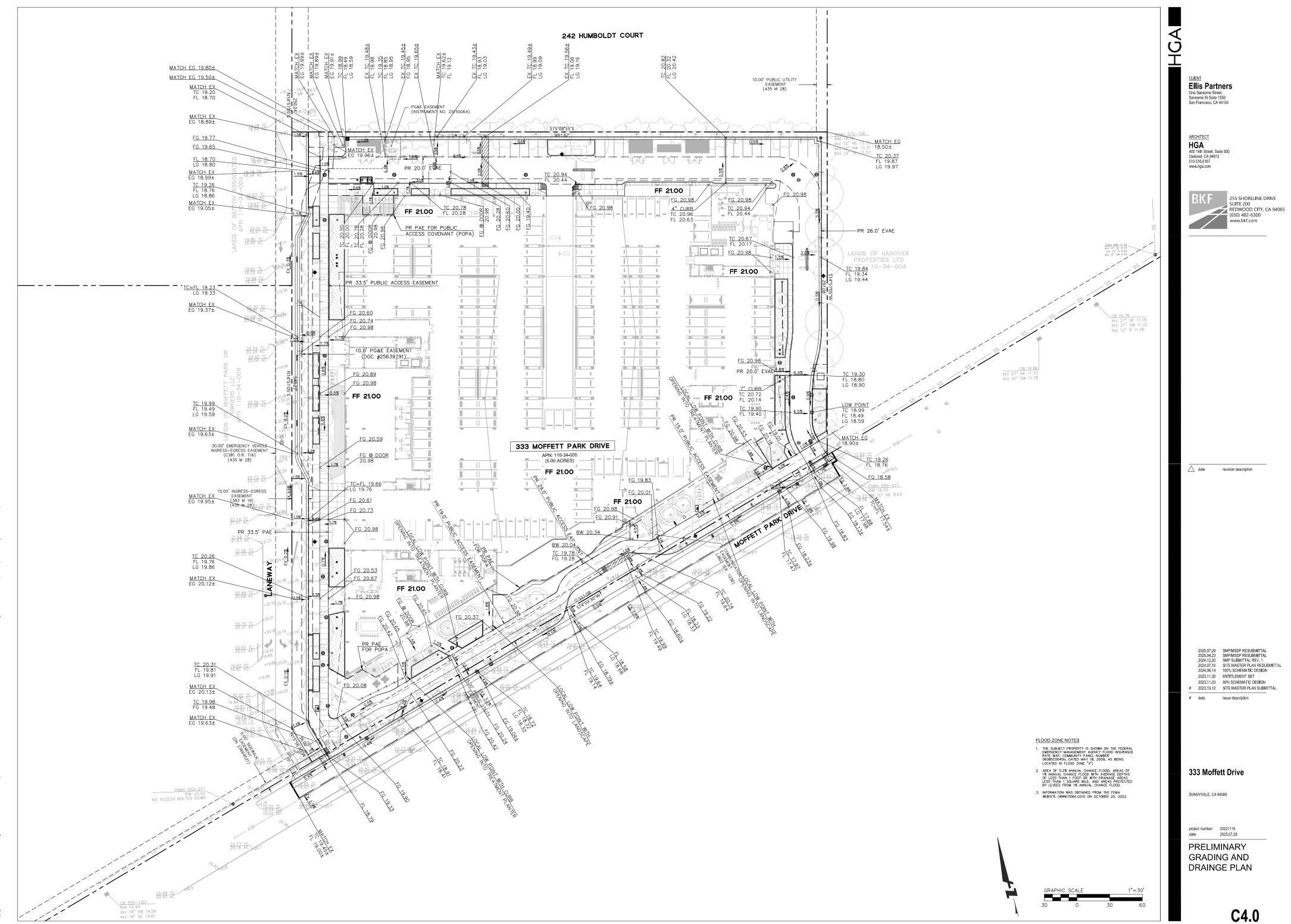
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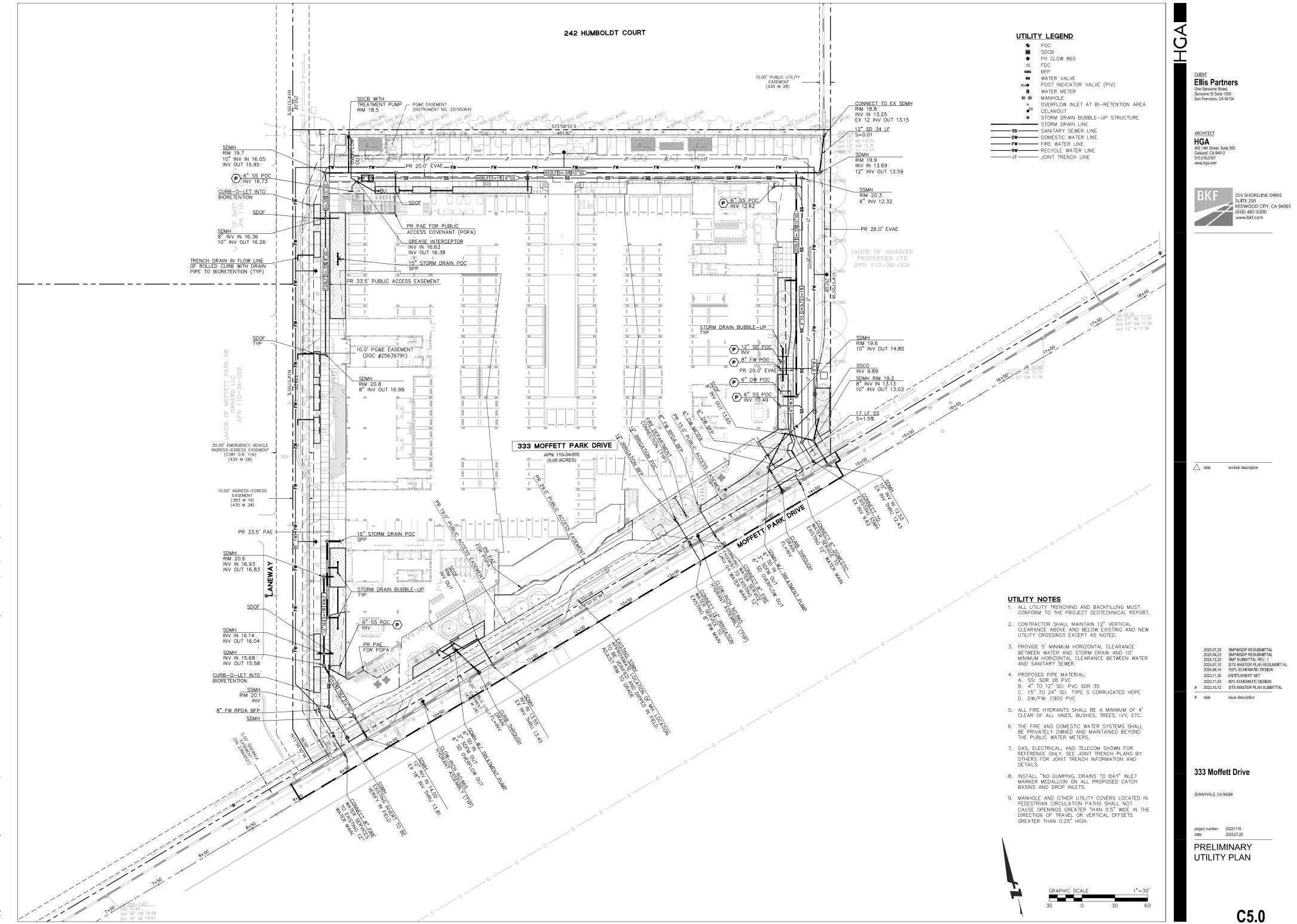
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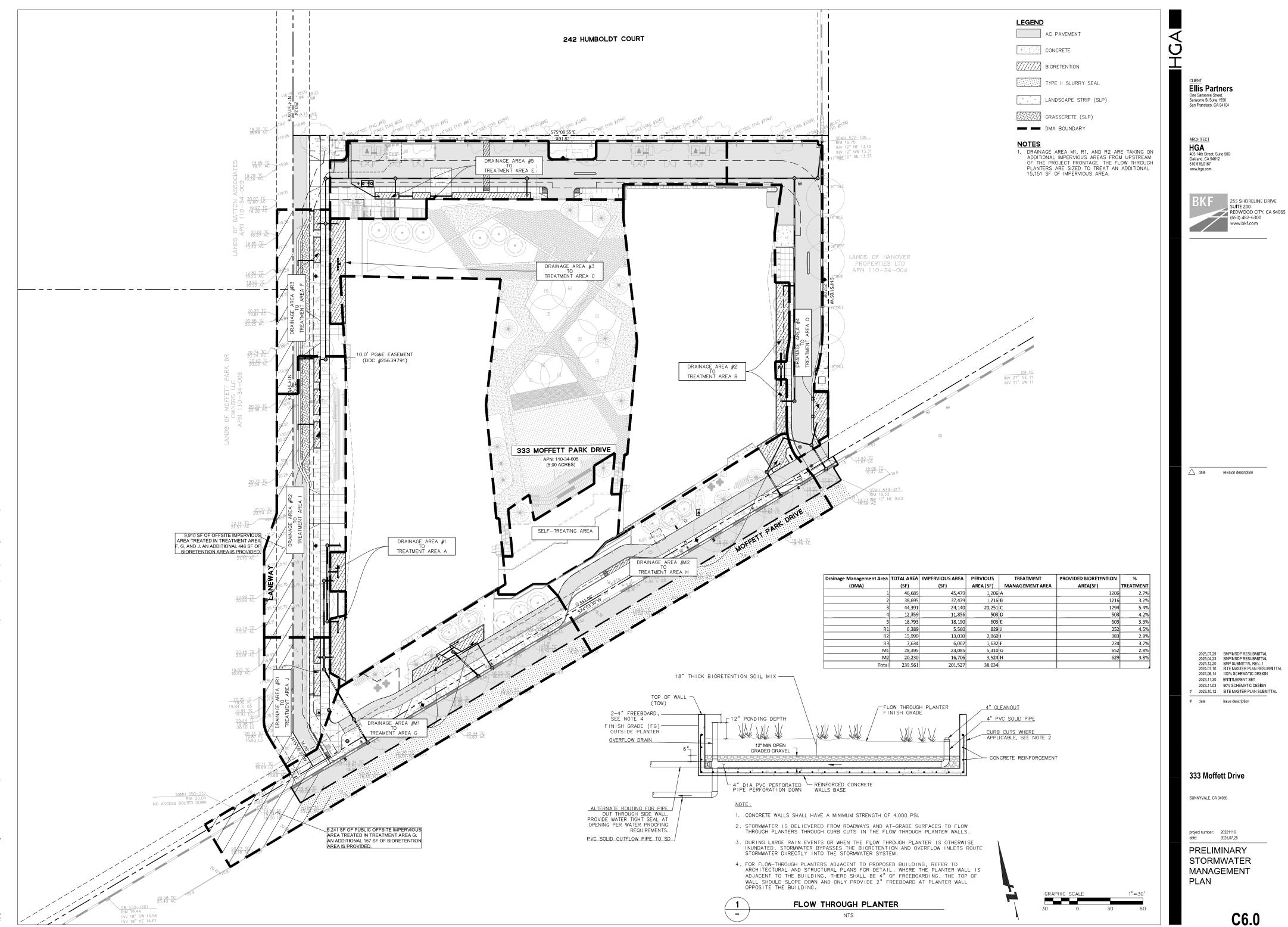


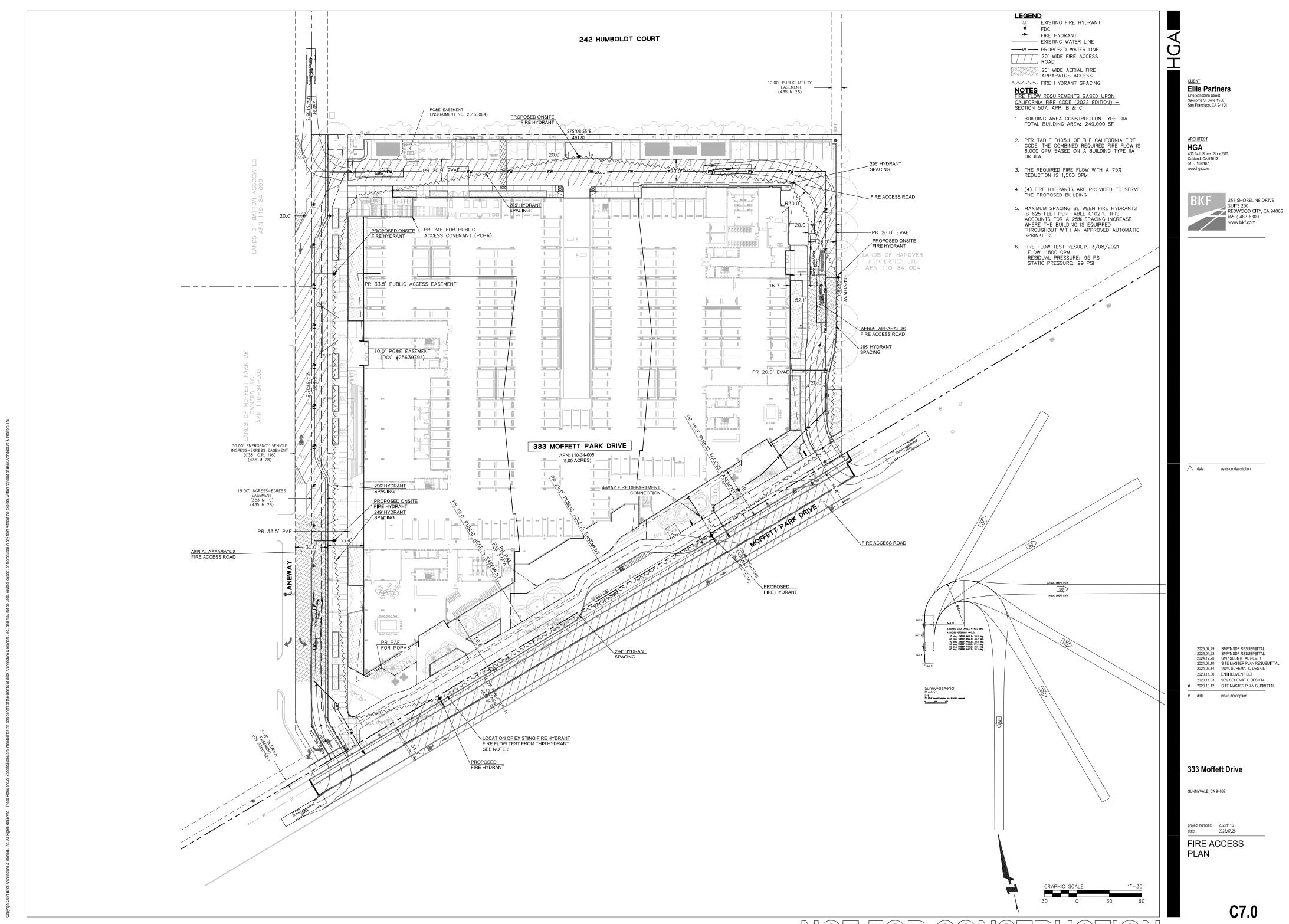












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 2025.07.29
 SMP/MSDP RESUBMITTAL

 2025.04.23
 SMP/MSDP RESUBMITTAL

 2024.12.20
 SMP SUBMITTAL REV. 1

 2024.07.10
 SITE MASTER PLAN RESUBMITTAL

 2024.06.14
 100% SCHEMATIC DESIGN

 2023.11.30
 ENTITLEMENT SET

 2023.11.03
 90% SCHEMATIC DESIGN

 2023.10.12
 SITE MASTER PLAN SUBMITTAL

date issue description

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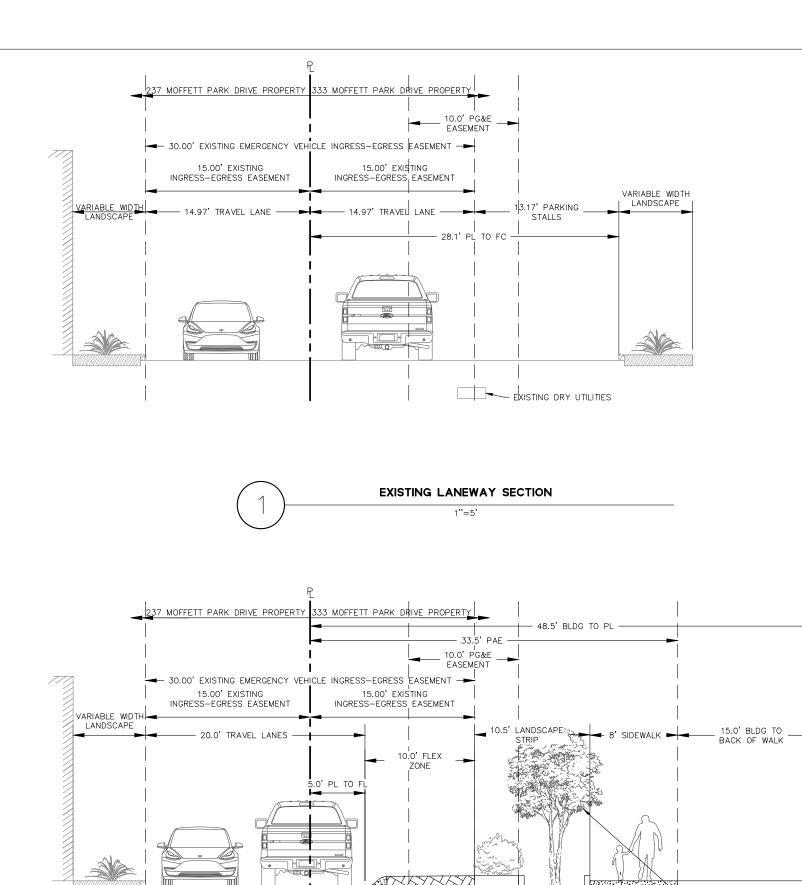
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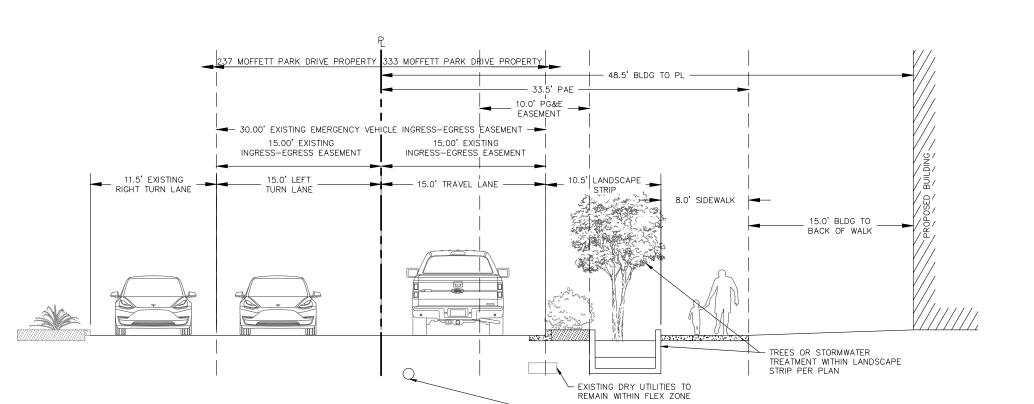
MOFFETT PARK DRIVE CROSS SECTIONS

C8.0

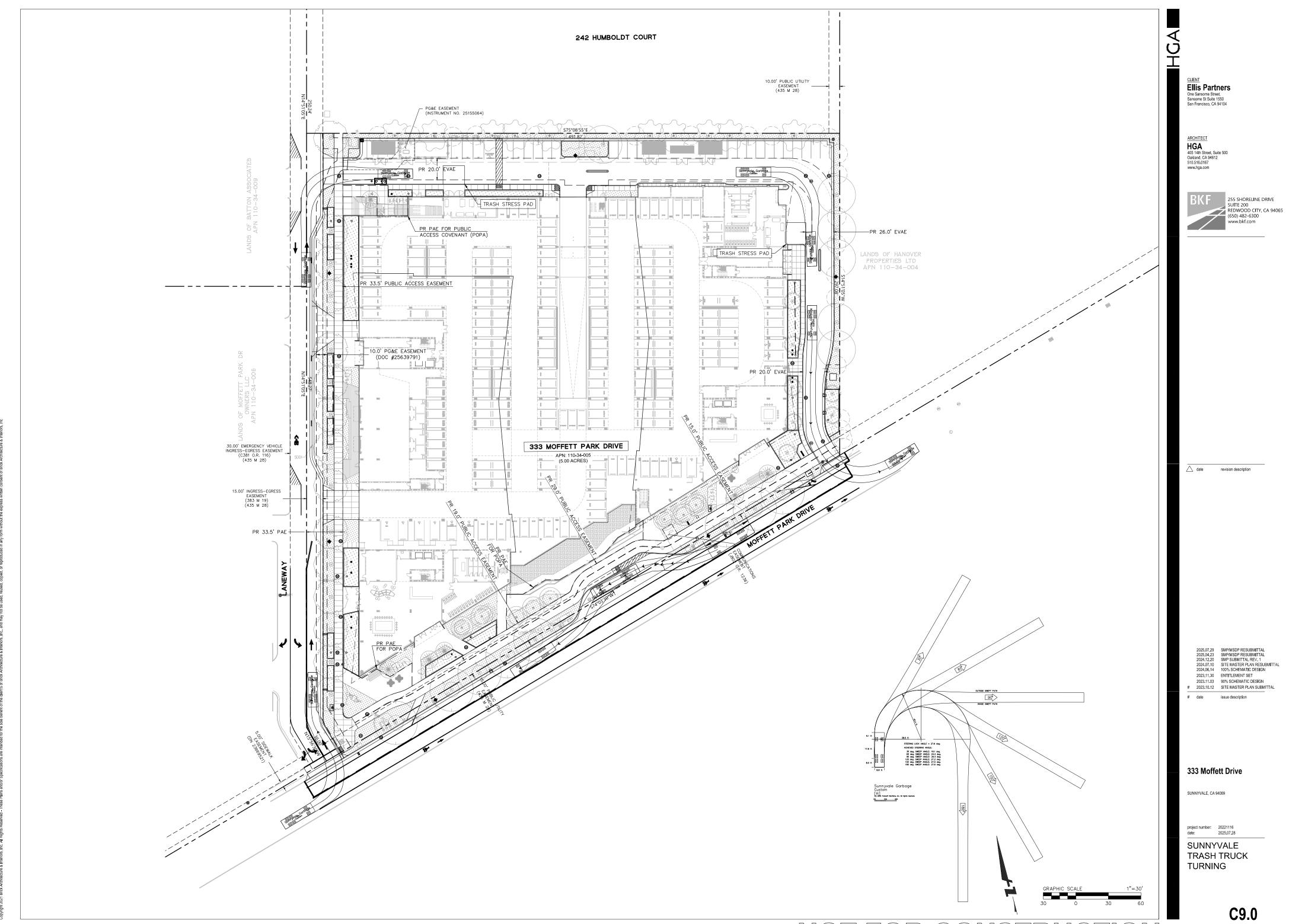
C8.1



- TREES OR STORMWATER TREATMENT WITHIN LANDSCAPE STRIP PER PLAN - EXISTING DRY UTILITIES TO REMAIN WITHIN FLEX ZONE ─ ROLLED CURB - PROPOSED FIRE WATER LATERAL PROPOSED NORTHERN LANEWAY SECTION



- PROPOSED FIRE WATER LATERAL



10. ALL TREES 36" BOX AND LARGER SHALL BE GUYED. REFER TO DETAILS.

PROJECT ARCHITECT PRIOR TO DELIVERY OF IMPORT TOPSOIL TO THE SITE.

7. CALIPER OF TREES SHALL BE MEASURED 6" ABOVE FINISH GRADE.

LANDSCAPE PLANTING NOTES

COMPLIANCE WITH DRAWINGS AND SPECS.

PLANTING INFORMATION.

11. ALL 15" GALLON AND 24" BOX SIZED TREES SHALL BE DOUBLE STAKED, REFER TO DETAILS.

1. REFER TO GENERAL PROJECT NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

2. ALL GRADES SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING OF ANY PLANT

3. REFER TO SPECIFICATIONS FOR PLACEMENT OF TOPSOIL, SOIL AMENDMENTS, FERTILIZERS AND ADDITIONAL

4. A COPY OF THE NURSERY INVOICE SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE TO VERIFY

PLANS, EXCEPT WITH THE EXPRESS WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE

ALL PLANTS SHALL BE OF THE GENUS, SPECIES, VARIETY, CULTIVAR, AND SIZES AS SHOWN ON THE PLANS. UNDER NO CONDITION WILL THERE BE ANY SUBSTITUTION OF PLANTS OR SIZES FOR THOSE LISTED ON THE

6. ALL PLANTS SHALL BE TRUE TO NAME, AND SHALL BE TAGGED WITH THE NAME AND SIZE OF THE PLANT, IN

ACCORDANCE WITH THE STANDARDS OF PRACTICE RECOMMENDED BY THE AMERICAN ASSOCIATION OF

IMPORT TOPSOIL MEETING SPECIFICATIONS SHALL BE INSTALLED IN ALL ON GRADE PLANTING AREAS. A SAMPLE OF

8. PROVIDE 3" OF GRAVEL MULCH OVER ALL NEW SHRUB AND GROUNDCOVER AREAS INCLUDING PLANTERS OVER

IMPORT TOPSOIL, ALONG WITH A COMPLETE SOIL ANALYSIS REPORT AS SPECIFIED, SHALL BE APPROVED BY THE

12. ALL SHRUBS AND GROUNDCOVERS SHALL BE SET 1/2 THE DIMENSION OF THE SPACING FROM ADJACENT WALKS, CURBS AND WALLS UNLESS OTHERWISE SHOWN.

13. ALL SHRUB AND GROUNDCOVER SPACING SHALL BE EITHER LINEAR OR TRIANGULAR UNLESS DRAWN OTHERWISE. REFER TO PLANS AND DETAILS FOR PATTERNS.

14. LIGHT WEIGHT SOIL MIX SHALL BE INSTALLED IN ALL OVER-STRUCTURE PLANTERS. SEE DETAILS AND SPECS.

15. WHERE CIRCLES SHOW PLANTS, TRUNK OF PLANT EQUALS CENTER POINT OF CIRCLE.

16. FOR DESCRIPTION OF PLANTERS SEE LANDSCAPE SPECIFICATIONS.

17. PROVIDE HEALTHY, VIGOROUS PLANTS TYPICAL OF THE SPECIES, FREE OF PESTS OR INJURIES.

18. ORIENT PLANTS IN PLANTERS SO THAT THEIR BEST APPEARANCE IS MOST VISIBLE.

19. VINES SHALL BE TRAINED TO SUPPORTING STRUCTURE, WALL OR FENCE AS INDICATED ON PLANS AND DETAILS.

20. FOR HYDROZONES, SEE IRRIGATION PLANS

21. ALL PROPOSED TREES SHALL BE PRUNED FOR STRUCTURAL SOUNDNESS AND THINNED TO REDUCE WIND SAIL AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.

22. WHERE PROPOSED TREE ROOTBALL IS ADJACENT TO EXISTING PROTECTED UTILITY LINE, A TREE ROOT BARRIER IS REQUIRED. SEE DETAILS.

23. NOTE: REFER TO SPECIFICATION SECTION 32-93-00 PLANTING FOR NOTES ON CONTRACT GROWN/PRE-PURCHASE OF TREES BY OWNER. CONTRACTOR'S BID PRICE SHALL INCLUDE BALANCE OF CONTRACT GROW PRICE, FEES, TAXES, FREIGHT, ANY STORAGE FEES, TREE PLANTING HOLES, IMPORT TOP SOIL BACKFILLING WITH COMPOST AMENDMENT, IRRIGATION SYSTEM, SAWCUT ROOT BALL, STAKING OR GUYING, 60 DAY MAINTENANCE, 1 YEAR WARRANTY, ETC. TO PROVIDE COMPLETE INSTALLATION TO THE OWNER'S

24. ALL LANDSCAPE DESIGN GUIDELINES SHALL COMPLY PER SECTION 6.6.6. PRIOR TO RECEIVING SITE

25. ALL LANDSCAPE SHALL SATISFY THE STANDARDS PER SECTION 6.6.6 LANDSCAPE DESIGN GUIDELINES REGARDING HERBICIDE AND PESTICIDE USE.

26. THE DEVELOPER SHALL INSTALL REQUIRED STREET TREES IN TREE WELLS ALONG THE PROJECT FRONTAGE AS FOLLOWS: SPECIES TO BE DETERMINED IN ENTITLEMENT. STREET TREES AND FRONTAGE LANDSCAPING SHALL BE INCLUDED IN THE DETAILED LANDSCAPE AND IRRIGATION PLAN SUBJECT TO REVIEW AND APPROVAL BY THE EPARTMENT OF PUBLIC WORKS PRIOR TO ISSUANCE OF ENCROACHMENT PERMIT. NEW STREET TREES SHALL BE 24 -INCH BOX SIZE OR 15-GALLON SIZE. THE CITY TREE SPACING SHOULD BE APPROXIMATELY EVERY 30' FEET APART. A CONTINUOUS ROOT BARRIER SHALL BE INSTALLED ALONG THE TREE WELLS. NO TREES ARE TO BE PLANTED WITHIN 10' OF A SANITARY SEWER LATERAL AND WITHIN ANY EXISTING OR PROPOSED PUBLIC UTILITY

27. NATIVE VEGETATION SHALL BE COMPRISED OF A MINIMUM OF 80% NATIVE VEGETATION CONSISTENT WITH SECTION 6.6.3 URBAN FOREST AND APPENDIX B.

28. ROOT BARRIER SHALL BE INSTALLED FOR NEW STREET TREES PER PARKS AND RECREATION STANDARD DETAIL

LANDSCAPE DESIGN CRITERIA

1. PLANTING TO BE DESIGNED TO PROVIDE MAXIMUM SAFETY FOR USERS. PLANTING WILL BE PROVIDED ALONG WALLS, FENCES, AND AT BUILDING FOUNDATIONS AND WILL BE MAINTAINED AT AN APPROPRIATE HEIGHT. FOR CLEAR VISIBILITY

2 FINISH GRADING, SHALL BE POSITIVE SURFACE DRAINAGE ACROSS PLANTED AREAS AND AWAY FROM BUILDING FOUNDATIONS. REFER TO LANDSCAPE GRADING PLAN FOR ALL EXISTING AND PROPOSED GRADE INFORMATION.

3. ALL AREAS ON GRADE SHALL RECEIVE 6" OF TOP SOIL AND 3" OF BARK MULCH. SOIL AMENDMENTS WILL BE ADDED BASED

4. STORMWATER MANAGEMENT TO COMPLY WITH SPECIAL PROJECT CATEGORY 'B' C3 REQUIREMENTS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP), BIOSWALES AND/OR INFILTRATION PLANTERS WILL BE USED TO TREAT STORM WATER.

5. LANDSCAPE FEATURES EMPLOYED TO MINIMIZE RUNOFF AND PROMOTE SURFACE FILTRATION INCLUDE: A) PROVIDING GENTLE SLOPES NOT TO EXCEED 10 PERCENT IN LANDSCAPE AREAS.

B) INSTALLING PLANTS WITH LOW WATER REQUIREMENTS. C) INSTALLING PLANTS APPROPRIATE FOR THE LOCATION AND MICRO-CLIMATE D) UTILIZING BIOSWALES AND/OR INFILTRATION PLANTERS TO CAPTURE RUNOFF BEFORE IT EXITS THE SITE. E) INSTALLING COBBLE SPLASH PADS WHERE RUNOFF IS DISCHARGED INTO BIOSWALES OR INFILTRATION PLANTERS TO

6. ON SITE LANDSCAPE LIGHTING TO BE PROVIDED BY POLES AND BOLLARDS.

8. PLANTING PALETTE HAS BEEN DEVELOPED BASED ON WATER USE REQUIREMENTS.

7. ALL PLANTING GROUPS ARE DESIGNED FOR WATER USE AND ARRANGED BY WATER HYDROZONES BASED ON WATER NEEDS.

9. *WATER USE RATING IS BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS), UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION. VL=VERY LOW, L=LOW, M=MEDIUM, H=HIGH

10. TO PROMOTE PLANT HEALTH AND PLAN FOR THE USE OF RECYCLED WATER, THE DESIGN AND MAINTENANCE OF THE LANDSCAPE IRRIGATED WITH RECYCLED WATER WILL CONFORM TO SECTION 7 OF THE SUNNYVALE CITY RECYCLED WATER

11. RECYCLED WATER SYSTEMS AND SYSTEM COMPONENTS WILL BE LABELED "RECYCLED WATER - DO NOT DRINK" ACCORDING TO STATE REGULATIONS AND THE SUNNYVALE CITY RECYCLED WATER DEVELOPMENT STANDARDS (SECTION 3), WHICH EVER IS MORE STRINGENT.

12. QUICK COUPLER VALVE, SPRINKLER HEAD RING, DRIP TUBING, VALVES AND VALVE BOX LIDS ARE PURPLE AND CLEARLY TAGGED AND/OR LABELED

13. IRRIGATION SYSTEM AND ITS COMPONENTS MUST BE LABELED ACCORDING TO STATE REGULATIONS AND THESE STANDARDS, WHICH EVER MAY BE MORE STRINGENT

14. LANDSCAPE PLAN SHALL MEET & COMPLY WITH THE NATIVE VEGETATION REQUIREMENT PER SECTION 6.6.3 URBAN FOREST

IRRIGATION DESIGN CRITERIA

GUIDELINES AND CITY REQUIREMENTS WITH USE OF WATER EFFICIENT LANDSCAPING AND LOW WATER-WISE PLANTS. ALL PLANTED AREAS SHOWN WILL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.

ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL

3. ALL TREE, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND DRIP OR LOW FLOW IRRIGATION SYSTEM. TREE, SHRUB, AND GROUND COVER AREAS SHALL BE ON SEPARATE VALVES.

4. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.

6. THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY

B) LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, QUICK COUPLERS, AND BACKFLOW PREVENTION DEVICES.

C) STATIC WATER PRESSURE AT THE POINT OF CONNECTION TO THE PUBLIC WATER SUPPLY.

7. QUICK COUPLERS WILL BE LOCATED AT EVERY 80 TO 100 FEET ALONG THE IRRIGATION MAIN LINE.

8. IRRIGATION SYSTEM AND FINAL DESIGN SHALL BE PROVIDED AT A LATER DATE.

9. IRRIGATION SYSTEM FEATURES EMPLOYED TO ACHIEVE WATER CONSERVATION GOALS INCLUDE: A) SMART IRRIGATION CONTROLLERS CAPABLE OF RESPONDING TO ON-SITE WEATHER CONDITIONS. B) CONTROLLERS WITH MULTIPLE PROGRAMS.

E) DRIP AND/OR BUBBLER IRRIGATION FOR SHRUBS AND TREES IN PLANTER AREAS WHICH HAVE A SHRUB DENSITY THAT WILL CAUSE EXCESSIVE SPRAY INTERFERENCE OF AN OVERHEAD SYSTEM.

10. ALL LANDSCAPE DESIGN SHALL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE SECTION 6.6.6 LANDSCAPE

F) USE OF FLOW REDUCERS TO MITIGATE SPRAY OF BROKEN HEADS NEXT TO SIDEWALK, STREETS, AND DRIVEWAYS.

FINISHED GRADE FIRE HYDRANT

FINISHED SURFACE

GENERAL CONTRACTOR

HANDICAP PARKING STAI

HANDICAP VAN PARKING STALL

FLOW LINE FACE OF WALL

GROUT JOINT

HANDICAP

HEADER

HANDHOLE

HIGH POIN

HOSE VALVE

INSIDE DIAMETER INVERT ELEVATION LIMIT OF WORK

Sheet Number

L0.00

L0.01

L0.02

L0.03

L0.04

L1.00

L2.00

L2.01

L4.00

L5.00

L5.01

L5.02

L6.00

L6.01

L6.02

L6.03

L6.04

L6.05

L7.00

AC	ASPHALTIC CONCRETE	101	LONGITUDINAL QUIDINIZAGE, IGINT
AB	AGGREGATE BASE	LSJ	LONGITUDINAL SHRINKAGE JOINT
AD	AREA DRAIN	MAX MFR	MAXIMUM
ARCH	ARCHITECT		MANUFACTURER
AVG	AVERAGE	MH	MANHOLE
B&B	BALL AND BURLAP	MIN	MINIMUM
BC	BACK OF CURB	MM	MILLIMETERS
BF	BOTTOM OF FENCE	NIC	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
BOR	BACK OF RAMP	00	ON CENTER
BOS	BOTTOM OF SLOPE	OCEW	ON CENTER EACH WAY
		OD	OUTSIDE DIAMTER
BR BS	BIKE RACK	OPP	OPPOSITE DIPE ANGLER
	BOTTOM OF STEP (STAIR)	PA	PIPE ANCHOR
BSW	BACK OF SIDEWALK	PLA	PLANTING AREA
BW	BOTTOM OF WALL	PED	PEDESTAL
CAL	CALIPER	PDSN	PEDESTRIAN
CB	CATCH BASIN OR CEMENT	PERF	PERFORATED
BASE	CHANNEL OR CHILLED	PIP	POURED-IN-PLACE
CH	CHANNEL OR CHILLER	POC	POINT OF CONNECTION
CHD	CONCRETE HEADER	PT	POINT OF TANGENCY
CIP	CAST-IN-PLACE	R	RADIUS
CJ	CONTROL JOINT	RB	ROOT BARRIER
CL	CENTER LINE	RGB	ROUNDED FRADE BREAK
CLR	CLEARANCE	RIM	RIM ELEVATION
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CO	CLEAN OUT	SAD	SEE ARCHITECTURAL DRAWINGS
COJ	CONSTRUCTION JOINT	SB	SPLASH BLOCK
CONC	CONCRETE	SBSD	SEE BUILDING STRUCTURAL DRAWINGS
CONT	CONTINUOUS	SCD	SEE CIVIL DRAWINGS
CP	CENTER POINT	SD	STORM DRAIN
CTR	CENTER	SED	SEE ELECTRICAL DRAWINGS
D/B	DESIGN/BUILD	SG	SUBGRADE
DI	DRAIN INLET	SF	SQUARE FEET
DIA	DIAMETER	SHP	SWALE FLOWLINE HIGH POINT
DIM	DIMENSION	SIM	SIMILAR
DN	DOWN	SJ	SCORE JOINT
EA	EACH	SLD	SEE LIGHTING DRAWINGS
EF	EACH FACE	SPECS	SPECIFICATIONS
EJ	EXPANSION JOINT	SSL	STRAIGHT SLOPE
EJS	EXPANSION JOINT W/ SEALANT	SSD	SEE STRUCTURAL DRAWINGS
EL	ELEVATION	SSGD	SEE SIGN DRAWINGS
ENGR	ENGINEER	SWPPP	STORMWATER POLLUTION PREVENTION PLAI
EP	EDGE OF PAVEMENT	TBD	TO BE DETERMINED
EQ	EQUAL	TD	TOP OF DRAIN
EW	EACH WAY	TOC	TOP OF CURB
(E)	EXISTING	TOR	TOP OF RAMP
FDC	FIRE DEPARTMENT CONNECTION	TPTL	TREE PLANTING TRENCH LIMIT
FFE	FINISHED FLOOR ELEVATION	TOBR	TOP OF BERM
		TOF	TOD OF FENCE

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LANDSCAPE NOTES & LEGEND

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LANDSCAPE TREE DISPOSITION PLAN

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LANDSCAPE PLANTING PLAN - GROUND

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LANDSCAPE CONSTRUCTION DETAILS - PODIUM

LANDSCAPE PLANTING DETAILS

TOP OF FOOTING

TOP AND BOTTOM

TOP OF STRUCTURAL SLAB

WATER PROOF MEMBRANE

UNIFORM FIRE CODE

WELDED WIRE FABRIC

TOP OF POST

TOP OF SLOPE TOP OF STEP (STAIR

TREE WELL

VEHICULAR

TYPICAL

TOFG

TOS

VEH

GENERAL LANDSCAPE PROJECT NOTES

- 1. ALL NOTES APPEARING ON THESE PLANS SHALL BE CONSIDERED AS INCIDENTAL WORK AND AS A PART OF THIS
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 8 (CAL/OSHA) AND THE GENERAL CONDITIONS OF THE PROJECT SPECIFICATIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION INCLUDING LOCATIONS OF FIBER OPTIC LINES , PROPOSED UTILITIES, AREA DRAINS, MANHOLES, AND VAULTS AS INDICATED ON THE PROJECT SURVEY AND ANY CIVIL UTILITY PLANS. OBTAIN COPIES OF UTILITY PLANS FROM OWNERS ARCHIVES PRIOR TO
- CONTRACTOR SHALL FIELD MARK ALL UTILITY LINES AND POT HOLE TO DETERMINE DEPTH OF BURIED UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL RECORD & MONITOR WORK IN THESE AREAS AND POTHOLE AS NEEDED TO
- 5. FOR MARKING UNDERGROUND FACILITIES, CALL UNDERGROUND SERVICE ALERT MINIMUM TWO DAYS PRIOR TO DIGGING: 800-227-2600, BETWEEN 6:00 AM- 7:00 PM, MONDAY- FRIDAY, EXCEPT HOLIDAYS.
- PROTECT EXISTING UNDERGROUND UTILITIES, VAULTS AND CONNECTIONS AND REPAIR ANY DAMAGE TO FULL OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- 7. ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES WHICH CROSS THE LINE OF CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES
- 8. CONTRACTOR SHALL COORDINATE UTILITY SHUTDOWN WITH CITY ENGINEER AND APPROPRIATE AGENCIES or OWNER'S REPRESENTATIVE.
- 9. REFER TO CIVIL DRAWINGS FOR ALL STORM DRAIN LINE CONNECTIONS IN LANDSCAPE PLANTING AREAS.
- 10. REFER TO CIVIL DRAWINGS FOR IRRIGATION POINT OF CONNECTION AND SEPARATE IRRIGATION SERVICE METER.
- 11. REFER TO CIVIL DRAWINGS FOR HORIZONTAL AND VERTICAL CONTROL OF DRIVE AISLES, CURBS, GUTTERS, AND CITY
- 12. REFER TO CIVIL DRAWINGS FOR ALL UTILITY CONNECTIONS, ADJUSTED UTILITY ELEVATIONS AND RIM ELEVATIONS.
- 13. REFER TO ELECTRICAL PLANS FOR LIGHTING AND IRRIGATION CONTROLLER CONNECTIONS
- 14. EXISTING ELEVATION INFORMATION BASED ON TOPOGRAPHICAL SURVEY BY PROVIDED BY THE OWNER'S REPRESENTATIVE. VERIFY GRADES PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS VARY FROM PLANS.
- 15. STORM INLET BOXES SHALL NOT BE LEFT UNCOVERED AT ANY TIME.
- THE CONTRACTOR SHALL PROCEED WITH DUE CAUTION DURING UNDERGROUND OPERATIONS AND SHALL REPAIR OR REPLACE ALL UTILITIES AND SERVICES, EITHER MARKED IN THE FIELD OR INDICATED ON THE PLANS, WHICH ARE DAMAGED DURING CONSTRUCTION, AT HIS OWN EXPENSE. TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING AT THE CONTRACTOR'S OWN EXPENSE ANY DRAINAGE STRUCTURES, UTILITIES, WALLS, EXISTING PLANTS, FURNITURE, LIGHTS, WALKWAYS, PAVING, SIGNAGE, OR OTHER EXISTING IMPROVEMENTS TO REMAIN WHICH ARE DAMAGED OR DESTROYED BY OPERATION OF THIS CONTRACT. LIKEWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES OCCURRING AS A RESULT OF THE CONTRACTOR'S OPERATION, ONSITE, ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS SHALL BE RESTORED TO THEIR RIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- 18. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE INFORMATION SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- 19. WORK SHALL NOT BEGIN UNTIL ADEQUATE TEMPORARY BARRICADES, BARRIERS, FENCES, WARNING SIGNS, LIGHTS, OR OTHER SUCH TRAFFIC AND PEDESTRIAN WARNING AND CONTROL DEVICES AS REQUIRED ARE IN PLACE.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AT ALL TIMES.

DEVELOPMENT SHALL NOT BE LOCATED WITHIN THE CITY RIGHT-OF-WAY

- 21. ADJUST LIDS OF ALL (E) IN-GRADE UTILITY BOXES AND VAULTS TO MEET NEW GRADES.
- 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL EXISTING PLANT MATERIAL TO REMAIN THROUGHOUT THE DURATION OF THE CONTRACT TO ENSURE HEALTH OF PLANT MATERIAL TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, SEE SPEC. SECTIONS 32-93-00, PLANTING.
- 23. KEEP ALL PLANTING AND PAVING AREAS FREE FROM WEEDS, DEBRIS AND TRASH THROUGHOUT THE DURATION OF THE
- 24. A DETAILED ADAPTIVE MANAGEMENT PLAN AND MAINTAINACE PROGRAM FOR THE PODIUM DURING THE START OF THE

25. ALL PROPOSED DECORATIVE PAVEMENT, VERTICAL CURBS AND RETAINING WALLS PERTAINING TO ON-SITE

1. IRRIGATION DESIGN TO COMPLY WITH ABA 1881 REQUIREMENTS, FOLLOW THE STATEWIDE MODEL ORDINANCE DESIGN

2. THE IRRIGATED SYSTEMS WILL BE A PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE

5. ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS.

A) LOCATION AND SIZE OF WATER METERS FOR THE LANDSCAPE.

D) FLOW RATE (GALLONS PER MINUTE), AND REMOTE CONTROL VALVE SIZE.

C) WATERING SCHEDULES EMPLOYING SHORT CYCLES. D) RAIN SHUT-OFF DEVICES TO PREVENT IRRIGATION AFTER SIGNIFICANT PRECIPITATION.

DESIGN GUIDELINES.

2024.12.20 SMP SUBMITTAL 2024.06.14 100% SCHEMATIC DESIGN 2023.11.03 90% SCHEMATIC DESIGN



333-385 MOFFETT PARK DRIVE SUNNYVALE, CA 94089

2024,12,20

LANDSCAPE NOTES & **LEGEND**

SIZE SPACING WATER USE MATURE SIZE

M

L

L

L

4' H X 6' W

1' H X 1'-6' W

8' H X 10' W

1' H X 3' W

8' H X 6' W

3' H X 3' W

10' H X 6' W

8' H X 6' W

3' H X 4' W

6' H X 6' W

8' H X 6' W

6' H X 8' W

3' H X 4' W

6' H X 6' W

2' H X 2' W

1'-6" H X 2' W

5 GAL

15 GAL

5 GAL

15 GAL

15 GAL

15 GAL

5 GAL

15 GAL

5 GAL

5 GAL

5'-0"

2'-0"

9'-0"

2'-0"

2'-0"

2'-0"

3'-0"

5'-0"

3'-0"

5'-0"

5'-0"

8'-0"

3'-0"

5'-0"

1'-6"

2'-0"

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HATCH	KEY	SCIENTIFIC NAME	COMMON NAME
SHRUBS - PART	ΓSUN		
	AGA ATT	AGAVE ATTENUATA 'RAY OF LIGHT'	FOX TAIL AGAVE
	ASP DEN	ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN
	ALO JOH	ALOE 'JOHNSON'S HYBRID'	ALOE 'JOHNSON'S HYBR
	CAL GRA	CALANDRINIA GRANDIFLORA	ROCK PURSEANE
	ERI FAS	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHE
	EPI CAN	EPILOBIUM CANUM	CALIFORNIA FUSHIA
	FAS JAP	FATSIA JAPONICA	JAPANESE ARALIA
	LEU SAF	LEUCADENDRON 'SAFARI SUNSET'	SAFARI CONEBUSH
	LUP ALB	LUPINUS ALBIFRONS	SILVER LUPINE
	MEL MAJ	MELIANTHUS MAJOR	HONEY BUSH
	PHI SEL	PHILODENDRON SELLOUM	TREE PHILODENDRON
	RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY
	SAL MEL	SALVIA MELLIFERA	BLACK SAGE
	TIB URV	TIBOUCHINA URVILLEANA	PRINCESS FLOWER
SHRUBS - SHAD	DE		
% % % % % % % %	ASP ELA	ASPIDISTRA ELATIOR	CAST IRON PLANT
" " " " " " " " " " " " " " " " " " "	CLI MIN	CLIVIA MINIATA	NATAL LILY
% % % % % % % % % %	MAH EUR	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONI
41	POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FER
1/1 1/1 1/1 1/1			

BIO RETENTION TREATMENT PLANTS

1 1/1 1/1 1/1							
	MAH EUR	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL	2'-0"	L	3' H X 3' W
6 % % % 6 % % %	POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	2'-0"	М	2' H X 2' W
6 % % % 6 % % %	WOO FIM	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	3'-0"	M	4' H X 4' W
RASSES AND	GROUND CO	VERS - FULL SUN					
	ANE LES	ANEMANTHELE LESSONIANA	NEW ZEALAND WIND GRASS	5 GAL	2'-0"	M	2' H X 2' W
	BAC PIL	BACCHARIS PILULARIS	COYOTE BRUSH	5 GAL	2'-0"	L	1' H X 6' W
	BOU GRA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	5 GAL	2'-0"	L	1' H X 1' W
	CEA GRI	CEANOTHUS GRISEUS VAR. HORIZONTALIS	CALIFORNIAN LILAC	5 GAL	2'-0"	L	2' H X 8' W
	FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	2'-0"	М	6" H X 2' W

SHRUB, GRASSES, PERENNIALS + GROUNDCOVER PLANTING SCHEDULE CONTINUED

	MUH DUB	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	2'-0"	L	2' H X 2' W
	SEN VIT	SENECIO VITALIS	NARROW-LEAF CHALKSTICKS	1 GAL	2'-6"	L	1' H X 3' W
GRASSES AND	GROUND CO	VERS - PART SUN					
	CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	2'-0"	L	2' H X 2' W
	DES CES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	2'-0"	L	2' H X 1.5' W
	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	3'-0"	L	2' H X 2' W
	MUH CAP	MUHLEBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE CLOUD MUHLY	5 GAL	4'-0"	L	4' H X 4' W
	MUH CAP	MUHLEBERGIA CAPILLARIS	WHITE CLOUD MUHLY	5 GAL	4'-0"	L	4' H

\forall	`	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	5 GAL	2'-0"	L	2' H X 2' W
	\forall	BOU GRA	BOUTELOUA GRACILIS	BLUE GRAMA	5 GAL	2'-0"	L	2' H X 2' W
\forall	, 1 ,	CAR TUM	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE	5 GAL	3'-0"	L	3' H X 3' W
\forall	V	DES CES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	2'-0"	L	2' H X 1.5' W
*	\downarrow	ELY TRI	ELYMUS TRITICOIDES	CREEPING WILDRYE	5 GAL	2'-0"	L	2' H X 2' W

*		CAR TUM	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE	5 GAL	3'-0"	L	3' H X 3' W
\\	↓	DES CES	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	2'-0"	L	2' H X 1.5' W
*	\forall	ELY TRI	ELYMUS TRITICOIDES	CREEPING WILDRYE	5 GAL	2'-0"	L	2' H X 2' W
\downarrow		JUN PAT	JUNCUS PATENS	COMMON RUSH	5 GAL	2'-0"	L	2' H X 1.5' W
	\forall	MUH DUB	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	3'-0"	L	2' H X 2' W
\downarrow	,	SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	2'-6"	L	4' H X 4' W

GENERAL	LANDSCAPE PROJECT LEGENI	D
KEY	DESCRIPTION	DETAIL
	LIMIT OF WORK	
	PROPERTY LINE	
	MATCH LINE	
	PHASE LINE	
	BREAK LINE	
SS-	(E) SANITARY LINE	
SD-	(E) STORM DRAIN LINE	
W	(E) WATER LINE	
——Е—	(E) ELECTRIC LINE	
———G—	(E) GAS LINE	
$\begin{pmatrix} xx \\ xx \end{pmatrix}$	DETAIL CALLOUT	
XX XX	ELEVATION INDICATOR	
XX XX	SECTION / ELEVATION DETAIL	
•	TREE, REFER TO PLANTING PLAN	

SITE FURNISHING LEGEND

DESCRIPTION

BIKE RACK TYPE 1

CAFE TABLE + CHAIR

COMMUNITY TABLE

PING PONG TABLE

LOUNGE CHAIR

TRASH/RECYCLE UNIT

CONCRETE SEATWALL

CONCRETE BIORETENTION

OUTDOOR KITCHEN W/ BBQ +

REMOVABLE UMBRELLA

BENCH (GROUND LEVEL OR

REMOVABLE CUBE SEATING

BOULDER SEATING

REMOVABLE TABLE

SINGLE CHAIRS

TABLE

KEY

-1 1 1 1

T R R

.

KEY	DESCRIPTION	DETAIL# SHEET #
A A A	CONCRETE PEDESTRIAN PAVING INTEGRAL COLOR CONCRETE PAVING FINISH: TOP-CAST 03 COLOR: TBD	1/L6.00
	PEDESTRIAN PAVING - TYPE 1 COLOR:TBD	4/L6.00
	PEDESTRIAN PAVING - TYPE 2 COLOR:TBD	8/L6.00
	STABILIZED DG PAVING	3/L6.03
	DETECTABLE WARNING PAVER	N/A
+ + + + + + + + + + + + + + + + + + + +	PLANTING AREA	L7.00
	BIORETENTION PLANTING AREA	L7.00
	GEO-PAVER	1/L6.02

LANDSCA	ANDSCAPE MATERIAL LEGEND - PODIUM LEVEL				
KEY	DESCRIPTION	DETAIL#/ SHEET#			
	PAVER ON PEDESTAL - TYPE 1	1/L6.03			
	PAVER ON PEDESTAL - TYPE 2	1/L6.03			
	PAVER ON PEDESTAL - TYPE 3	1/L6.03			
	WOOD PAVER ON PEDESTAL -TYPE 4	2/L6.03			
	DECOMPOSED GRANITE PAVING	3/L6.03			
+ + + + + + + + + + + + + + + + +	PLANTING AREA	L7.00			
	BIORTENTION PLANTING AREA	L7.00			

SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	WATER USE	80% MATURE CANOPY	MATURE SIZ
The state of the s	ARB MAR	ARBUTUS MARINA	MARINA MADRONE	36" BOX	AS SHOWN	L	24' W	40' H X 30'W
S. S	CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	AS SHOWN	L	12' W	25' H X 15'W
	LAG IND	LAGERSTROEMIA 'NATCHEZ'	NATCHEZ HYBRID CRAPE MYRTLE	36" BOX	AS SHOWN	L	16' W	25' H X 20'W
	PLA RAC	PLATANUS RACEMOSA	WESTERN SYCAMORE	36" BOX	AS SHOWN	М	28' W	80'H X 35' W
0	QUE LOB	QUERCIS LOBATA	VALLEY OAK	36" BOX	AS SHOWN	L	40' W	70' H X 50' W
H & E	ROB PUR	ROBINIA 'PURPLE ROBE'	PURPLE ROBE LOCUST	36" BOX	AS SHOWN	L	30' W	40' H X 30' W
•	ULM PAR	ULMUS PARVIFOLIA 'DRAKE'	DRAKE CHINESE ELM	36" BOX	AS SHOWN	L	35' W	45' H X 43'W
HATCH	KEY	SCIENTIFIC NAME		SIZE	SPACING	WATER USE		MATURE SIZ
RUBS - FULI	L SUN							
	ACH MIL	ACHILLEA MILLEFOLIUM	YARROW	1 GAL	2'-6"	L		2' H X 2' W
	AGA AME	AGAVE AMERICANA	CENTURY PLANT	15 GAL	5'-0"	VL		4' H X 6' W
	ASC FAS	ASCLEPIAS CALIFORNICA	CALIFORNIA MILKWEED	5 GAL	3'-0"	L		3' H X 3' W
	ASC FAS	ASCLEPIAS FASCICULARIS	NARROW LEAF MILKWEED	5 GAL	3'-0"	L		3' H X 3' W
	PHL FRU	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL	3'-0"	L		3' H X 5' W
	ROS COU	ROMNEYA COULTERI	MATILIJA POPPY	5 GAL	2'-0"	L		5' H X 7' W
	SAL CLE	SALVIA CLEVLANDII	CLEVELAND SAGE	5 GAL	6'-0"	L		3' H X 6' W
	YUC FIL	YUCCA FILAMENTOSA 'BRIGHT EDGE'	BRIGHT EDGE YUCCA	5 GAL	4'-0"	L		3' H X 4' W

DETAIL# /

9/L6.00

1/L6.04

2/L6.01,

5/L6.01

MANUFACTURER

TBD

MODEL

TBD

TBD

TBD

TBD

TBD

TBD

LANDSCAPE NOTES & LEGEND

 2024.06.14
 100% SCHEMATIC DESIGN

 2023.11.03
 90% SCHEMATIC DESIGN

 2023.10.12
 SITE MASTER PLAN SUBMITTAL

333-385 MOFFETT

PARK DRIVE SUNNYVALE, CA 94089

project number: 22-387 date: 2024.12.20

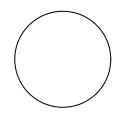
LEGEND

LANDSCAPE NOTES &

LANDSCAPE ILLUSTRATIVE PLAN

creo

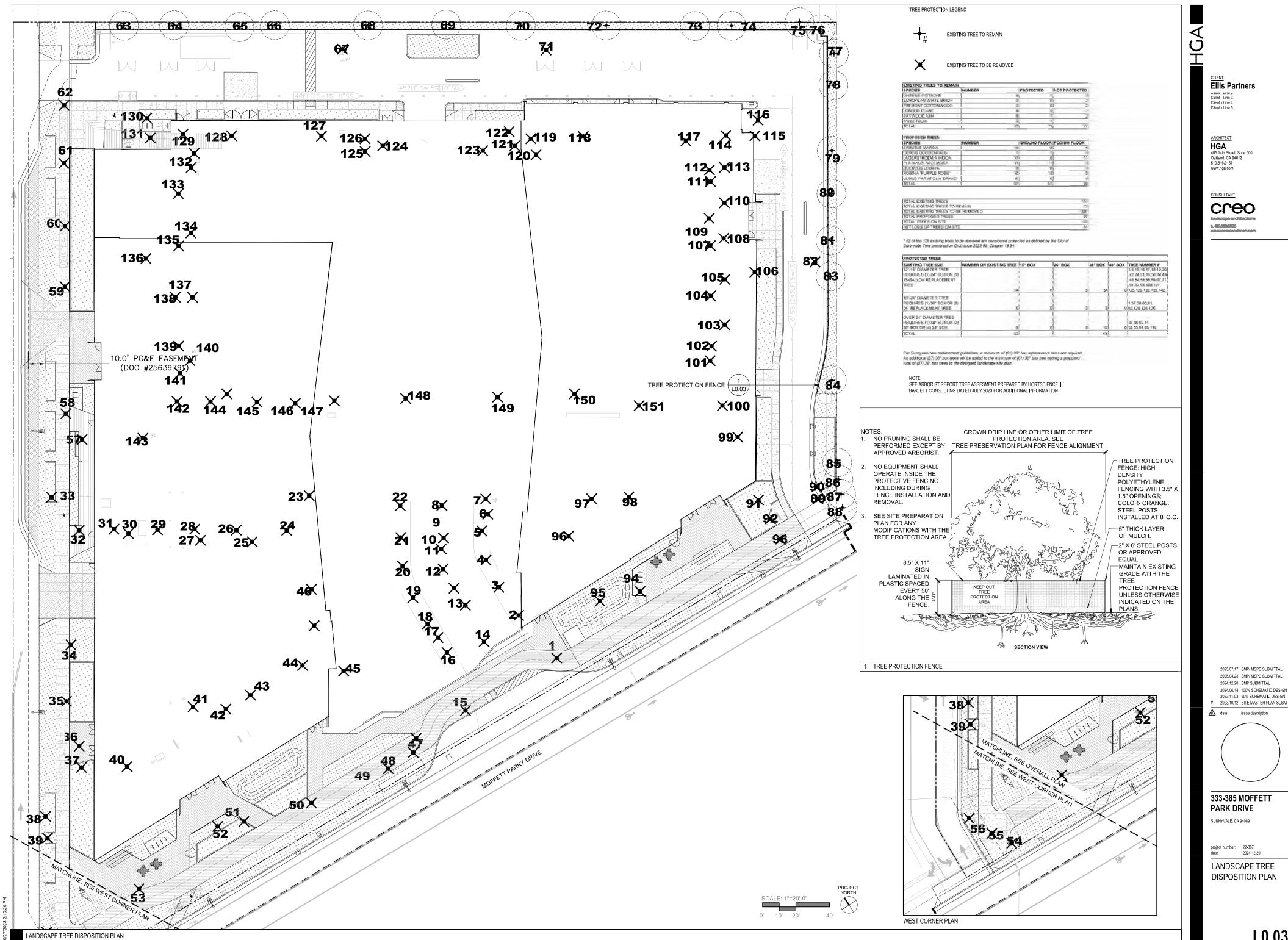
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2024.06.14 100% SCHEMATIC DESIGN
2023.11.03 90% SCHEMATIC DESIGN
2023.10.12 SITE MASTER PLAN SUBMITTAL



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ILLUSTRATIVE PLAN

L0.02



L0.03

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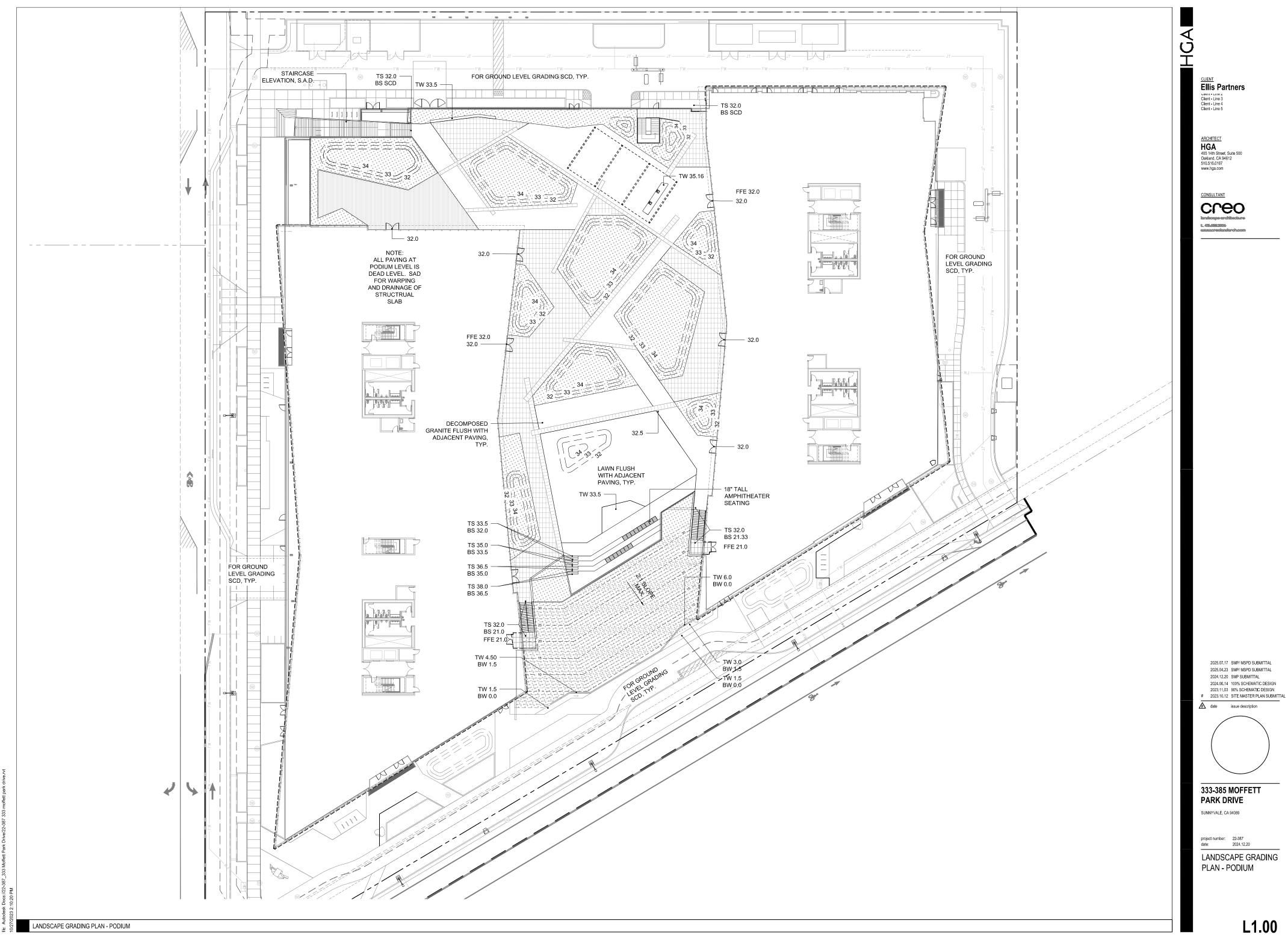
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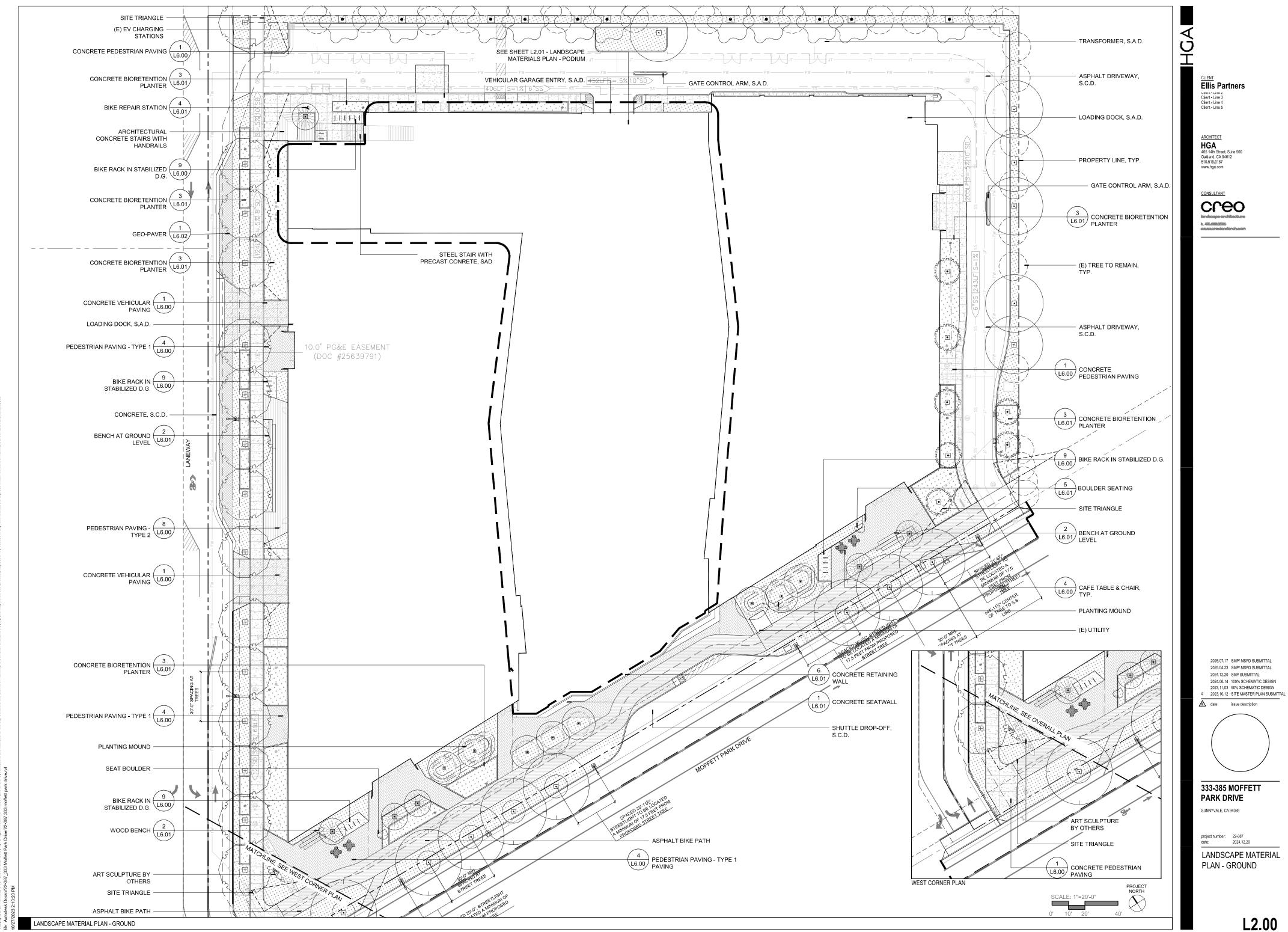
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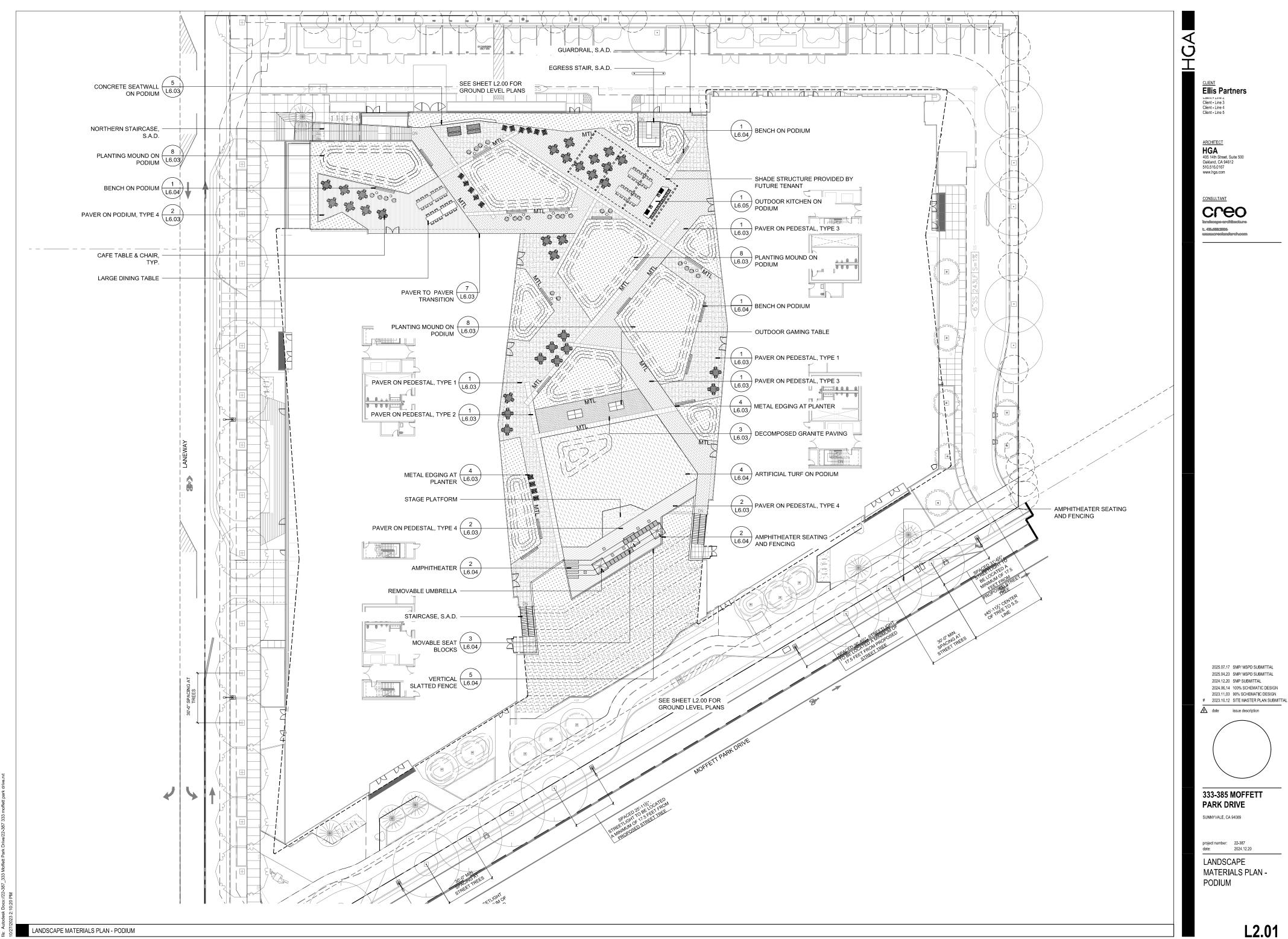
333-385 MOFFETT PARK DRIVE SUNNYVALE, CA 94089

LANDSCAPE OPEN SPACE FRAMEWORK

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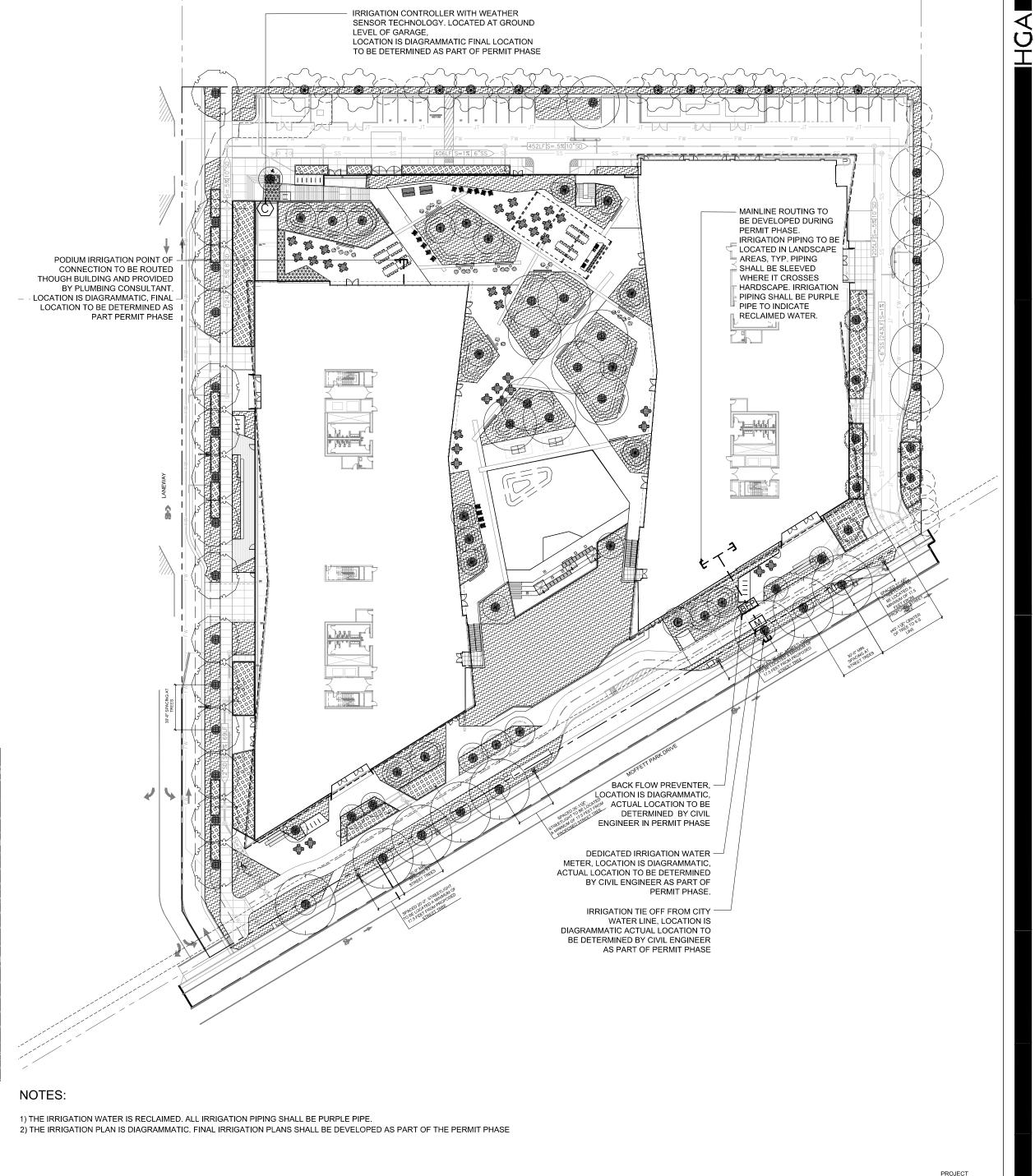
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IRRIGATION HYDROZONE LEGEND					
KEY	ZONE	IRRIGATION TYPE	TOTAL AREA		
	HYDROZONE 1 - LOW SHRUBS	DRIP	38,317 SQFT		
	HYDROZONE 2 - MEDIUM SHRUBS	DRIP	504 SQFT		
	HYDROZONE 3 - LOW TREES	DRIP	2,128 SQFT		
	HYDROZONE 4 - MEDIUM TREES	DRIP	308 SQFT		
	HYDROZONE 5 - MEDIUM STORMWATER	DRIP	7189 SQFT		

IRRIGATION LEGEND				
SYMBOL	DESCRIPTION			
M	WATER METER			
BFP	BACKFLOW PREVENTER			
©	AUTOMATIC IRRIGATION CONTROLLER			
	MAINLINE, SLEEVE UNDER HARDSCAPE, MAINLINE ROUTING IS DIAGRAMMATIC, ALL PIPING TO BE PURPLE PIPE			

CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE WATER USE CALCULATION

Reference Evapotranspiration (ET _o)		45.4 P		roject Type	Non-Residential		0.45
Hydrozone#/Planting Description*	Plant Factor (PF)	Irrigation -	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. Ft)	ETAF x Area	Estimated Total Water Use (ETWU) ²
Regular Landscape Ares	E						
1 - Low Struss	0.1	Drip	0.81	9.12	38510	4754	133925
2 - Medium Shrubs	0.5	Drip-	0.81	0.62	504	311	8757
3 - Low Trees	0.2	Drip	0.81	0.25	2128	525	14790
4 - Medium Trees	0.6	Drip	0.81	-0.74	308	223	6422
5- Medium Stromwater	0.5	Drip	0.81	0.62	7197	4443	125050
				Totals	48647	10262	288844
Special Landscape Area							
				1		0	C
				1		0	C
				1		0	C
				1		0	C
				Totals	0	0	0
					E	WU Total	-288844
Maximum Allowed Water Allowance (MAWA)							616192



Outprijn, 2025 halliner, Oreen alu Xukalanishi, jilir, en ngliis Neserver - Hese fraits ahuut Speankaudis ale interior file: Autodesk Docs://22-387_333 Moffett Park Drive/22-387 333 moffett park drive.rvt

LANDSCAPE IRRIGATION PLAN

L4.00

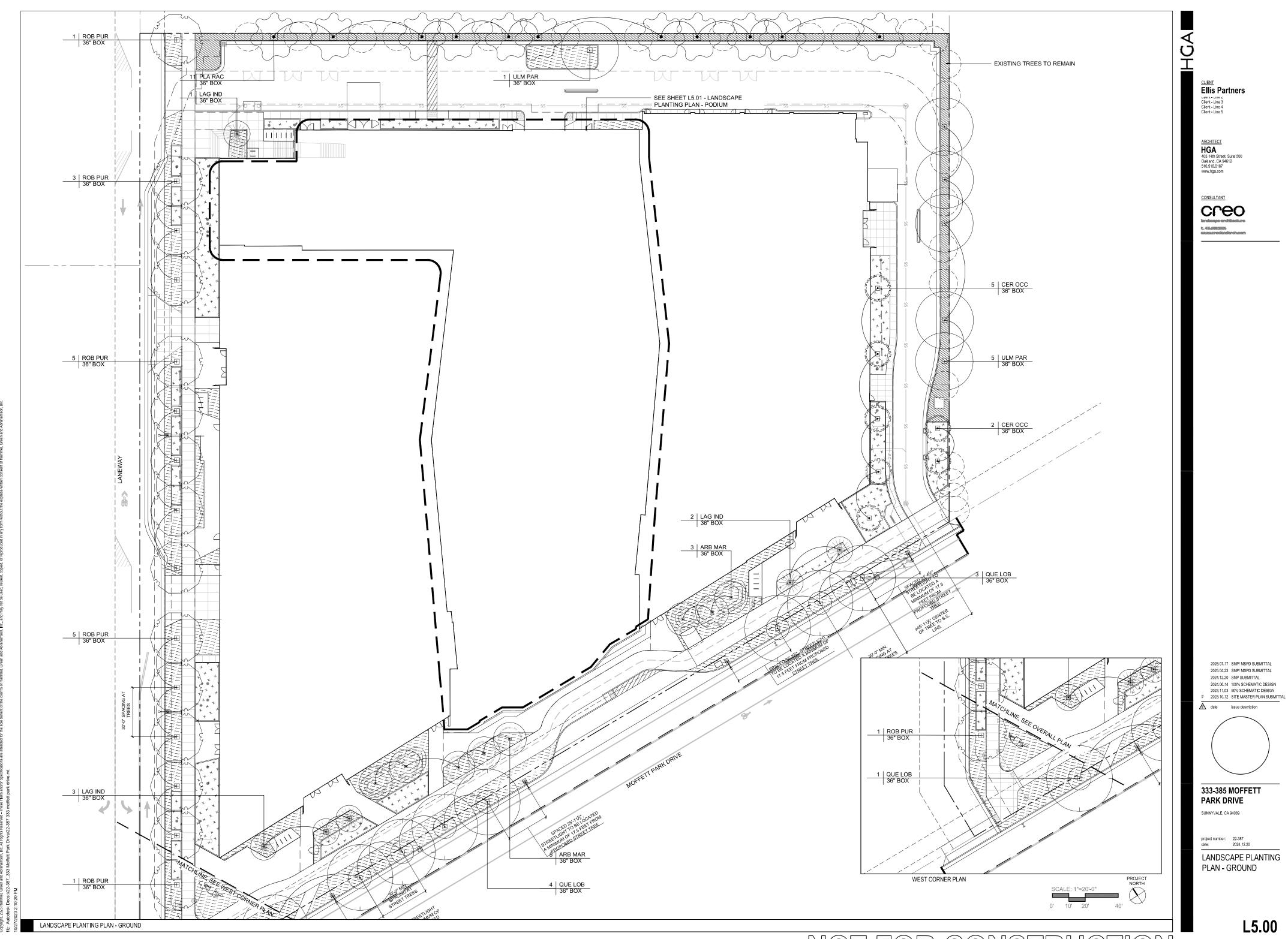
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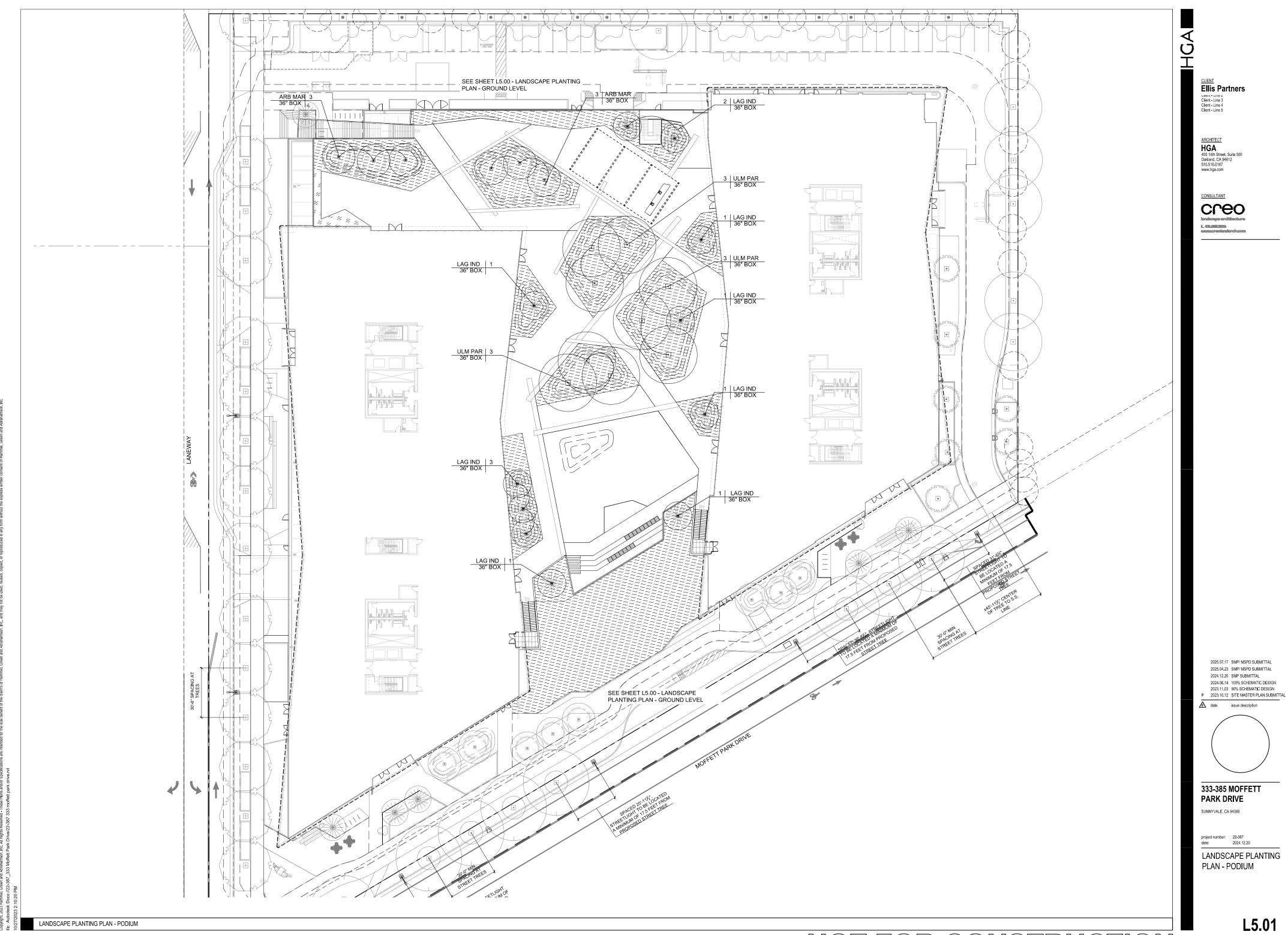
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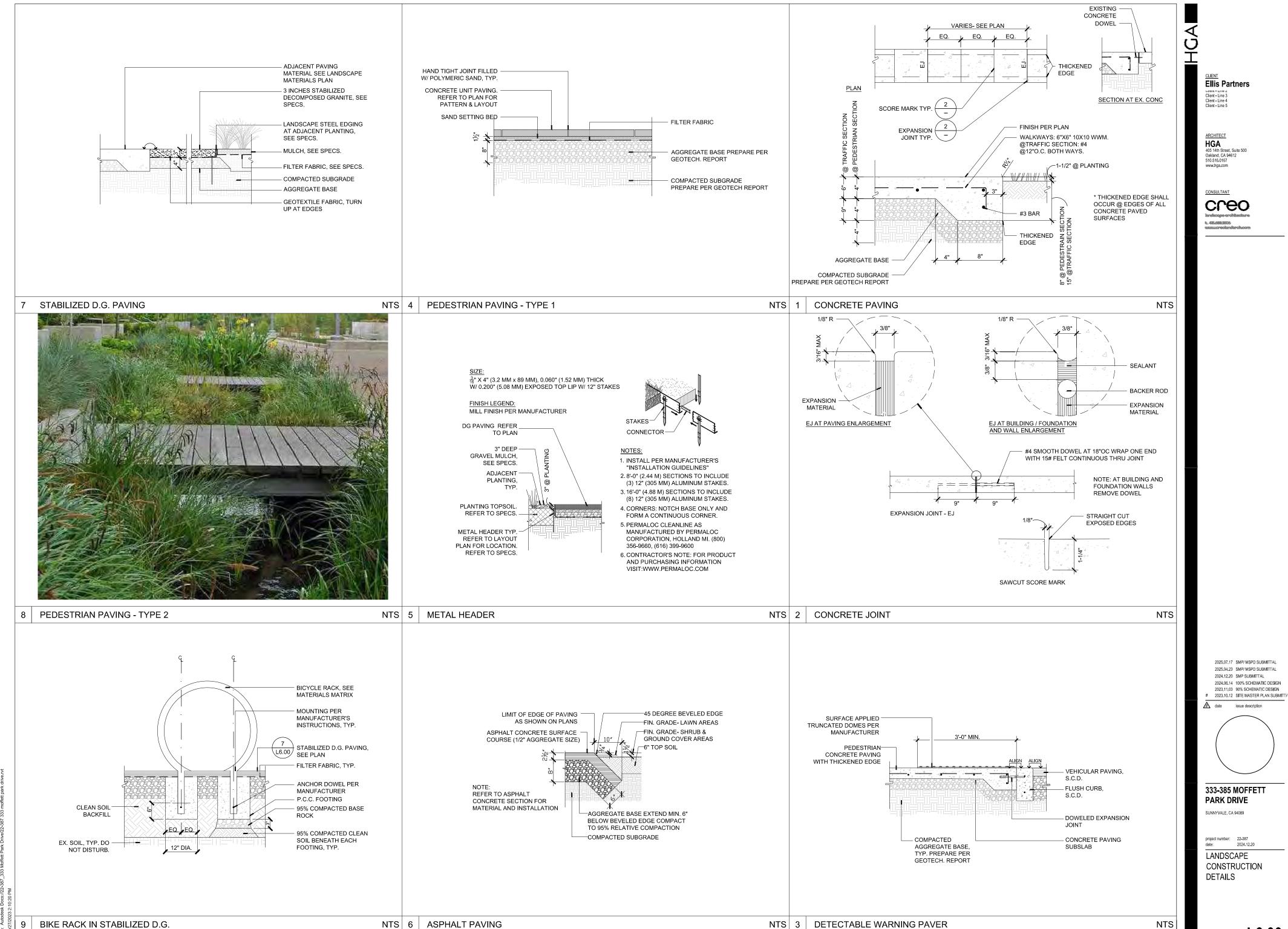
project number: 22-387 date: 2024.12.20

LANDSCAPE IRRIGATION PLAN





LANDSCAPE PLANTING IMAGES



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 2025.04.23
 SMP/ MSPD SUBMITTAL

 2024.12.20
 SMP SUBMITTAL

2024.06.14 100% SCHEMATIC DESIGN 2023.11.03 90% SCHEMATIC DESIGN

333-385 MOFFETT

2024.12.20

L6.01

PARK DRIVE

SUNNYVALE, CA 94089

LANDSCAPE

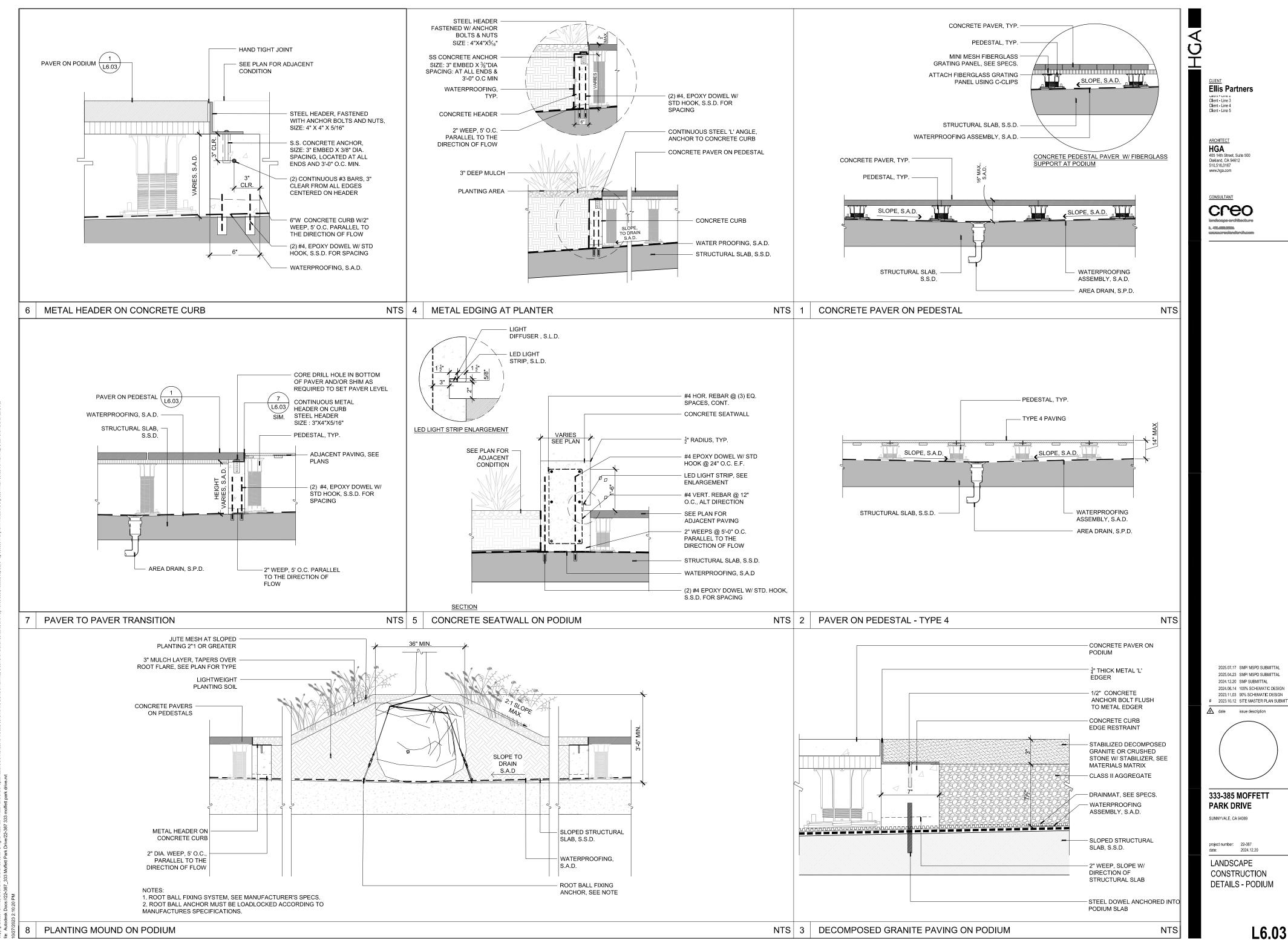
DETAILS

CONSTRUCTION

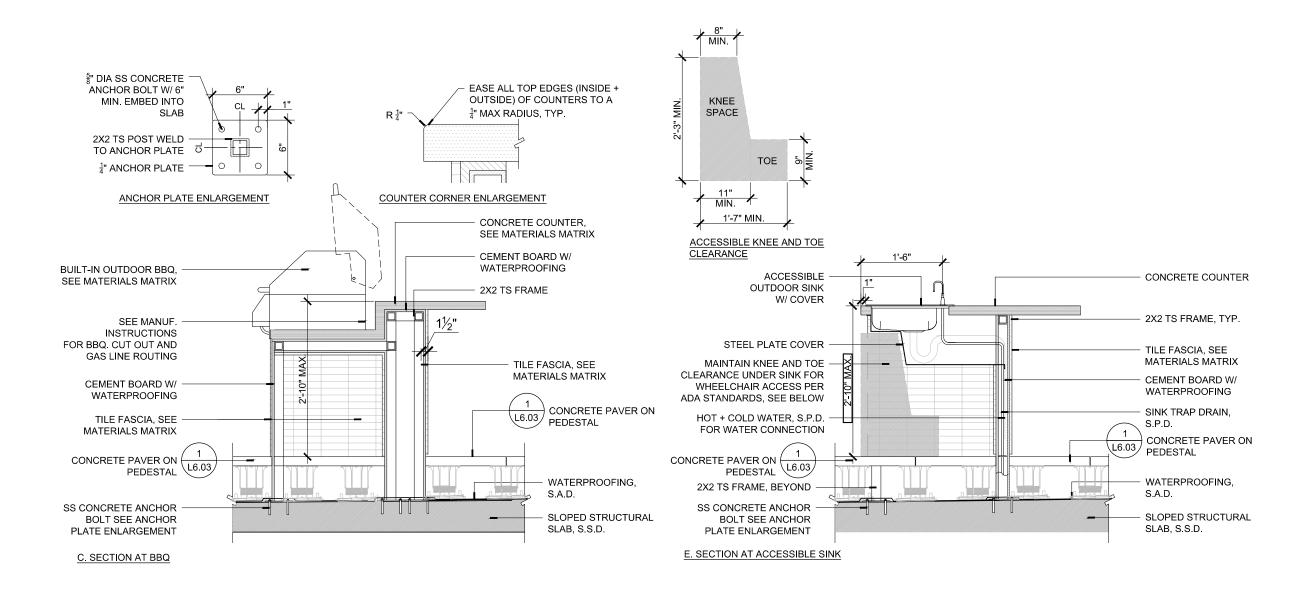
2023.10.12 SITE MASTER PLAN SUBMITT#

date issue description

L6.02



L6.04



4'-6½"

ACCESSIBLE

OUTDOOR SINK

0

2'-7½"

ELEVATION A.

4'-6½"

BUILT-IN GAS

OUTDOOR BBQ

1'-7"

<u>PLAN</u>

BUILT-IN GAS OUTDOOR BBQ

W/ WATERFALL EDGE, SEE MATERIALS MATRIX

PRECAST CONCRETE COUNTERTOP

OUTDOOR KITCHEN

ACCESS DOORS, SEE

MATERIALS MATRIX

TILE FASCIA, SEE

MATERIALS MATRIX

ELEVATION A.

ACCESSIBLE

OUTDOOR SINK + FAUCET W/ COVER

SEE MANUF. INSTRUCTIONS SEE MANUF. INSTRUCTIONS FOR BBQ. CUT OUT DIMS. FOR ACCESSIBLE SINK CUT OUT DIMS. CONCRETE WATERFALL EDGE 3'-0" MIN. CEMENT BOARD W/ WATERPROOFING TILE FASCIA, SEE FRAMING PLAN MATERIALS MATRIX ACCESSIBLE OUTDOOR SINK + -FAUCET W/ COVER, BEYOND - BUILT-IN GAS OUTDOOR BBQ, BEYOND PRECAST CONCRETE COUNTERTOP W/ WATERFALL EDGE, SEE MATERIALS MATRIX TILE FASCIA, SEE MATERIALS MATRIX

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LANDSCAPE CONSTRUCTION

DETAILS - PODIUM

project number: 22-387

2024,12,20

2025.07.17 SMP/ MSPD SUBMITTAL 2025.04.23 SMP/ MSPD SUBMITTAL 2024.12.20 SMP SUBMITTAL

2024.06.14 100% SCHEMATIC DESIGN 2023.11.03 90% SCHEMATIC DESIGN 2023.10.12 SITE MASTER PLAN SUBMITTA

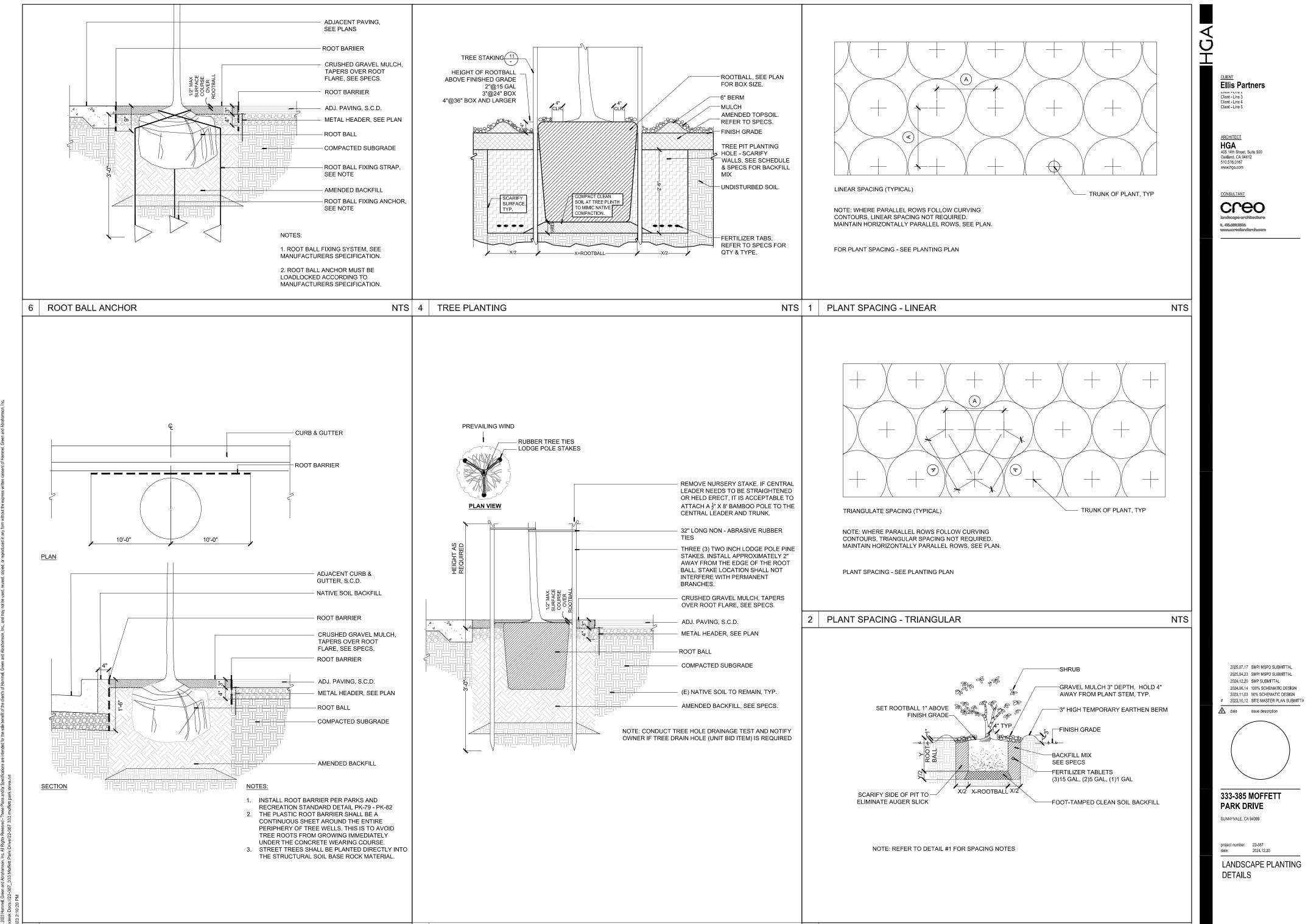
date issue description

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PARK DRIVE

SUNNYVALE, CA 94089

L6.05



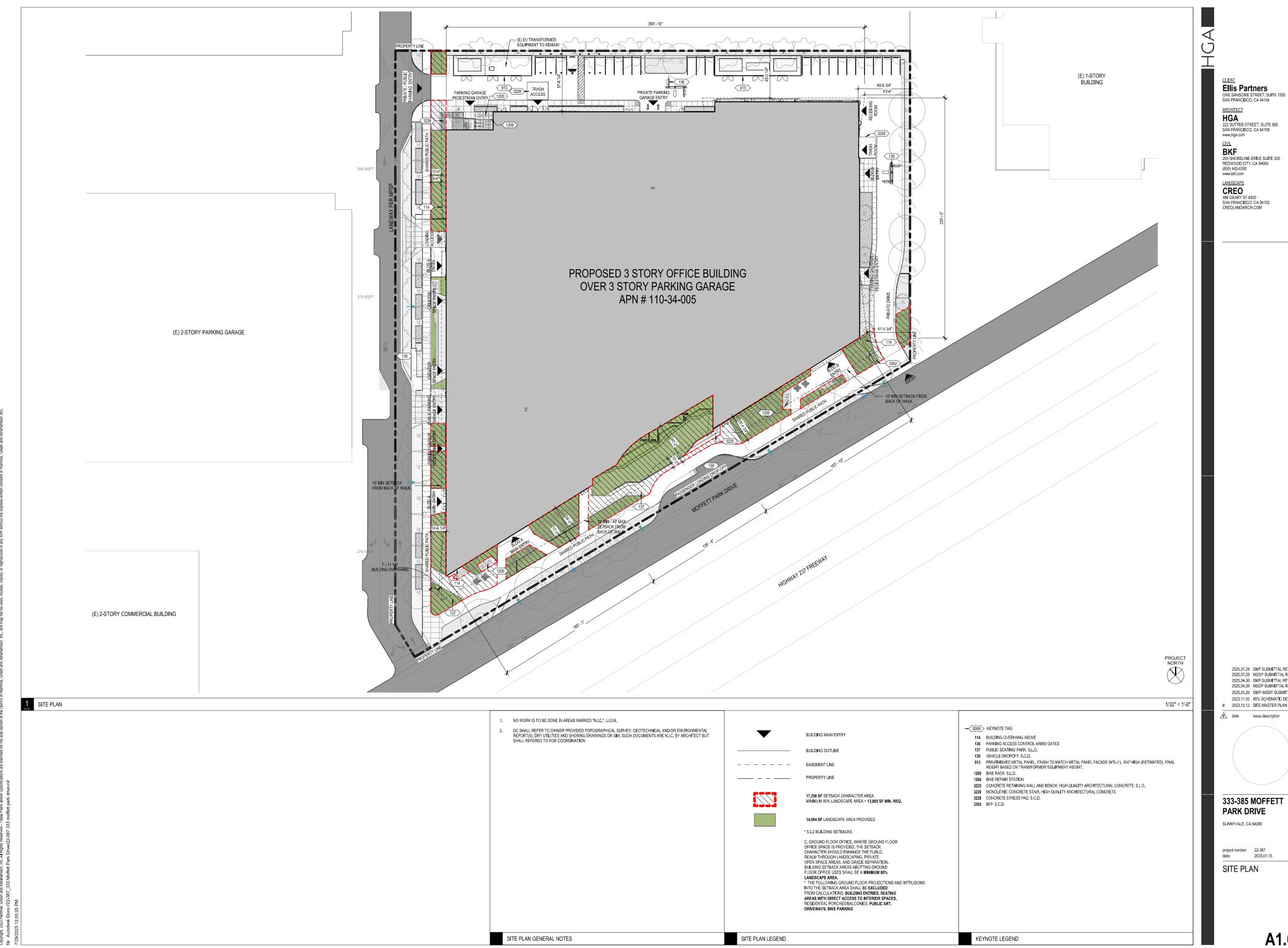
NTS 5 TREE STAKING

ROOT-BARRIER

NTS 3 | SHRUB PLANTING

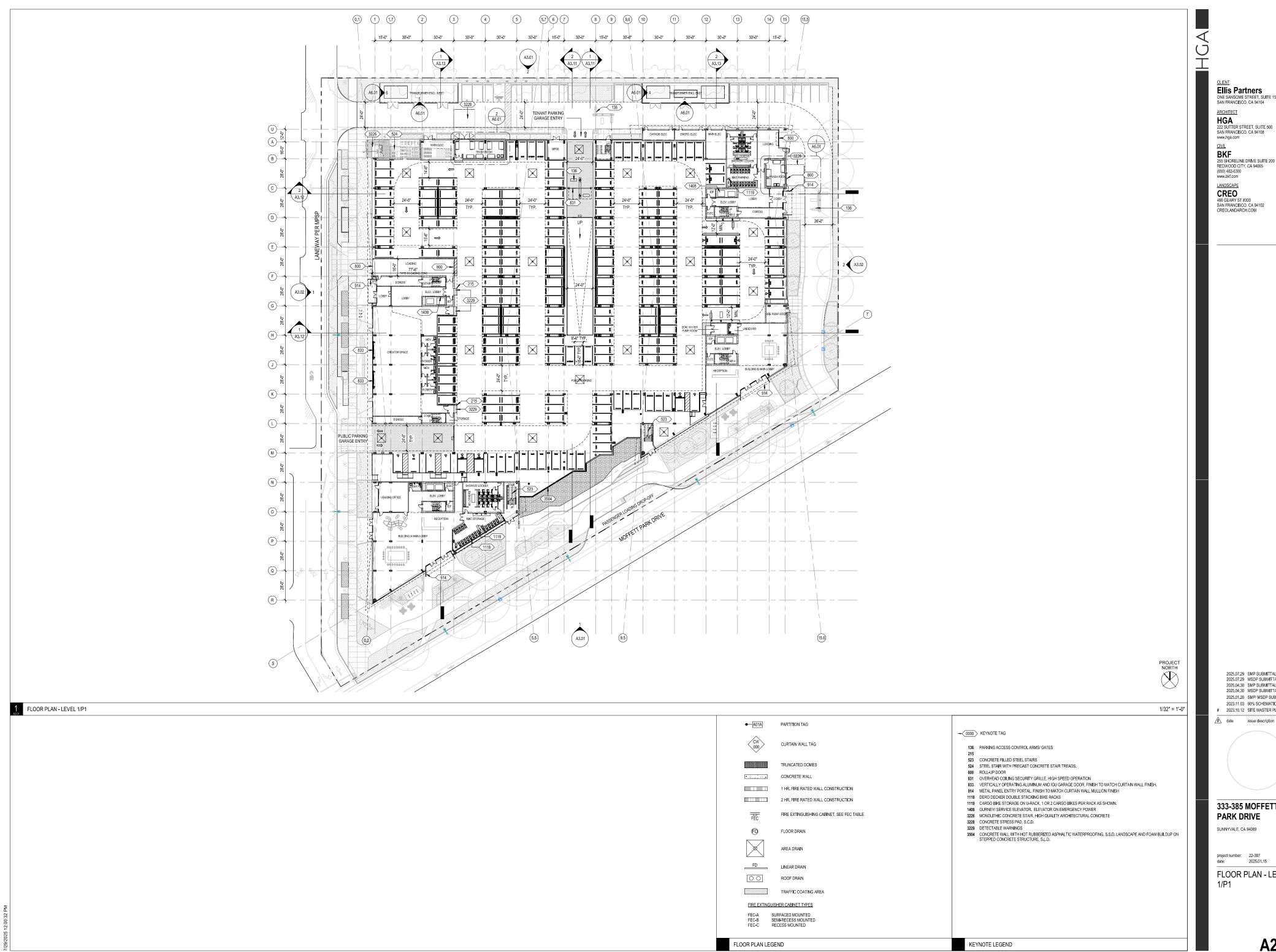
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L7.00



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A1.01



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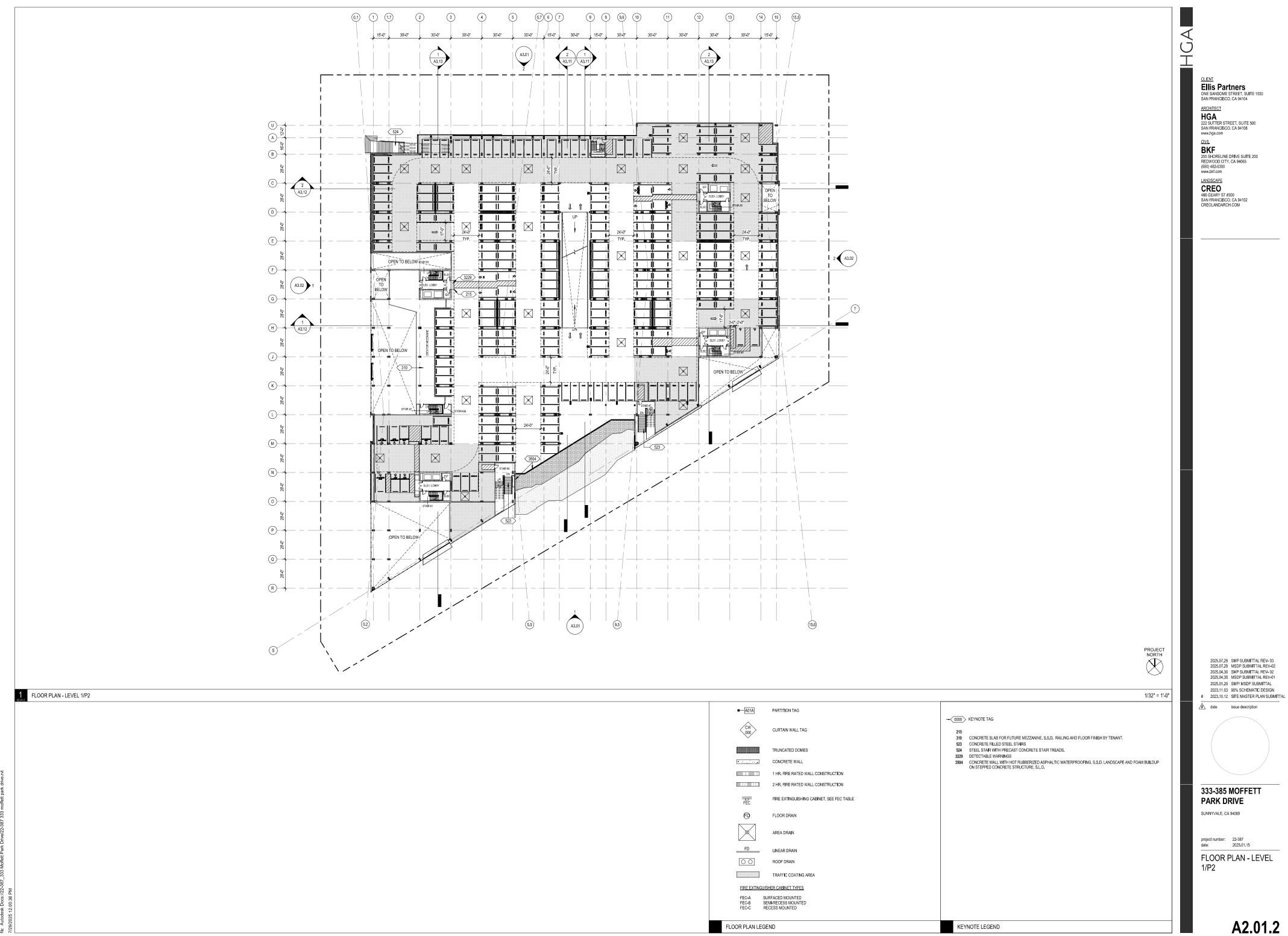
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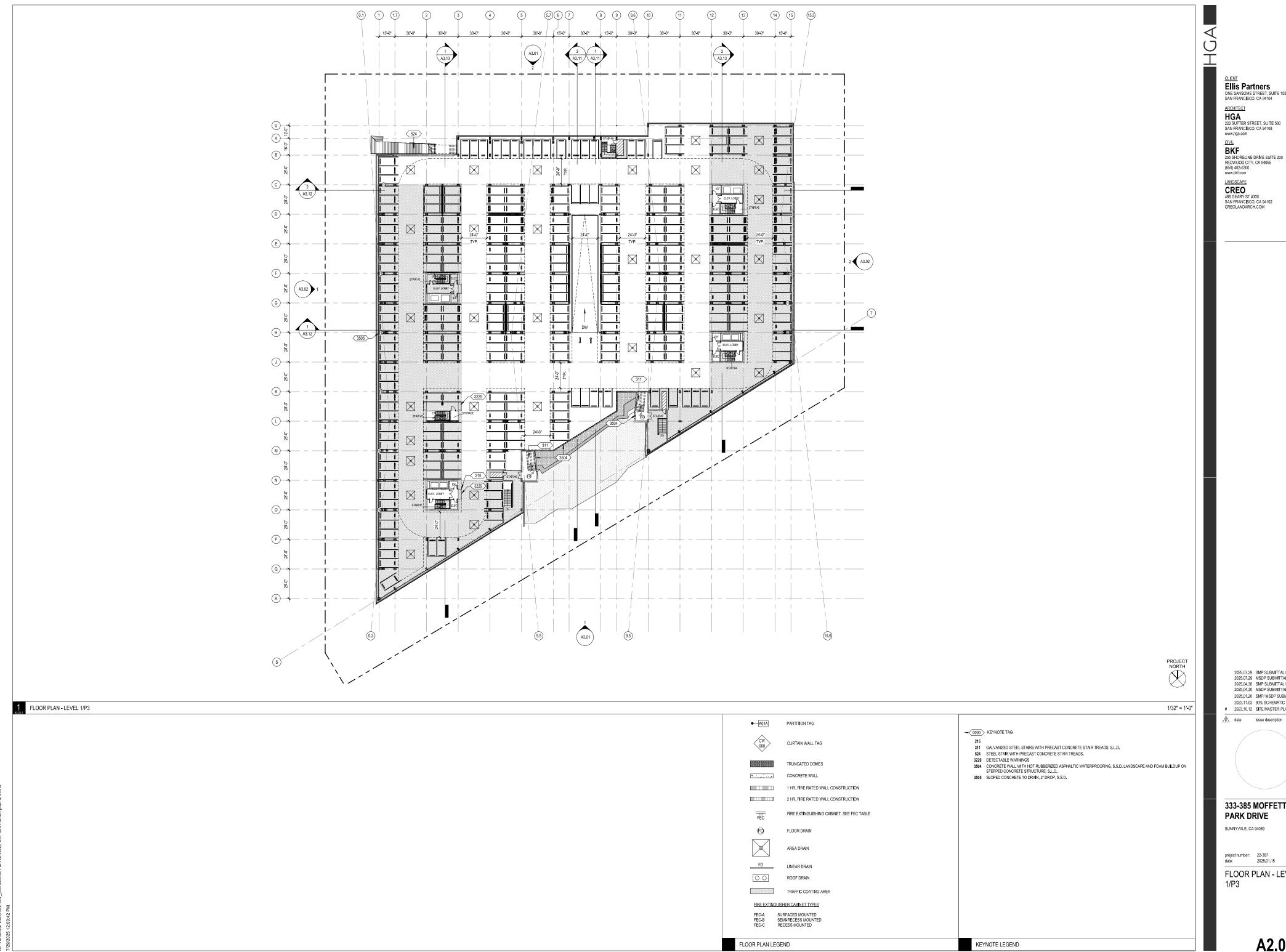
project number: 22-387 date: 2025.01.15

FLOOR PLAN - LEVEL

A2.01



A2.01.2



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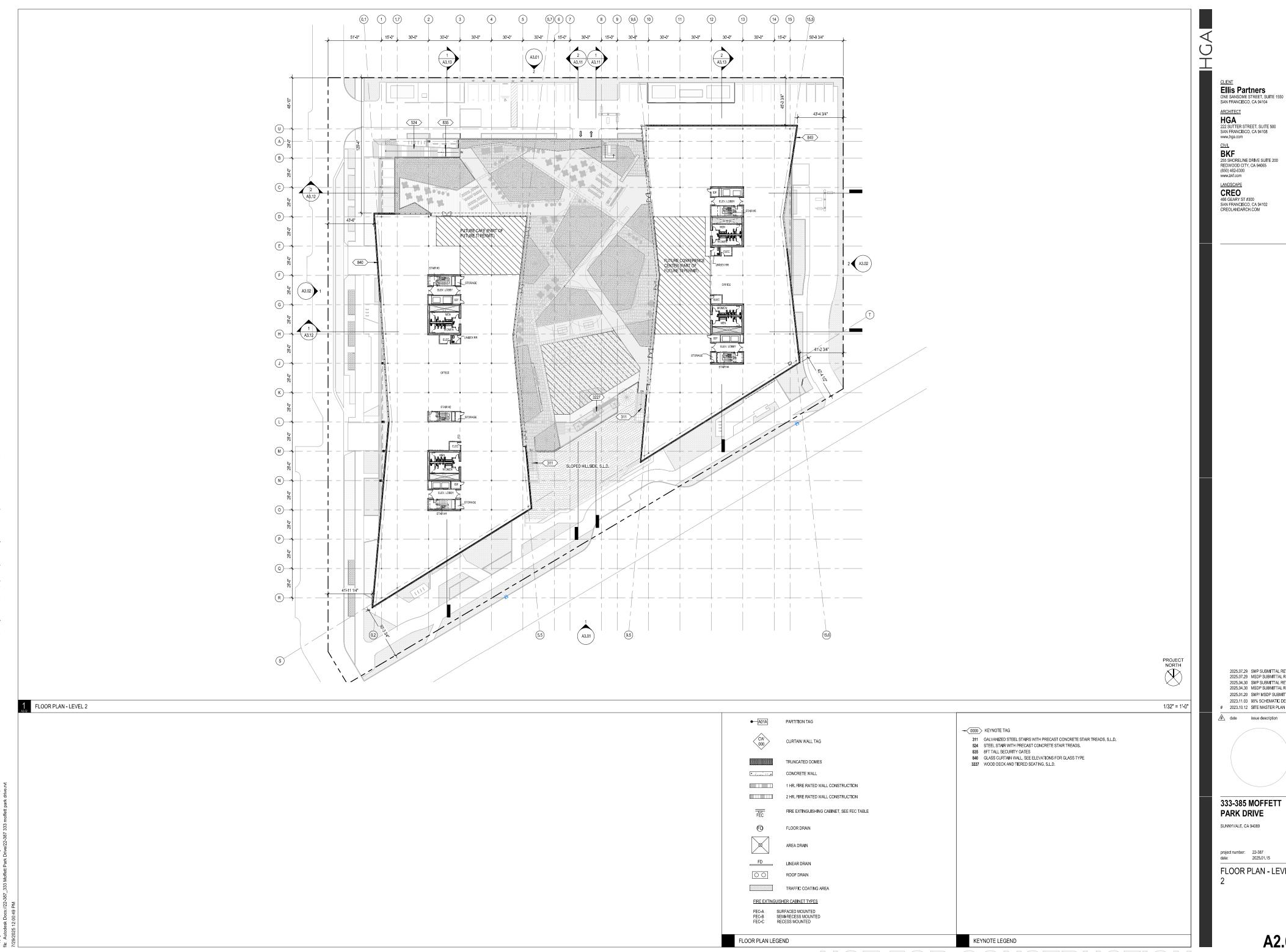
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project number: 22-387 date: 2025.01.15

FLOOR PLAN - LEVEL

A2.01.3

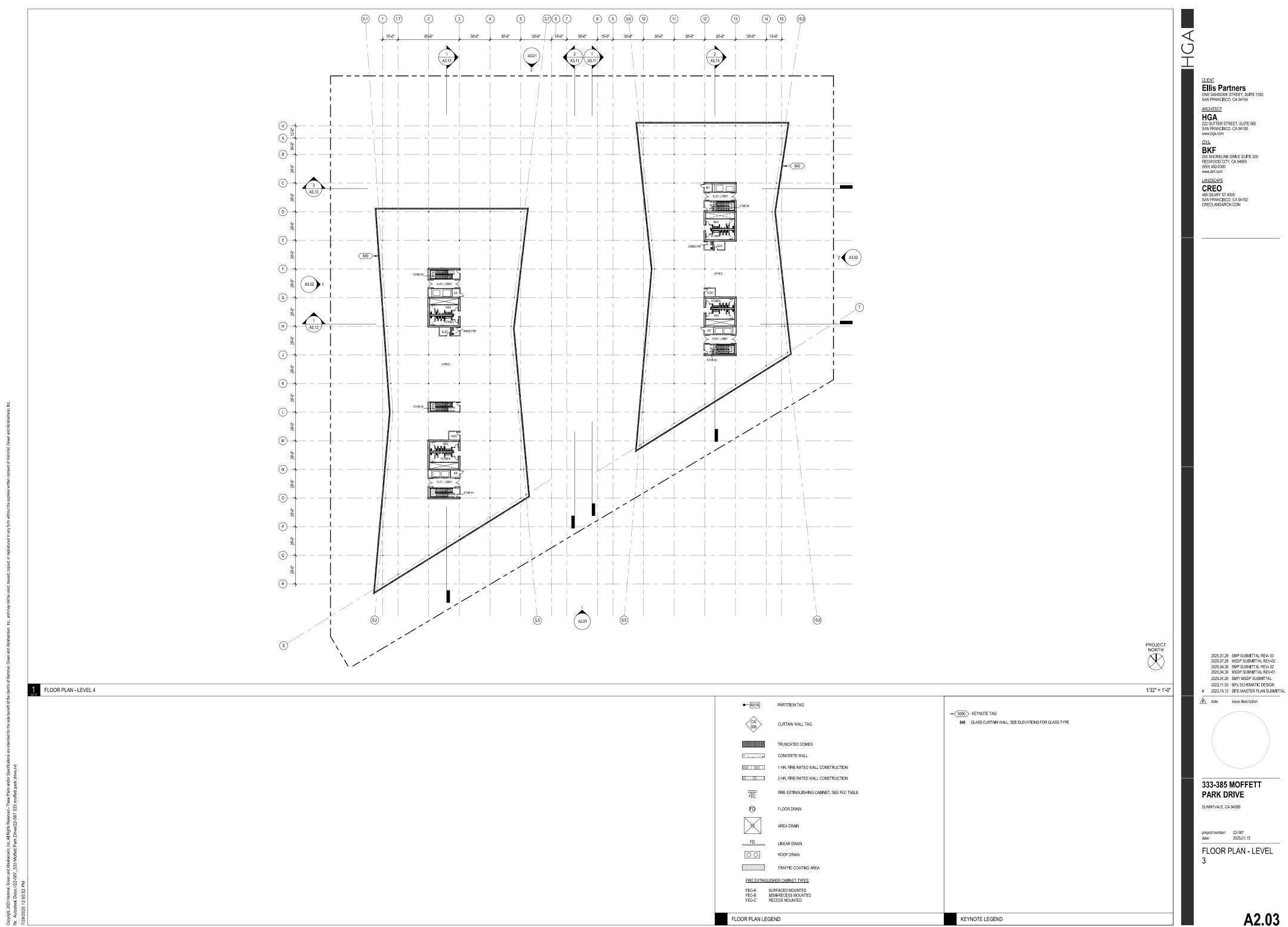


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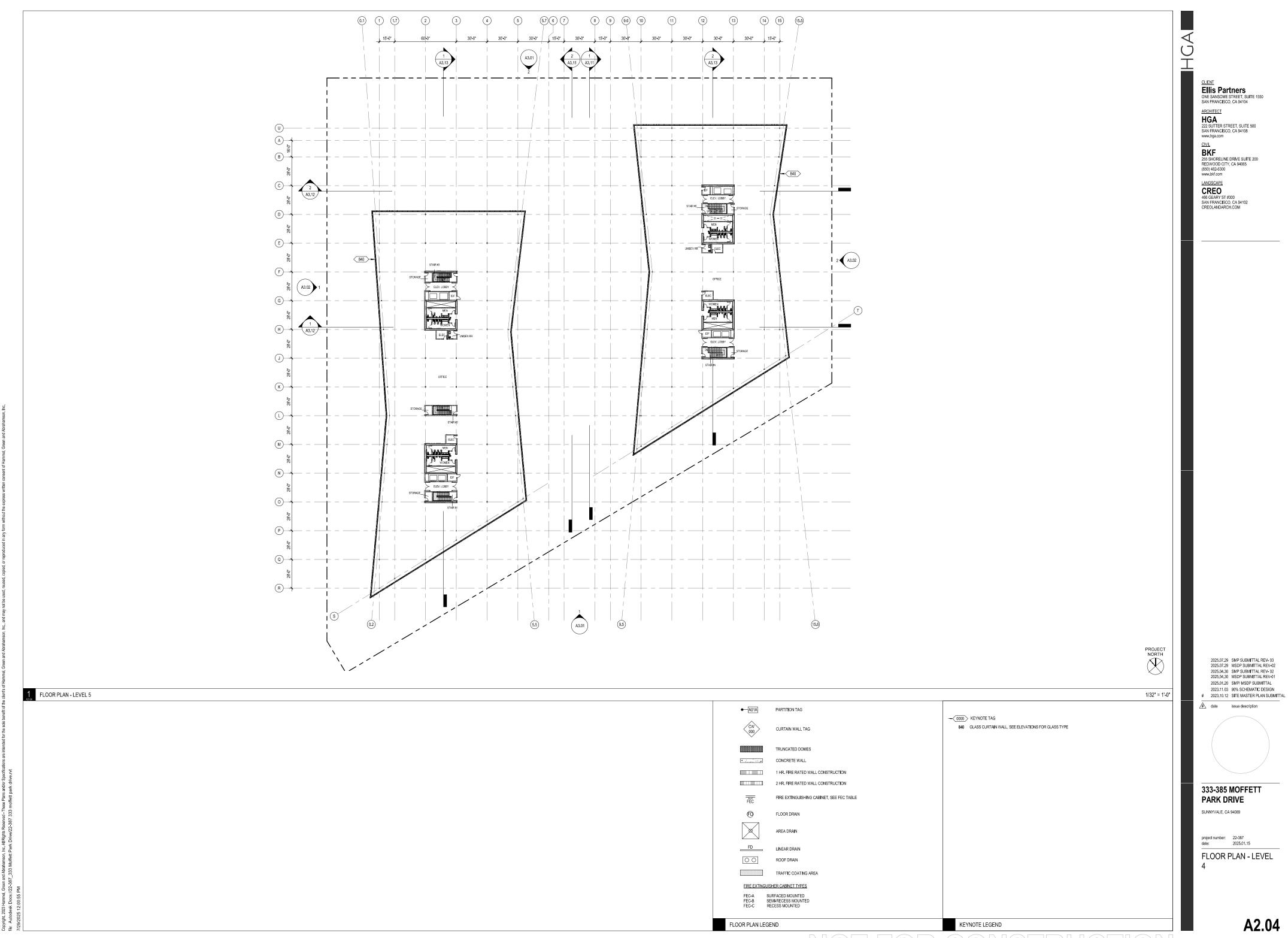
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FLOOR PLAN - LEVEL

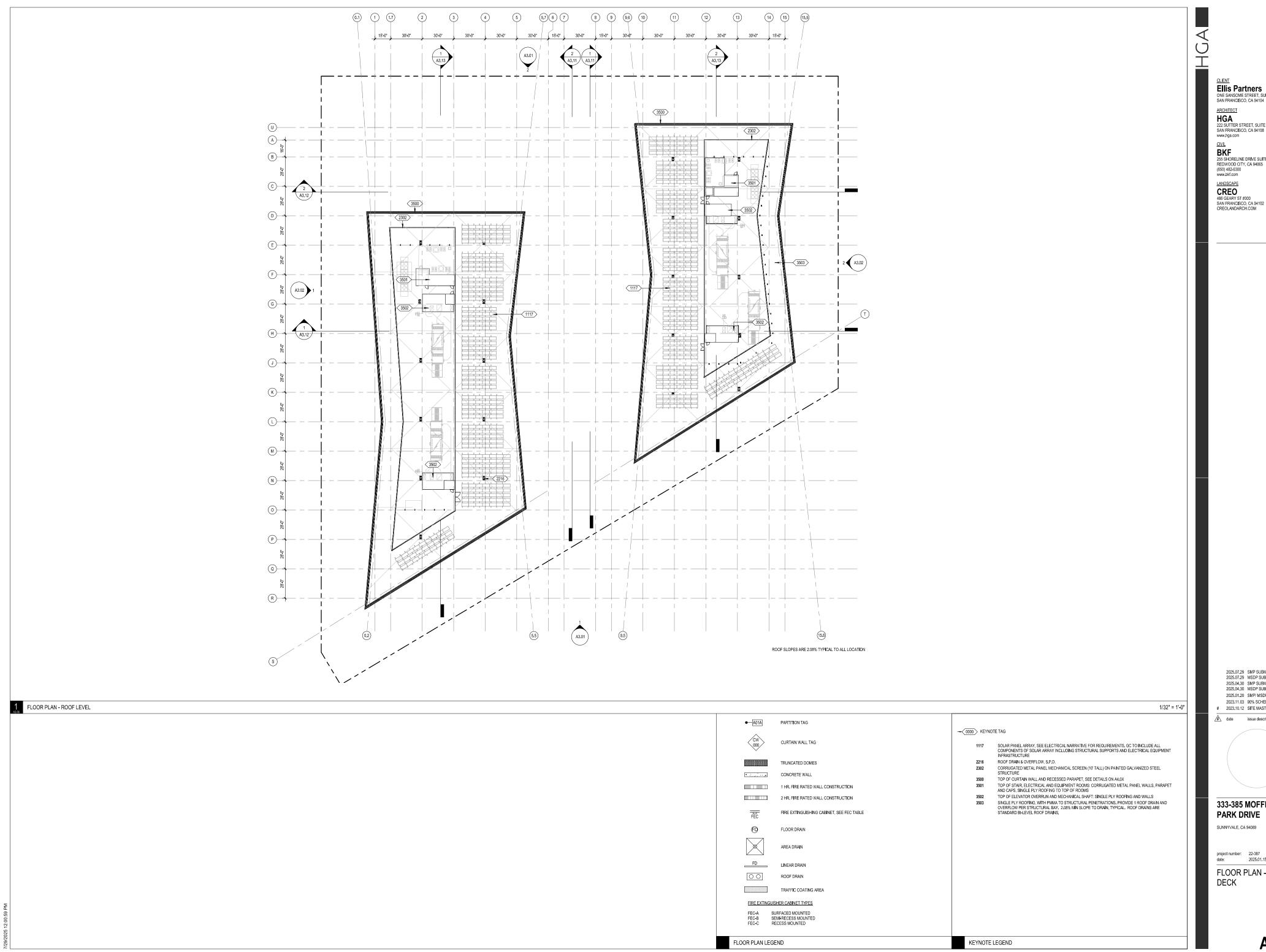
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333-385 MOFFETT PARK DRIVE

SUNNYVALE, CA 94089

project number: 22-387 date: 2025.01.15

FLOOR PLAN - ROOF

A2.06



A3.01

2025.01.15

2025.07.29 SMP SUBMITTAL REV- 03 2025.07.29 MSDP SUBMITTAL REV-02

2025.01.20 SMP/ MSDP SUBMITTAL 2023.11.03 90% SCHEMATIC DESIGN

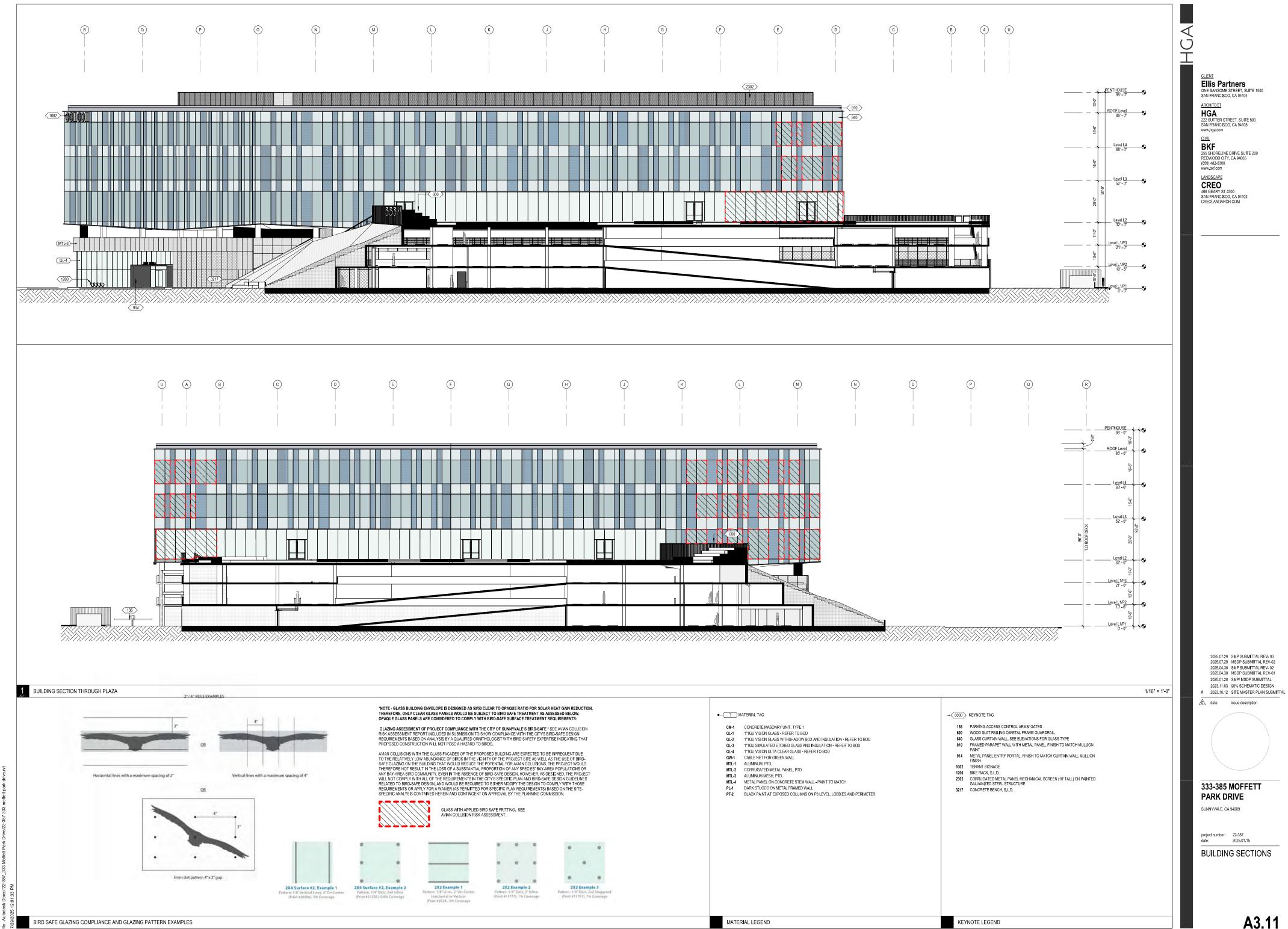
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issue description

2025.01.15

A3.02

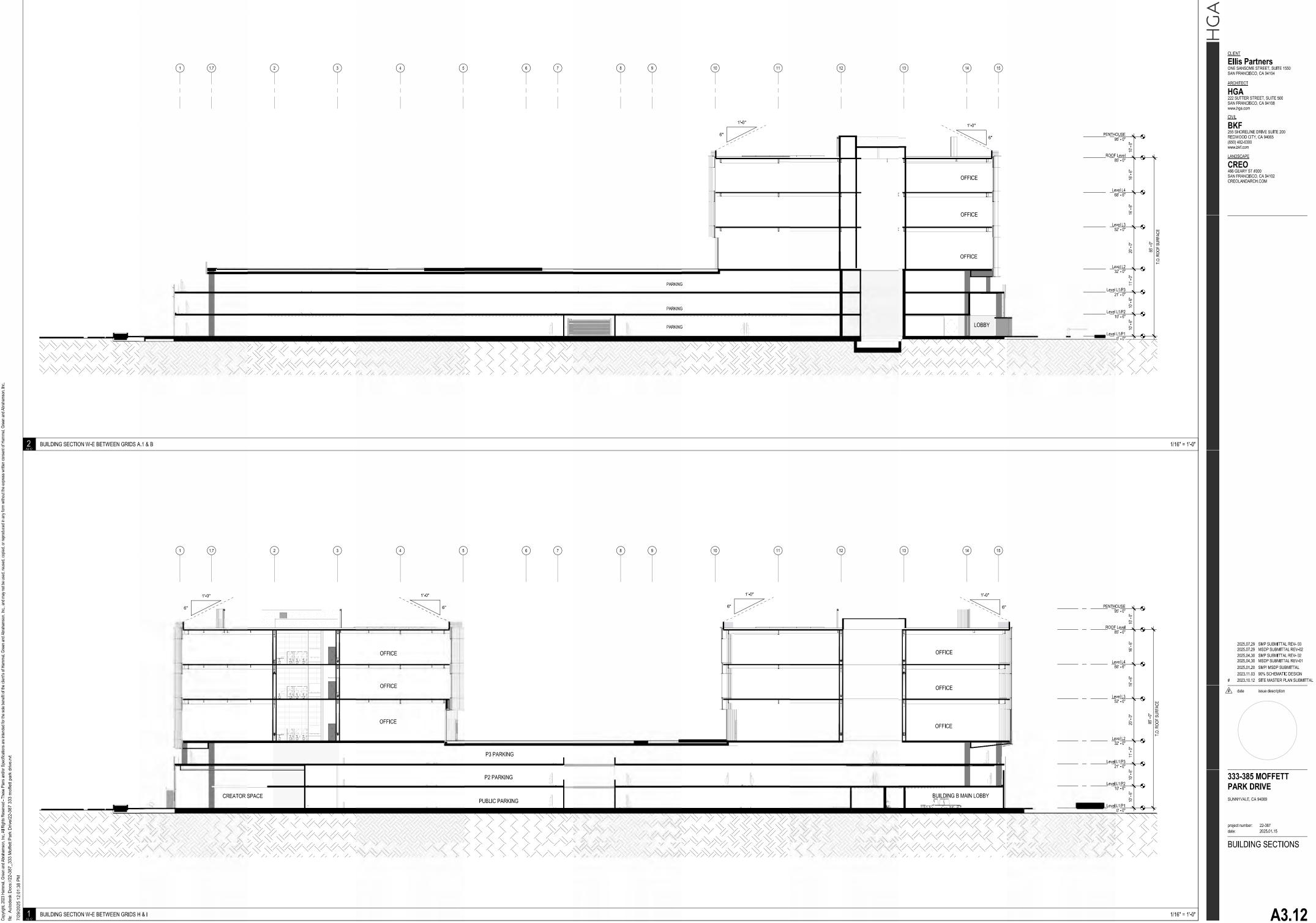




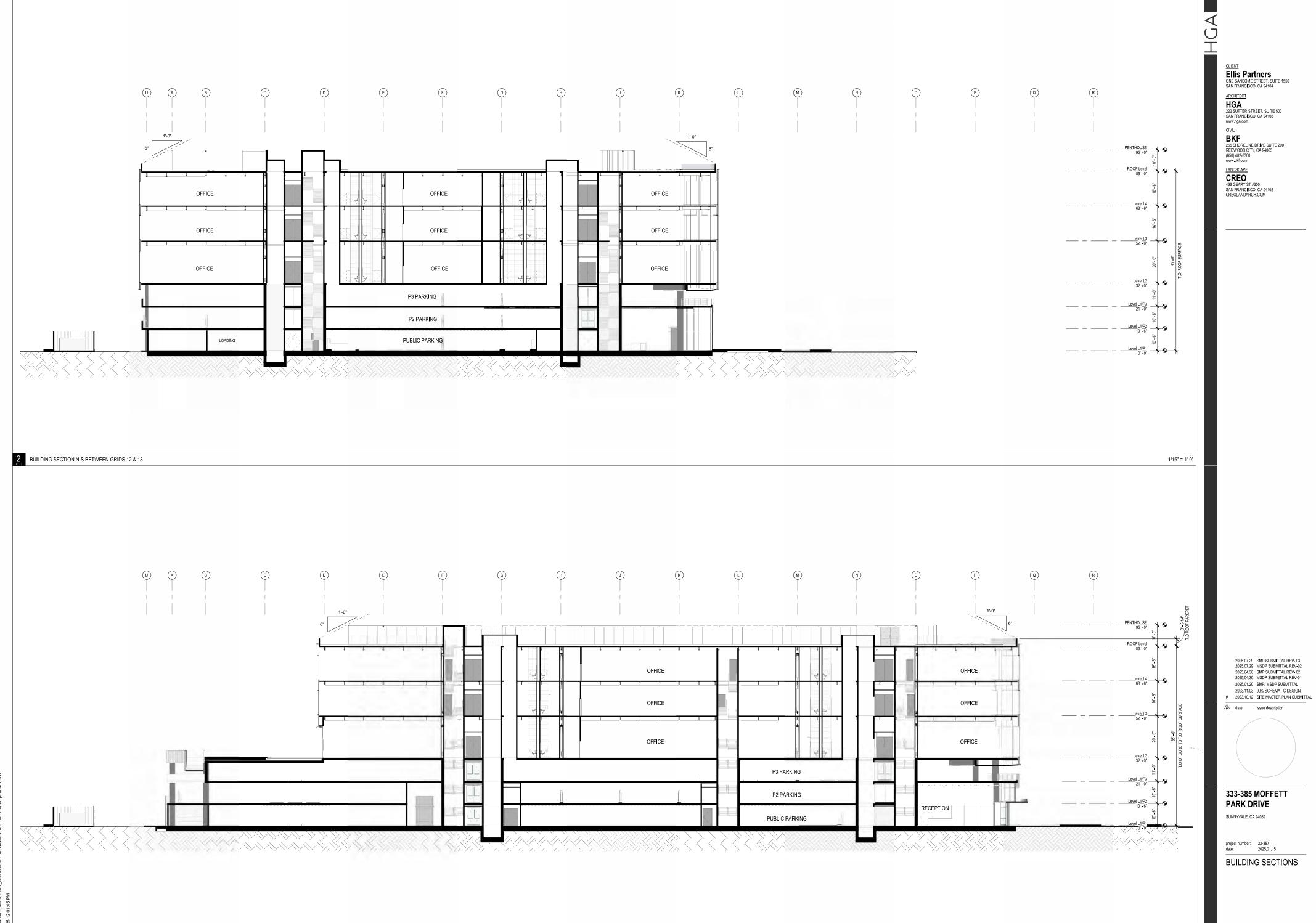
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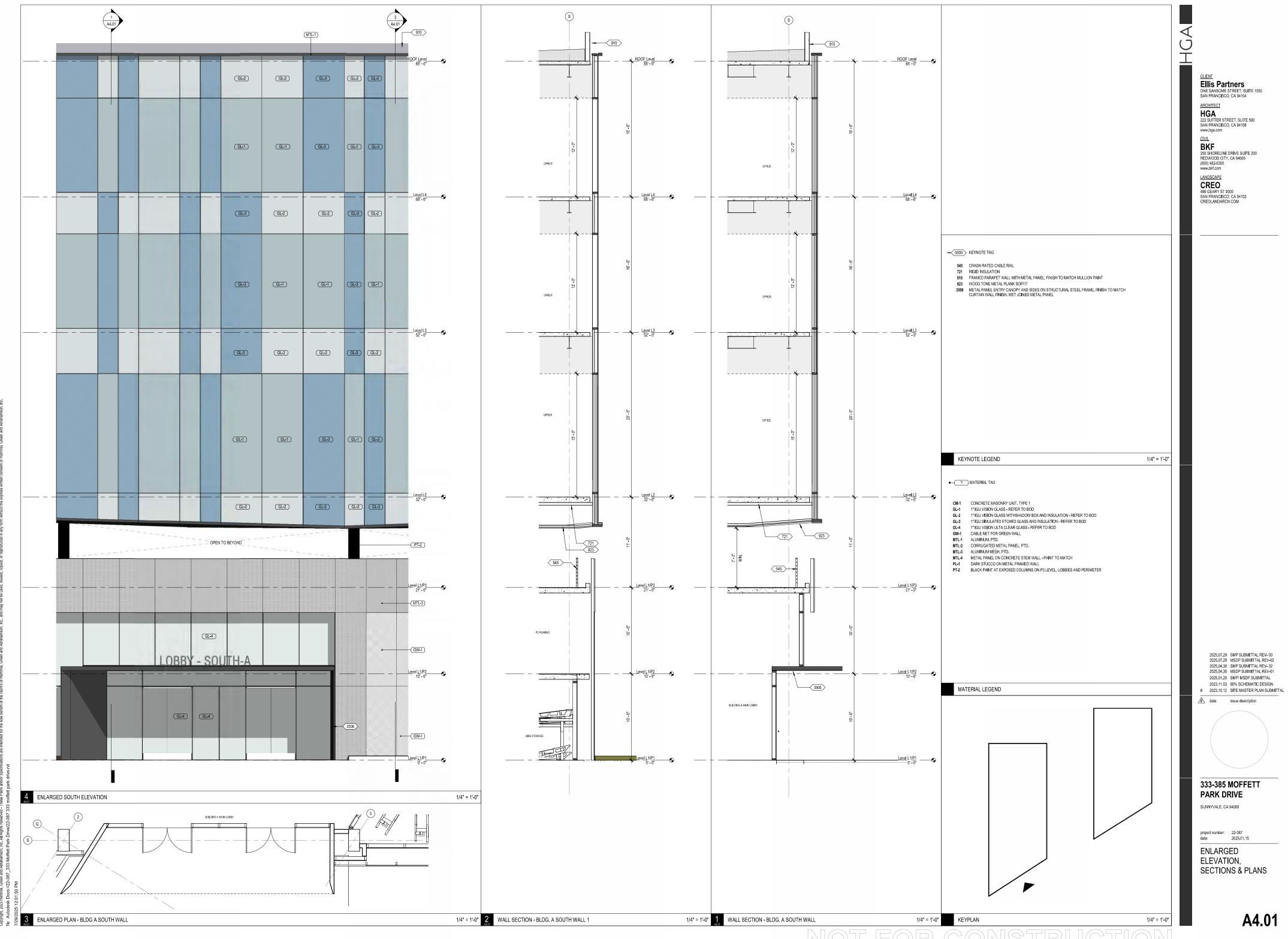


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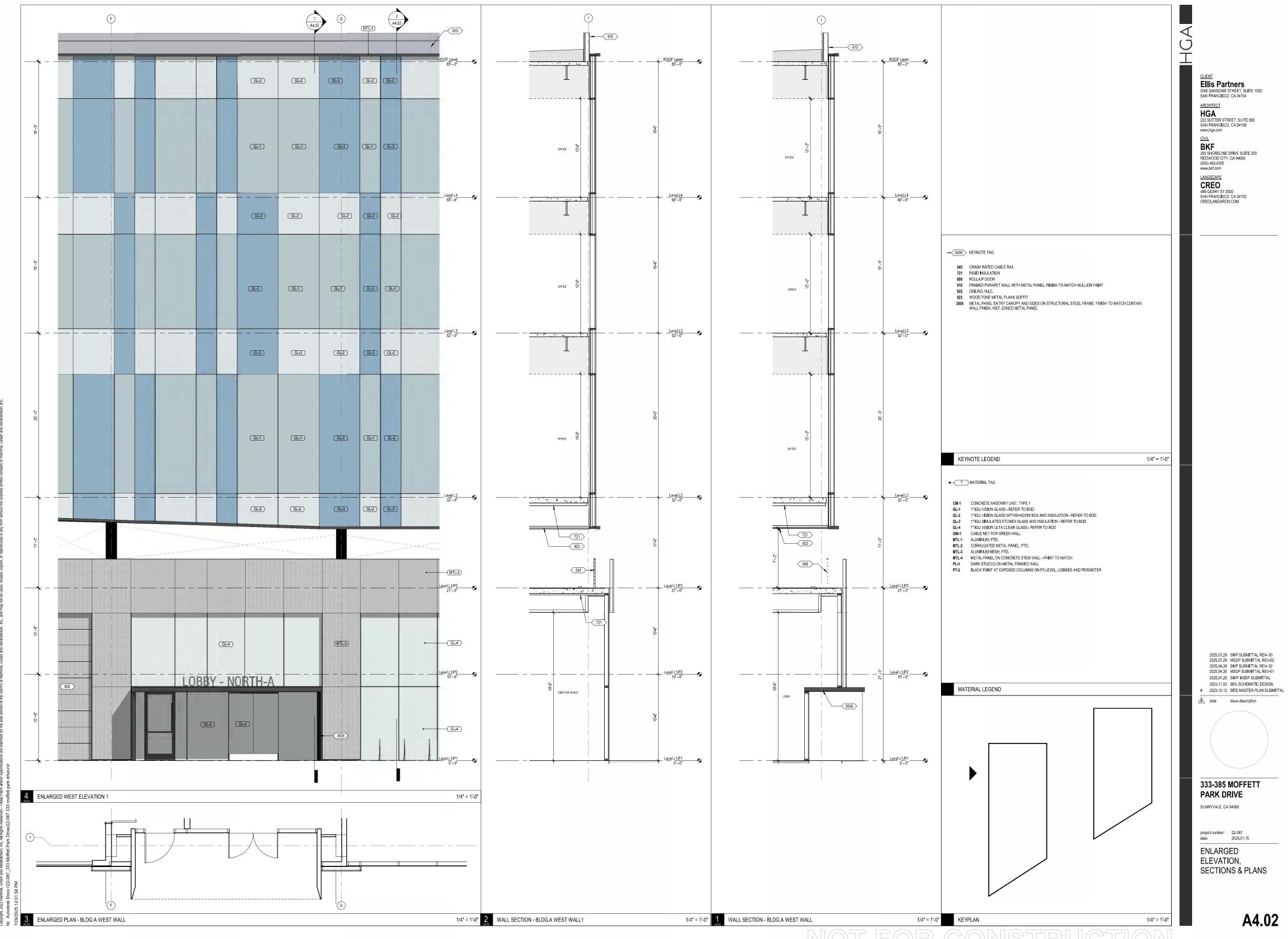


BUILDING SECTION N-S BETWEEN GRIDS 2 & 3

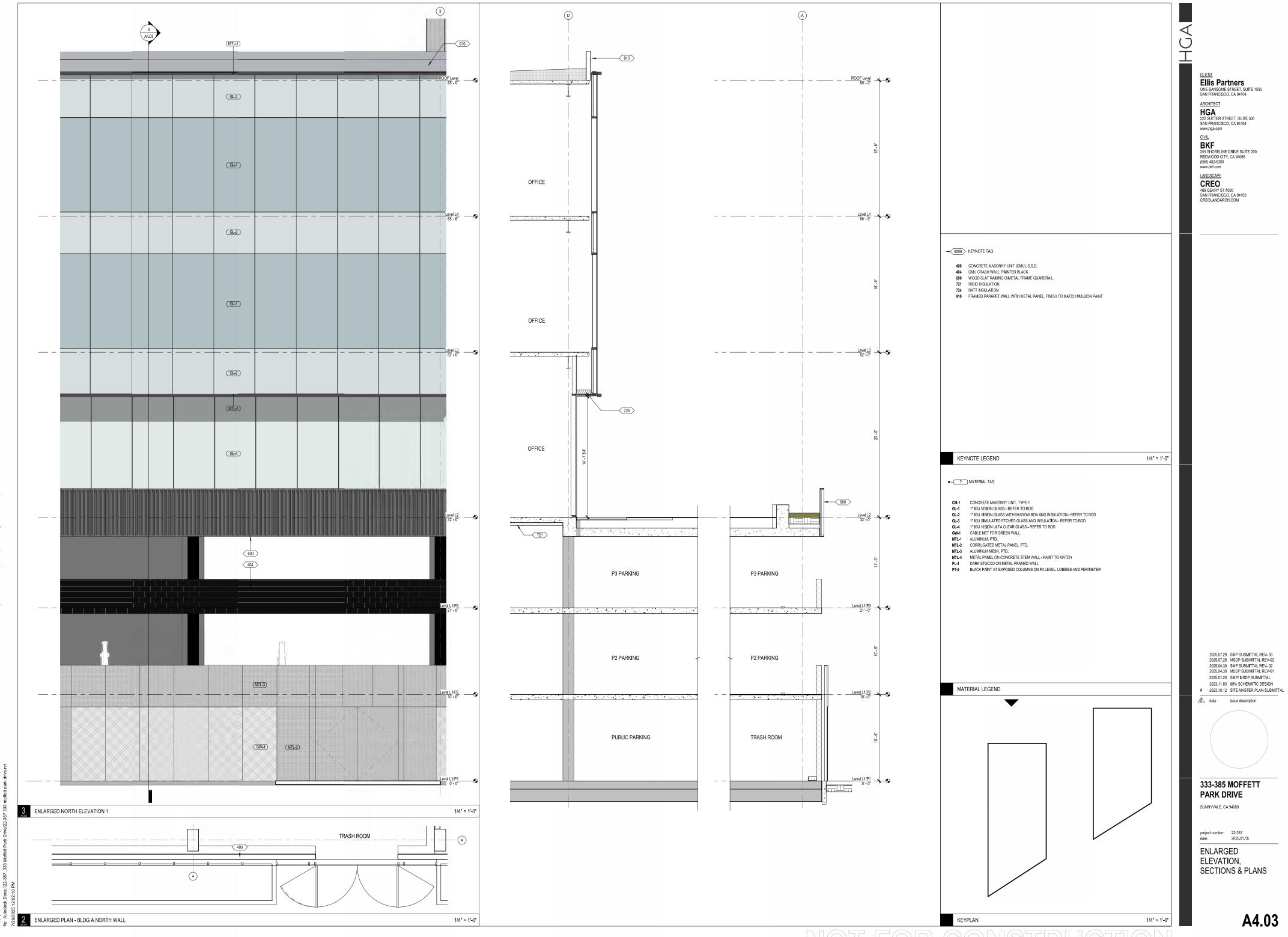
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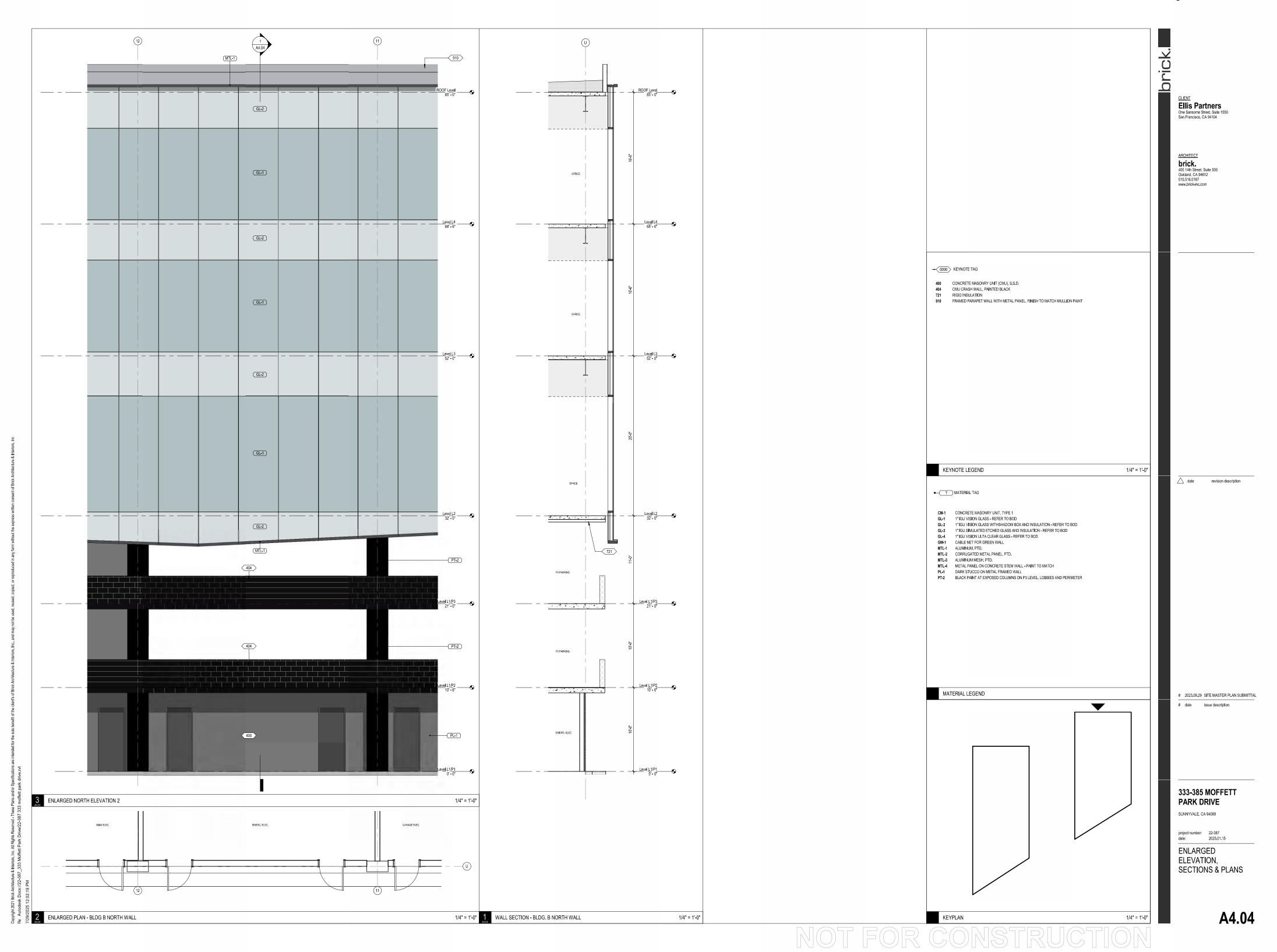
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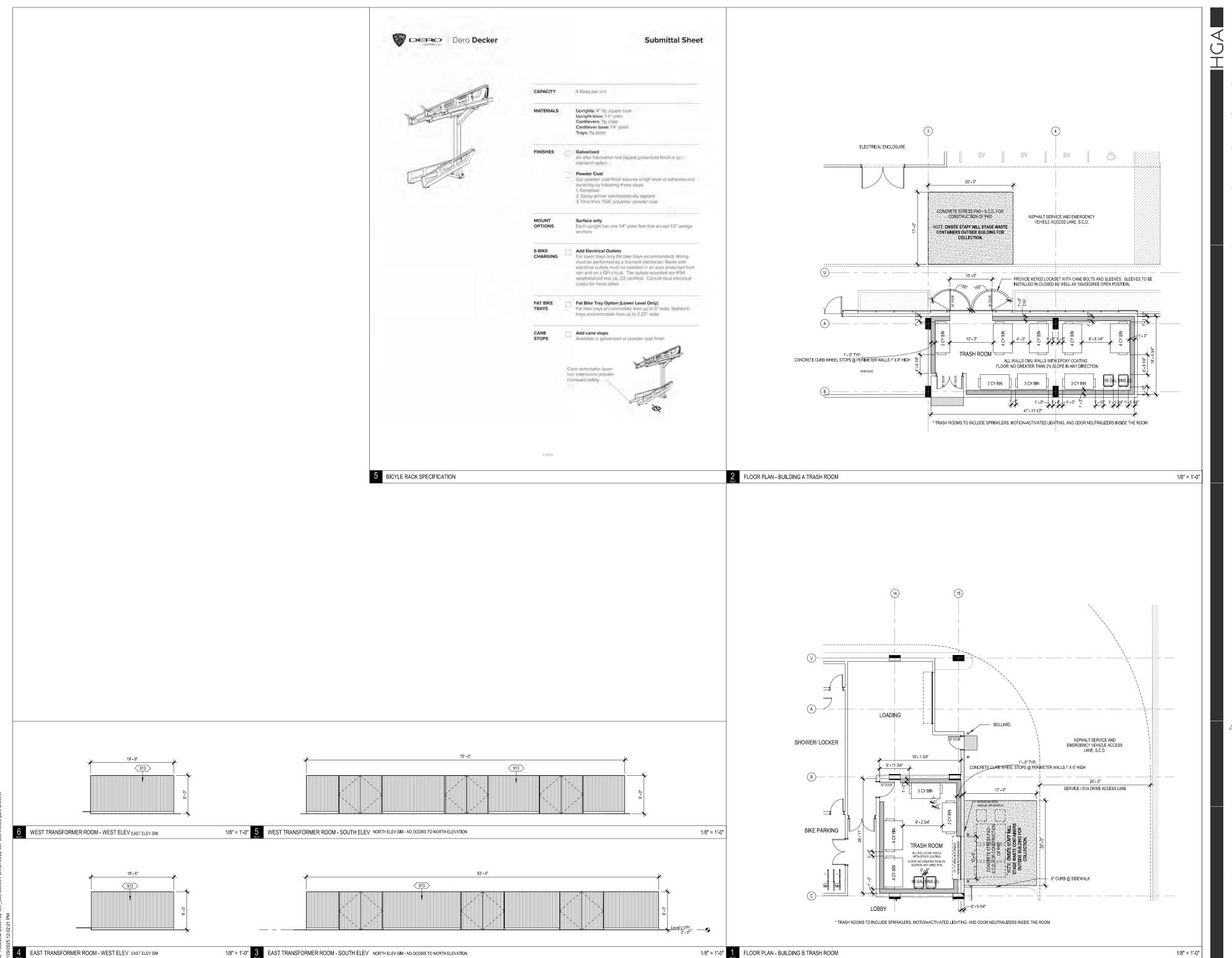


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2025.07.29 SMP SUBMITTAL REV- 02
2025.04.30 SMP SUBMITTAL REV- 02
2025.04.30 MSDP SUBMITTAL REV- 01
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2023.11.03 90% SCHEMATIC DESIGN
4 2023.10.12 SITE MASTER PLAN SUBMITTAL

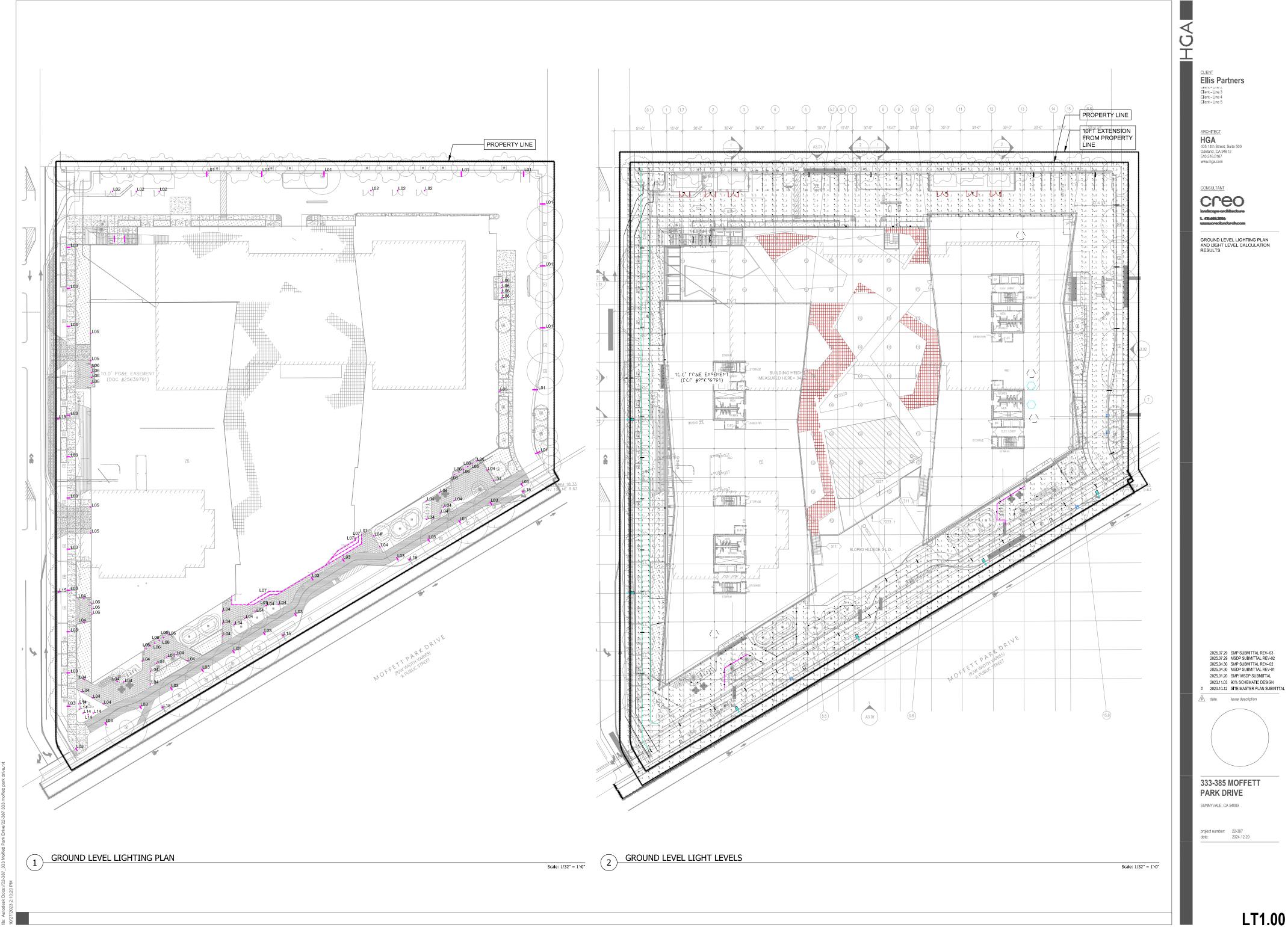
333-385 MOFFETT PARK DRIVE

SUNNYVALE, CA 94089

project number: 22-387 date: 2025.01.15

ENLARGED TRASH ROOMS - STAGING & ACCESS -TRANSFORMER ENCLOSURE ELEVATIONS

A6.01





2025.04.30 SMP SUBMITTAL REV- 02 2025.04.30 MSDP SUBMITTAL REV-01 2025.01.20 SMP/ MSDP SUBMITTAL 2023.11.03 90% SCHEMATIC DESIGN # 2023.10.12 SITE MASTER PLAN SUBMITTAL

333-385 MOFFETT PARK DRIVE

SUNNYVALE, CA 94089

LT2.00

ELECTRO LIGHT

Problem | Property | P Wichelt Inkóp:

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2. Before ordering, it is the Contractor's responsibility to ensure lead times of luminaires are within programme.

 Strend Light Per City
 Pole
 Lumec
 MSC Gen 3
 [MSC-002]-35W02LED4K-03-LE3F-UNY-DMG TBD
 TBD
 56W
 4000K
 80
 \$1.44.00
 B1-UG-G1
 0-10V

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4. All Luminaire Finishes to be confirmed by Architect before ordering 5. Any changes to the document are shown in bold fraics.