



VICINITY MAP

N.T.S.



PROJECT DIRECTORY

APPLICANT:
 DAVID BABCOCK + ASSOCIATES
 3581 MOUNT DIABLO BLVD., SUITE 235
 LAFAYETTE, CA. 94549
 PHONE: (925) 283-5070
 CONTACT: JEFF BERBERICH

MG2 ARCHITECTS:
 1101 SECOND AVENUE SUITE 100
 SEATTLE, WA 98101
 PHONE: (206) 962-6500
 CONTACT: JOSEPH WELCH

CIVIL ENGINEER/SURVEY:
 KIER & WRIGHT
 2850 COLLIER CANYON RD.
 LIVERMORE, CA 94551
 PHONE: (925) 245-8788
 CONTACT: STEVE CALCAGNO

LANDSCAPE ARCHITECT:
 DAVID BABCOCK + ASSOCIATES
 3581 MT. DIABLO BLVD., SUITE 235
 LAFAYETTE, CA. 94549
 PHONE: (925) 283-5070
 CONTACT: JEFF BERBERICH

COSTCO WHOLESALE SUNNYVALE, CA

APPLICATION FOR: MINOR SPECIAL DEVELOPMENT PERMIT



LOCATION MAP

Scale: N.T.S.



REGIONAL MAP

N.T.S.



PROJECT DATA

PROJECT LOCATION:	1210 KIFER ROAD, SUNNYVALE, CA 94086
PARCEL NUMBER:	APN: 216-27-053
CURRENT ZONING:	MXD1 FLEXIBLE MIXED USE DISTRICT
SITE AREA:	1.6 ACRES (69,701 SF.)
JURISDICTION:	CITY OF SUNNYVALE, CA
BOUNDARIES INFORMATION:	THIS PLAN HAS BEEN PREPARED USING SITE DATA FROM KIER & WRIGHT DATED JUNE 2020

SCOPE OF WORK

DEMOLITION OF AN EXISTING RESTAURANT AND PARKING LOT FOR AN EXPANSION OF THE EXISTING COSTCO WHOLESALE PARKING LOT

SHEET INDEX

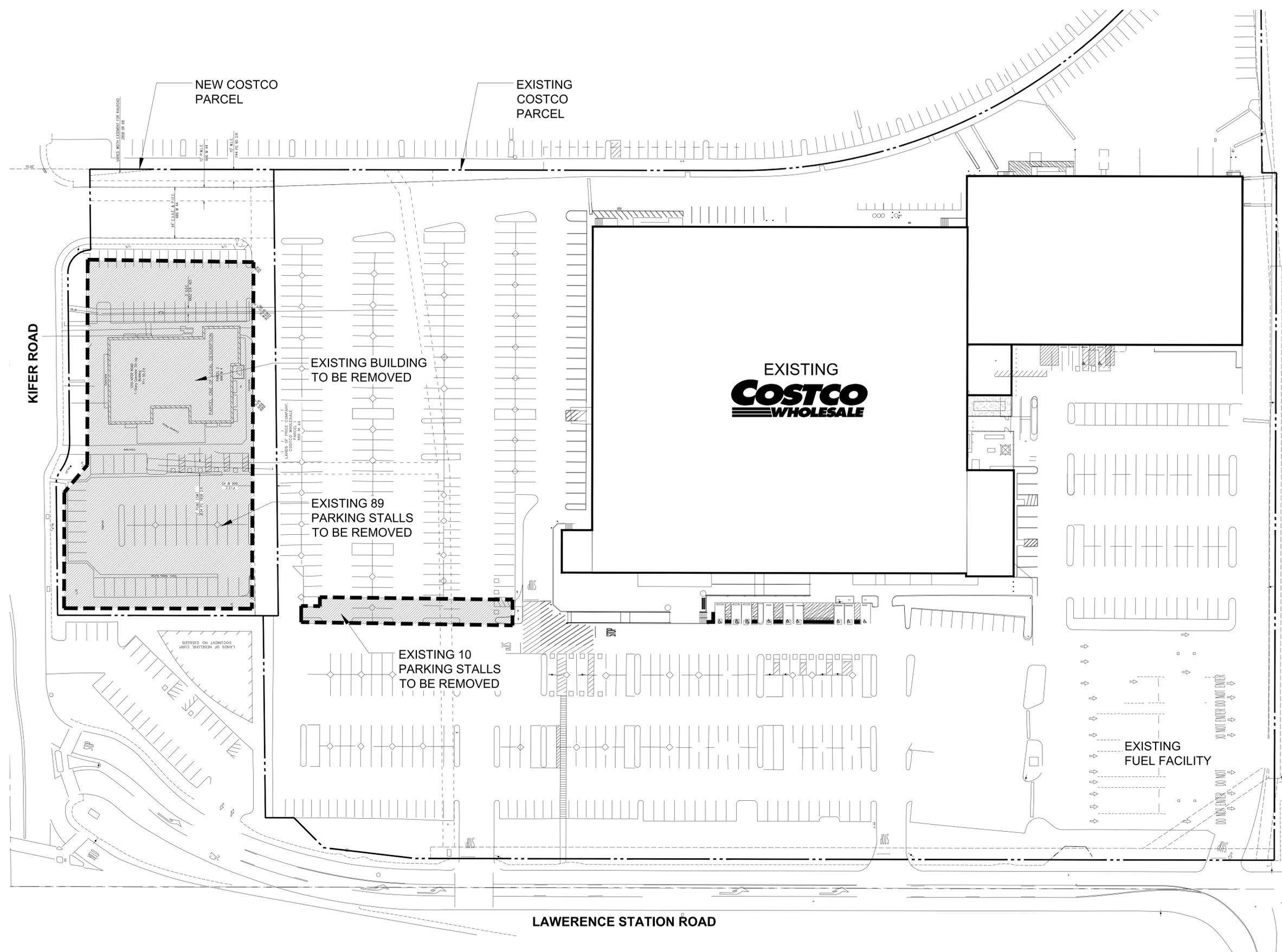
1. TITLE SHEET
2. EXISTING PARKING PLAN
3. OVERALL SITE PLAN
4. CIRCULATION EXHIBIT
5. CONCEPT SITE PLAN
6. PRELIMINARY LANDSCAPE PLAN
7. PARKING LOT SHADING PLAN
8. STREET SECTIONS
9. C1 TOPOGRAPHIC SURVEY
10. C2 PRELIMINARY GRADING & DRAINAGE PLAN
11. C3 PRELIMINARY STORM WATER QUALITY CONTROL PLAN
12. SE-1 EXTERIOR LIGHTING PLAN
13. EXH-1 IMPERVIOUS SURFACE EXHIBIT

DBA # P .274

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 ARCHITECTURE PLANNING LANDSCAPE
 3581 MT. DIABLO BLVD., SUITE 235
 LAFAYETTE, CALIFORNIA 94549
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Existing Parking Data

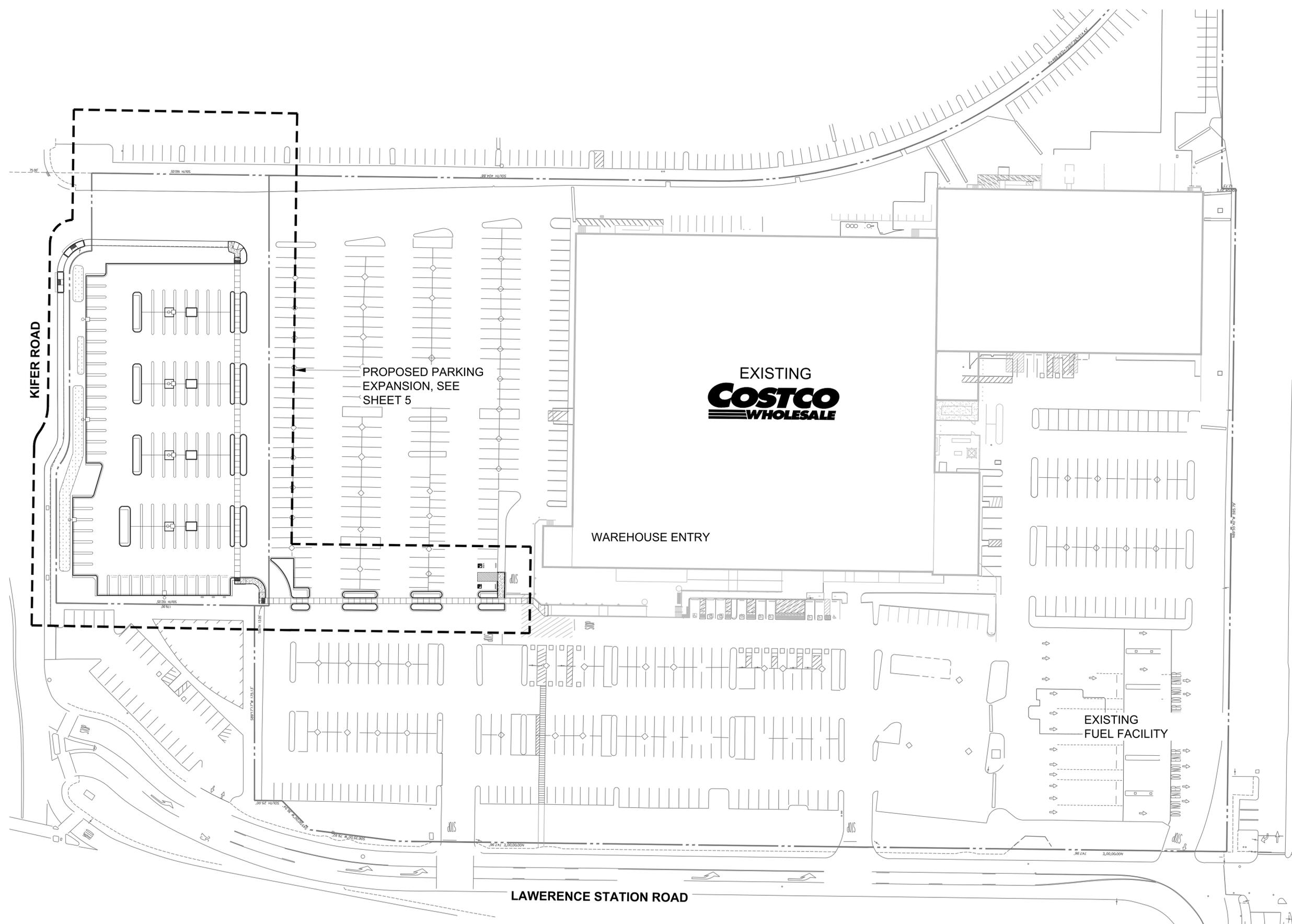
Existing Costco Parcel	
Existing Standard Stalls:	718 stalls
Existing Accessible Stalls:	+28 stalls
Existing Standard Stalls to be removed for pedestrian path:	-10 stalls
Total Existing Parking Stalls:	736 stalls

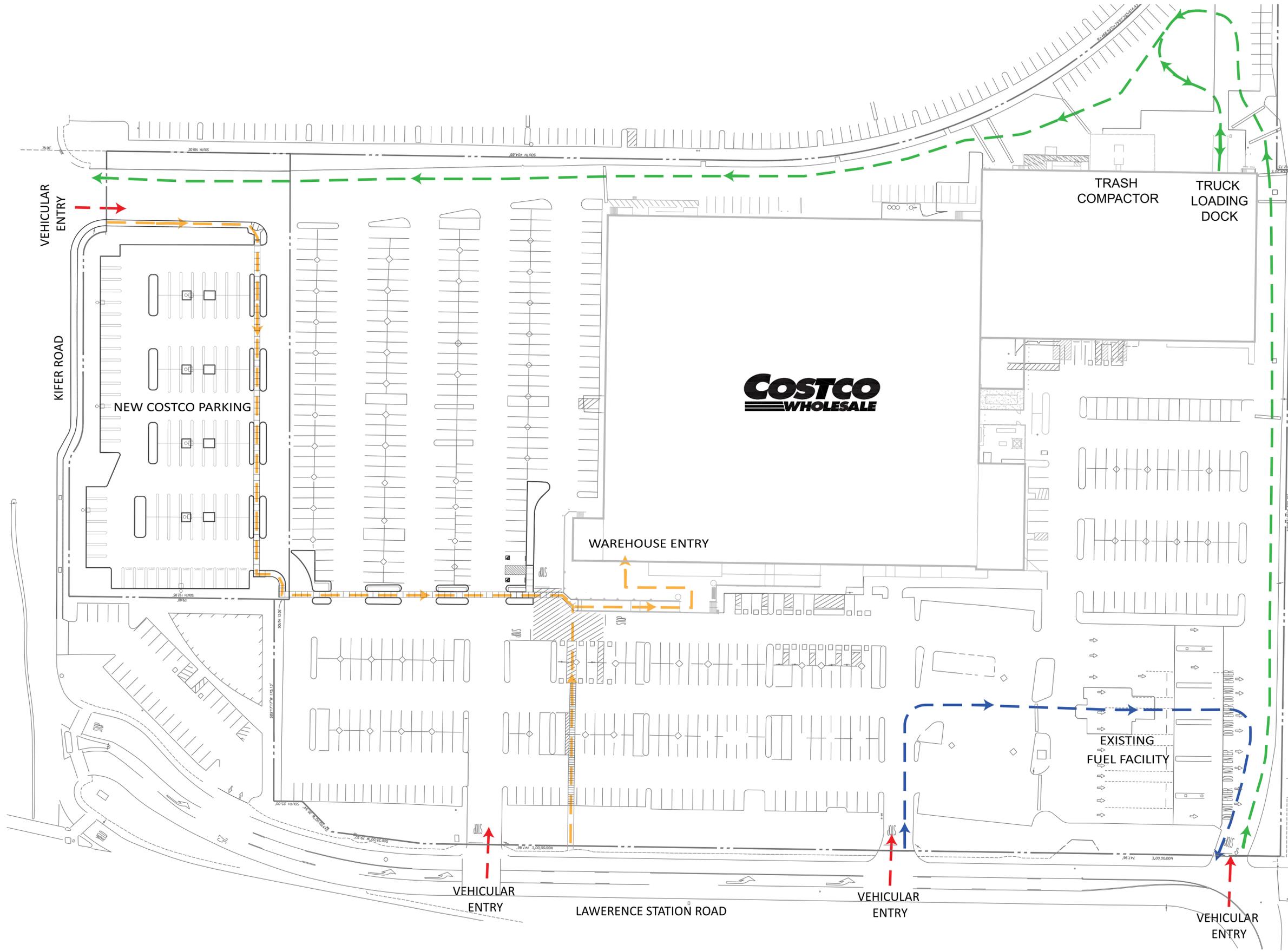
New Costco Parcel	
Existing Standard Stalls to be removed	- 89

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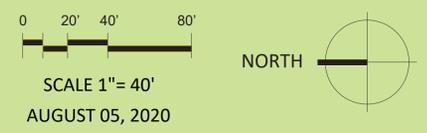
LEGEND

- - - VEHICLE ACCESS
- - - FUEL TRUCK ACCESS
- - - WAREHOUSE TRUCK ACCESS
- - - PEDESTRAIN ACCESS

NOTE: FIRE ACCESS IS PROVIDED TO ALL SIDES OF THE (E) WAREHOUSE BUILDING.

COSTCO SUNNYVALE, CA

CIRCULATION EXHIBIT

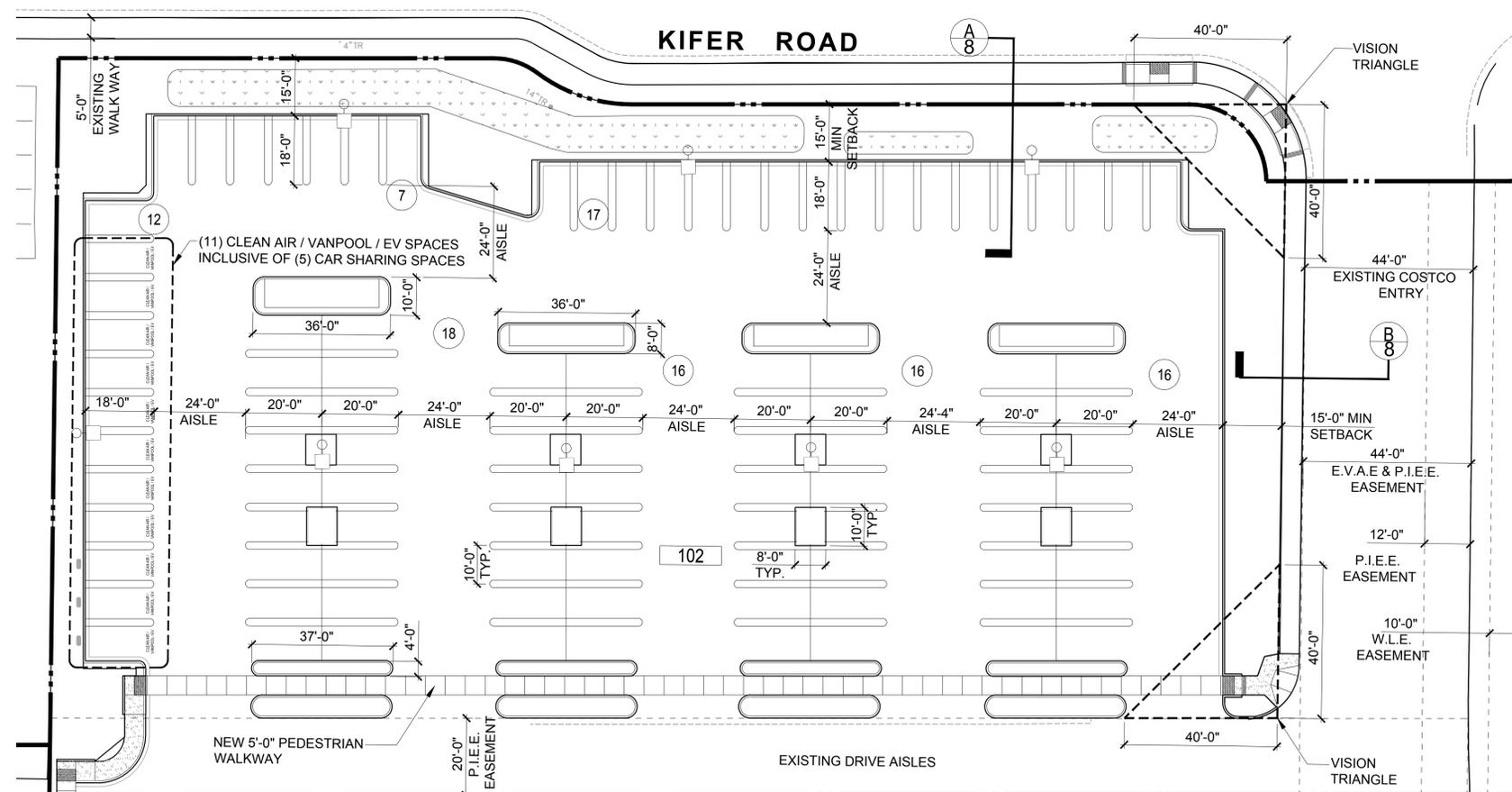


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SHEET
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of 13



Project Data

Client: Costco Wholesale
 999 Lake Drive
 Issaquah, WA 98027
 Project Address: 1210 Kifer Road,
 Sunnyvale, CA 94086

Site Data

Jurisdiction: City of Sunnyvale
 Current Zoning: MXD1 - Flexible Mixed Use District
 Boundaries Information: This plan has been prepared using the Topographic Survey dated June 2020 prepared by Kier & Wright and is for preliminary use only

Existing Parking Data

Existing Standard Stalls:	718 Stalls
Existing Accessible Stalls:	+28 Stalls

Total Existing Parking Stalls: 746 Stalls

Proposed Parking Data

Proposed Standard Parking Stalls 10'x20' :	91 Stalls
Required Clean Air/Vanpool/EV stalls:	+11 Stalls (See Parking Notes 2-3)

Total Proposed Parking Stalls: 102 Stalls

Overall Parking Data

Total Existing Parking Stalls:	746 Stalls
Existing Existing Stalls to be removed for pedestrian path:	-10 Stalls
Total Proposed Parking Stalls:	+102 Stalls

Total Overall Parking Stalls: 838 Stalls

Required Parking

Number of Stalls per 1000 SF of Building Area: (139,303 SF)	6.0 Stalls/1000 SF Provided
Required Accessible Stalls:	5 stalls (See Parking Note 1)
Required Clean Air/Vanpool/EV stalls:	11 stalls (See Parking Note 2)
Required EV capable stalls:	7 stalls (See Parking Note 3)

NOTE: Min. 6" high poured-in-place concrete curbs should be provided around all landscaped areas to protect landscaping from automobiles (Section 19.46.050d)

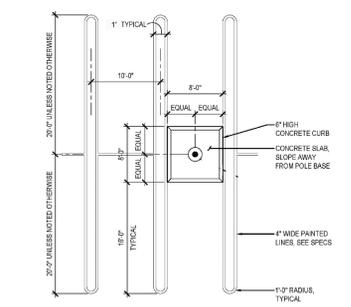
PARKING NOTES:

- The required (5) additional accessible stalls (Per CBC 11B-208.2 table 21A) are included in the existing 28 accessible stalls located near the Costco building entrance.
- The proposed five (5) car sharing stalls (per Sunnyvale City Zoning Ordinance, 5% of all parking stalls) are included in the required eleven (11) stalls designated for Clean Air/Vanpool/EV spaces (per CAL Green table 5.106.5.2) provided.
- The proposed seven (7) EV stalls (per CAL Green EV Spaces required Table 5.106.5.3.3) are included in the required eleven (11) stalls designated for Clean Air/Vanpool/EV spaces (per CAL Green table 5.106.5.2) provided.

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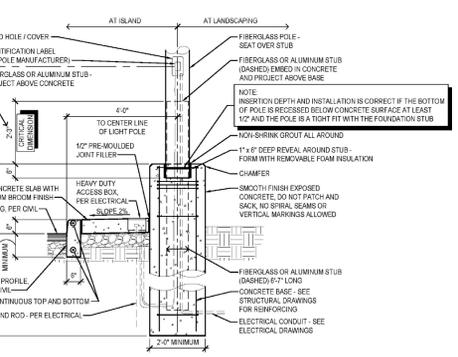
PARKING DETAIL

Scale: N.T.S.



ISLAND AT LIGHT POLE BASE

Scale: N.T.S.

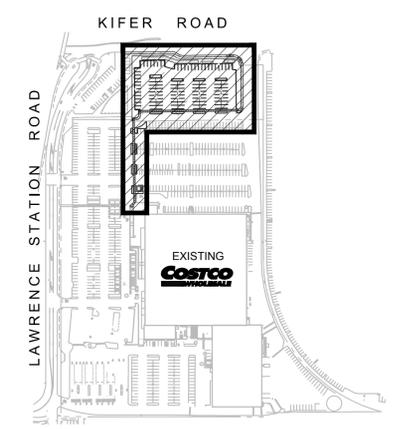


LIGHT POLE BASE AT CONCRETE ISLAND/ LANDSCAPING

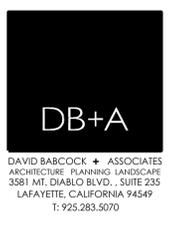
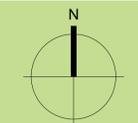
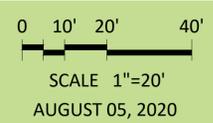
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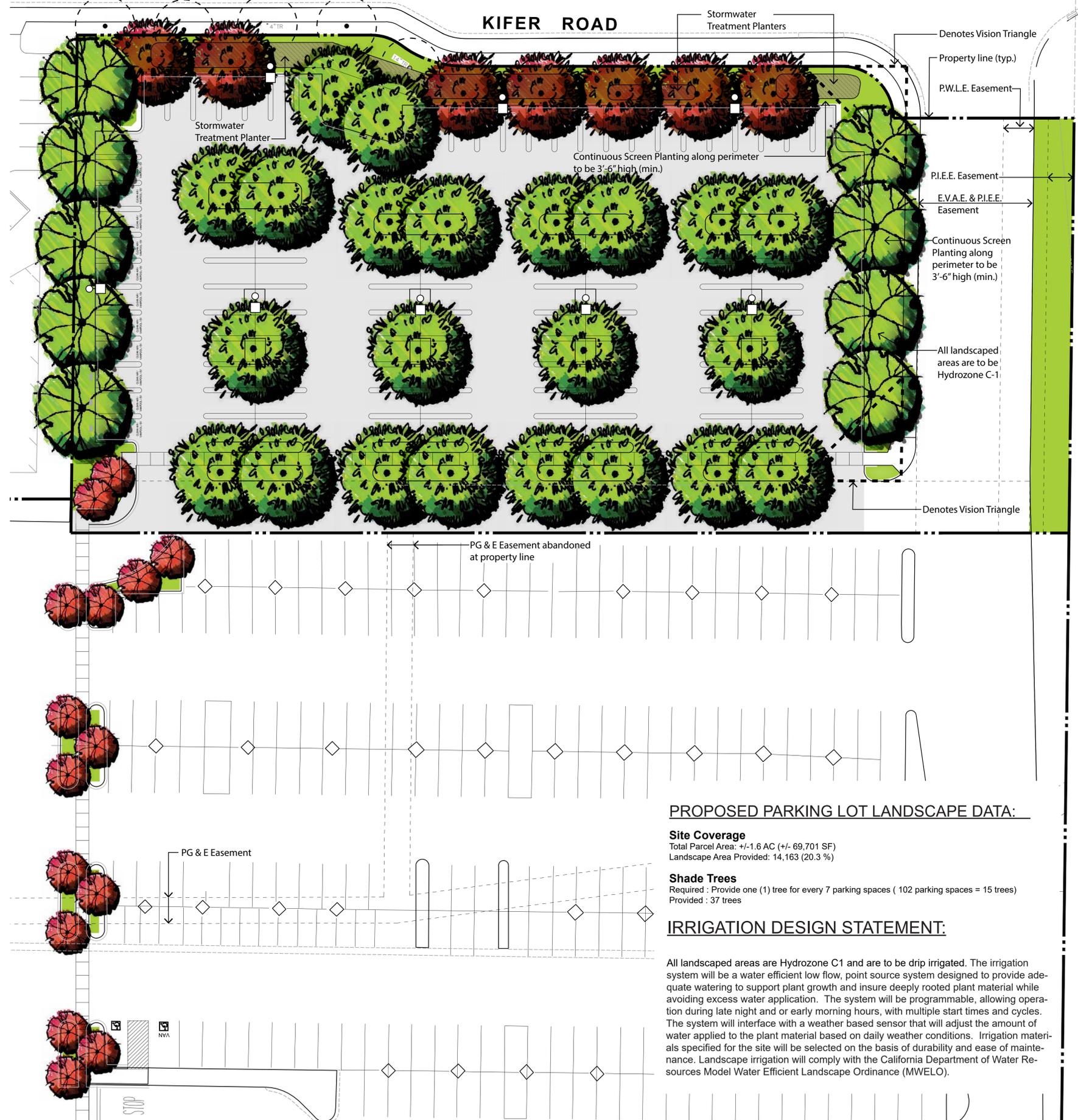


SAMPLE COLOR OF CONCRETE FOR PEDESTRIAN WALK WAY
 Scale: N.T.S.
 PROPOSED MATERIAL FOR THE PEDESTRIAN WALK WAY IS COLORED CONCRETE BY SCOFIELD INTEGRAL COLOR SG OR SIMILAR SAMPLE NO. SG160-4 RED BRICK



Key Map
 Scale: N.T.S.





PROPOSED PARKING LOT LANDSCAPE DATA:

Site Coverage
 Total Parcel Area: +/-1.6 AC (+/- 69,701 SF)
 Landscape Area Provided: 14,163 (20.3 %)

Shade Trees
 Required : Provide one (1) tree for every 7 parking spaces (102 parking spaces = 15 trees)
 Provided : 37 trees

IRRIGATION DESIGN STATEMENT:

All landscaped areas are Hydrozone C1 and are to be drip irrigated. The irrigation system will be a water efficient low flow, point source system designed to provide adequate watering to support plant growth and insure deeply rooted plant material while avoiding excess water application. The system will be programmable, allowing operation during late night and or early morning hours, with multiple start times and cycles. The system will interface with a weather based sensor that will adjust the amount of water applied to the plant material based on daily weather conditions. Irrigation materials specified for the site will be selected on the basis of durability and ease of maintenance. Landscape irrigation will comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWEL0).

PLANT LEGEND

Symbols	Botanical / Common Name	Size	WUCOLS (Water Use Classification Of Landscape Species)	Spacing	Quantities	Comments
Trees						
	Existing Tree to Remain					
	Acer rubrum 'Redpointe' / Redpointe Maple	24" box	M	As shown	7	Matched Standards.
	Lagerstroemia hyb. 'Tuscarora' / Tuscarora Crape Myrtle	24" box	L	As shown	15	Matched Standards.
	Quercus coccinea / Scarlet Oak	24" box	L	As shown	22	Matched Standards.
	Ulmus parvifolia 'True Green' / True Green Chinese Elm	24" box	M	As shown	9	Matched Standards.
Understory Planting						
Shrubs / Perennials						
	Callistemon viminalis 'Little John' / Little John Dwarf Bottlebrush	5 gal	L	3' o.c.		
	Diets bicolor / Fortnight Lily	5 gal.	L	4' o.c.		
	Grevillea rosmarinifolia 'Scarlet Sprite' / Scarlet Sprite Rose-Mary Grevillea	15 gal	L	4' o.c.		
	Lomandra longifolia 'Breeze' / Breeze Mat Rush	1 gal.	L	4' o.c.		
	Rhamnus californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	15 gal	L	7' o.c.		
	Rosa meigalpio 'Red Drift' / Red Drift Shrub Rose	2 gal	M	2' o.c.		
Groundcovers						
	Arctostaphylos 'Pacific Mist' / Pacific Mist Arctostaphylos	1 gal.	L	6' o.c.		
	Cotoneaster dammeri 'Lowfast' / Lowfast Prostrate Cotoneaster	1 gal.	L	8' o.c.		
	Rosmarinus officinalis 'Prostratus' / Prostrate Rosemary	1 gal.	L	4' o.c.		
Ornamental Grasses						
	Festuca mairei / Atlas Fescue	1 gal.	L	3' o.c.		
	Pennisetum orientale / Oriental Fountain Grass	1 gal.	M	3' o.c.		
Storm Water Treatment Planter						
	Chondropetalum tectorum / Cape Rush	1 gal.	L	4' o.c.		
	Juncus patens 'Elk Blue' / Elk Blue California Gray Rush	1 gal.	L	2' o.c.		
	Muhlenbergia rigens / Deer Grass	1 gal	L	4' o.c.		
	Nepeta racemosa 'Walker's Low' / Walker's Low Nepeta	1 gal.	L	4' o.c.		

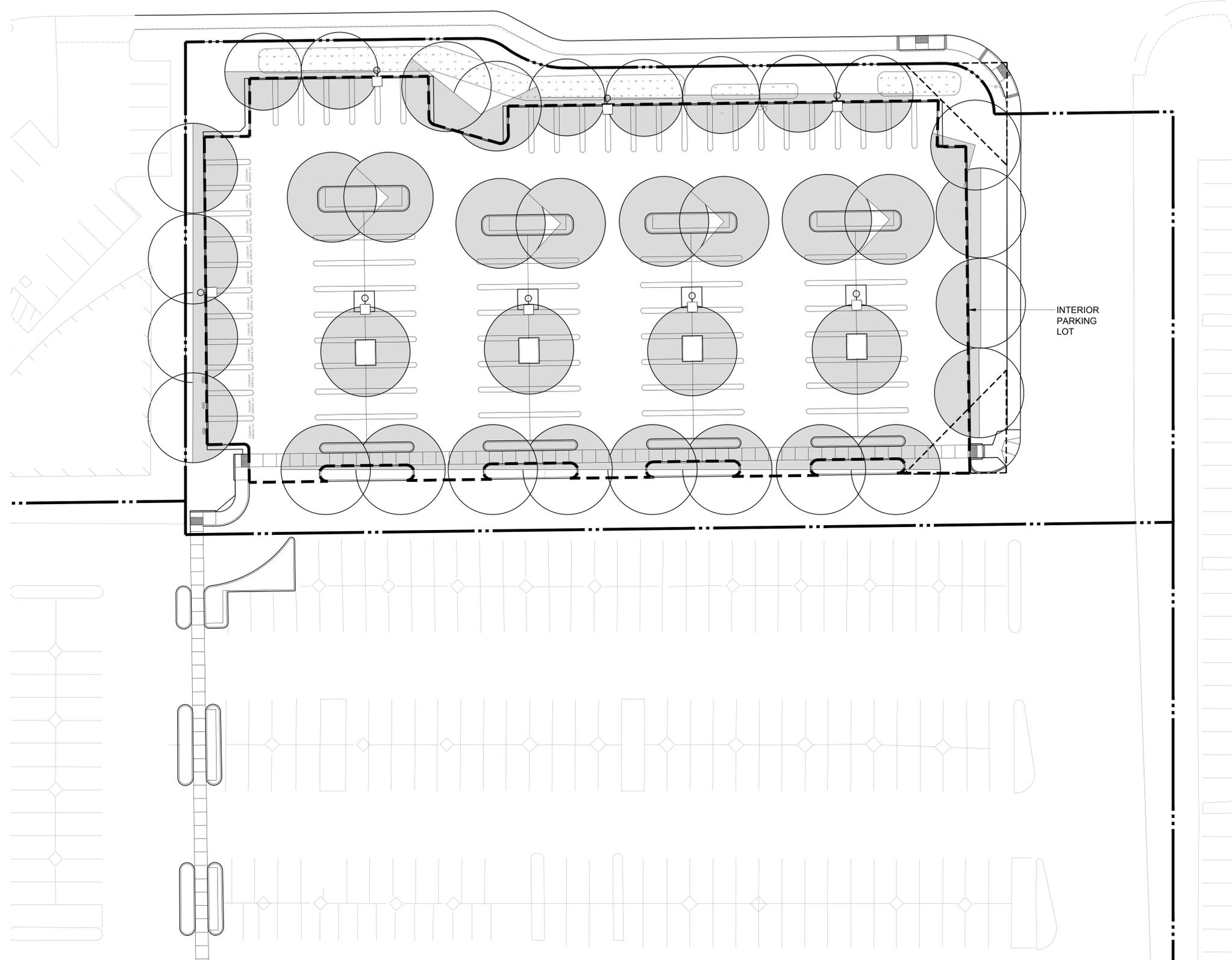
DBA # P.247



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KIFER ROAD



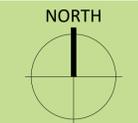
SUNNYVALE TREE SHADING CALCULATIONS

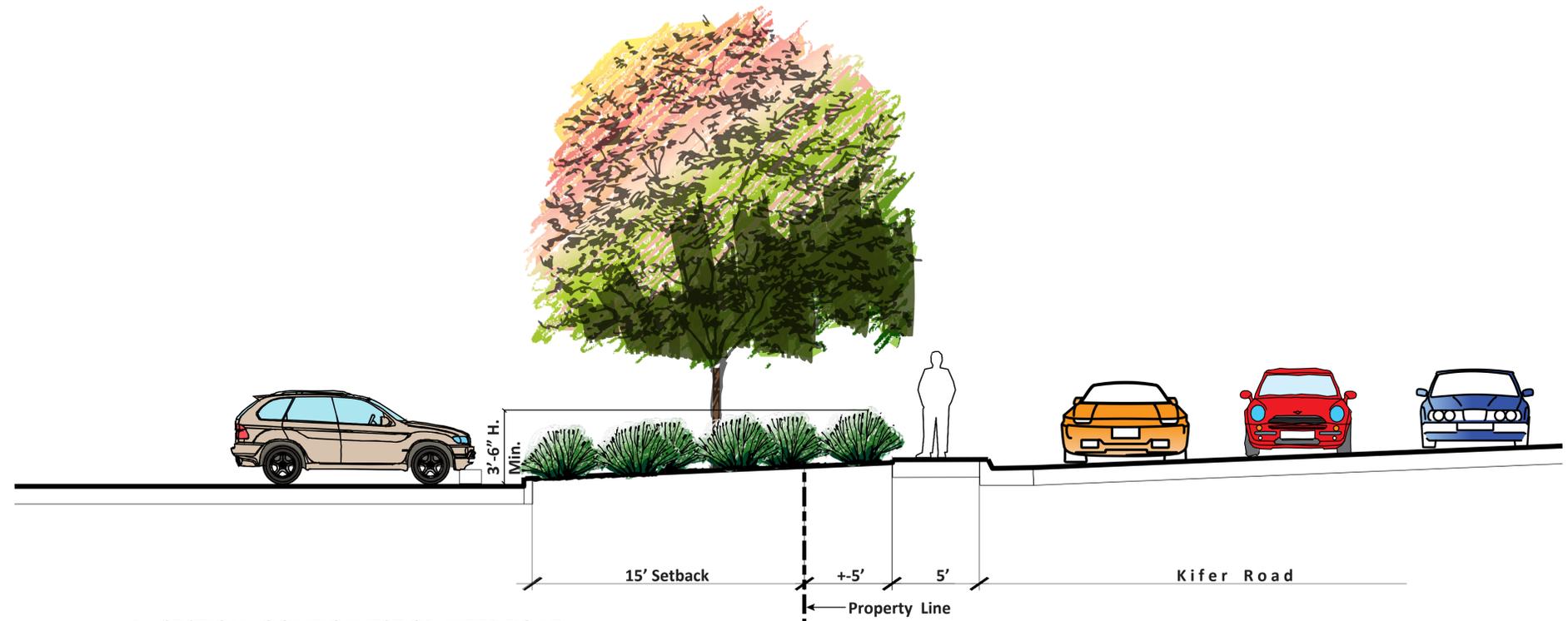
Tree Species	Canopy Size	Coverage	Qty	Area (SF)	Total (SF)
Scarlet Oak	35'	Full	8	962	7696
		Three Qtr.	4	722	2888
		Half	10	481	4810
		Quarter	0	240	0
		Total	22		15394
Redpoint Maple	30'	Full	0	708	0
		Three Qtr.	0	531	0
		Half	7	354	2478
		Quarter	0	177	0
		Total	7		2478
Chinese Elm	35'	Full	0	962	0
		Three Qtr.	0	722	0
		Half	7	481	3367
		Quarter	1	240	240
		Total	8		3607
				Total Shade Coverage	21479
				Interior Parking Lot	40324
				Shade Percentage	53.3%

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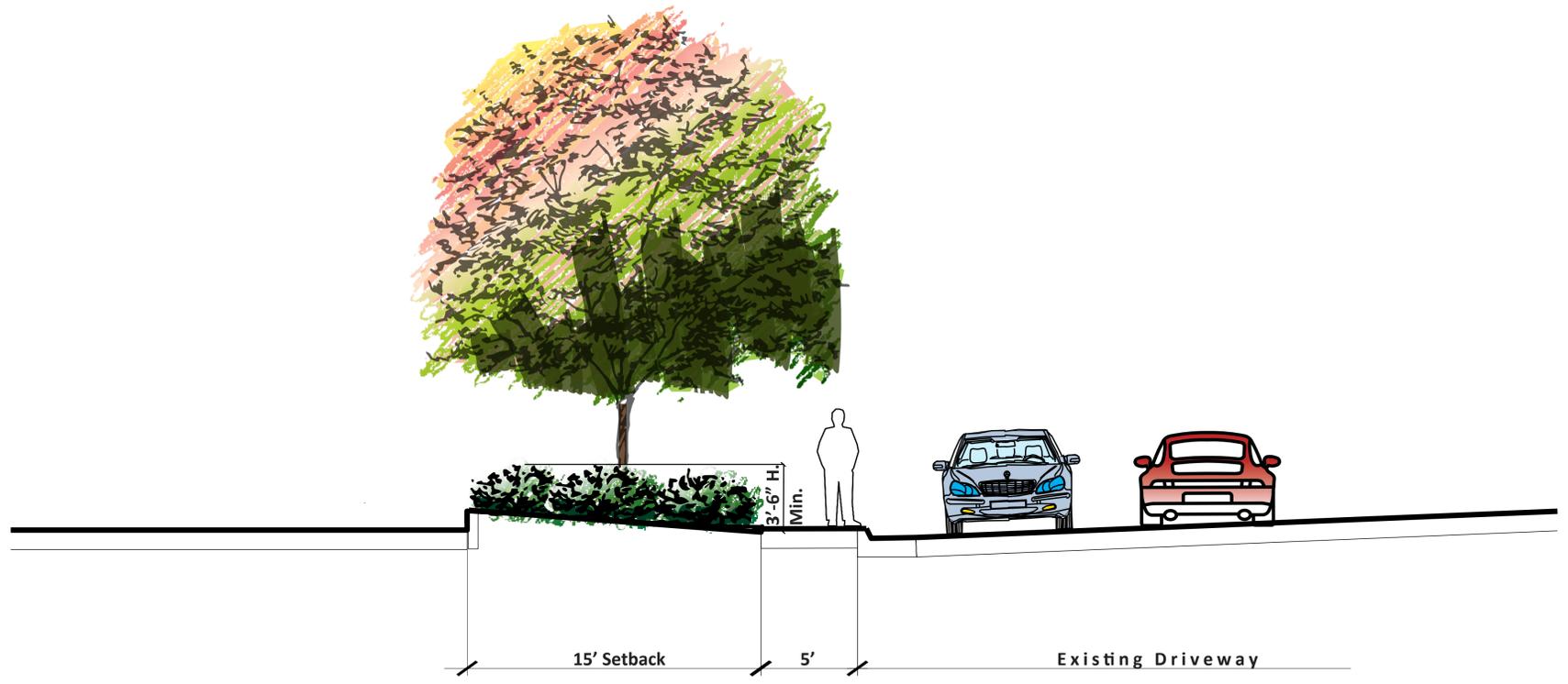


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A SECTION LOOKING WEST ON KIFER ROAD



B SECTION LOOKING NORTH ON EXISTING DRIVEWAY

COSTCO SUNNYVALE, CA
 STREET SECTIONS

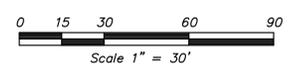
0 2' 4' 8'
 SCALE 1/4" = 1'
 AUGUST 05, 2020

DBA # P.274

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SHEET
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 of 13



NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.

NOTES

- THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF SEPTEMBER 27, 2017, ORDER NUMBER NCS-872436-WA1, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC BY COSTCO WHOLESALE ON OCTOBER 18, 2017. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0226H FOR COMMUNITY NUMBER 060352 (CITY OF SUNNYVALE), WITH AN EFFECTIVE DATE OF 05/18/2009, AS BEING LOCATED IN FLOOD ZONE "X" (SHADED), AREA PROTECTED BY LEVEE. ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (DOTTED) IS: AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD
- BENCHMARK: BENCHMARK FOR COSTCO IS KIER & WRIGHT CONTROL NAIL #414 ELEVATION= 59.85'. THIS ELEVATION DOES NOT MATCH THE CITY OF SUNNYVALE BENCHMARK BY 2.20 FEET. THE SUNNYVALE ELEVATION DATUM (NGVD 1929) IS 57.65' WHICH IS 2.20 FEET LOWER THAN THE COSTCO DATUM.
- BASIS OF BEARINGS: THE BEARING OF NORTH 89° 17' 17" EAST TAKEN ON THE MONUMENT LINE OF KIFER ROAD; AS SHOWN ON THAT CERTAIN PARCEL MAP, FILED FOR RECORD ON JUNE 28, 1995, IN BOOK 666 OF MAPS AT PAGES 44 AND 45, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGAMMETRIC METHODS BY PHOTO SCIENCE INC., IN EMERYVILLE CALIFORNIA. JOB NUMBER 8502-109. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 07-20-12, ORIGINAL COMPILED MAP SCALE 1"=40', CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON A LOCAL, ASSUMED COORDINATE SYSTEM. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, LIVERMORE, CA.

LEGEND

	BUILDING LINE		FACE OF CURB
	CONCRETE/BLOCK/RETAINING WALL		FIRE DEPARTMENT CONNECTION
	CONCRETE CURB		FINISH FLOOR
	CONCRETE CURB & GUTTER		FLOW LINE
	DRIVEWAY		FIRE HYDRANT
	EASEMENT LINE		FOUND
	ELECTRIC LINE		FIBER OPTICS
	FENCE LINE		FACE OF WALL
	FIBER OPTICS LINE		GAS LINE
	FIRE SERVICE		GAS MARKER/METER
	GAS LINE-VALVE & METER		GROUND
	LEVEL THREE		IRRIGATION BOX
	LOT LINE		INVERT ELEVATION
	FIBER OPTIC LINE		INVERT
	MONUMENT/MONUMENT LINE		LIGHT
	PROPERTY LINE		MONUMENT
	SANITARY SEWER-MANHOLE & CLEANOUT		NUMBER
	SIDEWALK		OFFICIAL RECORD
	SPOT ELEVATION		PAVEMENT FACE OF CURB
	STORM DRAIN-MANHOLE & CATCH BASIN		PRIVATE INGRESS EGRESS EASEMENT
	STREET LIGHT CONDUIT LINE		PAGE
	TELEPHONE LINE		PACIFIC GAS & ELECTRIC
	WATER LINE & VALVE		POST INDICATOR VALVE
	BACKFLOW PREVENTION DEVICE		POINT OF CONNECTION
	ELECTROLINER		PUBLIC WATER LINE EASEMENT
	FIRE DEPARTMENT CONNECTION		PER PLAN
	FIRE HYDRANT		RIM ELEVATION
	GAS METER		STORM DRAIN EASEMENT
	POST INDICATOR VALVE		STORM DRAIN MANHOLE
	TRANSFORMER		STREET LIGHT
	TRAFFIC SIGN		STREET LIGHT
	TREE		STREET LIGHT BOX
	UTILITY BOX		SANITARY SEWER
	WATER VALVE		SANITARY SEWER CLEAN OUT
	ANGLE POINT		SANITARY SEWER MANHOLE
	BEGN CURVE		TELEPHONE BOX
	BACK FLOW PREVENTER		TOP OF CURB
	BUILDING LINE		GRADE BREAK LINE TOP
	BUILDING LINE		TRANSFORMER
	BOLLARD		TRAFFIC SIGNAL BOX
	BACK OF WALK		TRAFFIC SIGNAL POLE
	CONCRETE		UNKNOWN UTILITY BOX
	DOUBLE DETECTOR CHECK VALVE		UNKNOWN DESTINATION
	END OF CURVE		VALLEY GUTTER
	EMERGENCY VEHICLE ACCESS EASEMENT		WATER LINE EASEMENT
	ELECTRIC BOX		WATER BOX
	ELECTRICAL MANHOLE		WATER METER
	EASEMENT		WATER VALVE

TOPOGRAPHIC SURVEY

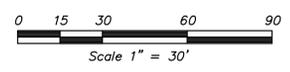
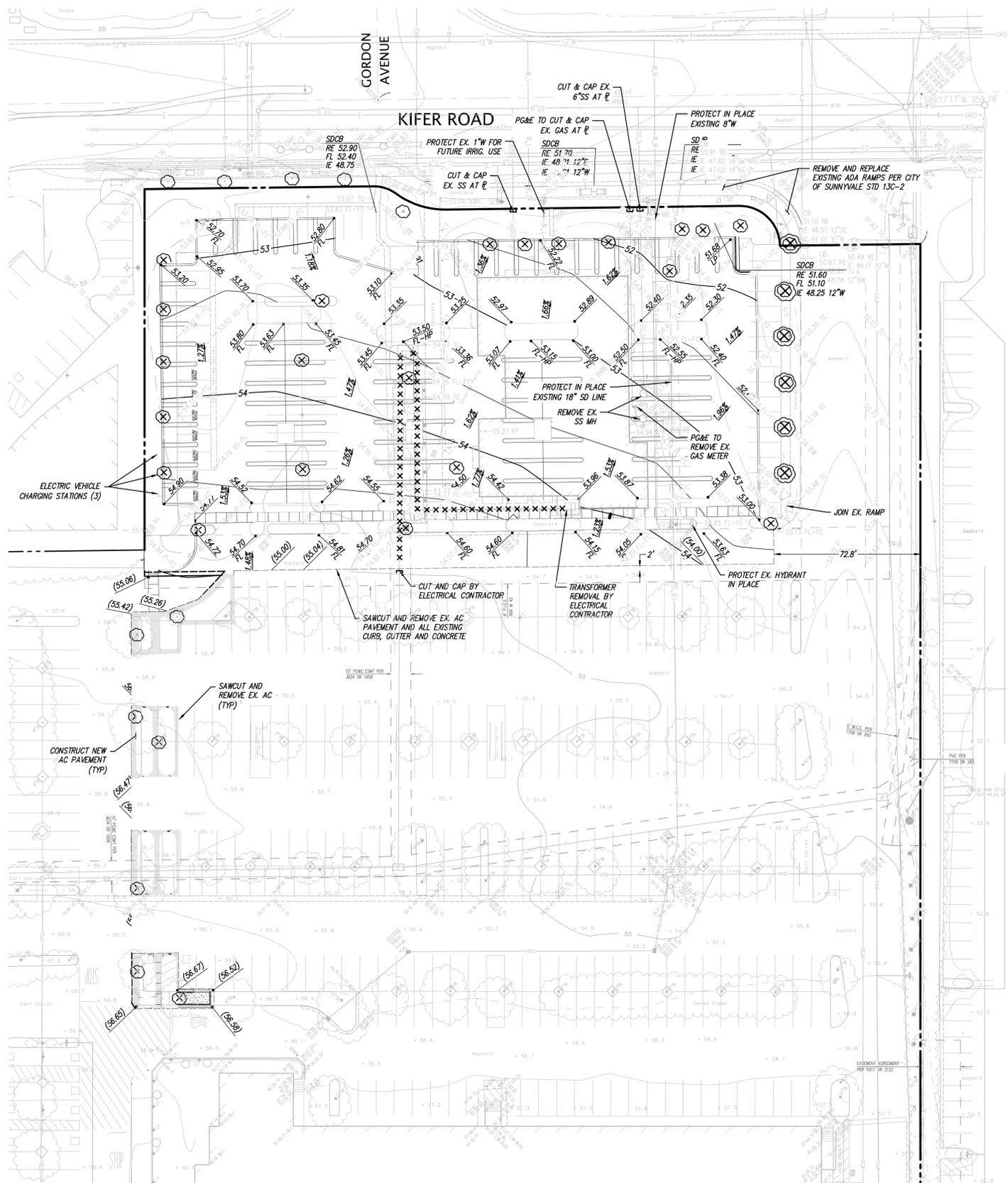
OF
1210 KIFER ROAD PARKING LOT EXPANSION
FOR
COSTCO WHOLESALE CORPORATION
SUNNYVALE, CALIFORNIA

DATE	JUNE 2020
SCALE	1"=30'
SURVEYOR	RJH
DRAWN BY	BMM
JOB NO.	A12584-5
SHEET	C1
OF	3 SHEETS

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796
www.kierwright.com

BY	
REVISION	
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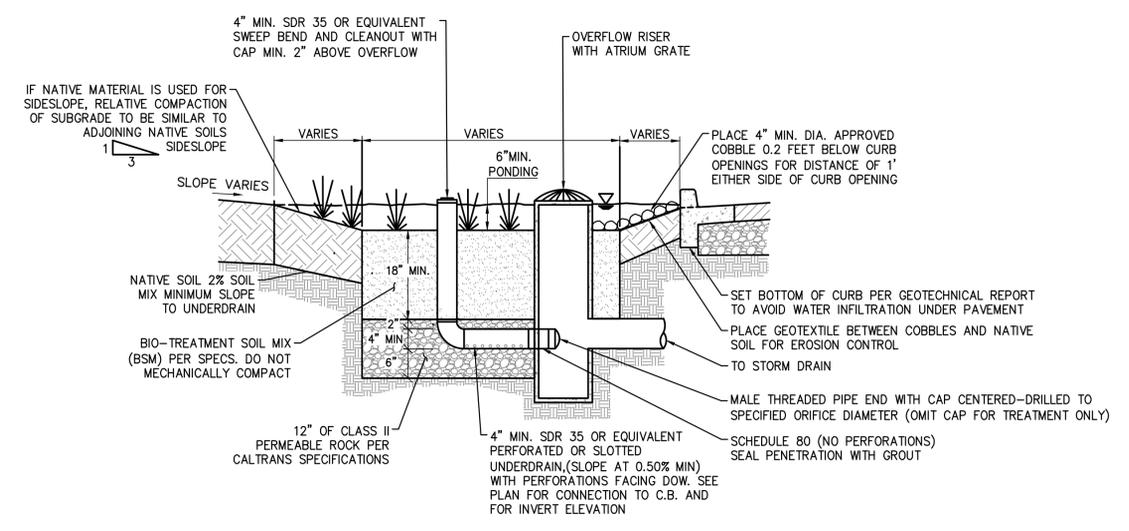


LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- X-SD STORM DRAIN LINE
- TC TOP OF CURB
- CONCRETE CURB
- SAWCUT LINE
- XXXXXX REMOVE EXISTING PIPE/CONDUIT
- ⊗ EXISTING TREE TO BE REMOVED
- ⊙ EXISTING TREE TO BE PROTECTED IN PLACE
- AC PAVEMENT
- CONCRETE

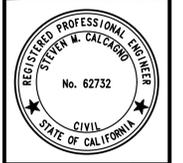
DEMOLITION NOTES

1. EXISTING BUILDING & FOOTING TO BE REMOVED PER SOILS ENGINEER RECOMMENDATION.
2. ALL EXISTING UTILITIES TO BE CAPPED 2' FROM EDGE OF PROPOSED AC PAVEMENT.
3. ALL EXISTING LIGHT POLES TO BE RELOCATED PER LIGHTING PLAN.



BIORETENTION PLANTER (TYP)
NOT TO SCALE

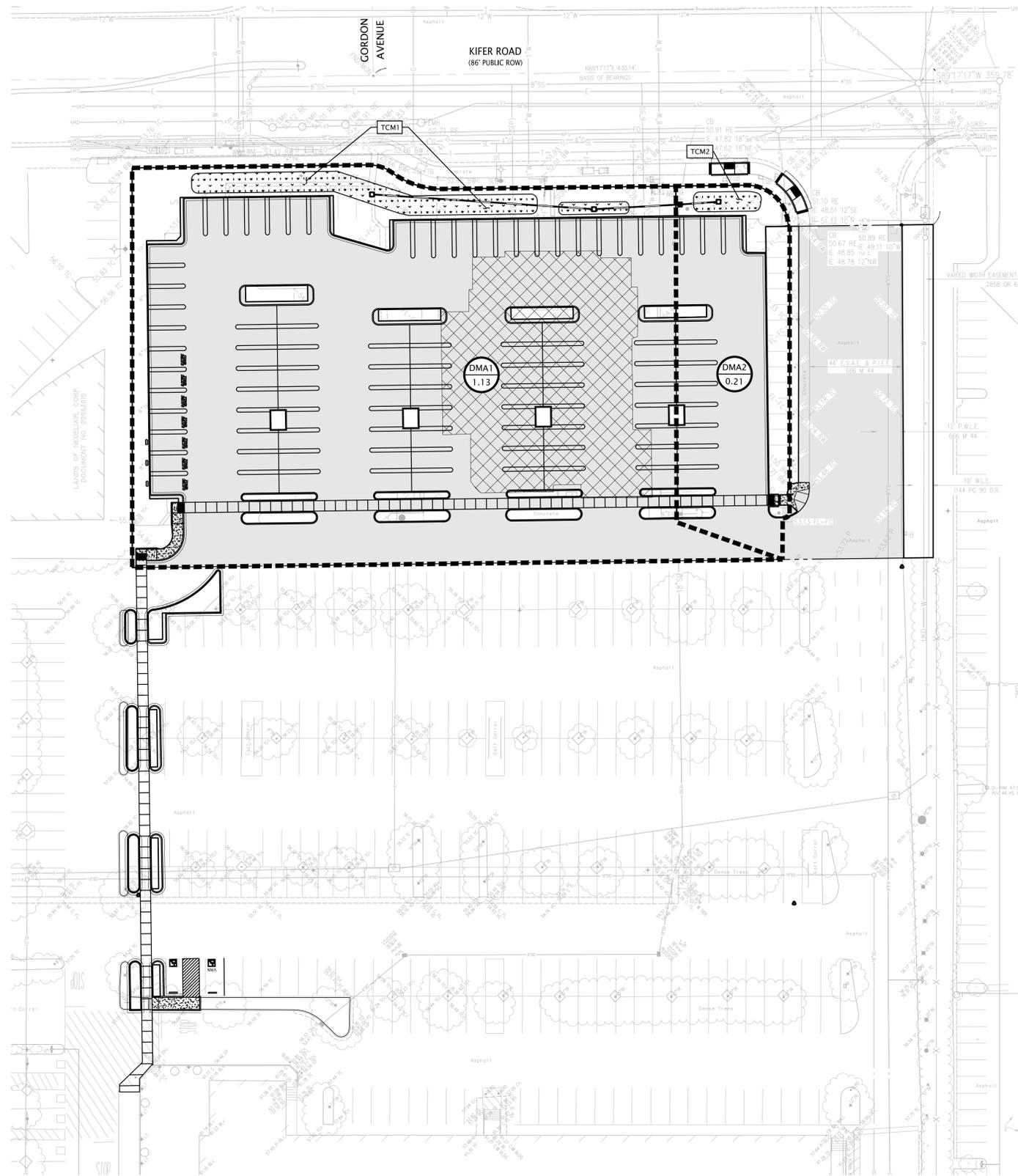
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BY	
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NO.	3
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REVISION	
NO.	4
BY	
REVISION	



KIER+WRIGHT
 REGISTERED PROFESSIONAL ENGINEER
 STEVEN M. CALCANO
 No. 62732
 CIVIL
 STATE OF CALIFORNIA
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-9788
 www.kierwright.com

PRELIMINARY GRADING & DRAINAGE PLAN
 OF
1210 KIFER ROAD PARKING LOT EXPANSION
 FOR
COSTCO WHOLESALE CORPORATION
 SUNNYVALE, CALIFORNIA

DATE	AUGUST 2020
SCALE	AS SHOWN
DESIGNER	ST
DRAFTER	M.G.
JOB NO.	A12584-5
SHEET	C2
OF	3 SHEETS



SITE DESIGN MEASURES

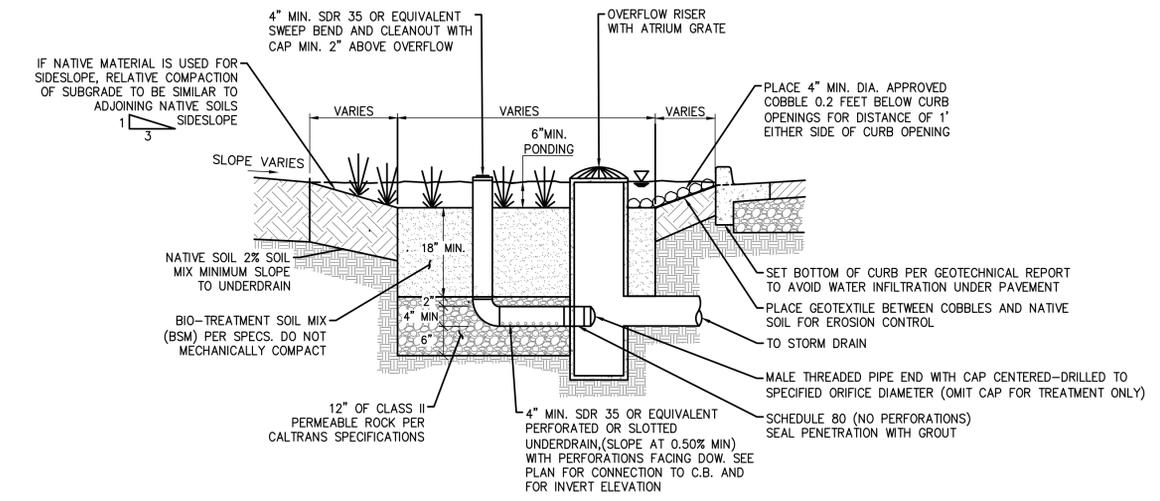
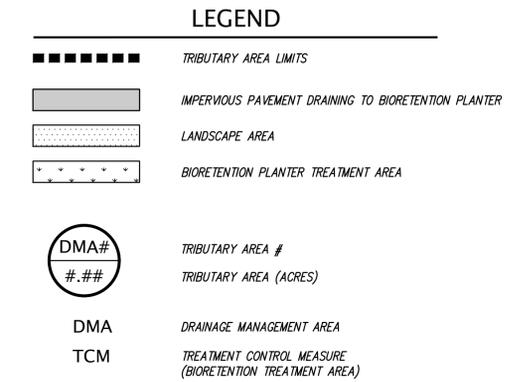
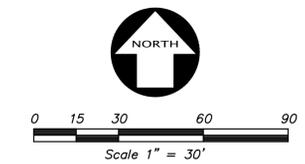
1. PROTECT EXISTING TREES, VEGETATION, AND SOIL
2. PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS
3. DIRECT RUNOFF FROM SIDEWALKS TO LANDSCAPED AREAS

SOURCE CONTROL MEASURES

1. USE OF WATER EFFICIENT IRRIGATION SYSTEMS
2. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING)
3. STORM DRAIN LABELING

STORMWATER CONTROL NOTES

1. THE EXISTING SITE SOILS CONSIST OF "XXXX" (TBD) SOILS.
2. DEPTH TO GROUNDWATER IS TBD.
3. THE SITE STORM DRAIN RUNOFF WILL BE FILTERED BY BIOTREATMENT AREAS. ALL STORM WATER DRAINS TO THE PUBLIC STORM DRAIN SYSTEM ALONG THE NORTHERLY PORTION OF THE PROPERTY.
4. POTENTIAL POLLUTANTS INCLUDE MOTOR VEHICLE LUBRICANTS, COOLANTS, DISC BRAKE DUST, LITTER AND DEBRIS. POLLUTANT SOURCE AREAS INCLUDE THE ASPHALT CONCRETE PARKING LOT AND DRIVE AISLES, AND THE SITE STORM DRAIN INLETS. ALL INLETS WILL BE MARKED "NO DUMPING - DRAINS TO BAY". THE PARKING LOT SHALL BE SWEEP REGULARLY TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS.
5. BIOTREATMENT SIZING IS BASED ON THE FLOW BASED CALCULATIONS METHOD (SIMPLIFIED SIZING METHOD) PER SCVURPPP HANDBOOK CHAPTER 5.
6. STORMWATER IS INTENDED TO ENTER BIOTREATMENT AREAS FROM PAVED AREAS VIA CURB SLOTS WITHIN THE PARKING LOT.



NOTE:
SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

BIOTRETENTION PLANTER (TYP)

NOT TO SCALE

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	DMA AREA (AC)	DMA AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	TREATMENT AREA*(SF)	SIZING METHOD	TREATMENT REQUIRED** (SF)	TREATMENT PROVIDED (SF)	SIZING RATIO (%)	TREATMENT CONTROL MEASURE	TREATMENT TYPE
DMA1	1.13	49,328	8,209	41,119	41,940	TREATMENT ONLY	1,678	1,807	4.3%	TCM1	BIOTRETENTION PLANTER
DMA2	0.21	9,212	2,623	6,589	6,851	TREATMENT ONLY	274	298	4.3%	TCM2	BIOTRETENTION PLANTER
TOTAL	1.34	58,540	10,832	47,708	48,791		1,952	2,105			

*TREATMENT AREA IS EQUAL TO (IMPERVIOUS AREA) + (0.10 x PERVIOUS AREA)
**BIOTREATMENT SIZING BASED ON THE FLOW BASED METHOD (SIMPLIFIED SIZING METHOD) PER SCVURPPP HANDBOOK CHAPTER 5.

BY: _____

REVISION: _____

NO.

BY: _____

REVISION: _____

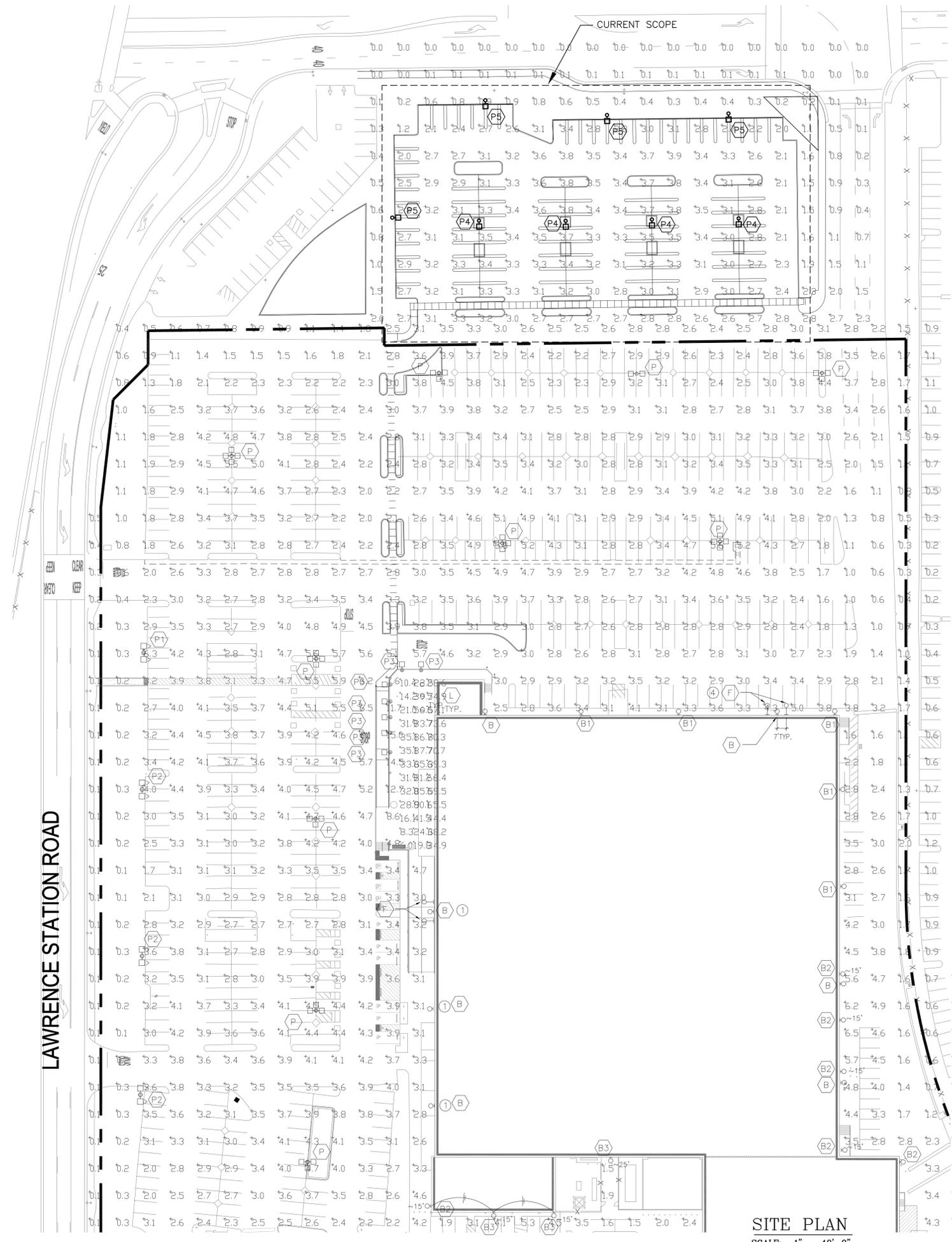
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REGISTERED PROFESSIONAL ENGINEER
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PRELIMINARY STORM WATER QUALITY CONTROL PLAN
OF
1210 KIFER ROAD PARKING LOT EXPANSION
FOR
COSTCO WHOLESALE CORPORATION
SUNNYVALE, CALIFORNIA

DATE: AUGUST 2020
SCALE: AS SHOWN
DESIGNER: ST
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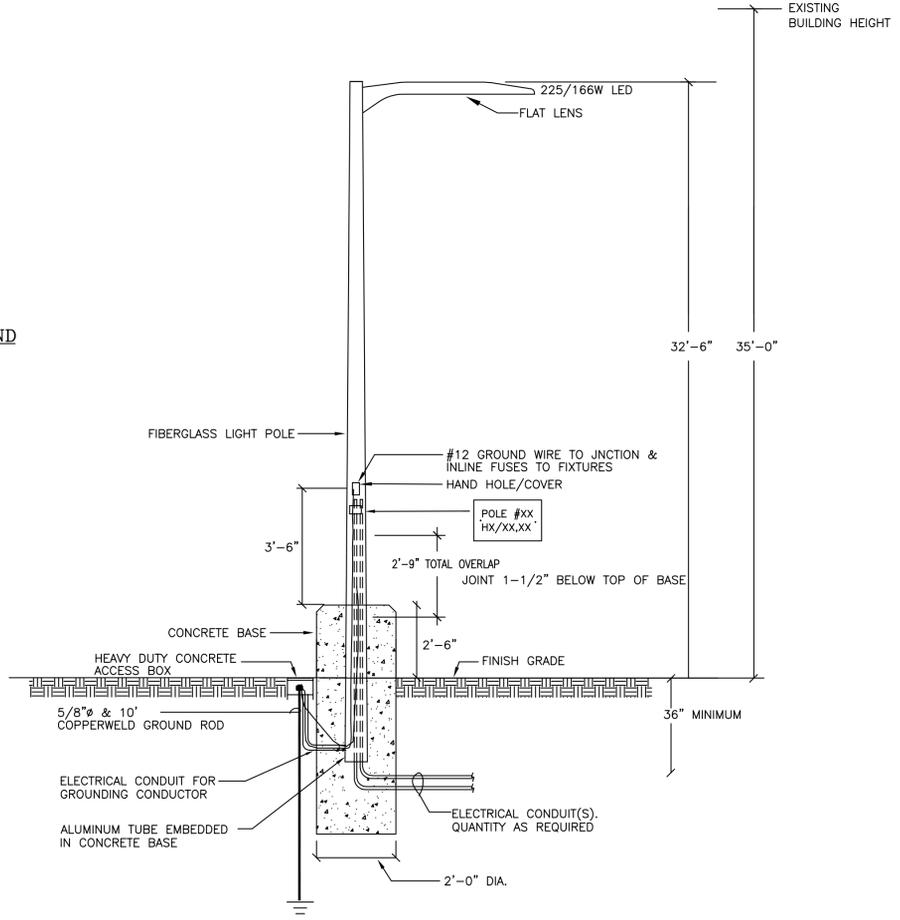


SITE PLAN
SCALE: 1" = 40'-0"

LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	NUMBER	LAMPS	MOUNT	WATT	REMARKS	COLOR
B	COOPER EXISTING	GWC-AF-02-LED-E1-T4W-7050-BZ	LED	WALL	113	REPLACE EXISTING FIXTURE. TYP. ~27' ABOVE GRADE.	5000K
B1	COOPER EXISTING	GLEON-AF-03-LED-E1-SL4-BZ-7050-WM	LED	WALL	166	REPLACE EXISTING FIXTURE. TYP. ~27' ABOVE GRADE.	5000K
B2	COOPER EXISTING	GWC-AF-02-LED-E1-T3-7050-600-MS/DIM-L20-BZ	LED	WALL	66	REPLACE EXISTING FIXTURE. TYP. ~15' ABOVE GRADE.	5000K
B3	COOPER EXISTING	GWC-AF-02-LED-E1-T4FT-7050-800-MS/DIM-L20-BZ	LED	WALL	85	REPLACE EXISTING FIXTURE. TYP. ~15' ABOVE GRADE.	5000K
F	TECHLIGHT EXISTING	LB-X-N-XX-S-1-D-BZ W/ STRAIGHT ARM	LED	ARM	68	PROVIDE MAST ARM AND MOUNTING ACCESSORIES AS REQUIRED. SEE ARCHITECTURAL DETAIL. PROVIDE NEMA-3R ENCLOSURE FOR DRIVER.	4000K
L	CREE EXISTING	CPY250-A-PD-F-B-UL-OSO-WH-5700K	LED	PENDANT	96	PAINT CONDUIT & J-BOX WHITE. BOTTOM OF FIXTURES AT +15' A.F.F. PROVIDE MOUNTING ACCESSORIES (SWIVEL). PROVIDE SAFETY CHAIN TO BUILDING STRUCTURE.	5700K
P	COOPER EXISTING	GLEON-AF-04-LED-E1-5WQ-BZ-7050	LED	POLE	225	30' ROUND TAPERED FIBERGLASS / ALUMINUM POLE (MANUFACTURER: VALMONT). E.C. TO COORDINATE WITH POLE MANUFACTURE TO MATCH EXISTING ANCHOR BOLTS. NUMBER OF HEADS SHALL BE PER PLAN. SEE DETAIL THIS SHEET. FIXTURE SHALL BE POWDER PAINTED. ELECTRO-STATIC APPLICATION POLE SHALL HAVE A MIN EPA=10 FOR 100 MPH WIND.	5000K
P1	COOPER EXISTING	GLEON-AF-03-LED-E1-SL3-BZ-7050	LED	POLE	166		
P2	COOPER EXISTING	GLEON-AF-03-LED-E1-SL4-BZ-7050	LED	POLE	166		
P3	LITHONIA EXISTING	DSXWPM-LED-20C-350-50K-T5A-1MVOLT-PIRH	LED	POLE	24	REUSE EXISTING POLE. PROVED MOUNTING ACCESSORIES AS REQUIRED.	5000K
P4	COOPER NEW	GLEON-AF-04-LED-E1-5MQ-BZ-7050	LED	POLE	225	32'-6" POLE ABOVE FINISHED GRADE. ROUND TAPERED FIBERGLASS/FIBERGLASS POLE. NUMBER OF HEADS SHALL BE PER PLAN. SEE DETAIL SHEET SE-1. FIXTURE SHALL BE POWDER PAINTED. ELECTRO-STATIC APPLICATION POLE SHALL HAVE A MIN EPA=10 FOR 100 MPH WIND	5000K
P5	COOPER NEW	GLEON-AF-03-LED-E1-SL4-HSS-BZ-7050	LED	POLE	166		

SYMBOL LEGEND

- WALLPACK CANOPY LIGHT
- SIGN LIGHT
- POLE LIGHT



NOTE: PROVIDE CONCRETE J-BOX AS REQUIRED. THIS DETAIL IS FOR ELECTRICAL CONDUITS ROUTING ONLY. SEE STRUCTURAL DRAWINGS S0.2 FOR DETAILS.

POLE DETAIL
SCALE: NTS

CHECKED: JCM

DRAWN: BWY

REVISION DATE:

ISSUE DATE: SEPTEMBER 2018

ARCHITECT REFERENCE NO:

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PROJECT NO: 18-507



REVISED

02/20/19

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PARKING EXPANSION

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SUNNYVALE, CA 94086



SE-1

EXTERIOR LIGHTING UPGRADE