



1250 Lakeside Drive
Sunnyvale, CA

Special Development Permit/Specific Plan Amendment
Revised Submission October 6th, 2016

Sunnyvale Partners, LTD



523 West Sixth St Suite 300
Los Angeles, CA 90014
t: 213.243.3333 f: 213.243.3334

Master Plan Architect

PROJECT SUMMARY

The proposed project is a unique mixed-use hotel and residential development located within the v Specific Plan in northeast Sunnyvale, California previously occupied by a 378-key low rise hotel. The site area is 8.83 acres.

The site is located at 1250 Lakeside Drive along the US Route 101 Bayshore Freeway near one of Sunnyvale's key vehicular gateways, the Lawrence Expressway off-ramp, thus connecting the project to the cities of the Peninsula between San Francisco and San Jose. This transportation orientation puts the development in close proximity to many of the City and Regional amenities and visitor attractions. Therefore, the following City goals will be satisfied by this uniquely designed development:

- Creation of a landmark project that showcases the City at this important gateway site.
- Maintaining a successful hotel that is an important part of the City's economy and business environment.
- Increasing the City's supply of housing stock and improve the jobs/housing ratio.
- Providing high quality residential development.

The project is proposed to be developed in two structures. One is a 6-story courtyard hotel with connected structured parking providing 263 guestrooms within a building that will not exceed 85 feet in height except for rooftop features, which will not exceed 100 feet in height. Attached to the hotel is a 3,000 sf restaurant, which fronts the lake. The other is a 6-story residential building of 250 units over podium parking that will not exceed 78 feet in height except for rooftop features, which will not exceed 93 feet in height. The residential unit count is planned to not exceed 47 units per acre of land.

The site area improvements will be a creatively designed landscape and hardscape, which will feature pastoral areas and social areas. A pedestrian path along the lake will give full access to the public. Private areas will provided adjacent to the residential development for occupant amenities. Outdoor areas adjacent to the hotel and restaurant will be planned for guest and public social gathering and functions. Vehicular and service access is provided for the residential and hotel projects from Lakeside Drive, while fire department access as afforded entirely around both projects.

The residential building has been designed with a human scale, and includes village-like massing with intervening private courtyards above the podium, social amenities and a pool area that faces the lake. Various types of amenities spaces, indoor and outdoor, connect to the courtyards and pool area for use by the occupants of the residential complex.

The hotel building features an integrated inside/outside landscaped character with the main ground floor guest functions connected directly to outdoor social gathering areas and an inner, open-air pool courtyard. Meeting rooms and banquet facilities are also connected directly to outdoor social gathering areas and the courtyard. The hotel building mass features a series of terraces oriented towards that lake that offers a series of public social gathering areas and private terraces connected to several of the guestrooms.

Parking for the hotel is provided by a three (3) level above-grade parking structure attached and adjacent to the hotel for a maximum of 255 spaces. Parking for the residential is provided by a two (2) level parking podium below the residential units and courtyards for a maximum of 444 spaces. Accommodation for the required occupant storage spaces will be provided on the residential floors and bicycle storage will be provided in the parking podium. Both parking areas will be appropriately designed to be aesthetically pleasing and integrated with the development.

PROJECT INFO

Site Area:	8.83 Acres	Previous Use:	Hotel	Proposed Number Residential Units:	250	Residential Density:	47 du/ac
Current Zoning:	Refer to Lakeside Specific Plan (previously Industrial and Service (M-S))	Proposed Use:	Mixed-Use Multi-Family Residential and Hotel	Proposed Number of Hotel Guestrooms:	263	Building Height Max:	85' T.O.Roof / 100' T.O. Parapet / Rooftop Features

PROJECT TEAM

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South Pasadena, CA 91030
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Waste Management - Residential

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PROJECT SUMMARY &
SHEET INDEX

G1.1

PROGRAM INFO & PARKING INFO
RESIDENTIAL

Site Area Lot 1 5.34 acres 232,424 sf Occupancy R-2
Construction Type III B

Unit Type	Unit Rentable	Floor Levels							Unit	%	Rentable Area
UNIT TYPE		1ST	2ND	3RD	4TH	5TH	6TH	7TH	Total		by Type
Apartments											
STUDIO											
S1	443	-	-	4	4	4	4	4	20		8,860
S2	476	-	-	4	4	4	8	8	28		13,328
S2.1	476	-	-	4	4	4	-	-	12		5,712
S3	496	-	-	-	-	-	2	2	4		1,984
S4	462	-	-	2	2	2	-	-	6		2,772
TOTAL	0	0	14	14	14	14	14	14	70	28%	32,656
1 BEDROOM											
A1	770	-	-	-	-	2	6	6	14		10,780
A1.1	726	-	-	4	4	2	-	-	10		7,260
A1.2	730	-	-	2	2	2	-	-	6		4,380
A2	764	-	-	-	-	2	2	2	6		4,584
A2.1	802	-	-	2	2	-	-	-	4		3,208
A3	810	-	-	2	2	-	-	-	4		3,240
A3.1	855	-	-	-	-	-	2	2	4		3,420
A3.2	823	-	-	-	-	2	-	-	2		1,646
A4	766	-	-	4	4	-	-	-	8		6,128
A4.1	816	-	-	-	-	4	4	4	12		9,792
A5	763	-	-	4	4	4	-	-	12		9,156
A5.1	779	-	-	-	-	-	4	4	8		6,232
A6	845	-	-	4	4	-	-	-	8		6,760
A6.1	903	-	-	-	-	4	4	4	12		10,836
TOTAL	0	0	22	22	22	22	22	110	44%		87,422
2 BEDROOM											
B1	981	-	-	-	-	4	4	4	12		11,772
B1.1	963	-	-	-	-	4	4	4	8		7,704
B2	1,386	-	-	2	2	-	-	-	4		5,544
B2.1	1,346	-	-	-	-	2	2	2	4		5,384
B2.2	1,417	-	-	-	-	2	2	2	6		8,502
B2.3	1,342	-	-	2	2	2	-	-	6		8,052
B3	1,229	-	-	2	2	-	-	-	4		4,916
B3.1	1,267	-	-	-	-	2	2	2	6		7,602
B4	899	-	-	-	4	4	-	-	8		7,192
B4.1	899	-	-	4	-	-	-	-	4		3,596
B5	938	-	-	-	4	-	-	-	4		3,752
B5.1	938	-	-	4	-	-	-	-	4		3,752
TOTAL	0	0	14	14	14	14	14	14	70	28%	77,768
TOTAL UNITS	0	0	50	50	50	50	50	50	250		197,846

Avg. Unit Size 791

*Net Rentable Area of units is measured as follows: centerline of corridor wall, center of air-gap at demising wall assembly, outside face of stud at exterior walls.

Rentable Residential by floor ¹	-	-	38850	38850	39630	40258	40258				197,846
Gross Residential by Floor ²	-	-	51,184	51,237	52,351	52,979	52,979				260,730
Net/Gross			0.76	0.76	0.76	0.76	0.76				0.69
Gross Garage by Floor	96,959	88,729	-	-	-	-	-				185,688
Lobby (including mail room)	1,554	-	-	-	-	-	-				1,554
Leasing	1,924	-	-	-	-	-	-				1,924
Club Room	-	3,934	-	-	-	-	-				3,934
Yoga room	-	-	1,421	-	-	-	-				1,421
Fitness Room	-	-	1,423	-	-	-	-				1,423

1. Based on typical units, not including decks

2. Includes Lobby, Corridors, Stairs, etc. Amenity spaces, decks and courtyards not included

	Bicycle Parking (Private) ³	Bicycle Parking (Public)	Tandem Parking	Regular Accessible	Van Accessible	Electric Vehicle Charging	Full Size Stall	Full Size Guest	Accessible Van Guest	Total ₁	Grand Total ₂
Basement	80	10	4	8	2	30	193	2	1	236	240
Level 1	-	-	6	6	-	26	164	-	-	196	202
Total	80	10	10	14	2	56	357	2	1	432	442

1 - Does not include Bicycle Parking

2 - Grand Total Includes Tandem Parking Spaces, but does not include bicycle parking

3 - All private bicycle spaces to be Class I, all public spaces Class II

HOTEL

Site Area Lot 2 3.49 acres 152,072 sf FAR 1.09 Occupancy R-1
Construction Type IB

GUESTROOM COUNTS

	Typical	Adjoining	Total	Keys / Floor
LEVEL 2				
King (Std)	41	8	49	70
Double Double		12	12	
Corner Suites		4	4	
Suites	3		3	
King (Mobility)	2		2	
LEVEL 3				
King (Std)	48	8	56	75
Double Double		11	11	
Corner Suites		3	3	
Suites	3		3	
King (Mobility)	2		2	
LEVEL 4				
King (Std)	43	6	49	65
Double Double		9	9	
Corner Suites		3	3	
Suites	2		2	
King (Mobility)	2		2	
LEVEL 5				
King (Std)	30	3	33	43
Double Double		5	5	
Corner Suites		2	2	
Suites	2		2	
King (Mobility)	1		1	
LEVEL 6				
King (Std)	2	1	3	10
Double Double		2	2	
Corner Suites		1	1	
Suites	3		3	
King (Mobility)	1		1	
TOTAL KEYS 263				

Room Type	Total
King (Std)	190
Double Double	39
Corner Suites	13
Suites	13
King (Mobility)	8

Room Type	Total
Rooms	52
(Pairs)	26

Level	Area
Level 1	45,118
Level 2	32,052
Level 3	31,857
Level 4	28,008
Level 5	19,528
Level 6	9,261
Total	165,824

Parking Type	Area
P1	36,452
P2	32,569
P3	28,693
Total	97,714

Category	Area
Mechanical & Equipment	8,245
Housekeeping / Storage	3,576
Total	11,821

Interior Program Spaces		Exterior Program Spaces	
Banquet	9,032	2,097	Banquet
Banquet A	1,697	699	Banquet Patio
Banquet B	1,735	699	Banquet Patio
Banquet C	1,730	699	Banquet Patio
Prefunction	3,870		

Meeting		Meeting	
Meeting	3,170	1,225	Meeting
Conference Center	738	400	Meeting Terrace
Meeting 1	425	295	Meeting Terrace
Meeting 2	421	-	N/A
Meeting 3	384	385	Meeting Terrace
Meeting 4	385	-	N/A
Meeting 5	495	145	Meeting Terrace
Co-work area	322		

Restaurant / Bar / Lounge		Restaurant / Bar / Lounge	
Restaurant / Bar / Lounge	6,952	4,329	Restaurant / Bar / Lounge
Restaurant	3,054	1,591	Outdoor Dining
Lobby Bar	1,037	1,724	Courtyard Seating + Patio
Rooftop Bar	1,380	1,014	Rooftop Bar Patio
Informal Lounge	1,481		

Category	Area
Kitchen / Food Services	3,546
Kitchen	2,546
Pantry (Meeting Rooms)	254
Rooftop Bar Support	185
Grab & Go	561

Category	Area
Gift Shop	522
Sundry Shop	522

Category	Area
Office	2,780
Fin A	164
Fin B	156
Fin C	178
Front Admin	353
Front Office	233
Gen Mgr	232
HK Office	148
HR	164
M&R / Admin Support	549
Sales	156
Security	85
Check In	362
Engineering Office	207

Category	Area
Back of House	3,910
Loading Dock	1,830
Laundry/Valet	938
Employee Facilities	1,142

	Bicycle Parking ₃	Surface Parking	Regular Accessible	Van Accessible	Electric Vehicle	Restaurant Parking	Full Size Stall	Total ₁
Level 1	18	15	5	2	8	45	16	91
Level 2	-	-	-	-	-	-	87	87
Level 3	-	-	-	-	-	-	77	77
Total	18	15	5	2	8	45	180	255

1 - Does not include Bicycle Parking

2 - Per Sunnyvale Non-Residential Parking Requirements: Bicycle parking at Hotel is not required. Bicycle parking required at Restaurant = 5% x 45 Vehicles = 3 spaces.

3 - All spaces provided are Class II. See L-Series for locations.

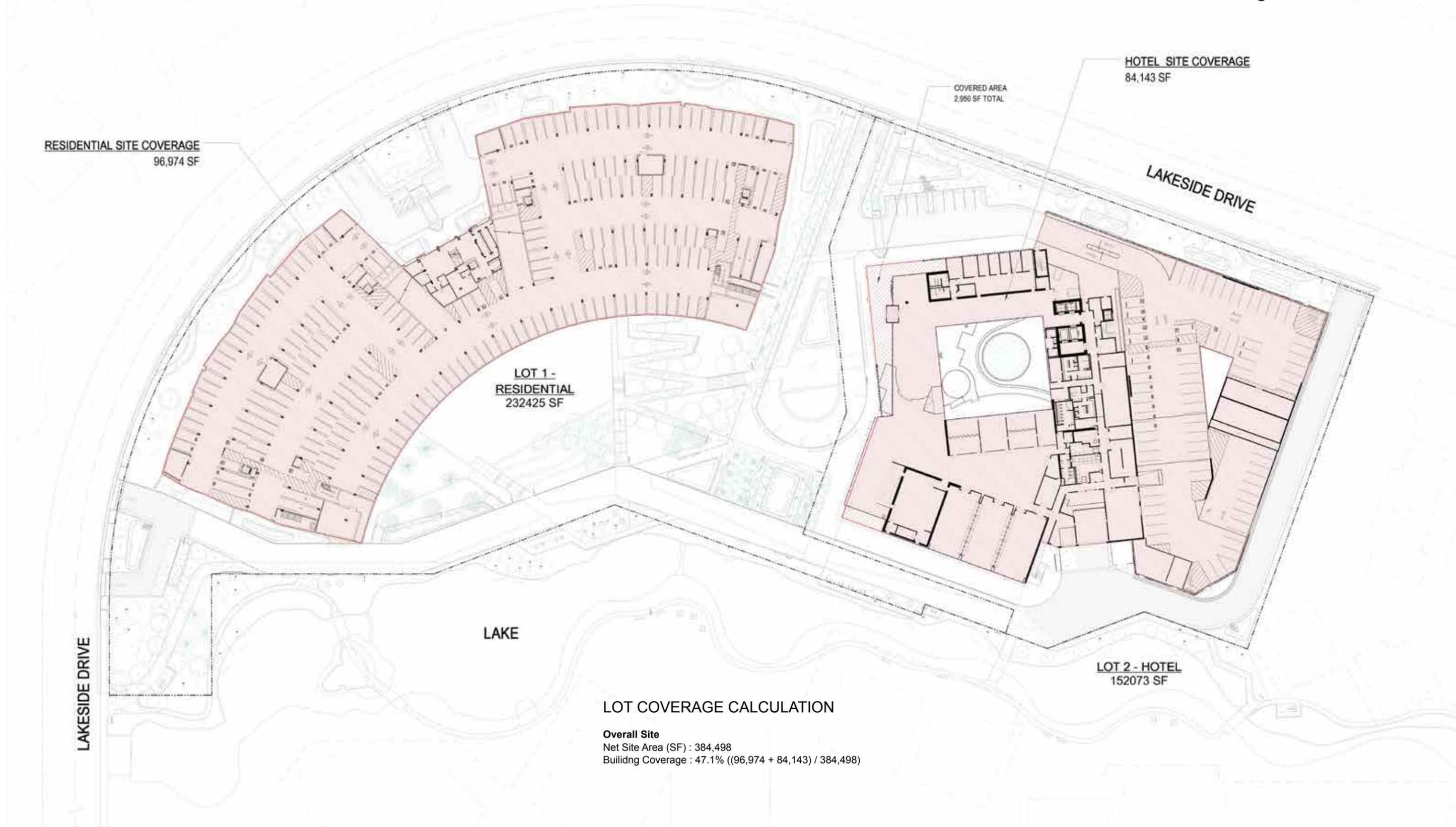
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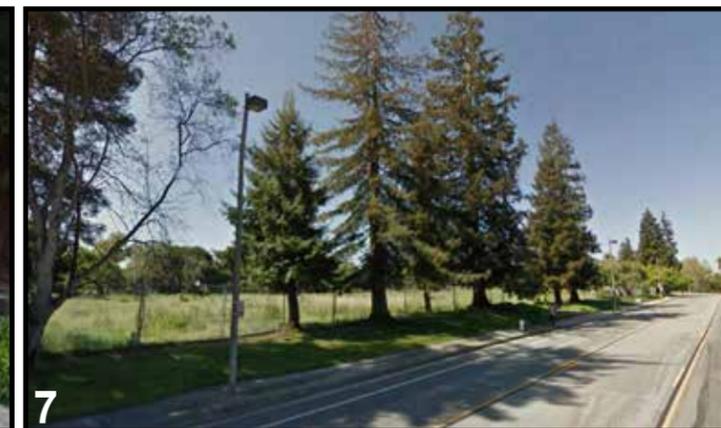
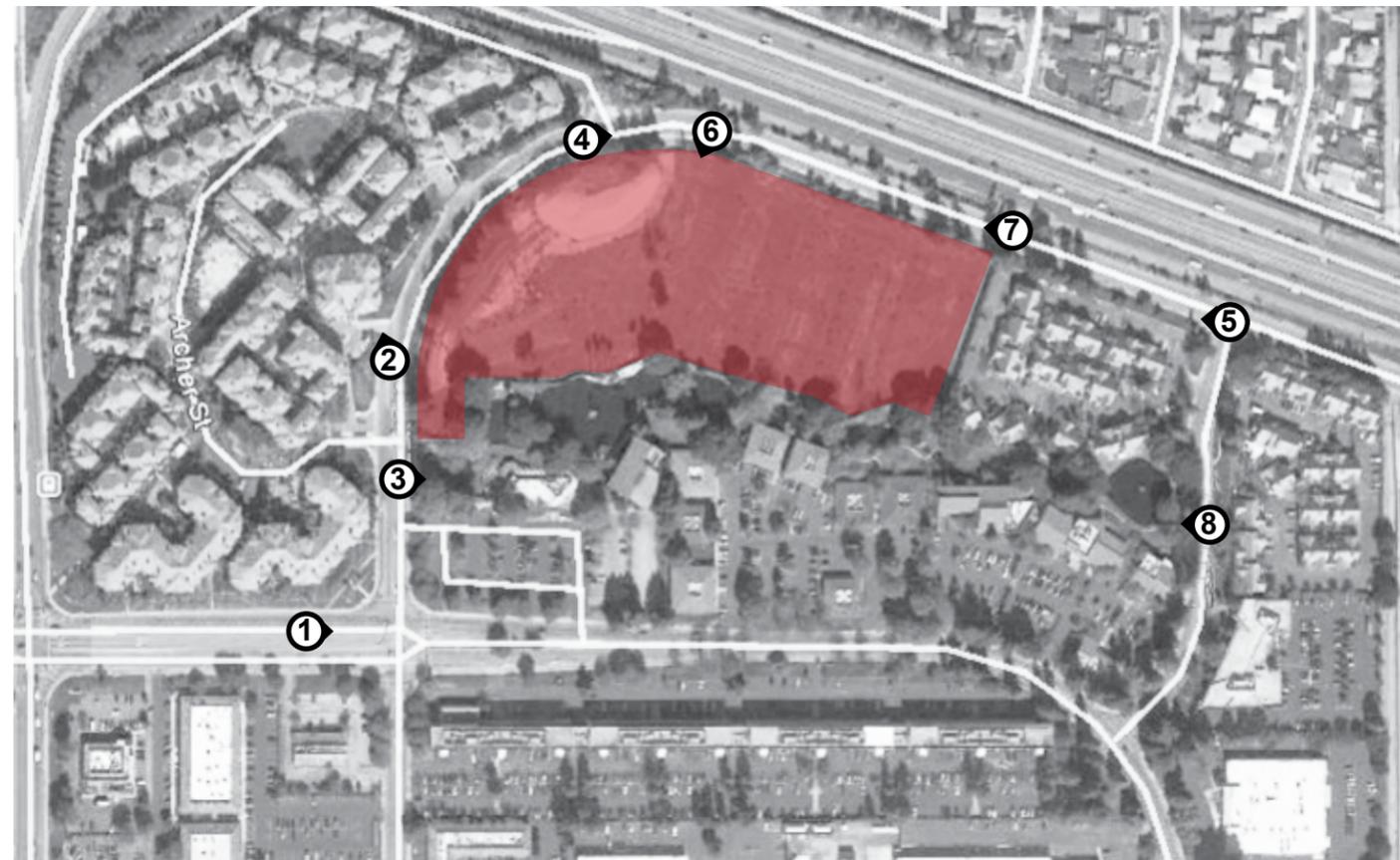
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GENERAL SITE
INFORMATION

G1.1a





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VICINITY MAP &
 CONTEXT PHOTOS

G1.2



LEGEND

- Residential Use
- Commercial Mixed Use
- Commercial F&B
- Commercial Hotel
- Proposed Public Open Space
- Pedestrian & Bicycle Path
- Existing Pedestrian Path
- Priority Intersection
- New Intersection
- Public Transportation Bus Stops
- Freeway
- Expressway

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swa

CONTEXTUAL SITE
PLAN
S1.1

SITE PLAN

--- LOT LINE



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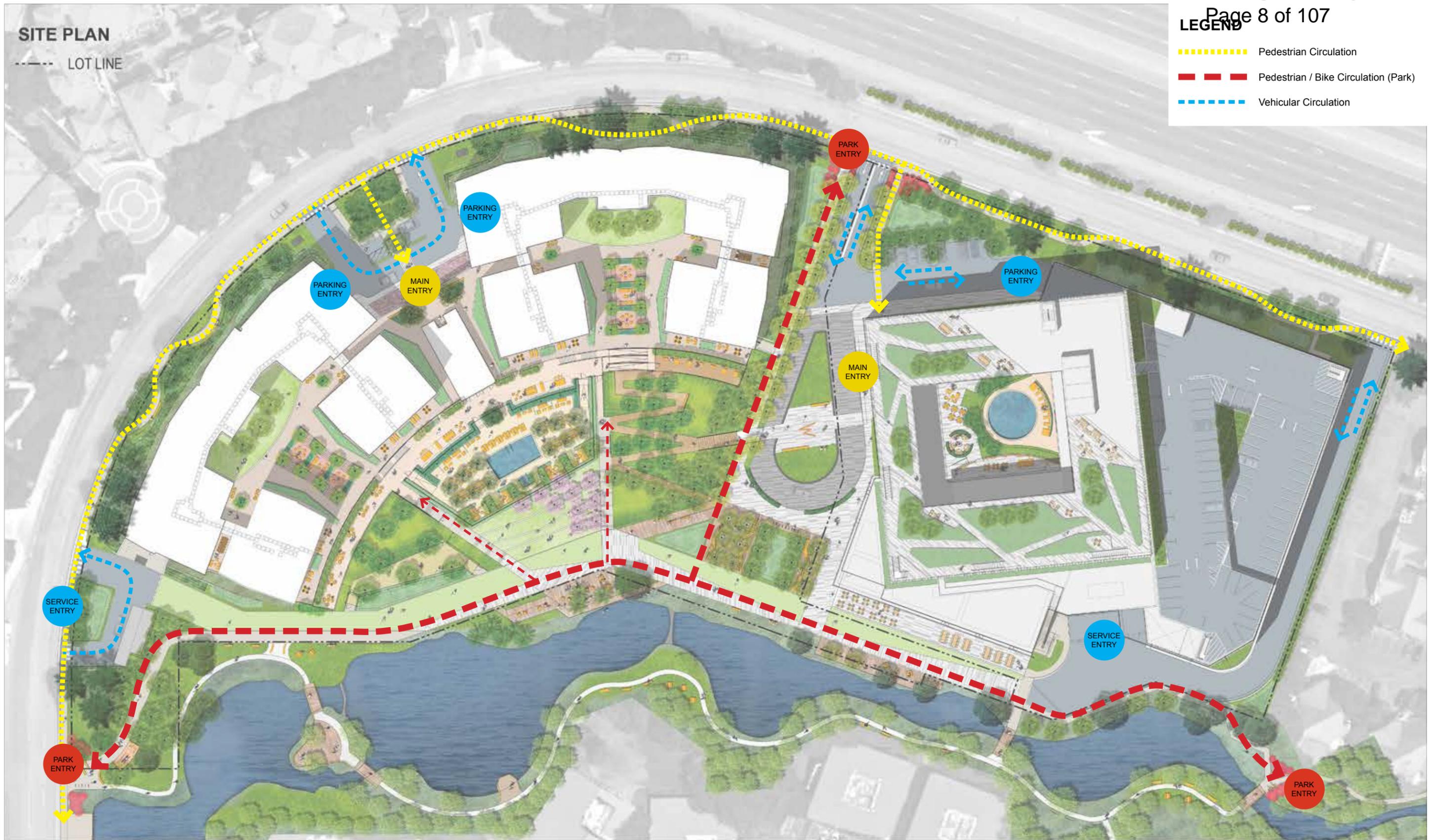
ILLUSTRATIVE SITE
PLAN

S1.2

SITE PLAN

--- LOT LINE

- Pedestrian Circulation
- Pedestrian / Bike Circulation (Park)
- Vehicular Circulation



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CIRCULATION PLAN

S1.3

SOLAR STUDY - RESIDENTIAL

The Solar Shading studies below were done for the Solar Equinox, December 21st.



Shadow Settings

UTC: 7:00
Time: 09:00 AM
Date: 12/21

Light: 100
Dark: 36

Use sun for shading

Display:
 On Faces
 On Ground
 From Edges

Shaded Neighboring Roof Areas - December 21st (Winter Solstice)
Comparing Individual Building and Overall Complex Residential Building

time	sf shaded	%	Neighboring Building Roof Area:
900	5,893	38.9%	15,134
1000	319	2.1%	
1100	0	0.0%	
1200	0	0.0%	
1300	0	0.0%	
1400	0	0.0%	
1500	0	0.0%	
average:	887	5.9%	

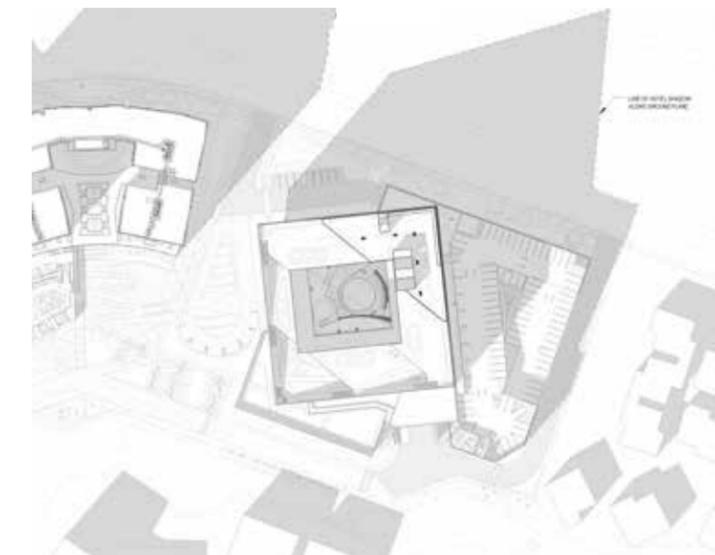
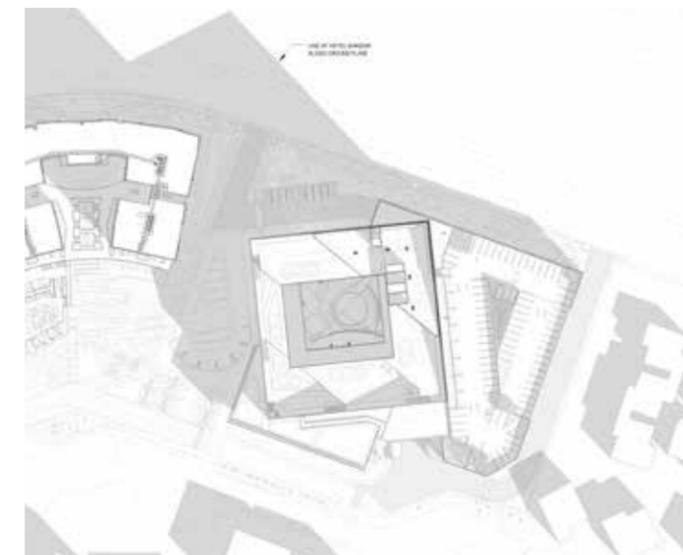
Shadow Settings

UTC: 7:00
Time: 03:00 PM
Date: 12/21

Light: 100
Dark: 36

Use sun for shading

Display:
 On Faces
 On Ground
 From Edges

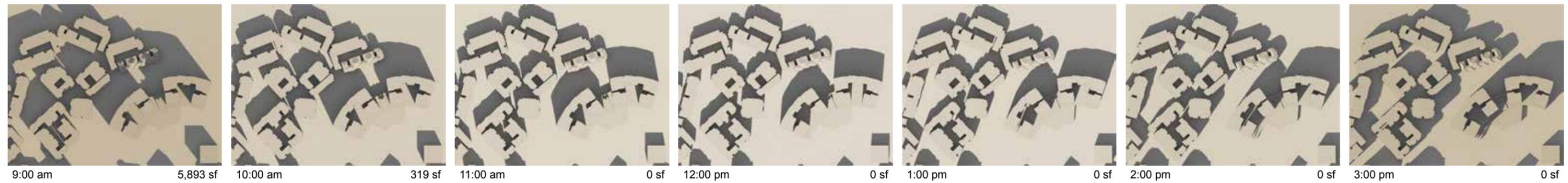


There are no shadows cast on neighboring roofs by the Hotel.

SOLAR STUDY - HOTEL

DECEMBER 21ST (WINTER SOLSTICE) - WORST CASE SCENARIO

SHADOW IS CAST ON NEIGHBORING BUILDING AT 9:00 AM AND 10:00 AM.
AFTER APPROXIMATELY 10:30AM THERE ARE NO LONGER ANY SHADOWS CAST ON NEIGHBORING BUILDINGS.
THIS REMAINS TRUE FOR THE REST OF THE DAY UNTIL AT LEAST 3:00PM



12 MONTH STUDY (9:00 AM, 21ST DAY OF EACH MONTH) - WORST CASE SCENARIO

SHADOW IS CAST ON NEIGHBORING BUILDING ONLY DURING MONTHS OF JANUARY, NOVEMBER, AND DECEMBER.

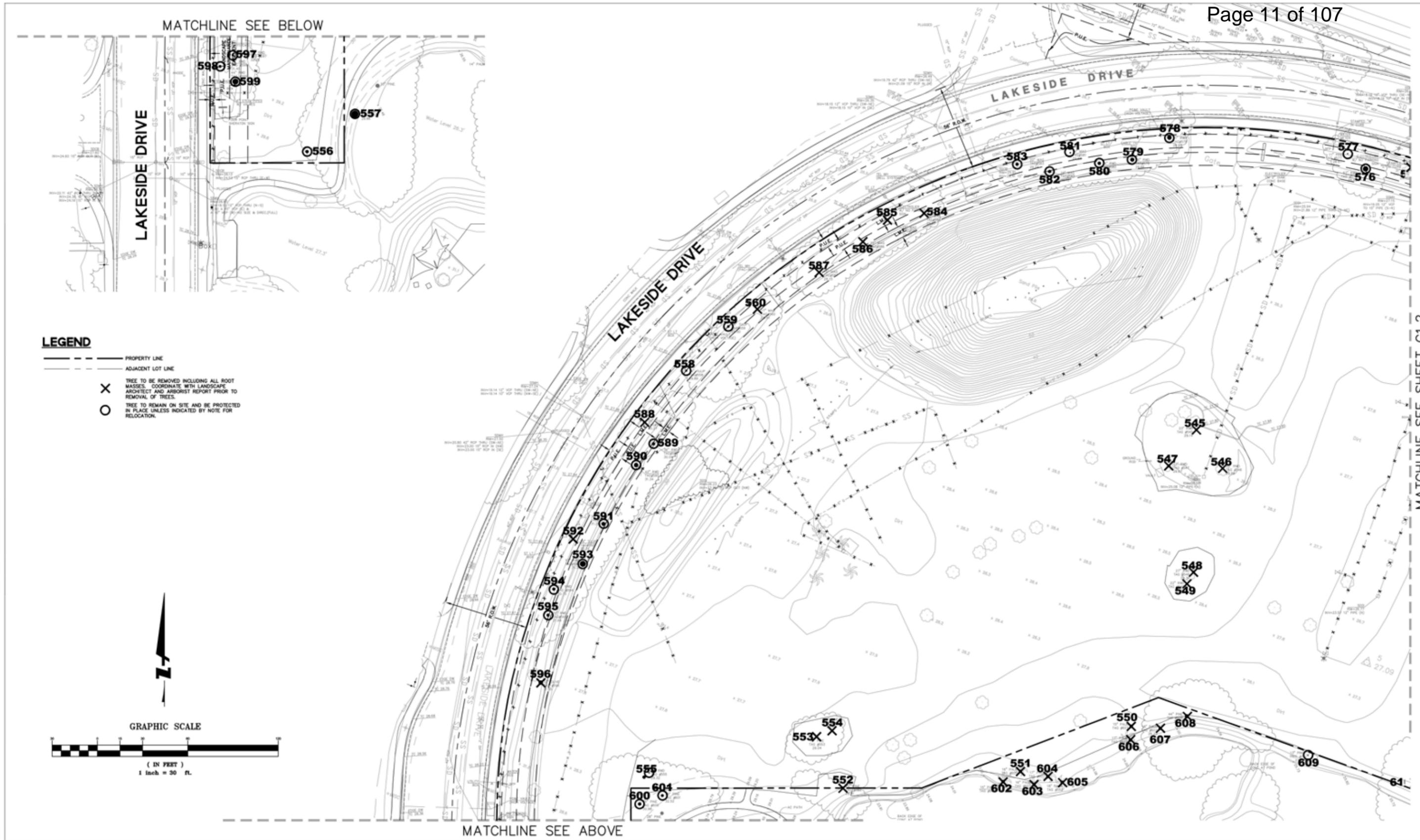


RESULTS

STUDIES PERFORMED FOR EVERY MONTH OF THE YEAR, AT EACH HOUR BETWEEN 9:00AM AND 3:00PM

	9:00	10:00	11:00	12:00	13:00	14:00	15:00	MONTHLY AVERAGE (9am-3pm)	MONTHLY AVERAGE (%)
January 21, 2016	3803 sf	34 sf	0 sf	0 sf	0 sf	0 sf	0 sf	548 sf	3.62%
February 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
March 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
April 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
May 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
June 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
July 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
August 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
September 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
October 21, 2016	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0.00%
November 21, 2016	1360 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf	194 sf	1.28%
December 21, 2016	5893 sf	319 sf	0 sf	0 sf	0 sf	0 sf	0 sf	887 sf	5.86%
YEARLY AVERAGE (JAN-DEC)	921 sf	29 sf	0 sf	0 sf	0 sf	0 sf	0 sf	136 sf	0.90%
YEARLY AVERAGE (%)	6.09%	0.19%	0.00%	0.00%	0.00%	0.00%	0.00%	0.90%	

Roof Area of Neighboring building:	15134 sf
Cumulative Average of all 84 data points:	136 sf
Cumulative Shading of Neighboring Building (%):	0.90%



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Sunnyvale, CA
7600 East Orchard Road
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Greenville Village, CO 80111

Special Development Permit/Specific Plan Amendment
Revised Submission October 6, 2016

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EXISTING CONDITIONS

C1.1



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EXISTING CONDITIONS
C1.2

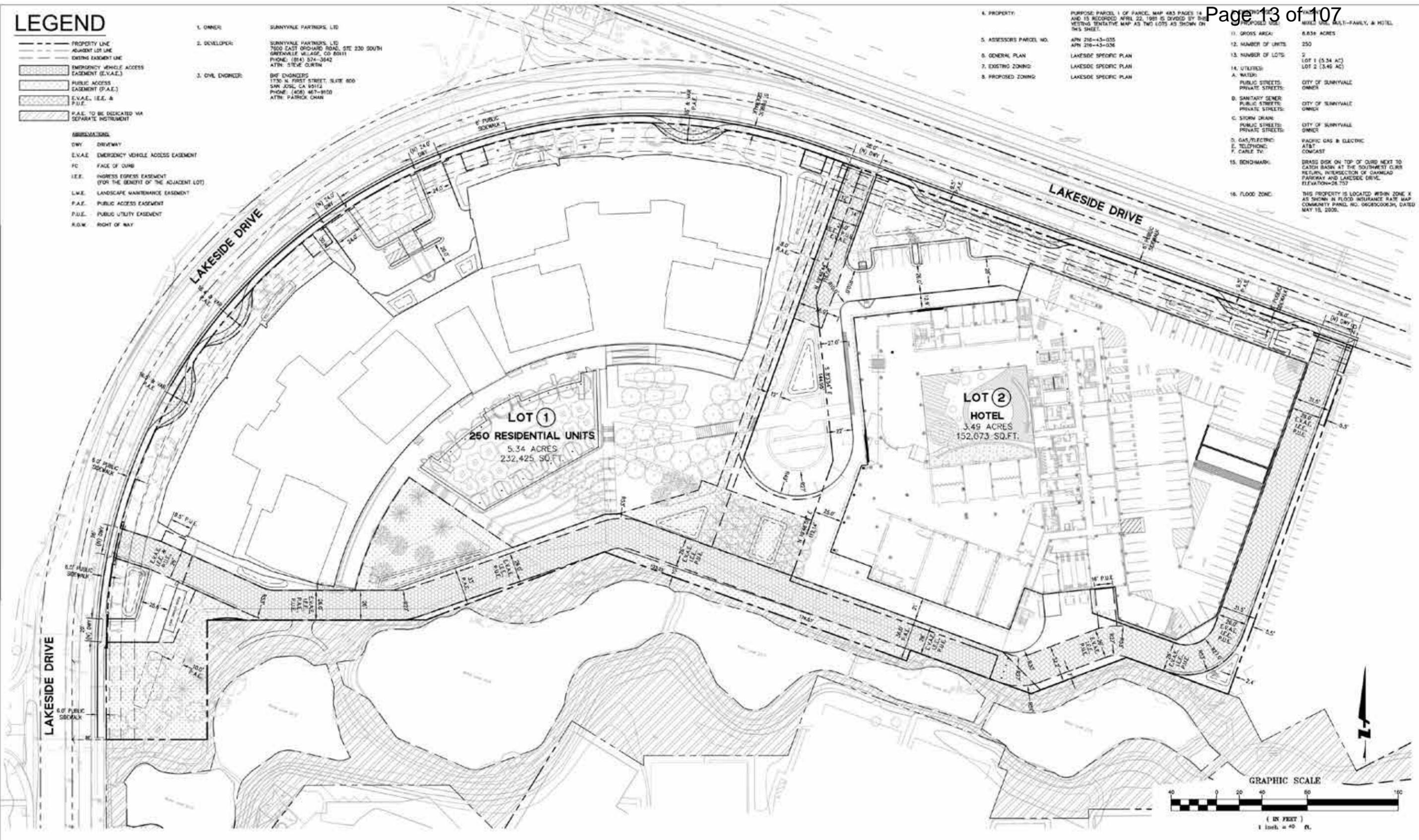
LEGEND

- PROPERTY LINE
 - ADJACENT LOT LINE
 - DASHED EASEMENT LINE
 - EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.)
 - PUBLIC ACCESS EASEMENT (P.A.E.)
 - E.V.A.E., I.E.E. & P.U.E.
 - P.A.E. TO BE DEDICATED VIA SEPARATE INSTRUMENT
- ABBREVIATIONS**
- DWY DRIVEWAY
 - E.V.A.E. EMERGENCY VEHICLE ACCESS EASEMENT
 - FC FACE OF CURB
 - I.E.E. INGRESS EGRESS EASEMENT (FOR THE BENEFIT OF THE ADJACENT LOT)
 - L.M.E. LANDSCAPE MAINTENANCE EASEMENT
 - P.A.E. PUBLIC ACCESS EASEMENT
 - P.U.E. PUBLIC UTILITY EASEMENT
 - R.O.W. RIGHT OF WAY

1. OWNER: SUNNYVALE PARTNERS, LTD
 2. DEVELOPER: SUNNYVALE PARTNERS, LTD
 7600 EAST ORCHARD ROAD, SUITE 230 SOUTH
 GREENVILLE VILLAGE, CO 80111
 PHONE: (303) 574-3842
 ATTN: STEVE CLARK
 3. CIVIL ENGINEER: DMF ENGINEERS
 1730 N. FIRST STREET, SUITE 800
 SAN JOSE, CA 95112
 PHONE: (408) 467-9100
 ATTN: PATRICK CHAN

4. PROPERTY: [REDACTED]
 5. ASSESSOR'S PARCEL NO.: APN 216-43-035
 APN 216-43-036
 6. GENERAL PLAN: LAKESIDE SPECIFIC PLAN
 7. EXISTING ZONING: LAKESIDE SPECIFIC PLAN
 8. PROPOSED ZONING: LAKESIDE SPECIFIC PLAN

PURPOSE: PARCEL 1 OF PARCEL MAP 483 PAGES 14 AND 15 RECORDED APRIL 22, 1981 IS DIVIDED BY THE VESTING TENTATIVE MAP AS TWO LOTS AS SHOWN ON THIS SHEET.
 PROPOSED USE: MIXED USE, MULTI-FAMILY, & HOTEL
 11. GROSS AREA: 8.834 ACRES
 12. NUMBER OF UNITS: 250
 13. NUMBER OF LOTS: 2
 LOT 1 (5.34 AC)
 LOT 2 (3.49 AC)
 14. UTILITIES:
 A. WATER: CITY OF SUNNYVALE OWNER
 B. SANITARY SEWER: CITY OF SUNNYVALE OWNER
 C. STORM DRAIN: CITY OF SUNNYVALE OWNER
 D. GAS/ELECTRIC: PACIFIC GAS & ELECTRIC
 E. TELEPHONE: AT&T
 F. CABLE TV: COMCAST
 15. BENCHMARK: BRASS DISK ON TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CORNER INTERSECTION OF GARDNER PARKWAY AND LAKESIDE DRIVE. ELEVATION=28.757
 16. FLOOD ZONE: THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PARCEL NO. 066250003H, DATED MAY 15, 2009.



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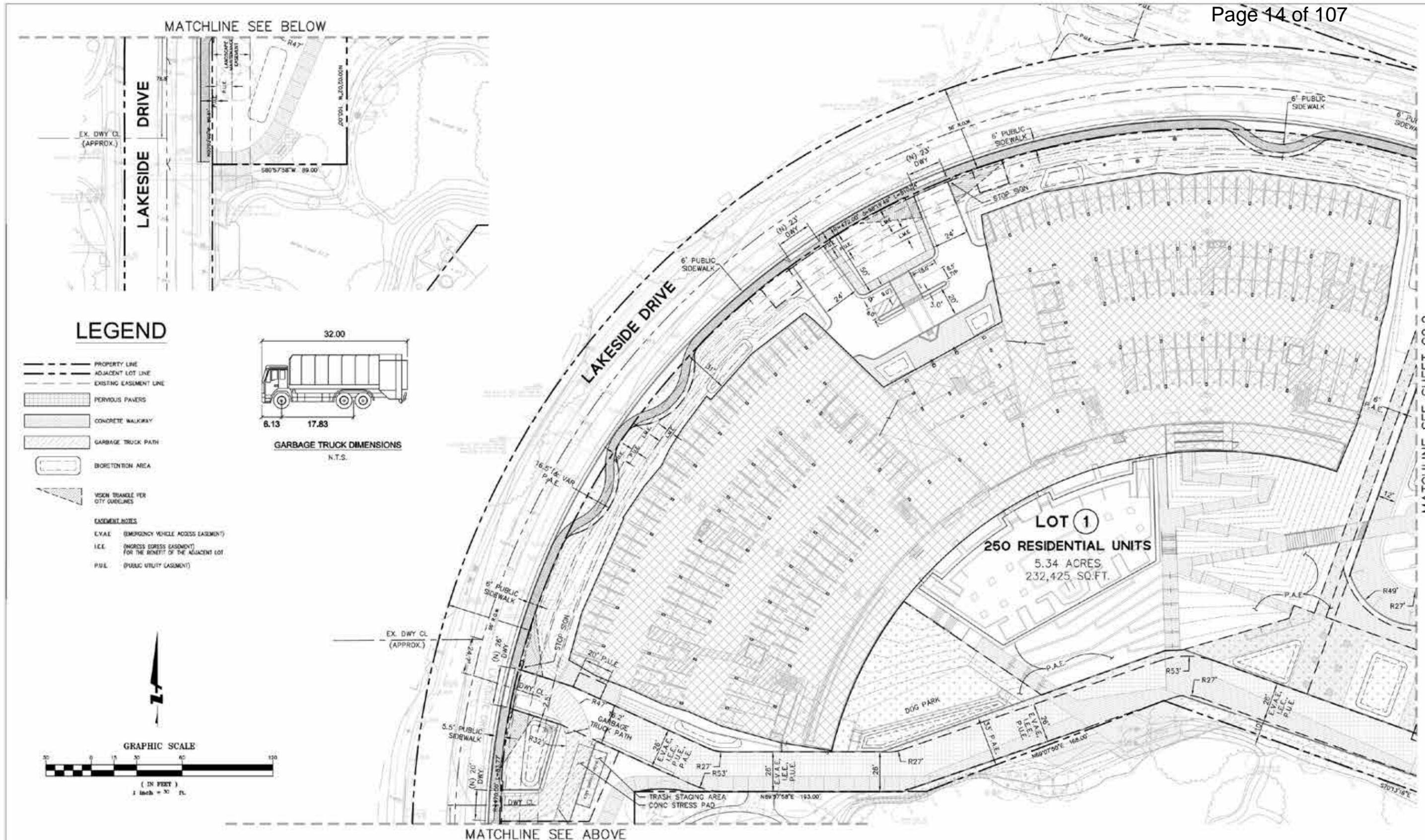
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TENTATIVE MAP SHEET

C2.0



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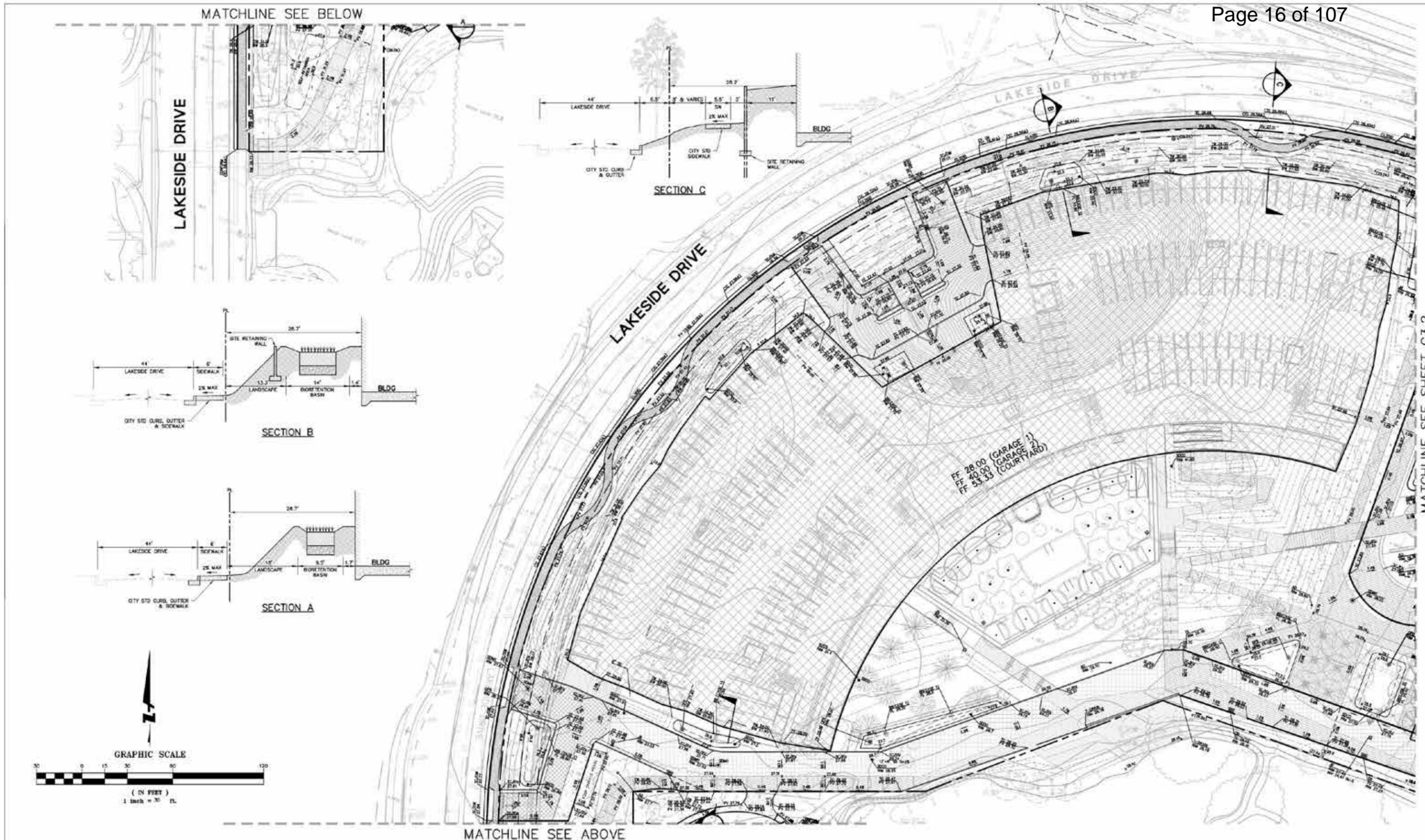
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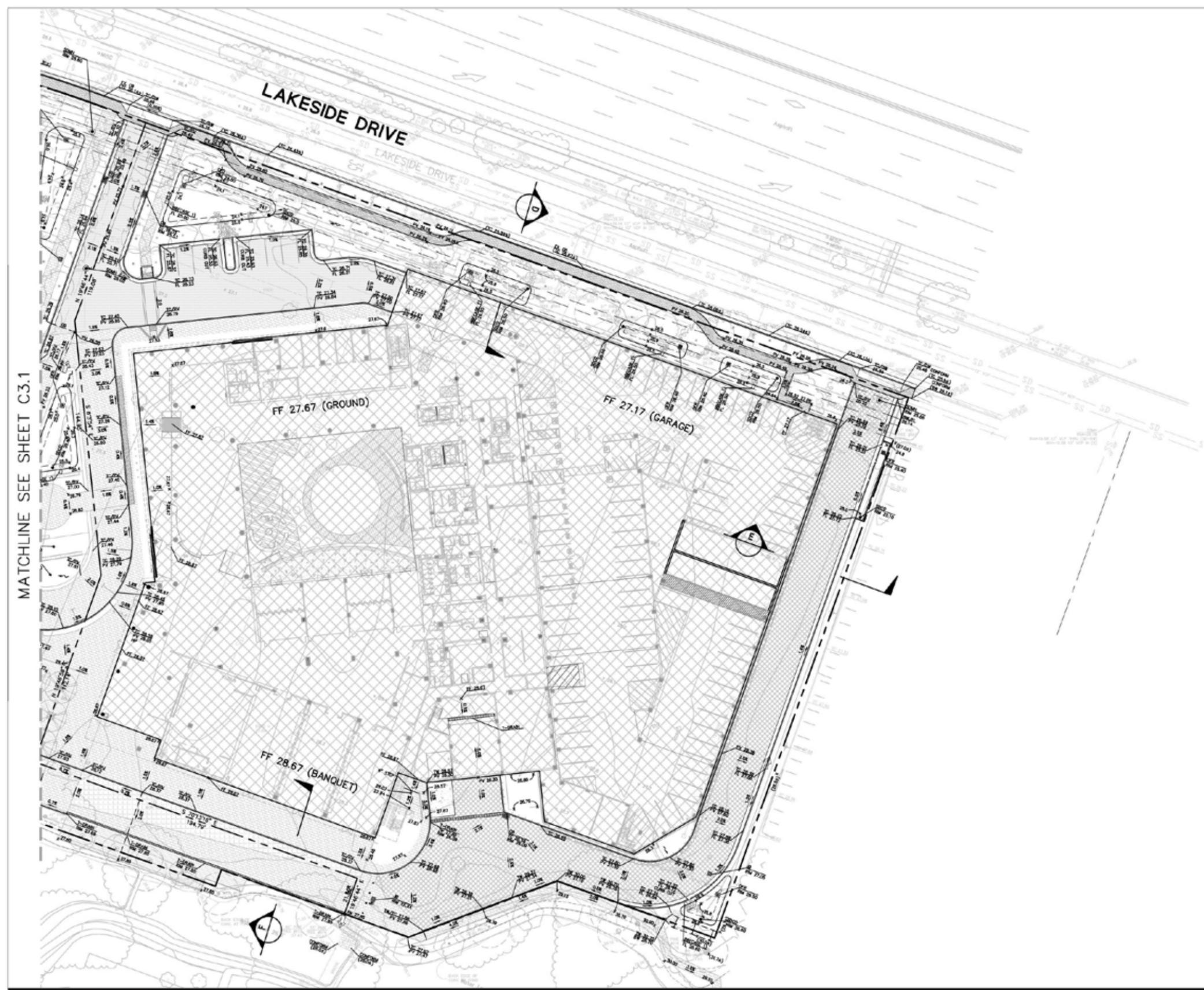
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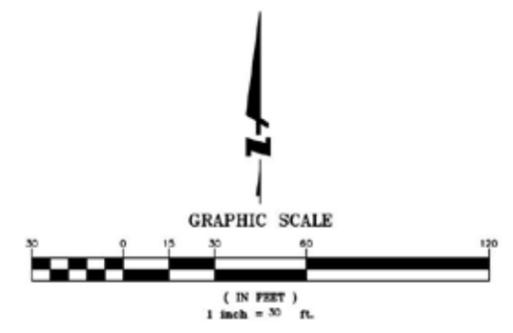
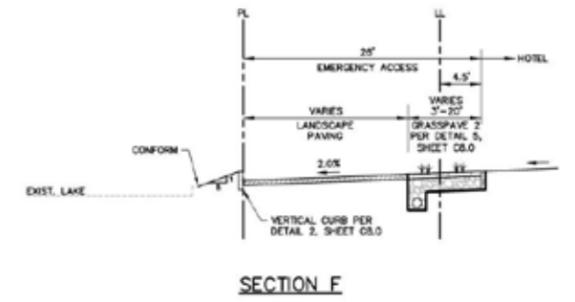
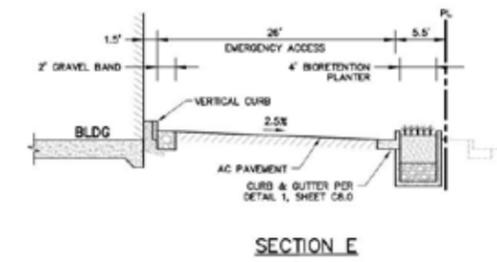
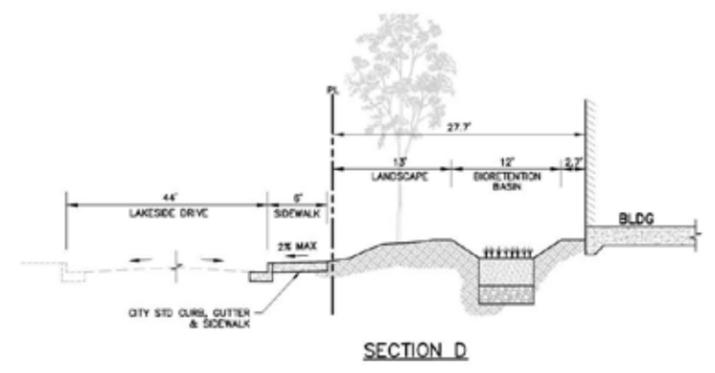
PRELIMINARY
HORIZONTAL CONTROL/
MAP SHEET

C2.1





MATCHLINE SEE SHEET C3.1



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PRELIMINARY GRADING
& DRAINAGE PLAN

C3.2

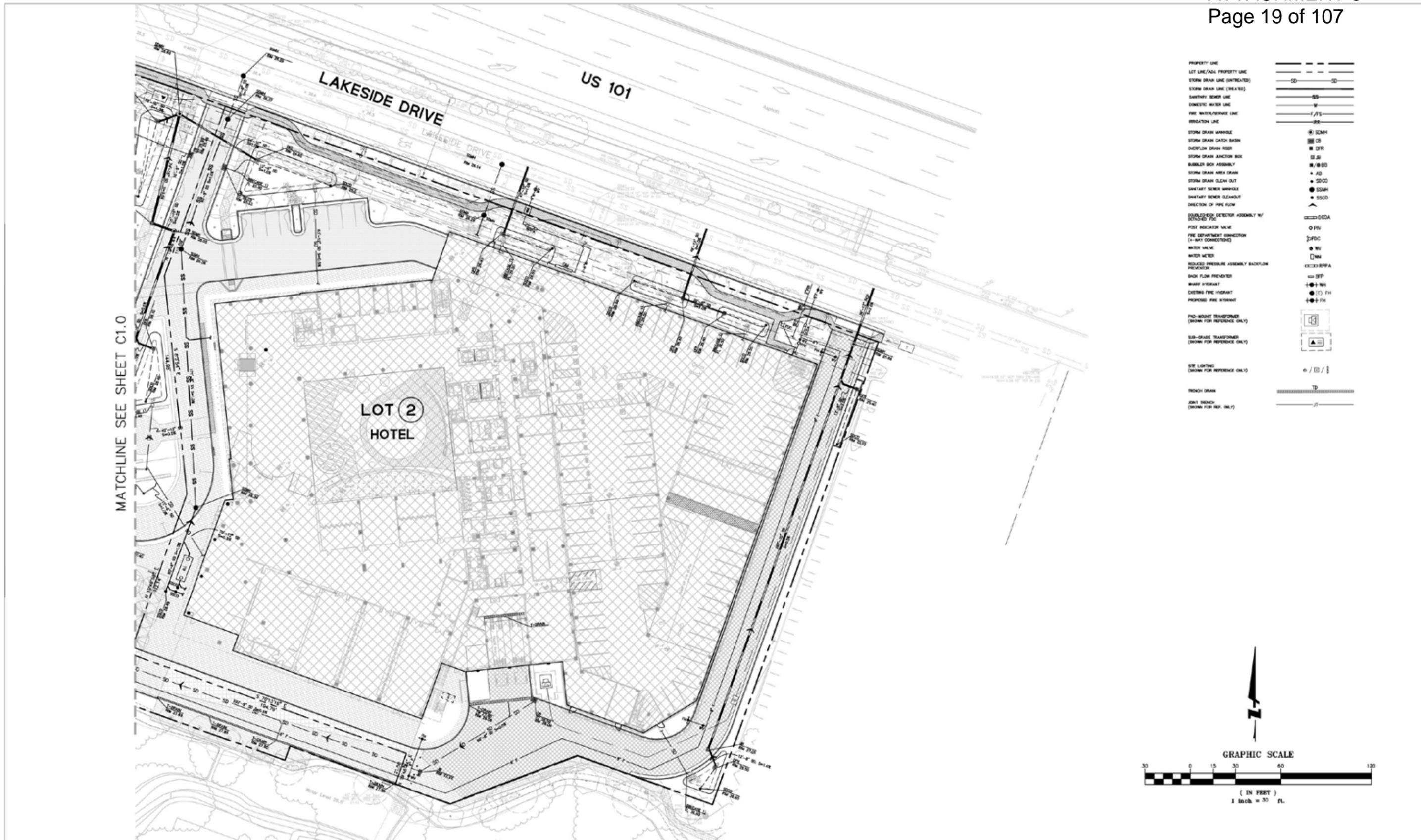


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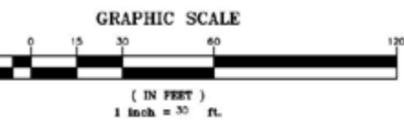
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PRELIMINARY UTILITY
PLAN
C4.1



MATCHLINE SEE SHEET C1.0

LOT 2
HOTEL



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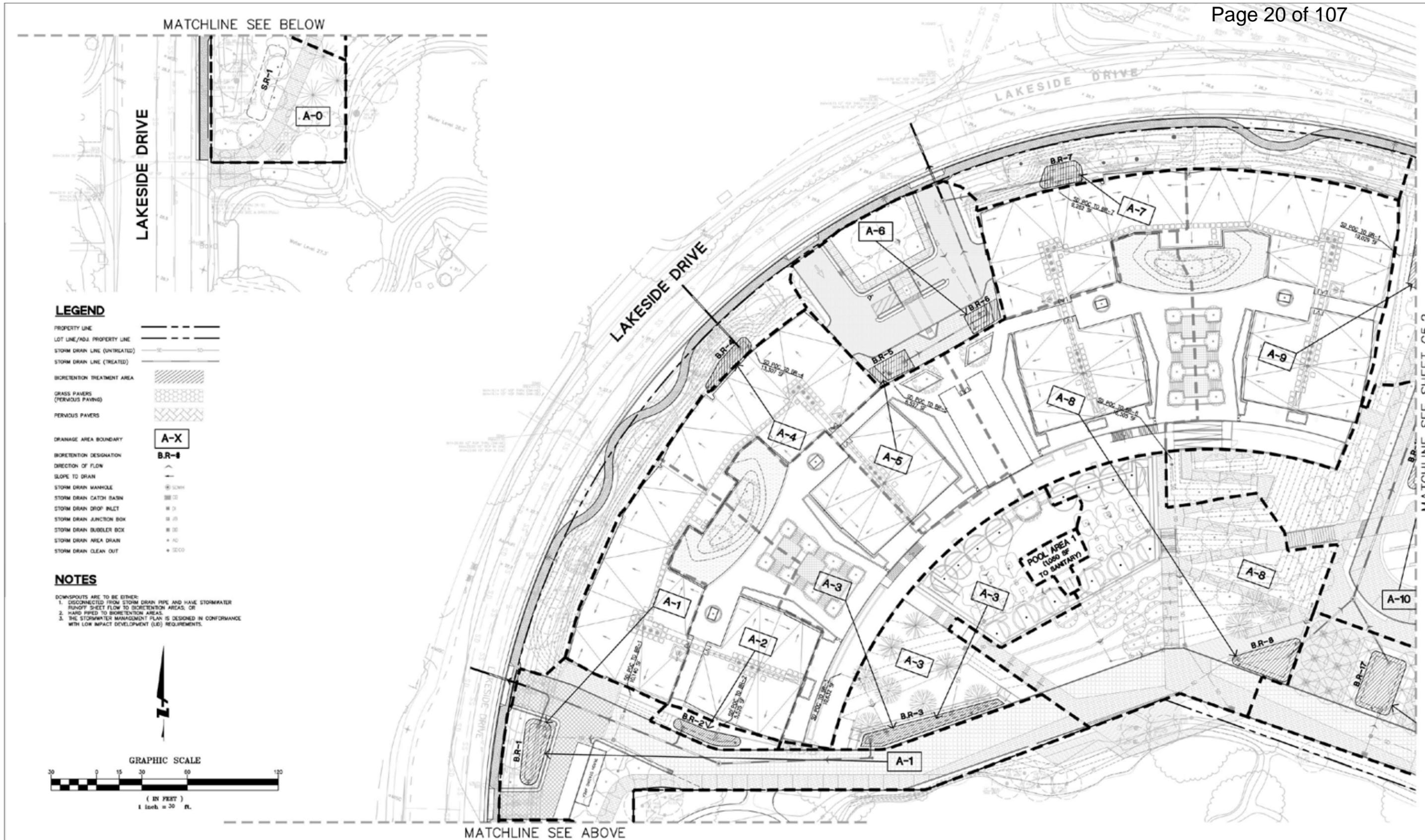
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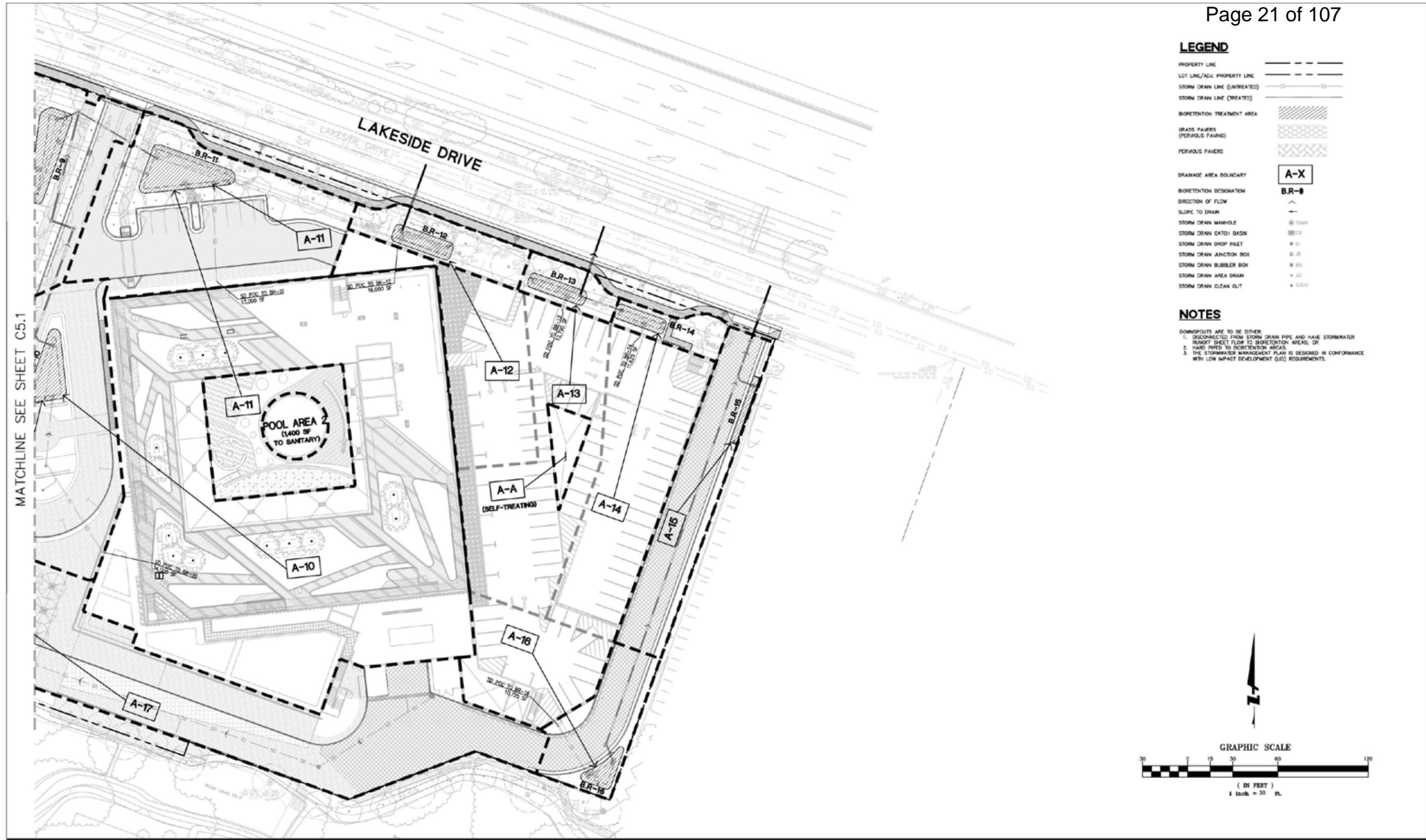
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PRELIMINARY UTILITY
PLAN

C4.2

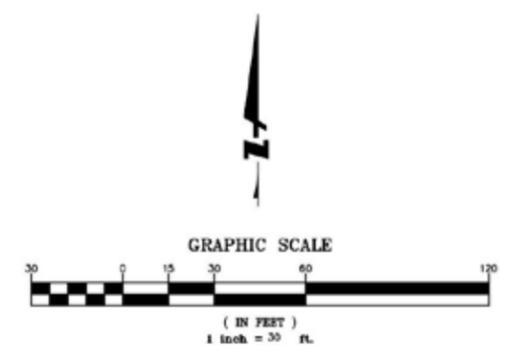




LEGEND

PROPERTY LINE	---
LOT LINE/ADA PROPERTY LINE	---
STORM DRAIN LINE (UNTREATED)	---
STORM DRAIN LINE (TREATED)	---
BIORETENTION TREATMENT AREA	[Hatched Box]
GRASS PAVERS (PERVIOUS PAVING)	[Grid Pattern Box]
PERVIOUS PAVERS	[Cross-hatch Pattern Box]
DRAINAGE AREA BOUNDARY	A-X
BIORETENTION DESIGNATION	B.R.-#
DIRECTION OF FLOW	→
SLOPE TO DRAIN	1/8"
STORM DRAIN MANHOLE	⊙
STORM DRAIN CATCH BASIN	⊞
STORM DRAIN DROP INLET	⊞
STORM DRAIN JUNCTION BOX	⊞
STORM DRAIN BUBBLER BOX	⊞
STORM DRAIN AREA DRAIN	+
STORM DRAIN CLEAN OUT	+

- NOTES**
1. DOWNSPOUTS ARE TO BE EITHER:
a. DISCONNECTED FROM STORM DRAIN PIPE AND HAVE STORMWATER RUNOFF SHEET FLOW TO BIORETENTION AREAS; OR
 2. HARD PIPED TO BIORETENTION AREAS.
 3. THE STORMWATER MANAGEMENT PLAN IS DESIGNED IN CONFORMANCE WITH LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS.



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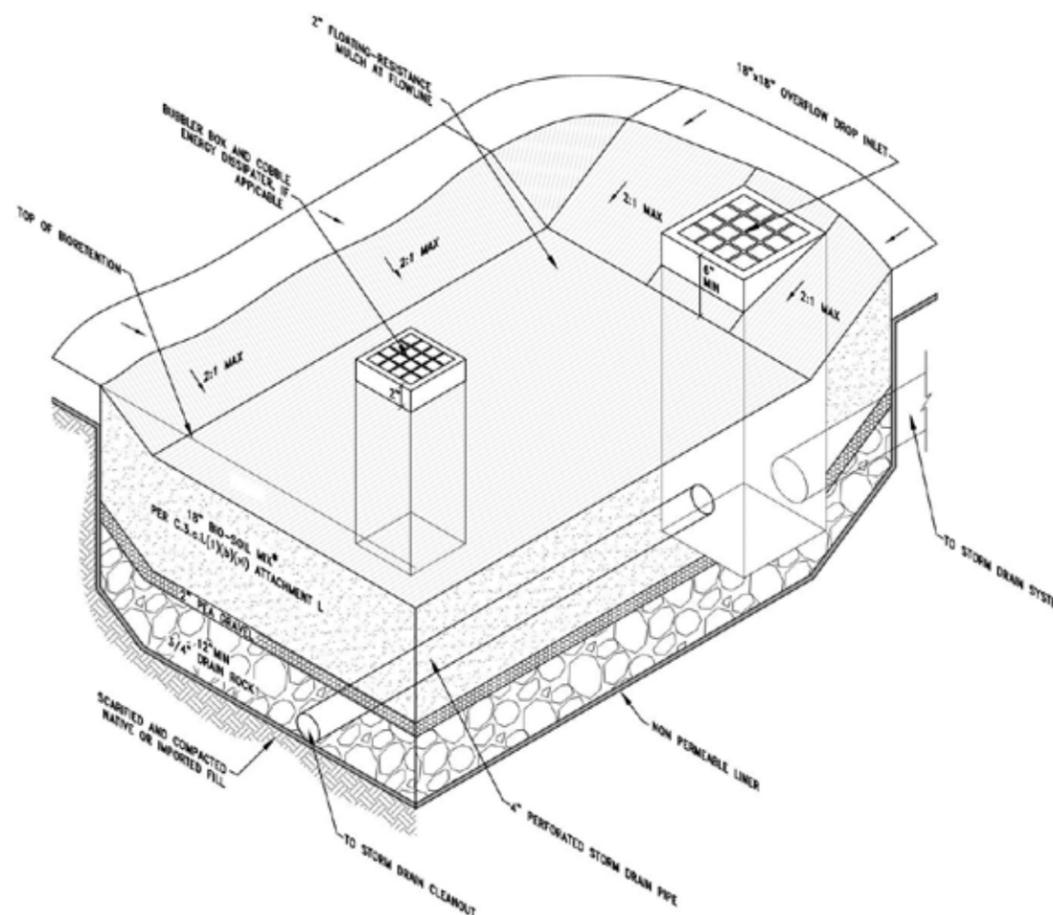
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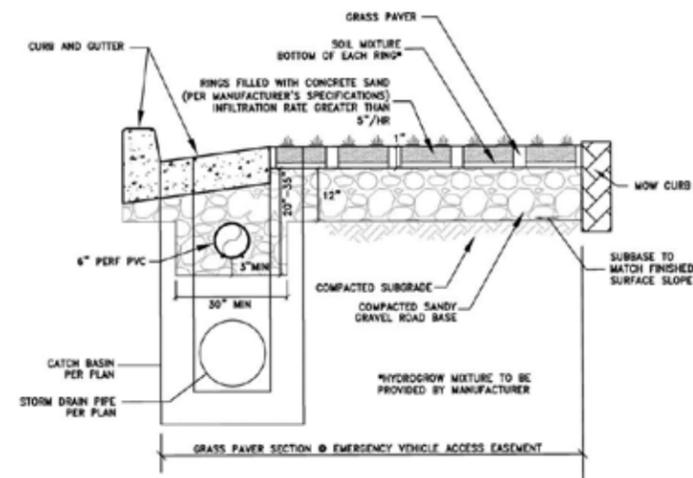
STORMWATER CONTROL PLAN
C5.2

TREATMENT CONTROL MEASURE SUMMARY			
AREAS DRAINAGE	DRAINAGE AREA SIZE (SF)	TREATMENT PROVIDED (SF)	PROPOSED TREATMENT CONTROLS
A-0	6970	620	SR-1 RETAINING
A-1	16,440	425	BIORETENTION BR-1
A-2	11,290	330	BIORETENTION BR-2
A-3	27,260	480	BIORETENTION BR-3
A-4	8,300	305	BIORETENTION BR-4
A-5	8,030	335	BIORETENTION BR-5
A-6	10,560	290	BIORETENTION BR-6
A-7	8,260	340	BIORETENTION BR-7
A-8	43,430	726	BIORETENTION BR-8
A-9	10,570	274	BIORETENTION BR-9
A-10	44,030	1,000	BIORETENTION BR-10
A-11	21,370	945	BIORETENTION BR-11
A-12	11,120	484	BIORETENTION BR-12
A-13	13,700	390	BIORETENTION BR-13
A-14	13,600	340	BIORETENTION BR-13
A-15	6,090	184	BIORETENTION BR-13
A-16	10,360	360	BIORETENTION BR-13
A-17	37,600	900	BIORETENTION BR-13
A-A	3,860	-	SELF-TREATING
A-B	41,110	-	GREEN ROOF
POOL AREA 1	7,400	-	-
POOL AREA 2	1,550	-	-
TOTAL	355,930		

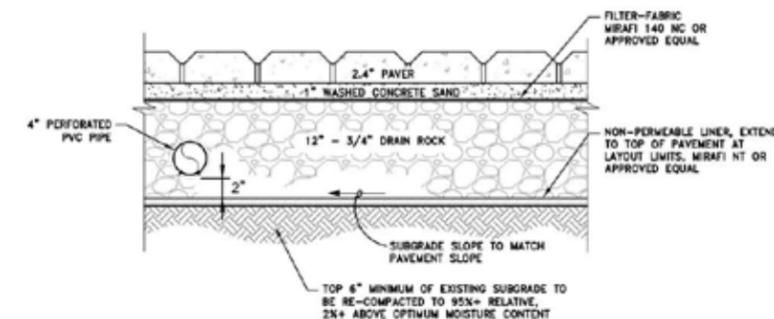
SAMPLE DETAIL FOR BIORETENTION:

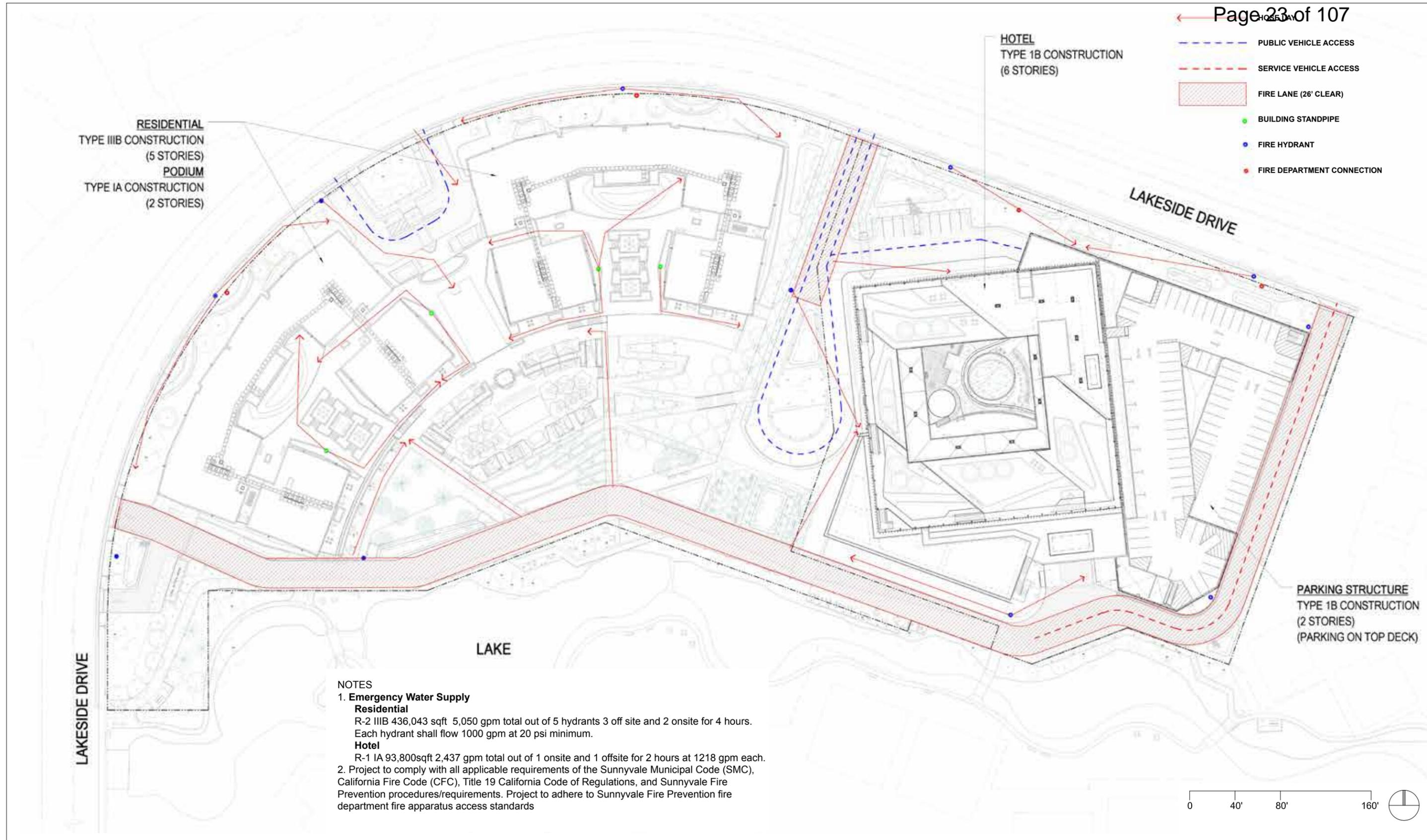


SAMPLE DETAIL FOR GRASS PAVERS



SAMPLE DETAIL FOR PERVIOUS PAVERS





June 29, 2015

Mr. Anthony Manzo
NBBJ
523 West 6th Street, Suite 300
Los Angeles, CA 90014
213.243.3333
VIA EMAIL AManzo@nbbj.com

RE: **MILLENNIUM SUNNYVALE HOTEL**
NARRATIVE SUMMARY OF EXTERIOR EGRESS APPROACH

Dear Mr. Manzo:

JENSEN HUGHES is providing this narrative summary of the conceptual exterior egress approach for the Millennium Sunnyvale hotel project for use in discussions with the Authority Having Jurisdiction (AHJ). This item will require particular attention and/or further evaluation and development as the design progresses.

The following summarizes the key concepts and code sections of the 2013 California Building Code (CBC) relevant to the rooftop egress approach:

1. One exit from each floor will be provided via an interior exit stairway that will discharge directly to the exterior at grade or will discharge to a 2-hour exit passageway leading to the exterior.
2. The second means of egress from each floor will be provided via egress balconies complying with CBC Section 1019, one at each end of the interior guestroom corridor at each floor. The tiered roof of the building will serve as the exterior exit balconies serving each floor. The exterior egress balconies will discharge to a common exterior exit stairway that will comply with CBC Section 1026.
3. The following summarizes the key requirements applicable to the exterior egress balconies at each level, in accordance with Section 1019:
 - A. Exterior egress balconies are required to be separated from the interior of the building by walls and opening protectives as required for corridors – 1-hour fire partitions with 20-minute doors. This section also requires the exterior egress balconies to be separated from the level(s) below by 1-hour assemblies. The 1-hour separation would be extended 10 feet horizontally from either side of the exterior exit balcony.
 - B. The long side of the egress balconies are required to be at least 50% open.

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Los Angeles, CA 90017 USA
www.jensenhughes.com

- C. The egress balconies are required to be located at least 10 feet from adjacent lot lines or adjacent buildings on the same lot unless exterior walls are protected based on fire separation distance per Section 705.
 - D. Dual egress doors between the exterior egress balconies/terraces on Levels 5 through 7 and the interior guestroom corridor at each floor should not be required. The roof terraces at these levels will be for the private use of the specific hotel suite it is connected to and are not intended to be a shared amenity for use by all hotel guests. It is assumed that each terrace will be considered as part of the guestroom it is associated with and therefore egress from each terrace will be through the guestroom to the interior corridor. Therefore, the doors between the interior guestroom corridors and the exterior exit balconies at each floor should only be required to swing in the outward direction (i.e., in the direction of egress travel).
 - E. It is our understanding that a portion of the Level 4 terrace will be a bar and seating area amenity space. The means of egress pathway (exterior egress balcony) will be required to be maintained clear and unobstructed at all times and will be utilized for egress only. Signage, guards, planters and/or other physical barriers will likely be required to differentiate the means of egress pathway from the bar/seating terrace and to discourage utilizing the exterior egress balcony for tables and chairs.
 - F. Dual egress doors between the exterior egress balcony/terrace on Level 4 and the interior guestroom corridor will be required. Due to the anticipated occupant load of the Level 4 outdoor bar and seating area, two means of egress will be required from this space. One means of egress will be the exterior exit balcony and exterior exit stairway and the second will be the interior exit stairway in the Level 4 guestroom corridor. Therefore, the doors between the Level 4 exterior egress balcony/terrace and the interior guestroom corridor will be required to be dual egress doors.
4. The following summarizes the key requirements applicable to the exterior exit stairway in accordance with Section 1026:
- A. Exterior exit stairways are required to be separated from the interior of the building by 2-hour fire barriers, 2-hour horizontal assemblies, or both.
 - B. The building exterior walls that are adjacent to the exterior exit stairway are required to be protected in accordance with Section 1022.7 – 1-hour exterior walls with 1/2-hour openings for 10 feet to either side of stairway and landings, extending from the ground to a point 10 feet above the highest landing or the roofline, whichever is lower.
 - C. Exterior exit stairways are required to be located at least 10 feet from adjacent lot lines or adjacent buildings on the same lot unless exterior walls are protected based on fire separation distance per Section 705.

- D. At least one side of the exterior exit stairway is required to be open. The open side is required to have at least 35 square feet of aggregate open area adjacent to each floor level and the level of each intermediate landing. The open areas of the exterior exit stairway are required to be located adjacent to an open yard, court or the public way.
 - E. Capacity of the exterior exit stair should be determined on a per floor basis (not cumulative of all levels utilizing the exterior exit stairway). Per Sections 1005.3.1 and 1005.6, where a stairway serves more than one story, only the occupant load of each story considered individually should be used in calculating the required capacity of the stairway serving that story. Additionally, since the occupant loads of two different stories do not converge on an intermediate story, the capacity for the stairway is not required to be based on the cumulative total.
5. Exterior egress balconies and the exterior exit stair will be utilized for egress only (i.e., not intended to be used as a means to access other floors/terraces). This may require signage, guards, planters and/or other physical barriers to differentiate the means of egress pathways from the guestroom terraces and bar/seating terrace. Additionally, the signage, guards or other physical barriers may be required to discourage the use of the exit balconies and exterior exit stairway as a means of accessing other terraces/levels.
6. Additional relevant means of egress criteria are outlined below for reference:
- A. Maximum exit access travel distance for Groups R and A occupancies – 250 feet (CBC Table 1016.2).
 - B. Maximum common path of egress travel for Groups R and A occupancies – 75 feet (CBC Table 1014.3).
 - C. Dead ends in corridors limited to 20 feet if serving A occupancies; dead ends limited to 50 feet if only serving Groups R and B (No Group A). (CBC 1018.4).

JENSEN HUGHES

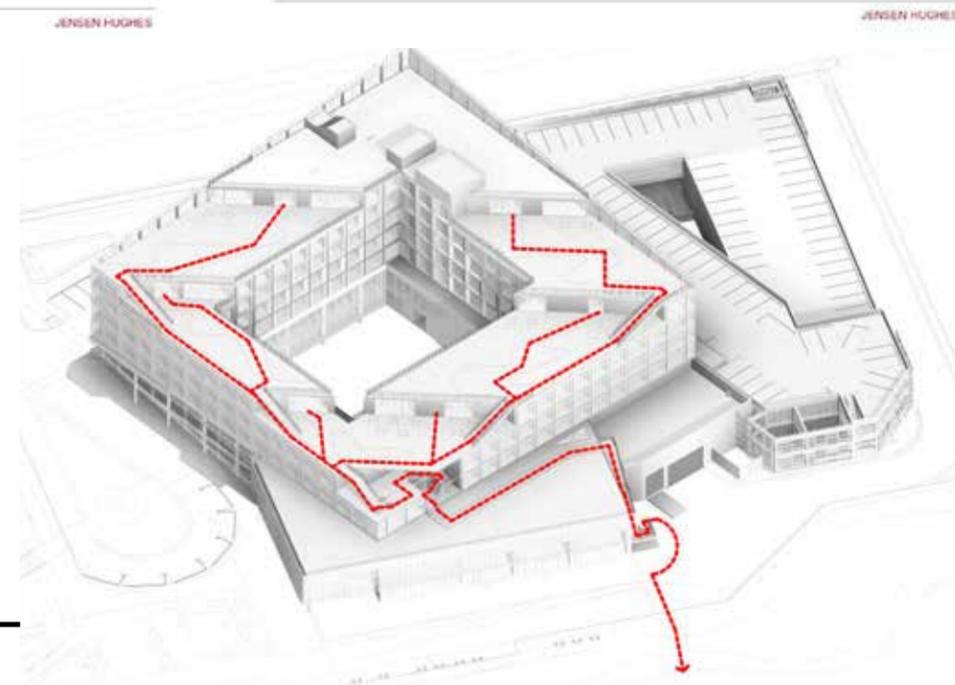
Prepared by:

Mary K. Schneider, P.E.
Senior Fire Protection Engineer

Reviewed by:

Matthew W. Donahue, P.E.
Associate Director – Los Angeles

MKS/MWD:na
1MWD000006/20150629_Millennium Sunnyvale - Summary of Exterior Egress Approach_rev1



EGRESS AXONOMETRIC DIAGRAM

NOTE: For further information & detail on Waste Management Plan, please see "Special Development Permit/Specific Plan Amendment Application Booklet" pages 93 - 114.

-  WASTE HOLDING ROOMS
-  TRASH STAGING AREA
-  CONCRETE STRESS PAD
-  WASTE CART PATHWAY
-  WASTE SERVICE ACCESS



SOLID WASTE DIAGRAM
NOT TO SCALE



A. RESIDENTIAL TRASH SCREENING FROM EAST



B. RESIDENTIAL TRASH SCREENING FROM EAST



RESIDENTIAL TRASH CHUTE LOCATIONS
NOT TO SCALE



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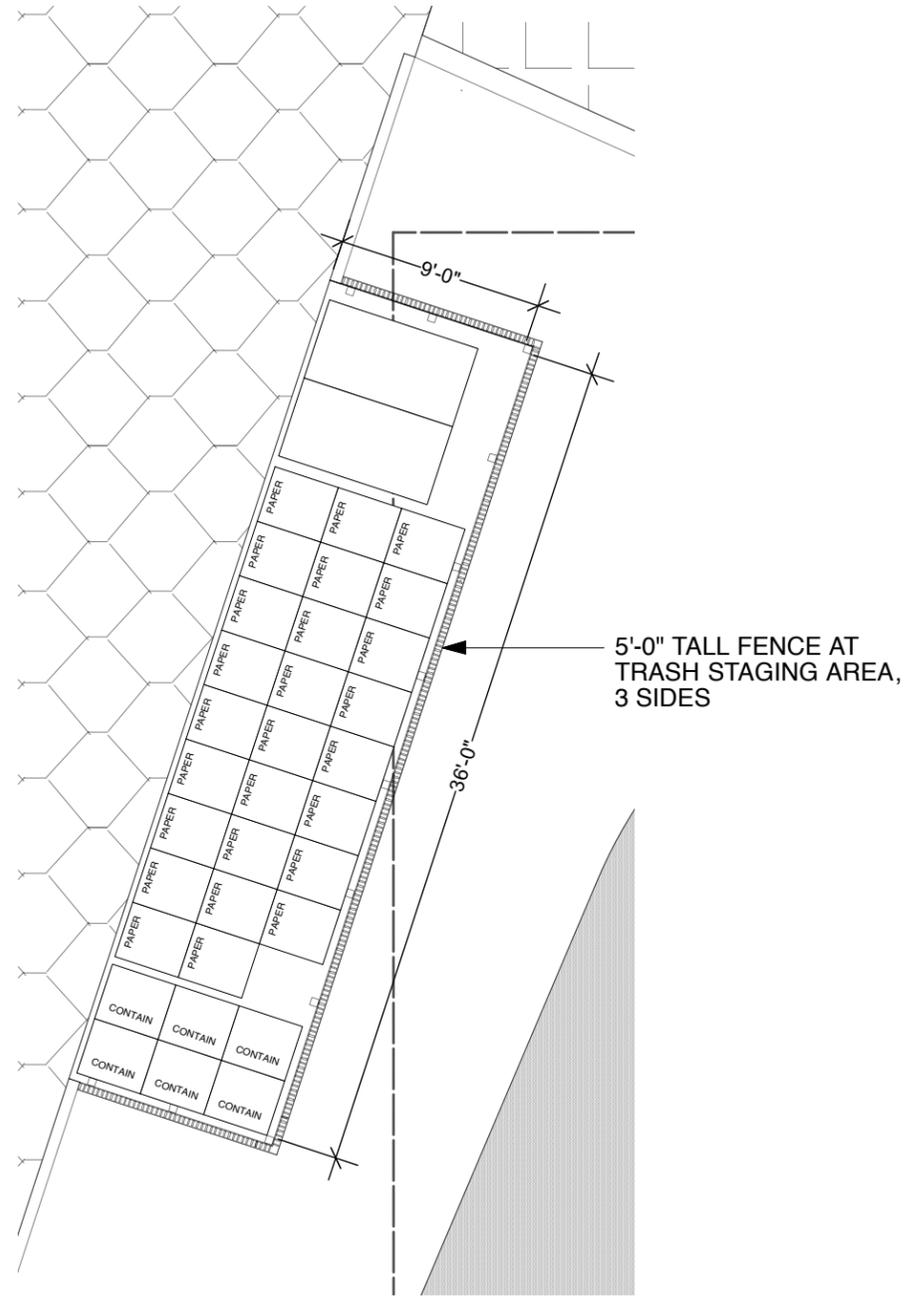
BDE 


American Trash Management

SOLID WASTE DIAGRAMS & NOTES

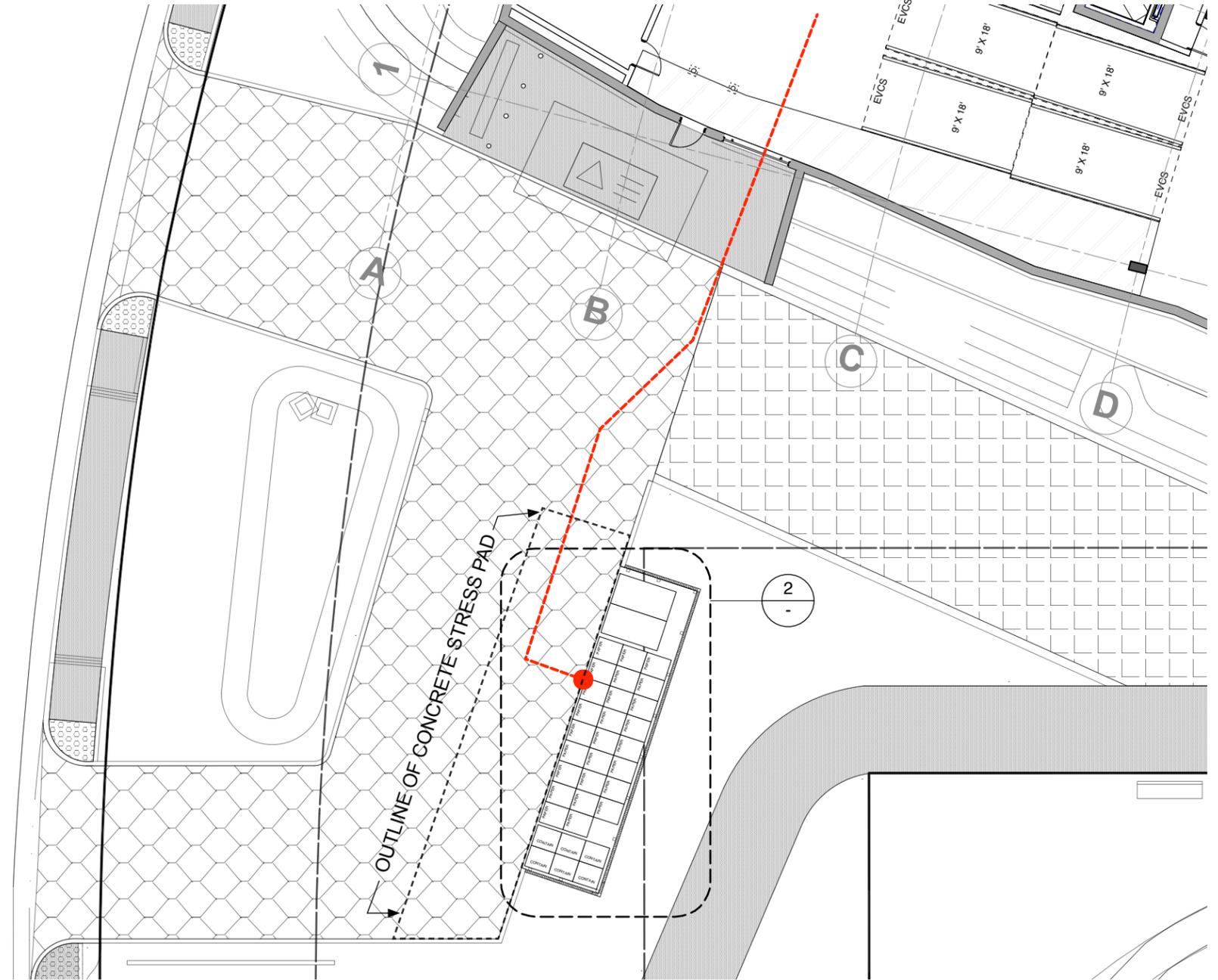
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NOTE:
SHOWN WITH MAXIMUM STAGING AREA CAPACITY
(TRASH PICK-UP 2X WEEKLY)

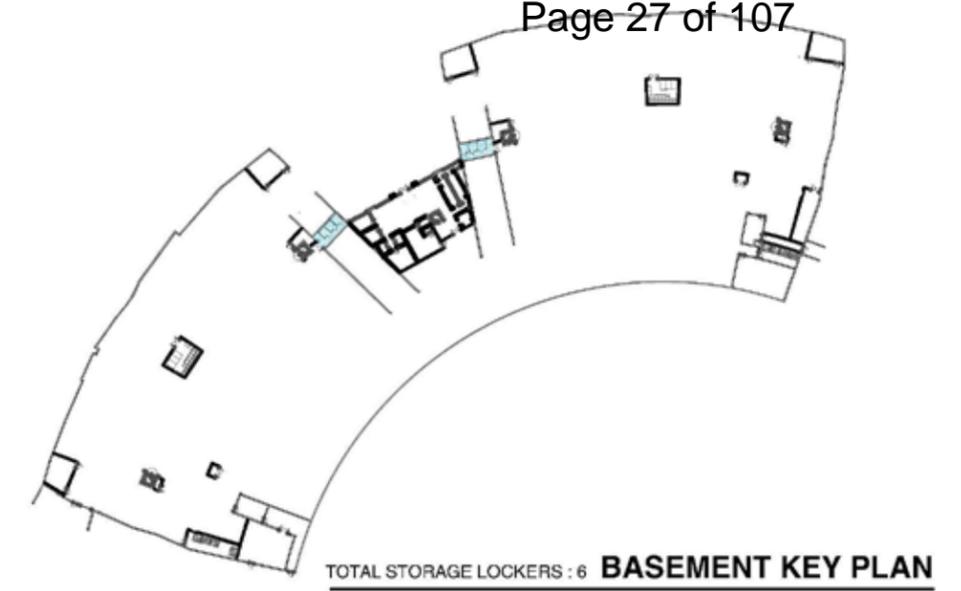
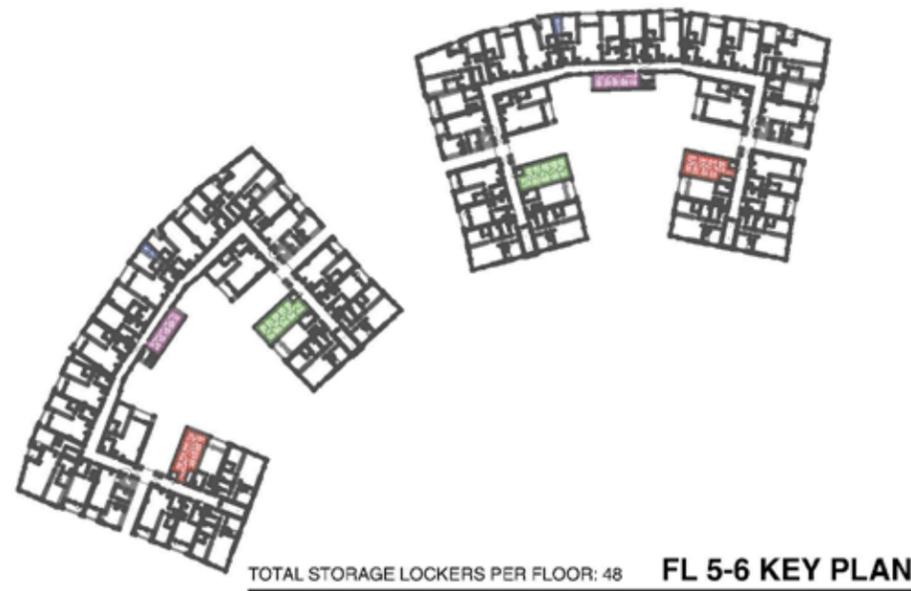


ENLARGED PLAN AT TRASH STAGING AREA **2**

ROUTE FROM TRASH ROOMS TO STAGING AREA, (2) WEEKLY.
ALL DUMPSTERS TO BE TRANSPORTED BY ON-SITE CART
STORED IN TRASH ROOM



SITE PLAN AT SW ENTRANCE **1**

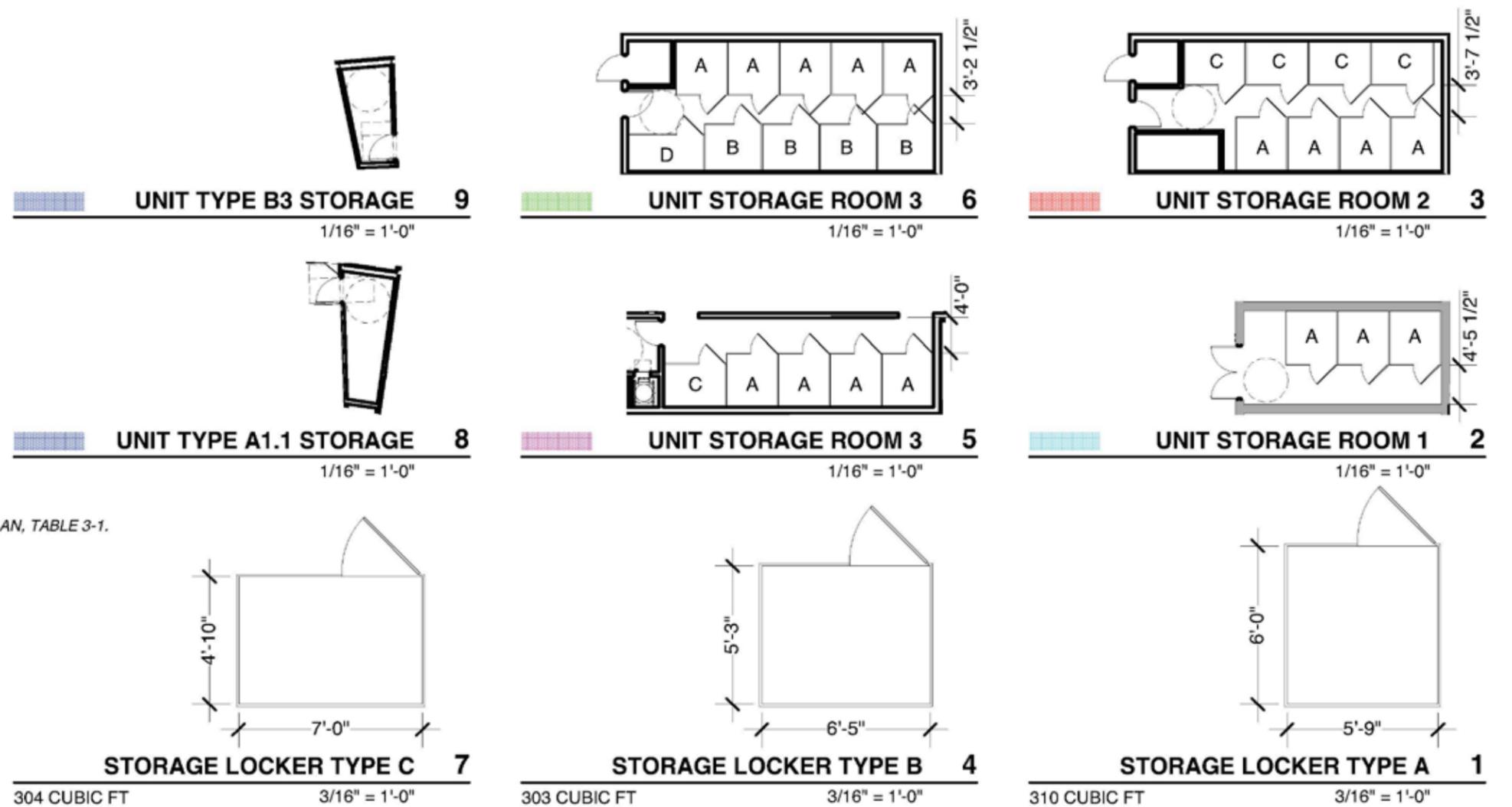


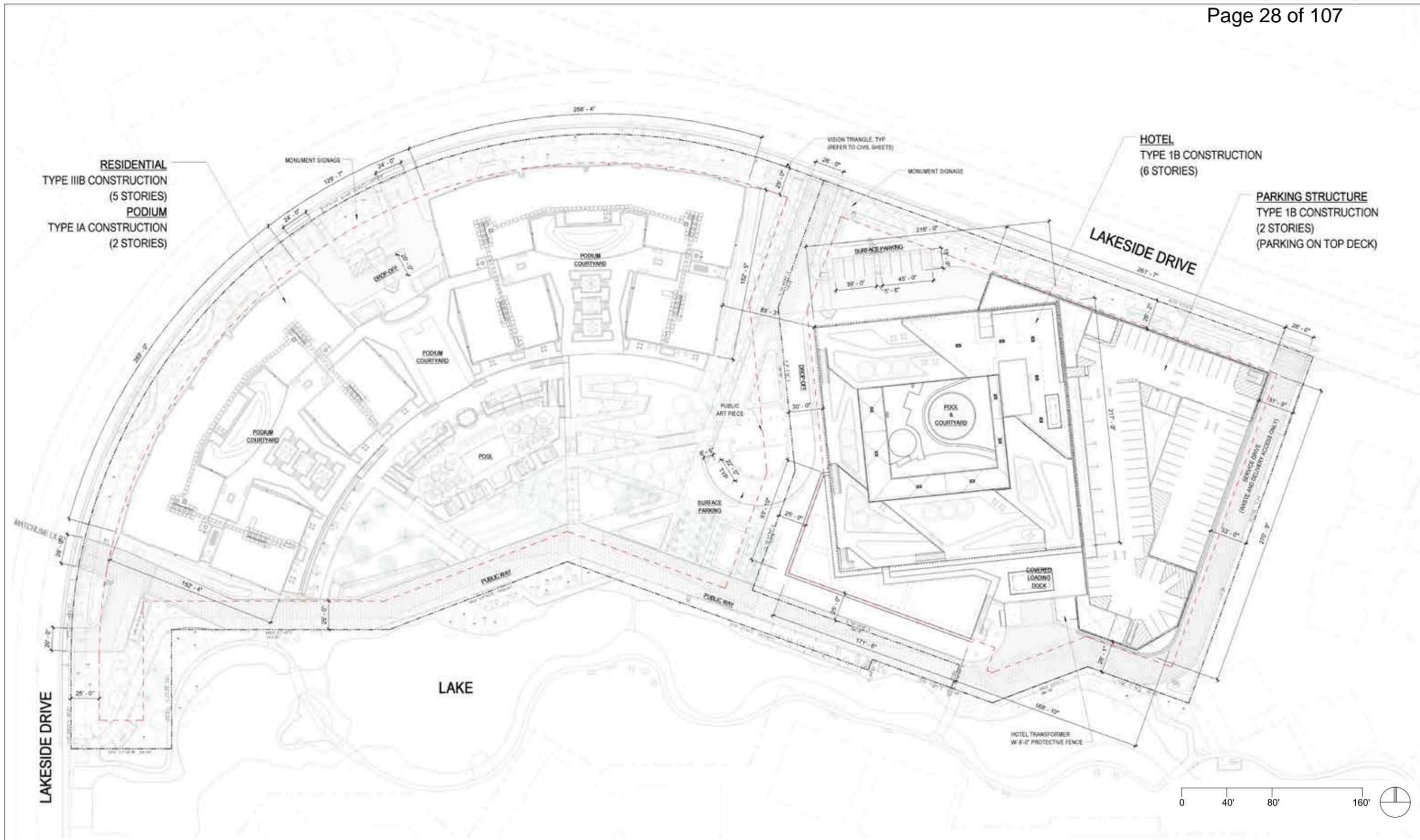
TENANT STORAGE:

- BASEMENT: 6**
300 CUBIC FT MIN.; LOCATED IN LOCKERS (NEXT TO ELEVATORS) = 6
- FIRST FLOOR: 0**
- SECOND FLOOR: 50**
300 CUBIC FT MIN.; LOCATED IN LOCKERS AT CORRIDOR = 46
68 SF ROOM (680 cu/ft); LOCATED AT UNIT A1.1 = 2
50 SF ROOM (500 cu/ft); LOCATED AT UNIT B3 = 2
- THIRD FLOOR: 50**
300 CUBIC FT MIN.; LOCATED IN LOCKERS AT CORRIDOR = 46
68 SF ROOM (680 cu/ft); LOCATED AT UNIT A1.1 = 2
50 SF ROOM (500 cu/ft); LOCATED AT UNIT B3 = 2
- FOURTH FLOOR: 50**
300 CUBIC FT MIN.; LOCATED IN LOCKERS AT CORRIDOR = 46
68 SF ROOM (680 cu/ft); LOCATED AT UNIT A1.1 = 2
58 SF ROOM (580 cu/ft); LOCATED AT UNIT B3 = 2
- FIFTH FLOOR: 48**
300 CUBIC FT MIN.; LOCATED IN LOCKERS AT CORRIDOR = 46
58 SF ROOM (580 cu/ft); LOCATED AT UNIT B3 = 2
- SIXTH FLOOR: 48**
300 CUBIC FT MIN.; LOCATED IN LOCKERS AT CORRIDOR = 46
58 SF ROOM (580 cu/ft); LOCATED AT UNIT B3 = 2

TOTAL UNITS IN PROJECT = 250
TOTAL STORAGE UNITS PROVIDED = 252

* ALL STORAGE CLOSETS ARE 300 CU.FT. MIN. PER SUNNYVALE LAKESIDE SPECIFIC PLAN, TABLE 3-1.





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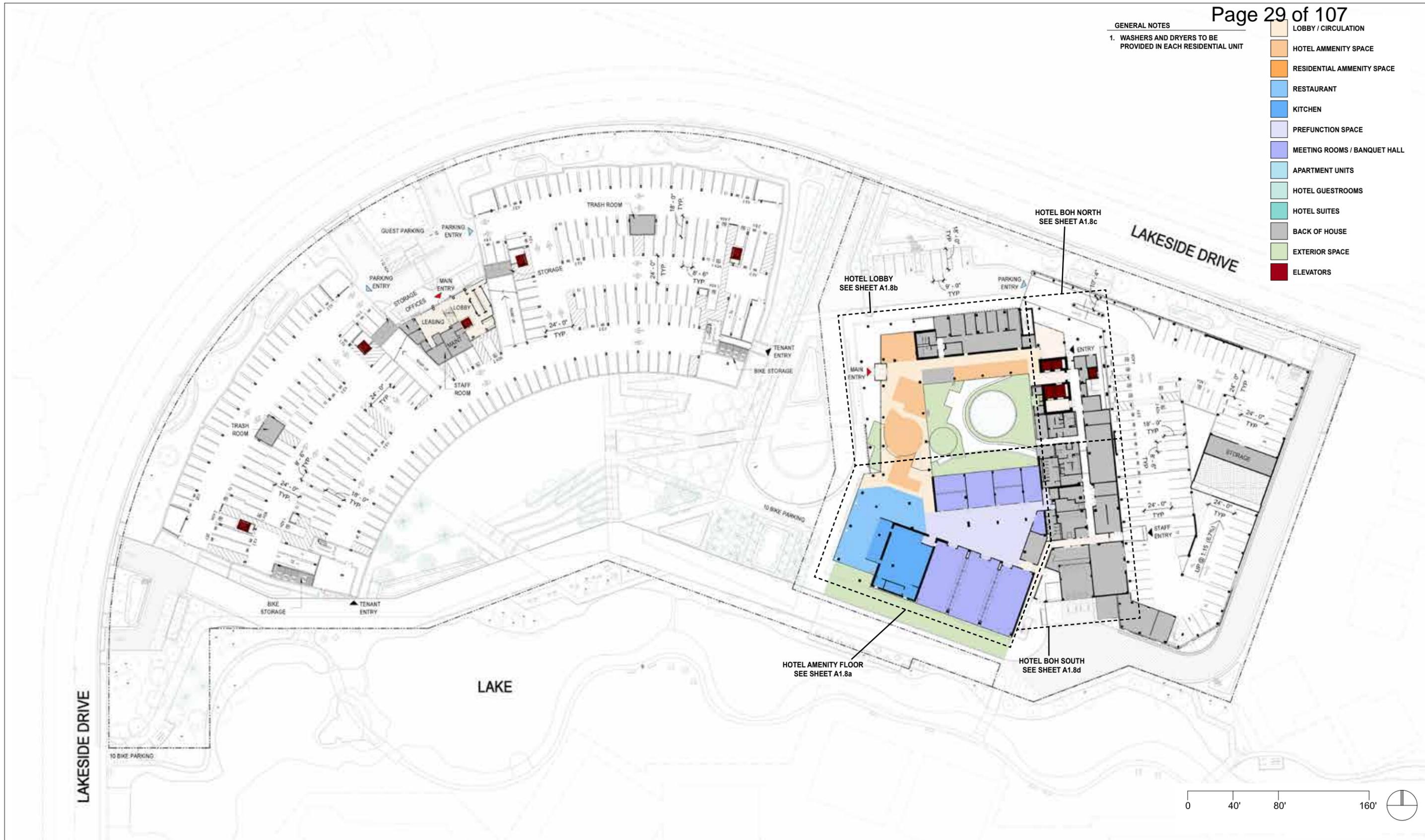
ARCHITECTURAL SITE
PLAN

A1.0

GENERAL NOTES

- 1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



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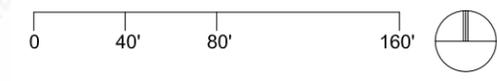
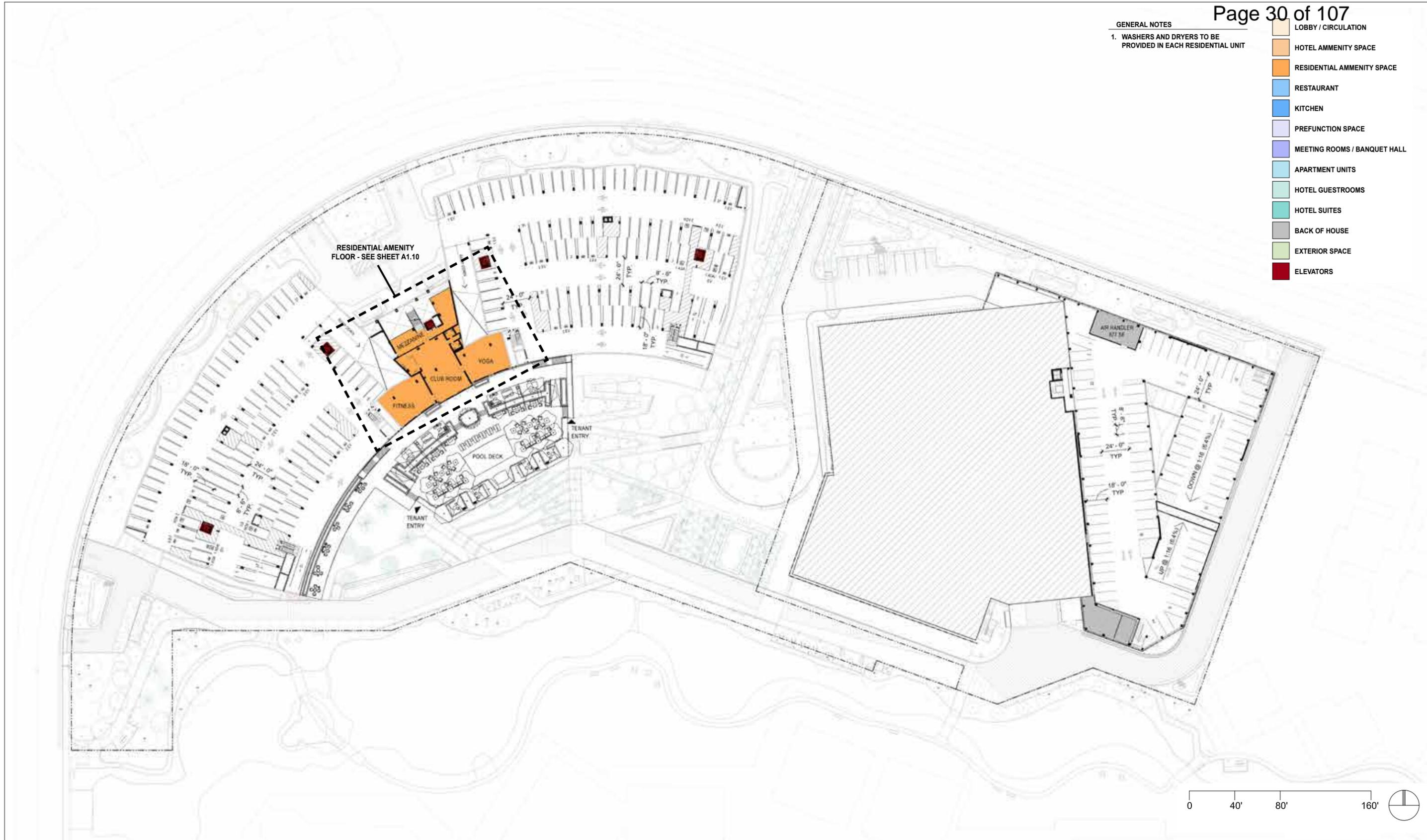
BUILDING PLANS:
 HOTEL L 1
 RESIDENTIAL LOBBY / P1

A1.1

GENERAL NOTES

1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
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- BACK OF HOUSE
- EXTERIOR SPACE
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BUILDING PLANS:
 HOTEL P2
 RESIDENTIAL AMENITY / P1

A1.1a

GENERAL NOTES

1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
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BUILDING PLANS:
 HOTEL L2
 RESIDENTIAL PODIUM

A1.2

GENERAL NOTES

1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



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BDE

BUILDING PLANS:
 HOTEL L3
 RESIDENTIAL L4

A1.3

GENERAL NOTES

1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



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BUILDING PLANS:
 HOTEL L4
 RESIDENTIAL L5

A1.4

GENERAL NOTES

1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



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BUILDING PLANS:
 HOTEL L5
 RESIDENTIAL L6

A1.5

GENERAL NOTES

1. WASHERS AND DRYERS TO BE PROVIDED IN EACH RESIDENTIAL UNIT

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



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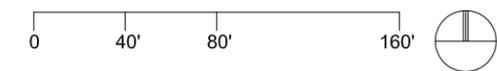
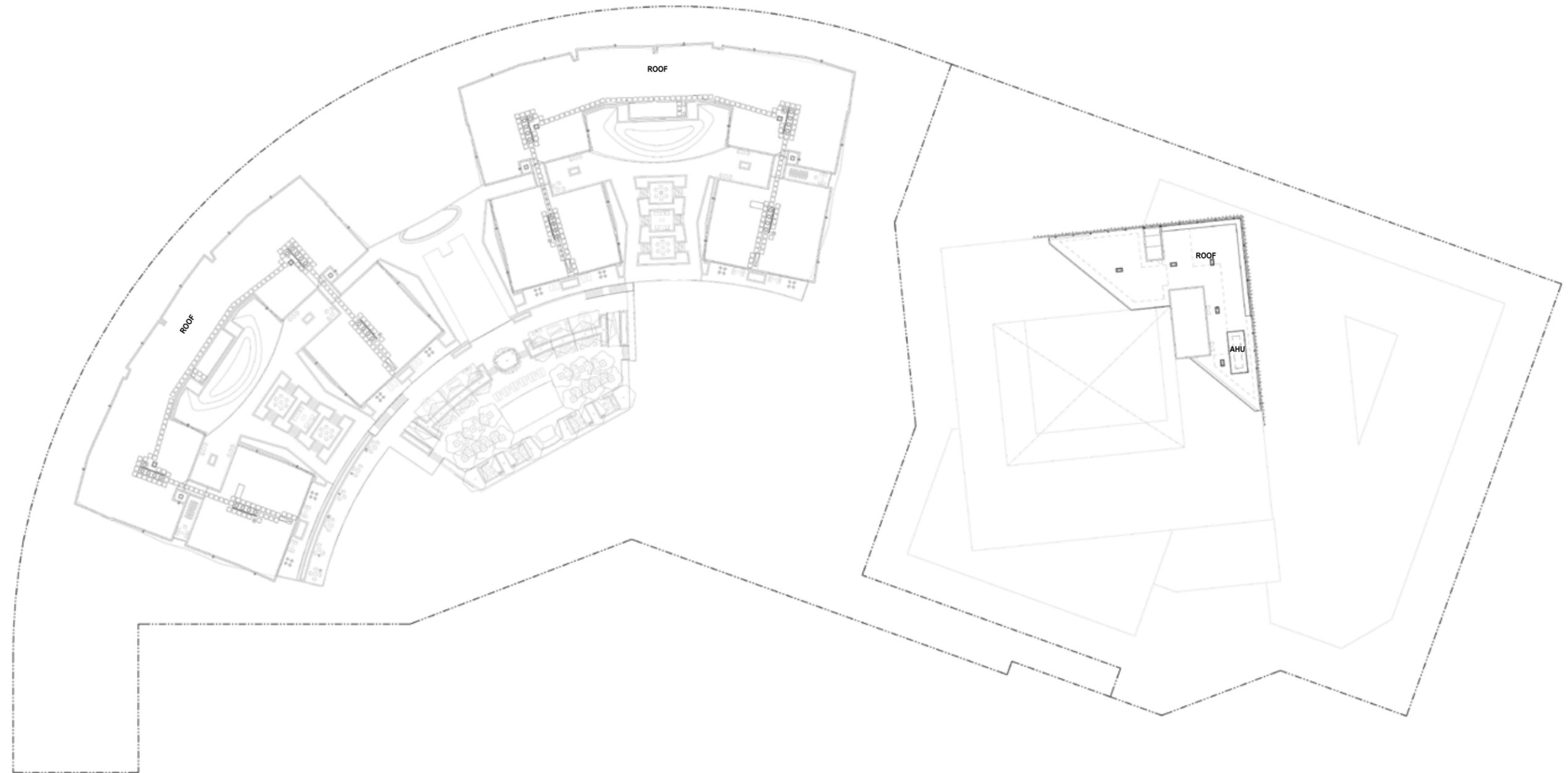
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BUILDING PLANS:
 HOTEL L6
 RESIDENTIAL L7

A1.6



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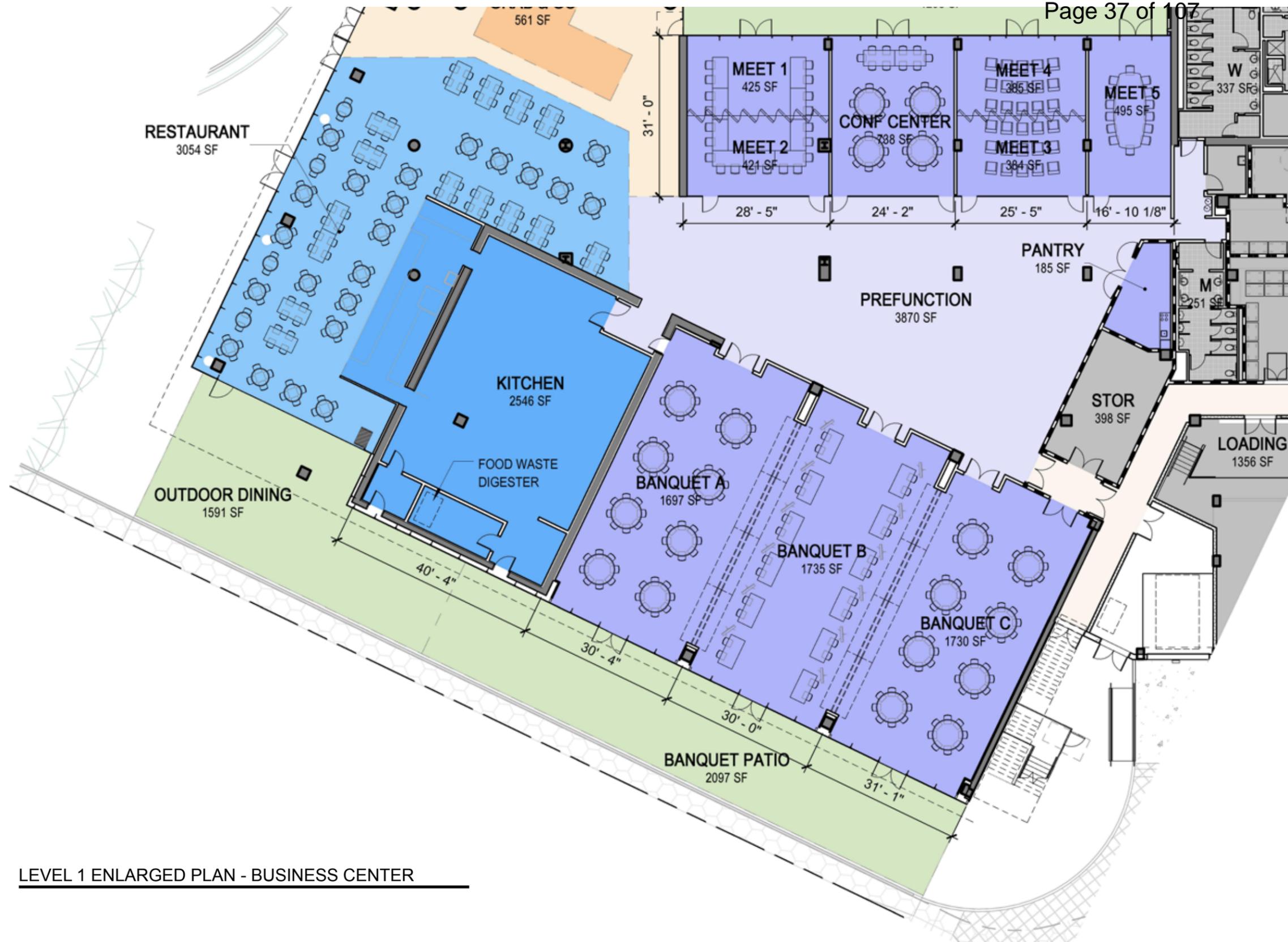
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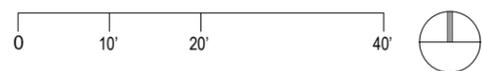
BUILDING PLANS:
ROOF

A1.7

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
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- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



LEVEL 1 ENLARGED PLAN - BUSINESS CENTER



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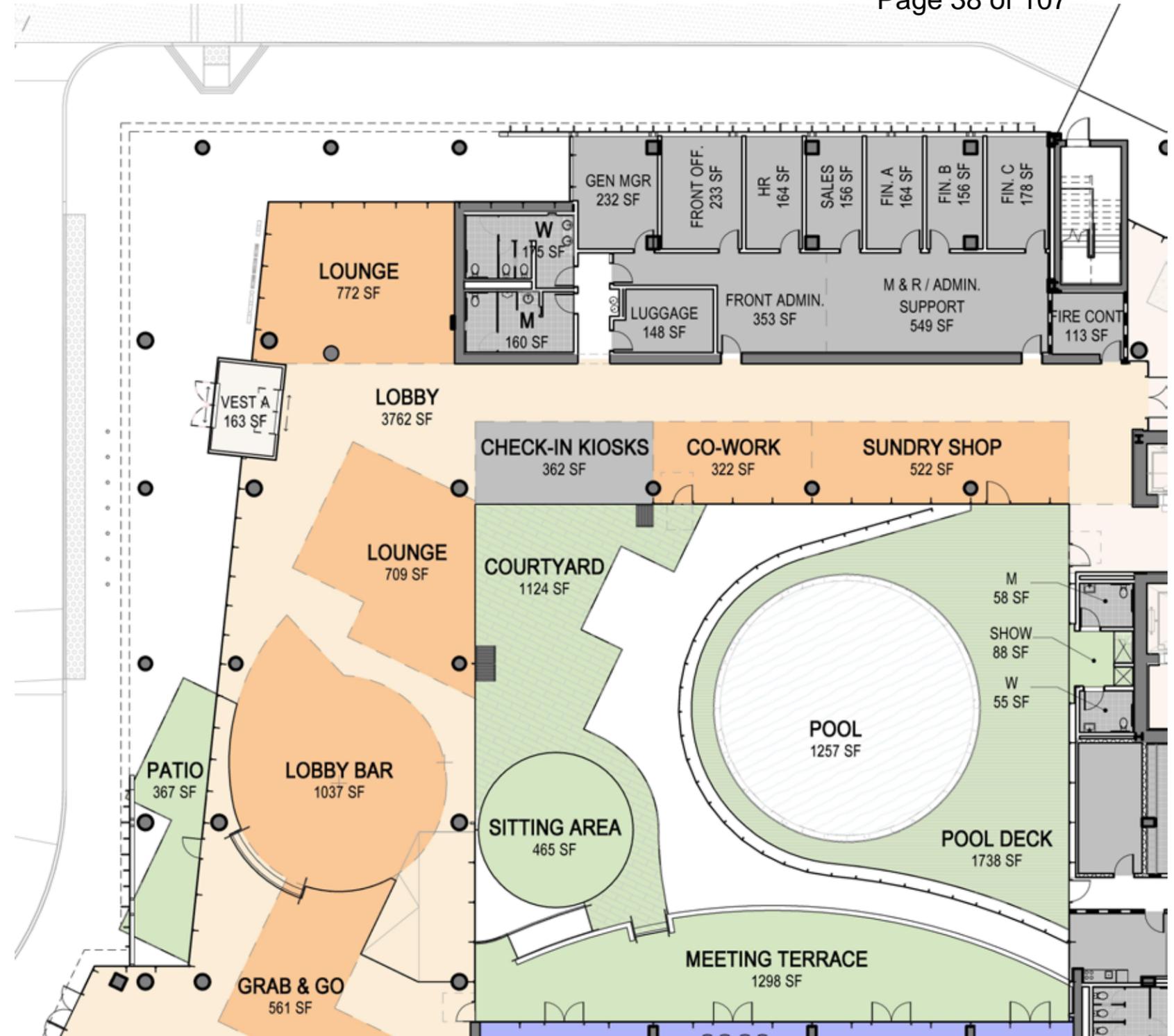
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ENLARGED PLAN:
 HOTEL AMENITY SPACES

A1.8a

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
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LEVEL 1 ENLARGED PLAN - HOTEL LOBBY & COURTYARD



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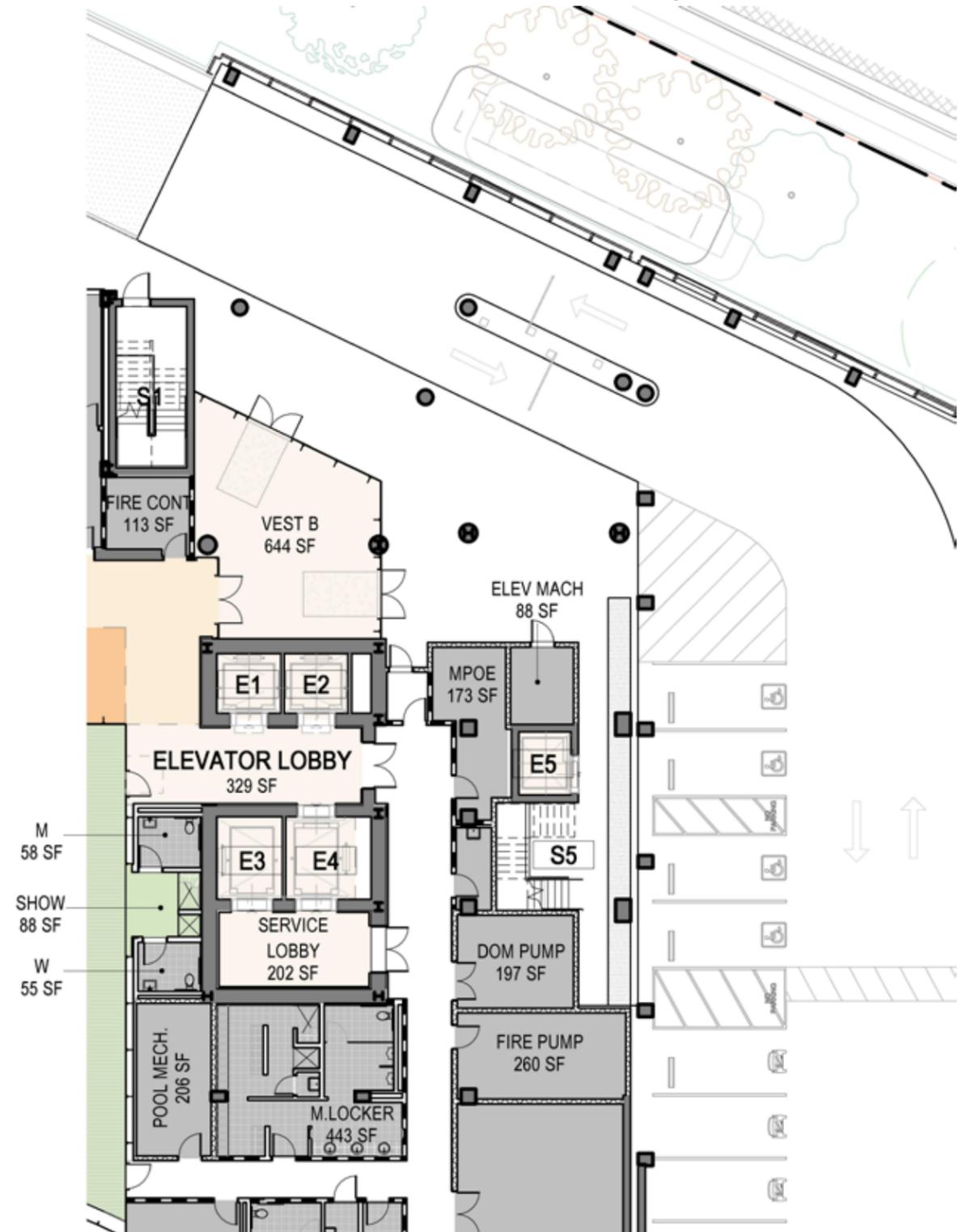
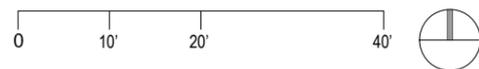
ENLARGED PLAN:
HOTEL LOBBY &
COURTYARD

A1.8b

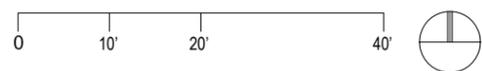
- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



LEVEL 1 ENLARGED PLAN - BACK OF HOUSE (NORTH)



- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS



LEVEL 1 ENLARGED PLAN - BACK OF HOUSE (SOUTH)



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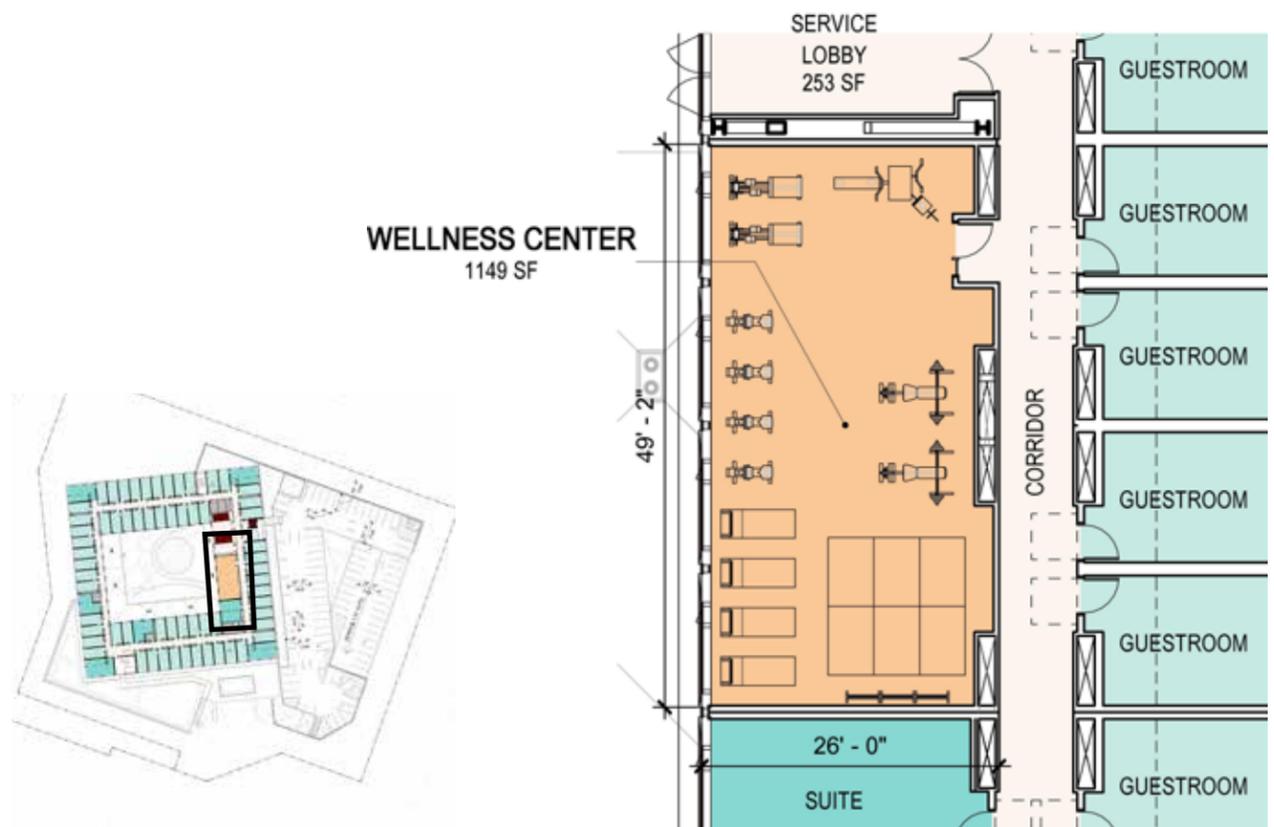
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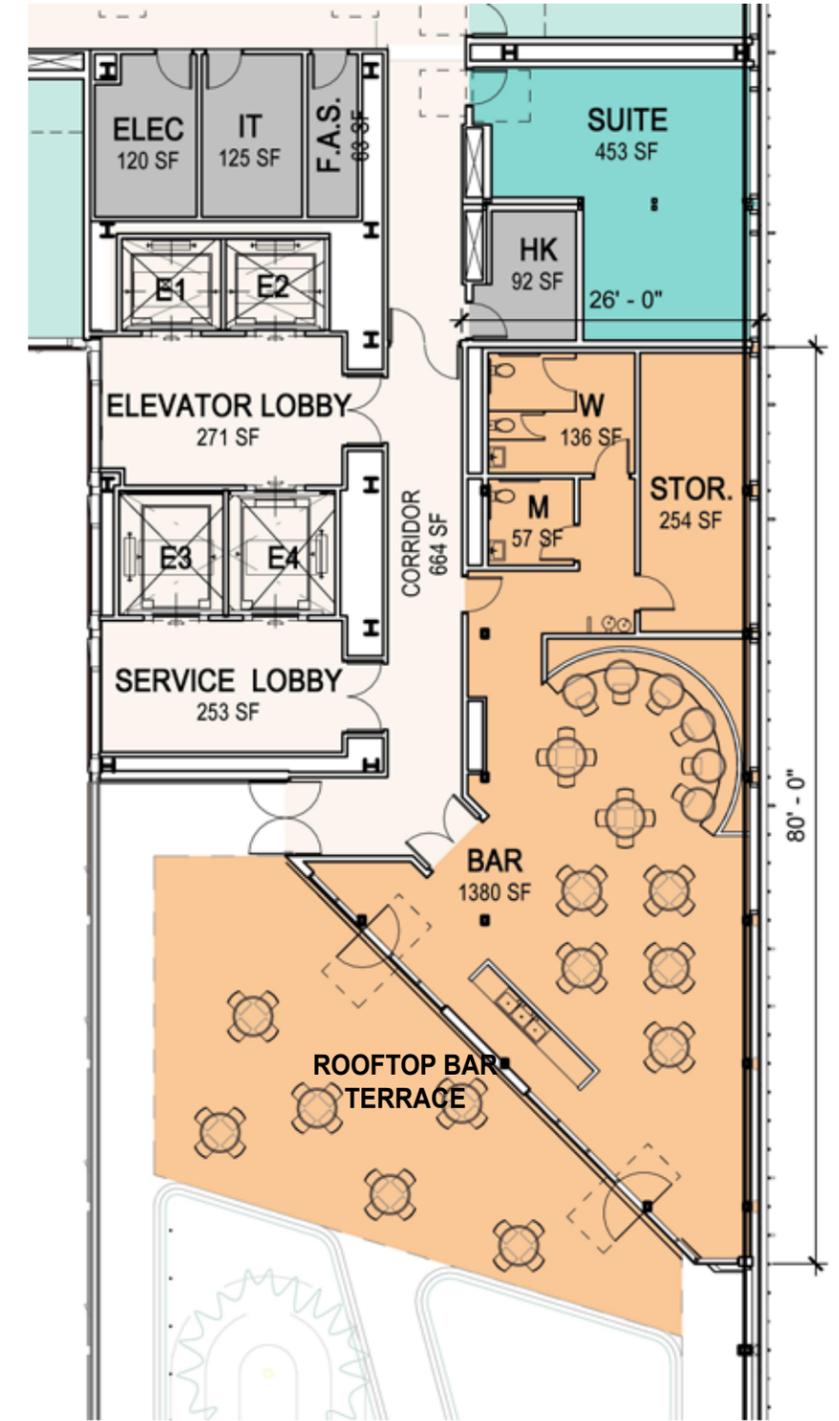
ENLARGED PLAN:
HOTEL BOH SOUTH

A1.8d

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
- EXTERIOR SPACE
- ELEVATORS

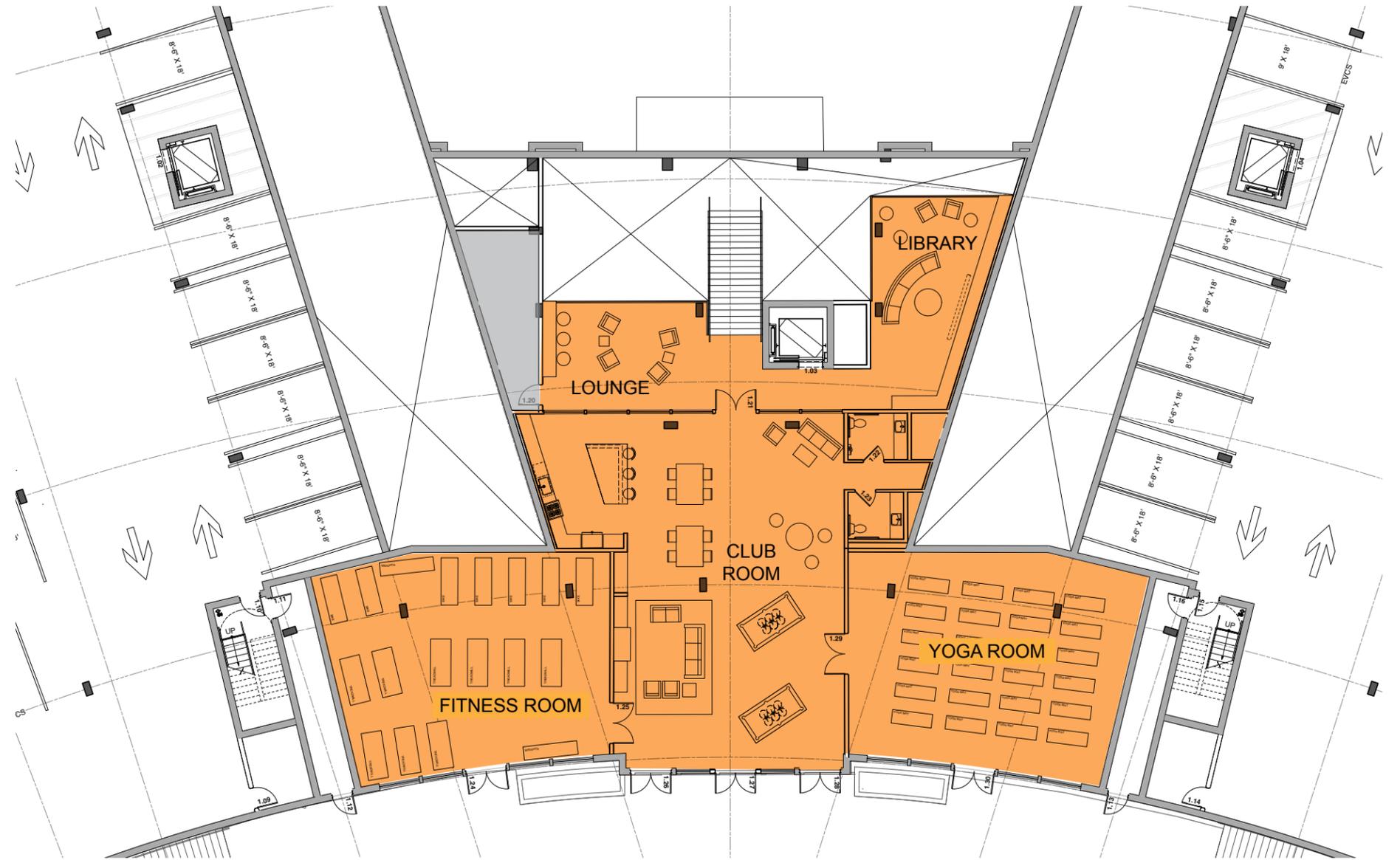


LEVEL 2 ENLARGED PLAN - WELLNESS CENTER



LEVEL 6 ENLARGED PLAN - ROOFTOP BAR

- LOBBY / CIRCULATION
- HOTEL AMMENITY SPACE
- RESIDENTIAL AMMENITY SPACE
- RESTAURANT
- KITCHEN
- PREFUNCTION SPACE
- MEETING ROOMS / BANQUET HALL
- APARTMENT UNITS
- HOTEL GUESTROOMS
- HOTEL SUITES
- BACK OF HOUSE
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- ELEVATORS



RESIDENTIAL LEVEL P1 ENLARGED PLAN - RESIDENTIAL AMENITY



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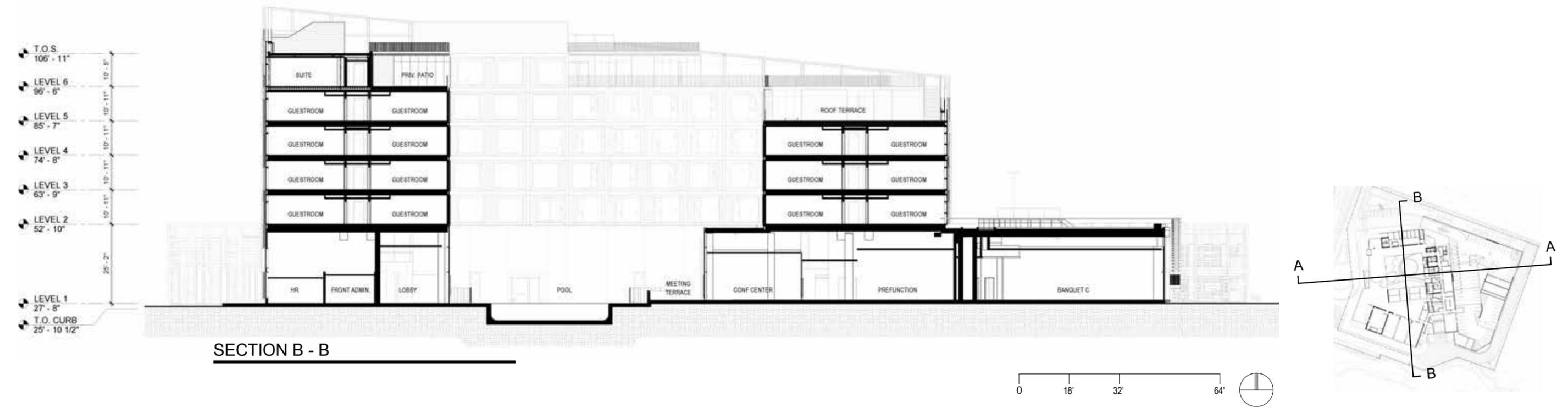
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ENLARGED PLAN:
RESIDENTIAL AMENITY

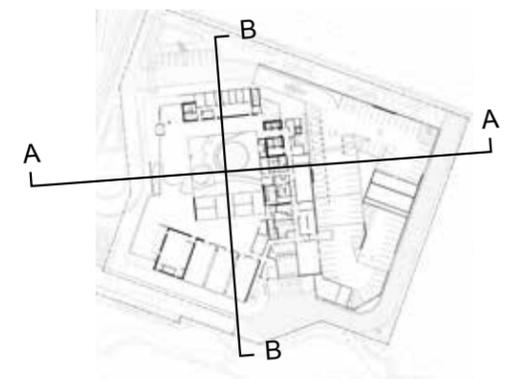
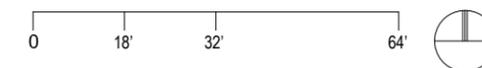
A1.10



SECTION A - A



SECTION B - B



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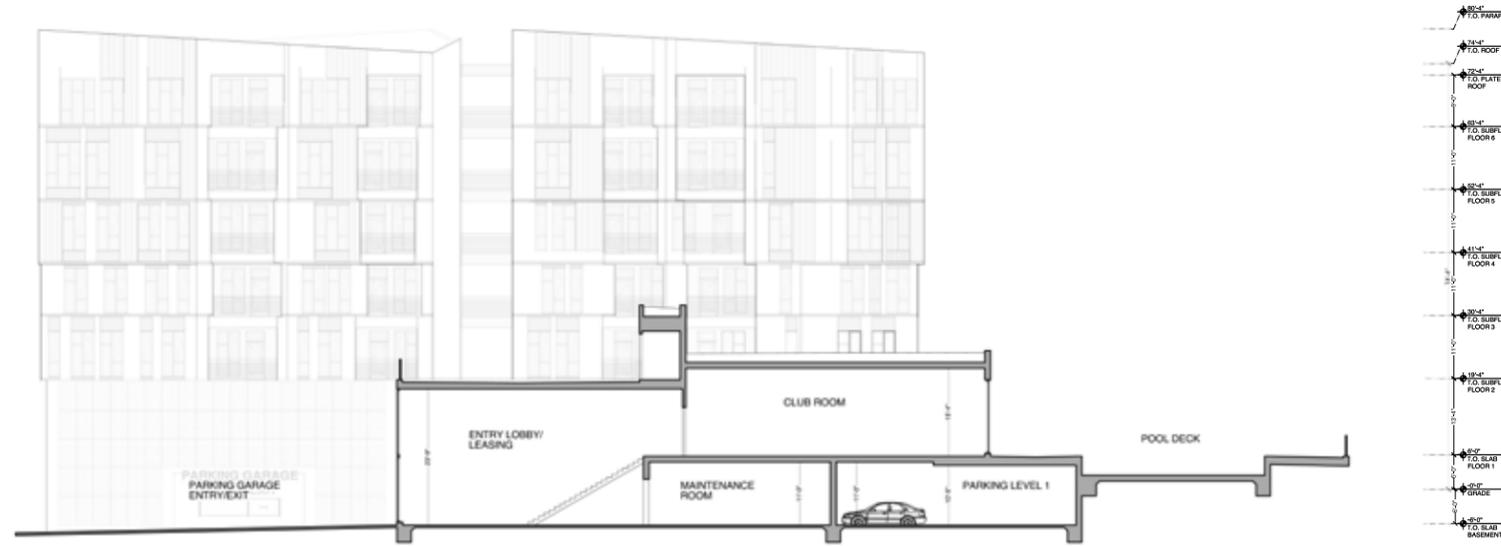
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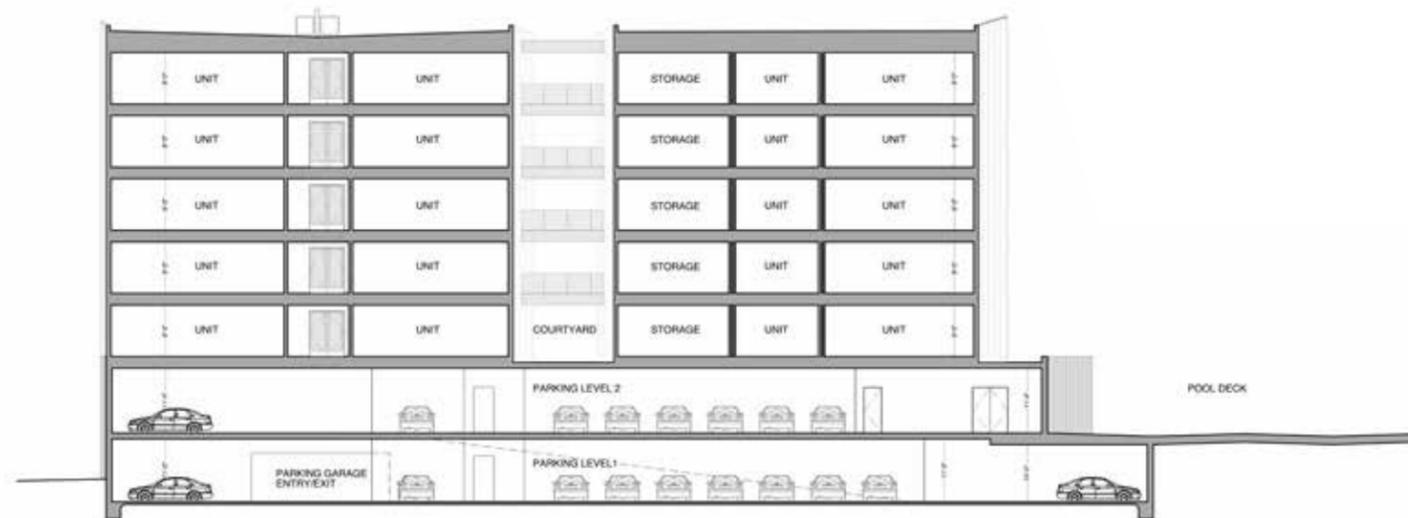
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BUILDING SECTIONS:
HOTEL

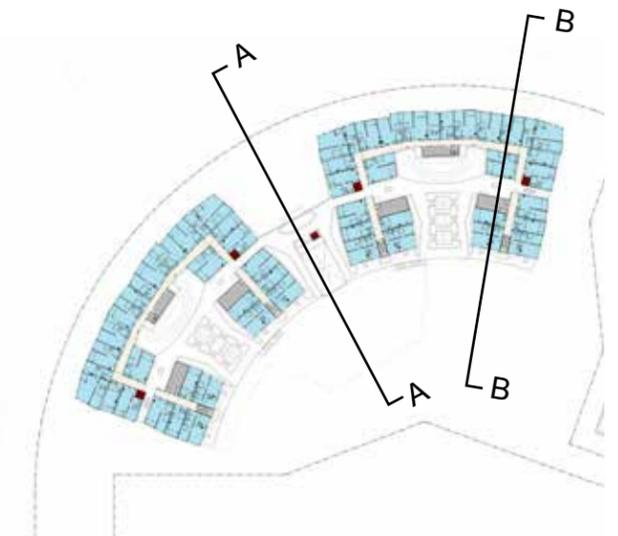
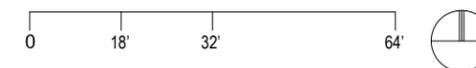
A2.1



SECTION A - A

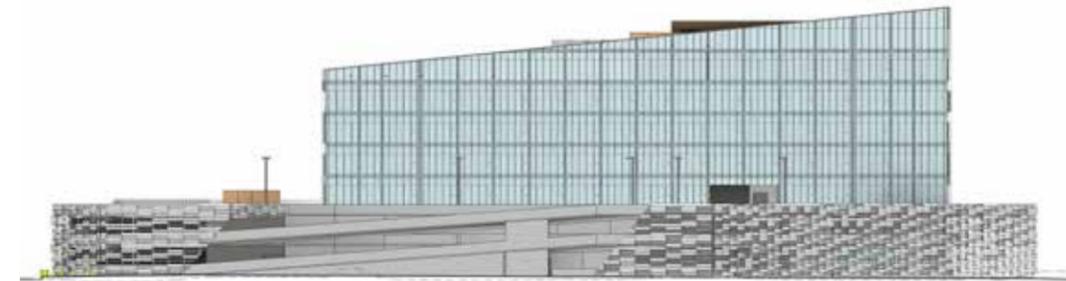


SECTION B - B





HOTEL ELEVATION - NORTH



HOTEL ELEVATION - EAST

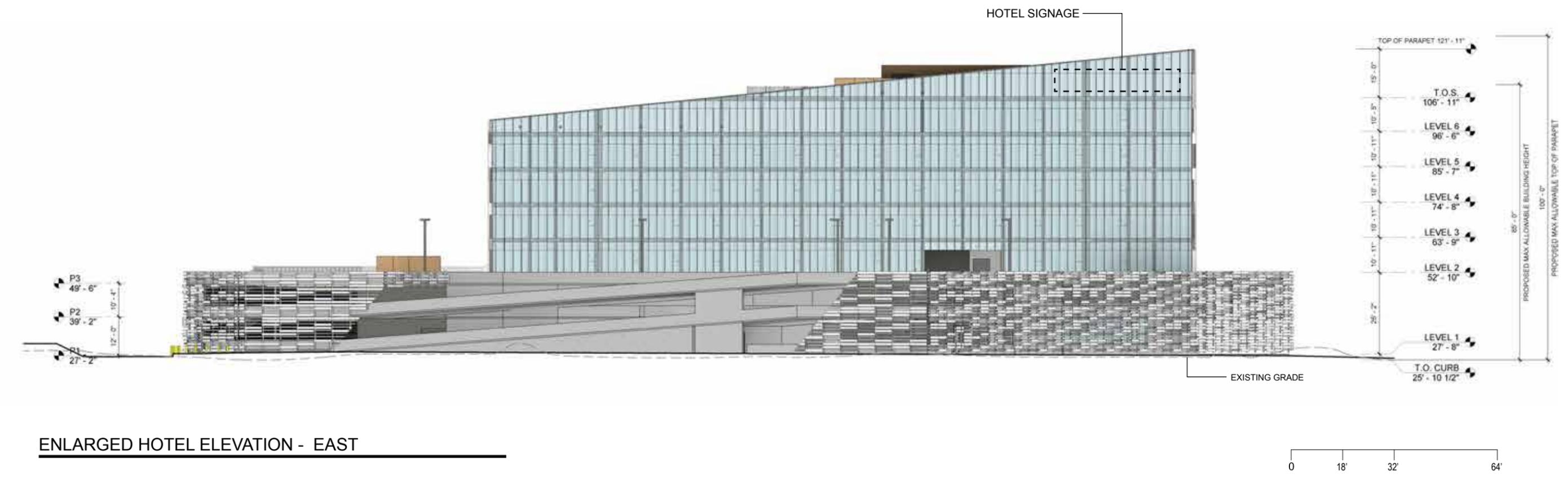
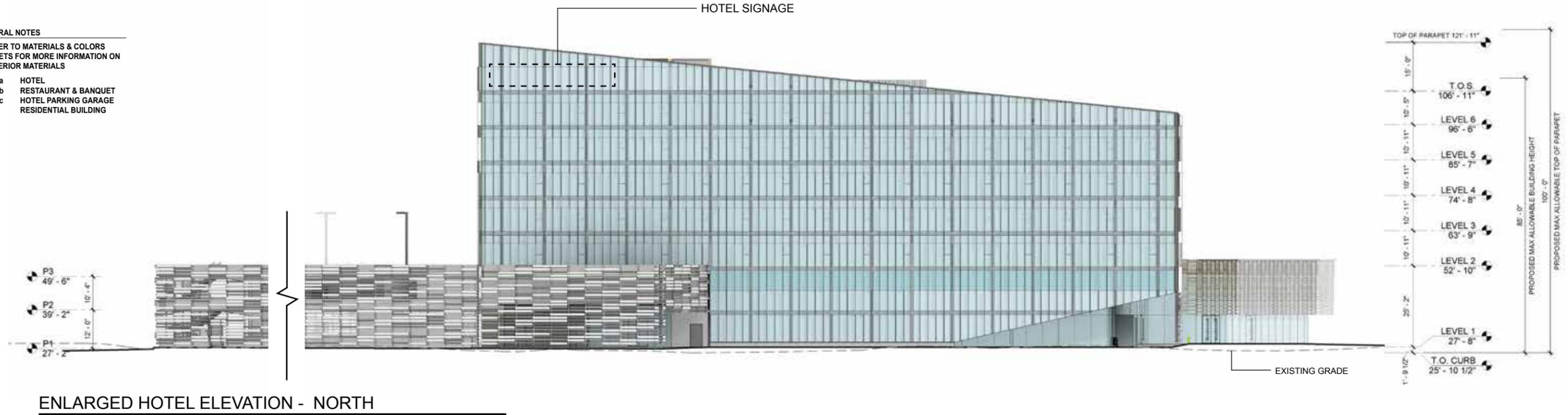


HOTEL ELEVATION - SOUTH



HOTEL ELEVATION - WEST

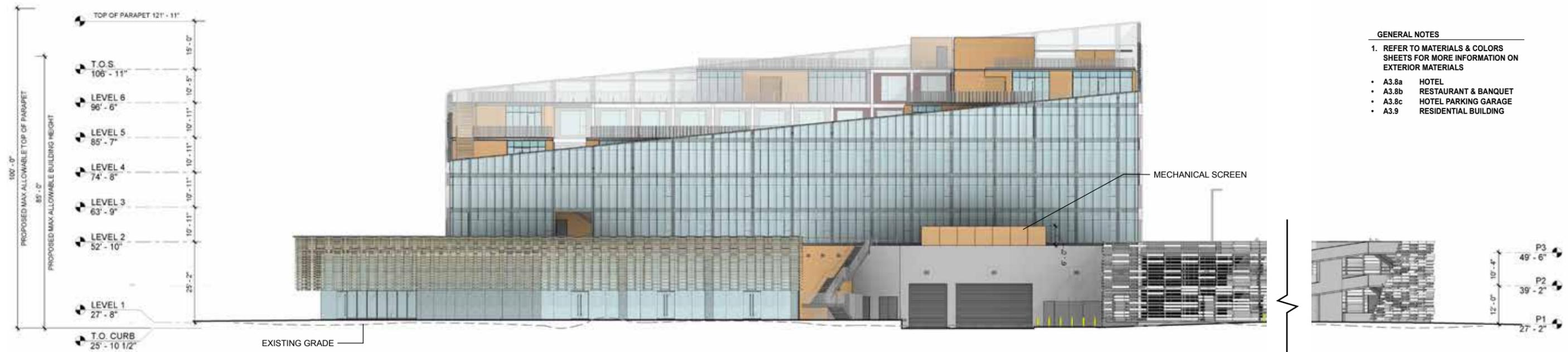
- GENERAL NOTES**
- REFER TO MATERIALS & COLORS SHEETS FOR MORE INFORMATION ON EXTERIOR MATERIALS
- A3.8a HOTEL
 - A3.8b RESTAURANT & BANQUET
 - A3.8c HOTEL PARKING GARAGE
 - A3.9 RESIDENTIAL BUILDING



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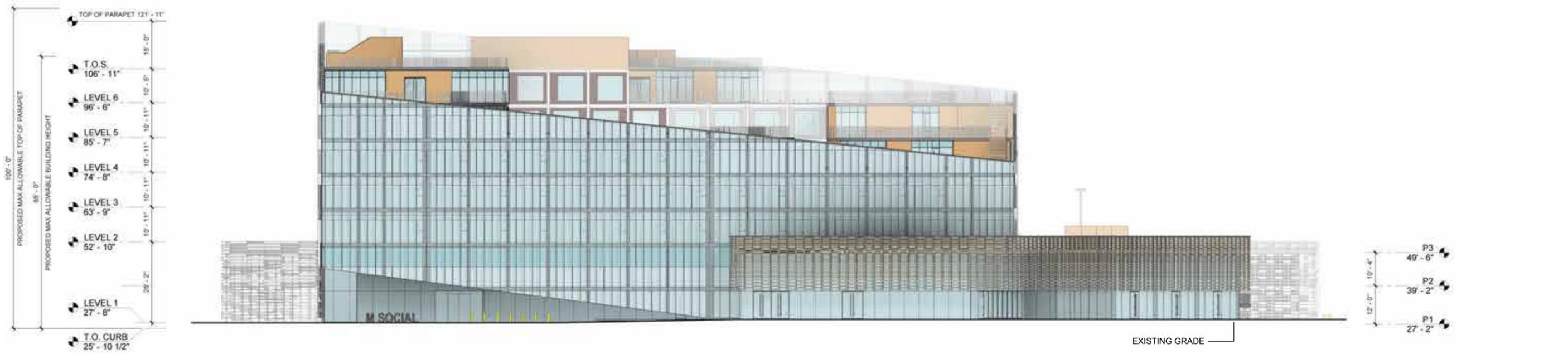
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ENLARGED ELEVATIONS:
HOTEL
A3.2

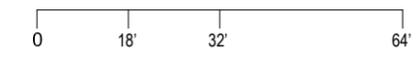


- GENERAL NOTES**
- REFER TO MATERIALS & COLORS SHEETS FOR MORE INFORMATION ON EXTERIOR MATERIALS
- A3.8a HOTEL
 - A3.8b RESTAURANT & BANQUET
 - A3.8c HOTEL PARKING GARAGE
 - A3.9 RESIDENTIAL BUILDING

ENLARGED HOTEL ELEVATION - SOUTH



ENLARGED HOTEL ELEVATION - WEST



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ENLARGED ELEVATIONS:
HOTEL

A3.3

GENERAL NOTES

1. REFER TO MATERIALS & COLORS SHEETS FOR MORE INFORMATION ON EXTERIOR MATERIALS

- A3.8a HOTEL
- A3.8b RESTAURANT & BANQUET
- A3.8c HOTEL PARKING GARAGE
- A3.9 RESIDENTIAL BUILDING



SOUTH ELEVATION



NORTH ELEVATION



TYPICAL GREEN SCREEN COVERAGE



SOUTHWEST ELEVATION



NORTHEAST ELEVATION

GENERAL NOTES

1. REFER TO MATERIALS & COLORS SHEETS FOR MORE INFORMATION ON EXTERIOR MATERIALS

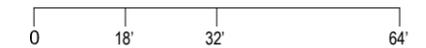
- A3.8a HOTEL
- A3.8b RESTAURANT & BANQUET
- A3.8c HOTEL PARKING GARAGE
- A3.9 RESIDENTIAL BUILDING



ENLARGED RESIDENTIAL ELEVATION - SOUTH



ENLARGED RESIDENTIAL ELEVATION - SOUTH



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ENLARGED ELEVATIONS:
RESIDENTIAL

A3.5

GENERAL NOTES

- REFER TO MATERIALS & COLORS SHEETS FOR MORE INFORMATION ON EXTERIOR MATERIALS
- A3.8a HOTEL
 - A3.8b RESTAURANT & BANQUET
 - A3.8c HOTEL PARKING GARAGE
 - A3.9 RESIDENTIAL BUILDING



ENLARGED RESIDENTIAL ELEVATION - NORTH



ENLARGED RESIDENTIAL ELEVATION - NORTH

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ENLARGED ELEVATIONS:
RESIDENTIAL

A3.6

GENERAL NOTES

1. REFER TO MATERIALS & COLORS SHEETS FOR MORE INFORMATION ON EXTERIOR MATERIALS

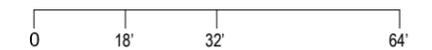
- A3.8a HOTEL
- A3.8b RESTAURANT & BANQUET
- A3.8c HOTEL PARKING GARAGE
- A3.9 RESIDENTIAL BUILDING



ENLARGED RESIDENTIAL ELEVATION - EAST



ENLARGED RESIDENTIAL ELEVATION - WEST



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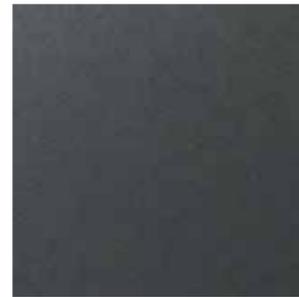
BDE

ENLARGED ELEVATIONS:
RESIDENTIAL

A3.7

COLOR/MATERIAL REFERENCE - HOTEL FACADE

VERTICAL FINS TYPES / ALUMINUM COATING COLORS



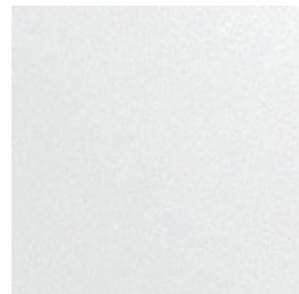
Vertical Fins - Typ 001
Depth - 3 1/2"
Width - 6"
Height - 5'
Paint Color
1616 Stormy Sky



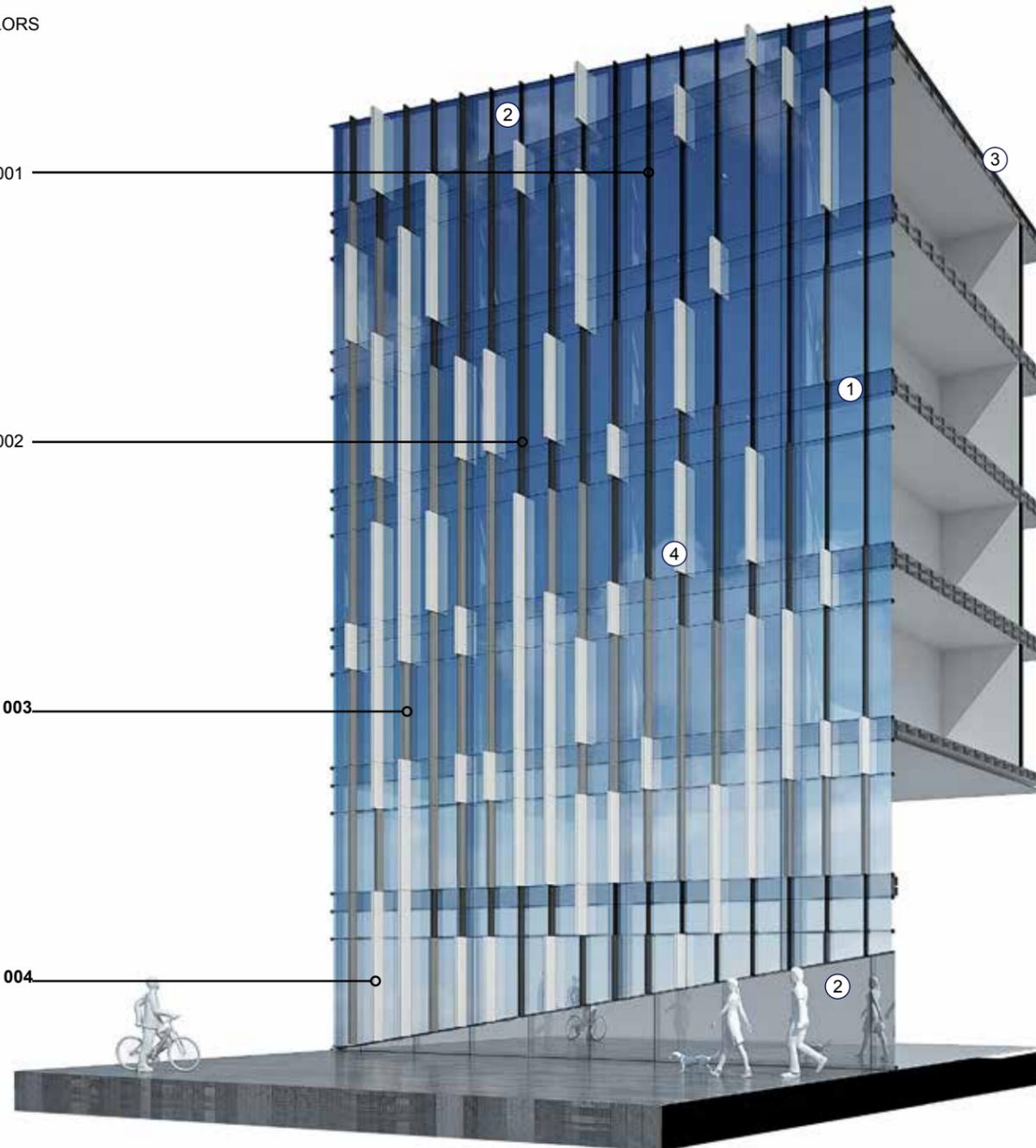
Vertical Fins - Typ 002
Depth - 7"
Width - 3 1/2"
Height - 5'
Paint Color
1615 Rock Gray



Vertical Fins - Typ 003
Depth - 11"
Width - 2 1/2"
Height - 5'
Paint Color
1592 Blue Springs



Vertical Fins - Typ 004
Depth - 14 1/4"
Width - 1 1/4"
Height - 5'
Paint Color
OC-21 Winter White

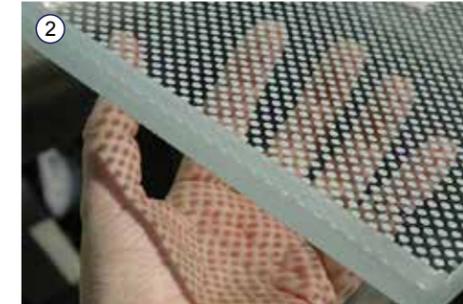


HOTEL WALL SECTION

SPANDREL



FRITTED GLASS



GREEN SEDUM



ALUMINUM CURTAIN WALL + ALUMINUM VERTICAL LOUVER

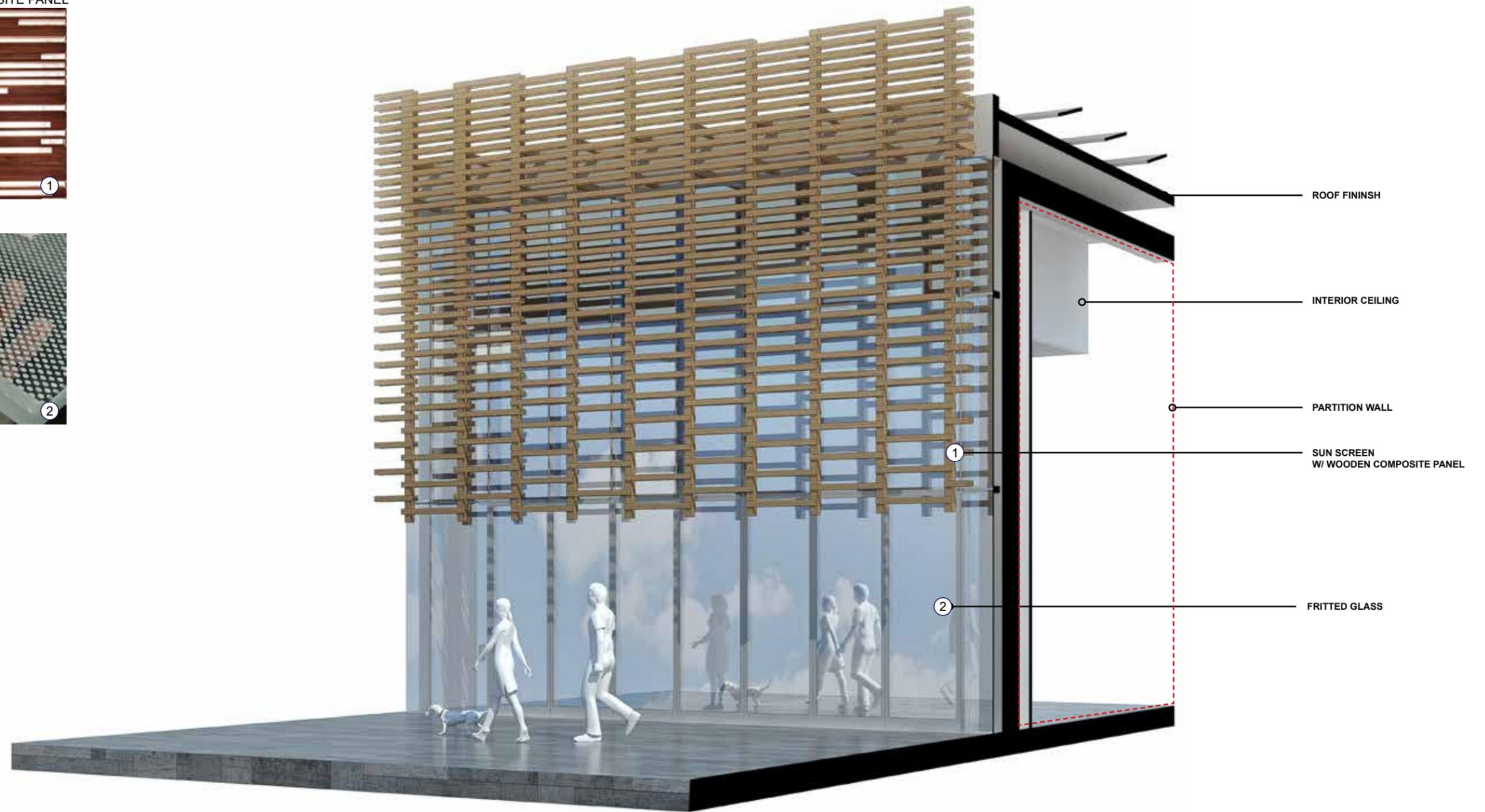
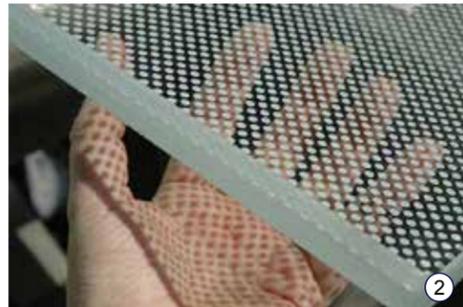


COLOR/MATERIAL REFERENCE - RESTAURANT & BANQUET FACADE

SUN SCREEN W/ WOODEN COMPOSITE PANEL



FRITTED GLASS



RESTAURANT AND BANQUET WALL SECTION

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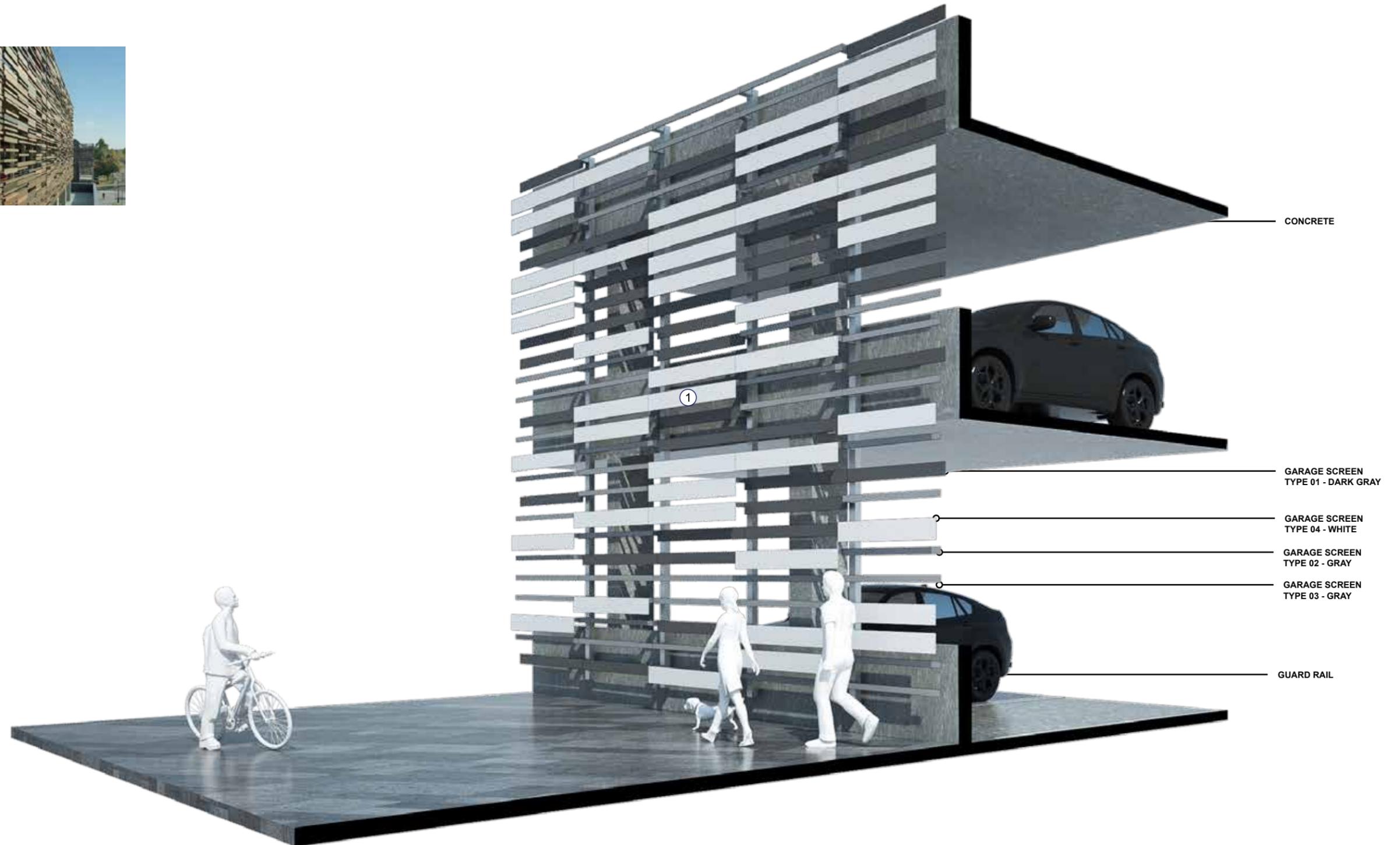
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MATERIALS & COLORS:
RESTAURANT &
BANQUET

A3.8b

COLOR/MATERIAL REFERENCE - HOTEL PARKING STRUCTURE

PARKING SCREEN



CONCRETE

GARAGE SCREEN
TYPE 01 - DARK GRAY

GARAGE SCREEN
TYPE 04 - WHITE

GARAGE SCREEN
TYPE 02 - GRAY

GARAGE SCREEN
TYPE 03 - GRAY

GUARD RAIL

COLOR/MATERIAL REFERENCE - COURTYARD FACADE



LAMINAM PANEL - OXIDE GRIGIO FINISH

LAMINAM PANEL - OXIDE MORO FINISH

GLASS STOREFRONT

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MATERIALS & COLORS:
HOTEL COURTYARD

A3.8d

COLOR/MATERIAL REFERENCE - RESIDENTIAL FACADE



① STAGGERED ALUMINUM FINIS



② HORIZONTAL STEEL GUARDRAIL



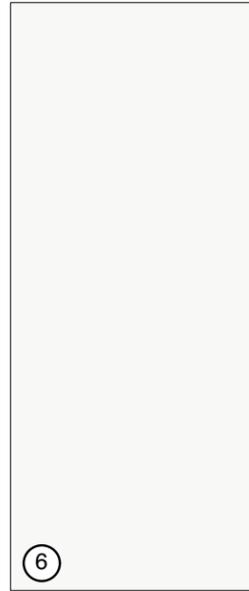
③ METAL CHANNEL (TYPICAL AT FLOOR LINE)



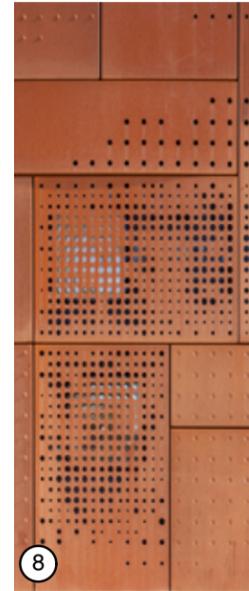
④ SMOOTH FINISHED CONCRETE (GARAGE)



⑤ GREEN SCREEN PANEL O/ HANGING VINES



⑥ SWISSPEARL ACCENT PANEL



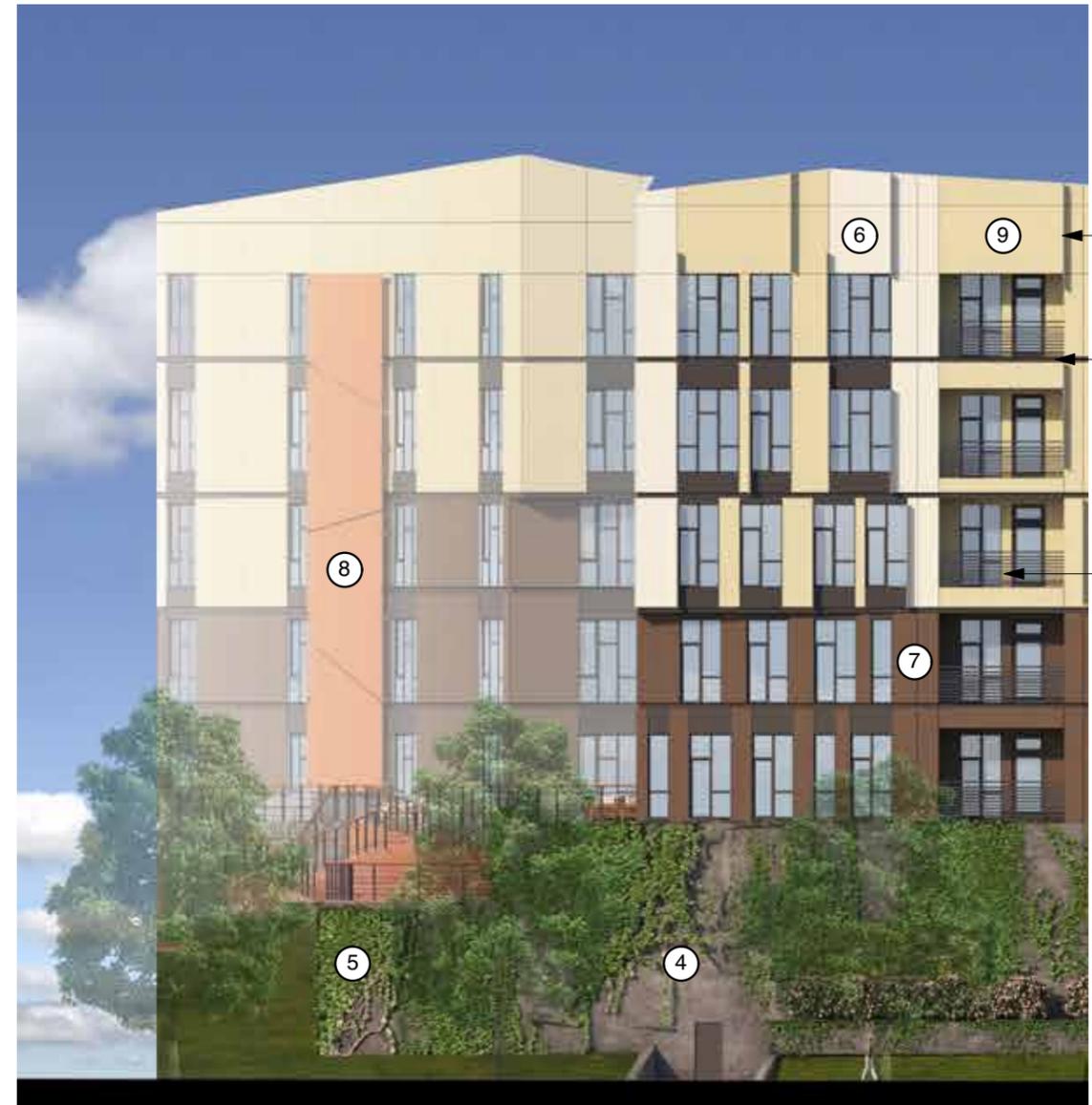
⑧ PERFORATED METAL SCREEN (AT POOL DECK)



⑦ PLASTER COLOR 1



⑨ PLASTER COLOR 2



BUILDING ELEVATION AT NORTH ENTRY TO SITE

EXTERIOR BUILDING FINISHES

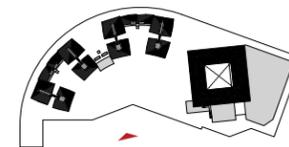


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RENDERINGS

A4.1

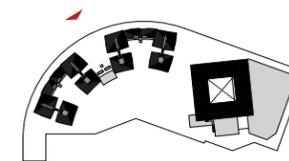


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RENDERINGS

A4.2



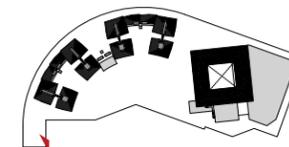
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RENDERINGS

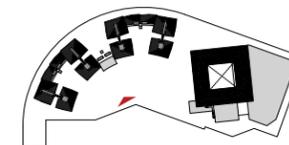
A4.3



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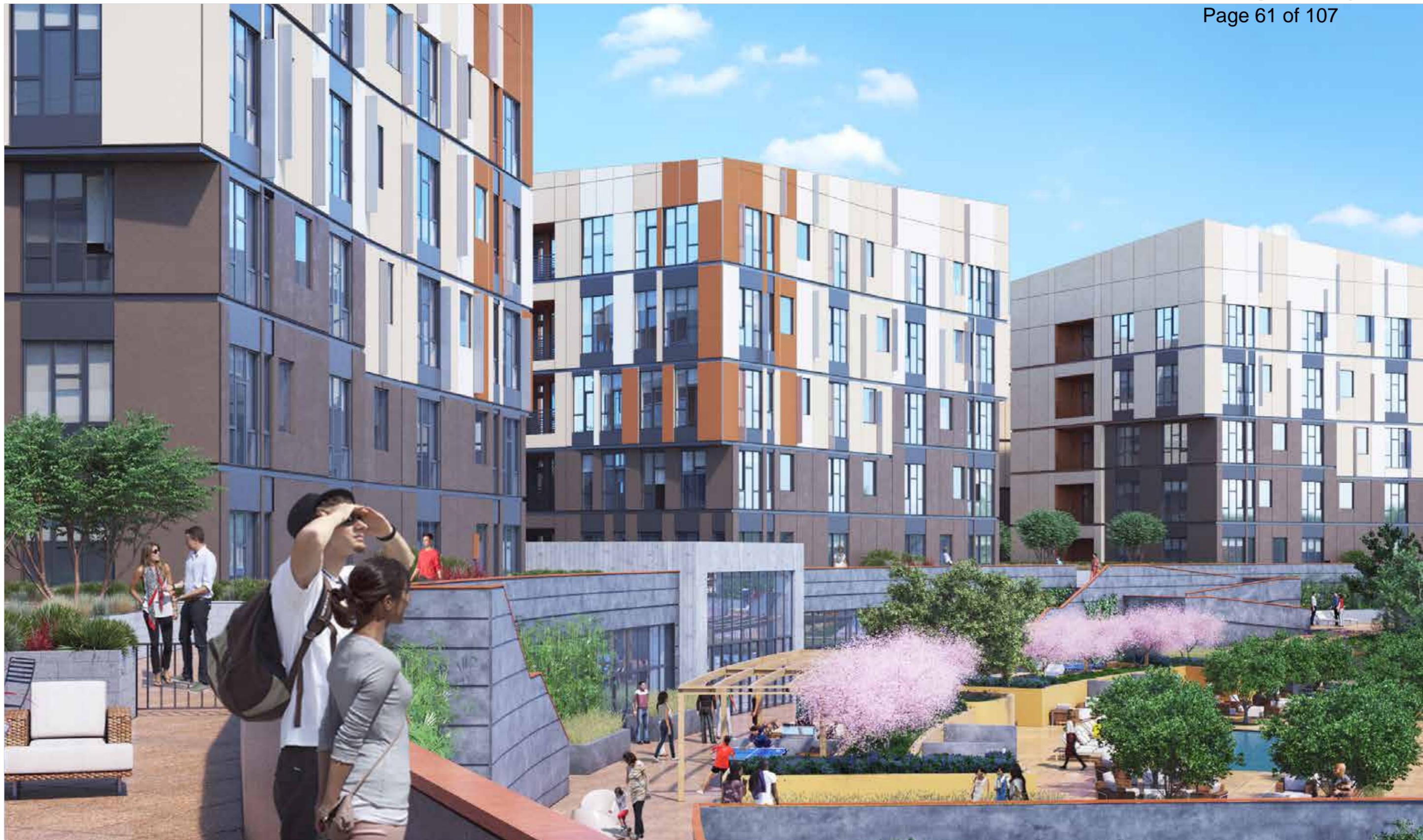
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RENDERINGS

A4.4

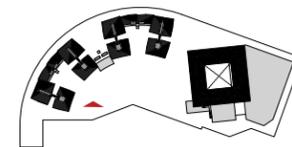


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RENDERINGS

A4.5

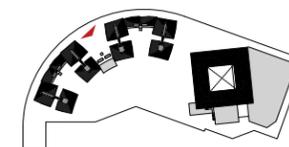


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RENDERINGS

A4.5a

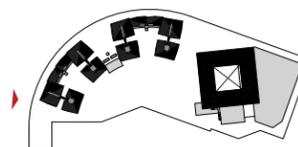


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RENDERINGS

A4.6

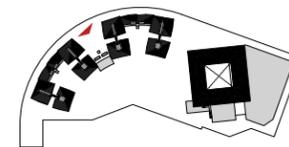


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RENDERINGS

A4.7

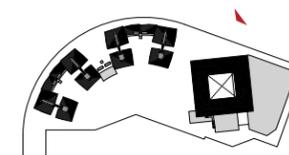


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RENDERINGS

A4.8

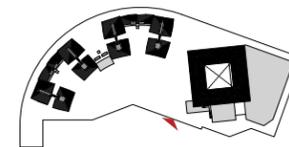


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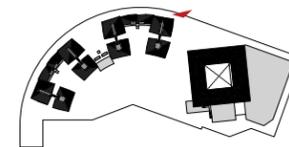
A4.9



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RENDERINGS

A4.10

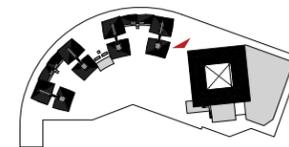


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RENDERINGS

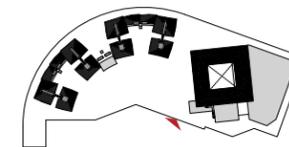
A4.11



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RENDERINGS

A4.12



SITE PLAN

--- LOT LINE



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LANDSCAPE PLAN

L1.0

'USABLE OPEN SPACE - RESIDENTIAL' - REQUIREMENT

 'USABLE PRIVATE OPEN SPACE' PROVIDED

'USABLE PRIVATE OPEN SPACE' REQUIREMENT - 400 SQFT X 250 UNITS = 100,000 SQFT (RESIDENTIAL ONLY)

PODIUM GARDENS	32,564 SQFT
RESIDENT BALCONIES	12,674 SQFT
AMENITY DECK & POOLSIDE LOUNGE	18,295 SQFT
MAIN ENTRANCE PLAZA	2,060 SQFT
SWITCH BACK GROVE + PUBLIC SKYDECK	18,065 SQFT
SUN LAWN TERRACES	6,252 SQFT
DOG PARK	7,104 SQFT
PUBLIC ART PLAZA	3,031 SQFT

TOTAL 'USEABLE PRIVATE OPEN SPACE' PROVIDED 100,045 SQFT



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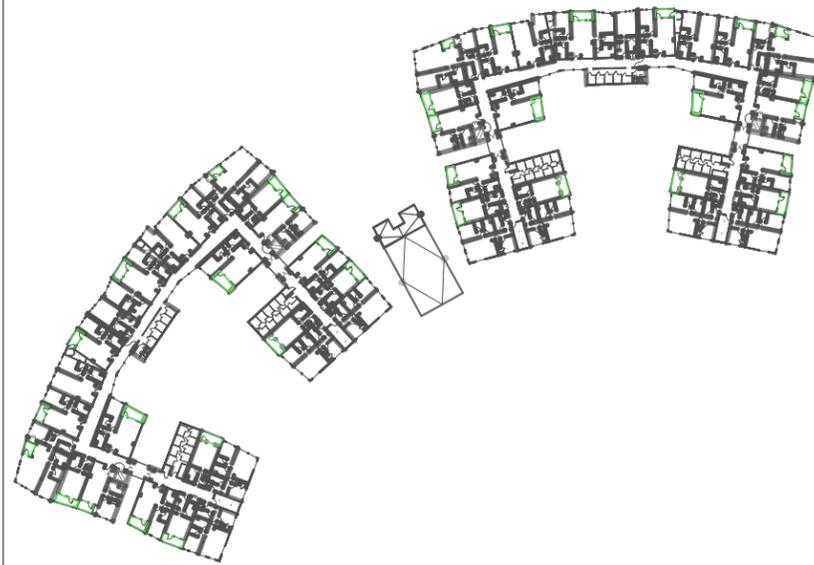
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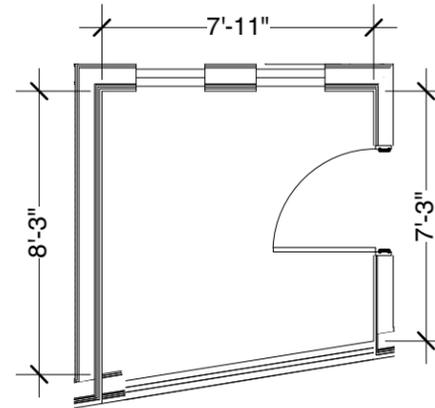
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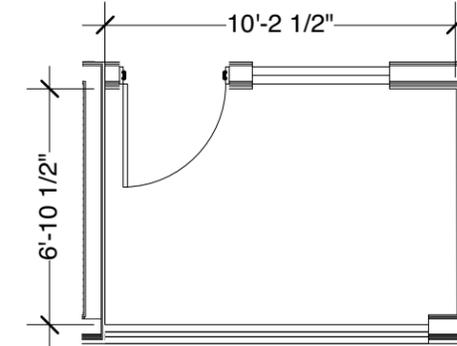
LANDSCAPE AREA
 CALCULATIONS:
 USABLE OPEN SPACE
L1.1



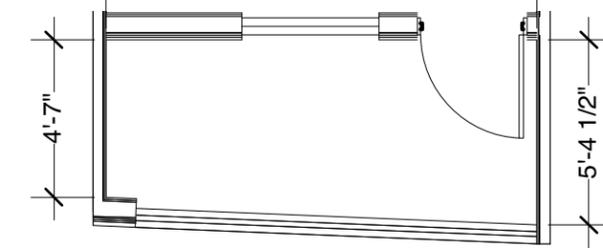
TOAL COVERED BALCONY SQ FT: 12,400 SQ FT **KEY PLAN**



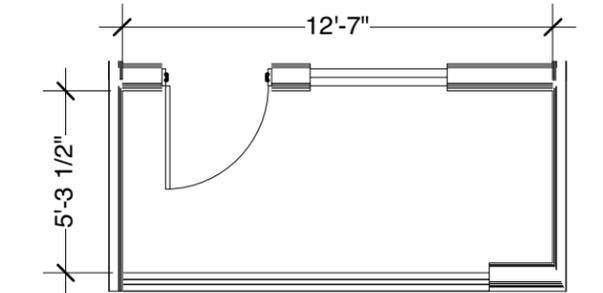
6 UNITS **BALCONY TYPE B2.2** 10
60 SF $3/16'' = 1'-0''$



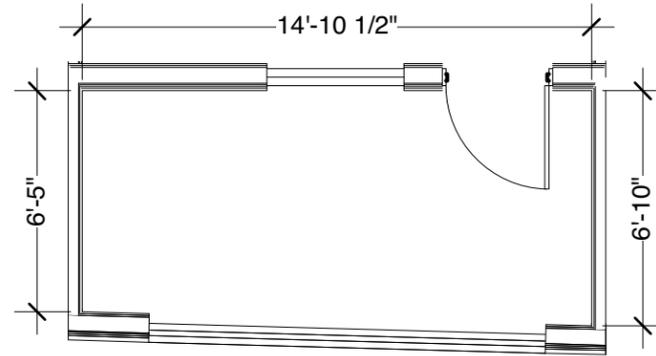
8 UNITS **BALCONY TYPE A5.1** 7
67 SF $3/16'' = 1'-0''$



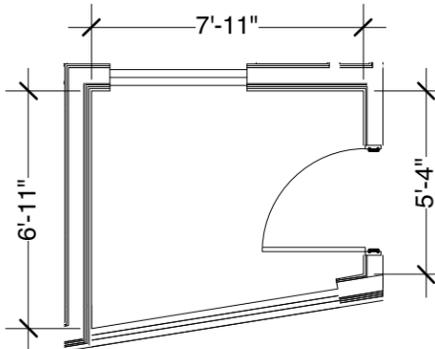
6 UNITS **BALCONY TYPE A1.2** 4
62 SF $3/16'' = 1'-0''$



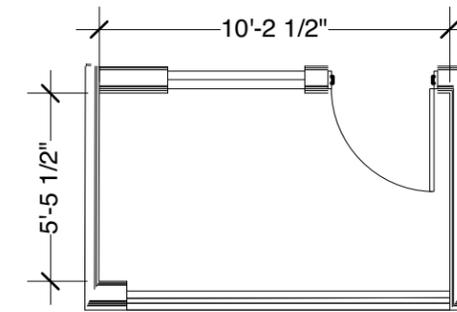
38 UNITS **BALCONY TYPE A1.1** 3
63 SF $3/16'' = 1'-0''$



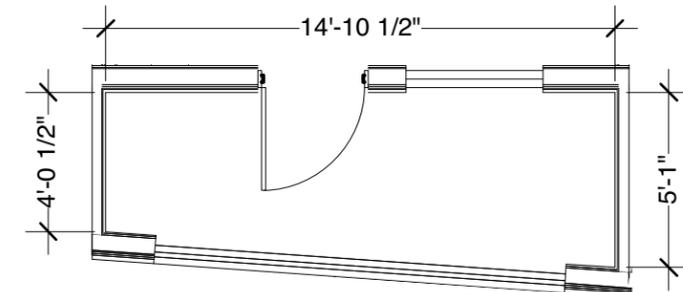
6 UNITS **BALCONY TYPE B3.1** 12
99 SF $3/16'' = 1'-0''$



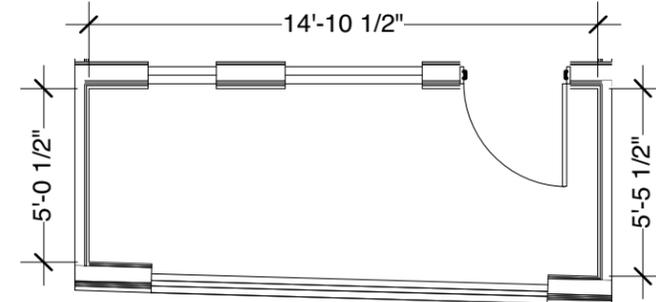
14 UNITS **BALCONY TYPE B2** 9
47 SF $3/16'' = 1'-0''$



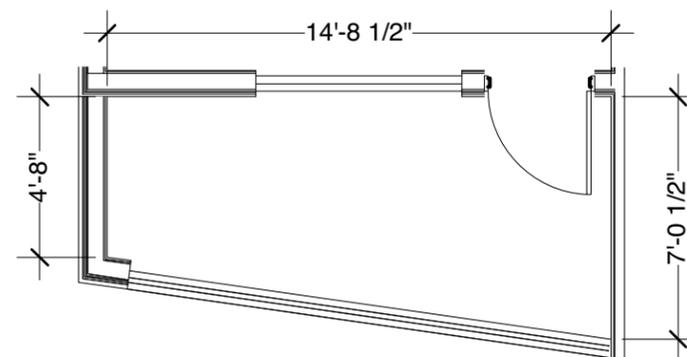
12 UNITS **BALCONY TYPE A5** 6
56 SF $3/16'' = 1'-0''$



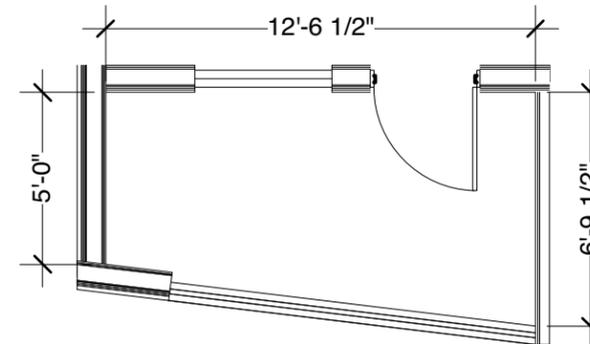
12 UNITS **BALCONY TYPE S2.1** 2
68 SF $3/16'' = 1'-0''$



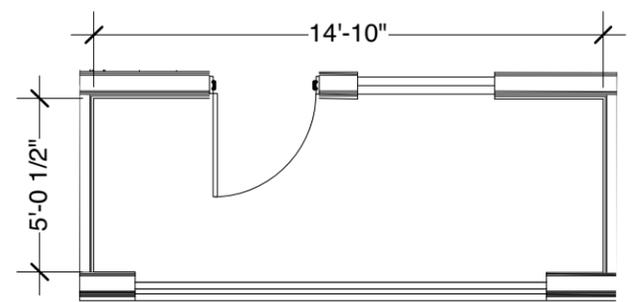
4 UNITS **BALCONY TYPE B3** 11
78 SF $3/16'' = 1'-0''$



8 UNITS **BALCONY TYPE A6** 8
84 SF $3/16'' = 1'-0''$



8 UNITS **BALCONY TYPE A4** 5
72 SF $3/16'' = 1'-0''$



60 UNITS **BALCONY TYPE S1** 1
75 SF $3/16'' = 1'-0''$

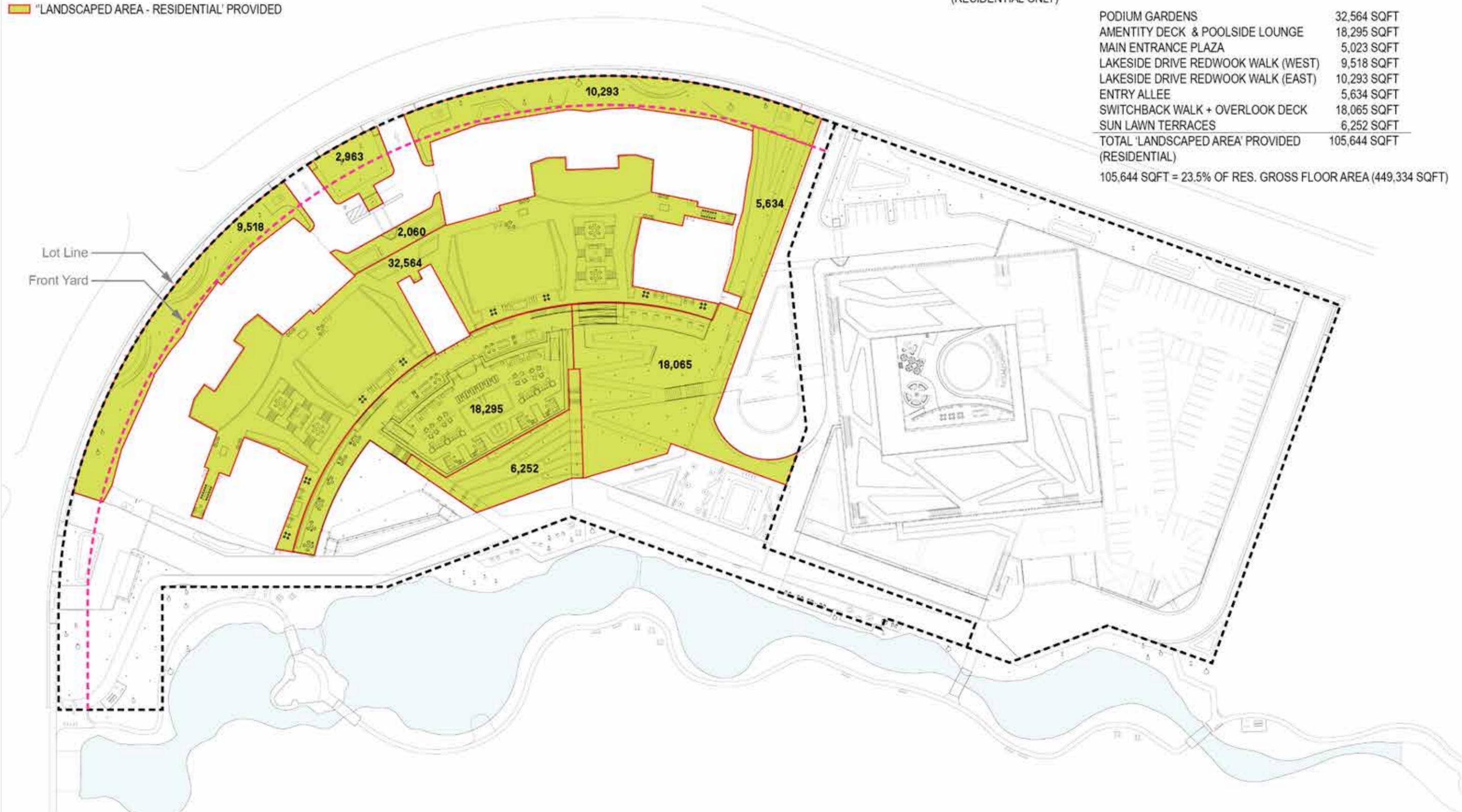
'LANDSCAPED AREA - RESIDENTIAL' - REQUIREMENT

'LANDSCAPED AREA - RESIDENTIAL' REQ. : 400 SQFT X 250 UNITS = 100,000 SQFT
(RESIDENTIAL ONLY)

 "LANDSCAPED AREA - RESIDENTIAL' PROVIDED

PODIUM GARDENS	32,564 SQFT
AMENITY DECK & POOLSIDE LOUNGE	18,295 SQFT
MAIN ENTRANCE PLAZA	5,023 SQFT
LAKESIDE DRIVE REDWOOD WALK (WEST)	9,518 SQFT
LAKESIDE DRIVE REDWOOD WALK (EAST)	10,293 SQFT
ENTRY ALLEE	5,634 SQFT
SWITCHBACK WALK + OVERLOOK DECK	18,065 SQFT
SUN LAWN TERRACES	6,252 SQFT
TOTAL 'LANDSCAPED AREA' PROVIDED (RESIDENTIAL)	105,644 SQFT

105,644 SQFT = 23.5% OF RES. GROSS FLOOR AREA (449,334 SQFT)



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LANDSCAPE AREA
CALCULATIONS:
RESIDENTIAL

L1.2

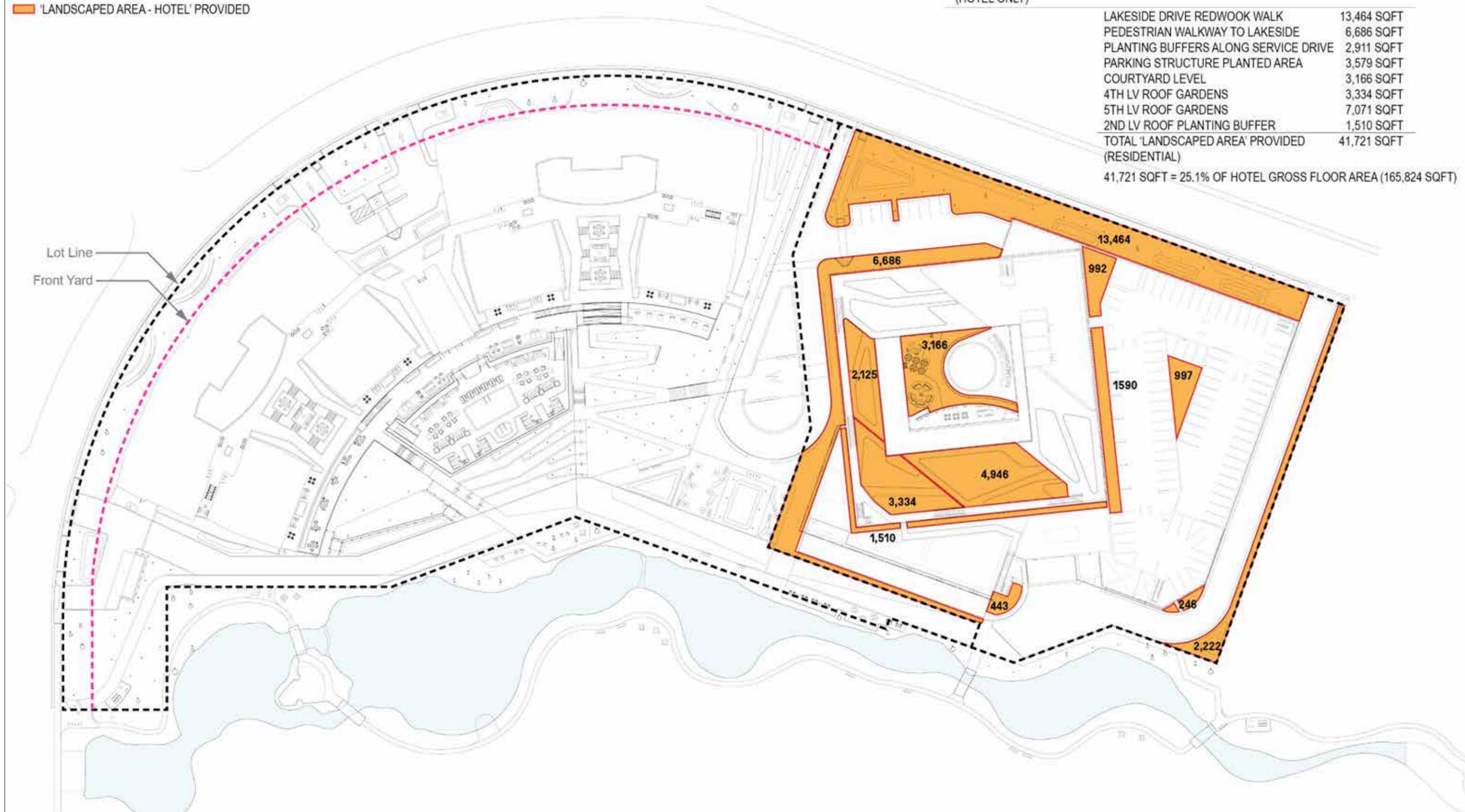
'LANDSCAPED AREA - HOTEL' - REQUIREMENT

■ 'LANDSCAPED AREA - HOTEL' PROVIDED

'LANDSCAPED AREA - HOTEL' REQ. : 20% OF G.F.A. (165,824 SQFT) = 33,144 SQFT (HOTEL ONLY)

LAKESIDE DRIVE REDWOOD WALK	13,464 SQFT
PEDESTRIAN WALKWAY TO LAKESIDE	6,686 SQFT
PLANTING BUFFERS ALONG SERVICE DRIVE	2,911 SQFT
PARKING STRUCTURE PLANTED AREA	3,579 SQFT
COURTYARD LEVEL	3,166 SQFT
4TH LV ROOF GARDENS	3,334 SQFT
5TH LV ROOF GARDENS	7,071 SQFT
2ND LV ROOF PLANTING BUFFER	1,510 SQFT
TOTAL 'LANDSCAPED AREA' PROVIDED (RESIDENTIAL)	41,721 SQFT

41,721 SQFT = 25.1% OF HOTEL GROSS FLOOR AREA (165,824 SQFT)

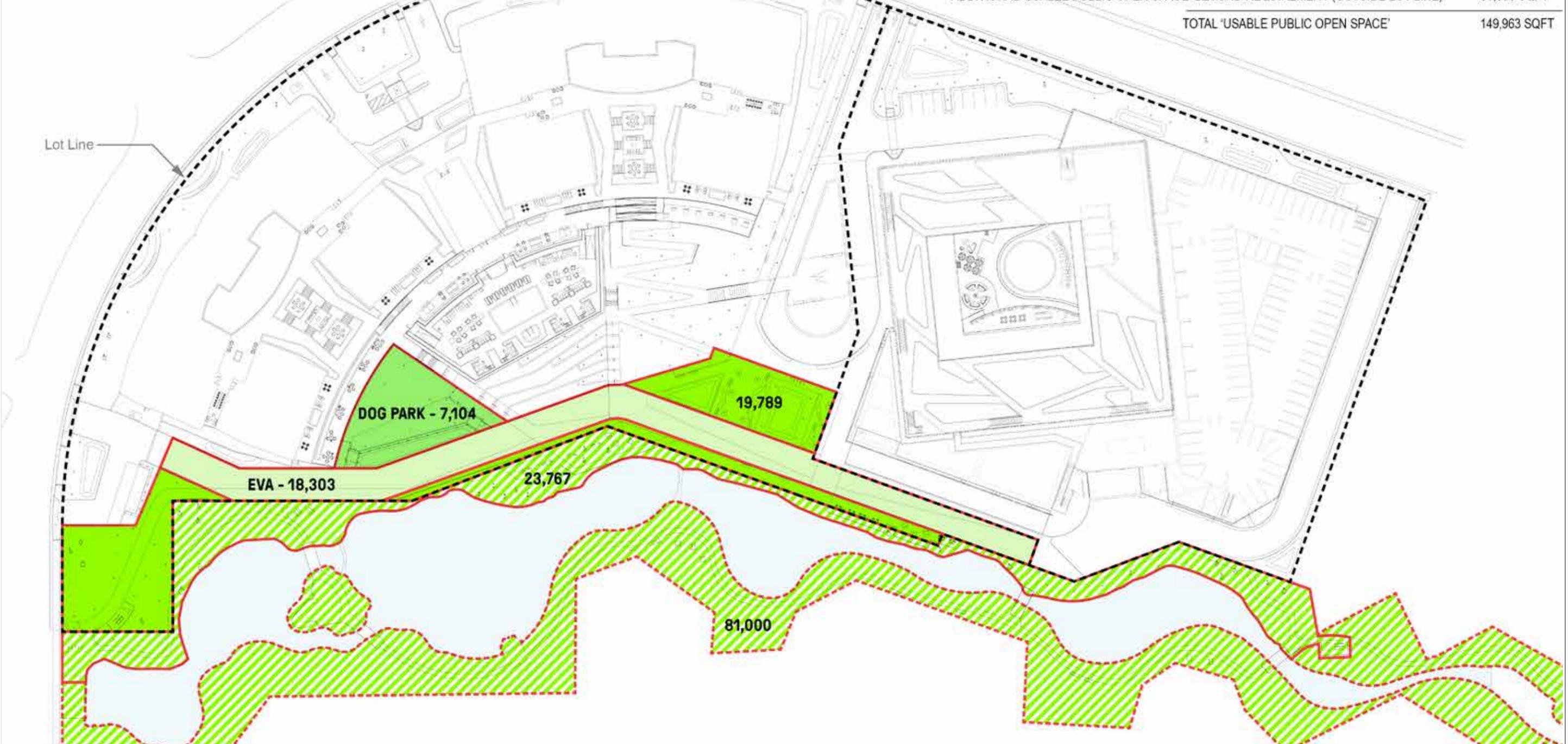


'USEABLE PUBLIC OPEN SPACE' TO BE PROVIDED IN LIEU OF PARK FEE

- DOG PARK 'USEABLE PUBLIC OPEN SPACE' INCLUDED IN REQUIREMENT (WITHIN LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
- EVA 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (WITHIN LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
- OTHER 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (WITHIN LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
- 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (OUTSIDE OF LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
- ADDITIONAL 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (OUTSIDE OF LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE

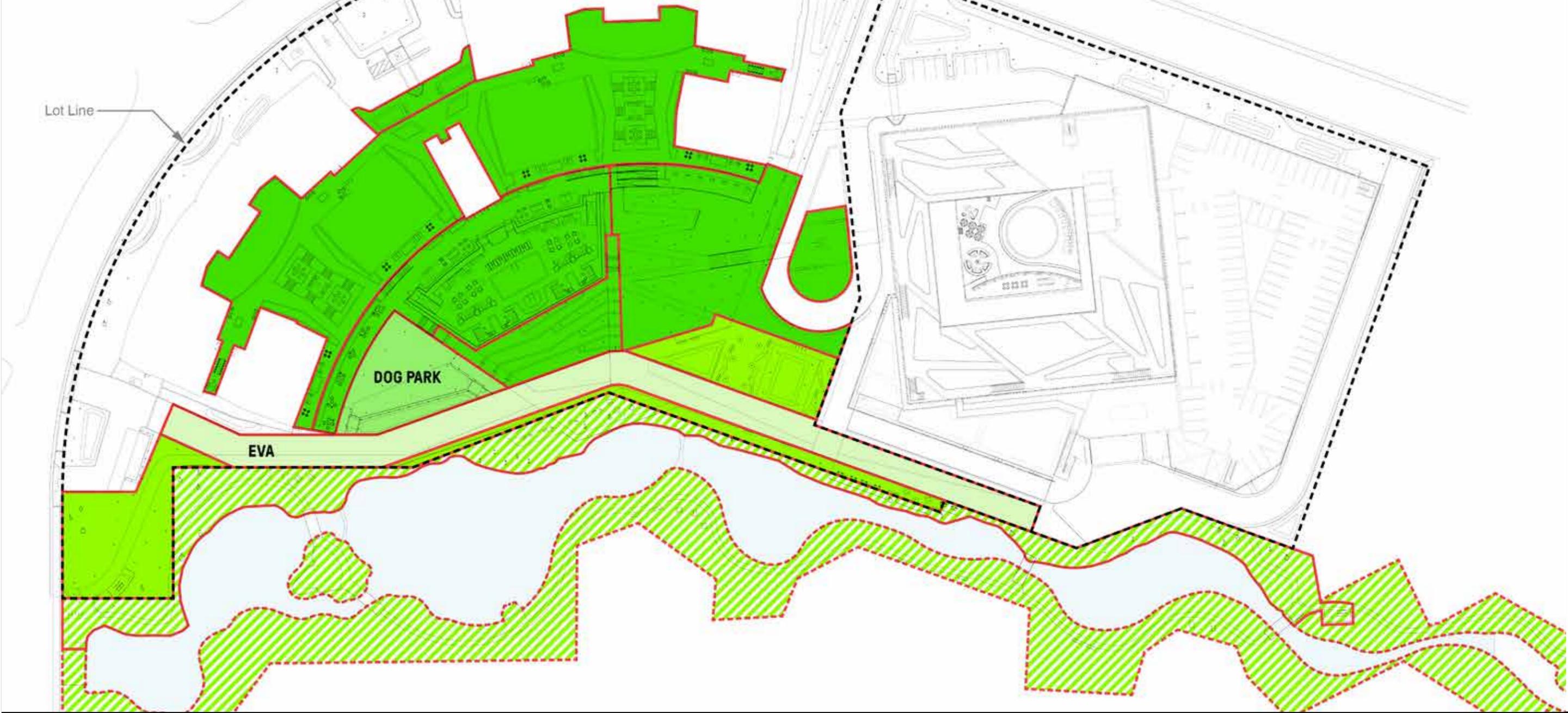
**AREA TO BE PROVIDED FOR PUBLIC PARK IN LIEU OF CITY FEE
(AREA MUST BE BEYOND ENTITLEMENT PACKAGE REQUIREMENTS)**

DOG PARK 'USABLE PUBLIC OPEN SPACE' INCLUDED IN REQUIREMENT (WITHIN LOT LINE)	7,104 SQFT
EVA 'USABLE PUBLIC OPEN SPACE' PROVIDED BEYOND REQUIREMENT (WITHIN LOT LINE)	18,303 SQFT
OTHER 'USABLE PUBLIC OPEN SPACE' PROVIDED BEYOND REQUIREMENT (WITHIN LOT LINE)	19,789 SQFT
'USABLE PUBLIC OPEN SPACE' PROVIDED BEYOND REQUIREMENT (OUTSIDE LOT LINE)	23,767 SQFT
ADDITIONAL 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (OUTSIDE LOT LINE)	81,000 SQFT
TOTAL 'USABLE PUBLIC OPEN SPACE'	149,963 SQFT



COMBINED 'USEABLE PUBLIC OPEN SPACE'

-  'USABLE OPEN SPACE' INCLUDED IN REQUIREMENT (WITHIN LOT LINE)
-  DOG PARK 'USEABLE PUBLIC OPEN SPACE' INCLUDED IN REQUIREMENT (WITHIN LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
-  EVA 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (WITHIN LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
-  OTHER 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (WITHIN LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
-  'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (OUTSIDE OF LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE
-  ADDITIONAL 'USABLE PUBLIC OPEN SPACE' BEYOND REQUIREMENT (OUTSIDE OF LOT LINE) TO BE PROVIDED IN LIEU OF PARK FEE



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LANDSCAPE AREA
CALCULATIONS: COMBINED
PUBLIC & PRIVATE AREAS

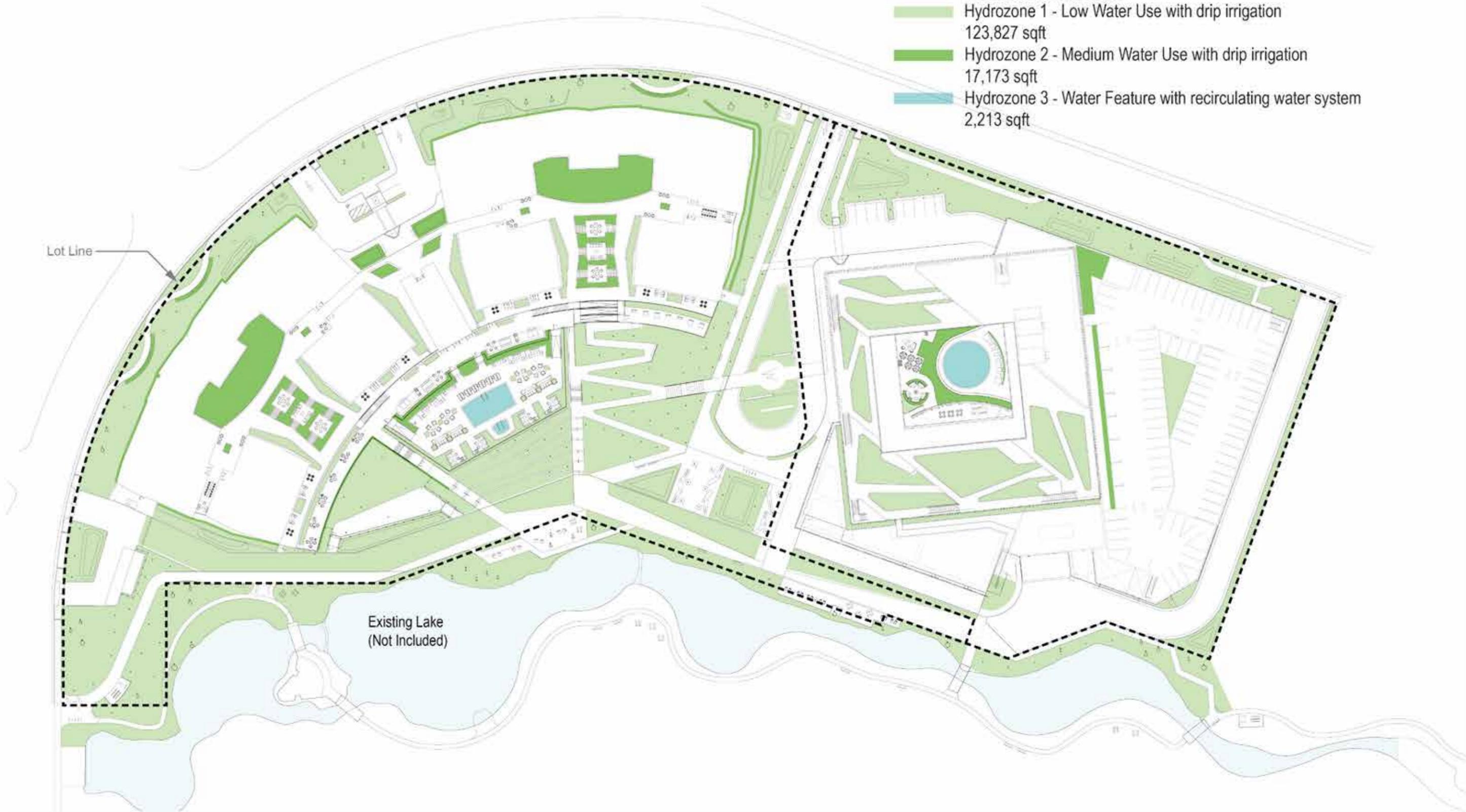
L1.4a

HYDROZONES PLAN

HYDROZONES

Water Efficiency Design

-  Hydrozone 1 - Low Water Use with drip irrigation
123,827 sqft
-  Hydrozone 2 - Medium Water Use with drip irrigation
17,173 sqft
-  Hydrozone 3 - Water Feature with recirculating water system
2,213 sqft



SITE PLAN

--- LOT LINE



LANDSCAPE CONCEPT NARRATIVE

Connecting people with nature is at the heart of the landscape concept for 1250 Lakeside Drive. The landscape spaces and outdoor programming engage the lake and create contiguous connections within the development and to the surrounding neighborhood. While walking along waterfront promenade visitors will pass beneath the shade of the mature trees and relax by the banks of the lake's calm waters.

The towering trees along Lakeside Drive coupled with ground level planting and berming will help create a pleasant scale for both pedestrians and drivers passing by the development. The sustainable ethics of stormwater management and drought tolerant planting will be on display and celebrated throughout the landscape.

A hierarchy of public, semi-public, and private spaces forms as the ground elevation transitions from the lower levels of the waterfront to the upper levels of the residential and hotel buildings. The semi-public amphitheater space can play host to special events and gatherings as well as casual seating overlooking the lake. A series of outdoor spaces provides a range of activity levels ranging from active recreation decks and high-energy social areas to quiet places for relaxation and solitude.

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LANDSCAPE CONCEPT
NARRATIVE

L2.0

WEST PUBLIC ENTRY - ENLARGED PLAN

KEY MAP



LARGE SCALE SIGNAGE



ENTRY PLAZA



FITNESS STATION

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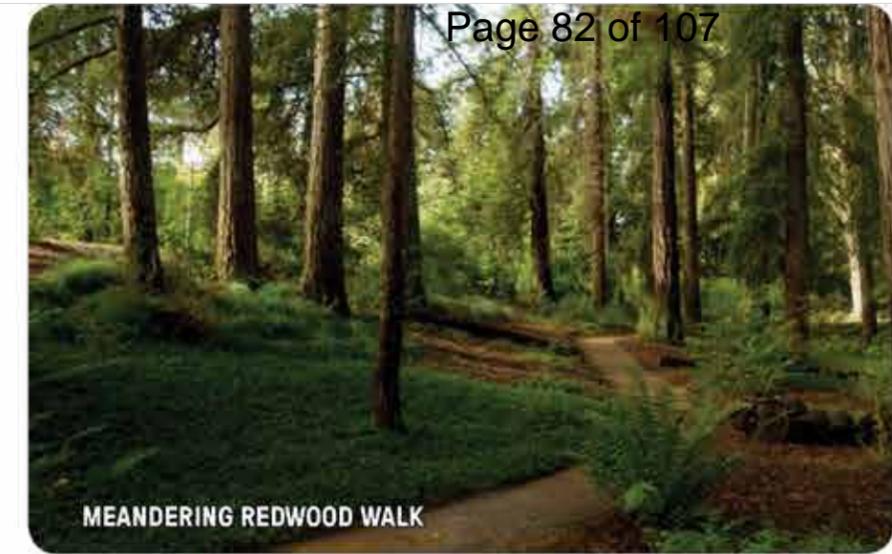
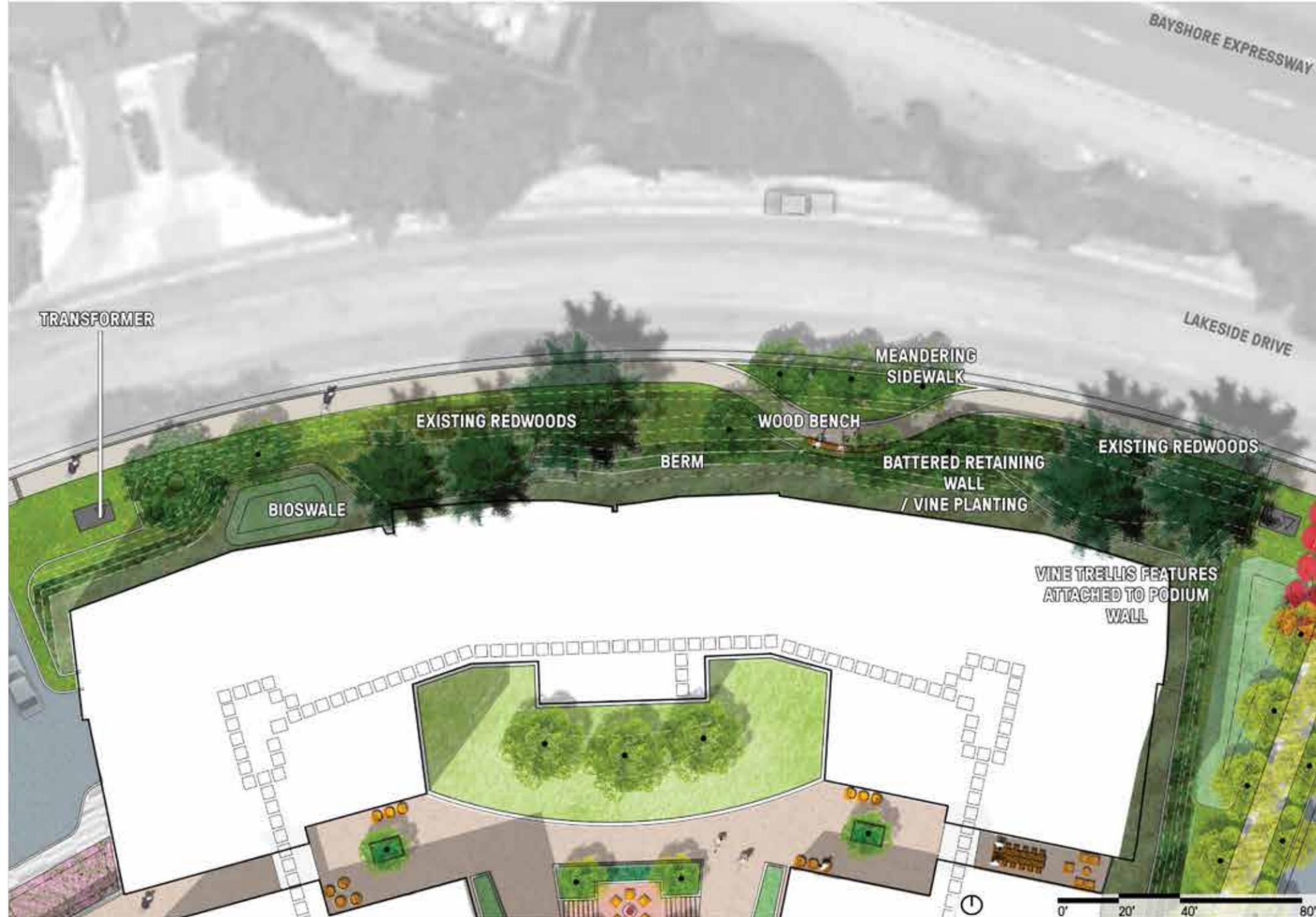
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ENLARGED PLAN: WEST
PUBLIC ENTRY

L2.1a

LAKESIDE DRIVE REDWOODS WALK - ENLARGED PLAN

KEY MAP



MEANDERING REDWOOD WALK



LUSH BERM



SEAT WALLS

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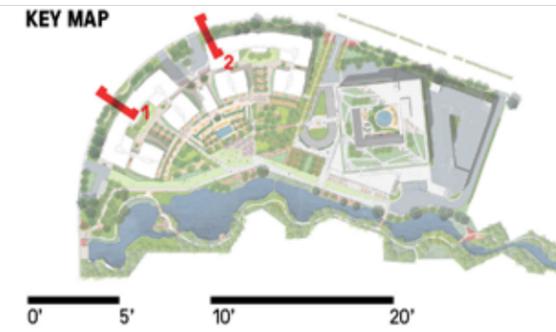
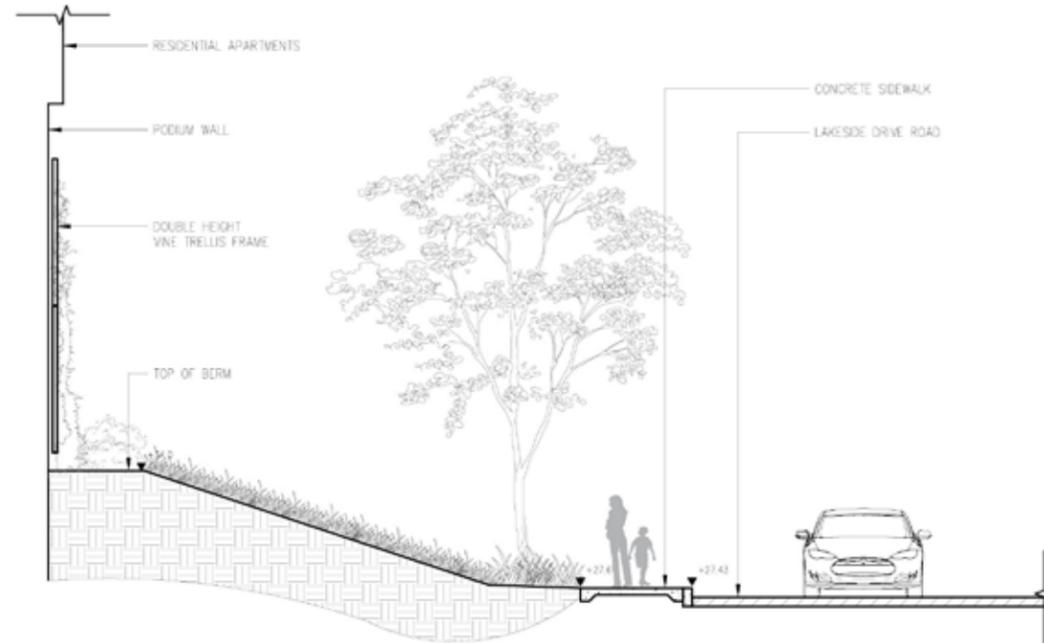
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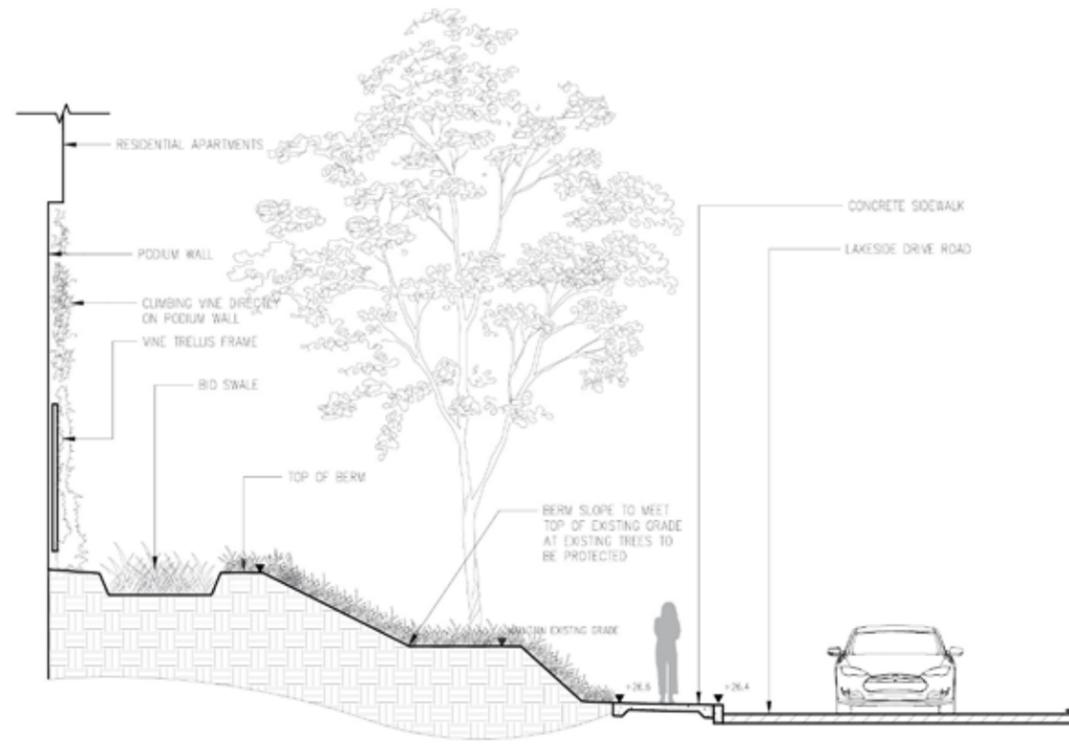
ENLARGED PLAN:
LAKESIDE DRIVE
REDWOODS WALK

L2.2a

LAKESIDE DRIVE REDWOODS WALK - TYPICAL SECTIONS



Lakeside Drive Redwoods Walk - Section 1



Lakeside Drive Redwoods Walk - Section 2

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TYPICAL SECTIONS:
LAKESIDE DRIVE
REDWOODS WALK

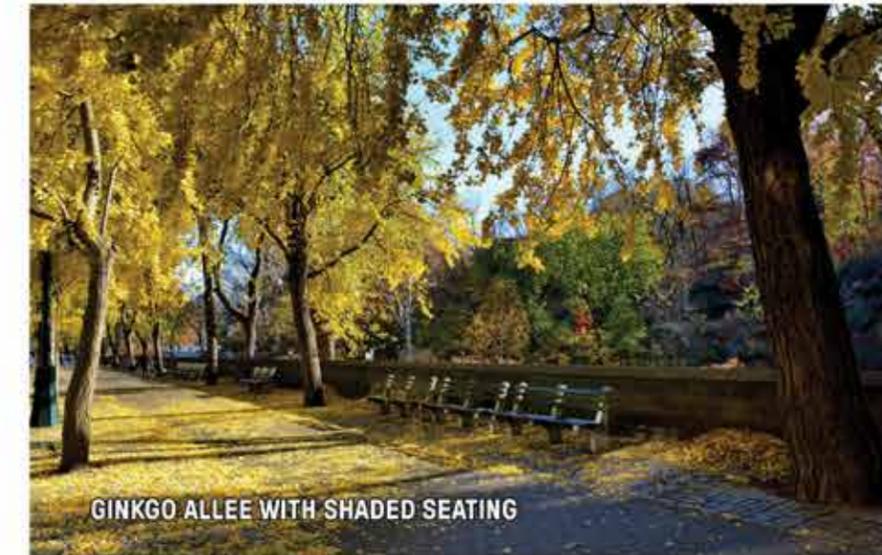
L2.2b

NORTH PUBLIC ENTRY - ENLARGED PLAN

KEY MAP



STRONG DIRECTIONAL PATH TO LAKESIDE PARK WITH SIGNAGE



GINKGO ALLEE WITH SHADED SEATING



SOCIAL SEATING BUFFERED FROM DRIVEWAY

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ENLARGED PLAN:
NORTH PUBLIC ENTRY

L2.3a

LAKE FRONT PROMENADE WEST - ENLARGED PLAN

KEY MAP



WOOD DECK WITH LAKESIDE SEATING



TERRACE PLANTERS



DOG PARK

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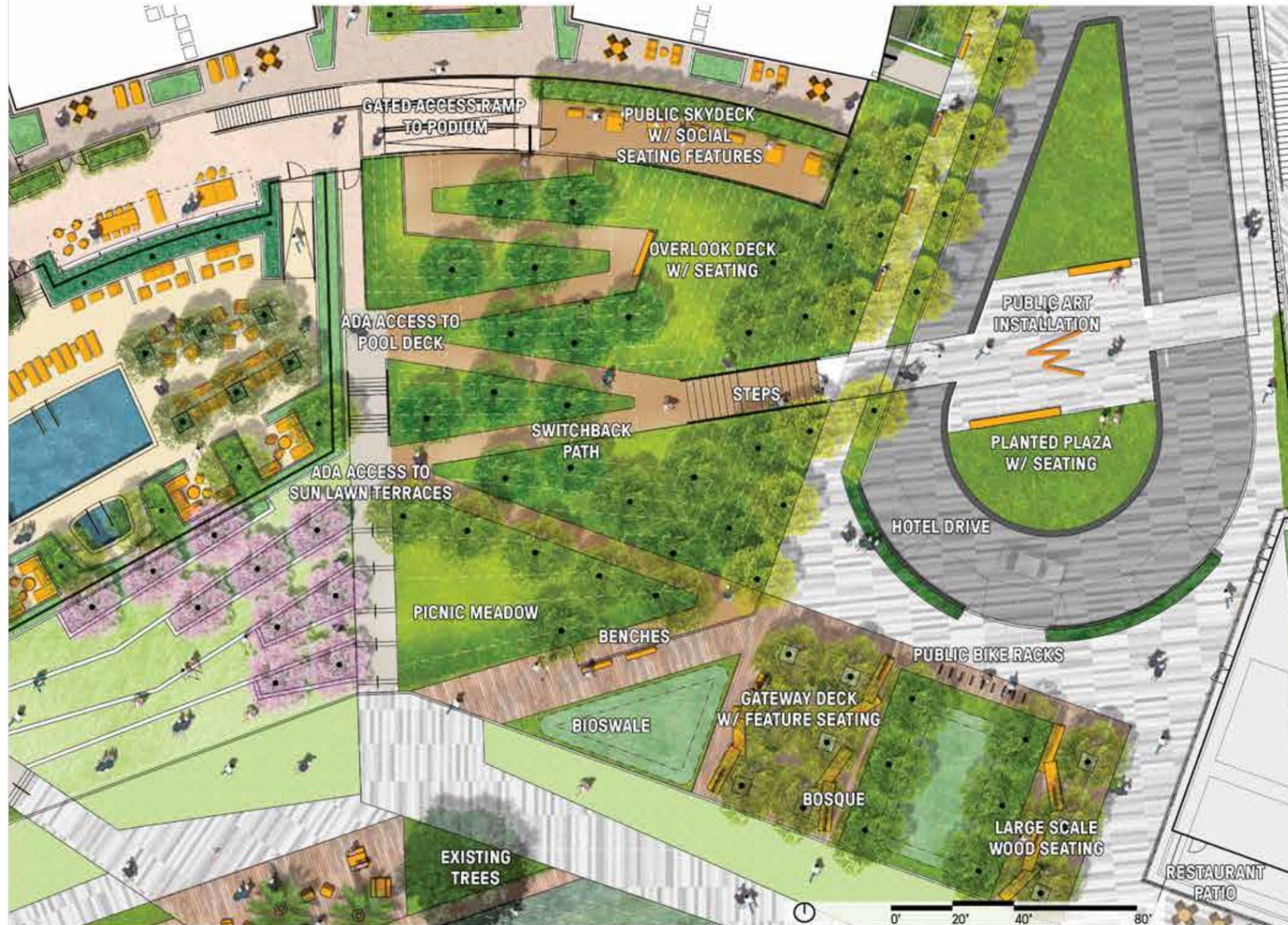
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ENLARGED PLAN:
LAKEFRONT
PROMENADE WEST

L2.4a

PUBLIC GARDEN WALK + SKY DECK - ENLARGED PLAN

KEY MAP



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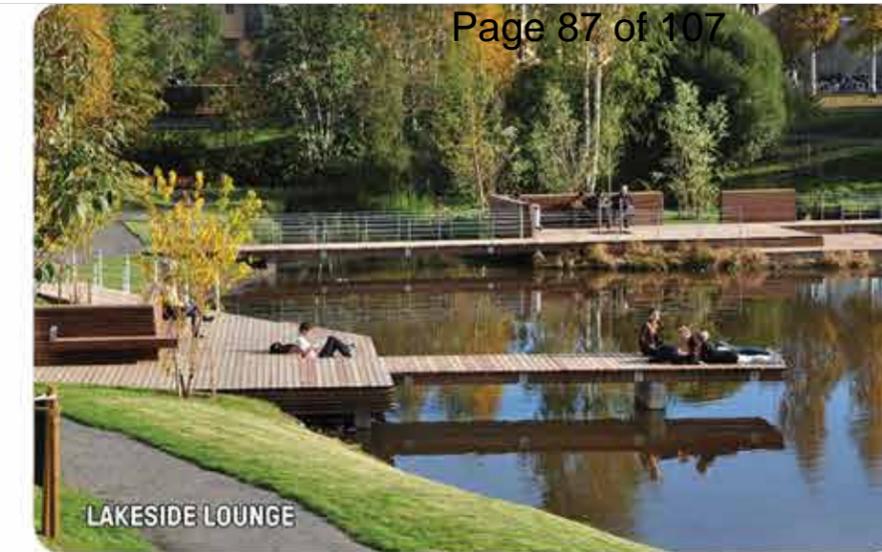
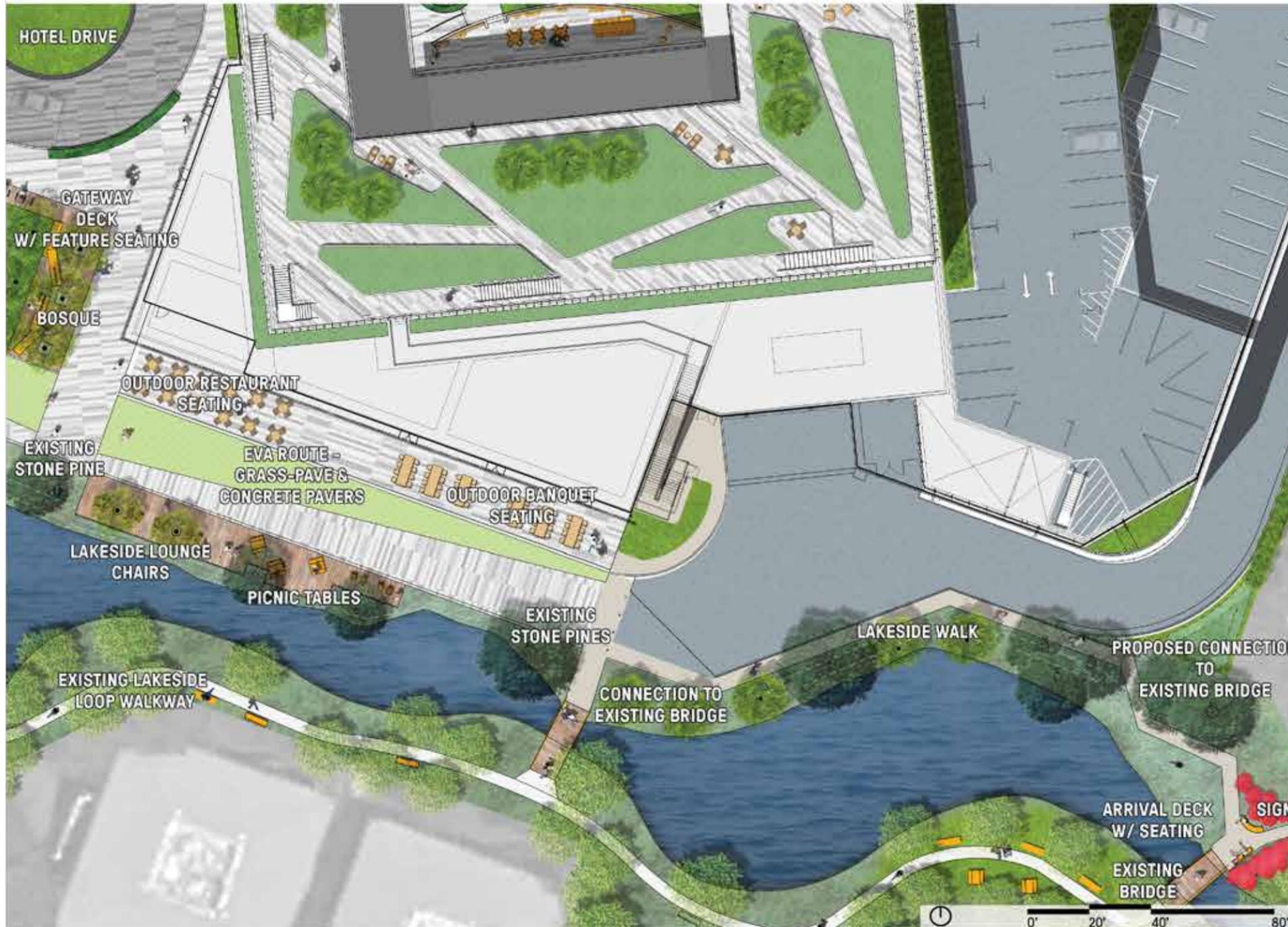
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ENLARGED PLAN:
PUBLIC GARDEN WALK
+ SKY DECK

L2.5a

LAKE FRONT PROMENADE EAST - ENLARGED PLAN



LAKESIDE LOUNGE



PICNIC TABLES & SEATING



LAKE CROSSINGS

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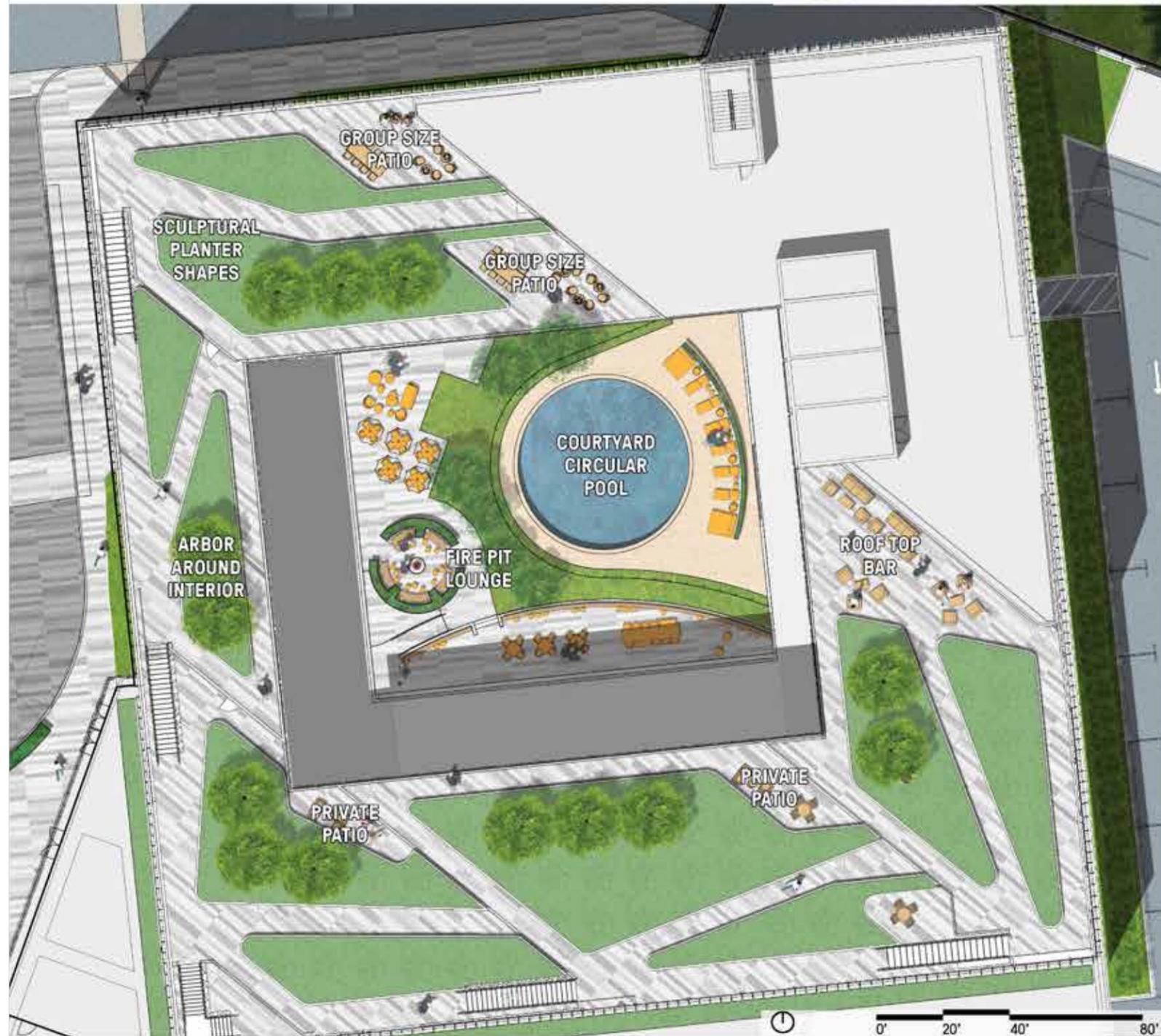
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ENLARGED PLAN: LAKE
FRONT PROMENADE
EAST

L2.6a

HOTEL ROOF GARDENS - ENLARGED PLAN

KEY MAP



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ENLARGED PLAN:
HOTEL ROOF GARDENS

L2.7a

HOTEL + PARKING STRUCTURE GREEN ROOFS - ENLARGED PLAN

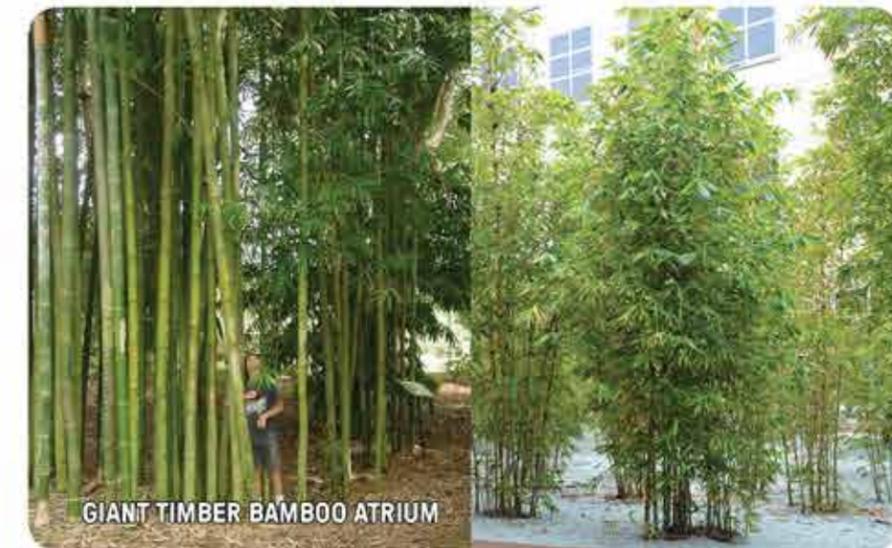
KEY MAP



CHERRY LAUREL SCREEN ALONG SERVICE DRIVE



BAMBOO SCREEN IN RAISED PLANTER



GIANT TIMBER BAMBOO ATRIUM

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ENLARGED PLAN: HOTEL
+ PARKING STRUCTURE
GREEN ROOFS

L2.8a

RESIDENTIAL LEVEL 2 (POOL DECK) - ENLARGED PLAN

KEY MAP



OLIVE GROVE LOUNGE



PING-PONG



SOCIAL DECK

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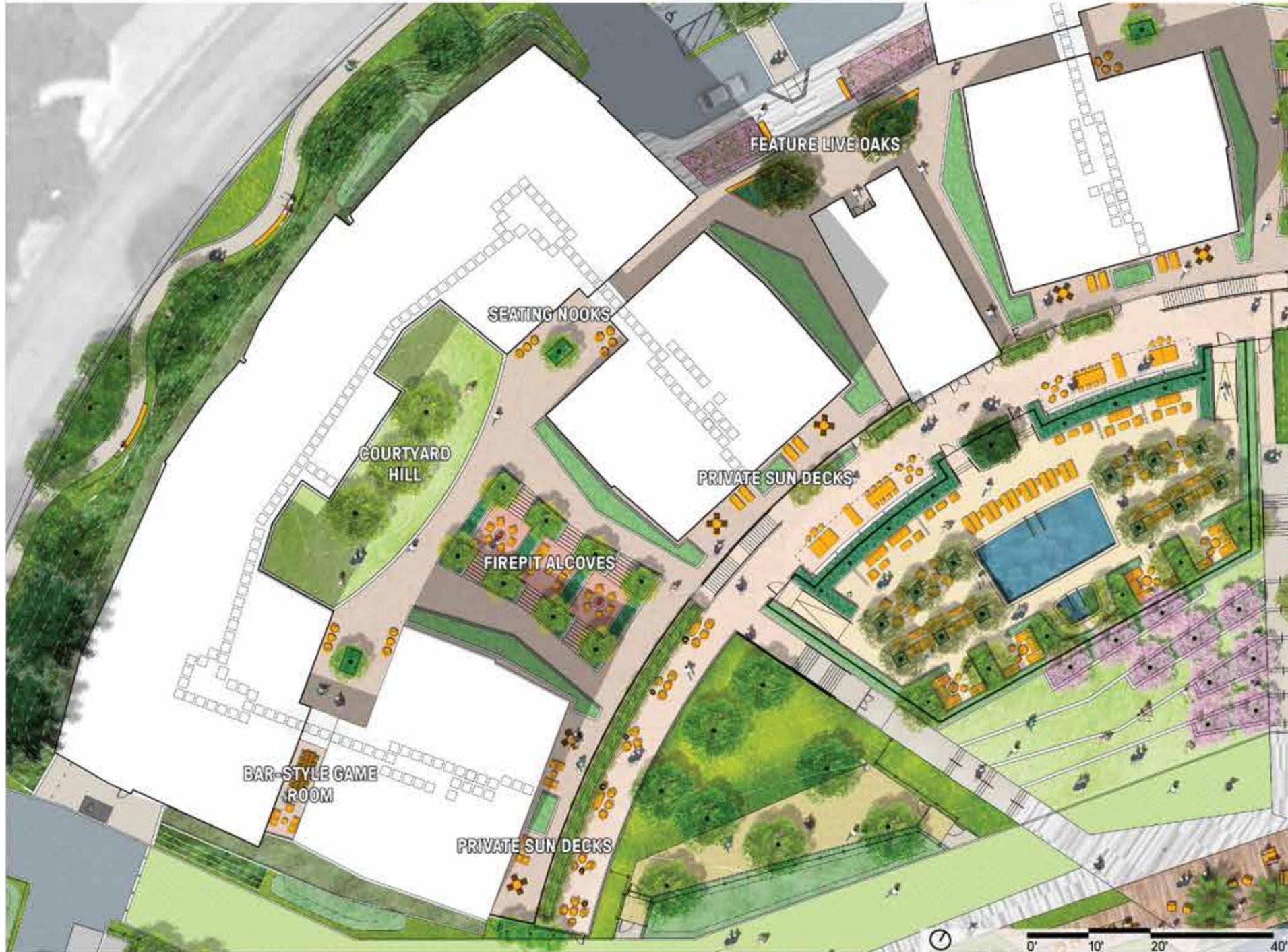
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ENLARGED PLAN:
RESIDENTIAL LEVEL 2
(POOL DECK)

L2.9a

RESIDENTIAL LEVEL 3 (PODIUM GARDENS) - ENLARGED PLAN

KEY MAP



COURTYARD GROVE



FIRE PIT



BAR-STYLE GAME ROOM

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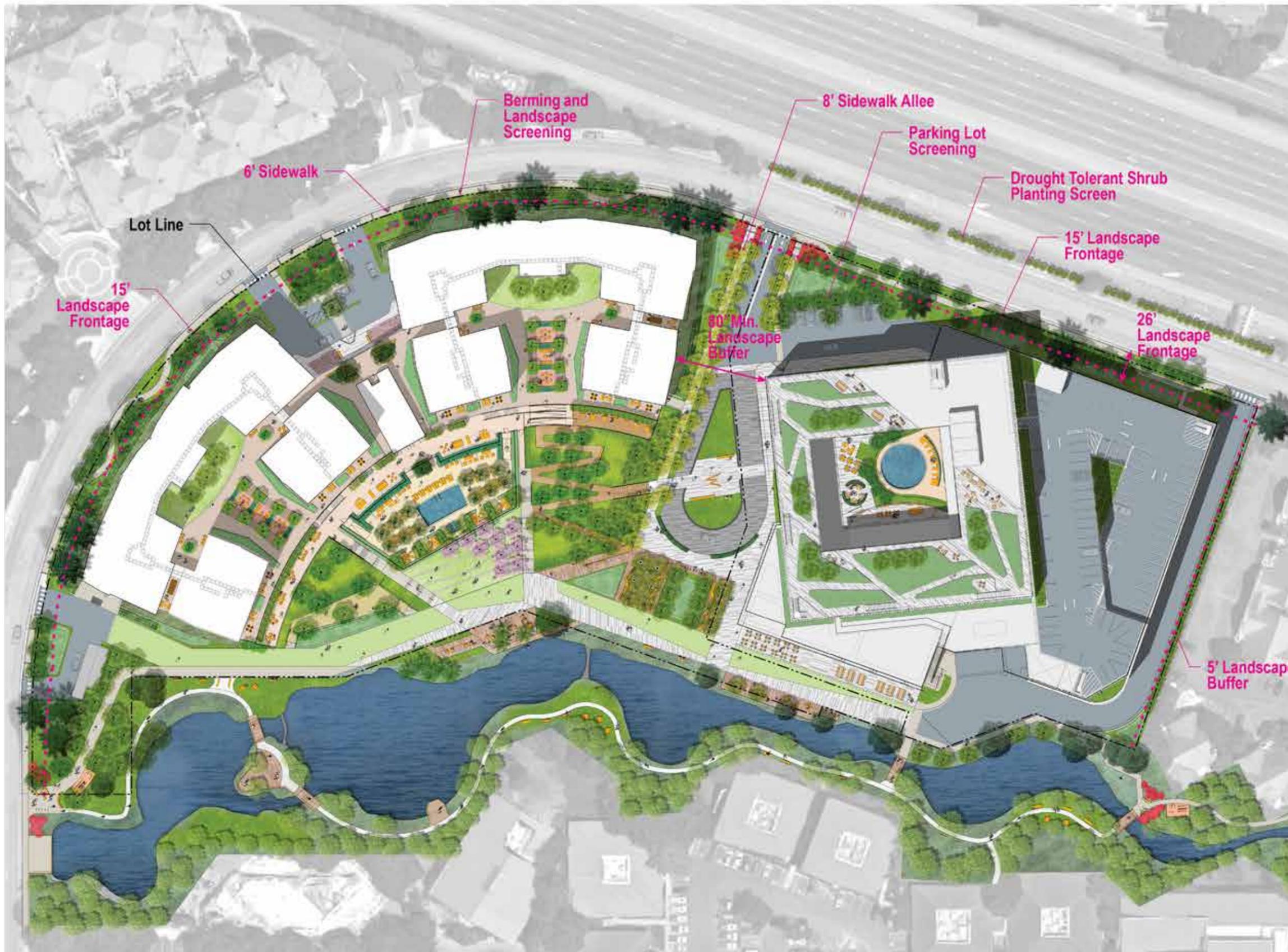
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ENLARGED PLAN:
RESIDENTIAL LEVEL 3
(PODIUM GARDENS)

L2.10a



Irrigation system design

1. All landscaped areas shall have a permanent irrigation system
2. The irrigation system shall be designed and maintained to meet or exceed an average landscaping irrigation efficiency of seventy percent.
3. Water will not be wasted resulting from an inefficient irrigation system.
4. Irrigation system will be designed with hydrozones to meet the individual needs of each plant group. Valves and control circuits shall be separated based on the required rate and quantity of water used.
5. Each valve shall irrigate a hydrozone with similar site, slope, sun exposure, soil conditions and plant materials with similar water use. Where feasible, trees shall be placed on separate valves from shrubs, groundcovers, and turf.
6. Sprinkler heads and other emission devices shall be selected based on what is appropriate for the plant type within that hydrozone. Sprinkler heads must have matched precipitation rates within each circuit.
7. Bubbler or drip-type irrigation, or other low-flow, non-spray technology shall be provided for trees, shrubs, mulched areas, areas with slope greater than ten percent, and areas that are less than eight feet wide in any direction.
8. All irrigation controllers will utilize either evapotranspiration or soil moisture sensor data and be capable of dual or multiple programming. Irrigation systems shall also incorporate sensors (rain, freeze, wind, etc.) that suspend or alter irrigation operation during unfavorable weather conditions.
9. Irrigation controllers and backflow devices shall be screened from public view.
10. Irrigation will be scheduled between eight p.m. and ten a.m.

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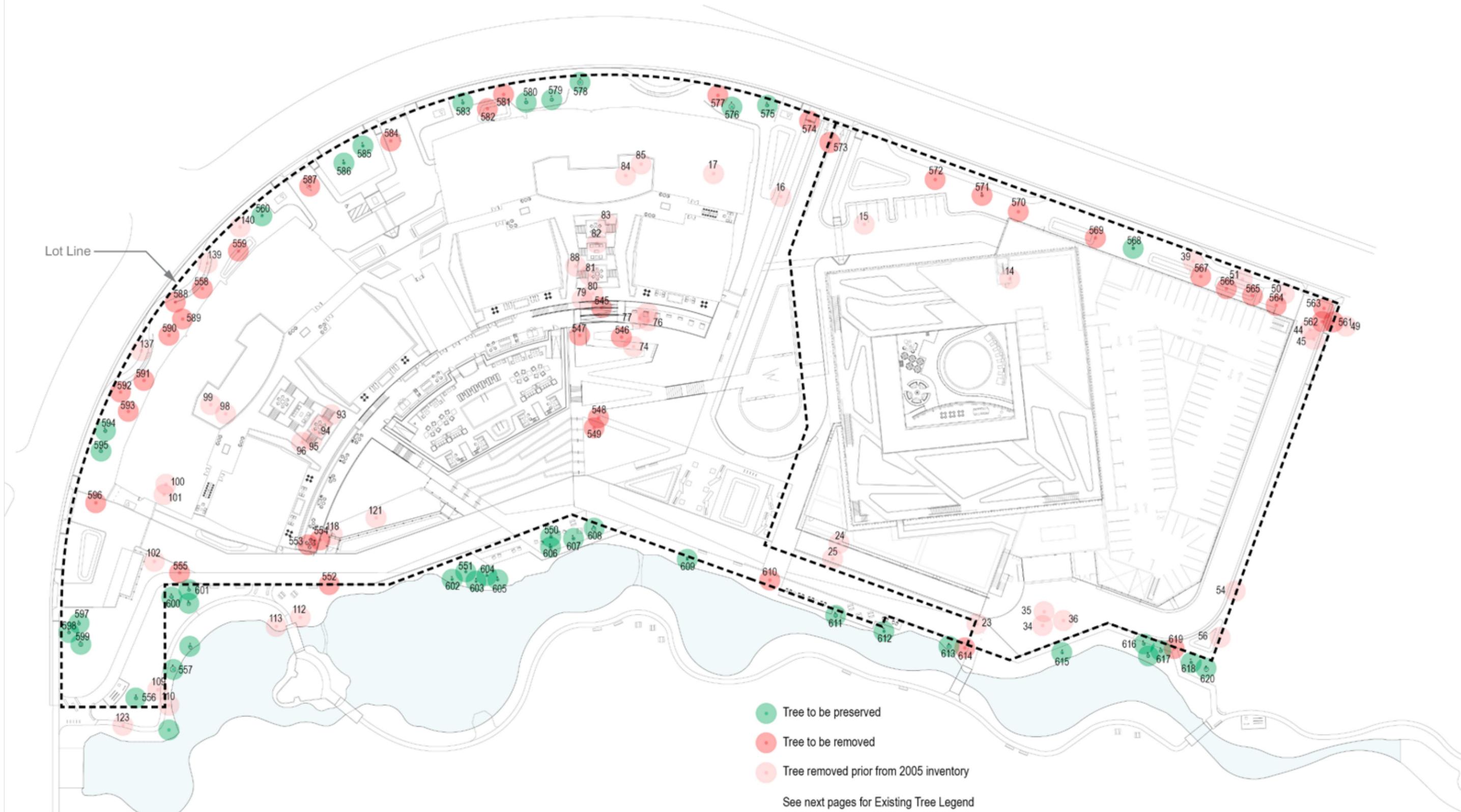
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GENERAL PLANTING,
SOIL MANAGEMENT +
IRRIGATION SYSTEM

L2.11



EXISTING TREE LEGEND - CURRENT

Tree	Species	Diameter	Protected	Impacts	Replacement Requirement	Tree	Species	Diameter	Protected	Impacts	Replacement Requirement
545	Coast redwood	23	Yes	Remove, declining.	2 - 24" box	583	Southern magnolia	22	Yes	Preserve	
546	Coast redwood	23	Yes	Remove, declining.	2 - 24" box	584	Southern magnolia	22	Yes	Remove, within entry	2 - 24" box
547	Coast redwood	27	Yes	Remove, declining.	4 - 24" box	585	Southern magnolia	18	Yes	Preserve	
548	Coast redwood	27	Yes	Remove, within landscaping	4 - 24" box	586	Southern magnolia	22	Yes	Preserve	
549	Coast redwood	22	Yes	Remove, within landscaping	2 - 24" box	587	Southern magnolia	19	Yes	Remove, within entry	2 - 24" box
550	Mexican fan palm	15	Yes	Preserve		588	Tulip poplar	25	Yes	Remove, declining.	4 - 24" box
551	Mexican fan palm	16	Yes	Preserve		589	Coast redwood	36	Yes	Remove, less than 10' from bldg.	4 - 24" box
552	Aleppo pine	25	Yes	Remove, impacted by EVA	4 - 24" box	590	Coast redwood	42	Yes	Remove, less than 10' from bldg.	4 - 24" box
553	African fern pine	18	Yes	Remove, within new bldg.	1 - 24" box	591	Coast redwood	36	Yes	Remove, less than 10' from bldg.	4 - 24" box
554	African fern pine	16	Yes	Remove, within new bldg.	1 - 24" box	592	Tulip poplar	18	Yes	Remove, declining.	1 - 24" box
555	Coast redwood	19	Yes	Remove, impacted by EVA	2 - 24" box	593	Coast redwood	57	Yes	Remove, less than 10' from bldg.	4 - 24" box
556	Canary Island palm	30	Yes	Preserve		594	Coast redwood	32	Yes	Preserve	
557	Aleppo pine	28,25,22	Yes	Preserve		595	Coast redwood	35	Yes	Preserve	
558	Coast redwood	24	Yes	Remove, less than 10' from bldg.	2 - 24" box	596	Olive	7,7,7,4	No	Remove, impacted by EVA	1 - 24" box
559	Coast redwood	44	Yes	Remove, less than 10' from bldg.	4 - 24" box	597	Coast redwood	28	Yes	Preserve	
560	Southern magnolia	17	Yes	Preserve		598	Coast redwood	30	Yes	Preserve	
561	Coast redwood	37	Yes	Remove, impacted by EVA	4 - 24" box	599	Coast redwood	44	Yes	Preserve	
562	Coast redwood	18	Yes	Remove, impacted by EVA	1 - 24" box	600	Italian stone pine	36	Yes	Preserve	
563	Tulip poplar	18	Yes	Remove, impacted by EVA	1 - 24" box	601	Italian stone pine	28	Yes	Preserve	
564	Coast redwood	21	Yes	Remove, less than 10' from bldg.	2 - 24" box	602	Mexican fan palm	15	Yes	Preserve	
565	Coast redwood	41	Yes	Remove, less than 10' from bldg.	4 - 24" box	603	Mexican fan palm	16	Yes	Preserve	
566	Coast redwood	16	Yes	Remove, less than 10' from bldg.	1 - 24" box	604	Mexican fan palm	17	Yes	Preserve	
567	Coast redwood	43	Yes	Remove, less than 10' from bldg.	4 - 24" box	605	Mexican fan palm	18	Yes	Preserve	
568	Coast redwood	21	Yes	Preserve		606	Mexican fan palm	17	Yes	Preserve	
569	Coast redwood	35	Yes	Remove, less than 10' from bldg.	4 - 24" box	607	Mexican fan palm	18	Yes	Preserve	
570	Callery pear	13	Yes	Remove, less than 10' from bldg.	1 - 24" box	608	Italian stone pine	44	Yes	Preserve	
571	Olive	8,8,6	No	Remove, within landscaping	1 - 24" box	609	Japanese black pine	13	Yes	Preserve	
572	Olive	10,8,8,7,7	Yes	Remove, within landscaping	1 - 24" box	610	Italian stone pine	41	Yes	Remove, impacted by EVA	4 - 24" box
573	Callery pear	20	Yes	Remove, within entry	2 - 24" box	611	Weeping willow	40	Yes	Preserve	
574	Callery pear	15	Yes	Remove, within entry	1 - 24" box	612	Monterey pine	18	Yes	Preserve	
575	Coast redwood	31	Yes	Preserve		613	Italian stone pine	46	Yes	Preserve	
576	Coast redwood	57	Yes	Preserve		614	Italian stone pine	33	Yes	Remove, impacted by EVA	4 - 24" box
577	Japanese black pine	11	No	Remove, declining	1 - 24" box	615	Weeping willow	15	Yes	Preserve	
578	Coast redwood	41	Yes	Preserve		616	Italian stone pine	26	Yes	Preserve	
579	Coast redwood	36	Yes	Preserve		617	Italian stone pine	32	Yes	Preserve	
580	Coast redwood	34	Yes	Preserve		618	Aleppo pine	21	Yes	Preserve	
581	Southern magnolia	14	Yes	Remove, declining.	1 - 24" box	619	Purple-leaf plum	8	No	Remove, declining.	1 - 24" box
582	Southern magnolia	19	Yes	Remove, less than 10' from bldg.	2 - 24" box	620	Aleppo pine	46	Yes	Preserve	

TOTAL: 94 - 24" box trees

EXISTING TREE LEGEND - 2005

Tree	Species	Diameter	Protected	Impacts	Replacement Requirement
14	Canary island date palm	34	Yes	Removed prior to construction	4 - 24" box
15	Canary island date palm	48	Yes	Removed prior to construction	4 - 24" box
16	Canary island date palm	42	Yes	Removed prior to construction	4 - 24" box
17	Canary island date palm	39	Yes	Removed prior to construction	4 - 24" box
24	Monterey pine	23	Yes	Removed prior to construction	2 - 24" box
25	Monterey pine	20	Yes	Removed prior to construction	2 - 24" box
33	White Alder	19	Yes	Removed prior to construction	2 - 24" box
34	White Alder	23	Yes	Removed prior to construction	2 - 24" box
35	White Alder	21	Yes	Removed prior to construction	2 - 24" box
36	White Alder	18	Yes	Removed prior to construction	1 - 24" box
39	Tulip tree	16	Yes	Removed prior to construction	1 - 24" box
44	Coast redwood	13	Yes	Removed prior to construction	1 - 24" box
45	Coast redwood	15	Yes	Removed prior to construction	1 - 24" box
49	Tulip tree	17	Yes	Removed prior to construction	1 - 24" box
50	Tulip tree	15	Yes	Removed prior to construction	1 - 24" box
51	Tulip tree	12	Yes	Removed prior to construction	1 - 24" box
54	Krauter's vesuvius plum	12	Yes	Removed prior to construction	1 - 24" box
56	Krauter's vesuvius plum	12	Yes	Removed prior to construction	1 - 24" box
74	Coast redwood	21	Yes	Removed prior to construction	2 - 24" box
75	Coast redwood	18	Yes	Removed prior to construction	1 - 24" box
76	Coast redwood	17	Yes	Removed prior to construction	1 - 24" box
77	Coast redwood	19	Yes	Removed prior to construction	2 - 24" box
79	Coast redwood	19	Yes	Removed prior to construction	2 - 24" box
80	Coast redwood	19	Yes	Removed prior to construction	2 - 24" box
81	Coast redwood	26	Yes	Removed prior to construction	4 - 24" box
82	Coast redwood	22	Yes	Removed prior to construction	2 - 24" box
83	Coast redwood	20	Yes	Removed prior to construction	2 - 24" box
84	Coast redwood	13	Yes	Removed prior to construction	1 - 24" box
85	Coast redwood	12	Yes	Removed prior to construction	1 - 24" box
88	Canary island palm	29	Yes	Removed prior to construction	4 - 24" box
93	Mexican fan palm	13	Yes	Removed prior to construction	1 - 24" box
94	Mexican fan palm	19	Yes	Removed prior to construction	2 - 24" box
95	Coast redwood	15	Yes	Removed prior to construction	1 - 24" box
96	Coast redwood	15	Yes	Removed prior to construction	1 - 24" box
98	Coast redwood	17	Yes	Removed prior to construction	1 - 24" box
99	Coast redwood	19	Yes	Removed prior to construction	2 - 24" box
100	Coast redwood	15	Yes	Removed prior to construction	1 - 24" box
101	Coast redwood	15	Yes	Removed prior to construction	1 - 24" box
102	Coast redwood	20	Yes	Removed prior to construction	2 - 24" box

Tree	Species	Diameter	Protected	Impacts	Replacement Requirement
109	Chinese elm	12	Yes	Removed prior to construction	1 - 24" box
110	Chinese elm	16	Yes	Removed prior to construction	1 - 24" box
112	Weeping willow	34	Yes	Removed prior to construction	4 - 24" box
113	Mexican fan palm	14	Yes	Removed prior to construction	1 - 24" box
118	Fern pine	16	Yes	Removed prior to construction	1 - 24" box
121	Fern pine	14	Yes	Removed prior to construction	1 - 24" box
123	Aleppo pine	24	Yes	Removed prior to construction	2 - 24" box
137	Tulip tree	24	Yes	Removed prior to construction	2 - 24" box
139	Tulip tree	19	Yes	Removed prior to construction	2 - 24" box
140	Tulip tree	21	Yes	Removed prior to construction	2 - 24" box

TOTAL: 89 - 24" box trees total

SITE PLANT PALETTE

Botanical Name	Common Name	Hydrozone
Trees		
Arbutus marina	Marina Arbutus	Low
Brachychiton populneus	Bottle Tree	Low
Celtis australis	European Hackberry	Low
Cercis occidentalis	Western Redbud	Low
Ginkgo bilboa	Maiden Hair Tree	Medium
Olea europea	European Olive	Low
Pinus pinea	Italian Stone Pine	Low
Pistacia chinensis	Chinese Pistache	Low
Platanus acerfolia 'Yarwood'	London Plane Tree	Medium
Prunus serrulata	Japanese Cherry	Medium
Quercus agrifolia	Coast Live Oak	Low
Quercus lobata	Valley Oak	Low
Quercus ilex	Holly Oak	Low
Shrubs		
Arctostaphylos densiflora 'McMinn'	Manzanita 'McMinn'	Low
Baccharis pilularis	Coyote Brush	Low
Bambusa oldhamii	Giant Timber Bamboo	Low
Callistemon citrinus	Lemon Bottlebrush	Low
Ceanothus 'Dark Star'	Dark Star Ceanothus	Low
Echium fastuosum	Pride of Madeira	Low
Heteromeles arbutifolia	Toyon	Low
Lantana montevidensis	Trailing Lantana	Low
Lavandula angustifolia	English Lavendar	Low
Mulenbergia rigens	Deer Grass	Low
Rhamnus californica	California Coffeeberry	Low
Rhus integrifolia	Lemonade Berry	Low
Rosmarinus officinalis	Rosemary	Low
Salvia clevelandii	Cleveland Sage	Low
Groundcovers		
Dymondia margaretae	Dymondia	Low
Festuca idahoensis	Idaho Fescue	Low
Festuca rubra	Creeping Red Fescue	Low
Myoporum parvifolium 'Pink'	Pink Australian Racer	Low
Rosmarinus officinalis 'Prostrata'	Creeping Rosemary	Low
Bioswale Plants		
Allium 'Globemaster'	Ornamental Onion	Low
Aristida purpurea	Purple Three-Awn	Low
Cephalanthus occidentalis	Buttonbush	Medium
Chondropetalum tectorum	Cape Reed	Low
Iris douglasiana	Pacific Coast Iris	Low



Cercis occidentalis / Western Redbud



Olea europea / European Olive



Platanus acerfolia / London Plane Tree



Callistemon 'Little John' / Dwarf Bottlebrush



Ceanothus 'Dark Star' / Dark Star Ceanothus



Heteromeles arbutifolia / Toyon



Rhus integrifolia / Lemonade Berry



Rosmarinus officinalis / Rosemary



Rosmarinus officinalis 'Prostratus' / Creeping Rosemary

PROPOSED TREE PLAN

PARKING LOT 1

SYM	BOTANICAL NAME/Common Name	FULL	3/4	HALF S.F.	1/4	TOTAL S.F.
T1	Eriobotrya deflexa/ Bronze Loquat		1@362 s.f.	2@246 s.f.		854
T2	Magnolia grandiflora/ S. Magnolia (existing)				1@397.5 s.f.	397

Total Tree Shade	1,251 s. f.
Total Paved Area	2,385 s.f.
Percent Shaded	52.5%

PARKING LOT 2

SYM	BOTANICAL NAME/Common Name	FULL	3/4	HALF S.F.	1/4	TOTAL S.F.
T1	Olea Europea/ European Olive		1@368 s.f.	4@246 s.f.		1,352
T2	Ginkgo Bilboa/ Maiden Hair Tree		1@540 s.f.	3@353 s.f.		1,599

Total Tree Shade	2,951 s. f.
Total Paved Area	3,770 s.f.
Percent Shaded	78.2%



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TREES - PROPOSED
L3.5

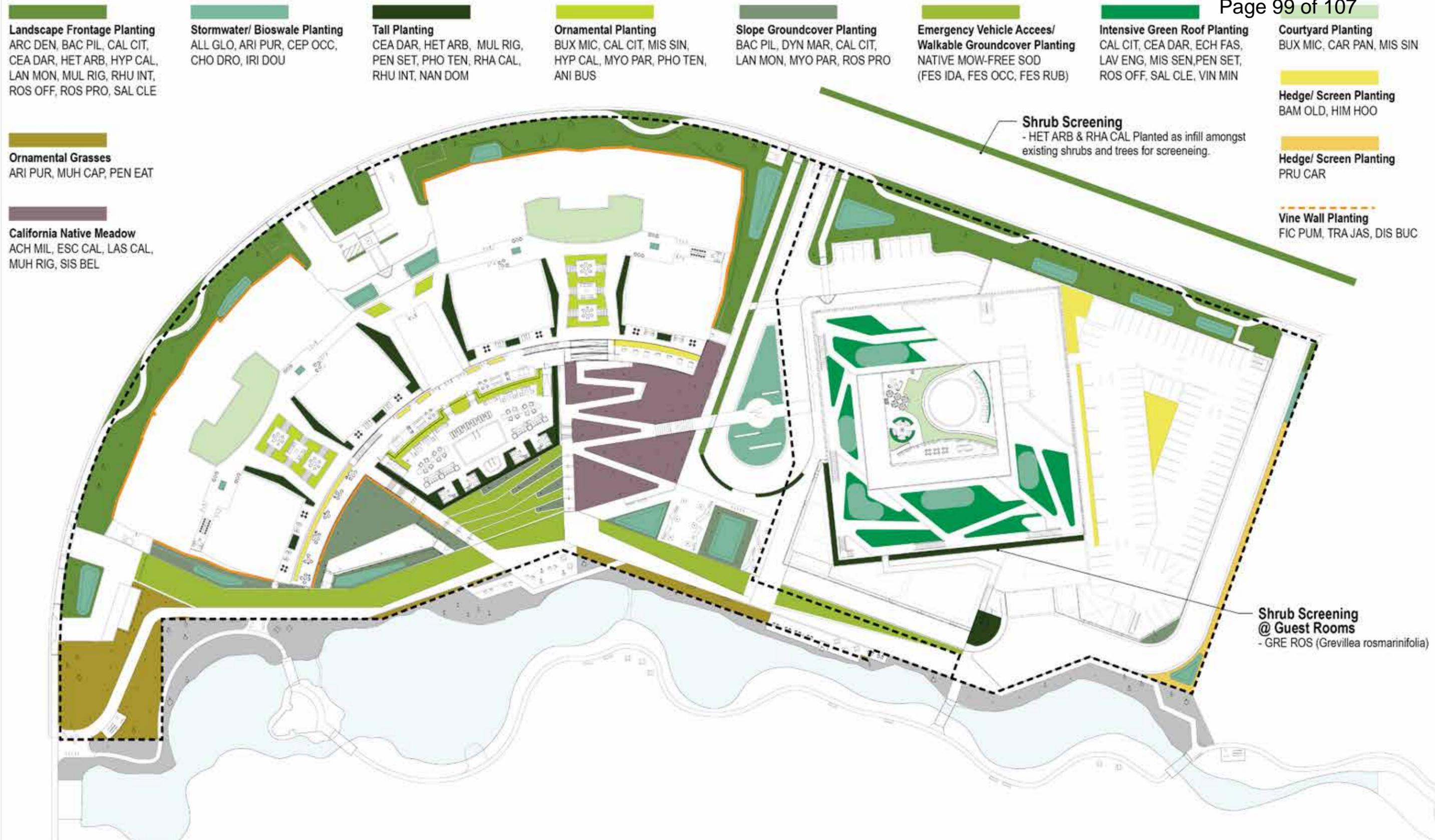
PROPOSED TREE LEGEND

Abbrev.	Botanical	Common Name	Water Use	Size	Quantity
<u>Ground Level</u>					
BRA POP	Brachychiton populneus (WC)	Bottle Tree	Low	24" box	8
ARB UNE	Arbutus unedo	Strawberry Tree	Low	24" box	2
ARB MAR	Arbutus marina	Marina Arbutus	Low	24" box	2
CEL AUS	Celtis australis (WC)	European Hackberry	Low	24" box	12
CER OCC	Cercis occidentalis (N) (WC)	Western Redbud	Very Low	24" box	5
CUP SEM	Cupressus sempervirens	Italian Cypress	Low	24" box	3
ERI DEF	Eriobotrya deflexa (WC)	Bronze Loquat	Medium	36" box	4
GIN BIL	Ginkgo bilboa (WC)	Maiden Hair Tree	Medium	36" box	29
LAU NOB	Laurus nobilis	Sweetbay	Low	24" box	6
OLE EUR	Olea europea (WC)	European Olive	Very Low	24" box	9
PHO CAN	Phoenix canariensis	Canary Island Date Palm	Low	36" box	2
PIN PIN	Pinus pinea (N) (WC)	Italian Stone Pine	Very Low	24" box	3
PIN PIN	Pinus pinea (N) (WC)	Italian Stone Pine	Very Low	48" box	1
PIN THU	Pinus thunbergii (WC)	Japanese Black Pine	Medium	24" box	3
PIS CHI	Pistacia chinensis (WC)	Chinese Pistache	Low	24" box	10
PLA ACE	Platanus acerifolia (WC)	London Plane Tree	Medium	36" box	18
PRU SER	Prunus serrulata	Japanese Cherry	Medium	24" box	10
QUE AGR	Quercus agrifolia (N) (WC)	Coast Live Oak	Very Low	36" box	8
QUE ENG	Quercus ilex (WC)	Holly Oak	Low	36" box	9
QUE LOB	Quercus lobata (N) (WC)	Valley Oak	Low	36" box	4
QUE RUB	Quercus rubra	Northern Red Oak	Medium	36" box	4
ZEL SER	Zelkova serrata	Saw Leaf Zelkova	Medium	36" box	15
					167 Total
<u>Residential Podium Level 2</u>					
FRA OXY	Fraxinus oxycarpa	Raywood Ash	Medium	24" box	6
LAG IND	Lagerstroemia indica (WC)	Crepe Myrtle	Low	24" box	8
OLE EUR	Olea europea (WC)	European Olive	Very Low	24" box	12
QUE AGR	Quercus agrifolia (N) (WC)	Coast Live Oak	Very Low	36" box	1
					27 Total
<u>Residential Podium Level 3</u>					
ACE PAL	Acer palmatum	Japanese Maple	Medium	24" box	4
ARB UNE	Arbutus unedo	Strawberry Tree	Low	24" box	16
MEL QUI	Melaleuca quinquenervia	Cajeput Tree	Low	24" box	6
QUE AGR	Quercus agrifolia (N) (WC)	Coast Live Oak	Very Low	36" box	2
					28 Total

Abbrev.	Botanical	Common Name	Water Use	Size	Quantity
<u>Hotel Courtyard</u>					
MAG SOU	Magnolia X soulangeana	Saucer Magnolia	Medium	48" box	1
MAG SOU	Magnolia X soulangeana	Saucer Magnolia	Medium	24" box	5
					6 Total
<u>Hotel Roof</u>					
LAG IND	Lagerstroemia indica (WC)	Crape Myrtle	Low	24" box	3
LAU SAR	Laurus 'saratoga'	Saratoga Laurel	Low	24" box	8
					11 Total
					Total Trees Proposed: 239

TREE CALCULATIONS

Total Trees Required:		
+ Trees Required per Total Landscape Area - Residential 449,334 sqft x 20% = 89,867 sqft (1 tree per 1000 sqft):	90 trees	
+ Trees Required per Total Landscape Area - Hotel 165,824 sqft x 20% = 33,165 sqft (1 tree per 1000 sqft):	34 trees	
Total Trees Required:		124 trees (24" box value)
Total Trees Provided:		
+ 24" box trees	Tree Quantity: 141	Value: 141 - 24" box
+ 36" box trees	96	192 - 24" box
+ 48" box trees	2	8 - 24" box
- Trees Provided as Replacement Value for Removals :		183 - 24" box
- Trees Porvided for Parking Lot Shading Requirement.:	12 trees	19 - 24" box
- Required Street Trees:	0 trees	0
Total Trees Provided Toward Requirement:		139 trees (24" box value)



PROPOSED SHRUB & GROUNDCOVER LEGEND

Abbrev.	Botanical	Common Name	Water Use	Size	Abbrev.	Botanical	Common Name	Water Use	Size
Shrubs					Ornamental Grasses				
ARC DEN	Arctostaphylos densiflora 'McMinn' (N)	Manzanita 'McMinn'	Low	5 GAL	ARI PUR	Aristida purpurea	PURPLE THREE-AWN	Low	1 GAL
ANI BUS	Anigozanthos 'bush tango'	Bush Tango Kangaroo Paw	Med	5 GAL	MUH CAP	Muhlenbergia capillaris 'Regal Mist'	Texas Muhly Grass	Low	1 GAL
BAC PIL	Baccharis pilularis 'Twin Peaks' (N)	Coyote Brush	Low	5 GAL	PEN EAT	Pennisetum 'Eaton Canyon'	Pennisetum 'Eaton Canyon'	Low	1 GAL
BER THU	Berberis thunbergi	Japanese Barberry	Low	5 GAL	Native Meadow				
BUX MIC	Buxus microphylla	Boxwood	Med	5 GAL	ACH MIL (N)	Achillea millefolium	Yarrow	Low	1 GAL
CAL CIT	Callistemon citrinus 'Little John'	Dwarf Bottlebrush	Low	5 GAL	ESC CAL (N)	Eschscholzia californica	California Poppy	Low	1 GAL
CEA DAR	Ceanothus 'Dark Star' (N)	Dark Star Ceanothus	Low	5 GAL	LAS CAL (N)	Lasthenia californica	Goldfields	Low	1 GAL
ECH FAS	Echium candicans	Pride of Madeira	Low	5 GAL	MUH RIG (N)	Muhlenbergia rigens	Deer Grass	Low	1 GAL
GRE ROS	Grevillea rosmarinifolia 'Scarlet Sprite'	Rosemary Grevillea	Low	5 GAL	SIS BEL (N)	Sisyrinchium bellum	Blue Eyed Grass	Low	1 GAL
HET ARB	Heteromeles arbutifolia	Toyon	Low	5 GAL	Vines				
LAN MON	Lantana montevidensis	Trailing Lantana	Low	5 GAL	DIS BUC	Distictis Buccinatoria	Red Trumpet Vine	Med	1 GAL
LAV ANG	Lavandula angustifolia	English Lavendar	Low	5 GAL	FIC PUM	Ficus Pumila	Creeping Fig	Med	1 GAL
MIS SIN	Miscanthus Sinensis	Eulalia Grass	Med	5 GAL	TRA JAS	Trachospermum jasminoides	Star Jasmine	Med	1 GAL
MUL RIG	Mulenbergia rigens (N)	Deer Grass	Low	5 GAL					
PEN SET	Pennisetum setaceum	Fountain Grass	Low	5 GAL					
PHO TEN	Phorium tenax	New Zealand Flax	Low	5 GAL					
RHA CAL	Rhamnus californica (N)	California Coffeeberry	Low	5 GAL					
RHU INT	Rhus integrifolia (N)	Lemonade Berry	Low	5 GAL					
ROS OFF	Rosmarinus officinalis 'Ken Taylor'	Rosemary	Low	5 GAL					
SAL CLE	Salvia clevelandii (N)	Cleveland Sage	Low	5 GAL					
Hedge									
BAM OLD	Bambusa oldhamii	Giant Timber Bamboo	Low	5 GAL					
HIM HOO	Himalayacalamus hookerianus	Blue Bamboo	Med	5 GAL					
PRU CAR	Prunus Caroliniana 'Compacta'	Cherry Laurel	Med	15 GAL					
NAN DOM	Nandina domestica	Heavenly Bamboo	Med	5 GAL					
Groundcovers									
CAR PAN	Carex Pansa (N)	California Sedge	Med	1 GAL					
DYM MAR	Dymondia margaretae	Dymondia	Low	1 GAL					
FES IDA	Festuca idahoensis (N)	Idaho Fescue	Low	Sod					
FES OCC	Festuca occidentalis	Western Fescue	Low	Sod					
FES OCC	Festuca rubra (N)	Creeping Red Fescue	Low	Sod					
HYP CAL	Hypericum calycinum	Creeping St. John's Wort	Med	1 GAL					
MYO PAR	Myoporum parvifolium 'Pink'	Pink Australian Racer	Low	1 GAL					
ROS PRO	Rosmarinus officinalis 'Prostrata'	Creeping Rosemary	Low	1 GAL					
VIN MIN	Vinca minor	Periwinkle	Med	1 GAL					
Bioswale Plants									
ALL GLO	Allium 'Globemaster' (N)	Ornamental Onion	Low	1 GAL					
ARI PUR	Aristida purpurea (N)	Purple Three-Awn	Low	1 GAL					
CEP OCC	Cephalanthus occidentalis (N)	Buttonbush	Med	1 GAL					
CHO DRO	Chondropetalum tectorum	Cape Reed	Low	5 GAL					
IRI DOU	Iris douglasiana (N)	Pacific Coast Iris	Low	1 GAL					

PROMENADE PAVING



WOOD DECKING



EMERGENCY VEHICLE ACCESS



POOL DECK



PLAZA PAVING



VEHICLE ENTRY COURT PLAZA



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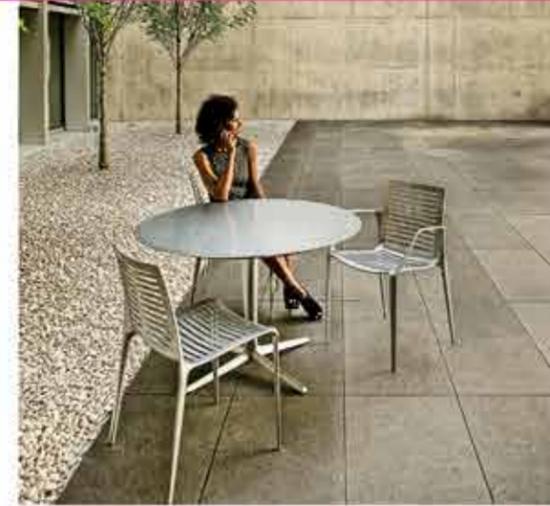
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LANDSCAPE PALATE -
PAVING

L4.1

TABLES AND CHAIRS



BENCHES



LOUNGE FURNITURE



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LANDSCAPE PALATE -
FURNITURE

L4.2

BIKE RACKS



LIGHT BOLLARDS



PLANTERS



TRASH RECEPTACLES



GRATES



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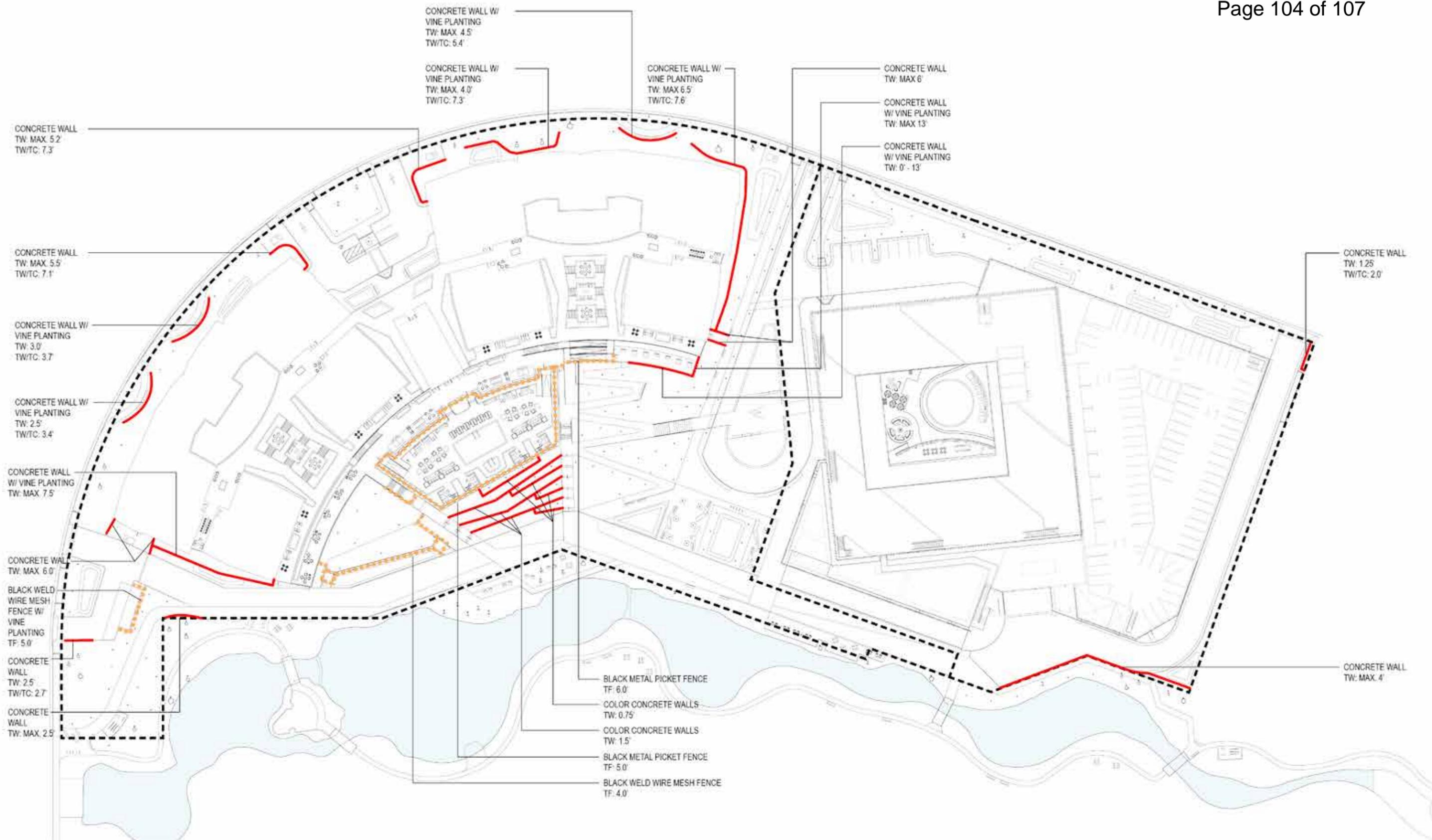
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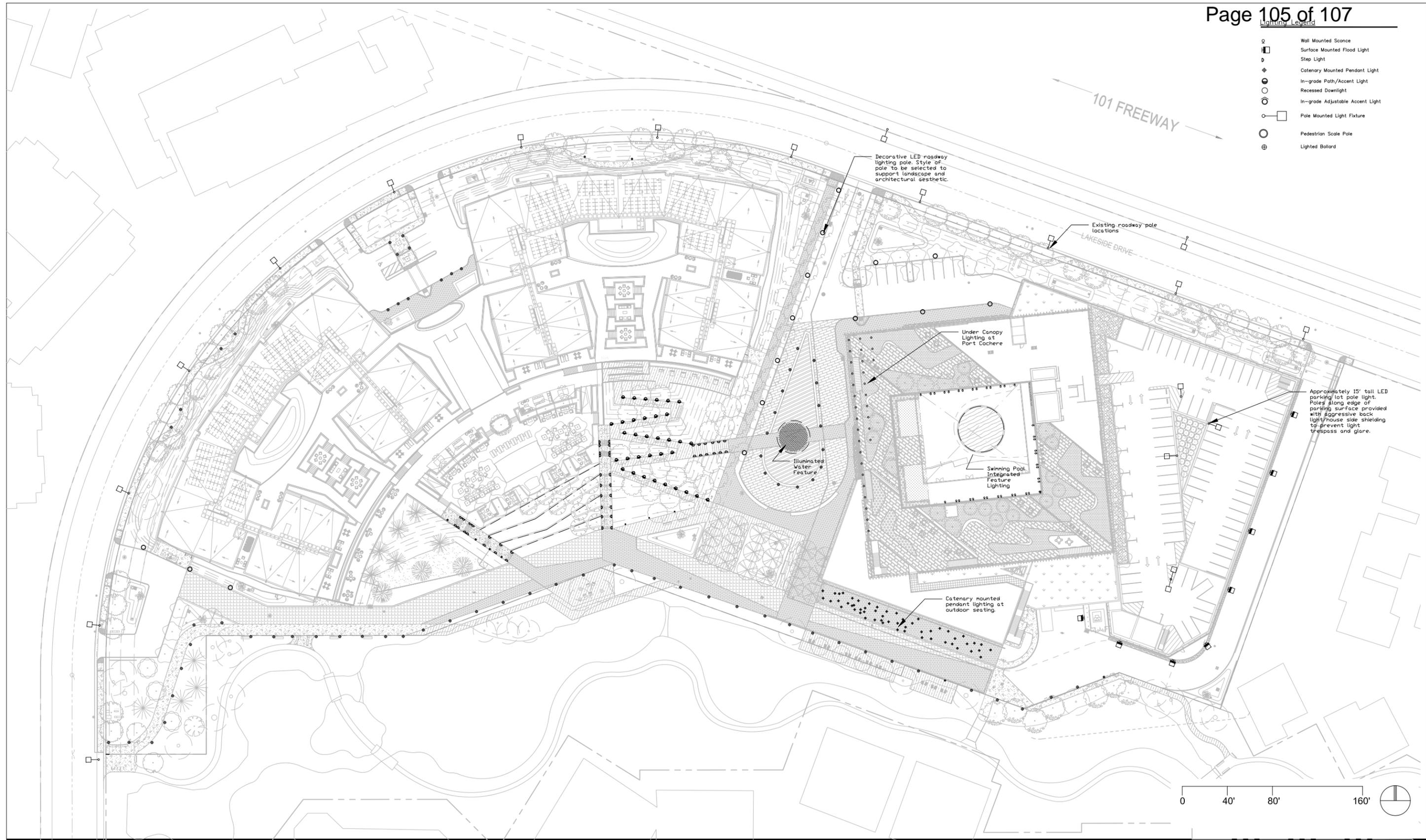
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LANDSCAPE PALATE -
MISCELLANEOUS

L4.3



- Lighting Legend
- Wall Mounted Sconce
 - ▣ Surface Mounted Flood Light
 - ⬇ Step Light
 - ⊕ Catenary Mounted Pendant Light
 - ⊙ In-grade Path/Accent Light
 - ⊖ Recessed Downlight
 - ⊙ In-grade Adjustable Accent Light
 - Pole Mounted Light Fixture
 - Pedestrian Scale Pole
 - ⊕ Lighted Bollard



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SITE LIGHTING - DESIGN PLAN

LD1.1

PATHWAYS



ROOF TERRACE



BRIDGE LIGHTING



COURTYARD



TREE LIGHTING



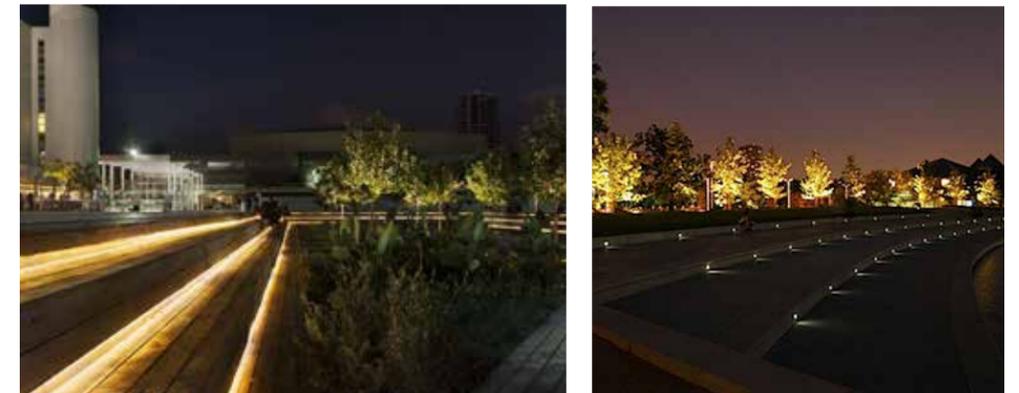
BENCH LIGHTING

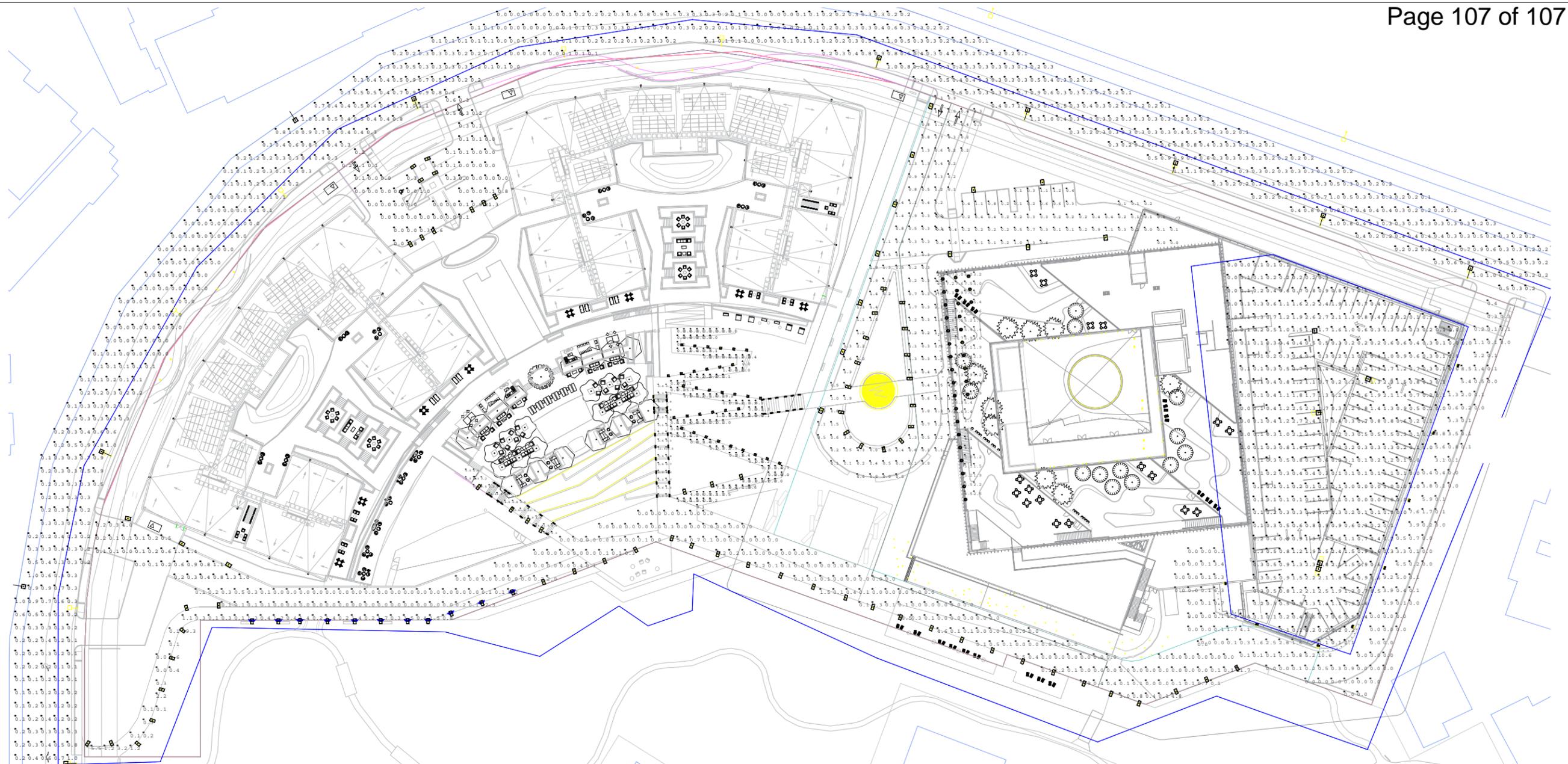


POOL



LANDSCAPE TERRACE





General Notes

1. Refer to Site Lighting Cut Sheets for preliminary fixture selection.
2. All pole heights (except for Sunnyvale Street Lights) are set at 15' AFG.
3. Wall packs (type A) mounted at 8' AFG. Optics selected to direct light along drive aisle and away from residential neighbors.

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Entrance	Illuminance	Fc	1.08	6.3	0.0	N.A.	N.A.	
Entrance 2	Illuminance	Fc	0.63	21.3	0.0	N.A.	N.A.	
Lakeside Drive	Illuminance	Fc	0.30	1.1	0.0	N.A.	N.A.	
Loading Dock Entry	Illuminance	Fc	1.16	10.6	0.0	N.A.	N.A.	
Parking Entrance	Illuminance	Fc	0.36	1.3	0.0	N.A.	N.A.	
Parking Lot	Illuminance	Fc	0.58	2.7	0.0	N.A.	N.A.	
Porte Cochere	Illuminance	Fc	5.26	7.9	1.2	4.38	6.58	
Stepped Pathway	Illuminance	Fc	4.14	19.6	0.0	N.A.	N.A.	
Stepped Pathway 2	Illuminance	Fc	2.14	12.5	0.0	N.A.	N.A.	
Truck Access Residential	Illuminance	Fc	0.57	4.0	0.0	N.A.	N.A.	
Water Pathway	Illuminance	Fc	0.69	22.3	0.0	N.A.	N.A.	
Ramping Pathway	Illuminance	Fc	1.13	35.6	0.0	N.A.	N.A.	