



1296 LAWRENCE STATION RD
PLANNING SUBMITTAL 05.04.20



RED INC ARCHITECTS
1211 J STREET, MODESTO, CA 95354
209.522.8400



CALIFORNIA

HOME 2 SUITES
1296 LAWRENCE STATION RD

DESIGN DRAWINGS FOR:

SUNNYVALE

ARCHITECTURAL SHEET INDEX:

- A0.0 COVER SHEET
- A0.1 PROPOSED SITE PLAN
- A0.2 UPPER GARAGE LEVEL
- A0.3A SUN STUDY- AM SHADOW
- A0.3B SUN STUDY- PM SHADOW
- A0.4 PEDESTRIAN AND VEHICULAR PLAN
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- A0.6 ENLARGED ACCESSORY STRUCTURES
- A1.1 FIRST FLOOR PLAN
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- A1.3 THIRD FLOOR PLAN
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- A1.5 SIXTH FLOOR PLAN
- A1.6 TYPICAL ROOMS
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- A2.3 RENDERINGS
- A2.4A STREETScape
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- A3.0 MATERIAL BOARD

CIVIL SHEET INDEX:

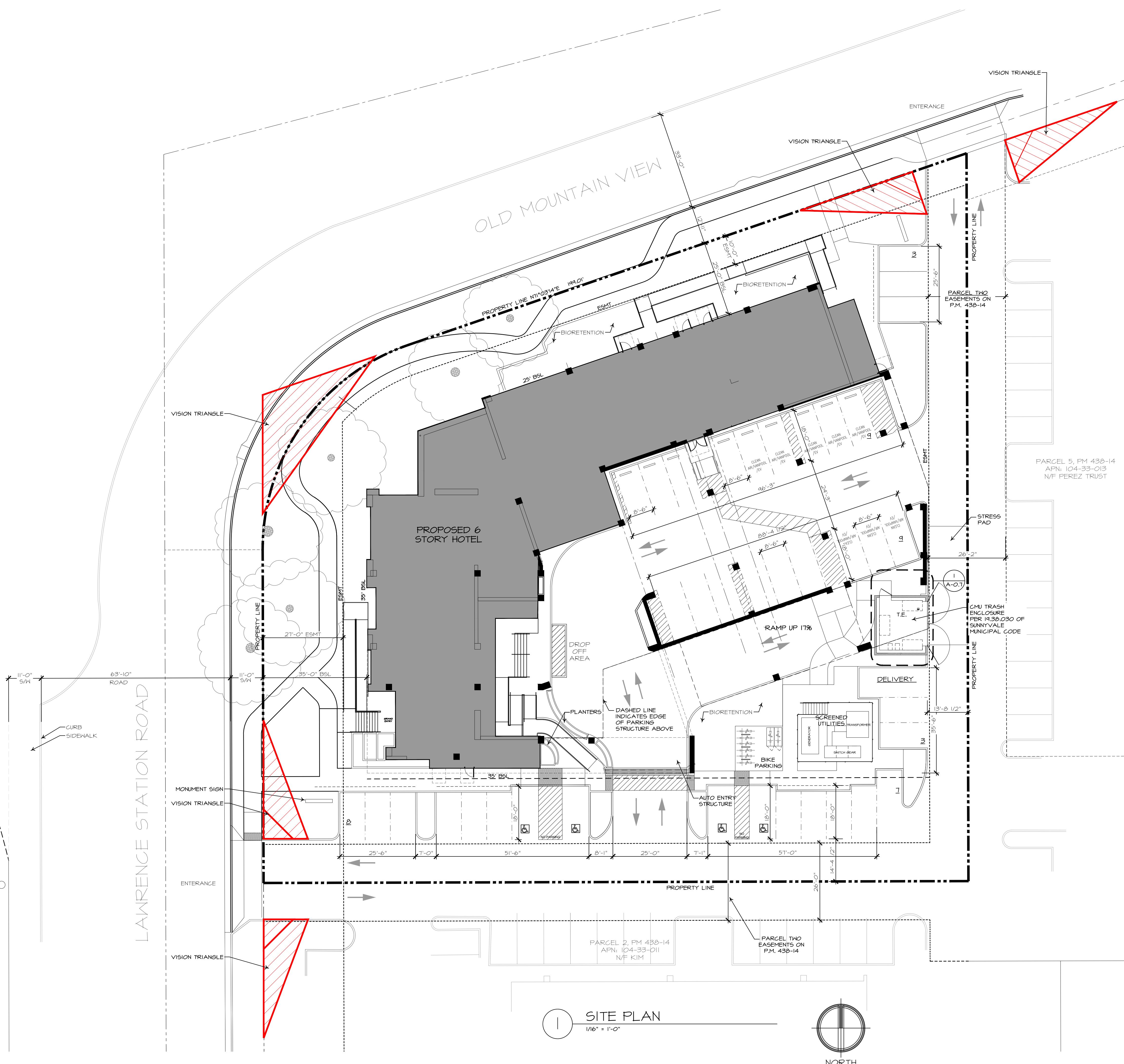
- C-1 PRELIMINARY CIVIL PLANS COVER SHEET
- C-6N1 PRELIMINARY CIVIL SITE IMPROVEMENTS PLAN
- C-6N2 PRELIMINARY STREET SECTIONS
- C-6N3 FIRE TRUCK AND GARBAGE TRUCK SWEEP PLANS AND MISC CIRCULATION
- C-6SW1 PRELIMINARY GRADING AND STORM-WATER MANAGEMENT PLAN
- C-U1 PRELIMINARY UTILITY PLAN
- C-D1 PRELIMINARY STORM WATER MANAGEMENT DETAILS
- C-D2 PRELIMINARY STORM WATER MANAGEMENT DETAILS
- S-V1 TOPO SURVEY
- SE1.0 PHOTOMETRIC PLAN
- PGE-1 PG&E UTILITY SURVEY

LANDSCAPE SHEET INDEX:

- PL-1 PRELIMINARY LANDSCAPE PLAN
- PL-2 PRELIMINARY ROOF GARDEN PLAN
- PL-3 TREE SHADING PLAN

APN # 104-33-12
DATE: 05.04.20
DRAWN: C.G.
CHECKED: D. BURKETT

A-0.0



1 SITE PLAN
1/16" = 1'-0"



BUILDING DATA:	
HOME 2 SUITES BY HILTON:	
MAIN LEVEL	9,171 S.F.
2ND FLOOR	9,023 S.F.
3RD FLOOR	15,365 S.F.
4TH FLOOR	15,408 S.F.
5TH FLOOR	15,408 S.F.
6TH FLOOR	15,408 S.F.
TOTAL ENCLOSED AREA	80,384 S.F.
GARAGE:	
1ST LEVEL	11,371 S.F.
2ND LEVEL	10,576 S.F.
TOTAL GARAGE	23,566 S.F.
ACCESSORY STRUCTURES:	
TRASH ENCLOSURE	191 S.F.
LOT COVERAGE:	
PROPOSED BUILDINGS - (INCLUDES ACCESSORY STRUCTURES)	21,308 S.F.
BUILDING LOT COVERAGE	44.1%
LANDSCAPE AREA	23.5%
PARKING ANALYSIS:	
TOTAL PARKING REQUIRED:	
ROOMS / SUITES: 128 GUESTROOMS (x 0.8 = 103 REQUIRED)	
PARKING PROVIDED:	
GARAGE	60
INCLUDING 8 CLEAN AIR VEHICLES (PER 5106.52)	
VEHICLES IN LIFT 2:	16
STANDARD ACCESSIBLE	4
TOTAL PARKING SPACES PROVIDED	80
BICYCLE SHORT TERM PARKING	
BICYCLE LONG TERM PARKING	2
OPEN AIR PARKING STALLS	
STALLS IN PARKING STRUCTURE (LOWER & UPPER)	20
	60
SITE DATA:	
SITE LOCATION:	1296 LAWRENCE STATION RD SUNNYVALE, CA
SITE AREA:	48,252 SQ. FT. OR 1.108 ACRES
CURRENT ZONING:	M-5
SITE PARCEL INFO	104-33-012 PARCEL ONE, P.M. 430-14
JURISDICTION: CITY OF SUNNYVALE	
CONSTRUCTION TYPE: IA (GARAGE AND 1ST FLOOR) IIIA (2ND THROUGH 6TH FLOOR)	
OCCUPANCY TYPE: SERVICE HOSPITALITY RI, B, S2	
APPLICABLE CODES: 2016 C.B.C., C.P.C., C.M.C., C.E.C., C.F.C., C.G.C. AND ALL APPLICABLE STATE AND LOCAL REQUIREMENTS	

LEGEND	
---	PROPERTY LINE
---	EASEMENT (ESMT)
---	SETBACK (BSL)
---	VISION TRIANGLES



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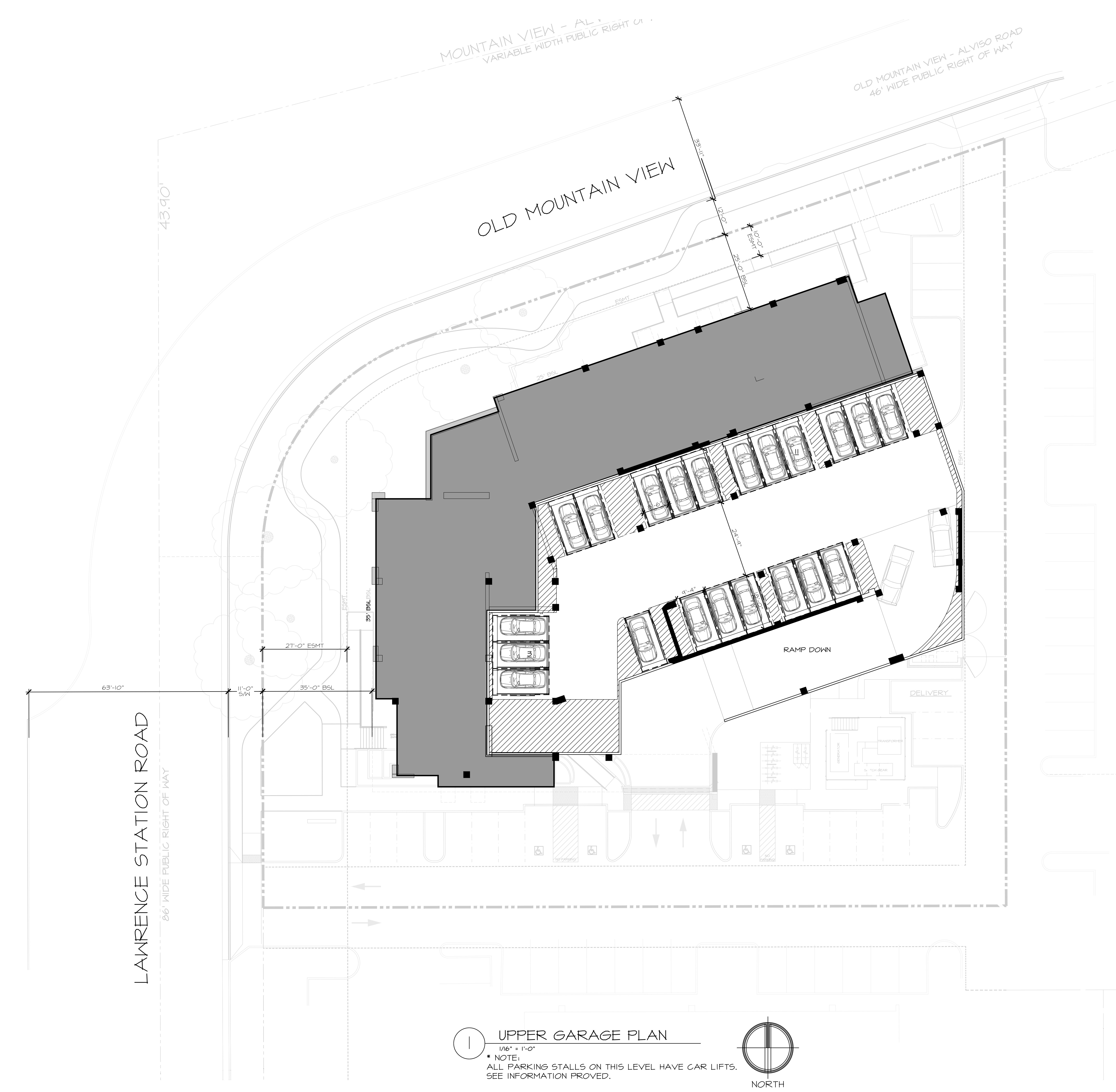


DESIGN DRAWINGS FOR:
HOME 2 SUITES
1296 LAWRENCE STATION RD
SUNNYVALE
CALIFORNIA

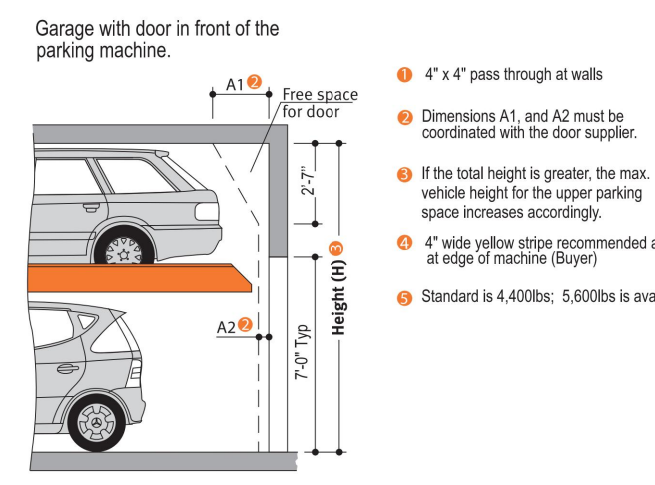
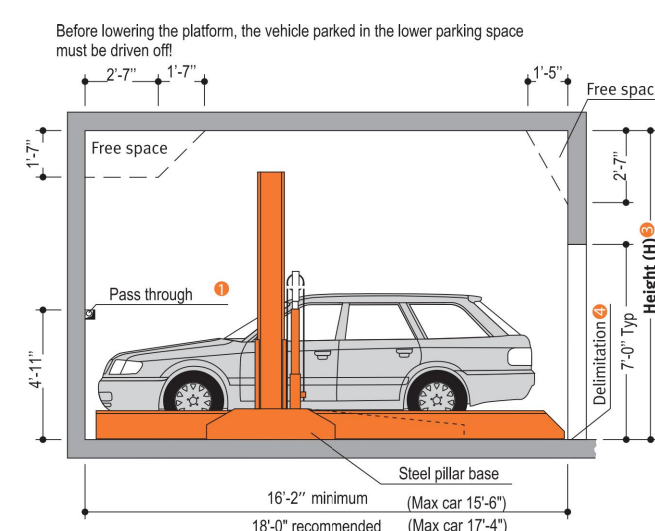
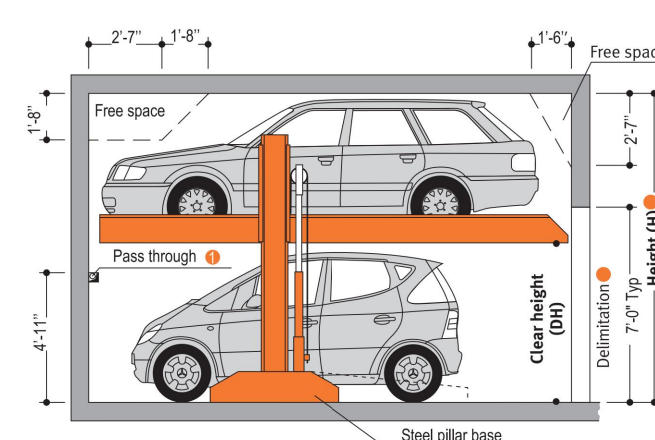
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A-O.1

0 1/4" = 1' - SCALE ACCORDINGLY
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CAR LIFT SPECIFICATION



Product Data
Singleverto
G61

Available up to 5,600 lbs
A system for any height

CE

DIMENSIONS
All space requirements are minimum
framed dimensions. Spacings are
clear. Load & stress zone.

TYPE	H	DLT**
2061-160	10'-6"	5'-3"
2061-170*	10'-10"	5'-7"
2061-180	11'-2"	5'-11"
2061-190	11'-6"	6'-3"
2061-200	11'-10"	6'-7"
2061-210	12'-2"	6'-11"

SUITABLE FOR: * without car
** without car

CAR HEIGHT

TYPE	H	UPPER	LOWER
2061-160	10'-6"	4'-11"	4'-11"
2061-170	10'-10"	4'-11"	5'-3"
2061-180	11'-2"	4'-11"	5'-7"
2061-190	11'-6"	4'-11"	5'-11"
2061-200	11'-10"	4'-11"	6'-3"
2061-210	12'-2"	4'-11"	6'-7"

WIDTH 6'-3"

WEIGHT Max. 4400/5600 LBS

WHEEL LOAD Max. 1100/1375 LBS

Standard passenger car
Standard station wagon/SUV
Standard passenger cars are vehicles
without any sports options such as
spoilers, low profile tires etc.

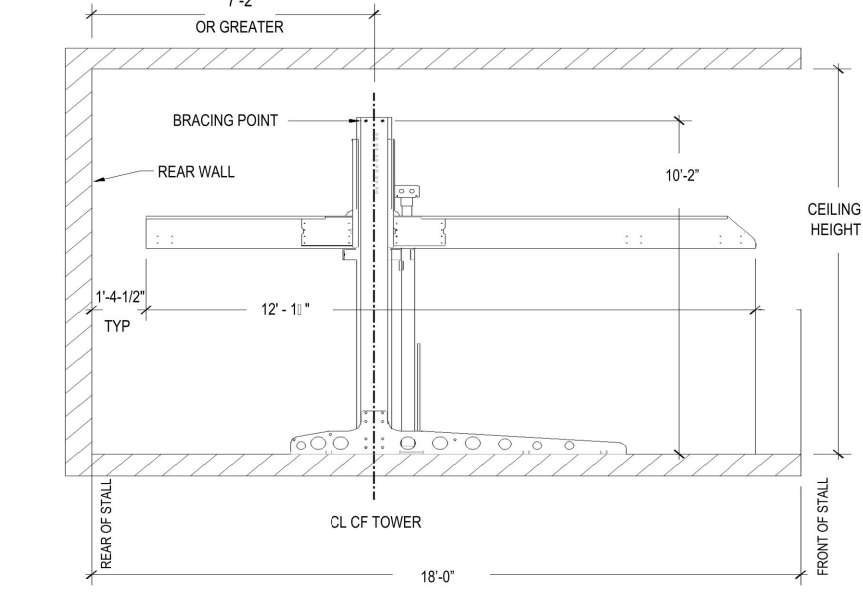
KLAUS
multiparking
KLAUS MULTIPARKING INC
3652A CHESTNUT STREET
LAFAYETTE, CA 94549
Phone: 925-284-2002
Fax: 925-284-2005
WEB: klaus.com

FUNCTION



PLEASE NOTE: THE LOWER CAR MUST BE MOVED BY A PERSON TO LOWER THE UPPER CAR

SEISMIC BRACING IS DONE AT THE TOP OF THE TOWER



LEGEND
--- MECHANICAL LIFT



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DESIGN DRAWINGS FOR:
SUNNYVALE

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A-0.2

0 1/4" 1/2" 1" 2"

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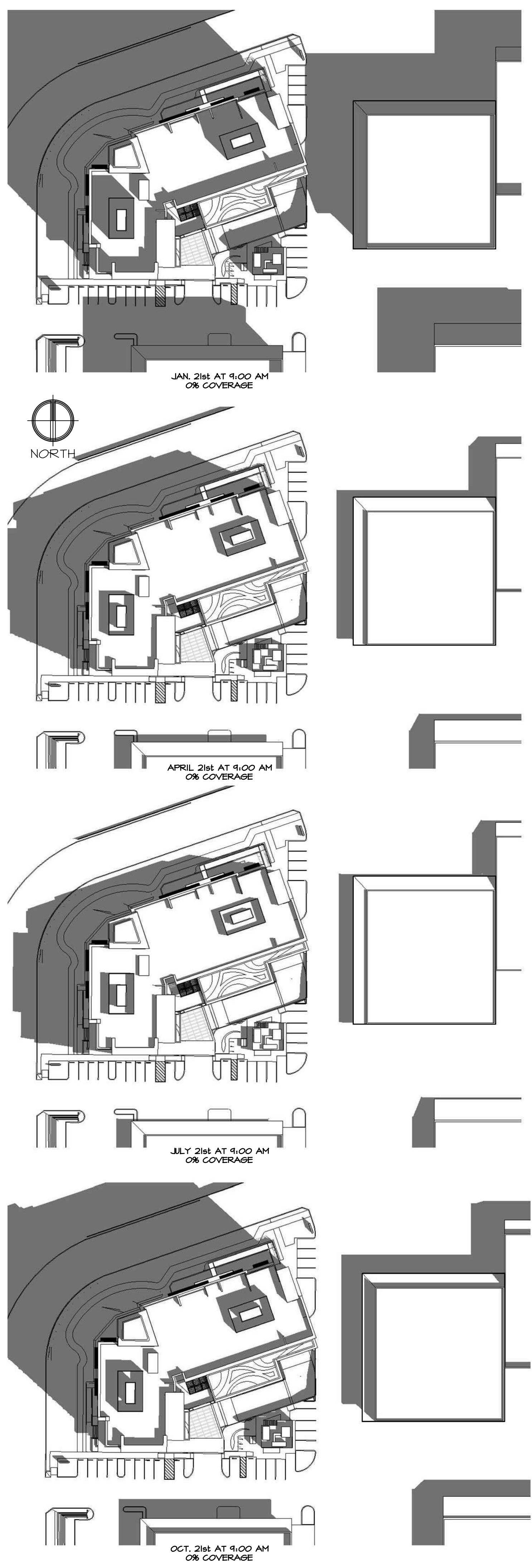


TABLE I

MONTH	3PM SHADOW AREA (%)
01 JAN	0%
02 FEB	0%
03 MAR	0%
04 APR	0%
05 MAY	0%
06 JUN	0%
07 JUL	0%
08 AUG	0%
09 SEP	0%
10 OCT	0%
11 NOV	0%
12 DEC	0%
CUMULATIVE SHADOW AREA:	0% <10%

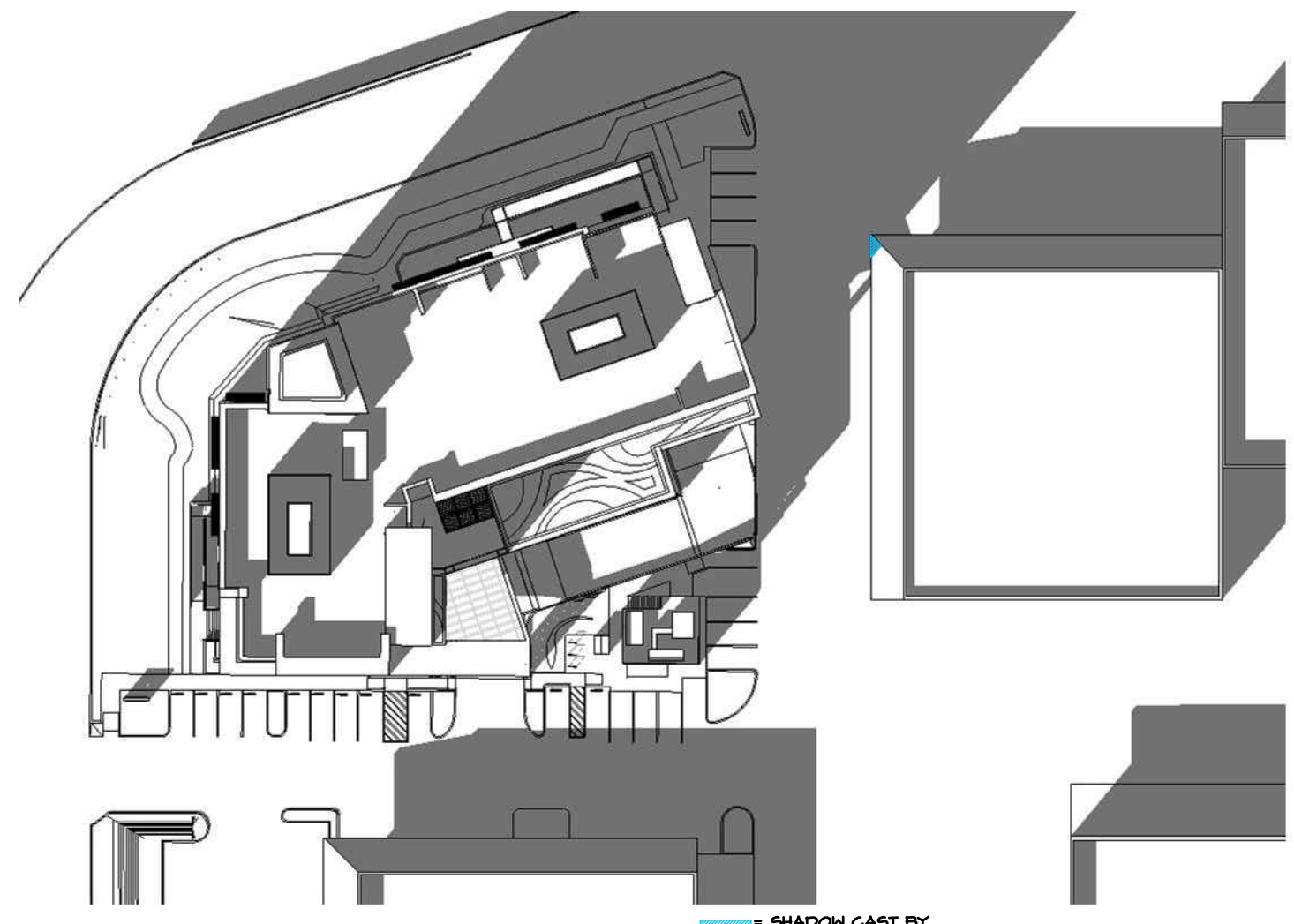
NOTE: PER SMC 1456.020 SOLAR ENERGY SYSTEMS, THE SOLAR SHADING ANALYSIS SHALL SHOW THE EXTENT TO WHICH THE PROPOSED CONSTRUCTION WILL SHADE ADJACENT ROOFTOPS AND SOLAR COLLECTORS AT NINE A.M. AND THREE P.M. PACIFIC TIME ON DECEMBER 21ST.

SCALE: 1"=60'-0"

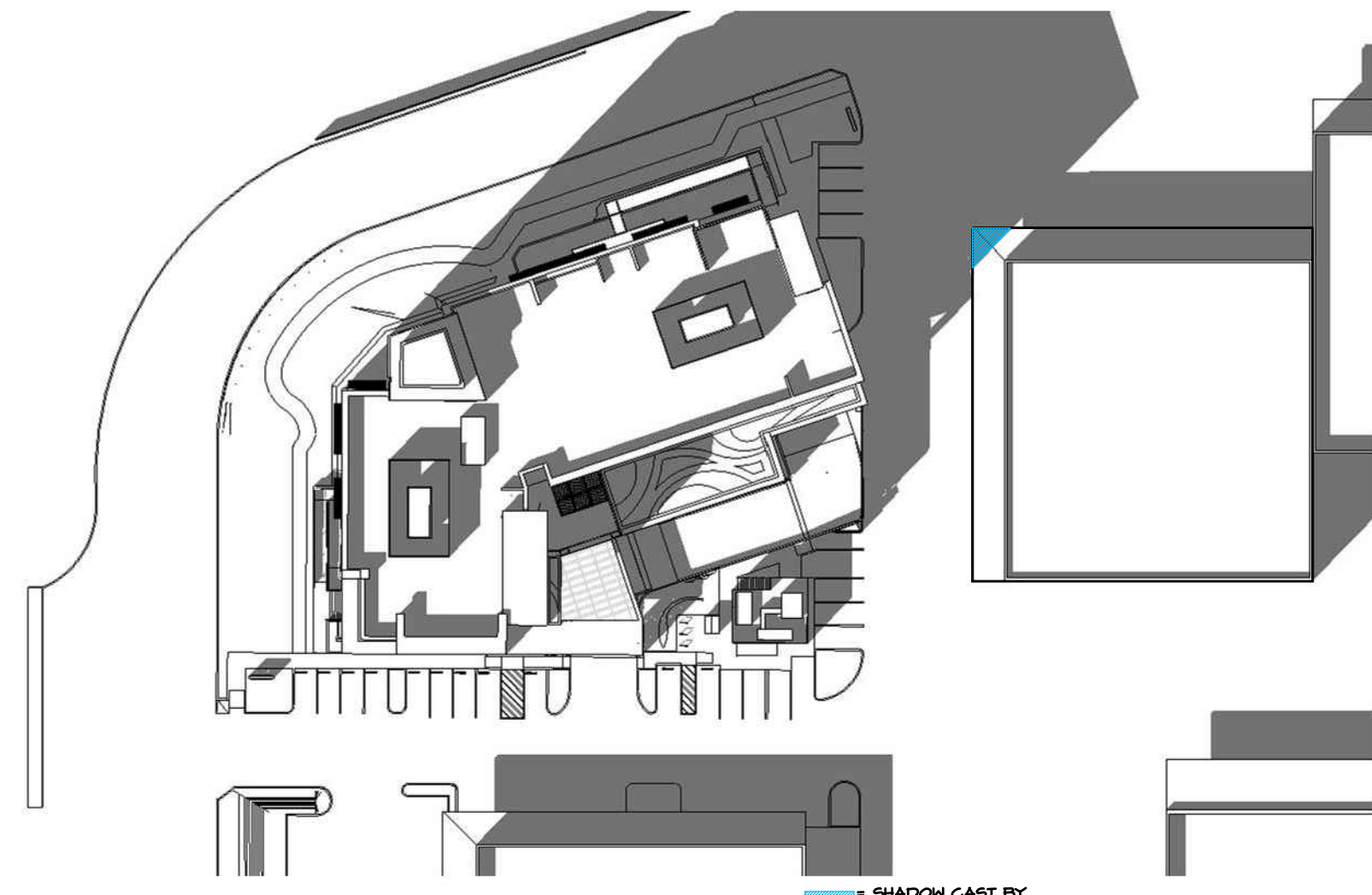
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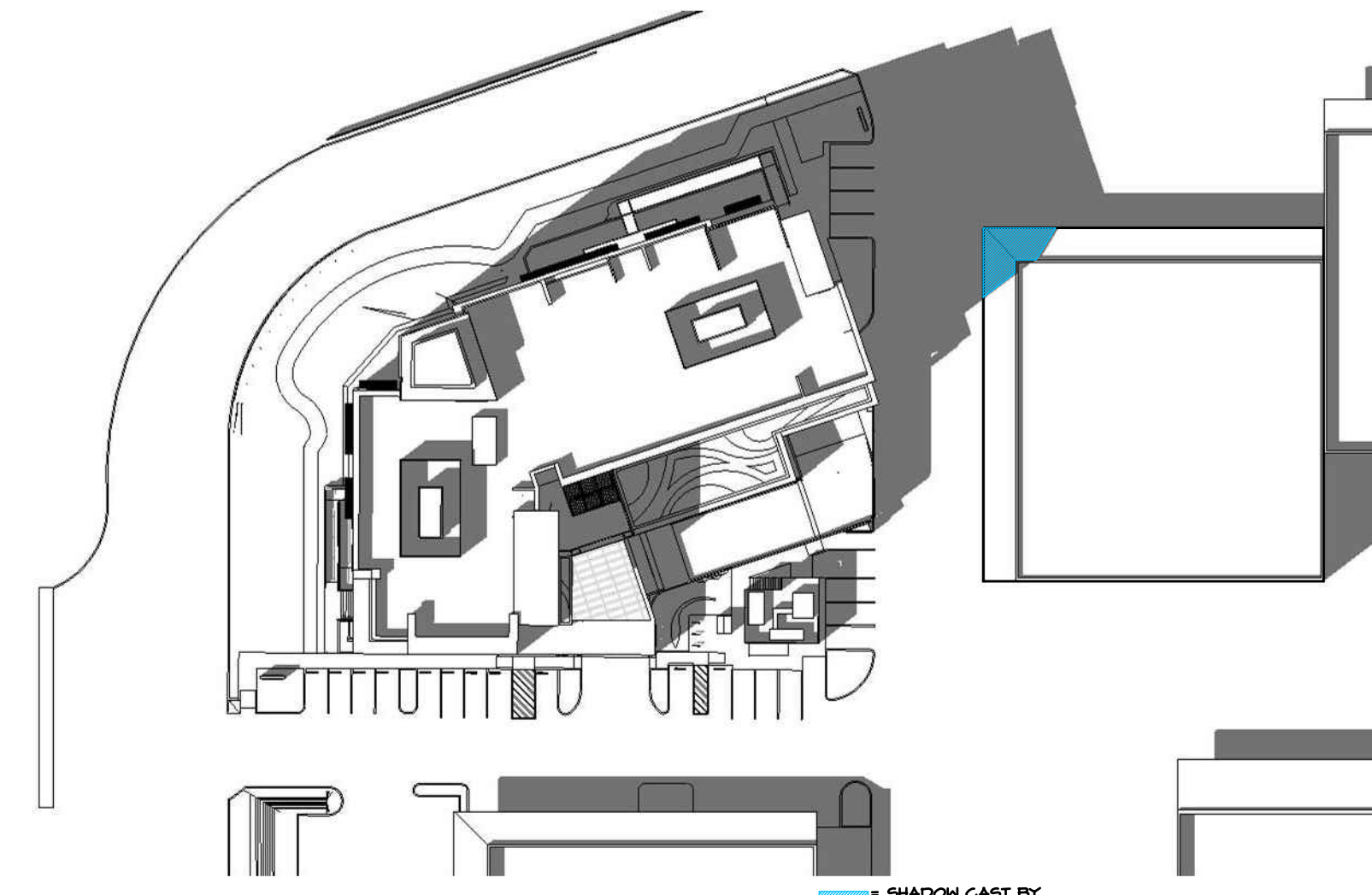
A-0.3a



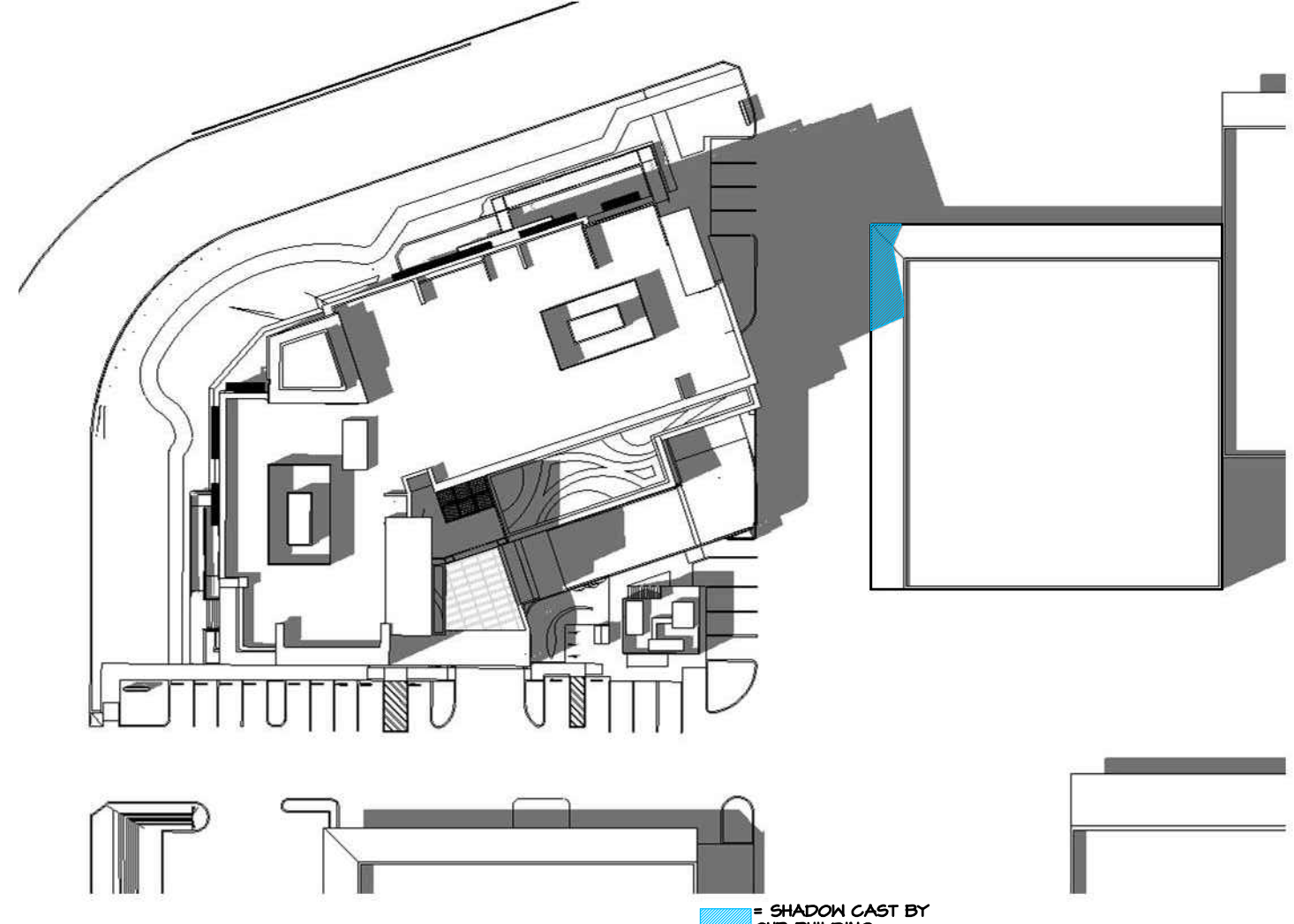
SHADOW CAST BY OUR BUILDING



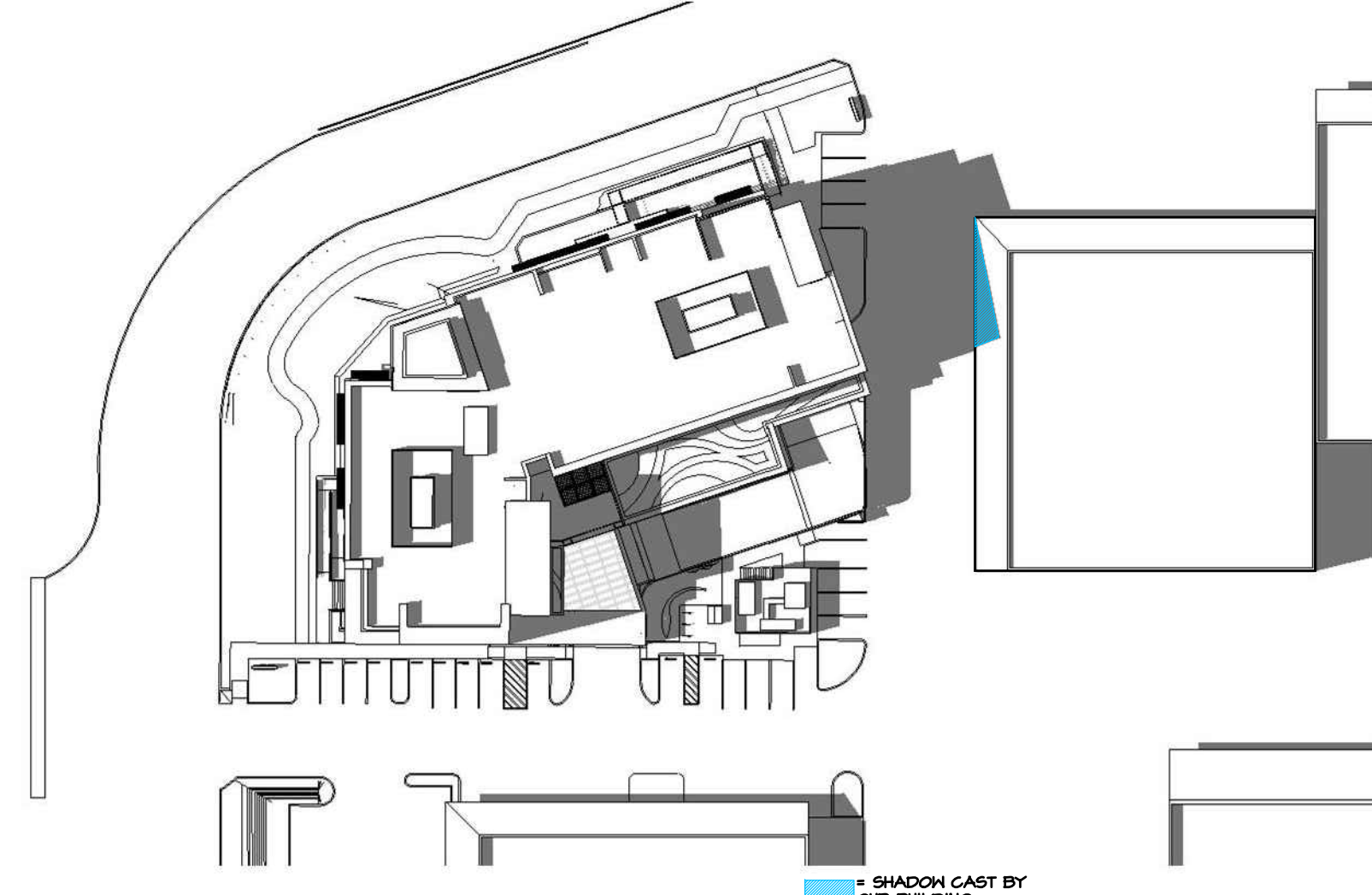
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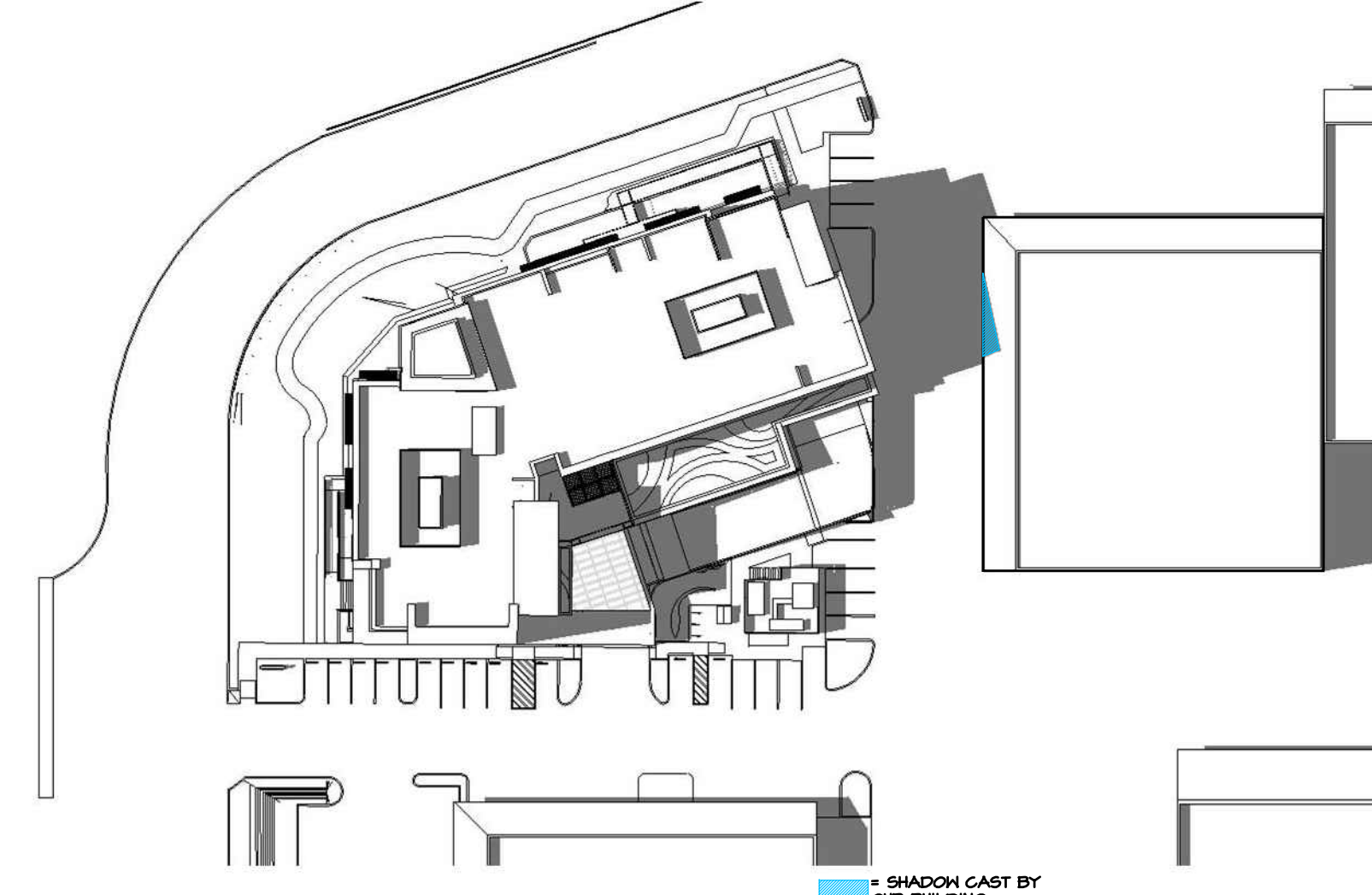
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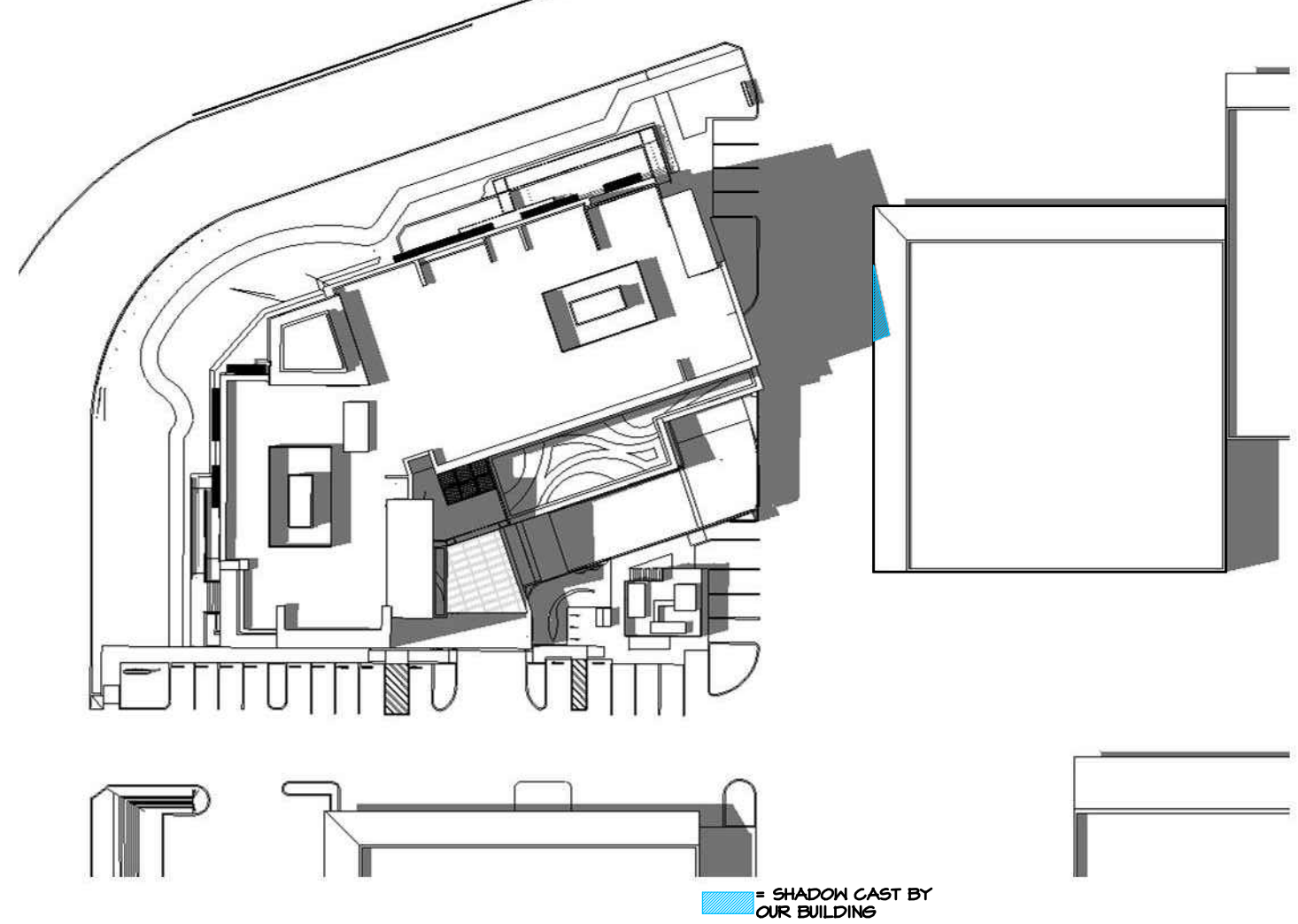
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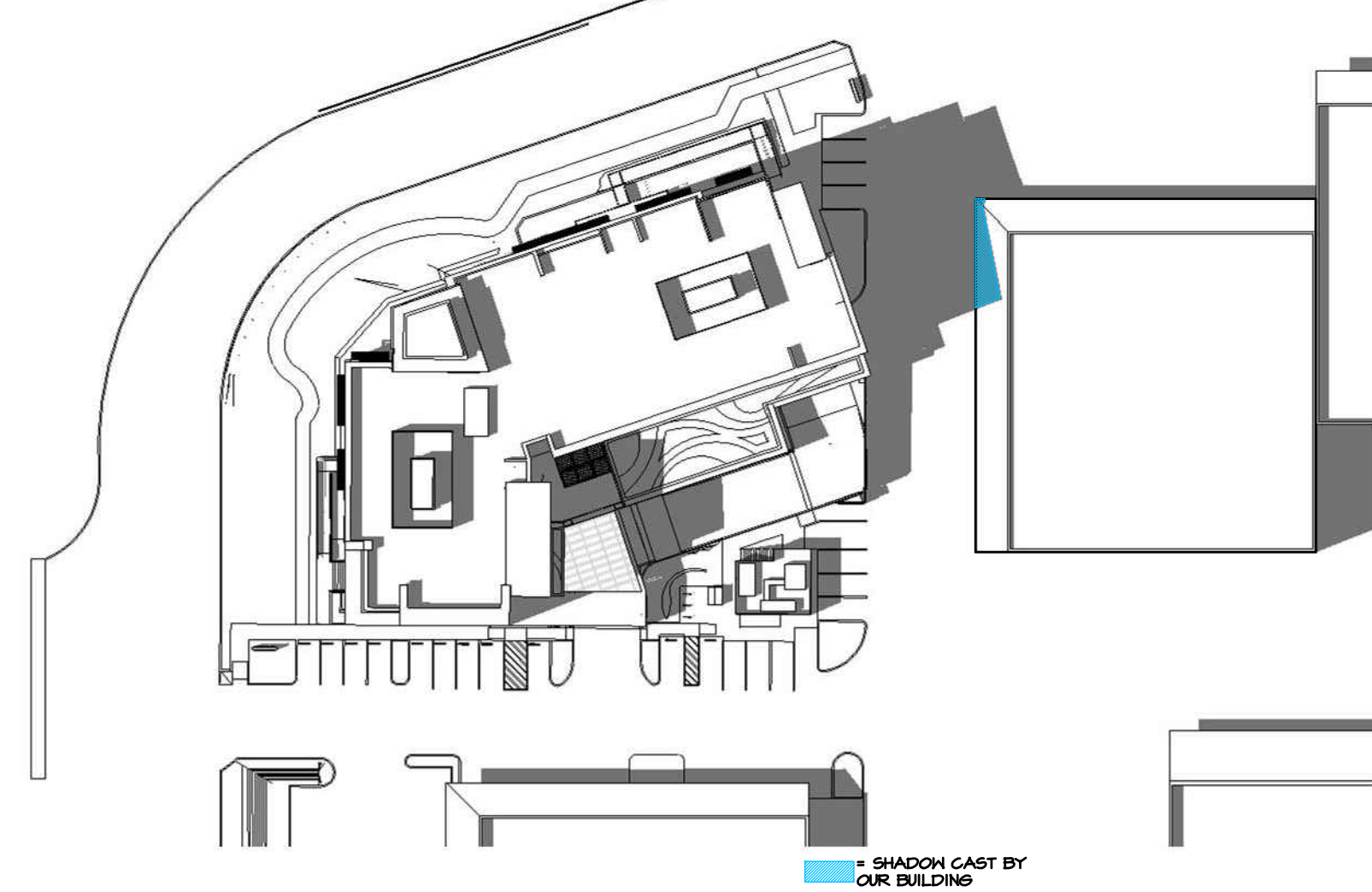
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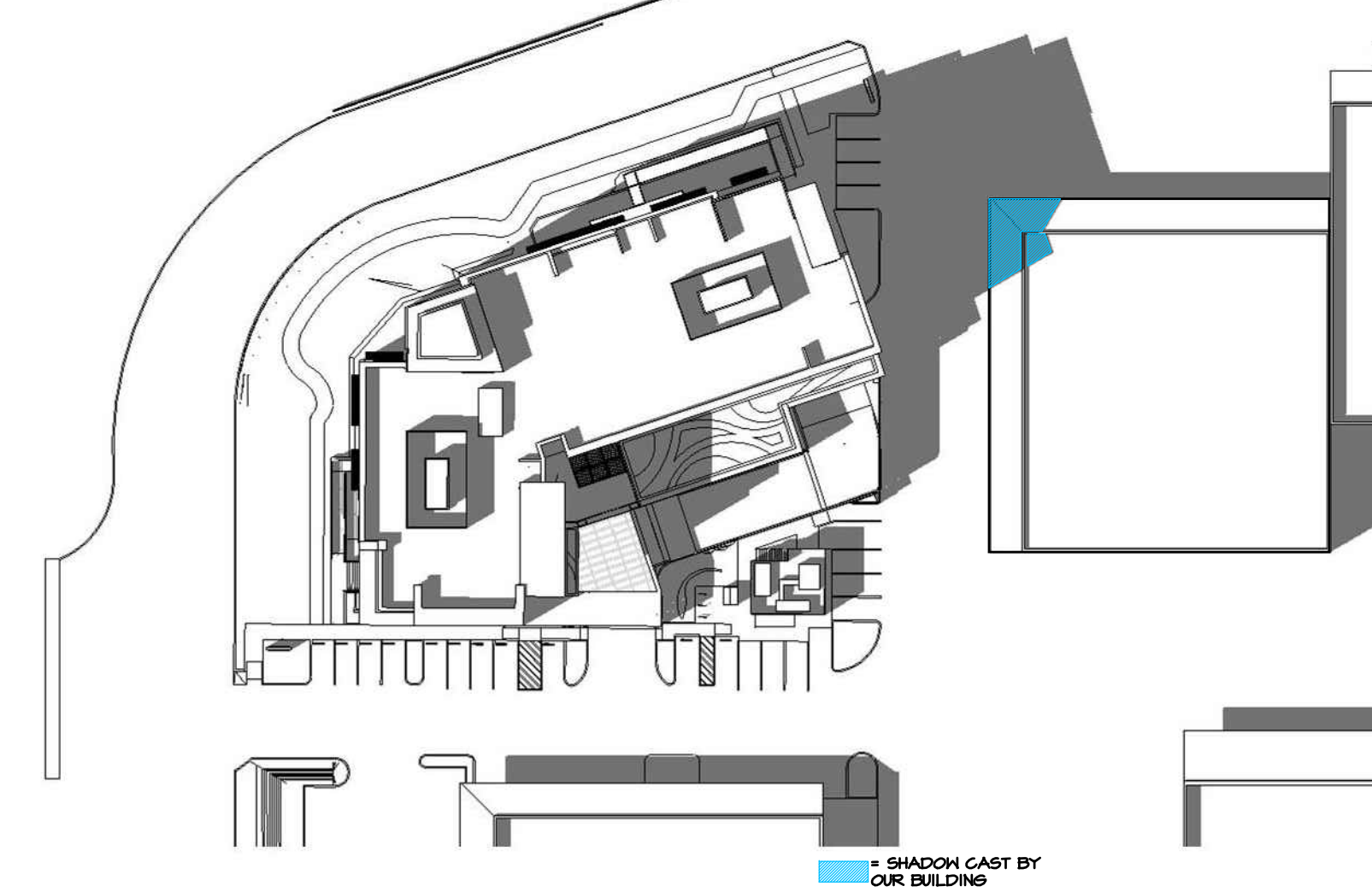
SHADOW CAST BY OUR BUILDING



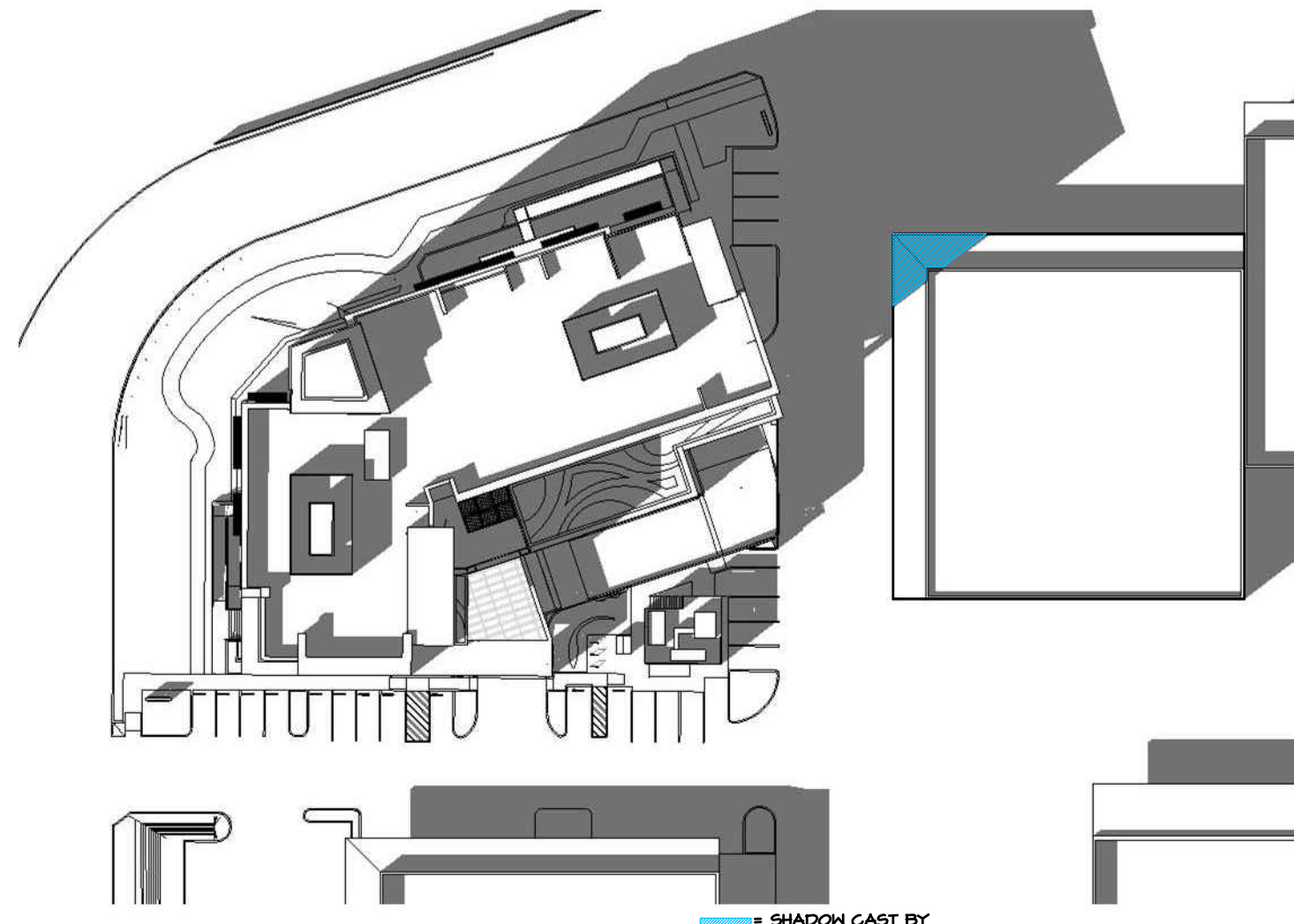
SHADOW CAST BY OUR BUILDING



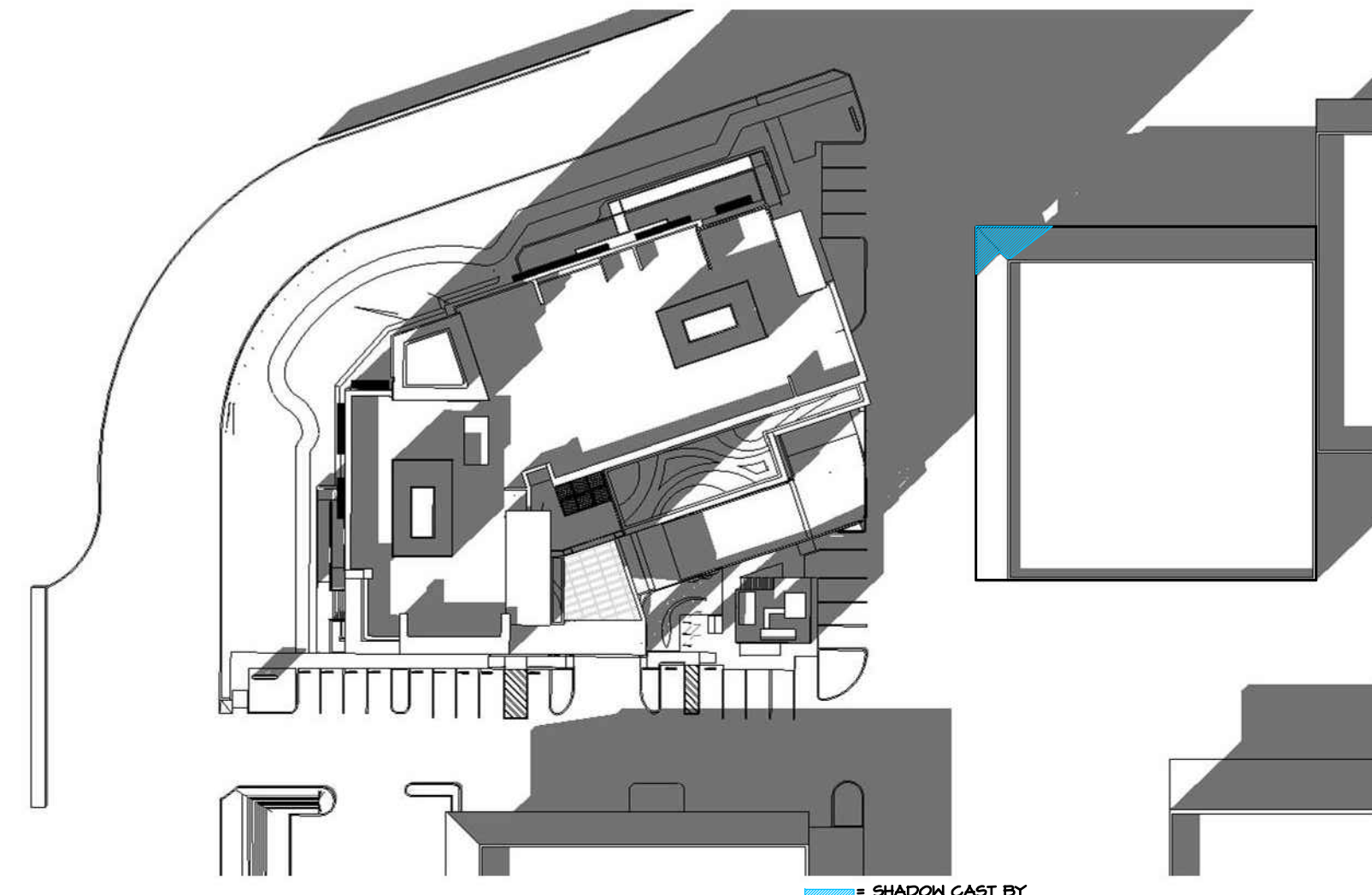
SHADOW CAST BY OUR BUILDING



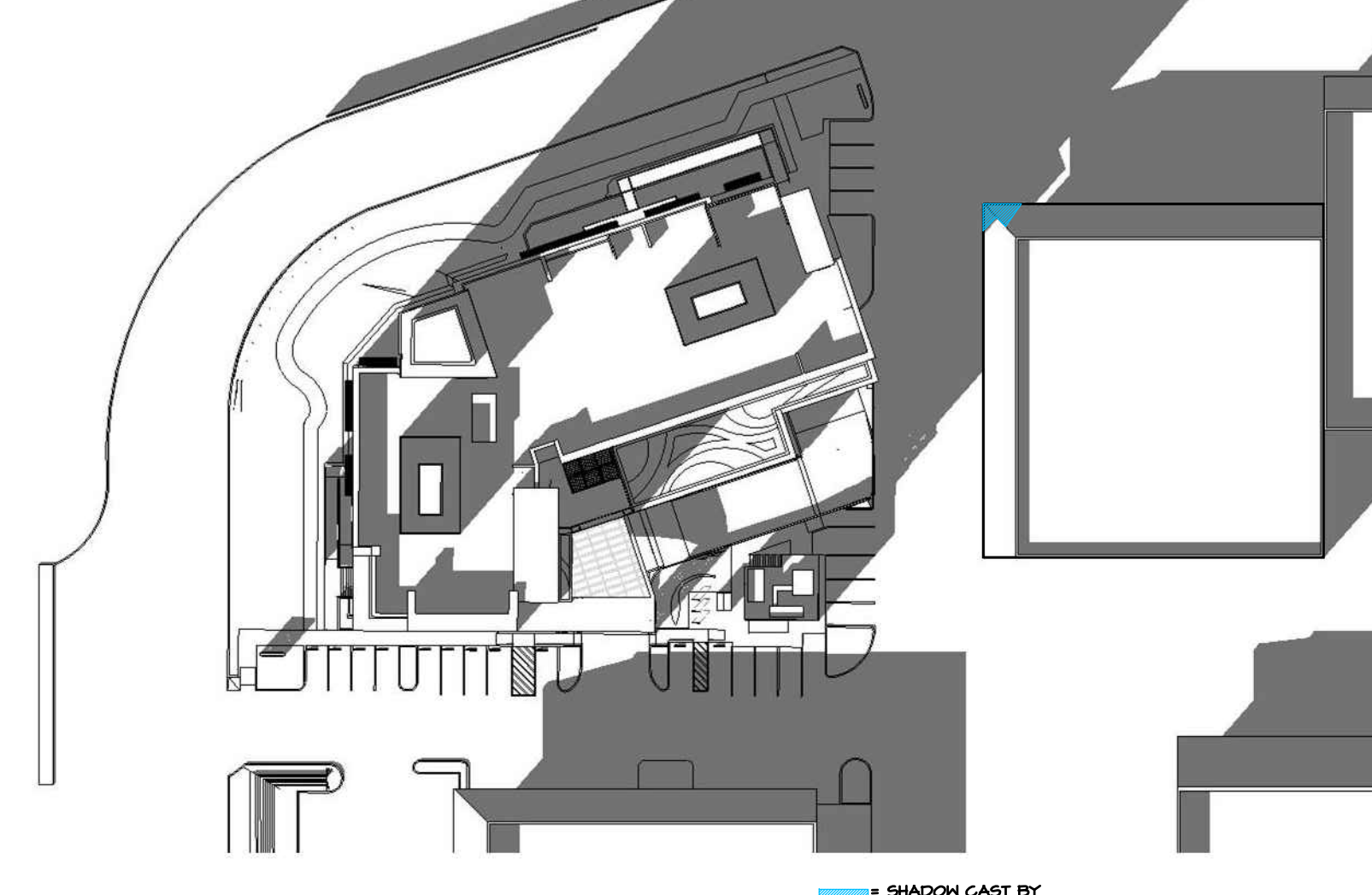
SHADOW CAST BY OUR BUILDING



SHADOW CAST BY OUR BUILDING



SHADOW CAST BY OUR BUILDING

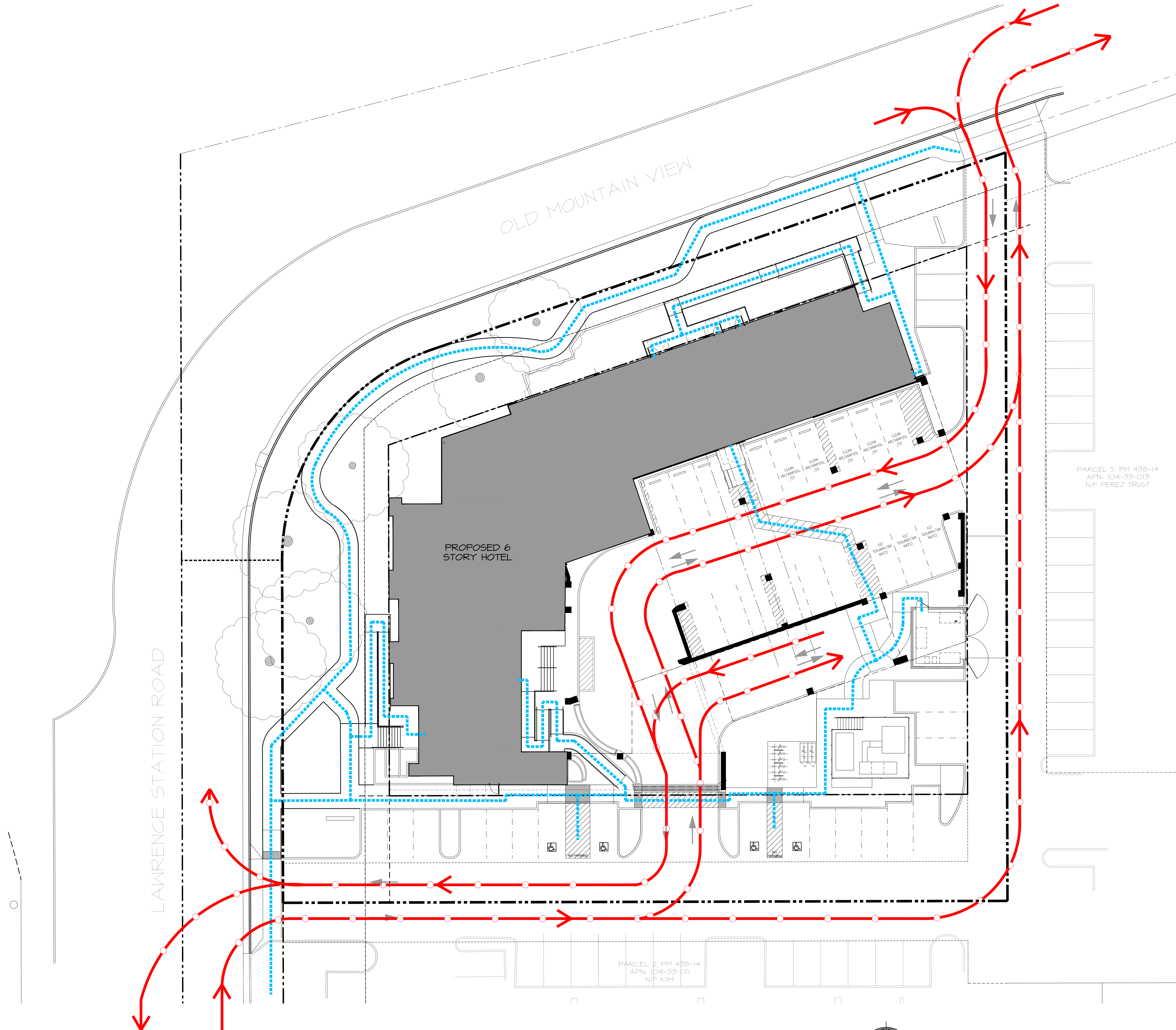


SHADOW CAST BY OUR BUILDING

TABLE I

MONTH	3PM SHADOW AREA (%)
01 JAN	0.1%
02 FEB	0.4%
03 MAR	2.3%
04 APR	2.1%
05 MAY	1.2%
06 JUN	0.5%
07 JUL	0.4%
08 AUG	1.3%
09 SEP	3.3%
10 OCT	2.5%
11 NOV	1.5%
12 DEC	0.5%
CUMULATIVE SHADOW AREA:	1.34% <10%

NOTE: PER SMC 14.56.020 SOLAR ENERGY SYSTEMS, THE SOLAR SHADING ANALYSIS SHALL SHOW THE EXTENT TO WHICH THE PROPOSED CONSTRUCTION WILL SHADE ADJACENT ROOFTOPS AND SOLAR COLLECTORS AT NINE A.M. AND THREE P.M. PACIFIC TIME ON DECEMBER 21ST.



1 PEDESTRIAN VS. VEHICULAR
1/16" = 1'-0"



LEGEND
 - - - - - PEDESTRIAN PATH
 ——— VEHICULAR PATH

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EXISTING / DEMO PLAN
1/16" = 1'-0"
NORTH

- NOTES:
1. DEMO EXISTING BUILDING, LANDSCAPE, ASPHALT, AND PAVEMENT FOR PROSPECTIVE PROJECT.
- DEMOLITION NOTES:
- DEMOLITION PLAN IS INTENDED TO AID CONTRACTOR IN DETERMINING THE EXTENT OF THE NECESSARY WORK. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO COMPLETE THIS PROJECT. CONTRACTOR TO STUDY THESE CONSTRUCTION DOCUMENTS AND PERFORM A THOROUGH FIELD INVESTIGATION PRIOR TO BIDDING THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL REQUIRED ENGINEERED SHORING FOR THE PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING HAZARDOUS MATERIALS FOUND IN PROJECT AREA DURING DEMOLITION, SUCH AS ASBESTOS, LEAD PAINT, ETC. SEE GENERAL NOTES FOR FURTHER INFORMATION.
 - PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL CONSULT WITH OWNER REGARDING EXISTING ITEMS OWNER MAY WISH TO KEEP. THE CONTRACTOR IS RESPONSIBLE FOR DISCARDING ALL CONSTRUCTION DEBRIS.
 - CONTRACTOR TO PROVIDE BARRICADES TO PREVENT PUBLIC ENTRANCE TO CONSTRUCTION AREA.
 - FIRE EXTINGUISHER LOCATIONS AND TYPE SHALL BE PROVIDED FOR BUILDINGS UNDER CONSTRUCTION FOR THE TYPE OF HAZARDS PRESENT DURING THE CONSTRUCTION AS REQUIRED BY THE FIRE MARSHALL.
 - CONTRACTOR TO VERIFY ALL WALLS TO BE REMOVED FOR BEARING LOADS BEFORE AND DEMOLITION TO COMMENCE.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING DURING DEMOLITION.
 - SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION THAT MAY BE REQUIRED.
 - CONTRACTOR TO STRIP AS NEEDED, PATCH, REPAIR AND PREP ALL EXISTING SURFACES (FLOOR, WALLS, AND CEILING) RECEIVING NEW OR TOUCH UP FINISHES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF FINISHES AND/OR WALL BOARD AS REQUIRED FOR INSTALLATION OF ANY NEW ITEM(S) AND THEN REPLACE, PREP, PATCH AND/OR APPLY NEW FINISHES) AS PER PLANS OR EXISTING CONDITIONS.
 - (E) PLUMBING (SEWER & WATER) LOCATIONS AND SIZE SHALL BE FIELD VERIFIED. ADJUST WORK (AT NO ADDITIONAL COST) AS NEEDED FOR ACTUAL FIELD CONDITIONS.

LEGEND

	PROPERTY LINE
	EASEMENT (ESMT)
	EXISTING TO BE DEMOLISHED
	EXISTING TREE TO BE REMOVED
	EXISTING PROTECTED TREES TO REMAIN



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DESIGN DRAWINGS FOR:

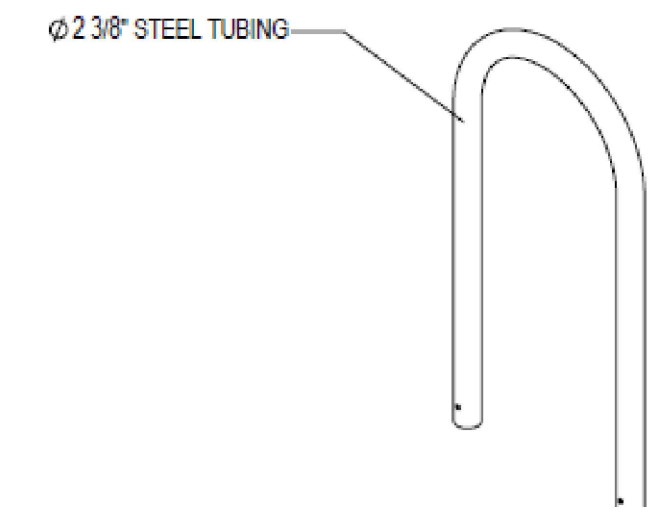
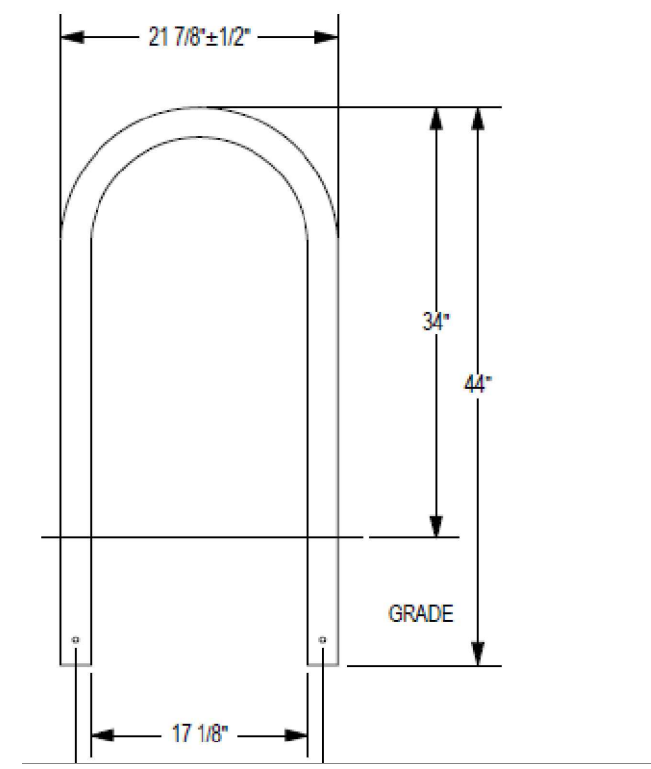
HOME 2 SUITES
1296 LAWRENCE STATION RD
SUNNYVALE CALIFORNIA

APN # 104-33-12
DATE: 05.04.20
DRAWN: C.G.
CHECKED: D. BERKETT

A-0.5

0 1/4" 1/2" 1" 2"

BIKE RACK INFORMATION



BIKE LOCKER INFORMATION

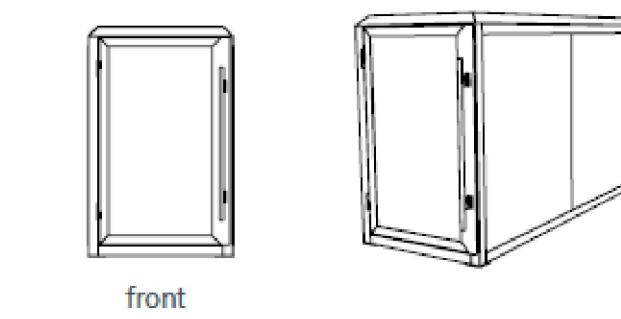
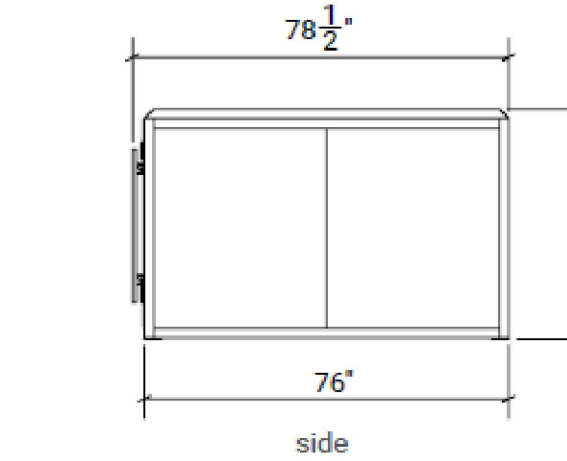
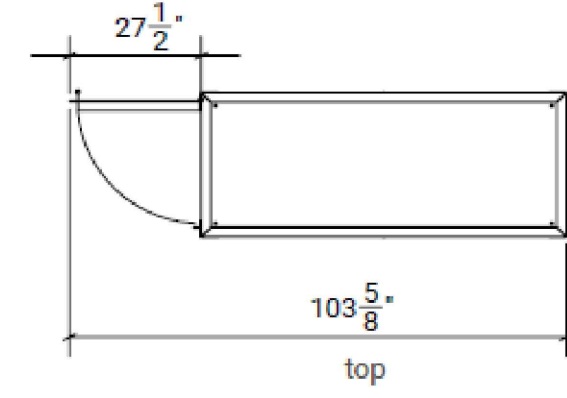
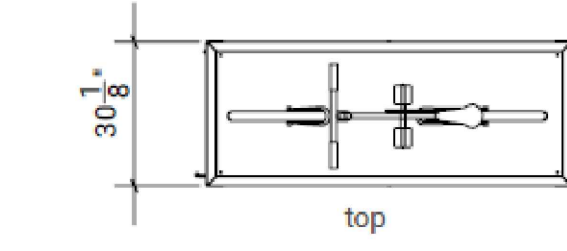
MATERIALS & FEATURES
 1 bicycle secured - Class 1 long-term bicycle parking
 Single tier locker
 High security expanded metal steel walls
 Steel frame
 Fully assembled
 Pad lock handle
 Ultra-high safety rating

SPACE USE RECOMMENDATIONS
 Front of locker to wall setback for door swing clearance
 Minimum: 48"
 Recommended: 60"

Lockers parallel to a wall
 Less than 3" or more than 9"

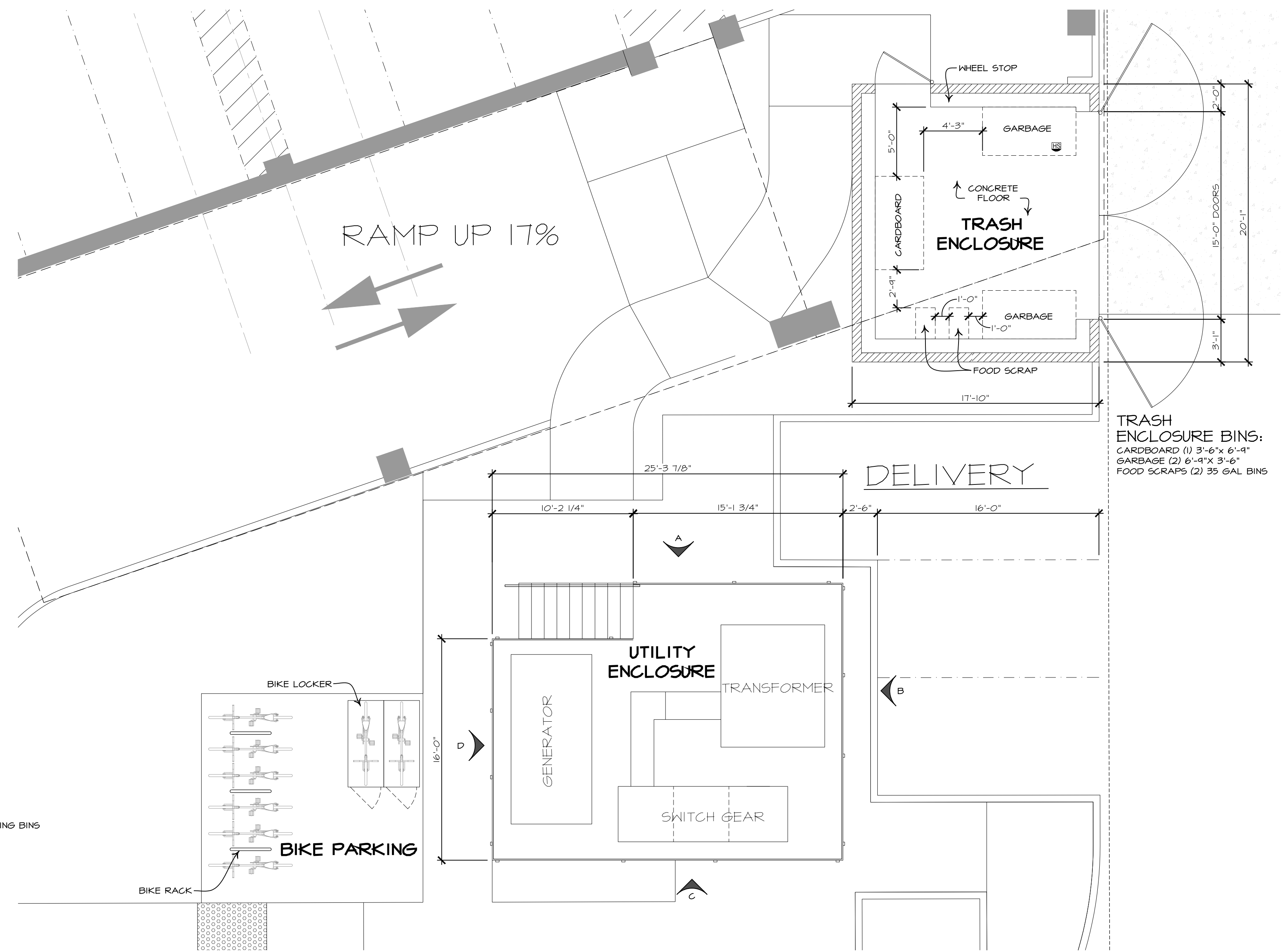
Distance between lockers
 Less than 3" or more than 9"

* Child safety requirements



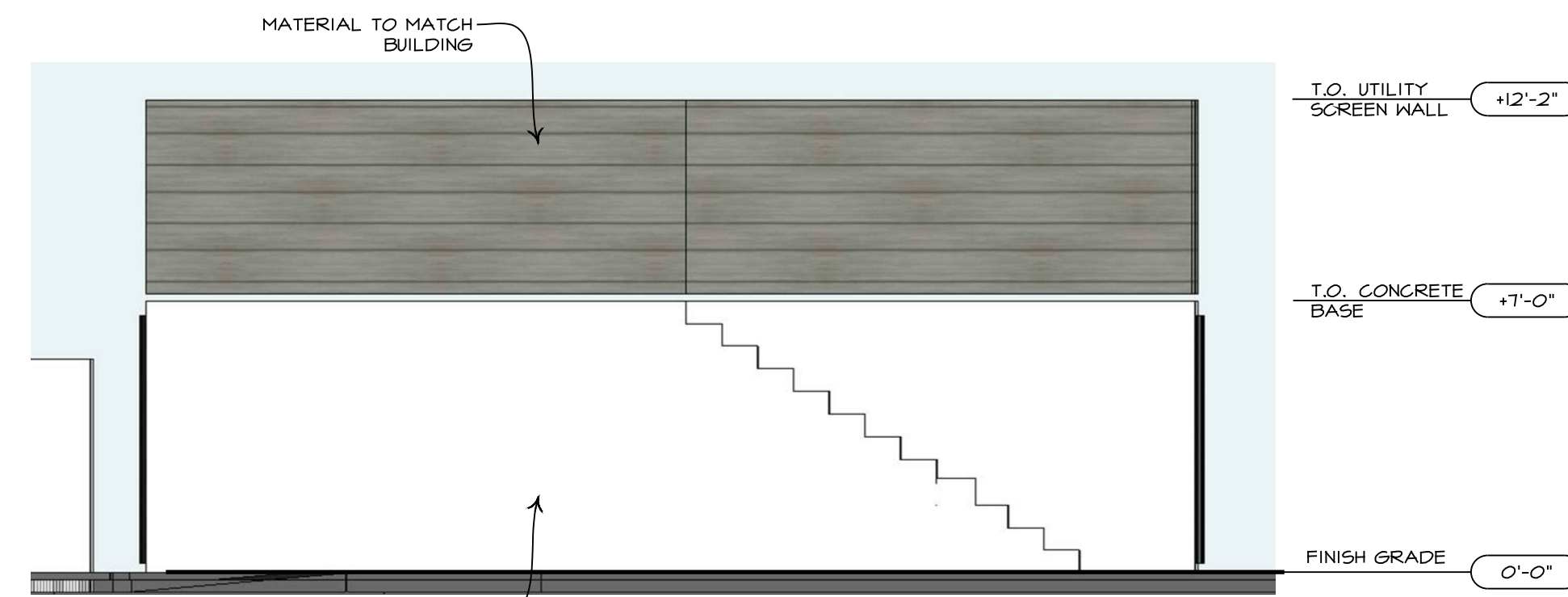
WASTE CALCULATION:

- a) 9,171 MAIN FLOOR AT X 0003 = 3 CYD/IN. WASTE GENERATED
- b) 135 ROOMS X .13 WASTE EACH = 18 CYD/IN. WASTE GENERATED
- c) TOTAL WASTE GENERATED = 21 CYD/IN.
- (i) 20% (4+6 CYD) FOOD SCRAPS IN 1-3 CYD BINS
- (ii) 8% (2-3 CYD) RECYCLABLE CARDBOARD IN 3 CYD CARDBOARD RECYCLING BINS
- (iii) 64% GARBAGE (13 CYD)

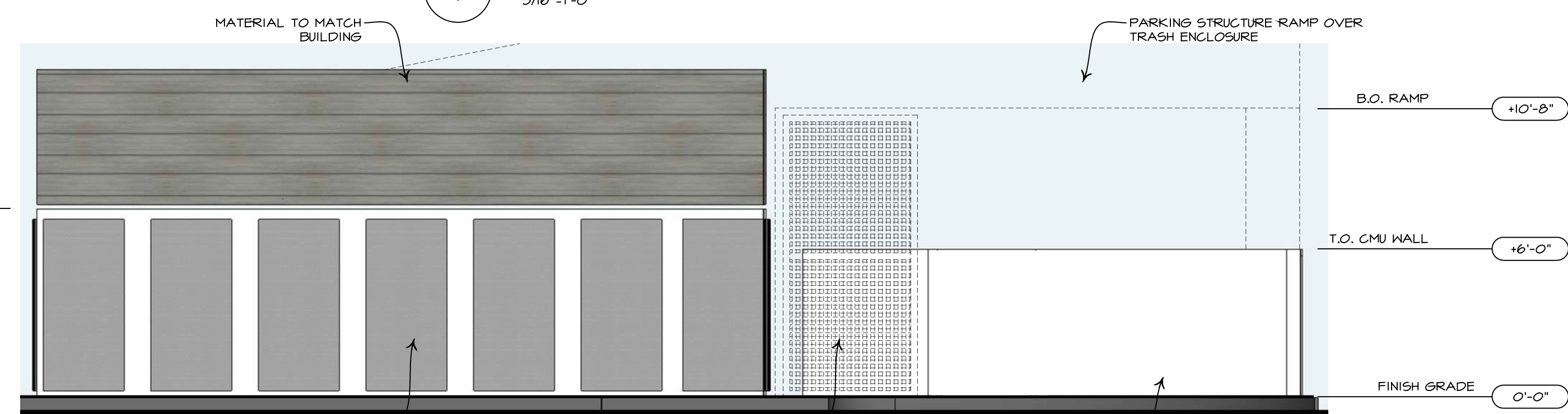


TRASH ENCLOSURE BINS:
 CARDBOARD (1) 3'-6" x 6'-4"
 GARBAGE (2) 6'-4" x 3'-6"
 FOOD SCRAPS (2) 35 GAL BINS

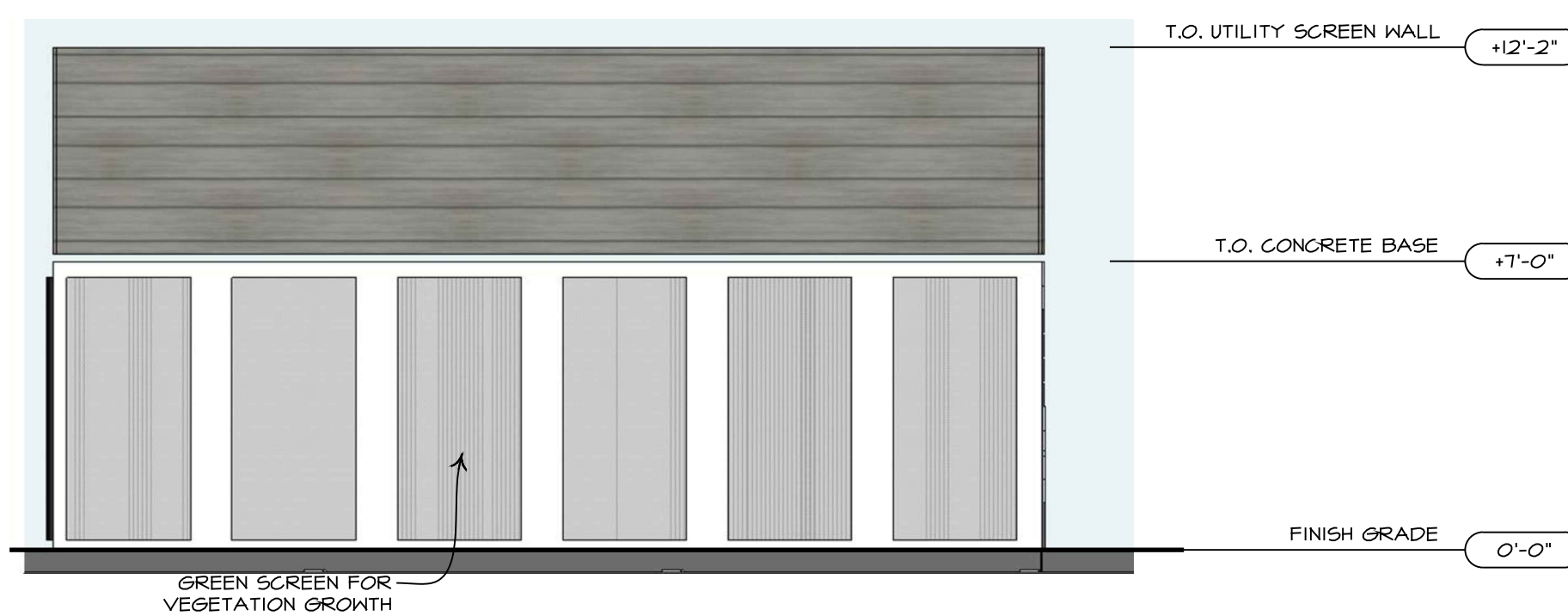
ENLARGED TRASH ENCLOSURE AND SCREEN UTILITY PLAN



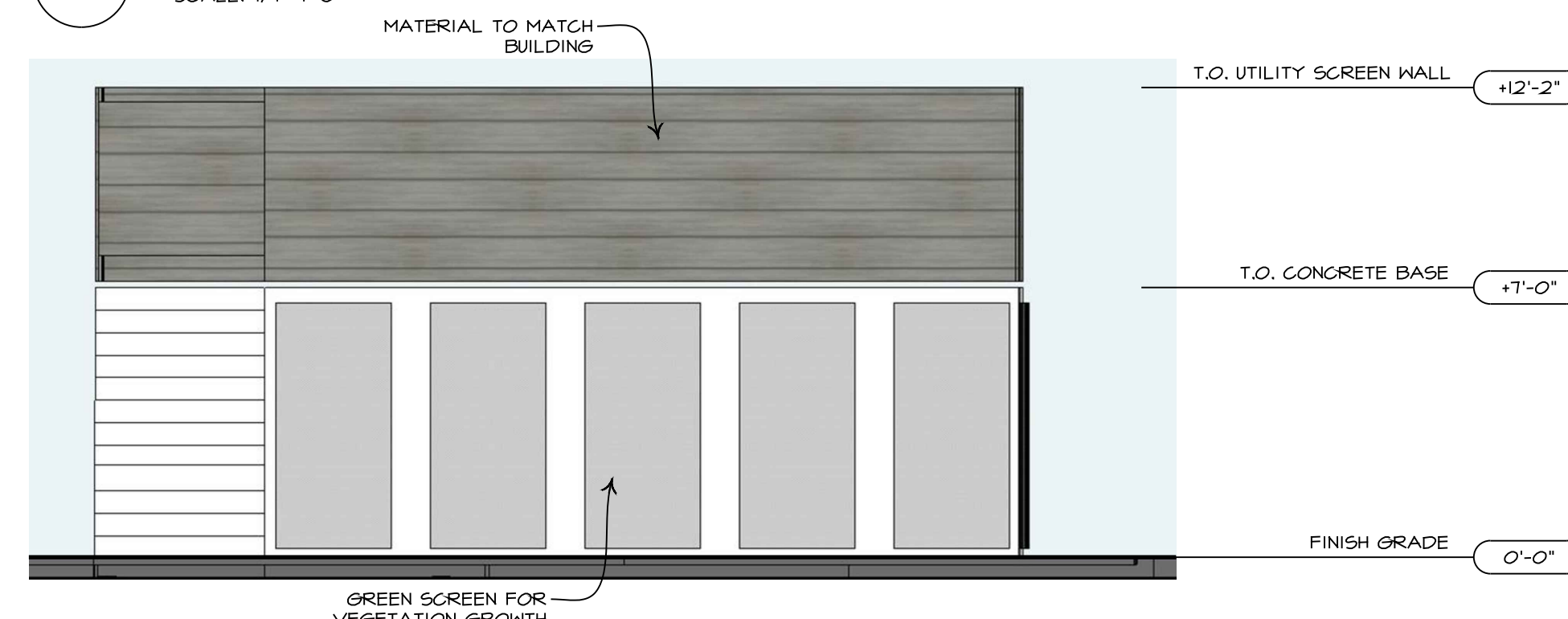
A NORTH UTILITY ENCLOSURE ELEVATION
 SCALE: 1/4"=1'-0"



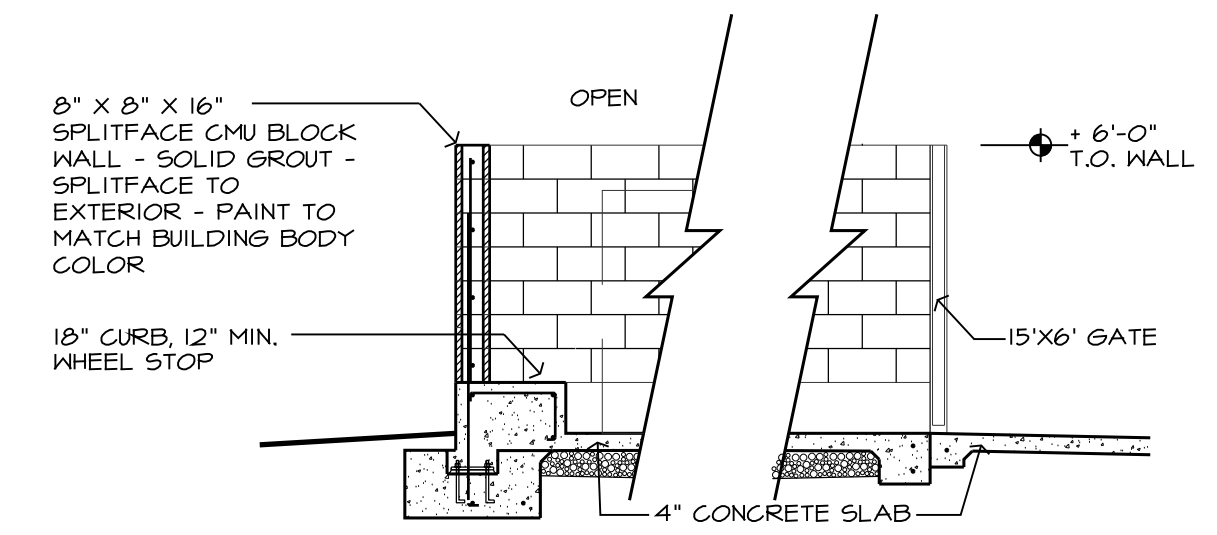
C SOUTH UTILITY ENCLOSURE ELEVATION
 SCALE: 1/4"=1'-0"



B EAST UTILITY ENCLOSURE ELEVATION
 SCALE: 1/4"=1'-0"

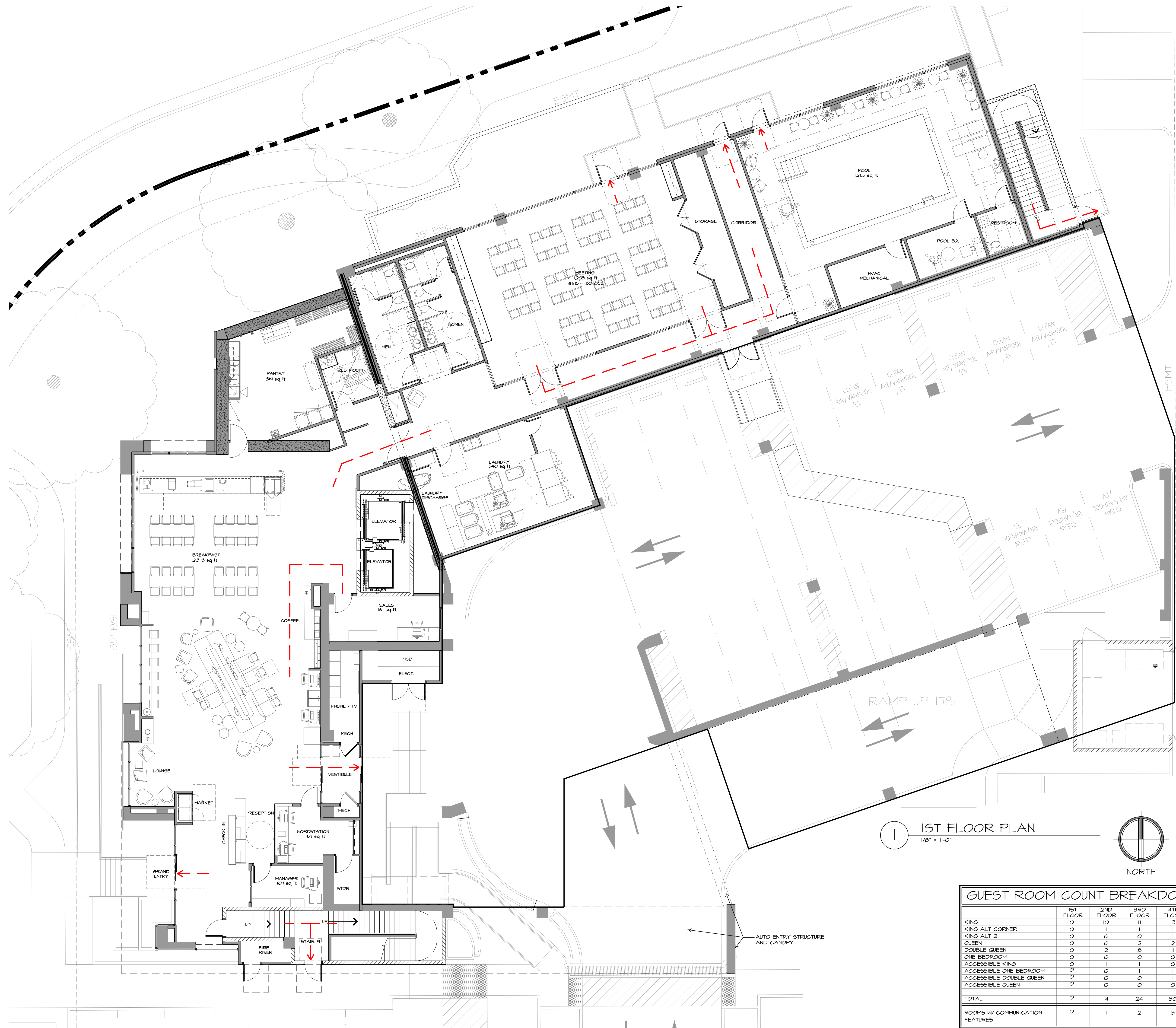


D WEST UTILITY ENCLOSURE ELEVATION
 SCALE: 1/4"=1'-0"



E CONCEPTUAL SECTION
 SCALE: 1/4"=1'-0"

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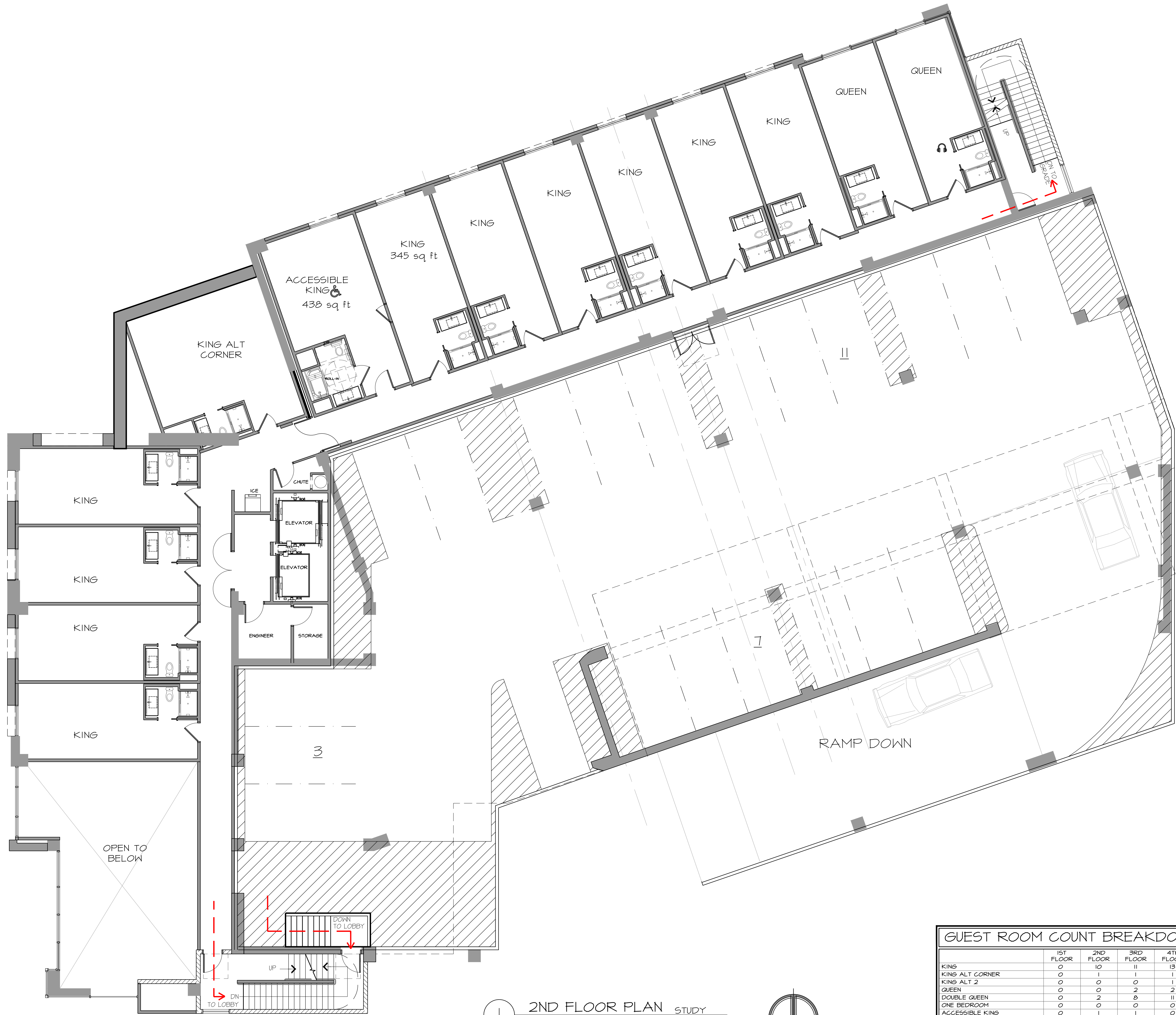


1 1ST FLOOR PLAN
1/8" = 1'-0"

LEGEND
--- EGRESS PATH

NORTH

GUEST ROOM COUNT BREAKDOWN								NOTES:
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	
KING	0	10	11	13	13	13	60	55% KING 7% QUEEN 35% DBL QUEEN 3% ONE BEDROOM
KING ALT CORNER	0	1	1	1	1	1	5	
KING ALT 2	0	0	0	1	1	1	3	
QUEEN	0	0	2	2	2	2	8	
DOUBLE QUEEN	0	2	8	11	11	11	43	
ONE BEDROOM	0	0	0	0	0	1	1	
ACCESSIBLE KING	0	1	1	0	0	0	2	
ACCESSIBLE ONE BEDROOM	0	0	1	1	1	0	3	
ACCESSIBLE DOUBLE QUEEN	0	0	0	1	1	0	2	
ACCESSIBLE QUEEN	0	0	0	0	0	1	1	
TOTAL	0	14	24	30	30	30	128	
ROOMS W COMMUNICATION FEATURES	0	1	2	3	3	3	12	



1 2ND FLOOR PLAN STUDY
1/8" = 1'-0"



LEGEND
- - - EGRESS PATH

GUEST ROOM COUNT BREAKDOWN								NOTES:
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	
KING	0	10	11	13	13	13	60	55% KING 7% QUEEN 35% DBL QUEEN 3% ONE BEDROOM
KING ALT CORNER	0	1	1	1	1	1	5	
KING ALT 2	0	0	0	1	1	1	3	
QUEEN	0	0	2	2	2	2	8	
DOUBLE QUEEN	0	0	8	11	11	11	43	
ONE BEDROOM	0	0	0	0	0	1	1	
ACCESSIBLE KING	0	1	1	0	0	0	2	
ACCESSIBLE ONE BEDROOM	0	0	1	1	1	0	3	
ACCESSIBLE DOUBLE QUEEN	0	0	0	1	1	0	2	
ACCESSIBLE QUEEN	0	0	0	0	0	1	1	
TOTAL	0	14	24	30	30	30	128	
ROOMS W COMMUNICATION FEATURES	0	1	2	3	3	3	12	



3RD FLOOR PLAN

1/8" = 1'-0"

STUDY



LEGEND
— EGRESS PATH

GUEST ROOM COUNT BREAKDOWN								NOTES:
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	
KING	0	10	11	13	13	13	60	55% KING 7% QUEEN 35% DBL QUEEN 3% ONE BEDROOM
KING ALT CORNER	0	1	1	1	1	1	5	
KING ALT 2	0	0	0	1	1	1	3	
QUEEN	0	0	2	2	2	2	8	
DOUBLE QUEEN	0	2	8	11	11	11	43	
ONE BEDROOM	0	0	0	0	0	1	1	
ACCESSIBLE KING	0	1	1	0	0	0	2	
ACCESSIBLE ONE BEDROOM	0	0	1	1	1	0	3	
ACCESSIBLE DOUBLE QUEEN	0	0	0	1	1	0	2	
ACCESSIBLE QUEEN	0	0	0	0	0	1	1	
TOTAL	0	14	24	30	30	30	128	
ROOMS W COMMUNICATION FEATURES	0	1	2	3	3	3	12	



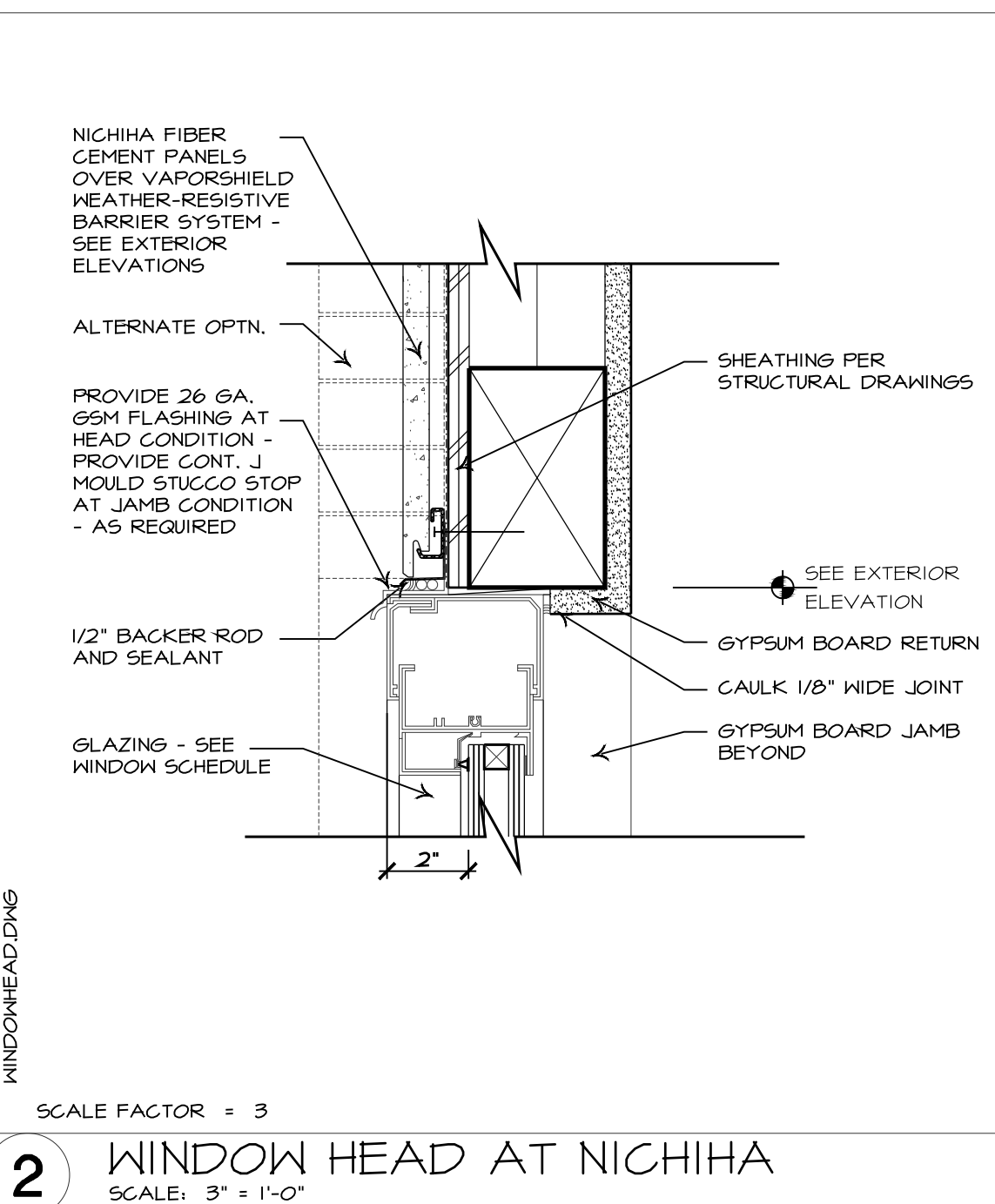
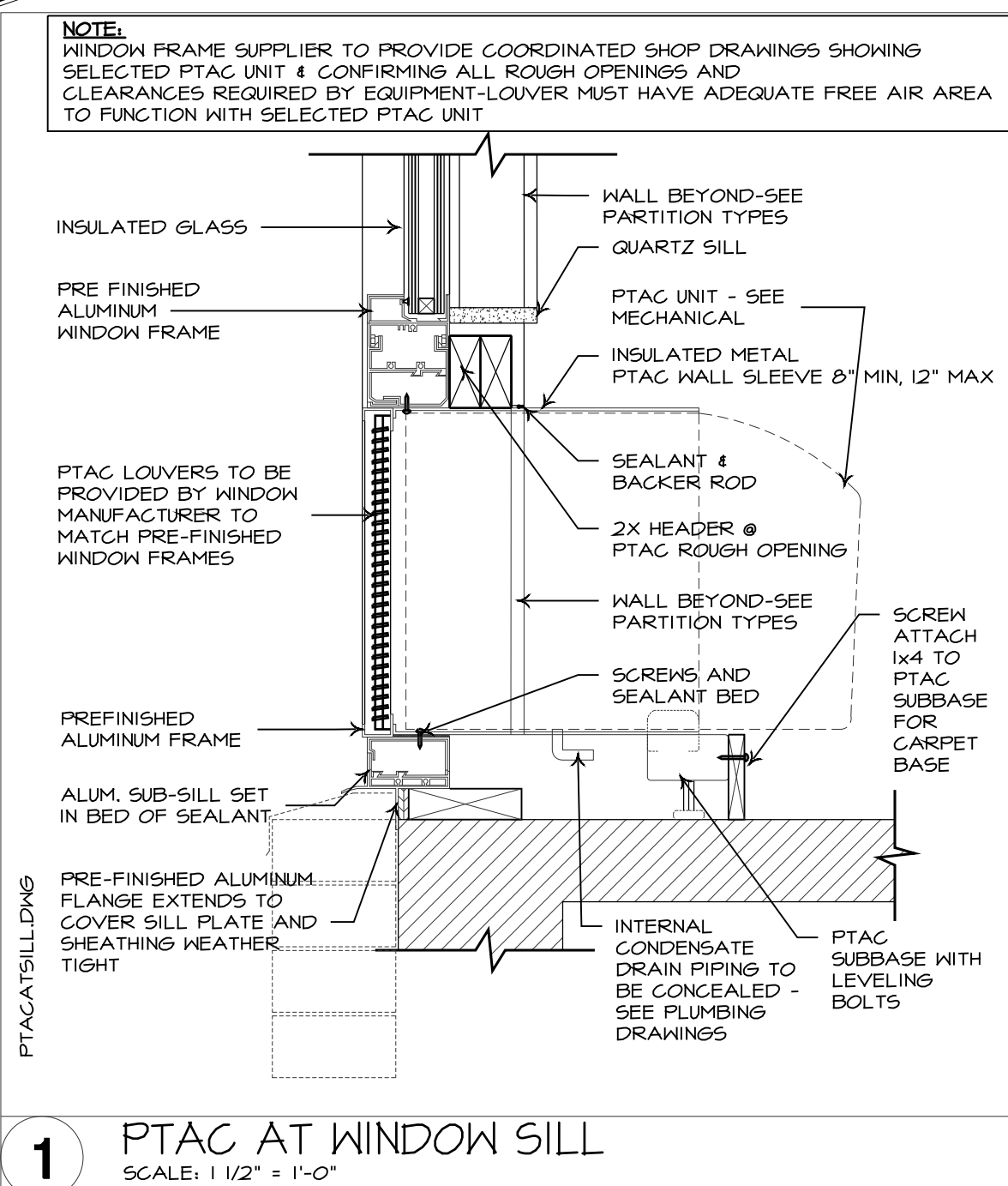
LEGEND
— EGRESS PATH

① 4TH-5TH FLOOR PLAN
1/8" = 1'-0" STUDY
NORTH

GUEST ROOM COUNT BREAKDOWN								NOTES:
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	
KING	0	10	11	13	13	13	60	55% KING 7% QUEEN 35% DBL QUEEN 3% ONE BEDROOM
KING ALT CORNER	0	1	1	1	1	1	5	
KING ALT 2	0	0	0	1	1	1	3	
QUEEN	0	0	2	2	2	2	8	
DOUBLE QUEEN	0	2	8	11	11	11	43	
ONE BEDROOM	0	0	0	0	0	1	1	
ACCESSIBLE KING	0	1	1	0	0	0	2	
ACCESSIBLE ONE BEDROOM	0	0	1	1	1	0	3	
ACCESSIBLE DOUBLE QUEEN	0	0	0	1	1	0	2	
ACCESSIBLE QUEEN	0	0	0	0	0	1	1	
TOTAL	0	14	24	30	30	30	128	
ROOMS W COMMUNICATION FEATURES	0	1	2	3	3	3	12	

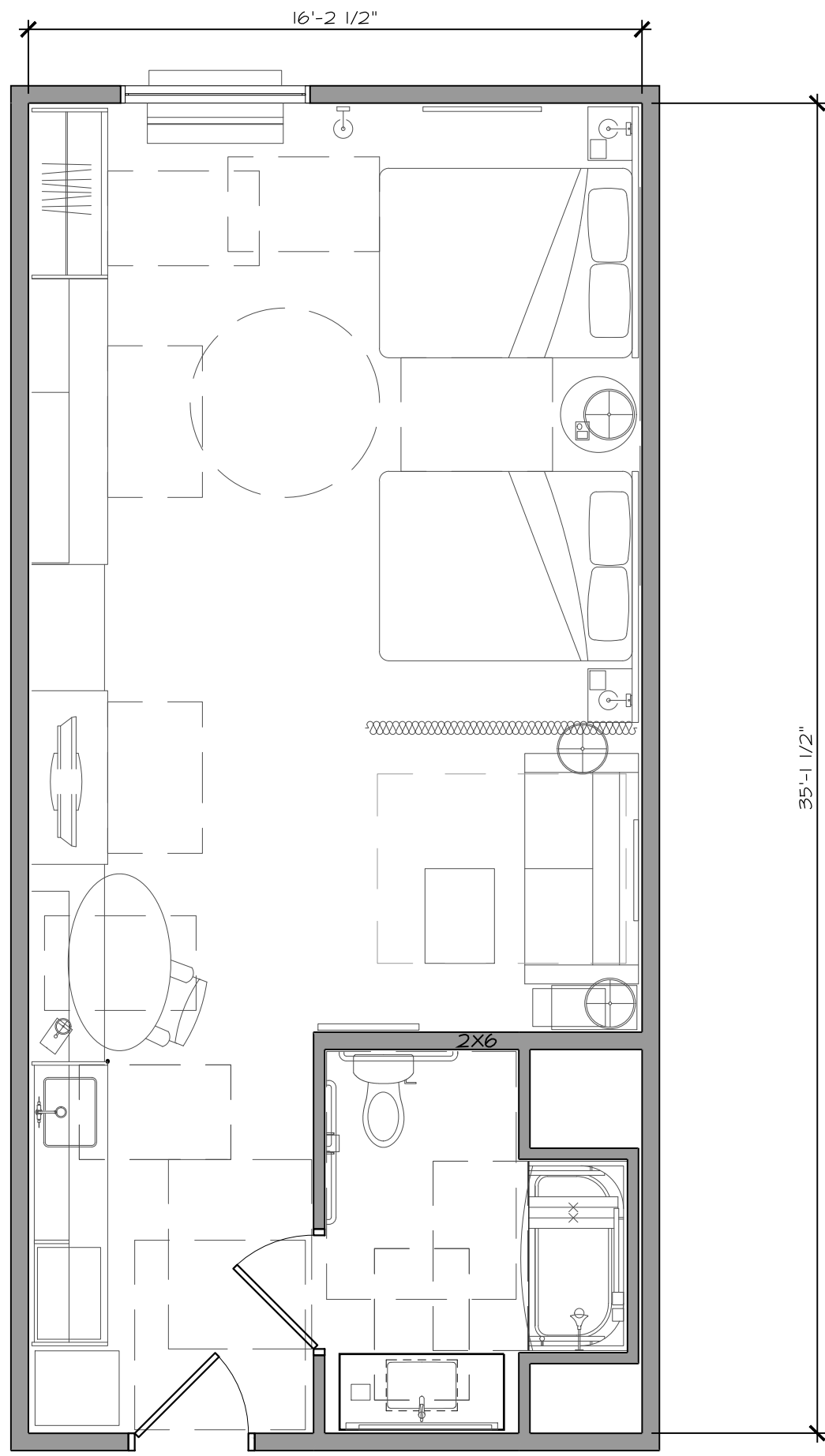


1 6TH FLOOR PLAN
1/8" = 1'-0"

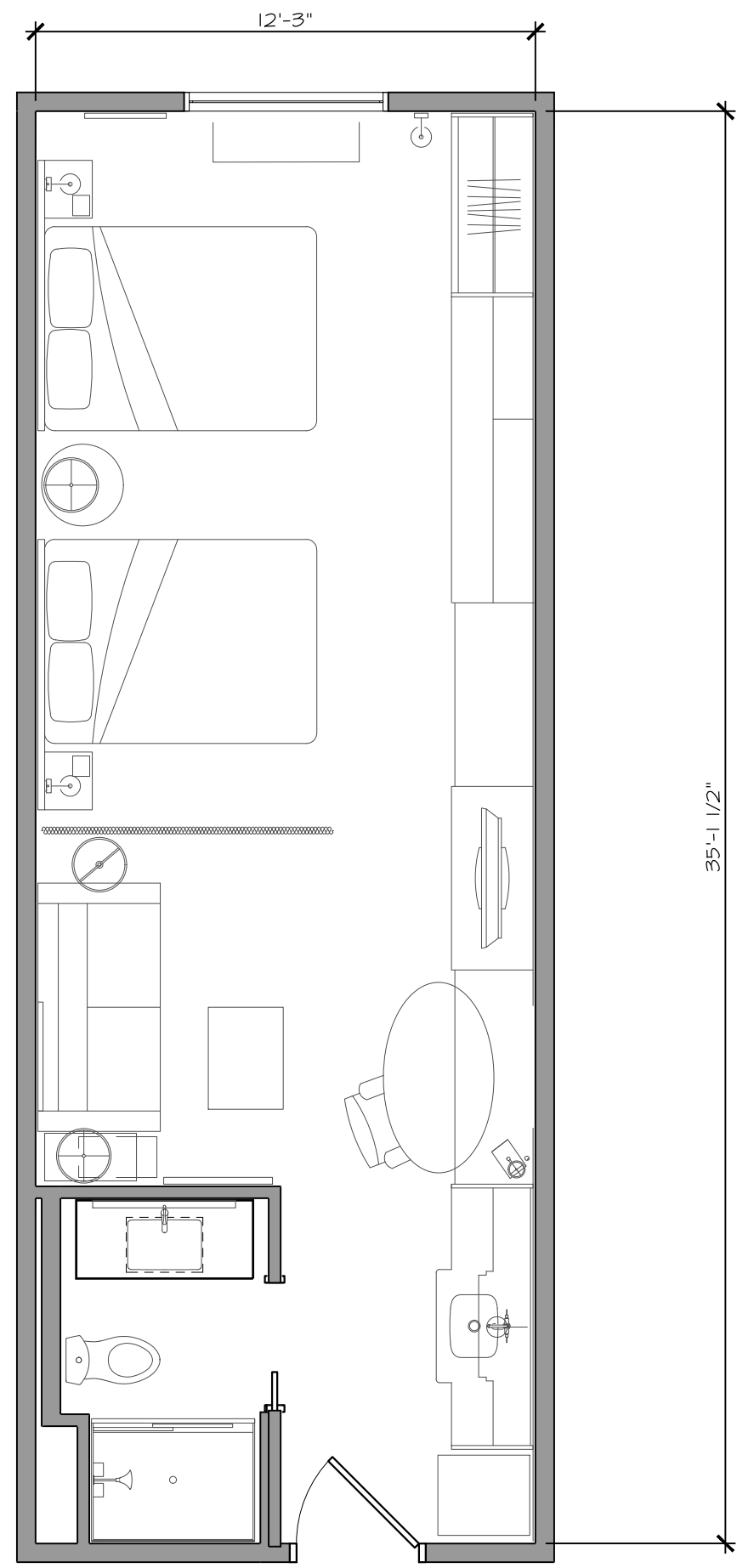


LEGEND
— EGRESS PATH

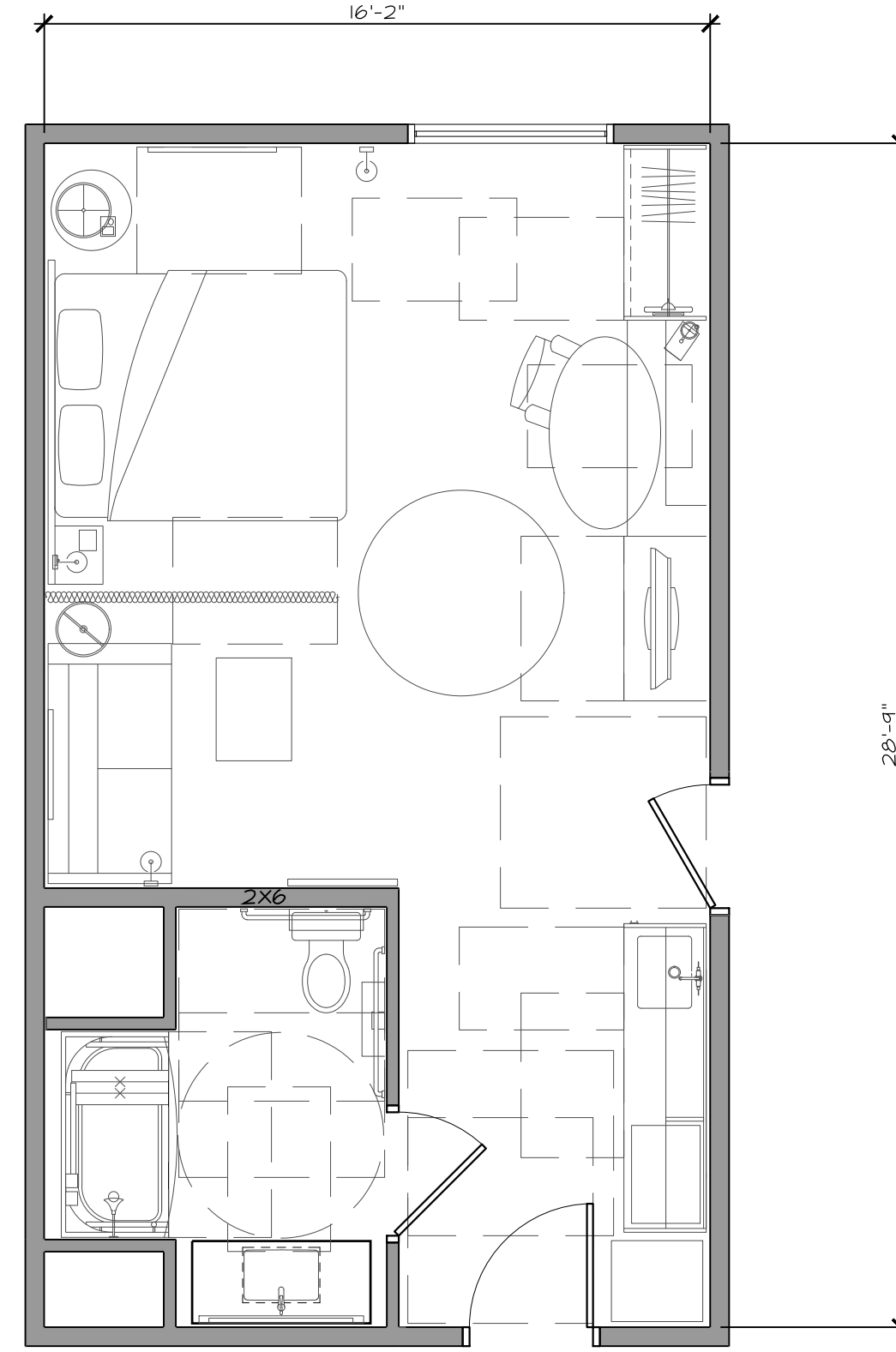
GUEST ROOM COUNT BREAKDOWN								NOTES:
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	
KING	0	10	11	13	13	13	60	55% KING 7% QUEEN 35% DBL QUEEN 3% ONE BEDROOM
KING ALT CORNER	0	1	1	1	1	1	5	
KING ALT 2	0	0	0	1	1	1	3	
QUEEN	0	0	2	2	2	2	8	
DOUBLE QUEEN	0	2	8	11	11	11	43	
ONE BEDROOM	0	0	0	0	0	1	1	
ACCESSIBLE KING	0	1	1	0	0	0	2	
ACCESSIBLE ONE BEDROOM	0	0	1	1	1	0	3	
ACCESSIBLE DOUBLE QUEEN	0	0	0	1	1	0	2	
ACCESSIBLE QUEEN	0	0	0	0	0	1	1	
TOTAL	0	14	24	30	30	30	128	
ROOMS W COMMUNICATION FEATURES	0	1	2	3	3	3	12	



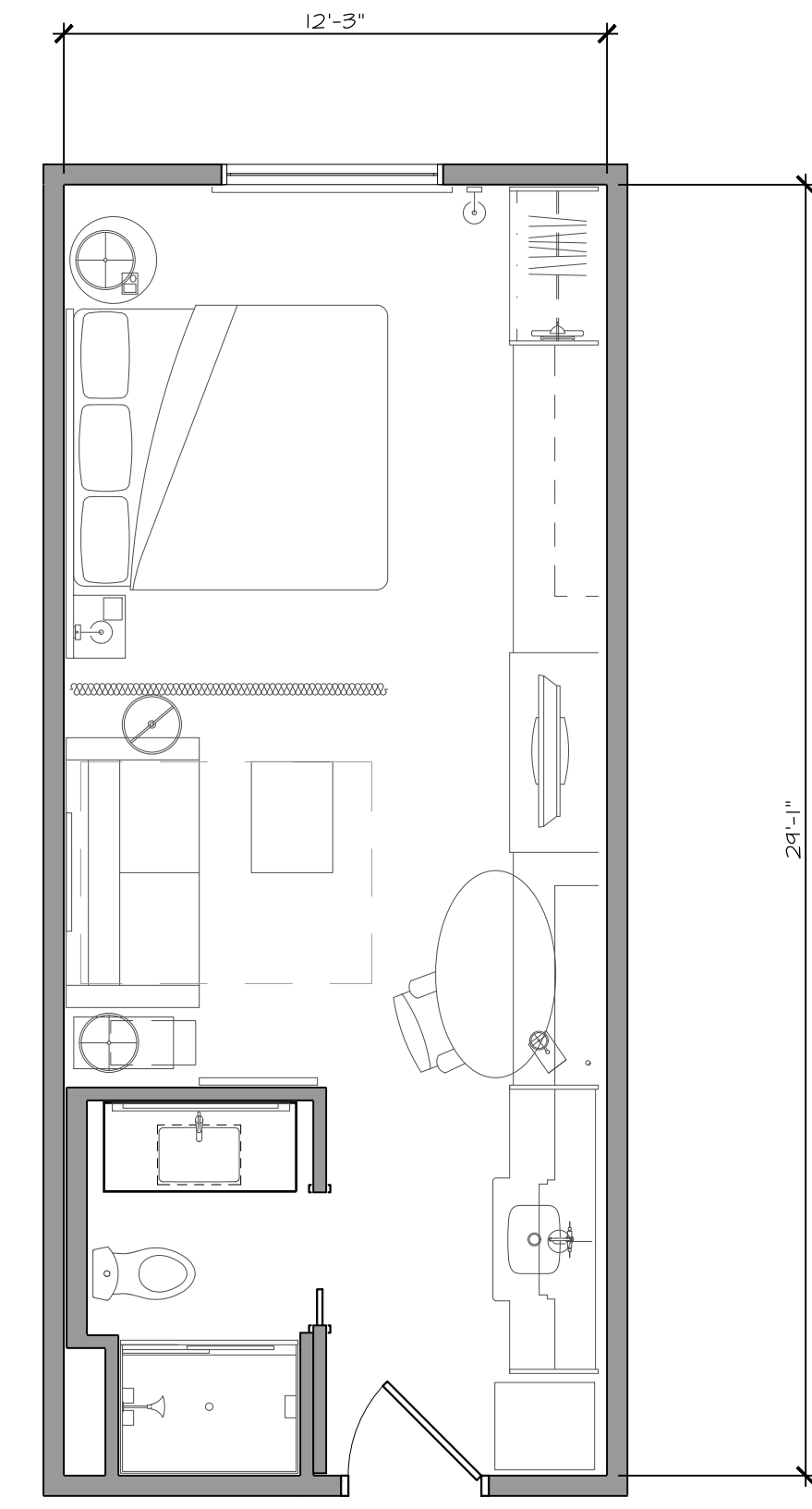
1 TYPICAL DOUBLE QUEEN ACCESSIBLE
1/4" = 1'-0"



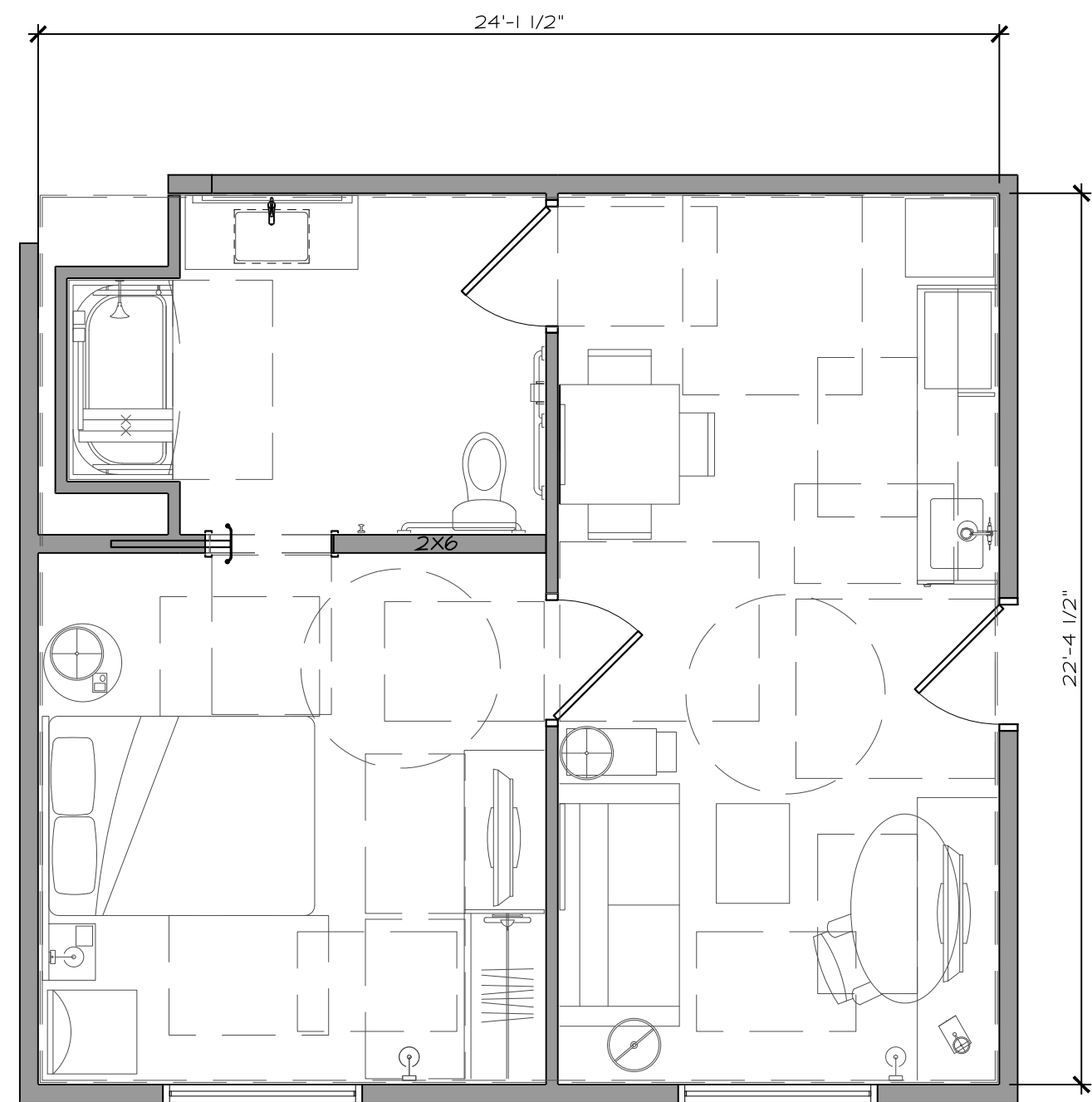
2 TYPICAL DOUBLE QUEEN
1/4" = 1'-0"



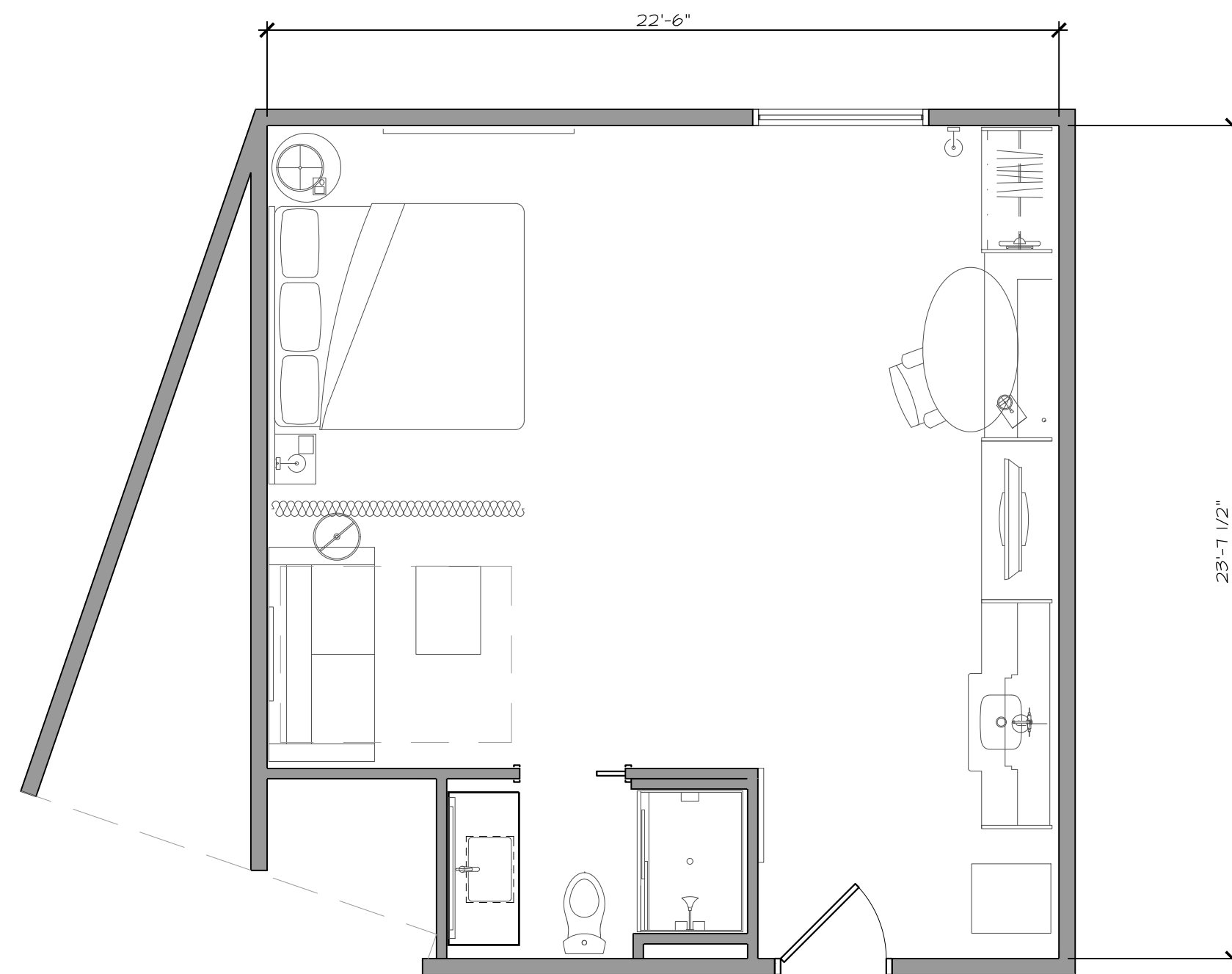
3 TYPICAL KING ACCESSIBLE
1/4" = 1'-0"



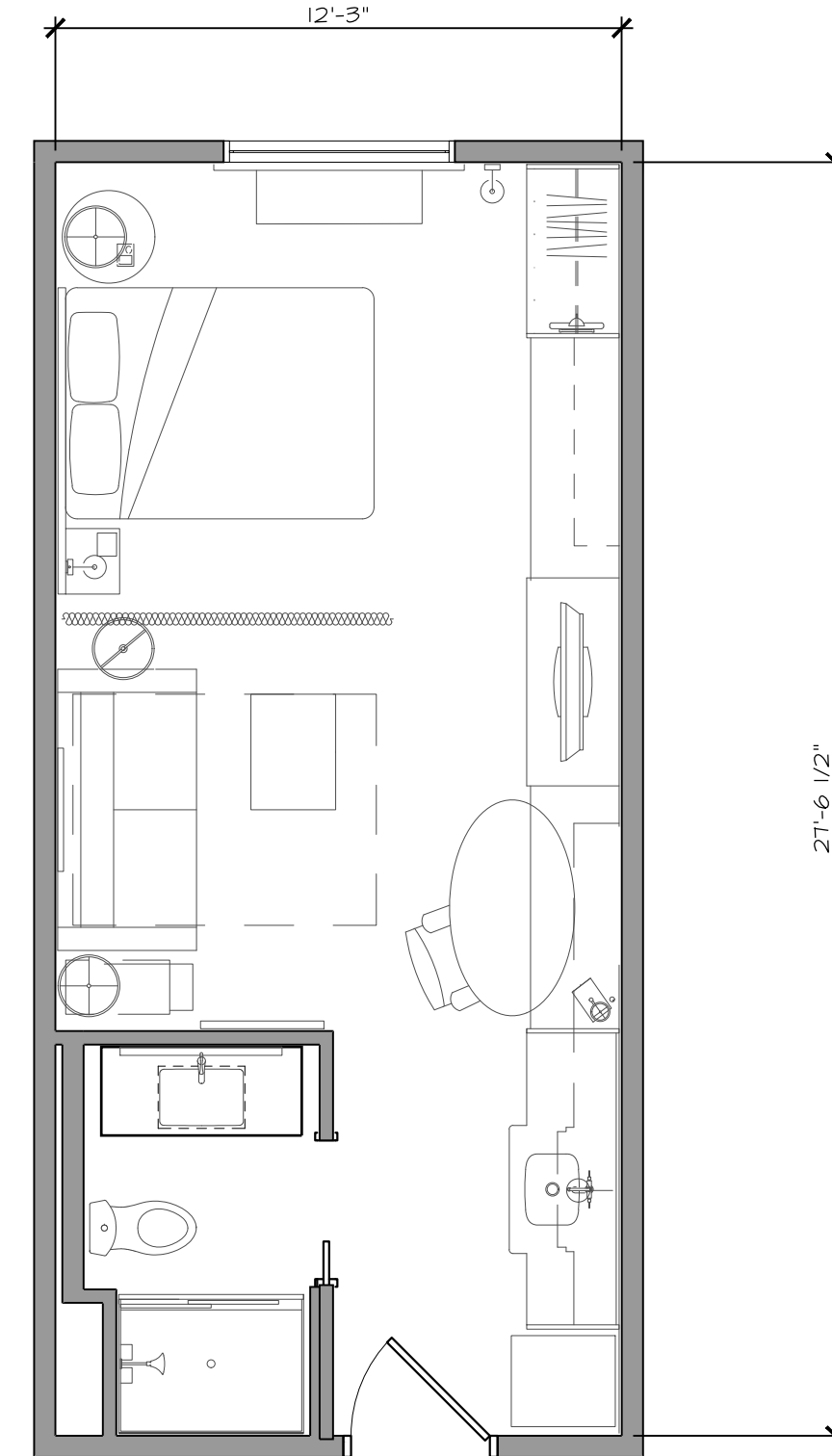
4 TYPICAL KING
1/8" = 1'-0"



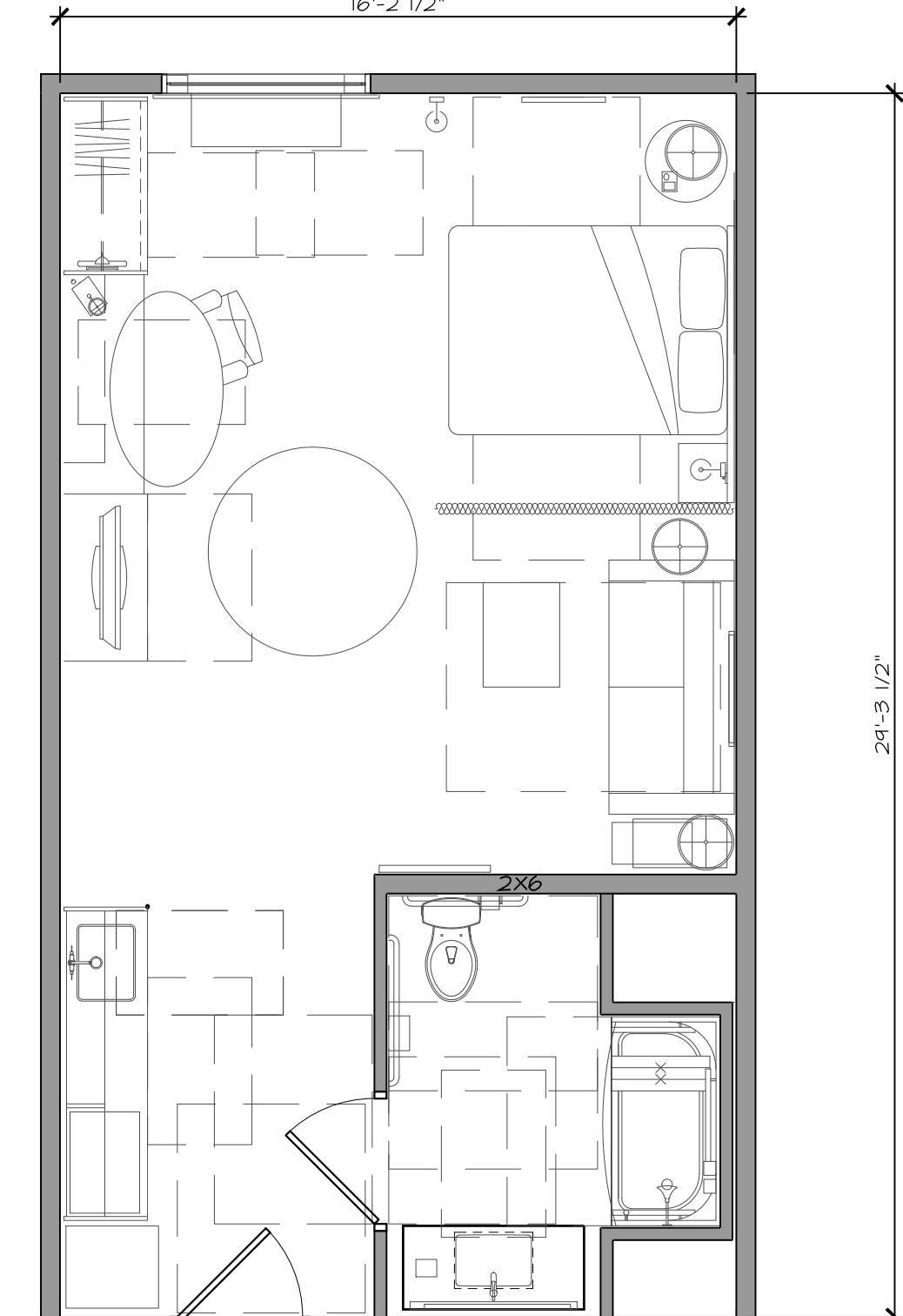
5 TYPICAL ONE BEDROOM
1/4" = 1'-0"



5 TYPICAL KING ALT CORNER STUDY
1/4" = 1'-0"

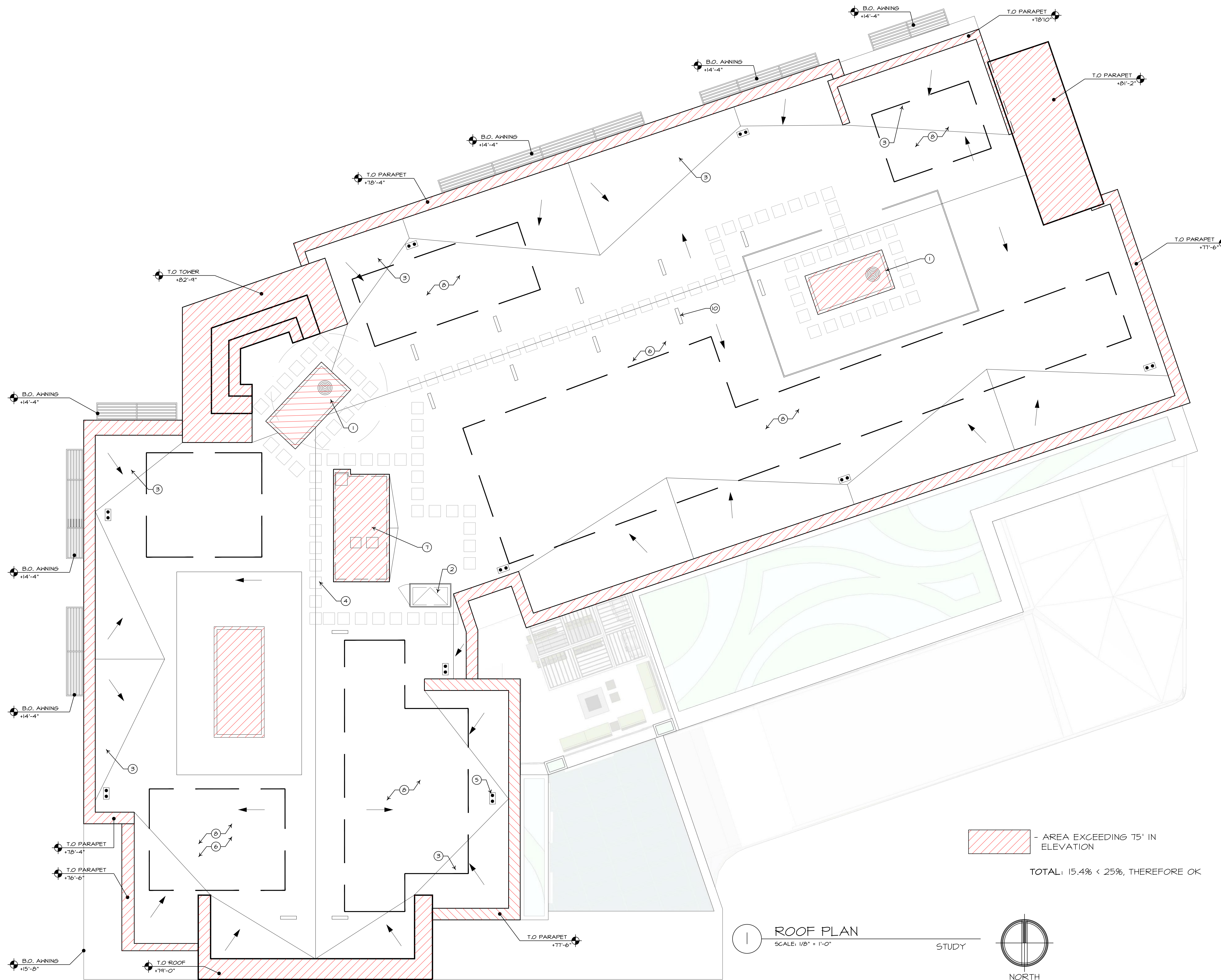


6 TYPICAL QUEEN STUDY
1/4" = 1'-0"



6 TYPICAL ACCESSIBLE QUEEN
1/4" = 1'-0"

GUEST ROOM COUNT BREAKDOWN								NOTES:
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL	
KING	0	10	11	13	13	13	60	55% KING 7% QUEEN 35% DBL QUEEN 3% ONE BEDROOM
KING ALT CORNER	0	1	1	1	1	1	5	
KING ALT 2	0	0	0	1	1	1	3	
QUEEN	0	0	2	2	2	2	8	
DOUBLE QUEEN	0	2	8	11	11	11	43	
ONE BEDROOM	0	0	0	0	0	1	1	
ACCESSIBLE KING	0	1	1	0	0	0	2	
ACCESSIBLE ONE BEDROOM	0	0	1	1	1	0	3	
ACCESSIBLE DOUBLE QUEEN	0	0	0	1	1	0	2	
ACCESSIBLE QUEEN	0	0	0	0	0	1	1	
TOTAL	0	14	24	30	30	30	128	
ROOMS W COMMUNICATION FEATURES	0	1	2	3	3	3	12	



- AREA EXCEEDING 75' IN ELEVATION
 TOTAL: 15.4% < 25%, THEREFORE OK

1 ROOF PLAN
 SCALE: 1/8" = 1'-0"
 STUDY

- ROOF PLAN KEYNOTES**
- MECHANICAL EQUIPMENT, TO BE SCREENED AS REQUIRED.
 - PROVIDE ROOF ACCESS HATCH (INCLUDING LADDER, ROOF CURB, ETC FOR COMPLETE SYSTEM) - (BILGO OR APPROVED EQUAL) INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - CRICKET SLOPE TO DRAIN (MINIMUM 1/4" PER FOOT FALL AT THE VALLEY) - CRICKETS ARE TO BE FILLED WITH NON-COMBUSTIBLE FILL.
 - WALKPAD "CARLISLE SYNTAC SYSTEMS" - INSTALL PER MANUFACTURERS SPECIFICATION.
 - ROOF DRAIN AND OVERFLOW - INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - (GLASS "A" MIN) "CARLISLE SYNTAC SYSTEMS SURE WHITE ADHERED SYSTEM" (OR APPROVED EQUAL - SEE PRODUCT MANUAL) - MAINTAIN A MINIMUM OF 1/4" PER FOOT FOR PROPER DRAINAGE. - INSTALL PER MANUFACTURER SPECIFICATIONS.
 - ELEVATOR SHAFT AND OVERHEAD PROVIDE VENTING AS REQUIRED BY MANUFACTURER - SEE MECHANICAL DRAWINGS.
 - INDICATES LOCATION OF SOLAR READY ZONE - PROVIDE CONDUIT TO ELECTRICAL ROOM - SEE ELECTRICAL DRAWINGS.
 - PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOF / WALL INTERSECTIONS.
 - ALL ROOF PENETRATIONS, PIPES, VENTS, FLUES, ETC. TO BE BEHIND PARAPET (SO NOT TO BE VISIBLE FROM PARKING AREA).

MOISTURE PROTECTION NOTES:

THE GENERAL CONTRACTOR MUST PROVIDE AND MAINTAIN CORRECT ENVIRONMENTAL CONDITIONS TO KEEP THE BUILDING CLEAN AND DRY, AND PROTECT AGAINST INFESTATION OF MOISTURE FROM A VARIETY OF POTENTIAL SOURCES. MOISTURE CAN BE INTRODUCED BY MANY TRADES THROUGH SPILLAGE, TRACKED IN MUD AND RAIN, FLEETING LEAKS, ETC. BUILDING PRODUCTS MAY ARRIVE ON SITE LADEN WITH MOISTURE THAT RELEASES AFTER INSTALLATION. CARE MUST BE TAKEN TO VERIFY THAT BUILDING PRODUCTS STORED IN DAMP CONDITIONS ARE ADEQUATELY DRY PRIOR TO INSTALLATION OR ARE ALLOWED TO DRY SUFFICIENTLY PRIOR TO BEING ENCLOSED IN A WALL OR CEILING SPACE. OUTSIDE SOURCES SUCH AS RAIN, SNOW WIND ETC. CAN ALSO INCREASE MOISTURE LEVELS.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTROL MOISTURE LEVELS IN THE BUILDING THROUGH APPROPRIATE TRADE SEQUENCING AND PREVENTION OF POTENTIAL DAMAGE BY OTHER TRADES. THE GENERAL CONTRACTOR MUST SUPPLY MECHANICAL VENTILATION AND HEAT IF NECESSARY.

ROOF DRAIN OVERFLOW:

1503.4.1 SECONDARY (EMERGENCY OVERFLOW) DRAINS OR SCUPPERS, WHERE ROOF DRAINS ARE REQUIRED, SECONDARY (EMERGENCY OVERFLOW) ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED WHERE THE ROOF PERIMETER CONSTRUCTION EXTENDS ABOVE THE ROOF IN SUCH A MANNER THAT WATER WILL BE ENTRAPPED IF THE PRIMARY DRAINS ALLOW BUILDUP FOR ANY REASON. THE INSTALLATION AND SIZING OF SECONDARY EMERGENCY OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH CHAPTER II OF THE CALIFORNIA PLUMBING CODE.

INSTALL OVERFLOWS IN LOCATIONS VISIBLE TO OCCUPANTS OF THE BUILDINGS, SUCH THAT A PROBLEM WITH THE DRAINS CAN BE IDENTIFIED AND RESOLVED. VERIFY EXACT LOCATION WITH OWNER OR OWNERS REPRESENTATIVE.

- NOTE:**
- ALL EQUIPMENT ON ROOF TO BE MOUNTED ON CURBS
 - CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
 - MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PRE-FABRICATED CURBS AND PENETRATIONS W/ ROOF MEMBRANE SUB-CONTRACTOR.
 - G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILING, ETC. AS NECESSARY FOR A WATERTIGHT & WATERPROOF BLDG.
 - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND / OR INSTALL ALL ADJACENT AND / OR RELATED FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE WARRANTED ROOF MEMBRANE.
 - MECHANICAL UNITS SHALL BE SCREENED FROM VIEW.
 - COOL ROOF - AGED SOLAR REFLECTANCE - 0.62 AND THERMAL EMITTANCE - 0.75
 - PROVIDE R-30 INSULATION AT UNDERSIDE OF ROOF DECK - SEE BUILDING SECTIONS.
 - NO LIGHT-TRANSMITTING PLASTIC SKYLIGHTS, WALL OR ROOF PANELS WILL BE INSTALLED

0 1/4" 1/2" 1" 2" IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

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2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

MATCH STUCCO COLOR TO THE FOLLOWING DUNN EDWARDS PAINT COLORS

- ST-1 PAINTED STUCCO ASSEMBLY; DUNN EDWARDS; SILVER POLISH "DEB314"
- ST-2 PAINTED STUCCO ASSEMBLY; DUNN EDWARDS; WHITE "DEK380"
- ST-3 PAINTED STUCCO ASSEMBLY; DUNN EDWARDS; FLUORESCENT LIME "DE5511"
- ML-1 METAL LOUVER SYSTEM TO BE PAINTED TO MATCH DUNN EDWARDS; WHITE "DEK380"
- WP-1 WALL PANELING; NICHIA; VINTAGE WOOD SERIES; COLOR: ASH
- WP-2 WALL PANELING; DRI-DESIGN ALUMINUM SHADOW SERIES; COLOR TO MATCH: KN5011 BIG DADDY BLUE
- WP-3 WALL PANELING; DRI-DESIGN ALUMINUM SHADOW SERIES; COLOR TO MATCH: KN5010 LONDON SQUARE
- WT-1 WALL TILE; ARIZONA TILE; COLOR TIVOLI (24X48)
- SF-1 ALUMINUM STOREFRONT AND REVEALS; COLOR: CLEAR ANODIZED ALUMINUM
- AW-1 ALUMINUM CANTILEVERED AWNING; CENTRIA; CS SUNSHADES; COLOR: SUNDANCE MICA 9489 PLATINUM
- GLZ-1 ENERGY CONTROL GLAZING WITH BLUE TINT AND SLIGHT REFLECTIVE COATING; VIRACON; VEZ-M

NOTES

- ALL STUCCO TO BE INTEGRAL COLOR PAINT
- ALUMINUM STOREFRONT COMPONENTS TO RECEIVE CLEAR ANODIZED FINISH
- SQUARE ALL STUCCO CORNERS
- PTAC AND SLEEVE MUST BE COMPLETELY SEALED INSIDE AND OUT TO MAKE WATERTIGHT
- STUCCO TO BE LIGHT SAND FINISH - SUBMIT SAMPLES TO OWNER FOR APPROVAL
- PROVIDE ILLUMINATED ADDRESS NUMBERS LOCATED IN A POSITION THAT IS LESIBLE AND VISIBLE FROM THE STREET. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE A MINIMUM OF 8" HIGH.



RED INC ARCHITECTS
1217 J STREET, MODESTO, CA 95354
209.522.8400



CALIFORNIA

HOME 2 SUITES
1296 LAWRENCE STATION RD
SUNNYVALE

DESIGN DRAWINGS FOR:

APN # 104-33-12
DATE: 05.04.20
DRAWN: C.G.
CHECKED: D. BURKETT

A-2.1

0 1/4" 1/2" 1" 2"

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2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

MATCH STUCCO COLOR TO THE FOLLOWING DUNN EDWARDS PAINT COLORS

- ST-1 PAINTED STUCCO ASSEMBLY; DUNN EDWARDS; SILVER POLISH "DEB314"
- ST-2 PAINTED STUCCO ASSEMBLY; DUNN EDWARDS; WHITE "DEK300"
- ST-3 PAINTED STUCCO ASSEMBLY; DUNN EDWARDS; FLUORESCENT LIME "DE5511"
- ML-1 METAL LOUVER SYSTEM TO BE PAINTED TO MATCH DUNN EDWARDS; WHITE "DEK300"
- WP-1 WALL PANELING; NICHHA; VINTAGE WOOD SERIES; COLOR: ASH
- WP-2 WALL PANELING; DRI-DESIGN ALUMINUM SHADOW SERIES; COLOR TO MATCH: KN5011 BIG DADDY BLUE
- WP-3 WALL PANELING; DRI-DESIGN ALUMINUM SHADOW SERIES; COLOR TO MATCH: KN5010 LONDON SQUARE
- WT-1 WALL TILE; ARIZONA TILE; COLOR TIVOLI (24x48)
- SF-1 ALUMINUM STOREFRONT AND REVEALS; COLOR: CLEAR ANODIZED ALUMINUM
- AW-1 ALUMINUM CANTILEVERED AWNING; CENTRIA; CS SUNSHADES; COLOR: SUNDANCE MICA 9489 PLATINUM
- GLZ-1 ENERGY CONTROL GLAZING WITH BLUE TINT AND SLIGHT REFLECTIVE COATING; VIRACON; VEZ-M

NOTES

- ALL STUCCO TO BE INTEGRAL COLOR PAINT
- ALUMINUM STOREFRONT COMPONENTS TO RECEIVE CLEAR ANODIZED FINISH
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HOME 2 SUITES
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A-2.2

0 1/4" 1/2" 1" 2"

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RENDERING 1- FRONT STREET VIEW (LAWRENCE STATION)



RENDERING 2- FRONT STREET VIEW (MOUNTAIN VIEW)



RENDERING 3- FRONT STREET VIEW (LAWRENCE STATION)



RENDERING 4- REAR OF BUILDING AT INNER LOT



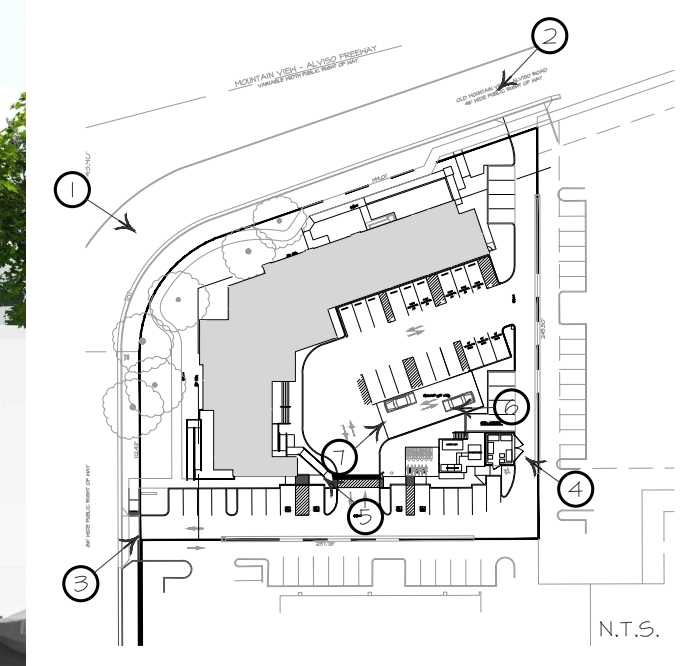
RENDERING 5- PEDESTRIAN PATH OF TRAVEL AT PARKING STRUCTURE



RENDERING 6- VIEW OF UPPER PATIO AND GREEN ROOF



RENDERING 7- VIEW OF PARKING WALL



KEYPLAN



RED INC ARCHITECTS
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209.522.8400



CALIFORNIA

HOME 2 SUITES
1296 LAWRENCE STATION RD

DESIGN DRAWINGS FOR:

SUNNYVALE

APN # 104-33-12
DATE: 05.04.20
DRAWN: C.G.
CHECKED: D. BURKETT

A-2.3

0 1/4" 1/2" 1" 2"

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1 LAWRENCE STATION ROAD STREETSCAPE
SCALE: 1" = 10'-0"



2 MOUNTAIN VIEW STREETSCAPE
SCALE: 1" = 10'-0"



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CALIFORNIA

HOME 2 SUITES
1296 LAWRENCE STATION RD

DESIGN DRAWINGS FOR:

SUNNYVALE

APN # 104-33-12
DATE: 05.04.20
DRAWN: C.G.
CHECKED: D. BURKETT

A-2.4a

0 1/4" 1/2" 1" 2"

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3 MOUNTAIN VIEW STREETScape
SCALE: 1" = 10'-0"



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CALIFORNIA

HOME 2 SUITES
1296 LAWRENCE STATION RD

DESIGN DRAWINGS FOR:

SUNNYVALE

APN # 104-33-12
DATE: 05.04.20
DRAWN: C.B.
CHECKED: D. BURKETT

A-2.4b



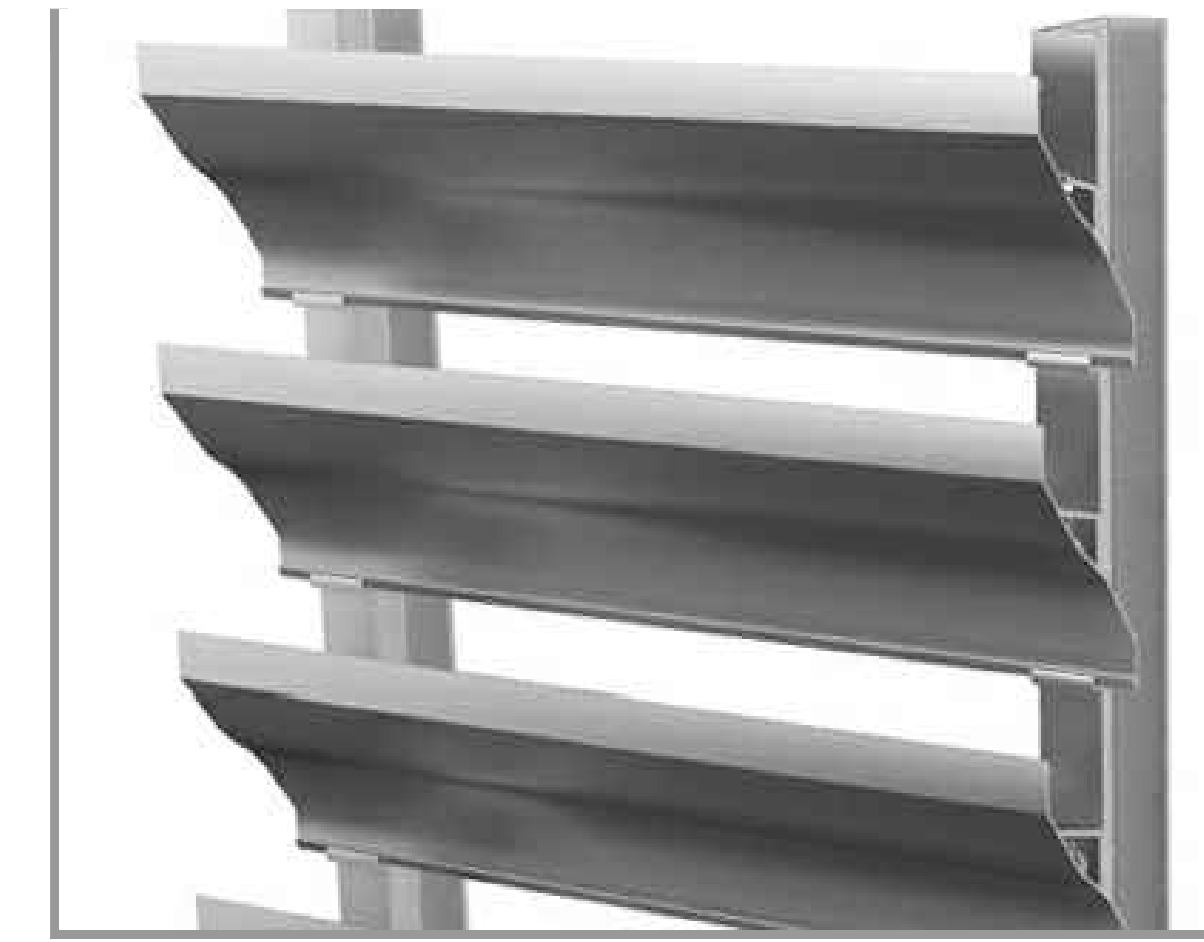
ST-1 PAINTED STUCCO ASSEMBLY: DUNN EDWARDS: PORPOISE "DE6313"



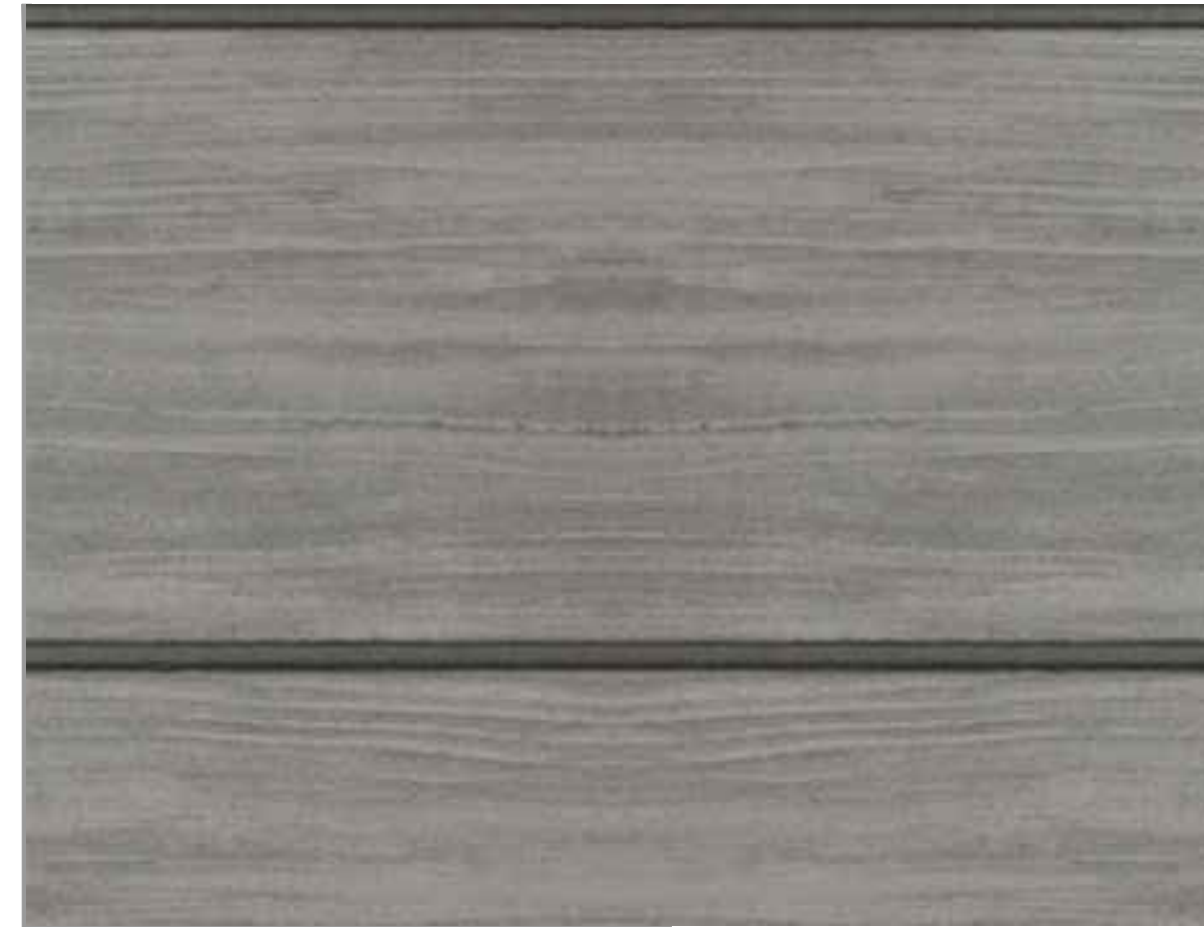
ST-2 PAINTED STUCCO ASSEMBLY: DUNN EDWARDS: WHITE "DEW380"



ST-3 PAINTED STUCCO ASSEMBLY: DUNN EDWARDS: FLUORESCENT LIME "DE551T"



ML-1 METAL LOUVER SYSTEM TO BE PAINTED TO MATCH: DUNN EDWARDS: WHITE "DEW380"



WP-1 WALL PANELING: NICHHA: VINTAGE WOOD SERIES, COLOR: ASH



WP-2 WALL PANELING: DRI-DESIGN ALUMINUM SHADOW SERIES, COLOR TO MATCH: KM5811 BIG DADDY BLUE



WP-3 WALL PANELING: DRI-DESIGN ALUMINUM SHADOW SERIES, COLOR TO MATCH: KM5810 LONDON SQUARE



WT-1 WALL TILE: ARIZONA TILE: COLOR TIVOLI (24X48)



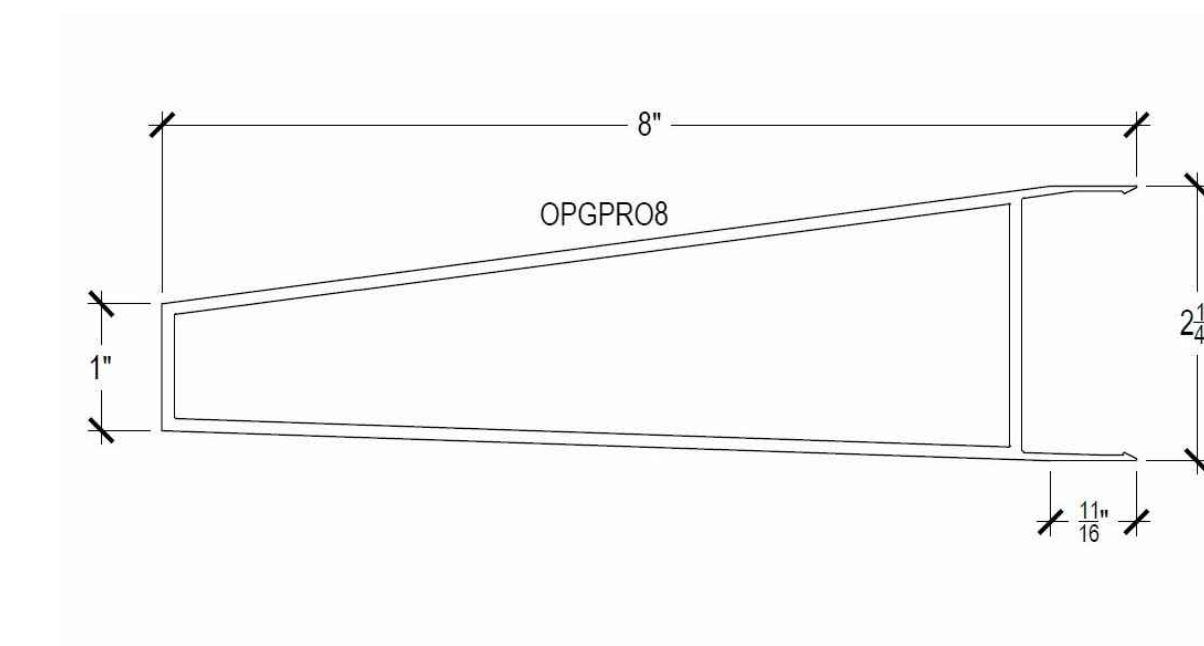
SF-1 ALUMINUM STOREFRONT AND REVEALS: ACADIA-CURTAIN WALL T500, STOREFRONT AF300, COLOR: CLEAR ANODIZED ALUMINUM



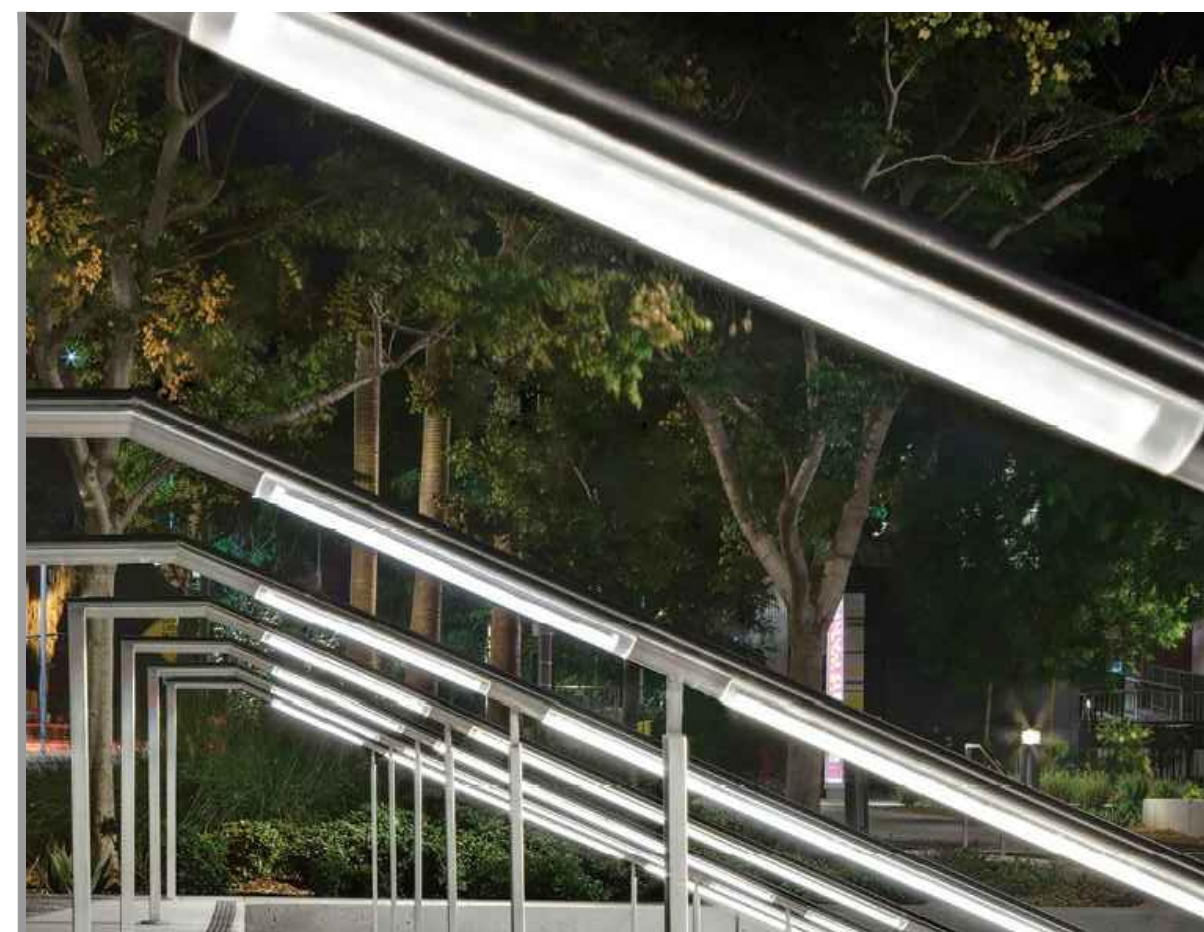
AW-1 ALUMINUM CANTILEVERED AWNING: CENTRIA: C5 SUNSHADES: COLOR: SUNDANCE MICA 9989 PLATINUM



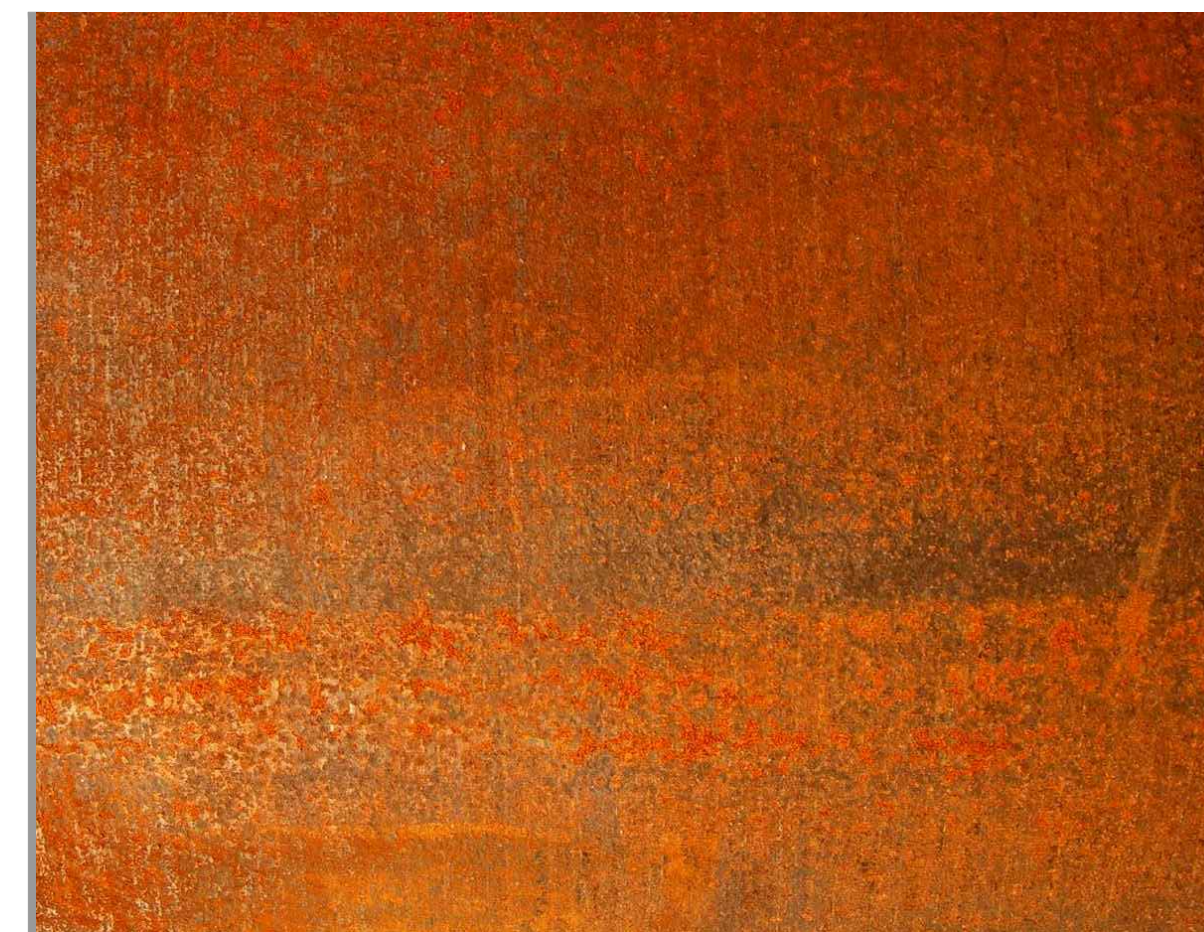
GLZ-1 ENERGY CONTROL GLAZING WITH BLUE TINT AND SLIGHT REFLECTIVE COATING: VIRACON: VE2-M



CURTAIN WALL EXTENSIONS: ARCADIA-T500 SYSTEM COVER CAPS, OPGPRO8



HANDRAILS: INTENSE LIGHTING- IVR15-RPSWLC, V-RAIL



CUSTOM METAL PLANTER AT ENTRIES, FINISH: CUSTOM OXIDIZED FINISH



PAVERS: UNILOCK- ARTLINE, COLOR: WINTER MARVEL, 17.75" X 4 1/8"

BAYWOOD HOTELS HILTON HOME 2 PRELIMINARY CIVIL PLANS

1296 LAWRENCE STATION ROAD, SUNNYVALE, CA 94089

SHEET INDEX:

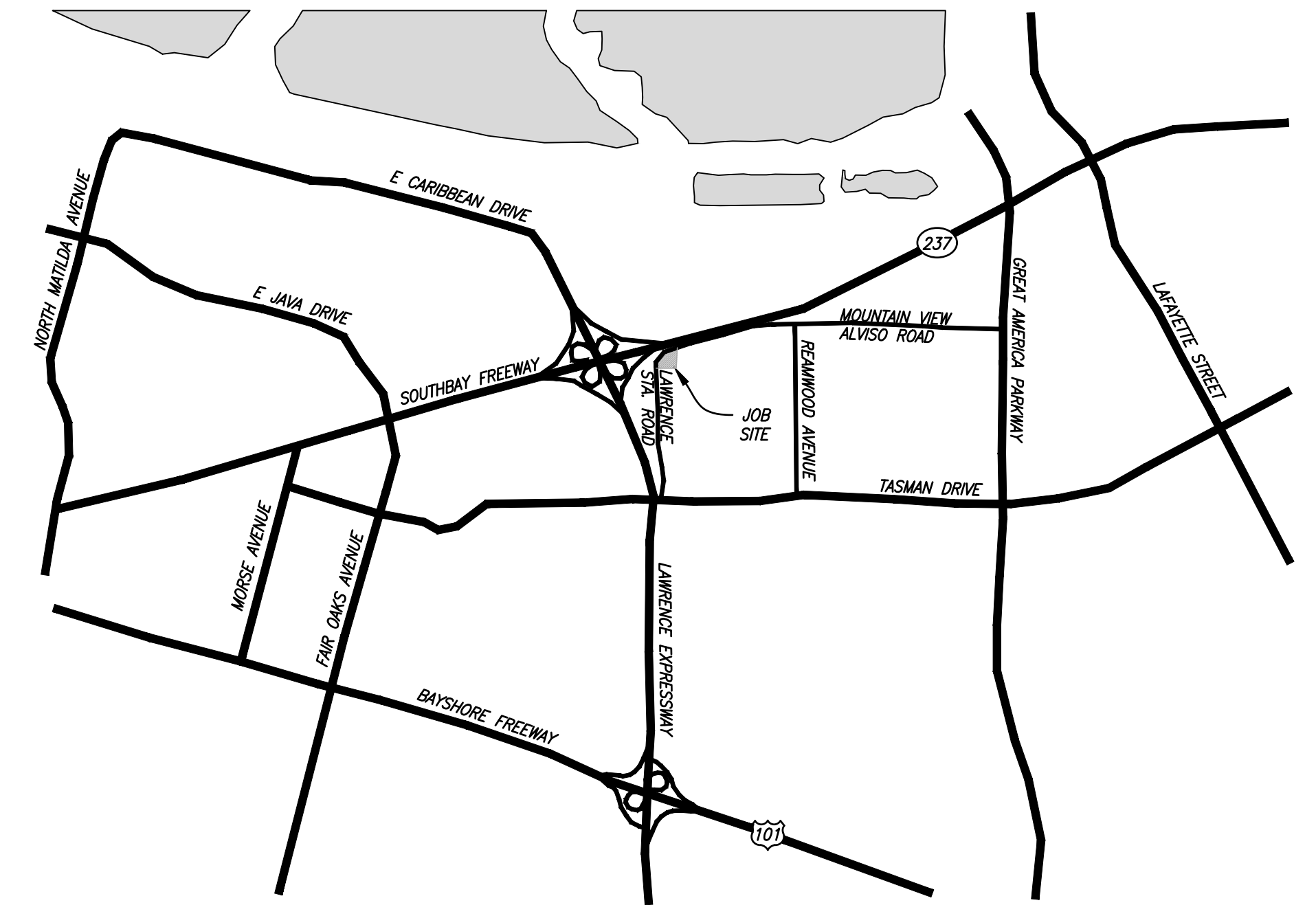
- C-1 PRELIMINARY CIVIL PLANS COVER SHEET
- C-gn1 PRELIMINARY CIVIL SITE IMPROVEMENTS PLAN
- C-gn2 PRELIMINARY STREET SECTIONS
- C-gn3 FIRE TRUCK & GARBAGE TRUCK SWEEPS & MISC. CIRCULATION PLAN
- C-gsw1 PRELIMINARY GRADING & STORM WATER MANAGEMENT PLAN
- C-u1 PRELIMINARY UTILITY PLAN
- C-d1 PRELIMINARY STORM WATER MANAGEMENT DETAILS
- C-d2 PRELIMINARY STORM WATER MANAGEMENT DETAILS
- Sv-1 TOPOGRAPHY SURVEY
- PL-1 PRELIMINARY LANDSCAPE PLAN
- PL-2 PRELIMINARY ROOF GARDEN PLAN
- PL-3 TREE SHADING PLAN
- SE-1 PHOTOMETRIC PLAN
- PG&E- PRELIMINARY UNDERGROUND ELECTRICAL PLAN

SURVEY DATUM:

CITY OF SUNNYVALE BENCHMARK #31 - A BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF MOFFETT PARK DRIVE AND CARIBBEAN DRIVE. EL 3.266 (BASED ON NAVD88)

FLOOD ZONE INFORMATION:

FLOOD ZONE AE-FEMA FIRM MAP ELEVATION 11.0-NAVD88.



VICINITY MAP
SCALE: 1"=2000'
NORTH

LEGEND:

DESCRIPTION:	PROPOSED:	EXISTING:	DESCRIPTION:	PROPOSED:	EXISTING:
CENTERLINE	---	---	CURB DRAIN	■	■
CURB, GUTTER, SIDEWALK	====	====	MANHOLE	○	○
STRUCTURES TO BE DEMOLISHED	FIELD INLET, CATCH BASIN	□	□
MONUMENT LINE	---	---	UTILITY PULL BOX / STUB-OUT BOX	▭	▭
RIGHT OF WAY/ PROPERTY LINE	---	---	FIRE HYDRANT	⦿	⦿
STORM DRAIN	—SD—	—SD—	SANITARY SEWER CLEANOUT	●	●
SANITARY SEWER	—SS—	—SS—	SANITARY SEWER SERVICE LATERAL	—	—
WATER	—W—	---(E)W---	WATER SERVICE	□	□
USA MARKED WATERLINE		—USA W—	WATER MAIN AND VALVE	⊗	⊗
ELECTRIC CONDUIT	—E—	—E—	STREET NAME SIGN	⊕	⊕
GAS	—G—	—G—	CITY MONUMENT	⊙	⊙
TELEPHONE, DATA (COMMUNICATION)	—COM—	—COM—	PRIVATE MONUMENT	⊗	⊗
JOINT TRENCH	—JT—	—JT—	ELECTROLIER	⊕	⊕
OVERHEAD LINE		—OHL—	SWALE (1% MIN.)	—	—
EASEMENT	---	---	DIRECTION OF SLOPE (x=SLOPE)	→	→
CONTOUR, ELEVATION AND SPOT ELEVATION	16 x 16.25	16 x 16.25	DIRECTION OF FLOW	→	→
			TOP OF WALL ELEVATION, TW	TW	TW
			BOTTOM OF WALL ELEVATION, BW	BW	BW

GENERAL ABBREVIATIONS:

#, DIA.	DIAMETER	FS	FIRE SERVICE	TC	TOP OF CURB
AB	AGGREGATE BASE	G	GAS	TI	TRAFFIC INDEX
AC	ASPHALT CONCRETE PAVING	GR	GRATE	TOF	TOP OF FOOTING
ADS	ADVANCED DRAINAGE SYSTEMS, INC.	GV	GATE VALVE	TOP	TOP OF PIPE
ACWD	ALAMEDA COUNTY WATER DISTRICT	HORIZ.	HORIZONTAL	TR	TOP OF RAMP
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	HP	HIGH POINT	TW	TOP OF WALL
ARV	AIR VALVE	INL DR	INLET DRAIN	HORIZ.	TYPICAL
AWWA	AMERICAN WATER WORKS ASSOCIATION	INV	INVERT	(1+00.00)	STATION
BC	BEGINNING OF CURVE	JT	JOINT TRENCH	VERT.	VERTICAL
B/W, BSWK	BACK OF SIDEWALK	LC	LEAN CONCRETE	W	WATER
BFP	BACK FLOW PREVENTOR	LFT	LEFT	WLE	WATER LINE EASEMENT
BN	BASIN	LTSB	LIME TREATED SUB-BASE	WM	WATER MAIN
BW	BOTTOM OF WALL	MH	MANHOLE	W MTR	WATER METER
BOV	BLOWOFF VALVE	MON	MONUMENT	WSP	WELDED STEEL PIPE
BV	BUTTERFLY VALVE	(N)	NEW	WLK	WALK
CC&G	CONCRETE CURB & GUTTER	OAE	OR APPROVED EQUAL	X%	SLOPE AND DIRECTION
CB	CATCH BASIN	OFST	OFFSET		
CD	CURB DRAIN	P	PAVEMENT GRADE		
CDF	CONTROLLED DENSITY FILL	PAE	PUBLIC ACCESS EASEMENT		
CL, C/L	CENTERLINE	PCM	PRIVATE CONTROL MANHOLE		
CIP	CAST IN PLACE	PERV	PERVIOUS		
CJ	CONTROL JOINT	PL	PROPERTY LINE		
CONC.	CONCRETE, CONCENTRIC	POC	POINT OF CONNECTION		
CONN.	CONNECT/CONNECTION	PSE	PUBLIC SERVICE EASEMENT		
COTG	CLEANOUT TO GRADE	PT	POINT		
CY	CUBIC YARDS	PUE	PUBLIC UTILITY EASEMENT		
DCV	DETECTOR CHECK VALVE	PVAE	PRIVATE VEHICLE ACCESS EASEMENT		
DI	DROP INLET, DRAIN INLET	PVC	POLYVINYL CHLORIDE		
DIM	DIMENSION	PVMNT	PAVEMENT		
DWY, DWY	DRIVEWAY	R/W, ROW	RIGHT OF WAY		
E	ELECTRIC, EAST, EXISTING	RIGHT	RIGHT		
(E)	EXISTING	SCH.	SCHEDULE		
EC/BC	END OF CURVE/BEGINNING OF CURVE	SD	STORM DRAIN		
EL, ELEV	ELEVATION	SDE	STORM DRAIN EASEMENT		
ELL	ELBOW	SDMH	STORM DRAIN MANHOLE		
EMBANK	EMBANKMENT	SERV	SERVICE		
EP	EDGE OF PAVEMENT	SF	SQUARE FEET		
ETS	ELECTROLYSIS TEST STATION	SL, ST. LT.	STREET LIGHT		
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SS	SANITARY SEWER		
(E) WLE	EXISTING WATER EASEMENT	SSFM	SANITARY SEWER FORCE MAIN		
ESE	EXISTING SEWER EASEMENT	SSMH	SANITARY SEWER MANHOLE		
FC, CR	FACE OF CURB/CURB RETURN	STA	STATION		
FDC	FIRE DEPT. CONNECTION	STD	STANDARD		
FI	FIELD INLET	STD DWG	STANDARD DRAWING		
FH	FIRE HYDRANT	STL	STEEL		
FL	FLOW LINE	SWK	SIDEWALK		
FLG	FLANGE, FLANGED	T1	AT&T T-1 JUNCTION PULL BOX		
FC, FOC	FACE OF CURB				

SPECIFIC ABBREVIATIONS - THIS SITE:

LWR STA RD. LAWRENCE STATION ROAD
OLD MTV RD. OLD MOUNTAIN VIEW ROAD

REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
PRELIMINARY CIVIL PLANS COVER SHEET

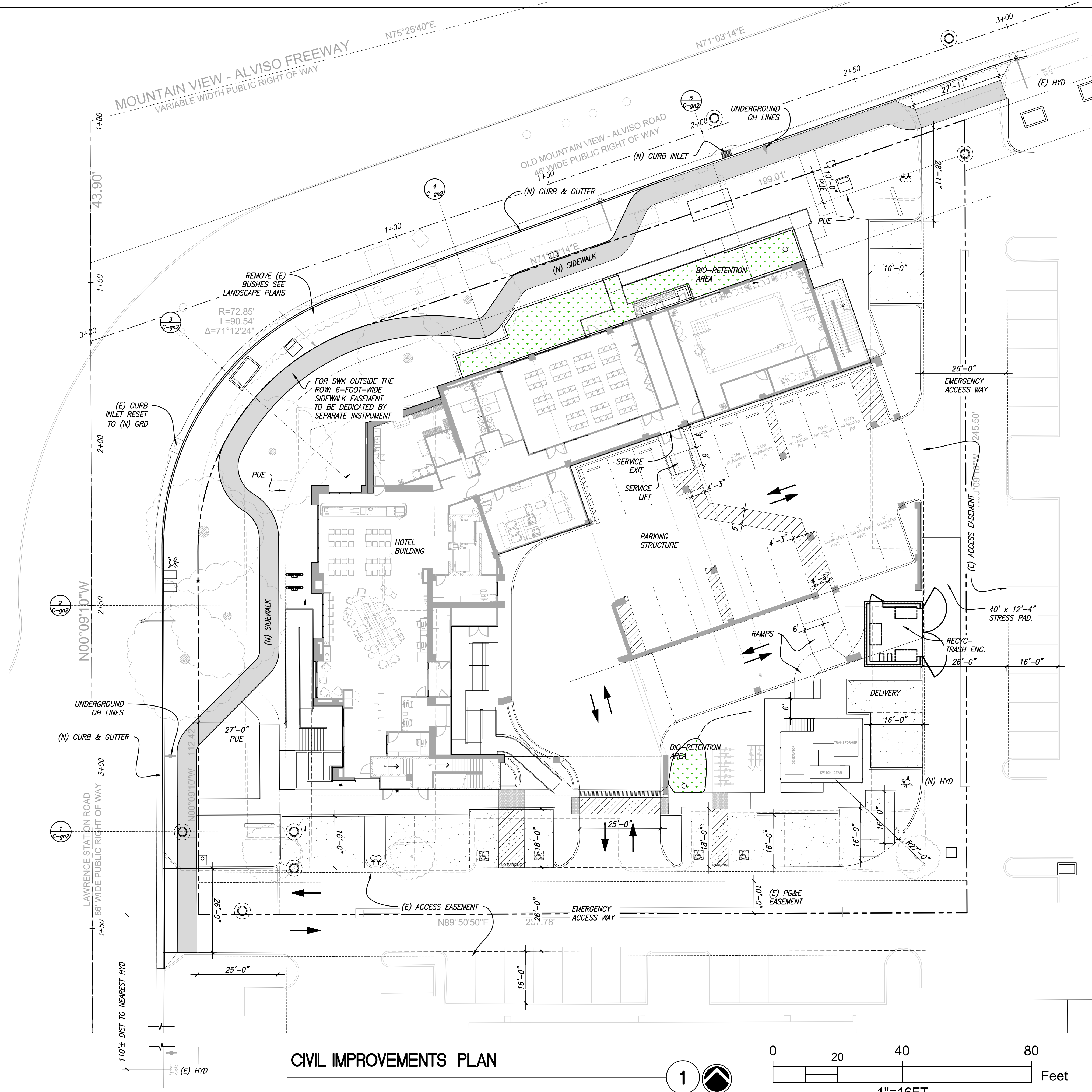
DATE: 12-20-2019

SCALE:

DWG. NO.:

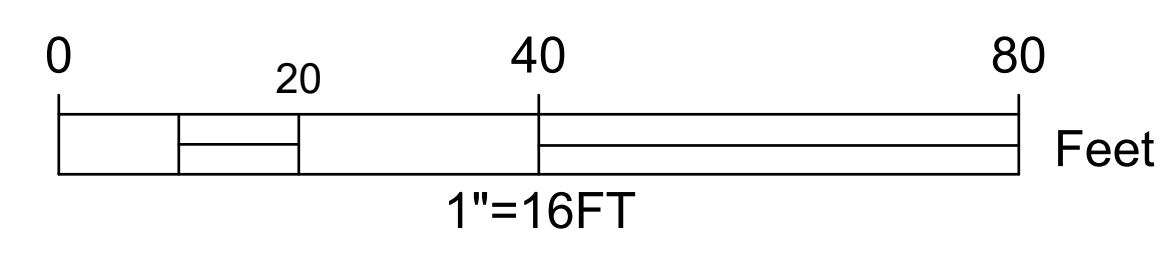
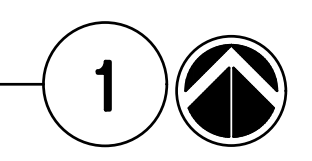
C-1

SHT. NO. 1 OF 1



NOTE: UNDERGROUNDING OF OVERHEAD LINES SHALL BEGIN AT ADJACENT PROPERTIES ON EACH END SUCH THAT THERE ARE NO OVERHEAD LINES ALONG THE ENTIRE PROPERTY FRONTAGE. SEE C-u1 & PRELIMINARY PG&E DRAWING

CIVIL IMPROVEMENTS PLAN



REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

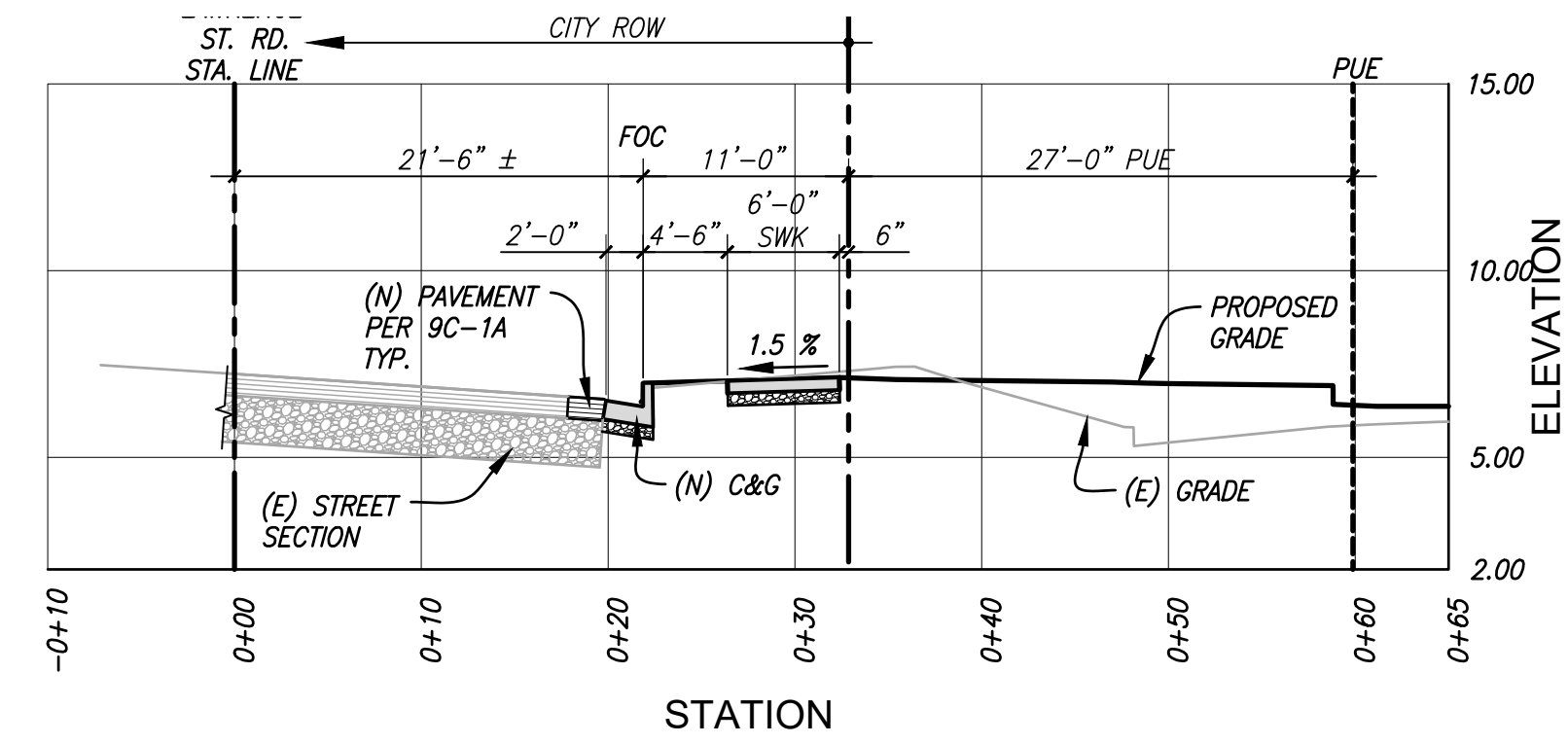
SHEET TITLE:
PRELIMINARY CIVIL SITE IMPROVEMENTS PLAN

DATE: 1-6-2020

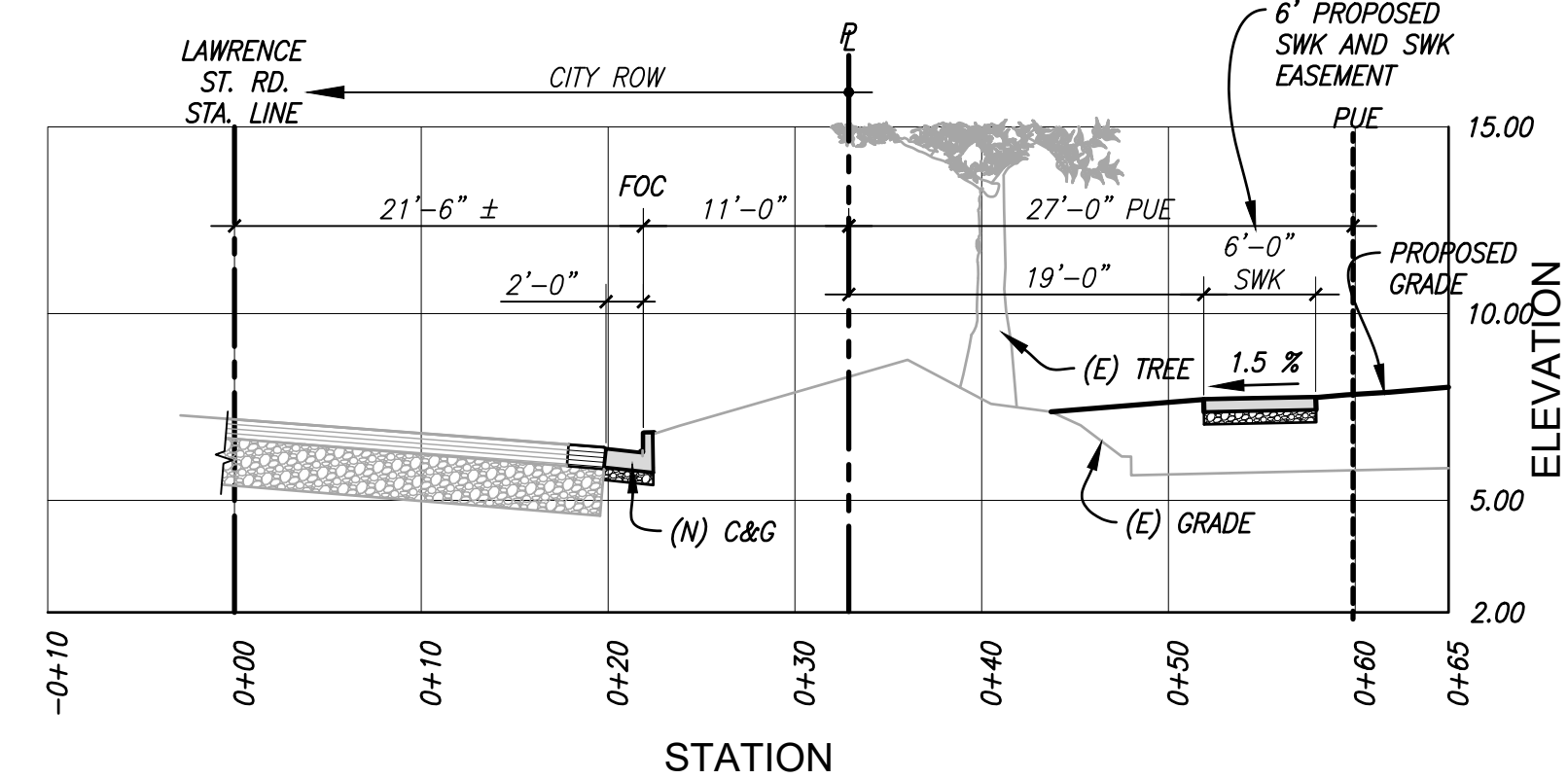
SCALE:

DWG. NO.: **C-gn1**

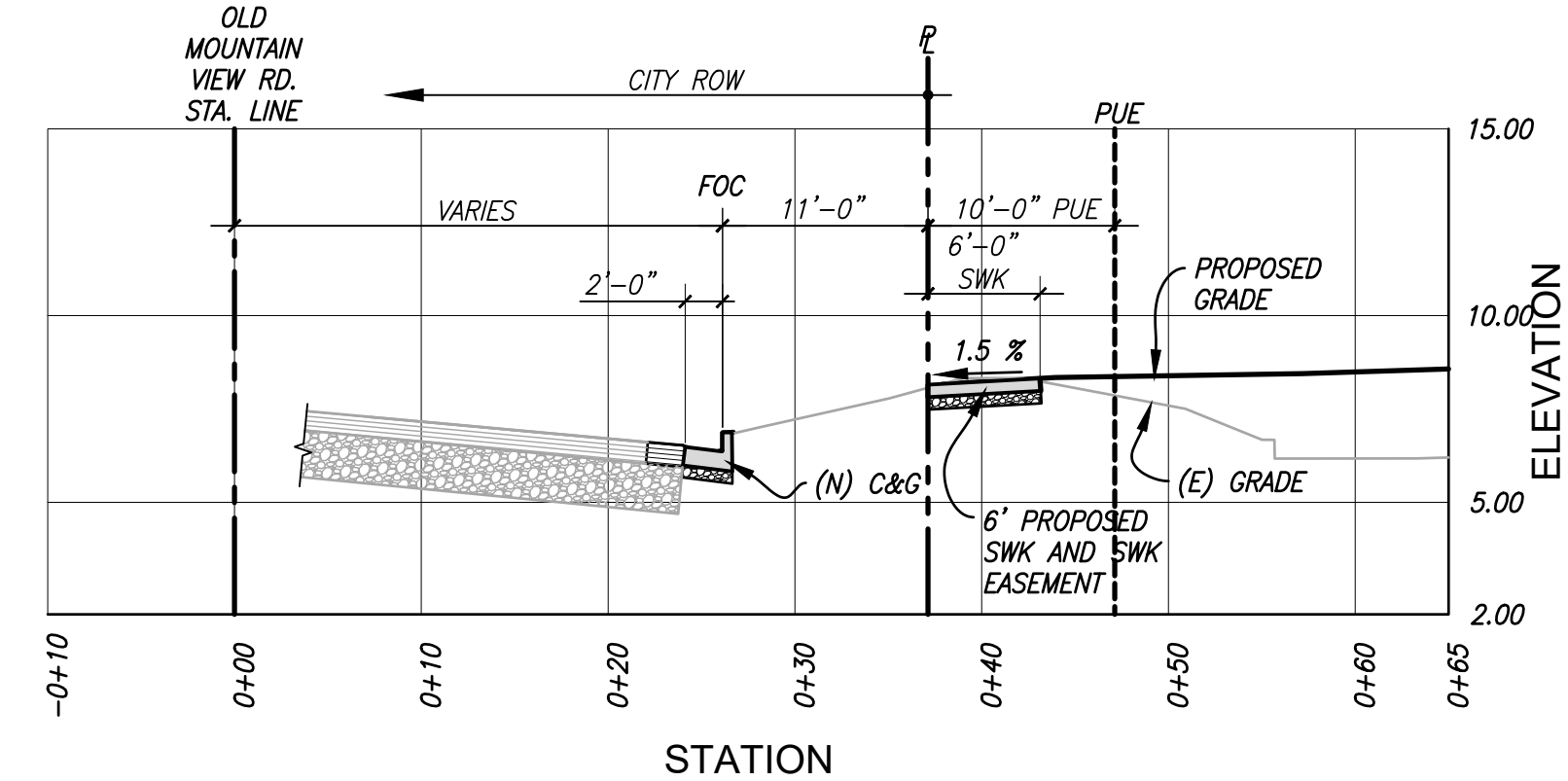
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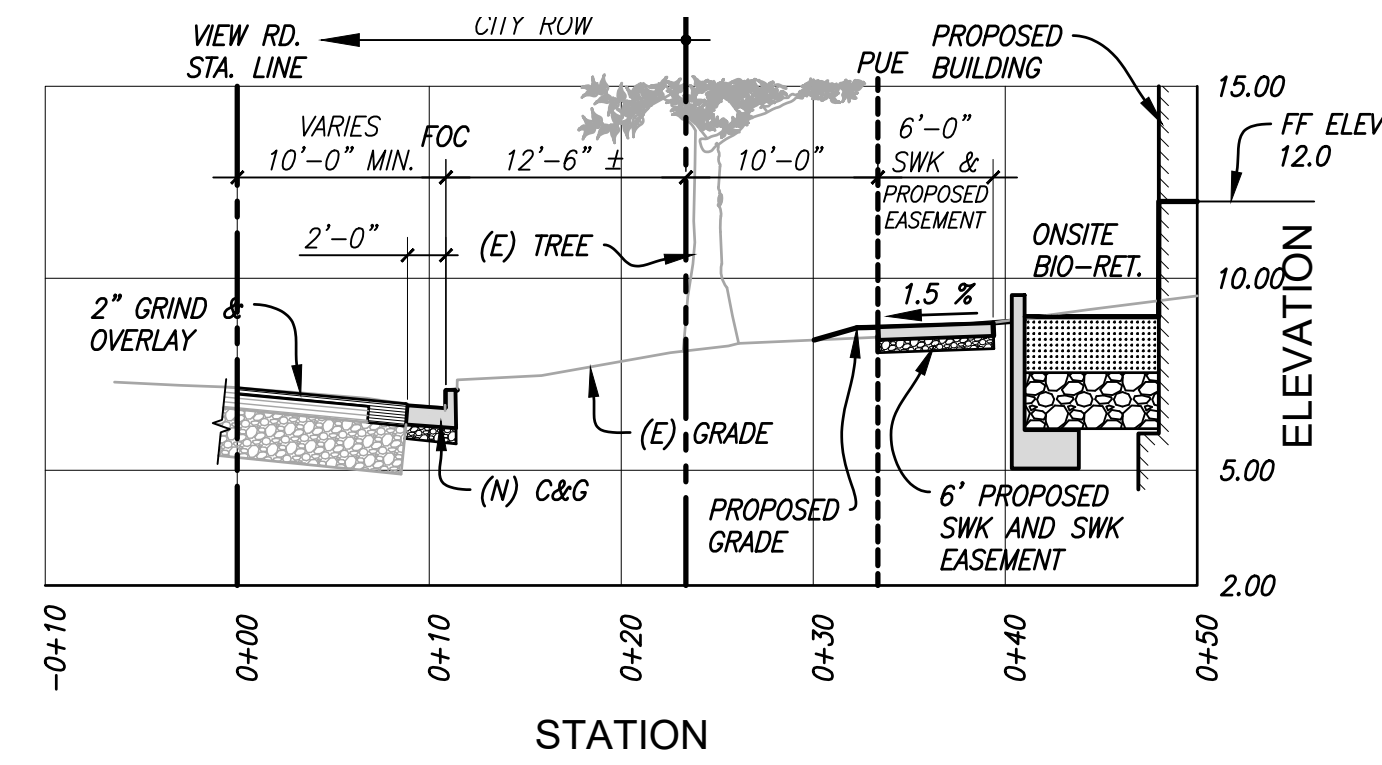
SECTION- 1-Lawrence St Rd @ STA 3+20



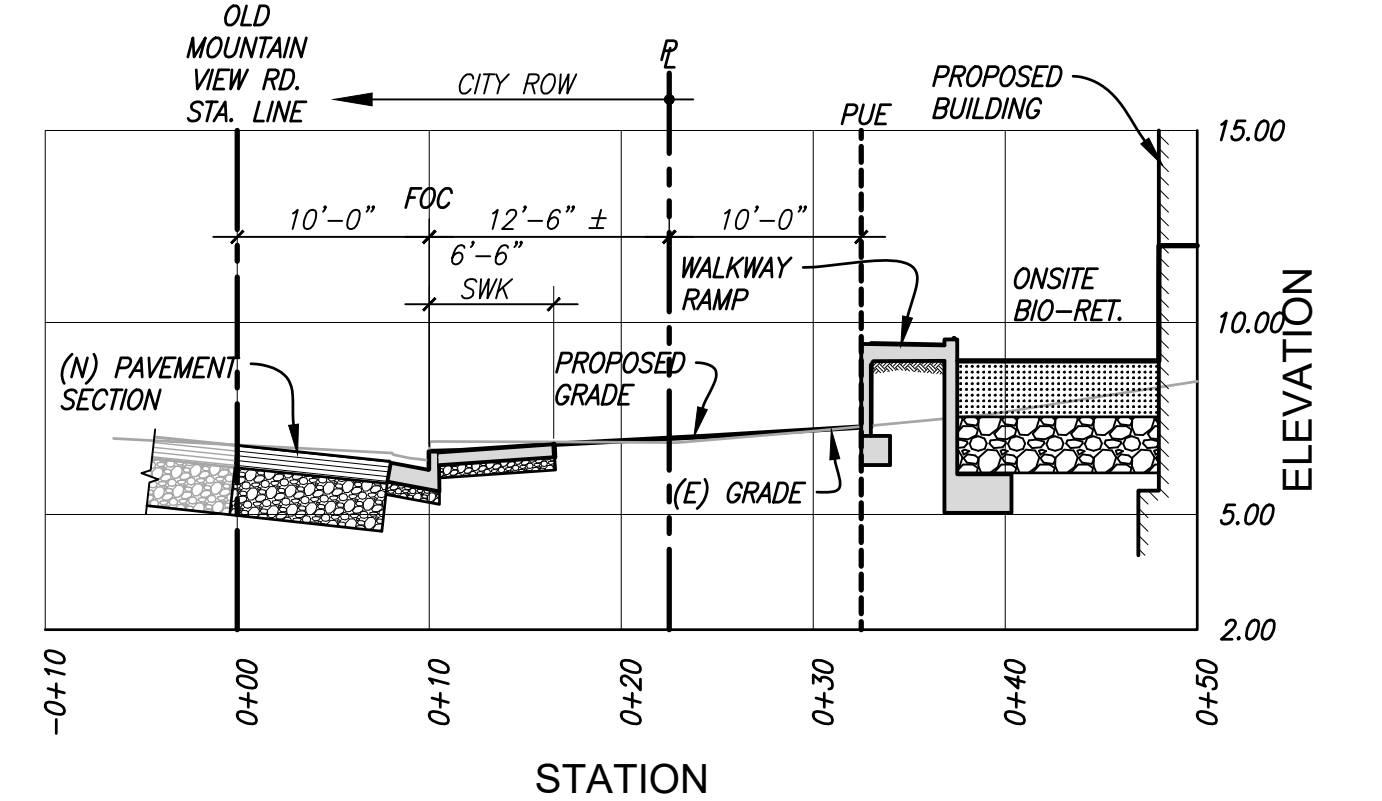
SECTION- 2-Lawrence St Rd @ STA 2+50



SECTION- 3-Lawrence Sta-Old Mountain View Rds @ Corner



SECTION- 4-Old MountainView Rd- @ STA 1+16



SECTION- 5-Old MountainView Rd @ STA 2+00

TYPICAL STREET SECTIONS

1

SCALE 1: 10FT H: 1"=5FT V.

REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

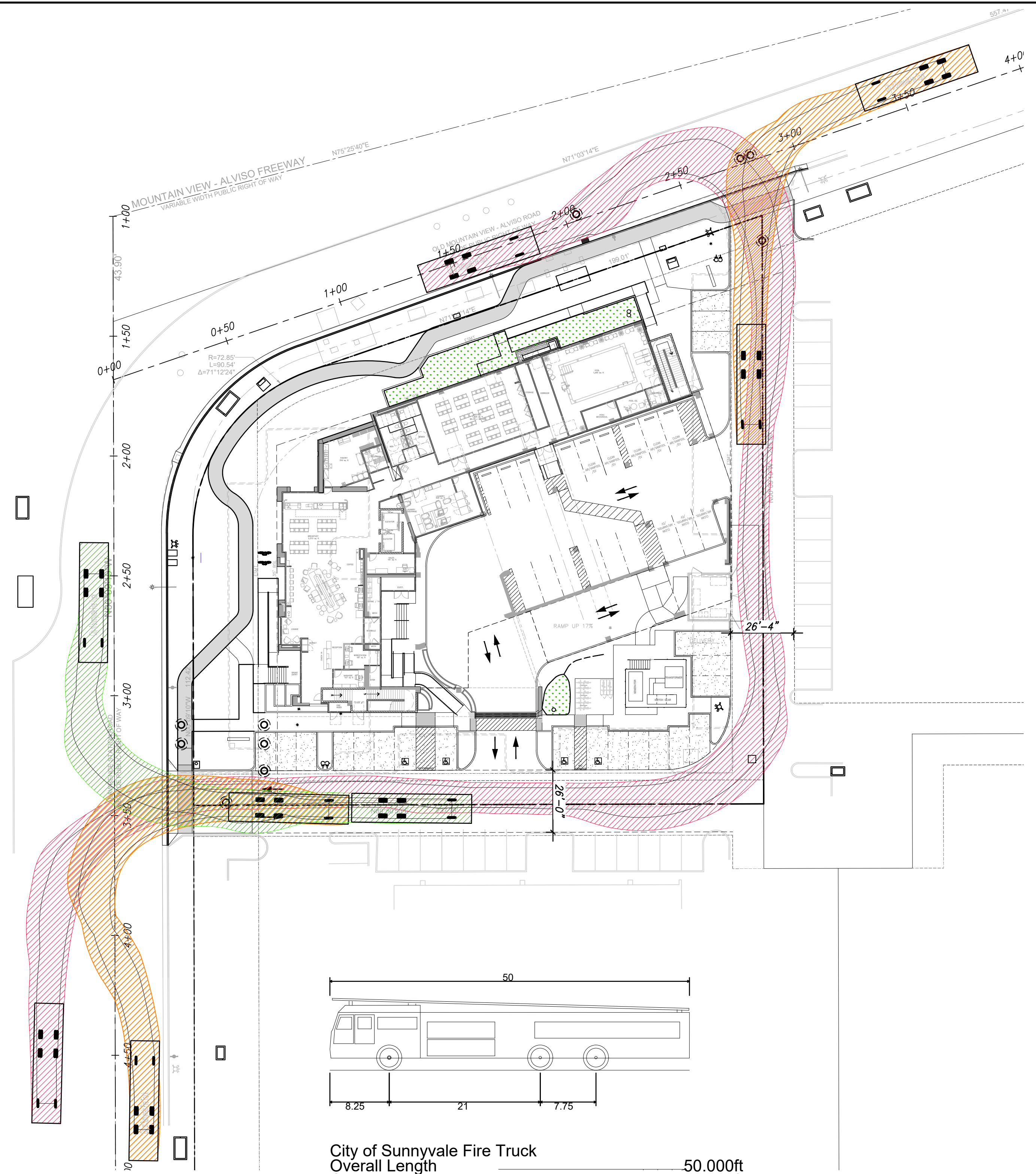
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PRELIMINARY STREET SECTIONS

DATE: 1-6-2020

SCALE:

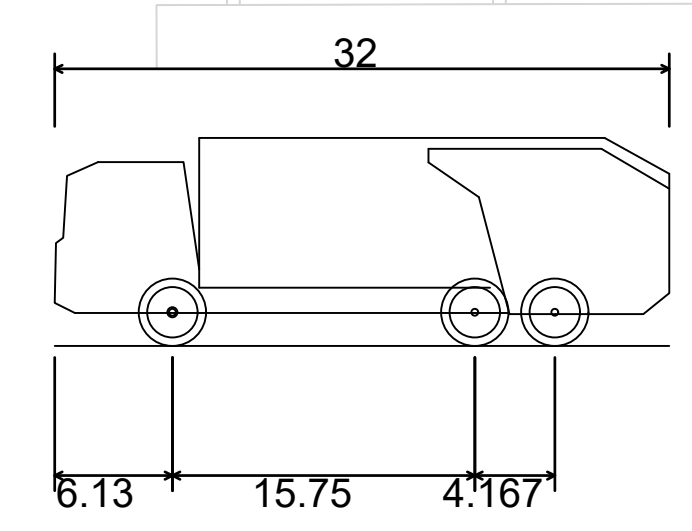
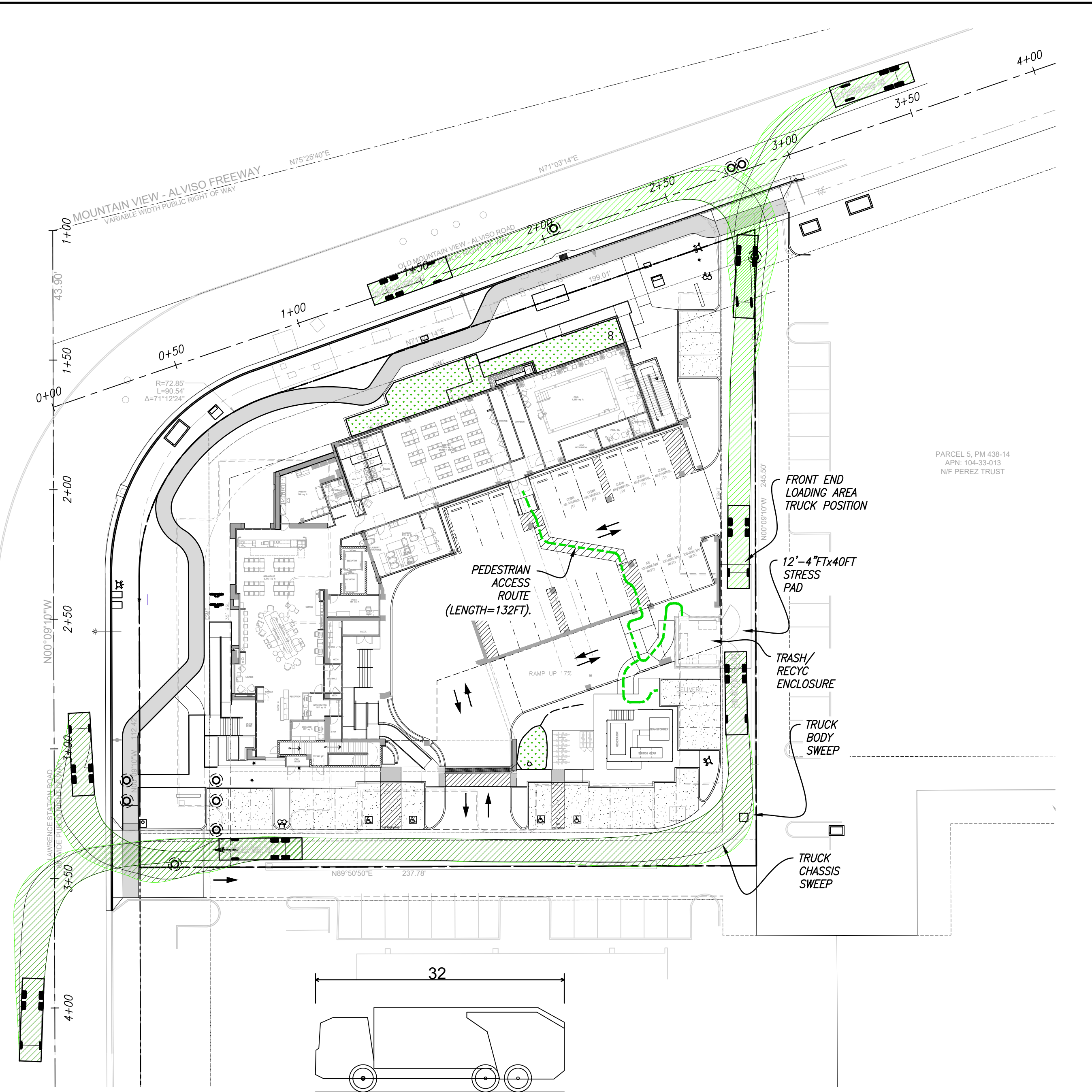
DWG. NO.: C-gn2

SHT. NO: 3 OF



City of Sunnyvale Fire Truck
 Overall Length 50.000ft
 Overall Width 12.000ft
 Overall Body Height 10.000ft
 Min Body Ground Clearance 1.685ft
 Track Width 8.160ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

FIRE TRUCK SWEEP, LOADING 1



City of Sunnyvale Garbage Truck
 Overall Length 32.000ft
 Overall Width 8.000ft
 Overall Body Height 10.831ft
 Min Body Ground Clearance 1.661ft
 Max Track Width 8.000ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 33.500ft

GARBAGE/ RECYC. TRUCK SWEEP, LOADING + PED ACCESS 2

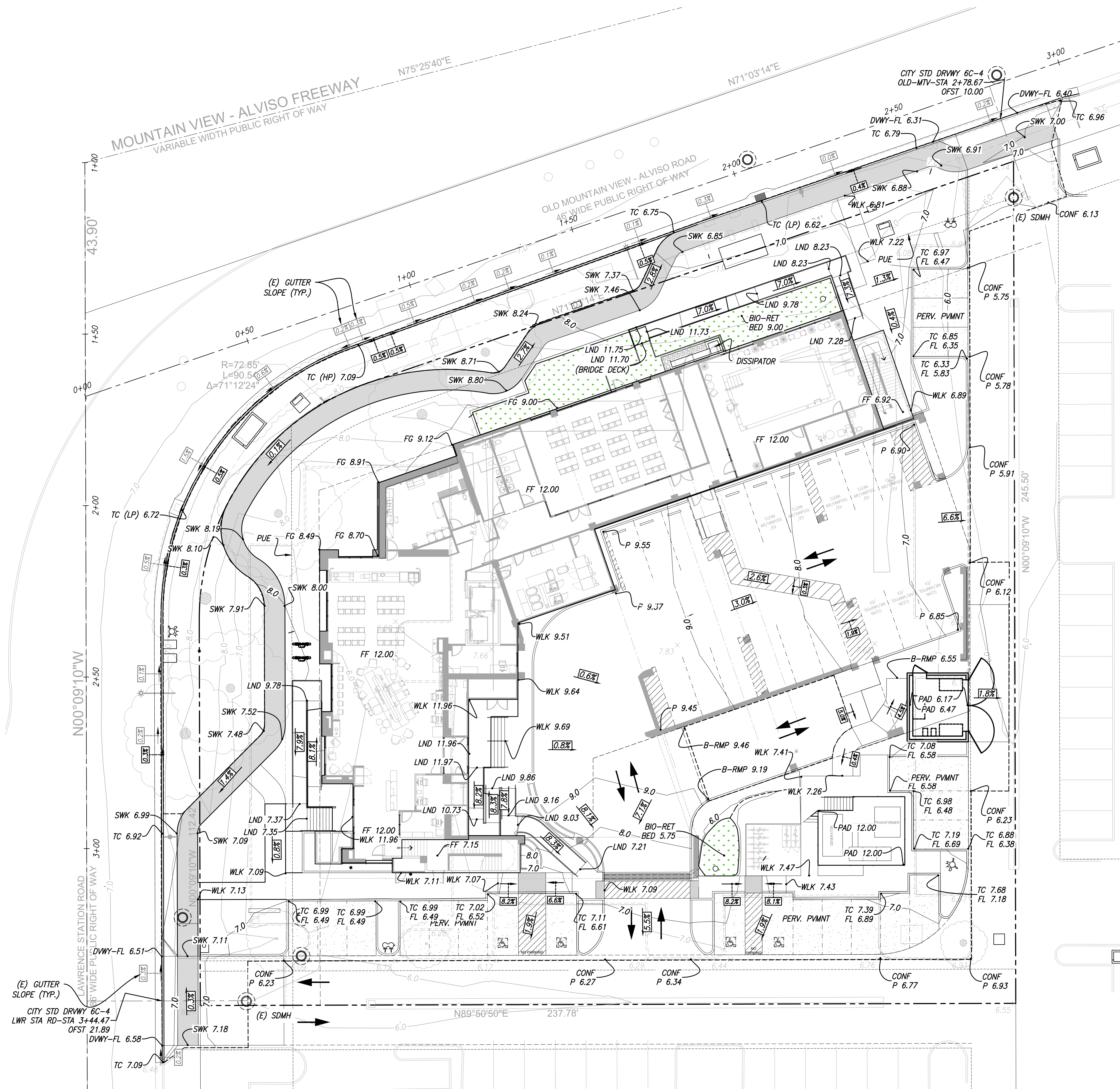
REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
 1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
 FIRE TRUCK & GARBAGE TRUCK SWEEP PLANS
 & MISC CIRCULATION

DATE:	12-9-2019
SCALE:	
DWG. NO.:	C-gn3
SHT. NO. 4 OF:	



ESTIMATED GRADING QUANTITIES		
	CUT (CY)	FILL (CY)
BASED ON SURFACE VOLUMES	720	2,540
BUILDING FOUNDATION		-1,250
IMPORT PAVING BASE		-750
NET VOLUMES (CY)	###	###
NET EXPORT (CY)	####	

REVISION	NO.	DATE	BY	APP.

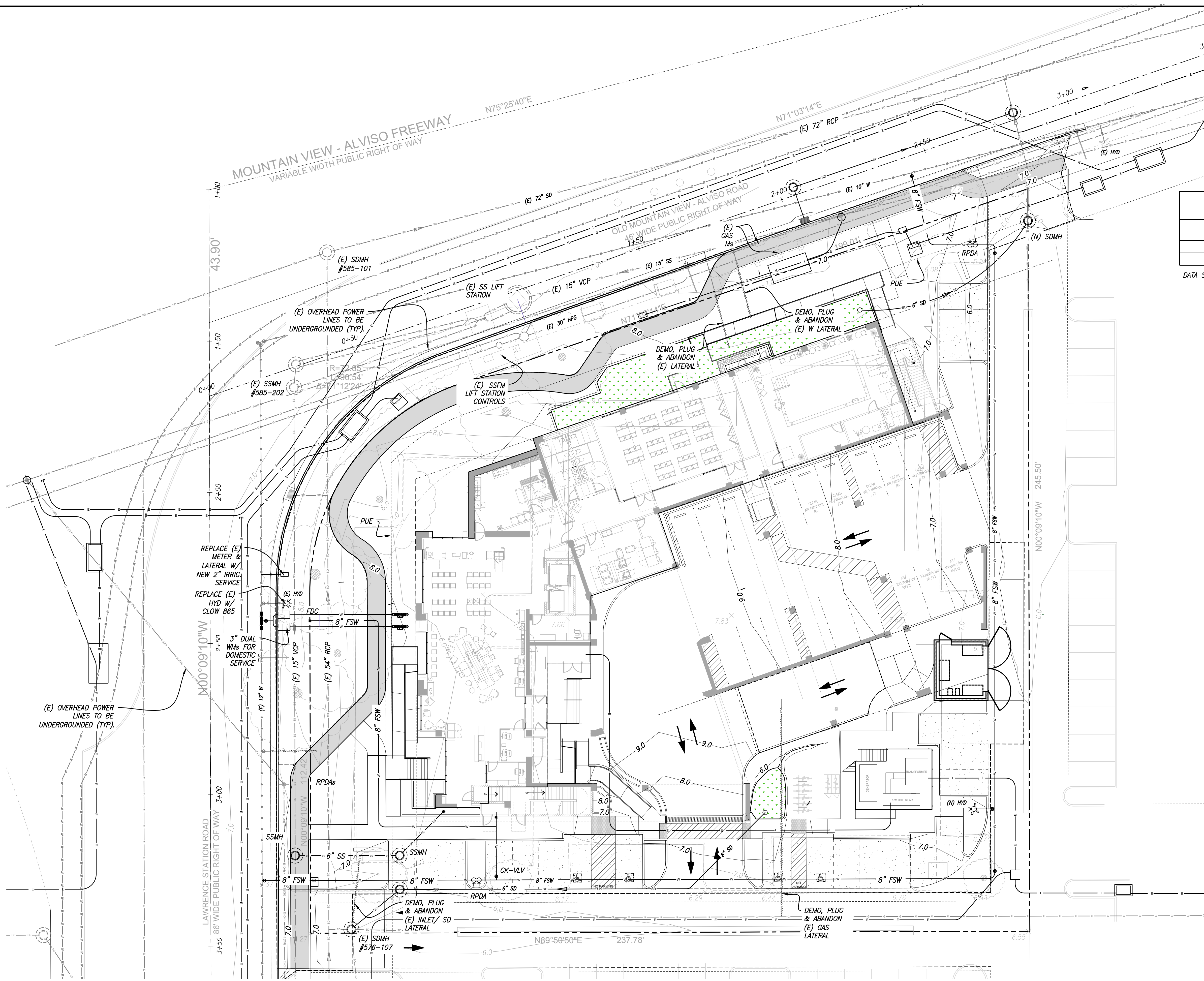


Landtech Consultants
 Civil & Structural Engineers
 3845 Beacon Avenue Suite D (510) 505-9501
 Fremont, CA 94538
<http://www.landtech.com>

HILTON HOME 2
 1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
 PRELIMINARY GRADING & STORM-WATER
 MANAGEMENT PLAN

DATE: 1-6-2020
 SCALE:
 DWG. NO.: **C-gsw1** SHT. NO. 5 OF 5



FIRE SERVICE (E) 12" MAIN TEST		
CONDITION	FLOW Q (GPM)	PRESSURE (PSI)
STATIC	0	98
TEST FLOW	1,500	94

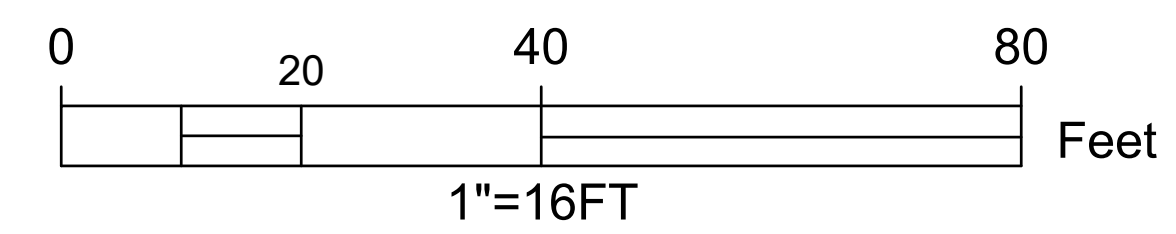
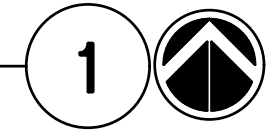
DATA SHOWN ABOVE IS BASED ON CITY OF SUNNYVALE TEST PROVIDED DECEMBER 20, 2017

CALCULATED FIRE SERVICE FLOW	
PARAMETER	CALCULATED DATA
REQUIRED FLOW (GPM)	3,063
RESIDUAL PRESSURE (PSI)	82

DATA SHOWN ABOVE IS BASED ON HYDRAULIC CALCULATIONS BY LANDTECH CONSULTANTS ACCOMPANYING THIS SUBMITTAL

NOTES:
 DEVELOPER IS RESPONSIBLE WITH ALL EXPENSE TO UNDERGROUND EXISTING OVERHEAD LINES ALONG THE OLD MOUNTAIN VIEW-ALVISO ROAD AND LAWRENCE STATION ROAD PROJECT FRONTAGES.
 UNDERGROUNDING OF OVERHEAD LINES SHALL BEGIN AT ADJACENT PROPERTIES ON EACH END SUCH THAT THERE ARE NO OVERHEAD LINES ALONG THE ENTIRE PROPERTY FRONTAGE. REFER TO PG&E DRAWING FOR REFERENCE.
 FIRE SERVICE CONNECTION BACK FLOW PREVENTERS (RPDA) SHALL BE IN ACCORDANCE WITH CITY STANDARD DETAIL 21B.

PRELIMINARY UTILITY PLAN



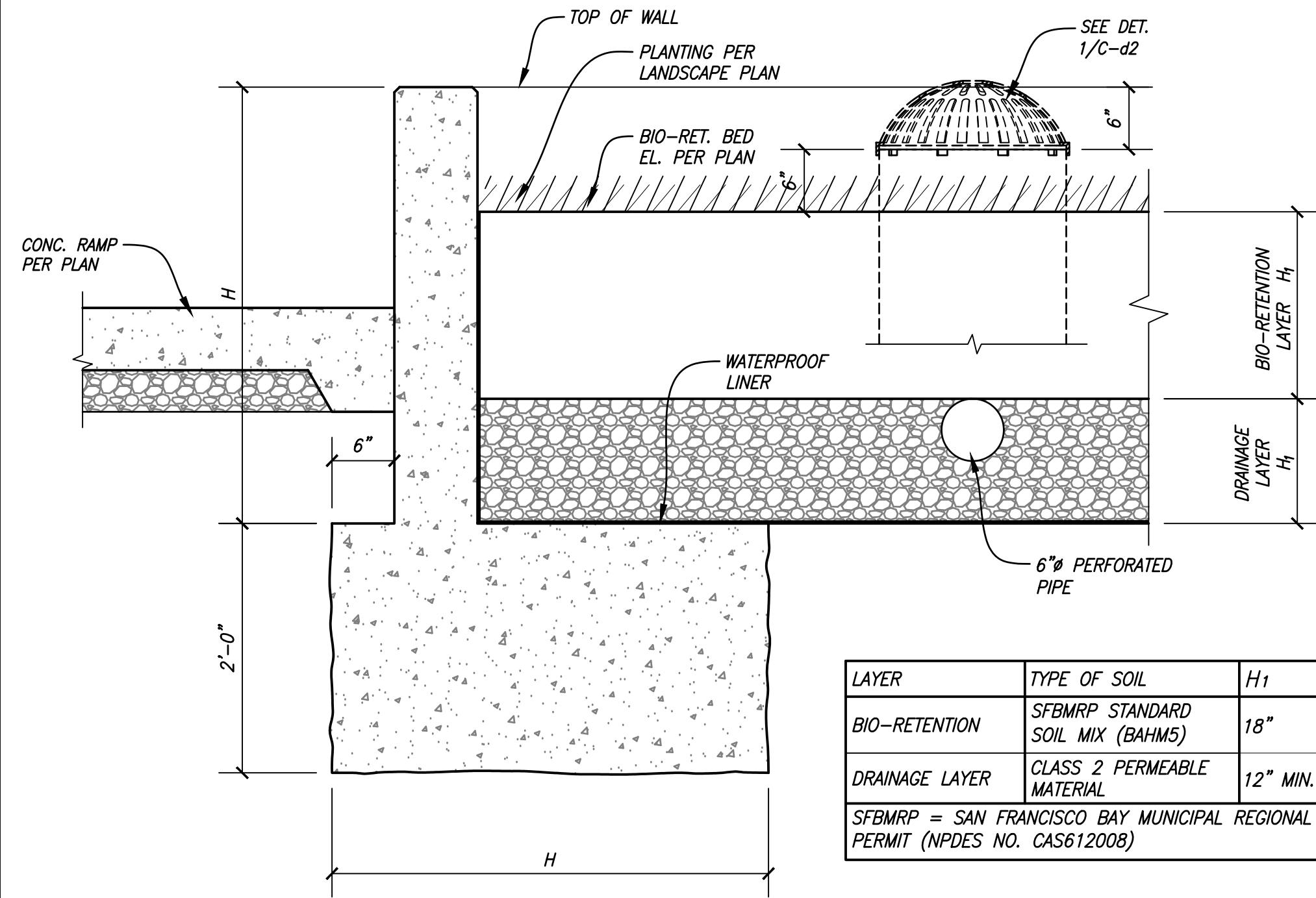
REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
 1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
 PRELIMINARY UTILITY PLAN

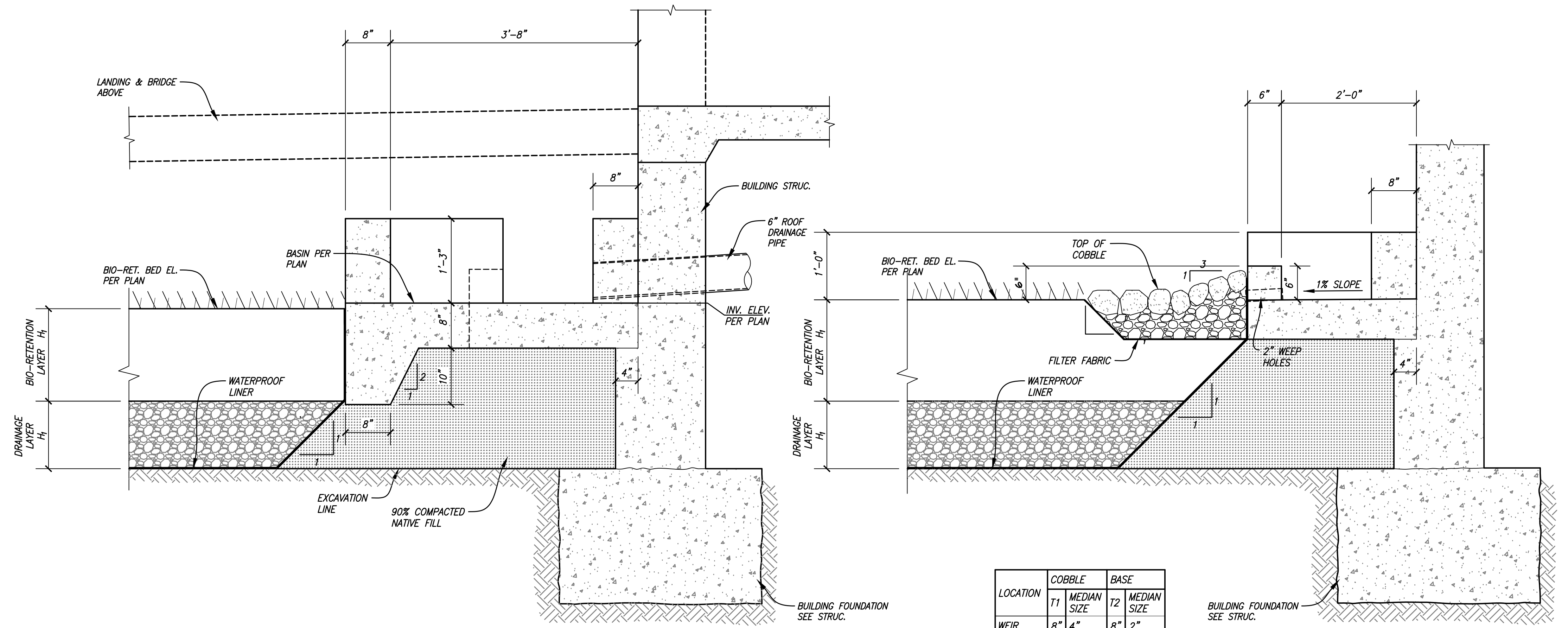
DATE:	1-6-2020
SCALE:	
DWG. NO.:	C-u1
SHT. NO. OF:	6 OF



TYP. BIO-RET. SECTION

SCALE: 1"=1'-0"

1



DISSIPATOR • BIO-RET. AREAS

SCALE: 1"=1'-0"

2

DISSIPATOR • WEIR

SCALE: 1"=1'-0"

3

REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
PRELIMINARY STORM WATER MANAGEMENT DETAILS

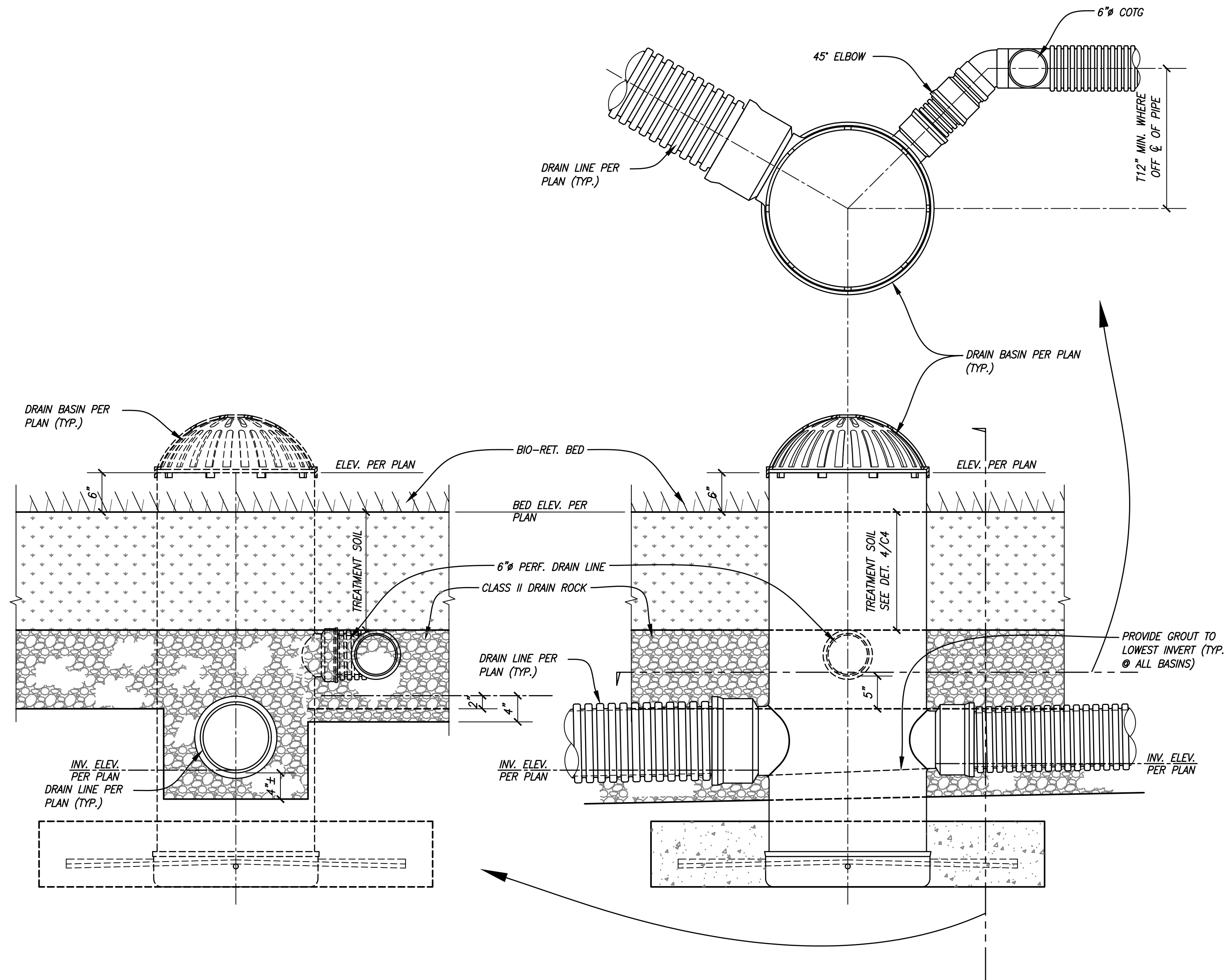
DATE: 12-20-2019

SCALE:

DWG. NO.:

C-d1

SHT. NO: 7 OF:



DRAIN BASIN IN BIO-RET. AREAS
 SCALE: 1"=1'-0"

1

REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
 1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
 PRELIMINARY STORM WATER MANAGEMENT DETAILS

DATE: 12-20-2019

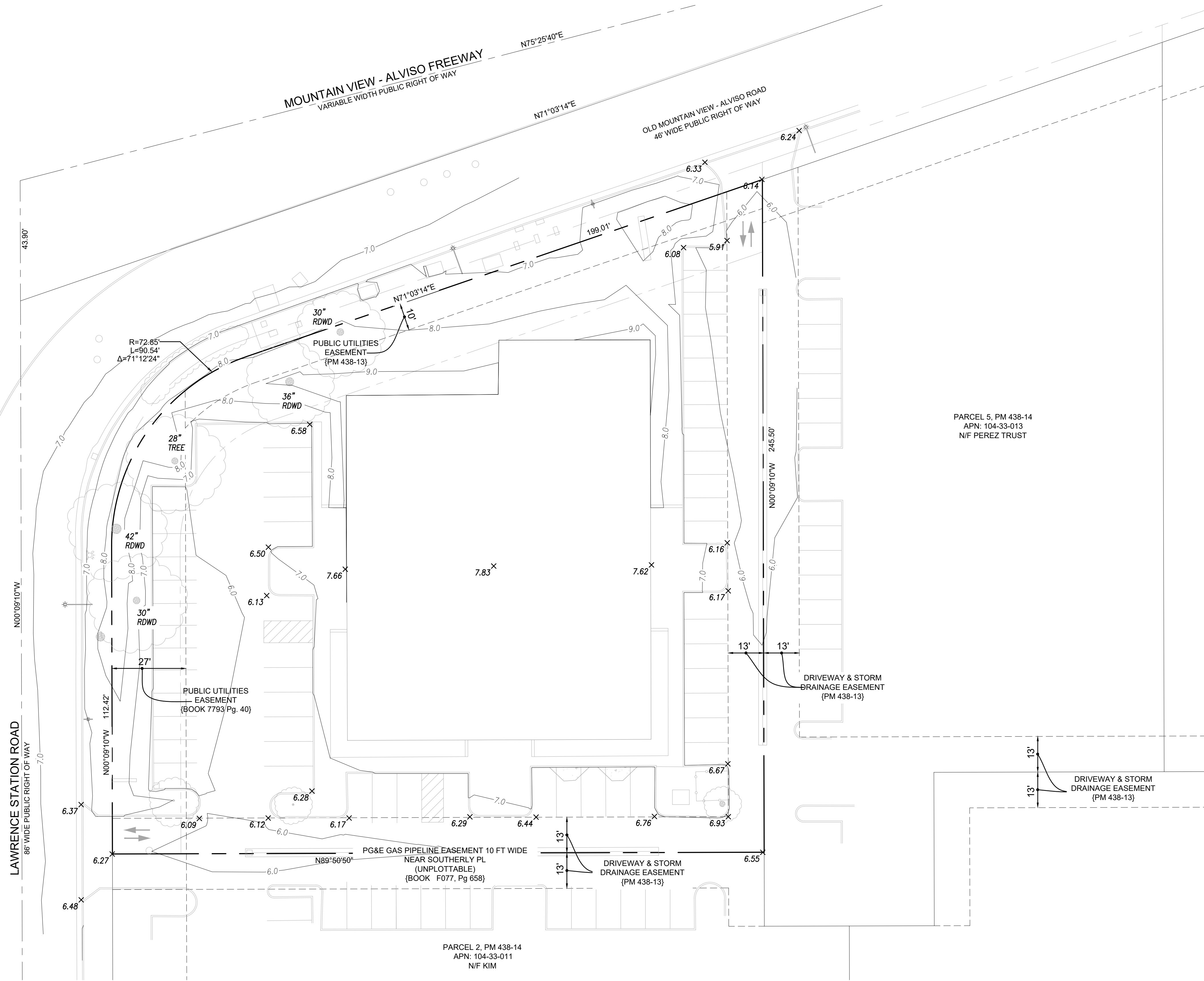
SCALE:

DWG. NO.:

C-d2

SHT. NO. 8 OF

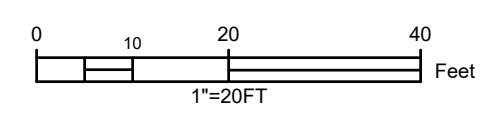
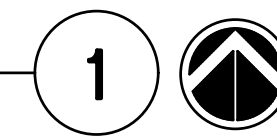
SURVEY DATUM:
 CITY OF SUNNYVALE BENCHMARK #31 - A BRASS
 DISC IN TOP OF CURB NEXT TO CATCH BASIN AT
 THE NORTHWEST CURB RETURN, INTERSECTION OF
 MOFFETT PARK DRIVE AND CARIBBEAN DRIVE
 EL. 3.266 (BASED ON NAVD88).



PARCEL 5, PM 438-14
 APN: 104-33-013
 N/F PEREZ TRUST

PARCEL 2, PM 438-14
 APN: 104-33-011
 N/F KIM

TOPO SURVEY



REVISION	NO.	DATE	BY	APP.



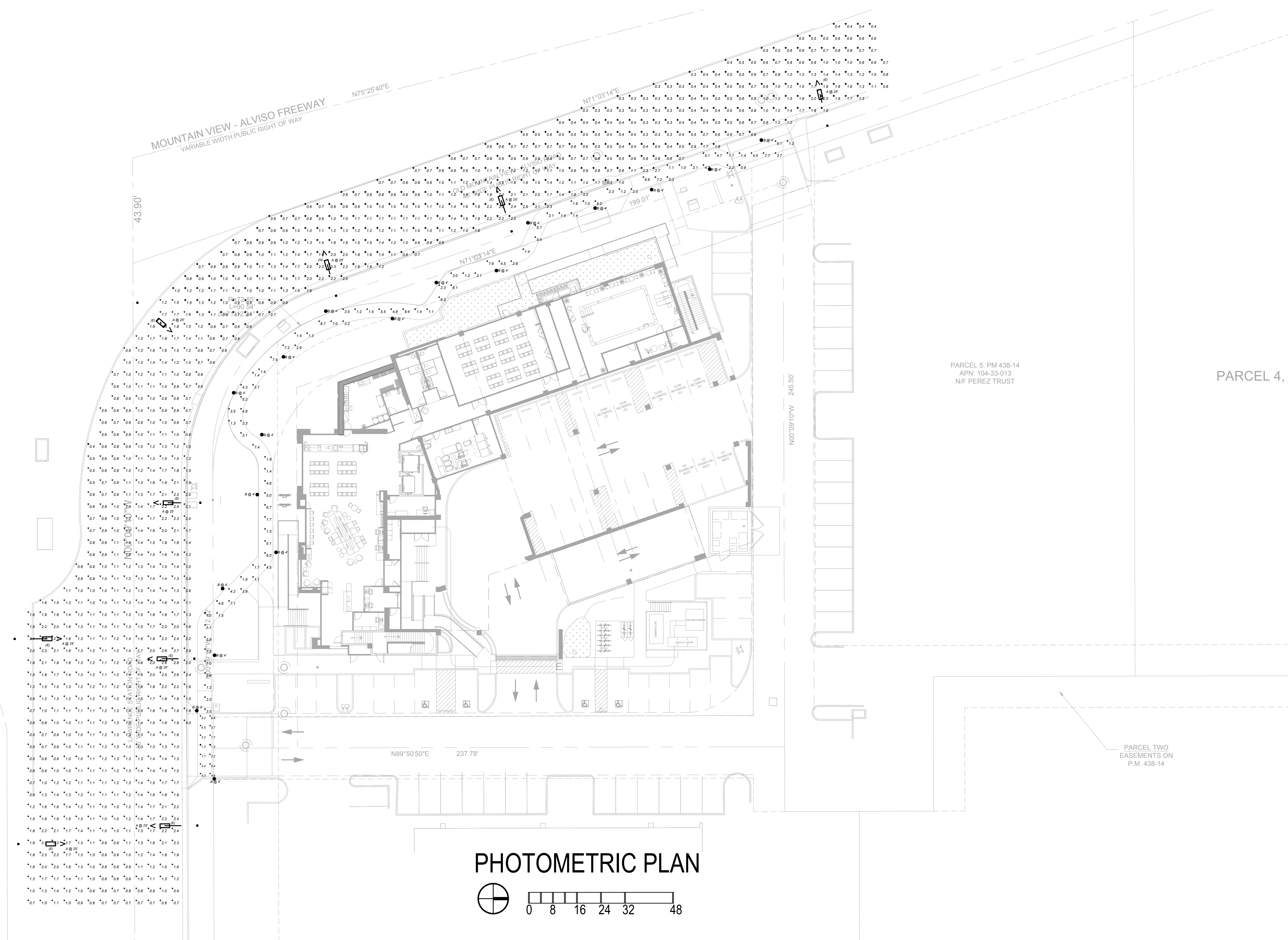
HILTON HOME 2
 1296 LAWRENCE STATION RD, SUNNYVALE, CA 94089

SHEET TITLE:
 TOPO SURVEY

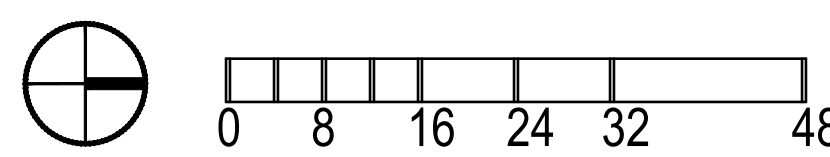
DATE:	12-20-2019
SCALE:	
DWG. NO.:	S-v1
SHT. NO.:	9 OF

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	9	PHILIPS LUMEC	RFS-35W16LED3K-G2-R2S	RoadFocus LED Cobra Head - Small (RFS), 16 LED's, 3000K CCT, TYPE R2S OPTIC	(1) LEDLINE ARRAY(S) DRIVEN AT 700mA	1	RFS-35W16LED3K-G2-R2S.ies	4408	0.95	38
●	B	18	SIGNIFY SIGNIFY	BRM83X-18L-NW-G2	Louver Bollard LED BRM83x	54 WHITE LEDS DRIVEN AT 116mA	1	BRM83X-18L-NW-G2.ies	1226	0.95	38.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Alviso Rd Sidewalk	+	3.6 fc	7.7 fc	0.9 fc	8.6:1	4.0:1
Crosswalk	+	3.7 fc	6.8 fc	1.3 fc	5.2:1	2.8:1
Lawrence Sidewalk	+	3.5 fc	7.5 fc	1.0 fc	7.5:1	3.5:1
Lawrence Station Rd	+	1.3 fc	4.0 fc	0.4 fc	10.0:1	3.3:1
Mountain View-Alviso Rd	+	1.0 fc	3.3 fc	0.3 fc	11.0:1	3.3:1



PHOTOMETRIC PLAN



BELDEN
CONSULTING ENGINEERS
5860 W. Las Positas Boulevard, Suite 15
Pleasanton, California 94588
phone: (925) 621-5300 fax: (925) 474-2159
belden@beldeninc.com
17236-NL

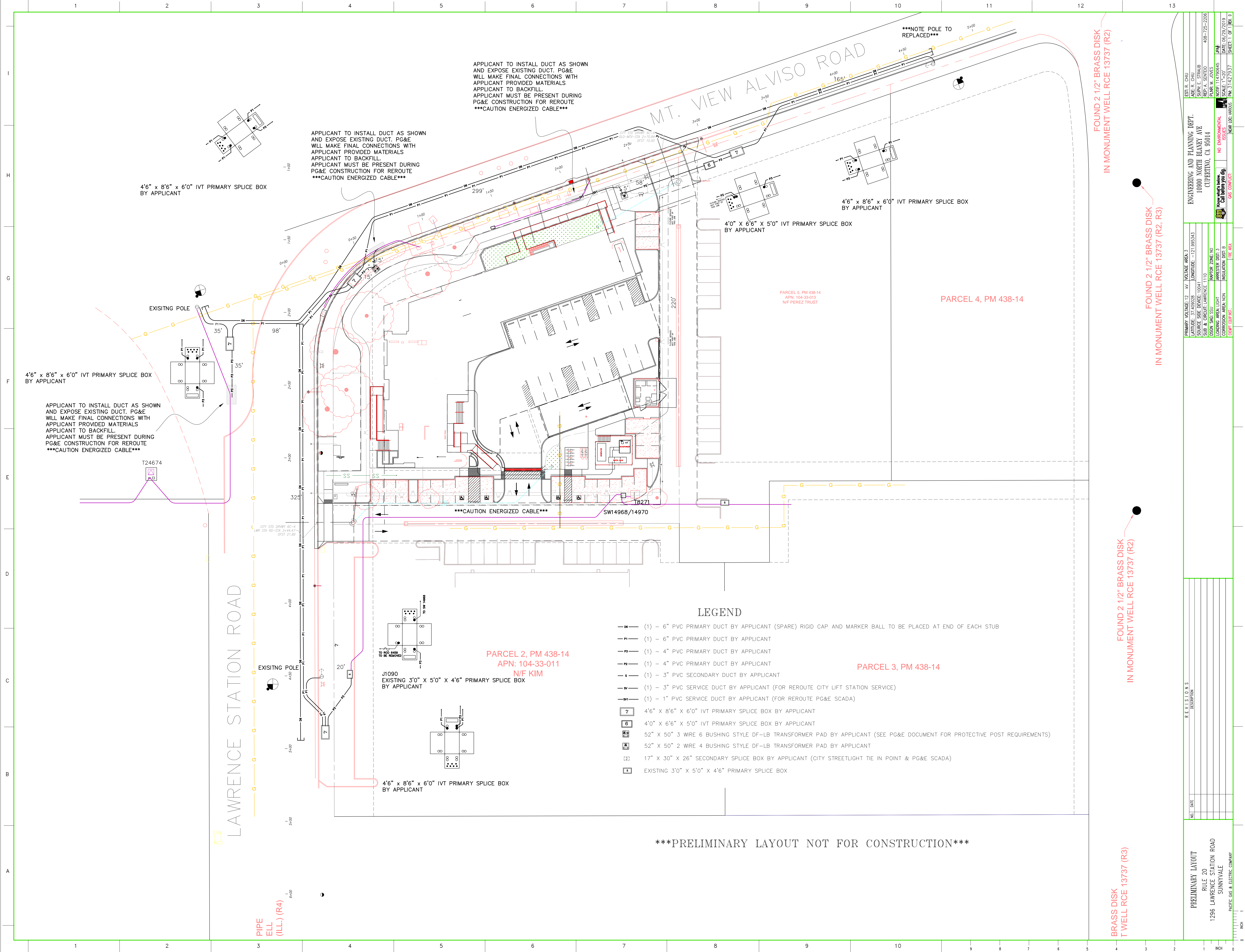


HILTON HOME 2
1296 LAWRENCE STATION ROAD,
SUNNYVALE, CA

No.	Date	Description
1	6.11.19	Plan Check
2	11.4.19	Plan Check

Drawing Title
Photometric Plan

Sheet No. **SE1.0**



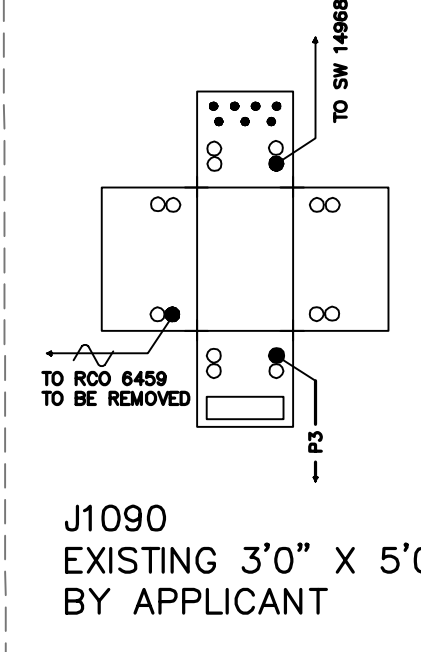
APPLICANT TO INSTALL DUCT AS SHOWN AND EXPOSE EXISTING DUCT. PG&E WILL MAKE FINAL CONNECTIONS WITH APPLICANT PROVIDED MATERIALS APPLICANT TO BACKFILL. APPLICANT MUST BE PRESENT DURING PG&E CONSTRUCTION FOR REROUTE ***CAUTION ENERGIZED CABLE***

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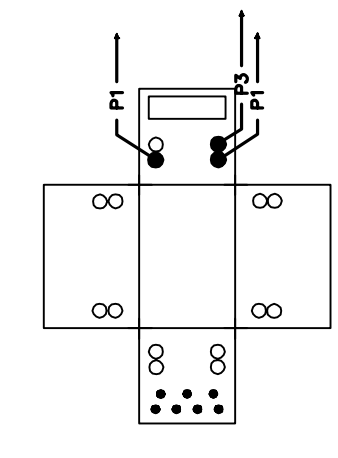
4'6" x 8'6" x 6'0" IVT PRIMARY SPLICE BOX BY APPLICANT

4'6" x 8'6" x 6'0" IVT PRIMARY SPLICE BOX BY APPLICANT

APPLICANT TO INSTALL DUCT AS SHOWN AND EXPOSE EXISTING DUCT. PG&E WILL MAKE FINAL CONNECTIONS WITH APPLICANT PROVIDED MATERIALS APPLICANT TO BACKFILL. APPLICANT MUST BE PRESENT DURING PG&E CONSTRUCTION FOR REROUTE ***CAUTION ENERGIZED CABLE***



J1090 EXISTING 3'0" X 5'0" X 4'6" PRIMARY SPLICE BOX BY APPLICANT



4'6" x 8'6" x 6'0" IVT PRIMARY SPLICE BOX BY APPLICANT

LEGEND

- (1) — 6" PVC PRIMARY DUCT BY APPLICANT (SPARE) RIGID CAP AND MARKER BALL TO BE PLACED AT END OF EACH STUB
- (1) — 6" PVC PRIMARY DUCT BY APPLICANT
- (1) — 4" PVC PRIMARY DUCT BY APPLICANT
- (1) — 4" PVC PRIMARY DUCT BY APPLICANT
- (1) — 3" PVC SECONDARY DUCT BY APPLICANT
- (1) — 3" PVC SERVICE DUCT BY APPLICANT (FOR REROUTE CITY LIFT STATION SERVICE)
- (1) — 1" PVC SERVICE DUCT BY APPLICANT (FOR REROUTE PG&E SCADA)
- 7 4'6" X 8'6" X 6'0" IVT PRIMARY SPLICE BOX BY APPLICANT
- 6 4'0" X 6'6" X 5'0" IVT PRIMARY SPLICE BOX BY APPLICANT
- 52" X 50" 3 WIRE 6 BUSHING STYLE DF-LB TRANSFORMER PAD BY APPLICANT (SEE PG&E DOCUMENT FOR PROTECTIVE POST REQUIREMENTS)
- 52" X 50" 2 WIRE 4 BUSHING STYLE DF-LB TRANSFORMER PAD BY APPLICANT
- 22 17" X 30" X 26" SECONDARY SPLICE BOX BY APPLICANT (CITY STREETLIGHT TIE IN POINT & PG&E SCADA)
- 8 EXISTING 3'0" X 5'0" X 4'6" PRIMARY SPLICE BOX

PRELIMINARY LAYOUT NOT FOR CONSTRUCTION

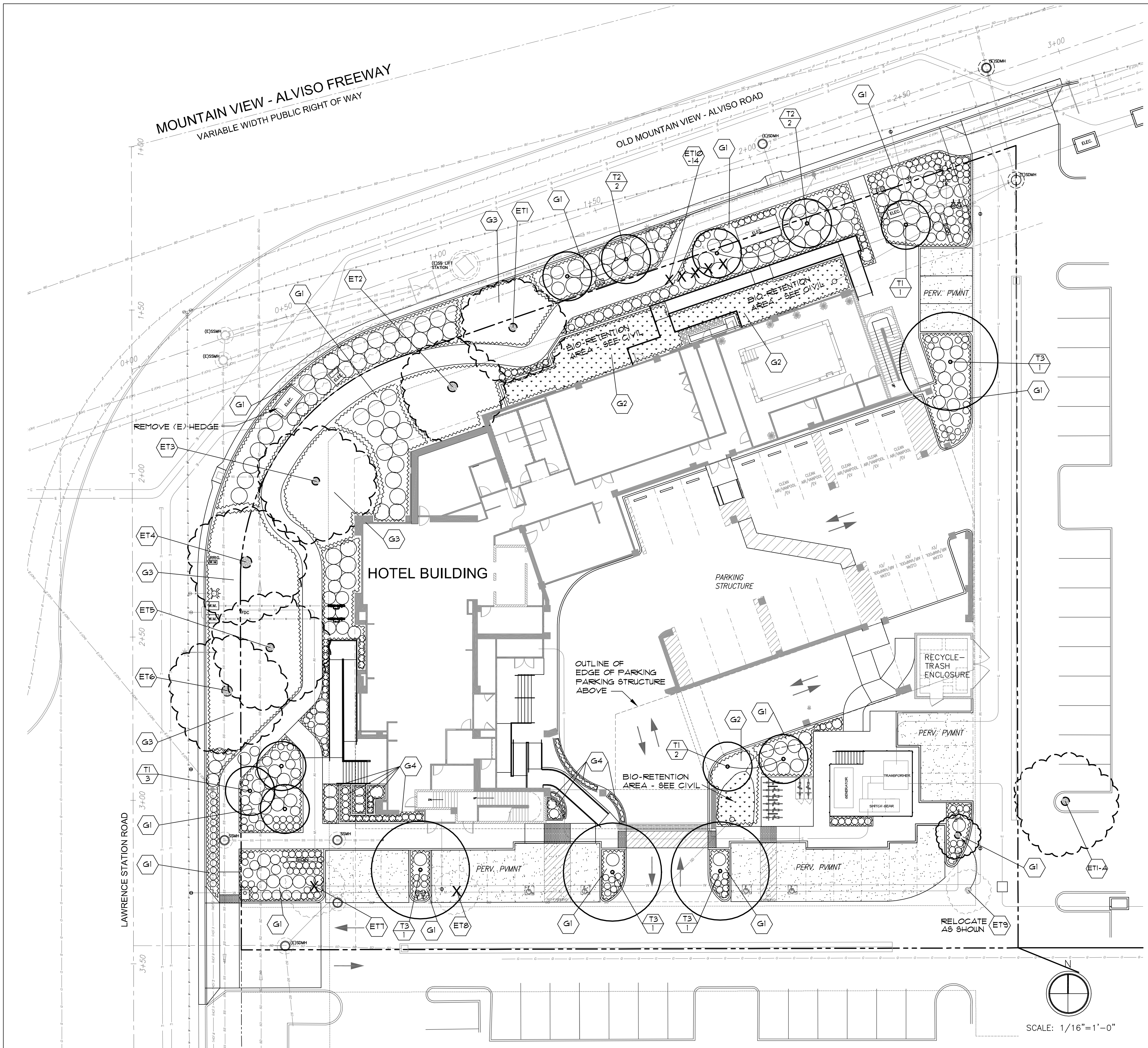
ENGINEERING AND PLANNING DEPT. 10800 NORTH BLANEY AVE CUPERTINO, CA 95014 TEL: 408-725-2006 FAX: 408-725-2006 WWW: www.eandp.com	PROJECT NO: 114796645 SHEET NO: 114796645 DATE: 06/29/2019 SCALE: 1"=20' SHEET 1 OF 1
PRIMARY VOLTAGE: 12 KV VOLTAGE AREA: 3 SOURCE: 114796645 SOURCE SITE: 114796645 SUB & CIRCUIT: LAWRENCE 1110 DESIGN: SAG, SSU LOADING AREA: LIGHT CORROSION AREA: NON DESIGNED BY: JIM CHECKED BY: JIM	NO ENVIRONMENTAL ISSUES CALL BEFORE YOU DIG FIRE AREA DISMOUNT FIRE
PRELIMINARY LAYOUT RULE 20 1286 LAWRENCE STATION ROAD SUNNYVALE PACIFIC GAS & ELECTRIC COMPANY	REVISION 3 DESCRIPTION

FOUND 2 1/2" BRASS DISK IN MONUMENT WELL RCE 13737 (R2)

FOUND 2 1/2" BRASS DISK IN MONUMENT WELL RCE 13737 (R2, R3)

FOUND 2 1/2" BRASS DISK IN MONUMENT WELL RCE 13737 (R2)

BRASS DISK T WELL RCE 13737 (R3)

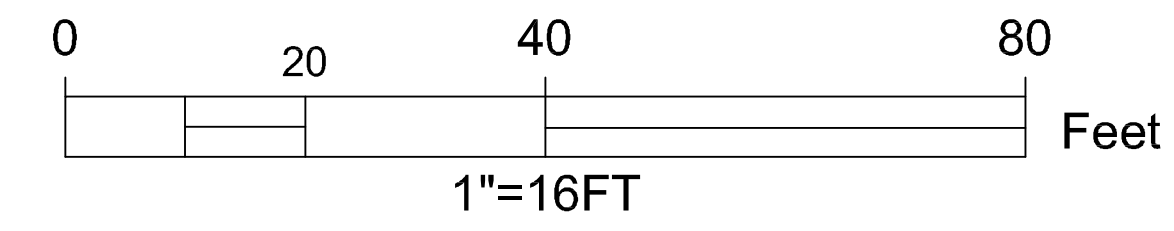


PLANT LEGEND

KEY	BOTANICAL/Common Name	SIZE	QTY.	DISPOSITION / NOTES
EXISTING TREES (SEE NOTE NO. 1 BELOW)				
-	ET1 SEQUOIA SEMPERVIRENS	COAST REDWOOD	-	SAVE
-	ET2 SEQUOIA SEMPERVIRENS	COAST REDWOOD	-	SAVE
-	ET3 LIRODENDRON TULIPIFERA	TULIP TREE	-	SAVE
-	ET4 SEQUOIA SEMPERVIRENS	COAST REDWOOD	-	SAVE
-	ET5 SEQUOIA SEMPERVIRENS	COAST REDWOOD	-	SAVE
-	ET6 SEQUOIA SEMPERVIRENS	COAST REDWOOD	-	SAVE
-	ET7 CINNAMOMUM CAMPHORA	CAMPHOR TREE	-	REMOVE
-	ET8 CINNAMOMUM CAMPHORA	CAMPHOR TREE	-	REMOVE
-	ET9 WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	-	RELOCATE
-	ET10-14 LAGERSTROEMIA INDICA VAR.	GRAPE MYRTLE	-	REMOVE
-	ET1-A FRAXINUS SPP.	ASH	-	ON ADJACENT SITE
TREES				
L	T1 LAGERSTROEMIA 'MUSKOGEE'	GRAPE MYRTLE	24' BOX	6 STANDARD FORM
L	T2 PISTACHIA CHINENSIS	CHINESE PISTACHE	24' BOX	4
M	T3 PLATANUS A. 'COLUMBIA'	LONDON PLANE TREE	24' BOX	4
SHRUBS, GRASSES AND PERENNIALS				
L	S1 KNIPHOFIA 'BEE'S SUNSET'	TORCH LILY	1 G.C.	-
L	S2 PHORMIUM T. 'APRICOT QUEEN'	NEW ZEALAND FLAX	5 G.C.	-
L	S3 XYLOSMA CONGESTUM	N.C.N.	5 G.C.	-
L	S4 MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 G.C.	-
L	S5 RAPHIOLEPIS L. 'DANCER'	INDIA HAITHORN	5 G.C.	-
L	S6 DODONAEA V. 'PURPUREA'	PURPLE HOP BUSH	5 G.C.	-
VL	S7 STIPA FULCHRA	PURPLE NEEDLE GRASS	1 G.C.	-
GROUNDCOVERS				
L	G1 DYMONDIA MARGARETAE	N.C.N.	FLATS	AS REQ. 8" SPACE TRI. @ 12" O.C.
VL TO L	G2 DELTA BLUEGRASS 'BIOFILTRATION SOD'	-	SOD	AS REQ. 8" SPACE TRI. @ 12" O.C.
-	G3 BARK MULCH	-	-	AS REQ. 3" DEPTH
M TO H	G4 ANNUAL COLOR	-	4" POTS	AS REQ. 8" SPACE TRI. @ 8" O.C.

NOTES

- SEE SEPARATE ARBORIST'S REPORT BY KURT FOUTS, ARBORIST CONSULTANT FOR FURTHER INFORMATION ON THE EXISTING TREES.
- 'WUCOLS' REFERS TO 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' LIST. VL-VERY LOW, L-LOW, M-MEDIUM, H-HIGH.
- PER THE CITY OF SUNNYVALE 'WATER-EFFICIENT LANDSCAPING CHECKLIST' OPTION 1, THERE IS NO TURF/LAWN OR HIGH WATER USE PLANTS. AT LEAST 80% OF NEWLY INSTALLED PLANT MATERIAL IS NATIVE, LOW WATER OR NO WATER USE PLANTS.
- A WATER CONSERVING AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL NEW PLANTING AREAS.
- A 3" LAYER OF BARK MULCH WILL BE INSTALLED IN ALL PLANTING AREAS.



PRELIMINARY LANDSCAPE PLAN

MISC.	5	12-23-19		
MISC.	4	11-04-19		

REVISION	NO.	DATE	BY	APP.
MISC.	1	05-21-18	CW	
MISC.	2	06-11-18	CW	
MISC.	3	06-10-19	CW	



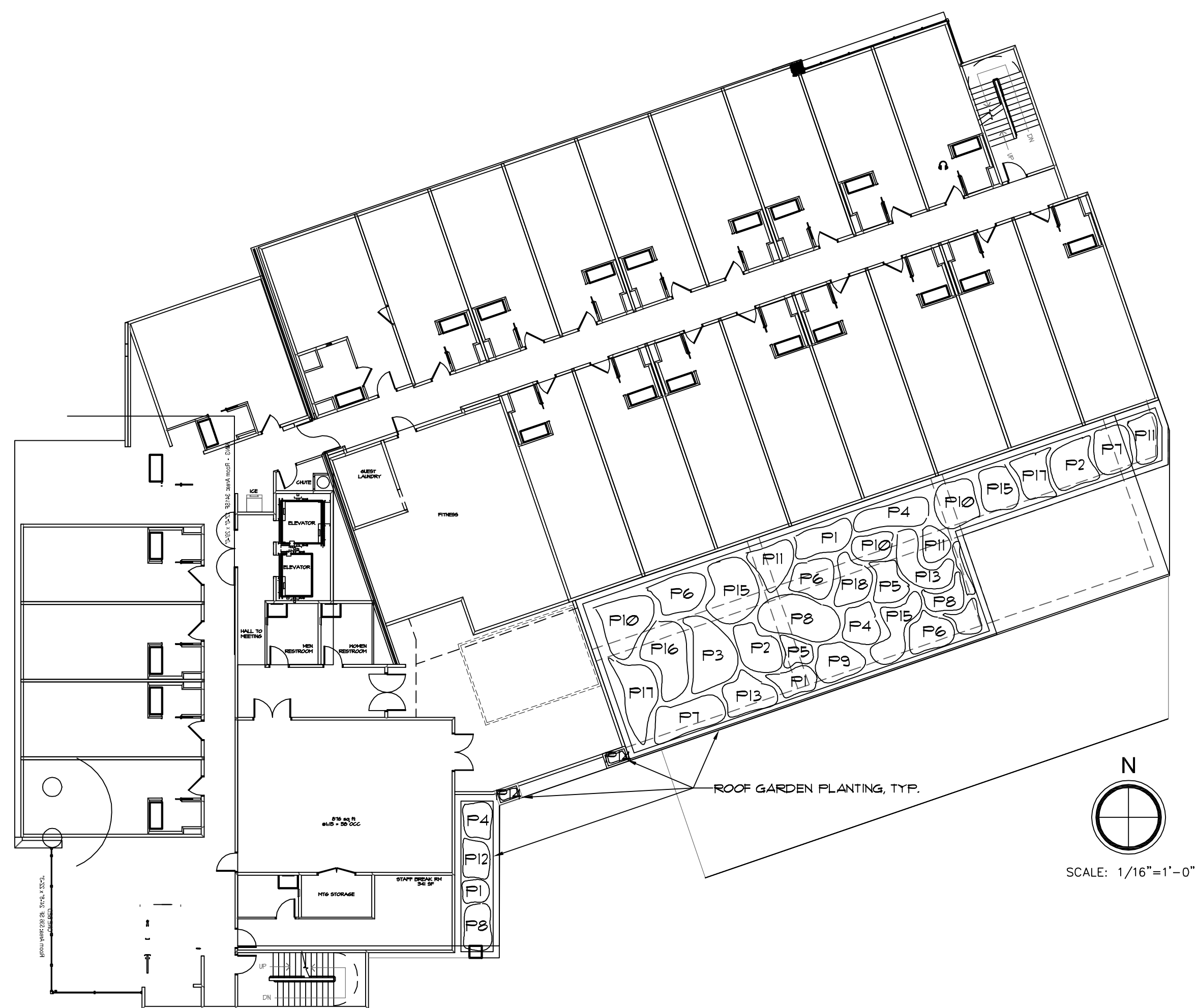
HILTON HOME 2
1296 LAWRENCE STATION RD, SUNNYVALE, CA

SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN



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DATE: 12-28-2017
SCALE: AS NOTED
DWG. NO.: **PL-1** SHT. NO. OF:

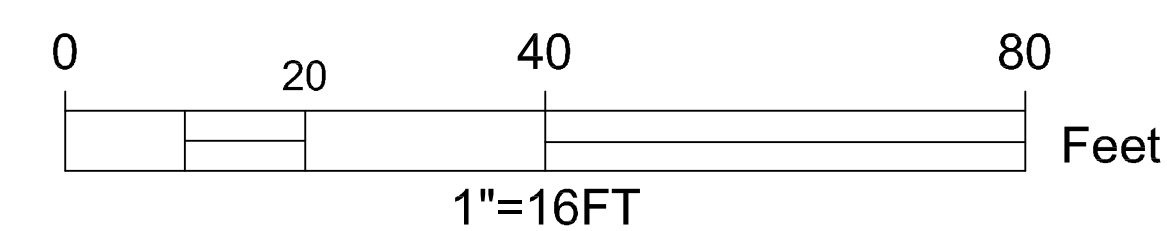


ROOF GARDEN PLANT LEGEND

KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	NOTES
SHRUBS, GROUND COVERS, GRASSES, HERBS, PERENNIALS AND SUCCULENTS				
P1	ACHILLEA MILLEFOLIUM ——— COMMON YARROW	6 PAK	-	
P2	AQUILEGIA FORMOSA ——— WESTERN COLUMBINE	6 PAK	-	
P3	ARCTOSTAPHYLOS UVA-URSI ——— BEARBERRY	1 G.C.	-	
P4	ARTEMISIA MARITIMA ——— SEA PINK	4' POT	-	
P5	ARTEMISIA PYCNOCEPHALA ——— SANDHILL SAGE	1 G.C.	-	
P6	ASARUM CAUDATUM ——— WILD GINGER	FLATS	-	
P7	BACCHARIS PILULARIS 'TWIN PEAKS' ——— DWARF COYOTE BUSH	1 G.C.	-	
P8	CAREX PANSA ——— CALIFORNIA MEADOW SEDGE	1 G.C.	-	
P9	CEANOTHUS MARITIMUS ——— MARITIME CEANOTHUS	1 G.C.	-	
P10	DUDLEYA CAESPITOSA ——— COAST DUDLEYA	4' POT	-	
P11	ERIGERON GLAUCUS ——— SEASIDE DAISY	FLATS	-	
P12	FESTUCA CALIFORNICA ——— CALIFORNIA FESCUE	PLUGS	-	
P13	FRAGARIA CHILOENSIS ——— BEACH STRAWBERRY	FLATS	-	
P14	HEUCHERA HYBRIDS ——— CORAL BELLS	4' POT	-	
P15	MUHLENBERGIA RIGENS ——— DEER GRASS	1 G.C.	-	
P16	NASSELLA PULCHRA ——— PURPLE NEEDLE GRASS	1 G.C.	-	
P17	OENOTHERA SPECIOSA ——— MEXICAN EVENING PRIMROSE	1 G.C.	-	
P18	SEDUM SPATHULIFOLIUM ——— STONECROP	6 PAK	-	

NOTES

1. CONTAINER SIZES NOTED IS FOR GENERAL GUIDANCE AND CAN BE SUBSTITUTED WITH SIMILAR SIZES AS AVAILABLE.
2. SOIL TO BE A 'DESIGNED' MIX SUITABLE FOR LOCAL ROOF GARDEN APPLICATION.
3. WATERPROOFING BY OTHERS.
4. IRRIGATION TO BE WITH SUBSURFACE DRIPLINE.
5. EXACT DESIGN AND LAYOUT OF ROOF GARDEN PLANTING IS TO BE DIRECTED IN THE FIELD BY THE LANDSCAPE ARCHITECT.



THIRD FLOOR ROOF GARDEN

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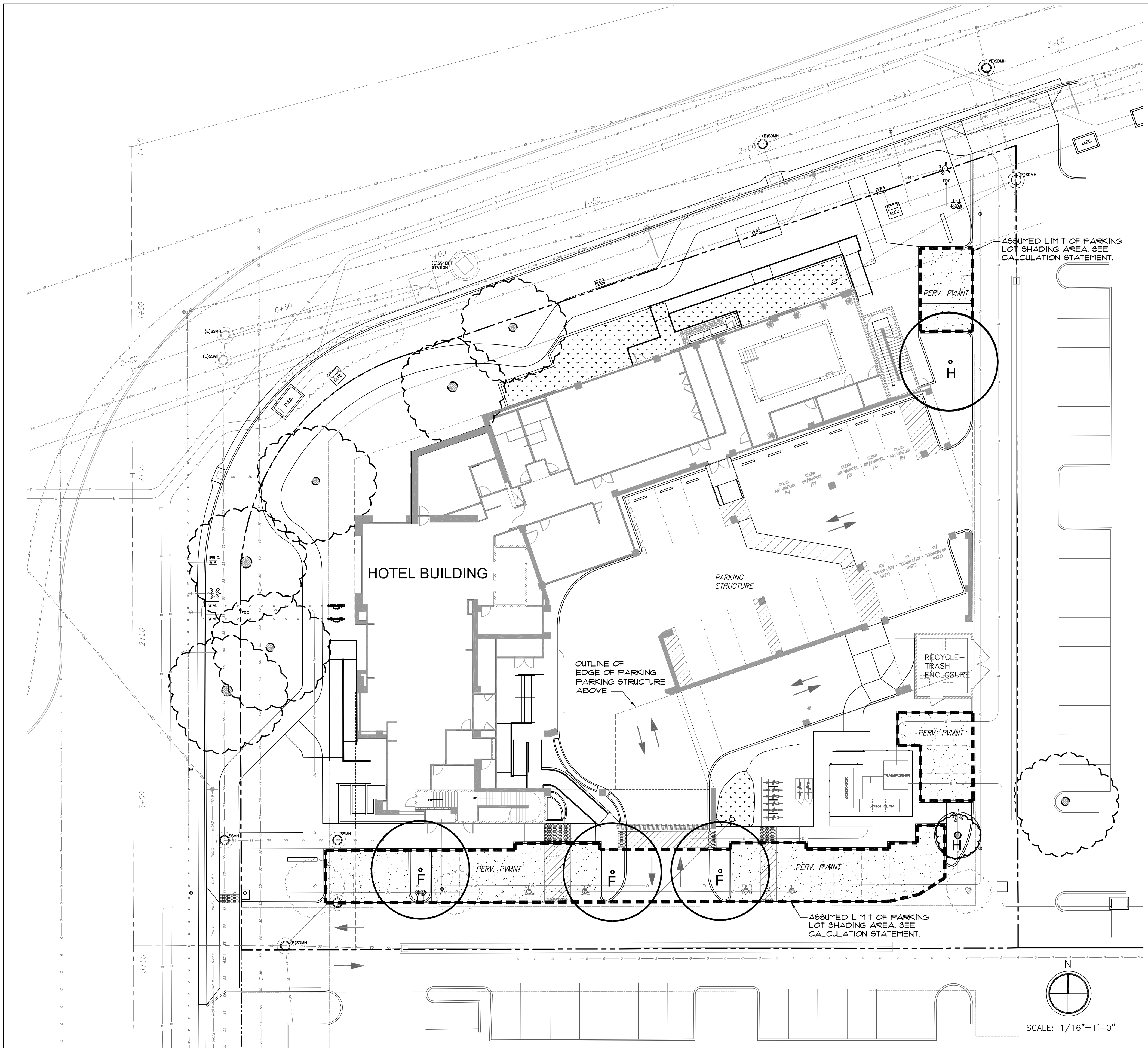
SHEET TITLE:
PRELIMINARY ROOF GARDEN PLAN



DATE: 06-10-2019

SCALE: AS NOTED

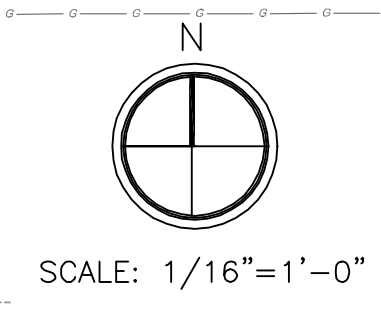
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PARKING LOT SHADE CALCULATIONS

TREE SIZE	CROWN DIAMETER	'F' = FULL (SQ.F.)	'TQ' = THREE QUARTER (SQ.F.)	'H' = HALF (SQ.F.)	'Q' = QUARTER (SQ.F.)
LARGE TREES	35'	3 @ 962 = 2,886	-	1 @ 481 = 481	-
MEDIUM TREES	30'	-	-	-	-
SMALL TREES	25'	-	-	1 @ 245 = 245	-

PARKING LOT SHADING STATEMENT AND ASSUMPTIONS:
 THE PARKING FOR THIS PROJECT IS PRIMARILY LOCATED IN A PARKING STRUCTURE AND IS THUS EXCLUDED FROM THE SHADING CALCULATIONS.
 THE OPEN PARKING AREAS ARE OUTLINED ON THE PLAN AS SHOWN.
 DRIVE AISLES AND PARKING STRUCTURE AREA ARE EXCLUDED.
 THE OPEN PARKING AREAS TOTAL 4,070 SQ. FT. AS OUTLINED.
 THE TOTAL TREE SHADED AREA PER THE ABOVE TABLE TOTALS 3,612 SQ. FT. WHICH IS ABOVE THE 50% REQUIREMENT.



TREE SHADING PLAN

1

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REVISION	NO.	DATE	BY	APP.



HILTON HOME 2
 1296 LAWRENCE STATION RD, SUNNYVALE, CA

SHEET TITLE:
 TREE SHADING PLAN



DATE: 12-23-2019
 SCALE: AS NOTED
 DWG. NO.: **PL-3** SHT. NO: OF: