

SCOPE OF WORK

- REMODEL EXISTING SINGLE FAMILY HOME (SEPARATE BUILDING PERMIT BLDG-2024-3842)
- SB330 APPLICATION (PLNG-2024-0719)
- PROPOSE ATTACHED TOWNHOMES (4 UNITS), SEE UNIT BREAKDOWN TABLE BELOW
- 1 GROUP OPEN SPACE
- NEW PRIVATE DRIVEWAY APPROACH & SIDEWALK

PROJECT DIRECTORY

OWNER: CRESCENT ETERNAL LLC
434 CRESCENT AVENUE, SUNNYVALE, CA 94087
(850) 880-8835 | ETERNAL_CAP.LLC@GMAIL.COM

ARCHITECT: GKW ARCHITECTS INC. | GORDON K WONG
710 E MCGILVY LANE STE 109, CAMPBELL, CA 95008
(408) 315-2125 | GORDONKWONG@GKWARCHITECTS.COM

GEOTECHNICAL ENGINEER: SILICON VALLEY SOIL ENGINEER | SEAN DEIVERT
1916 O TOOLE WAY, SAN JOSE CA 95131
(408) 324-1400 | SDEIVERT@SILICONVALLEYSOIL.COM

LAND SURVEYOR: WILSON LAND SURVEYS, INC. | KOEN T WILSON
281 CARLTON COURT, LOS GATOS, CA 95032
(408) 427-2279 | KOENW@WILSONLANDSURVEYS.COM

PHOTOMETRICS: MR ENGINEERS, INC. | RAMIL BATIANCLA
42840 CHRISTY STREET, SUITE 217, FREMONT, CA 94538
(510) 509-2362 | RAMIL@MRENGCON.COM

CIVIL ENGINEER: CIVIO CONSULTING | NGUYEN CAM
1669 FLANIGAN DRIVE, SAN JOSE, CA 95121
OFFICE@CIVIOCONSULTING.COM

LANDSCAPE ARCHITECT: HEID LANDSCAPE | JEFFREY HEID
1465 WINZER PLACE, GILROY, CA 95020
(408) 891-5207 | W.HEIDASLAJ@GMAIL.COM

HISTORICAL: PAGE & TURNBULL | CLARE FLYNN
170 MAIDEN LANE, 5TH FLOOR, SAN FRANCISCO, CA 94108
(916) 715-9647 | FLYNN@PAGE-TURNBULL.COM

ARBORIST: WOODREEVE CONSULTING | JOHN LEFFINGWELL
5627 TELEGRAPH AVE, SUITE 385, OAKLAND, CA 94609
(510) 387-5241 | JOHN@WOODREEVECONSULTING.COM

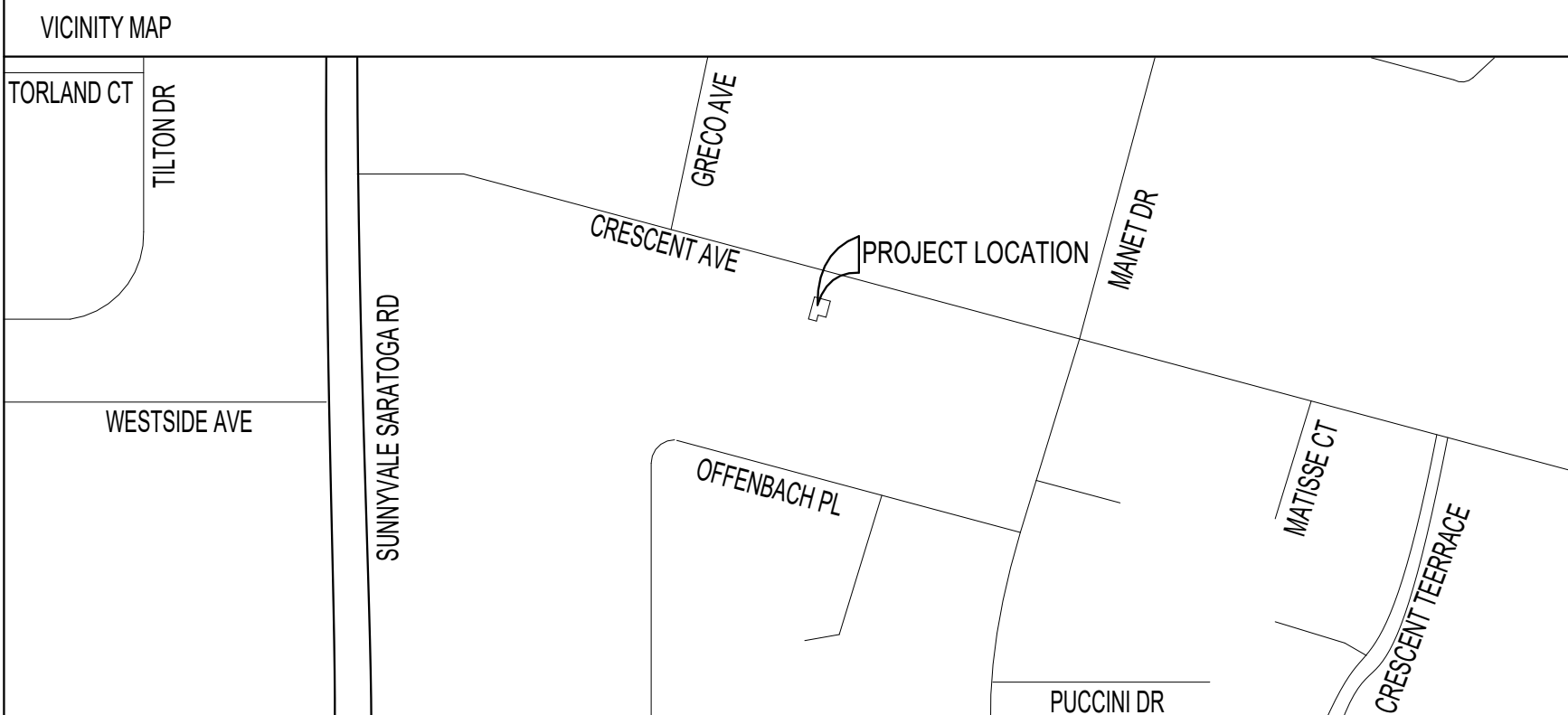
STRUCTURAL ENGINEER: HW ENGINEERING | HONGYU WANG
8887 W. FAMINGO RD. #101, LAS VEGAS, NV 89147
(702) 202-0061 | HONGYU@HWENGINEERINGUSA.COM

T24 ENERGY REPORT: MR ENGINEERS, INC. | RAMIL BATIANCLA
42840 CHRISTY STREET, SUITE 217, FREMONT, CA 94538
(510) 509-2362 | RAMIL@MRENGCON.COM

GENERAL CONTRACTOR: TBD

WATER: CALIFORNIA WATER SERVICES | SEAN CABUAG
949 B STREET LOS ALTOS, CA 94024
(850) 917-0152 | SCABUAG@CALWATER.COM

STORM DRAINAGE & SEWAGE: CITY OF SUNNYVALE



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PROJECT INFORMATION

PROJECT LOCATION: 434 CRESCENT AVENUE, SUNNYVALE, CA 94087

APN: 211-35-030

ZONING: R-3 - MEDIUM DENSITY RESIDENTIAL (MAX 24 DU/AC)

GENERAL PLAN: RMED - RESIDENTIAL MEDIUM DENSITY / COMBINING DISTRICT; PD

(E) OCCUPANCY: R-3

(P) OCCUPANCY: R-3

LOT SIZE: 11,340 SF / 0.26 ACRES

PRIMARY RESIDENCE SET BACKS:

HEIGHT LIMIT: 35 FEET

MAX STORIES: 3 STORIES

MAX FLOOR AREA RATIO: NONE

LOT COVERAGE: 40%

ZONING CODE C.M.C. SECTION 19.34.010

SETBACK:

FRONT, MINIMUM: 20 FT

SIDE (1ST/2ND/3RD): 6 / 9 / 12 FT

SIDE YARDS TOTAL (1ST/2ND/3RD): 15 / 21 / 27 FT

REAR: 20 FT

REAR PROJECT 19.48.070 EXT. 2 FT

MIN. DRIVEWAY: 0 FT

CONSTRUCTION TYPE: VB - SPRINKLERED 13D

FLOOR AREA BREAKDOWN:

(E) FLOOR AREA (HISTORICAL): 1,028 SF

(P) TOWNHOME DEVELOPMENT: 8,589 SF

SEE CHART BELOW FOR BREAKDOWN

FLOOR AREA RATIO

NO MAX FAR IN R-3 PER TABLE 19.32.020 IN SUNNYVALE MUNICIPAL CODE

LOT COVERAGE

HISTORICAL, FIRST FLOOR: 1,028 SF

TOWNHOME, FIRST FLOOR: 2,878 SF

(P) LOT COVERAGE: 3,906 / 11,340 = 34.44% < 40%

JURISDICTION

CITY OF SUNNYVALE, PLANNING & BUILDING DIVISION

UNIT BREAKDOWN TABLE

AREA DESCRIPTION	# BED / # BATH	GARAGE	LIVING	BALCONY	1ST FL FOOTPRINT	GROSS AREA
HISTORICAL	3 / 2	N/A	1,028 SF	N/A	1,028 SF	1,028 SF
UNIT 1	3 / 3.5	461 SF	1,868 SF	30 SF		2,150 SF
UNIT 2	3 / 3.5	453 SF	1,868 SF	42 SF	2,878 SF	2,321 SF
UNIT 3	3 / 3	447 SF	1,722 SF	42 SF		2,169 SF
UNIT 4	2 / 2.5	445 SF	1,504 SF	31 SF		1,949 SF
TOTALS					3,906 SF	9,617 SF
TOTAL (NET - LIVING AREA)			7,881 SF			

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF SUNNYVALE MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REG.

ENERGY CODES

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (FERS) TO THE PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

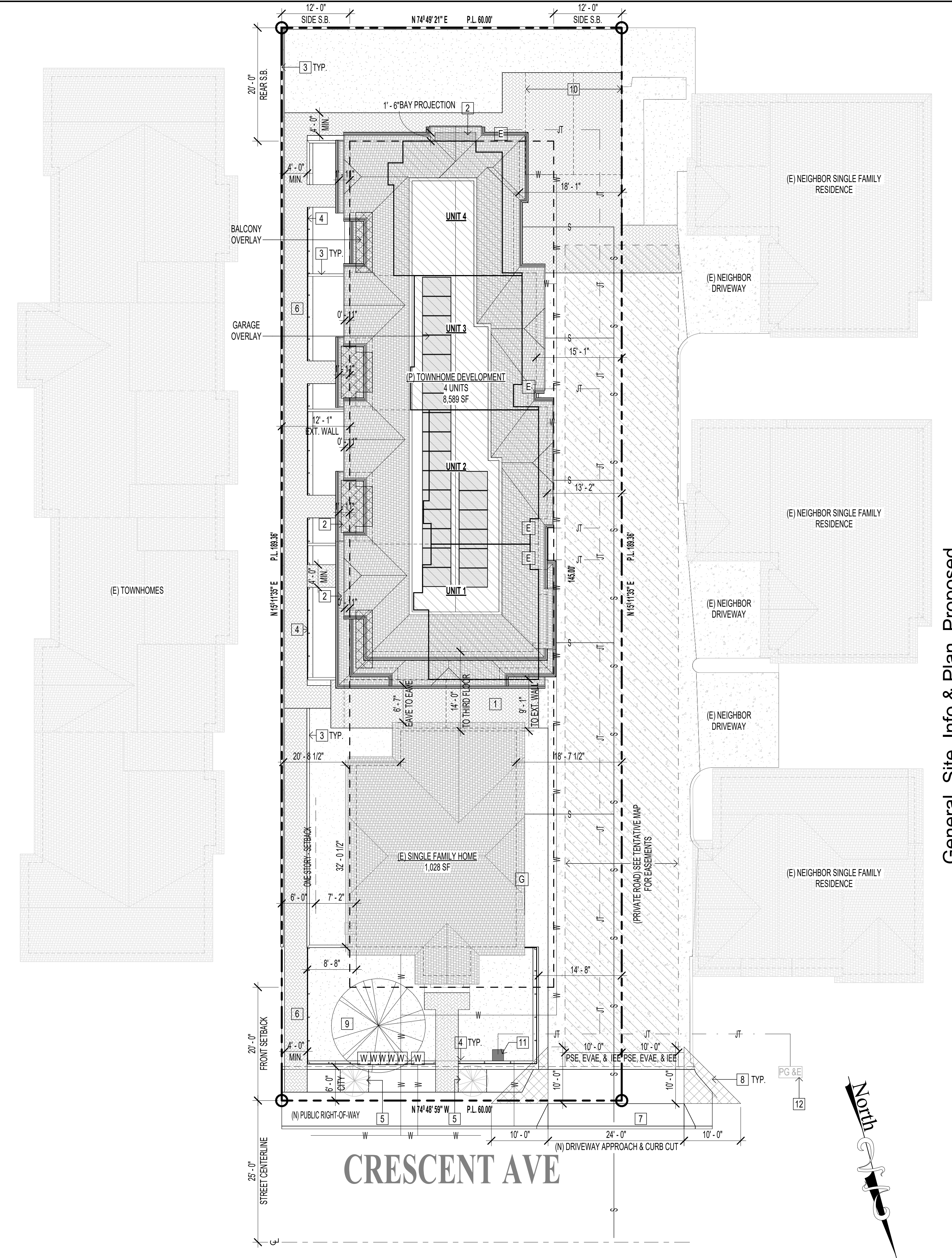
DEFERRED SUBMITTAL

- FIRE SPRINKLERS NFPA 13D
- PV SYSTEM, MIN SIZES:

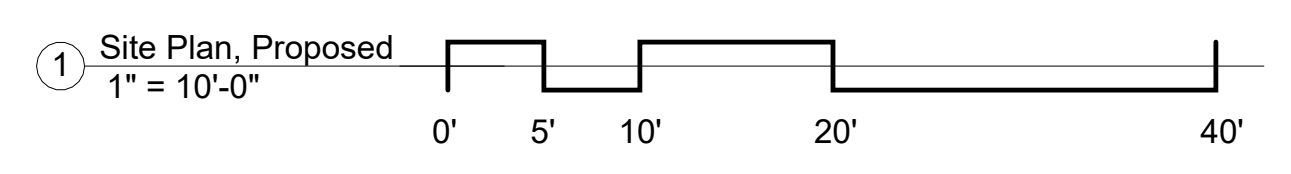
- PUBLIC WORKS & SITE PLAN NOTES
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
 - UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
 - CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 11/8" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF SUNNYVALE.
 - OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER C.M.C. SECTION 17.20.540
 - PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
 - ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER CBC SECTION 9403.2.
 - CONTRACTOR TO FIELD VERIFY SIZE & LOCATION OF ALL UTILITIES, SITE CONDITIONS, DIMENSIONS STRUCTURES PRIOR TO START OF WORK.
 - CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES. IN EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY ARCHITECT IN WRITING PRIOR TO STARTING EACH PORTION OF THE WORK.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.
 - PER CBCSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 - PER CBCSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGREEN CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

RESIDENTIAL DEVELOPMENT

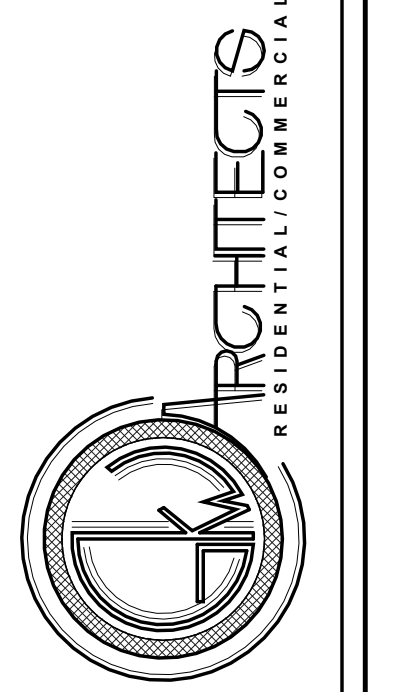
SUNNYVALE CALIFORNIA



- SITE PLAN, PROPOSED, LEGEND:**
- CONCRETE
 - GRASS / MULCH
 - PAVERS
 - FIRE TRUCK ACCESS, SEE G005
 - FENCE GATE, 8 FEET
 - PROPERTY LINE
 - BUILDING FOOTPRINT
 - SETBACK
 - EASEMENT
 - JOINT UTILITY
 - WATER LINE
 - SEWER LINE
 - FUTURE STREET LINE
 - 200 AMP ELECTRICAL PANEL
 - GAS METER, 3/4"
 - WATER METERS, INCLUDING RELOCATED FOR HISTORICAL
 - REAR ARCHITECTURAL PROJECTION, MAXIMUM 2 FT
 - FENCE, 6 FT
 - FENCE, 3 FT
 - CITY STREET TREE, SEE LANDSCAPE
 - WALKWAY, PATH OF TRAVEL, SEE G004
 - NEW DRIVEWAY APPROACH, SEE CIVIL
 - VISION TRIANGLE
 - TREE #465 TO BE PRESERVED
 - GUEST PARKING SPACE
 - TRANSFORMER, UNDERGROUND
 - PG&E BOX



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Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule

Number	Description	Date
1	Planning	2024.04.30
2	Planning	2024.11.13
3	Planning	2025.12.23

General, Site, Info & Plan, Proposed

G000

SCALE AS INDICATED

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General, Site, Info & Plan, Proposed

GENERAL NOTES

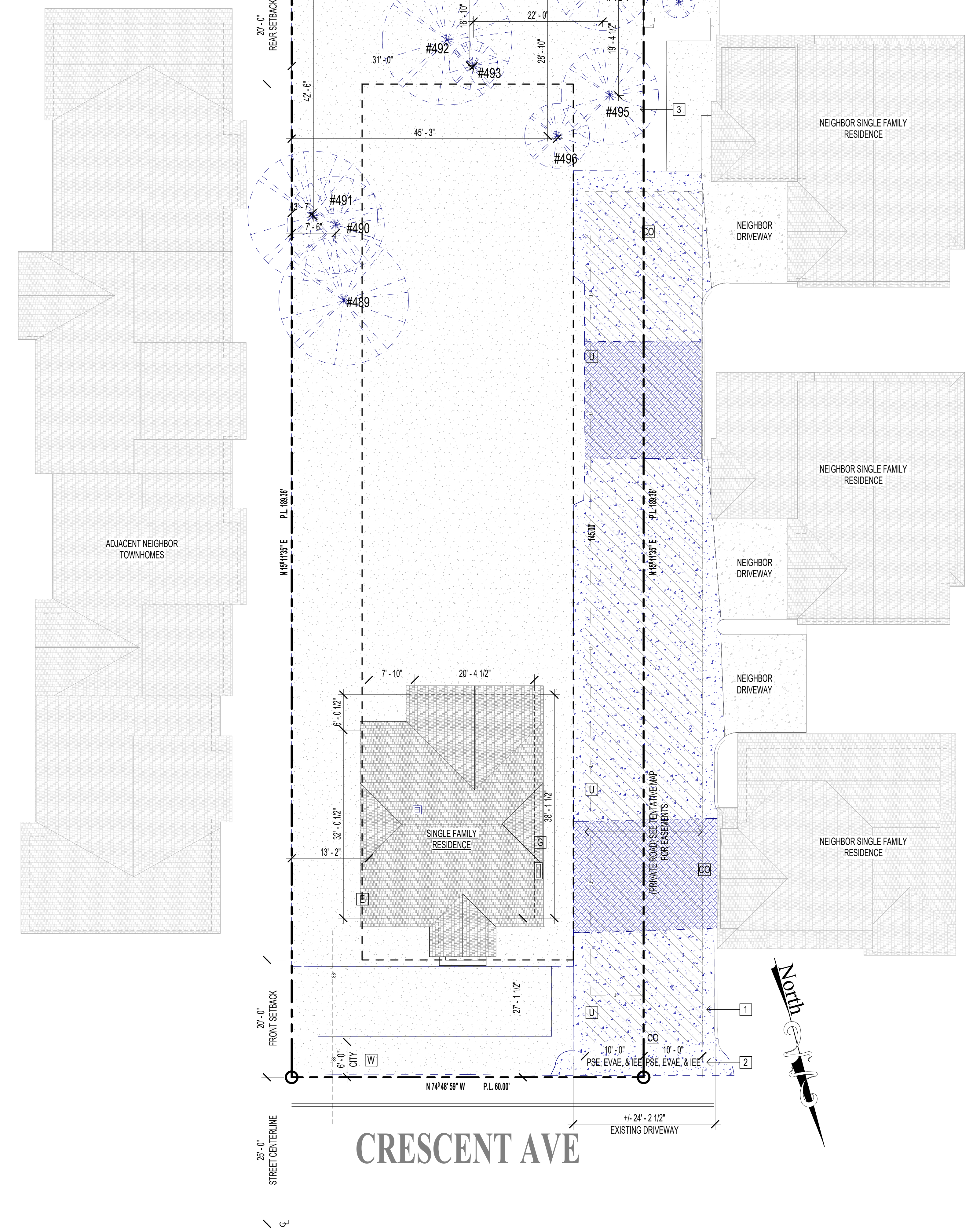
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GWK ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- PRIOR TO ISSUANCE OF THE BUILDING PERMIT A SANITARY SEWER HOOKUP PERMIT (OR CLEARANCE LETTER) MUST BE OBTAINED AND A COPY OF THE PERMIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT.

ABBREVIATIONS

A		G		N		S	
ABV	ABOVE	GALV	GALVANIZED	(N)	NEW	SCD	SEE CIVIL DRAWINGS
AC	ASPHALT CONCRETE	GC	GENERAL CONTRACTOR	N	NORTH	SCHD	SCHEDULE
AD	AREA DRAIN	GL	GLASS	N.F.V.	NET FREE VENTILATION	SD	STORM DRAIN
ADDL	ADDITIONAL	GND	GROUND	NIC	NOT IN CONTRACT	SECT	SECTION
AFF	ABOVE FINISH FLOOR	GWB	GYPNUM WALL BOARD	NOM	NOMINAL	SED	SEE ELECTRICAL DRAWINGS
ASPH	ASPHALT	GYP	GYSUM	NP	NO PARKING	SF	SQUARE FOOT OR FEET
				NR	NON-RATED	SHR	SHOWER
				NTS	NOT TO SCALE	SHT	SHEET
						SHTG	SHEATHING
B		H		O		SIM	SIMILAR
BITUM	BITUMINOUS	HBD	HARDBOARD	OA	OVERALL	SJ	SEISMIC JOINT
BKG	BACKING	HDR	HEADER	OC	ON CENTER	SL	SEALANT
BLDG	BUILDING	HDWR	HARDWARE	OD	OUTSIDE DIAMETER/ DIMENSION	SLD	SEE LANDSCAPE DRAWINGS
BM	BEAM	HWD	HARDWOOD	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	SM	SHEET METAL
BR	BACKER ROD	HTR	HEATER	OD	OWNER FURNISHED OWNER INSTALL	SMD	SEE MECHANICAL DRAWINGS
BUR	BUILT-UP ROOF	HVAC	HEATING, VENT. & A.C.	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	SOF	SOFFIT
BDR	BEDROOM			OFO	OWNER FURNISHED OWNER INSTALL	SOG	SLAB ON GRADE
BW	BOTTOM OF WALL					SPD	SEE PLUMBING DRAWINGS
		I		P		SPECIS	SPECIFICATION
		IN	INCH	PN	PENETRATION	SQ	SQUARE
		INCAND	INCANDESCENT	PERF	PERFORATED	SS	SANITARY SEWER
		INSUL	INSULATION	PERP	PERPENDICULAR	SSD	SEE STRUCTURAL DRAWINGS
C		INT	INTERIOR	PL	PLATE	STC	SOUND TRANSMISSION COEFFICIENT
CAB	CABINET	INV	INVERT	PL	PROPERTY LINE	STD	STANDARD
CB	CATCH BASIN			PLAS	PLASTER	STL	STEEL
CEM	CEMENT			PLBG	PLUMBING	STOR	STORAGE
CF	CUBIC FEET	J		PLND	PLYWOOD	STRL	STRUCTURAL
CJ	CONTROL JOINT	JST	JOIST	PNL	PANEL	SY	SQUARE YARD
CL	CLOSET	JT	JOINT	POC	POINT OF CONNECTION		
CTL	CENTERLINE			PP	PERMEABLE PAVERS	T&B	TOP AND BOTTOM
CLG	CEILING			PSF	POUNDS PER SQUARE FOOT	T&G	TONGUE AND GROOVE
CONC	CONCRETE			PSI	POUNDS PER SQUARE INCH	TC	TOP OF CURB
CPT	CARPET			PTD	PAINTED	TOC	TOP OF CONCRETE
		K		PTR	PRESSURE TREATED	TOP	TOP OF PAVING
		K	KIPS	PTRWDQ	PRESSURE TREATED WOOD	TOS	TOP OF STEEL
D		KIT	KITCHEN			TRD	TREAD
DR	DECK	KP	KICK PLATE			TW	TOP OF WALL
D.S.	DRAIN DOWNSPOUT						
		L		R		U	
E		LOC	LOCATION	RA	REVEAL OR RISER	UL	UNDERWRITERS LABORATORIES
(E)	EXISTING	LT	LIGHT	RAD	RADIUS	UTIL	UTILITIES
E	EAST			RC	REINFORCED CONCRETE PIPE		
ELEC	ELECTRICAL			RD	ROOF DRAIN	V	
EP	ELECTRICAL PANEL	M		REF	REFERENCE	YCP	VITREOUS CLAY PIPE
EXT	EXTERIOR	MB	MACHINE BOLT	REFL	REFLECTED	VERT	VERTICAL
		MDF	MEDIUM DENSITY FIBERBOARD	REFR	REFRIGERATOR	V	ATTIC VENT
		MECH	MECHANICAL	RET	RETAINING OR RETARDANT		
		MEMB	MEMBRANE	REG	REGISTER	W	
F		MET	METAL	RO	ROUGH OPENING	W	WEST OR WIDTH
FDN	FOUNDATION	MTL	METAL	(R)	REPLACE	WC	WATER CLOSET
FH	FIRE HYDRANT					WD	WOOD
FIN	FINISH					WDW	WINDOW
FF	FINISH FLOOR					WIO	WITHOUT
FL	FLOW LINE					WP	WATER PROOF
FLUOR	FLUORESCENT					WPT	WORKING POINT
FOC	FACE OF CONCRETE					WR	WATER RESISTANT
FOF	FACE OF FINISH						
FOS	FACE OF STUD						
FR	FIRE RATED						
FS	FLOOR SINK						
FSL	FIRE SPRINKLER						
FTG	FOOTING						
FURR	FURRING						

GRAPHIC SYMBOLS

	KEY NOTE		INTERIOR ELEVATION
	DETAIL REFERENCE		BUILDING SECTION
	WINDOW TYPE		WALL TYPE
	DOOR TYPE		DATUM REFERENCE
	REVISION		



TREE LEGEND:

TREE #	DIAMETER
489	16", 13"
490	14", 12"
491	18", 15", 10"
492	6"
493	15", 14", 12", 10"
494	7", 7", 5", 4"
495	18"
496	9"

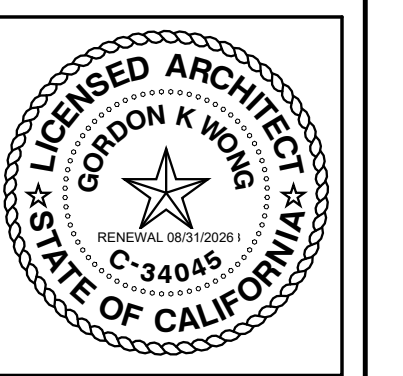
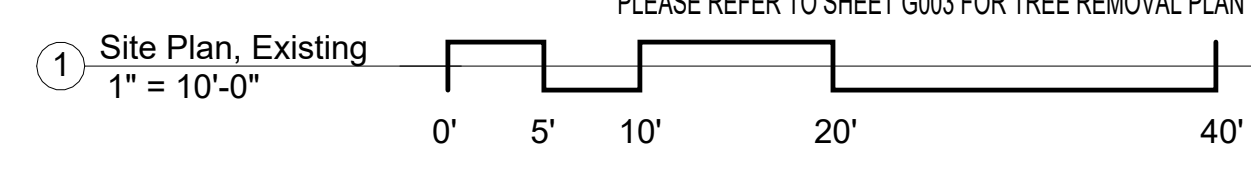
*PLEASE REFER TO SHEET G003 FOR TREE REMOVAL PLAN

SITE PLAN, EXISTING, LEGEND:

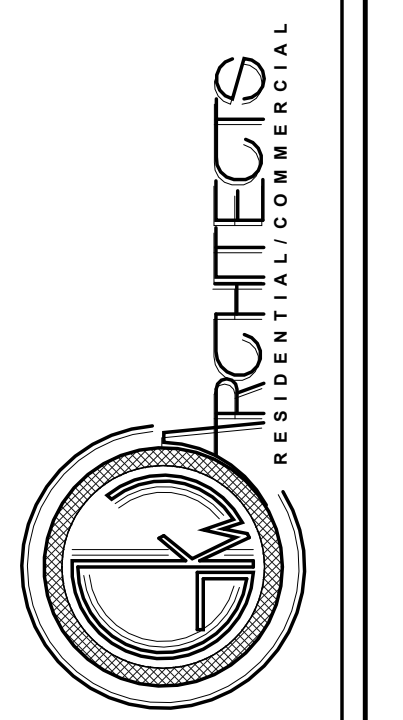
	CONCRETE		PROPERTY LINE
	GRASS / MULCH		BUILDING FOOTPRINT
	PAVERS		SETBACK
			CENTERLINE
			EASEMENT
			UNDERGROUND UTILITY
			SEWER LATERAL

SITE PLAN, EXISTING, KEYNOTES:

	100 AMP ELECTRICAL PANEL TO REMAIN
	(E) GAS METER, 3/4"
	WATER METER
	CLEAN OUT
	UTILITY BOX
	DRIVEWAY TO BE RECONSTRUCTED WITH AN INTENT TO ENSURE THE LEAST AMOUNT OF IMPACT TO THE DIRECT NEIGHBORS & HOA
	DRIVEWAY APPROACH TO BE DEMOLISHED AND RECONSTRUCTED
	TREE #495 TO BE TRANSPLANT, SEE ARBORIST REPORT



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General, Site, Notes & Plan, Existing

Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule

Number	Description	Date
1	Planning	2023.04.30

General, Site, Notes & Plan, Existing

G001

SCALE AS INDICATED

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PHOTO #1 - NORTHERN FACADE



PHOTO #2 - NORTHWEST CORNER



PHOTO #3 - WEST FACADE



1 Site Plan, Photographs
1/16" = 1'-0"

PROPERTY INFORMATION:

- | | | | | | | | | | | |
|--|--|--|--|--|---|---|--|--|--|---|
| <p>A 424 CRESCENT AVE, SUNNYVALE
2-STORY / HEIGHT 23 FT
APN: 211-35-117
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> | <p>B 426 CRESCENT AVE, SUNNYVALE
2-STORY / HEIGHT 23 FT
APN: 211-35-118
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> | <p>C 428 CRESCENT AVE, SUNNYVALE
2-STORY / HEIGHT 23 FT
APN: 211-35-119
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> | <p>E 411 OFFENBACH PL, SUNNYVALE
2-STORY / HEIGHT: 28 FT
APN: 211-35-051
ZONING: R-2
GENERAL PLAN: LOW MEDIUM DENSITY RESIDENTIAL (RLM)</p> | <p>F 413 OFFENBACH PL, SUNNYVALE
2-STORY / HEIGHT: 28 FT
APN: 211-35-050
ZONING: R-2
GENERAL PLAN: LOW MEDIUM DENSITY RESIDENTIAL (RLM)</p> | <p>F 415-17 OFFENBACH PL, SUNNYVALE
1-STORY / HEIGHT: 14 FT
APN: 211-35-029
ZONING: R-2
GENERAL PLAN: LOW MEDIUM DENSITY RESIDENTIAL (RLM)</p> | <p>C 419-21 OFFENBACH PL, SUNNYVALE
1-STORY / HEIGHT: 14 FT
APN: 211-35-032
ZONING: R-2
GENERAL PLAN: LOW MEDIUM DENSITY RESIDENTIAL (RLM)</p> | <p>H 1107 LAUTREC TERRACE, SUNNYVALE
2-STORY / HEIGHT 28 FT
APN: 211-35-106
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> | <p>I 1105 LAUTREC TERRACE, SUNNYVALE
2-STORY / HEIGHT 28 FT
APN: 211-35-105
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> | <p>J 1103 LAUTREC TERRACE, SUNNYVALE
2-STORY / HEIGHT 28 FT
APN: 211-35-104
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> | <p>K 1101 LAUTREC TERRACE, SUNNYVALE
2-STORY / HEIGHT: 28 FT
APN: 211-35-103
ZONING: R-3
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (RMED)</p> |
|--|--|--|--|--|---|---|--|--|--|---|



2 Streetscape, Public ROW
1/16" = 1'-0"



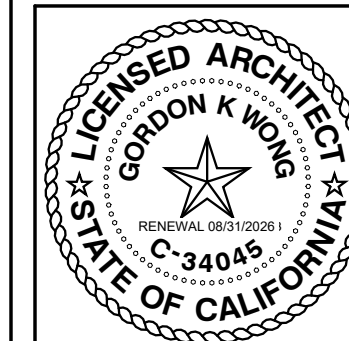
PHOTO #4 - SOUTHWEST CORNER



PHOTO #5 - SOUTHERN FACADE

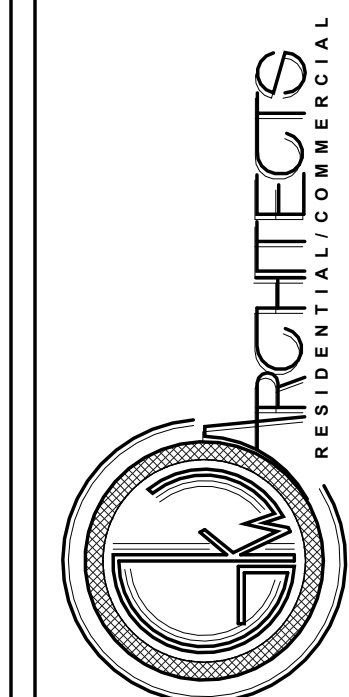


PHOTO #6 - REAR VIEW OF PROPERTY



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General, Site, Contextual Photos & Streetscape

Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date

General, Site, Contextual Photos & Streetscape

G002

SCALE AS INDICATED

12/23/2025 3:45:34 PM

Table 2: Assessment of Impacts
434 Crescent Ave., Sunnyvale CA

Tree #	Species	Diameter	Significant	Disposition	Impacts
489	Coast live oak	16,13	Yes	Remove	Within building footprint
490	Coast live oak	14,12	Yes	Remove	Within building footprint
491	Coast live oak	18,15,10	Yes	Remove	Within building footprint
492	Coast live oak	6	No	Remove	Low suitability for retention
493	Calif. pepper	15,14,12,10	Yes	Remove	Impacted by building footprint
494	Coast live oak	7,7,5,4	No	Remove	Within 4' of parking
495	Coast live oak	18	Yes	Transplant	Consider a two-phase root and crown pruning
496	Coast live oak	9	No	Remove	Within building footprint

Color coding:
Root loss within 1x DBH Root loss within 3x DBH
Root loss within 2x DBH Root loss >5x DBH

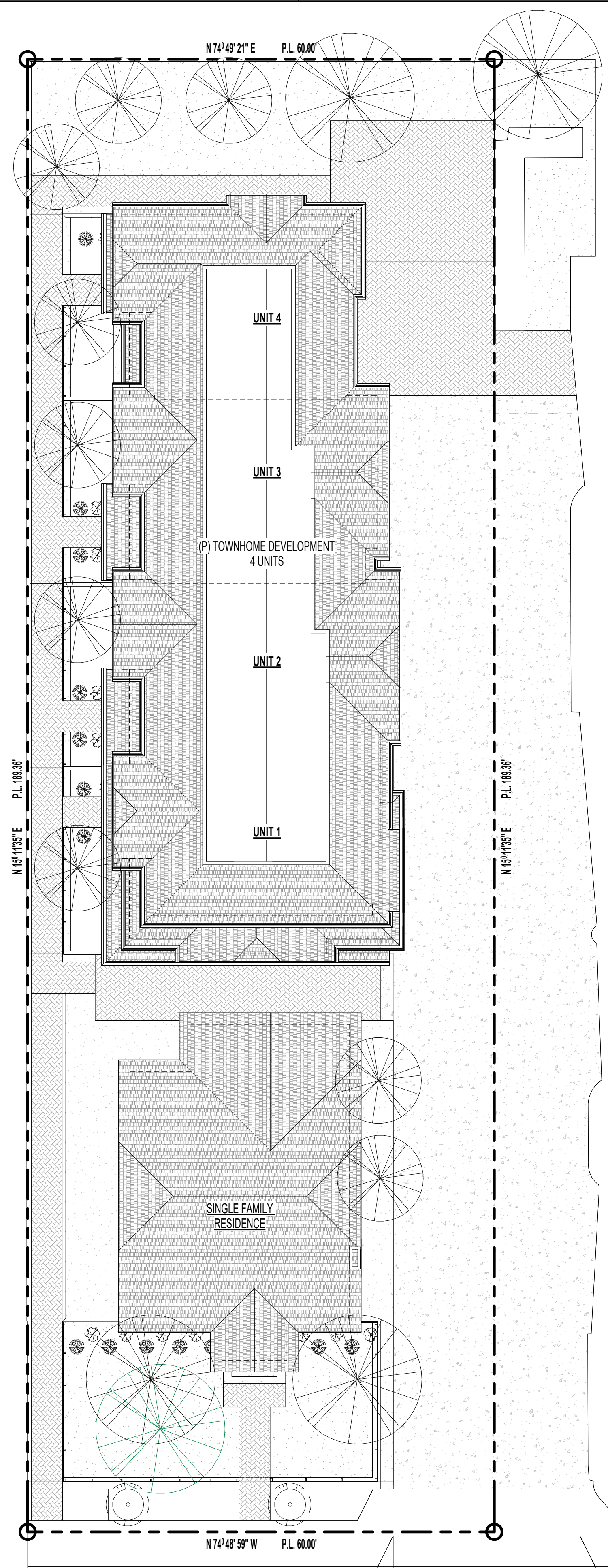
Appraisal worksheet (10th ed. of the Guide/2004 ed. of Species Classification & Group Assignment)

434 Crescent Ave., Sunnyvale CA

Largest commonly available - 24" box

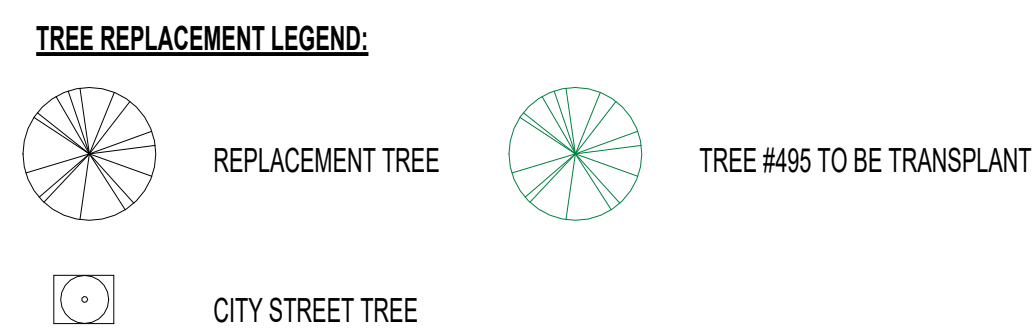


Tree No.	Species	Trunk Diameter	Cross sectional Area	Condition 0 to 1.0	Functional limitation	External limitation	Replacement tree Diameter	Total XS area	Unit Cost	Appraised Trunk area	Basic tree cost	Appraised value	Rounded value (\$50)	
489	Coast live oak	16,13	334	0.5	0.7	1	2.2	3.8	250	65,789,7368	334	22,224	7,778	7,800
490	Coast live oak	14,12	267	0.7	0.7	1	2.2	3.8	250	65,789,7368	267	17,816	8,730	8,750
491	Coast live oak	18,15,10	510	0.7	0.7	1	2.2	3.8	250	65,789,7368	510	33,803	16,563	16,550
492	Coast live oak	6	28,2744	0.5	0.5	1	2.2	3.8	250	65,789,7368	28,2744	2,110	528	550
493	Calif. pepper	15,14,12,10	523	0.5	0.7	1	2.2	3.8	250	65,789,7368	523	34,658	12,130	12,150
494	Coast live oak	7,7,5,4	109	0.5	0.5	1	2.2	3.8	250	65,789,7368	109	7,421	1,855	1,850
495	Coast live oak	18	254,4696	0.7	0.5	1	2.2	3.8	250	65,789,7368	254,4696	16,991	5,947	5,950
496	Coast live oak	9	63,6174	0.3	0.5	1	2.2	3.8	250	65,789,7368	63,6174	4,435	655	650
Total													54,250	

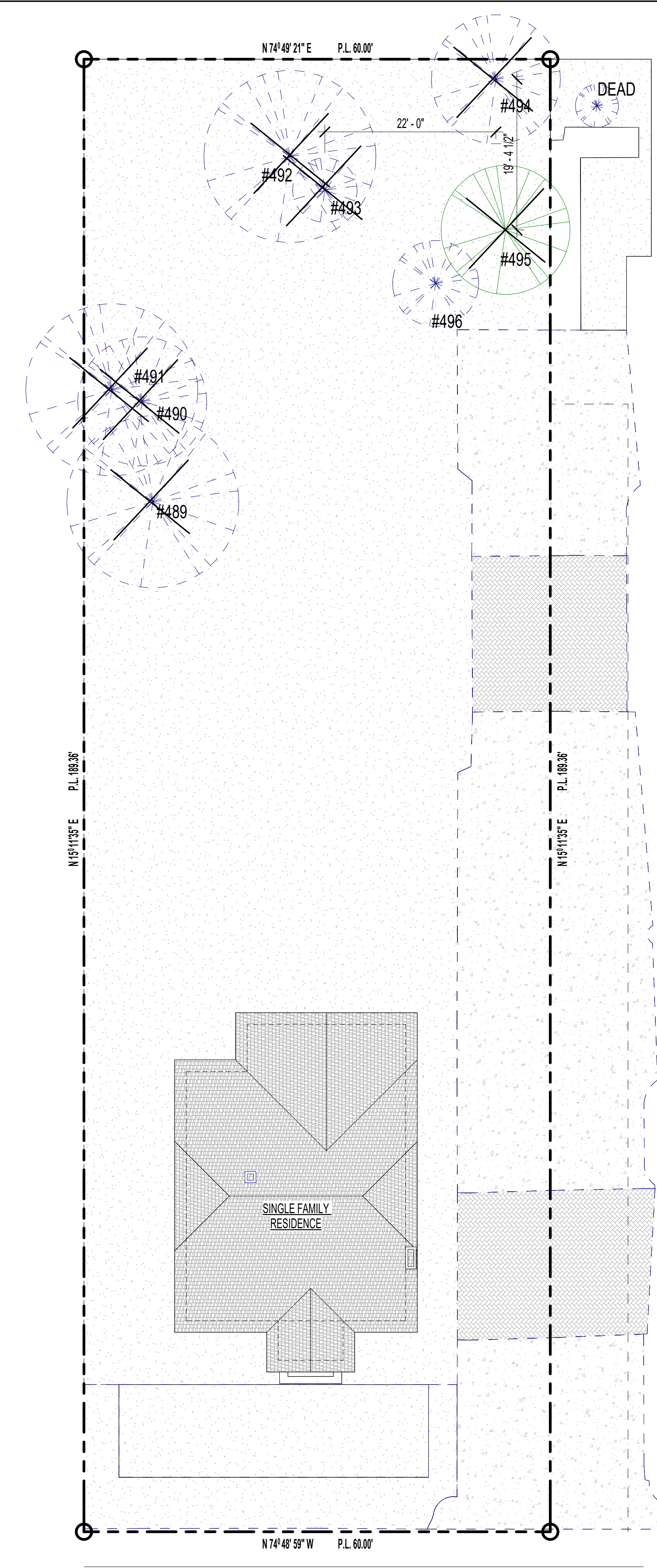


CRESCENT AVE

2 Site Plan, Tree Replacement Plan
1" = 10'-0"

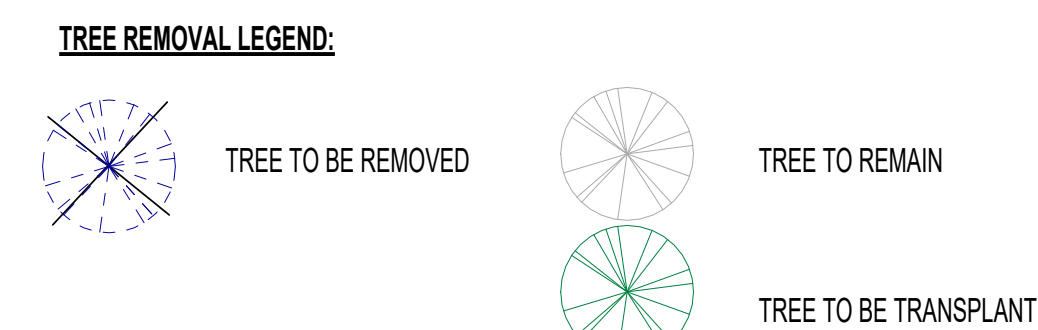


PROPOSED TREE TYPES:
REFER TO LANDSCAPE PLANS FOR MORE DETAILS ON PLANTING

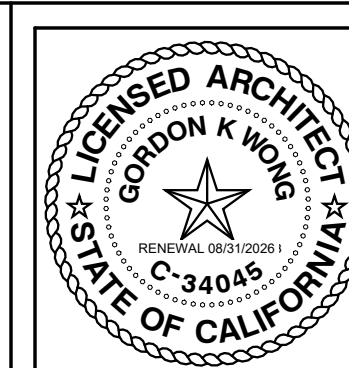


CRESCENT AVE

1 Site Plan, Tree Removal Plan
1" = 10'-0"

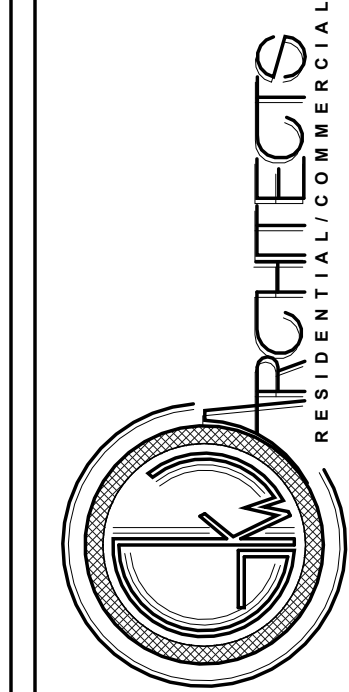


General, Site, Tree Removal Plan



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Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

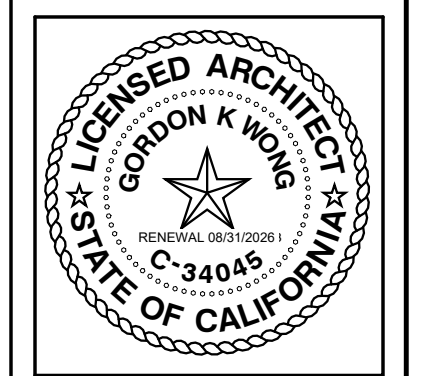
Number	Description	Date
01	Planning	2023.04.30

General, Site, Tree Removal Plan

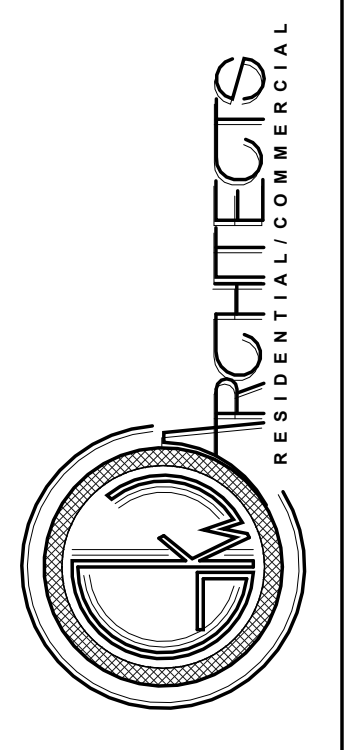
G003

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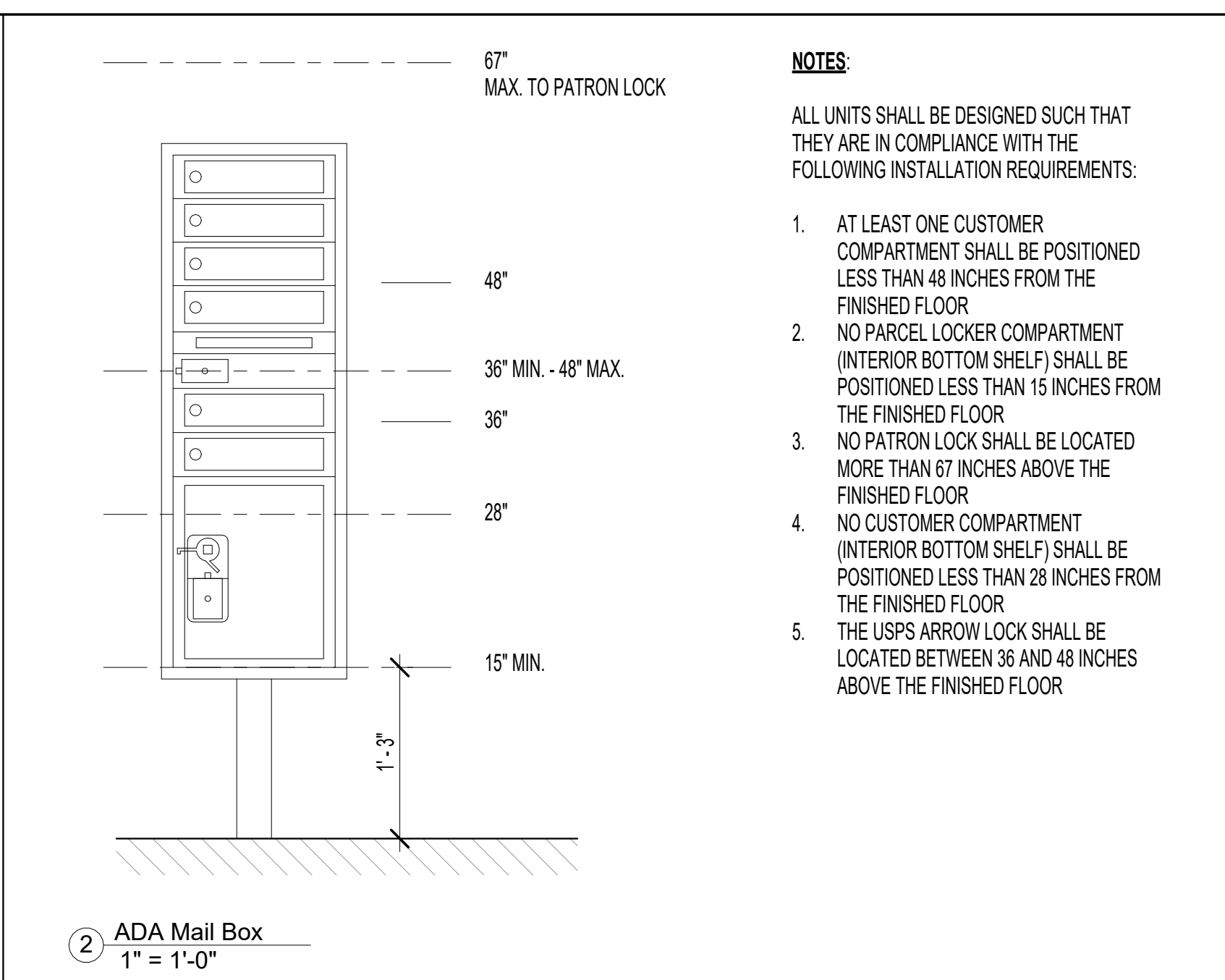
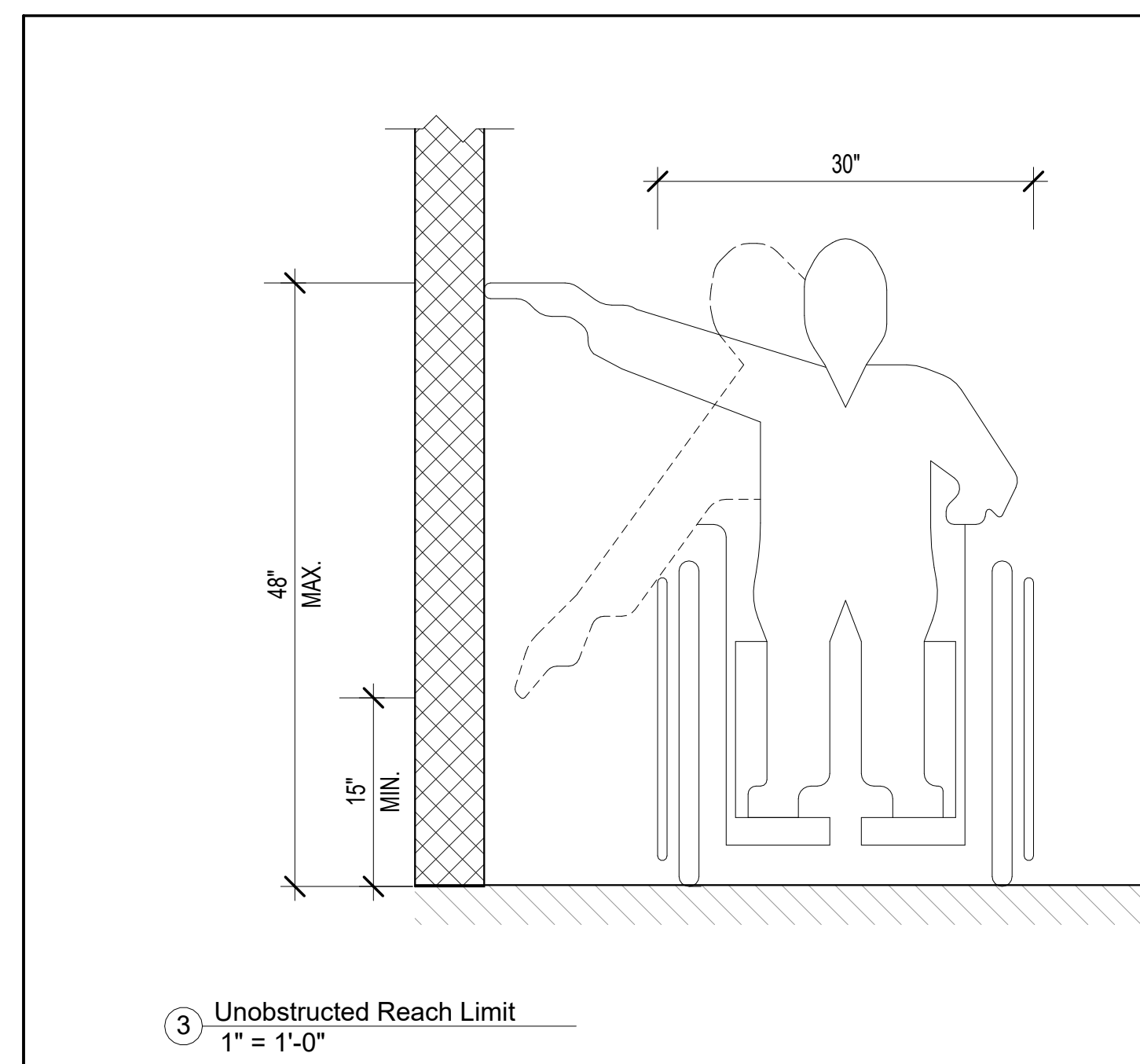
Residential Development
 434 Crescent Avenue
 SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2025.04.30
2	Planning	2025.11.13

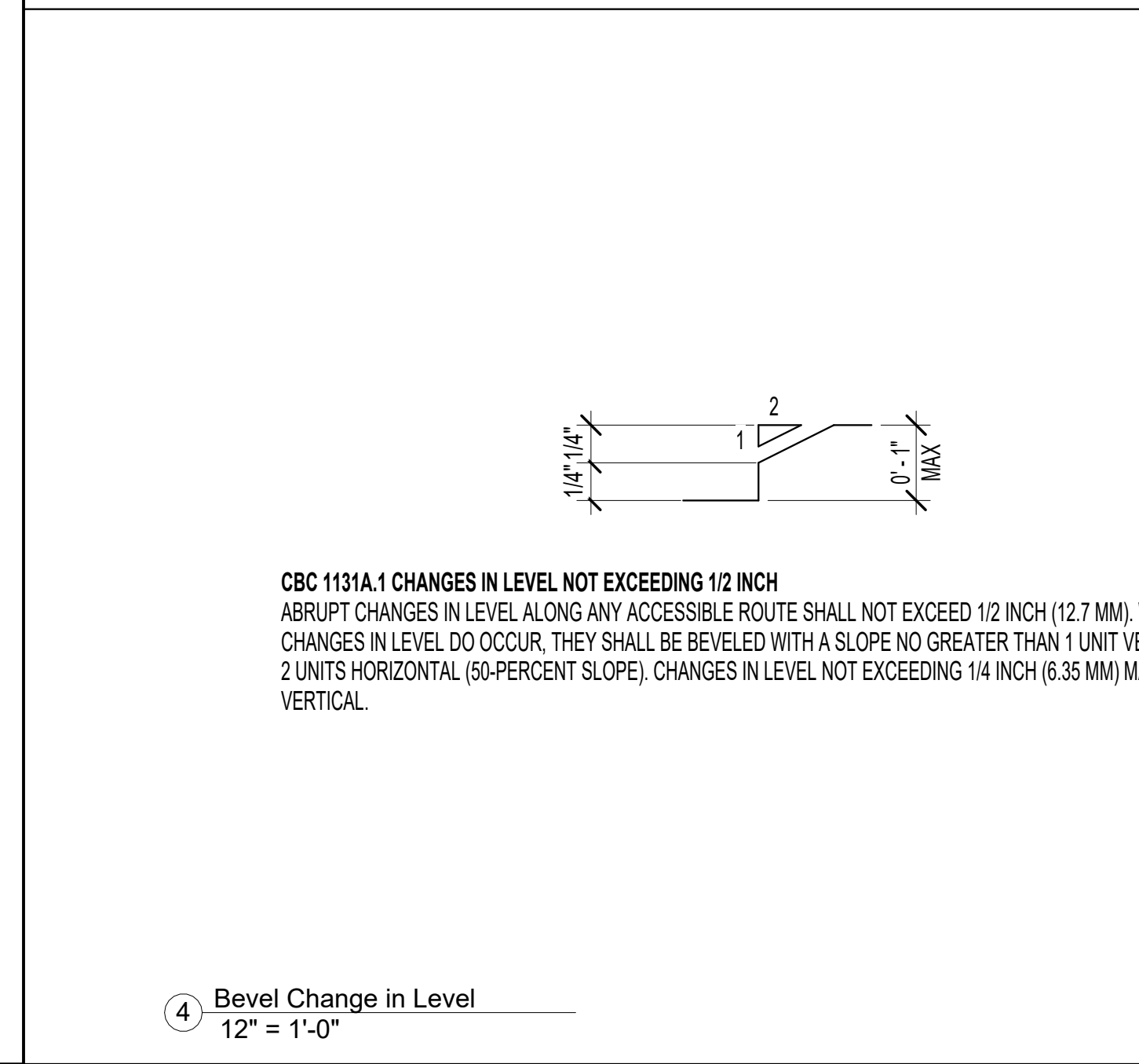
General, Site, Accessibility & Parking Analysis

G004

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- NOTES:**
- AT LEAST ONE CUSTOMER COMPARTMENT SHALL BE POSITIONED LESS THAN 48 INCHES FROM THE FINISHED FLOOR
 - NO PARCEL LOCKER COMPARTMENT (INTERIOR BOTTOM SHELF) SHALL BE POSITIONED LESS THAN 15 INCHES FROM THE FINISHED FLOOR
 - NO PATRON LOCK SHALL BE LOCATED MORE THAN 67 INCHES ABOVE THE FINISHED FLOOR
 - NO CUSTOMER COMPARTMENT (INTERIOR BOTTOM SHELF) SHALL BE POSITIONED LESS THAN 28 INCHES FROM THE FINISHED FLOOR
 - THE USPS ARROW LOCK SHALL BE LOCATED BETWEEN 36 AND 48 INCHES ABOVE THE FINISHED FLOOR

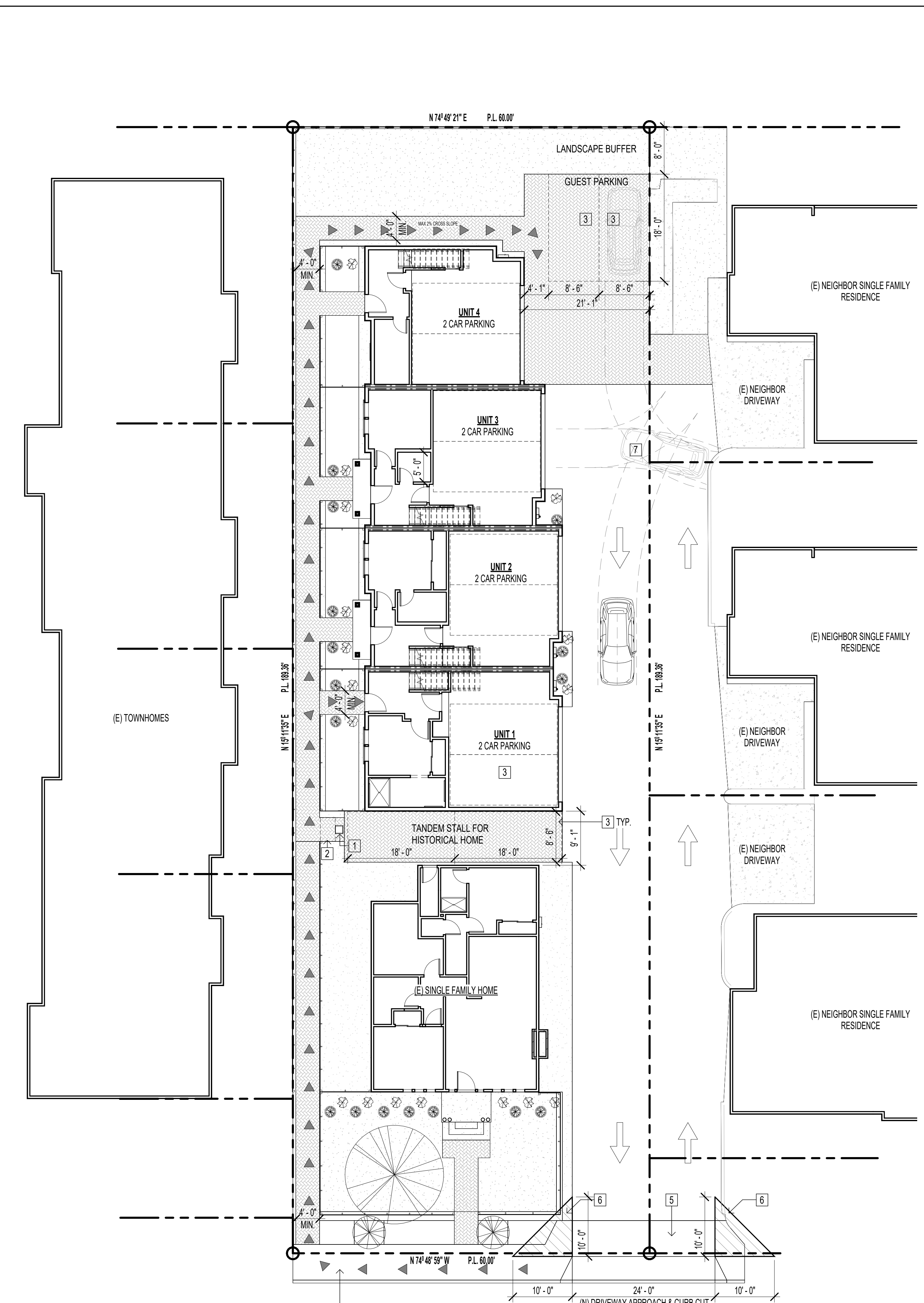
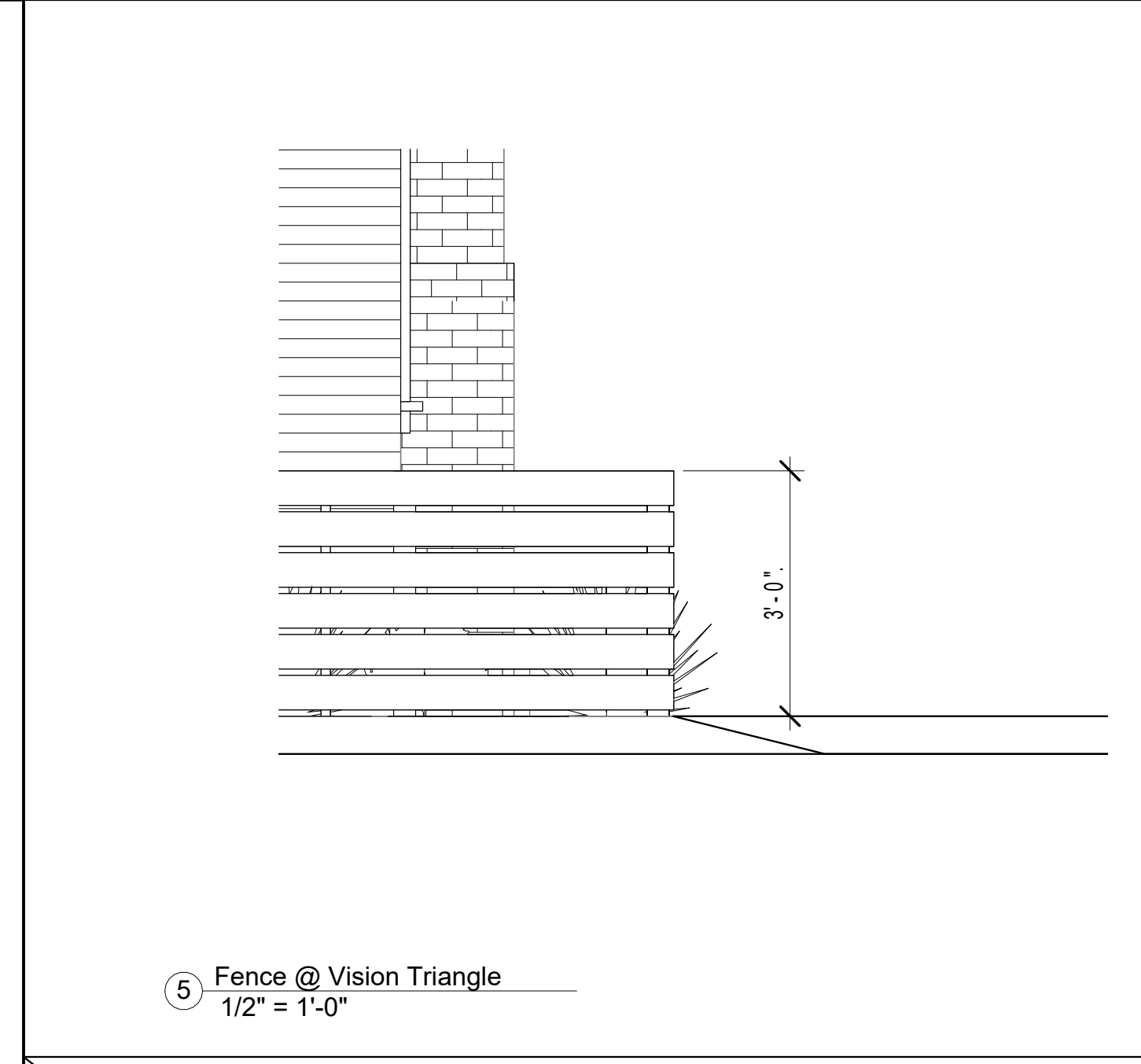


PARKING CALCULATION

UNIT #	# OF BEDRMS	# OF GARAGE SPACES	# OF REQ. UNASSIGNED SPACES
1	3	2	0.5
2	↓	↓	0.5
3	↓	↓	0.5
4	2	↓	0.5
TOTAL			2
HISTORICAL	3		2

OF SPACES PROVIDED: 2 EXTERIOR, TANDEM

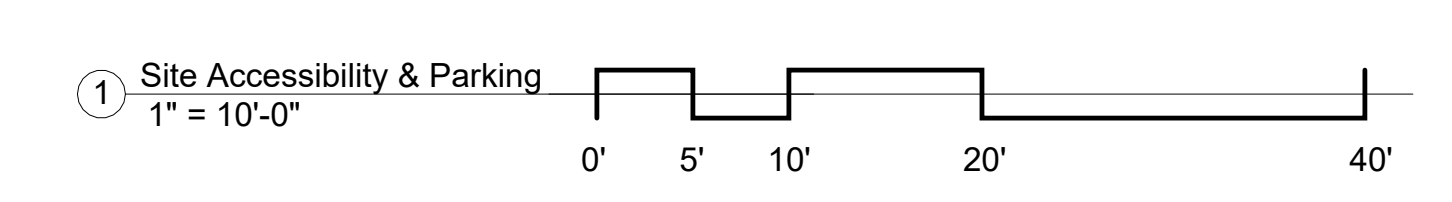
GUEST	# OF SPACES PROVIDED: 2 GUEST PARKINGS



CRESCENT AVE

- LEGEND:**
- ACCESSIBLE PATH OF TRAVEL
 - PROPERTY LINE
 - CENTER LINE
 - BUILDING FOOTPRINT
 - VISION TRIANGLE

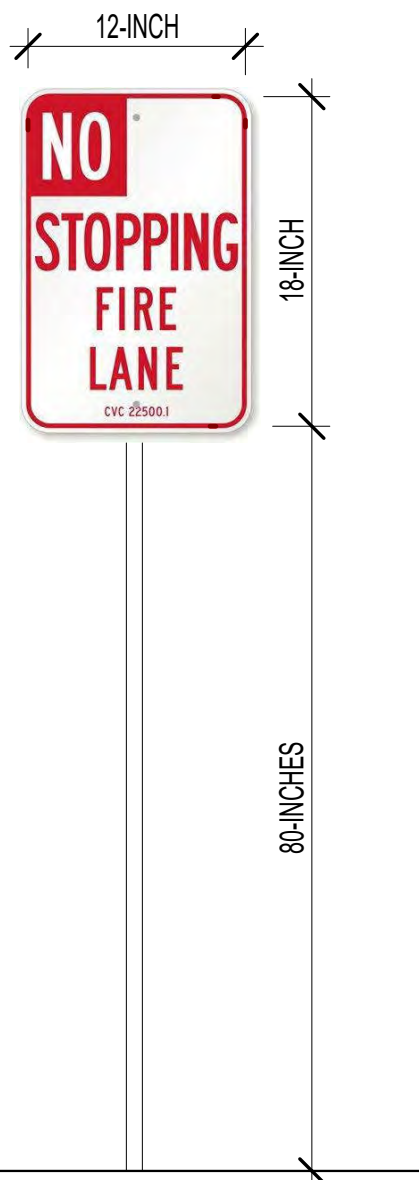
- ACCESSIBILITY ANALYSIS KEYNOTES:**
- ADA MAIL BOX, SEE 2 / G004
 - ADA CLEARANCE FOR MAIL BOX
 - 90 DEGREE PARKING SPACE, 8.5' x 18'
 - (E) SIDEWALK, PUBLIC RIGHT-OF-WAY
 - (P) SIDEWALK, PUBLIC RIGHT-OF-WAY
 - DRIVEWAY VISION TRIANGLE
 - VEHICLE BACKOUT MANEUVER



001

THE NUMBER POSTED UP TO 48" FROM THE PUBLIC STREET SHALL BE OF ONE SOLID COLOR WHICH IS CONTRASTING TO THE BACKGROUND AND BE AT LEAST 4" HIGH WITH A 1/2" STROKE.

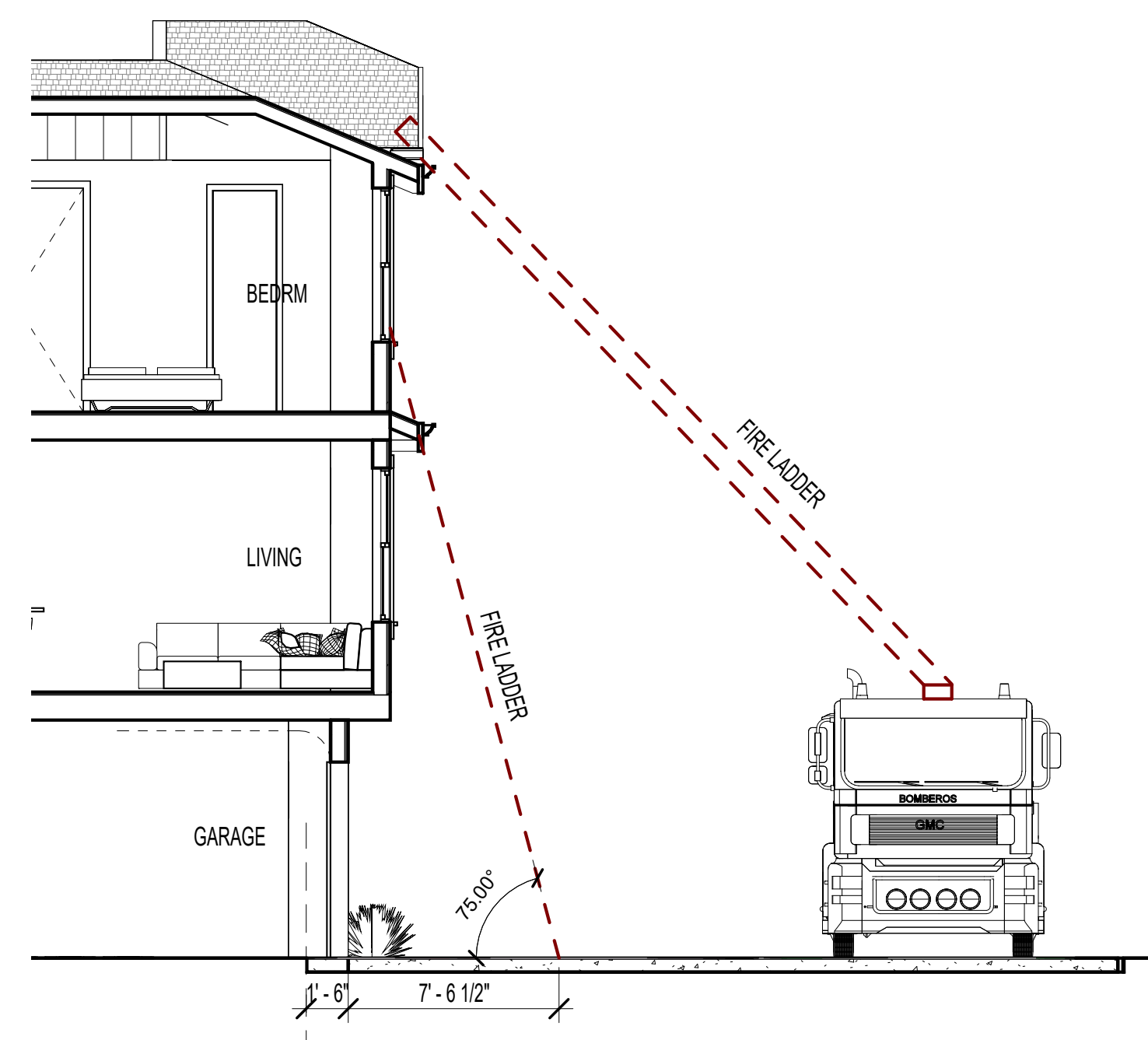
THE NUMBER WILL BE CORRECTED TO THE ASSIGNED SUITE NUMBER THAT CONFORM TO THE CURRENT ADDRESSING GUIDELINES.



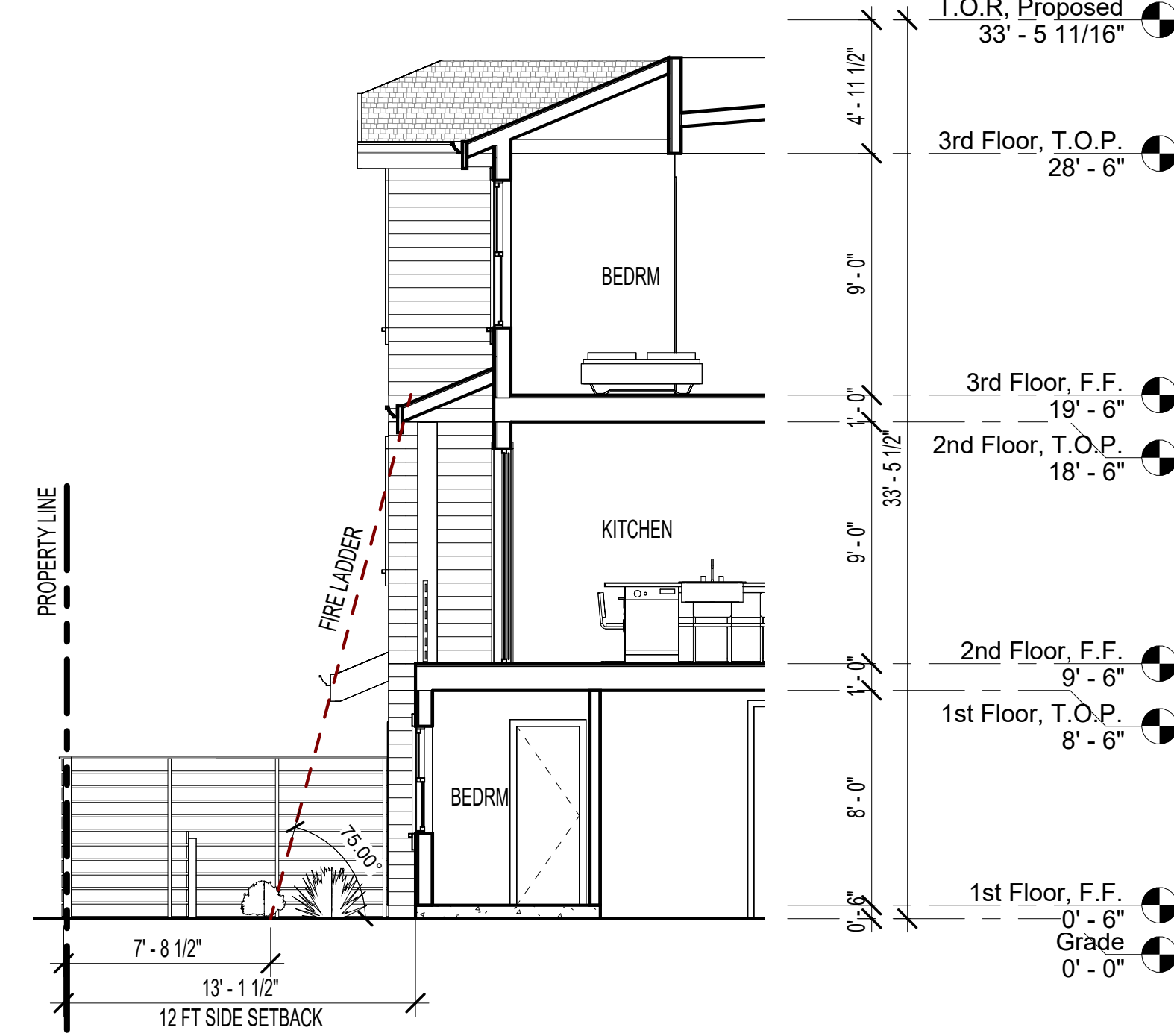
FIRE DEPARTMENT SANTA CLARA COUNTY SPEC. NO. A-6:
SIGNAGE: 2 SIGNS SHALL READ: "NO STOPPING-FIRE LANE 22500.1 C.V.C."
LETTERING SHALL BE NOT LESS THAN 1-INCH IN HEIGHT AND CLEARLY VISIBLE FROM A VEHICLE.

3 Premise Identification Numbers
N/A

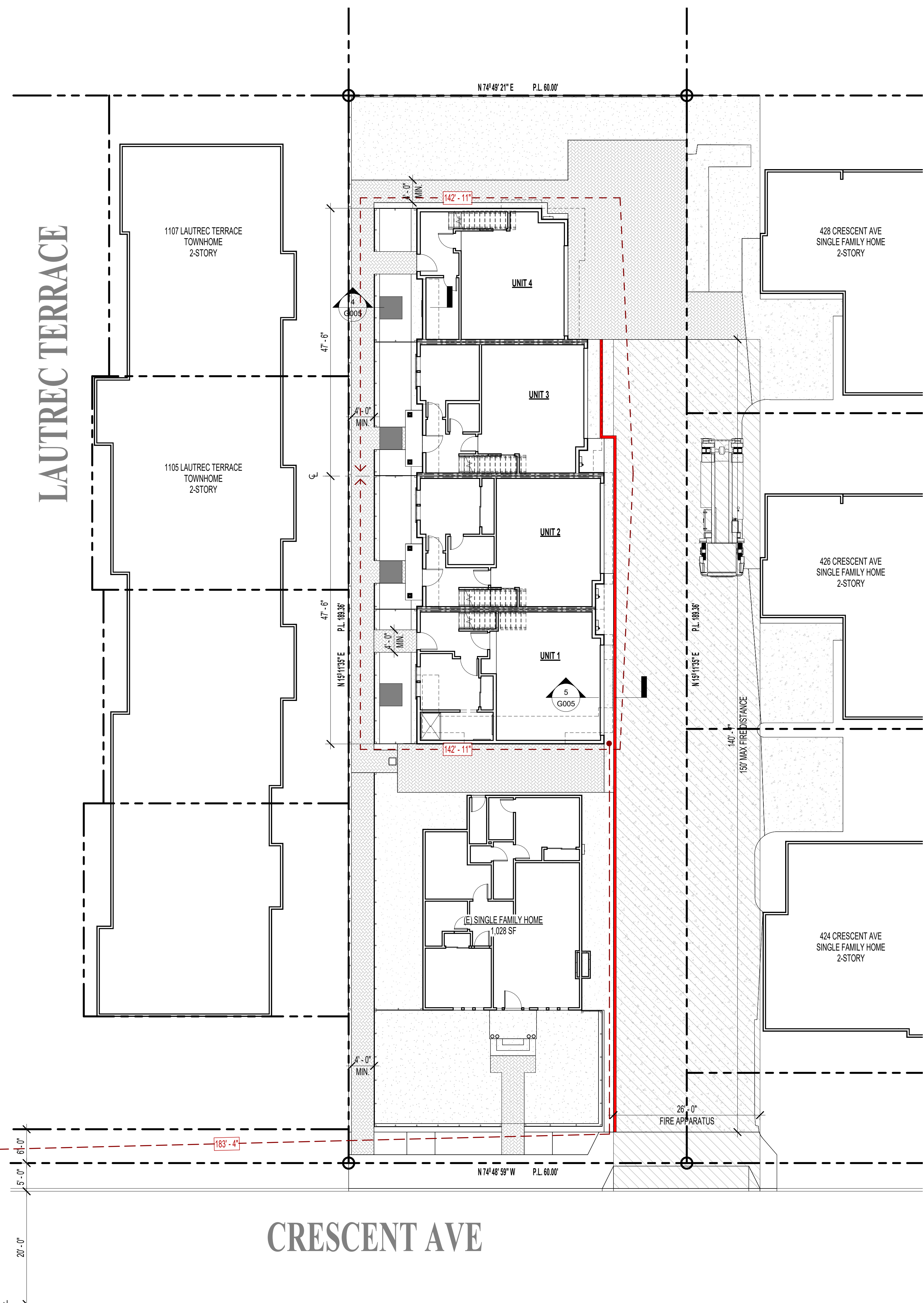
2 Access Road Signage
N/A



5 Fire Ladder Access 2
3/16" = 1'-0"



4 Fire Ladder Access 1
3/16" = 1'-0"



CRESCENT AVE

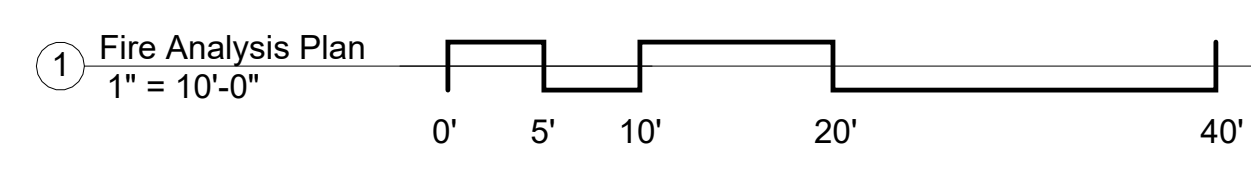
LEGEND

- AERIAL FIRE APPARATUS ACCESS ROAD, 26' WIDE MIN.
- ACCESS ROAD MARKING
- FIRE LADDER PAD
- FIRE APPARATUS ACCESS DISTANCE
- DISTANCE FROM FIRE HYDRANT

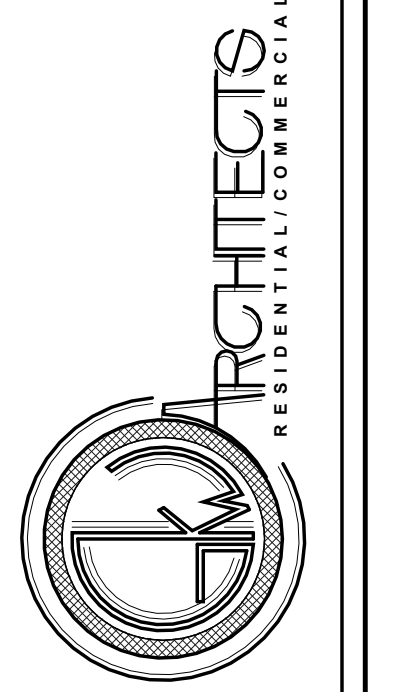
EMERGENCY ACCESS KEYNOTES:

- 1 FIRE HYDRANT
- 2 ACCESS ROAD SIGNAGE
- 3 WALKWAY GATE, 36", REMAIN UNLOCKED

NOTE:
FIRE LANE AND TURNAROUND STRIPING SHALL BE PROVIDED AND VERIFIED BY SITE INSPECTION.



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General, Site, Fire Apparatus, Access & Utilities

Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule

Number	Description	Date
1	Planning	2025.04.30
2	Planning	2025.11.13

General, Site, Fire Apparatus, Access & Utilities

G005
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CONTINUE

- E. ENCLOSURES
1. GENERAL REQUIREMENTS
 - a. ANY ADDITIONS TO NONRESIDENTIAL BUILDINGS WHICH EQUAL OR EXCEED THIRTY PERCENT OF THE EXISTING FLOOR AREA OF A BUILDING OR BUILDINGS ON A SITE SHALL REQUIRE THE PROPERTY OWNER TO PROVIDE ADEQUATE ENCLOSURES FOR THE STORAGE OF RECYCLING CONTAINERS AND SOLID WASTE CONTAINERS.
 - b. EXCEPT WHEN APPROVED AS PART OF A SPECIAL DEVELOPMENT PERMIT OR USE PERMIT, PROPOSED RECYCLING AND SOLID WASTE ENCLOSURES SHALL REQUIRE THE APPROVAL OF A MISCELLANEOUS PLAN PERMIT BY THE DIRECTOR OF COMMUNITY DEVELOPMENT. PLANS DEPICTING THE PROPOSED DESIGN, MATERIALS, SIZE AND LOCATION OF ENCLOSURES, AND THE NUMBER, SIZE, TYPE AND PLACEMENT OF BINS AND CONTAINERS SHALL ACCOMPANY EACH APPLICATION SUBMITTED FOR APPROVAL. THE DESIGN AND CONSTRUCTION OF RECYCLING AND SOLID WASTE ENCLOSURES SHALL COMPLY WITH ESTABLISHED CITY STANDARDS. THE SOLID WASTE PROGRAM MANAGER SHALL ADVISE THE DIRECTOR OF COMMUNITY DEVELOPMENT ON THE SIZE, LOCATION, NUMBER AND PLACEMENT OF BINS, CONTAINERS AND ENCLOSURES REQUIRED FOR A USE. THE PUBLIC SAFETY DEPARTMENT SHALL ADVISE THE DIRECTOR OF COMMUNITY DEVELOPMENT ON FIRE SAFETY AND HAZARDOUS MATERIALS CONTAINMENT REQUIREMENTS. THE DIRECTOR OF COMMUNITY DEVELOPMENT MAY APPROVE AN APPLICATION, REQUIRE MODIFICATIONS, OR MAY IMPOSE ADDITIONAL REQUIREMENTS TO ENSURE THE SAFE AND EFFICIENT COLLECTION OF SOLID WASTE AND RECYCLABLE MATERIALS.
 - c. EACH ENCLOSURE FOR DISCARDED MATERIALS CONTAINERS SHALL HAVE FOUR SIDES, ONE OF WHICH SHALL INCLUDE A DOOR OR GATE. ENCLOSURE WALLS SHALL BE A MINIMUM OF SIX FEET HIGH AND FULLY SCREEN ALL MATERIALS AND CONTAINERS FROM PUBLIC VIEW.
 - d. RECYCLING AND SOLID WASTE ENCLOSURES SHALL NOT BE LOCATED IN ANY PARKING, LANDSCAPE OR SETBACK AREAS, INCLUDING ANY INCREASED SETBACKS ON COMMERCIAL AND INDUSTRIAL PROPERTIES AS REQUIRED BY THE ZONING CODE, UNLESS OTHERWISE APPROVED BY USE PERMIT.
 - e. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE AND CLEANUP OF THE ENCLOSURES. THE SURFACE OF THE ENCLOSURE AND ALL AREAS USED FOR ROLL-OUT AND COLLECTION SHALL BE MAINTAINED IN A GOOD CONDITION THAT DOES NOT CREATE A SAFETY HAZARD OR IMPEDE ACCESS BY THE AUTHORIZED COLLECTOR.
 - f. AUTHORIZED COLLECTORS OF DISCARDED MATERIALS (AS DEFINED IN CHAPTER 8.16) ARE RESPONSIBLE FOR THE MAINTENANCE OF THEIR RESPECTIVE BINS AND CONTAINERS.
 - g. DRIVEWAY OR AISLE LEADING TO THE ENCLOSURE SHALL BE A MINIMUM OF SIXTEEN FEET IN WIDTH.
 - h. IN A COMPLEX WHERE DRIVEWAYS DO NOT EXTEND FROM STREET TO STREET, A TURNAROUND AREA FOR THE COLLECTION VEHICLE SHALL BE PROVIDED.
 - i. VEHICLE ACCESS TO THE ENCLOSURE SHALL BE UNOBSTRUCTED AND PROVIDE A MINIMUM OF FIFTEEN FEET VERTICAL TRAVEL CLEARANCE.
 - j. LOADING AREA SHALL PROVIDE A MINIMUM TWENTY FEET VERTICAL OPERATIONAL CLEARANCE. A CONCRETE PAD CONSISTING OF FIVE INCH AGGREGATE BASE AND SIX INCH PORTLAND CEMENT PAVING, OR EQUIVALENT, AS APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT SHALL BE CONSTRUCTED IN FRONT OF EACH ENCLOSURE FOR THE COLLECTION VEHICLE. THE PAD SHALL HAVE A LEVEL SURFACE WHERE THE CONTAINERS ARE USED.
 - k. RECYCLING AND SOLID WASTE ENCLOSURES SHALL BE LOCATED WITHIN ONE HUNDRED FIFTY FEET BY PATH OF TRAVEL FROM ANY DWELLING UNIT OR COMMERCIAL BUSINESS. THE PATH OF TRAVEL SHALL NOT INCLUDE ANY PORTION OF THE PUBLIC RIGHT-OF-WAY.
 2. RESIDENTIAL ZONING DISTRICTS
 - A. ENCLOSURES SHALL BE CONSTRUCTED OF MASONRY WITH EXTERIOR MATERIAL THAT MATCHES THE MAIN STRUCTURE.
 - B. ENCLOSURE DOOR SHALL BE OF SOLID STEEL OR ALUMINUM.
- F. CART SERVICE FOR RESIDENTIAL USES
1. SINGLE-FAMILY AND MULTIFAMILY USES OF THREE OR FEWER UNITS SHALL STORE RECYCLING AND SOLID WASTE CONTAINERS SO THAT THEY ARE EITHER SCREENED FROM PUBLIC VIEW FROM THE PUBLIC RIGHT-OF-WAY OR STORED IN THE SIDE YARD OF THE PREMISES BEHIND THE FACE OF THE HOUSE. CONTAINERS MAY REMAIN IN PUBLIC VIEW FOR PURPOSES OF COLLECTION IN ACCORDANCE WITH CHAPTER 8.16.
 2. TOWNHOUSE USES WITH FOUR OR MORE UNITS AND DEDICATED ATTACHED GARAGES THAT CHOOSE TO PROVIDE INDIVIDUAL CART SERVICE SHALL DESIGN FACILITIES IN ACCORDANCE WITH THE CRITERIA PROVIDED IN THE "DESIGN GUIDELINES FOR RECYCLING, ORGANICS AND SOLID WASTE SERVICES."
 - A. EXCEPT WHEN APPROVED AS PART OF A SPECIAL DEVELOPMENT PERMIT OR USE PERMIT, PROPOSED INDIVIDUAL CART SERVICE FOR STORAGE AND COLLECTION OF DISCARDED MATERIALS IN MULTIFAMILY DEVELOPMENTS OF FOUR OR MORE UNITS SHALL REQUIRE THE APPROVAL OF A MISCELLANEOUS PLAN PERMIT BY THE DIRECTOR OF COMMUNITY DEVELOPMENT. THE DIRECTOR OF COMMUNITY DEVELOPMENT MAY APPROVE AN APPLICATION, REQUIRE MODIFICATIONS, OR MAY IMPOSE ADDITIONAL REQUIREMENTS TO ENSURE THE SAFE AND EFFICIENT COLLECTION OF SOLID WASTE AND RECYCLABLE MATERIALS. THE SOLID WASTE PROGRAM MANAGER SHALL ADVISE THE DIRECTOR OF COMMUNITY DEVELOPMENT ON ADEQUATE FACILITIES REQUIRED FOR THE USE. THE PUBLIC SAFETY DEPARTMENT SHALL ADVISE THE DIRECTOR OF COMMUNITY DEVELOPMENT ON FIRE SAFETY AND HAZARDOUS MATERIALS CONTAINMENT REQUIREMENTS.
- G. EXEMPTIONS. REQUIREMENTS OF THIS SECTION SHALL NOT APPLY TO:
1. RECYCLING BINS NOT ACCESSIBLE TO THE GENERAL PUBLIC USED EXCLUSIVELY BY A BUSINESS FOR ITS RECYCLING PROGRAM.
 2. RECYCLING CENTERS FOR WHICH A USE PERMIT OR SPECIAL DEVELOPMENT PERMIT IS REQUIRED.

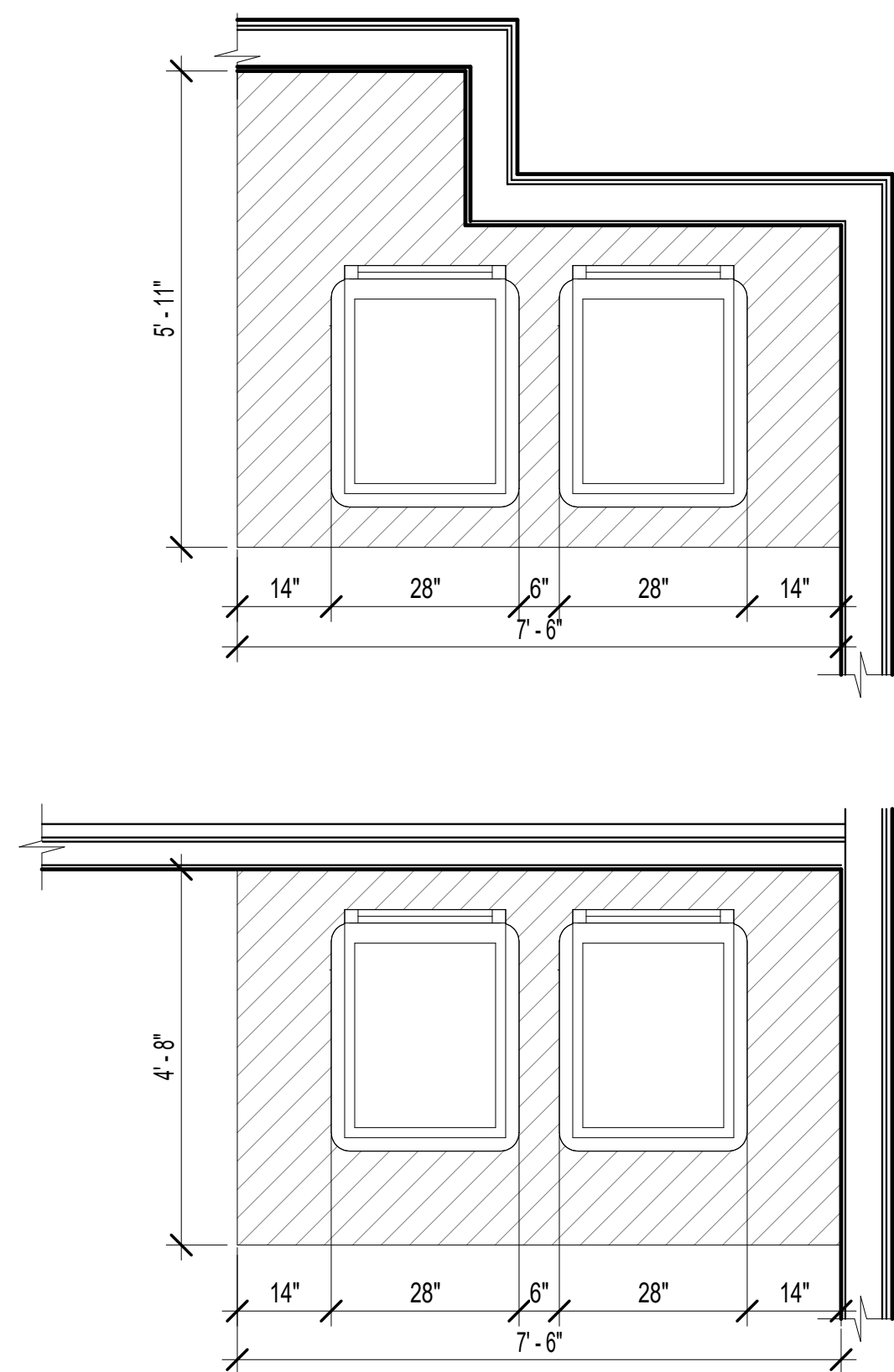
SMC 8.15 DESIGN GUIDELINES FOR RECYCLING, ORGANICS AND SOLID WASTE

- 8.16.050 PLACEMENT OF DISCARDED MATERIALS CONTAINERS
- A. NO MIXED WASTE, ORGANIC MATERIALS, OR RECYCLABLE MATERIALS CONTAINER OR RECEPTACLE, OTHER THAN ONE OWNED BY THE CITY AND DESIGNATED FOR PUBLIC USE, SHALL BE PLACED, STORED, OR KEPT IN OR ON ANY PUBLIC STREET, SIDEWALK, FOOTPATH, OR ANY PUBLIC PLACE WHATSOEVER, EXCEPT AS FOLLOWS:
 1. CONTAINERS MAY BE PLACED CURBSIDE OR IN A DESIGNATED COLLECTION LOCATION, OR IN A LOCATION ACCESSIBLE FOR REMOVING AND EMPTYING BY THE AUTHORIZED COLLECTOR, NO EARLIER THAN 12:01 A.M. ON THE DAY PRECEDING THE SCHEDULED COLLECTION DAY.
 2. COLLECTION CONTAINERS SHALL BE REMOVED FROM DESIGNATED COLLECTION LOCATION, PUBLIC STREET, SIDEWALK, OR CURB AFTER COLLECTION NO LATER THAN SIX A.M. ON THE DAY AFTER SCHEDULED COLLECTION.
 3. IF THE AUTHORIZED COLLECTOR DOES NOT COLLECT A CONTAINER AS SCHEDULED OR A SERVICE TAG HAS BEEN ISSUED, THAT CONTAINER MAY BE LEFT AT THE CURB OR OTHER DESIGNATED COLLECTION LOCATION UNTIL COLLECTED/COLLECTED/EMPTIED FOR NO MORE THAN TWENTY-FOUR HOURS.
 4. IN THE EVENT THAT THE CITY AUTHORIZES PERIODIC COLLECTION OF UN-CONTAINERIZED MIXED WASTE, ORGANIC MATERIALS, RECYCLABLE MATERIALS, AND/OR LARGE, BULKY ITEMS (FURNITURE, APPLIANCES, MATTRESSES, ROLLS OF CARPET, ETC.) THROUGH A NEIGHBORHOOD CLEAN-UP DAY, ON-CALL BULKY ITEM COLLECTION OR SIMILAR PROGRAM, THOSE ITEMS MAY NOT BE PLACED CURBSIDE MORE THAN TWENTY-FOUR HOURS BEFORE THE SCHEDULED COLLECTION DAY.
 - B. COMMERCIAL AND LARGE MULTI-FAMILY PREMISES. PLACEMENT OF CONTAINERS, SIGNAGE, AND ENCLOSURE REQUIREMENTS:
 1. COLLECTION CONTAINERS FOR ALL REQUIRED MATERIALS SHALL BE PLACED REASONABLY CLOSE TO EVERY MIXED WASTE CONTAINER SUCH THAT THE ORGANIC MATERIALS, RECYCLABLE MATERIALS AND MIXED WASTE CONTAINERS ARE EQUALLY ACCESSIBLE.
 2. COLLECTION CONTAINERS MUST BEAR PROMINENT SIGNAGE ON OR NEAR THE CONTAINERS CLEARLY DESCRIBING THE PROPER SEGREGATION AND STORAGE OF MIXED WASTE, ORGANIC MATERIALS, AND RECYCLABLE MATERIALS.
 3. IF, IN THE JUDGMENT OF THE DIRECTOR, A PROPERTY'S EXISTING DESIGNATED ENCLOSURE(S) FOR ALL REQUIRED MATERIALS CONTAINERS DOES NOT HAVE ADEQUATE CAPACITY TO ACCOMMODATE ALL TYPES OF CONTAINERS, THE PROPERTY OWNER MAY LOCATE ONE OR MORE CONTAINERS OUTSIDE OF THE EXISTING ENCLOSURE TO COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER SO LONG AS THE MATERIALS ARE PROPERLY ENCLOSED IN LIDDED, LEAK-PROOF CONTAINERS. IN SUCH AN INSTANCE, THE PROPERTY OWNER WOULD NOT BE HELD IN VIOLATION OF THIS SECTION AND THE EXISTING ENCLOSURE WOULD BE CONSIDERED LEGAL NONCONFORMING UNDER CHAPTER 18.50 OF THIS CODE. NEW ENCLOSURES MUST COMPLETELY CONTAIN MIXED WASTE, ORGANIC MATERIALS AND RECYCLABLE MATERIALS COLLECTION CONTAINERS IN COMPLIANCE WITH SECTION 18.38.030 OF THIS CODE.

18.38.030 FACILITIES FOR RECYCLABLE MATERIALS, ORGANIC MATERIALS, AND SOLID WASTE

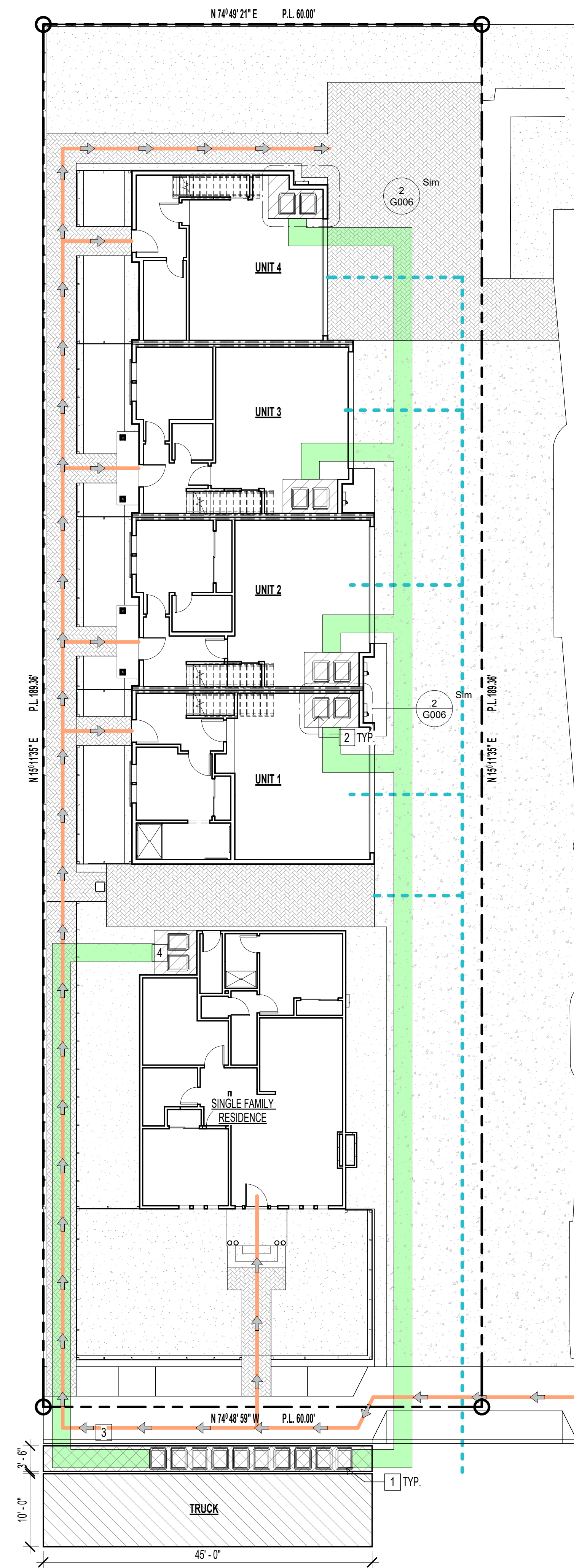
- A. ALL RESIDENTIAL AND NONRESIDENTIAL USES SHALL PROVIDE ADEQUATE FACILITIES ON SITE FOR RECYCLABLE MATERIALS, ORGANIC MATERIALS, AND SOLID WASTE (DISCARDED MATERIALS) AS REQUIRED BY CHAPTER 8.16 OF THIS CODE. SUCH FACILITIES (INCLUDING CARTS, BINS, CONTAINERS, AND ENCLOSURES) SHALL BE ADEQUATE IN CAPACITY, NUMBER AND DISTRIBUTION TO SERVE THE USES ON-SITE. THE DIRECTORS OF ENVIRONMENTAL SERVICES AND COMMUNITY DEVELOPMENT SHALL DEVELOP DETAILED PROCEDURES AND GUIDELINES TO ENSURE THE ORDERLY AND EFFICIENT ADMINISTRATION OF THE REQUIREMENTS OF THIS CHAPTER. THESE PROCEDURES AND GUIDELINES ARE INCORPORATED INTO THIS CHAPTER AS THE "DESIGN GUIDELINES FOR RECYCLING, ORGANICS AND SOLID WASTE SERVICES" WHICH MAY BE AMENDED FROM TIME TO TIME BY THE DIRECTORS OF ENVIRONMENTAL SERVICES AND COMMUNITY DEVELOPMENT.
- B. NONRESIDENTIAL USES SHALL PROVIDE ENCLOSURES FOR THE STORAGE OF DISCARDED MATERIALS.
- C. SINGLE-FAMILY AND MULTIFAMILY USES OF THREE OR FEWER UNITS SHALL OBTAIN CONTAINERS FOR DISCARDED MATERIALS IN ACCORDANCE WITH CHAPTER 8.16.
- D. ALL RESIDENTIAL USES WITH FOUR OR MORE UNITS SHALL INCLUDE CENTRALIZED ENCLOSURES EXCEPT THAT TOWNHOUSE USES WITH DEDICATED ATTACHED GARAGES SHALL PROVIDE FOR THE STORAGE OF DISCARDED MATERIALS IN ACCORDANCE WITH THE OPTIONS AND CRITERIA PROVIDED IN THE "DESIGN GUIDELINES FOR RECYCLING, ORGANICS AND SOLID WASTE SERVICES."

E. ENCLOSURES



- NOTES:
1. CART TO BE 28 INCHES WIDE X 34 INCHES DEEP.
 2. WHEN STORED SIDE-TO-SIDE, CARTS REQUIRE 6 INCHES CLEARANCE.
 3. EACH TOWNHOME GARAGE TO HAVE A MINIMUM 35 SQ FT FOR CART STORAGE

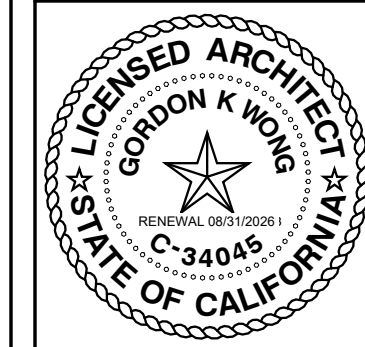
2 Waste Cart Storage Detail
1/2" = 1'-0"



- LEGEND
- CART PATHWAY
 - TRUCK
 - WASTE COLLECTION LOCATION, CURBSIDE
 - CART STORAGE, MIN. 35 SQ FT
 - AUTOMOBILE
 - PEDESTRIAN
 - PROPERTY LINE

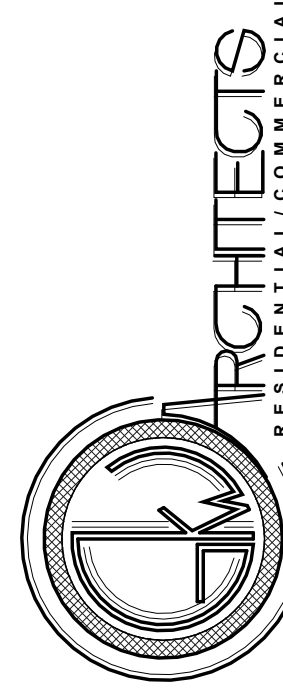
- KEYNOTES:
- 1 10 WASTE CARTS (64 GALLON), CURBSIDE
 - 2 2 TRASH CARTS (28" X 34") IN EACH UNIT'S GARAGE, INCLUDED:
 - A. GARBAGE / FOOD SCRAPS, FURNISHED BY OWNER
 - B. RECYCLABLE, FURNISHED BY OWNER
 - C. CART TO HAVE 6 INCHES CLEARANCE WHEN STORED SIDE-TO-SIDE
 - 3 NO PARKING STREET SIGNAGE DURING WASTE PICK-UP / COLLECTION SERVICING DAY. FURTHER INFORMATION ABOUT SCHEDULING WILL BE DETERMINED BY THE CITY
 - 4 SMOOTH SURFACE, MIN. SLOPE (NO GRAVEL OR ANY SURFACE MATERIAL THAT WILL INCREASE THE EFFORT NECESSARY TO MOVE THE CARTS)

1 Waste Management & Circulation Plan
1" = 10'-0"



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General, Site, Waste Management Plan

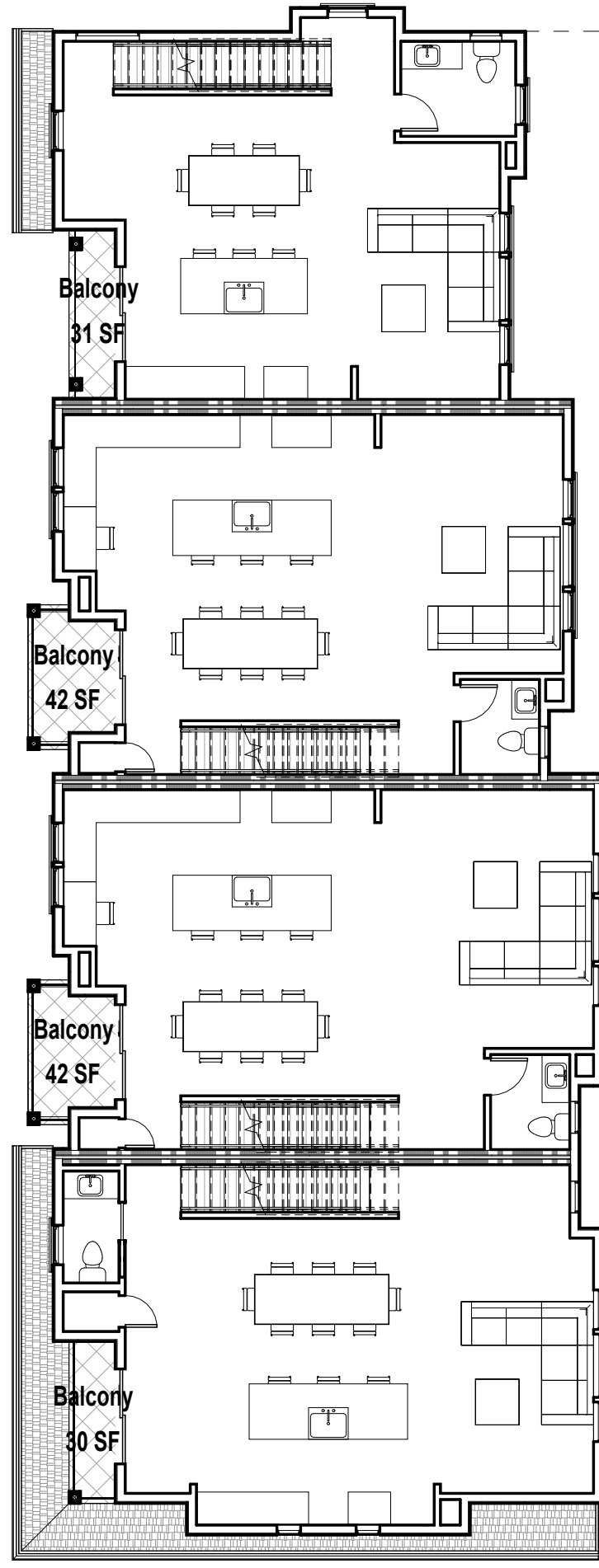
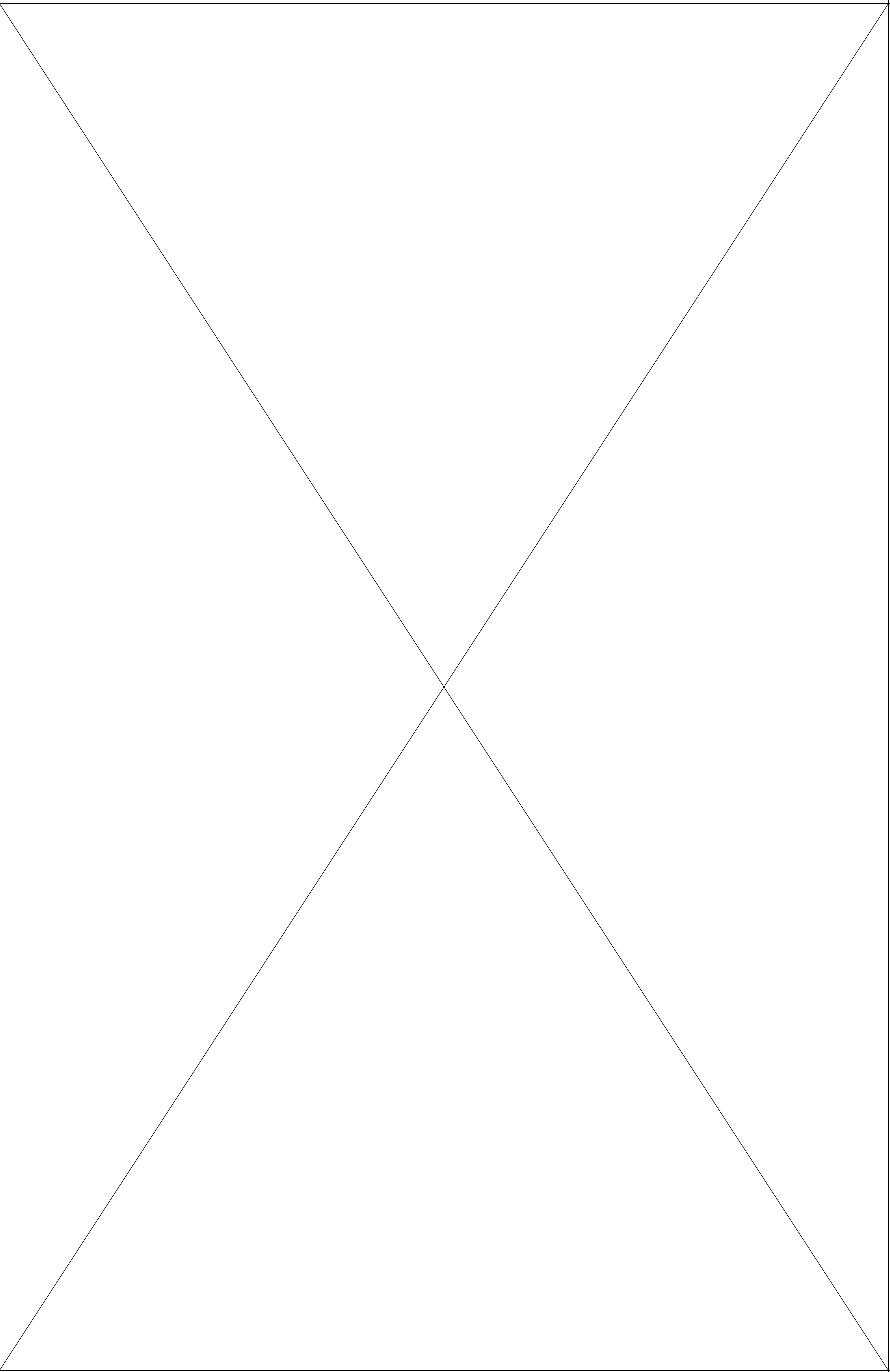
Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2023.11.13

General, Site, Waste Management Plan

G006
SCALE AS INDICATED

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2 Townhomes, 2nd Floor, Open Space
1" = 10'-0"

Open Space Analysis			
Level	Name	Area	Unit
Common	Rear Open Space	954 SF	Common
Common		954 SF	

Open Space Analysis			
Level	Name	Area	Unit
Historical	Front Yard	974 SF	Historical
Grade	Rear Yard	1184 SF	Historical
Historical		2157 SF	

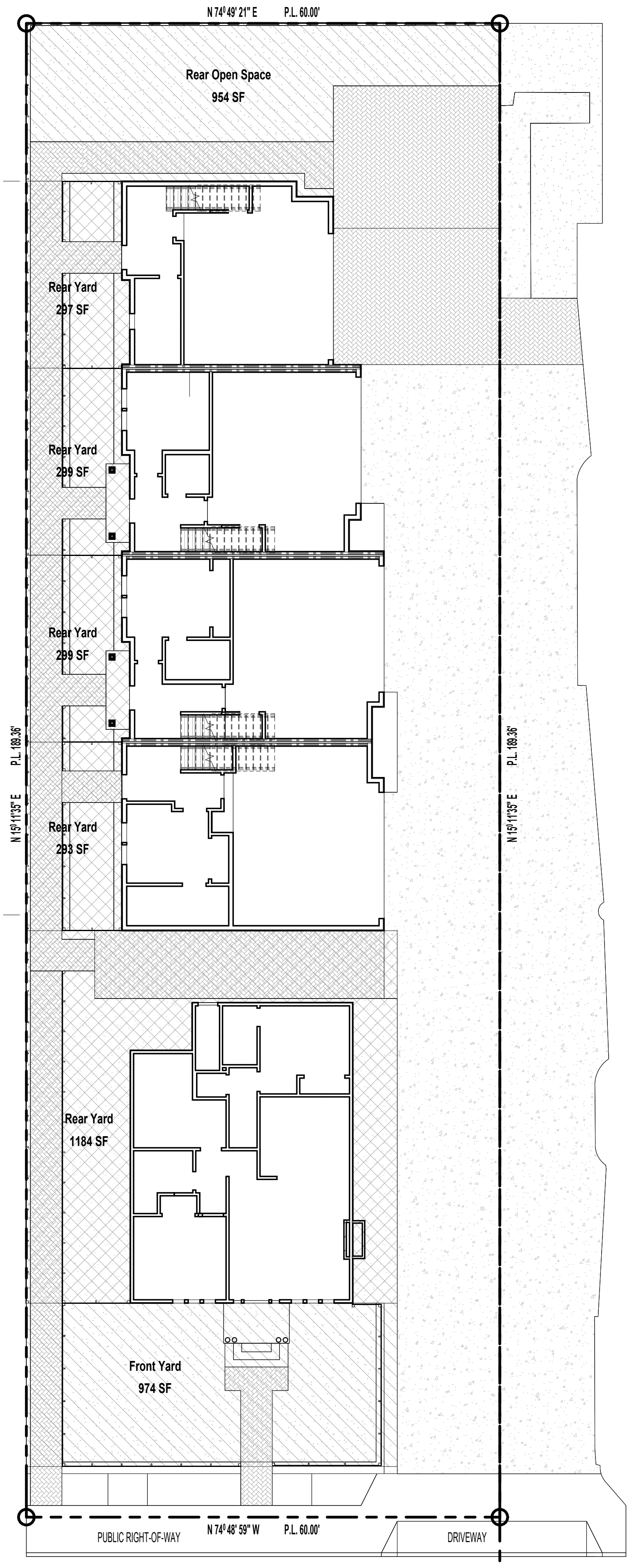
Open Space Analysis			
Level	Name	Area	Unit
UNIT 1			
Grade	Rear Yard	293 SF	UNIT 1
2nd Floor, F.F.	Balcony	30 SF	UNIT 1
UNIT 1		323 SF	

Open Space Analysis			
Level	Name	Area	Unit
UNIT 2			
Grade	Rear Yard	299 SF	UNIT 2
2nd Floor, F.F.	Balcony	42 SF	UNIT 2
UNIT 2		341 SF	

Open Space Analysis			
Level	Name	Area	Unit
UNIT 3			
Grade	Rear Yard	299 SF	UNIT 3
2nd Floor, F.F.	Balcony	42 SF	UNIT 3
UNIT 3		341 SF	

Open Space Analysis			
Level	Name	Area	Unit
UNIT 4			
Grade	Rear Yard	297 SF	UNIT 4
2nd Floor, F.F.	Balcony	31 SF	UNIT 4
UNIT 4		328 SF	

Open Space Analysis			
Level	Name	Area	Unit
Total Open Space		4444 SF	



CRESCENT AVE

1 Site Plan, Open Space
1" = 10'-0"

USABLE OPEN SPACE:

GROUP OPEN SPACE (LANDSCAPED): 954 SF

954 SF / 4 UNITS = 238.5 SF PER UNIT (LANDSCAPED)

TOTAL OPEN SPACE PER UNIT (LANDSCAPED):

HISTORICAL:	2157 SF
UNIT 1:	323 + 238.5 = 561.5 SF
UNIT 2:	341 + 238.5 = 579.5 SF
UNIT 3:	341 + 238.5 = 579.5 SF
UNIT 4:	328 + 238.5 = 566.5 SF

TOTAL: 4,444 SF

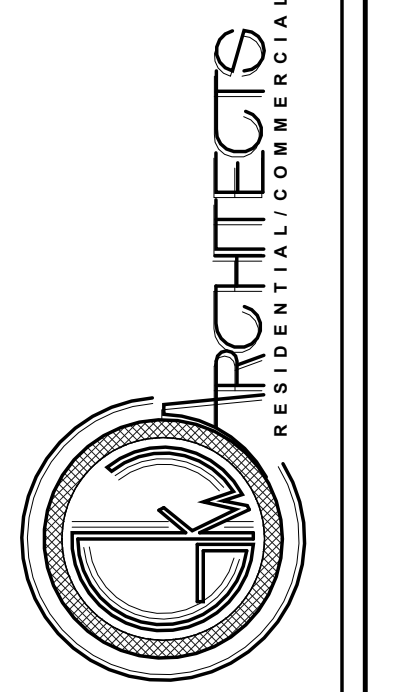
PLEASE REFER TO THE SCHEDULES FOR OPEN SPACE BREAKDOWN

General, Site, Open Space Analysis



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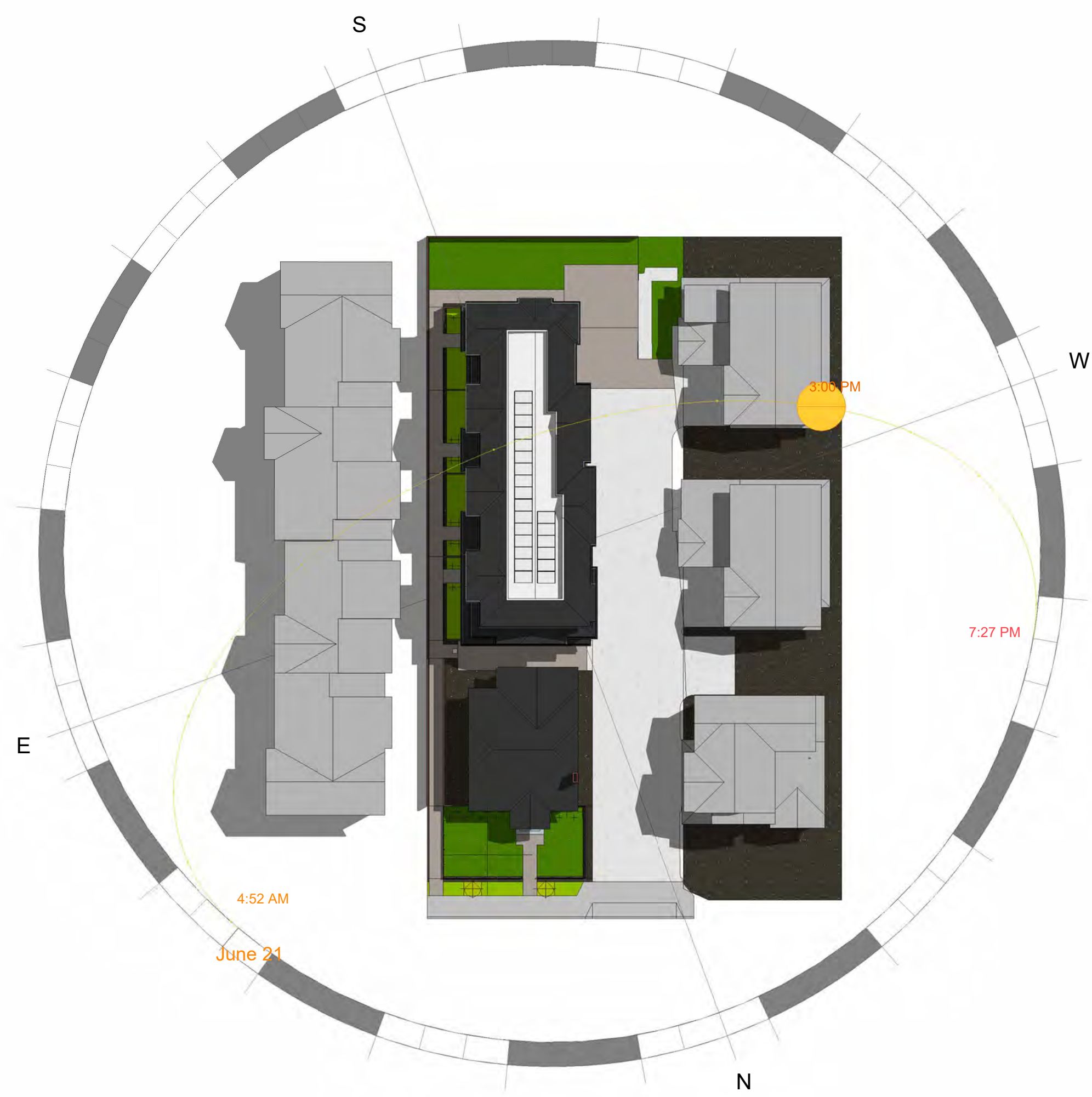
Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2023.04.30

General, Site, Open Space Analysis

G007
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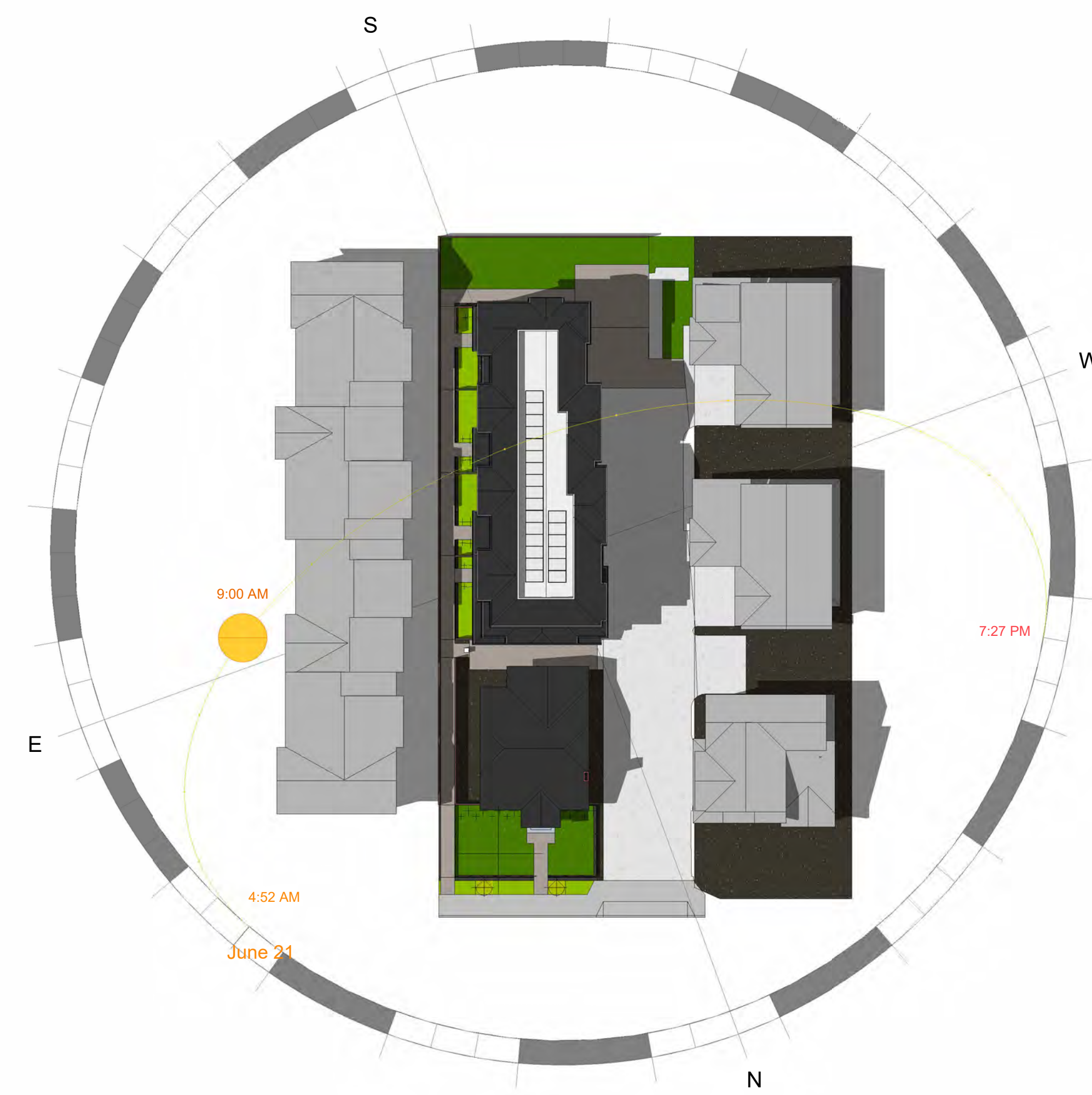
③ Sun Study - Summer Equinox 3 pm

NO COVERAGE
PER SHADING ANALYSIS, THERE'S NO SIGNIFICANT IMPACT ON THE ADJACENT NEIGHBORS.



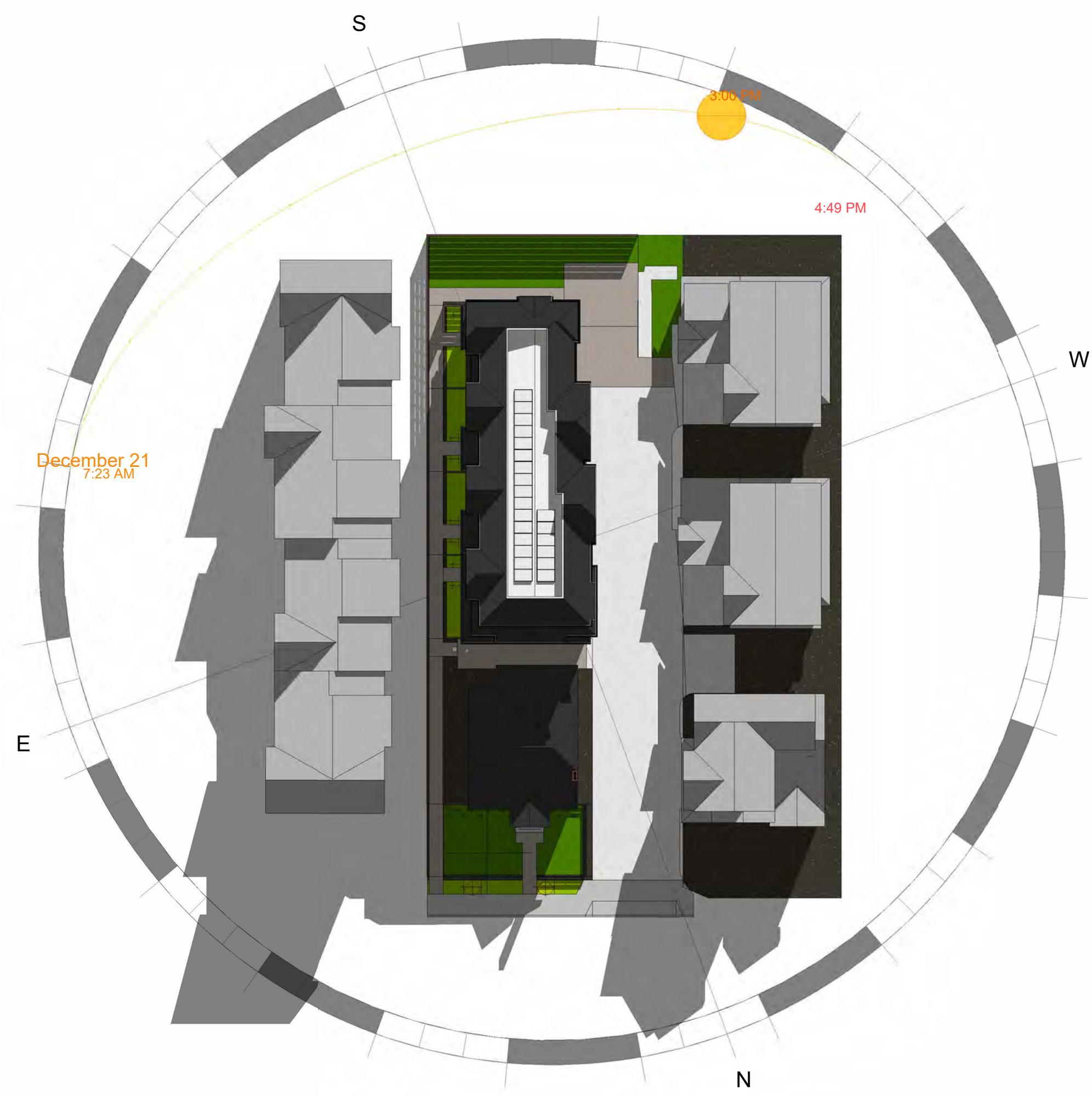
② Sun Study - Summer Equinox 12 PM

NO COVERAGE
PER SHADING ANALYSIS, THERE'S NO SIGNIFICANT IMPACT ON THE ADJACENT NEIGHBORS.



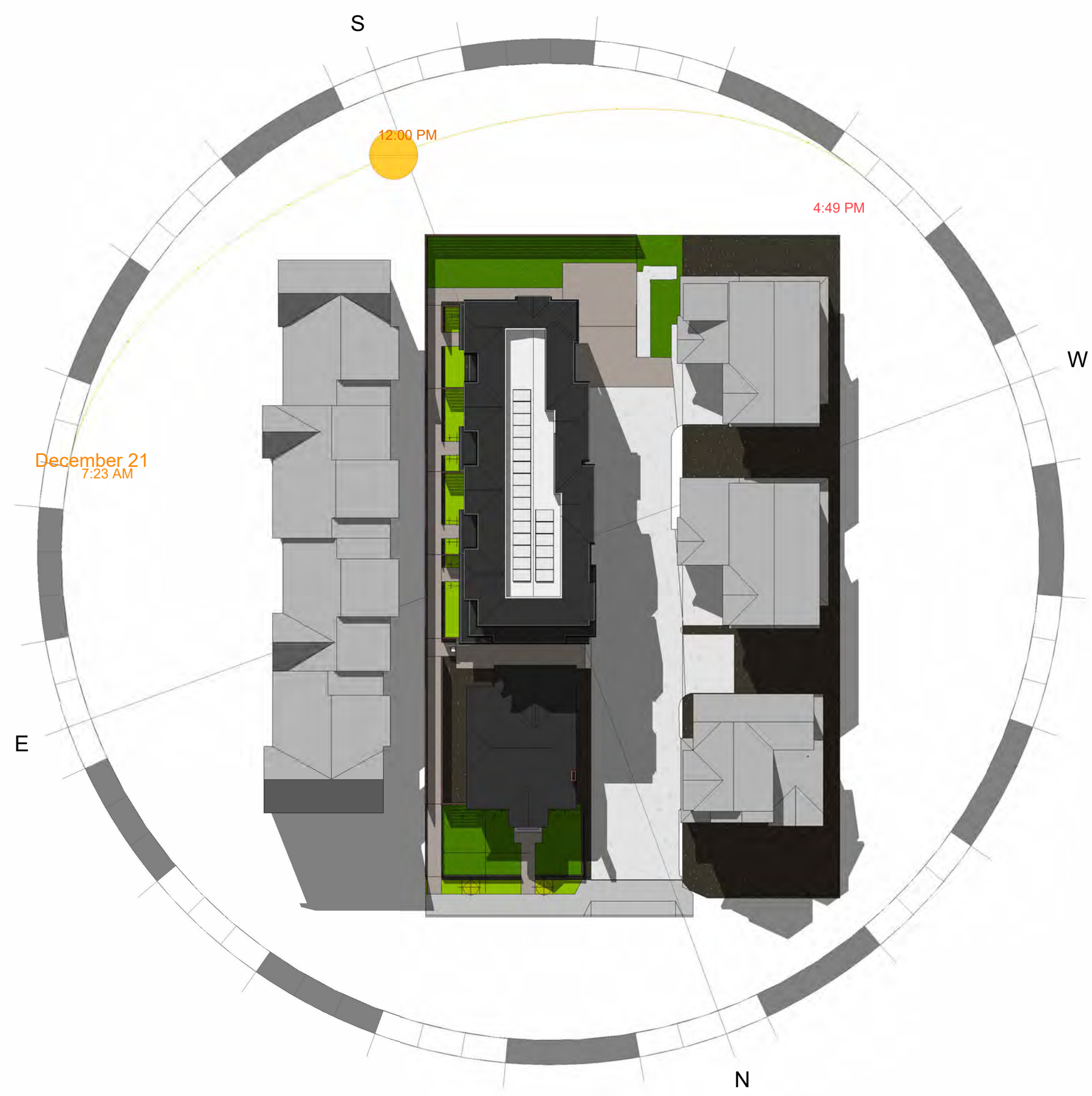
① Sun Study - Summer Equinox 9 AM

NO COVERAGE
PER SHADING ANALYSIS, THERE'S NO SIGNIFICANT IMPACT ON THE ADJACENT NEIGHBORS.



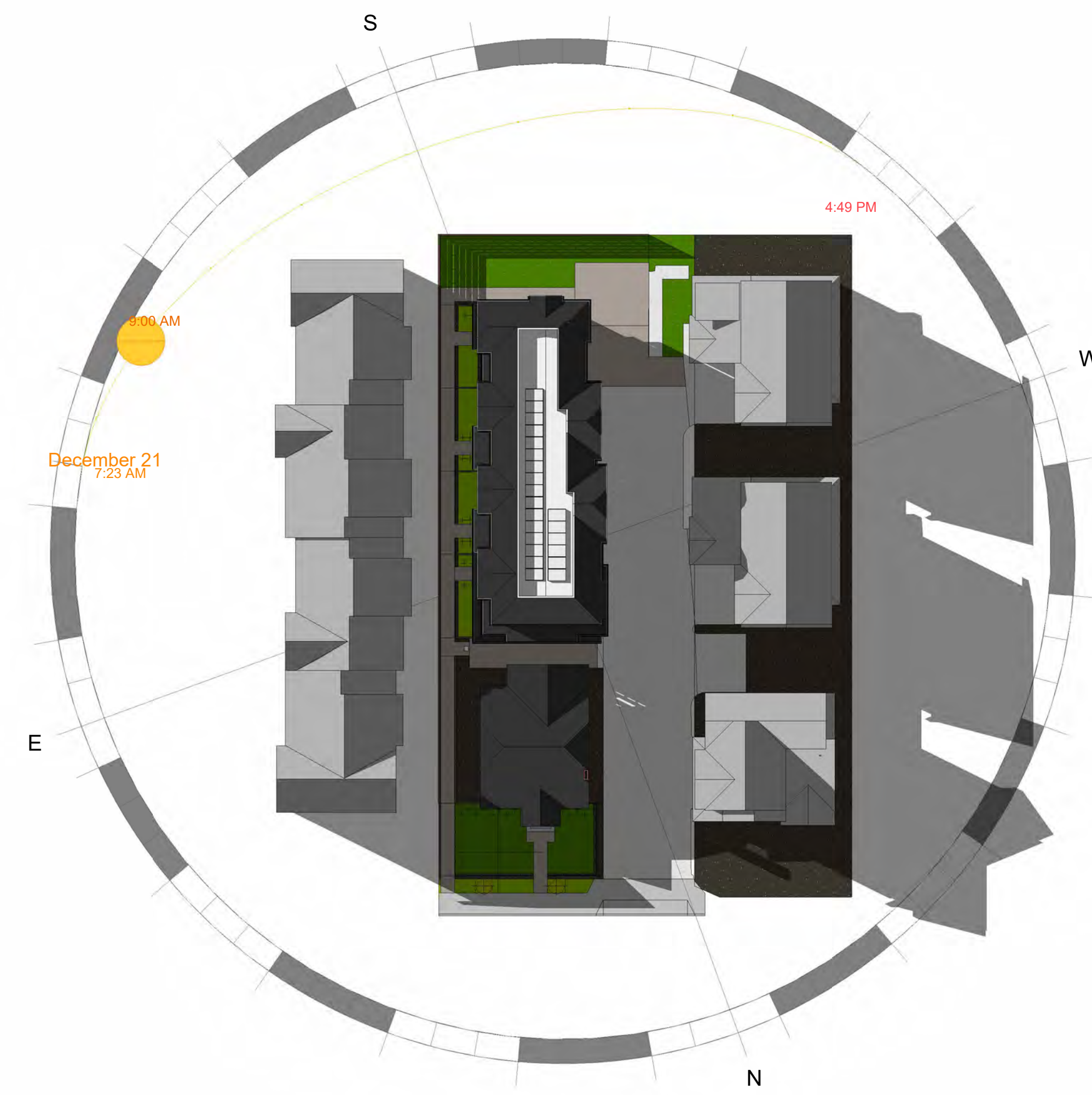
⑥ Sun Study - Winter Equinox 3 PM

NO COVERAGE
PER SHADING ANALYSIS, THERE'S NO SIGNIFICANT IMPACT ON THE ADJACENT NEIGHBORS.



⑤ Sun Study - Winter Equinox 12 PM

NO COVERAGE
PER SHADING ANALYSIS, THERE'S NO SIGNIFICANT IMPACT ON THE ADJACENT NEIGHBORS.

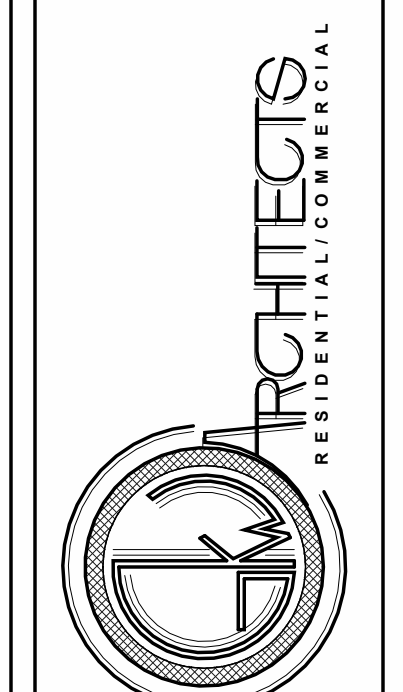


④ Sun Study - Winter Equinox 9 AM

SLIGHT COVERAGE OF ADJACENT NEIGHBORING SINGLE FAMILY RESIDENCES -6%
ANNUAL SHADING ANALYSIS:
SUMMER EQUINOX - 0% COVERAGE AT 9 AM / 12 PM / 3PM
WINTER EQUINOX - 6% COVERAGE AT 9 AM / 0% COVERAGE AT 12 PM / 3PM
AVERAGE TOTAL ANNUAL SHADING: 1% < 10% [COMPLIANT TO SMC 19.56.020]
PER SHADING ANALYSIS, THERE'S NO SIGNIFICANT IMPACT ON THE ADJACENT NEIGHBORS. IN ADDITION, THE 6% OF COVERAGE AT 9AM DOES NOT INTERFERE WITH ANY PREEXISTING ACTIVE SOLAR COLLECTOR ON THE ADJACENT PROPERTY.



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General, Site, Solar Shading Analysis

Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
2	Planning	2023.11.13

General, Site, Solar Shading Analysis
G008
SCALE AS INDICATED
12/23/2025 3:46:12 PM

SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Koen T. Wilson 1-13-2025

KOEN T. WILSON LS 9440 DATE

SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY OF SUNNYVALE BENCHMARK #50, A BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF REMINGTON DRIVE AND SUNNYVALE-SARATOGA ROAD, HAVING AN ELEVATION OF 139.046' (NAVD88)

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING WALLS WERE LOCATED AT MAIN FINISH LOCATIONS (STUCCO, BRICK OR WOOD SIDING AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.
5. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
6. LINES ON LAYER "X-BOUNDARY" SHOULD BE USED AS BASIS OF DESIGN FOR BOUNDARY.
7. LINES ON LAYER "X-BLDG" SHOULD BE USED AS BASIS OF DESIGN FOR BUILDING LOCATION.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

EASEMENT NOTE

EASEMENTS SHOWN ARE BASED ON TITLE REPORT ORDER NO. 2210359 PREPARED BY STEWART TITLE DATED 1-24-2024.

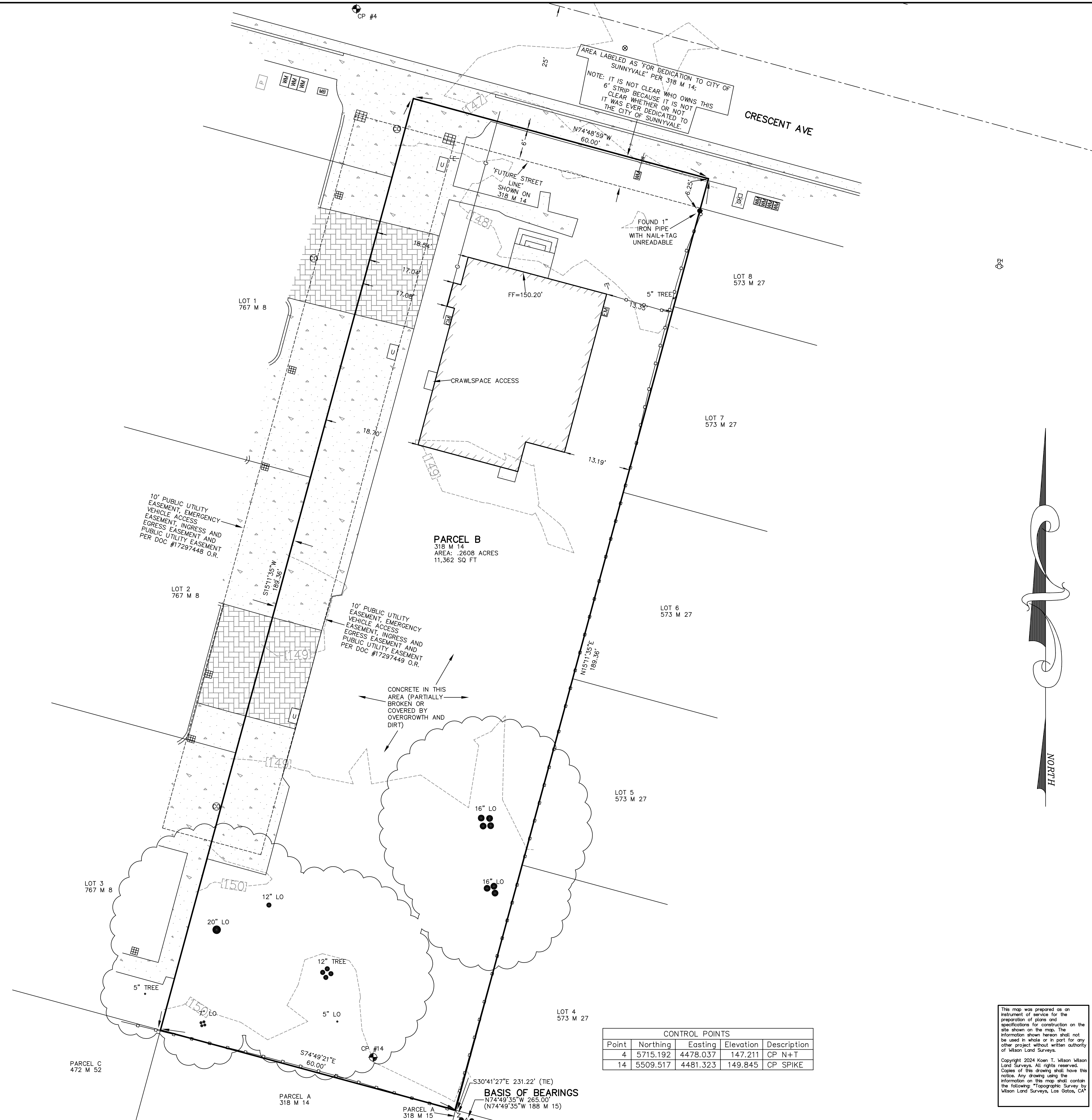
NOTES:

ITEMS #3 AND #4 OF EXCEPTIONS OF SAID TITLE REPORT (WATER PIPE LINE EASEMENTS PER BOOK 528 PAGE 393 O.R. AND BOOK 621 PAGE 95 O.R.) WERE NOT PLOTTABLE.

ITEM #5 OF EXCEPTIONS OF SAID TITLE REPORT (EASEMENT FOR STREET IMPROVEMENTS PER BOOK 431 PAGE 38 O.R.) DOES NOT ENCLUMBER SUBJECT PARCEL.

SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

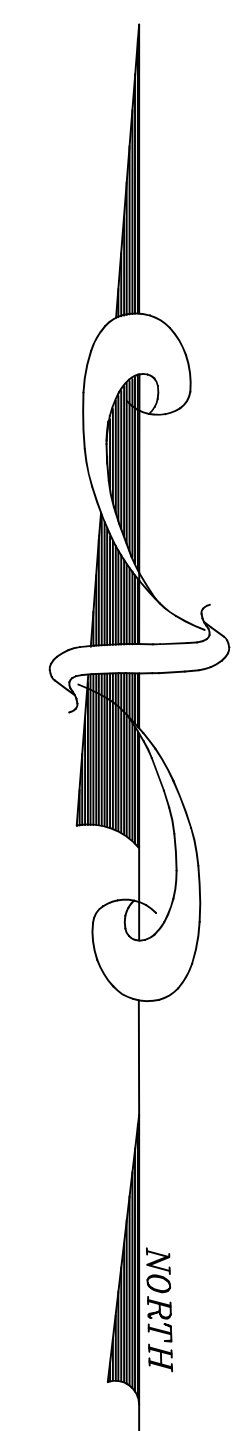


LEGEND

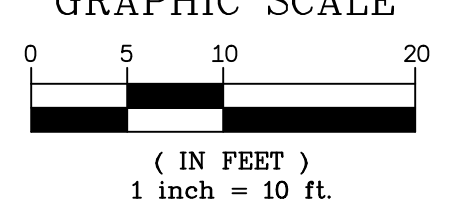
- FOUND 2.5" BRASS DISC WITH PUNCHMARK IN MONUMENT BOX UNLESS OTHERWISE NOTED
- SET 5/8" REBAR WITH PLASTIC CAP LS 9440
- SET NAIL+1" BRASS TAG LS 9440 IN CONCRETE
- PROPERTY LINE
- - - EASEMENT LINE/FUTURE STREET LINE PER 318 M 14
- SS UG SEWER LINE
- W UG WATER LINE
- G UG GAS LINE
- PH UG PHONE LINE
- E UG ELEC LINE
- OH OVERHEAD LINE
- * LAMP POST
- CONCRETE
- ▒ BUILDING
- ▒ BRICKS
- ▒ PAVERS
- ▒ DECK
- ⊕ JOINT POLE
- ⊕ POWER POLE
- ⊕ UTILITY POLE
- ⊕ TELEPHONE POLE
- ⊕ BOLLARD
- ⊕ WATER VALVE
- ⊕ SIGN
- ⊕ SS SANITARY SEWER MANHOLE
- ⊕ SD STORM DRAIN MANHOLE
- ⊕ M MANHOLE
- ⊕ C COMMUNICATION MANHOLE
- ⊕ FH FIRE HYDRANT
- ⊕ SC SEWER CLEANOUT
- ⊕ SP SURVEY CONTROL POINT
- ⊕ EM ELECTRIC METER
- ⊕ GM GAS METER
- ⊕ WM WATER METER
- ⊕ LP LIGHT POLE AND LIGHT
- ▒ WALL
- ▒ DROP INLET
- ⊕ GUYWIRE
- ⊕ MB MAILBOX
- ⊕ U UTILITY BOX
- ⊕ A/C AIR CONDITIONING UNIT
- ⊕ PB PHONE BOX
- ⊕ WF WOOD FENCE
- ⊕ CL CHAIN LINK FENCE

ABBREVIATIONS

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- FF FINISH FLOOR ELEVATION
- O.R. OFFICIAL RECORDS



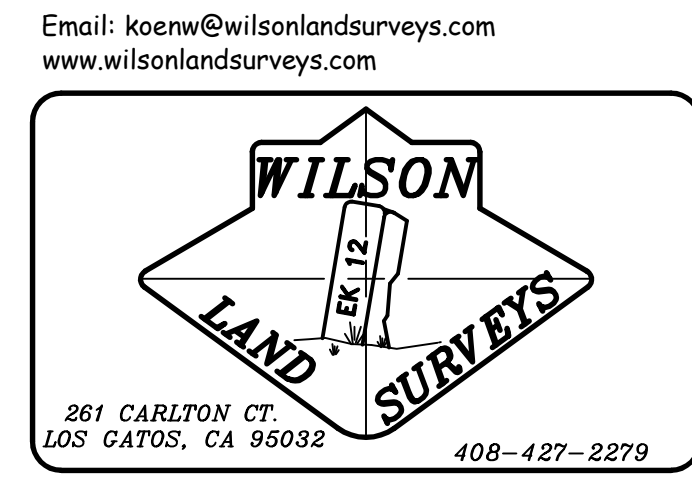
GRAPHIC SCALE



CONTROL POINTS				
Point	Northing	Easting	Elevation	Description
4	5715.192	4478.037	147.211	CP N+T
14	5509.517	4481.323	149.845	CP SPIKE

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:
GKW ARCHITECTS, INC.

LEGAL DESCRIPTION: PARCEL B 318 M 14, CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.

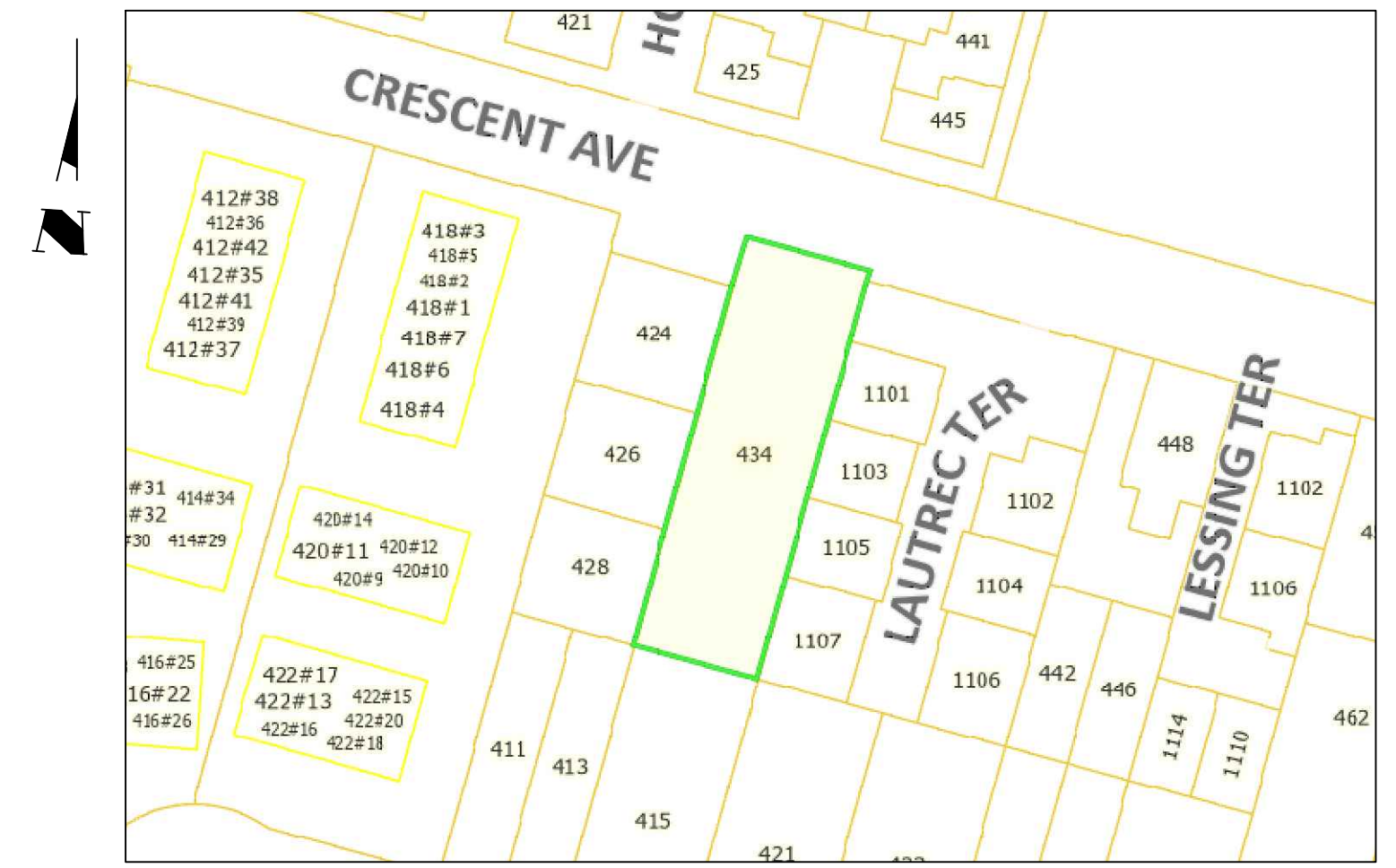
APN: 211-35-030
DATE: JUNE 2024
FILENAME: R-097 CRESCENT GWK TOPO
SITE ADDRESS: 434 CRESCENT AVE SUNNYVALE, CA 94087

DRAWN BY: KTW	SCALE: 1"=10'	PROJECT: R-097	JOB NUMBER: R-097	SHEET: 1 OF 1
---------------	---------------	----------------	-------------------	---------------

ABBREVIATIONS

AB	AGGREGATE BASE	MH	MANHOLE
AC	ASPHALT CONCRETE	MIN	MINIMUM
A/C	AIR CONDITIONER	N&S	NAIL AND SILVER
AD	AREA DRAIN	NTS	NOT TO SCALE
AE	ANCHOR EASEMENT	OH	OVERHEAD
BB	BUBBLER BOX	OG	ORIGINAL GROUND
BLDG	BUILDING	OS	OFFSET
BSL	BUILDING SETBACK LINE	P	PAVEMENT FINISH GRADE
BW	BACK OF WALK	PA	PATIO
BWL	BOTTOM OF WALL	PAD	PAD ELEVATION
CATV	CABLE TELEVISION	FDC	FIRE DEPARTMENT CONNECTION
CE	COBBLE ROCK ENERGY DISSIPATOR	PL	PROPERTY LINE
CG	CURB & GUTTER	PIE	PRIVATE INGRESS/EGRESS EASEMENT
CL	CENTERLINE	PERF	PERFORATED
CLF	CHAIN LINK FENCE	PH	PARCEL MAP
CO	SANITARY SEWER CLEANOUT	PP	POWER POLE PROP PROPOSED
COE	COVENANT OF EASEMENT	PSDR	PRIVATE SURFACE DRAINAGE
COP	CURB OPENING	RELEASE	EASEMENT
CONC	CONCRETE	PSSE	PRIVATE SANITARY SEWER EASEMENT
CSD	COUNTY STANDARD DETAIL	PUE	PUBLIC UTILITY EASEMENT
DE	DRAINAGE EMITTER	PSE	PUBLIC SERVICE EASEMENT
DI	DRAINAGE INLET	PVMT	PAVEMENT
DOC	DOCUMENT	PVC	POLYVINYL CHLORIDE
DS	DOWNSPOUT	R	RADIUS
DWY	DRIVEWAY	RT	RIGHT
EA	EASEMENT	RW	RETAINING WALL
EAE	EMERGENCY ACCESS EASEMENT	R/W	RIGHT OF WAY
ELEV	ELEVATION	RE	ROAD EASEMENT
EM	ELECTRIC METER	REM	REMOVE
E(OH)	ELECTRIC OVERHEAD	R/W	RIGHT OF WAY
E(UG)	ELECTRIC UNDERGROUND	SB	SETBACK
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EV	ELECTRIC VAULT	SDE	STORM DRAIN EASEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SE	SLOPE EASEMENT
EX	EXISTING	SS	SANITARY SEWER/LATERAL
FC	FACE OF CURB	SSE	SANITARY SEWER EASEMENT
FD	FOUND	STA	STATION
FDC	FIRE DEPARTMENT CONNECTION	STD	STANDARD DETAIL
FF	FINISH ELEVATION OF SUBFLOOR	SW	SIDEWALK
FG	GROUND FINISH GRADE	TOB	TOP OF BANK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOW LINE	TEMP	TEMPORARY
FM	FORCED MAIN	TOC	TOP OF COVER
FS	FIRE SERVICE	TOE	TOP OF EASEMENT
FT	FEET	TG	TOP OF GRATE
G	GARAGE SLAB ELEVATION/GAS LINE	TPF	TREE PROTECTION FENCE
GPE	GENERAL PUBLIC EASEMENT	TW	TOP OF WALL
GSB	GRADING SETBACK	TYP	TYPICAL
GM	GAS METER	UE	UTILITY EASEMENT
HP	HI POINT	VG	VALLEY GUTTER
IEE	INGRESS/EGRESS EASEMENT	W	WATER
INV	INVERT	WCE	WIRE CLEARANCE EASEMENT
IP	IRON PIPE	WE	WATER EASEMENT
JP	JOINT POLE	WLK	WALKWAY
LIP	LIP OF GUTTER	WM	WATER METER
LS	LANDSCAPED AREA	WOE	WIRE OVERHANG EASEMENT
LT	LEFT	WV	WATER VALVE
MAX	MAXIMUM	WVSD	WEST VALLEY SANITATION DISTRICT
M	BOOK OF MAPS AT PAGE		OF SANTA CLARA COUNTY

TENTATIVE MAP FOR TOWNHOUSE PURPOSES 434 CRESCENT AVENUE SUNNYVALE, CA 94087 FOR: CRESCENT ETERNAL LLC



VICINITY MAP
NTS

PURPOSE:

MULTI-FAMILY DEVELOPMENT IN CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, CALIFORNIA, TO BE SUBDIVIDED INTO 4 TOWNHOUSE UNIT & A SINGLE FAMILY HOME. LOT 1 IS FOR THE EXISTING HISTORIC HOME, AND LOT 2 TO 5 AREA FOR NEW TOWNHOUSE. THREE EXTERIOR PARKING WITH A NEW PRIVATE DRIVEWAY AND WALKWAY HAVE BEEN PROVIDED.

SITE BENCHMARK:

ELEVATION FOR THIS SURVEY ARE BASED ON CITY OF SUNNYVALE BENCHMARK #50 HAVING AN ELEVATION OF 139.046' (NAVD88)

DATE OF SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON FIELD SURVEY PERFORMED ON JUNE, 2024.

SURVEY GENERAL NOTES:

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS
- BUILDING WALLS WERE LOCATED AT MAIN FINISH LOCATIONS (STUCCO, BRICK OR WOOD, SIDING AS IT EXISTS IN THE FIELD)
- LOCATIONS OF ALL EXISTING ON-SITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.
- ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.

UNDERGROUND UTILITY NOTES:

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKING PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THE SURVEY. NO LIABILITY IS ACCEPTED BY DISCREPANCIES OMISSION OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

EASEMENT NOTES:

EASEMENTS SHOWN AREA BASED ON TITLE REPORT ORDER NO. 2210359 PREPARED BY STEWART TILE DATED 1-24-2024.

NOTES:

- ITEM #3 AND #4 OF EXCEPTIONS OF SAID TITLE REPORT (WATER PIPE LINE EASEMENTS PER BOOK 528 PAGE 393 O.R. AND BOOK 521 95 O.R.) WERE PLOTTABLE.
- ITEM # 5 OF EXCEPTIONS OF SAID TITLE REPORT (EASEMENT FOR STREET IMPROVEMENTS PER BOOK 431 PAGE 38 O.R.) DOSE NOT ENCUMBER SUBJECT PARCEL.

LEGEND

DESCRIPTION	EXISTING	PROPOSED
SIDEWALK		
CURB AND GUTTER		
CENTER LINE		
PROPERTY LINE		
LOT LINE		
EASEMENT LINE		
EDGE OF PAVEMENT		
DRIVEWAY		
PCC		
AC		
STANDARD MONUMENT		
BENCH MARK		
MANHOLE		
SANITARY SEWER CLEANOUT		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
STORM DRAIN INLET 9"x9" GRATE		
WATER METER		
VALVE		
FIRE HYDRANT		
STREET LIGHT		
POWER POLE		
PULL BOX		
CABLE TELEVISION LINE		
ELECTRICAL LINE		
ELECTRICAL METER		
GAS METER		
IRRIGATION LINE		
NATURAL GAS LINE		
OVERHEAD LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
TELEPHONE LINE		
WATER LINE		
TRAFFIC SIGNAL CONDUIT		
LIGHTING CONDUIT		
ROADSIDE SIGN & SIGN CODE		
FENCE		
TREE/SHRUB		
CONTOUR LINES		
RETAINING WALL		

GENERAL NOTES	
1. OWNER/DEVELOPER:	CRESCENT ETERNAL LLC 434 CRESCENT AVENUE, SUNNYVALE, CA 94087 TEL: 650-680-5865
2. CIVIL ENGINEER:	CIVIO CONSULTING 1669 FLANIGAN DRIVE, SUITE E, SAN JOSE, CA 95121 EMAIL: OFFICE@CIVIOCONSULTING.COM
3. SURVEYOR:	WILSON LAND SURVEYS, INC. 261 CARLTON COURT, LOS GATOS, CA 95032 TEL: (408) 427-2279
4. GEOTECHNICAL ENGINEER:	GEO-ENGINEERING SOLUTIONS 2570 SAN RAMON VALLEY BLVD, SUITE #A102, SAN RAMON, CA 94583 TEL: 925-433-0450
5. ASSESSORS' PARCEL NO.:	211-35-030
6. SITE ADDRESS:	434 CRESCENT AVENUE, SUNNYVALE, CA 94087
7. EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3
8. EXISTING USE:	RMED - RESIDENTIAL MEDIUM DENSITY/COMBING DISTRICT; PD FOUR TOWNHOUSES & A SINGLE FAMILY HOME
PROPOSED USE:	
9. LOT AREA:	0.26 ± ACRES (11,340± SF)
10. TOTAL OF PROPOSED UNITS:	5
11. AVERAGE LOT SIZE:	2,200 SF
12. SMALLEST LOT SIZE:	1,427 SF
13. UTILITY	
WATER	CAL WATER
STORM DRAIN	CITY OF SUNNYVALE
SANITARY SEWER	CITY OF SUNNYVALE
FIRE DISTRICT:	CITY OF SUNNYVALE FIRE DEPARTMENT
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE TV:	XFINITY
14. EXISTING SINGLE FAMILY HOME TO REMAIN	

SHEET INDEX

TM 1	TITLE SHEET
TM 2.0	MAP SHEET
TM 2.1	MAP SHEET
TM 3.0	SITE PLAN
TM 3.1	PRELIMINARY GRADING & DRAINAGE PLAN
TM 3.2	SITE CROSS SECTIONS
TM 4	PRELIMINARY STORM WATER CONTROL PLAN
TM 5	PRELIMINARY UTILITY PLAN
TM 6	DETAIL SHEET
TM 7	BLUEPRINT FOR A CLEAN BAY

DATE:	09/05/25	SCALE:	AS NOTED	DESIGN:	XP	CHECK:	MC	PROJECT #:	2025-010
		TENTATIVE MAP 434 CRESCENT AVENUE TITLE SHEET		SUNNYVALE CALIFORNIA		SHEET TM 1 1 OF 10 SHEETS PW PROJECT #			
CIVIO CONSULTING 1669 FLANIGAN DRIVE #E SAN JOSE, CA 95121 EMAIL: OFFICE@CIVIOCONSULTING.COM		REVISIONS BY: _____ DATE: _____							

OWNER'S STATEMENT

Owner Statement
WE HEREBY STATE THAT WE ARE THE OWNER OF, OR HAVE SOME RIGHT, TITLE OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREON MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY; THAT WE HEREBY CONSENT TO THE PREPARATION AND FILING OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

Street Dedication (fee)
WE ALSO HEREBY STATE THAT THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED IN FEE FOR PUBLIC PURPOSES: STREETS AND PORTIONS OF STREETS NOT PREVIOUSLY EXISTING AS DELINEATED HEREON AND DESIGNATED AS "STREET HEREIN DEDICATED".

Emergency Vehicle Access Easement (E.V.A.E.)
WE ALSO HEREBY STATE THAT THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: EMERGENCY VEHICLE INGRESS AND EGRESS PURPOSES ON OR OVER THOSE CERTAIN STRIPS OF LAND DELINEATED HEREON AND DESIGNATED AS "E.V.A.E."(EMERGENCY VEHICLE ACCESS EASEMENT). PARKING STALLS AND TRASH ENCLOSURES NOT DELINEATED ON THE MAP ARE EXCLUDED FROM THE LIMITS OF THE EVAE. THE PERPETUAL MAINTENANCE OF IMPROVEMENTS WITHIN THE EASEMENT AREA SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

Public Utility Easement (P.U.E.)
WE ALSO HEREBY STATE THAT THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: CERTAIN PUBLIC UTILITY FACILITIES INCLUDING BUT NOT LIMITED TO POLES, ELECTRIC, TELEPHONE, AND CABLE CONDUITS AND WIRES, GAS AND ALL APPURTENANCES AS DELINEATED HEREON AND DESIGNATED AS "P.U.E."(PUBLIC UTILITY EASEMENT). TRASH ENCLOSURES NOT DELINEATED ON THE MAP ARE EXCLUDED FROM THE LIMITS OF THE P.U.E.

Private Streets
WE ALSO HEREBY RESERVE PRIVATE STREETS. THE PRIVATE STREETS CONTAINED WITH THIS MAP ARE NOT OFFERED, NOR ARE THEY ACCEPTED FOR DEDICATION FOR PUBLIC STREET PURPOSES

Private Vehicular and Pedestrian Ingress and Egress Easement (P.I.E.E.)
WE ALSO HEREBY RESERVE FOR THE OWNERS OF ALL LOTS SHOWN ON THE HEREIN MAP AND THEIR LICENSEES, VISITORS, AND TENANTS RECIPROCAL RIGHTS OF INGRESS AND EGRESS PURPOSES UPON AND OVER LOTS 1-5 AS DELINEATED HEREON AND DESIGNATED AS "P.I.E.E."(PRIVATE INGRESS AND EGRESS EASEMENT). THE PERPETUAL MAINTENANCE, REPAIR, AND/OR REPLACEMENT OF IMPROVEMENTS WITHIN SAID EASEMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AS DETERMINED BY THE APPROPRIATE COVENANTS, CONDITIONS AND RESTRICTIONS. SAID EASEMENTS ARE NOT OFFERED, NOR ARE THEY ACCEPTED FOR DEDICATION BY THE CITY OF SUNNYVALE. PARKING STALLS AND TRASH ENCLOSURES NOT DELINEATED ON THE MAP ARE EXCLUDED FROM THE LIMITS OF THE P.I.E.E.

Private Water, Storm, Fire, Sanitary Sewer Easements (P.W.E., P.F.S.E., P.S.D.E., P.S.S.E.)
WE ALSO HEREBY RESERVE FOR THE OWNERS OF ALL LOTS SHOWN ON THE HEREIN MAP AND THEIR LICENSEES, VISITORS, AND TENANTS RECIPROCAL RIGHTS UPON AND OVER LOTS 1-5 FOR THE INSTALLATION AND MAINTENANCE OF PRIVATE WATER, FIRE SERVICE, STORM DRAINAGE AND SANITARY SEWER FACILITIES AS DELINEATED HEREON AND DESIGNATED AS "P.W.E."(PRIVATE WATER EASEMENT), "P.F.S.E."(PRIVATE FIRE SERVICE EASEMENT), "P.S.D.E." (PRIVATE STORM DRAIN EASEMENT), "P.S.S.E."(PRIVATE SANITARY SEWER EASEMENT). THE PERPETUAL MAINTENANCE, REPAIR, AND/OR REPLACEMENT OF PRIVATE WATER, FIRE SERVICE, STORM DRAINAGE AND SANITARY SEWER FACILITIES, INCLUDING BIO-RETENTION AREAS, SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AS DETERMINED BY THE APPROPRIATE COVENANTS, CONDITIONS AND RESTRICTIONS. SAID EASEMENTS ARE NOT OFFERED, NOR ARE THEY ACCEPTED FOR DEDICATION BY THE CITY OF SUNNYVALE. TRASH ENCLOSURES NOT DELINEATED ON THE MAP ARE EXCLUDED FROM THE LIMITS OF THE P.W.E., P.F.S.E., P.S.D.E. AND P.S.S.E.

CRESCENT ETERNAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

TENTATIVE MAP

SHEET ONE OF TWO

BEING A SUBDIVISION OF PARCEL B AS SHOWN ON THE MAP RECORDED ON MARCH 12, 1973 IN BOOK 318 OF MAPS, PAGE 14 IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, LYING ENTIRELY WITHIN THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.

SEPTEMBER 2025

OWNER'S ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA SS.
COUNTY OF SANTA CLARA
ON _____, 20____BEFORE ME, _____, A NOTARY PUBLIC, PERSONALLY APPEARED _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND
NOTARY'S SIGNATURE _____
PRINTED NOTARY'S NAME _____
NOTARY'S PRINCIPAL PLACE OF BUSINESS _____
NOTARY'S COMMISSION NUMBER _____
EXPIRATION OF NOTARY'S COMMISSION _____

SURVEYOR'S STATEMENT

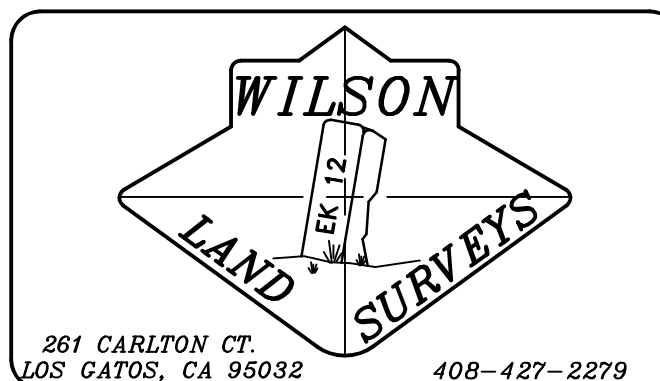
THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY MADE IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF CRESCENT ETERNAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY IN JUNE 2024. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS ON OR BEFORE DECEMBER 2026 AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED, AND THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVAL OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

DATE: _____
KOEN T. WILSON LS 9440

NOTES

- 1. ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- 2. THE AREA WITHIN THE DISTINCTIVE BORDER LINE IS 11,362 SQ FT (.26 ACRES).
- 3. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY OF THE SUBDIVISION.
- 4. THERE ARE 6 LOTS WITHIN THE SUBDIVISION. THE AVERAGE LOT SIZE IS 1,894 SQ FT. THE SIZE OF THE SMALLEST LOT (OTHER THAN THE RIGHT OF WAY DEDICATION) IS 1,421 SQ FT.
- 5. EXISTING USE: RESIDENTIAL; PROPOSED USE: RESIDENTIAL; ZONING: R3
- 6. OWNER'S NAME AND ADDRESS:
CRESCENT ETERNAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
PO BOX 3910
LOS ALTOS CA 94024

Email: koenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



CITY ENGINEER'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THE HEREON FINAL MAP OF THE TRACT; THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT, AS AMENDED, AND OF ANY LOCAL ORDINANCE APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH.

DATE: _____ BY: _____
JENNIFER C. NG
CITY ENGINEER
RCE #61203
CITY OF SUNNYVALE, CALIFORNIA

CITY SURVEYOR'S STATEMENT

I AM SATISFIED THAT SAID MAP IS TECHNICALLY CORRECT.

DATE: _____ BY: _____
MARK A. HELTON
LS #7078

STATEMENT OF CONSENT OF MAP APPROVAL

I HEREBY STATE THAT I DULY APPROVED THE HEREIN PARCEL MAP AS SHOWN HEREON AND CONSENT TO ITS BEING FILED FOR RECORD IS GIVEN BY THE UNDERSIGNED DIRECTOR OF PUBLIC WORKS ON BEHALF OF THE CITY OF SUNNYVALE PURSUANT TO AUTHORITY CONFERRED BY SUNNYVALE MUNICIPAL CODE, SECTION 18.04.030 (d)(5) AND 18.20.280 (c). AND THAT I DID ACCEPT, THE DEDICATION OF ALL STREETS AND PORTIONS THEREOF AND ALL EASEMENTS OFFERED FOR DEDICATION AS SHOWN ON SAID MAP WITHIN SAID SUBDIVISION.

DATE: _____ BY: _____
CHARLES TAYLOR, PE
DIRECTOR OF PUBLIC WORKS
CITY OF SUNNYVALE

RECORDER'S STATEMENT

FILED THIS ____ DAY OF _____, 20____, AT _____M. IN BOOK ____ OF MAPS AT PAGE(S) _____, SANTA CLARA COUNTY RECORDS, AT THE REQUEST OF STEWART TITLE OF CALIFORNIA, INC.

REGINA ALCOMENDRAS, COUNTY RECORDER
SANTA CLARA COUNTY, CALIFORNIA

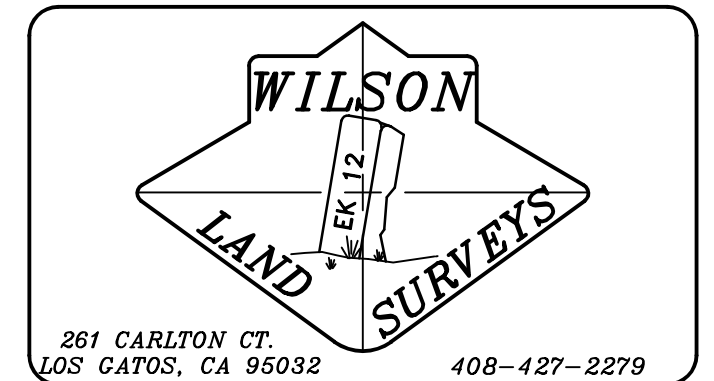
BY: _____ DEPUTY
JOB NUMBER: R-097
DRAWN BY: KTW

TENTATIVE MAP

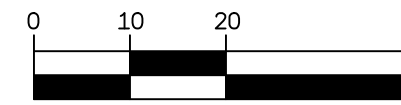
BEING A SUBDIVISION OF PARCEL B AS SHOWN ON THE MAP RECORDED ON MARCH 12, 1973 IN BOOK 318 OF MAPS, PAGE 14 IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, LYING ENTIRELY WITHIN THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.

SEPTEMBER 2025

Email: koenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



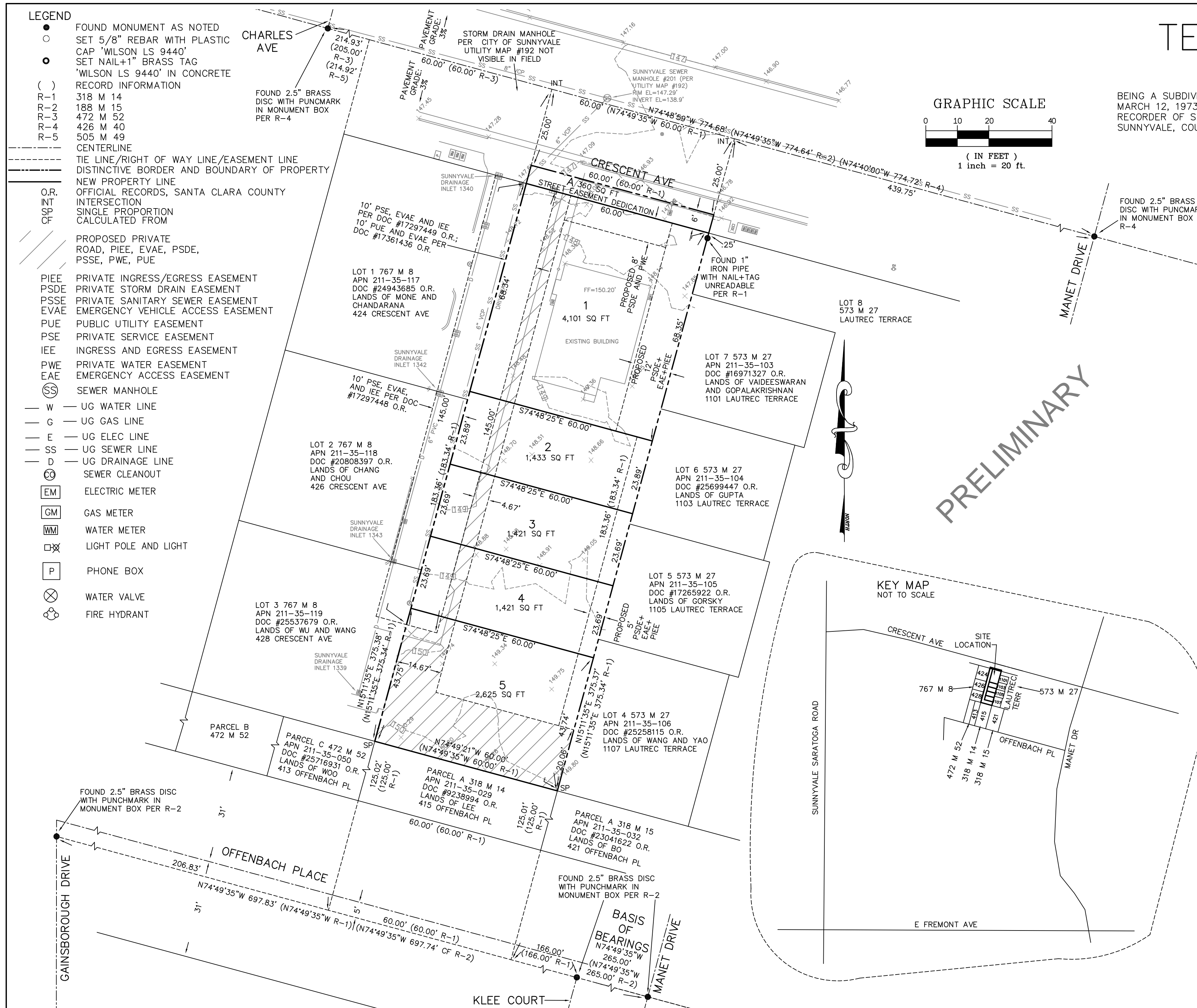
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

- LEGEND**
- FOUND MONUMENT AS NOTED
 - SET 5/8" REBAR WITH PLASTIC CAP 'WILSON LS 9440'
 - SET NAIL+1" BRASS TAG 'WILSON LS 9440' IN CONCRETE
 - () RECORD INFORMATION
 - R-1 318 M 14
 - R-2 188 M 15
 - R-3 472 M 52
 - R-4 426 M 40
 - R-5 505 M 49
 - CENTERLINE
 - TIE LINE/RIGHT OF WAY LINE/EASEMENT LINE
 - DISTINCTIVE BORDER AND BOUNDARY OF PROPERTY
 - NEW PROPERTY LINE
 - OFFICIAL RECORDS, SANTA CLARA COUNTY INTERSECTION
 - SINGLE PROPORTION CALCULATED FROM
 - O.R. OFFICIAL RECORDS, SANTA CLARA COUNTY INTERSECTION
 - INT SINGLE PROPORTION CALCULATED FROM
 - SP SINGLE PROPORTION CALCULATED FROM
 - CF SINGLE PROPORTION CALCULATED FROM
 - PROPOSED PRIVATE ROAD, PIEE, EVAE, PSDE, PSSE, PWE, PUE

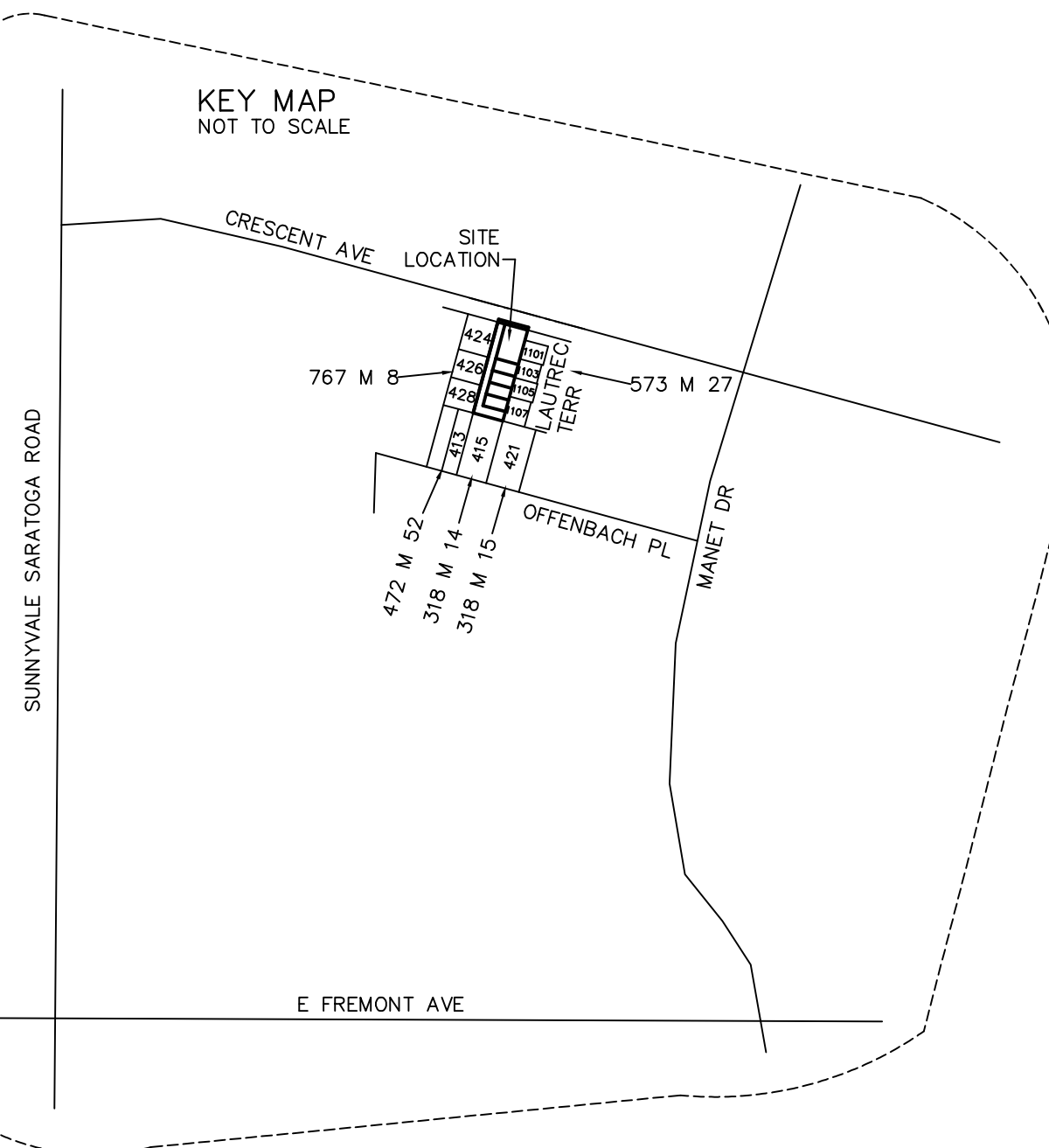
- PIEE PRIVATE INGRESS/EGRESS EASEMENT
- PSDE PRIVATE STORM DRAIN EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PSE PRIVATE SERVICE EASEMENT
- IEE INGRESS AND EGRESS EASEMENT
- PWE PRIVATE WATER EASEMENT
- EAE EMERGENCY ACCESS EASEMENT
- SS SEWER MANHOLE
- W UG WATER LINE
- G UG GAS LINE
- E UG ELEC LINE
- SS UG SEWER LINE
- D UG DRAINAGE LINE
- ⊙ SEWER CLEANOUT
- EM ELECTRIC METER
- GM GAS METER
- WM WATER METER
- ⊠ LIGHT POLE AND LIGHT
- P PHONE BOX
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT



PRELIMINARY

KEY MAP

NOT TO SCALE



NOTES

1. ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
2. THE AREA WITHIN THE DISTINCTIVE BORDER LINE IS 11,362 SQ FT (.26 ACRES).
3. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY OF THE SUBDIVISION.
4. THERE ARE 5 LOTS WITHIN THE SUBDIVISION. THE AVERAGE LOT SIZE IS 1,894 SQ FT. THE SIZE OF THE SMALLEST LOT (OTHER THAN THE RIGHT OF WAY DEDICATION) IS 1,421 SQ FT.
5. THE BOUNDARY DETERMINATION SHOWN ON THIS MAP REPRESENTS MY PROFESSIONAL OPINION. A THOROUGH SEARCH WAS MADE FOR ALL PERTINENT FIELD AND RECORD EVIDENCE INCLUDING LINES OF POSSESSION AND ALL EVIDENCE NECESSARY TO THE RETRACEMENT OF THE MEASURED BOUNDARY LINES SHOWN ON THIS MAP HAS BEEN INCLUDED AND IN MY OPINION IS SUFFICIENT TO ENABLE FUTURE SURVEYORS TO UNDERSTAND THE METHODS USED.
6. ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY OF SUNNYVALE BENCHMARK #50, A BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF REMINGTON DRIVE AND SUNNYVALE-SARATOGA ROAD, HAVING AN ELEVATION OF 139.046' (NAVD88)
7. EXISTING USE: RESIDENTIAL; PROPOSED USE: RESIDENTIAL; ZONING: R3
8. UNDERGROUND SEWER AND STORM PIPELINE DATA PROVIDED BY CITY OF SUNNYVALE PER UTILITY MAP #192 DATED JANUARY 15, 2020.
9. EASEMENTS SHOWN ARE BASED ON TITLE REPORT ORDER NO. 2210359 PREPARED BY STEWART TITLE DATED 1-24-2024.

ITEMS #3 AND #4 OF EXCEPTIONS OF SAID TITLE REPORT (WATER PIPE LINE EASEMENTS PER BOOK 528 PAGE 393 O.R. AND BOOK 621 PAGE 95 O.R.) WERE NOT PLOTTABLE.

ITEM #5 OF EXCEPTIONS OF SAID TITLE REPORT (EASEMENT FOR STREET IMPROVEMENTS PER BOOK 431 PAGE 38 O.R.) DOES NOT ENCUMBER SUBJECT PARCEL.

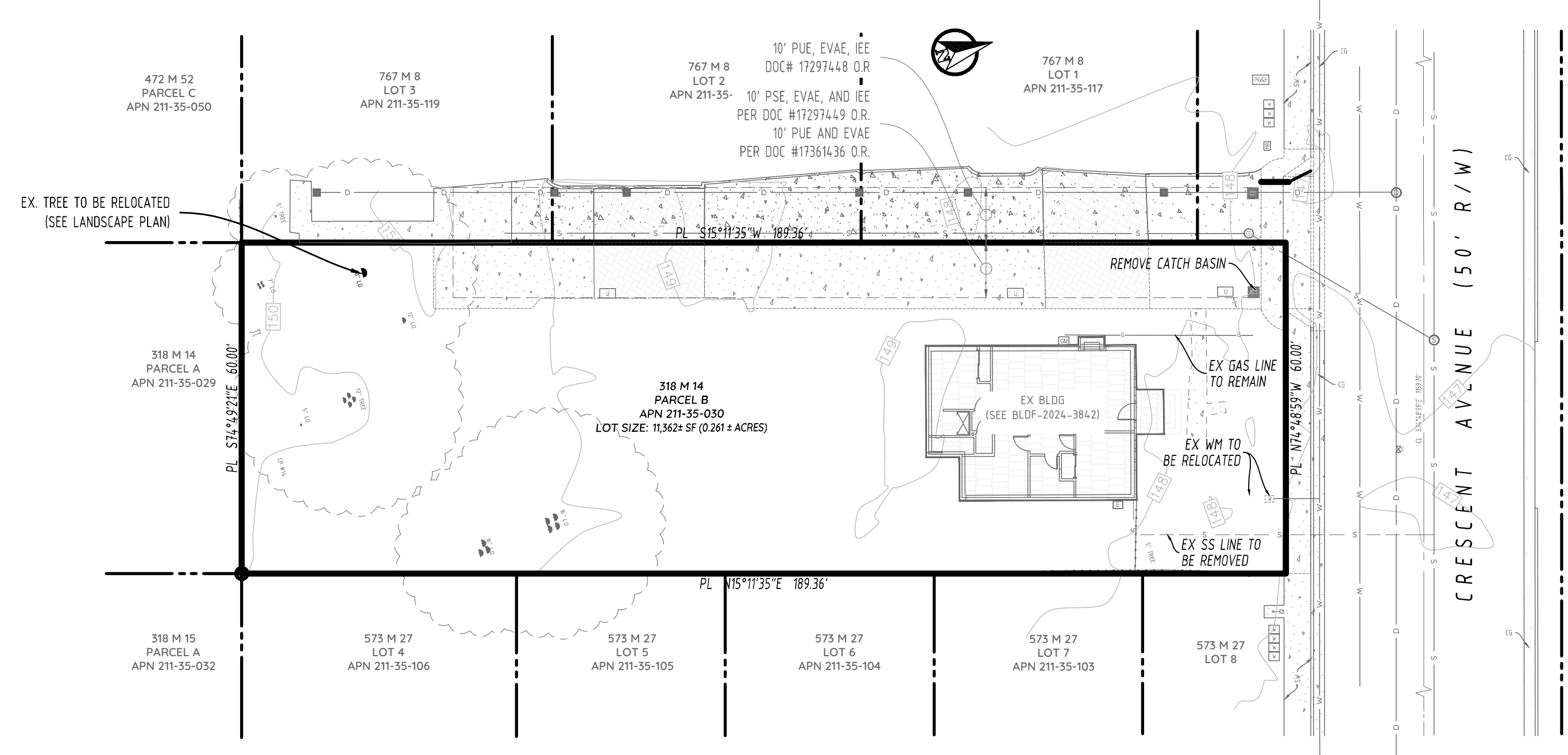
10. OWNER'S NAME AND ADDRESS:

CRESCENT ETERNAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 PO BOX 3910
 LOS ALTOS CA 94024

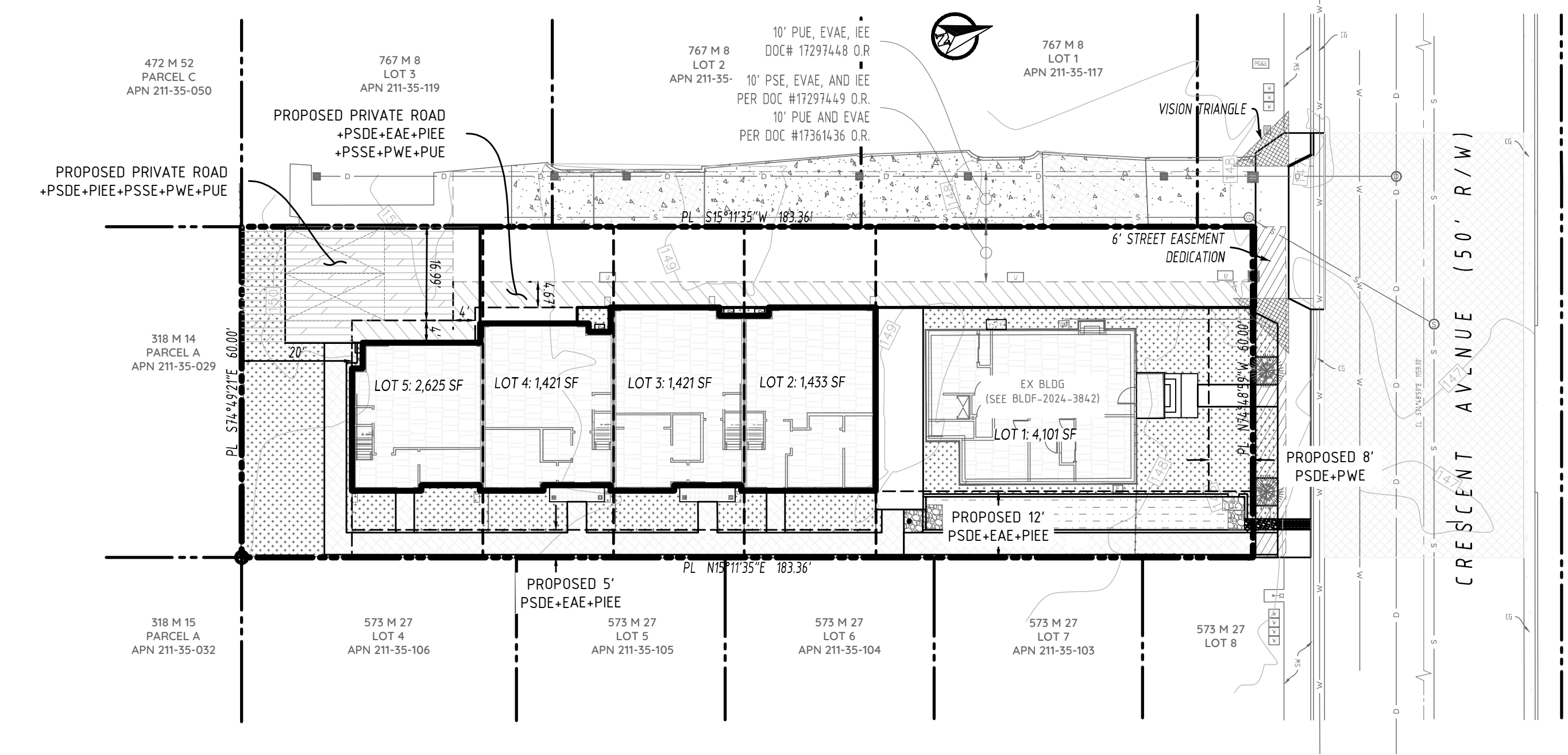
BASIS OF BEARINGS

FOR THIS SURVEY IS NORTH 74°49'35" WEST BEING THE BEARING BETWEEN THE TWO FOUND MONUMENTS ON OFFENBACH PLACE AT THE INTERSECTIONS OF KLEE COURT AND MANET DRIVE AS SHOWN ON THIS MAP, PER 188 M 15.

JOB NUMBER: R-097
 DRAWN BY: KTW



EXISTING



PROPOSED

CITY ABANDONMENT NOTES:

POTABLE AND RECYCLED WATER:

- CITY VALVES: CONTRACTOR SHALL NOT OPEN, CLOSE, OR IN ANY WAY ADJUST ANY CITY VALVES INCLUDING BUT NOT LIMITED TO VALVES ON MAINS, LATERALS, AND WATER METERS. VALVE OPERATION SHALL ONLY BE PERFORMED BY CITY CREWS.
- BACKFLOW PREVENTERS (BFPS): CONTRACTOR SHALL NOT REMOVE OR RELOCATE ANY BFPS WITHOUT FIRST OBTAINING A BACKFLOW INSTALLATION, REMOVAL, AND RELOCATION PERMIT (BACKFLOW PERMIT) FROM THE UTILITY BILLING OFFICE, CITY HALL ANNEX, 450 W. OLIVE AVENUE (408-730-7400). THIS PERMIT WILL PROVIDE REQUIRED STEPS FOR BFP REMOVAL. AFTER REMOVAL OF AN UNDERGROUND BFP, CONTRACTOR SHALL REMOVE THE VAULT AND BACKFILL THE TRENCH.
- WATER METERS (WMS): CONTRACTOR SHALL NOT REMOVE ANY WMS. REMOVAL OF WM SHALL ONLY BE PERFORMED BY CITY CREWS. AFTER WM REMOVAL BY CITY, CONTRACTOR SHALL DISPOSE OF WM BOX/VAULT, BACKFILL TRENCH, AND RESTORE SURFACE PER CITY STANDARDS AND REQUIREMENTS.
- SERVICE INTERRUPTION: PRIOR TO ABANDONMENT, CONTRACTOR SHALL COORDINATE WITH THE DEPT OF PUBLIC WORKS (DPW) INSPECTOR TO SCHEDULE THE WATER SHUTDOWN. THE CONTRACTOR SHALL SUBMIT A DRAFT SERVICE INTERRUPTION NOTIFICATION FOR INSPECTOR REVIEW. AFTER APPROVAL, THE CONTRACTOR SHALL DISTRIBUTE THE NOTIFICATION TO ALL AFFECTED CUSTOMERS WITHIN THE SHUTDOWN AREA AS DEFINED BY THE INSPECTOR.
- LATERAL CONNECTIONS AT MAINS: CONTRACTOR SHALL NOT REMOVE ANY TAPPING SADDLES OR TEES FROM PUBLIC MAINS. THIS TASK WILL ONLY BE DONE BY CITY CREWS. AT THESE LOCATIONS, CONTRACTOR SHALL EXCAVATE ACCESS TRENCH TO THE DIMENSIONS REQUIRED BY THE DPW INSPECTOR AND SHALL INSTALL SHORING FOR ALL SUCH TRENCHES, INCLUDING TRENCHES LESS THAN 5 FEET DEEP. DPW INSPECTOR WILL ARRANGE FOR CITY CREWS TO PERFORM DISCONNECTION AND RESTORATION OF THE MAIN AFTER CITY COMPLETES ITS WORK. CONTRACTOR SHALL REMOVE ANY ABANDONED PIPE WITHIN 3 HORIZONTAL FEET OF THE MAIN AND BACKFILL THE TRENCH.
- FIRE HYDRANTS: AFTER LATERAL ABANDONMENT, REMOVE THE HYDRANT BURY AND ANY OTHER PIPE FEATURES TO MINIMUM 24-INCHES BELOW GRADE. DELIVER HYDRANT BARREL TO THE CITY'S CORP YARD AT 221 COMMERCIAL ST. CONTACT THE DPW INSPECTOR FOR DROP-OFF COORDINATION.
- MAIN AND LATERALS: PIPES MAY BE ABANDONED IN PLACE OR REMOVED. PIPES 4" AND LARGER TO BE ABANDONED IN PLACE SHALL BE FILLED WITH LIGHTWEIGHT CELLULAR CONCRETE (LCC) OF 28-DAY COMPRESSIVE STRENGTH BETWEEN 50 AND 200 PSI. LCC INSTALLER MUST FIRST BE APPROVED BY THE DPW INSPECTOR. SMALLER PIPE MAY BE LEFT IN PLACE EMPTY.

SEWERS:

- LATERAL CONNECTIONS AT MAINS:
 - DISCONNECT LATERAL FROM MAIN. REMOVE EXISTING WYE AND/OR SEGMENT OF EXISTING MAIN AS NEEDED TO MEET THE FOLLOWING REQUIREMENT. NEW PVC MAIN SEGMENT MUST CONNECT TO MINIMUM 2 HORIZONTAL FEET OF BURIED & UNDAMAGED MAIN WHERE NEAREST BURIED JOINTS ARE MINIMUM 2 FEET AWAY FROM THE TRENCH WALL. USE FLASHLIGHT INSIDE THE MAIN TO CHECK DISTANCE TO JOINTS. EXPOSE AND REMOVE ADDITIONAL MAIN AS NEEDED TO MEET THIS REQUIREMENT.
 - INSTALL SEGMENT OF NEW SDR 26 PVC MAIN ON 3/4" CRUSHED ROCK BEDDING. CONNECT NEW PVC TO EXISTING MAIN VIA COUPLINGS WITH STAINLESS STEEL SHEAR BANDS, MISSION FLEX-SEAL ARC OR APPROVED EQUAL FOR NEW LATERAL AT SAME LOCATION. INSTALL PVC WYE WITH SDR 26 PVC STUBS. DO NOT BACKFILL BEFORE INSPECTION AND APPROVAL FROM THE DPW INSPECTOR.
 - REMOVE ABANDONED LATERAL WITHIN 3 HORIZONTAL FEET OF THE ACTIVE SEWER MAIN. REMOVE OR ABANDON IN PLACE ANY REMAINING LATERAL EXTENDING TO THE BACK OF WALK OR PROPERTY LINE, WHICHEVER IS FURTHER. REMOVE ANY PROPERTY LINE CLEANOUT TO MINIMUM 24" BELOW GRADE, AND CAP REMAINING RISER.
- MAIN & LATERALS: PIPES MAY BE ABANDONED IN PLACE OR REMOVED. ALL PIPES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH LIGHTWEIGHT CELLULAR CONCRETE (LCC) OF 28-DAY COMPRESSIVE STRENGTH BETWEEN 50 AND 200 PSI. LCC INSTALLER MUST FIRST BE APPROVED BY THE DPW INSPECTOR.
- ABANDONED PIPE CONNECTIONS AT MANHOLES (MHs): WHERE ABANDONED PIPE CONNECTS TO MHs, ENTER MHs AND PLUG THE PIPE HOLE WITH CONCRETE. PLUG SHALL BE FINISHED FLUSH WITH MANHOLE WALL, AND ANY ABANDONED CHANNEL SHALL BE FILLED WITH CONCRETE FLUSH WITH THE BENCH, SUCH THAT NO EVIDENCE OF A PREVIOUS CONNECTION REMAINS. REPAIR ANY REMAINING ACTIVE CHANNEL(S) AS DIRECTED BY THE DPW INSPECTOR. PERFORM THE SAME TASK AT ANY PRIVATE MH TO REMAIN AT THE UPSTREAM END OF AN ABANDONED LATERAL.
- MANHOLE ABANDONMENT: BREAK APART EXISTING MH BASE. INSTALL NEW SDR 26 PVC MAIN SEGMENT PER SEWER NOTE 1 ABOVE. HINGED MH FRAMES AND LIDS SHALL BE DELIVERED TO THE CITY'S CORP YARD AT 221 COMMERCIAL ST. REMOVE ALL OTHER MH PARTS TO 4 FEET BELOW GRADE. ABANDON IN PLACE ALL DEEPER MH FEATURES. FOR HARDSCAPE SURFACE, BACKFILL VOID WITH CLASS 2 AB TO 95% COMPACTION. FOR UNPAVED SURFACE, BACKFILL WITH NATIVE SOIL TO 85% COMPACTION.

STORM DRAINS:

- MAIN & LATERALS: FOLLOW SEWER NOTE 2.
- ABANDONED PIPES AT MANHOLES AND CATCH BASINS: FOLLOW SEWER NOTE 3.
- MANHOLE ABANDONMENT: FOLLOW SEWER NOTE 4, THROUGH RESTORE THE MAIN WITH NEW RCP, CLASS III OR HIGHER.

GENERAL:

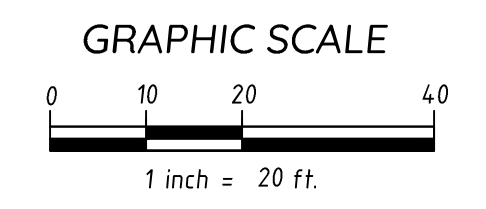
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
- CONTACT THE CITY OR OTHER UTILITY OWNERS AS NEEDED FOR REMOVAL, ABANDONMENT, OR RELOCATION OF THEIR FACILITIES.
- UPON DISCOVERY OF ANY UNIDENTIFIED UTILITIES, COORDINATE WITH THE DPW INSPECTOR FOR DIRECTION.
- SEE DEMOLITION PLANS FOR REMOVAL OF ON-SITE IMPROVEMENTS.
- ABANDONMENT OF ALL PIPES AND FEATURES SHALL BE SHOWN IN THE CONTRACTOR'S DETAILED REDLINES. THESE REDLINES SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR THE PREPARATION OF ACCURATE RECORD DRAWINGS.

LEGEND

	EXISTING TO REMAIN	TO BE REMOVED	PROPOSED
ASPHALT CONCRETE	[Pattern]	[Pattern]	[Pattern]
PORTLAND CEMENT CONCRETE	[Pattern]	[Pattern]	[Pattern]
PERVIOUS PAVER	[Pattern]	[Pattern]	[Pattern]
BUILDING	[Pattern]	[Pattern]	[Pattern]
LANDSCAPE AREA	[Pattern]	[Pattern]	[Pattern]
BIORETENTION	[Pattern]	[Pattern]	[Pattern]
PROPERTY LINE	[Pattern]	[Pattern]	[Pattern]
LOT LINE	[Pattern]	[Pattern]	[Pattern]
STREET EASEMENT DEDICATION (360 SF)	[Pattern]	[Pattern]	[Pattern]
TYPE II SLURRY SEAL	[Pattern]	[Pattern]	[Pattern]

PROPOSED LOTS INFORMATION

ITEM	LOT NUMBER	AREA
1	LOT 1	4,101.3 SF
2	LOT 2	1,433.1 SF
3	LOT 3	1,421.3 SF
4	LOT 4	1,421.3 SF
5	LOT 5	2,624.7 SF
6	DEDICATION	360 SF



NO.	DATE	BY	REVISIONS

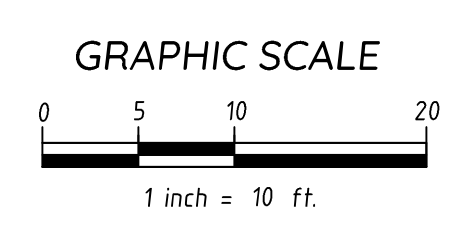
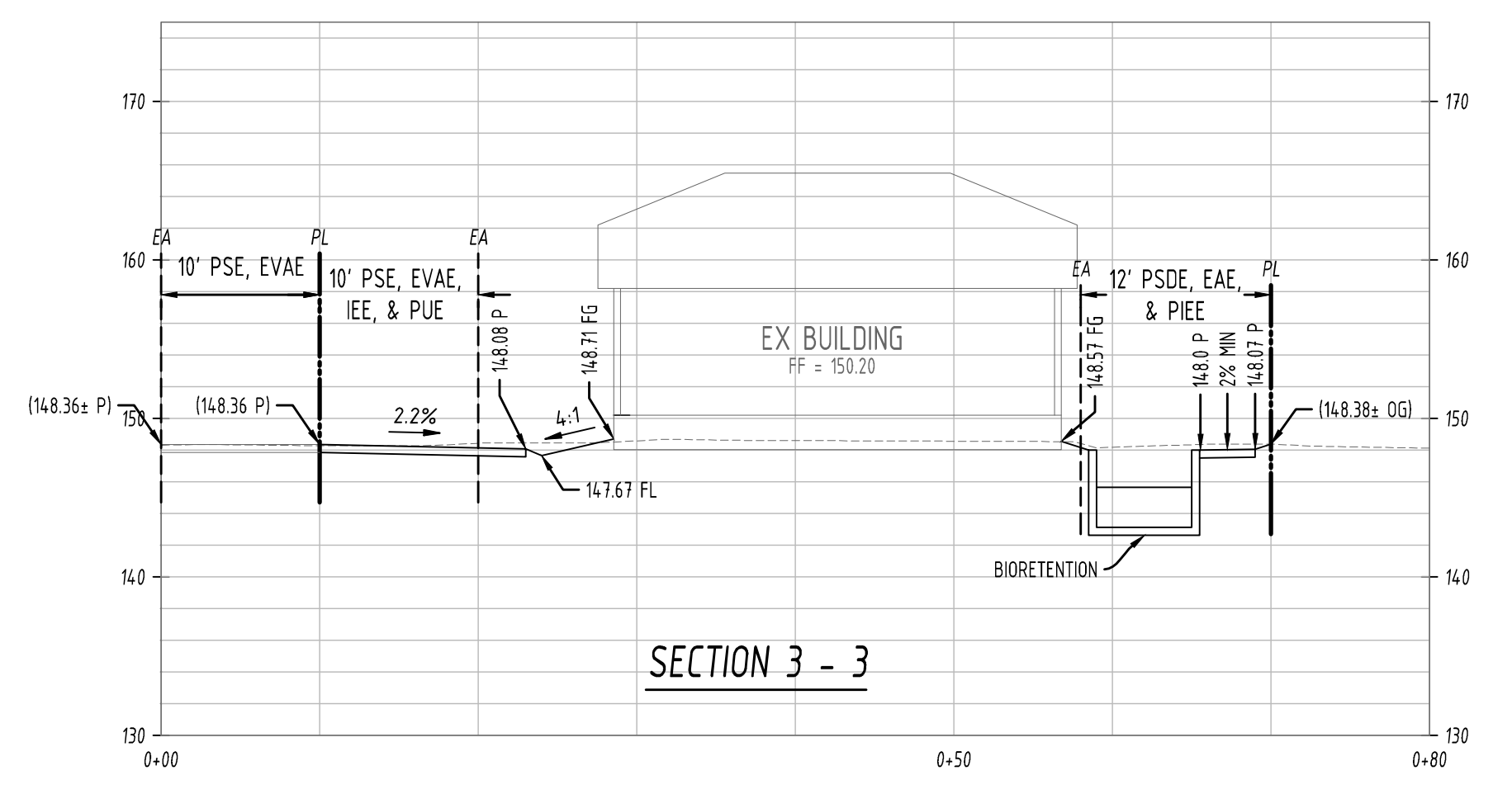
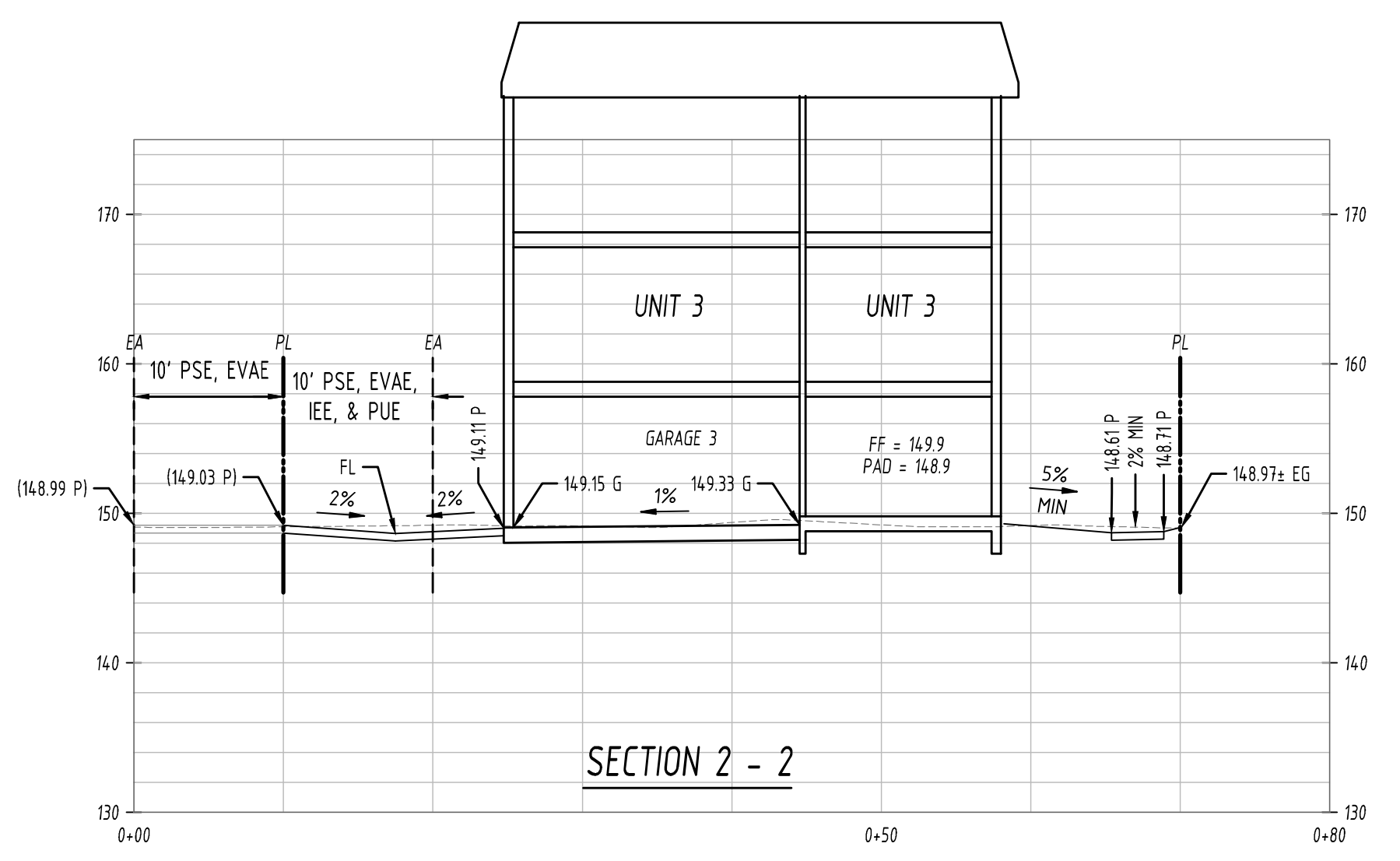
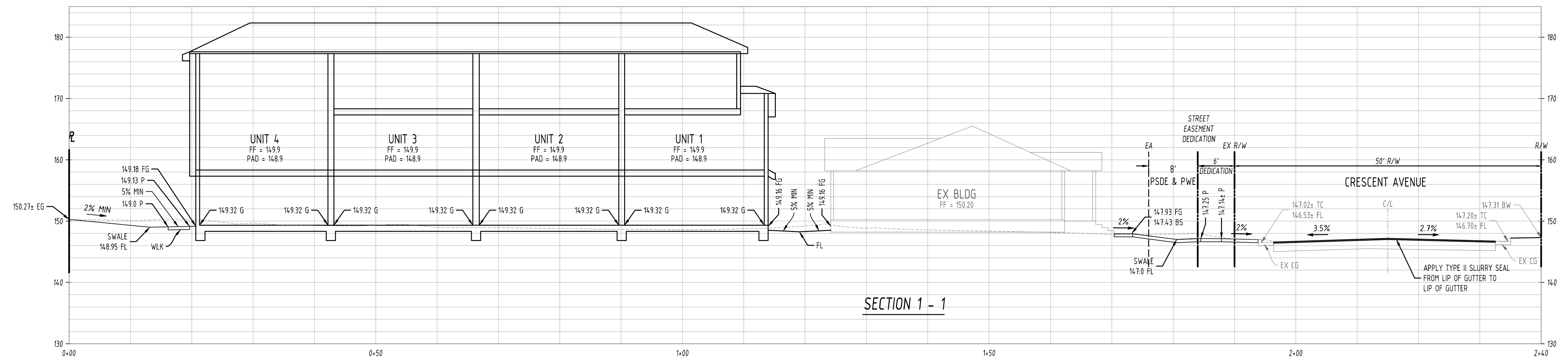
CIVIO CONSULTING
 1669 FLANIGAN DRIVE #E
 SAN JOSE, CA 95121
 EMAIL: OFFICE@CIVIOCONSULTING.COM



DATE:	09/05/25
SCALE:	AS NOTED
DESIGN:	XP
CHECK:	MC
PROJECT #:	2025-010

TENTATIVE MAP
434 CRESCENT AVENUE
SITE PLAN
 CALIFORNIA
 SUNNYVALE

SHEET
TM 3.0
 4 OF 10 SHEETS
PW PROJECT #



NO.	DATE	BY	REVISIONS

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CHECK:	MC
PROJECT #:	2025-010

TENTATIVE MAP
434 CRESCENT AVENUE
 BUILDING CROSS SECTIONS
 SUNNYVALE CALIFORNIA

SHEET
TM 3.2
 6 OF 10 SHEETS
 PW PROJECT #

- LEGEND**
- EXISTING ASPHALT CONCRETE
 - EXISTING BUILDING
 - EXISTING CONCRETE
 - EXISTING PERVIOUS PAVER
 - PROPOSED CONCRETE
 - BIO-RETENTION
 - TRIBUTARY AREA
 - FLOW DIRECTION
 - OVERLAND RELEASE

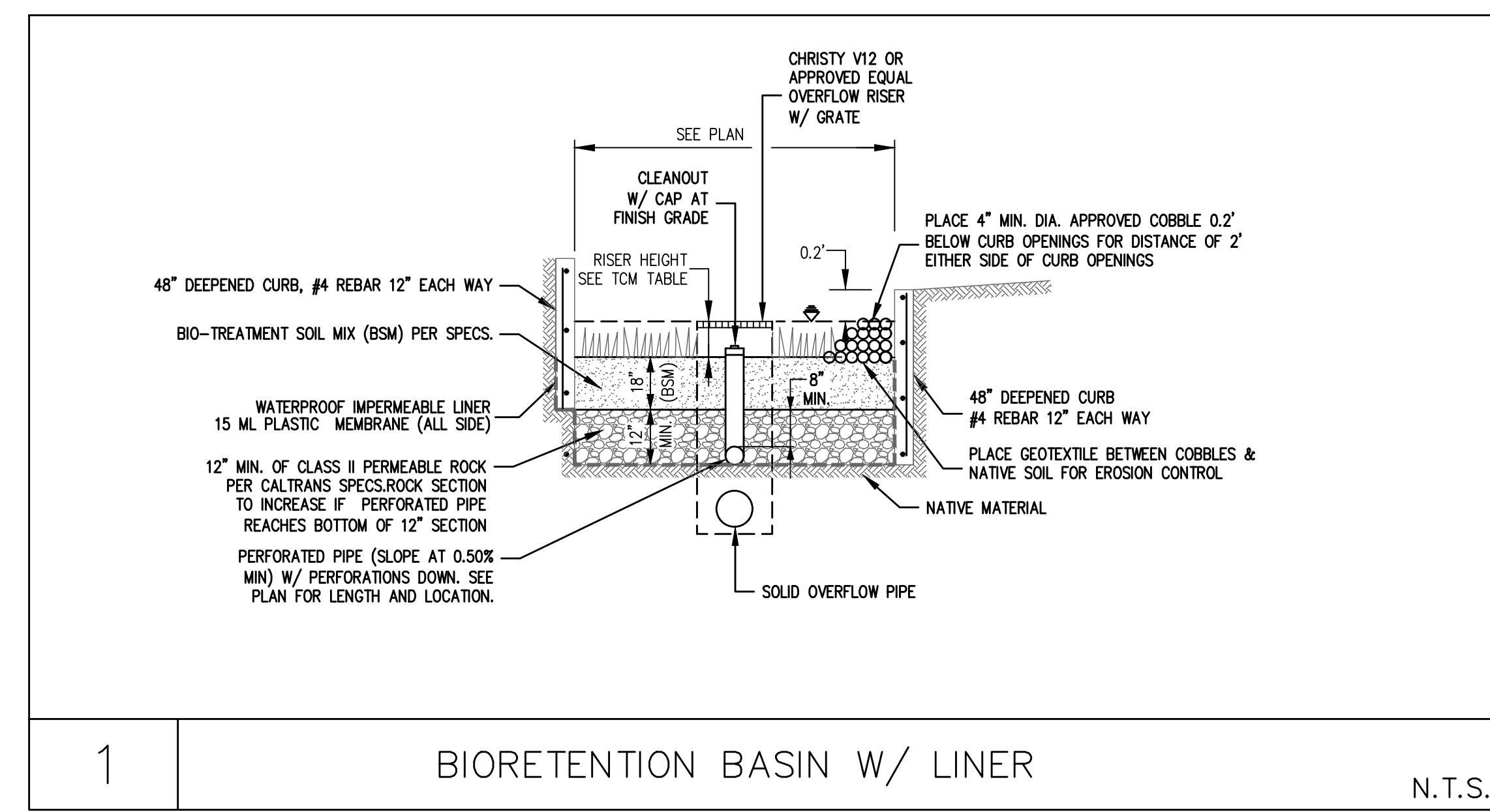
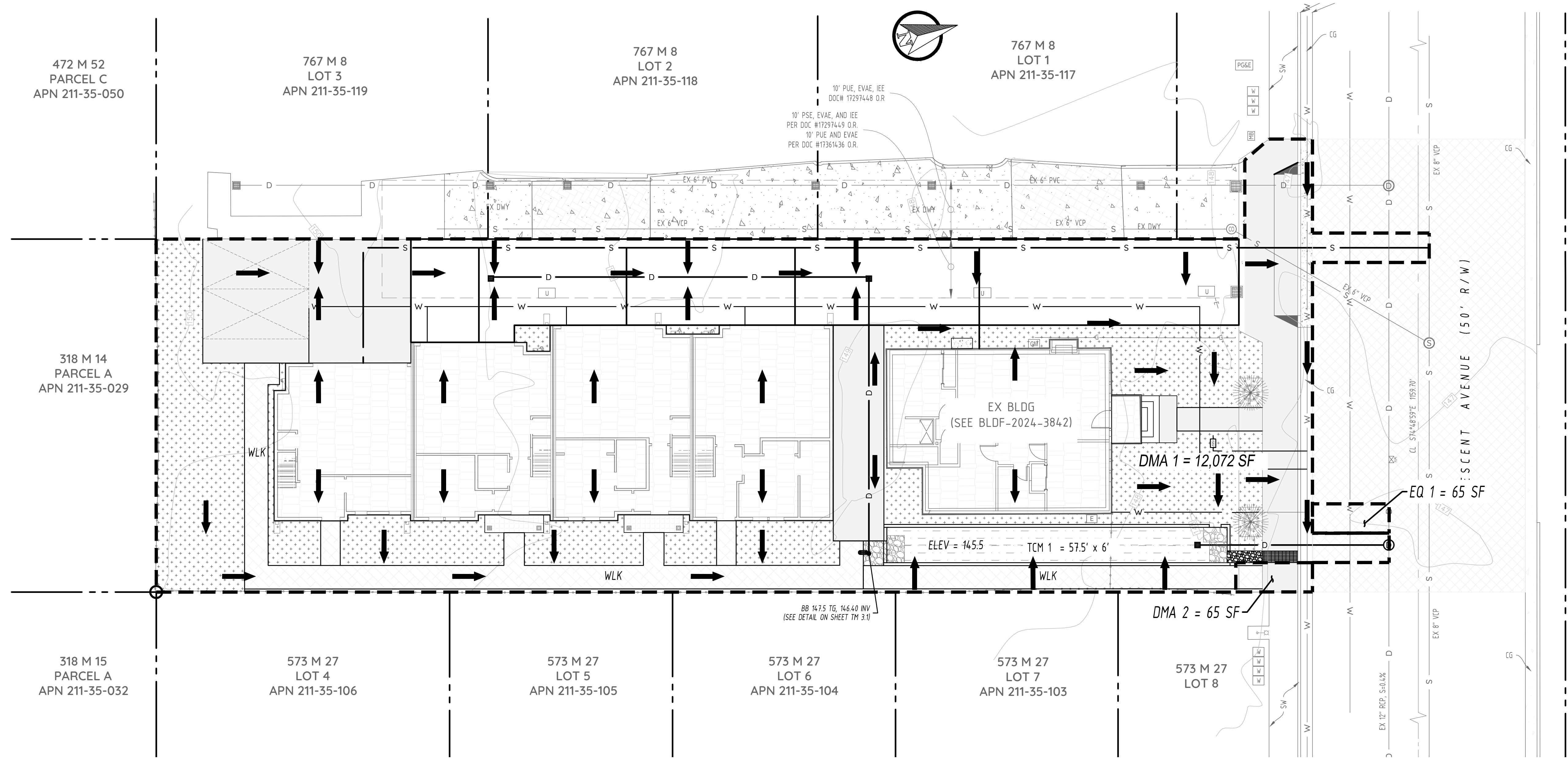
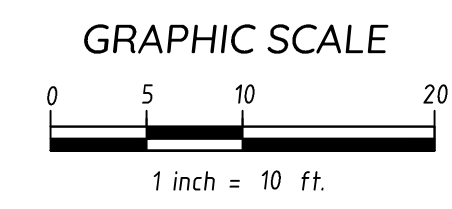


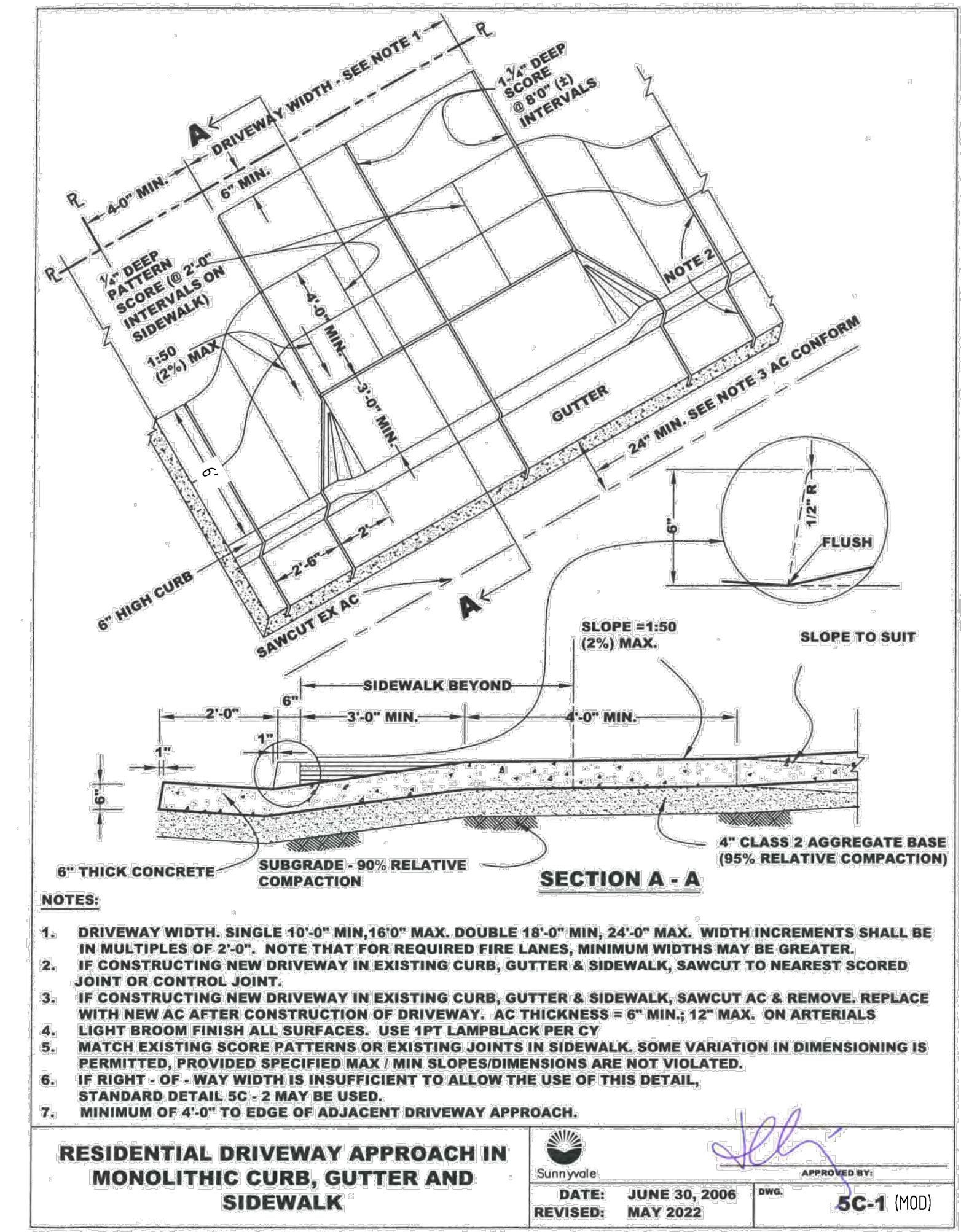
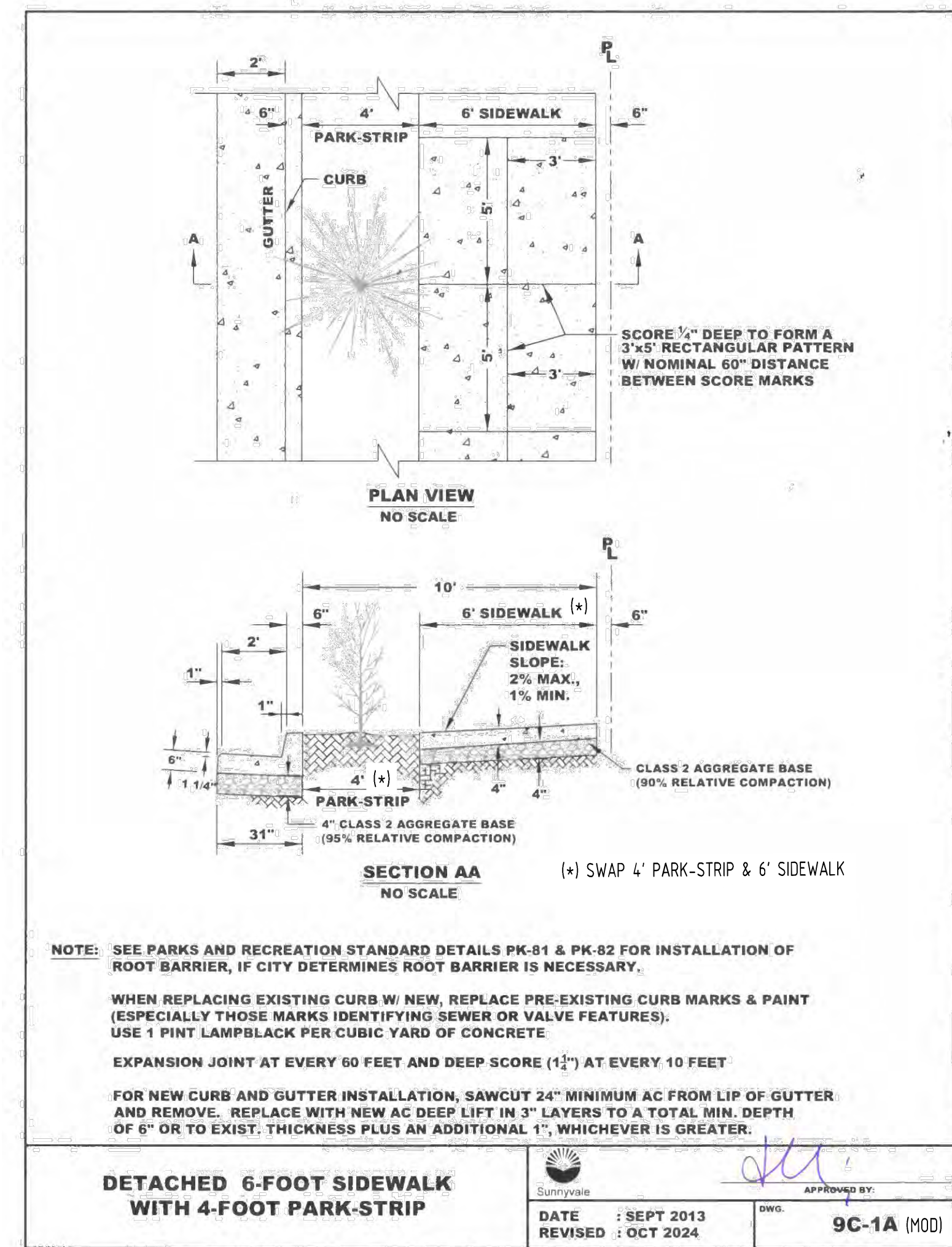
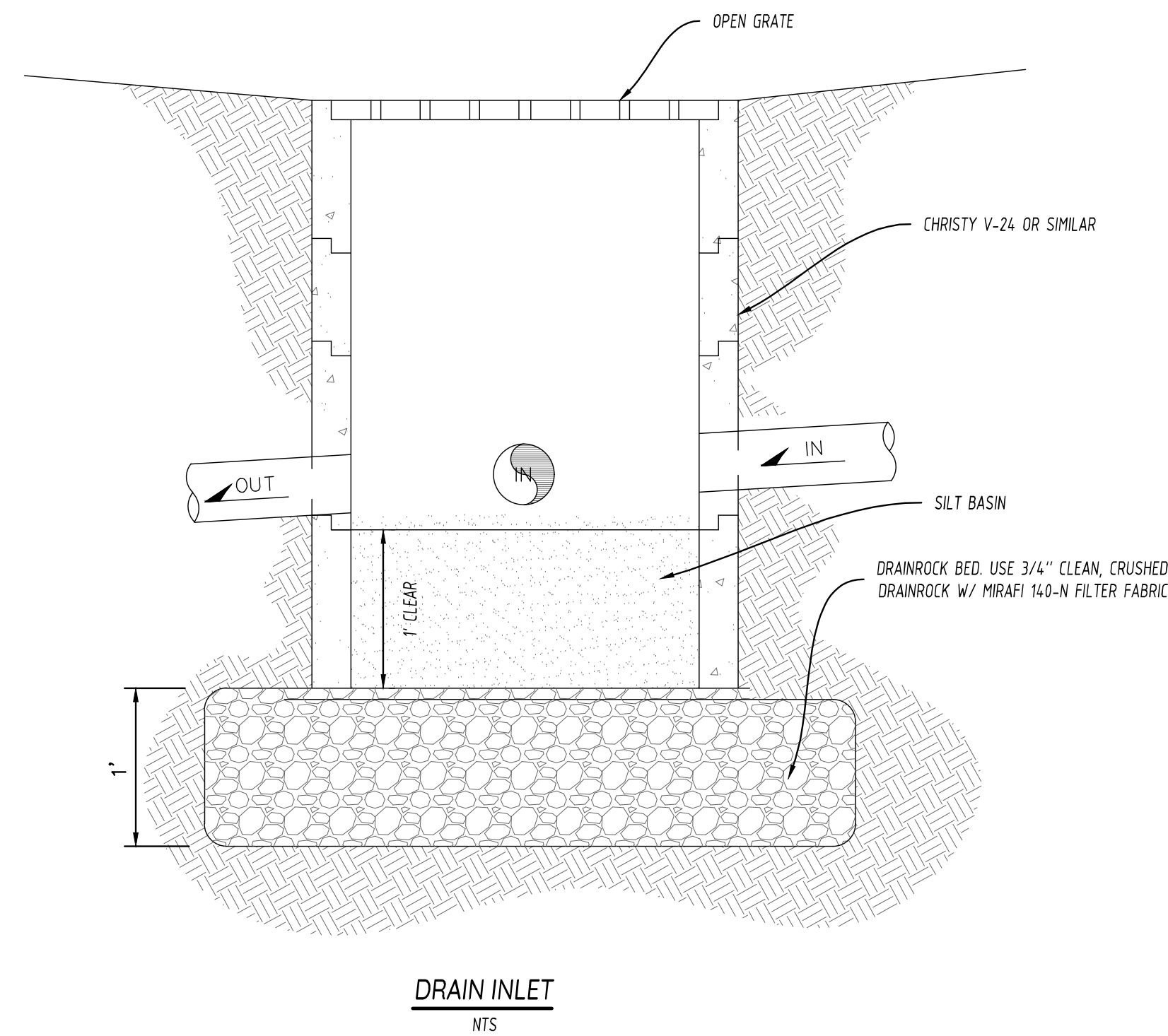
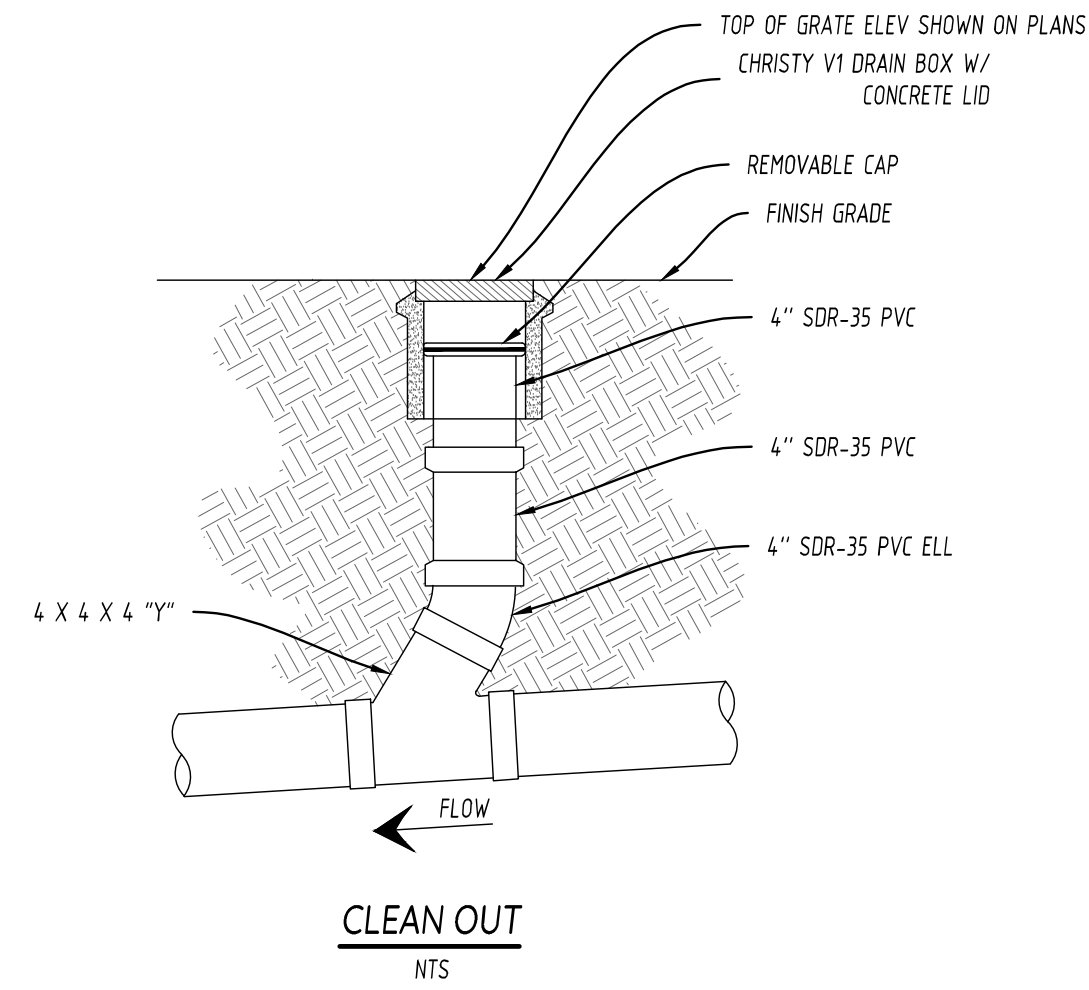
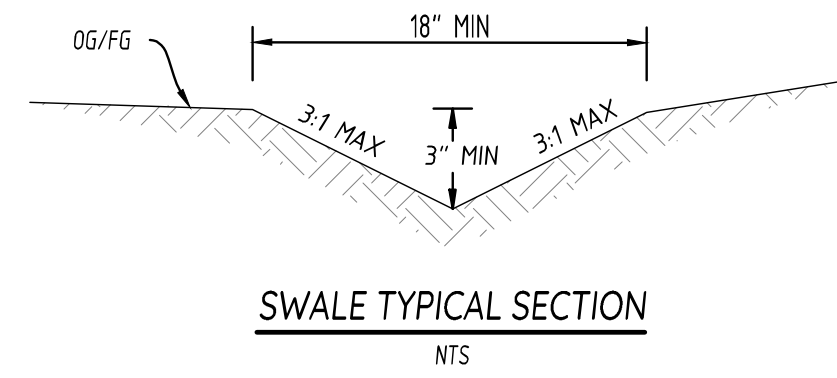
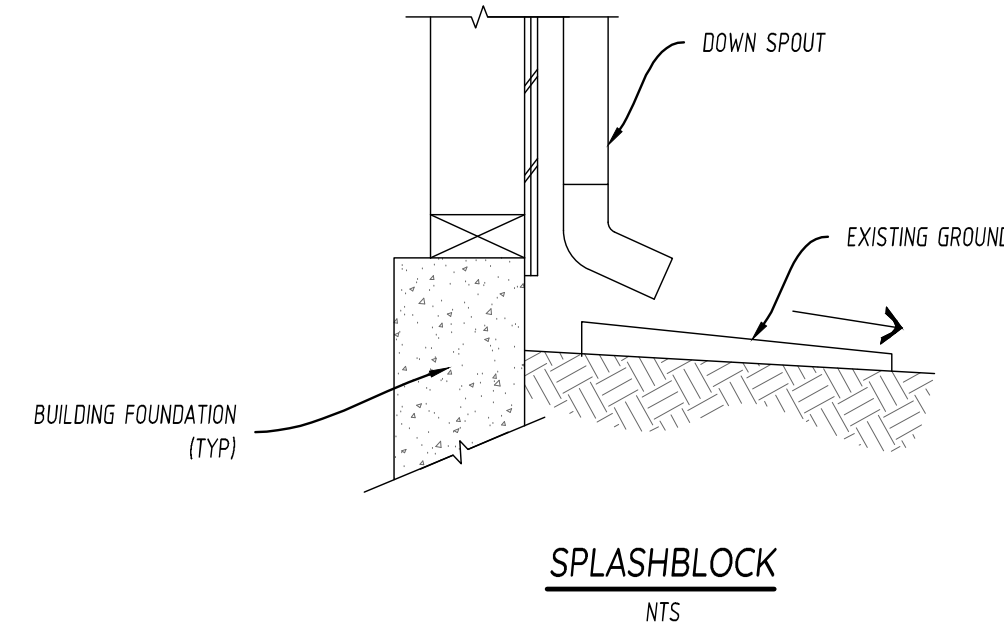
Table 2 - Drainage Management Areas (DMAs) & Receiving Landscape Based Management Measures

DMA #	TCM #	Location ¹	Treatment Type ²	Drainage Area (s.f.)	Impervious Area ³ (s.f.)	Landscape /Pervious Area (s.f.)	Factored Impervious Area (s.f.)	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Proposed Sizing Ratio	Dimensions (L x W x Depth minimum)	Comments
1	1	Onsite	Bioretention lined w/ underdrain	12,073	8,135	3,940	8,529	(d) = 0.04 * (c)				
2	1	Offsite	Untreated	65	65	0						
EQ1	1	Offsite	Bioretention lined w/ underdrain	65	65	0	65					Equivalent area treated in lieu of DMA 2
TOTAL				12,138	8,200	3,940	8,594	344	345	4.0%	57.5' x 6' x 0.5'	Bioretention provided

Footnotes:
¹Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)

CIVIO CONSULTING 1669 FLANIGAN DRIVE #E SAN JOSE, CA 95121 <small>EMAIL: OFFICE@CIVIOCONSULTING.COM</small>		DATE: 09/05/25 SCALE: AS NOTED DESIGN: XP CHECK: NC PROJECT #: 2025-010	TENTATIVE MAP 434 CRESCENT AVENUE PRELIMINARY STORMWATER CONTROL PLAN	SUNNYVALE CALIFORNIA	SHEET TM 4 7 OF 10 SHEETS PW PROJECT #	REVISIONS BY: DATE:	





Curb Inlet System:

Curb Inlet Casting Curb Inlet E-Frame Curb Inlet Waste Basket (Optional)

Section A: Grate Design (Select One)

Divisadero HP Interloken Oblio Rain HP Regular Joe HP Regular Joe

Section B: End Condition (Select One)

No End Condition This End (Standard)

Second Curb Inlet "Book End" (Optional)

Waste Basket (Optional)

Section C: Overall Length _____ Feet _____ Inches

24" Curb Inlet System - Worksheet

Material: Mild Steel/Ductile Iron Weight: N/A lbs. Free Drain Area: N/A in²/sq. or N/A % By: MS Checked: MS Date: 4-3-24

Finish: Raw Edge: Variable Flow Rate: N/A GPM, or N/A CuFt./sec. Registration: Pending Scale: NTS

Product ID: N/A Drawing Name: 01_24" CurbInlet_System_Default

Telephone: 206.276.0925 Website: www.ironagegrates.com

THRU-CURB DRAIN DETAILS
NTS

NO.	DATE	BY	REVISIONS

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DESIGN:	XP
CHECK:	NC
PROJECT #:	2025-010

TENTATIVE MAP
434 CRESCENT AVENUE
DETAIL SHEET

CALIFORNIA
SUNNYVALE

SHEET
TM 6
9 OF 10 SHEETS
PW PROJECT #

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All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect, common law, copyright or other reserved rights.

REVISED 10/30/24
REVISED 2/17/25
REVISED 2/19/25
REVISED 4/23/25
REVISED 6/5/25
REVISED 9/4/25
REVISED 9/24/25
REVISED 12/25/25



PLANT LEGEND AND NOTES

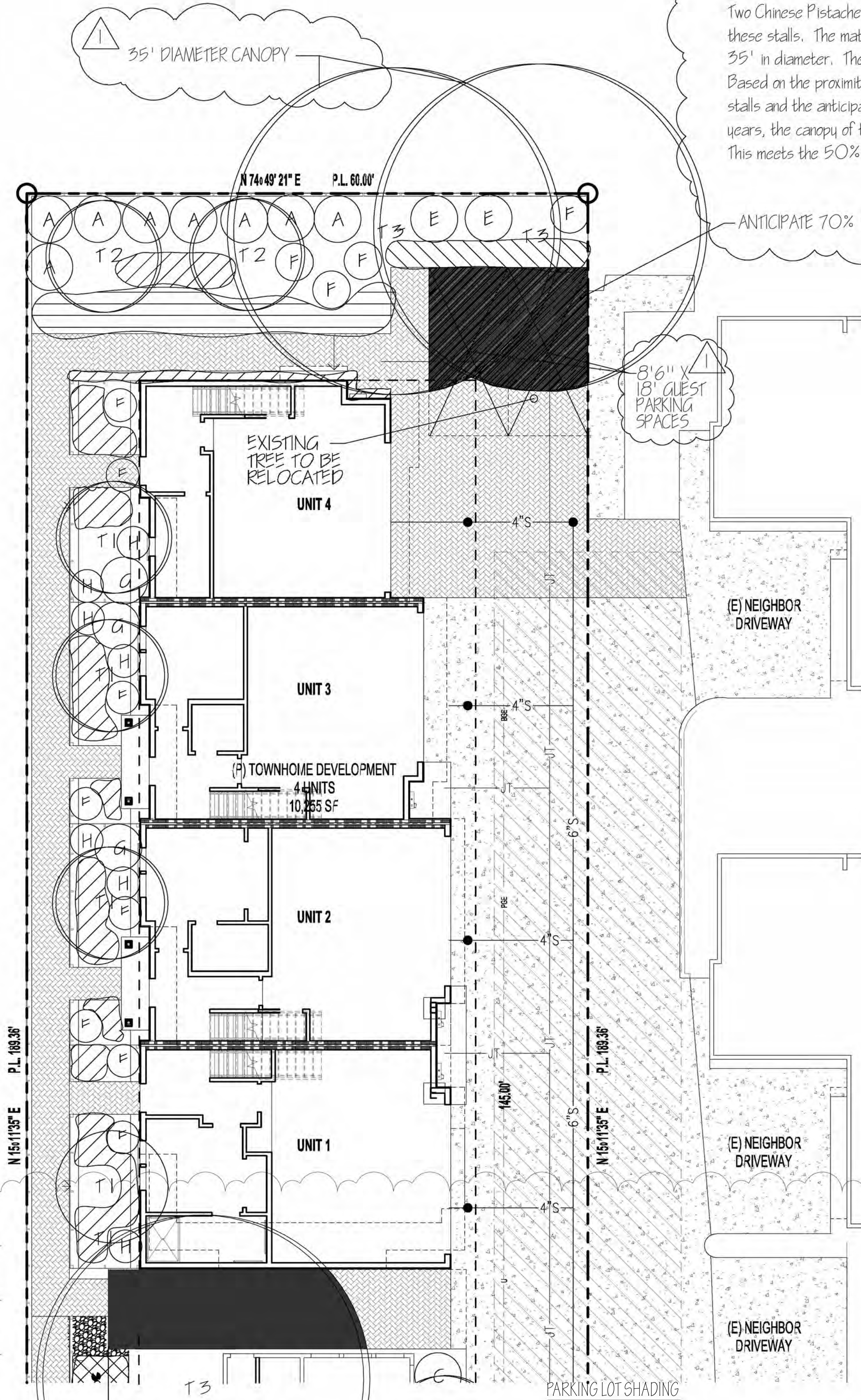
Symbol	Species	Size	Water
[Dotted pattern]	Sod lawn 100% dwarf fescue		
[Diagonal lines /]	Lamandra Black Preeze @ 18" oc	1 gallon low	
[Diagonal lines \]	Dianella Little Rev @ 18" oc	1 gallon low	
[Horizontal lines]	Tuboxia violacea @ 24" oc	1 gallon low	
[Vertical lines]	Gazania mtswana yellow @ 24" oc	1 gallon low	
[Cross-hatch]	Juncus patens/ Rush @ 24" oc	1 gallon low	
[A]	Pittosporum tenuifolium	5 gallon low	
[B]	Chondropetalum testaceum/ Cape Rush	5 gallon low	
[C]	Abelia grandiflora	5 gallon low	
[D]	Salvia Santa Barbara/ Sage	5 gallon low	
[E]	Loropetalum Purple Delight	5 gallon low	
[F]	Westringia Little Gray	5 gallon low	
[G]	Camellia japonica red	5 gallon med	
[H]	Nandina Harbor Dwarf	5 gallon low	
[I]	Cotinus Golden Spirit/ Smoke Tree	5 gallon low	
[T1]	Acer palmatum Bloodgood/ Japanese Maple	24" box med	
[T2]	Laurostroemia Tuscovora sid./ Grape Myrtle	24" box low	
[T3]	Pistachia chinensis Keith Davy/ Chinese Pistache (Measure size at 15 years 75" high x 35" wide)	48" box low	
[T4]	Quercus shumard/ Shumard Oak Street Tree	24" box low	

- 1) Thoroughly prepare soil prior to planting. Break up horizon and till prior to adding amendments.
- 2) Incorporate 4 cu of compost per 1000 sq. ft. into native soil.
- 3) Verify placement of all plant material prior to planting.
- 4) Spread 3" of wood chip (Prochp Brown Tone, or equal) mulch after planting. Verify color with Owner. Mulch to be placed around all new and existing planting as well as in side yard areas when no planting is proposed.
- 5) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape design.

PARKING LOT SHADING
This site has two proposed quest parking stalls at 8'6" x 18' each, or with an overall total area of 306 sf. Two Chinese Pistache trees have been proposed for shading of these stalls. The mature canopy size of each tree averages 35' in diameter. The circles on the plan represent 35'. Based on the proximity of the proposed trees to the parking stalls and the anticipated mature size of the trees at 15 years, the canopy of the trees will cover 216 sf or 70%. This meets the 50% requirement for shading.

ANTICIPATE 70% SHADING AT 15 YEARS

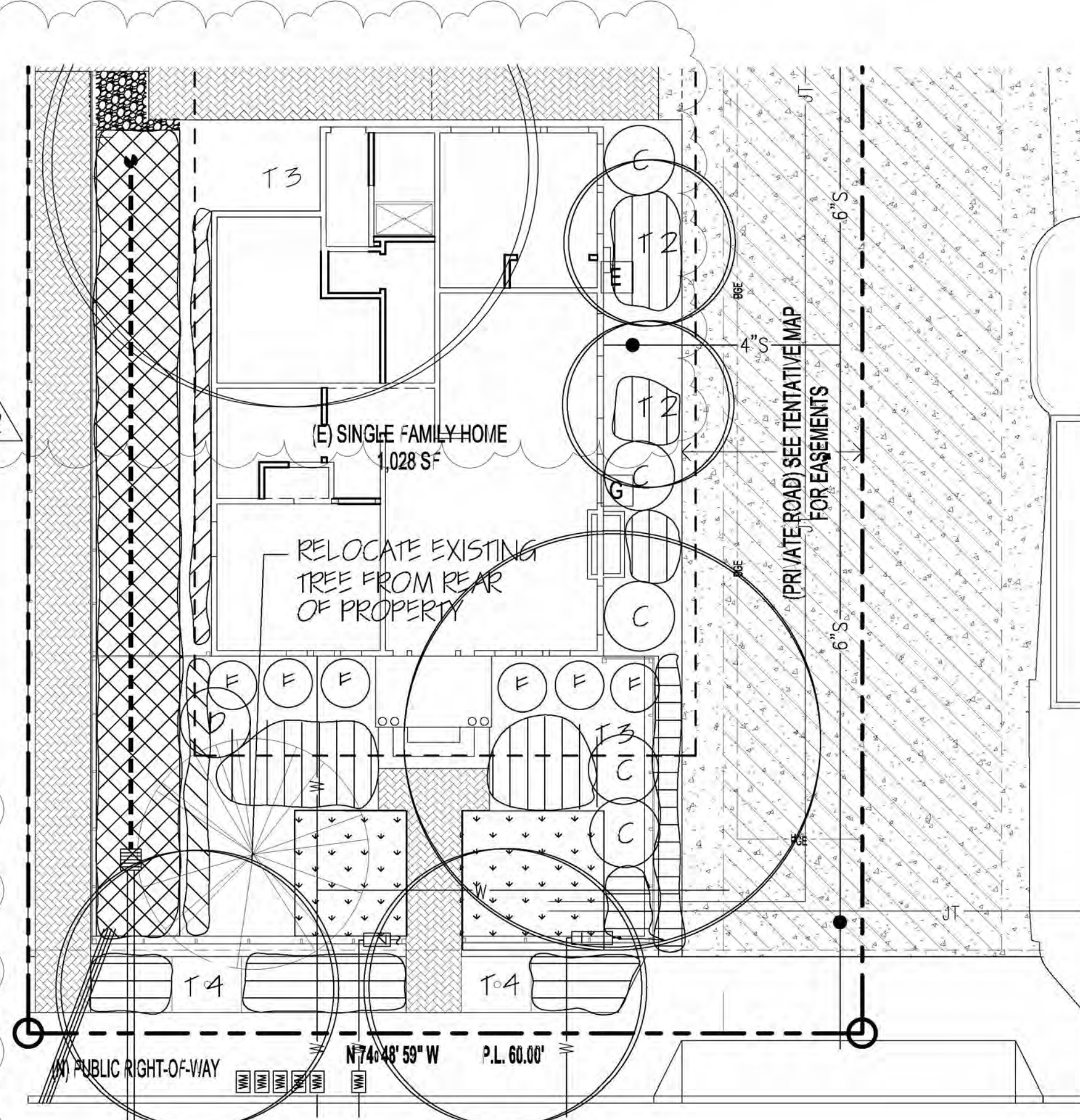
8'6" x 18' GUEST PARKING SPACES



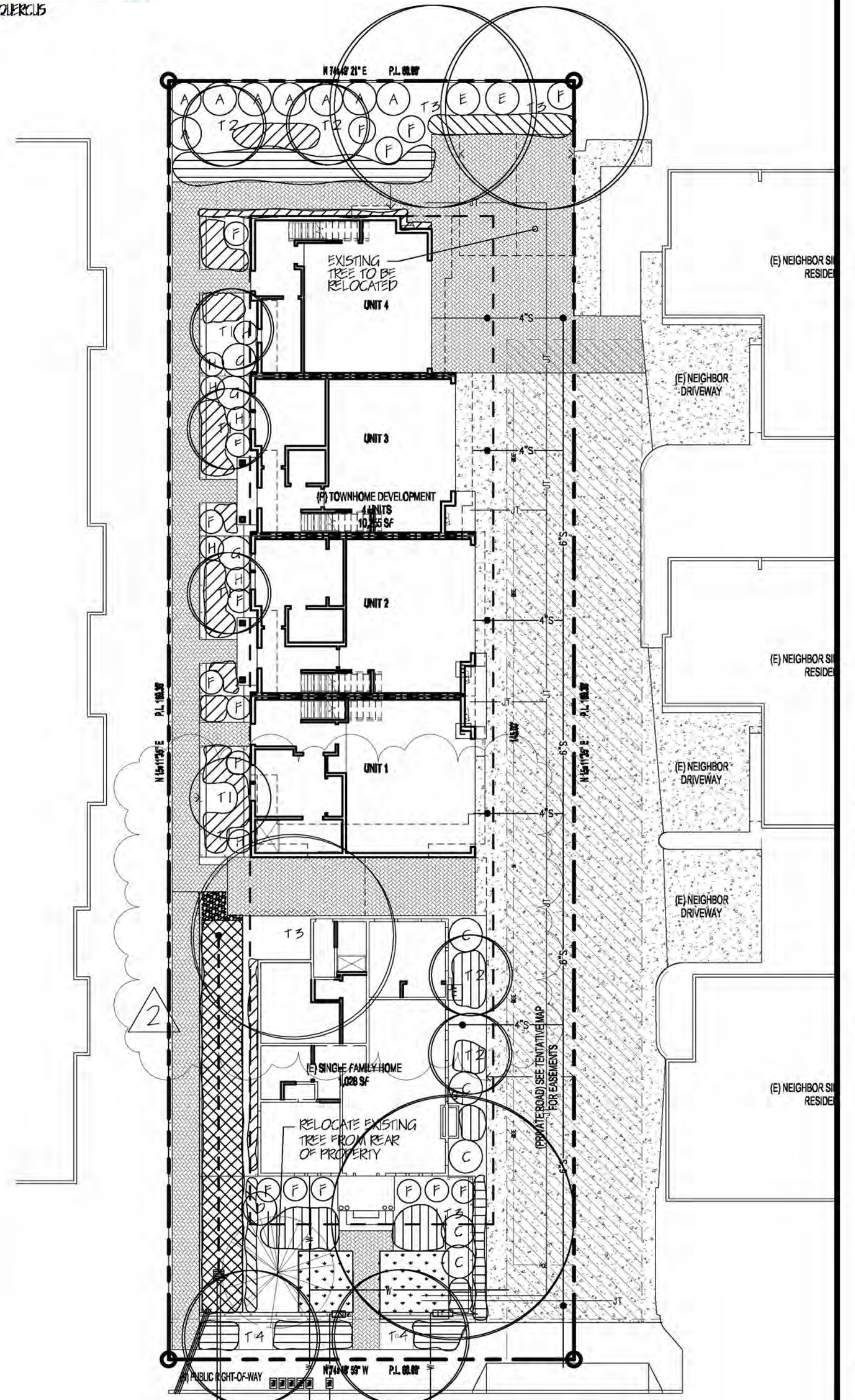
REAR PROJECT AREA
1/8" = 1'-0" APPROXIMATE

PARKING LOT SHADING
This site has two proposed tandem parking stalls at 8'6" x 18" each, or with an overall total area of 306 sf. One Chinese Pistache tree has been proposed for shading of these stalls. The mature canopy size of this tree averages 35' in diameter. The circles on the plan represent 35'. Based on the proximity of the proposed tree to the parking stalls and anticipated mature size of the tree at 15 years, the canopy of the tree will cover 222 sf or 72.5%. This meets the 50% requirement for shading.

ANTICIPATE 72.5% SHADING AT 15 YEARS



CRESCENT AVE
FRONT PROJECT AREA
1/8" = 1'-0" APPROXIMATE



CRESCENT AVE
OVERALL SITE PLAN
1/16" = 1'-0" APPROXIMATE



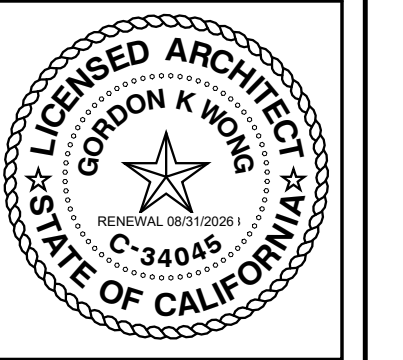
RESIDENTIAL DEVELOPMENT

for:
434 CRESCENT AVENUE
SUNNYVALE, CA. 94087

MASTER PLANTING

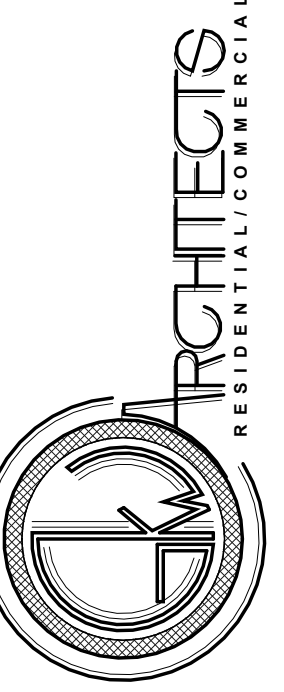
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scale: NOTED
drawn by: WJH
job no. 202432
sheet

of shts



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Architectural, Plan, Townhomes, 1st & 2nd Floors

Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2023.04.30

Architectural,
Plan, Townhomes,
1st & 2nd Floors

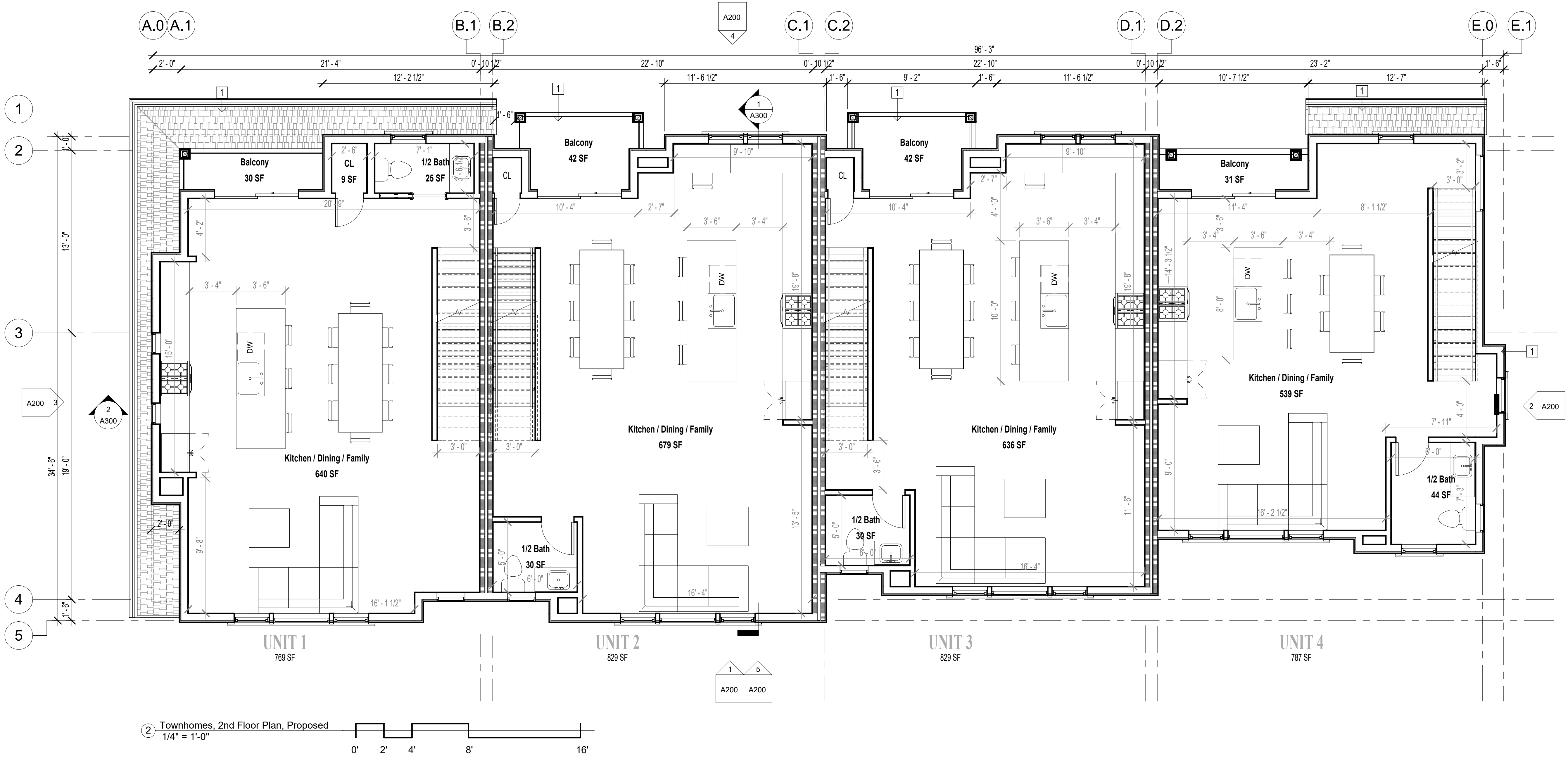
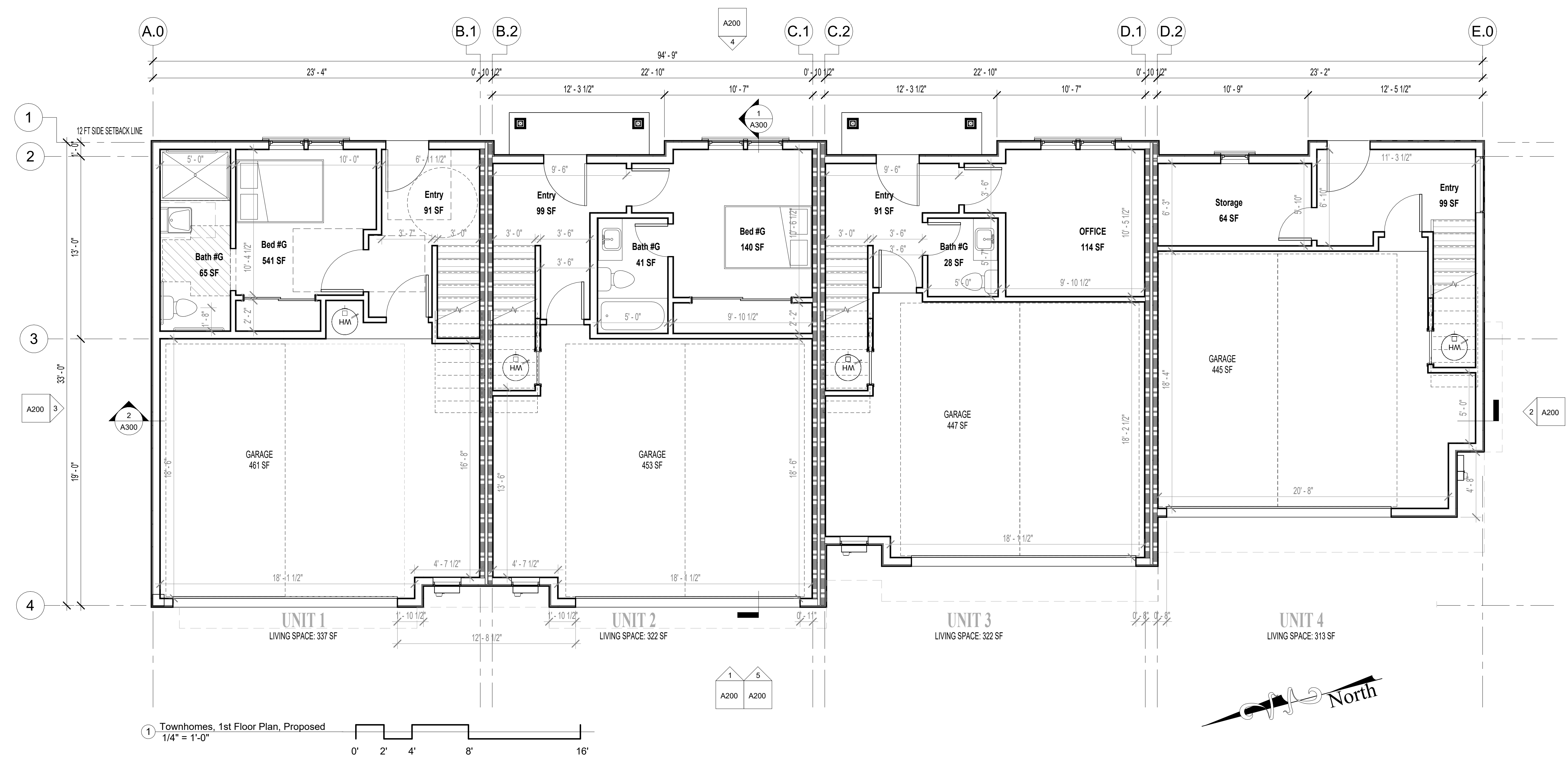
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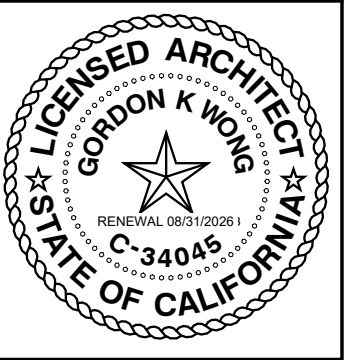
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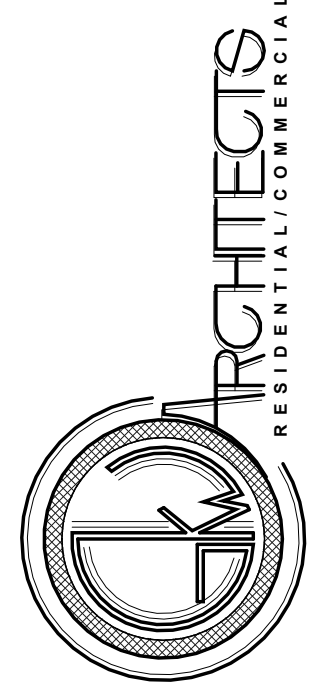
1ST & 2ND FLOOR PLAN, PROPOSED, KEYNOTES:
1 ARCHITECTURAL PROJECTION PER § 19.48.070

NOTES:
§ 19.48.070 EXTENSION OF STRUCTURAL FEATURES INTO REQUIRED YARDS.
CORNICES, EAVES, CANOPIES, FIREPLACES AND ARCHITECTURAL
PROJECTIONS MAY EXTEND INTO ANY REQUIRED YARD A DISTANCE NOT
TO EXCEED TWO FEET. BAY WINDOWS WHICH ARE CANTILEVERED A
MINIMUM OF TWENTY-FOUR INCHES ABOVE GROUND MAY PROJECT UP
TO TWO FEET INTO A REQUIRED YARD, PROVIDED THAT, THEY DO NOT
EXCEED TWELVE FEET IN LENGTH.





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Architectural, Plan, Townhomes, 3rd Floor & Roof

Residential Development
 434 Crescent Avenue
 SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2023.04.30

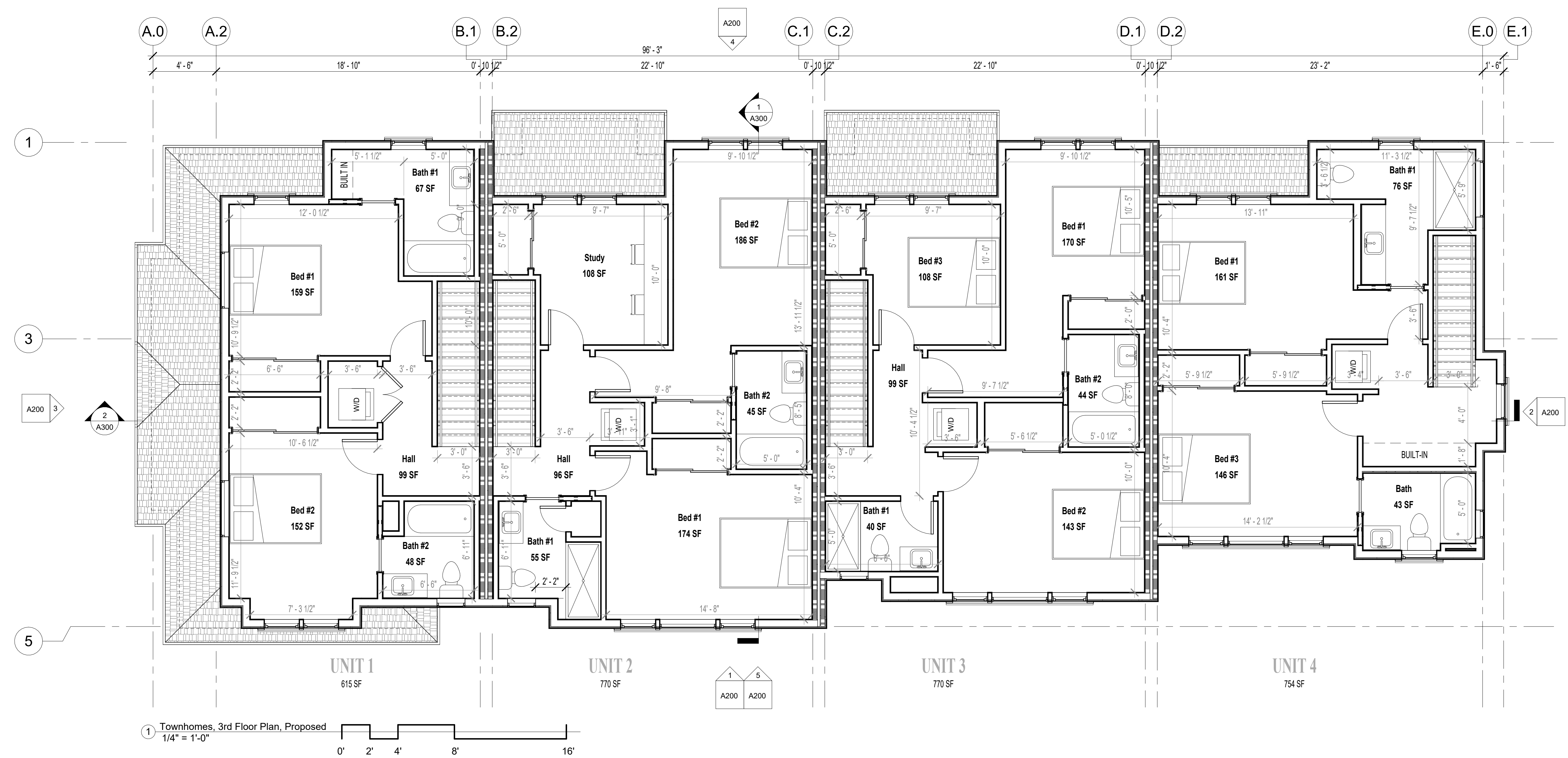
Architectural,
 Plan, Townhomes,
 3rd Floor & Roof

A103

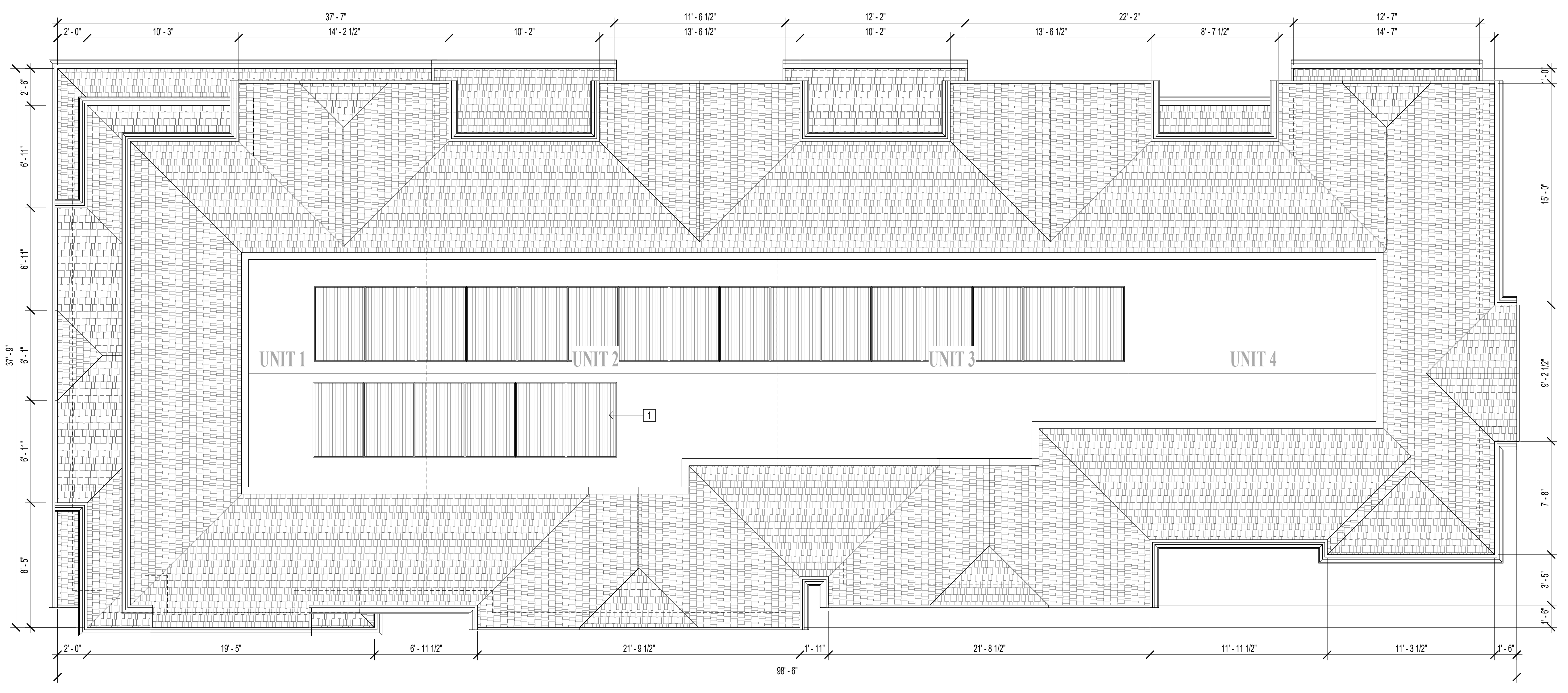
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3RD FLOOR & ROOF PLAN, PROPOSED, KEYNOTES:

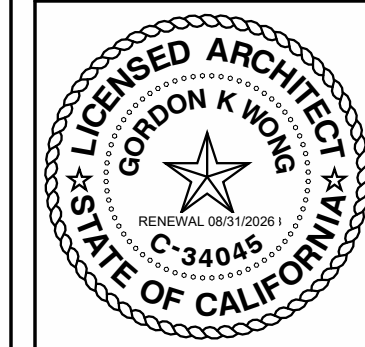
- 1 SOLAR PANEL, TYP.
- 2 EXTERIOR ROOF DRAINS AND RAINWATER LEADERS SHALL MATCH UNDERLYING WALL COLOR OR BE INCORPORATED INTO THE WATER CAVITY



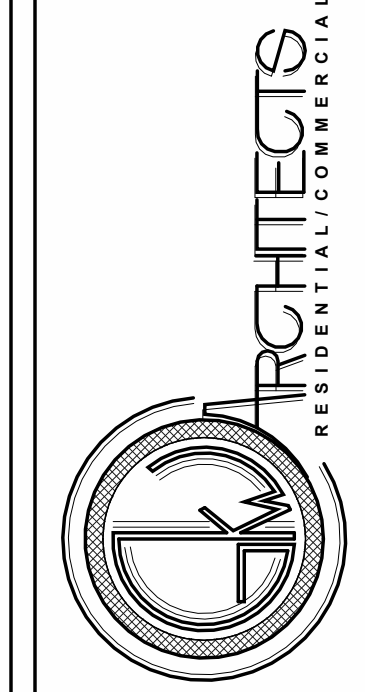
1 Townhomes, 3rd Floor Plan, Proposed
 1/4" = 1'-0"



2 Roof Plan, Proposed
 1/4" = 1'-0"



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Architectural, Elevations, Townhomes & Materials

Residential Development
 434 Crescent Avenue
 SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2020.04.30

Architectural,
 Elevations,
 Townhomes &
 Materials

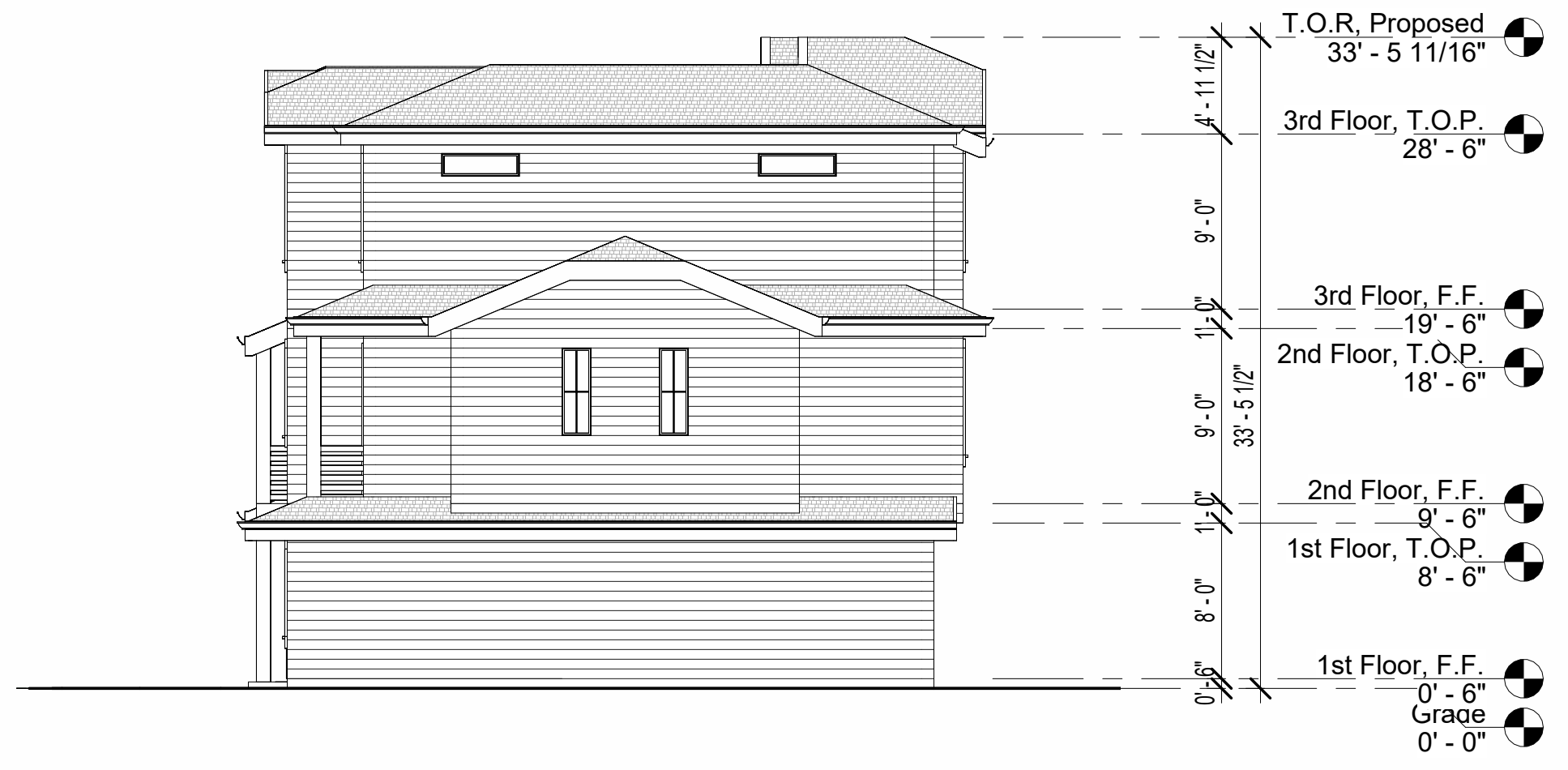
A200

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② Townhomes, South Elevation, Proposed
 1/8" = 1'-0"



③ Townhomes, North Elevation, Proposed
 1/8" = 1'-0"



① Townhomes, West Elevation, Proposed
 1/8" = 1'-0"



④ Townhomes, East Elevation, Proposed
 1/8" = 1'-0"



⑤ Townhomes, West Elevation, Detailed
 1/4" = 1'-0"



A HARDIE BOARD SIDING, OFF WHITE (MATCH HISTORICAL)

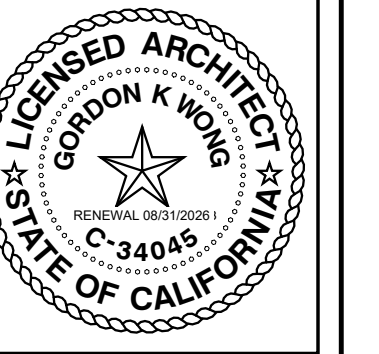


B ASPHALT COMPOSITE SHINGLE, DARK GRAY (MATCH HISTORICAL)



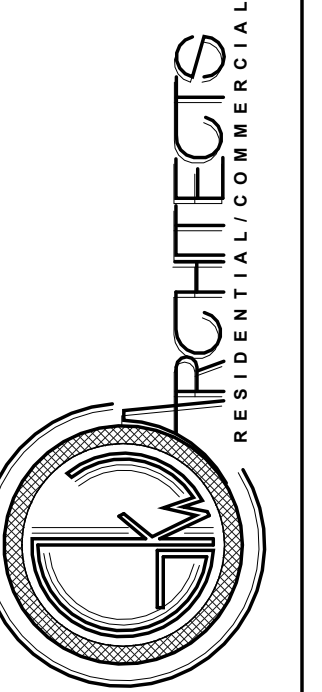
C WOOD GRAIN TEXTURE GARAGE PANEL (MATCH HISTORICAL)

D WINDOWS, TRUE DIVIDED LITES



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Architectural, Elevations, Historical Residence, Existing & Proposed

Residential Development
 434 Crescent Avenue
 SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date
1	Planning	2023.04.30

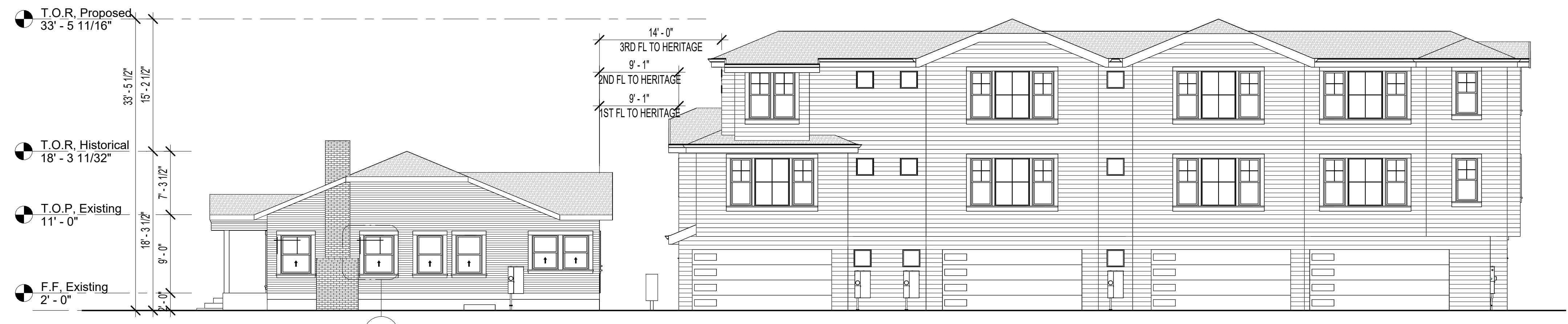
Architectural,
 Elevations,
 Historical
 Residence,
 Existing &
 Proposed
A201

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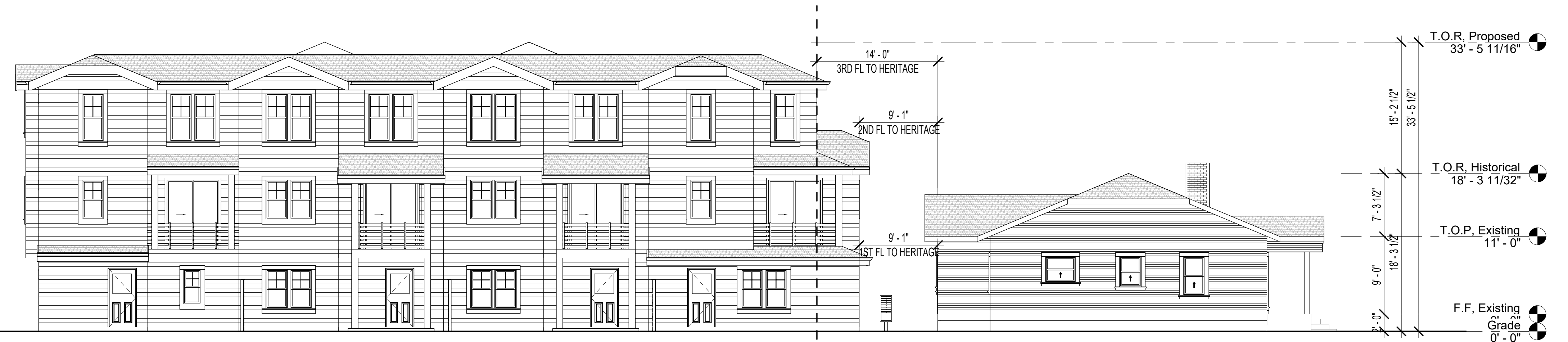
2 Historical, South Elevation, Proposed
 1/8" = 1'-0"



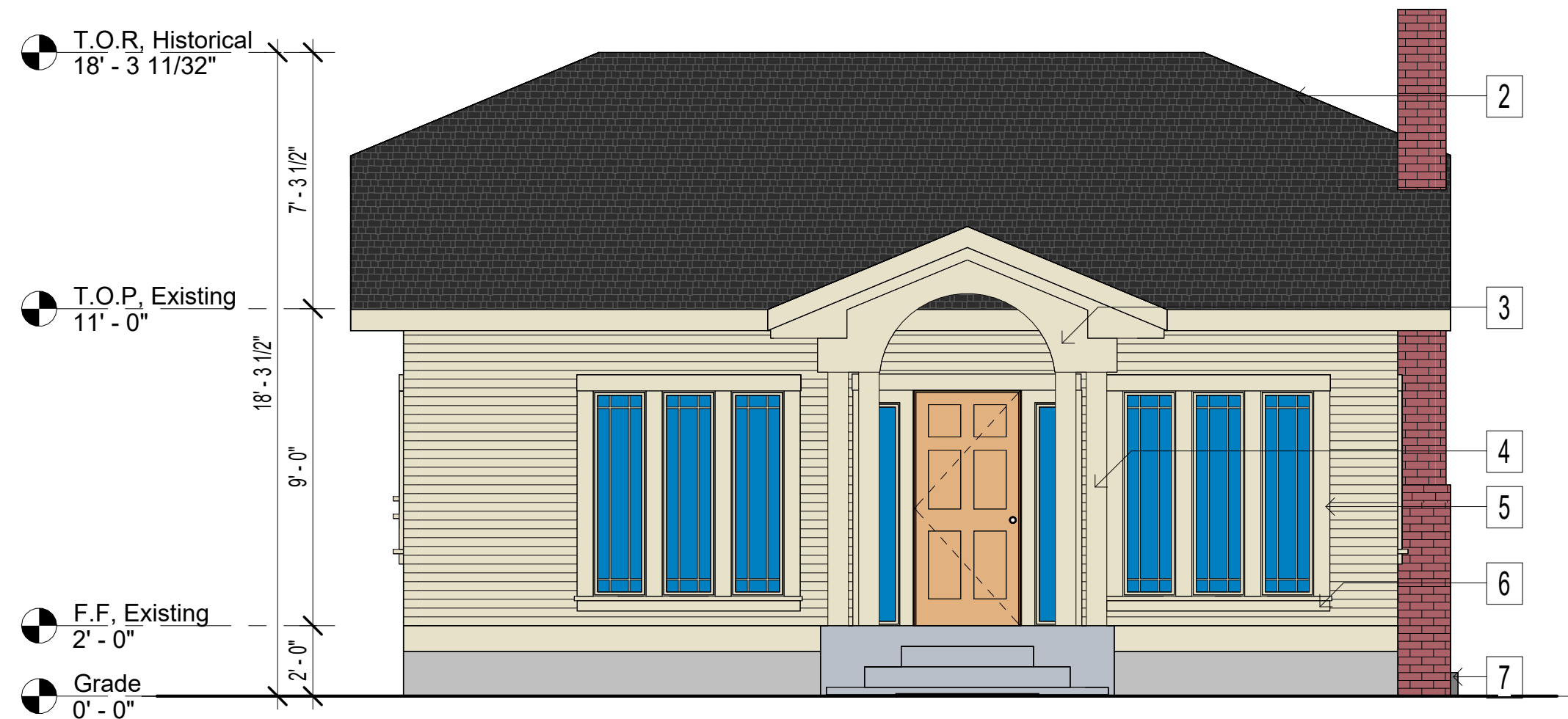
1 Historical, West Elevation, Proposed
 1/8" = 1'-0"



3 Historical, North Elevation, Proposed
 1/8" = 1'-0"



4 Historical, East Elevation, Proposed
 1/8" = 1'-0"



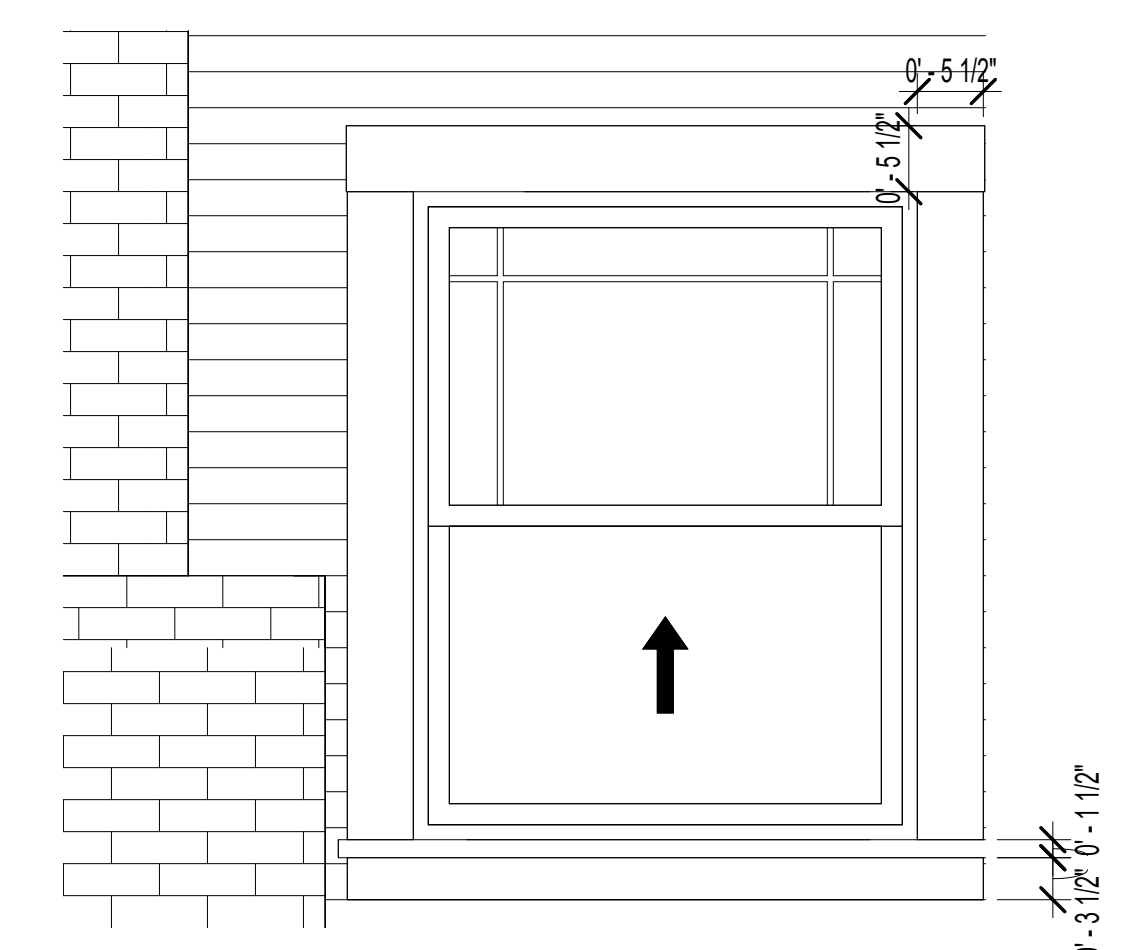
5 Historical, North Elevation, Detailed
 1/4" = 1'-0"

HISTORICAL ELEVATIONS KEYNOTES:

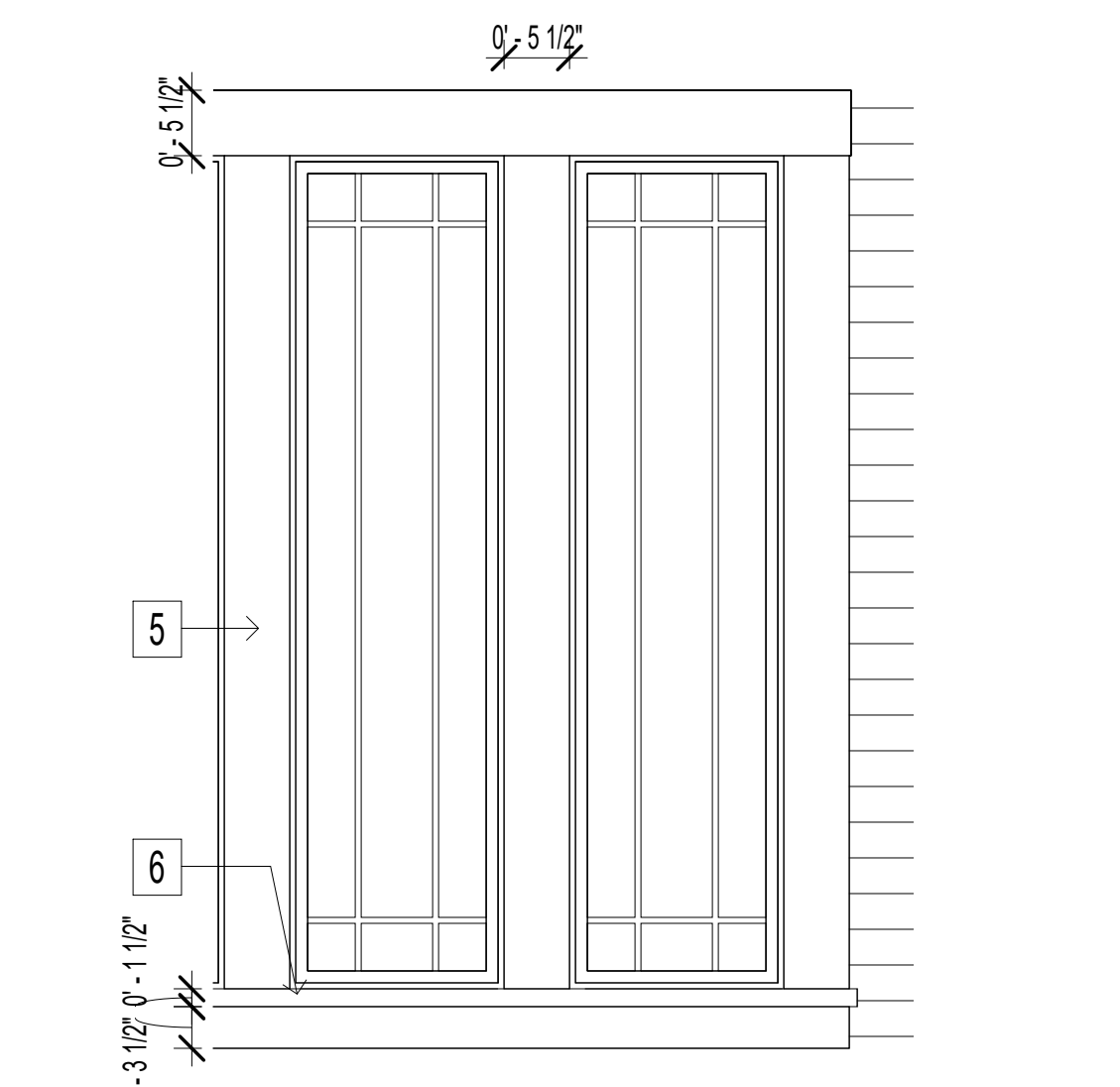
- 1 NOT USED
- 2 CLIPPED-GABLE ROOF
- 3 FRONT PORTICO WITH ARCHED OPENING
- 4 PAIRED TUSCON COLUMNS
- 5 2X6 WINDOW & DOOR TRIM
- 6 RIPPED 2X6 SILL W/ DRIP EDGE
- 7 CRAWLSPACE ACCESS

NOTES:

GENERAL CONTRACTOR TO VERIFY CONDITIONS & FEATURES ON SITE



7 Callout, West, Window Trim & Muntin Detail
 3/4" = 1'-0"

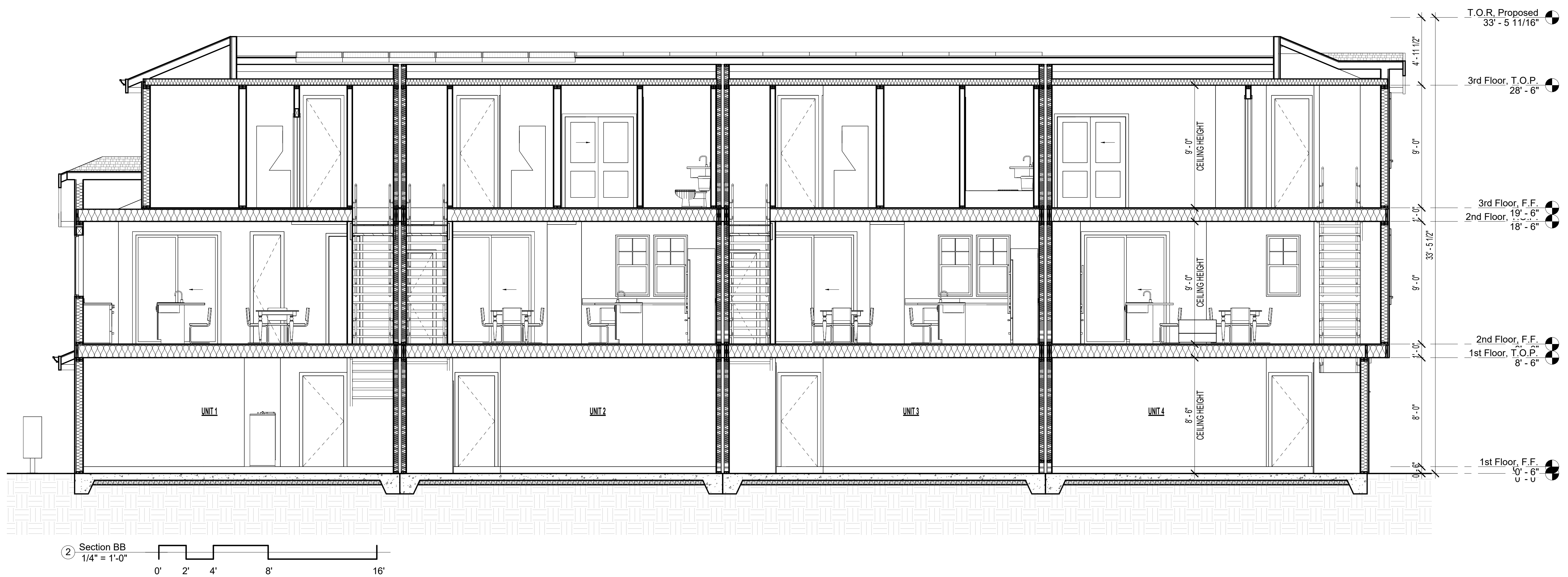


6 Callout, North, Window Trim & Muntin Detail
 3/4" = 1'-0"



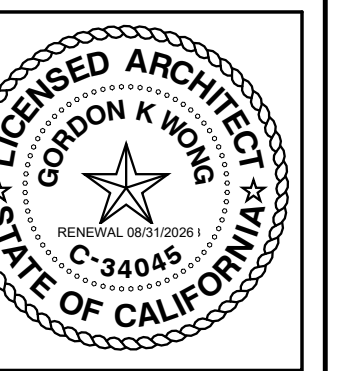


1 Section AA
1/4" = 1'-0"



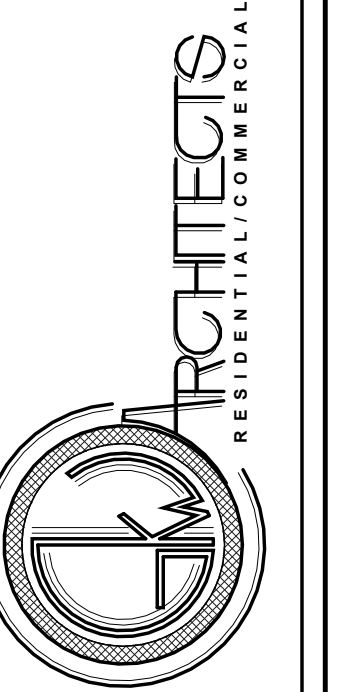
2 Section BB
1/4" = 1'-0"

Architectural, Sections, Townhomes



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Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule

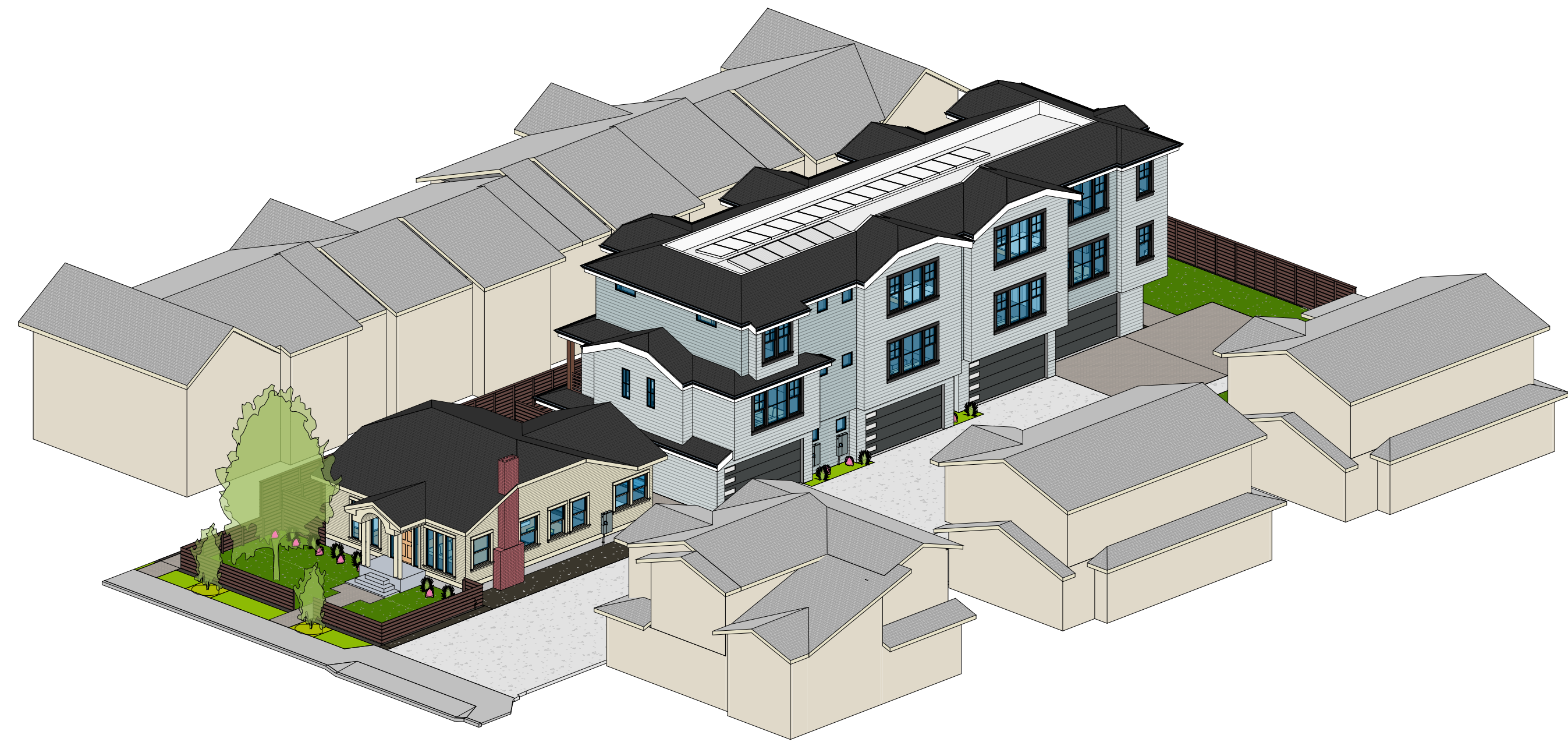
Number	Description	Date

Architectural,
Sections,
Townhomes

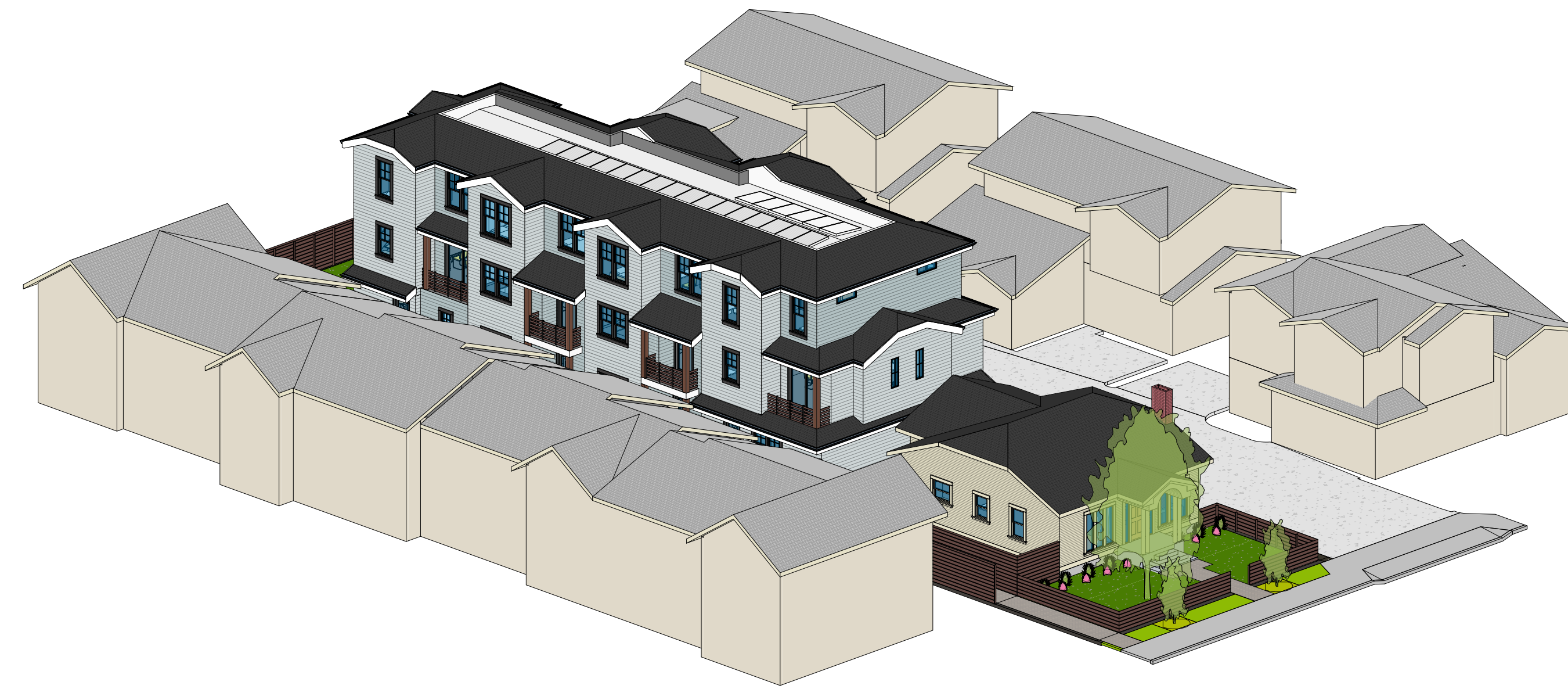
A300

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② Axonometric, North-West



① Axonometric, North-East

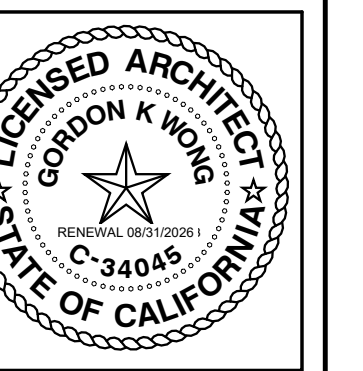


④ Axonometric, South-West



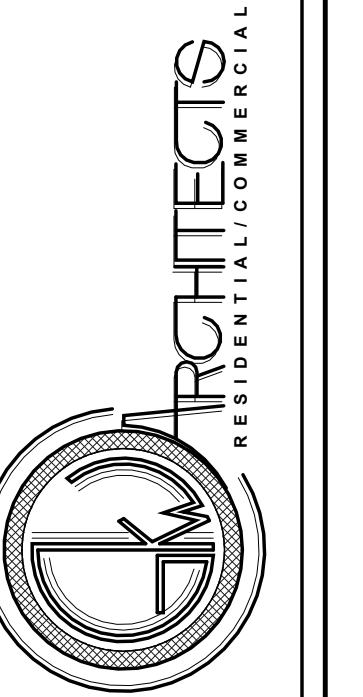
③ Axonometric, South-East

Architectural, Axonometric View



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Residential Development
434 Crescent Avenue
SUNNYVALE, CA 94087

Revision Schedule		
Number	Description	Date

Architectural,
Axonometric View

A600

SCALE AS INDICATED

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