



SUNNYVALE 24

PROJECT DESCRIPTION: FOUR LEVELS OF RESIDENTIAL TYPE V A

ZONING SUMMARY

PROJECT SITE INFORMATION

APN #	ADDRESS	ZONE	LOT AREA (SF)	LOT AREA (ACRE)
204-03-003	210 W AHWANEE AVE, SUNNYVALE, CA 94085	24-UNIT CONDO PROJECT IN R-4 / PD ZONING DISTRICT	+- 17,743	
204-03-002	214 W AHWANEE AVE, SUNNYVALE, CA 94085		+- 13,833	
TOTAL			+- 31,576	+- 0.72

PROJECT CONSTRUCTION TYPE

FOUR LEVELS OF RESIDENTIAL TYPE V A

		ALLOWED		PROPOSED		NOTES
SETBACKS						
	NORTH - FRONT	20'-0"		20'-0"		CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
	EAST - SIDE	9'-0" @ GRND. + 3'-0" EA. LVL ABOVE		7'-0" @ GRND. 10'-0" @ 2ND LVL		
	WEST - SIDE	9'-0" @ GRND. + 3'-0" EA. LVL ABOVE		13'-0" @ 3RD & 4TH LVL		
	SOUTH - REAR	20'-0"		32'-5" @ GRND 32'-5" @ 2ND & 3RD LVL		
				43'-5" @ 4TH LVL		
DENSITY		MIN. 28 DU/AC	MAX. 36 DU/AC	33 DU/AC		CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
FLOOR AREA RATIO		N/A		1.68		SUNNYVALE MUNICIPAL CODE - 19.32 - TABLE 19.32.020
NUMBER OF STORIES		4		4		CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
BUILDING HEIGHT		55'		48'-6" BLDG. HGT.		
LOT COVERAGE		40% + 5% PER GREEN BLDG. PROGRAM		44% - 13,895 S.F.		

PARKING SUMMARY

		REQUIRED		PROVIDED		NOTES
GUEST & RESIDENTS	2-3 BEDROOM	2 CAR / DU	48 STALLS	48 STALLS	38 ASSIGNED / COVERED 10 UNASSIGNED / UNCOVERED	STATE STANDARDS W/ DENSITY BONUS LAWS
	TOTAL	48 STALLS		48 STALLS		

UNIT SUMMARY

PLAN	DESCRIPTION	QUANTITY	NET AREA (SF)	TOTAL NET AREA (SF)	GROSS AREA (SF)	TOTAL GROSS AREA (SF)	PRIVATE DECK (SF)	GARAGE GROSS AREA (PRVD)
A	2 BED / 2 BATH	4	1,112 - 1200	4,624	1,197 - 1,276	4,946	90 - 115	400 S.F.
A alt	2 BED / 2 BATH	2	918	1,836	1,000	2,000	95	400 S.F.
B	2 BED / 2 BATH	4	1,100 - 1,206	4,612	1,175 - 1,288	4,926	80 - 90	400 S.F.
B alt	2 BED / 2 BATH	2	1,015	2,030	1,111	2,222	90	400 S.F.
C	3 BED / 2 BATH	8	1,305 - 1,375	10,720	1,390 - 1,454	11,376	90 - 115	400 S.F. - 435 S.F.
D	3 BED / 2 BATH	4	1,418 - 1,481	5,798	1,525 - 1,588	6,226	90 - 120	435 S.F. - 494 S.F.
TOTAL		24		29,620		31,696	2,360	400 S.F. MIN. GROSS REQ'D*

BUILDING SUMMARY

PLAN	DESCRIPTION	GROSS AREA (SF)	
1ST LEVEL	GARAGE, LOBBY & TRASH	12,950	
2ND LEVEL	DWELLING UNITS & DECKS	14,093	
3RD LEVEL	DWELLING UNITS	13,351	
4TH LEVEL	DWELLING UNITS	12,592	
TOTAL		52,986	

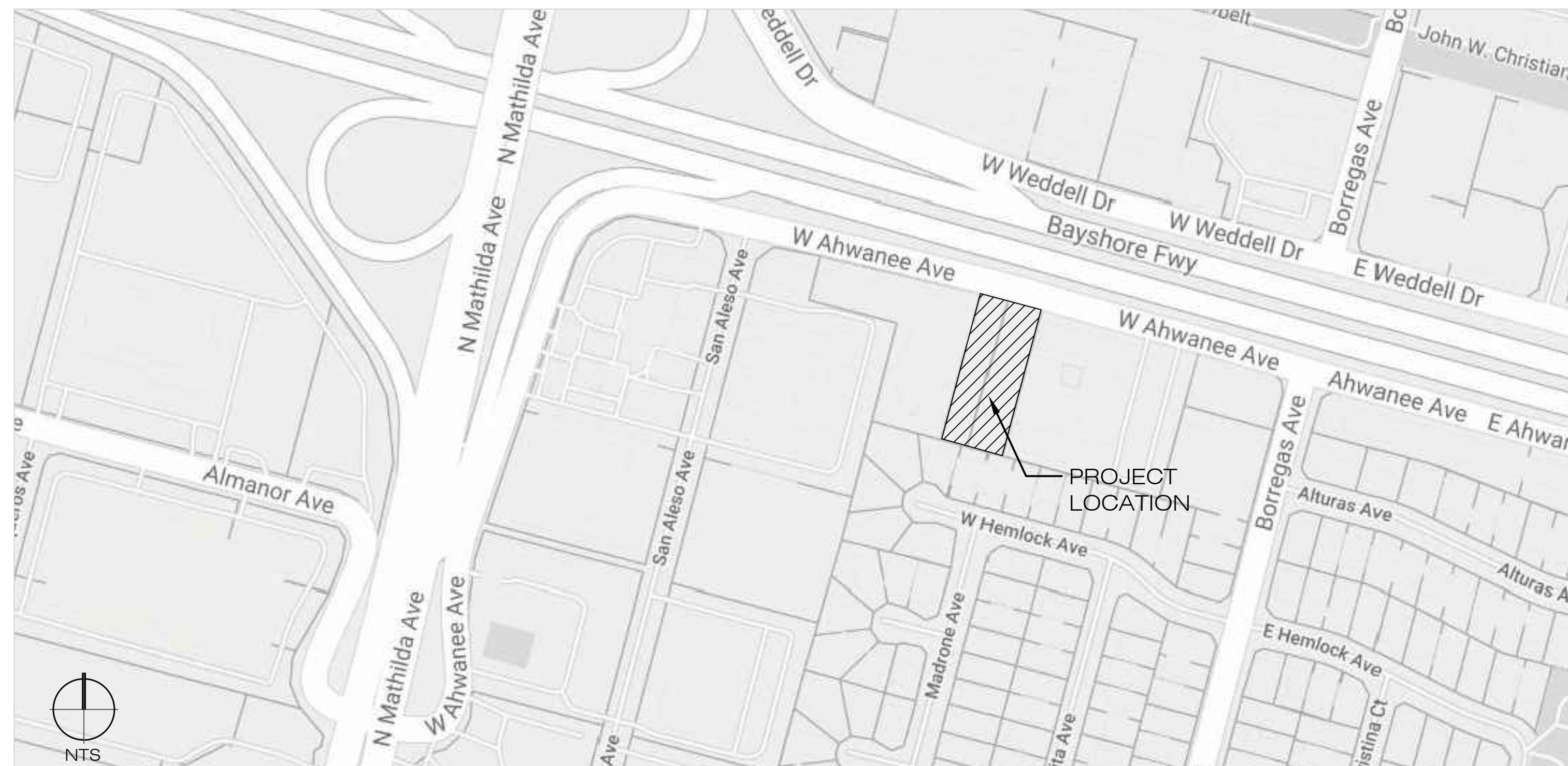
TRASH SUMMARY

		REQUIRED	PROVIDED	NOTES
MULTI-FAMILY UNITS		FOR EVERY 10 UNITS : 1 (3 CYD) GARBAGE 2 (96 GAL.) RECYCLING -MAXIMUM OF 3 SERVICE DAYS PER WEEK	2 (3 CYD) GARBAGE CONTAINER 2 (96 GAL.) RECYCLING CART -SERVICED THREE TIMES A WEEK 2 (35 GAL.) FOR ORGANICS -SERVICED TWICE A WEEK	CITY OF SUNNYVALE DESIGN GUIDELINES - FOR SOLID WASTE AND RECYC. FACILITIES TABLE A

OPENSPACE / AMMENITY SUMMARY

		REQUIRED	PROPOSED	NOTES
LANDSCAPED AREA		375 S.F. / DU (375 S.F. x 24 DU = 9,000 S.F.)	9,200 S.F. 2,760 S.F. HARDSCAPE	CITY OF SUNNYVALE CALIFORNIA - LANDSCAPING REQUIREMENTS *UP TO 30% HARDSCAPE ALLOWED
USABLE OPEN SPACE		*380 S.F. / DU		CITY OF SUNNYVALE CALIFORNIA - LANDSCAPING REQUIREMENTS
	COMMON OPEN SPACE	300 S.F. / DU (300 S.F. x 24 = 7,200 S.F.)	8,140 S.F. 2,250 S.F. @ GROUND	*300 S.F. TO BE COMMON OPEN SPACE / 80 S.F. TO BE PRIVATE OPEN SPACE
	PRIVATE OPEN SPACE	80 S.F. / DU (80 S.F. x 24 = 1,920 S.F.)	0 S.F. = 0 S.F. / DU SEE EXHIBITS FOR CLARIFICATION	
	TOTAL	(380 S.F. x 24 = 9,120 S.F.)	8,140 S.F. = 339 S.F. / DU	

VICINITY MAP



SHEET INDEX

ARCHITECTURE

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CIVIL

- C1.0 VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
- C2.0 EXISTING CONDITIONS AND TREE REMOVAL PLAN
- C3.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN

LANDSCAPE

- L1 PRELIMINARY LANDSCAPE PLAN - GROUND AND ROOF LEVEL
- L2 HYDROZONE PLAN
- L3 PRECEDENT IMAGES

PROJECT SUMMARY

Project Name: Sunnyvale		Project Address: 210 Ashworth Ave					
Project City: Sunnyvale		Project Zip: 94086					
TBD	H1.1 Sealed Combustion Furnace						
Yes	H1.2 Sealed Combustion Water Heater						
TBD	H2. High Performing Zoned Hydronic Radiant Heating System						
	H3. Effective Ductwork						
Yes	H3.1 Duct Mastic on Duct Joints and Seams						
Yes	H3.2 Pressure Balance the Ductwork System						
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified						
	H5. Advanced Practices for Cooling						
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms						
Yes	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 90% of Units						
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality						
TBD	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards						
TBD	H6.2 Advanced Ventilation Standards						
TBD	H6.3 Outdoor Air is Filtered and Tempered						
	H7. Effective Range Design and Installation						
Yes	H7.1 Effective Range Hood Ducting and Design						
TBD	H7.2 Automatic Range Hood Control						
Yes	H8. High Efficiency HVAC Filter (MERV 13+)						
Yes	H9. Advanced Refrigerants (excludes swimming pool heat pumps)						
	I. RENEWABLE ENERGY						
TBD	I1. Pre-Plumbing for Solar Water Heating						
Yes	I2. Preparation for Future Photovoltaic Installation						
0.00%	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)						
	I4. Net Zero Energy Home						
TBD	I4.1 Near Zero Energy Home (refers to at least 80% of annual site energy use)						
TBD	I4.2 Net Zero EBCx (at least 100% of annual site energy use. All electric home required)						
	I5. Energy Storage System						
TBD	I6. Solar Hot Water Systems to Preheat Domestic Hot Water						
TBD	I7. Photovoltaic System for Multifamily Projects						
	J. BUILDING PERFORMANCE AND TESTING						
Yes	J1. Third-Party Verification of Quality of Insulation Installation						
Yes	J2. Supply and Return Air Flow Testing						
Yes	J3. Mechanical Ventilation Testing						
Yes	J4. Combustion Appliance Safety Testing						
	J5. Building Energy Performance						
0.00%	J5.1 Home Meets or Exceeds Energy Compliance Pathway						
0.00%	J5.2 Non-Residential Spaces Outperform Title 24						
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst						
TBD	J7. Participation in Utility Program with Third-Party Plan Review						
Yes	J8. ENERGY STAR for Homes						
No	J9. EPA Indoor airPlus Certification						
TBD	J10. Blower Door Testing						
Yes	J11. Compartmentalization of Units (minimum uncontrolled air pathways for indoor air pollutants between units)						
	K. FINISHES						
	K1. Entryways Designed to Reduce Tracked-In Contaminants						
Yes	K1.1 Entryways to Individual Units (includes hard surface at entrances and permanent assembly for slide storage)						
Yes	K1.2 Entryways to Buildings (includes hard surface at entrances and built-in, permanent, non-slide storage)						
	K2. Zero-VOCS Interior Wall and Ceiling Paints						
Yes	K3. Low-VOC Caulks and Adhesives						
	K4. Environmentally Preferable Materials for Interior Finish						
450%	K4.1 Cabinets						
450%	K4.2 Interior Trim						
450%	K4.3 Shelving						
450%	K4.4 Doors						
Yes	K4.5 Countertops						
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB						
TBD	K5.1 Doors						
TBD	K5.2 Cabinets and Countertops						
TBD	K5.3 Interior Trim and Shelving						
	K6. Products That Comply With the Health Product Declaration Open Standard						
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion						
No	K8. Comprehensive Inclusion of Low Emitting Finishes						
TBD	K9. Durable Cabinets (plywood for cabinets and doors; ball bearing drawer slides; dovetail joints; two directional metal hinges)						
TBD	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes						
	L. FLOORING						
TBD	L1. Environmentally Preferable Flooring						

NEW HOME RATING SYSTEM, VERSION 7.0																																																																																																																																																																																																																			
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<p>GreenPoint Rated</p> <p>The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.</p> <p>The minimum requirements of GreenPoint Rated are verification of 50 or more points. Earn the following minimum points per category: Community (0), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen, Mandatory, ES 2, HB 1, GS 1, CI 1, OR 1.</p> <p>Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", "TBD", or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the sub "points achieved" column.</p> <p>The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit: www.builgitgreen.org/gprmanual.</p> <p>Build It Green is not a code enforcement agency.</p> <p>A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and certified by Build It Green.</p>																																																																																																																																																																																																																			
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	TBD	B2. Radon-Resistant Construction	2																																																																																																																																																																																																																
	Yes	B3. Foundation Drainage System	2																																																																																																																																																																																																																
	TBD	B4. Moisture Controlled Crawl Space	1																																																																																																																																																																																																																
	Yes	B5. Structural Pest Controls																																																																																																																																																																																																																	
	Yes	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	1																																																																																																																																																																																																																
	Yes	B5.2 Plant Trunks, Bases, or Items at Least 36 Inches from the Foundation	1																																																																																																																																																																																																																
		C. LANDSCAPE																																																																																																																																																																																																																	
	0.00%	C1. Plants Grouped by Water Needs (Hydrozoning)	1																																																																																																																																																																																																																
	Yes	C2. Three Inches of Mulch in Planting Beds	1																																																																																																																																																																																																																
	Yes	C3. Resource Efficient Landscapes																																																																																																																																																																																																																	
	Yes	C3.1 No Invasive Species Listed by Cal-IPC	1																																																																																																																																																																																																																
	No	C3.2 Plants Chosen and Located to Grow in Natural Size (Unless Maintenance)	1																																																																																																																																																																																																																
	Yes	C3.3 L drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3																																																																																																																																																																																																																
		C4. Minimal Turf in Landscapes																																																																																																																																																																																																																	
	Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2																																																																																																																																																																																																																
	TBD	C4.2 Turf on a Small Percentage of Landscape Area	2																																																																																																																																																																																																																
		C5. Trees to Moderate Building Temperature (at least 50% arched Fencing/Clothing and Wall Shading)	1																																																																																																																																																																																																																
	Yes	C6. High-Efficiency Irrigation System	2																																																																																																																																																																																																																
	TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with Soil Testing)	2																																																																																																																																																																																																																
	TBD	C8. Rainwater Harvesting System	3																																																																																																																																																																																																																
	Yes	C9. Recycled Wastewater Irrigation System	1																																																																																																																																																																																																																
	TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation	2																																																																																																																																																																																																																
	TBD	C11. Landscape Meets Water Budget	1																																																																																																																																																																																																																
		C12. Environmentally Preferable Materials for Site																																																																																																																																																																																																																	
	TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing	1																																																																																																																																																																																																																
	TBD	C12.2 Pavement Structures and Surfaces Have an Average Recycled Content ≥20%	1																																																																																																																																																																																																																
	Yes	C13. Reduced Light Pollution (Excluding Glare/Specular and Direct Downlight)	1																																																																																																																																																																																																																
	TBD	C14. Large Statue Tree(s)	1																																																																																																																																																																																																																
		C15. Third Party Landscape Program Certification																																																																																																																																																																																																																	
	TBD	C16. Maintenance Contract with Certified Professional (low-Friendly Certified Professional or Entity)	1																																																																																																																																																																																																																
	TBD	C17. Community Garden	2																																																																																																																																																																																																																
<p>D. STRUCTURAL FRAME AND BUILDING ENVELOPE</p>																																																																																																																																																																																																																			

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4.5 Environmental Quality

<p>4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.</p> <p>4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.</p>	<p>4.4.4 Noncombustible Construction and Resource Efficiency</p> <p>4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following:</p> <ol style="list-style-type: none"> 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.
<p>4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods:</p> <ol style="list-style-type: none"> 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent. 	<p>4.4.4 Material Conservation and Resource Efficiency</p> <p>4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner.</p>
<p>702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.</p> <p>702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.</p>	<p>4.4.4 Material Conservation and Resource Efficiency</p> <p>4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.</p>
<p>703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.</p>	
<p>4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.</p> <p>4.504.2 Finish material pollutant control.</p> <p>4.504.2.1 Adhesives, sealants and caulk. Adhesives, sealants and caulk shall be compliant with VOC and other toxic compound limits.</p> <p>4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits.</p> <p>4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.</p> <p>4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.</p>	<p>4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.</p> <p>4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.</p> <p>Note: The effective flush volume of dual flush toilets is defined as the composite, average t1ush volume of two reduced flushes and one full flush.</p>
<p>4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:</p> <ol style="list-style-type: none"> 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSFI ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. <p>4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.</p> <p>4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.</p>	<p>4.303.1.3 Showerheads.</p> <p>4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.</p> <p>4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.</p> <p>Note: A hand-held shower shall be considered a Showerhead.</p>
<p>4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:</p> <ol style="list-style-type: none"> 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 	<p>4.303.1.4 Faucets.</p> <p>4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.</p> <p>4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.</p> <p>4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.</p> <p>Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.</p>
<p>4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table</p>	<p>4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.</p>
<p>4.505.3 Noncombustible materials. Noncombustible materials used in the building shall be selected and installed in accordance with the following:</p> <ol style="list-style-type: none"> 1. Noncombustible materials shall be used in accordance with the California Building Code. 2. Noncombustible materials shall be used in accordance with the California Fire Code. 3. Noncombustible materials shall be used in accordance with the California Electrical Code. 4. Noncombustible materials shall be used in accordance with the California Uniform Building Code. 5. Noncombustible materials shall be used in accordance with the California Uniform Fire Code. 6. Noncombustible materials shall be used in accordance with the California Uniform Plumbing Code. 7. Noncombustible materials shall be used in accordance with the California Uniform Mechanical Code. 8. Noncombustible materials shall be used in accordance with the California Uniform Fire Prevention Code. 9. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 10. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 11. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 12. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 13. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 14. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 15. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 16. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 17. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 18. 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Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 199. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 200. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 201. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 202. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 203. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 204. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 205. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 206. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 207. 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Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 217. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 218. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 219. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 220. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 221. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 222. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 223. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 224. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 225. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code. 226. Noncombustible materials shall be used in accordance with the California Uniform Building Safety Code. 227. Noncombustible materials shall be used in accordance with the California Uniform Fire Safety Code.</li	

CALGREEN GENERAL NOTES

BIG CHECKLIST



LEGEND

1 PERIMETER WALL	5 LOBBY	11 LANDSCAPE	15 TRANSFORMER	22 WATER RETENTION BASIN
2 PROPERTY LINE	7 ELECTRICAL ROOM	12 GUEST PARKING	16 TRASH / RECYCLING	23 STORM WATER DRAINAGE PLANTER
3 ELEVATOR	9 MAILBOXES	13 LINE OF UNIT ABOVE	20 FIRE HYDRANT TYP.	24 LOADING AREA
4 EXIT STAIR	10 4'-0" WALKWAY	14 GAS METER LOCATION	21 VISION TRIANGLE	

— PEDESTRIAN CIRCULATION /
PATH OF TRAVEL
— VEHICULAR CIRCULATION /
PATH OF TRAVEL

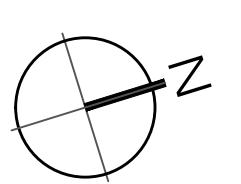
CAL GREEN GENERAL NOTES:

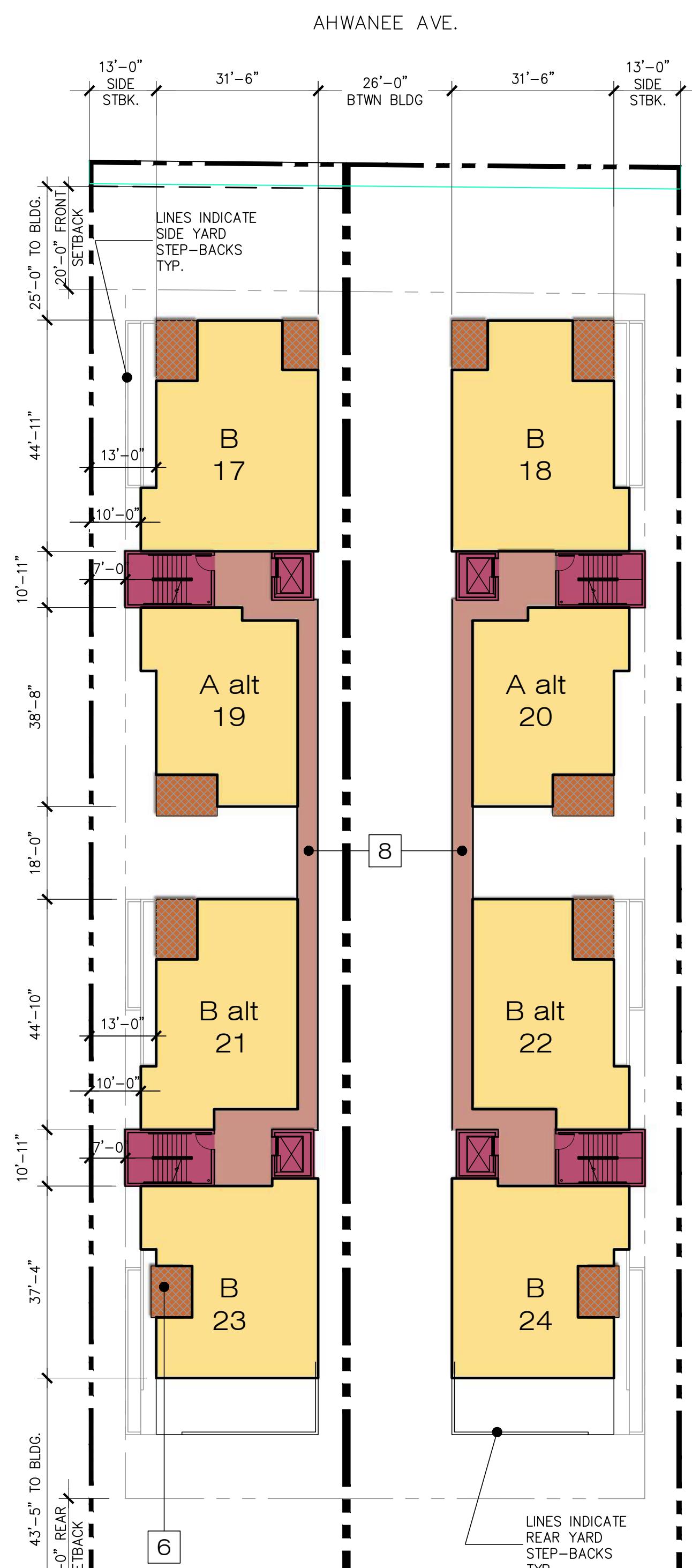
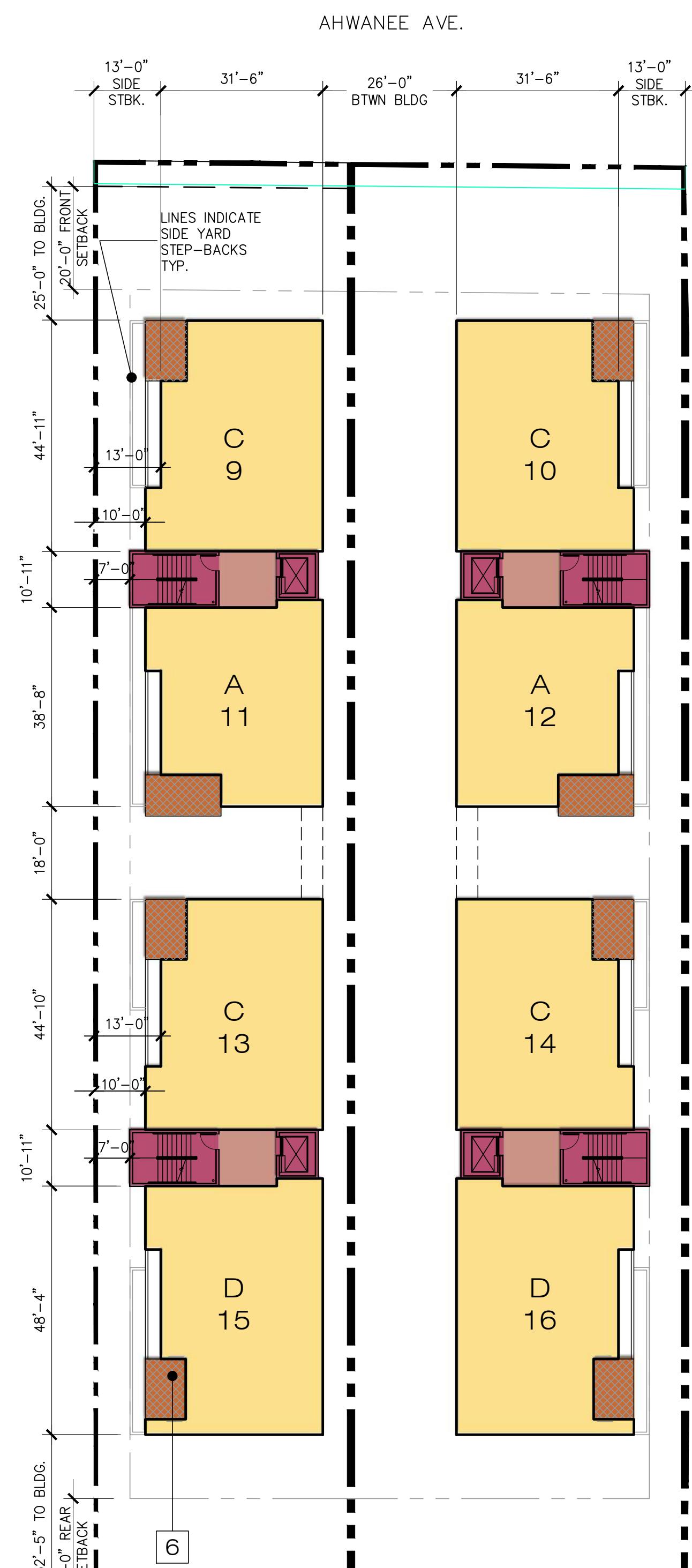
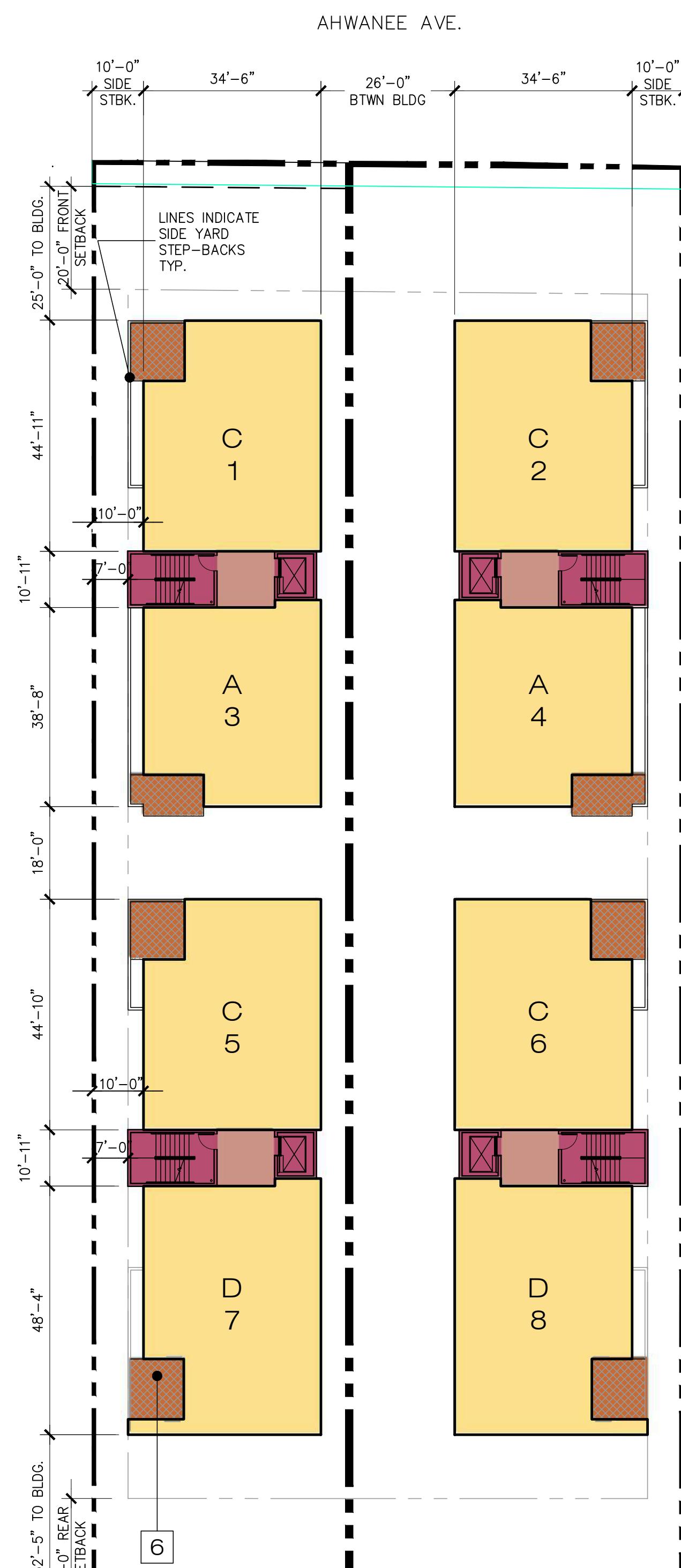
4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

SITE PLAN

SUNNYVALE 24

scale: 1" = 10'-0"
0 10 20 30 40 50



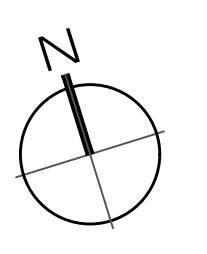


LEGEND

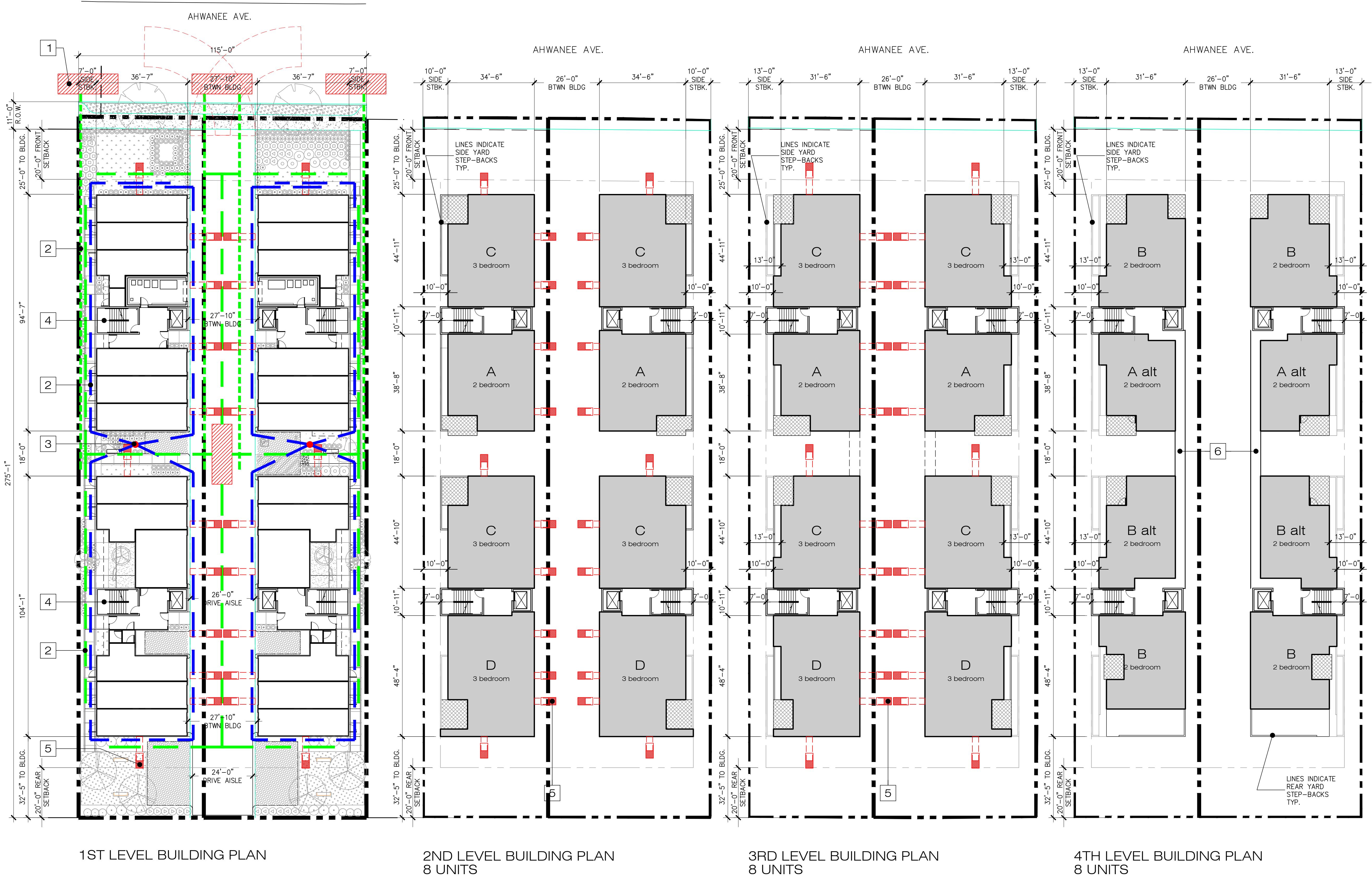
1 PERIMETER WALL	5 LOBBY	17 ROOF DECK
2 PROPERTY LINE	6 TYP. MIN. 80 S.F. PRIVATE DECK	18 ELEVATOR ROOM
3 ELEVATOR	8 EXIT BALCONY	19 MECH. EQUIP. AREA
4 EXIT STAIR	13 LINE OF UNIT ABOVE	

SUNNYVALE 24

scale: 1" = 20'-0"
0 20 40 60 80 100



BUILDING PLANS
24 UNITS



LEGEND

1	FIRE TRUCK TYP.	5	TYP. 3'x6' LADDER PAD		FIRE HYDRANT HOSE PULL
2	150'-0" HOSE PULL	6	EXIT BALCONY		FIRE TRUCK HOSE PULL
3	FIRE HYDRANT	7	PERIMETER WALL		
4	EXIT STAIR W/ WET STANDPIPE TYP.	8	3'-0" MIN. CLEARANCE BEHIND LADDER TYP.		

NOTE:
BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE APPROVED EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (RESCUE WINDOW) IN ACCORDANCE WITH CFC SECTION 1029 AS AMENDED BY SMC.

fire department access

SUNNYVALE 24

scale: 1" = 20'-0"

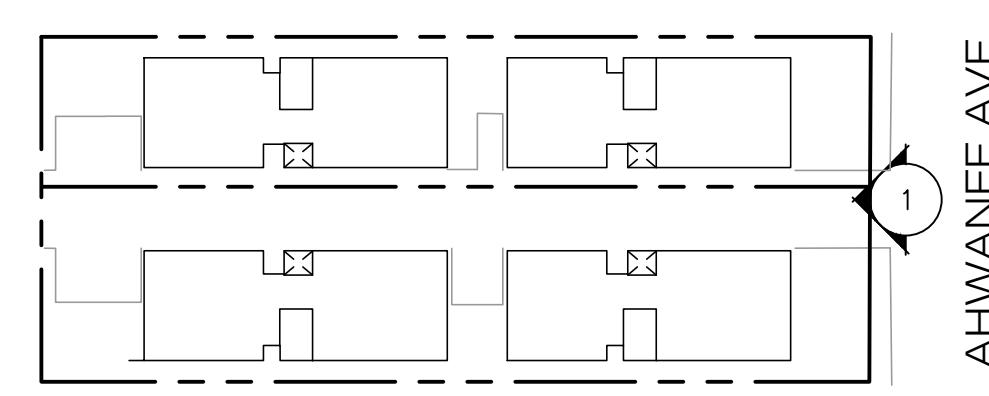
0 20 40 60 80 100

The logo for Withee Malcolm Architects. It features a graphic on the left composed of several vertical black lines and three thick, expressive orange brushstrokes that overlap and extend to the right. To the right of the graphic, the company name 'WITHEE MALCOLM' is written in a large, bold, black, sans-serif font. Below it, 'ARCHITECTS' is written in a smaller, bold, black, sans-serif font. At the bottom of the logo, the address '51 west 190th street torrance | ca 90504' and phone number '310.217.8885' are listed in a smaller black font, followed by the website 'witheemalcolm.com'.

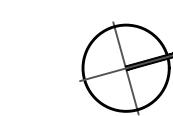


LEGEND

1	PERIMETER WALL	6	GUARDRAIL
2	STONE VENEER	7	VINYL WINDOW
3	STUCCO	8	STOREFRONT
4	SIDING	9	GARAGE DOOR
5	METAL CANOPY	10	ROLL-UP DOOR / GATE



AHWANEE AVE.



FRONT ELEVATION

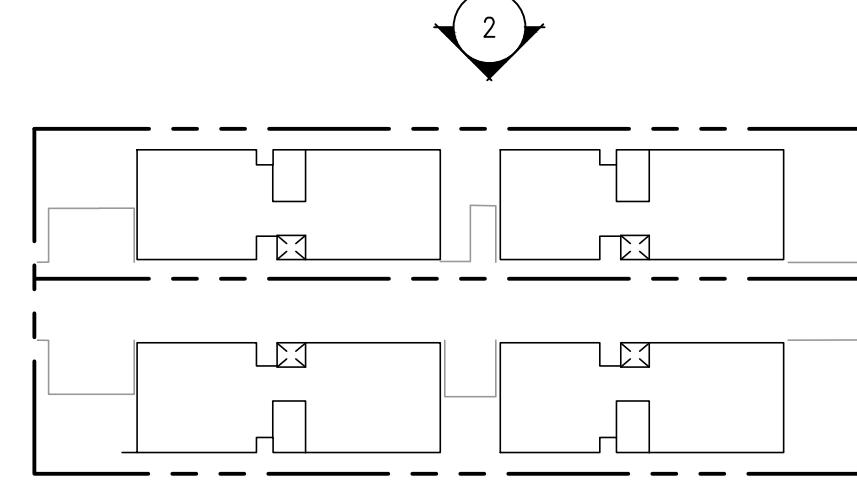
SUNNYVALE 24

scale: 1" = 8'-0"
0 8 16 24 32 40



LEGEND

1	PERIMETER WALL	6	GUARDRAIL
2	STONE VENEER	7	VINYL WINDOW
3	STUCCO	8	STOREFRONT
4	SIDING	9	GARAGE DOOR
5	METAL CANOPY	10	ROLL-UP DOOR / GATE



AHWANEE AVE.



SIDE ELEVATION

SUNNYVALE 24

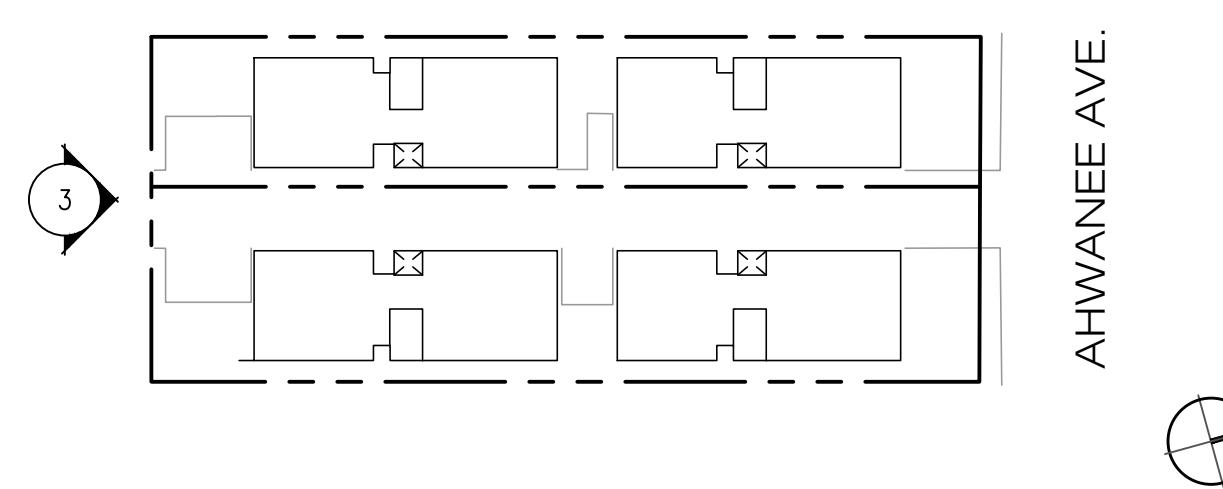
scale: 1" = 8'-0"

0 8 16 24 32 40



LEGEND

1	PERIMETER WALL	6	GUARDRAIL
2	STONE VENEER	7	VINYL WINDOW
3	STUCCO	8	STOREFRONT
4	SIDING	9	GARAGE DOOR
5	METAL CANOPY	10	ROLL-UP DOOR / GATE



AHWANEE AVE.

REAR ELEVATION

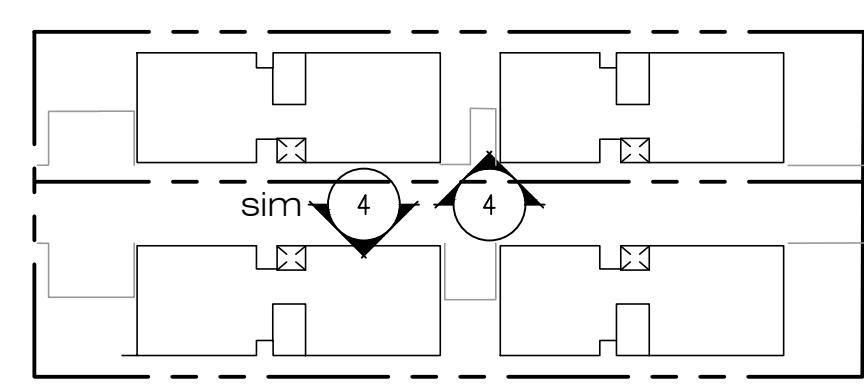
SUNNYVALE 24

scale: 1" = 8'-0"
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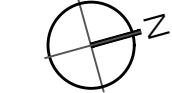


LEGEND

1	PERIMETER WALL	6	GUARDRAIL
2	STONE VENEER	7	VINYL WINDOW
3	STUCCO	8	STOREFRONT
4	SIDING	9	GARAGE DOOR
5	METAL CANOPY	10	ROLL-UP DOOR / GATE



AHWANEE AVE.



GARAGE ELEVATION

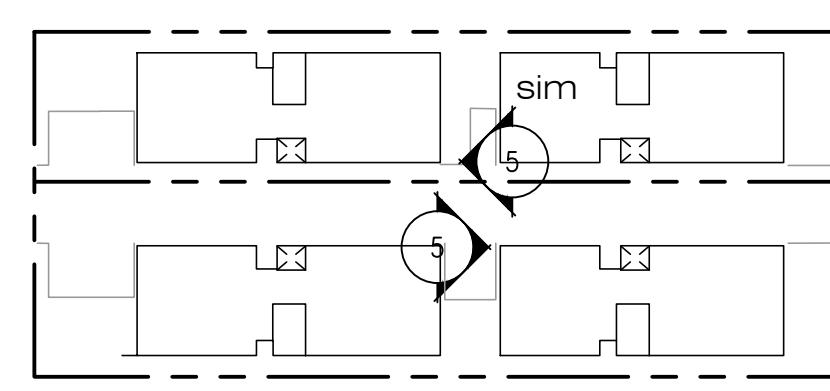
SUNNYVALE 24

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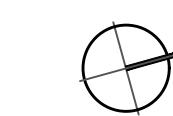


LEGEND

1	PERIMETER WALL	6	GUARDRAIL
2	STONE VENEER	7	VINYL WINDOW
3	STUCCO	8	STOREFRONT
4	SIDING	9	GARAGE DOOR
5	METAL CANOPY	10	ROLL-UP DOOR / GATE



AHWANEE AVE.



SUNNYVALE 24

scale: 1" = 8'-0"
0 8 16 24 32 40



PLAN A

2 BEDROOM + 2 BATH
GROSS AREA: 1,197 S.F.
NET AREA: 1,112 S.F.
DECK AREA: 90 S.F.



PLAN B

2 BEDROOM + 2 BATH
GROSS AREA: 1,288 S.F.
NET AREA: 1,206 S.F.
DECK AREA: 90 S.F.

SUNNYVALE 24

scale: 1" = 4'-0"

CAL GREEN GENERAL NOTES:

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.

4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
3. NSF ANSI 140 at the Gold level.

4. Scientific Certifications Systems Indoor Advantage™ Gold.

- 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.

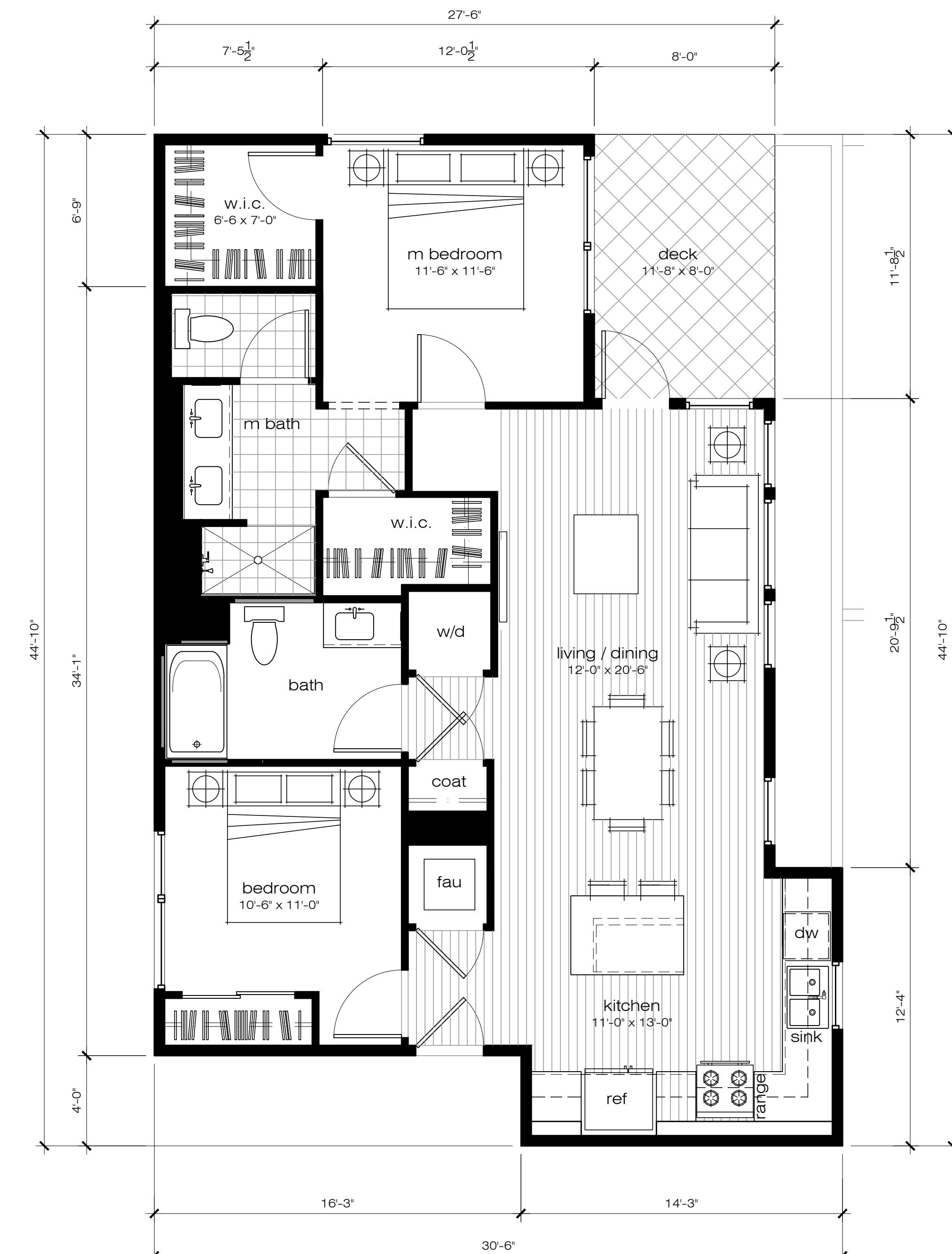
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.



PLAN A alt

2 BEDROOM + 2 BATH
GROSS AREA: 1,000 S.F.
NET AREA: 918 S.F.
DECK AREA: 95 S.F.



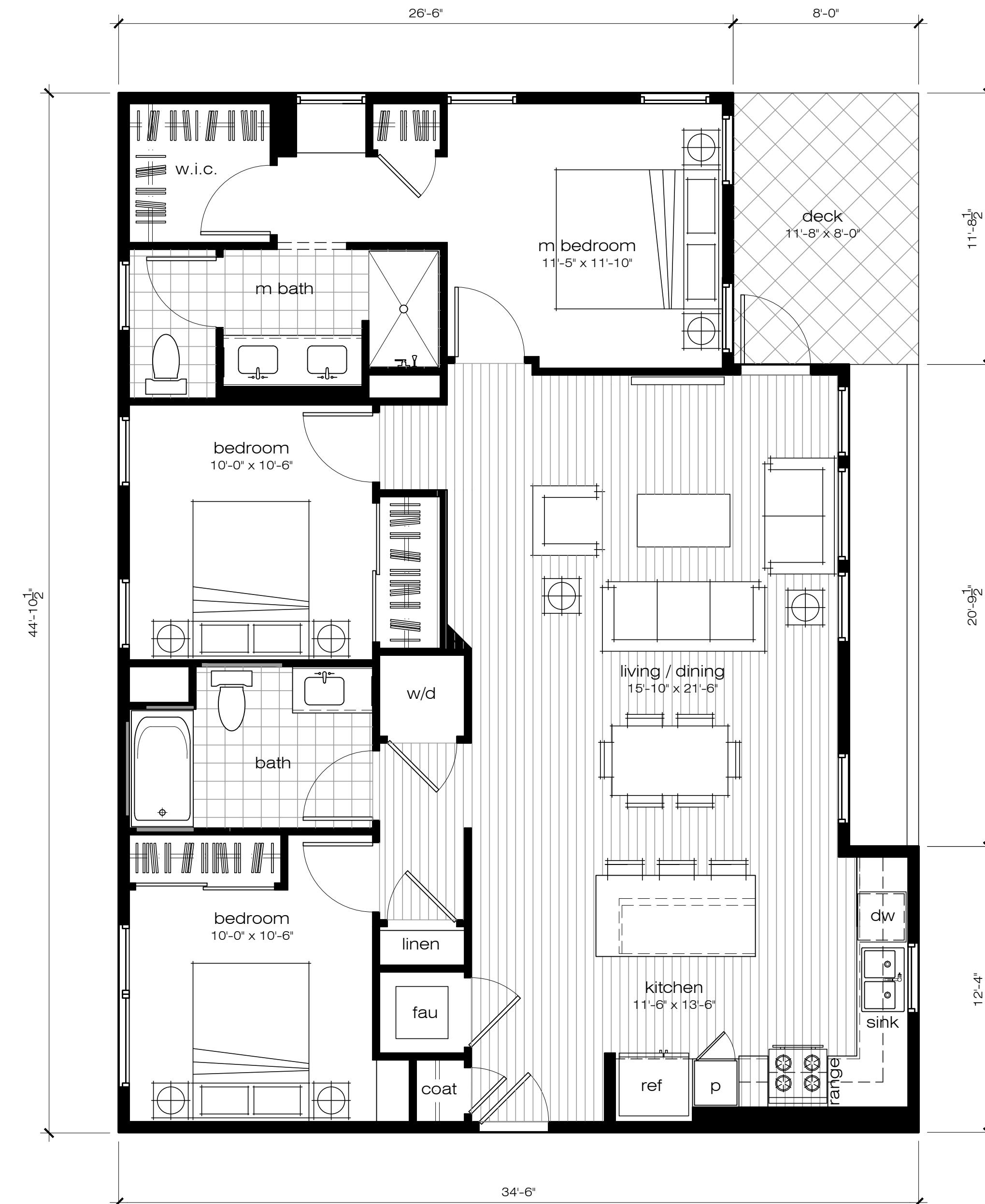
PLAN B alt

2 BEDROOM + 2 BATH
GROSS AREA: 1,111 S.F.
NET AREA: 1,015 S.F.
DECK AREA: 90 S.F.

UNIT PLANS

SUNNYVALE 24

scale: 1" = 4'-0"
0 4 8 12 16 20



SUNNYVALE 24



UNIT PLANS

scale: 1" = 4'-0"
0 4 8 12 16 20

CAL GREEN GENERAL NOTES:

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.

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1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
3. NSF ANSI 140 at the Gold level.

4. Scientific Certifications Systems Indoor Advantage™ Gold.

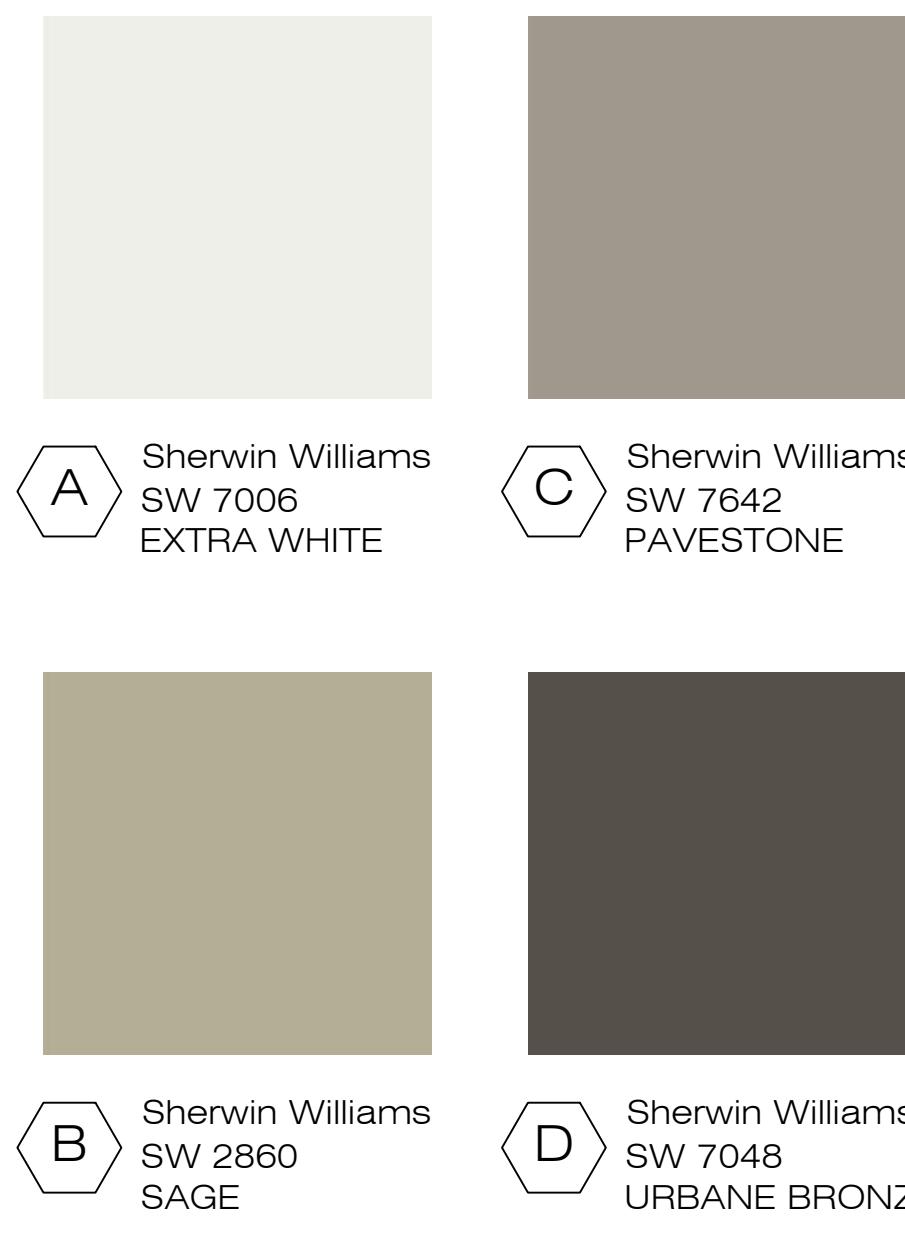
- 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.

4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

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1 COMPOSITE SHIPLAP SIDING



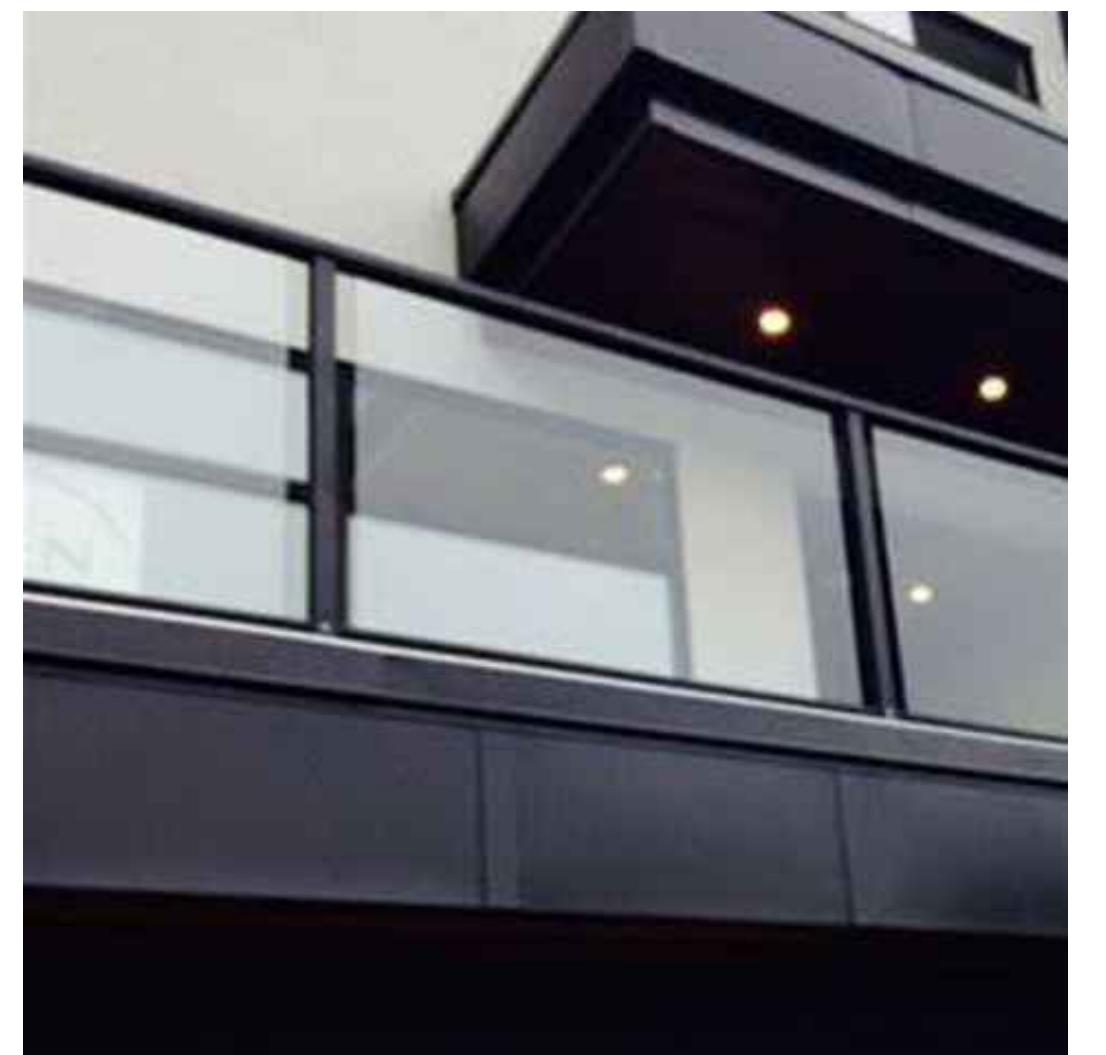
2 STONE VENEER



3 STUCCO
20-30 FINE SAND FLOAT



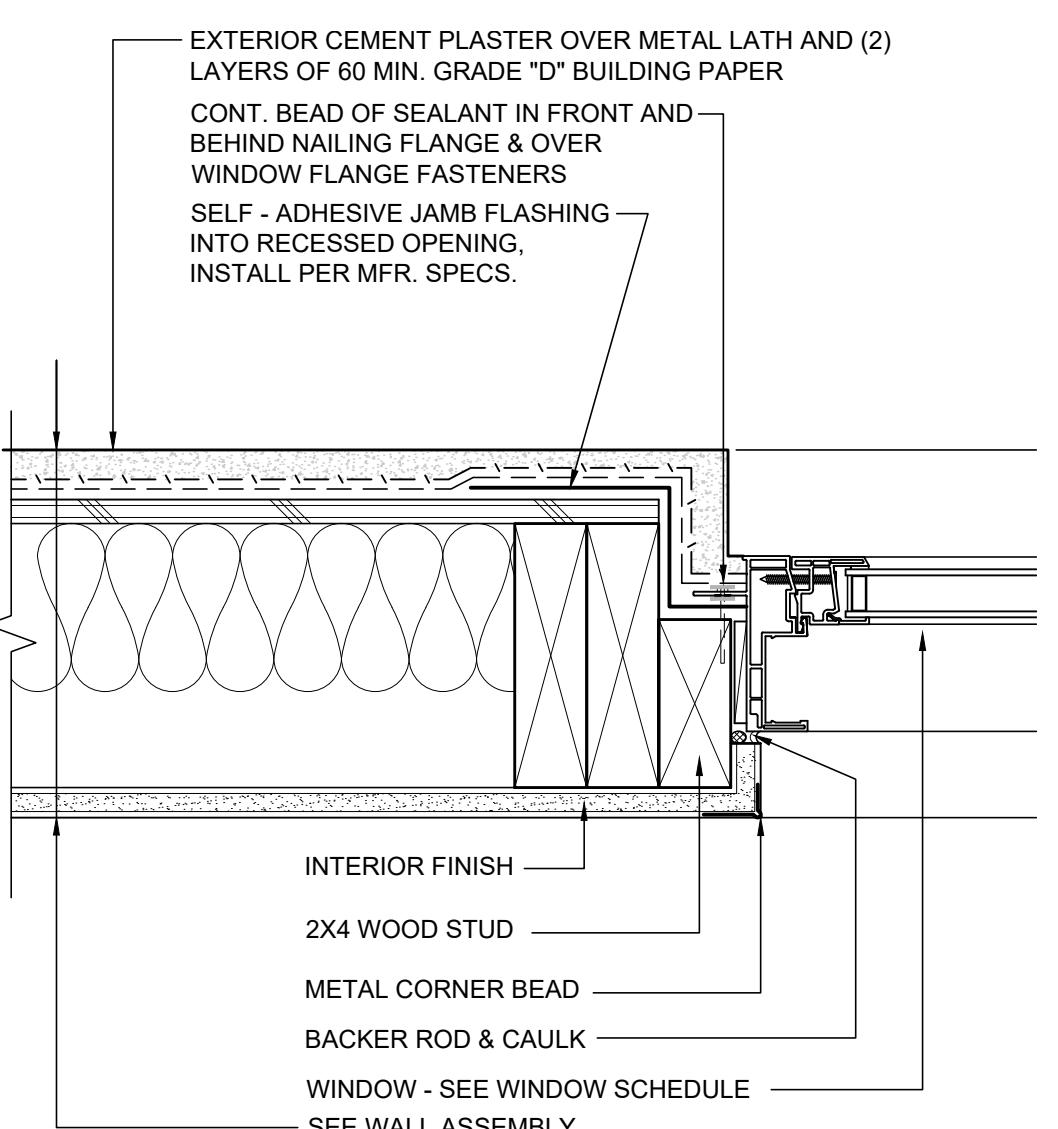
4 GARAGE ROLL UP DOOR



5 RAILING

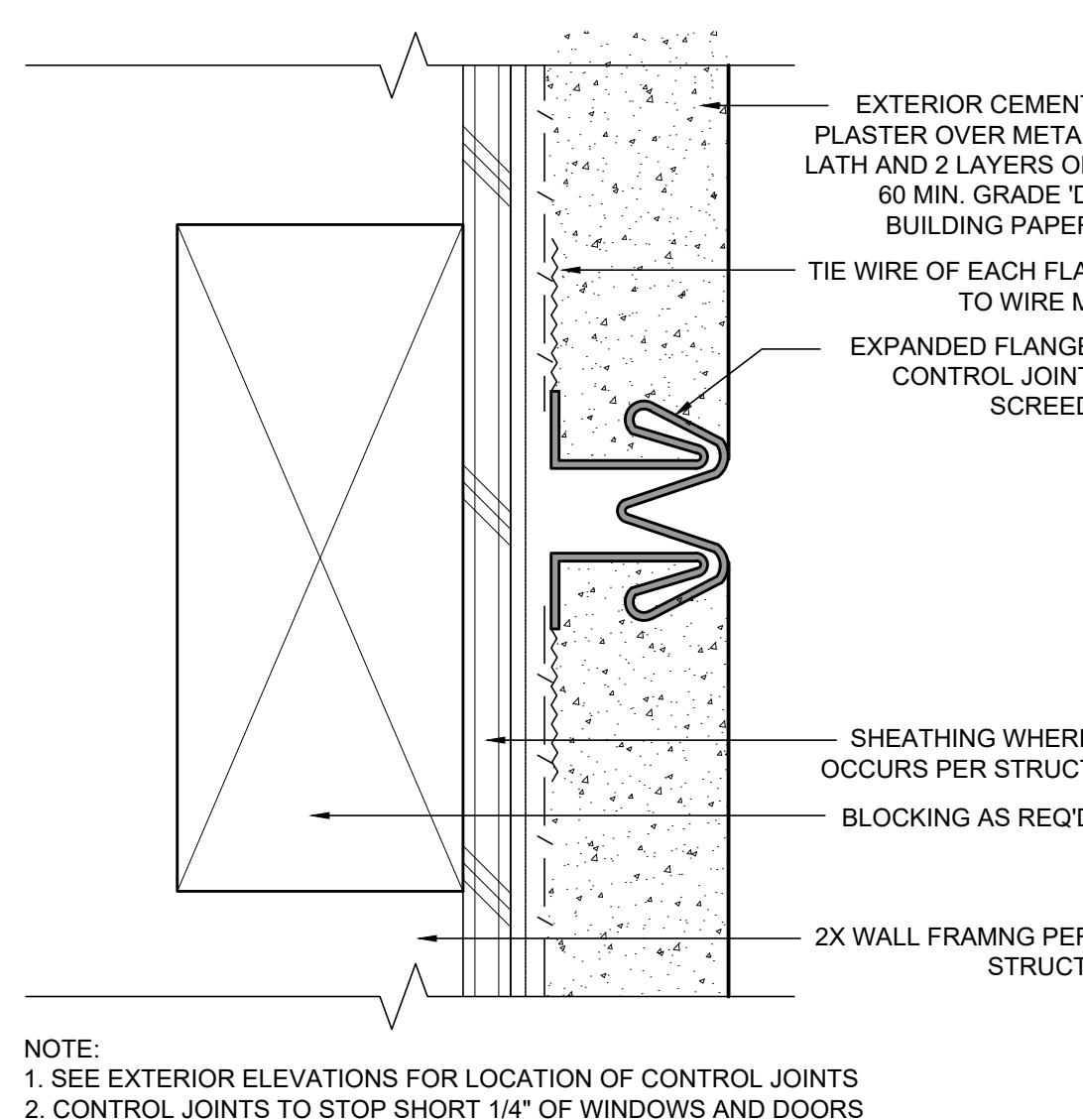


6 MILGARD VINYL WINDOW

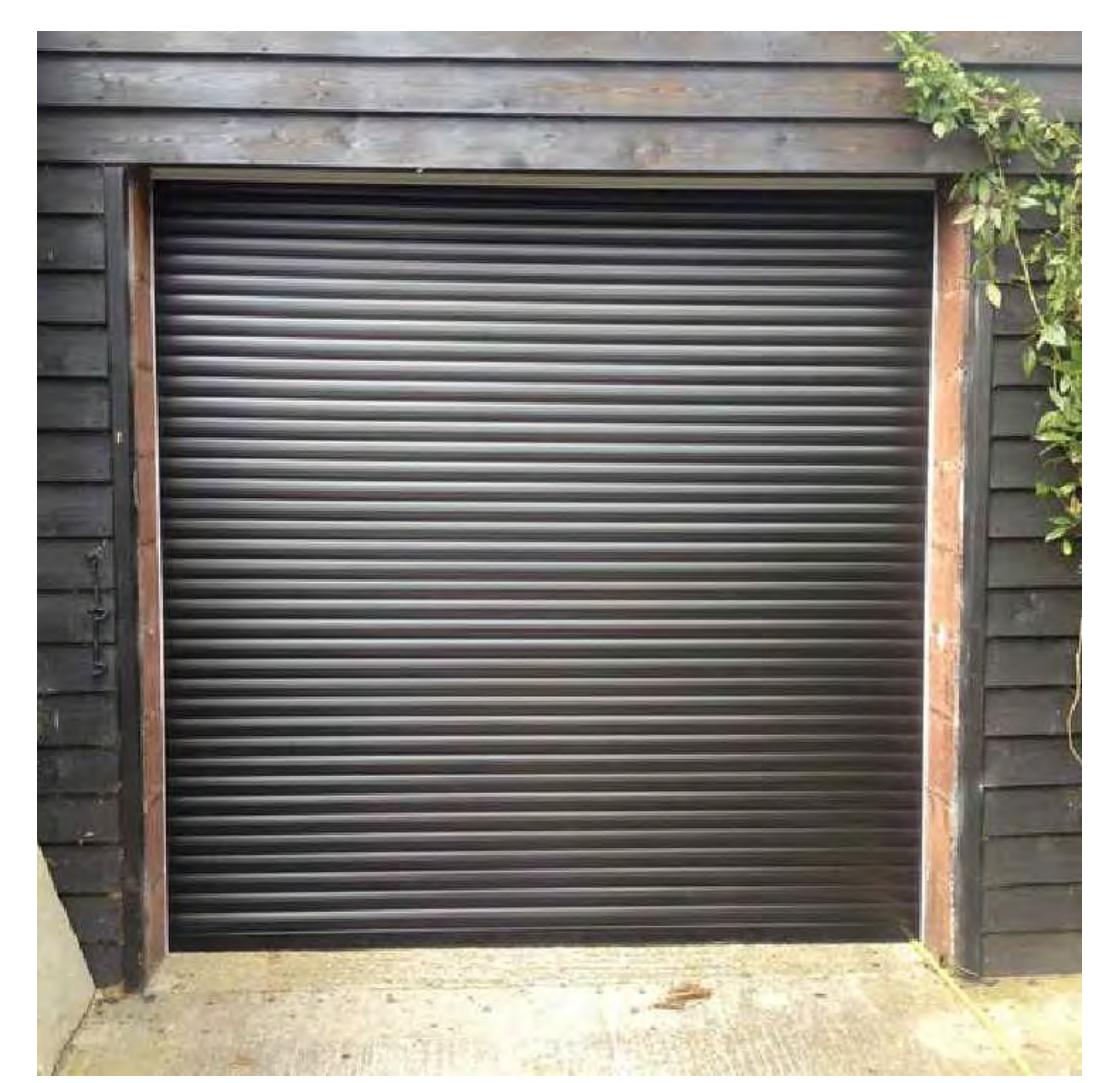


TYPICAL SEMI-RECESSED WINDOW JAMB
SCALE: 3'-0" x 1'-0"

SUNNYVALE 24



STUCCO CONTROL JOINT (VERTICAL/HORIZONTAL)
SCALE: 1'-0"



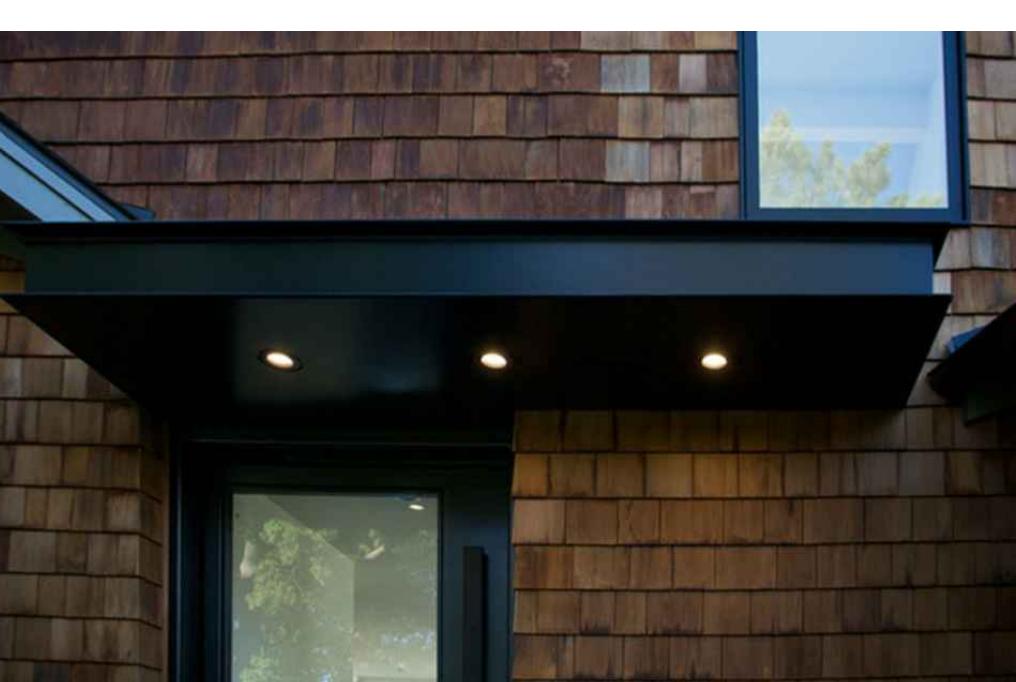
7 TRASH ROLL UP DOOR



8 ROOF SHINGLES

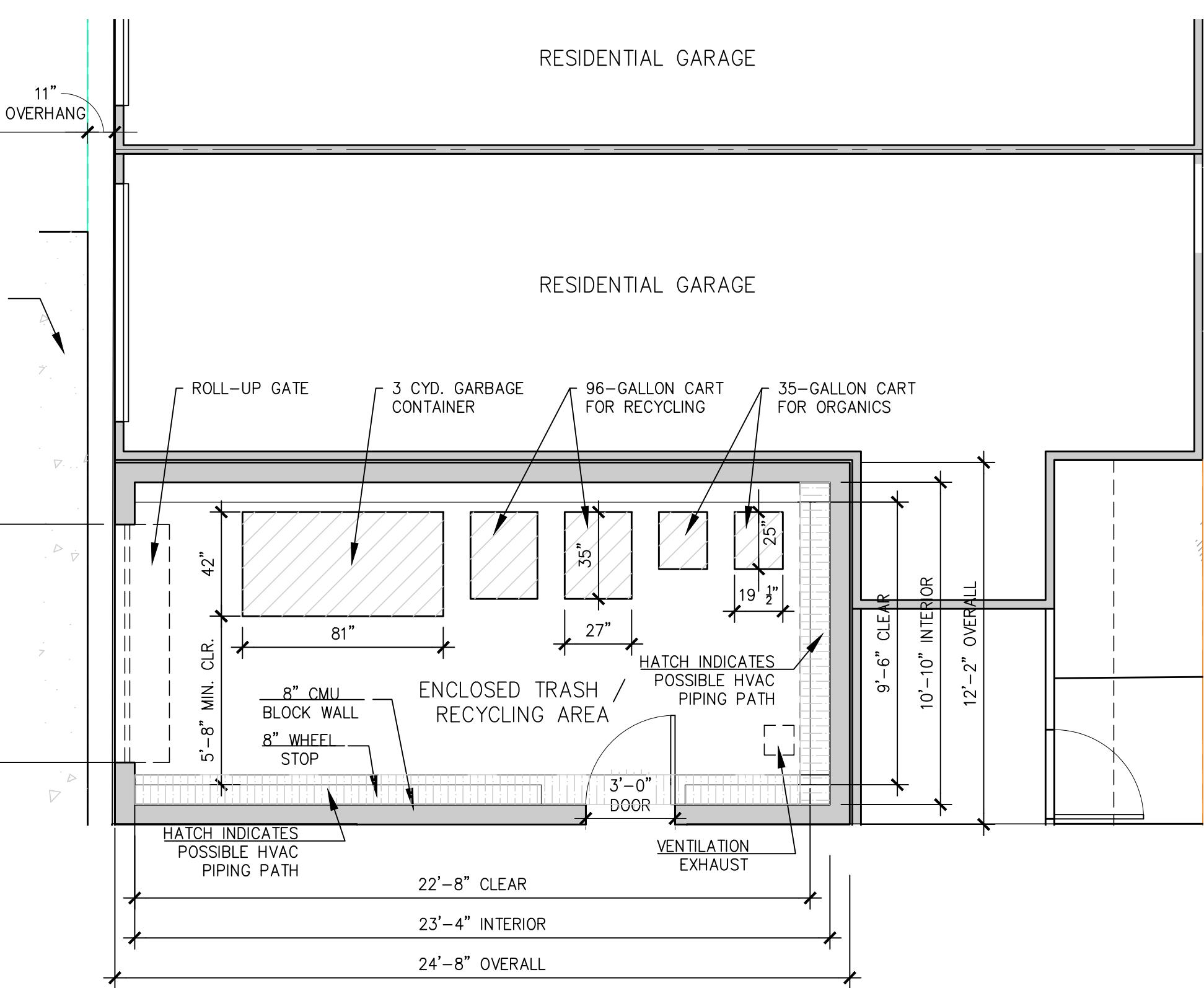
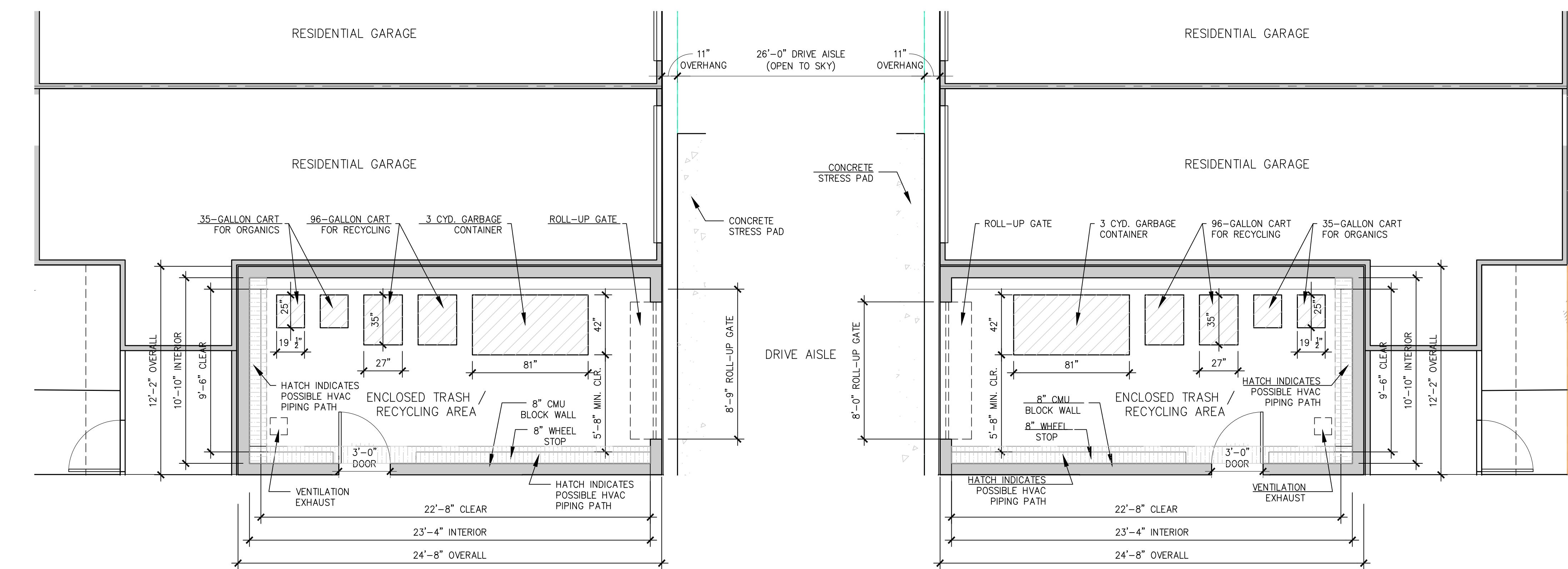
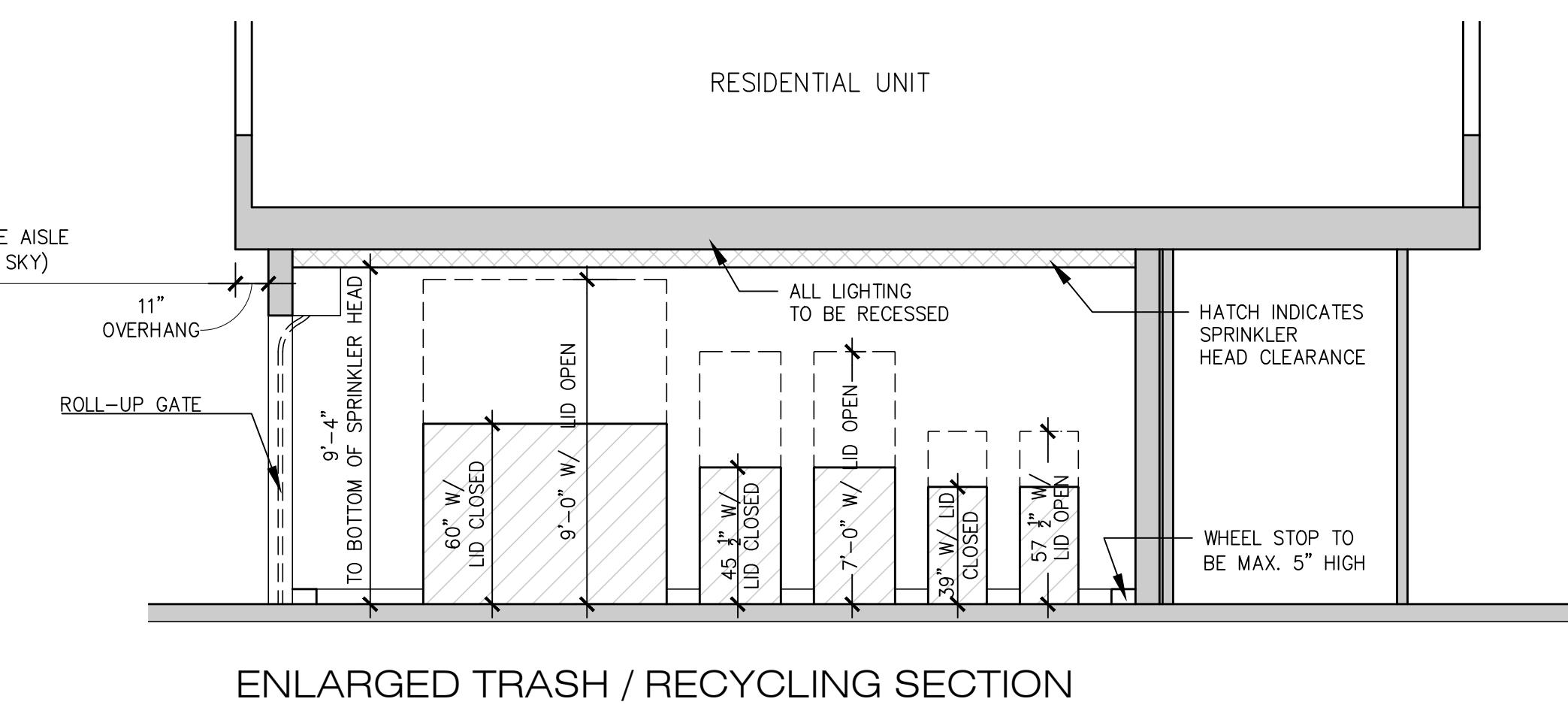
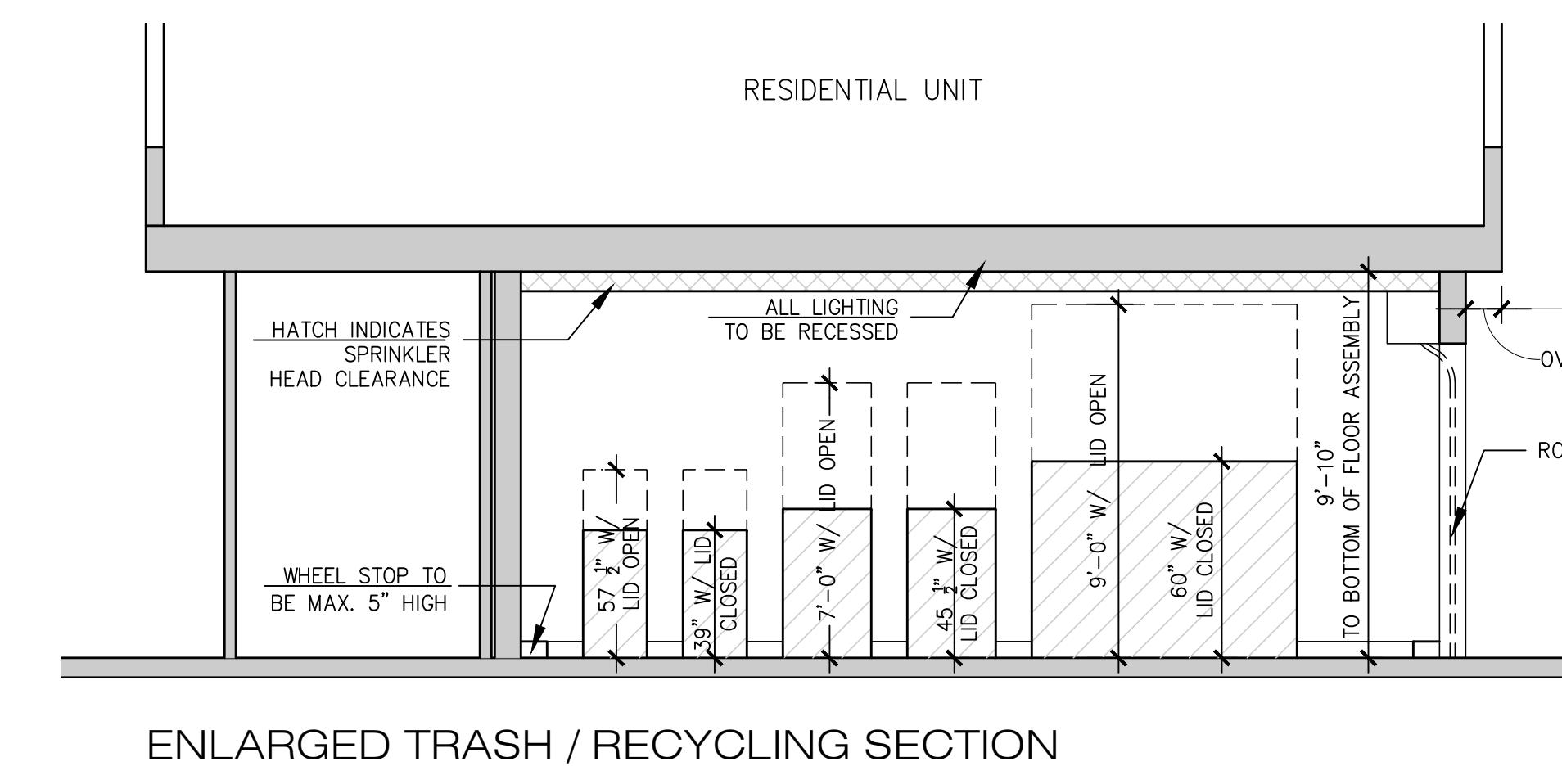
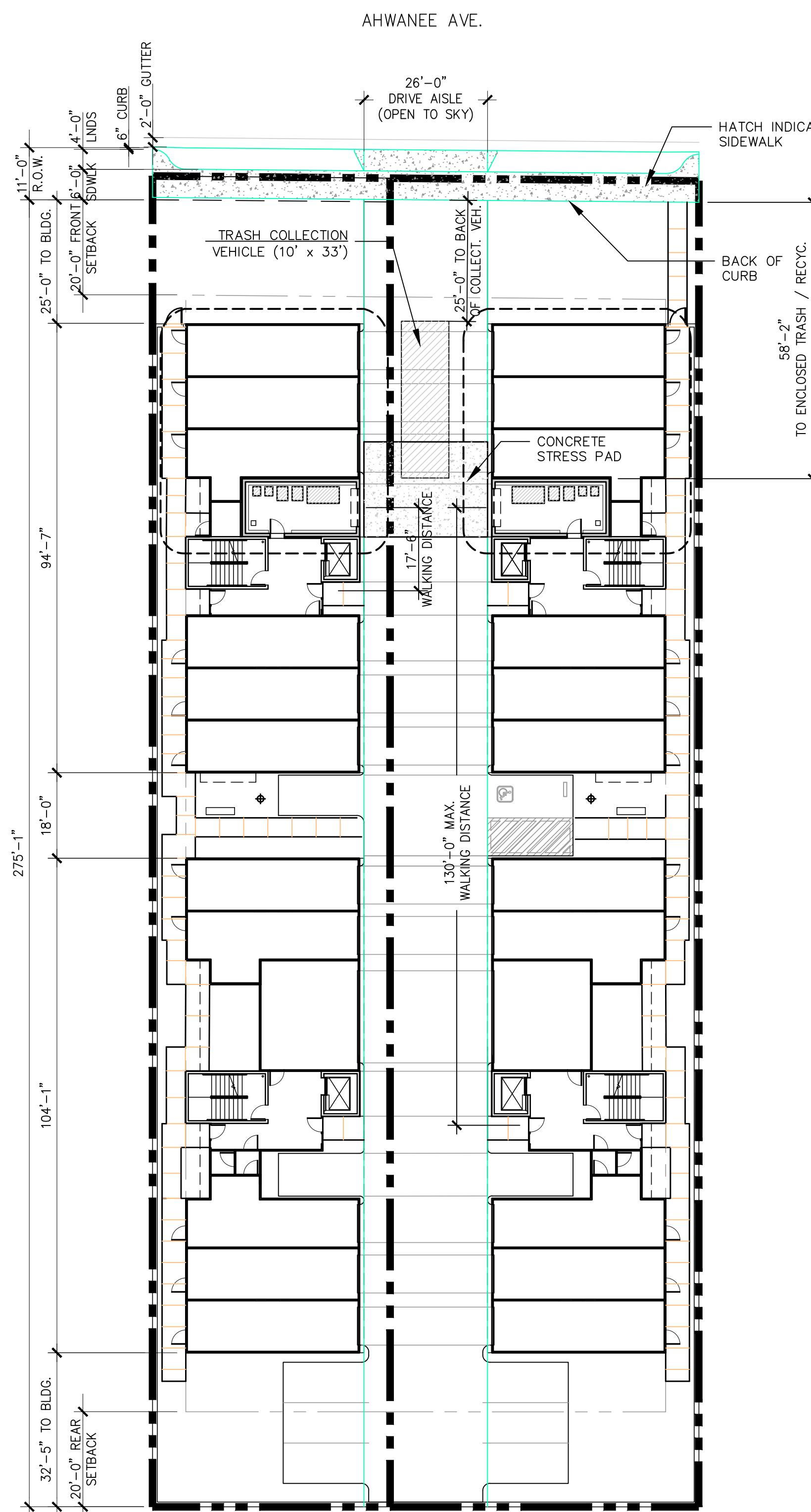


9 EXTERIOR DOOR



10 METAL CANOPY

MATERIAL BOARD



ENLARGED TRASH / RECYCLING ENCLOSURE

ENLARGED TRASH / RECYCLING ENCLOSURE

RECYC. & TRASH ENCLOSURE



DEC. 21 - 9 am

TOTAL ROOF: 17,000 S.F.
SHADED ROOF AREA: 1,650 S.F.
COVERAGE PERCENTAGE: 10%

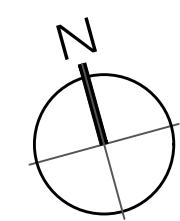
SUNNYVALE 24

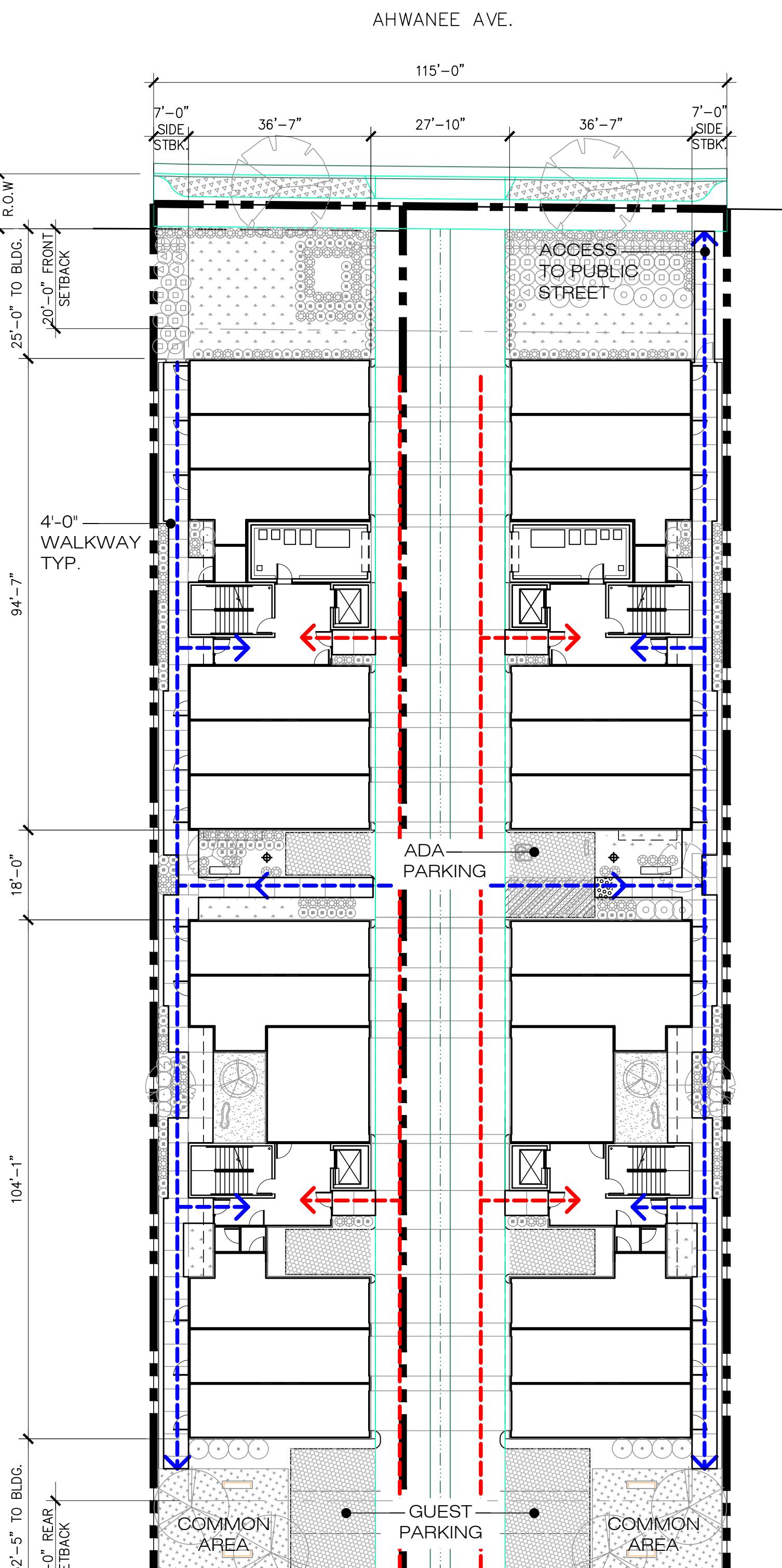
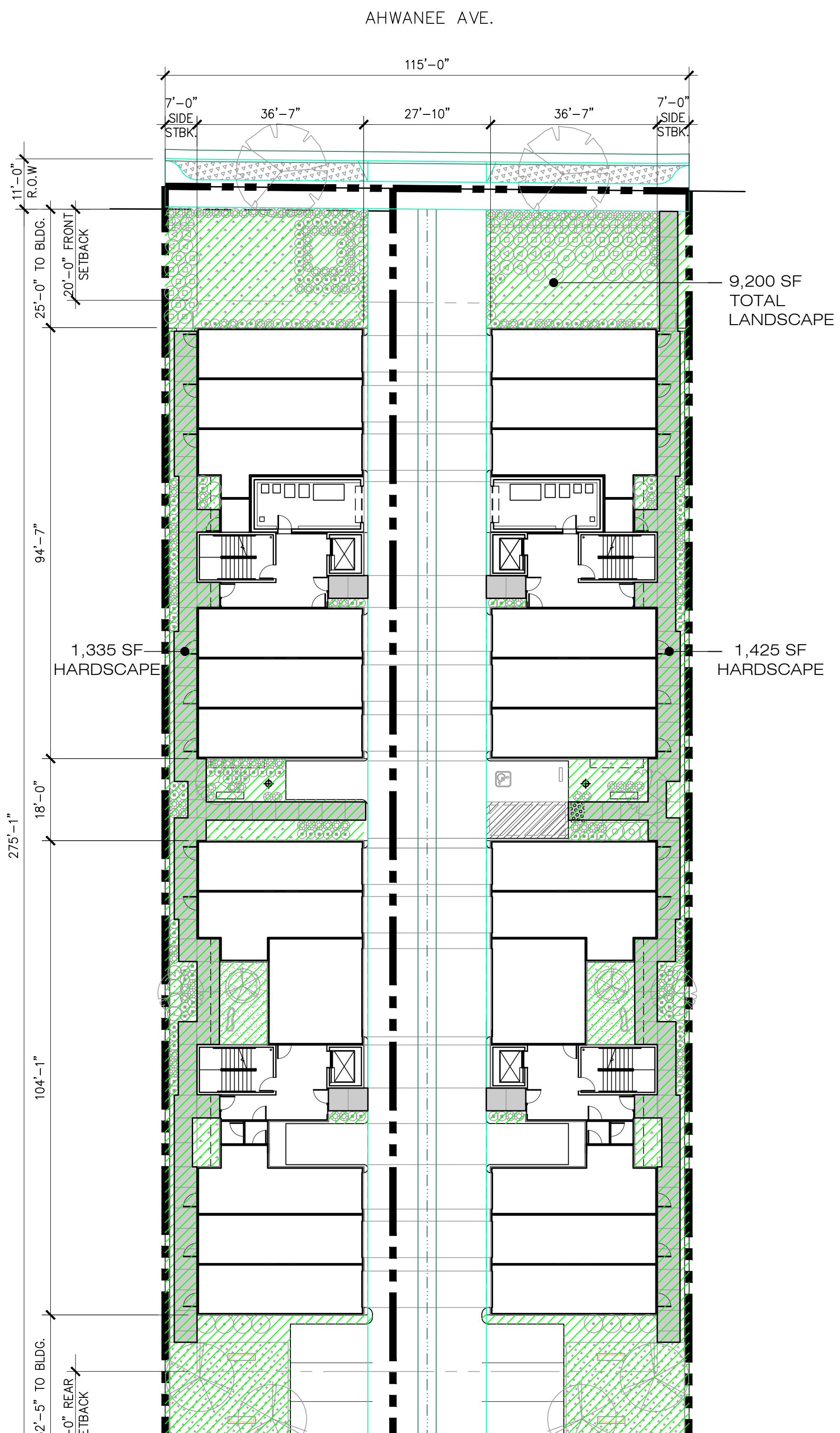
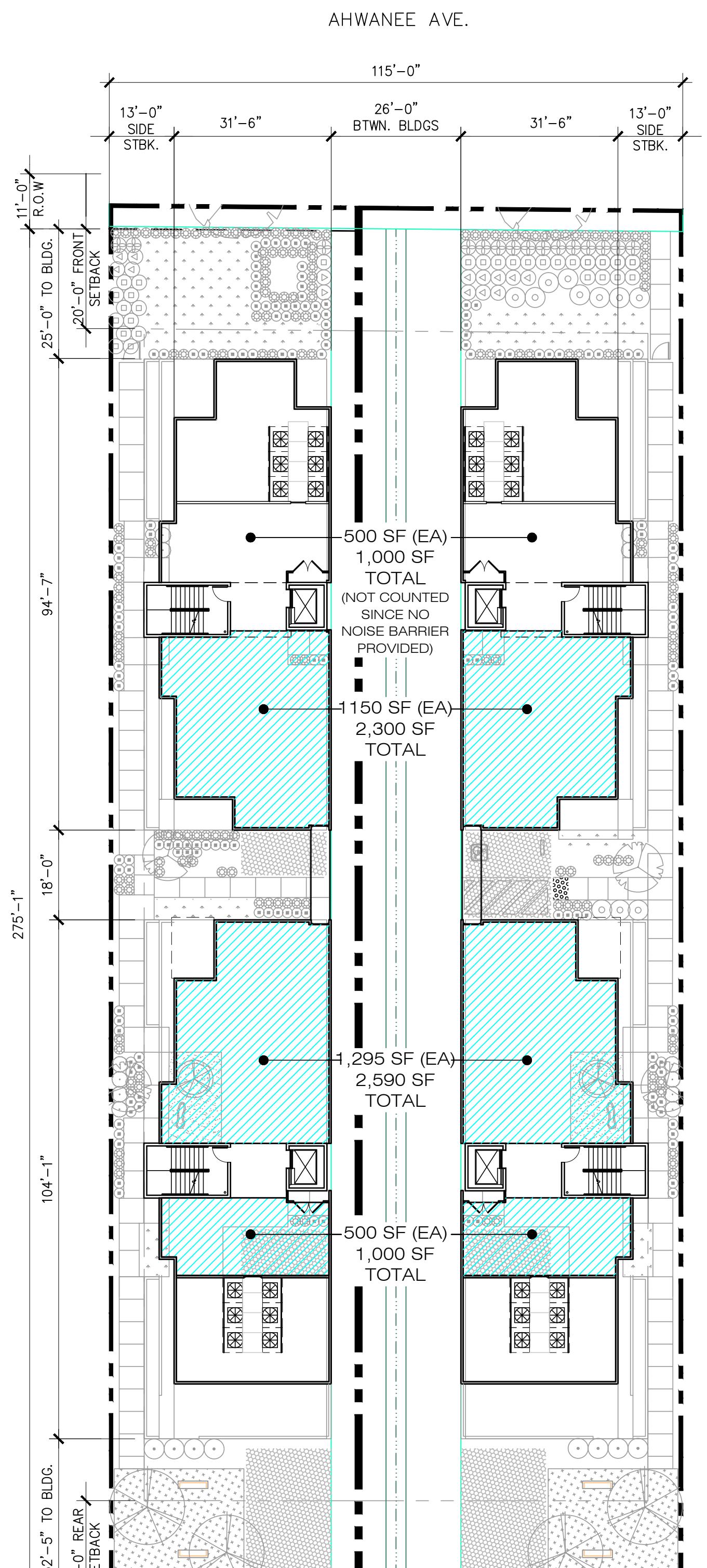
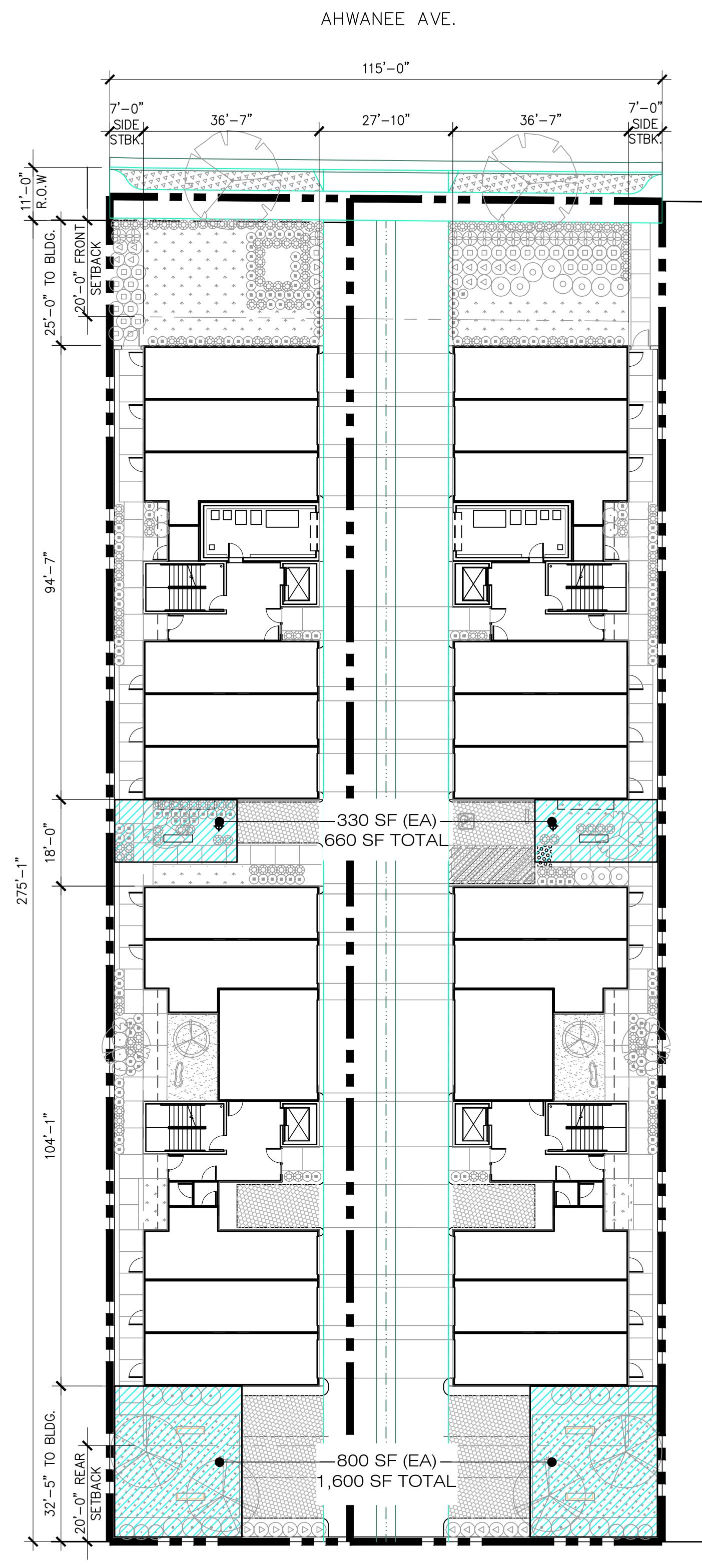


DEC. 21 - 3 pm

TOTAL ROOF: 31,175 S.F.
SHADED ROOF AREA: 1,950 S.F.
COVERAGE PERCENTAGE: 6%

SHADOW STUDY



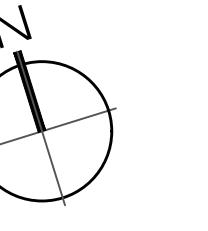


LEGEND

	COMMON OPEN SPACE TOTAL PROVIDED: 8,140 SF (300 SF/DU = 7,200 SF REQUIRED) *MEETS 12x12' MIN. & 200 SF MIN.
	LANDSCAPED AREA TOTAL PROVIDED: 9,200 SF (9,000 SF REQUIRED)
	HARDSCAPE WITHIN LANDSCAPED AREA TOTAL HARDSCAPE: 2,760 SF (2,760 SF / 9,200 SF = 30%) *MAX. 30% HARDSCAPE ALLOWED

SUNNYVALE 24

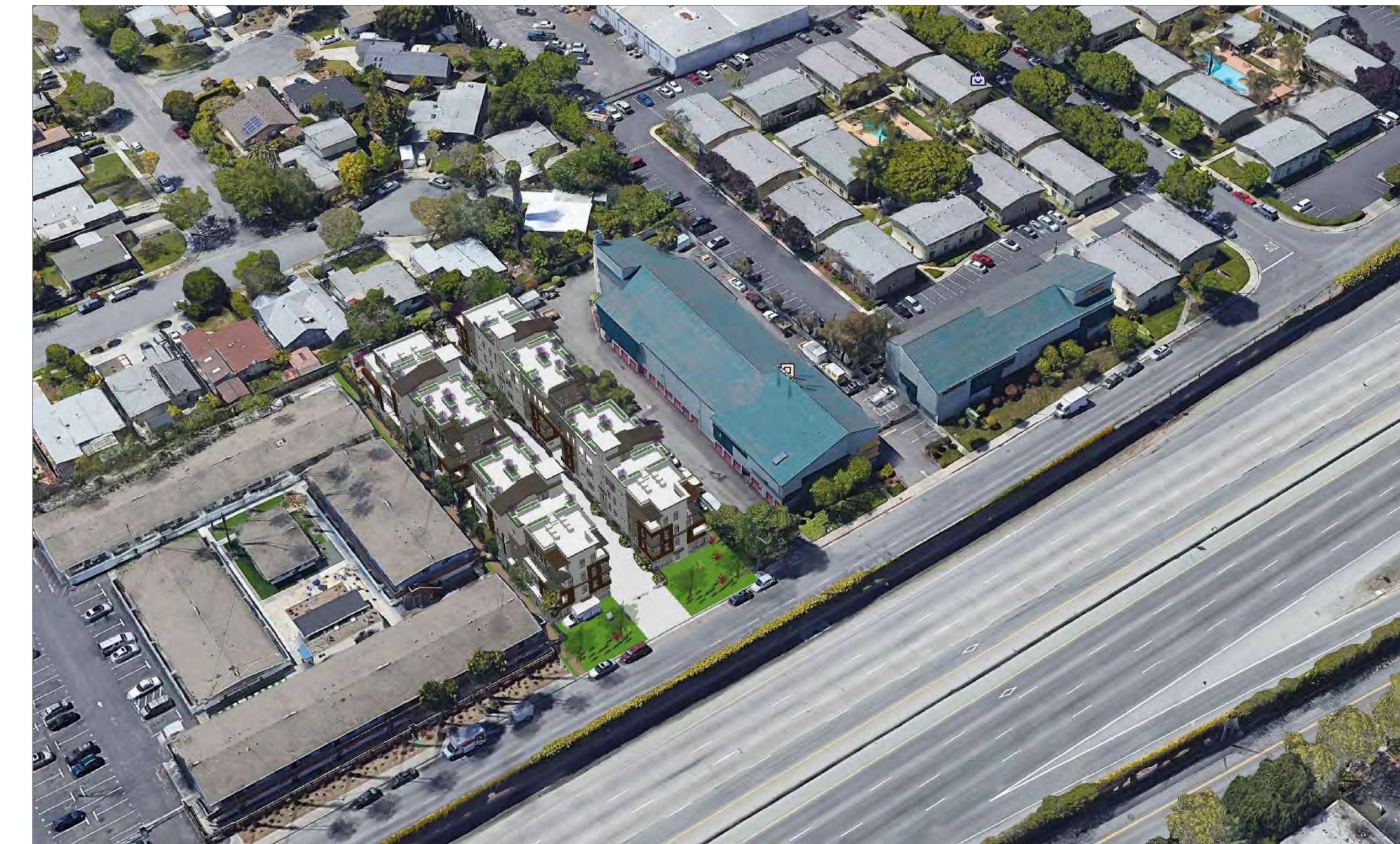
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EXHIBITS



AERIAL 1



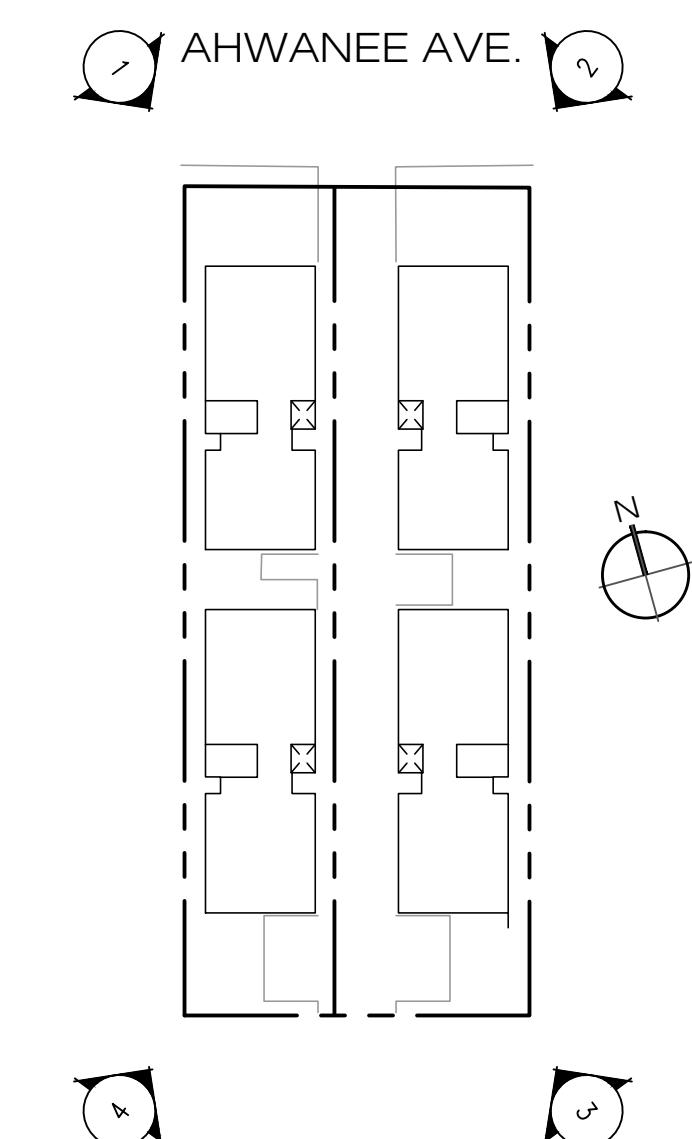
AERIAL 2



AERIAL 3



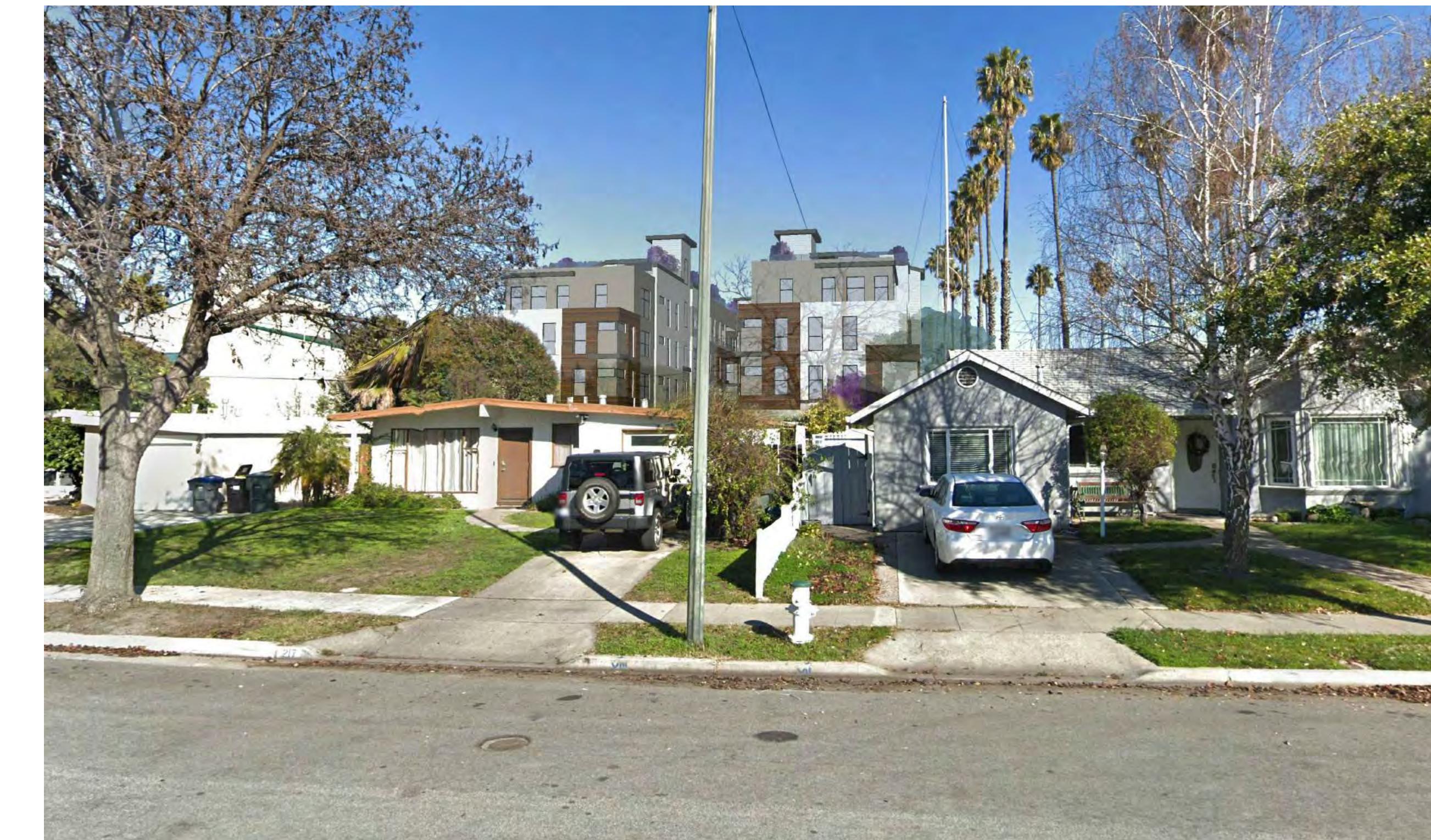
AERIAL 4



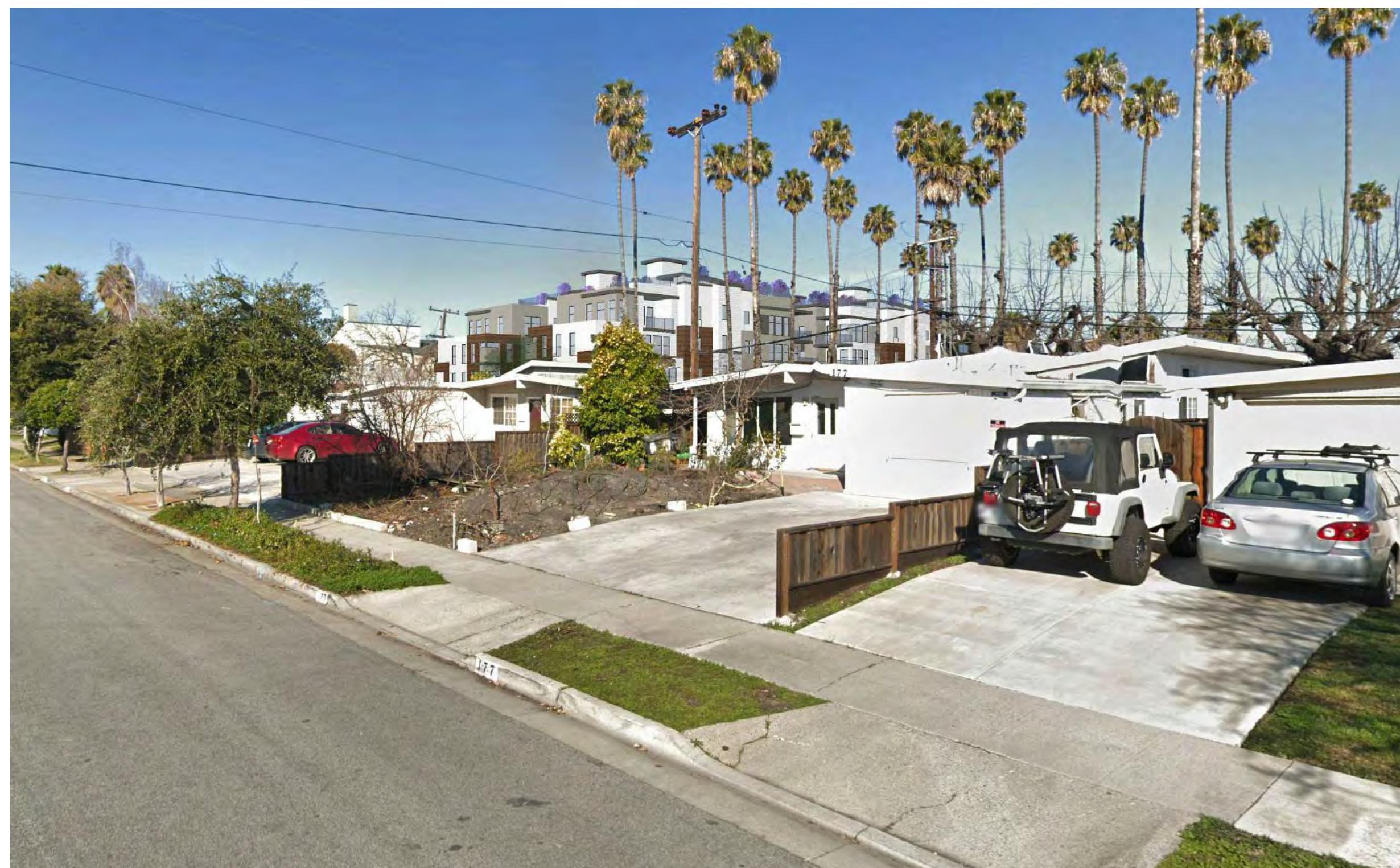
AERIAL VIEWS



VIEW 1



VIEW 2



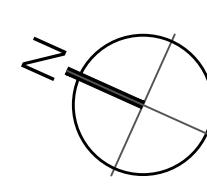
VIEW 3

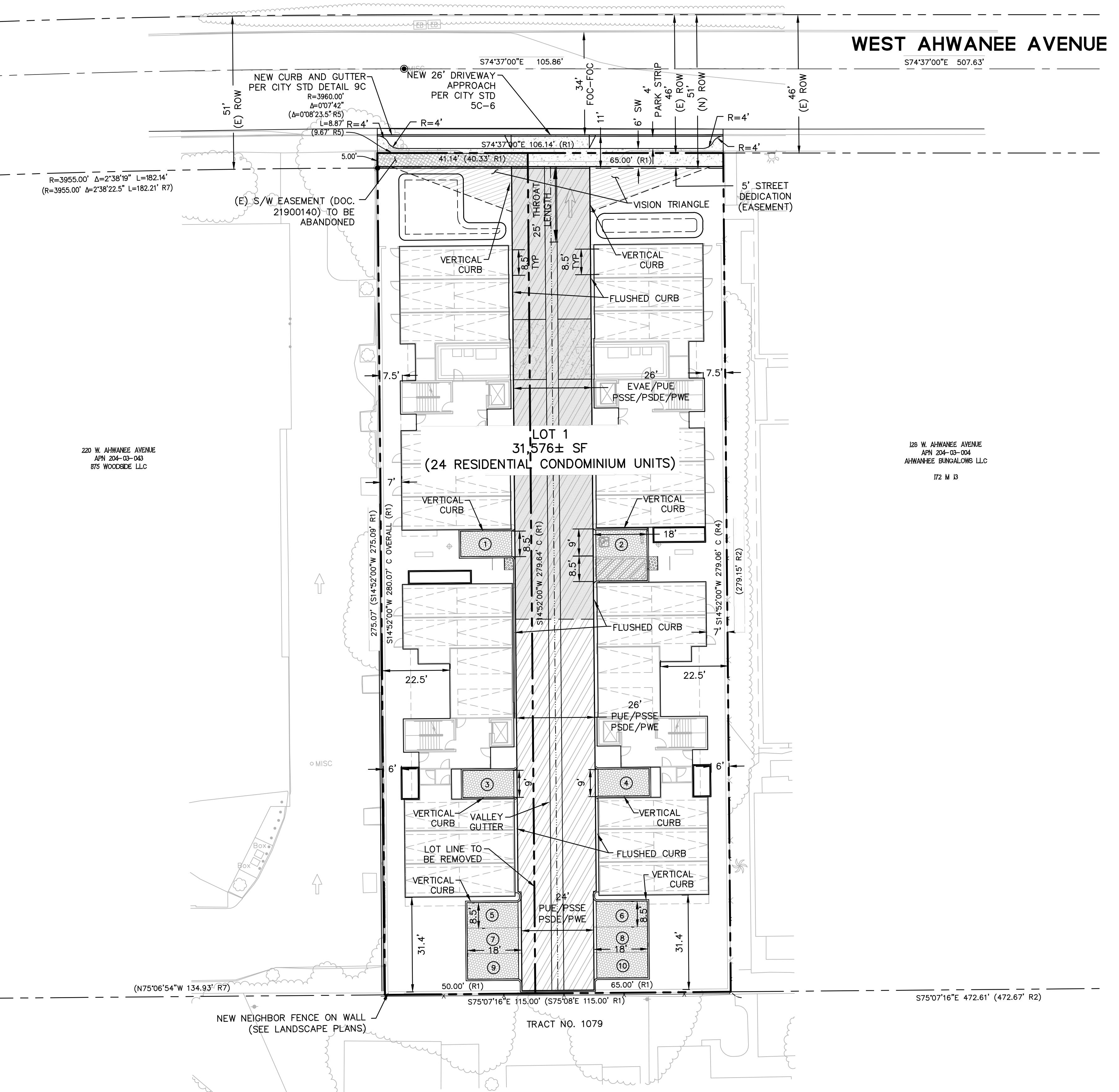


REFERENCE PLAN

RESIDENTIAL VIEWS

SUNNYVALE 24





SUNNYVALE 24-UNIT CONDO PROJECT

LEGEND

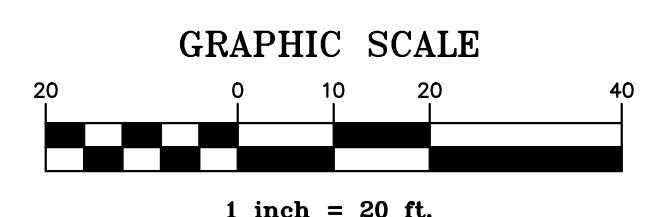
	PROPOSED	EXISTING
PROJECT BOUNDARY	-----	-----
EASEMENT LINE	-----	-----
STREET CENTERLINE	-----	-----
FLUSHED CURB	=====	=====
CURB AND GUTTER	=====	=====
ROLLED CURB AND GUTTER	=====	=====
VISION TRIANGLE AREA	□□□	□□□
SLURRY SEAL COAT	▨▨▨	▨▨▨
PERVIOUS CONCRETE	▨▨▨	▨▨▨
EVAE	▨▨▨	▨▨▨
PUE, PSSE, PSDE, PWE	▨▨▨	▨▨▨

PROJECT DATA

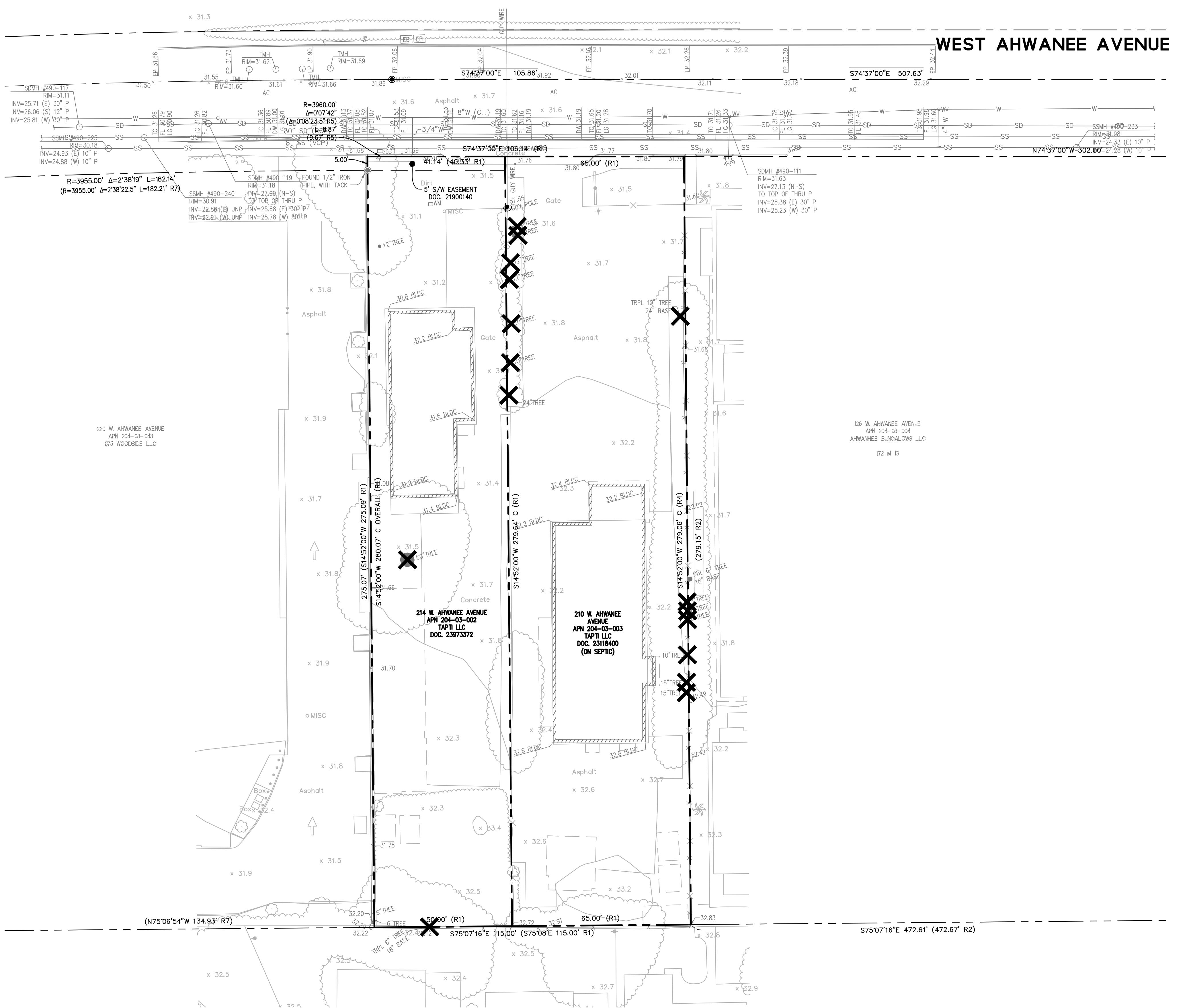
1. OWNER:	TAPPI, LLC
2. DEVELOPER:	TAPPI, LLC 1481 PERALTA BOULEVARD FREMONT, CA 94536 CONTACT: KISHORE POLAKALA (408) 420-2268
3. CIVIL ENGINEER:	BKF ENGINEERS 1730 N. FIRST STREET, SUITE 600 SAN JOSE, CA 95110 CONTACT: PATRICK CHAN (408) 467-9100
4. PROPERTY:	PARCEL A AS SHOWN ON A PARCEL MAP FILED FEBRUARY 15, 1985 IN BOOK 539 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.
5. ASSESSORS PARCEL NO.	204-03-003, 204-03-002
6. GENERAL PLAN	DOWNTOWN SPECIFIC PLAN
7. EXISTING ZONING:	DOWNTOWN SPECIFIC PLAN
8. PROPOSED ZONING:	DOWNTOWN SPECIFIC PLAN
9. EXISTING USE:	HIGH-DENSITY RESIDENTIAL
10. PROPOSED USE:	HIGH-DENSITY RESIDENTIAL
11. GROSS AREA:	0.74± ACRES
12. NET AREA:	0.72± ACRES
13. NUMBER OF UNITS:	24
14. NUMBER OF LOTS:	1 LOT (PROPOSED)
15. UTILITIES:	
A. WATER:	CITY OF SUNNYVALE HOMEOWNER'S ASSOCIATION
B. SANITARY SEWER:	CITY OF SUNNYVALE HOMEOWNER'S ASSOCIATION
C. STORM DRAIN:	CITY OF SUNNYVALE HOMEOWNER'S ASSOCIATION
D. GAS/ELECTRIC:	PACIFIC GAS & ELECTRIC
E. TELEPHONE:	AT&T
F. CABLE TV:	COMCAST
16. BENCHMARK:	CITY OF SUNNYVALE BENCHMARK NO. 58; BRASS DISK IN TOP OF CURB NEXT TO CATCH BASIN ON WEST SIDE OF MORSE AVENUE. ELEVATION=30.946 FEET (NAVD 88)
17. BASIS OF BEARINGS:	THE BEARING NORTH 14°52'00" EAST OF THE CENTERLINE OF BORREGAS AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, BOOK 172 OF MAPS AT PAGE 13, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.
18. FLOOD ZONE:	THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06085C0045H, DATED MAY 18, 2009.
19. LOT SIZE:	LOT 1 = 31,576 SF (0.72 AC)

GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 0.72 ACRES AND ARE PROPOSED FOR A ONE-LOT SUBDIVISION TO BE FURTHER DIVIDED INTO 24 RESIDENTIAL CONDOMINIUM UNITS VIA A SEPARATE INSTRUMENT.
- UTILITIES: AN UTILITY EASEMENT IN THE FAVOR OF PACIFIC GAS & ELECTRIC WILL BE CREATED TO FACILITATE MAINTENANCE OF GAS METERS AND ELECTRICAL SERVICES. SANITARY AND WATER SERVICE LATERALS BETWEEN THE BUILDINGS AND THE CLEANOUTS AND/OR WATER METERS WILL BE PRIVATELY OWNED AND MAINTAINED. THE STORM DRAINAGE SYSTEM WILL ALSO BE PRIVATELY OWNED AND MAINTAINED OR AS DESIGNATED.



SUNNYVALE 24-UNIT CONDO PROJECT



ABBREVIATIONS

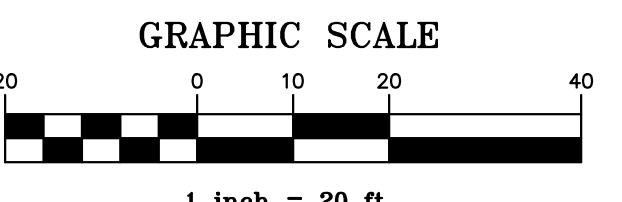
BLDC	=	BUILDING CORNER
CONC	=	CONCRETE
DWY	=	DRIVEWAY
EB	=	ELECTRICAL BOX
FL	=	FLOW LINE
FNC	=	FENCE
GRD	=	GROUND
HCR	=	HANDICAP RAMP
LG	=	LIP OF GUTTER
SDCB	=	STORM DRAIN CATCH BASIN
SDMH	=	STORM DRAIN MANHOLE
SIG	=	SIGNAL
SSCO	=	SANITARY SEWER CLEAN OUT
SSMH	=	SANITARY SEWER MANHOLE
ST	=	STREET
TC	=	TOP OF CURB
V	=	VAULT
WM	=	WATER METER
WV	=	WATER VALVE

LEGEND

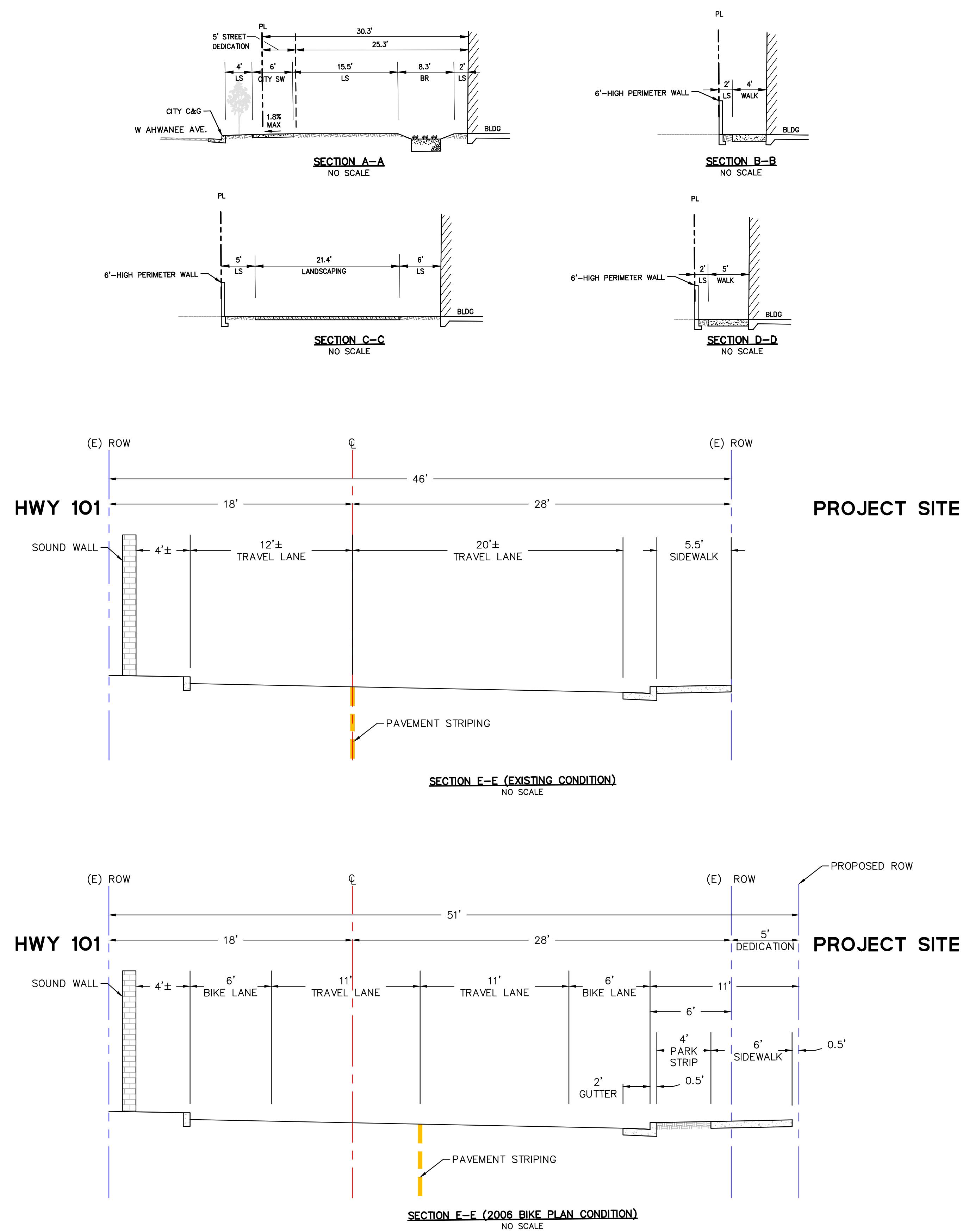
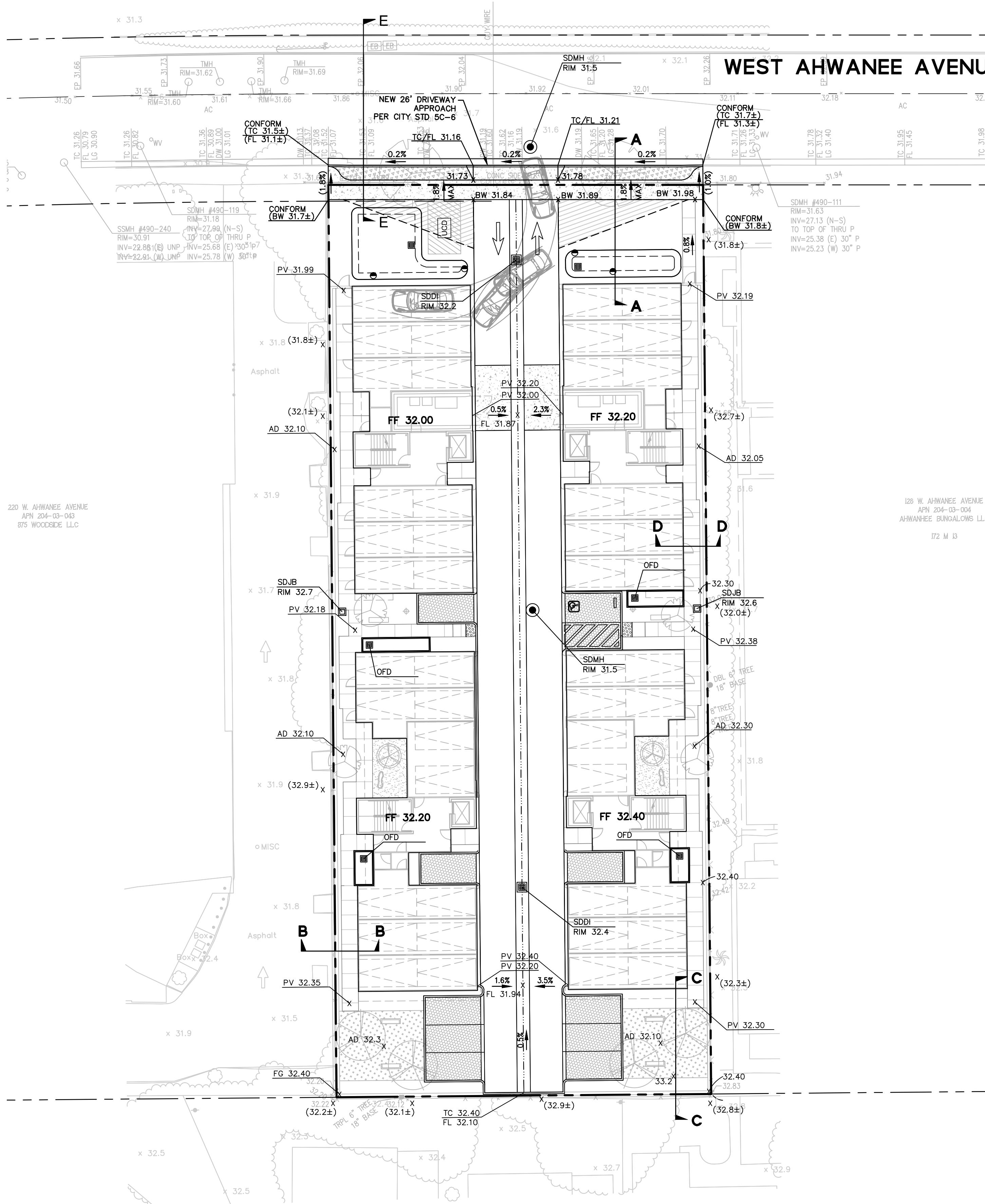
PROPERTY LINE	—
ADJACENT LOT LINE	—
WATER MAIN	—W
ELECTRICAL LINE	—E
SANITARY SEWER LINE	—SS
STORM DRAIN LINE	—SD
UNDERGROUND TELEPHONE	—T
FENCE	—X
EXISTING DRIVEWAY	—/—
CURB, GUTTER, AND SIDEWALK WITH DRIVEWAY	—/—/—
CATCH BASIN	□
STORM DRAIN INLET	□ DI
ELECTRIC PULLBOX	□ EPB
ELECTRIC PULLBOX	□ EPB
GAS METER	□ GM
FIRE HYDRANT	☒ FH
ELECTRICAL BOX	□ EB
UTILITY BOX (GENERAL)	□ U BOX
TELEPHONE BOX	□ T BOX
MANHOLE (UNSPECIFIED)	○
STORM DRAIN MANHOLE	○ T
SANITARY SEWER MANHOLE	○ S
SANITARY SEWER CLEANOUT	○ SSCO
SANITARY SEWER CLEANOUT	○ SSCO
SANITARY SEWER LATERAL	—/—
ELECTROLIER	☒
STREETLIGHT	☒
STREET LIGHT PULL BOX	□ SLB
JOINT UTILITY POLE	□ JUP
TELEPHONE POLE	□ TP
SURVEY CONTROL PT	□ SP
STREET MONUMENT (SURVEY)	○ SM
SIGN (SINGLE POLE)	—
WATER METER	□ WM
WATER VALVE	○ WV
TREES TO BE REMOVED	☒
TREES TO REMAIN	○

EXISTING CONDITIONS AND TREE REMOVAL PLAN

C2.0



BKF 100+ YEARS
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)
ENGINEERS . SURVEYORS . PLANNERS



LEGEND

PROPERTY LINE	
LOT LINE	
STREET CENTERLINE	
FLUSHED CURB	
CURB AND GUTTER	
ROLLED CURB AND GUTTER	
OVERLAND RELEASE	
AREA DRAIN	
STORM DRAIN INLET	
STORM DRAIN MANHOLE	
STORMWATER MECHANICAL TREATMENT DEVICE	
STORM DRAIN CLEANOUT	
BIORETENTION BASIN	
PERVIOUS CONCRETE	
VISION TRIANGLE	

ABBREVIATIONS

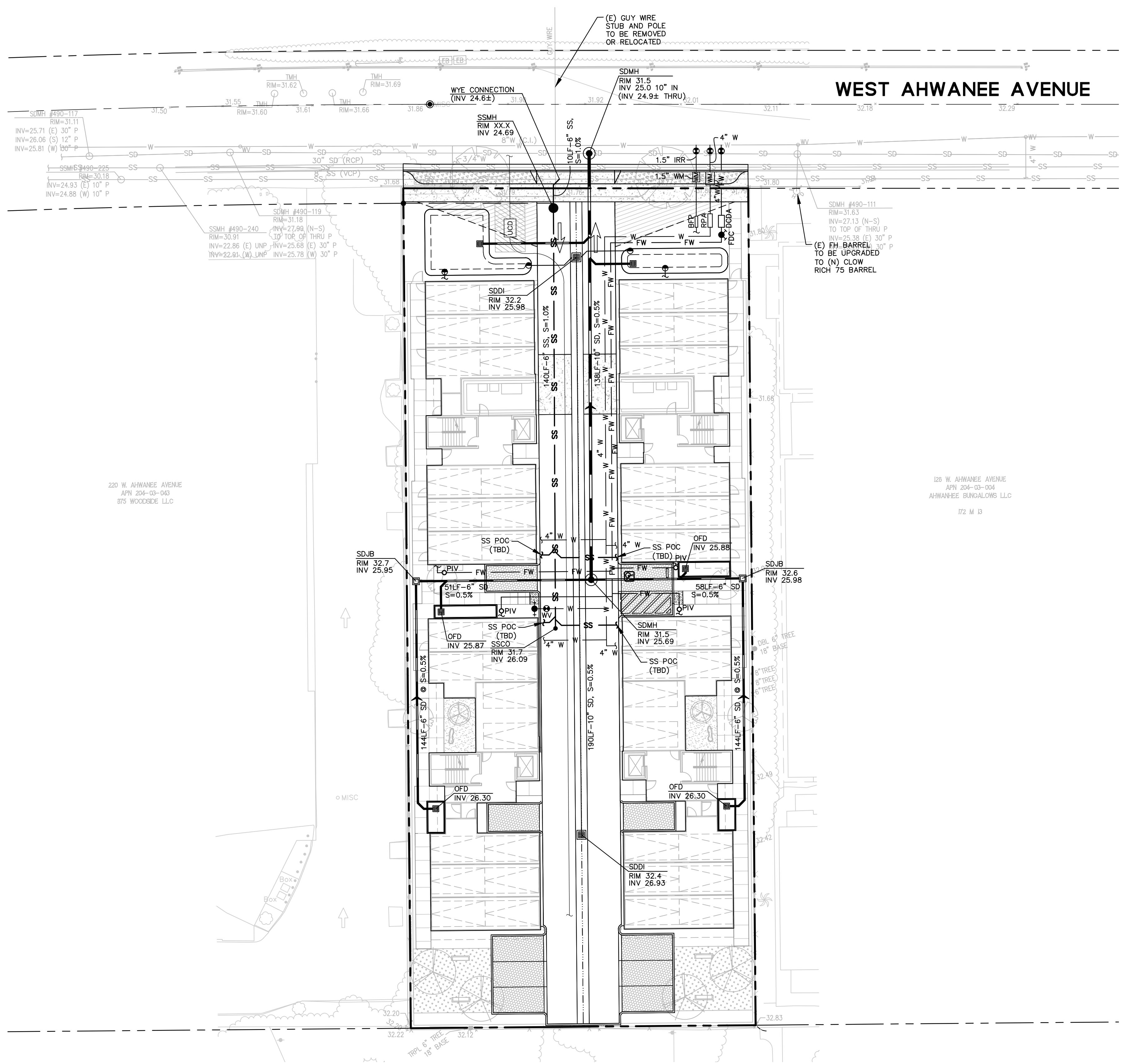
SYMBOL	DESCRIPTION
AC	HVAC UNIT
AD	AREA DRAIN
BB	BUBBLER BOX
BR	BIORETENTION BASIN
BW	BACK OF WALK
B/W	BOTTOM OF WALL
CB	CATCH BASIN
CC	CURB CUT (CURB OPENING)
CR	CROWN
CSV	CITY OF SUNNYVALE
DET	DETAIL
DI	DRAIN INLET
DWY	DRIVEWAY
(E)	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
GB	GRADE BREAK
GS	GARAGE SLAB
HP	HIGH POINT
JB	JUNCTION BOX
LG	LIP OF GUTTER
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
(N)	NEW
N.T.S.	NOT TO SCALE
OFD	OVER FLOW DRAIN
PAE	PUBLIC ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PV	PAVEMENT
SD	STORM DRAIN
STD	STANDARD
TC	TOP OF CURB
TW	TOP OF WALL
TRC	TOP OF ROLLED CURB
TYP	TYPICAL

SUNNYVALE 24-UNIT CONDO PROJECT

PRELIMINARY GRADING & DRAINAGE PLAN

C3.0

BKF 100+ YEARS
ENGINEERS . SURVEYORS . PLANNERS
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)



LEGEND

PROPERTY LINE	
LOT LINE	
STREET CENTERLINE	
CURB AND GUTTER	
VERTICAL CURB	
FLUSHED CURB	
ROLLED CURB AND GUTTER	
SANITARY LINE	
STORM DRAIN LINE (TREATED)	
STORM DRAIN LINE (UNTREATED)	
WATER LINE	
SANITARY SEWER LATERAL	
WATER SERVICE	
JOINT TRENCH	
AREA DRAIN	
STORM DRAIN INLET	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
STORM DRAIN MANHOLE	
STORMWATER MECHANICAL TREATMENT DEVICE	
STORM DRAIN CLEAN OUT	
STORM DRAIN CATCH BASIN	
STORM DRAIN JUNCTION BOX	
FIRE HYDRANT	
SUBSURFACE TRANSFORMER	
BACKFLOW PREVENTER	
WATER VALVE	
WATER METER (SIZING CALC. TBD BY MEP DURING FINAL DESIGN)	
PARKING LUMINAIRE (SEE LIGHTING PLANS FOR DETAILS)	
VISION TRIANGLE	

GENERAL UTILITY NOTES:

1. ON-SITE WATER MAIN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. THE ON-SITE WATER METERS WILL BE READ BY THE HOA.
2. ON-SITE SANITARY SEWER AND STORM DRAIN AND ASSOCIATED STRUCTURES WILL BE OWNED AND MAINTAINED BY THE HOA.
3. ALL SANITARY SEWER, STORM DRAIN AND WATER LINES AND ASSOCIATED STRUCTURES IN THE PUBLIC STREET WILL BE OWNED AND MAINTAINED BY THE CITY OF SUNNYVALE.
4. THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF STORMWATER TREATMENT AREAS.
5. ON SITE LIGHT FIXTURES SHIELD TO AVOID LIGHT SPILLING OVER ONTO ADJACENT SITES.

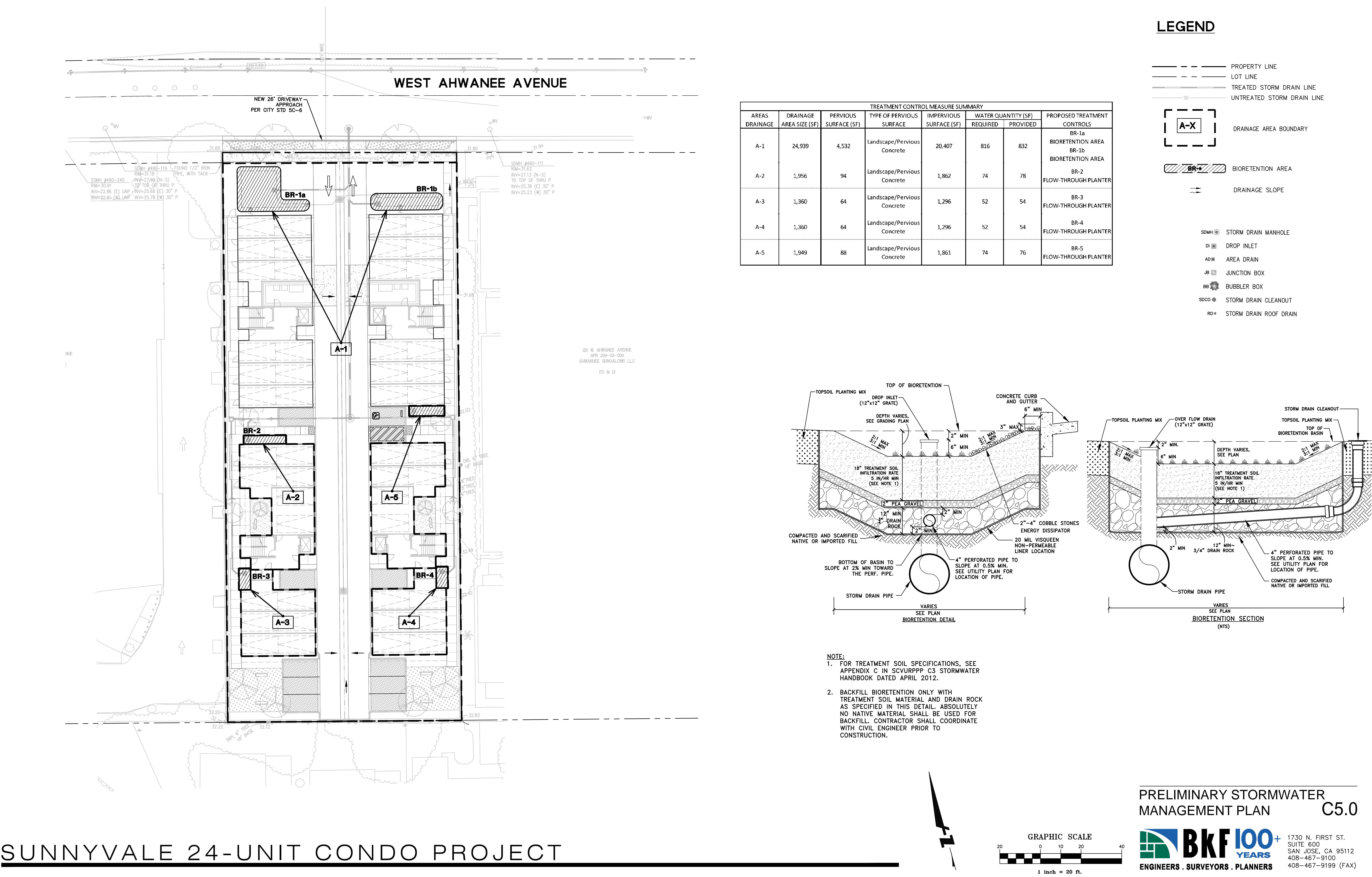
SUNNYVALE 24-UNIT CONDO PROJECT

PRELIMINARY UTILITY PLAN

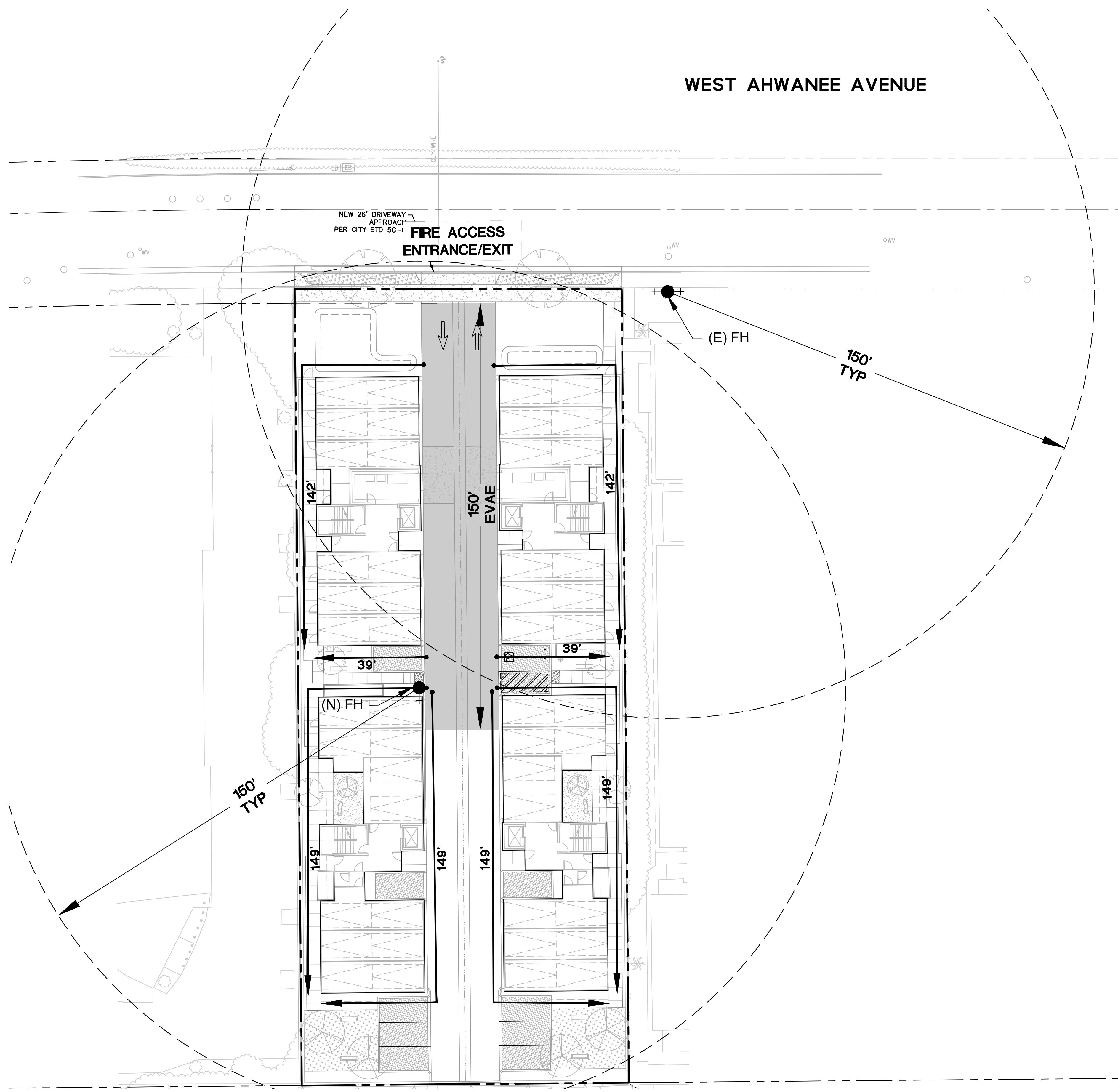
C4.0

GRAPHIC SCALE
20 0 10 20 40
1 inch = 20 ft.

BKF 100+
YEARS
ENGINEERS . SURVEYORS . PLANNERS
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)



WEST AHWANEE AVENUE



LEGEND

PROPERTY LINE

LOT LINE

26' EMERGENCY VEHICLE
ACCESS ROAD (SEE NOTE 3)

FIRE HOSE REACH
FROM EVAE

FIRE HYDRANT

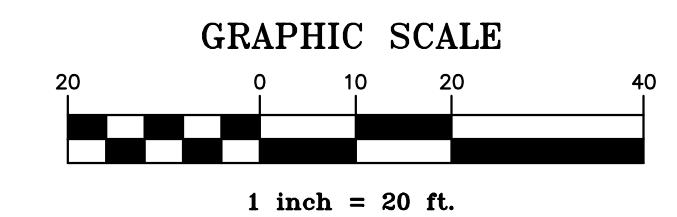
FIRE NOTES:

FIRE NOTES:

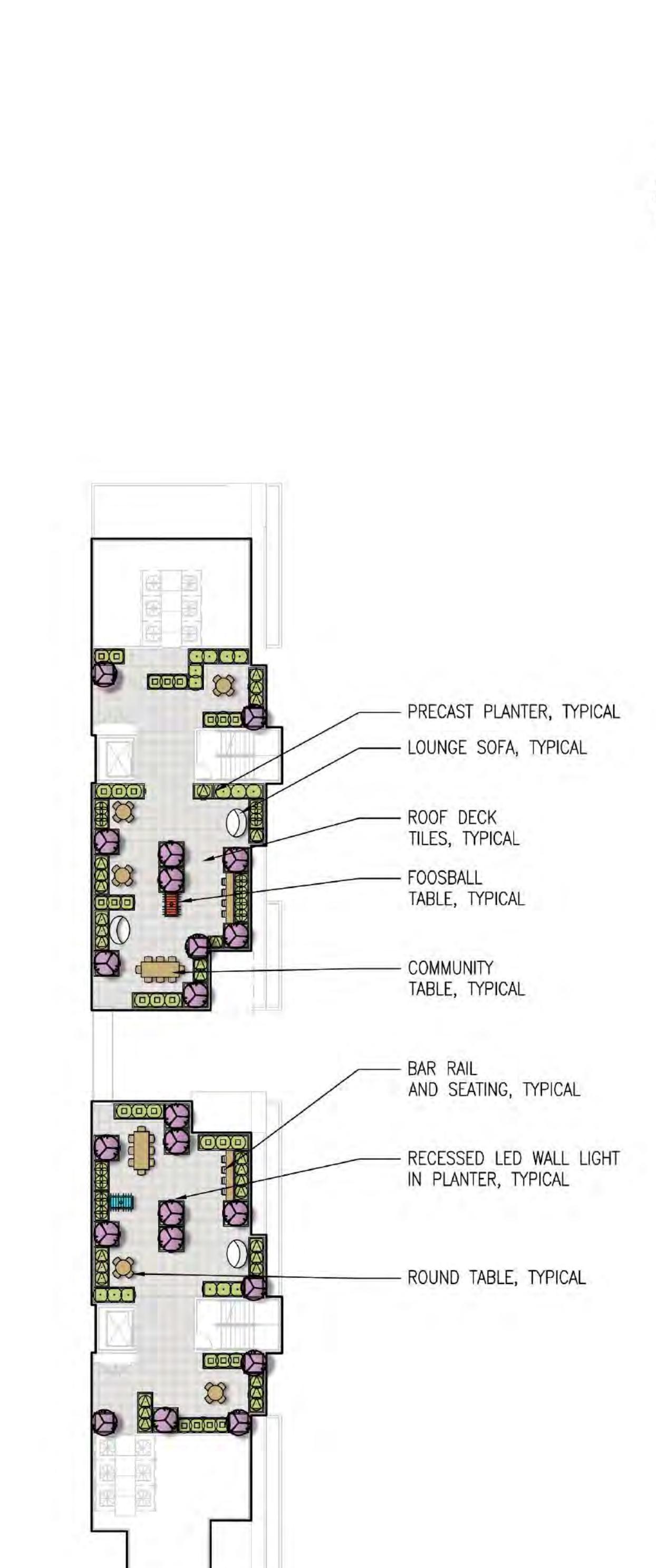
1. THE PROJECT IS A R3 OCCUPANCY. THE ON-SITE FIRE HYDRANT CONNECTS TO THE WATER MAIN SYSTEM.
2. ALL NEW HYDRANTS SHALL BE CLOW-RICH 865.
3. THE APPROVED FIRE APPARATUS ACCESS ROADS WILL BE ASPHALT/CONCRETE PAVEMENT CAPABLE OF SUPPORTING A LOAD OF AT LEAST 90,000 LBS.

FIRE HYDRANT EXHIBIT

C6.0



SUNNYVALE 24-UNIT CONDO PROJECT



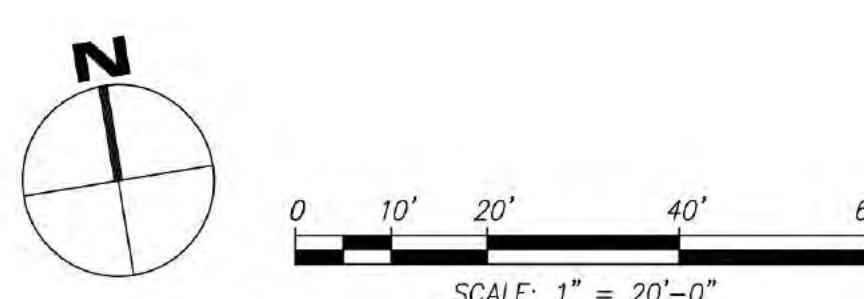
PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
TREES						
ACE CI	ACER CIRCINATUM	VINE MAPLE	24" BOX	PER PLAN	2	M
ARB MA	ARBUSTRUS 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	4	L
QUE KE	QUERCUS KELLOGGII	CALIFORNIA BLACK OAK	24" BOX	PER PLAN	2	L
CER OC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	40	L
SHRUBS						
(○)	ACACIA COGNATA 'COUSIN IT'	ACACIA	5 GAL	4'-0" OC	15	L
(○)	ALOE 'JOHNSON'S HYBRID'	ALOE	1 GAL	2'-0" OC	90	L
(•)	ASPIDISTRA ELIATOR	CAST IRON PLANT	5 GAL	3'-0"	18	L
(○)	CLIVIA MINATA	ORANGE CLIVIA	1 GAL	2'-0"	90	M
(▷)	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	1 GAL	3'-0" OC	54	L
(■)	ANIGOZANTHOS 'CAPE AMAZON'	KANGAROO PAW	1 GAL	2'-0" OC	124	L
(○)	BULBINE FRUTESCENS	BULBINE	1 GAL	3'-0" OC	22	L
(△)	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	42	L
(•)	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	3'-0" OC	60	L
(□)	LOMANDRA LONGIFLORA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	83	L
▽▽▽▽▽▽▽▽	ARCTOSTAPHYLOS 'EMERALD CARPET'	CARPET MANZANITA	1 GAL	4'-0"	41	L
STORMWATER PLANTING MIX						
▽▽▽▽▽▽▽▽	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	40%	L
▽▽▽▽▽▽▽▽	CHONDROPELALUM TECTORUM	SMALL CAPE RUSH	5 GAL	4'-0" OC	30%	L
▽▽▽▽▽▽▽▽	JUNCUS PATENS 'ELK BLUE'	CALIF. GRAY RUSH	1 GAL	2'-0" OC	30%	L

NOTE:
ALL PLANTING AREAS SHALL BE MAINTAINED WITH A 3" DEEP LAYER OF UN-DYED ORGANIC
MULCH.

TREE REMOVAL AND REPLACEMENT LIST			
TREES TO BE REMOVED			
#	TYPE OF TREE	SIZE OF TREE	REPLACEMENT TREES
1	SCHINUS MOLLE*	OVER 24" DIAMETER	ONE 48" BOX TREE, OR TWO 36" BOX TREES, OR FOUR 24" BOX TREES
1	MAGNOLIA GRANDIFLORA*	12" – 18" DIAMETER	ONE 36" BOX TREE, OR TWO 24" BOX TREES
TOTAL REQUIRED REPLACEMENT TREES			6

TREE REPLACEMENT LIST			
#	TYPE OF TREE	SIZE OF BOX	
4	ARBUTUS UNEDO	24" BOX	REPLACEMENTS FOR SCHINUS MOLLE TREE AND MAGNOLIA GRANDIFLORA
2	QUERCUS KELLOGGII	24" BOX	
4	CERCIS OCCIDENTALIS	24" BOX	
TOTAL PROPOSED REPLACEMENT TREES			10

*SEE CIVIL PLANS FOR LOCATIONS



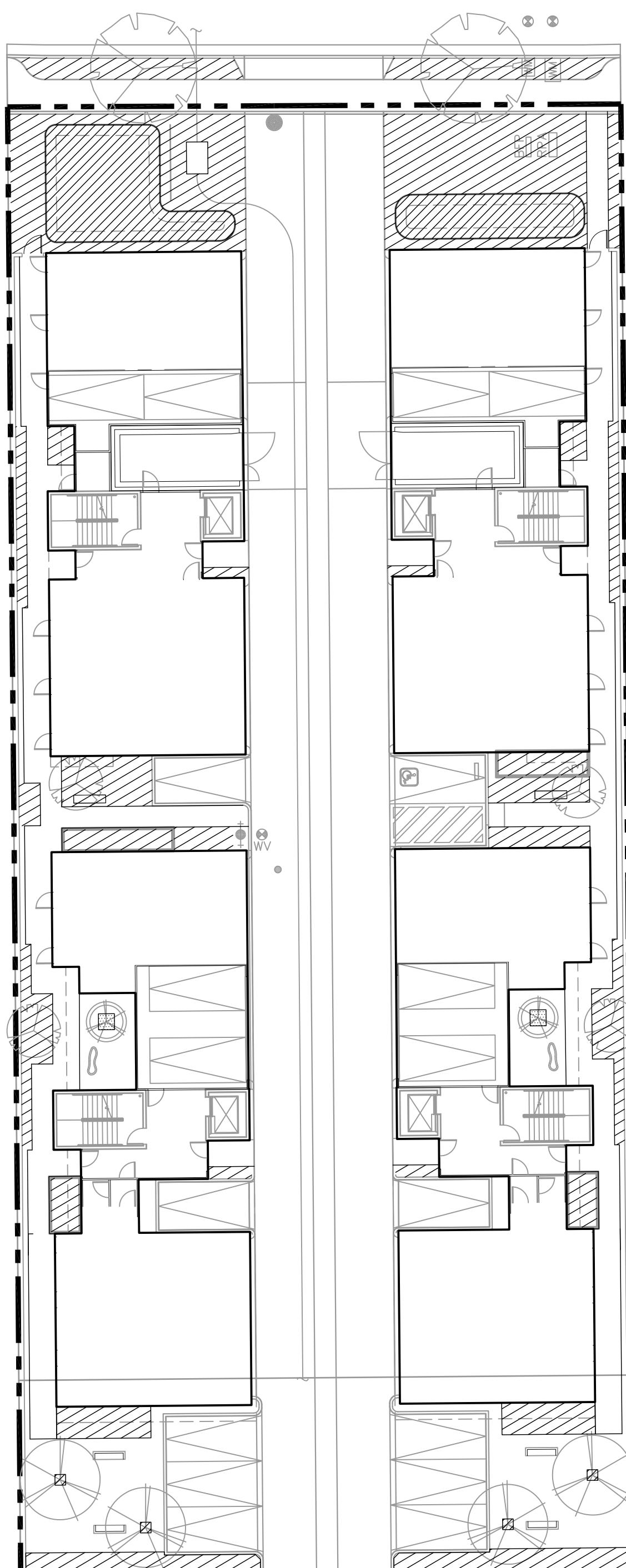
SUNNYVALE 24-UNIT CONDO PROJECT



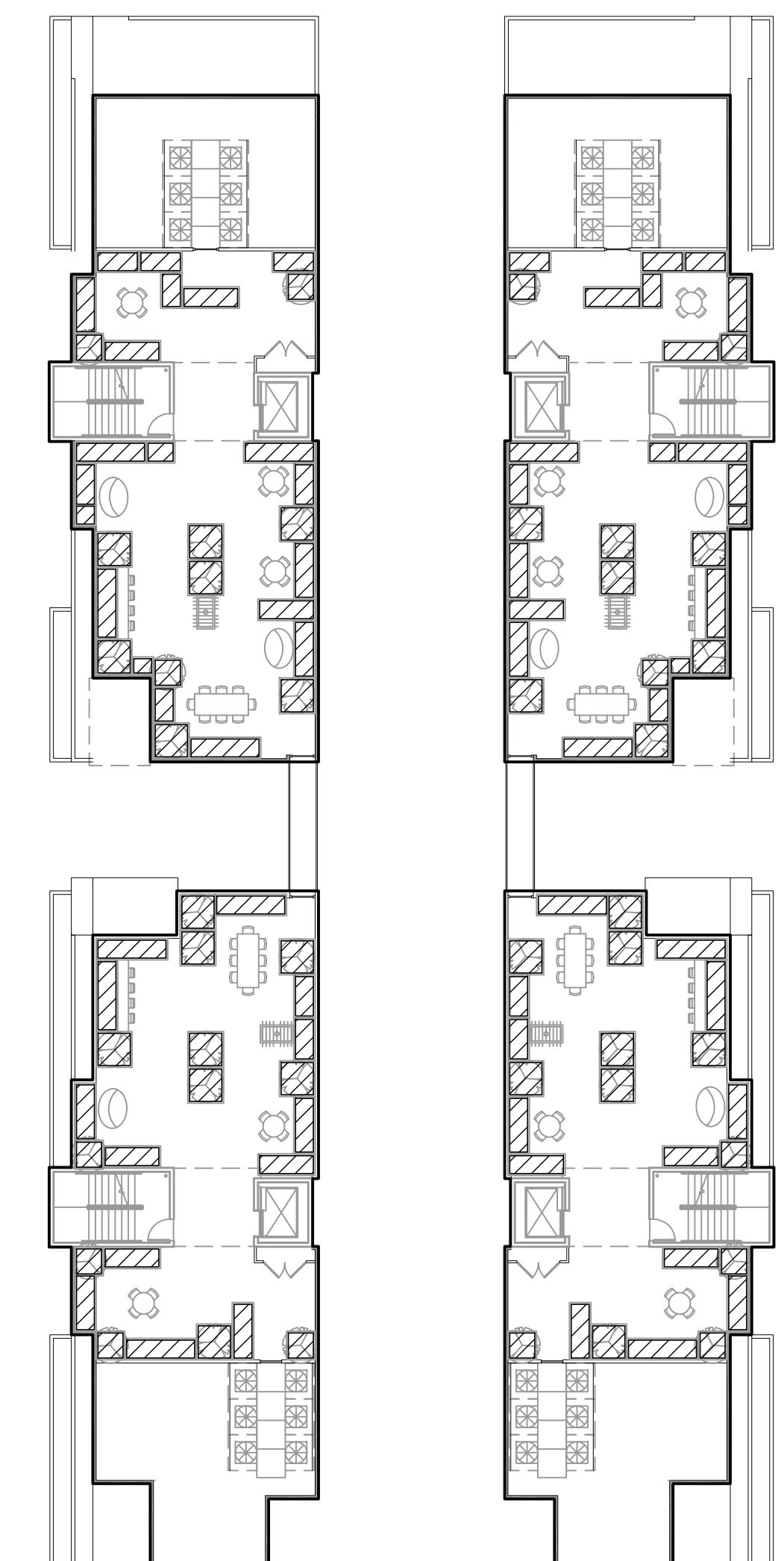
L1

HYDROZONE LEGEND						
SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION TYPE	AREA (SF)	TOTAL (SF)
1	LOW WATER USE	SHRUB/G.COVER	DRIP	5,176	5,176	5,360.0 100%
2	LOW WATER USE	TREES	BUBBLER	184	184	
3	MODERATE WATER USE	TREES	BUBBLER	8	8	<1%
					TOTAL	5,368.0 100%

AHWANEE AVE



GROUND LEVEL

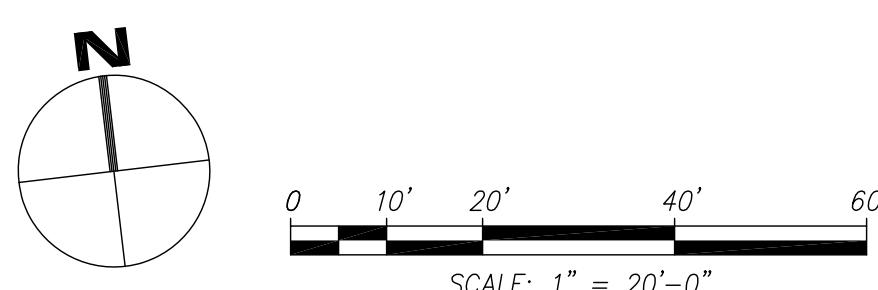


ROOF LEVEL

HYDROZONE INFORMATION TABLE				
REFERENCE ANNUAL ET_0 FOR:	SAN JOSE (SUNNYVALE, WUCOLS)		45.3	
ET ADJUSTMENT FACTOR	.55	ET ADJ FACTOR PER MWELO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL, 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL	SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)	0.45
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR. METHOD DRIP:0.81 ROTOR:0.75 BUBB:0.81 SPRAY:0.75	IRRIGATION EFFICIENCY (IE)	ETAF _z (PF/IE)
1	0.3	D	0.81	0.37
2	0.3	B	0.81	0.37
3	0.6	B	0.81	0.74
-	0	-	.81	0.00
-	0	-	.81	0.00
				TOTAL 5368.00 1991.11 55,922.35
SPECIAL LANDSCAPE AREAS			1 0 0.00	0.00
-	-		0 0 0.00	0.00
			TOTAL 0 0 0.00	0.00
TOTAL LANDSCAPE AREA (LA + SLA)				5,368.00
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA) (ANNUAL ET_0)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF) \times SLA)]		TOTAL ETWU	55,922.35
MAWA			MAWA	82,921.11
AVERAGE ETAF	SUM(ETAF _z \times AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA _z)		0.37	
SITEWIDE ETAF	TOTAL ETAF \times AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA _z)			0.37

IRRIGATION DESIGN INTENT

1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), CITY OF SUNNYVALE, AND SAN FRANCISCO PUBLIC UTILITIES COMMISSION (SFPU).
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.



HYDROZONE PLAN
PRELIMINARY LANDSCAPE PLAN

TREES



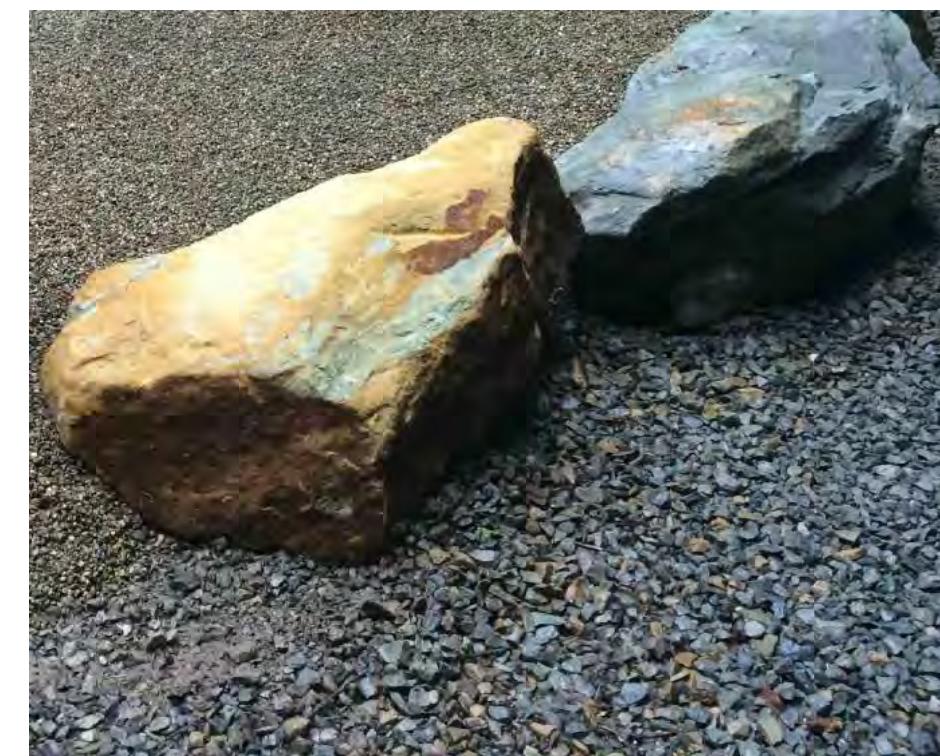
ACER CIRCINATUM

ARBUTUS UNEDO

CERCIS OCCIDENTALIS

QUERCUS KELLOGGII

SITE FURNISHINGS



PRECAST PLANTERS

OUTDOOR LOUNGE SOFA

BENCH

LANDSCAPE BOULDER

SHRUBS

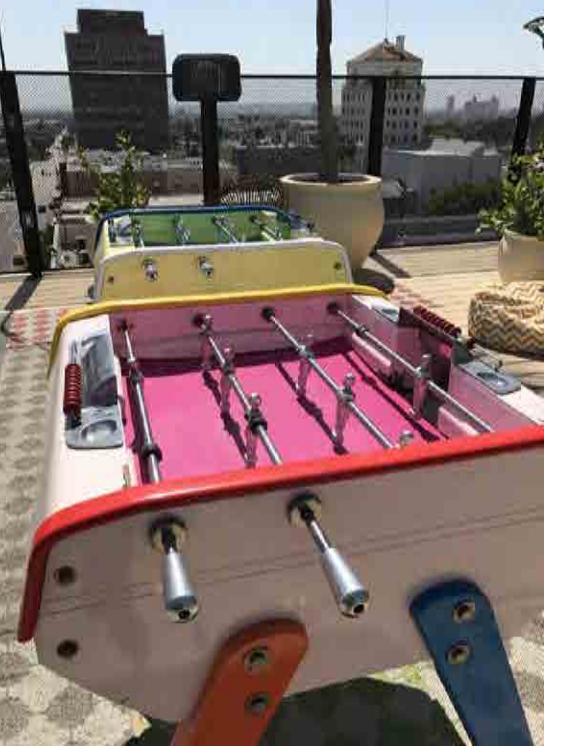


ACACIA COGNATA

ALOE JOHNSON'S HYBRID

ANIGOZANTHOS 'BUSH GOLD'

ANIGOZANTHOS 'CAPE AMAZON'



ROOFTOP DINING TABLE

FOOSBALL TABLE

BAR RAIL

GOOD NEIGHBOR FENCING

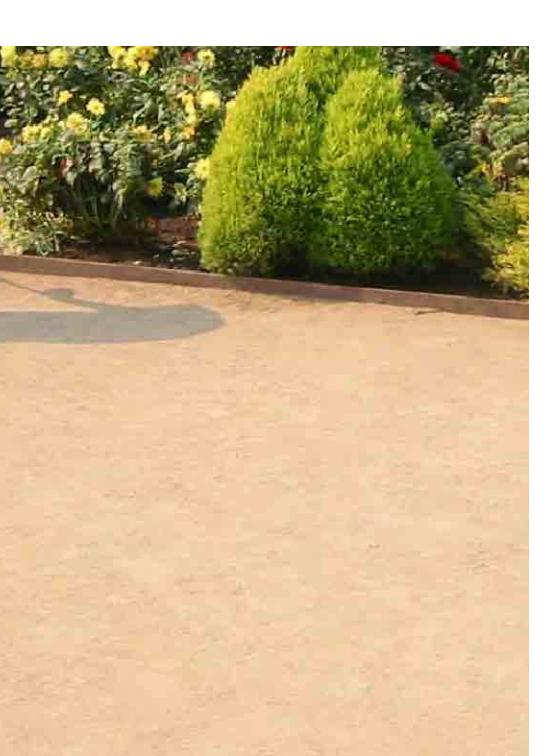
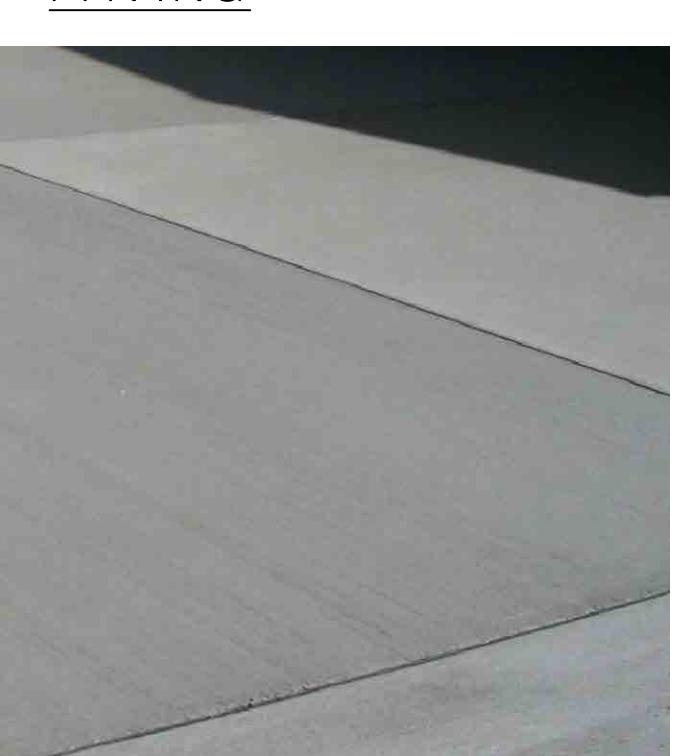


BULBINE FRUTESCENS

CAREX TUMILICOLA

IRIS DOUGLASIANA

LOMANDRA 'BREEZE'



LIGHT BROOM FINISH

DECOMPOSED GRANITE

CONCRETE PAVERS

DECORATIVE MULCH GRAVEL

STORMWATER PLANTING



CAREX TUMILICOLA

CHONDROPELALUM TECTORUM

JUNCUS 'ELK BLUE'

GROUNDCOVER



ARCTOSTAPHYLOS 'EMERALD CARPET'

ASPIDISTRA ELATIOR

CLIVIA MINIATA



RECESSED LED WALL LIGHT

IN PLANTER

PRECEDENT IMAGES
PRELIMINARY LANDSCAPE PLAN

SUNNYVALE 24-UNIT CONDO PROJECT