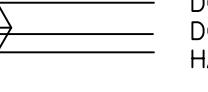
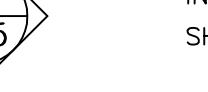
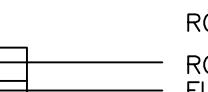
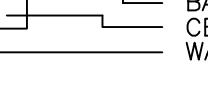
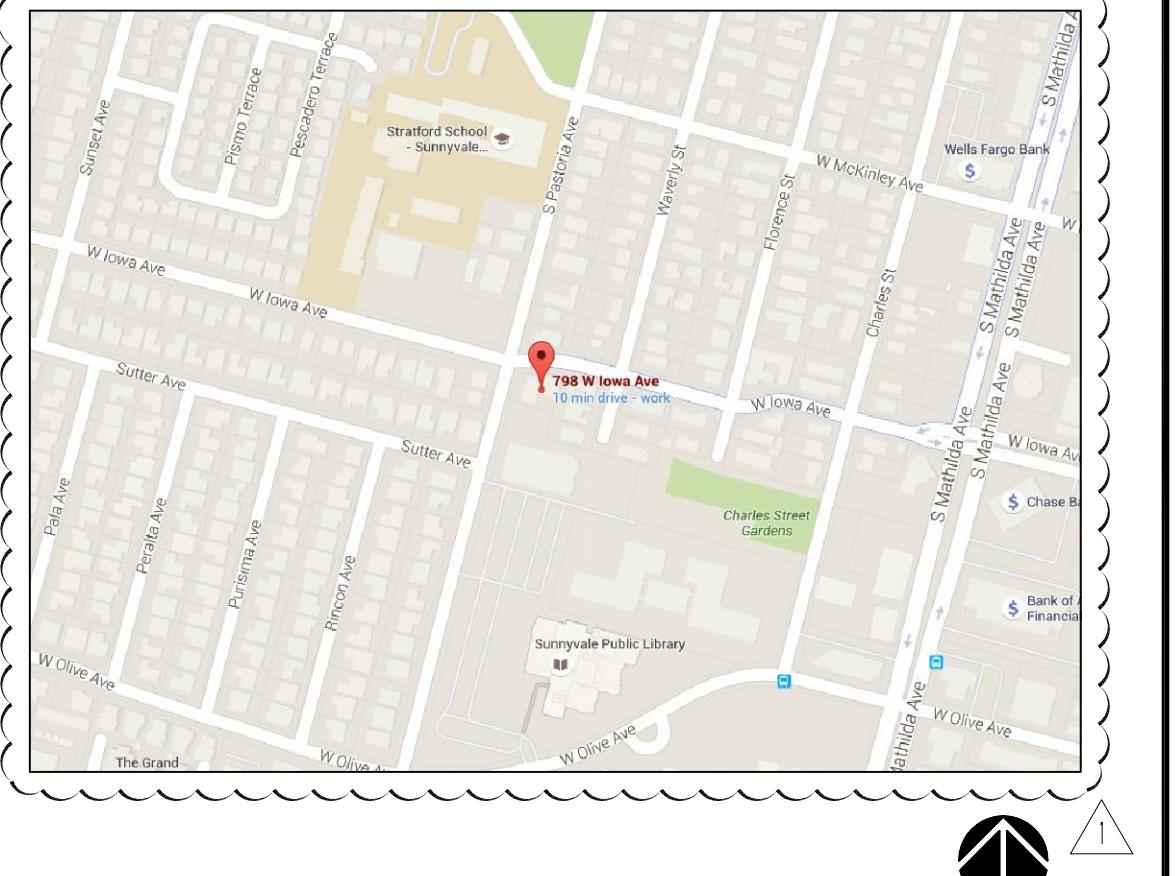


# MR. AND MRS. KYROLA RESIDENCE

## HOUSE ADDITION

798 W. IOWA AVENUE, SUNNYVALE, CA 94086

PROJECT TEAM	DRAWING INDEX	SYMBOL	TABULATION	VICINITY MAP
<b>CLIENT:</b> <b>MR. AND MRS. KYROLA</b> <b>798 W. IOWA AVENUE,</b> <b>SUNNYVALE, CA 94086</b> <b>TEL: (650) 660-7165</b>	<b>ARCHITECTURAL:</b> A-0 TITLE SHEET A-1 SITE PLAN, AREA CALCULATION, GENERAL NOTES A-2.1 PROPOSED FLOOR PLAN A-2.2 CEILING & LIGHTING PLAN A-3.1 ROOF PLAN, BUILDING SECTION, INTERIOR ELEVATION A-3.2 (E) BUILDING ELEVATIONS A-3.3 (N) BUILDING ELEVATIONS A-4.1 ARCHITECTURAL DETAILS A-4.2 ARCHITECTURAL DETAILS A-5 CALGREEN MANDATORY CHECKLIST	             	APN: 165-04-003 ZONING: O-PD OCCUPANCY GROUP: R-3  SITE AREA: 9,808 SF  MAXIMUM LOT COVERAGE: 35% MAXIMUM FLOOR AREA RATIO: 35% MAXIMUM HEIGHT: BUILDING: 20 FT (SEE ELEVATION)  SETBACKS: FRONT YARD: 20 FT 30'-8" SIDE YARD: 6 FT 6'-0" REAR YARD: 20 FT 6'-0"  ADDITION AREA: 155 SF  AREA CALCULATIONS IS ON SHEET 1/A1  NUMBER OF STORIES: ONE  FIRE SPRINKLER SYSTEM: NO  CA BUILDING CODE 2013 CA FIRE CODE 2013 CA ELECTRICAL CODE 2013 CA MECHANICAL CODE 2013 CA PLUMBING CODE 2013 CA RESIDENTIAL CODE 2013 CA ENERGY CODE 2013 CA GREEN BUILDING CODE 2013  CITY OF SUNNYVALE MUNICIPAL CODE	
<b>ARCHITECT:</b> <b>IDA, INC.</b> <b>JOHN HA, AIA</b> <b>510 LAWRENCE EXPWY. #105</b> <b>SUNNYVALE, CA 94085</b> <b>TEL: (408) 245-0991</b> <b>FAX: (408) 245-0711</b>	<b>STRUCTURAL:</b> S-0 STRUCTURAL NOTES S-1 FOUNDATION FRAMING PLAN, STRUCTURAL DETAILS S-2 CEILING JOIST FRAMING PLAN, ROOF FRAMING PLAN, STRUCTURAL DETAILS			<b>PROJECT DESCRIPTION</b> 
				<b>ABBREVIATION</b>
				<b>FIRE DEPARTMENT NOTES</b>
				<b>GENERAL NOTES</b>
				<p>COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19, CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.</p> <p>BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE:</p> <ul style="list-style-type: none"> <li>A. VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES.</li> <li>B. COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED, AND.</li> <li>C. NOTIFIED THE ARCHITECT OF AMBIGUITIES, INCONSISTENCIES, AND ERRORS THEY HAVE DISCOVERED WITHIN DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS.</li> </ul> <p>FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST.</p> <p>CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS.</p> <p>CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERROR ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.</p> <p>CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK.</p> <p>DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK.</p> <p>COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN REVEALED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT.</p> <p>ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.</p>
				<b>MR. &amp; MRS. KYROLA RESIDENCE</b> <b>798 W. IOWA AVENUE</b> <b>SUNNYVALE, CA 94086</b>
				<b>HOUSE ADDITION</b>
				<b>A-0</b>
				<b>OF SHEETS</b>
				<b>ADDRESS NUMBERS</b> <b>ADDRESSES SHOULD BE CLEARLY MARKED AND VISIBLE FROM THE STREET.</b>
				<b>INNOVATIVE DESIGN ARCHITECTURE, INC.</b>
				<b>JOHN HA, AIA</b> <b>510 LAWRENCE EXPWY.</b> <b>SUITE # 105</b> <b>SUNNYVALE, CA 94085</b> <b>TEL: (408) 245-0991</b> <b>TEL: (408) 245-0711</b>
				<b>OWNER:</b> <b>AAPO KYROLA</b> <b>798 W. IOWA AVENUE</b> <b>SUNNYVALE, CA 94086</b> <b>(650) 660-7165</b>
				<b>REVISIONS:</b>  
				<b>DATE</b> 04/26/2016 <b>PROJECT NO.</b> 16-1525 <b>SCALE</b> AS SHOWN <b>DRAWN</b> JH/GY <b>SHEET</b>

**IDA**

Innovative Design Architecture, Inc.

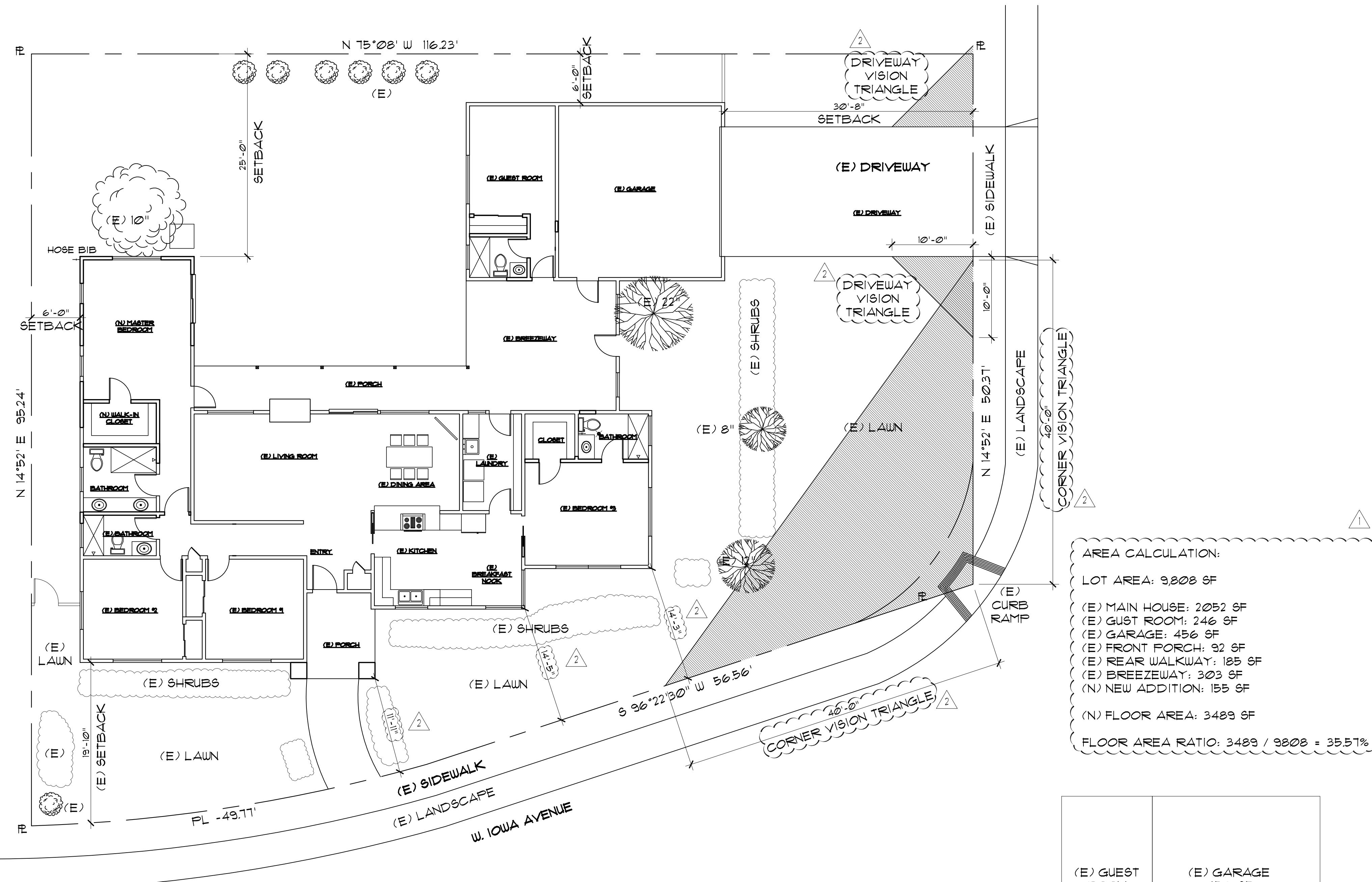
JOHN HA, AIA  
510 LAWRENCE EXPWY.  
SUITE # 105  
SUNNYVALE, CA 94085  
TEL: (408) 245-0991  
TEL: (408) 245-0711

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(650) 660-7165

## HOUSE ADDITION

798 W. IOWA AVENUE  
SUNNYVALE, CA 94086

### MR. & MRS. KYROLA RESIDENCE





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798 W. IOWA AVENUE  
SUNNYVALE, CA 94086

HOUSE ADDITION

REVISIONS:

CITY COMMENTS, 05/18/2016

SHEET TITLE:  
CEILING & LIGHTING PLAN

DATE 04/26/2016 PROJECT NO. 16-1525

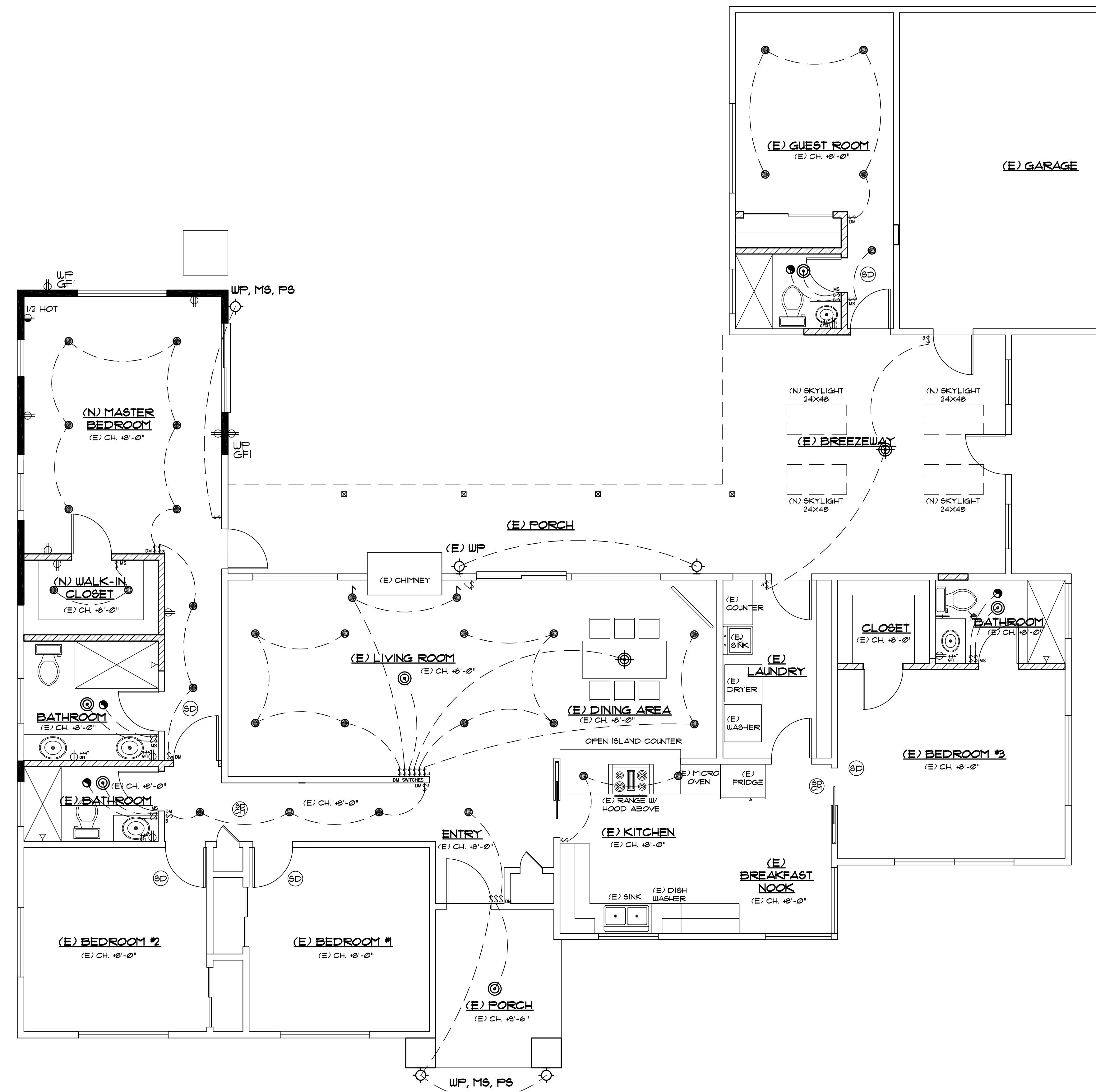
SCALE AS SHOWN DRAWN JH/GY

SHEET

A-2.2

## LEGEND

- 8W LED LIGHT (L-1)
- CEILING MOUNT LIGHT (L-2)
- EXTERIOR WALL MOUNTED SCONCE
- EXHAUST FAN - VENT DIRECTLY TO OUTSIDE AIR.  
W/ BACK DRAFT DAMPER
- W/P WATER PROOF FIXTURE / TRIM
- GFI (GROUND FAULT INTERRUPTER) FIXTURE
- DM DIMMER
- MS MOTION DETECTOR



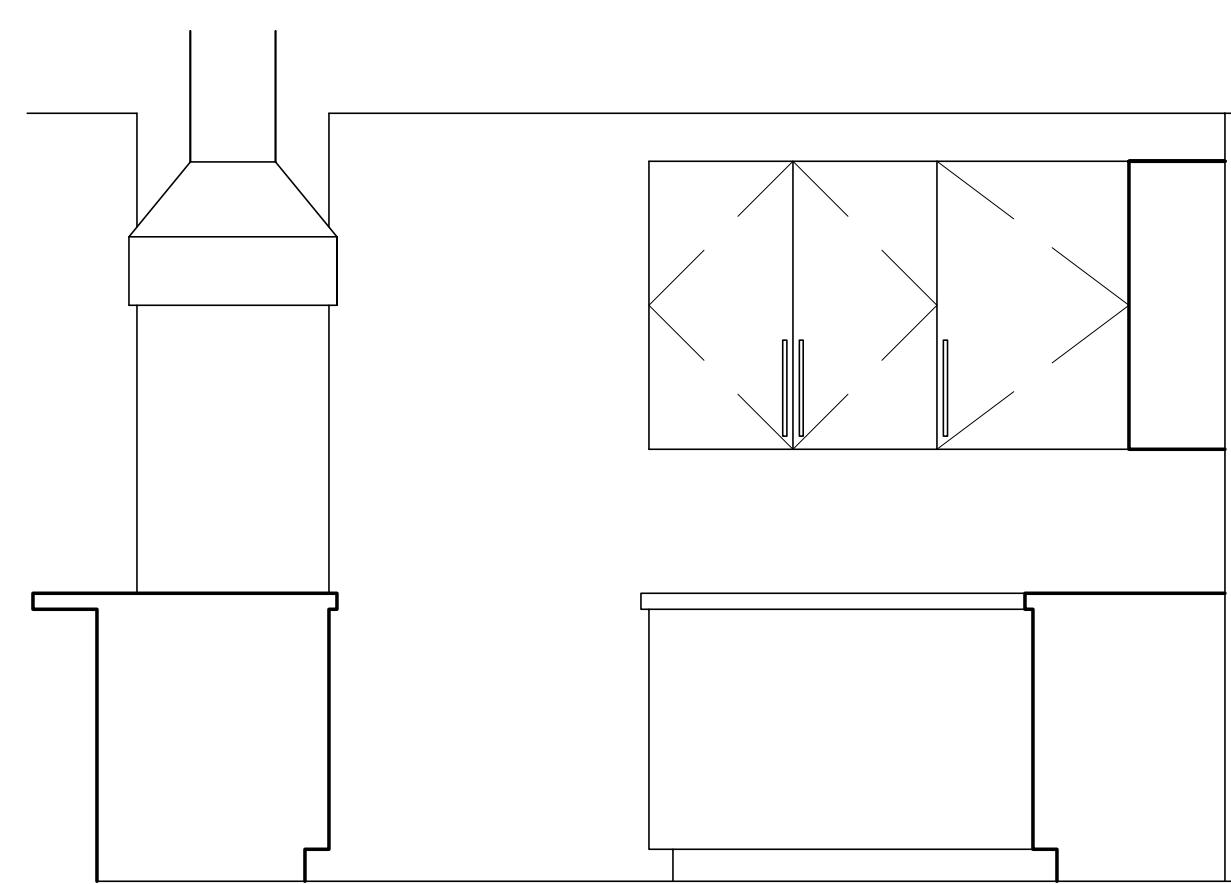
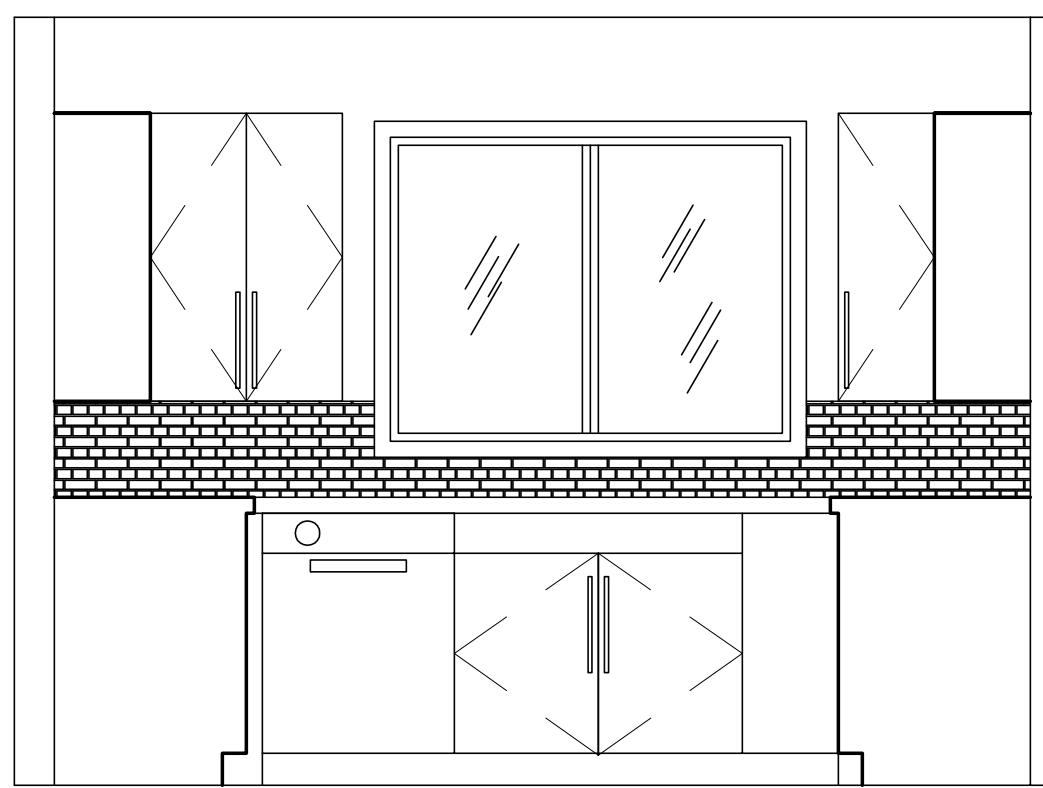
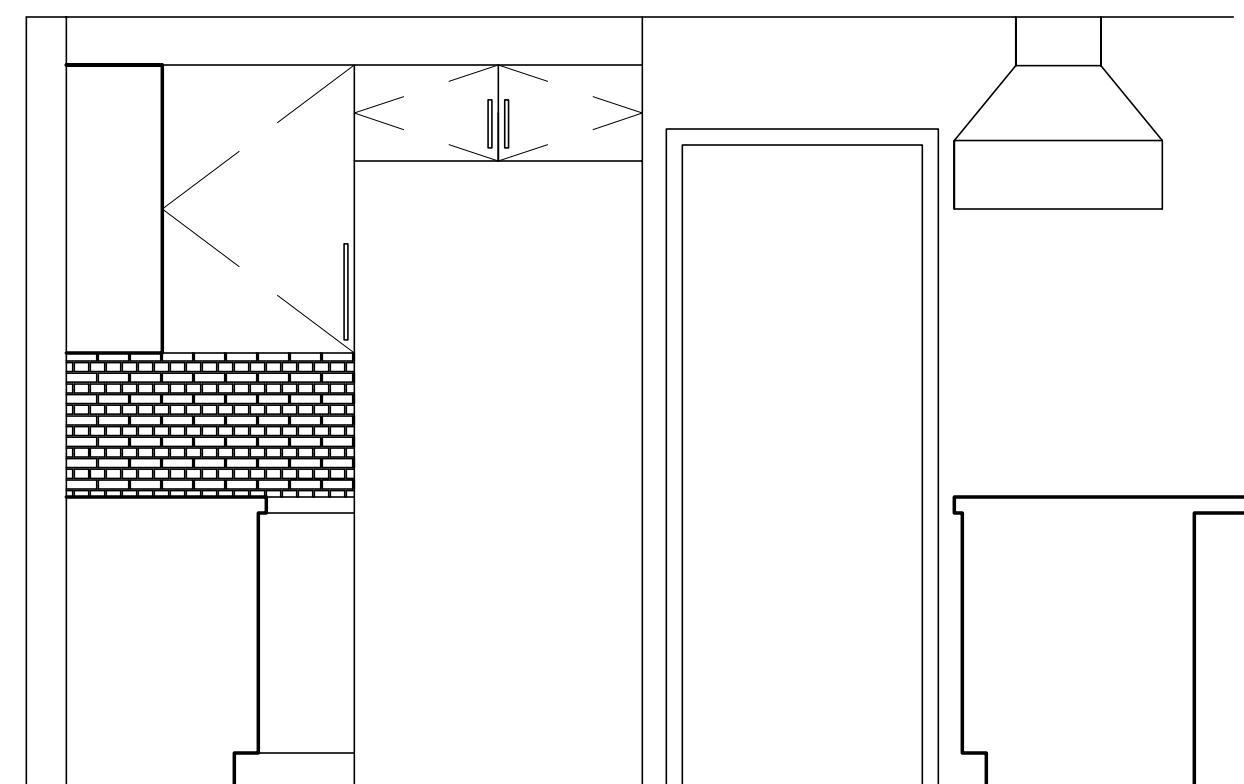
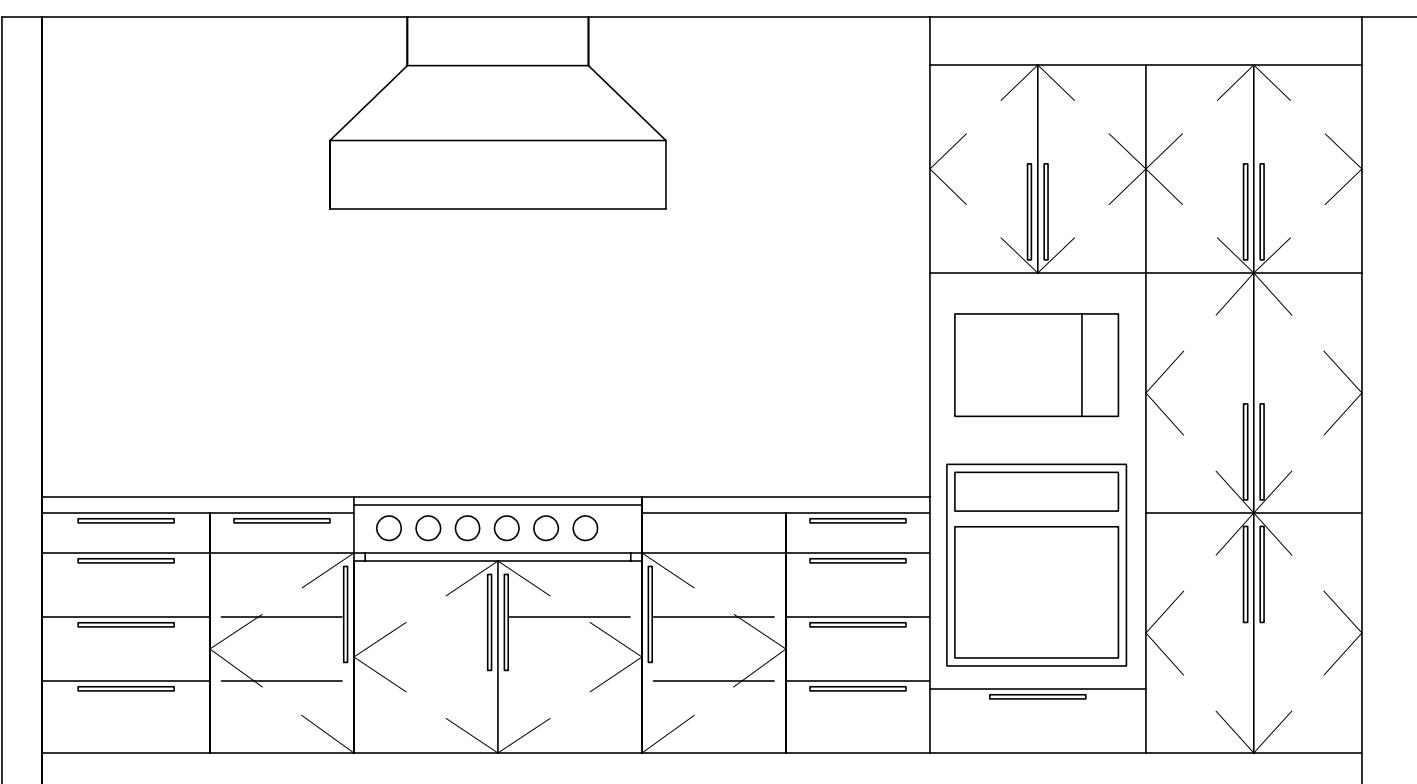
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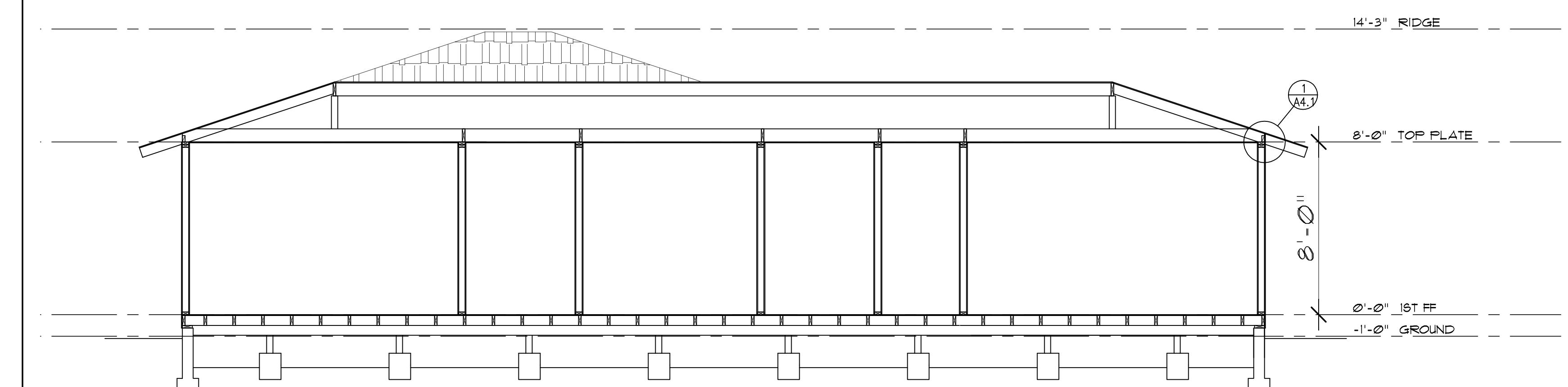
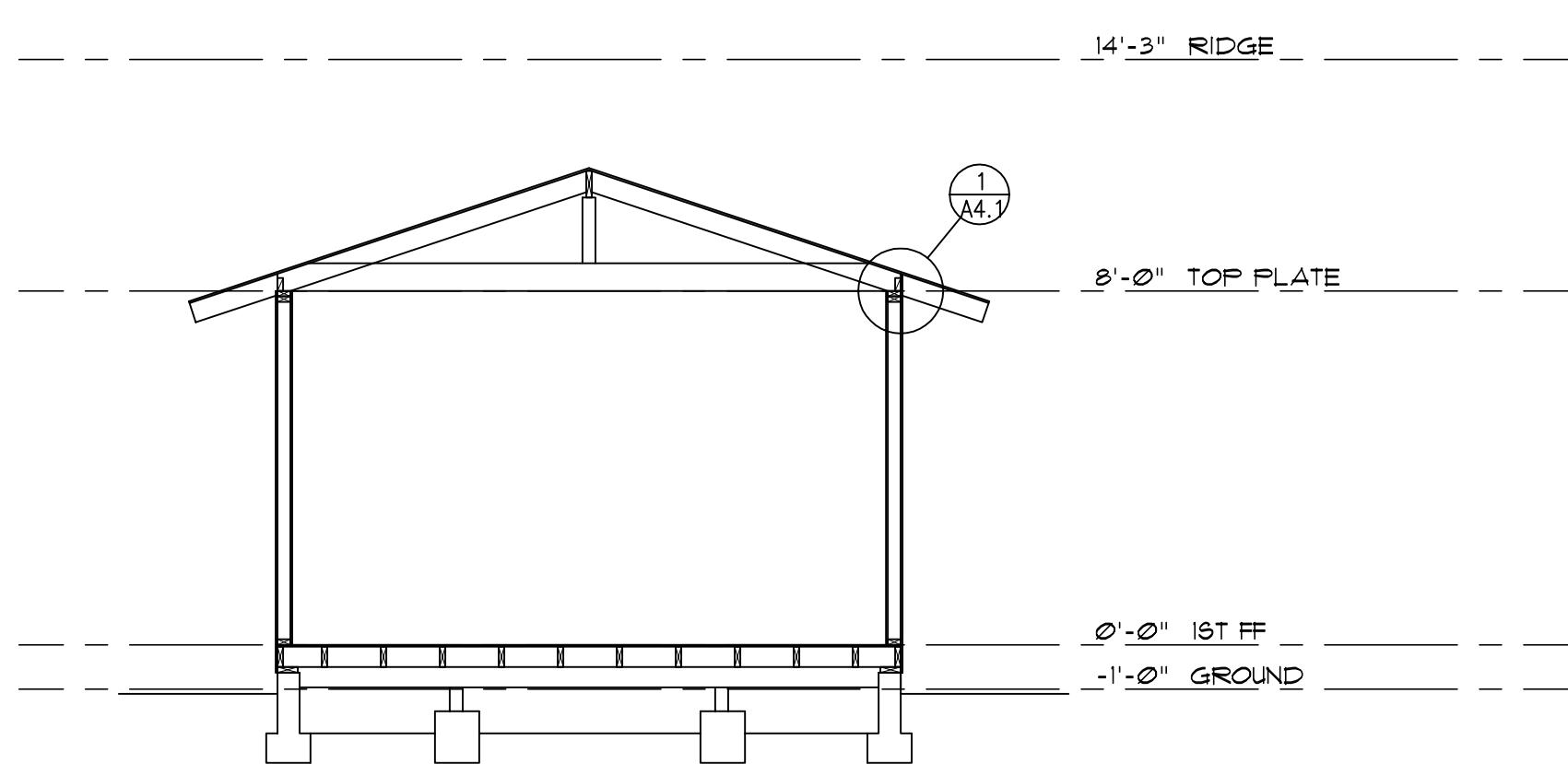
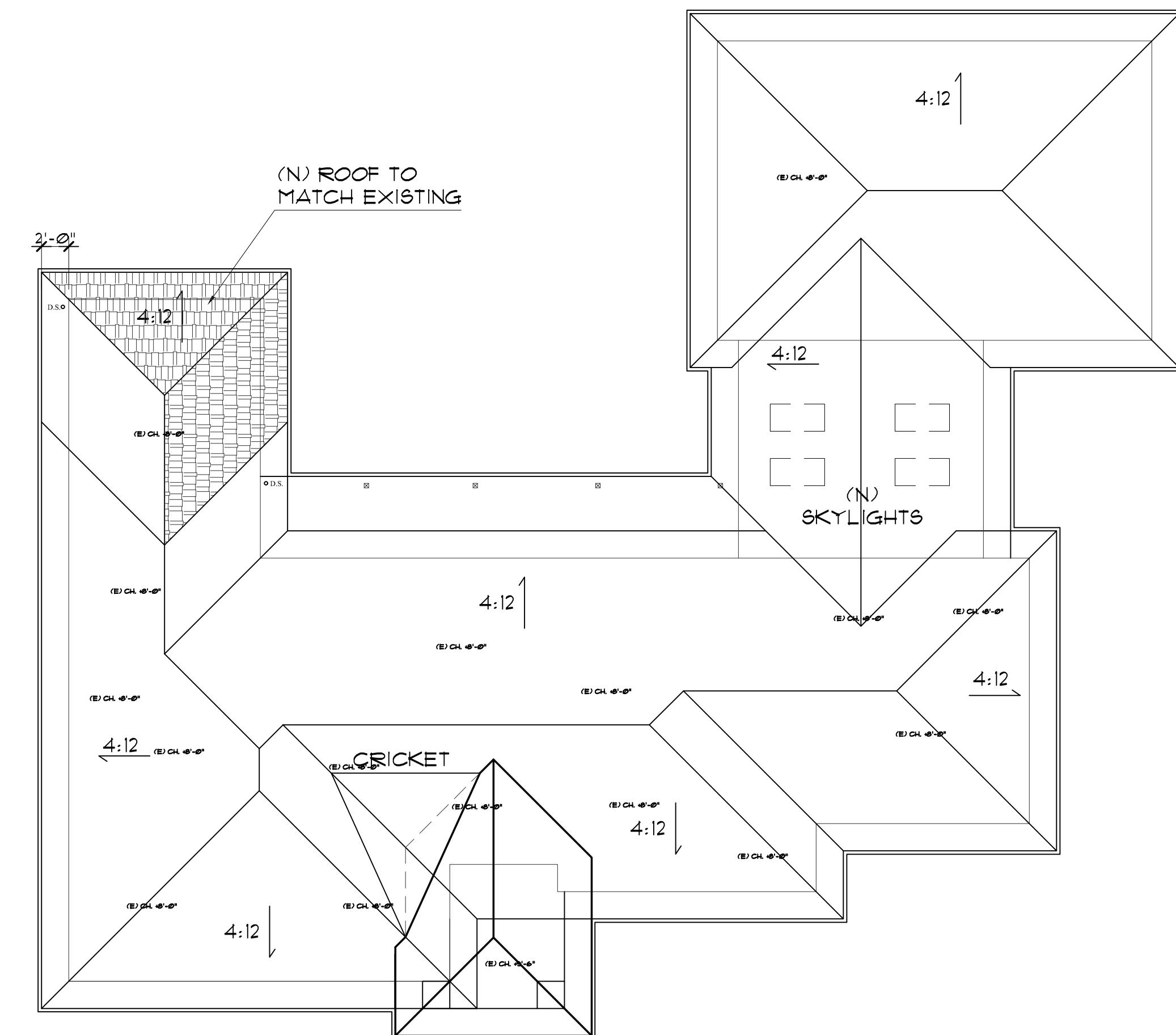
**HOUSE ADDITION**  
798 W. IOWA AVENUE  
SUNNYVALE, CA 94086



KITCHEN INTERIOR ELEVATIONS

1/2" 4 ROOF PLAN

1/8" 1



BUILDING SECTION

1/4" 3 BUILDING SECTION

1/4" 2

REVISIONS:

CITY COMMENTS, 05/08/2016

SHEET TITLE:  
ROOF PLAN  
BUILDING SECTIONS  
INTERIOR ELEVATION

DATE 04/26/2016 PROJECT NO. 16-1525

SCALE AS SHOWN DRAWN JH/GY

SHEET

**A-3.1**

OF SHEETS

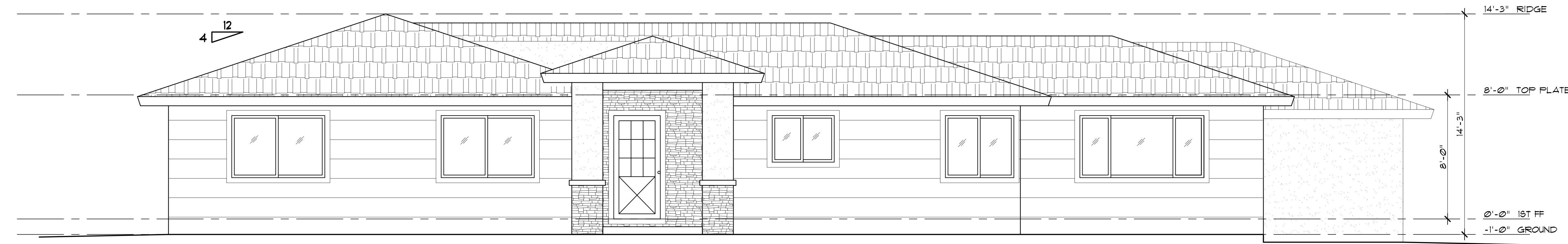
**IDA**

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**HOUSE ADDITION**  
798 W. IOWA AVENUE  
SUNNYVALE, CA 94086



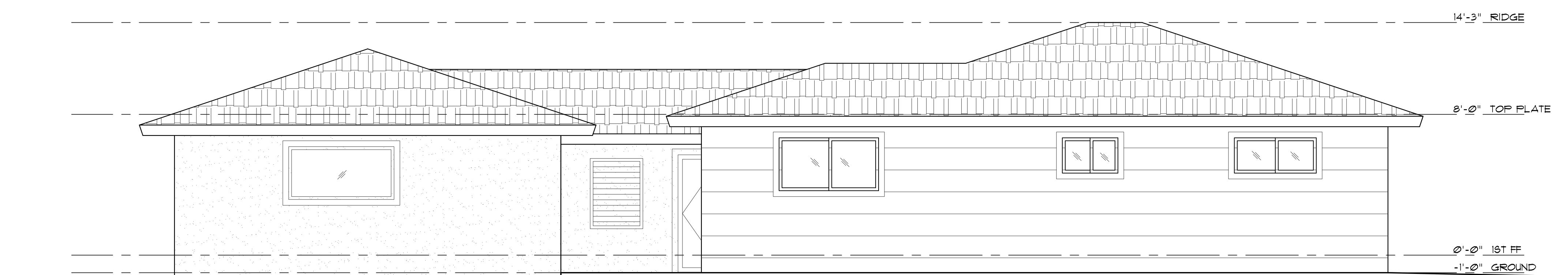
(E) FRONT ELEVATION

1/4" 1



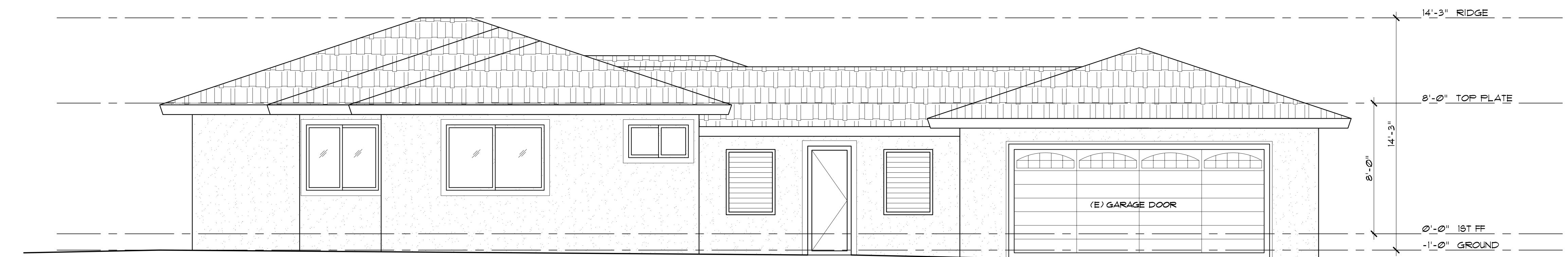
(E) REAR ELEVATION

1/4" 2



(E) LEFT ELEVATION

1/4" 3



(E) RIGHT ELEVATION

1/4" 4

△ CITY COMMENTS, 05/18/2016  
△ PLANNING COMMENTS, 06/20/2016

SHEET TITLE:  
EXISTING BUILDING  
ELEVATIONS

DATE 04/26/2016 PROJECT NO. 16-1525  
SCALE AS SHOWN DRAWN JH/GY  
SHEET

**A-3.2**

OF SHEETS

# IDA

Innovative Design Architecture, Inc.

JOHN ΗΛ. ΛΙΛ  
510 LAWRENCE EXPWY.  
SUITE # 105  
SUNNYVALE, CA 94085  
TEL: (408) 245-0991  
TEL: (408) 245-0711

OWNER:  
APO KYROLA  
98 W. IOWA AVENUE  
UNNYVALE, CA 94086  
(50) 660-7165

# HOUSE ADDITION

## 798 W. IOWA AVENUE SUNNUVALE, CA 94086

798 W. IOWA AVENUE  
SUNNUVALE, CA 94086

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REVISIONS:

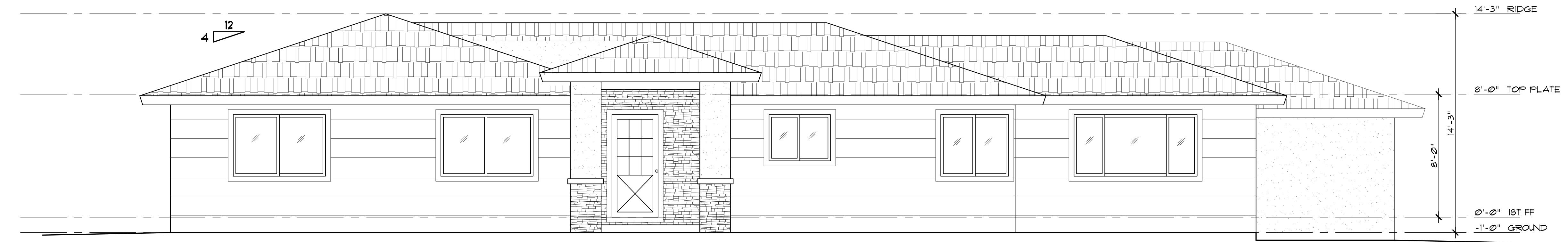
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SHEET TITLE:  
**NEW BUILDING  
ELEVATIONS**

DATE	PROJECT NO.
04/26/2016	16-1525
SCALE	DRAWN
AS SHOWN	JH/GY
SHEET	

### A-3.3

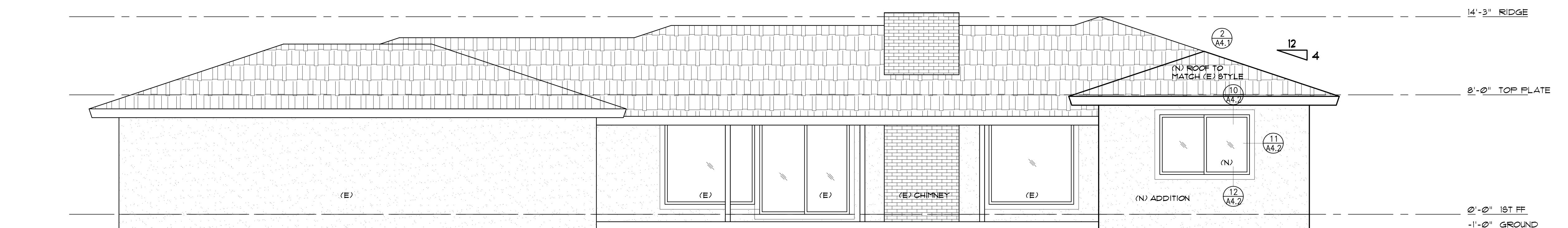
OF SHEETS



**(E) FRONT ELEVATION (NO CHANGE)**

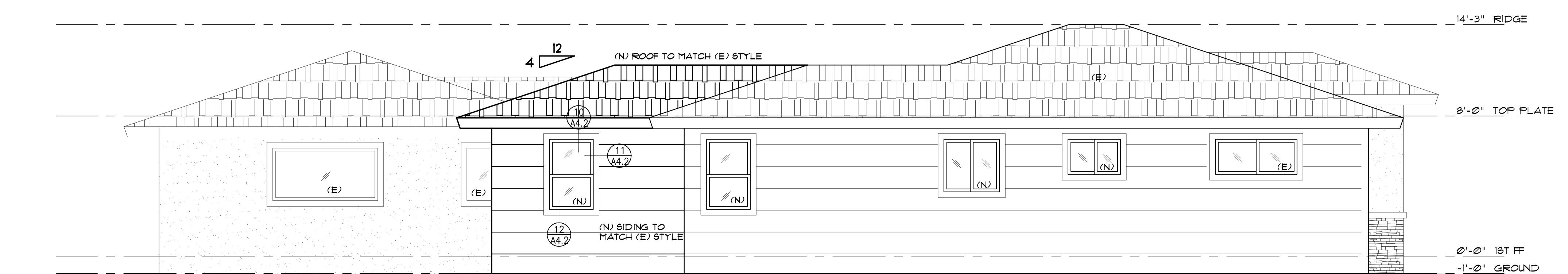
1  
4"

REPLACE (E) WOOD SHAKE W/ (N) 40 YEARS COMPOSITION SHINGLE



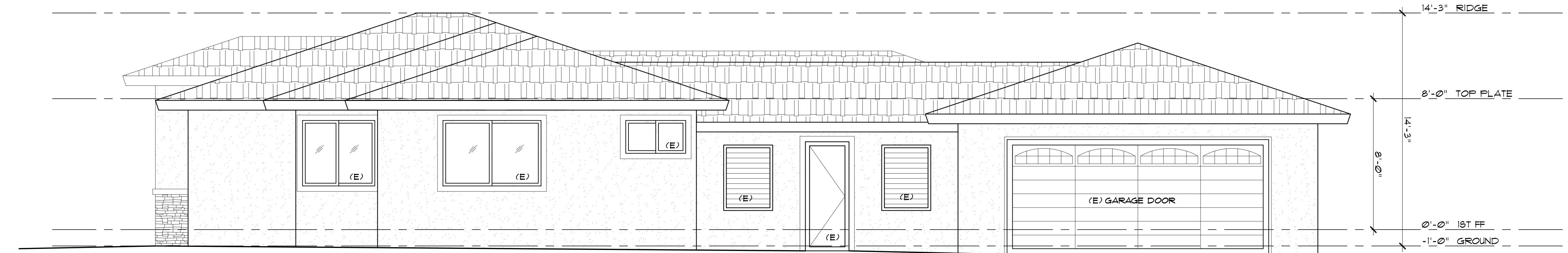
**(N) REAR ELEVATION**

‘4” 2



## (N) LEFT ELEVATION

1/4"



## (N) RIGHT ELEVATION

4