



490 S MATHILDA

PLANNING APPLICATION RESUBMITTAL

23 May 2022

Attachment 8
Page 1 of 78

THE Minkoff GROUP

JOINERY
Downtown Sunnyvale

DEVCON
DEVCON
DEVCON
DEVCON

CONSTRUCTION
INCORPORATED

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GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

THIS DRAWING EMBODIES IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO DEVCON CONSTRUCTION INC., AND WHICH WERE DESIGNED, CREATED, EVOLVED AND DEVELOPED FOR USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THERETO IS INTENDED OR EFFECTED BY DELIVERY HEREOF, AND EXCEPT UPON THE WRITTEN PERMISSION OF DEVCON CONSTRUCTION INC., THE DRAWING IS NOT TO BE DISCLOSED TO OTHERS, REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, FOUNDATIONS, OR ANY PORTIONS THEREOF, FOR OTHER THAN THE SPECIFIED PROJECT. © DEVCON CONSTRUCTION, INC.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	4/13/21	Planning Submittal	
2	6/23/21	CEQA PLANS	
3	7/02/21	Planning Resubmittal	
4	1/19/22	Planning Resubmittal	
5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

COVER

JOB NO. 2012	SHEET NO. G0.00 OF SHEETS
DATE: 05/23/22	
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	

GENERAL NOTES	
1	ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
2	DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS AND ELEVATIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALE DIMENSIONS. INFORM THE ARCHITECT OF ANY DISCREPANCIES.
3	DIMENSIONS SHOWN ON ARCH. PLANS ARE TO FACE OF WOOD STUD/CENTERLINE OF METAL STUD, UNLESS OTHERWISE NOTED OR INDICATED.
4	DIMENSIONS MARKED +/- ARE FLEXIBLE AND CAN CHANGE AS REQ'D TO FIT. DIMENSIONS NOT SO MARKED SHALL TAKE PRECEDENCE OVER +/- DIMENSIONS.
5	REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT FOR CLARIFICATION.
6	VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS, AND GRADES PRIOR TO START OF WORK. IF ANY DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT AT ONCE.
7	SITE ACCESSIBILITY IS SUBSTANTIALLY IN COMPLIANCE WITH CALIF. TITLE 24 REQUIREMENTS, TO BE VERIFIED IN FIELD. IF NEEDED APPLICABLE PLANS, DETAILS & SPECIFICATIONS MUST BE APPROVED PRIOR TO FINAL INSPECTION.
8	CONFORM TO RECOMMENDATIONS OF SOIL REPORT PREPARED BY: ROMIG ENGINEERS ON AUGUST 2020.
9	CONNECTIONS TO EXISTING PUBLIC UTILITIES SHALL BE DONE WITH APPROVAL AND IN ACCORDANCE WITH THE UTILITY CO. REQUIREMENTS.
10	CONTRACTORS SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT SCHEDULED FOR REMOVAL DURING CONSTRUCTION. THEY SHALL REPAIR ANY DAMAGE TO NEW CONSTRUCTION AT THEIR EXPENSE.
11	DO NOT CONNECT OR SUSPEND ANY ITEM FROM STRUCTURE WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER PARTITION CONNECTION & ANCHORING TO FIRE SAFING IS NOT ALLOWED.
12	WORK MAY BE OBSERVED BY THE ARCHITECT AND THE OWNER'S REPRESENTATIVES FOR CONFORMITY WITH THE CONSTRUCTION DOCUMENTS AND SCOPE OF WORK. WORK COVERED OR CONCEALED BEFORE BEING OBSERVED SHALL BE OPENED AND UNCOVERED UPON REQUEST. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND THE OWNER OF ALL REQUIRED OBSERVATIONS IN ADVANCE. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN THE CONTRACTOR'S BEHALF FOR ANY NEGLECT IN ADHERING TO THIS REQUIREMENT.
13	FOR METAL STUD INTERIOR PARTITION WALL SIZE, GAUGE AND SPACING, SEE WALL DETAILS AND SCHEDULE.
14	GYP BD FOR NON-FIRE RESISTIVE WALLS TO BE 5/8" THICK U.N.O.
15	GYP BD FOR FIRE RESISTIVE WALLS TO BE TYPE "X" 5/8" THICK U.N.O.
16	ALL FIRE RESISTIVE PARTITIONS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ULTESTING REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS FOR CONDITIONS AS REQUIRED.
17	ALL DUCT AND CONDUIT PENETRATIONS THROUGH PARTITIONS SHALL BE FIRE SEALED OR ACOUSTICAL SEALED.
18	ALL SHAFT ENCLOSURES CONTAINING AIR NOT IN DUCTS SHALL BE SEALED AIRTIGHT.
19	TAPE, BED AND FINISH ALL DRYWALL CORNERS AND JOINTS READY FOR FINISH.
20	ALL RECEPTACLES & PHONE/DATA JACKS SHALL BE STANDARD PLATES IN MANUFACTURER'S STANDARD TRIM COLOR, TO BE APPROVED BY ARCHITECT, MOUNTED VERTICALLY LEVEL WITH ELECTRICAL RECEPTACLES. U.N.O.
21	EXIT SIGNAGE TO BE GREEN LED, IN WHITE THERMOPLASTIC HOUSING.
22	PER SUNNYVALE MUNICIPAL CODE ALL APPLIANCES TO BE ELECTRIC IN NEW BUILDINGS. GAS LINES ARE PROHIBITED.
23	PER SUNNYVALE MUNICIPAL CODE A MINIMUM 5-KILOWATT SOLAR PHOTOVOLTAIC SYSTEM BE INSTALLED IN NEW BUILDINGS LESS THAN 10,000 SQ. FT. IN SIZE AND UP TO 3-STORY IN HEIGHT (EXCEPTION: AS AN ALTERNATIVE TO A SOLAR PV SYSTEM, THE BUILDING TYPE MAY PROVIDE A SOLAR HOT WATER SYSTEM (SOLAR THERMAL) WITH A MINIMUM COLLECTOR AREA OF 40 SQ. FT., ADDITIONAL TO ANY OTHER SOLAR THERMAL EQUIPMENT OTHERWISE REQUIRED FOR COMPLIANCE WITH THE CALIFORNIA ENERGY CODE).
24	REQUIRED MEANS OF EGRESS DURING CONSTRUCTION: EACH LEVEL ABOVE THE FIRST STORY REQUIRING TWO EXIT STAIRWAYS SHALL BE PROVIDED WITH AT LEAST TWO USABLE EXIT STAIRWAYS AFTER THE FLOOR DECKING IS INSTALLED. THE STAIRWAYS SHALL BE CONTINUOUS AND DISCHARGE TO GRADE LEVEL. STAIRWAYS SERVING MORE THAN TWO FLOOR LEVELS SHALL BE ENCLOSED (WITH OPENINGS ADEQUATELY PROTECTED) AFTER EXTERIOR WALLS AND WINDOWS ARE IN PLACE. EXCEPTION: IN NEW MULTI-STORY BUILDINGS, ONE OF THE REQUIRED EXIT STAIRS MAY BE OBSTRUCTED ON NOT MORE THAN TWO CONTIGUOUS FLOOR LEVELS FOR THE PURPOSE OF STAIRWAY CONSTRUCTION. (SMC 3311.1)

PROJECT NOTES	
1.	THIS PROJECT WILL BE PROTECTED THROUGHOUT WITH A FULLY AUTOMATIC FIRE PROTECTION (SPRINKLER) SYSTEM, DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13.
2.	A FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
3.	PROVIDE TWO-WAY COMMUNICATION SYSTEM PER CBC 1007.8.
4.	WASTE ENCLOSURE TO PROVIDE MOTION ACTIVATED LIGHTING, SPRINKLER SYSTEM, AND ODOR CONTROL.

ALLOWABLE HEIGHT AND AREA CODE ANALYSIS	
The 2019 CBC Supplement, effective from July 1st, 2021 adopts the Type IV-C construction. A Type IV-C building permits a building of 85 ft above average grade plane and 9 stories above grade for Group B occupancies. Group A occupancies may be located up to the 5th story of the building (automatic fire sprinklers are used for allowable area increase and not for height). 50% of the building perimeter faces a public way or open space that is at least 30 feet wide. Therefore, a 25% allowable area increase permitted for frontage. The allowable area per story is the following for the main occupancies of the building: Group S-2 (parking): 156,406 sf Group B (office levels): 146,250 sf Group A-2/3 (amenity level): 60,938 sf The actual / allowable area ratios per story are the following: Level B2 (Group S-2): 47,025 sf / 156,406 sf = 0.301 Level B1 (Group S-2): 47,025 sf / 156,406 sf = 0.301 Level 1 (Group A-3): 38,779 sf / 60,938 sf = 0.636 -- (Group S on this level is less than 10% and may be classified as accessory) Level 2 (Group B): 40,408 sf / 146,250 sf = 0.276 Level 3 (Group B): 40,800 sf / 146,250 sf =0.279 Level 4 (Group A-3): 33,000 sf / 60,938 sf = 0.542 Sum of area ratios: 2.33, not over the 3.00 limit for the entire building. Sum of area ratios: 1.18, not over the 2.00 limit for the stories with Group A occupancies.	

CODE ANALYSIS	
CODE COMPLIANCE ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE W/ THE FOLLOWING CODES AND REGULATIONS AS APPROVED & AMENDED BY THE CITY OF SUNNYVALE, CA. 2019 CALIFORNIA BUILDING CODE (VOLUMES 1 & 2) 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE SUNNYVALE ADORNMENTS TO THE CALIFORNIA FIRE CODE (SMC 16.52) NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS CITY OF SUNNYVALE DOWNTOWN SPECIFIC PLAN SUNNYVALE MUNICIPAL CODE IT IS THE INTENTION THAT THE ABOVE CODES & REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN FORCE ON THE DATE OF THESE DRAWINGS.	

PLUMBING CALCUALTIONS

21-018 | 490 S MATHILDA

CORE COUNT - CODE MINIMUM

last updated:

7/1/2021

	per 2019 CPC, Chapter 4, Table A					per 2019 CPC, Chapter 4, Table 422.1 Minimum Plumbing Facilities								
	Group	Floor Area (SF)	Occ Load Factor	Total Occ Load	Male Population	Male Population			Female Population	Female Population		D.F.	Other	
Ratio					1/2	Water Closets	Urinals	Lavatories	1/2	Water Closets	Lavatories			
First Level	B	38,612	200	191	91	2	1	2	91	4	2	2	1	
Second Level	B	40,023	200	201	101	3	2	2	101	8	3	2	1	
Third Level	B	39,852	200	200	100	3	2	2	100	8	3	2	1	
	Required			592	293	8	5	6	293	20	8	6	3	
	Provided					12	9			24	9			
	Surplus / (short)					4	7	3		4	1	-6	-3	
Fourth Level	A-3	11,998	30	400	200	2	2	1	200	4	2	2	1	
	Required					2	2	3		6	3			
	Provided					6	6	2		6	1	-2	-1	
	Surplus / (short)													

For Reference Only - not included in Core & Shell

		5/23/22	PLANNING RESUBMITTAL	7/11/22	PLANNING RESUBMITTAL	7/07/21	PLANNING RESUBMITTAL	9/15/21	PLANNING SUBMITTAL	5/23/22	PLANNING RESUBMITTAL	7/11/22	PLANNING RESUBMITTAL	7/07/21	PLANNING RESUBMITTAL	9/15/21	PLANNING SUBMITTAL
GENERAL:																	
G0.00	COVER																
G0.01	DRAWING INDEX AND PROJECT INFORMATION																
G0.02	PROECT DATA																
G0.03	AREA PLANS																
G0.04	CONCEPTUAL RENDERING																
G0.05	CONCEPTUAL RENDERING																
G0.06	CONCEPTUAL RENDERING																
G0.07	CONCEPTUAL RENDERING																
G0.08	CONCEPTUAL RENDERING																
G0.09	CONCEPTUAL RENDERING																
G0.10	MASS TIMBER BENEFITS																
G0.11	BUILDING PRECEDENTS																
G0.12	AMENITY FLOOR PRECEDENTS																
G0.13	MATERIAL PRECEDENTS																
G0.14	MATERIAL BOARD																
G0.15	EXISTING PHOTOS																
G1.20	GREEN BUILDING CHECKLIST																
G1.30	LEED SCORECARD																
CIVIL:																	
C1.0	TITLE SHEET																
C1.1	NOTES																
C2.0	EXISTING CONDITIONS																
C2.1	HARDSCAPE DEMOLITION PLAN																
C2.2	UTILITY DEMOLITION PLAN																
C3.0	PRELIMINARY SITE PLAN																
C3.1	MATHILDA AVE OFFSITE ALTERNATE A																
C3.2	PRELIMINARY FIRE ACCESS PLAN																
C4.0	SECTIONS																
C4.1	SECTIONS																
C4.2	SECTIONS																
C5.0	PRELIMINARY GRADING PLAN																
C5.1	DETAILED GRADING PLAN																
C6.0	PRELIMINARY UTILITY PLAN																
C7.0	PRELIMINARY STORMWATER CONTROL PLAN																
C8.0	SUNNYVALE STANDARD DETAILS																
C8.1	SUNNYVALE STANDARD DETAILS																
ARCHITECTURAL:																	
A1.01	ARCHITECTURAL SITE PLAN - SETBACKS																
A1.10	ARCHITECTURAL SITE PLAN																
A1.20	SHADOW STUDY																
A2.01	LEVEL B2 PLAN																
A2.02	LEVEL B1 PLAN																
A2.11	LEVEL 1 PLAN																
A2.12	LEVEL 2 PLAN																
A2.13	LEVEL 3 PLAN																
A2.14	LEVEL 4 PLAN																
A2.15	ROOF PLAN																
A3.01	N/S BUILDING ELEVATIONS																
A3.02	E/W BUILDING ELEVATIONS																
A3.10	N/S BUILDING SECTIONS																
A3.11	E/W BUILDING SECTIONS																
A3.13	STREET SECTION DIAGRAMS																
A3.14	PARKING GARAGE SECTIONS																
A3.15	SITE SECTIONS																
A3.16	EAST PROPERTY LINE																
A3.21	TYPICAL OFFICE ENCLOSURE																
A3.22	ENCLOSURE AT TYPICAL BAY																
A3.31	FIRE SEPARATION DIAGRAMS																
A4.10	ENLARGED GARAGE RAMP																
A4.11	ENLARGED GARAGE RAMP AND SIGNAGE STUDY																
A6.01	LEVEL B1 REFLECTED CEILING PLAN																

Attachment 6

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THE Minkoff GROUP

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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

DRAWING INDEX AND PROJECT INFORMATION

JOB NO. 21-018

DATE: 05/23/22

DRAWN:MZ

CHECKED: AG

ISSUE: PLN RESUBMITTAL

SHEET NO.

G0.01

OF SHEETS

5/23/2022 2:35:17 PM

The map displays the Commercial Core area in downtown Memphis, Tennessee, bounded by W Washington Ave to the north, W McKinley Ave to the south, S Main St to the west, and S Main St to the east. The map is color-coded to show different land use zones:

- Downtown Transit Center** (Dark Blue)
- Downtown Mixed-Use** (Red)
- Commercial** (Orange)
- Office** (Light Orange)
- Downtown Very High-Density Residential** (Light Yellow)
- High-Density Residential** (Yellow)
- Medium-Density Residential** (Light Green)
- Low-Medium-Density Residential** (Light Green)
- Low-Density Residential** (Light Green)
- Murphy Station Heritage Landmark District** (Hatched Pattern)

A specific location is marked with a black pin and labeled "Site" at the intersection of S Main St and W Olive Ave. Other labeled streets include W Washington Ave, W McKinley Ave, S Main St, W Olive Ave, and S Main St. A north arrow is located in the bottom right corner.

Project Data

COMMERCIAL /INDUSTRIAL PROJECT DATA

- ## SITE INFORMATION

BUILDING INFORMATION	
CONSTRUCTION TYPE:	TYPE IV-C / TYPE II-A
SPRINKLERED	FULLY AUTOMATIC FIRE PROTECTION (SPRINKLER) SYSTEM
OCCUPANCY	B (COMMERCIAL OFFICE)
	S-2 (ENCLOSED PARKING GARAGE)

STORIES

<p>APPLICABLE CODE</p>	<p>COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.</p> <p>BUILDING PERMIT PLANS SHALL COMPLY WITH THE SUNNYVALE MUNICIPAL CODE AND THE VERSION OF THE CALIFORNIA BUILDING, MECHANICAL, GREEN BUILDING, AND ENERGY CODE IN EFFECT AT THE TIME OF BUILDING PERMIT SUBMITTAL.</p>
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AREA CALCULATIONS

	ENCLOSED GSF	PARKING GSF
B2	0	46,585
B1	0	46,320
LEVEL 1	35,685	2,300
LEVEL 2	39,608	0
LEVEL 3	37,899	0
LEVEL 4	11,998	0
TOTAL	125,190	95,205

PARKING TOTALS

LEVEL B2	
STANDARD	21
TANDEM	21
STANDARD EVCS	50
<u>STANDARD EVCS (CAPABLE)</u>	<u>49</u>
B2 TOTAL	141 SPACES

LEVEL B1	
STANDARD	15
TANDEM	17
STANDARD EVCS	40
STANDARD EVCS (CAPABLE)	45
ACCESSIBLE (STANDARD)	5
ACCESSIBLE (EVCS)	2
ACCESSIBLE (VAN)	2
ACCESSIBLE (VAN-EVCS)	2
<u>AMBULATORY (EVCS)</u>	<u>2</u>
B1 TOTAL	129 SPACES

TOTAL	270 SPACE
PERCENTAGE EVCS =	35%
PERCENTAGE EVCS CAPABLE =	35%

BICYCLE PARKING

REQUIRED:

5% FTE ACCESS TO SECURE BIKE PARKING
2.5% VISITOR ACCESS TO BIKE RACK

PROPOSED

CLASS 1 BIKE PARKING	40 (WITH STACKING SYSTEM IN GARAGE)
CLASS 1 BIKE PARKING	106 (COVERED ON GRADE LEVEL)
CLASS 2 BIKE PARKING	6 (UNCOVERED)
TOTAL	152

REFER TO A0.02 FOR FURTHER INFORMATION AND A0.20 FOR GREEN BUILDING CHECKLIST

[illegible]

Santitary Napkin Dispenser
Santitary Napkin Disposal Unit
Screen
Seal
Seat Cover Dispenser
Service Sink
Sheet
Sheet Vinyl
Shower
Shower Curtain Rod
Shower Door
Shower Head
Simlar
Skylight
Smoke Detector
Socket
Spout Dispenser
Solid Core
Sound Insulation
Sound Transmission Class
South
Spout
Spot Elevation
Sprinkler
Square
Square Foot (Feet)
Stainless Steel
Star(s)
Standard
Storage Area Groove
Strap
Station
Steel
Stepladder
Store
Storage
Storeroom
Store
Stroke / Horn
Structural
Structural Clay Tile
Subfloor
Substrate
Subtotal
Substrate
Supply Air Grille
Switch
Switchboard
Symmetrical
System

Tackboard
Telephone
Television
Tempered
Temporary
Terra Cotta
Terrazzo
Thermostat
Thimble
Through
To Be Determined
Tongue And Groove
Towel Paper Dispenser
Towel Paper Holder
Tolerances
Top And Bottom
Top Of
Top Of Beam
Top Of Concrete
Top Of Curb
Top Of Finish Area
Top Of Floor
Top Of Footing
Top Of Gable
Top Of Shelf
Top Of Wall
Toothpaste
Towel Bar
Towel Dispenser
Towel Dispenser / Receptacle
Towel Rack
Towel Shelf
Tread
Treated
Trim
Trin Drain
Tube Base
Typical

Undercut
Unexcavated
Unfinished
Unless Noted Otherwise
Unlabeled
Utility

Vacuum
Vehicle
Ventilation
Variable Air Volume
Verify In Finish Area
Vertical
Vestibule
Vibration Isolation
Vinyl Composition Tile
Vinyl Wall Covering
Volume

Waincoat
Wall Covering
Water Closet
Water Fountain
Water Heater
Waterproofing
Waterproofing Membrane
Weed
Welded Wire Mesh
Wire Bender
Wide Flange
Wire Mesh
With
Without
Wood
Wood Base
Working Brass
Wrought Iron
Wrought Iron

Yards)

ation

Gross Square Feet
Net Square Feet
Rentable Square Feet
Usable Square Feet

BOMA Terms
Common Common Area
Floor Common Area
Floor Finishable Area
Floor Usable Area
Gross Building Area
Gross Measurable Area
Major Vertical Penetrations
Office Area
Store Area

And
Angle
At
By (lowercase)
Certificate
Channel
Degree
Diameter
Double Angle
Number
Plate
Plus Or Minus
Square Feet

Sheet Number

A521

Sheet Number
Category Number
Discipline Letter

Room Name & Number

Room Name
101

North Arrow

North

Column Symbol & Center Line

1 A

A-1 Starts At
Upper Left Corner

Letters = Vertical
Numbers = Horizontal

Vertical Elevation

Level 1
EL 10' - 0"

Spot Elevation

EL 10' - 0"

Match Line

Match Line
See 1 / A201.1

Building Section Indicator

1 A351 1 A351

View Number
Sheet Number

Wall Section Indicator

View Number
Sheet Number

1 A401

Detail Section Indicator

View Number
Sheet Number

1 A401

Callout Indicator

View Number
Sheet Number

1 A401

Building Elevation Indicator

View Number
Sheet Number

1 A301

Interior Elevation Indicator

View Number
Sheet Number

1 A501 2
3 View Number

Partition Type Indicator

1A

Door Number

2

Door Number

W3

Door Number





203

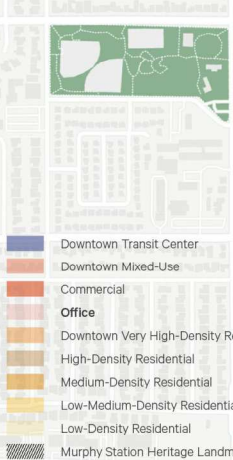
Plumbing Fixture Indicator

GB3

Revision Indicator

1

Material Patterns	
	Sand
	Concrete
	Precast Concrete
	Terrazzo
	Cut Stone
	Brick Masonry
	Concrete Masonry Unit
	Structural Clay Tile Masonry Unit
	Steel
	Aluminum
	Ornamental Metal
	Continuous Wood Framing
	Wood Blocking
	Finish Woodwork
	Plywood
	Glu-Laminated Wood
	Gypsum Sheathing
	Acoustic Ceiling Board
	Rigid Insulation
	Batt Insulation



W Washington Ave

W McKinley Ave

	Downtown Transit Center
	Downtown Mixed-Use
	Commercial
	Office
	Downtown Very High-Density Residential
	High-Density Residential
	Medium-Density Residential
	Low-Medium-Density Residential
	Low-Density Residential
	Murphy Station Heritage Landmark District

Project Summary

DESCRIPTION OF WORK

- DEMOLITION OF EXISTING 1-STORY AND 2-STORY WOOD & STUCCO BUILDING
- REMOVAL OF EXISTING LANDSCAPE EASEMENTS ALONG S MATHILDA AVENUE
- CONSTRUCTION OF 3-STORY AND ROOF TOP AMENITY LEVEL MASS TIMBER WITH 2 LEVELS SUBTERRANEAN PARKING.

SITE INFORMATION

ADDRESS:	490 S MATHILDA AVENUE, SUNNYSVALE, CA 94086
APN:	209-28-008 & 209-28-052
ZONING:	DOWNTOWN, SOUTH OF IOWA, BLOCK 13
LOT AREA:	54,763 SF
FLOOR AREA RATIO	126,128 SF / 2.28
LOT COVERAGE	42,103 SF / 76.8%
LANDSCAPE AREA	9,700 SF
LANDSCAPE COVERAGE	18%

BUILDING INFORMATION

CONSTRUCTION TYPE:	TYPIC M-C / TYPE I-A
SPRINKLERED:	FULLY AUTOMATIC FIRE PROTECTION (SPRINKLER)
OCCUPANCY:	B (COMMERCIAL OFFICE) S-2 (ENCLOSED PARKING GARAGE)
STORIES:	4 LEVELS ABOVE GRADE (OFFICE) 2 LEVELS BELOW GRADE (PARKING)
APPLICABLE CODE	COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SUNNYSVALE MUNICIPAL CODE (SMC), CALIFORNIA (CALIF.), TITLE 18 CALIFORNIA CODE OF REGULATION, SUNNYSVALE FIRE PREVENTION PROCEDURES/REGULATIONS

	BUILDING PERMIT PLANS SHALL COMPLY WITH T-MUNICIPAL CODE AND THE VERSION OF THE CALIF. PLUMBING, MECHANICAL, GREEN BUILDING, AND TIME OF BUILDING PERMIT SUBMITTAL.
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Project Calculations

AREA CALCULATIONS

	ENCLOSED GSF	PARKING GSF
B2	0	46,585
B1		46,320
LEVEL 1	35,685	2,300
LEVEL 2	39,608	0
LEVEL 3	37,899	0
LEVEL 4	11,998	0
TOTAL	125,190	95,205

PARKING TOTALS

LEVEL B2	
STANDARD	21
TANDEM	40
STANDARD EVCS	50
STANDARD EVCS (CAPABLE)	48
B2 TOTAL	141 SPACES
LEVEL B1	
STANDARD	15
TANDEM	17
STANDARD EVCS	40
STANDARD EVCS (CAPABLE)	45
ACCESSIBLE (STANDARD)	5
ACCESSIBLE (EVCS)	2
ACCESSIBLE (VAN)	2
ACCESSIBLE (VAN-EVCS)	2
AUXILIATORY (EVCS)	2
B1 TOTAL	129 SPACES
TOTAL	270 SPACES
PERCENTAGE EVCS =	35%
PERCENTAGE EVCS CAPABLE =	35%

BICYCLE PARKING

REQUIRED:

5% FTE ACCESS TO SECURE BIKE PARKING
2.5% VISITOR ACCESS TO BIKE RACK

PROPOSED:

CLASS 1 BIKE PARKING	40 (WITH STACKING SYSTEM IN GARAGE)
CLASS 1 BIKE PARKING	106 (COVERED ON GRADE LEVEL)
CLASS 2 BIKE PARKING	6 (UNCOVERED)
TOTAL	152

COMMERCIAL/INDUSTRIAL PROJECT DATA

Applicant should refer to the Sunnyside Municipal Code (<http://ipcode.us/codes/sunnyside>) for current requirements.

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
<input type="checkbox"/> General Plan	TRANSIT MIXED USE		
<input type="checkbox"/> Zoning District	DOWNTOWN SPECIFIC PLAN, SOUTH OF IOWA (DSP/13)		
<input type="checkbox"/> Lot Size (sq. ft.)	54,763	54,763	N/A
<input type="checkbox"/> Gross Floor Area (sq. ft.)	10,050	125,128 SF	Per Development Agreement
<input type="checkbox"/> Lot Coverage (%)	18%	77.6%	Per Development Agreement
<input type="checkbox"/> Floor Area Ratio (FAR)	.284	2.28	Per Development Agreement
<input type="checkbox"/> Gross Floor Area of Tenant (sq. ft.)	N/A	N/A	NO REQ.
<input type="checkbox"/> Building Height (ft.)	40.4'	68.5'	Per Development Agreement
<input type="checkbox"/> No. of Stories	2	4	max.
<input type="checkbox"/> No. of Buildings On-Site	2	1	
<input type="checkbox"/> Distance Between Buildings (ft.)		N/A	max.
<input type="checkbox"/> Front Setbacks	Min 10 ft. (15 ft. for 1-2 stories)	Min 10 ft. (15 ft. for 1-2 stories)	Min 10 ft. (15 ft. for 1-2 stories)
<input type="checkbox"/> Left Side Setbacks (facing property)	0 ft.	10 ft. (15 ft. for 1-2 stories)	0 ft. min.
<input type="checkbox"/> Right Side Setbacks (facing property)	0 ft.	10 ft. (15 ft. for 1-2 stories)	0 ft. min.
<input type="checkbox"/> Rear Setback	0 ft.	10 to 15 ft.	0 ft. min.
<input type="checkbox"/> Landscaping (total sq. ft.)	7,000 sq. ft.	9,700 sq. ft.	Min 10 sq. ft. per 1,000 sq. ft. of floor area
<input type="checkbox"/> % Based on Lot Area	12.8%	18%	min.
<input type="checkbox"/> % Based on Parking Lot	NA	NA	
<input type="checkbox"/> Parking Lot Area Shading (%)	NA	NA	50% min. in 15 yrs.
<input type="checkbox"/> Water Conserving Plants (%)	NA	80%	70% min.
<input type="checkbox"/> Total No. of Parking Spaces	73	272	2 / 1,000 min.
<input type="checkbox"/> Standards	69	126 min. per 1,000 sq. ft. of floor area	256 min.
<input type="checkbox"/> Accessible Spaces	4	12	7 min.
<input type="checkbox"/> Covered Spaces	9	272	NA
<input type="checkbox"/> Carpool Spaces	-	14	5 % min.
<input type="checkbox"/> Access Width (ft.)	VARIABLE	24'	24' min.
<input type="checkbox"/> Bicycle Parking (Class 1 / Class 2)	NA	+/- 100 (CLASS 1 & CLASS 2)	Min 20 per 1,000 sq. ft. min.
<input type="checkbox"/> Impervious Surface Area (sq. ft.)	47,763 sq. ft.	45,063 sq. ft.	Per COS
<input type="checkbox"/> Impervious Surface (%)	87%	82%	Per COS
<input type="checkbox"/> Art in Private Development	-	TBD	

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7580
 Planning and Building Division staff are available 8:00 a.m. to 5:00 p.m.
www.SunnysideVAPlanning.com | www.SunnysideVABuilding.com

Waste Management Summary

TOTAL OFFICE PROJECTIONS

Size	Trash per week using City's 3-CY per 1000 SF	Projected Waste (CY per full container)	Projected Cardboard (CY)	Projected Food Scraps (CY)
127,086	36	28	10	3

TOTAL WASTE VOLUME: 28 cubic yards.
 TOTAL CARDBOARD: 10 cubic yards.
 TOTAL FOOD SCRAPS: 3 cubic yards.

Waste will be handled in a VERTICAL trash compactor. Standard compaction ratio is 5:1. 28+5 = 6 compacted cubic yards.

NOTE: REFERENCE TO ROOM PLANS AND NARRATIVE INFORMATION

SERVICE	Bins	Total Service
WASTE	(2) 2-CY compacted bins, 2x	8 compacted CY
CARDBOARD	(1) 3-CY loose bins, 3x	9 loose CY
FOOD SCRAPS	(1) 1-CY food scrap bins, 3x	3

SCHEDULE	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY
Waste (COMPACT)	(2) 2-CY				(2) 2-CY
Cardboard	(1) 3-CY		(1) 3-CY	(1) 3-CY	
Food Scraps	(1) 1-CY		(1) 1-CY	(1) 1-CY	

The trash room will have one P200 VERTICAL compactor with two 2-CY compacted waste containers, one 3-CY bin for cardboard and one 1-CY bin for food scraps. An electric pallet jack will be provided to staff for bin moving. Design incorporates all city requirements.

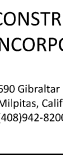
TRASH HANDLING

Waste, cardboard and food scraps will be moved in either 30-gallon or 60-gallon plastic carts (for food scraps) or 1-cube yard manual handling carts for waste and cardboard. Most materials will be collected and moved by custodial staff during standard nightily cleanup, although some materials may be moved during daytime business hours. After trash is collected, the carts are taken down the elevator to the site's corridor to the trash room.

SERVICING

Bins will be staged along the drive aisle adjacent to the trash collection room. Staff will move bins to this location on service days using an electric pallet jack. The hauler will drive down Olive Street, turn left into the service drive aisle onto a concrete drive aisle **past where the bins are staged** and fork and empty them. No more than two front-load containers will be staged at any one time. The hauler will fork the first bin empty & then back up and fork the other full container. Lastly the hauler will back up no more than 50' to exit the service area back onto Olive Street.

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5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

PROJECT INFORMATION

JOB NO. 1012	<p>SHEET NO.</p> <p style="font-size: 48px; font-weight: bold;">G0.02</p>
DATE: 05/23/22	
DRAWN: Author	



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AREA PLANS

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

CHECKED: Checker

ISSUE: Schematic Design

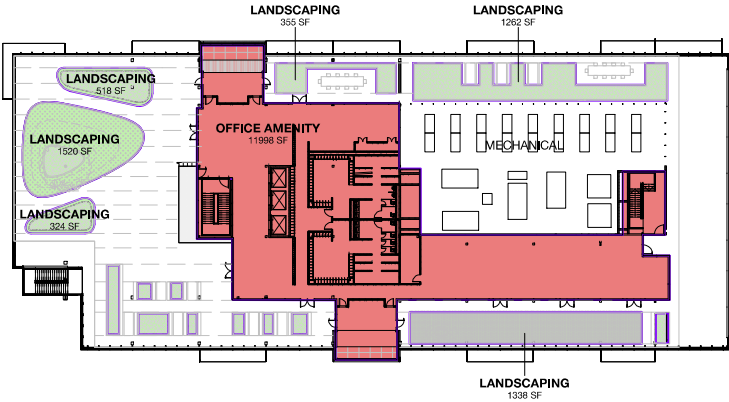
SHEET NO.

G0.03

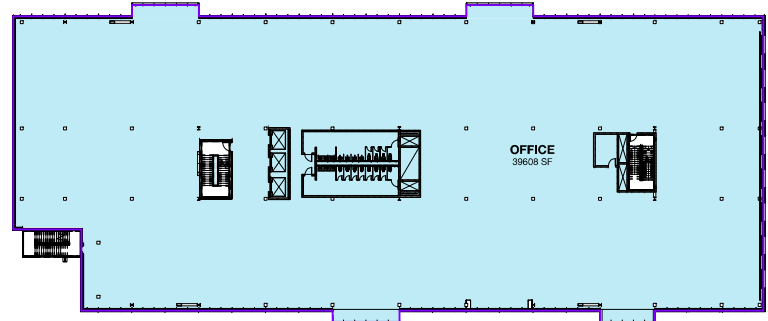
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Building Area Legend

- LANDSCAPING
- OFFICE AMENITY



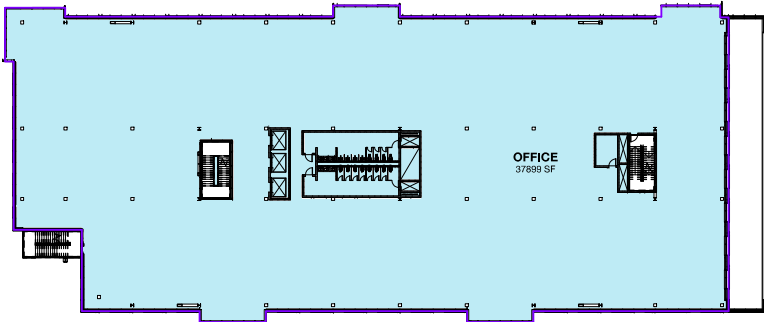
4 LEVEL 4
1" = 30'-0"



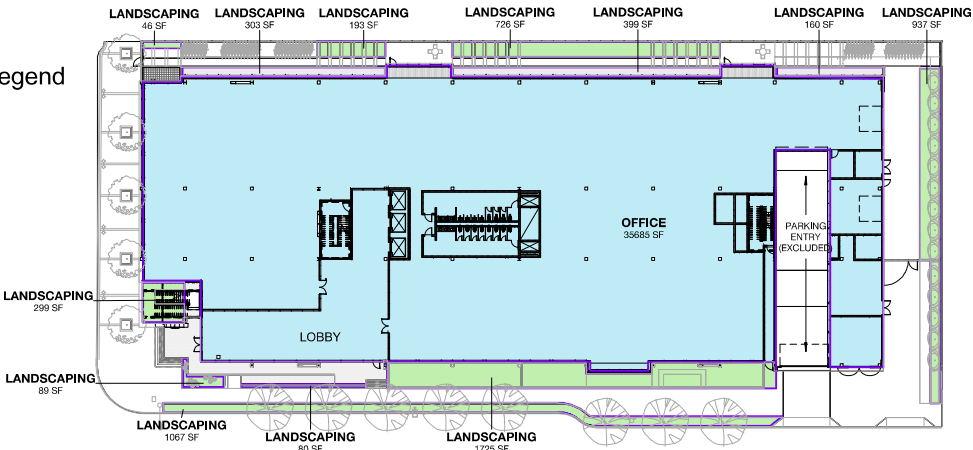
2 LEVEL 2
1" = 30'-0"

Building Area Legend

- LANDSCAPING
- OFFICE



3 LEVEL 3
1" = 30'-0"



1 LEVEL 1
1" = 30'-0"

Area Summary

Name	Area
F.A.R.	
OFFICE	113193 SF
OFFICE AMENITY	11998 SF
	125190 SF

AERIAL VIEW
LOOKING NORTHEAST FROM MATHILDA AND OLIVE



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VIEW FROM CIVIC CENTER REDWOOD WALK



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ENTRY AT MATHILDA AND OLIVE INTERSECTION



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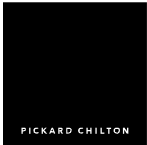
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4	10/29/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

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OF SHEETS

VIEW ACROSS OLIVE AVE



LOOKING WEST DOWN OLIVE AVE



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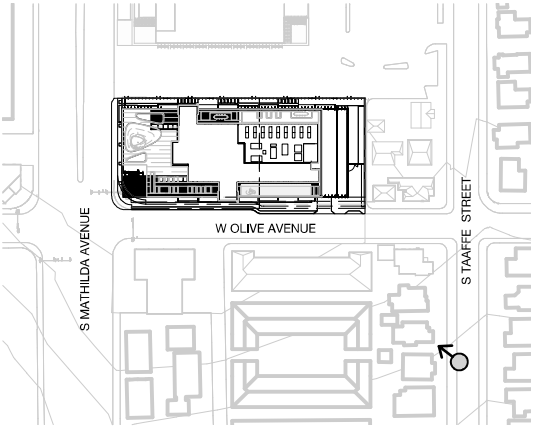
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OF SHEETS

VIEW FROM S TAFTE SHOWING LIMITED VISIBILITY FROM NEIGHBORING RESIDENTIAL STREETS



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WHY TIMBER?



OCCUPANT EXPERIENCE:

- Biophilic Design = Positive Effect on Autonomic Nervous System
- Enhanced Air Quality and Hypoallergenic
- Improved Thermal Comfort through Humidity Control
- Opportunity to Expose Structural Elements = Honest Design

A RENEWABLE RESOURCE:

...Reforestation and tree growth continues to exceed harvest volumes in the US with the current volume of standing tree growth almost 40% higher than annual tree harvesting.

FOR 490 S MATHILDA

20K Cubic feet of wood used

1.5K Metric tons of carbon dioxide offset

250 Equivalent cars taken off the road for a year

GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

MASS TIMBER BENEFITS

JOB NO. 2012	SHEET NO. G0.10 OF SHEETS
DATE: 05/23/22	
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	

THE

Minkoff

GROUP

J

JOINERY

Downtown Sunnyvale

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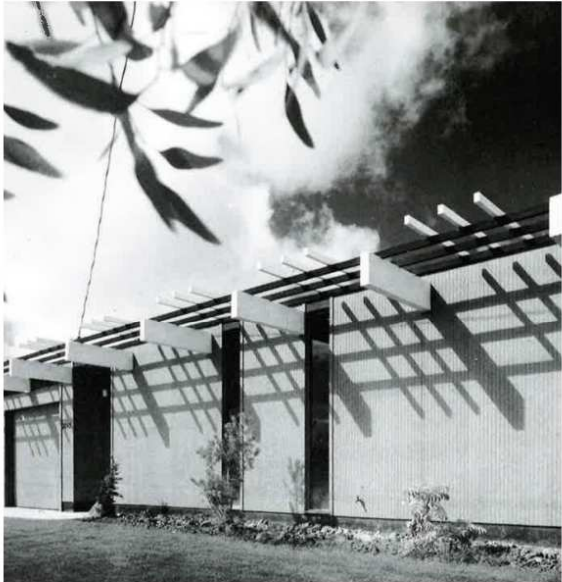
Milpitas, California 95035

(408)942-8200 Lic. #399163

PICKARD CHILTON

980 Chapel Street
New Haven, Connecticut 06510
tel. 203.786.8600 fax. 203.786.8610
www.pickarchilton.com

INSPIRED BY HISTORIC LOCAL CONTEXT



EXPRESS MASS TIMBER'S NATURAL BEAUTY



FILTER SUNLIGHT + CONNECT TO OUTDOORS + BLUR INTERIOR/EXTERIOR



GENERAL NOTES:
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7	5/23/22	Planning Resubmittal	

BUILDING PRECEDENTS

JOB NO. 2012	SHEET NO. G0.11 OF SHEETS
DATE: 05/23/22	
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	

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AMENITY FLOOR PRECEDENTS

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

CHECKED: Checker

ISSUE: Schematic Design

SHEET NO.

G0.12

OF SHEETS



Filtered Sunlight



Connect to Outdoors



Extend Program to the Exterior



Integrated Landscape+Architecture



Varied Landscapes



Lush Plantings



Dynamic Forms

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MATERIAL PRECEDENTS

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

CHECKED: Checker

ISSUE: Schematic Design

SHEET NO.

G0.13

OF SHEETS



Wood Framed Bays



Fritted Glass



Cementitious Panel



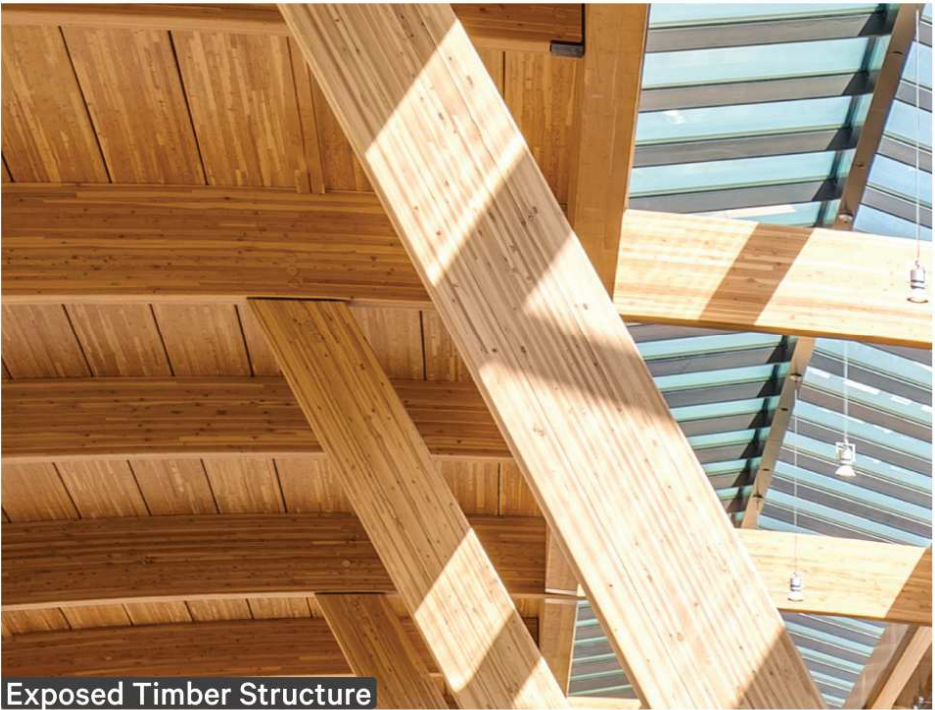
Green Facades



Expressed Details



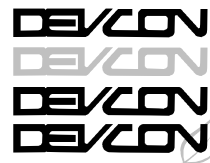
Color/Texture



Exposed Timber Structure



Textured Facade



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MATERIAL BOARD

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.

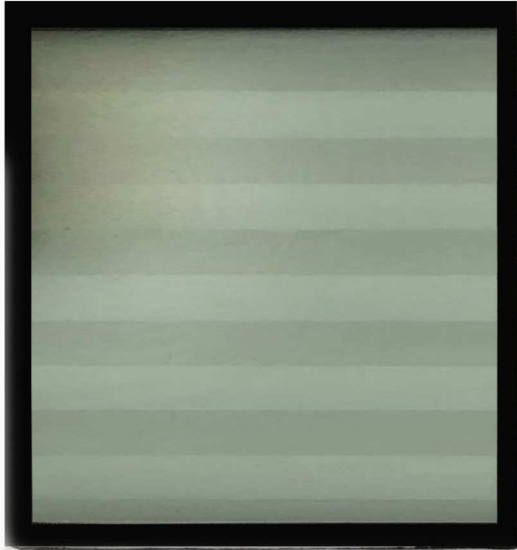
G0.14

OF SHEETS

Wood Cladding



Translucent Fritted Glass



Painted Aluminum
and Steel



Clear Glass



Cementitious Panel



Exposed Mass Timber Structure

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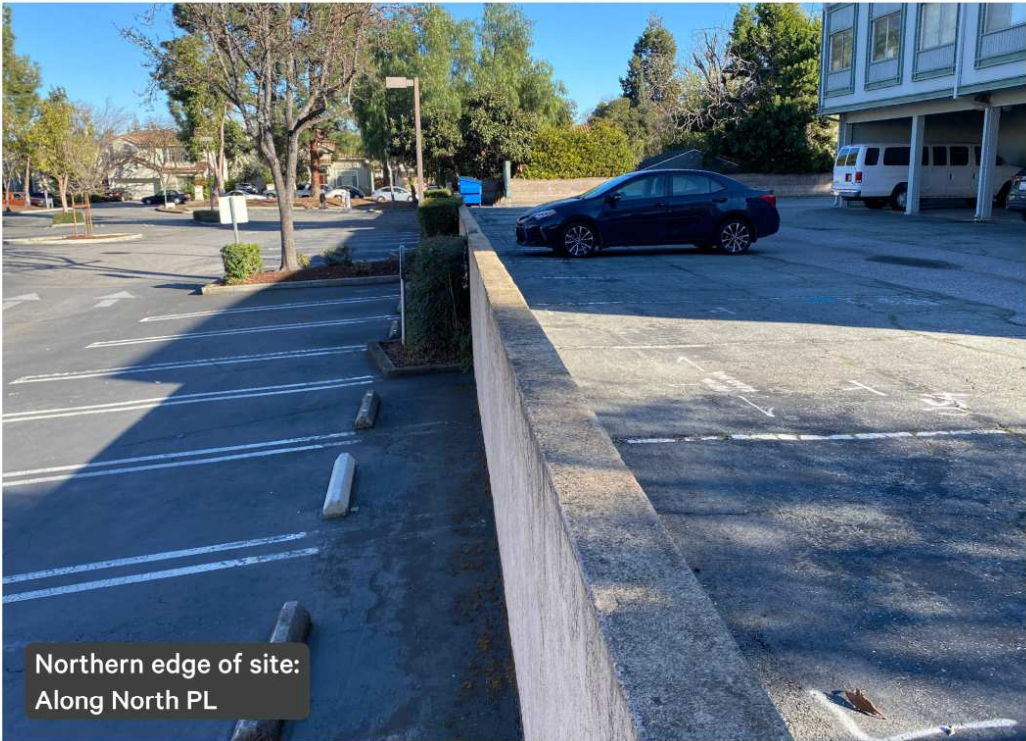
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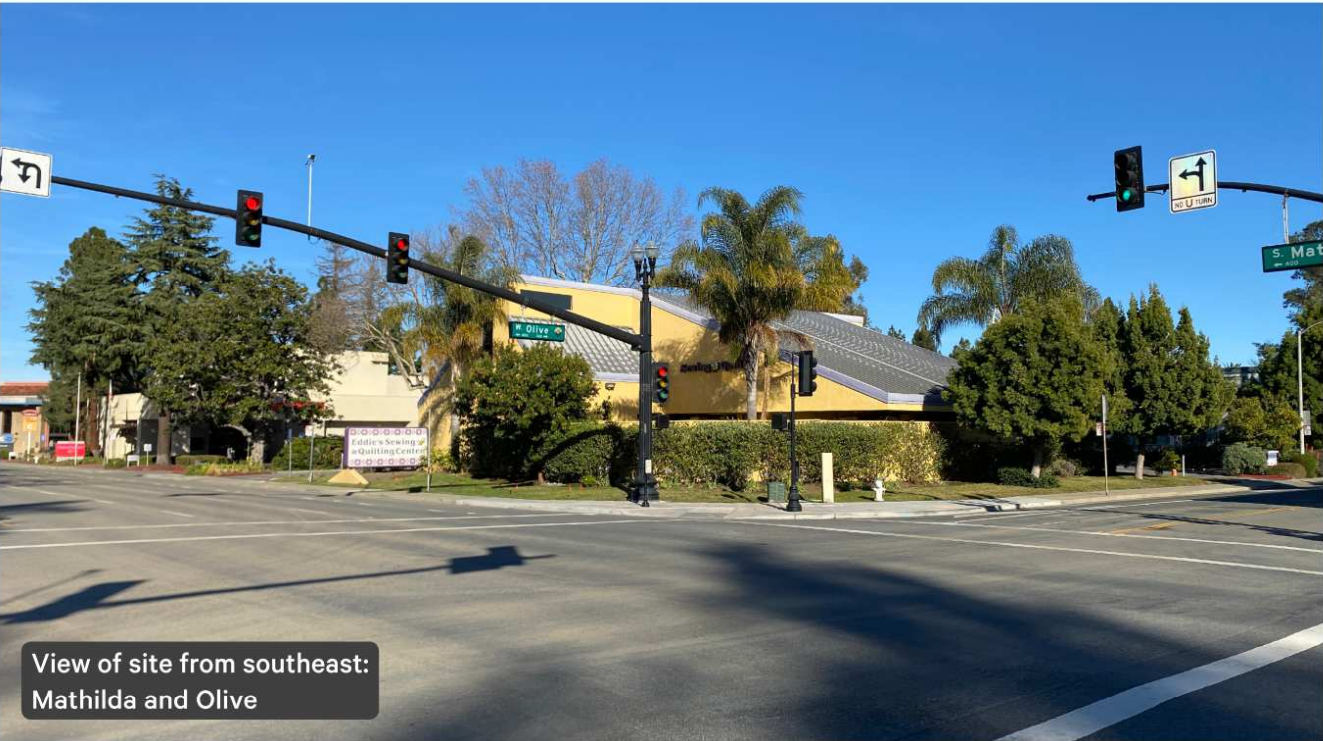
Eastern edge of site:
Along East PL



Corner of Mathilda & Olive:
Looking South Down Mathilda



Northern edge of site:
Along North PL



View of site from southeast:
Mathilda and Olive

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EXISTING PHOTOS

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.
G0.15
OF SHEETS



CALGREEN COMMERCIAL MANDATORY CHECKLIST

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2020

Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 5). This checklist is required for all new buildings, additions of 1,000 square feet or more, and alterations with a permit valuation of \$200,000 and more. Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
5.1 Planning and Design	5.106.1 Storm water pollution prevention. Newly constructed projects which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through local ordinance in Section 5.106.1.1 or Best management practices (BMP) in Section 5.106.1.2.	Sheet: C7.0	Initials and Date:
5.1 Planning and Design	5.106.4 Bicycle parking. Comply with Sections 5.106.4.1 and 5.106.4.2, or meet local ordinance, whichever is stricter. 5.106.4.1 Short-term bicycle parking. If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by for 5% of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces. 5.106.4.2 Long-term bicycle parking. For new buildings with 10 or more tenant occupants or for additions or alterations that add 10 or more tenant vehicular parking space, provide secure bicycle parking for 5% of the tenant vehicular parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers.	Sheet: A2.01 & L0.01	Initials and Date:

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.
Sunnyvale.ca.gov Search "Planning and Building"

Rev. 2/2020
Page 1 of 8

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Page 3 of 8

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5.4 Material Conservation and Resource Efficiency	5.410.1 Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials including organic waste for recycling. 5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area. 5.410.4 Testing and adjusting. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet. Applies to new systems serving additions or alterations. 5.410.3.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.4.2. 5.410.3.3 Procedures. Perform testing and adjusting procedures in accordance with applicable standards on each system as determined by enforcing agency. 5.410.3.3.1 HVAC balancing. Before a new space conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.3.3.1. 5.410.3.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.3.5 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of guarantees/warranties for each system prior to final inspection. Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	Sheet: A2.01 WASTE MANAGEMENT AREA PROVIDED ON LEVEL 1	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.410.4 Testing and adjusting. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet. Applies to new systems serving additions or alterations. 5.410.3.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.4.2. 5.410.3.3 Procedures. Perform testing and adjusting procedures in accordance with applicable standards on each system as determined by enforcing agency. 5.410.3.3.1 HVAC balancing. Before a new space conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.3.3.1. 5.410.3.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.3.5 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of guarantees/warranties for each system prior to final inspection. Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.509.1 Fireplaces. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves. Woodstoves shall comply with US EPA New Source Performance Standards (NSPS) emissions limits, where applicable, and shall have a permanent label indicating they are certified to meet the emission limit.	Sheet: N/A	Initials and Date:

Page 5 of 8

5.4 Material Conservation and Resource Efficiency	5.504.1.3 Temporary ventilation. If the HVAC system is used during construction, use return air filters with a MERV of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. Applies to additions or alterations.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet-metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.4 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with voc limits. Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 [also known as Specification 01350.] 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.	PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:

Page 6 of 8

5.3 Water Efficiency and Conservation	5.303.3 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 5.303.3.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 5.303.3.2 Urinals. 5.303.3.2.1 Wall-mounted urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted urinals. The effective flush volume of floor-mounted urinals shall not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads. 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 5.303.4 Commercial kitchen equipment. 5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes or inactivity. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation. 5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alterations to the building. 5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1401.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet: PLUMBING FIXTURES SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.3 Water Efficiency and Conservation	5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 5.303.4 Commercial kitchen equipment. 5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes or inactivity. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation. 5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alterations to the building. 5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1401.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet: N/A	Initials and Date:
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Page 7 of 8

Page 8 of 8

5.3 Water Efficiency and Conservation	5.504.1 Outdoor Water Use Scope. The provisions of Section 5.504 Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained with Chapter 2.7, Division 2, Title 23, California Code of Regulations.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.3 Water Efficiency and Conservation	5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent. 5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that complies with Items 1 through 4 of this section. 5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction waste material diverted from the landfill complies with this section. Exceptions to Sections 5.408.1.1 and 5.408.1.2: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets. 5.408.1.4 Documentation. Provide documentation of the waste management plan that meets the requirements listed in Sections 5.408.1.1 through 5.408.1.3, and the plan is accessible to the enforcement authority. 5.408.2 Universal Waste. Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are removed from landfill. A list of prohibited Universal Waste materials shall be included in the construction documents. 5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. Exceptions: Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high- global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants.	Sheet: N/A	Initials and Date:

Page 9 of 8

Attachment 6
Page 17 of 78

THE Minkoff GROUP

JOINERY
Downtown Sunnyvale

DEVCON CONSTRUCTION INCORPORATED

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Milpitas, California 95035
(408)942-8200 Lic. #399163

PICKARD CHILTON

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www.pickardchilton.com

GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

THIS DRAWING EMBODIES IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO DEVCON CONSTRUCTION INC., AND WHICH WERE DESIGNED, CREATED, EVOLVED AND DEVELOPED FOR USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY HEREOF, AND EXCEPT UPON THE WRITTEN PERMISSION OF DEVCON CONSTRUCTION INC., THE DRAWING IS NOT TO BE DISCLOSED TO OTHERS, REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, FOUNDATIONS, OR ANY PORTIONS THEREOF, FOR OTHER THAN THE SPECIFIED PROJECT. © DEVCON CONSTRUCTION, INC.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

GREEN BUILDING CHECKLIST

JOB NO. 21-018	SHEET NO. G1.20 OF SHEETS
DATE: 05/23/22	
DRAWN: CSP	
CHECKED: AG	
ISSUE: PLN RESUBMITTAL	

THE
Minkoff
GROUP

JOINERY

Downtown Sunnyvale

DEVCON

DEVCON

DEVCON

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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

LEED SCORECARD

JOB NO. 21-018

DATE: 05/23/22

DRAWN: TT

CHECKED: AG

ISSUE: PLN RESUBMITTAL

SHEET NO.

G1.30

OF SHEETS

490 S Mathilda				THORNTON TOMASETTI	
Sunnyvale, CA 94085				Prepared By: Thornton Tomasetti, Inc.	
LEED v4 BD+C Core & Shell – LEED Gold				4/8/2021	
CREDIT		PTS	MAX	PARTIES RESPONSIBLE FOR DOCUMENTATION	NOTES
PROJECT INFORMATION		PTS	MAX		
PR1 Minimum Program Requirements		4	4	Architect/Client/TT	Total Building Area: 122116 sqf FTE: 400 Stories: 8
PR2 Regional Priority		1	1	TT / Architect / Client / MEP	MEP
LOCATION AND TRANSPORTATION		PTS	MAX		
LT1 LEED for Neighborhood Development Location		0.5	0.5		
LT2 Limited Vehicle Access		2	2	TT	
LT3 High Quality Site		2	2	Owner / TT	
LT4 Surrounding Density and Diverse Uses (LEED v4.1)		4	4	TT	
LT5 Access to Quality Transit (LEED v4.1)		2	2	TT	
LT6 Bicycle Facilities		1	1	TT / Architect / Client	
LT7 Reduced Parking Footprint (LEED v4.1)		1	1	TT / Architect / Client	
LT8 Green Vehicles (LEED v4.1)		1	1	TT / Architect / Client	
WASTE & WASTE		PTS	MAX		
WS1 Construction Activity Pollution Prevention		1	1	Waste Manager	
WS1.1 Site Assessment		1	1	Architect / Client / Landscape / Waste Manager / TT	
WS2 Site Development - Protected Resource Habitat		2	2	Landscape	
WS2.1 Erosion Control		1	1	Landscape	
WS2.2 Erosion Control		1	1	Waste Manager	
WS3 Solid Waste Reduction		2	2	TT / Landscape	
WS3.1 Solid Waste Reduction		1	1	MEP	
WS7 Target Design and Construction Guidelines		1	1	Owner / TT	
WATER & WATER		PTS	MAX		
WE1 Outdoor Water Use Reduction		1	1	Landscape	
WE2 Indoor Water Use Reduction		2	2	TT / MEP	
WE2.1 Indoor Water Use Reduction		1	1	TT / Owner	
WE3 Outdoor Water Use Reduction		1	1	Landscape	
WE3.1 Outdoor Water Use Reduction		1	1	TT / MEP	
WE3.2 Cooling Tower Water Use		1	1	MEP	
WE4 Water Efficiency		1	1	Landscape / MEP	
ENERGY & AIR QUALITY		PTS	MAX		
EA10 Fundamental Commissioning and Verification		1	1	EA Agent	
EA10.1 Minimum Energy Performance		1	1	MEP	
EA10.2 Building-level Energy Modeling		1	1	MEP	
EA10.3 Fundamental Performance Management		1	1	MEP	
EA1.1 Fundamental Commissioning		1	1	EA Agent	
EA2.1 Minimum Energy Performance		2	2	MEP	
EA2.2 Advanced Energy Modeling		1	1	MEP	
EA3.1 Fundamental Performance		2	2	Owner / MEP	
EA3.2 Renewable Energy Production		2	2	Owner / MEP	
EA3.3 Fundamental Performance Management		1	1	MEP	
EA3.4 Fundamental Performance		2	2	Owner / TT	
INDOOR AIR QUALITY		PTS	MAX		
MR1 Storage and Collection of Materials		1	1	Architect / Client / TT	
MR1.1 Construction and Construction Waste Management Planning		1	1	Client	
MR1.2 Building Life-Cycle Impact Reduction		2	2	TT	
MR2 Building Product Disclosure and Collaboration - (EPD v.1.0) (v4.1)		1	1	Architect / Client / Contractor	
MR2.1 Building Product Disclosure and Collaboration - Sourcing of Raw Materials (v4.1)		1	1	Architect / Client / Contractor	
MR3 Building Product Disclosure and Collaboration - Material Ingredients (v4.1)		1	1	Architect / Client / Contractor	
MR3.1 Construction and Construction Waste Management (LEED v4.1)		2	2	Contractor	
ENVIRONMENTAL QUALITY		PTS	MAX		
EQ1.1 Minimum IAQ Performance		1	1	MEP	
EQ2.1 Environmental Tobacco Smoke Control		1	1	TT / Architect / Client	
EQ3.1 Enhanced IAQ Strategies		2	2	TT / Architect / Client	
EQ3.2 Low-Emitting Materials (LEED v4.1)		1	1	Architect / Client / Contractor	
EQ3.3 Construction and Management Plan		1	1	Contractor	
EQ4.1 Complaint		1	1	Contractor	
EQ5.1 Quality Views		1	1	Architect / Client	
ENVIRONMENTAL QUALITY		PTS	MAX		
EQ1.1 Innovation, Credit: Comfort Survey OR LEED EQ10M Owner-led		1	1	Owner / TT	
EQ1.2 Innovation, Credit: Healthy Materials (Healthy and Change)		1	1	Architect / Client / TT	
EQ1.3 Innovation, Credit: Collaboration		1	1	Owner / TT	
EQ1.4 Exemplary Performance - Credit: Quality Views		1	1	Architect / Client / TT	
EQ1.5 Innovation, Credit: Collaboration		1	1	TT	
EQ2.1 LEED Accredited Professional		1	1	TT	
ENVIRONMENTAL QUALITY		PTS	MAX		
EQ1.1 Innovation, Credit: Comfort Survey OR LEED EQ10M Owner-led		1	1	Owner / TT	
EQ1.2 Innovation, Credit: Healthy Materials (Healthy and Change)		1	1	Architect / Client / TT	
EQ1.3 Innovation, Credit: Collaboration		1	1	Owner / TT	
EQ1.4 Exemplary Performance - Credit: Quality Views		1	1	Architect / Client / TT	
EQ1.5 Innovation, Credit: Collaboration		1	1	TT	
EQ2.1 LEED Accredited Professional		1	1	TT	
TOTAL POINTS		41	57	12	

NOTE: THIS PROJECT IS DESIGNED TO MEET MINIMUM OF LEED GOLD PLUS OR 75 POINTS AND ALL ELECTRIC.

Thornton Tomasetti



CONSTRUCTION
INCORPORATED

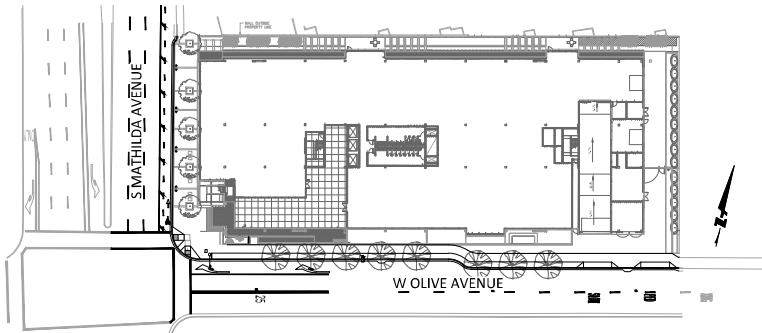
690 Gibraltar Drive
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150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com

490 SOUTH MATHILDA

CITY OF SUNNYVALE, SANTA CLARA COUNTY, CALIFORNIA



SITE PLAN
SCALE: 1"=50'



LOCATION MAP
NTS

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
EASEMENT	---	---
CONTOUR LINE	---	---
FENCE	---	---
STORM DRAIN	---	---
SANITARY SEWER	---	---
WATER	---	---
FIRE WATER	---	---
GAS LINE	---	---
OVERHEAD LINES	---	---
SANITARY SEWER CLEAN OUT	---	---
SANITARY SEWER MANHOLE	---	---
STORM DRAIN CURB INLET/ CB	---	---
STORM DRAIN MANHOLE	---	---
STORMFILTER	---	---
POINT OF CONNECTION	---	---
BACKFLOW PREVENTER	---	---
WATER METER	---	---
FIRE DEPARTMENT CONNECTION	---	---
FIRE HYDRANT	---	---
WATER VALVE	---	---
MONUMENT	---	---
STREET LIGHT	---	---
TRAFFIC SIGNAL	---	---
INLET PROTECTION	---	---
STREET SIGN	---	---
JOINT POLE	---	---
BOLLARD	---	---

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DETAIL SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01

REFERENCED SUNNYVALE STANDARD DETAILS

1A	TYPE 1 - CONCENTRIC MANHOLE 8" TO 33" PIPE
1B	WATER VALVE BOX INSTALLATION
2E-1	TYPICAL HYDRANT MARKER LOCATION
6C-4	COMMERCIAL AND INDUSTRIAL DRIVEWAY APPROACH IN ATTACHED 10' OR 12' SIDEWALK WITH 4'X5' TREETWELL
9C-1	DETACHED 6-FOOT SIDEWALK WITH 4-FOOT PARK-STRIP
9C-3	DETACHED 8-FOOT SIDEWALK WITH 4-FOOT PARK-STRIP
9C-6	DOWEL CONNECTIONS TO EXISTING SIDEWALK
10A	24" CURB DROP INLET
13C-1	PERPENDICULAR CURB RAMP EXTRA WIDE SIDEWALK
14A	STANDARD CONNECTION TO MANHOLE WALLS, AND REINFORCED CONCRETE PIPE
18B	BACKFLOW PREVENTION DEVICE SIZE UP TO 2"
20B	VERTICAL ORIENTATION DOMESTIC RP ASSEMBLY BACKFLOW PREVENTION DEVICE SIZE 3" AND LARGER
21B	FIRE SERVICE - REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA)

ABBREVIATIONS

AB	AGGREGATE BASE	LOW	DELTA
AC	ASPHALT CONCRETE	LT	LIGHT
ACP	ASBESTOS CEMENT PIPE	LS, LSCP	LANDSCAPE
AD	AREA DRAIN	MAX	MAXIMUM
APN	ASSESSOR'S PARCEL NUMBER	MH	MANHOLE
B/W, BW	BACK OF WALK	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON	MONUMENT
BFP	BACKFLOW PREVENTER	N	NORTH
BHL	BUILDING HEIGHT LOCATION	NTS	NOT TO SCALE
BLD, BLDG	BUILDING	NO.	NUMBER
BOL	BOLLARD	OC	ON CENTER
BSL	BUILDING SETBACK LINE	OD	OUTSIDE DIAMETER
BTM	BOTTOM	OH	OVERHEAD
CB	CATCH BASIN	OR, O.R.	OFFICIAL RECORD
CCO	CONCRETE CYLINDER PIPE	PCC	PORTLAND CEMENT CONCRETE
CL, C	CENTER LINE	PCC	POINT OF COMPOUND CURVATURE
CLR	CLEARANCE	PERF	PERFORATED
CO	CLEANOUT	PG&E	PACIFIC GAS & ELECTRIC
CONC	CONCRETE	PKG	PARKING
CS	COMBINED SEWER	PL	PROPERTY LINE
CSMH	COMBINED SEWER MANHOLE	PCC	POINT OF CONNECTION
CATV, CTV	CABLE TELEVISION	PR	PROPOSED
CDCA	DOUBLE CHECK DETECTOR ASSEMBLY	PRC	POINT OF REVERSE CURVATURE
DI	DROP INLET	PLTR	PLANTER
DIA	DIAMETER	PUE	PUBLIC UTILITY EASEMENT
DMA	DRAINAGE MANAGEMENT AREA	PVC	POLYVINYL CHLORIDE
BOW	BOTTOM OF WALL	R	RADIUS, RIGHT OF ALIGNMENT LINE
DW	DOMESTIC WATER	RCP	REINFORCED CONCRETE PIPE
DWG	DRAWING	RIM	RIM ELEVATION
DWY	DRIVEWAY	ROW	RIGHT OF WAY
E	EAST	S	SLOPE, SOUTH
E, ELEC	ELECTRIC	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EASE, ESMT	EASEMENT	SD	STORM DRAIN
EB	ELECTRIC BOX	SDAD	STORM DRAIN AREA DRAIN
EC	END OF CURVE	SDCB	STORM DRAIN CATCH BASIN
EG	EXISTING GROUND	SDCO	STORM DRAIN CLEANOUT
EL	ELEVATION	SDDI	STORM DRAIN DROP INLET
EM	ELECTRIC METER	SDMH	STORM DRAIN MANHOLE
EP	EDGE OF PAVEMENT	S.E.P.	SEE ELECTRICAL PLANS
EXIST	EXISTING	SF, SQ. FT.	SQUARE FEET
FC	FACE OF CURB	S.F.P.P.	SEE FIRE PROTECTION PLANS
FDC	FIRE DEPARTMENT CONNECTION	S.J.T.P.	SEE JOINT TRENCH PLANS
FG	FINISHED FLOOR	SL	STREET LIGHT
FG	FINISHED GRADE	SLB	STREET LIGHT BOX
FH	FIRE HYDRANT	S.L.P.	SEE LANDSCAPE PLANS
FL	FLOWLINE	S.P.P.	SEE PLUMBING PLANS
FNC	FENCE	SS	SANITARY SEWER
FO	FIBER OPTIC CABLE	SSCO	SANITARY SEWER CLEANOUT
FT	FEET	SSD	SUNNYVALE STANDARD DETAIL
FW	FIRE WATER	SSMH	SANITARY SEWER MANHOLE
G	GAS	ST	STREET
GB	GRADE BREAK	STA	STATION
GAS METER	GAS METER	STD	STANDARD
GND	GROUND	S/W	SIDEWALK
GP	GATE POST	T, TEL, TELE	TELEPHONE
GPM	GALLONS PER MINUT	TBD	TO BE DETERMINED
GR	GRATE, GRATE ELEVATION	TE	TOP OF CURB
GV	GATE VALVE	TOW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE	TP	TOP OF PAVEMENT
H.P. POINT	HIGH POINT	TYP	TYPICAL
H, HORIZ	HORIZONTAL	V, VERT	VERTICAL
ID	INNER DIAMETER	VG	VALLEY GUTTER
INV	INVERT	UB	UTILITY BOX
IRR	IRRIGATION	USA	UNDERGROUND SERVICE ALERT
JP	JOINT POLE	W	WATER, WEST
JT	JOINT TRENCH	WM	WATER METER
L	LENGTH	WV	WATER VALVE
L/C, LS	LANDSCAPE	W/	WITH
LF	LINEAR FEET		
LP	UP OF GUTTER		
LID	LOW IMPACT DEVELOPMENT		
LL	LEVEL, LANDING		

CIVIL SHEET INDEX	
SHEET NO.	SHEET TITLE
C1.0	TITLE SHEET
C1.1	NOTES
C2.0	EXISTING CONDITIONS
C2.1	HARDSCAPE DEMOLITION PLAN
C2.2	UTILITY DEMOLITION PLAN
C3.0	PRELIMINARY SITE PLAN
C3.1	MATHILDA AVE OFFSITE STRIPING PLAN
C3.2	PRELIMINARY FIRE ACCESS PLAN
C4.0	SECTIONS
C4.1	SECTIONS
C4.2	SECTIONS
C5.0	PRELIMINARY GRADING PLAN
C5.1	DETAILED GRADING PLAN
C6.0	PRELIMINARY UTILITY PLAN
C7.0	PRELIMINARY STORMWATER CONTROL PLAN
C8.0	SUNNYVALE STANDARD DETAILS
C8.1	SUNNYVALE STANDARD DETAILS

PROJECT BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SUNNYVALE BENCHMARK NO. 2, NAVD88.

BASIS OF BEARINGS
THE BEARING N75°08'00"W, BEING THE CENTERLINE OF W OLIVE AVE, AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD IN BOOK 360 OF MAPS, PAGE 23, RECORDS OF THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STAT OF CALIFORNIA, WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

Janine Lapp
JANINE LAPP, P.E.
PROJECT MANAGER
BKF ENGINEERS

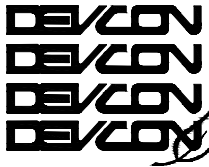
5/23/2022
DATE

REVISIONS

NO.	DATE	DESCRIPTION	BY

TITLE SHEET

JOB NO. 20201305	SHEET NO. C1.0 1 OF 17 SHEETS
DATE: 5/23/2022	
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	

THE
Minkoff
GROUPJOINERY
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www.bkf.comGENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

THIS DRAWING EMBODIES IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO DEVCON CONSTRUCTION INC., AND WHICH WERE DESIGNED, CREATED, EVOLVED AND DEVELOPED FOR USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THERETO IS INTENDED OR EFFECTED BY DELIVERY HEREOF, AND EXCEPT UNDER THE WRITTEN PERMISSION OF DEVCON CONSTRUCTION INC., THE DRAWING IS NOT TO BE DISCLOSED TO OTHERS, REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, FOUNDATIONS OR EQUIPMENT THEREOF, FOR OTHER THAN THE SPECIFIED PROJECT. © DEVCON CONSTRUCTION, INC.



REVISIONS

NO.	DATE	DESCRIPTION	BY

NOTES

JOB NO. 20201305

SHEET NO.

DATE: 5/23/2022

DRAWN: SMS

CHECKED: JCL

ISSUE: PLN RESUBMITTAL

2 OF 17 SHEETS

C1.1

CITY OF SUNNYVALE PUBLIC WORKS DEPARTMENT/ENGINEERING
DIVISION CONSTRUCTION GENERAL NOTES

1. **ENCROACHMENT PERMITS:** OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT FOR ALL OFF-SITE IMPROVEMENTS SHOWN ON THIS PLAN. SEE WEB-SITE LINK HEREIN FOR PERMIT APPLICATION DETAILS. [HTTP://SUNNYVALE.CA.GOV/CIVICX/FILEBANK/BL0B0LOAD.ASPX?BL0BID=23568](http://SUNNYVALE.CA.GOV/CIVICX/FILEBANK/BL0B0LOAD.ASPX?BL0BID=23568)
2. **STANDARD DETAILS AND CONSTRUCTION GUIDELINES:** ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CALTRANS STANDARD DETAILS AND SPECIFICATIONS, CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CA MUTCD) AND THE LATEST STANDARD SPECIFICATIONS AND SPECIFICATIONS, DESIGN STANDARDS AND, DESIGN AND CONSTRUCTION GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY. SEE WEB-SITE LINK HEREIN. [HTTP://SUNNYVALE.CA.GOV/BUSINESS/PLANNING/PERMIT/STANDARDS.HTM](http://SUNNYVALE.CA.GOV/BUSINESS/PLANNING/PERMIT/STANDARDS.HTM)
3. **NOTIFICATIONS:** NOTIFY CITY PUBLIC WORKS INSPECTOR AT (408) 730-7415 BEFORE 4 PM, MINIMUM OF 24 HOURS IN ADVANCE, STARTING WORK AND FOR EACH INSPECTION REQUEST, INCLUDING THE FINAL INSPECTION. STREET LIGHT & TRAFFIC SIGNAL INSPECTION SHALL REQUIRE A MINIMUM OF 72 HOURS.
4. **UTILITY LOCATION VERIFICATION:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE AGENCIES.
5. **UNDERGROUND SERVICE ALERT NOTIFICATION:** CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 OR 811 AT LEAST 48 HOURS PRIOR TO STARTING WORK. CONTRACTOR SHALL RETAIN DOCUMENTATION TO VERIFY USA CONTACT.
6. **TRAFFIC CONTROL:** TRAFFIC CONTROL SHALL BE PER CITY-APPROVED TRAFFIC CONTROL PLAN. SHORT TERM AND/OR LONG TERM TRAFFIC CONTROL PLANS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY THE DIVISION OF TRANSPORTATION AND TRAFFIC PRIOR TO THE START OF ANY WORK IMPACTING THE PUBLIC RIGHT-OF-WAY. TRAFFIC CONTROL PLANS SHALL BE SUBMITTED AT THE SAME TIME AS THE ENCROACHMENT PERMIT APPLICATION. TRAFFIC CONTROL PLANS MUST BE PREPARED AND STAMPED BY PERSON TRAINED/CERTIFIED TO PREPARE TRAFFIC CONTROL PLANS AND TO COMPLY WITH CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CALIFORNIA MUTCD), LATEST EDITION, A COMPLETED TRAFFIC CONTROL CHECK LIST SHALL ALSO BE SUBMITTED WITH THE ENCROACHMENT PERMIT APPLICATION.
7. **ELEVATION DATUM:** ALL ELEVATIONS SHOWN ARE BASED UPON CITY OF SUNNYVALE DATUM, UNLESS OTHERWISE NOTED ON THE PLANS.
8. **SURVEY MONUMENT PRESERVATION AND RESTORATION:** ALL STANDARD STREET MONUMENTS, LOT CORNER PIPES, AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED AND A RECORD OF SURVEY OR CORNER RECORD PER SECTION 8771 OF THE PROFESSIONAL LAND SURVEYORS ACT FILED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY. COPIES OF ANY RECORD OF SURVEY OR CORNER RECORDS SHALL BE SUBMITTED TO THE CITY.
9. **ERRORS AND OMISSIONS:** APPROVAL OF PLANS DOES NOT RELIEVE THE CONTRACTOR/OWNER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS OR OMISSIONS.
10. **RECORD DRAWINGS:** CONTRACTOR SHALL KEEP UP-TO-DATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXCAVATION SIZES, MATERIALS, AND EQUIPMENT. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS (AS-BUILTS) SHALL BE SUBMITTED TO THE CITY PUBLIC WORKS INSPECTOR PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY.
11. **UTILITY INSTALLATION COORDINATION:** CONTRACTOR SHALL COORDINATE UTILITY INFORMATION SHOWN ON THE PLANS WITH UTILITY OWNERS, INCLUDING BUT NOT LIMITED TO PG&E, WATER, CABLE, TELEPHONE AND/OR JOINT TRENCH FACILITIES. FOR LAYOUT AND DETAILS OF INSTALLATION, RELOCATION, ADJUSTMENT AND ABANDONMENT.
12. **WATER SERVICE INSTALLATION:** CONSTRUCTION OF WATER SERVICES SHALL BE PER SECTION 306 AND PER CITY OF SUNNYVALE STANDARD DETAILS. ALL NET (LIVE) TAPS 12" AND SMALLER SHALL BE PERFORMED BY THE CITY AND REQUIRE A MINIMUM 48 HOURS WRITTEN ADVANCE NOTIFICATION TO THE CITY PUBLIC WORKS INSPECTOR. ALL EXISTING VALVE OPERATIONS SHALL BE OPERATED ONLY BY THE CITY.
13. **WATER METERS AND METER BOXES:** WATER METERS AND METER BOXES SHALL BE FURNISHED AND INSTALLED BY THE CITY UPON ACCEPTANCE OF A WATER SERVICE LATERAL LINE AND THE PROPERTY OWNER HAS ASSUMED RESPONSIBILITY FOR THE CONNECTION ON THE DISCHARGE SIDE OF THE METER. METERS FURNISHED BY THE CITY ARE AS FOLLOWS: 2" WATER METERS ARE DISC ONLY (2" COMPOUND METERS ARE PROHIBITED). METERS 3" AND LARGER ARE COMPOUND METERS ONLY.
14. **BACKFLOW PREVENTION DEVICES:** BACKFLOW PREVENTION DEVICES SHALL BE REQUIRED ON ALL NON-SINGLE FAMILY RESIDENCES FOR IRRIGATION, DOMESTIC, AND FIRE LINES, PER CITY STANDARD DETAIL DRAWINGS AND AS SHOWN ON CITY APPROVED PLANS. NO METER SHALL BE TURNED ON UNTIL THERE IS FULL COMPLIANCE WITH THE CROSS-CONNECTION CONTROL PROGRAM.
15. **WATER SERVICE SADDLES, VALVES, AND PIPE:** THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE SERVICE SADDLE OR TAPPING SLEEVE AND TAPPING GATE VALVE. A LIST OF WATER VALVES AND APPURTENANCES CAN BE FOUND IN THE CITY STANDARD SPECIFICATIONS, SECTION 208-7. WATER MAIN DUCTILE IRON PIPE APPURTENANCES CAN BE FOUND IN SECTION 207-9.2.1.2 OF THE CITY SPECIFICATIONS.
16. **WATER VALVE LOCATION MARKING:** THE LOCATION OF ALL VALVES IN THE STREET SHALL BE MARKED WITH AN INCISED ARROW ON THE TOP OF THE NEAREST CURB POINTING TO THE GATE VALVE AND THE DISTANCE IN FEET TO THE VALVE MARKED WITH INCISED ROMAN NUMERALS ON THE FACE OF THE CURB. ALL IN 2" HIGH CHARACTERS.
17. **WATER SYSTEM DISINFECTION:** NEW WATER PIPELINES, VALVES, FITTINGS, AND APPURTENANCES SHALL BE DISINFECTED, TESTED BY THE CONTRACTOR, AND SHALL PASS ALL BACTERIOLOGICAL AND OTHER WATER QUALITY REQUIREMENTS BEFORE BEING PUT INTO SERVICE. CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED TO DISINFECT AND TEST THE PIPELINES AND APPURTENANCES. WATER MAIN DISINFECTING AND FLUSHING SHALL BE PER SECTION 306-1.4.7 OF THE CITY STANDARD SPECIFICATIONS, AND SHALL BE WITNESSED BY THE CITY INSPECTOR.
18. **WATER PRESSURE:** WATER PRESSURE TEST SHALL BE PERFORMED PER SECTION 306 OF THE CITY STANDARD SPECIFICATIONS.
19. **WATER SERVICE SHUTDOWNS:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AFFECTED RESIDENTS AND BUSINESSES 5 CALENDAR DAYS AND 48 HOURS IN WRITING PRIOR TO THE START OF A WATER MAIN SHUTDOWN. A WATER MAIN SHUTDOWN WILL BE DONE BY CITY CREWS ONLY.
20. **WET UTILITY INSTALLATION:** WET UTILITIES (SANITARY, STORM, WATER) PIPE MATERIALS AND APPURTENANCES SHALL BE PER SECTION 207 OF THE CITY OF SUNNYVALE STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE LATEST CITY DESIGN STANDARDS. ALL WATER MAINS NORTH OF THE CALTRAIN RAILROAD TRACKS SHALL BE AWWA C-900 CLASS 200 PVC OR BE POLY WRAPPED AND TAPED DUCTILE IRON PIPE

IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORK UPSTREAM, CONTRACTOR SHALL PROCEED AT CONTRACTOR'S OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION. THE RE-USE OF ANY EXISTING CITY UTILITY SERVICE LINES AND APPURTENANCES IS SUBJECT TO THE CITY'S REVIEW AND APPROVAL. CONTRACTOR SHALL EXPOSE THE EXISTING FACILITIES DURING CONSTRUCTION FOR CITY'S EVALUATION OR PROVIDE VIDEO FOOTAGE OF THE EXISTING PIPE CONDITION. CONTRACTOR SHALL REPLACE ANY DEFICIENT FACILITIES AS DEMED NECESSARY BY CITY PUBLIC WORKS INSPECTOR.

21. **SEWER AND STORM DRAIN ELEVATION DATA:** CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
22. **UTILITY PROTECTION:** CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND SERVICE LATERALS FROM DAMAGE DUE TO CONTRACTOR'S OPERATIONS. ANY AND ALL UTILITY SERVICE LATERALS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR.
23. **UTILITY LOCATION POTHOLING:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO POTHOLE AND/OR UNCOVER AND EXPOSE EXISTING UTILITIES AT CROSSING LOCATIONS. BACKFILL, COMPACTION, AND PAVEMENT REPAIR OF POTHOLED LOCATIONS SHALL BE DONE TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR.

24. **UTILITY CROSSINGS:** THE EXISTING UTILITIES CROSSING THE NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSINGS (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN.
25. **UTILITY CROSSING SEPARATION:** CONTRACTOR SHALL MAINTAIN A MINIMUM 12 INCH VERTICAL AND 4 FEET HORIZONTAL CLEARANCE TO OTHER EXISTING UTILITIES. FIVE FEET HORIZONTAL CLEARANCE MUST BE MAINTAINED WHEN WORKING NEAR NATURAL GAS LINES. WHERE 12 INCH VERTICAL MINIMUM CLEARANCES CANNOT BE MAINTAINED, USE THE FOLLOWING:
 - a. INSTALL CONCRETE SADDLE EITHER ON THE UPPER OR LOWER PIPE IN ACCORDANCE WITH APPLICABLE STANDARD DETAILS AND AS APPROVED BY THE CITY; AND
 - b. PLACE NEW PIPELINE JOINTS AT A MINIMUM 5 FEET FROM THE CENTERLINE OF THE EXISTING PIPE. THE TWO JOINTS ON EITHER SIDE OF NEW PIPELINE ARE TO BE RESTRAINED. THIS METHOD APPLIES TO THE NEW PIPELINE CROSSING BELOW AN EXISTING WATER LINE OR ABOVE AN EXISTING SEWER; AND/OR
 - c. PLACE NEW PIPELINE JOINTS AT A MINIMUM 9 FEET FROM THE CENTERLINE OF THE EXISTING PIPE. THE TWO JOINTS ON EITHER SIDE OF NEW PIPELINE ARE TO BE RESTRAINED. THIS METHOD APPLIES TO THE NEW PIPELINE CROSSING ABOVE AN EXISTING WATER LINE OR BELOW AN EXISTING SEWER.
 - d. BLANKET PROTECTION FOR PIPES OR ENCASEMENT FOR PIPES MAY BE REQUIRED AS DIRECTED AND APPROVED BY THE CITY ENGINEER.

26. **UTILITY VAULTS AND PULLBOXES:** ALL EXISTING UTILITY VAULTS AND/OR PULL BOXES THAT ARE LOOSE AND/OR BROKEN SHALL BE RE-SECURED AND/OR REPLACED TO THE CITY PUBLIC WORKS INSPECTOR'S SATISFACTION. ALL EXISTING AND NEW UTILITY STRUCTURES SHALL BE ADJUSTED TO FINISH GRADE.
 27. **VEHICLE AND PEDESTRIAN ACCESS:** VEHICLE AND PEDESTRIAN ACCESS IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS MUST BE PROVIDED AT ALL TIMES TO ALL ABUTTING PROPERTIES, EXCEPT AS APPROVED BY THE CITY PUBLIC WORKS INSPECTOR. 48 HOURS WRITTEN NOTICE MUST BE GIVEN TO THE AFFECTED PROPERTY OWNER(S) WHEN ACCESS IS AFFECTED.
 28. **TEMPORARY TRENCH PAVING:** TRENCHES DEEMED BY THE INSPECTOR TO BE CORRECTLY BACKFILLED BUT NOT PERMANENTLY PAVED MAY BE TEMPORARILY PAVED WITH CUTBACK ASPHALT UNTIL THE NEXT WORKING DAY. TRENCHES DEEMED BY THE INSPECTOR TO BE CORRECTLY BACKFILLED BUT NOT PERMANENTLY PAVED MAY BE TEMPORARILY PAVED WITH HIGH-PERFORMANCE PATCHING MATERIAL UNTIL PERMANENT PAVING IS INSTALLED. DUE TO THE INSTABILITY OF CUTBACK ASPHALT, IT IS NOT ALLOWED AS INTERIM PAVING WHILE WAITING FOR PERMANENT PAVING UNLESS PERMANENT PAVING IS DONE THE FOLLOWING WORKDAY.
 29. **FINISH PAVING STANDARDS:** ALL PAVING - TEMPORARY OR PERMANENT - MUST BE INSTALLED IN A MANNER THAT PROVIDES AN ACCEPTABLE SAFE PASSAGEWAY FOR TRAFFIC AND PEDESTRIANS (INCLUDING ADA).
- ASPHALT CONCRETE SHALL CONFORM TO SECTION 203 OF THE CITY STANDARD DETAILS. ASPHALT CONCRETE SHALL NOT BE PLACED WHEN THE ATMOSPHERIC TEMPERATURE IS BELOW 10°C (50°F) AND FALLING OR DURING UNSUITABLE WEATHER, AS DETERMINED BY THE INSPECTOR.

30. **CRACK SEALING:** CONTRACTOR SHALL HOT-APPLY CRACK SEAL EMULSION TO ALL CRACKS IN PAVEMENT PRIOR TO ANY SLURRY SEAL APPLICATION.
31. **TRENCH PLATES:** STEEL PLATES MAY BE USED PER THE CITY PUBLIC WORKS INSPECTOR'S APPROVAL WHEN IN COMPLIANCE WITH CALTRANS SPECIFICATION TR-0157, WHICH ADDRESSES REQUIRED PLATE THICKNESSES, EDGING DESIGN, PLACEMENT, AND ANTI-SKID SURFACING.
32. **TRENCH BACKFILL:** TYPICAL TRENCH BACKFILL SHALL BE PER APPLICABLE CITY STANDARD NUMBERS 16A-1, 16A-2, 16A-3, 16A-4, AND 16A-5. FOR 24" OR C/LM, THE 28-DAY COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 50 PSI AND A MAXIMUM OF 100 PSI. TYPICAL TRENCH BACKFILL FOR WATER SHALL BE SAND 6" BELOW THE PIPE UP TO THE SPRING LINE OF THE PIPE FOR BEDDING. CLASS 2 AB SHALL BE USED FOR THE REMAINDER. CLASS 2 AB TO BE DAMPENED AND COMPACTED WITH A RAMMER OR VIBRATION PLATE TO 95% COMPACTION EVERY 6" LIFT.
33. **WARRANTY PERIOD:** THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REPAIRS TO TRENCHES AND PAVEMENT FOR A ONE-YEAR WARRANTY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE CITY. ONE YEAR AFTER ACCEPTANCE, THE CITY WILL MAKE A FINAL INSPECTION. IF REPAIRS HAVE TO BE MADE, THE CONTRACTOR OR DEVELOPER WILL BE NOTIFIED TO MAKE REPAIRS.
34. **GRADE BREAK DETAILS:** GRADE BREAKS ON CURBS AND SIDEWALKS TO BE ROUNDED OFF (WHILE CONCRETE FINISHING WORK IS IN PROGRESS) IN FORM WORK AND FINISHED SURFACING.
35. **TRAFFIC STRIPING:** CONTRACTOR SHALL REPLACE EXISTING CURB MARKINGS AND PAINT (OR THERMOPLASTIC) AFTER INSTALLATION OF NEW CURB AND GUTTER.

CONTRACTOR SHALL REPLACE EXISTING TRAFFIC STRIPING/LEGENDS AND DETECTOR LOOPS THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS TO THE CITY INSPECTOR'S SATISFACTION. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC MATERIAL.

CAT TRACKING MUST BE APPROVED BY THE CITY TRANSPORTATION ENGINEER PRIOR TO FINAL INSTALLATION OF THE STRIPING. 72 BUSINESS-HOURS ADVANCE NOTICE IS REQUIRED FOR TRAFFIC INSPECTIONS. INSPECTION SHALL BE COORDINATED THROUGH THE PUBLIC WORKS INSPECTOR.

36. **JOB SITE MANAGEMENT:** CONTRACTOR IS REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

ALL CONSTRUCTION MATERIALS, EQUIPMENT, STORAGE, STOCKPILING, AND STAGING MUST BE DONE ON-SITE AND THE PUBLIC RIGHT-OF-WAY/STREET MUST BE KEPT CLEAR AND FREE OF DEBRIS.

37. **EMERGENCY CONTACT INFO:** THE CONTRACTOR SHALL PROVIDE 24-HOUR/7-DAY CONTACT INFORMATION TO THE CITY INSPECTOR.
38. **STORMWATER BEST MANAGEMENT PRACTICES:** CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE STATE OF CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK FOR APPLICABLE STORMWATER RUNOFF CONTROL MEASURES AND EMPLOY ITS PROVISIONS THROUGHOUT ALL CONSTRUCTION.
39. **STENCILS FOR CATCHBASINS AND STORMWATER INLETS:** CONTRACTOR SHALL STENCIL ALL NEW OR REPAIRED CATCHBASINS AND STORMDRAIN INLETS WITH THE NON-POINT-SOURCE NO DUMPING MESSAGE AS SHOWN ON THE CITY-APPROVED PLANS. THE STENCIL IS AVAILABLE FROM THE CITY'S ENVIRONMENTAL SERVICES DEPARTMENT AT (408) 730-7260.
40. **REMOVAL OF USA MARKINGS:** ALL UNDERGROUND SERVICE ALERT (USA) MARKINGS ON CONCRETE AND ASPHALTIC PAVEMENT OR OTHER STRUCTURES SHALL BE REMOVED WHEN THEY ARE NO LONGER REQUIRED. ACCEPTABLE MEANS OF REMOVAL INCLUDE HIGH PRESSURE WATER BLASTING.

GENERAL NOTES

1. THE CONTRACTOR SHALL REQUEST STAKING SERVICES FROM THE DESIGN ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO STAKING.
2. ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ADEQUATELY SHOWN ON REVISED PLANS.
3. ALL CONSTRUCTION AND RELATED ACTIVITIES SHALL BE ALLOWED DURING THE HOURS 7:00 AM TO 8:00 PM ON WEEKDAYS AND 8:00 A.M. TO 5:00 PM ON SATURDAYS, IN ACCORDANCE WITH THE CITY'S NOISE CONTROL ORDINANCE (SECTION 16.08.030 OF THE SUNNYVALE MUNICIPAL CODE). CONSTRUCTION SHALL BE PROHIBITED ON SUNDAYS AND THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY, BIRTHDAY OF MARTIN LUTHER KING JUNIOR, WASHINGTON'S BIRTHDAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, THANKSGIVING DAY, AND CHRISTMAS DAY.
4. EXISTING CURB AND GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER PUBLIC IMPROVEMENTS WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, EVEN IF THE DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL RESTORE WALLS, FENCES, SERVICES, UTILITIES, PAVEMENT & CURB MARKINGS IMPROVEMENTS OR FEATURES OF WHATEVER NATURE WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S WORK TO THEIR PREVIOUS CONDITION, TO THE SATISFACTION OF THE CITY ENGINEER.
6. CONTRACTOR SHALL MAINTAIN TRAFFIC ON ADJACENT CITY STREETS FOR EMERGENCY RESPONSES UNLESS OTHERWISE AUTHORIZED BY THE CITY 48 HOURS PRIOR TO CLOSURE.
7. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING CITY STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
8. PRIOR TO FINAL PREPARATION OF THE SUBGRADE AND PLACEMENT OF BASE MATERIALS FOR STREETS, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT UNLESS OTHERWISE APPROVED BY CITY ENGINEER. STUB-OUTS SHALL BE INSTALLED IN A MANNER WHICH WILL NOT DISTURB THE STREET PAVEMENT, CURB AND GUTTER, AND SIDEWALKS WHEN SERVICE CONNECTIONS ARE MADE.
9. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING, AND SHEATHING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT THE CONTRACTOR'S OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE SHEATHING, SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
10. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT OF DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
11. DURING CONSTRUCTION, THE STREET SHALL BE CLEANED BY DAILY SWEEPING TO THE SATISFACTION OF THE CITY ENGINEER. FOR INPUT AND EXPORT OF ALL DIRT AND AGGREGATES, CONTRACTOR SHALL ADHERE TO ALL CONDITIONS OF THE APPROVED PROJECT GRADING AND DIRT HAUL CERTIFICATE. THE HAULING ROUTES SHALL BE STRICTLY ADHERED TO BY THE CONTRACTOR AND ALL SUBCONTRACTORS.
12. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER, BEFORE PROCEEDING WITH THE WORK IN QUESTION.
13. WHEN SPECIFICATIONS OR STANDARDS FROM DIFFERENT AUTHORITIES DIFFER FOR THE SAME SUBJECT MATTER, THE MORE STRINGENT SHALL GOVERN.
14. UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED UP AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE AND RUBBISH OF ANY NATURE BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY ENGINEER.
15. ARTICLE 87 OF THE CFC SHALL BE FOLLOWED FOR ALL AREAS UNDER CONSTRUCTION, CONTACT THE CITY FIRE DEPARTMENT FOR SPECIFIC REQUIREMENTS FOR BUILDING UNDER CONSTRUCTION.
16. THE UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORD INFORMATION. HOWEVER THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR ACTUAL LOCATIONS.
17. THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES.
18. THE CONTRACTOR SHALL PERFORM TESTS AS NECESSARY IN ACCORDANCE WITH CITY AND CALWATER STANDARDS ON NEWLY INSTALLED STORM DRAINS, SEWER, AND WATER SYSTEMS ONLY AFTER TRENCHES ARE BACKFILLED AND STREET BASE IS IN PLACE, COMPACTED AND READY FOR ASPHALT PAVING.
19. THE CONTRACTOR SHALL ADJUST TO FINAL BASINS, ALL EXISTING AND/OR NEW MANHOLES, CURB INLETS, CATCH BASINS, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
20. A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT (NPDES), STATE DISCHARGE IDENTIFICATION NUMBER (WDID NO.), CONSTRUCTION PERMIT, IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PLAN ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES RELATED TO THIS SITE. ANY DISCHARGE, DURING PROTECTION OF GROUNDWATER, OF THIS DOWNSTREAM STORM SYSTEM MUST BE UNCONTAMINATED WATER. THE CONTRACTOR MUST MAKE THIS DETERMINATION PRIOR TO ANY DISCHARGE.
21. THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
22. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING DEMOLITION WORK, NOTIFY ENGINEER AND STOP ALL WORK WITHIN 100 FEET OF THESE MATERIALS UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.

23. THE CONTRACTOR SHALL POST ON SITE EMERGENCY TELEPHONE NUMBERS FOR CITY ENGINEER, AMBULANCE, POLICE, FIRE DEPARTMENTS, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOB SITE. THESE NUMBERS SHALL BE POSTED ON ALL SIDES OF THE SITE.
24. WHEN THE LOWEST FINISHED FLOOR LEVEL IS 12 INCHES OR LESS ABOVE THE TOP ELEVATION OF THE NEAREST UPSTREAM SANITARY SEWER STRUCTURE, THERE SHALL BE A BACKWATER OVERFLOW DEVICE OR CHECK VALVE INSTALLED ON THE SEWER LATERAL NEXT TO THE CLEAN OUT.
25. IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 1, TEMPORARY SILT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORMWATER INTO EXISTING STORM DRAINAGE FACILITIES.
26. ALL TRAFFIC SIGNS AND STREET NAME SIGNS SHALL BE HIGH REFLECTIVE GRADE AND CONFORM TO CALTRANS AND CITY SPECIFICATIONS.
27. REVIEW OF THESE PLANS BY THE CITY ENGINEER DOES NOT RELIEVE THE PERMITTEE OR HIS ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
28. ALL CITY STANDARD DETAILS REFERENCED ON THE PLANS SHALL BE THE CURRENT VERSION AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT. THE MOST CURRENT CITY DETAILS CAN BE FOUND ON THE CITY'S WEBSITE.
29. A LICENSED LAND SURVEYOR SHALL BE RETAINED TO ESTABLISH ALL LINES, LEVELS, GRADES, AND LOCATIONS OF ALL IMPROVEMENTS AND TO VERIFY THE PROPER INSTALLATION OF ALL IMPROVEMENTS. A STATE OF CALIFORNIA REGISTERED CIVIL ENGINEER SHALL BE RETAINED TO UPDATE CONTRACT RECORD DRAWINGS AND SUBMIT RECORD DRAWINGS INDICATING ALL FINAL IMPROVEMENTS, WITH APPROVED REVISIONS, INSTALLED.

30. ALL CURB RETURN RADII AND CURB DATA ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

31. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON AN ALTA SURVEY AND SUPPLEMENTED BY SLOTTED CONSULTING, ON 07.07.2020 AND SUPPLEMENTED BY A TOPOGRAPHIC SURVEY COMPLETED BY BKF ENGINEERS DATED IN MARCH 2021. GRADES ENCOUNTERED MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
32. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE DESIGN ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES (WHETHER SHOWN ON THESE PLANS OR NOT) PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
33. ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.

34. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE NOTES AND THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOILS REPORT.
35. REFER TO THE GEOTECHNICAL REPORT "GEOTECHNICAL INVESTIGATION" PREPARED BY ROMIG ENGINEERS, DATED AUGUST 2020.
36. THE GEOTECHNICAL ENGINEER SHALL BE PRESENT AT THE SITE DURING GRADING OPERATIONS AND SHALL PERFORM ALL TESTING DEEMED NECESSARY. THE GEOTECHNICAL ENGINEER SHALL OBSERVE GRADING OPERATIONS AND IDENTIFY THOSE CONDITIONS WITH RECOMMENDED CORRECTIVE MEASURES TO THE CONTRACTOR AND THE CONSTRUCTION MANAGER.
37. EARTHWORK AND SITE DRAINAGE, INCLUDING PIER FOUNDATION EXCAVATIONS, RETAINING WALL BACKFILL, SUBGRADE PREPARATION BENEATH HARDCAPE, PLACEMENT, AND COMPACTION OF ENGINEERED FILL BENEATH HARDCAPE, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SYSTEMS SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION OF ANY EARTHWORK OPERATIONS. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
38. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A TRENCH, STRUCTURE AND/OR BORING OR JACKING PIT IS 5 FIVE FEET OR MORE IN DEPTH THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
39. CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITHIN TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE OWNER.
40. A MINIMUM OF TWELVE (12) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN ADJACENT UTILITY PIPES AT ALL UTILITY CROSSINGS WHERE POSSIBLE.
41. CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE DURING COMPACTION OF ROADWAY SUBGRADE AND PRIOR TO PLACEMENT OF THE FINAL PAVEMENT SECTION.
42. ALL UTILITY BOXES, LIDS AND GRATES IN PAVED AREAS SHALL ACCEPT H-20 LOADS. UNLESS OTHERWISE NOTED THE ENTIRE BOX, NOT JUST THE LID OR GRATE, MUST ACCEPT H-20 LOADS.
43. CONTRACTOR IS CAUTIONED THAT PVC PIPE DERIVES ITS STRENGTH FROM THE COMPACTED BEDDING MATERIAL BELOW AND BESIDE THE PIPE HAUNCHES. CARE SHOULD BE EXERCISED IN THE PLACEMENT AND COMPACTION OF THIS MATERIAL AND THE INSERTION AND REMOVAL OF SHORING ADJACENT TO IT. CONTRACTOR SHALL USE CAUTION WHEN OPERATING EQUIPMENT ON SUBGRADE NEAR PVC PIPE INSTALLATIONS.
44. BACKFILL FOR UTILITY TRENCHES AND OTHER EXCAVATIONS IS ALSO CONSIDERED FILL. FILL SHOULD BE PLACED AND COMPACTED ACCORDING TO THE GRADING RECOMMENDATIONS. IF IMPORTED CLEAN SAND OR GRAVEL (DEFINED AS SOIL WITH LESS THAN 10 PERCENT FINES) IS USED AS BACKFILL, IT SHALL BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. JETTING OF TRENCH BACKFILL IS NOT PERMITTED.
45. BEFORE DISCONNECTING UTILITY SERVICE TO ANY ESTABLISHMENT, CONTRACTOR SHALL GIVE ADVANCE NOTICE TO ESTABLISHMENT BEFORE THEIR UTILITY SHUT DOWN, MAKE ARRANGEMENTS WITH THOSE ESTABLISHMENTS FOR A SCHEDULED SHUT DOWN AND COORDINATE DATE OF SHUT DOWN, DURATION, INCONVENIENCE, DELAYS, ETC. WITH A REPRESENTATIVE OF THE CITY.
46. WHERE COVER OF PROPOSED UTILITIES IS LESS THAN 3 FEET, TRENCH BACKFILL SHALL BE CEMENT SLURRY IN ACCORDANCE WITH THE CALTRANS STANDARD SPECIFICATIONS EXCEPT THAT THE CEMENT CONTENT SHALL BE NOT LESS THAN 94 NOR MORE THAN 100 POUNDS PER CUBIC YARD OF MATERIAL PRODUCED.
47. TRACER WIRE AND TRACER TAPE SHALL BE INSTALLED WITH THE WATER MAIN. THE TRACER SHALL BE PLACED IMMEDIATELY UNDER THE PIPE AND EXTENDED TO THE STREET OR GROUND SURFACE AT EVERY VALVE BOX. THE TAPE SHALL BE 2" INCHES WIDE NON-METALLIC AS DIRECTED BY THE CITY ENGINEER AND PLACED NOT LESS THAN 6 INCHES BELOW THE SUBGRADE AND NOT LESS THAN 12 INCHES ABOVE THE PIPE.
48. ALL IRRIGATION SLEEVES REQUIRED BY LANDSCAPING PLANS SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO CONSTRUCTING SURFACE IMPROVEMENTS. REFER TO LANDSCAPE PLANS FOR REQUIRED SIZE AND QUANTITY OF IRRIGATION SLEEVES. THEY SHALL EXTEND A MINIMUM TWELVE (12) INCHES BEHIND THE BACK OF CURB OR BACK OF WALK AT A MINIMUM DEPTH OF THIRTY-SIX (36) INCHES BELOW GRADE.

EXISTING CONDITIONS

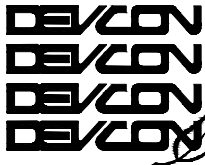
49. CONTRACTOR TO MAKE ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY TIE-IN, CUT AND CAP, DEMOLITION, ABANDONMENT OF OR WORK WITH THEIR FACILITIES.
50. A MINIMUM OF TWELVE (12) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN ADJACENT UTILITY PIPES AT ALL UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
51. ALL UTILITY BOXES AND LIDS IN PAVED AREAS SHALL ACCEPT H-20 LOADS. THE ENTIRE BOX, NOT JUST THE LID, MUST ACCEPT H-20, LOADS UNLESS OTHERWISE NOTED.
52. CONTRACTOR IS CAUTIONED THAT PVC PIPE DERIVES ITS STRENGTH FROM THE COMPACTED BEDDING MATERIAL BELOW AND BESIDE THE PIPE HAUNCHES. CARE SHOULD BE EXERCISED IN THE PLACEMENT AND COMPACTION OF THIS MATERIAL AND THE INSERTION AND REMOVAL OF SHEET PILING ADJACENT TO IT. CONTRACTOR SHALL USE CAUTION WHEN OPERATING EQUIPMENT ON SUBGRADE NEAR PVC PIPE INSTALLATIONS.
53. BEFORE DISCONNECTING UTILITY SERVICE TO ANY ESTABLISHMENT, CONTRACTOR SHALL GIVE ADVANCE NOTICE TO ESTABLISHMENT BEFORE THEIR UTILITY SHUT DOWN, MAKE ARRANGEMENTS WITH THOSE ESTABLISHMENTS FOR A SCHEDULED SHUT DOWN AND COORDINATE DATE OF SHUT DOWN, DURATION, INCONVENIENCE, DELAYS, ETC. WITH A REPRESENTATIVE OF THE CITY AND/OR RESPECTIVE UTILITY AGENCY.
54. WHERE COVER OF PROPOSED UTILITIES IS LESS THAN 3 FEET TRENCH BACKFILL SHALL BE CEMENT SLURRY IN ACCORDANCE WITH CALTRANS STANDARD SPECIFICATIONS EXCEPT THAT THE CEMENT CONTENT SHALL BE NOT LESS THAN 94 POUNDS NOR MORE THAN 100 POUNDS PER CUBIC YARD OF MATERIAL PRODUCED.

WATER SERVICE INSTALLATION NOTES

55. ONE WATER METER IS REQUIRED FOR EACH WATER LINE. THIS INCLUDES WATER METER AND RELIEF VALVE FOR FIRE PROTECTION LINE PLACED WITHIN PROPERTY LINE.
56. EACH WATER LINE REQUIRES AN APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER.

57. THE BACKFLOW PREVENTION ASSEMBLY FOR DOMESTIC WATER PLUMBING INSIDE THE BUILDING AND THE RECYCLED WATER SYSTEM MUST MEET THE PLUMBING CODE AND HEALTH CODE.
- UNAUTHORIZED CHANGES AND USES
58. THE DESIGN ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- STATEMENT OF RESPONSIBILITY
1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL AND CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
 2. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES; AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA AND INDUSTRIAL ACCIDENT COMMISSION RELATIVE TO SAFETY AND CHARACTER OF WORK EQUIPMENT AND LABOR PERSONNEL.
- EROSION & SEDIMENT CONTROL
1. CONTRACTOR SHALL IMPLEMENT MEASURES AS DETAILED IN IN THE APPROVED EROSION CONTROL PLAN INCLUDED HEREIN.
 2. CONTRACTOR IS REQUIRED TO OBTAIN ALL REQUIRED BATCH-WASTE WATER DISCHARGE PERMITS FROM DOWATERING ACTIVITIES.
 3. MEASURES SHOWN IN THE EROSION CONTROL PLAN ARE MINIMUM REQUIREMENTS AND ADDITIONAL MEASURES SHOULD BE INCORPORATED AS NECESSARY FOR COMPLIANCE.
 4. CONTRACTOR MAY ADJUST MEASURES AS SITE CONDITION CHANGES.

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PLOTTED BY: stow

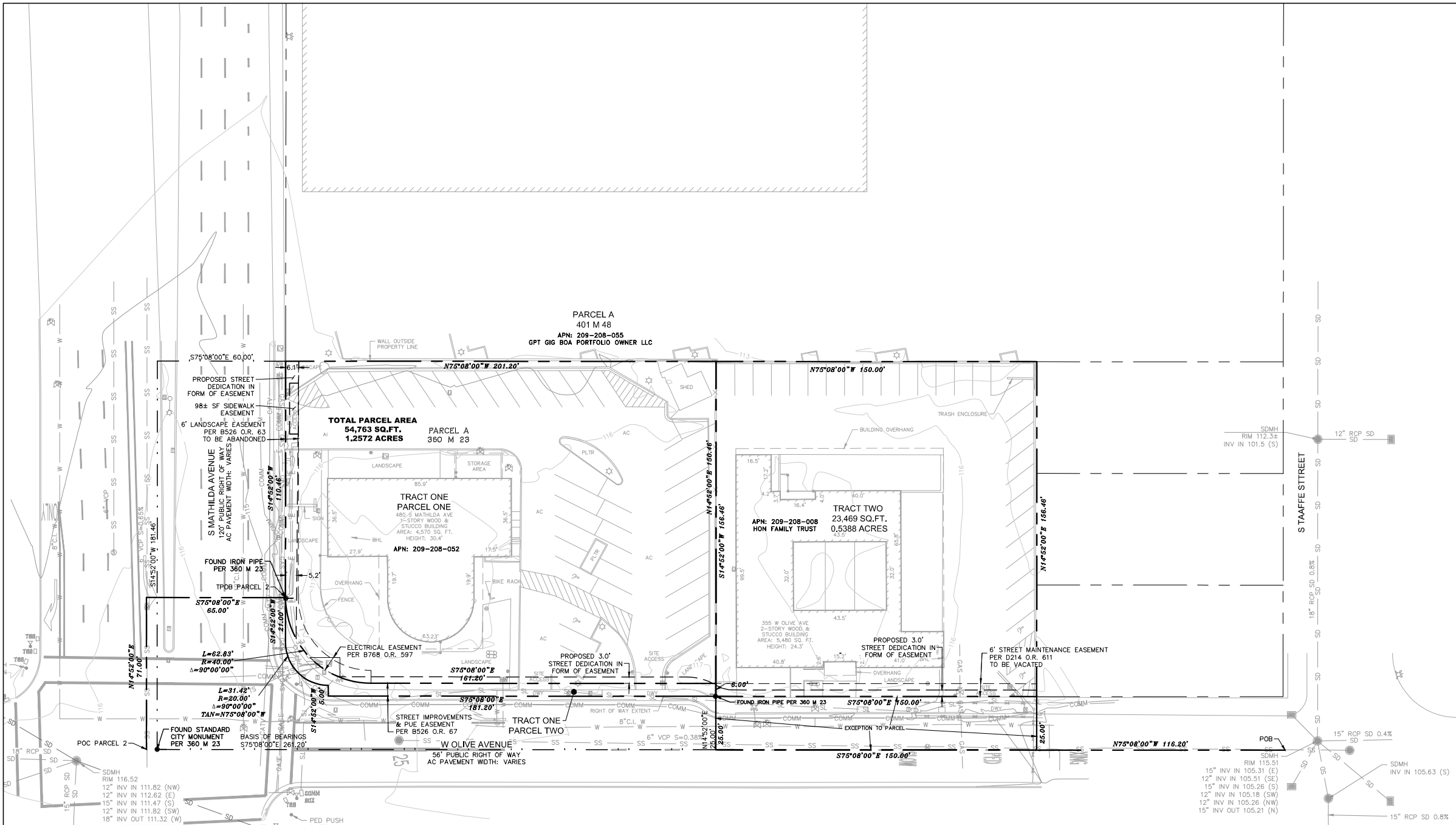


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EASEMENT DISPOSITION TABLE	
DESCRIPTION	DISPOSITION
6' LANDSCAPE EASEMENT PER B526 O.R. 63	TO BE ABANDONED
ELECTRICAL EASEMENT PER B768 O.R. 597	TO REMAIN
STREET IMPROVEMENTS & PUE EASEMENT PER B526 O.R. 67	TO REMAIN
6' STREET MAINTENANCE EASEMENT PER D214 O.R. 611	TO BE VACATED

NOTES

1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON AN ALTA SURVEY COMPLETED BY SLOOTEN CONSULTING, INC. ON 07.07.2020 AND SUPPLEMENTED BY A TOPOGRAPHIC SURVEY COMPLETED BY BKF ENGINEERS IN MARCH 2021. REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.

GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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EXISTING CONDITIONS

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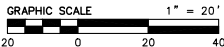
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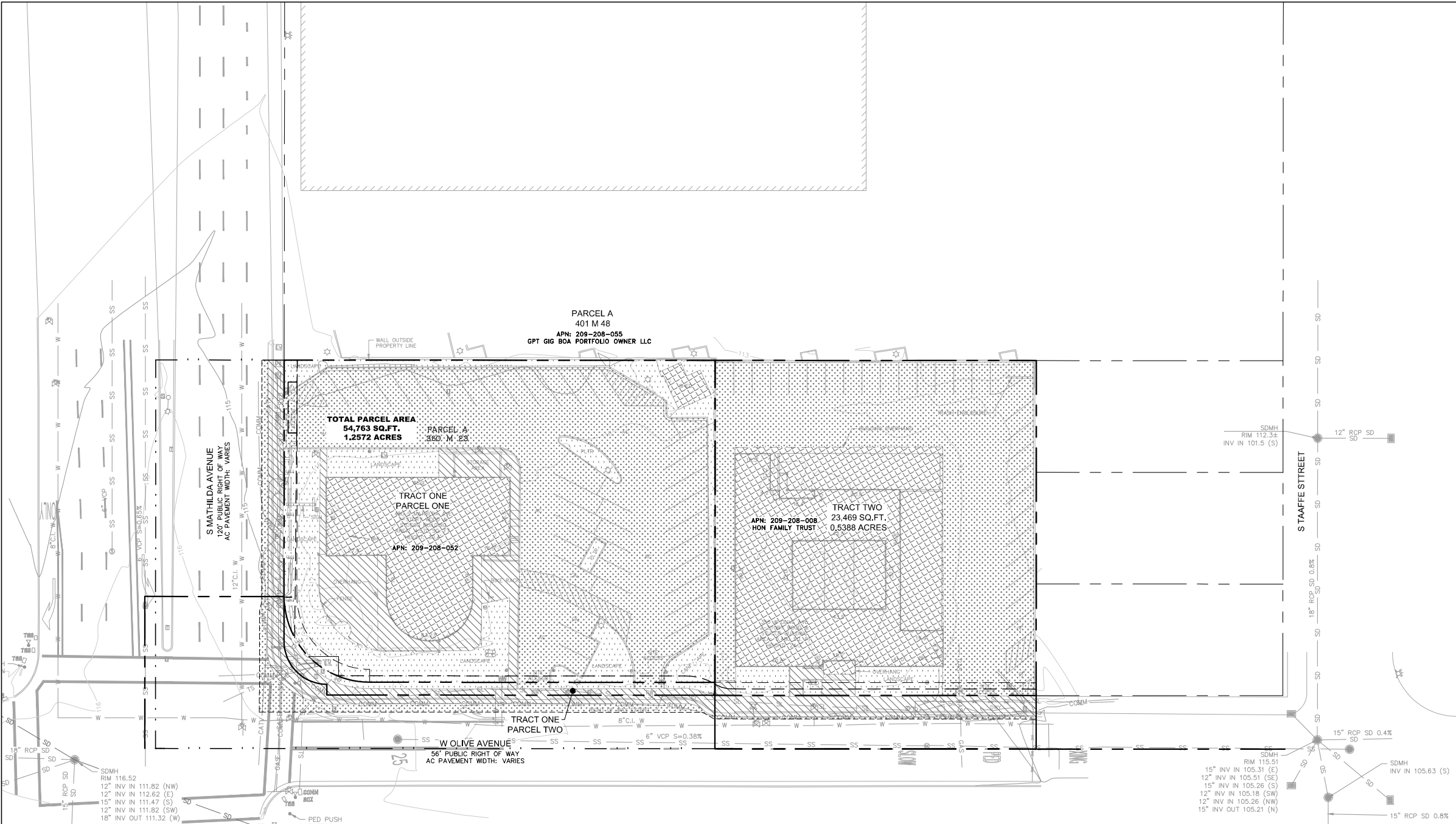
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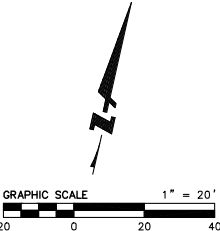
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NO.	DATE	DESCRIPTION	BY

HARDSCAPE DEMOLITION PLAN

JOB NO. 20201305	SHEET NO. C2.1 4 OF 17 SHEETS
DATE: 5/23/2022	
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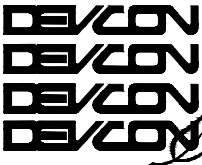
- HARDSCAPE DEMOLITION LEGEND**
- REMOVE EXISTING CONCRETE SIDEWALK
 - REMOVE EXISTING ASPHALT PAVEMENT
 - REMOVE EXISTING BUILDING
 - REMOVE EXISTING LANDSCAPE
 - SAWCUT LINE APPROX 1' FROM EX GUTTER



DRAWING NAME: \\bkf-sf\vol 4\2020\201305_480_Mathilda_Sunnyvale\ENG\PLAN\DEM\1 DEMOLITION PLAN.dwg
PLOT DATE: 05-23-22
PLOTTED BY: stow



JOINERY
Downtown Sunnyvale

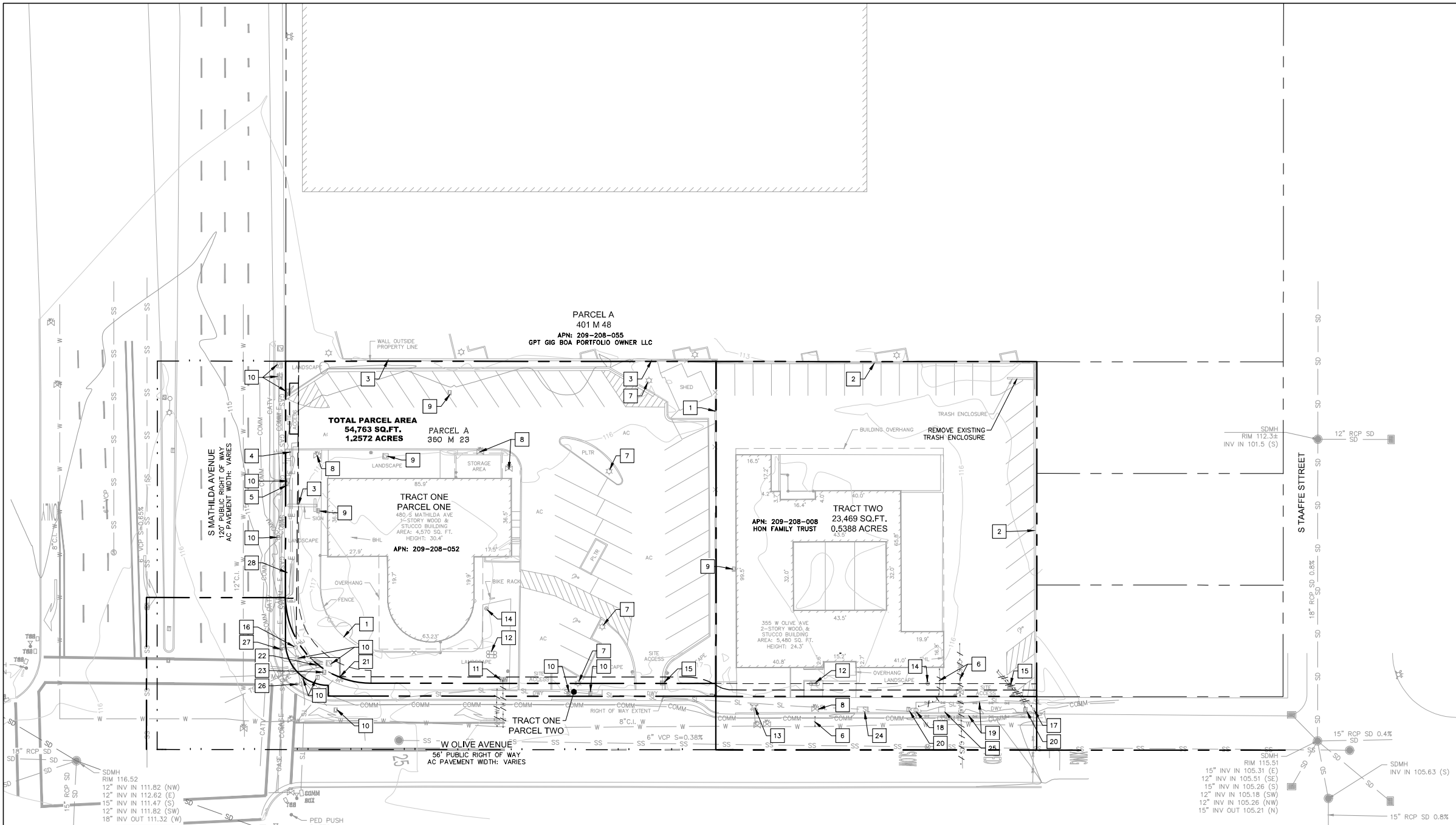


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UTILITY DEMOLITION LEGEND

----- REMOVE OR ABANDON EXISTING UTILITY LINE

- 1 REMOVE EXISTING FENCE
- 2 REMOVE EXISTING WALL
- 3 EXISTING WALL TO REMAIN
- 4 REMOVE EXISTING SIGN
- 5 EXISTING SIGN TO REMAIN
- 6 REMOVE OR ABANDON EXISTING UTILITY LINE
- 7 REMOVE EXISTING STREET LIGHT
- 8 REMOVE EXISTING WATER VALVE AND ASSOCIATED WATER LINE
- 9 REMOVE EXISTING UTILITY BOX AND ASSOCIATED UTILITY
- 10 EXISTING UTILITY BOX TO REMAIN, ADJUST TO GRADE
- 11 REMOVE EXISTING WATER METER
- 12 REMOVE EXISTING BFP
- 13 EXISTING FH TO REMAIN
- 14 REMOVE EX SSCO AND ASSOCIATED SS LINE
- 15 REMOVE EX SDCB AND ASSOCIATED SD LINE
- 16 EXISTING TRAFFIC SIGNAL POLE TO REMAIN
- 17 EXISTING ELECTRICAL POLE TO REMAIN
- 18 EXISTING ELECTRICAL POLE, S.J.T.P. FOR DISPOSITION
- 19 EXISTING ELECTRICAL LINES, S.J.T.P. FOR DISPOSITION
- 20 EXISTING UTILITY BOX, S.J.T.P. FOR DISPOSITION
- 21 RELOCATE EXISTING FH
- 22 EXISTING COMMUNICATIONS PEDESTAL, S.J.T.P. FOR DISPOSITION
- 23 EXISTING PG&E ELECTRIC METER PEDESTAL, S.J.T.P. FOR DISPOSITION

- 24 REMOVE EXISTING TREE AND TREE WELL
- 25 REMOVE EXISTING TREE WELL (NO ASSOCIATED TREE)
- 26 REMOVE EXISTING TRAFFIC SIGNAL POLE
- 27 REMOVE EXISTING PEDESTRIAN PUSH-BUTTON
- 28 EXISTING BUS STOP POLE, COORDINATE WITH VTA AND CITY STAFF FOR DISPOSITION.

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UTILITY DEMOLITION PLAN

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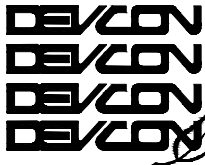
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PRELIMINARY SITE PLAN

JOB NO. 20201305

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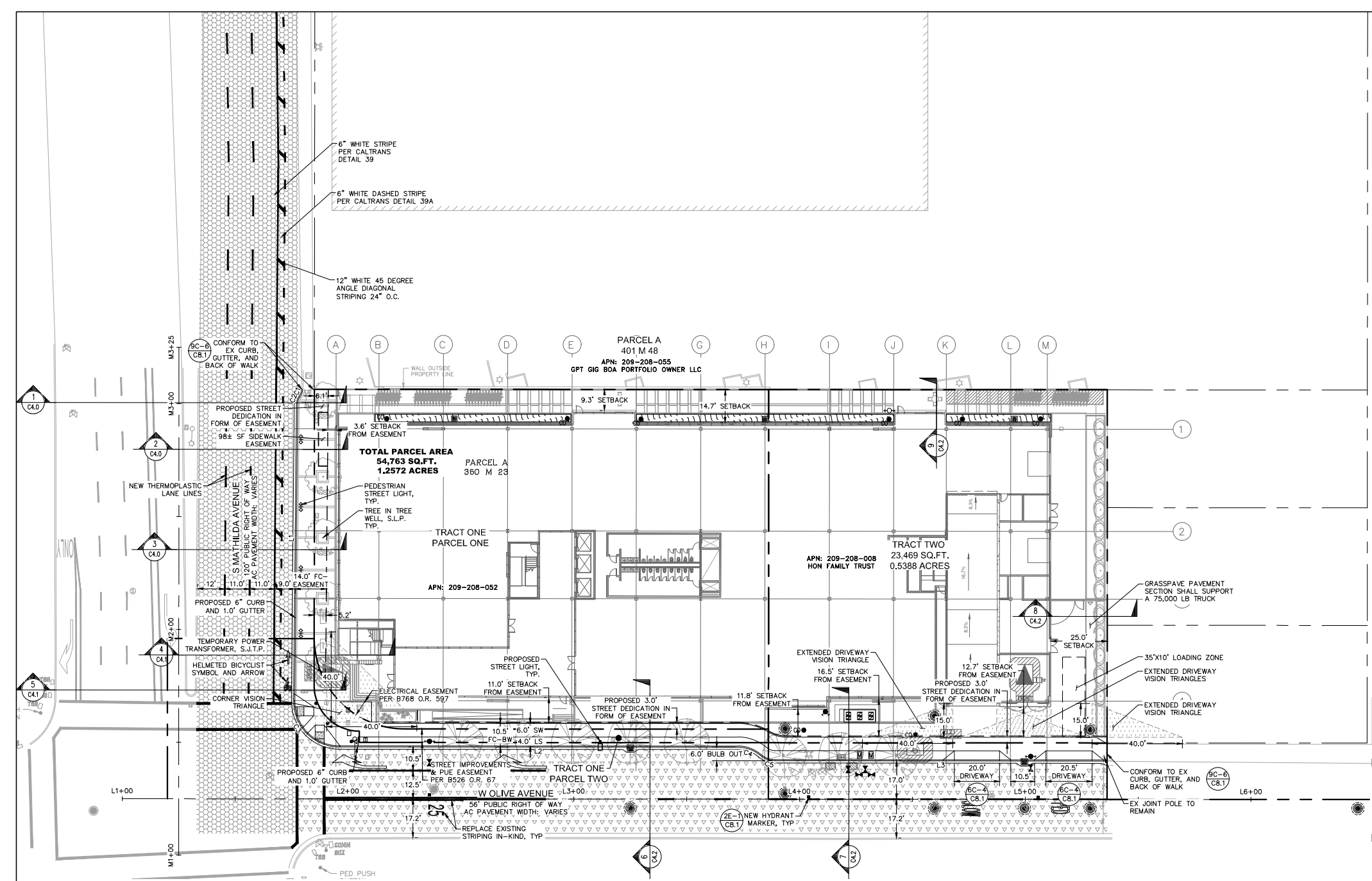
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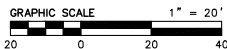
- THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGES ON SOUTH MATHILDA AVENUE AND WEST OLIVE AVENUE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LINE AND CURVE TABLES REPRESENT FACE OF CURB.

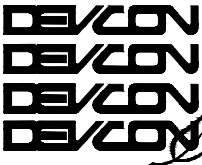
LEGEND

- TYPE II SLURRY SEAL
- TYPE III SLURRY SEAL
- SIGHT VISION TRIANGLE

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	132.03	N00°32'45"E
L2	176.69	N89°57'26"W
L3	147.18	N89°57'26"W

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	3.408	5.000	039.0513
C2	3.367	5.000	038.5884
C3	31.591	20.000	090.5030
C4	10.853	15.500	040.1192
C5	7.002	10.000	040.1192





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MATHILDA AVE OFFSITE
STRIPING PLAN

JOB NO. 20201305

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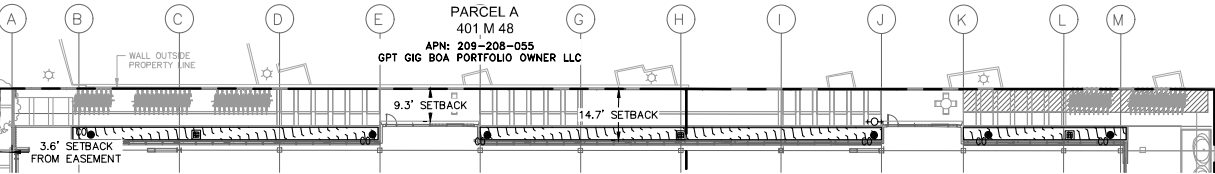
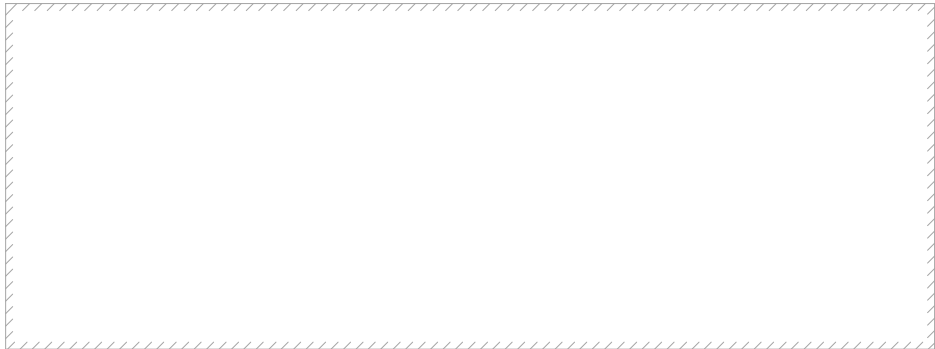
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W IOWA AVENUE

NEW THERMOPLASTIC LANE
LINES PER CITY OF SUNNYVALE
MATHILDA AVENUE DOWNTOWN
PLAN LINE STUDY

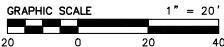
21,070± SF OF TYPE III
SLURRY SEAL BEYOND
PROJECT FRONTAGE

INSTALL 440' OF
BUFFERED BIKE
LANE BEYOND
PROJECT FRONTAGE



LEGEND

TYPE III SLURRY SEAL



DRAWING NAME: \\bkf-sf\Vol 4\2020\201305_480_Mathilda_Sunnyvale\ENG\PLAN\ENG\PLAN.dwg
PLOT DATE: 05-23-22
PLOT BY: stow



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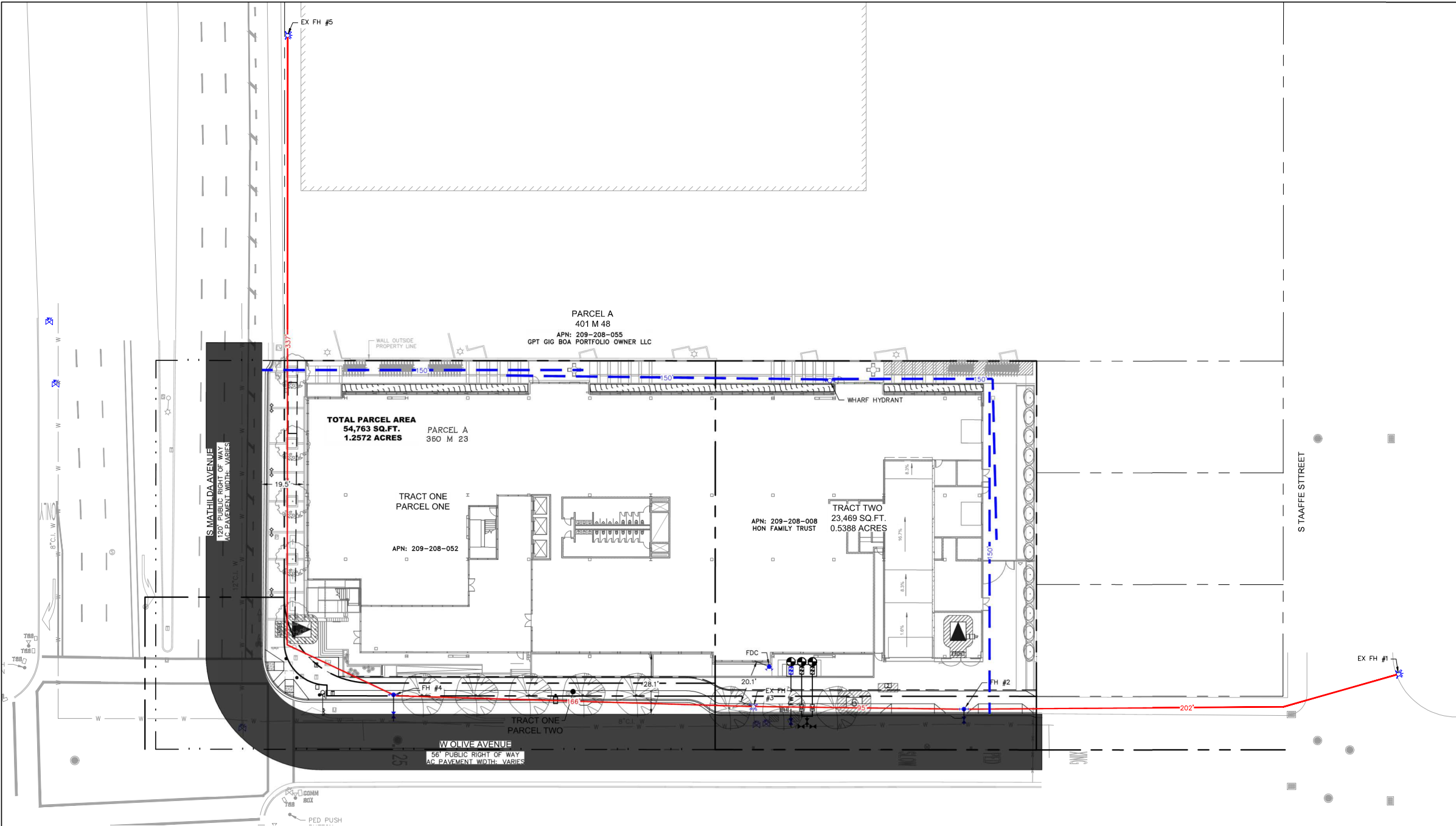
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NO.	DATE	DESCRIPTION	BY

PRELIMINARY FIRE ACCESS PLAN

JOB NO. 20201305	SHEET NO. C3.2 8 OF 17 SHEETS
DATE: 5/23/2022	
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	



FIRE FLOW DATA
THE FOLLOWING FIRE FLOW DATA WAS OBTAINED FROM THE CITY OF SUNNYVALE ENVIRONMENTAL SERVICES DEPARTMENT.

FIRE FLOW DATA				
HYDRANT ID#	STREET	MAIN SIZE (INCHES)	RESIDUAL PRESSURE (PSI)	FLOW MEASURED (GPM)
MAP #314 HYD #105	S MATHILDA	12	90	1500
MAP #314 HYD #107	OLIVE	8	86	1465

FIRE FLOW REQUIREMENTS & REDUCTION
THE FOLLOWING FIRE FLOW CALCULATIONS ARE BASED UPON FEASIBILITY STUDY PLANS DATED 7/19/20, CONCEPTUAL PLANS DATED 2/23/21, CALIFORNIA FIRE CODE (2019 EDITION) – SECTION 507, APP. B & C, AND FIRE FLOW TEST DATA FROM 6/25/2021 PROVIDED BY THE CITY OF SUNNYVALE ENVIRONMENTAL SERVICES DEPARTMENT.

BUILDING AREA BY CONSTRUCTION TYPE:
TYPE I – B1 TO B2 = 94,050 GSF
TYPE IV-C – L1 TO R = 130,845 GSF
TOTAL BUILDING GROSS SF = 224,845 GSF

AREA OF THREE LARGEST SUCCESSIVE FLOORS = 132,829 GSF

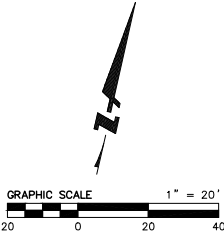
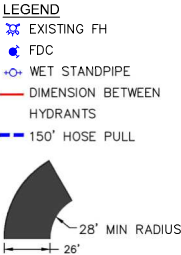
FIRE FLOW BY CONSTRUCTION TYPE – CFC SECTION B104.1, B104.3, & TABLE B105.1:
TYPE I AT 132,829 GSF* = 4,000 GPM AT 20 PSI
TYPE IV** AT 224,895 GSF = 8,000 GPM AT 20 PSI
*FIRE FLOW FOR TYPE IA AND IB BUILDINGS IS BASED ON THE AREA OF THE THREE LARGEST SUCCESSIVE FLOORS
**FOR THIS CALCULATION IT IS ASSUMED THAT THE FIRE FLOW REQUIREMENTS FOR TYPE IV-C BUILDINGS WILL BE CALCULATED AS EQUIVALENT TO THE REQUIREMENTS FOR TYPE IV BUILDINGS.

PERCENTAGE OF BUILDING AREA BY CONSTRUCTION TYPE:
TYPE I 94,050 / 224,895 X 100 = 41.8%
TYPE IV-C 130,845 / 224,895 X 100 = 58.2%

FIRE FLOW BY CONSTRUCTION TYPE AS PERCENTAGE OF BUILDING:
0.418 X 4,000 GPM + 0.582 X 8,000 GPM = 6,328 GPM COMBINED FIRE FLOW*
*PRIOR TO FIRE SPRINKLER REDUCTION

FIRE FLOW REDUCTION – CFC APP. B – TABLE B105.1(2), & B105.2
25% FIRE FLOW REDUCTION – SPRINKLER SYSTEM 903.3.1.1
6,328 GPM * 0.75 = 4,746 GPM NET REQUIRED FIRE FLOW (CFC)

FIRE HYDRANT LOCATIONS & DISTRIBUTION – APPENDIX C – TABLE C102.1:
FIRE FLOW REQUIRED = 4,746 GPM @ 20 PSI
FIRE FLOW AVAILABLE (S MATHILDA AVE) = 10,387 GPM @ 20 PSI
FIRE FLOW AVAILABLE (W OLIVE AVE) = 6,872 GPM @ 20 PSI
NUMBER OF HYDRANTS REQUIRED = 5
AVE HYDRANT SPACING (WITH SPACING INCREASE) = 450 FT (300 + 50% INCREASE – C102.1(f))
MAX DISTANCE FROM ANY POINT TO HYDRANT = 270 FT (180 + 50% INCREASE – C102.1(f))



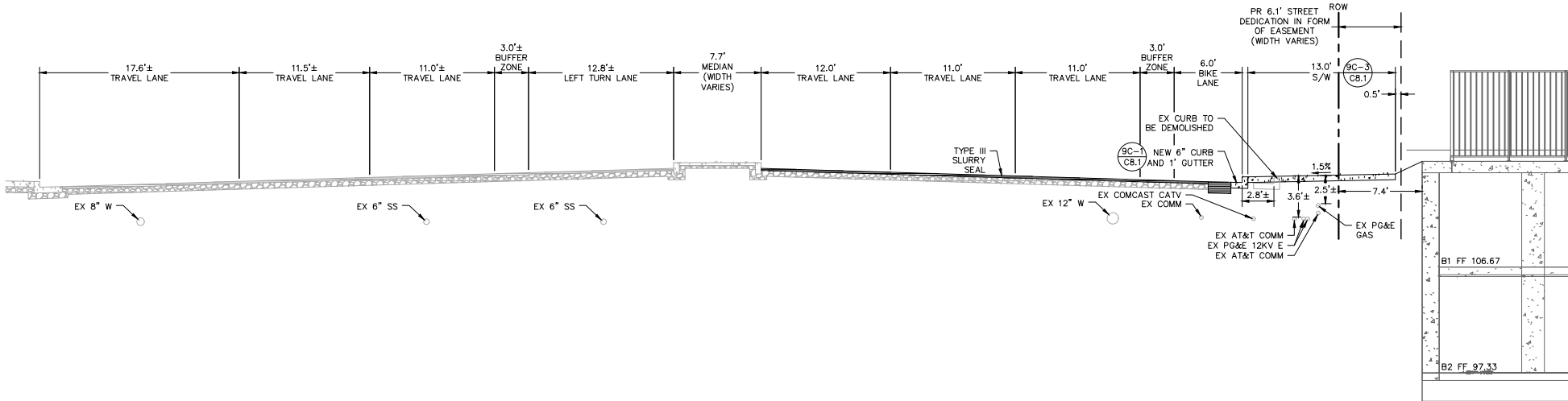


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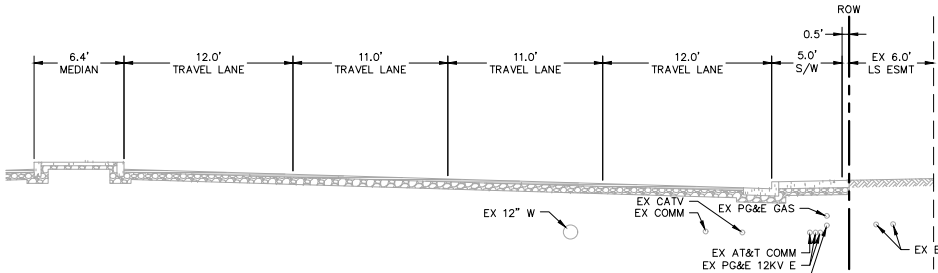
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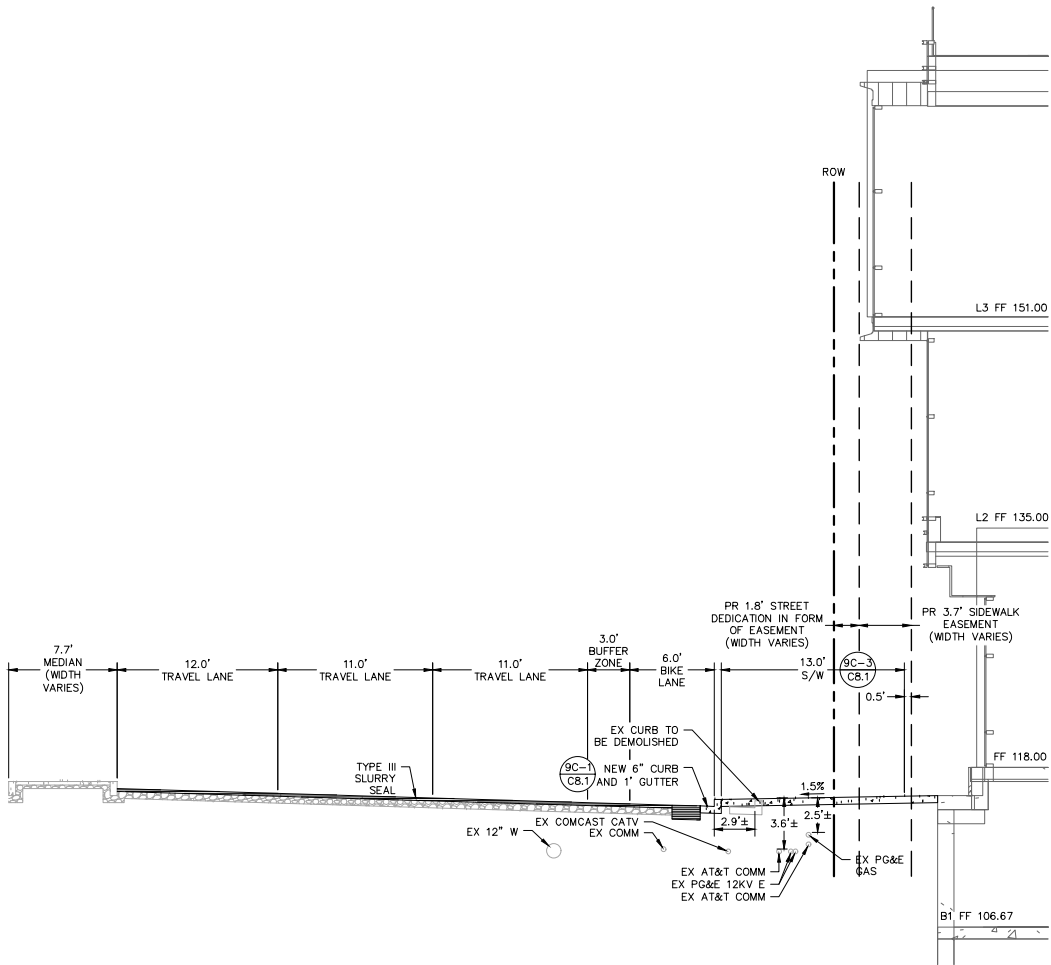
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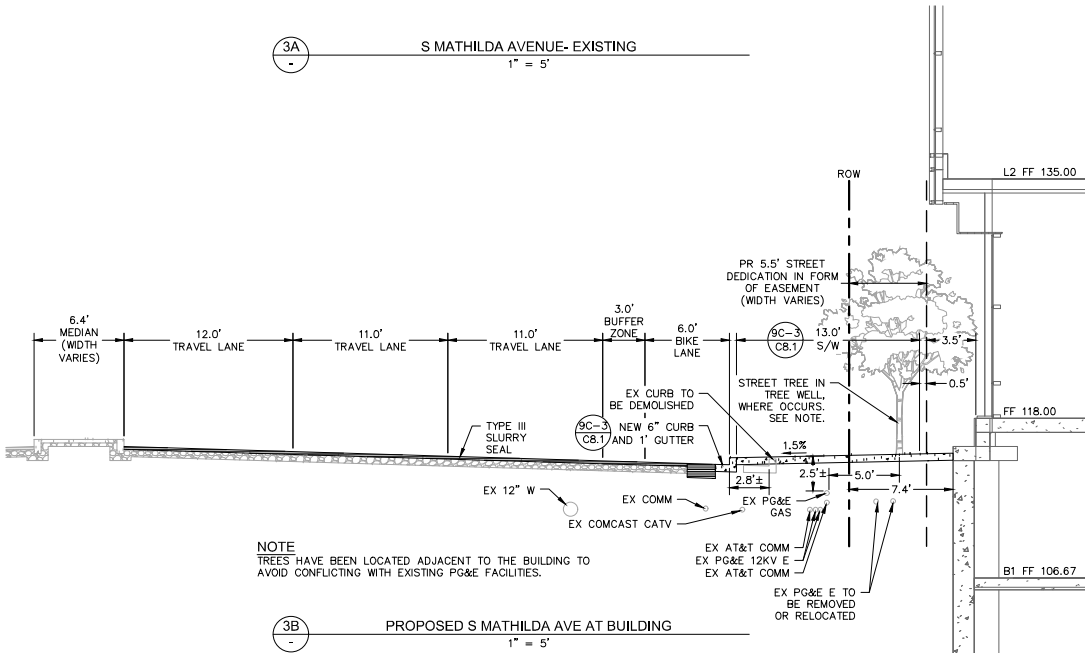
1 PROPOSED S MATHILDA AVE NEAR NORTH PROPERTY LINE
1" = 5'



3A S MATHILDA AVENUE- EXISTING
1" = 5'



2 PROPOSED S MATHILDA AVE NEAR NORTH PROPERTY LINE
1" = 5'



NOTE
TREES HAVE BEEN LOCATED ADJACENT TO THE BUILDING TO
AVOID CONFLICTING WITH EXISTING PG&E FACILITIES.

3B PROPOSED S MATHILDA AVE AT BUILDING
1" = 5'

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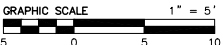
SECTIONS

JOB NO. 20201305
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9 OF 17 SHEETS



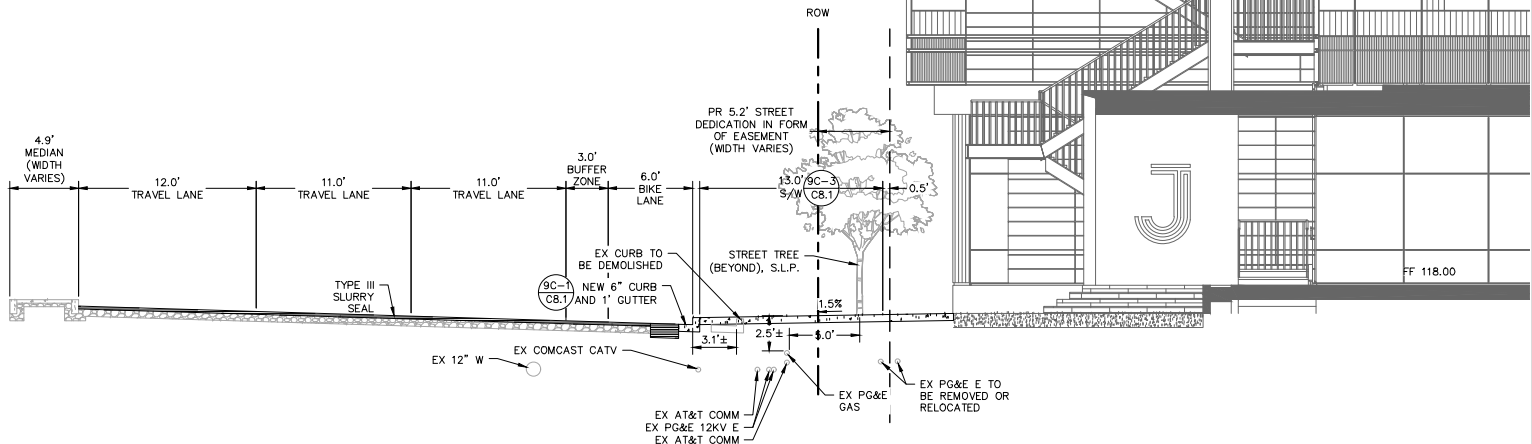


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NOTE
TIE-BACKS SHALL NOT BE ALLOWED TO ENCR OACH INTO PUBLIC
RIGHT- OF- WAYS AND/ OR ADJACENT PROPERTIES

4
PROPOSED S MATHILDA AVE NEAR INTERSECTION
1\"/>

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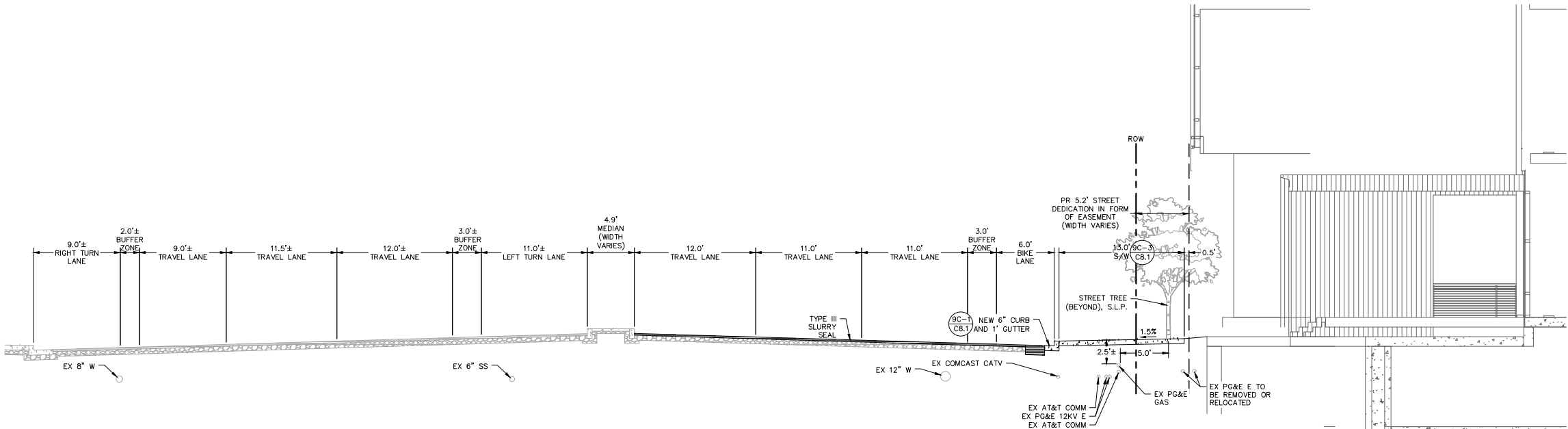
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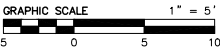
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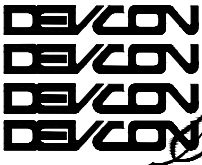
10 OF 17 SHEETS



NOTE
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RIGHT- OF- WAYS AND/ OR ADJACENT PROPERTIES

5
PROPOSED S MATHILDA AVE NEAR INTERSECTION
1\"/>



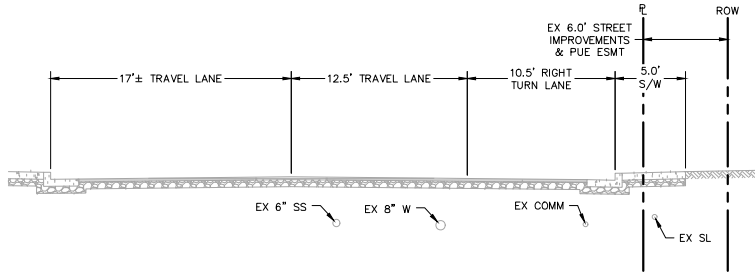


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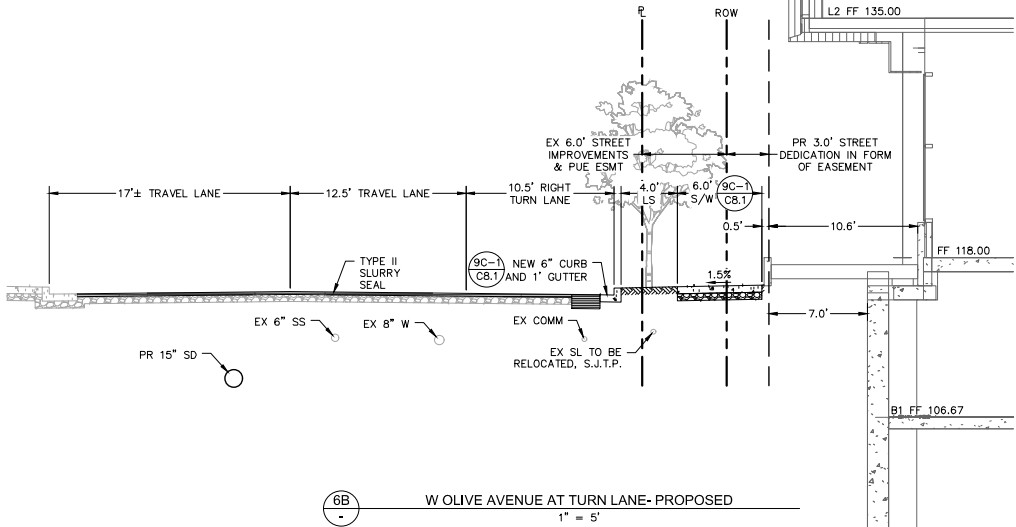
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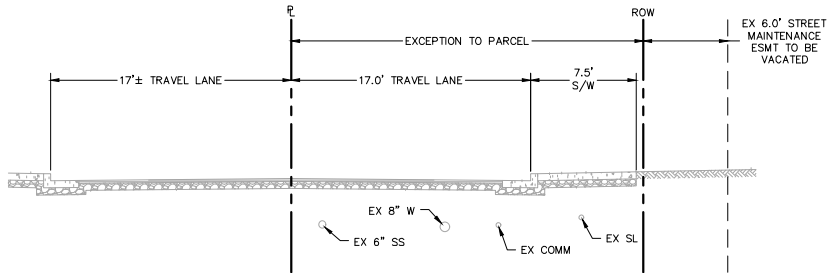
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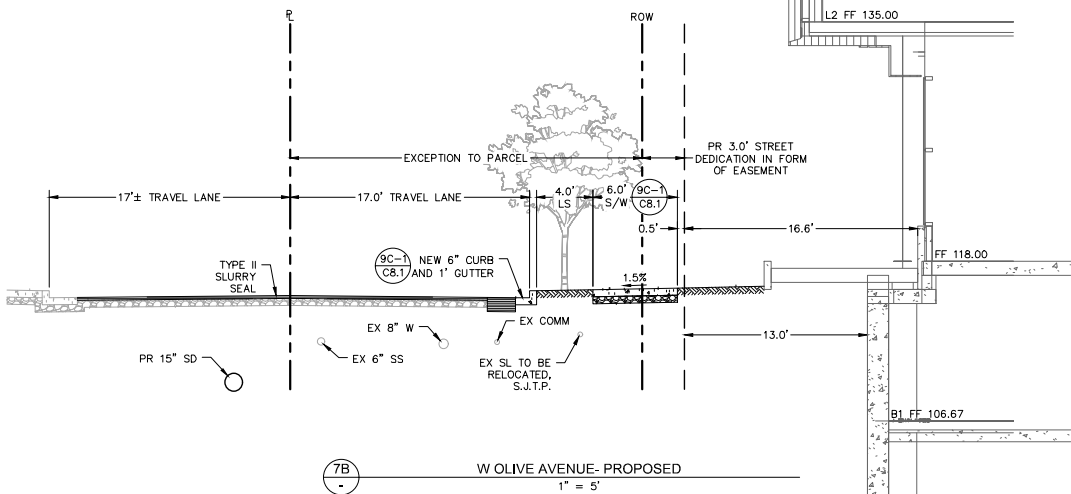
6A - W OLIVE AVENUE AT TURN LANE- EXISTING
1" = 5'



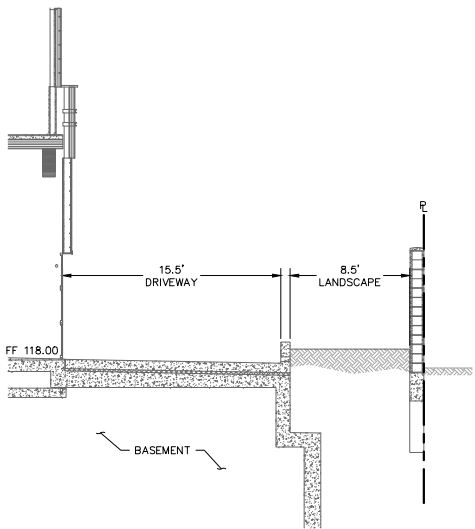
6B - W OLIVE AVENUE AT TURN LANE- PROPOSED
1" = 5'



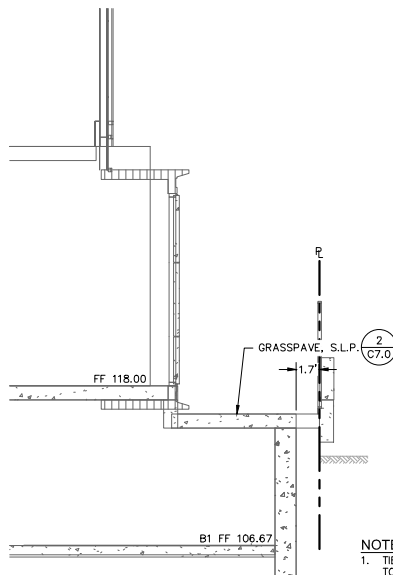
7A - W OLIVE AVENUE- EXISTING
1" = 5'



7B - W OLIVE AVENUE- PROPOSED
1" = 5'

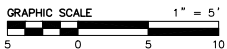


8 - EAST OF BUILDING- PROPOSED
1" = 5'



9 - NORTH OF BUILDING- PROPOSED
1" = 5'

NOTES
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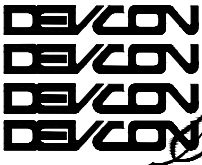
SECTIONS

JOB NO. 20201305
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NO.	DATE	DESCRIPTION	BY

PRELIMINARY GRADING
PLAN

JOB NO. 20201305

DATE: 5/23/2022

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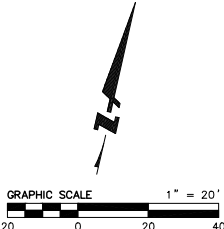
12 OF 17 SHEETS

EARTHWORK QUANTITIES

CUT: 130 CY
FILL: 2,710 CY
GARAGE CUT: 40,030 CY
NET: 37,450 CY EXPORT

EARTHWORK NOTES

1. EARTHWORK VOLUMES ARE IN-PLACE VOLUMES AND DO NOT ACCOUNT FOR SHRINKAGE, SWELLING, OR FOUNDATION ELEMENTS.
2. VOLUMES ASSUME A 30" THICK BUILDING PAD.



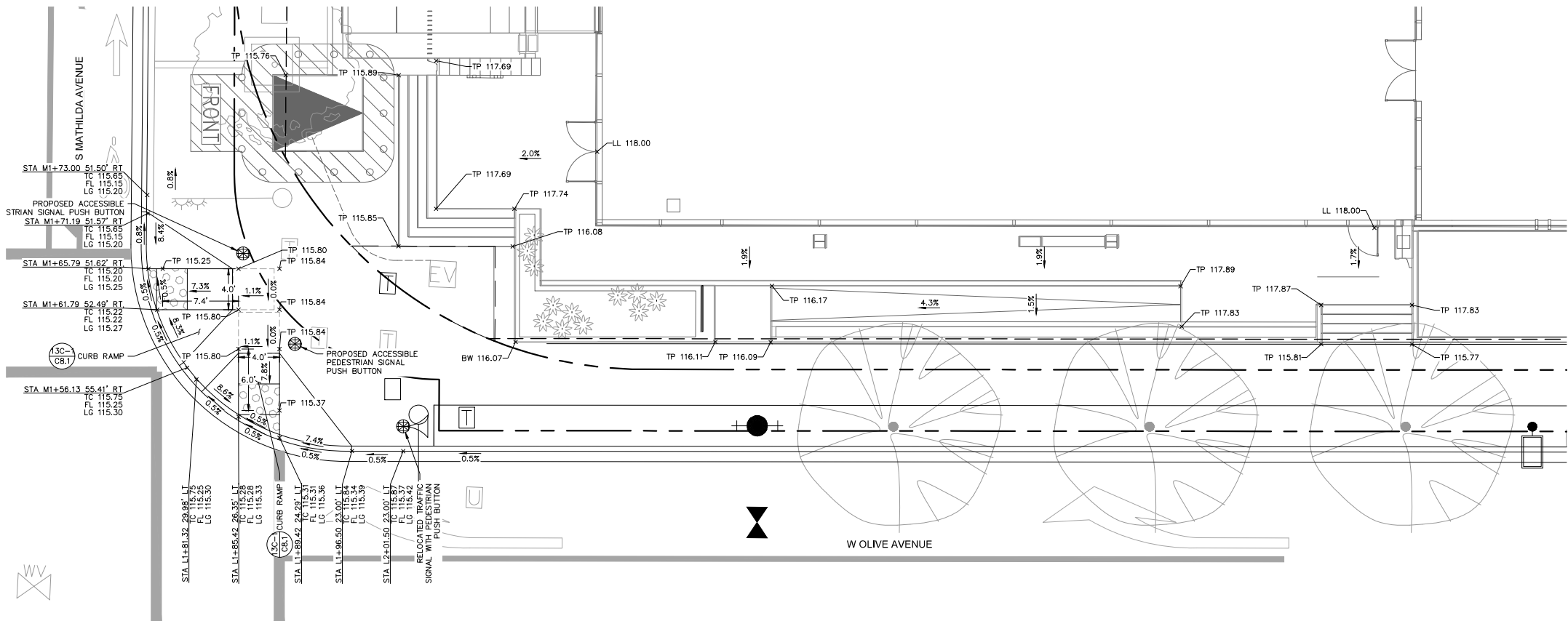


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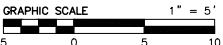
DETAILED GRADING PLAN

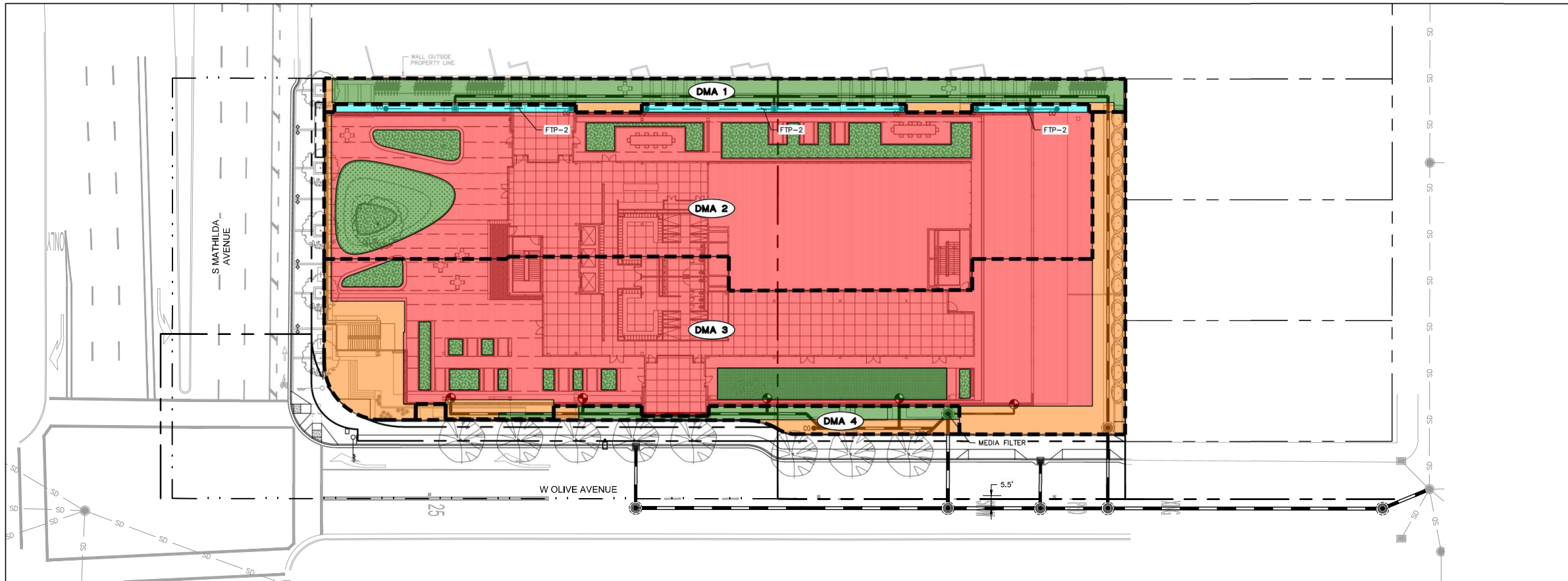
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C5.1

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DMA SUMMARY TABLE:

DMA NAME	DRAINS TO	ROOF/ PODIUM	PAVEMENT	PODIUM PLANTER	BIO- RETENTION	TOTAL (SF)	TREATMENT REQUIRED*	TREATMENT PROVIDED
DMA-1	SELF-RETAINING	0	739	3,349	0	4,088	N/A	N/A
DMA-2	FTP-2	18,842	190	3,283	924	23,239	761 SF	924 SF
DMA-3	MEDIA FILTER	15,994	4,722	2,178	0	22,894	3 CARTRIDGES	3 CARTRIDGES
DMA-4	INTERCEPTOR TREES	0	702	831	0	1,533	7 TREES	7 TREES
TOTAL (SF)		34,836	6,353	9,641	924	51,754		

*BIORETENTION AREA REQUIRED IS CALCULATED AS 4% OF DMA IMPERVIOUS AREA. MEDIA FILTER CARTRIDGES REQUIRED ARE CALCULATED BASED ON MANUFACTURER'S RECOMMENDATIONS. INTERCEPTOR TREES REQUIRED ARE CALCULATED BASED ON ONE NEW DECIDUOUS TREE PER 100 SF OF DMA IMPERVIOUS AREA.

LEGEND

- ROOF
- PAVEMENT
- PLANTER OR LS ON PODIUM
- FLOW THROUGH PLANTER
- DRAINAGE AREA BOUNDARY
- STORM DRAIN PIPE
- DRAINAGE AREA IDENTIFICATION

STORMWATER COMPLIANCE DATA

PER THE MUNICIPAL REGIONAL STORMWATER PERMIT ORDER NO. R2-0074, TRANSIT-ORIENTED DEVELOPMENT PROJECTS ARE ELIGIBLE FOR LOW IMPACT DESIGN TREATMENT REDUCTION CREDITS. THE LID TREATMENT REDUCTION CREDIT IS THE MAXIMUM PERCENTAGE OF THE AMOUNT OF RUNOFF THAT MAY BE TREATED WITH EITHER TREE-BOX-TYPE HIGH FLOWRATE BIOFILTERS OR VAULT-BASED HIGH FLOWRATE MEDIA FILTERS. THIS PROJECT IS CLASSIFIED AS A CATEGORY C SPECIAL PROJECT (TRANSIT-ORIENTED DEVELOPMENT) AND QUALIFIES FOR A TOTAL LID TREATMENT REDUCTION CREDIT OF 55% AS DESCRIBED BELOW.

SPECIAL PROJECT CATEGORY "C"

- IS THE PROJECT LOCATED WITHIN 1/2 MILE OF AN EXISTING OR PLANNED TRANSIT HUB OR WITHIN A PLANNED PRIORITY DEVELOPMENT AREA? YES, THE PROJECT IS WITHIN THE DOWNTOWN & CALTRAIN STATION PRIORITY DEVELOPMENT AREA.
- IS THE PROJECT CHARACTERIZED AS A NON-AUTO-RELATED USE? YES, IS A COMMERCIAL DEVELOPMENT.
- DOES THE PROJECT HAVE A MINIMUM DENSITY OF 25 DWELLING UNITS PER ACRE OR A MINIMUM FLOOR AREA RATIO OF 2:1? YES, THE PROJECT HAS A FLOOR AREA RATIO OF 2.5:1.

LOCATION CREDIT

25% TREATMENT REDUCTION CREDIT FOR PROJECTS WITHIN A PLANNED PDA.

DENSITY CREDIT

10% TREATMENT REDUCTION CREDIT FOR A FAR GREATER THAN 2:1.

MINIMIZED SURFACE PARKING CREDIT

20% TREATMENT REDUCTION CREDIT FOR HAVING NO SURFACE PARKING.

STORMWATER TREATMENT AREA DATA

TOTAL LID TREATMENT REDUCTION CREDIT = 55%

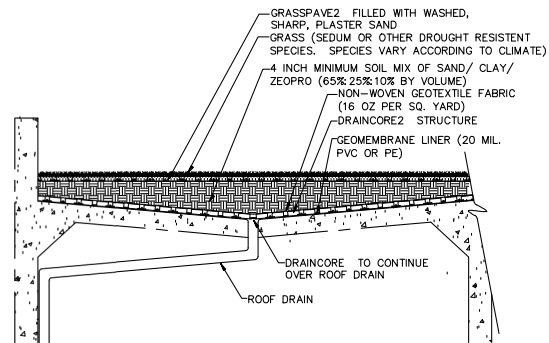
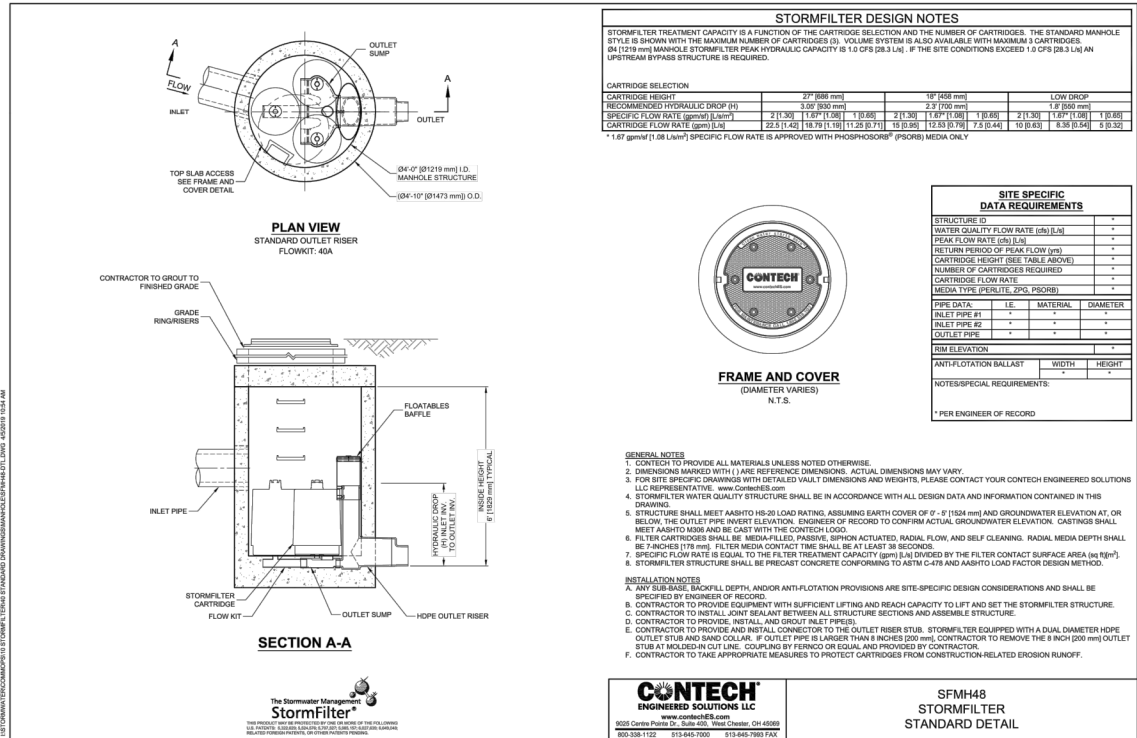
TOTAL IMPERVIOUS AREA = 41,189 SF

MAXIMUM AREA ALLOWED TO BE TREATED W/ NON-LID TREATMENT MEASURES (MEDIA FILTER) IMPERVIOUS AREA = 22,654 SF

MINIMUM AREA REQUIRED TO BE TREATED W/ LID TREATMENT MEASURES (FLOW THROUGH PLANTER) IMPERVIOUS AREA = 18,535 SF

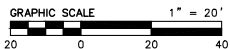
TOTAL IMPERVIOUS AREA TREATED BY W/ NON-LID TREATMENT MEASURES = 20,473 SF (50%)

TOTAL IMPERVIOUS AREA TREATED BY W/ LID TREATMENT MEASURES = 20,716 SF (50%)



Draincore2 roof drainage detail w/ grasspave2 reinforcement

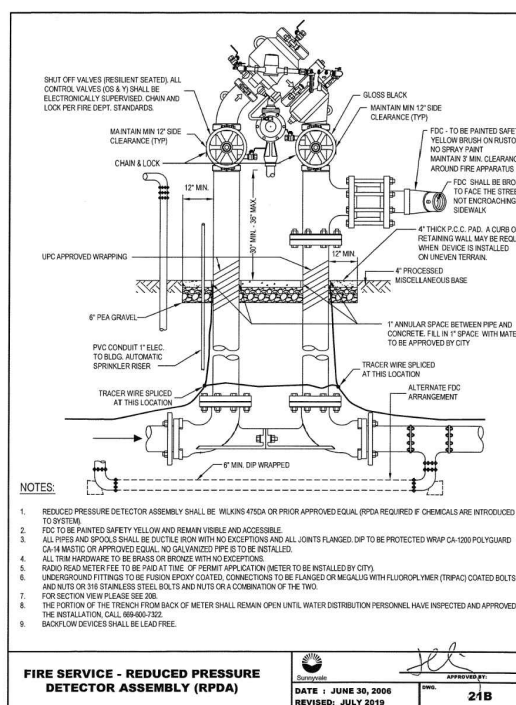
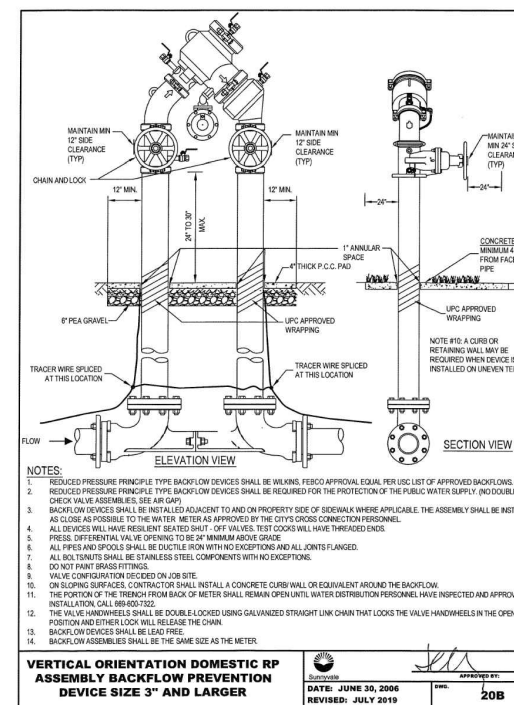
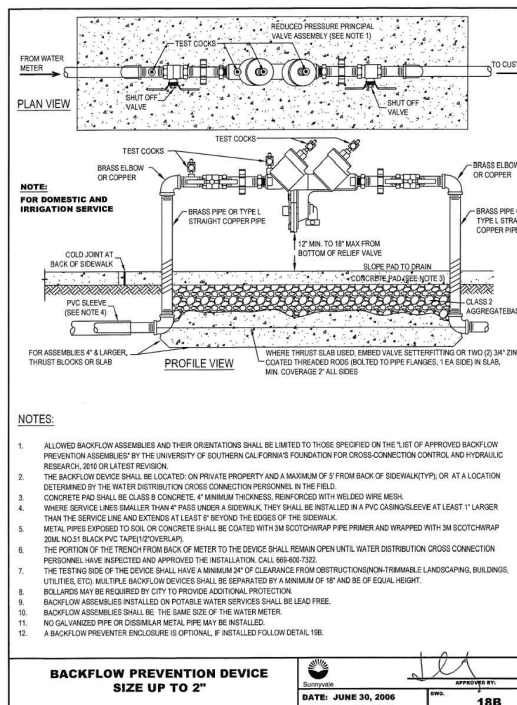
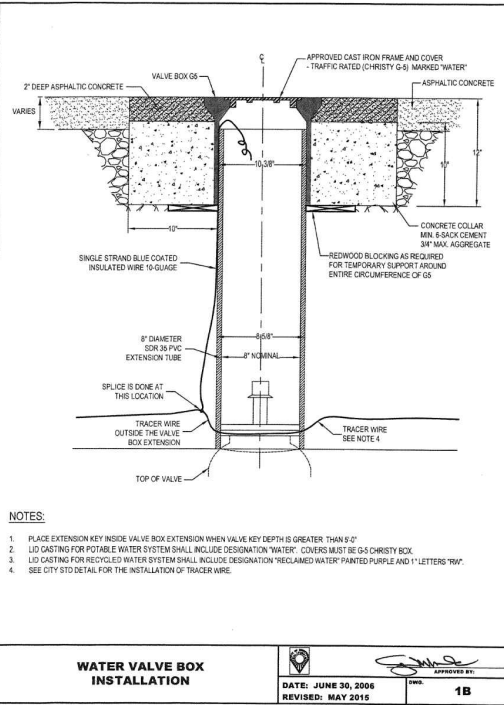
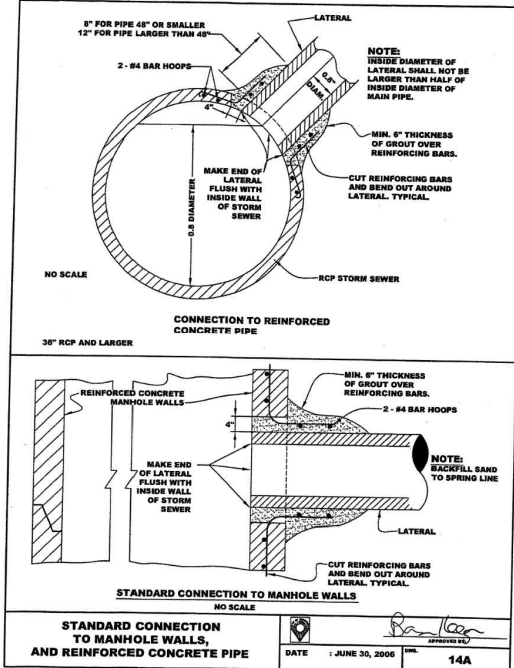
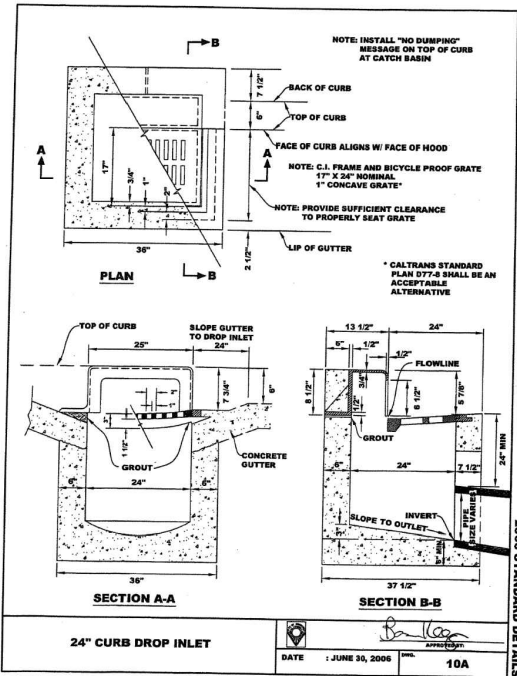
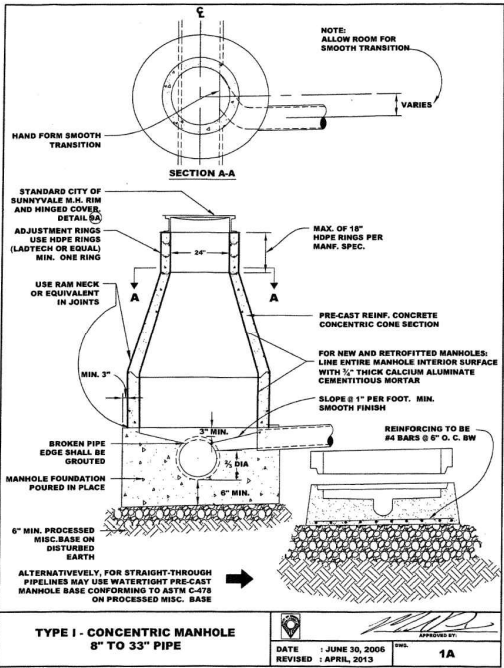
NOT TO SCALE CHOOSE THIS PRODUCT FOR ROOF DRAINAGE W/ TURF REINFORCEMENT



REVISIONS			
NO.	DATE	DESCRIPTION	BY

PRELIMINARY STORMWATER CONTROL PLAN

JOB NO. 20201305	SHEET NO. C7.0 15 OF 17 SHEETS
DATE: 5/23/2022	
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	



GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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REVISIONS			
NO.	DATE	DESCRIPTION	BY

SUNNYVALE STANDARD
DETAILS

JOB NO. 20201305	SHEET NO. C8.0
DATE: 5/23/2022	
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	
16 OF 17 SHEETS	

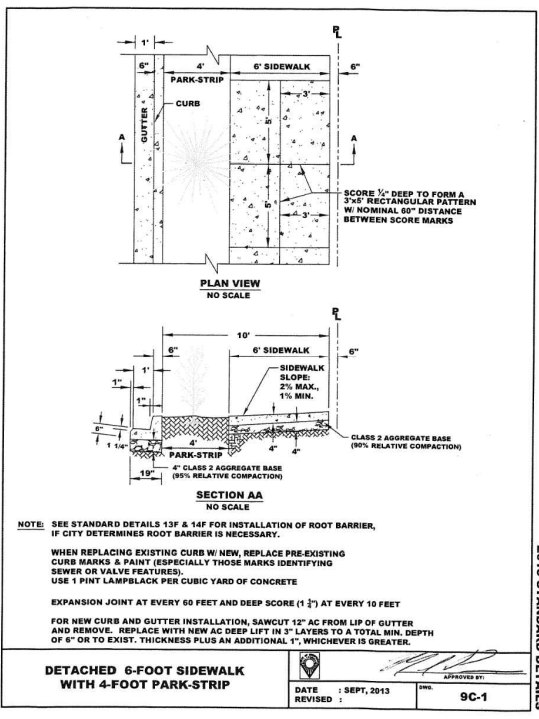
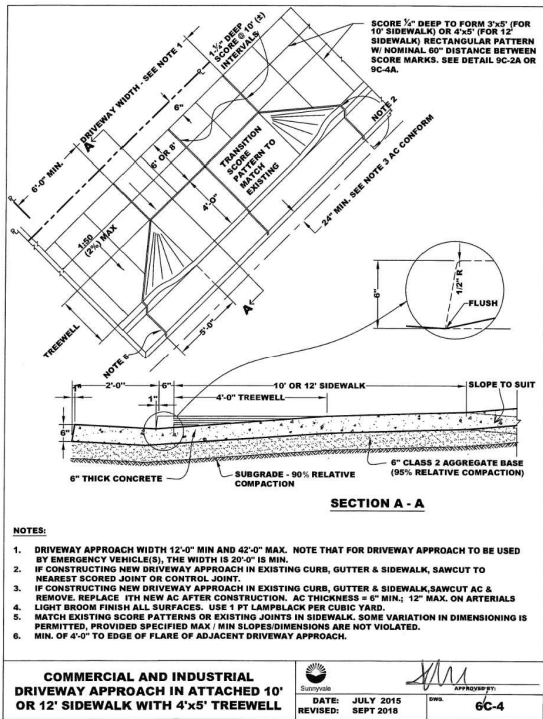


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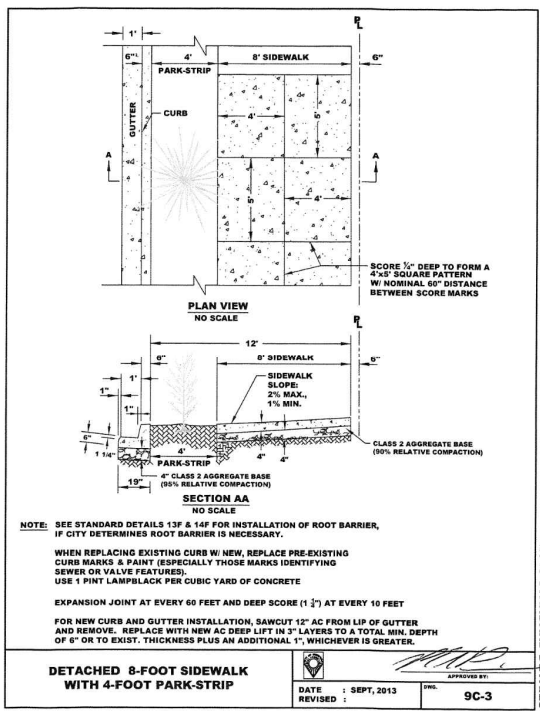
690 Gibraltar Drive
Milpitas, California 95035
(408)942-8200 Lic. #399163



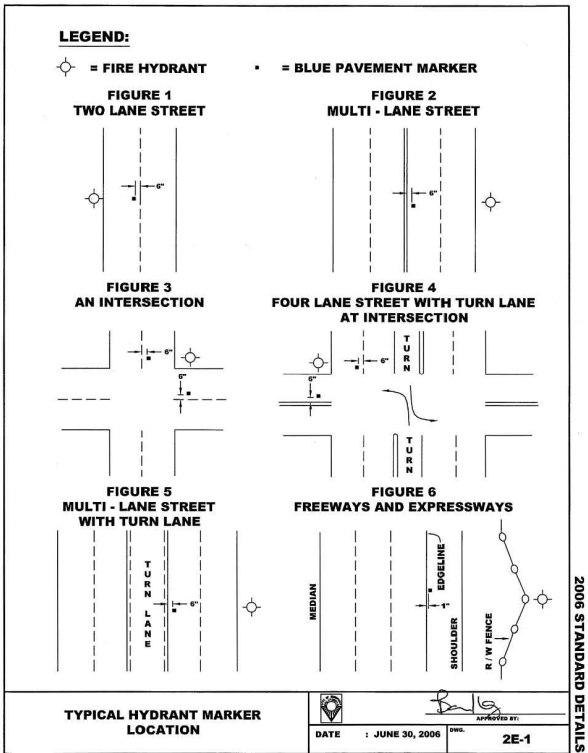
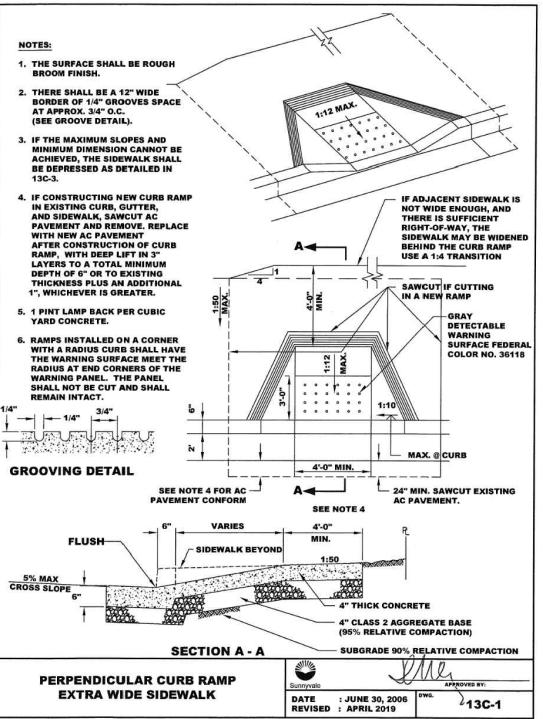
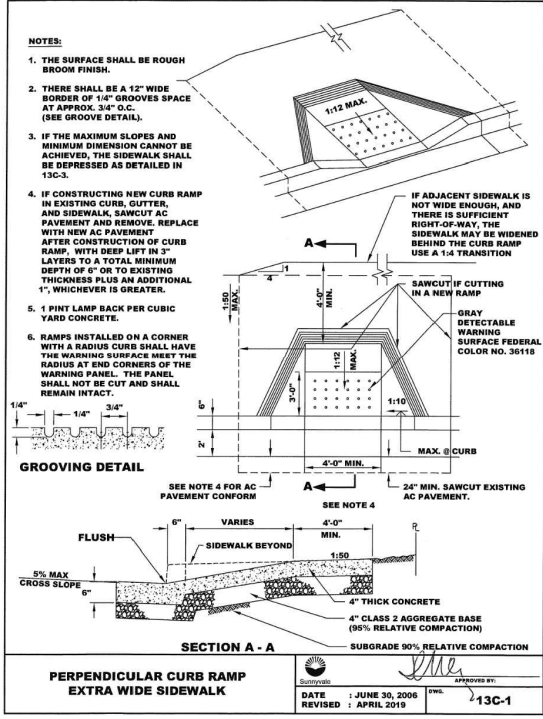
150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com



2013 STANDARD DETAILS



2013 STANDARD DETAILS



2006 STANDARD DETAILS

GENERAL NOTES:
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

SUNNYVALE STANDARD DETAILS

JOB NO. 20201305	SHEET NO. C8.1
DATE: 5/23/2022	
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	
17 OF 17 SHEETS	

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PICKARD CHILTON

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www.pickardchilton.com

SITE PLAN LEGEND

KB

KNOX BOX

FIRE DEPARTMENT CONNECTION
PER FIRE SPRINKLER DWGS

FIRE HYDRANT PER CIVIL

VISION TRIANGLE

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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

ARCHITECTURAL SITE PLAN - SETBACKS

JOB NO. 21-018

DATE: 05/23/22

DRAWN: CSP

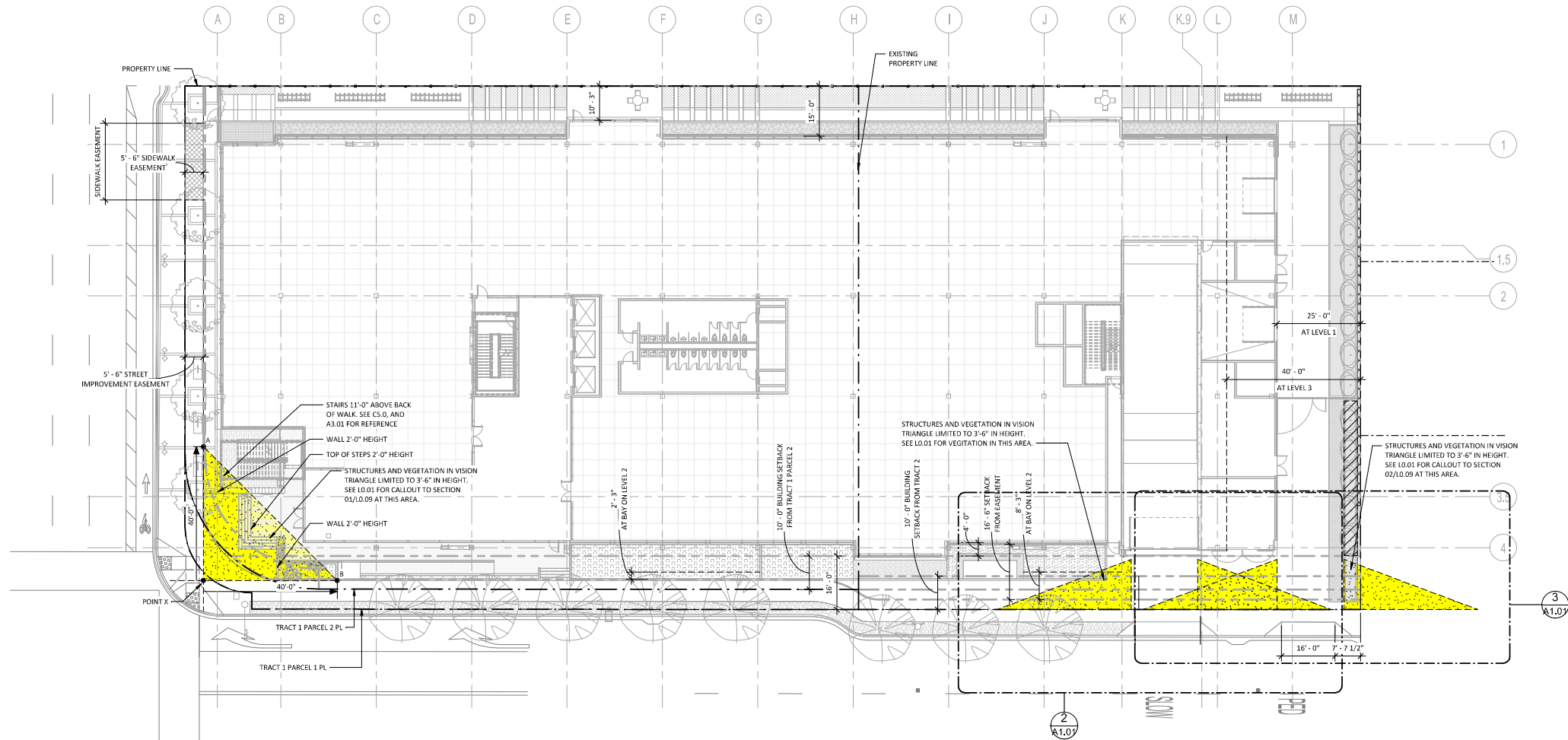
CHECKED: AG

ISSUE: PLN RESUBMITTAL

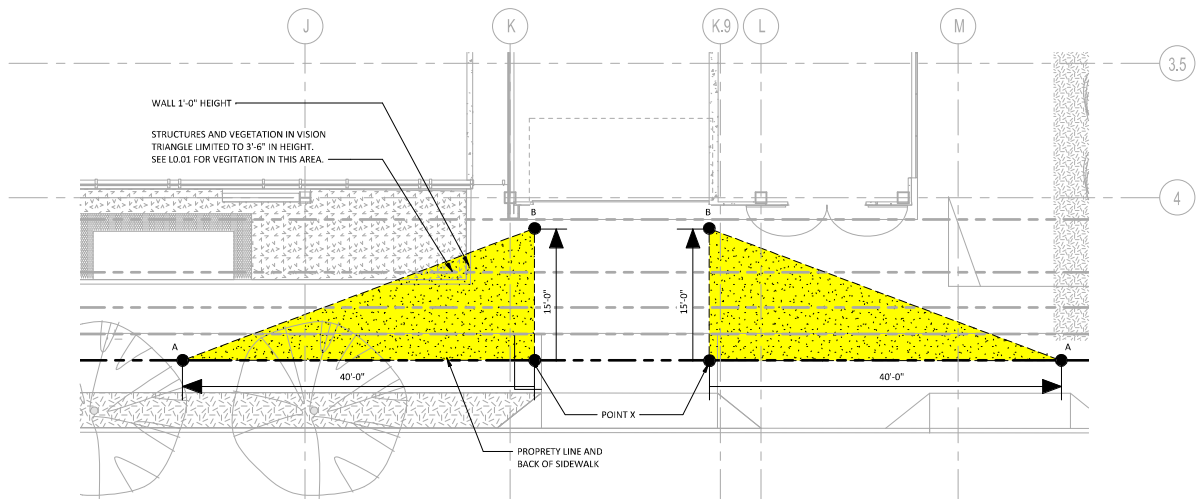
SHEET NO.

A1.01

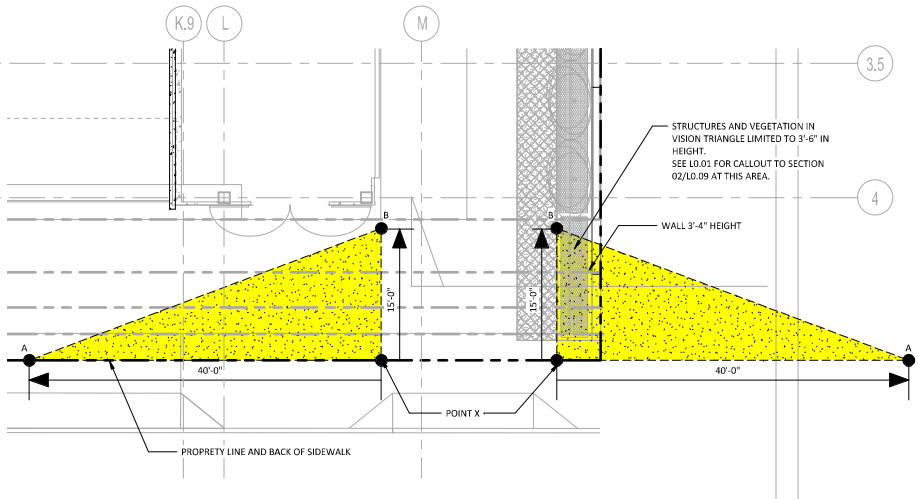
OF SHEETS



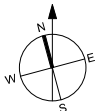
1 SITE PLAN - SETBACKS
1/16" = 1'-0"



2 SITE PLAN - SETBACKS - PARKING GARAGE VIEW TRIANGLE
1/8" = 1'-0"



3 SITE PLAN - SETBACKS - BACK OF HOUSE DRIVEWAY
1/8" = 1'-0"



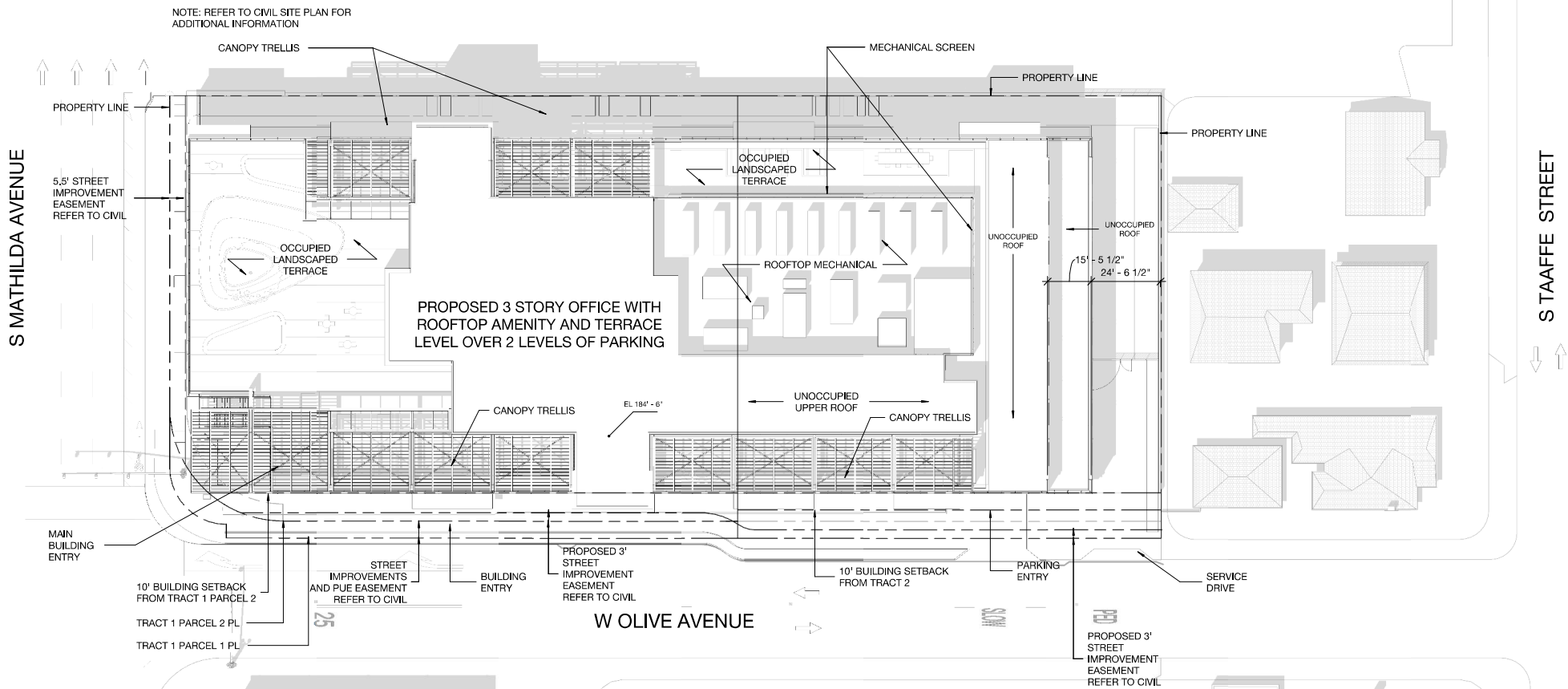


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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	4/13/21	Planning Submittal	
2	6/23/21	CEQA PLANS	
3	7/02/21	Planning Resubmittal	
4	1/19/22	Planning Resubmittal	
5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

ARCHITECTURAL SITE PLAN

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

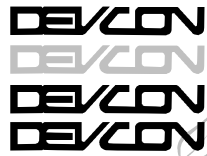
SHEET NO.

A1.10

OF SHEETS

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Downtown Sunnyvale

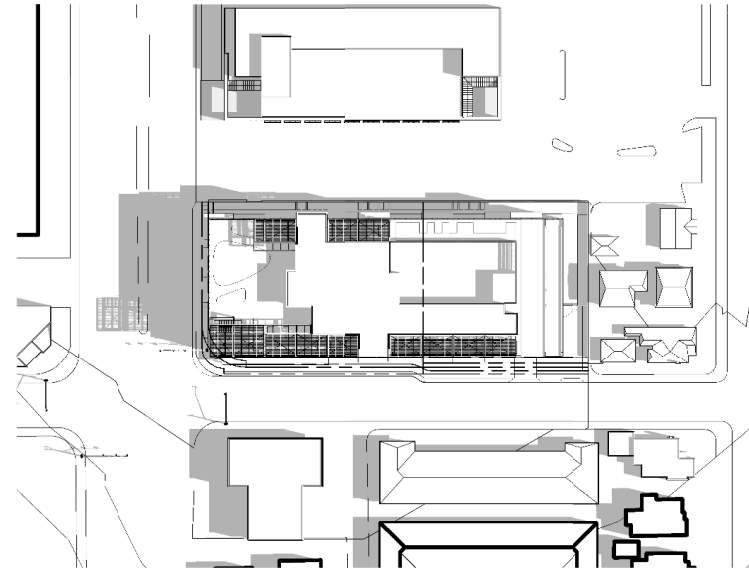


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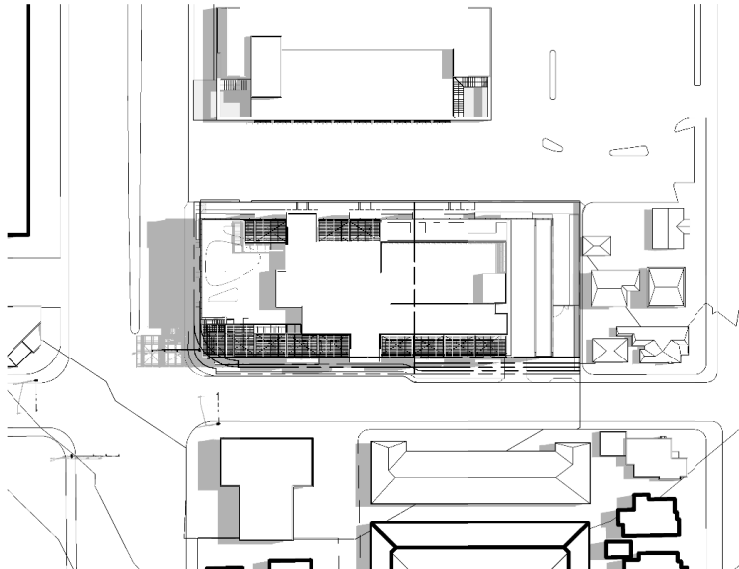
690 Gibraltar Drive
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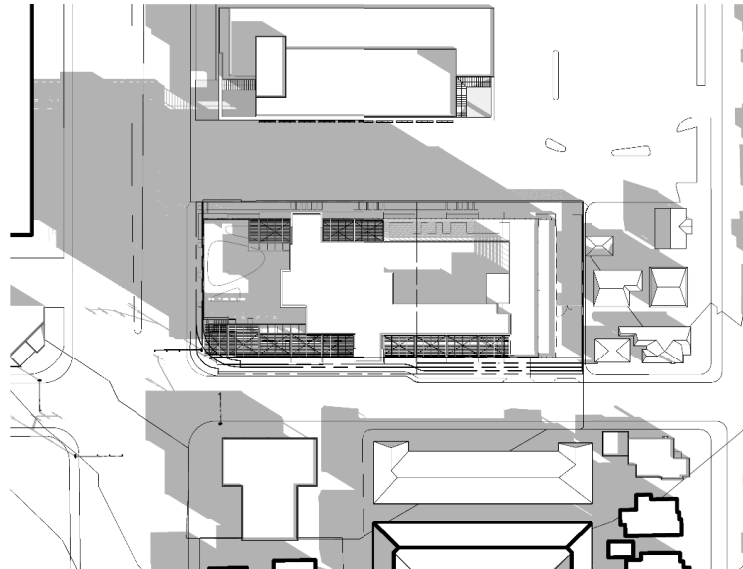
980 Chapel Street
New Haven, Connecticut 06510
tel. 203.786.8600 fax. 203.786.8610
www.pickardchilton.com



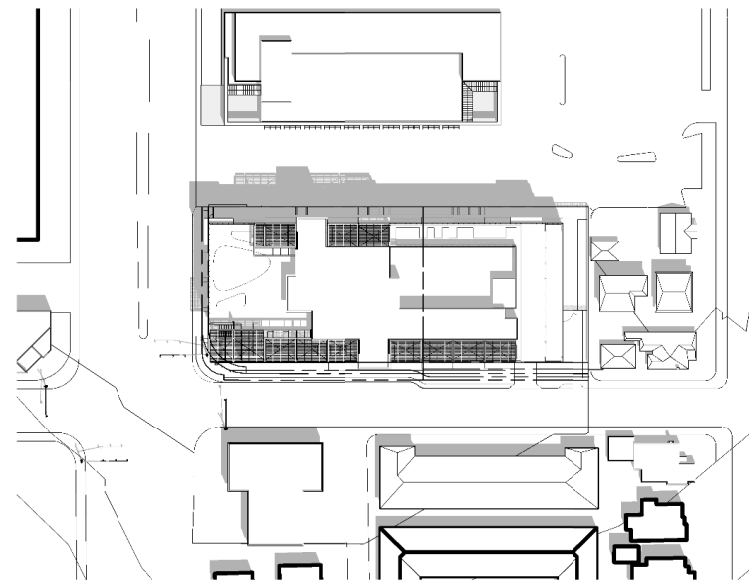
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1/64" = 1'-0"



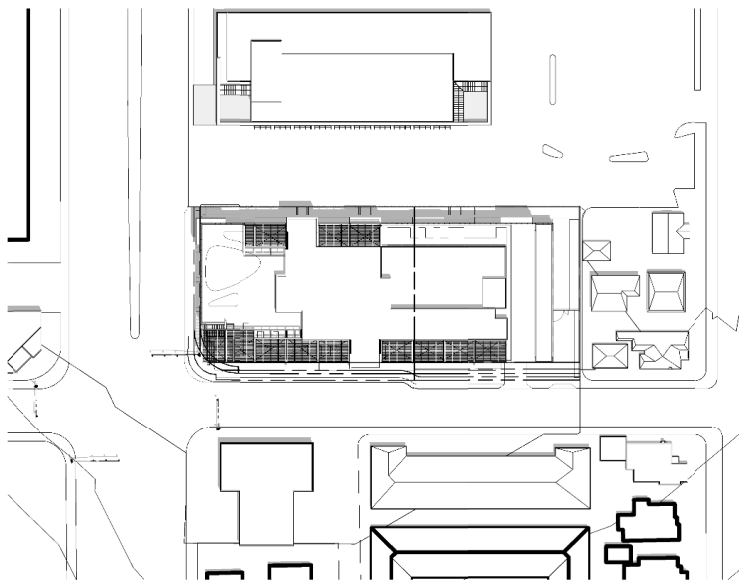
2 SUMMER 9AM
1/64" = 1'-0"



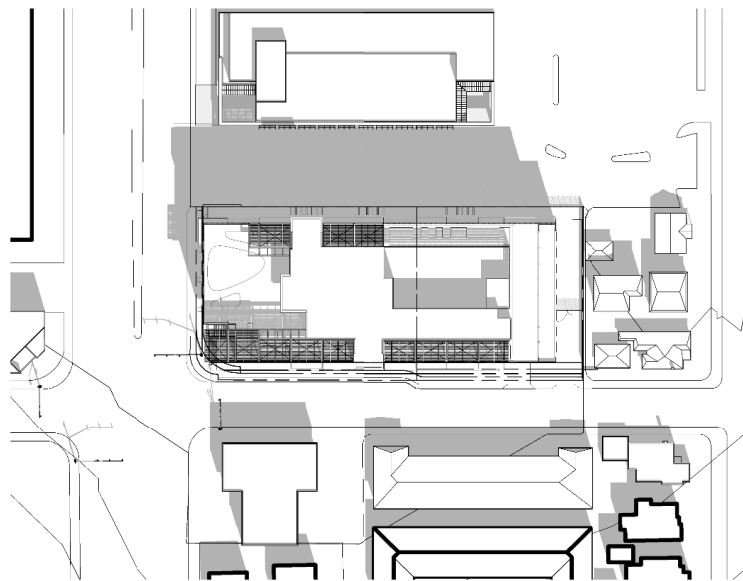
3 WINTER 9AM
1/64" = 1'-0"



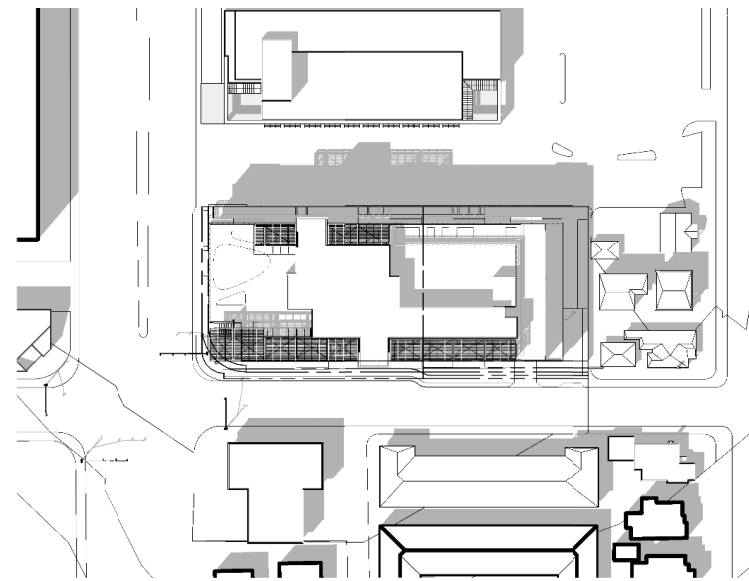
4 SPRING/FALL NOON
1/64" = 1'-0"



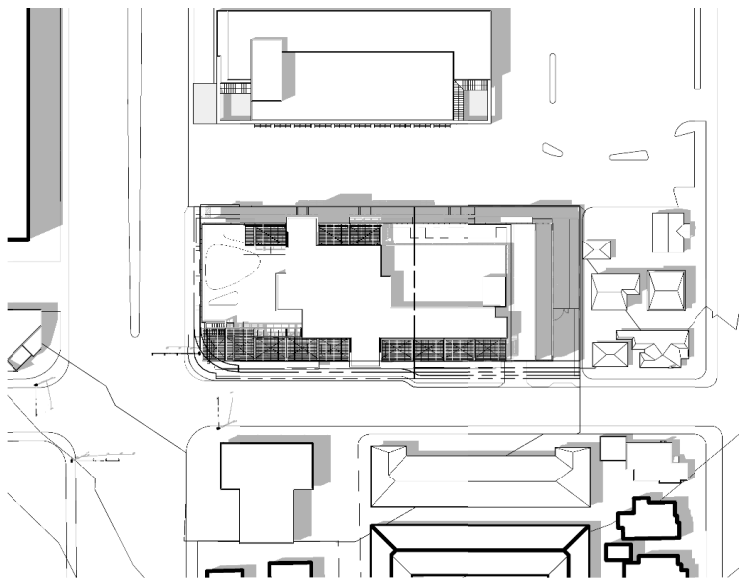
5 SUMMER NOON
1/64" = 1'-0"



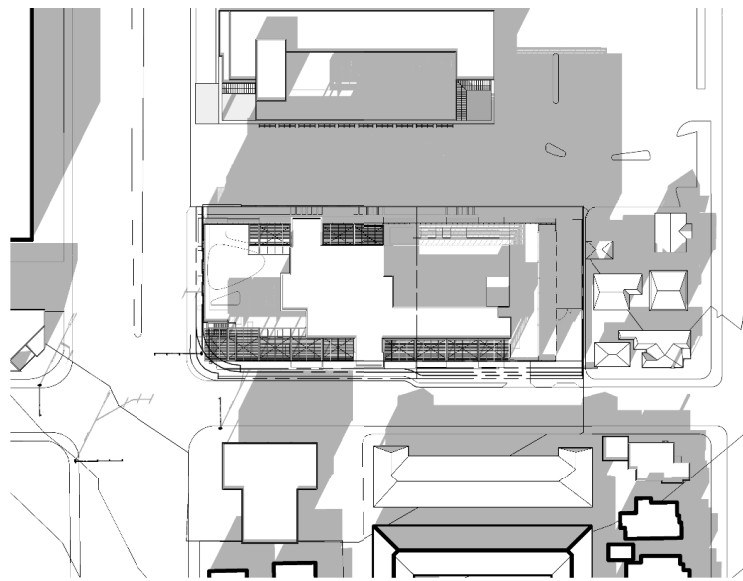
6 WINTER NOON
1/64" = 1'-0"



7 SPRING/FALL 3PM
1/64" = 1'-0"



8 SUMMER 3PM
1/64" = 1'-0"



9 WINTER 3PM
1/64" = 1'-0"



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3	7/02/21	Planning Resubmittal	
4	1/19/22	Planning Resubmittal	
5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

SHADOW STUDY

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.

A1.20

OF SHEETS

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560 14th Street, Suite 300
Oakland, California 94612
T: 510.473.0300 F: 510.473.0310

PLAN LEGEND

--- SITE BOUNDARY. REFER TO CIVIL DRAWINGS.



STACKED BIKE RACK



ELECTRIC VEHICLE CHARGER

NOTES:

1. THE SUNNYVALE MUNICIPAL CODE REQUIRES 35% OF THE PARKING SPACES TO BE CONDUIT READY FOR FUTURE ELECTRICAL VEHICLE CHARGERS AND ANOTHER 35% OF THE PARKING SPACES TO HAVE A LEVEL 2 ELECTRICAL VEHICLE CHARGER INSTALLED.

PARKING COUNT

LEVEL B2	
STANDARD	21
TANDEM	21
STANDARD EVCS	50
STANDARD EVCS (CAPABLE)	49
B2 PARKING COUNT =	
141 SPACES	

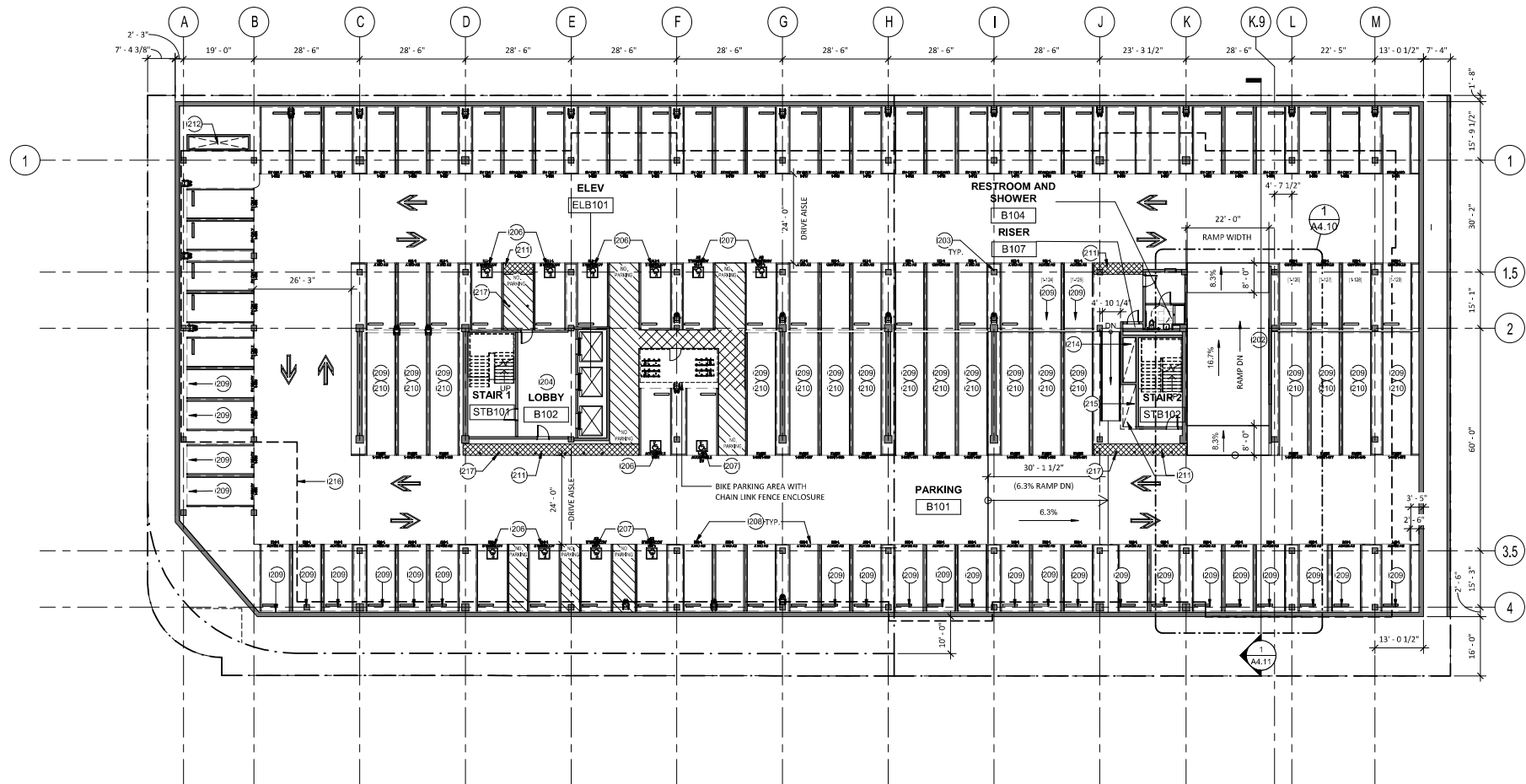
LEVEL B1	
STANDARD	15
TANDEM	17
STANDARD EVCS	40
STANDARD EVCS (CAPABLE)	45
ACCESSIBLE (STANDARD)	5
ACCESSIBLE (EVCS)	2
ACCESSIBLE (VAN)	2
ACCESSIBLE (VAN-EVCS)	1
AMBULATORY (EVCS)	2
B1 PARKING COUNT =	
129 SPACES	

TOTAL PARKING COUNT =	
270 SPACES	
PERCENTAGE EVCS =	
35%	
PERCENT EVCS CAPABLE =	
35%	

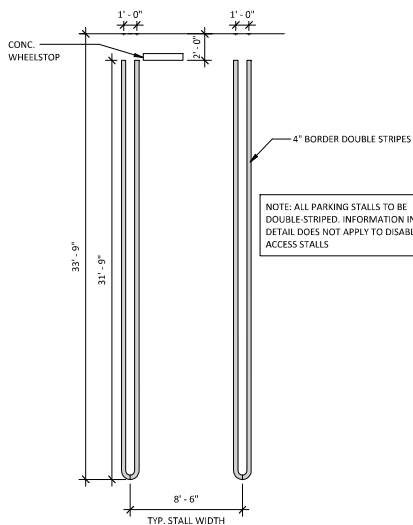
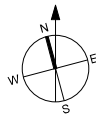
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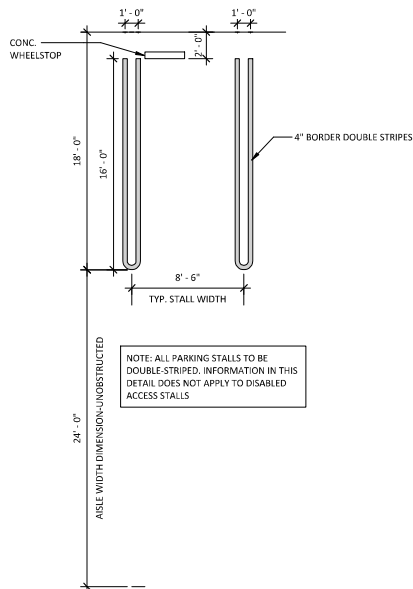
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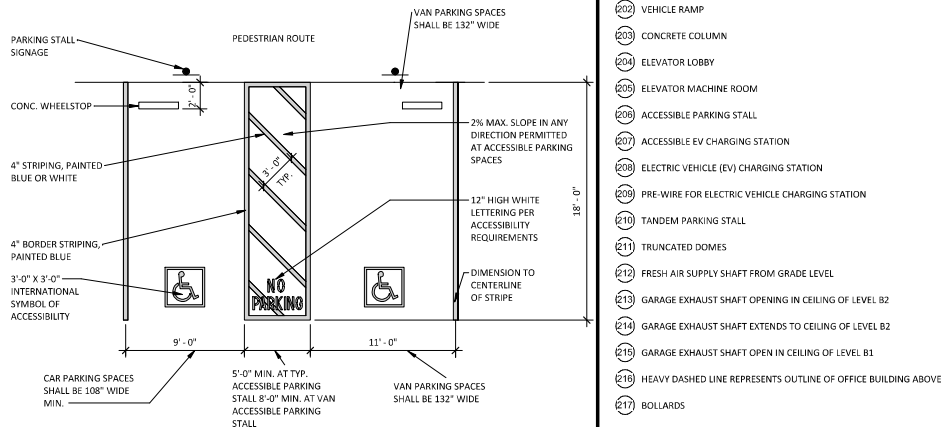
1 LEVEL B1
1/16" = 1'-0"



C TANDUM PARKING STALL DIAGRAM
3/16" = 1'-0"



B STANDARD PARKING STALL DIAGRAM
3/16" = 1'-0"



A ADA PARKING STALL DIAGRAM
3/16" = 1'-0"

PLAN KEYNOTES

- (201) VEHICLE ENTRY
- (202) VEHICLE RAMP
- (203) CONCRETE COLUMN
- (204) ELEVATOR LOBBY
- (205) ELEVATOR MACHINE ROOM
- (206) ACCESSIBLE PARKING STALL
- (207) ACCESSIBLE EV CHARGING STATION
- (208) ELECTRIC VEHICLE (EV) CHARGING STATION
- (209) PRE-WIRE FOR ELECTRIC VEHICLE CHARGING STATION
- (210) TANDEM PARKING STALL
- (211) TRUNCATED DOMES
- (212) FRESH AIR SUPPLY SHAFT FROM GRADE LEVEL
- (213) GARAGE EXHAUST SHAFT OPENING IN CEILING OF LEVEL B2
- (214) GARAGE EXHAUST SHAFT EXTENDS TO CEILING OF LEVEL B2
- (215) GARAGE EXHAUST SHAFT OPEN IN CEILING OF LEVEL B1
- (216) HEAVY DASHED LINE REPRESENTS OUTLINE OF OFFICE BUILDING ABOVE
- (217) BOLLARDS

REVISIONS

NO.	DATE	DESCRIPTION	BY

LEVEL B1 PLAN

JOB NO. 21-018

DATE: 05/23/22

DRAWN: MZ

CHECKED: AG

ISSUE: PLN RESUBMITTAL

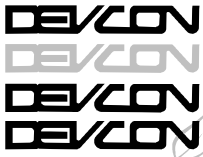
SHEET NO.

A2.01

OF SHEETS

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Oakland, California 94612
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PLAN LEGEND

--- SITE BOUNDARY, REFER TO CIVIL DRAWINGS.



STACKED BIKE RACK



ELECTRIC VEHICLE CHARGER

NOTES:

1. THE SUNNYVALE MUNICIPAL CODE REQUIRES 35% OF THE PARKING SPACES TO BE CONDUIT READY FOR FUTURE ELECTRICAL VEHICLE CHARGERS AND ANOTHER 35% OF THE PARKING SPACES TO HAVE A LEVEL 2 ELECTRICAL VEHICLE CHARGER INSTALLED.

PARKING COUNT

LEVEL B2	
STANDARD	21
TANDEM	21
STANDARD EVCS	50
STANDARD EVCS (CAPABLE)	49
B2 PARKING COUNT =	141 SPACES

LEVEL B1	
STANDARD	15
TANDEM	17
STANDARD EVCS	40
STANDARD EVCS (CAPABLE)	45
ACCESSIBLE (STANDARD)	5
ACCESSIBLE (EVCS)	2
ACCESSIBLE (VAN)	2
ACCESSIBLE (VAN-EVCS)	1
AMBULATORY (EVCS)	2

B1 PARKING COUNT =	129 SPACES
TOTAL PARKING COUNT =	270 SPACES
PERCENTAGE EVCS =	35%
PERCENT EVCS CAPABLE =	35%

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REVISIONS

NO.	DATE	DESCRIPTION	BY

LEVEL B2 PLAN

JOB NO. 21-018

DATE: 05/23/22

DRAWN: CSP

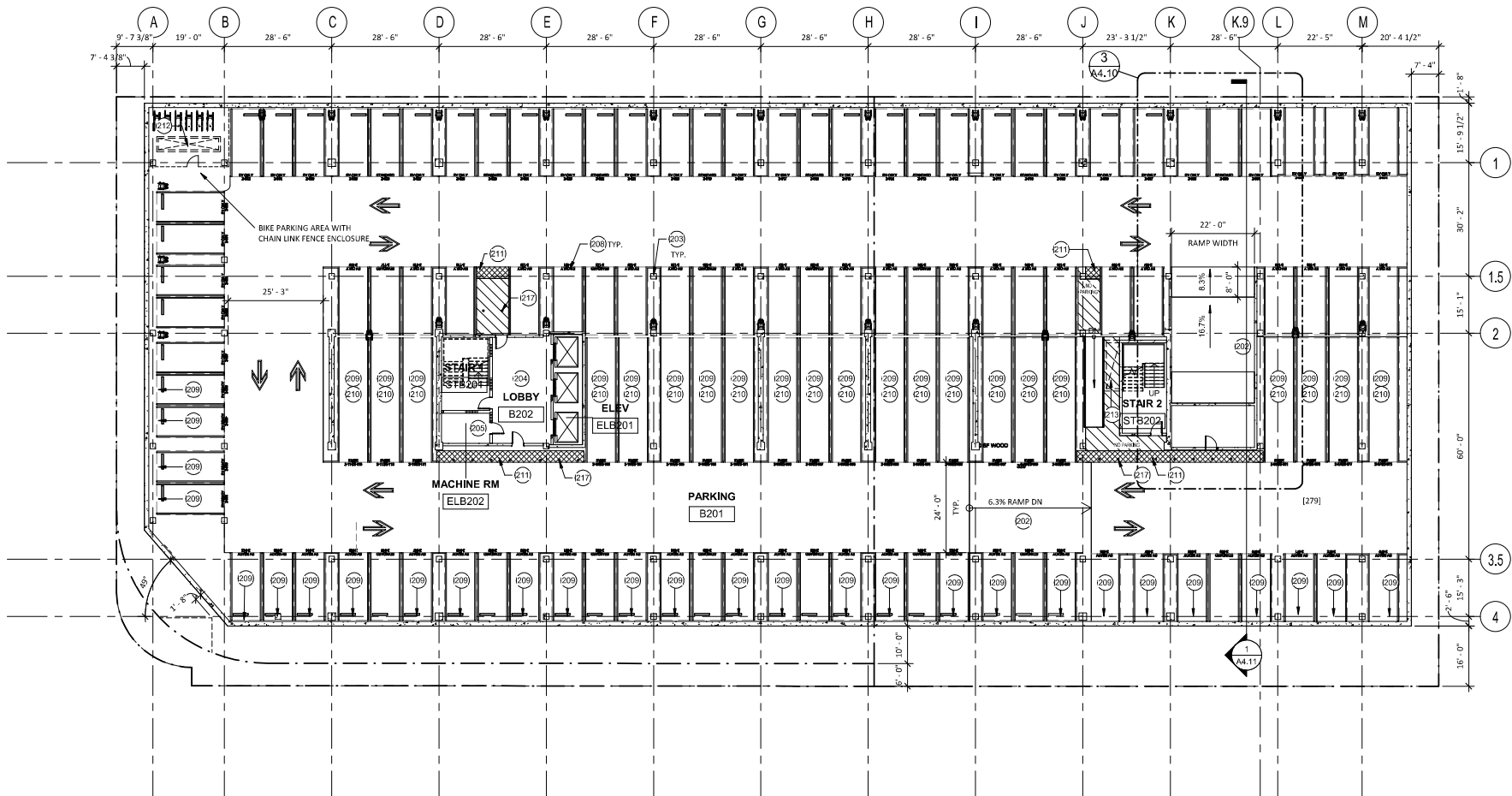
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ISSUE: PLN RESUBMITTAL

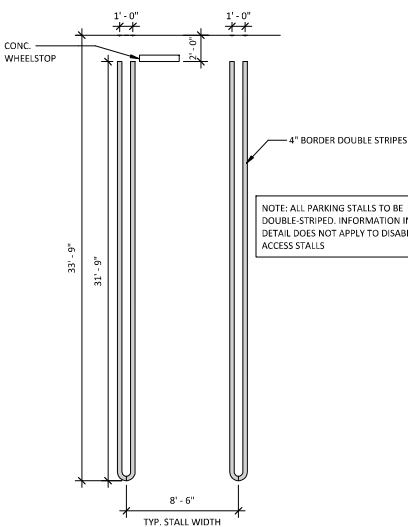
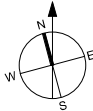
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A2.02

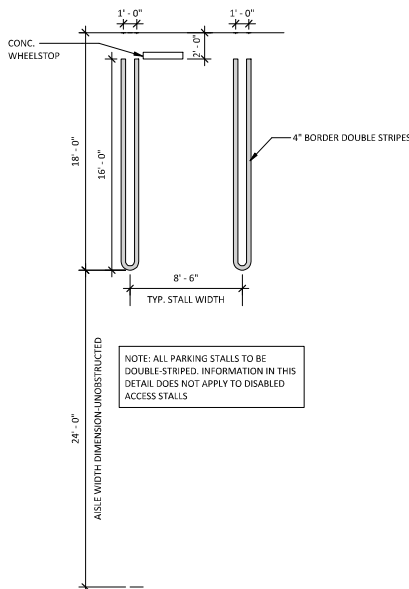
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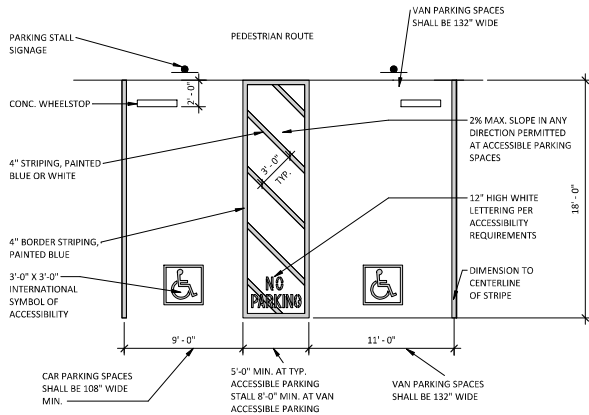
1 LEVEL B2
1/16" = 1'-0"



C TANDUM PARKING STALL DIAGRAM
3/16" = 1'-0"



B STANDARD PARKING STALL DIAGRAM
3/16" = 1'-0"



A ADA PARKING STALL DIAGRAM
3/16" = 1'-0"

PLAN KEYNOTES

- (201) VEHICLE ENTRY
- (202) VEHICLE RAMP
- (203) CONCRETE COLUMN
- (204) ELEVATOR LOBBY
- (205) ELEVATOR MACHINE ROOM
- (206) ACCESSIBLE PARKING STALL
- (207) ACCESSIBLE EV CHARGING STATION
- (208) ELECTRIC VEHICLE (EV) CHARGING STATION
- (209) PRE-WIRE FOR ELECTRIC VEHICLE CHARGING STATION
- (210) TANDEM PARKING STALL
- (211) TRUNCATED DOMES
- (212) FRESH AIR SUPPLY SHAFT FROM GRADE LEVEL
- (213) GARAGE EXHAUST SHAFT OPENING IN CEILING OF LEVEL B2
- (214) GARAGE EXHAUST SHAFT EXTENDS TO CEILING OF LEVEL B2
- (215) GARAGE EXHAUST SHAFT OPEN IN CEILING OF LEVEL B1
- (216) HEAVY DASHED LINE REPRESENTS OUTLINE OF OFFICE BUILDING ABOVE
- (217) BOLLARDS

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

LEVEL 1 PLAN

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

CHECKED: Checker

ISSUE: Schematic Design

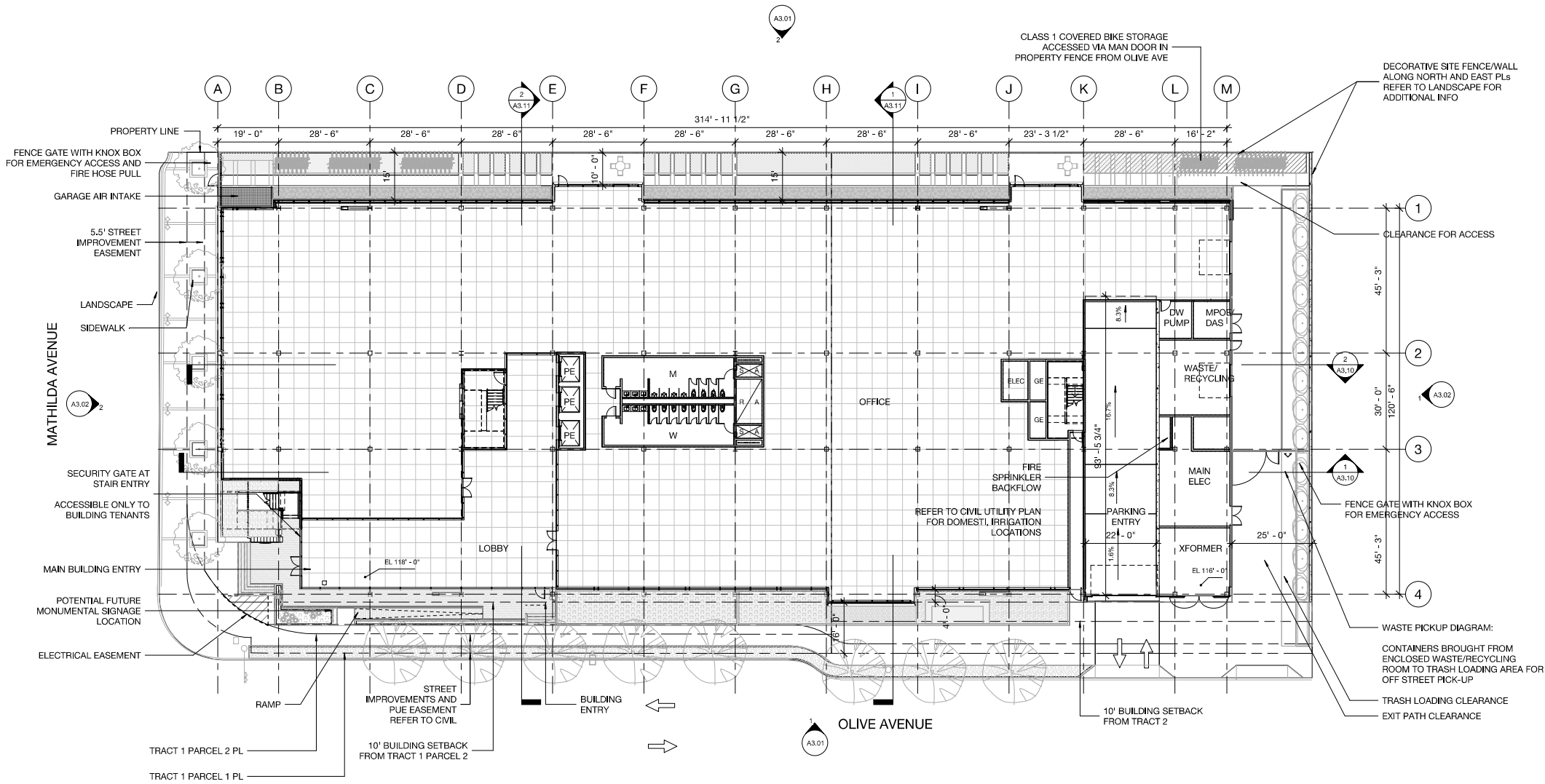
SHEET NO.

A2.11

OF SHEETS

NOTES

1. REFER TO LANDSCAPE AND CIVIL FOR ADDITIONAL SITE DESIGN INFORMATION



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5	3/22/22	Planning Resubmittal	
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7	5/23/22	Planning Resubmittal	

LEVEL 2 PLAN

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

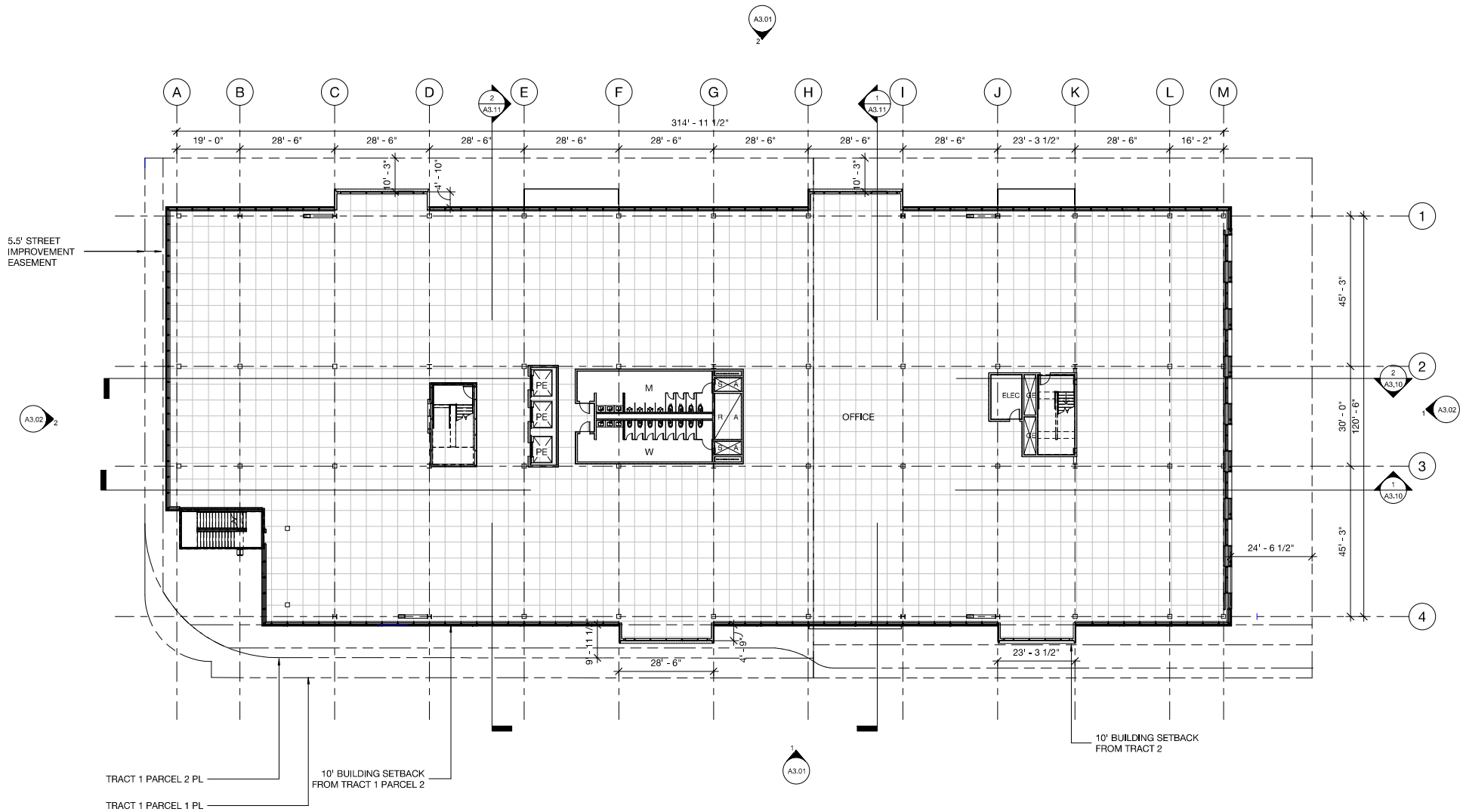
CHECKED: Checker

ISSUE: Schematic Design

SHEET NO.

A2.12

OF SHEETS



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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

LEVEL 3 PLAN

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

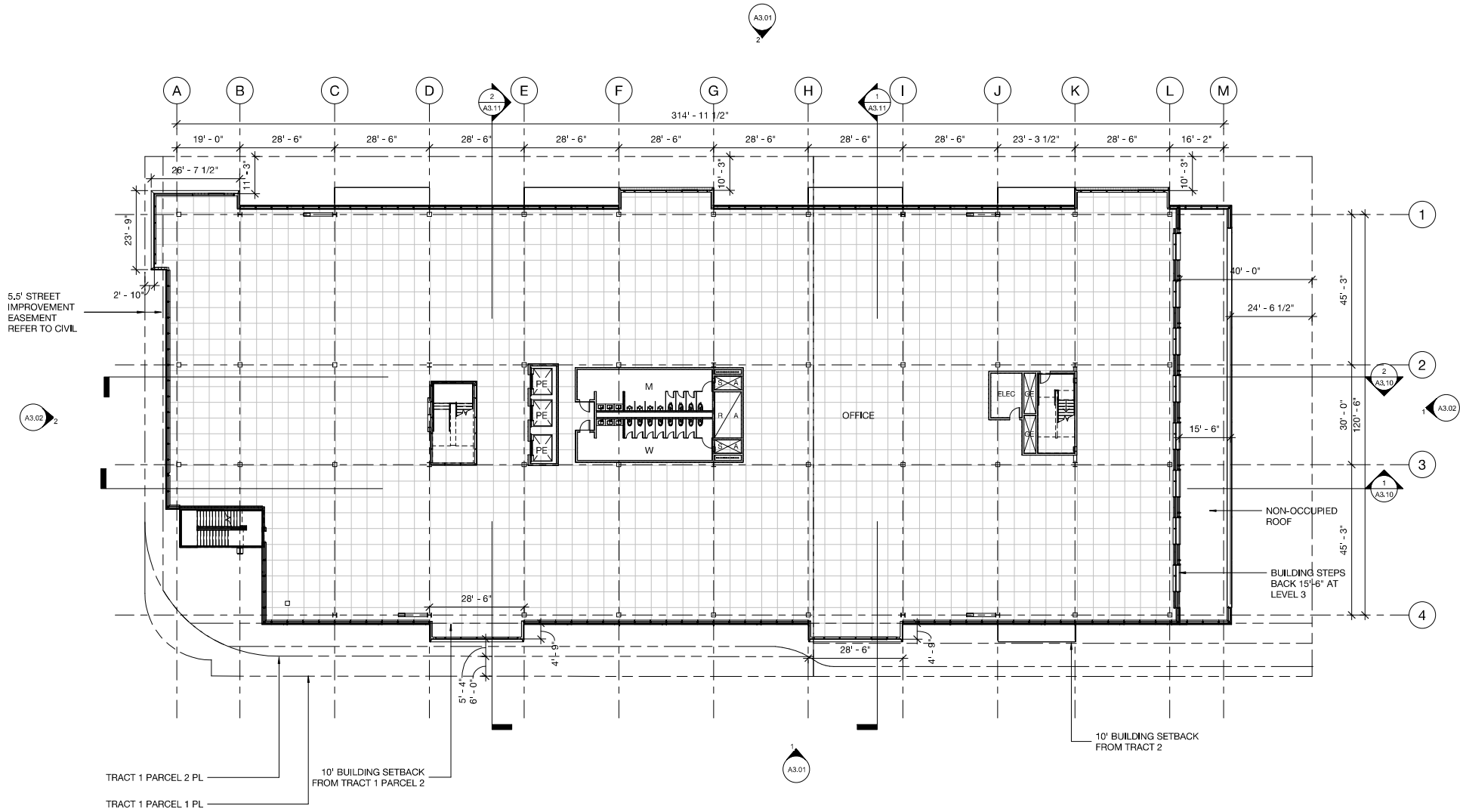
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ISSUE: Schematic Design

SHEET NO.

A2.13

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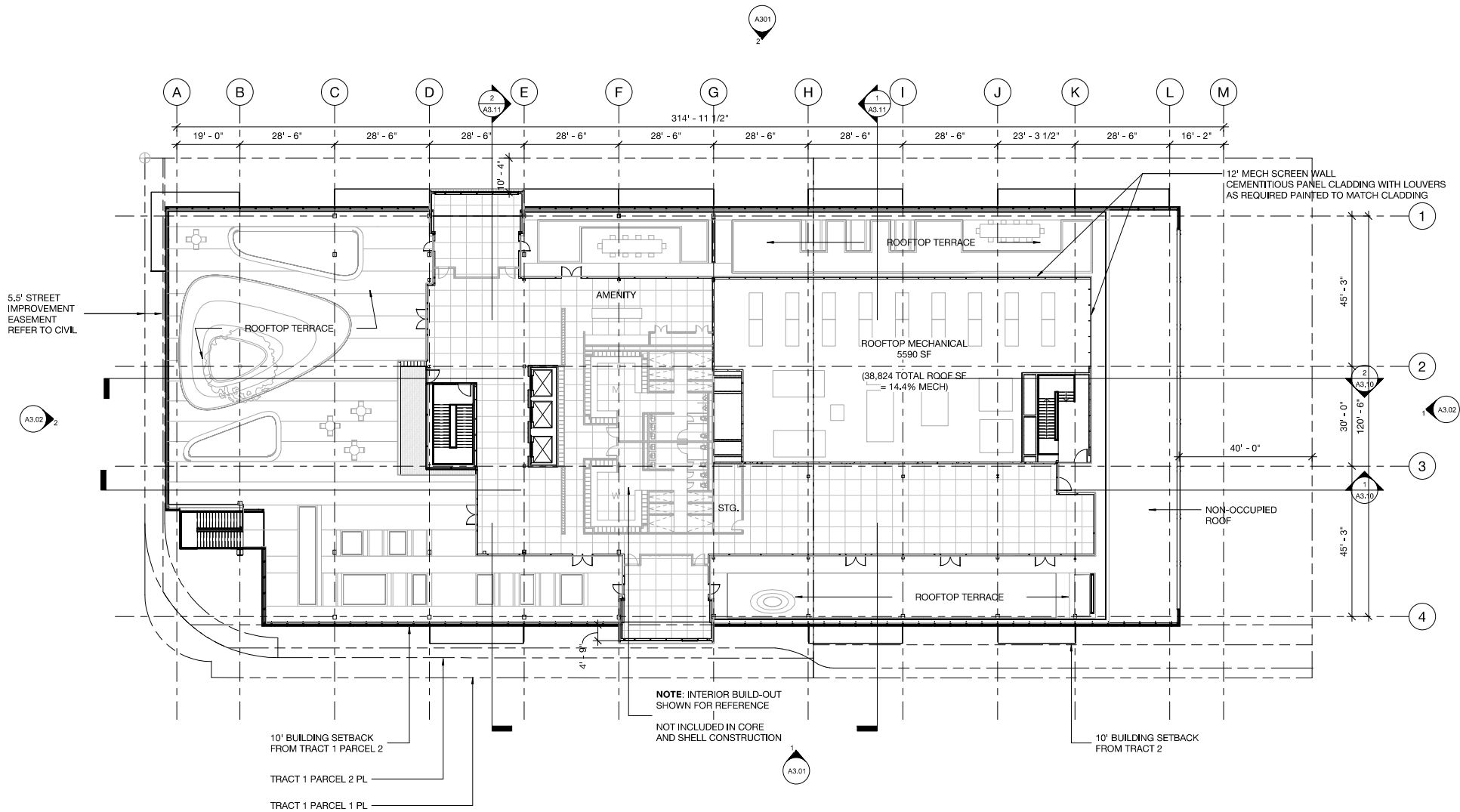
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- NOTES
- REFER TO LANDSCAPE
DWG. FOR ROOF
TERRACE DESIGN



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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

LEVEL 4 PLAN

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.
A2.14
OF SHEETS

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

ROOF PLAN

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

CHECKED: Checker

ISSUE: Schematic Design

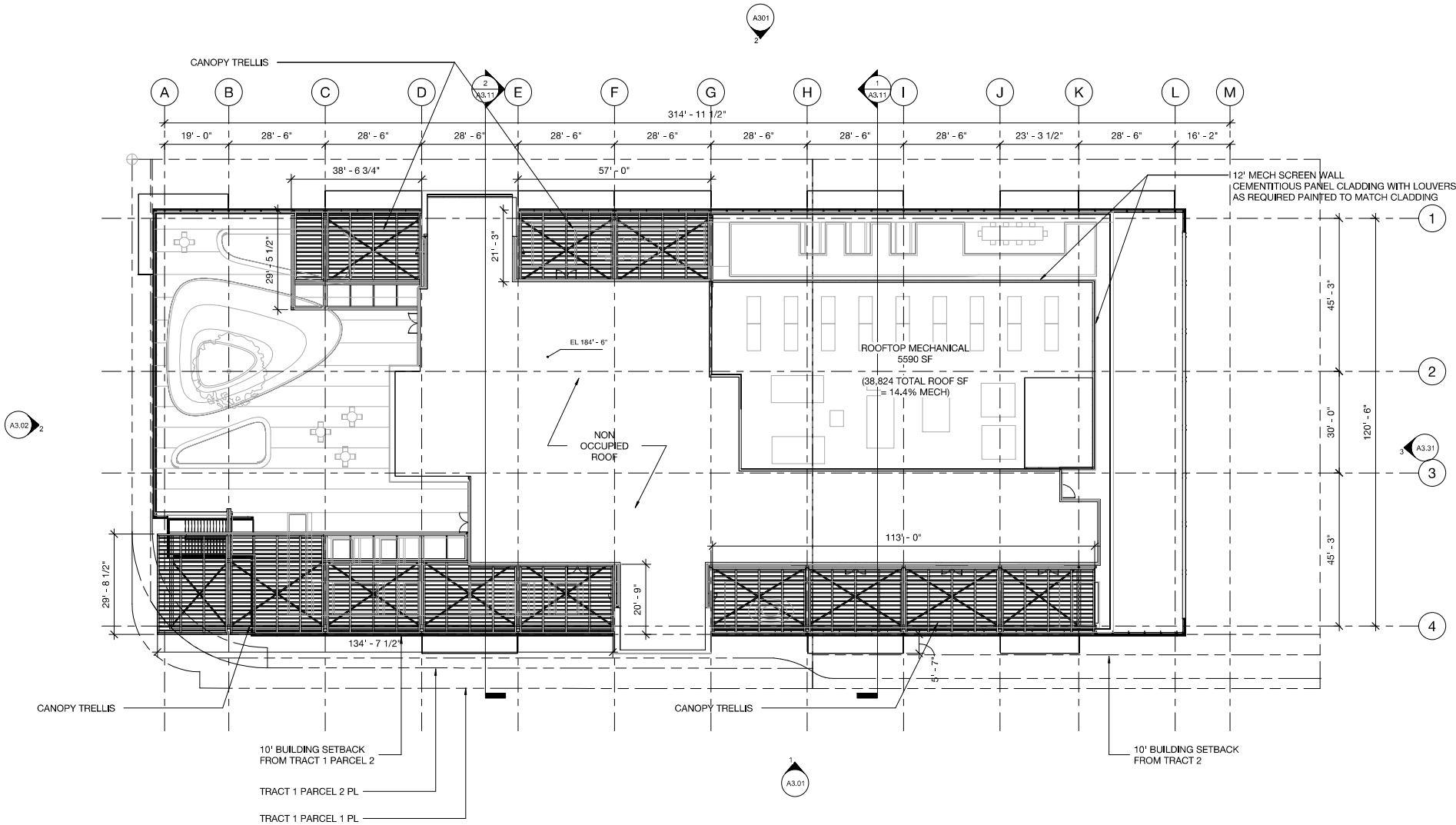
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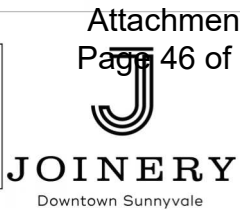
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OF SHEETS

NOTES

1. REFER TO LANDSCAPE DWG. FOR ROOF TERRACE DESIGN

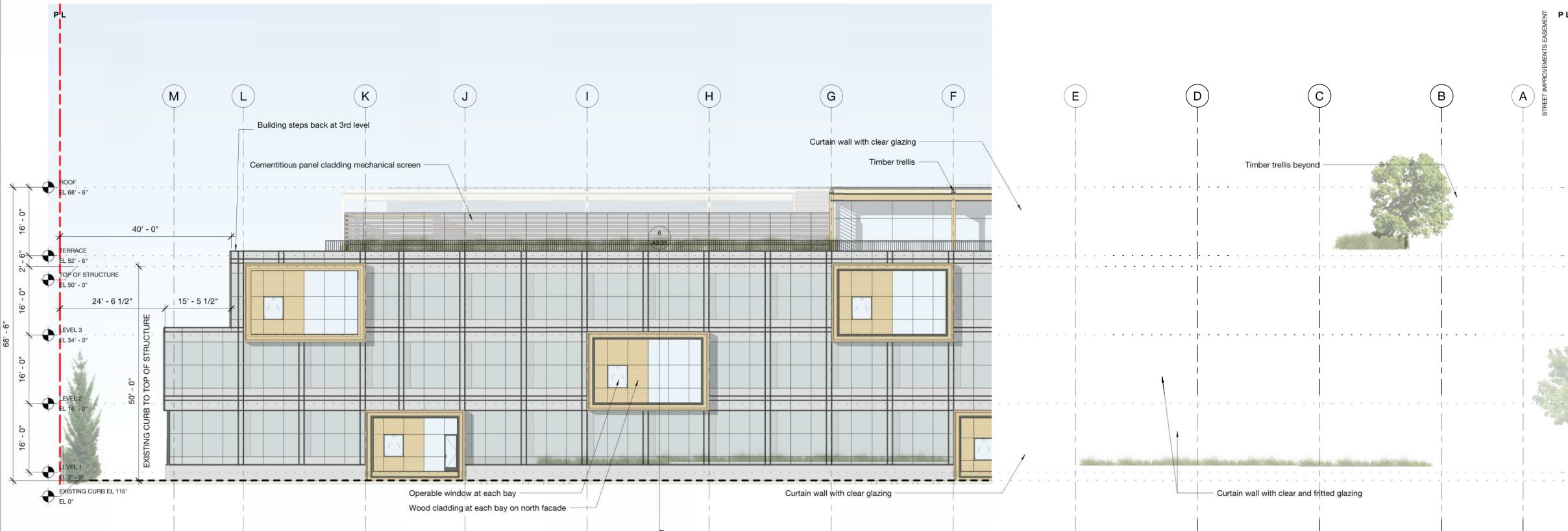




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2 NORTH ELEVATION
3/32" = 1'-0"



1 SOUTH (OLIVE ST) ELEVATION
3/32" = 1'-0"

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7	5/23/22	Planning Resubmittal	

N/S BUILDING ELEVATIONS

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.

A3.01

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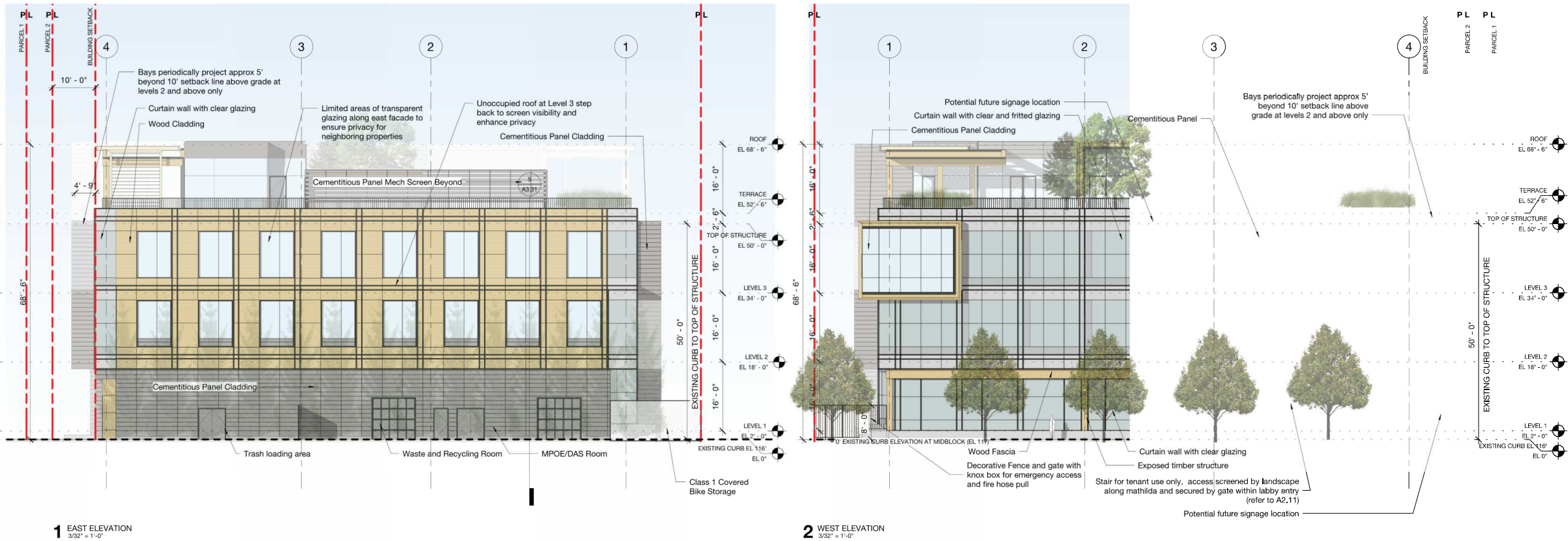
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7	5/23/22	Planning Resubmittal	

E/W BUILDING ELEVATIONS

JOB NO. 2012	SHEET NO. A3.02 OF SHEETS
DATE: 05/23/22	
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ISSUE: Schematic Design	

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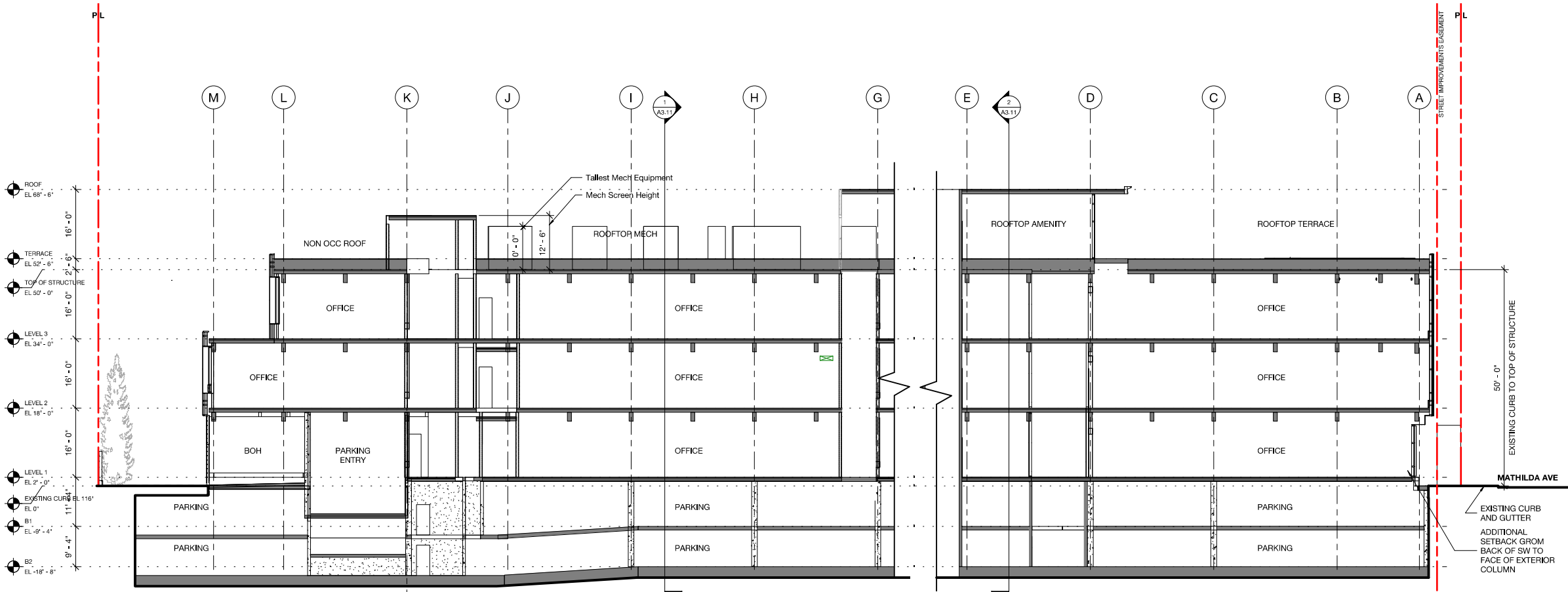


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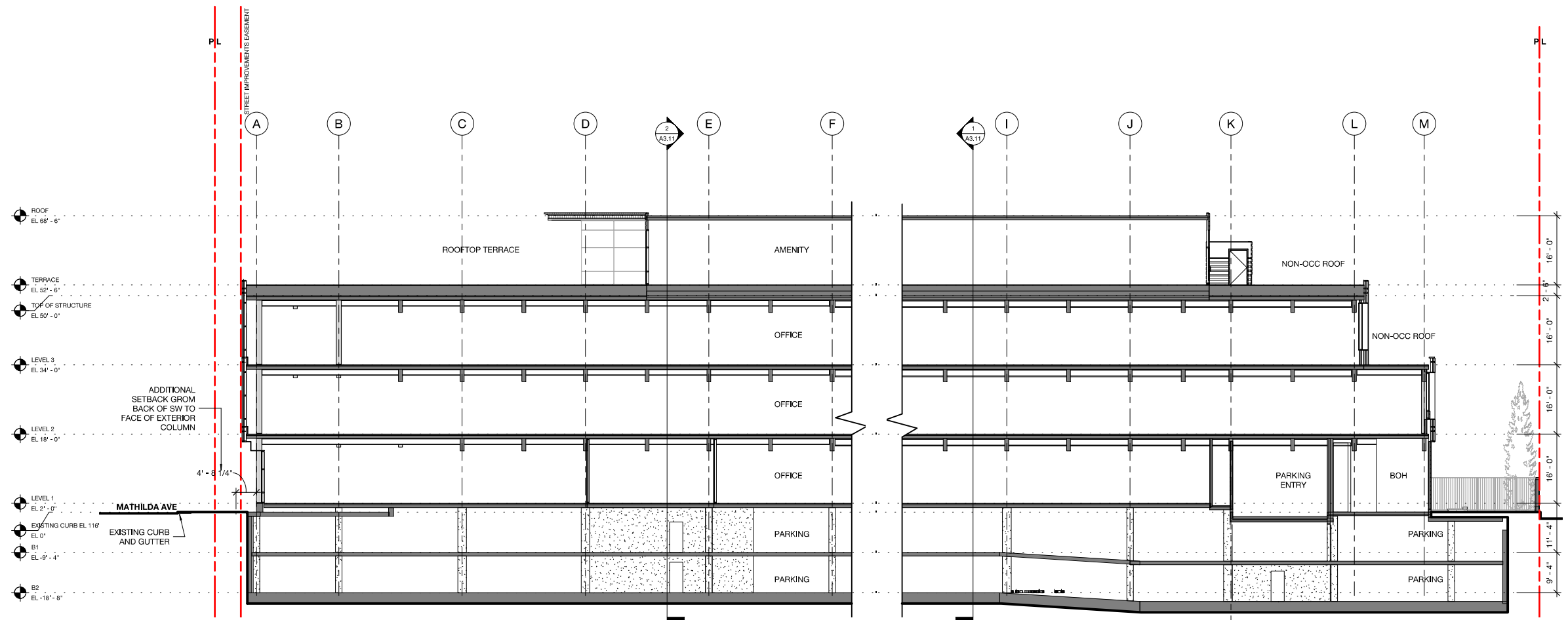
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2 LONGITUDINAL SECTION SOUTH FACING
3/32" = 1'-0"



1 LONGITUDINAL SECTION NORTH FACING
3/32" = 1'-0"

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7	5/23/22	Planning Resubmittal	

N/S BUILDING SECTIONS

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

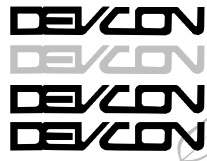
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ISSUE: Schematic Design

SHEET NO.

A3.10

OF SHEETS



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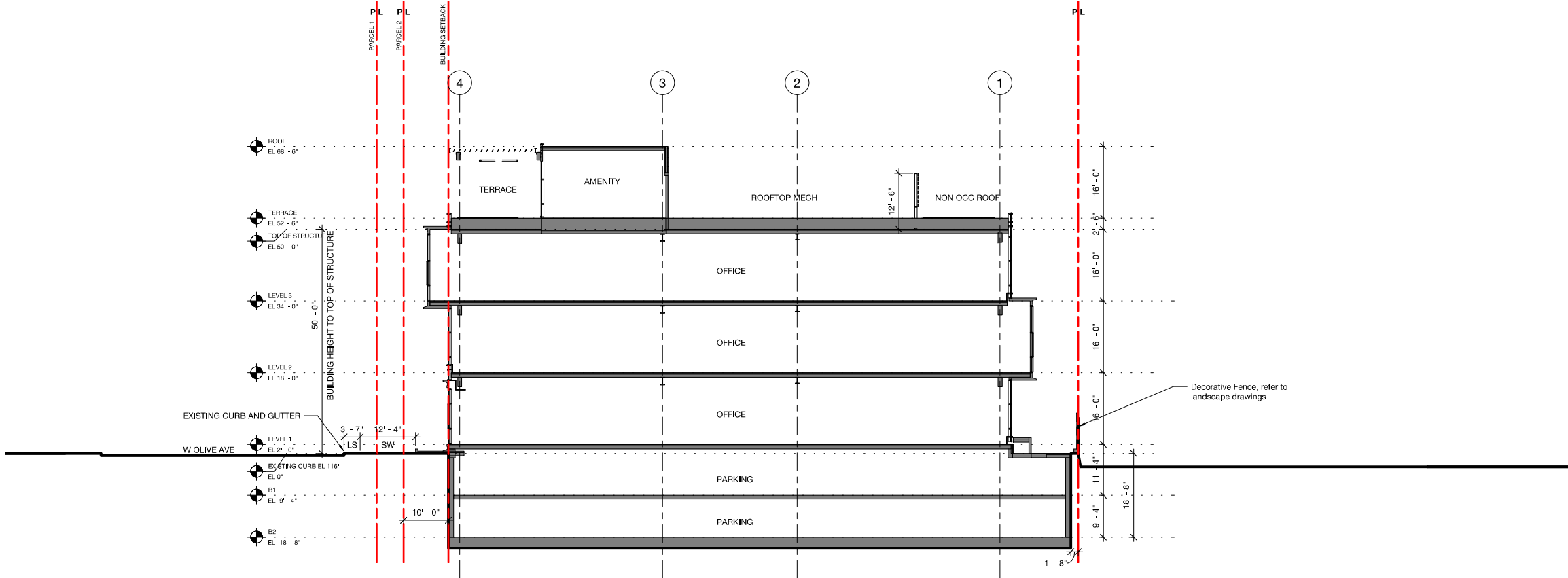
E/W BUILDING SECTIONS

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

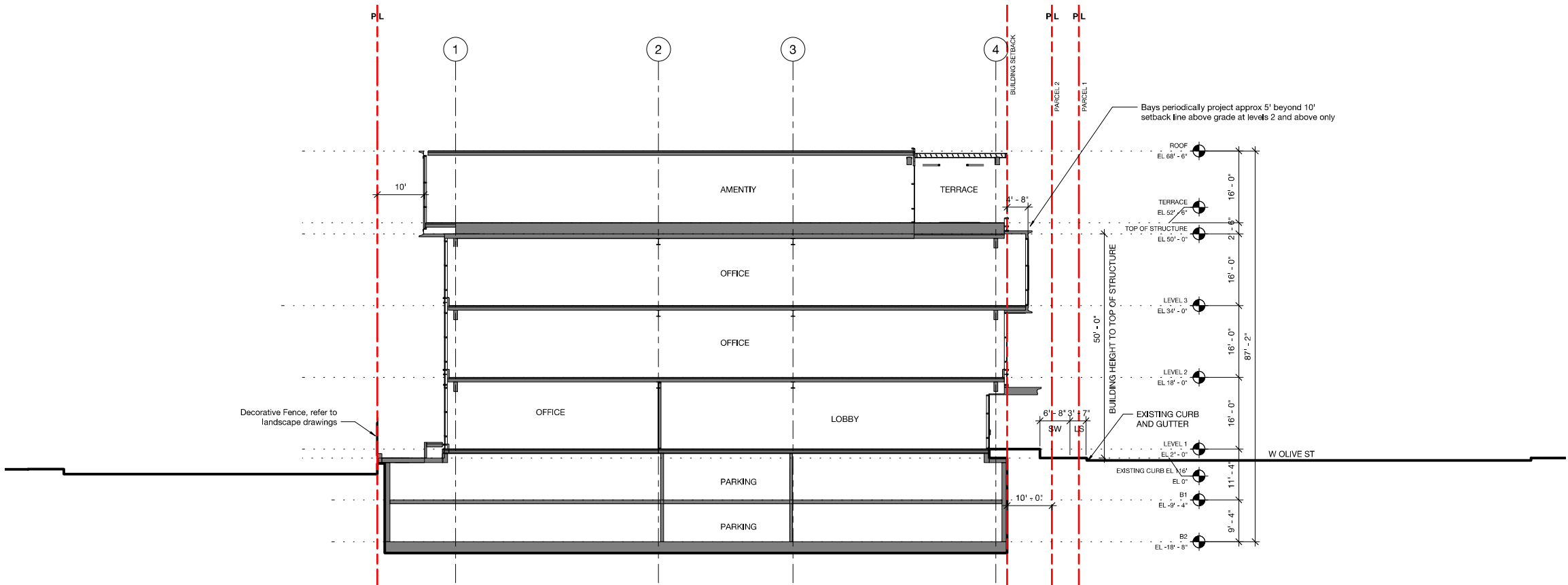
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A3.11

OF SHEETS

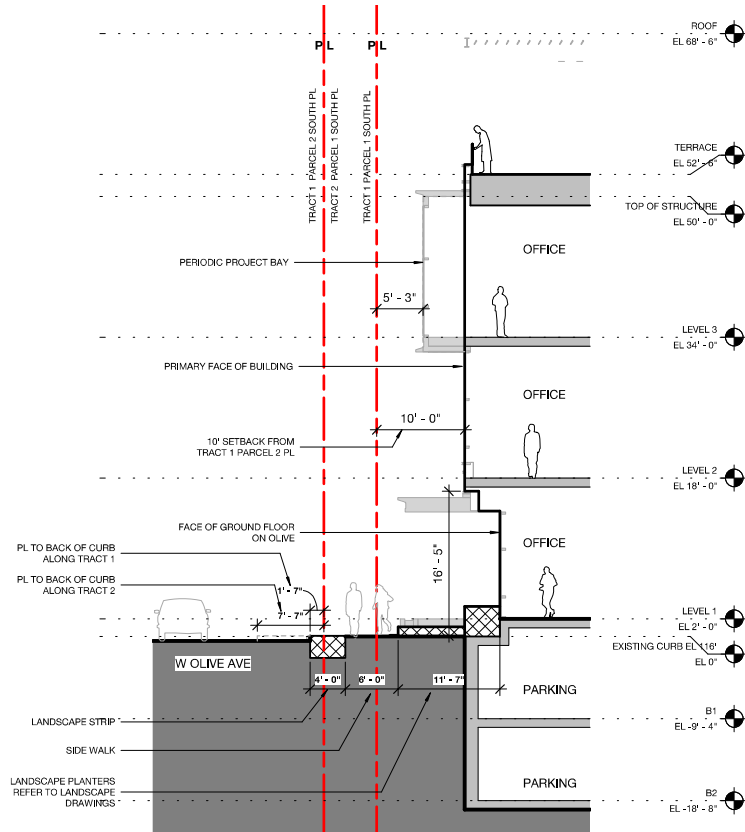


TRANSVERSE SECTION FACING WEST -
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Dependent 1
3/32" = 1'-0"

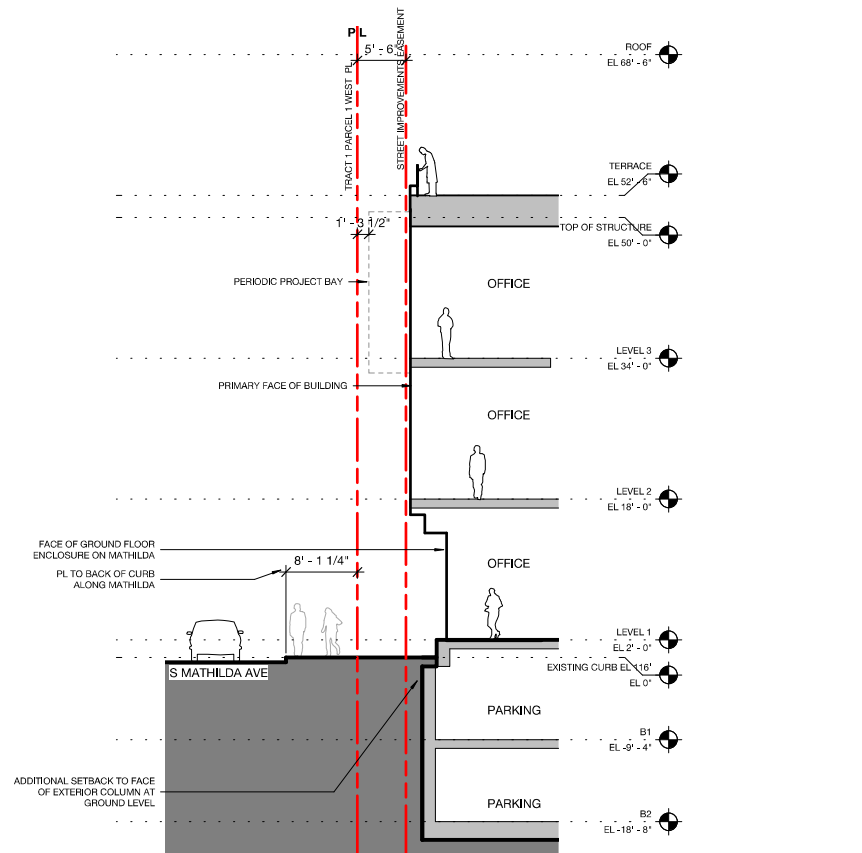


TRANSVERSE SECTION FACING EAST -
2
Dependent 1
3/32" = 1'-0"

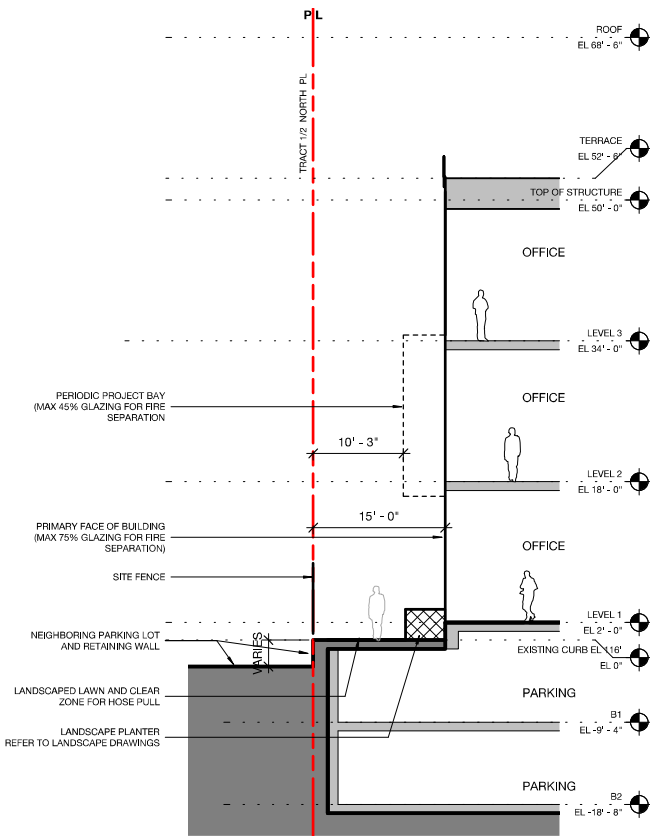
NOTE: REFER TO CIVIL FOR EXISTING SECTIONS, AND UTILITY INFORMATION
REFER TO LANDSCAPE FOR STREET TREE AND PLANTING INFORMATION



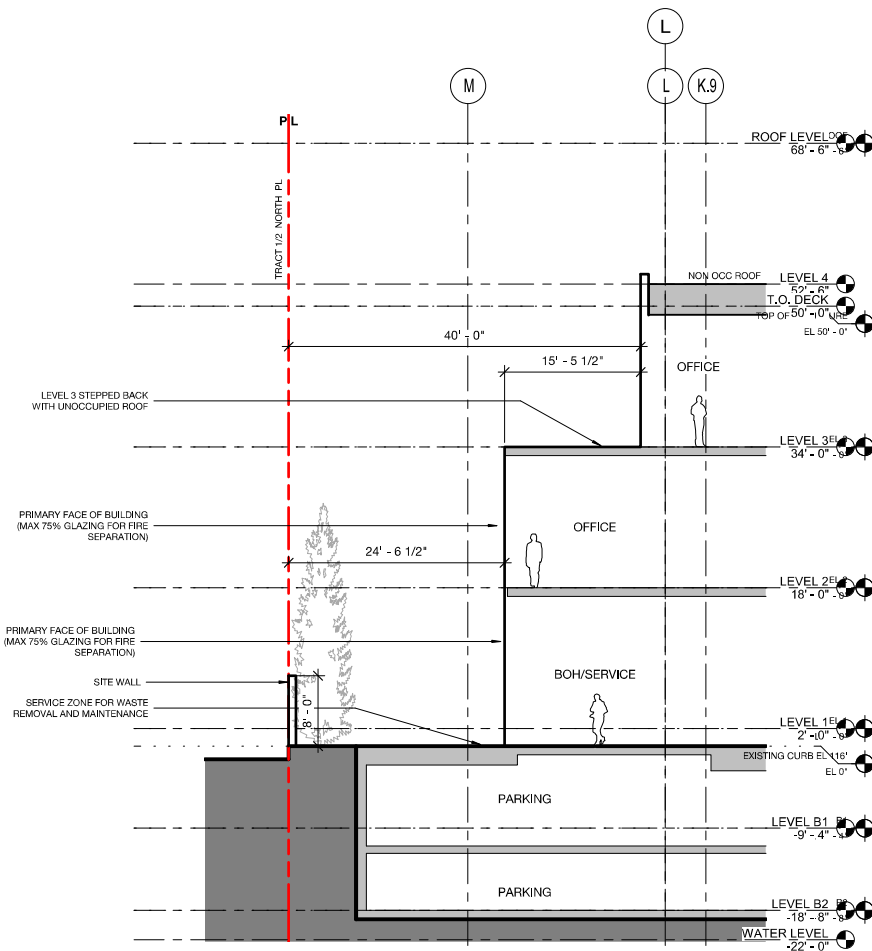
1 W OLIVE AVE STREET SITE SECTION
1/8" = 1'-0"



2 S MATHILDA AVE STREET SITE SECTION
1/8" = 1'-0"



4 NORTH PL SITE SECTION
1/8" = 1'-0"



5 EAST PL SITE SECTION
1/8" = 1'-0"

GENERAL NOTES:
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5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

STREET SECTION DIAGRAMS

JOB NO. 2012	SHEET NO. A3.13 OF SHEETS
DATE: 05/23/22	
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	

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Downtown Sunnyvale

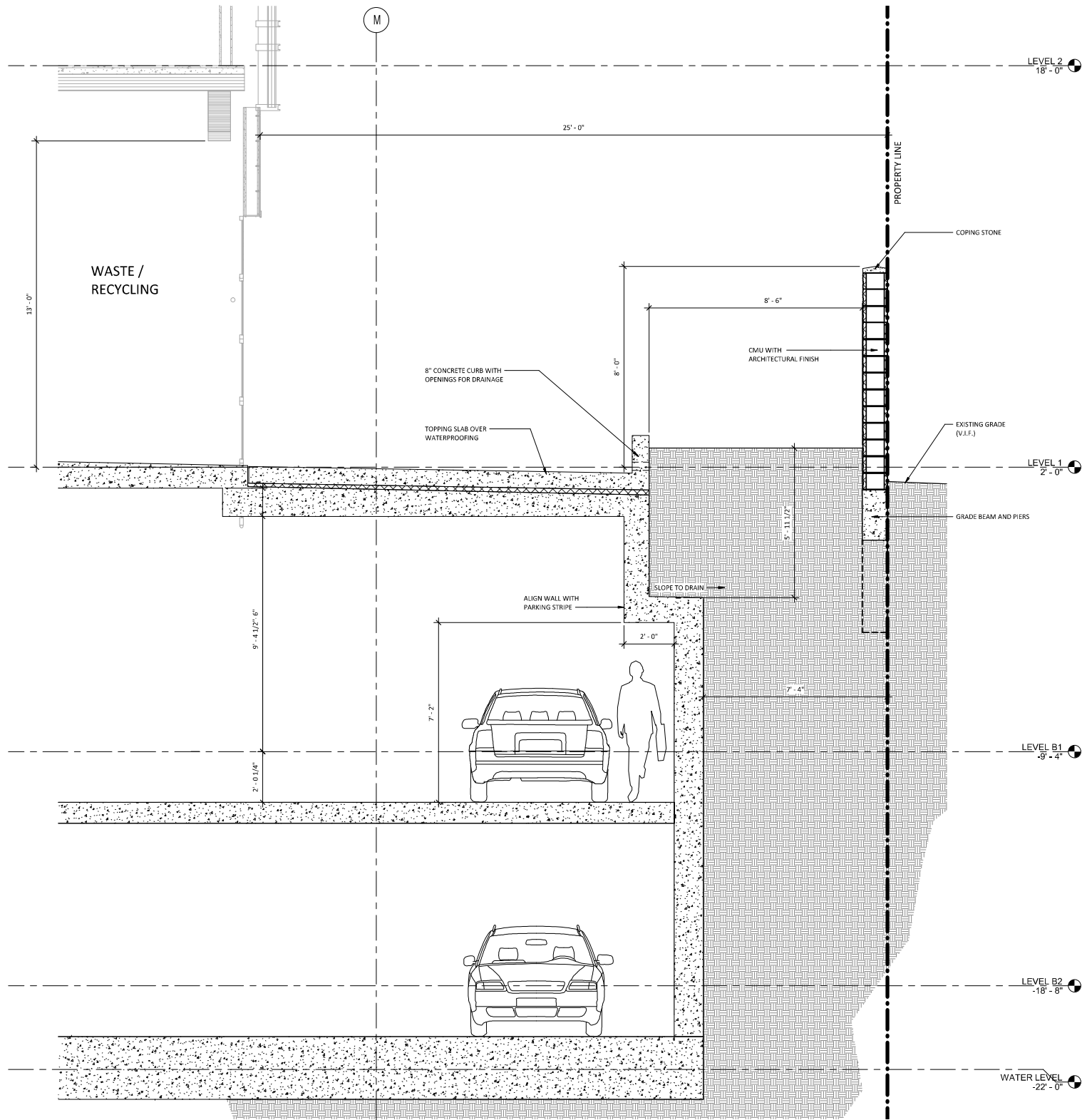
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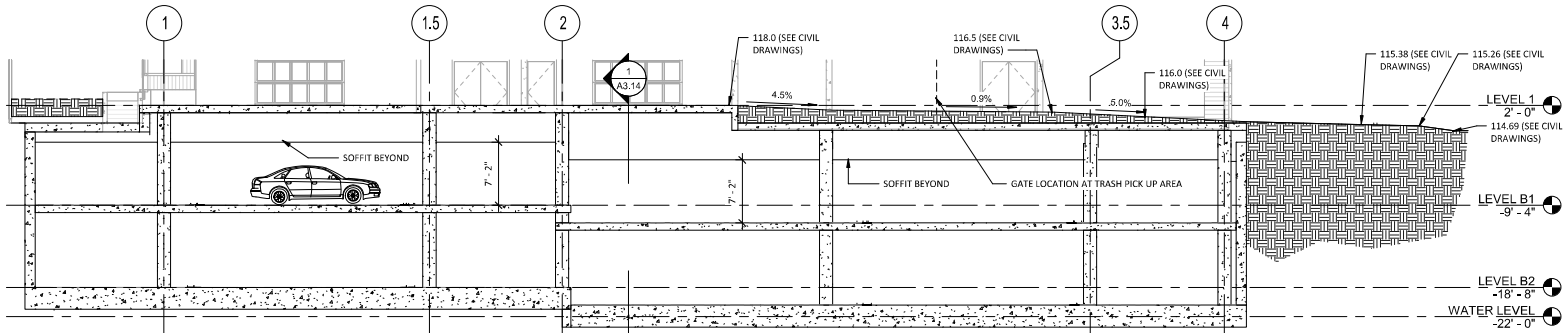
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1 SECTION AT TRASH ROOM - PROPERTY LINE
1/2" = 1'-0"



2 SITE SECTION - NORTH-SOUTH
1/8" = 1'-0"

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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

PARKING GARAGE
SECTIONS

JOB NO. 21-018

DATE: 05/23/22

DRAWN: CSP

CHECKED: AG

ISSUE: PLN RESUBMITTAL

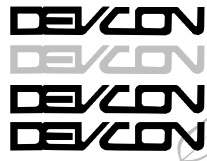
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A3.14

OF SHEETS

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7	5/23/22	Planning Resubmittal	

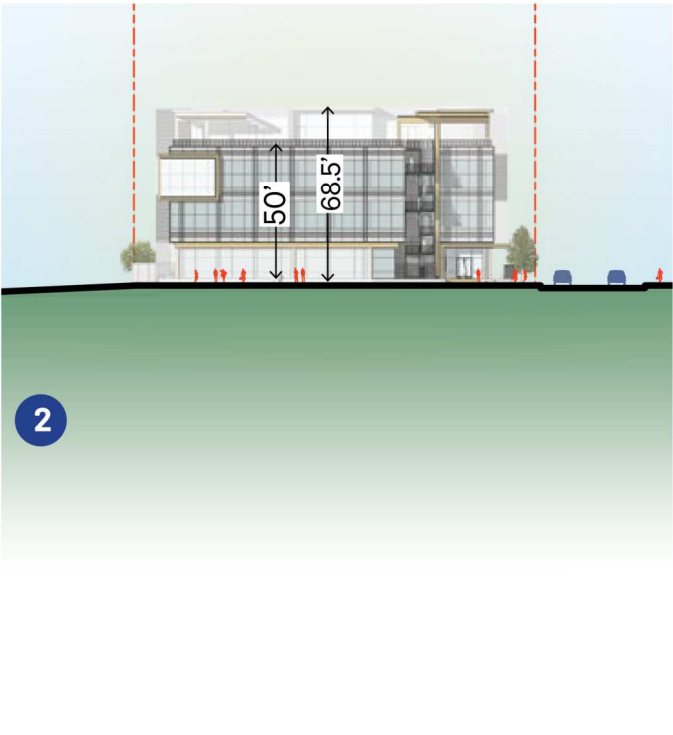
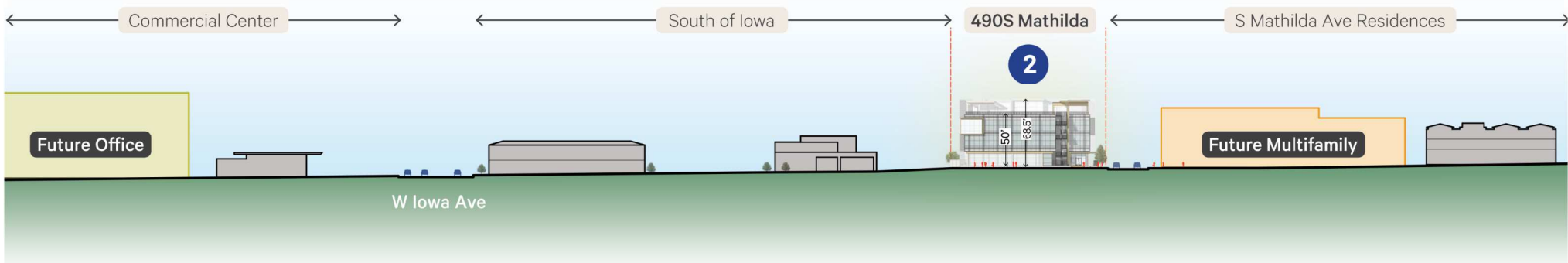
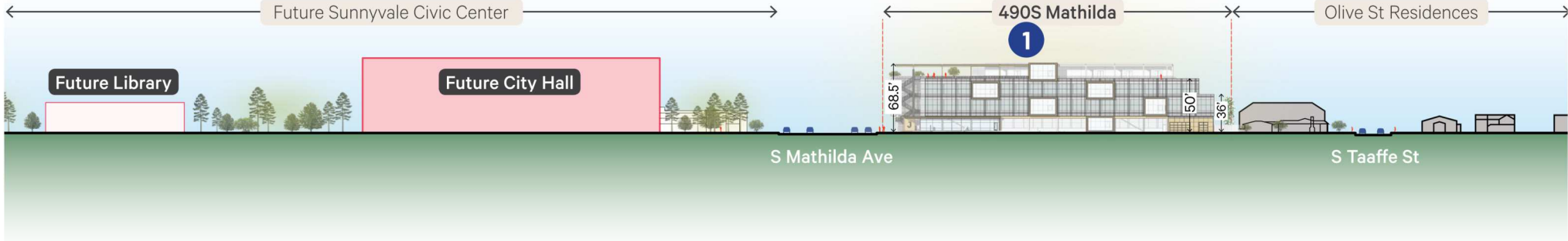
SITE SECTIONS

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.

A3.15

OF SHEETS



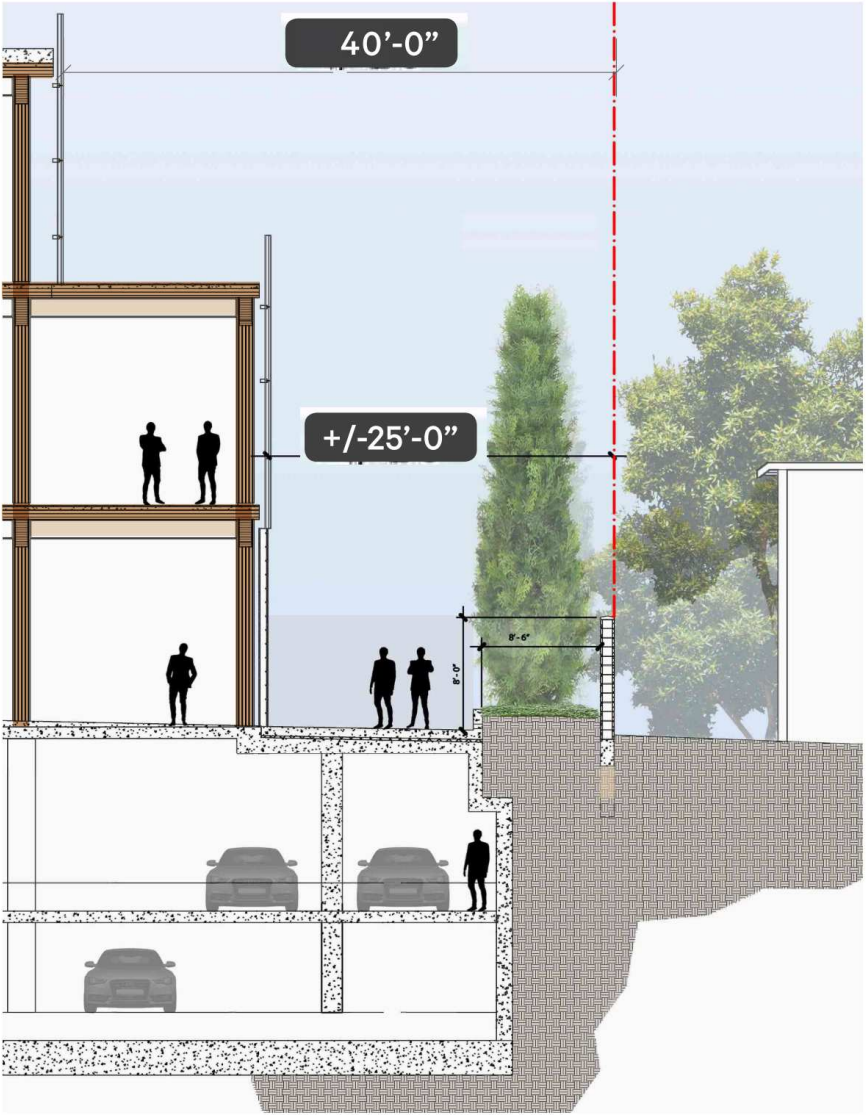
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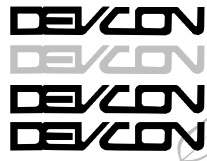
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5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

EAST PROPERTY LINE

JOB NO. 2012	SHEET NO. A3.16 OF SHEETS
DATE: 05/23/22	
DRAWN: Author	
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ISSUE: Schematic Design	





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7	5/23/22	Planning Resubmittal	

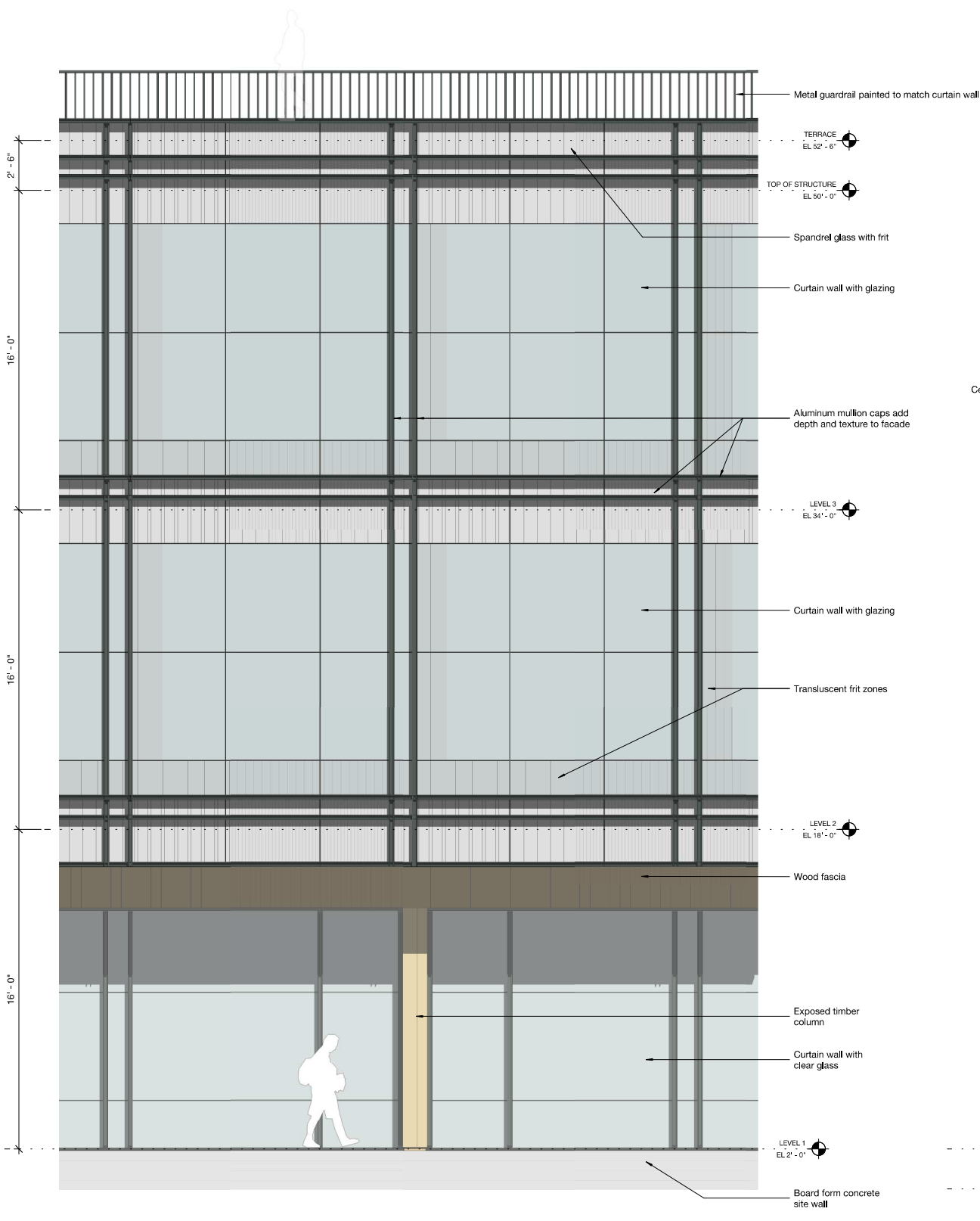
TYPICAL OFFICE ENCLOSURE

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

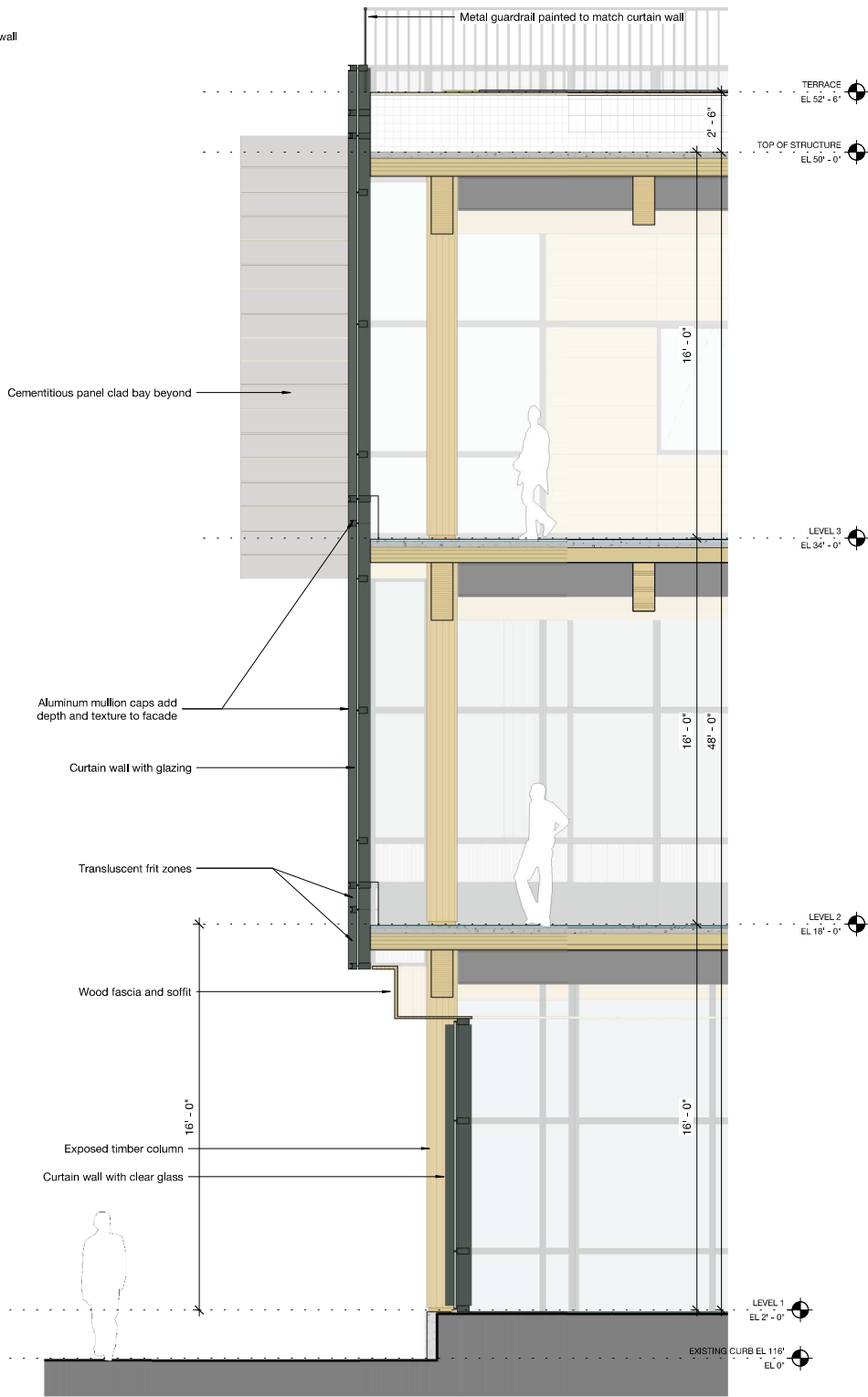
SHEET NO.

A3.21

OF SHEETS



1 ELEVATION - S/W OFFICE TYPICAL Copy 1
3/8" = 1'-0"



2 Section - Office Typical Copy 1
3/8" = 1'-0"

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ENCLOSURE AT TYPICAL BAY

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

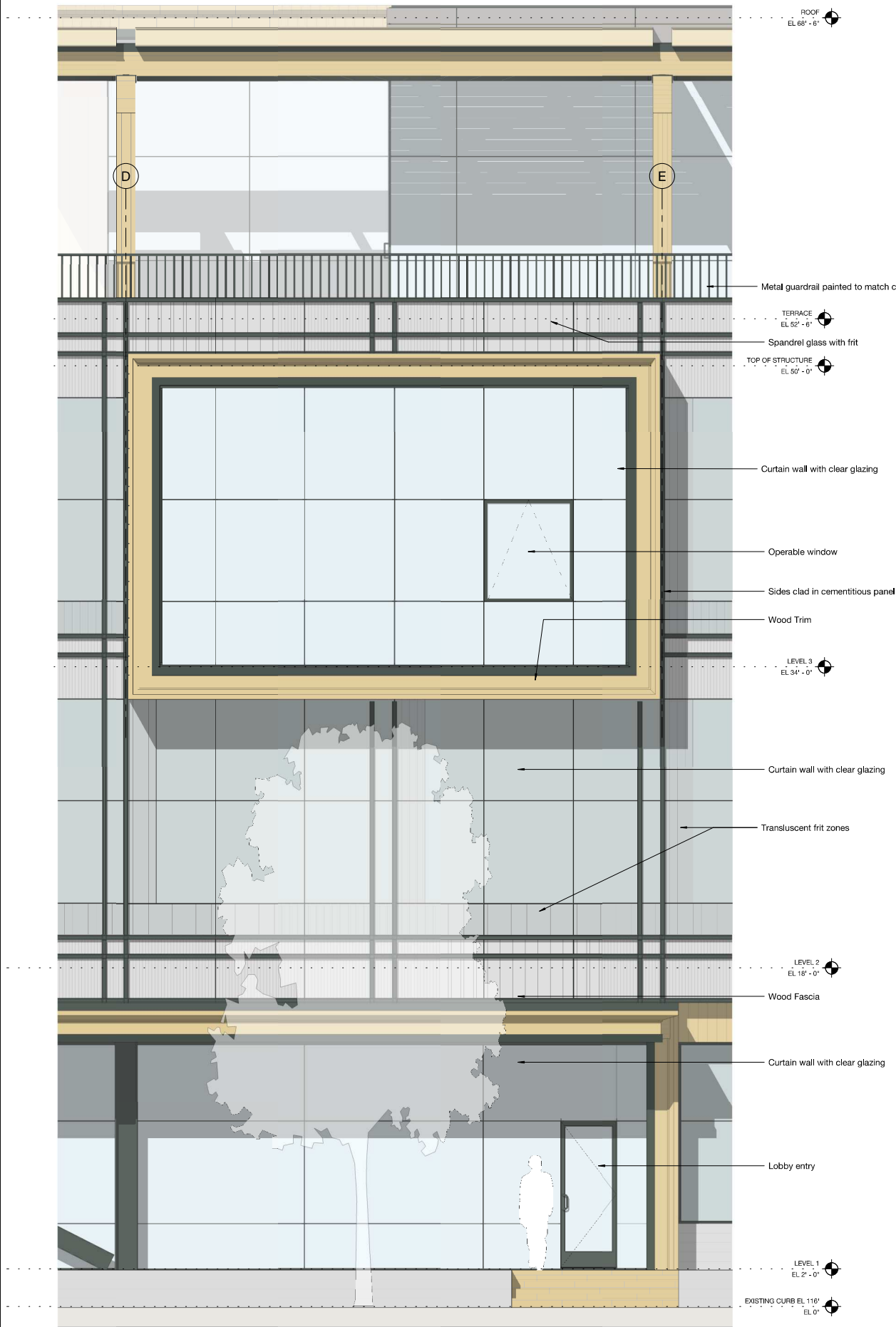
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ISSUE: Schematic Design

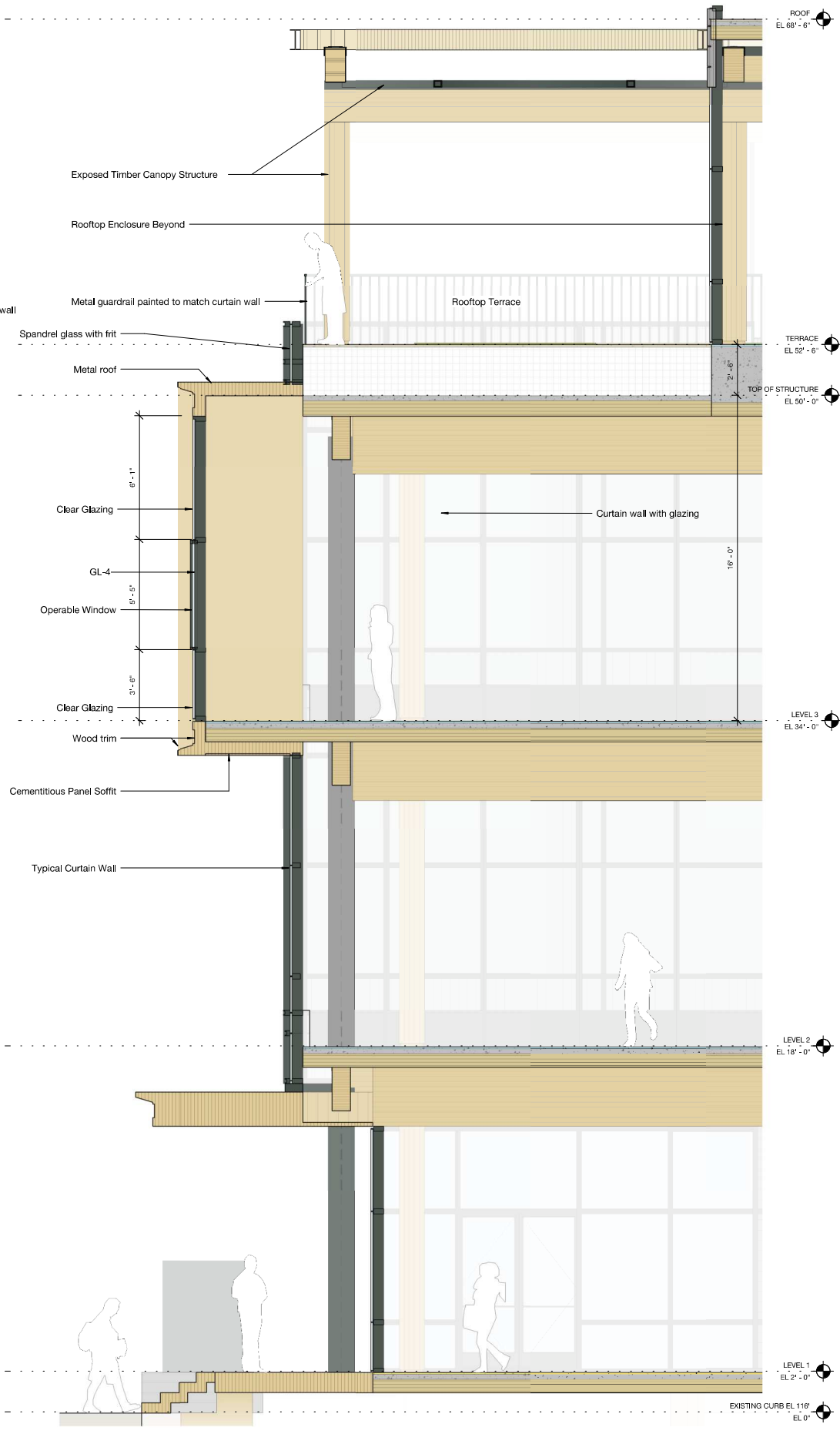
SHEET NO.

A3.22

OF SHEETS



1 Office Bay Typical Copy 1
3/8" = 1'-0"



2 SECTION - S/W BAY ENCLOSURE Copy 1
3/8" = 1'-0"

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

FIRE SEPARATION DIAGRAMS

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

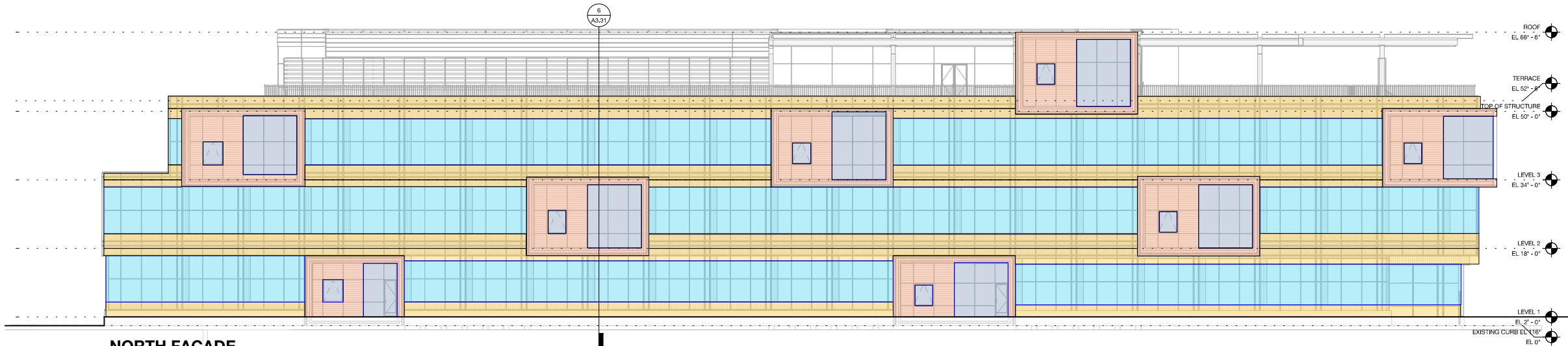
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SHEET NO.

A3.31

OF SHEETS



NORTH FACADE

ENCLOSURE AT 15'-20' FROM PL (max 75% vision glazing allowable)

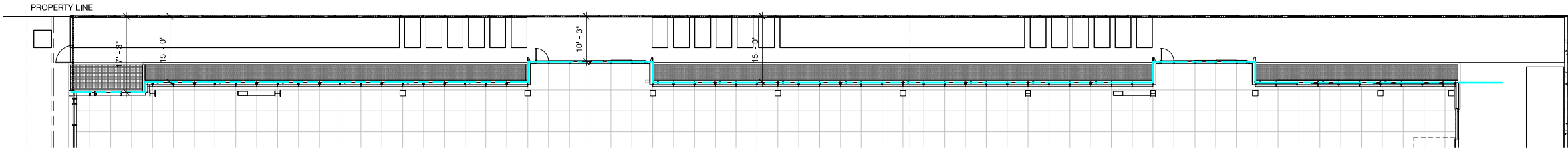
	GLAZING		SOLID	
LEVEL 1	2,590 SF	61%	1,644	39%
LEVEL 2	2,875 SF	71%	1,200 SF	29%
LEVEL 3	2,448 SF	44%	2,053 SF	46%

1 NORTH FIRE SEPARATION ELEVATION

3/32" = 1'-0"

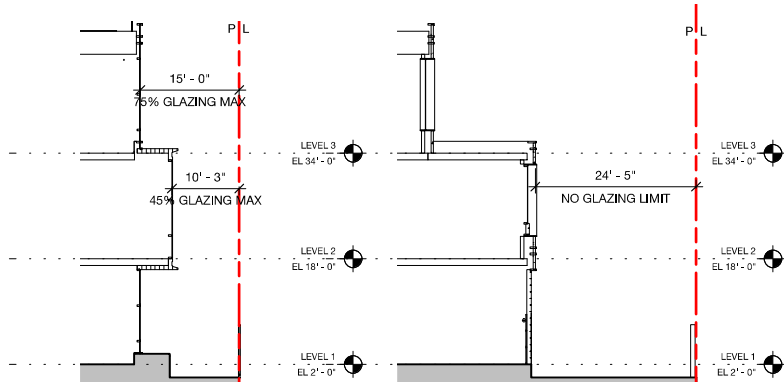
ENCLOSURE AT 10'-15' FROM PL (max 45% vision glazing allowable)

	GLAZING		SOLID	
LEVEL 1	302 SF	41%	439 SF	59%
LEVEL 2	413 SF	39%	639 SF	61%
LEVEL 3	613 SF	40%	918 SF	60%
LEVEL 4	217 SF	40%	329 SF	60%



2 NORTH FACADE FIRE SEPARATION PLAN

3/32" = 1'-0"

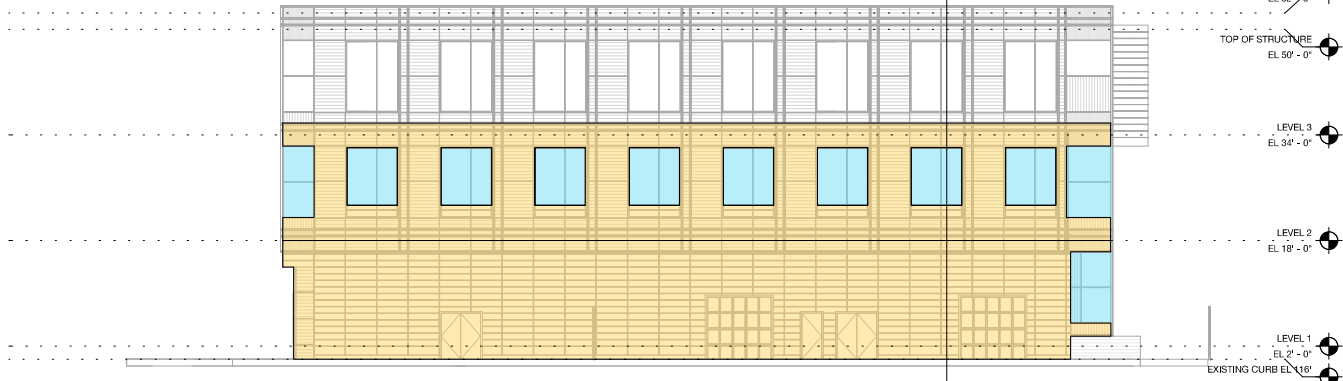


6 FIRE SEPARATION SECTION - NORTH

3/32" = 1'-0"

5 FIRE SEPARATION SECTION - EAST

3/32" = 1'-0"



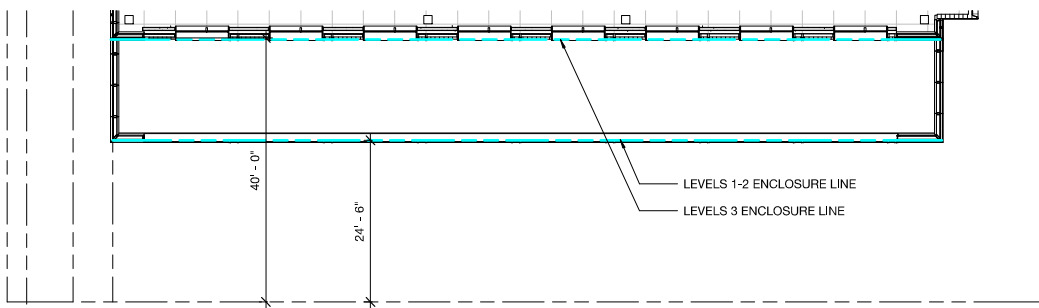
3 EAST FIRE SEPARATION ELEVATION

3/32" = 1'-0"

EAST FACADE

ENCLOSURE AT 20'-25' FROM PL (NO GLAZING LIMIT)

	GLAZING		SOLID	
LEVEL 1	65 SF	3%	2,147 SF	97%
LEVEL 2	653 SF	29%	1,578 SF	71%



4 EAST FACADE FIRE SEPARATION PLAN

3/32" = 1'-0"

THE WEST AND SOUTH EXTERIOR WALLS HAVE A FIRE SEPARATION DISTANCE OVER 20 FT (MEASURED TO THE CENTERLINE OF THE ADJACENT STREETS), AND THESE EXTERIOR WALLS ARE NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND MAY HAVE UNLIMITED UNPROTECTED OPENINGS.

THE NORTH EXTERIOR WALLS ARE LOCATED MIN. 10 FT BUT LESS THAN 15 FT FROM ADJACENT LOT LINES. THEREFORE, 1-HOUR FIRE-RESISTANCE RATING IS REQUIRED FOR THESE EXTERIOR WALLS, AND OPENINGS ARE LIMITED TO 45% OF THE EXTERIOR WALL AREA PER STORY.

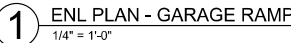
THE EAST EXTERIOR WALLS DO NOT NEED A FIRE-RESISTANCE RATING AND MAY HAVE UNLIMITED EXTERIOR OPENINGS. PREVIOUS SUBMISSIONS SHOWED THE EAST EXTERIOR WALL WITHIN 20' OF THE PROPERTY LINE. FIRE SEPARATION DRAWINGS HAVE BEEN UPDATED FOR REFERENCE.

ALL LOAD BEARING EXTERIOR WALLS (IF THERE ARE ANY) WILL HAVE 2-HOUR FIRE-RESISTANCE RATING.

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OF SHEET



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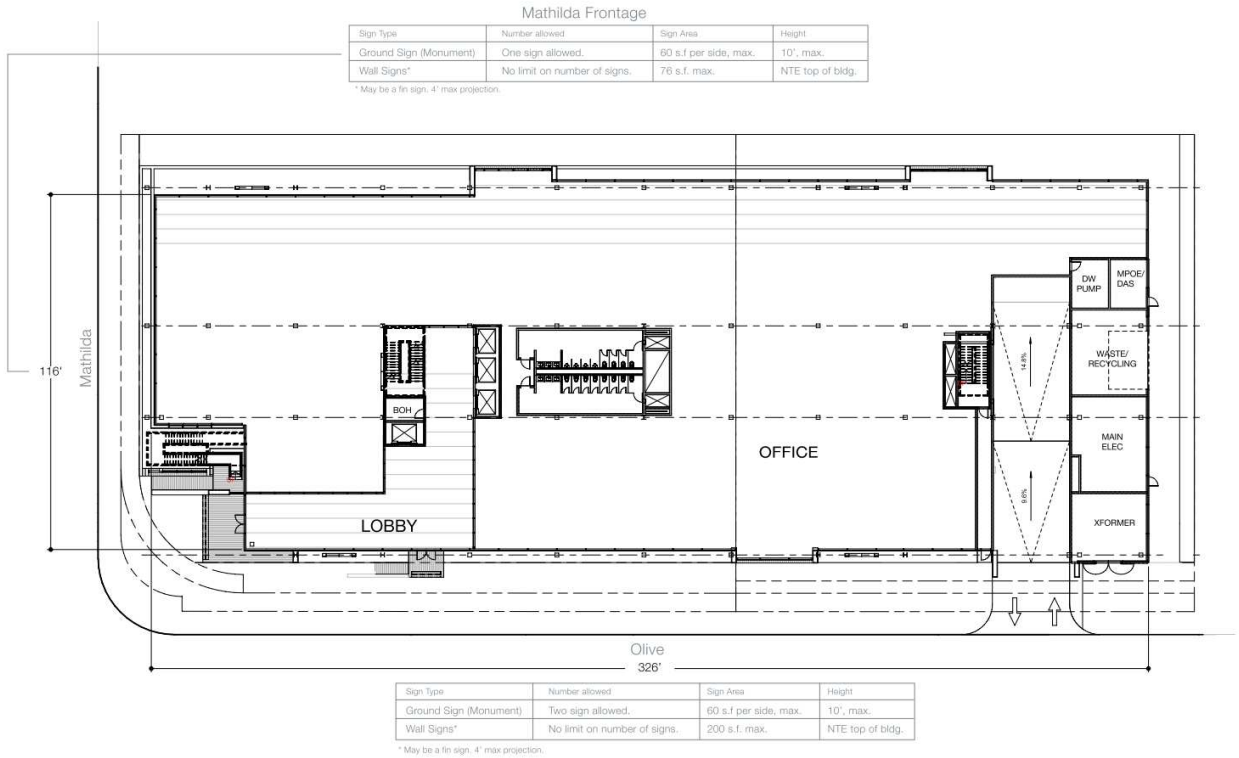
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IPD

560 14th Street, Suite 300
Oakland, California 94612
T: 510.473.0300 F: 510.473.0310



City Code Excerpt

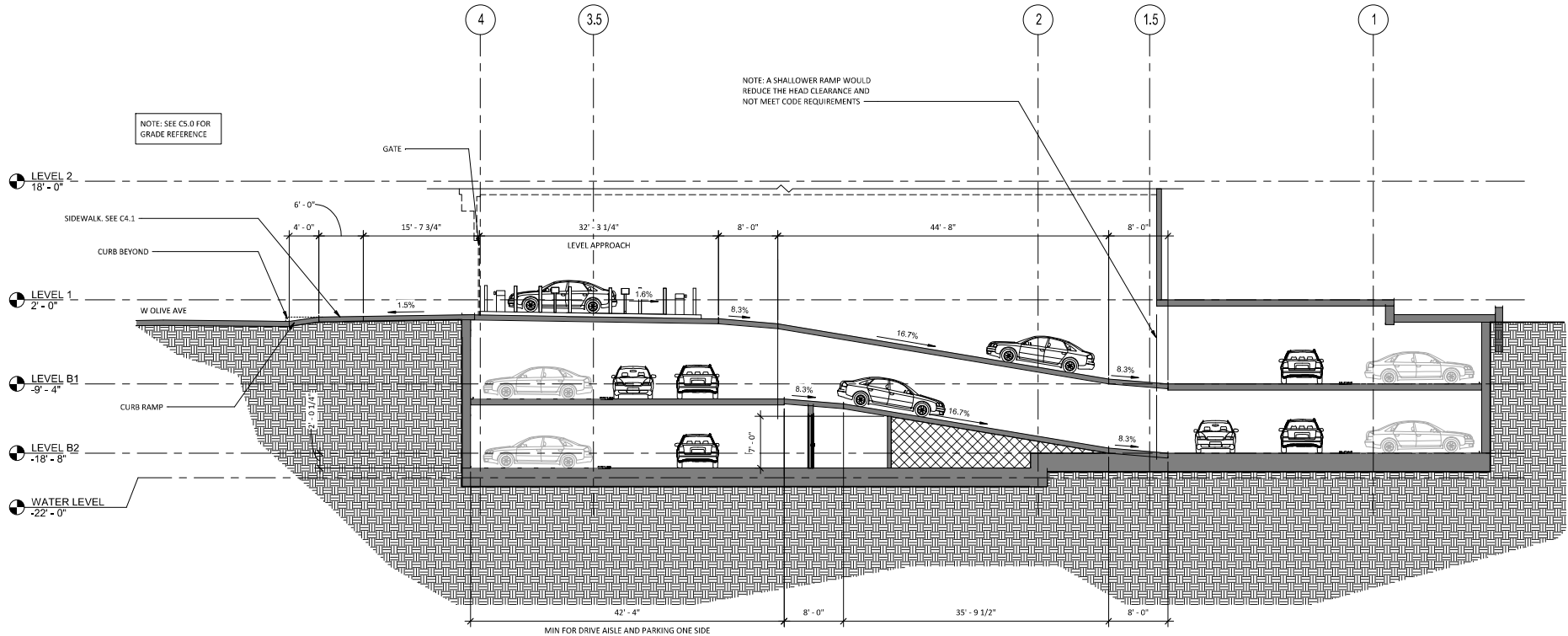
Type	Number	Maximum Area	Copy Height	Sign Height	Special Requirements
Wall	No limit	0.66 sq. ft. of sign for every one foot of building frontage. 200 sq. ft. maximum sign area.	6 in. minimum 48 in. maximum	Cannot extend above the top of the building.	Multiple wall signs cannot exceed maximum wall sign area. Fin signs are calculated towards overall wall sign area. Buildings over 100 feet tall may have a maximum copy height of 60 in.
Unwind	One per street frontage, two if lot is wider than 300 ft.	60 sq. ft. per side 120 sq. ft. on both sides.	6 in. minimum 48 in. maximum	10 ft. high maximum as measured from top of nearest curb.	None
Under-canopy	One per entrance	5 sq. ft. per side, 10 sq. ft. on both sides.	No limit	Lower edge must be at least 8 ft. above sidewalk.	None

480S
mathilda

ROSS+LUTHIN CREATIVE

1"=20'
City Entitlement Study
03.17.21

2 SIGNAGE STUDY



1 CROSS SECTION AT GARAGE RAMP - SLOPES

1/8" = 1'-0"

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REVISIONS			
NO.	DATE	DESCRIPTION	BY

ENLARGED GARAGE RAMP
AND SIGNAGE STUDY

JOB NO. 21-018	SHEET NO. A4.11 OF SHEETS
DATE: 05/23/22	
DRAWN: Author	
CHECKED: Checker	
ISSUE: PLN RESUBMITTAL	

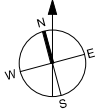
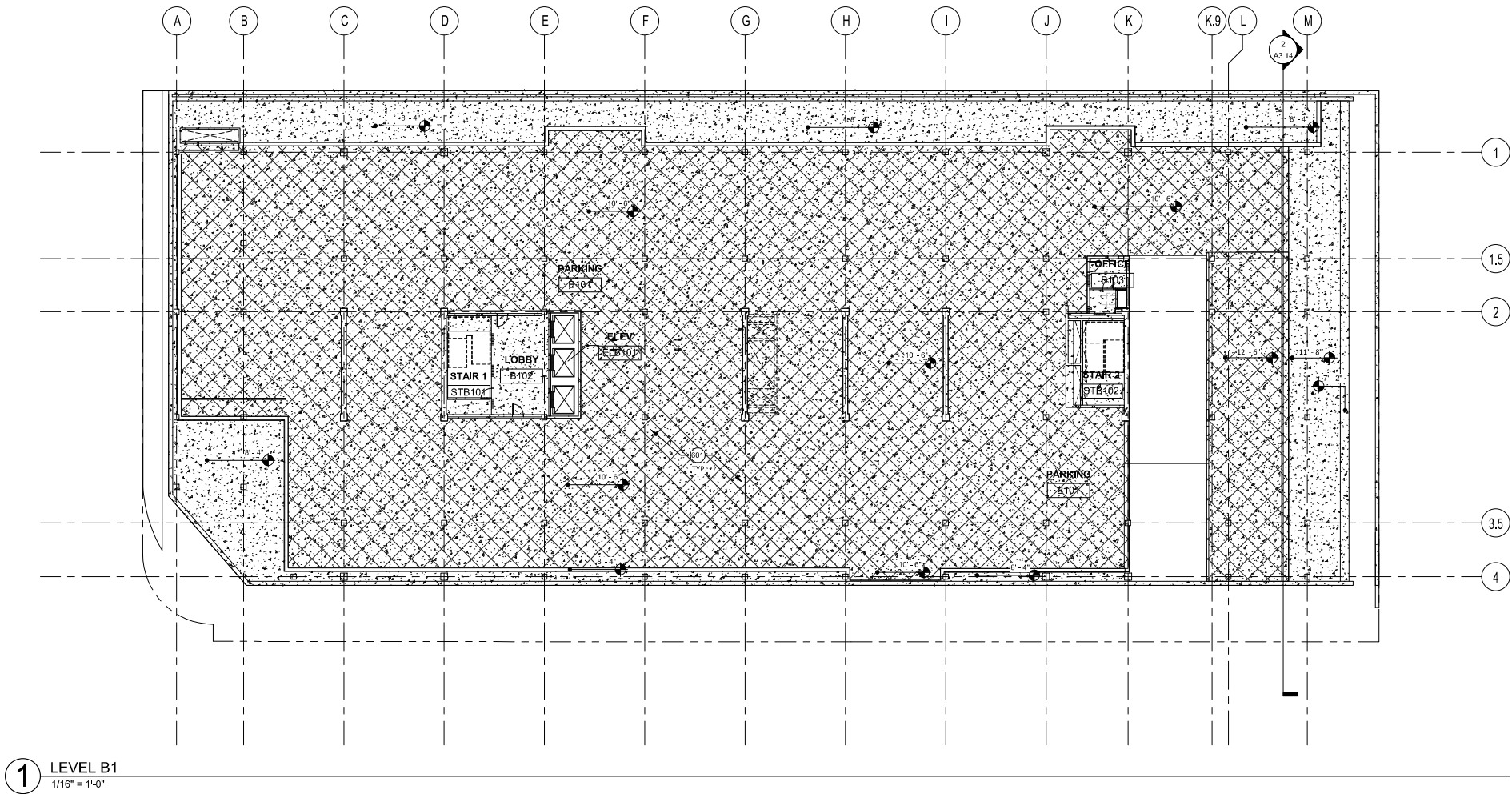


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T: 510.473.0300 F: 510.473.0310



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PLAN KEYNOTES

(901) CROSS HATCHING REPRESENTS K-13 SPRAY IN INSULATION UNDER EXTENTS OF BUILDING ABOVE (AT PODIUM SLAB).

REVISIONS

NO.	DATE	DESCRIPTION	BY

LEVEL B1 REFLECTED CEILING PLAN

JOB NO. 21-018	SHEET NO. A6.01 OF SHEETS
DATE: 05/23/22	
DRAWN: CSP	
CHECKED: AG	
ISSUE: PLN RESUBMITTAL	

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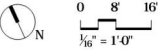
REVISIONS

NO.	DATE	DESCRIPTION	BY

ILLUSTRATIVE PLAN

JOB NO. DEVT101
DATE: 05.23.2022
DRAWN: DP
CHECKED: DA
ISSUE: PLN RESUBMITTAL

SHEET NO.
L0.00
OF SHEETS



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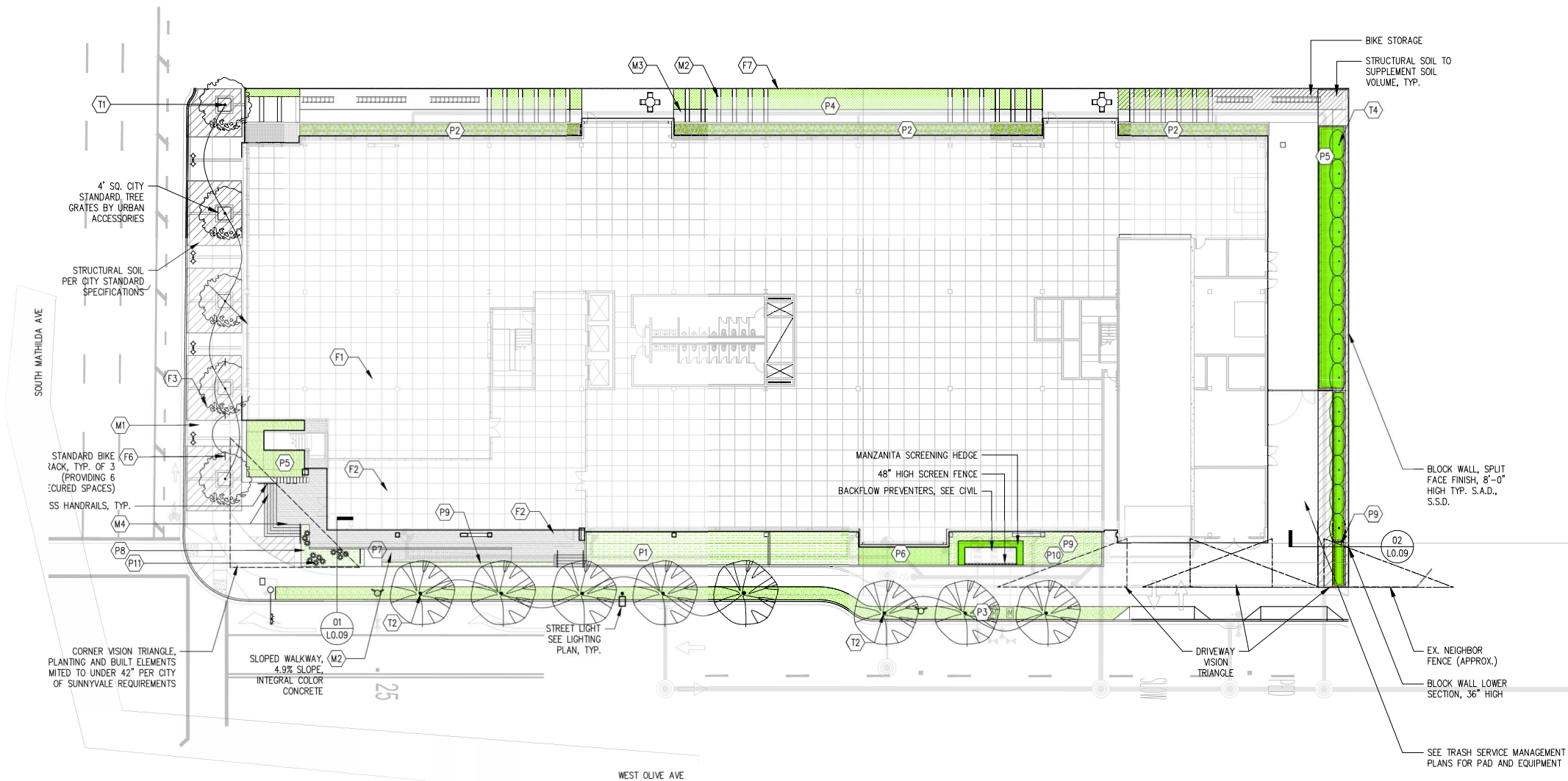
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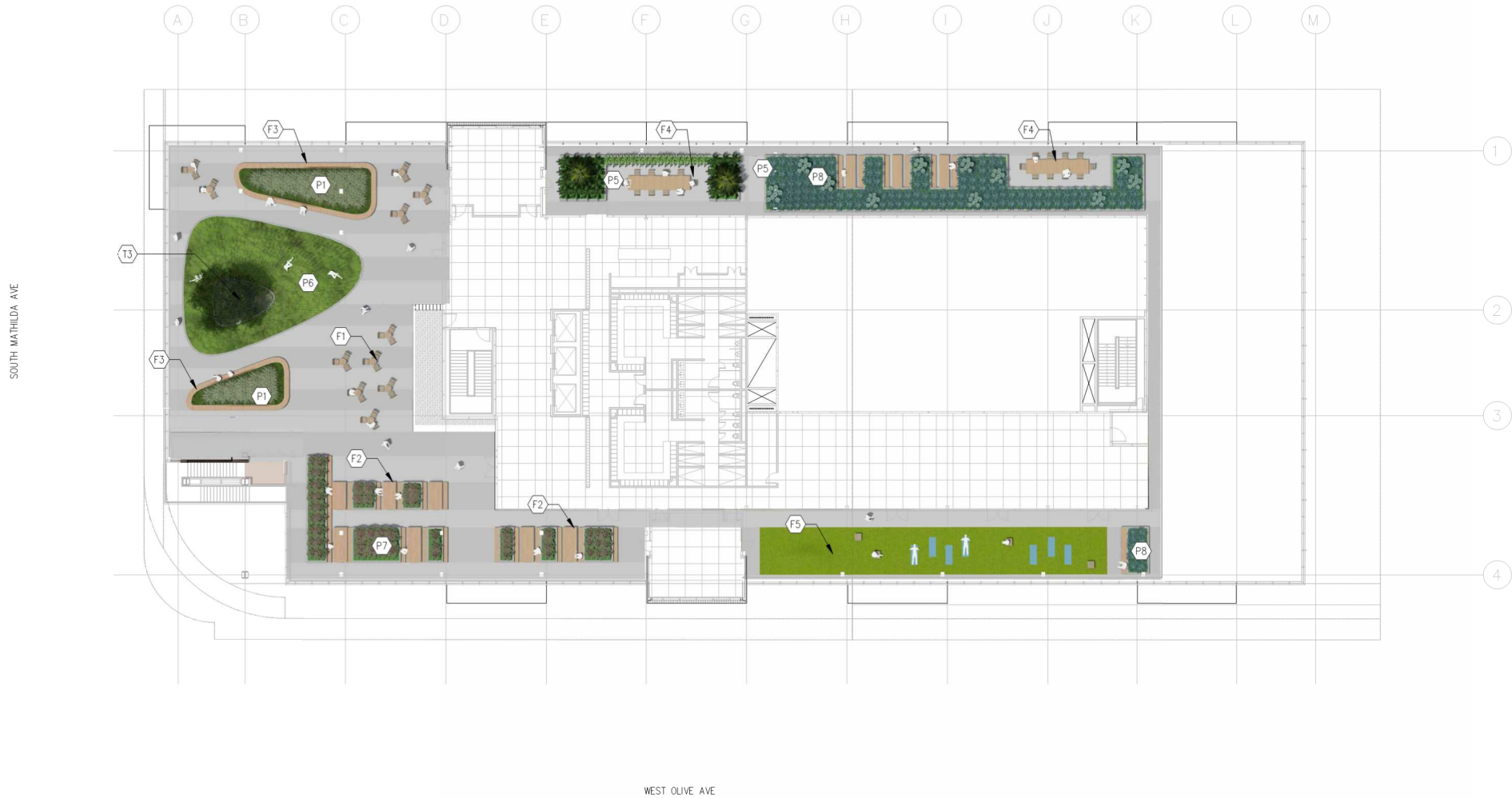
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ROOF LANDSCAPE PLAN

JOB NO. DEVT101	SHEET NO. L0.02 OF SHEETS
DATE: 05.23.2022	
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

PLANTING	
JOB NO. DEVT101	SHEET NO. L0.03 OF SHEETS
DATE: 05.23.2022	
DRAWN: DP	
CHECKED: DA	
ISSUE: PLN RESUBMITTAL	

TREES



T1 QUERCUS FRAINETTO / ITALIAN OAK
MWEL: LOW
SIZE: 36" BOX



T2 PLATANUS ACERFOLIA 'COLOMBIA' / LONDON PLANE
MWEL: MEDIUM
SIZE: 36" BOX



T3 QUERCUS AGRIFOLIA / COAST LIVE OAK
MWEL: LOW
SIZE: 36" BOX

*TREE TO BE CONTRACT GROWN



T4 THUJA PLICATA X STANDISHII 'GREEN GIANT'
/ARBORVITAE GREEN GIANT
MWEL: MEDIUM
SIZE: 36" BOX

*TREES TO BE CONTRACT GROWN

UNDERSTORY PLANTING



P1 PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE
MWEL: LOW



P2 FESTUCA CALIFORNICA / CALIFORNIA FESCUE
MWEL: VERY LOW



P3 JUNCUS PATENS / COMMON RUSH
MWEL: MEDIUM



P4 SOD LAWN
MWEL: HIGH



P5 POLYSTICHUM MUNITUM / WESTERN SWORD FERN
MWEL: MEDIUM



P5 WOODWARDIA FIMBRIATA / GIANT CHAIN FERN
MWEL: HIGH



P6 FESTUCA RUBRA / RED FESCUE
MWEL: MEDIUM



P7 PENSTEMON SPECTABILIS / ROYAL PENSTEMON
MWEL: LOW



P8 SENECIO SERPENS / BLUE CHALK STICKS
MWEL: LOW
AGAVE SHAWII / SHAW AGAVE
MWEL: LOW



P9 ARCTOSTAPHYLOS X SUNSET
MWEL: LOW



P10 MUHLENBERGIA RIGENS / DEER GRASS
MWEL: LOW



P11 ALOE POLYPHYLLA / SPIRAL ALOE
MWEL: LOW

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F2 PICNIC TABLE
SUPPLIER: STREETLIFE



F3 ROUNDED BENCH TOP
SUPPLIER: STREETLIFE



F4 LONG TABLE
SUPPLIER: STREETLIFE



F5 MOUNDED ARTIFICIAL TURF
SUPPLIER: N/A



F6 BIKE RACK
SUPPLIER: DUMOR
(DOWNTOWN
CITY OF
SUNNYVALE
STANDARD)



F7 DECORATIVE FENCE

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LANDSCAPE PAVING MATERIALS SCHEDULE							
KEY	DESCRIPTION	SUPPLIER	MATERIAL	SIZE	COLOR	FINISH	REMARK
M1	CITY STANDARD CONCRETE SIDEWALK PAVING	-	CAST IN PLACE CONCRETE	PER CITY STANDARD SPECS	STANDARD GRAY	BROOM	SEE CITY STANDARD SPECS.
M2	CAST-IN-PLACE REINFORCED CONCRETE: INTEGRAL COLOR CONCRETE PAVING	DAVIS COLOR	REINF. CONCRETE	SCORING AS PER PLAN OR 10' MIN.	DAVIS 'GRAPHITE'	TOP CAST #3 FINISH	SAWCUT JOINTS, EXPANSION JOINTS TO HAVE SAND ON CAULKING TO MATCH INTEGRAL COLOR.
M3	CAST-IN-PLACE REINFORCED CONCRETE: INTEGRAL COLOR CONCRETE PAVING	DAVIS COLOR	REINF. CONCRETE	SCORING AS PER PLAN OR 10' MIN.	DAVIS 'LIGHT GRAY'	TOP CAST #3 FINISH	SAWCUT JOINTS, EXPANSION JOINTS TO HAVE SAND ON CAULKING TO MATCH INTEGRAL COLOR.
M4	EXTERIOR WOOD DECKING, S.A.D., WD-2 ON A002	-	-	-	-	-	AS PER WD-2 WOOD DECKING ON A002, USE HIDDEN FASTENER SYSTEM. STAINLESS STEEL PLATE AT STAIR RISERS, WITH ADA-COMPLIANT NOSING
M5	PAVERS ON PEDESTAL	STEPSTONE	PRECAST	18 x 36"	PORCELAIN	LIGHT SANDBLAST	INSTALL WITH BISON PEDESTALS, SPACERS AND ACCESSORIES AS PER MANUFACTURER
M6	MOUNDED SYNTHETIC TURF	SHAW SPORTS TURF	POWERBLADE TURF	PER PLANS	SOLID LIME	-	SYNTHETIC 'LAWN' SHAW SPORTS TURF POWERBLADE 2.25 WITH GEOTILL AS PER MANUF. SPECS. INSTALL OVER 1" FIBERGLASS GRATE ON PEDESTAL. STAINLESS STEEL HEADER ALONG EDGE

REVISIONS			
NO.	DATE	DESCRIPTION	BY

SITE MATERIALS

JOB NO. DEVT101	SHEET NO. L0.04 OF SHEETS
DATE: 05.23.2022	
DRAWN: DP	
CHECKED: DA	
ISSUE: PLN RESUBMITTAL	

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NO.	DATE	DESCRIPTION	BY

TREE REMOVAL PLAN

JOB NO. DEVT101
DATE: 05.23.2022
DRAWN: DP
CHECKED: DA
ISSUE: PLN RESUBMITTAL

SHEET NO.

L0.05

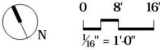
OF SHEETS



KEY

#0XXX
TREES TO BE REMOVED
CORRESPONDS WITH ARBORIST REPORT

TREE TABULATION
TOTAL NUMBER OF TREES ON SITE: 23
TOTAL NUMBER OF PROTECTED TREES ON SITE: 15
TOTAL TREES TO BE REMOVED: 23
TREES TO BE REMOVED WITH PROTECTED STATUS: 15
NEW TREES ADDED TO PROJECT: 27



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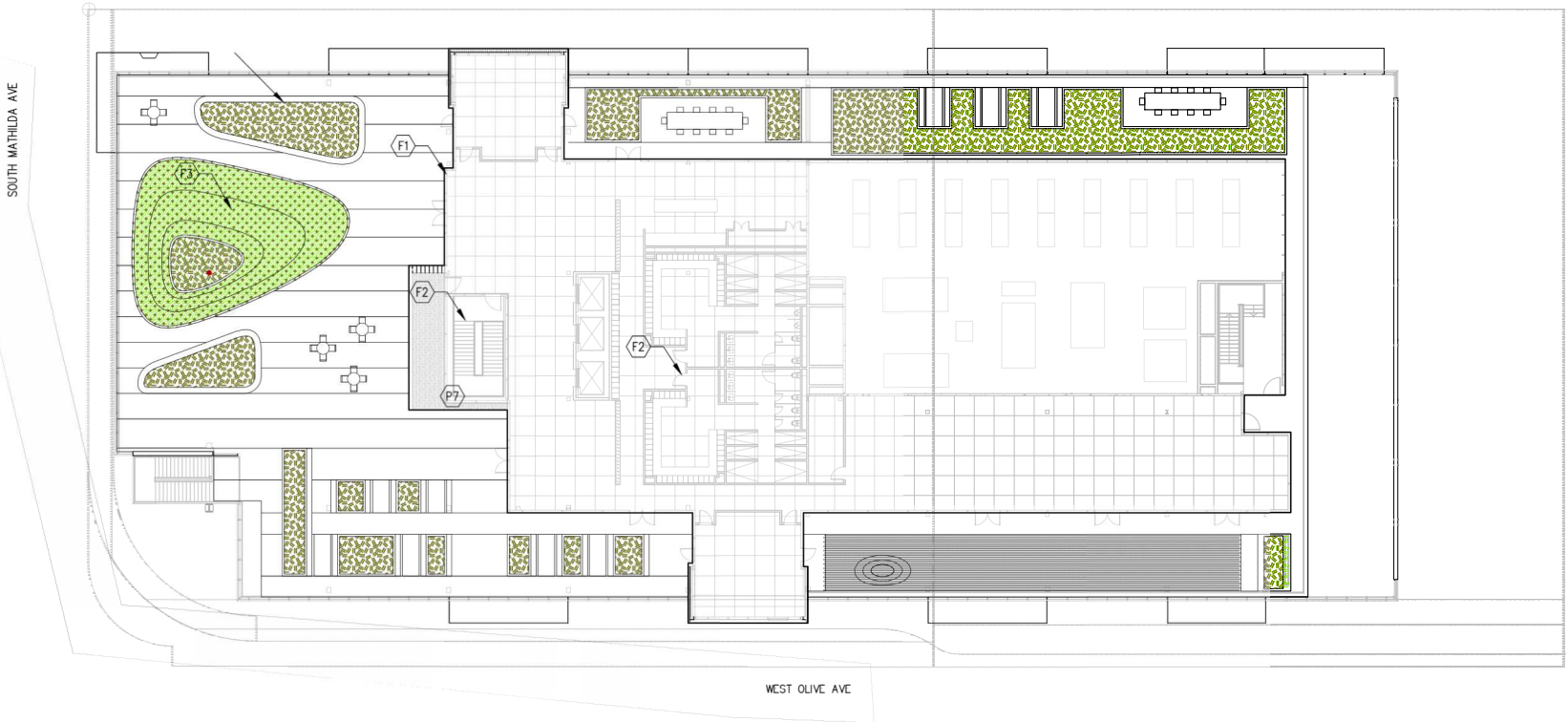
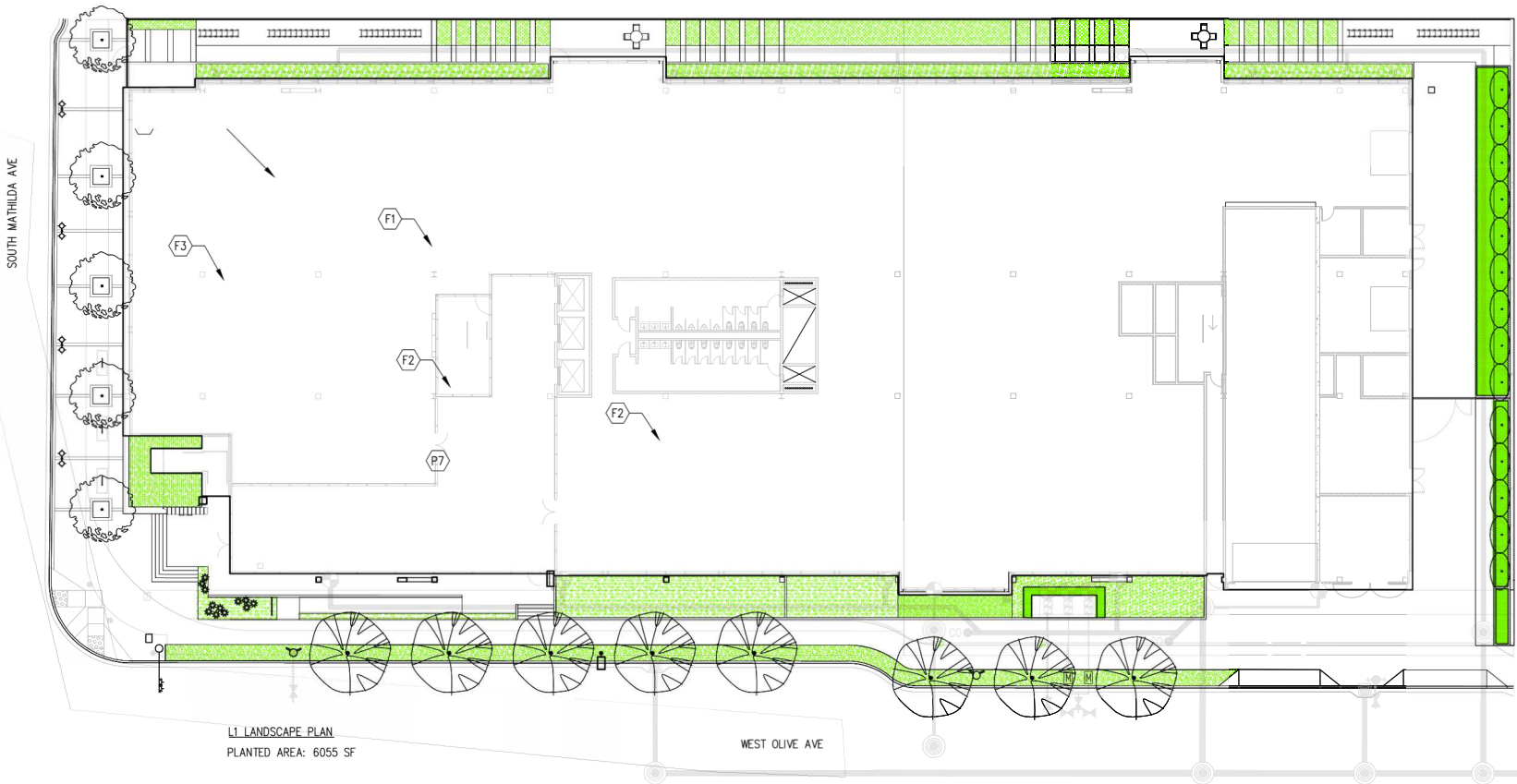
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KEY

LANDSCAPING (TOTAL): 10005 SF
LOT SIZE: 54763 SF
GREEN COVERAGE BASED ON LOT SIZE: 18.4%



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NO.	DATE	DESCRIPTION	BY

PLANTING COVERAGE

JOB NO. DEV1101
DATE: 05.23.2022
DRAWN: DP
CHECKED: DA
ISSUE: PLN RESUBMITTAL

SHEET NO.
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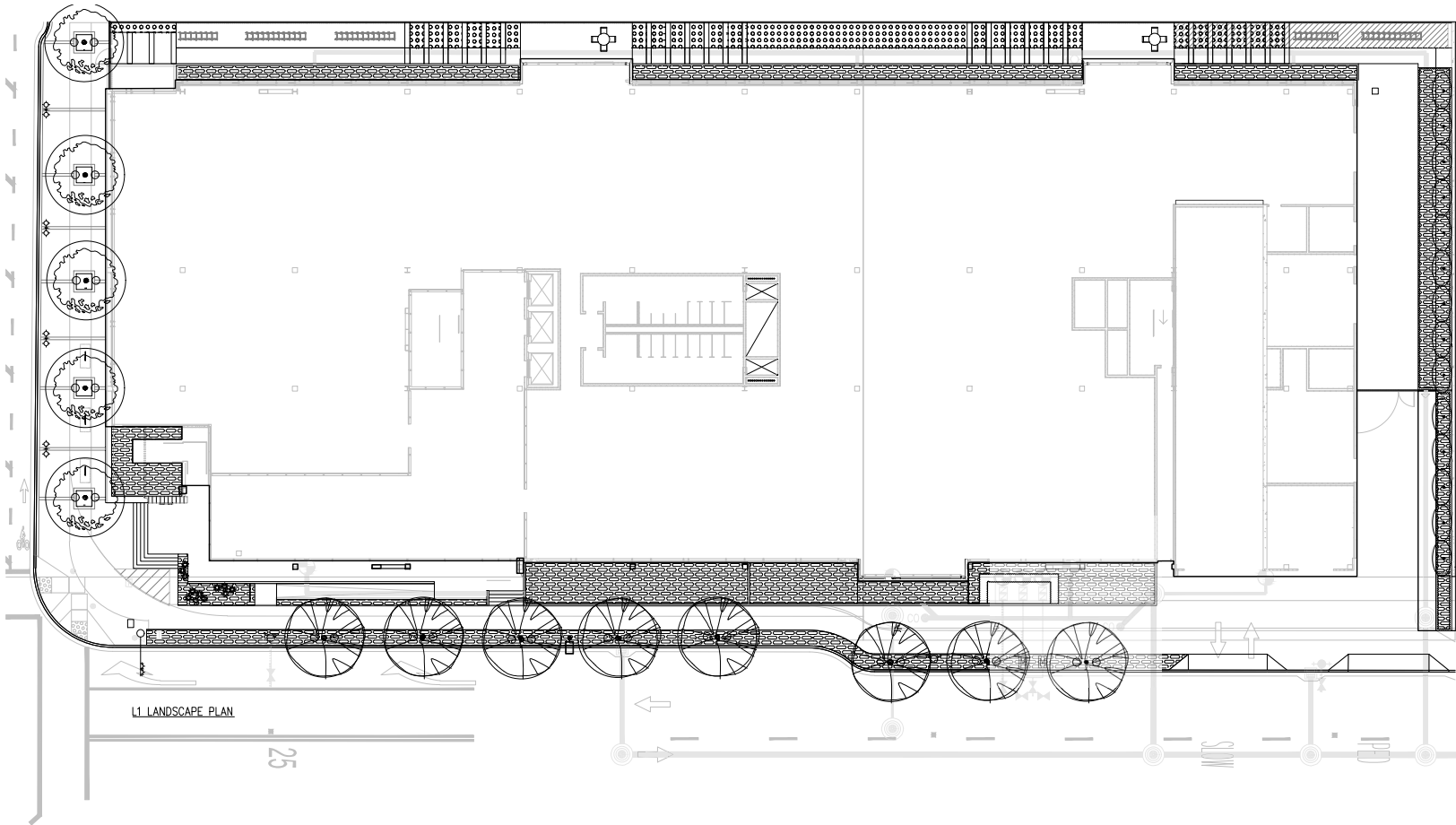


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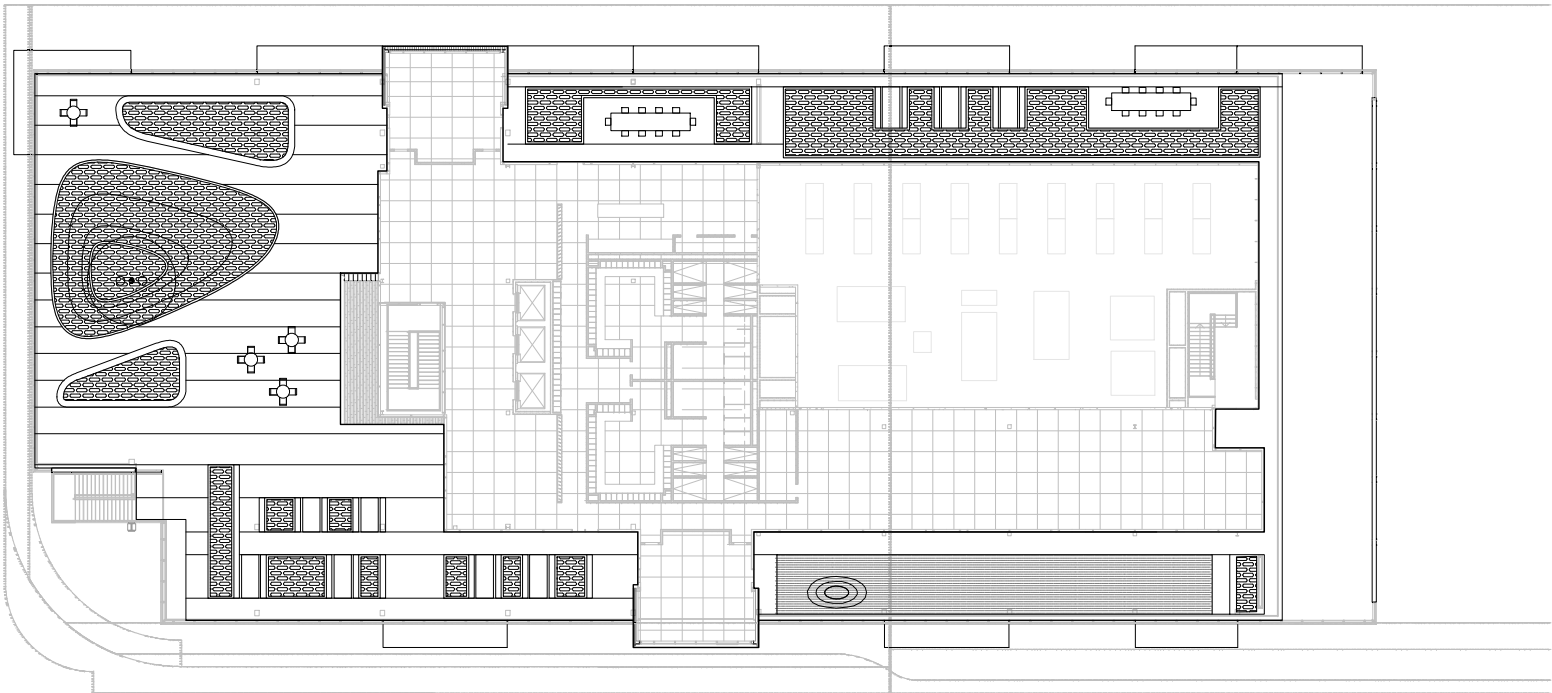
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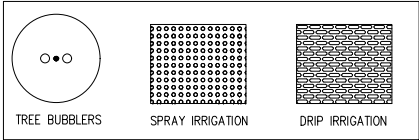
L1 LANDSCAPE PLAN


25



L4 LANDSCAPE PLAN

KEY



WATER EFFICIENT LANDSCAPE WORKSHEET													
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package													
Project Name:	480 S. Matilda				 sweeney + associates IRRIGATION DESIGN AND CONSULTING								
Project Address:	480 S. Matilda Sunnyvale, California 94089												
Reference Evapotranspiration (ET _O)		43.1	In./Yr.	Residential Project?		No							
Hydrozone # / Planting Description*	Plant Factor	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF / IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*						
Regular Landscape Areas													
Low Water Use Plantings	0.20	Drip	0.81	0.25	3,610	891	23,819						
Moderate Water Use Plantings	0.40	Drip	0.81	0.49	6,000	2,963	79,176						
High Water Use Plantings	0.70	Drip	0.81	0.86	940	812	21,708						
Water Feature / Pool / Spa	1.00	Direct Fill	1.00	1.00	0	0	0						
Totals:					10,550	4,667							
Special Landscape Areas													
Picnic Area			1.00	0	0	0	0						
Active Turf			1.00	0	0	0	0						
Vegetable Garden			1.00	0	0	0	0						
Totals:					0	0							
Estimated Total Water Use (ETWU) Total:						124,703							
Maximum Applied Water Allowance (MAWA)*:						126,863							
* Hydrozone # / Planting Description		* Irrigation Method		* Irrigation Efficiency									
E.g. 1.) Front Lawn 2.) Low Water Use Plantings 3.) Medium Water Use Plantings		Overhead Spray of Drip		0.75 for Spray 0.81 for Drip									
* ETWU (Annual Gallons Required) = $ETo \times 0.62 \times ETAF \times Area$ Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year.													
* MAWA (Annual Gallons Allowed) = $ETo \times 0.62 \times [(ETAF \times LA) + ((1 - ETAF) \times SLA)]$ Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential projects and 0.45 for non-residential projects.													
Evapotranspiration Adjustment Factor (ETAF) Calculations													
This non-residential project complies with the WELO and its average ETAF is less than						0.45							
Regular Landscape Areas				All Landscape Areas									
Total ETAF x Area		4,667		Total ETAF x Area		4,667							
Total Area		10,550		Total Area		10,550							
Average ETAF		0.44		Average ETAF		0.44							

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NO.	DATE	DESCRIPTION	BY

IRRIGATION PLAN

JOB NO. DEVT101
DATE: 05.23.2022
DRAWN: DP
CHECKED: DA
ISSUE: PLN RESUBMITTAL

SHEET NO.
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NO.	DATE	DESCRIPTION	BY

CIRCULATION

JOB NO. DEVT101

DATE: 04.26.2022

DRAWN: DP

CHECKED: DA

ISSUE: PLN RESUBMITTAL

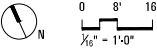
SHEET NO.

L0.08

OF SHEETS

KEY

PEDESTRIAN CIRCULATION
(ACCESSIBLE)



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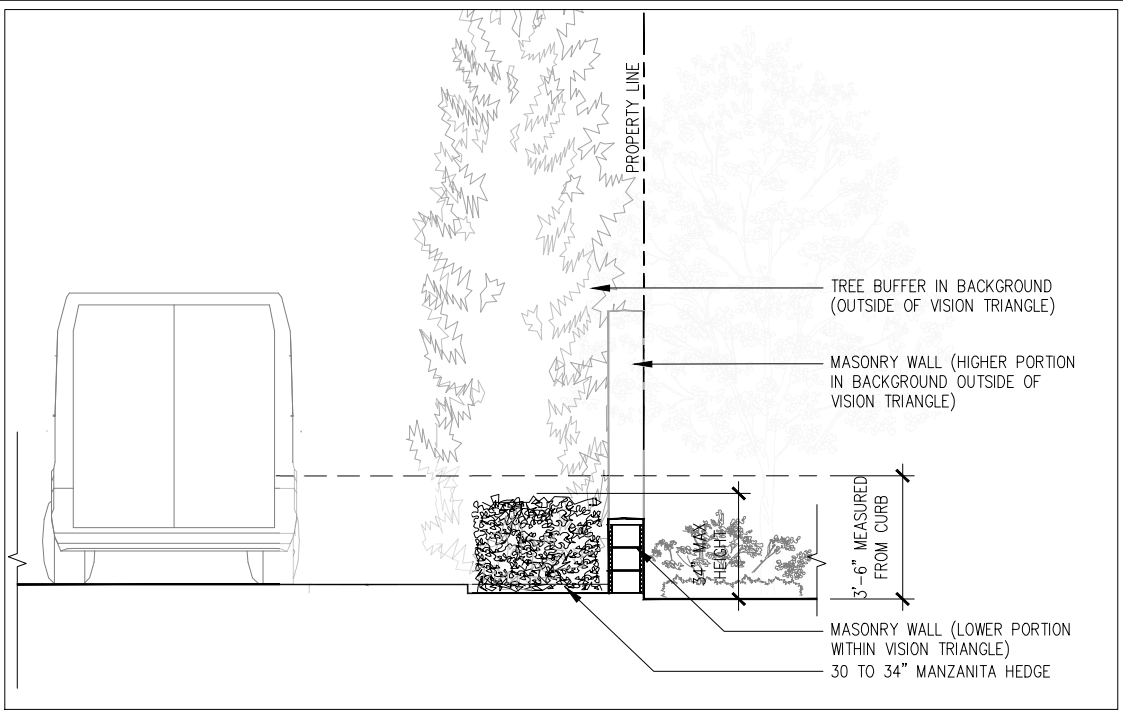
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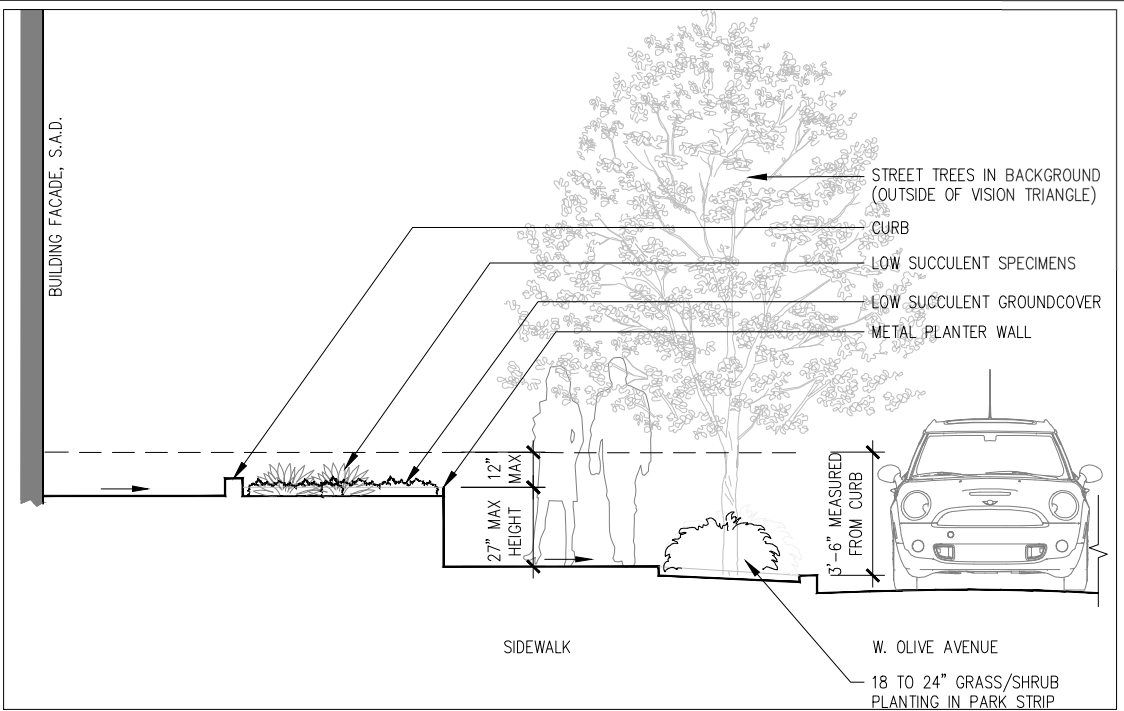
REVISIONS			
NO.	DATE	DESCRIPTION	BY

SECTIONS AND RENDERING

JOB NO. DEVT101	SHEET NO. L0.09 OF SHEETS
DATE: 05.23.2022	
DRAWN: DP	
CHECKED: DA	
ISSUE: PLN RESUBMITTAL	



02 SECTION @ DRIVEWAY VISION TRIANGLE
NTS



01 SECTION @ CORNER VISION TRIANGLE
NTS



03 VIEW ALONG W. OLIVE AVENUE STREETScape, FACING S. MATHILDA AVENUE



CONSTRUCTION
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NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	03/22/22	PLANNING RESUBMITTAL	
4	04/18/22	PLANNING RESUBMITTAL	
5	05/23/22	PLANNING RESUBMITTAL	

SITE LIGHTING PLAN

JOB NO. 21-018

DATE : 05/23/22

DRAWN:

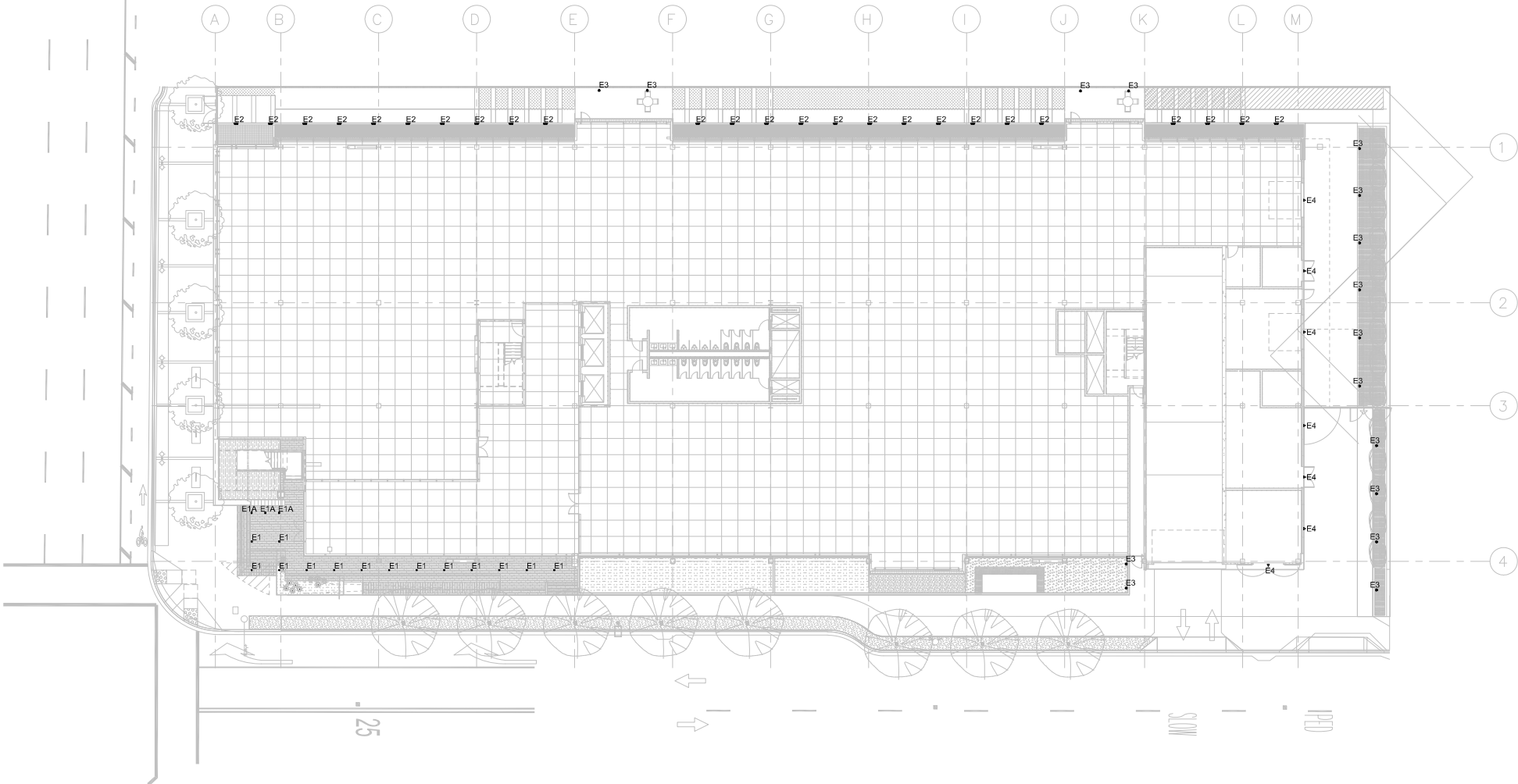
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LT.1

OF SHEETS



SCALE: 1/16" = 1'-0"



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4	04/18/22	PLANNING RESUBMITTAL	
5	05/23/22	PLANNING RESUBMITTAL	

PHOTOMETRIC PLAN

JOB NO. 21-018

DATE : 05/23/22

DRAWN:

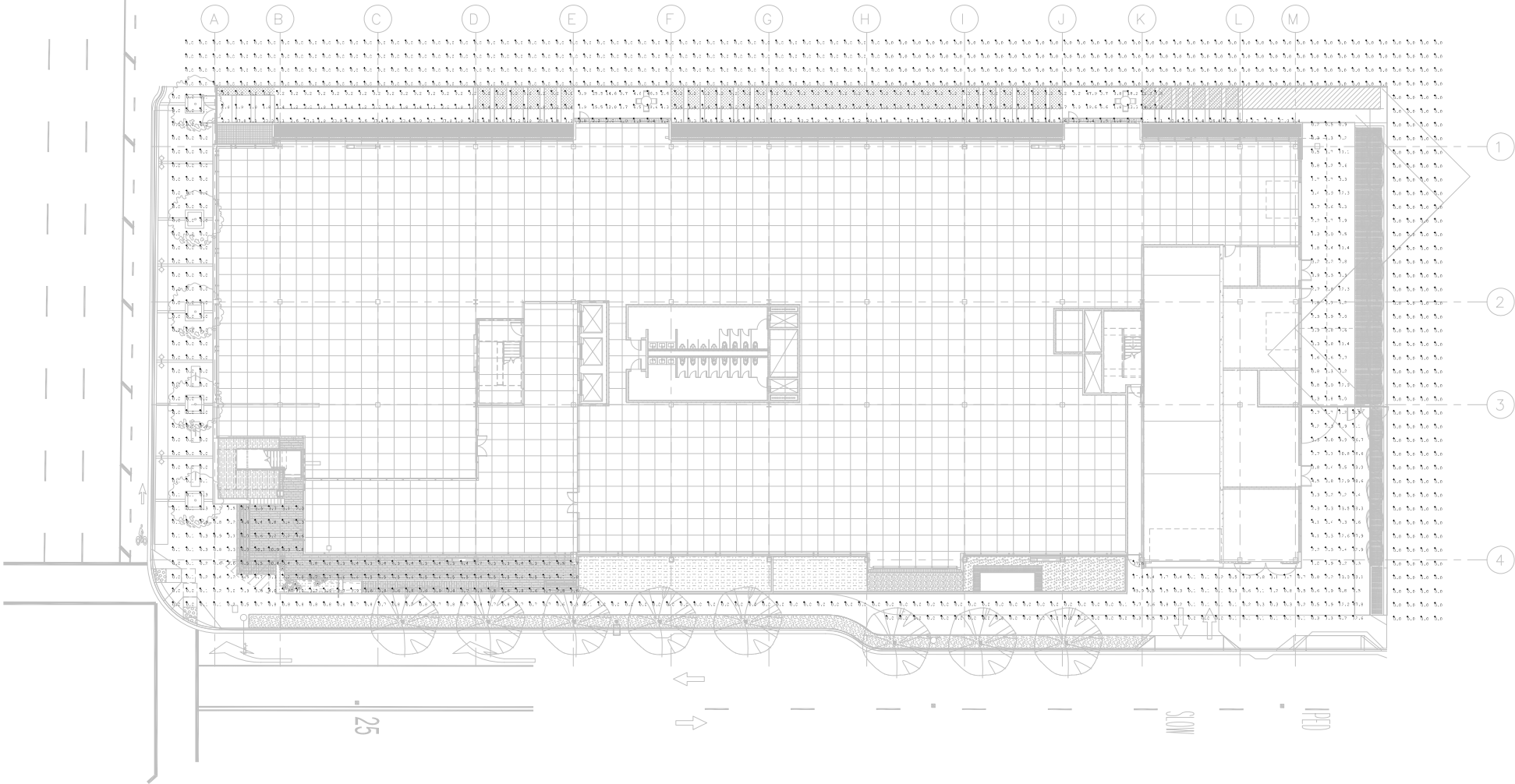
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SHEET NO.

LT.2

OF SHEETS



SCALE: 1/16" = 1'-0"

Illuminance Calculations Disclaimer:

Illuminance calculations are for lighting design aid purposes only. All calculations performed by Horton Lees Brogden Lighting Design Inc (HLB) are based on published methods and recommendations of the Illuminating Engineering Society of North America (IESNA). Calculation accuracy is highly dependent upon the input data utilized in the calculations and variances greater than 20% may occur if there are variations in the input data or if equipment does not perform as published in IES Photometric files. Some input data is provided by others (e.g. manufacturer's photometric reports, lamp lumen ratings, ballast factors, room surface materials and/or reflectances) and not all report data is available for the exact luminaire characteristics specified. Some information is derived by HLB from industry standard methods (e.g. luminaire and room surface dirt depreciation factors). Some information is not available for conditions outside of the norm, like variations in temperature, humidity, snow cover, vibration or non-standard mounting conditions. HLB has made every effort to ensure the reliability of all data, but is not responsible for errors in data that is received from others, is unavailable, or for equipment that does not perform as published. Field measurements may vary as much as 10%-20% from calculation results due to the limitations associated with the calculation procedures utilized and referenced by the IESNA. High amounts of variation can occur from the use of non-professional grade illuminance meters or meters that are not in perfect calibration. HLB includes a listing of all input values as part of the calculation submission. Please review these input values and notify HLB immediately if any inconsistencies or inaccuracies are noted. Further, the Calculation results provided herein are without warranty of any kind as related to compliance with any local or state emergency or egress code requirements. Use of the Calculations for these purposes is at sole risk of the user and without liability of legal exposure to HLB. User agrees that they shall waive any and all claims against HLB arising out of or resulting from use of the Calculations for these purposes.



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5	05/23/22	PLANNING RESUBMITTAL	

OFF SITE LIGHTING PLAN

JOB NO. 21-018

DATE : 05/23/22

DRAWN:

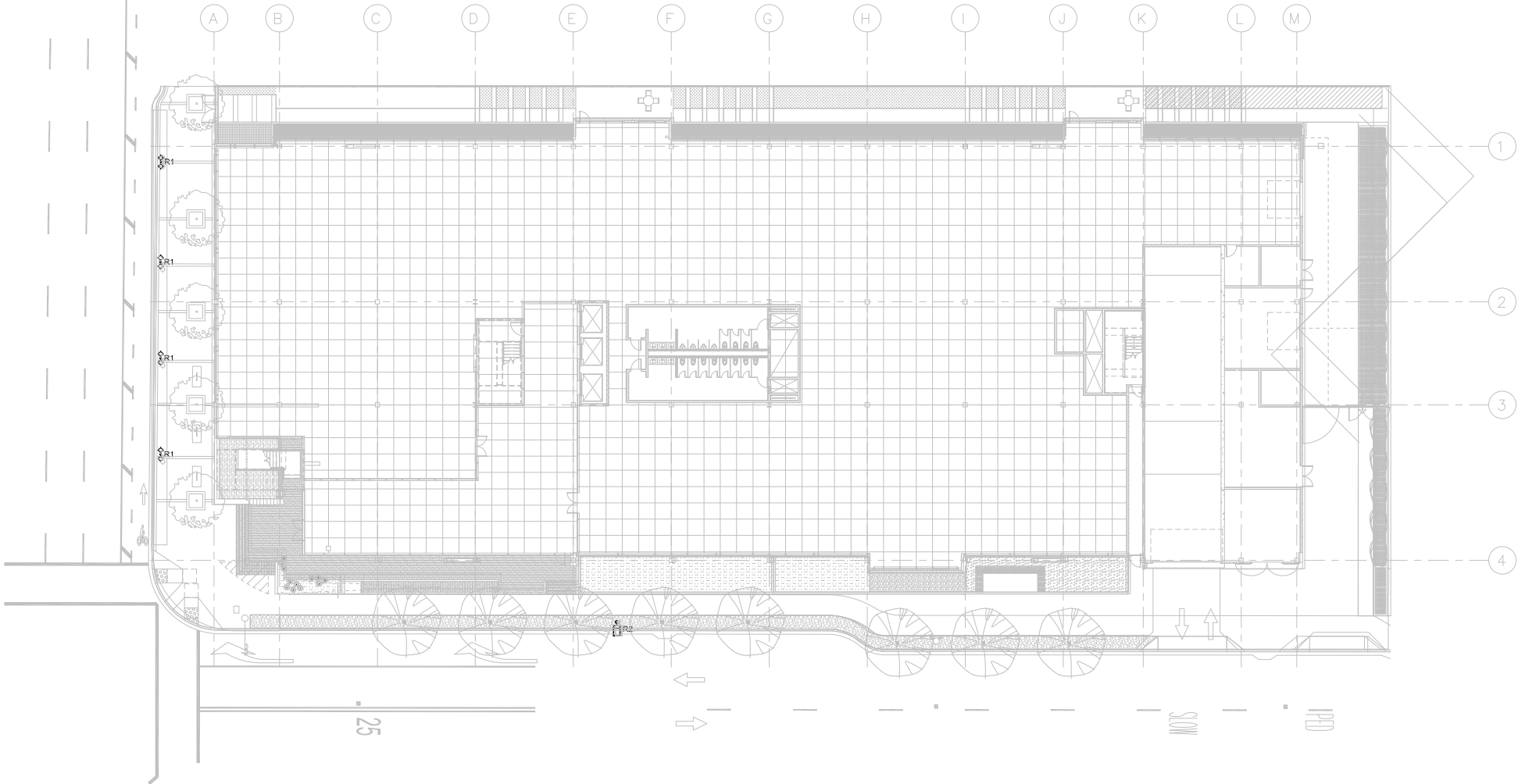
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ISSUE: PLN RESUBMITTAL

SHEET NO.

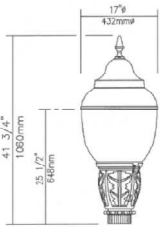
LT.3

OF SHEETS



SCALE: 1/16" = 1'-0"

LIGHTING FIXTURE SCHEDULE



TYPE R1:
LUMEC DOUBLE-HEADED DECORATIVE ROADWAY LIGHT
(2) S56-R0W48LED4K4-GL4-E3-UNI4-SFOK-TN2.875C-RG-FN104HS48KTX
79W LED



TYPE R2:
LUMEC ROADWAY LIGHT ON 30' POLE
ROADFOCUS MEDIUM
75W LED

THE
Minkoff
GROUP

490 S MATHILDA
SUNNYVALE, CA



560 14th Street, Suite 300
Oakland, California 94612
T: 510.473.0300 F: 510.473.0310

RADIUS
DESIGN, LLC
UTILITY DESIGN CONSULTANTS & ENGINEERS
1460 MARIA LANE, SUITE 420, WALNUT CREEK, CA 94596
Tel (925) 269-4575

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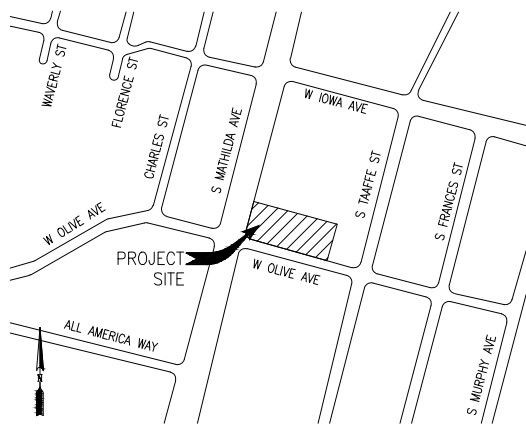
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NO.	DATE	DESCRIPTION	BY

JOINT TRENCH TITLE SHEET

JOB NO. 21-1155	SHEET NO.
DATE: 05/23/22	JT-1
DRAWN: HN	
CHECKED: MC	
ISSUE: PLN RESUBMITTAL	
1 OF 2 SHEETS	



WORK RESPONSIBILITY JOINT TRENCH

TRENCHING EXCAVATE & BACKFILL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
GAS MATERIAL SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
*PG&E ELECTRIC CABLE SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
ELECTRIC CONDUIT SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
ELECTRIC BOXES SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
ELECTRIC PADS SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
ELECTRIC TRANSFORMERS SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
ELECTRIC INTERRUPTERS SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
PG&E ELECTRIC SWITCHES SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
TELEPHONE CONDUIT SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
TELEPHONE CABLE SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
TELEPHONE SPLICE BOXES SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
TELEPHONE S&I PADS SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
C.A.T.V. CONDUIT SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
C.A.T.V. SPLICE BOXES SUPPLY & INSTALL.....	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
C.L.E.C. FIBER CONDUIT _____ ACCEPTED _____ DECLINED	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY
C.L.E.C. FIBER SPLICE BOXES _____ ACCEPTED _____ DECLINED	PG&E ELECTRIC PG&E GAS PG&E TELEPHONE C.A.T.V. THE CITY

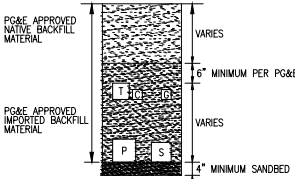
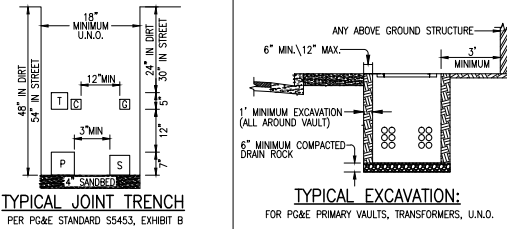
- WORK TO BE PERFORMED BY THE RESPECTIVE CONTRACTOR & UTILITY COMPANIES
- ASSUME CONTRACTOR RESPONSIBILITY UNLESS OTHERWISE SPECIFIED
- NOT APPLICABLE UNLESS OTHERWISE SPECIFIED
- * PG&E TO PULL CABLE INTO ENERGIZED ENCLOSURES
- NOTE: FOR A MORE DETAILED WORK RESPONSIBILITY BREAKDOWN, SEE CORRESPONDING MATERIAL LIST.

THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

	RECEIVED	APPROVED
CIVIL IMPROVEMENT PLANS/GRADING PLANS	05-23-2022	PRELIMINARY
ARCHITECTURAL ELECTRONIC FILE	01-19-2022	PRELIMINARY
APPLICANT DESIGN (GAS)		
APPLICANT DESIGN (ELECTRIC)		
TELEPHONE		
C.A.T.V.		
LANDSCAPE	05-23-2022	PRELIMINARY
LIGHT LOCATIONS		
TRAFFIC SIGNAL LOCATIONS		

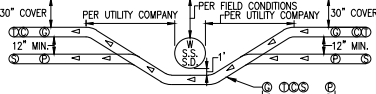
RADIUS DESIGN is not responsible for any subsequent changes or revisions.

OTHER UTILITIES SHOWN ARE APPROXIMATE AND BASED ON FIELD SURVEY AND AVAILABLE UTILITY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND EXTENT OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. PHYSICAL VERIFICATION OF UTILITY LOCATIONS SHALL BE PERFORMED BY CAREFUL PROBING OR HAND DIGGING IN ACCORDANCE WITH ARTICLE 6 OF THE CAL/OSHA CONSTRUCTION SAFETY ORDERS.



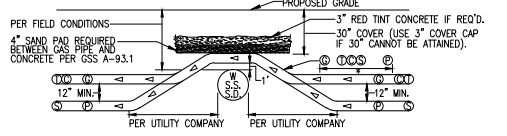
MINIMUM BACKFILL REQUIREMENTS

*CHECK WITH LOCAL GOVERNING AGENCIES FOR POSSIBLE VARIATIONS



JOINT TRENCH UNDER WATER & S.S. & S.D.

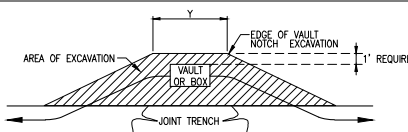
*WIDTH PER SIZE & NUMBER OF EACH UTILITY, PG&E AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.



JOINT TRENCH OVER WATER & S.S. & S.D.

NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO PG&E. YOU ARE REQUIRED TO CONTACT THE LOCAL PG&E ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVERS LESS THAN MINIMUM OR COVERS REQUIRING SHORING, CONCRETE CAPPING IS ONLY ACCEPTABLE WHERE NO OTHER SOLUTION IS POSSIBLE AND ONLY WHEN CERTAIN CRITERIA ARE MET AND ONLY WITH PG&E APPROVAL.



TYPICAL PG&E PRIMARY BOX

EXCAVATION DETAIL

ELECTRIC CONDUIT MINIMUM BEND RADIUS

CONDUIT DIAMETER	VERTICAL RADIUS	HORIZONTAL RADIUS
2"	24"	36"
3"	24"	36"
4"	36"	36"
5"	36"	60"

NOTE: 315" MAX BENDS IN ANY SECONDARY CONDUIT RUN 200' OR LESS.
300" MAX BENDS IN ANY PRIMARY CONDUIT RUN.

TYPICAL GAS METER REQUIREMENTS*

METER TYPE	LOAD (SCFH)	DELIVERY PRESSURE** (PSIG)	PAD SIZE (INCHES)	MIN. WIDTH REQUIRED FOR METER "X" TO FINISHED WALL (INCHES)	DISTANCE FROM RISER TO FINISHED WALL (INCHES)	MIN. HOUSELINE STUB OUT (INCHES)
TYPICAL RESIDENTIAL	0-350	0.25	N/A UNLESS USING FLEX-HOSE METER	24	6 TO 9	4
400 TO 1000 CLASS	351-1,400	0.25	N/A UNLESS USING FLEX-HOSE METER	30	6 TO 9	6
1.5M OR 3M ROTARY	601-2,400	2	APPROVED BY PG&E	40 X 36 X 4	52	VARIES
5M OR 7M ROTARY	1,401-3,000	APPROVED BY PG&E	78 X 36 X 4	90	20	VARIES
11M OR 16M ROTARY	3,001-16,000	APPROVED BY PG&E	94 X 36 X 4	106	20	VARIES

*ACTUAL METER-SET CONFIGURATIONS MAY DIFFER DEPENDING ON FIELD CONDITIONS AND RESTRICTIONS. FOR GAS METER DETAILS, SEE SECTION 2 OF CURRENT ELECTRIC & GAS SERVICE REQUIREMENTS GREENBOOK BY PG&E. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT. SEE NOTE 17 UNDER GENERAL NOTES ON SHEET JT-1.

**DELIVERY PRESSURE TO BE CONFIRMED VIA BUILDING PLUMBING AND MECHANICAL PLANS. PG&E MAINTAINS SOLE AUTHORITY TO DETERMINE IF THE ELEVATED DELIVERY-PRESSURE SERVICE IS AVAILABLE AT A SPECIFIC LOCATION.

GENERAL NOTES:

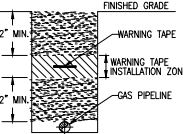
- JOINT TRENCH MUST BE INSTALLED ENTIRELY WITHIN AN EASEMENT. EASEMENTS FOR JOINT TRENCH SERVICE LATERALS WITHIN PROJECT ON PRIVATE PROPERTY ARE AT THE DISCRETION OF THE UTILITY COMPANIES.
- ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
- COVER, CLEARANCES, AND SEPARATION SHALL BE AS GREAT AS PRACTICABLE UNDER THE CIRCUMSTANCES, BUT UNDER NO CIRCUMSTANCES SHALL BE LESS THAN THE MINIMUM COVER, CLEARANCE, AND SEPARATION REQUIREMENTS SET FORTH IN GENERAL ORDER 128 AND 49CPR 192.321, 49CPR 192.325, AND 49CPR 192.327. ALL FACILITIES SHALL BE ANCHORED IN PLACE PRIOR TO COMPACTION, OR OTHER MEANS SHALL BE TAKEN TO ENSURE NO MOTION OF THE FACILITIES. DIMENSIONAL REQUIREMENTS FOR SHADING, LEVELING, AND BACKFILLING SHALL BE DETERMINED SUBSEQUENT TO COMPACTION.
- TRENCH DIMENSIONS SHOWN ARE TYPICAL. TRENCH SIZES AND CONFIGURATIONS MAY VARY DEPENDING UPON OCCUPANCY AND/OR FIELD CONDITIONS. TRENCH SIZE AND CONFIGURATION MUST AT ALL TIMES BE CONSTRUCTED IN A MANNER THAT ENSURES PROPER CLEARANCES AND COVER REQUIREMENTS ARE MET. ANY "CHANGES" TO THE TRENCH WIDTH AND CONFIGURATIONS AS SHOWN IN THIS EXHIBIT MUST BE DESIGNED TO ENSURE THIS REQUIREMENT.
- IT IS PREFERRED TO HAVE NON-PG&E OWNED STREETLIGHTS AT A LEVEL OTHER THAN THE GAS OR ELECTRIC LEVEL. NON-PG&E OWNED STREETLIGHTS MAY BE AT THE ELECTRIC LEVEL OF THE TRENCH AS LONG AS MINIMUM CLEARANCES ARE PROVIDED AND COMPLY WITH ALL SPECIAL NOTES FOR A JOINT TRENCH WITH A SECOND ELECTRIC UTILITY.
- NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH, E.G., IRRIGATION CONTROL LINES, BUILDING FIRE ALARM SYSTEMS, PRIVATE TELEPHONE SYSTEMS, OUTDOOR ELECTRICAL CABLE, ETC.
- WHEN COMMUNICATION DUCTS ARE INSTALLED, A MINIMUM OF 12" RADIAL SEPARATION SHALL BE MAINTAINED FROM GAS FACILITIES. EXCEPTION: WITH MUTUAL AGREEMENT, WHEN 4-INCH DIAMETER OR SMALLER GAS PIPE IS INSTALLED, THE SEPARATION MAY BE REDUCED TO NOT LESS THAN 6 INCHES.
- PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
- MAINTAIN PROPER SEPARATION BETWEEN PG&E FACILITIES AND "WET" UTILITY LINES AS DESCRIBED IN UO STANDARD SS453. THE MINIMUM ALLOWABLE HORIZONTAL SEPARATION BETWEEN COMPANY FACILITIES AND "WET" FACILITIES IS 3' WITH A MINIMUM 1' OF UNDISTURBED EARTH OR THE INSTALLATION OF A SUITABLE BARRIER BETWEEN THE FACILITIES. IF A 3' HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO THE SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL. SEPARATIONS OF 1' OR LESS ARE NOT PERMISSIBLE AND WILL NOT BE ALLOWED. THE COMPANY MAY AGREE TO WAIVE THE MINIMUM 3' SEPARATION REQUIREMENT AT THE REQUEST OF AN APPLICANT IF WARRANTED AND THE NEED IS JUSTIFIED. THE REQUEST FOR A WAIVER MUST:
 - BE MADE IN WRITING AND SUBMITTED TO THE COMPANY ADE DURING THE PLANNING AND DESIGN PHASE OF THE PROJECT.
 - CLEARLY DESCRIBE THE CONDITIONS NECESSITATING THE WAIVER.
 - INCLUDE A PROPOSED DESIGN, AND INCLUDE A DESIGN FOR A BARRIER BETWEEN THE "WET" UTILITIES AND COMPANY DRY FACILITIES IN THE EVENT 1' OF UNDISTURBED EARTH CANNOT BE MAINTAINED. NOTE: DRAIN LINES CONNECTED TO DOWNSPOUTS ON BUILDINGS ARE CONSIDERED A "WET" UTILITY FOR THE PURPOSES OF THIS STANDARD.
- SEPARATIONS SHALL BE MAINTAINED AT ABOVE GRADUATION TERMINATION POINTS.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING OF PG&E GAS FACILITIES:
 - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE.
 - THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING, OR LEVELING MATERIALS.
 - COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E, FEDERAL, STATE, COUNTY, OR LOCAL REQUIREMENTS.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
 - THE SIEVES AND SCREENS SHALL BE:
 - 1/2" SIEVE: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
 - 1/4" SCREEN: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING OF PG&E ELECTRIC FACILITIES:
 - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - SHADING MATERIAL, CONTAINING LARGE ROCK, PAVING MATERIAL, CONCRETE, SHARPLY ANGULAR SUBSTANCES, OR CORROSIVE MATERIAL SHALL NOT BE PLACED IN THE TRENCH WHERE SUCH MATERIAL MAY DAMAGE THE CONDUITS AND/OR PREVENT PROPER COMPACTION OVER OR AROUND THE CONDUITS.
 - NATIVE SOILS CONTAINING CLODS NOT TO EXCEED 6" IN DIAMETER MAY BE INCLUDED IN THE SHADING MATERIAL PROVIDED THE CLODS ARE EASILY BREAKABLE BY HAND. NOTE: SOILS CONSISTING PRIMARILY OF ADGEE, HARD COMPACT (DENSE) CLAY, AND DRY MUDS SHALL NOT BE USED AS SHADING MATERIAL.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
 - REFER TO ENGINEERING DOCUMENT 062286, ITEM 13 ON PAGE 2.
- COMPETENT NATIVE SOILS ARE PREFERRED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING THROUGHOUT THE TRENCH.
- WHERE NATIVE SOILS EXCEED 1/2" MINUS AND/OR WHERE GAS IS TO BE PLACED AT THE BOTTOM OF A TRENCH IN AREAS THAT EXCEED 1/2" MINUS SOIL CONDITIONS, OR WHERE THE BOTTOM OF A TRENCH IS CONSIDERED TO CONSIST OF HARD PAN, PG&E APPROVED 1/2" MINUS IMPORT MATERIAL SHALL BE USED FOR SHADING AND/OR BEDDING OF GAS FACILITIES.
- PG&E APPROVED IMPORT MATERIAL IS PER CST ENGINEERING GUIDELINE 4123.
- IF A LEVELING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS CONDITIONS ARE NOT ATTAINABLE WITH THE NATIVE SOILS, THEN THE USE OF PG&E APPROVED IMPORT MATERIALS IS REQUIRED. BEDDING UNDER GAS FACILITIES WILL BE A MINIMUM OF 2" OF COMPACTED 1/2" MINUS NATIVE SOILS OR PG&E APPROVED IMPORT MATERIAL.
- FOR ELECTRIC FACILITIES, REFER TO NOTE 12. THIS APPLIES TO LEVELING COURSES AS WELL AS SHADING.
- THE MINIMUM PG&E APPROVED BEDDING MATERIAL MAY BE REDUCED AT THE DISCRETION OF PG&E WHEN WARRANTED BY EXISTING FIELD CONDITIONS (E.G., ROCKY SOILS, HARD PAN, ETC.).
- THE USE OF ANY IMPORTED MATERIAL FOR BACKFILLING PURPOSES SHALL BE LIMITED TO THOSE SITUATIONS WHEN NATIVE SOILS DO NOT ALLOW FOR REQUIRED COMPACTION.
- THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPILL AND ASSOCIATED COSTS.
- SEPARATION BETWEEN GAS FACILITIES AND ELECTRIC FACILITIES MAY BE REDUCED TO 6" WHEN CROSSING.
- SERVICE SADDLES ARE THE PREFERRED SERVICE FITTINGS FOR USE THROUGHOUT THE JOINT TRENCH PROJECT. ALL PROJECTS WILL BE DESIGNED AND ESTIMATED USING SERVICE SADDLES. HOWEVER, SERVICE TEES MAY BE USED IF ALL CLEARANCES, SEPARATION, AND COVERAGE REQUIREMENTS ARE MAINTAINED.
- CONTRACTOR TO INCREASE METER SPACING AS NECESSARY WHEN EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT ARE REQUIRED. EARTHQUAKE VALVES ARE REQUIRED IN SOME AREAS AND ARE NOT PART OF PG&E/RADIUS SCOPE. THIS INFORMATION CAN BE FOUND ON BUILDING MECHANICAL ENGINEER'S PLANS. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES.

ELECTRIC VERTICAL CLEARANCE REQUIREMENTS:

- ABOVE ANY THREE-PHASE PAD-MOUNTED TRANSFORMER/EQUIPMENT LOCATION (EXCEPT MIN THREE PHASE), MAINTAIN 30' MINIMUM UNOBSTRUCTED OVERHEAD CLEARANCE OVER PAD.
- ABOVE ANY OTHER TRANSFORMER/EQUIPMENT LOCATION, MAINTAIN 20' MINIMUM UNOBSTRUCTED OVERHEAD CLEARANCE OVER VAULT/PAD.

GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:

- A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION OVER GAS PIPELINES IN BOTH TRANSMISSION AND DISTRIBUTION FACILITIES. THIS INCLUDES TRENCHES, BELL HOLES, EXCAVATIONS FOR REPAIR PURPOSES AND RISER REPLACEMENTS. THE WARNING TAPE IS INTENDED FOR EXCAVATOR DIGGING IN THE "TOLERANCE ZONE" TO STRIKE THE WARNING TAPE PRIOR TO THE PIPELINE. WHEN THE WARNING TAPE IS EXPOSED AND GRABBED WITH EXCAVATING EQUIPMENT, IT STRETCHES WITHOUT BREAKING, THUS ALERTING THE EXCAVATOR OF THE GAS FACILITY BELOW.
- INSTALL 6" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" BELOW GRADE, AND NO CLOSER THAN 12" FROM THE PIPE. INSTALLATION SHOULD PROVIDE THE GREATEST SEPARATION BETWEEN THE PIPELINE AND THE TAPE AS POSSIBLE. INSTALL THE TAPE ALONG THE LENGTH OF THE EXCAVATION. ENSURE THAT THE TAPE OVERLAPS WHEN TWO OR MORE PIECES OF TAPE ARE USED. EXCEPTION: WHEN A JOINT TRENCH DESIGN DOES NOT ALLOW FOR INSTALLATION OF WARNING TAPE WITHIN THE "WARNING TAPE" INSTALLATION ZONE, INSTALL THE WARNING TAPE A MINIMUM OF 6" ABOVE THE GAS PIPELINE AND BELOW THE FACILITY ABOVE THE PIPE.
- WARNING TAPE SHALL BE BRIGHTLY COLORED YELLOW AND MARKED "CAUTION: GAS LINE BURIED BELOW" OR MARKED WITH A SIMILAR NOTIFICATION.
- WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.



PG&E PM#S:

ELECTRIC:
GAS:

DESIGN CHANGE COMPONENT

ANY CHANGES TO THIS DESIGN
MUST BE APPROVED BY

PG&E GAS ADE

CONSTRUCTION NOTES:

- ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH PG&E UO STANDARD SS453 (EFFECTIVE DATE 7-5-2006).
- ALL WORK MUST COMPLY WITH P.G. & E. TELEPHONE, C.A.T.V. STANDARDS AND PRACTICES. ALL WORK MUST BE INSPECTED AND APPROVED BY RESPECTIVE INSPECTORS. RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF THREE LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND IS TO BE AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE. THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE. THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING OR LEVELING MATERIALS. COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE P.G. & E. FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS. ANY NATIVE SOILS OR IMPORT MATERIALS USED MUST NOT HINDER THOSE EFFORTS.
- BACKFILL SHALL BE APPROVED BY THE UTILITY COMPANIES AND THE CITY. COMPACTION WILL BE TESTED AND PASSED BY THE SOILS ENGINEER.
- IF SOIL IS NOT ROCK FREE, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
- VERIFY SPLICE BOX EXCAVATION SIZES WITH SUPPLIER(S).
- THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION. THE TRENCHING CONTRACTOR TO PLACE CONNECTING CONDUIT WITHIN 5' OF BUILDING EXTERIOR WALL.
- CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- IT IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES. NO EXTRA PAINTMENT WILL BE CONSIDERED FOR CROSSING OTHER SYSTEMS.
- RADIUS DESIGN ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THESE DRAWINGS WERE PREPARED USING DATA SUPPLIED BY PG&E, TELEPHONE, C.A.T.V. IMPROVEMENT PLANS AND THE CITY'S VARIOUS "AS BUILT" INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY REVIEW THE PROJECT PRIOR TO SUBMITTING HIS BID.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A., INDUSTRIAL SAFETY ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING NEAR ENERGIZED OR "HOT" EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER, PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT CONSTRUCTION STAKING. HE SHALL COORDINATE STAKING WITH THE PROJECT'S CIVIL ENGINEER.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS PRIOR TO START OF WORK.
- CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK.
- THIS PLAN IS TO BE USED FOR SOLE PURPOSE OF DIGGING THE JOINT TRENCH. SEE PG&E, AT&T, AND COMCAST PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS INSTALLED IN THE JOINT TRENCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CORRECT NUMBER, SIZE AND TYPES OF CONDUITS ARE INSTALLED PER THE ENGINEERED PLANS BY EACH UTILITY COMPANY.
- NOTE: PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING MAY BE SUBJECT TO REVISIONS, IF FINAL PLANS FROM EACH UTILITY COMPANY WERE NOT AVAILABLE AT THE START OF CONSTRUCTION.
- WATER, SEWER, DRAINS, SANITARY WASTE, FUELS (INCLUDING DIESEL AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES, SPRINKLER, IRRIGATION, STEAM AND OTHER "WET" FACILITIES SHALL MAINTAIN A MINIMUM OF THREE FEET FROM THE NEAREST OUTER SURFACE OF PG&E FACILITIES WITH NO LESS THAN ONE FOOT OF EARTH (SOIL BARRIER) BETWEEN THE ADJACENT SIDES OF THE INDIVIDUAL TRENCHES.
- IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL.
- ALL METER PANELS: INDIVIDUAL, RESIDENTIAL, OR NONRESIDENTIAL APPLICANTS WITH A METER PANEL RATING OF ANY SIZE, INSTALLED INSIDE A METER ROOM OR OTHER STRUCTURE, MUST FOLLOW ALL OF THE REQUIREMENTS DESCRIBED BELOW.
 - A. INSTALL, OWN, AND MAINTAIN A SEPARATE, NOMINAL 2-INCH DIAMETER CONDUIT WITH PULL TAPE INSIDE. THE CONDUIT AND PULL TAPE MUST EXTEND FROM THE OUTSIDE SURFACE OF THE BUILDING AND TERMINATE OUTSIDE THE METER PANEL OR SWITCHBOARD AT THE TOP OF THE METER SECTION.
 - B. ENSURE THE 2-INCH DIAMETER CONDUIT AND PULL TAPE EXIT THE OUTSIDE OF THE BUILDING A MINIMUM OF 8 FEET AND A MINIMUM OF 10 FEET ABOVE GROUND. THE OPEN END OF THE CONDUIT THAT IS EXPOSED TO THE OUTSIDE MUST HAVE A REMOVABLE, TEMPORARY CAP OR PLUG.
 - C. DO NOT USE THE CONDUIT, THE CONDUITS OR FOR PG&E'S METERING EQUIPMENT ONLY.
- THIS JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHICAL SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY. RADIUS STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.
- EXCAVATION DIMENSIONS FOR TIE-IN TO EXISTING ELECTRIC CONDUITS ARE AT THE DISCRETION OF THE PG&E FIELD INSPECTOR. CONTRACTOR TO COORDINATE WITH INSPECTOR AND EXPOSE UP TO 20' OR MORE OF EXISTING CONDUITS WHEN NEEDED.

SUBSTRUCTURE VERIFICATION STAMP

DEVELOPER
PLEASE NOTE AND SIGN

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO CORRESPOND TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR RE-ADJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR SURVEY VERIFY THE CORRECT GRADE OF ALL ENCLOSURES OR BOXES, AND SIGN AND DATE DRAWING.

SIGNED: _____
DATE: _____

UTILITY	APPROVED BY	DATE
PG&E ELECTRIC		
PG&E GAS		
AT&T (PHONE)		
COMCAST (CATV)		
CITY ENGINEER		

FOR RADIUS USE ONLY

QA REVIEW

INTENT	INITIALS	REVIEW DATE
COMPOSITE		
PRE-CON		
PRE-CON		

DEVELOPER:

THE MINKOFF GROUP
6762 VIRGO ROAD
OAKLAND, CA 94611
DANIEL MINKOFF
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E: DMINKOFF@MINKOFFGROUP.COM

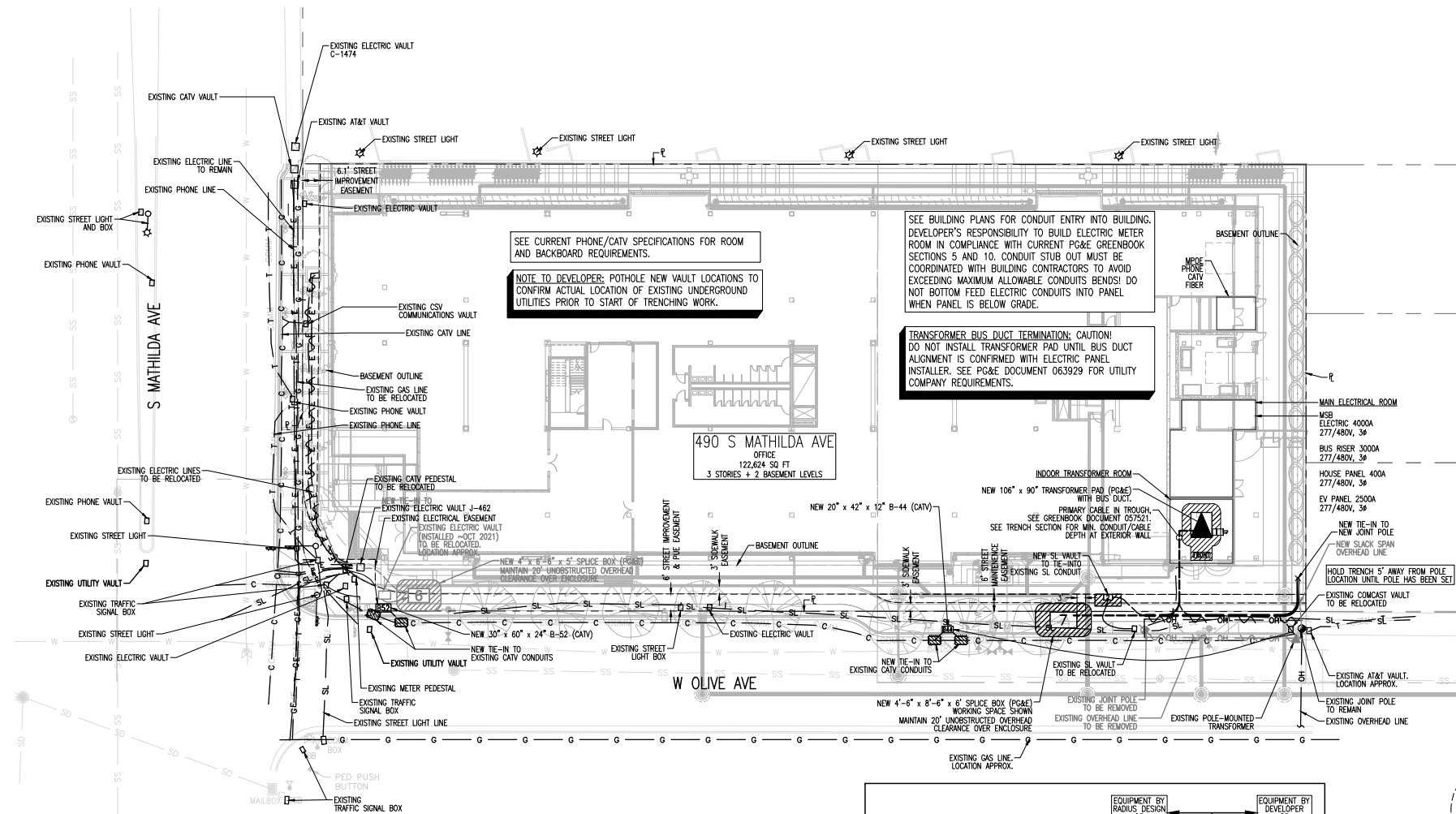
SHEET INDEX

JT-1 JOINT TRENCH TITLE SHEET
JT-2 JOINT TRENCH INTENT

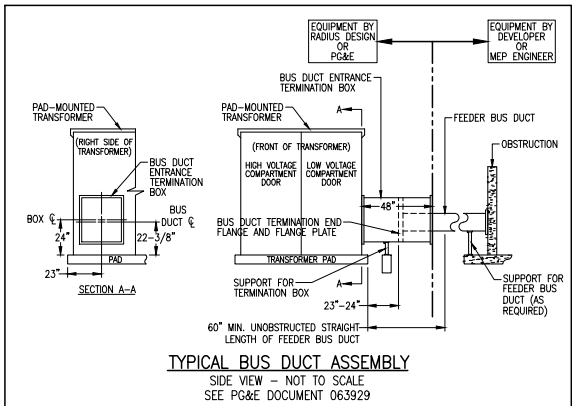


–PRELIMINARY–
NOT FOR CONSTRUCTION











THIS IS NOT A BID DOCUMENT
THIS DRAWING HAS NOT YET BEEN REVIEWED BY
UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

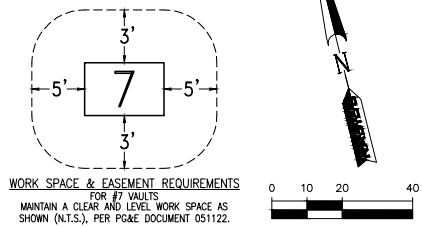
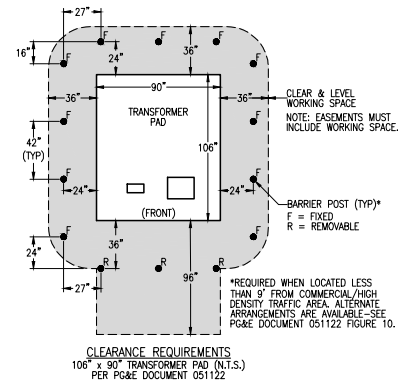


NOTE FOR UNDERGROUND ELECTRIC INSTALLATION:
USE OF PVC DB-120 IS NO LONGER APPROVED BY
PG&E FOR ANY CONDUIT SIZES, BENDS, AND
FITTINGS. RIGID PVC SCHEDULE 40 MUST BE USED
IN PLACE OF PVC DB-120 CONDUIT, FOR ALL
APPROVED CONDUITS, BENDS, AND FITTINGS, SEE
PG&E BULLETIN TD-062288-B006.

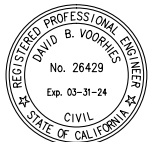


LEGEND:

NEW	DESCRIPTION
	JOINT TRENCH
	106" x 90" TRANSFORMER PAD (PGAE) WITH BUS DUCT, WORKING SPACE SHOWN. MAINTAIN 30" UNSTRUCTURED OVERHEAD CLEARANCE OVER PAD.
	4" x 6" - 4" x 6" SPICE BOX (PGAE) WORKING SPACE SHOWN.
	4" x 8" - 4" x 8" SPICE BOX (PGAE) WORKING SPACE SHOWN
	MAINTAIN 30" UNSTRUCTURED OVERHEAD CLEARANCE OVER ENCLOSURE
	17" x 30" x 18" SPICE BOX (PGAE) WORKING SPACE SHOWN
	30" x 60" x 24" B-52 (CATV)
X	JOINT POLE
EXISTING	DESCRIPTION
OH	OVERHEAD LINE
E	ELECTRIC LINE
G	GAS LINE
T	PHONE LINE
C	CATV LINE
SL	STREET LIGHT LINE
●	JOINT POLE
—○—	STREET LIGHT
*	DECORATIVE LIGHT
	ELECTRIC LINE TO BE RELOCATED
	GAS LINE TO BE RELOCATED
	OVERHEAD LINE TO BE REMOVED
OH	JOINT POLE TO BE REMOVED
	POLE-MOUNTED TRANSFORMER TO BE REMOVED



SHEET INDEX	
JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH INTENT



THE
Minkoff
GROUP

490 S MATHILDA
SUNNYVALE, CA

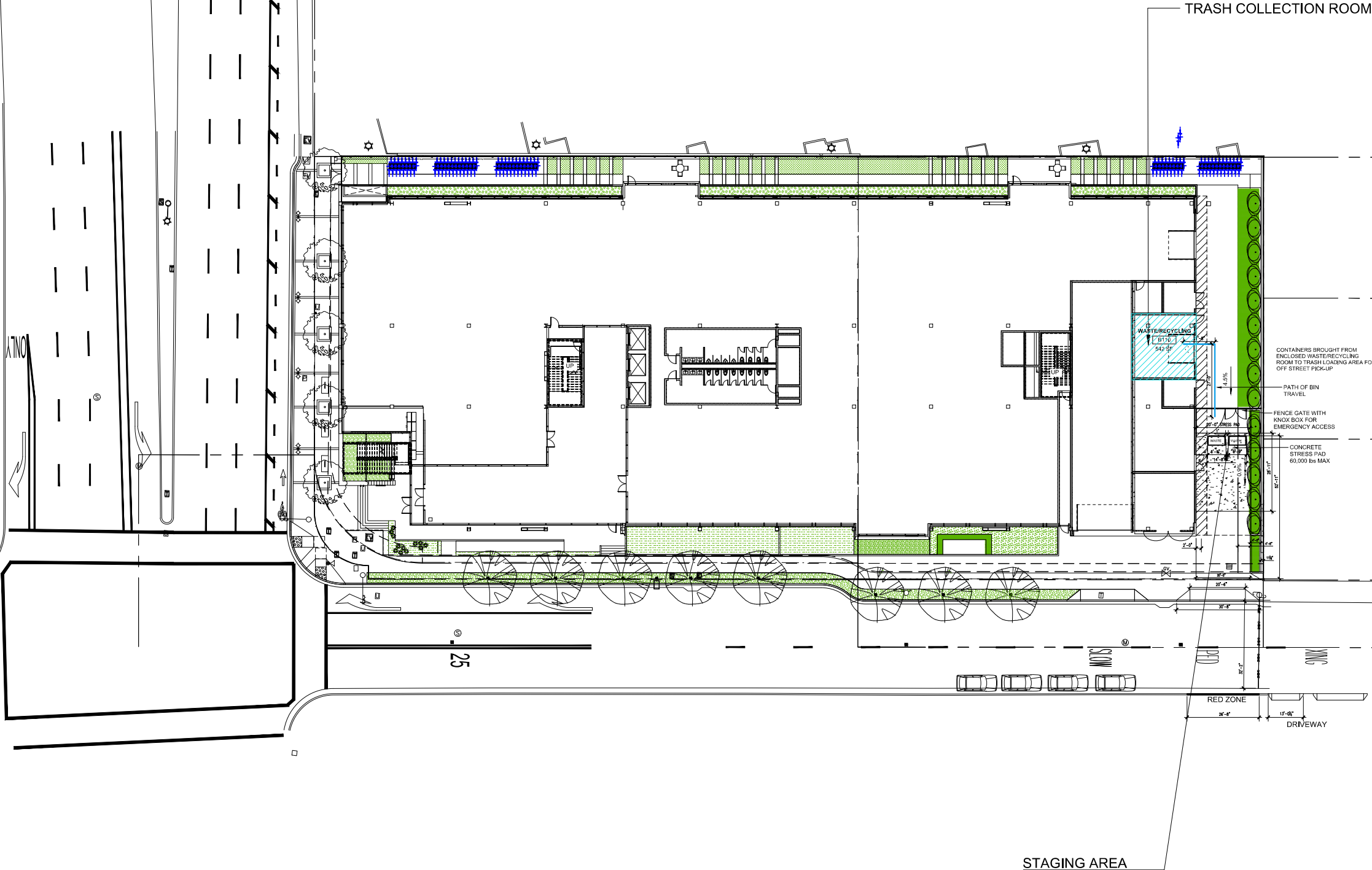


CONSTRUCTION
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SBROWNB@TRASHMANAGE.COM



GENERAL NOTES
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT.
DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

OVERALL SITE PLAN

JOB NO.	SHEET NO.
DATE : 05/23/2022	TR0.1
DRAWN: PK	
CHECKED: SS	
ISSUE: PLN RESUBMITAL	
1	OF 4 SHEETS



490 S MATHILDA
SUNNYVALE, CA



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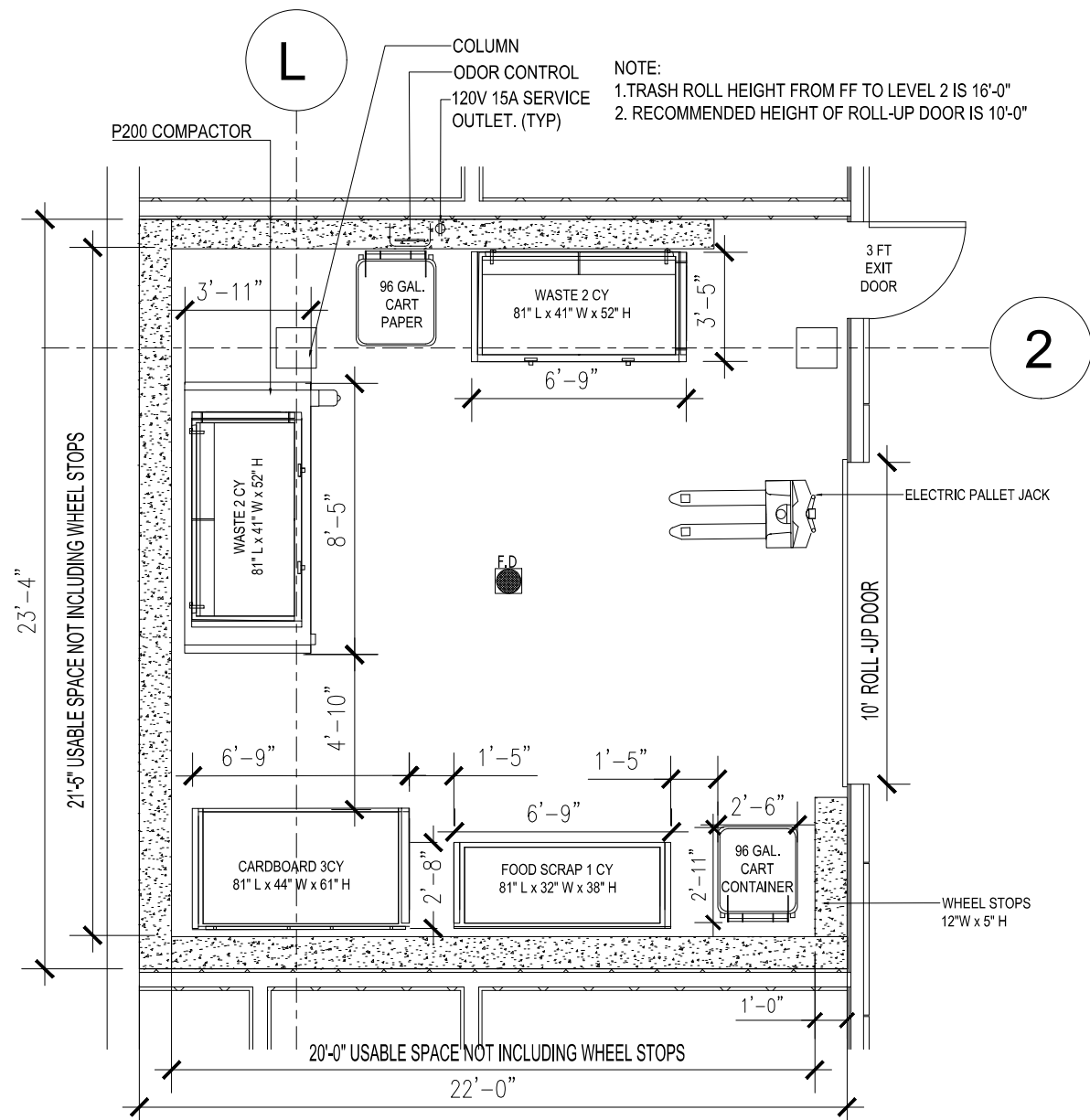
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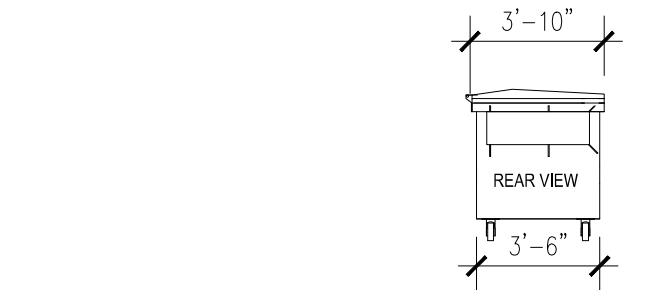
- SHEET NOTES:**
- TRASH COLLECTION AREA**
1. TRASH COLLECTION AREA IS 1HR FIRE-RATED - RESTRICTED ACCESS.
 2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING, FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN, FLOOR LEVEL UNDER COMPACTOR.
 3. WALLS SHALL BE FINISHED WITH WASHABLE, WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 4. INSTALL WALL PROTECTION: 5'Hx12"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
 5. (1) P200 COMPACTOR FOR WASTE, PROVIDE(2) 2CY COMPACTOR CONTAINERS FOR WASTE.
 6. PROVIDE 1) 3CY CONTAINERS FOR CARDBOARD, (1) 1CY CONTAINER FOR FOOD SCRAP
 7. OC, ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLET
 8. HB, HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
 9. (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.
 10. LOADING AREA STRESS PAD:
 - A. A CONCRETE PAD SHALL BE CONSTRUCTED IN FRONT OF EACH ENCLOSURE OR SERVICE LOCATION FOR THE COLLECTION VEHICLE.
 - B. PAD MUST BE LARGE ENOUGH (GENERALLY 10 FEET BY 20 FEET) AND CORRECTLY ORIENTED TO ALLOW SERVICE VEHICLE TO REST UPON IT WHEN LOADING AND UNLOADING BINS AND CONTAINERS.
 - C. PAVING MATERIALS SHALL CONSIST OF 5 INCH AGGREGATE BASE (CLASS II COMPACTED) MATERIAL AND 6 INCH PORTLAND CEMENT CONCRETE.
 - D. THE PAD SHALL HAVE A SMOOTH, LEVEL SURFACE THAT IS CONTINUOUS WITH INTERIOR FLOORING.

- GENERAL NOTES:**
1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
 2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
 3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

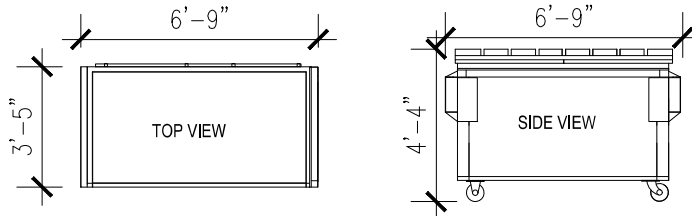
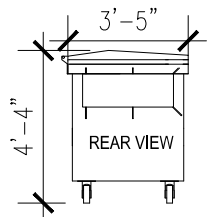


TRASH COLLECTION ROOM

PROJECTED RESIDENTIAL TRASH COLLECTION SCHEDULE / WK								
SERVICE	M	T	W	T	F	S	SU	FREQUENCY
WASTE (COMP) (2CY)		2			2			2X/WK
CARDBOARD (3CY)	1		1	1				3X/WK
FOOD SCRAP (1CY)	1		1	1				3X/WK
TOTAL	2	2	2	2	2	0	0	5X/WK



3 CY FRONT LOAD CONTAINER
SECTIONS



2 CY FRONT LOAD CONTAINER
SECTIONS

GENERAL NOTES:

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NO.	DATE	DESCRIPTION	BY

TRASH COLLECTION ROOM

JOB NO.	SHEET NO. TR1.0
DATE : 05/23/2022	
DRAWN: PK	
CHECKED: SS	
ISSUE: PLN RESUBMITAL	
2 OF 4 SHEETS	

THE
Minkoff
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490 S MATHILDA
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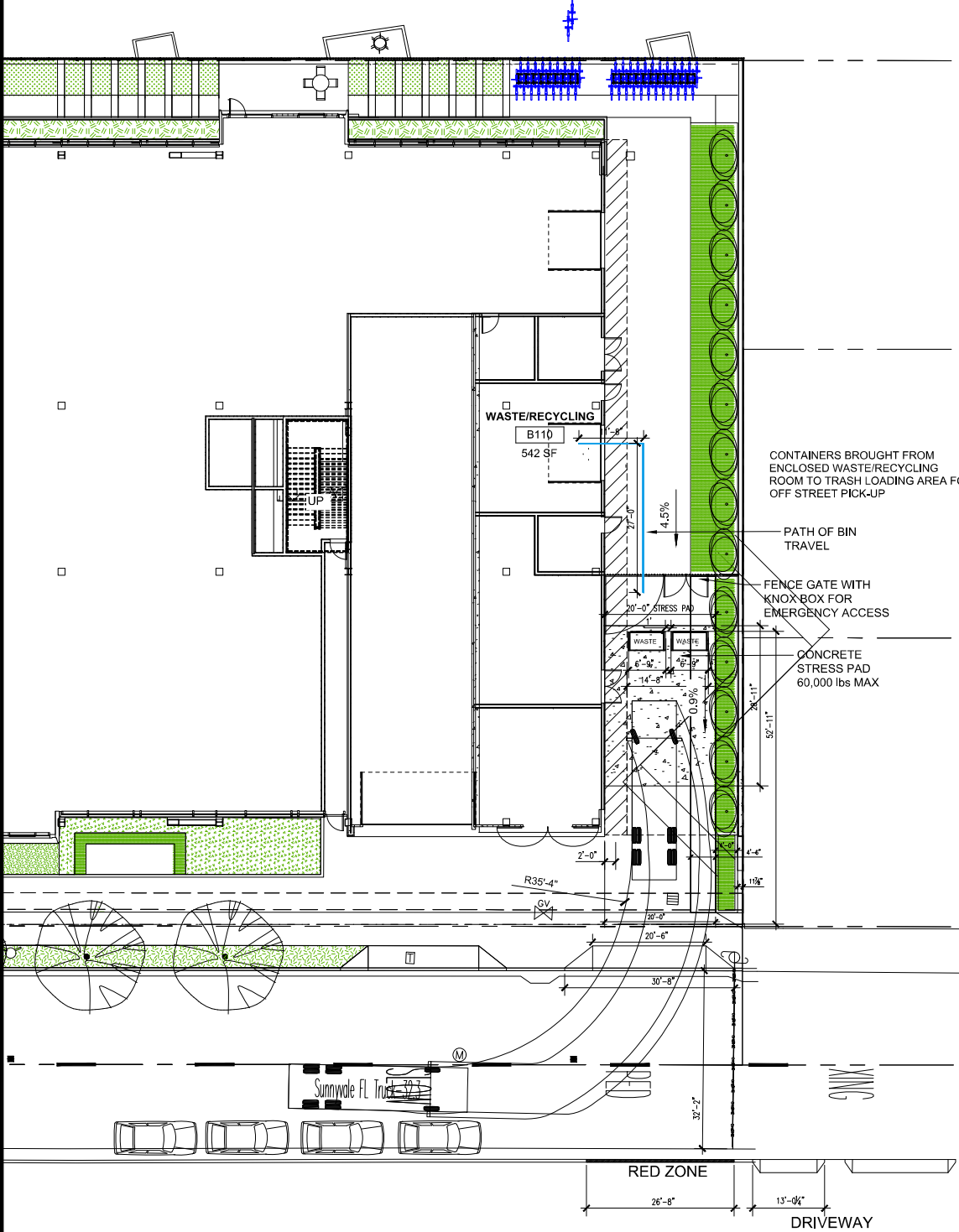
REVISIONS

NO.	DATE	DESCRIPTION	BY

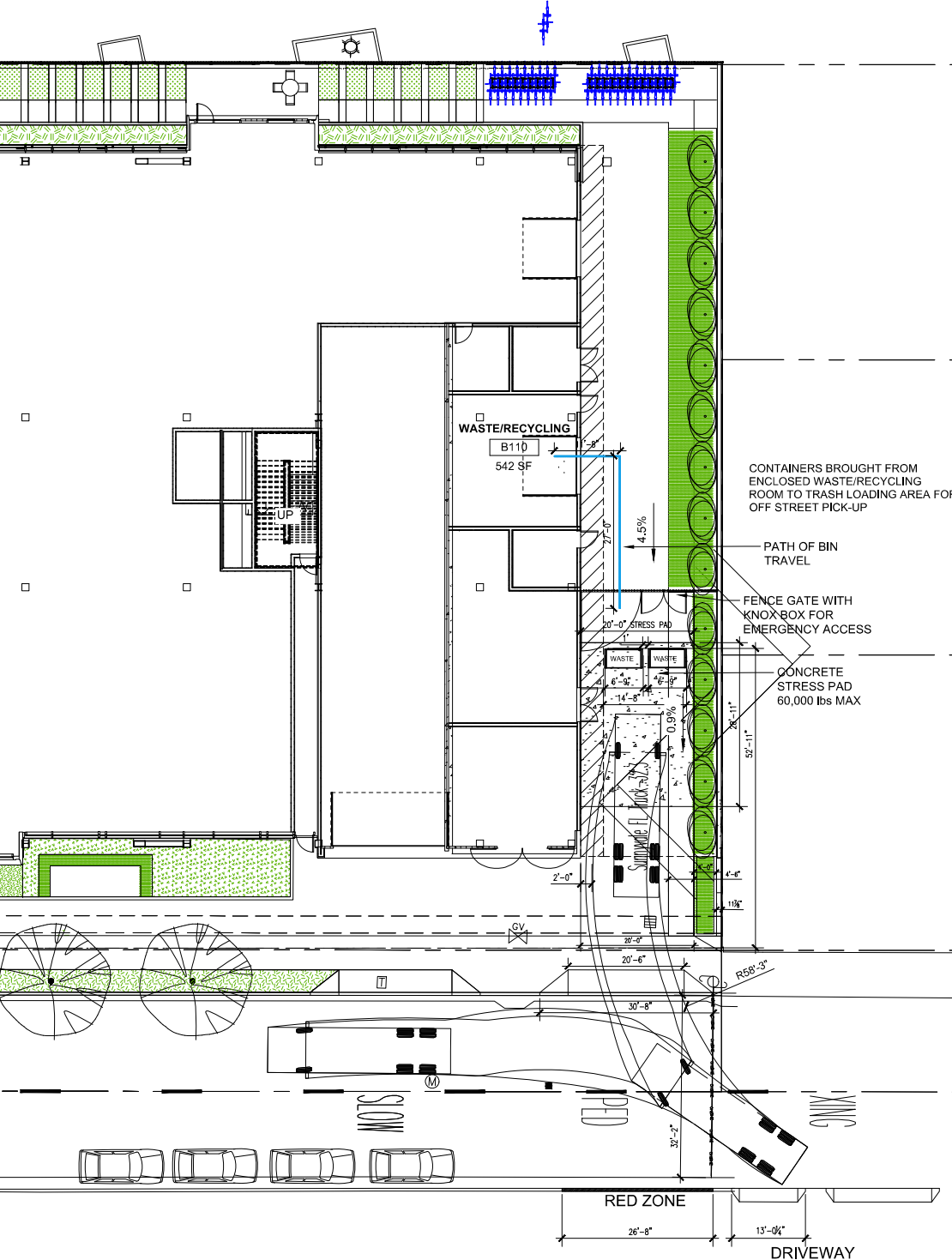
VEHICLE STUDY

JOB NO.	SHEET NO.
DATE : 05/23/2022	TR1.1
DRAWN: PK	
CHECKED: SS	
ISSUE: PLN RESUBMITAL	
3	OF 4 SHEETS

SCALE: 3/32"=1'-0"



FRONT LOAD TRUCK
ENTERING THE PROPERTY



FRONT LOAD TRUCK
EXITING ON OLIVE ST TOWARDS MATHILDA AVE

THE
Minkoff
GROUP

490 S MATHILDA
SUNNYVALE, CA



CONSTRUCTION
INCORPORATED

690 Gibraltar Drive
Milpitas, California 95035
(408)942-8200 Lic. #399163



AMERICAN TRASH MANAGEMENT
1500 POWELL STREET, SUITE 800
EMERYVILLE, CALIFORNIA 94608
P: 415-292-5400
F: 415-292-5410
SBKOW@TRASHMANAGE.COM

GENERAL NOTES
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT.

DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

THIS DRAWING EMBODIES IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO DEVCON CONSTRUCTION INC. AND WHICH WERE DESIGNED, CREATED, EVOLVED AND DEVELOPED FOR USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THERE TO IS INTENDED OR EFFECTED BY DELIVERY HEREOF, AND EXCEPT UPON THE WRITTEN PERMISSION OF DEVCON CONSTRUCTION INC., THE DRAWING IS NOT TO BE DISCLOSED TO OTHERS, REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, FOUNDATIONS, OR ANY PORTIONS THEREOF, FOR OTHER THAN THE SPECIFIED PROJECT.

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NO.	DATE	DESCRIPTION	BY

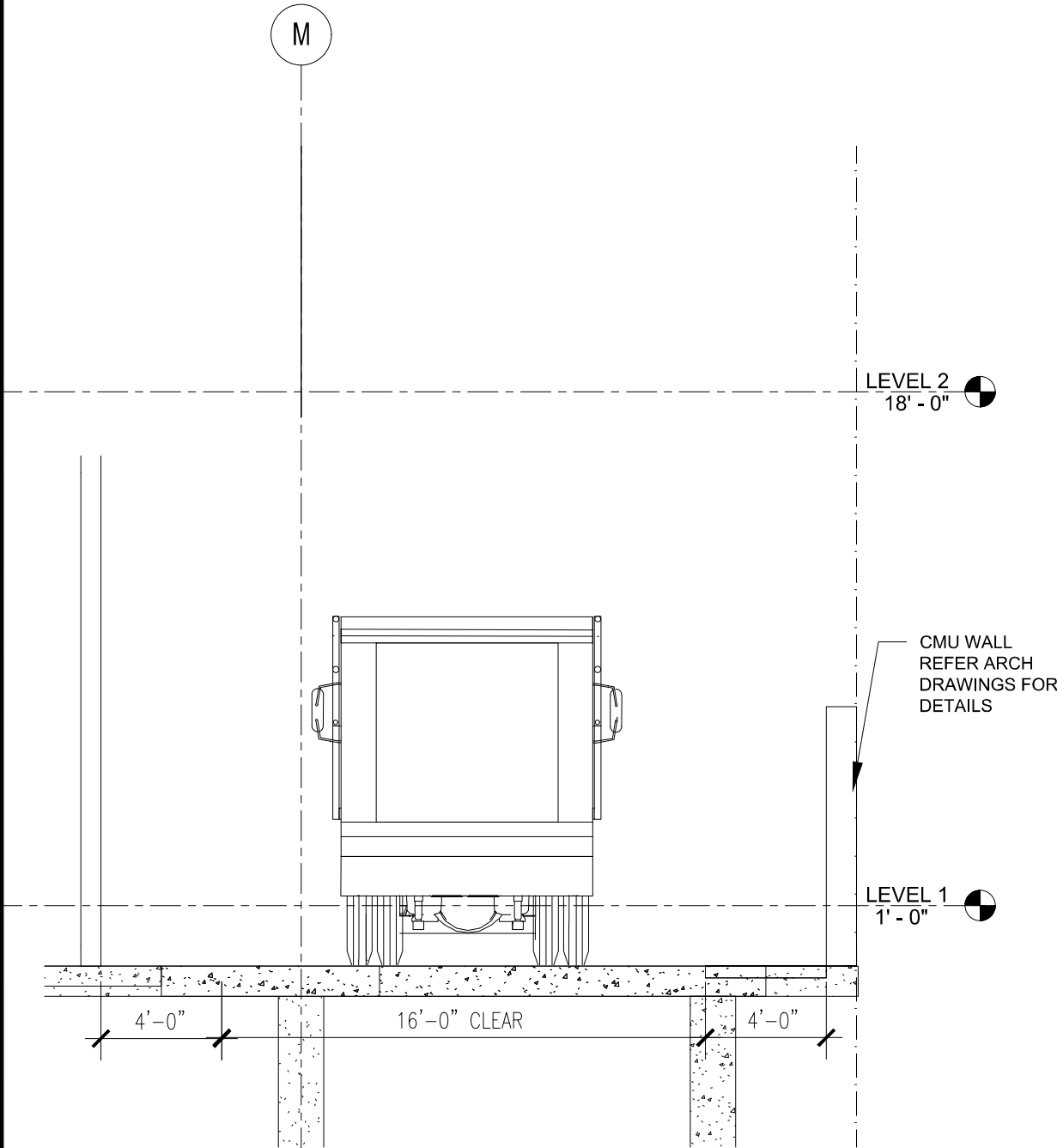
VEHICLE STUDY

JOB NO.
DATE : 05/23/2022
DRAWN: PK
CHECKED: SS
ISSUE: PLN RESUBMITAL

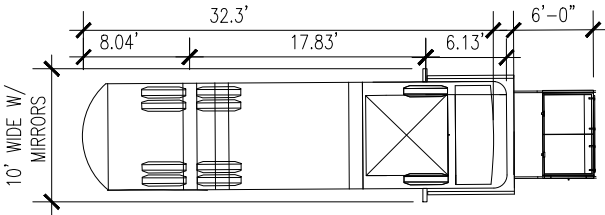
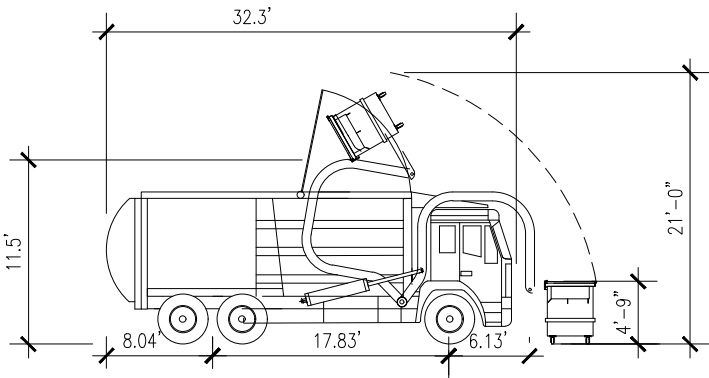
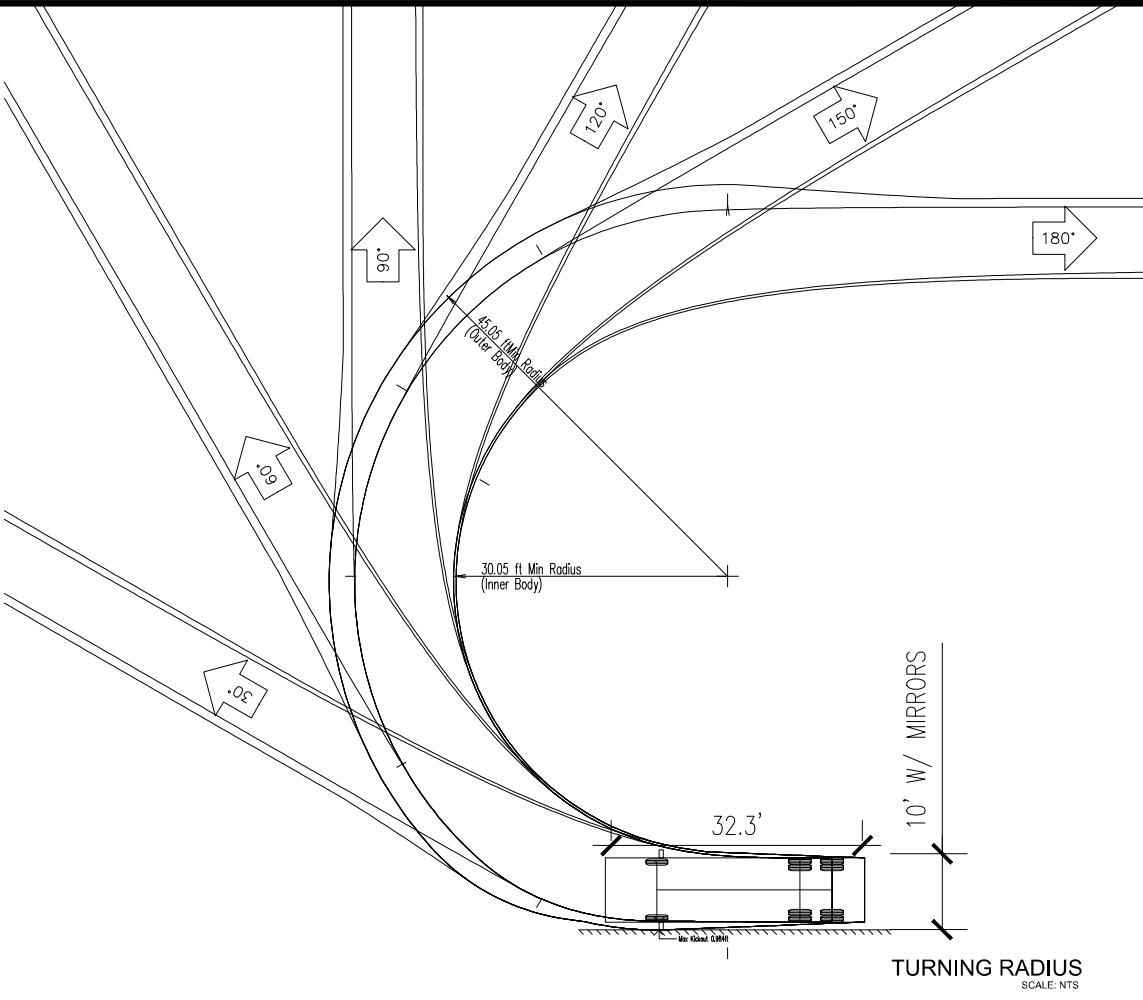
SHEET NO.

TR1.2

4 OF 4 SHEETS



SECTION VIEW
SCALE: 1/2"=1'-0"



TRUCK DIMENTIONS
SCALE: 3/16"=1'-0"