



: Architecture
: Planning
: Urban Design

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: Oakland, California 94612
: (510) 451 - 2850

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1171 SONORA COURT
Sunnyvale, California

MP 1171 SONORA I ASSOCIATES, L.P.

Sheet Title:
PROJECT SUMMARY

Job No. 21009
Date: 07/10/2025
Scale: As indicated
Drawn By:

Sheet No:
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1171 SONORA COURT PLANNING SUBMITTAL #5

07.10.2025

PROJECT DESCRIPTION

THE 1171 SONORA COURT PROJECT AIMS TO ENHANCE THE COMMUNITY BY CREATING A TRANSIT-ORIENTED AND SUSTAINABLE DEVELOPMENT WITHIN THE LAWRENCE STATION AREA PLAN IN SUNNYVALE, CALIFORNIA. THE PROPOSED 7-STORY BUILDING WILL CONSIST OF 5 STORIES OF WOOD FRAMING ABOVE A 2-STORY CONCRETE PODIUM, OFFERING A TOTAL OF 172 UNITS, INCLUDING 170 AFFORDABLE RENTAL UNITS AND TWO ON-SITE MANAGER UNITS.

TO PROMOTE WALKABILITY AND ACTIVATE THE STREET, RESIDENTIAL LOBBIES, MANAGEMENT AND SERVICE OFFICES, AND BIKE KITCHEN WILL BE LOCATED AT THE STREET LEVEL. THE DESIGN PRESERVES EXISTING EVERGREEN TREES TO MAINTAIN THE SITE'S UNIQUE CHARACTER, AND AMENITIES SUCH AS A PEDESTRIAN PLAZA AND PODIUM COURTYARD WILL BE AVAILABLE FOR RESIDENTS.

PARKING WILL BE ACCOMMODATED WITH A RATIO OF 0.5 REGULAR CAR PER UNIT, PROVIDING 89 PARKING SPACES IN THE 2-STORY PODIUM GARAGE.

THE PROJECT WILL EXCEED LOCAL DEVELOPMENT LIMITS ON DENSITY UNDER CALIFORNIA STATE DENSITY BONUS LAW AB 1287 WHICH ALLOWS PROJECT WITHIN ONE HALF MILE OF A MAJOR TRANSIT STOP TO EXCEED LOCAL DEVELOPMENT LIMIT ON DENSITY. WITH CONTEMPORARY ARCHITECTURE AND THOUGHTFUL USE OF MATERIALS, THIS DEVELOPMENT SEEKS TO CREATE A VIBRANT SENSE OF COMMUNITY WHILE CONTRIBUTING MUCH-NEEDED AFFORDABLE HOUSING.

PROJECT TEAM

DEVELOPER
MP 1171 SONORA I ASSOCIATES, L.P.
303 VINTAGE PARK DRIVE, STE. 250
FOSTER CITY, CA 94404
CONTACT: CLAIRE KOSTOHRYZ,
ASSOC. PROJECT MANAGER
650-759-1037
CLAIRE.KOSTOHRYZ@MIDPEN-
HOUSING.ORG

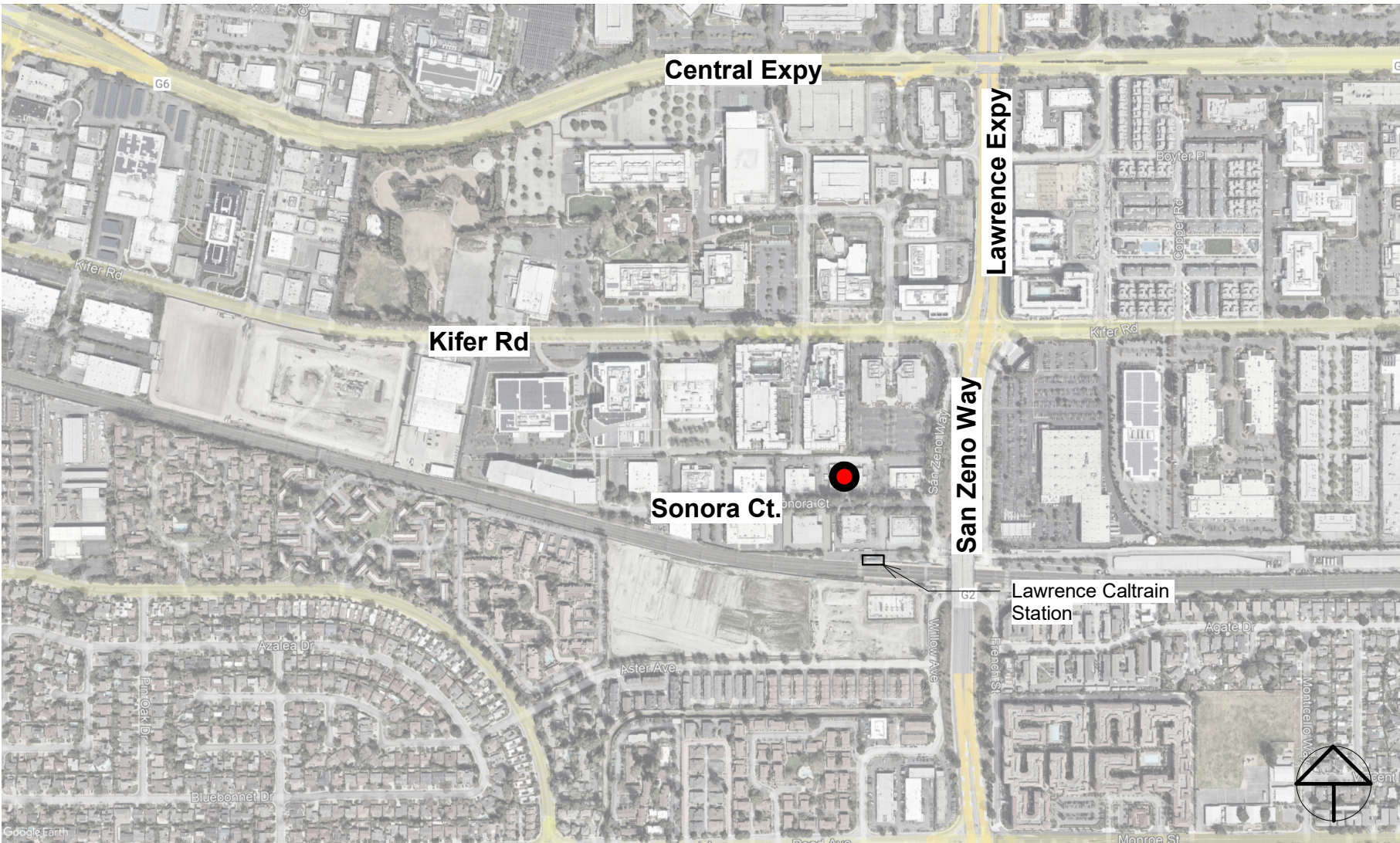
ARCHITECT
STUDIO T-SQ., INC.
1970 BROADWAY, STE. 408
OAKLAND, CA 94612
CONTACT: HENRY TONG,
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HTONG@STUDIOT-SQ.COM

CIVIL ENGINEER
BKF
1730 N. FIRST ST, STE. 600
SAN JOSE, CA 95112
CONTACT: DOUGLAS PETERSEN,
SENIOR PROJECT MANAGER
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DPETERSEN@BKF.COM

LANDSCAPE ARCHITECT
JETT
2 THEATRE SQUARE, STE. 218
ORINDA, CA 94563
CONTACT: JESSE MARKMAN,
ASLA, RLA
925-254-5422
JESSEM@JETT.LAND

PARKING
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5 THIRD STREET, STE. 1125
SAN FRANCISCO, CA 94103
CONTACT: JOHN HARVEY
SE, LEED AP, BD+C
415-495-1635
JHARVEY@BUEHLERENGINEE
RING.COM

VICINITY MAP



PROJECT SUMMARY

Project Information	
Address	1171 SONORA CT
APN	205-50-024
Lot Area	1.3 AC
Lot Coverage	58%
Current Use	COMMERCIAL
Proposed Use	MULTI- FAMILY RESIDENTIAL
Zoning	MXD-1
Proposed Density	132 DU/AC
FAR	3.54
Occupancy	
Residential	R-2
Garage	S-2
Construction Type	
R-2	TYPE IIIA, FULLY SPRINKLERED
S-2	TYPE IA, FULLY SPRINKLERED
Building Height	
Building CodeE - Type IIIA	85' to Roof membrane
Zoning Allowed	100'
Proposed	76' to Roof membrane, parapets vary
Setback	
Front	25' PROVIDED (N/A REQUIRED)
Side	10' PROVIDED (10' MINIMUM)
Rear	10' PROVIDED (10' MINIMUM)
Usable Open Space	
Required	50 SF PER UNIT
Provided	57.05 SF PER UNIT
Landscaped Area	
Required	20% OF ENTIRE SITE/ 11,346 SF
Provided	11,576 SF/ 68.09 SF PER UNIT
Site Permeability Calculations	
PerVIOUS Area	11,576 SF
Impervious Area	45,154 SF
Concessions And Waivers	
Concessions Requested	4
Waivers Requested	2

Existing Surface Parking		42				
Affordable Units	Quan.	Average N.S.F.	Mix	Rentable S.F.	Parking Ratio	Parking Provided
Unit S1	15	452	8.8%	6,780		
Unit S2	11	400	6.5%	4,393		
Unit S3	1	410	0.6%	410		
Studios Total	27	429	15.9%	11,583	0.5	13.5
Unit 1A	6	648	3.5%	3,884		
Unit 1B	51	489	30.0%	24,897		
1 BR Units Total	57	505	33.5%	28781	0.5	28.5
Unit 2A	43	710	25.3%	30514	0.5	21.5
Unit 3A	43	964	25.3%	41467	0.5	21.5
Total Affordable Units	170	663	100%	112,345	0.5	89

Manager's Units	Quan.	Average N.S.F.	Mix	Rentable S.F.	Parking Ratio	Parking Provided
2BR (Unit 2A)	2	721		1442	0.5	2
Total Manager Units	2					

Parking Required	Units	Ratio	Required	Provided
Assigned Residential	170	0.5	85	85
Manager Units	2	0.5	1	2
Staff Parking				1
Total			86	88

	Type	Code Reference	Required	Level 1	Level 2	Provided	
Standard							
	Standard Stall (8'-6" x 18'-0") w/ Level 1 Receptacle	-			8	30	38
	EV Ready w/ Level 2 Receptacle (9'-0" x 18'-0")	40% Total Stalls CalGreen 4.106.4.2.2.1b	36	36	0	36	
	Level 2 EVSE Standard Connection (9'-0" x 18'-0")	CalGreen July 2024 Supplemental 4.106.4.2.2.2b	7	7	0	7	
Sub Total						81	
Accessible							
	Standard Accessible (9'-0" x 18'-0")	CBC Table 11b-208.2.3.1	3	1	2	3	
	Van Accessible (9'-0" x 18'-0")	CBC Table 11b-208.2.4	1	0	1	1	
	EVCS Standard Accessible (9'-0" x 18'-0")	CBC Table 11b-208.3.2.1	1	1	0	1	
	EVCS Van Accessible (9'-0" x 18'-0")	CBC Table 11b-208.3.2.1	2*	1	1	2	
Sub Total						7	
Total			50			88	

*One EVCS Capable Van Accessible stall for residents and one for staff

Bike Parking			
Total Bike Parking Required		CLASS I: 1 per 3 units CLASS II: 1 per 15 units	58 12
Total Bike Parking Provided		CLASS I CLASS II	110 12



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Sunnyvale, California

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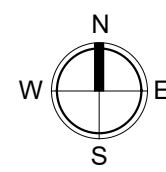
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BUILDING PLAN
LEVEL 1

Job No. 21009
Date: 07/10/2025
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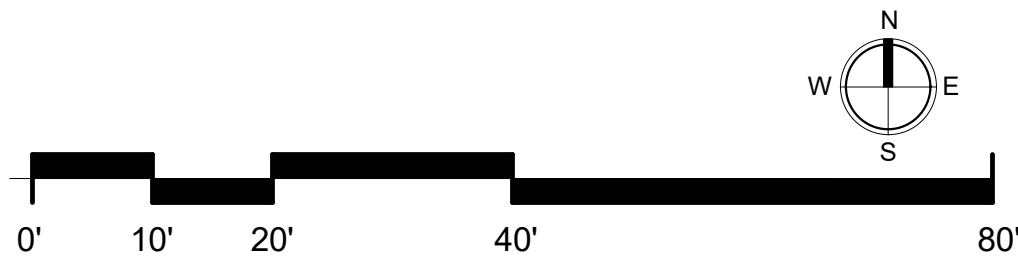
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BUILDING PLAN
LEVEL 2

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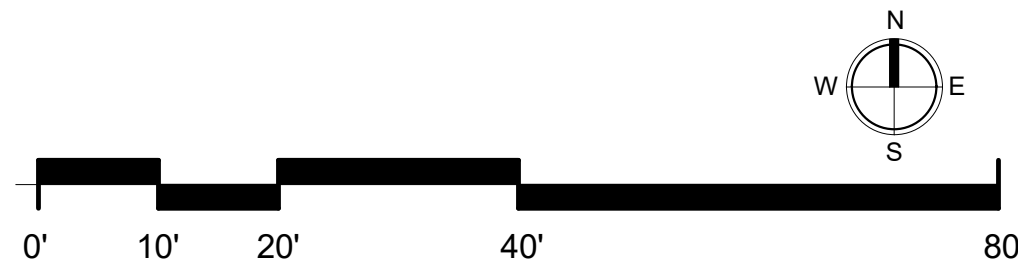
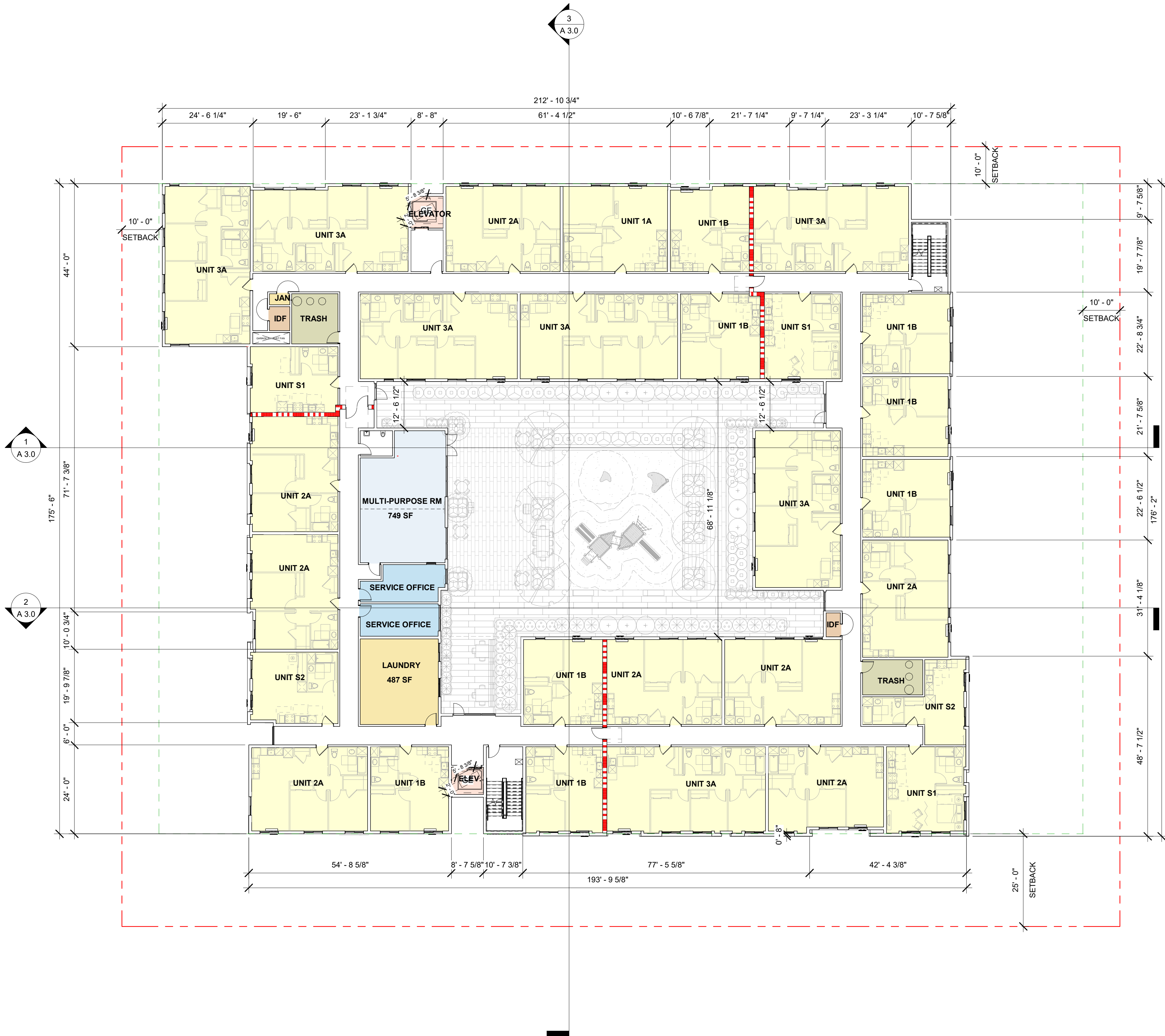
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BUILDING PLAN
LEVEL 3

Job No. 21009
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Sunnyvale, California

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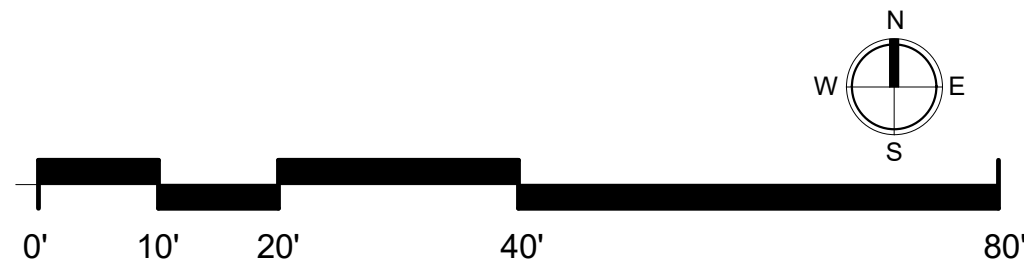
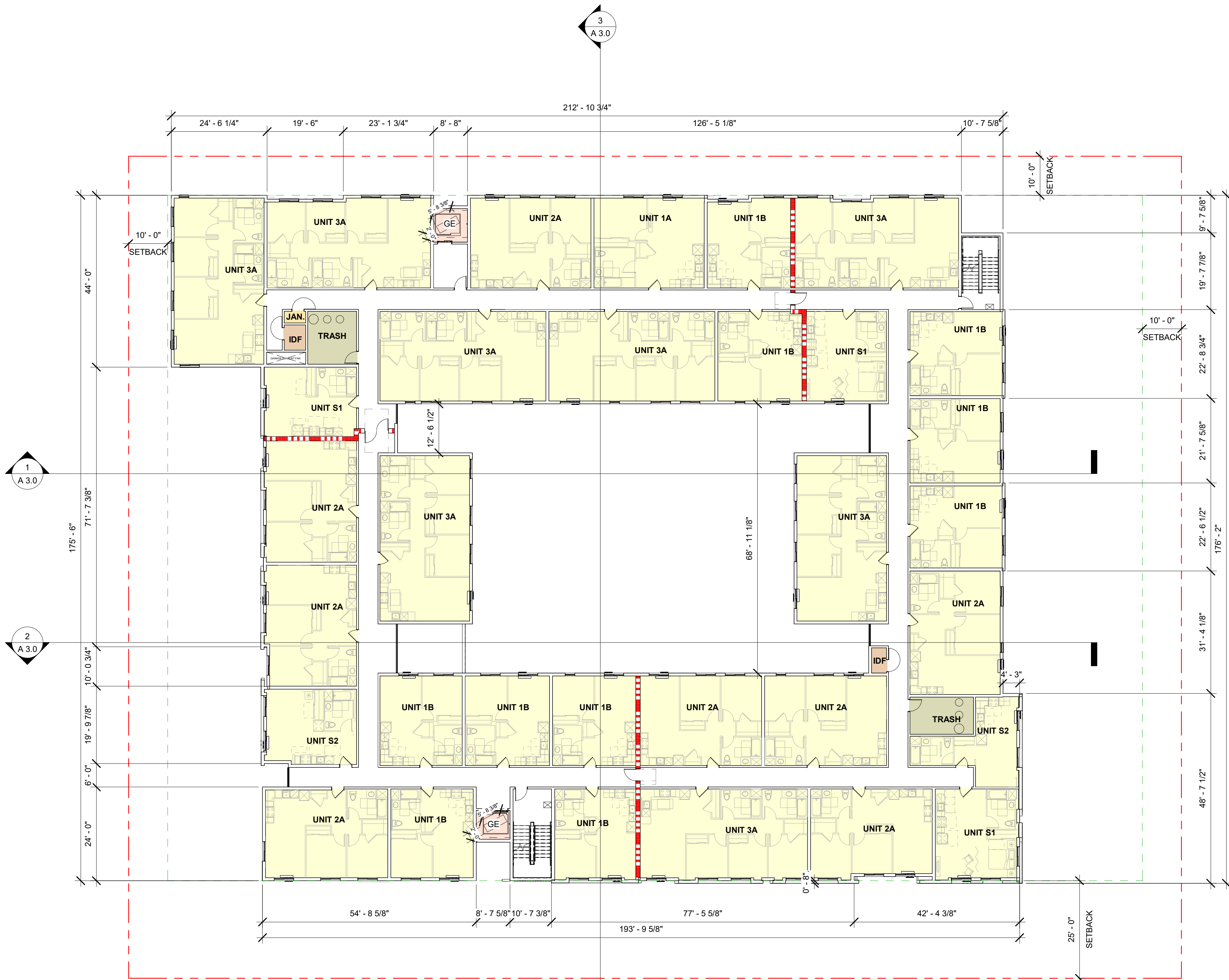
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BUILDING PLAN
LEVEL 4-6

Job No. 21009
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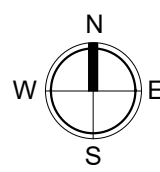
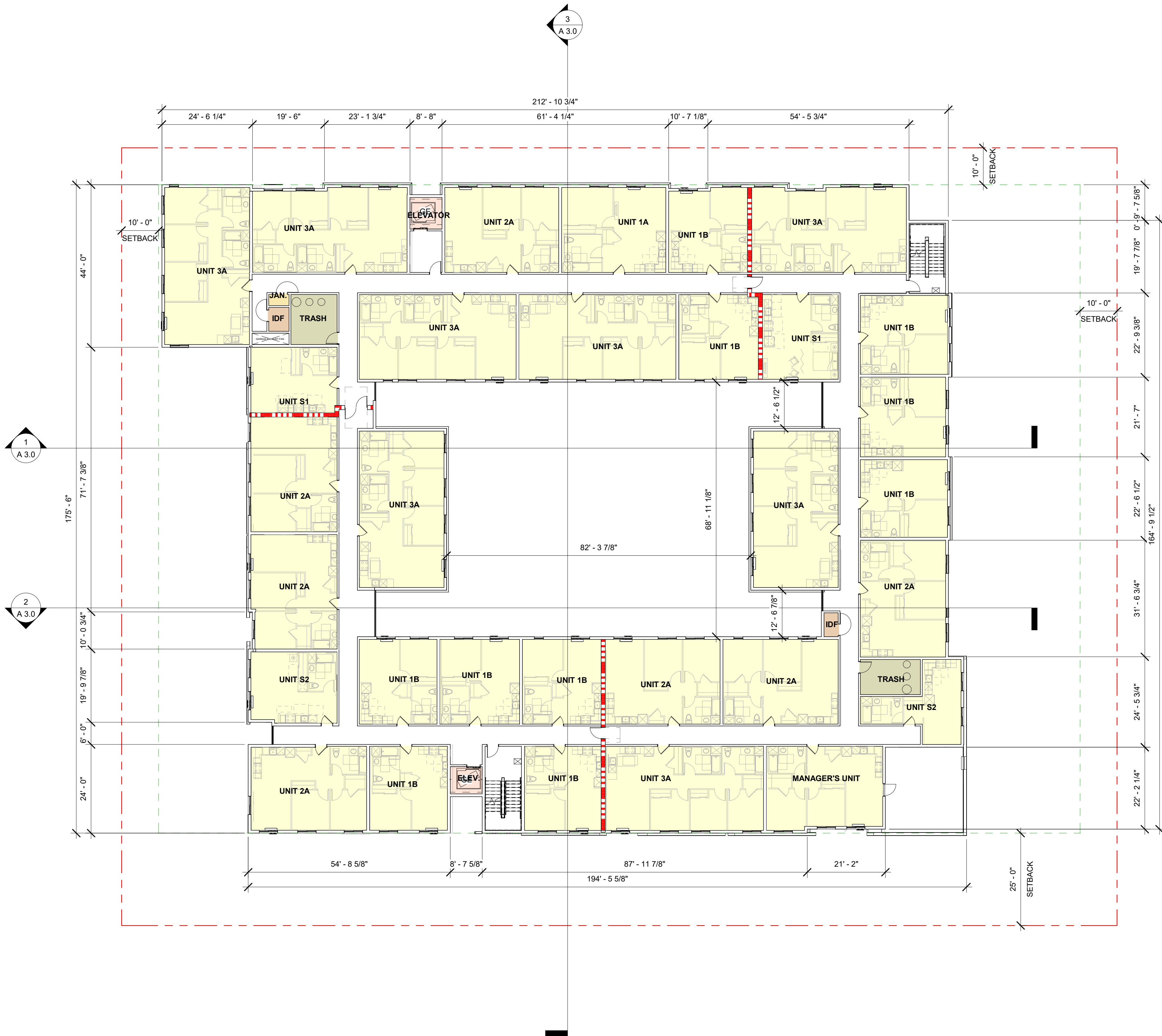
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BUILDING PLAN
LEVEL 7

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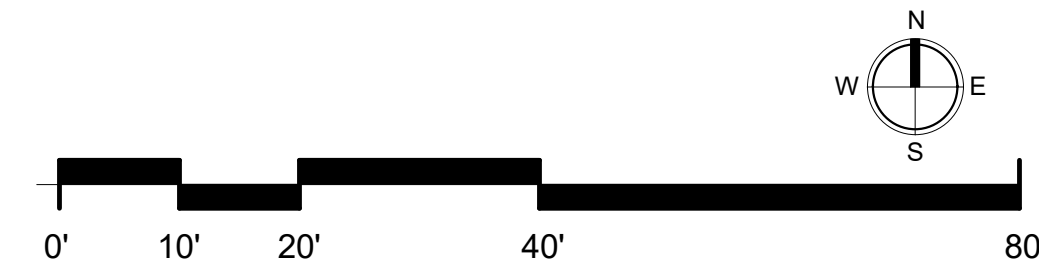
Sheet Title:

ROOF PLAN

Job No. 21009
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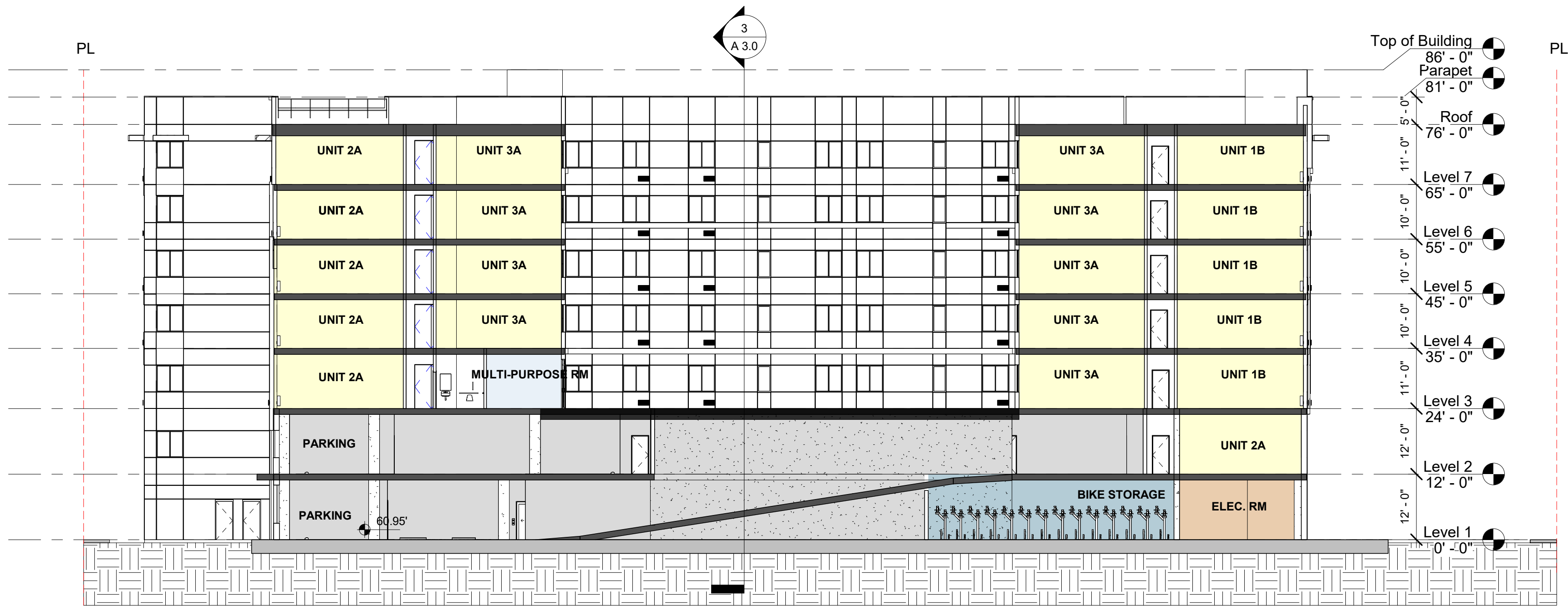
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BUILDING SECTIONS

Job No. 21009
Date: 07/10/2025
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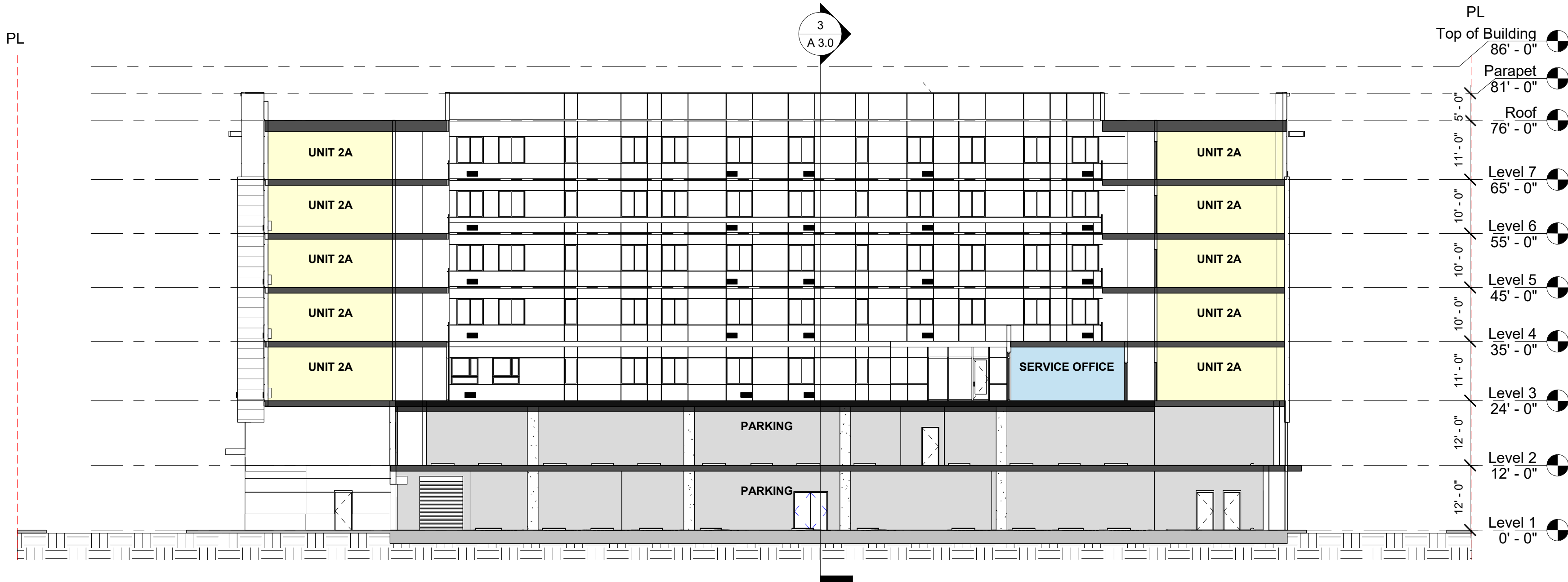
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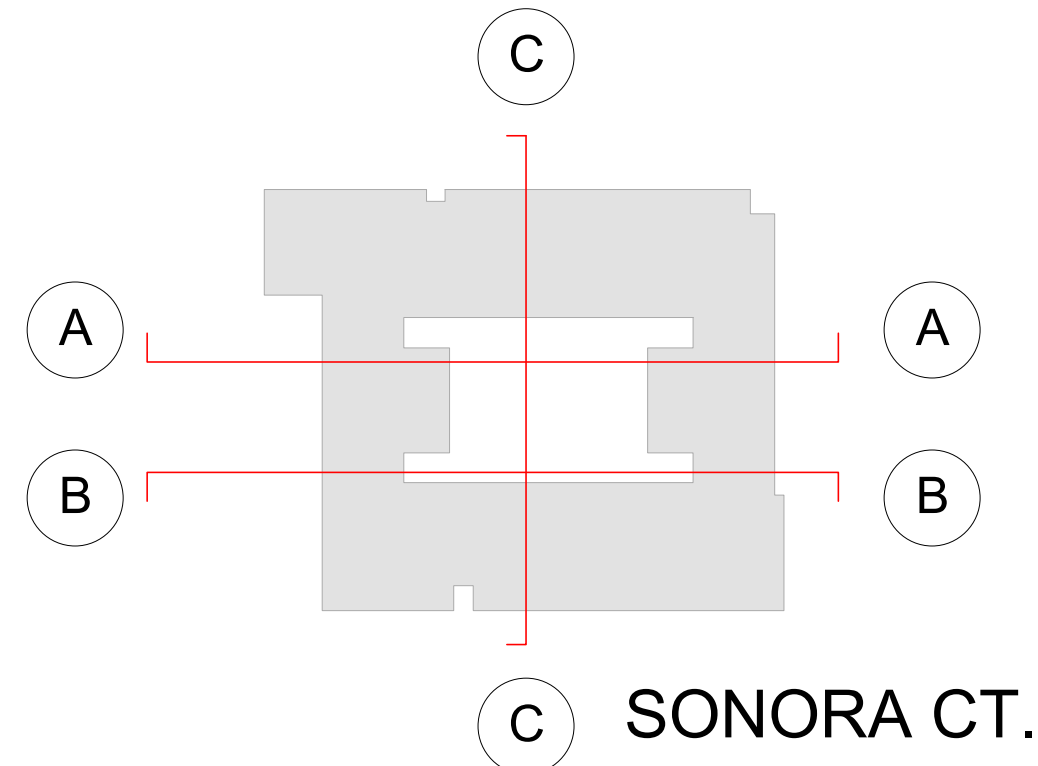
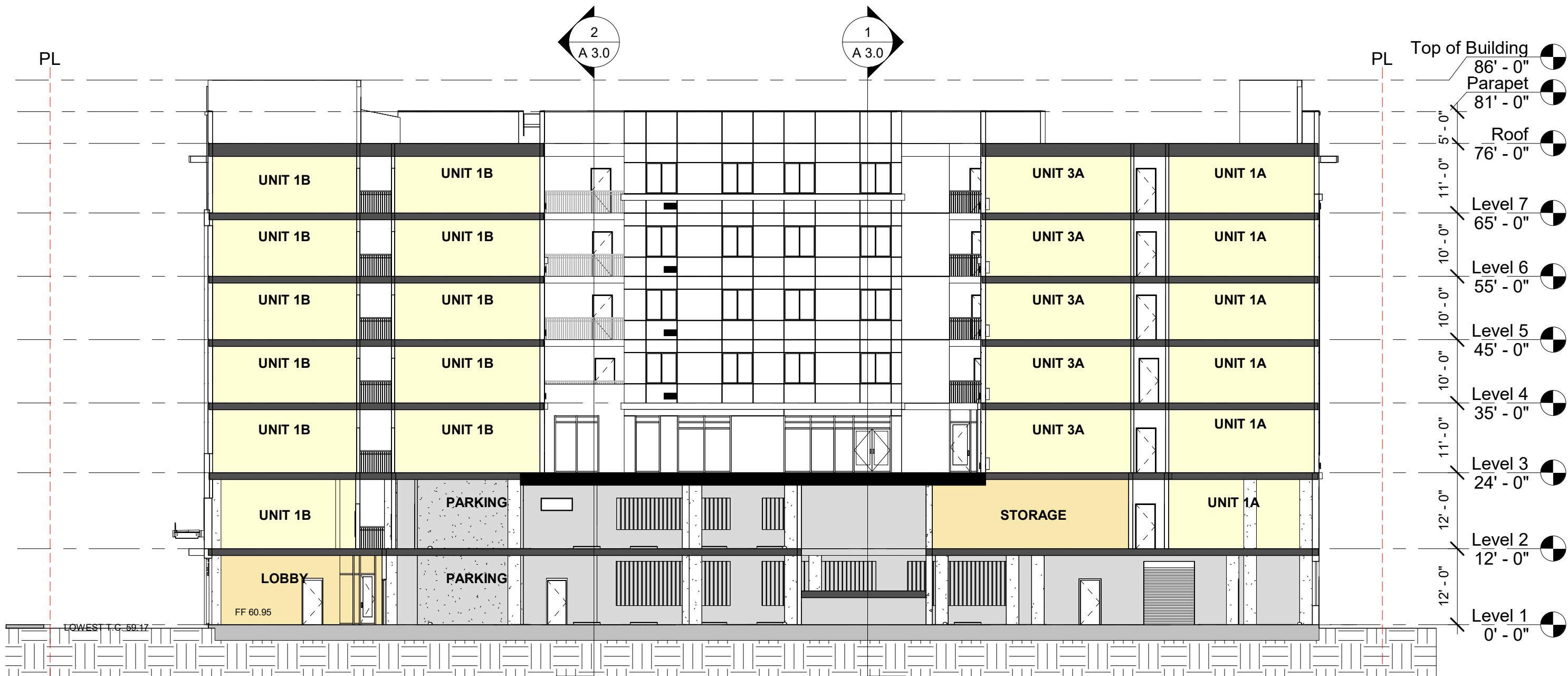
① SECTION A-A
1/16" = 1'-0"



② SECTION B-B
1/16" = 1'-0"



③ SECTION C-C
1/16" = 1'-0"



*ALL BUILDING DIMENSIONS ARE APPROXIMATE AND
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Sunnyvale, California

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SOUTH ELEVATION

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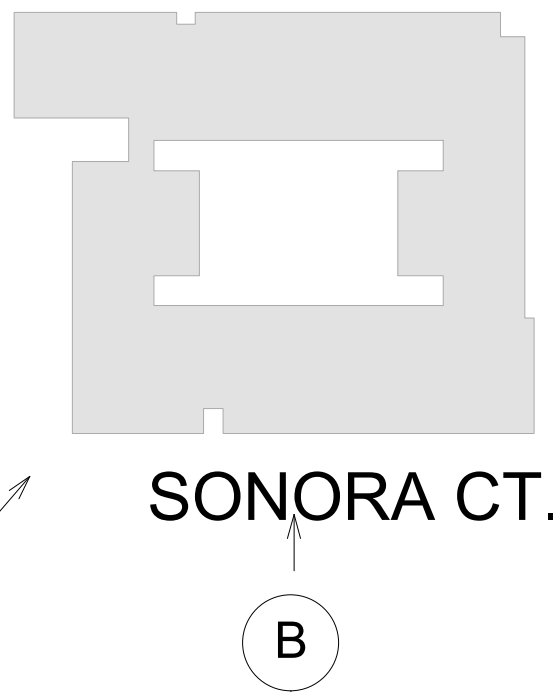
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A VIEW FROM SOUTHWEST



B SOUTH ELEVATION SCALE: 1/16"= 1'-0"



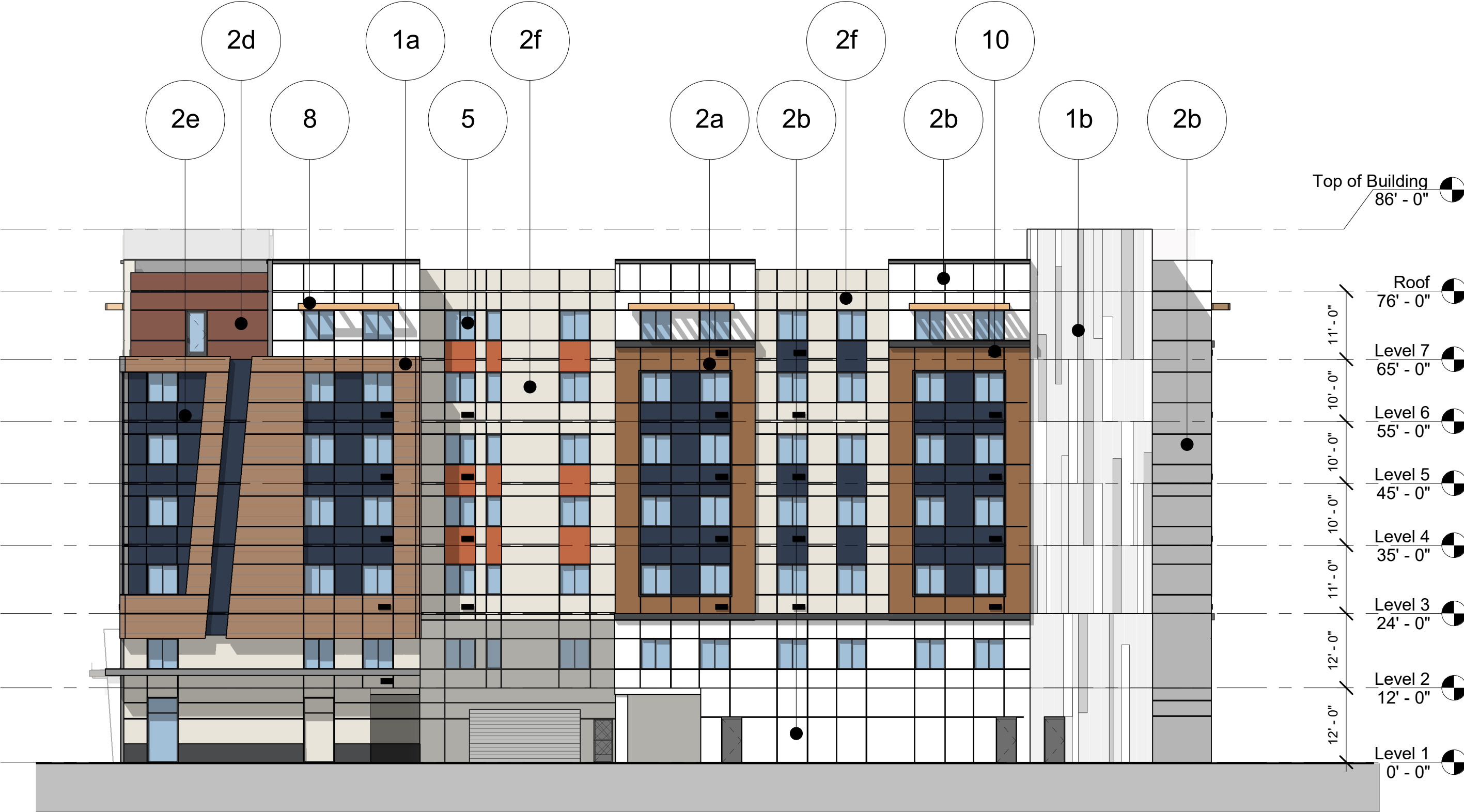
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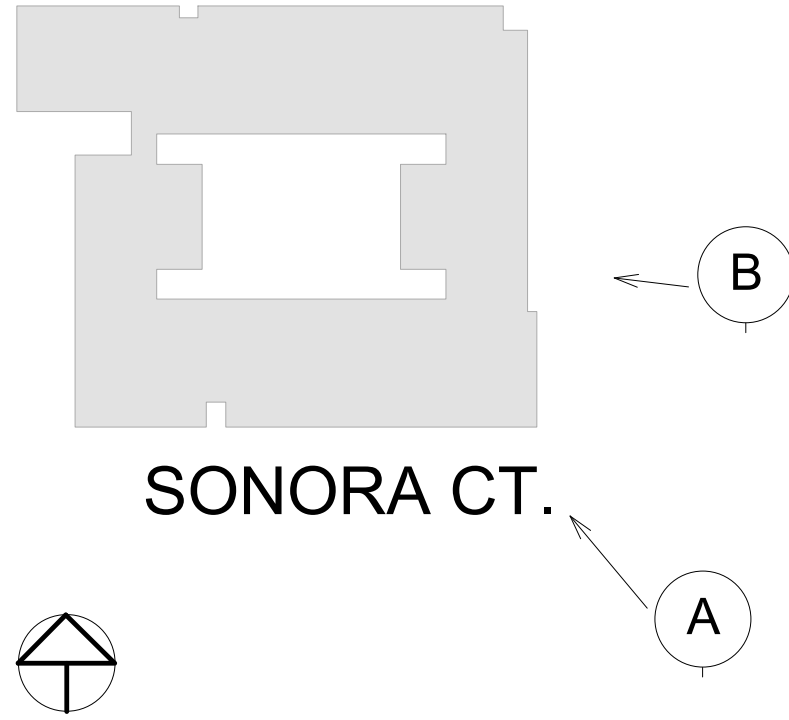
SOUTH ELEVATION WITH TREES SCALE: 1/16"= 1'-0"



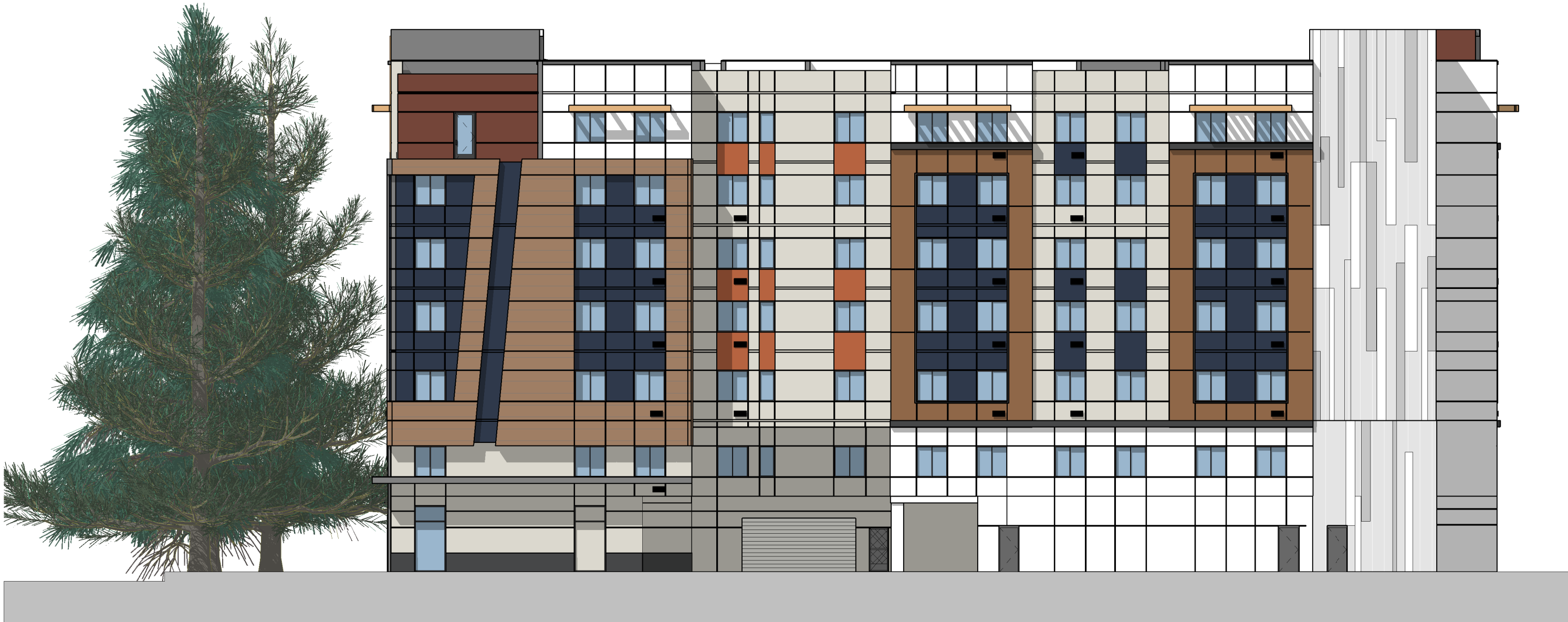
A VIEW FROM SOUTHEAST



B EAST ELEVATION SCALE: 1/16"= 1'-0"



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EAST ELEVATION WITH TREES SCALE: 1/16"= 1'-0"

MATERIAL LEGEND

- 1a CEMENT BOARD SIDING_ TYPE 1
- 1b CEMENT BOARD SIDING_ TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
- 7 VERTICAL GRILLE
- 8 CANOPY
- 9 BALCONY RAILING
- 10 AC GRILL



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EAST ELEVATION

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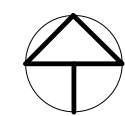
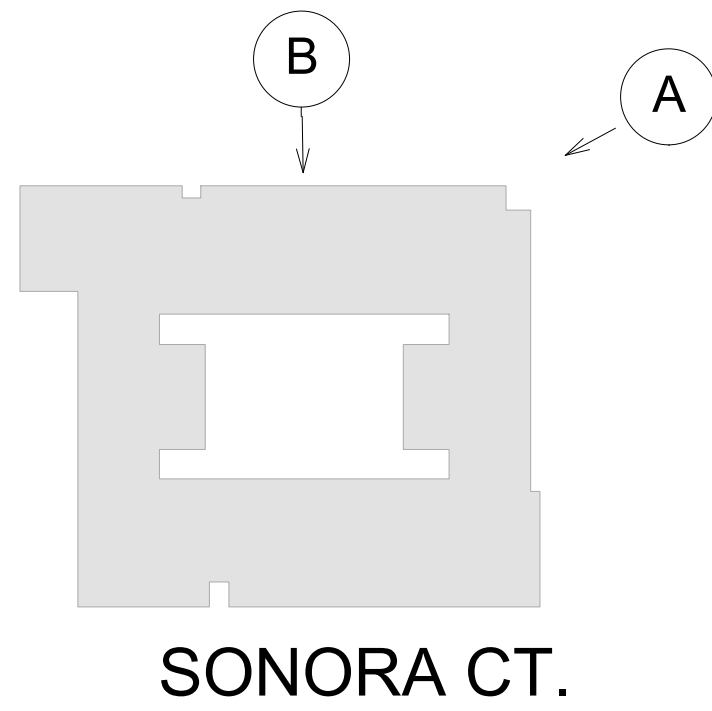
A 4.2



A VIEW FROM NORTHEAST



B NORTH ELEVATION SCALE: 1/16"= 1'-0"



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NORTH ELEVATION WITH TREES SCALE: 1/16"= 1'-0"



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NORTH ELEVATION

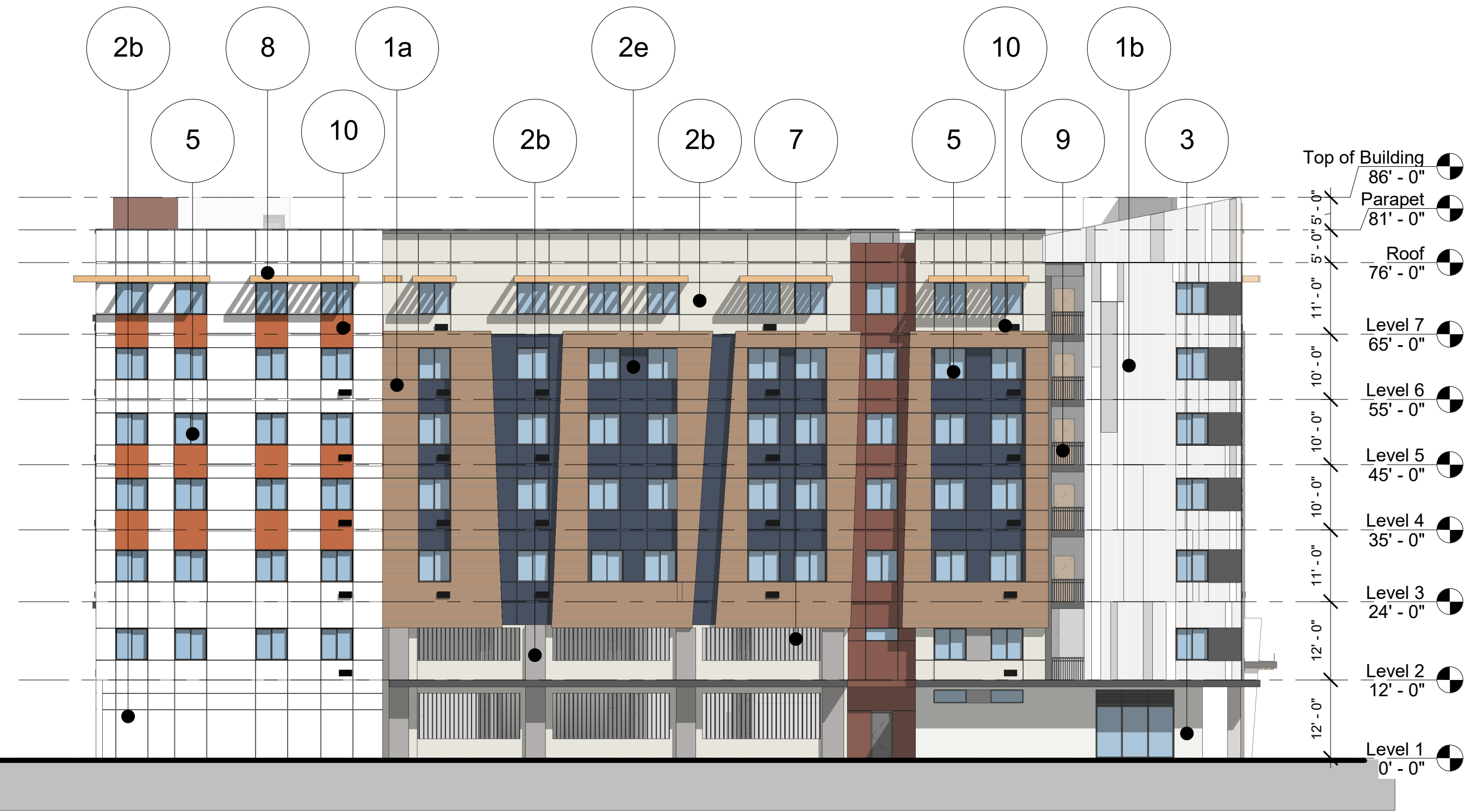
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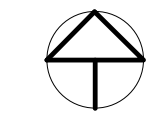
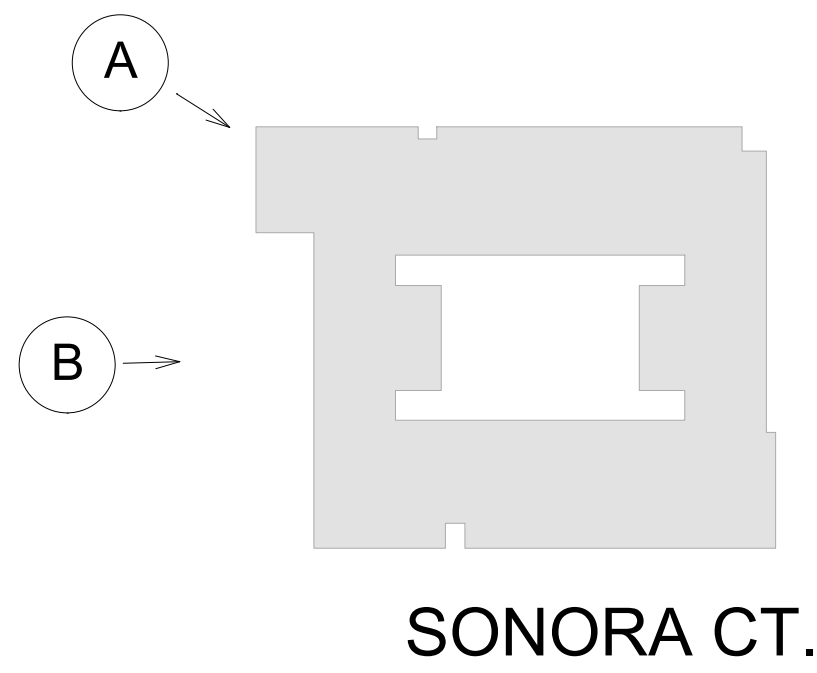
A 4.3



A VIEW FROM NORTHWEST



B WEST ELEVATION SCALE: 1/16"= 1'-0"



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WEST ELEVATION WITH TREES SCALE: 1/16"= 1'-0"

MATERIAL LEGEND

- 1a CEMENT BOARD SIDING_TYPE 1
- 1b CEMENT BOARD SIDING_ TYPE 2
- 2a STUCCO - BROWN
- 2b STUCCO - WHITE
- 2c STUCCO - DARK GRAY
- 2d STUCCO - RUST
- 2e STUCCO - DARK BLUE
- 2f STUCCO - BEIGE
- 3 TILE
- 4 BRISE SOLEIL
- 5 VINYL WINDOW
- 6 GLAZING SYSTEM
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WEST ELEVATION

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LEGEND

- 1 EXISTING TREE TO REMAIN, TYP
- 2 CONCRETE PAVING, TYP
- 3 APPROXIMATE LOCATION OF EXISTING PAVING, DASHED LINE, TYP
- 4 BIKE RACK, TYP (8 SPACES TOTAL)
- 5 STORMWATER TREATMENT AREA, TYP
- 6 DECORATIVE PAVING & CROSSWALK CONNECTION
- 7 SEATING AREA
- 8 6' HT KNOTWOOD ALUMINUM GATE, TYP
- 9 6' HT KNOTWOOD ALUMINUM FENCE, TYP, 1/18. ANY NEW FENCES/ WALLS SHALL NOT HARM EXISTING TREE ROOTS PER SMC 19.48.
- 10 PLANTING AREA, TYP
- 11 BENCH, TYP
- 12 PREFABRICATED PLANTER, TYP
- 13 VISION TRIANGLE; ALL STRUCTURES & VEGETATION WITHIN EXTENDED DRIVEWAY VISION TRIANGLES & CORNER VISION TRIANGLES MUST MEET REQUIREMENTS PER SMC 19.34.060.

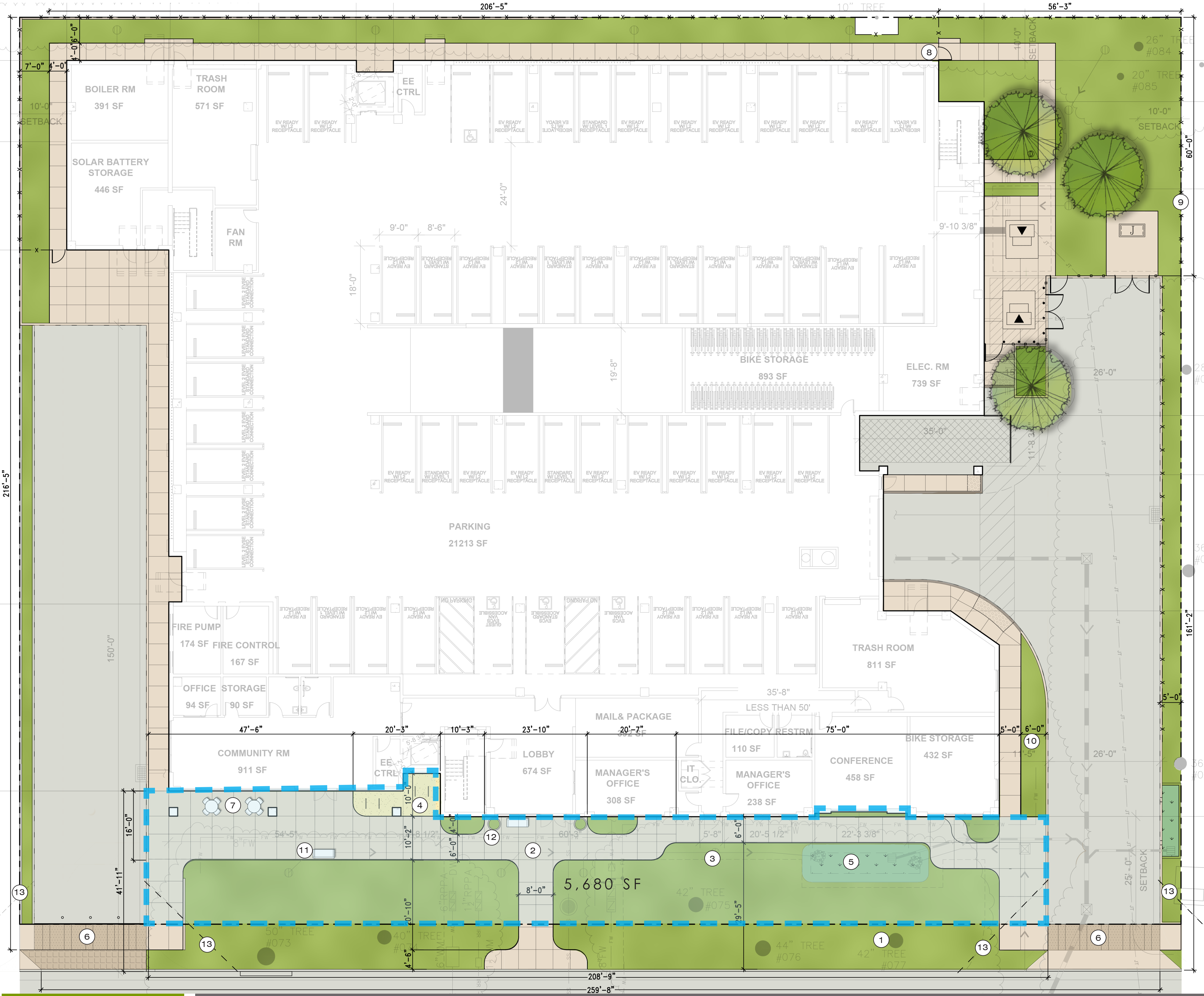
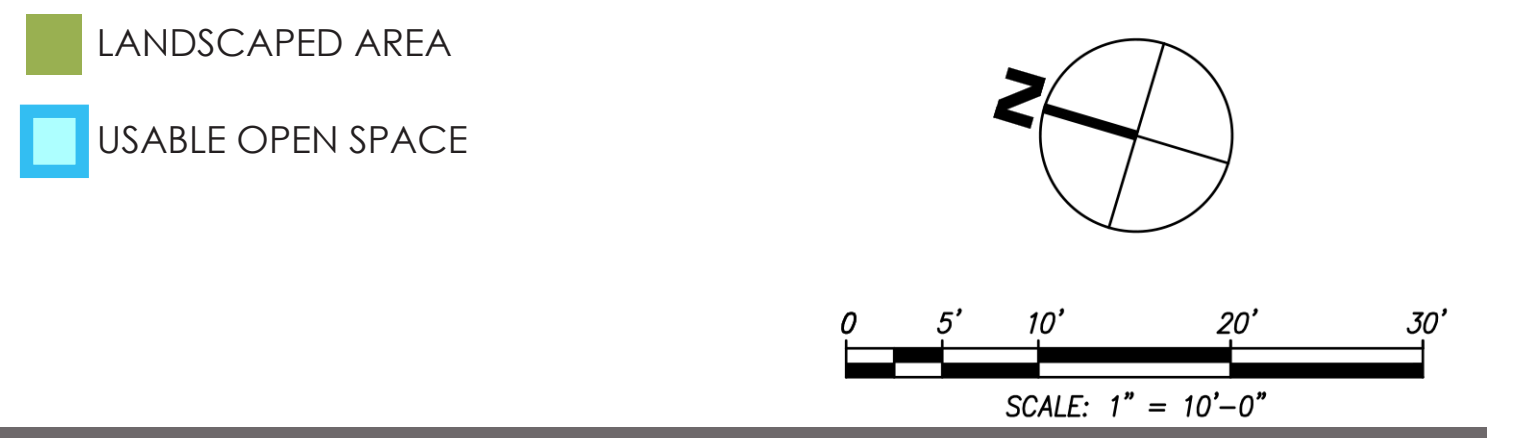
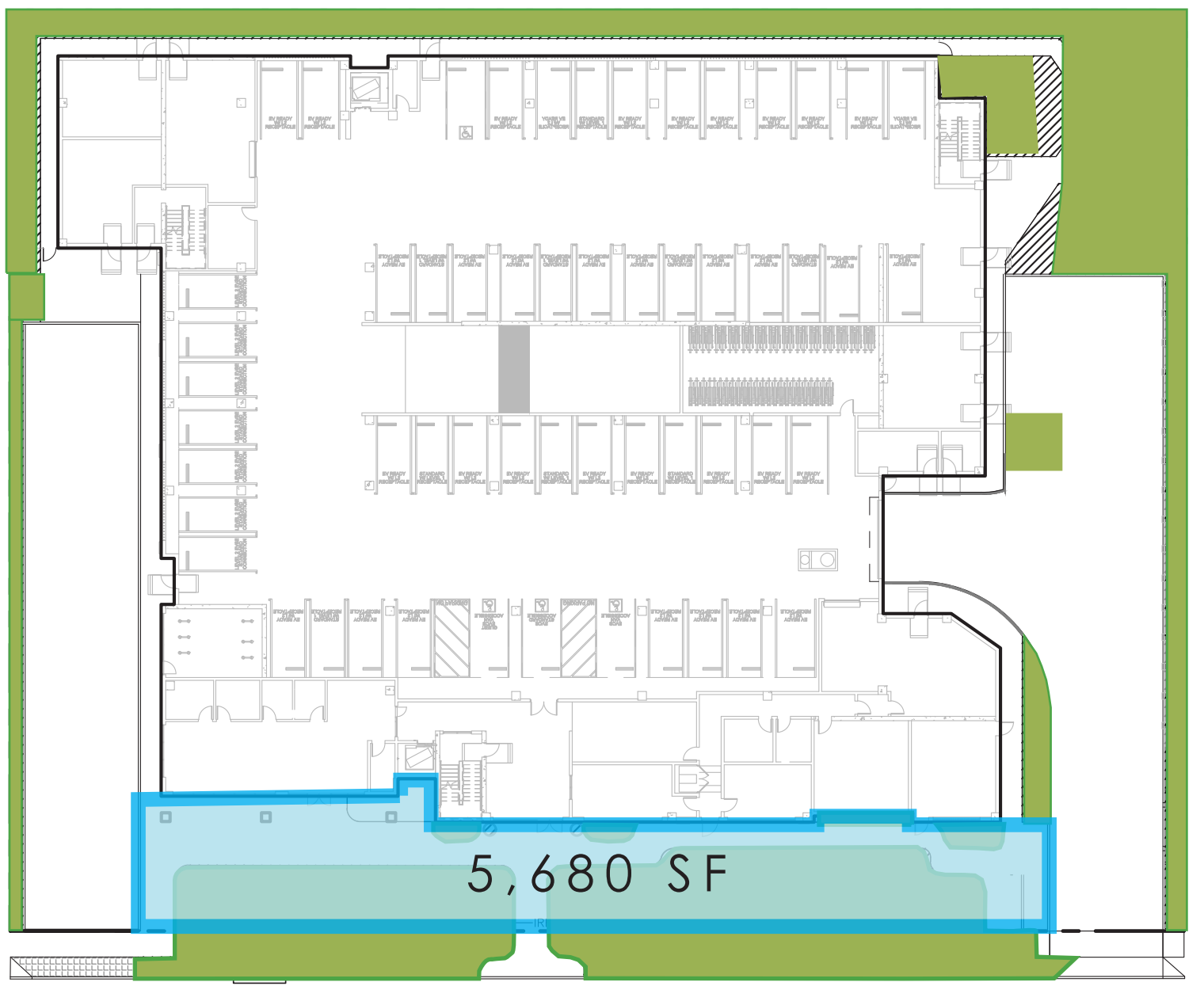
LANDSCAPE & OPEN SPACE CALCULATIONS

PER SMC 19.35.090 AND SMC 19.37.100 -
1. MINIMUM OF 20% OF THE ENTIRE SITE MUST BE LANDSCAPED.
2. UP TO 50% OF THE REQUIRED FRONT YARD AREA MAY BE COUNTED TOWARD THE USEABLE OPEN SPACE REQUIREMENT.

SITE AREA: 56,730 SF
LEVEL 1 LANDSCAPED AREA: 10,096 SF
LEVEL 3 LANDSCAPED AREA: 1,480 SF
TOTAL LANDSCAPED AREA: 11,576 SF / 20%
TOTAL LANDSCAPED AREA PER UNIT (170 UNITS): 68.09 SF

LEVEL 1 USABLE OPEN SPACE: 2,840 SF (50% OF 5,680 SF PRE SMC)
LEVEL 3 USABLE OPEN SPACE: 6,860 SF
TOTAL USABLE OPEN SPACE: 9,700 SF / 17%
TOTAL USABLE OPEN SPACE PER UNIT (170 UNITS): 57.05 SF

LANDSCAPE & OPEN SPACE EXHIBIT



LEGEND

- 1 PLAY AREA WITH PLAY EQUIPMENT STRUCTURES FOR AGES 2-5 & 5-12 AND PLAY SURFACING. SEE NOTE 1.
- 2 PAVERS ON AGGREGATE, TYP
- 3 24" HEIGHT CMU PLANTER, TYP
- 4 TREE IN RAISED PLANTER, TYP
- 5 PREFAB PLANTER, TYP
- 6 ELECTRIC BBQ
- 7 BENCH , TYP
- 8 TABLE & CHAIRS, TYP
- 9 SEATWALL & SLOPED PLANTER
- 10 BREEZEWAY SEATING AREA

NOTES

1. CONCEPTUAL PLAY EQUIPMENT STRUCTURES AND LAYOUT ARE SHOWN; STRUCTURAL CALCULATIONS SHALL BE PROVIDED WITH PERMIT DRAWINGS.

LANDSCAPE & OPEN SPACE CALCULATIONS

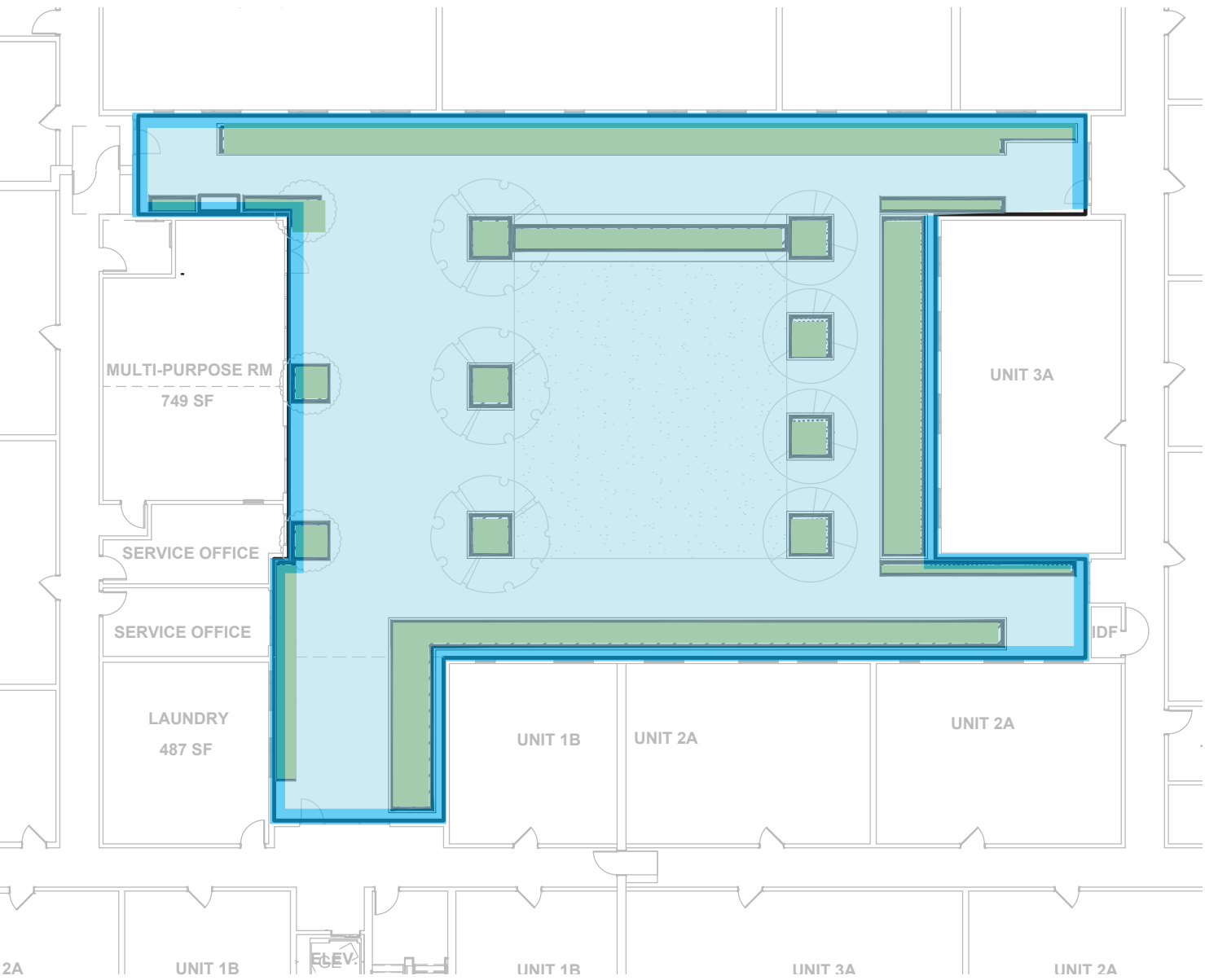
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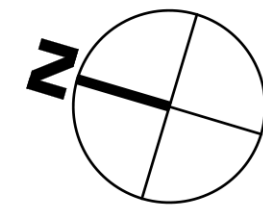
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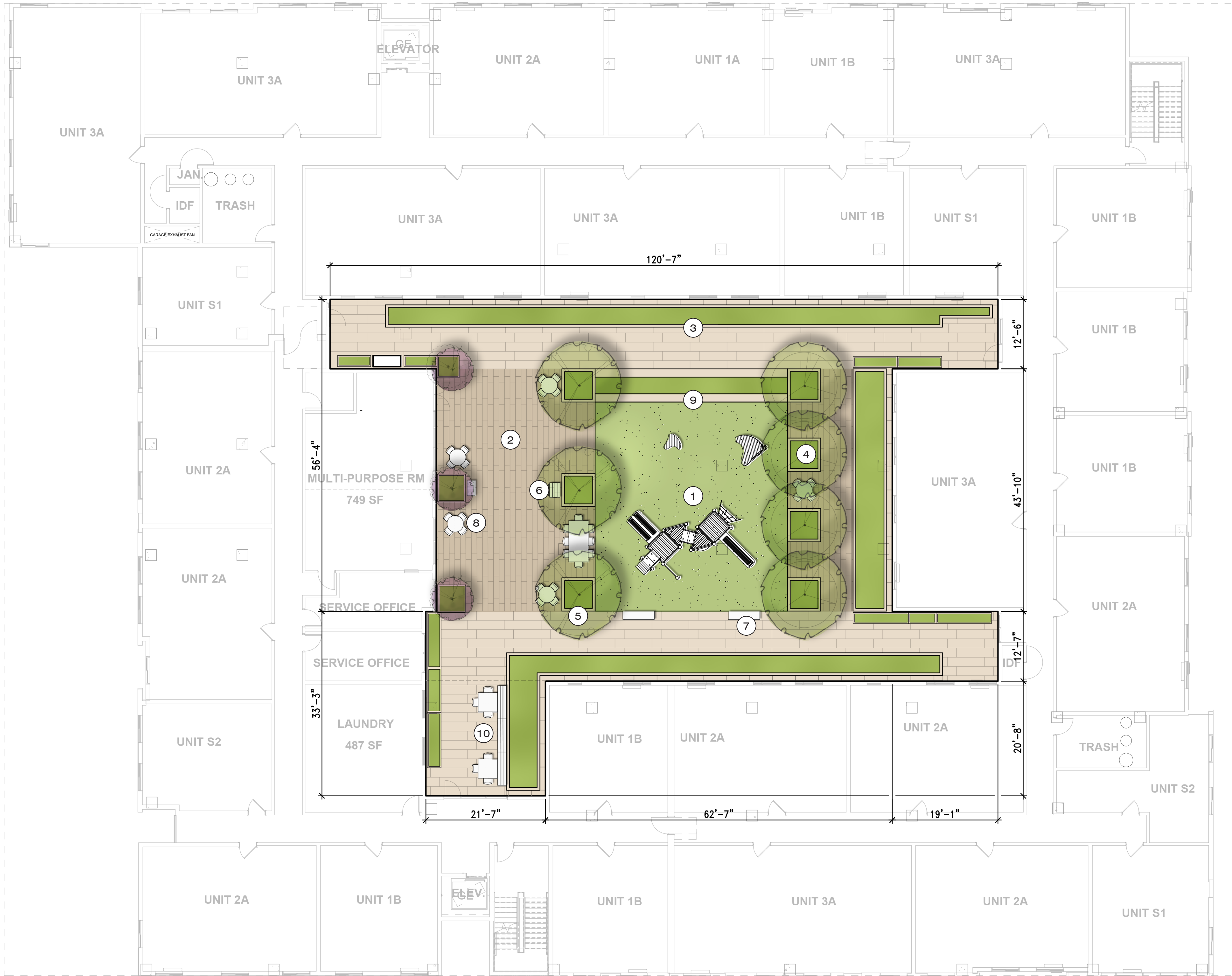
LANDSCAPE & OPEN SPACE EXHIBIT



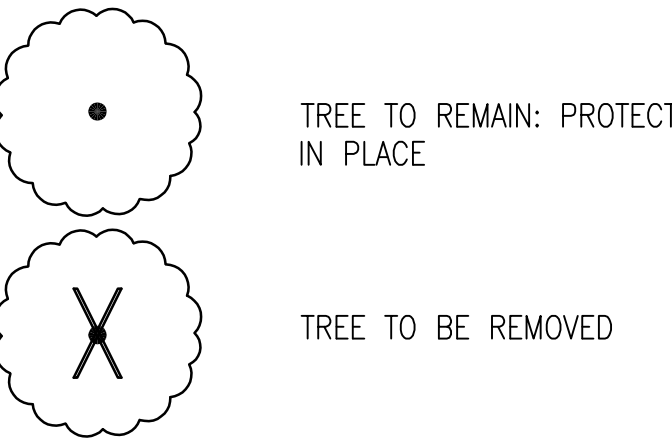
LANDSCAPED AREA
USABLE OPEN SPACE



0 5' 10' 20' 30'
SCALE: 1" = 10'-0"



EXISTING TREE LEGEND

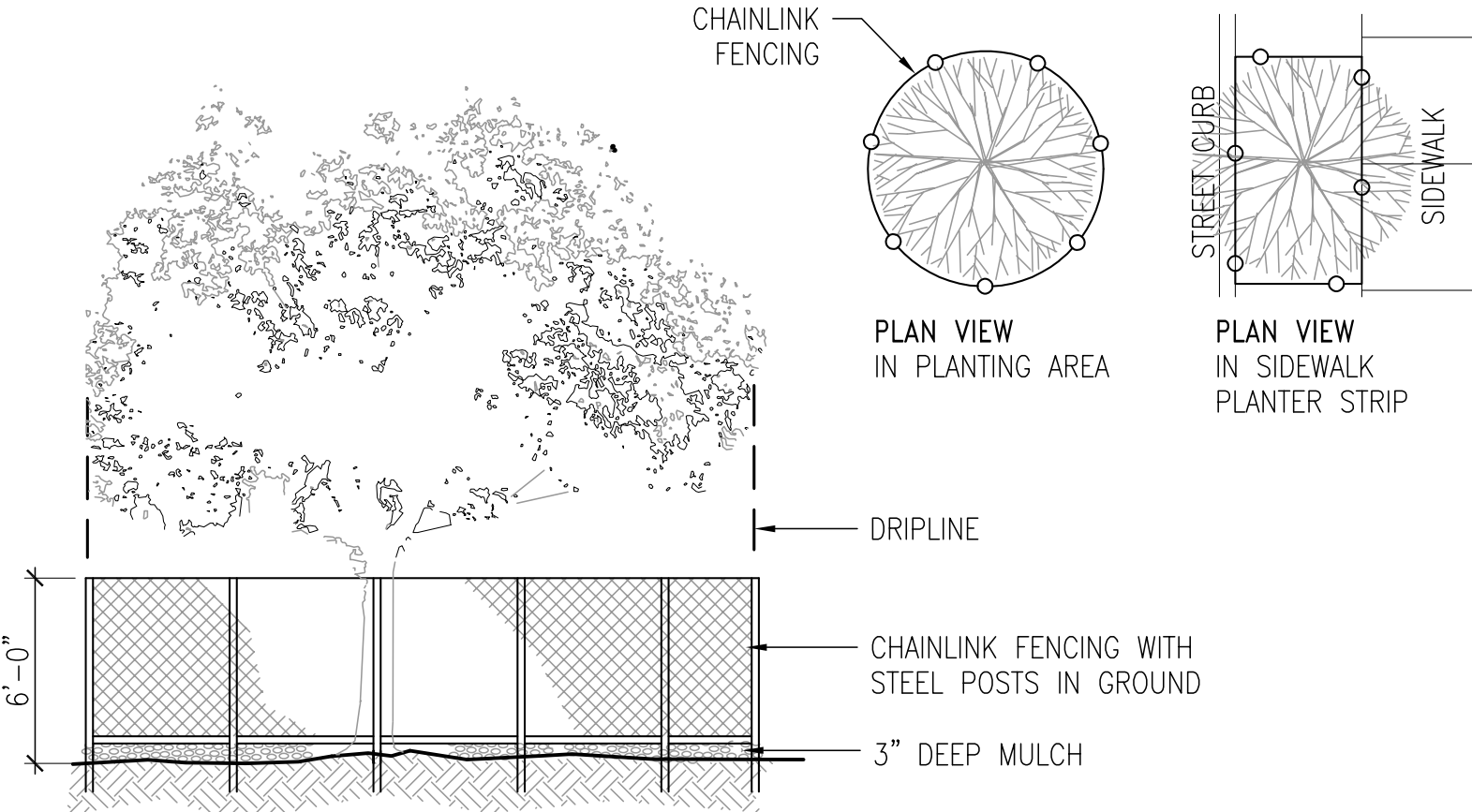


TREE REMOVAL & REPLACEMENT
TREES TO BE REMOVED: 2
PROTECTED TREES TO BE REMOVED: 2
NEW TREES LEVEL 1: 3
NEW TREES LEVEL 3: 10
TOTAL NEW TREES: 13

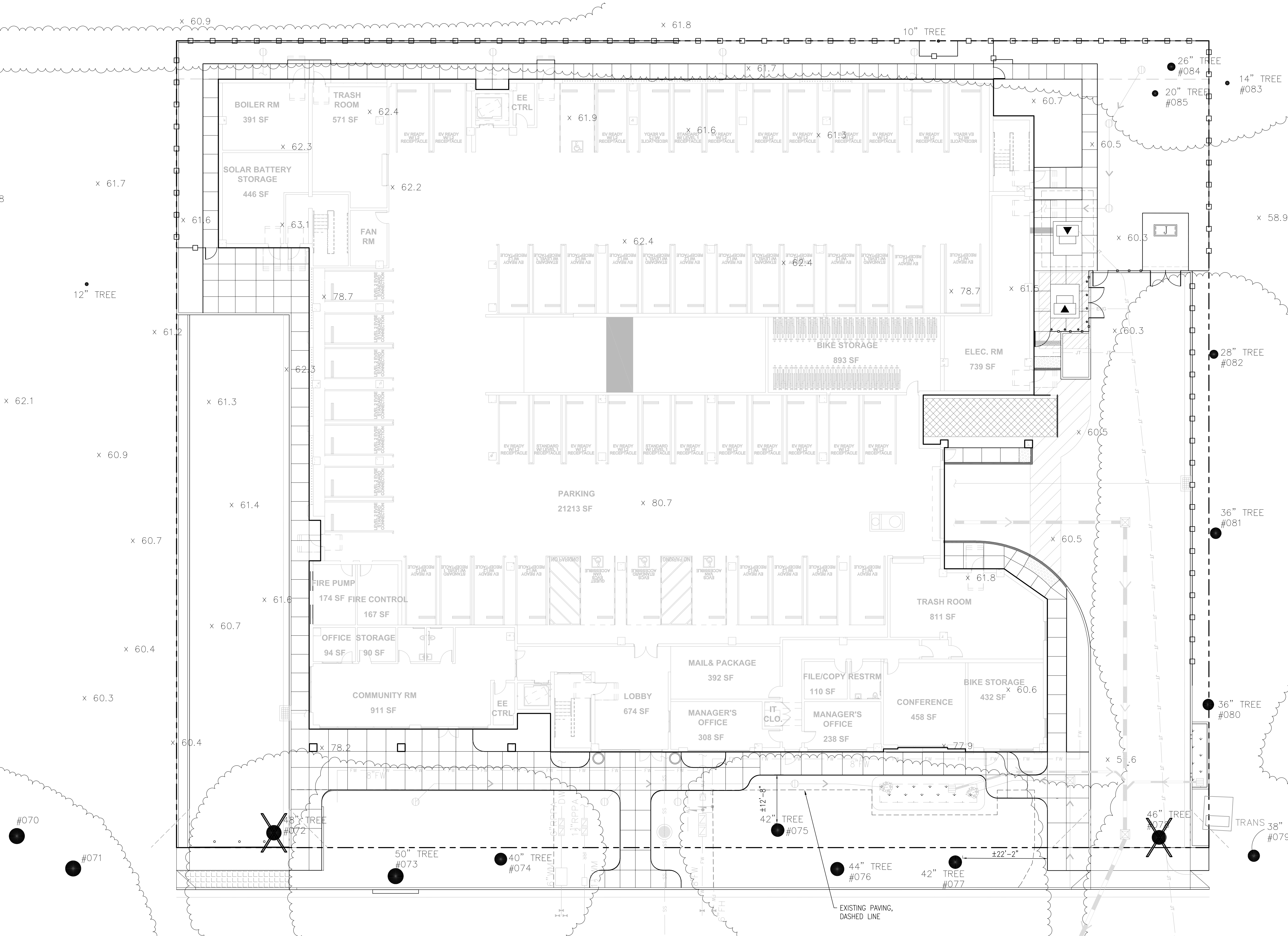
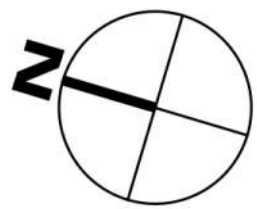
TREES PER SQUARE FEET OF LANDSCAPE AREA
TREES PER 1,000 SF REQUIRED: 1
TREES PER 1,000 SF PROPOSED: 1.14
TOTAL LANDSCAPE AREA 11,576 SF = 1.12
13 NEW TREES

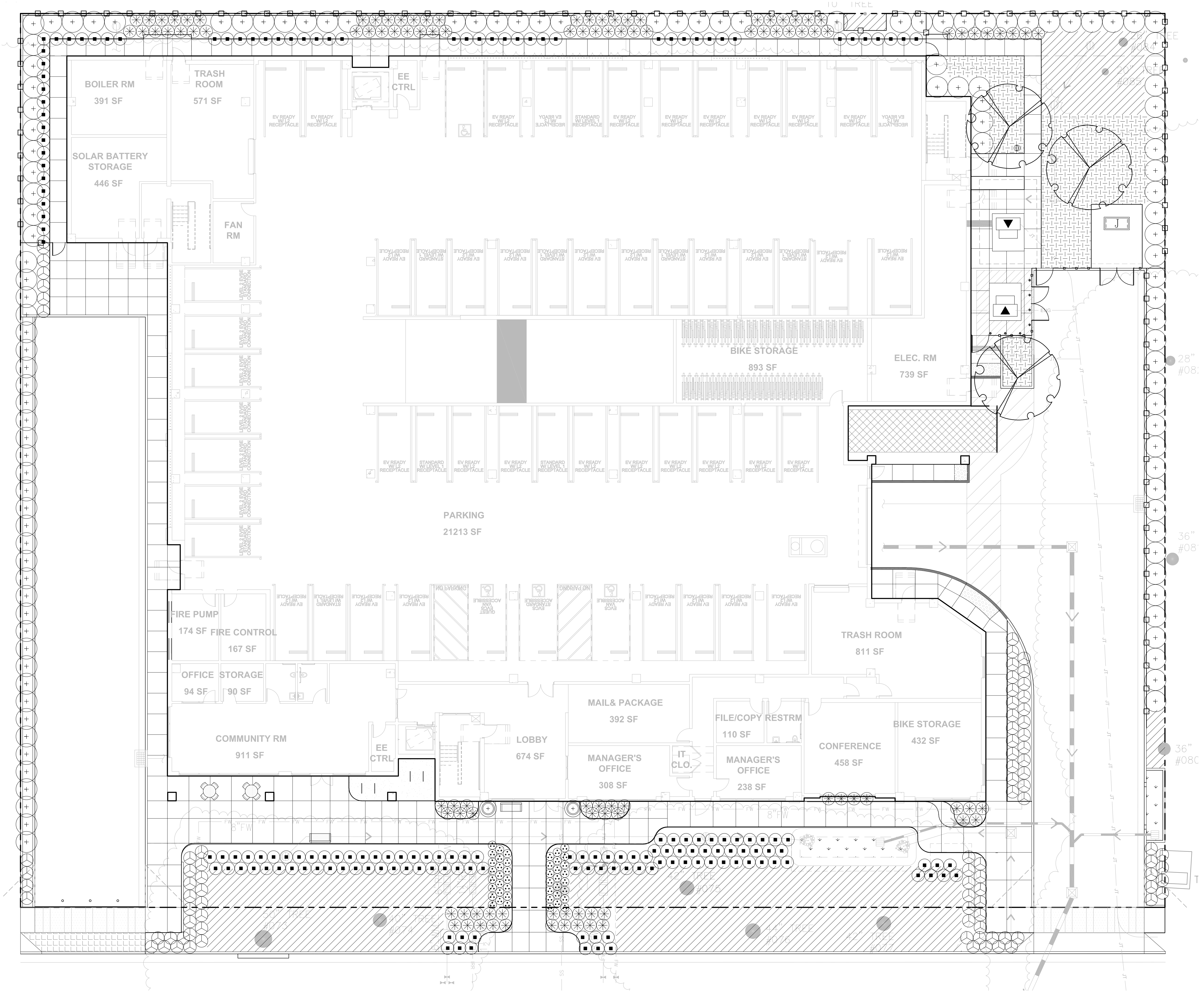
- NOTES
1. REFER TO ARBORIST REPORT FOR MORE INFORMATION.
 2. TREES TO BE PROTECTED & PRUNED UNDER ARBORIST SUPERVISION, TYP.
 3. ALL NEW & EXISTING TREES WILL BE PRUNED TO PROVIDE REQUIRED CLEARANCE.
 4. ANY NEW FENCES/WALLS SHALL NOT HARM EXISTING TREE ROOTS PER SMC 19.48.

Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
70	Coast redwood	49	Yes	4	High	Tall, upright form; broken, hanging branch on south side; off-site.
71	Coast redwood	41	Yes	3	Moderate	Tall, upright form; previously broken top; thin crown toward the top; off-site.
72	Deodar cedar	49	Yes	3	Moderate	Candelabra form; history of branch failures; three 20" lateral branches on north side sweep upright.
73	Coast redwood	67	Yes	4	Moderate	Very tall, upright form; large trunk with large exposed root flare; growing over curb; displacing light pole base.
74	Deodar cedar	36	Yes	3	Moderate	Candelabra form; multiple attachments between 6 - 12'; thinning crown; twig dieback.
75	Deodar cedar	39	Yes	3	Moderate	Candelabra form; broken hanging 10' branch; split in 12' limb; one sided west.
76	Coast redwood	52	Yes	4	High	Tall, upright form; full crown; exposed root flare growing over curb.
77	Deodar cedar	43	Yes	3	Moderate	Tall, wide crown; irregular form; two 20' branches sweep upward.
78	Deodar cedar	30,24,23	Yes	3	Moderate	Three stem at 4'; thin in middle of crown; history of branch failures; trunk leans south.
79	Deodar cedar	29	Yes	3	Moderate	Candelabra form; 24" lowest limb sweeps upright; one-sided east; thin interior crown; off-site.
80	Silver dollar gum	36	Yes	3	Low	Moderate crown spread; low live crown ratio; displacing curb; outgrowing planting strip.
81	Silver dollar gum	35	Yes	2	Low	Large, wide spreading crown; 18" recent branch failure; poor form; curbing replaced on east side.
82	Silver dollar gum	28	Yes	2	Low	Very thin; low live crown ratio; lion-tailed branches; curb replaced on the east side.
83	Coast redwood	15	Yes	3	Moderate	Upright form; bird nest on south side; 40 feet up; slight browning of needles; off-site.
84	Coast redwood	20	Yes	3	Moderate	Upright form; slight lean north; one-sided north.
85	Coast redwood	21	Yes	3	Moderate	Upright form; slight lean south; branch dieback; browning foliage.
86	California black walnut	16	Yes	2	Low	East stem dead; growing in hedge on north property line; estimated DBH; codominant at 6'.
87	Ginkgo	12	Yes	4	High	Wide crown; good form; high vigor; growing in a fenced enclosure; off-site; no tag.



1 TREE PROTECTION FENCING
SCALE: NTS





PRELIMINARY PLANT LIST									
SYMBOL	BOTANICAL NAME		COMMON NAME	SIZE	SPACING	HT/W	QTY	WUCOLS	
TREES									
ACE PA	ACER PALMATUM		JAPANESE MAPLE	24" BOX	PER PLAN	20'x15'		M	
ARB MA	ARBITUS 'MARINA'		STRAWBERRY TREE	24" BOX	PER PLAN	40'x30'		L	
CER OC	CERCIS OCCIDENTALIS		WESTERN REDBUD	24" BOX	PER PLAN	10'x12'		L	
LAG MU	LAGERSTROEMIA 'MUSKOGEE'		ORAPE MYRTLE	24" BOX	PER PLAN	20'x15'		L	
QUE AG	QUERCUS AGRIFOLIA		COAST LIVE OAK	24" BOX	PER PLAN	40'x30'		VL	
QUE LO	QUERCUS LOBATA		VALLEY OAK	24" BOX	PER PLAN	40'x30'		L	
PLA CO	PLATANUS ACERIFOLIA 'COLUMBIA'		LONDON PLANE TREE	24" BOX	PER PLAN	40'x30'		M	
LARGE SHRUBS									
(+)	ARCTOSTAPHYLOS SPP.		MANZANITA	15 GAL	6'-0" OC	4'x6'		L	
	CEANOTHUS 'JOYCE COULTER'		WILD LILAC	5 GAL	4'-0" OC	4'x9'		L	
	LEUCADENDRON 'JESTER'		SUNSHINE CONEBUSH	15 GAL	4'-0" OC	4'x4'		L	
	RIBES SANGUINEUM V. GLUTINOSUM		FLOWERING CURRANT	5 GAL	4'-0" OC	4'x4'		L	
MEDIUM SHRUBS & GRASSES									
	AGAVE PARRYI		CENTURY PLANT	5 GAL	2'-0" OC	2'x3'		L	
	LOMANDRA LONGIFOLIA 'BREEZE'		DWARF MAT RUSH	5 GAL	3'-0" OC	3'x3'		L	
	LIMONIUM PEREZII		SEA LAVENDER	5 GAL	3'-0" OC	3'x3'		L	
	MIMULUS AURANTIACUS		MONKEYFLOWER	5 GAL	3'-0" OC	3'x4'		L	
	ROSMARINUS SPP.		ROSEMARY	5 GAL	3'-0" OC	3'x4'		L	
	SALVIA SPP.		SAGE	5 GAL	3'-0" OC	3'x3'		L	
SMALL SHRUBS & GRASSES									
	ANIGOSTANTHOS SPP.		KANGAROO PAW	5 GAL	6'-0" OC	3'x2'		L	
	BULBINE FRUTESCENS 'ORANGE'		ORANGE BULBINE	1 GAL	2'-0" OC	1'x2'		L	
	CORREA 'CARMINE BELLS'		AUSTRALIAN FUCHSIA	5 GAL	3'-0" OC	2'x3'		L	
	EPILOBIUM CANUM		CALIFORNIA FUCHSIA	1 GAL	2'-0" OC	1'x2'		L	
	LIBERTIA PEREGRINANS		ORANGE LIBERTIA	1 GAL	5'-0" OC	2'x2'		L	
	PENSTEMON 'MARGARITA BOP'		PENSTEMON	1 GAL	2'-0" OC	1'x2'		L	
GROUNDCOVERS									
	ARCTOSTAPHYLOS SPP.		MANZANITA	1 GAL	6'-0" OC	1'x6'		L	
	COTONEASTER 'CORAL BEAUTY'		COTONEASTER	1 GAL	4'-0" OC	1'x4'		L	
	RIBES VIBURNIFOLIUM		EVERGREEN CURRANT	1 GAL	4'-0" OC	3'x4'		L	
	SEDUM SPP.		SEDUM	1 GAL	3'-0" OC	1'x2'		L	
	SENECIO MANDRAUSCAE		BLUE FINGER	1 GAL	3'-0" OC	2'x3'		L	
	SYMPHORICARPOS MOLLIS		CREeping SNOWBERRY	1 GAL	3'-0" OC	2'x4'		L	
BIORETENTION AREAS									
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	CHONDROPETALUM TECTORIUM		CAPE RUSH	5 GAL	3'-0" OC	3'x3'		L	
	IRIS DOUGLASSIANA		DOUGLAS IRIS	BULB	2'-0" OC	2'x2'		L	
	JUNCUS PATENS		CA. GRAY RUSH	1 GAL	2'-0" OC	2'x2'		L	
	HETEROMELES ARBUTIFOLIA		TOYON	5 GAL	5'-0" OC	6'x6'		L	
	SISYRINCHIUM BELLUM		BLUE-EYED GRASS	1 GAL	2'-0" OC	1'x2'		L	

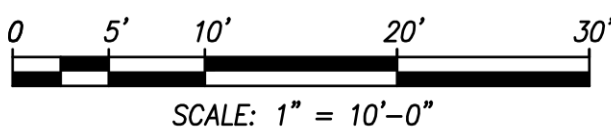
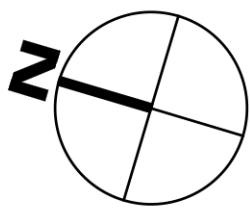
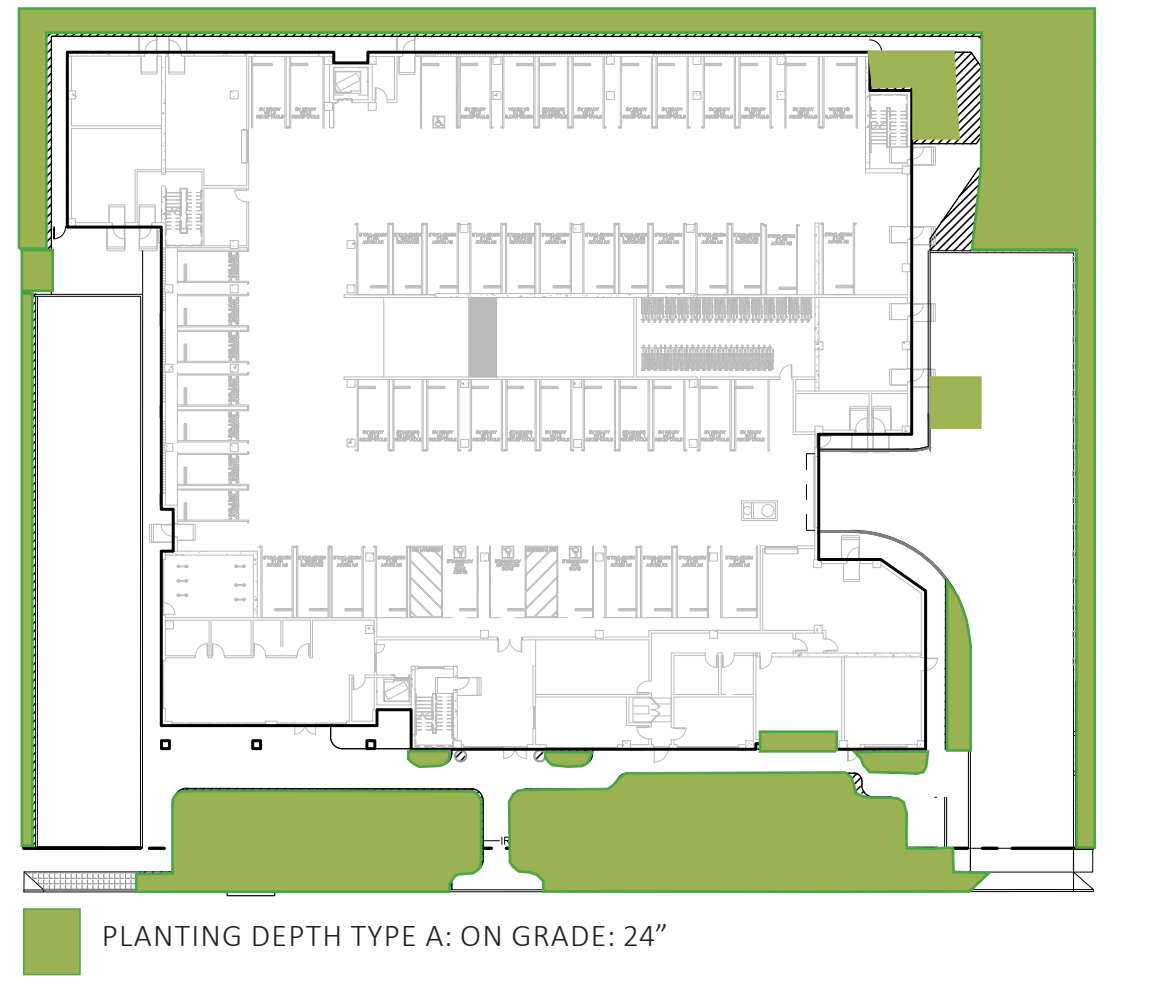
GENERAL PLANTING NOTES

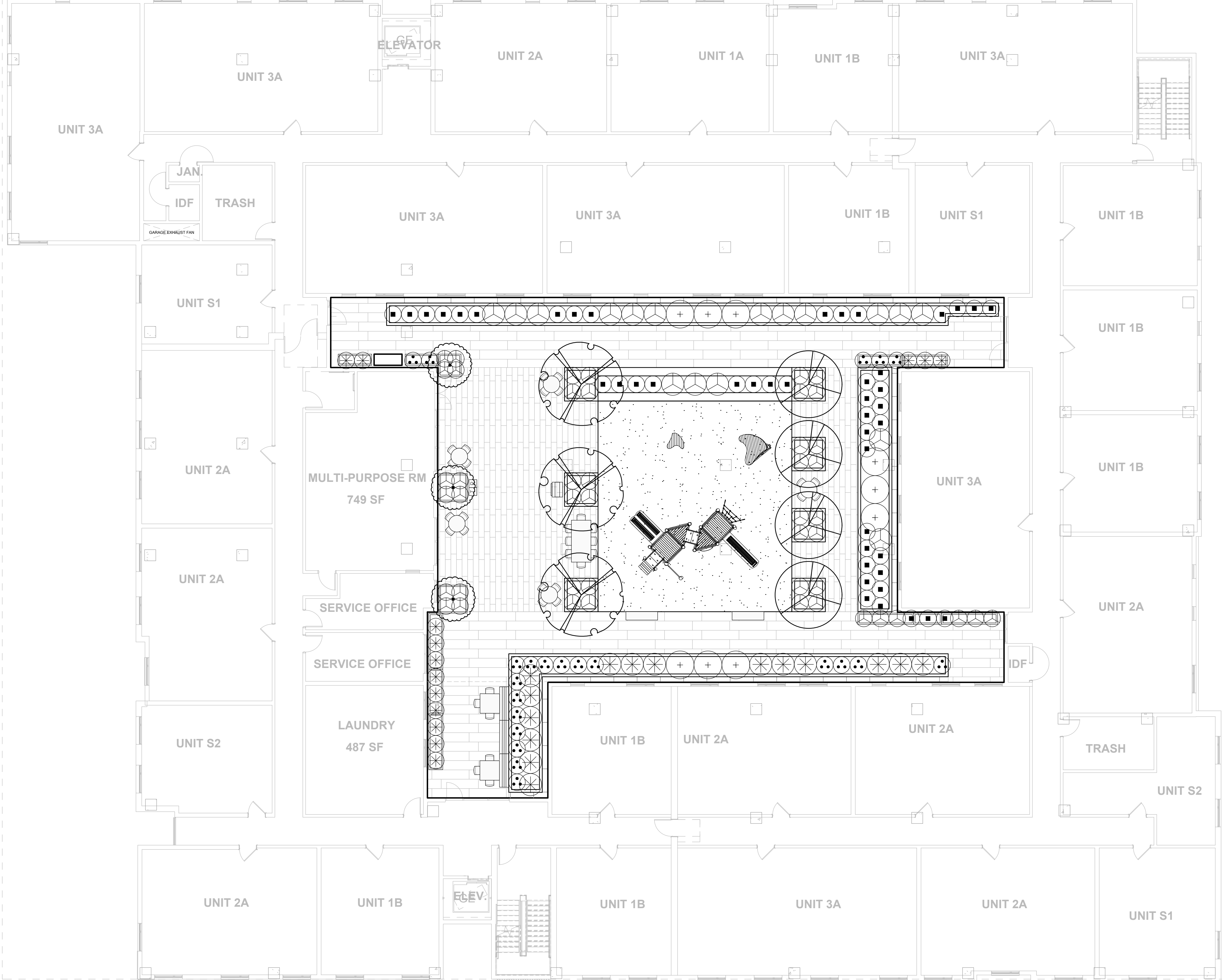
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SOIL DEPTH EXHIBIT





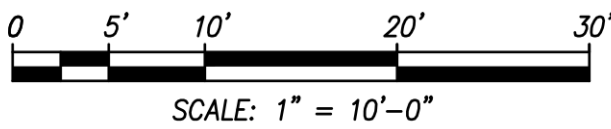
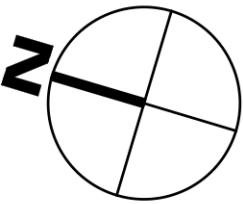
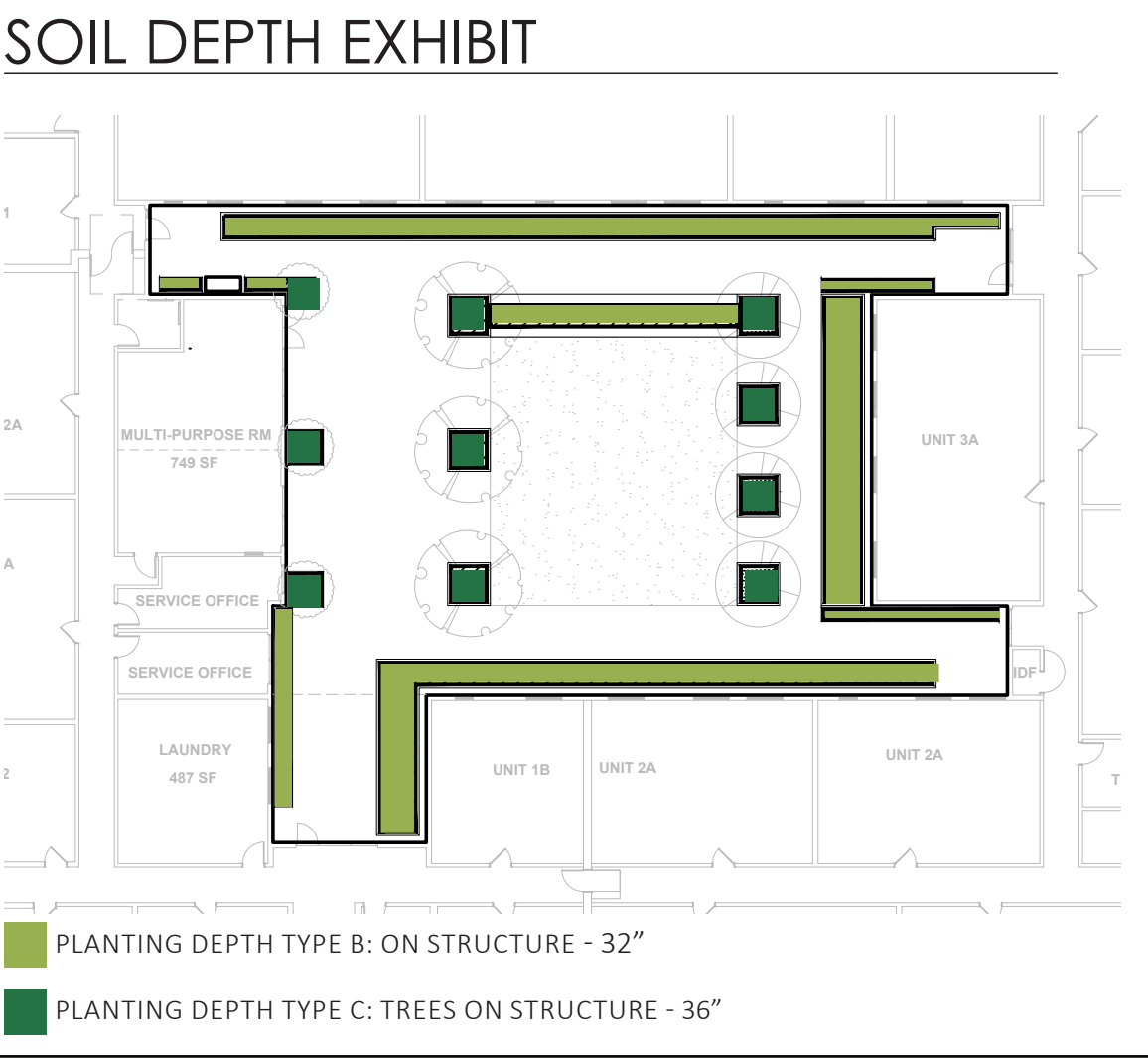
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TREES



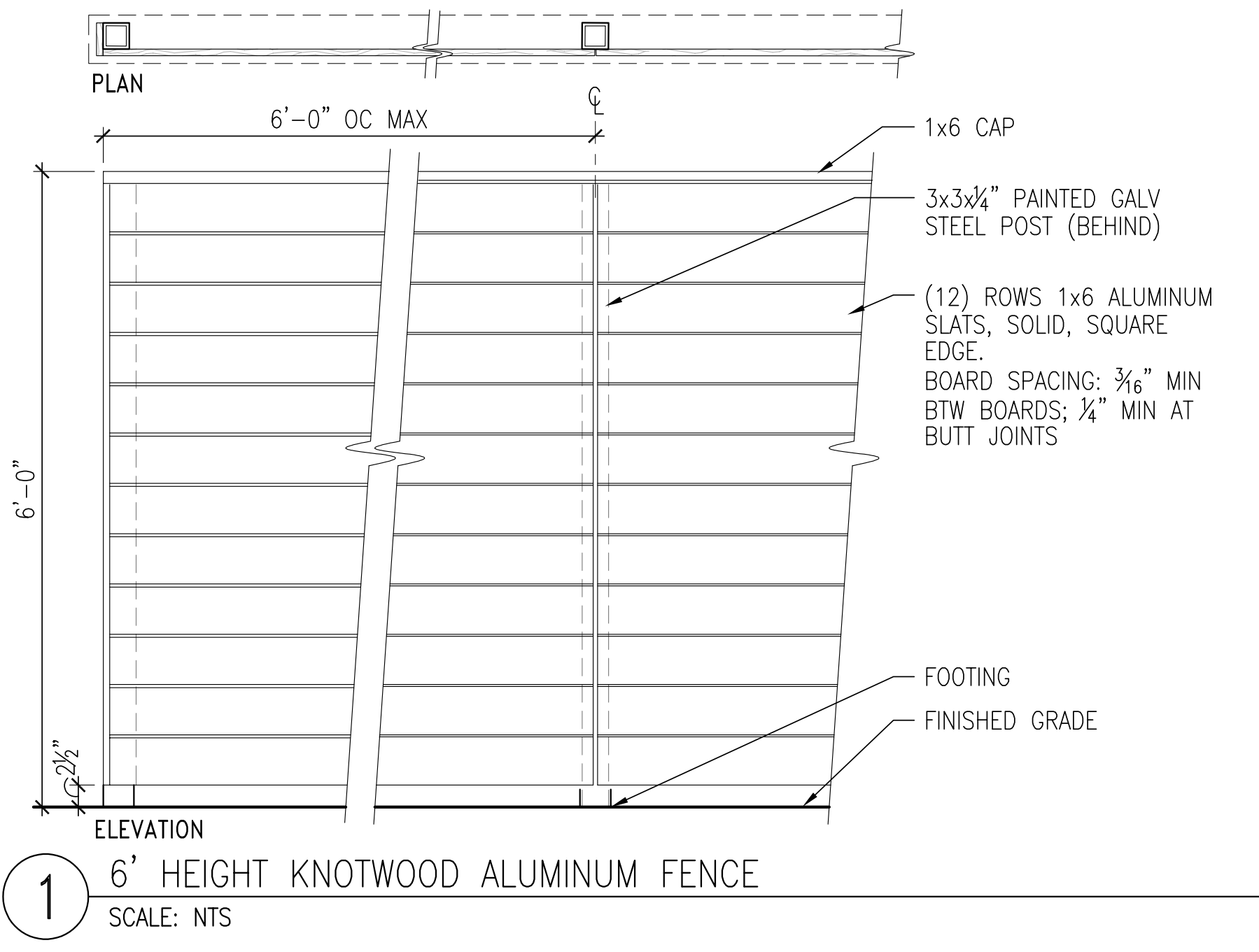
SHRUBS & GRASSES



GROUNDCOVERS



VINES



City of Sunnyvale Citywide Objective Design Standards

2.3 Multifamily Residential Transition Space

Intent: To promote a sense of privacy and separation from the public/pedestrian realm for residents of street-facing residential projects. Low-, Mid- and High-Rise Multifamily Residential development shall include a street-facing transition space that incorporates a combination of design approaches from Table 2B to score at least 50 points. This standard also applies to residential buildings that are part of a Horizontal Mixed-Use project to provide a transition between commercial spaces and residential buildings.

Table 2B. Transition Space Design Approaches			
	Category	Approach	Points
a.	Entryway Design	Entryways accented by a change in external building material or application of a non-structural façade accent.	20
b.	Projecting Shade Features	Integration of a continuous architectural shade feature spanning at least 50 percent of the building frontage.	20
c.	Building Materials to Articulate Ground Surface	Use of paving stones, tile, masonry or patterned and colored concrete on the ground fronting all entryways.	10
	Total		50

3.5 Massing and Bulk

Intent: To ensure each new building becomes an attractive, complementary addition to its surroundings by moderating its apparent size and scale. New structures will achieve this natural fit through context-responsive form and a variety of methods to break down large facades.

Table 3B includes standards for dividing the length of buildings of various size in order to modulate mass and scale.

Table 3B. Division of Building Length Standards		
	Standard	100' or more building width
a.	General requirement	Building elevations shall be vertically divided by major recesses at maximum 75' intervals.
b.	Division Standards	1. 1. At least 10' wide by 5' deep from ground level to roof level; and 2. of a color or material that contrasts with surrounding volumes, and 3. incorporated anywhere within a 75-foot segment of horizontal elevation.

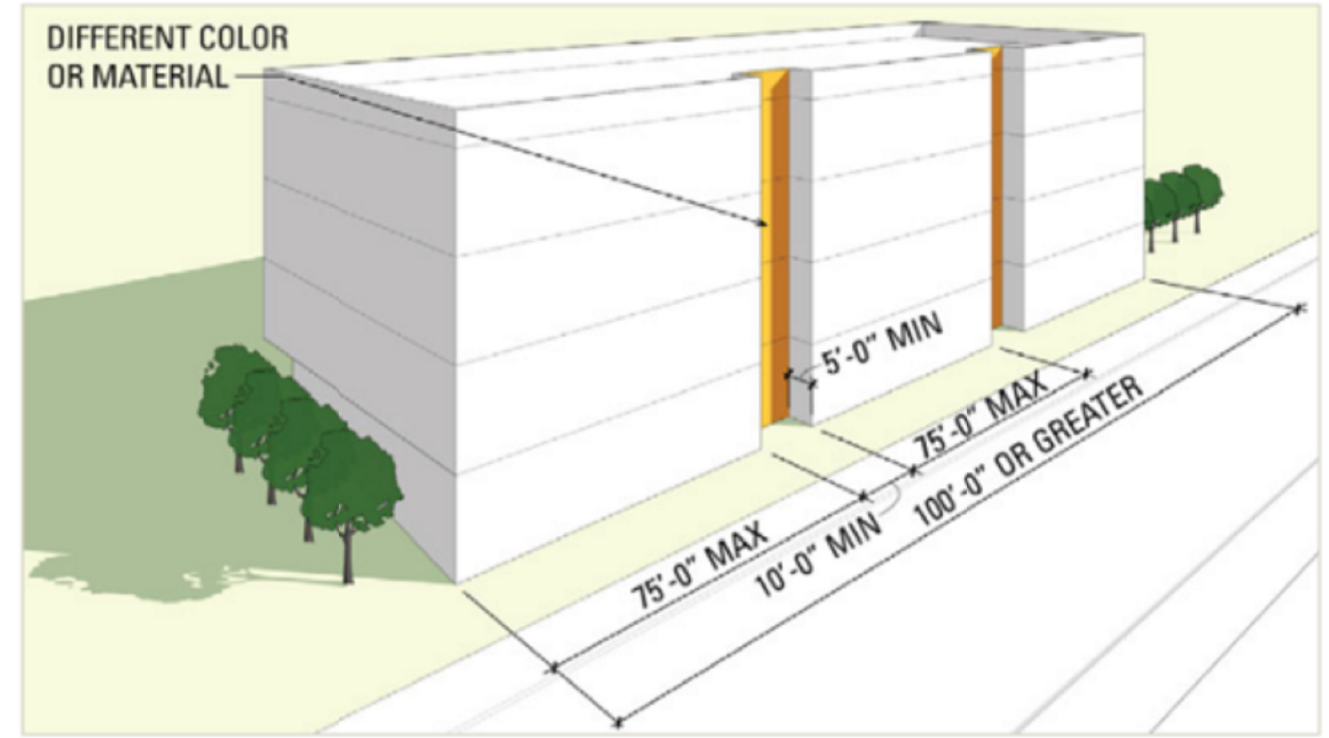
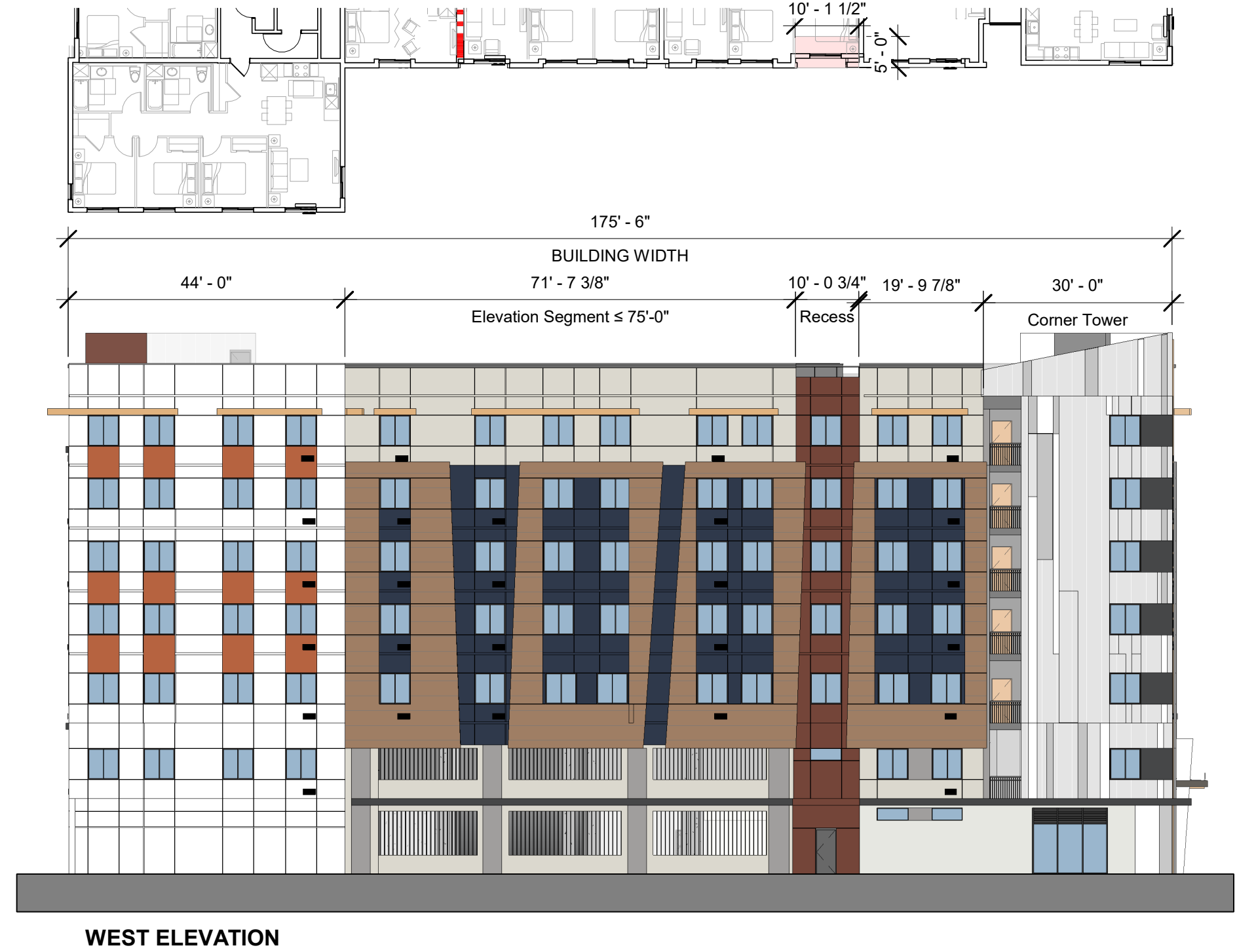
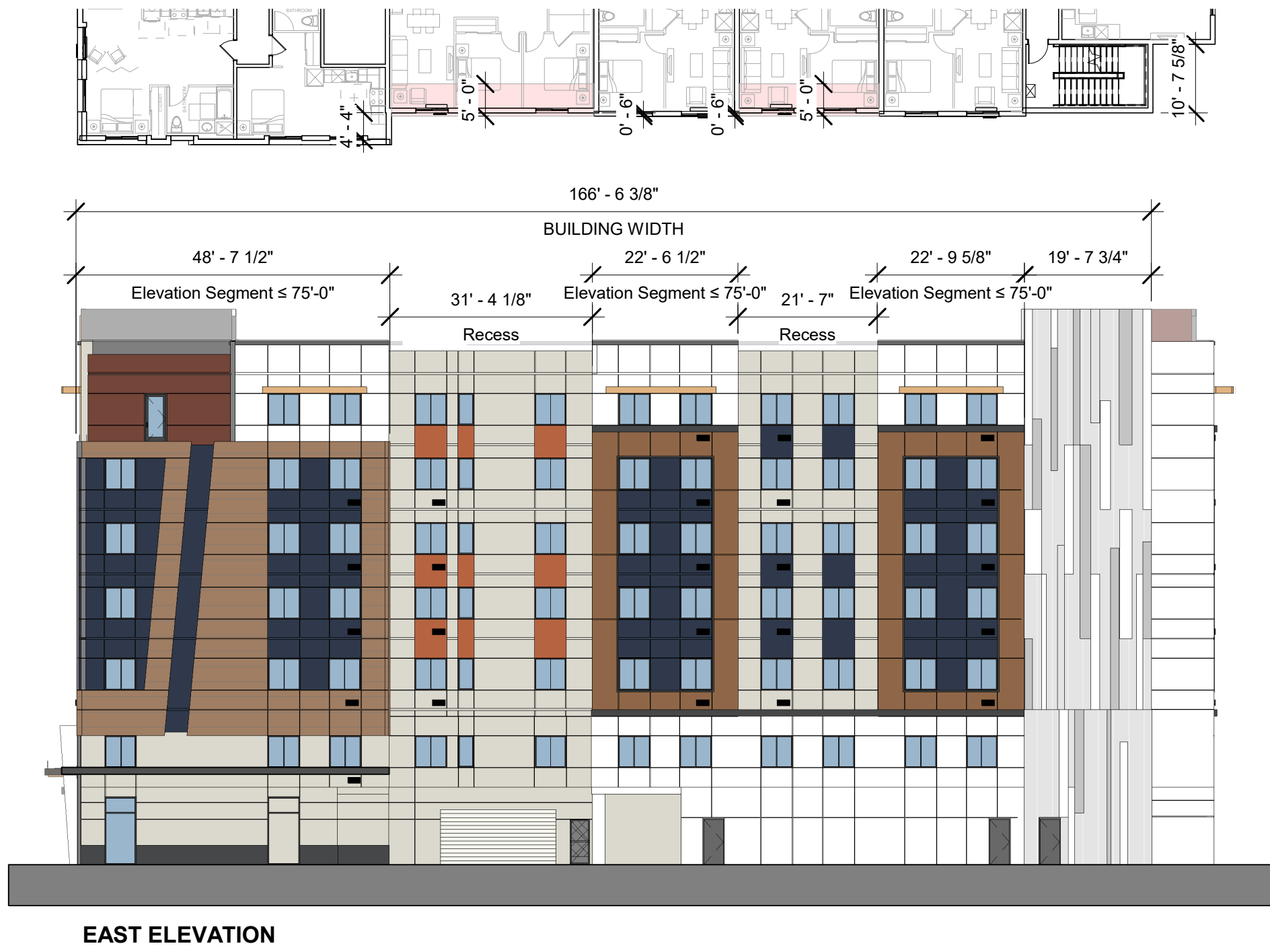
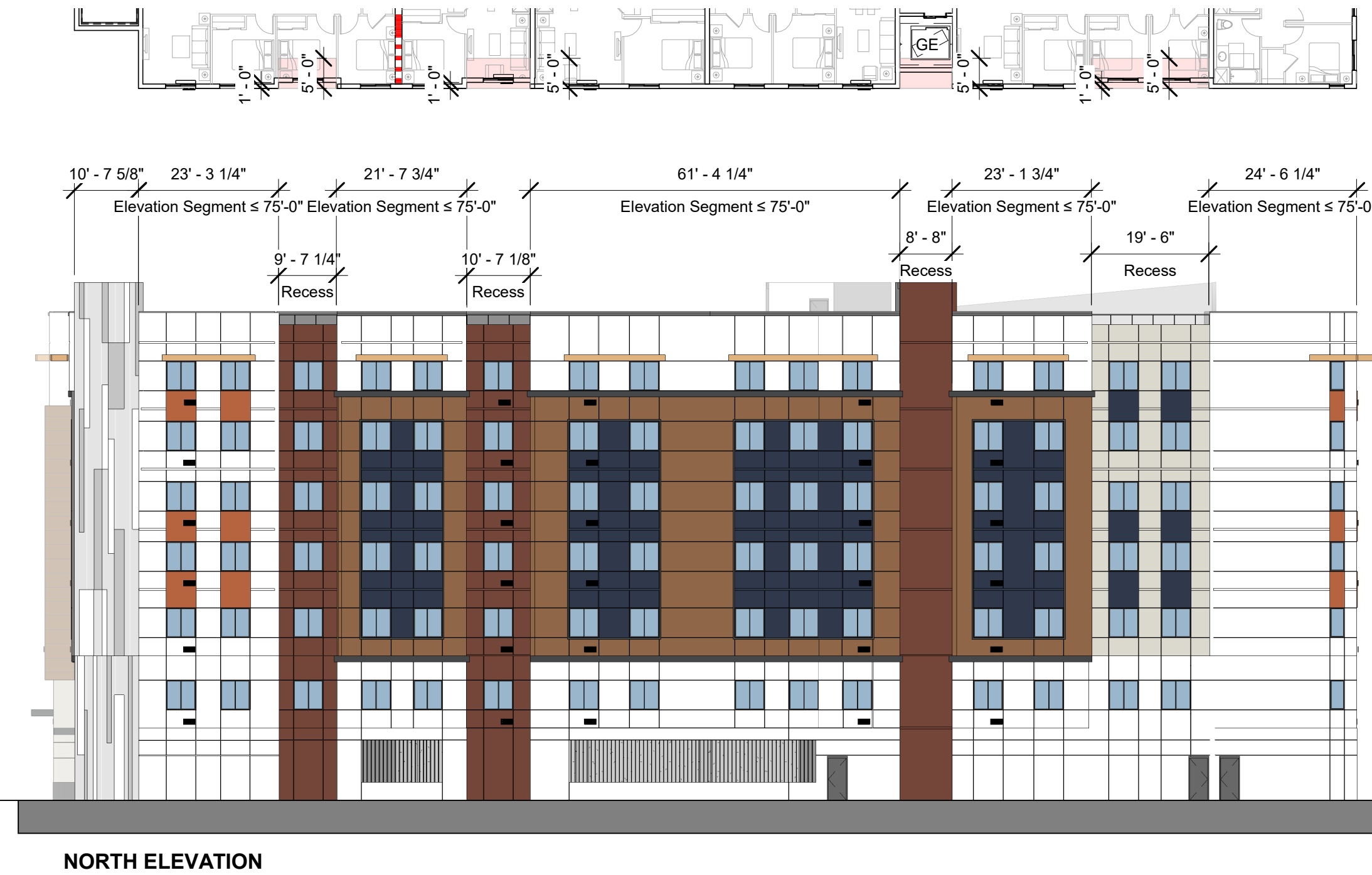
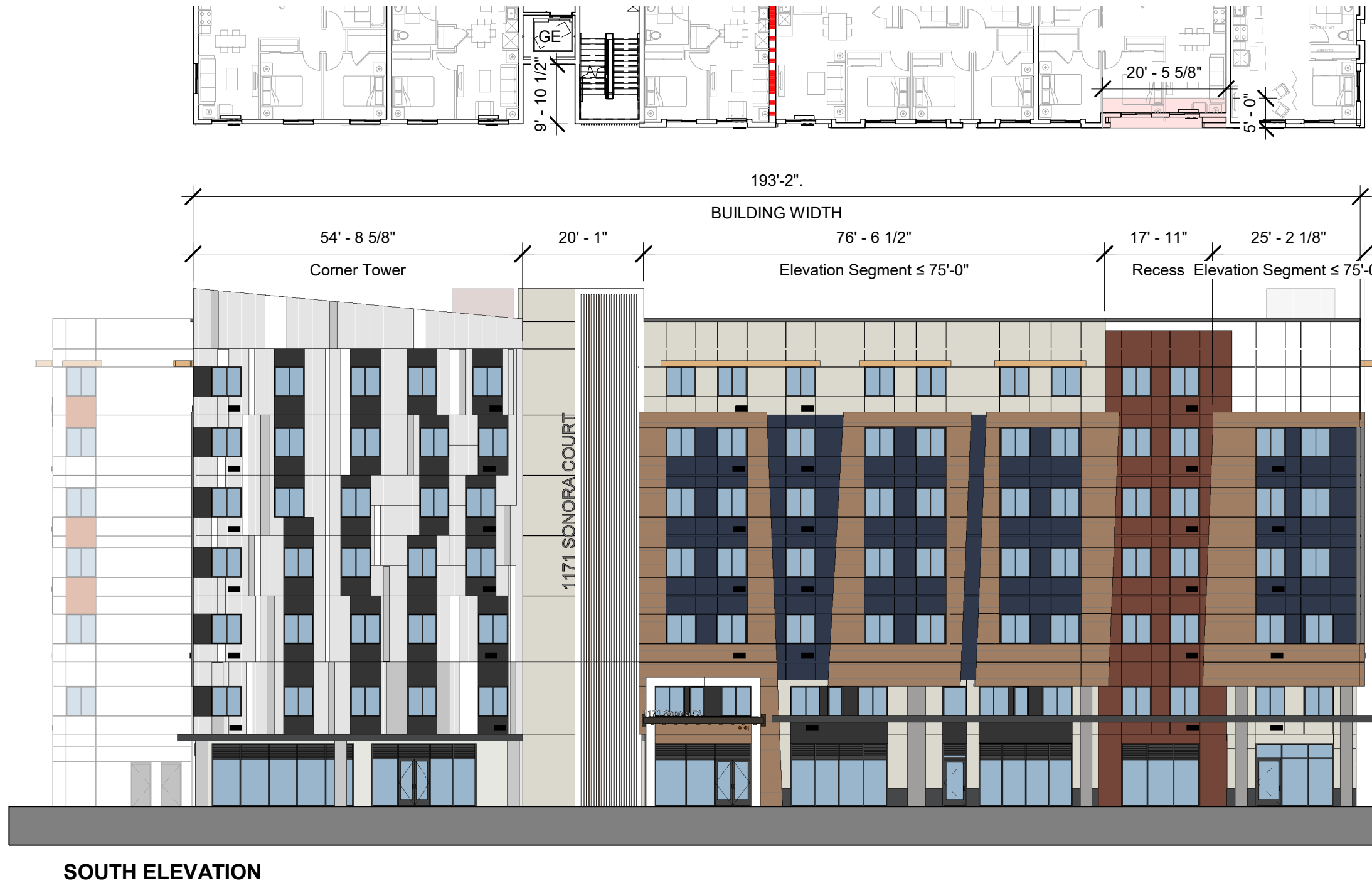
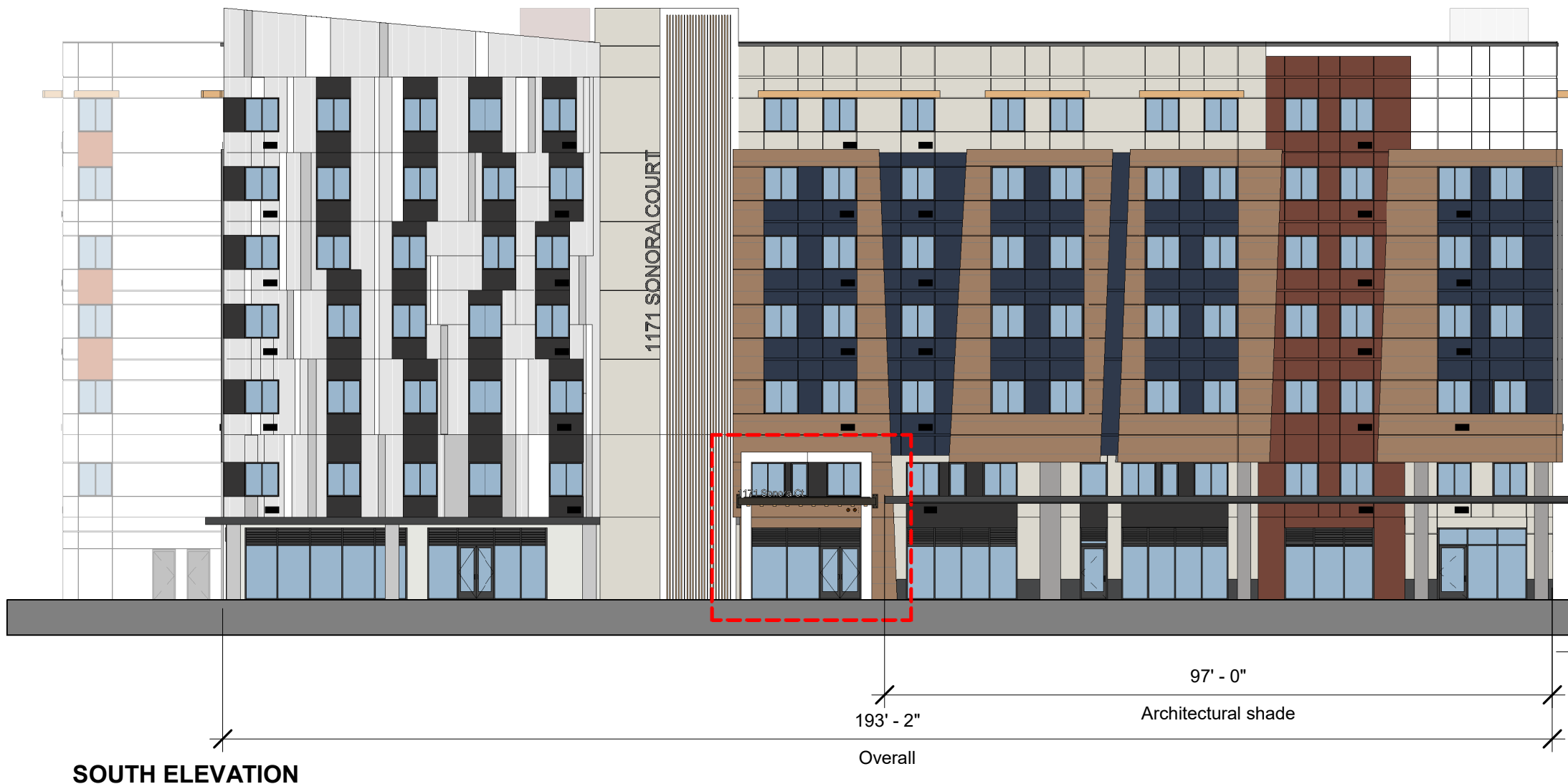


Figure 3-6 Division of building length; 100' or wider mid- and high-rise buildings.



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3.5.1 Mid-Rise and High-Rise Corner Buildings

1. A change in architectural massing of at least 30 feet horizontally on each side of the corner. This change shall be expressed by at least two of the following:

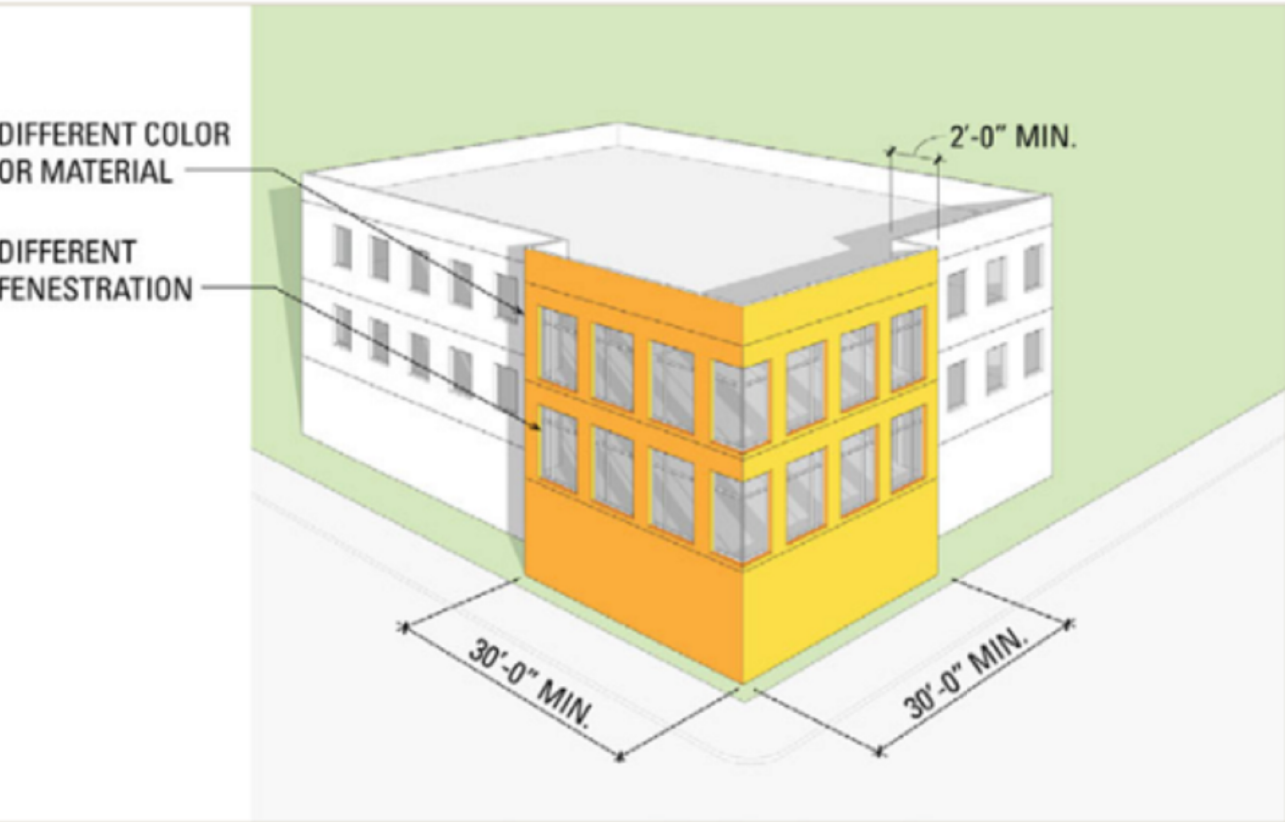


Figure 3-7 Approaches to corner architectural massing.

3.5.1 Mid-Rise and High-Rise Corner Buildings



SOUTH ELEVATION

A change in architectural massing occurs at 54'-8 5/8" and 30' horizontally on south and west.

- Use of different building materials from the main wall plane;
- Contrasting colors from the main wall plane

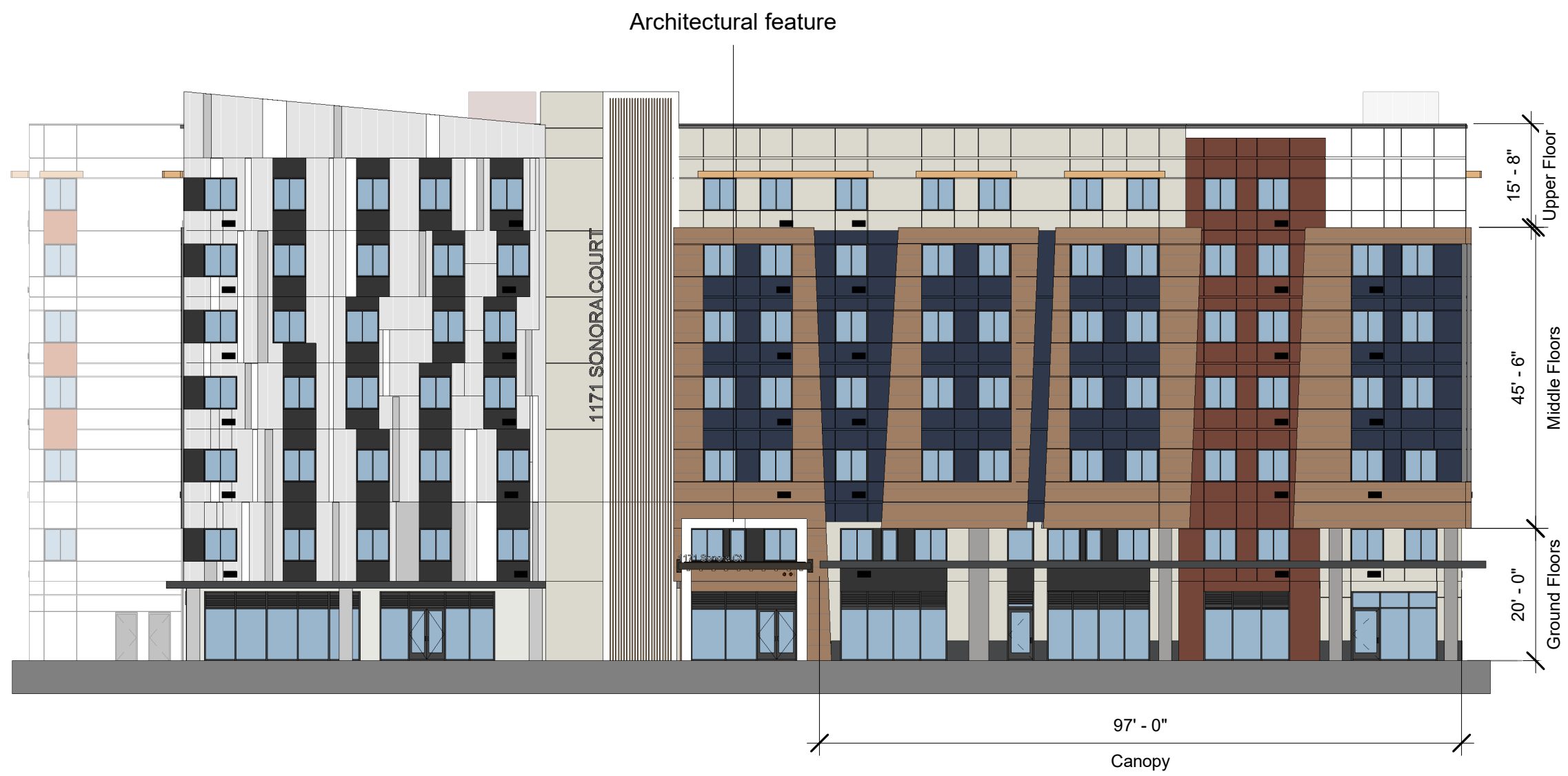


WEST ELEVATION

3.6.2 Mid-Rise and High-Rise Residential Articulation Standards

New mid-rise and high-rise residential development projects shall provide vertical elevation articulation in the form of a well-defined ground floor, a body (middle floors) and a cap (upper floor) to break up the building plane. The ground floor, middle and cap shall have visually distinct design features that adhere to all of the following requirements:

1. The ground floor elevation
 - A line of awnings or canopies over ground floor storefronts or amenity space windows extending at least 75 percent of the elevation width.
2. The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap.
3. The cap/upper floor is at the top of the building (not including any setback or high-rise tower)
 - A change in exterior cladding material at the entirety of the top story that is different than the story below, effectively using the top story as a wall cap.
4. Architectural features marking main entries to buildings may extend above the ground floor.
5. Vertical elements such as towers are not required to adhere to these standards.



SOUTH ELEVATION

1. The ground floor elevation canopies width:
75% of the building elevation: $54'-10" + 97'-0" = 151'-10"$
 $193'-2" \times 75\% = 144'-10 \frac{1}{2}"$

$151'-510" > 144'-10 \frac{1}{2}"$

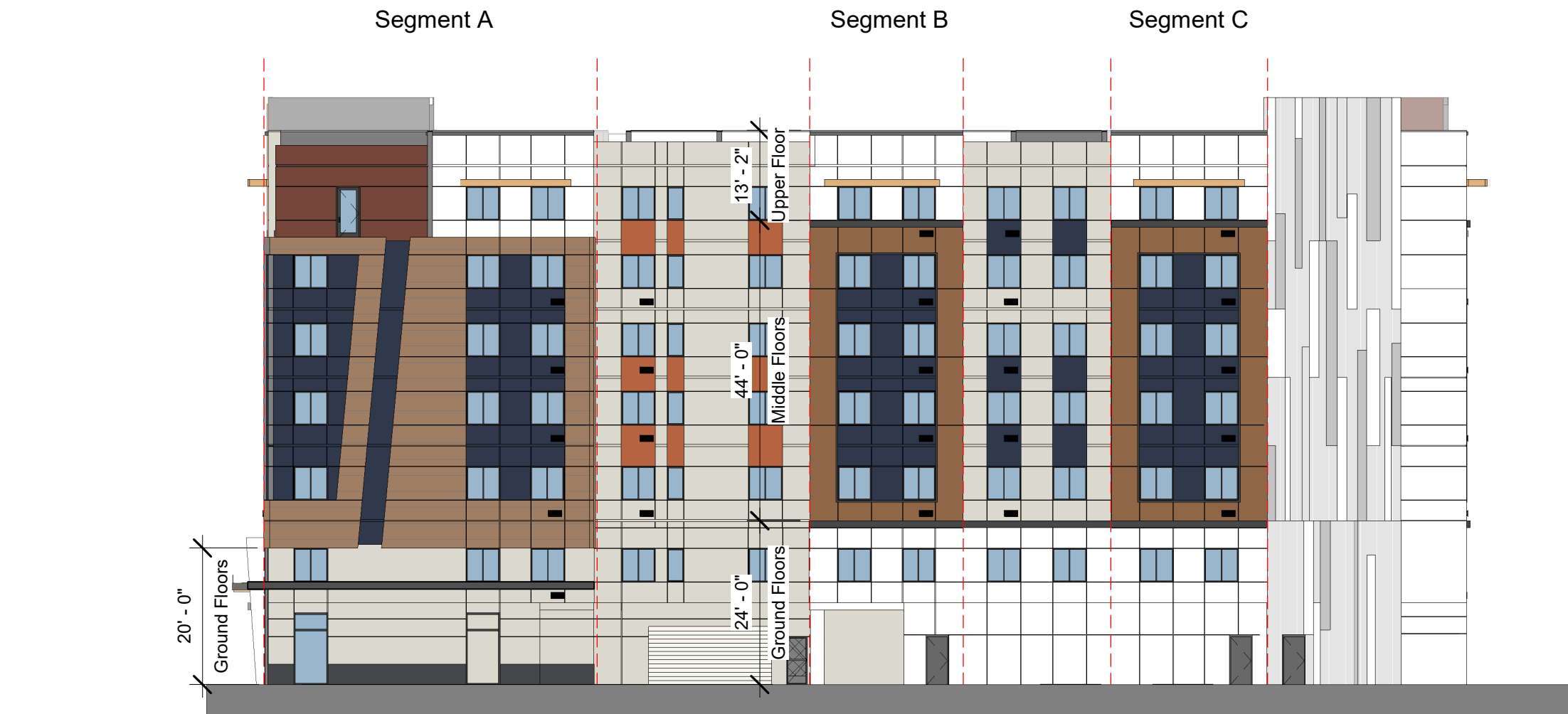
Complies with
"A line of awnings or canopies over ground floor storefronts or amenity space windows extending at least 75 percent of the elevation width."

2. Vertical dimension
Middle/Body floors: 45'-6"
Ground floors: 20'-0"
Upper floor: 15'-8"

Complies with
"The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap."

4. Architectural feature

Complies with
"Architectural features marking main entries to buildings may extend above the ground floor."



EAST ELEVATION

2. Vertical dimension
Segment A: Middle/Body floors: 45'-6"
Ground floors: 20'-0"
Upper floor: 15'-8"

Segment B & C: Middle/Body floors: 44'-0"
Ground floors: 24'-0"
Upper floor: 13'-2"

Complies with
"The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap."



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City of Sunnyvale Citywide Objective Design Standards

3.6.2 Mid-Rise and High-Rise Residential Articulation Standards

New mid-rise and high-rise residential development projects shall provide vertical elevation articulation in the form of a well-defined ground floor, a body (middle floors) and a cap (upper floor) to break up the building plane. The ground floor, middle and cap shall have visually distinct design features that adhere to all of the following requirements:

1. The ground floor elevation
 - A line of awnings or canopies over ground floor storefronts or amenity space windows extending at least 75 percent of the elevation width.
2. The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap.
3. The cap/upper floor is at the top of the building (not including any setback or high-rise tower)
 - A change in exterior cladding material at the entirety of the top story that is different than the story below, effectively using the top story as a wall cap.
4. Architectural features marking main entries to buildings may extend above the ground floor.
5. Vertical elements such as towers are not required to adhere to these standards.



NORTH ELEVATION



WEST ELEVATION

2. Vertical dimension
- Segment A, B & C: Middle/Body floors: 44'-0"
Ground floors: 24'-0"
Upper floor: 13'-2"

Complies with
" The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap. "

2. Vertical dimension

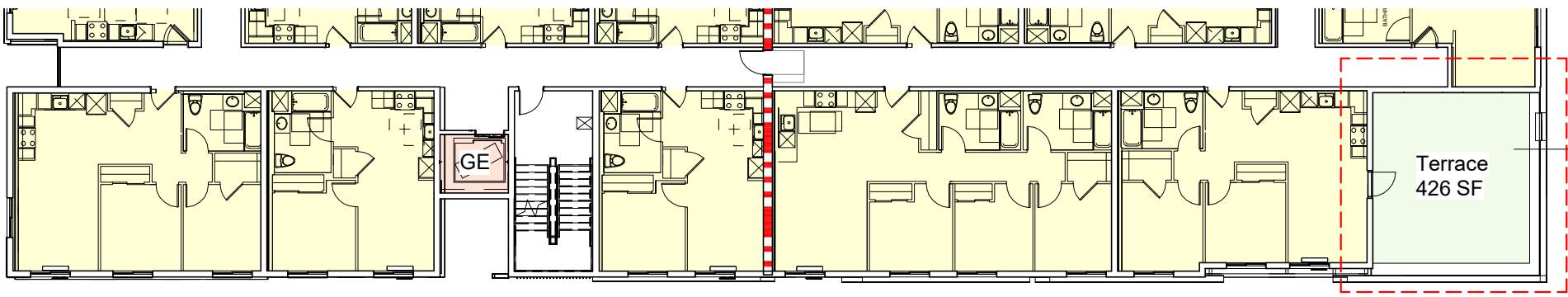
- Segment A& B: Middle/Body floors: 45'-6"
Ground floors: 20'-0"
Upper floor: 15'-8"

Complies with
" The body/middle floor(s) shall have a greater vertical dimension than the ground floor and the cap and shall be a different material, color or texture than either the ground floor or the cap. "

4.2.1.2 Variety in Building Elevation

All building elevations shall incorporate a combination of design strategies from Table 4A to score at least 100 points.

Table 4A. Building Elevation Design Strategies			
	Strategy	Building Detail Element	Points
a.	Window and Entry Articulation	Recess all windows by three and one-half inches or more	30
b.	Window and Entry Articulation	Window size variation – include at least three windows that vary in size from all other windows on each elevation.	20
c.	Elevation Articulation	Include terraces above the first floor, a minimum of 10 feet in all directions and a total of at least 120 square feet in area, with railings that are no more than 42 inches in height, on at least one public street-facing exterior building elevation.	20
d.	Elevation Articulation	A building entry feature of at least two stories.	10
e.	Elevation Articulation	Pilasters or piers extending at least two stories.	10
f.	Elevation Articulation	Incorporation of scoring lines, reveals or expansion joints at least four inches wide at each floor of stucco/cement plaster wall surfaces.	10
Total			100



Terrace on Level 7

- c. Include terraces above the first floor, on Level 7, with dimensions of 19'-9 3/4" by 21'-6 1/4" and an area of 426 square feet. The terraces has railings no more than 42 inches in height and will face Sonora Ct.

- d. The entry feature at the main entry is two-story high



- b. The circled windows on Level 2 vary in size from all the other windows on the south elevation

- f. Incorporation of reveals or expansion joints at least four inches wide at each floor of stucco/cement plaster wall surfaces.

- a. All windows recessed by four inches

*See A 9.0-1 for Recessed Window Conceptual Detail

- e. Pilasters extending two stories.



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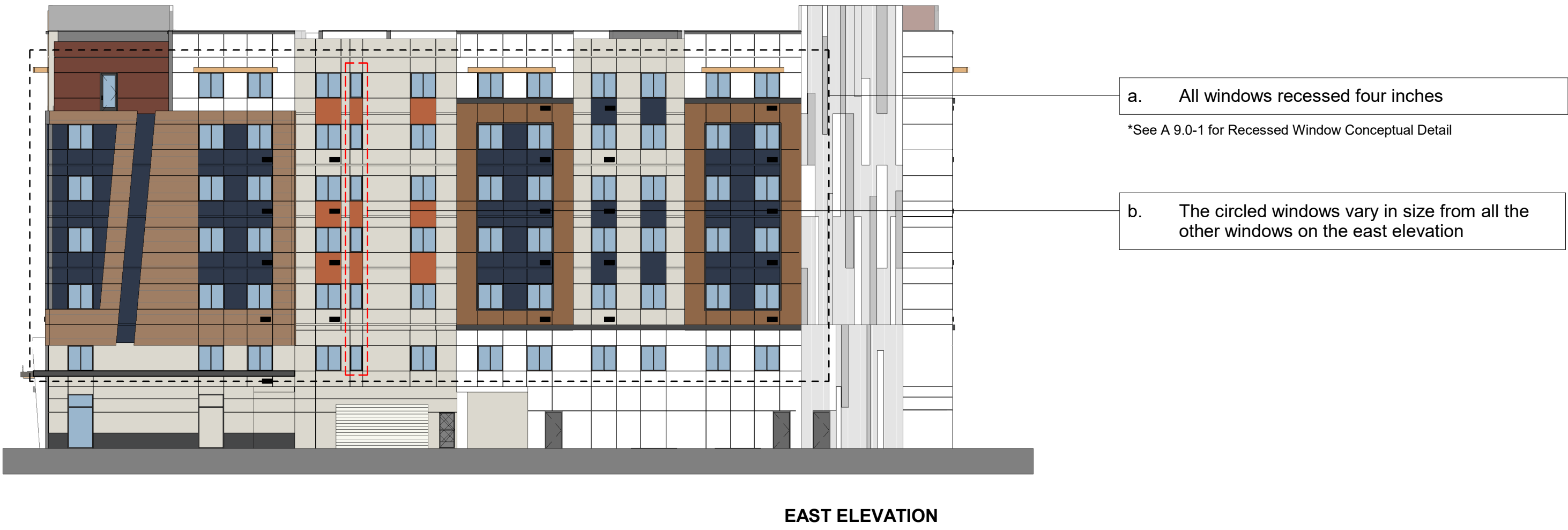
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City of Sunnyvale Citywide Objective Design Standards

4.2.1.2 Variety in Building Elevation

All building elevations shall incorporate a combination of design strategies from Table 4A to score at least 100 points.

Table 4A. Building Elevation Design Strategies			
	Strategy	Building Detail Element	Points
a.	Window and Entry Articulation	Recess all windows by three and one-half inches or more	30
b.	Window and Entry Articulation	Window size variation – include at least three windows that vary in size from all other windows on each elevation.	20
c.	Elevation Articulation	Include terraces above the first floor, a minimum of 10 feet in all directions and a total of at least 120 square feet in area, with railings that are no more than 42 inches in height, on at least one public street-facing exterior building elevation.	20
d.	Elevation Articulation	A building entry feature of at least two stories.	10
e.	Elevation Articulation	Pilasters or piers extending at least two stories.	10
f.	Elevation Articulation	Incorporation of scoring lines, reveals or expansion joints at least four inches wide at each floor of stucco/cement plaster wall surfaces.	10
Total			100



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