



SCOPE OF WORK

- 4 NEW 2 STORY SINGLE FAMILY HOMES
WITH ATTACHED 2 CAR GARAGES

PROJECT INFORMATION

OWNER: JIN DWANG
ADDRESS: 842 DUNNVALE - SARATOGA RD. SUNNYVALE, CA
APN: 211-18-303
ZONING: R-2 / PD
TYPE OF COMST: VB
SITE AREA: 14,807 S.F.

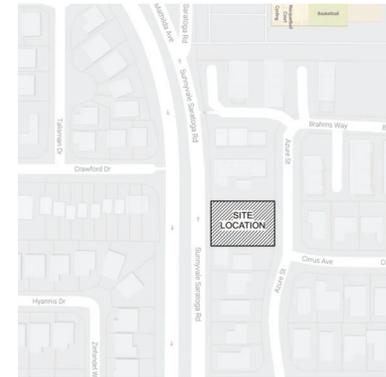
SHEET INDEX

AB-1	COVER SHEET
AB-2	TOPOGRAPHIC SITE PLAN
AT-1	PROPOSED SITEPLAN
AT-2	SITE COVERAGES & BUILDING AREA
AT-3	LANDSCAPE AREA CALLS
AZ	HOUSE TYPES
A3	HOUSE TYPE B
A4	STREET SCAPES & SITE SECTION
A5	SOLAR STUDY
AY	CAL GREEN POINT TYPE A
AB	CAL GREEN POINT TYPE B
AP	COLOR & MATERIALS
SOIL INVESTIGATION	
TM-1	TENDONC MAPS - SWP
TM-2	TENDONC MAPS - EROSION SECTIONS
TM-3	TENDONC MAPS - SITE PLANS
TM-4	TENDONC MAPS - GRADING PLANS
TM-5	TENDONC MAPS - UTILITY PLANS
TM-6	TENDONC MAPS - EROSION MANAGEMENT PLANS
WATER OFFERS	
Q-1	COVER SHEET
Q-2	PRELIMINARY IMPROVEMENT PLANS
Q-3	PRELIMINARY UTILITY PLANS
DRAIN - ONSITE	
C-1	COVER SHEET
C-2	PRELIMINARY GRADING & DRAINAGE PLAN
C-3	STORMWATER MANAGEMENT PLAN
C-4	STORMWATER PRELIMINARY DESIGN PLAN
C-5	STORMWATER - EXISTING PERIODS IMPROVEMENTS
C-6	STORMWATER - PROPOSED PERIODS IMPROVEMENTS
LANDSCAPE	
LS-1	LANDSCAPE PLANTING PLAN
LS-2	SOIL GRADING PLAN
LS-3	PROPOSED IRRIGATION PLAN
LS-4	LANDSCAPE DESIGNATION PLAN
LS-5	LANDSCAPE CONSTRUCTION DETAILS

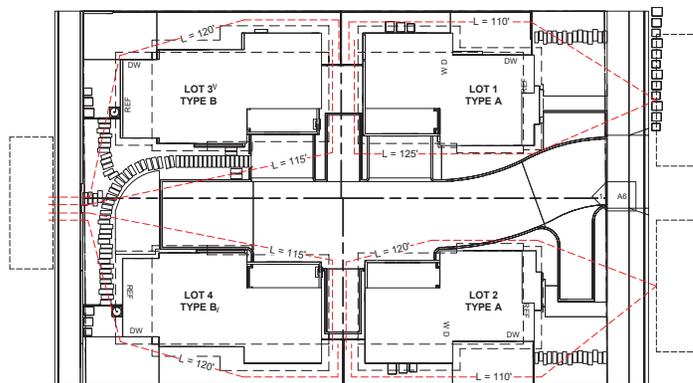
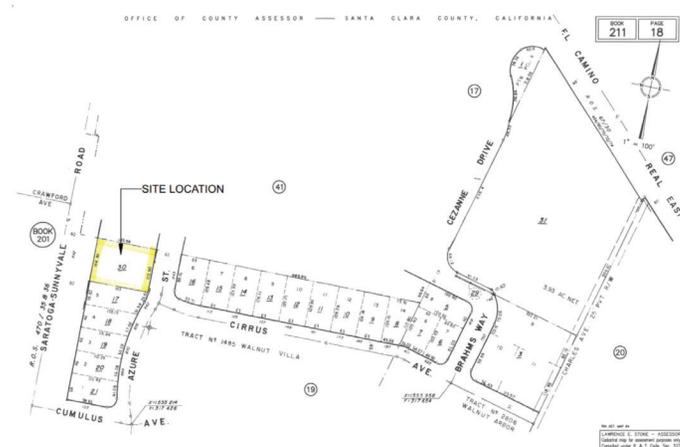
**AZURE
DEVELOPMENT**
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

VICINITY MAP



PARCEL MAP



SITE PLAN FOR FIRE DEPT. SHADED AREA INDICATES DISTANCES FOR HOSE REACH
1/16" = 1'-0"

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT 1
02/14/2024	PLANNING PERMIT 2
06/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4
01/28/2025	PLANNING PERMIT 5



SCALE:	As indicated
JOB NO.	219418

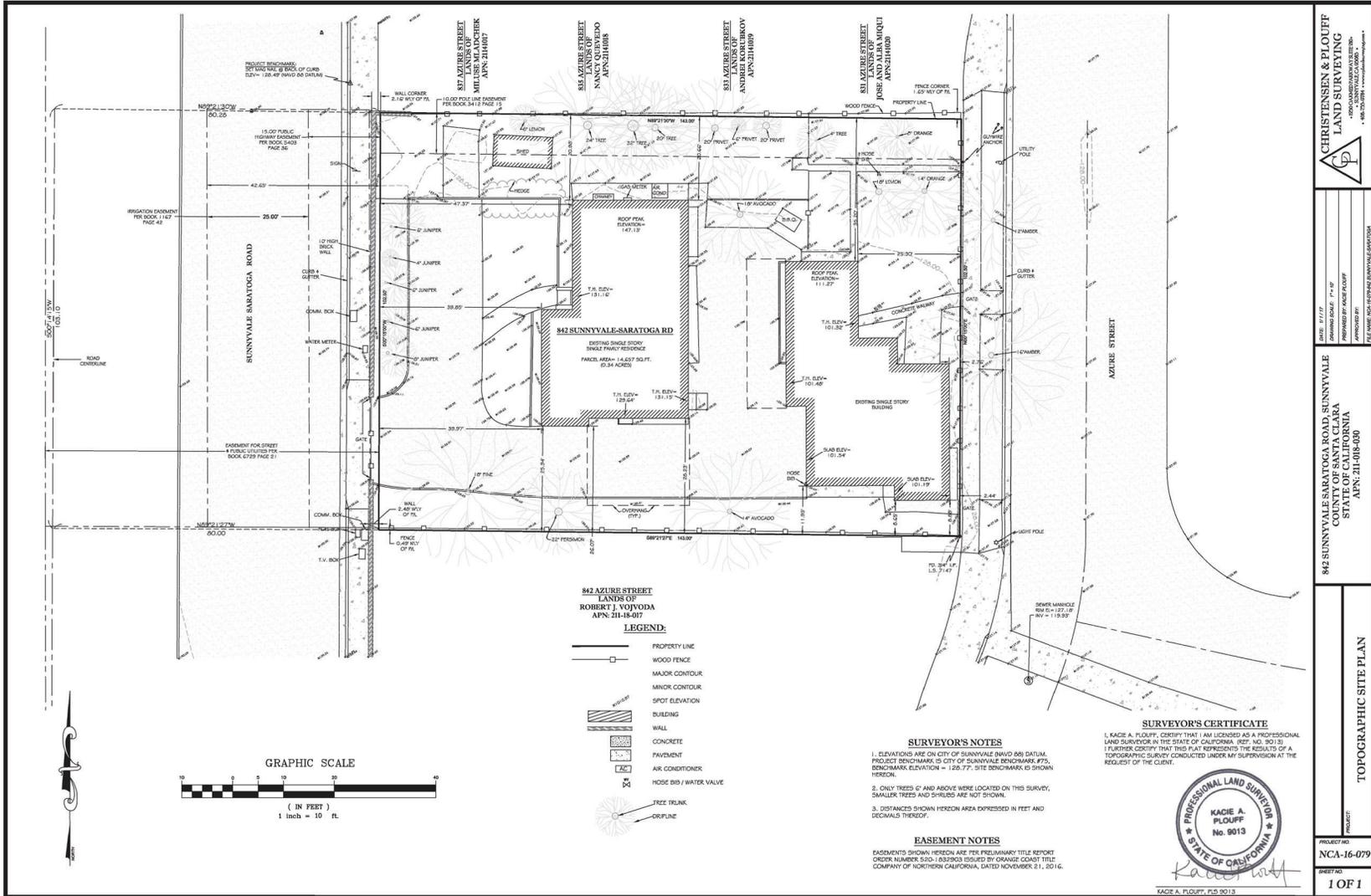
DRAWING:
COVER SHEET

A0.1

10/10/2024 11:51:47 PM

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRICOM



DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3



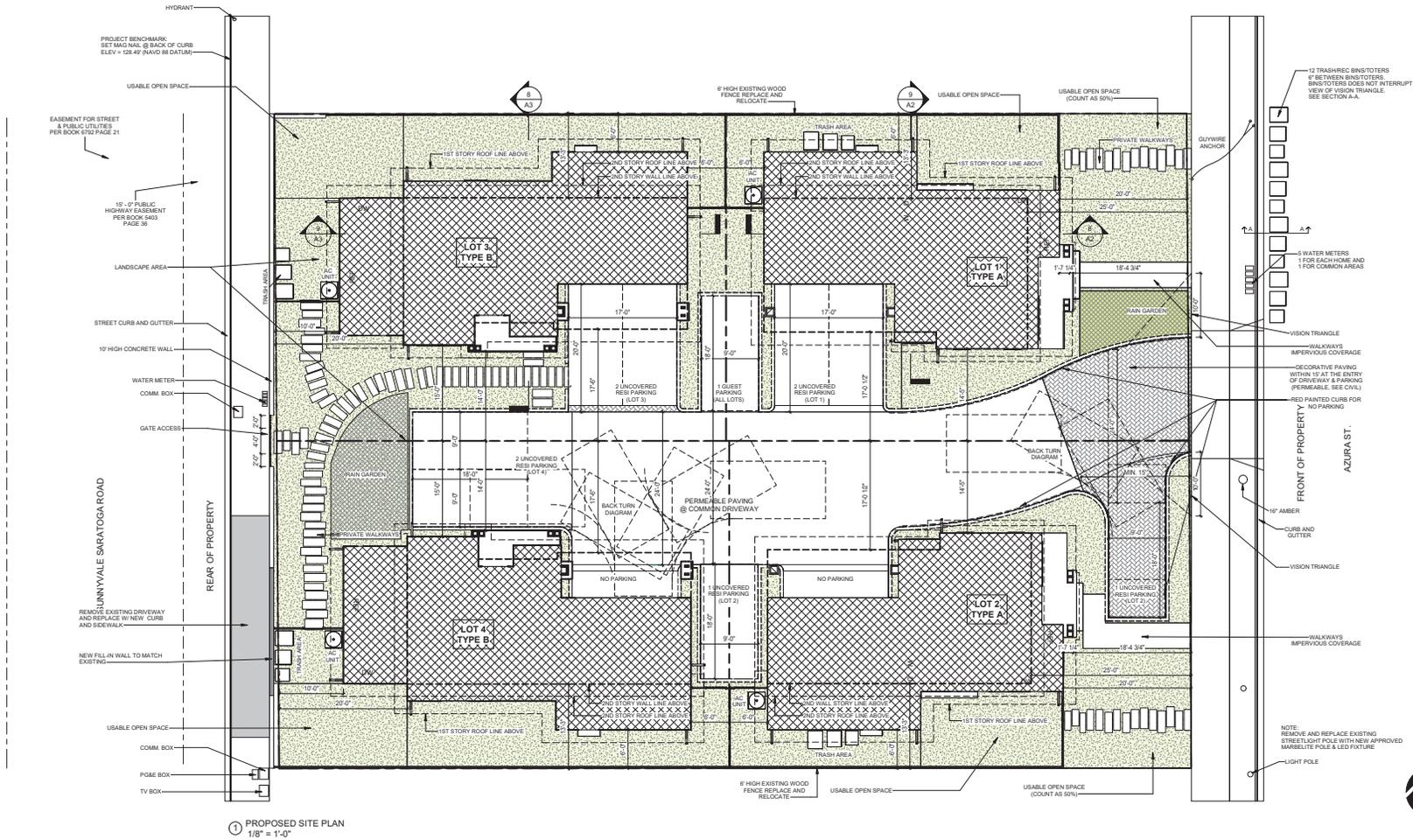
SCALE:	
JOB NO.	219418

DRAWING:
TOPOGRAPHIC SITE PLAN

A0.2

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



1 PROPOSED SITE PLAN
1/8" = 1'-0"

PROJECT DATA:

PROJECT AREA:	14,657 S.F.		
(VACANT - DEMO COMPLETE)			
PREVIOUS EXISTING STRUCTURES:			
NUMBER OF UNIT	2		
STORIES	1		
COVERED PARKING	2		
INDIVIDUAL LOT COVERAGE:			
LOT NUMBER:	LOT SIZE:	COVER:	% COVER:
LOT 1 / TYPE A	3709 S.F.	1232 S.F.	33.22
LOT 2 / TYPE A	3702 S.F.	1232 S.F.	33.28
LOT 3 / TYPE B	3618 S.F.	1418 S.F.	39.19
LOT 4 / TYPE B	3629 S.F.	1418 S.F.	39.07
TOTAL	14,657 S.F.	5300 S.F.	36.16
STORIES PROPOSED	2		
MAXIMUM HEIGHT	25' - 8"		
COVERED PARKING	8		
UNCOVERED PARKING	8		
GUEST PARKING	1		

PROPOSED PROJECT:	NO. UNITS	4	
BY LOT NO.	FAR	2ND TO 1ST FLOOR RATIO	
LOT 1	1487 S.F.	52.2%	904/1032 = 87.6%
GARAGE	449 S.F.		
LOT 2	1487 S.F.	52.3%	904/1032 = 87.6%
GARAGE	449 S.F.		
LOT 3	1726 S.F.*	59.6%	932/1225 = 76.1%
GARAGE	431 S.F.		
LOT 4	1726 S.F.*	59.4%	932/1225 = 76.1%
GARAGE	431 S.F.		

REAR SETBACK + % AREA ENCROACHMENT:	
OVERALL LOT	10' - 21% SF
LOT 1	6' - 37% SF
LOT 2	6' - 37% SF
LOT 3	6' - 41% SF
LOT 4	6' - 41% SF

*INCLUDES AREA OVER 15 FEET FLOOR TO CEILING

USEABLE OPEN SPACE*	1069 S.F.
*UOS PER UNIT	267 S.F.

UOS BY LOT:	
LOT 1	268 SF
LOT 2	268 SF
LOT 3	267 SF
LOT 4	266 SF

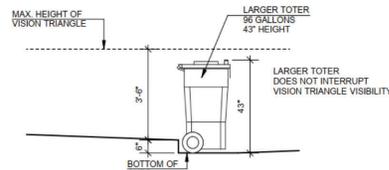
U/S BY LOT:	
LOT 1	1503 SF
LOT 2	1214 SF
LOT 3	1724 SF
LOT 4	1384 SF

OVERALL SITE FAR = 0.559

OVERALL LOT COVERAGE:	
5212 S.F./14657 S.F.	= 36.16%

INDICATES WALL MOUNTED INDIRECT EXTERIOR LIGHTING

FIRE PROTECTION NOTES:
ALL UNITS SHALL COMPLY WITH CFC906.1 FOR FIRE EXTINGUISHER IN EACH UNIT.
EACH UNIT SHALL BE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED TO BE IN ACCORDANCE WITH NFPA13D.
(CFC/SMC 903)
AUTO FIRE EXTINGUISHERS TO BE PROVIDED AT TRASH RECEPTACLES WITHIN 5 FEET OF HOME.



SECTION A-A
PARTIAL SECTION OF TRASH BIN/TOTER
LOCATION AT CURB
PLACED ONLY ONCE A WEEK

SOLID WASTE LEGEND

	INDICATES YARD WASTE TOTER 96 GALLONS 28" x 34 1/2" - 43" HIGH
	INDICATES SPLIT RECYCLING TOTER 64 GALLONS 30 1/2" x 26 1/2" - 40 1/2" HIGH
	INDICATES BLACK GARBAGE CART 65 GALLONS 24" x 27" - 40 1/2" HIGH

TRASH ENCLOSURES WITHIN 5 FEET OF BLDG. EXT. OR OVERHANG REQUIRE SPRINKLER PROTECTION

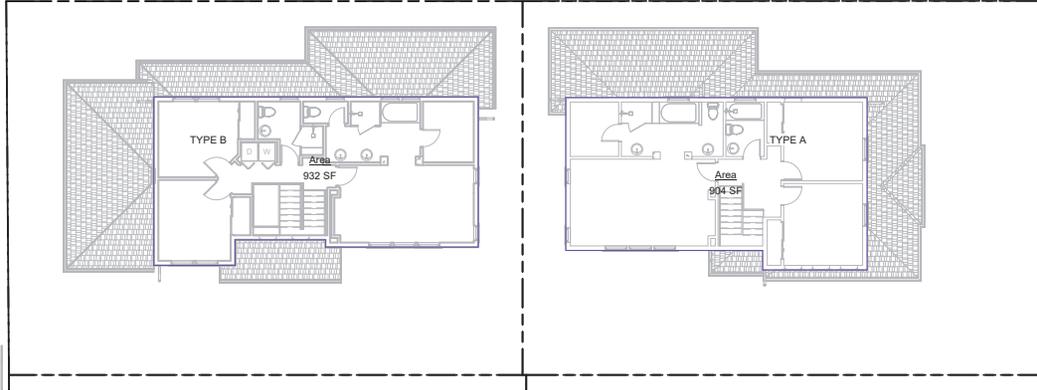
DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
06/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4
01/28/2025	PLANNING PERMIT 5



SCALE:	As indicated
JOB NO.	219418

DRAWING:
PROPOSED SITEPLAN

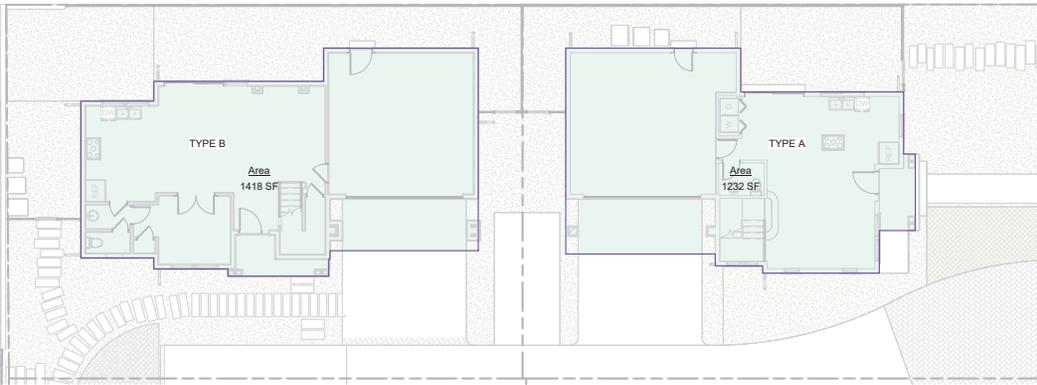
A1.1



③ 2ND FLOOR BUILDING AREA
1/8" = 1'-0"



② 1ST BUILDING AREA
1/8" = 1'-0"



① 1ST FLOOR COVERAGE AREA
1/8" = 1'-0"

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

DATE:	SUBMISSION:
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4

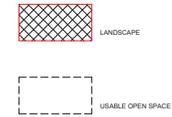


SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
SITE COVERAGE & BUILDING
AREA

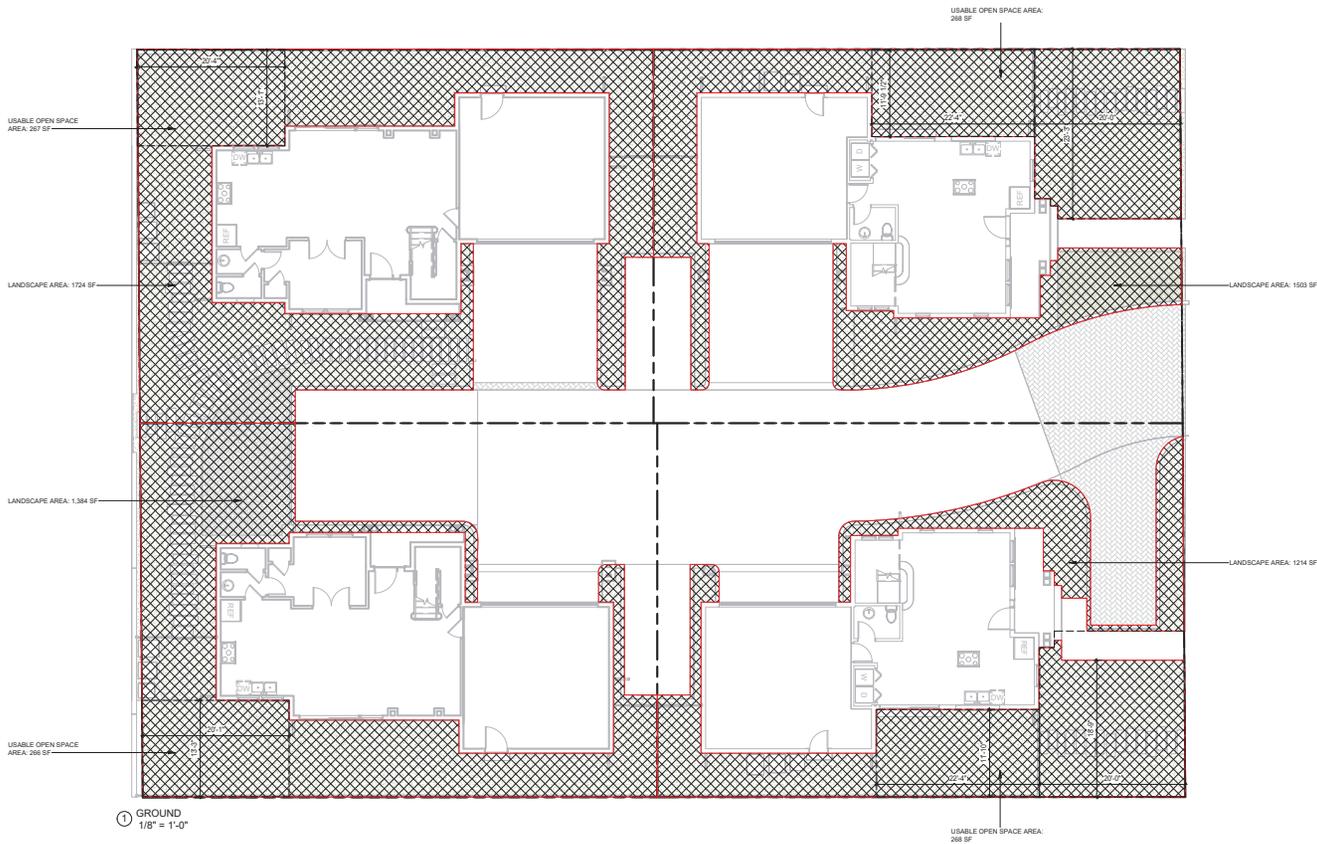
A1.2

LANDSCAPE & USABLE OPEN SPACE LEGEND



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



DATE:	SUBMISSION:
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4
01/28/2025	PLANNING PERMIT 5



SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
LANDSCAPE AREA CALS

A1.3

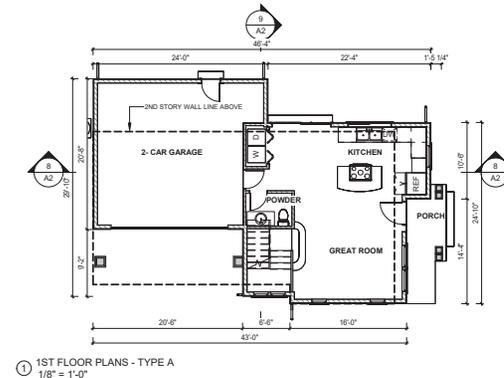
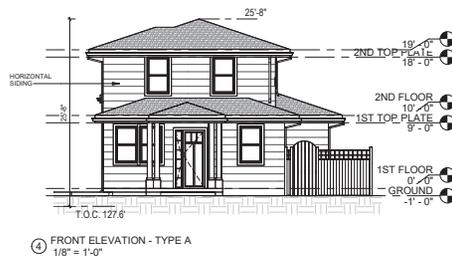
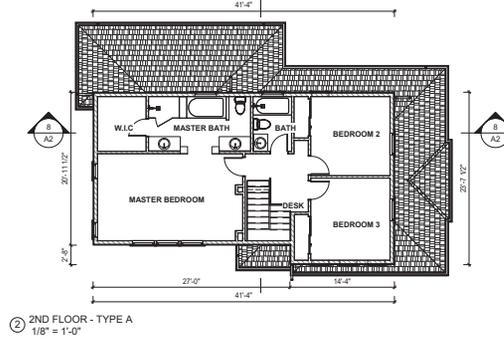
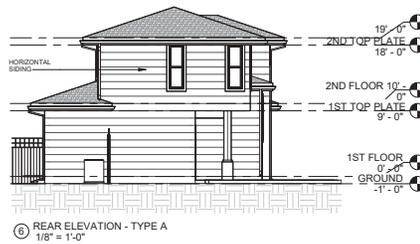
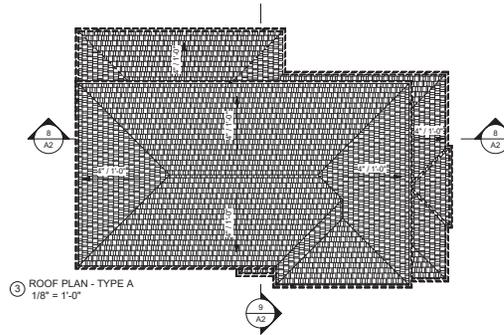
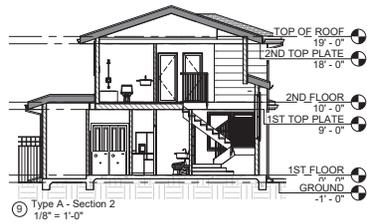
1/27/2025 12:24:00 PM

NOTE:

FOUNDATION FOR MAIN HOUSE WILL BE CRAWL SPACE, AND THE GARAGE WILL BE SLAB ON GRADE.

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



DATE:	SUBMISSION:
02/23/2023	PLANNING PERMIT 1
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
HOUSE TYPE A

A2

R:\2025\4_27\24\PM

NOTE:

FOUNDATION FOR MAIN HOUSE WILL BE CRAWL SPACE, AND THE GARAGE WILL BE SLAB ON GRADE.

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

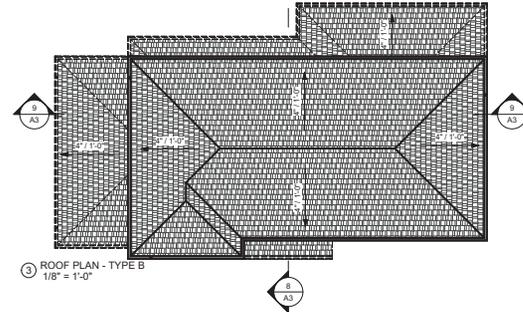
COBRI
WWW.COBRI.COM



① Type B - Section 2
1/8" = 1'-0"



② Type B - Section 1
1/8" = 1'-0"



③ ROOF PLAN - TYPE B
1/8" = 1'-0"



⑦ RIGHT ELEVATION - TYPE B
1/8" = 1'-0"



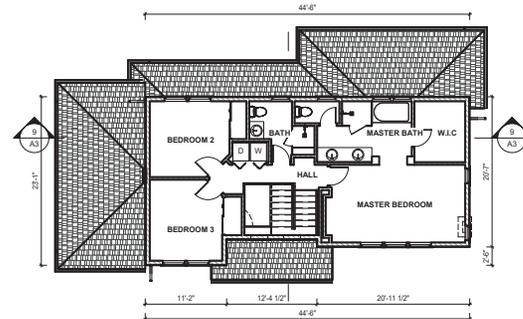
⑥ REAR ELEVATION - TYPE B
1/8" = 1'-0"



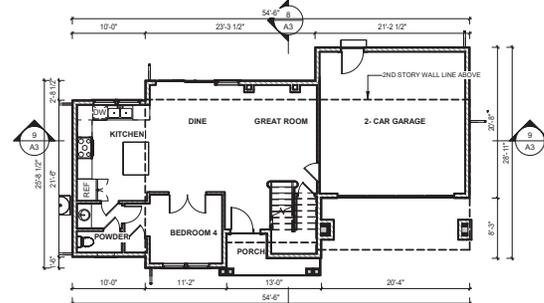
⑤ LEFT ELEVATION - TYPE B
1/8" = 1'-0"



④ FRONT ELEVATION - TYPE B
1/8" = 1'-0"



② 2ND FLOOR - TYPE B
1/8" = 1'-0"



① 1ST FLOOR PLANS - TYPE B
1/8" = 1'-0"

DATE:	SUBMISSION:
06/23/2024	PLANNING PERMIT 1
02/14/2024	PLANNING PERMIT 2
06/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



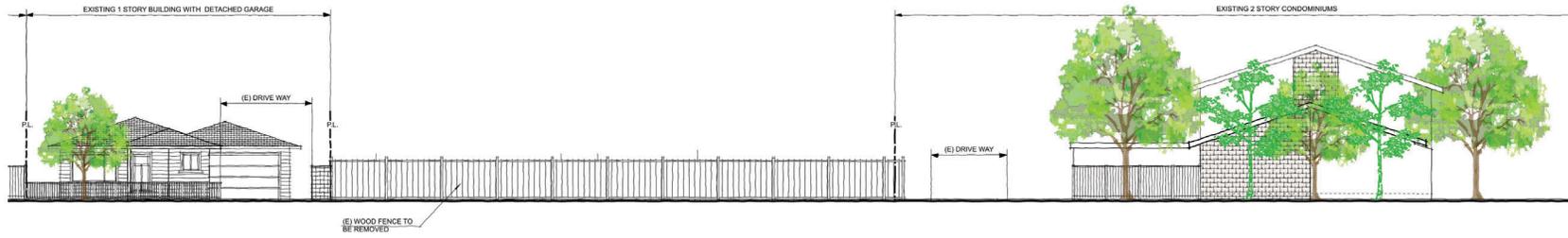
SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
HOUSE TYPE B

A3

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



EXISTING STREET SCAPE @ AZURE AVENUE

SCALE 1" = 10'-0"



PROPOSED STREET SCAPE @ AZURE AVENUE

SCALE 1" = 10'-0"



1 SITE SECTION
1/8" = 1'-0"

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
06/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



SCALE:	As indicated
JOB NO.	219418

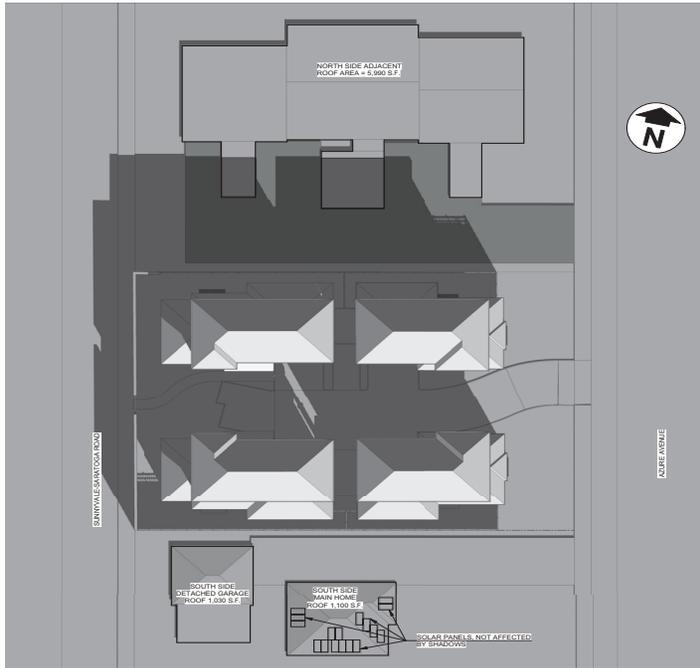
DRAWING:
STREET SCAPE & SITE
SECTION

A4

10/10/2024 11:02:14 PM

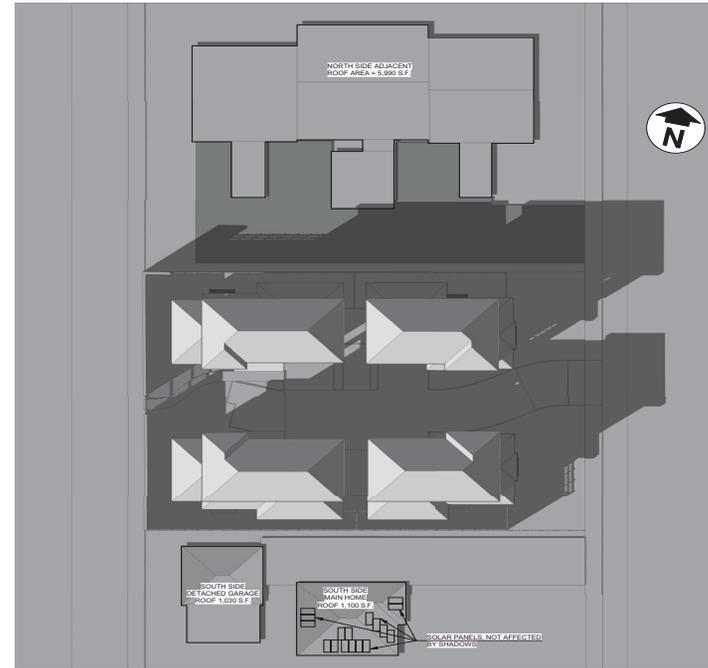
AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



DECEMBER 21 - 9:00 A.M.

SHADOW COVERAGE
ADJACENT SOUTH SIDE ROOF = 0%
ADJACENT NORTH SIDE ROOF = 10% (610 S.F.)



DECEMBER 21 - 3:00 P.M.

SHADOW COVERAGE
ADJACENT SOUTH SIDE ROOF = 0%
ADJACENT NORTH SIDE ROOF = >1% (20 S.F.)

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2



SCALE:	
JOB NO.	218418

DRAWING:
SOLAR STUDY

A5

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

NEW HOME RATING SYSTEM, VERSION 4.2
SINGLE FAMILY CHECKLIST

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 7.0

GreenPoint Rated New Home Single Family Checklist Version 7.0 grid with various categories and checkboxes.

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 7.0

GreenPoint Rated New Home Single Family Checklist Version 7.0 grid with various categories and checkboxes.

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 7.0

GreenPoint Rated New Home Single Family Checklist Version 7.0 grid with various categories and checkboxes.

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 7.0

GreenPoint Rated New Home Single Family Checklist Version 7.0 grid with various categories and checkboxes.

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 7.0

GreenPoint Rated New Home Single Family Checklist Version 7.0 grid with various categories and checkboxes.

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 7.0

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3



SCALE:	
JOB NO.	219418

DRAWING:
CAL GREEN POINT TYPE B

A8

10/10/2024 11:02:37 PM

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



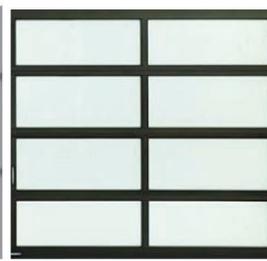
DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
06/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



ENTRY DOOR



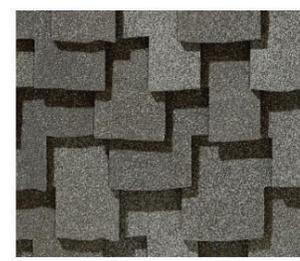
EXTERIOR SIDING TEXTURE



GLASS GARAGE DOOR



FIBERGLASS WINDOW



PRESIDENTIAL TL ROOF

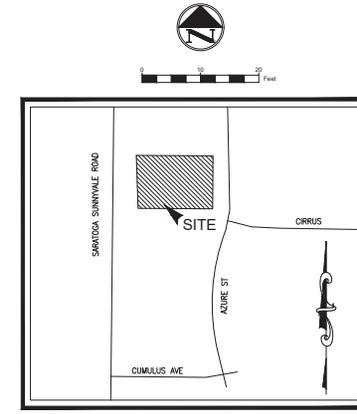
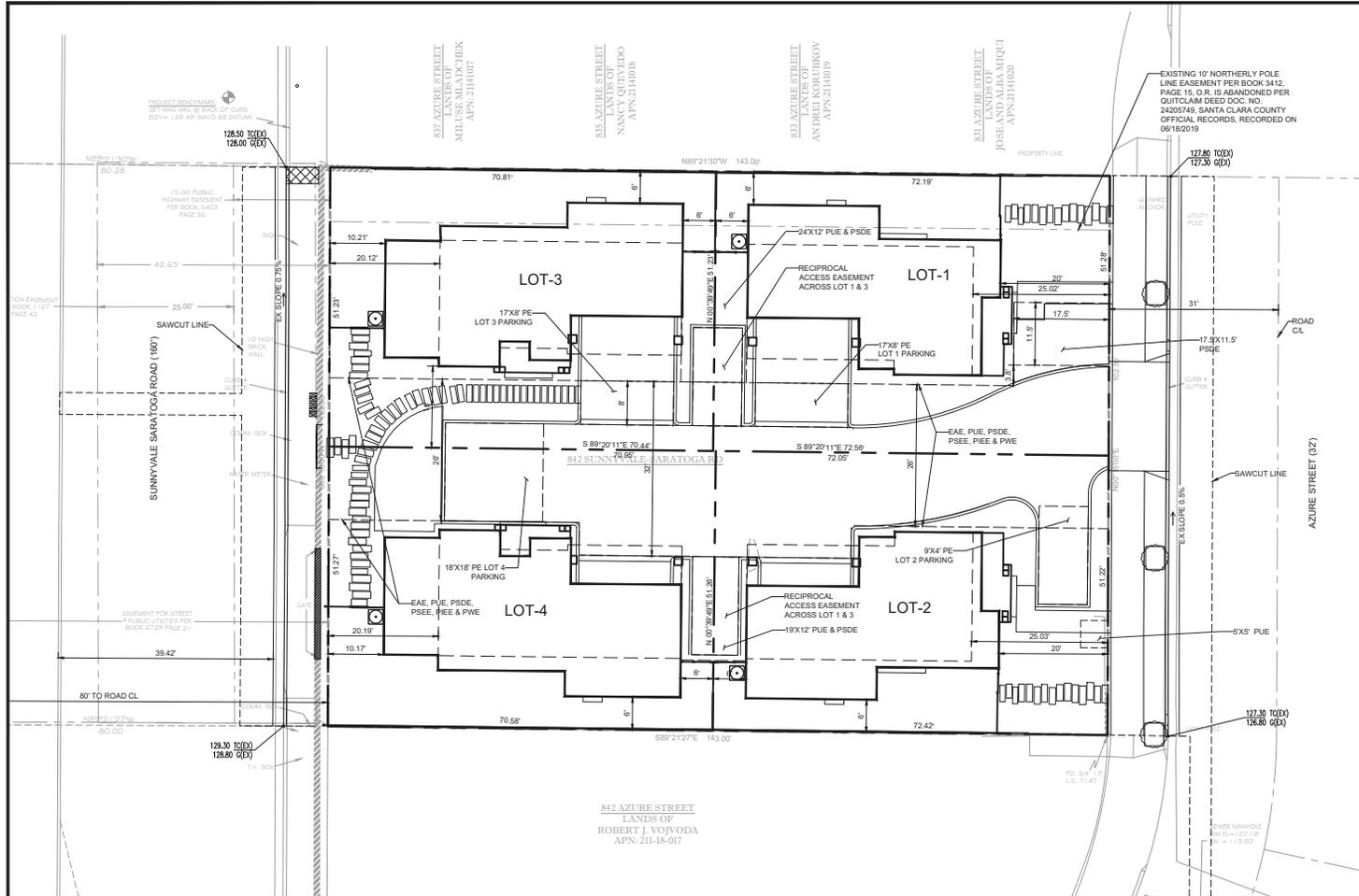


SCALE:	
JOB NO.	219418

DRAWING:
COLOR & MATERIALS

A9

10/10/2024 11:02:37 PM



- GENERAL NOTES:**
- OWNERS/ DEVELOPERS: SILICON VALLEY ENCHANTO CAPITAL LLC, 756 UNIVERSITY AVE., LOS ALTOS, CA 94022, JUN ZHANG, PH: 408-348-6885, EMAIL: JUNZHANGZENG@GMAIL.COM
 - CIVIL ENGINEER: RCL STRUCTURAL ENGINEERS, INC., 570 EL CAMINO REAL SUITE D, SUNNYVALE CA, 94087, PH: 408-463-8832, EMAIL: INFO@RCLSE.COM
 - EXISTING ZONING: R0
 - PROPOSED ZONING: R2 / PD
 - APN# 211-18-030
 - EXISTING USE: RESIDENTIAL
 - EXISTING BUILDINGS: REMOVED AND LOT IS VACANT
 - FLOOD ZONE: X
 - PROPOSED USE: FOUR (4) NEW SINGLE FAMILY HOMES
 - PROPOSED # OF LOTS: FOUR (4)
 - STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE IMPROVED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS
 - EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL NEIGHBORHOOD
 - WATER: CALIFORNIA WATER SERVICE CO
 - FIRE PROTECTION: CITY OF SUNNYVALE
 - STORM AND SANITARY SEWER: CITY OF SUNNYVALE
 - POWER AND GAS: PACIFIC GAS & ELECTRIC
 - TELEPHONE: AT&T
 - STREET NAMES: N/A
 - NEW SIDEWALK AND NEW CURB & GUTTER ALONG STREET FRONTAGE IS PROPOSED, ADA, WITH NEW NEW CITY STANDARD SC-6, AND SAWCUT AT EDGE OF THE BIKE LANE, TO THE SATISFACTION OF DIRECTOR OF PUBLIC WORKS
 - REFER TO PRELIMINARY ON-SITE AND OFF-SITE IMPROVEMENT PLANS ACCOMPANYING TENTATIVE MAP FOR STREET SECTION & PROPOSED IMPROVEMENT NOT SHOWN HERE.
 - PROJECT COVENANTS SHALL BE RECORDED PER SMC 18.20.050
 - A STATEMENT SHALL BE PRESENTED BY THE OWNER IN WRITTEN FORM ACCOMPANYING THE MAP STATING ANY EXISTING RESTRICTIVE COVENANTS, LEASES, RIGHT-OF-WAY, LICENSES AND ENCUMBRANCES AFFECTING THE USE OF THE LAND, SUCH OF THE FOREGOING INFORMATION AS MAY NOT PRACTICALLY BE SHOWN ON THE MAP SHALL BE CONTAINED IN A WRITTEN STATEMENT ACCOMPANYING THE MAP PER SMC 18.20.060.
 - ALL DIMENSIONS ARE IN FEET AND DECIMAL THEREOF.
 - EXISTING EASEMENT: 10' NORTHERLY POLE LINE EASEMENT PER BOOK 3412 PAGE 15, REMOVED
 24. SITE AVERAGE SLOPE: 2%

Basis of Bearings:
THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN "NEW" CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-M-36 AND IS TAKEN TO BE N 0°07'27" W.

SITE BENCHMARK:
ELEVATIONS ARE ON CITY OF SUNNYVALE. PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75. BENCHMARK ELEVATION = 128.77 (NAVD 88) DATUM.

LEGEND/ABBREVIATIONS:

---	PROPOSED PROPERTY/LOT LINES
---	EASEMENT LINES
(X)	EXISTING TREES TO BE REMOVED
PIEE	PRIVATE INGRESS EGRESS EASEMENT
PSDE	PRIVATE STORM DRAINAGE EASEMENT
PE	PRIVATE PARKING EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PWE	PRIVATE WATER EASEMENT
EAE	EMERGENCY ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT

PROPOSED LOT AREA TABLE:

PROPOSED UNITS	SQ. FT.	ACRES
LOT 1 (UNIT 1)	3,708	0.085
LOT 2 (UNIT 2)	3,702	0.085
LOT 3 (UNIT 3)	3,618	0.083
LOT 4 (UNIT 4)	3,628	0.083
TOTAL LOTS (SUBDIVISION BOUNDARY)	14,657	0.336

SHEET INDEX:

TM-1	TENTATIVE PARCEL MAP
TM-2	TENTATIVE MAP-ROAD SECTION
TM-3	TENTATIVE MAP-SITE PLAN
TM-4	TENTATIVE MAP-GRADING PLAN
TM-5	TENTATIVE MAP-UTILITY PLAN
TM-6	TENTATIVE MAP-STORM MANAGEMENT PLAN

TENTATIVE MAP
AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CA 94087

Z S D ARCHITECTS, INC
ARCHITECTURE PLANNING SUBDIVISION
11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631
henryzheng@yahoo.com
PROJECT # 2511

NO.	DATE	BY	CSJ	REVISIONS
10/03/24				PLANNING PERMIT 5
09/01/24				PLANNING PERMIT 4
09/01/24				PLANNING PERMIT 3
08/12/24				PLANNING PERMIT 2
08/02/24				PLANNING PERMIT

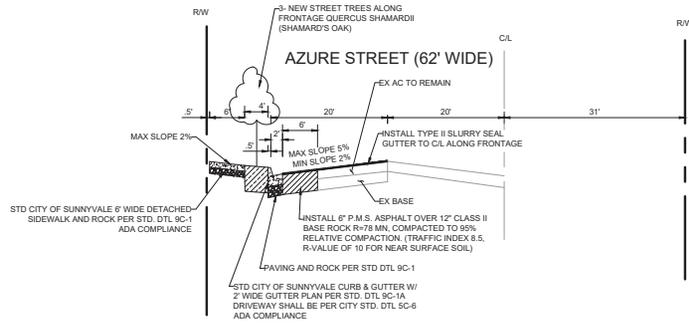
RCL STRUCTURAL ENGINEERS, INC.
P. 408.463.8832
I. INFO@RCLSE.COM
SUNNYVALE, CA 94087
Sole E.I. Civil Engineer
Sunnyvale, CA 94087

CHAI SHONG LOH, P.E.

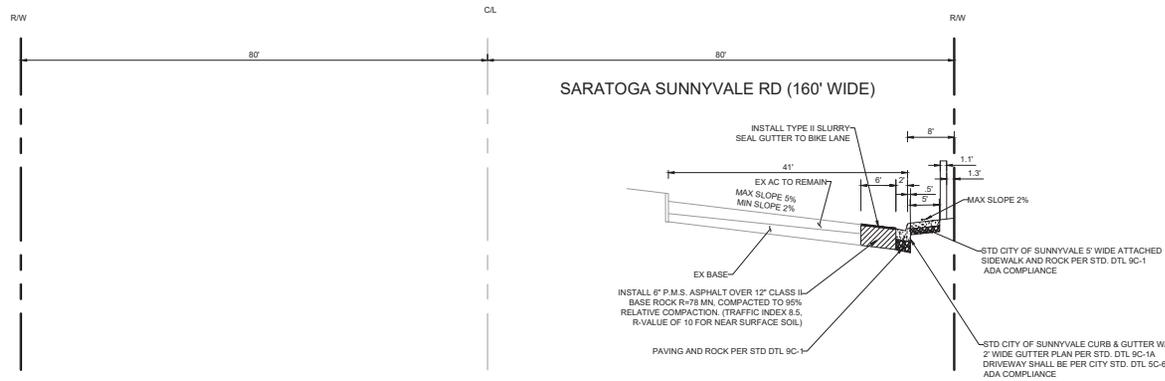
RL

AZURE GARDENS SUBDIVISION
TENTATIVE PARCEL MAP
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA
Project No. 2018-06 | Designer: K.C. | Checked: R.L. | Date: 11-18-19

SHEET
TM 1
PW PROJECT #



TYPICAL AZURE ST. SECTION
(N.T.S)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S)



Z S D ARCHITECTS, INC.
ARCHITECTURE PLANNING & INTERIOR DESIGN
11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631
henryzheng@yahoo.com

NO.	DATE	BY	CSJ	DATE	REVISIONS
1	10/01/24				PLANNING PERMIT 5
2	10/01/24				PLANNING PERMIT 4
3	10/01/24				PLANNING PERMIT 3
4	10/11/24				PLANNING PERMIT 2
5	10/22/24				PLANNING PERMIT



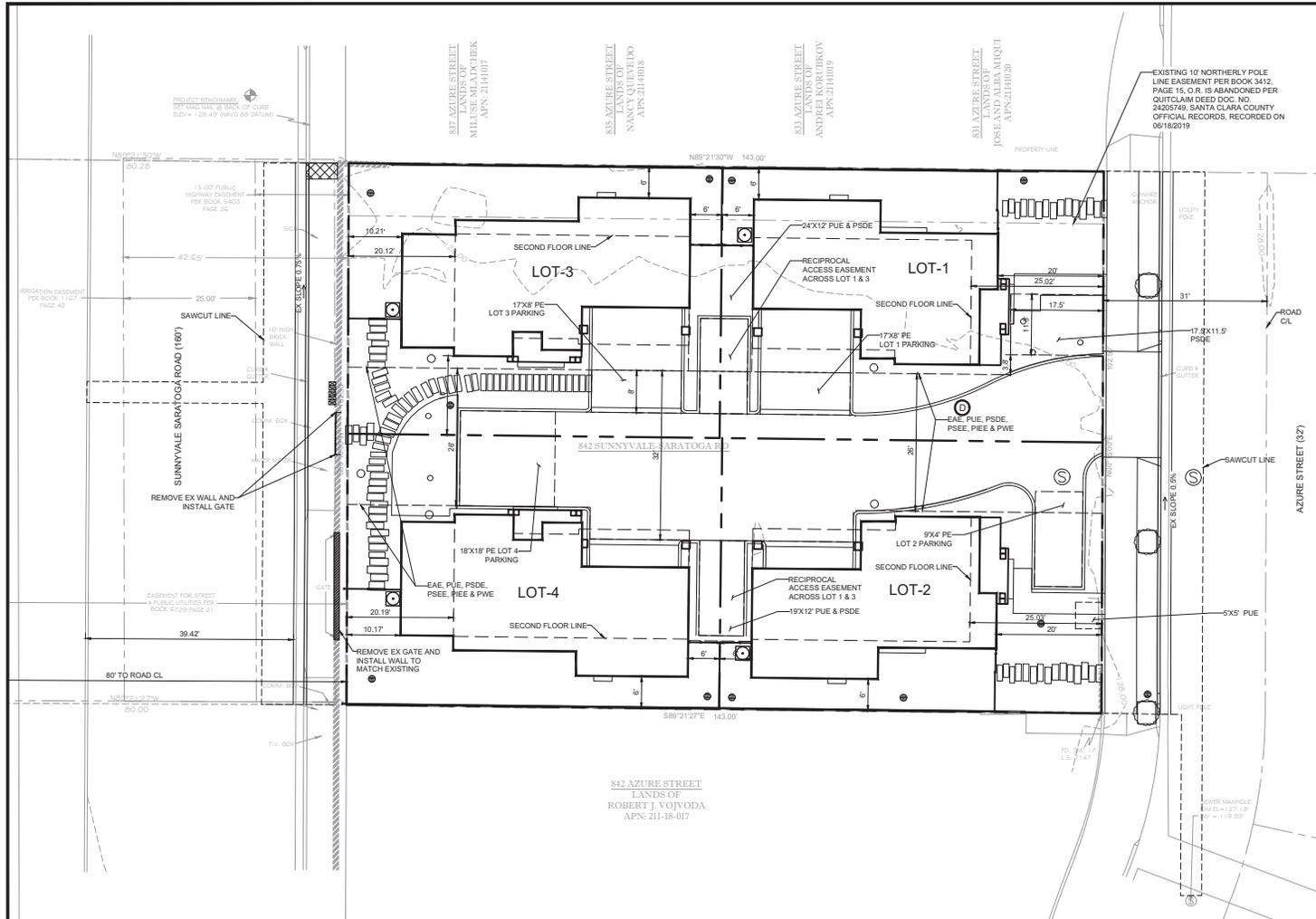
CHAI SONG LIN, P.E.
RCL STRUCTURAL ENGINEERS, INC.
P 408.488.9932
info@rclse.com
www.rclse.com
SUNNYVALE, CA 94087



Project No. 2018-06 | Designer: K.C. | Checked: R.L. | Date: 11-18-19
AZURE GARDENS SUBDIVISION
TENTATIVE MAP-ROAD SECTION
SUNNYVALE, CALIFORNIA
842 SUNNYVALE-SARATOGA RD

TENTATIVE MAP
AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA 94087

SHEET
TM 2
PW PROJECT #



GENERAL NOTES:

- OWNERS/ DEVELOPERS: SILICON VALLEY ENCHANTO CAPITAL LLC, 756 UNIVERSITY AVE., LOS ALTOS, CA 94022, JUN ZHANG, PH: 408-348-6885, EMAIL: JUNZHANGZENG@GMAIL.COM
- CIVIL ENGINEER: RCL STRUCTURAL ENGINEERS, INC., 570 EL CAMINO REAL, SUITE D, SUNNYVALE, CA, 94087, PH: 408-463-8832, EMAIL: INFO@RCLSE.COM
- EXISTING ZONING: R0
- PROPOSED ZONING: R-2 / PD
- APN# 211-18-030
- EXISTING USE: RESIDENTIAL
- EXISTING BUILDINGS: REMOVED AND LOT IS VACANT
- FLOOD ZONE: X
- PROPOSED USE: FOUR (4) NEW SINGLE FAMILY HOMES
- PROPOSED # OF LOTS: FOUR (4)
- STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE IMPROVED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL NEIGHBORHOOD
- WATER: CALIFORNIA WATER SERVICE CO
- FIRE PROTECTION: SANTA CARLA COUNTY FIRE DEPARTMENT
- STORM AND SANITARY SEWER: CITY OF SUNNYVALE
- POWER AND GAS: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T
- STREET NAMES: N/A
- NEW SIDEWALK AND NEW CURB & GUTTER ALONG STREET FRONTAGE IS PROPOSED, ADA WITH NEW NEW CITY STANDARD SC-6, AND SAWCUT AT EDGE OF THE SIDE WALK, TO THE SATISFACTION OF DIRECTOR OF PUBLIC WORKS. REFER TO PRELIMINARY ON-SITE AND OFF-SITE IMPROVEMENT PLANS ACCOMPANYING TENTATIVE MAP FOR STREET SECTION & PROPOSED IMPROVEMENT NOT SHOWN HERE.
- PROJECT COVENANTS SHALL BE RECORDED PER SMC 18.20.050
- A STATEMENT SHALL BE PRESENTED BY THE OWNER IN WRITTEN FORM ACCOMPANYING THE MAP STATING ANY EXISTING RESTRICTIVE COVENANTS, LEASES, RIGHT-OF-WAY, LICENSES AND ENCUMBRANCES AFFECTING THE USE OF THE LAND. SUCH OF THE FOREGOING INFORMATION AS MAY NOT PRACTICALLY BE SHOWN ON THE MAP SHALL BE CONTAINED IN A WRITTEN STATEMENT ACCOMPANYING THE MAP PER SMC 18.20.060.
- ALL DIMENSIONS ARE IN FEET AND DECIMAL THEREOF.
- EXISTING EASEMENT: 10' NORTHERLY POLE LINE EASEMENT PER BOOK 3412 PAGE 15, REMOVED
- SITE AVERAGE SLOPE: 2%



11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631

henryzheng@yahoo.com

NO.	REVISION	DATE	BY	CS/	REVISIONS
1	10/01/24				PLANNING PERMIT 5
2	10/01/24				PLANNING PERMIT 4
3	10/01/24				PLANNING PERMIT 3
4	10/01/24				PLANNING PERMIT 2
5	10/02/24				PLANNING PERMIT



RCL STRUCTURAL ENGINEERS, INC.
P. 408.463.8832
F. 408.464.5631
info@rclse.com
SUNNYVALE, CA 94087



Project No. 2018-06 | Designer: RCL | Checked: RL | Date: 11-18-19

Project No. 2018-06 | Designer: RCL | Checked: RL | Date: 11-18-19

LEGEND/ABBREVIATIONS:

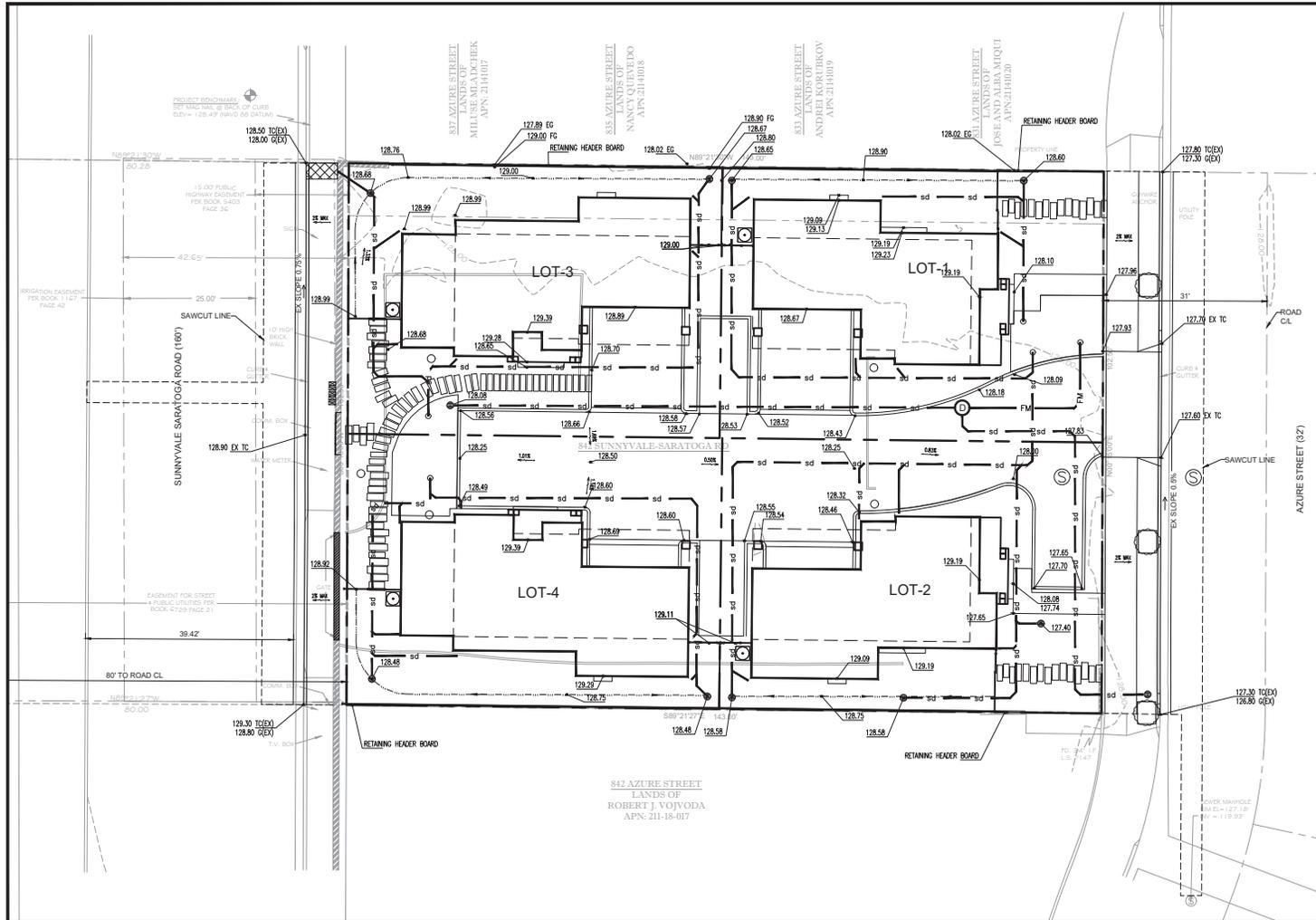
- PROPOSED PROPERTY/LOT LINES
- EASEMENT LINES
- (X) EXISTING TREES TO BE REMOVED
- PIE PRIVATE INGRESS/EGRESS EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PE PRIVATE PARKING EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PWE PRIVATE WATER EASEMENT
- EAE EMERGENCY ACCESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT

PROPOSED LOT AREA TABLE:

PROPOSED LOTS	SQ. FT.	ACRES
LOT 1 (UNIT 1)	3,709	0.085
LOT 2 (UNIT 2)	3,702	0.085
LOT 3 (UNIT 3)	3,618	0.083
LOT 4 (UNIT 4)	3,628	0.083
TOTAL LOTS (SUBDIVISION BOUNDARY)	14,657	0.336

TENTATIVE MAP
AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CA 94087

SHEET
TM 3
PW PROJECT #



GENERAL NOTES:

- OWNERS/ DEVELOPERS:
SILICON VALLEY ENCHANTO CAPITAL LLC
756 UNIVERSITY AVE., LOS ALTOS, CA 94022
JUN ZHANG, PH: 408-348-6885,
EMAIL: JUNZHANGZENG@GMAIL.COM
- CIVIL ENGINEER:
RCL STRUCTURAL ENGINEERS, INC.
570 EL CAMINO REAL, SUITE D
SUNNYVALE, CA 94087
PH: 408-463-8832, EMAIL: INFO@RCLSE.COM
- EXISTING ZONING: R0
- PROPOSED ZONING: R-2 / PD
- APN# 211-18-030
- EXISTING USE: RESIDENTIAL
- EXISTING BUILDINGS: REMOVED AND LOT IS VACANT
- FLOOD ZONE: X
- PROPOSED USE: FOUR (4) NEW SINGLE FAMILY HOMES
- PROPOSED # OF LOTS: FOUR (4)
- STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE IMPROVED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL NEIGHBORHOOD
- WATER: CALIFORNIA WATER SERVICE CO
- FIRE PROTECTION: SANTA CARLA COUNTY FIRE DEPARTMENT
- STORM AND SANITARY SEWER: CITY OF SUNNYVALE
- POWER AND GAS: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T
- STREET NAMES: N/A
- NEW SIDEWALK AND NEW CURB & GUTTER ALONG STREET FRONTAGE IS PROPOSED, ADA WITH NEW NEW CITY STANDARD SC-6, AND SAWCUT AT EDGE OF THE SIDE LANE, TO THE SATISFACTION OF DIRECTOR OF PUBLIC WORKS. REFER TO PRELIMINARY ON-SITE AND OFF-SITE IMPROVEMENT PLANS ACCOMPANYING TENTATIVE MAP FOR STREET SECTION & PROPOSED IMPROVEMENT NOT SHOWN HERE.
- PROJECT COVENANTS SHALL BE RECORDED PER SMC 18.20.050
- A STATEMENT SHALL BE PRESENTED BY THE OWNER IN WRITTEN FORM ACCOMPANYING THE MAP STATING ANY EXISTING RESTRICTIVE COVENANTS, LEASES, RIGHT-OF-WAY, LICENSES AND ENCUMBRANCES AFFECTING THE USE OF THE LAND. SUCH OF THE FOREGOING INFORMATION AS MAY NOT PRACTICABLY BE SHOWN ON THE MAP SHALL BE CONTAINED IN A WRITTEN STATEMENT ACCOMPANYING THE MAP PER SMC 18.20.060
- ALL DIMENSIONS ARE IN FEET AND DECIMAL THEREOF.
- EXISTING EASEMENT: 10' NORTHERLY POLE LINE EASEMENT PER BOOK 3412 PAGE 15, REMOVED
- SITE AVERAGE SLOPE: 2%



11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5651

henryzheng@yahoo.com
henryzheng@zsd.com

NO.	REVISION	DATE	BY	CS/J	DATE
1	PLANNING PERMIT 5				
2	PLANNING PERMIT 4				
3	PLANNING PERMIT 3				
4	PLANNING PERMIT 2				
5	PLANNING PERMIT				



RCL STRUCTURAL ENGINEERS, INC.
P: 408.463.8832
F: 408.463.8833
info@rclse.com
www.rclse.com
Sole E.I. California Reg. No. 44400
Sunnyvale, CA 94087



Project No. 2018-06 | Designer: KCL | Checked: RL | Date: 11-18-19

LEGEND/ABBREVIATIONS:

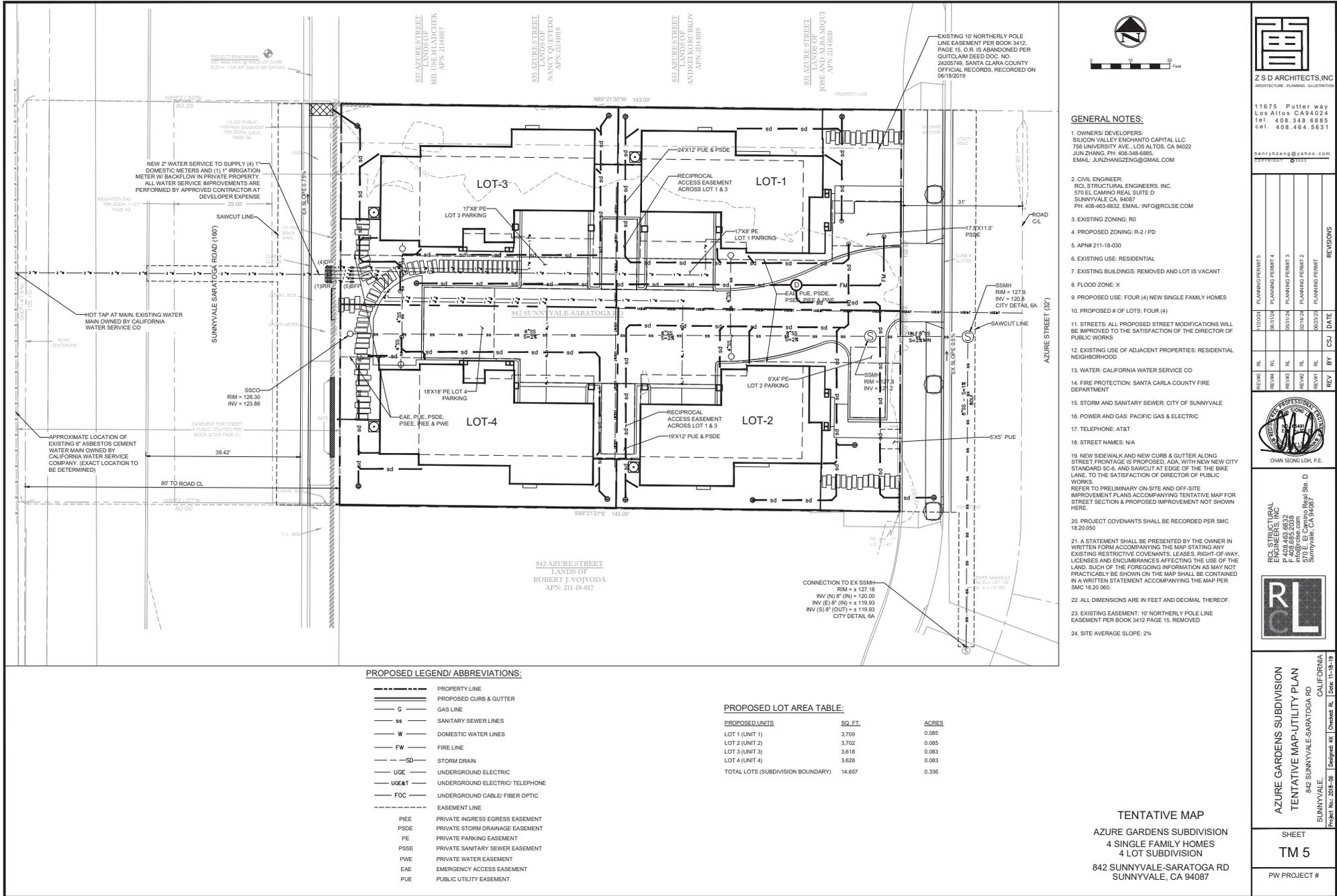
- PROPOSED PROPERTY/LOT LINES
- - - EASEMENT LINES
- (X) EXISTING TREES TO BE REMOVED
- PIE PRIVATE INGRESS EGRESS EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PE PRIVATE PARKING EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PWE PRIVATE WATER EASEMENT
- EAE EMERGENCY ACCESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT

PROPOSED LOT AREA TABLE:

PROPOSED LOTS	SQ. FT.	ACRES
LOT 1 (UNIT 1)	3,709	0.085
LOT 2 (UNIT 2)	3,702	0.085
LOT 3 (UNIT 3)	3,618	0.083
LOT 4 (UNIT 4)	3,628	0.083
TOTAL LOTS (SUBDIVISION BOUNDARY)	14,657	0.336

TENTATIVE MAP
AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CA 94087

SHEET
TM 4
PW PROJECT #



Z S D ARCHITECTS, INC.
ARCHITECTURE PLANNING ILLUSTRATION

11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cell. 408.464.5831

henryzheng@yahoo.com
PROJECT # 2118

REVISION	BY	DATE	REVISIONS
1	RL		INITIAL PLANNING PERMIT 5
2	RL		REVISED PLANNING PERMIT 4
3	RL		REVISED PLANNING PERMIT 3
4	RL		REVISED PLANNING PERMIT 2
5	RL		REVISED PLANNING PERMIT



RCL STRUCTURAL ENGINEERS, INC.
P: 408.463.6832
F: 408.463.6833
info@rclse.com
Sole E.I. California Lic. D
Sunnyvale, CA 94087

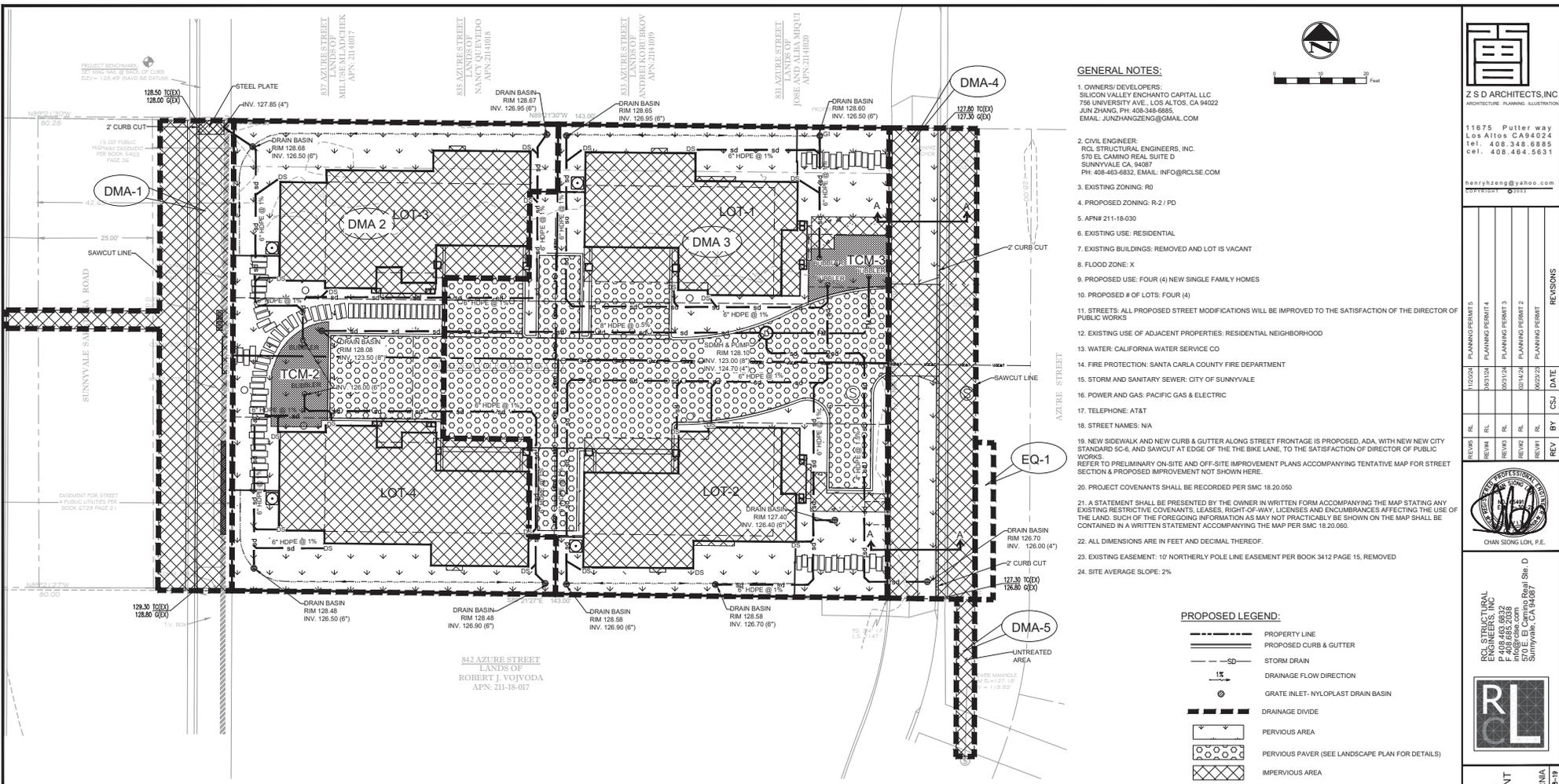


AZURE GARDENS SUBDIVISION
TENTATIVE MAP-UTILITY PLAN
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA
Project No. 2018-06 | Designer: RCL | Checked: RL | Date: 11-18-19

SHEET
TM 5
PW PROJECT #

TENTATIVE MAP
AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CA 94087

25-0712 Corrected Attachment 5 (posted 20250807)



GENERAL NOTES:

- OWNERS/DEVELOPERS: SILICON VALLEY ENCHANTO CAPITAL LLC
726 UNIVERSITY AVE. LOS ALTOS, CA 94022
JUN ZHANG, PH: 408-348-6885, EMAIL: JUNZHANGZENG@GMAIL.COM
- CIVIL ENGINEER: RCL STRUCTURAL ENGINEERS, INC.
570 EL CAMINO REAL SUITE D SUNNYVALE CA 94097
PH: 408-463-6832, EMAIL: INFO@RCLSE.COM
- EXISTING ZONING: R0
- PROPOSED ZONING: R-2 / PD
- APN# 211-18-030
- EXISTING USE: RESIDENTIAL
- EXISTING BUILDINGS: REMOVED AND LOT IS VACANT
- FLOOD ZONE: X
- PROPOSED USE: FOUR (4) NEW SINGLE FAMILY HOMES
- PROPOSED # OF LOTS: FOUR (4)
- STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE IMPROVED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL NEIGHBORHOOD
- WATER: CALIFORNIA WATER SERVICE CO
- FIRE PROTECTION: SANTA CARLA COUNTY FIRE DEPARTMENT
- STORM AND SANITARY SEWER: CITY OF SUNNYVALE
- POWER AND GAS: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T
- STREET NAMES: N/A
- NEW SIDEWALK AND NEW CURB & GUTTER ALONG STREET FRONTAGE IS PROPOSED, ADA, WITH NEW NEW CITY STANDARD 5C-6, AND SAWCUT AT EDGE OF THE BIKE LANE, TO THE SATISFACTION OF DIRECTOR OF PUBLIC WORKS. REFERS TO PRELIMINARY ON-SITE AND OFF-SITE IMPROVEMENT PLANS ACCOMPANYING TENTATIVE MAP FOR STREET SECTION & PROPOSED IMPROVEMENT NOT SHOWN HERE.
- PROJECT COVENANTS SHALL BE RECORDED PER SMC 18.20.050
- A STATEMENT SHALL BE PRESENTED BY THE OWNER IN WRITTEN FORM ACCOMPANYING THE MAP STATING ANY EXISTING RESTRICTIVE COVENANTS, LEASES, RIGHT-OF-WAY, LICENSES AND ENCUMBRANCES AFFECTING THE USE OF THE LAND, SUCH OF THE FOREGOING INFORMATION AS MAY NOT PRACTICABLY BE SHOWN ON THE MAP SHALL BE CONTAINED IN A WRITTEN STATEMENT ACCOMPANYING THE MAP PER SMC 18.20.060.
- ALL DIMENSIONS ARE IN FEET AND DECIMAL THEREOF.
- EXISTING EASEMENT: 10' NORTHERLY POLE LINE EASEMENT PER BOOK 3412 PAGE 15, REMOVED
- SITE AVERAGE SLOPE: 2%

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- STORM DRAIN
- DRAINAGE FLOW DIRECTION
- GRATE INLET- NYLOPLAST DRAIN BASIN
- DRAINAGE DIVIDE
- PERVIOUS AREA
- PERVIOUS PAVEMENT (SEE LANDSCAPE PLAN FOR DETAILS)
- IMPERVIOUS AREA
- BIOTREATMENT CELL

PROPOSED LOT AREA TABLE:

PROPOSED LOTS	SQ. FT.	ACRES
LOT 1 (UNIT 1)	3,709	0.085
LOT 2 (UNIT 2)	3,702	0.085
LOT 3 (UNIT 3)	3,618	0.083
LOT 4 (UNIT 4)	3,628	0.083
TOTAL LOTS (SUBDIVISION BOUNDARY)	14,657	0.336

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area ³ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Treatment area		Self Retaining / Treating		Media Filter				Treatment Credit (s.f.)	Comments					
											Required (s.f.)	Provided (s.f.)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)							
1 ⁵	2	Offsite	Bioretention unlined w/o underdrain	LID	2C Flow-4% Method **	1,779	1,646	0	133	-	66	-	-	-	-	-	-	-	-	-	Bioretention provided onsite-TCM2				
2	2	Onsite	Bioretention unlined w/o underdrain	LID	2C Flow-4% Method **	6,143	3,085	446	2,612	41.91%	123	244	-	-	-	-	-	-	-	-					
3	3	Onsite	Bioretention unlined w/o underdrain	LID	2C Flow-4% Method **	8,514	2,822	2,982	2,710	58.09%	113	197	-	-	-	-	-	-	-	-					
4 ⁵	3	Offsite	Bioretention unlined w/o underdrain	LID	2C Flow-4% Method **	1,961	1,558	0	403	-	62	-	-	-	-	-	-	-	-	-	Bioretention provided onsite-TCM3				
5 ⁵	-	Offsite	Untreated	N/A	N/A	136	136	0	0	-	-	-	-	-	-	-	-	-	-	-	Equivalent area treated as DMA# EQ-1				
EQ-1	3	Offsite	Bioretention unlined w/o underdrain	LID	2C Flow-4% Method **	136	136	0	0	-	5	-	-	-	-	-	-	-	-	-	Equivalent area treated in lieu of DMA#5				
Totals:						18,533	9,247	3,428	5,858		100.00%														

Footnotes:
 1 Per the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required
 2 "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
 3 Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)
 4 Gravel is considered as an impervious surface unless it is part of an infiltration trench.
 5 DMA-1 is offsite and is being treated on TCM2 provided in DMA2.
 6 DMA-4 and DMA-5 are offsite and is being treated on TCM3 provided in DMA3. Equivalent are EQ-1 is treated in lieu of DMA#5.
 7 Treatment type of Self-Treating or Self-Retaining should only be used with landscape based treatment. If previous pavement is proposed for Self-Treating or Retaining, use the Pervious Pavement selection.

TENTATIVE MAP
 AZURE GARDENS SUBDIVISION
 4 SINGLE FAMILY HOMES
 4 LOT SUBDIVISION
 842 SUNNYVALE-SARATOGA RD
 SUNNYVALE, CA 94087

Z S D ARCHITECTS, INC
 ARCHITECTURE PLANNING & INTERIOR DESIGN
 11675 Putter way
 Los Altos CA 94024
 Tel: 408.348.6885
 cel: 408.464.5651
 zengzheng@yahoo.com
 www.zsdarchitects.com

REVISIONS

NO.	DATE	BY	CS/J	DATE	REVISIONS
1	10/04/24	PLANNING PERMITS			
2	10/04/24	PLANNING PERMIT #4			
3	10/04/24	PLANNING PERMIT #3			
4	10/04/24	PLANNING PERMIT #2			
5	10/04/24	PLANNING PERMIT			

RCL STRUCTURAL ENGINEERS, INC
 P: 408.463.6832
 F: 408.463.6832
 info@rclse.com
 Sunnyvale, CA 94097

CHAI SONG LOH, P.E.
 Sole E.I. California Seal No. D
 Sunnyvale, CA 94087

AZURE GARDENS SUBDIVISION
 TENTATIVE MAP-STORM MANAGEMENT
 PLAN
 SHEET
 TM 6
 842 SUNNYVALE-SARATOGA RD
 SUNNYVALE, CALIFORNIA
 Project No: 2018-06 | Designer: RCL | Date: 11-18-19
 PW PROJECT #

OFF-SITE IMPROVEMENT PLANS

AZURE GARDENS SUBDIVISION

842 SUNNYVALE SARATOGA RD.

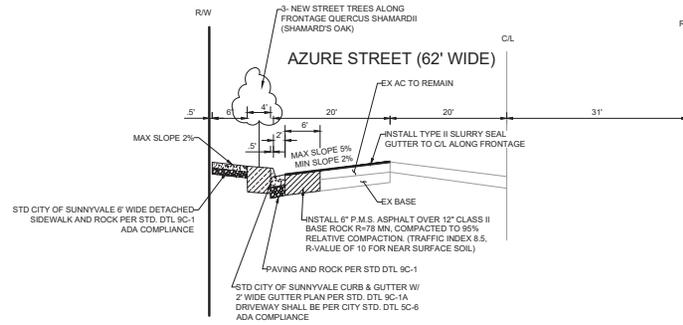
CITY OF SUNNYVALE, CALIFORNIA

ABBREVIATION:

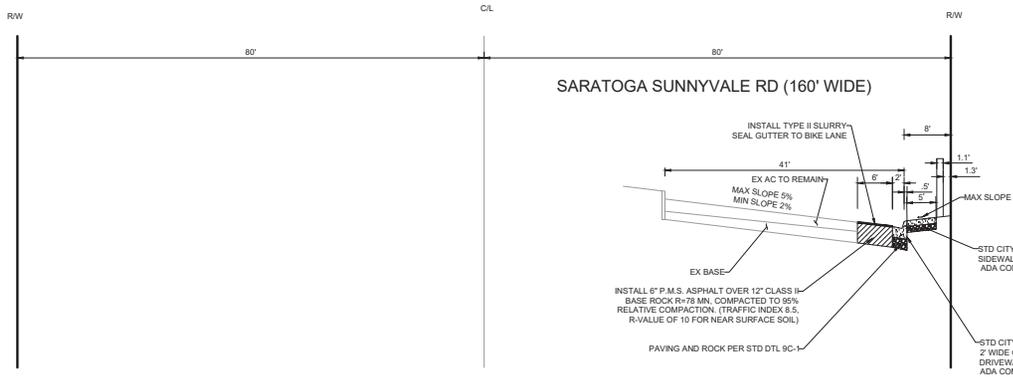
AC	Asphalt Concrete	TC	Top of Curb
ROW	Right of Way	ACP	Reinforced Concrete Pipe
FL	Flow Line	CI	Cast Iron
D/W	Driveway	VCP	Vitrified Clay Pipe
EX	Existing	DIP	Ductile Iron Pipe
S	South	CL	Class
E	East	GM	Gas Meter
W	West	HB	Hose Bib
		MB	Mailbox

LEGEND:

EXISTING	(Symbol Size May Vary)	PROPOSED
---	Property Boundary/Lot Line	---
====	Curb & Gutter	====
----	Storm Drain	----
---	Gas	G
---	Sanitary Sewer Lines	SS
W	Water Main Line	W
---	Overhead Electrical Line	---
---	Underground Electric/Telephone	UEAT
---	Underground Electric	USE
---	Underground Cable/Fiber Optic	ROC
---	Domestic Water Service Line	D
---	Fire Line	FL
---	Swale	---
	Proposed Type II Slurry	-----
	Proposed concrete sidewalk/pvmt.	-----
	Grate Drain (Nyloplast)	⊙
⊙	Sanitary Sewer cleanout	○
⊙	Sanitary Sewer Manhole	⊙
⊙	Spot Elevation	112.00
⊙	Storm Drain Manhole	⊙
⊙ 12"	Tree Trunk / Size	⊙
⊙	Utility Pole	⊙
⊙	Water Valve	⊙
⊙	Fire Hydrant	⊙



TYPICAL AZURE ST. SECTION
(N.T.S.)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S.)

NOTES:

- RE-USE OF EXISTING CITY WATER SERVICE IS NOT ALLOWED AND MUST BE ABANDONED IN PLACE. RE-USE OF EXISTING CITY SANITARY SEWER AND STORM DRAIN SERVICE LINES IS SUBJECT TO CITY'S REVIEW AND APPROVAL. SEPARATE DOMESTIC, IRRIGATION, AND FIRE SERVICES SHALL BE PROVIDED TO THE PROPERTY. ALL LANDSCAPE AND IRRIGATION SYSTEMS LOCATED IN THE PUBLIC PARK STRIP SHALL BE CONNECTED TO THE WATER SYSTEM METERED TO THE PROPERTY OWNER.
- INSTALL AN APPROVED BACKFLOW PREVENTION DEVICE IN THE DISCHARGE SIDE (BEHIND PUBLIC RIGHT-OF-WAY) OF THE DOMESTIC, IRRIGATION, AND FIRE SERVICE METERS.
- INSTALL NEW SANITARY SEWER AND STORM DRAIN MANHOLES AT THE STREET RIGHT-OF-WAY LINES FOR ALL PROPOSED SANITARY SEWER LATERALS AND PROPOSED STORM DRAIN LINES TO BE USED FOR THE PROJECT.
- ALL SANITARY SEWER LATERALS CONNECTING TO THE EXISTING MAIN LINE SHALL BE AT A NEW SANITARY SEWER MANHOLE. ALL STORM DRAIN LATERALS CONNECTING TO THE MAIN SHALL BE AT A NEW STORM DRAIN MANHOLE.
- ANY PROPOSED BIO-RETENTIONS SHALL REMAIN OUT OF THE PUBLIC RIGHT-OF-WAY OF PUBLIC EASEMENTS. ANY PROPOSED BIO-RETENTIONS SHOULD BE LOCATED AWAY FROM AND NOT ADVERSELY IMPACT MAINTENANCE OF CITY STORM OR SANITARY SEWER PIPELINES.
- ALL EXISTING UTILITY LINES (PUBLIC OR PRIVATE) AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THE PROJECT, SHALL BE CAPPED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED.
- NO PRIVATE UTILITIES, STRUCTURES AND BUILDINGS CAN BE WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS.
- ALL EXISTING PUBLIC WATER PIPES AND METERS ON THIS PROPERTY MUST BE ABANDONED. NEW PUBLIC WATER METERS WILL BE INSTALLED IN SIDEWALKS OUTSIDE OF THE PRIVATE PROPERTY. ANY PUBLIC SS OR SD PIPES AND ACCESS STRUCTURES ON PRIVATE PROPERTY MUST EITHER BE ABANDONED OR PRIVATIZED.
- THE PERPETUAL MAINTENANCE OF THE SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTS ON AZURE STREET AND SUNNYVALE SARATOGA ROAD SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

SHEET INDEX:

- OI-1 COVER SHEET
- OI-2 PRELIMINARY IMPROVEMENT PLAN
- OI-3 PRELIMINARY UTILITY PLAN

Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN "NEW" CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-M-38 AND IS TAKEN TO BE N 00°07'25" W.

SITE BENCHMARK:

ELEVATIONS ARE ON CITY OF SUNNYVALE PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75, BENCHMARK ELEVATION = 128.77 (NAVD 88) DATUM.



ZSD ARCHITECTS, INC.

ARCHITECTURE PLANNING ILLUSTRATION

11875 Putter way
Los Altos CA 94024
tel. 408.349.6885
cel. 408.464.5631

henryzheng@yahoo.com

NO.	DATE	BY	CS	DATE	REVISIONS
1	1/24/24	PLANNING PERMIT 5			
2	3/20/24	PLANNING PERMIT 4			
3	10/17/24	PLANNING PERMIT 3			
4	10/17/24	PLANNING PERMIT 2			
5	10/22/24	PLANNING PERMIT			



CHAN SENG LOK, P.E.

RCL STRUCTURAL ENGINEERS, INC.
info@rclse.com
P. 408.885.2888
F. 408.885.2888
11875 Putter Way
Sunnyvale, CA 94087



AZURE GARDENS SUBDIVISION
COVER SHEET
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA
Project No. 2018-06 | Designer: RL | Date: 11-18-19

SHEET
OI-1

PW PROJECT #
DP-19-19

OFF-SITE IMPROVEMENT PLANS

AZURE GARDENS SUBDIVISION

842 SUNNYVALE SARATOGA RD.

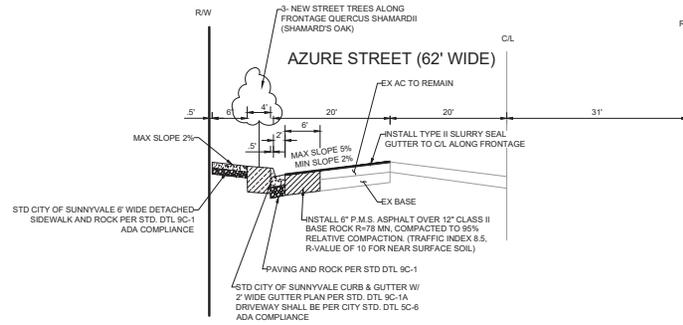
CITY OF SUNNYVALE, CALIFORNIA

ABBREVIATION:

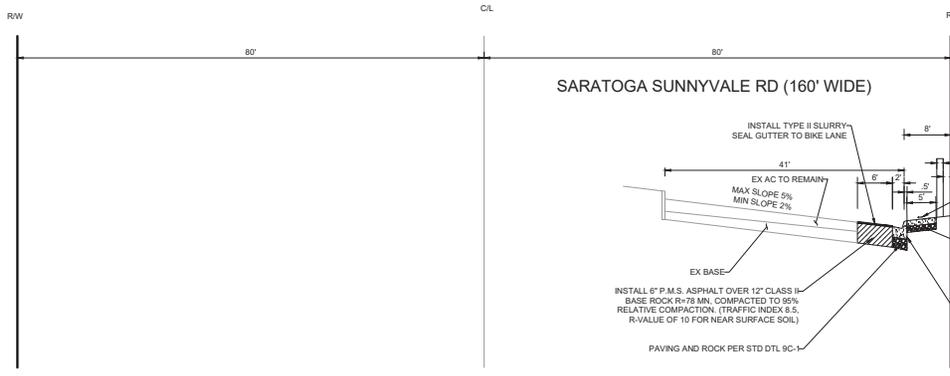
AC	Asphalt Concrete	TC	Top of Curb
ROW	Right of Way	ACP	Reinforced Concrete Pipe
FL	Flow Line	CI	Cast Iron
D/W	Driveway	VCP	Vitrified Clay Pipe
EX	Existing	DIP	Ductile Iron Pipe
S	South	CL	Class
E	East	GM	Gas Meter
W	West	HB	Hose Bib
		MB	Mailbox

LEGEND:

EXISTING	(Symbol Size May Vary)	PROPOSED
---	Property Boundary/Lot Line	---
====	Curb & Gutter	====
----	Curb	----
----	Storm Drain	SD
---	Gas	G
---	Sanitary Sewer Lines	SS
W	Water Main Line	W
---	Overhead Electrical Line	---
---	Underground Electric/Telephone	UEAT
---	Underground Electric	UE
---	Underground Cable/Fiber Optic	ROC
---	Domestic Water Service Line	D
---	Fire Line	FI
---	Swale	---
	Proposed Type II Slurry	-----
	Proposed concrete sidewalk/pvmt.	-----
	Grate Drain (Nyloplast)	⊙
⊙	Sanitary Sewer cleanout	○
⊙	Sanitary Sewer Manhole	⊙
1109.05	Spot Elevation	1122.00
⊙	Storm Drain Manhole	⊙
⊙ 12"	Tree Trunk / Size	⊙
⊙	Utility Pole	⊙
⊙	Water Valve	⊙
⊙	Fire Hydrant	⊙



TYPICAL AZURE ST. SECTION
(N.T.S.)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S.)

NOTES:

- RE-USE OF EXISTING CITY WATER SERVICE IS NOT ALLOWED AND MUST BE ABANDONED IN PLACE. RE-USE OF EXISTING CITY SANITARY SEWER AND STORM DRAIN SERVICE LINES IS SUBJECT TO CITY'S REVIEW AND APPROVAL. SEPARATE DOMESTIC, IRRIGATION, AND FIRE SERVICES SHALL BE PROVIDED TO THE PROPERTY. ALL LANDSCAPE AND IRRIGATION SYSTEMS LOCATED IN THE PUBLIC PARK STRIP SHALL BE CONNECTED TO THE WATER SYSTEM METERED TO THE PROPERTY OWNER.
- INSTALL AN APPROVED BACKFLOW PREVENTION DEVICE IN THE DISCHARGE SIDE (BEHIND PUBLIC RIGHT-OF-WAY) OF THE DOMESTIC, IRRIGATION, AND FIRE SERVICE METERS.
- INSTALL NEW SANITARY SEWER AND STORM DRAIN MANHOLES AT THE STREET RIGHT-OF-WAY LINES FOR ALL PROPOSED SANITARY SEWER LATERALS AND PROPOSED STORM DRAIN LINES TO BE USED FOR THE PROJECT.
- ALL SANITARY SEWER LATERALS CONNECTING TO THE EXISTING MAIN LINE SHALL BE AT A NEW SANITARY SEWER MANHOLE. ALL STORM DRAIN LATERALS CONNECTING TO THE MAIN SHALL BE AT A NEW STORM DRAIN MANHOLE.
- ANY PROPOSED BIO-RETENTIONS SHALL REMAIN OUT OF THE PUBLIC RIGHT-OF-WAY OF PUBLIC EASEMENTS. ANY PROPOSED BIO-RETENTIONS SHOULD BE LOCATED AWAY FROM AND NOT ADVERSELY IMPACT MAINTENANCE OF CITY STORM OR SANITARY SEWER PIPELINES.
- ALL EXISTING UTILITY LINES (PUBLIC OR PRIVATE) AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THE PROJECT, SHALL BE CAPPED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED.
- NO PRIVATE UTILITIES, STRUCTURES AND BUILDINGS CAN BE WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS.
- ALL EXISTING PUBLIC WATER PIPES AND METERS ON THIS PROPERTY MUST BE ABANDONED. NEW PUBLIC WATER METERS WILL BE INSTALLED IN SIDEWALKS OUTSIDE OF THE PRIVATE PROPERTY. ANY PUBLIC SS OR SD PIPES AND ACCESS STRUCTURES ON PRIVATE PROPERTY MUST EITHER BE ABANDONED OR PRIVATIZED.
- THE PERPETUAL MAINTENANCE OF THE SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTS ON AZURE STREET AND SUNNYVALE SARATOGA ROAD SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

SHEET INDEX:

- OI-1 COVER SHEET
- OI-2 PRELIMINARY IMPROVEMENT PLAN
- OI-3 PRELIMINARY UTILITY PLAN

Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN "NEW" CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-M-38 AND IS TAKEN TO BE N 00°07'25" W.

SITE BENCHMARK:

ELEVATIONS ARE ON CITY OF SUNNYVALE PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75, BENCHMARK ELEVATION = 128.77 (NAVD 88) DATUM.



ZSD ARCHITECTS, INC.

ARCHITECTURE PLANNING ILLUSTRATION

11875 Putter way
Los Altos CA 94024
tel. 408.349.6885
cel. 408.464.5631

henryzheng@yahoo.com

NO.	DATE	BY	CS	DATE	REVISIONS
1	10/20/24	REL			PLANNING PERMIT 5
2	10/21/24	REL			PLANNING PERMIT 4
3	10/21/24	REL			PLANNING PERMIT 3
4	10/21/24	REL			PLANNING PERMIT 2
5	10/21/24	REL			PLANNING PERMIT



CHAN SENG LOK, P.E.

NO.	DATE	BY	CS	DATE	REVISIONS
1	10/20/24	REL			PLANNING PERMIT 5
2	10/21/24	REL			PLANNING PERMIT 4
3	10/21/24	REL			PLANNING PERMIT 3
4	10/21/24	REL			PLANNING PERMIT 2
5	10/21/24	REL			PLANNING PERMIT

henryzheng@yahoo.com

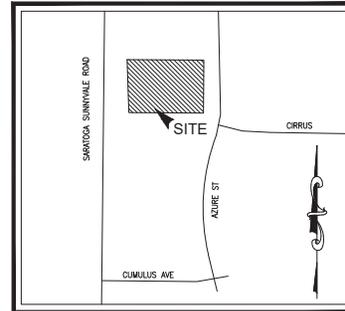
henryzh

PRELIMINARY GRADING AND DRAINAGE PLAN

AZURE GARDENS SUBDIVISION 842 SUNNYVALE SARATOGA RD. CITY OF SUNNYVALE, CALIFORNIA

ABBREVIATION:

AC	Asphalt Concrete	TC	Top of Curb
ROW	Right of Way	RCP	Reinforced Concrete Pipe
FL	Flow Line	CI	Cast Iron
D/W	Driveway	VCP	Vitrified Clay Pipe
EX	Existing	DIP	Ductile Iron Pipe
S	South	CL	Class
E	East	GM	Gas Meter
W	West	HB	Hose Bib
		MB	Mailbox



VICINITY MAP
N.T.S.

PRELIMINARY PLANS
NOT APPROVED FOR CONSTRUCTION

EXISTING		(Symbol Size May Vary)	PROPOSED	
---	Property Boundary/Lot Line	---	---	---
====	Curb & Gutter	====	====	---
====	Curb	====	---	---
---	Storm Drain	---	sd	---
---	Gas	---	G	---
---	Sanitary Sewer Lines	---	ss	---
---	Domestic Water Lines	---	1" w	---
---	Underground Electric And Telephone	---	UGE&T	---
---	Underground Electric	---	UE	---
---	Underground Cable/ Fiber Optic	---	roc	---
---	Fire Line	---	FW	---
---	Swale	---	---	---
---	Proposed concrete sidewalk (Per arch. plans)	---	---	---
---	Grate Drain (Nyloplast)	---	o	---
---	Sanitary Sewer cleanout	---	o	---

SHEET INDEX:

- C1 COVER SHEET
- C2 PRELIMINARY GRADING & DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 STORM WATER MANAGEMENT PLAN
- C5 STORMWATER PERVIOUS PAVEMENT DETAIL
- C6 STORMWATER - EXISTING PERVIOUS/IMPERVIOUS
- C7 STORMWATER - PROPOSED PERVIOUS/IMPERVIOUS



ZSD ARCHITECTS, INC.
ARCHITECTURE PLANNING LANDSCAPE
11675 Putter way
Los Altos CA 94024
tel. 408.349.6885
cell. 408.464.5531
henryzheng@yahoo.com

NO.	DATE	BY	CSU	REVISIONS
1/10/24	PLANNING PERMIT 5	REV		
3/20/24	PLANNING PERMIT 4	REV		
5/01/24	PLANNING PERMIT 3	REV		
7/01/24	PLANNING PERMIT 2	REV		
8/02/24	PLANNING PERMIT	REV		



CHWAN SENGL OH, P.E.

RCL STRUCTURAL
ENGINEERS, INC.
info@rclse.com
P. 408.385.2288
F. 408.385.2288
Sunnyvale, CA 94087



AZURE GARDENS SUBDIVISION
COVER SHEET
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA
Project No.: 2018-06 | Designer: KK | Checker: RL | Date: 11-18-19

SHEET
C1

PW PROJECT #

OFF-SITE IMPROVEMENT NOTES:
OFF-SITE IMPROVEMENT SHOWN ARE FOR REFERENCE ONLY. REFER TO OFF-SITE IMPROVEMENT PLANS.



GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND SHALL OFF FROM THE APPROPRIATE AUTHORITIES.
2. AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAN, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY.
3. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
4. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
5. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
6. COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
7. ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
8. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
9. COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
10. ALL 2" DOMESTIC WATER LINES SCHEDULE 40 PVC RATED FOR USE WITH POTABLE WATER PER NSF STD. 61, WITH 36" MIN. COVER.
11. ALL SANITARY SEWER SERVICE LINE SHALL BE SDR-26 PVC PIPE WITH A MIN. COVER OF 30".
12. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
13. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS AS APPLICABLE. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
14. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
15. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
16. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.



ZSD ARCHITECTS, INC.
ARCHITECTURE PLANNING & INTERIOR DESIGN
11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631

henryzheng@yahoo.com

PROJECT NO. 2018-06

REVISION	DATE	BY	CSJ	REVISIONS
10/03/20	10/03/20	CSJ		PLANNING PERMIT # 4
10/03/20	10/03/20	CSJ		PLANNING PERMIT # 4
10/03/20	10/03/20	CSJ		PLAN CHECK #3
10/03/20	10/03/20	CSJ		PLAN CHECK #2
10/03/20	10/03/20	CSJ		PLAN CHECK #1



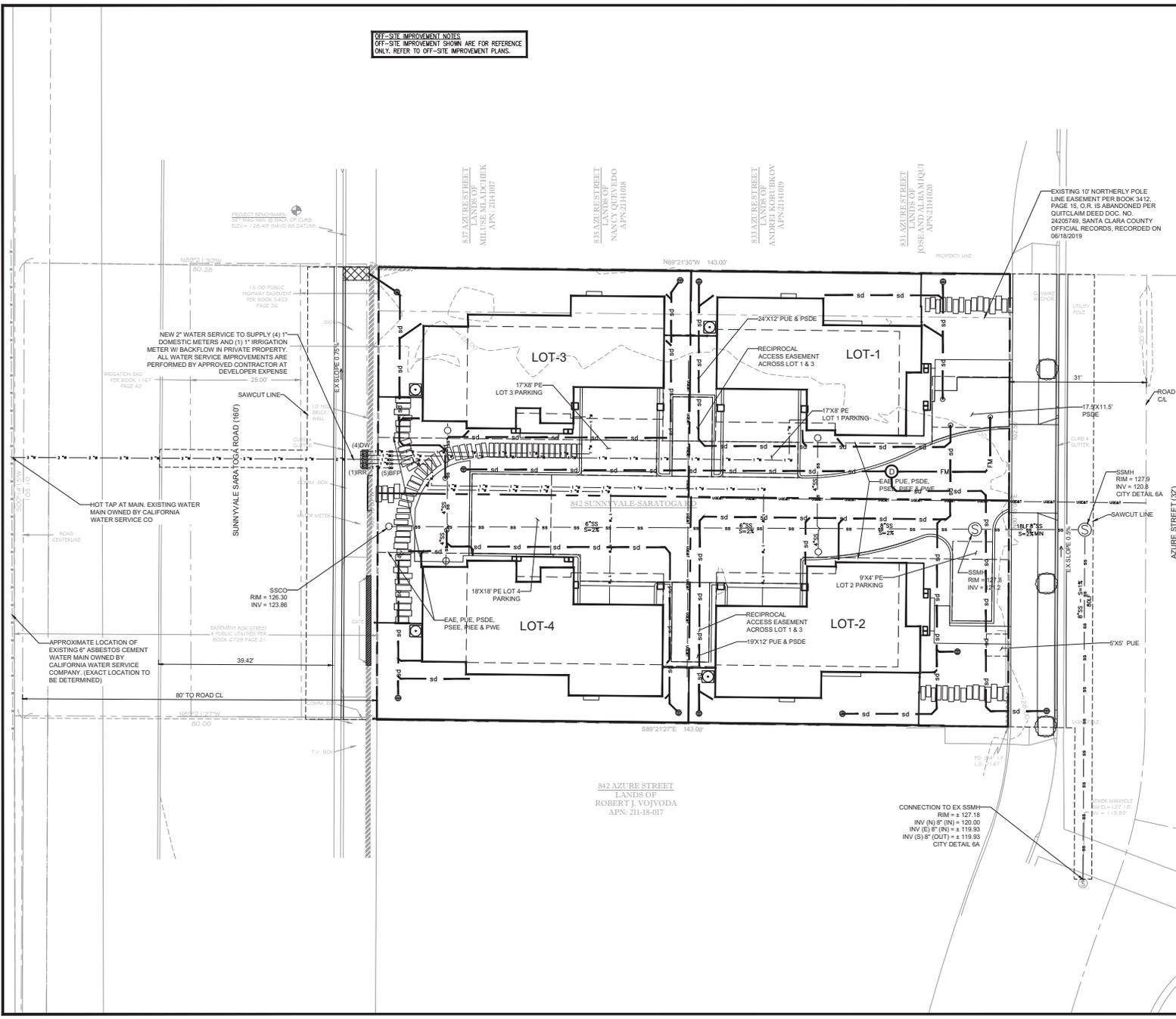
CHAN SONG LOK, P.E.
RCL STRUCTURAL ENGINEERS, INC.
P. 408.488.9932
info@rcl-engineers.com
Sole E.I. California Reg. No. 50144
Sunnyvale, CA 94087



AZURE GARDENS SUBDIVISION
UTILITY PLAN
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA
Project No. 2018-06 | Designer: K.C. | Checked: R.L. | Date: 11-18-19

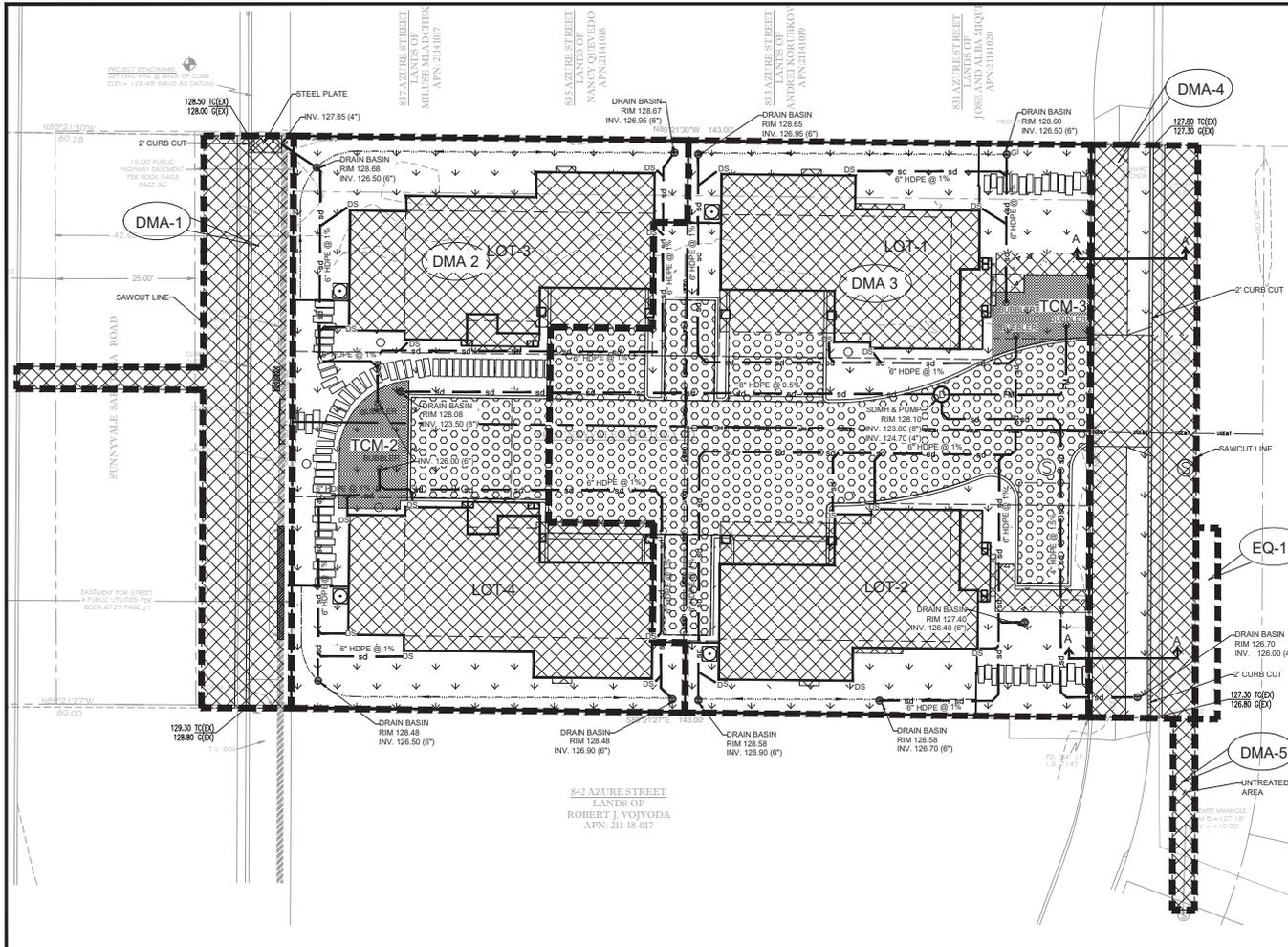
SHEET
C3

PW PROJECT #



PROPOSED LEGEND/ ABBREVIATIONS:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- G GAS LINE
- ss SANITARY SEWER LINES
- W DOMESTIC WATER LINES
- FW FIRE LINE
- sd STORM DRAIN
- UGE UNDERGROUND ELECTRIC
- UGEAT UNDERGROUND ELECTRIC/ TELEPHONE
- FOC UNDERGROUND CABLE/FIBER OPTIC
- EASEMENT LINE
- PWEE PRIVATE INGRESS EGRESS EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PE PRIVATE PARKING EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PWE PRIVATE WATER EASEMENT
- EAE EMERGENCY ACCESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT



OFF-SITE IMPROVEMENT NOTES
OFF-SITE IMPROVEMENT SHOWN ARE FOR REFERENCE ONLY. REFER TO OFF-SITE IMPROVEMENT PLANS.



Stormwater Management Plan Provision C.3 Data Form

Which Projects Must Comply with Stormwater Requirements?
Effective July 1, 2023, the following projects must comply with Stormwater Requirements:

- All development/redevelopment projects (except single-family home projects) that create and/or replace 5,000 sq. ft. or more of impervious surface on the project site must fill out the worksheet and submit it with the development project application.
- All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site must also fill out this worksheet.

These projects are called **Regulated Projects**. The Regulated Project area includes portions of the public right-of-way that are developed or redeveloped as part of the Regulated Project.

Excluded Projects - Interior remodeling projects, routine maintenance or repair projects such as re-roofing and re-surfacing, and smaller single-family homes that are not part of a larger plan of development are NOT required to complete this worksheet.

What is an Impervious Surface?
An impervious surface is a surface covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to, rooftops, walkways, paved patios, driveways, parking lots, storage areas, impervious concrete and asphalt, gravel surfaces, and any other continuous watertight pavement covering.

Previous pavement, underlain by impervious soil and previous storage material (e.g., drain rocks), that infiltrates rainfall at a rate equal to or greater than surrounding ungraded areas (U) that stores and infiltrates the water quality design volume specified in Provision C.3 of the Municipal Regional Stormwater Permit (MRP), is NOT considered an impervious surface.

For More Information
The **SCVSRPFF C.3 Stormwater Handbook** provides more information on selection of site design, source control, and treatment measures for a development project as well as guidance on preparing a stormwater control plan.

1. Project Information
Project Name: AZURE GARDENS SUBDIVISION APN # 211-18-030
Project Address: 842 SUNNVALE-SARATOGA RD, SUNNVALE, CA 94087
Cross Streets: CULIMUS AVE & AZURE ST
Applicant/Developer Name: JUN ZHANG
Project Phases: of Engineer: RCL STRUCTURAL ENGINEERS, INC
Project Type (Check all that apply): New Development Redevelopment
 Private Public Large Detached Single-Family Home
 Residential Commercial Industrial Mixed Use Institutional
 Other - MULTIFAMILY, 4 UNITS

Project Description:

Project Watershed/Receiving Water (creek, river or bay):

SCVSRPFF C.3 Data Form Page 1 of 5 April 2023

3. State Construction General Permit Applicability:
a. Is #2.b. equal to 43,560 SF (1 acre) or more?
 Yes, applicant must obtain coverage under the State Construction General Permit (see https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
 No, applicant does not need coverage under the State Construction General Permit.

4. MRP Provision C.3 Applicability:
a. Is #2.c. equal to 5,000 SF or more, or 10,000 SF for single-family homes?
 Yes, C.3, source control, site design and treatment requirements apply
 No, C.3, source control and site design requirements may apply - check with local agency
b. For redevelopment projects, is #2.c. equal to 50% or more?
 Yes, C.3, requirements (site design and source control, as appropriate, and stormwater treatment) apply to the entire on-site area
 No, C.3, requirements only apply to the impervious area created and/or replaced

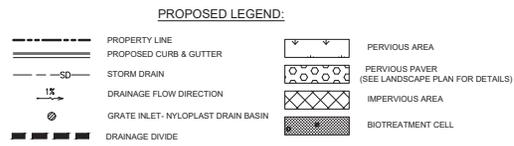
5. Hydromodification Management (HM) Applicability:
a. Does the project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?
 Yes (continue) No - exempt from HM, go to page 3
b. Is the project located in an area of HM applicability (green area) or the HM Applicability Map?
 Yes, the project must implement HM requirements
 No, the project is exempt from HM requirements

SCVSRPFF C.3 Data Form Page 2 of 5 April 2023

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area ⁴ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Treatment area		Self Retaining / Treating		Media Filter				Comments					
											Required (s.f.)	Provided (s.f.)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)		Treatment Credit (s.f.)				
1 ⁵	2	Offsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	1,779	1,646	0	133	-	66	-	-	-	-	-	-	-	-	Bioretention provided onsite-TCM2				
2	2	Onsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	6,143	3,085	446	2,612	41.91%	123	244	-	-	-	-	-	-	-	-				
3	3	Onsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	8,514	2,822	2,982	2,710	58.09%	113	197	-	-	-	-	-	-	-	-				
4 ⁵	3	Offsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	1,961	1,558	0	403	-	62	-	-	-	-	-	-	-	-	Bioretention provided onsite-TCM3				
5 ⁵	-	Untreated	Untreated	NA	N/A	136	136	0	0	-	-	-	-	-	-	-	-	-	-	Equivalent area treated as DMA# EQ-1				
EQ-1	3	Offsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	136	136	0	0	-	5	-	-	-	-	-	-	-	-	Equivalent area treated in lieu of DMA#5				
						Totals:	18,533	9,247	3,428	5,858	100.00%													

Footnotes:
1 Per the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required.
2 "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
3 Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)
4 Gravel is considered as an impervious surface unless it is part of an infiltration trench.
5 DMA-1 is offsite and is being treated on TCM2 provided in DMA2.
6 DMA-4 and DMA-5 are offsite and is being treated on TCM3 provided in DMA3. Equivalent are EQ-1 is treated in lieu of DMA#5.
7 Treatment type of Self-Treating or Self-Retaining should only be used with landscape based treatment. If previous pavement is proposed for Self-Treating or Retaining, use the Pervious Pavement calculation.



ZSD ARCHITECTS, INC
ARCHITECTURE PLANNING LANDSCAPE
11675 Putter way
Los Altos CA 94024
tel. 408.346.6885
cel. 408.464.5651
henryzheng@yahoo.com
www.zsdarch.com

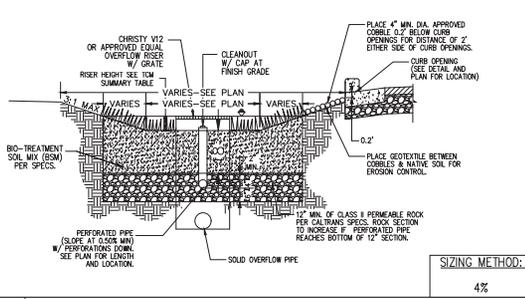
NO.	REVISION	DATE	BY	CSU	DATE
1	10/03/21	PLANNING PERMIT 5			
2	10/03/21	PLANNING PERMIT 4			
3	10/03/21	PLANNING PERMIT 3			
4	10/03/21	PLANNING PERMIT 2			
5	10/03/21	PLANNING PERMIT			

RCL STRUCTURAL ENGINEERS, INC
P. 408.488.9932
F. 408.488.9933
info@rcl-engineers.com
www.rcl-engineers.com
Sunnyvale, CA 94087

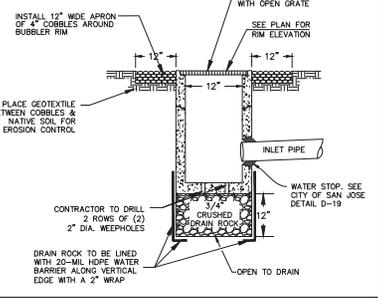


**AZURE GARDENS SUBDIVISION
STORM WATER MANAGEMENT PLAN**
842 SUNNVALE-SARATOGA RD
SUNNVALE, CALIFORNIA
Project No. 2018-06 | Designer: RCL | Date: 11-18-19

SHEET
C4
PW PROJECT #



SIZING METHOD:
4%



STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS OR REMOVED UNWANTED GROWTH EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT: https://cleanwater.sccgov.org/sites/c3/files/EX00P846/FILES/SCVRRPPP_C.PDF

PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.



OPERATION AND MAINTENANCE INFORMATION:

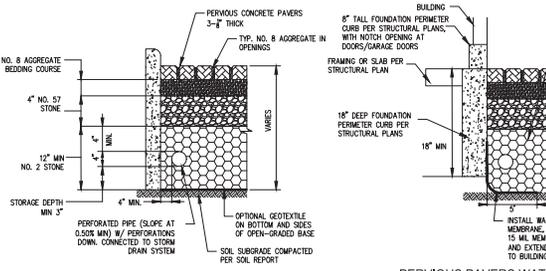
- I. PROPERTY INFORMATION:
I.A. PROPERTY ADDRESS:
842 SUNNIVALE-SARATOGA RD.
SUNNIVALE, CA 94087
APN - 211-18-030
- I.B. PROPERTY OWNER:
SILICON VALLEY ENCHANTED CAPITAL LIMITED LIABILITY COMPANY
- II. RESPONSIBLE PARTY FOR MAINTENANCE:
I.I.A. CONTACT:
JUN ZHANG
- I.I.B. PHONE NUMBER OF CONTACT:
408-348-6885
- I.I.C. EMAIL:
JUNZHANGZ@GMAIL.COM
- I.I.D. ADDRESS:
ATIN JUN ZHANG
756 UNIVERSITY AVE
LOS ALTOS, CA 94022

BIOTREATMENT & FLOW-THROUGH PLANTER NOTES:

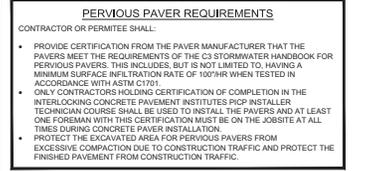
- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS AND SIDE SLOPE.
- SEE GRADING PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 0.2" DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

henryzheng@yahoo.com

5 BIORETENTION BASIN W/O LINER N.T.S. 8 BUBBLER BOX DETAIL N.T.S.



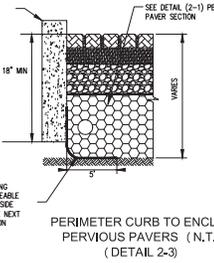
TYPICAL PERMEABLE INTERLOCKING CONCRETE PAVERS DRIVEWAY, PARKING DETAIL (N.T.S.) (DETAIL 2-1)



PERVIOUS PAVER REQUIREMENTS

- CONTRACTOR OR PERMITTEE SHALL:
- PROVIDE CERTIFICATION FROM THE PAVER MANUFACTURER THAT THE PAVERS MEET THE REQUIREMENTS OF THE C3 STORMWATER HANDBOOK FOR PERVIOUS PAVERS. THIS INCLUDES, BUT IS NOT LIMITED TO, HAVING A MINIMUM SURFACE INFILTRATION RATE OF 100% WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
 - ONLY CONTRACTORS HOLDING CERTIFICATION OF COMPLETION IN THE INTERLOCKING CONCRETE PAVEMENT INSTITUTES (ICPI) INSTALLER TECHNICIAN COURSE SHALL BE USED TO INSTALL THE PAVERS AND AT LEAST ONE FOREMAN WITH THIS CERTIFICATION MUST BE ON THE JOBSITE AT ALL TIMES DURING CONCRETE PAVEMENT INSTALLATION.
 - PROTECT THE EXCAVATED AREA FOR PERVIOUS PAVERS FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.

- DETAIL NOTES:
- INSTALL GEOTEXTILE PER SOILS ENGINEER RECOMMENDATION TO ENCLOSE OPEN GRADED BASE. PROVIDE 18" OVERLAP AT SEAMS.
 - THICKNESS OF NO. 2 STONE BELOW UNDER-DRAIN SHALL BE MIN 3" (80 MM).
 - ASTM NO. 8 OR 9 STONE MAY BE SUBSTITUTED FOR NO. 2 STONE.
 - ASTM NO. 8 OR 9 STONE MAY BE USED IN THE PAVERS OPENINGS.

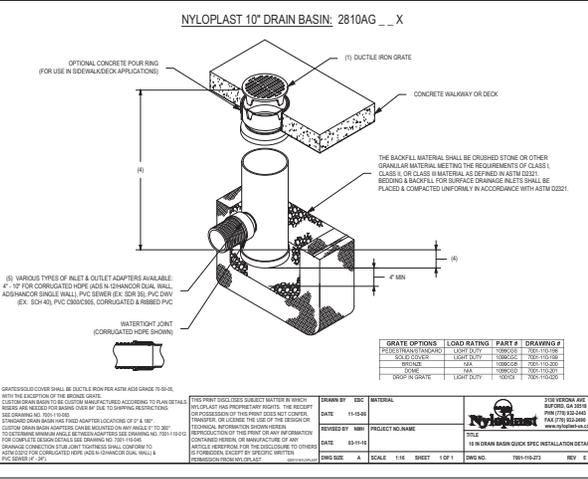


PERIMETER CURB TO ENCLOSE PERVIOUS PAVERS (N.T.S.) (DETAIL 2-3)

2 PERVIOUS PAVEMENT

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR PERVIOUS PAVEMENT		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	CHECK FOR SEDIMENT AND DEBRIS ACCUMULATION. PREVENT SOIL FROM WASHING OR BLOWING INTO THE PAVEMENT. DO NOT STORE SAND, SOIL, MULCH OR OTHER LANDSCAPING MATERIALS ON PERVIOUS PAVEMENT SURFACES.	TWO TO FOUR TIMES ANNUALLY
2	CONDUCT PREVENTATIVE SURFACE CLEANING, USING COMMERCIALY AVAILABLE REGENERATIVE AIR OR VACUUM SWEEPERS, TO REMOVE SEDIMENT AND DEBRIS.	TWO TO FOUR TIMES ANNUALLY
3	INSPECT FOR ANY SIGNS OF PAVEMENT FAILURE. REPAIR ANY SURFACE DEFORMATIONS OR BROKEN PAVERS. REPLACE MISSING JOINT FILLER IN PICIP.	TWO TO FOUR TIMES ANNUALLY
4	CHECK FOR STANDING WATER ON THE PAVEMENT SURFACE WITHIN 30 MINUTES AFTER A STORM EVENT.	TWO TO FOUR TIMES ANNUALLY
5	INSPECT UNDERDRAIN OUTLETS AND CLEANOUTS, PREFERABLY BEFORE THE WET SEASON. REMOVE DEBRIS/SEDIMENT.	TWO TO FOUR TIMES ANNUALLY
6	REMOVE SEDIMENT AND DEBRIS ACCUMULATION ON PERVIOUS PAVEMENT.	TWO TO FOUR TIMES ANNUALLY
7	REMOVE WEEDS. MOW VEGETATION IN GRID PAVEMENTS (SUCH AS TURF BLOCK) AS NEEDED.	AS NEEDED
8	PERFORM RESTORATIVE SURFACE CLEANING WITH A VACUUM SWEEPER, AND/OR RECONSTRUCTION OF PART OF THE PERVIOUS SURFACE TO RESTORE SURFACE PERMEABILITY AS NEEDED. REPLENISH AGGREGATE IN PICIP JOINTS OR GRIDS AS NEEDED AFTER RESTORATIVE SURFACE CLEANING.	AS NEEDED
9	POWER WASHING WITH SIMULTANEOUS VACUUMING ALSO CAN BE USED TO RESTORE SURFACE INFILTRATION TO HIGHLY CLOGGED AREAS OF PERVIOUS CONCRETE, POROUS ASPHALT OR PICIP, BUT IS NOT RECOMMENDED FOR GRID PAVEMENTS.	AS NEEDED
10	INSPECT PERVIOUS PAVING AREA USING THE ATTACHED INSPECTION CHECKLIST.	QUARTERLY OR AS NEEDED

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROPRIATE SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER APPLICABLE.	ANNUALLY, BEFORE THE WET SEASON BEGINS
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2-3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON



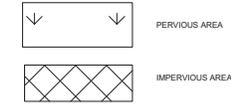
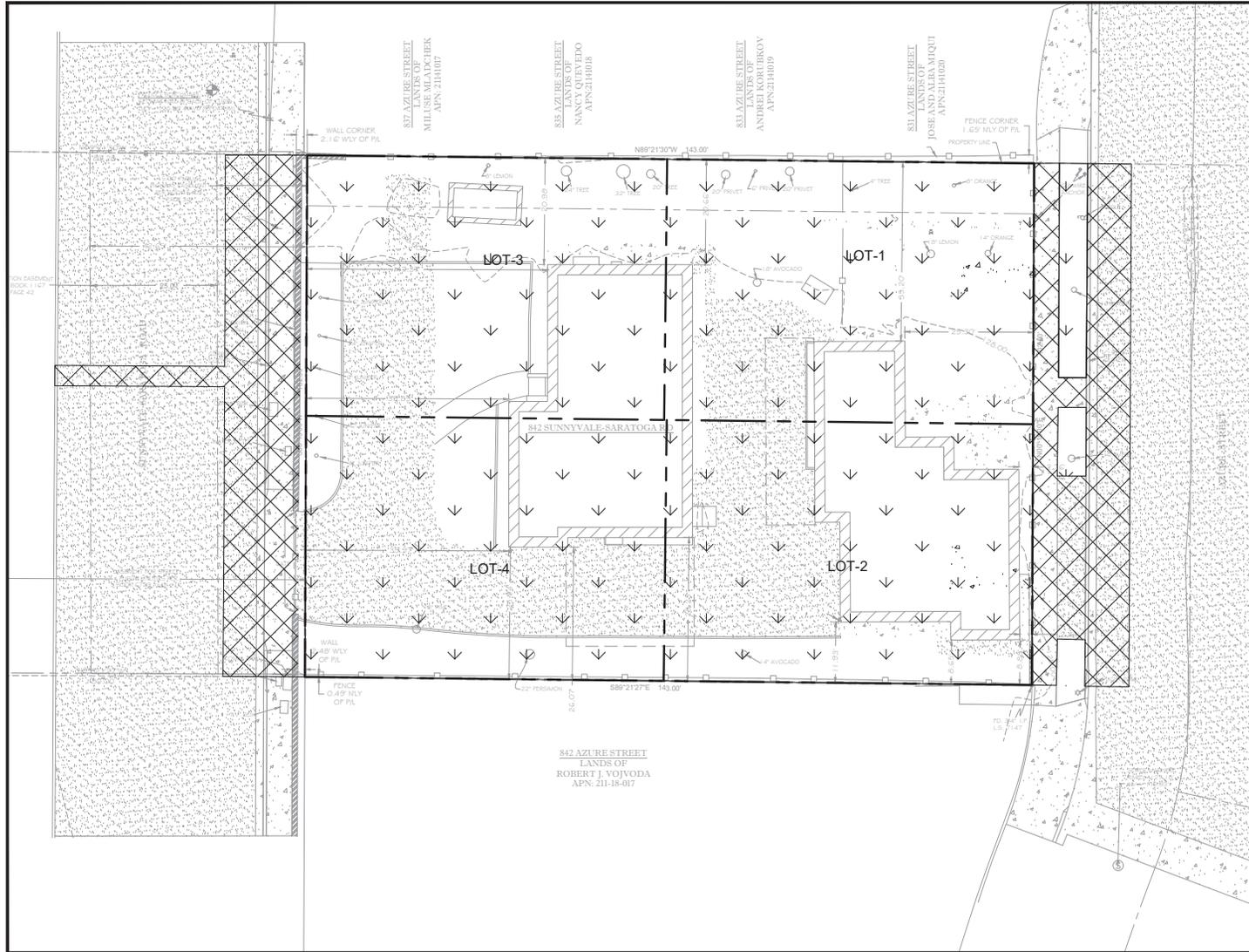
DRY WEIGHT (LBS)	WET WEIGHT (LBS)	WET WEIGHT (KG)	WET WEIGHT (LBS)
100	110	50	110
200	220	100	220
300	330	150	330
400	440	200	440
500	550	250	550
600	660	300	660
700	770	350	770
800	880	400	880
900	990	450	990
1000	1100	500	1100

REVISIONS	NO.	DATE	BY	CSJ
REVISION	1	10/01/24	PLANNING PERMIT 1	
REVISION	2	10/01/24	PLANNING PERMIT 4	
REVISION	3	10/01/24	PLANNING PERMIT 3	
REVISION	4	10/01/24	PLANNING PERMIT 2	
REVISION	5	10/01/24	PLANNING PERMIT	



CLIMATE RESILIENT
AZURE GARDENS SUBDIVISION
STORMWATER - PERVIOUS PAVEMENT DETAILS
SUNNIVALE, CALIFORNIA
Project No. 2018-06 | Designer: K.C. | Date: 11-18-19

SHEET
C5
PW PROJECT #



ZSD ARCHITECTS, INC.
ARCHITECTURE PLANNING & INTERIOR DESIGN

11675 Putter way
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631

henryzheng@yahoo.com

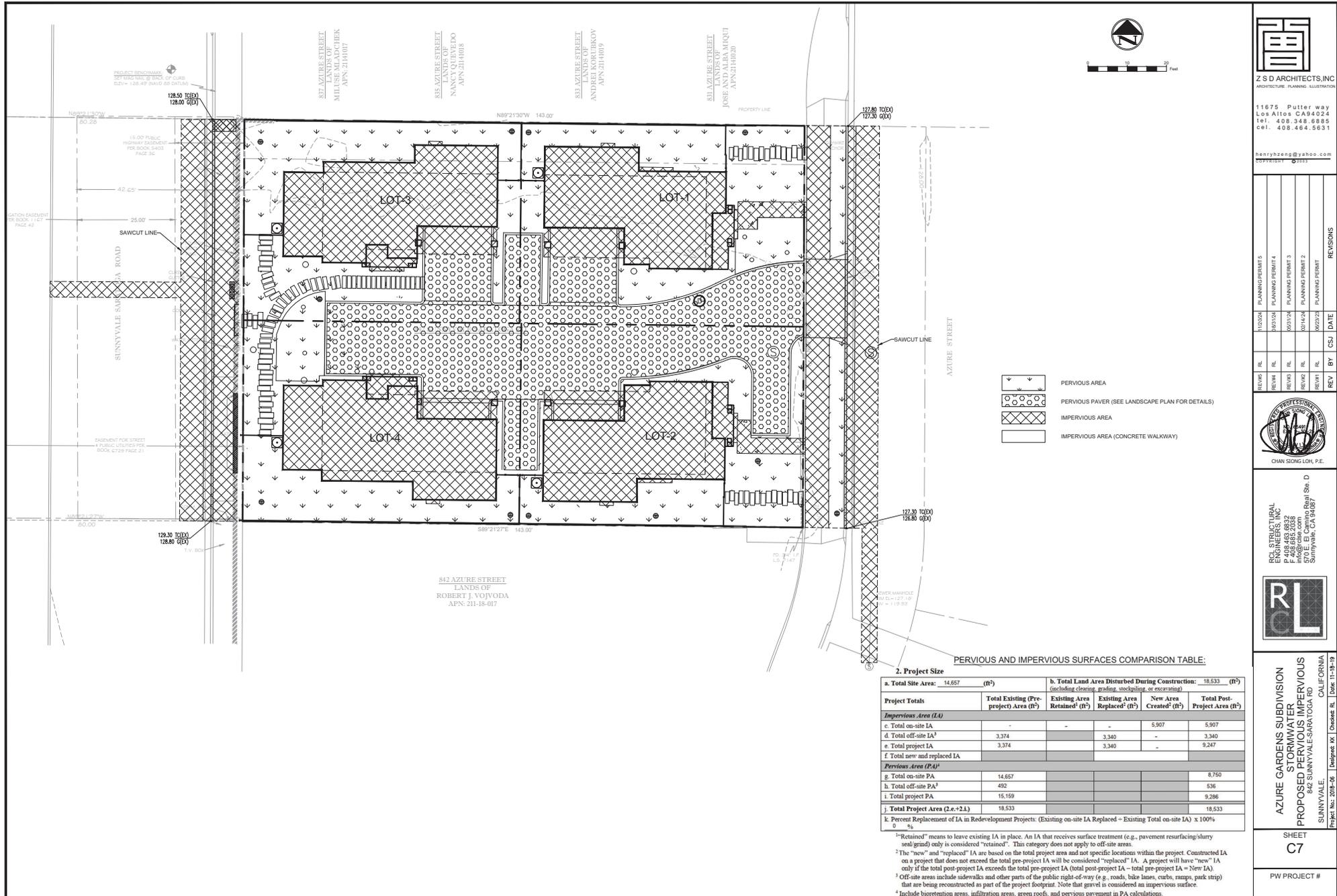
NO.	DATE	BY	CS/J	REVISIONS
1000A	PLANNING PERMIT 5			
1001A	PLANNING PERMIT 4			
1001A	PLANNING PERMIT 3			
1012A	PLANNING PERMIT 2			
1002B	PLANNING PERMIT			

CHAN SIANG LOH, P.E.

RCL STRUCTURAL
ENGINEERS, INC.
P. 408.488.9932
info@rclse.com
501 E. El Camino Real Ste. D
Sunnyvale, CA 94087

AZURE GARDENS SUBDIVISION
STORMWATER
EXISTING PERVIOUS IMPERVIOUS
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA
Project No.: 2018-06 | Designer: K.C. | Checked: R.L. | Date: 11-18-19

SHEET
C6
PW PROJECT #



Z S D ARCHITECTS, INC.
ARCHITECTURE PLANNING & INTERIOR DESIGN

11675 Putter way
Los Altos CA 94024
Tel: 408.348.6885
cel: 408.464.5651

zhengzheng@yahoo.com

NO.	REVISION	DATE	BY	CS/J	REVISIONS
10/01/24	PLANNING PERMIT 5				
09/11/24	PLANNING PERMIT 4				
09/11/24	PLANNING PERMIT 3				
10/12/24	PLANNING PERMIT 2				
10/02/24	PLANNING PERMIT				

CHAI SONG LOH, P.E.

REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEERING

RCL STRUCTURAL ENGINEERS, INC.
P: 408.488.8932
F: 408.488.8933
info@rclse.com
www.rclse.com

REGISTERED PROFESSIONAL ENGINEER
STRUCTURAL ENGINEERING

RL

**AZURE GARDENS SUBDIVISION
STORMWATER
PROPOSED PERVIOUS IMPERVIOUS**

842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CALIFORNIA

Project No.: 2018-06 | Designer: KCL | Checked: RL | Date: 11-18-19

SHEET
C7
PW PROJECT #



WES AROLA LANDSCAPE ARCHITECTURE
WWW.WESAROLA.COM 831.247.9036



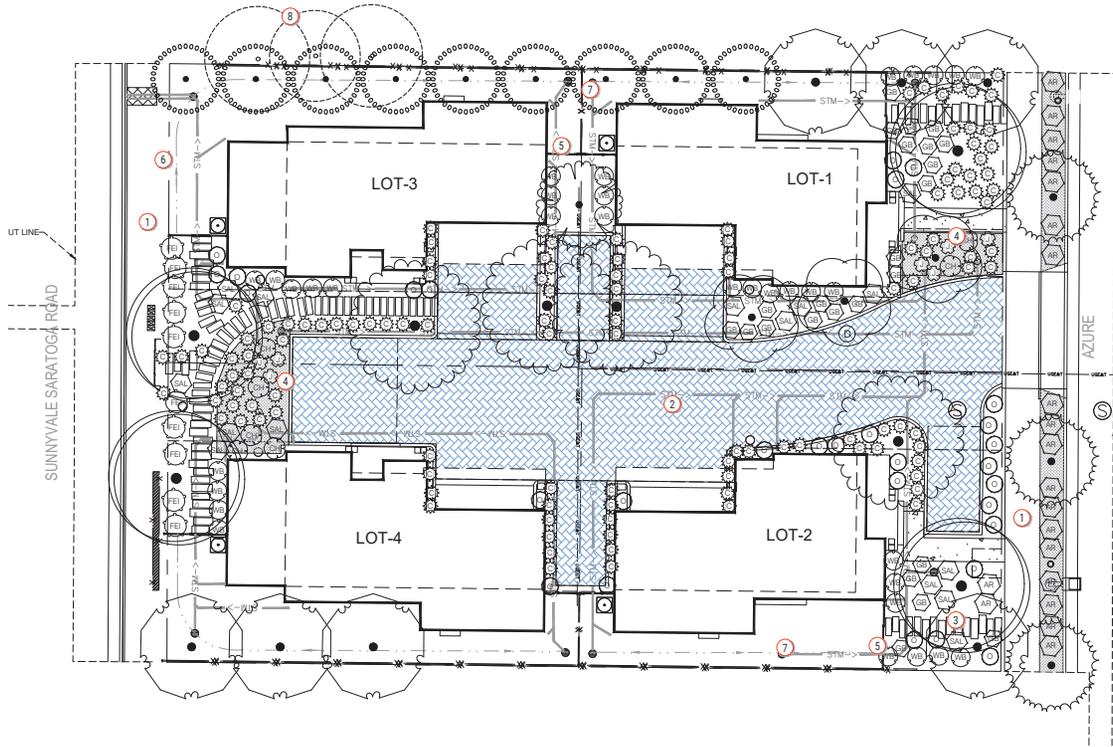
AZURE RESIDENCES
 842 SUNNYVALE SARATOGA ROAD · SUNNYVALE · CA · 94086
 LANDSCAPE PLANS

PLANTING SCHEDULE ALL TREES AND PLANTS PROPOSED ARE WUCOLS = LOW

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
TREES				
	ARB TRE	ARBUTUS UNEDO / STRAWBERRY TREE MULTI-TRUNK	24" BOX	1
	ARB MIY	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE	36" BOX	4
	LAG M40	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE	15 GAL.	3
	OLE WIZ	OLEA EUROPAEA 'WILSONII' / WILSON OLIVE	15 GAL.	9
	PLA COL	PLATANUS X ACERIFOLIA 'COLUMBIA' / COLUMBIA LONDON PLANE TREE - MULTI TRUNK	15 GAL.	4
	QUE SHU	QUERCUS SHUMARDII / SHUMARD OAK	15 GAL.	3
	TRI BRI	TRISTANIA CONFERTA / BRISBANE BOX	24" BOX	7
SHRUBS				
	AR	ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA	1 GAL.	20
	C	CAREX DIVULSA / EUROPEAN GREY SEDGE	1 GAL.	119
	CH	CHONDROPETALUM TECTORIUM 'EL CAMPO' / EL CAMPO SMALL CAPE RUSH	5 GAL.	7
	FEI	FEIJOA SELLOWIANA / PINEAPPLE GUAVA	5 GAL.	10
	J	JUNCUS PATENS / CALIFORNIA GRAY RUSH	1 GAL.	7
	O	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL.	30
	SAL	SALVIA LEUCANTHA / MEXICAN BUSH SAGE	1 GAL.	16
	WB	WESTRINGIA FRUTICOSA 'WES03' TM / BLUE GEM COAST ROSEMARY	5 GAL.	33
	GB	WESTRINGIA FRUTICOSA 'WES04' / GREY BOX™ COAST ROSEMARY	5 GAL.	24

DESIGN KEY

- 1 NEW SIDEWALK - PER CIVIL SHEET 01-2 / INSTALLED PER CITY DETAIL 9C+9C-1
- 2 PERMEABLE PAVER DRIVEWAY - PER CIVIL SHEET C5 / DIAGRAM 2 PERMEABLE PAVER SYSTEM SHOWN IN BLUE TONE
- 3 LANDSCAPE STEPPERS - PRECAST CONCRETE FROM AIRVOL BLOCK OR EQUAL. SET OVER 4" DEPTH OF COMPACTED DECOMPOSED GRANITE
- 4 BIORETENTION BASIN - PER CIVIL SHEET C5 / DIAGRAM 5
- 5 PRIVATE YARD PRIVACY FENCE AND GATE
- 6 PROPERTY LINE
- 7 PRIVATE YARDS WITH BARK MULCH, TYP
- 8 EXISTING TREES TO REMAIN



PLANTING NOTES

CONTRACTOR SHALL SUBMIT LABELED PHOTOS OF ALL PLANT MATERIAL, TREES AND GROUNDCOVERS. PHOTOS SHALL BE OF THE SPECIFIED CONTAINER SIZE. PHOTOS SHALL BE SUBMITTED AS A COMPLETE SUBMITTAL PACKAGE FOR REVIEW AND APPROVAL. INCLUDE PHOTOS OF ANY SUBSTITUTES, CLEARLY LABELED.

ALL PLANTED AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY, GROWING CONDITION, SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING, AND TRIMMING, AND SHALL BE KEPT FREE OF WEEDS AND DEBRIS BY THE OWNER OR PERSON IN POSSESSION OF SUCH AREAS. ANY DAMAGED, DEAD OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAYS FROM THE DATE OF DAMAGE.

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

PLANT SCHEDULE ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK. NOTIFY PROJECT LANDSCAPE ARCHITECT OF ANY MAJOR DISCREPANCIES.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL STRUCTURAL AND HARDSCAPE IMPROVEMENTS SHALL BE CONSTRUCTED AND FINISHED AHEAD OF PLANTING.

ADJUST PLANT MATERIAL AS NECESSARY AROUND UTILITY LOCATIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY MAJOR CONFLICTS OR NECESSARY ADJUSTMENTS.

SOILS SHALL BE AMENDED PER A SOILS FERTILITY ANALYSIS AS EXPLAINED IN THE COMPLIANCE WITH MWELD NOTES ON THE IRRIGATION PLAN. SOIL AMENDMENTS AND PREPARATION SHALL CONFORM TO STATE AB1881 AND LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES.

ALL WORK ON THE IRRIGATION SYSTEM INCLUDING OPERATIONAL TESTS, AND BACKFILLING OF TRENCHES SHALL BE COMPLETED AHEAD OF PLANTING.

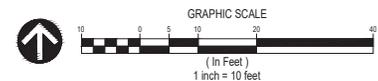
LOCATIONS OF ALL PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLANTING. THE REPRESENTATIVE RESERVES THE RIGHT TO MAKE ANY ADJUSTMENTS, SUBSTITUTIONS, ADDITIONS, AND DELETIONS TO THE PLANT LAYOUT AS WORK PROGRESSES.

ALL GROUNDCOVER SHALL BE TRIANGULARLY SPACED, UNLESS OTHERWISE NOTED.

TREES SHALL BE INSTALLED NO CLOSER THAN TEN (10) FEET FROM UTILITIES.

INSTALL TREE ROOT BARRIERS FOR TREES LOCATED WITHIN 5' OF ANY UNDERGROUND UTILITY - SEE CIVIL ENGINEERS PLANS FOR REFERENCE.

ALL PLANTING AREAS TO RECEIVE 3" THICK LAYER OF STRINGY CEDAR BARK



#	ITEM	DATE

DATE
07.27.2025

LANDSCAPE PLANTING PLAN

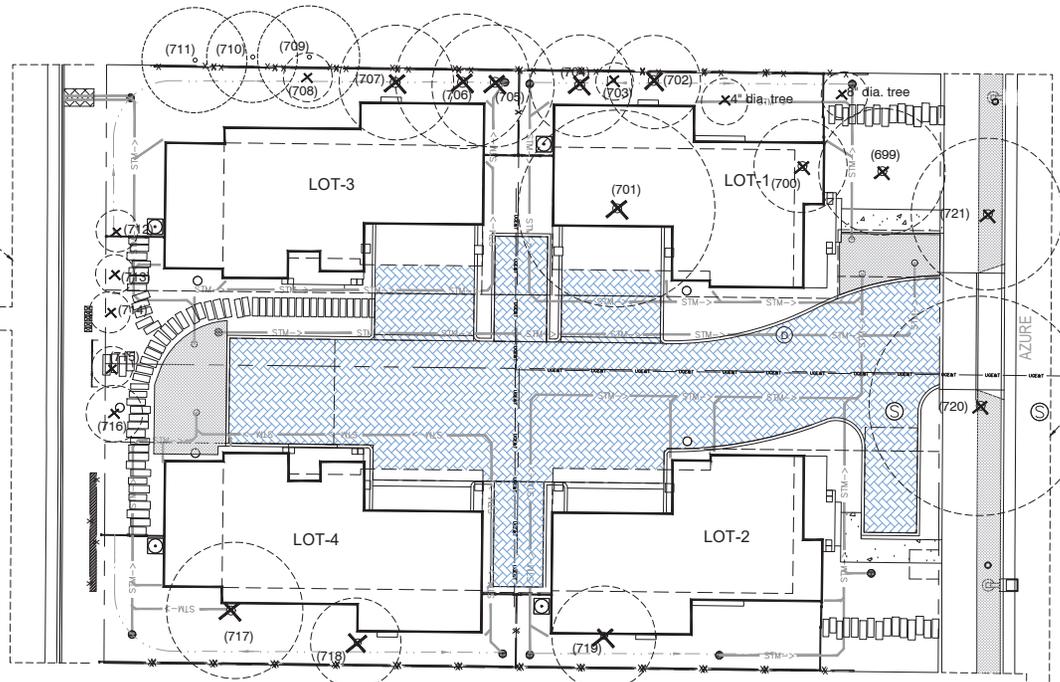
L-1.0



WES AROLA LANDSCAPE ARCHITECTURE
WWW.WESAROLA.COM 831.247.9036



AZURE RESIDENCES
 842 SUNNYVALE SARATOGA ROAD · SUNNYVALE · CA · 94086
 LANDSCAPE PLANS



OFF SITE TREE NOTES - COA BP - 11 AND BP-22

1. ALL OFF-SITE ADJACENT EXISTING TREES TO BE PROTECTED AS PER COA BP-11 AND COA BP-22.
2. OFF SITE EXISTING TREE PROTECTION TO SATISFY ALL MUNICIPAL CODES AND REGULATIONS. VERIFY PRIOR TO CONSTRUCTION.

PLANT SYMBOLS

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

TREE PROTECTION NOTES

PROTECT EXISTING TREES (SHOWN ON PLAN TO REMAIN) BY FOLLOWING THESE INSTRUCTIONS:

1. THE GRADE BETWEEN THE DRIPLINE AND ROOT CROWN OF THE TREES SHALL NOT BE CUT AND CAN BE FILLED BY ONLY 3" EXCEPT WITHIN 5' OF THE TRUNK WHERE THE GRADE SHALL NOT BE DISTURBED.
2. IRRIGATION AND RAIN WATER SHALL BE ABLE TO DRAIN AWAY FROM THE ROOT CROWN OF THE TREE.
3. DO NOT DRIVE OR PARK VEHICLES WITHIN THE DRIPLINE AREA OF THE TREES UNLESS NECESSARY TO DO PAVING CONSTRUCTION. IF THERE HAS BEEN ANY VEHICULAR TRAFFIC WITHIN THE DRIPLINE, THE GROUND SHALL BE SCARIFIED BY HAND TO A DEPTH OF 12" TO DE-COMPACT.
4. DO NOT ALLOW CONTRACTORS TO DUMP WASTE CONCRETE, PLASTER, ETC. UNDER DRIPLINE OF TREES. DO NOT ALLOW PAINTERS OR OTHER TO CLEAN EQUIPMENT UNDER DRIPLINE UPHILL OF EXISTING TREES WHERE NATURAL DRAINAGE WOULD CAUSE WASTE TO RUN WITHIN DRIPLINE. DO NOT ALLOW ANY WASTE TO BE DUMPED IN SOIL ON SITE.
5. TREES SHALL NOT BE PRUNED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR ARBORIST.
6. IF IT IS NECESSARY TO PRUNE OR CUT ANY ROOTS LARGER THAN 1" IN DIAMETER, THE ROOTS SHALL BE CUT CLEANLY AND ROOT SEALED. WHERE EXCAVATION IS REQUIRED AROUND TRUNKS (FOR WALL, PAVING, ECT.) THE REPLACED SOIL SHALL BE 1/3 SOIL AMENDMENT AND 2/3 NATIVE SOIL.
- 7.
8. NO IRRIGATION SHALL BE INSTALLED WITHIN 5'-0" OF THE TRUNK. NO SPRAY SHALL HIT THE TRUNKS OF TREES. ALL TRENCHING WITHIN THE DRIPLINE WILL BE DONE BY HAND. ALL PIPING SHALL RUN PERPENDICULAR TO THE TRUNK WITHIN THE DRIPLINE EXCEPT AT FACE OF CURB, PLANTER, OR PAVING.

TREE REPLACEMENT - SEE SHEET L1.0 FOR REPLACEMENT TREES

- 11 TREES REMOVED: 12"-18" = 11 - 24" BOX REPLACEMENT TREES
- 3 TREES REMOVED: 19"-24" = 3 - 36" BOX REPLACEMENT TREES
- 0 TREES REMOVED: 25" OR GREATER

842 Saratoga Sunnyvale Road Tree Inventory Assessment and Protection April 24, 2018

Appendix B: Tree Inventory and Disposition Tables
Table 1: Tree Inventory Assessment, Disposition

Tree Species	#	Trunk Diameter	Crown Height	Condition	Subsity	Influence Level	Significant
Orange (Other species)	699	8	20	30	Fair	Fair	No
Quercus (Other species)	700	16	25	30	Fair	High	Yes
Arundo (Pine species)	701	18	40	40	Fair	Fair	Yes
Privet (Leguminosae)	702	22	35	20	Fair	High	Yes
Privet (Leguminosae)	703	5	35	5	Poor	Poor	No
Privet (Leguminosae)	704	18	35	25	Fair	High	Yes
Privet (Leguminosae)	705	15	35	25	Fair	High	Yes
Privet (Leguminosae)	706	20	35	25	Fair	High	Yes
Privet (Leguminosae)	707	24	35	25	Fair	High	Yes
Orange (Other species)	708	8	15	10	Poor	High	No
Privet (Leguminosae)	709	15	35	20	Fair	Moderate	Yes
Privet (Leguminosae)	710	10	35	20	Fair	Moderate	No

842 Saratoga Sunnyvale Road Tree Inventory Assessment and Protection April 24, 2018

Tree Species	#	Trunk Diameter	Crown Height	Condition	Subsity	Influence Level	Significant
Privet (Leguminosae)	711	15	35	20	Fair	Poor	Moderate
Juniper (Laricina)	712	9	15	15	Poor	Poor	High
Juniper (Laricina)	713	5	15	15	Poor	Poor	High
Juniper (Laricina)	714	7	15	15	Poor	Poor	High
Juniper (Laricina)	715	6	15	15	Poor	Poor	High
Juniper (Laricina)	716	9	15	15	Poor	Poor	High
Stone pine (Pinus)	717	18	30	30	Fair	Fair	High
Passionfruit (Diospyros)	718	18	30	30	Fair	Poor	High
Arundo (Pine species)	719	15	30	30	Fair	Poor	High
Swivel gum (Eucalyptus)	720	17	35	30	Fair	Fair	Moderate
Heaven pine (Eucalyptus)	721	12	35	30	Fair	Fair	Moderate

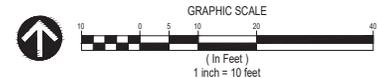
BEFORE EXCAVATING CALL 811
48 HOURS BEFORE ALL
PLANNED WORK OPERATIONS



Know what's below.
Call before you dig.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - info@monarcharborists.com 16 of 30

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - info@monarcharborists.com 17 of 30



#	ITEM	DATE

DATE: 07.27.2025

TREE REMOVAL PLAN

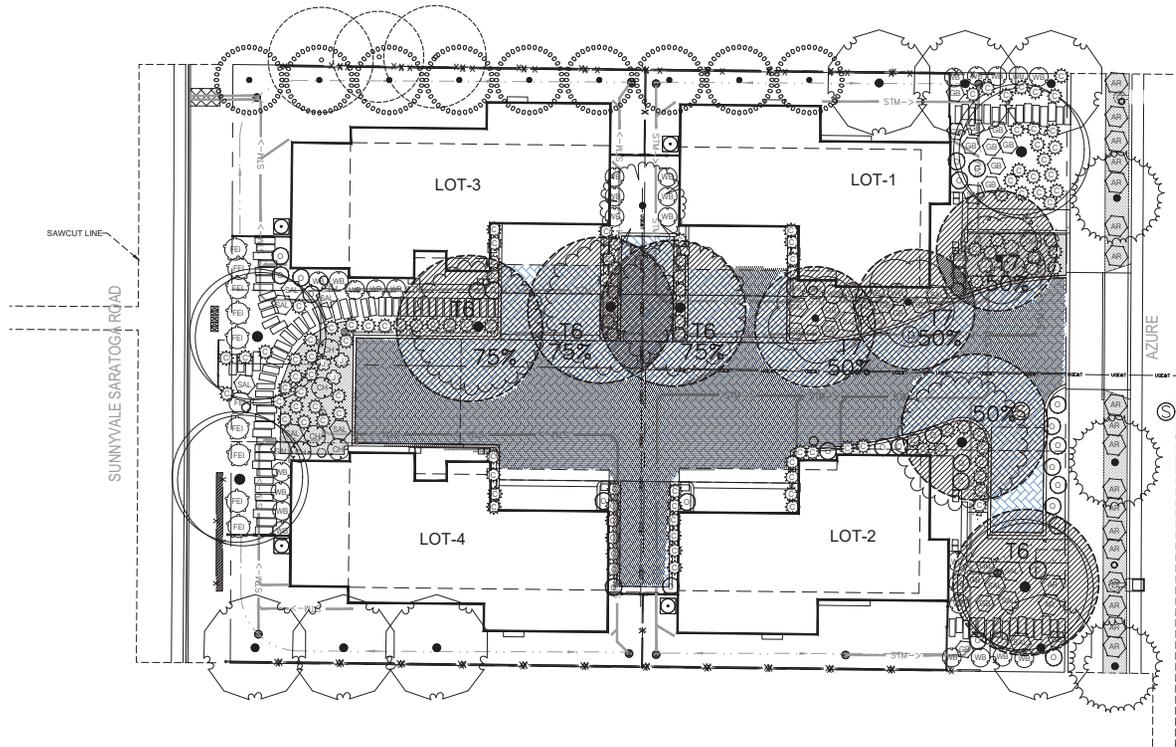
L-1.1



WES AROLA LANDSCAPE ARCHITECTURE
WWW.WESAROLA.COM 831-247-9036



AZURE RESIDENCES
 842 SUNNYVALE SARATOGA ROAD · SUNNYVALE · CA · 94086
 LANDSCAPE PLANS



TREE SHADING LEGEND

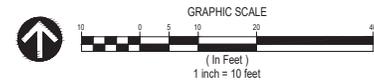
-  TREE CANOPY SHADING -75%
25' DIA. TREE - 1,102 S.F.
-  TREE CANOPY SHADING -50%
20' DIA. TREE - 628 S.F.
-  PARKING PAVING AREA

TREE SHADING CALCULATIONS

KEY	BOTANICAL NAME	TREE DIAMETER	SHADE, S.F.	100% SHADE/S.F.	75% SHADE/S.F.	50% SHADE/S.F.	25% SHADE/S.F.	TOTAL S.F.
16	PISTACIA CHINENSIS (CHINESE PISTACHE)	25' DIA. WITH 400 S.F. FULL SHADE		3 @ 367 s.f.				1,102 s.f.
13	ARBUTUS MARGINALIS (STRAWBERRY TREE)	20' DIA. WITH 315 S.F. FULL SHADE			1 @ 157 s.f.			157 s.f.
17	LARIX PRINCEPIS (COOPER MIRRLE)	20' DIA. WITH 315 S.F. FULL SHADE			3 @ 157 s.f.			471 s.f.
TREE CANOPY 1,730 s.f. TOTAL								

TREE SHADING COVERAGE

Parking lot square footage **3,216 s.f.**
 Tree shading square footage **1,730 s.f.**
 Percentage shading coverage in 15 years **53.8 %**



#	ITEM	DATE

DATE: 07/27/2025

TREE SHADING PLAN

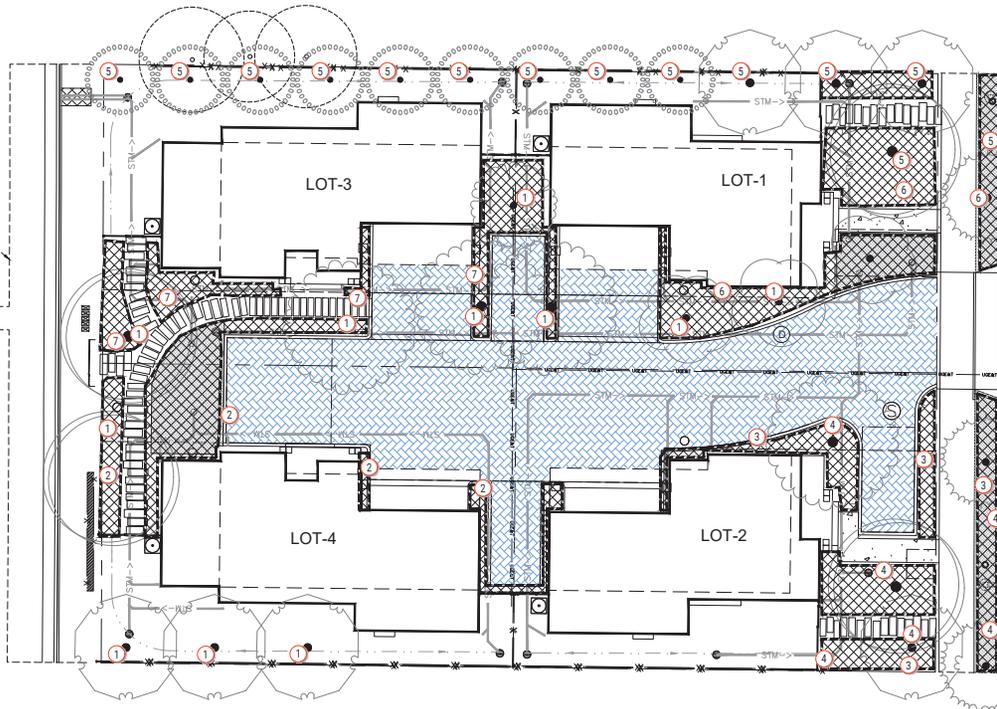
L-1.2



WES AROLA LANDSCAPE ARCHITECTURE
WWW.WESAROLA.COM 831.247.9036



AZURE RESIDENCES
 842 SUNNVALE SARATOGA ROAD · SUNNVALE · CA · 94086
 LANDSCAPE PLANS



IRRIGATION WATER USE CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

TERMINOLOGY	MAWA	=	Maximum Applied Water Allowance
	ET0	=	Reference Evapotranspiration
	0.62	=	Conversion factor (to gallons per square foot)
	ETAF	=	0.55 for Residential Projects
	ETAF	=	0.45 for Non-Residential Projects
	LA	=	Landscaped Area
	ETAF for SLA	=	Additional ET Adjustment Factor for SLA (1.0 - 0.7 = 0.3)
	SLA	=	Portion of Landscape Area identified as Special Landscape Area
	ETAF	=	ET Adjustment Factor (ETAF)

Project Type = residential

Calculate for MAWA

MAWA (LA)	45.3	X	0.55	X	2,747	X	0.62	=	42,434
MAWA (SLA)	45.3	X	0.9	X	0	X	0.62	=	0
								MAWA (Gallons/Year) =	42,434
								ETWU (Gallons/Year) =	17,597

ESTIMATED TOTAL WATER USE (ETWU)

TERMINOLOGY	ETWU	=	Estimated Total Water Usage
	ET0	=	Reference Evapotranspiration
	0.62	=	Conversion factor (to gallons per square foot)
	PF	=	Plant Factor from WUCOLS
	HA	=	Hydrozone Area
	IE	=	Irrigation Efficiency
	SLA	=	Portion of Landscape Area identified as Special Landscape Area

ETWU = $\frac{ET0 \times 0.62 \times (PF \times HA)}{IE} + SLA$

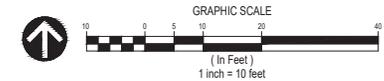
Numerator	Plant Water Use Type	Ref ET	Conversion	PF	HA	Numerator	Denominator	IE	SLA	ETWU
1	BUBBLER	L	45.3	0.62	0.2	110	618	0.8		772
2	AREA FOR DRIP EMITTERS	L	45.3	0.62	0.2	587	3297	0.85		3,879
3	AREA FOR DRIP EMITTERS	L	43	0.62	0.2	631	3364	0.85		3,958
4	BUBBLER	L	43	0.62	0.2	60	320	0.8		400
5	BUBBLER	L	43	0.62	0.2	160	853	0.8		1,066
6	AREA FOR DRIP EMITTERS	L	43	0.62	0.2	778	4148	0.85		4,880
7	AREA FOR DRIP EMITTERS	L	43	0.62	0.2	421	2245	0.85		2,641
									Total ETWU	17,597

#	ITEM	DATE

DATE: 07/27/2025

LANDSCAPE HYDROZONE PLAN

L-2.0





WES AROLA LANDSCAPE ARCHITECTURE
WWW.WESAROLA.COM 831.247.9036



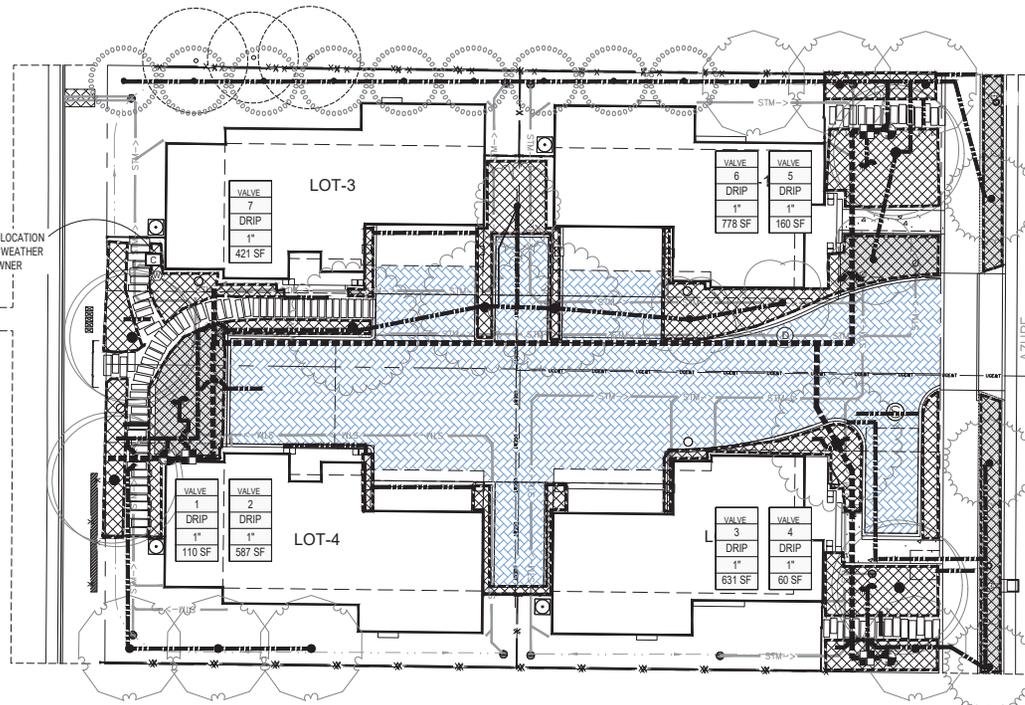
AZURE RESIDENCES
 842 SUNNVALE SARATOGA ROAD · SUNNVALE · CA · 94086
 LANDSCAPE PLANS

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		
■	TORO DZK-700-1 DRIP CONTROL VALVE KIT, WITH 1" IRRITROL 700 ULTRAFLOW INLINE VALVE, TORO Y-FILTER, PRESSURE REGULATOR AND FITTINGS.		
▨	AREA TO RECEIVE DRIP EMITTERS AT EACH PLANT : PROVIDE (1) 1 GAL EMITTER / 1 GALLON PROVIDE (2) 1 GAL EMITTER / 5 GALLON PROVIDE (5) 1 GAL EMITTER / 15 GALLON		
TREES	TREE BUBBLER TORO FB-50-PC 2 BUBBLERS PER TREE		
●	IRRITROL 100P1-S GLOBE PRESSURE REDUCING STEM ELECTRIC REMOTE CONTROL VALVE, 1", GLOBE BODY CONFIGURATION, FLOW CONTROL		
X	MATCO-NORCA 770T PVC WHITE BALL VALVE FOR SCH 40 AND SCH 80 PIPE, THREADED ENDS COMPLY WITH ASTM F1498, WITH 1" HANDLE, SAME SIZE AS MAINLINE. 1/2" - 4".		
■	TYPICAL HOSE BIB		
⊖	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER WITH LOCKING BLANKET		
⊞	IRRITROL TC-9EX-R HYBRID CONTROLLER, 9- STATION, EXTERIOR MODEL, CLIMATE LOGIC COMPATIBLE, AND REMOTE-READY.		
⊗	IRRITROL RS1000 WIRELESS RAIN SENSOR		
○	POINT OF CONNECTION - CONFIRM LOCATION AND SIZE ON CIVIL PLANS		
---	IRRIGATION MAINLINE: PVC SCHEDULE 40 1.5"		
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.		
VALVE TAG	LATERAL SIZING MINIMUM LATERAL SIZE SHALL BE 3/4". SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:		
VALVE #	STATION #	3/4"	0-9 GPM
X	TYPE	1"	9.1-16 GPM
X	SIZE	1 1/4"	16.1-30 GPM
X	HYDROZONE AREA	1 1/2"	31.1-40 GPM
		2"	40.1-60 GPM

IRRIGATION NOTES

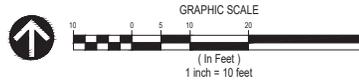
- IRRIGATION PLAN IS DIAGRAMMATIC. FINAL LOCATION OF PIPING WILL BE DETERMINED AT THE TIME OF INSTALLATION. MAINLINE AND LATERALS SHALL BE PLACED IN THE SAME TRENCH WHEN POSSIBLE.
- ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE DRAWING, TO COMPLETE THE WORK, SHALL BE PROVIDED BY THE IRRIGATION CONTRACTOR.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR SPECIFICATIONS.
- ALL PIPING RUNNING UNDER HARDSCAPE/WALLS SHALL BE SLEEVED. MINIMIZE SLEEVING AS MUCH AS POSSIBLE BY LOCATING LATERALS AND MAINLINE IN PLANTING AREAS.
- FOR DRIP IRRIGATION AREAS, CONTRACTOR SHALL INSTALL AIR RELIEF VALVES, OPERATION INDICATORS, AND FLUSH VALVES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE POWER TO CONTROLLERS AND DEDICATE ONE (1) 20 AMP BREAKER FOR EACH CONTROLLER. THE AUTHORIZED REPRESENTATIVE SHALL REVIEW CONTROLLER LOCATIONS PRIOR TO INSTALLATION. 120 VOLT SERVICE AND HOOK-UP TO THE CONTROLLER SHALL BE COMPLETED BY A LICENSED ELECTRICAL CONTRACTOR. THIS COST IS TO BE A PART OF THE LANDSCAPE CONTRACTOR'S BID.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SITE CONDITIONS PRIOR TO BEGINNING WORK. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL SLEEVE UNDER PAVING PER PLANS AND SPECIFICATIONS. ALL SLEEVES UNDER PAVING SHALL RECEIVE IDENTIFYING MARK ON TOP OF CONCRETE. EXTEND ALL SLEEVES 18" BEYOND EDGE OF PAVING.
- SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE. LABEL ALL WIRES W/ WATERPROOF MARKERS AT ALL SPLICES AND VALVE MANIFOLDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL MATERIAL APPEARING ON PLAN.
- ALL EXISTING UTILITIES, WATER LINES AND FIRE HYDRANTS SHALL REMAIN CONNECTED AND IN FULL CONTINUOUS OPERATION DURING AND FOLLOWING ALL CONTRACT WORK.
- CONTRACTOR SHALL NOT INSTALL ANY PLANTING UNTIL THE FOLLOWING ARE COMPLETED. 1. THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL. 2. HYDROSTATIC PRESSURE TESTS SHALL BE PERFORMED ON MAIN AND LATERAL LINES. 3. ALL ZONES SHALL PASS A COVERAGE TEST. 4. CONTROLLERS SHALL BE FULLY OPERATIONAL.



CONFIRM PREFERRED LOCATION OF CONTROLLER AND WEATHER SENSOR WITH OWNER

SUNNVALE SARATOGA ROAD

AZURE



#	ITEM	DATE

DATE: 07.27.2025

LANDSCAPE IRRIGATION PLAN

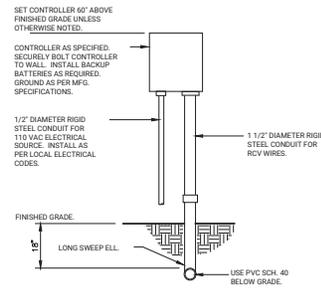
L-2.1



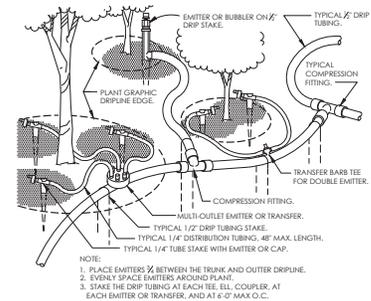
WES AROLA LANDSCAPE ARCHITECTURE
WWW.WESAROLA.COM 831.247.9036



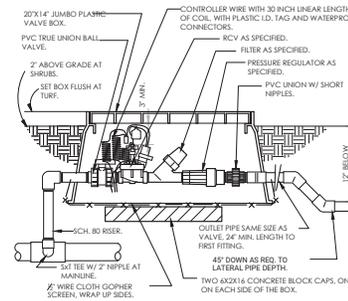
842 SUNNVALE SARATOGA ROAD · SUNNVALE · CA · 94086
AZURE RESIDENCES
LANDSCAPE PLANS



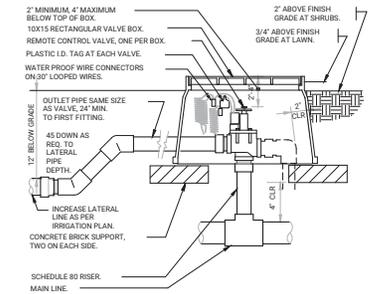
3 WALL MOUNT CONTROLLER
1" = 1'-0"
FX-R-FX-COM-07



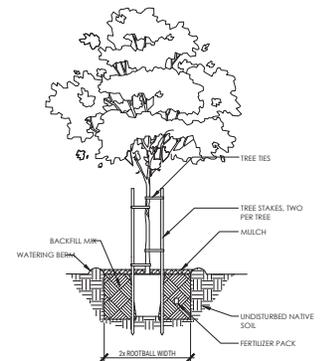
4 TYPICAL DRIP TUBING
1 1/2" = 1'-0"
FX-R-FX-DRP-01



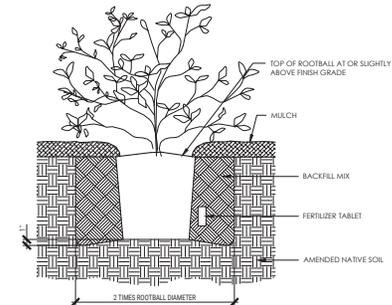
2 1" DRIP VALVE/FILTER/REGULATOR
1 1/2" = 1'-0"
FX-R-FX-DRP-12



5 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"
FX-R-FX-RCV-05



1 TREE PLANTING
1/2" = 1'-0"
329943-30



6 SHRUB PLANTING
1 1/2" = 1'-0"
329933-03

#	ITEM	DATE

DATE: 07.27.2025

LANDSCAPE CONSTRUCTION DETAILS

L-3.0