



SUNNYVALE 24

PROJECT DESCRIPTION: FOUR LEVELS OF RESIDENTIAL TYPE V A

ZONING SUMMARY

PROJECT SITE INFORMATION				
APN #	ADDRESS	ZONE	LOT AREA (SF)	LOT AREA (ACRE)
204-03-003	210 W AHWANEES AVE, SUNNYVALE, CA 94085	24-UNIT CONDO PROJECT IN R-4 / PD ZONING DISTRICT	+/- 17,743	
204-03-002	214 W AHWANEES AVE, SUNNYVALE, CA 94085		+/- 13,833	
TOTAL			+/- 31,576	+/- 0.72
LAND TO BE DEDICATED / RIGHT OF WAY (ROW)			+/- 575	
			NOT PART OF TOTAL LOT AREA	

PROJECT CONSTRUCTION TYPE: FOUR LEVELS OF RESIDENTIAL TYPE V A				
	ALLOWED	PROPOSED	NOTES	
SETBACKS				
NORTH - FRONT EAST - SIDE WEST - SIDE SOUTH - REAR	20'-0"	25'-0"	CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS	
	9'-0" @ GRND. + 3'-0" EA. LVL ABOVE	7'-0" @ GRND. 10'-0" @ 2ND LVL		
	9'-0" @ GRND. + 3'-0" EA. LVL ABOVE	13'-0" @ 3RD & 4TH LVL		
	20'-0"	40'-5" @ GRND, 2ND & 3RD LVL 51'-5" @ 4TH LVL		
DENSITY		MIN. 28 DU/AC MAX. 36 DU/AC	33 DU/AC	CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
FLOOR AREA RATIO		N/A	1.68	SUNNYVALE MUNICIPAL CODE - 19.32 - TABLE 19.32.020
NUMBER OF STORIES		4	4	CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
BUILDING HEIGHT		55'	48'-6" BLDG. HGT. 60'-6" TOP OF ELEVATOR	
LOT COVERAGE		40% + 5% PER GREEN BLDG. PROGRAM	44% - 13,895 S.F.	

PARKING SUMMARY					
	REQUIRED	PROVIDED	NOTES		
GUEST & RESIDENTS	2-3 BEDROOM	2 CAR / DU 48 STALLS	48 STALLS	38 ASSIGNED / COVERED 10 UNASSIGNED / UNCOVERED	STATE STANDARDS W/ DENSITY BONUS LAWS
	TOTAL	48 STALLS	48 STALLS		

UNIT SUMMARY								
PLAN	DESCRIPTION	QUANTITY	NET AREA (SF)	TOTAL NET AREA (SF)	GROSS AREA (SF)	TOTAL GROSS AREA (SF)	PRIVATE DECK (SF)	GARAGE GROSS AREA (PRVD)
A	2 BED / 2 BATH	4	1,112 - 1,200	4,624	1,197 - 1,276	4,946	90 - 115	400 S.F.
A alt	2 BED / 2 BATH	2	918	1,836	1,000	2,000	95	400 S.F.
B	2 BED / 2 BATH	4	1,100 - 1,206	4,612	1,175 - 1,288	4,926	80 - 90	400 S.F.
B alt	2 BED / 2 BATH	2	1,015	2,030	1,111	2,222	90	400 S.F.
C	3 BED / 2 BATH	8	1,305 - 1,375	10,720	1,390 - 1,454	11,376	90 - 115	400 S.F. - 435 S.F.
D	3 BED / 2 BATH	4	1,418 - 1,481	5,798	1,525 - 1,588	6,226	90 - 120	435 S.F. - 494 S.F.
TOTAL		24		29,620		31,696	2,360	400 S.F. MIN. GROSS REQ'D*

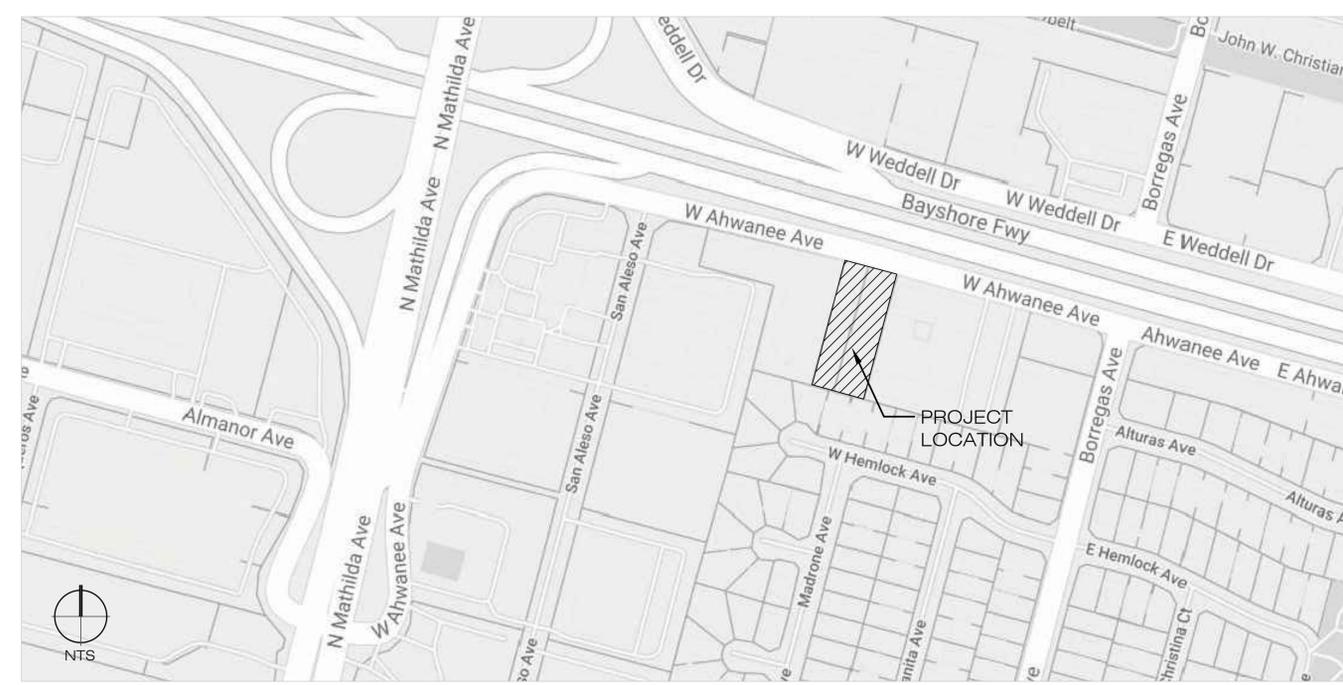
BUILDING SUMMARY		
PLAN	DESCRIPTION	GROSS AREA (SF)
1ST LEVEL	GARAGE, LOBBY & TRASH	12,950
2ND LEVEL	DWELLING UNITS & DECKS	14,093
3RD LEVEL	DWELLING UNITS	13,351
4TH LEVEL	DWELLING UNITS	12,592
TOTAL		52,986

TRASH SUMMARY			
	REQUIRED	PROVIDED	NOTES
MULTI-FAMILY UNITS	FOR EVERY 10 UNITS : 1 (3 CYD) GARBAGE 2 (96 GAL.) RECYCLING -MAXIMUM OF 3 SERVICE DAYS PER WEEK	2 (3 CYD) GARBAGE CONTAINER 2 (96 GAL.) RECYCLING CART -SERVICED THREE TIMES A WEEK 2 (35 GAL.) FOR ORGANICS -SERVICED TWICE A WEEK	CITY OF SUNNYVALE DESIGN GUIDELINES - FOR SOLID WASTE AND RECYC. FACILITIES TABLE A

OPENSACE / AMMENITY SUMMARY

	REQUIRED	PROPOSED	NOTES	
LANDSCAPED AREA	375 S.F. / DU (375 S.F. x 24 DU = 9,000 S.F.)	9,100 S.F. / DU (379 S.F. / DU) 2,890 S.F. HARDSCAPE	CITY OF SUNNYVALE CALIFORNIA - LANDSCAPING REQUIREMENTS	
		2,890 SF / 9,100 SF = 31.75% HARDSCAPE	*UP TO 30% HARDSCAPE ALLOWED	
USABLE OPEN SPACE	*380 S.F. / DU		CITY OF SUNNYVALE CALIFORNIA - LANDSCAPING REQUIREMENTS	
COMMON OPEN SPACE	300 S.F. / DU (300 S.F. x 24 = 7,200 S.F.)	7,980 S.F. 2,090 S.F. @ GROUND 5,890 S.F. @ ROOF	*300 S.F. TO BE COMMON OPEN SPACE / 80 S.F. TO BE PRIVATE OPEN SPACE	
	PRIVATE OPEN SPACE	80 S.F. / DU (80 S.F. x 24 = 1,920 S.F.)		0 S.F. = 0 S.F. / DU SEE EXHIBITS FOR CLARIFICATION
	TOTAL	(380 S.F. x 24 = 9,120 S.F.)		7,980 S.F. = 332 SF / DU

VICINITY MAP



SHEET INDEX

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02 CALGREEN & BIG	C3.0 PRELIMINARY GRADING & DRAINAGE PLAN
03 SITE PLAN	C4.0 PRELIMINARY UTILITY PLAN
04 BUILDING PLANS	C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN
05 FIRE DEPARTMENT ACCESS	C6.0 FIRE HYDRANT EXHIBIT
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LANDSCAPE

L1	GROUND AND ROOF LEVEL - PRELIMINARY LANDSCAPE PLAN
L2	HYDROZONE PLAN - PRELIMINARY LANDSCAPE PLAN
L3	PRECEDENT IMAGES - PRELIMINARY LANDSCAPE PLAN

PROJECT SUMMARY



PARKING SUMMARY

		REQUIRED		PROVIDED		NOTES
GUEST & RESIDENTS	2-3 BEDROOM	2 CAR / DU	48 STALLS	48 STALLS	38 ASSIGNED / COVERED 10 UNASSIGNED / UNCOVERED	STATE STANDARDS W/ DENSITY BONUS LAWS
	TOTAL		48 STALLS	48 STALLS		

CAL GREEN GENERAL NOTES:

4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

LEGEND

- 1 PERIMETER WALL (TO BE DESIGNED W/ INPUT FROM NEIGHBORS)
- 2 PROPERTY LINE
- 3 ELEVATOR
- 4 EXIT STAIR
- 9 MAILBOXES
- 10 4'-0" WALKWAY
- 11 LANDSCAPE
- 12 GUEST PARKING
- 13 LINE OF UNIT ABOVE
- 14 GAS METER LOCATION
- 15 TRANSFORMER
- 20 FIRE HYDRANT TYP.
- 21 VISION TRIANGLE
- 22 WATER RETENTION BASIN
- 23 STORM WATER DRAINAGE PLANTER
- 24 LOADING AREA

COLOR LEGEND

- GARAGE / COVERED PARKING
- LOBBY
- VERTICAL CIRCULATION
- ELECTRICAL / EQUIPMENT
- TRASH / RECYCLING
- UNCOVERED PARKING
- PEDESTRIAN CIRCULATION / PATH OF TRAVEL
- VEHICULAR CIRCULATION / PATH OF TRAVEL

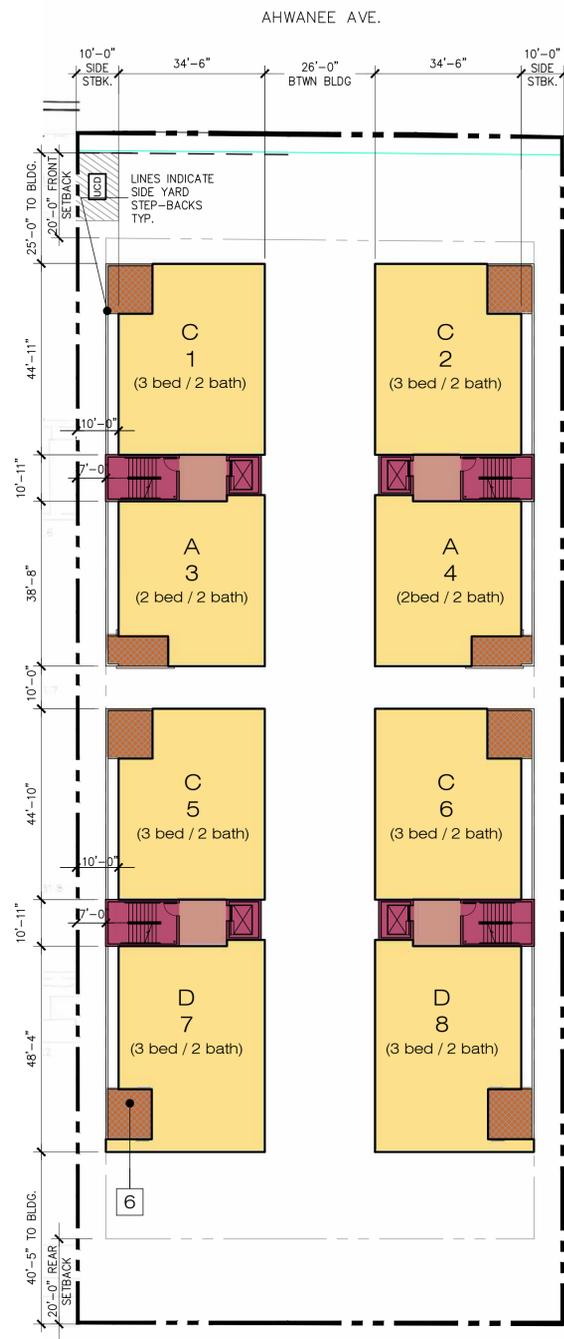
SUNNYVALE 24



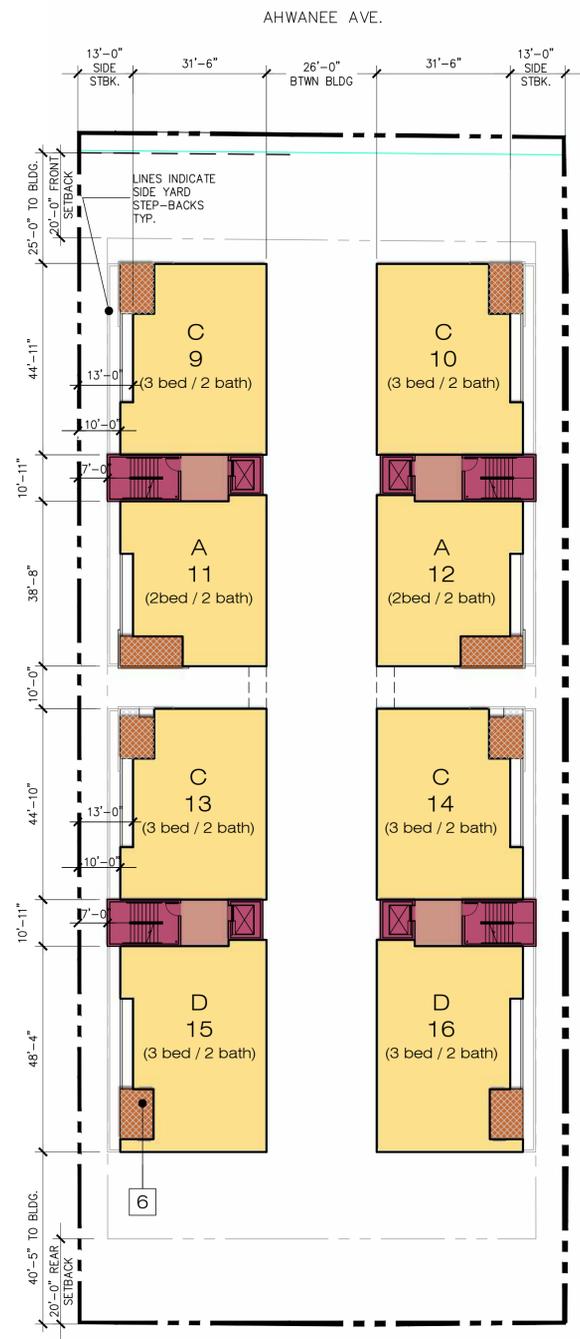
SITE PLAN

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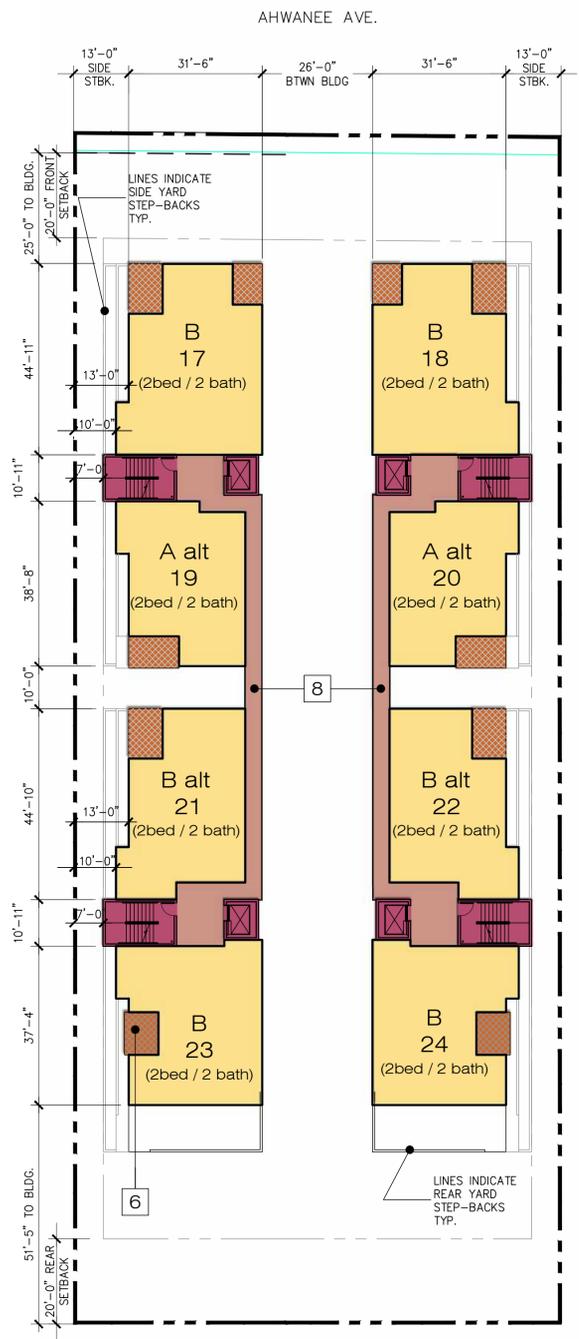
AHWANNEE AVE.



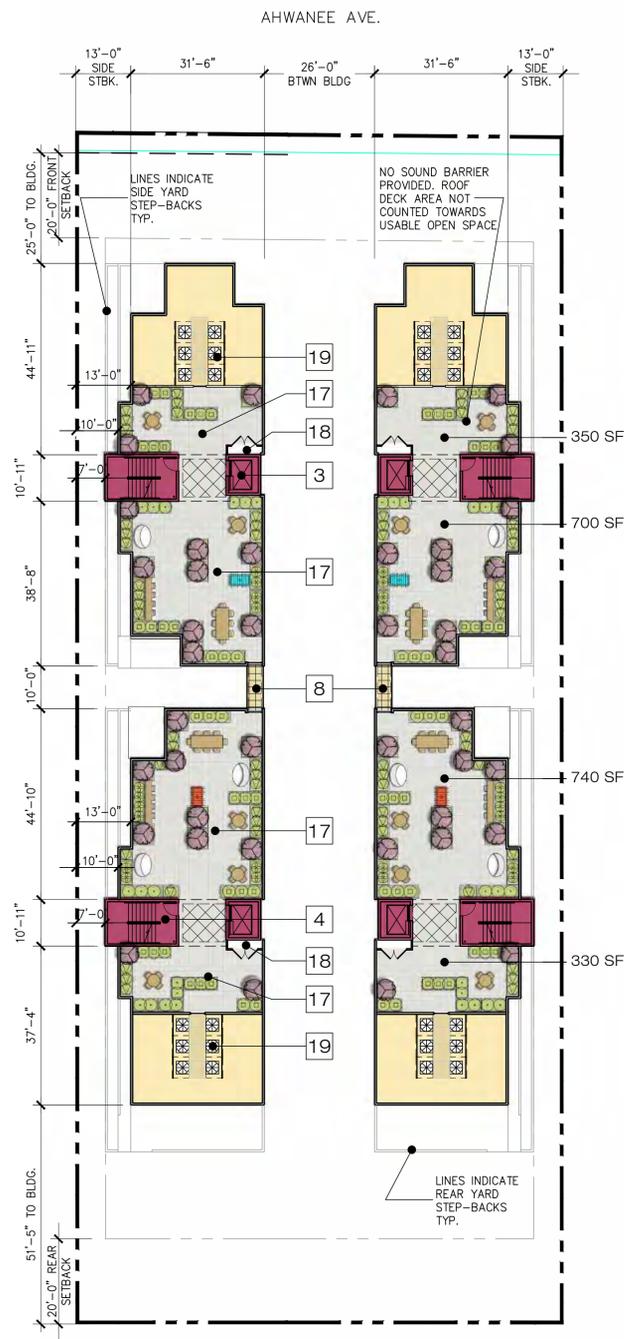
2ND LEVEL BUILDING PLAN
8 UNITS



3RD LEVEL BUILDING PLAN
8 UNITS



4TH LEVEL BUILDING PLAN
8 UNITS



ROOF BUILDING PLAN

LEGEND

1 PERIMETER WALL (TO BE DESIGNED W/ INPUT FROM NEIGHBORS)	5 LOBBY	17 ROOF DECK
2 PROPERTY LINE	6 TYP. MIN. 80 S.F. PRIVATE DECK	18 ELEVATOR ROOM
3 ELEVATOR	8 EXIT BALCONY	19 MECH. EQUIP. AREA
4 EXIT STAIR	13 LINE OF UNIT ABOVE	

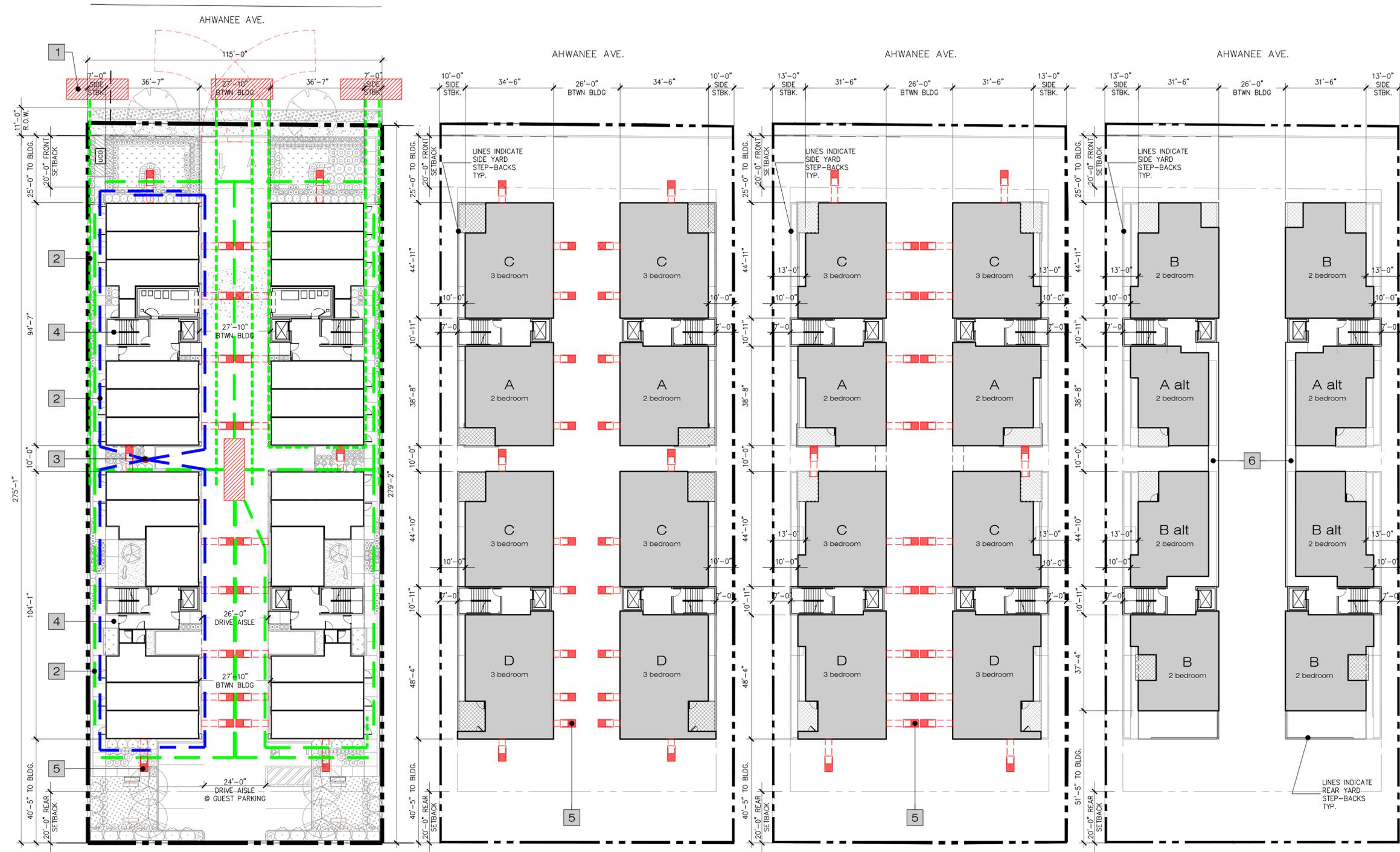
BUILDING PLANS
24 UNITS

SUNNYVALE 24

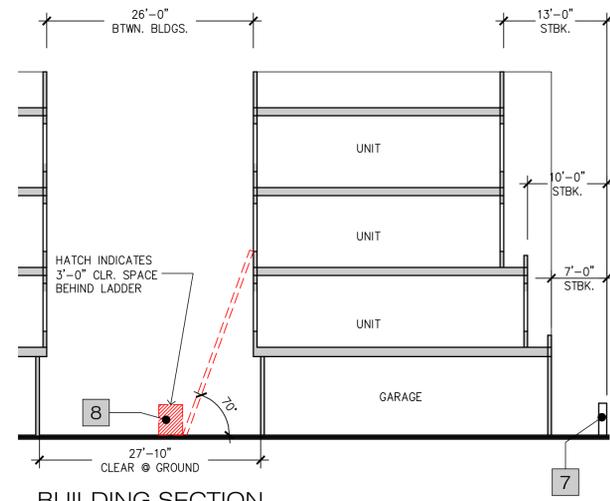


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SD
03



- FIRE DEPARTMENT GENERAL NOTES:**
- Each residence shall be protected throughout with an approved automatic sprinkler system designed and installed in accordance with NFPA (CFC/SMC 903).
 - A fire alarm system may be required. (CFC/SMC 907)
 - The parking structure shall be equipped throughout with an approved automatic sprinkler system and standpipe system.
 - All buildings shall have approved radio coverage for emergency responders in accordance with Section 510 of the California Fire Code and local standards. Radio retransmission equipment may be required in areas lacking sufficient coverage. Refer to SMC 16.52.230, Emergency Responder radio coverage and CFC Appendix J for additional details. (SMC 510.1)
 - Wherever a new structure obstructs the line of sight emergency radio communications to existing buildings or to any other locations, the developer of the structure is required to provide and install radio retransmission equipment necessary to restore communication capabilities. Such equipment shall be located in an approved space or area within the new structure. (SMC 510.1.1)
 - Comply with CBC 1007.8 Two-way communication system.
 - Comply with SMC 505.3 and provide site directory.
 - Comply with CFC 906.1 for fire extinguisher in unit.
 - Comply with CBC 1007.2.1 Elevators required.
 - Trash enclosures, within 5 feet of building exterior walls or overhangs require fire sprinkler protection.
 - Knock boxes (key boxes) will be required in accordance with Sunnyvale Fire Prevention guidelines.
 - Prior to any combustible construction or materials on site, provide fire access drives and operational on-site fire protection systems.
 - Required means of egress during construction. Each level above the first story in new multi-story buildings that require two exit stairways shall be provided with at least two usable exit stairways after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls and windows are in place. Exception: In new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purpose of stairway construction (i.e. installation of gypsum board, painting, flooring, etc.). [SMC 1411.1]



1ST LEVEL BUILDING PLAN

2ND LEVEL BUILDING PLAN
8 UNITS

3RD LEVEL BUILDING PLAN
8 UNITS

4TH LEVEL BUILDING PLAN
8 UNITS

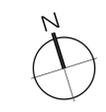
BUILDING SECTION
SCALE: 3/32" = 1'-0"

- LEGEND**
- | | | |
|------------------------------------|---|--------------------------------|
| 1 FIRE TRUCK TYP. | 5 TYP. 3x6' LADDER PAD | FIRE HYDRANT HOSE PULL |
| 2 150'-0" HOSE PULL | 6 EXIT BALCONY | FIRE TRUCK HOSE PULL |
| 3 FIRE HYDRANT | 7 PERIMETER WALL (TO BE DESIGNED W/ INPUT FROM NEIGHBORS) | FIRE DEPARTMENT TURNING RADIUS |
| 4 EXIT STAIR W/ WET STANDPIPE TYP. | 8 3'-0" MIN. CLEARANCE BEHIND LADDER TYP. | |

NOTE:
BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE APPROVED EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (RESCUE WINDOW) IN ACCORDANCE WITH CFC SECTION 1029 AS AMENDED BY SMC.

FIRE DEPARTMENT ACCESS

SUNNYVALE 24



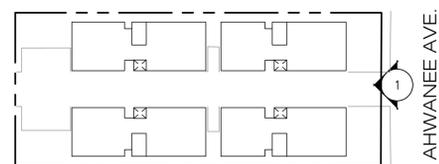
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FRONT (AHWANEE AVE) ELEVATION

LEGEND

- | | |
|---|-----------------|
| 1 PERIMETER WALL
(TO BE DESIGNED W/
INPUT FROM NEIGHBORS) | 6 GUARDRAIL |
| 2 STONE VENEER | 7 VINYL WINDOW |
| 3 STUCCO | 8 STOREFRONT |
| 4 SIDING | 9 GARAGE DOOR |
| 5 METAL CANOPY | 10 ROLL-UP DOOR |



SUNNYVALE 24

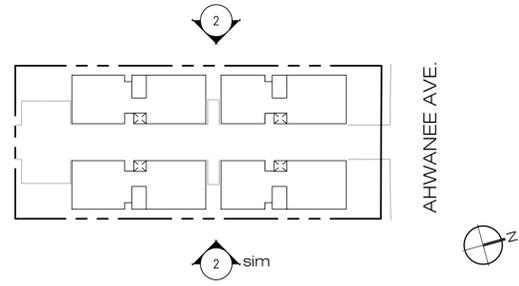
scale: 1" = 8'-0"





SIDE ELEVATION

- LEGEND**
- | | |
|---|-----------------|
| 1 PERIMETER WALL
(TO BE DESIGNED W/
INPUT FROM NEIGHBORS) | 6 GUARDRAIL |
| 2 STONE VENEER | 7 VINYL WINDOW |
| 3 STUCCO | 8 STOREFRONT |
| 4 SIDING | 9 GARAGE DOOR |
| 5 METAL CANOPY | 10 ROLL-UP DOOR |



SUNNYVALE 24



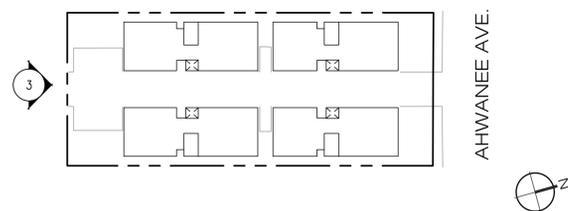
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REAR ELEVATION

LEGEND

- | | |
|---|-----------------|
| 1 PERIMETER WALL
(TO BE DESIGNED W/
INPUT FROM NEIGHBORS) | 6 GUARDRAIL |
| 2 STONE VENEER | 7 VINYL WINDOW |
| 3 STUCCO | 8 STOREFRONT |
| 4 SIDING | 9 GARAGE DOOR |
| 5 METAL CANOPY | 10 ROLL-UP DOOR |



SUNNYVALE 24

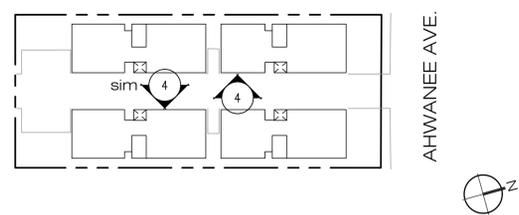
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GARAGE ELEVATION

- LEGEND**
- | | |
|---|-----------------|
| 1 PERIMETER WALL
(TO BE DESIGNED W/
INPUT FROM NEIGHBORS) | 6 GUARDRAIL |
| 2 STONE VENEER | 7 VINYL WINDOW |
| 3 STUCCO | 8 STOREFRONT |
| 4 SIDING | 9 GARAGE DOOR |
| 5 METAL CANOPY | 10 ROLL-UP DOOR |



SUNNYVALE 24



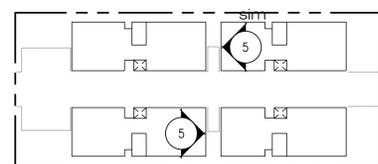
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INTERIOR ELEVATION

LEGEND

- | | |
|---|-----------------|
| 1 PERIMETER WALL
(TO BE DESIGNED W/
INPUT FROM NEIGHBORS) | 6 GUARDRAIL |
| 2 STONE VENEER | 7 VINYL WINDOW |
| 3 STUCCO | 8 STOREFRONT |
| 4 SIDING | 9 GARAGE DOOR |
| 5 METAL CANOPY | 10 ROLL-UP DOOR |



AHWANEE AVE.



SUNNYVALE 24

scale: 1" = 8'-0"





1 COMPOSITE SHIPLAP SIDING



2 STONE VENEER
*SIZING VARIES BASED ON MANUFACTURER MIX



3 STUCCO
20-30 FINE SAND FLOAT



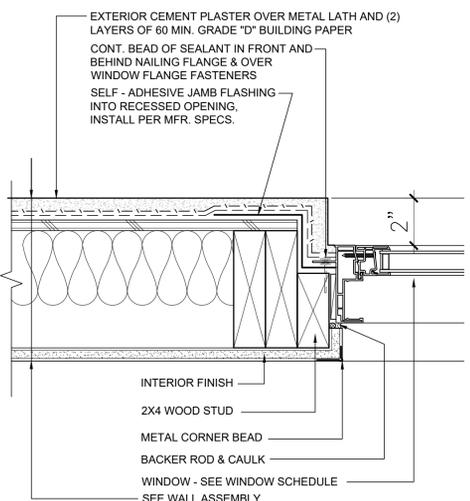
4 GARAGE ROLL UP DOOR



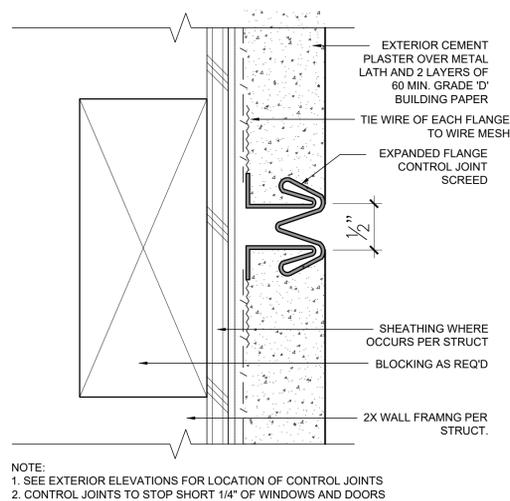
5 RAILING



6 MILGARD VINYL WINDOW
BEDROOM WINDOWS TO BE STC 36-39
OTHER LIVEABLE AREA WINDOWS TO BE
STC 33-36 TO MEET NOISE STANDARD
44DD OR LOWER.



TYPICAL SEMI-RECESSED WINDOW JAMB
SCALE: 3/8"=1'-0"



NOTE:
1. SEE EXTERIOR ELEVATIONS FOR LOCATION OF CONTROL JOINTS
2. CONTROL JOINTS TO STOP SHORT 1/4" OF WINDOWS AND DOORS
STUCCO CONTROL JOINT (VERTICAL/HORIZONTAL)
SCALE: 1"=1'



7 TRASH ROLL UP DOOR
PAINT TO MATCH GARAGE DOORS



8 ROOF SHINGLES



9 EXTERIOR DOOR



10 METAL CANOPY

MATERIAL BOARD

SUNNYVALE 24



PLAN A
2 BEDROOM + 2 BATH
GROSS AREA: 1,197 S.F.
NET AREA: 1,112 S.F.
DECK AREA: 90 S.F.



PLAN B
2 BEDROOM + 2 BATH
GROSS AREA: 1,288 S.F.
NET AREA: 1,206 S.F.
DECK AREA: 90 S.F.

CAL GREEN GENERAL NOTES:

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.

4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93.20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

NOTE: TYPICAL UNIT CEILING HEIGHTS @ 9'-0"

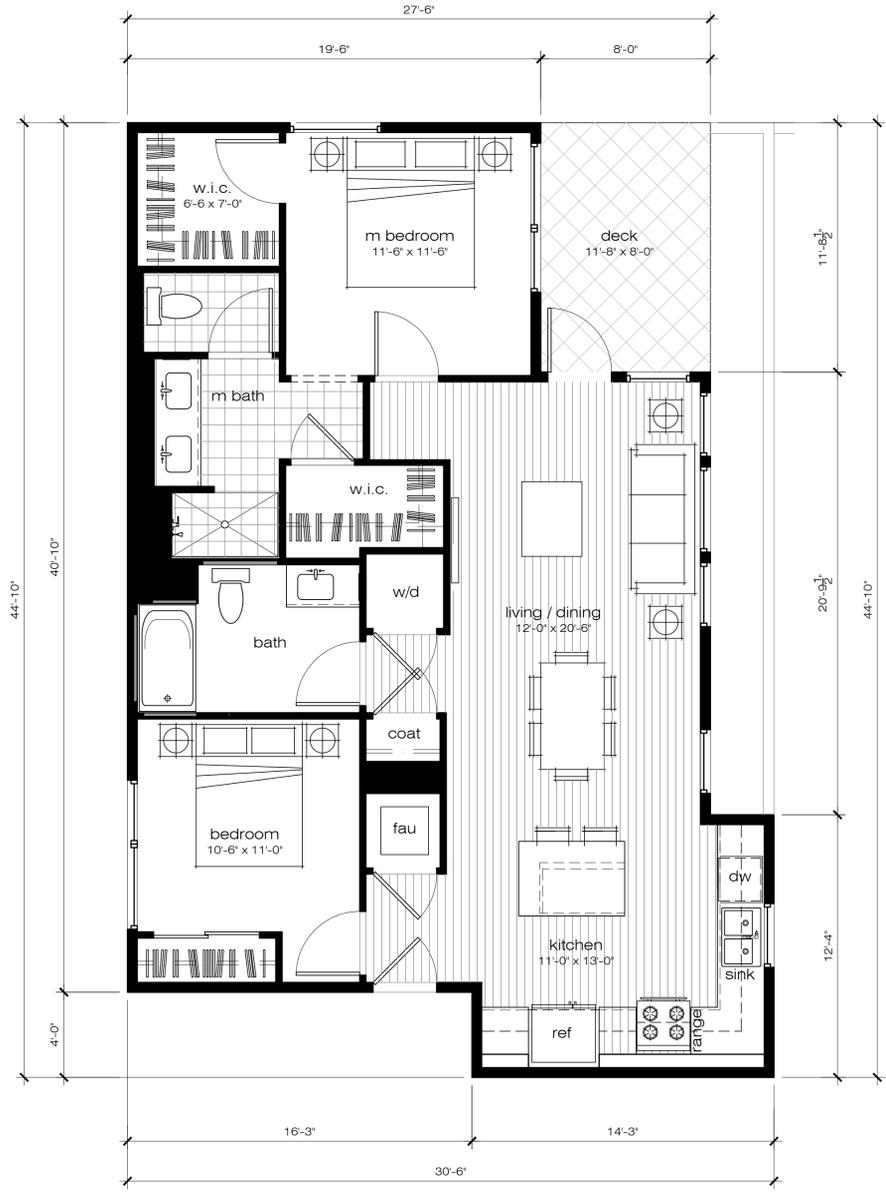
UNIT PLANS

SUNNYVALE 24





PLAN A alt
2 BEDROOM + 2 BATH
GROSS AREA: 1,000 S.F.
NET AREA: 918 S.F.
DECK AREA: 80 S.F.



PLAN B alt
2 BEDROOM + 2 BATH
GROSS AREA: 1,111 S.F.
NET AREA: 1,015 S.F.
DECK AREA: 90 S.F.

CAL GREEN GENERAL NOTES:

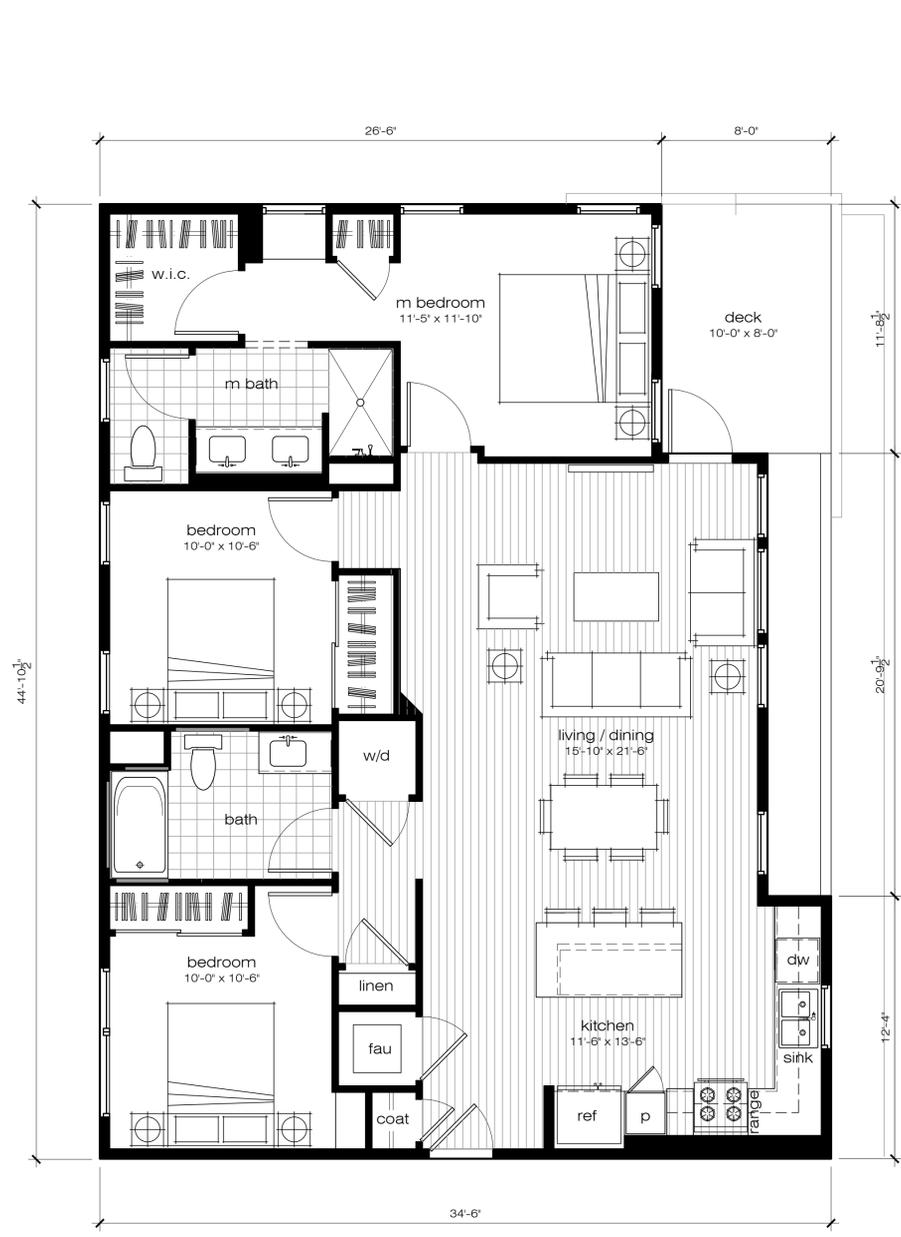
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 - 3.NSFI ANSI 140 at the Gold level.
 - 4.Scientific Certifications Systems Indoor Advantage™ Gold.
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 - 1.Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 - 2.Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
 - 3.Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - 4.Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
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NOTE: TYPICAL UNIT CEILING HEIGHTS @ 9'-0"

UNIT PLANS

SUNNYVALE 24





PLAN C
3 BEDROOM + 2 BATH
GROSS AREA: 1,390 S.F.
NET AREA: 1,305 S.F.
DECK AREA: 80 S.F.



PLAN D
3 BEDROOM + 2 BATH
GROSS AREA: 1,525 S.F.
NET AREA: 1,418 S.F.
DECK AREA: 90 S.F.

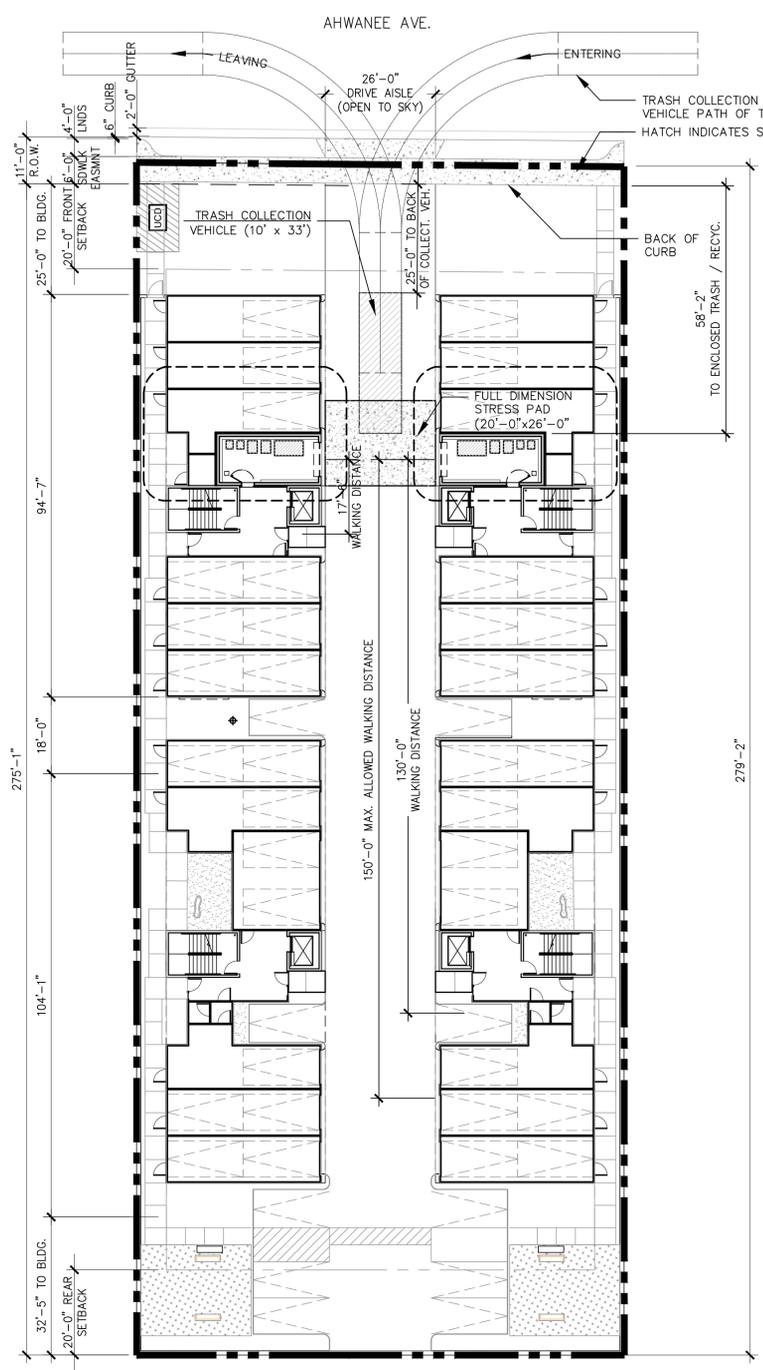
CAL GREEN GENERAL NOTES:

- 4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.
- 4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.
- 4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:
 1. Carpet and Rug Institute's Green Label Plus Program.
 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
 3. NSF/ANSI 140 at the Gold level.
 4. Scientific Certifications Systems Indoor Advantage™ Gold.
- 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.
- 4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:
 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
- 4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

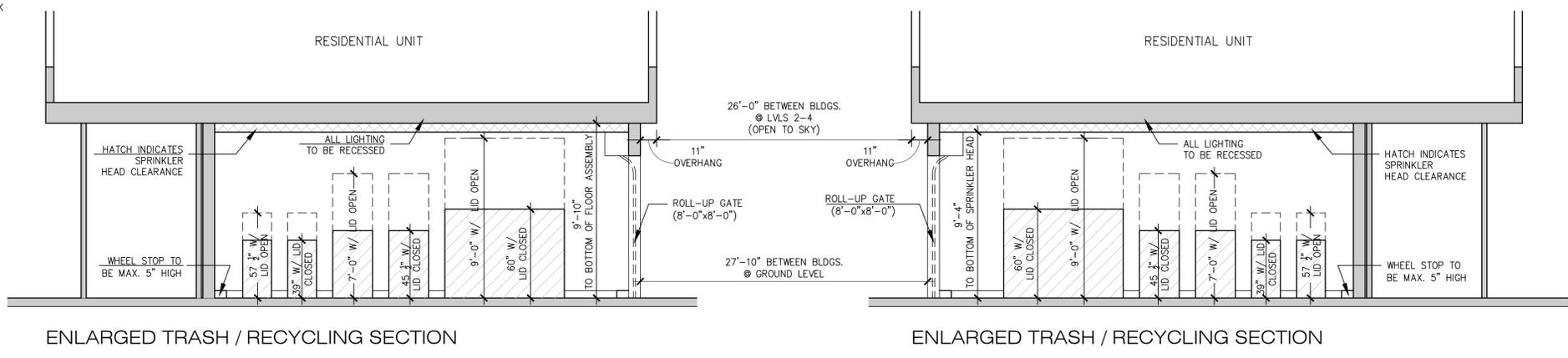
NOTE: TYPICAL UNIT CEILING HEIGHTS @ 9'-0"

SUNNYVALE 24

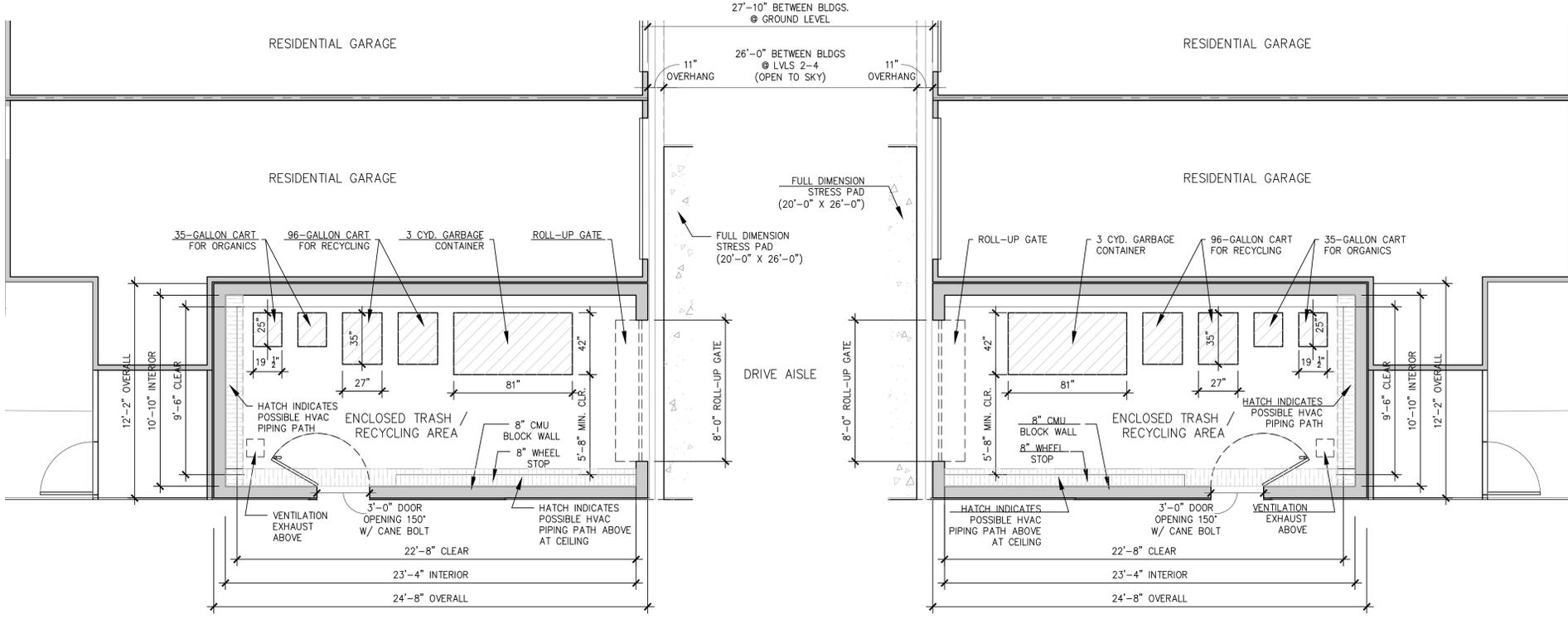




1ST LEVEL BUILDING REFERENCE PLAN
SCALE: 1" = 20'-0"



ENLARGED TRASH / RECYCLING SECTION



ENLARGED TRASH / RECYCLING ENCLOSURE



DEC. 21 - 9 am
 TOTAL ROOF: 17,000 S.F.
 SHADED ROOF AREA: 1,650 S.F.
 COVERAGE PERCENTAGE: 10%



DEC. 21 - 3 pm
 TOTAL ROOF: 31,175 S.F.
 SHADED ROOF AREA: 1,950 S.F.
 COVERAGE PERCENTAGE: 6%

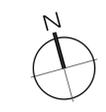
ADDITIONAL INFORMATION

SOFTWARE: SKETCHUP PRO

STEPS FOR SHADOW STUDIES:

1. INPUT PROJECT ADDRESS USING SKETCHUP GEOLOCATION* TOOL
2. PLACE MODEL AND ORIENT BASED ON MAP PROVIDED BY GEOLOCATION
3. INPUT DESIRED DATES AND TIMES

*GEOLOCATION PROVIDES EXACT ORIENTATION BASED ON ADDRESS PROVIDED. SUN ANGLE AND ORIENTATION ARE THEREFORE THE CLOSEST APPROXIMATION TO THE REAL WORLD BASED ON DATE AND TIME REQUESTED.





1ST LEVEL - COMMON OPEN SPACE
2,090 SF USABLE OPEN SPACE PROVIDED

ROOF PLAN - COMMON OPEN SPACE
5,890 SF USABLE OPEN SPACE PROVIDED

1ST LEVEL - LANDSCAPED AREA
9,100 SF LANDSCAPE AREA
2,890 SF HARDSCAPE AREA

1ST LEVEL - PATH OF TRAVEL

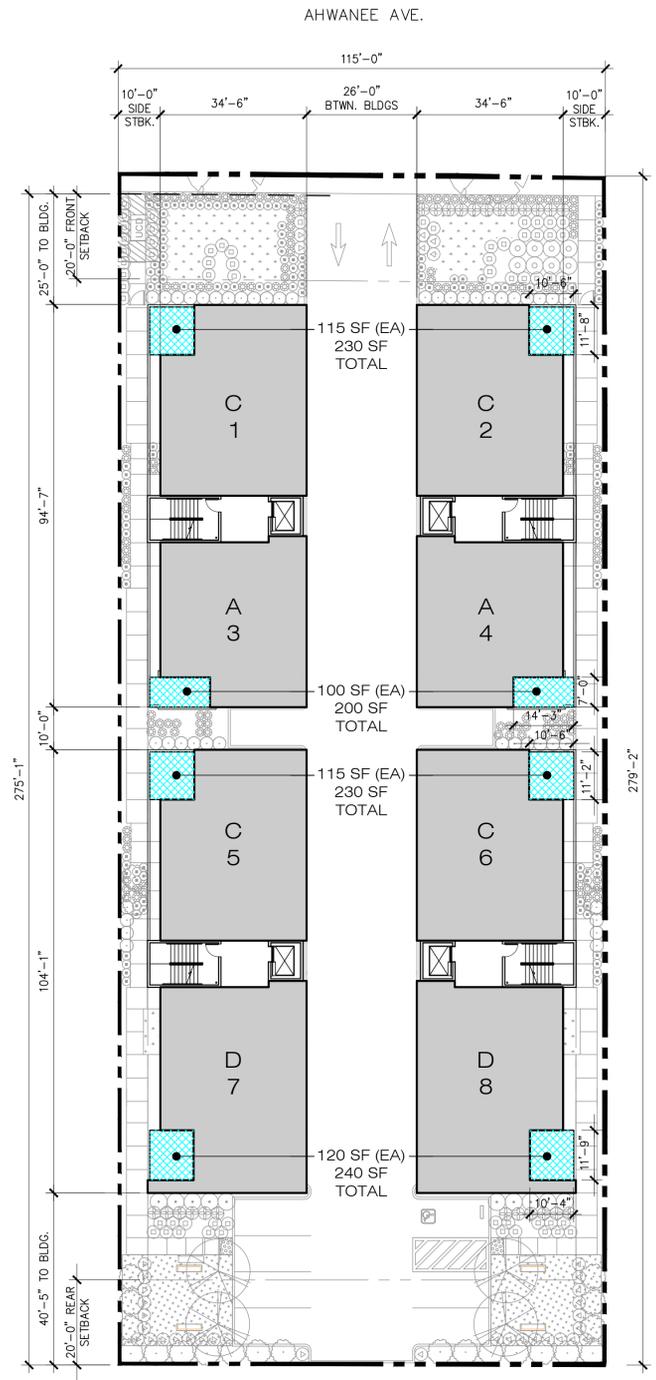
LEGEND

- COMMON OPEN SPACE
TOTAL PROVIDED: 7,980 SF (300 SF/DU = 7,200 SF REQUIRED)
*MEETS 12x12' MIN. & 200 SF MIN.
- LANDSCAPED AREA
TOTAL PROVIDED: 9,100 SF (9,000 SF REQUIRED)
- HARDSCAPE WITHIN LANDSCAPED AREA
TOTAL HARDSCAPE: 2,890 SF (2,890 SF / 9,100 SF = 31.75%)
*MAX. 30% HARDSCAPE ALLOWED
- GUEST & ADA PATH OF TRAVEL
- MAIN ENTRY FROM DRIVE AISLE

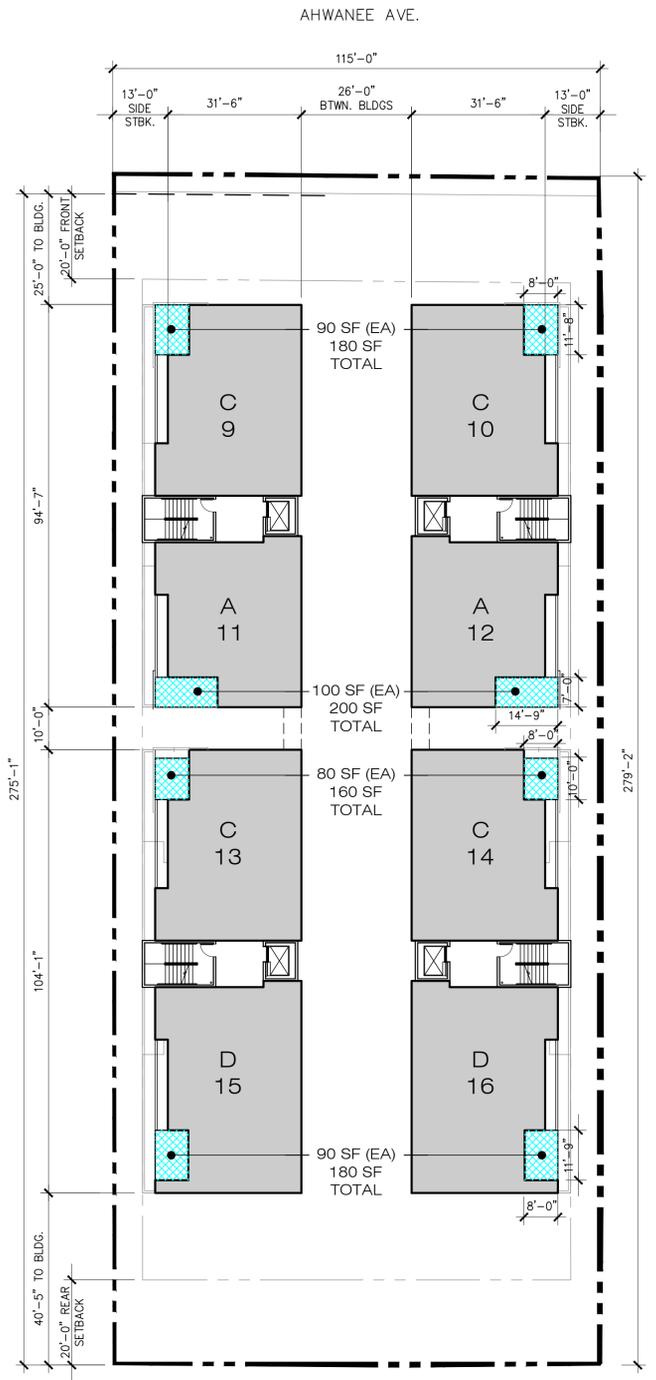
EXHIBITS

SUNNYVALE 24

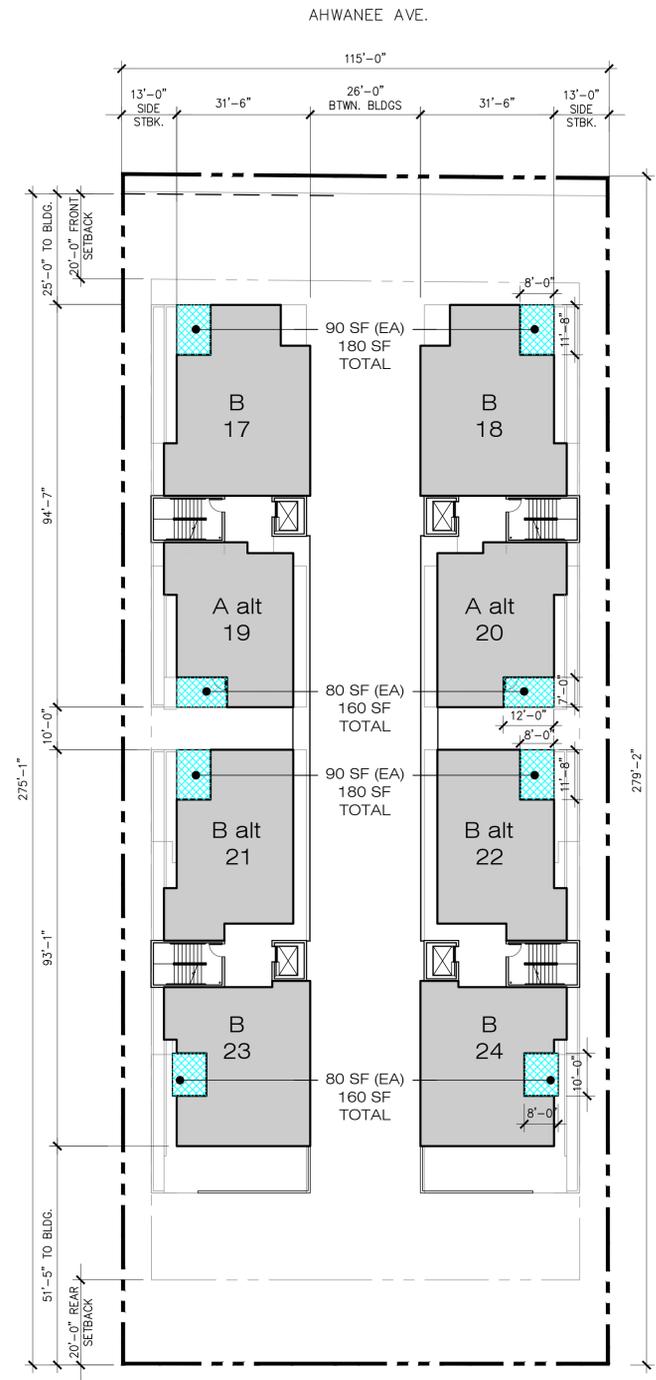




2ND LEVEL - PRIVATE OPEN SPACE
900 SF PRIVATE OPEN SPACE PROVIDED



3RD LEVEL - PRIVATE OPEN SPACE
720 SF PRIVATE OPEN SPACE PROVIDED



4TH LEVEL - PRIVATE OPEN SPACE
680 SF PRIVATE OPEN SPACE PROVIDED

LEGEND

- COMMON OPEN SPACE (SEE SD-16 FOR EXHIBIT)
TOTAL PROVIDED: 7,980 SF (300 SF/DU = 7,200 SF REQUIRED)
*MEETS 12x12' MIN. & 200 SF MIN.
- PRIVATE OPEN SPACE (NOT COUNTED TOWARDS USABLE OPEN SPACE)
TOTAL PROVIDED: 2,300 SF (80 SF/DU = 1,920 SF REQUIRED)
*MEETS 7x7' MIN. & 80 SF MIN.

TOTAL USABLE OPEN SPACE REQUIRED: 9,120 SF = 380 SF/DU
TOTAL USABLE OPEN SPACE PROVIDED: 7,980 SF = 332 SF/DU

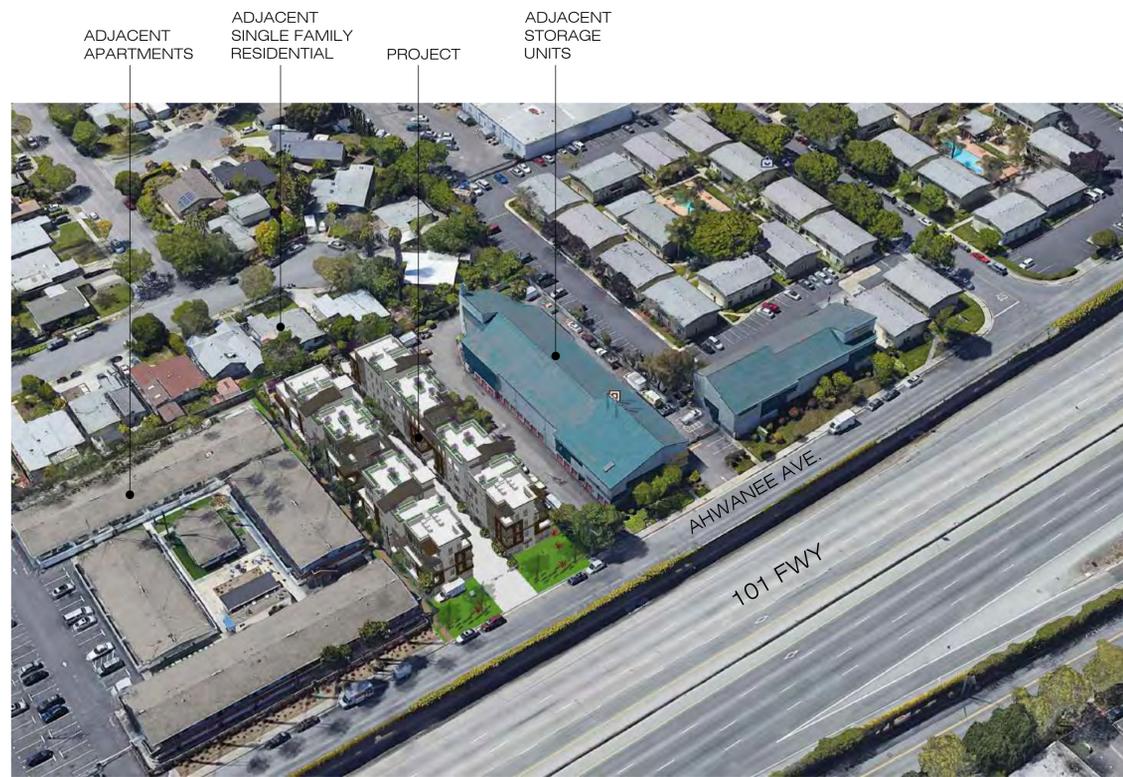
SUNNYVALE 24



PRIVATE OPEN SPACE EXHIBIT
NOTE: DUE TO HAVING NO SOUND MITIGATION, PRIVATE DECKS (PRIVATE OPEN SPACE) DO NOT MEET CITY'S NOISE STANDARDS. PRIVATE DECKS ARE NOT COUNTED TOWARDS "USABLE OPEN SPACE"



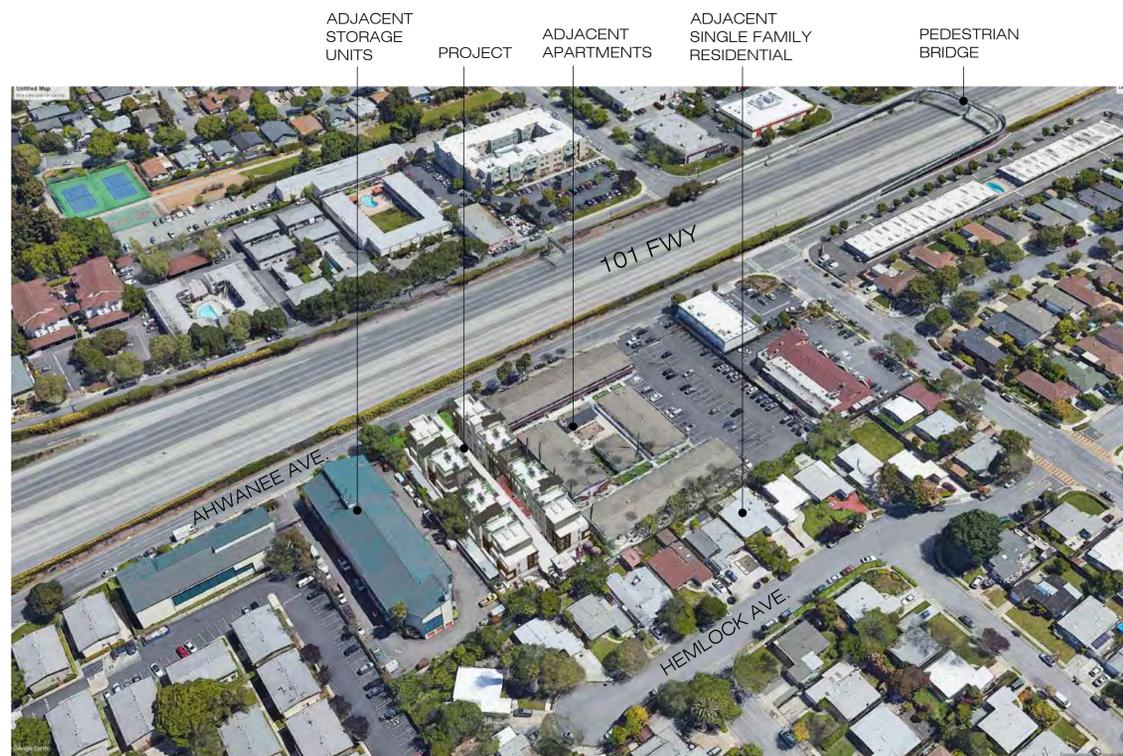
AERIAL 1



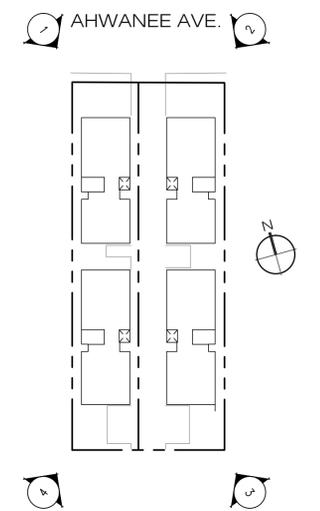
AERIAL 2



AERIAL 3



AERIAL 4



AERIAL VIEWS

SUNNYVALE 24



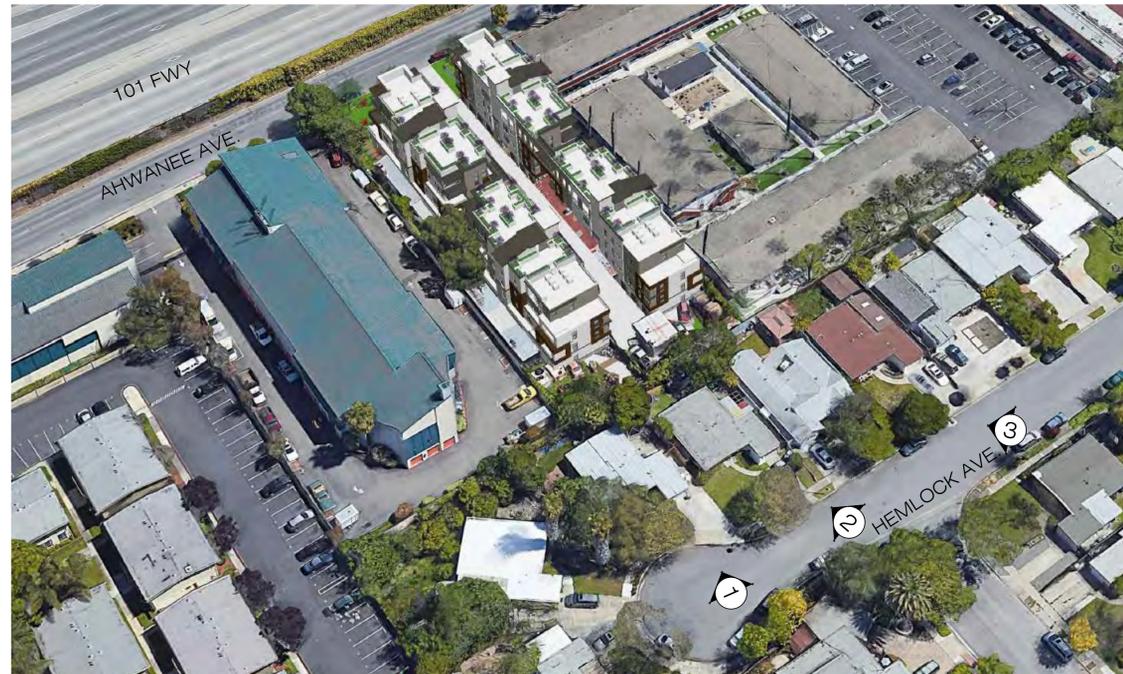
VIEW 1



VIEW 2



VIEW 3

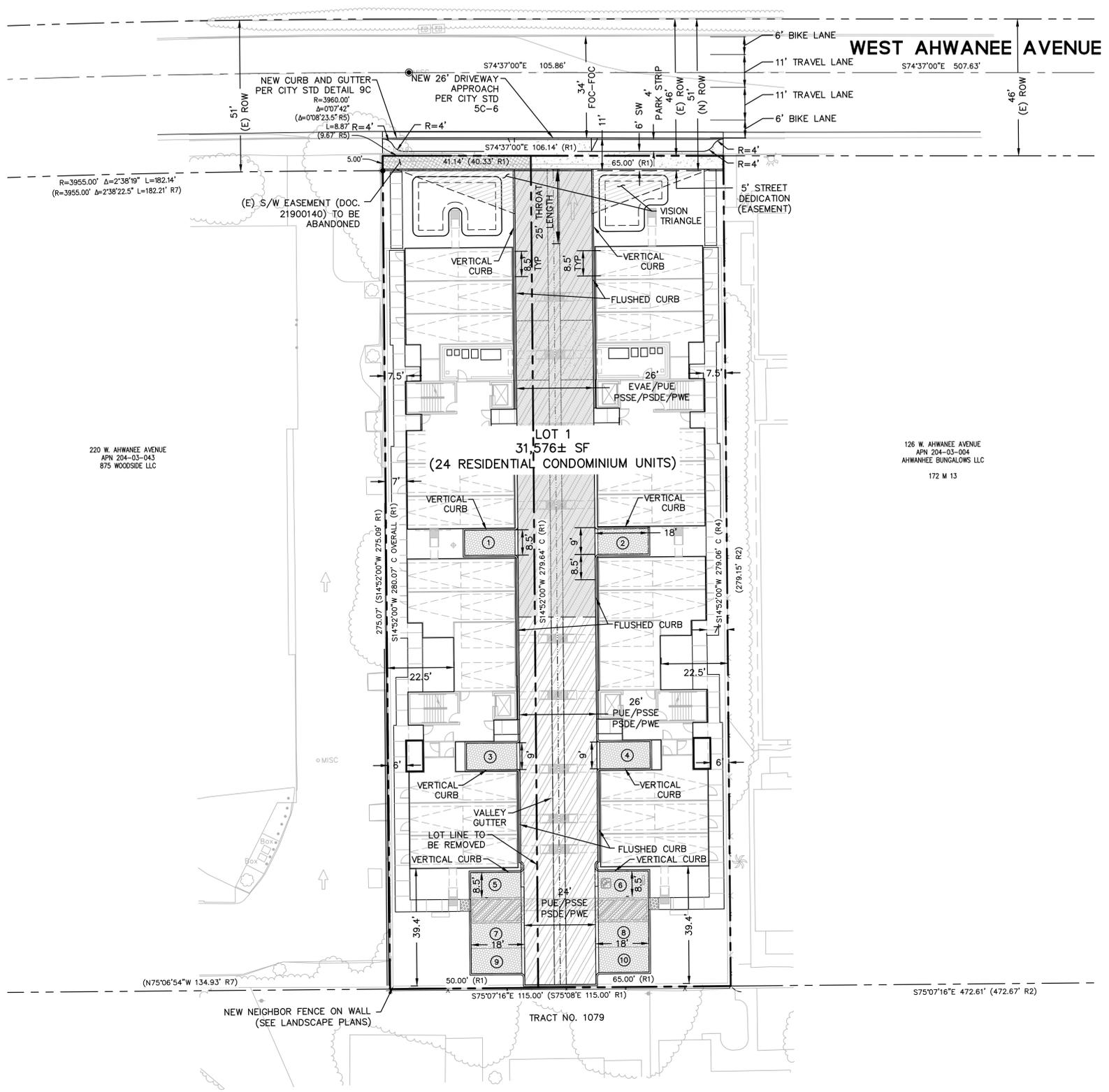


REFERENCE PLAN

RESIDENTIAL VIEWS

SUNNYVALE 24





LEGEND

	PROPOSED	EXISTING
PROJECT BOUNDARY	---	---
EASEMENT LINE	---	---
STREET CENTERLINE	---	---
FLUSHED CURB	---	---
CURB AND GUTTER	---	---
ROLLED CURB AND GUTTER	---	---
VISION TRIANGLE AREA	---	---
SLURRY SEAL COAT	---	---
PERVIOUS CONCRETE	---	---
EVAE	---	---
PUE, PSSE, PSDE, PWE	---	---

ABBREVIATIONS

C&G	= CURB & GUTTER
CSV	= CITY OF SUNNYVALE
(E)	= EXISTING
ESMT	= EASEMENT
EVAE	= EMERGENCY VEHICLE ACCESS EASEMENT
PG&E	= PACIFIC GAS & ELECTRIC COMPANY
DET	= DETAIL
DWY	= DRIVEWAY
LS	= LANDSCAPE STRIP
(N)	= NEW
PGE	= PACIFIC GAS & ELECTRIC EASEMENT
PUE	= PUBLIC UTILITY EASEMENT
PSDE	= PRIVATE STORM DRAIN EASEMENT
PSSE	= PRIVATE SANITARY SEWER EASEMENT
PWE	= PRIVATE WATER EASEMENT
ROW	= RIGHT OF WAY
STD	= STANDARD
STDE	= STREET DEDICATION EASEMENT
SW	= SIDEWALK
TYP	= TYPICAL

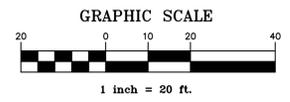
PROJECT DATA

1. OWNER:	TAPTI, LLC
2. DEVELOPER:	TAPTI, LLC 1481 PERALTA BOULEVARD FREMONT, CA 94536 CONTACT: KISHORE POLAKALA (408) 420-2268
3. CIVIL ENGINEER:	BKF ENGINEERS 1730 N. FIRST STREET, SUITE 600 SAN JOSE, CA 95110 CONTACT: PATRICK CHAN (408) 467-9100
4. PROPERTY:	PARCEL A AS SHOWN ON A PARCEL MAP FILED FEBRUARY 15, 1985 IN BOOK 539 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.
5. ASSESSORS PARCEL NO.	204-03-003, 204-03-002
6. GENERAL PLAN	DOWNTOWN SPECIFIC PLAN
7. EXISTING ZONING:	DOWNTOWN SPECIFIC PLAN
8. PROPOSED ZONING:	DOWNTOWN SPECIFIC PLAN
9. EXISTING USE:	HIGH-DENSITY RESIDENTIAL
10. PROPOSED USE:	HIGH-DENSITY RESIDENTIAL
11. GROSS AREA:	0.74± ACRES
12. NET AREA:	0.72± ACRES
13. NUMBER OF UNITS:	24
14. NUMBER OF LOTS:	1 LOT (PROPOSED)
15. UTILITIES:	
A. WATER:	CITY OF SUNNYVALE PRIVATE STREETS: HOMEOWNER'S ASSOCIATION
B. SANITARY SEWER:	CITY OF SUNNYVALE PRIVATE STREETS: HOMEOWNER'S ASSOCIATION
C. STORM DRAIN:	CITY OF SUNNYVALE PRIVATE STREETS: HOMEOWNER'S ASSOCIATION
D. GAS/ELECTRIC:	PACIFIC GAS & ELECTRIC
E. TELEPHONE:	AT&T
F. CABLE TV:	COMCAST
16. BENCHMARK	CITY OF SUNNYVALE BENCHMARK NO. 58; BRASS DISK IN TOP OF CURB NEXT TO CATCH BASIN ON WEST SIDE OF MORSE AVENUE AT INTERSECTION OF MORSE AVENUE AND GLENDALE AVENUE. ELEVATION=30.946 FEET (NAVD 88)
17. BASIS OF BEARINGS:	THE BEARING NORTH 14°52'00" EAST OF THE CENTERLINE OF BORREGAS AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN BOOK 172 OF MAPS AT PAGE 13, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.
18. FLOOD ZONE:	THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06085C0045H, DATED MAY 18, 2009.
19. NET LOT SIZE:	LOT 1 = 31,576 SF (0.72 AC)

GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 0.72 ACRES AND ARE PROPOSED FOR A ONE-LOT SUBDIVISION TO BE FURTHER DIVIDED INTO 24 RESIDENTIAL CONDOMINIUM UNITS VIA A SEPARATE INSTRUMENT.
- UTILITIES: AN UTILITY EASEMENT IN THE FAVOR OF PACIFIC GAS & ELECTRIC WILL BE CREATED TO FACILITATE MAINTENANCE OF GAS METERS AND ELECTRICAL SERVICES. SANITARY AND WATER SERVICE LATERALS BETWEEN THE BUILDINGS AND THE CLEANOUTS AND/OR WATER METERS WILL BE PRIVATELY OWNED AND MAINTAINED. THE STORM DRAINAGE SYSTEM WILL ALSO BE PRIVATELY OWNED AND MAINTAINED OR AS DESIGNATED.

SUNNYVALE 24-UNIT CONDO PROJECT

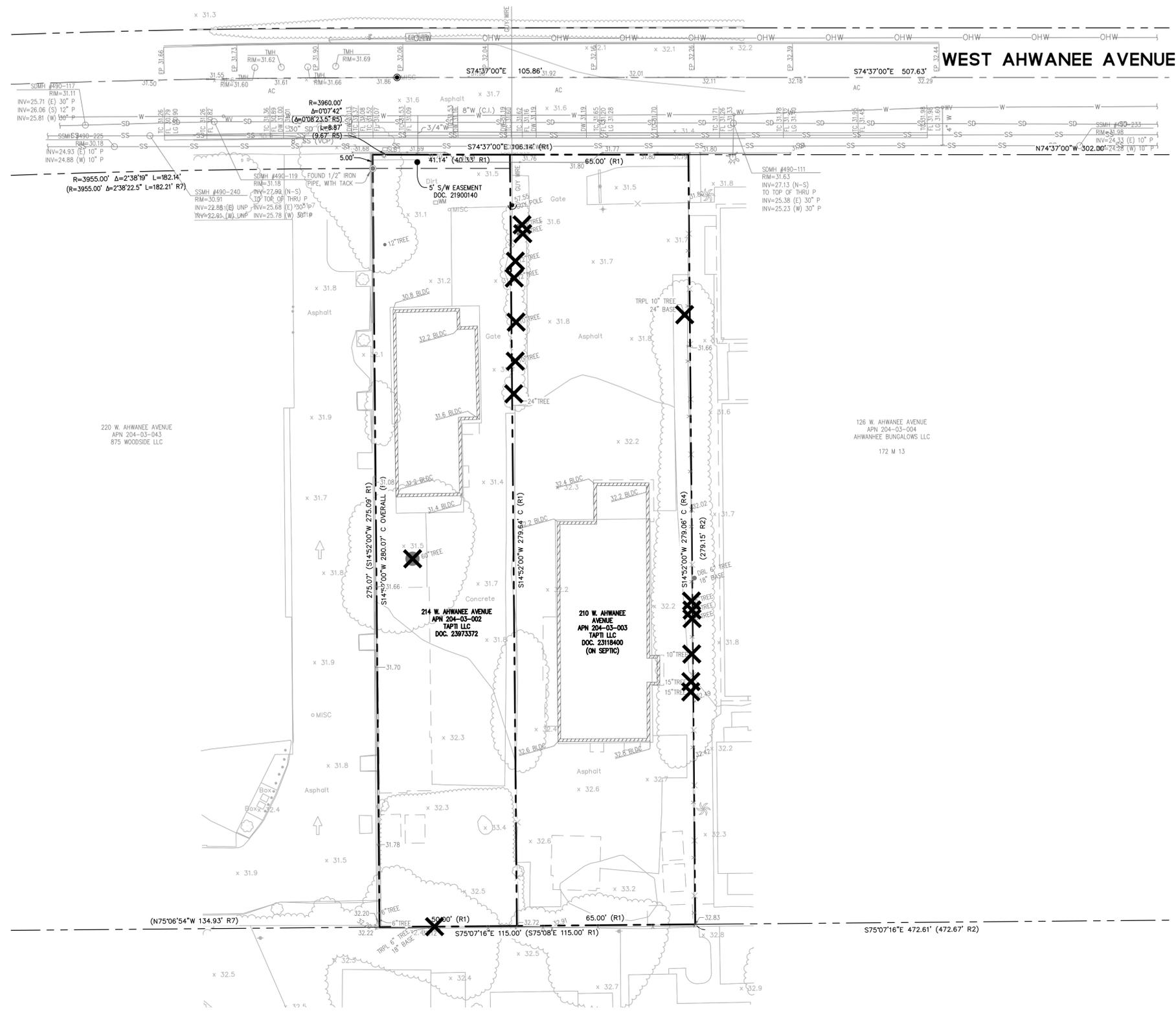


VESTING TENTATIVE MAP
FOR CONDOMINIUM PURPOSES C1.0

BKF 100+
ENGINEERS . SURVEYORS . PLANNERS

1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

DRAWING NAME: K:\2019\190238_Sunnyvale-W.Ahwanee\PLANNING\01WA-TM.dwg
PLOT DATE: 07-28-20 PLOTTED BY: juma



ABBREVIATIONS

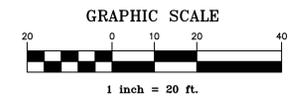
BLC	=	BUILDING CORNER
CONC	=	CONCRETE
DWY	=	DRIVEWAY
EB	=	ELECTRICAL BOX
FL	=	FLOW LINE
FNC	=	FENCE
GRD	=	GROUND
HCR	=	HANDICAP RAMP
LG	=	LIP OF GUTTER
SDCB	=	STORM DRAIN CATCH BASIN
SDMH	=	STORM DRAIN MANHOLE
SIG	=	SIGNAL
SSCO	=	SANITARY SEWER CLEAN OUT
SSMH	=	SANITARY SEWER MANHOLE
ST	=	STREET
TC	=	TOP OF CURB
V	=	VAULT
WM	=	WATER METER
WV	=	WATER VALVE

LEGEND

	PROPERTY LINE
	ADJACENT LOT LINE
	WATER MAIN
	ELECTRICAL LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	UNDERGROUND TELEPHONE
	FENCE
	CURB, GUTTER, AND SIDEWALK WITH DRIVEWAY
	CATCH BASIN
	STORM DRAIN INLET
	ELECTRIC PULLBOX
	ELECTRIC PULLBOX
	GAS METER
	FIRE HYDRANT
	ELECTRICAL BOX
	UTILITY BOX (GENERAL)
	TELEPHONE BOX
	MANHOLE (UNSPECIFIED)
	TELEPHONE MANHOLE
	STORM DRAIN MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER CLEANOUT
	SANITARY SEWER LATERAL
	ELECTROLIER
	STREETLIGHT
	STREET LIGHT PULL BOX
	JOINT UTILITY POLE
	TELEPHONE POLE
	SURVEY CONTROL PT
	STREET MONUMENT (SURVEY)
	SIGN (SINGLE POLE)
	WATER METER
	WATER VALVE
	TREES TO BE REMOVED
	TREES TO REMAIN

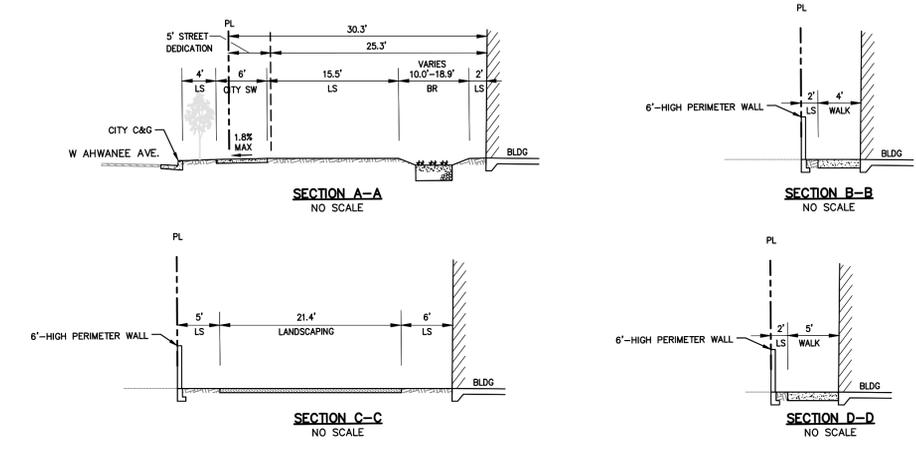
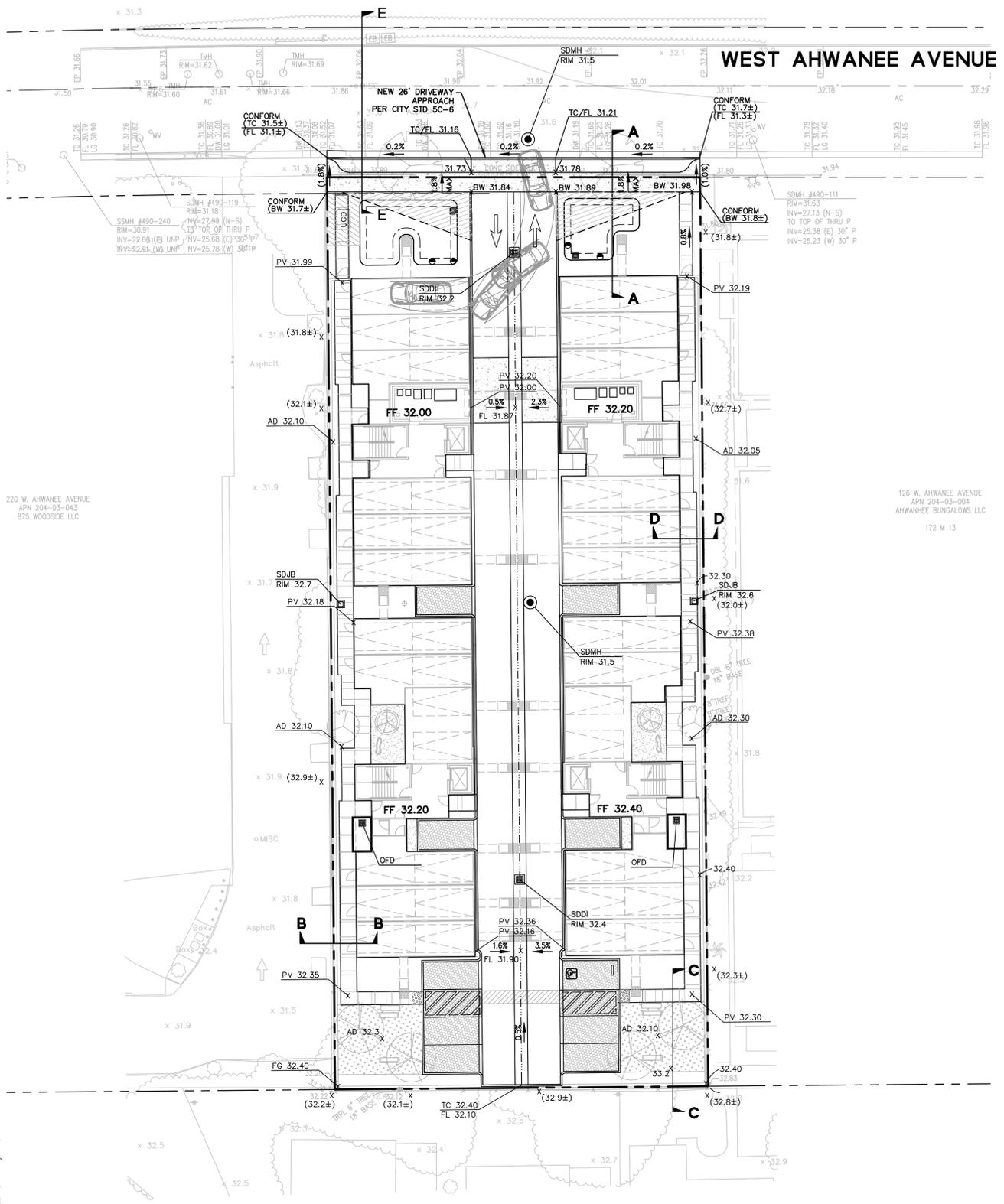
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PLOT DATE: 07-28-20
PLOTTED BY: juma

SUNNYVALE 24-UNIT CONDO PROJECT



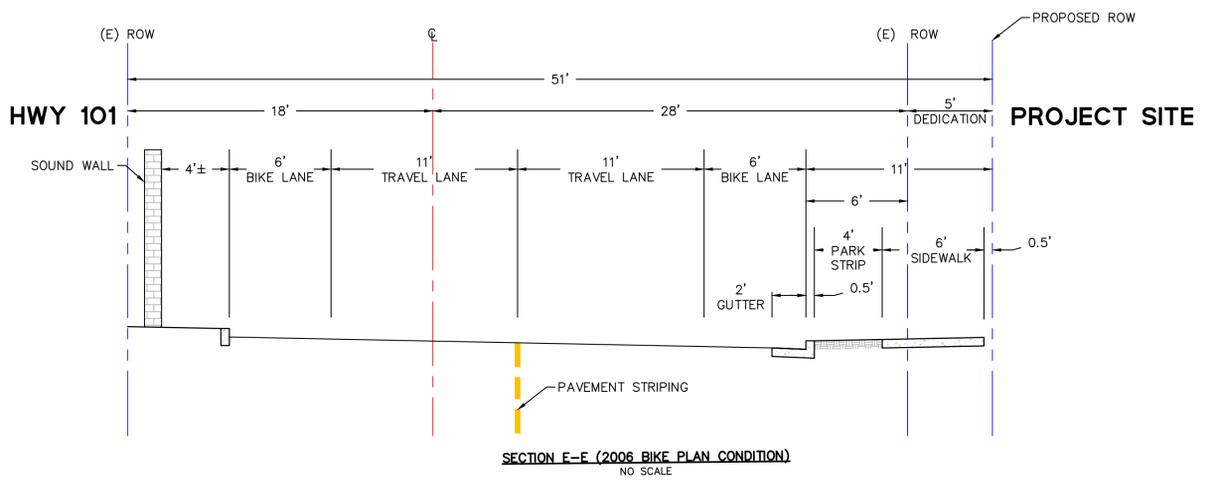
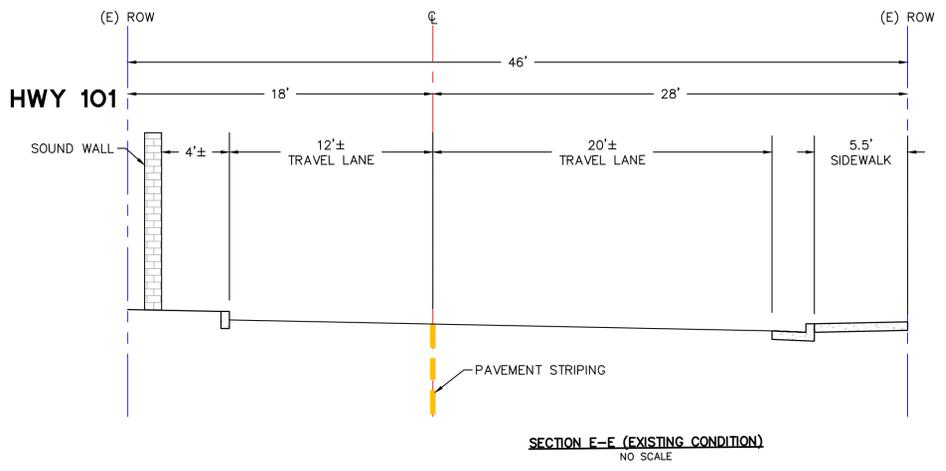
EXISTING CONDITIONS AND TREE REMOVAL PLAN C2.0

BKF 100+ YEARS
ENGINEERS . SURVEYORS . PLANNERS
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)



LEGEND

PROPERTY LINE	---
LOT LINE	---
STREET CENTERLINE	---
FLUSHED CURB	---
CURB AND GUTTER	---
ROLLED CURB AND GUTTER	---
OVERLAND RELEASE	←
AREA DRAIN	● AD
STORM DRAIN INLET	● DI
STORM DRAIN MANHOLE	● SDMH
STORMWATER MECHANICAL TREATMENT DEVICE	● TD
STORM DRAIN CLEANOUT	● SDCO
BIORETENTION BASIN	[Pattern]
PERVIOUS CONCRETE	[Pattern]
VISION TRIANGLE	[Pattern]



ABBREVIATIONS

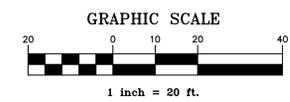
SYMBOL	DESCRIPTION
AC	HVAC UNIT
AD	AREA DRAIN
BB	BUBBLER BOX
BR	BIORETENTION BASIN
BW	BACK OF WALK
B/W	BOTTOM OF WALL
CB	CATCH BASIN
CC	CURB CUT (CURB OPENING)
CR	CROWN
CSV	CITY OF SUNNYVALE
DET	DETAIL
DI	DRAIN INLET
DWY	DRIVEWAY
(E)	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
GB	GRADE BREAK
GS	GARAGE SLAB
HP	HIGH POINT
JB	JUNCTION BOX
LG	LIP OF GUTTER
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
(N)	NEW
N.T.S.	NOT TO SCALE
OFD	OVER FLOW DRAIN
PAE	PUBLIC ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PV	PAVEMENT
SD	STORM DRAIN
STD	STANDARD
TC	TOP OF CURB
TW	TOP OF WALL
TRC	TOP OF ROLLED CURB
TYP	TYPICAL

SUNNYVALE 24-UNIT CONDO PROJECT

PRELIMINARY GRADING & DRAINAGE PLAN C3.0

BKF 100+ YEARS
ENGINEERS . SURVEYORS . PLANNERS

1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)



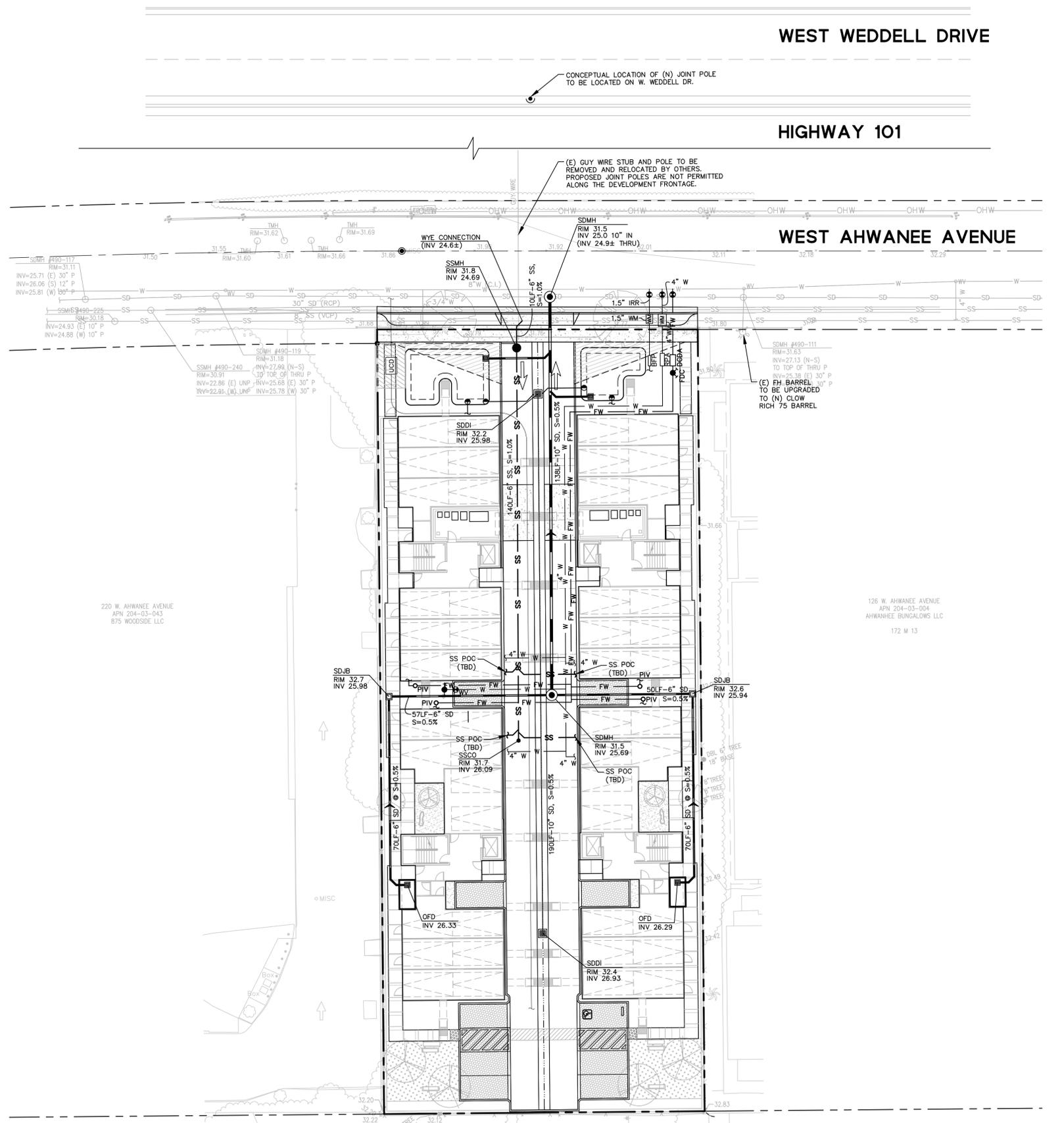
DRAWING NAME: K:\2019\190238_Sunnyvale-W.Ahwanee-PLANNING\03WA-GD.dwg
PLOT DATE: 07-28-20 PLOTTED BY: juma

LEGEND

PROPERTY LINE	---
LOT LINE	----
STREET CENTERLINE	-----
CURB AND GUTTER	=====
VERTICAL CURB	=====
FLUSHED CURB	=====
ROLLED CURB AND GUTTER	=====
SANITARY LINE	SS
STORM DRAIN LINE (TREATED)	12" SD
STORM DRAIN LINE (UNTREATED)	SD
WATER LINE	W
SANITARY SEWER LATERAL	SS
WATER SERVICE	WM
JOINT TRENCH	JT
AREA DRAIN	AD
STORM DRAIN INLET	DI
SANITARY SEWER MANHOLE	SSMH
SANITARY SEWER CLEANOUT	SSCO
STORM DRAIN MANHOLE	SDMH
STORMWATER MECHANICAL TREATMENT DEVICE	TD
STORM DRAIN CLEAN OUT	SDCO
STORM DRAIN CATCH BASIN	CB
STORM DRAIN JUNCTION BOX	JB
FIRE HYDRANT	FH
SUBSURFACE TRANSFORMER	UCD
BACKFLOW PREVENTER	BFP/DCDA/RPA
WATER VALVE	WV
WATER METER (SIZING CALC. TBD BY MEP DURING FINAL DESIGN)	WM
PARKING LUMINAIRE (SEE LIGHTING PLANS FOR DETAILS)	☼
VISION TRIANGLE	▨

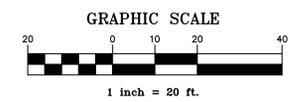
GENERAL UTILITY NOTES:

- ON-SITE WATER MAIN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. THE ON-SITE WATER METERS WILL BE READ BY THE HOA.
- ON-SITE SANITARY SEWER AND STORM DRAIN AND ASSOCIATED STRUCTURES WILL BE OWNED AND MAINTAINED BY THE HOA.
- ALL SANITARY SEWER, STORM DRAIN AND WATER LINES AND ASSOCIATED STRUCTURES IN THE PUBLIC STREET WILL BE OWNED AND MAINTAINED BY THE CITY OF SUNNYVALE.
- THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF STORMWATER TREATMENT AREAS.
- ON SITE LIGHT FIXTURES SHIELD TO AVOID LIGHT SPILLING OVER ONTO ADJACENT SITES.



SUNNYVALE 24-UNIT CONDO PROJECT

PRELIMINARY UTILITY PLAN C4.0



BKF 100+
ENGINEERS . SURVEYORS . PLANNERS

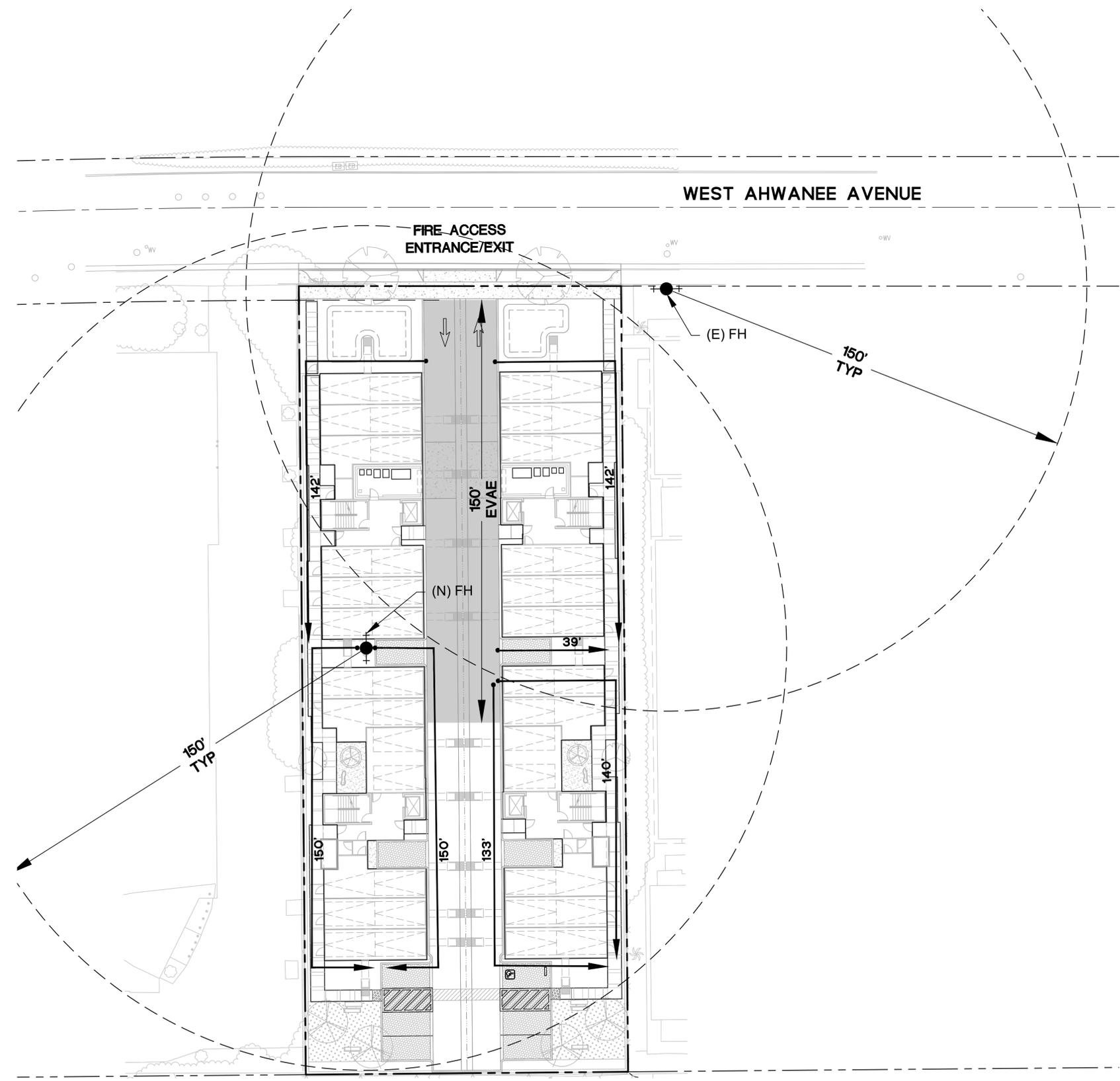
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

DRAWING NAME: K:\2019\190238_Sunnyvale-W.Ahwanee\PLANNING\04WA-UT.dwg
PLOT DATE: 07-28-20 PLOTTED BY: juma

LEGEND

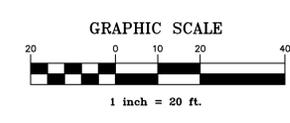
- PROPERTY LINE
- LOT LINE
- ▭ 26' EMERGENCY VEHICLE ACCESS ROAD (SEE NOTE 3)
- FIRE HOSE REACH FROM EVAE
- +•+ FIRE HYDRANT

- FIRE NOTES:**
1. THE PROJECT IS A R3 OCCUPANCY. THE ON-SITE FIRE HYDRANT CONNECTS TO THE WATER MAIN SYSTEM.
 2. ALL NEW HYDRANTS SHALL BE CLOW-RICH 865.
 3. THE APPROVED FIRE APPARATUS ACCESS ROADS WILL BE ASPHALT/CONCRETE PAVEMENT CAPABLE OF SUPPORTING A LOAD OF AT LEAST 90,000 LBS.



SUNNYVALE 24-UNIT CONDO PROJECT

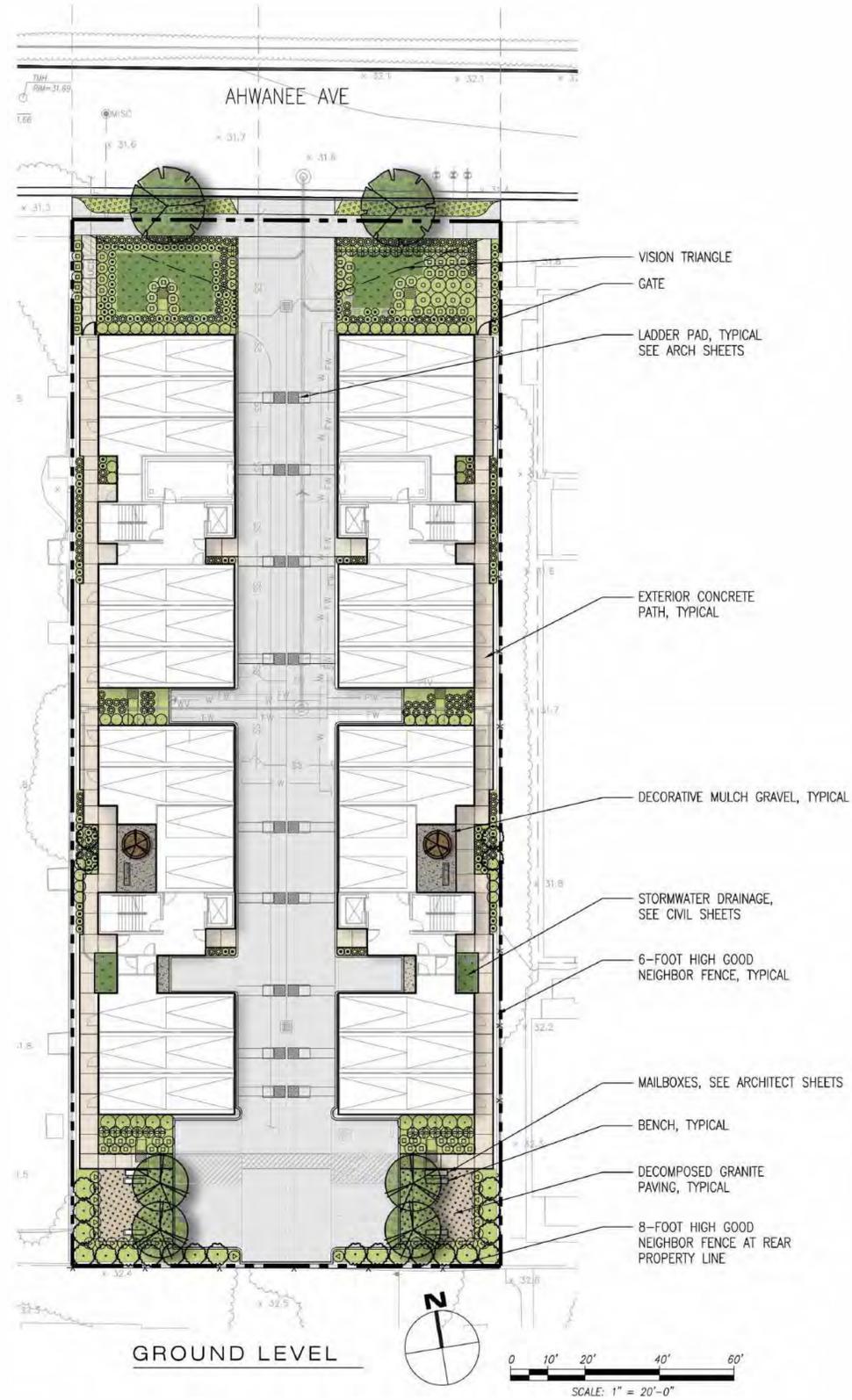
FIRE HYDRANT EXHIBIT
C6.0



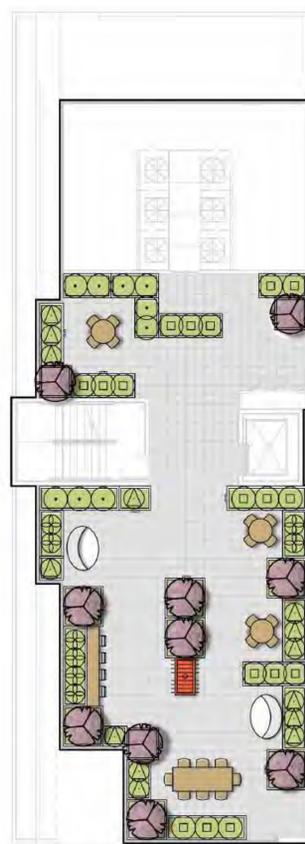
BKF 100+ YEARS
ENGINEERS . SURVEYORS . PLANNERS

1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

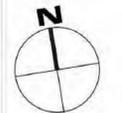
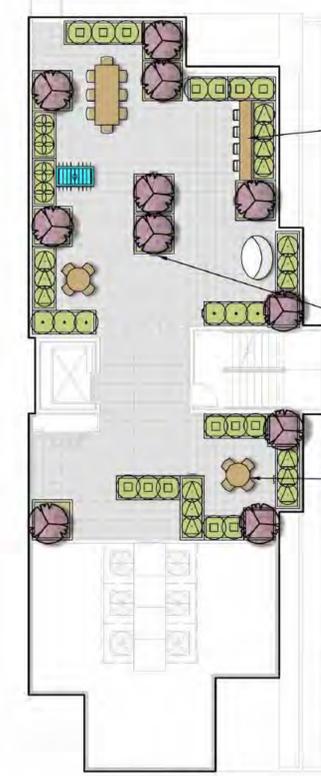
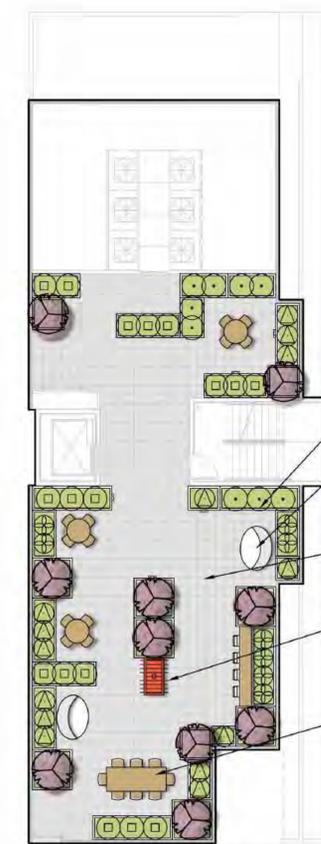
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PLOT DATE: 07-28-20 PLOTTED BY: juma



GROUND LEVEL



ROOF LEVEL



SCALE: 3/32" = 1'-0"

PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
TREES						
ACE CI	ACER CIRCINATUM	VINE MAPLE	24" BOX	PER PLAN	2	M
ARB MA	ARBUTUS 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	4	L
QUE KE	QUERCUS KELLOGGII	CALIFORNIA BLACK OAK	24" BOX	PER PLAN	2	L
CER OC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	42	L
SCREEN PLANTING						
POD GR	PODOCARPUS GRACILIOR	FERN PINE	24" BOX	PER PLAN	24	M
SHRUBS						
○	ACACIA COGNATA 'COUSIN ITT'	ACACIA	5 GAL	4'-0" OC	8	L
○	ALOE 'JOHNSON'S HYBRID'	ALOE	1 GAL	2'-0" OC	75	L
○	ASPIDISTRA ELIATOR	CAST IRON PLANT	5 GAL	3'-0"	48	L
○	CLIMA MINATA	ORANGE CLIMA	1 GAL	2'-0"	75	M
○	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	1 GAL	3'-0" OC	36	L
○	ANIGOZANTHOS 'CAPE AMAZON'	KANGAROO PAW	1 GAL	2'-0" OC	141	L
○	BULBINE FRUTESCENS	BULBINE	1 GAL	3'-0" OC	49	L
○	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	60	L
○	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	3'-0" OC	40	L
○	LOMANDRA LONGIFLORA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	124	L
▽	ARCTOSTAPHYLOS 'EMERALD CARPET'	CARPET MANZANITA	1 GAL	4'-0"	23	L
STORMWATER PLANTING MIX						
▽	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	40%	L
▽	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	4'-0" OC	30%	L
▽	JUNCUS PATENS 'ELK BLUE'	CALIF. GRAY RUSH	1 GAL	2'-0" OC	30%	L

NOTE:
ALL PLANTING AREAS SHALL BE MAINTAINED WITH A 3" DEEP LAYER OF UN-DYED ORGANIC MULCH.
TREE REMOVAL AND REPLACEMENT LIST

PROTECTED TREES TO BE REMOVED			
#	TYPE OF TREE	SIZE OF TREE	REPLACEMENT TREES
1	SCHINUS MOLLE*	OVER 24" DIAMETER	ONE 48" BOX TREE, OR TWO 36" BOX TREES, OR FOUR 24" BOX TREES
TOTAL REQUIRED REPLACEMENT TREES			FOUR 24" BOX TREES

TREE REPLACEMENT LIST			
#	TYPE OF TREE	SIZE OF BOX	REPLACEMENTS FOR SCHINUS MOLLE TREE AND MAGNOLIA GRANDIFLORA
4	ARBUTUS UNEDO	24" BOX	REPLACEMENTS FOR SCHINUS MOLLE TREE AND MAGNOLIA GRANDIFLORA
2	QUERCUS KELLOGGII	24" BOX	
2	CERCIS OCCIDENTALIS	24" BOX	
TOTAL PROPOSED REPLACEMENT TREES			8

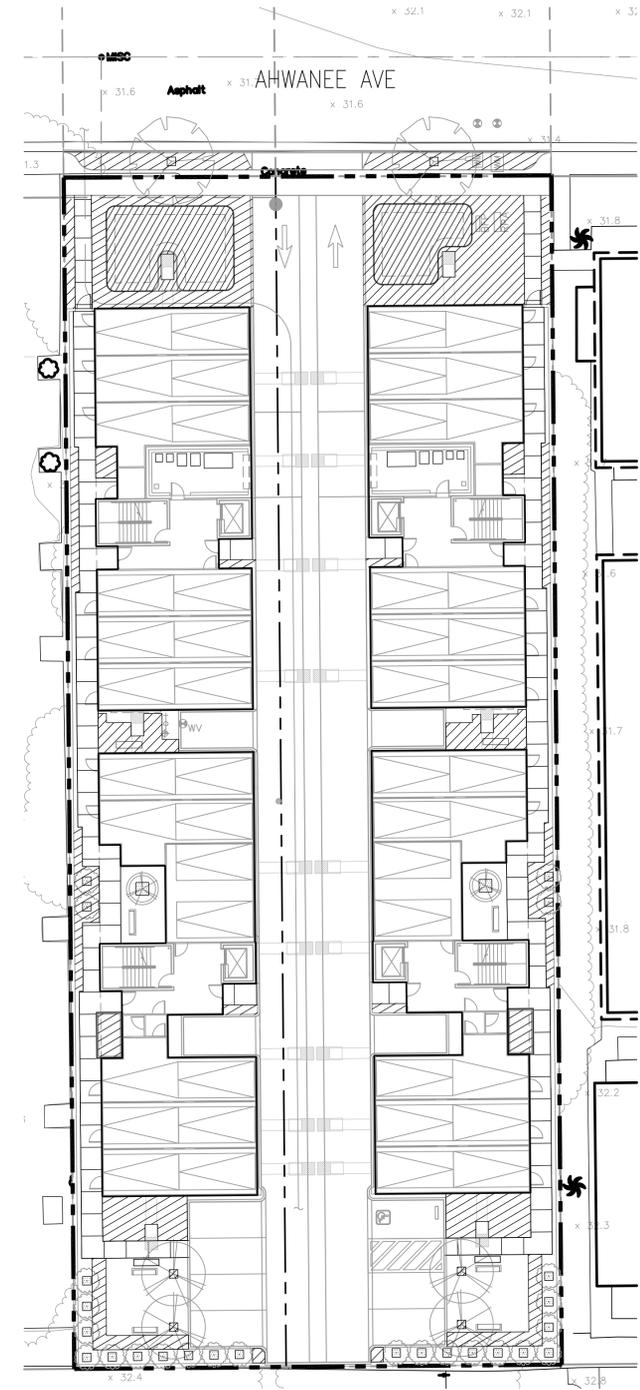
*SEE CIVIL PLANS FOR LOCATIONS

GROUND AND ROOF LEVEL
PRELIMINARY LANDSCAPE PLAN

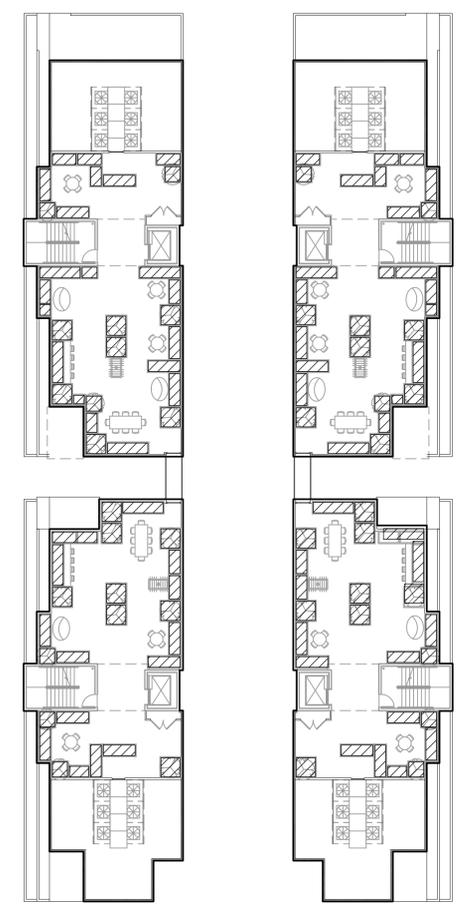
SUNNYVALE 24-UNIT CONDO PROJECT



HYDROZONE LEGEND							
SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION TYPE	AREA (SF)	TOTAL (SF)	% LANDSCAPE
	1	LOW WATER USE	SHRUB/G.COVER	DRIP	5,902	5,926.0	98%
	2	LOW WATER USE	TREES	BUBBLER	24		
	3	MODERATE WATER USE	TREES	BUBBLER	104	104	2%
TOTAL						6,030.0	100%



GROUND LEVEL

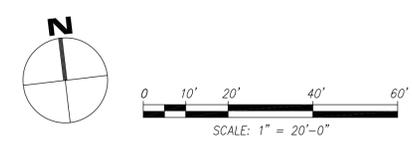


ROOF LEVEL

HYDROZONE INFORMATION TABLE							
REFERENCE ANNUAL ET _a FOR:	SAN JOSE (SUNNYVALE, WUCOLS)		45.3				
ET ADJUSTMENT FACTOR	.55	ET ADJ FACTOR PER MWEL & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL	SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)	0.45			
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP:0.81 ROTOR:0.75 BUBB:0.81 SPRAY:0.75	IRRIGATION EFFICIENCY (IE)	ETAF ₂ (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF ₂ X AREA	ESTIMATED TOTAL WATER USE (ETWU)
1	0.3	D	0.81	0.37	5902	2185.93	61393.92
2	0.3	B	0.81	0.37	24	8.89	249.65
3	0.6	B	0.81	0.74	104	77.04	2163.66
-	0	-	.81	0.00	0	0.00	0.00
-	0	-	.81	0.00	0	0.00	0.00
TOTAL					6030.00	2271.85	63,807.23
SPECIAL LANDSCAPE AREAS							
-				1	0	0.00	0.00
-				0	0	0.00	0.00
-				0	0	0.00	0.00
TOTAL					6,030.00	0.00	0.00
TOTAL LANDSCAPE AREA (LA + SLA)					6,030.00		
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)				TOTAL ETWU	63,807.23	
MAWA	(ANNUAL ET ₀)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]				MAWA	93,147.22	
AVERAGE ETAF	SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA _s)					0.38	
SITEWIDE ETAF	TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA _s)					0.38	

IRRIGATION DESIGN INTENT

1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL), CITY OF SUNNYVALE, AND SAN FRANCISCO PUBLIC UTILITIES COMMISSION (SFPUC).
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.



HYDROZONE PLAN
PRELIMINARY LANDSCAPE PLAN

SUNNYVALE 24-UNIT CONDO PROJECT



2251 west 190th street torrance | ca 90504 | 310.217.8885 | witheemalcolm.com
Job No. B8051 Date: 02.28.20

TREES



ACER CIRCINATUM



ARBUTUS UNEDO



CERCIS OCCIDENTALIS



PODOCARPUS GRACILIOR



QUERCUS KELLOGGII

SITE FURNISHINGS



PRECAST PLANTERS



OUTDOOR LOUNGE SOFA



BENCH

SHRUBS



ACACIA COGNATA



ALOE JOHNSON'S HYBRID



ANIGOZANTHOS 'BUSH GOLD'



ANIGOZANTHOS 'CAPE AMAZON'



ROOFTOP DINING TABLE



FOOSBALL TABLE



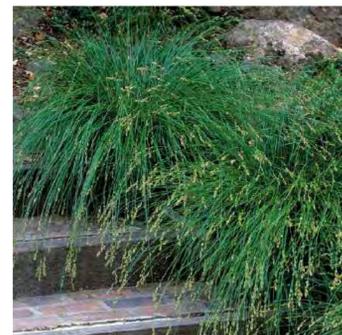
BAR RAIL



GOOD NEIGHBOR FENCING



BULBINE FRUTESCENS



CAREX TUMILICOLA



IRIS DOUGLASIANA



LOMANDRA 'BREEZE'

PAVING



LIGHT BROOM FINISH



DECOMPOSED GRANITE



CONCRETE PAVERS



DECORATIVE MULCH GRAVEL

STORMWATER PLANTING



CAREX TUMILICOLA



CHONDROPETALUM TECTORUM



JUNCUS 'ELK BLUE'

GROUNDCOVER



ARCTOSTAPHYLOS 'EMERALD CARPET'



ASPIDISTRA ELIATOR



CLIVIA MINIATA

SHADE PLANTS

LANDSCAPE LIGHTING



RECESSED LED WALL LIGHT IN PLANTER

PRECEDENT IMAGES
PRELIMINARY LANDSCAPE PLAN

SUNNYVALE 24-UNIT CONDO PROJECT



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