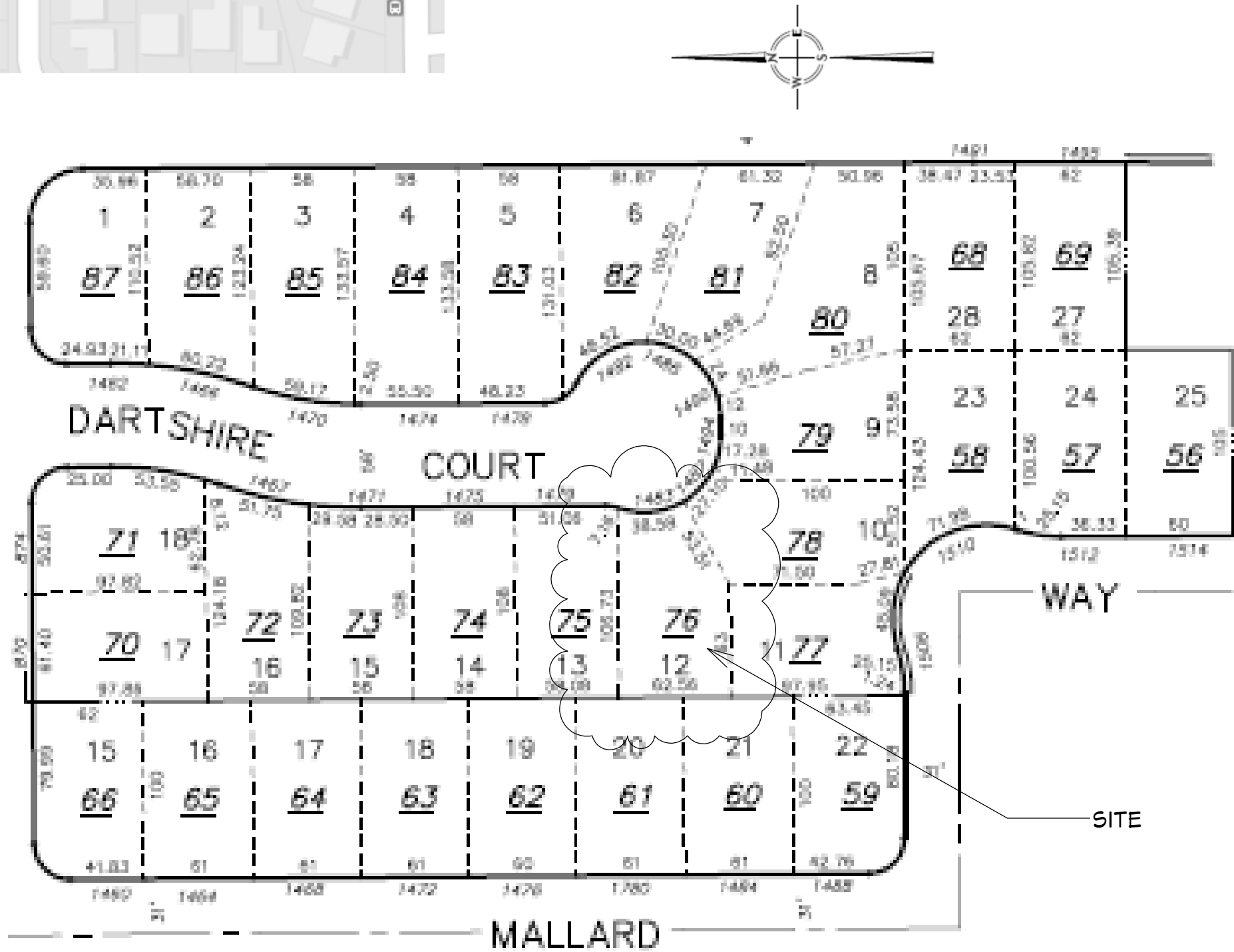
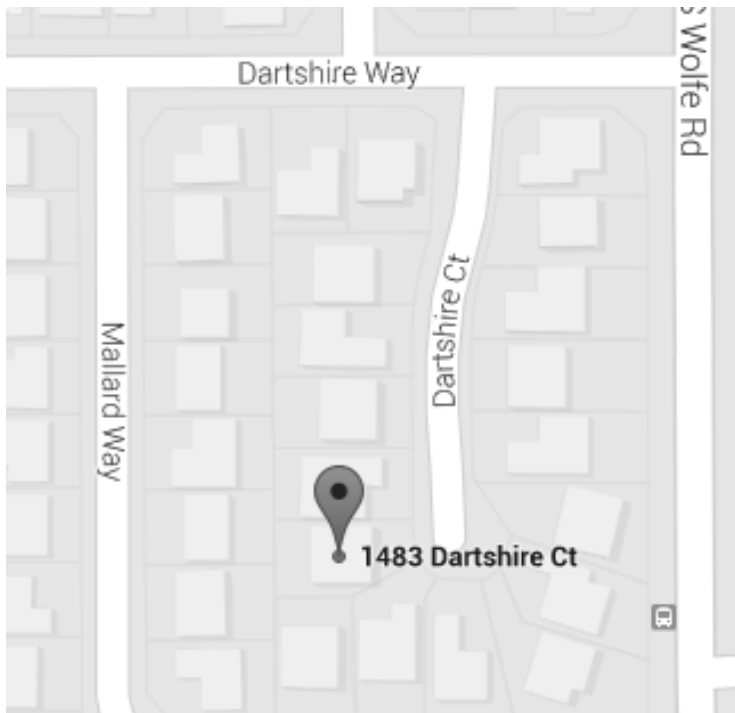


GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUBSTRUCTURES. WHERE DISCREPENCIES OCCUR, CONTACT THE DESIGNER.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE SITE AND PLANS OF THIS WORK. HE SHALL CLARIFY WITH THE DESIGNER AND OWNER, ALL POINTS OF MISUNDERSTANDING PRIOR TO SUBMITTING A BID. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED WORK.
3. ALL NEW CONSTRUCTION SHALL MEET OR EXCEED THE LATEST ADDITION OF CODES ADOPTED BY LOCAL GOVERNING AGENCIES. THESE INCLUDE (BUT ARE NOT LIMITED TO) THE 2013 CALIFORNIA BUILDING CODE, THE 2013 CALIFORNIA PLUMBING CODE, THE 2013 CALIFORNIA MECHANICAL CODE, THE 2013 ELECTRICAL CODE, 2013 HEALTH AND SAFETY CODE AND ALL OTHER ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.
- 2013 CALIFORNIA TITLE 24 - CALIFORNIA STATE ENERGY & ACCESSIBILITY STANDARDS
4. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT.
5. THE DESIGNER SHALL NOT BE OBSERVING OR OVERSEEING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
6. ALL ROOF DRAINAGE SHALL BE PIPED TO DRAIN AWAY FROM STRUCTURE.
7. FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE (MIN 2% SLOPE & MINIMUM DISTANCE OF 5' FROM BUILDING.)
8. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
9. WHERE DISCREPANCIES BETWEEN SOILS REPORT AND DESIGNER OCCUR, CONTACT DESIGNER.
10. ALL EXTERIOR HOSE BIBS SHALL HAVE NON-REMOVABLE BACK FLOW PREVENTION DEVICES PER 2013 CPC 603.1.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
12. GENERAL CONTRACTOR SHALL VERIFY ALL APPLIANCES & CABINETRY WITH HOMEOWNER PRIOR TO PURCHASING AND INSTALLATION.
13. WHEN THERE IS A CONFLICT BETWEEN STRUCTURAL DETAILS AND ARCHITECTURAL DETAILS, STRUCTURAL DETAILS TAKE PRECEDENCE
14. STRUCTURE SHALL MEET THE FOLLOWING MINIMUM INSULATION REQUIREMENTS UNLESS STATED OTHERWISE IN TITLE-24 DOCUMENTS.

CEILING: R-38
EXTERIOR WALLS: R-19
FLOORS: R-13



NOTE: EXTERIOR BOUNDARIES TAKEN FROM TRACT MAP 6678 "PENWOOD PARK" PROPERTY LINES AND DISTANCES NOT CHANGED

PARCEL MAP & VICINITY MAP

SCOPE OF WORK

GENERAL: ADD 444 SQ. FT. A NEW ATTACHED MASTER SUITE.

MASTER SUITE WILL BE ACCESSIBLE FROM INSIDE EXISTING DWELLING. MATER SUITE SHALL HAVE A BEDROOM, LIVING ROOM, 1/2 BATHROOM.

NO KITCHEN WILL BE PERMITTED

EXISTING CONDITIONS

4 BEDROOM
2-1/2 BATH
2961 SF

PROJECT DATA

OCCUPANCY GRP..... R-3
ZONE..... R0
CONSTRUCTION TYPE..... V-B
FIRE SUPPRESSION..... NO
BUILDING CODES:
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS

DESIGN CRITERIA

SEISMIC CATEGORY: "D"
NO SNOW LOAD
SOIL BEARING PRESSURE: 1500 PSI
WIND EXPOSURE: "C"
WIND SPEED: (3 SECOND BURST): 100 MPH
CLIMATE ZONE: 12
MAX WATER PRESSURE: 40 PSI
MAX RAINFALL: 3" / HR

LOT INFORMATION

LOT SIZE: 6015 SF

CONSULTANTS

OWNER	SHRI & HIMA VADDI 1483 DARTSHIRE CT SUNNYVALE, CA 94087 (408) 464-3954 HIMA VADDI_H@YAHOO.COM
DESIGNER	VIVIAN SZCZEPANKOWSKI 1405 RIDGEVIEW CIR ROCKLIN, CA 95677 (916) 532-8116 VIVIANZEP@GMAIL.COM
DRAFTING	KEVIN SZCZEPANKOWSKI 1405 RIDGEVIEW CIR ROCKLIN, CA 95677 (916) 521-3263 KEVINZEP01@GMAIL.COM
BUILDER	TO BE DETERMINED
BUILDING AUTHORITY	CITY OF SUNNYVALE 456 W. OLIVE AVE SUNNYVALE, CA 94086 (408) 730-7444



RESIDENTIAL PROJECT DATA

Applicant should refer to the Sunnyvale Municipal Code for current requirements.

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
<input type="checkbox"/> General Plan Category			
<input type="checkbox"/> Zoning District			
<input type="checkbox"/> Lot Size (sq. ft.)			min.
<input type="checkbox"/> Gross Floor Area (sq. ft.)			max.
<input type="checkbox"/> Lot Coverage (%)			max.
<input type="checkbox"/> Number of Units			max.
<input type="checkbox"/> Density (units/acre)			max.
<input type="checkbox"/> Meets 75% min?			max.
<input type="checkbox"/> Bedrooms / Unit			max.
<input type="checkbox"/> Unit Sizes (sq. ft.)			
<input type="checkbox"/> Lockable Storage / Unit (cu. ft.)			max.
<input type="checkbox"/> Number of Buildings On-Site			min.
<input type="checkbox"/> Distance Between Buildings			max.
<input type="checkbox"/> Building Height (ft.)			max.
<input type="checkbox"/> No. of Stories			min.
<input type="checkbox"/> Front Setbacks (1 st Story/2 nd Story)			min.
<input type="checkbox"/> Left Side Setbacks(1 st Story/2 nd Story facing property)			min.
<input type="checkbox"/> Right Side Setbacks(1 st Story/2 nd Story facing property)			min.
<input type="checkbox"/> Rear Setback			min.
<input type="checkbox"/> Landscaping (total sq. ft.)			min.
<input type="checkbox"/> Landscaping (sq. ft./unit)			
<input type="checkbox"/> Useable Open Space (sq. ft./unit)			15 ft. min.
<input type="checkbox"/> Parking Lot Area Shading (%)			50% min. in 15 yrs.
<input type="checkbox"/> Water Conserving Plants (%)			70% min.
<input type="checkbox"/> Total No. of Parking Spaces			min.
<input type="checkbox"/> Standards			min.
<input type="checkbox"/> Compacts / % of total			max.
<input type="checkbox"/> Accessible Spaces			min.
<input type="checkbox"/> Covered Spaces			min.
<input type="checkbox"/> Aisle Width (ft.)			
<input type="checkbox"/> Bicycle Parking			
<input type="checkbox"/> Impervious Surface Area (sq. ft.)			
<input type="checkbox"/> Impervious Surface (%)			

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444
Planners and Building Division staff are available 8:00 a.m. to noon and 1:00 to 5:00 p.m.
www.SunnyvalePlanning.com / www.SunnyvaleBuilding.com

Rev. 8/07 (yellow)



RESIDENTIAL ZONING STANDARDS

This summary provides a general overview of residential zoning standards from the Sunnyvale Municipal Code and is not intended as a comprehensive list of all applicable requirements.

SINGLE-FAMILY ZONING DISTRICTS

R-0

Front Setback Minimum (1 st story / 2 nd story)	20 ft. / 25 ft.
Side Setback Minimum (1 st story / 2 nd story)	4 ft. / 7 ft.
Side Setback Total (1 st story / 2 nd story)	20% of lot width / Add 6 ft. to 1 st story req.
Rear Setback Minimum	20 ft.
Maximum Lot Coverage (if one-story/if two-story)	45% / 40%
Maximum Floor Area Ratio	45% (see sidebar)
Height Limitation	30 ft. and 2 stories
Minimum Lot Area	6,000 sq. ft.
Maximum Density	7 du/ac

DU/AC = DWELLING UNITS PER ACRE

COMBINED TOTAL SIDE YARD SETBACK IS CALCULATED FROM THE R-0 ZONING DISTRICTS, BY MULTIPLYING THE LOT WIDTH (AS MEASURED 20 FT BACK FROM THE PROPERTY LINE) BY 20%. SECOND STORY ADDITIONS NEED AN ADDITIONAL 6FT.

AREA CALCULATIONS				
	EXISTING	NEW	OPEN BELOW + 16' CLG	CURRENT
CONDITIONED SPACE				
LIVING			0	
UPPER FLOOR	1476	0	263	1,476
MAIN FLOOR	1441	444		1,885
TOTAL CONDITIONED SPACE	2917	444		3,361
UNCONDITIONED SPACE				
GARAGE - ATTACHED	464	0		464
TOTAL UNCONDITIONED SPACE	464	0		464
COVERED PATIOS & DECKS AREAS				
FRONT PORCH	53	0		53
BACK PORCH	0	0		94
TOTAL COVERED PATIO SLABS	53	0		147
TOTAL LOT COVERAGE				2,496 SF
LOT AREA: (FROM ASSESSORS RECORDS)				6,326 SF
MAX ALLOWABLE LOT COVERAGE (40%)				2,530
ACTUAL COVERAGE (CALCULATED)				39%
FAR:	3,697	444	-	4,141.00
FAR PERCENTAGE:	58%	65%		65%
PAVED AREAS - NOT COVERED				
DRIVEWAY	559			
SIDEWALK AT FRONT	47			
PATIO SLAB - AT PROPOSED SUITE		34		
PATIO SLAB AT REAR DOOR	24	0		
TOTAL FLAT WORK	630	34		664 SF
NOTES:				
LOT COVERAGE: INCLUDES FOOTPRINT OF ALL BUILDINGS OR STRUCTURES ON THE LOT.				
FAR: INCLUDES LOT COVERAGE+2ND FLR+OPEN TO BELOW				

SHEET INDEX

SHT NO	DESCRIPTION
1	COVER SHEET
2	GREEN BLDG STANDARDS
3	SITE PLAN
4	AREA CALCULATIONS
5	EXISTING FLOOR PLANS
6	EXISTING ELEVATIONS
7	NEW FLOOR PLAN
8	NEW ELEVATIONS - FRONT & REAR
9	NEW ELEVATIONS - RIGHT & LEFT
10	SECTIONS
11	ROOF LAYOUT

New Master Bedroom Suite for:

Shri & Hima Vaddi

1483 Dartshire Ct

Sunnyvale, CA 94087

APN: 309-11-076

REVISIONS

NO	DESCRIPTION	DATE

DRAWN BY: KES

DATE DRAWN: 5/31/2016

SCALE:

CONCEPT 2

COVER SHEET

1

OF 11

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Vivian Szczepankowski

Residential and Light Commercial

design - drafting - illustration

ENGINEER

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2013 CALIFORNIA GREEN BUILDING STANDARDS

MANDATORY MEASURES

2013 California Green Building Standards Code Residential Mandatory Measures

Planning and Design

Site Development (4.106)

Storm Water Protection Measures shall be implemented at the initial phase of construction activity. Projects shall prevent erosion and retain soil runoff on the site through the use of a barrier system, wattle or other approved method.

Sites shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet.

Electric Vehicle (EV) Charging for New Construction (4.106.4)

New one- and two-family dwellings and townhouses with attached private garages shall install a listed raceway to accommodate a dedicated 220-volt branch circuit for an EV charger. The raceway shall not be less than nominal 1” inside diameter. The raceway shall originate at the main service or subpanel and shall terminate into a listed enclosure in close proximity to the proposed location of an EV charger. The service panel and/or subpanel shall provide capacity to install a 40-amp minimum dedicated branch circuit and spaces(s) reserved to permit installation of a branch circuit overcurrent protective device.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as “EV CAPABLE”. The raceway termination location shall be permanently and visibly marked as “EV CAPABLE”.

Water Efficiency and Conservation

Indoor Water Use (4.303)

Water Closets: The effective flush volume of all water closets shall not exceed 1.28 gallons per flush.

Showerheads: Single showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi.

Lavatory Faucets: The maximum flow rate of lavatory faucets shall not exceed 1.5 gallons per minute at 60 psi. The minimum flow rate of lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

Kitchen Faucets: The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi.

Outdoor Water Use (4.304)

Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall be weather-based.

Material Conservation and Resource Efficiency

Enhanced Durability and Reduced Maintenance (4.406)

Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

Construction Waste Reduction, Disposal and Recycling (4.408)

Recycle and/or salvage for reuse a minimum of 50 percent of the nonhazardous construction and demolition waste.

Documentation shall be provided to the enforcing agency to demonstrate compliance with the construction waste management plan at the time of final inspection.

Life Cycle Assessment (4.409)

At the time of final inspection, a maintenance and operation manual, compact disc, web-based reference or other media acceptable to the enforcing agency shall be provided to the building occupant or owner.

Environmental Quality

Fireplaces (4.503)

Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S EPA Phase II emission limits where applicable.

Pollutant Control (4.504)

At the time of rough installation, and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered.

Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits of Tables 4.504.1 and 4.504.2.

Paints, stains and other coatings shall be compliant with VOC limits of Table 4.504.3.

Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC and other toxic compounds.

Verification that compliant VOC limit materials have been used shall be provided at the request of the enforcing agency.

Carpet systems shall comply with the requirements of Section 4.504.3.

Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring shall comply with the requirements of Section 4.504.4

Composite wood products shall comply with the maximum formaldehyde limits of Table 4.504.5.

Interior Moisture Control (4.505)

Concrete slabs in habitable spaces shall have a vapor retarder in direct contact with the concrete unless an alternative design is provided by a licensed design professional.

Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified by means of moisture readings using a moisture meter.

Indoor Air Quality and Exhaust (4.506)

Each bathroom shall be mechanically ventilated with an Energy Star compliant fan.

Unless functioning as a whole house ventilation system, bathroom fans shall be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.

Environmental Comfort (4.507)

Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J-2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D-2009 (Residential Duct Systems), ASHGAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2004 (Residential Equipment Selection) or other equivalent design software or methods.

Installer Qualifications

Qualifications (702)

HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

New Master Bedroom Suite for:
Shri & Hima Vaddi
1483 Dartshire Ct
Sunnyvale, CA 94087
APN: 309-11-076

REVISIONS

NO	DESCRIPTION	DATE

DRAWN BY:	KES
DATE DRAWN:	5/31/2016
SCALE:	

CONCEPT 2
**GREEN
BUILDING
STANDARDS**

2

OF 11

Vivian Szczepankowski

Residential and Light Commercial

design - drafting - illustration

vivian@housearte.com

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ENGINEER

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RESIDENTIAL ZONING STANDARDS

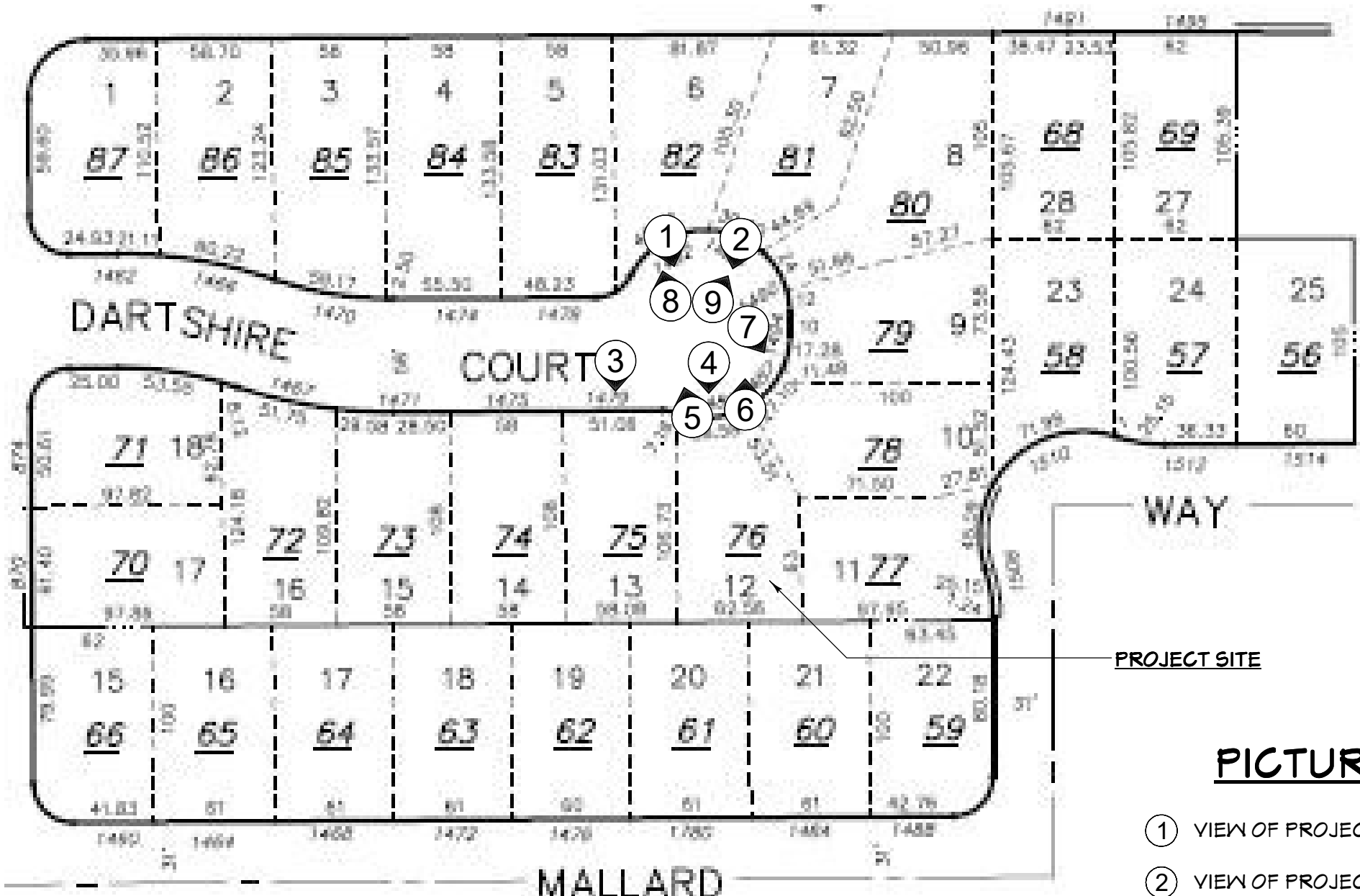
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SINGLE-FAMILY ZONING DISTRICTS

R-0

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Minimum Lot Area	6,000 sq. ft.
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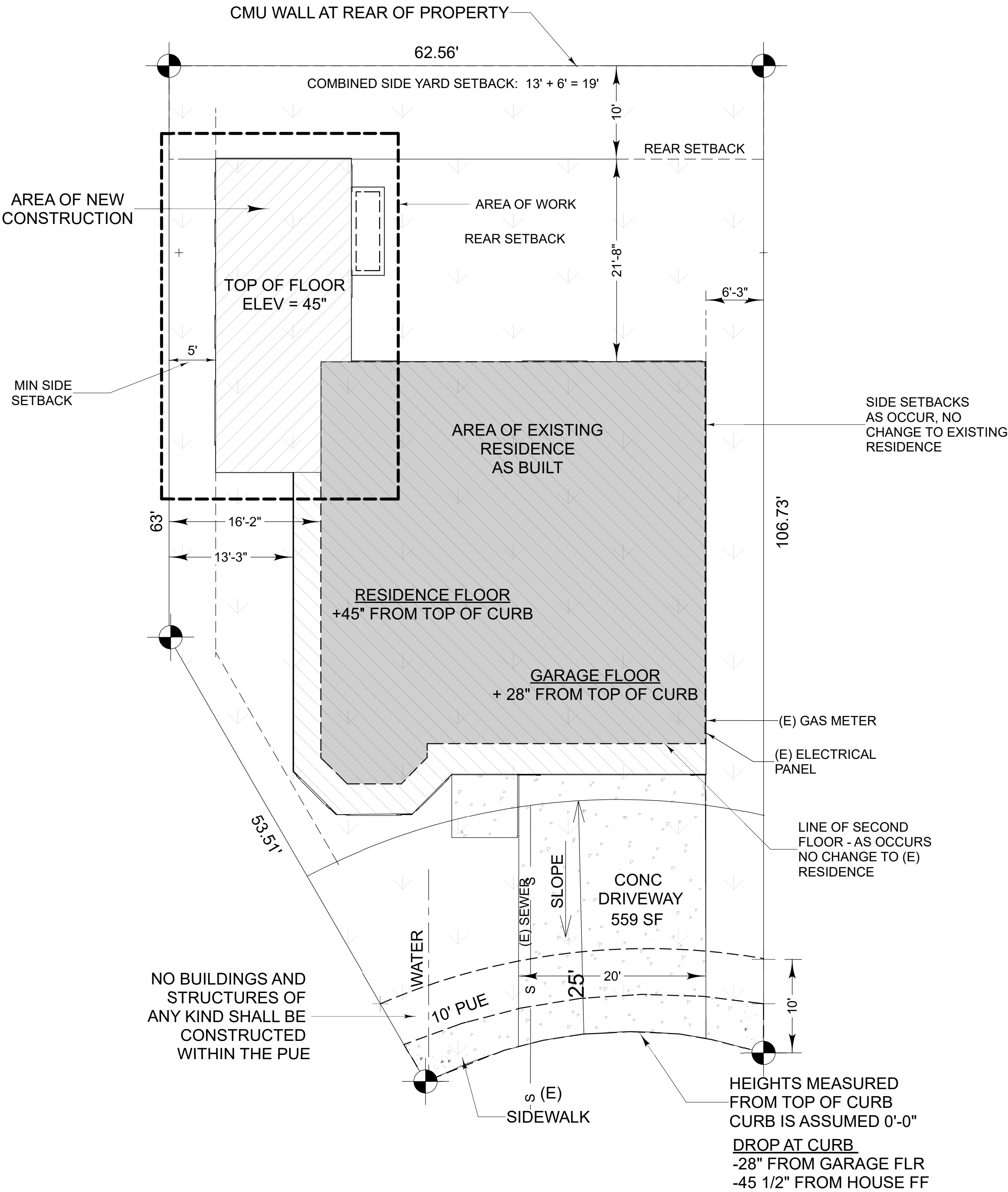
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PICTURE KEY

- 1 VIEW OF PROJECT HOUSE FROM LOT 82
- 2 VIEW OF PROJECT HOUSE FROM LOT 81
- 3 FRONT VIEW OF LOT 15
- 4 VIEW OF PROJECT HOUSE (LOT 76)
- 5 VIEW OF LOT 82 FROM PROJECT
- 6 VIEW OF LOT 81 FROM PROJECT
- 7 FRONT VIEW OF LOT 76
- 8 FRONT VIEW OF LOT 82
- 9 FRONT VIEW OF LOT 81

NOTE: EXTERIOR BOUNDARIES TAKEN FROM TRACT MAP 6678 "PENWOOD PARK" PROPERTY LINES AND DISTANCES NOT CHANGED



1 SITE PLAN
SCALE: 1/8" = 1'-0"

New Master Bedroom Suite for:

Shri & Hima Vaddi

1483 Dartshire Ct

Sunnyvale, CA 94087

APN: 309-11-076

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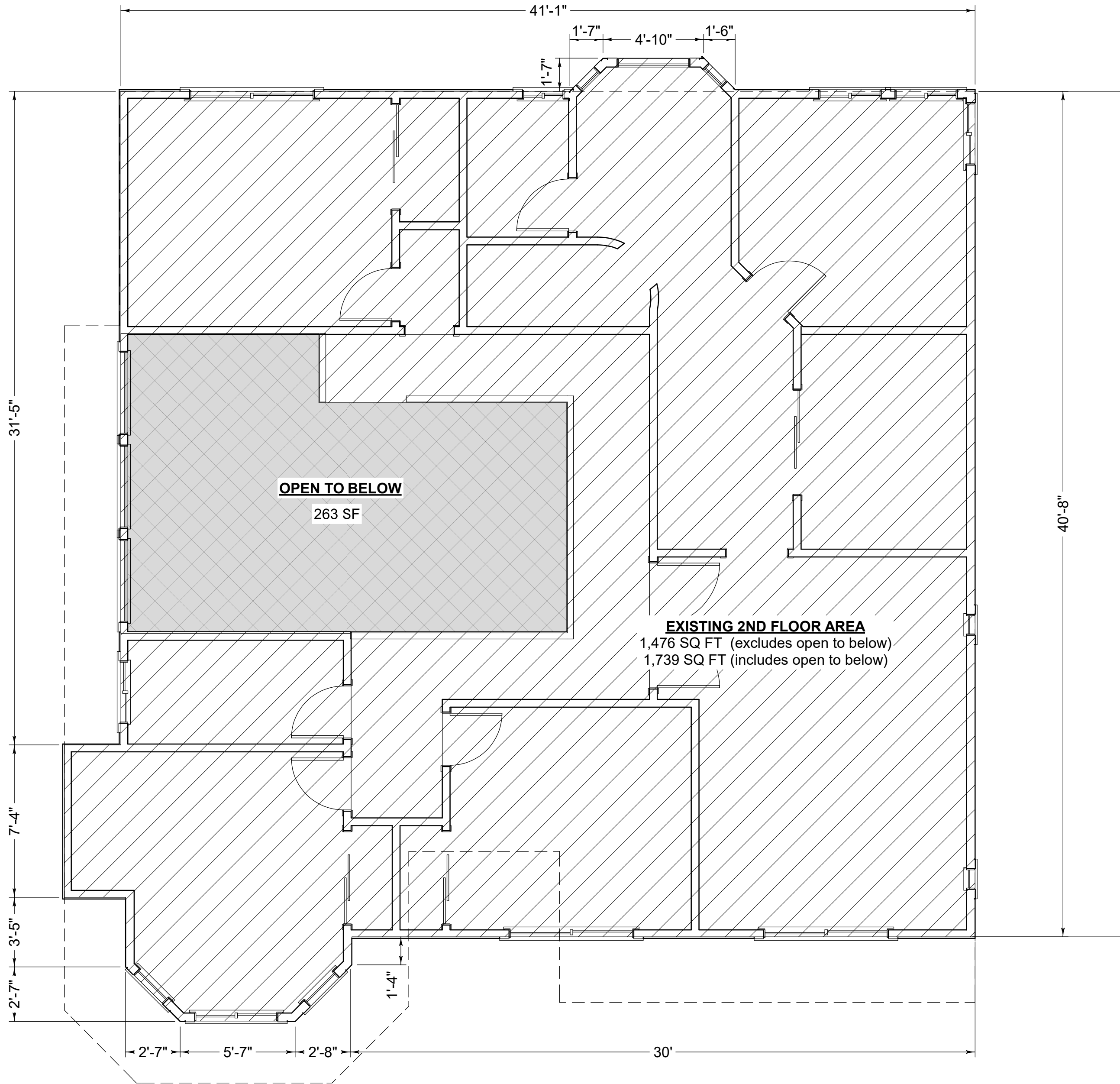
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DATE DRAWN: 5/31/2016
SCALE:

CONCEPT 2
SITE PLAN

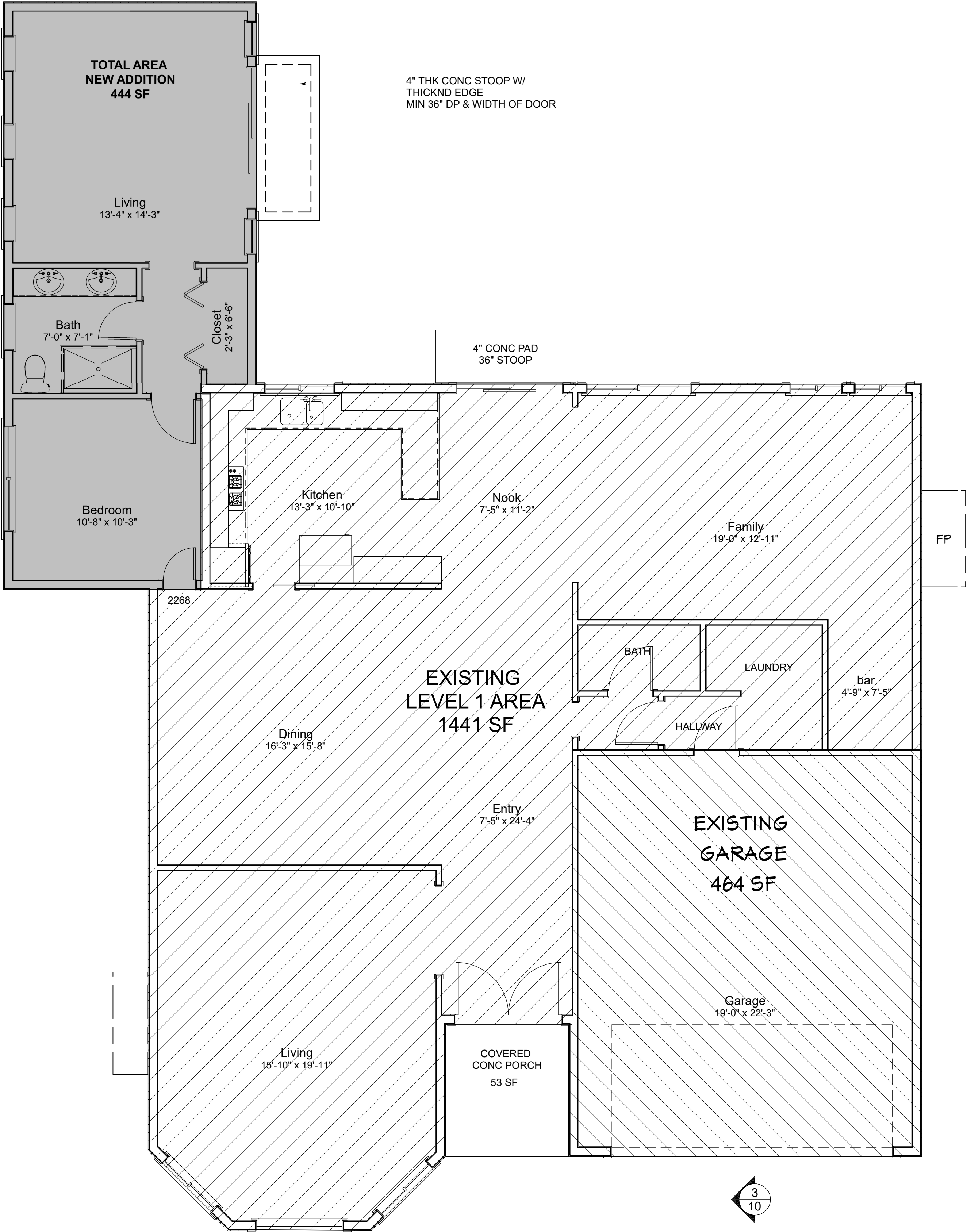
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OF 11

AREA CALCULATIONS					
	EXISTING	NEW	OPEN BELOW + 16' CLG	CURRENT TOTAL	
CONDITIONED SPACE					
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FAR: INCLUDES LOT COVERAGE+2ND FLR+OPEN TO BELOW					



2 AREA TABULATION - 2ND FLOOR
SCALE: 1/4" = 1'-0"



1 AREA TABULATION - FIRST FLOOR
SCALE: 1/4" = 1'-0"

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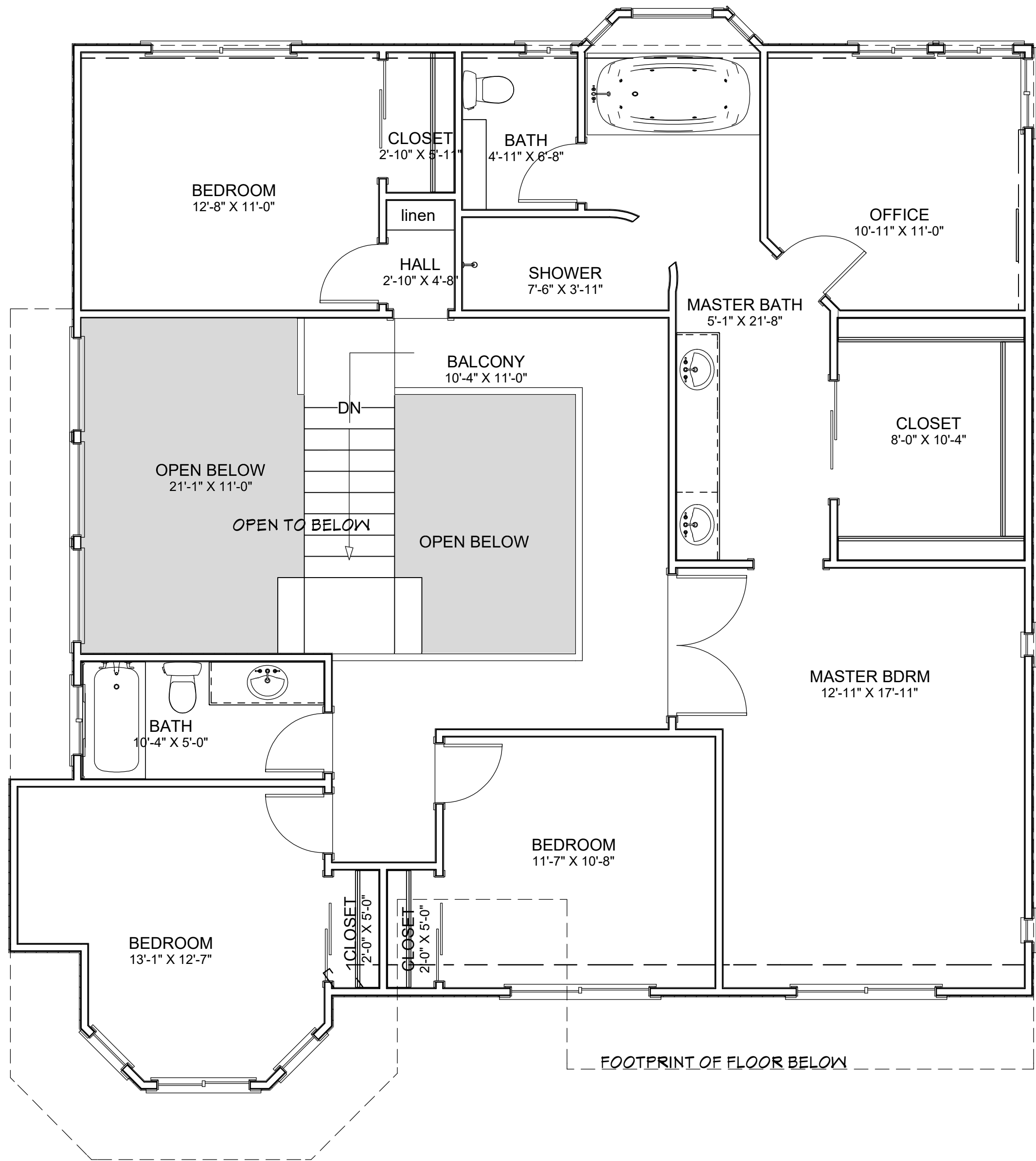
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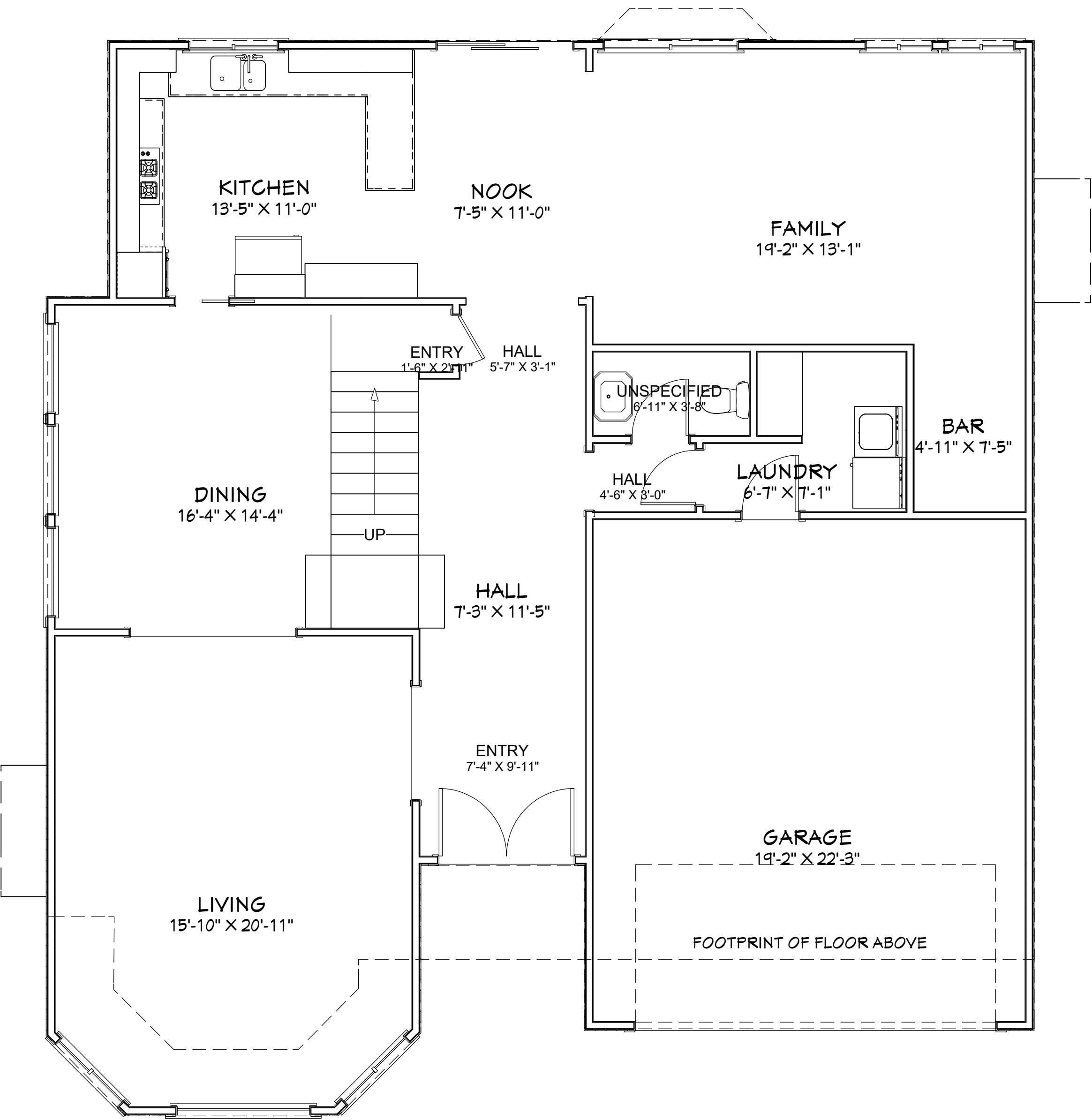
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CONCEPT 2		
AREA CALCULATIONS		
4		
OF 11		



LIVING AREA
1294 SQ FT



LIVING AREA
1436 SQ FT

2

EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

New Master Bedroom Suite for:

Shri & Hima Vaddi

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Sunnyvale, CA 94087

APN: 309-11-076

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REVISIONS

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SCALE:	
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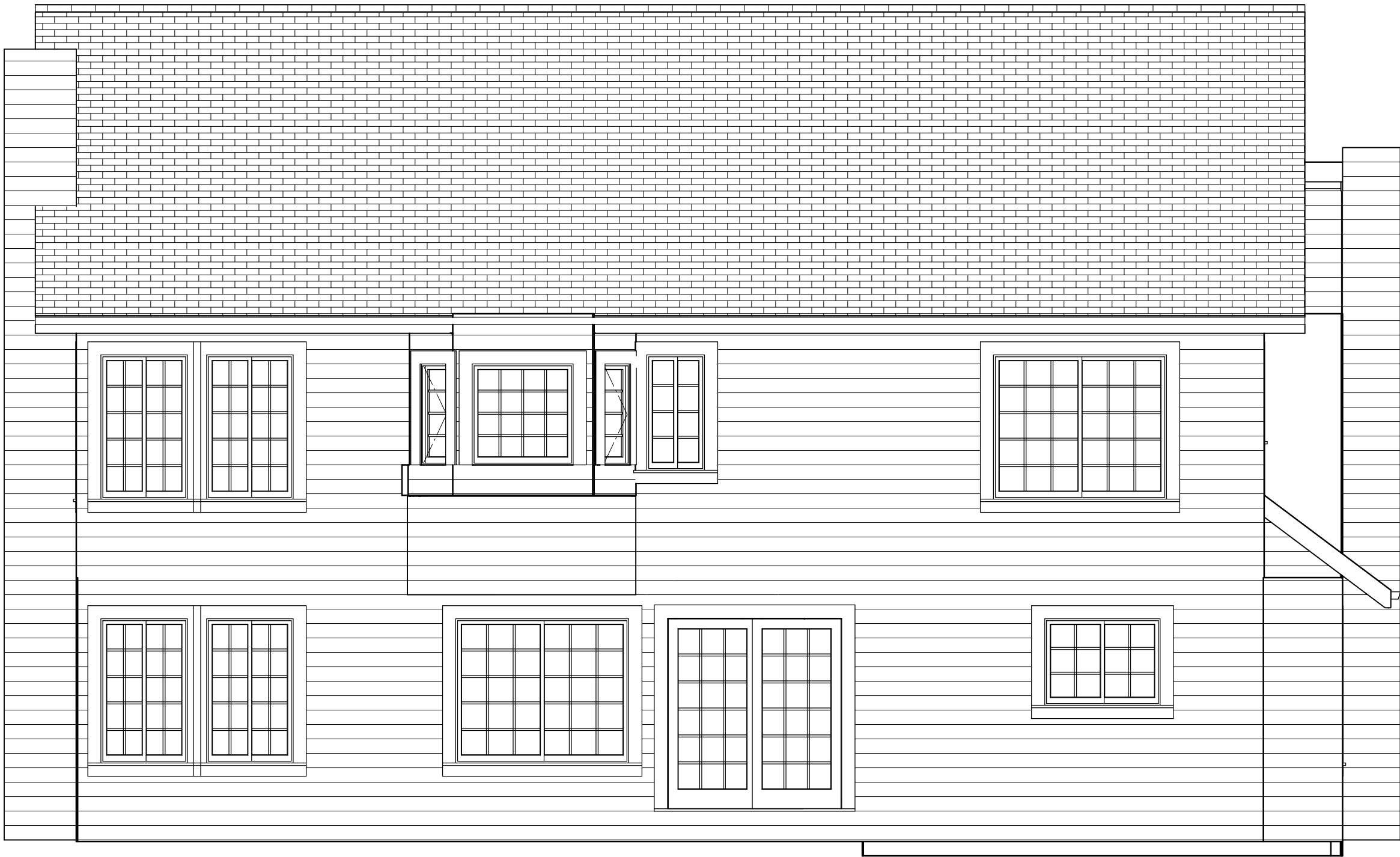
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EXISTING
FLOOR
PLAN

5

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New Master Bedroom Suite for:
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Sunnyvale, CA 94087
APN: 309-11-076

REVISIONS		
NO	DESCRIPTION	DATE

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DATE DRAWN: 5/31/2016
SCALE:

CONCEPT 2
EXISTING
ELEVATIONS

ENGINEER

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**1483 Dartshire Ct
Sunnyvale, CA 94087**

APN: 309-11-076

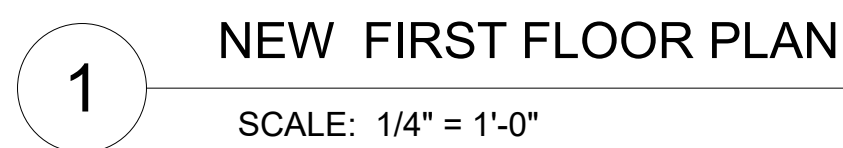
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NO	DESCRIPTION	DATE

SCALE:

NEW
FLOOR PLAN

OF 11

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SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



1 EAST / FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST / REAR ELEVATION
SCALE: 1/4" = 1'-0"

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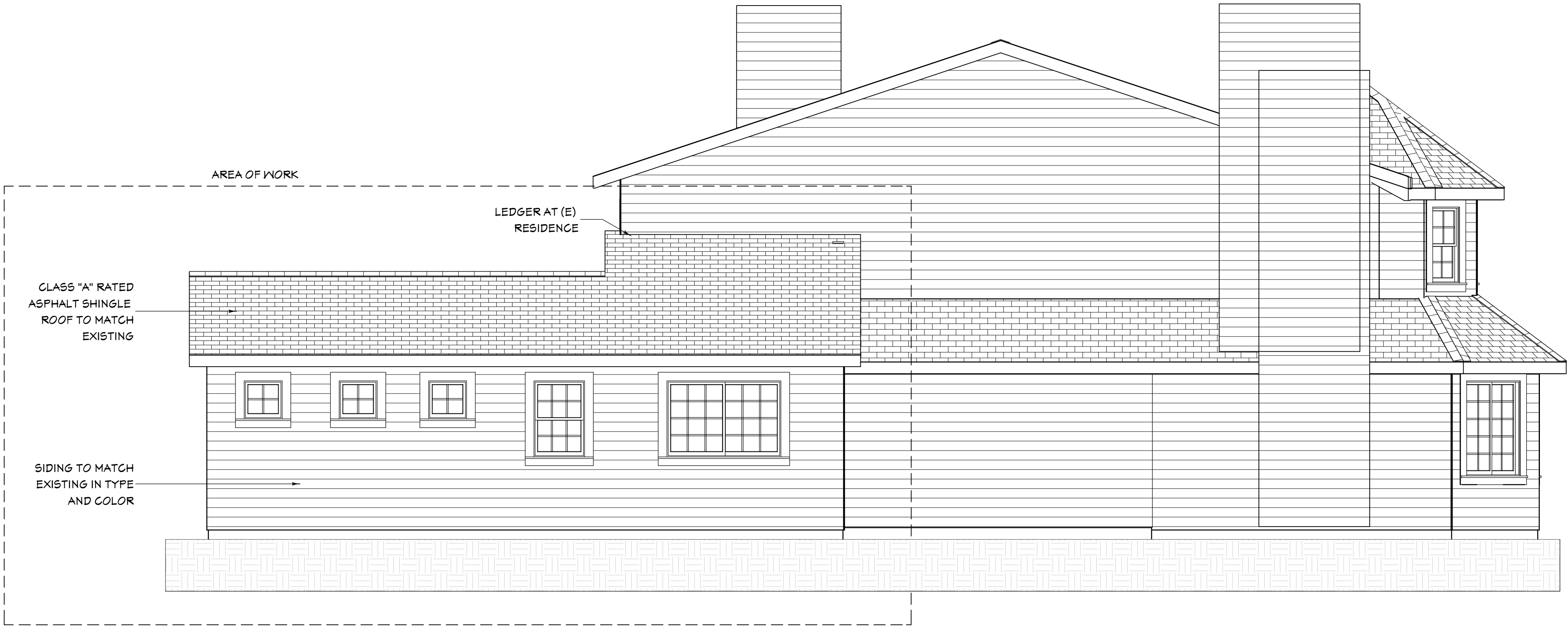
New Master Bedroom Suite for:
Shri & Hima Vaddi
1483 Dartshire Ct
Sunnyvale, CA 94087
APN: 309-11-076

REVISIONS		
NO	DESCRIPTION	DATE

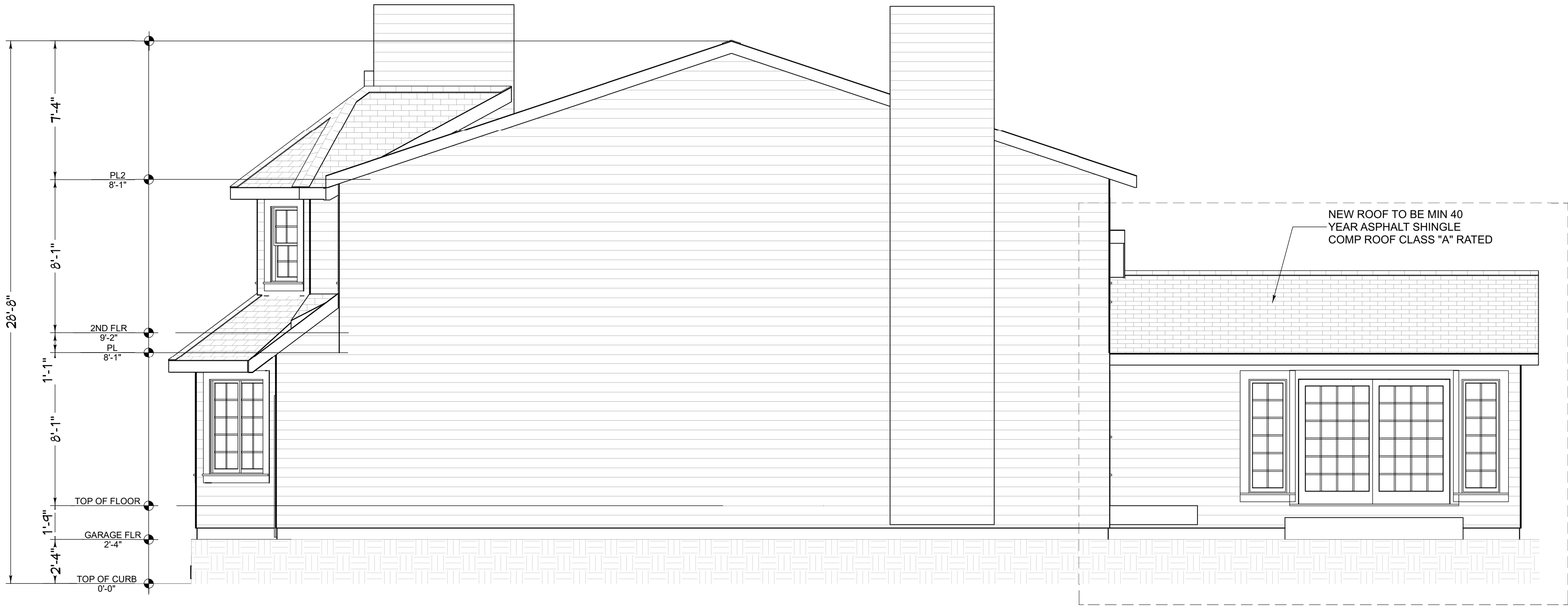
DRAWN BY: KES
DATE DRAWN: 5/31/2016

SCALE:

CONCEPT 2
NEW
ELEVATIONS



1 SOUTH / LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH / RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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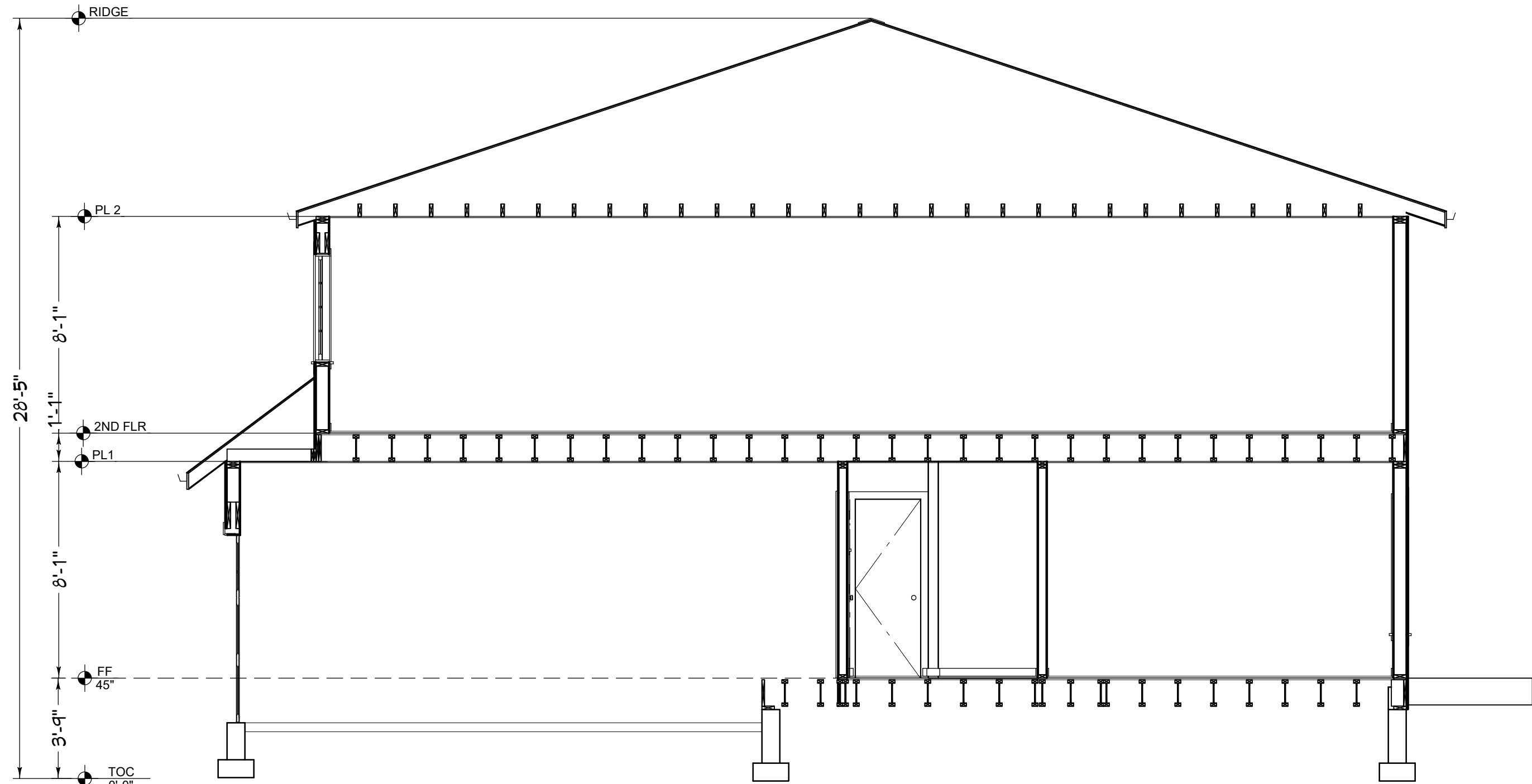
REVISIONS		
NO	DESCRIPTION	DATE

DRAWN BY: KES
DATE DRAWN: 5/31/2016
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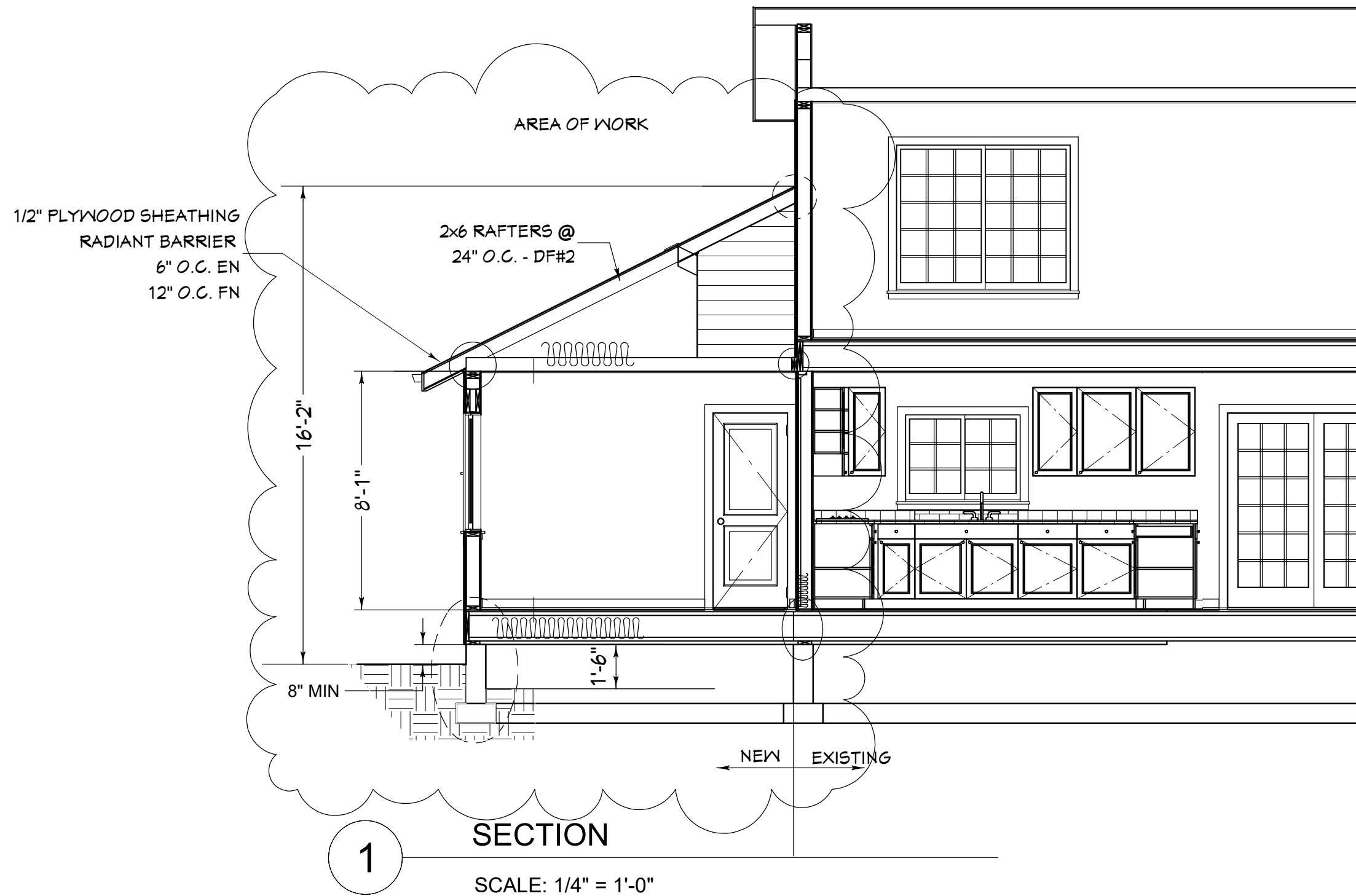
CONCEPT 2
NEW
ELEVATIONS

ENGINEER

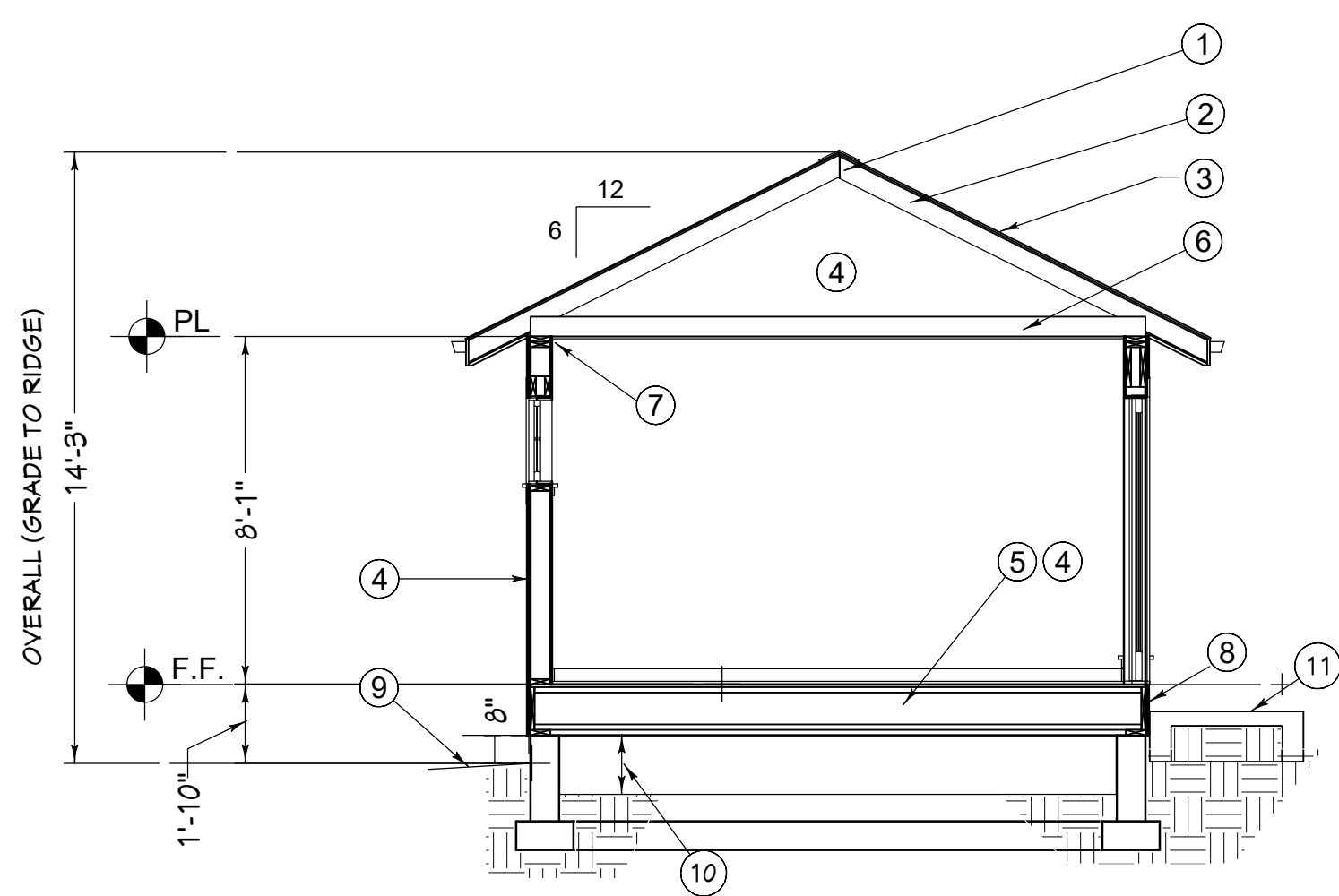
Vivian Szczepankowski
Residential and Light Commercial
design - drafting - illustration
vivian@housearte.com (916) 532-8116 HouseArte.com



3 SECTION
SCALE: 1/4" = 1'-0"



1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"

1	2x12 RIDGE - DF #2 OR BTR
2	2x6 RAFTER - DF#2 - SPACED 24" O.C.
3	1/2" OSB EXT GRADE SHING w/ RADIANT BARRIER 6" EN, 12" FN
4	INSULATION PER T-24
5	FLOOR JOIST PER PLAN
6	2x6 JOIST - DF #2 OR BTR @ 24" O.C.
7	SIMPSON H1 HURRICANE CLIPS @ ALL RAFTER / PLATE CONNECTIONS
8	2" MIN DROP STOOP TO HOUSE
9	8" MIN CLR - SLOPE SOIL AWAY FROM FOUNDATION WALL 2% SLOPE FOR 10'. OR USE SNALES AND DRAINS TO DIRECT WATER RUNOFF
10	MIN 18" CLR BETWEEN JOISTS AND SOIL
11	36" MIN DF STOOP AT EXIT DOOR

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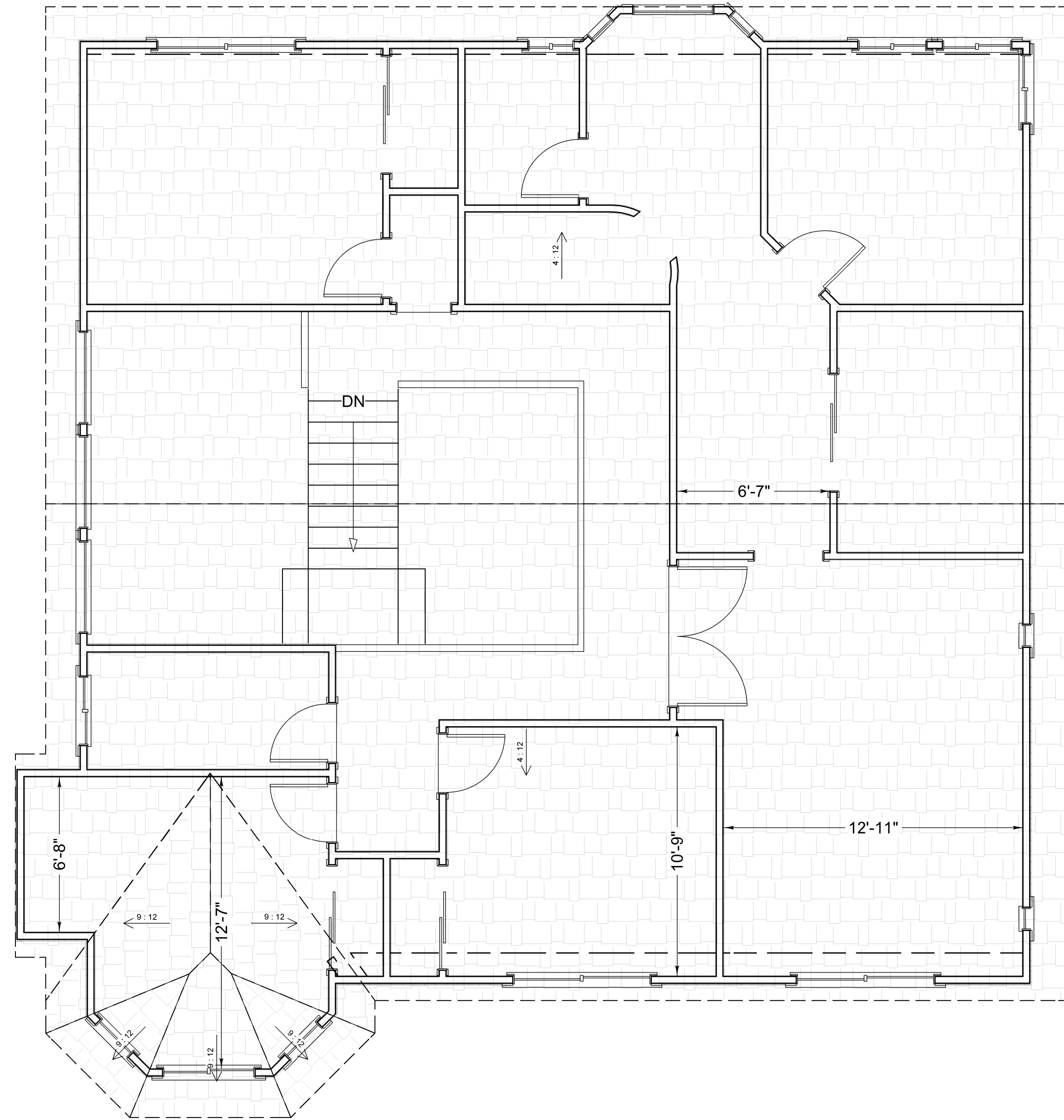
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REVISIONS		
NO	DESCRIPTION	DATE

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SCALE:

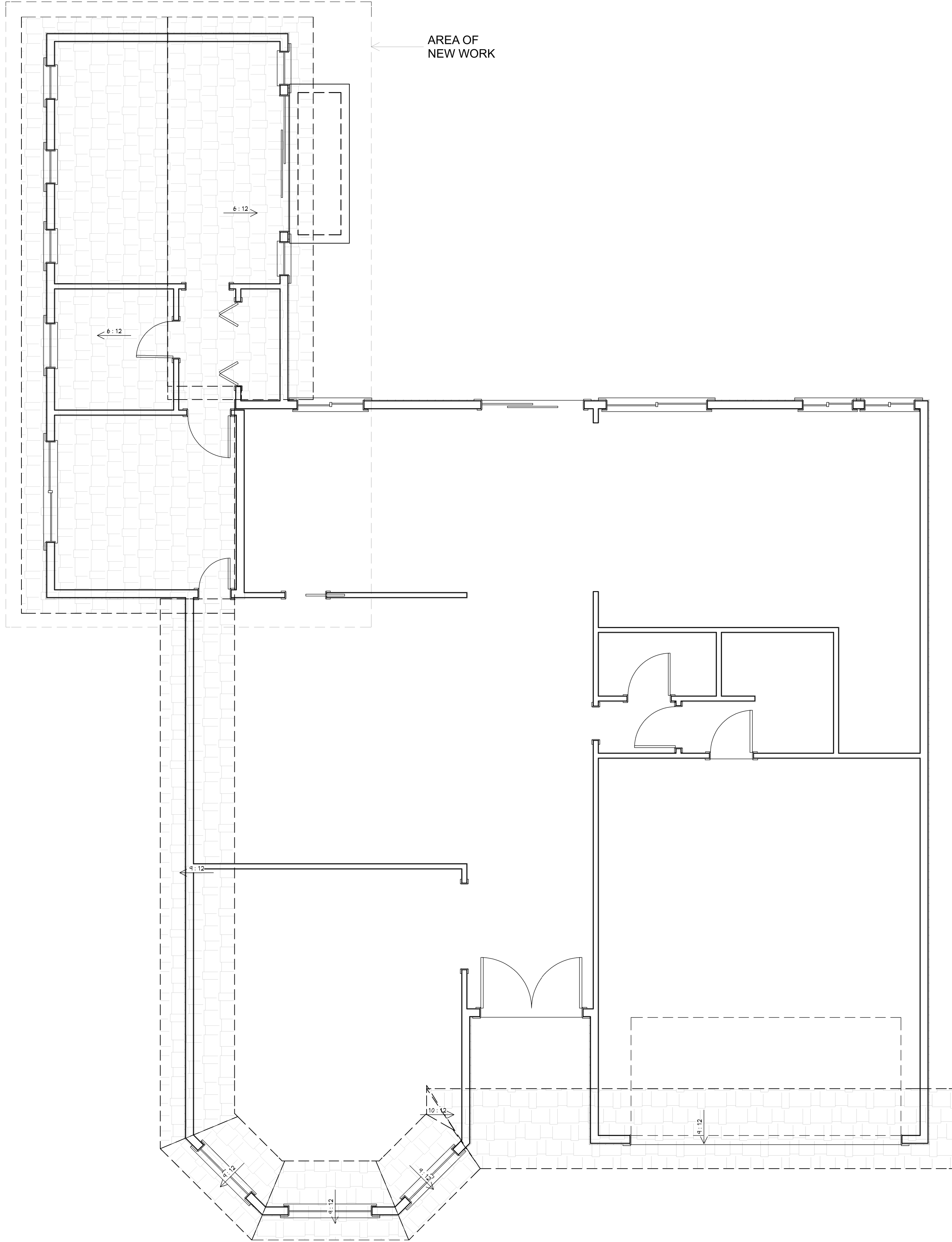
CONCEPT 2
SECTIONS



2

UPPER ROOF PLAN

SCALE: 1/4" = 1'-0"



1

LOWER ROOF PLAN

SCALE: 1/4" = 1'-0"

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NO	DESCRIPTION	DATE

DRAWN BY: KES
DATE DRAWN: 5/31/2016

SCALE:

CONCEPT 2
ROOF LAYOUT

11

OF 11

Vivian Szczepankowski

Residential and Light Commercial

design - drafting - illustration

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ENGINEER

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