

ATTACHMENT 6



**CUSTOM HOME
BEDI RESIDENCE**
1094 LILY AVE
SUNNYVALE CA
APN NUMBER 132-90-59
**RE-SUBMITTAL FOR
PLANNING COMMISSION**
6JUL16

PERSPECTIVES
Architecture Planning Interiors Consulting

AREA CALCULATIONS

LOT AREA = 11,470
FIRST FLOOR LIVING AREA = 2757
GARAGE = 597
TOTAL FIRST FLOOR BUILT UP AREA = 3354
SEC FLOOR LIVING AREA = 1763 SF
ATRIUM = 239 SF
SEC FLOOR LIVING AREA = 1763 SF
REAR COVERED PORCH - 341 SF
TOTAL FAR = 5117+239+341 = 5697 /11470 = 49.6%
FRONT PORCH = 115 SF
TOTAL LIVING AREA = 2757+1763+239+115 = 4874 SF
TOTAL PORCHES = 115+341=456 SF
LOT COVERAGE = 2757+597+341+115=3810/11470=33.2%
BASEMENT = 1219 SF

PROPOSED IS A NEW 5,812 SQUARE FOOT, TWO-STORY SINGLE-FAMILY HOME (4,874SQ. FT. LIVING AREA; 597 SQ. FT. GARAGE; 456 SQ. FT. OF FRONT & REAR YARD PORCHES) AT 49.6% FAR. THE PROPOSAL ALSO INCLUDES A 1,219 SQUARE FOOT BASEMENT. THE EXISTING HOUSE WILL BE DEMOLISHED.

VICINITY MAP



DRAWING INDEX

ARCHITECTURAL/CIVIL/LANDSCAPE	
A1.0	GENERAL INFORMATION & MISC CONSTRUCTION NOTES
C-1	TOPOGRAPHIC SURVEY
A1.1	ARCHITECTURAL SITE PLAN MISC DETAILS
A1.2	STREETSCAPE
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A2.2	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A5.3	BUILDING SECTIONS
A6.1	SOLAR STUDY
L-1	LAYOUT PLAN
L-2	LANDSCAPE PLAN
IR-1	IRRIGATION LAYOUT PLAN & WATERSHED CALCULATIONS
IR-2	IRRIGATION NOTES & SCHEDULE

PROJECT TEAM

OWNER SURJIT AND BHAVNISH BEDI 1094 LILY AVE SUNNYVALE CA PH: 408 550 5686	STRUCTURAL RAHMANI AND ASSOCIATES, INC 1870 HAMILTON AVE SAN JOSE CA 95125 PH 408 377 4000 FAX 408 377 4001
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SURVEY / CIVIL JLK ASSOCIATES 73 CEDAR LANE SAN JOSE CA 95127 PH: 408 729 3734	LANDSCAPE YU-WEN HUANG LANDSCAPE ARCHITECTURE 3357 SAINT MICHAEL CT PALO ALTO CA 94306 (415) 695-0800
	GENERAL CONTRACTOR TBD

GENERAL CONSTRUCTION NOTES

- ANY CONFLICTS BETWEEN ACTUAL ON SITE CONDITIONS AND THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESOLVE WITH THE ARCHITECT IMMEDIATELY, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR ANY PORTION OF THE WORK, EITHER AT THE START OF CONSTRUCTION OR AT ANY TIME THROUGHOUT THE COURSE OF THE CONSTRUCTION TO COMPLETION.
- ANY ERRORS, OMISSIONS OR CONFLICTS BETWEEN TRADES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEERS.
- ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH CURRENT CODES AND REGULATIONS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS PREVAIL.
- ALL DIMENSIONS ARE TO FOF UON.
- ALL EXTERIOR AND INTERIOR MATERIALS AND COLORS TO BE APPROVED BY THE OWNER BEFORE ORDERING AND INSTALLATION.
- ALL PLUMBING, MECHANICAL, ELECTRICAL, LIGHTING FIXTURES AND APPLIANCES TO BE APPROVED BY THE OWNER.
- ALL FOUNDATION AND ATTC VENTS TO BE COVERED WITH 1/4" CORROSION RESISTANT WIRE MESH.
- ENERGY FORM CF-6R, THE INSTALLATION AND INSULATION CERTIFICATES SHALL BE POSTED ON THE JOB SITE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE LATEST SET OF DOCUMENTS.
- HEATING SYSTEM TO BE DESIGN BUILD BY SUBCONTRACTOR AND TO CONFIRM COMPLIANCE WITH TITLE 24 REQUIREMENTS.
- FLOORS SHALL BE LEVEL TO WITHIN 1/4 INCH PER 10'-0" SPAN. PROVIDE FLOOR LEVELING WHERE REQUIRED.
- INCLUDE FINAL CLEANING, TO INCLUDE BUT NOT LIMITED TO: GLASS, GLOSSY SURFACES, FLOORS, WALLS, DOORS AND FRAMES, TOILET FIXTURES AND WALL BASE.
- TAPE AND SAND ALL PARTITIONS. PARTITIONS SHALL BE LEFT IN A SMOOTH CONDITION READY TO PAINT, U.O.N.
- ALL FINISHES SHALL BE PROVIDED BY CONTRACTOR. (UNLESS NOTED NIC)
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- WHERE FLOORING BREAKS AT DOOR OR CASED OPENING, THE SEAM IS TO ALIGN WITH THE INTERIOR FACE OF THE CASE OPENING OR INTERIOR FACE OF THE DOOR IN ITS CLOSED POSITION
- FOR WINDOW SCHEDULE SEE A5.2
- SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION
- FOR ELECTRICAL PLANS, SEE A7.1
- NOT USED
- LIGHTING IN BATHROOMS AND KITCHEN TO COMPLY WITH STATE ENERGY REGULATIONS.
- ALL EXISTING INFORMATION SHOWN ON THE DRAWINGS IS FOR REFERENCE ONLY AND DOES NOT REFLECT AS-BUILT CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS THAT REQUIRE ACCURACY AND CRITICAL DIMENSIONS.
- CONTRACTOR TO LAYOUT BUILDING OUTLINE TO VERIFY ALL REQUIRED SETBACKS, PRIOR TO POURING THE FOUNDATION
- THE AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT (LATEST EDITION) IS HEREBY INCORPORATED INTO THE CONTRACT DOCUMENTS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.

PROJECT DATA

ADDRESS 1094 LILY DRIVE
SUNNYVALE CA
ZONING R 0
EXISTING HOME TO BE DEMOLISHED BUILT IN 1949
APPLICABLE CODES: 2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA GREEN BUILDING CODE

CONSTRUCTION TYPE: TYPE V -B
OCCUPANCY CLASSIFICATION: R-3/U
NUMBER OF FLOORS: TWO PLUS PARTIAL BASEMENT
FIRE PROTECTION: FULLY SPRINKLERED

PROJECT SUMMARY

THE EXISTING STRUCTURES CONSISTING OF A 1572 SQ FT SINGLE STORY HOME WITH PARTIAL BASEMENT BUILT IN 1949, A DETACHED GARAGE OF 649 SQ FT AND SHED OF 95 SQ FT WILL BE DEMOLISHED. THE HOUSE HAS A MEDITERRANEAN CHARACTER WITH RED TILE ROOF.

THE PROJECT COMPRISES OF A BRAND NEW TWO STORY HOME WITH ATTACHED 2 CAR GARAGE PLUS PARTIAL BASEMENT. IT WILL HAVE 5 BEDROOMS PLUS 5 AND 1/2 BATH. IT WILL INCLUDE A NEW FRONT ENTRY, A LIVING ROOM, A DINING ROOM, KITCHEN/FAMILY RM/NOOK, GAME ROOM, LAUNDRY AND MEDIA ROOM.

THE NEIGHBORHOOD IS BLENDED WITH OLD AND NEW HOMES. IT CONSISTS OF MANY OLDER RANCH HOMES BOTH SINGLE STORY AND TWO STORY. THE NEIGHBORING PROPERTIES ON THE EAST HAVE FOUR TWO STORY MEDITERRANEAN HOMES. THE PROPERTY ON THE RIGHT IS A SINGLE STORY RANCH STYLE HOME AS ARE THOSE ACROSS THE STREET.

THE PROPOSED HOME WILL BE A MEDITERRANEAN STYLE HOME WITH PANTILE ROOF, RECESSED WINDOWS WITH WITH MOLDED TRIMS. THERE WILL BE A CENTRAL PORCH ENTRY IN FRONT OF A CIRCULAR ATRIUM WITH UPPER WINDOWS. THE GARAGE TO THE LEFT WILL HAVE A LOW EAVE LINE. THE ROOF PITCH WILL BE 4 IN 12. THE TWO STORY PORTION OF THE HOUSE WILL BE AT THE REAR. THE HOUSE WILL BE SETBACK ABOUT 26' FROM THE FRONT SETBACK. AND MOST SETBACKS WILL EXCEED THE MINIMUM REQUIRED.

DATE	DESCRIPTION
26MAY16	PLANNING REV

PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
**GENERAL INFORMATION
& MISC CONSTRUCTION
NOTES**

SCALE
AS NOTED
DATE
23MAR16
PROJECT NO
14-2
SHEET NO
A1.0



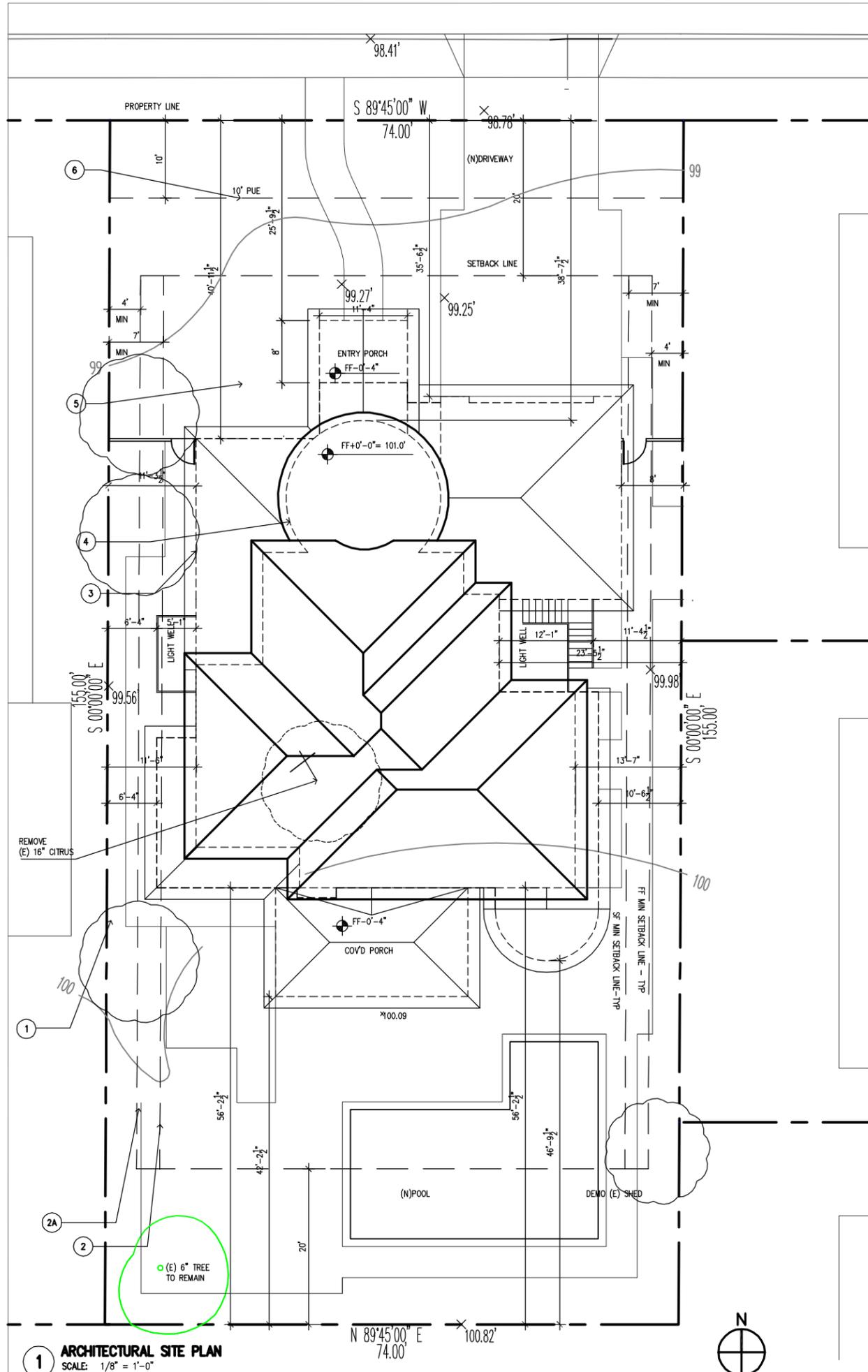
Examples of new homes in the neighborhood on
Tamarack Lane



Examples of New Homes in the Neighborhood:
On Timberpine Lane



Proposed Residence: 1094 Lily Ave, Sunnyvale



SITE PLAN SHEET NOTES

A. FF ELEVATION +0'-0" EQUALS 10.38' ABSOLUTE.
SEE CIVIL DRAWINGS FOR ABSOLUTE LEVELS
B. SEE CIVIL DRAWING CO FOR EXISTING TOPO/SURVEY.

SITE PLAN LEGEND

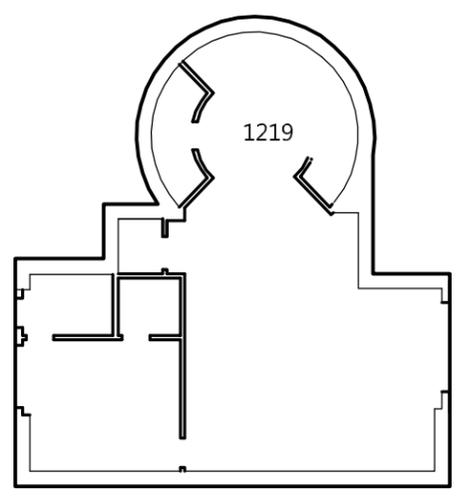
- NEW CONSTRUCTION
- AREA ADDED ON FIRST FLOOR

SITE PLAN KEY NOTES

- 1 PROPERTY LINE TYP
- 2 FIRST FLOOR SETBACK LINE TYP
- 2A SECOND FLOOR SETBACK LINE - TYP
- 3 BUILDING FOOTPRINT TYP
- 4 SECOND FLOOR BUILDING OUTLINE
- 5 (E) BUILDING TO BE DEMOLISHED
- 6 NO BLDGS AND STRUCTURES OF ANY KIND PERMITTED WITHIN THE PUE

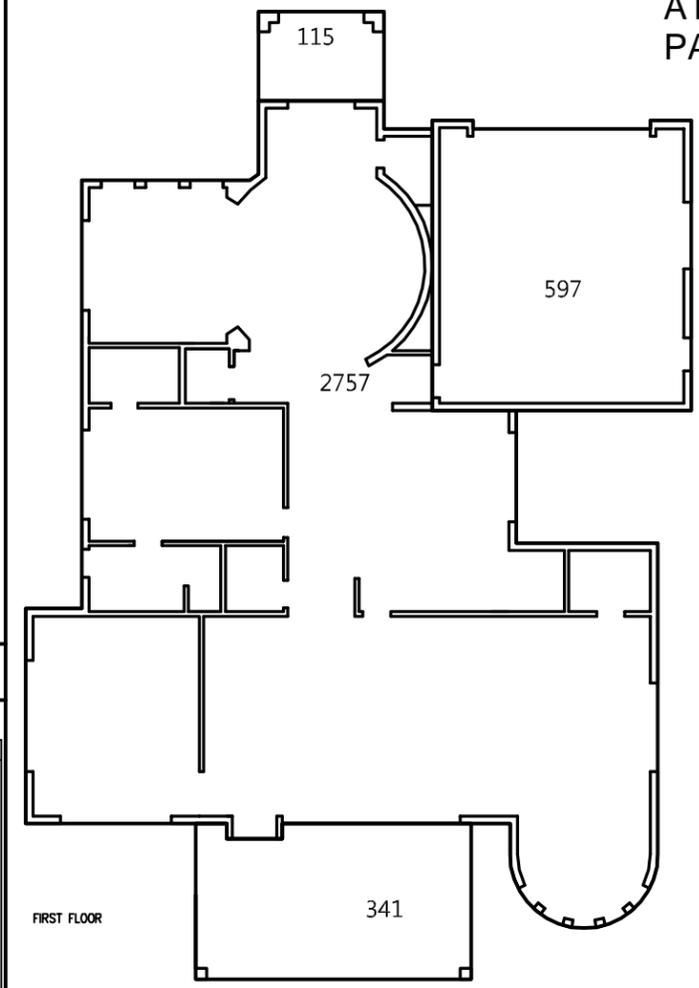
BUILDING DATA

	EXISTING	DEMOLISHED	PROPOSED	ALLOWABLE
FIRST FLOOR LIVING AREA	1572	-1572	2757	
GARAGE	649	-649	597	
REAR COVERED PORCH			341	
SECOND FLOOR LIVING AREA	0	0	1763	
SECOND FLOOR ATRIUM AREA	0	0	239	
FRONT ENTRY PORCH	103	-103	115	
BASEMENT LIVING AREA	0		1219	
FLOOR AREA RATIO	20.2%		49.6%	
LOT COVERAGE (INCL COVD PORCHES)	20.2%		33.2%	40%
TOTAL FIRST FLOOR AREA	2221	-2221	(2757+597) = 3354	
TOTAL LIVING AREA (INCL ATRIUM)	1572	-1572	4874	
TOTAL FLOOR AREA	2324	-2324	5812	
TOTAL PORCHES	103	-103	456	
SHED	95	-95	0	
FRONT SETBACK (1ST STORY/2ND STORY)	23'-3 1/2" / NA		25'9 1/2" / 38'-7 1/2" / 20' / 25'	
LEFT SETBACK (1ST STORY/2ND STORY)	12'-10" / NA		6'-4" / 10'-5 1/2" / 14.8' / 20.8' COMBINED	
RIGHT SETBACK (1ST STORY/2ND STORY)	24'-3 1/2" / NA		11'-6" / 13'-7" / 14.8' / 20.8' COMBINED	
REAR SETBACK (1ST STORY/2ND STORY)	26'-7" / NA		12'-2 1/2" / 56' 2 1/2" / 20' / 20'	

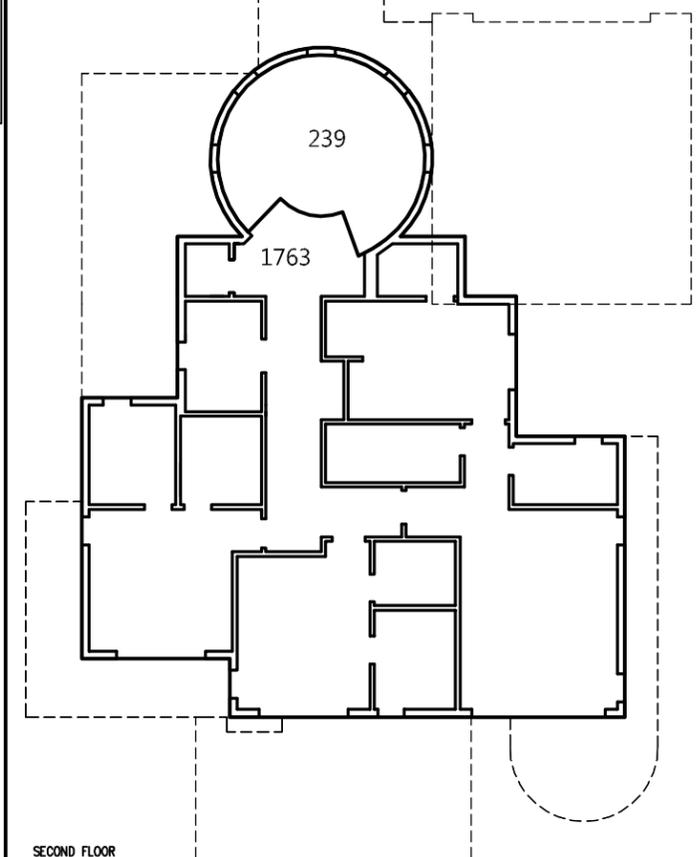


BASEMENT

AREA DIAGRAMS



FIRST FLOOR



SECOND FLOOR

DATE	DESCRIPTION
26MAY16	PLANNING REV
29APR2015	PARTIAL PLANNING COMMENTS

PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
**ARCHITECTURAL
SITE PLAN**

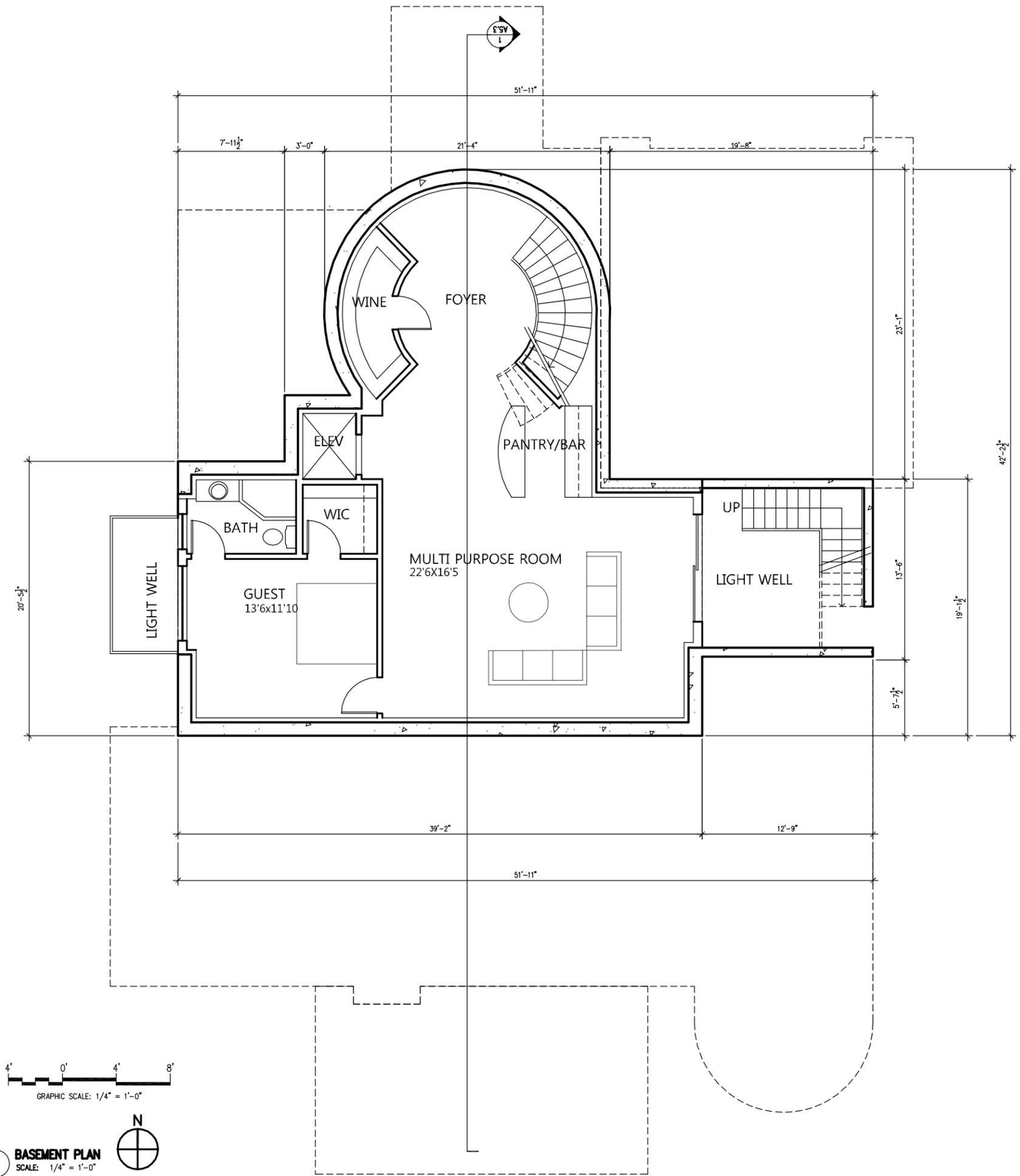
SCALE
AS NOTED

DATE
23MAR16

PROJECT NO
16-02

SHEET NO
A1.1

1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION
26MAY16	PLANNING REV

PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
 SUNNYVALE, CA

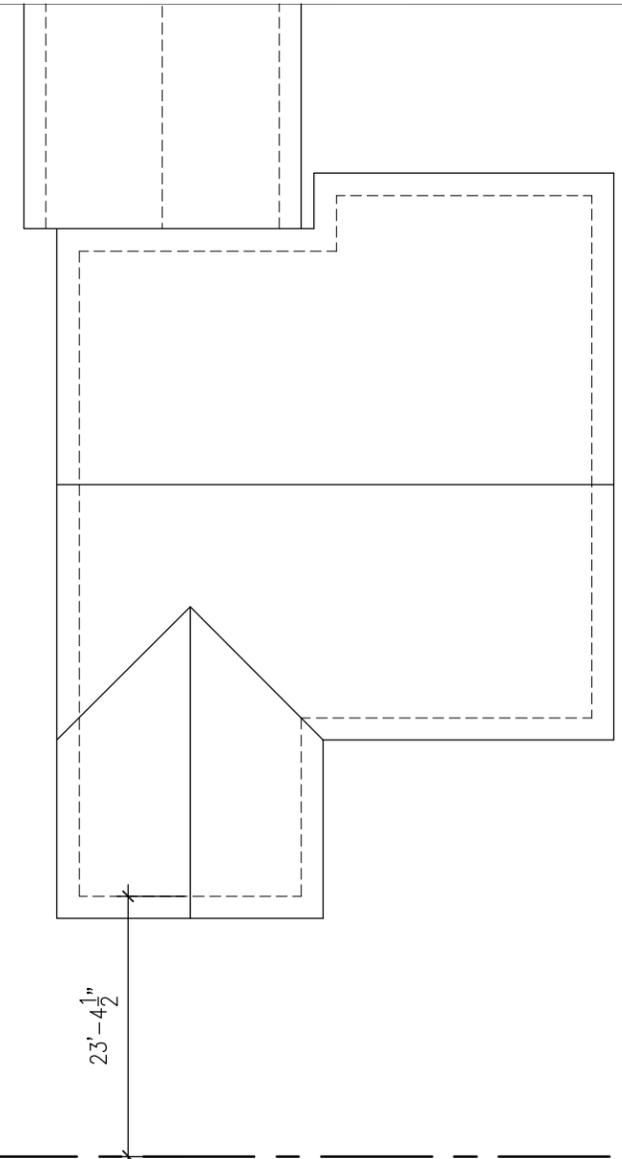
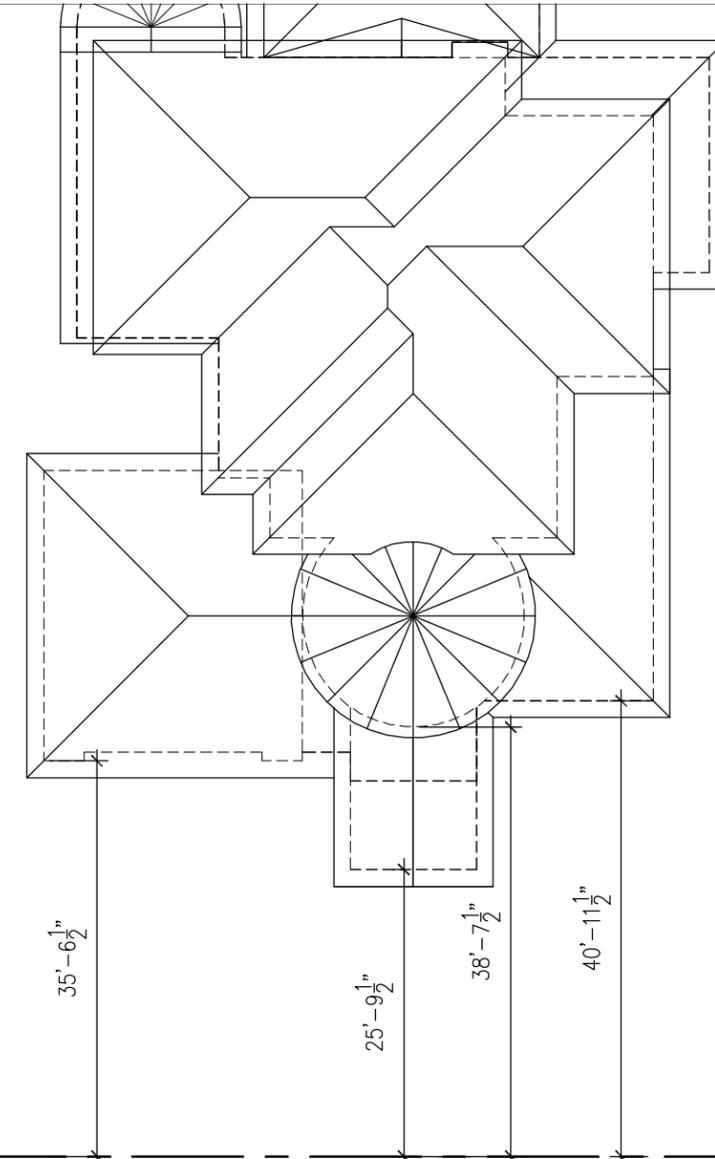
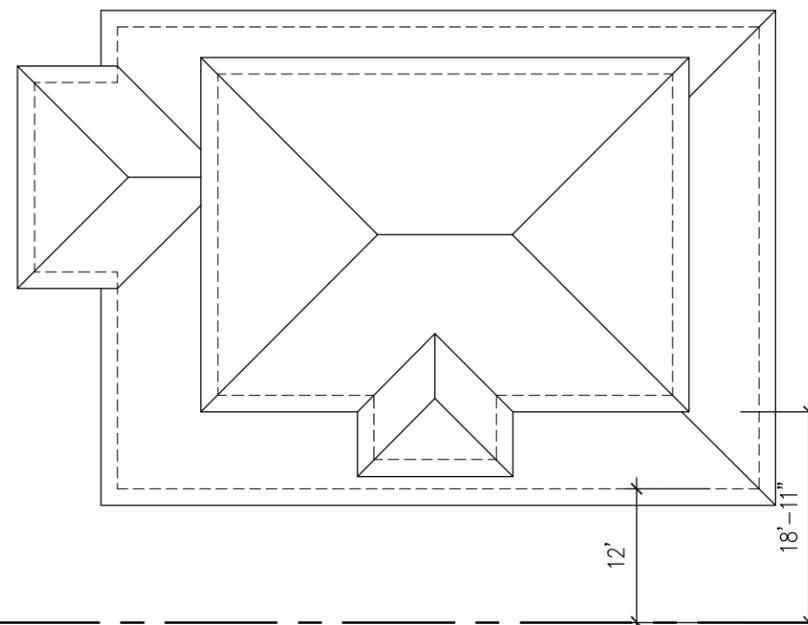
SHEET TITLE
BASEMENT PLAN

SCALE AS NOTED	SHEET NO A2.0
DATE 23MAR16	PROJECT NO 16-02

4' 0' 4' 8'
 GRAPHIC SCALE: 1/4" = 1'-0"

1 **BASEMENT PLAN**
 SCALE: 1/4" = 1'-0"





EXISTING HOUSE -
 805 TAMARACK LANE

PROPOSED HOME
 1094 LILY

EXISTING HOUSE -
 1090 LILY

DATE	DESCRIPTION
29APR2015	PARTIAL PLANNING COMMENTS

PROJECT NAME
BEDI RESIDENCE
 1094 LILY AVE
 SUNNYVALE, CA

SHEET TITLE
STREETSCAPE

SCALE
 AS NOTED
 DATE
 23MAR16
 PROJECT NO
 16-02

SHEET NO
A1.2



BAMBOO S-605



DATE	DESCRIPTION

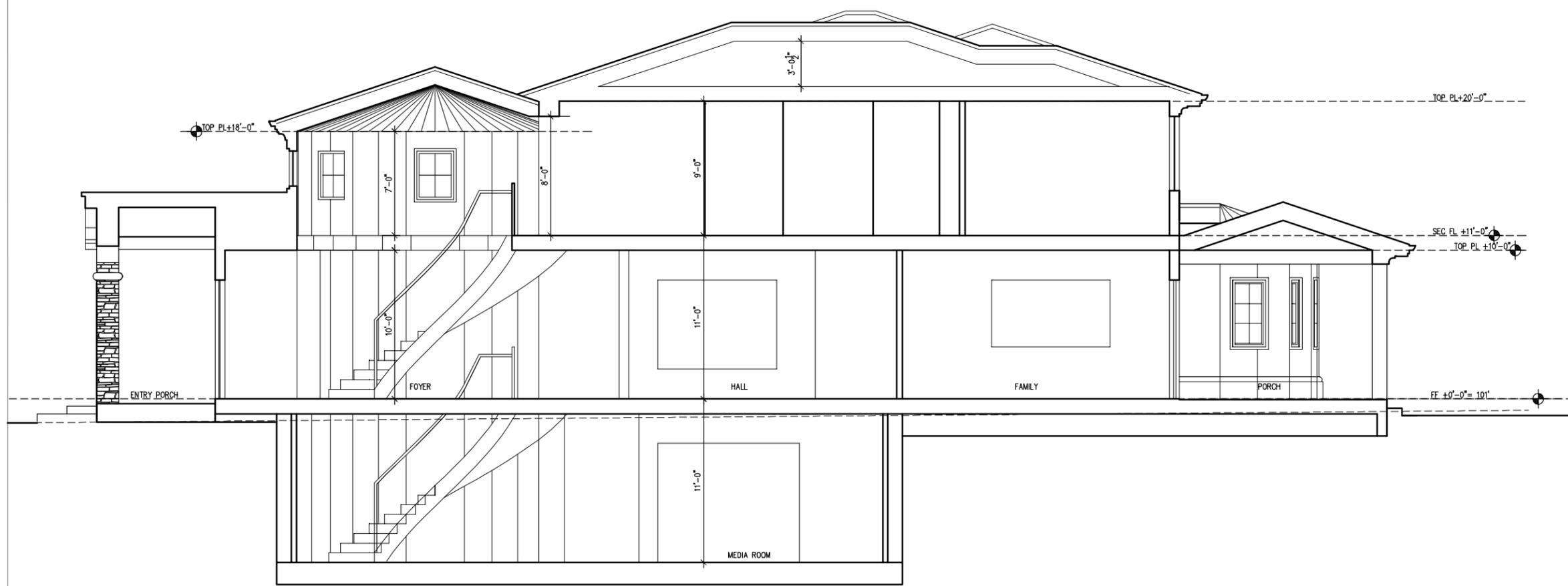
PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
 SUNNYVALE, CA

SHEET TITLE
FRONT ELEVATION

SCALE
 AS NOTED
 DATE
 13MAR16
 PROJECT NO
 16-02

SHEET NO
A5.1A



1 SECTION 1
 SCALE: 1/4" = 1'-0"

▲	26MAY16	PLANNING REV
▲	29APR2015	PARTIAL PLANNING COMMENTS
DATE	DESCRIPTION	

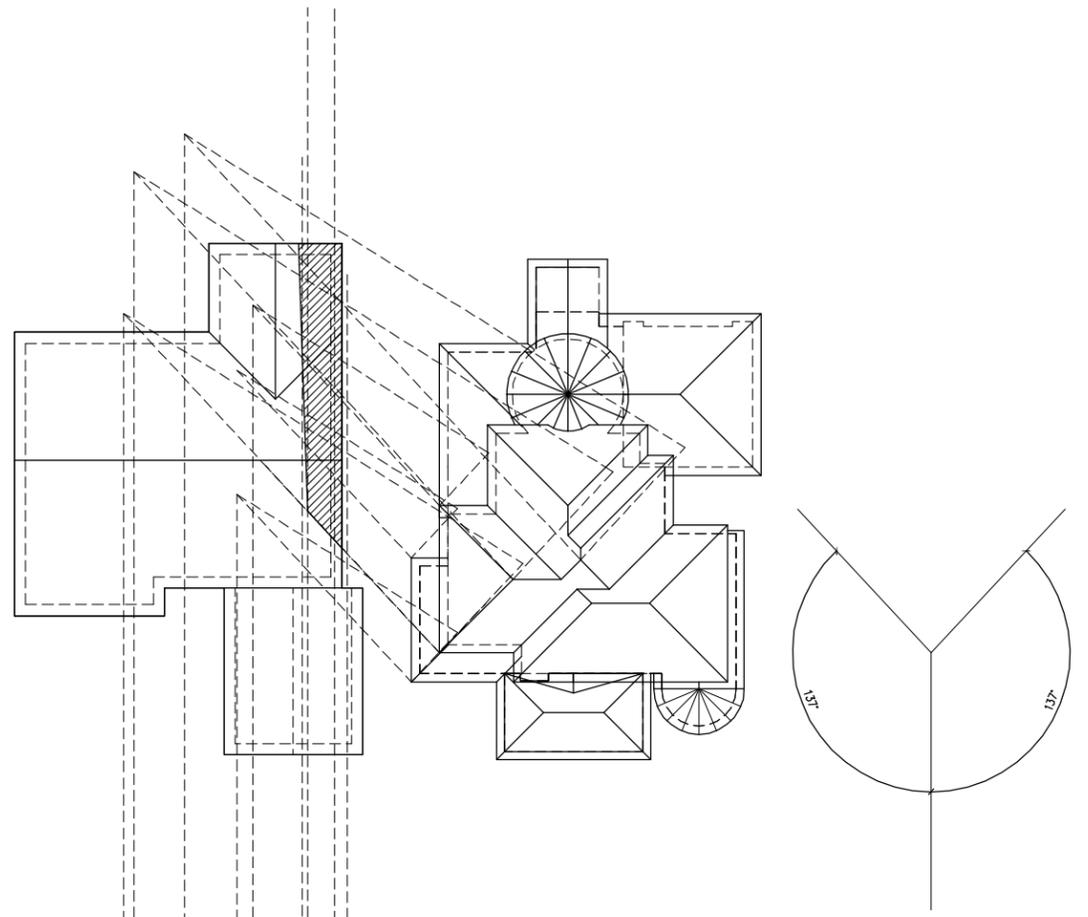
PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
 SUNNYVALE, CA

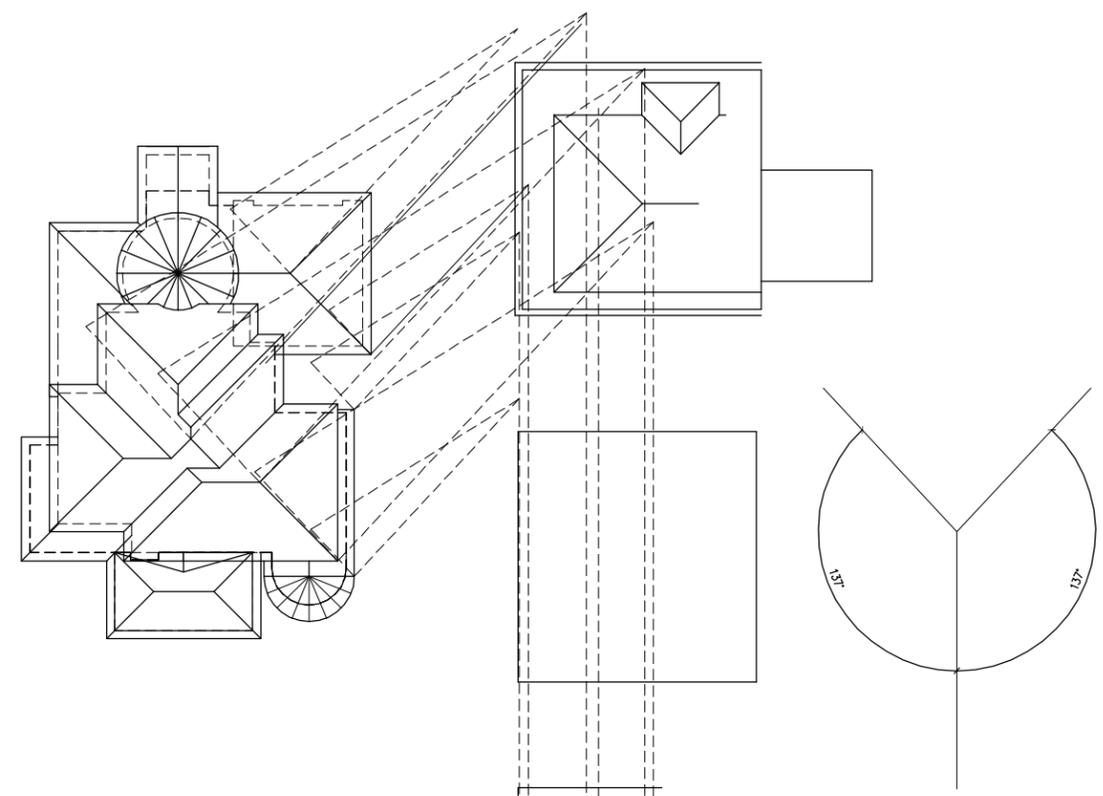
SHEET TITLE
BUILDING SECTIONS

SCALE
 AS NOTED
 DATE
 23MAR16
 PROJECT NO
 16-02

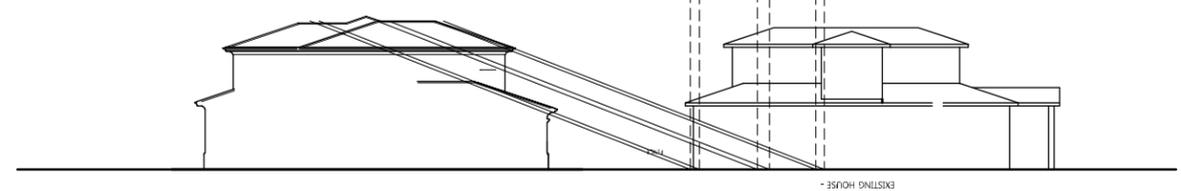
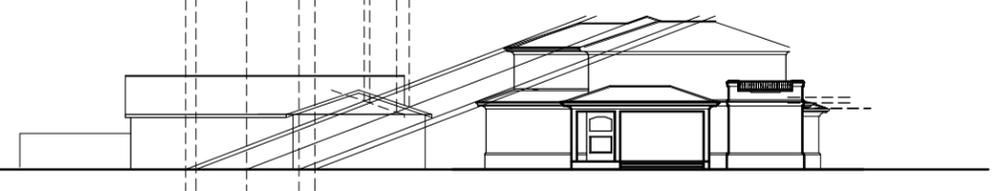
SHEET NO
A5.3



SOLAR AM - 9% COVERAGE



SOLAR PM - 0% COVERAGE



1 SOLAR STUDY
 SCALE: 1/16" = 1'-0"

NOTE: PROPOSED SHADING DOES NOT INCLUDE ANY ACTIVE SOLAR PANELS ON THE NEIGHBOR'S ROOF.



	26MAY16	PLANNING REV
DATE		DESCRIPTION

PROJECT NAME
BEDI RESIDENCE
 1094 LILY AVE
 SUNNYVALE, CA

SHEET TITLE
SOLAR STUDY

SCALE AS NOTED	SHEET NO A6.1
DATE 23MAR16	
PROJECT NO 16-02	

1094 LILY AVENUE
SUNNYVALE, CA

YU-WEN HUANG
LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MAY 19, 2016
SCALE:
DRAWN: YH
JOB:

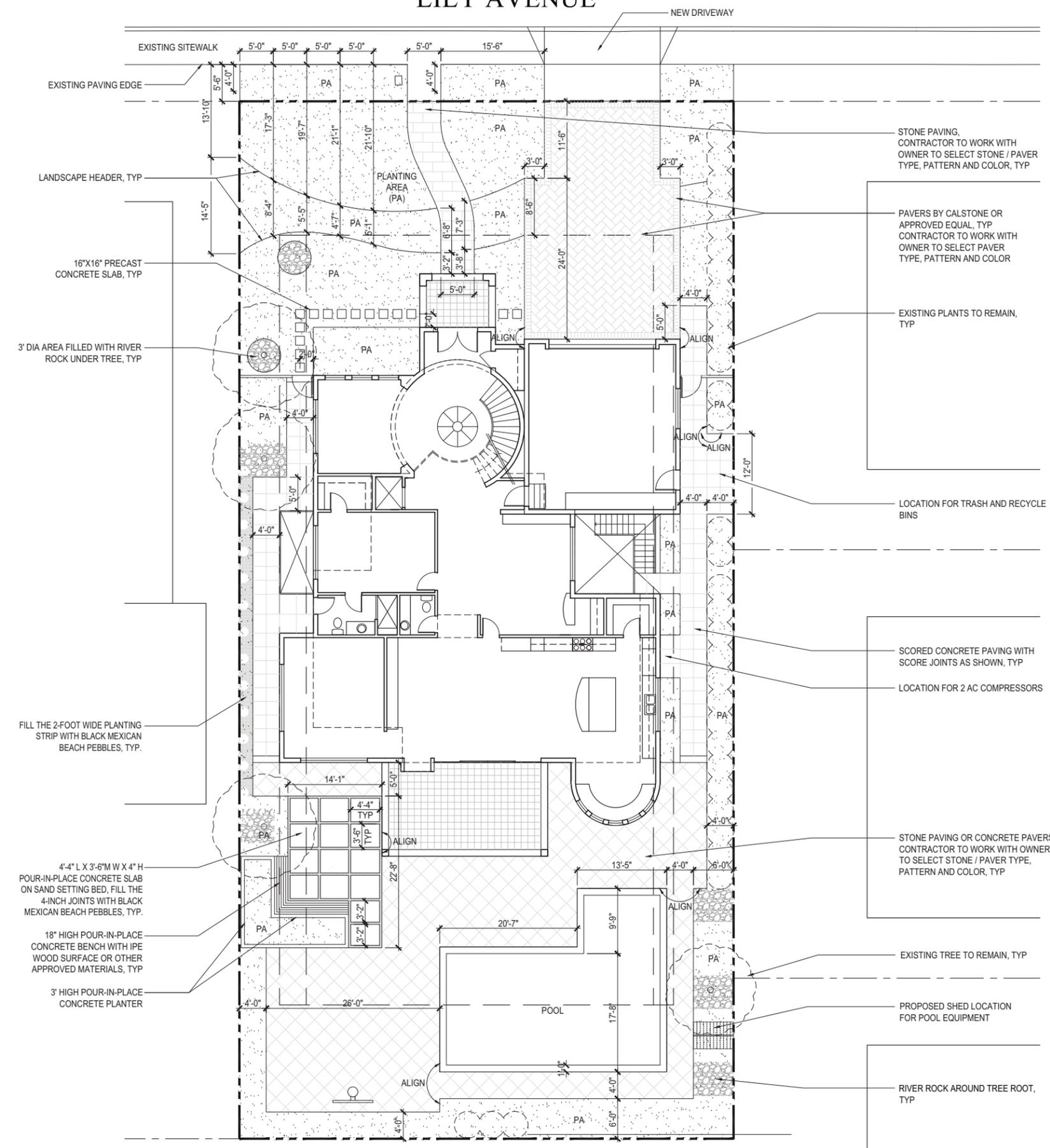
SHEET TITLE:

LANDSCAPE
LAYOUT PLAN

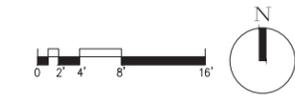
SHEET NO.

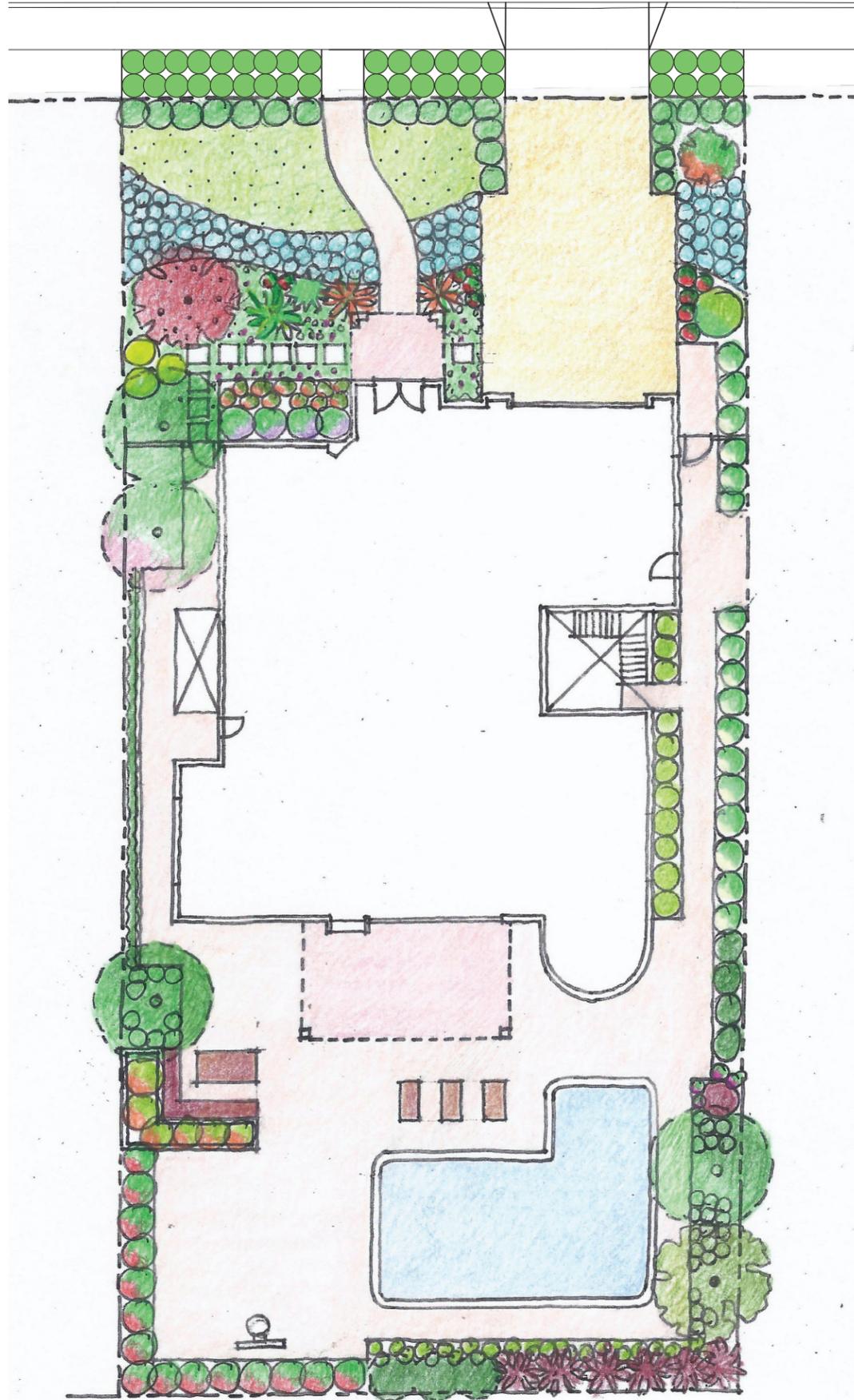
L-1

LILY AVENUE



NOTE:
CONTRACTOR TO MAKE SURE THE
PAVED AREAS HAVE TYPICAL 2% SLOPE
DRAINING WATER AWAY FROM THE
BUILDING TO THE LANDSCAPE AREAS.





1094 LILY AVENUE
SUNNYVALE, CA

YU-WEN HUANG
LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MAY 19, 2016

SCALE:

DRAWN: YH

JOB:

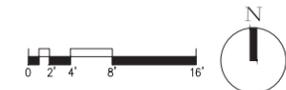
SHEET TITLE:

CONCEPTUAL
LANDSCAPE PLAN

SHEET NO.

L-2

LANDSCAPE DESIGN NOTE:
DESIGN INTENT - TO CREATE A LOW
MAINTENANCE AND HIGH WATER
EFFICIENT GARDEN BY CHOOSING NATIVE
OR LOW WATER USAGE PLANTS.



1094 LILY AVENUE
 SUNNYVALE, CA

YU-WEN HUANG
 LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
 PALO ALTO, CA 94306
 TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MAY 19, 2016

SCALE:

DRAWN: YH

JOB:

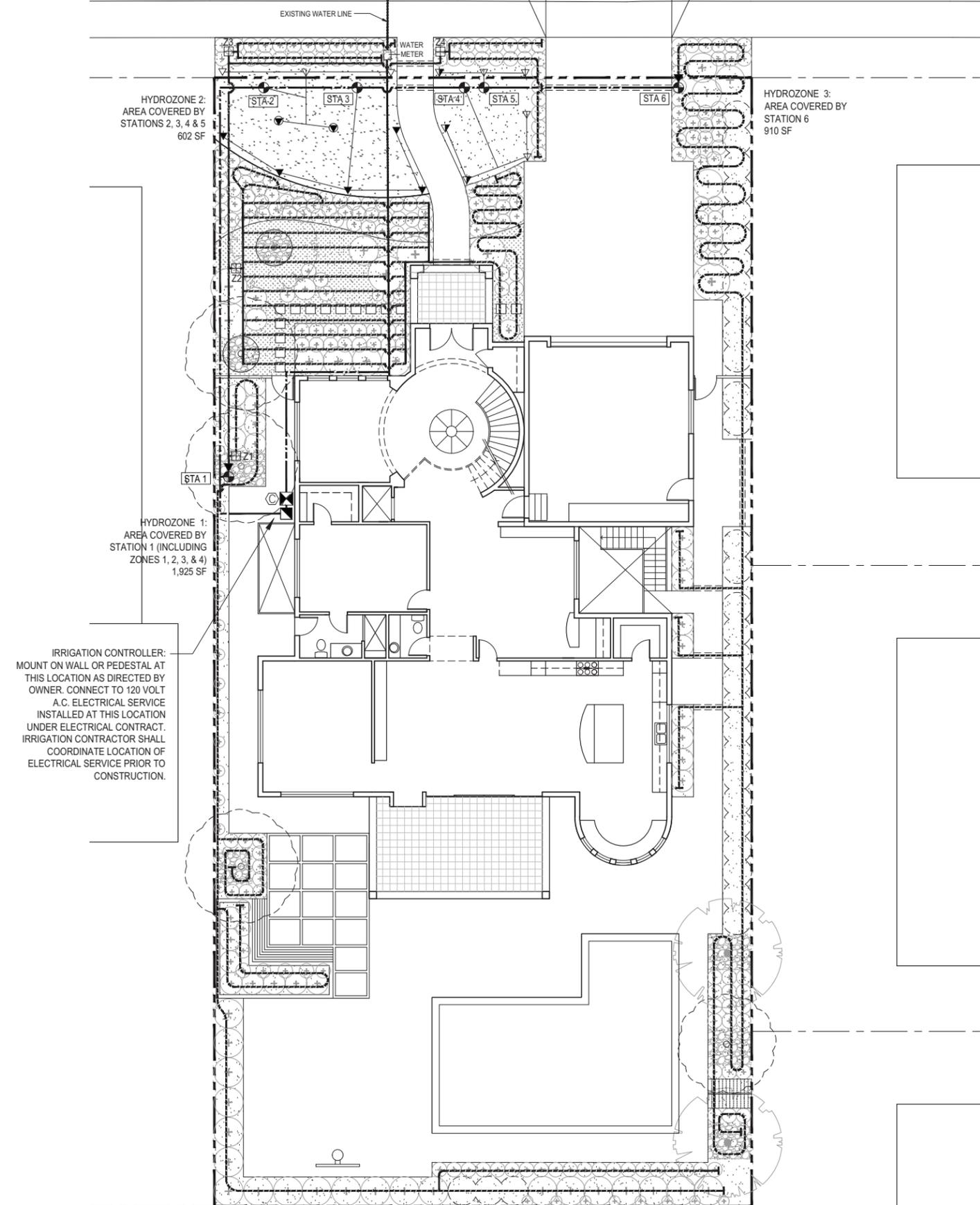
SHEET TITLE:

IRRIGATION
 LAYOUT PLAN
 &
 WATER USE
 CALCULATIONS

SHEET NO.

IR-1

LILY AVENUE



WATER USE CALCULATIONS

TOTAL LANDSCAPED AREA (LA) = 3,437 SQ. SF.
 SPECIAL LANDSCAPE AREA (SLA) = 0 SQ. SF.

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

$$= ETo \times 0.62 \times (0.7 \times LA + 0.3 \times SLA)$$

$$= 45.3 \times 0.62 \times (0.7 \times 3,437 + 0.3 \times 0)$$

$$= 67,572 \text{ GALLONS/YR}$$

ESTIMATED TOTAL WATER USE (ETWU)

$$= ETo \times 0.62 \times (PF \times HA/0.7 + SLA)$$

$$= 45.3 \times 0.62 \times (1,616/0.7 + 0)$$

$$= 64,839 \text{ GALLONS/YR}$$

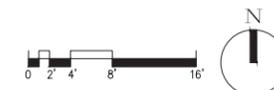
HYDROZONE TABLE

HYDROZONE	PLANT WATER USE TYPE	IRRIGATION TYPE	PLANT FACTOR* (PF)	HYDROZONE AREA (HA) (SQ FT)	PF x HA (SQ FT)
1	MEDIUM	DRIP	0.4	1,925	770
2	HIGH	SPRINKLER	0.8	602	482
3	MEDIUM	DRIP	0.4	910	364
				SUM	1,616

* USE WUCOLS TO DETERMINE PF, SEE SHEET L-3 FOR PLANT WATER USAGE LEVEL

ETWU < MAWA , so ETWU complies with MAWA

THE PROJECT MEETS WATER EFFICIENT REQUIREMENTS

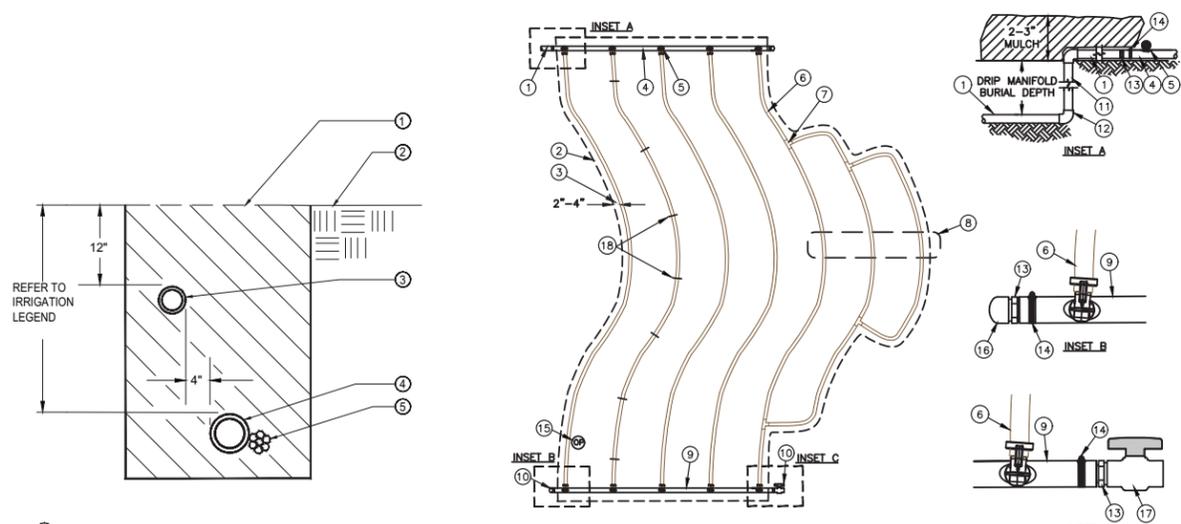


IRRIGATION PLAN NOTES

- THE INTENT OF THIS IRRIGATION PLAN IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- FOR COMPLETE PERFORMANCE AND TECHNICAL SPECIFICATIONS, IRRIGATION CONTRACTOR TO VISIT SPECIFIED LANDSCAPE PRODUCTS CATALOG, VISIT THE PRODUCTS WEBSITE OR CONTACT THE REPRESENTATIVES OF THE IRRIGATION PRODUCTS' MANUFACTURERS.
- IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART.
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND INACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. ISE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, UTILITY BOXES, ELECTRICAL ENCLOSURES, ETC
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- INSTALL GREEN PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE "KNOCK OUTS". ACCEPTABLE VALVE BOX MANUFACTURERS INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. CONTROL WIRE SERVING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH A UNIQUE COLOR INSULATING JACKET FOR EACH CONTROLLER. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET AND A STRIPE OF COLOR WHICH MATCHS THE CONTROL WIRE COLOR CHOICE FOR SPECIFIC CONTROLLER. SPARE WIRE: #14-1 WIRE WITH BLACK INSULATION JACKET. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
⊙ ∇ ▽	RAIN BIRD	1806-SAM-PRS-15 F,H,Q	6" POP-UP SPRAY SPRINKLER	3.7,1.9,1	30	12-15
⊙ ∇ ▽		1806-SAM-PRS-12 F,H,Q	6" POP-UP SPRAY SPRINKLER	2.6,1.3,0.7	30	10-12
⊙ ∇ ▽		1806-SAM-PRS-10 F,H,Q	6" POP-UP SPRAY SPRINKLER	1.6,0.8,0.4	30	8-10
▽ ▽		1806-SAM-PRS-8 H,Q	6" POP-UP SPRAY SPRINKLER	0.5,0.25	30	6-8
▽ ▽		1806-SAM-PRS-5 H,Q	6" POP-UP SPRAY SPRINKLER	0.2,0.1	30	4-5
⊠	WILKINS	975XLSEU-1"	REMOTE CONTROL VALVE WITH PRESSURE REGULATOR AND FILTER FOR DRIP LATERALS			
⊠	DATA INDUSTRIAL	REFER TO SATELLITE MODEL NUMBER	ZONE CONTROL VALVE ASSEMBLY			
⊠	HUNTER	PRO-C	IRRIGATION CONTROLLER WITH SOLAR SYNC ET SENSOR			
---			MAIN LINE:			2" AND SMALLER: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.
---			LATERAL LINE:			3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
---			MANIFOLD:			1" SIZE: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.
---			SUPPLY AND HEADER LINES:			1" SIZE: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
---			INLINE EMITTER:			RAIN BIRD XFD DRIPLINE FOR ON-SURFACE APPLICATION. WATER DELIVERY RATE OF 0.4 GALLON PER HOUR, WITH EMITTER SPACING 24" APART. DRIPLINE LATERAL SPACING 18" TO 24". INSTALL PER MANUFACTURER'S RECOMMENDATION
---			SLEEVING:			1120-CL. 200 PVC PLASTIC PIPE. COVER TO BE AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.



- PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- PERIMETER OF AREA
- PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- OF-SUPPLY HEADER
- PRE-INSTALLED BARB FITTING
- RAIN BIRD XFD SERIES DRIPLINE (TYPICAL)
- BARB X BARB INSERT TEE: RAIN BIRD XFF-TTEE (TYPICAL)
- TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- OF-FLUSH HEADER
- FLUSH POINT WITH PVC CAP OR OPTIONAL PVC BALL VALVE
- PVC RISER PIPE
- PVC SCH 40 ELL (TYPICAL)
- MALE ADAPTER INSERT
- STAINLESS STEEL, OETIKER OR MURRAY CLAMP
- OPERATION INDICATOR RAIN BIRD MODEL: OPERIND
- PVC SCH 40 CAP
- PVC SCH 40 BALL VALVE
- XF SERIES TIE-DOWN STAKES (TDS-050) REFER TO RAIN BIRD DRIPLINE DESIGN GUIDE FOR PROPER SPACING

Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)					
15	273	155	314	250	424	322
20	318	169	353	294	508	368
30	360	230	413	350	586	414
40	395	255	465	402	652	474
50	417	285	528	420	720	488
60	460	290	596	455	780	514

- NOTES:
- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 - LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 - PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 - AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 - SEE MANUFACTURER'S DETAILS FOR CENTER FEED LAYOUT OF HEADER.

- CLEAN BACKFILL MATERIAL
- FINISH GRADE
- LATERAL LINE
- MAIN LINE
- LOW VOLTAGE CONTROL WIRE

- TRENCH UNDER HARDSCAPE
- XFD ON-SURFACE DRIPLINE END FEED LAYOUT OF HEADER

03-31-2015
N.T.S.

1094 LILY AVENUE
SUNNYVALE, CA

YU-WEN HUANG
LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0900

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

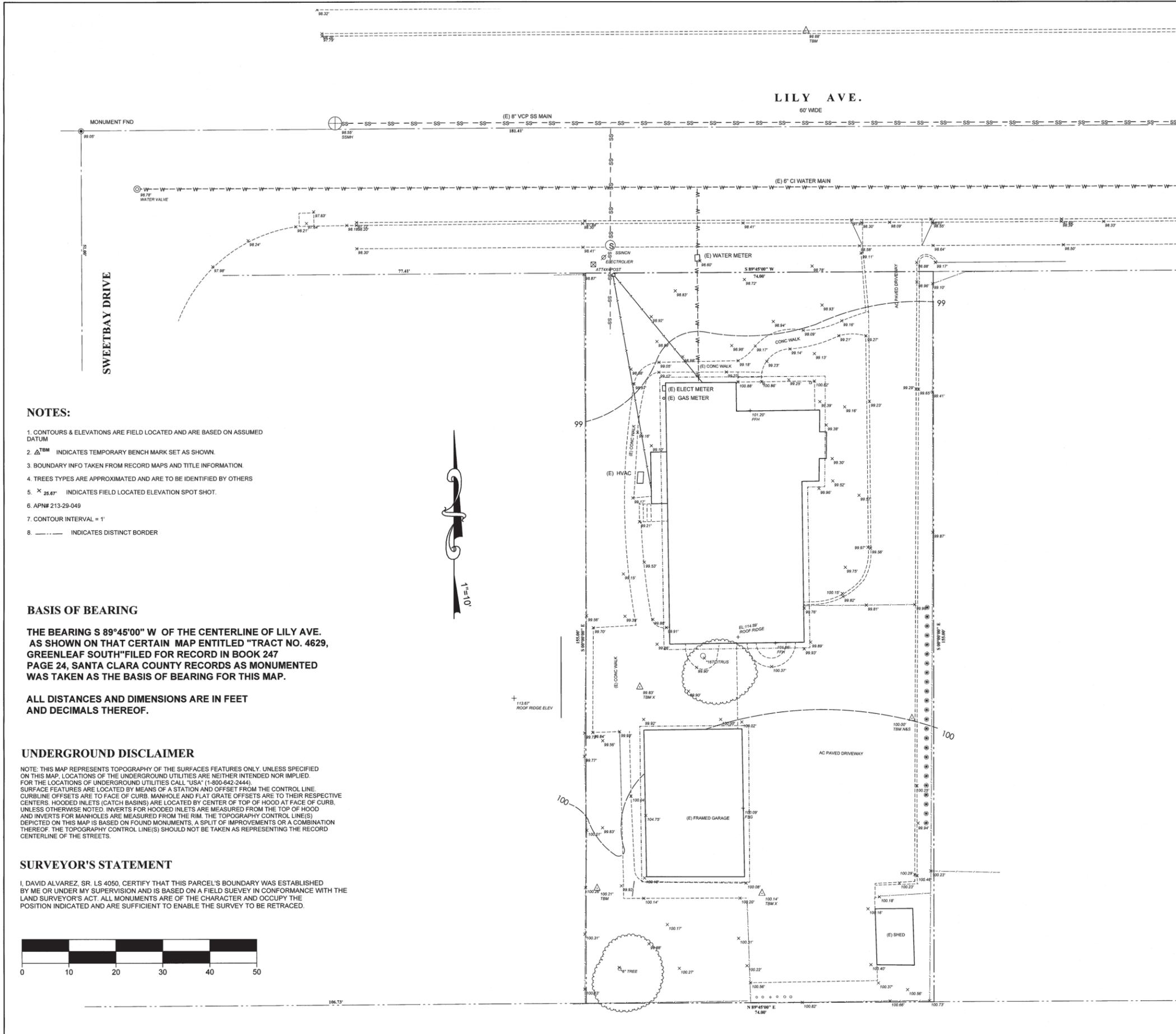
DATE: MAY 19, 2016
SCALE:
DRAWN: YH
JOB:

SHEET TITLE:

IRRIGATION NOTES & SCHEDULE

SHEET NO.

IR-2



NOTES:

1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON ASSUMED DATUM
2. Δ TBM INDICATES TEMPORARY BENCH MARK SET AS SHOWN.
3. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION.
4. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS
5. X 25.67' INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
6. APN# 213-29-049
7. CONTOUR INTERVAL = 1'
8. - - - - - INDICATES DISTINCT BORDER

BASIS OF BEARING

THE BEARING S 89°45'00" W OF THE CENTERLINE OF LILY AVE. AS SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT NO. 4629, GREENLEAF SOUTH" FILED FOR RECORD IN BOOK 247 PAGE 24, SANTA CLARA COUNTY RECORDS AS MONUMENTED WAS TAKEN AS THE BASIS OF BEARING FOR THIS MAP.

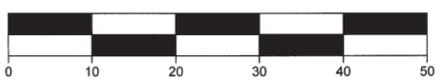
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

UNDERGROUND DISCLAIMER

NOTE: THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACES FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB. MANHOLE AND FLAT GRATE OFFSETS ARE TO THEIR RESPECTIVE CENTERS. HOODED INLETS (CATCH BASINS) ARE LOCATED BY CENTER OF TOP OF HOOD AT FACE OF CURB. UNLESS OTHERWISE NOTED, INVERTS FOR HOODED INLETS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON FOUND MONUMENTS, A SPLIT OF IMPROVEMENTS OR A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.

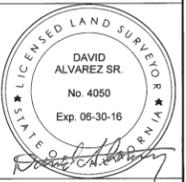
SURVEYOR'S STATEMENT

I, DAVID ALVAREZ, SR. LS 4050, CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SUEVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITION INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



JLK ASSOCIATES
SURVEYORS / ENGINEERS
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TOPOGRAPHICAL SURVEY MAP
1094 LILY AVE
LOT 24 TRACT NO. 4629
GREENLEAF SOUTH
CITY OF SUNNYVALE
CALIFORNIA



SCALE: 1" = 10'

SHEET:
C-1
1 OF 1