

BY: _____ REVISIONS: _____ DATE: _____

THE JAGAIT RES.

863 SAN PABLO AVE SUNNYVALE, CA

PROJECT DATA			
APN#	205-04-040		
ZONING	R-0		
TYPE OF CONST.	V-A		
SITE/ LOT AREA:	5,054 SQ.FT.		
LOT COVERAGE		FLOOR AREA RATIO (FAR)	
EXISTING		EXISTING	
1608 SQ.FT.	HOUSE (ONE STORY)	1608 SQ.FT.	HOUSE (ONE STORY)
360 SQ.FT.	GARAGE	360 SQ.FT.	GARAGE
100 SQ.FT.	REAR YARD SHED		
160 SQ.FT.	SIDE YARD SHED		
2228 SQ.FT.	TOTAL SQ.FT.		
2228 / 5054 = 44%	EXISTING LOT COVERAGE	1968 / 5054 = 39%	EXISTING FAR
PROPOSED		PROPOSED	
1608 SQ.FT.	FIRST FLOOR EXISTING	1608 SQ.FT.	HOUSE (ONE STORY)
360 SQ.FT.	GARAGE	360 SQ.FT.	GARAGE
-100 SQ.FT.	REMOVED REAR YARD SHED	497 SQ.FT.	SECOND STORY ADDITION
-160 SQ.FT.	REMOVED SIDE YARD SHED		
50 SQ.FT.	NEW REAR YARD SHED	2,465 SQ.FT.	TOTAL SQ.FT.
2,018 SQ.FT.	TOTAL SQ.FT.		
2018 / 5054 = 40%	TOTAL LOT COVERAGE	48.7%	PROPOSED FAR
MISSING		MISSING	
497 (SECOND FLOOR)	1968 (FIRST FLOOR)	497/1968	25%

ABBREVIATIONS			
<p>& ANGLE</p> <p>< AT</p> <p>Ø CENTERLINE</p> <p>⊥ DIAMETER OR ROUND</p> <p>⊥ PERPENDICULAR</p> <p>(E) EXISTING</p> <p>A.D. AREA DRAIN</p> <p>ADJ. ADJUSTABLE</p> <p>AGGR. AGGREGATE</p> <p>AL. ALUMINUM</p> <p>APPROX. APPROXIMATE</p> <p>ARCH. ARCHITECTURAL</p> <p>ASB. ASBESTOS</p> <p>ASPH. ASPHALT</p> <p>BO. BOARD</p> <p>BTJM. BITUMINOUS</p> <p>BULD. BUILDING</p> <p>BLK. BLOCK</p> <p>BULD. BUILDING</p> <p>BM. BEAM</p> <p>BOT. BOTTOM</p> <p>CAB. CABINET</p> <p>C.B. CATCH BASIN</p> <p>CEM. CEMENT</p> <p>CER. CERRAMIC</p> <p>CL. CAST IRON</p> <p>C.L. CEILING</p> <p>CLG. CAULKING</p> <p>CLD. CLOSET</p> <p>CLR. CLEAR</p> <p>COL. COLUMN</p> <p>CONC. CONCRETE</p> <p>CONN. CONNECTION</p> <p>CONSTR. CONSTRUCTION</p> <p>CONT. CONTINUOUS</p> <p>CORR. CORRIDOR</p> <p>CTSK. COUNTERSUNK</p> <p>CNTR. COUNTER</p> <p>CTR. CENTER</p> <p>DBL. DOUBLE</p> <p>DEPT. DEPARTMENT</p> <p>D.F. DRINKING FOUNTAIN</p> <p>DF. DOUTLAS FIR</p> <p>DET. DETAIL</p> <p>DIA. DIAMETER</p> <p>DM. DIMENSION</p> <p>DISP. DISPENSER</p> <p>DN. DOWN</p> <p>D.O. DOOR OPENING</p> <p>DR. DRAWER</p> <p>D.S. DOWN SPOUT</p> <p>D.S.P. DRY STAND PIPE</p> <p>DWG. DRAWING</p> <p>E. EAST</p> <p>E.A. EACH</p>	<p>E.J. EXPANSION JOINT</p> <p>EL. ELEVATION</p> <p>ELEC. ELECTRICAL</p> <p>ELEV. ELEVATOR</p> <p>EMERG. EMERGENCY</p> <p>ENCL. ENCLOSURE</p> <p>E.P. ELECTRICAL PANELBOARD</p> <p>EQ. EQUAL</p> <p>EQPT. EQUIPMENT</p> <p>E.W.C. ELECTRIC WATER COOLER</p> <p>EXST. EXISTING</p> <p>EXPO. EXPOSED</p> <p>EXP. EXPANSION</p> <p>EXT. EXTERIOR</p> <p>F.A. FIRE ALARM</p> <p>F.B. FLAT BAR</p> <p>F.D. FOUNDATION</p> <p>F.E. FIRE EXTINGUISHER</p> <p>F.E.C. FIRE EXTINGUISHER CABINET</p> <p>F.H.C. FIRE HOSE</p> <p>FIN. FINISH</p> <p>FL. FLOOR</p> <p>FLASH. FLASHING</p> <p>FLOOR. FLOOR</p> <p>F.O.C. FACE OF CONCRETE</p> <p>F.O.F. FACE OF FINISH</p> <p>F.O.S. FACE OF STUDS</p> <p>FRFR. FIREPROOF</p> <p>F.S. FULL SIZE</p> <p>FT. FOOT OR FEET</p> <p>FUR. FURRING</p> <p>FUT. FUTURE</p> <p>GA. GAUGE</p> <p>GALV. GALVANIZED</p> <p>G.B. GRAB BAR</p> <p>GL. GROUND</p> <p>GND. GROUND</p> <p>GR. GRADE</p> <p>GYP. GYPSUM</p> <p>H.B. HOSE BIB</p> <p>H.C. HOLLOW CORE</p> <p>HDWD. HARDWOOD</p> <p>HW. HARDWARE</p> <p>H.M. HOLLOW METAL</p> <p>HORIZ. HORIZONTAL</p> <p>HR. HOUR</p> <p>HGT. HEIGHT</p> <p>I.D. INSIDE DIAMETER(DIM.)</p> <p>INSUL. INSULATION</p> <p>INT. INTERIOR</p> <p>JAN. JANITOR</p> <p>JT. JOINT</p> <p>KITCHEN. KITCHEN</p> <p>LAB. LABORATORY</p> <p>LAM. LAMINATE</p> <p>LAV. LAVATORY</p> <p>LCK. LOCKER</p> <p>LT. LIGHT</p>	<p>MAX. MAXIMUM</p> <p>M.C. MEDICINE CABINET</p> <p>M.E.C. MECHANICAL</p> <p>MEMB. MEMBRANE</p> <p>MET. METAL</p> <p>MFR. MANUFACTURER</p> <p>M.H. MANHOLE</p> <p>MIN. MINIMUM</p> <p>MIR. MIRROR</p> <p>MISC. MISCELLANEOUS</p> <p>M.O. MASONRY OPENING</p> <p>MTD. MOUNTED</p> <p>MUL. MULLION</p> <p>N. NORTH</p> <p>N.I.C. NOT IN CONTRACT</p> <p>N.O. NOT ON</p> <p>N.C. NOT IN CONTRACT</p> <p>N.C. NOT IN CONTRACT</p> <p>NOM. NOMINAL</p> <p>N.T.S. NOT TO SCALE</p> <p>O.A. OVERALL</p> <p>OBS. OBSERVE</p> <p>O.C. ON CENTER</p> <p>O.C. ON CENTER</p> <p>OFF. OFFICE</p> <p>OPNG. OPENING</p> <p>OPP. OPPOSITE</p> <p>PRST. PRECAST</p> <p>PL. PLATE</p> <p>P.LAM. PLASTIC LAMINATE</p> <p>PLAS. PLASTER</p> <p>PLY. PLYWOOD</p> <p>PR. PAIR</p> <p>PT. POINT</p> <p>P.T.D. PAPER TOWEL DISPENSER</p> <p>P.T.D/R. PAPER TOWEL/RECEPTACLE</p> <p>PTN. PARTITION</p> <p>Q.T. QUARRY TILE</p> <p>R. ROSE</p> <p>RAD. RADIUS</p> <p>ROOF. ROOF DRAIN</p> <p>GR. GRADE</p> <p>REF. REFERENCE</p> <p>REFR. REFRIGERATOR</p> <p>REG. REGISTER</p> <p>REINF. REINFORCED</p> <p>REQ. REQUIRED</p> <p>RESIL. RESILIENT</p> <p>RM. ROOM</p> <p>R.O. ROUGH OPENING</p> <p>RWD. REDWOOD</p> <p>R.W.L. RAIN WATER LEADER</p> <p>S. SOUTH</p> <p>S.C. SOLID CORE</p> <p>S.C.D. SEAT COVER DISPENSER</p> <p>SCHED. SCHEDULE</p> <p>S.D. SINK DISPENSER</p> <p>SECT. SECTION</p> <p>SH. SHELF</p> <p>SHR. SHOWER</p> <p>SHT. SHEET</p> <p>SM. SMILAR</p>	<p>S.N.D. SANITARY NAPKIN DISPENSER</p> <p>S.N.R. SANITARY NAPKIN RECEPTACLE</p> <p>SPEC. SPECIFICATIONS</p> <p>SQ. SQUARE</p> <p>SST. STAINLESS STEEL</p> <p>S.S.K. SERVICE SINK</p> <p>STA. STATION</p> <p>STD. STANDARD</p> <p>STL. STEEL</p> <p>STR. STRUCTURAL</p> <p>SUSP. SUSPENDED</p> <p>SYM. SYMMETRICAL</p> <p>T.D. TREAD</p> <p>T.B. TOWEL BAR</p> <p>T.C. TOP OF CURB</p> <p>T.D. TELEPHONE</p> <p>T.V. TELEVISION</p> <p>T.W. TOP OF WALL</p> <p>TYP. TYPICAL</p> <p>UNF. UNFINISHED</p> <p>U.O.H. UNLESS OTHERWISE NOTED</p> <p>UR. URINAL</p> <p>VERT. VERTICAL</p> <p>VEST. VESTIBULE</p> <p>W. WEST</p> <p>W.H. WITH</p> <p>W. WEST</p> <p>W.P. WATER CLOSET</p> <p>W.P. WATERPROOF</p> <p>W.S.C.T. WAINSCOT</p> <p>WT. WEIGHT</p>

SHEET INDEX
T-1 TITLE SHEET
ARCHITECTURAL
A-1 EXISTING SITE PLAN
A-2 (E) 1ST AND (N) PROPOSED 2ND FLOOR PLANS
A-2.1 (E) DEMOLITION AND ROOF PLAN
A-2.2 (E) EXTERIOR ELEVATIONS
A-3 (N) EXTERIOR ELEVATIONS
A-3.1 (E) ROOF AND PROPOSED NEW ROOF PLANS
SHADOW STUDY
AM-PM AM-PM SHADOW STUDY

GENERAL NOTES																		
<p>1. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS PER U.B.C. SECTION 2406.3.</p> <p>2. ALL WINDOWS SHALL BE DOUBLE GLAZED</p> <p>3. SEE ELEVATIONS FOR MUNTINS BAR CONFIGURATION; IF APPLICABLE.</p> <p>4. ALL WINDOWS & SLIDING GLASS SHALL HAVE SECURITY LATCHES AT PRACTICAL OPENING POSITIONS.</p> <p>5. ALL OPERABLE VENTS SHALL HAVE SCREENS TO MATCH.</p> <p>6. FIELD MEASURE FOR ALL ROUGH OPENINGS FOR STANDARD AND NON-STANDARD WINDOW.</p> <p>7. ALL LIGHTING SHALL BE RECESSED FLOURESCENT U.O.N.; SEE ELECTRICAL PLANS.</p> <p>8. ALL LIGHTING IN BATH AND KITCHEN SHALL BE FLOURESCENT, UNLESS OTHERWISE NOTED.</p> <p>9. PROVIDE ATTIC AND UNDERFLOOR VENTILATION PER I.B.C. SECTION 1505.1, AND 2306.3.</p> <p>10. SMOKE DETECTOR SHALL BE 110 VOLT HARD WIRED AC/DC TYPE AND INTERCONNECTED.</p>																		
<p>11. INSULATION NOTES:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>APPLIC.</th> <th>R-VAL.</th> <th>INSUL. TYPE</th> </tr> </thead> <tbody> <tr> <td>1. TYPICAL FLAT CEILING</td> <td>TYP. R-30</td> <td>BATT INSULATION</td> </tr> <tr> <td>2. VAULTED ROOF W/ATTIC</td> <td>TYP. R-30</td> <td>BATT INSULATION</td> </tr> <tr> <td>3. VAULTED ROOF NO ATTIC</td> <td>TYP. R-30</td> <td>BATT INSULATION</td> </tr> <tr> <td>4. EXTERIOR WALL (ADDITION)</td> <td>TYP. R-13</td> <td>BATT INSULATION</td> </tr> <tr> <td>5. CRAWL SPACE FLOOR</td> <td>TYP. R-19</td> <td>BATT INSULATION</td> </tr> </tbody> </table>	APPLIC.	R-VAL.	INSUL. TYPE	1. TYPICAL FLAT CEILING	TYP. R-30	BATT INSULATION	2. VAULTED ROOF W/ATTIC	TYP. R-30	BATT INSULATION	3. VAULTED ROOF NO ATTIC	TYP. R-30	BATT INSULATION	4. EXTERIOR WALL (ADDITION)	TYP. R-13	BATT INSULATION	5. CRAWL SPACE FLOOR	TYP. R-19	BATT INSULATION
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<p>13. MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE DESIGN BUILD AND SHALL COMPLY WITH LATEST EDITION OF THE UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE AND NATIONAL ELECTRIC CODE.</p>																		

SCOPE OF WORK	
(N) ADDITION INCLUDE:	
1. NEW 2ND FLOOR ADDITION	
BUILDING CODES	
<p>BUILDING CODE REFERENCE</p> <p>INTERNATIONAL BUILDING CODE</p> <p>UNIFORM FIRE CODE</p> <p>UNIFORM MECHANICAL CODE</p> <p>UNIFORM PLUMBING CODE</p> <p>NATIONAL ELECTRIC CODE</p> <p>CA ENERGY STANDARDS</p>	<p>EDITION</p> <p>(IBC 2013)</p> <p>(UFC 2013)</p> <p>(UMC 2013)</p> <p>(UPC 2013)</p> <p>2013 NEC</p> <p>2013</p>
ENERGY STATEMENT	
<p>1. THE REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY CONSERVATION STANDARD TITLE 24 AS AMENDED JULY 1, 2013 HAVE BEEN REVIEWED. THE DESIGN DEPICTED BY THIS SET OF DRAWINGS SUBSTANTIALLY COMPLIES WITH THOSE REQUIREMENTS.</p>	

ARCHITE BUILDERS

126 W. Alhambra Ave. Sunnyvale CA 94087 408.561.7493

DATE	REVISIONS	BY
04-25-2014	1 C.O.S.P.D.	MB
05-19-2014	2 C.O.S.P.D.	MB

TITLE SHEET

THE JAGAIT RES.

863 SAN PABLO AVE

SUNNYVALE, CA

DATE	SCALE	DRAWN	JOB
3-14-2013		MB	777

T-1



BY	REVISIONS	DATE
MB	1	C.O.S.P.D. 04-25-2014
MB	2	C.O.S.P.D. 05-19-2014

EXISTING SITE PLAN
AND PROPOSED

THE JAGAIT RES.
863 SAN PABLO AVE
SUNNYVALE, CA

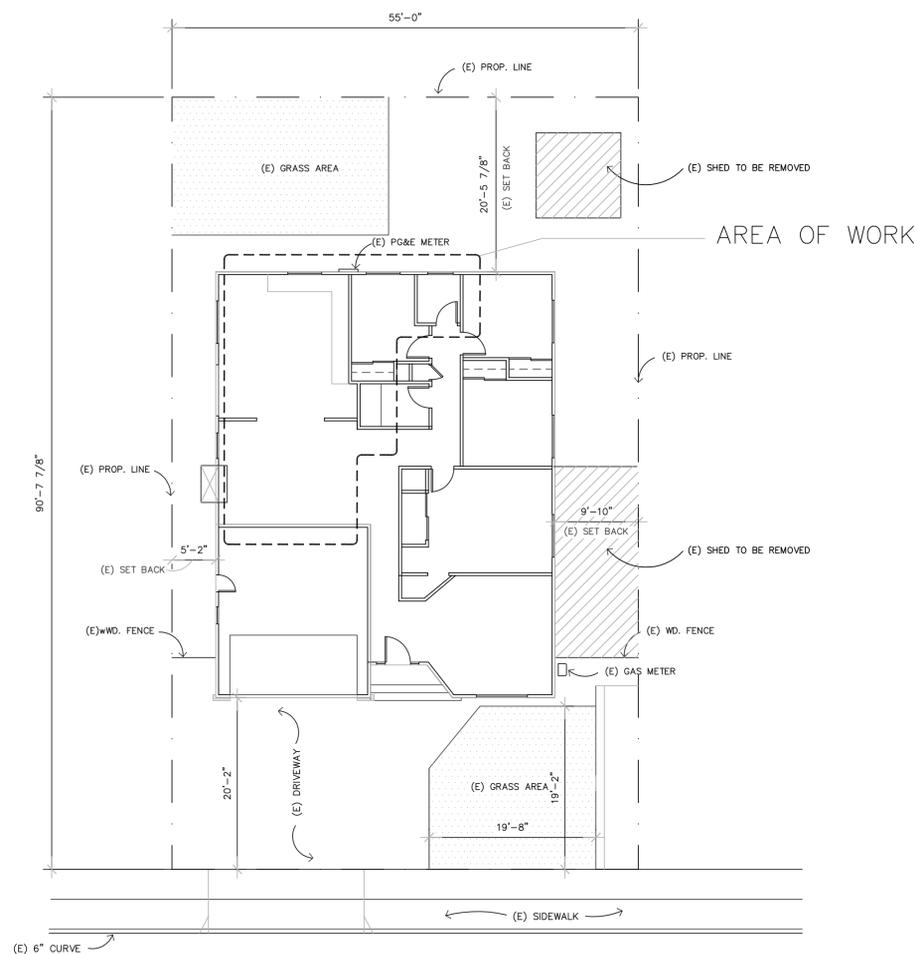
DATE	01-14-2013
SCALE	1"=10'-0"
DRAWN	MB
JOB	777

LEGEND

-  (E) RESIDENCE NOT PART OF SCOPE
-  (E) CONC. DRIVEWAY
-  (E) 2X STUD WALL TO REMAIN
-  (N) 2X STUD WALLS

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MASSING			
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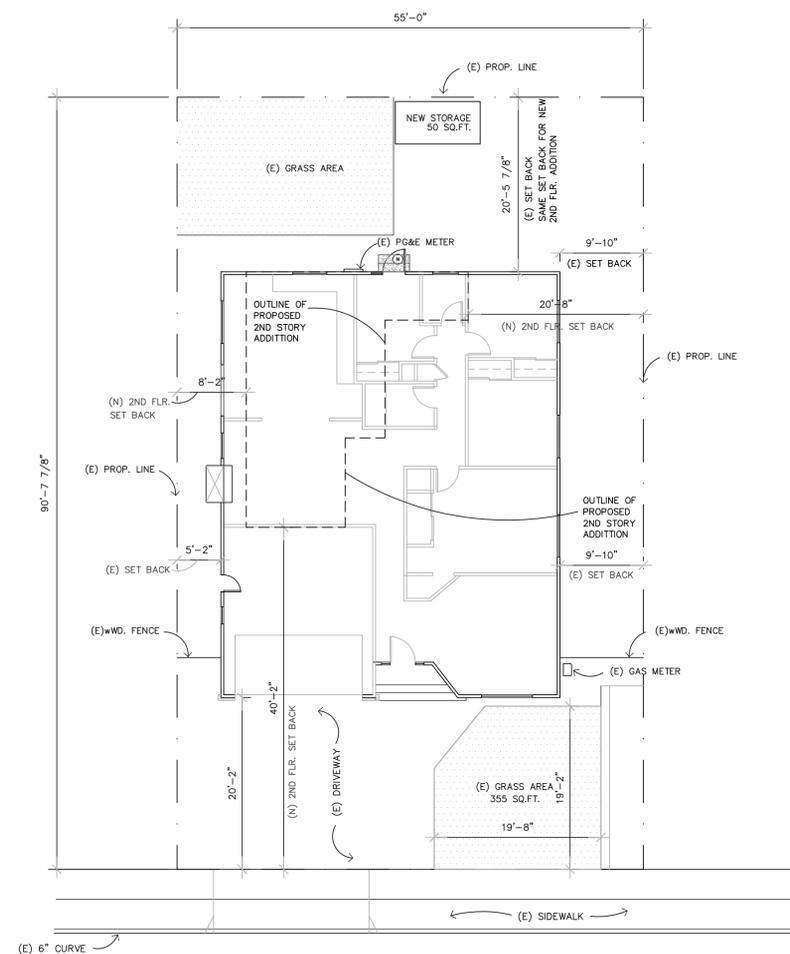


SAN PABLO AVENUE



EXISTING SITE PLAN

1"=10'-0"

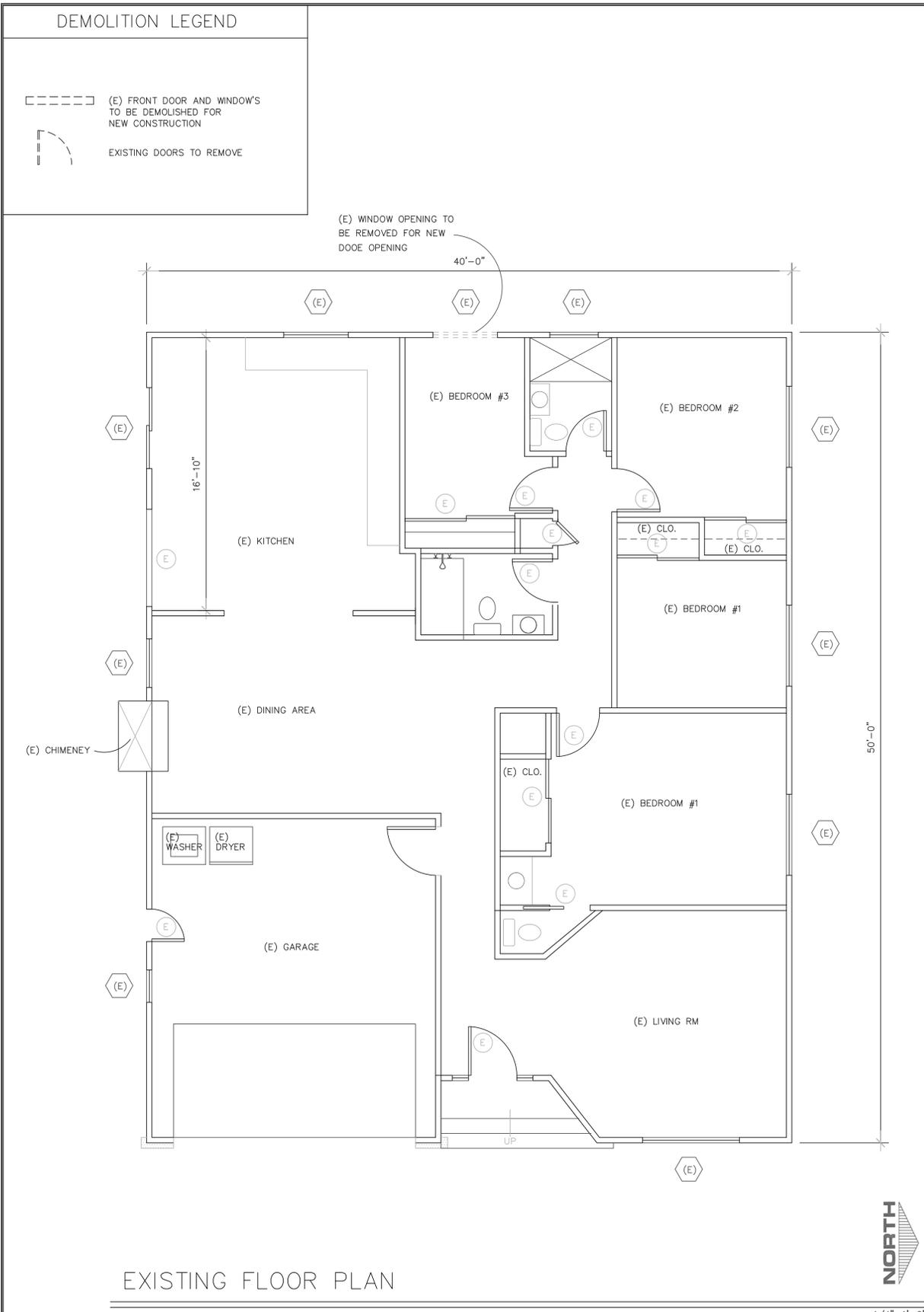


SAN PABLO AVENUE



PROPOSED SITE PLAN

1"=10'-0"



DEMOLITION LEGEND

	(E) FRONT DOOR AND WINDOW'S TO BE DEMOLISHED FOR NEW CONSTRUCTION
	EXISTING DOORS TO REMOVE

EXISTING FLOOR PLAN

(EXISTING 1,968 SQ.FT. FOR REFERENCE)



1/4"=1'-0"



DATE	04-25-2014
REVISIONS	
BY	MB
C.O.S.P.D.	

EXISTING FLOOR PLAN

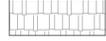
THE JAGAIT RES.
 863 SAN PABLO AVE
 SUNNYVALE, CA

DATE	3-14-2013
SCALE	1/4"=1'-0"
DRAWN	MB
JOB	777

A-2.1

ARCHITE BUILDERS
 126 W. Ahwanee Ave. Sunnyvale CA 94087 408.561.7493

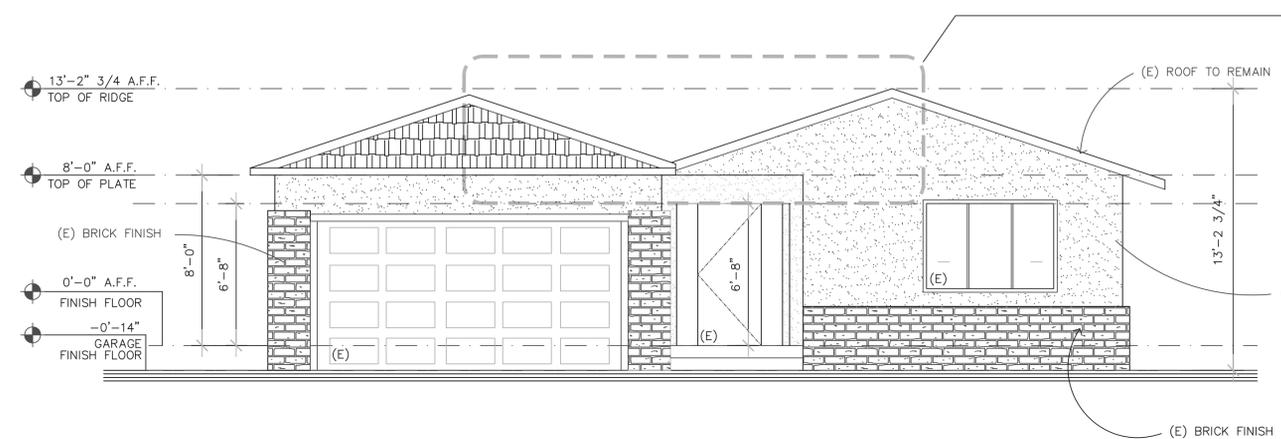
EXT. ELEV. LEGEND

-  (E) ROOFING MATERIALS
-  (E) 7/8" CEM. PLASTER TO MATCH "E" FIN. AND PAINT

**ARCHITE
BUILDERS**
126 W. Alhambra Ave. Sunnyvale, CA 94087 408.561.7993

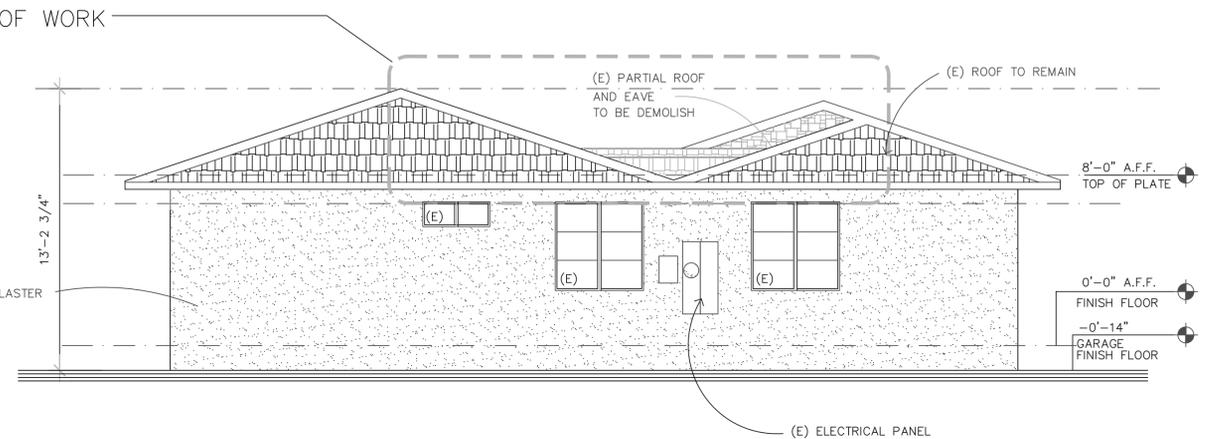


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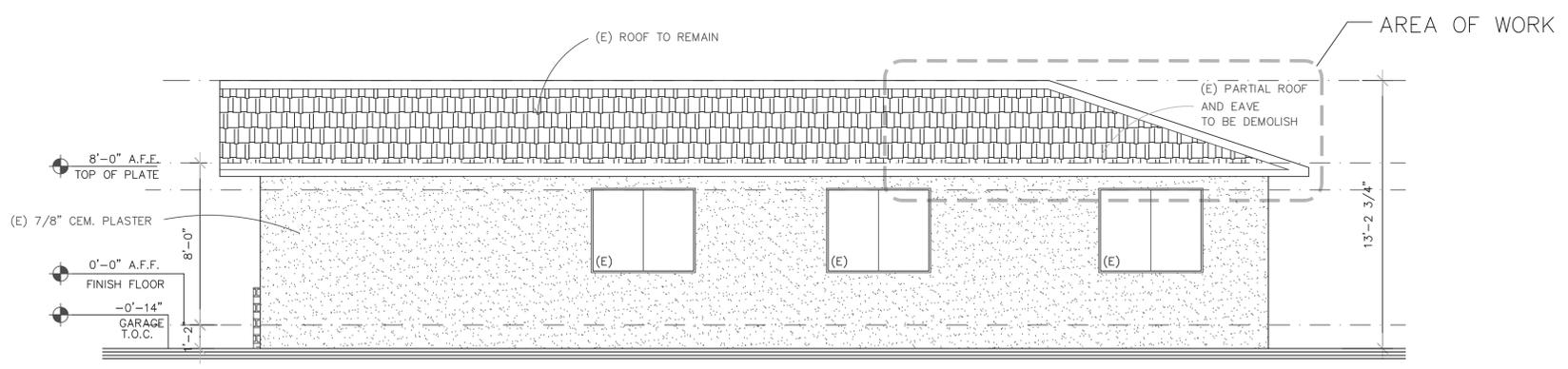
EXISTING EAST EXT. ELEVATION

1/4"=1'-0"



EXISTING WEST EXT. ELEVATION

1/4"=1'-0"



EXISTING NORTH EXT. ELEVATION

1/4"=1'-0"

(E) EXT ELEVATIONS

THE JAGAIT RES.
863 SAN PABLO AVE
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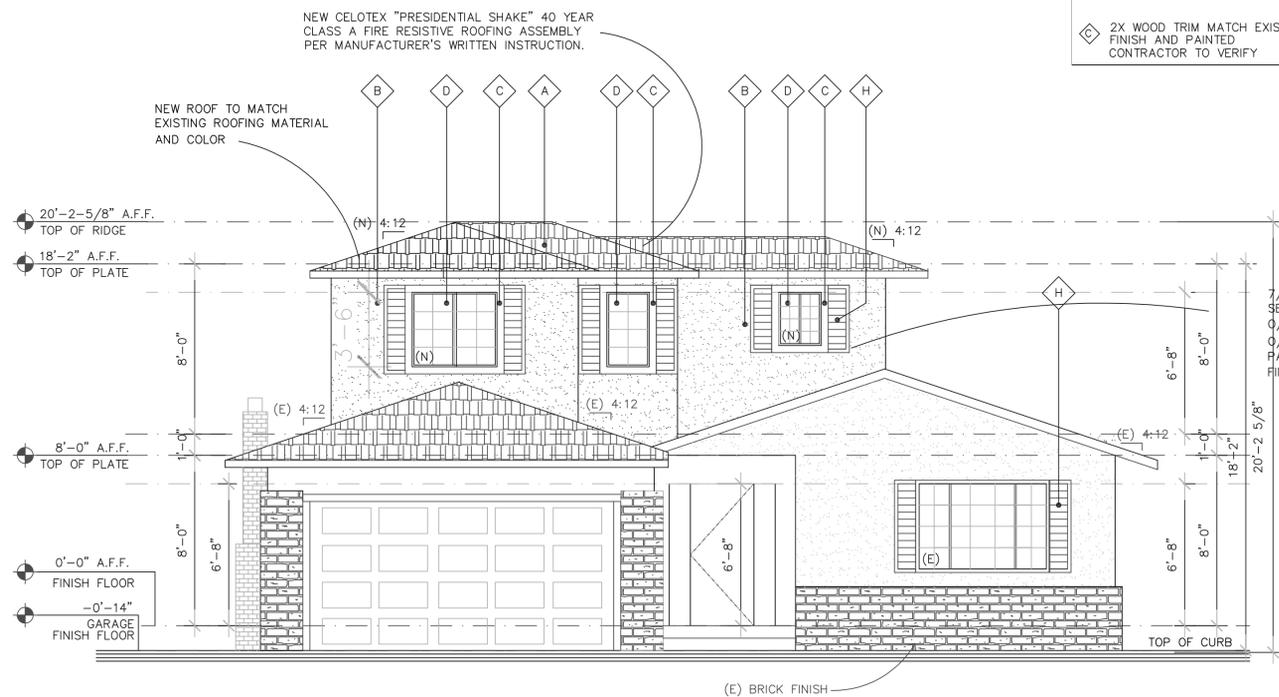
DATE	3-14-2013
SCALE	1/4"=1'-0"
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EXTERIOR FINISH

- (A) CELOTEX "PRESIDENTIAL SHAKE" CLASS A FIRE RESISTIVE ROOFING ASSEMBLY PER MANUFACTURER'S WRITTEN INSTRUCTION. SUCH INSTRUCTION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- (B) 7/8" CEM. PLASTER O/ SELF FURRING LATH O/ 2 LAYER GRADE "D" O/ 1/2" CDX PLYWD PAPER MATCH "E" FIN. AND PAINT
- (C) 2X WOOD TRIM MATCH EXISTING FINISH AND PAINTED CONTRACTOR TO VERIFY
- (N) WINDOWS BY "EAGLE" OR EQUAL DUAL GLAZED TYP.
- 24 GA. GALV. GUTTERS, PRIME & PAINT TO MATCH EXISTING
- 24 GA. GALV. DOWNSPOUTS, PRIME & PAINT TO MATCH ADJ. SURFACE
- UNDERFLOOR VENTS
- NEW DECORATIVE SHUTTERS
- CONC. STAIR
- DOOR

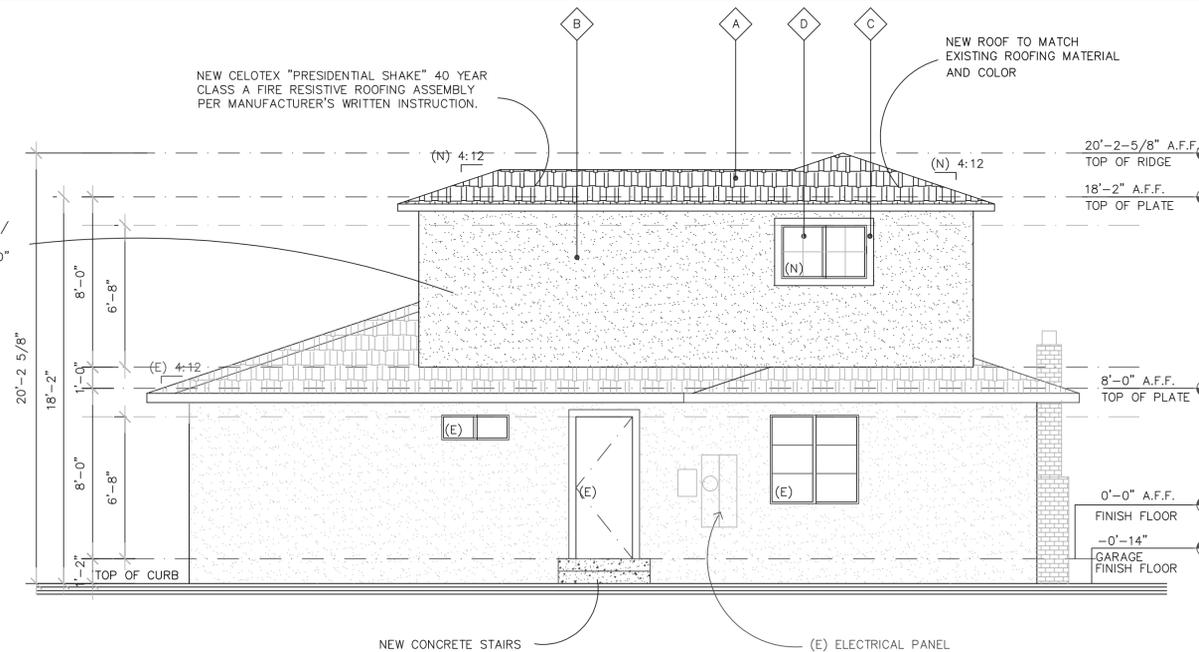
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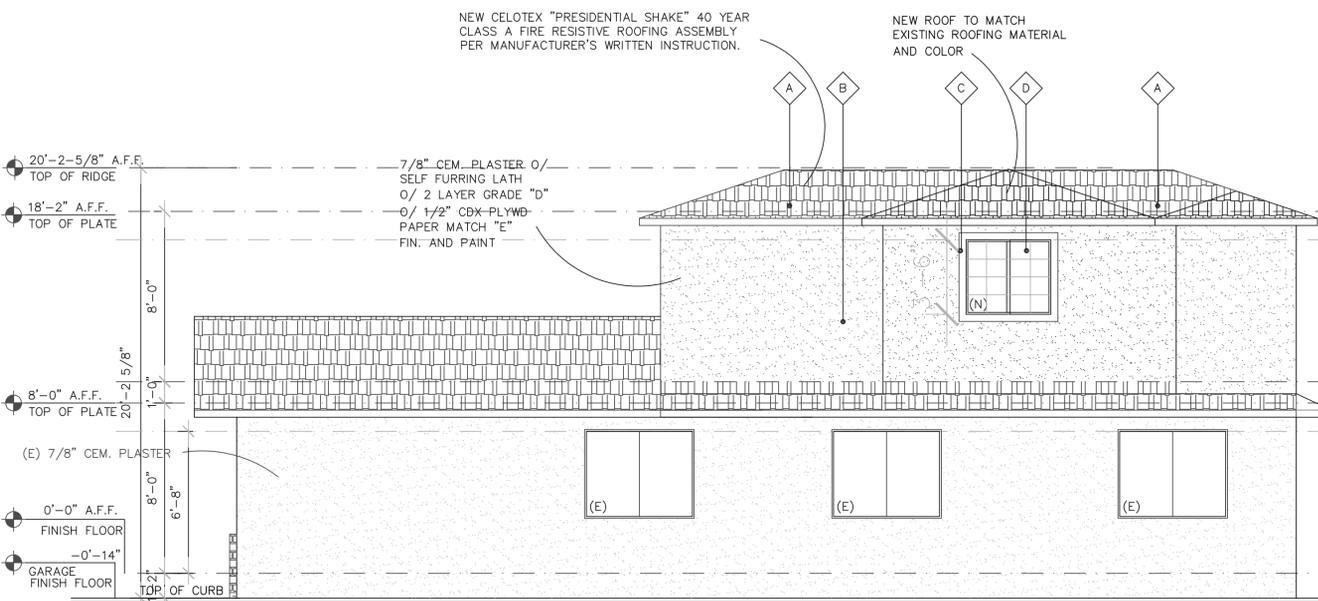
NEW PROPOSED EAST EXT. ELEVATION

1/4"=1'-0"



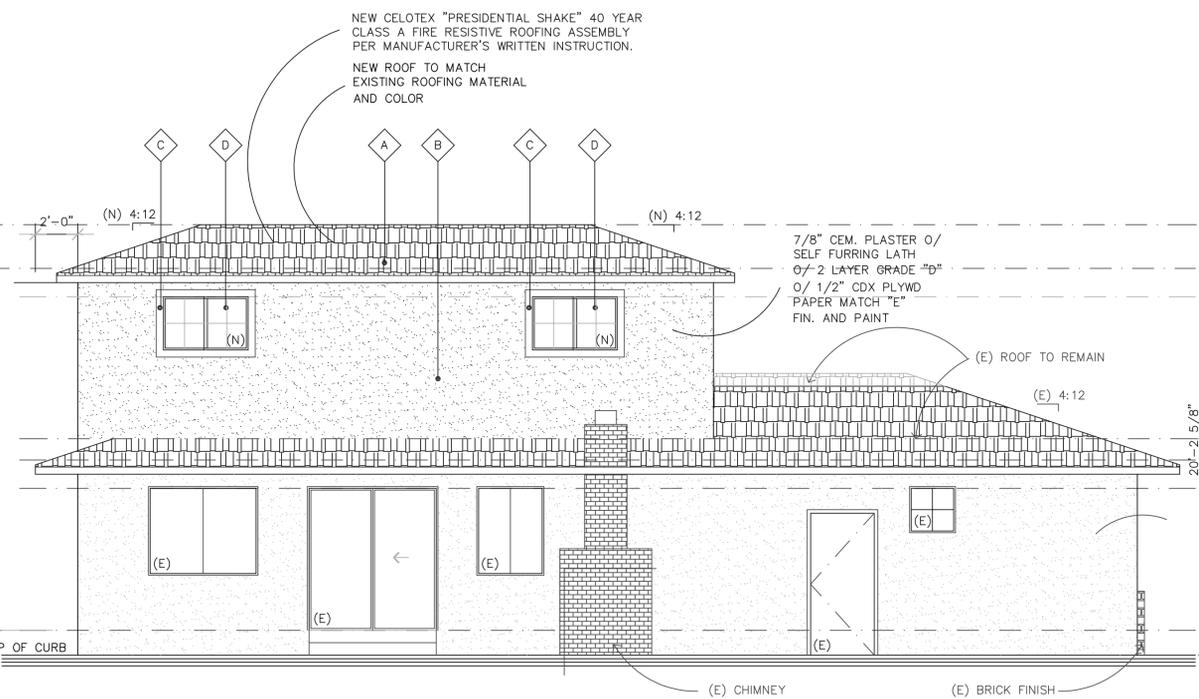
NEW PROPOSED WEST EXT. ELEVATION

1/4"=1'-0"



NEW PROPOSED NORTH EXT. ELEVATION

1/4"=1'-0"



NEW PROPOSED SOUTH EXT. ELEVATION

1/4"=1'-0"



126 W. Alhambra Ave. Sunnyvale CA 94087 408.561.7493

DATE	REVISIONS
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(N) EXT ELEVATIONS

THE JAGAIT RES.
863 SAN PABLO AVE
SUNNYVALE, CA

DATE	SCALE	DRAWN	JOB
3-14-2013	1/4"=1'-0"	MB	777

NOTES

ROOF TILE:
CELOTEX "PRESIDENTIAL SHAKE"
CLASS A FINE RESISTIVE ROOFING ASSEMBLY
PER MANUFACTURER'S WRITTEN INSTRUCTION.
SUCH INSTRUCTION SHALL BE SUBMITTED TO THE
ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

ALL NEW SHEET METAL WILL BE GALVANIZE PRIME & PAINTED
INCLUDE: FLASHING, VALLEY, GUTTERS, VENTS, DOWNSPOUTS, ETC.

** NOTE:
ALL HEADERS, BEAMS AND POSTS TO BE D.F.#1 OR BETTER
CONTRACTOR TO VERIFY
ROOF RAFTERS TO BE 2X6 @ 24" O.C. W/ X:12 ROOF PITCH
SEE SHT A- FOR WALL PLYWOOD SCHEDULE **

* INSTALL MINIMUM OF 3X MEMBERS AT ALL ADJOINING SHEET EDGES
(STUDS AND BLOCKING) AND AT MUDSILL - STAGGER NAILS

** WHERE PANELS ARE APPLIED ON BOTH FACES OF THE WALL AND
NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS
SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR
FRAMING SHALL BE 3x OR THICKER AND NAILS ON EACH SIDE
SHALL BE STAGGERED.

ATTIC VENT CALCULATION

ATTIC SPACE	ATTIC AREA	$x \frac{1}{150}$ = REQ'D. FREE VENT	ATTIC VENT 18" X 18"	1-1/2" HOLE VENT 3 @ EA. BLKG (.0122 SQFT. EA.)	EYE-BROW VENT=.75
(A)	408 SQ.FT.	408/150= 3 S.F.	2 LF X 1 FT = 5.4 SQFT.		

LEGEND

-  INDICATES OF EXISTING ROOFING MATERIAL
-  WALL LINE UNDER ROOF
-  INDICATES AREA FOR ROOF VENT CALCULATION
-  INDICATES ROOF PITCH

NOTE:
USE 1/2" PLYWOOD SHEATHING CDX 5 PLY W/
10d @ 6" O.C. @ BOUNDARY & CONT. PANEL
EDGES & 10d @ 12" O.C. IN FIELD.



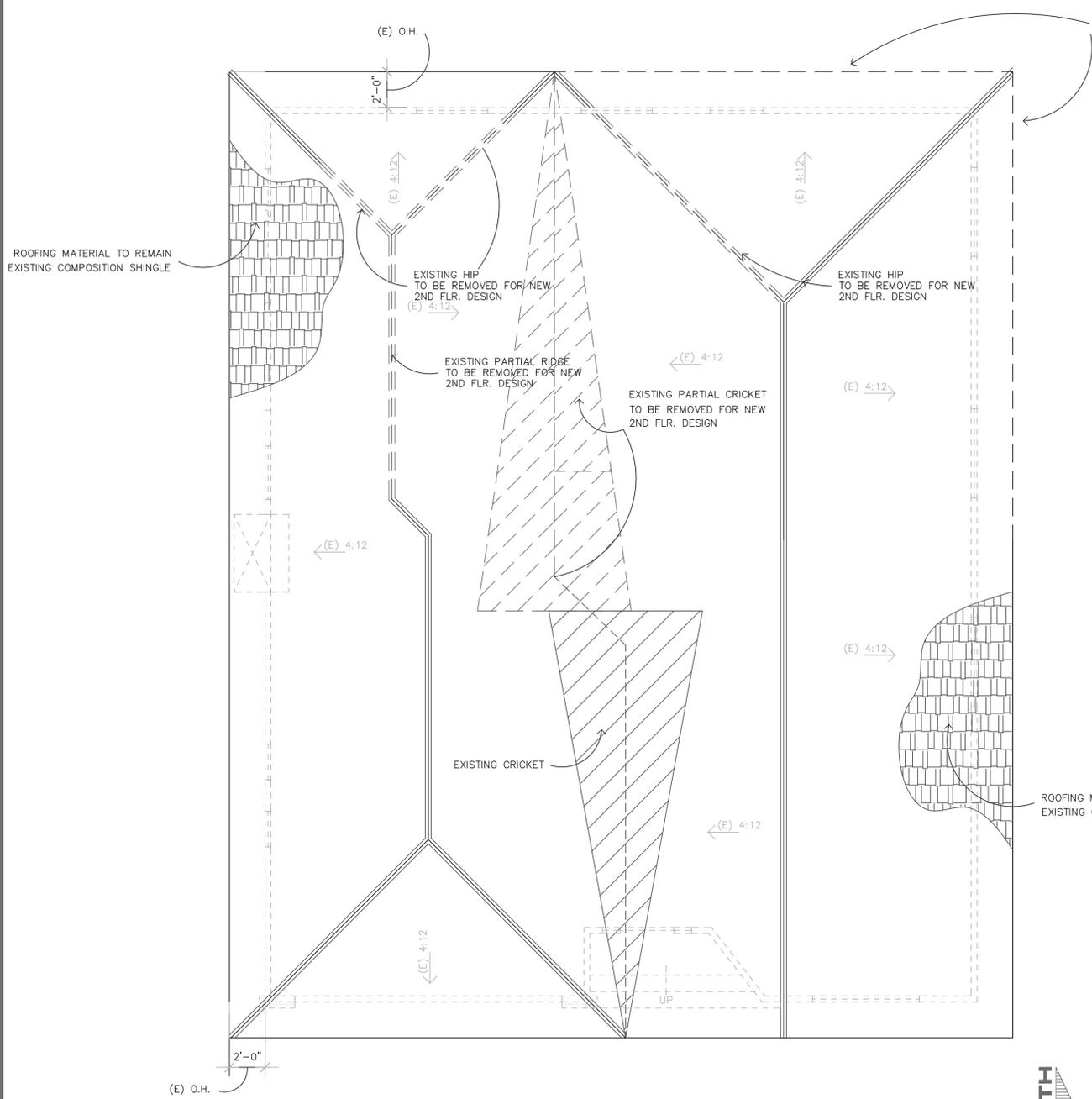
BY	REVISIONS	DATE
MB	1 C.O.S.P.D.	04-25-2014

(E) ROOF AND PROPOSED
(N) ROOF PLAN

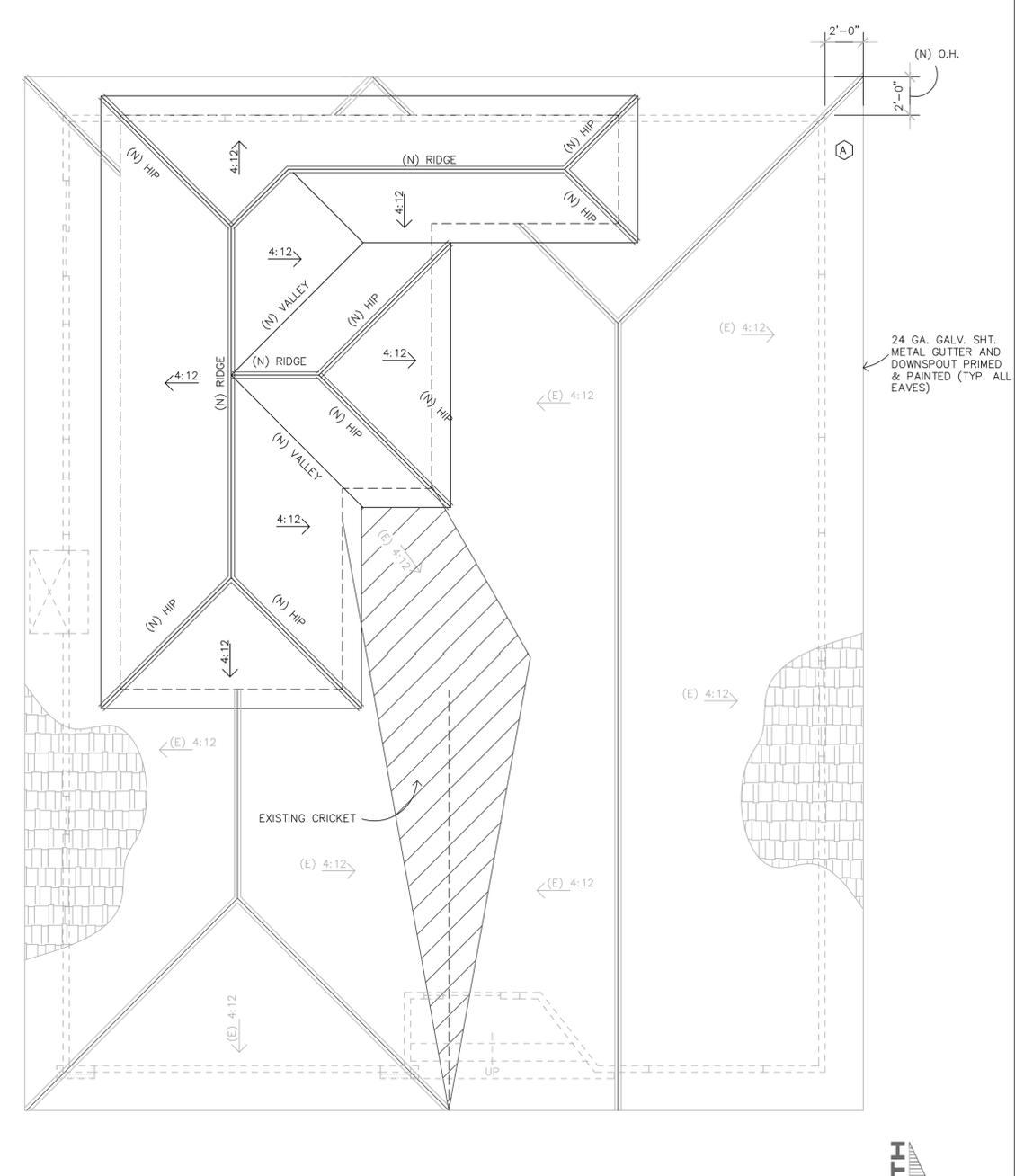
THE JAGAIT RES.
863 SAN PABLO AVE
SUNNYVALE, CA

DATE	SCALE	DRAWN	JOB
3-14-2013	1/4"=1'-0"	MB	777

A-3.1



(E) ROOF PLAN
(EXISTING 1,968 SQ.FT. FOR REFERENCE)



PROPOSED ROOF PLAN
(EXISTING 1,968 SQ.FT. FOR REFERENCE)



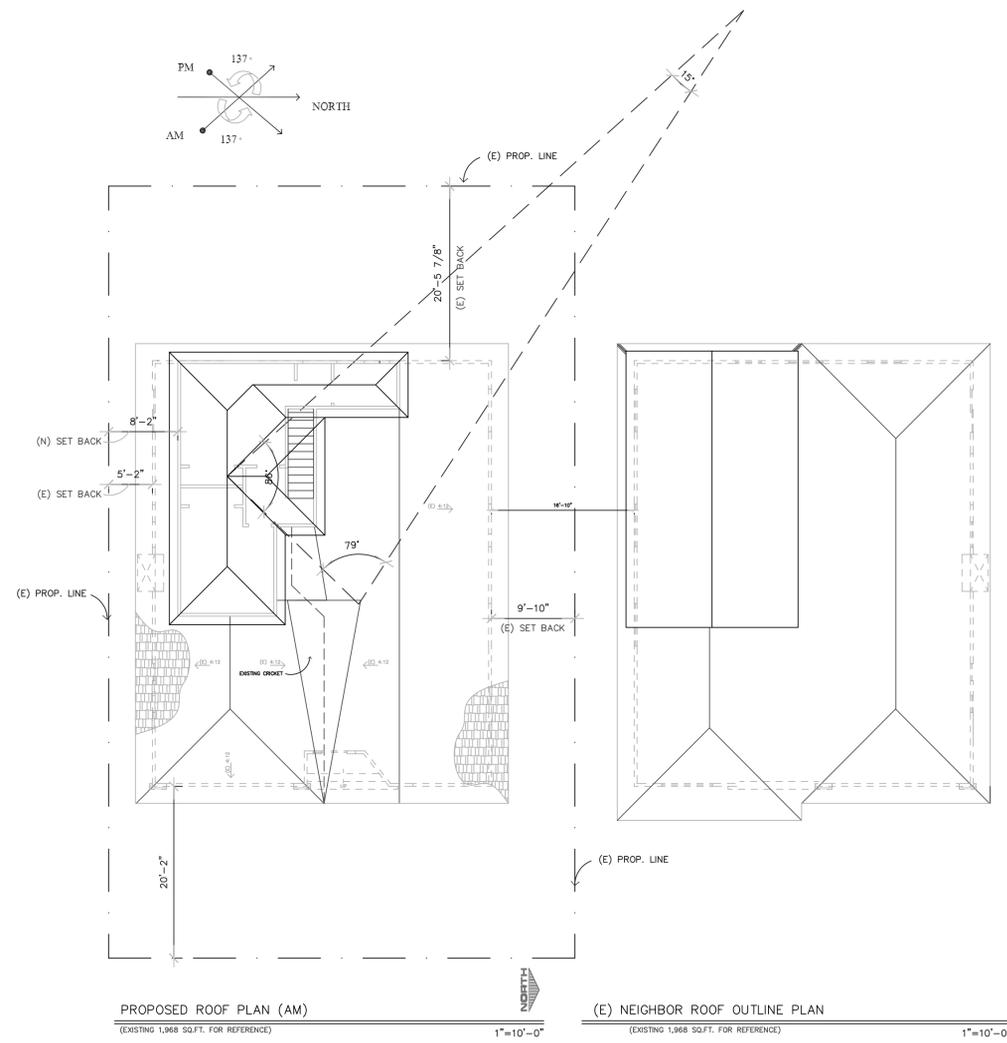
BY	REVISIONS	DATE

AM/PM SHADOW
STUDY PLAN

THE JAGAIT RES.
863 SAN PABLO AVE
SUNNYVALE, CA

DATE	04-17-13
SCALE	1"=10'-0"
DRAWN	MB
JOB	777

AM/PM

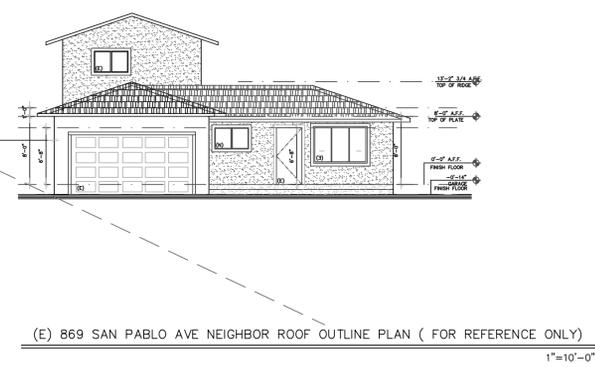


PROPOSED ROOF PLAN (AM)
(EXISTING 1,968 SQ.FT. FOR REFERENCE)

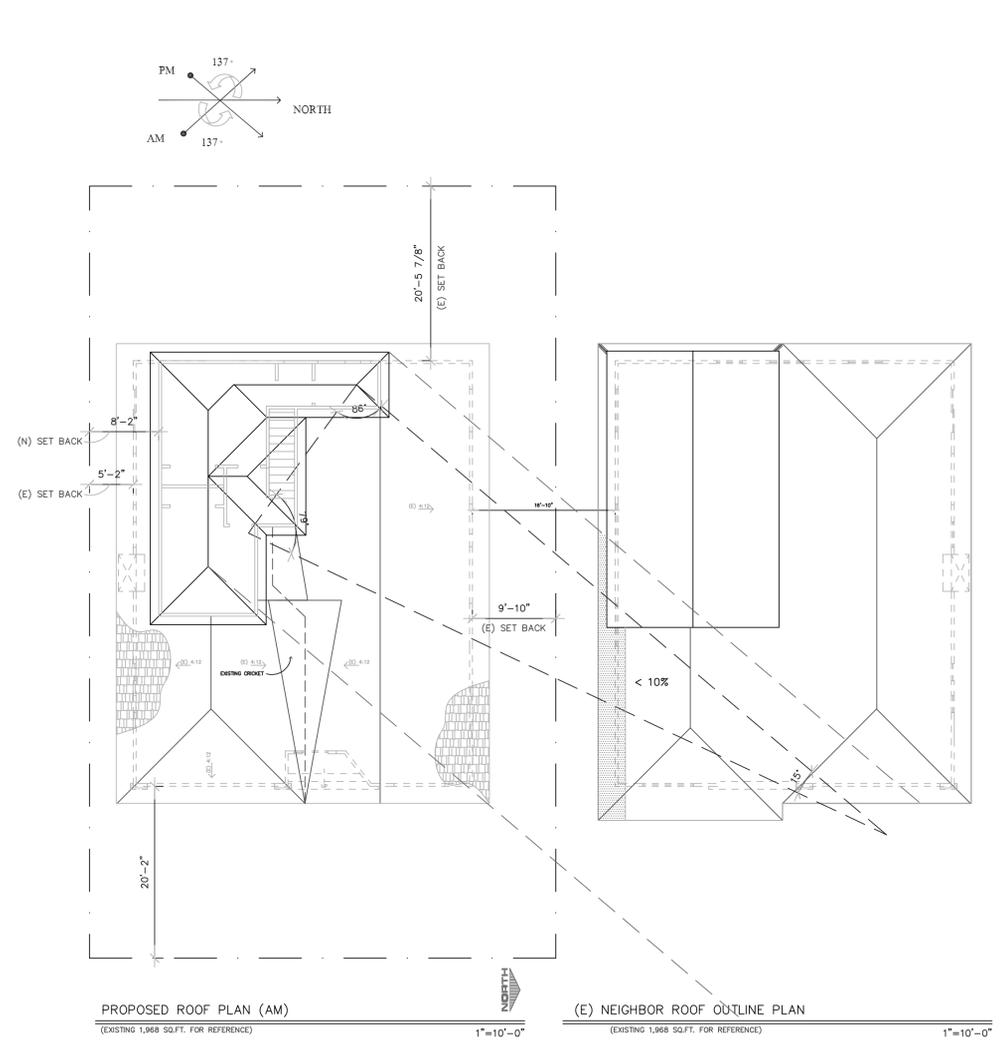
(E) NEIGHBOR ROOF OUTLINE PLAN
(EXISTING 1,968 SQ.FT. FOR REFERENCE)



NEW PROPOSED EAST EXT. ELEVATION



(E) 869 SAN PABLO AVE NEIGHBOR ROOF OUTLINE PLAN (FOR REFERENCE ONLY)

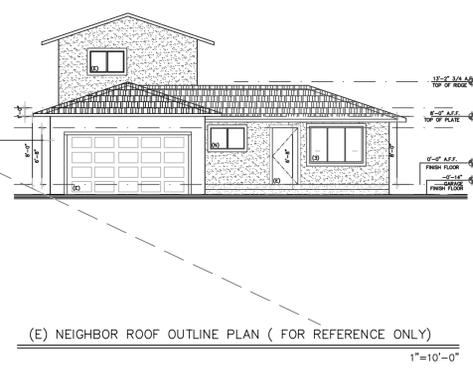


PROPOSED ROOF PLAN (AM)
(EXISTING 1,968 SQ.FT. FOR REFERENCE)

(E) NEIGHBOR ROOF OUTLINE PLAN
(EXISTING 1,968 SQ.FT. FOR REFERENCE)



NEW PROPOSED EAST EXT. ELEVATION



(E) NEIGHBOR ROOF OUTLINE PLAN (FOR REFERENCE ONLY)