

CALGREEN MANDATORY CHECKLIST
NON-RESIDENTIAL PROJECTS
THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2017

Following is a standardized checklist of the 2016 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (chapter 5). This checklist is required for all new buildings, additions of 1,000 square feet or more, and alterations with a permit valuation of \$200,000 and more. Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

CALGreen Category	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
5.1 Planning and Design	5.106.1 Storm water pollution prevention. Newly constructed projects which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through local ordinance in Section 5.106.1.1 or Best Management Practices (BMP) in Section 5.106.1.2.	Sheet: CIVIL	Initials: _____ Date: _____
5.1 Planning and Design	5.106.4 Bicycle parking. Comply with Sections 5.106.4.1 and 5.106.4.2; or meet local ordinance, whichever is stricter. 5.106.4.1 Short-term bicycle parking. If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces. 5.106.4.2 Long-term bicycle parking. For new buildings with 10 or more tenant-occupants or for additions or alterations that add 10 or more tenant vehicular parking space, provide secure bicycle parking for 5% of the tenant vehicular parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.	SHORT TERM: PROVIDED ONE 3-SPACE BIKE RACK. LONG TERM: N/A Sheet: SP1	Initials: _____ Date: _____

CALGreen Category	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
5.1 Planning and Design	5.106.8 Light pollution reduction. Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code; and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IESNA TM-15-11; and 3. Allowable BUG ratings not exceeding those shown in Table 5.106.8, OR comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent. Exceptions: 1. Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code 2. Emergency lighting	REFER TO PHOTOMETRIC PLAN Sheet:	Initials: _____ Date: _____
5.1 Planning and Design	5.106.10 Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include those shown in Items 1-5. See exception for additions or alterations.	Sheet: C1	Initials: _____ Date: _____
5.2 Energy Efficiency	5.201.1 Scope Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.303.1 Meters. Separate meters shall be installed for the uses described in Sections 5.303.1.1 through 5.303.1.2. 5.303.1.1 Buildings or additions in excess of 50,000 square feet. Separate submeters shall be installed as follows: 1. For each individual leased, rented, or other tenant space within the building projected to consume more than 100 gal/day, including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems: a. Makeup water for cooling towers where flow through is greater than 500 gpm. b. Makeup water for evaporative coolers greater than 6 gpm. c. Steam and hot-water boilers with energy input more than 500,000 Btu/h. 5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or an addition that is projected to consume more than 1,000 gal/day.	Sheet:	Initials: _____ Date: _____

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CALGreen Category	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
5.3 Water Efficiency and Conservation	5.304.2 Outdoor water use in landscape areas equal to or greater than 500 square feet. When water is used for outdoor irrigation for new construction projects with an aggregate landscape area equal to or greater than 500 square feet requiring a building or landscape permit, plan check or design review, one of the following shall apply: 1. A local water efficient landscape ordinance that is, based on evidence in the record, at least as effective in conserving water as the updated model ordinance adopted by the Department of Water Resources (DWR) per Government Code Section 65595 (c). 2. The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California code of Regulations.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.304.3 Outdoor water use in rehabilitated landscape projects equal to or greater than 2,500 square feet. Rehabilitated landscape projects within an aggregate landscape area equal to or greater than 2,500 square feet requiring a building or landscape permit, plan check, or design review shall comply with Section 5.304.2, Item 1 or 2.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.304.4 Outdoor water use in landscape areas of 2,500 square feet or less. Any project with an aggregate landscape area of 2,500 square feet or less may comply with the performance requirements of MWELO or conform to the prescriptive compliance measures contained in MWELO's Appendix D.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.304.5 Graywater or rainwater use in landscape areas. For projects using treated or untreated graywater or rainwater captured on site, any lot or parcel within the project that has less than 2,500 square feet of landscape and meets the lot or parcel's landscape water requirement (Estimated Total Water Use) entirely with treated or untreated graywater or through stored rainwater captured on site is subject only to Appendix D Section (5).	Sheet:	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	5.407.1 Weather protection. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 and California Energy Code Section 150, manufacturer's installation instructions, or local ordinance, whichever is more stringent.	Sheet:	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	5.407.2 Moisture control. Employ moisture control measures by the following methods: 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent irrigation spray on structures. 5.407.2.2 Entries and openings. Design exterior entries and openings to prevent water intrusion into buildings as follows: 5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following: 1. An installed awning at least 4 feet in depth. 2. The door is protected by a roof overhang at least 4 feet in depth. 3. The door is recessed at least 4 feet. 4. Other methods which provide equivalent protection. 5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane.	Sheet:	Initials: _____ Date: _____

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CALGreen Category	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
5.1 Planning and Design	5.106.5.2 Designated parking. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as shown in Table 5.106.5.2. TABLE 5.106.5.2 TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED SPACES 0-9 0 10-25 1 26-50 3 51-75 6 76-100 8 101-150 11 151-200 16 201 and over At least 8 percent of total 5.106.5.2.1 Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR/ VANPOOL/EV TOTAL PARKING SPACES PROVIDED = 5	N/A Sheet: CVR & SP1	Initials: _____ Date: _____
5.1 Planning and Design	5.106.5.3 Electric vehicle (EV) charging. New Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). 5.106.5.3.1 Single charging space requirements. When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. 5.106.5.3.2 Multiple charging spaces requirements. When multiple charging spaces are required per Table 5.106.5.3.3 (raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. 5.106.5.3.3 EV charging space calculation. [N] per Table 5.106.5.3.3 below: TABLE 5.106.5.3.3 TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED EV CHARGING SPACES 0-50 0 51-75 1 76-100 2 101-200 3 201 and over 3% ¹ 1. Calculation for spaces shall be rounded up to the nearest whole number. 5.106.5.3.4 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the reserved or recurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE." 5.106.5.3.5 [N] EV spaces count as designated parking.	N/A Sheet: CVR & SP1	Initials: _____ Date: _____

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CALGreen Category	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
5.3 Water Efficiency and Conservation	5.303.3 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 5.303.3.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 5.303.3.2 Urinals. 5.303.3.2.1 Wall-mounted urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted urinals. The effective flush volume of floor-mounted urinals shall not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads. 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 5.303.4 Commercial kitchen equipment. 5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes or inactivity. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alterations to the building.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1401.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet:	Initials: _____ Date: _____
5.3 Water Efficiency and Conservation	5.304.1 Outdoor Water Use Scope. The provisions of Section 5.304 Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained with Chapter 2.7, Division 2, Title 23, California Code of Regulations.	Sheet:	Initials: _____ Date: _____

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CALGreen Category	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
5.4 Material Conservation and Resource Efficiency	5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent. 5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that complies with Items 1 through 4 of this section. 5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction waste material diverted from the landfill complies with this section. Exceptions to Sections 5.408.1.1 and 5.408.1.2: 1. Excavated soil and land-clearing debris 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets. 5.408.1.4 Documentation. Provide documentation of the waste management plan that meets the requirements listed in Sections 5.408.1.1 through 5.408.1.3, and the plan is accessible to the enforcement authority. 5.408.2 Universal Waste. Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents. 5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. Exception: Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.	Sheet:	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	5.410.1 Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials including organic waste for recycling. 5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.	Sheet:	Initials: _____ Date: _____

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NOTE:
CHECKLIST ADDED FOR REFERENCE ONLY.
COMPLETED CHECKLIST TO BE INCLUDED WITH BUILDING PERMIT SUBMITTAL.

This drawing is for the sole purpose of preparing of construction drawings for Chevron branded facilities and, all such copies shall be returned to Chevron upon request. Both the drawing and structural calculations, if included, are generic and not designed for site specific applications. Chevron does not warrant or guarantee the accuracy or applicability of either to the requirements of your local area. Consult a registered architect or professional engineer to determine any site specific design, accessibility, building code, or municipal requirements. Chevron does not provide these services.

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MARK	DATE	REVISIONS	INITIAL
-	03/29/19	REVISED PER PLANNING	CSB
-	01/11/19	REVISED PER PLANNING	CSB



	1265 LAWRENCE STATION RD. SUNNYVALE, CA 94089		GREEN BUILDING CHECKLIST PROJECT PHASE DATE INITIALS SS# SHEET ISSUED FOR PRE-PLANNING 06/13/18 CB 9-0562 ISSUED FOR PLANNING 07/16/18 CB JOB# CHV17038.0 ISSUED FOR PERMIT ISSUED FOR BID ISSUED FOR CONSTRUCTION Do not use drawing for construction unless initiated	
	2455 Bennett Valley Rd. Suite A-102 Santa Rosa, CA 95404 Ph. (707) 703-5618 Ray W. Pedro, Architect			SCALE: AS NOTED
	GBI			GBI
	GBI			GBI

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

A PORTION OF RANCHO PASTORIA, AND BEING A PORTION OF THAT PARCEL OF LAND DESCRIBED IN DEED NO. 33185 (33192) TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 18, 1964, BOOK 6744 OFFICIAL RECORDS, PAGE 538, SANTA CLARA COUNTY RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING ON THE EASTERLY LINE OF THAT PARCEL OF LAND DEEDED TO COUNTY OF SANTA CLARA, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA, RECORDED JULY 12, 1966, BOOK 7439 OFFICIAL RECORDS, PAGE 611, SANTA CLARA COUNTY RECORDS, DISTANT THEREON SOUTH 00° 43' 36" WEST, 53.35 FEET FROM THE NORTHERLY TERMINUS THEREOF; THENCE ALONG THE GENERAL EASTERLY LINE OF SAID PARCEL (7439 OR 611) THE FOLLOWING FIVE COURSES:

- (1) FROM A TANGENT THAT BEARS NORTH 00° 43' 36" EAST, ALONG A CURVE TO THE LEFT WITH A RADIUS OF 20 FEET, THROUGH AN ANGLE OF 100° 15' 26", AN ARC LENGTH OF 35 FEET; THENCE
- (2) ALONG A COMPOUND CURVE TO THE LEFT WITH A RADIUS OF 370 FEET, THROUGH AN ANGLE OF 12° 45' 52", AN ARC LENGTH OF 82.43 FEET; THENCE
- (3) ALONG A COMPOUND CURVE TO THE LEFT WITH A RADIUS OF 50 FEET, THROUGH AN ANGLE OF 93° 03' 44", AN ARC LENGTH OF 81.21 FEET; THENCE
- (4) ALONG A REVERSE CURVE TO THE RIGHT WITH A RADIUS OF 2367 FEET, THROUGH AN ANGLE OF 6° 17' 37", AN ARC LENGTH OF 260 FEET; THENCE
- (5) NORTH 27° 25' 19" EAST, 58.87 FEET TO THE GENERAL EASTERLY LINE OF SAID PARCEL (6744 OR 538); THENCE ALONG LAST SAID LINE NORTH 00° 43' 36" EAST, 258.61 FEET TO THE POINT OF COMMENCEMENT.

EXCEPTIONS TO COVERAGE

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2018-2019, A LIEN NOT YET DUE OR PAYABLE.

BLANKET IN NATURE

2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

BLANKET IN NATURE

3. ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ELKO DRIVE HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED JULY 12, 1966 IN BOOK 7439, PAGE 611 OF OFFICIAL RECORDS.

MAPPED HEREON

4. RIGHTS OF PARTIES IN POSSESSION.

BLANKET IN NATURE

PARKING COUNT:

- 2 (R) REGULAR SPACES
- 1 DISABILITY PARKING SPACE
- 3 TOTAL SPACES

ZONING

THE FOLLOWING ZONING INFORMATION WAS TAKEN FROM THE CITY OF SUNNYVALE ZONING MAP

MS - INDUSTRIAL AND SERVICE
SETBACKS FOR BUILDING AND CANOPY

FRONT 25'
STREET SIDE 25'
INTERIOR SIDE 0'
REAR 0'

FLOOD ZONE

ZONE: AE
DEFINITION: BASE FLOOD ELEVATIONS DETERMINED
BASE FLOOD ELEVATION: 11 FEET
MAP NUMBER: 06085C0063H
COMMUNITY: CITY OF SUNNYVALE
NUMBER: 060352
PANEL: 0063
SUFFIX: H
EFFECTIVE DATE: MAY 18, 2009
REVISION DATE: NONE

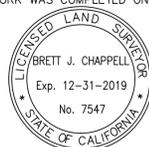
SURVEYOR'S CERTIFICATE

TO: CHEVRON U.S.A. INC., A CALIFORNIA CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11, 13, 14, 16, 17, 19 THE FIELDWORK WAS COMPLETED ON JUNE 27, 2018.

DATE OF PLAT OR MAP: 7/2/2018

Brett J. Chappell
BRETT J. CHAPPELL
PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER: 7547



REFERENCED TITLE REPORT

TITLE COMPANY: FIRST AMERICAN TITLE INSURANCE COMPANY
18500 VON KARMAN AVE, SUITE 600
IRVINE, CA 92612

ORDER NO: NCS-905914-05-SA1
TITLE REPORT DATE: MAY 11, 2018 AT 7:30 A.M.
TITLE VESTED IN: CHEVRON U.S.A. INC., A CALIFORNIA CORPORATION

ASSESSOR'S PARCEL NO.: 110-15-030

BENCH MARK

CITY OF SUNNYVALE BENCH MARK
BM NUMBER: 268 SCVWD
ELEVATION: 10.93 FEET
DATUM: NAVD 88

DESCRIPTION: BRASS DISC STAMPED "RESET 1990" IN BASE OF ELECTROUER 31D19 ON NORTH SIDE OF TASMAN DRIVE APPROXIMATELY 200 FEET EAST OF LAWRENCE EXPRESSWAY.

BASIS OF BEARINGS

CALIFORNIA COORDINATE SYSTEM ZONE III AS SHOWN ON CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) RIGHT-OF-WAY RECORD MAP SC1-237 PM 4.8 R-132A.17

UTILITY NOTE:

1. THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN TO THE EXTENT POSSIBLE AND ARE BASED ON OBSERVED SURFACE EVIDENCE.
2. CONTRACTORS AND OTHER PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITHIN CONSTRUCTION AREA.
3. SPRINKLER HEADS AND IRRIGATION LATERAL LINES ARE NOT SHOWN HEREON.
4. ADDITIONAL UNDETECTED UTILITIES MAY EXIST WITHIN THE LIMIT OF THIS SURVEY.
5. CALL UNDERGROUND SERVICE ALERT (USA) 48 HOURS PRIOR TO ANY UNDERGROUND WORK.

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TREE NOTE:

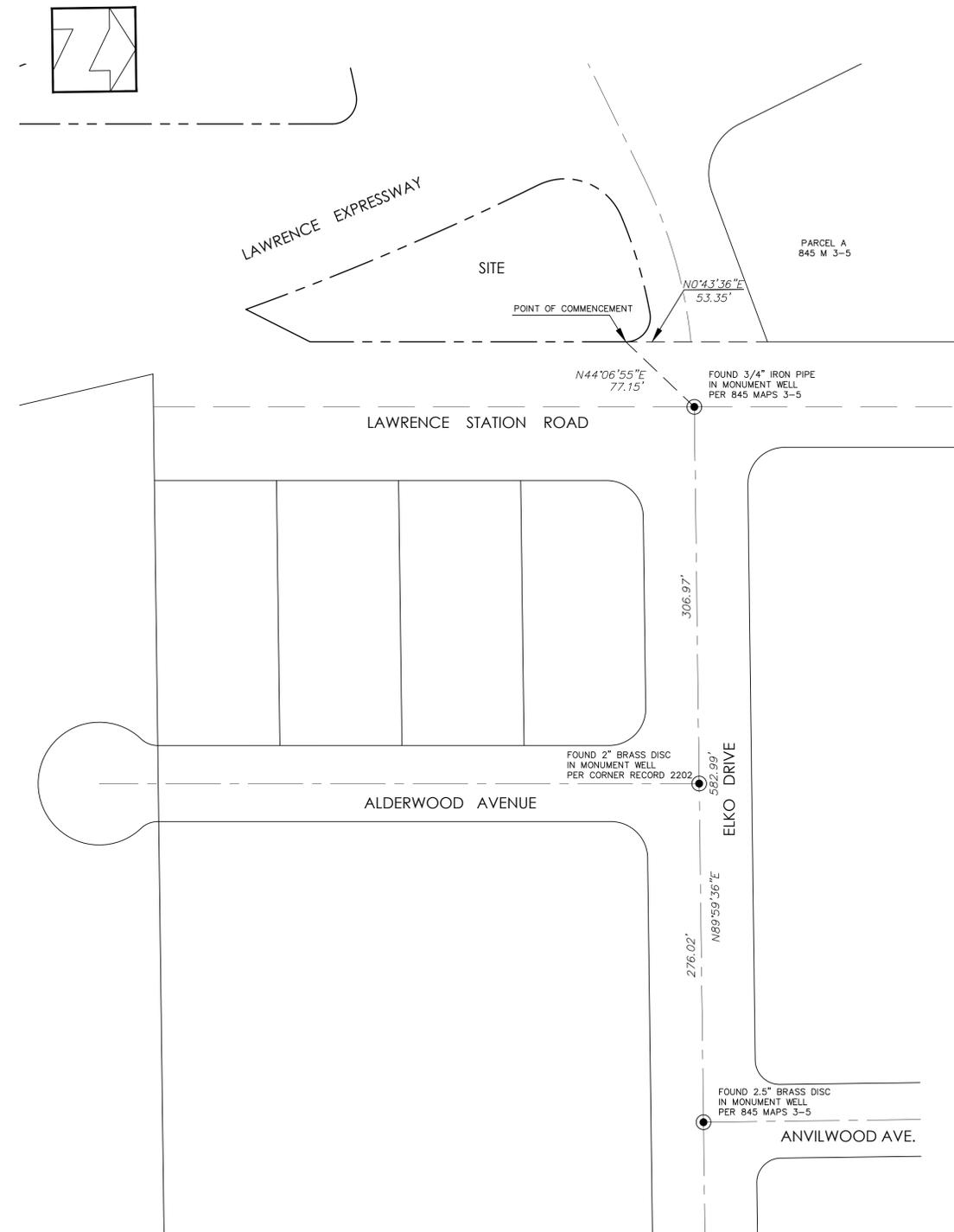
TREE TYPES AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

MEASUREMENT NOTES

1. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
2. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR PER SITE IMPROVEMENT PLANS.
3. DIMENSIONAL TIES TO IMPROVEMENTS ARE 90° TO THE PROPERTY LINES UNLESS NOTED OTHERWISE.
4. "IN" OR "OUT" AS SHOWN ON THIS SURVEY INDICATE THE DISTANCE INSIDE OR OUTSIDE OF THE SUBJECT PROPERTY AND EASEMENT LINE.

SURVEY NOTES

1. NO EARTHWORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED DURING THIS SURVEY.
2. NO PROPOSED CHANGES IN STREET RIGHT OF WAY OR EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED DURING THIS SURVEY.
3. NO WETLANDS WERE OBSERVED DURING THIS SURVEY.



1	Of	1	Date	6/26/18	No.	Revisions
1	Of	1	Date	6/26/18	No.	Revisions
			Scale	1"=10'		
			Design	BJC		
			Drawn	BJC		
			Approved	BJC		
			Job No	2018038		

ALTA / NSPS LAND TITLE SURVEY
1265 LAWRENCE STATION ROAD
SUNNYVALE, CA

CHAPPELL SURVEYING SERVICES
680 ESTHER WAY OAKDALE, CA, 95361
PHONE: (209) 845 9694 FAX: (209) 845 9654
survey@garlic.com
LAND SURVEYING • GEOGRAPHIC INFORMATION SYSTEMS



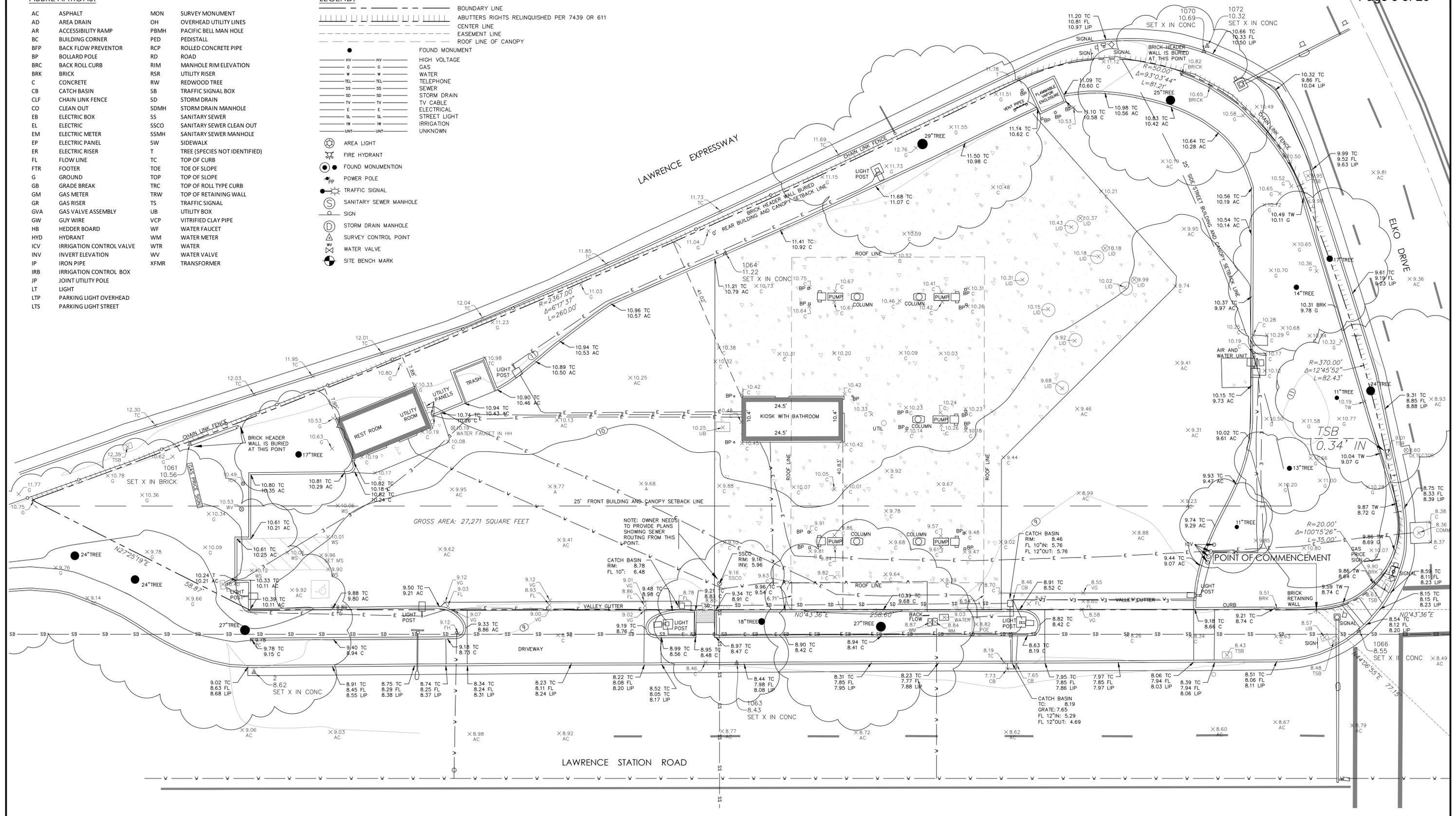
ABBREVIATIONS:

- AC ASPHALT
- AD AREA DRAIN
- AR ACCESSIBILITY RAMP
- BC BUILDING CORNER
- BFP BACK FLOW PREVENTOR
- BP BOLLARD POLE
- BRC BACK ROLL CURB
- BRK BRICK
- C CONCRETE
- CB CATCH BASIN
- CLF CHAIN LINK FENCE
- CLEAN OUT
- EB ELECTRIC BOX
- EL ELECTRIC
- EM ELECTRIC METER
- EP ELECTRIC PANEL
- ER ELECTRIC RISER
- FL FLOW LINE
- FTR FOOTER
- G GROUND
- GB GRADE BREAK
- GM GAS METER
- GR GAS RISER
- GVA GAS VALVE ASSEMBLY
- GW GUY WIRE
- HB HEDDER BOARD
- HYD HYDRANT
- ICV IRRIGATION CONTROL VALVE
- INV INVERT ELEVATION
- IP IRON PIPE
- IRB IRRIGATION CONTROL BOX
- JP JOINT UTILITY POLE
- LT LIGHT
- LTP PARKING LIGHT OVERHEAD
- LTS PARKING LIGHT STREET

LEGEND:

- MON SURVEY MONUMENT
- OH OVERHEAD UTILITY LINES
- PBMH PACIFIC BELL MAN HOLE
- PED PEDISTALL
- RCP ROLLED CONCRETE PIPE
- RD ROAD
- RIM MANHOLE RIM ELEVATION
- RSR UTILITY RISER
- RW REDWOOD TREE
- SB TRAFFIC SIGNAL BOX
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- SW SIDEWALK
- T TREE (SPECIES NOT IDENTIFIED)
- TOE TOE OF CURB
- TOE TOE OF SLOPE
- TOP TOP OF SLOPE
- TRC TOP OF ROLL TYPE CURB
- TRW TOP OF RETAINING WALL
- TS TRAFFIC SIGNAL
- TS SANITARY SEWER MANHOLE
- UB UTILITY BOX
- VCP VITRIFIED CLAY PIPE
- WF WATER FAUCET
- WM WATER METER
- WTR WATER
- WV WATER VALVE
- XFMR TRANSFORMER

- BOUNDARY LINE
- ABUTTERS RIGHTS RELINQUISHED PER 7439 OR 611
- CENTER LINE
- EASEMENT LINE
- ROOF LINE OF CANOPY
- FOUND MONUMENT
- HV HIGH VOLTAGE
- G GAS
- W WATER
- TEL TELEPHONE
- SS SEWER
- SD STORM DRAIN
- TV TV CABLE
- E ELECTRICAL
- SL STREET LIGHT
- IW IRRIGATION
- UNF UNKNOWN
- AREA LIGHT
- FIRE HYDRANT
- FOUND MONUMENTION
- POWER POLE
- TRAFFIC SIGNAL
- SANITARY SEWER MANHOLE
- SIGN
- STORM DRAIN MANHOLE
- SURVEY CONTROL POINT
- WATER VALVE
- SITE BENCH MARK

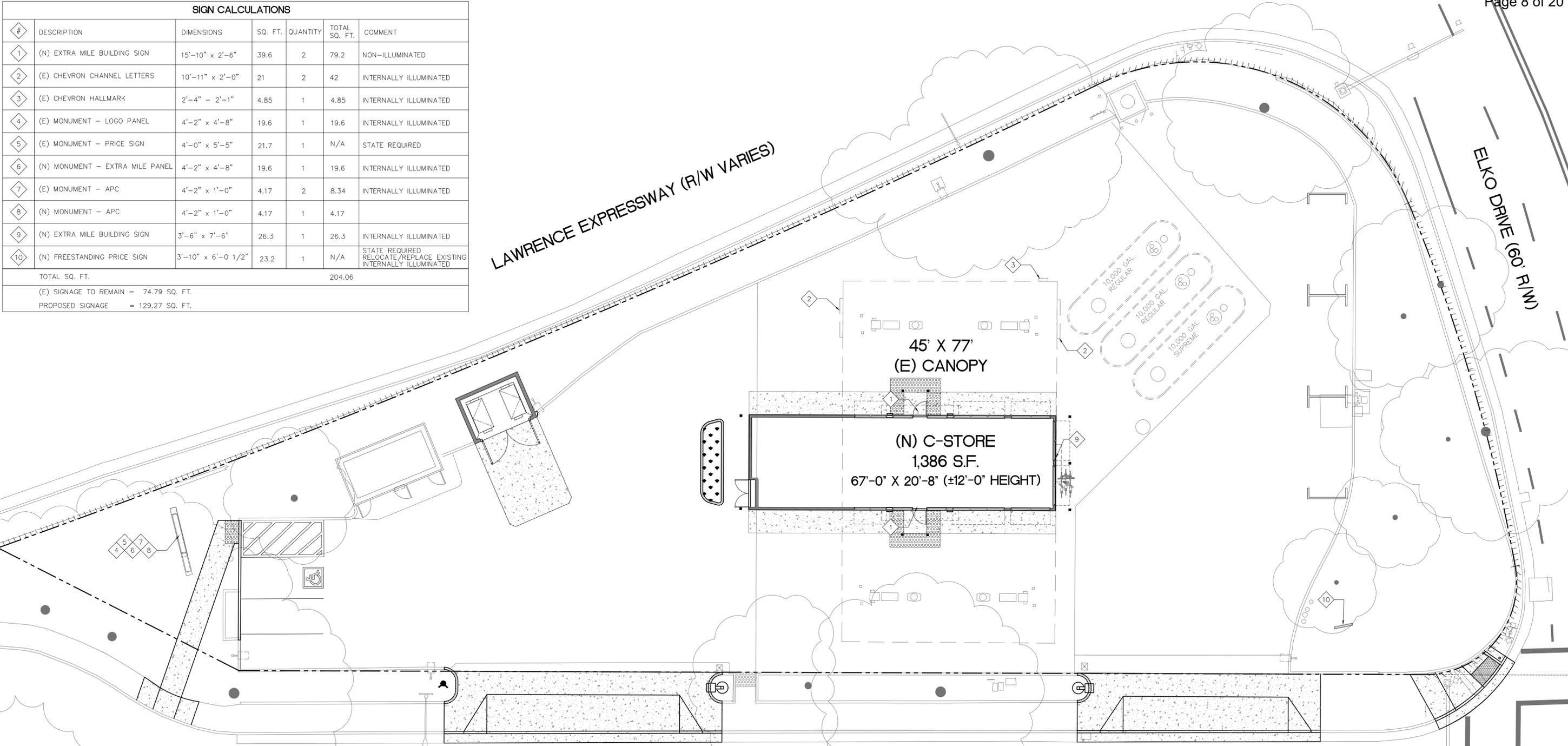


Date	6/26/18	No.	Revisions
Scale	1"=10'		
Design	BJC		
Drawn	BJC		
Approved	BJC		
Job No	2018038P		

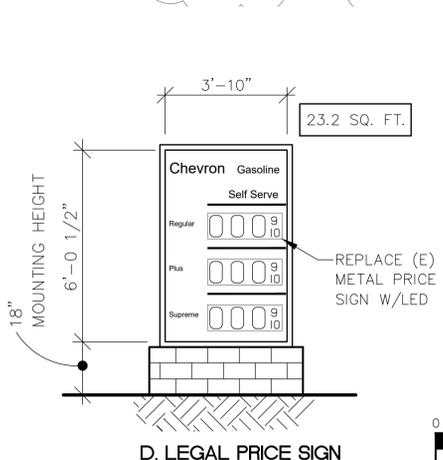
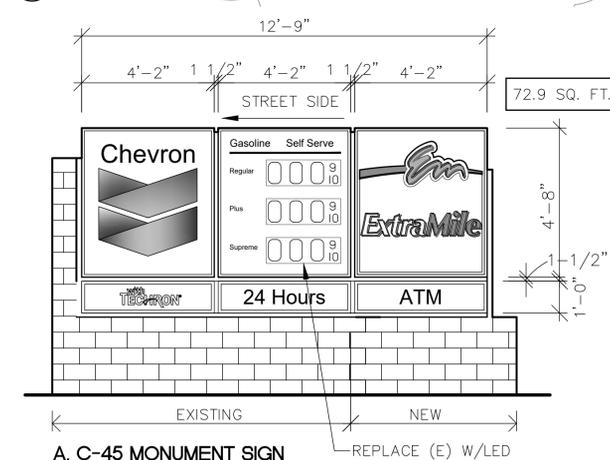
ALTA / NSPS LAND TITLE SURVEY
1265 LAWRENCE STATION ROAD
SUNNYVALE, CA

CHAPPELL SURVEYING SERVICES
680 ESTHER WAY OAKDALE, CA, 95361
PHONE: (209) 845 9694 FAX: (209) 845 9654
survey@garlic.com
LAND SURVEYING • GEOGRAPHIC INFORMATION SYSTEMS

SIGN CALCULATIONS						
#	DESCRIPTION	DIMENSIONS	SQ. FT.	QUANTITY	TOTAL SQ. FT.	COMMENT
1	(N) EXTRA MILE BUILDING SIGN	15'-10" x 2'-6"	39.6	2	79.2	NON-ILLUMINATED
2	(E) CHEVRON CHANNEL LETTERS	10'-11" x 2'-0"	21	2	42	INTERNALLY ILLUMINATED
3	(E) CHEVRON HALLMARK	2'-4" x 2'-1"	4.85	1	4.85	INTERNALLY ILLUMINATED
4	(E) MONUMENT - LOGO PANEL	4'-2" x 4'-8"	19.6	1	19.6	INTERNALLY ILLUMINATED
5	(E) MONUMENT - PRICE SIGN	4'-0" x 5'-5"	21.7	1	N/A	STATE REQUIRED
6	(N) MONUMENT - EXTRA MILE PANEL	4'-2" x 4'-8"	19.6	1	19.6	INTERNALLY ILLUMINATED
7	(E) MONUMENT - APC	4'-2" x 1'-0"	4.17	2	8.34	INTERNALLY ILLUMINATED
8	(N) MONUMENT - APC	4'-2" x 1'-0"	4.17	1	4.17	
9	(N) EXTRA MILE BUILDING SIGN	3'-6" x 7'-6"	26.3	1	26.3	INTERNALLY ILLUMINATED
10	(N) FREESTANDING PRICE SIGN	3'-10" x 6'-0 1/2"	23.2	1	N/A	STATE REQUIRED RELOCATE/REPLACE EXISTING INTERNALLY ILLUMINATED
TOTAL SQ. FT.					204.06	
(E) SIGNAGE TO REMAIN =					74.79 SQ. FT.	
PROPOSED SIGNAGE =					129.27 SQ. FT.	



2 SITE PLAN - SIGNAGE
SCALE: 1" = 10'-0"



1 SIGN ELEVATIONS - EXTRA MILE

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-	01/11/19	REVISED PER PLANNING	CSB

Chevron

1265 LAWRENCE STATION RD.
SUNNYVALE, CA 94089

SIGN PLAN

PM DESIGN
Architectural Solutions Group

2455 Bennett Valley Rd. Suite A-102
Santa Rosa, CA 95404
Ph. (707) 703-5618
Roy W. Pedro, Architect

PROJECT PHASE DATE INITIALS SS# 9-0562

ISSUED FOR PRE-PLANNING 06/13/18 CB JOB# CHV17038.0

ISSUED FOR PLANNING 07/16/18 CB SCALE: AS NOTED

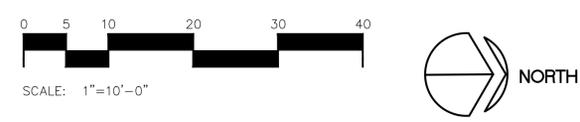
ISSUED FOR PERMIT

ISSUED FOR BID

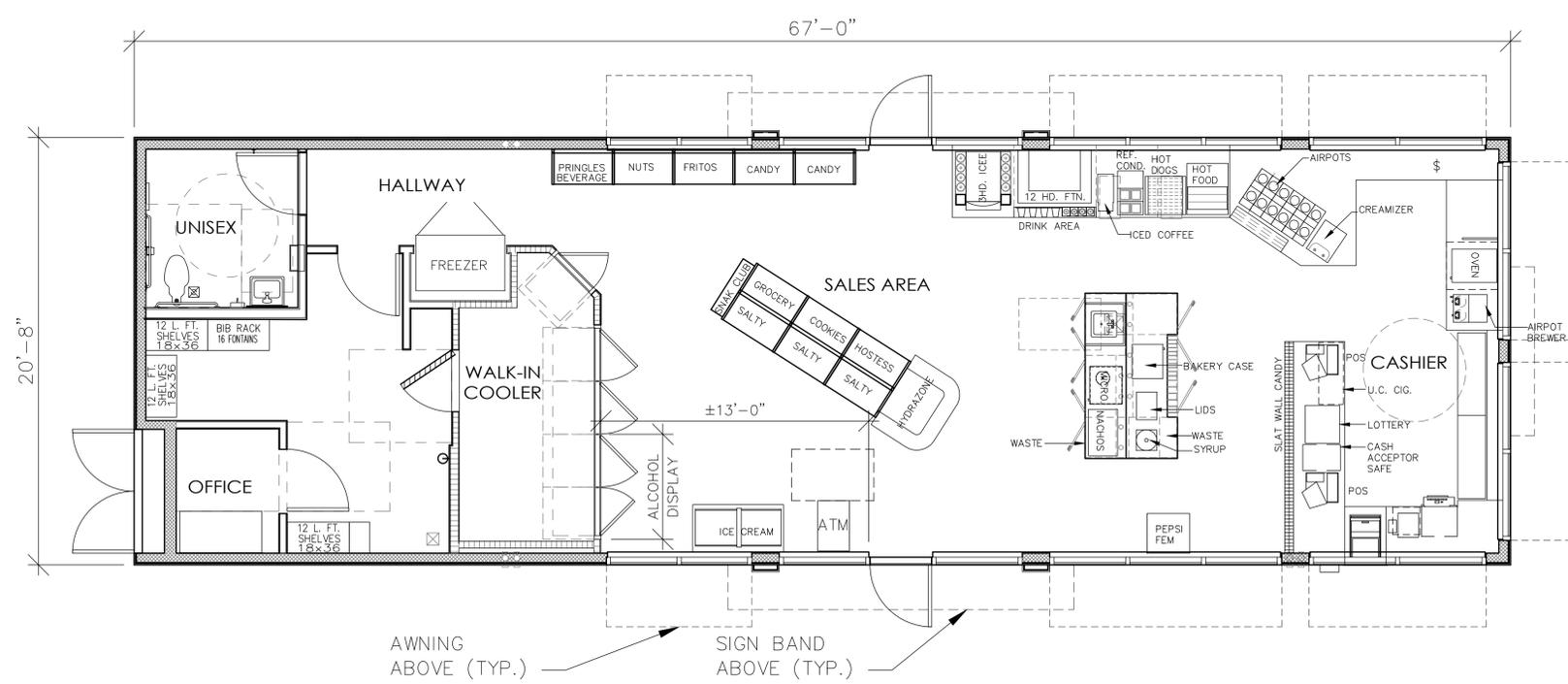
ISSUED FOR CONSTRUCTION

Do not use drawing for construction unless initiated

SP2



NOTE:
SIGNAGE TO BE REVIEWED
UNDER SEPARATE PERMIT,
SHOWN FOR REFERENCE
ONLY.



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



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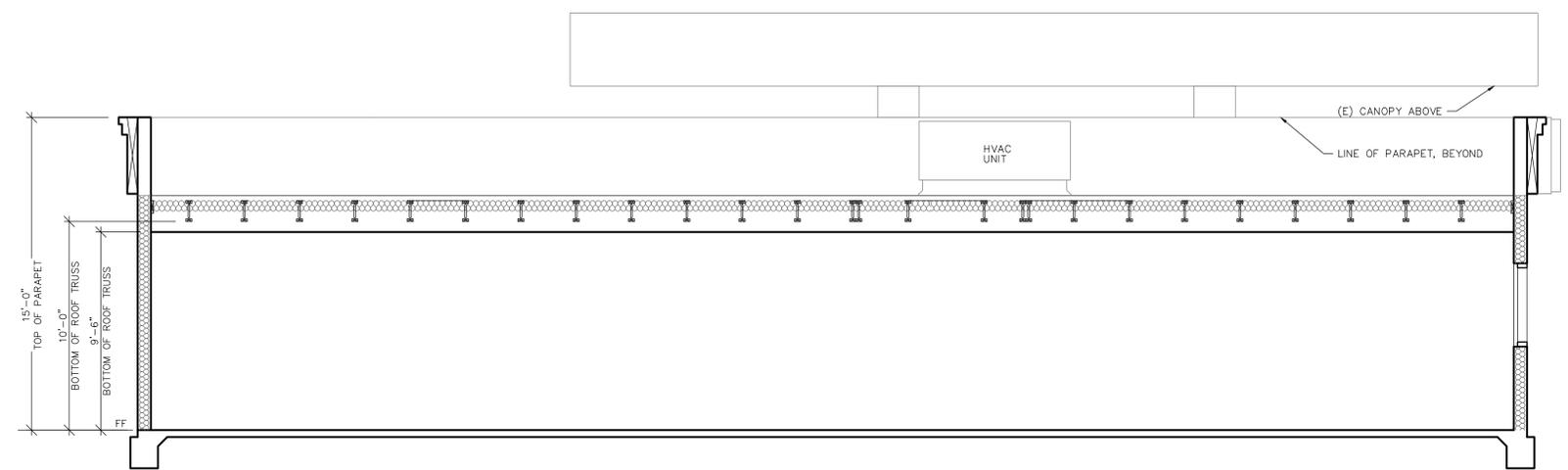
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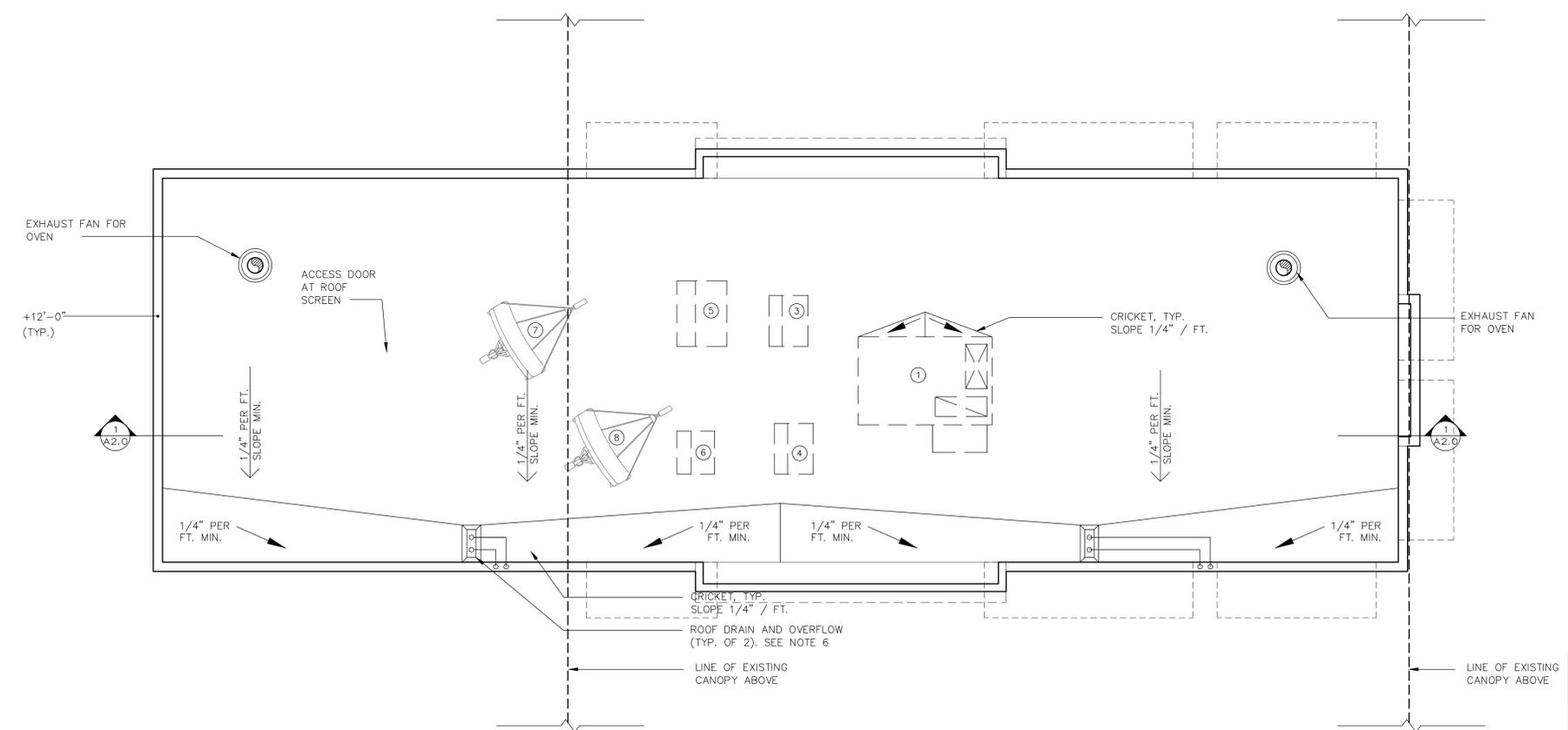


	1265 LAWRENCE STATION RD. SUNNYVALE, CA 94089	PROPOSED FLOOR PLAN
	PROJECT PHASE ISSUED FOR PRE-PLANNING ISSUED FOR PERMIT ISSUED FOR BID ISSUED FOR CONSTRUCTION Do not use drawing for construction unless initiated	DATE 06/13/18 07/16/18 _____ _____
2455 Bennett Valley Rd. Suite A-102 Santa Rosa, CA 95404 Ph. (707) 703-5618 Roy W. Pedro, Architect	SS# 9-0562 JOB# CHV17038.0 SCALE: AS NOTED	SHEET A1.0

\PROFESSIONAL\CDAL\PMDC-SHARED\SR\01-PROJECTS\SANTA ROSA\CHEVRON\CORPORATE\EXTRA MILE\CHV17038.0-SUNNYVALE\01-DRAWINGS\CURRENT\01-ARCHITECTURAL\02-PLANNING\02-CHV17038.0_A1.DWG 6/4/2019 4:59 PM MELISSA SPIDNER



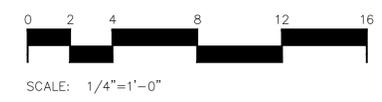
1 PROPOSED BUILDING SECTION (PRELIMINARY)
SCALE: 1/4" = 1'-0"



- NOTES:**
- FLASH ROOFING MEMBRANE PENETRATIONS USING PREFABRICATED BOOTS, FITTED COVERINGS, AND OTHER ACCESSORIES AS REQUIRED BY ROOFING SYSTEM MANUFACTURER, USE COMPATIBLE SEALANTS WITH MANUFACTURER'S MATERIALS.
 - VERIFY MECHANICAL UNIT WEIGHTS WITH SITE SPECIFIC MECHANICAL UNIT SPECS.
 - COOLER CONDENSER MUST BE MOUNTED ON 4" MIN. HT. CURBS. CURBS CAN BE 4X4 PTFD. TO FLANGE OF MECHANICAL EQUIP. CURB MUST FACE IN A DIRECTION SO AS NOT TO IMPEDE ROOF FLOW.
 - ROOFING SYSTEM: SEE 2/A02 FOR ROOFING SYSTEM.
 - PROVIDE ROOF JACK AT ALL EQUIPMENT LOCATIONS, CAP & SEAL IF NOT USED.
 - AFFIX ENGRAVED METAL TAG TO DAY-LIGHTED PIPE IDENTIFYING OVERFLOW VS. ROOF DRAIN.
 - EQUIPMENT SCREEN MAY BE LEFT OPEN ON BACK SIDE IF ABUTTING ANOTHER STRUCTURE OR VISIBILITY DOES NOT WARRANT FULL ENCLOSURE.
 - PLACEMENT OF ALL CONDENSERS SHALL ALLOW A MINIMUM OF 18" CLEARANCE BEHIND THE UNITS FOR AIR IN-TAKE.
 - SPACING OF CONDENSER UNITS SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS (3" BETWEEN UNITS WHEN POSSIBLE) FOR EXHAUST AND ELECTRICAL CONNECTIONS.
 - CONDENSERS SHALL BE PLACED TO MINIMIZE EXHAUST BLOWN TOWARDS HVAC ECONOMIZERS.

- ROOF PLAN KEYNOTES**
- MECHANICAL UNIT 1,150 lbs.
 - MECHANICAL UNIT 750 lbs.
 - ICE MAKER CONDENSER 85 lbs.
 - SALES AREA DELI CONDENSER, 34 5/8" x 28 3/4" x 26 1/2" H., 350 lbs.
 - WALK-IN COOLER CONDENSER, 33" x 42 1/4" x 32 1/4" H., 390 lbs.
 - SALES FREEZER CONDENSER, 25 1/2" x 33" x 19 1/4" H., 265 lbs.
 - CHEVRON VSAT
 - LOTTO VSAT, SEE NOTE #5

2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



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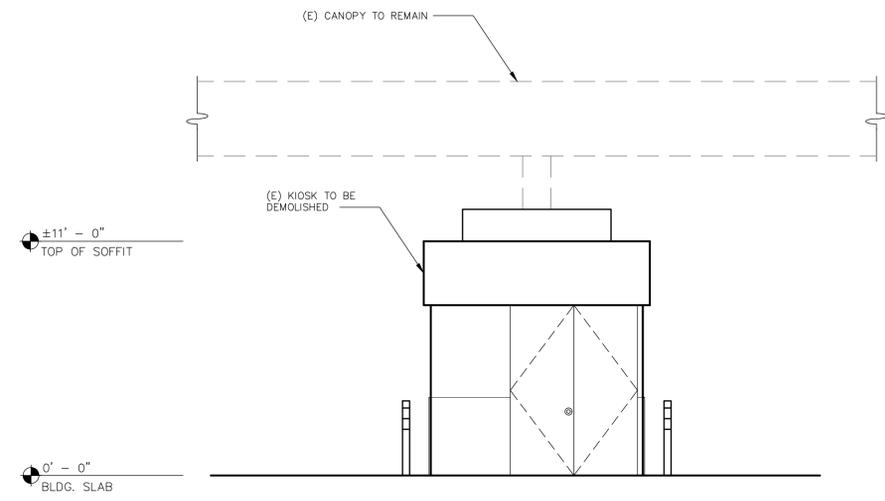
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-	01/11/19	REVISED PER PLANNING	CSB



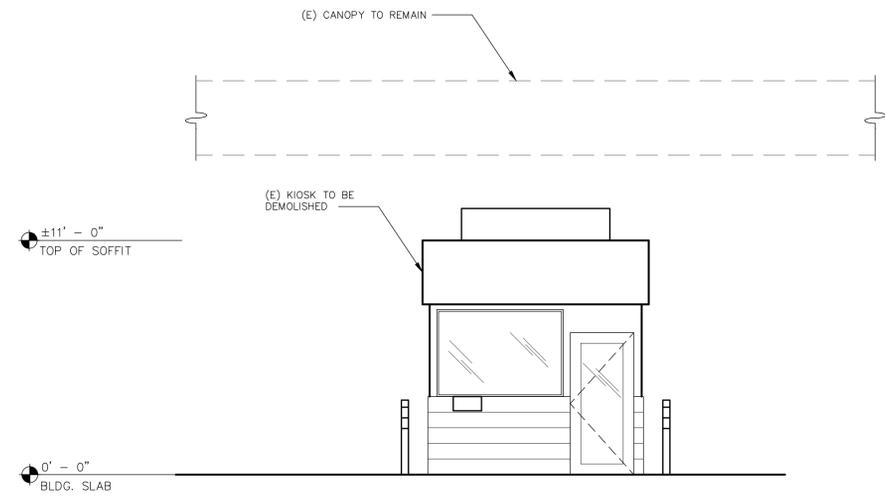
PM DESIGN Architectural Solutions Group 2455 Bennett Valley Rd. Suite A-102 Santa Rosa, CA, 95404 Ph. (707) 703-5618 Roy W. Pedro, Architect	1265 LAWRENCE STATION RD. SUNNYVALE, CA 94089	PROPOSED ROOF PLAN
	PROJECT PHASE DATE INITIALS SS# 9-0562 SHEET	ISSUED FOR PRE-PLANNING 06/13/18 CB JOB# CHV17038.0
ISSUED FOR BID	ISSUED FOR CONSTRUCTION	Do not use drawing for construction unless initiated

A2.0

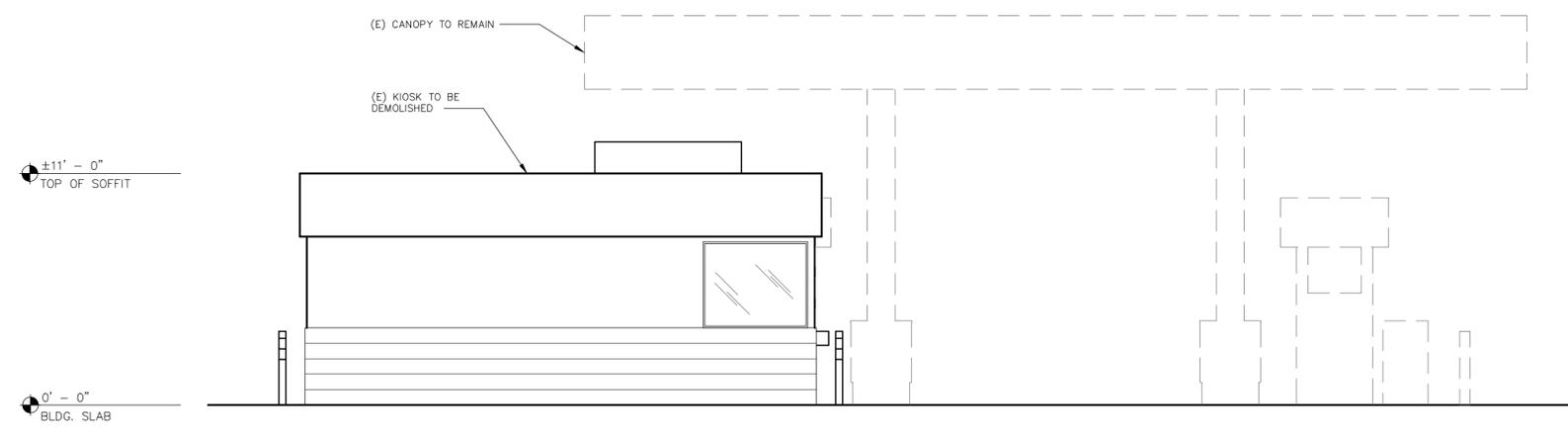
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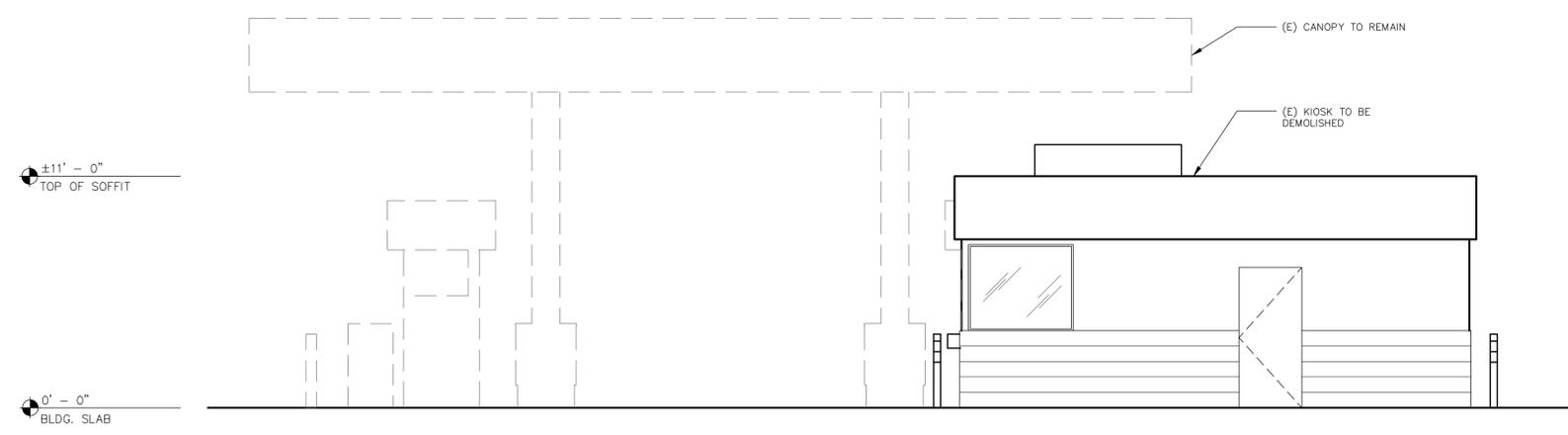
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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Architectural Solutions Group

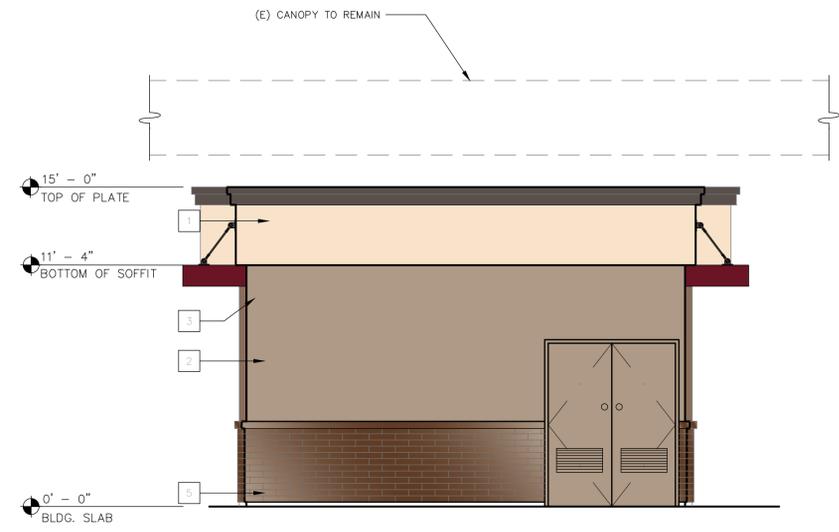
2455 Bennett Valley Rd, Suite A-102
Santa Rosa, CA, 95404
Ph. (707) 703-5618
Ray W. Pedro, Architect

1265 LAWRENCE STATION RD.
SUNNYVALE, CA 94089

EXISTING BUILDING ELEVATIONS

PROJECT PHASE	DATE	INITIALS	SS#	SHEET
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ISSUED FOR PLANNING	07/16/18	CB	JOB# CHV17038.0	
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ISSUED FOR BID			SCALE: AS NOTED	
ISSUED FOR CONSTRUCTION				
Do not use drawing for construction unless initiated				

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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

COLOR LEGEND

- 1 CAFE AU LAIT (URETHANE SEMI GLOSS) A4W-D80069
- 2 NUTMEG (URETHANE SEMI GLOSS) A4W-D80070
- 3 CHILLED WINE (URETHANE SEMI GLOSS) A4N-D10101
- 4 MOCHA (URETHANE SEMI GLOSS) A4N-D80071
- 4 BRICK VENEER (CAPISTRANO ADOBE, BAUTISTA) ELDORADO STONE



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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Ph. (707) 703-5618
Roy W. Pedro, Architect

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SUNNYVALE, CA 94089

PROPOSED BUILDING ELEVATIONS

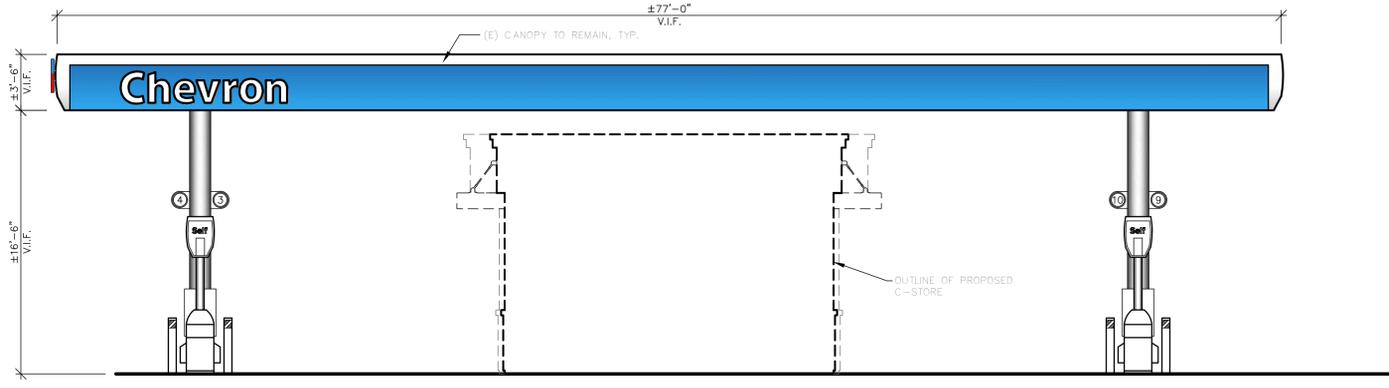
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ISSUED FOR PLANNING	07/16/18	CB	JOB# CHV17038.0	
ISSUED FOR PERMIT				
ISSUED FOR BID				

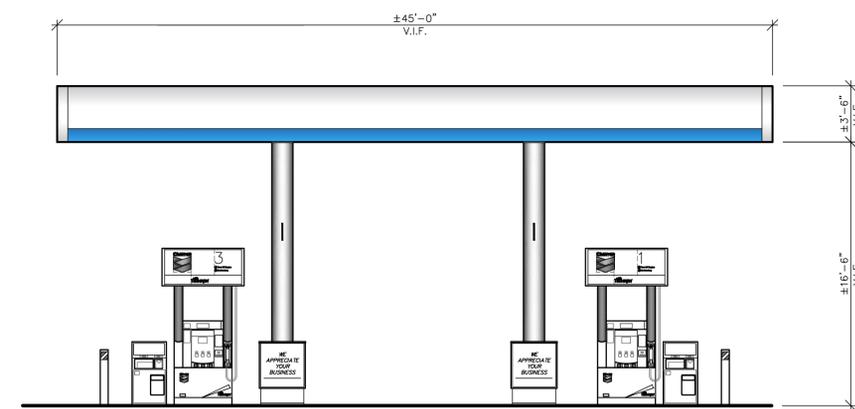
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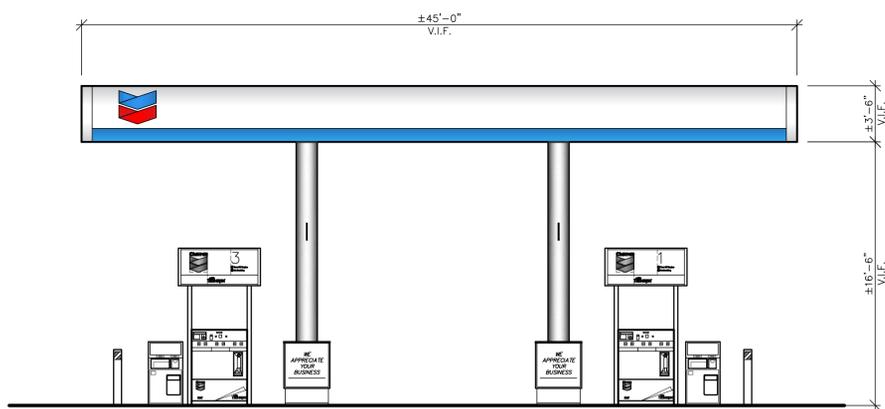
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EXISTING CANOPY SIGNAGE TO REMAIN. ELEVATIONS
SHOWN FOR REFERENCE ONLY. MODIFICATIONS TO
CANOPY ASSOCIATED WITH C-STORE WORK.



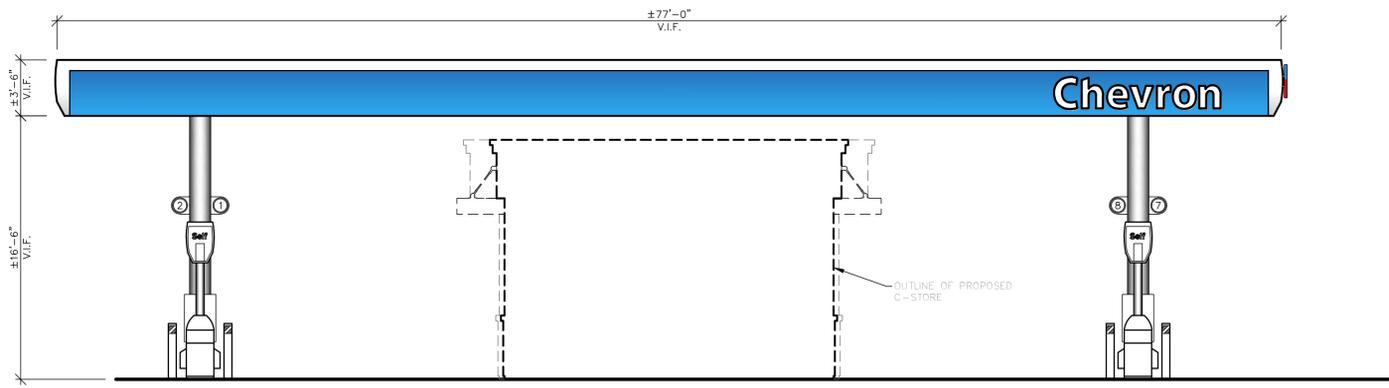
1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



A. VIEW NORTHERLY FROM LAWRENCE EXPRESSWAY



B. VIEW SOUTHERLY FROM ELKO DRIVE

5 EXISTING PHOTOS
(FOR REFERENCE)

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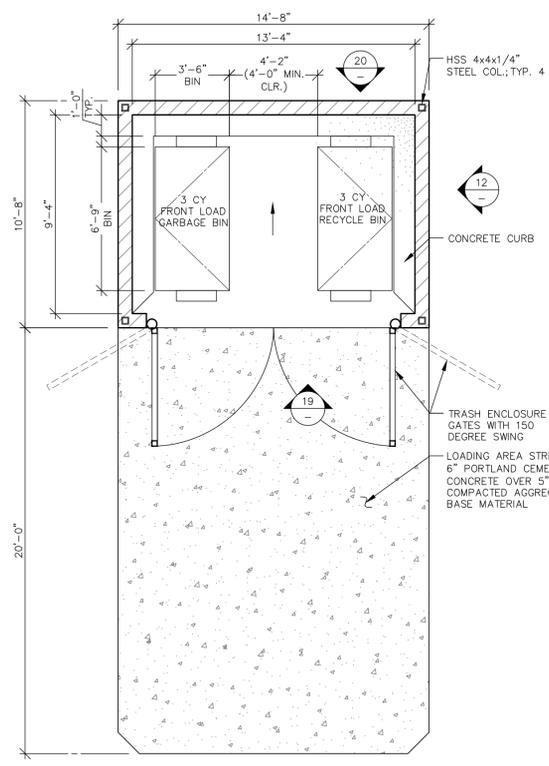
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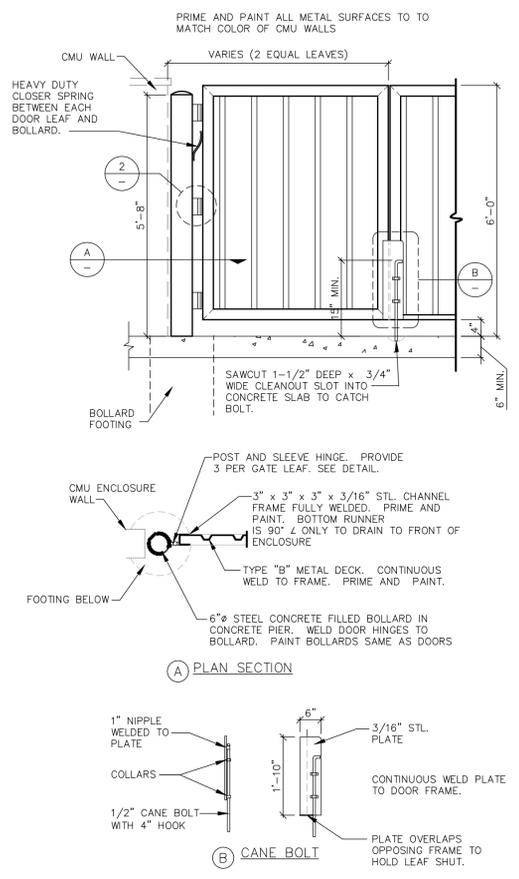
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		1265 LAWRENCE STATION RD. SUNNYVALE, CA 94089	CANOPY ELEVATIONS																									
	2455 Bennett Valley Rd, Suite A-102 Santa Rosa, CA, 95404 Ph. (707) 703-5618 Roy W. Pedro, Architect	<table border="1"> <tr> <th>PROJECT PHASE</th> <th>DATE</th> <th>INITIALS</th> <th>SS#</th> <th>SHEET</th> </tr> <tr> <td>ISSUED FOR PRE-PLANNING</td> <td>06/13/18</td> <td>CB</td> <td>9-0562</td> <td rowspan="5">A4.0</td> </tr> <tr> <td>ISSUED FOR PLANNING</td> <td>07/16/18</td> <td>CB</td> <td>JOB# CHV17038.0</td> </tr> <tr> <td>ISSUED FOR PERMIT</td> <td></td> <td></td> <td></td> </tr> <tr> <td>ISSUED FOR BID</td> <td></td> <td></td> <td>SCALE: AS NOTED</td> </tr> <tr> <td>ISSUED FOR CONSTRUCTION</td> <td></td> <td></td> <td></td> </tr> </table>	PROJECT PHASE	DATE	INITIALS	SS#	SHEET	ISSUED FOR PRE-PLANNING	06/13/18	CB	9-0562	A4.0	ISSUED FOR PLANNING	07/16/18	CB	JOB# CHV17038.0	ISSUED FOR PERMIT				ISSUED FOR BID			SCALE: AS NOTED	ISSUED FOR CONSTRUCTION			
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18 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



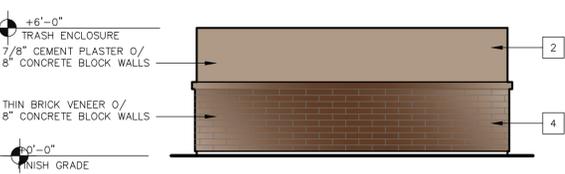
10 TRASH ENCLOSURE GATE
SCALE: 1/2" = 1'-0"



1 EXISTING TRASH ENCLOSURE
FOR REFERENCE ONLY



19 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



20 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Table A: Minimum Enclosure Space Requirements for Common Types of Use

Use-type**	First Tier Sizing*: Maximum of 3 service days per week			Second Tier Sizing*: Maximum of 3 service days per week		
	Project Gross Square Feet	Minimum Enclosure size	Typical Container Types, Notes	Project Threshold	Design for Addl. Garbage Recycling Volume	Consider for Larger Projects**
Retail	Up to 10,000	13 ft. x 9 ft.	3cyd garbage and 3cyd recycling	>10,000 sq. ft.	1 cyd Per 1,000 sq. ft. (or fraction of)	Roll-off or Front-load Compactor
Full-service Restaurant	Up to 6,000	14 ft. x 9 ft.	4cyd garbage and 3cyd recycling	>6,000 sq. ft.	3 cyd per 1,000 sq. ft. (or fraction of)	Front-load Compactor
Fast Food Restaurant	Up to 3,000	14 ft. x 14 ft.	Two 3 or 4cyd garbage and one recycling	>3,000 sq. ft.	8 cyd per 1,000 sq. ft. (or fraction of)	Front-load Compactor
Office/ R & D	Up to 35,000	13 ft. x 9 ft.	3cyd garbage and 3cyd recycling	>35,000 sq. ft.	0.3 cyd per 1,000 sq. ft. (or fraction of)	Roll-off or Front-load Compactor
Industrial	Up to 20,000	13 ft. x 9 ft.	3cyd garbage and 3cyd recycling	>20,000 sq. ft.	0.7cyd per 1,000 sq. ft. (or fraction of)	Roll-off or Front-load Compactor
Manufacturing	Up to 15,000	14 ft. x 9 ft.	4cyd garbage and 3cyd recycling	> 15,000 sq. ft.	1.1 cyd per 1,000 sq. ft. (or fraction of)	Roll-off or Front-load Compactor
Multi-family Units	For every 10 units	12.5 ft. x 9 ft.	3cyd garbage and two 96-gallon recycling carts. Located w/in 150 ft. of any unit	Contact City	—	Roll-off or Front-load Compactor

TABLE EXTRACTED FROM "CITY OF SUNNYVALE DESIGN GUIDELINES FOR SOLID WASTE AND RECYCLING FACILITIES".

ENCLOSURE SIZING TABLE

A. BUILDING SQUARE FOOTAGE: RETAIL	1,386	SQ. FT.
B. PROJECTED WASTE VOLUME PER SQ. FT. (TABLE A)	.001	CYD/SQ. FT.
C. MULTIPLY A AND B FOR TOTAL WEEKLY VOLUME	1,386	CYD
D. DIVIDE C BY 3 SERVICE DAYS TO FIND CYD/SERVICE DAY	.462	CYD/DAY
E. DIVIDE D BY CONTAINER SIZE (3CYD) TO FIND NUMBER OF CONTAINERS (ROUND UP)	1	# OF BINS

COLOR LEGEND



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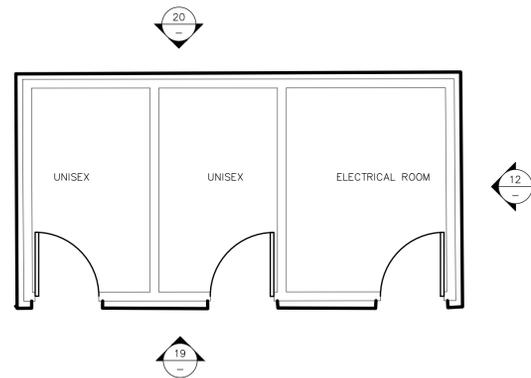
PM DESIGN Architectural Solutions Group
2455 Bennett Valley Rd. Suite A-102 Santa Rosa, CA. 95404 Ph. (707) 703-5618 Roy W. Pedro, Architect

1265 LAWRENCE STATION RD. SUNNYVALE, CA 94089

TRASH ENCLOSURE PLAN & ELEVATIONS

PROJECT PHASE DATE INITIAL SS# 9-0562 SHEET
ISSUED FOR PRE-PLANNING 06/13/18 CB
ISSUED FOR PLANNING 07/16/18 CB JOB# CHV17038.0
ISSUED FOR PERMIT
ISSUED FOR BID
ISSUED FOR CONSTRUCTION
Do not use drawing for construction unless initiated

SCALE: AS NOTED
A5.0

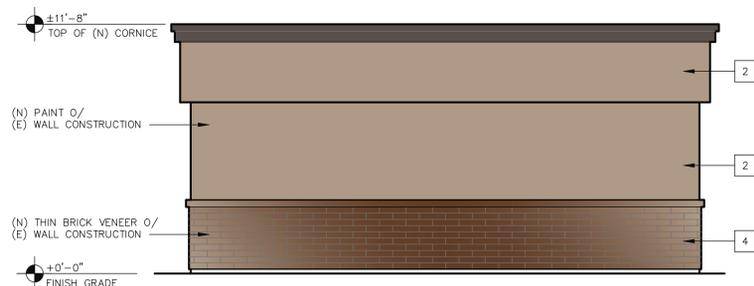


18 EXISTING RESTROOM - FLOOR PLAN
SCALE: 1/4" = 1'-0"

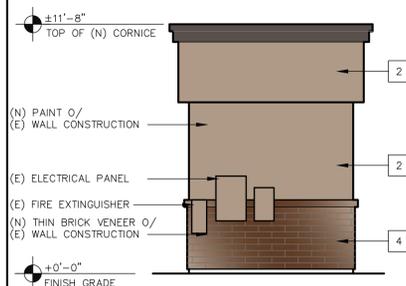
10 NOT USED
SCALE: -



19 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



20 REAR ELEVATION
SCALE: 1/4" = 1'-0"



12 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING RESTROOM
FOR REFERENCE ONLY

COLOR LEGEND

-  2 NUTMEG (URETHANE SEMI GLOSS) A4W-D80070
-  4 BRICK VENEER (CAPISTRANO ADOBE, BAUTISTA) ELDORADO STONE

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Architectural Solutions Group
2455 Bennett Valley Rd, Suite A-102
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Roy W. Pedro, Architect

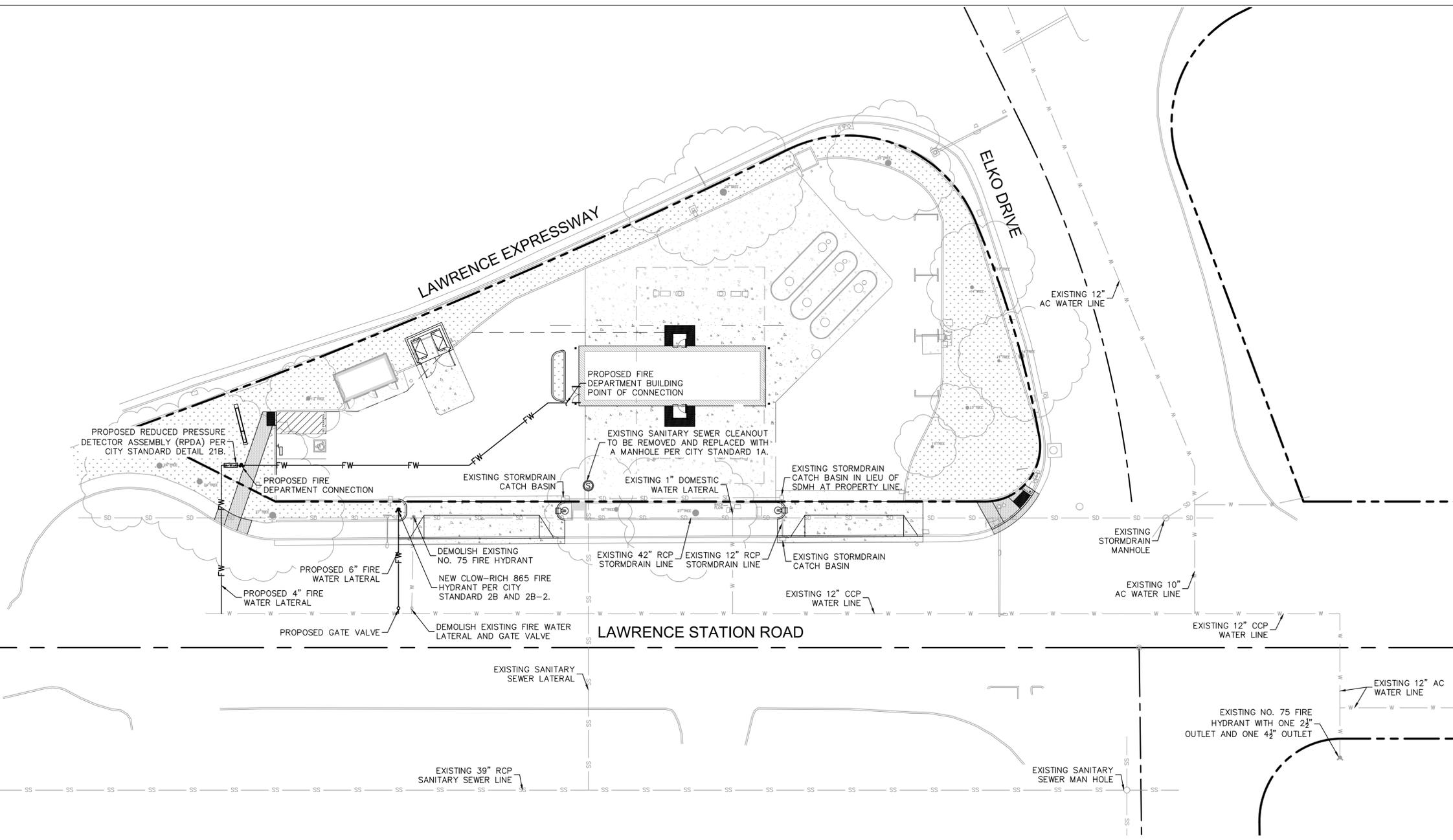
1265 LAWRENCE STATION RD.
SUNNYVALE, CA 94089

PROJECT PHASE	DATE	INITIALS	SS#
ISSUED FOR PRE-PLANNING	06/13/18	CB	9-0562
ISSUED FOR PLANNING	07/16/18	CB	JOB# CHV17038.0
ISSUED FOR PERMIT			
ISSUED FOR BID			
ISSUED FOR CONSTRUCTION			

EXISTING RESTROOM
PLAN & ELEVATIONS

SCALE: AS NOTED
SHEET
A5.1

\\pmsession1\cadd\p\17038.0_Sunmyvale\01-Drawings\01-Architectural\02-Plan\18-Existing Restroom - Floor Plan.dwg - CHV17038.0_A5.0.dwg - 01/11/2019 04:33pm Login: mspooner



K:\BAY_LDE\CHEVRON\197015014 - CHEVRON (SUNNYVALE)\CAD\EXHIBITS\C2.0 - PRELIMINARY UTILITY PLAN - 197015014.DWG 3/28/2019 9:55 AM KIRBY, JENNIFER

LEGEND

- PROPERTY LINE
- - - CENTER LINE
- - - EASEMENT OR SETBACK LINE
- SS EXISTING SANITARY SEWER LINE
- SD EXISTING STORM DRAIN LINE
- W EXISTING DOMESTIC WATER LINE
- FW PROPOSED FIRE WATER LINE
- (S) PROPOSED SANITARY SEWER MANHOLE
- [Pattern] PROPOSED LANDSCAPE
- [Pattern] PROPOSED BIORETENTION
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED HEAVY DUTY CONCRETE

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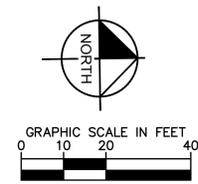
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DESIGNED BY: JAK
CHECKED BY: MRJ

Chevron Kimley-Horn

100 WEST SAN FERNANDO STREET, SUITE 200, SAN JOSE, CA 95131
PHONE: 669-800-4130 FAX: 714-938-9488

 Architectural Solutions Group 2455 Bennett Valley Rd, Suite A-102 Santa Rosa, CA, 95404 Ph. (707) 703-5618 Roy W. Pedro, Architect	ADDRESS 1265 LAWRENCE STATION ROAD SUNNYVALE, CA 94089		SHEET TITLE PRELIMINARY UTILITY PLAN		
	PROJECT PHASE ISSUED FOR PRE-PLANNING ISSUED FOR PLANNING ISSUED FOR PERMIT ISSUED FOR BID ISSUED FOR CONSTRUCTION	DATE 06/13/18 07/16/18 _____ _____	INITIALS CB CB _____ _____	SS# 9-0562 JOB# CHV17038.0 SCALE: AS NOTED DATE: 03/28/2019	SHEET NUMBER C2.0
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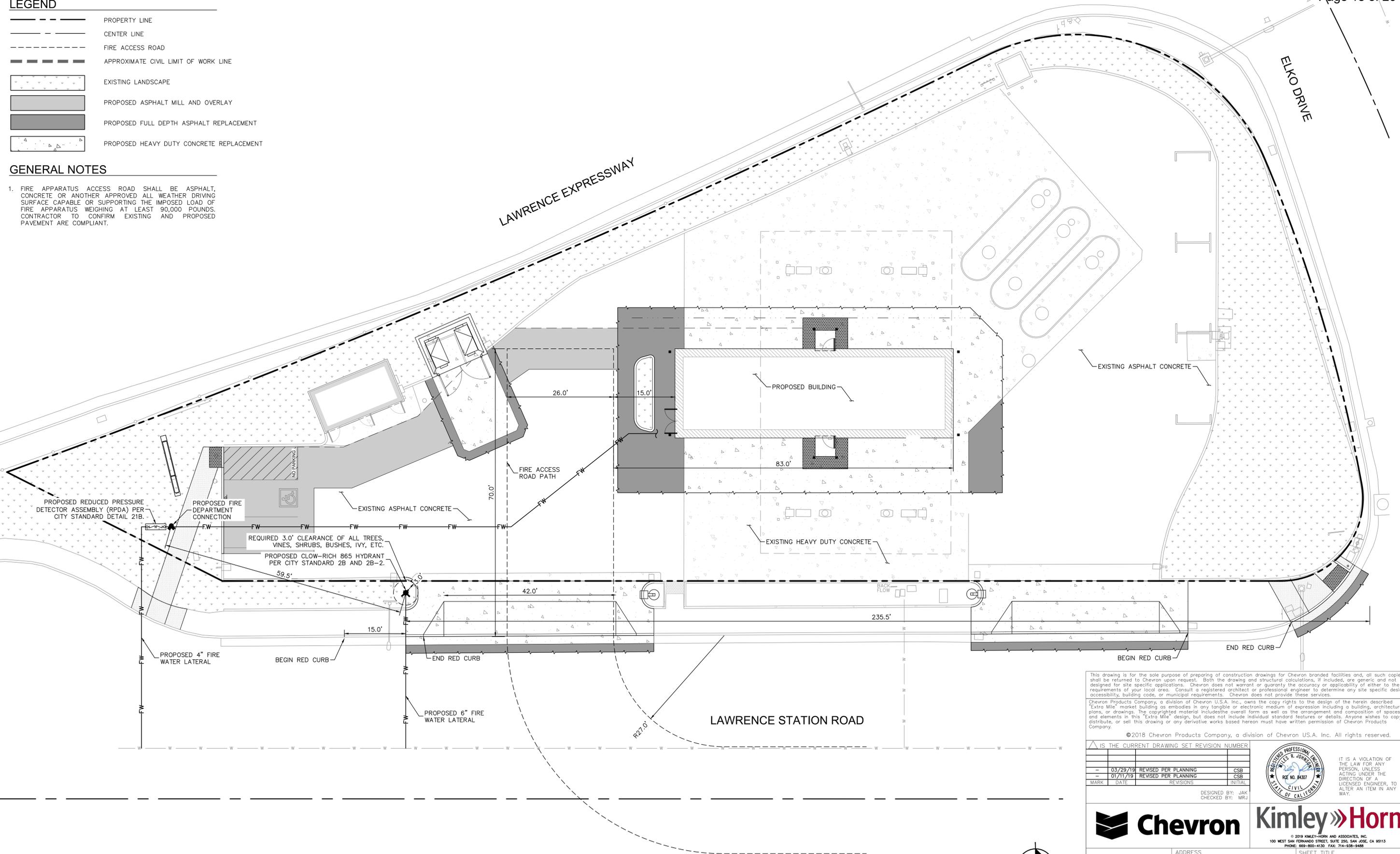


LEGEND

- PROPERTY LINE
- CENTER LINE
- FIRE ACCESS ROAD
- APPROXIMATE CIVIL LIMIT OF WORK LINE
- EXISTING LANDSCAPE
- PROPOSED ASPHALT MILL AND OVERLAY
- PROPOSED FULL DEPTH ASPHALT REPLACEMENT
- PROPOSED HEAVY DUTY CONCRETE REPLACEMENT

GENERAL NOTES

1. FIRE APPARATUS ACCESS ROAD SHALL BE ASPHALT, CONCRETE OR ANOTHER APPROVED ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 POUNDS. CONTRACTOR TO CONFIRM EXISTING AND PROPOSED PAVEMENT ARE COMPLIANT.



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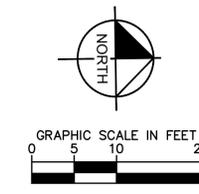
Kimley-Horn

100 WEST SAN FERNANDO STREET, SUITE 200, SAN JOSE, CA 95113
PHONE: 669-800-4130 FAX: 714-938-9488

ADDRESS 1265 LAWRENCE STATION ROAD SUNNYVALE, CA 94089		SHEET TITLE FIRE APPARATUS ACCESS ROAD AND HYDRANT PLAN	
PROJECT PHASE	DATE	INITIALS	SHEET NUMBER
ISSUED FOR PRE-PLANNING	06/13/18	CB	9-0562
ISSUED FOR PLANNING	07/16/18	CB	
ISSUED FOR PERMIT			JOB# CHV17038.0
ISSUED FOR BID			SCALE: AS NOTED
ISSUED FOR CONSTRUCTION			DATE: 03/28/2019

2455 Bennett Valley Rd, Suite A-102
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Roy W. Pedro, Architect

K:\BAI_LDE\CHEVRON\197015014 - CHEVRON (SUNNYVALE)\CAD\EXHIBITS\C3.0 - FIRE APPARATUS ACCESS ROAD AND HYDRANT PLAN - 197015014.DWG 3/28/2019 9:56 AM KIRBY, JENNIFER



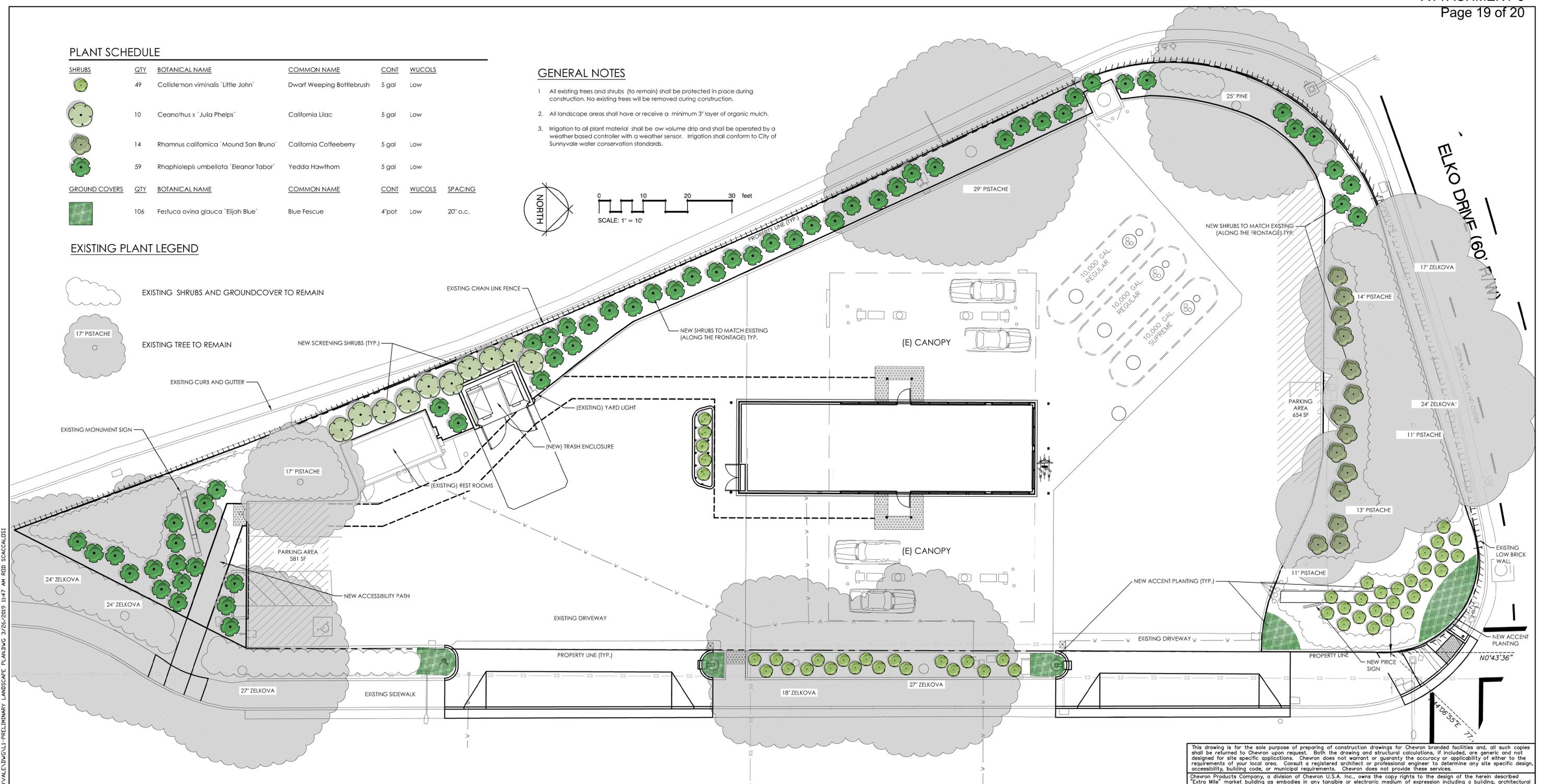
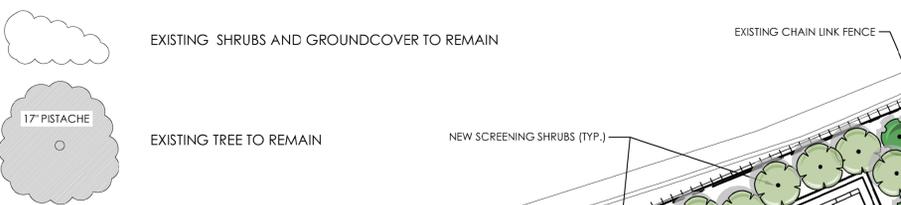
PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	
	49	Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush	5 gal	Low	
	10	Ceanothus x 'Julia Phelps'	California Lilac	5 gal	Low	
	14	Rhamnus californica 'Mound San Bruno'	California Coffeeberry	5 gal	Low	
	59	Rhaphiolepis umbellata 'Eleanor Taber'	Yedda Hawthorn	5 gal	Low	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	SPACING
	106	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	4'pot	Low	20" o.c.

GENERAL NOTES

- All existing trees and shrubs (to remain) shall be protected in place during construction. No existing trees will be removed during construction.
- All landscape areas shall have or receive a minimum 3" layer of organic mulch.
- Irrigation to all plant material shall be low volume drip and shall be operated by a weather based controller with a weather sensor. Irrigation shall conform to City of Sunnyvale water conservation standards.

EXISTING PLANT LEGEND



PARKING LOT SHADE CALCULATIONS

Symbol	Botanical Name/Common Name	Qty. @ full shade (Sq. Ft.)	Qty. @ 3/4 shade (Sq. Ft.)	Qty. @ 1/2 shade (Sq. Ft.)	Qty. @ 1/4 shade (Sq. Ft.)	Total (Sq. Ft.)
	Accent Tree 20'	0 @ 314 SF	0 @ 236 SF	0 @ 157 SF	0 @ 79 SF	- SF
	Parking Lot Shade Tree 30'	0 @ 706 SF	0 @ 530 SF	0 @ 354 SF	0 @ 177 SF	- SF
	Parking Lot Shade Tree 35'	0 @ 962 SF	0 @ 722 SF	2 @ 481 SF	0 @ 240 SF	- SF
	Existing Shade Tree	0 @ 962 SF	0 @ 722 SF	0 @ 481 SF	0 @ 240 SF	682 SF
TOTAL TREE SHADE						682 SF
Parking Lot (see hatched area on plan)		TOTAL PARKING AREA =				1,235 SF
		50% SHADE AREA REQUIRED =				618 SF
		TOTAL SHADE PROVIDED =				682 SF
		PERCENT SHADE =				55%

LAWRENCE STATION ROAD (160' R/W)

Water Efficient Landscape Worksheet - (New plants only)

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	DRIP	.81	.37	1,356	502	14,099 GAL.
MODERATE WATER USE PLANTS	.5	DRIP	.81	.62	0	0	0 GAL.
TOTALS					(A) 1,356	(B) 502	ETWU Total 14,099 GAL.

Maximum Applied Water Allowance (MAWA). MAWA= $\frac{[ETWU] \cdot [Conversion\ factor]}{[45.3]} + \frac{([ETAF] \cdot [Landscape\ Area]) + ((1-ETAF) \cdot x\ SLA)}{[45.3] \cdot (.62)} + (1-.45) \cdot x \cdot 0 = 17,138$ GALLONS

Estimated Total Water Use (ETWU). ETWU= $\frac{[ETWU]}{[45.3]} \cdot [Conversion\ factor] + \frac{([ETAF] \cdot [Area])}{[502]} = 14,099$ GALLONS

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B) 502
Total Area	(A) 1,356
Average ETAF	(B / A) .37

Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

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Architectural Solutions Group

2455 Bennett Valley Rd, Suite A-102
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Ray W. Pedro, Architect

1265 LAWRENCE STATION RD.
SUNNYVALE, CA 94089

PROJECT PHASE: ISSUED FOR PRE-PLANNING, ISSUED FOR PERMIT, ISSUED FOR BID, ISSUED FOR CONSTRUCTION

DATE: 06/13/18, 07/16/18

INITIALS: CB, CB

SS# 9-0562

JOB# CHV17038.0

SCALE: AS NOTED

PRELIMINARY LANDSCAPE PLAN

SHEET **L1**

