



1130 KIFER ROAD SUNNYVALE, CA

PLANNING APPLICATION SUBMITTAL

OCTOBER 17, 2016

UPDATED NOVEMBER 14, 2016



STUDIO  
T SQUARE

: Architecture  
: Planning  
: Urban Design

: 304 12th Street, Suite 2A  
: Oakland, California 94607  
: (510) 451 - 2850

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KIFER SITE  
Sunnyvale, California

GREYSTAR

Sheet Title:

Job No. 13031  
Date:  
Scale:

Sheet No:

# PROJECT SUMMARY

The proposed project is located within the Lawrence Station Area Plan in Sunnyvale, CA, a unique transit-oriented development opportunity area within the Silicon Valley.

The site is situated two blocks north of the Caltrain tracks, and the Lawrence Station Area Plan envisions a future that is a departure from the existing pattern of low scale, large footprint buildings and parking lots. Reflecting the overall trend toward higher-density developments for office and R&D in Silicon Valley and increasing land values, this area will be allowed and encouraged to naturally transition to a more dense urban scale. Over time, the area north of Caltrain tracks will become a regional and local urban hub, job center, and new neighborhood for urban living, served by a diverse multi-modal circulation system.

The proposed 5-story 520-unit apartment project with a density of 65 du/ac on a 7.99 acre site, a building height up to 65', structured parking, and retail along portions of Kifer Road and an internal publically-accessible street, will be a first in the area to implement this vision of urban living in the Lawrence Station Area.

The publically-accessible mid-block connection through the site is very visible from Kifer Road and the corner retail plaza. It contains retail parking and bike lanes, and also serves as an element that will draw people into the site.

Residential lobbies, leasing office, and several community amenity spaces will activate the central connection. Residents will use this central connection as vehicular access to the garages, and pedestrians and bicycles are anticipated to eventually use the link to go to and from the Lawrence Station.

In the heart of the project is a central green space or park of 15,000 square feet completely open to the public as well as the new community. It is designed to be safe and inviting, with residential units facing into the park.

Residential parking is divided into two multi-story garages, surrounded by units and not visible. Each garage is a 5-story concrete building with a total of approximately 800 parking spaces. We are applying a 1.0 parking ratio per bedroom plus 10% of unit count for guests, and 4 spaces per 1,000 sf of general retail.

## PROJECT INFORMATION:

**Site Address:**  
1130 Kifer Road, Sunnyvale, CA

**Site Area:**  
7.99 Acres

**Current Zoning:**  
Refer to Lawrence Station Area Plan

**Current Use:**  
Commercial

## PROJECT TEAM:

**Developer:**  
Greystar  
450 Sansome St. Suite 500  
San Francisco, CA 94111  
Randy Ackerman  
Senior Development Director  
Contact: Dan Deibel  
650.486.1907  
[ddeibel@greystar.com](mailto:ddeibel@greystar.com)

**Architect / Planner:**  
Studio T-SQ., Inc.  
304 12th Street, Suite 2A  
Oakland, CA 94607  
Contact: Chek F. Tang AIA,  
NCARB, Principal  
510.451.2850

**Landscape Architect:**  
ima design  
2201 Broadway, Suite 404  
Oakland, CA 94612  
Contact: Ann Cutner  
Principal  
510.353.3952

**Proposed Use:**  
Mixed-Use Multi-Family Residential

**Proposed Number of Residential Units:**  
520

**Proposed Density:**  
65 du/ac

**Building Height:**  
65'-0" max

**Civil Engineer:**  
BKF Engineers  
1650 Technology Drive, Suite 650  
San Jose, CA 95110  
Contact: Isaac Kontorovsky, PE,  
QSD/QSP, Project Manager  
408.467.9187

**Arborist:**  
HortScience, Inc.  
325 Ray Street,  
Pleasanton, CA 94566  
Contact: Carol Randisi  
Horticultural Consultant  
925.484.0211

## PHASE I

5-Story Apartments (Type III) with 5-Story On-Grade Garage

4.76 acres

| UNITS  | Quan.      | Unit G.S.F. | Unit N.S.F. | Unit Mix    | Rentable S.F.  | Pkg Ratio    | Parking Required |
|--|------------|-------------|-------------|-------------|----------------|--------------|------------------|
| 1B.1 (1-BR typical)                                | 77         | 819         | 745         |             | 57,365         |              |                  |
| 1B.2 (1-BR L4 and L5)                              | 4          | 785         | 716         |             | 2,864          |              |                  |
| 1B.3 (1-BR with bay)                               | 39         | 832         | 757         |             | 29,523         |              |                  |
| 1C (Inside Corner)                                 | 50         | 722         | 643         |             | 32,150         |              |                  |
|  | <b>170</b> |             |             | <b>58%</b>  |                | <b>1</b>     | <b>170</b>       |
| 2A.1 (2-BR typical)                                | 21         | 1,245       | 1,152       |             | 24,192         |              |                  |
| 2A.2 (2-BR L4 and L5)                              | 18         | 1,186       | 1,100       |             | 19,800         |              |                  |
| 2A.3 (2-BR with bay)                               | 17         | 1,259       | 1,164       |             | 19,788         |              |                  |
| 2A.4 (2-BR with wide bay)                          | 28         | 1,274       | 1,180       |             | 33,040         |              |                  |
| 2B (2-BR corner)                                   | 37         | 1,190       | 1,095       |             | 40,515         |              |                  |
|  | <b>121</b> |             |             | <b>42%</b>  |                | <b>2.0</b>   | <b>242</b>       |
| <b>Total units</b>                                 | <b>291</b> |             | <b>891</b>  | <b>100%</b> | <b>259,237</b> | <b>1.4</b>   | <b>412</b>       |
| Leasing Office                                     |            |             |             |             | 1,250          |              |                  |
| Mail and Packages                                  |            |             |             |             | 750            |              |                  |
| WiFi Café  |            |             |             |             | 1,050          |              |                  |
| Club Room  |            |             |             |             | 1,530          |              |                  |
| Fitness Center and Yoga                            |            |             |             |             | 1,500          |              |                  |
| Roof Deck  |            |             |             |             | 2,200          |              |                  |
| Circulation (All Levels) approx                    |            |             |             |             | 50,000         |              |                  |
|  |            |             |             |             | <b>58,280</b>  | <b>0.1</b>   | <b>29</b>        |
| <b>Subtotal Net Area Residential and Amenities</b> |            |             |             |             | <b>317,517</b> |              | <b>441</b>       |
| <b>RETAIL</b>                                      |            |             |             |             | <b>4,200</b>   | <b>0.004</b> | <b>17</b>        |
| <b>Total Net Area</b>                              |            |             |             |             | <b>321,717</b> |              |                  |
| <b>Total Parking Required</b>                      |            |             |             |             |                |              | <b>458</b>       |

| PARKING PROVIDED  | H/C stall (incl) |                 | Parking Provided   |
|---|------------------|-----------------|--------------------|
| Resident Parking in Garage                                | 8                | 1.4             | 412                |
| Shared and Guest Parking in Garage                        | 2                |                 | 29                 |
| Commercial Parking in Garage                              | 1                |                 | 8                  |
| <b>Parking Total in Garage (on 5.2 parking levels)</b>    |                  |                 | <b>449</b>         |
| Commercial Parking along New Street                       |                  |                 | 9                  |
| <b>TOTAL PHASE I: Residential + Retail Parking</b>        |                  |                 | <b>458</b>         |
| <b>BIKE PARKING PROVIDED</b>                              | <b>Class I</b>   | <b>Class II</b> | <b>Total Bikes</b> |
| Resident Bicycles   | 73               | 20              | 93                 |
| Retail Bicycles (4,200 sf retail, less than 30 employees) | 1                | 1               | 2                  |
| <b>Total Bicycle Parking in Phase I</b>                   |                  |                 | <b>95</b>          |

## Phase II

5-Story Apartments (Type III) with 4-Story On-Grade Garage

3.23 acres

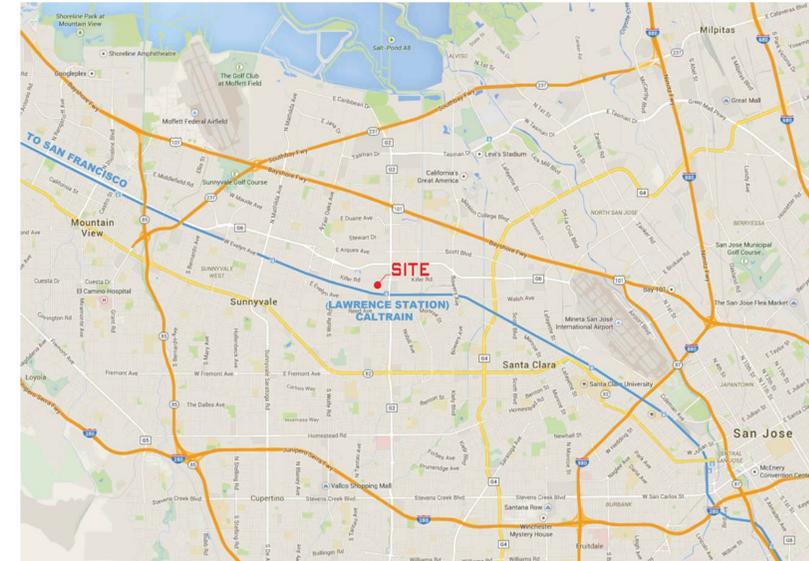
| UNITS  | Quan.      | Unit G.S.F. | Unit N.S.F. | Unit Mix    | Rentable S.F.  | Pkg Ratio    | Parking Required |
|--|------------|-------------|-------------|-------------|----------------|--------------|------------------|
| 1A (shallow unit)                                  | 15         | 820         | 767         |             | 11,505         |              |                  |
| 1B.1 (1-BR typical)                                | 44         | 819         | 745         |             | 32,780         |              |                  |
| 1B.2 (1-BR L4 and L5)                              | 38         | 785         | 716         |             | 27,208         |              |                  |
| 1B.3 (1-BR with bay)                               | 40         | 832         | 757         |             | 30,280         |              |                  |
| 1C (Inside Corner)                                 | 19         | 722         | 643         |             | 12,217         |              |                  |
|  | <b>156</b> |             |             | <b>68%</b>  |                | <b>1.0</b>   | <b>156</b>       |
| 2A.1 (2-BR typical)                                | 3          | 1,245       | 1,152       |             | 3,456          |              |                  |
| 2A.2 (2-BR L4 and L5)                              | 26         | 1,186       | 1,100       |             | 28,600         |              |                  |
| 2A.3 (2-BR with bay)                               | 27         | 1,259       | 1,164       |             | 31,428         |              |                  |
| 2B (2-BR corner)                                   | 10         | 1,190       | 1,095       |             | 10,950         |              |                  |
| 2C (2-BR inside corner)                            | 4          | 1,206       | 1,135       |             | 4,540          |              |                  |
| 2E (2-BR outside corner)                           | 3          | 1,268       | 1,200       |             | 3,600          |              |                  |
|  | <b>73</b>  |             |             | <b>32%</b>  |                | <b>2.0</b>   | <b>146</b>       |
| <b>Total units</b>                                 | <b>229</b> |             | <b>858</b>  | <b>100%</b> | <b>196,564</b> | <b>1.3</b>   | <b>302</b>       |
| Leasing Office                                     |            |             |             |             | 1,400          |              |                  |
| Mail and Packages                                  |            |             |             |             | 750            |              |                  |
| WiFi Café  |            |             |             |             | 600            |              |                  |
| Club Room  |            |             |             |             | 1,760          |              |                  |
| Fitness Center and Yoga                            |            |             |             |             | 1,660          |              |                  |
| Business Center                                    |            |             |             |             | 760            |              |                  |
| Bike Shop  |            |             |             |             | 400            |              |                  |
| Pet Spa  |            |             |             |             | 200            |              |                  |
| Roof Deck  |            |             |             |             | 2,200          |              |                  |
| Circulation (All Levels)                           |            |             |             |             | 50,000         |              |                  |
|  |            |             |             |             | <b>59,730</b>  | <b>0.1</b>   | <b>23</b>        |
| <b>Subtotal Net Area Residential and Amenities</b> |            |             |             |             | <b>256,294</b> |              | <b>325</b>       |
| <b>RETAIL</b>                                      |            |             |             |             | <b>3,200</b>   | <b>0.004</b> | <b>13</b>        |
| <b>Total Net Area</b>                              |            |             |             |             | <b>259,494</b> |              |                  |
| <b>Total Parking Required</b>                      |            |             |             |             |                |              | <b>338</b>       |

| PARKING PROVIDED                                    | H/C stall (incl) |     | Parking Provided |
|---|------------------|-----|------------------|
| Resident Parking in garage                          | 6                | 1.3 | 302              |
| Shared and Guest Parking in Garage                  | 2                |     | 23               |
| Commercial Parking in Garage                        | 1                |     | 4                |
| <b>Parking Total in Garage (4.5 parking levels)</b> |                  |     | <b>329</b>       |
| Commercial parking along new street                 |                  |     | 9                |
| <b>TOTAL PHASE II: Residential + Retail Parking</b> |                  |     | <b>338</b>       |

| BIKE PARKING PROVIDED                                     | Class I | Class II | Total Bikes |
|---|---------|----------|-------------|
| Resident Bicycles   | 57      | 15       | 72          |
| Retail Bicycles (3,200 sf retail, less than 30 employees) | 1       | 1        | 2           |
| <b>Total Bicycle Parking in Phase I</b>                   |         |          | <b>74</b>   |

## PHASE I & PHASE II

| DENSITY                    | Units                       | du/ac Density |
|----------------------------|-----------------------------|---------------|
| Phase I Residential Units  | 291                         |               |
| Phase II Residential Units | 229                         |               |
| <b>TOTAL</b>               | <b>7.99 acres site area</b> | <b>520</b>    |
|                            |                             | <b>65</b>     |



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|      |  |
|------|--|
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: Architecture  
: Planning  
: Urban Design

: 304 12th Street, Suite 2A  
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KIFER SITE  
Sunnyvale, California

GREYSTAR

Sheet Title:

PROJECT  
SUMMARY

Job No. 13031  
Date: 11/14/2016  
Scale:

Sheet No:

G1.0



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**KIFER SITE**  
Sunnyvale, California

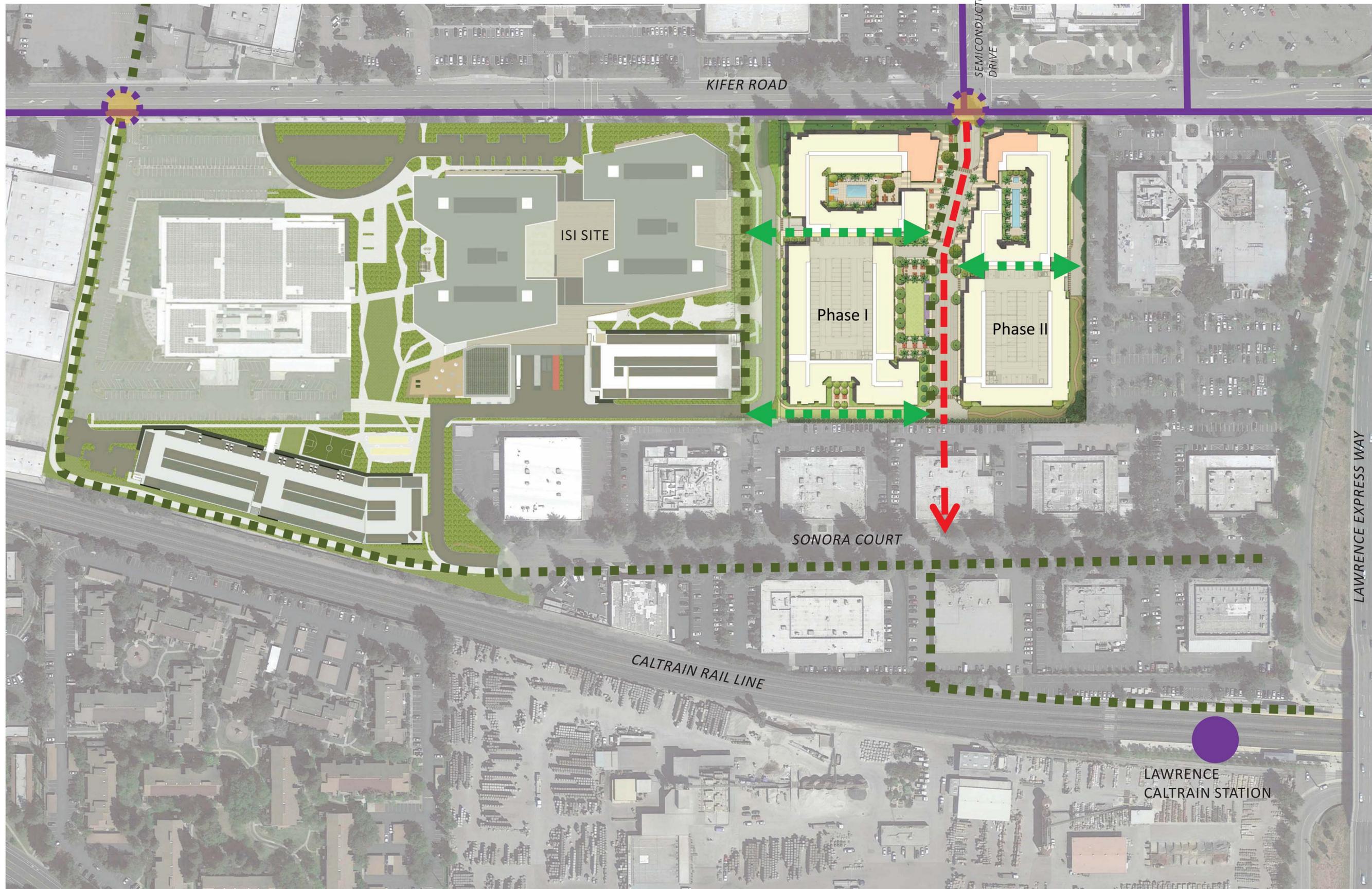
**GREYSTAR**

## Sheet Title: VICINITY MAP & SITE PHOTOS

Job No. 13031  
Date 10/17/2016  
Scale 1" = 30' - 0"

Sheet No:

# G-2



--- New Road / Loop Road Connection

☀ Signalized Intersection

--- Pedestrian / Bike Connections

←---→ Pedestrian Connections with ISI site



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KIFER SITE  
Sunnyvale, California

GREYSTAR

Sheet Title:  
SITE CONTEXT PLAN

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

SP1.0



## LEGEND

- 1 Kifer Streetscape with Existing Redwoods
- 2 Retail Plaza with Enhanced Paving
- 3 "Fall-down" Style Bollards
- 4 Publicly Accessible Park
- 5 Publicly Accessible Private Road
- 6 EVA - Private Access
- 7 Garage Entry
- 8 Enhanced Vehicular Paving
- 9 West Pool Lifestyle Courtyard - Private Access
- 10 East Pool Lifestyle Courtyard - Private Access
- 11 Perimeter Fence
- 12 Crosswalk - Enhanced Paving
- 13 EVA - Shared Use / Public Access
- 14 EVA- Public Access
- 15 Resident Amenity Space



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*ima*

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94612

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KIFER SITE  
Sunnyvale, CA

GREYSTAR GP II, LLC

Sheet Title:  
ILLUSTRATIVE  
SITE PLAN

Job No. 15110  
Date: 11/14/2016  
Scale: NA  
Drawn By:

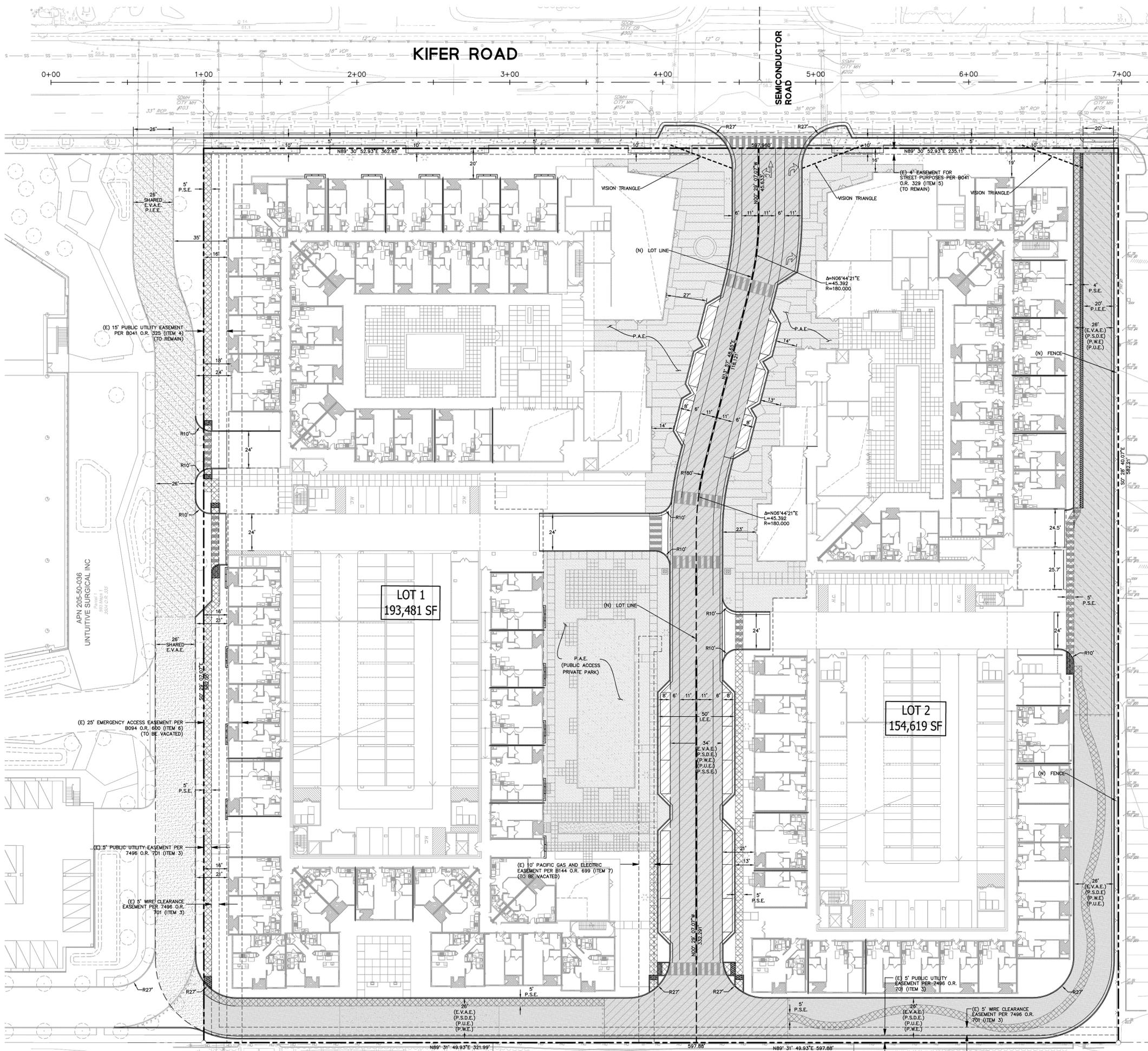
Sheet No:

SP2



NORTH

0 20 40 80 160



### LEGEND

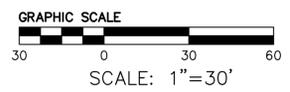
- PROPERTY LINE
- - - LOT LINE
- CURB AND GUTTER
- 6" VERTICAL CURB
- BIKE LANE
- ▨ PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT
- ▩ PROPOSED SHARED EMERGENCY VEHICLE ACCESS EASEMENT (LOCATED ON ADJACENT PROPERTY)
- ▧ PRIVATE INGRESS/EGRESS EASEMENT
- ▦ INGRESS/EGRESS EASEMENT
- ▤ PUBLIC ACCESS EASEMENT
- ▣ PRIVATE SIDEWALK EASEMENT

### ABBREVIATIONS

- CSV = CITY OF SUNNYVALE
- DET = DETAIL
- DWY = DRIVEWAY
- DWS = DETECTABLE WARNING SURFACE
- FC = FACE OF CURB
- LS = LANDSCAPE STRIP
- (N) = NEW
- ROW = RIGHT OF WAY
- STD = STANDARD
- SW = SIDEWALK
- TYP = TYPICAL
- E.V.A.E. = EMERGENCY VEHICLE ACCESS EASEMENT
- P.I.E.E. = PRIVATE INGRESS/EGRESS EASEMENT
- I.E.E. = INGRESS/EGRESS EASEMENT
- P.A.E. = PUBLIC ACCESS EASEMENT
- P.S.E. = PRIVATE SIDEWALK EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.S.D.E. = PRIVATE STORM DRAIN EASEMENT
- P.W.E. = PRIVATE WATER EASEMENT
- P.S.S.E. = PRIVATE SANITARY SEWER EASEMENT

### GENERAL NOTES

1. OWNER/DEVELOPER: GREYSTAR  
450 SANSOME STREET, SUITE 500  
SAN FRANCISCO, CA 94111  
CONTACT: ANDREW MORCOS  
(415) 524-0992
2. CIVIL ENGINEER: BKF ENGINEERS  
1730 N. FIRST STREET, SUITE 600  
SAN JOSE, CA 95112  
CONTACT: REUEL CHAN  
(408) 467-9100
3. PROPERTY ADDRESS: 1120-1130 KIFER ROAD, SUNNYVALE CALIFORNIA
4. ASSESSORS PARCEL NO. APN: 205-50-004
5. GENERAL PLAN REFER TO LAWRENCE STATION AREA PLAN
6. EXISTING ZONING: M3-INDUSTRIAL AND SERVICE
7. PROPOSED ZONING: REFER TO LAWRENCE STATION AREA PLAN
8. EXISTING USE: COMMERCIAL
9. PROPOSED USE: MIXED USE (RESIDENTIAL + RETAIL)
10. GROSS AREA: 7.99± ACRES
11. NUMBER OF UNITS: 520 UNITS
12. NUMBER OF LOTS: 2 DEVELOPABLE
13. UTILITIES:  
A. WATER: PUBLIC STREETS: CITY OF SUNNYVALE  
PRIVATE STREETS: HOMEOWNERS ASSOCIATION  
B. SANITARY SEWER: PUBLIC STREETS: CITY OF SUNNYVALE  
PRIVATE STREETS: HOMEOWNERS ASSOCIATION  
C. STORM DRAIN: PUBLIC STREETS: CITY OF SUNNYVALE  
PRIVATE STREETS: HOMEOWNERS ASSOCIATION  
D. GAS/ELECTRIC: PACIFIC GAS & ELECTRIC  
E. TELEPHONE: AT&T  
F. CABLE TV: COMCAST
14. BENCHMARK: CITY OF SUNNYVALE BRASS DISK MONUMENT  
"BM" HAVING THE ELEVATION OF 55.954' IN  
THE NAVD 88 DATUM APPROXIMATE LOCATION  
BEING AT THE SOUTHWEST CURB RETURN AT THE  
INTERSECTION OF SAN ZENO WAY AND KIFER ROAD.
15. TOPOGRAPHY: INFORMATION SHOWN IS BASED ON A GROUND  
SURVEY PREPARED BY BKF ENGINEERS  
CONDUCTED SEPTEMBER 2013.
18. LOT SIZES: LOT 1 = 193,481 SF  
LOT 2 = 154,619 SF



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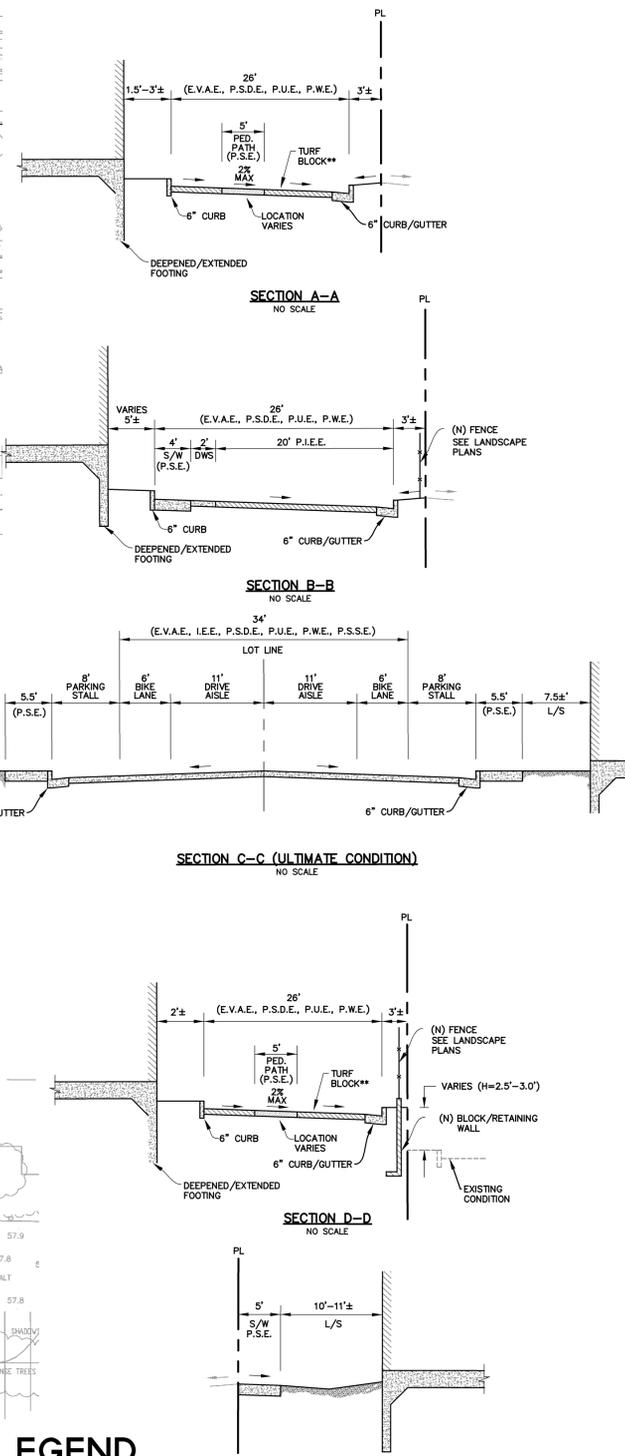
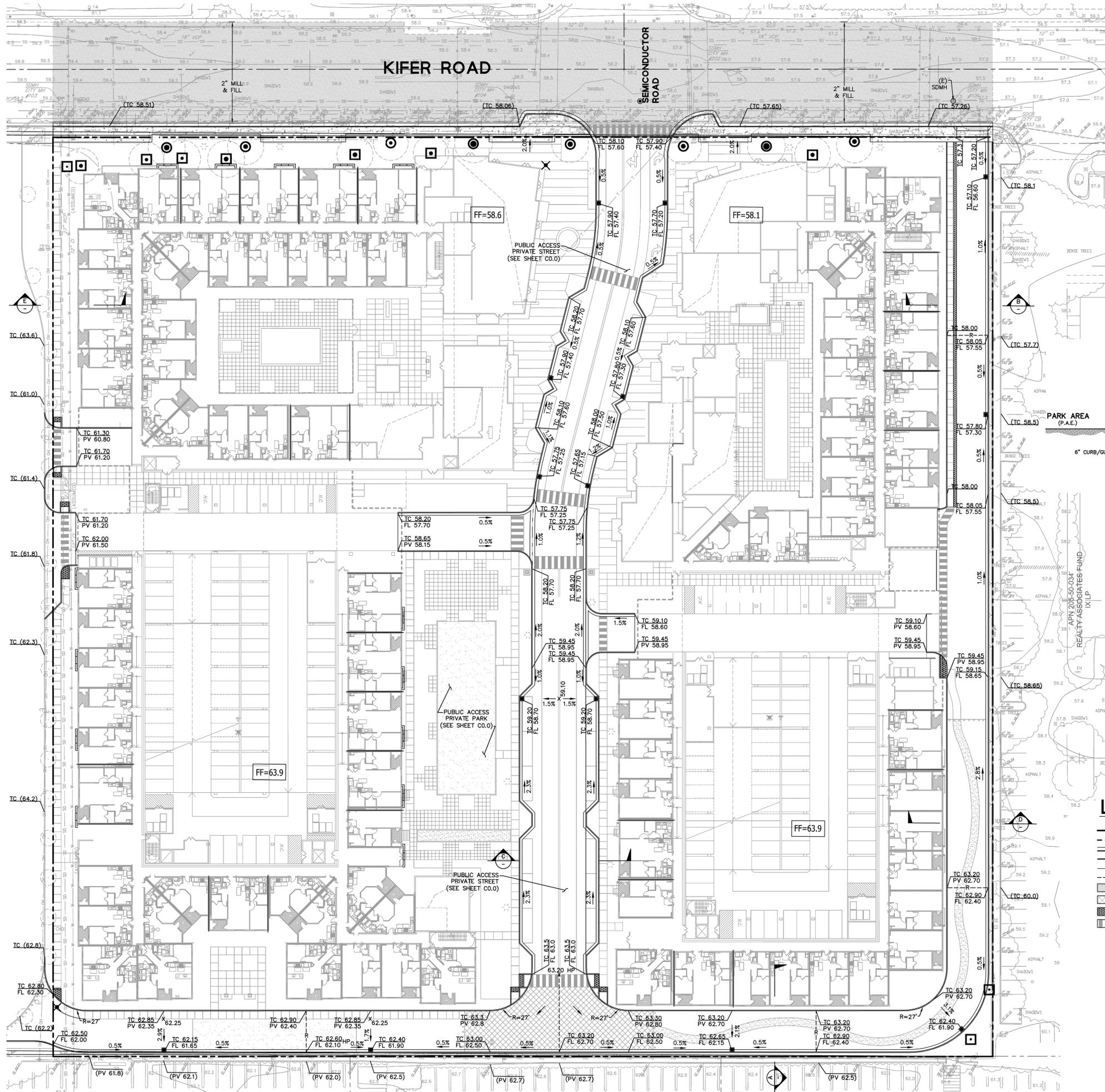
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408.467.9100 408.467.9199

Sheet Title:  
**VESTING  
TENTATIVE  
PARCEL MAP**

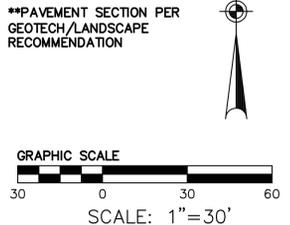
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Scale: 1:30  
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**LEGEND**

- PROPERTY LINE
- LOT LINE
- CURB AND GUTTER
- 6" VERTICAL CURB
- BIKE LANE
- RIDGE LINE
- 2" MILL & FILL
- DECORATIVE PAVERS
- DETECTABLE WARNING SURFACE
- CROSSWALK
- HARDSCAPE SLOPE
- SLOPE TO DRAIN (LANDSCAPE)
- PROPOSED ELEVATIONS
- CURB OPENING
- TOP OF CURB
- PAVEMENT
- FLOW LINE
- LIP OF GUTTER
- LOW POINT
- HIGH POINT
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE PRESERVED
- EXISTING TREE FOR POTENTIAL PRESERVATION



: Architecture  
: Planning  
: Urban Design

: 304 12th Street, Suite 2A  
: Oakland, California 94607  
: (510) 451 - 2850

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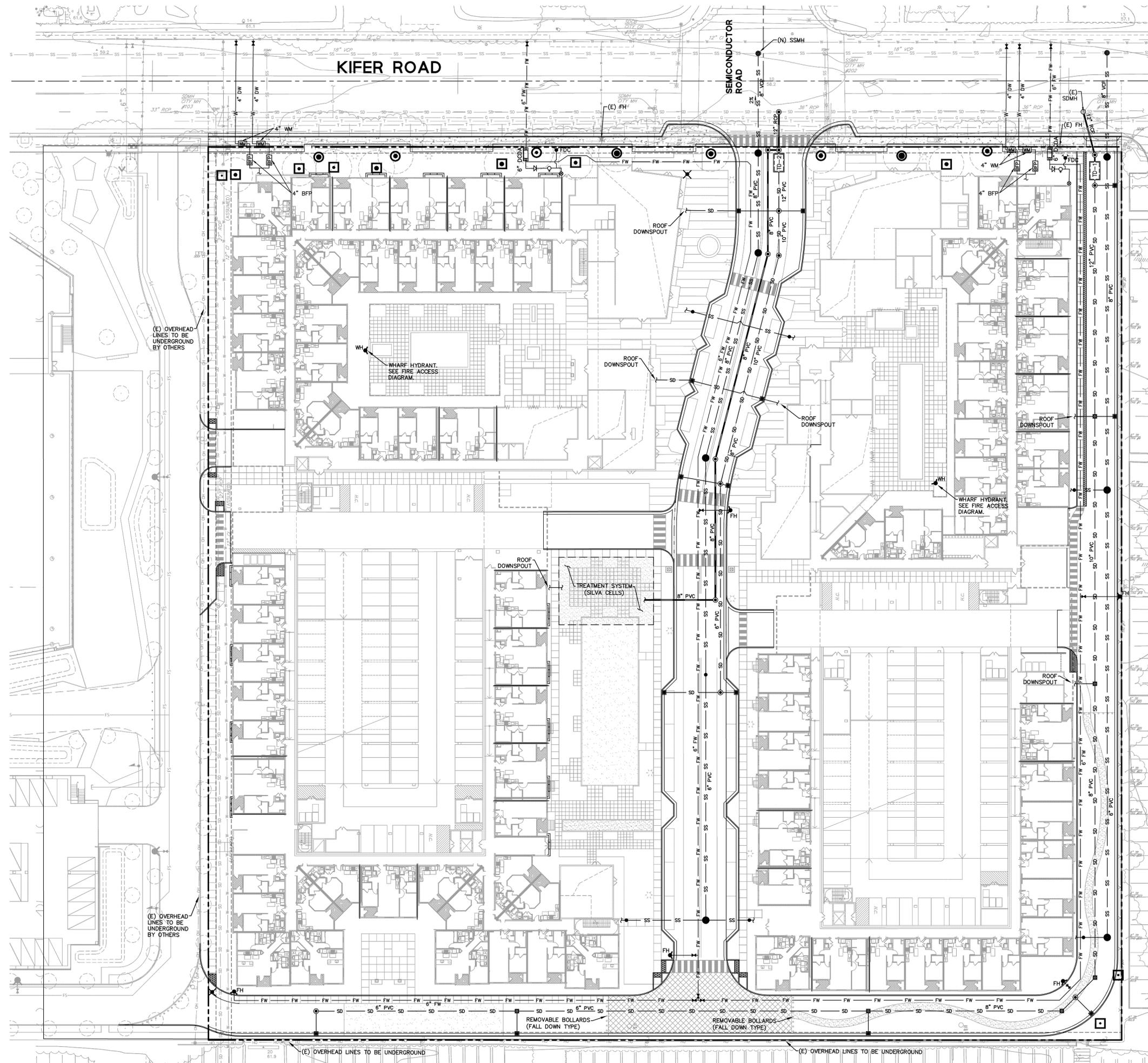
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Sheet Title:  
**PRELIMINARY GRADING AND DRAINAGE PLAN**

Job No. 13031  
Date: 11/14/2016  
Scale: 1:30  
BKF No: 20136090

Sheet No:

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### LEGEND

- — — — — PROPERTY LINE
- — — — — STORM DRAIN LINE (TREATED)
- — — — — SD STORM DRAIN LINE (UNTREATED)
- — — — — SS SANITARY SEWER LINE
- — — — — W DOMESTIC WATER LINE
- — — — — FW FIRE WATER LINE
- SDMH ● STORM DRAIN MANHOLE
- OFD ■ OVER FLOW DRAIN
- AD • AREA DRAIN
- BB ■ BUBBLER BOX
- SSMH ● SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- TRANS ■ TRANSFORMER
- ⊥ WATER VALVE
- ⊥ CHECK VALVE
- ⊙ FIRE SPRINKLER RISER
- POST INDICATOR VALVE
- FDC ● FIRE DEPARTMENT CONNECTION (4-WAY FDC TO BE PROVIDED)
- DCDA ■ DOUBLE CHECK DETECTOR ASSEMBLY (SIZES SHOWN ARE APPROXIMATE)
- WM ■ WATER METER (SIZES SHOWN ARE APPROXIMATE)
- FH ■ FIRE HYDRANT
- BFF ■ BACKFLOW PREVENTION DEVICE (SIZES SHOWN ARE APPROXIMATE)
- TD ■ MECHANICAL TREATMENT SYSTEM
- SILVA CELL TREATMENT SYSTEM
- ⊗ EXISTING TREE TO BE REMOVED
- ⊙ EXISTING TREE TO BE PRESERVED
- EXISTING TREE FOR POTENTIAL PRESERVATION



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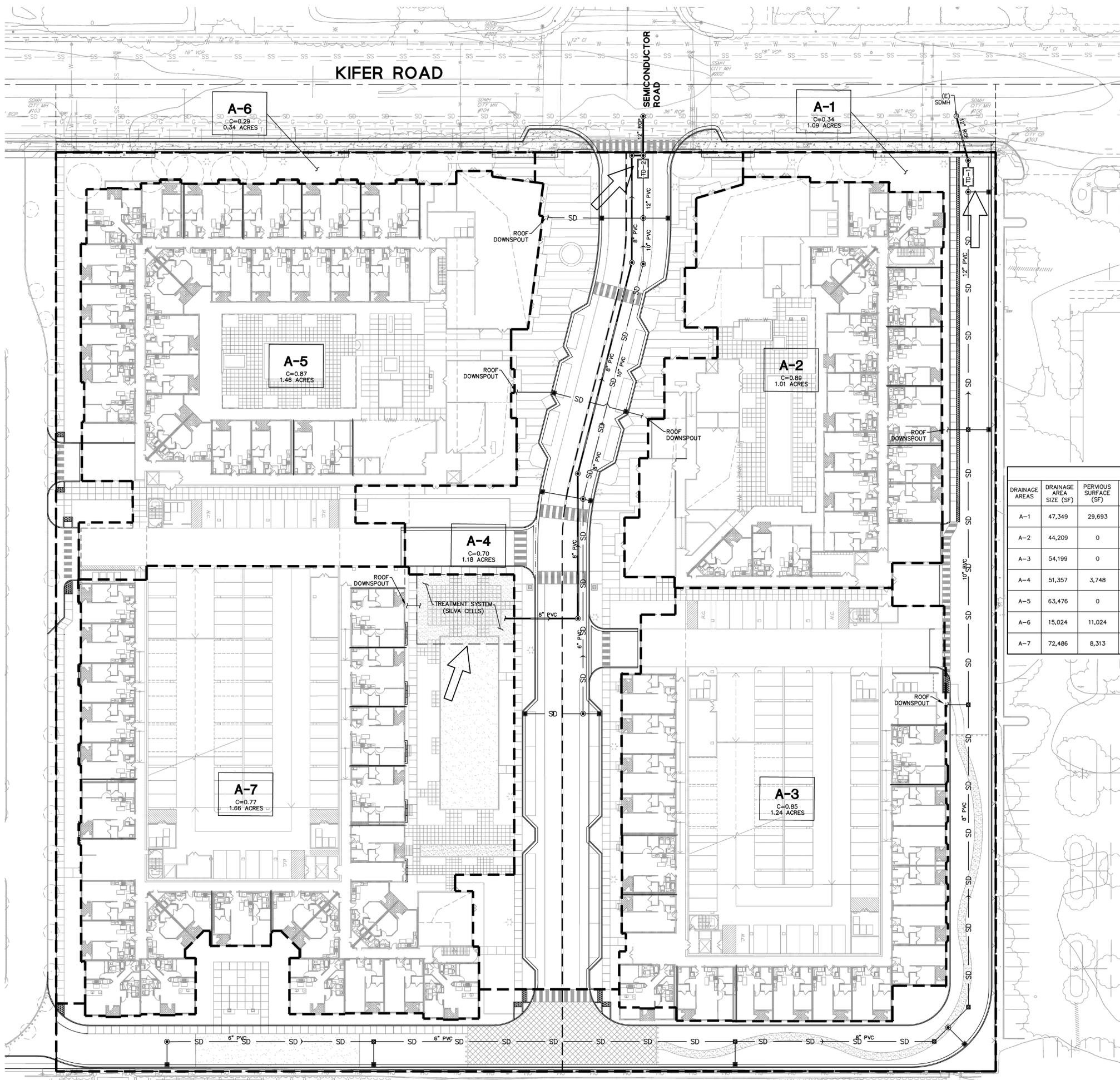
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Sheet Title:  
**PRELIMINARY  
 UTILITY PLAN**

Job No. 13031  
 Date: 11/14/2016  
 Scale: 1:30  
 BKF No: 20136090

Sheet No:  
**C2.0**



### LEGEND

- PROPERTY LINE
- A-X  
C=0.XX  
X ACRES DRAINAGE AREA BOUNDARY
- ULTIMATE POINT OF STORM WATER DISCHARGE
- DRAINAGE SLOPE
- STORM DRAIN MANHOLE
- DROP INLET
- AREA DRAIN
- JUNCTION BOX
- STORM DRAIN ROOF DRAIN
- STORM DRAIN CLEANOUT
- DIRECTION OF FLOW
- MECHANICAL TREATMENT DEVICE
- SILVA CELL TREATMENT SYSTEM
- SD STORM DRAIN LINE (TREATED)
- SD STORM DRAIN LINE (UNTREATED)

| DRAINAGE AREAS | DRAINAGE AREA SIZE (SF) | PERVIOUS SURFACE (SF) | TYPE OF PERVIOUS SURFACE            | IMPERVIOUS SURFACE (SF) | TYPE OF IMPERVIOUS SURFACE | TREATMENT MEASURE |           | PROPOSED TREATMENT CONTROLS     |
|----------------|-------------------------|-----------------------|-------------------------------------|-------------------------|----------------------------|-------------------|-----------|---------------------------------|
|                |                         |                       |                                     |                         |                            | REQUIRED          | PROVIDED  |                                 |
| A-1            | 47,349                  | 29,693                | TURFBLOCK/LANDSCAPE/PERVIOUS PAVERS | 17,656                  | ASPHALT CONCRETE           |                   |           | STORMWATER TREATMENT DEVICE - 1 |
| A-2            | 44,209                  | 0                     | N/A                                 | 44,209                  | ROOF CONCRETE              | 0.47 CFS          | 0.48 CS   |                                 |
| A-3            | 54,199                  | 0                     | N/A                                 | 54,199                  | ROOF CONCRETE              |                   |           |                                 |
| A-4            | 51,357                  | 3,748                 | LANDSCAPE                           | 47,609                  | ASPHALT CONCRETE           | 0.42 CFS          | 0.43 CFS  | STORMWATER TREATMENT DEVICE - 2 |
| A-5            | 63,476                  | 0                     | N/A                                 | 63,476                  | ASPHALT CONCRETE           |                   |           |                                 |
| A-6            | 15,024                  | 11,024                | LANDSCAPE                           | 4,000                   | CONCRETE                   | 2,000 SF (2:1)    | 11,024 SF | SELF-RETAINING AREA             |
| A-7            | 72,486                  | 8,313                 | LANDSCAPE                           | 64,173                  | ROOF CONCRETE              | 2,567 SF (4%)     | 2,728     | SILVA CELLS                     |



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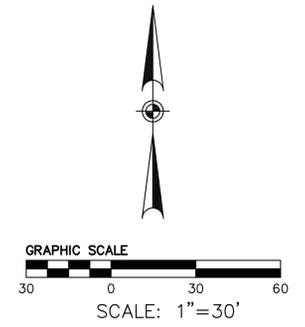
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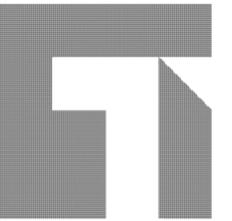
Sheet Title:  
**PRELIMINARY STORM WATER MANAGEMENT PLAN**

Job No. 13031  
Date: 11/14/2016  
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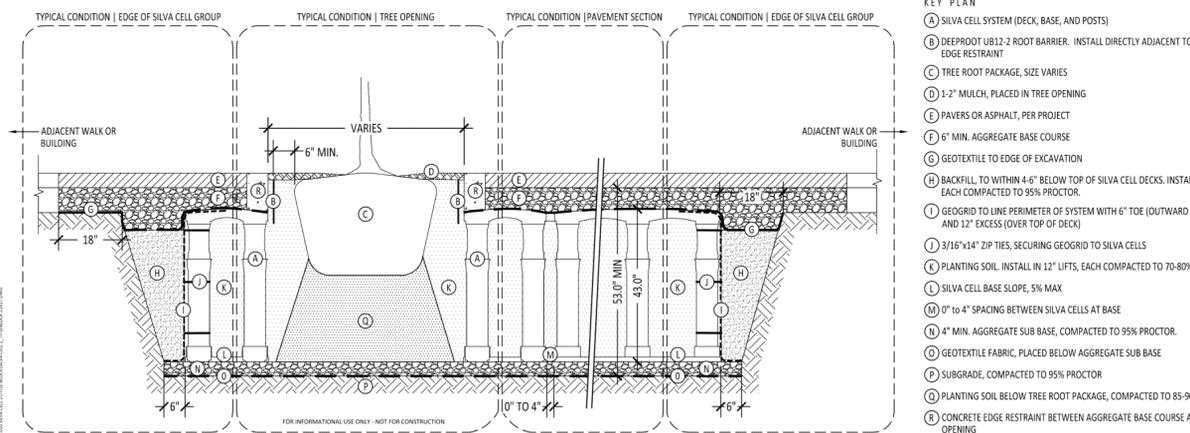
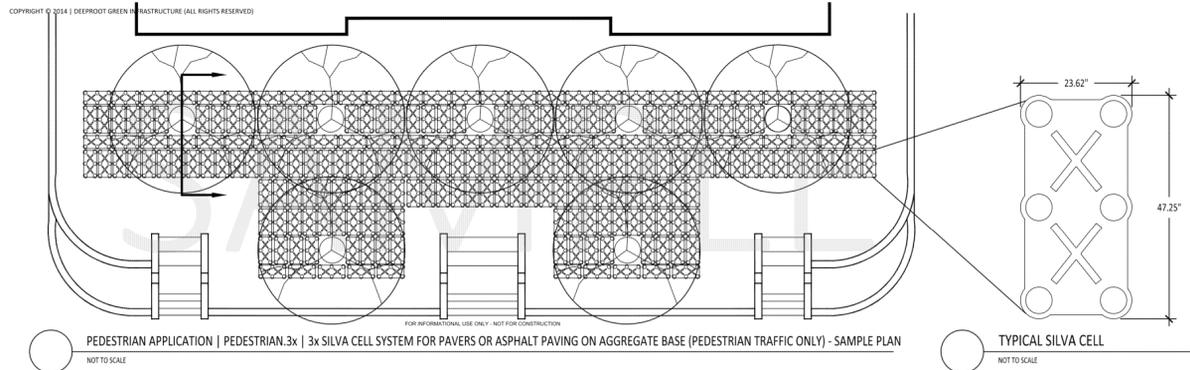
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## PRELIMINARY STORM WATER MANAGEMENT DETAILS

Job No. 13031  
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C3.1



- KEY PLAN**
- (A) SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
  - (B) DEEPROOT UR12-2 ROOT BARRIER. INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
  - (C) TREE ROOT PACKAGE, SIZE VARIES
  - (D) 1-2" MULCH, PLACED IN TREE OPENING
  - (E) PAVERS OR ASPHALT, PER PROJECT
  - (F) 6" MIN. AGGREGATE BASE COURSE
  - (G) GEOTEXTILE TO EDGE OF EXCAVATION
  - (H) BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 8" LIFTS, EACH COMPACTED TO 95% PROCTOR.
  - (I) GEOGRID TO LINE PERIMETER OF SYSTEM WITH 6" TOE (OUTWARD FROM BASE) AND 12" EXCESS (OVER TOP OF DECK)
  - (J) 3/16"x1/4" ZIP TIES, SECURING GEOGRID TO SILVA CELLS
  - (K) PLANTING SOIL. INSTALL IN 12" LIFTS, EACH COMPACTED TO 70-80% PROCTOR
  - (L) SILVA CELL BASE SLOPE, 5% MAX
  - (M) 0" TO 4" SPACING BETWEEN SILVA CELLS AT BASE
  - (N) 4" MIN. AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
  - (O) GEOTEXTILE FABRIC, PLACED BELOW AGGREGATE SUB BASE
  - (P) SUBGRADE, COMPACTED TO 95% PROCTOR
  - (Q) PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR
  - (R) CONCRETE EDGE RESTRAINT BETWEEN AGGREGATE BASE COURSE AND TREE OPENING

- NOTES**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS
  3. PROVIDE SUPPLEMENTAL IRRIGATION FOR SEASONAL DROUGHT SUPPORT OF TREES & SOIL

**SILVA CELL DETAIL (SAMPLE)**  
N.T.S.

DeepRoot Green Infrastructure - USA  
101 Montgomery Street, Suite 2850  
San Francisco, CA 94104  
www.deeproot.com  
T 415 781 9700  
F 415 781 0191

JAMES URBAN, FASLA  
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Annapolis, MD 21403  
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PEDESTRIAN.3x | 3x Silva Cell System for Pavers or Asphalt Paving on Aggregate Base (Pedestrian Traffic Only)  
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SILVA CELL 2 FOR PEDESTRIANS ONLY  
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SHEET: 4 OF 4 SCALE: Not To Scale

PF-V-6-0001

**MINIMUM DEPTH - RIM TO OUTLET INVERT -**

| CARTRIDGE STACK CONFIGURATION |          |          |           |           |
|-------------------------------|----------|----------|-----------|-----------|
|                               | 12"      | 18"      | 12" x 12" | 12" x 18" |
| 4.25'                         | 5.00'    | 5.92'    | 6.67'     |           |
|                               | [81.00"] | [80.00"] | [171.00"] | [80.00"]  |

**TREATMENT FLOW RATES, TOTAL FLOW CAPACITIES & MAXIMUM HEAD LOSS**

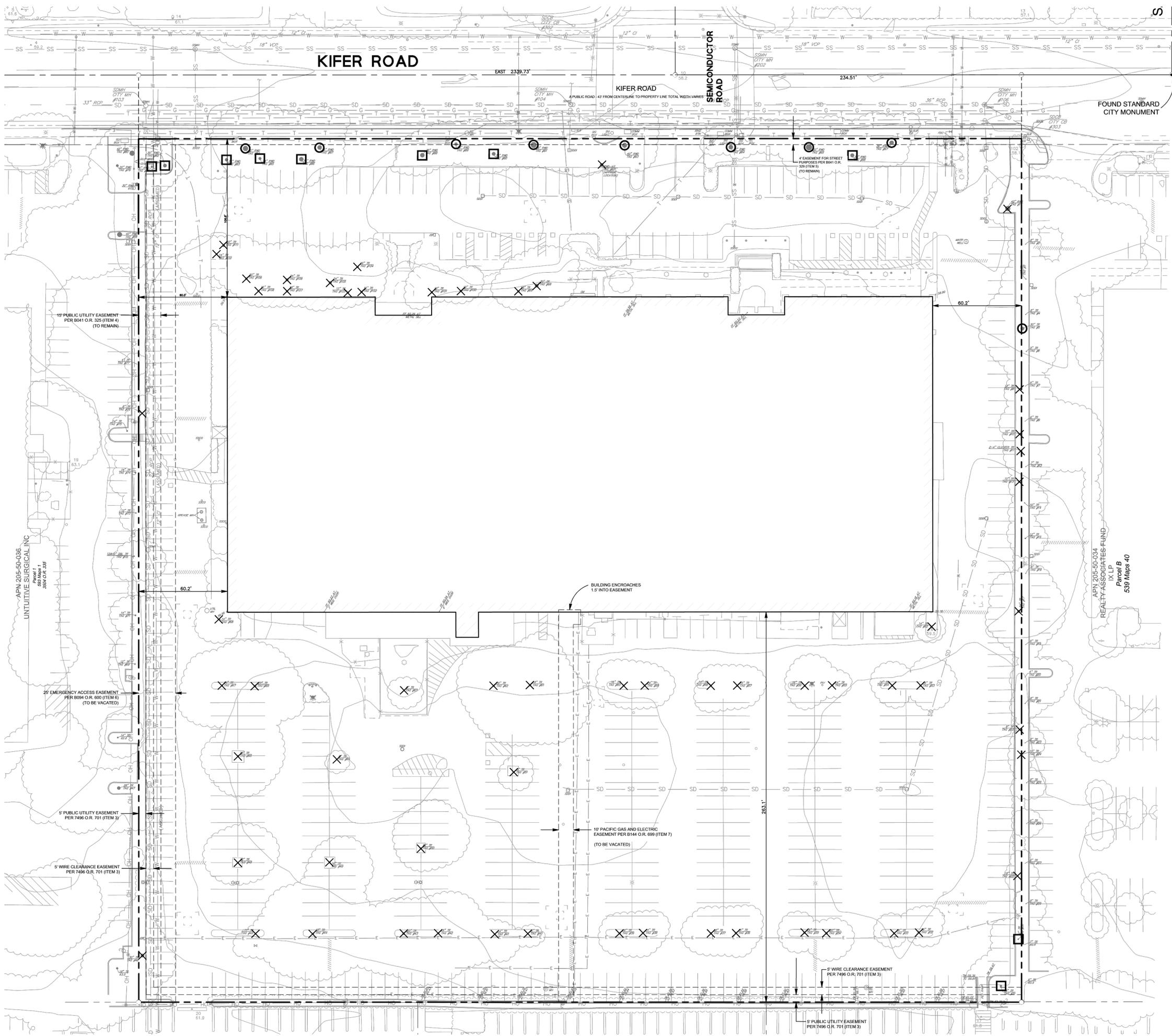
| CARTRIDGE STACK QUANTITY | A DIMENSION (INCHES) | CARTRIDGE STACK CONFIGURATION   |                                 |                                 |                                 |            |      |            |      |
|--------------------------|----------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|------------|------|------------|------|
|                          |                      | 12"                             | 18"                             | 12" x 12"                       | 12" x 18"                       |            |      |            |      |
|                          |                      | TREATMENT FLOW RATE (GPM / CF3) |            |      |            |      |
| 4                        | 7                    | 48 / 0.15                       | 5.7                             | 72 / 0.16                       | 8.5                             | 96 / 0.21  | 9.7  | 120 / 0.27 | 13.0 |
| 5                        | 7                    | 60 / 0.13                       | 5.7                             | 90 / 0.20                       | 8.6                             | 120 / 0.27 | 9.7  | 150 / 0.33 | 13.0 |
| 6                        | 9                    | 72 / 0.16                       | 5.8                             | 108 / 0.24                      | 8.6                             | 144 / 0.32 | 9.8  | 180 / 0.40 | 13.1 |
| 7                        | 9                    | 84 / 0.19                       | 5.8                             | 126 / 0.28                      | 8.6                             | 168 / 0.37 | 9.8  | 210 / 0.47 | 13.2 |
| 8                        | 9                    | 96 / 0.23                       | 5.8                             | 144 / 0.32                      | 8.7                             | 192 / 0.41 | 9.9  | 240 / 0.51 | 13.2 |
| 9                        | 11                   | 108 / 0.24                      | 5.8                             | 162 / 0.36                      | 8.7                             | 216 / 0.45 | 10.6 | 270 / 0.60 | 13.3 |
| 10                       | 11                   | 120 / 0.27                      | 5.9                             | 180 / 0.40                      | 8.8                             | 240 / 0.53 | 10.0 | 300 / 0.67 | 13.4 |
| 11                       | 11                   | 132 / 0.29                      | 5.9                             | 198 / 0.44                      | 8.8                             | 264 / 0.59 | 10.1 | 330 / 0.74 | 13.4 |
| MAXIMUM HEAD LOSS        |                      | 1.7 FEET                        |                                 | 2.3 FEET                        |                                 | 2.9 FEET   |      | 3.5 FEET   |      |

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**Oldcastle Stormwater Solutions**  
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**PROPOSED STORMWATER TREATMENT DEVICES**



### LEGEND

- AC ASPHALT
  - APN ASSESSOR PARCEL NUMBER
  - BFP BACK FLOW PREVENTOR
  - BOL BOLLARD
  - BLDG BUILDING
  - BSL BUILDING SETBACK LINE
  - CB CATCH BASIN
  - CP CONCRETE PAD
  - DCV DOUBLE CHECK VALVE
  - DWY DRIVEWAY
  - EB ELECTRICAL BOX
  - EC ELECTRICAL CABINET
  - EM ELECTRICAL METER
  - EMH ELECTRICAL MANHOLE
  - EV ELECTRICAL VAULT
  - FC FACE OF CURB
  - FDC FIRE DEPARTMENT CONNECTION
  - FH FIRE HYDRANT
  - GMH GAS MANHOLE
  - GM GAS METER
  - GV GAS VALVE
  - MH MANHOLE
  - MW MONITORING WELL
  - PIV POST INDICATOR VALVE
  - PLTR PLANTER
  - PM PARKING METER
  - PP POWER POLE
  - PLR PROPERTY LINE
  - PUE PUBLIC UTILITY EASEMENT
  - SL STREET LIGHT
  - SLB STREET LIGHT BOX
  - SDMH SANITARY SEWER CLEANOUT
  - SDCO SANITARY SEWER MANHOLE
  - SMH SANITARY SEWER MANHOLE
  - TE TRASH ENCLOSURE
  - TEL TELEPHONE
  - TMH TELEPHONE MANHOLE
  - TYT TELEPHONE VAULT
  - TRANS TRANSFORMER
  - TS TRAFFIC SIGNAL
  - TSB TRAFFIC SIGNAL BOX
  - UB UTILITY BOX
  - VT UTILITY VAULT
  - WM WATER METER
  - WV WATER VALVE
  - YL YARD LIGHT
- 
- SANITARY SEWER LINE
  - WATER MAIN
  - STORM DRAIN LINE
  - OVERHEAD WIRE
  - GAS LINE
  - TELEPHONE LINE
  - ELECTRICAL LINE
- 
- ✕ EXISTING TREE TO BE REMOVED
  - EXISTING TREE TO BE PRESERVED
  - ◻ EXISTING TREE FOR POTENTIAL PRESERVATION



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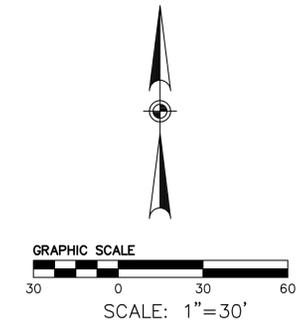
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## EXISTING CONDITIONS AND TREE REMOVAL PLAN

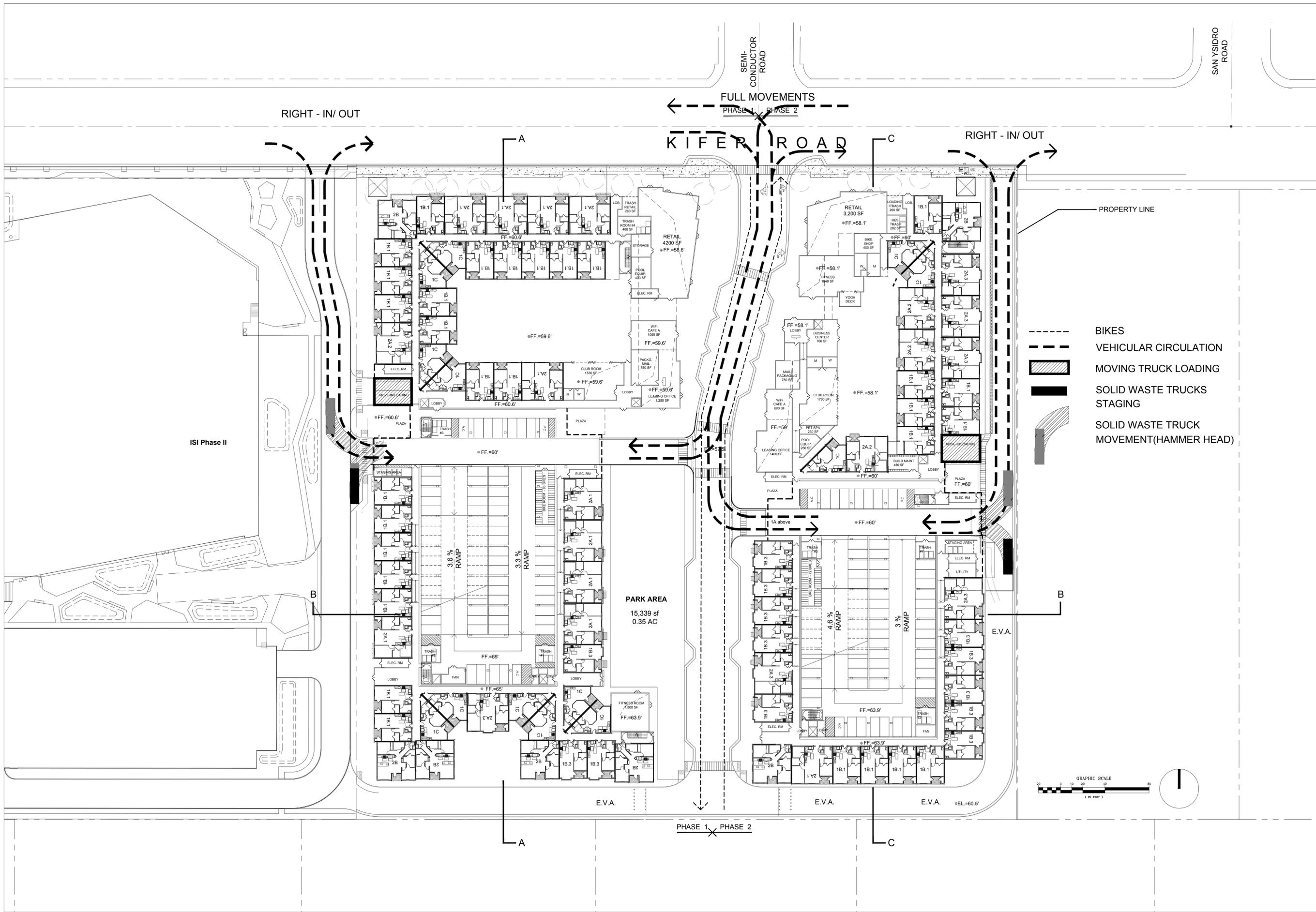
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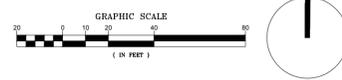
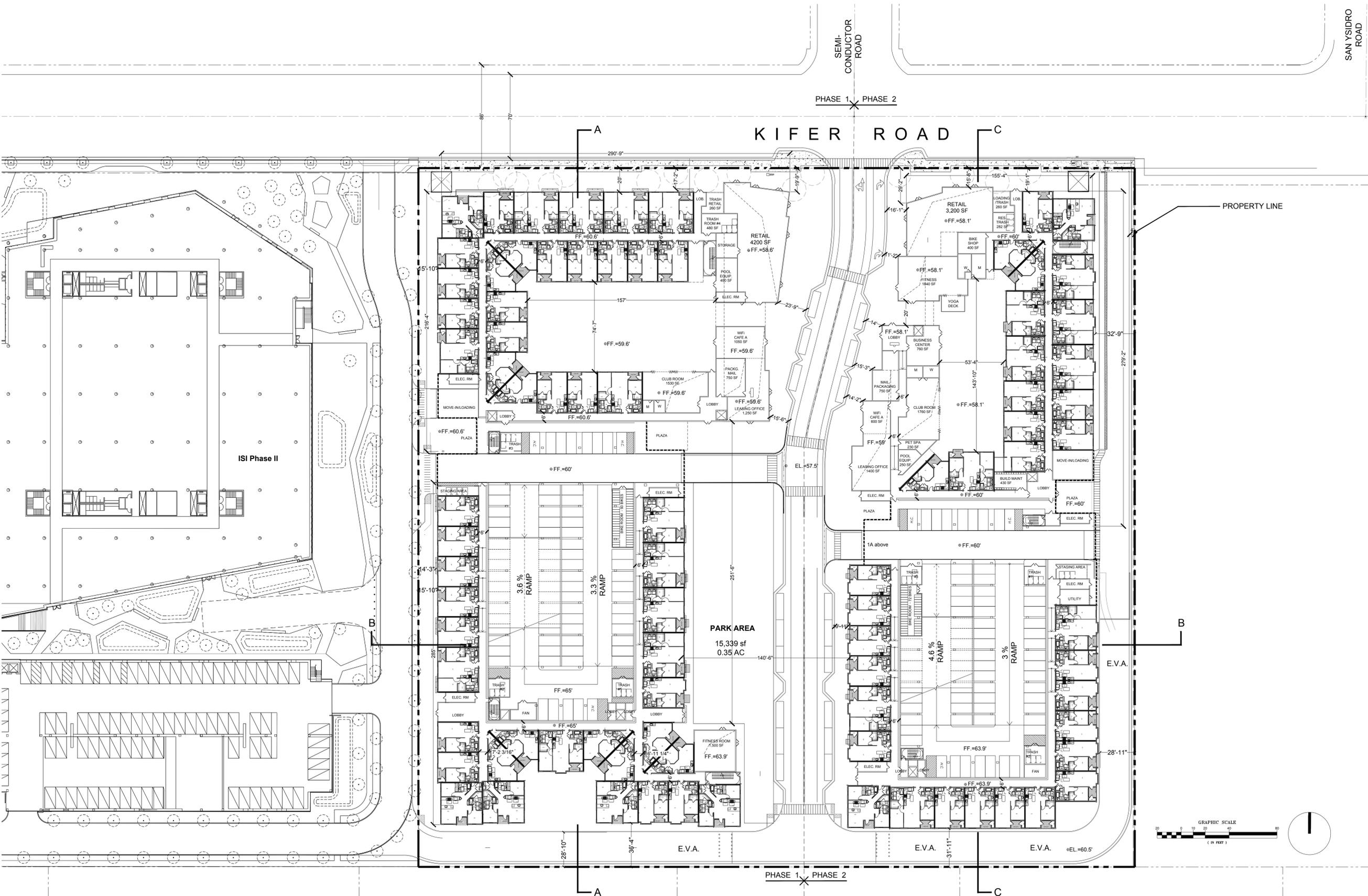
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Sheet Title:  
**BUILDING PLAN  
LEVEL 1**

Job No. 13031  
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**BUILDING PLAN  
LEVEL 2**

Job No. 13031  
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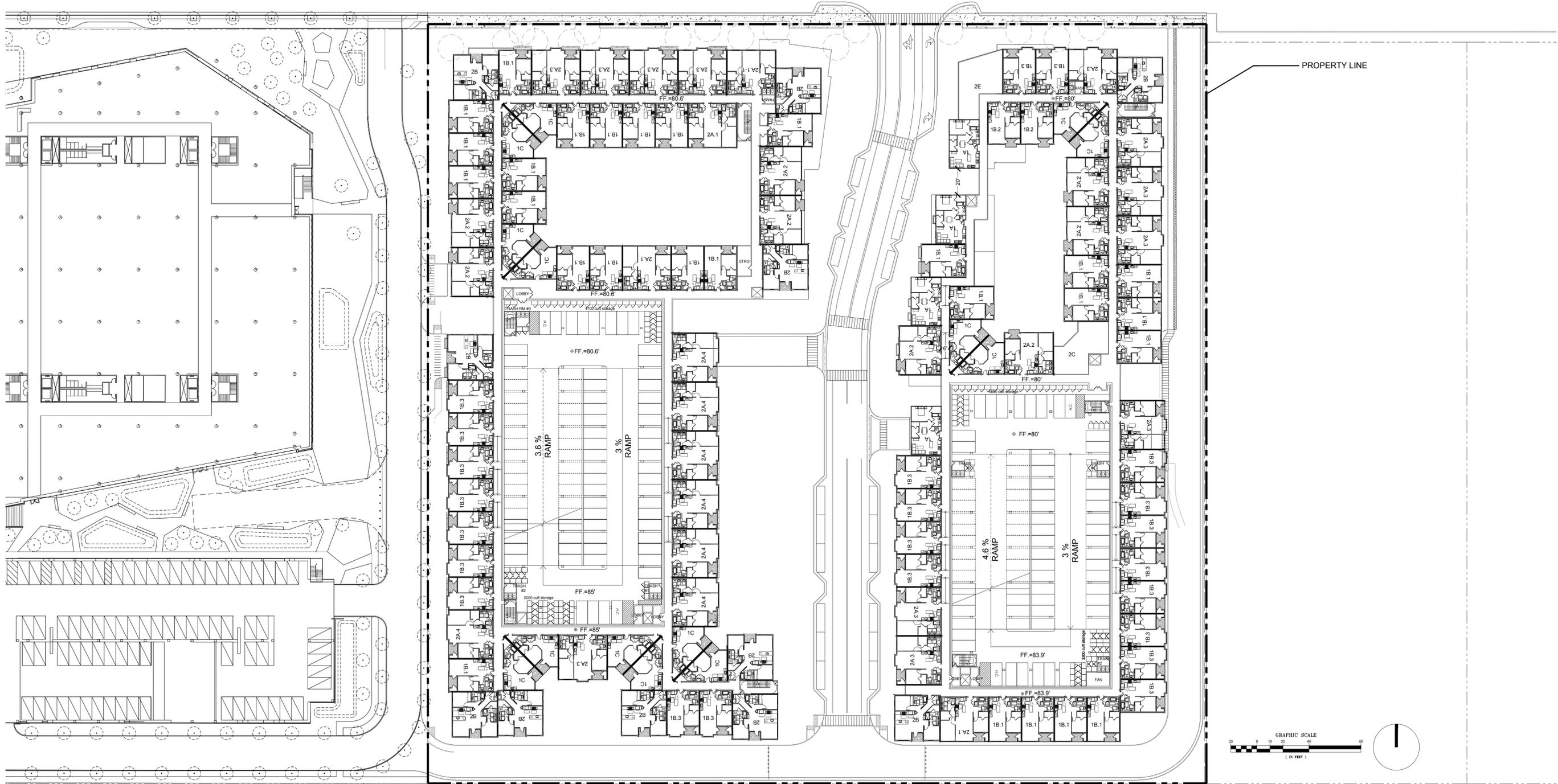


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**BUILDING PLAN  
LEVEL 3**

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**BUILDING PLAN  
LEVEL 4**

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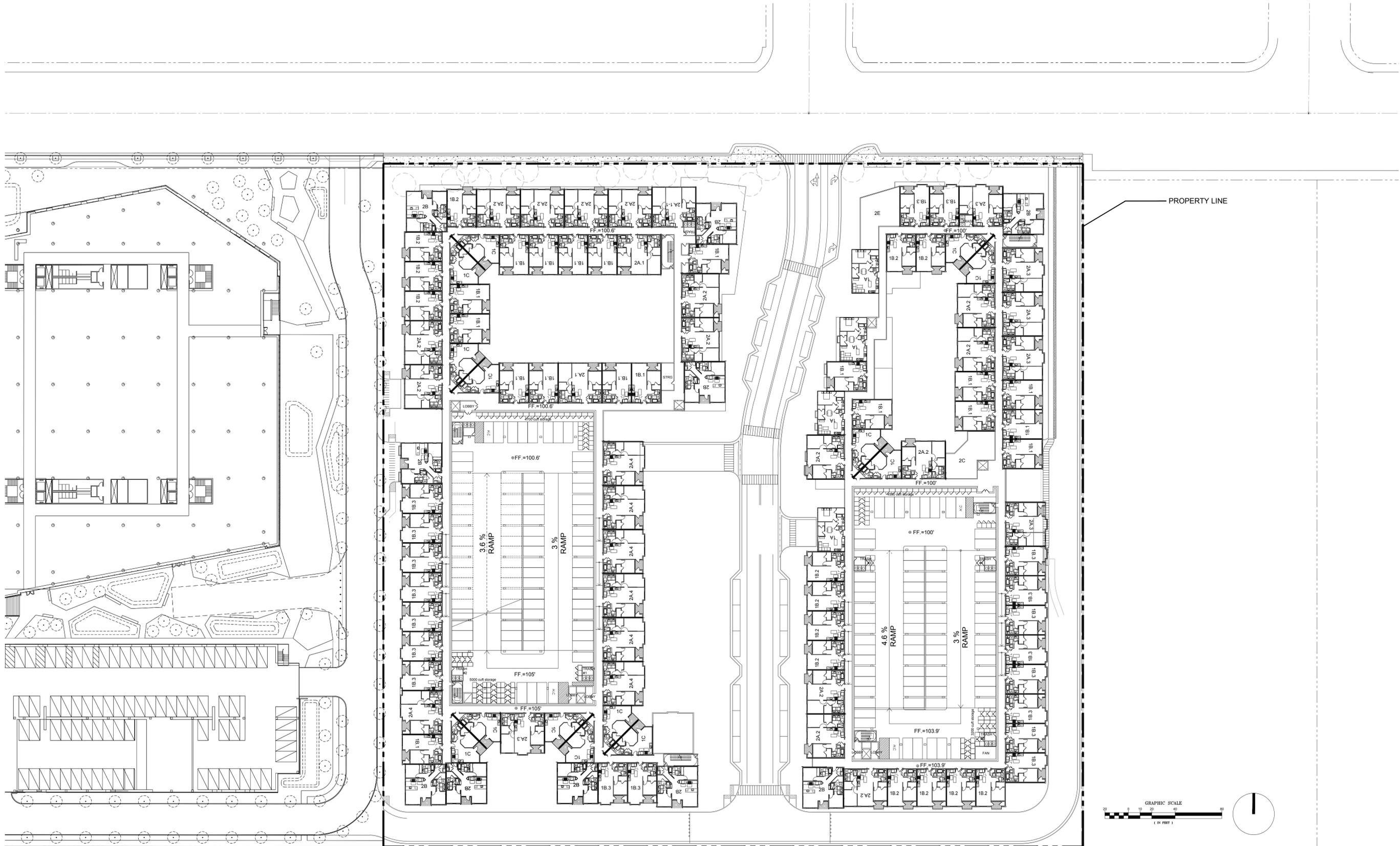


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LEVEL 5**

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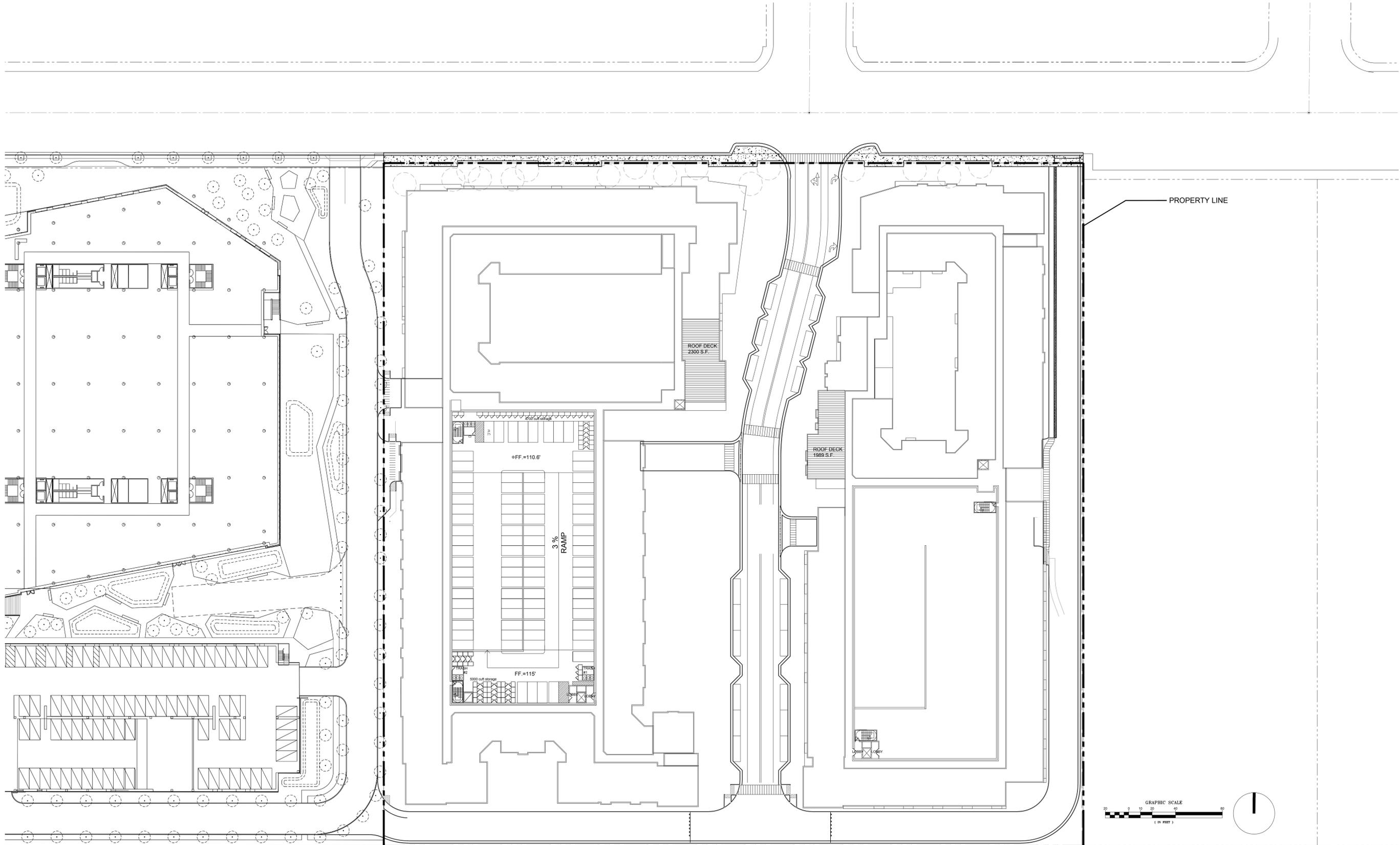


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Sunnyvale, California

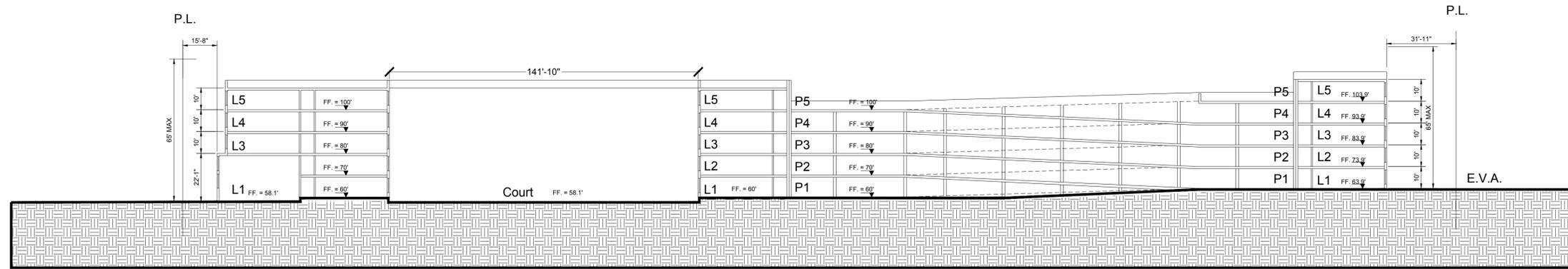
**GREYSTAR**  
221 Main Street, Suite 1280  
San Francisco, California

Sheet Title:  
**SITE PLAN  
ROOF PLAN**

Job No. 13031  
Date: 10/17/2016  
Scale: 1" = 40' - 0"

Sheet No:

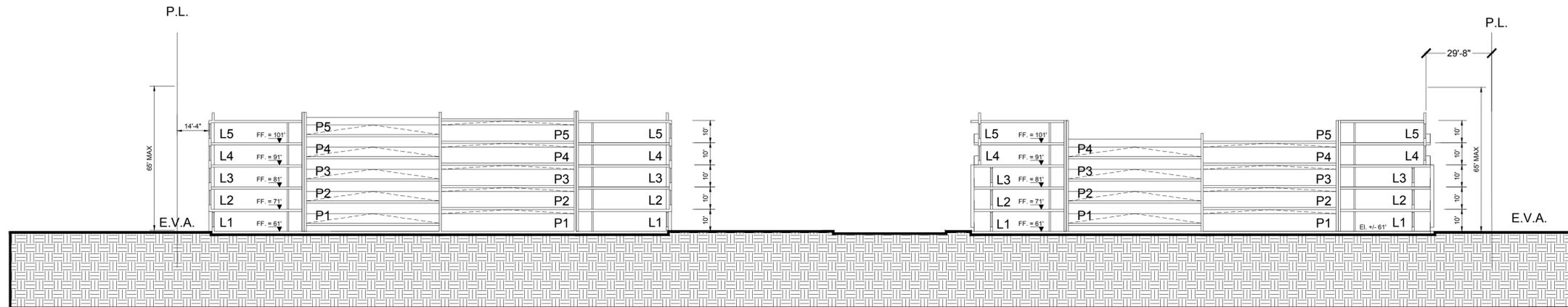
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BUILDING SECTION C - C

3

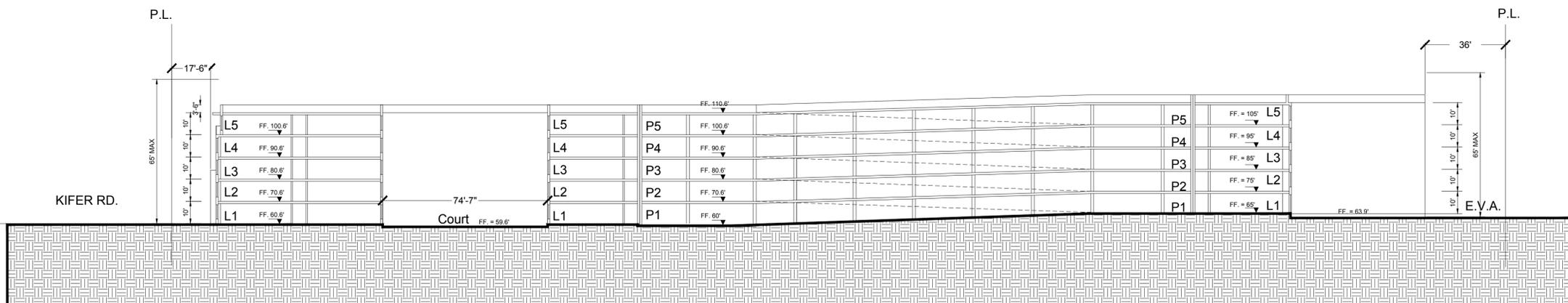
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BUILDING SECTION B - B

2

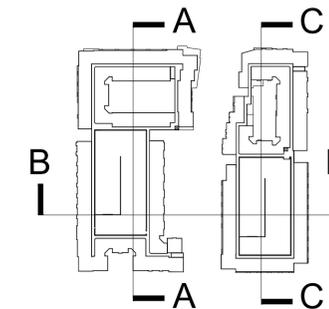
1" = 30' - 0"



BUILDING SECTION A - A

1

1" = 30' - 0"



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Sheet Title:

BUILDING  
SECTION

Job No. 13031  
Date: 10/17/2016  
Scale: 1" = 30' - 0"

Sheet No:

A3.1



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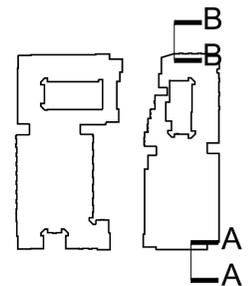
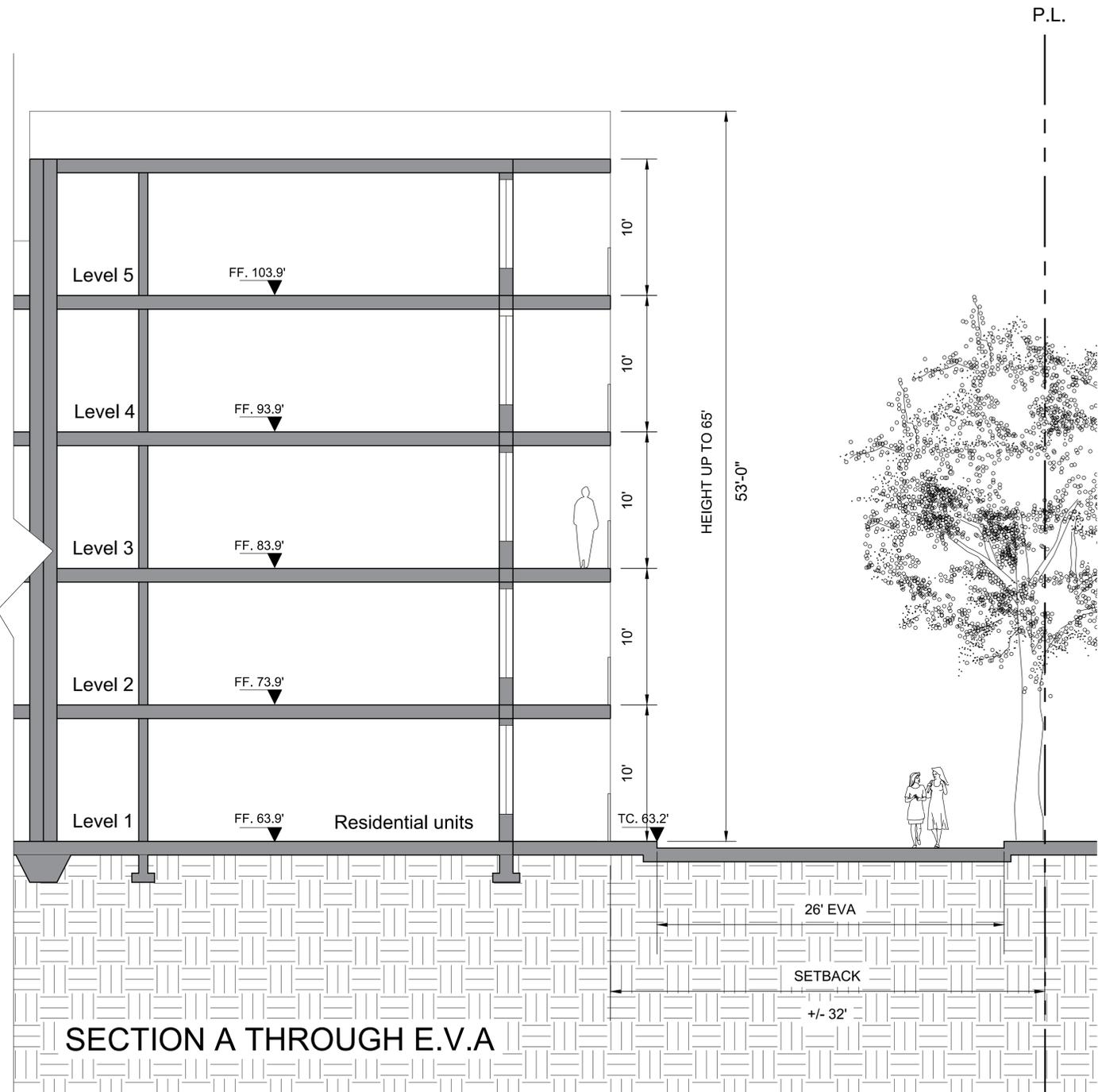
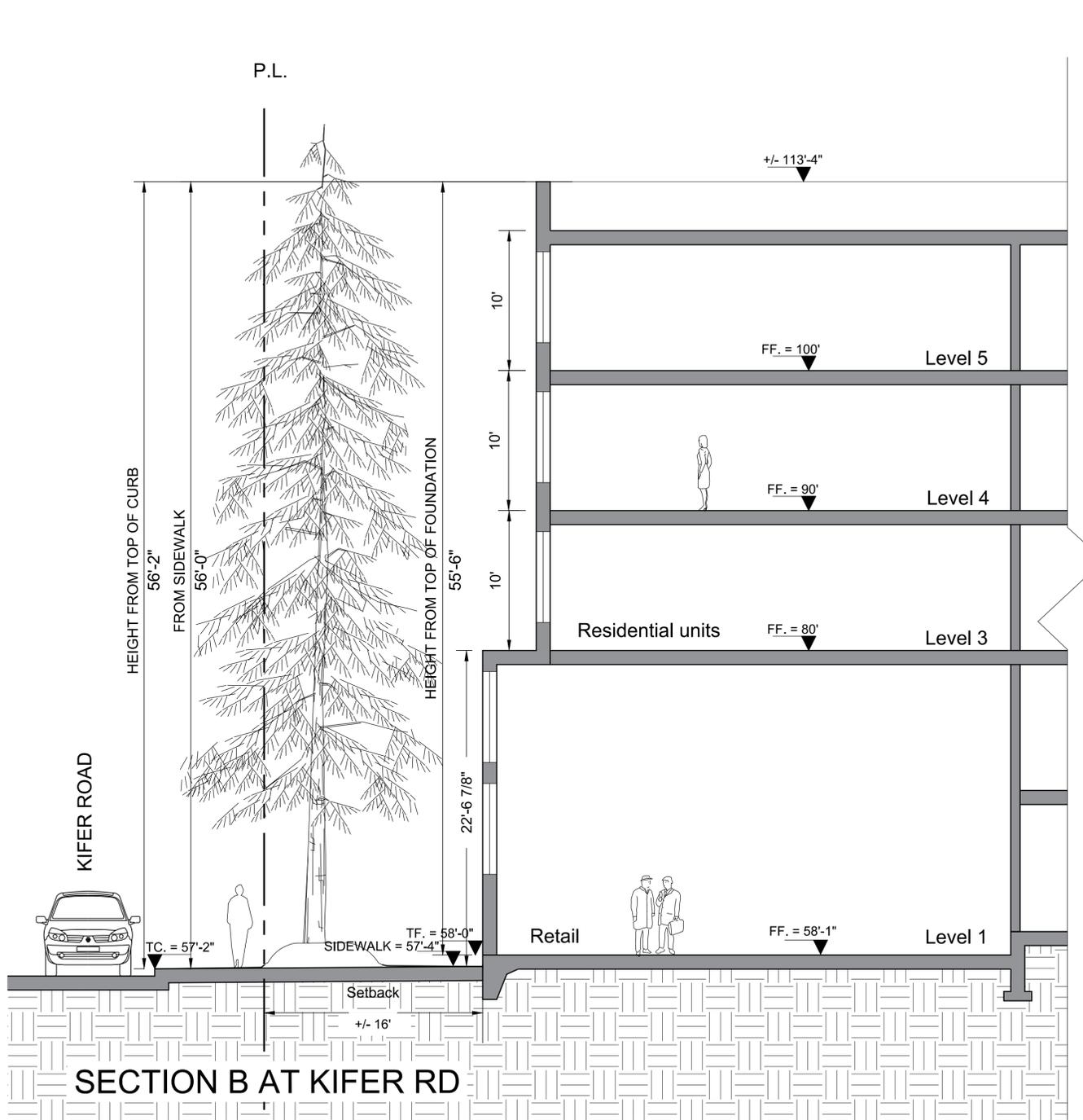
Sheet Title:

WALL SECTIONS

Job No. 13031  
Date: 11/14/2016  
Scale: 3/16" = 1'

Sheet No:

A 3.2



# NORTH ELEVATION

## Kifer

- ① PLASTER  
White
- ② PLASTER  
Dark Grey
- ③ PLASTER  
Brown
- ④ SIDING  
Brown
- ⑤ SIDING  
Orange
- ⑥ METAL PANEL SYSTEM
- ⑦ METAL PANEL  
Corrugated
- ⑧ PORCELAIN TILE  
Wood-like Texture
- ⑨ STOREFRONT WINDOW  
SYSTEM
- ⑩ ALUMINUM NAIL-ON WINDOWS  
Enhanced Corner Window
- ⑪ VINYL WINDOW SYSTEM  
Dark Color
- ⑫ METAL RAILING  
Panels
- ⑬ METAL RAILING  
Horizontal Rails
- ⑭ WOOD LATTICE



PHASE II

PHASE I



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Sheet Title:  
BUILDING ELEVATIONS  
& PERSPECTIVES  
NORTH ELEVATION  
KIFER

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

A4.1

# WEST ELEVATION Facing ISI Site

- ① PLASTER  
White
- ② PLASTER  
Dark Grey
- ③ PLASTER  
Brown
- ④ SIDING  
Brown
- ⑤ SIDING  
Orange
- ⑥ METAL PANEL SYSTEM
- ⑦ METAL PANEL  
Corrugated
- ⑧ PORCELAIN TILE  
Wood-like Texture
- ⑨ STOREFRONT WINDOW  
SYSTEM
- ⑩ ALUMINUM NAIL-ON WINDOWS  
Enhanced Corner Window
- ⑪ VINYL WINDOW SYSTEM  
Dark Color
- ⑫ METAL RAILING  
Panels
- ⑬ METAL RAILING  
Horizontal Rails
- ⑭ WOOD LATTICE



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Sheet Title:  
**BUILDING ELEVATIONS  
& PERSPECTIVES**  
**WEST ELEVATION  
FACING I.S.I. SITE**

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

**A4.2**

# SOUTH ELEVATION

- ① PLASTER  
White
- ② PLASTER  
Dark Grey
- ③ PLASTER  
Brown
- ④ SIDING  
Brown
- ⑤ SIDING  
Orange
- ⑥ METAL PANEL SYSTEM
- ⑦ METAL PANEL  
Corrugated
- ⑧ PORCELAIN TILE  
Wood-like Texture
- ⑨ STOREFRONT WINDOW SYSTEM
- ⑩ ALUMINUM NAIL-ON WINDOWS  
Enhanced Corner Window
- ⑪ VINYL WINDOW SYSTEM  
Dark Color
- ⑫ METAL RAILING  
Panels
- ⑬ METAL RAILING  
Horizontal Rails
- ⑭ WOOD LATTICE



PHASE I

PHASE II



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Sheet Title:  
**BUILDING ELEVATIONS  
& PERSPECTIVES**  
SOUTH ELEVATION

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

**A4.3**

# EAST ELEVATION

- ① PLASTER  
White
- ② PLASTER  
Dark Grey
- ③ PLASTER  
Brown
- ④ SIDING  
Brown
- ⑤ SIDING  
Orange
- ⑥ METAL PANEL SYSTEM
- ⑦ METAL PANEL  
Corrugated
- ⑧ PORCELAIN TILE  
Wood-like Texture
- ⑨ STOREFRONT WINDOW SYSTEM
- ⑩ ALUMINUM NAIL-ON WINDOWS  
Enhanced Corner Window
- ⑪ VINYL WINDOW SYSTEM  
Dark Color
- ⑫ METAL RAILING  
Panels
- ⑬ METAL RAILING  
Horizontal Rails
- ⑭ WOOD LATTICE



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Sheet Title:

**BUILDING ELEVATIONS  
& PERSPECTIVES**

**EAST ELEVATION**

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

**A4.4**

# PARK ELEVATION Phase II

- ① PLASTER  
White
- ② PLASTER  
Dark Grey
- ③ PLASTER  
Brown
- ④ SIDING  
Brown
- ⑤ SIDING  
Orange
- ⑥ METAL PANEL SYSTEM
- ⑦ METAL PANEL  
Corrugated
- ⑧ PORCELAIN TILE  
Wood-like Texture
- ⑨ STOREFRONT WINDOW  
SYSTEM
- ⑩ ALUMINUM NAIL-ON WINDOWS  
Enhanced Corner Window
- ⑪ VINYL WINDOW SYSTEM  
Dark Color
- ⑫ METAL RAILING  
Panels
- ⑬ METAL RAILING  
Horizontal Rails
- ⑭ WOOD LATTICE



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Sheet Title:  
**BUILDING ELEVATIONS  
& PERSPECTIVES**

**PARK ELEVATION  
PHASE II**

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

**A4.5**

# PARK ELEVATION Phase I

- ① PLASTER  
White
- ② PLASTER  
Dark Grey
- ③ PLASTER  
Brown
- ④ SIDING  
Brown
- ⑤ SIDING  
Orange
- ⑥ METAL PANEL SYSTEM
- ⑦ METAL PANEL  
Corrugated
- ⑧ PORCELAIN TILE  
Wood-like Texture
- ⑨ STOREFRONT WINDOW  
SYSTEM
- ⑩ ALUMINUM NAIL-ON WINDOWS  
Enhanced Corner Window
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Dark Color
- ⑫ METAL RAILING  
Panels
- ⑬ METAL RAILING  
Horizontal Rails
- ⑭ WOOD LATTICE



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Sheet Title:  
BUILDING ELEVATIONS  
& PERSPECTIVES  
PARK ELEVATION  
PHASE I

Job No. 13031  
Date: 10/17/2016  
Scale:

Sheet No:

A4.6

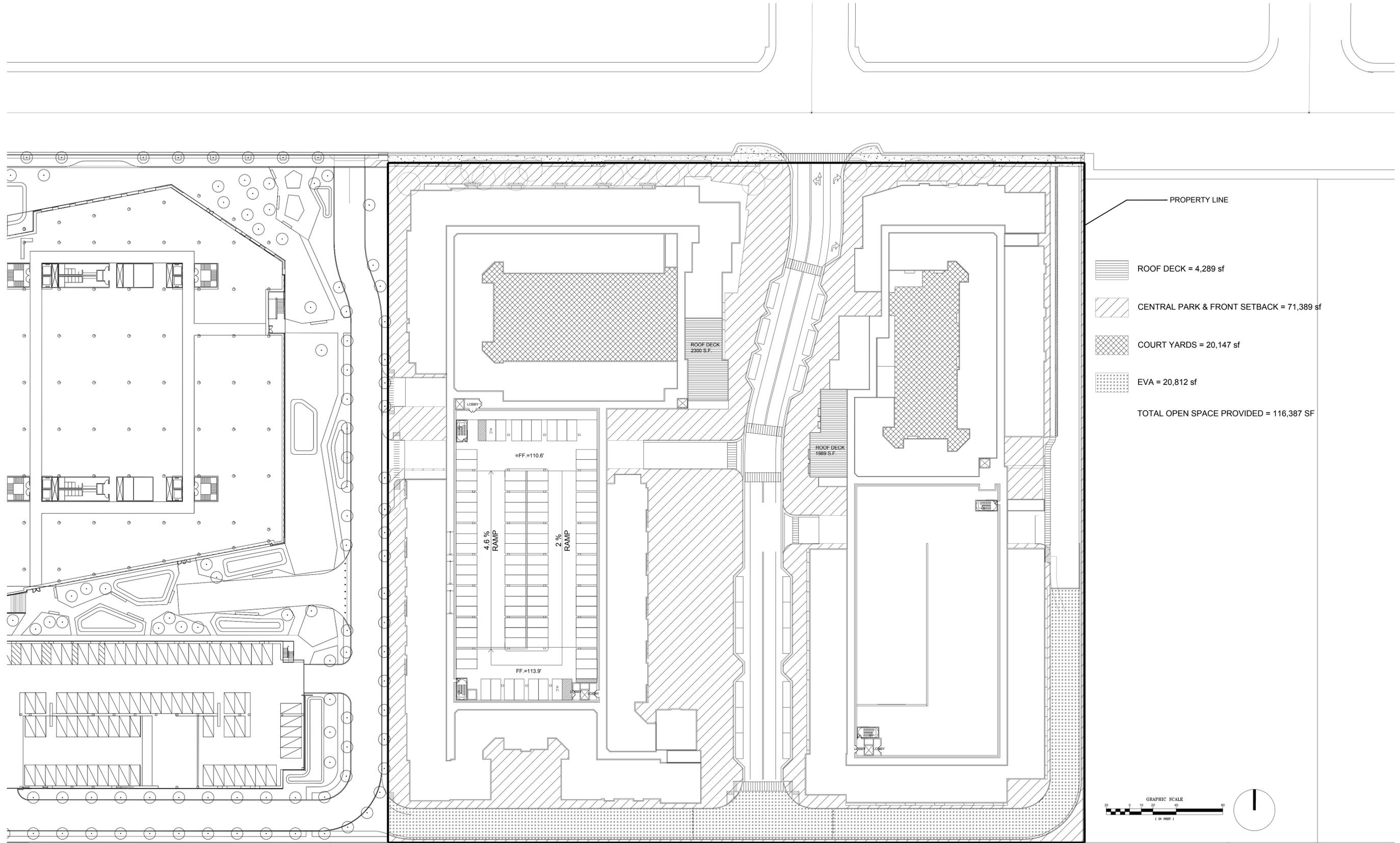


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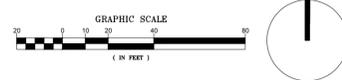
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- PROPERTY LINE
- ROOF DECK = 4,289 sf
- CENTRAL PARK & FRONT SETBACK = 71,389 sf
- COURT YARDS = 20,147 sf
- EVA = 20,812 sf
- TOTAL OPEN SPACE PROVIDED = 116,387 SF



**KIFER SITE**  
Sunnyvale, California

**GREYSTAR**  
221 Main Street, Suite 1280  
San Francisco, California

Sheet Title:  
**OPEN SPACE  
DIAGRAM**

Job No. 13031  
Date: 10/17/2016  
Scale: 1" = 40' - 0"

Sheet No:  
**A5.0**



**CODE SECTION**

**19.56.020. Solar energy systems -- Impairment of solar access by structures.**

(a) No building permit shall be issued for any construction, the effect of which when completed would be to interfere with solar access to the rooftops of the sum of all permitted structures on an adjacent property or to any preexisting active solar collector on an adjacent property.

(b.1) The solar shading analysis shall show the extent to which the proposed construction will shade adjacent rooftops and solar collectors at nine a.m. and three p.m. Pacific Time on December 21st.

**COMPLIANCE OF PROPOSED PROJECT**

*19.56.020. Solar energy systems -- Impairment of solar access by structures.*

- (a) In Compliance
- (b.1) Dec 21st 9:00 a.m. **0% of adjacent roof of future development to west shaded.**



**COMPLIANCE OF PROPOSED PROJECT**

*19.56.020. Solar energy systems -- Impairment of solar access by structures.*

- (a) In Compliance
- (b.1) Dec 21st 3:00 p.m. **0% of adjacent roof of existing office to east shaded.**



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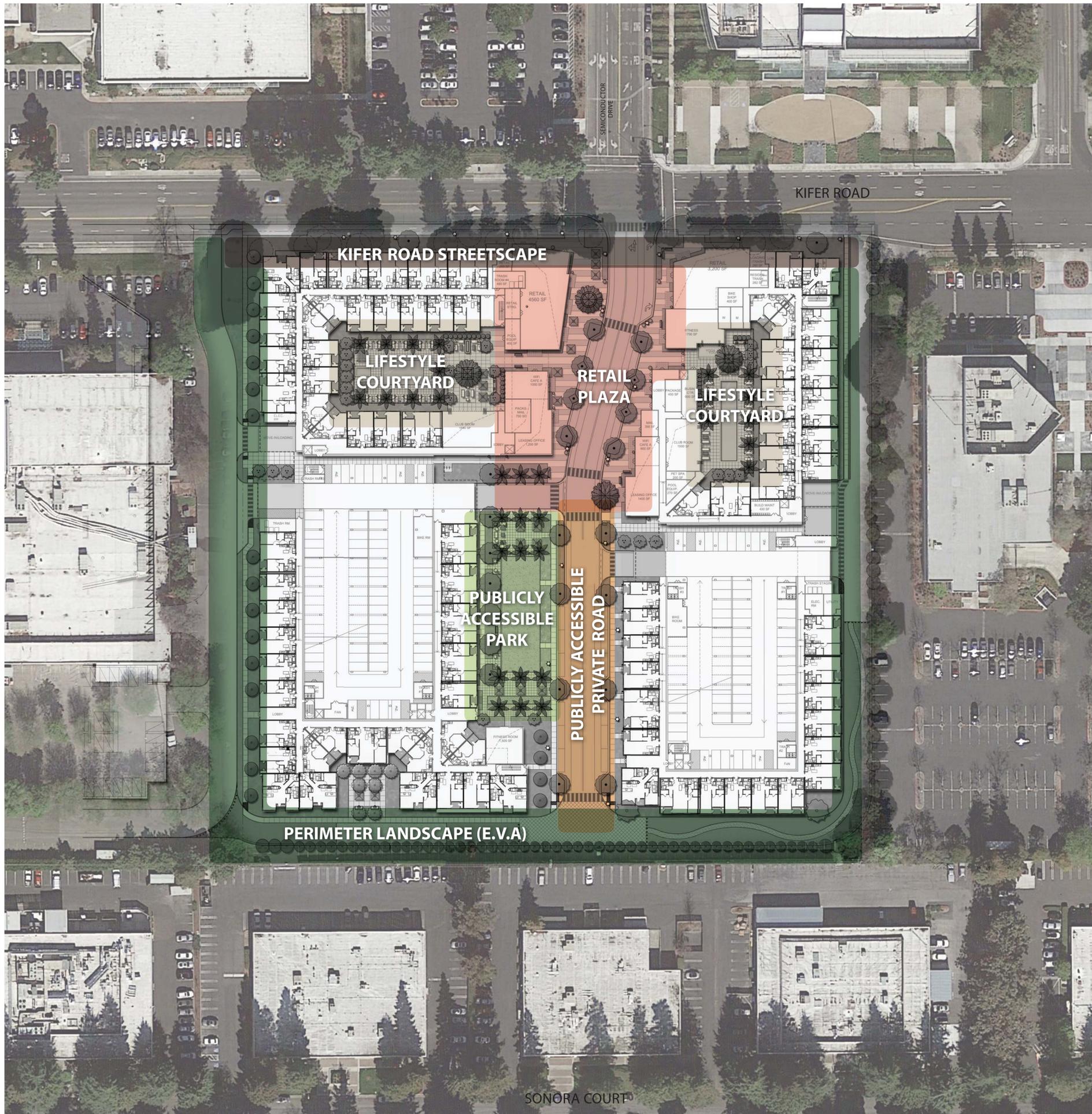
**GREYSTAR**

Sheet Title:  
**SHADOW STUDY**

Job No. 13031  
Date: 11/14/2016  
Scale:

Sheet No:

**A5.1**



## LEGEND

- KIFER ROAD STREETSCAPE
  
- RETAIL PLAZA
  
- PUBLICLY ACCESSIBLE PRIVATE ROAD
  
- PUBLIC ACCESSIBLE PARK
  
- PERIMETER LANDSCAPE (E.V.A)
  
- LIFESTYLE COURTYARD



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**KIFER SITE**  
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**GREYSTAR GP II, LLC**

Sheet Title:  
**ZONE DIAGRAM**

Job No. 15110  
Date: 10/17/2016  
Scale:  
Drawn By:

Sheet No:



0 25 50 100 200

**L1**



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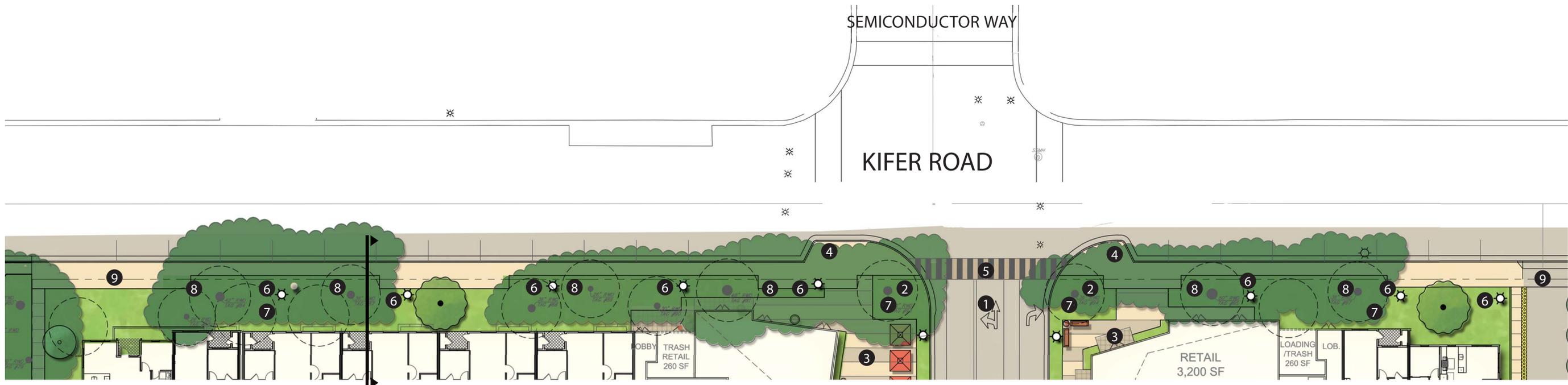
GREYSTAR GP II, LLC

Sheet Title:  
ZONE:  
KIFER ROAD  
STREETSCAPE

Job No. 15110  
Date: 10/17/2016  
Scale:  
Drawn By:

Sheet No:

L2



LAWRENCE STATION AREA PLAN DESIGN GUIDELINES

KIFER SITE

PEDESTRIAN ENVIRONMENT GUIDELINES

- KR-UDG11: Between the curb and the building setback line, include generous plantings of large trees, signage and lighting, and a wide sidewalk.
KR-UDG12: Provide a minimum sidewalk width of ten feet.
KR-UDG13: Protect all existing street trees over 3" caliper along Kifer Road.
KR-UDG14: Infill areas that lack existing trees with new street tree plantings.
KR-UDG15: Complement the existing character of the street by infilling new trees in an informal arrangement with a variety of species.

- Existing Redwoods along Kifer Road requires alternate site section to Lawrence Station Plan. (See Section)
Eleven Trees deemed 'significant' by City of Sunnyvale Municipal Code are being retained.

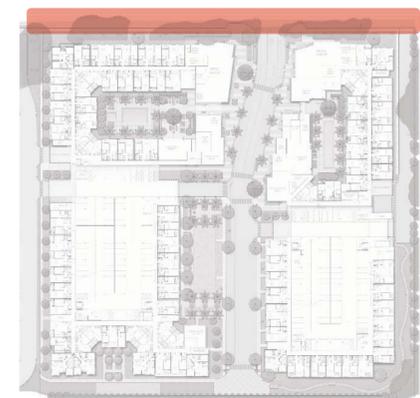
LEGEND

- 1 Entry
2 Existing Street Light
3 Enhanced Pedestrian Paving
4 Pedestrian Bulb Out
5 Crosswalk - Enhanced Paving
6 Pedestrian Scale Lighting
7 Landscaped Area
8 Existing Redwood to Remain
9 Property Line



SITE SECTION

Scale 1/8"=1'-0"



## LAWRENCE STATION AREA PLAN DESIGN GUIDELINES

### RETAIL GOALS

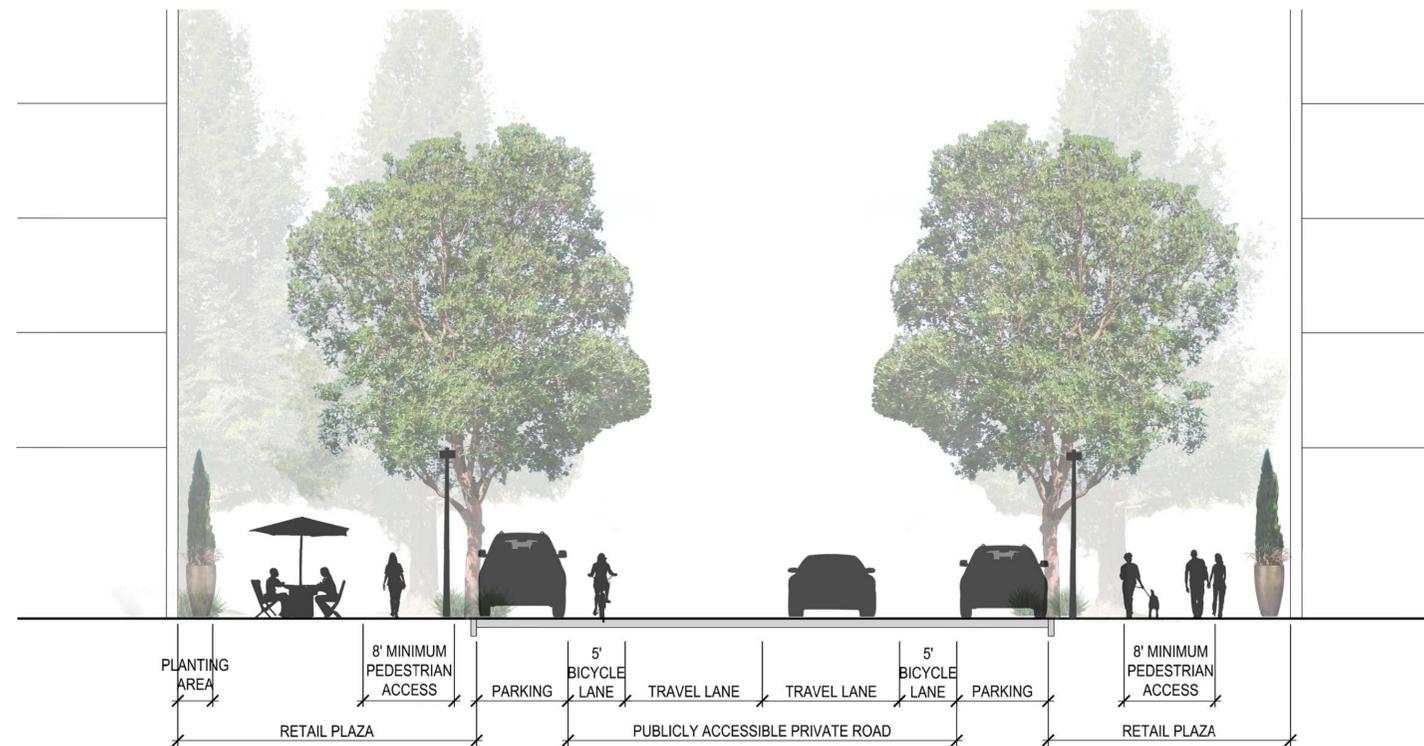
- R-G1 Encourage a variety of retail uses.
- R-G2 Provide retail that supports the needs of surrounding neighborhoods.
- R-G3 Do not encourage regional-serving retail.
- R-G4 Provide retail that is convenient and accessible to pedestrians and transit users.
- R-G5 Do not encourage auto-oriented and auto serving retail.

### KIFER SITE

- Retail plaza allows for convenient and accessible retail for pedestrians and transit users.
- Retail plaza is oriented to pedestrian traffic with wide pedestrian walkways and outdoor seating.

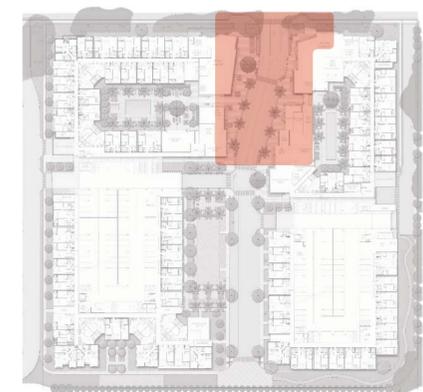
## LEGEND

- 1 Existing Street Light / Traffic Light
- 2 Enhanced Pedestrian Paving
- 3 Crosswalk - Enhanced Paving Sidewalk
- 4 Pedestrian Lighting with Planter Pot
- 5 Vehicular Parking
- 6 Private Pool Gate
- 7 Existing Redwood Trees
- 8 Pedestrian Bulbout
- 9 Outdoor Seating
- 10 Bicycle Lane
- 11 Property Line



### SITE SECTION

Scale 1/8" = 1'0"



NORTH

0 10 20 40 80



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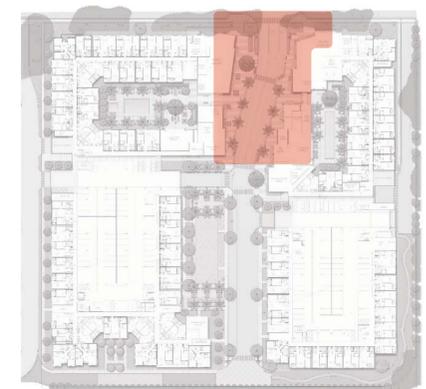
GREYSTAR GP II, LLC

Sheet Title:  
ZONE: RETAIL  
PLAZA

Job No. 15110  
Date: 10/17/2016  
Scale:  
Drawn By:

Sheet No:

L3



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## ima

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**KIFER SITE**  
 Sunnyvale, CA

**GREYSTAR GP II, LLC**

Sheet Title:  
**RETAIL PLAZA  
 DESIGN IMAGERY**

Job No. 15110  
 Date: 10/17/2016  
 Scale:  
 Drawn By:

Sheet No.:

**L4**



## LEGEND

- ① Multi-Purpose Lawn
- ② Bocce Court
- ③ Native Perennial Garden
- ④ Outdoor Seating
- ⑤ Outdoor Lunch Area
- ⑥ Enhanced Pedestrian Paving
- ⑦ Removable Bollards
- ⑧ Crosswalk - Enhanced Paving
- ⑨ Architectural Pylons
- ⑩ Enhanced Vehicular Paving
- ⑪ Publicly Accessible Private Road



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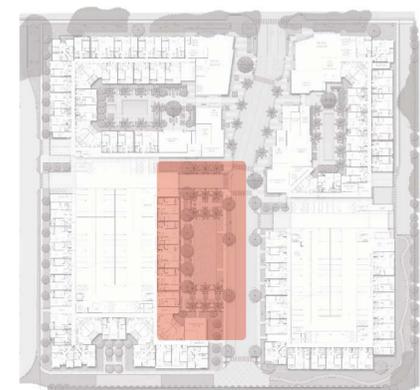
## LAWRENCE STATION AREA PLAN DESIGN GUIDELINES

### OPEN SPACE & RECREATION DESIGN GOALS

- OSG-1: Establish a system of parks and public spaces connected by green corridors and linear parks that serve and connect both new residential development and new non-residential development.
- OSG-2: Provide open space within a five- to ten minute walk of all residents and employees.
- OSG-3: Connect open space areas to local and regional bikeways and trail networks to the greatest extent possible.

### KIFER SITE

- The publicly accessible open space provides open space to all residences & employees on site in less than a five minutes walk.
- The publicly accessible open space is directly adjacent to the internal road which serves as a connection to local and regional bikeways & trail networks.



NORTH

0 10 20 40 80

KIFER SITE  
Sunnyvale, CA

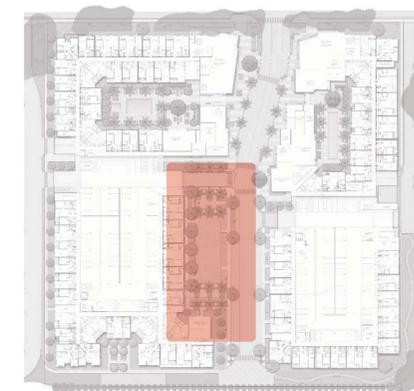
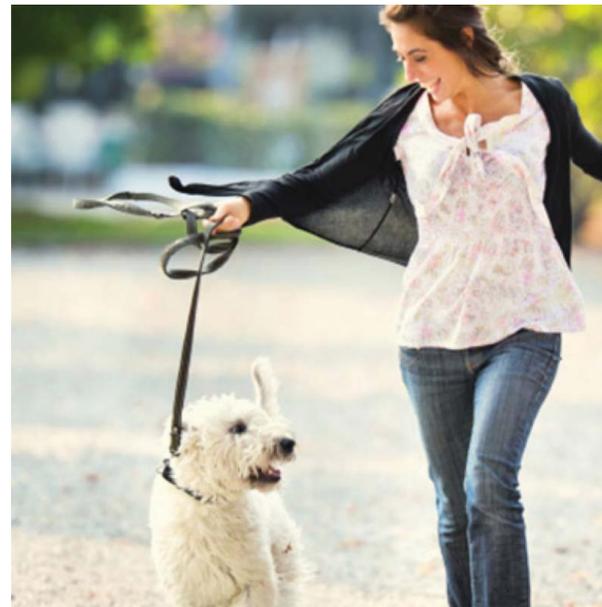
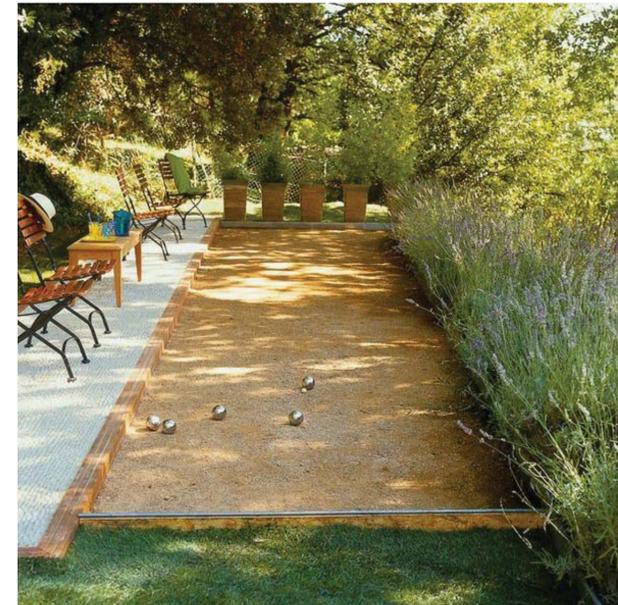
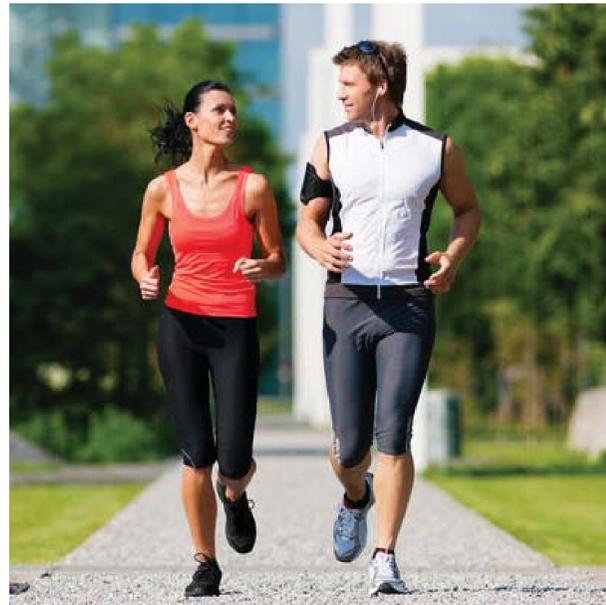
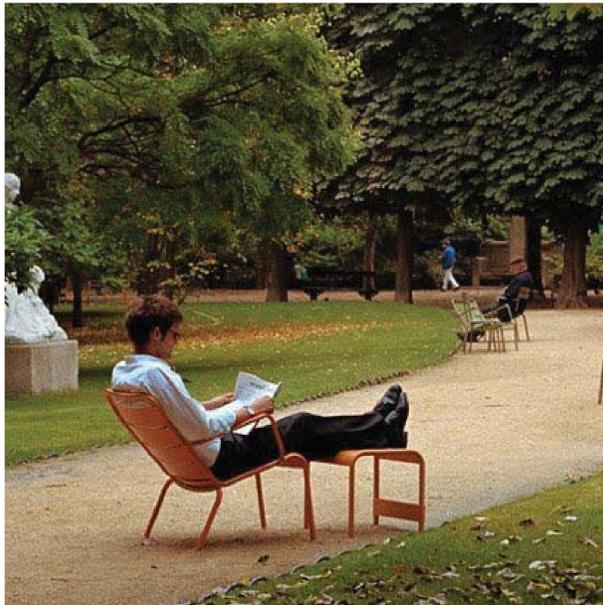
GREYSTAR GP II, LLC

Sheet Title:  
ZONE:  
PUBLICLY  
ACCESSIBLE PARK

Job No. 15110  
Date: 10/17/2016  
Scale:  
Drawn By:

Sheet No:

L5



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**KIFER SITE**  
Sunnyvale, CA

**GREYSTAR GP II, LLC**

Sheet Title:  
**PUBLICLY  
ACCESSIBLE PARK  
DESIGN IMAGERY**

Job No. 15110  
Date: 10/17/2016  
Scale:  
Drawn By:

Sheet No:

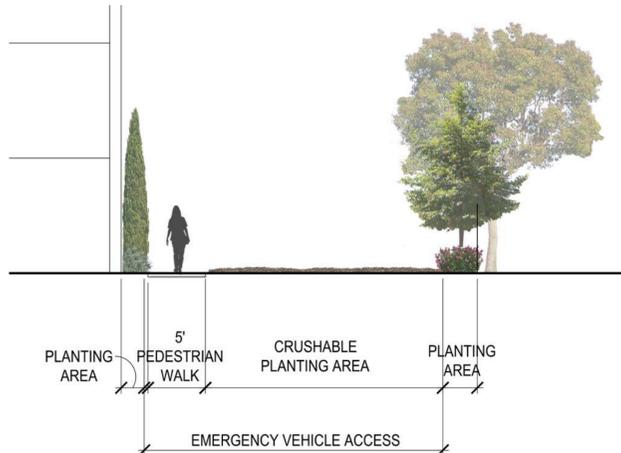
**L6**



KIFER ROAD

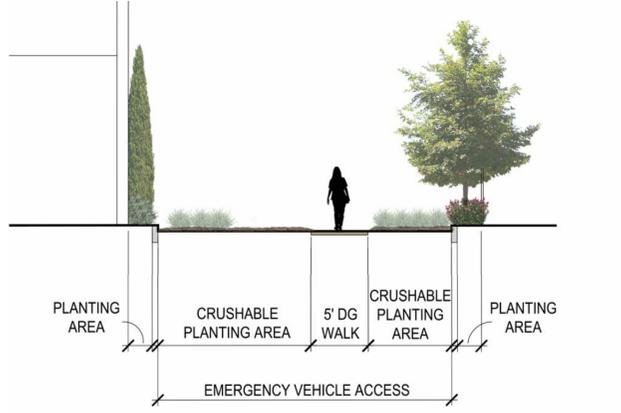
**LEGEND**

- ① Emergency Vehicle Access (E.V.A.) Lane
- ② Removable Bollards
- ③ Turf Area
- ④ Stabilized Decomposed Granite Path
- ⑤ Enhanced Vehicular Paving
- ⑥ Landscaped Area
- ⑦ Perimeter Fence at Property Line



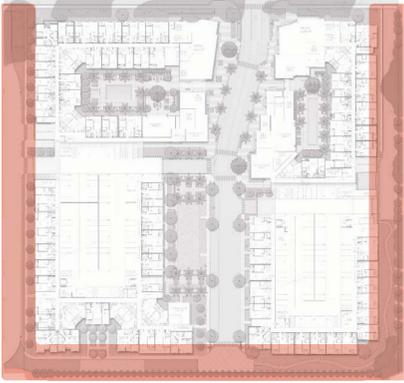
**SITE SECTION 'A'**

Scale 1/8"=1'-0"



**SITE SECTION 'B'**

Scale 1/8"=1'-0"



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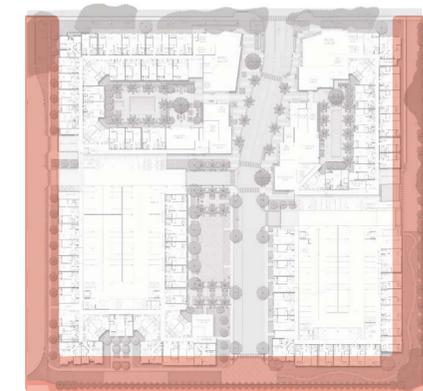
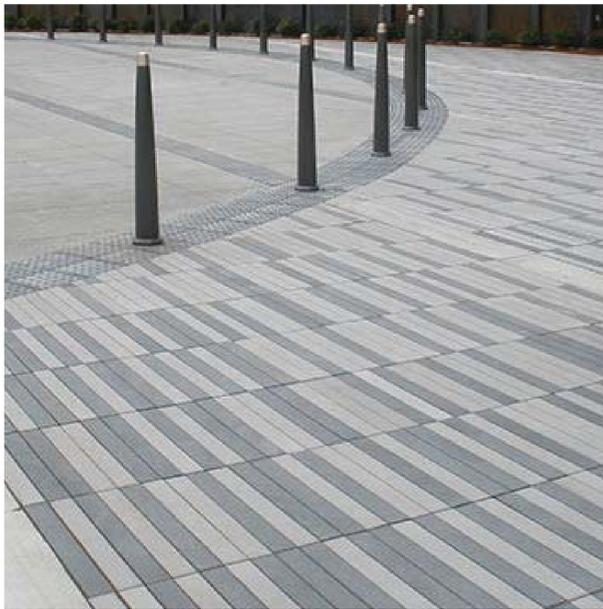
**GREYSTAR GP II, LLC**

Sheet Title:  
**ZONE: PERIMETER LANDSCAPE**

Job No. 15110  
Date: 10/17/2016  
Scale:  
Drawn By:

Sheet No:

**L7**



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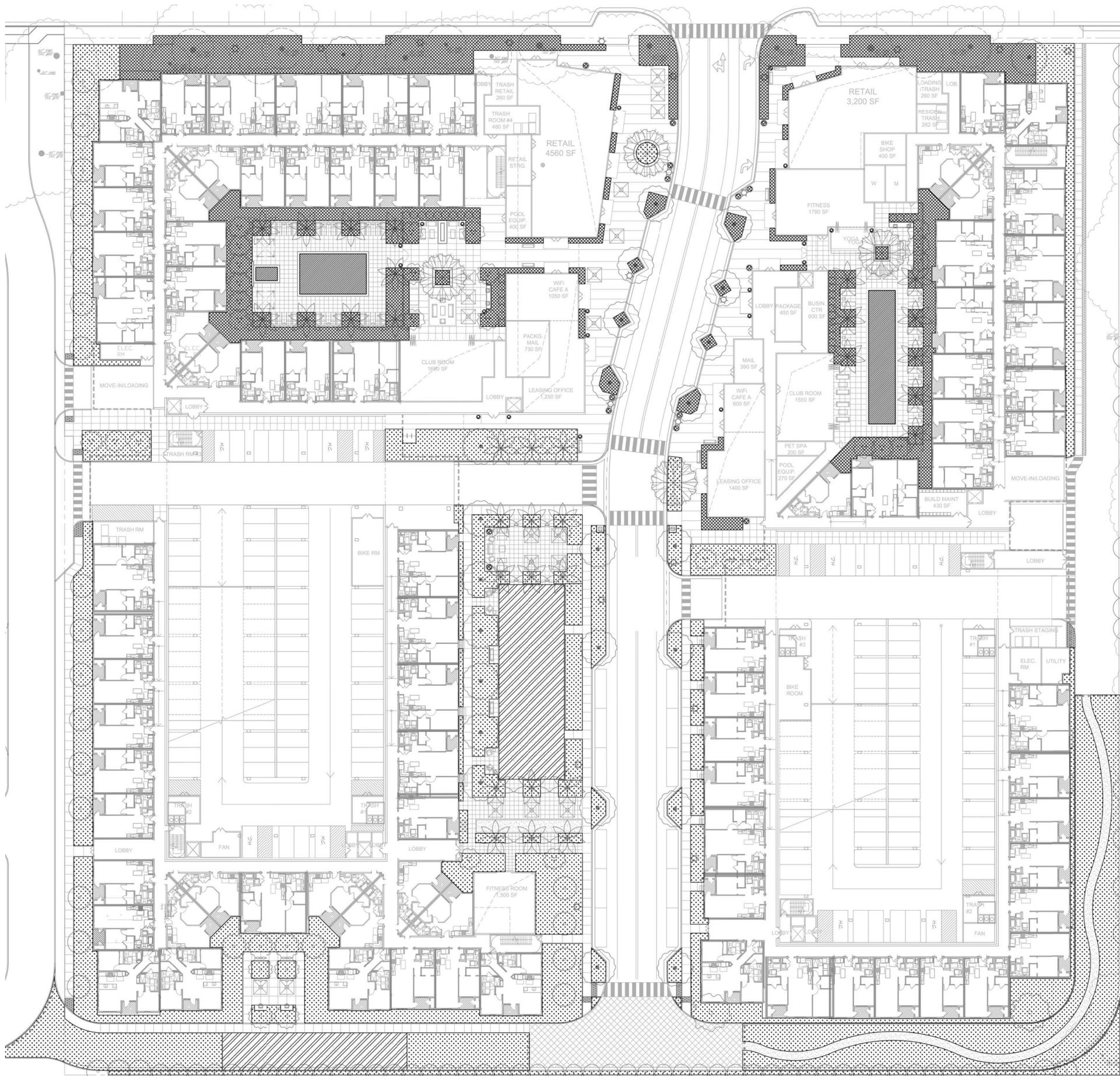
Sheet Title:  
PERIMETER  
LANDSCAPE  
DESIGN  
IMAGERY

Job No. 15110  
Date: 10/17/2016

Scale:  
Drawn By:

Sheet No:

L8



## WATER USE LEGEND

|  |                          |             |
|--|--------------------------|-------------|
|  | Low Water Use            | 43,370 s.f. |
|  | Moderate Water Use       | 19,555 s.f. |
|  | High Water Use           | 6,213 s.f.  |
|  | Water Feature (Pool/Spa) | 2,063 s.f.  |

|   |                      |                                |
|---|----------------------|--------------------------------|
| <b>MAWA = (Eto) x (0.62) x [(0.45 x LA)+(0.55 x SLA)]</b> |                      |                                |
| Eto**   | San Jose (Sunnyvale) | 45.30 Eto (inches/year)        |
| Enter total project Landscaped Area                       | 71,201               | LA (square feet)               |
| Enter Special Landscaped Area                             |                      | SLA (square feet)              |
| <b>RESULTS:</b>   |                      | 899,888.08 MAWA (gallons/year) |

\*\* Eto Values derived from Appendix A of the CA Model Water Efficient Landscape Ordinance, CA Dept. of Water Resources

MAWA= Maximum applied water allowance (gallons per year)  
 Eto = Reference Evapotranspiration (inches per year)  
 0.45 = ET Adjustment Factor (ETAF) for nonresidential projects  
 LA = Planted landscaped area including SLA and not including hardscapes. Also include surface area of water features not using recycled water.  
 0.62 = Conversion Factor (to gallons per square foot)  
 SLA = Portion of the Landscaped Area identified as Special Landscaped Area. Also include surface area of water features using recycled water.  
 0.55 = The additional ET Adjustment Factor for SLA (1.0 - 0.45 = 0.55)

### Irrigation Efficiency Values

|                       |      |
|-----------------------|------|
| Drip System           | 0.81 |
| Overhead Spray System | 0.75 |
| Water Feature/Other   | 0.75 |

| Plant Water Use Type | Plant Factor |
|----------------------|--------------|
| Very Low             | 0 - 0.1      |
| Low                  | 0.2 - 0.3    |
| Moderate             | 0.4 - 0.6    |
| High                 | 0.7 - 1.0    |
| Water Feature (High) | 1.0          |
| SLA                  | 1.0          |

ETWU = Estimated total water use per year (gallons per year)  
 Eto = Reference Evapotranspiration (inches per year)  
 PF = Plant Factor from WUCOLS\* or equivalent reference subject to approval  
 HA = Hydrozone Area (square feet)  
 SLA = Special Landscaped Area (square feet)  
 0.62 = Conversion Factor (to gallons per square foot)  
 IE = Average Irrigation Efficiency (minimum 0.75, assumed to be 0.76 for overhead spray system and 0.81 for drip system)

### HYDROZONE TABLE

| Hydrozone             | Plant Water Use Type(s) | Plant Factor (PF) | Irrigation Type       | Irrigation Efficiency (IE) | Hydrozone Area (HA) (sq ft) | [PF x HA]/IE (sq ft) |
|-----------------------|-------------------------|-------------------|-----------------------|----------------------------|-----------------------------|----------------------|
| Zone 1                | Low                     | 0.2               | Drip System           | 0.81                       | 43,370                      | 10,709               |
| Zone 2                | Moderate                | 0.5               | Drip System           | 0.81                       | 17,475                      | 10,787               |
| Zone 3                | High                    | 0.8               | Overhead Spray System | 0.75                       | 6,213                       | 6,627                |
| Zone 4 (Trees)        | Moderate                | 0.4               | Drip System           | 0.81                       | 1,440                       | 711                  |
| Zone 5 (Palms)        | Moderate                | 0.5               | Drip System           | 0.81                       | 640                         | 395                  |
| Zone 6 (Pool and Spa) | Water Feature (High)    | 1.0               | Water Feature/Other   | 0.75                       | 2,063                       | 2,751                |
| SLA                   |                         | 1                 |                       |                            | 0                           |                      |
| Sum                   |                         |                   |                       |                            | 71,201                      | 31,980               |

|                |                |                |              |
|----------------|----------------|----------------|--------------|
| <b>RESULTS</b> | MAWA = 899,888 | ETWU = 898,182 | gallons/year |
|----------------|----------------|----------------|--------------|

ETWU must be less than or equal to MAWA

ETWU complies with MAWA



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Sheet Title:  
**HYDROZONE PLAN  
 & PRELIMINARY  
 WATER USE  
 CALCULATIONS**

Job No. 15110  
 Date: 10/17/2016  
 Scale: NA  
 Drawn By:

Sheet No:



NORTH

L9

0 15 30 60 120



## PLANT PALETTE

### TREES

| BOTANIC NAME                            | COMMON NAME        | COMMENTS           |
|---|--------------------|--------------------|
| <i>Carpinus betulus 'fastigiata'</i>    | European Hornbeam  | Moderate Water Use |
| <i>Cercis canadensis 'Forest Pansy'</i> | Redbud             | Low Water Use      |
| <i>Lagerstroemia 'Natchez'</i>          | Crape Myrtle       | Moderate Water Use |
| <i>Lophostemon confertus</i>            | Brisbane Box       | Moderate Water Use |
| <i>Laurus nobilis 'Saratoga'</i>        | Saratoga Laurel    | Low Water Use      |
| <i>Olea europaea 'Swan Hill'</i>        | Olive              | Low Water Use      |
| <i>Podocarpus m. 'Maki'</i>             | Japanese Yew       | Moderate Water Use |
| <i>Phoenix dactylifera</i>              | Date Palm          | Moderate Water Use |
| <i>Pistacia chinensis</i>               | Chinese Pistache   | Moderate Water Use |
| <i>Platanus x acerifolia</i>            | London Plane Tree  | Moderate Water Use |
| <i>Zelkova serrata 'Green Vase'</i>     | Green Vase Zelkova | Moderate Water Use |

### SHRUBS

| BOTANIC NAME                        | COMMON NAME                 | COMMENTS               |
|-------------------------------------|-----------------------------|------------------------|
| <i>Arbutus unedo 'Compacta'</i>     | Strawberry Tree             | Low Water Use          |
| <i>Arbutus unedo 'Marina'</i>       | Marina Strawberry Tree      | Low Water Use          |
| <i>Artemesia c. 'Montara'</i>       | Montara Sagebush            | Native / Low Water Use |
| <i>Citrus</i>                       | Improved Meyer Lemon        | Low Water Use          |
| <i>Cistus purpureus</i>             | Orchid Rock Base            | Low Water Use          |
| <i>Dietes 'Lemon Drops'</i>         | Fortnight Lily              | Low Water Use          |
| <i>Dodonea viscosa</i>              | Hopseed Bush                | Low Water Use          |
| <i>Euphorbia characias wulfenii</i> | Euphorbia                   | Low Water Use          |
| <i>Hemerocallis hybrids</i>         | Evergreen Daylily           | Moderate Water Use     |
| <i>Heteromeles arbutiflora</i>      | Toyon                       | Native / Low Water Use |
| <i>Loropetalum chinese</i>          | Fringe Flower               | Low Water Use          |
| <i>Phormium 'Sea Jade'</i>          | New Zealand Flax            | Low Water Use          |
| <i>Phormium 'Monrovia Red'</i>      | New Zealand Flax            | Low Water Use          |
| <i>Prunus ilicifolia</i>            | Hollyleaf Cherry            | Native / Low Water Use |
| <i>Rhamnus c. 'Mound San Bruno'</i> | Mound San Bruno Coffeeberry | Native / Low Water Use |
| <i>Ribes viburnifolium</i>          | Catalina Perfume            | Native / Low Water Use |
| <i>Rosa californica</i>             | California Rose             | Native / Low Water Use |
| <i>Rosmarinus a. 'Ken Taylor'</i>   | Rosemary                    | Low Water Use          |

### PERENNIALS, FERNS & GRASSES

| BOTANIC NAME                              | COMMON NAME          | COMMENTS               |
|---|----------------------|------------------------|
| <i>Calamagrostis acutifolia 'Stricta'</i> | Feather Reed Grass   | Low Water Use          |
| <i>Helictotrichon sempervirens</i>        | Blue Oat Grass       | Low Water Use          |
| <i>Juncus patens 'Elk Blue'</i>           | California Gray Rush | Native                 |
| <i>Muhlenbergia 'Regal mist'</i>          | Purple Deer Grass    | Native / Low Water Use |
| <i>Carex elata 'Aurea'</i>                | Aurea Sedge          | Native / Low Water Use |
| <i>Polystichum munitum</i>                | Sword Fern           | Native                 |

### GROUNDCOVER

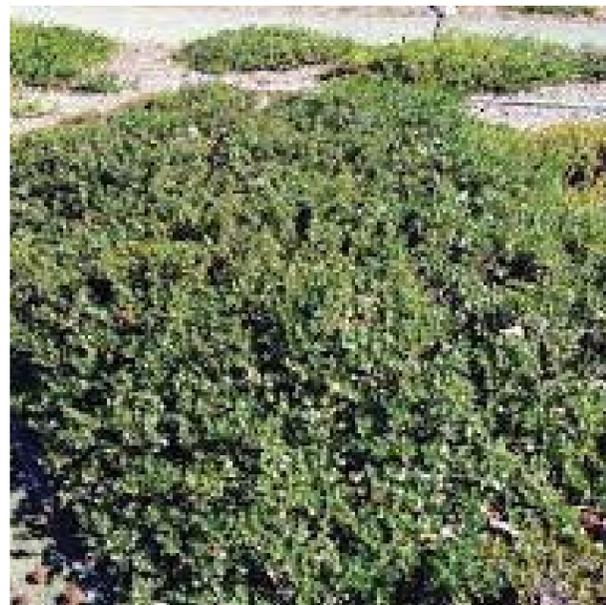
| BOTANIC NAME                               | COMMON NAME               | COMMENTS               |
|--|---------------------------|------------------------|
| <i>Arctostaphylos 'Pacific Mist'</i>       | Manzanita                 | Native / Low Water Use |
| <i>Baccharis pilularis</i>                 | Coyote Bush               | Native / Low Water Use |
| <i>Dymondia margaretae</i>                 | Dymondia                  | Native / Low Water Use |
| <i>Erigeron karvinskianus</i>              | Santa Barbara Daisy       | Native / Low Water Use |
| <i>Festuca glauca</i>                      | Blue Fescue               | Low Water Use          |
| <i>Iris douglasiana 'P. Coast Hybrids'</i> | Pacific Coast Hybrid Iris | Native / Low Water Use |
| <i>Rosmarinus officinalis 'Irene'</i>      | Rosemary                  | Low Water Use          |
| <i>Sarcococca hookerana humilis</i>        | Sweet Box                 | Low Water Use          |
| <i>Trachelospermum jasminoides</i>         | Star Jasmine              | Moderate Water Use     |
| <i>Zauschneria c. 'Everett's Choice'</i>   | California Fuchsia        | Native / Low Water Use |
| <i>Leynus Triticoides</i>                  | Native Creeping Wildrye   | Native / Low Water Use |

### VINES

| BOTANIC NAME                                | COMMON NAME            | COMMENTS      |
|---|------------------------|---------------|
| <i>Bougainvillea 'Palmer's Enchantment'</i> | Bougainvillea          | Low Water Use |
| <i>Distictis buccinatoria</i>               | Blood-Red Trumpet Vine | Low Water Use |
| <i>Polygonum aubertii</i>                   | Silver Lace Vine       | Low Water Use |

### PLANT SIZING

1. All Trees to be 24" Box minimum.
2. All Shrubs to be 5 Gallon minimum.
3. All Perennials, Ferns, Grasses and Groundcover to be 1 Gallon minimum.
4. All Vines to be 5 Gallon minimum.



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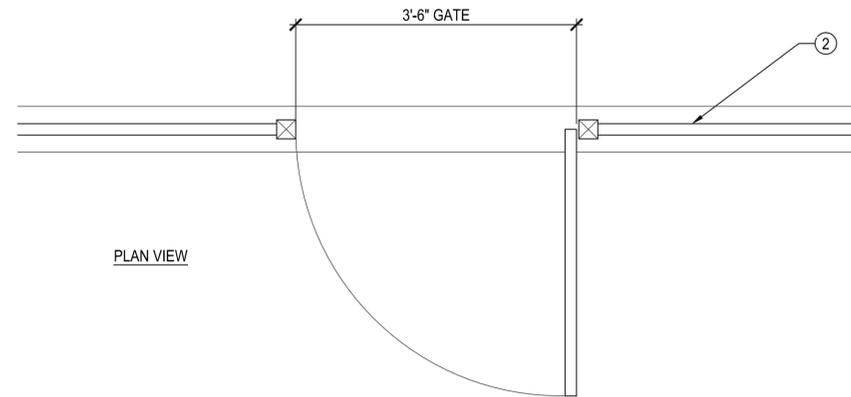
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Sheet Title:  
PLANT PALETTE &  
IMAGERY

Job No. 15110  
Date: 10/17/2016  
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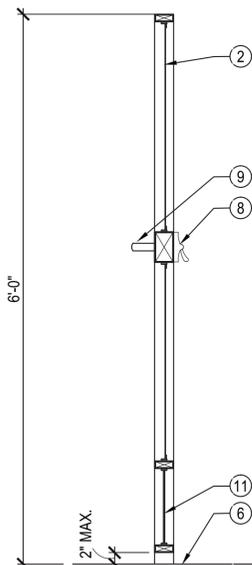
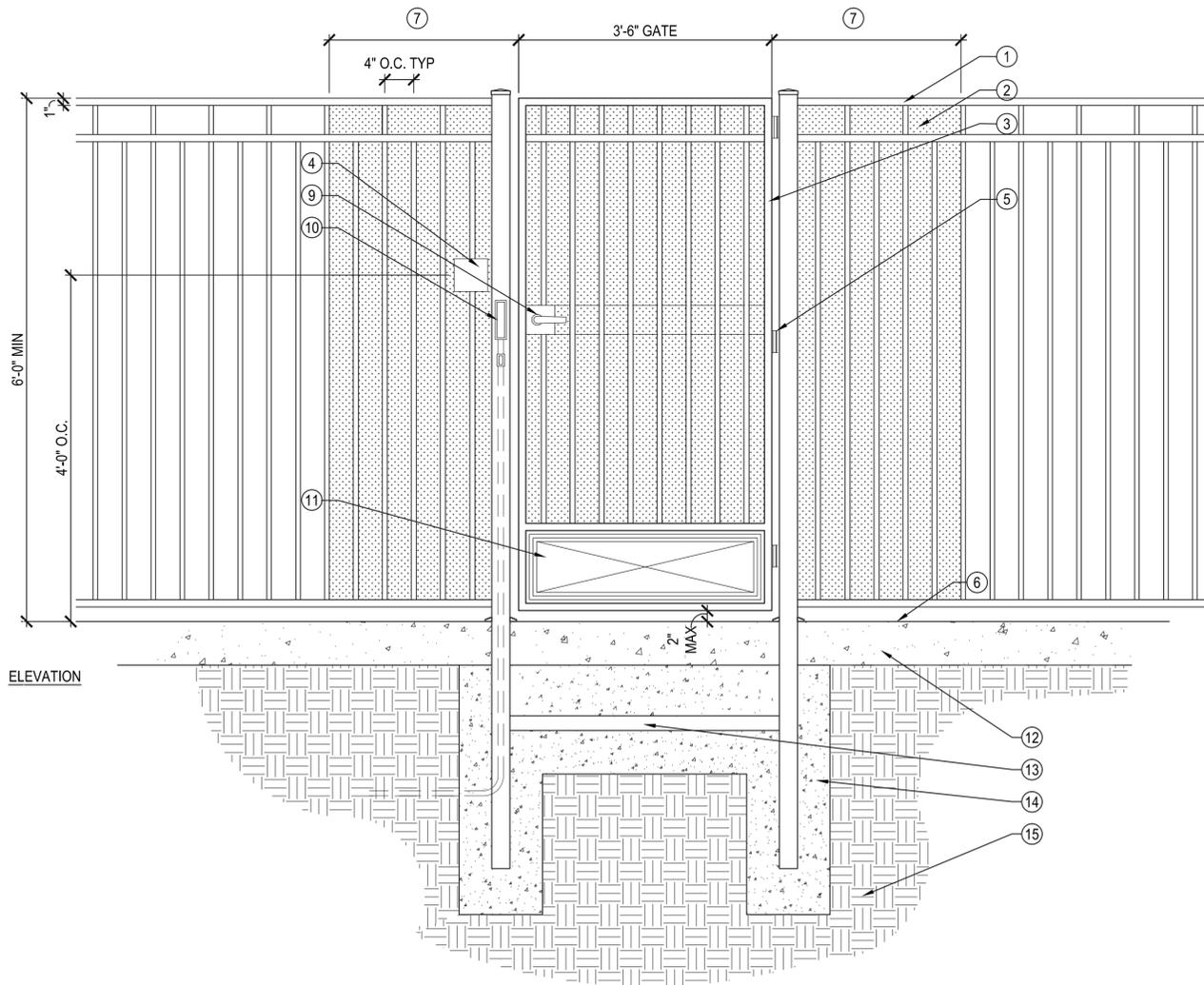
Sheet No:

L10



**LEGEND**

- ① POOL ENCLOSURE FENCE
- ② GALVANIZED STEEL WIRE MESH
- ③ POOL GATE
- ④ KNOX BOX - SINGLE KEY, SUBMASTERED TO FIRE AND POLICE PER CITY OF IRVINE UNIFORM SECURITY CODE
- ⑤ HEAVY DUTY, OUTDOOR GRADE SELF-CLOSING HINGES
- ⑥ FINISH SURFACE
- ⑦ MESH TO EXTEND 2' MINIMUM
- ⑧ PANIC HARDWARE
- ⑨ GATE TRIM (HANDLE)
- ⑩ KEY FOB ACCESS READER
- ⑪ STEEL KICK PLATE
- ⑫ CONCRETE SLAB AND REINFORCEMENT, PER GEOTECHNICAL REPORT
- ⑬ HORIZONTAL SUPPORT MEMBER,
- ⑭ CONCRETE FOOTING, SIZE AND REINFORCEMENT REFER TO STRUCTURAL ENGINEER'S DRAWINGS
- ⑮ COMPACTED SUBGRADE, PER GEOTECHNICAL REPORT



**NOTES**

- 1. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT
- 2. ALL WELDS SHALL BE CONTINUOUS 1/8" FILLET, GROUND SMOOTH
- 3. ALL CHANGES IN TOP OF FENCE ELEVATIONS SHALL OCCUR IN 6" INTERVALS SO THAT TOP HORIZONTAL MEMBERS ARE ALIGNED

**POOL ENCLOSURE GATE**

Scale: 1" = 1'-0"

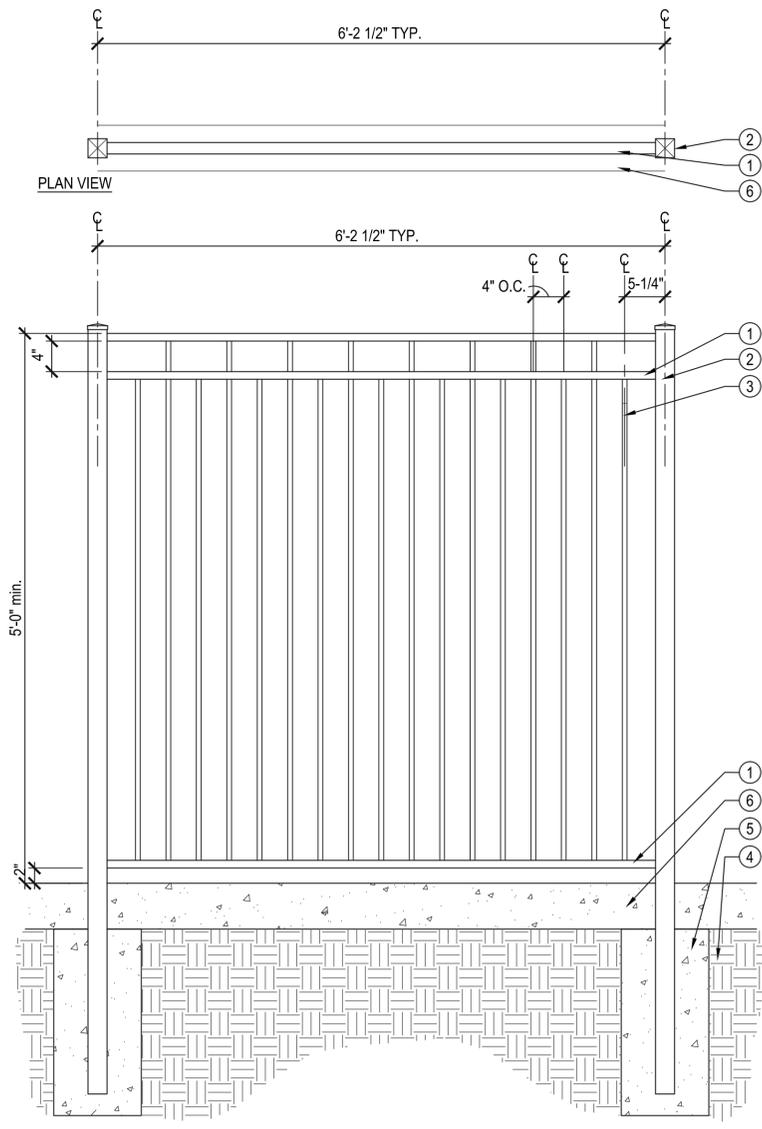
2

**NOTES**

- 1. CONTRACTOR SHALL REFER TO MASTER CONSTRUCTION SCHEDULE ON SHEET L-300 FOR COLOR AND FINISH
- 2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT
- 3. ALL WELDS SHALL BE CONTINUOUS 1/8" FILLET, GROUND SMOOTH
- 4. ALL CHANGES IN TOP OF FENCE ELEVATIONS SHALL OCCUR IN 6" INTERVALS SO THAT TOP HORIZONTAL MEMBERS ARE ALIGNED

**LEGEND**

- ① HORIZONTAL MEMBER, TUBULAR STEEL LAID FLAT
- ② STEEL POST, SQUARE TUBE STEEL
- ③ VERTICAL PICKET, SQUARE TUBE STEEL
- ④ COMPACTED SUBGRADE, PER GEOTECHNICAL REPORT
- ⑤ CONCRETE FOOTING, PER STRUCTURAL ENGINEER'S PLANS
- ⑥ CONCRETE POOL DECK OR 6" WIDE BY 6" DEEP CONCRETE HEADER STRIP UNDER POOL ENCLOSURE FENCE



SECTION

**POOL ENCLOSURE/PERIMETER FENCE**

Scale: 1" = 1'-0"

1



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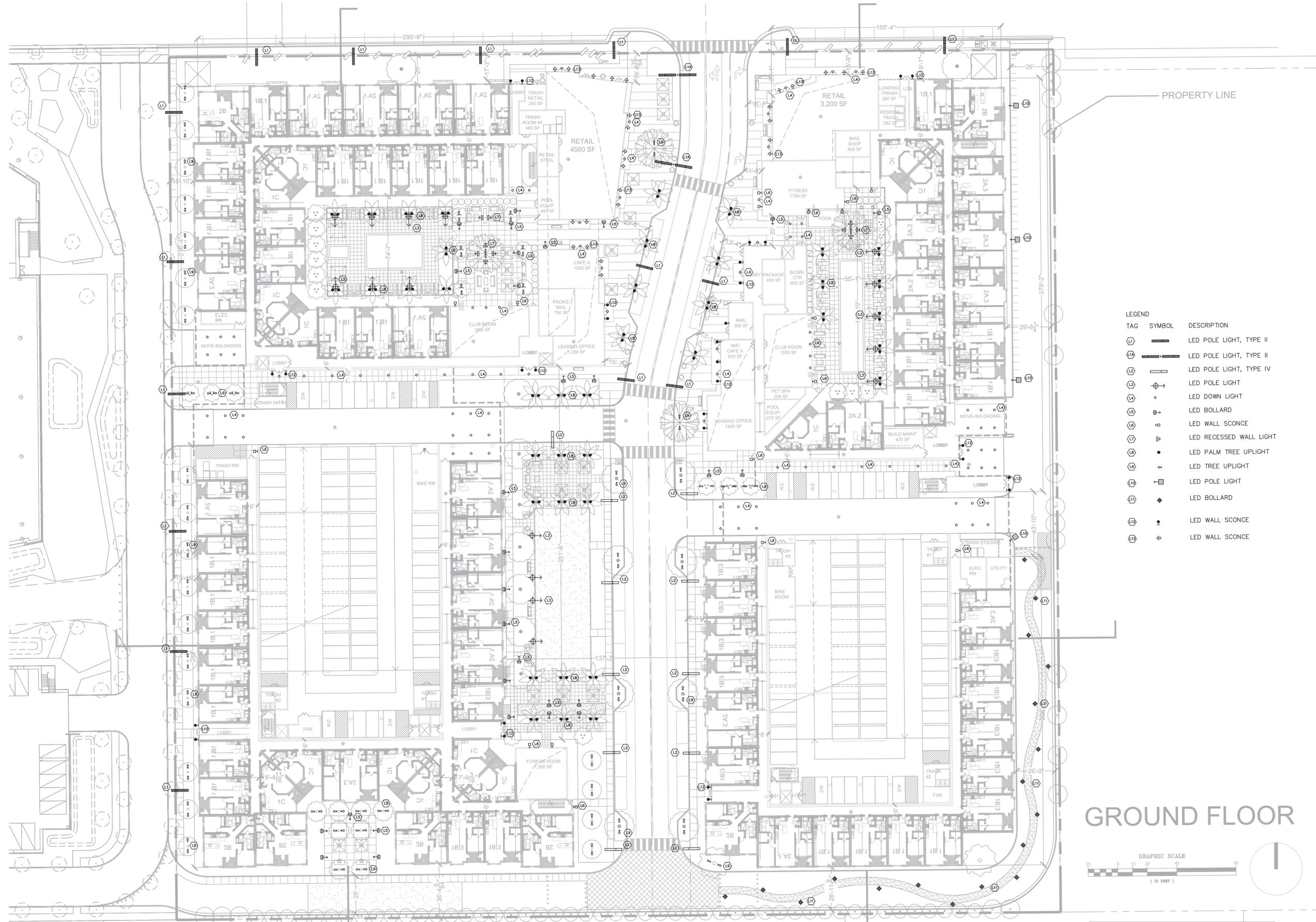
**GREYSTAR GP II, LLC**

Sheet Title:  
**CONSTRUCTION  
DETAILS -  
METALWORK**

Job No. 15110  
Date: 10/17/2016  
Scale:  
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Sheet No:

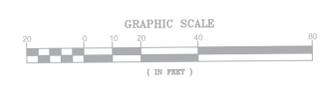
**L11**



LEGEND

| TAG | SYMBOL | DESCRIPTION             |
|-----|--------|-------------------------|
| L1  | —      | LED POLE LIGHT, TYPE II |
| L2  | —      | LED POLE LIGHT, TYPE II |
| L3  | —      | LED POLE LIGHT, TYPE IV |
| L4  | —      | LED POLE LIGHT          |
| L5  | •      | LED DOWN LIGHT          |
| L6  | —      | LED BOLLARD             |
| L7  | —      | LED WALL SCONCE         |
| L8  | —      | LED RECESSED WALL LIGHT |
| L9  | •      | LED PALM TREE UPLIGHT   |
| L10 | •      | LED TREE UPLIGHT        |
| L11 | —      | LED POLE LIGHT          |
| L12 | —      | LED BOLLARD             |
| L13 | •      | LED WALL SCONCE         |
| L14 | •      | LED WALL SCONCE         |

GROUND FLOOR



NOT FOR CONSTRUCTION



: Architecture  
 : Planning  
 : Urban Design  
 : 304 12th Street, Suite 2A  
 : Oakland, California 94607  
 : (510) 451 - 2850

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KIFER SITE  
 Sunnyvale, California

GREYSTAR



3410 Lakeshore Ave  
 Suite 201  
 Oakland, CA 94610  
 510-835-7600

Sheet Title:  
**SITE LIGHTING PLAN**

Job No. 13031  
 Date: 10/17/2016  
 Scale: 1/32" = 1'-0"

Sheet No:  
**LT.S1**



### LS45XL LED Photometrics

At Grade L8

Photometrics Report data is based on test results from a MDT BeamLab testing facility. All data is available at [www.brooks.com](http://www.brooks.com).  
 Note: Measurements are based on a 1000mm x 1000mm x 1000mm test volume.

**Beam Spread**

| Beam Angle | Beam Diameter (mm) | Beam Area (mm²) | Beam Volume (mm³) |
|------------|--------------------|-----------------|-------------------|
| 10°        | 314                | 98,600          | 3,141,593         |
| 15°        | 471                | 223,669         | 10,602,875        |
| 20°        | 628                | 394,380         | 25,132,741        |
| 25°        | 785                | 615,752         | 47,123,889        |
| 30°        | 942                | 887,904         | 76,681,439        |
| 35°        | 1099               | 120,985         | 113,411,766       |
| 40°        | 1256               | 158,013         | 157,082,208       |
| 45°        | 1413               | 199,981         | 207,692,750       |
| 50°        | 1570               | 246,989         | 265,253,292       |
| 55°        | 1727               | 298,997         | 329,763,834       |
| 60°        | 1884               | 355,965         | 401,224,376       |
| 65°        | 2041               | 417,893         | 480,634,918       |
| 70°        | 2198               | 484,781         | 567,995,460       |
| 75°        | 2355               | 556,629         | 663,305,902       |
| 80°        | 2512               | 633,437         | 766,566,344       |
| 85°        | 2669               | 715,205         | 878,776,786       |
| 90°        | 2826               | 801,933         | 999,937,228       |

**Beam Spread**

| Beam Angle | Beam Diameter (mm) | Beam Area (mm²) | Beam Volume (mm³) |
|------------|--------------------|-----------------|-------------------|
| 10°        | 314                | 98,600          | 3,141,593         |
| 15°        | 471                | 223,669         | 10,602,875        |
| 20°        | 628                | 394,380         | 25,132,741        |
| 25°        | 785                | 615,752         | 47,123,889        |
| 30°        | 942                | 887,904         | 76,681,439        |
| 35°        | 1099               | 1,209,852       | 113,411,766       |
| 40°        | 1,256              | 1,580,130       | 157,082,208       |
| 45°        | 1,413              | 1,999,808       | 207,692,750       |
| 50°        | 1,570              | 2,469,686       | 265,253,292       |
| 55°        | 1,727              | 2,989,564       | 329,763,834       |
| 60°        | 1,884              | 3,559,442       | 401,224,376       |
| 65°        | 2,041              | 4,179,320       | 480,634,918       |
| 70°        | 2,198              | 4,849,198       | 567,995,460       |
| 75°        | 2,355              | 5,569,076       | 663,305,902       |
| 80°        | 2,512              | 6,338,954       | 766,566,344       |
| 85°        | 2,669              | 7,158,832       | 878,776,786       |
| 90°        | 2,826              | 8,018,710       | 999,937,228       |

**Beam Spread**

| Beam Angle | Beam Diameter (mm) | Beam Area (mm²) | Beam Volume (mm³) |
|------------|--------------------|-----------------|-------------------|
| 10°        | 314                | 98,600          | 3,141,593         |
| 15°        | 471                | 223,669         | 10,602,875        |
| 20°        | 628                | 394,380         | 25,132,741        |
| 25°        | 785                | 615,752         | 47,123,889        |
| 30°        | 942                | 887,904         | 76,681,439        |
| 35°        | 1,099              | 1,209,852       | 113,411,766       |
| 40°        | 1,256              | 1,580,130       | 157,082,208       |
| 45°        | 1,413              | 1,999,808       | 207,692,750       |
| 50°        | 1,570              | 2,469,686       | 265,253,292       |
| 55°        | 1,727              | 2,989,564       | 329,763,834       |
| 60°        | 1,884              | 3,559,442       | 401,224,376       |
| 65°        | 2,041              | 4,179,320       | 480,634,918       |
| 70°        | 2,198              | 4,849,198       | 567,995,460       |
| 75°        | 2,355              | 5,569,076       | 663,305,902       |
| 80°        | 2,512              | 6,338,954       | 766,566,344       |
| 85°        | 2,669              | 7,158,832       | 878,776,786       |
| 90°        | 2,826              | 8,018,710       | 999,937,228       |

**Beam Spread**

| Beam Angle | Beam Diameter (mm) | Beam Area (mm²) | Beam Volume (mm³) |
|------------|--------------------|-----------------|-------------------|
| 10°        | 314                | 98,600          | 3,141,593         |
| 15°        | 471                | 223,669         | 10,602,875        |
| 20°        | 628                | 394,380         | 25,132,741        |
| 25°        | 785                | 615,752         | 47,123,889        |
| 30°        | 942                | 887,904         | 76,681,439        |
| 35°        | 1,099              | 1,209,852       | 113,411,766       |
| 40°        | 1,256              | 1,580,130       | 157,082,208       |
| 45°        | 1,413              | 1,999,808       | 207,692,750       |
| 50°        | 1,570              | 2,469,686       | 265,253,292       |
| 55°        | 1,727              | 2,989,564       | 329,763,834       |
| 60°        | 1,884              | 3,559,442       | 401,224,376       |
| 65°        | 2,041              | 4,179,320       | 480,634,918       |
| 70°        | 2,198              | 4,849,198       | 567,995,460       |
| 75°        | 2,355              | 5,569,076       | 663,305,902       |
| 80°        | 2,512              | 6,338,954       | 766,566,344       |
| 85°        | 2,669              | 7,158,832       | 878,776,786       |
| 90°        | 2,826              | 8,018,710       | 999,937,228       |

### Wiring Diagrams

Technical Data L8

Diagram 1 - 10-15 VDC for Low Voltage LED Luminaires

Diagram 2 - 10-15 VDC for Low Voltage LED Luminaires on 12-15 V AC Circuit

Diagram 3 - 10-15 VDC for Low Voltage LED Luminaires on 120-240 V AC Circuit

### Transformer / Power Supply Specifications

Technical Data L8

Diagram 1 - 10-15 VDC for Low Voltage LED Luminaires on 120-240 V AC Circuit

### Transformers and Power Supply Compatibility

Technical Data L8

Transformers and Power Supplies for Low Voltage LED Luminaires

Minimum Transformer Specifications

| Transformer | Power (VA) | Output Voltage (V) | Current (A) |
|-------------|------------|--------------------|-------------|
| 1           | 10         | 12                 | 0.83        |
| 2           | 15         | 12                 | 1.25        |
| 3           | 20         | 12                 | 1.67        |
| 4           | 25         | 12                 | 2.08        |
| 5           | 30         | 12                 | 2.50        |
| 6           | 35         | 12                 | 2.92        |
| 7           | 40         | 12                 | 3.33        |
| 8           | 45         | 12                 | 3.75        |
| 9           | 50         | 12                 | 4.17        |
| 10          | 55         | 12                 | 4.58        |
| 11          | 60         | 12                 | 5.00        |
| 12          | 65         | 12                 | 5.42        |
| 13          | 70         | 12                 | 5.83        |
| 14          | 75         | 12                 | 6.25        |
| 15          | 80         | 12                 | 6.67        |
| 16          | 85         | 12                 | 7.08        |
| 17          | 90         | 12                 | 7.50        |
| 18          | 95         | 12                 | 7.92        |
| 19          | 100        | 12                 | 8.33        |
| 20          | 105        | 12                 | 8.75        |
| 21          | 110        | 12                 | 9.17        |
| 22          | 115        | 12                 | 9.58        |
| 23          | 120        | 12                 | 10.00       |
| 24          | 125        | 12                 | 10.42       |
| 25          | 130        | 12                 | 10.83       |
| 26          | 135        | 12                 | 11.25       |
| 27          | 140        | 12                 | 11.67       |
| 28          | 145        | 12                 | 12.08       |
| 29          | 150        | 12                 | 12.50       |
| 30          | 155        | 12                 | 12.92       |
| 31          | 160        | 12                 | 13.33       |
| 32          | 165        | 12                 | 13.75       |
| 33          | 170        | 12                 | 14.17       |
| 34          | 175        | 12                 | 14.58       |
| 35          | 180        | 12                 | 15.00       |
| 36          | 185        | 12                 | 15.42       |
| 37          | 190        | 12                 | 15.83       |
| 38          | 195        | 12                 | 16.25       |
| 39          | 200        | 12                 | 16.67       |
| 40          | 205        | 12                 | 17.08       |
| 41          | 210        | 12                 | 17.50       |
| 42          | 215        | 12                 | 17.92       |
| 43          | 220        | 12                 | 18.33       |
| 44          | 225        | 12                 | 18.75       |
| 45          | 230        | 12                 | 19.17       |
| 46          | 235        | 12                 | 19.58       |
| 47          | 240        | 12                 | 20.00       |
| 48          | 245        | 12                 | 20.42       |
| 49          | 250        | 12                 | 20.83       |
| 50          | 255        | 12                 | 21.25       |
| 51          | 260        | 12                 | 21.67       |
| 52          | 265        | 12                 | 22.08       |
| 53          | 270        | 12                 | 22.50       |
| 54          | 275        | 12                 | 22.92       |
| 55          | 280        | 12                 | 23.33       |
| 56          | 285        | 12                 | 23.75       |
| 57          | 290        | 12                 | 24.17       |
| 58          | 295        | 12                 | 24.58       |
| 59          | 300        | 12                 | 25.00       |
| 60          | 305        | 12                 | 25.42       |
| 61          | 310        | 12                 | 25.83       |
| 62          | 315        | 12                 | 26.25       |
| 63          | 320        | 12                 | 26.67       |
| 64          | 325        | 12                 | 27.08       |
| 65          | 330        | 12                 | 27.50       |
| 66          | 335        | 12                 | 27.92       |
| 67          | 340        | 12                 | 28.33       |
| 68          | 345        | 12                 | 28.75       |
| 69          | 350        | 12                 | 29.17       |
| 70          | 355        | 12                 | 29.58       |
| 71          | 360        | 12                 | 30.00       |
| 72          | 365        | 12                 | 30.42       |
| 73          | 370        | 12                 | 30.83       |
| 74          | 375        | 12                 | 31.25       |
| 75          | 380        | 12                 | 31.67       |
| 76          | 385        | 12                 | 32.08       |
| 77          | 390        | 12                 | 32.50       |
| 78          | 395        | 12                 | 32.92       |
| 79          | 400        | 12                 | 33.33       |
| 80          | 405        | 12                 | 33.75       |
| 81          | 410        | 12                 | 34.17       |
| 82          | 415        | 12                 | 34.58       |
| 83          | 420        | 12                 | 35.00       |
| 84          | 425        | 12                 | 35.42       |
| 85          | 430        | 12                 | 35.83       |
| 86          | 435        | 12                 | 36.25       |
| 87          | 440        | 12                 | 36.67       |
| 88          | 445        | 12                 | 37.08       |
| 89          | 450        | 12                 | 37.50       |
| 90          | 455        | 12                 | 37.92       |
| 91          | 460        | 12                 | 38.33       |
| 92          | 465        | 12                 | 38.75       |
| 93          | 470        | 12                 | 39.17       |
| 94          | 475        | 12                 | 39.58       |
| 95          | 480        | 12                 | 40.00       |
| 96          | 485        | 12                 | 40.42       |
| 97          | 490        | 12                 | 40.83       |
| 98          | 495        | 12                 | 41.25       |
| 99          | 500        | 12                 | 41.67       |

### Transformer, Power Supply and Control Specifications

Technical Data L8

Transformers for Landscape Lighting Applications

LS-TM-1-200

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-1-200  | 200        | 12                 | 16.67       |
| LS-TM-1-300  | 300        | 12                 | 25.00       |
| LS-TM-1-400  | 400        | 12                 | 33.33       |
| LS-TM-1-500  | 500        | 12                 | 41.67       |
| LS-TM-1-600  | 600        | 12                 | 50.00       |
| LS-TM-1-700  | 700        | 12                 | 58.33       |
| LS-TM-1-800  | 800        | 12                 | 66.67       |
| LS-TM-1-900  | 900        | 12                 | 75.00       |
| LS-TM-1-1000 | 1000       | 12                 | 83.33       |

LS-TM-3-300

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-3-300  | 300        | 12                 | 25.00       |
| LS-TM-3-400  | 400        | 12                 | 33.33       |
| LS-TM-3-500  | 500        | 12                 | 41.67       |
| LS-TM-3-600  | 600        | 12                 | 50.00       |
| LS-TM-3-700  | 700        | 12                 | 58.33       |
| LS-TM-3-800  | 800        | 12                 | 66.67       |
| LS-TM-3-900  | 900        | 12                 | 75.00       |
| LS-TM-3-1000 | 1000       | 12                 | 83.33       |

LS-TM-1-1000

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-1-1000 | 1000       | 12                 | 83.33       |
| LS-TM-1-1200 | 1200       | 12                 | 100.00      |
| LS-TM-1-1400 | 1400       | 12                 | 116.67      |
| LS-TM-1-1600 | 1600       | 12                 | 133.33      |
| LS-TM-1-1800 | 1800       | 12                 | 150.00      |
| LS-TM-1-2000 | 2000       | 12                 | 166.67      |
| LS-TM-1-2200 | 2200       | 12                 | 183.33      |
| LS-TM-1-2400 | 2400       | 12                 | 200.00      |
| LS-TM-1-2600 | 2600       | 12                 | 216.67      |
| LS-TM-1-2800 | 2800       | 12                 | 233.33      |
| LS-TM-1-3000 | 3000       | 12                 | 250.00      |

LS-TM-3-1000

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-3-1000 | 1000       | 12                 | 83.33       |
| LS-TM-3-1200 | 1200       | 12                 | 100.00      |
| LS-TM-3-1400 | 1400       | 12                 | 116.67      |
| LS-TM-3-1600 | 1600       | 12                 | 133.33      |
| LS-TM-3-1800 | 1800       | 12                 | 150.00      |
| LS-TM-3-2000 | 2000       | 12                 | 166.67      |
| LS-TM-3-2200 | 2200       | 12                 | 183.33      |
| LS-TM-3-2400 | 2400       | 12                 | 200.00      |
| LS-TM-3-2600 | 2600       | 12                 | 216.67      |
| LS-TM-3-2800 | 2800       | 12                 | 233.33      |
| LS-TM-3-3000 | 3000       | 12                 | 250.00      |

LS-TM-1-2000

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-1-2000 | 2000       | 12                 | 166.67      |
| LS-TM-1-2200 | 2200       | 12                 | 183.33      |
| LS-TM-1-2400 | 2400       | 12                 | 200.00      |
| LS-TM-1-2600 | 2600       | 12                 | 216.67      |
| LS-TM-1-2800 | 2800       | 12                 | 233.33      |
| LS-TM-1-3000 | 3000       | 12                 | 250.00      |

LS-TM-3-2000

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-3-2000 | 2000       | 12                 | 166.67      |
| LS-TM-3-2200 | 2200       | 12                 | 183.33      |
| LS-TM-3-2400 | 2400       | 12                 | 200.00      |
| LS-TM-3-2600 | 2600       | 12                 | 216.67      |
| LS-TM-3-2800 | 2800       | 12                 | 233.33      |
| LS-TM-3-3000 | 3000       | 12                 | 250.00      |

LS-TM-1-3000

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-1-3000 | 3000       | 12                 | 250.00      |
| LS-TM-1-3200 | 3200       | 12                 | 266.67      |
| LS-TM-1-3400 | 3400       | 12                 | 283.33      |
| LS-TM-1-3600 | 3600       | 12                 | 300.00      |
| LS-TM-1-3800 | 3800       | 12                 | 316.67      |
| LS-TM-1-4000 | 4000       | 12                 | 333.33      |
| LS-TM-1-4200 | 4200       | 12                 | 350.00      |
| LS-TM-1-4400 | 4400       | 12                 | 366.67      |
| LS-TM-1-4600 | 4600       | 12                 | 383.33      |
| LS-TM-1-4800 | 4800       | 12                 | 400.00      |
| LS-TM-1-5000 | 5000       | 12                 | 416.67      |

LS-TM-3-3000

| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-3-3000 | 3000       | 12                 | 250.00      |
| LS-TM-3-3200 | 3200       | 12                 | 266.67      |
| LS-TM-3-3400 | 3400       | 12                 | 283.33      |
| LS-TM-3-3600 | 3600       | 12                 | 300.00      |
| LS-TM-3-3800 | 3800       | 12                 | 316.67      |
| LS-TM-3-4000 | 4000       | 12                 | 333.33      |
| LS-TM-3-4200 | 4200       | 12                 | 350.00      |
| LS-TM-3-4400 | 4400       | 12                 | 366.67      |
| LS-TM-3-4600 | 4600       | 12                 | 383.33      |
| LS-TM-3-4800 | 4800       | 12                 | 400.00      |
| LS-TM-3-5000 | 5000       | 12                 | 416.67      |

LS-TM-1-4000

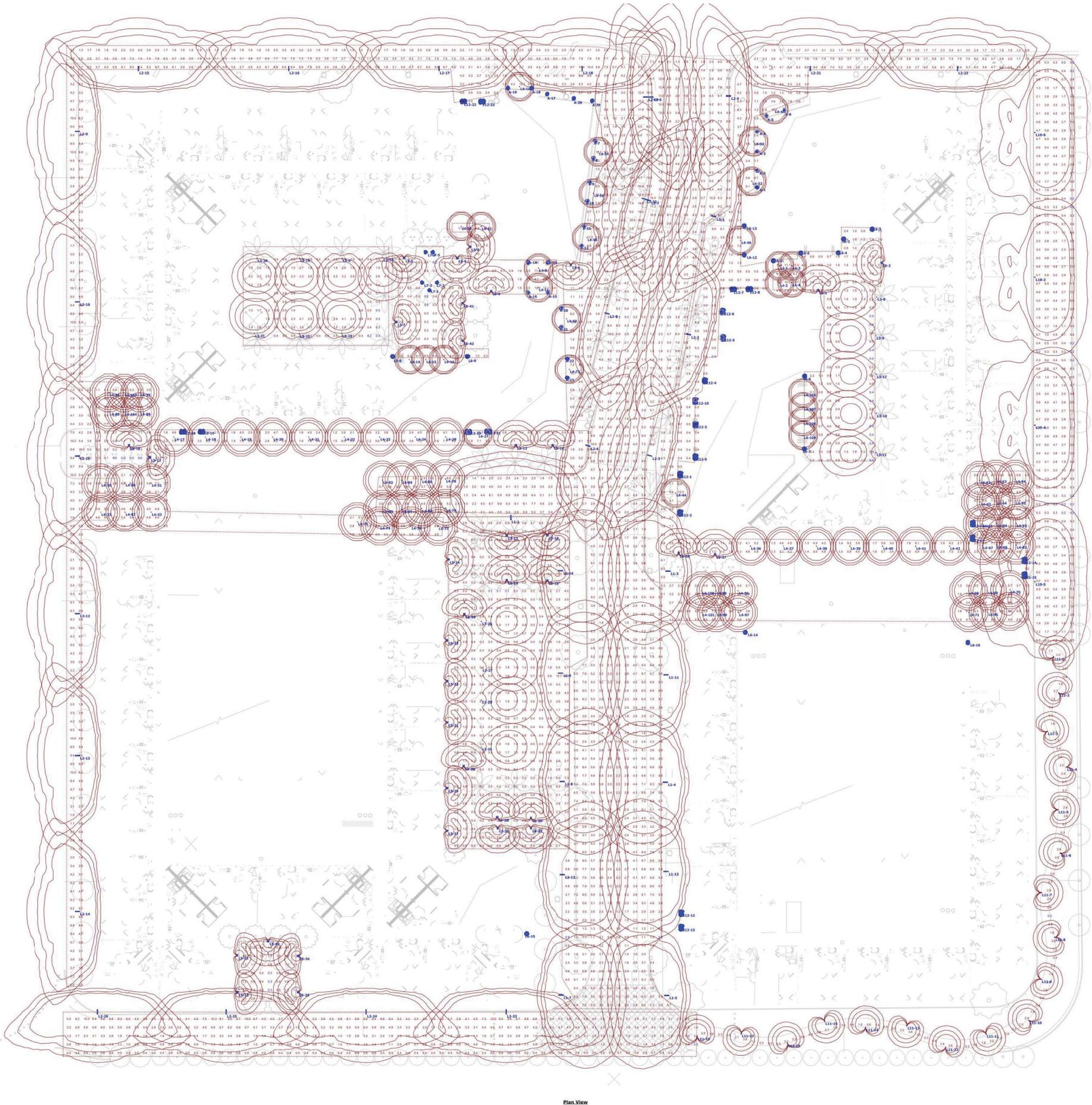
| Model        | Power (VA) | Output Voltage (V) | Current (A) |
|--------------|------------|--------------------|-------------|
| LS-TM-1-4000 | 4000       | 12                 | 333.33      |
| LS-TM-1-4200 | 4200       | 12                 | 350.00      |
| LS-TM-1-4400 | 4400       | 12                 | 366.67      |
| LS-TM-1-4600 | 4600       | 12                 | 383.33      |
| LS-TM-1-4800 | 4800       | 12                 | 400.00      |
| LS-TM-1-5000 | 5000       | 1                  |             |



: Architecture  
: Planning  
: Urban Design

: 304 12th Street, Suite 2A  
: Oakland, California 94607  
: (510) 451 - 2850

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Plan View

| Symbol   | Label | Quantity | Manufacturer                 | Catalog Number                           | Description  | Lamp             | Filename                            | Lumens Per Lamp | Light Loss Factor | Wattage | Number of Lamps |
|----------|-------|----------|------------------------------|--|--|------------------|-------------------------------------|-----------------|-------------------|---------|-----------------|
| [Symbol] | L1    | 11       | ARCHITECTUR AL AREA LIGHTING | KSX-16-9040                              | KICK FIXTURE, ALUMINUM HOUSING, LED ARRAY  |                  | KXX-14-9040.es                      | 10219           | 0.82              | 87.5    | 1               |
| [Symbol] | L2    | 26       | ARCHITECTUR AL AREA LIGHTING | KSX-16-9040                              | KICK FIXTURE, ALUMINUM HOUSING, LED ARRAY  |                  | KXX-12-9040.es                      | 9888            | 0.82              | 86.8    | 1               |
| [Symbol] | L3    | 16       | Hess America                 |  | Canopy, 4000K-45 Sail Angle - 3000K  |                  | Canopy_4000_45_Sail_Angle_3000K.es  | 1326            | 0.82              | 28      | 1               |
| [Symbol] | L4    | 91       | MP LIGHTING                  | L401-W305300R1-W                         | LED 3000K, 80+ CRI   |                  | L401-W305300R1-W.es                 | 1100            | 0.82              | 13      | 1               |
| [Symbol] | L5    | 37       | Copyright LUMICK             | NOVARR 3608/VRB-LED-WV (3000K)           | CLEAR FLAT LENS  | 376 W, 19 W      | NOVARR_VRB_3608-Output-3000K.es     | 376             | 0.82              | 19      | 1               |
| [Symbol] | L6    | 14       | BEGA                         | Converted by LUMICK to BEGUS 2014 / H.R. |  |                  | 33233                               | 1061            | 0.82              | 17      | 1               |
| [Symbol] | L7    | 5        | BEGA-US                      | 22196                                    | CAST ALUMINUM HOUSING, TRANSPARENT WHITE GLASS ENCLOSURE WITH SLOTTED CAST ALUMINUM FACE PLATE | SEX WHITE LEDS   | 22196.IES                           | 10              | 0.82              | 8.5     | 1               |
| [Symbol] | L10   | 4        | Lithonia Lighting            | DS90 LED 20C 1000 30K T25 MOUNT          | DS90 LED with 20 LEDs 81000 ma - 3000K, Type 2 Short Circuit                                   | LED              | DS90_LED_20_C_1000_30K_T25_MOUNT.es | 7305            | 0.82              | 72      | 1               |
| [Symbol] | L11   | 18       | HessAmerica                  | Lines S 902/760/600                      | Lines S Rollup - 3000K   |                  | Lines_S_3000_K.es                   | 479             | 0.82              | 10.06   | 1               |
| [Symbol] | L12   | 22       | VISA                         | OW2400                                   | WALL MOUNT VERTICAL LIGHTING   | LED 3500K CLUSTA | OW2400-L12K.es                      | 410             | 0.82              | 13      | 1               |
| [Symbol] | A     | 25       | VISA                         | OW1600                                   | Recessed Wall Mount  | LED 3000K CLUSTA | OW1600-L15K.es                      | 1408            | 0.82              | 29.25   | 1               |

| Description        | Symbol | Avg    | Max     | Min    | Max/Min | Avg/Min |
|--------------------|--------|--------|---------|--------|---------|---------|
| EVA                | +      | 2.1 fc | 6.0 fc  | 0.2 fc | 30.0:1  | 10.5:1  |
| OUTDOOR SEATING    | +      | 1.1 fc | 2.7 fc  | 0.3 fc | 9.0:1   | 3.7:1   |
| PARK               | +      | 1.2 fc | 13.3 fc | 0.1 fc | 133.0:1 | 12.0:1  |
| PEDESTRIAN PATHWAY | +      | 1.4 fc | 4.0 fc  | 0.2 fc | 20.0:1  | 7.0:1   |
| Pistache Road      | +      | 3.7 fc | 18.4 fc | 0.8 fc | 23.0:1  | 4.6:1   |
| PODIUM 1-BBQ       | +      | 1.9 fc | 15.6 fc | 0.2 fc | 78.0:1  | 9.5:1   |
| PODIUM 1-POOL DECK | +      | 1.3 fc | 4.2 fc  | 0.3 fc | 14.0:1  | 4.3:1   |
| Podium 2           | +      | 1.8 fc | 15.9 fc | 0.4 fc | 39.8:1  | 4.5:1   |
| Site-North West    | +      | 3.8 fc | 18.7 fc | 0.0 fc | N/A     | N/A     |
| SITE-NORTH-EAST    | +      | 3.4 fc | 19.3 fc | 0.3 fc | 64.3:1  | 11.3:1  |
| SITE-SOUTH         | +      | 2.6 fc | 10.2 fc | 0.3 fc | 34.0:1  | 8.7:1   |

**LUMENWORKS DISCLAIMER**  
Calculations are performed using industry-recognized software, and are provided for estimation purposes only. Input data for the calculations corresponds to the information provided to us (assumptions may be made for information that is not provided). It is the responsibility of those using this service to verify that our input data is consistent with expected field conditions. Results of the lighting calculations accurately reflect the input data.  
However, actual lighting levels will vary depending on field conditions such as room characteristics, temperature, voltage, and lamp/ballast output and other factors. Calculations are also subject to the limitations of the software. Due to the above considerations, Lumenworks cannot guarantee that actual light levels measured in the field will match our initial calculations.

**KIFER SITE**  
Sunnyvale, California  
**GREYSTAR**

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Sheet Title:  
**SITE LIGHTING CALCULATION**

Job No. 13031  
Date: 10/17/2016  
Scale: N.T.S

Sheet No:  
**LT.S4**