

# HACIENDA VILLAGE

## SUNNYVALE, CA | NOVEMBER 2025



### SHEET INDEX

- A00 COVER SHEET & SHEET INDEX
- A01 BUILDING CODE ANALYSIS
- A02 UNIT 1 & 2 FLOOR PLANS
- A03 UNIT 3 FLOOR PLANS
- A04 UNIT 4 FLOOR PLANS
- A05 BUILDING 4 FLOOR & ROOF PLANS
- A05.1 BUILDING 4 FRONT ELEVATION
- A05.2 BUILDING 4 EXTERIOR ELEVATIONS
- A06 BUILDING 5 FLOOR & ROOF PLANS
- A06.1 BUILDING 5 FRONT ELEVATION
- A06.2 BUILDING 5 EXTERIOR ELEVATIONS
- A07 BUILDING 6 FLOOR & ROOF PLANS
- A07.1 BUILDING 6 FRONT ELEVATION
- A07.2 BUILDING 6 EXTERIOR ELEVATIONS
- A08 BUILDING 7 FIRST & SECOND FLOOR PLANS
- A08.1 BUILDING 7 THIRD FLOOR & ROOF PLANS
- A08.2 BUILDING 7 FRONT ELEVATION
- A08.3 BUILDING 7 FRONT & RIGHT EXTERIOR ELEVATIONS
- A08.4 BUILDING 7 REAR & LEFT EXTERIOR ELEVATIONS
- A11 SOLAR ACCESS STUDY
- A11.1 SOLAR ACCESS STUDY
- A12 LADDER REACH REQUIREMENTS
- A12.1 LADDER REACH REQUIREMENTS
- A13 UNIT SECTIONS
- A13.1 UNIT SECTION
- A14 BUILDING 4 SECTION
- A14.1 BUILDING 5 SECTION
- A14.2 BUILDING 6 SECTION
- A14.3 BUILDING 7 SECTION
- A15 TRASH ENCLOSURE EXHIBIT
- A16 COLOR SCHEME
- GP1 GREENPOINT CHECKLIST



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COVER SHEET & SHEET INDEX  
A00

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CHAPTER 6 - TYPES OF CONSTRUCTION:

PROPOSED CONSTRUCTION TYPE:	TYPE V-B ( FULLY SPRINKLERED )
FIRE RESISTANCE FOR ALL BUILDING ELEMENTS: (TABLE 601)	
PRIMARY STRUCTURE	0 HR
BEARING WALLS	
EXTERIOR	0 HR
INTERIOR	0 HR
NON BEARING WALLS AND PARTITIONS	
EXTERIOR	SEE TABLE 602
INTERIOR	0 HR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HR
(TABLE 602)	
FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	1 HR - LESS THAN 10 FEET 0 HR - 30 FEET OR GREATER

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

SECTION 707 FIRE BARRIERS

SECTION 707.5 CONTINUITY.

FIRE BARRIERS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE AND SHALL BE SECURELY ATTACHED THERETO. SUCH FIRE BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACE, SUCH AS THE SPACE ABOVE A SUSPENDED CEILING. JOISTS AND VOIDS AT INTERSECTIONS SHALL COMPLY WITH SECTIONS 707.8 AND 707.9.

SECTION 708 FIRE PARTITIONS.

SECTION 708.3

FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HR.

SECTION 708.3 EXCEPTION 2:

DWELLING UNIT AND SLEEPING UNIT SEPARATION IN BUILDINGS OF TYPE IIB, IIIB, AND VB CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

SECTION 711 HORIZONTAL ASSEMBLIES.

SECTION 711.2.3

THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED.

SECTION 711.2.4.3 EXCEPTION

HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS AND SLEEPING UNITS SHALL BE NOT LESS THAN 1/2-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION IN A BUILDING OF TYPE IIB, IIIB, AND VB CONSTRUCTION, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

SECTION 718 CONCEALED SPACES.

SECTION 718.2.2 CONCEALED WALL SPACES.

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

SECTION 903.2.8 GROUP R.

AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA. THIS PROJECT IS PROPOSED TO BE CONSTRUCTED WITH A NFPA 13 FIRE SPRINKLER SYSTEM.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATIONS:

PROPOSED OCCUPANCY / USE TYPE:	
(SECTION 310.3 RESIDENTIAL)	R-2
(SECTION 312 PRIVATE GARAGE)	U

CHAPTER 4 - SPECIAL USE & OCCUPANCY:

MOTOR-VEHICLE-RELATED OCCUPANCIES

SECTION 406.3.1 CLASSIFICATION.

PRIVATE GARAGES AND CARPORTS SHALL BE CLASSIFIED AS GROUP U OCCUPANCIES. EACH PRIVATE GARAGE SHALL NOT BE GREATER THAN 1,000 SQUARE FEET IN AREA. MULTIPLE PRIVATE GARAGES ARE PERMITTED IN A BUILDING WHERE EACH PRIVATE GARAGE IS SEPARATED FROM THE OTHER PRIVATE GARAGE BY 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

GROUPS R-1, R-2, R-2.1, R-3, R-3.1, AND R-4

SECTION 420.2 SEPARATION WALLS.

WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.

SECTION 420.3 HORIZONTAL SEPARATION.

FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.

SECTION 420.4 AUTOMATIC SPRINKLER SYSTEM.

GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8. QUICK-RESPONSE OR RESIDENTIAL SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2.

SECTION 420.5 FIRE ALARM SYSTEMS AND SMOKE ALARMS.

FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTIONS 907.2.9 AND 907.2.10. SINGLE- OR MULTIPLE- STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 IN ACCORDANCE WITH SECTION 907.2.10.

CHAPTER - 5 BUILDING HEIGHTS & AREAS:

ALLOWABLE BUILDING HEIGHT PER C.B.C. TABLE 504.3 (SPRINKLER w/o AREA INCREASE, TYPE V-B)	60 FEET (R-2)
ACTUAL BUILDING HEIGHT	39'-10 1/2"
ALLOWABLE NUMBER OF STORIES PER C.B.C. TABLE 504.4 (SPRINKLER w/o AREA INCREASE, TYPE V-B)	3 STORIES ( R-2 )
ALLOWABLE BUILDING AREA	
R-2 PER STORY PER C.B.C. TABLE 506.2 (SM w/ HEIGHT INCREASE, TYPE V-B)	7000 SQ .FT.
U PER STORY PER C.B.C. TABLE 506.2 (SM, TYPE V-B)	16500 SQ. FT.

**BUILDING HEIGHTS FROM TOP OF CURB @ NEAREST PUBLIC STREET**

BUILDING	BUILDING TYPE	BUILDING HEIGHT RELATIVE TO TC @ NEAREST PUBLIC STREET
BUILDING 1	4 Unit	38' 4 3/4"
BUILDING 2	4 Unit	38' 3 3/4"
BUILDING 3	5 Unit	39' 10 1/2"
BUILDING 4	5 Unit	37' 6 1/2"
BUILDING 5	7 Unit	39' 3 1/2"
BUILDING 6	4 Unit	36' 0 3/4"
BUILDING 7	4 Unit	35' 10 3/4"
BUILDING 8	4 Unit	36' 4 3/4"
BUILDING 9	4 Unit	36' 3 3/4"
BUILDING 10	4 Unit	35' 10 3/4"
BUILDING 11	4 Unit	37' 11 3/4"
BUILDING 12	6 Unit	38' 11 1/4"
BUILDING 13	6 Unit	38' 9 1/4"
BUILDING 14	6 Unit	38' 10 1/4"
BUILDING 15	Retail	39' 0"

**SITE INFORMATION**

ZONING	C-1/PD
APN	205-12-001; 205-12-002; 205-12-003; 205-12-004
GROSS AREA:	4.22 +/- AC: (RESIDENTIAL PARCEL: 3.94 +/- AC; MIXED USE PARCEL: .28 +/- AC)
NET SITE AREA:	4.21 +/- AC
NUMBER OF UNITS:	67 (ROW TOWNHOMES & STACKED FLATS)

**SETBACKS**

WAIVER REQUESTED PER ATTACHED CIVIL RESPONSE LETTER	
FRONT (PROPOSED)	MIN. 5 FEET
REAR (PROPOSED)	MIN. 6 FEET
COMBINED (PROPOSED)	MIN. 20 FEET BETWEEN FRONT PORCHES

**SITE COVERAGE**

TOTAL EXISTING (COMMERCIAL)	2,900 SF
TOTAL PROPOSED (COMMERCIAL)	15,635 SF
TOTAL PROPOSED (RESIDENTIAL)	47,387 SF
TOTAL PROPOSED:	65,922 SF

SITE AREA:	183,730 SF
LOT COVERAGE:	65,922 SF / 183,730 SF = 35.9%
USABLE OPEN SPACE:	16,502 SF
PRIVATE OPEN SPACE:	7,852 SF

**PARKING**

<b>RESIDENTIAL</b>	
COVERED (PROPOSED)	134 SPACES
UNASSIGNED (PROPOSED)	32 SPACES
<b>COMMERCIAL</b>	
UNASSIGNED (PROPOSED)	50 SPACES
TOTAL SPACES PROVIDED:	216 SPACES

**DENSITY & FLOOR AREA RATIO**

COMMERCIAL FLOOR AREA RATIO	18,535 SF GROSS COMMERCIAL AREA 10% F.A.R.
RESIDENTIAL DENSITY	67 UNITS ON 4.22 ACRES GROSS RESIDENTIAL AREA 15.87 DU/AC

**BUILDING HEIGHT AND STORAGE**

PROPOSED BUILDING HEIGHTS:	RESIDENTIAL: +/- 35'-11" TO +/- 39'-11" - SEE TABLE OF HEIGHTS ON THIS SHEET MIXED USE: +/- 33'-3" - SEE TABLE OF HEIGHTS ON THIS SHEET
LOCKABLE STORAGE:	PROVIDED AT EACH MULTI-FAMILY RESIDENTIAL PRIVATE GARAGE (67 TOTAL)

NOTE: THIS PROJECT HAS NO PUBLICLY FUNDED COMPONENT.

Hacienda Village - Town / Flats - 67 Units - May 1, 2024									
Unit Name	Description	Garage Type	Quantity	%	Unit Net SF*	Garage SF (1,000 sf Max)	Unit Gross SF**	Porch SF	Deck SF
Plan 1	2 Bedroom + 2.5 Bath	2-Car Tandem	6	9.0%	1,208	412	1,620	34	40
Plan 2	2 Bedroom + 2.5 Bath	Std 2 Car	6	9.0%	1,411	430	1,841	43	40
Plan 3	3 Bedroom + (2 + (2x0.5)) Bath	Std 2 Car	27	40.3%	1,709	441	2,150	FROM 72 TO 93 PER BUILDING	50
Unit 4	3 Bedroom + (2 + (2x0.5)) Bath	Std 2 Car	28	41.8%	1,786	403	2,189	FROM 52 TO 59 PER BUILDING	62
<b>Total Units</b>			67	100.0%					
<b>Garage % Tandem</b>		6.2							

\*Net SF: Measured to outside face of stud, excludes garage area, deck and porches. Includes air gap per unit  
\*\*Gross SF: Measured to outside face of stud, includes garage area. Includes air gap per unit.

Hacienda Village Building Configurations And Sizes - 67 Units - May 1, 2024														
	Units	Net Living Space SF (per Bldg)	Garage SF (per Bldg)	Gross SF (per Bldg) Net Lvg+Garage	Porch SF (per Bldg)	Deck SF (per Bldg)	Gross SF (per Bldg) with Porches/Decks	Number of Buildings	Total Net Living Space SF	Total Garage SF	Total Gross SF Net Lvg+Garage	Total Porch SF	Total Deck SF	Total Gross SF with Porches/Decks
4 Unit Bldg	4-3-3-4	6,990	1,688	8,678	281	224	9,183	8	55,920	13,504	69,424	2,248	1,792	73,464
5 Unit Bldg	4-3-3-3-4	8,699	2,129	10,828	354	274	11,456	2	17,398	4,258	21,656	708	548	22,912
6 Unit Bldg	4-2-1-2-1-4	8,810	2,490	11,300	272	284	11,856	3	26,430	7,470	33,900	816	852	35,568
7 Unit Bldg	4-3-3-3-3-4	12,117	3,011	15,128	514	374	16,016	1	12,117	3,011	15,128	514	374	16,016
Retail	Commercial	15,635	0	15,635	0	0	15,635	1	15,635	0	1,103	0	0	15,635
<b>Totals</b>		<b>52,251</b>	<b>9,318</b>	<b>61,569</b>	<b>1,421</b>	<b>1,156</b>	<b>64,146</b>	<b>15</b>	<b>127,500</b>	<b>28,243</b>	<b>141,211</b>	<b>4,286</b>	<b>3,566</b>	<b>163,595</b>

399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

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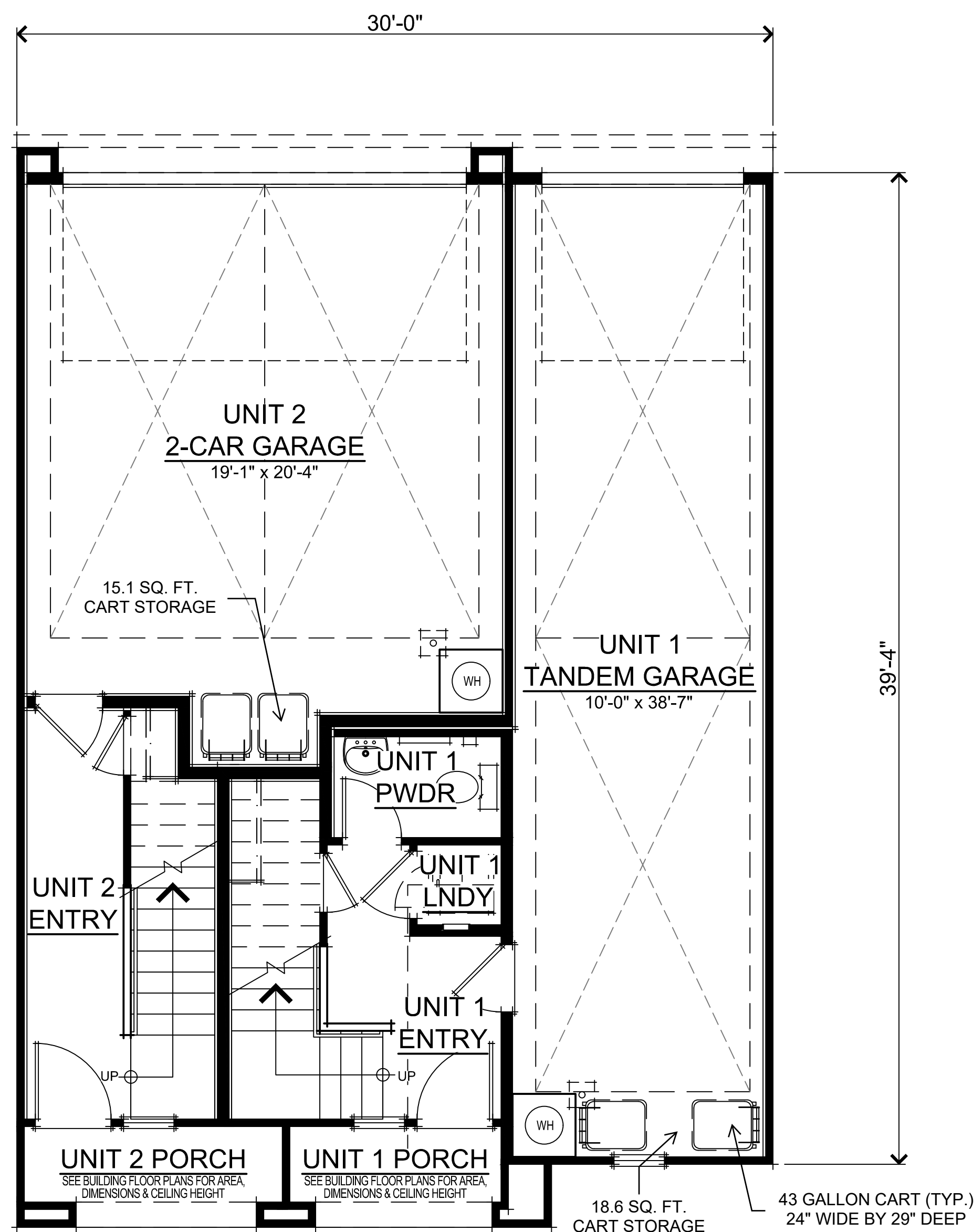
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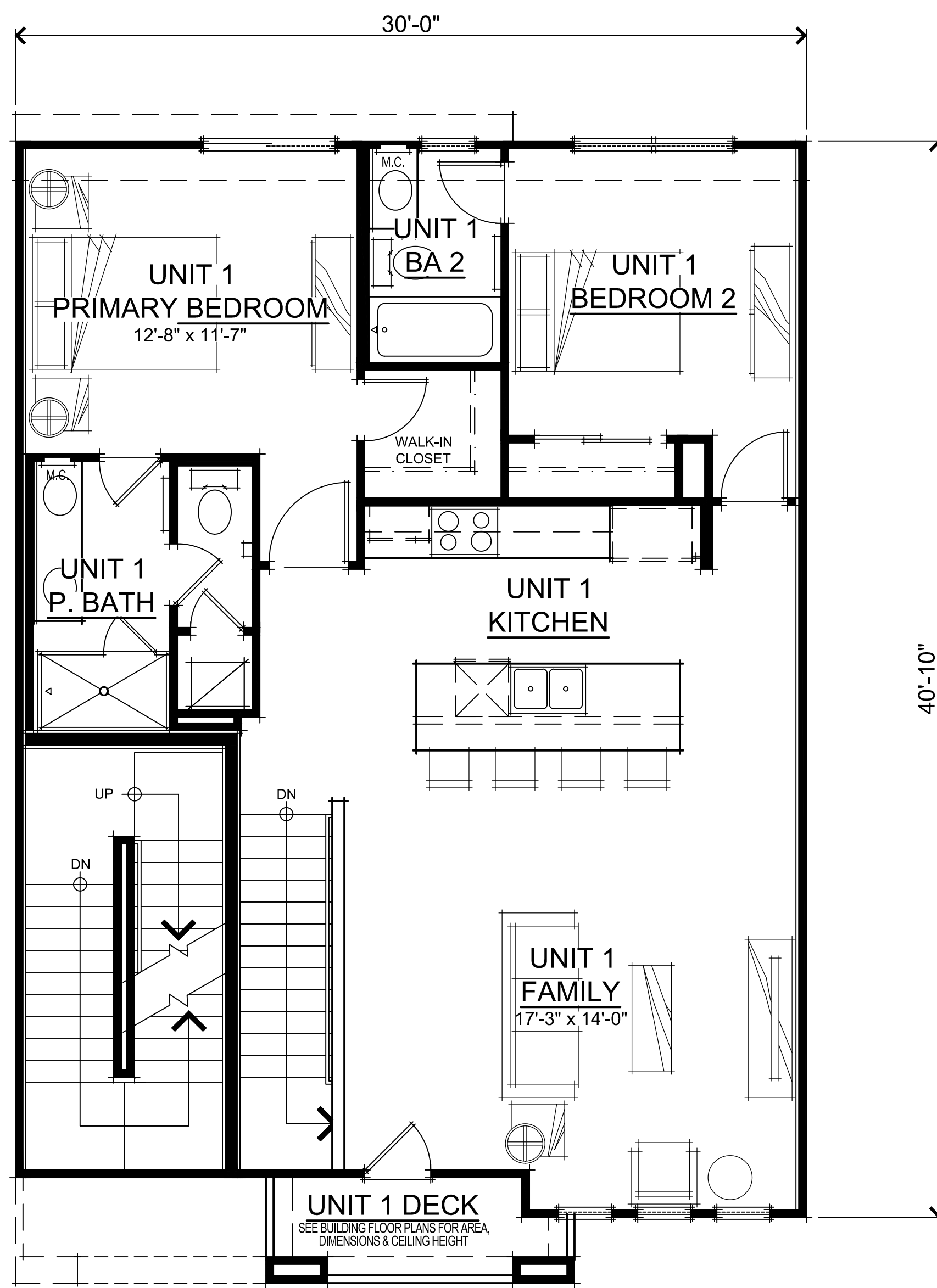
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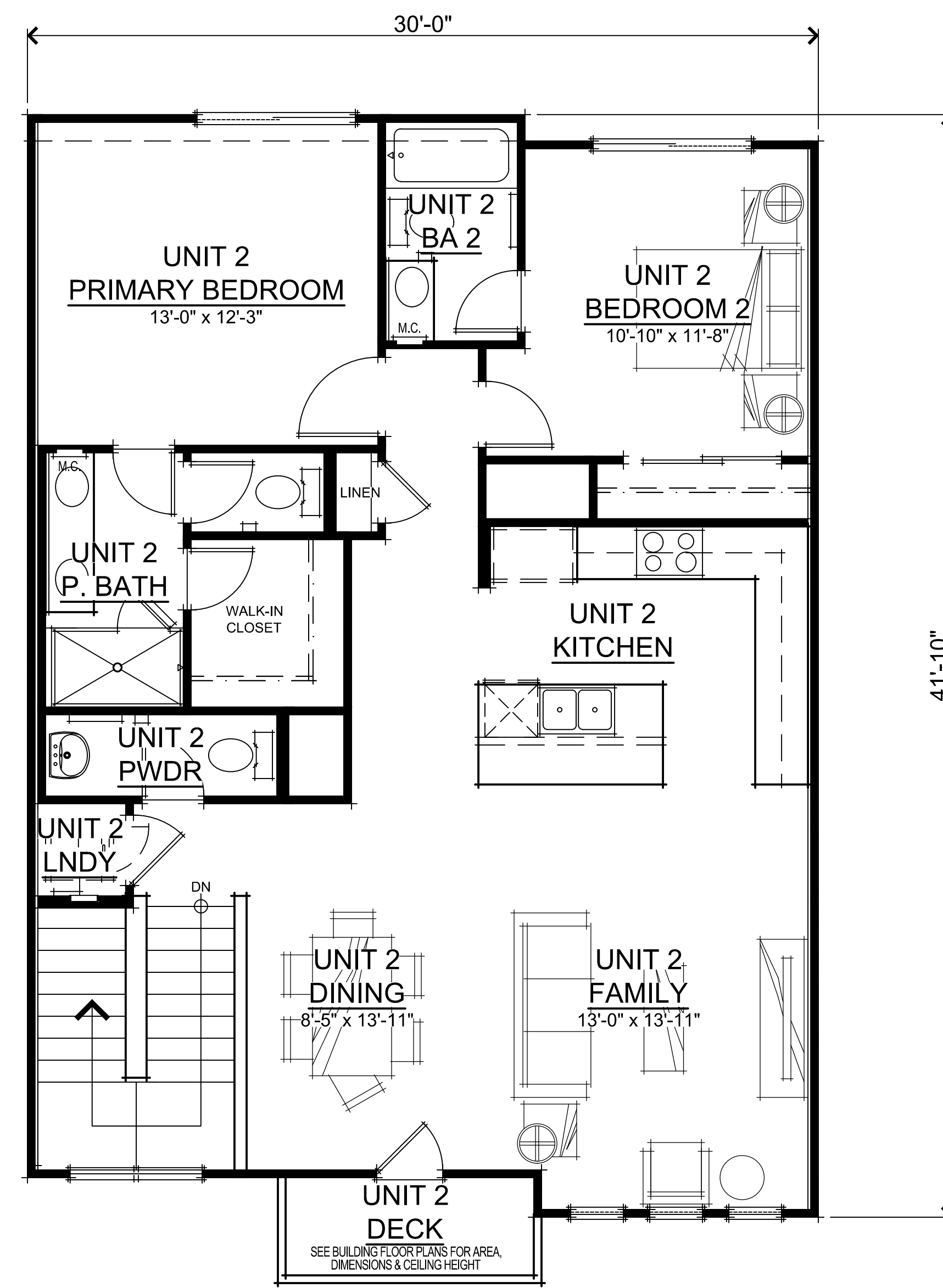




FIRST FLOOR PLAN

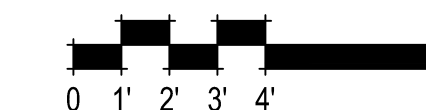


SECOND FLOOR PLAN



THIRD FLOOR PLAN

UNIT 1 SQUARE FOOTAGES		UNIT 2 SQUARE FOOTAGES	
FIRST FLOOR	176 SQ. FT.	FIRST FLOOR	137 SQ. FT.
SECOND FLOOR	1032 SQ. FT.	SECOND FLOOR (STAIRS)	137 SQ. FT.
TOTAL LIVING	1208 SQ. FT.	THIRD FLOOR	1137 SQ. FT.
TANDEM GARAGE	412 SQ. FT.	TOTAL LIVING	1411 SQ. FT.
DECK	40 SQ. FT.	2-CAR GARAGE	430 SQ. FT.
PORCH	34 SQ. FT.	DECK	40 SQ. FT.
		PORCH	43 SQ. FT.



UNIT 1 & 2 FLOOR PLANS  
A02

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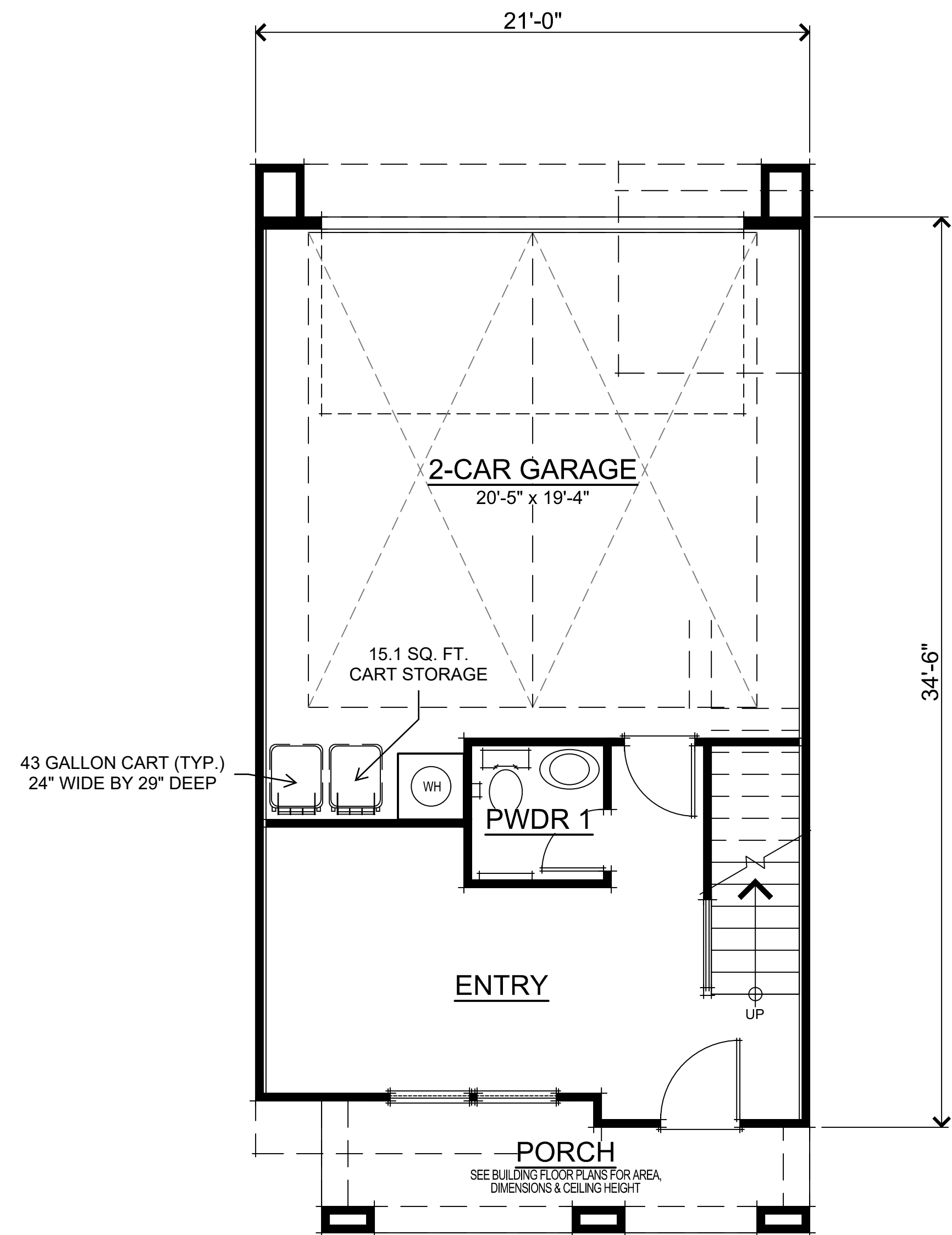
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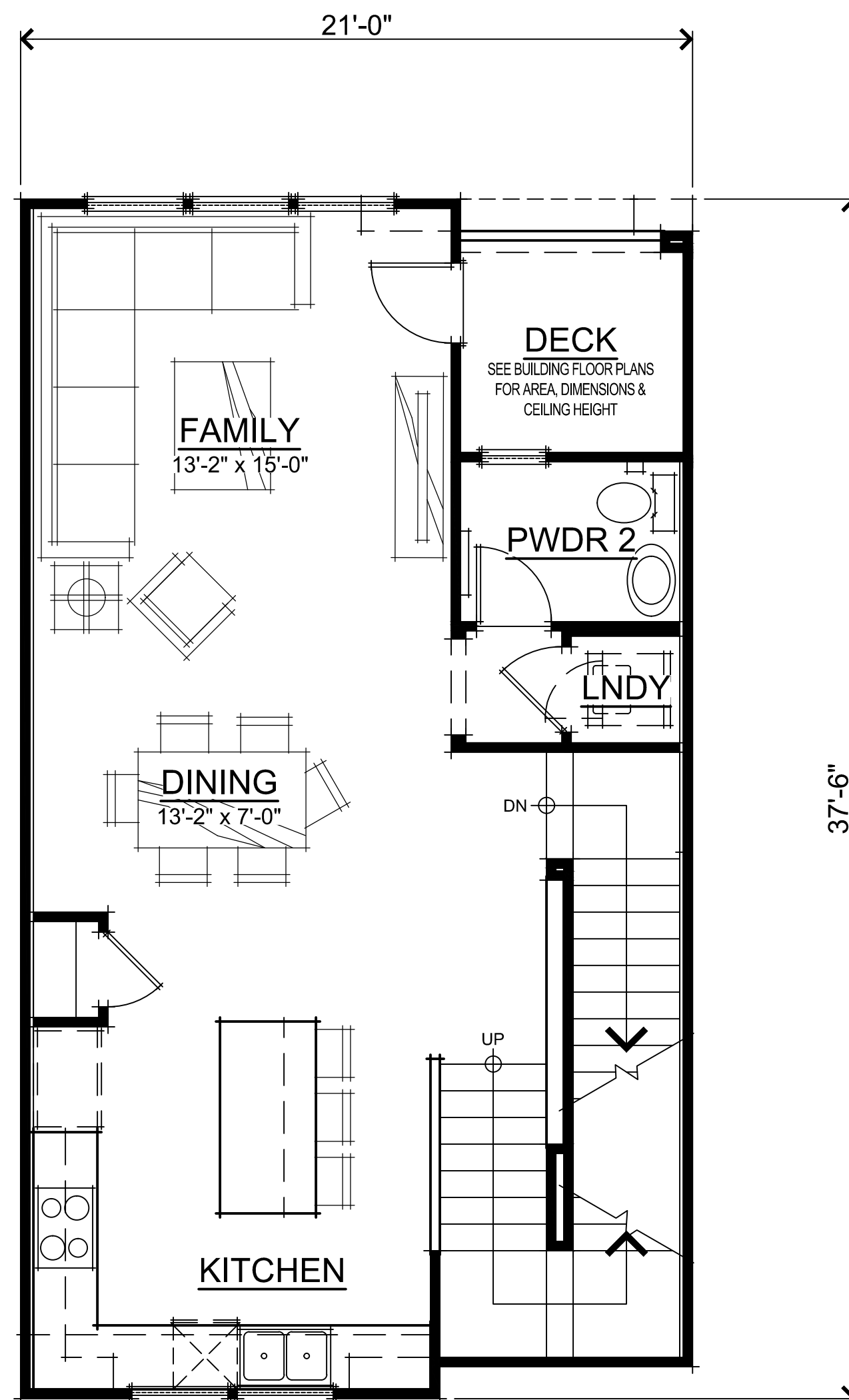
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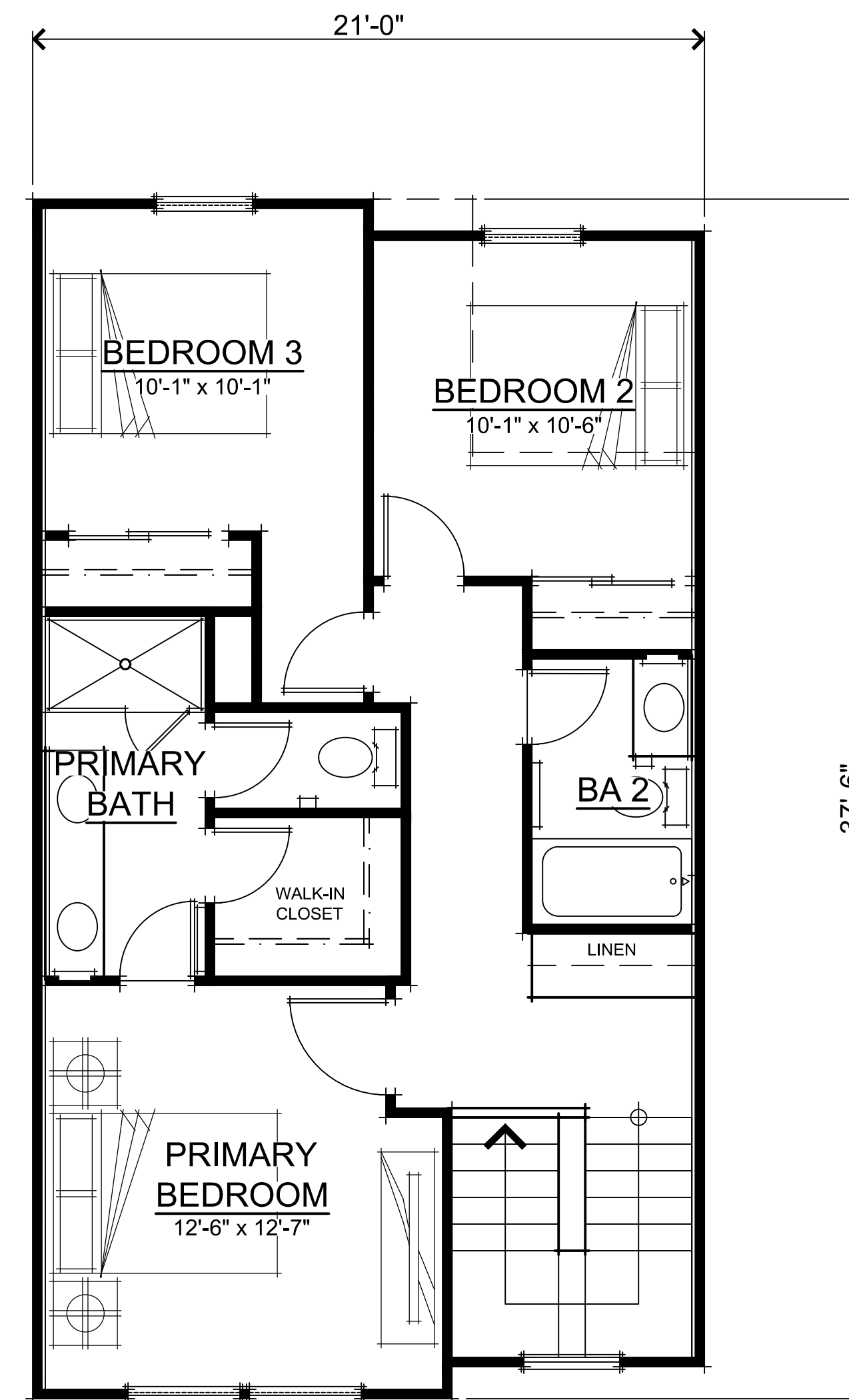




FIRST FLOOR PLAN

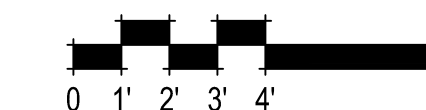


SECOND FLOOR PLAN



THIRD FLOOR PLAN

UNIT 3 SQUARE FOOTAGES	
FIRST FLOOR	274 SQ. FT.
SECOND FLOOR	725 SQ. FT.
THIRD FLOOR	710 SQ. FT.
TOTAL LIVING	1709 SQ. FT.
2-CAR GARAGE	441 SQ. FT.
REAR DECK	50 SQ. FT.
PORCH	84 SQ. FT.



UNIT 3 FLOOR PLANS  
A03

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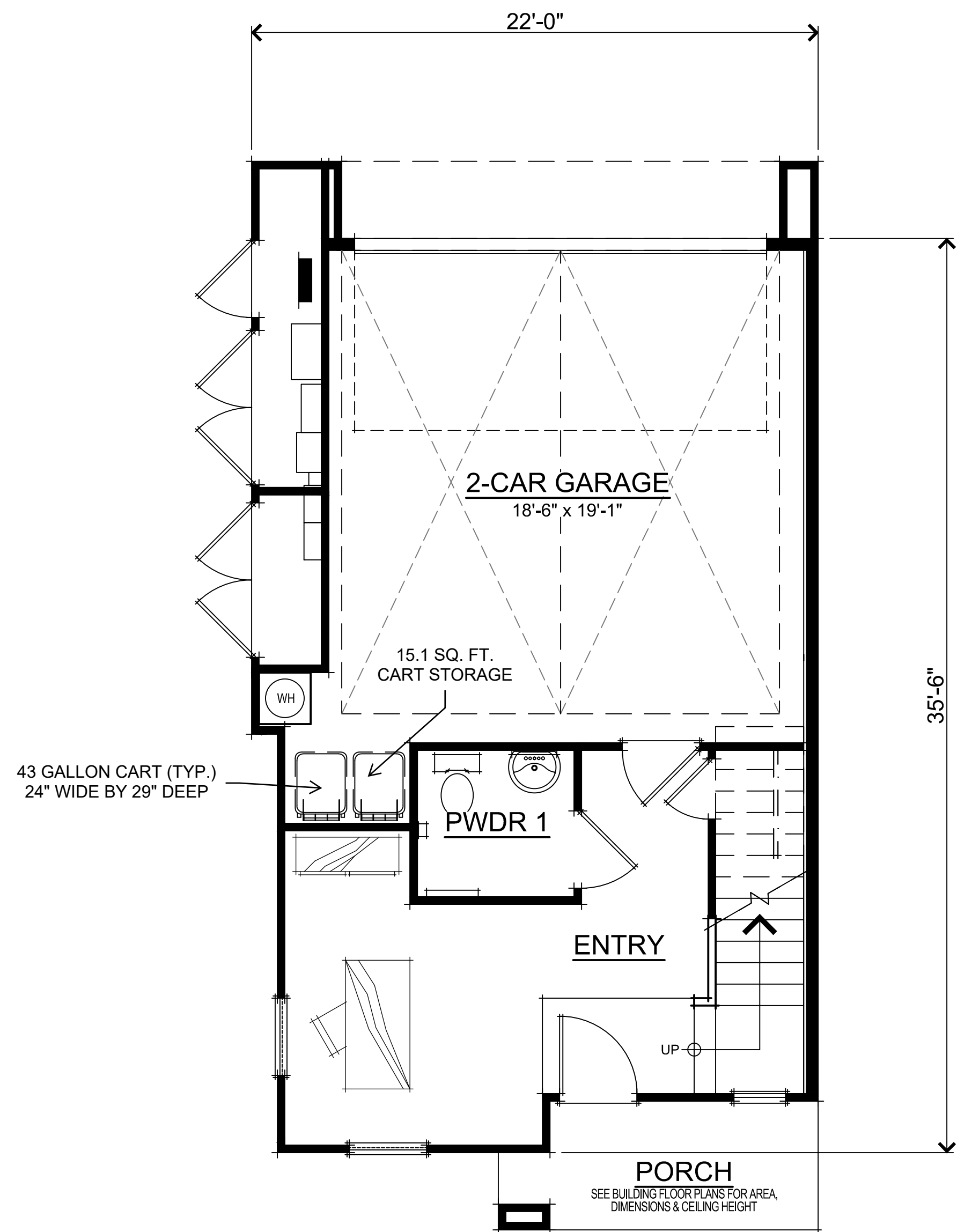
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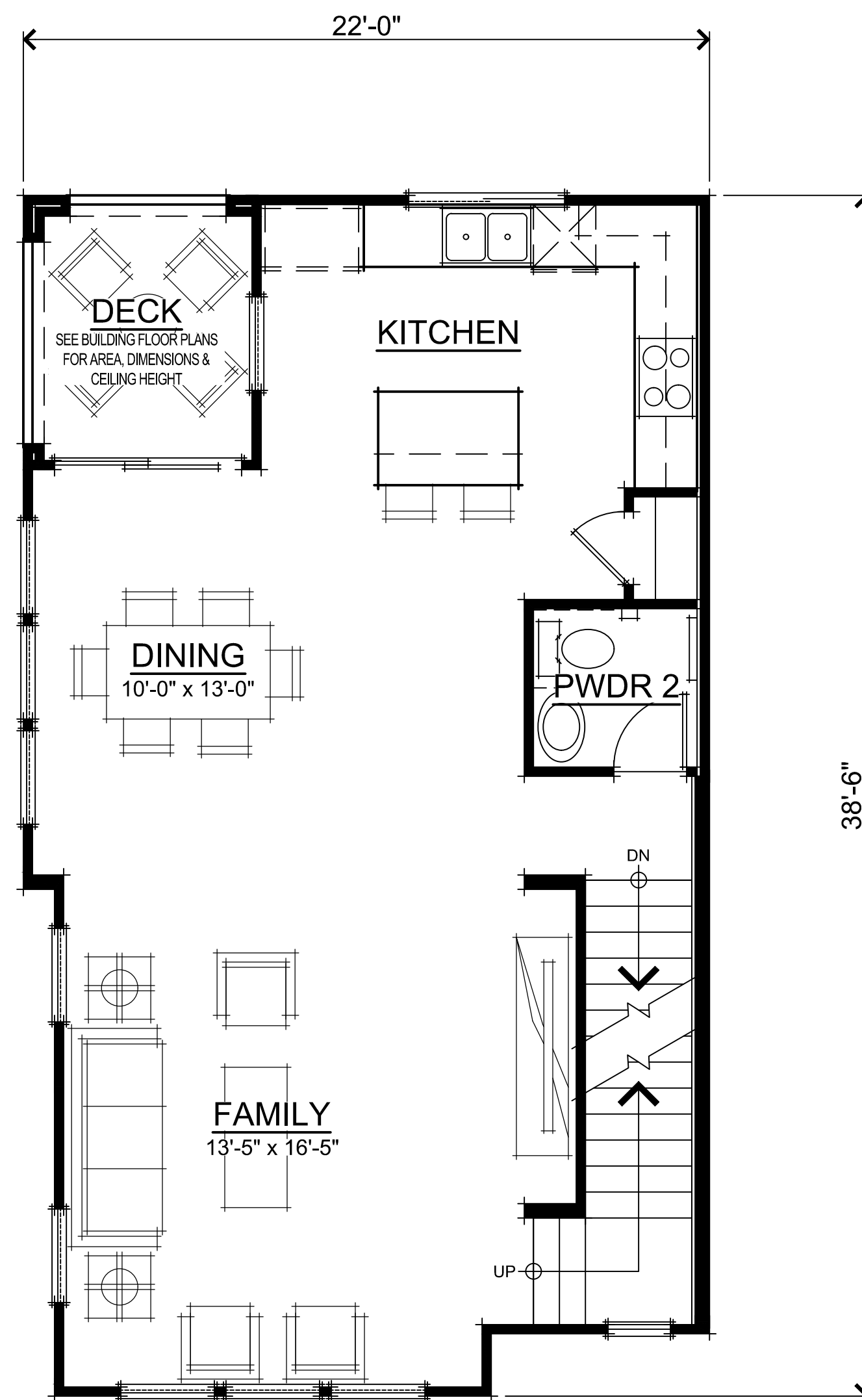
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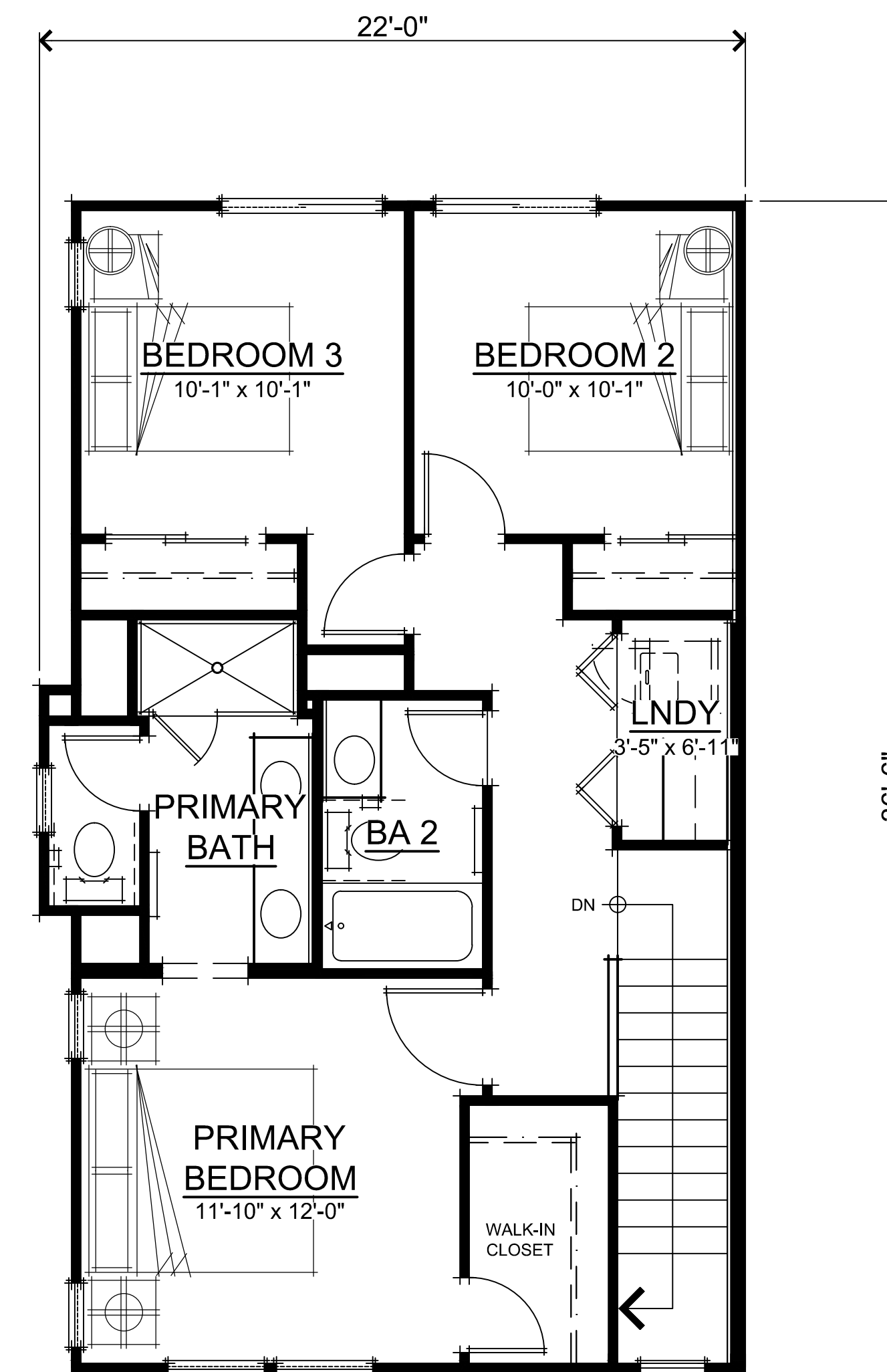




FIRST FLOOR PLAN

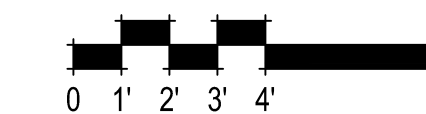


SECOND FLOOR PLAN



THIRD FLOOR PLAN

UNIT 4 SQUARE FOOTAGES	
FIRST FLOOR	298 SQ. FT.
SECOND FLOOR	756 SQ. FT.
THIRD FLOOR	732 SQ. FT.
TOTAL LIVING	1786 SQ. FT.
2-CAR GARAGE	403 SQ. FT.
DECK	62 SQ. FT.
PORCH	58 SQ. FT.



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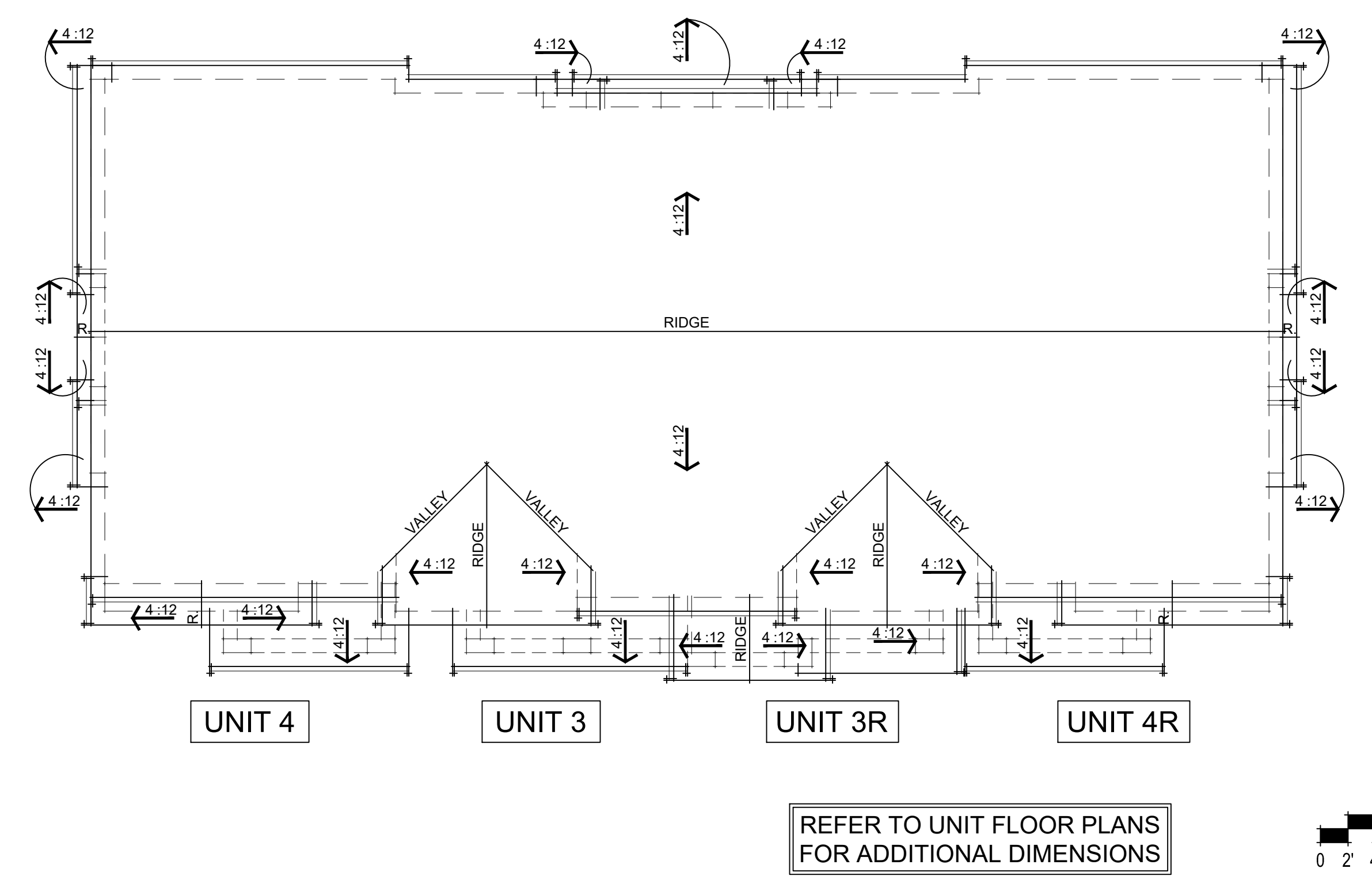
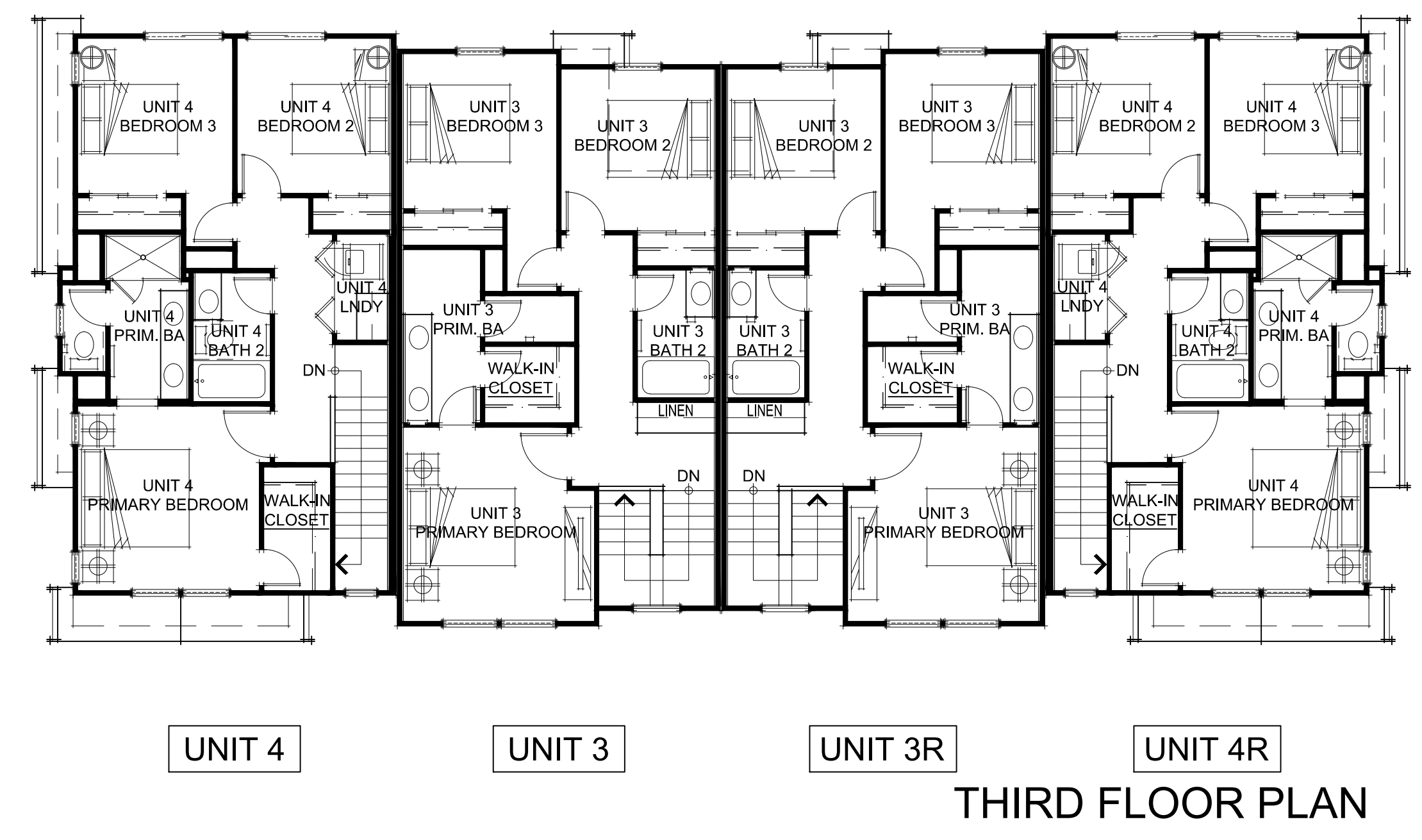
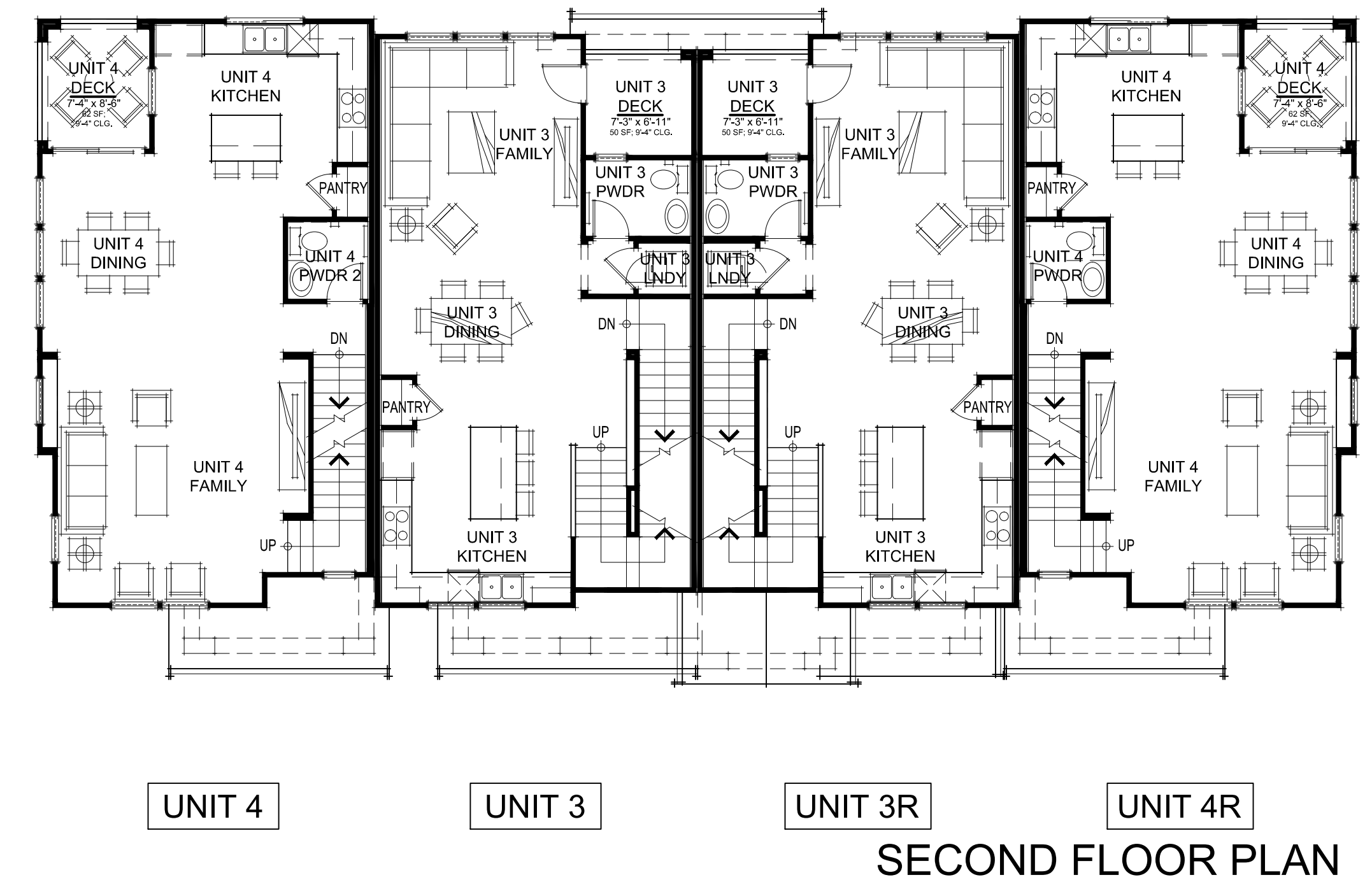
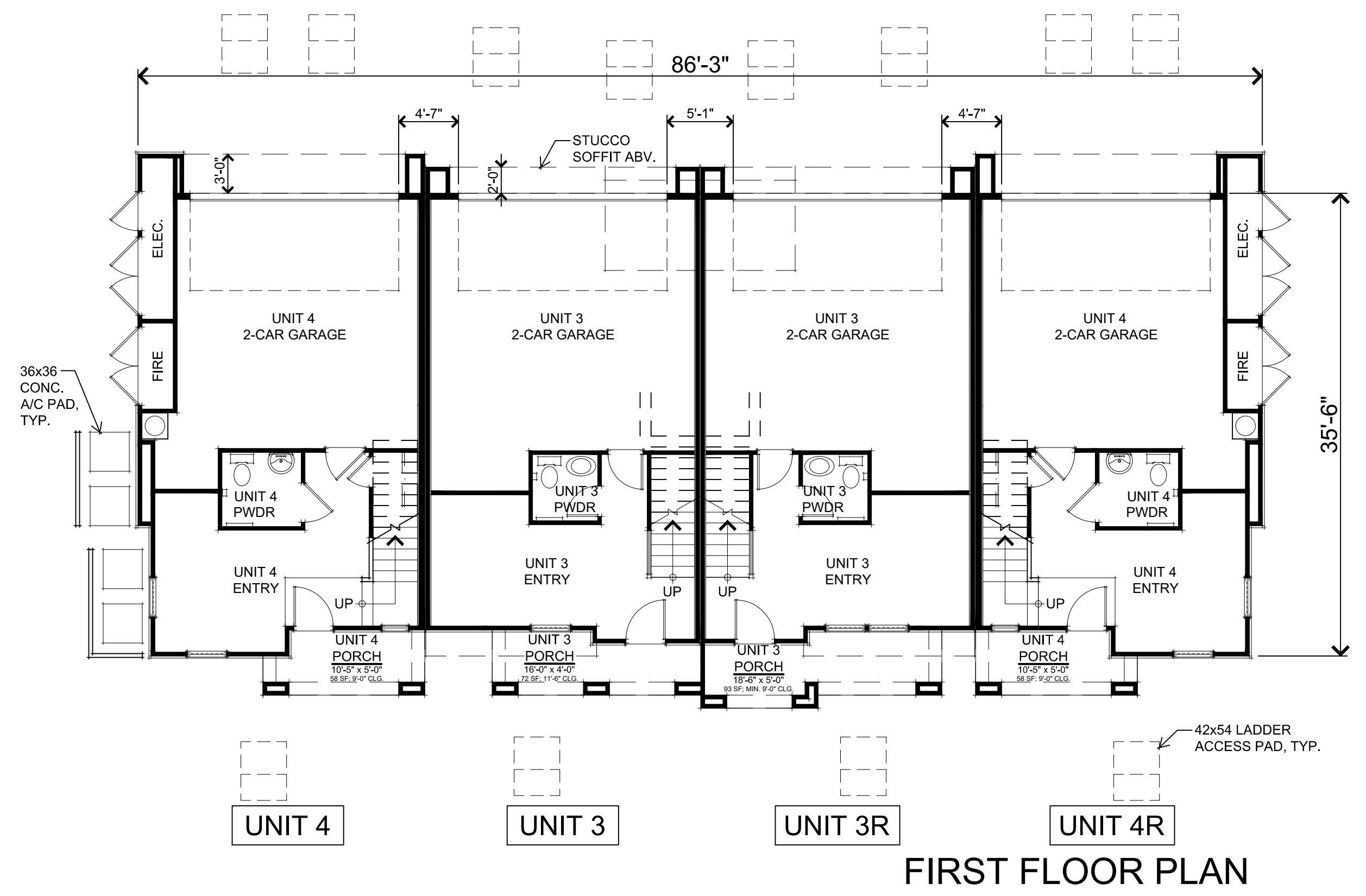
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UNIT 4 FLOOR PLANS  
A04

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BUILDING 4 FLOOR & ROOF PLANS  
A05

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ELEVATION SHOWING BUILDINGS 1, 2, 6, 7, 8, 9, 10 & 11  
SEE CIVIL SHT. C5 FOR LOCATIONS ON SITE PLAN



**BUILDING 4 FRONT ELEVATION**  
A05.1

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- EXTERIOR MATERIALS**
1. CONCRETE TILE "S" ROOFING
  2. EXTERIOR PLASTER FINISH
  3. EXTERIOR PLASTER FINISH OVER 2x4 FOAM TRIM
  4. WROUGHT IRON RAILING
  5. METAL AWNING
  6. INSULATED VINYL WINDOWS
  7. FIBERGLASS FRONT DOOR
  8. VINYL SLIDING GLASS DOOR
  9. SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
  10. METAL FASCIA GUTTER
  11. DECORATIVE CORBEL
  12. CLAY TILE ACCENT
  13. PAINTED METAL UTILITY DOOR
  14. METAL POT SHELF
  15. WOOD AC SCREEN



UNIT 4R      UNIT 3R      UNIT 3      UNIT 4  
**REAR ELEVATION**



UNIT 4R  
**RIGHT ELEVATION**



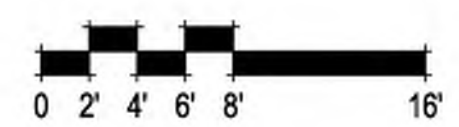
UNIT 4  
**LEFT ELEVATION**



UNIT 4      UNIT 3      UNIT 3R      UNIT 4R  
**FRONT ELEVATION**

ALL WINDOW GLAZING IN THIS PROJECT HAS AN AVERAGE REFLECTIVITY OF < 50%

ELEVATION SHOWING BUILDINGS 1, 2, 6, 7, 8, 9, 10 & 11  
SEE CIVIL SHT. C5 FOR LOCATIONS ON SITE PLAN



399.254 Hacienda Village  
Sunnyvale, CA  
November 2025

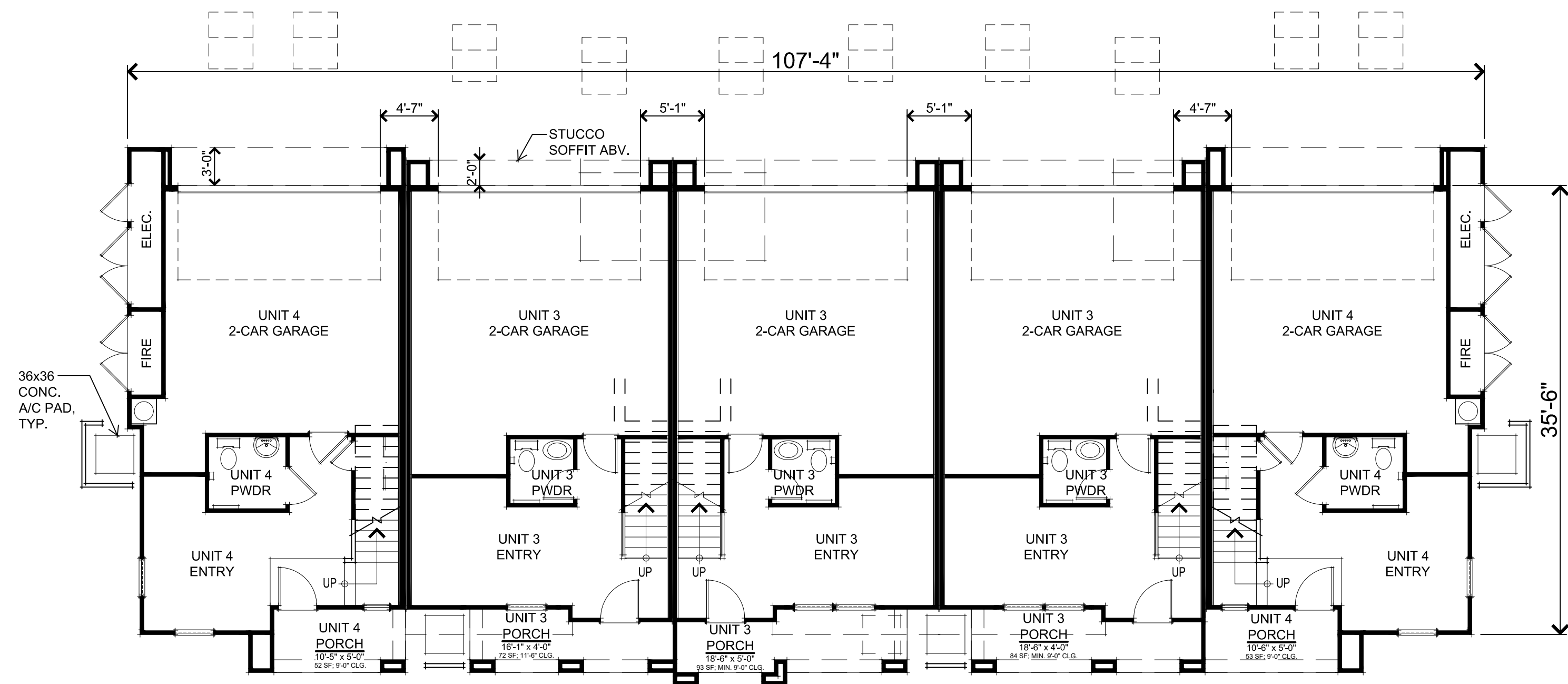
Hacienda Garden Properties, LLC  
19341 Via Monte, Saratoga, CA 95070  
408.391.9081

**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
Pleasanton, CA. 94588 Fax 925.847.1557

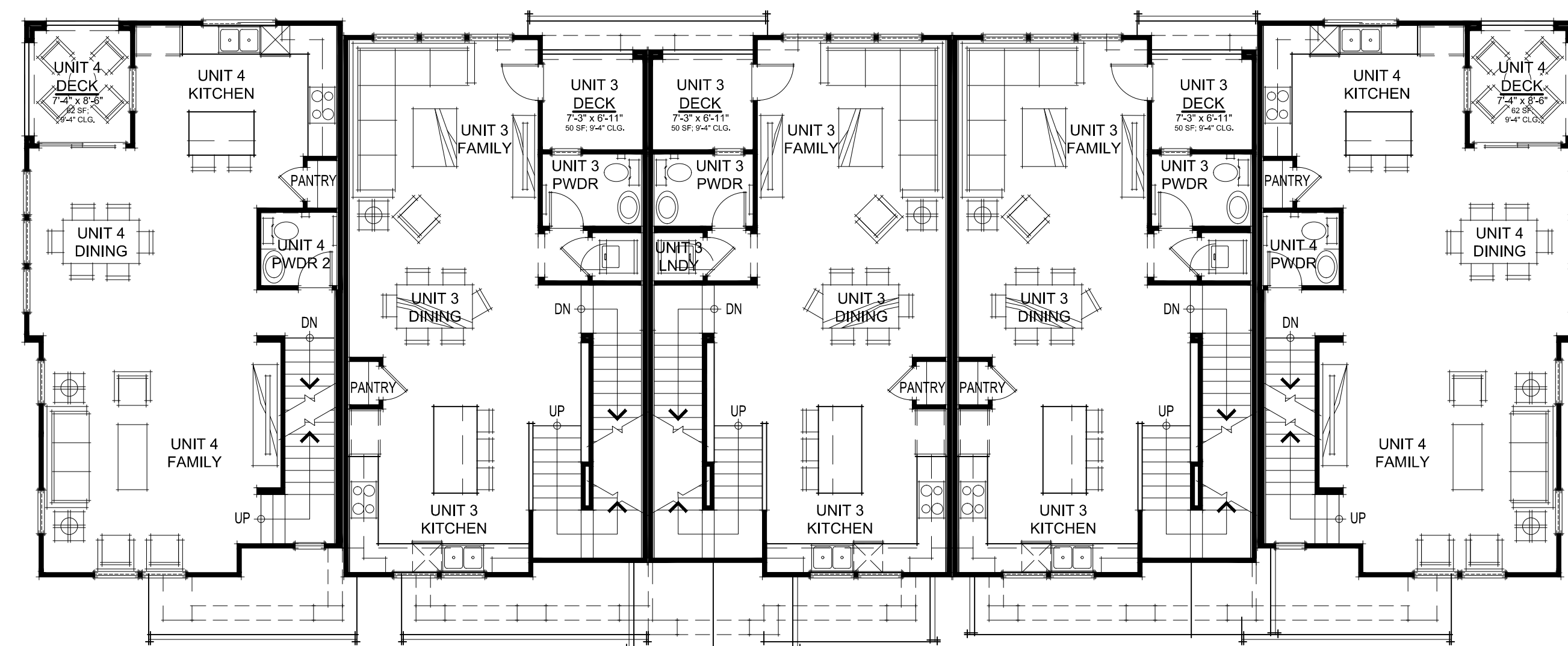
**BUILDING 4 EXTERIOR ELEVATIONS**  
A05.2

SDG Architects, Inc.  
3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com

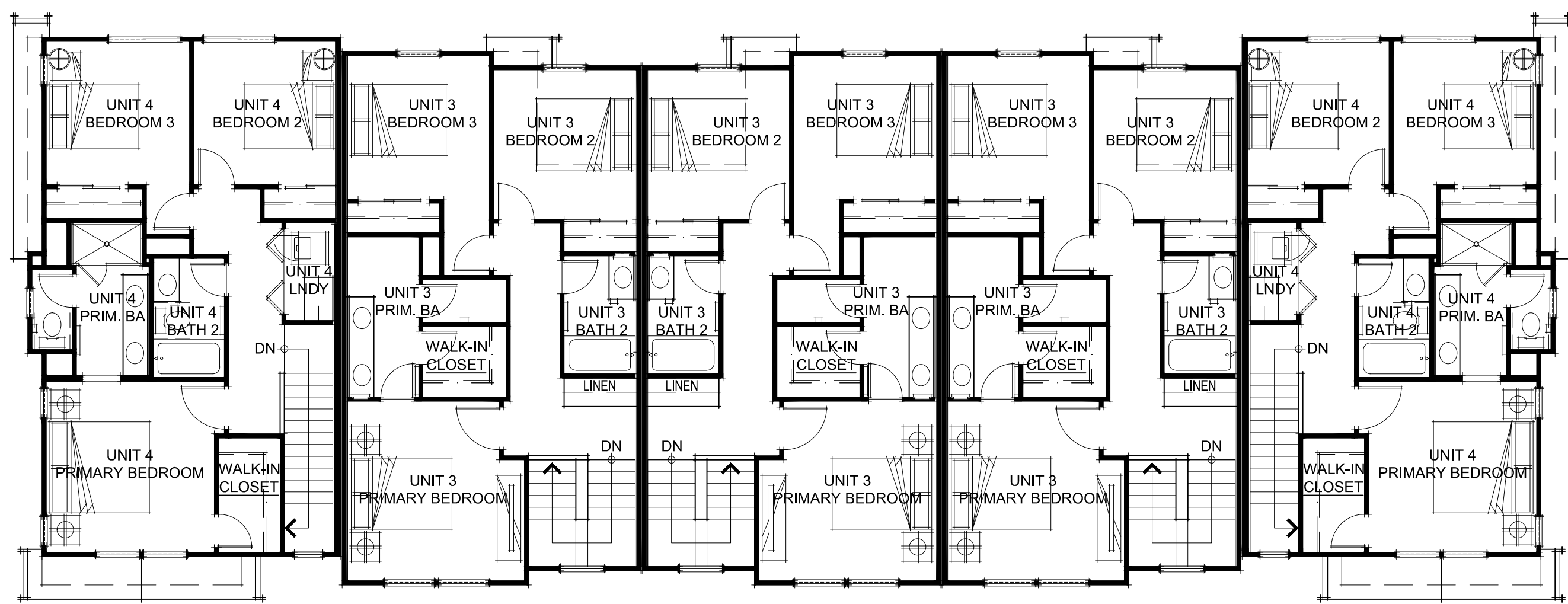




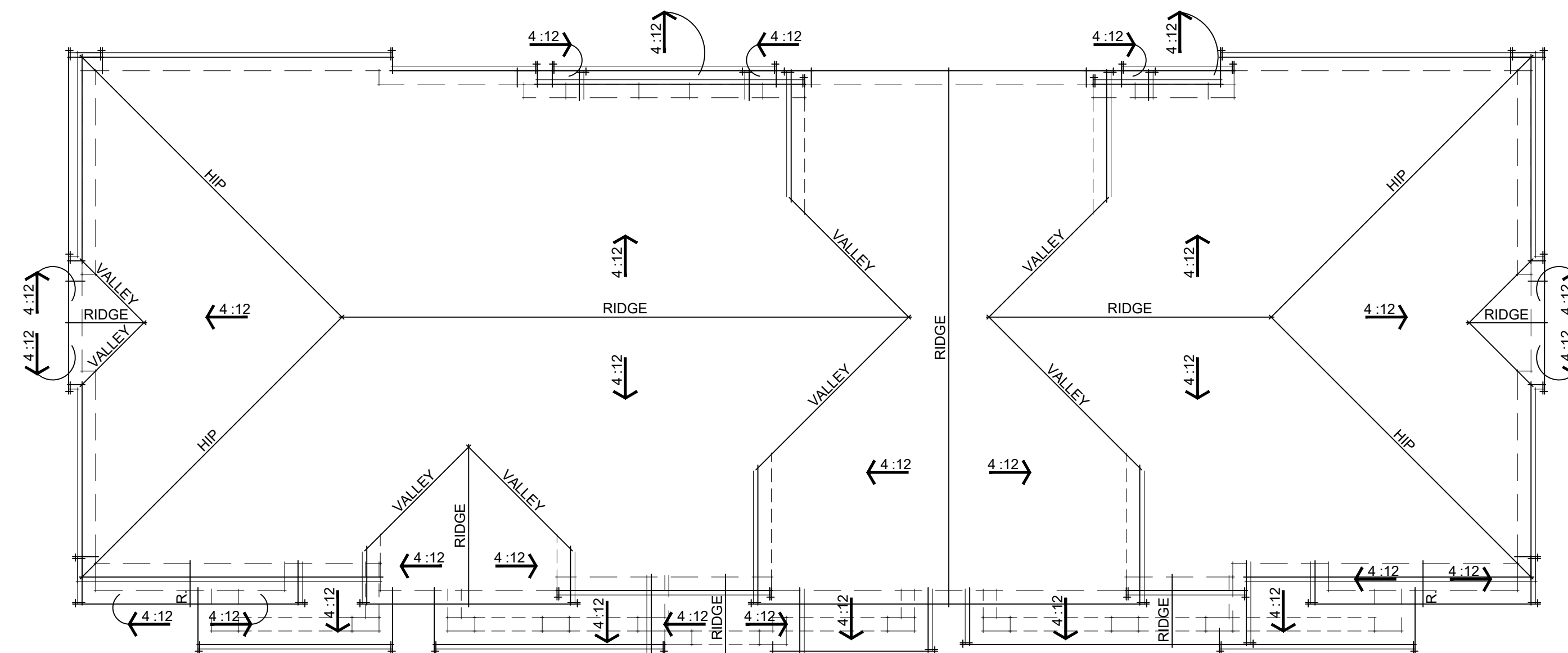
UNIT 4      UNIT 3      UNIT 3R      UNIT 3      UNIT 4R  
FIRST FLOOR PLAN



UNIT 4      UNIT 3      UNIT 3R      UNIT 3      UNIT 4R  
SECOND FLOOR PLAN

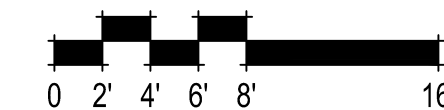


UNIT 4      UNIT 3      UNIT 3R      UNIT 3      UNIT 4R  
THIRD FLOOR PLAN



UNIT 4      UNIT 3      UNIT 3R      UNIT 3      UNIT 4R

REFER TO UNIT FLOOR PLANS  
FOR ADDITIONAL DIMENSIONS



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Sunnyvale, CA  
November 2025

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BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

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BUILDING 5 FLOOR & ROOF PLANS

A06

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Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com





UNIT 4

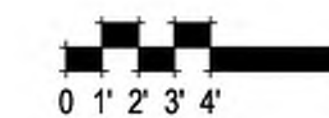
UNIT 3

UNIT 3R

UNIT 3

UNIT 4R

ELEVATION SHOWING BUILDINGS 3 & 4  
SEE CIVIL SHT. C5 FOR LOCATIONS ON SITE PLAN



BUILDING 5 FRONT ELEVATION

A06.1

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3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com



EXTERIOR MATERIALS

1. CONCRETE TILE "S" ROOFING
2. EXTERIOR PLASTER FINISH
3. EXTERIOR PLASTER FINISH OVER 2x4 FOAM TRIM
4. WROUGHT IRON RAILING
5. METAL AWNING
6. INSULATED VINYL WINDOWS
7. FIBERGLASS FRONT DOOR
8. VINYL SLIDING GLASS DOOR
9. SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
10. METAL FASCIA GUTTER
11. DECORATIVE CORBEL
12. CLAY TILE ACCENT
13. PAINTED METAL UTILITY DOOR
14. WOOD AC SCREEN



UNIT 4R

UNIT 3

UNIT 3R

UNIT 3

UNIT 4

REAR ELEVATION



UNIT 4R

RIGHT ELEVATION



UNIT 4

LEFT ELEVATION



UNIT 4

UNIT 3

UNIT 3R

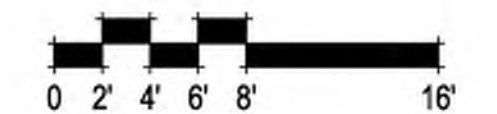
UNIT 3

UNIT 4R

FRONT ELEVATION

ALL WINDOW GLAZING IN THIS PROJECT HAS AN AVERAGE REFLECTIVITY OF < 50%

ELEVATION SHOWING BUILDINGS 3 & 4  
SEE CIVIL SHT. C5 FOR LOCATIONS ON SITE PLAN



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Sunnyvale, CA  
November 2025

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**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

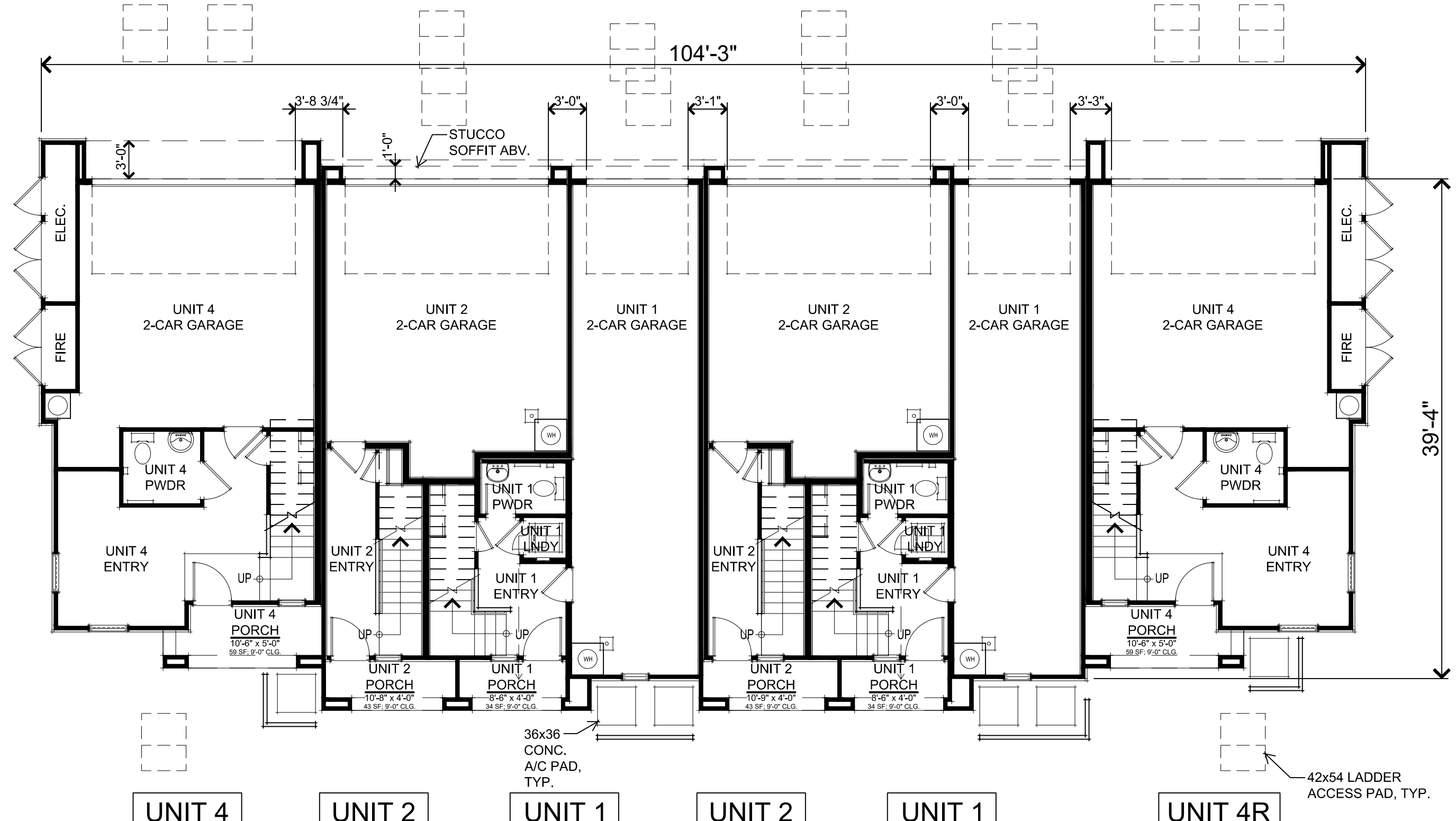
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
Pleasanton, CA. 94588 Fax 925.847.1557

BUILDING 5 EXTERIOR ELEVATIONS

A06.2

SDG Architects, Inc.  
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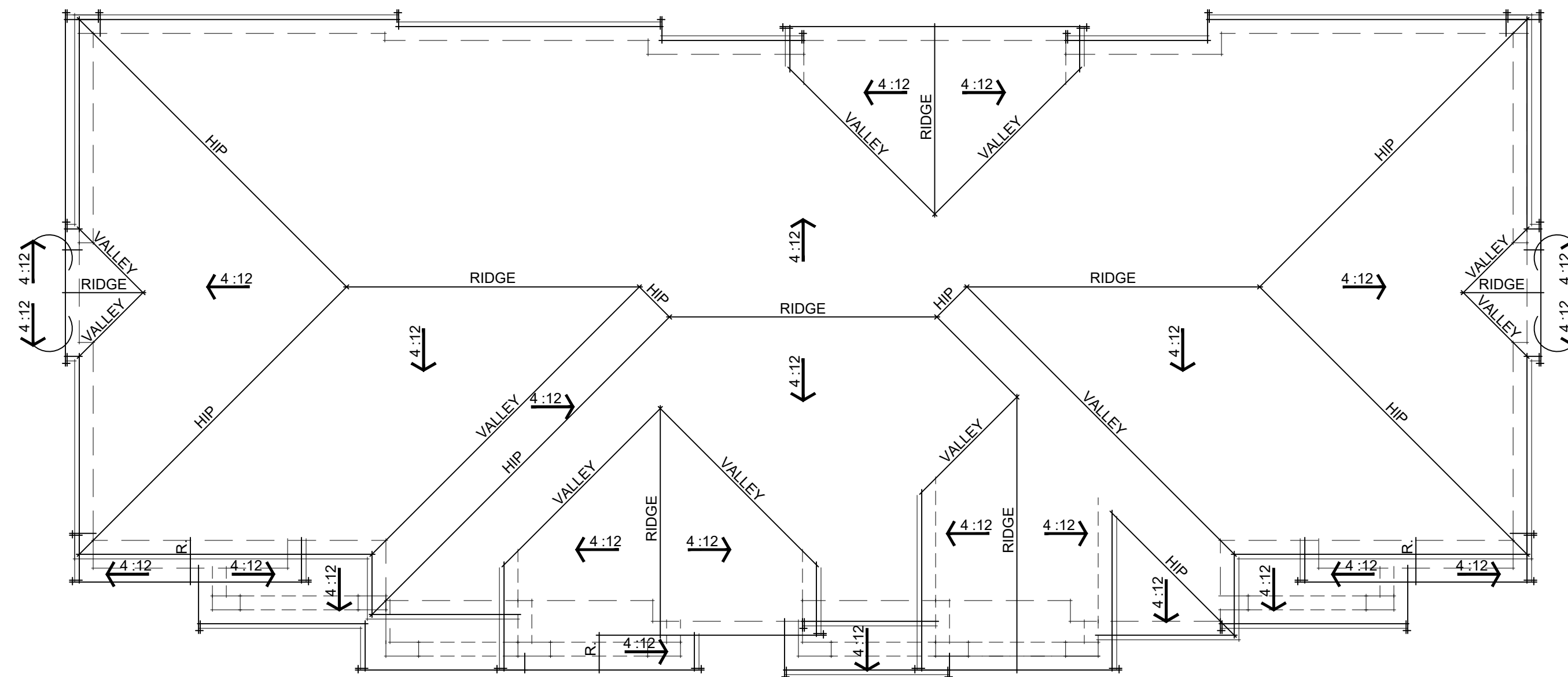
FIRST FLOOR PLAN



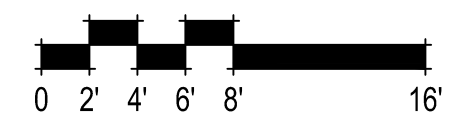
SECOND FLOOR PLAN



THIRD FLOOR PLAN



REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

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BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
Pleasanton, CA. 94588 Fax 925.847.1557

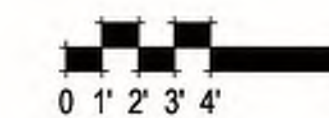
BUILDING 6 FLOOR & ROOF PLANS  
A07

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Brentwood, CA 94513  
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ELEVATION SHOWING BUILDINGS 12, 13, & 14  
SEE CIVIL SHT. C5 FOR LOCATIONS ON SITE PLAN



**BUILDING 6 FRONT ELEVATION**  
A07.1

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Sunnyvale, CA  
November 2025

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Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com



**EXTERIOR MATERIALS**

1. CONCRETE TILE "S" ROOFING
2. EXTERIOR PLASTER FINISH
3. EXTERIOR PLASTER FINISH OVER 2x4 FOAM TRIM
4. WROUGHT IRON RAILING
5. VINYL SLIDING GLASS DOOR
6. INSULATED VINYL WINDOWS
7. FIBERGLASS FRONT DOOR
8. SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
9. METAL FASCIA GUTTER
10. DECORATIVE CORBEL
11. CLAY TILE ACCENT
12. PAINTED METAL UTILITY DOOR
13. METAL POT SHELF
14. WOOD AC SCREEN



UNIT 4R    UNIT 1    UNIT 2    UNIT 1    UNIT 2    UNIT 4  
**REAR ELEVATION**



UNIT 4R  
**RIGHT ELEVATION**



UNIT 4  
**LEFT ELEVATION**



UNIT 4    UNIT 2    UNIT 1    UNIT 2    UNIT 1    UNIT 4R  
**FRONT ELEVATION**

ALL WINDOW GLAZING IN THIS PROJECT HAS AN AVERAGE REFLECTIVITY OF < 50%

ELEVATION SHOWING BUILDINGS 12, 13, & 14  
SEE CIVIL SHT. C5 FOR LOCATIONS ON SITE PLAN



399.254 Hacienda Village  
Sunnyvale, CA  
November 2025

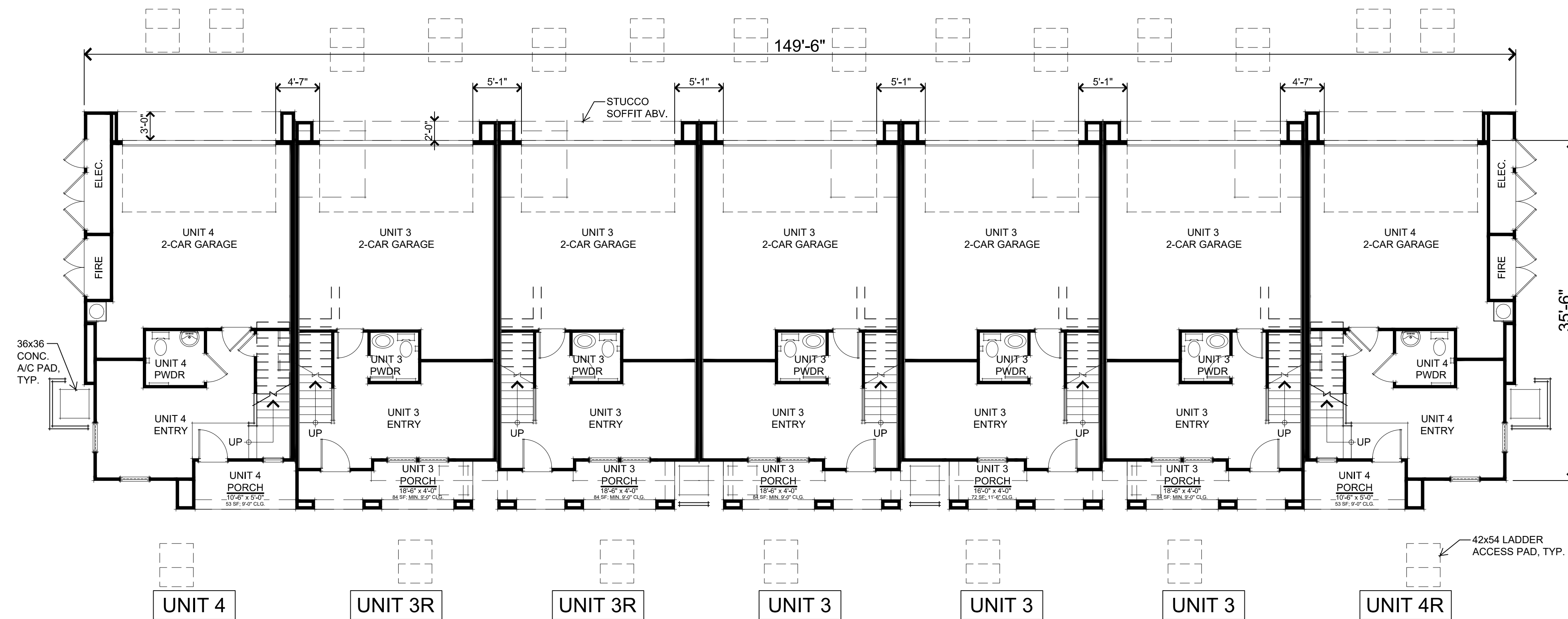
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19341 Via Monte, Saratoga, CA 95070  
408.391.9081

**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
Pleasanton, CA. 94588 Fax 925.847.1557

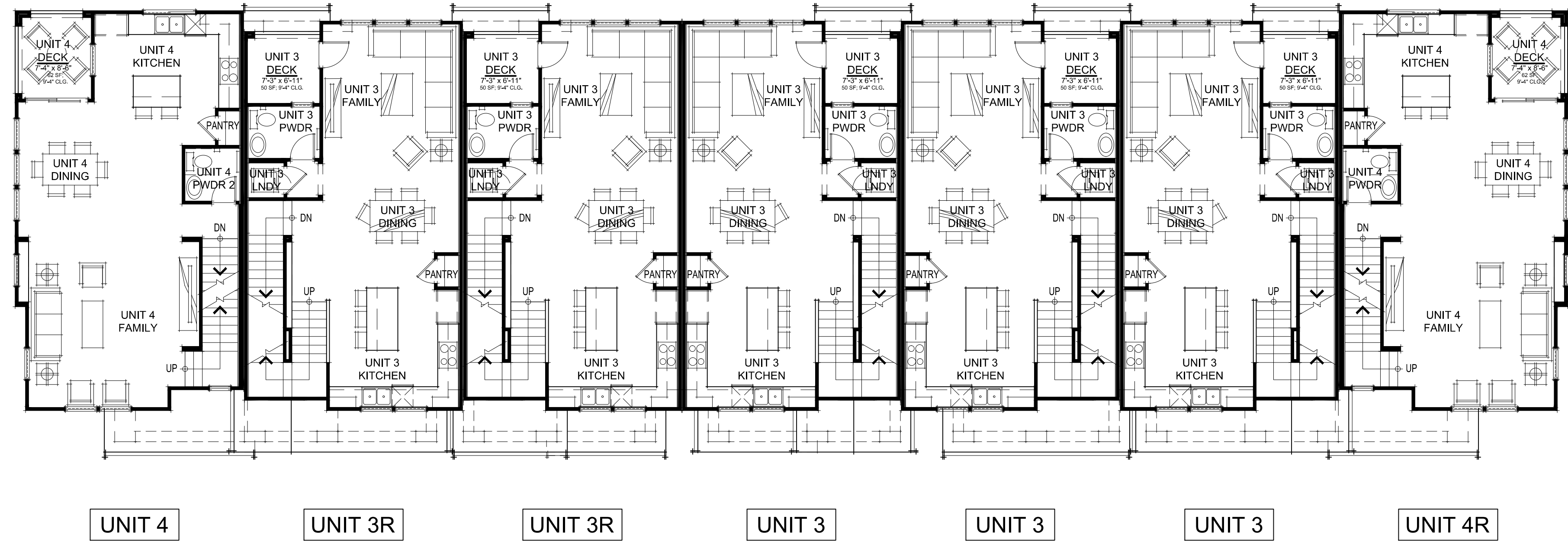
**BUILDING 6 EXTERIOR ELEVATIONS  
A07.2**

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Brentwood, CA 94513  
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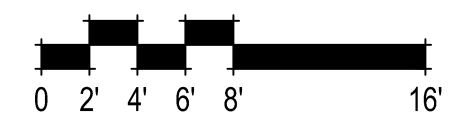


FIRST FLOOR PLAN



SECOND FLOOR PLAN

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

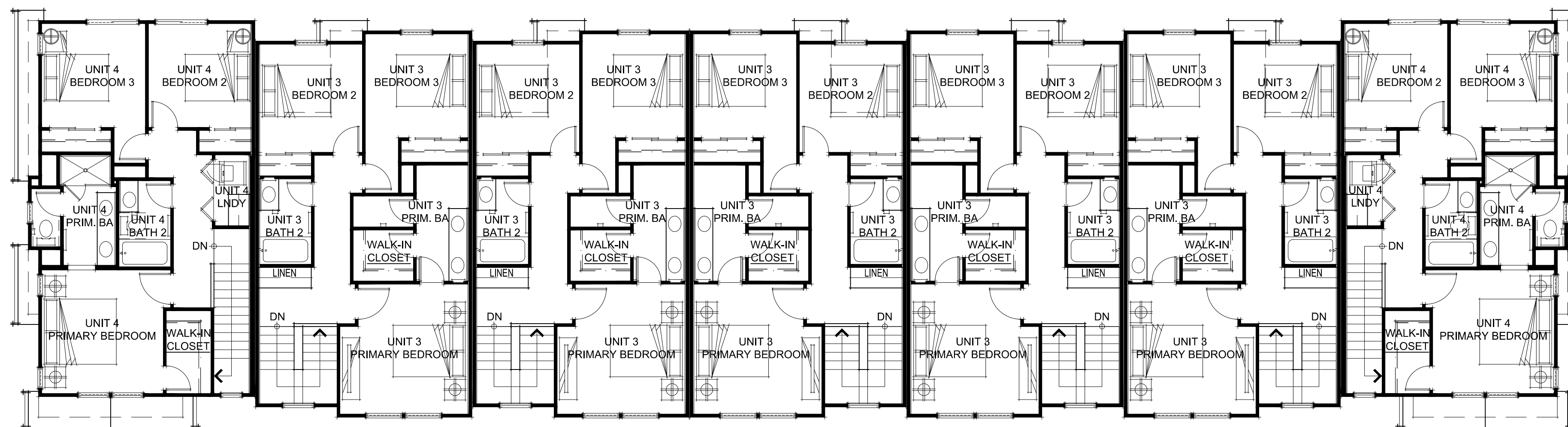
Hacienda Garden Properties, LLC  
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BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
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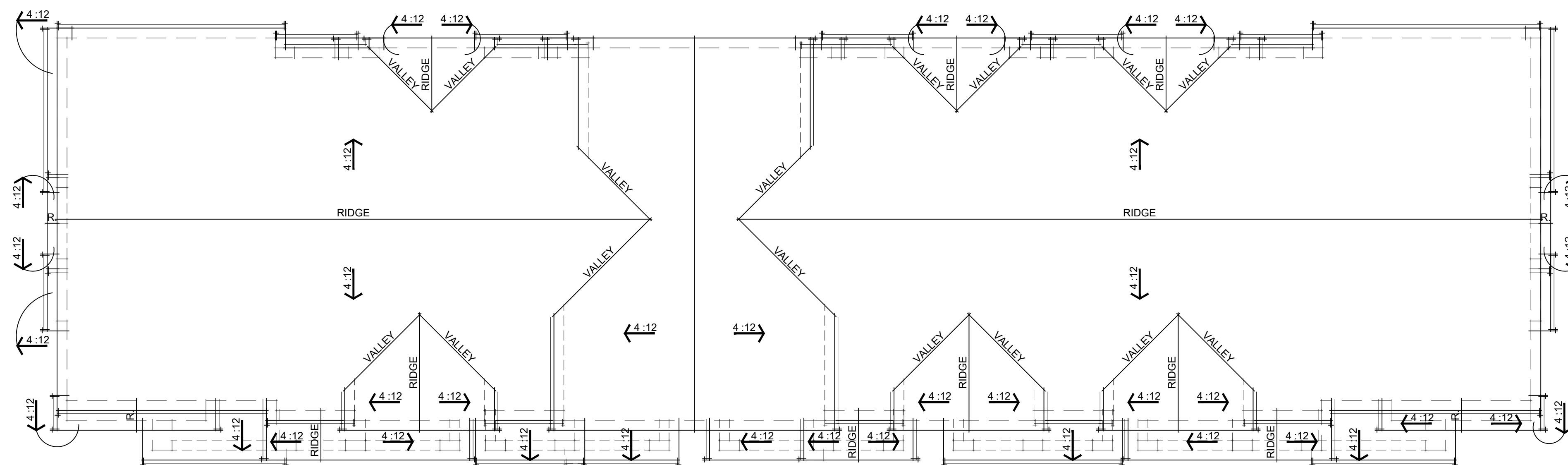
BUILDING 7 FIRST & SECOND FLOOR PLANS  
A08

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Brentwood, CA 94513  
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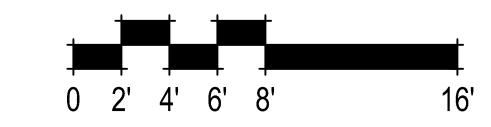


UNIT 4      UNIT 3R      UNIT 3R      UNIT 3      UNIT 3      UNIT 3      UNIT 4R  
THIRD FLOOR PLAN



UNIT 4      UNIT 3R      UNIT 3R      UNIT 3      UNIT 3      UNIT 3      UNIT 4R  
ROOF PLAN

REFER TO UNIT FLOOR PLANS  
FOR ADDITIONAL DIMENSIONS



399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

Hacienda Garden Properties, LLC

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BUILDING 7 THIRD FLOOR & ROOF PLANS

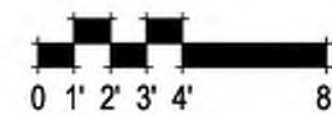
A08.1

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Brentwood, CA 94513  
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ELEVATION SHOWING BUILDING 5  
SEE CIVIL SHT. C5 FOR LOCATION ON SITE PLAN



**BUILDING 7 FRONT ELEVATION**  
A08.2

399.254 Hacienda Village  
Sunnyvale, CA  
November 2025

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Brentwood, CA 94513  
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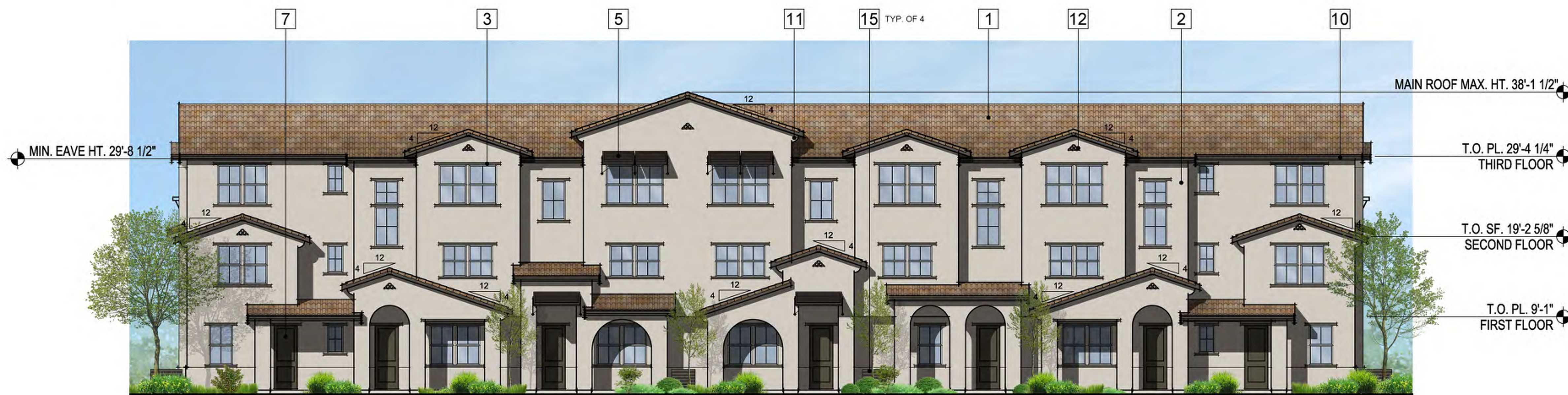


**EXTERIOR MATERIALS**

1. CONCRETE TILE "S" ROOFING
2. EXTERIOR PLASTER FINISH
3. EXTERIOR PLASTER FINISH OVER 2x4 FOAM TRIM
4. WROUGHT IRON RAILING
5. METAL AWNING
6. INSULATED VINYL WINDOWS
7. FIBERGLASS FRONT DOOR
8. VINYL SLIDING GLASS DOOR
9. SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
10. METAL FASCIA GUTTER
11. DECORATIVE CORBEL
12. CLAY TILE ACCENT
13. PAINTED METAL UTILITY DOOR
14. METAL POT SHELF
15. WOOD AC SCREEN



UNIT 4R  
RIGHT ELEVATION



UNIT 4    UNIT 3R    UNIT 3R    UNIT 3    UNIT 3    UNIT 3    UNIT 4R  
FRONT ELEVATION

ALL WINDOW GLAZING IN THIS PROJECT HAS AN AVERAGE REFLECTIVITY OF < 50%

ELEVATION SHOWING BUILDING 5  
SEE CIVIL SHT. C5 FOR LOCATION ON SITE PLAN



**BUILDING 7 FRONT & RIGHT EXTERIOR ELEVATIONS**  
A08.3

399.254 Hacienda Village  
Sunnyvale, CA  
November 2025

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Brentwood, CA 94513  
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- EXTERIOR MATERIALS**
1. CONCRETE TILE "S" ROOFING
  2. EXTERIOR PLASTER FINISH
  3. EXTERIOR PLASTER FINISH OVER 2x4 FOAM TRIM
  4. WROUGHT IRON RAILING
  5. METAL AWNING
  6. INSULATED VINYL WINDOWS
  7. FIBERGLASS FRONT DOOR
  8. VINYL SLIDING GLASS DOOR
  9. SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
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  11. DECORATIVE CORBEL
  12. CLAY TILE ACCENT
  13. PAINTED METAL UTILITY DOOR
  14. METAL POT SHELF
  15. WOOD AC SCREEN



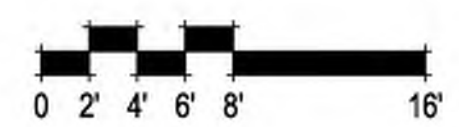
UNIT 4  
LEFT ELEVATION



UNIT 4R      UNIT 3      UNIT 3      UNIT 3      UNIT 3R      UNIT 3R      UNIT 4  
REAR ELEVATION

ALL WINDOW GLAZING IN THIS PROJECT HAS AN AVERAGE REFLECTIVITY OF < 50%

ELEVATION SHOWING BUILDING 5  
SEE CIVIL SHT. C5 FOR LOCATION ON SITE PLAN



BUILDING 7 REAR & LEFT EXTERIOR ELEVATIONS  
A08.4

399.254 Hacienda Village  
Sunnyvale, CA  
November 2025

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Brentwood, CA 94513  
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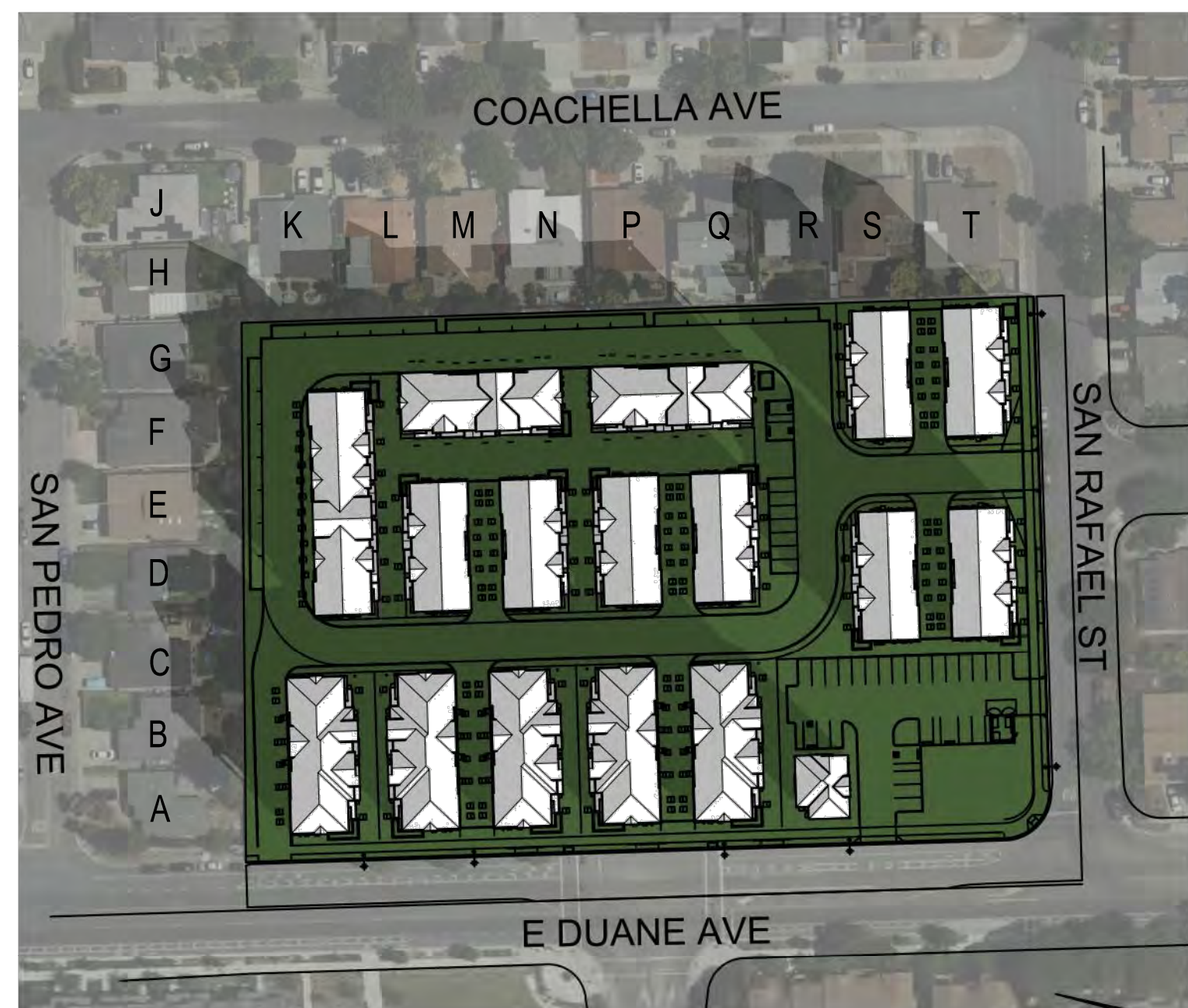
SUMMER SOLSTICE  
JUNE 21 @ 9 AM



SUMMER SOLSTICE  
JUNE 21 @ 12 PM



SUMMER SOLSTICE  
JUNE 21 @ 3 PM



WINTER SOLSTICE  
DECEMBER 21 @ 9 AM



WINTER SOLSTICE  
DECEMBER 21 @ 12 PM



WINTER SOLSTICE  
DECEMBER 21 @ 3 PM

399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

Hacienda Garden Properties, LLC

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**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

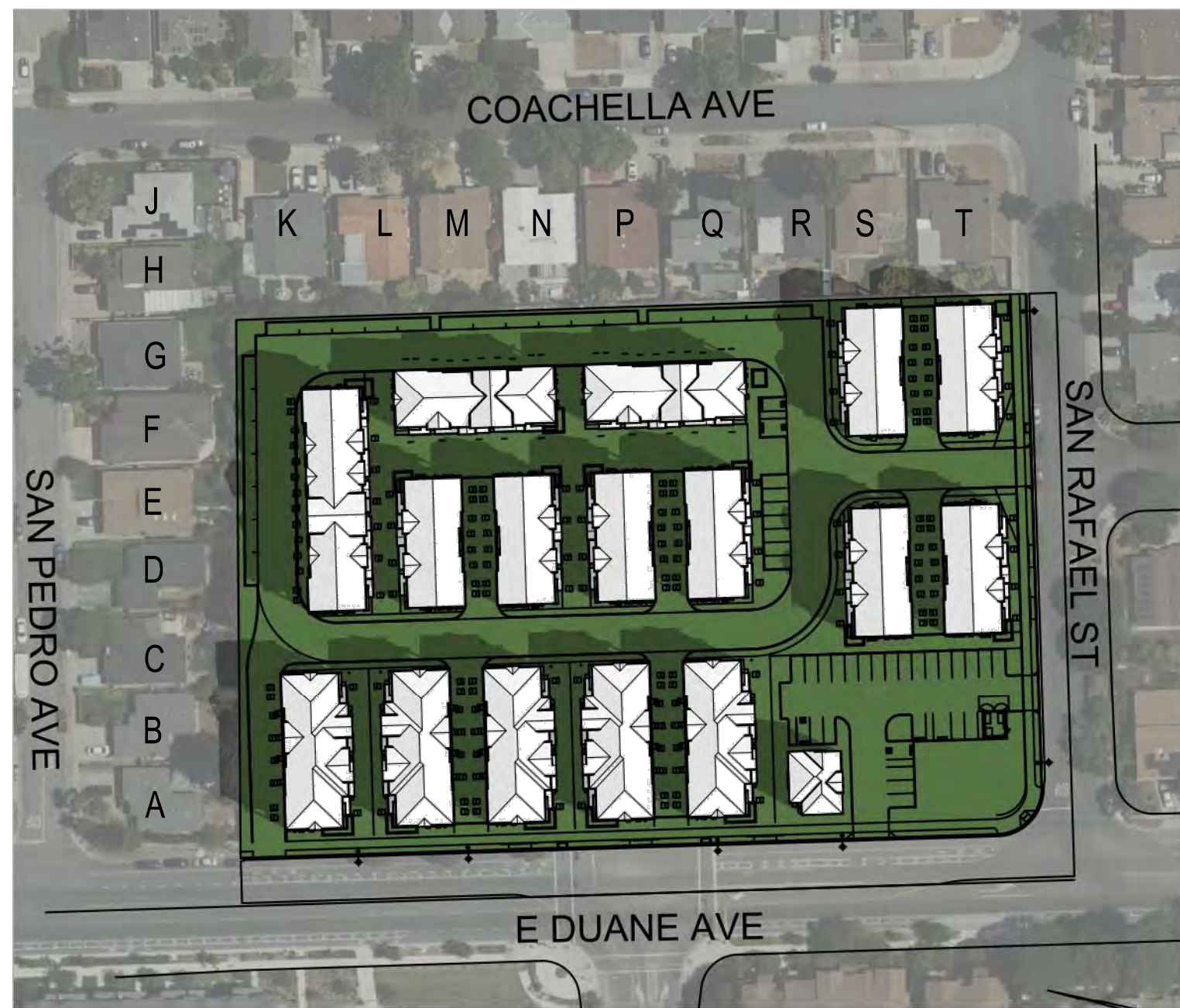
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
Pleasanton, CA, 94588 Fax 925.847.1557

SOLAR ACCESS STUDY

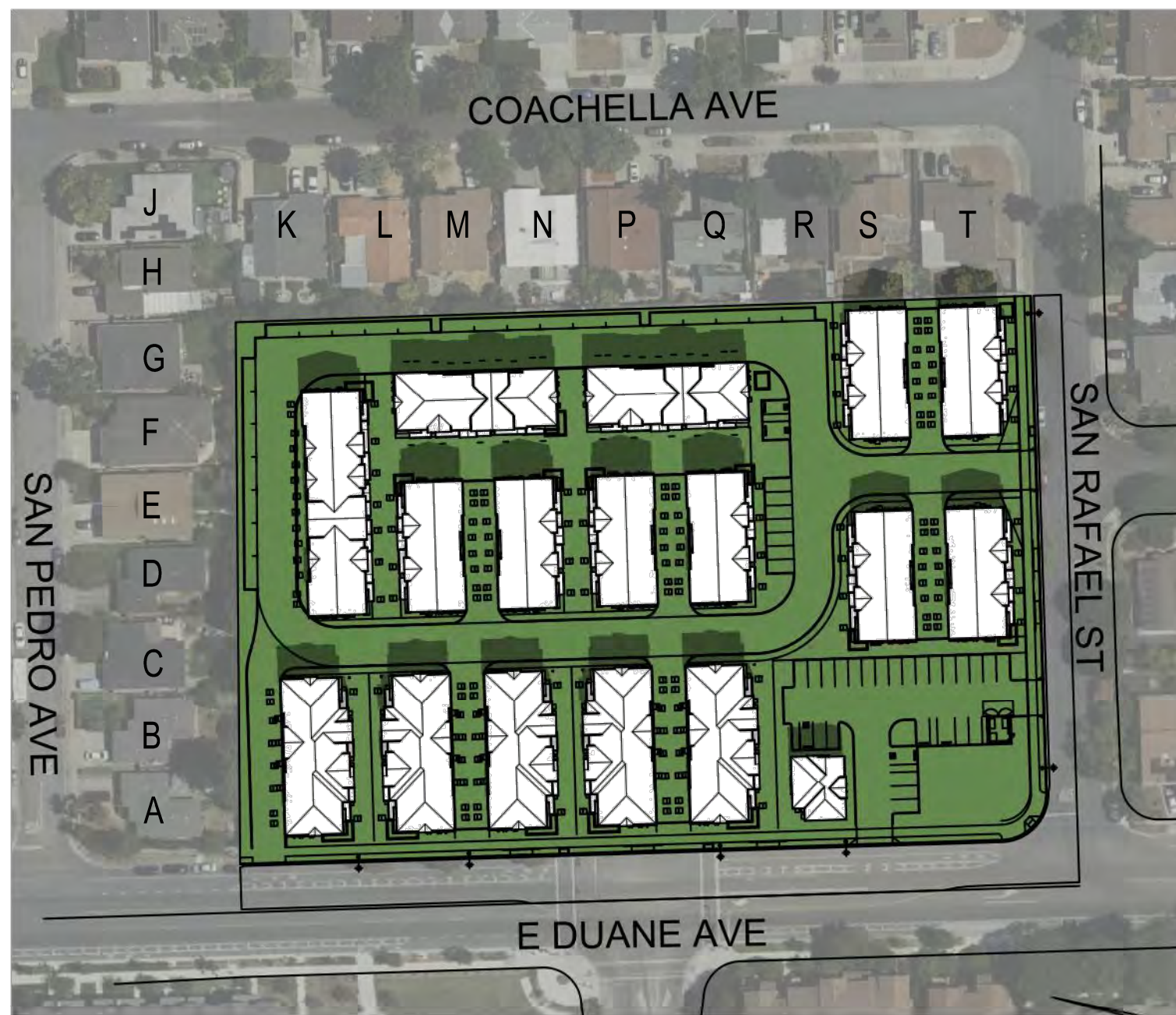
A11

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Brentwood, CA 94513  
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VERNAL / AUTUMNAL EQUINOX  
MARCH / SEPTEMBER 21 @ 9 AM



VERNAL / AUTUMNAL EQUINOX  
MARCH / SEPTEMBER 21 @ 12 PM



VERNAL / AUTUMNAL EQUINOX  
MARCH / SEPTEMBER 21 @ 3 PM

399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

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408.391.9081

**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

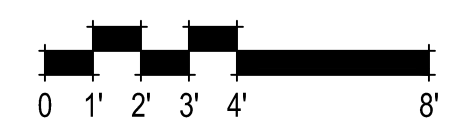
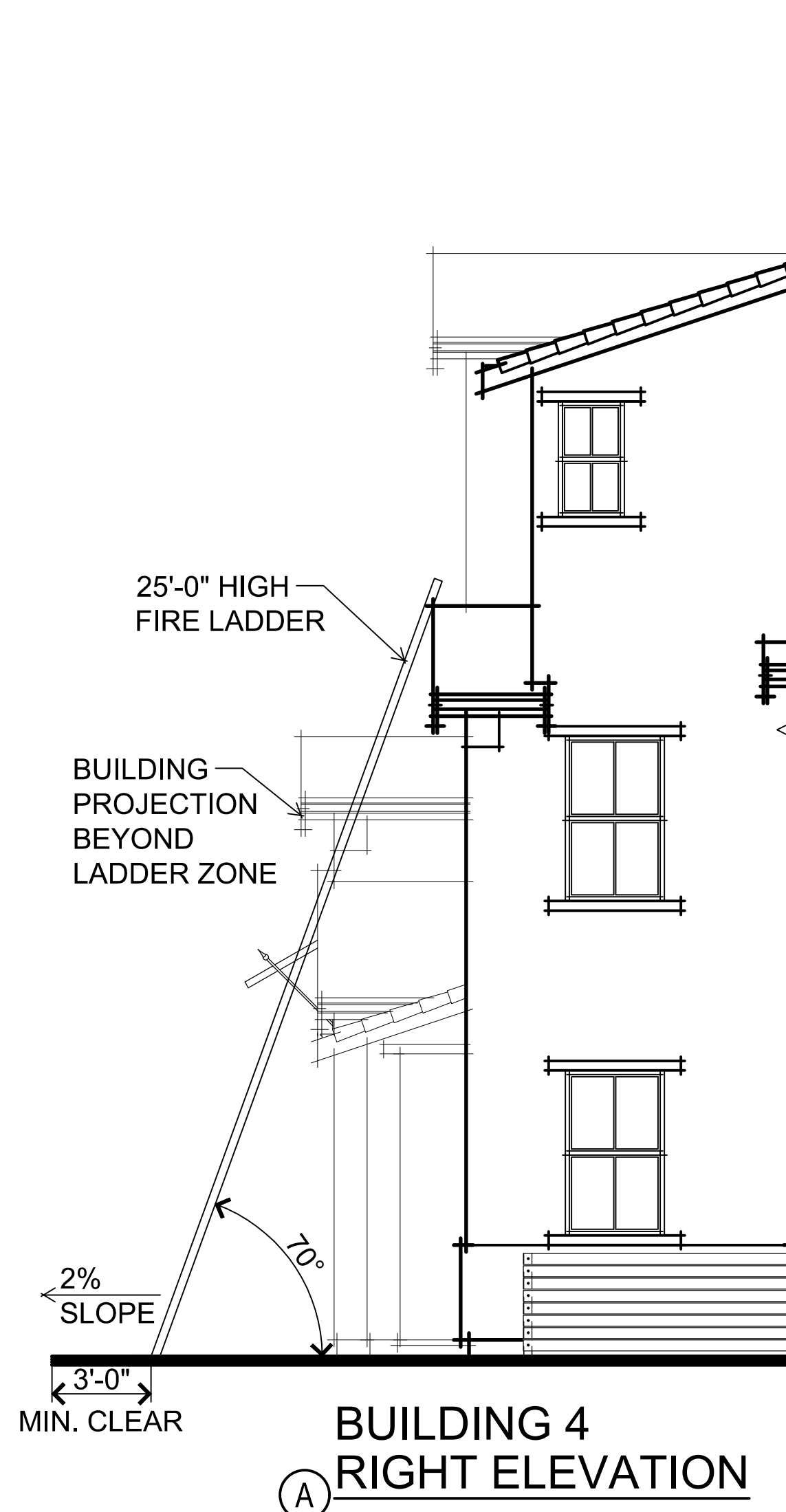
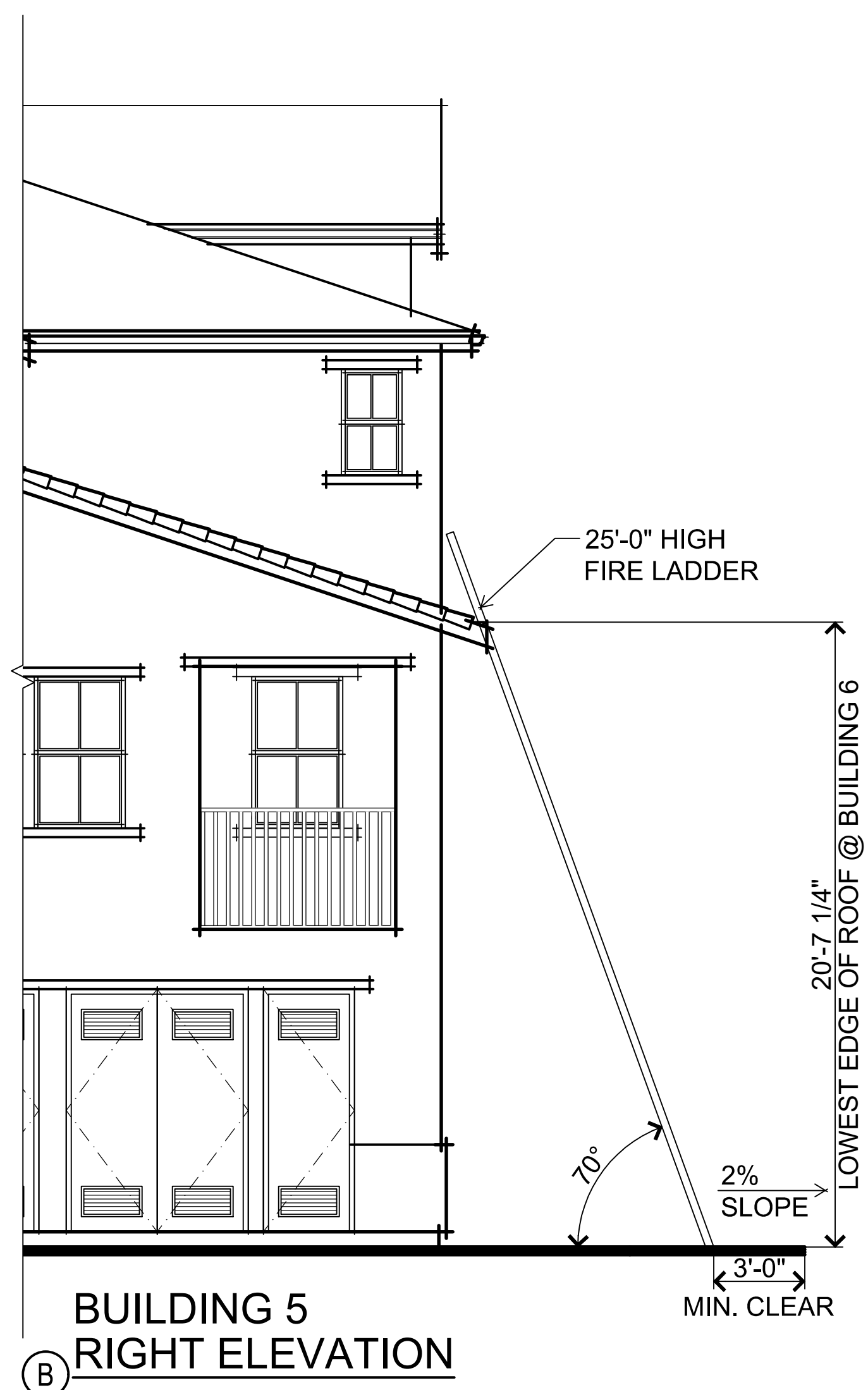
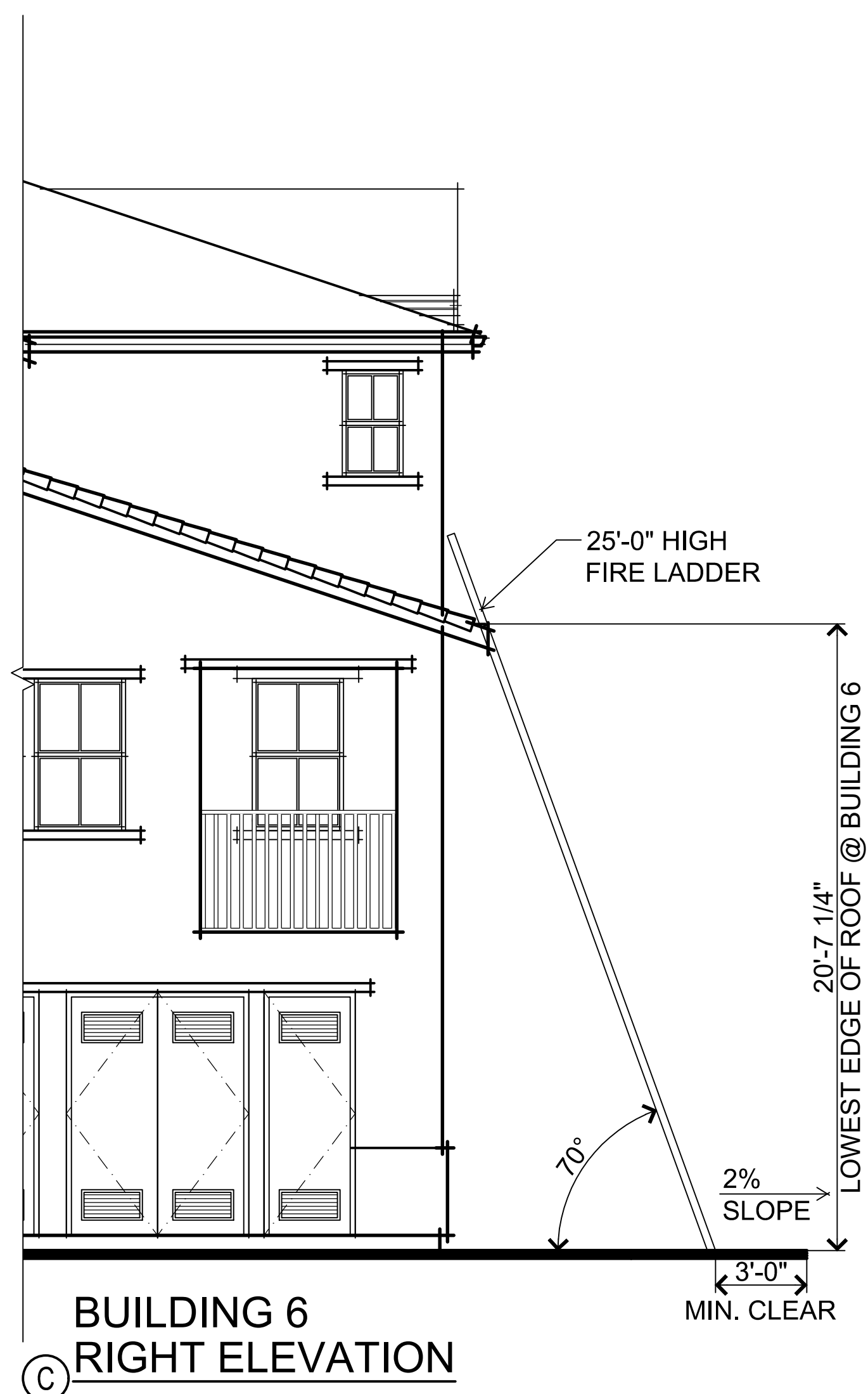
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SOLAR ACCESS STUDY

A11.1

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LADDER REACH REQUIREMENTS  
A12

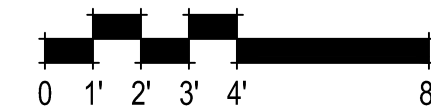
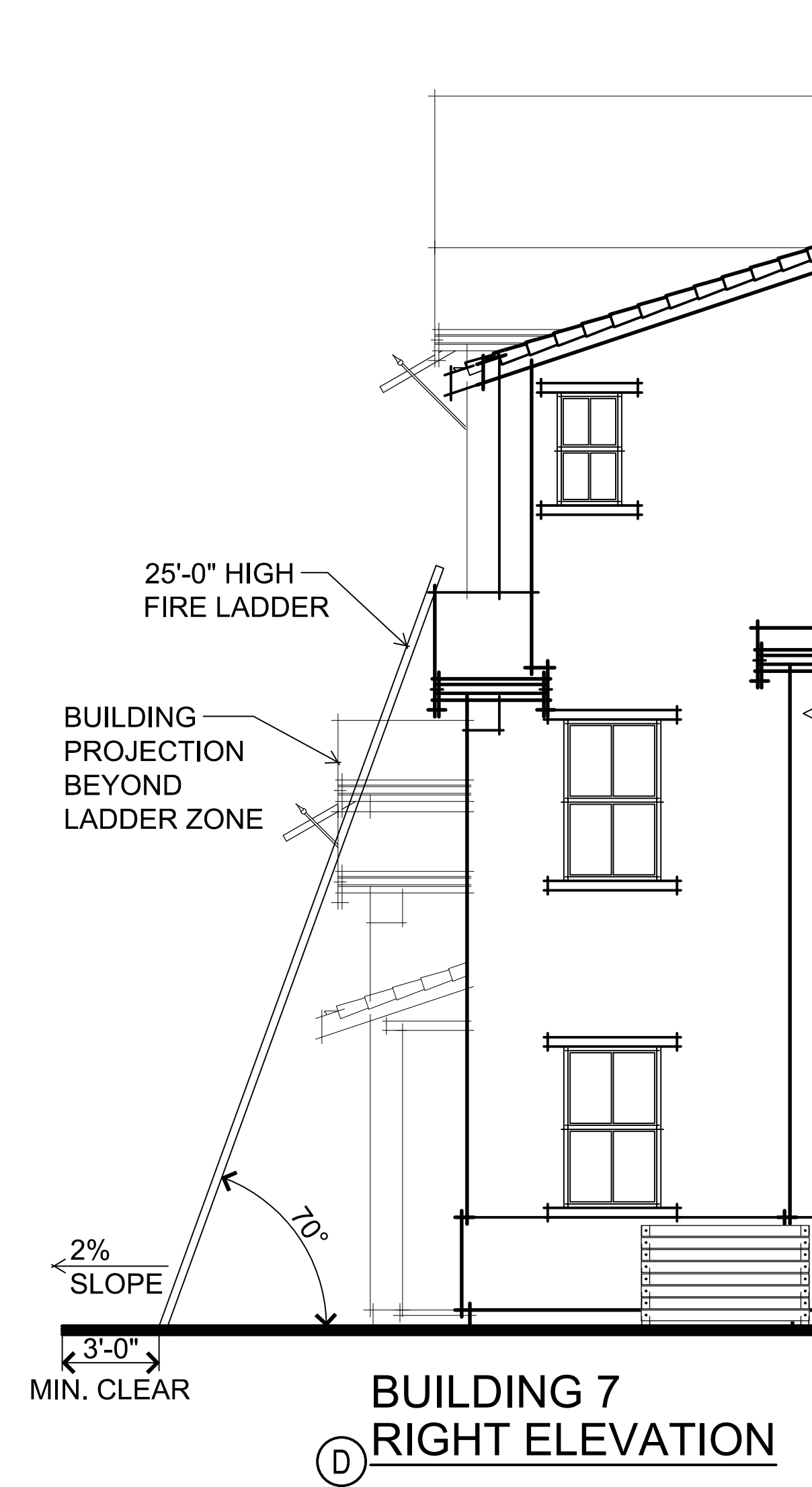
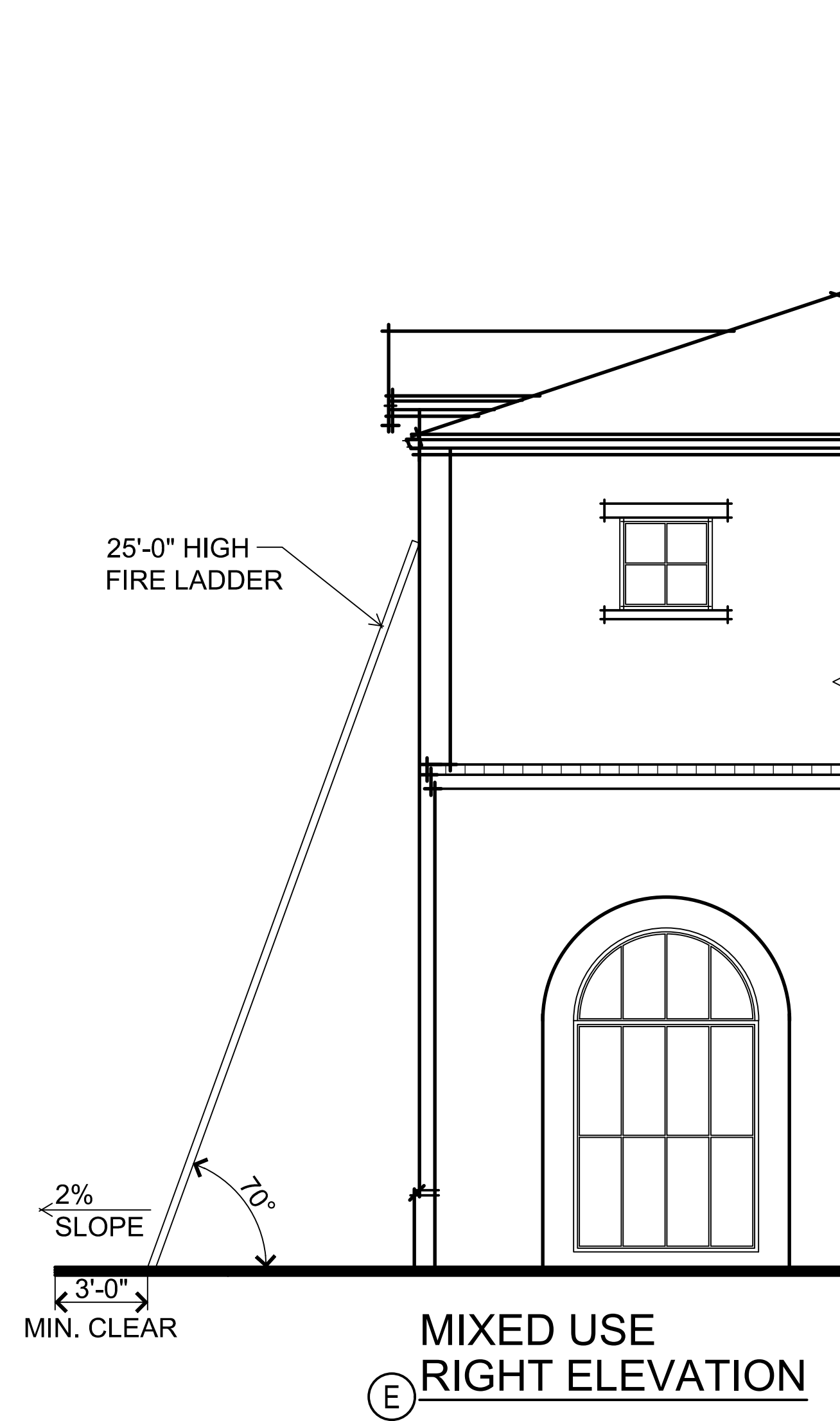
399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

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19341 Via Monte, Saratoga, CA 95070  
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LADDER REACH REQUIREMENTS  
A12.1

399,254 Hacienda Village  
Sunnyvale, CA  
November 2025

Hacienda Garden Properties, LLC

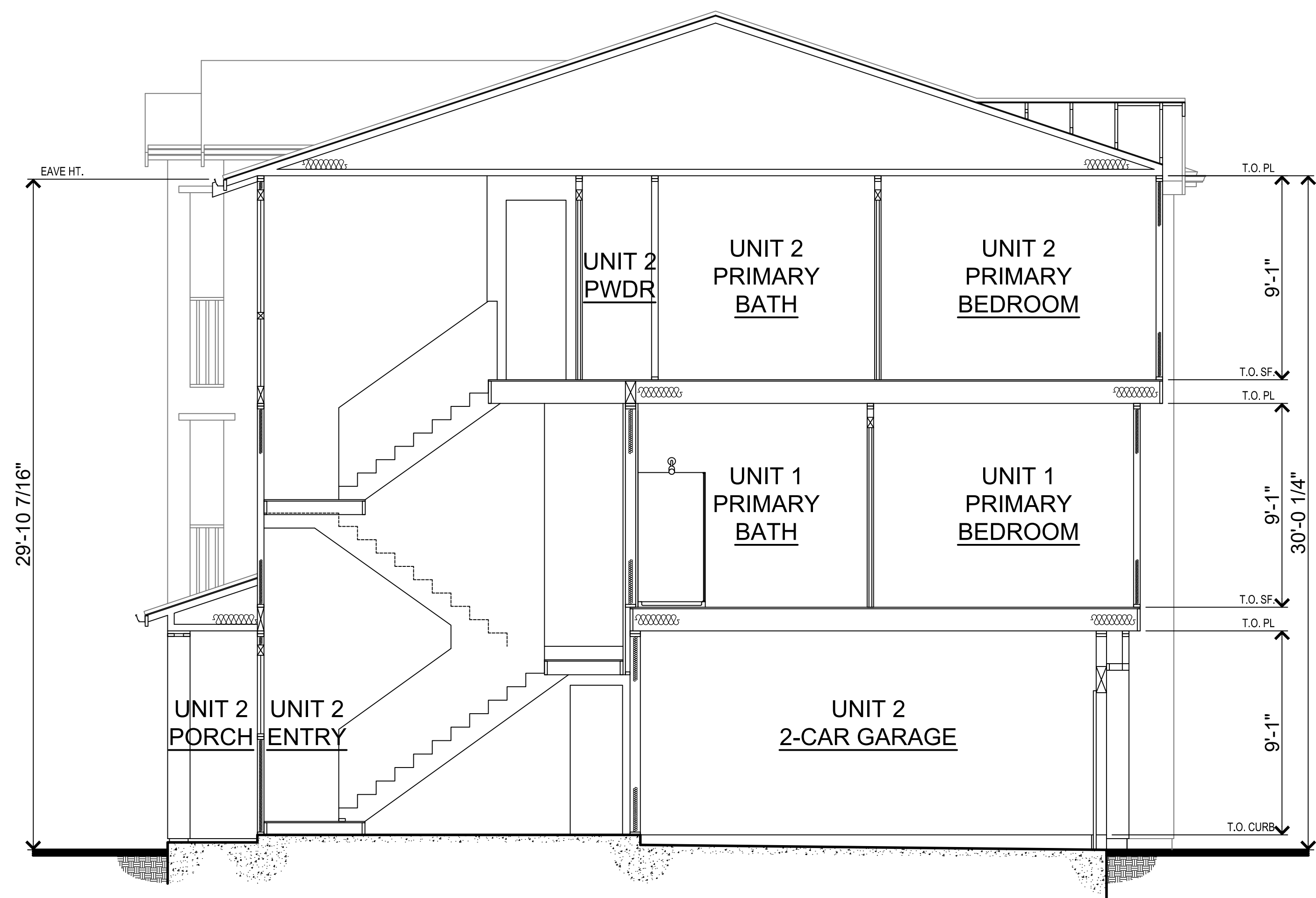
19341 Via Monte, Saratoga, CA 95070  
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**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

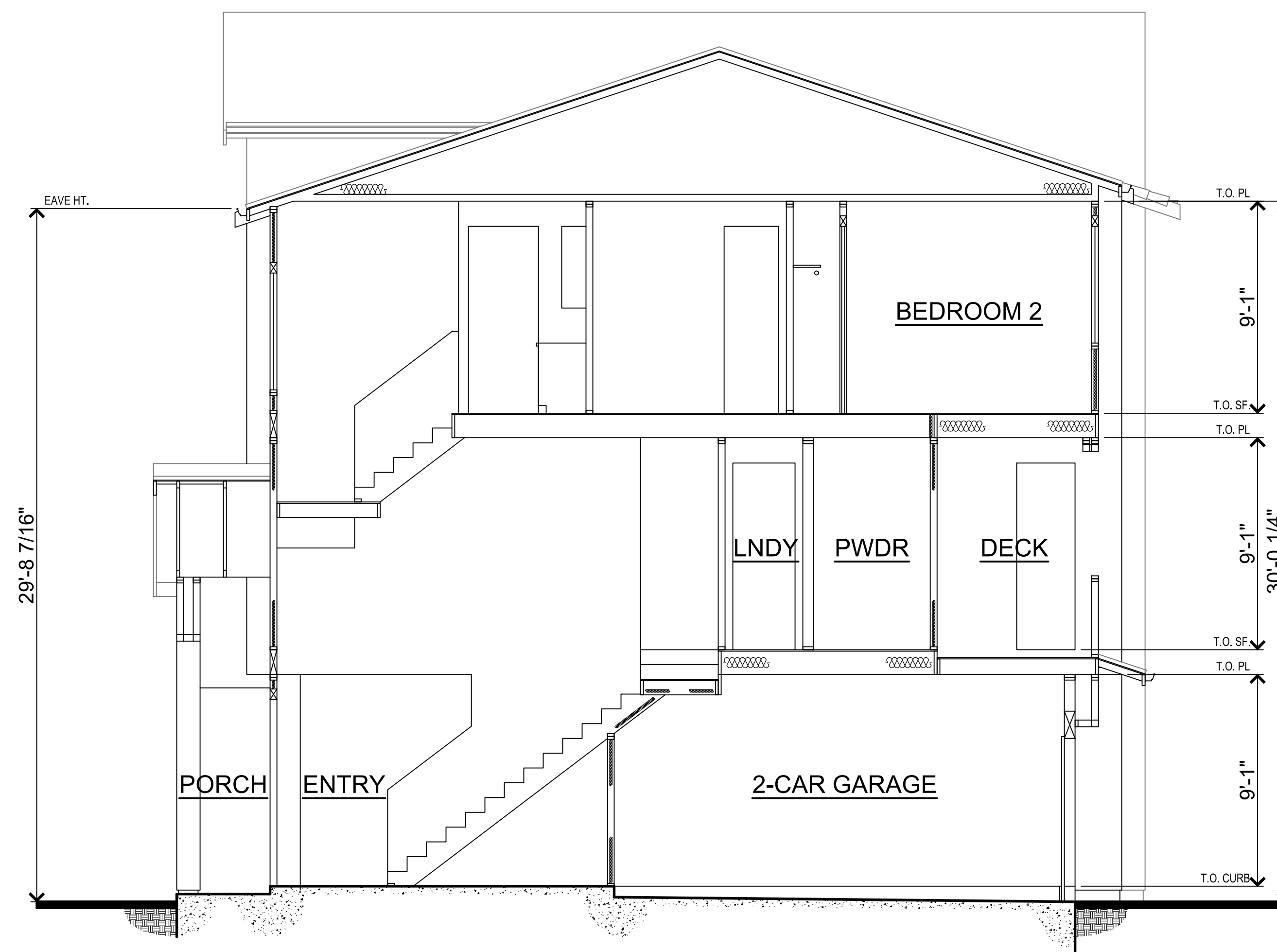
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
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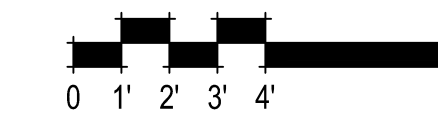




UNIT 1 & 2 - SECTION



UNIT 3 - SECTION



399,254 Hacienda Village  
 Sunnyvale, CA  
 November 2025

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**WOOD RODGERS**  
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

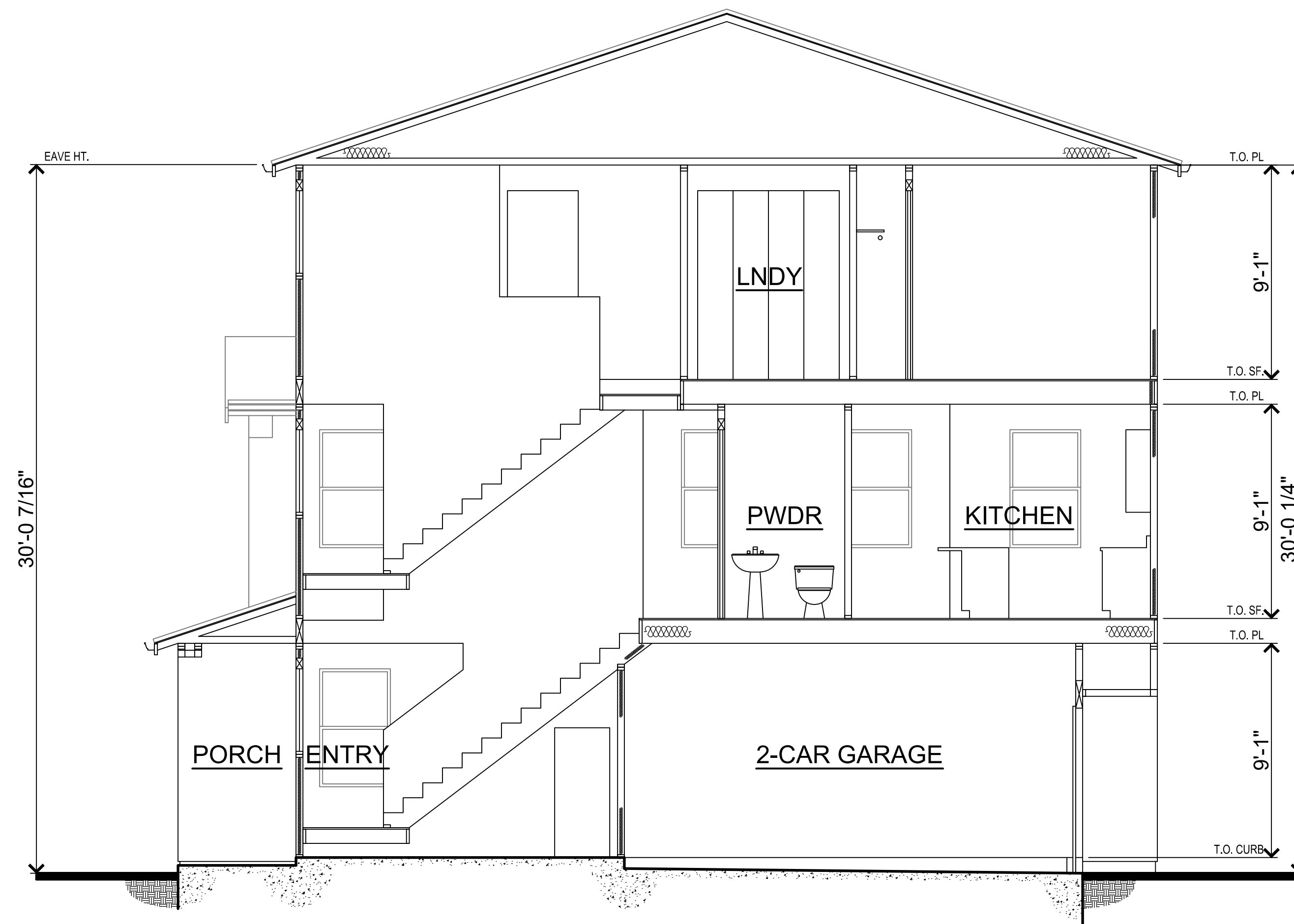
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
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UNIT SECTIONS

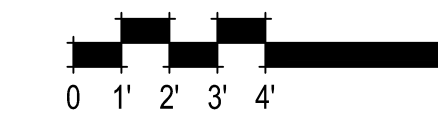
A13

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UNIT 4 - SECTION



UNIT SECTIONS  
A13.1

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Sunnyvale, CA  
November 2025

Hacienda Garden Properties, LLC

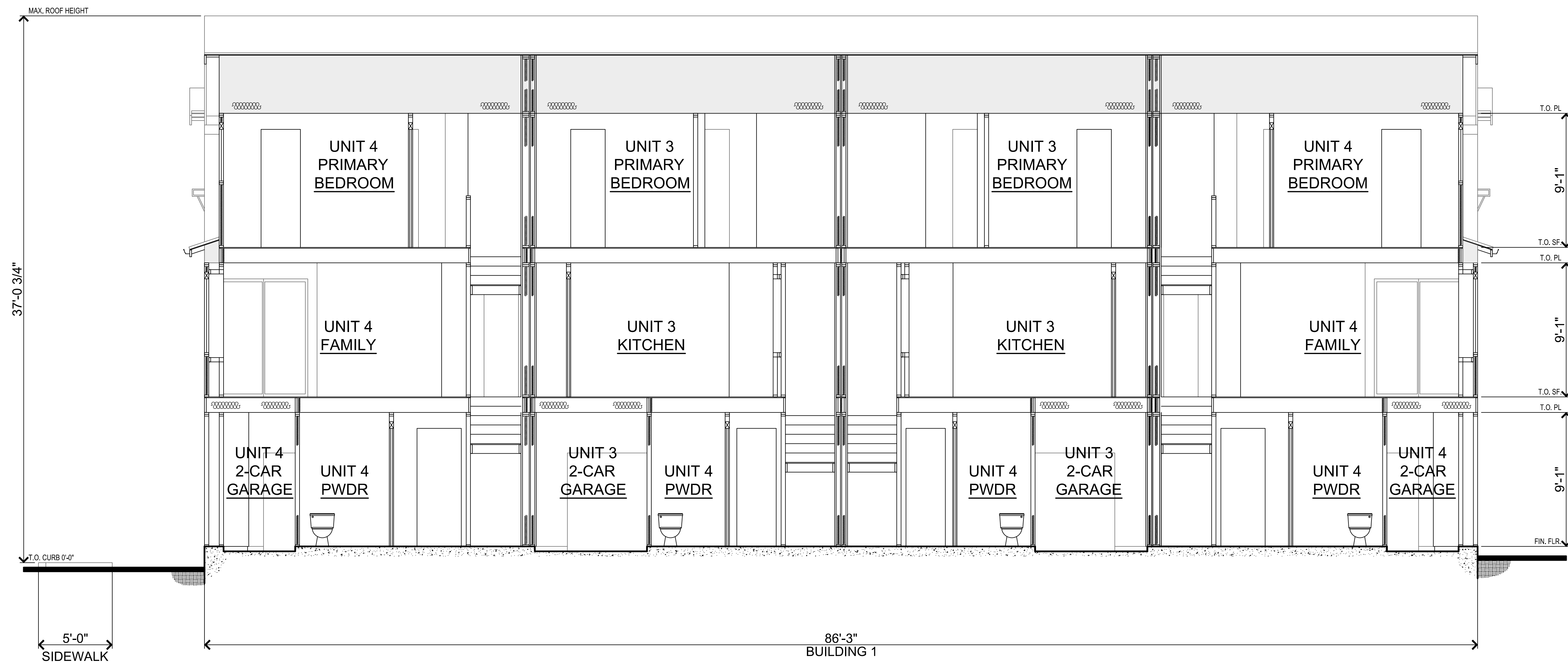
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408.391.9081

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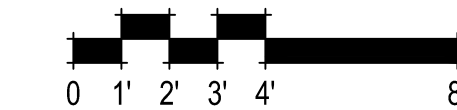
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BUILDING 4 - SECTION



BUILDING 4 SECTION  
A14

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Sunnyvale, CA  
November 2025

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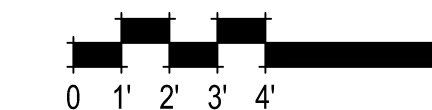
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BUILDING 5 - SECTION



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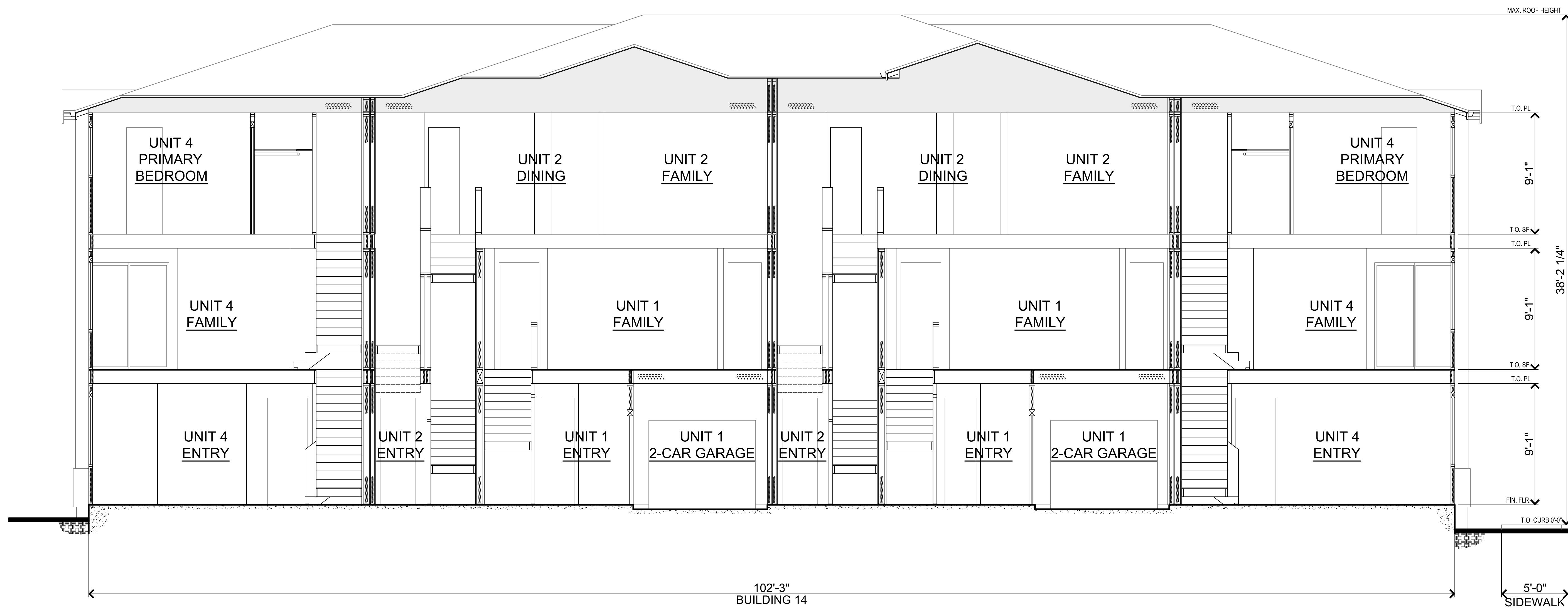
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BUILDING 5 SECTION

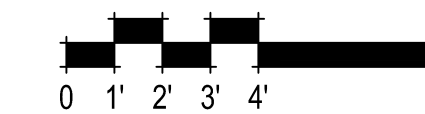
A14.1

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BUILDING 6 - SECTION



BUILDING 6 SECTION  
A14.2

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Sunnyvale, CA  
November 2025

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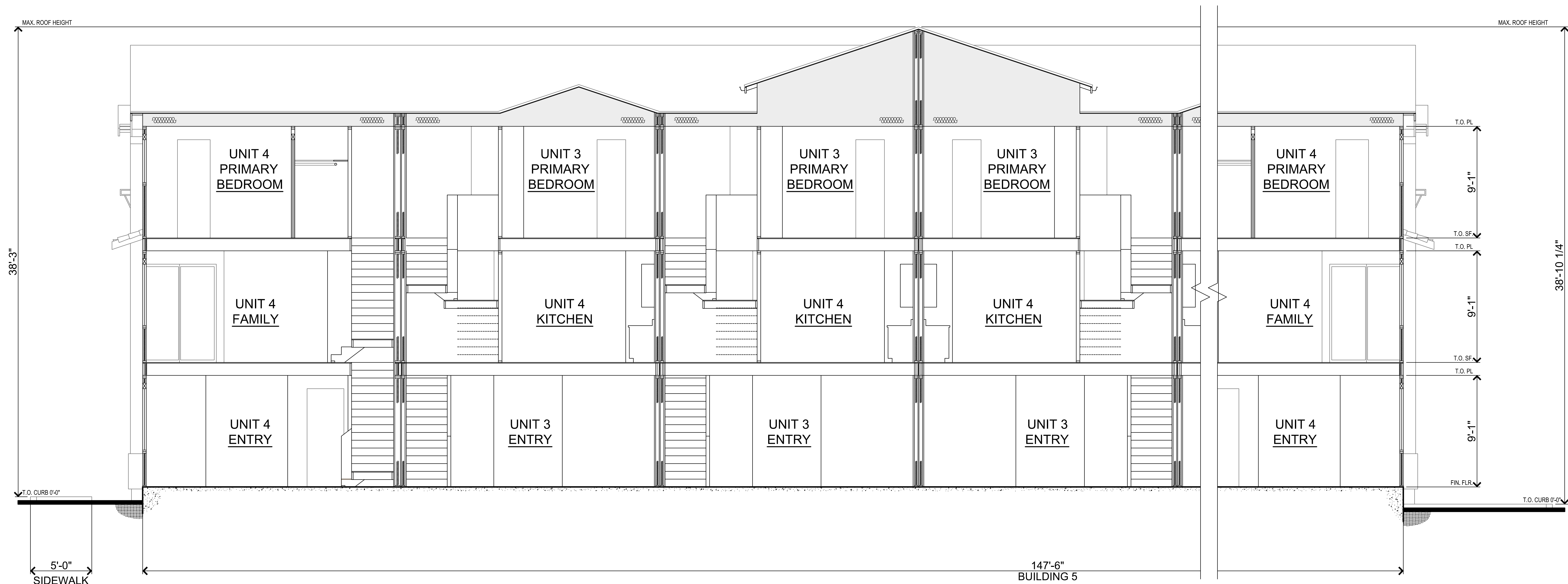
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**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

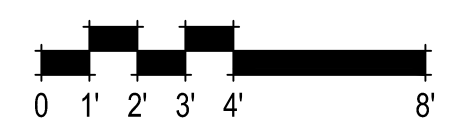
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556  
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BUILDING 7 - SECTION



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 Sunnyvale, CA  
 November 2025

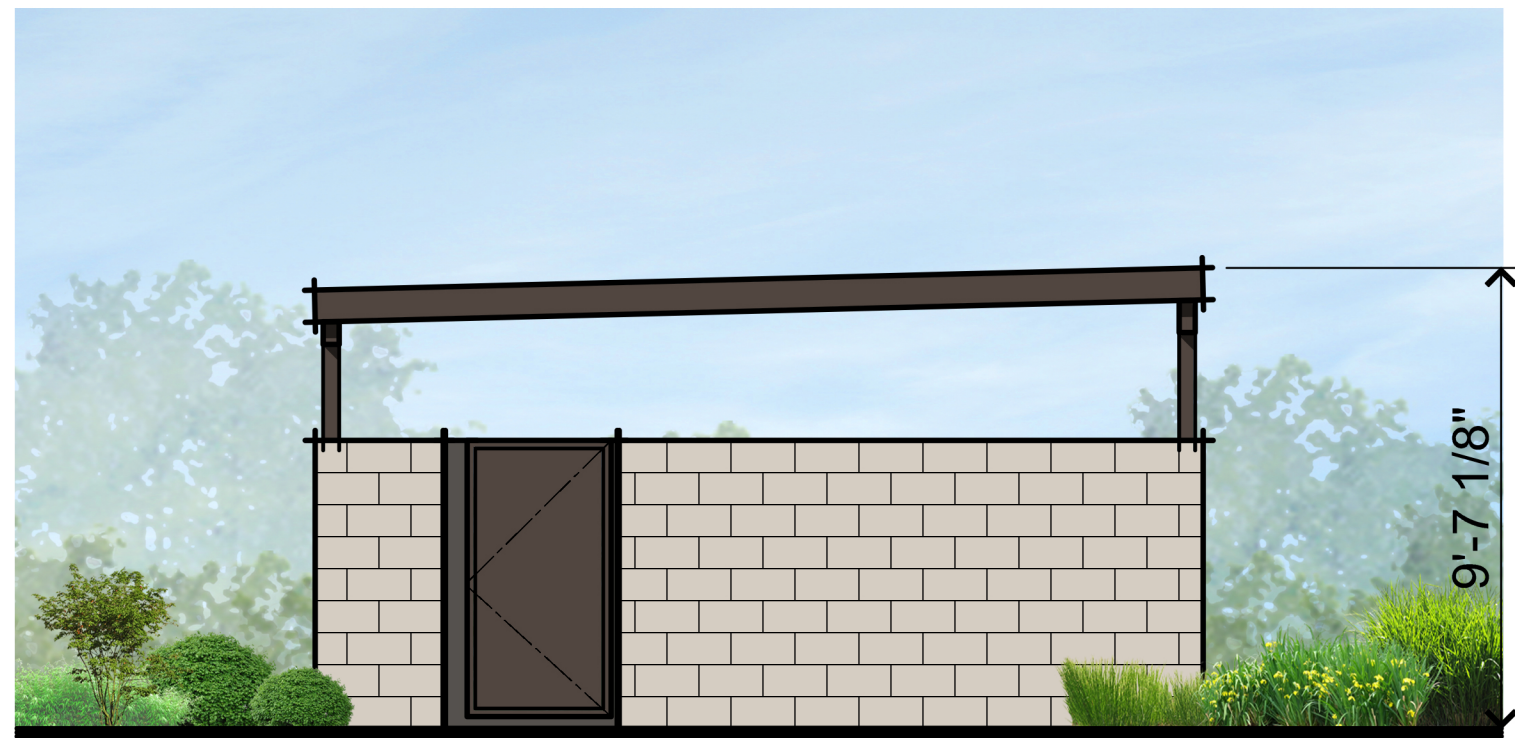
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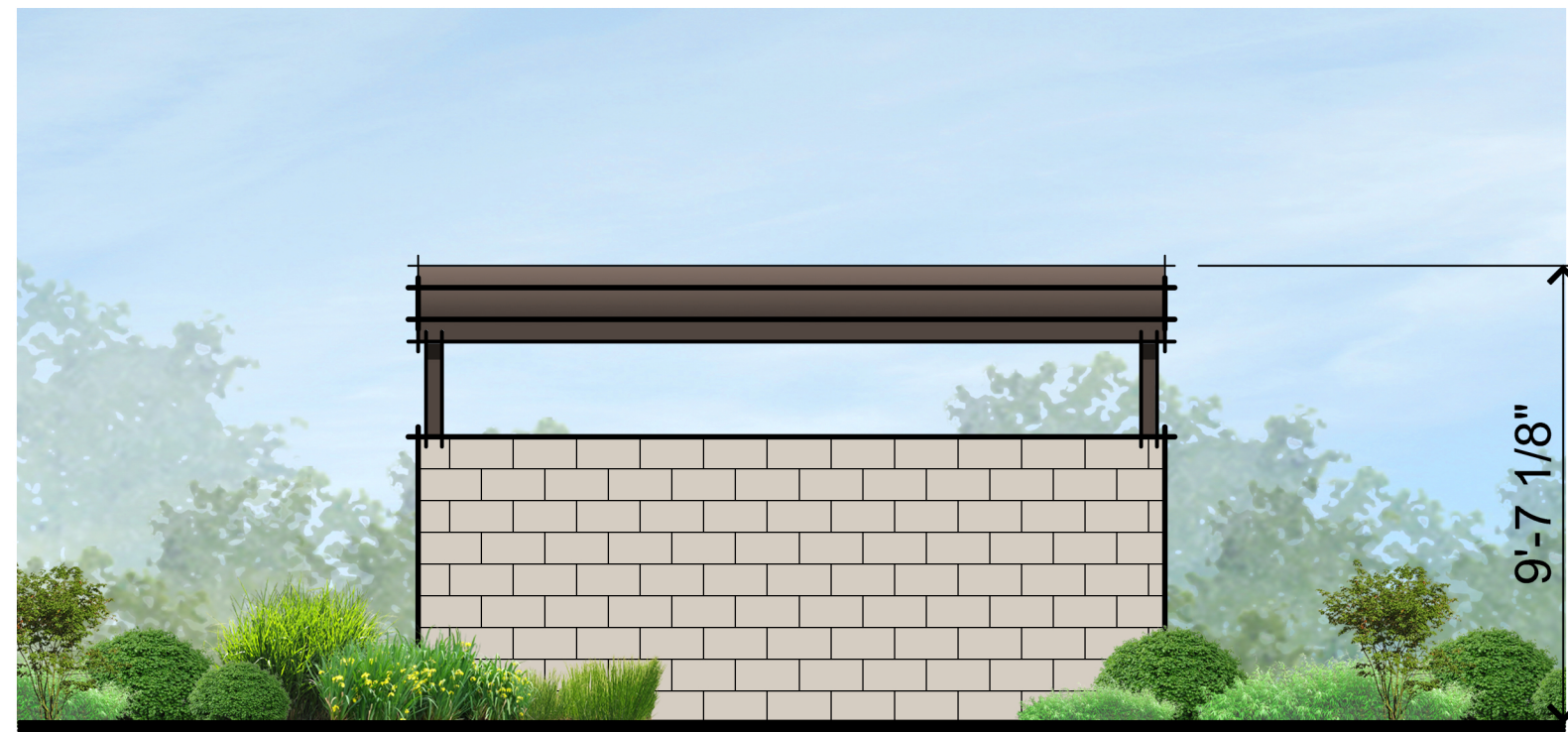
BUILDING 7 SECTION  
 A14.3

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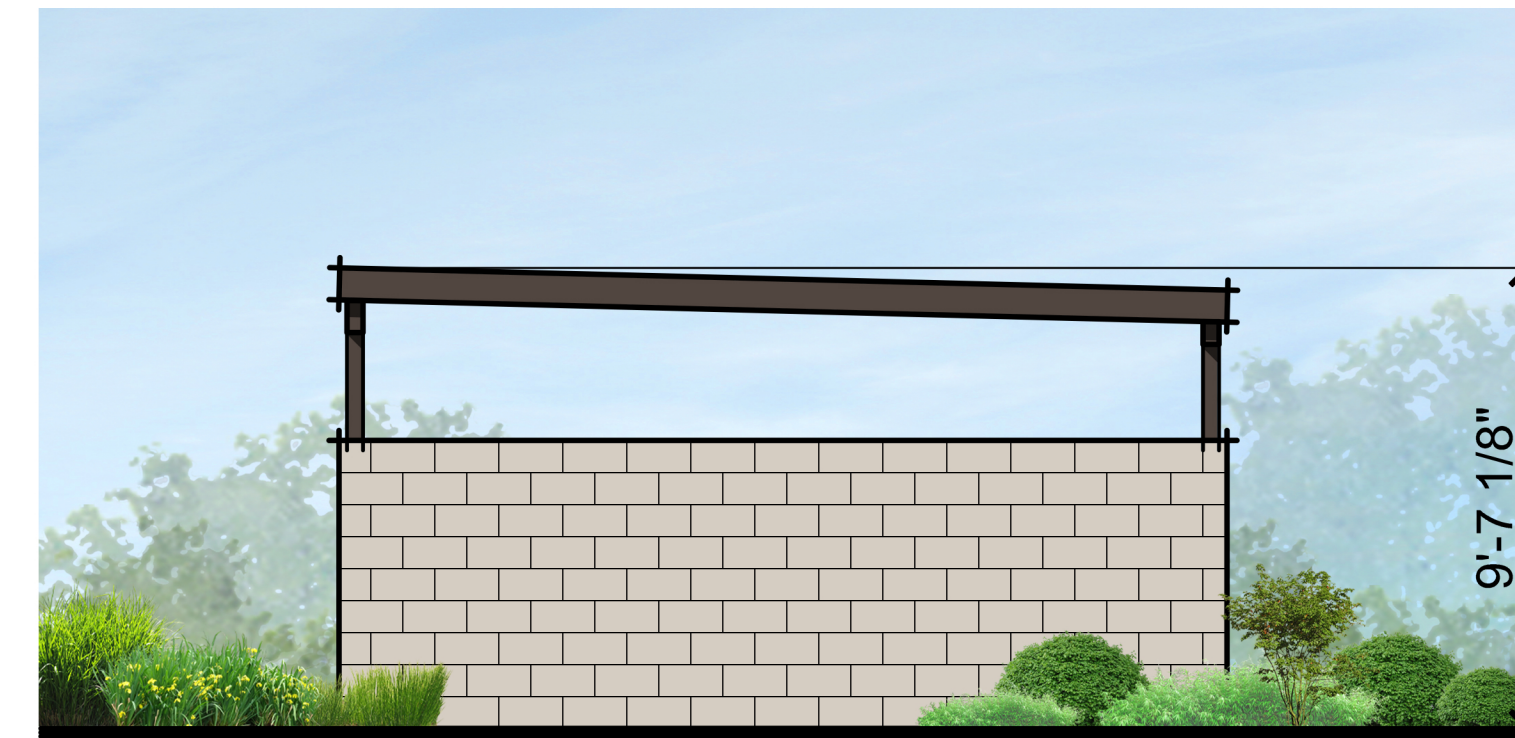




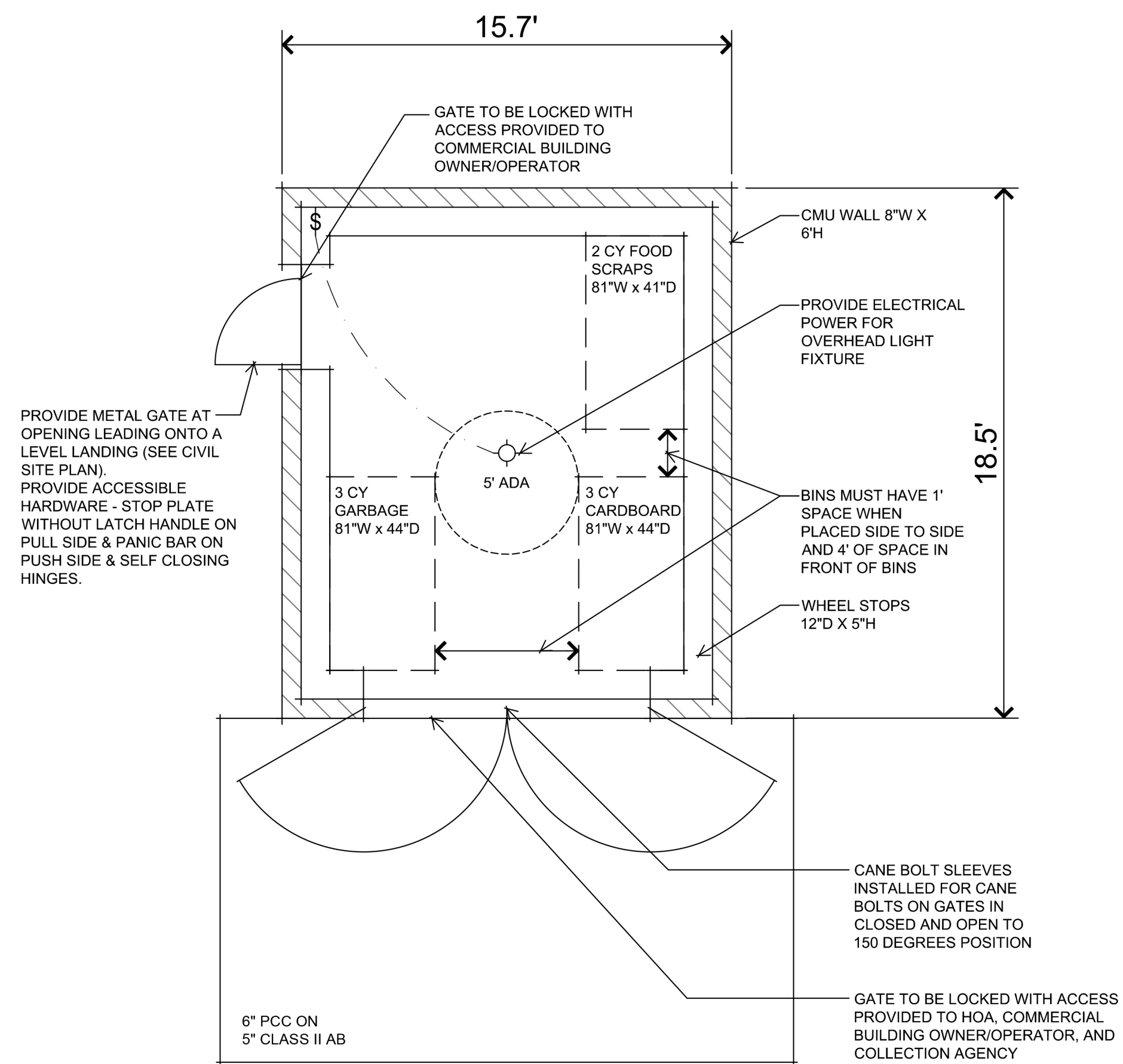
LEFT ELEVATION



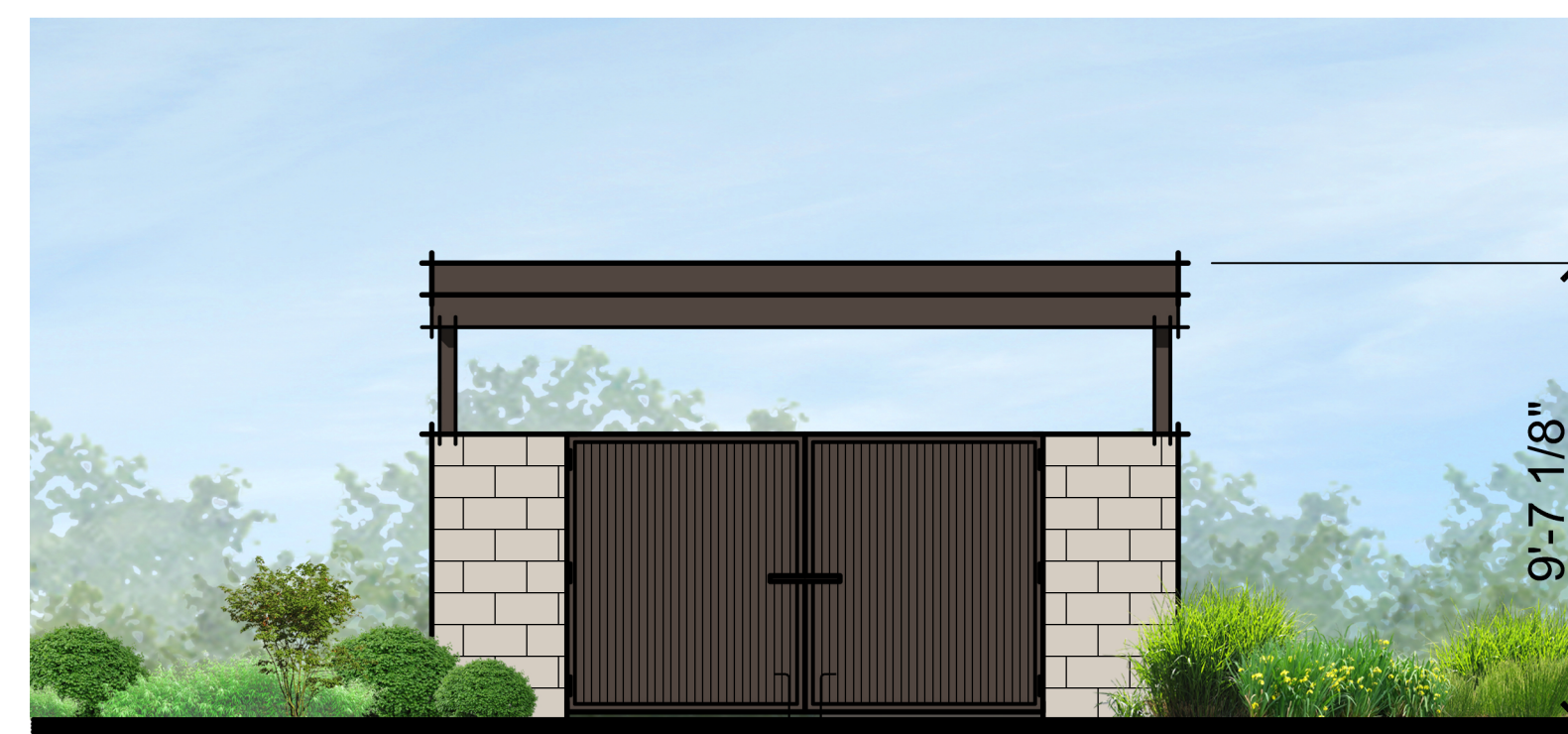
REAR ELEVATION



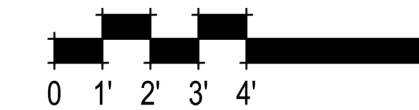
RIGHT ELEVATION



FLOOR PLAN



FRONT ELEVATION



TRASH ENCLOSURE EXHIBIT  
A15

399,254 Hacienda Village  
Sunnyvale, CA  
July 19, 2024

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COLOR SCHEME 1



**Westlake Royal**  
Barcelona 900  
California Mission Blend



**Stucco**  
SW 7551 Greek Villa  
LRV: 84



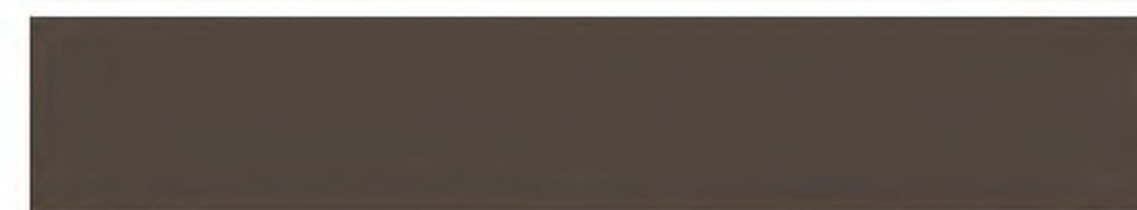
**\*Stucco Alternative**  
SW 7042 Shoji White  
LRV: 74



**Trim / Fascia  
Garage Doors**  
SW 7506 Loggia  
LRV: 48



**Entry Door / Accent**  
SW 2740 Mineral Gray  
LRV: 9



**Metal Accent**  
SW 7020 Black Fox  
LRV: 7



**Accent Tile**

*Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.*

COLOR SCHEME 2



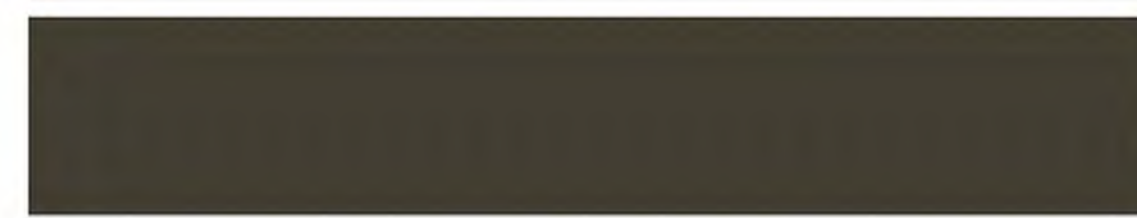
**Westlake Royal**  
Barcelona 900  
Tesoro Blend



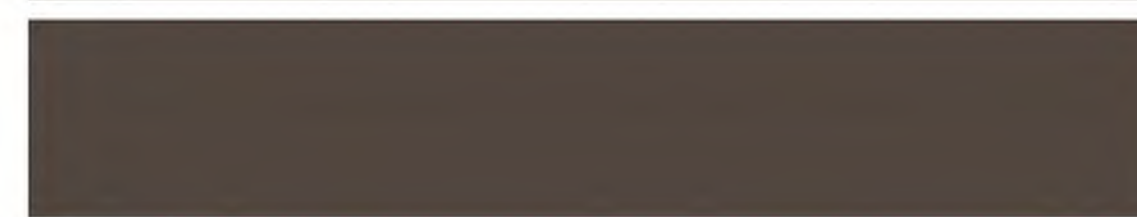
**Stucco**  
SW 7029 Agreeable Gray  
LRV: 57



**Trim / Fascia  
Garage Doors**  
SW 7026 Griffin  
LRV: 13



**Entry Door / Accent**  
SW 6174 Andiron  
LRV: 5



**Metal Accent**  
SW 7020 Black Fox  
LRV: 7

COLOR SCHEME 3



**Westlake Royal**  
Barcelona 900  
Smokey Topaz Blend



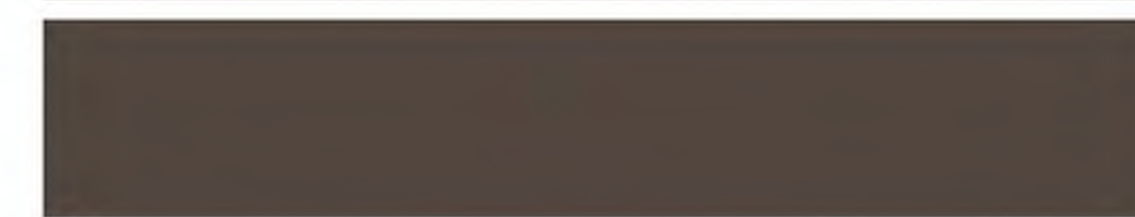
**Stucco**  
SW 7529 Sand Beach  
LRV: 57



**Trim / Fascia  
Garage Doors**  
SW 7642 Pavestone  
LRV: 32



**Entry Door / Accent**  
SW 2851 Sage Green Light  
LRV: 16



**Metal Accent**  
SW 7020 Black Fox  
LRV: 7



NEW HOME RATING SYSTEM, VERSION 9.1

Blueprint Scoresheet

Points Targeted: 92.0  
 Certification Level Targeted: Silver  
 Compliance Pathway Targeted: Option 1: All Electric Compliance  
 T24 Compliance Targeted: 10 %

Hacienda Village		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Responsible Party	Blueprint Page No.	
		Possible Points								
CALGreen	Yes	CALGreen (REQUIRED)	4		1	1	1	1		
<b>A. SITE</b>										
	Yes	A2. Job Site Construction Waste Diversion								
	Yes	A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover)	2			2				
	Yes	A6. Stormwater Control: Prescriptive Path								
	Yes	A6.3 Non-Leaching Roofing Materials	1				1			
<b>C. LANDSCAPE</b>										
	16.07%	Enter the landscape area percentage. Points capped at 3 for less than 15%.								
	Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	1				1			
	Yes	C2. Three Inches of Organic Mulch in Planting Beds	1				1			
	Yes	C3. Resource Efficient Landscapes								
	Yes	C3.1 No Invasive Species According to Region	1			1				
	Yes	C3.3 Drought Tolerant, Native, or Other Appropriate Species	3				3			
	Yes	C4. Minimal Turf in Landscape								
	Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2				2			
	Yes	C6. High-Efficiency Irrigation System								
	Yes	C6.1 System Uses Only Low-Flow Drip, Bubblers or Sprinklers	2				2			
	Yes	C10. Submeter or Dedicated Meter for Landscape Irrigation	2				2			
	≤0.5 Eto	C11. Efficient Landscape Water Budget	1				1			
<b>E. EXTERIOR</b>										
	Yes	E4. Durable and Non-Combustible Cladding Materials	1			1				
	Yes	E5. Durable and Fire Resistant Roofing Materials or Assembly	1			1				
	Yes	E7. Cool Roof	1		1					
<b>F. INSULATION</b>										
	Yes	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content								
	Yes	F1.1 Walls and Floors	0.5			0.5				
	Yes	F1.2 Ceilings	0.5			0.5				
	Yes	F2. Low-Emitting Insulation								
	Yes	F2.1 Walls and Floors	0.5		0.5					
	Yes	F2.2 Ceilings	0.5		0.5					
<b>G. PLUMBING</b>										
	Yes	G2. Install Water-Efficient Fixtures								
	1.28 gpf	G2.1 WaterSense Showerheads ≤ 1.75 gpm	2				2			
	Yes	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams ≤ 1.28 gpf OR ≤ 1.1 gpf	1				2			
	Yes	G6. Submeter Water for Tenants	2				2			
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>										
	Yes	H1. All Electric or Sealed Combustion Units								
	Yes	H1.1 Sealed Combustion Furnace or Heat Pump	1		1					
	Yes	H1.2 Sealed Combustion or Heat Pump Water Heater	2		2					
	Yes	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality								
	Yes	H6.1 Meet ASHRAE Standard 62.2-2019 Ventilation Residential Standards	Y	R	R	R	R	R		
<b>J. BUILDING PERFORMANCE AND TESTING</b>										
	Yes	J1. Third-Party Verification of Quality of Insulation Installation	1		1					
	Option 1: All Electric Compliance	J5. Building Energy Performance								
	Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	45		25+					
	Yes	J6.1 Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1		1					
<b>K. FINISHES</b>										
	Yes	K3. Low-VOC Caulks and Adhesives	1		1					
<b>M. APPLIANCES AND LIGHTING</b>										
	Yes	M1. ENERGY STAR® Dishwasher	1				1			
	<25 cubic feet	M3. Size-Efficient ENERGY STAR® Refrigerator	1		2					
<b>N. COMMUNITY</b>										
	Yes	N1. Smart Development								
	>20	N1.1 Infill Site	2	1			1			
	1200	N1.3 Conserve Resources by Increasing Density	1		2		2			
	2	N1.5 Home Size Efficiency	3				10			
	2	Enter the area of the home, in square feet								
	2	Enter the number of bedrooms								
	Yes	N2. Home(s)/Development Located Near Transit								
	Yes	N2.1 Within 1 Mile of a Major Transit Stop	1	1						
<b>O. OTHER</b>										
	Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R		
	Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5		
<b>Summary</b>										
Total Available Points in Specific Categories			425.5	50	131.5	83	100	61		
Minimum Points Required in Specific Categories			50	2	25	6	6	6		
<b>Total Points Targeted</b>			<b>92</b>	<b>2</b>	<b>50</b>	<b>7</b>	<b>12.5</b>	<b>20.5</b>		

399.254 Hacienda Village  
 Sunnyvale, CA  
 November 2025

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BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
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GREENPOINT CHECKLIST  
 GP1

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