

THE
Minkoff
GROUP

JOINERY
Downtown Sunnyvale

DEVCON CONSTRUCTION
DEVCON INCORPORATED
DEVCON
DEVCON

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490 S MATHILDA

PLANNING APPLICATION RESUBMITTAL

23 May 2022

GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

COVER

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	GO.00
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	OF SHEETS



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Abbreviations Legend

A ACT Acoustical Ceiling Tile AFF Above Finished Floor AFG Above Finished Grade AFS Above Finished Slab ACS DR Access Door ACS FLR Access Floor ACS PNL Access Panel ACC Accessible ACST Acoustic ACOUS INSUL Acoustical Insulation ACOUS PNL Acoustic Panel ADOM Addendum ADOL Additional ADH Adhesive ADJ Adjustable AGGR Aggregate AIC Air Conditioning AAP Alarm Annunciator Panel ALT Alternate ALUM Aluminum AMT Amount AHR Anchor AB Anchor Bolt AL Angle ANOD Anodized APT Apartment APPX Appendix APR Approved APPROX Approximate ARCH Architect AF Architectural Finish AD Area Drain ASPH Asphalt ASSY Assembly ATCH Attachment AVD Audio Visual AUH Authority Having Jurisdiction AUTO Automatic AVE Avenue AVG Average	B BC Back of Curb B/B Back to Back BKG Backing BAL Balance BALC Balcony BLST Balustrade BB Baseboard BSMT Basement BM Beam BRG Bearing BK Benchmark BTUM Blumax BD Board BS Both Faces BOT Bottom BLVD Boulevard BRZ Bronze BLD Building BLDG Building BUR Bulkhead BLKHD Bulkhead	C CAB Cabinet CATV Cable Television CAN Canopy CAP Capacity CPT Carpet CO Cabinet Opening CSWK Casework CIP Cast-In-Place CBS Basin CLG Ceiling CEM CEM PLAS Cement CBB Cementitious Backer Board CTR Center CL Center Line CM Center Matched CM Center CSPU Ceramic Glazed Structural Facing Units CT Ceramic Tile Base CTF Ceramic Tile Floor CH BD Chalk Board C Chaperon CLM Classroom CLN Cleanout CU Clear CLWG Clear Wired Glass CIV Closed Circuit Television CLO Closet CFM Cold-Formed Metal Framing CW Cold Water Piping COL Column CLL Column Line COMB Combination / Combined COMM Communication CONC Concrete CHU Concrete Masonry Unit CONC OPNG Concrete Opening CONN Connect CONSTR Construction CONT Contactor CF/CI Contractor Furnished / Contractor Installed CF/OI Contractor Furnished / Owner Installed CJ Corridor CHVR Corridor COORD Coordinate CU Corner Guard CORR Corridor COUNK Counterunk CFLG Counterflashing CHT YD Courtyard CF Cubic Feet CAG Curb And Gutter CURT Curtain CUST Custodian CT STN Cut Stone	D DPC Dampproof Course DMPP Damp Proofing D Degree DEMO Demolition DPTM Demountable Partition DEPT Department D Depth DI Detail DIAG Diagonal DIA Diameter DIF Diffuser DIM Dimension DISP Dispenser DW Distilled Water DIV Division DR Door DR OPNG Door Opening DBL Double DS Downspout DWG Drawing DF Drinking Fountain DWTR Dumbwater	E EA Easement E East EOS Edge of Slab ELAST Elastomeric ELEC Electric EHD Electric Hand Dryer EWC Electric Water Cooler EHO Electric Outlet EIP Electrical Panel (Panelboard) ELEV Elevation ELEV Elevator EMER Emergency ENCL Enclosure ENGR Engineer ENTR Entrance EQ Equal EQUIP Equipment	F ESCAL Escalator EXH Exhaust EXIST Existing EXT LT Exit Light LVR Lower EJ Expansion Joint EXP Expansion EXT Exterior EXT GR Exterior Grade EGB Exterior Gypsum Board EIFS Exterior Insulation And Finish System	G GAGE Gage GALV Galvanized GARD Garden GEN General GEN COND General Conditions GC General Contractor GLASS Glass GL BLK Glass Block GFRFC Glass-Fiber-Reinforced Concrete GFRFG Glass-Fiber-Reinforced Fiberglass GFRFP Glass-Fiber-Reinforced Fiberglass GFRP Glass-Fiber-Reinforced Polyester GLZ Glazing GLZ LAM Glue Laminated Wood GB Grab Bar GR BM Grade Beam GR LN Grade Line GRTG Grating GT Grease Trap GRLE Grille GDR Guard Rail GYM Gymnasium GYSP Gypsum GYSP BOARD Gypsum Board GYM PLAS Gypsum Plaster GYM PLG Gypsum Plaster Ceiling GSB Gypsum Sheathing Board	H HD Hand Dryer HNDRL Handrail HDBD Hardboard HDW Hardware HWDW Hardwood HVAC Heating, Ventilating And Air-Conditioning HT Heating HO Holi Open HC Hollow Core HOLW Hollow Metal HORIZ Horizontal HB Hose Bibb HW Hot Water Pipe HYD Hydrant	I INCAND Incandescent IN Include INCL Inside Diameter ID Inside Dimension IF Inside Face INSTALL Install INSUL Insulation INT Interior INV EL Invert Elevation	J JANITOR Janitor JAN CLO Janitor Closet	K KIT Kitchen KOP Knock-Out Panel KD Knocked Down	L LAB Laboratory LAQ Lacquer LAD Ladder LAGG Lapping LAM Laminate(s) LANDSCP Landscape LAU Laundry L Lavy LL Lead Lined LH Lead Hook LHR Left Hand LHRV Left Hand Reverse LIB Library LIG Light LT GA Light Gauge LTO Light LT WT Lightweight LWC Lightweight Concrete LOS Line of Sight LIN Linear LNER Linear Ceiling Diffuser LSD Liquid Crystal Display LCD Liquid Crystal Display LDD Linear Diffuser LF Linear Foot (Foot)	M MACHINE Machine MAINT Maintenance MGT Management MHS Machine MFD Manufacturer MFR Manufacturer's Recommendation MFG Manufacturer MKS Masonry Opening MATL Material MAX Maximum MECH Mechanical MDX Medium Density Fiberboard MGT Meeting MEL Melamine MVB Membrane MCR Metal MCRB Metal Corner Bead MLAP Metal Lath And Plaster METER Meter MEZZ Mezzanine MIF Mill Finish MM Millimeter(s) MLWK Millwork MIN Minimum MIR Mirror MISC Miscellaneous MOP/BOOM Holder MOUNT Mounted MTO Mounting MVB Movable MULL Mullion MUL Mulion MUM Municipal	N NICKEL Nickel NLS Nickel Silver NOM Nominal NORTH North NS Not Applicable NC Not In Contract NTS Not To Scale NO Number	O OCC OCCUPY OFF OFFICE OC ON CENTER OPNG OPENING OPP OPPOSITE OPH OPPOSITE HAND OPT Optional ORN Ornamental OJN Out To Joint OQD Outside Diameter OVL Overall ODF Overhead Drain ORND Overhead Roof Drain OEH Overhang OH DR Overhead (Colored) Door OFR Owner Furnished / Contractor Installed OI/OI Owner Furnished / Owner Installed	P PAINT Paint PMET Painted Metal PR Par PNSL Panel PCD Paper Cup Dispenser PTD Paper Towel Dispenser PTR Paper Towel Receptacle PRNG Parking PBD Partition PASS Passenger PVG Paving PEDEST Pedestal PEGBD Pegboard PEND Pendant PH Pend PERF Perforated PERM Permanent PERP Perpendicular PHS Phillips Head Screw PLAS Plaster PLM Plastic Laminite PLBG Plaster PLYWD Plywood PULV Phumatic Tube POLV Polished PT Post-Tensioned LB Pounds PSF Pounds Per Square Foot PSI Pounds Per Square Inch PRECAST Precast PCC Precast Concrete PREFAB Prefabricated PREFR Prefinished PREFMD Preformed PRELIM Preliminary PSC CONCR Prestressed Concrete PROJ Project PROP Property HW Public Address PUSH Push Shelf QUAL Quality QTY Quantity QUARRY Quarry QUARRY TILE Quarry Tile WBS Wrought Brass WI Wrought Iron	Q QUAL Quality QTY Quantity QUARRY Quarry QUARRY TILE Quarry Tile WBS Wrought Brass WI Wrought Iron	R RADIUS Radius RECPN Reception RECC Reversed RECCW Reversed Waste Receptacle REF Reference RCP Reflected Ceiling Plan RF Refractor RENF Reinforce REBAR Reinforcing Steel Bars REQ Require REGD Required RESIL Resilient RESILB Resilient Base RF Resilient Floor REST Restroom RAG Return Air Grille RVL Revolve REV Revision LAGG Lapping RHS Right Hand RHR Right Hand Reverse ROW Right-Of-Way R Riser RD Road RH Right Hand RD Root Drain RFL Roof Flash RTU Roof Top Unit RFG Roofing RTU Roofing R Room RO Rough Opening RHMS Round Head Machine Screw RHS Round Head Wood Screw RS Rubber Base R Rubber Tile RT Rubber Tile Floor	S SAND Sand CONCRETE Concrete PRECAST Concrete TERRAZZO Terrazzo CUT STONE Cut Stone BRICK MASONRY Brick Masonry CONCRETE MASONRY UNIT Concrete Masonry Unit STEEL Steel ALUMINUM Aluminum ORNAMENTAL METAL Ornamental Metal CONTINUOUS WOOD FRAMING Continuous Wood Framing WOOD BLOCKING Wood Blocking FINISH WOODWORK Finish Woodwork PLYWOOD Plywood GLU-LAMINATED WOOD Glu-Laminated Wood GYPSUM SHEATHING Gypsum Sheathing ACOUSTIC CEILING BOARD Acoustic Ceiling Board RIGID INSULATION Rigid Insulation BATT INSULATION Batt Insulation	S SAND Sand CONCRETE Concrete PRECAST Concrete TERRAZZO Terrazzo CUT STONE Cut Stone BRICK MASONRY Brick Masonry CONCRETE MASONRY UNIT Concrete Masonry Unit STEEL Steel ALUMINUM Aluminum ORNAMENTAL METAL Ornamental Metal CONTINUOUS WOOD FRAMING Continuous Wood Framing WOOD BLOCKING Wood Blocking FINISH WOODWORK Finish Woodwork PLYWOOD Plywood GLU-LAMINATED WOOD Glu-Laminated Wood GYPSUM SHEATHING Gypsum Sheathing ACOUSTIC CEILING BOARD Acoustic Ceiling Board RIGID INSULATION Rigid Insulation BATT INSULATION Batt Insulation
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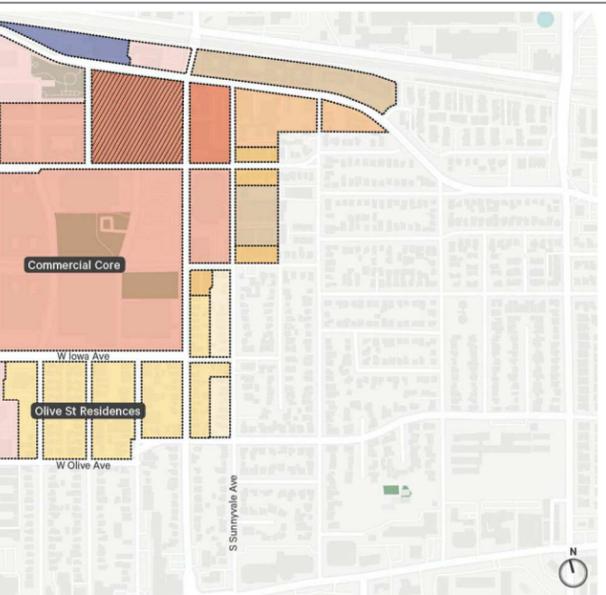
Symbols Legend

Sheet Number A521 Sheet Number Category Number Discipline Letter	Room Name & Number Room Name 101	North Arrow North	Column Symbol & Center Line A-1 Starts At Upper Left Corner Letters = Vertical Numbers = Horizontal	Vertical Elevation Level 1 EL 10'-0"	Spot Elevation EL 10'-0"	Match Line Match Line See 1 / A201.1	Building Section Indicator View Number Sheet Number	Wall Section Indicator View Number Sheet Number	Detail Section Indicator View Number Sheet Number	Callout Indicator View Number Sheet Number	Building Elevation Indicator View Number Sheet Number	Interior Elevation Indicator View Number Sheet Number	Partition Type Indicator View Number Sheet Number	Door Number View Number Sheet Number	Door Number View Number Sheet Number	Door Number View Number Sheet Number	Plumbing Fixture Indicator View Number Sheet Number	Revision Indicator View Number Sheet Number
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Material Patterns

Sand	[Pattern]
Concrete	[Pattern]
Precast Concrete	[Pattern]
Terrazzo	[Pattern]
Cut Stone	[Pattern]
Brick Masonry	[Pattern]
Concrete Masonry Unit	[Pattern]
Structural Clay Tile Masonry Unit	[Pattern]
Steel	[Pattern]
Aluminum	[Pattern]
Ornamental Metal	[Pattern]
Continuous Wood Framing	[Pattern]
Wood Blocking	[Pattern]
Finish Woodwork	[Pattern]
Plywood	[Pattern]
Glu-Laminated Wood	[Pattern]
Gypsum Sheathing	[Pattern]
Acoustic Ceiling Board	[Pattern]
Rigid Insulation	[Pattern]
Batt Insulation	[Pattern]

Vicinity Map



Project Summary

DESCRIPTION OF WORK

- DEMOLITION OF EXISTING 1-STORY AND 2-STORY WOOD & STUCCO BUILDINGS
- REMOVAL OF EXISTING LANDSCAPE EASEMENTS ALONG S MATHILDA AVENUE AND W OLIVE AVENUE.
- CONSTRUCTION OF 3-STORY AND ROOFTOP AMENITY LEVEL MASS TIMBER COMMERCIAL OFFICE BUILDING WITH 2 LEVELS SUBTERRANEAN PARKING.

SITE INFORMATION

ADDRESS: 490 S MATHILDA AVENUE, SUNNYVALE, CA 94086
209-28-038 & 209-28-082
DOWNTOWN, SOUTH OF IOWA, BLOCK 13

LOT AREA: 54,763 SF
FLOOR AREA RATIO: 125.128 SF / 2.28
LOT COVERAGE: 42,103 SF / 76.8%

LANDSCAPE AREA: 9,700 SF
LANDSCAPE COVERAGE: 18%

Project Data

EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/PERMITTED
General Plan	DOWNTOWN SPECIFIC PLAN, SOUTH OF IOWA (DSP/13)	
Zoning District	TRANSIT MIXED USE	
Lot Size (sq. ft.)	54,763	N/A
Gross Floor Area (sq. ft.)	10,050	125,128 SF Per Development Agreement
Lot Coverage (%)	18%	77.6% Per Development Agreement
Floor Area Ratio (FAR)	2.28	2.28 Per Development Agreement
Gross Floor Area of Tenant (sq. ft.)	N/A	N/A NO REQ.
Building Height (ft.)	31'-4"	68'-5" Per Development Agreement
No. of Stories	2	4 max.
Distance Between Buildings (ft.)	2	1 max.
Front Setbacks	N/A	N/A
Left Side Setbacks (facing property)	0 ft.	5'-0" min.
Right Side Setbacks (facing property)	0 ft.	5'-0" min.
Rear Setback	0 ft.	10'-15" min.
Landscaping (total sq. ft.)	7,000 sq. ft.	9,700 sq. ft.
% Based on Lot Area	12.8%	18%
% Based on Parking Lot	NA	NA
Parking Lot Area Shading (%)	NA	50% min. in 15 yrs.
Water Conserving Plants (%)	NA	80%
Total No. of Parking Spaces	73	272 / 1,000 min.
Standards	69	256 min.
Accessible Spaces	4	12 / 7 min.
Covered Spaces	9	272 NA
Carpool Spaces	14	5 % min.
Alley Width (ft.)	VARIES	24' min.
Bicycle Parking (Class 1 / Class 2)	NA	1-100 CLASS 1 / 4 CLASS 2
Impervious Surface Area (sq. ft.)	47,763 if	45,063 if Per COS
Art in Private Development	8%	42% Per COS
		TBD

Project Calculations

AREA CALCULATIONS	ENCLOSED GSF	PARKING GSF
B2	0	46,585
B1	0	46,320
LEVEL 1	35,685	2,300
LEVEL 2	39,608	0
LEVEL 3	37,899	0
LEVEL 4	11,998	0
TOTAL	125,190	95,205

Waste Management Summary

Size	Trash per week using City's 3 CY per 1000 SF	Projected Waste (CY per week)	Projected Cardboard (CY)	Projected Food Scraps (CY)
127,886	38	28	10	3

TOTAL WASTE VOLUME: 28 cubic yards
TOTAL CARDBOARD: 10 cubic yards
TOTAL FOOD SCRAPS: 3 cubic yards

Waste will be handled in a VERTICAL trash compactor. Standard compaction ratio is 5:1. 28+3 = 6 compacted cubic yards.

PARKING TOTALS

SERVICE	Bins	Total Service
WASTE (2) 3-CY compacted bins, 2x	4	8 compacted CY
CARDBOARD (1) 3-CY loose bins, 3x	9	9 loose CY
FOOD SCRAPS (1) 1-CY food scrap bins, 3x	3	3

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PROJECT INFORMATION

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	GO.02
DRAWN: Author	CHECKED: Checker
ISSUE: Schematic Design	OF SHEETS



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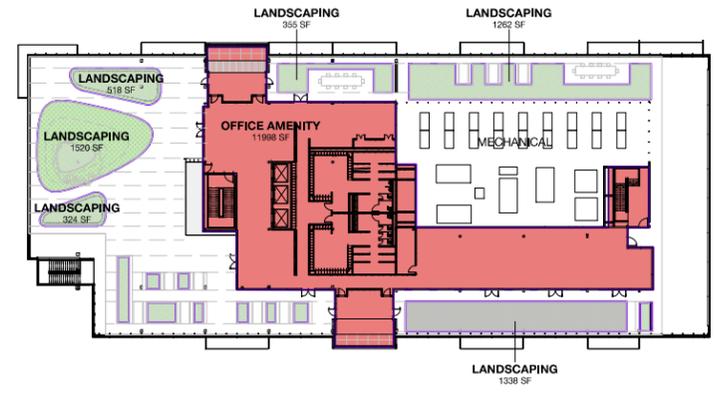
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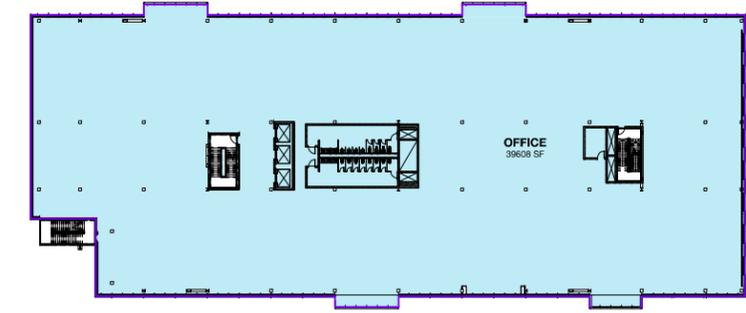
AREA PLANS	
JOB NO. 2012	SHEET NO.
DATE: 05/23/22	G0.03
DRAWN: Author	OF SHEETS
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Building Area Legend

- LANDSCAPING
- OFFICE AMENITY



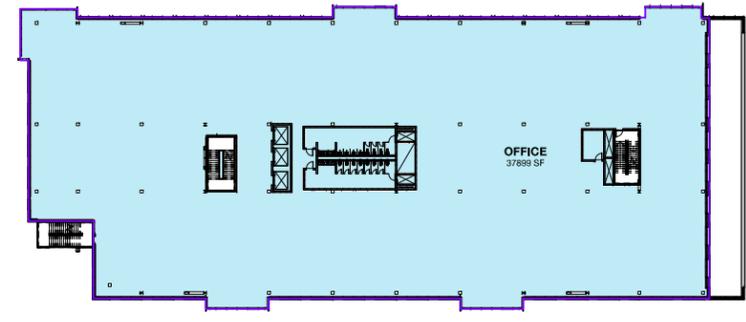
4 LEVEL 4
 1" = 30'-0"



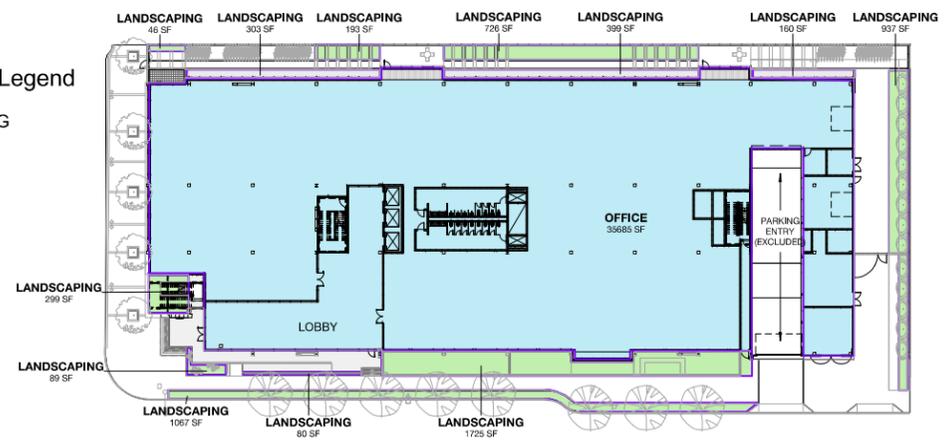
2 LEVEL 2
 1" = 30'-0"

Building Area Legend

- LANDSCAPING
- OFFICE



3 LEVEL 3
 1" = 30'-0"



1 LEVEL 1
 1" = 30'-0"

Area Summary	
Name	Area
F.A.R.	
OFFICE	113193 SF
OFFICE AMENITY	11998 SF
	125190 SF

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CONCEPTUAL RENDERING

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AERIAL VIEW
 LOOKING NORTHEAST FROM MATHILDA AND OLIVE



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VIEW FROM CIVIC CENTER REDWOOD WALK



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ENTRY AT MATHILDA AND OLIVE INTERSECTION



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490 S Mathilda
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VIEW ACROSS OLIVE AVE



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NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	03/25/21	80% SD ISSUANCE	
2	02/08/21	Planning Resubmittal	
3	10/19/22	Planning Resubmittal	
4	10/29/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

CONCEPTUAL RENDERING

JOB NO. 2012

DATE: 05/23/22

DRAWN: Author

CHECKED: Checker

ISSUE: Schematic Design

SHEET NO.

GO.07

OF SHEETS

THE Minkoff GROUP
JOINERY
 Downtown Sunnyvale

DEVCON CONSTRUCTION INCORPORATED
 690 Gibraltar Drive
 Milpitas, California 95035
 (408)942-8200 Lic. #399163

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7	5/23/22	Planning Resubmittal	

CONCEPTUAL RENDERING

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	GO.08
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	
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LOOKING WEST DOWN OLIVE AVE



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VIEW FROM S TAFFE SHOWING LIMITED VISIBILITY FROM NEIGHBORING RESIDENTIAL STREETS



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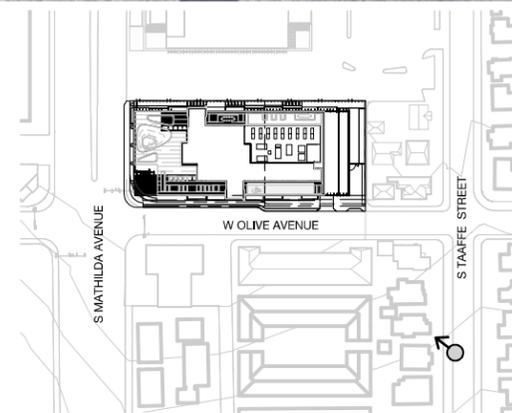
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REVISIONS

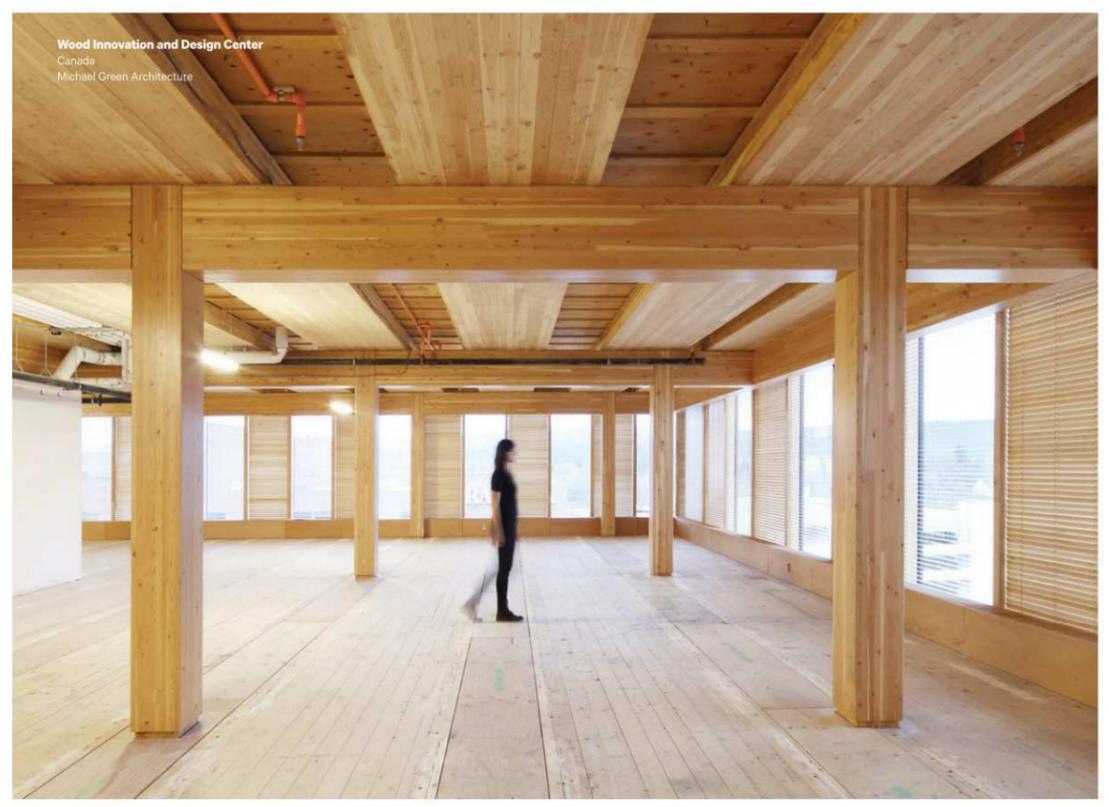
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7	5/23/22	Planning Resubmittal	

CONCEPTUAL RENDERING

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	G0.09
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	OF SHEETS



WHY TIMBER?



OCCUPANT EXPERIENCE:

- Biophilic Design = Positive Effect on Autonomic Nervous System
- Enhanced Air Quality and Hypoallergenic
- Improved Thermal Comfort through Humidity Control
- Opportunity to Expose Structural Elements = Honest Design

A RENEWABLE RESOURCE:

...Reforestation and tree growth continues to exceed harvest volumes in the US with the current volume of standing tree growth almost 40% higher than annual tree harvesting.

FOR 490 S MATHILDA

20K Cubic feet of wood used

1.5K Metric tons of carbon dioxide offset

250 Equivalent cars taken off the road for a year

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MASS TIMBER BENEFITS

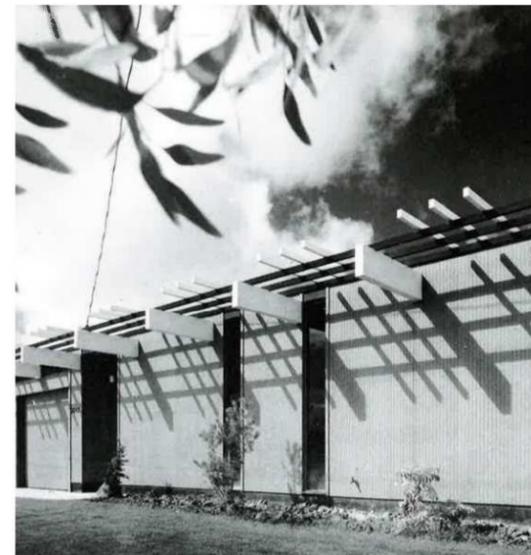
JOB NO. 2012	SHEET NO.
DATE: 05/23/22	GO.10
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	
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INSPIRED BY HISTORIC LOCAL CONTEXT



EXPRESS MASS TIMBER'S NATURAL BEAUTY



FILTER SUNLIGHT + CONNECT TO OUTDOORS + BLUR INTERIOR/EXTERIOR



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7	5/23/22	Planning Resubmittal	

BUILDING PRECEDENTS

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	GO.11
DRAWN: Author	OF
CHECKED: Checker	SHEETS
ISSUE: Schematic Design	

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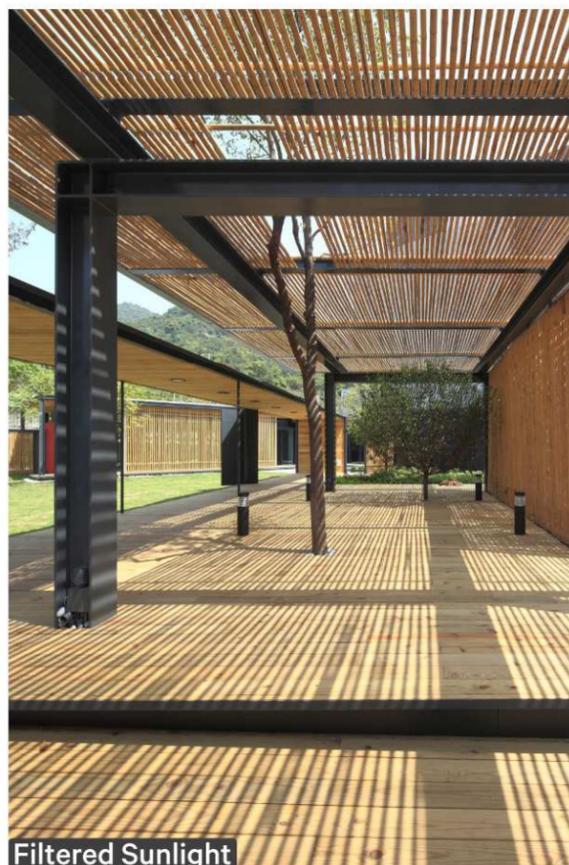
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Extend Program to the Exterior

Filtered Sunlight

Connect to Outdoors



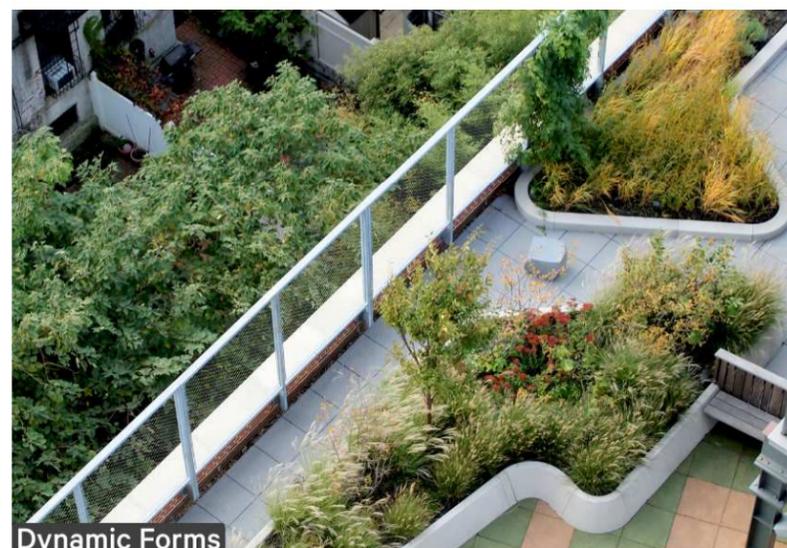
Integrated Landscape+Architecture



Varied Landscapes



Lush Plantings



Dynamic Forms

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7	5/23/22	Planning Resubmittal	

AMENITY FLOOR
PRECEDENTS

JOB NO.: 2012
DATE: 05/23/22
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ISSUE: Schematic Design

SHEET NO.
G0.12
OF SHEETS

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MATERIAL PRECEDENTS

JOB NO. 2012

DATE: 05/23/22

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CHECKED: Checker

ISSUE: Schematic Design

SHEET NO.

G0.13

OF SHEETS



Wood Framed Bays



Cementitious Panel



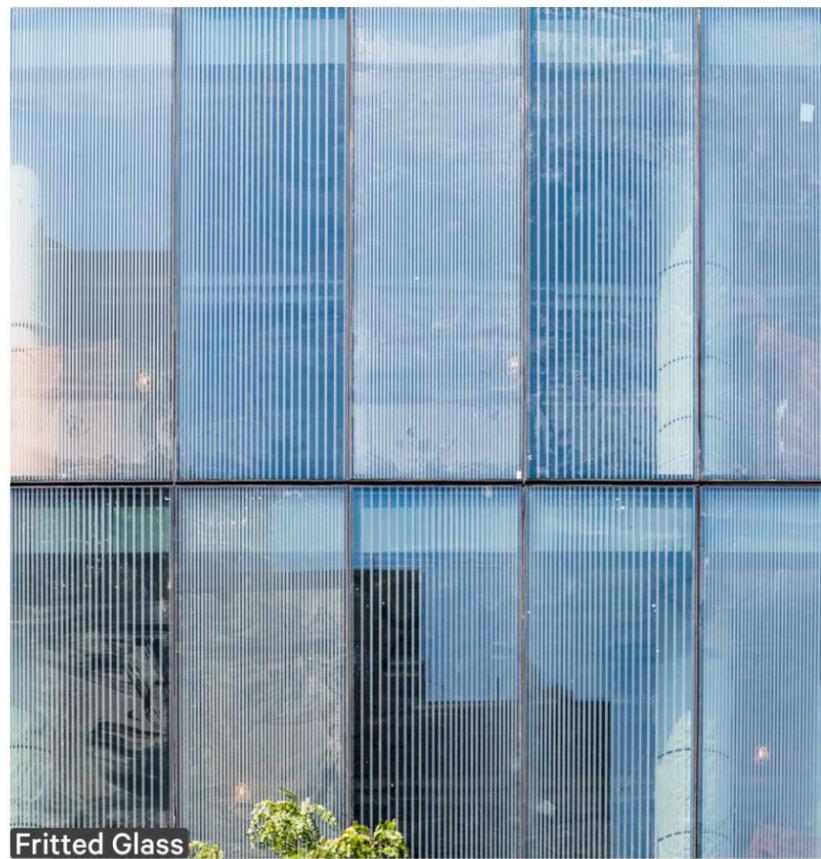
Green Facades



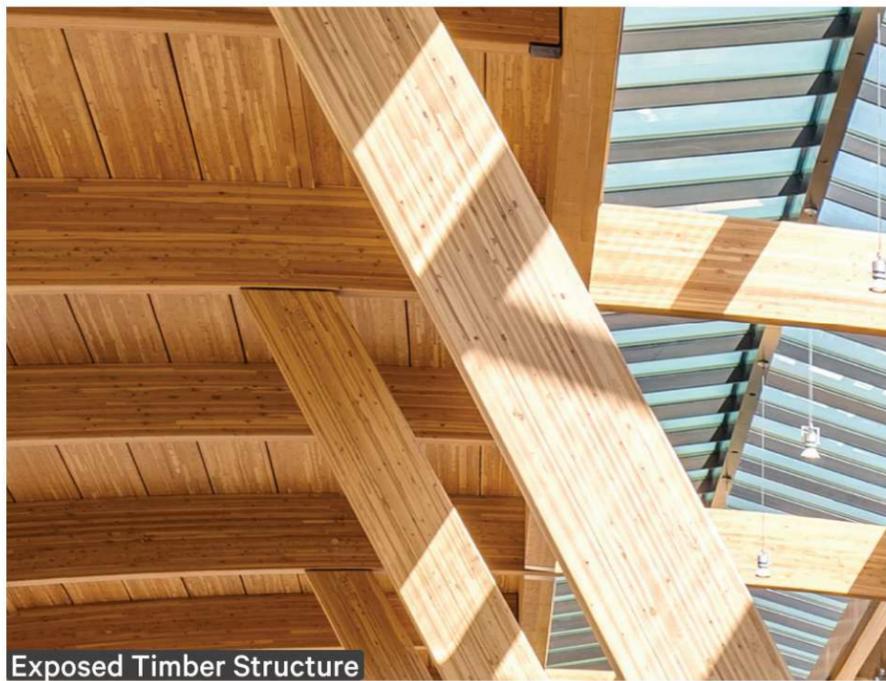
Expressed Details



Color/Texture



Fritted Glass



Exposed Timber Structure



Textured Facade



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Wood Cladding



Translucent Fritted Glass



Painted Aluminum and Steel



Clear Glass



Cementitious Panel



Exposed Mass Timber Structure

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MATERIAL BOARD

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DATE: 05/23/22	G0.14
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ISSUE: Schematic Design	OF SHEETS

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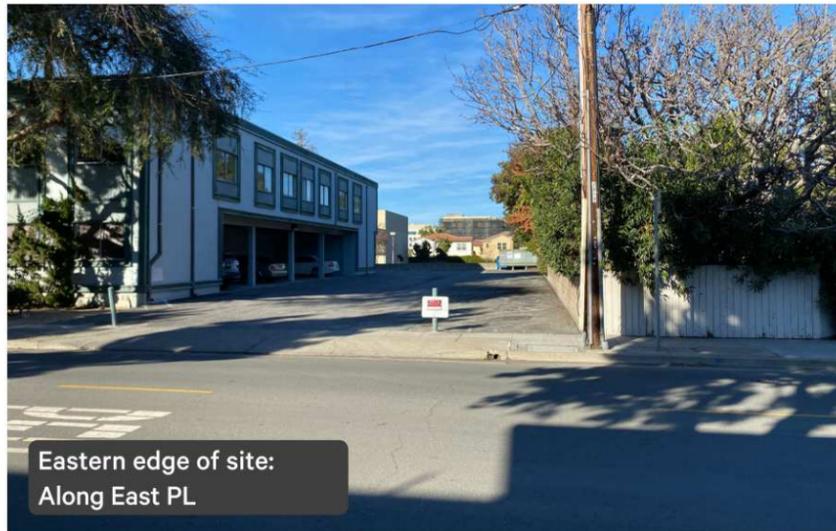
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Eastern edge of site:
Along East PL



Corner of Mathilda & Olive:
Looking South Down Mathilda



Northern edge of site:
Along North PL



View of site from southeast:
Mathilda and Olive

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EXISTING PHOTOS

JOB NO. 2012
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ISSUE: Schematic Design

SHEET NO.
G0.15
OF SHEETS



CALGREEN COMMERCIAL MANDATORY CHECKLIST
THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2020

Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 5). This checklist is required for all new buildings, additions of 1,000 square feet or more, and alterations with a permit valuation of \$200,000 and more. Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
5.1 Planning and Design	5.106.1 Storm water pollution prevention. Newly constructed projects which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through local ordinance in Section 5.106.1.1 or Best Management Practices (BMP) in Section 5.106.1.2.	Sheet: C7.0	Initials and Date:
5.1 Planning and Design	5.106.4 Bicycle parking. Comply with Sections 5.106.4.1 and 5.106.4.2, or meet local ordinance, whichever is stricter. 5.106.4.1 Short-term bicycle parking. If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of motorized vehicle parking capacity, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces. 5.106.4.2 Long-term bicycle parking. For new buildings with 10 or more tenant occupants or for additions or alterations that add 10 or more tenant vehicular parking spaces, provide secure bicycle parking for 5% of the tenant vehicular parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle racks with permanently anchored racks; or Lockable, permanently anchored bicycle lockers.	Sheet: A2.01 & L0.01	Initials and Date:

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.
Sunnyvale.ca.gov Search "Planning and Building"

5.1 Planning and Design	5.106.5.3 Electric vehicle (EV) charging. New Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). 5.106.5.3.1 Single charging space requirements. When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. 5.106.5.3.2 Multiple charging spaces requirements. When multiple charging spaces are required per Table 5.106.5.3.3, raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. 5.106.5.3.3 EV charging space calculation. [N] per Table 5.106.5.3.3 below:	Sheet: A2.82 & A2.81	Initials and Date:
5.1 Planning and Design	5.106.5.3.4 (N) Identification. The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."	Sheet: A2.82 & A2.81	Initials and Date:
5.1 Planning and Design	5.106.5.3.5 (N) EV spaces count as designated parking. 5.106.6 Light pollution reduction. Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code; and 2. Backlight, Upright and Glare (BUG) ratings as defined in IESNA TM-15-11; and 3. Allowable BUG ratings not exceeding those shown in Table 5.106.8, OR comply with a local ordinance lawfully enacted pursuant to Section 101.9, whichever is more stringent. Exceptions: 1. Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code Emergency Lighting 5.106.12 Shade Trees. Shade trees shall be planted. Percentages shown shall be measured at noon on the summer solstice 5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50% of the parking area within 15 years 5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size shall be installed to provide 20% shade within 15 years. 5.106.12.3 Hardscape areas. Shade tree plantings, minimum #10 container size shall be installed to provide shade of 20% of the hardscape area within 15 years.	Sheet: LT.1 & LT.2	Initials and Date:
5.1 Planning and Design	5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50% of the parking area within 15 years 5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size shall be installed to provide 20% shade within 15 years. 5.106.12.3 Hardscape areas. Shade tree plantings, minimum #10 container size shall be installed to provide shade of 20% of the hardscape area within 15 years.	Sheet: L0.01, L0.02 & L0.07	Initials and Date:
5.2 Energy	5.201.1 Scope Compliance with the California Energy Commission mandatory standards.	Sheet:	Initials and Date:

5.3 Water Efficiency and Conservation	5.303.3 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 5.303.3.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 5.303.3.2 Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.1 Floor-mounted urinals. The effective flush volume of floor-mounted urinals shall not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.1 Single showerheads. Showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 5.303.4 Commercial kitchen equipment. 5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes or inactively. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation. 5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures and fittings or areas of alterations to the building. 5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1403.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet: PLUMBING FIXTURES SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.3 Water Efficiency and Conservation	5.303.4 Commercial kitchen equipment. 5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes or inactively. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation. 5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures and fittings or areas of alterations to the building. 5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1403.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet: N/A	Initials and Date:
5.3 Water Efficiency and Conservation	5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures and fittings or areas of alterations to the building. 5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1403.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet: N/A	Initials and Date:
5.3 Water Efficiency and Conservation	5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1403.1 of the California Plumbing Code and in Chapter 6 of this code.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:

5.3 Water Efficiency and Conservation	5.304.1 Outdoor Water Use Scope. The provisions of Section 5.304 Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained with Chapter 2.7, Division 2, Title 23, California Code of Regulations.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent. 5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that complies with Items 1 through 4 of this section. 5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction waste material diverted from the landfill complies with this section. Exceptions to Sections 5.408.1.1 and 5.408.1.2: 1. Excavated soil and land-clearing debris 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets. 5.408.1.4 Documentation. Provide documentation of the waste management plan that meets the requirements listed in Sections 5.408.1.1 through 5.408.1.3, and the plan is accessible to the enforcement authority. 5.408.2 Universal Waste. Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for non-hazardous additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are not dumped from landfill. A list of prohibited Universal Waste materials shall be included in the construction documents. 5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. Exception: Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:

5.4 Material Conservation and Resource Efficiency	5.410.1 Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials including organic waste for recycling. 5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.	Sheet: A2.01 WASTE MANAGEMENT AREA PROVIDED ON LEVEL 1	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.410.4 Testing and adjusting. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet. Applies to new systems serving additions or alterations. 5.410.3.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.4.2. 5.410.3.3 Procedures. Perform testing and adjusting procedures in accordance with applicable standards on each system as determined by enforcing agency. 5.410.3.3.1 HVAC balancing. Before a new space conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.3.3.1. 5.410.3.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.3.5 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of warranties/warranties for each system prior to final inspection. Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.503.1 Fireplaces. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves. Woodstoves shall comply with US EPA New Source Performance Standards (NSPS) emissions limits, where applicable, and shall have a permanent label indicating they are certified to meet the emission limit.	Sheet: N/A	Initials and Date:

5.4 Material Conservation and Resource Efficiency	5.504.1.3 Temporary ventilation. If the HVAC system is used during construction, use return air filters with a MERV of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. Applies to additions or alterations.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system. 5.504.4 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits. Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. 5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.	Sheet: DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.	PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.	PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:

5.4 Material Conservation and Resource Efficiency	5.504.4.6 Resilient flooring systems. For 80% of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following: 1. Certified by the Resilient Floor Covering Institute (RFCI) FloorScore program; 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010; 3. Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database; or 4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's for Schools Program). 5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.	Sheet: PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value as shall be included in the operation and maintenance manual. Exceptions: 1. An ASHRAE 10-percent to 15-percent efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/h or less capacity per fan coil, if the energy use of the air delivery system is 0.4 W /cfm or less at design air flow. 2. Existing mechanical equipment. 5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating. 5.504.7 Environmental tobacco smoke (ETS) control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.	Sheet: PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value as shall be included in the operation and maintenance manual. Exceptions: 1. An ASHRAE 10-percent to 15-percent efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/h or less capacity per fan coil, if the energy use of the air delivery system is 0.4 W /cfm or less at design air flow. 2. Existing mechanical equipment. 5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating. 5.504.7 Environmental tobacco smoke (ETS) control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.	Sheet: PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.504.7 Environmental tobacco smoke (ETS) control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.	Sheet: PROPOSED PROJECT SHALL CONFORM TO THESE STANDARDS. DETAILS TO BE PROVIDED AT A LATER DATE.	Initials and Date:
5.4 Material Conservation and Resource Efficiency	5.505.1 Indoor moisture control. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1203 and Chapter 14.1.	Sheet: DETAILS TO BE PROVIDED.	Initials and Date:

5.5 Environmental Quality	5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. Exception: Refrigeration systems containing low global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants.	Sheet: N/A	Initials and Date:
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GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

GREEN BUILDING CHECKLIST

JOB NO. 21-018	SHEET NO.
DATE: 05/23/22	G1.20
DRAWN: CSP	
CHECKED: AG	
ISSUE: PLN RESUBMITTAL	
	OF SHEETS



PICKARD CHILTON
980 Chapel Street
New Haven, Connecticut 06510
tel. 203.786.8600 fax. 203.786.8610
www.pickardchilton.com

490 S Mathilda		THORNTON TOMASETTI		4/8/2022	
Sunnyvale, CA 94085		PROJECT INFORMATION		PARTNER RESPONSIBLE FOR DOCUMENTATION	
LEED v4 MR+C Core & Shell - LEED Gold		NO.	DATE	BY	NOTES
PROJECT INFORMATION					
P1	Minimum Program Requirements	1	07/19/21	Architect/CAJ/TT	Initial Rating Area - 12/18/21 (SFP 400 - 4/18/21)
SUSTAINABILITY PROGRAM					
P1	Registration Review	1	07/19/21	TT/Architect/CAJ/TT	MEP
LOCATION AND TRANSPORTATION					
L1	LEED for Neighborhood Development Location	1	07/19/21	TT	
L2	High-Speed Rail	1	07/19/21	Owner/TT	
L3	Landmarking Credits and Criteria (LEED v4.1)	1	07/19/21	TT	
L4	Access to Quality Transit (LEED v4.1)	1	07/19/21	TT/Architect/CAJ	
L5	Shared Facilities	1	07/19/21	TT/Architect/CAJ	
L6	Reduced Parking Capacity (LEED v4.1)	1	07/19/21	TT/Architect/CAJ	
ENERGY & WATER					
EA1	Energy Performance	1	07/19/21	Waste Manager	
EA2	Site Assessment	1	07/19/21	Architect/CAJ/TT	Landscaper/Waste Manager/TT
EA3	Site Development - Paved or Reduced Hardscape	1	07/19/21	Landscaper	
EA4	Water Meter	1	07/19/21	Landscaper	
EA5	Water Management	1	07/19/21	Waste Manager	
EA6	Water Use Reduction	1	07/19/21	TT/Landscaper	
EA7	Water Conservation	1	07/19/21	Waste Manager	
EA8	Water Use Reduction	1	07/19/21	TT/Landscaper	
EA9	Water Conservation	1	07/19/21	Owner/TT	
ENVIRONMENTAL QUALITY					
EQ1	Indoor Air Quality	1	07/19/21	Landscaper	
EQ2	Indoor Air Quality	1	07/19/21	TT/MEP	
EQ3	Indoor Air Quality	1	07/19/21	TT/Owner	
EQ4	Indoor Air Quality	1	07/19/21	Landscaper	
EQ5	Indoor Air Quality	1	07/19/21	TT/MEP	
EQ6	Indoor Air Quality	1	07/19/21	MEP	
EQ7	Indoor Air Quality	1	07/19/21	Landscaper/MEP	
MATERIALS & RESOURCES					
MR1	Design and Fabrication of Materials	1	07/19/21	Architect/CAJ/TT	
MR2	Construction and Construction Waste Management Planning	1	07/19/21	CAJ	
MR3	Building Life Cycle Impact Reduction	1	07/19/21	TT/CAJ	
MR4	Building Product Disclosure and Collaboration - Selection of Raw Materials (LEED v4.1)	1	07/19/21	Architect/CAJ/Contractor	
MR5	Building Product Disclosure and Collaboration - Material Ingredients (LEED v4.1)	1	07/19/21	Architect/CAJ/Contractor	
MR6	Construction and Construction Waste Management (LEED v4.1)	1	07/19/21	Contractor	
ENVIRONMENTAL QUALITY					
EQ1	Indoor Air Quality	1	07/19/21	MEP	
EQ2	Indoor Air Quality	1	07/19/21	TT/Architect/CAJ	
EQ3	Indoor Air Quality	1	07/19/21	TT/Architect/CAJ	
EQ4	Indoor Air Quality	1	07/19/21	Architect/CAJ/Contractor	
EQ5	Indoor Air Quality	1	07/19/21	Contractor	
EQ6	Indoor Air Quality	1	07/19/21	Contractor	
INDOOR AIR QUALITY					
IAQ1	Indoor Air Quality	1	07/19/21	Owner/TT	
IAQ2	Indoor Air Quality	1	07/19/21	Architect/CAJ/TT	
IAQ3	Indoor Air Quality	1	07/19/21	Owner/TT	
IAQ4	Indoor Air Quality	1	07/19/21	Architect/CAJ/TT	
IAQ5	Indoor Air Quality	1	07/19/21	TT	
MATERIALS & RESOURCES					
MR1	Design and Fabrication of Materials (Threshold 1)	1	07/19/21		
MR2	Design and Fabrication of Materials (Threshold 2)	1	07/19/21		
MR3	Design and Fabrication of Materials (Threshold 3)	1	07/19/21		
MR4	Design and Fabrication of Materials (Threshold 4)	1	07/19/21		
MR5	Design and Fabrication of Materials (Threshold 5)	1	07/19/21		
MR6	Design and Fabrication of Materials (Threshold 6)	1	07/19/21		
MR7	Design and Fabrication of Materials (Threshold 7)	1	07/19/21		
MR8	Design and Fabrication of Materials (Threshold 8)	1	07/19/21		
MR9	Design and Fabrication of Materials (Threshold 9)	1	07/19/21		
MR10	Design and Fabrication of Materials (Threshold 10)	1	07/19/21		
TOTAL POINTS		41	37	10	

NOTE: THIS PROJECT IS DESIGNED TO MEET MINIMUM OF LEED GOLD PLUS OR 75 POINTS AND ALL ELECTRIC

Thornton Tomasetti

GENERAL NOTES:
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2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

LEED SCORECARD

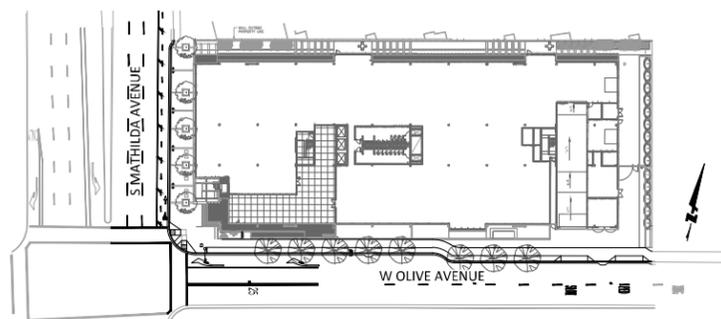
JOB NO. 21-018	SHEET NO.
DATE: 05/23/22	G1.30
DRAWN: TT	
CHECKED: AG	
ISSUE: PLN RESUBMITTAL	
	OF SHEETS



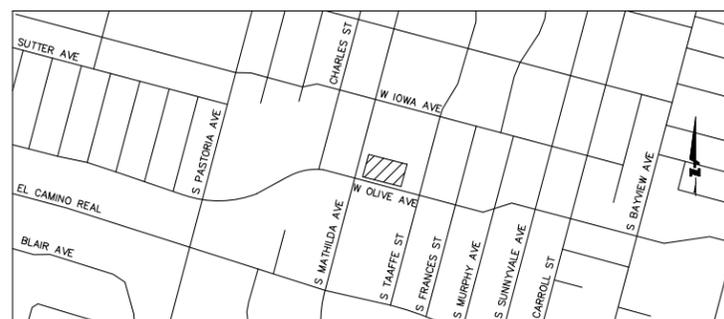
150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com

490 SOUTH MATHILDA

CITY OF SUNNYVALE, SANTA CLARA COUNTY, CALIFORNIA



SITE PLAN
SCALE: 1"=50'



LOCATION MAP
NTS

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
EASEMENT	---	---
CONTOUR LINE	---	---
FENCE	-X-	-X-
STORM DRAIN	---	SD
SANITARY SEWER	---	SS
WATER	---	W
FIRE WATER	---	FW
GAS LINE	---	GAS
OVERHEAD LINES	---	OHE
SANITARY SEWER CLEAN OUT	●	●
SANITARY SEWER MANHOLE	⊙	⊙
STORM DRAIN CURB INLET/ CB	■	■
STORM DRAIN MANHOLE	⊙	⊙
STORMFILTER	⊙	⊙
POINT OF CONNECTION	⊙	⊙
BACKFLOW PREVENTER	⊙	⊙
WATER METER	■	■
FIRE DEPARTMENT CONNECTION	●	●
FIRE HYDRANT	⊙	⊙
WATER VALVE	⊙	⊙
MONUMENT	●	●
STREET LIGHT	⊙	⊙
TRAFFIC SIGNAL	⊙	⊙
INLET PROTECTION	⊙	⊙
STREET SIGN	+	+
JOINT POLE	⊙	⊙
BOLLARD	●	●

SYMBOL

SYMBOL	DESCRIPTION
⊙	DETAIL SECTION A ON SHEET C1.01
⊙	DETAIL A ON SHEET C1.01

REFERENCED SUNNYVALE STANDARD DETAILS

1A	TYPE 1 - CONCENTRIC MANHOLE 8" TO 33" PIPE
1B	WATER VALVE BOX INSTALLATION
2E-1	TYPICAL HYDRANT MARKER LOCATION
6C-4	COMMERCIAL AND INDUSTRIAL DRIVEWAY APPROACH IN ATTACHED 10' OR 12' SIDEWALK WITH 4'X5' TREETWELL
9C-1	DETACHED 6-FOOT SIDEWALK WITH 4-FOOT PARK-STRIP
9C-3	DETACHED 8-FOOT SIDEWALK WITH 4-FOOT PARK-STRIP
9C-6	DOWEL CONNECTIONS TO EXISTING SIDEWALK
10A	24" CURB DROP INLET
13C-1	PERPENDICULAR CURB RAMP EXTRA WDE SIDEWALK
14A	STANDARD CONNECTION TO MANHOLE WALLS, AND REINFORCED CONCRETE PIPE
18B	BACKFLOW PREVENTION DEVICE SIZE UP TO 2"
20B	VERTICAL ORIENTATION DOMESTIC RP ASSEMBLY BACKFLOW PREVENTION DEVICE SIZE 3" AND LARGER
21B	FIRE SERVICE - REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA)

ABBREVIATIONS

AB	AGGREGATE BASE	LOW	DELTA
AC	ASPHALT CONCRETE	LT	LIGHT
ACP	ASBESTOS CEMENT PIPE	LS, LSCP	LANDSCAPE
AD	AREA DRAIN	MAX	MAXIMUM
APN	ASSESSOR'S PARCEL NUMBER	MH	MANHOLE
B/W, BW	BACK OF WALK	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON	MONUMENT
BFP	BACKFLOW PREVENTER	N	NORTH
BHL	BUILDING HEIGHT LOCATION	NTS	NOT TO SCALE
BLD, BLDG	BUILDING	NO.	NUMBER
BOL	BOLLARD	OC	ON CENTER
BSL	BUILDING SETBACK LINE	OD	OUTSIDE DIAMETER
BTM	BOTTOM	OH	OVERHEAD
CK&G	CURB AND GUTTER	OR, O.R.	OFFICIAL RECORD
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CCP	CONCRETE CYLINDER PIPE	PCC	POINT OF COMPOUND CURVATURE
CL, C	CENTER LINE	PERF	PERFORATED
CLR	CLEARANCE	PG&E	PACIFIC GAS & ELECTRIC
CO	CLEANOUT	PKG	PARKING
CONC	CONCRETE	PL	PROPERTY LINE
CS	COMBINED SEWER	POC	POINT OF CONNECTION
CSMH	COMBINED SEWER MANHOLE	PR	PROPOSED
CATV, CTV	CABLE TELEVISION	PRC	POINT OF REVERSE CURVATURE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	PLTR	PLANTER
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
DMA	DRAINAGE MANAGEMENT AREA	R	RADIUS, RIGHT OF ALIGNMENT LINE
BOW	BOTTOM OF WALL	RCP	REINFORCED CONCRETE PIPE
DW	DOMESTIC WATER	RIM	RIM ELEVATION
DWG	DRAWING	ROW	RIGHT OF WAY
DWY	DRIVEWAY	S	SLOPE, SOUTH
E	EAST	S.A.D.	SEE ARCHITECTURAL DRAWINGS
E, ELEC	ELECTRIC	SD	STORM DRAIN
EASE, ESMT	EASEMENT	SDAD	STORM DRAIN AREA DRAIN
EB	ELECTRIC BOX	SDCB	STORM DRAIN CATCH BASIN
EC	END OF CURVE	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GROUND	SDDI	STORM DRAIN DROP INLET
EL	ELEVATION	SDMH	STORM DRAIN MANHOLE
EM	ELECTRIC METER	S.E.P.	SEE ELECTRICAL PLANS
EP	EDGE OF PAVEMENT	SF, SQ. FT.	SQUARE FEET
EXIST	EXISTING	S.F.P.P.	SEE FIRE PROTECTION PLANS
FC	FACE OF CURB	S.J.T.P.	SEE JOINT TRENCH PLANS
FDC	FIRE DEPARTMENT CONNECTION	SL	STREET LIGHT
FF	FINISHED FLOOR	SLB	STREET LIGHT BOX
FG	FINISHED GRADE	S.L.P.	SEE LANDSCAPE PLANS
FH	FIRE HYDRANT	S.P.P.	SEE PLUMBING PLANS
FL	FLOWLINE	SS	SANITARY SEWER
FNC	FENCE	SSCO	SANITARY SEWER CLEANOUT
FO	FIBER OPTIC CABLE	SSD	SUNNYVALE STANDARD DETAIL
FT	FEET	SSMH	SANITARY SEWER MANHOLE
FW	FIRE WATER	ST	STREET
G	GAS	STA	STATION
GB	GRADE BREAK	STD	STANDARD
GM	GAS METER	S/W	SIDEWALK
GND	GROUND	T, TEL, TELE	TELEPHONE
GP	GATE POST	TBD	TO BE DETERMINED
GPM	GALLONS PER MINUET	TC	TOP OF CURB
GR	GRATE, GRATE ELEVATION	TE	TRASH ENCLOSURE
GV	GATE VALVE	TOW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE	TP	TOP OF PAVEMENT
H, HORIZ	HORIZONTAL	TYP	TYPICAL
INV	INNER DIAMETER	V, VERT	VERTICAL
IRR	IRRIGATION	VG	VALLEY GUTTER
JP	JOINT POLE	UB	UTILITY BOX
JT	JOINT TRENCH	USA	UNDERGROUND SERVICE ALERT
L	LENGTH	W	WATER, WEST
L/C, LS	LANDSCAPE	WM	WATER METER
LF	LINEAR FEET	WV	WATER VALVE
LD	LIP OF GUTTER	W/	WITH
LID	LOW IMPACT DEVELOPMENT		
LL	LEVEL LANDING		

CIVIL SHEET INDEX	
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C8.1	SUNNYVALE STANDARD DETAILS

PROJECT BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SUNNYVALE BENCHMARK NO. 2, NAVD88.

BASIS OF BEARINGS
THE BEARING N75°08'00"W, BEING THE CENTERLINE OF W OLIVE AVE, AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD IN BOOK 360 OF MAPS, PAGE 23, RECORDS OF THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STAT OF CALIFORNIA, WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

Janine Lapp
JANINE LAPP, P.E.
PROJECT MANGER
BKF ENGINEERS

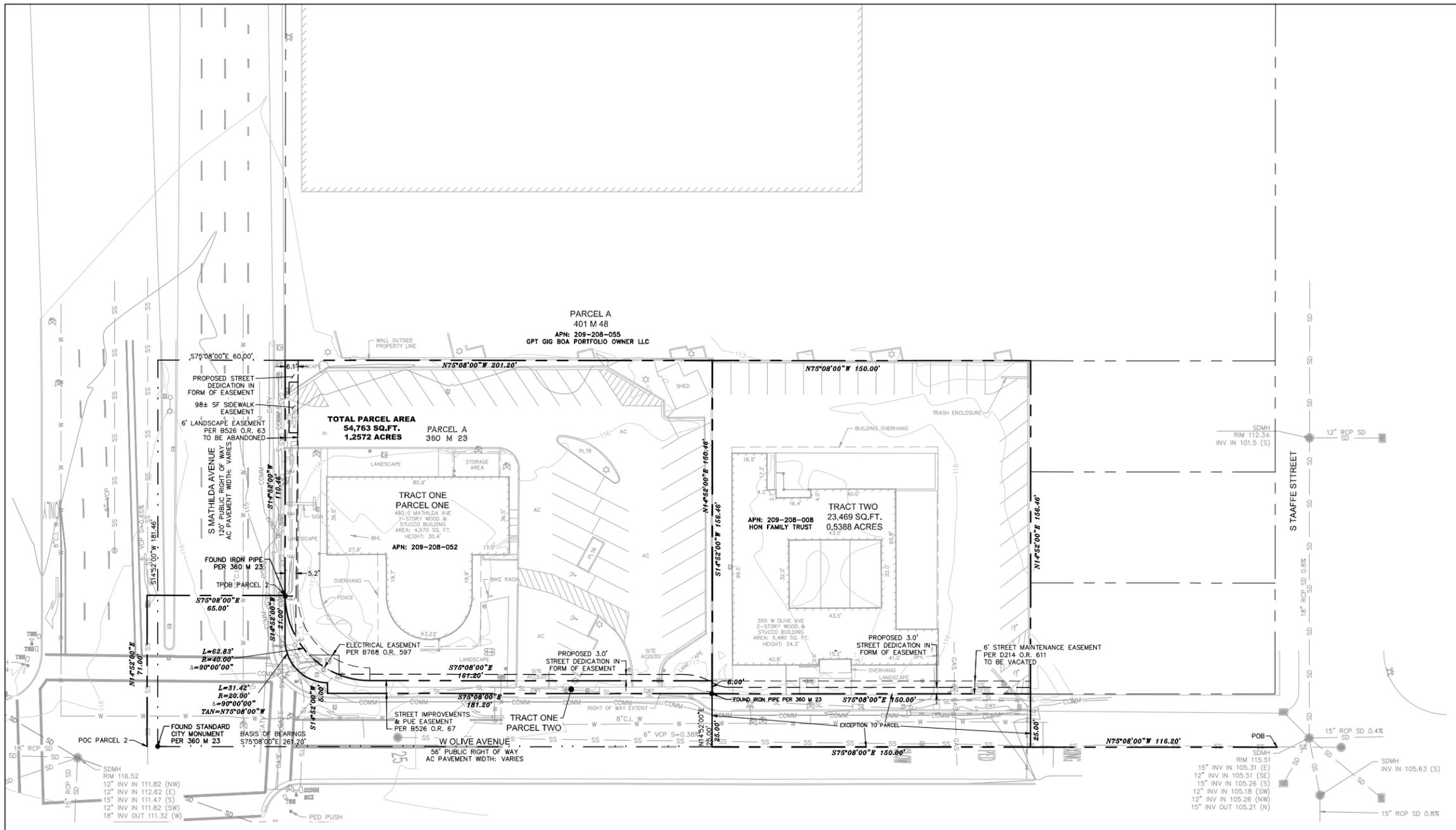
5/23/2022
DATE

REVISIONS

NO.	DATE	DESCRIPTION	BY

TITLE SHEET

JOB NO. 20201305	SHEET NO.
DATE: 5/23/2022	C1.0
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EASEMENT DISPOSITION TABLE	
DESCRIPTION	DISPOSITION
6' LANDSCAPE EASEMENT PER B526 O.R. 63	TO BE ABANDONED
ELECTRICAL EASEMENT PER B768 O.R. 597	TO REMAIN
STREET IMPROVEMENTS & PUE EASEMENT PER B526 O.R. 67	TO REMAIN
6' STREET MAINTENANCE EASEMENT PER D214 O.R. 611	TO BE VACATED

NOTES
1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON AN ALTA SURVEY COMPLETED BY SLOOTEN CONSULTING, INC. ON 07.07.2020 AND SUPPLEMENTED BY A TOPOGRAPHIC SURVEY COMPLETED BY BKF ENGINEERS IN MARCH 2021. REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.

GENERAL NOTES:
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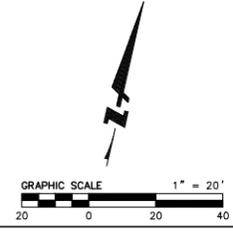


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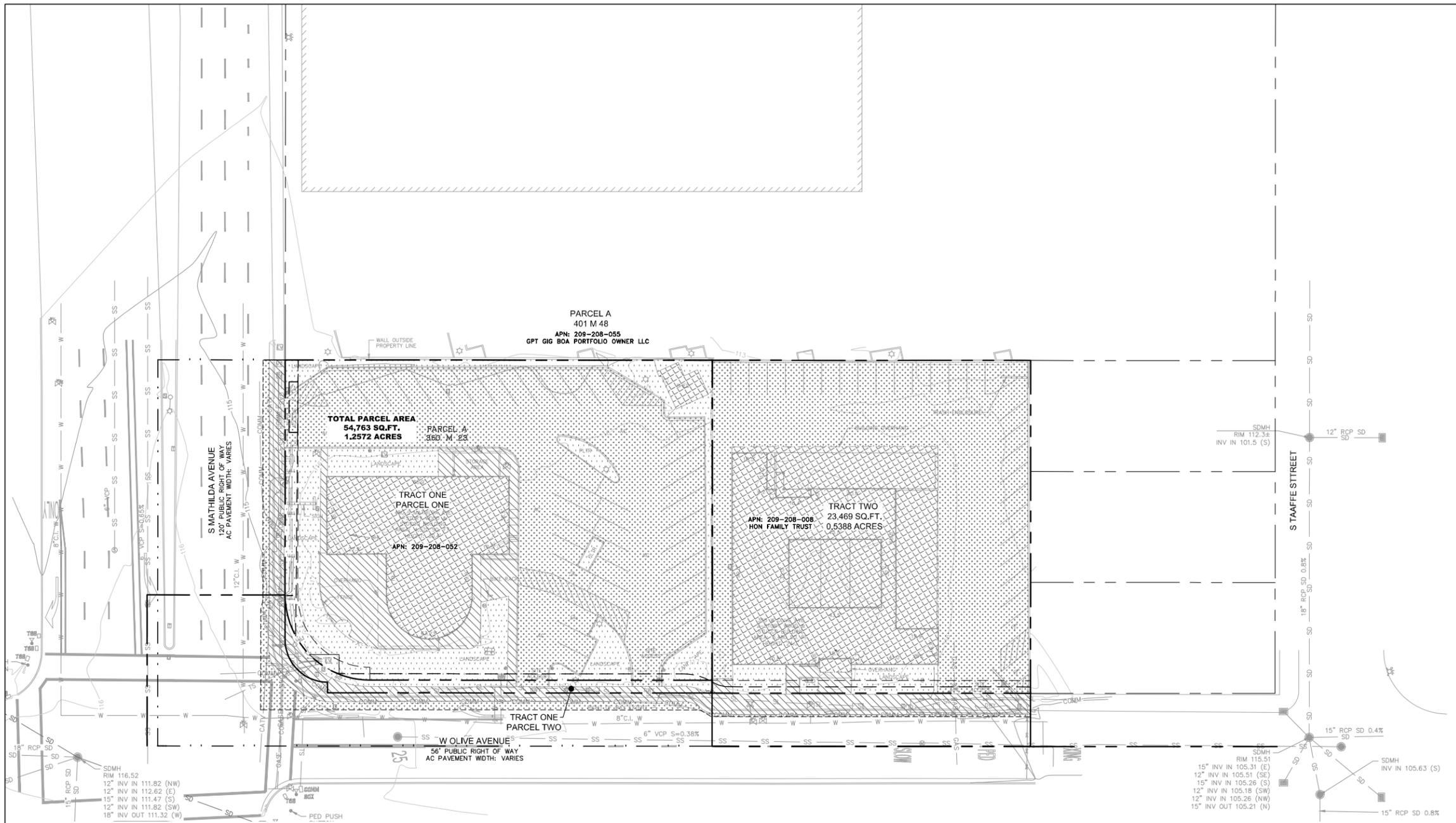
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EXISTING CONDITIONS

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PLOT DATE: 05-23-22
PLOTTED BY: stow



- HARDSCAPE DEMOLITION LEGEND**
- REMOVE EXISTING CONCRETE SIDEWALK
 - REMOVE EXISTING ASPHALT PAVEMENT
 - REMOVE EXISTING BUILDING
 - REMOVE EXISTING LANDSCAPE
 - SAWCUT LINE APPROX 1' FROM EX GUTTER

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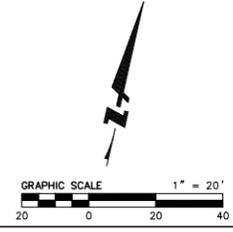


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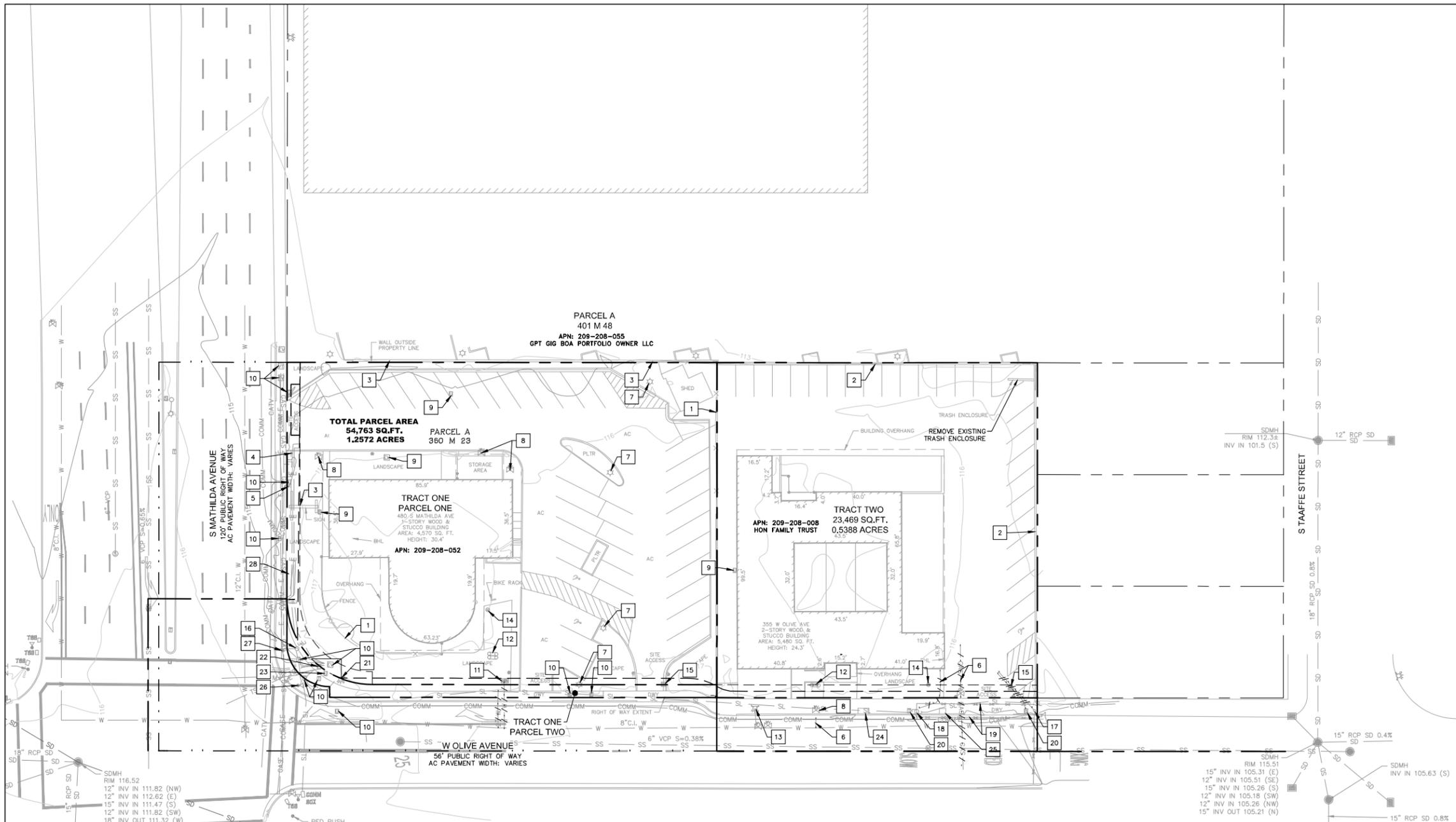
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HARDSCAPE DEMOLITION PLAN

JOB NO. 20201305	SHEET NO.
DATE: 5/23/2022	C2.1
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ISSUE: PLN RESUBMITTAL	4 OF 17 SHEETS

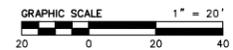


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PLOT DATE: 05-23-22
PLOTTED BY: stow



UTILITY DEMOLITION LEGEND

- REMOVE OR ABANDON EXISTING UTILITY LINE
- 1 REMOVE EXISTING FENCE
- 2 REMOVE EXISTING WALL
- 3 EXISTING WALL TO REMAIN
- 4 REMOVE EXISTING SIGN
- 5 EXISTING SIGN TO REMAIN
- 6 REMOVE OR ABANDON EXISTING UTILITY LINE
- 7 REMOVE EXISTING STREET LIGHT
- 8 REMOVE EXISTING WATER VALVE AND ASSOCIATED WATER LINE
- 9 REMOVE EXISTING UTILITY BOX AND ASSOCIATED UTILITY
- 10 EXISTING UTILITY BOX TO REMAIN, ADJUST TO GRADE
- 11 REMOVE EXISTING WATER METER
- 12 REMOVE EXISTING BFP
- 13 EXISTING FH TO REMAIN
- 14 REMOVE EX SSCO AND ASSOCIATED SS LINE
- 15 REMOVE EX SDCB AND ASSOCIATED SD LINE
- 16 EXISTING TRAFFIC SIGNAL POLE TO REMAIN
- 17 EXISTING ELECTRICAL POLE TO REMAIN
- 18 EXISTING ELECTRICAL POLE, S.J.T.P. FOR DISPOSITION
- 19 EXISTING ELECTRICAL LINES, S.J.T.P. FOR DISPOSITION
- 20 EXISTING UTILITY BOX, S.J.T.P. FOR DISPOSITION
- 21 RELOCATE EXISTING FH
- 22 EXISTING COMMUNICATIONS PEDESTAL, S.J.T.P. FOR DISPOSITION
- 23 EXISTING P&E ELECTRIC METER PEDESTAL, S.J.T.P. FOR DISPOSITION
- 24 REMOVE EXISTING TREE AND TREE WELL
- 25 REMOVE EXISTING TREE WELL (NO ASSOCIATED TREE)
- 26 REMOVE EXISTING TRAFFIC SIGNAL POLE
- 27 REMOVE EXISTING PEDESTRIAN PUSH-BUTTON
- 28 EXISTING BUS STOP POLE, COORDINATE WITH VTA AND CITY STAFF FOR DISPOSITION.



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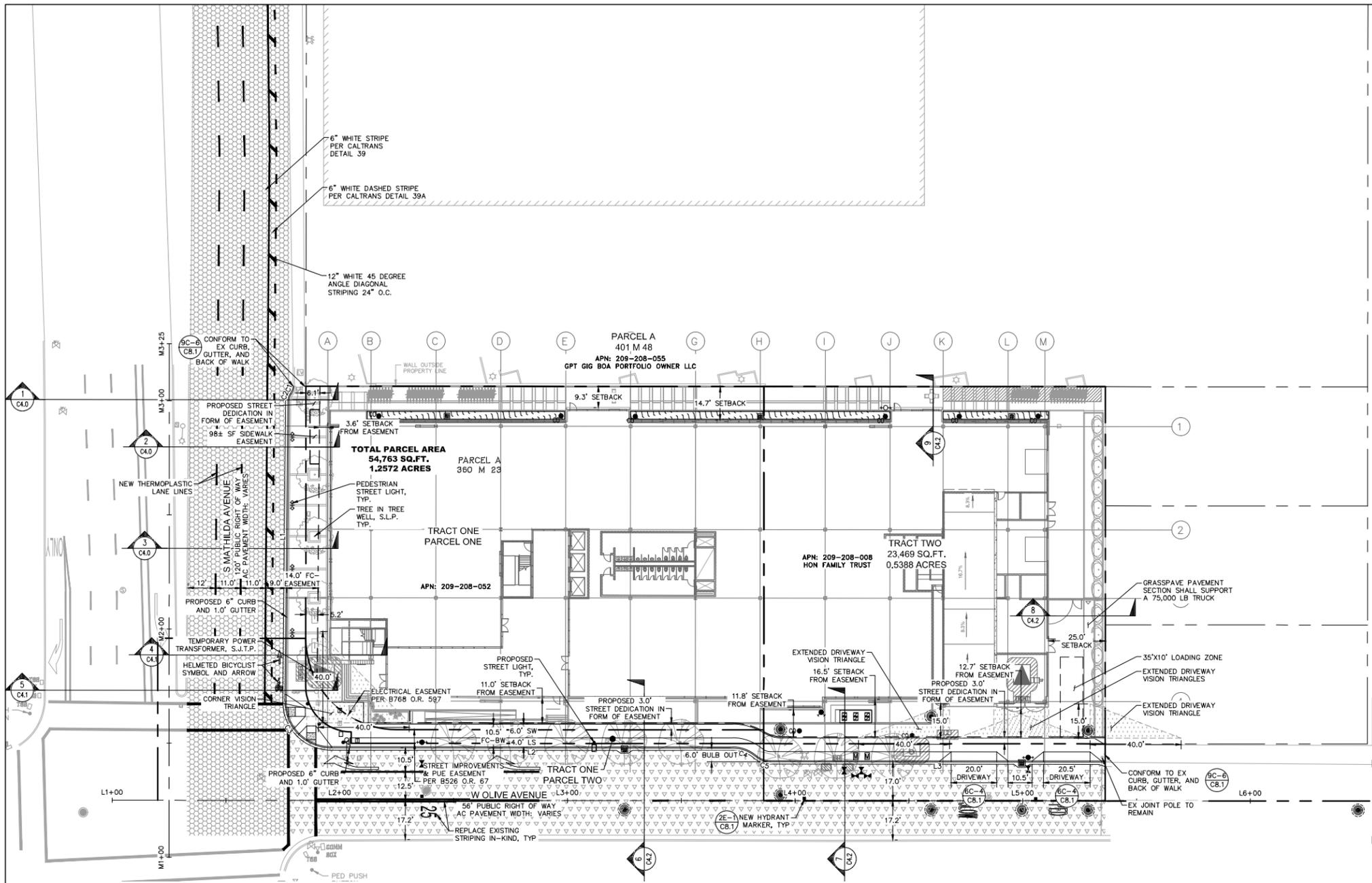
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UTILITY DEMOLITION PLAN

JOB NO. 20201305	SHEET NO.
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ISSUE: PLN RESUBMITTAL	5 OF 17 SHEETS

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PLOT DATE: 05-23-22
PLOTTED BY: stow



- NOTES:**
1. THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGES ON SOUTH MATHILDA AVENUE AND WEST OLIVE AVENUE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. LINE AND CURVE TABLES REPRESENT FACE OF CURB.

LEGEND

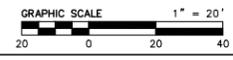
- [Pattern] TYPE II SLURRY SEAL
- [Pattern] TYPE III SLURRY SEAL
- [Symbol] SIGHT VISION TRIANGLE

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	132.03	N00°32'45"E
L2	176.69	N89°57'26"W
L3	147.18	N89°57'26"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C1	3.408	5.000	039.0513
C2	3.367	5.000	038.5884
C3	31.591	20.000	090.5030
C4	10.853	15.500	040.1192
C5	7.002	10.000	040.1192



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PRELIMINARY SITE PLAN

JOB NO. 20201305 SHEET NO. **C3.0**

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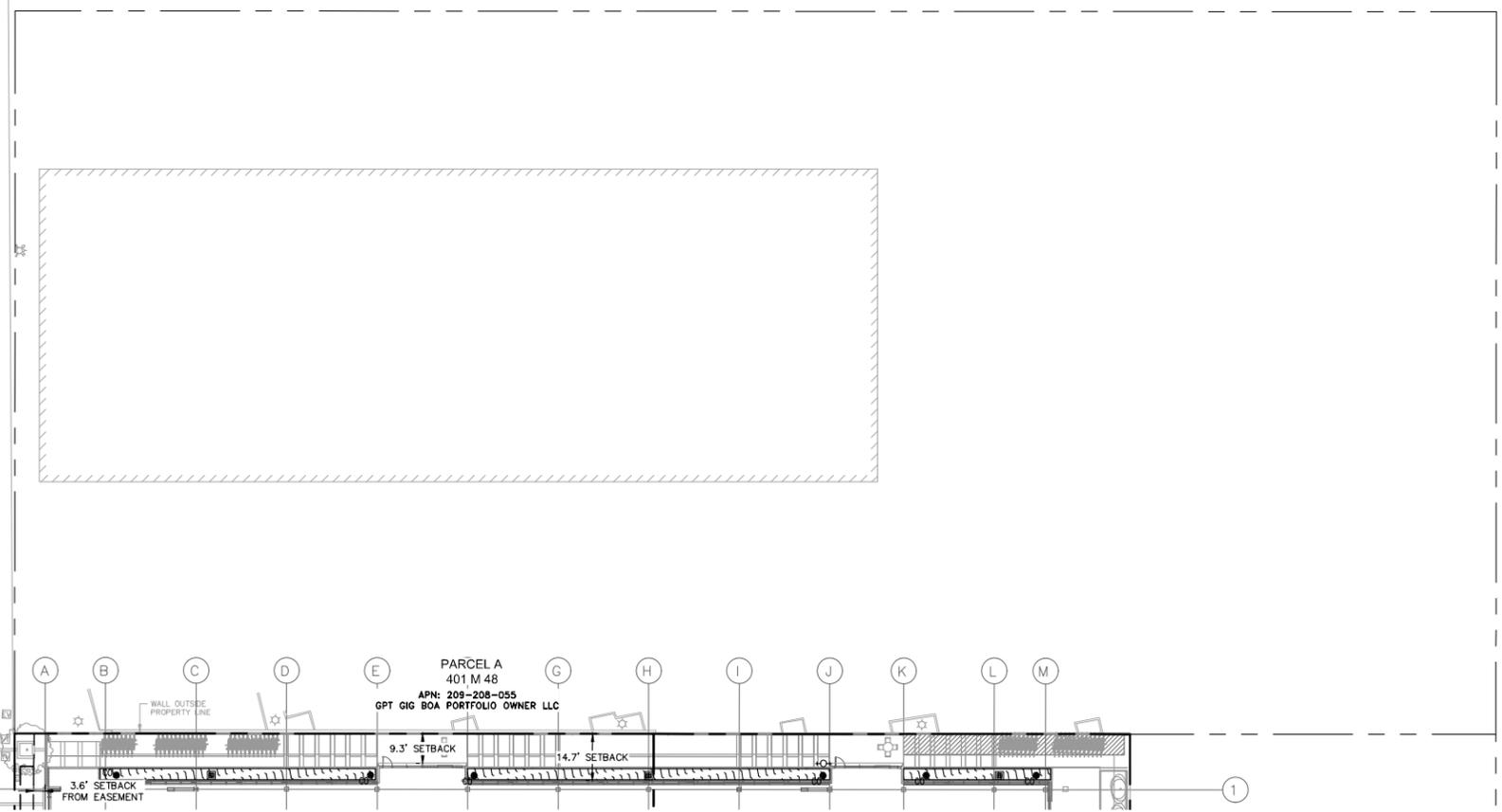
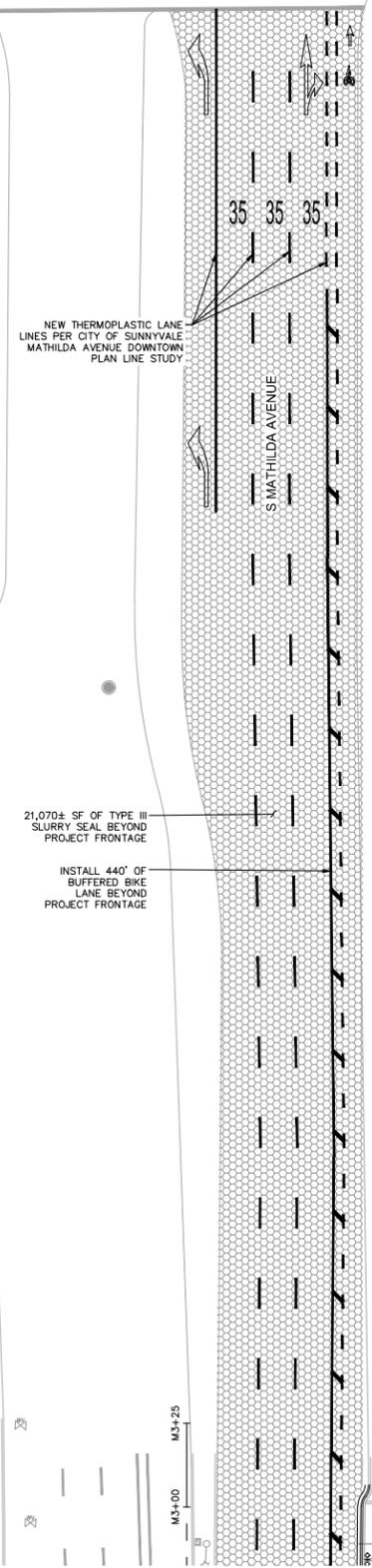
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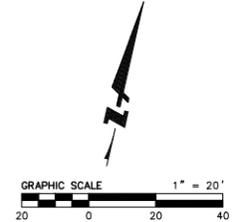
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W IOWA AVENUE



LEGEND
TYPE III SLURRY SEAL



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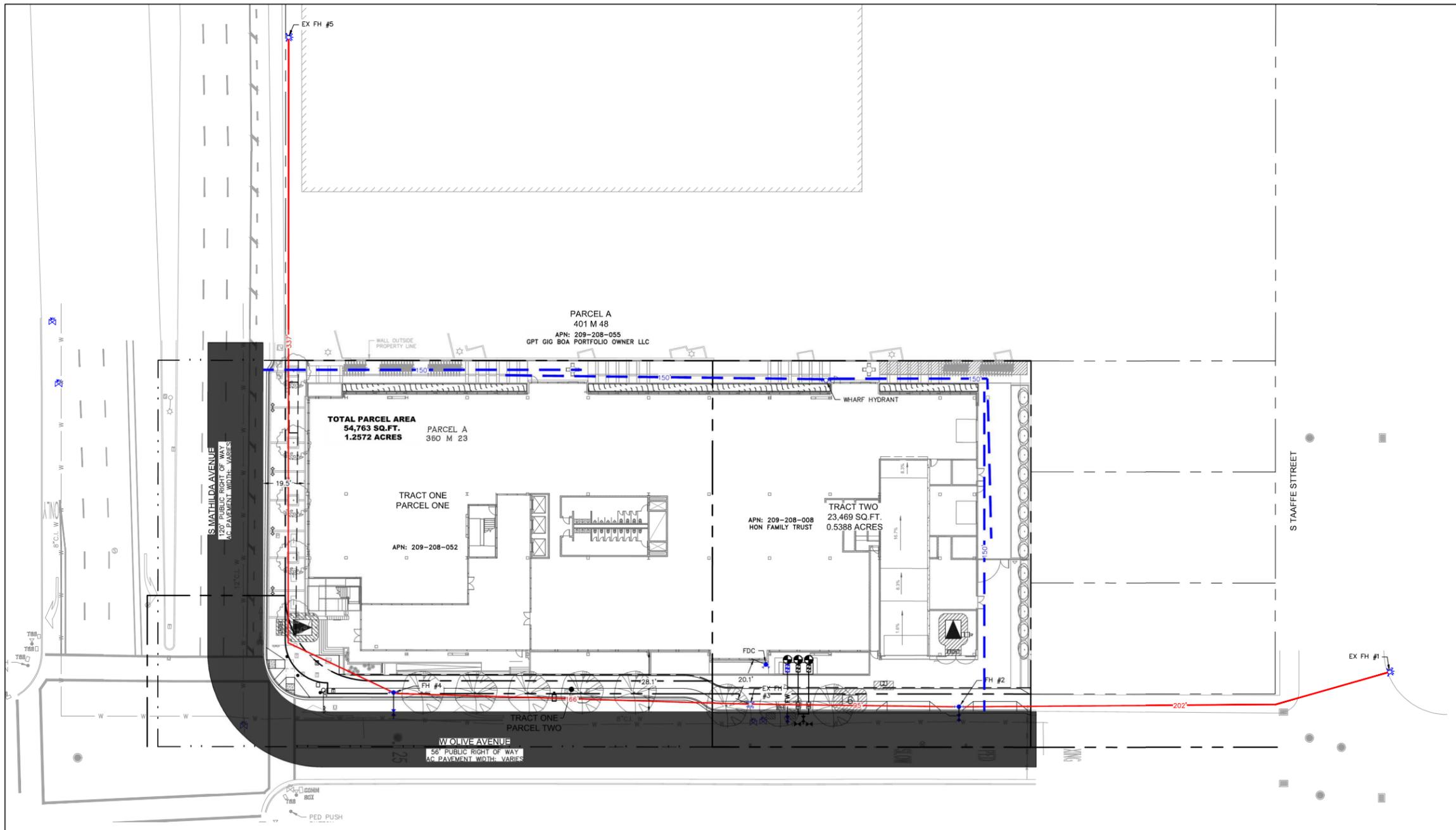
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MATHILDA AVE OFFSITE STRIPING PLAN

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PLOT DATE: 05-23-22
PLOT BY: stow



FIRE FLOW DATA
THE FOLLOWING FIRE FLOW DATA WAS OBTAINED FROM THE CITY OF SUNNYVALE ENVIRONMENTAL SERVICES DEPARTMENT.

HYDRANT ID#	STREET	MAIN SIZE (INCHES)	RESIDUAL PRESSURE (PSI)	STATIC PRESSURE (PSI)	FLOW MEASURED (GPM)
MAP #314 HYD #105	S MATHILDA	12	90	92	1500
MAP #314 HYD #107	OLIVE	8	86	90	1465

FIRE FLOW REQUIREMENTS & REDUCTION
THE FOLLOWING FIRE FLOW CALCULATIONS ARE BASED UPON FEASIBILITY STUDY PLANS DATED 7/19/20, CONCEPTUAL PLANS DATED 2/23/21, CALIFORNIA FIRE CODE (2019 EDITION) – SECTION 507, APP. B & C, AND FIRE FLOW TEST DATA FROM 6/25/2021 PROVIDED BY THE CITY OF SUNNYVALE ENVIRONMENTAL SERVICES DEPARTMENT.

BUILDING AREA BY CONSTRUCTION TYPE:
 TYPE I – B1 TO B2 = 94,050 GSF
 TYPE IV-C – L1 TO R = 130,845 GSF
 TOTAL BUILDING GROSS SF = 224,895 GSF

AREA OF THREE LARGEST SUCCESSIVE FLOORS = 132,829 GSF

FIRE FLOW BY CONSTRUCTION TYPE – CFC SECTION B104.1, B104.3, & TABLE B105.1:
 TYPE I AT 132,829 GSF* = 4,000 GPM AT 20 PSI
 TYPE IV** AT 224,895 GSF = 8,000 GPM AT 20 PSI
 *FIRE FLOW FOR TYPE IA AND IB BUILDINGS IS BASED ON THE AREA OF THE THREE LARGEST SUCCESSIVE FLOORS
 **FOR THIS CALCULATION IT IS ASSUMED THAT THE FIRE FLOW REQUIREMENTS FOR TYPE IV-C BUILDINGS WILL BE CALCULATED AS EQUIVALENT TO THE REQUIREMENTS FOR TYPE IV BUILDINGS.

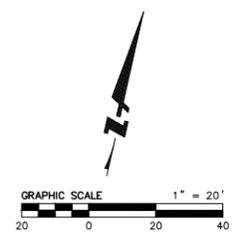
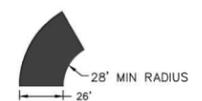
PERCENTAGE OF BUILDING AREA BY CONSTRUCTION TYPE:
 TYPE I 94,050 / 224,895 X 100 = 41.8%
 TYPE IV-C 130,845 / 224,895 X 100 = 58.2%

FIRE FLOW BY CONSTRUCTION TYPE AS PERCENTAGE OF BUILDING:
 0.418 X 4,000 GPM + 0.582 X 8,000 GPM = 6,328 GPM COMBINED FIRE FLOW*
 *PRIOR TO FIRE SPRINKLER REDUCTION

FIRE FLOW REDUCTION – CFC APP. B – TABLE B105.1(2), & B105.2
 25% FIRE FLOW REDUCTION – SPRINKLER SYSTEM 903.3.1.1
 6,328 GPM * 0.75 = 4,746 GPM NET REQUIRED FIRE FLOW (CFC)

FIRE HYDRANT LOCATIONS & DISTRIBUTION – APPENDIX C – TABLE C102.1:
 FIRE FLOW REQUIRED = 4,746 GPM @ 20 PSI
 FIRE FLOW AVAILABLE (S MATHILDA AVE) = 10,387 GPM @ 20 PSI
 FIRE FLOW AVAILABLE (W OLIVE AVE) = 6,872 GPM @ 20 PSI
 NUMBER OF HYDRANTS REQUIRED = 5
 AVE HYDRANT SPACING (WITH SPACING INCREASE) = 450 FT (300 + 50% INCREASE – C102.1(f))
 MAX DISTANCE FROM ANY POINT TO HYDRANT = 270 FT (180 + 50% INCREASE – C102.1(f))

- LEGEND**
- EXISTING FH
 - FDC
 - WET STANDPIPE
 - DIMENSION BETWEEN HYDRANTS
 - 150' HOSE PULL



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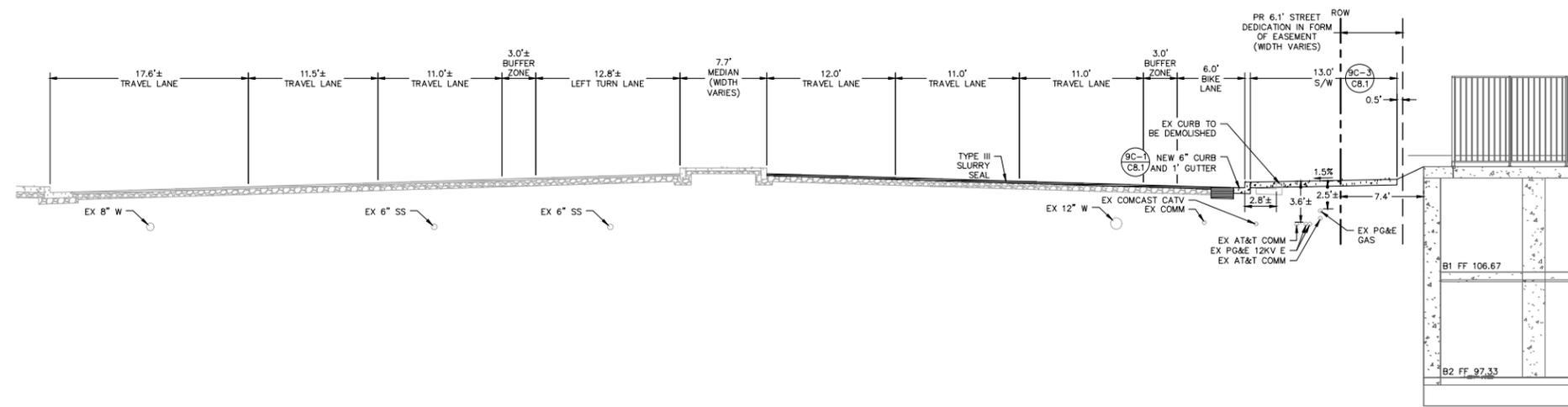
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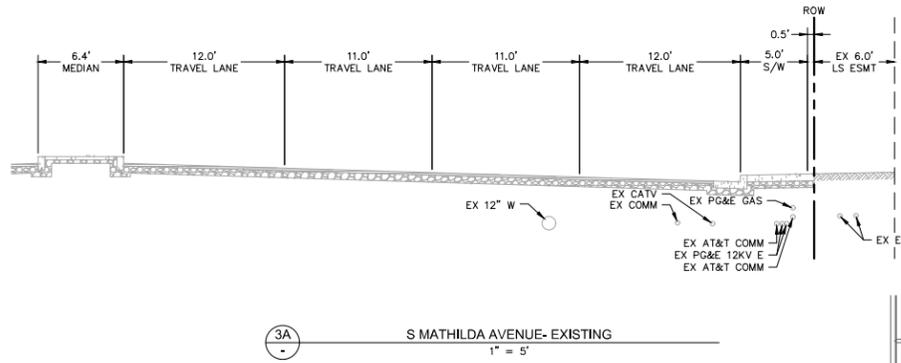
PRELIMINARY FIRE ACCESS PLAN

JOB NO. 20201305	SHEET NO.
DATE: 5/23/2022	C3.2
DRAWN: SMS	8 OF 17 SHEETS
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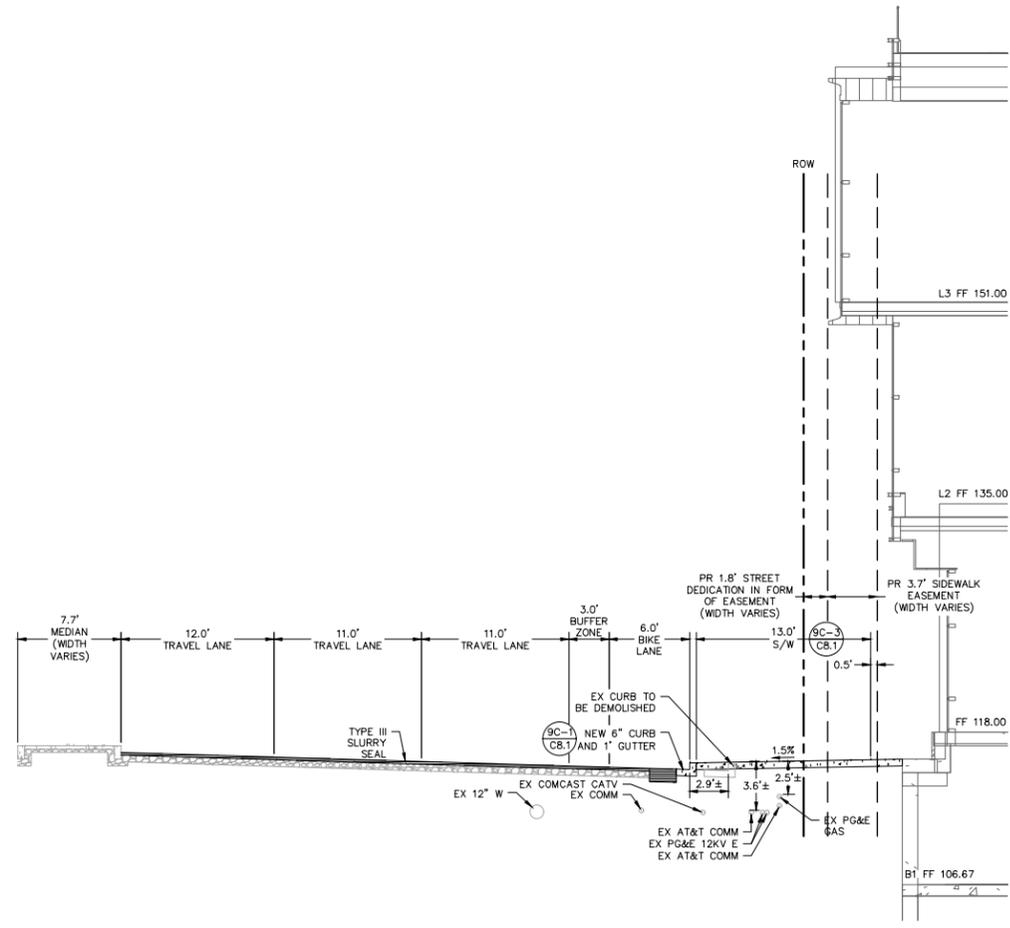
DRAWING NAME: \\bkf-sf\vol4\2020\201305_480_Mathilda_Sunnyvale\ENGP\C3.2 FIRE ACCESS PLAN.dwg
PLOT DATE: 05-23-22
PLOTTED BY: stow



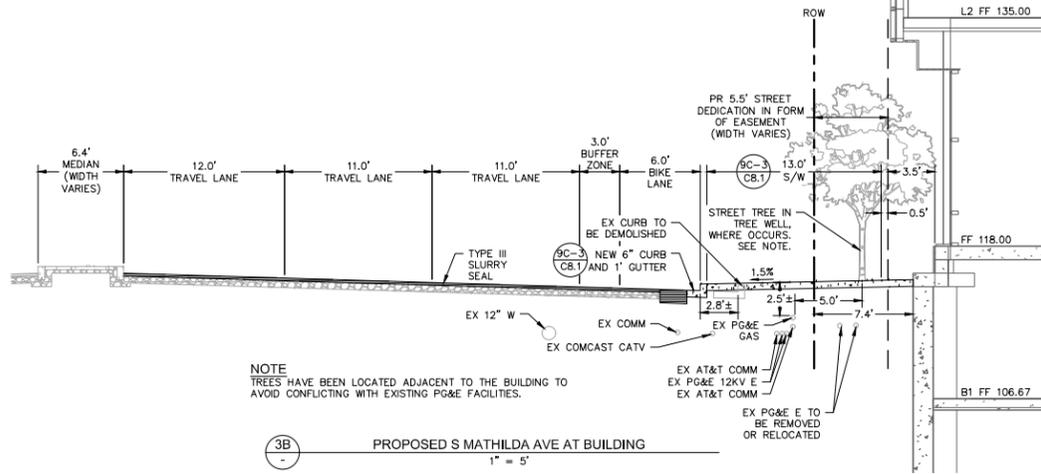
1 PROPOSED S MATHILDA AVE NEAR NORTH PROPERTY LINE
1" = 5'



3A S MATHILDA AVENUE- EXISTING
1" = 5'



2 PROPOSED S MATHILDA AVE NEAR NORTH PROPERTY LINE
1" = 5'



3B PROPOSED S MATHILDA AVE AT BUILDING
1" = 5'

GENERAL NOTES:
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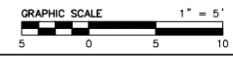
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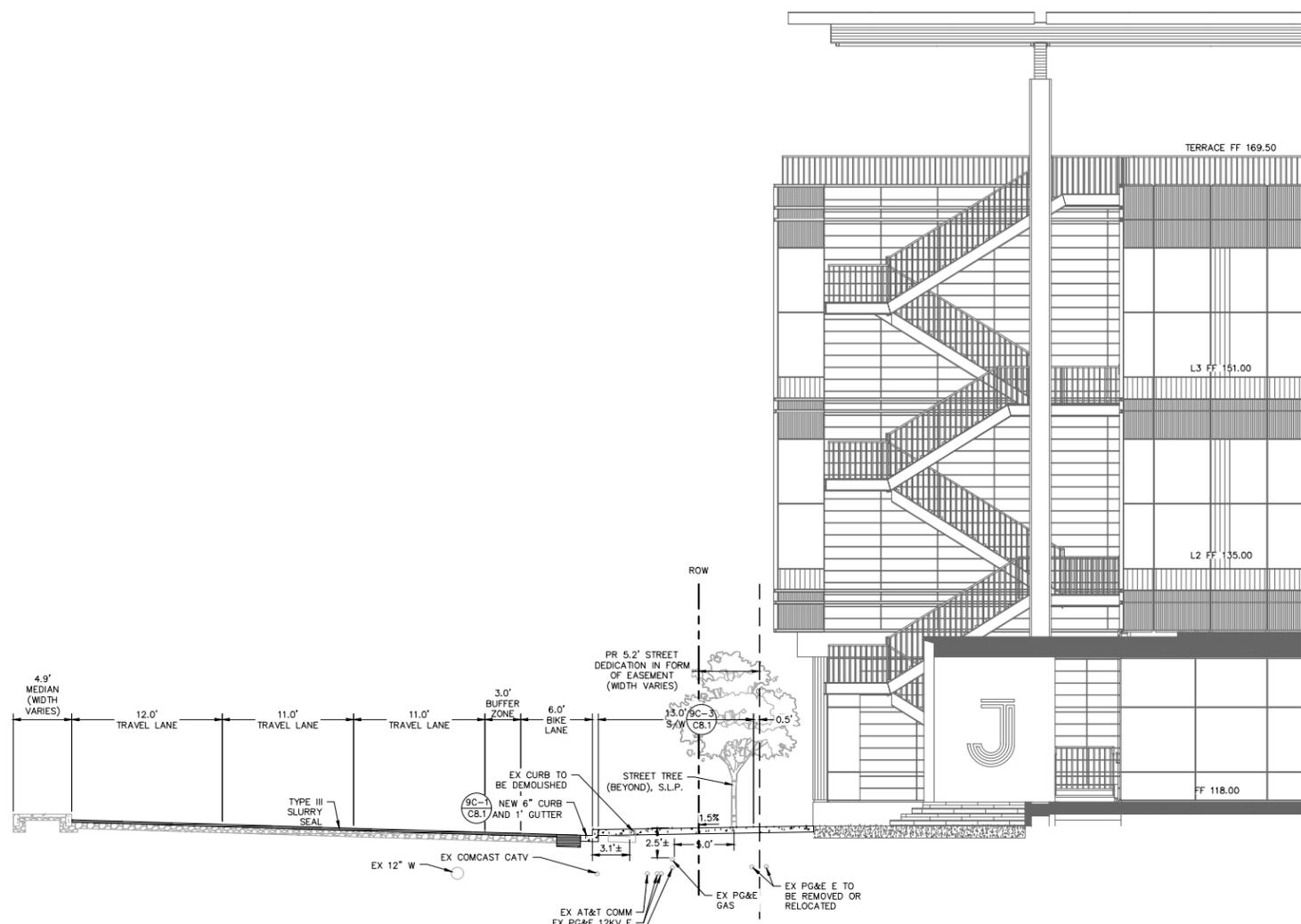
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SECTIONS

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PLOTTED BY: stow



NOTE
TIE-BACKS SHALL NOT BE ALLOWED TO ENCR OACH INTO PUBLIC
RIGHT- OF- WAYS AND/ OR ADJACENT PROPERTIES

4
PROPOSED S MATHILDA AVE NEAR INTERSECTION
1" = 5'

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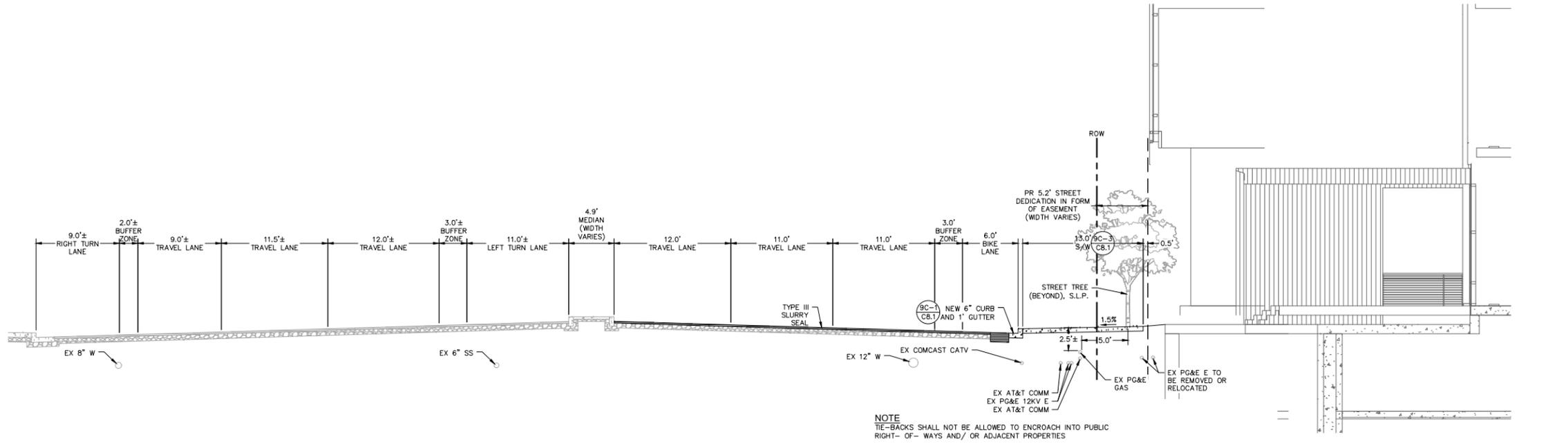


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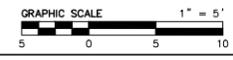
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DATE: 5/23/2022	C4.1
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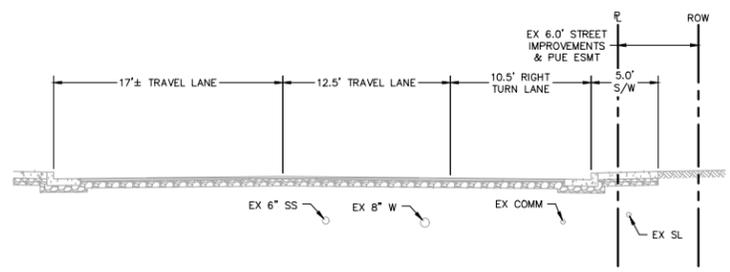


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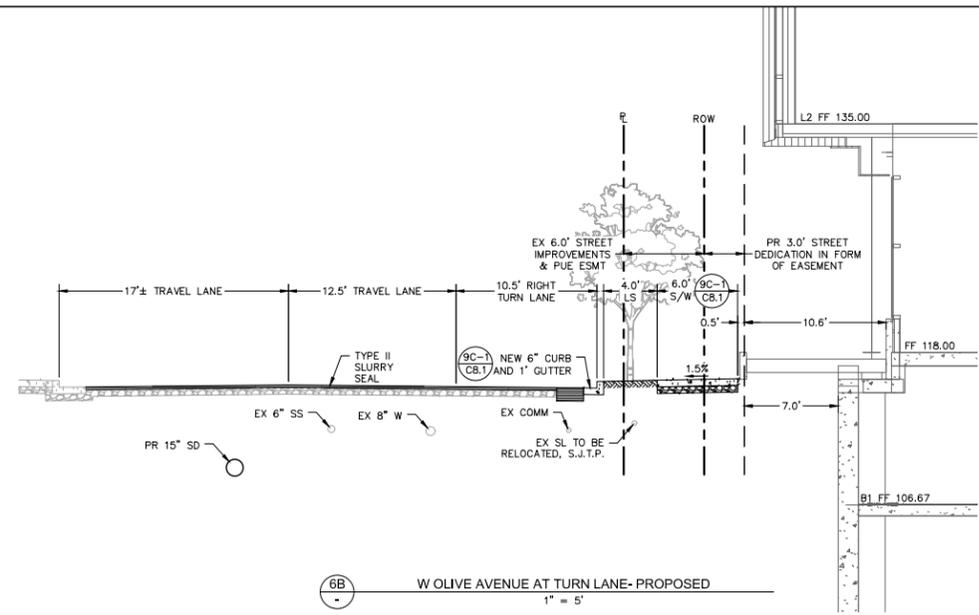
5
PROPOSED S MATHILDA AVE NEAR INTERSECTION
1" = 5'



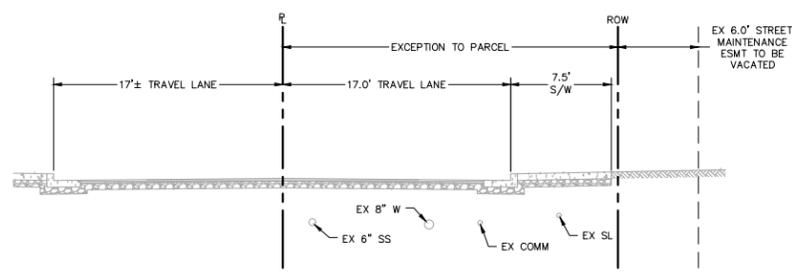
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PLOT DATE: 05-23-22
PLOTTED BY: stow



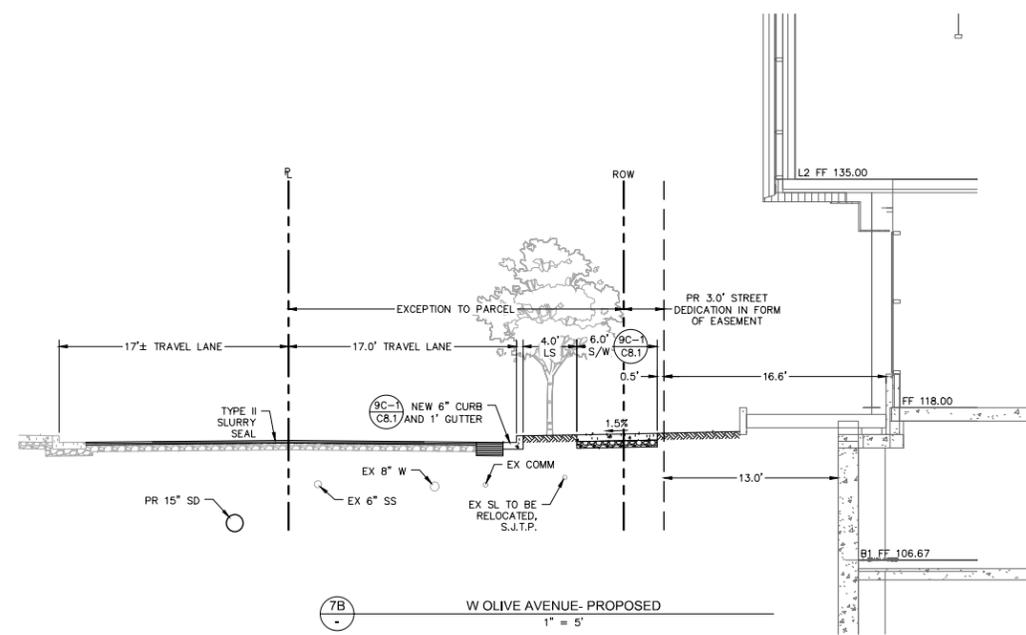
6A W OLIVE AVENUE AT TURN LANE- EXISTING
1" = 5'



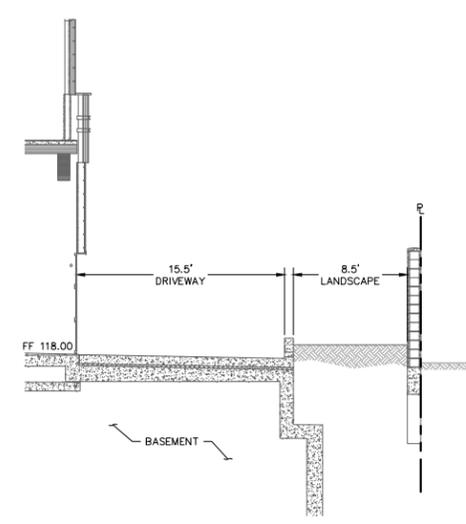
6B W OLIVE AVENUE AT TURN LANE- PROPOSED
1" = 5'



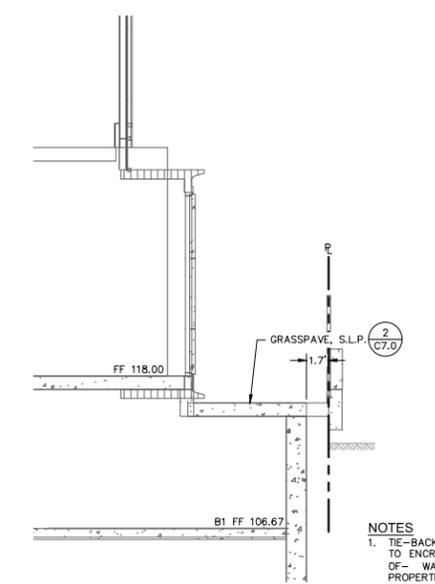
7A W OLIVE AVENUE- EXISTING
1" = 5'



7B W OLIVE AVENUE- PROPOSED
1" = 5'



8 EAST OF BUILDING- PROPOSED
1" = 5'



9 NORTH OF BUILDING- PROPOSED
1" = 5'

NOTES
1. TIE-BACKS SHALL NOT BE ALLOWED TO ENCRoACH INTO PUBLIC RIGHT-OF-WAYS AND/ OR ADJACENT PROPERTIES



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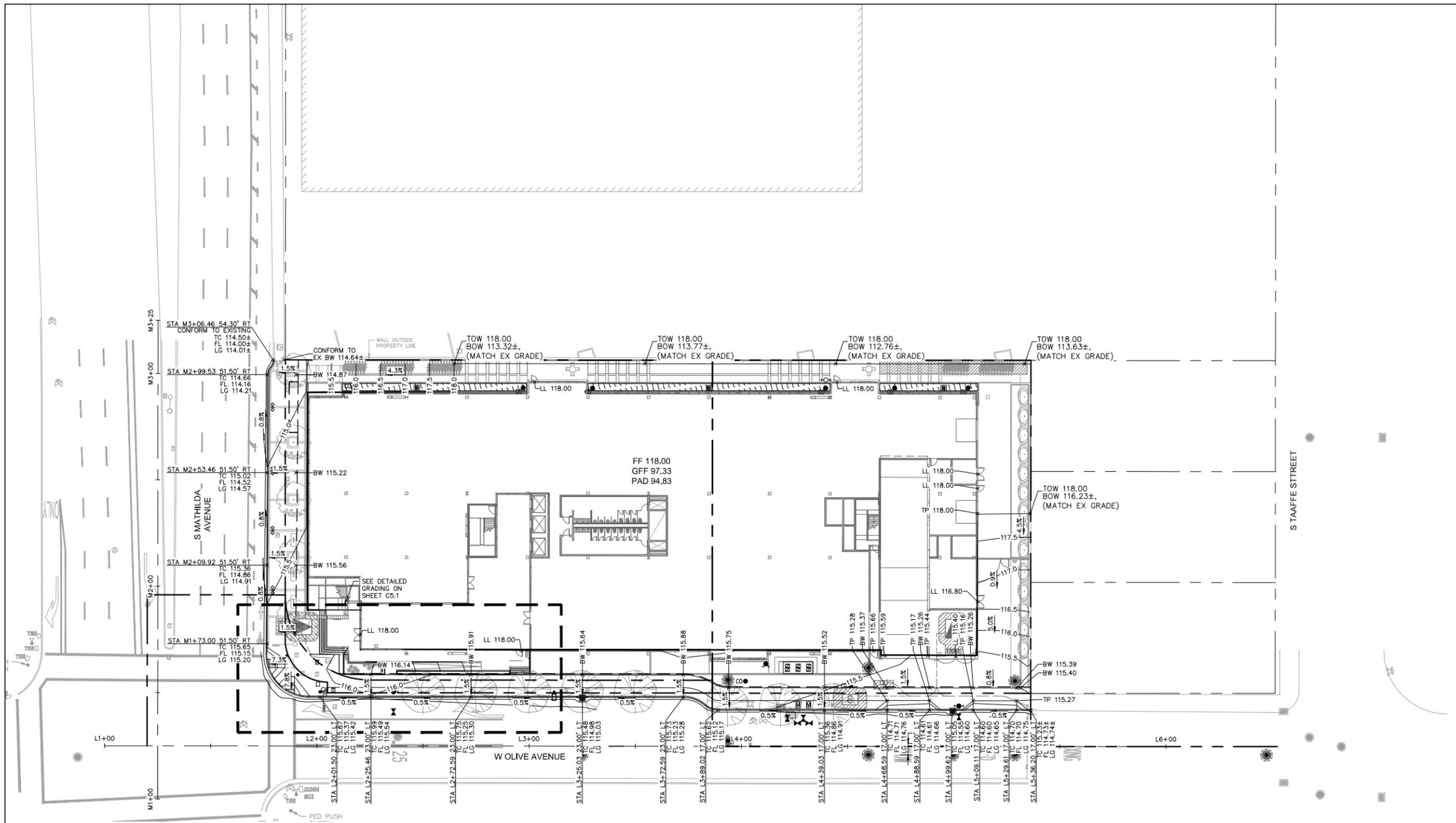
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SECTIONS	
JOB NO. 20201305	SHEET NO. C4.2
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PLOT DATE: 05-23-22
PLOT BY: stow



EARTHWORK QUANTITIES

CUT: 130 CY
 FILL: 2,710 CY
 GARAGE CUT: 40,030 CY
 NET: 37,450 CY EXPORT

EARTHWORK NOTES

- EARTHWORK VOLUMES ARE IN-PLACE VOLUMES AND DO NOT ACCOUNT FOR SHRINKAGE, SWELLING, OR FOUNDATION ELEMENTS.
- VOLUMES ASSUME A 30" THICK BUILDING PAD.

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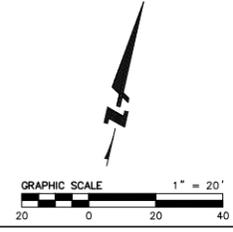


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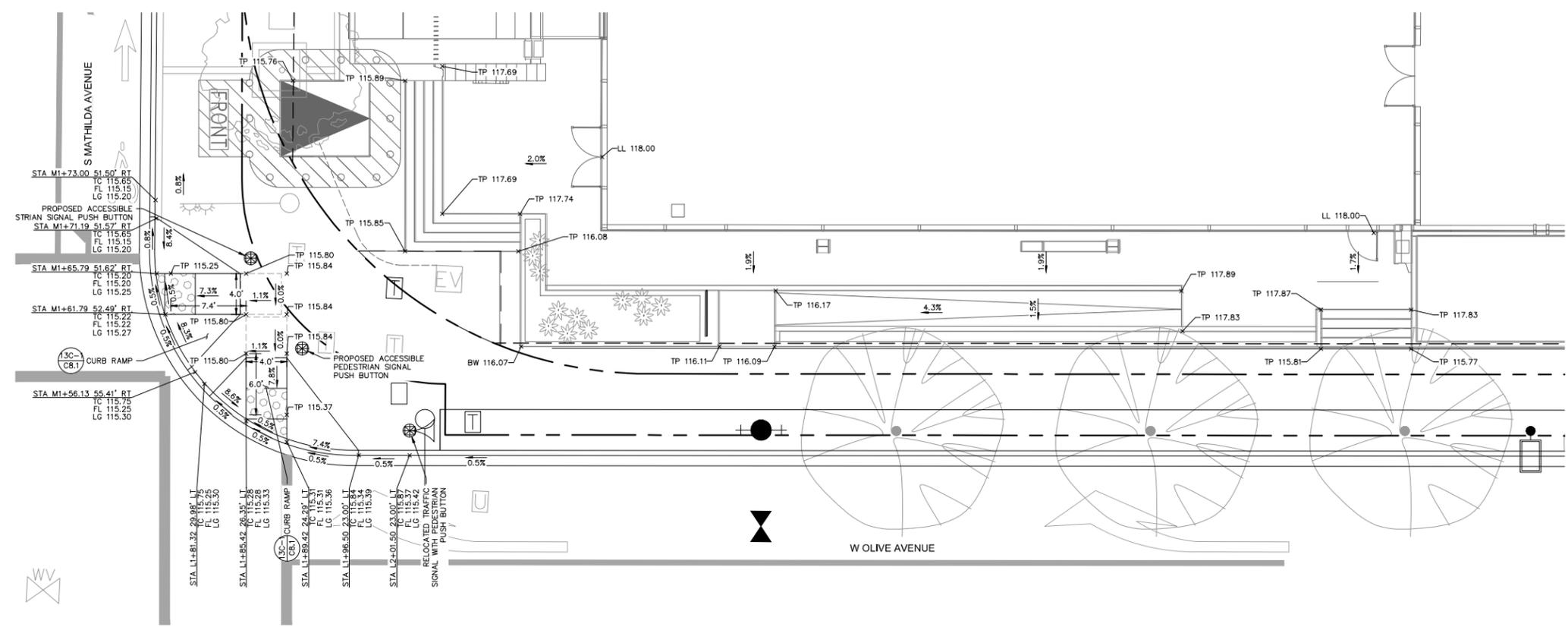
NO.	DATE	DESCRIPTION	BY

PRELIMINARY GRADING PLAN

JOB NO. 20201305	SHEET NO.
DATE: 5/23/2022	C5.0
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	12 OF 17 SHEETS



DRAWING NAME: \\bksf\vol4\2020\201305_480_Math1.dwg, Sunnyvale\ENGP_SD\C5.0 GRADING PLAN.dwg
 PLOT DATE: 05-23-22
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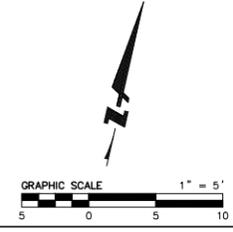
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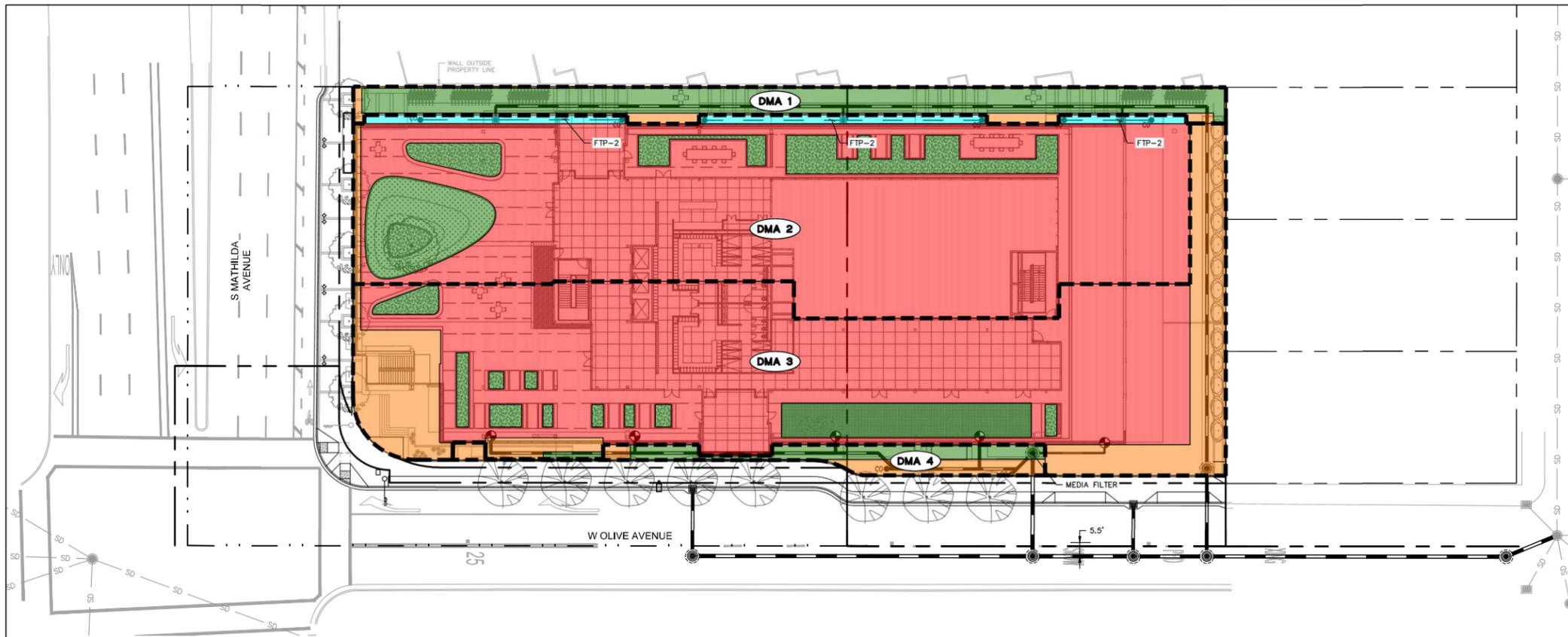
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NO.	DATE	DESCRIPTION	BY

DETAILED GRADING PLAN

JOB NO. 20201305	SHEET NO.
DATE: 5/23/2022	C5.1
DRAWN: SMS	
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PLOT DATE: 05-23-22
PLOTTED BY: stow



DMA SUMMARY TABLE:

DMA NAME	DRAINS TO	ROOF/PODIUM	PAVEMENT	PODIUM PLANTER	BIO-RETENTION	TOTAL (SF)	TREATMENT REQUIRED*	TREATMENT PROVIDED
DMA-1	SELF-RETAINING	0	739	3,349	0	4,088	N/A	N/A
DMA-2	FTP-2	18,842	190	3,283	924	23,239	761 SF	924 SF
DMA-3	MEDIA FILTER	15,994	4,722	2,178	0	22,894	3 CARTRIDGES	3 CARTRIDGES
DMA-4	INTERCEPTOR TREES	0	702	831	0	1,533	7 TREES	7 TREES
TOTAL (SF)		34,836	6,353	9,641	924	51,754		

*BIORETENTION AREA REQUIRED IS CALCULATED AS 4% OF DMA IMPERVIOUS AREA. MEDIA FILTER CARTRIDGES REQUIRED ARE CALCULATED BASED ON MANUFACTURER'S RECOMMENDATIONS. INTERCEPTOR TREES REQUIRED ARE CALCULATED BASED ON ONE NEW DECIDUOUS TREE PER 100 SF OF DMA IMPERVIOUS AREA.

LEGEND

- ROOF
- PAVEMENT
- PLANTER OR LS ON PODIUM
- FLOW THROUGH PLANTER
- DRAINAGE AREA BOUNDARY
- STORM DRAIN PIPE
- DRAINAGE AREA IDENTIFICATION

STORMWATER COMPLIANCE DATA
PER THE MUNICIPAL REGIONAL STORMWATER PERMIT ORDER NO. R2-0074, TRANSIT-ORIENTED DEVELOPMENT PROJECTS ARE ELIGIBLE FOR LOW IMPACT DESIGN TREATMENT REDUCTION CREDITS. THE LID TREATMENT REDUCTION CREDIT IS THE MAXIMUM PERCENTAGE OF THE AMOUNT OF RUNOFF THAT MAY BE TREATED WITH EITHER TREE-BOX-TYPE HIGH FLOWRATE BIOFILTERS OR VAULT-BASED HIGH FLOWRATE MEDIA FILTERS. THIS PROJECT IS CLASSIFIED AS A CATEGORY C SPECIAL PROJECT (TRANSIT-ORIENTED DEVELOPMENT) AND QUALIFIES FOR A TOTAL LID TREATMENT REDUCTION CREDIT OF 55% AS DESCRIBED BELOW.

- SPECIAL PROJECT CATEGORY "C"
- a. IS THE PROJECT LOCATED WITHIN 1/2 MILE OF AN EXISTING OR PLANNED TRANSIT HUB OR WITHIN A PLANNED PRIORITY DEVELOPMENT AREA? YES, THE PROJECT IS WITHIN THE DOWNTOWN & CALTRAIN STATION PRIORITY DEVELOPMENT AREA.
 - b. IS THE PROJECT CHARACTERIZED AS A NON-AUTO-RELATED USE? YES, IS A COMMERCIAL DEVELOPMENT.
 - c. DOES THE PROJECT HAVE A MINIMUM DENSITY OF 25 DWELLING UNITS PER ACRE OR A MINIMUM FLOOR AREA RATIO OF 2:1? YES, THE PROJECT HAS A FLOOR AREA RATIO OF 2.5:1.

LOCATION CREDIT
25% TREATMENT REDUCTION CREDIT FOR PROJECTS WITHIN A PLANNED PDA.

DENSITY CREDIT
10% TREATMENT REDUCTION CREDIT FOR A FAR GREATER THAN 2:1.

MINIMIZED SURFACE PARKING CREDIT
20% TREATMENT REDUCTION CREDIT FOR HAVING NO SURFACE PARKING.

STORMWATER TREATMENT AREA DATA
TOTAL LID TREATMENT REDUCTION CREDIT = 55%

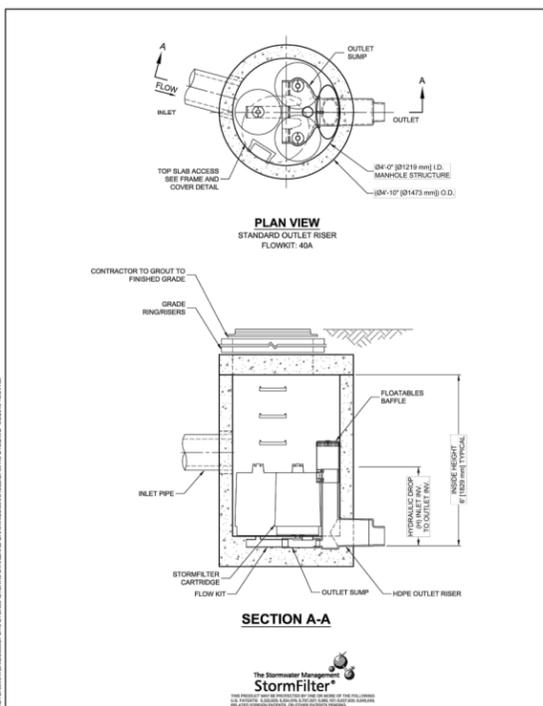
TOTAL IMPERVIOUS AREA = 41,189 SF

MAXIMUM AREA ALLOWED TO BE TREATED W/ NON-LID TREATMENT MEASURES (MEDIA FILTER) IMPERVIOUS AREA = 22,654 SF

MINIMUM AREA REQUIRED TO BE TREATED W/ LID TREATMENT MEASURES (FLOW THROUGH PLANTER) IMPERVIOUS AREA = 18,535 SF

TOTAL IMPERVIOUS AREA TREATED BY W/ NON-LID TREATMENT MEASURES = 20,473 SF (50%)

TOTAL IMPERVIOUS AREA TREATED W/ LID TREATMENT MEASURES = 20,716 SF (50%)



STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (3). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 3 CARTRIDGES (3) (1219 mm) MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.0 CFS (28.3 L/s). IF THE SITE CONDITIONS EXCEED 1.0 CFS (28.3 L/s) AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	3" (76.2 mm)	4" (101.6 mm)	LOW DROP
RECOMMENDED HYDRAULIC DROP (ft)	3.00 (914 mm)	2.37 (720 mm)	1.87 (570 mm)
SPECIFIC FLOW RATE (gpm/ft ²)	2.1 (30)	1.8 (26)	1.8 (26)
CARTRIDGE FLOW RATE (gpm)	22.5 (1.4)	18.7 (1.3)	17.3 (1.2)

SITE SPECIFIC DATA REQUIREMENTS

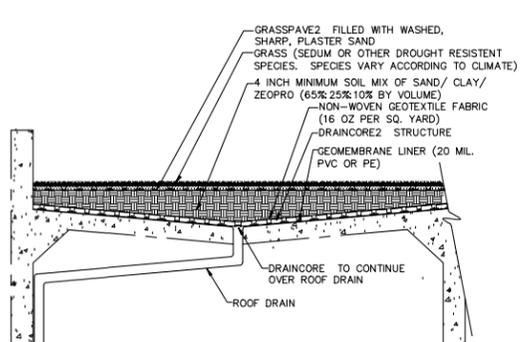
STRUCTURE ID	DATE
ENTER QUALITY FLOW RATE (MGD/IN)	-
PEAK FLOW RATE (CFS) (L/S)	-
RETURN PERIOD OF PEAK FLOW (hrs)	-
CARTRIDGE HEIGHT (SEE TABLE ABOVE)	-
NUMBER OF CARTRIDGES REQUIRED	-
CARTRIDGE FLOW RATE	-
MEDIA TYPE (PERLITE, ZPO, PSORB)	-
PIPE DATA	LE MATERIAL DIAMETER
INLET PIPE #1	-
INLET PIPE #2	-
OUTLET PIPE	-
SM ELEVATION	-
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	-
* PER ENGINEER OF RECORD	

GENERAL NOTES

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechsolutions.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET ASBESTO 45-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-0" (1524 mm) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASBESTO NIBK AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 8 INCHES (203 mm). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) (L/s) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft) (sq m).
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND ASBESTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT BEHIND ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES.
- CONTRACTOR TO PROVIDE AND INSTALL CONNECT TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES (203 mm), CONTRACTOR TO REMOVE THE 8 INCH (203 mm) OUTLET STUB AT MANHOLE CUT LINE. COLLAR HEIGHT TO BE EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



DRAINCORE2 ROOF DRAINAGE DETAIL W/ GRASSPAVE2 REINFORCEMENT

NOT TO SCALE. CHOOSE THIS PRODUCT FOR ROOF DRAINAGE W/ TURF REINFORCEMENT

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92026 COLTON, CA 92026
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FAX: 909-233-1522 OR 909-233-8282
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PRELIMINARY STORMWATER CONTROL PLAN

JOB NO. 20201305 SHEET NO. **C7.0**

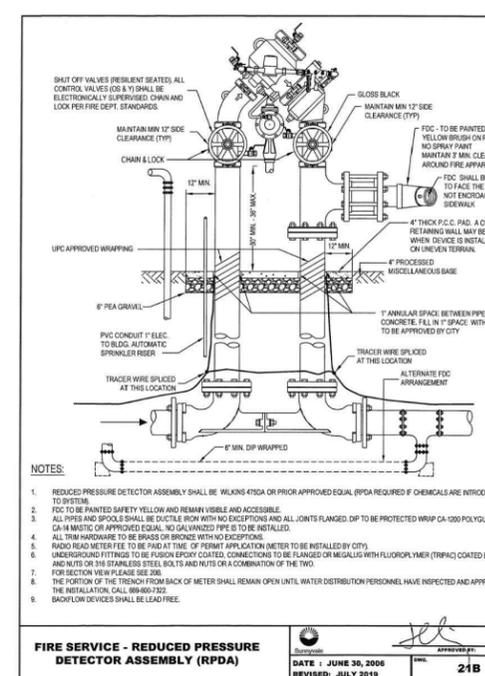
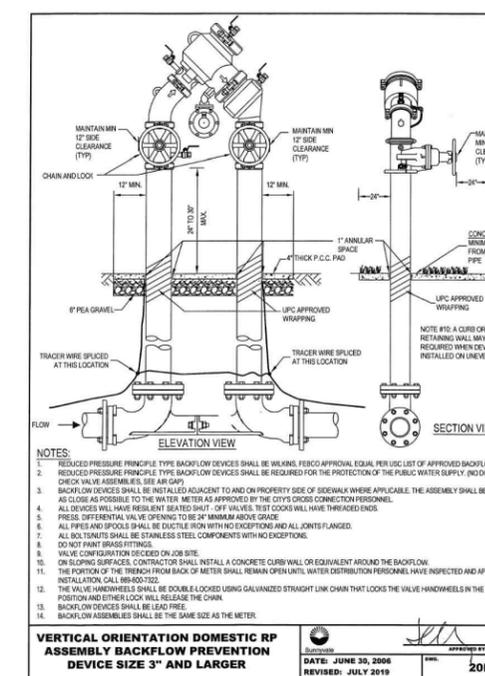
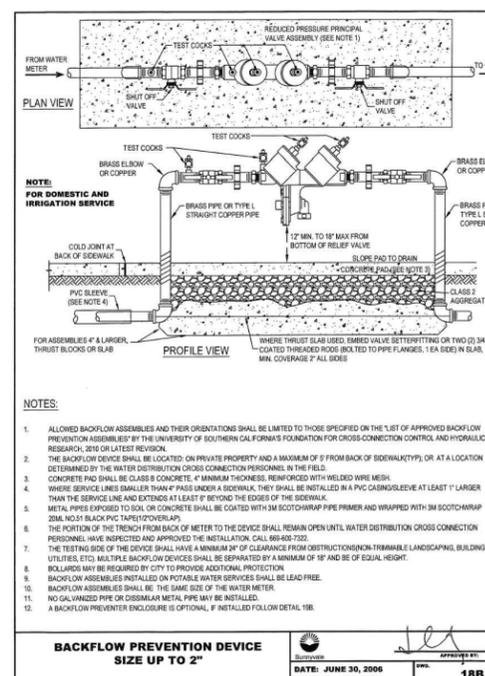
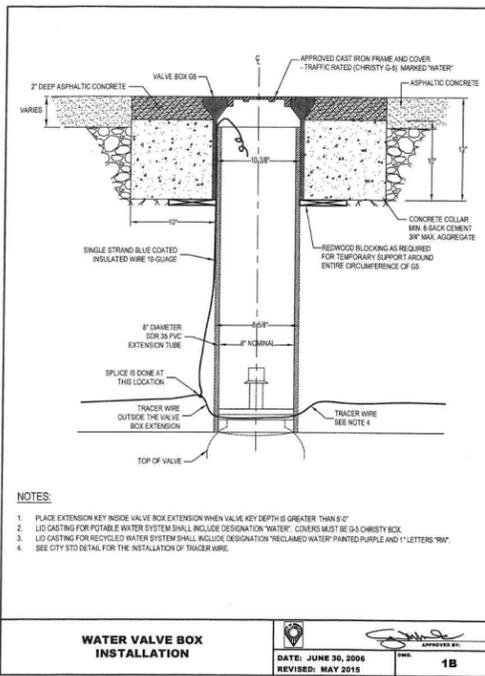
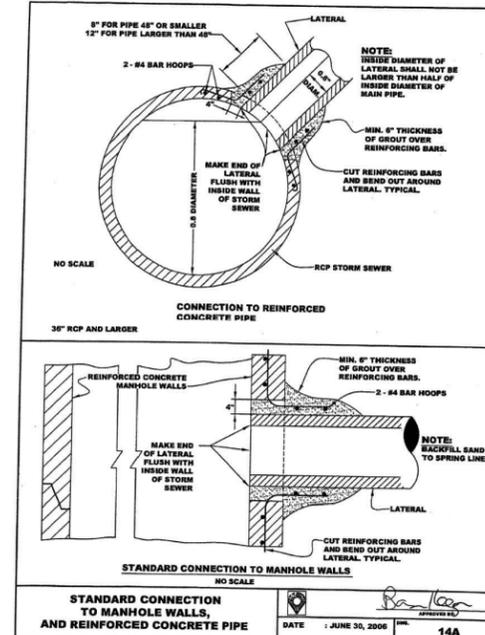
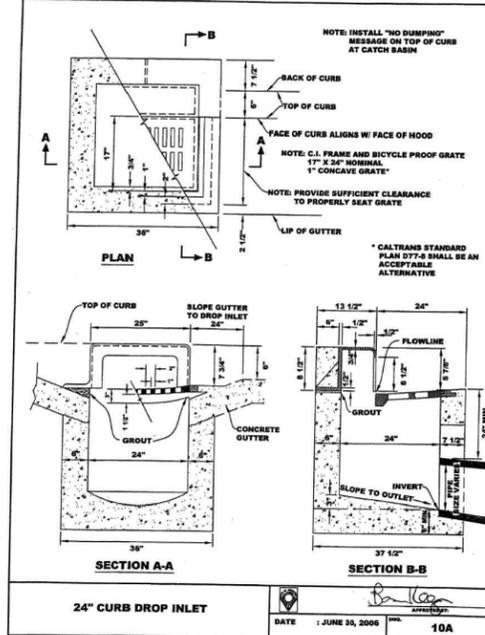
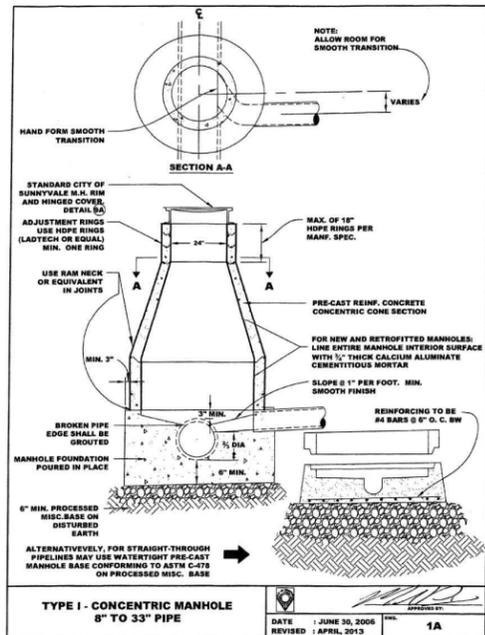
DATE: 5/23/2022

DRAWN: SMS

CHECKED: JCL

ISSUE: PLN RESUBMITTAL 15 OF 17 SHEETS

DRAWING NAME: \\bkt-sf\vol4\2020\201305_480_Math140_Sunnyvale\ENGP_S0_C7_0_SWCF.dwg
PLOT DATE: 05-23-22
PLOTTED BY: stow



GENERAL NOTES:
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

SUNNYVALE STANDARD DETAILS

JOB NO. 20201305 SHEET NO. **C8.0**

DATE: 5/23/2022

DRAWN: SMS

CHECKED: JCL

ISSUE: PLN RESUBMITTAL 16 OF 17 SHEETS

DRAWING NAME: \\bkt-sf\vol4\2020\201305_480_Mat1140_Sunnyvale\ENGP_SD\Cd_0_DETALS.dwg
PLOT DATE: 05-23-22



JOINERY
Downtown Sunnyvale

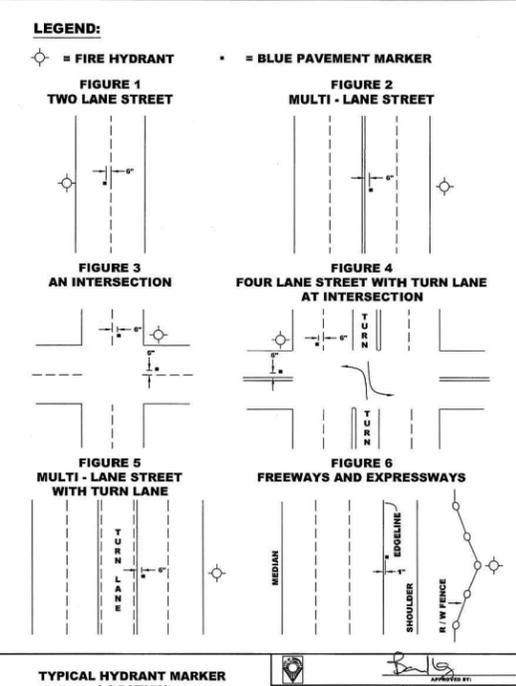
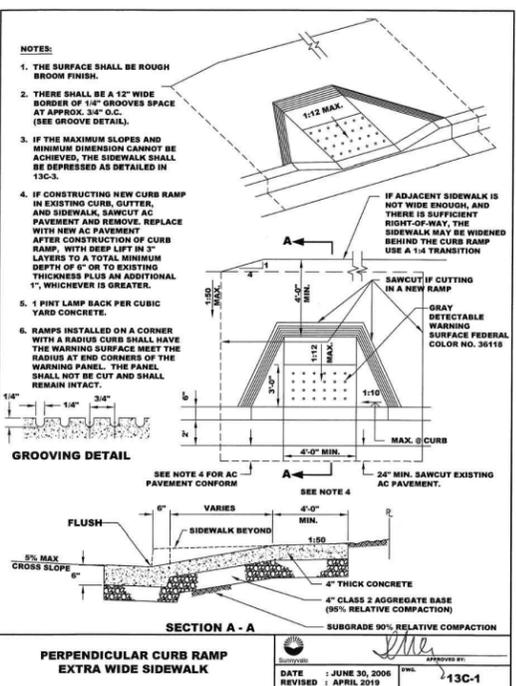
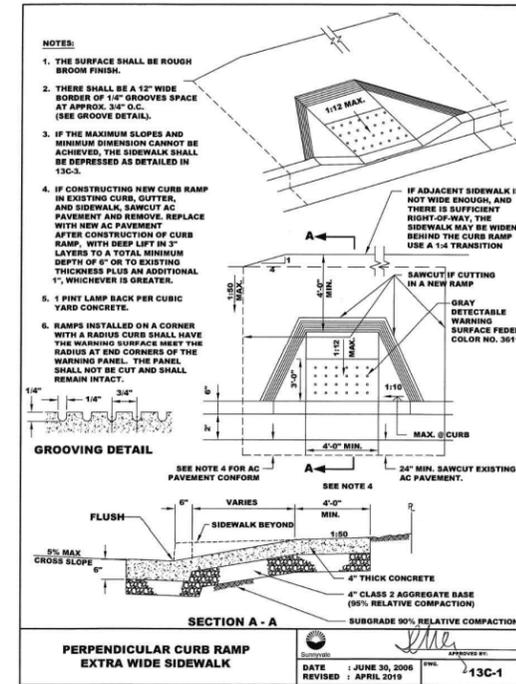
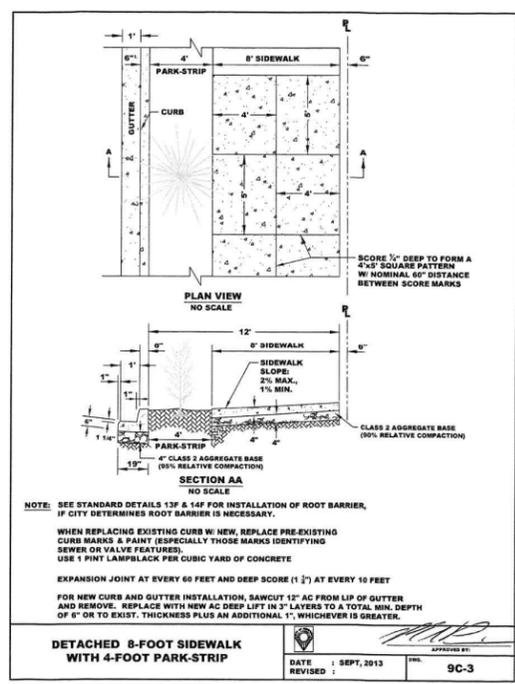
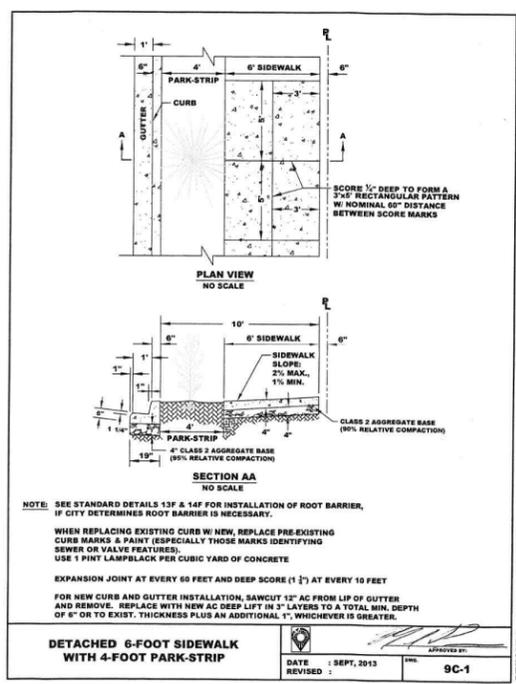
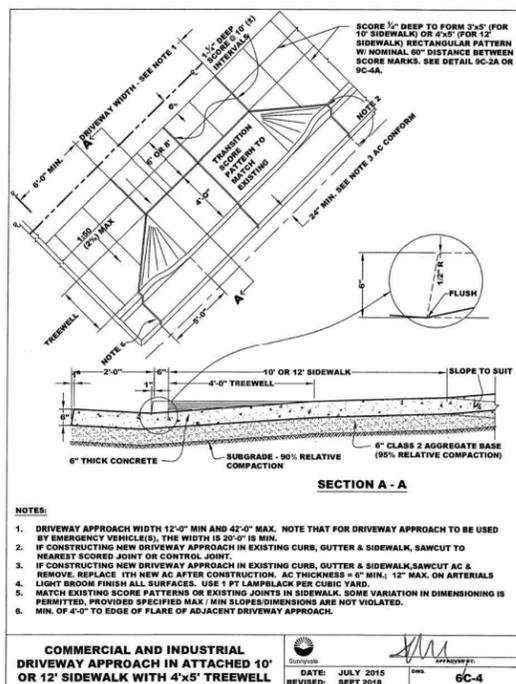


CONSTRUCTION INCORPORATED

690 Gibraltar Drive
Milpitas, California 95035
(408)942-8200 Lic. #399163



150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com



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REVISIONS			
NO.	DATE	DESCRIPTION	BY

SUNNYVALE STANDARD DETAILS

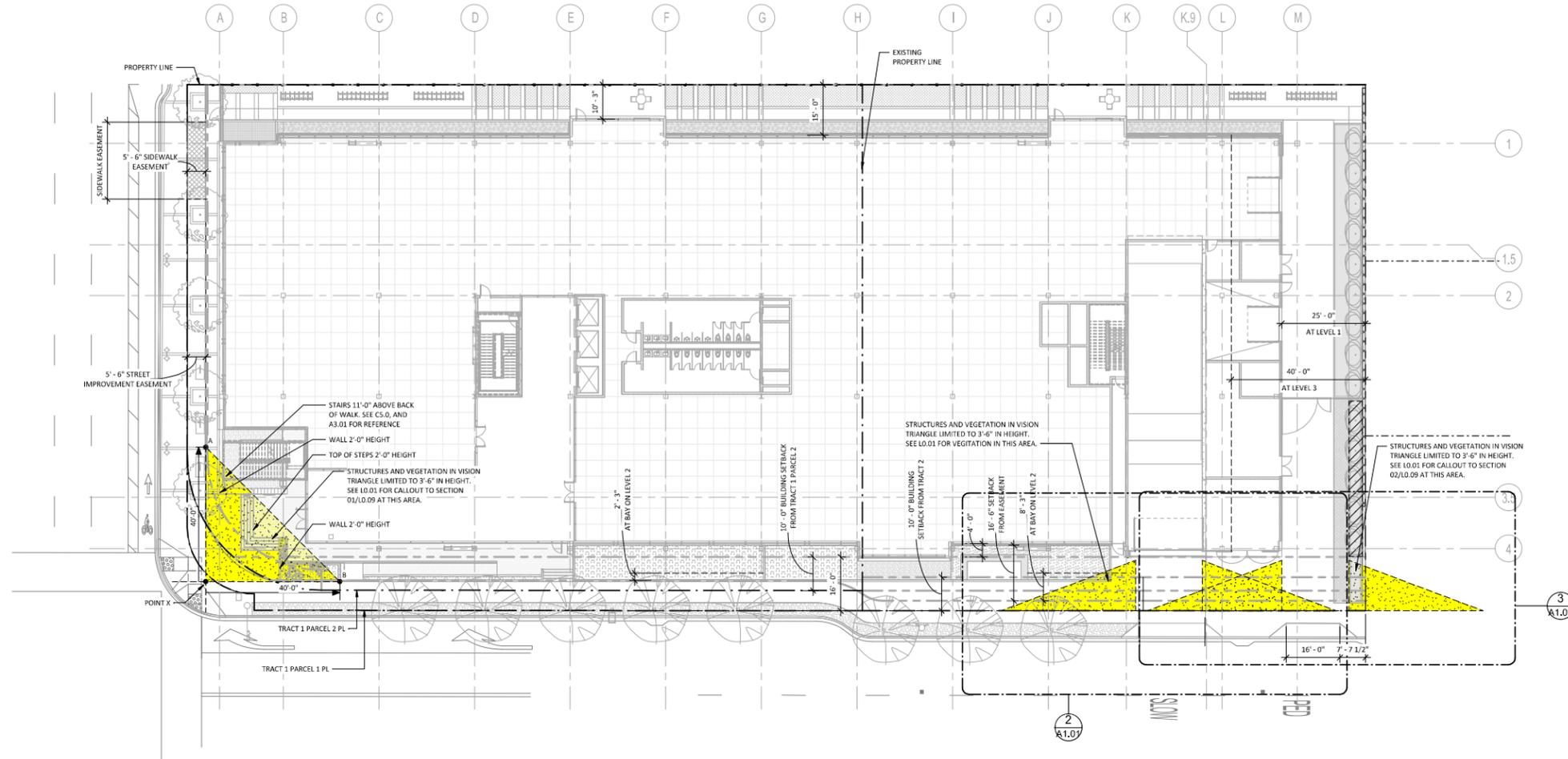
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DATE: 5/23/2022	C8.1
DRAWN: SMS	
CHECKED: JCL	
ISSUE: PLN RESUBMITTAL	
17 OF 17 SHEETS	

DRAWING NAME: \\bkt-sf\vol4\2020\201305_480_Mat1140_Sunnyvale\ENGP_SD\C8.0 DETAILS.dwg
PLOT DATE: 05-23-22

THE Minkoff GROUP
JOINERY
 Downtown Sunnyvale

DEVCON CONSTRUCTION INCORPORATED
 690 Gibraltar Drive
 Milpitas, California 95035
 (408)942-8200 Lic. #399163

PICKARD CHILTON
 980 Chapel Street
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 www.pickardchilton.com



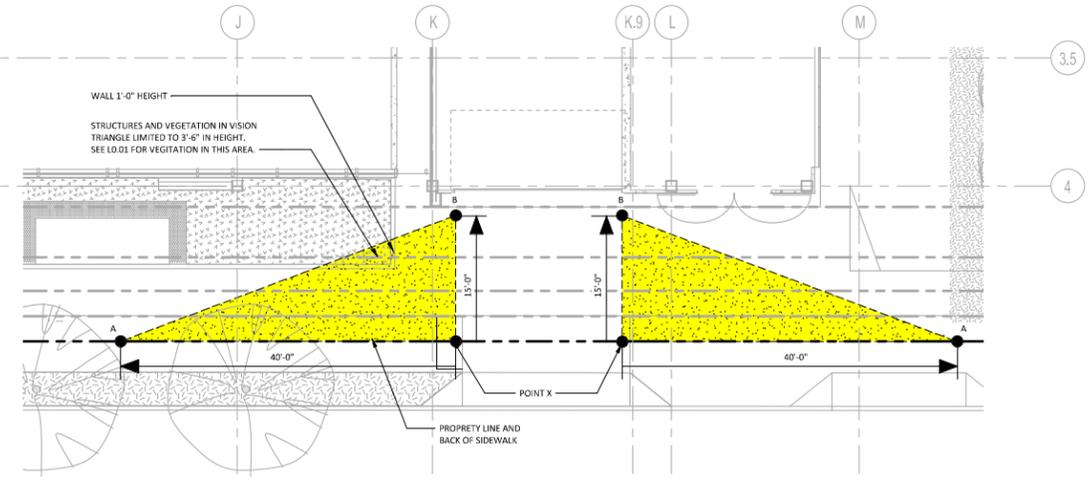
1 SITE PLAN - SETBACKS
 1/16" = 1'-0"

SITE PLAN LEGEND

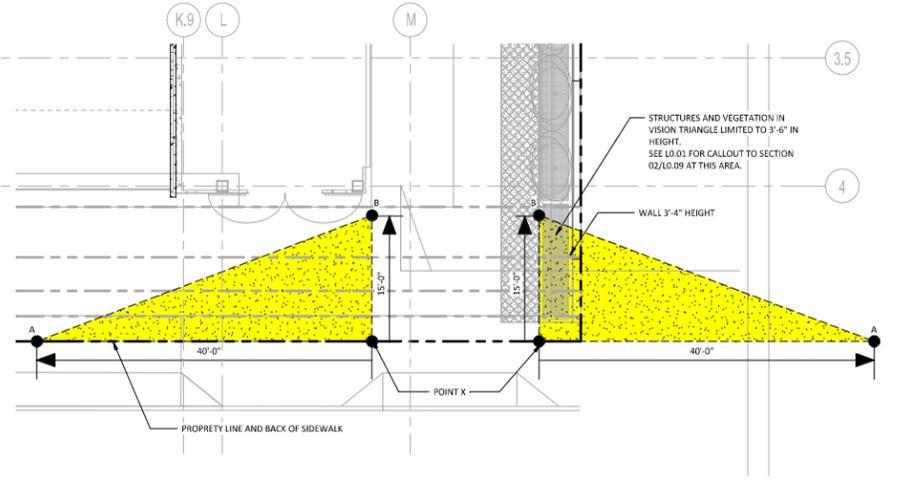
- KB KNOX BOX
- Fire Department Connection (Symbol) PER FIRE SPRINKLER DWGS
- Fire Hydrant (Symbol) PER CIVIL
- VISION TRIANGLE (Symbol)

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2 SITE PLAN - SETBACKS - PARKING GARAGE VIEW TRIANGLE
 1/8" = 1'-0"



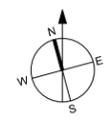
3 SITE PLAN - SETBACKS - BACK OF HOUSE DRIVEWAY
 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

ARCHITECTURAL SITE PLAN - SETBACKS

JOB NO. 21-018	SHEET NO.
DATE: 05/23/22	A1.01
DRAWN: CSP	
CHECKED: AG	
ISSUE: PLN RESUBMITTAL	OF SHEETS



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Minkoff
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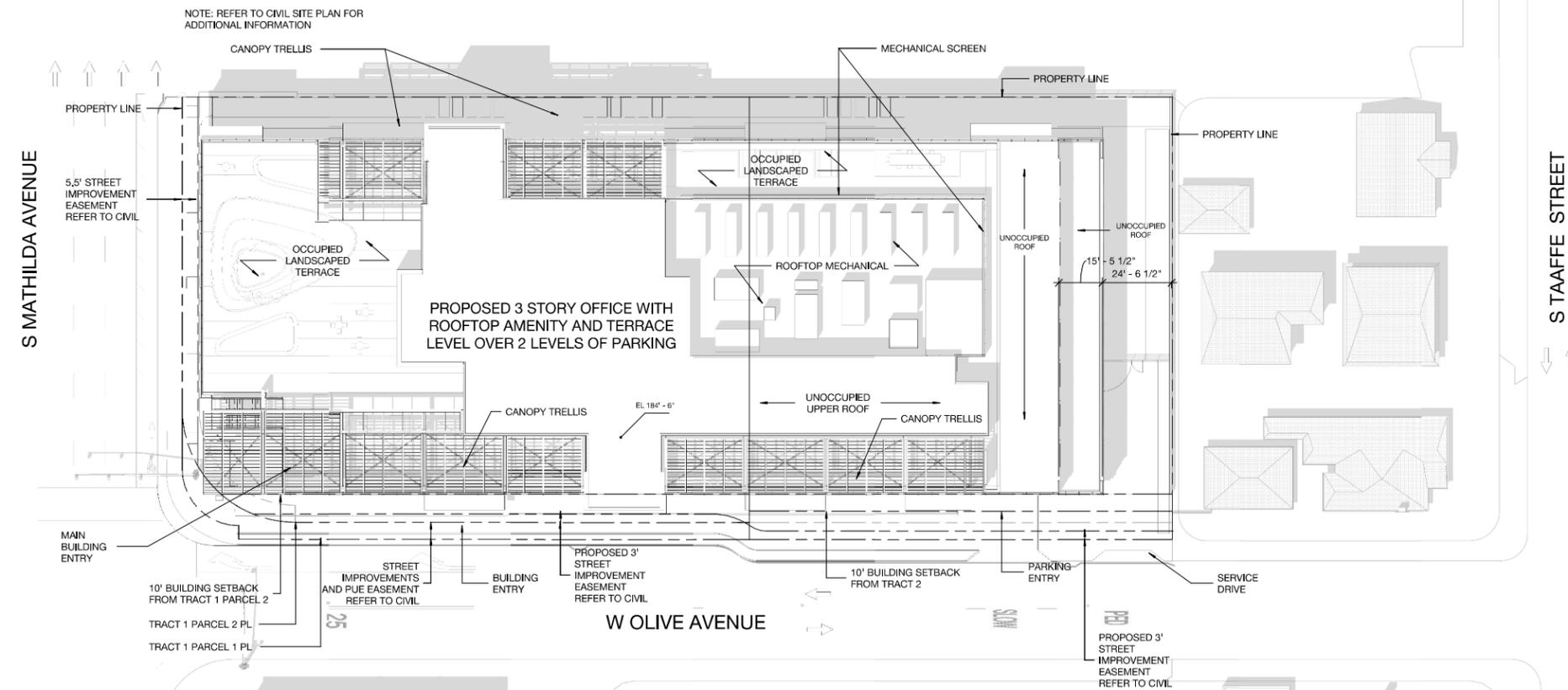
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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	4/13/21	Planning Submittal	
2	6/23/21	CEQA PLANS	
3	7/02/21	Planning Resubmittal	
4	1/19/22	Planning Resubmittal	
5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

ARCHITECTURAL SITE PLAN

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

SHEET NO.
A1.10
OF SHEETS

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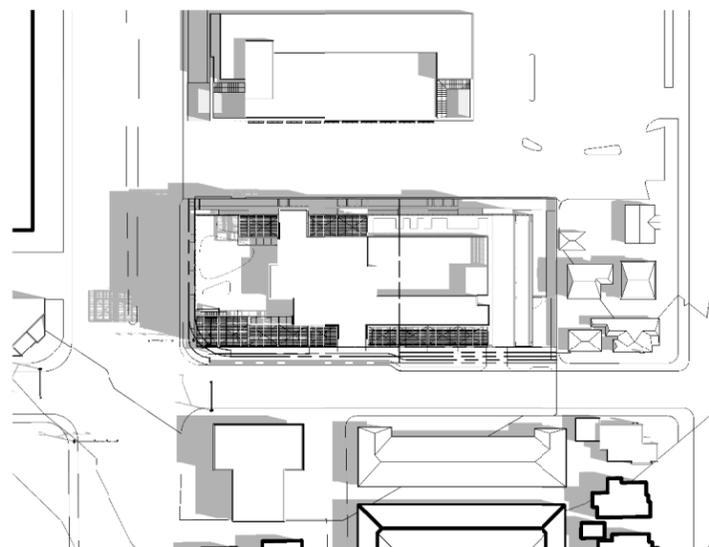
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	4/13/21	Planning Submittal	
2	6/23/21	CEQA PLANS	
3	7/02/21	Planning Resubmittal	
4	1/19/22	Planning Resubmittal	
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6	4/26/22	Planning Resubmittal	
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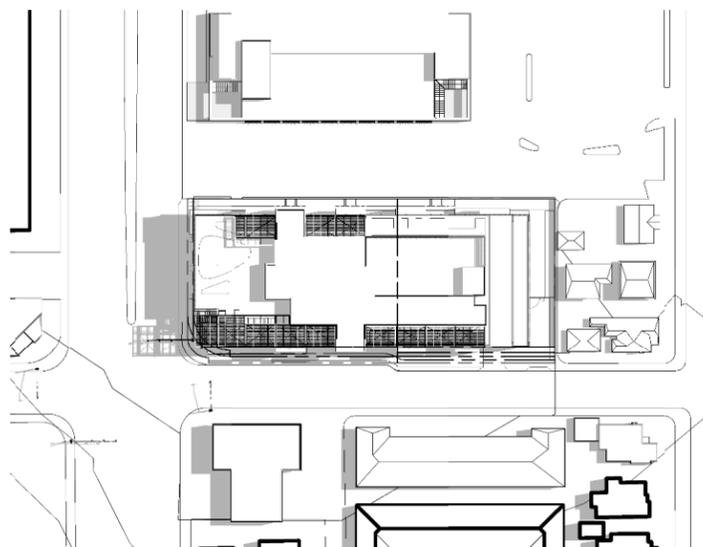
SHADOW STUDY

JOB NO. 2012
DATE: 05/23/22
DRAWN: Author
CHECKED: Checker
ISSUE: Schematic Design

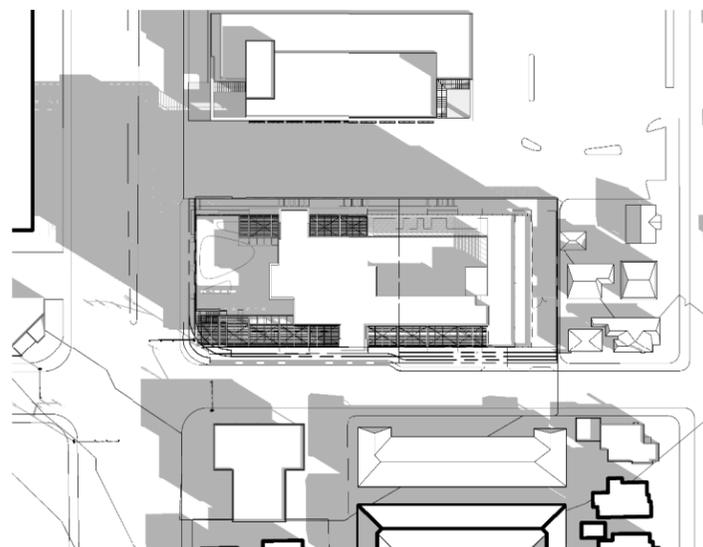
SHEET NO.
A1.20
OF SHEETS



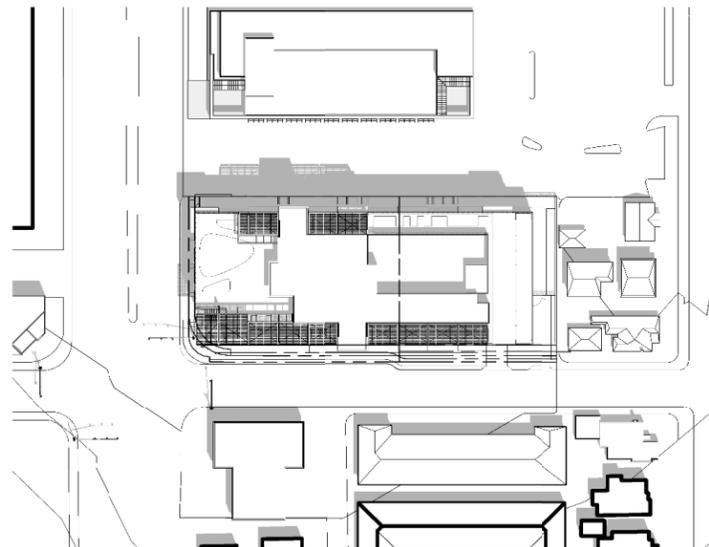
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1/8" = 1'-0"



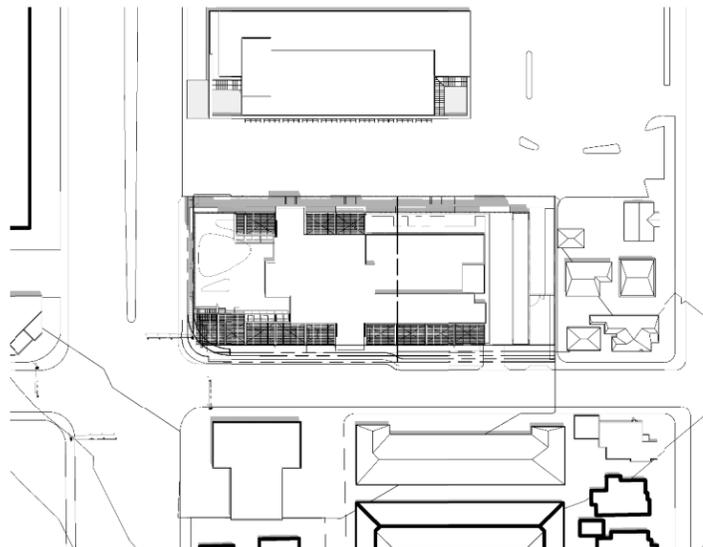
2 SUMMER 9AM
1/8" = 1'-0"



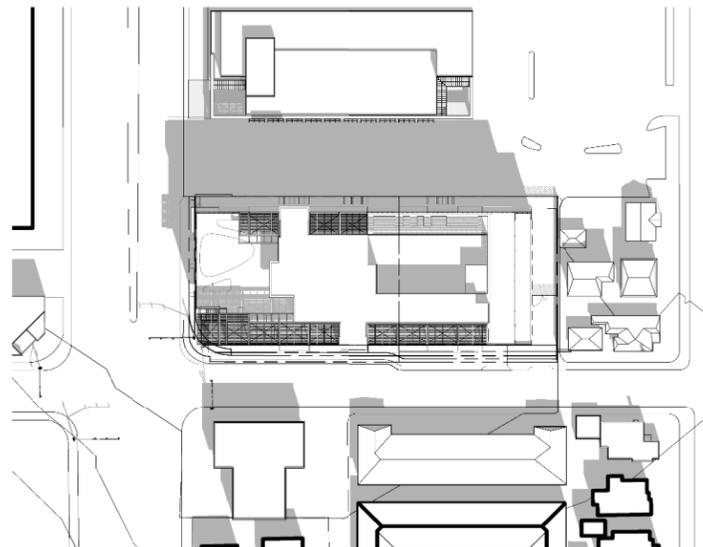
3 WINTER 9AM
1/8" = 1'-0"



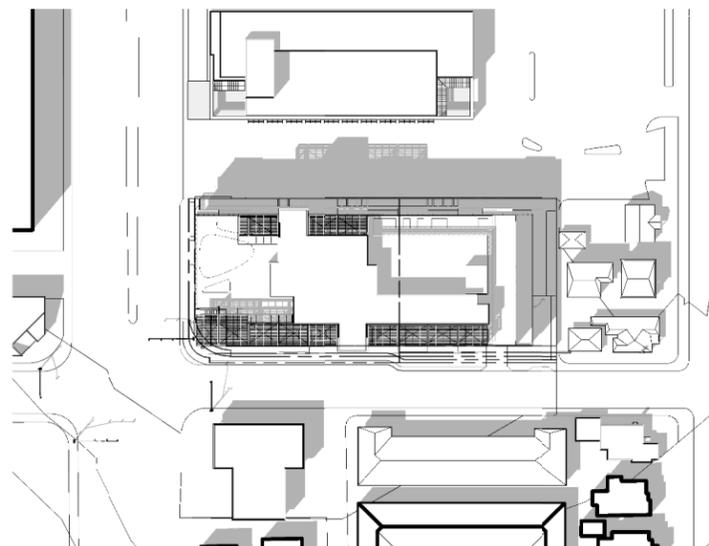
4 SPRING/FALL NOON
1/8" = 1'-0"



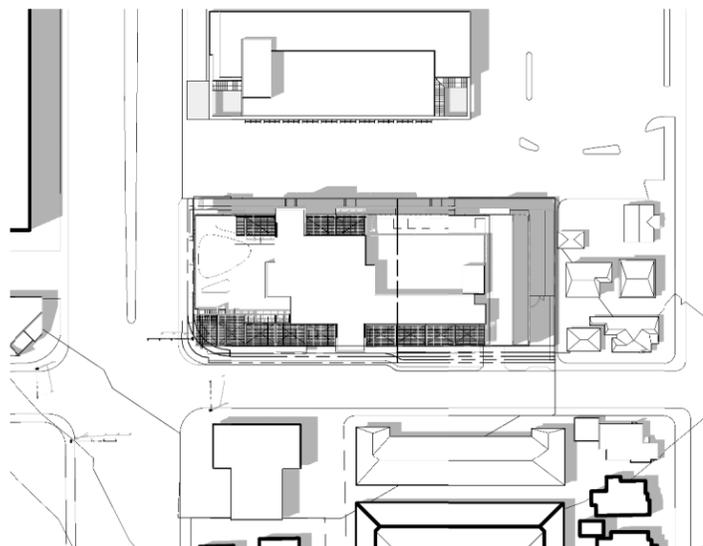
5 SUMMER NOON
1/8" = 1'-0"



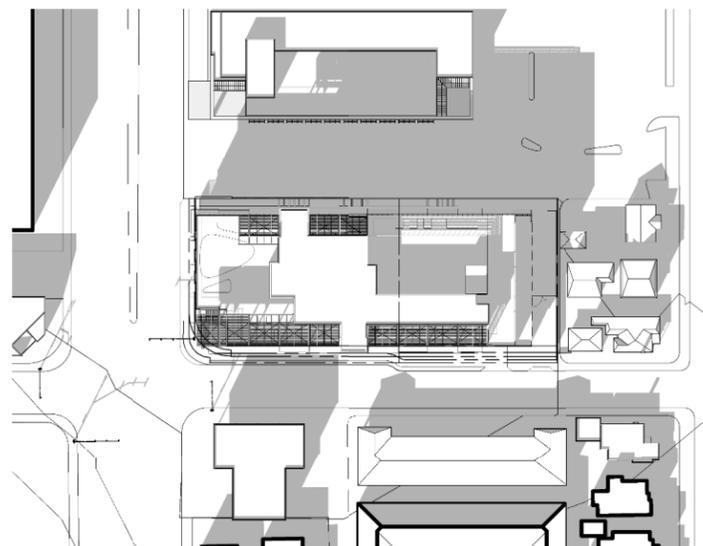
6 WINTER NOON
1/8" = 1'-0"



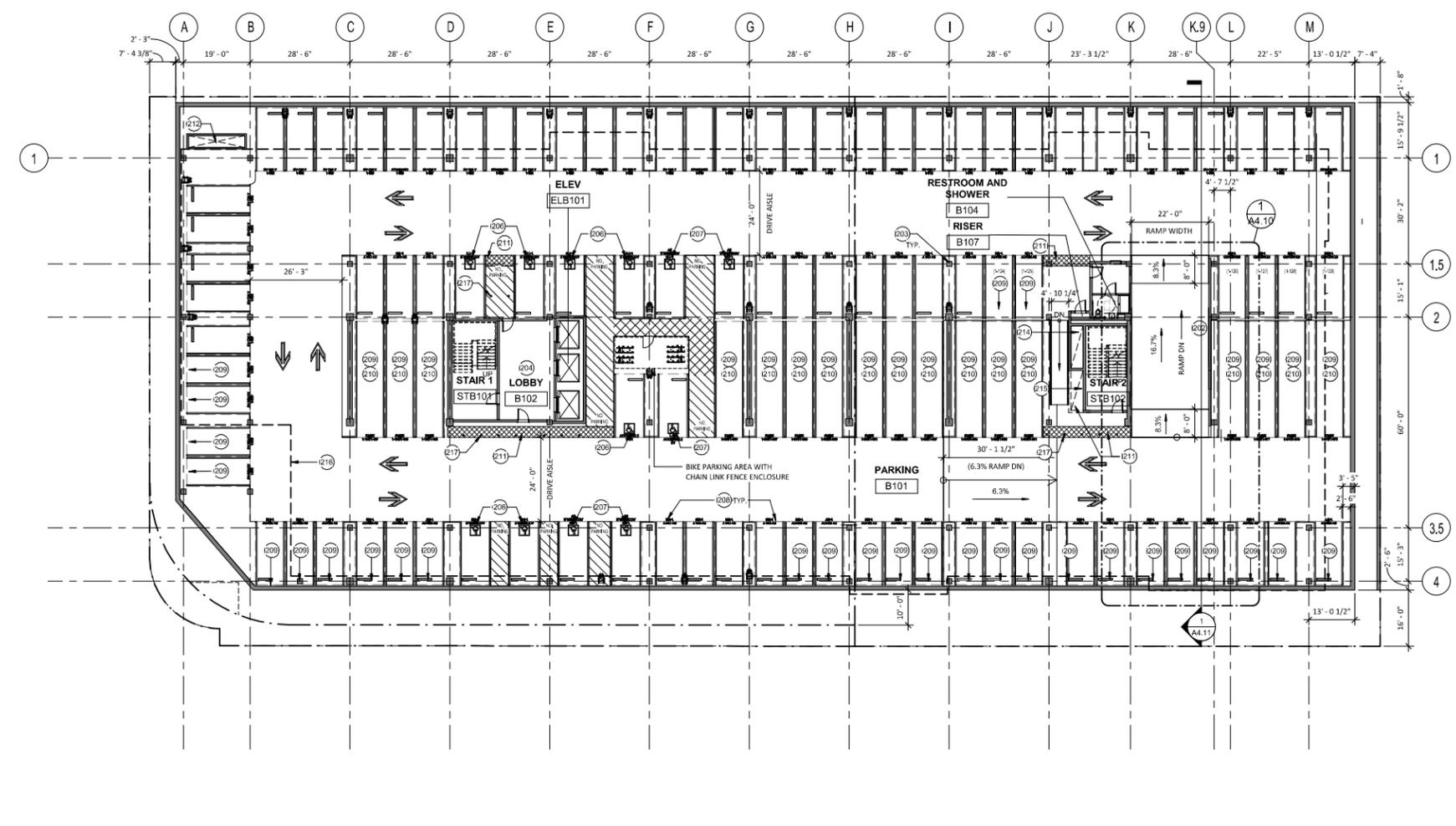
7 SPRING/FALL 3PM
1/8" = 1'-0"



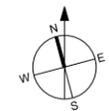
8 SUMMER 3PM
1/8" = 1'-0"



9 WINTER 3PM
1/8" = 1'-0"



1 LEVEL B1
1/16" = 1'-0"



PLAN LEGEND

- SITE BOUNDARY. REFER TO CIVIL DRAWINGS.
- [Symbol] STACKED BIKE RACK
- [Symbol] ELECTRIC VEHICLE CHARGER

NOTES:
1. THE SUNNYVALE MUNICIPAL CODE REQUIRES 35% OF THE PARKING SPACES TO BE CONDUIT READY FOR FUTURE ELECTRICAL VEHICLE CHARGERS AND ANOTHER 35% OF THE PARKING SPACES TO HAVE A LEVEL 2 ELECTRICAL VEHICLE CHARGER INSTALLED.

PARKING COUNT

LEVEL B2	
STANDARD	21
TANDEM	21
STANDARD EVCS	50
STANDARD EVCS (CAPABLE)	49
B2 PARKING COUNT =	141 SPACES
LEVEL B1	
STANDARD	15
TANDEM	17
STANDARD EVCS	40
STANDARD EVCS (CAPABLE)	45
ACCESSIBLE (STANDARD)	5
ACCESSIBLE (EVCS)	2
ACCESSIBLE (VAN)	2
ACCESSIBLE (VAN-EVCS)	1
AMBULATORY (EVCS)	2
B1 PARKING COUNT =	129 SPACES
TOTAL PARKING COUNT =	270 SPACES
PERCENTAGE EVCS =	35%
PERCENT EVCS CAPABLE =	35%

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REVISIONS

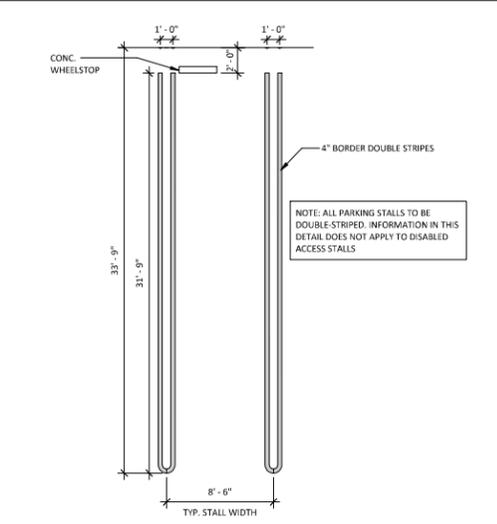
NO.	DATE	DESCRIPTION	BY

LEVEL B1 PLAN

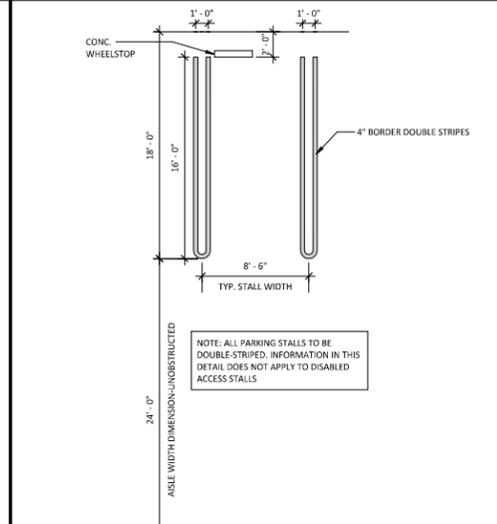
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DATE: 05/23/22	A2.01
DRAWN: MZ	OF SHEETS
CHECKED: AG	
ISSUE: PLN RESUBMITTAL	

PLAN KEYNOTES

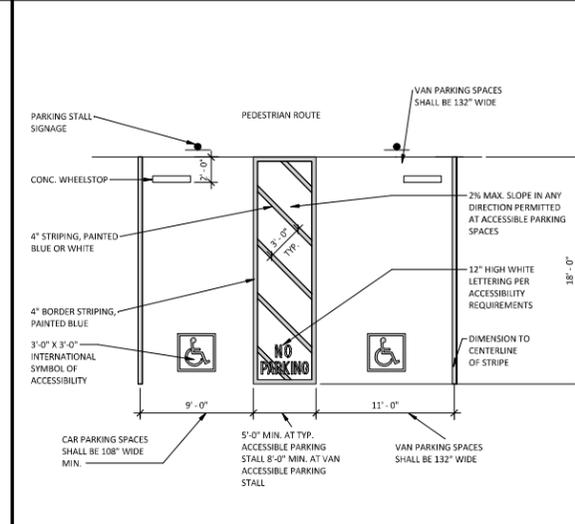
- (207) VEHICLE ENTRY
- (208) VEHICLE RAMP
- (209) CONCRETE COLUMN
- (204) ELEVATOR LOBBY
- (206) ELEVATOR MACHINE ROOM
- (205) ACCESSIBLE PARKING STALL
- (203) ACCESSIBLE EV CHARGING STATION
- (208) ELECTRIC VEHICLE (EV) CHARGING STATION
- (209) PRE-WIRE FOR ELECTRIC VEHICLE CHARGING STATION
- (210) TANDEM PARKING STALL
- (211) TRUNCATED DOMES
- (213) FRESH AIR SUPPLY SHAFT FROM GRADE LEVEL
- (214) GARAGE EXHAUST SHAFT OPENING IN CEILING OF LEVEL B2
- (215) GARAGE EXHAUST SHAFT EXTENDS TO CEILING OF LEVEL B2
- (216) GARAGE EXHAUST SHAFT OPEN IN CEILING OF LEVEL B1
- (218) HEAVY DASHED LINE REPRESENTS OUTLINE OF OFFICE BUILDING ABOVE
- (217) BOLLARDS



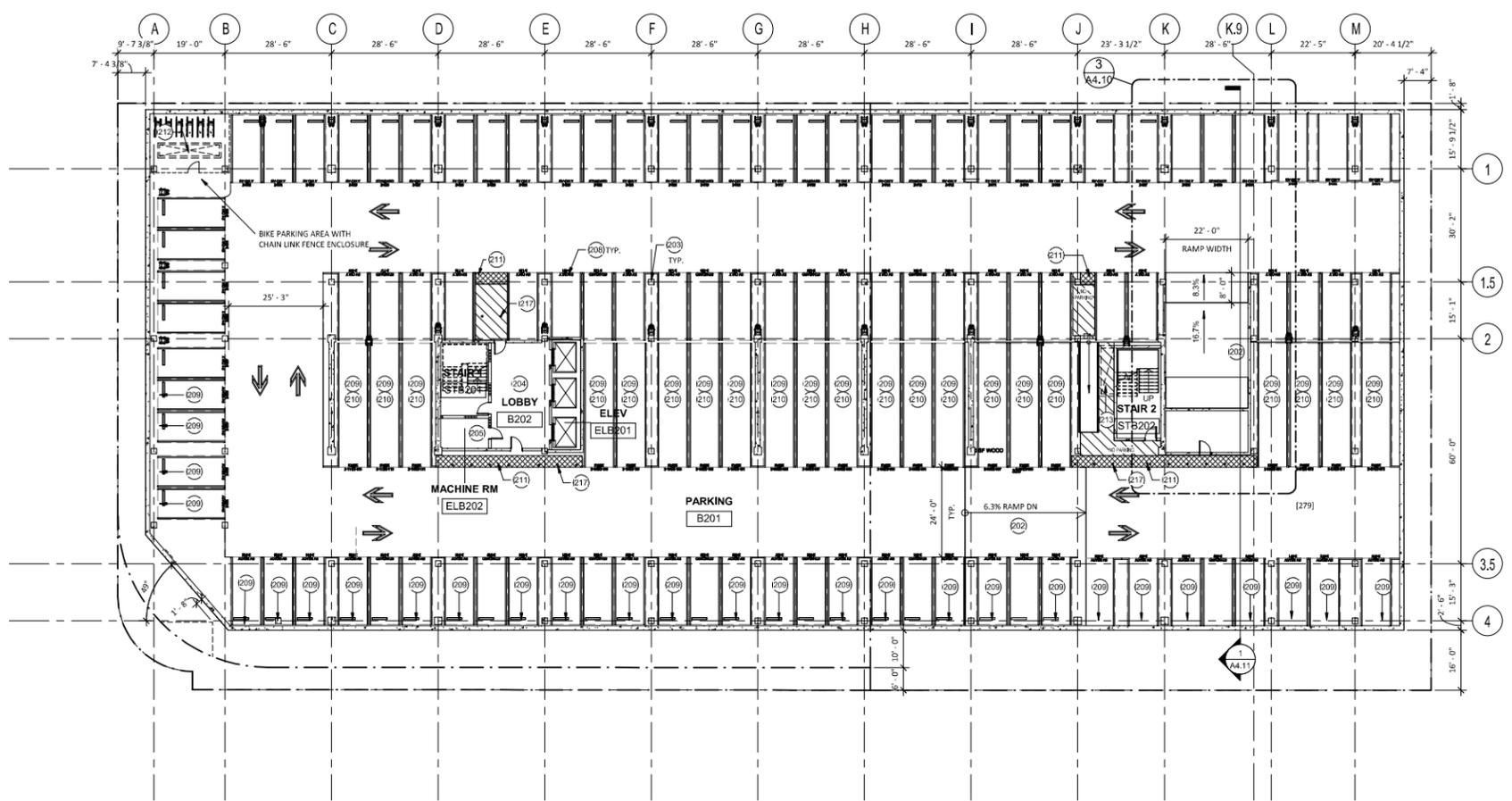
C TANDUM PARKING STALL DIAGRAM
3/16" = 1'-0"



B STANDARD PARKING STALL DIAGRAM
3/16" = 1'-0"



A ADA PARKING STALL DIAGRAM
3/16" = 1'-0"



PLAN LEGEND

- SITE BOUNDARY. REFER TO CIVIL DRAWINGS.
- STACKED BIKE RACK
- ELECTRIC VEHICLE CHARGER

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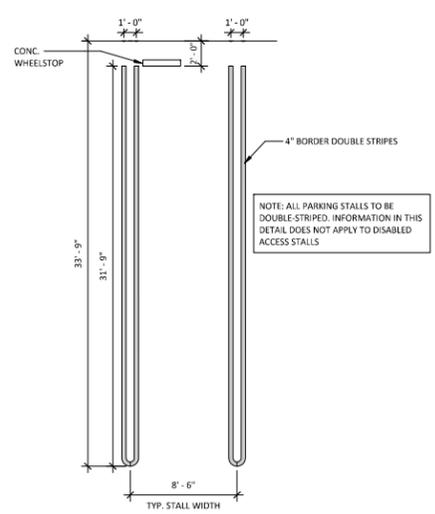
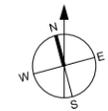
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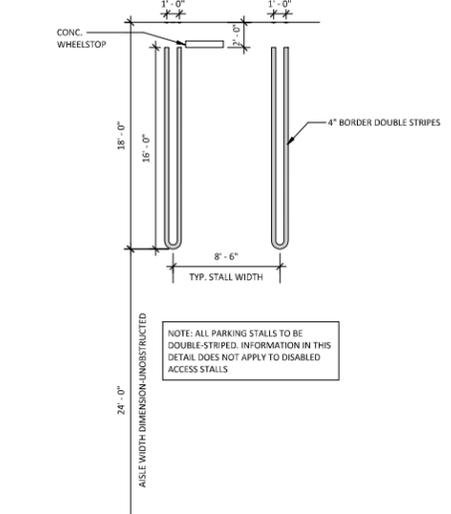
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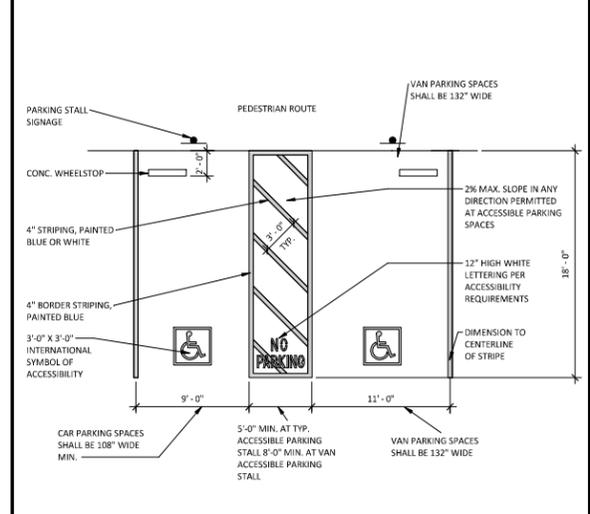
1 LEVEL B2
1/16" = 1'-0"



C TANDUM PARKING STALL DIAGRAM
3/16" = 1'-0"



B STANDARD PARKING STALL DIAGRAM
3/16" = 1'-0"



A ADA PARKING STALL DIAGRAM
3/16" = 1'-0"

PLAN KEYNOTES

- (201) VEHICLE ENTRY
- (202) VEHICLE RAMP
- (203) CONCRETE COLUMN
- (204) ELEVATOR LOBBY
- (205) ELEVATOR MACHINE ROOM
- (206) ACCESSIBLE PARKING STALL
- (207) ACCESSIBLE EV CHARGING STATION
- (208) ELECTRIC VEHICLE (EV) CHARGING STATION
- (209) PRE-WIRE FOR ELECTRIC VEHICLE CHARGING STATION
- (210) TANDUM PARKING STALL
- (211) TRUNCATED DOMES
- (212) FRESH AIR SUPPLY SHAFT FROM GRADE LEVEL
- (213) GARAGE EXHAUST SHAFT OPENING IN CEILING OF LEVEL B2
- (214) GARAGE EXHAUST SHAFT EXTENDS TO CEILING OF LEVEL B2
- (215) GARAGE EXHAUST SHAFT OPEN IN CEILING OF LEVEL B1
- (216) HEAVY DASHED LINE REPRESENTS OUTLINE OF OFFICE BUILDING ABOVE
- (217) BOLLARDS

REVISIONS

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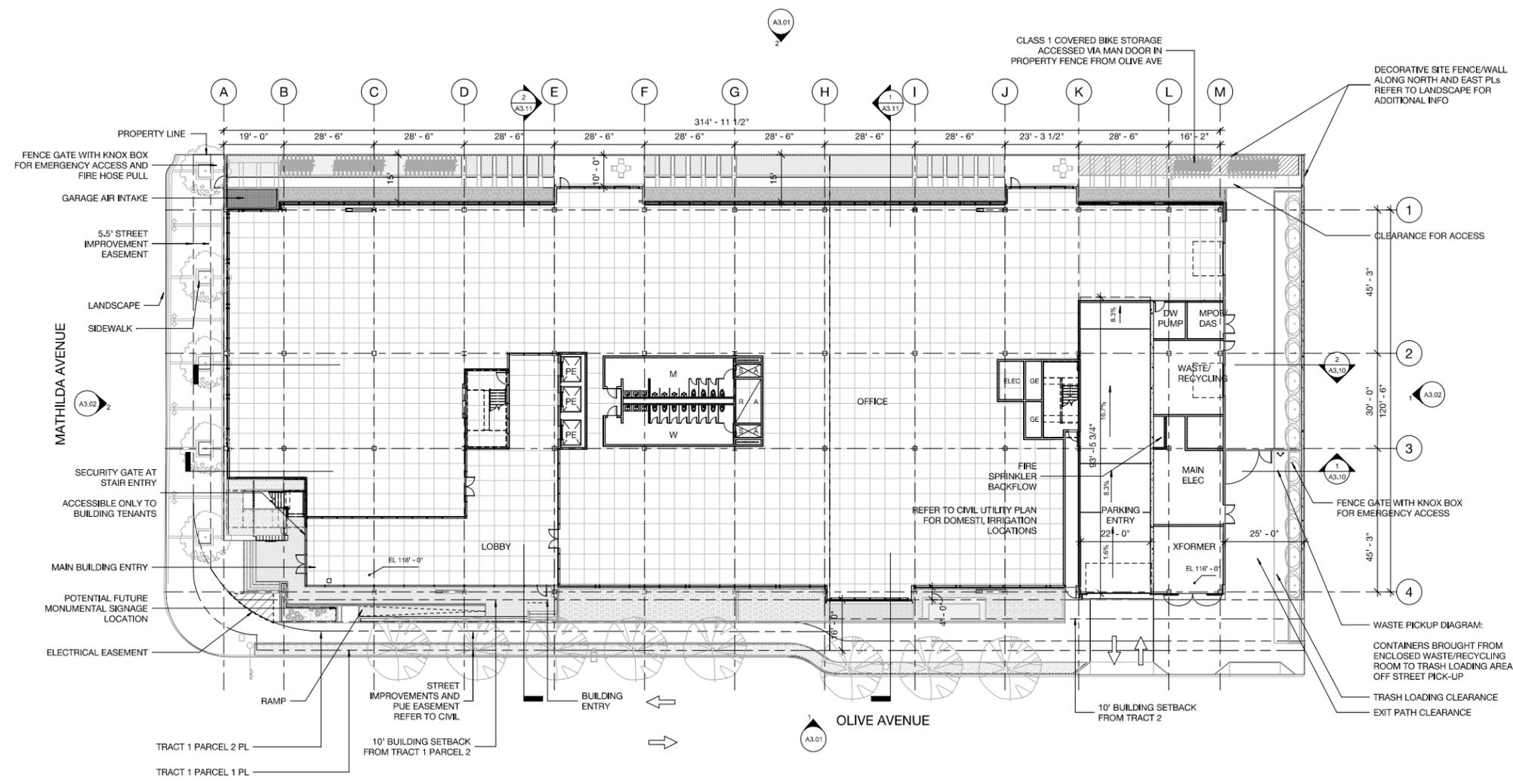
LEVEL B2 PLAN

JOB NO. 21-018	SHEET NO.
DATE: 05/23/22	A2.02
DRAWN: CSP	OF SHEETS
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ISSUE: PLN RESUBMITTAL	



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- NOTES
- REFER TO LANDSCAPE AND CIVIL FOR ADDITIONAL SITE DESIGN INFORMATION



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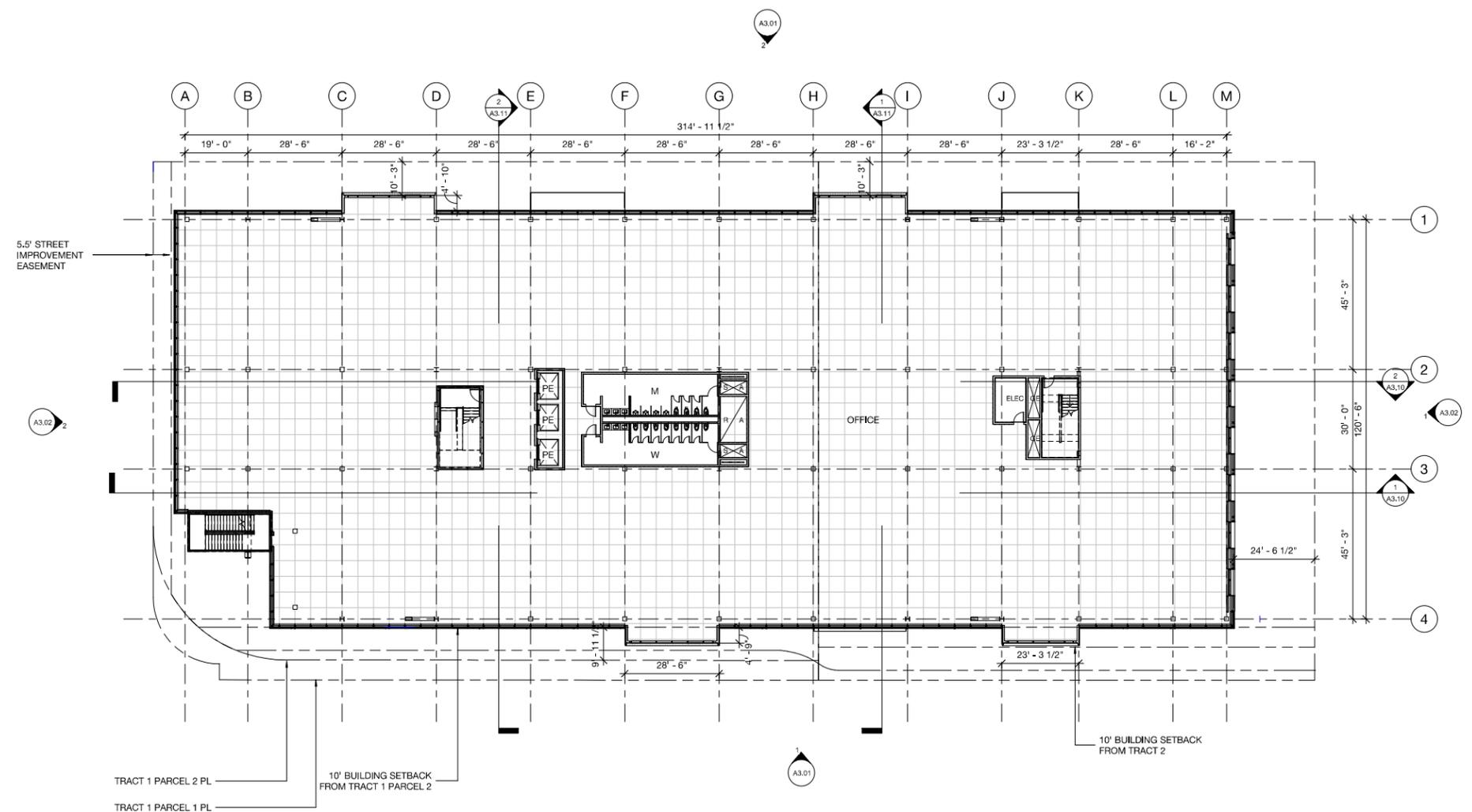
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NO.	DATE	DESCRIPTION	BY
1	4/13/21	Planning Submittal	
2	6/23/21	CEQA PLANS	
3	7/02/21	Planning Resubmittal	
4	1/19/22	Planning Resubmittal	
5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

LEVEL 1 PLAN

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	A2.11
DRAWN: Author	
CHECKED: Checker	
ISSUE: Schematic Design	OF SHEETS



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5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

LEVEL 2 PLAN

JOB NO. 2012	SHEET NO.
DATE: 05/23/22	A2.12
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ISSUE: Schematic Design	

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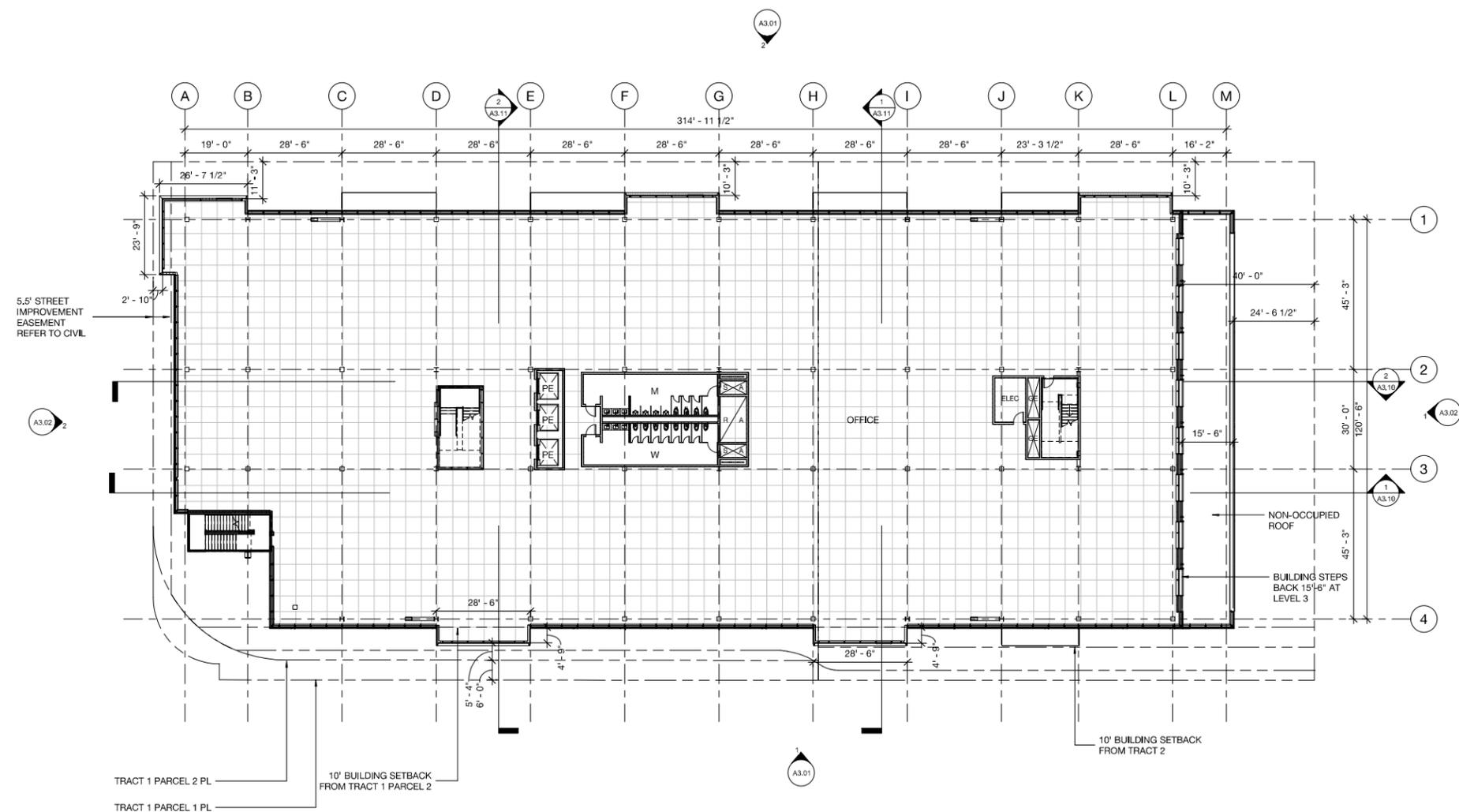
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7	5/23/22	Planning Resubmittal	

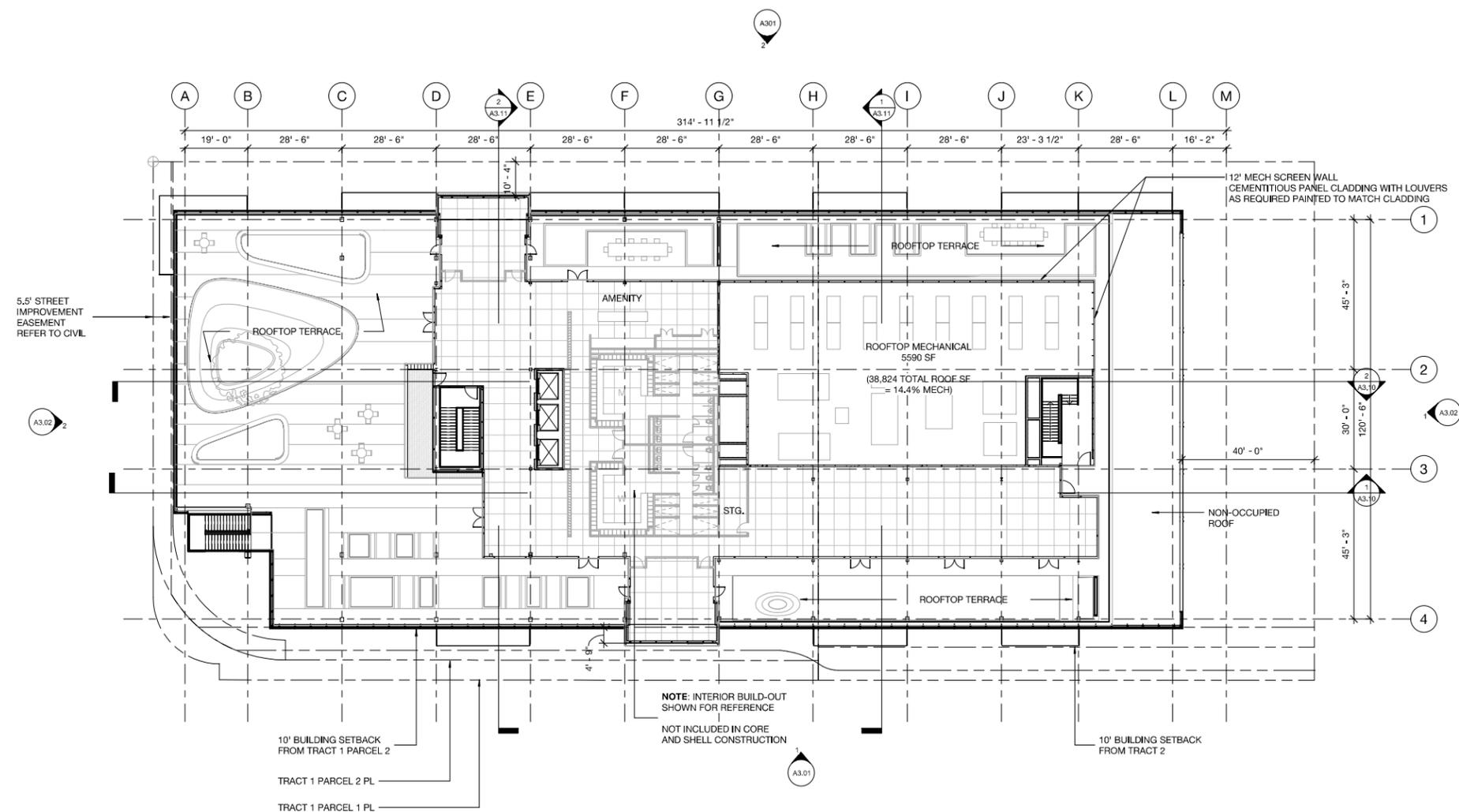
LEVEL 3 PLAN

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- NOTES**
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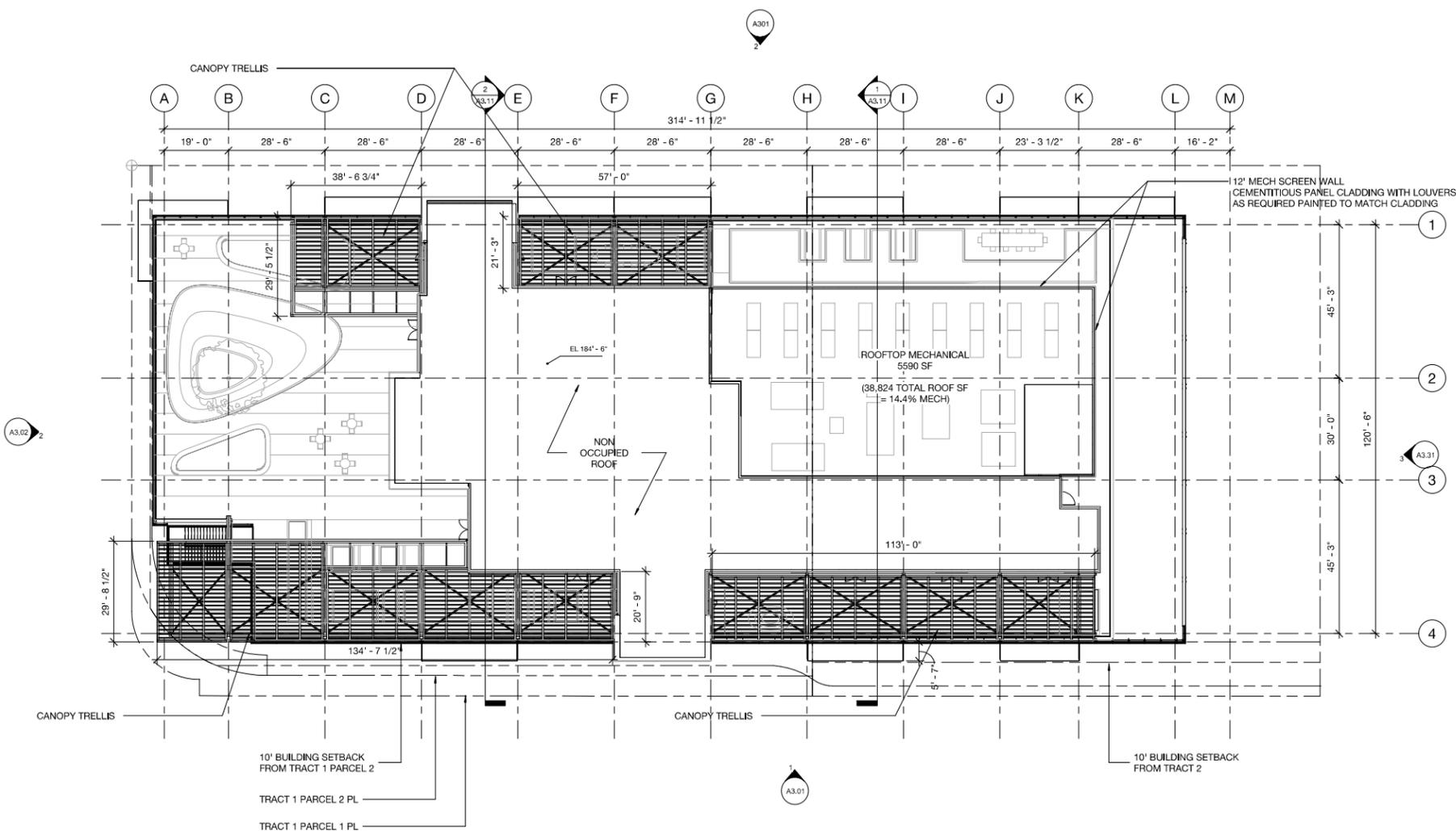
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7	5/23/22	Planning Resubmittal	

LEVEL 4 PLAN

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CHECKED: Checker	SHEETS
ISSUE: Schematic Design	

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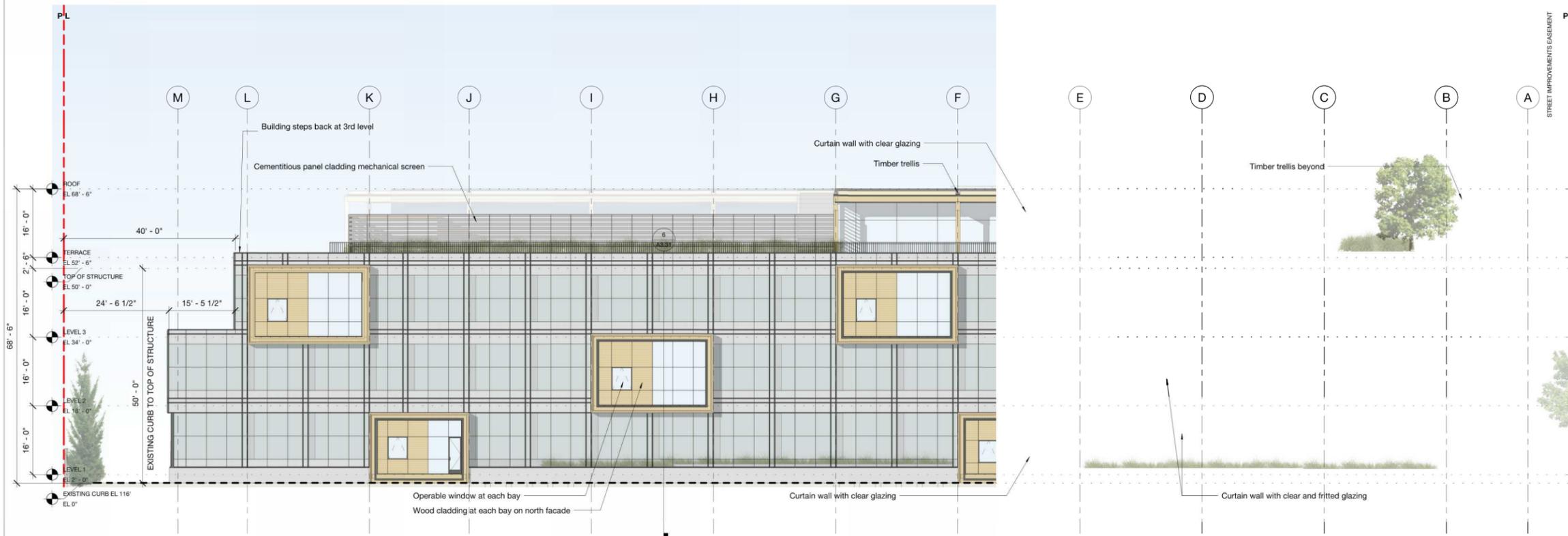
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ROOF PLAN

JOB NO. 2012
DATE: 05/23/22
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ISSUE: Schematic Design

SHEET NO.
A2.15
OF SHEETS



2 NORTH ELEVATION
3/32" = 1'-0"



1 SOUTH (OLIVE ST) ELEVATION
3/32" = 1'-0"

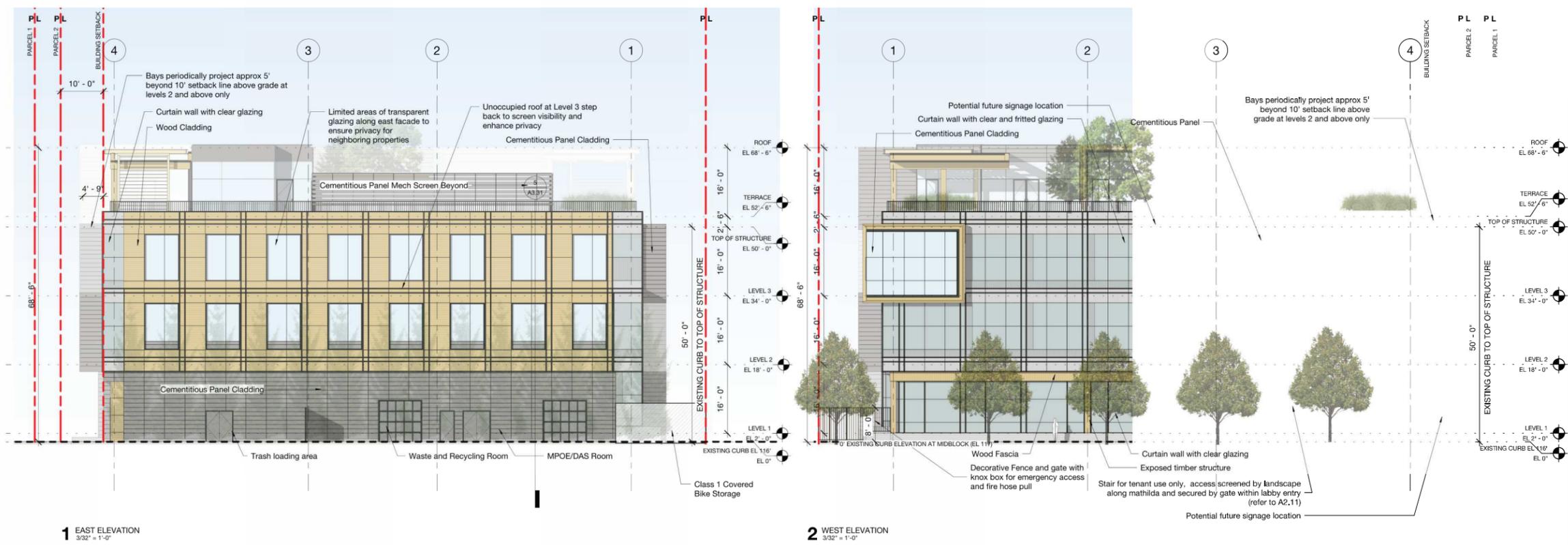
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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

N/S BUILDING ELEVATIONS

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

E/W BUILDING ELEVATIONS

JOB NO. 2012	SHEET NO.
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ISSUE: Schematic Design	
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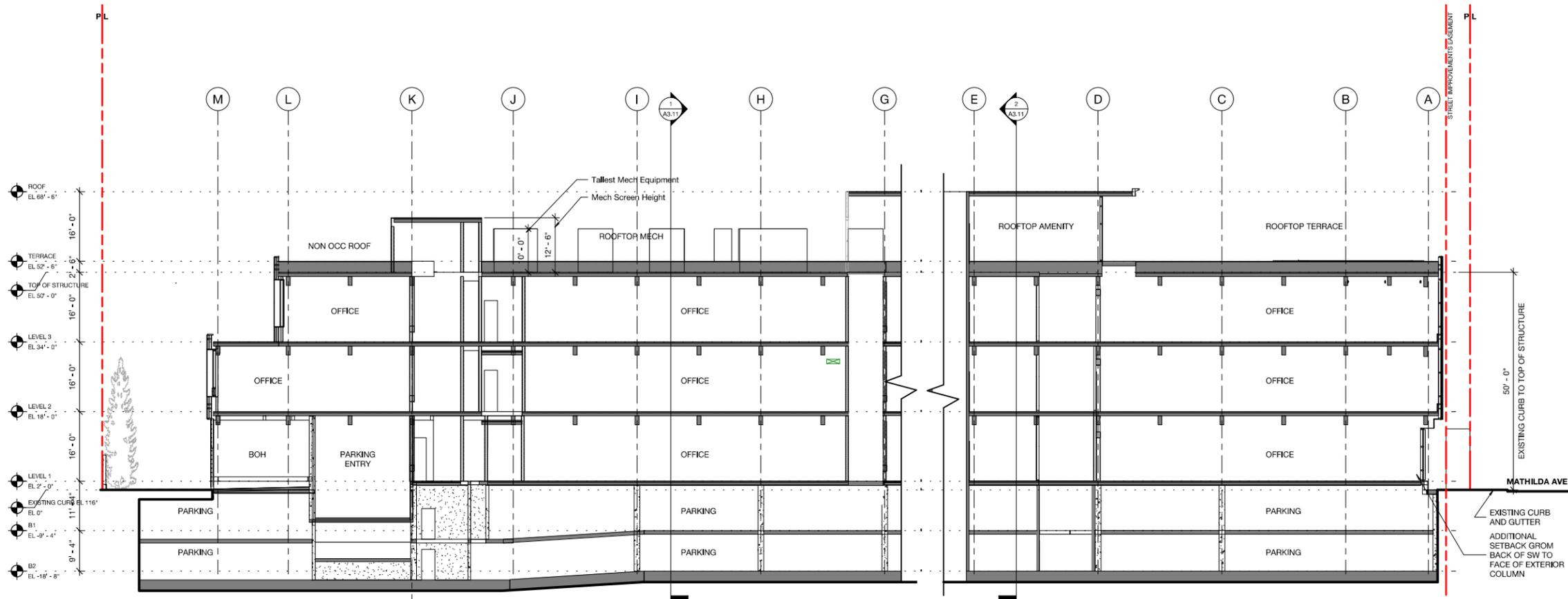
Downtown Sunnyvale



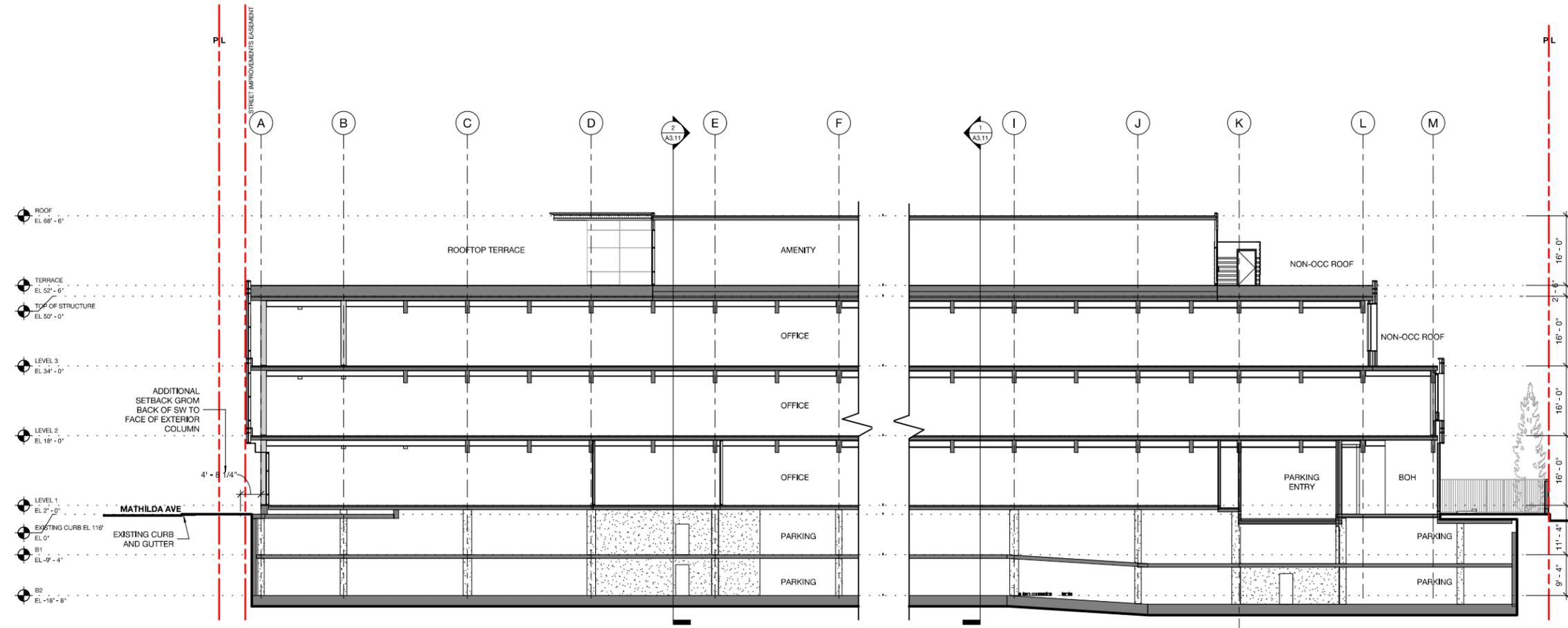
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2 LONGITUDINAL SECTION SOUTH FACING
3/32" = 1'-0"



1 LONGITUDINAL SECTION NORTH FACING
3/32" = 1'-0"

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N/S BUILDING SECTIONS

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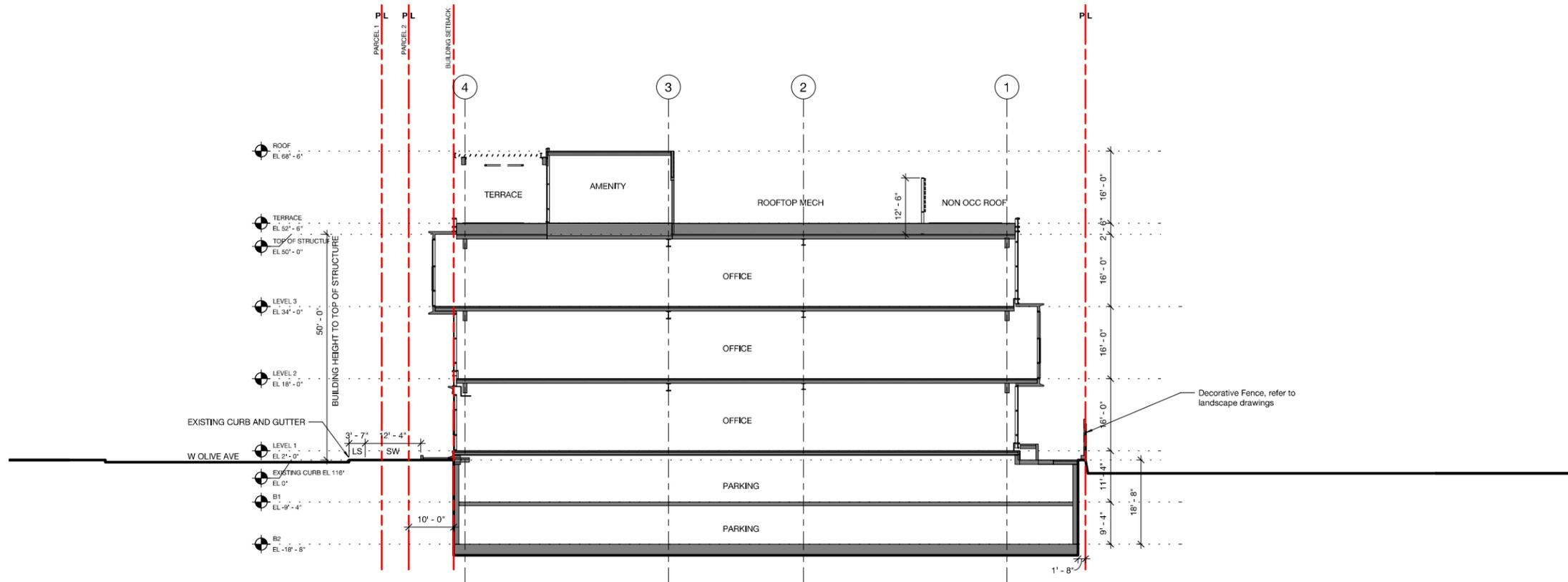
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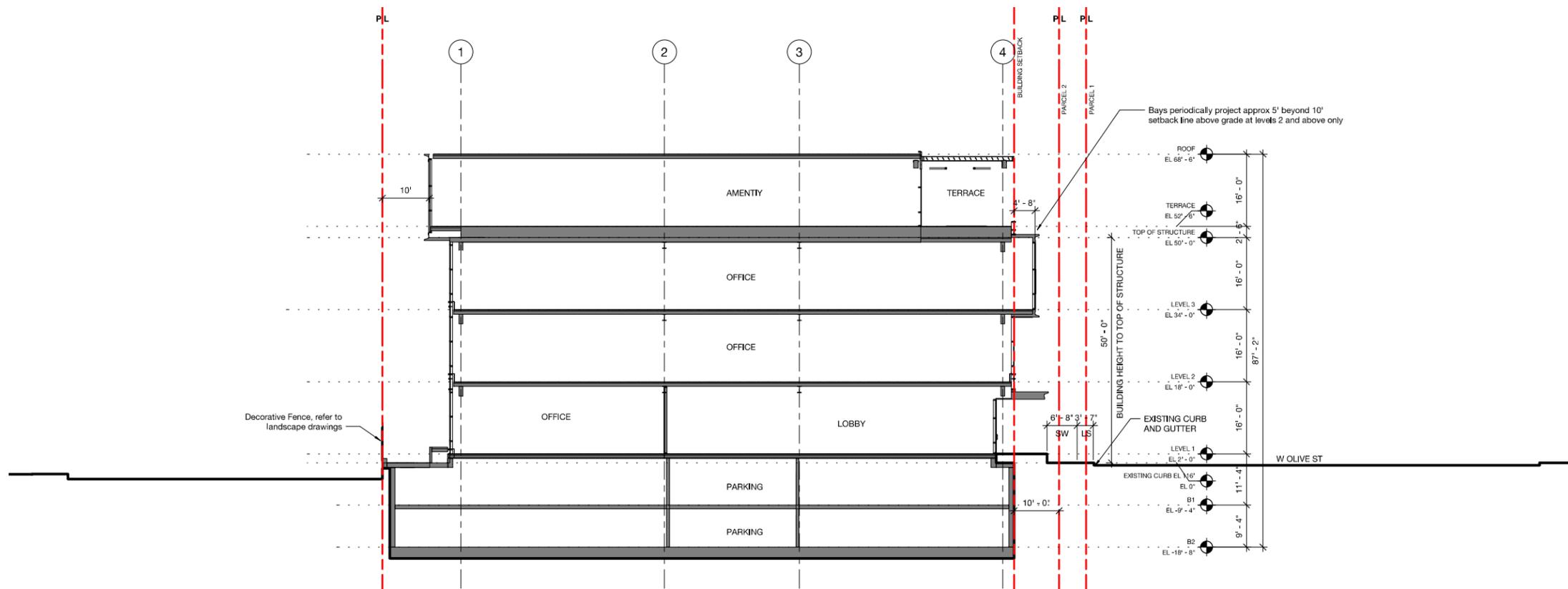
E/W BUILDING SECTIONS

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A3.11
OF SHEETS

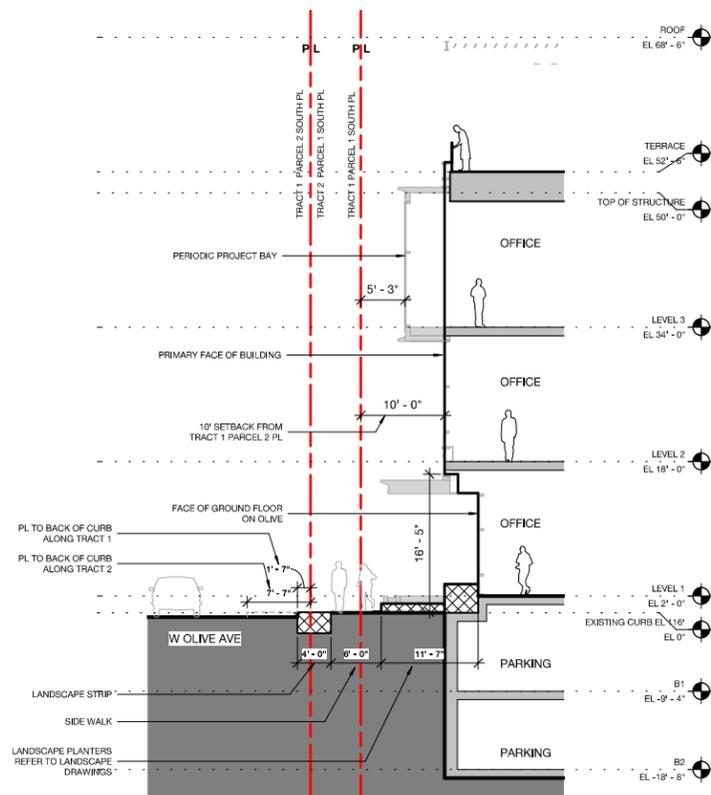


1 TRANSVERSE SECTION FACING WEST -
Dependent 1
3/32" = 1'-0"

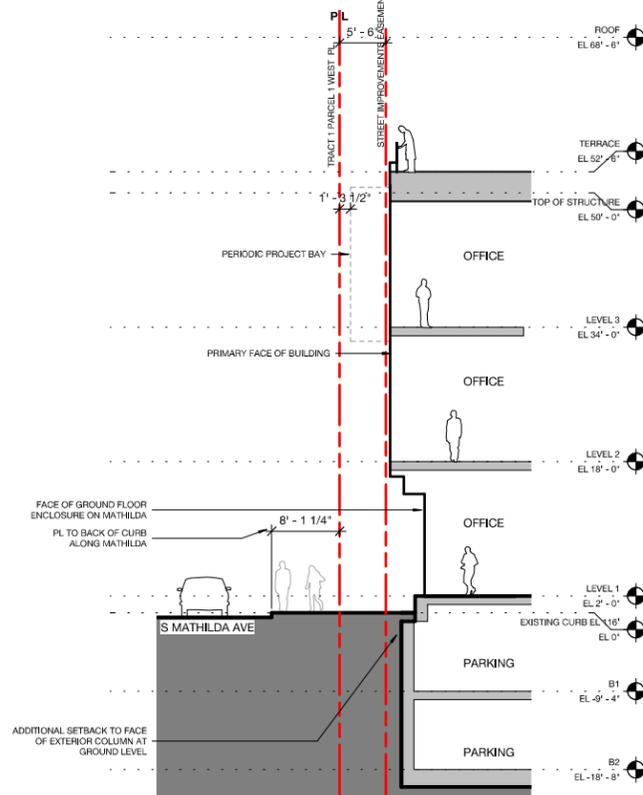


2 TRANSVERSE SECTION FACING EAST -
Dependent 1
3/32" = 1'-0"

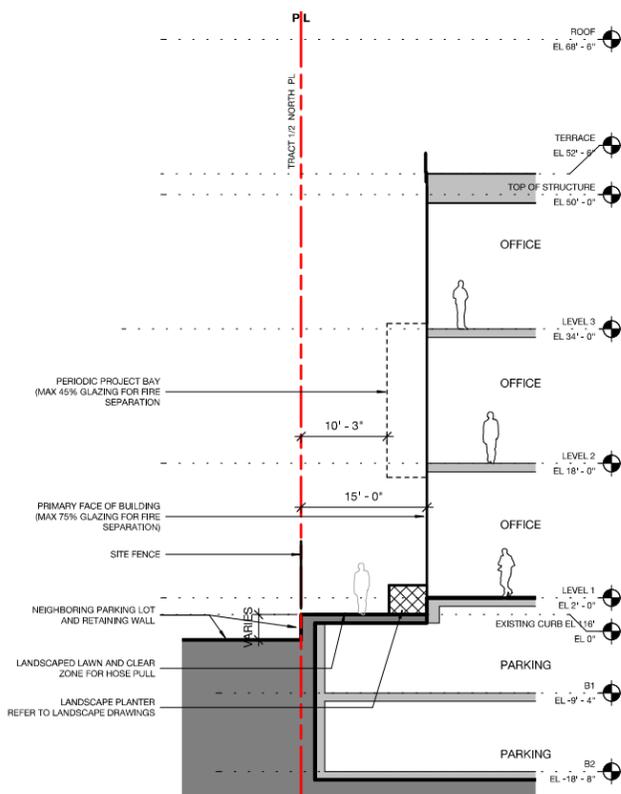
NOTE: REFER TO CIVIL FOR EXISTING SECTIONS, AND UTILITY INFORMATION
REFER TO LANDSCAPE FOR STREET TREE AND PLANTING INFORMATION



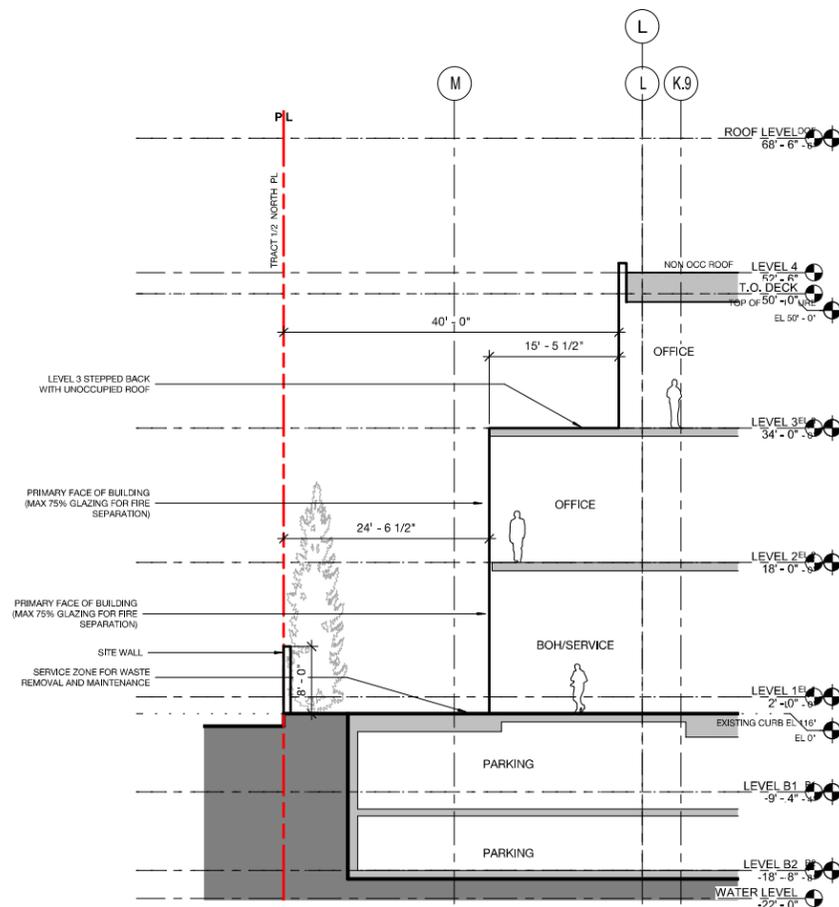
1 W OLIVE AVE STREET SITE SECTION
1/8" = 1'-0"



2 S MATHILDA AVE STREET SITE SECTION
1/8" = 1'-0"



4 NORTH PL SITE SECTION
1/8" = 1'-0"



5 EAST PL SITE SECTION
1/8" = 1'-0"

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STREET SECTION DIAGRAMS

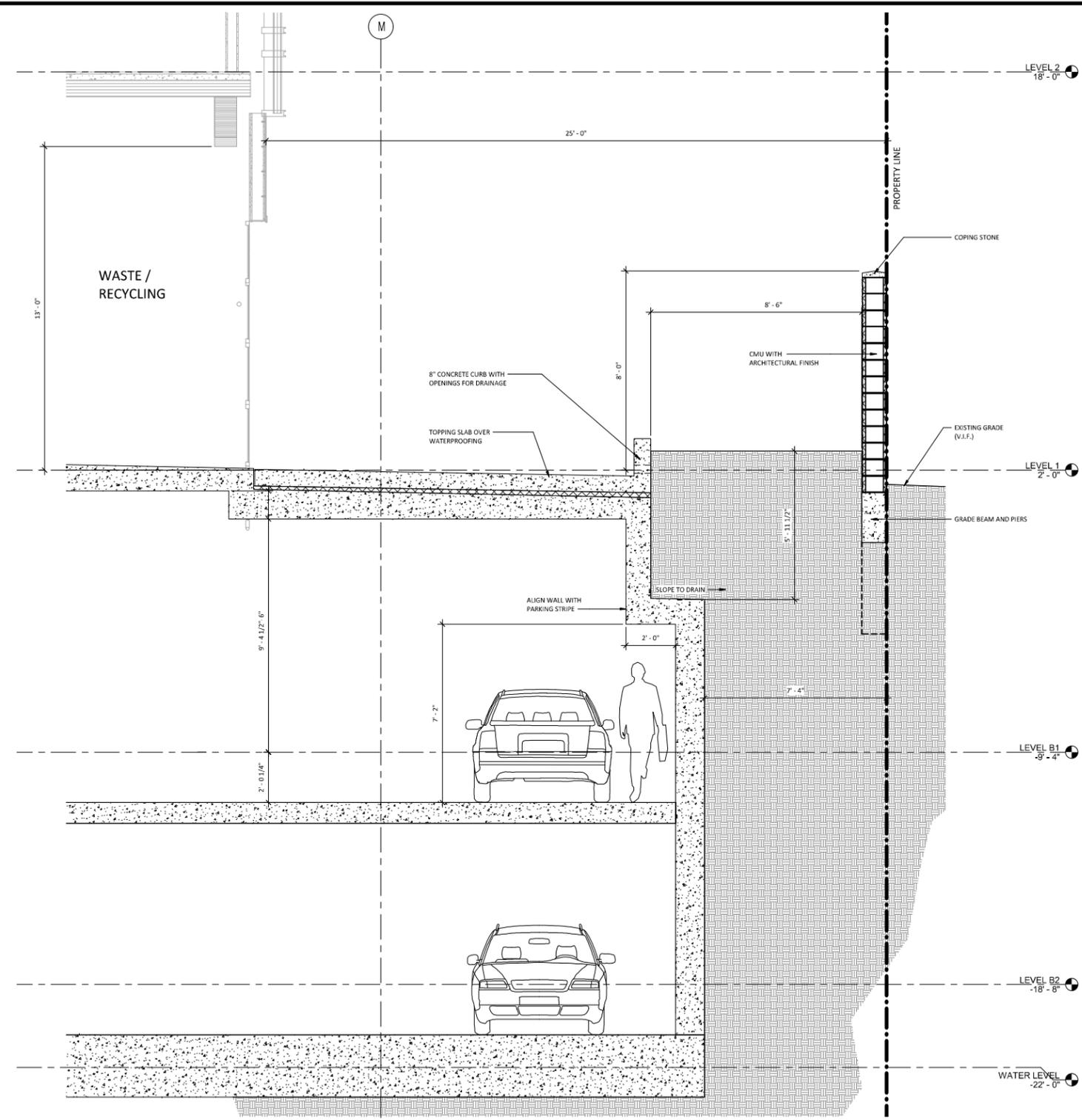
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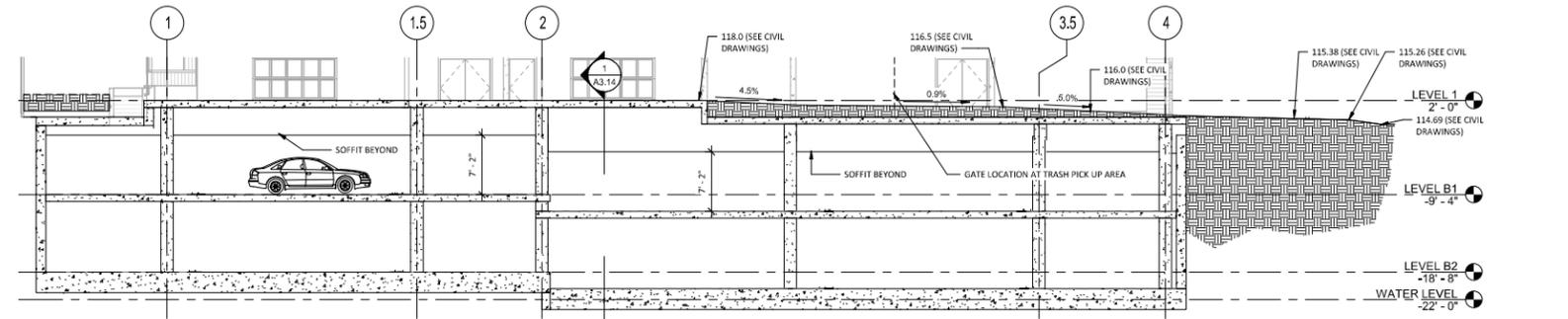
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Downtown Sunnyvale

DEVCON CONSTRUCTION INCORPORATED
690 Gibraltar Drive
Milpitas, California 95035
(408)942-8200 Lic. #399163

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980 Chapel Street
New Haven, Connecticut 06510
tel. 203.786.8600 fax. 203.786.8610
www.pickardchilton.com



1 SECTION AT TRASH ROOM - PROPERTY LINE
1/2" = 1'-0"



2 SITE SECTION - NORTH-SOUTH
1/8" = 1'-0"

GENERAL NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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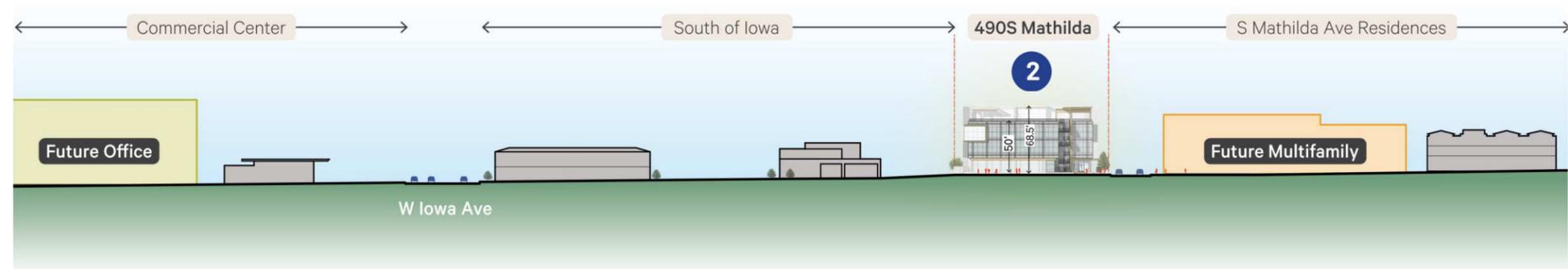
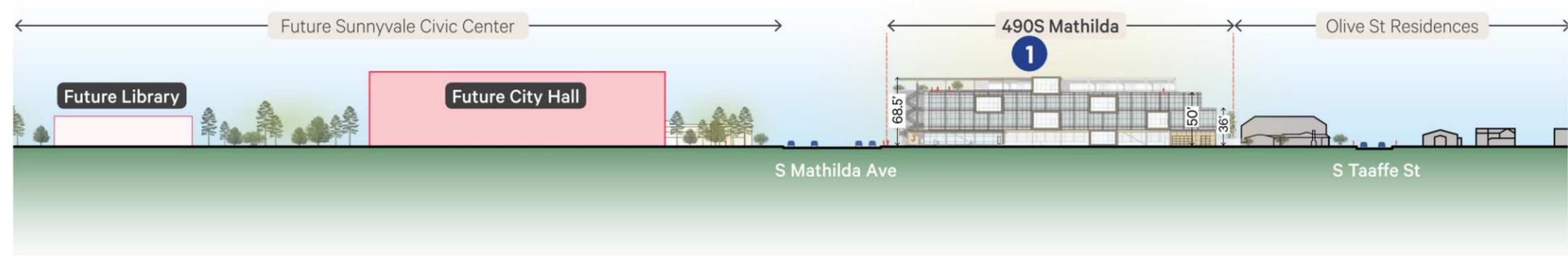
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1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	04/26/22	PLANNING RESUBMITTAL	

PARKING GARAGE SECTIONS

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4	1/19/22	Planning Resubmittal	
5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

SITE SECTIONS

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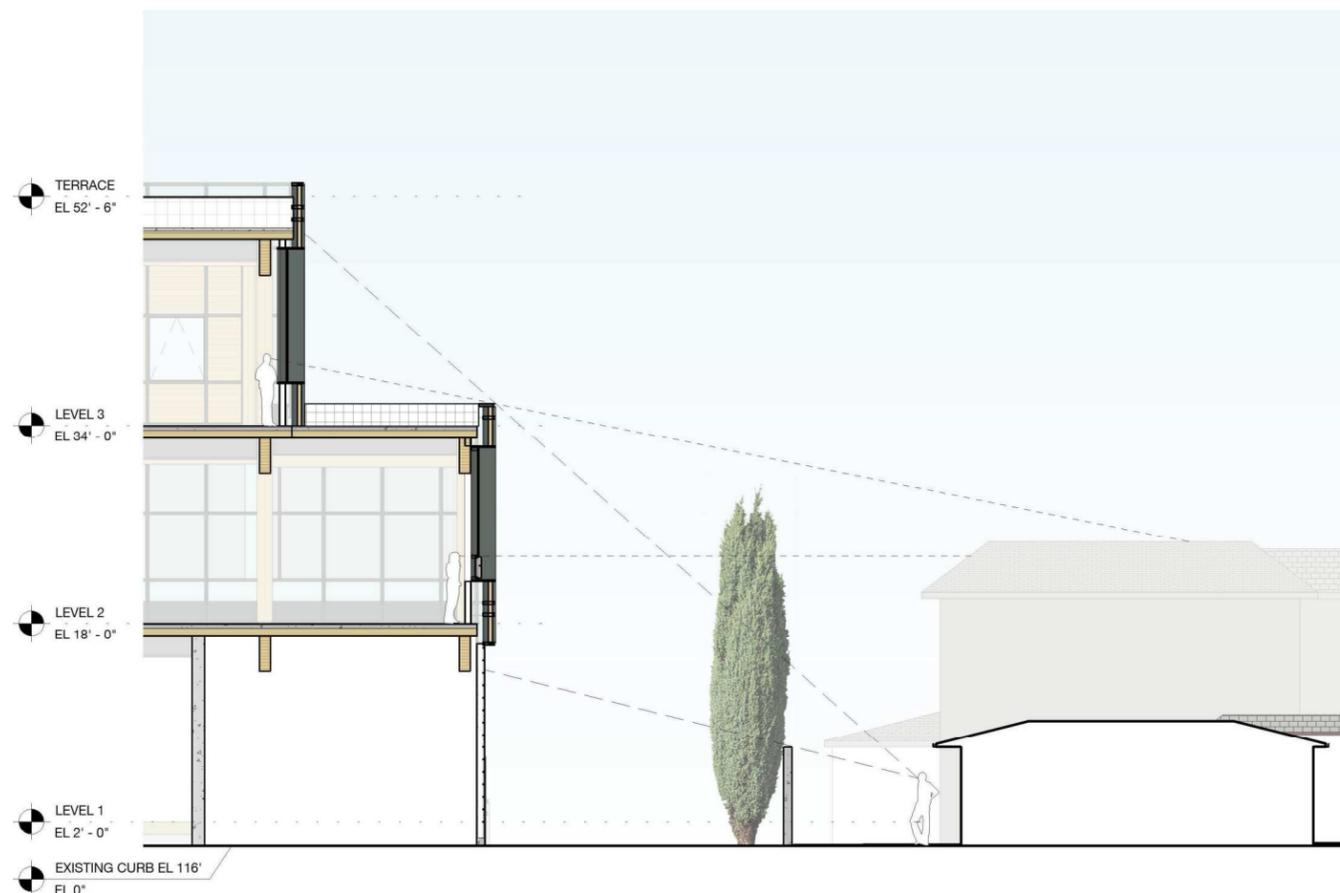
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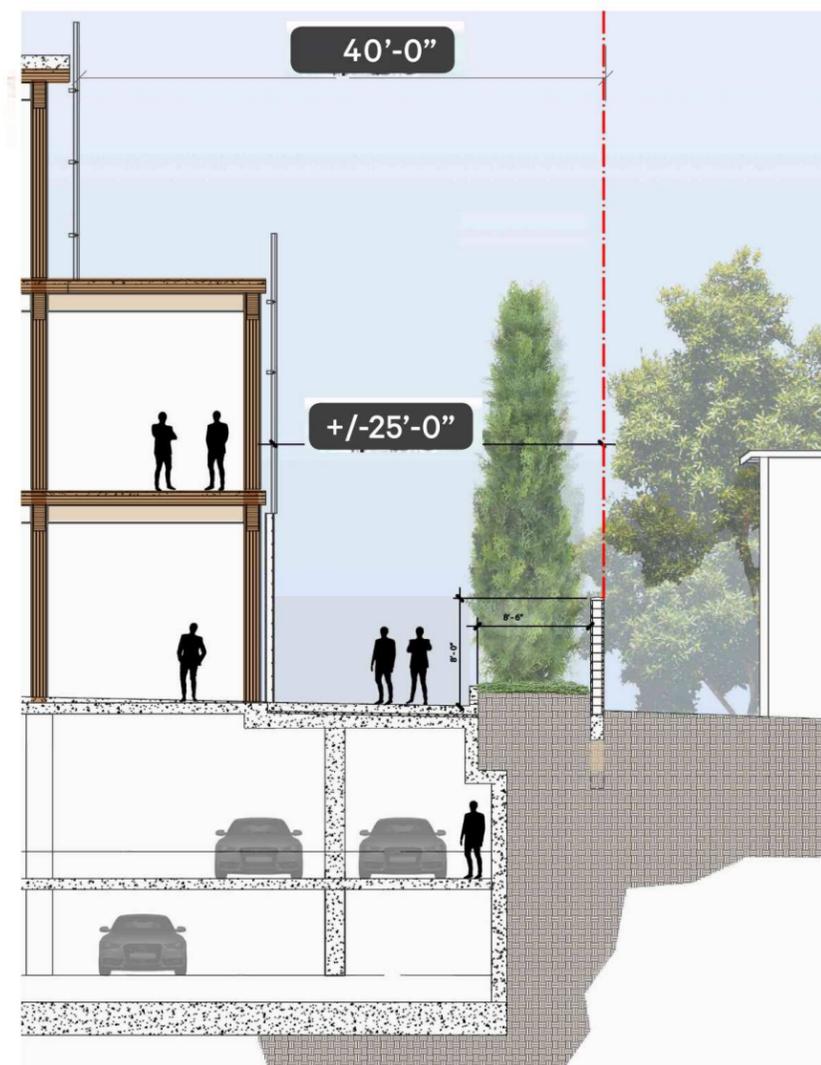
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1 EAST PROPERTY LINE SIGHTLINES
12" = 1'-0"



2 EAST PROPERTY LINE LANDSCAPE
SECTION
12" = 1'-0"

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5	3/22/22	Planning Resubmittal	
6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

EAST PROPERTY LINE

JOB NO. 2012
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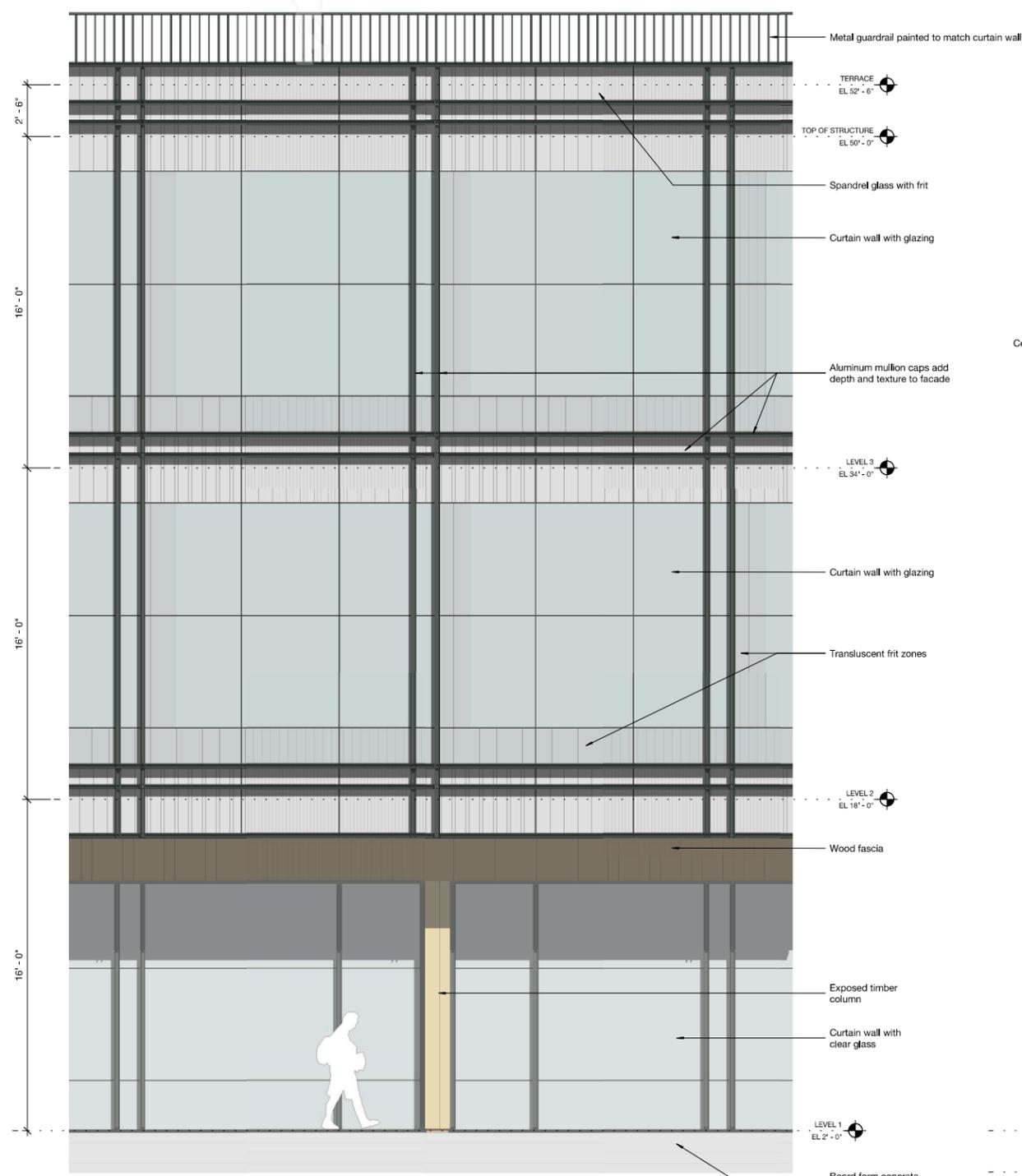
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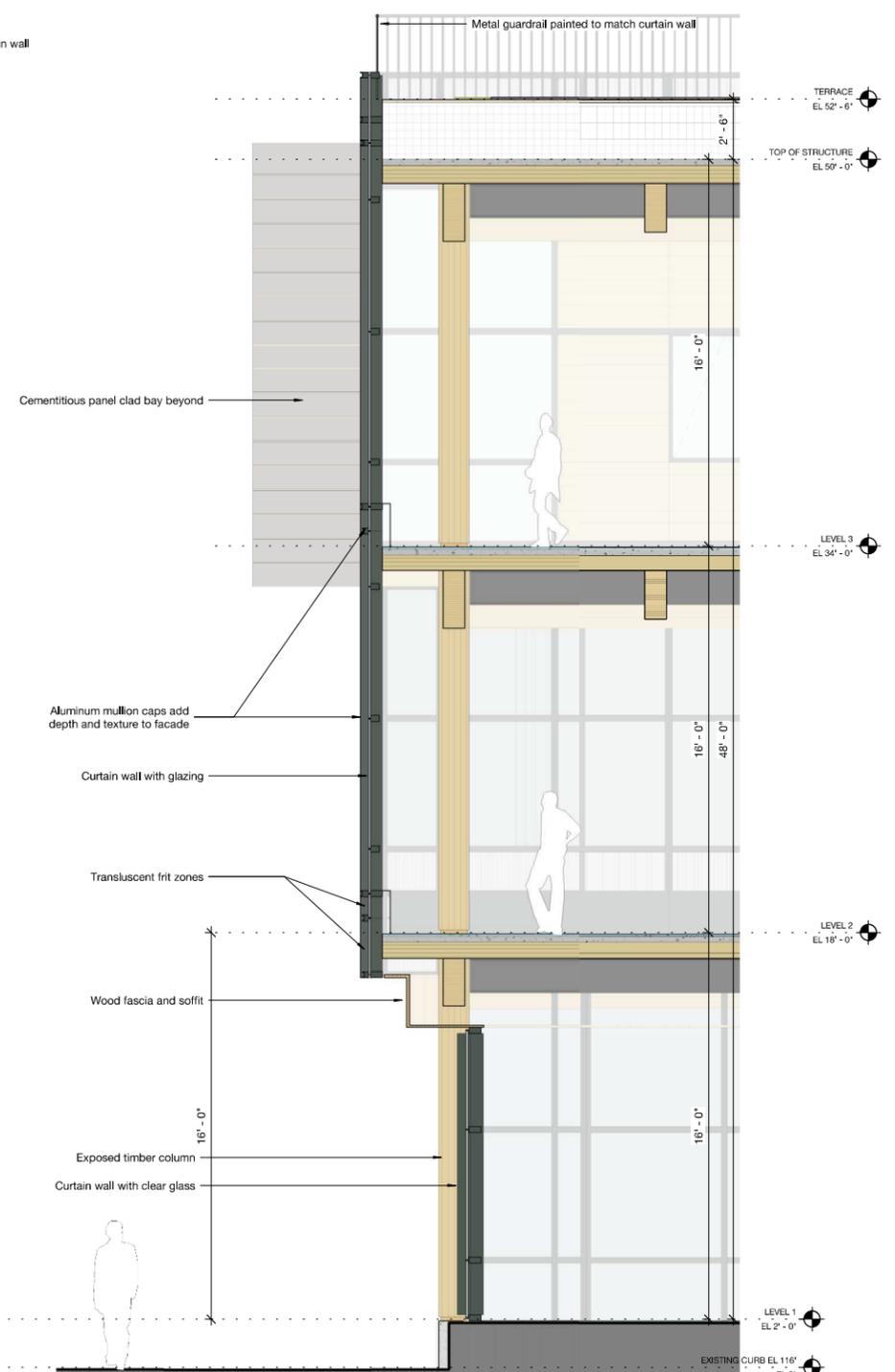
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TYPICAL OFFICE ENCLOSURE

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1 ELEVATION - S/W OFFICE TYPICAL Copy 1
 3/8" = 1'-0"



2 Section - Office Typical Copy 1
 3/8" = 1'-0"

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6	4/26/22	Planning Resubmittal	
7	5/23/22	Planning Resubmittal	

ENCLOSURE AT TYPICAL BAY

JOB NO. 2012

DATE: 05/23/22

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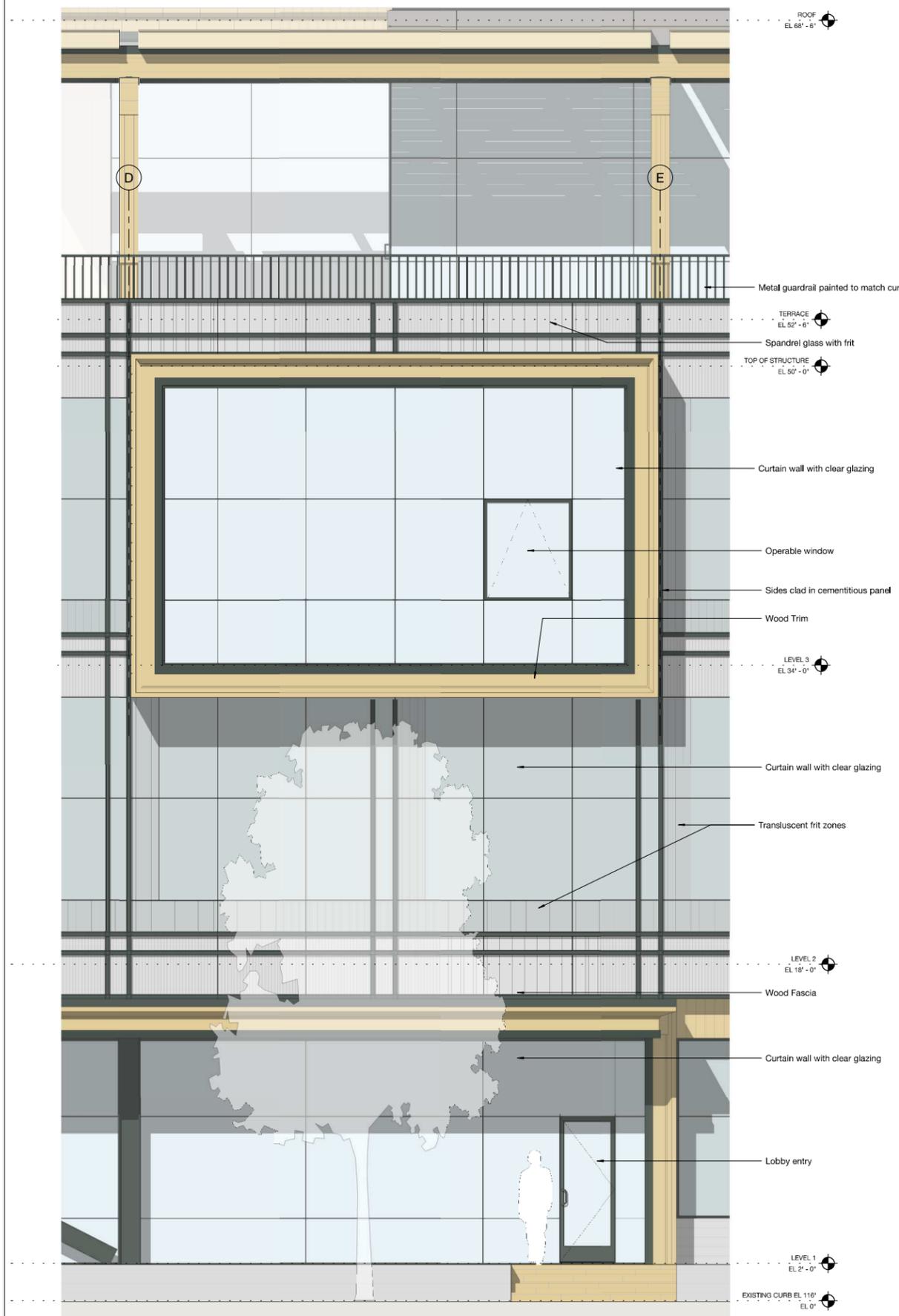
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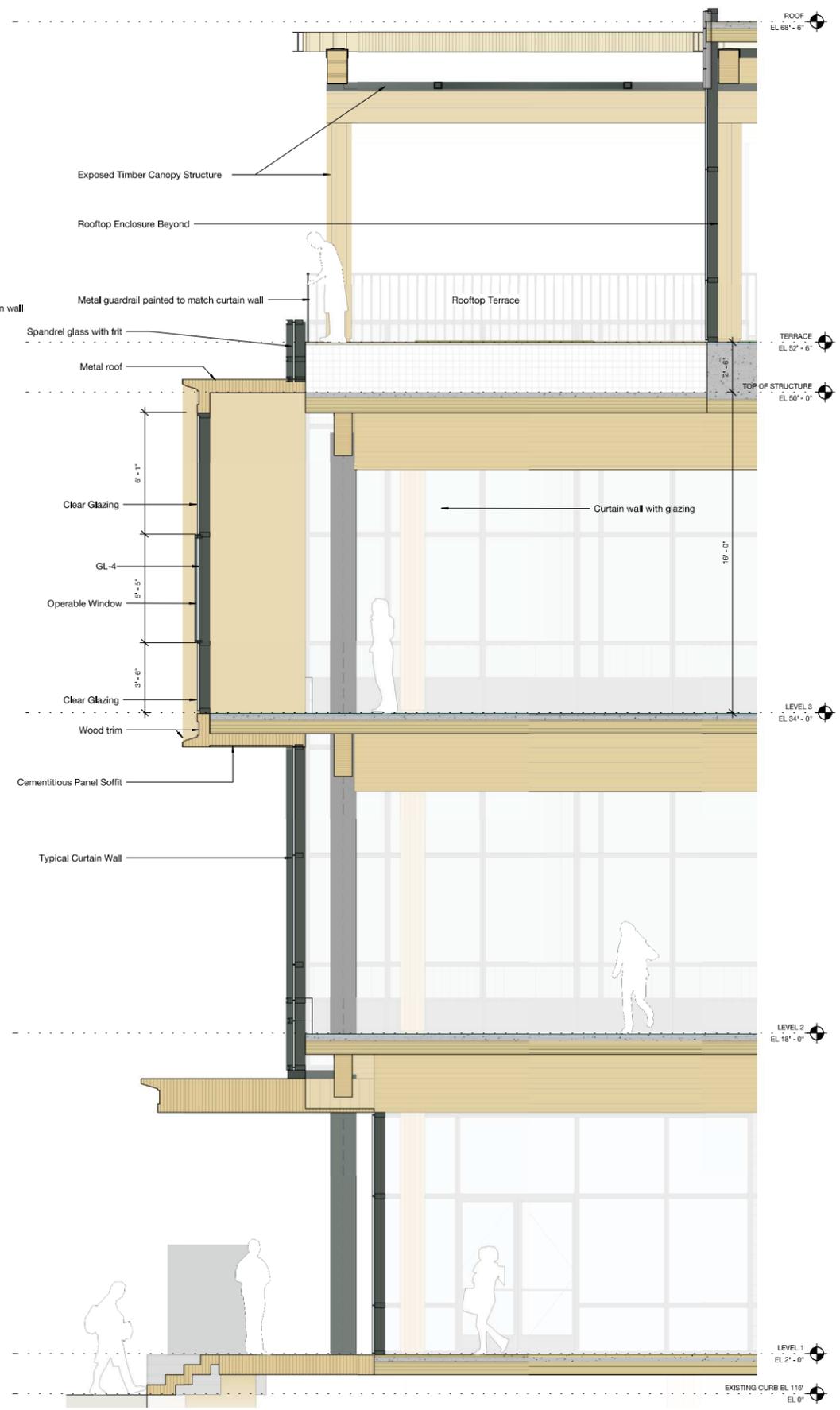
SHEET NO.

A3.22

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1 Office Bay Typical Copy 1
3/8" = 1'-0"



2 SECTION - S/W BAY ENCLOSURE Copy 1
3/8" = 1'-0"

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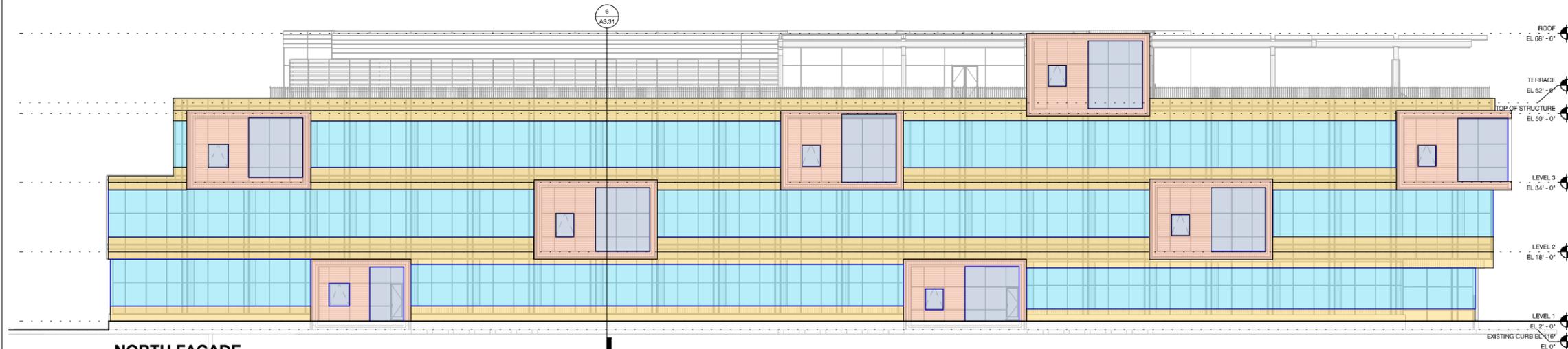


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NORTH FAÇADE

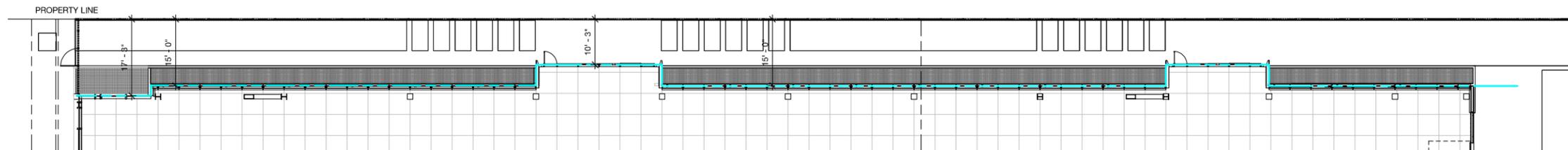
ENCLOSURE AT 15'-20' FROM PL (max 75% vision glazing allowable)

	GLAZING	SOLID
LEVEL 1	2,590 SF 61%	1,644 39%
LEVEL 2	2,875 SF 71%	1,200 SF 29%
LEVEL 3	2,448 SF 44%	2,053 SF 48%

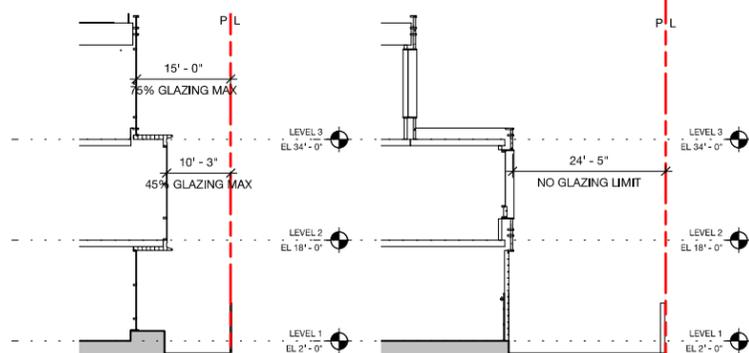
ENCLOSURE AT 10'-15' FROM PL (max 45% vision glazing allowable)

	GLAZING	SOLID
LEVEL 1	302 SF 41%	439 SF 59%
LEVEL 2	413 SF 39%	639 SF 61%
LEVEL 3	613 SF 40%	918 SF 60%
LEVEL 4	217 SF 40%	329 SF 60%

1 NORTH FIRE SEPARATION ELEVATION
3/32" = 1'-0"



2 NORTH FAÇADE FIRE SEPARATION PLAN
3/32" = 1'-0"



6 FIRE SEPARATION SECTION - NORTH
3/32" = 1'-0"

5 FIRE SEPARATION SECTION - EAST
3/32" = 1'-0"

THE WEST AND SOUTH EXTERIOR WALLS HAVE A FIRE SEPARATION DISTANCE OVER 20 FT (MEASURED TO THE CENTERLINE OF THE ADJACENT STREETS), AND THESE EXTERIOR WALLS ARE NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND MAY HAVE UNLIMITED UNPROTECTED OPENINGS.

THE NORTH EXTERIOR WALLS ARE LOCATED MIN. 10 FT BUT LESS THAN 15 FT FROM ADJACENT LOT LINES. THEREFORE, 1-HOUR FIRE-RESISTANCE RATING IS REQUIRED FOR THESE EXTERIOR WALLS, AND OPENINGS ARE LIMITED TO 45% OF THE EXTERIOR WALL AREA PER STORY.

THE EAST EXTERIOR WALLS DO NOT NEED A FIRE-RESISTANCE RATING AND MAY HAVE UNLIMITED EXTERIOR OPENINGS. PREVIOUS SUBMISSIONS SHOWED THE EAST EXTERIOR WALL WITHIN 20' OF THE PROPERTY LINE. FIRE SEPARATION DRAWINGS HAVE BEEN UPDATED FOR REFERENCE.

ALL LOAD BEARING EXTERIOR WALLS (IF THERE ARE ANY) WILL HAVE 2-HOUR FIRE-RESISTANCE RATING.

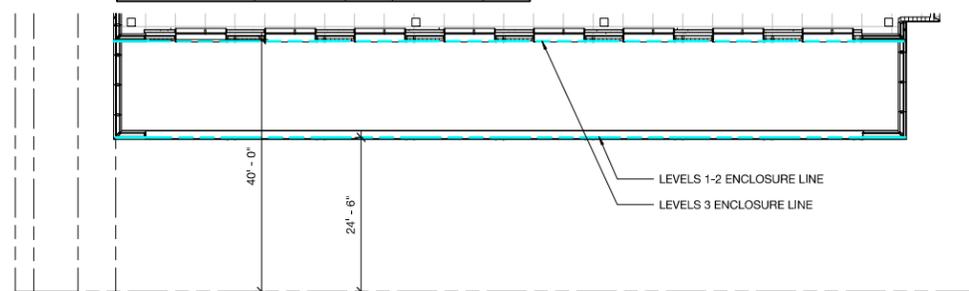


EAST FIRE SEPARATION ELEVATION

EAST FAÇADE

ENCLOSURE AT 20'-25' FROM PL (NO GLAZING LIMIT)

	GLAZING	SOLID
LEVEL 1	65 SF 3%	2,147 SF 97%
LEVEL 2	653 SF 29%	1,578 SF 71%



4 EAST FAÇADE FIRE SEPARATION PLAN
3/32" = 1'-0"

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FIRE SEPARATION DIAGRAMS

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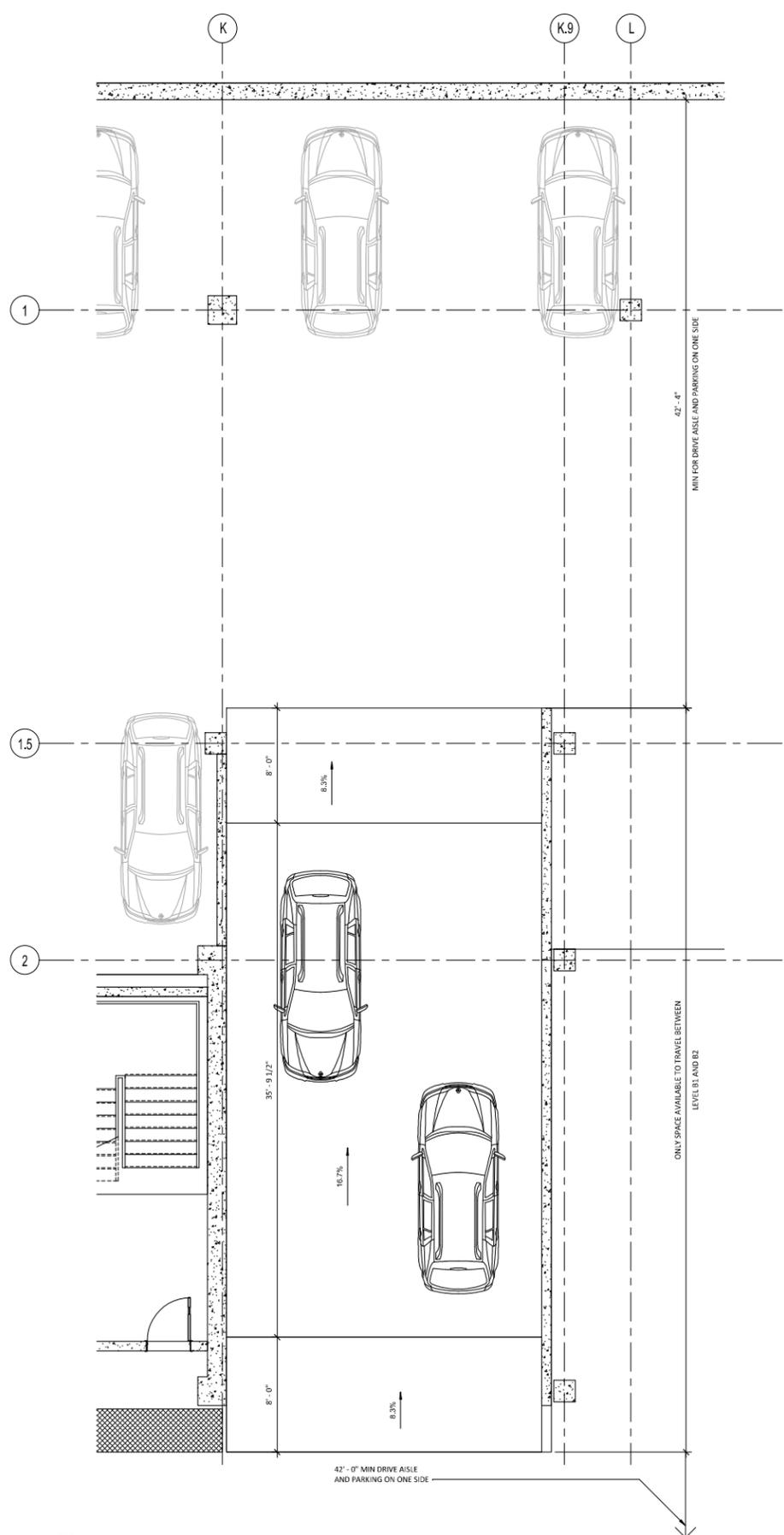
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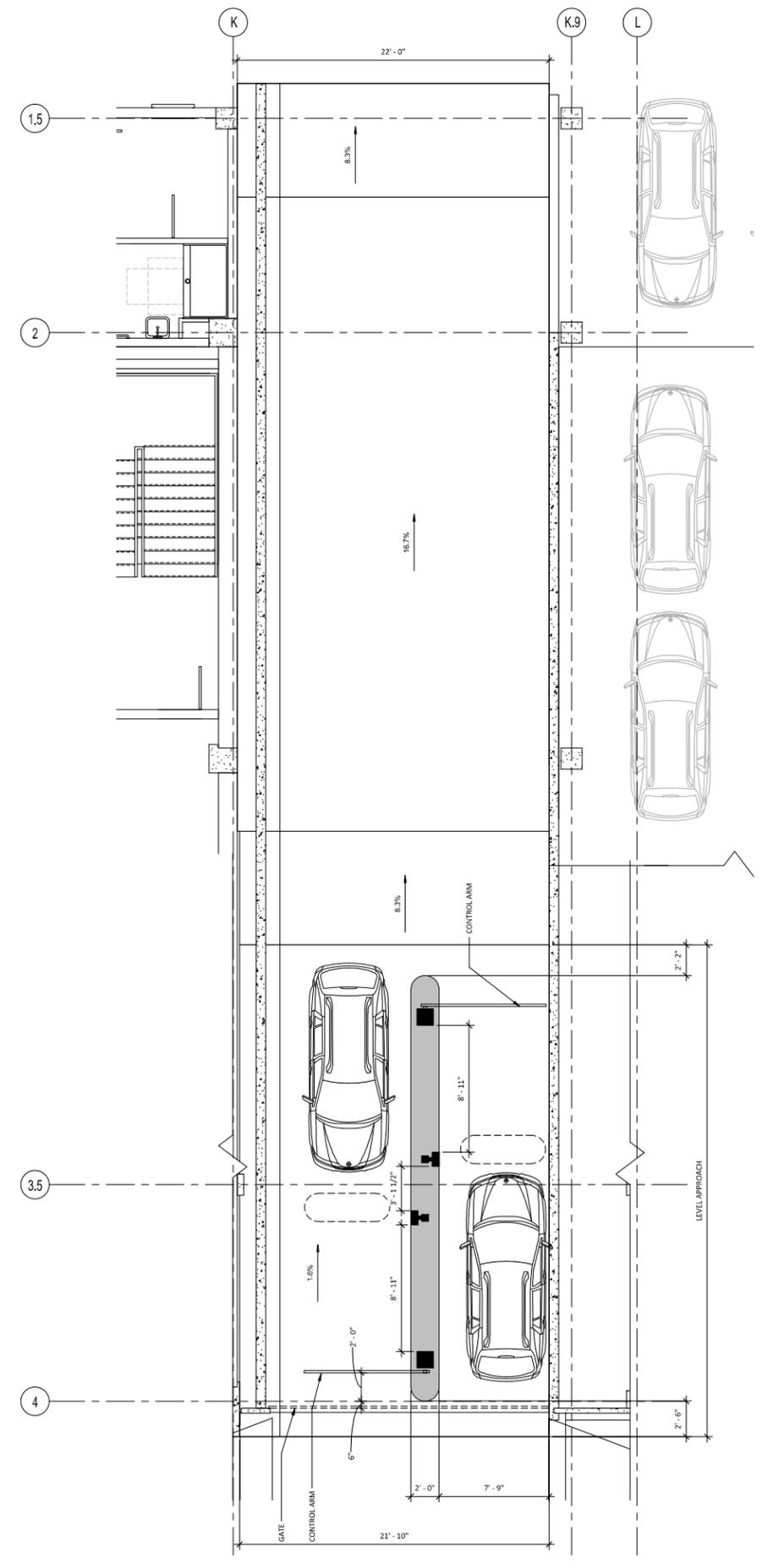
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560 14th Street, Suite 300
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T: 510.473.0300 F: 510.473.0310



3 ENL PLAN - RAMP B1-B2
1/4" = 1'-0"



1 ENL PLAN - GARAGE RAMP
1/4" = 1'-0"

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ENLARGED GARAGE RAMP

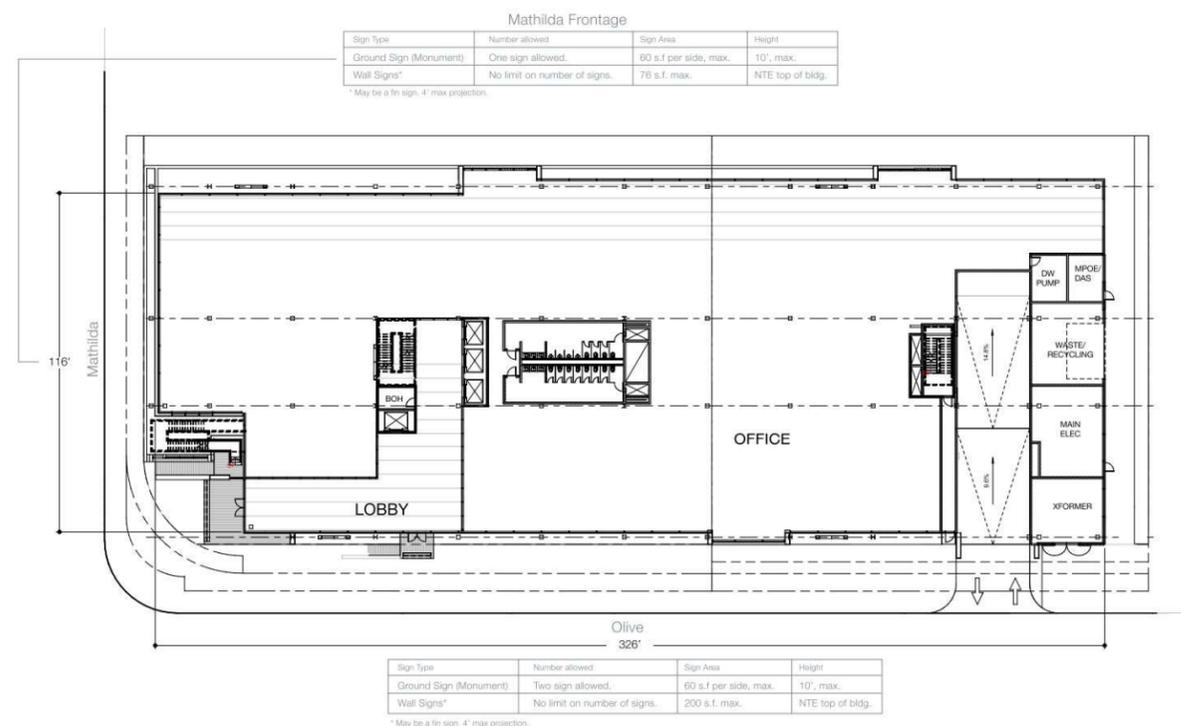
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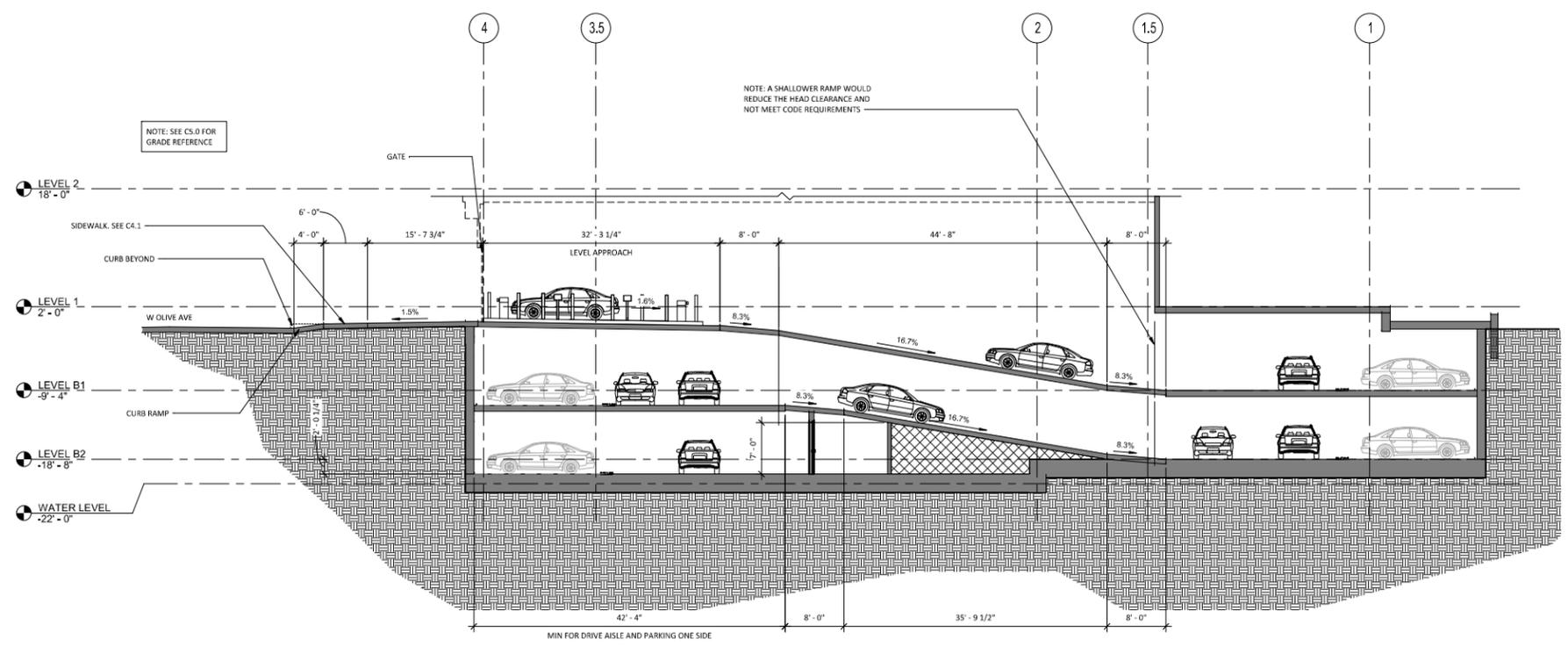
City Code Excerpt

Sign Type	Number	Maximum Area	Copy Height	Sign Height	Special Requirements
Wall	No limit	0.66 sq. ft. of sign for every one linear foot of building frontage; 200 sq. ft. maximum sign area.	6 in. minimum 48 in. maximum	Cannot extend above the top of the building.	Multiple wall signs cannot exceed maximum wall sign area. Fin signs are calculated towards overall wall sign area. Buildings over 100 feet tall may have a maximum copy height of 60 in.
Ground	One per street frontage, two if lot is wider than 100 ft.	60 sq. ft. per side; 120 sq. ft. on both sides.	6 in. minimum 48 in. maximum	10 ft. high maximum on unsecured sign top of normal sign.	None.
Under-canopy	One per entrance	5 sq. ft. per side; 10 sq. ft. on both sides.	No limit	Lower edge must be at least 8 ft. above sidewalk.	None.

480S mathilda ROSS+LUTHIN CREATIVE

City Entitlement Study 03.17.21

2 SIGNAGE STUDY



1 CROSS SECTION AT GARAGE RAMP - SLOPES
1/8" = 1'-0"

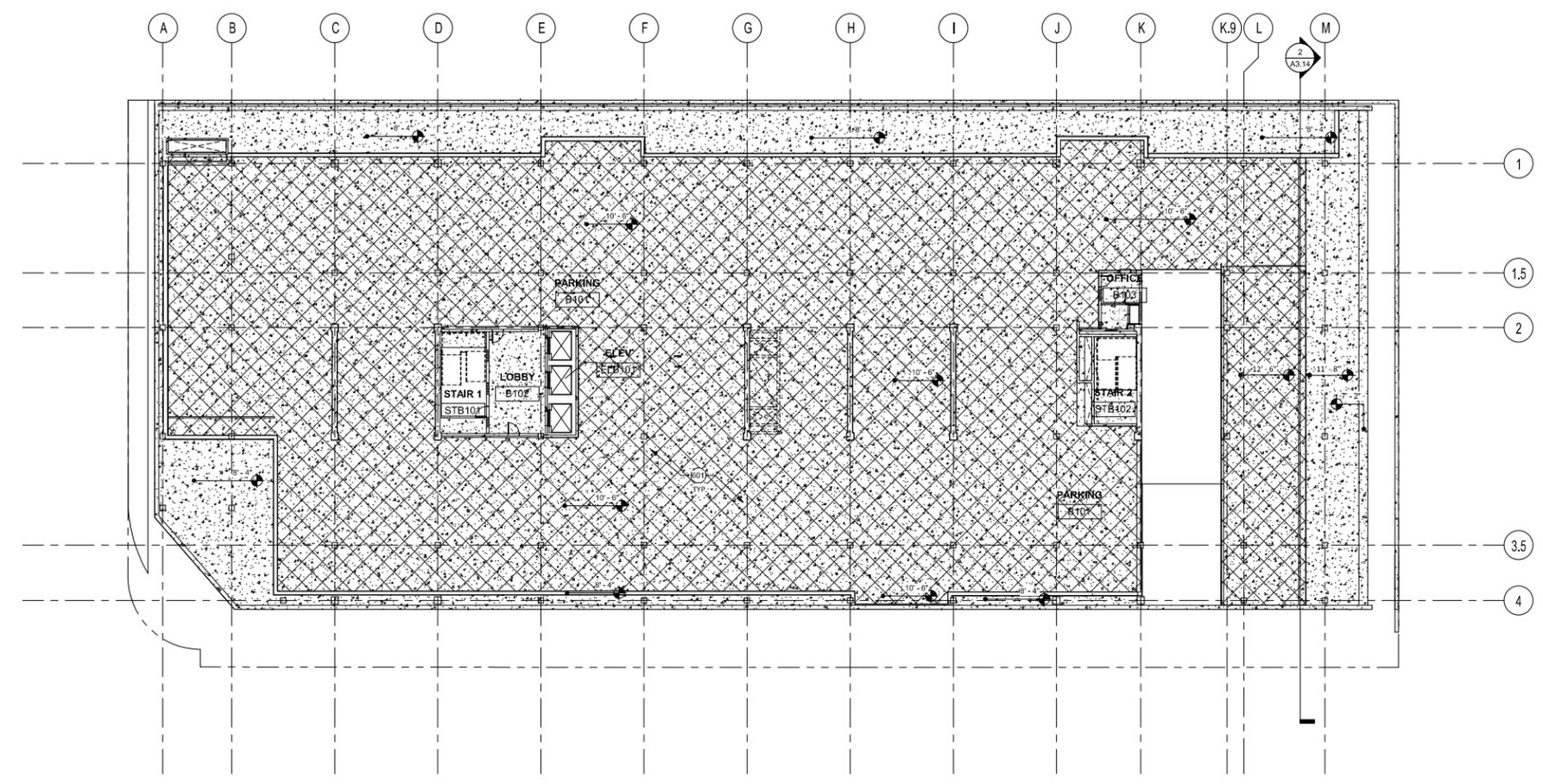
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ENLARGED GARAGE RAMP AND SIGNAGE STUDY

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1 LEVEL B1
1/16" = 1'-0"

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PLAN KEYNOTES

(101) CROSS HATCHING REPRESENTS K-13 SPRAY IN INSULATION UNDER EXTENTS OF BUILDING ABOVE (AT PODIUM SLAB).

REVISIONS

NO.	DATE	DESCRIPTION	BY

LEVEL B1 REFLECTED CEILING PLAN

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DATE: 05/23/22	A6.01
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CHECKED: AG	
ISSUE: PLN RESUBMITTAL	
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Untitled Map
Click for a description of your map.

Google Earth

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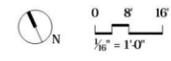
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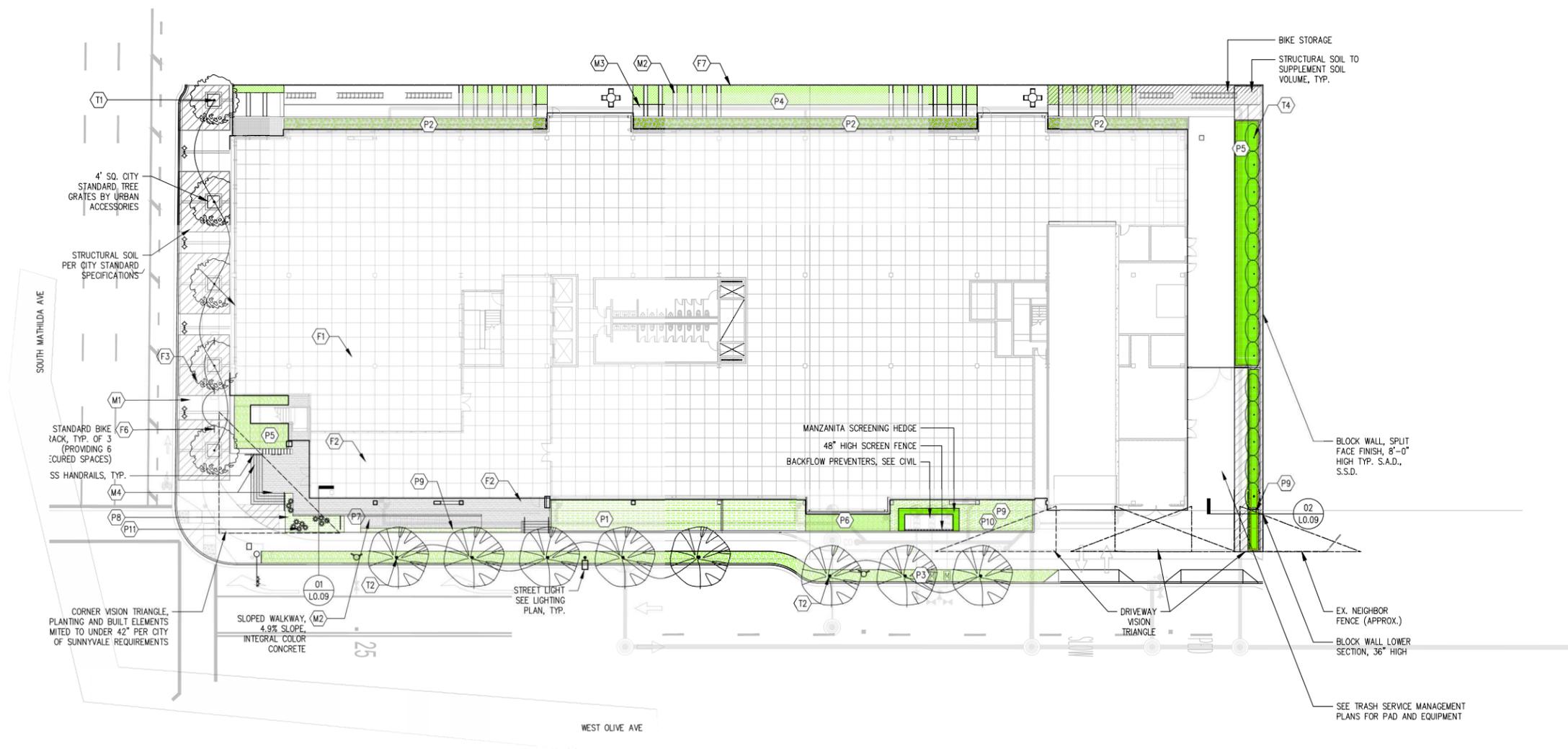
ILLUSTRATIVE PLAN

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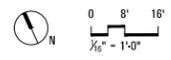
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GROUND FLOOR PLAN

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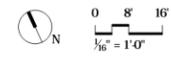
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ROOF LANDSCAPE PLAN

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TREES



T1 QUERCUS FRAINETTO / ITALIAN OAK
 MWEL: LOW
 SIZE: 36" BOX



T2 PLATANUS ACERFOLIA 'COLOMBIA' / LONDON PLANE
 MWEL: MEDIUM
 SIZE: 36" BOX



T3 QUERCUS AGRIFOLIA / COAST LIVE OAK
 MWEL: LOW
 SIZE: 36" BOX

*TREE TO BE CONTRACT GROWN



T4 THILIA PLICATA X STANDISHII 'GREEN GIANT' / ARBORVITAE GREEN GIANT
 MWEL: MEDIUM
 SIZE: 36" BOX

*TREES TO BE CONTRACT GROWN

UNDERSTORY PLANTING



P1 PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE
 MWEL: LOW



P2 FESTUCA CALIFORNICA / CALIFORNIA FESCUE
 MWEL: VERY LOW



P3 JUNCUS PATENS / COMMON RUSH
 MWEL: MEDIUM



P4 SOD LAWN
 MWEL: HIGH



P5 POLYSTICHUM MUNITUM / WESTERN SWORD FERN
 MWEL: MEDIUM



P5 WOODWARDIA FIMBRIATA / GIANT CHAIN FERN
 MWEL: HIGH



P6 FESTUCA RUBRA / RED FESCUE
 MWEL: MEDIUM



P7 PENSTEMON SPECTABILIS / ROYAL PENSTEMON
 MWEL: LOW



P8 SENECIO SERPENS / BLUE CHALK STICKS
 MWEL: LOW
 AGAVE SHAWII / SHAW AGAVE
 MWEL: LOW



P9 ARCTOSTAPHYLOS X SUNSET
 MWEL: LOW



P10 MUHLENBERGIA RIGENS / DEER GRASS
 MWEL: LOW



P11 ALOE POLYPHYLLA / SPIRAL ALOE
 MWEL: LOW

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PLANTING

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THE Minkoff GROUP 490 S MATHILDA SUNNYVALE, CA

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F2 PICNIC TABLE SUPPLIER: STREETLIFE



F3 ROUNDED BENCH TOP SUPPLIER: STREETLIFE



F4 LONG TABLE SUPPLIER: STREETLIFE



F5 MOUNDED ARTIFICIAL TURF SUPPLIER: N/A



F6 BIKE RACK SUPPLIER: DUMOR (DOWNTOWN CITY OF SUNNYVALE STANDARD)



F7 DECORATIVE FENCE

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LANDSCAPE PAVING MATERIALS SCHEDULE

KEY	DESCRIPTION	SUPPLIER	MATERIAL	SIZE	COLOR	FINISH	REMARK
M1	CITY STANDARD CONCRETE SIDEWALK PAVING	-	CAST IN PLACE CONCRETE	PER CITY STANDARD SPECS	STANDARD GRAY	BROOM	SEE CITY STANDARD SPECS.
M2	CAST-IN-PLACE REINFORCED CONCRETE: INTEGRAL COLOR CONCRETE PAVING	DAVIS COLOR	REINF. CONCRETE	SCORING AS PER PLAN OR 10" MIN.	DAVIS 'GRAPHITE'	TOP CAST #3 FINISH	SAWCUT JOINTS, EXPANSION JOINTS TO HAVE SAND ON CAULKING TO MATCH INTEGRAL COLOR.
M3	CAST-IN-PLACE REINFORCED CONCRETE: INTEGRAL COLOR CONCRETE PAVING	DAVIS COLOR	REINF. CONCRETE	SCORING AS PER PLAN OR 10" MIN.	DAVIS 'LIGHT GRAY'	TOP CAST #3 FINISH	SAWCUT JOINTS, EXPANSION JOINTS TO HAVE SAND ON CAULKING TO MATCH INTEGRAL COLOR.
M4	EXTERIOR WOOD DECKING, S.A.D., WD-2 ON A002	-	-	-	-	-	AS PER WD-2 WOOD DECKING ON A002, USE HIDDEN FASTENER SYSTEM. STAINLESS STEEL PLATE AT STAIR RISERS, WITH ADA-COMPLIANT NOSING
M5	PAVERS ON PEDESTAL	STEPSTONE	PRECAST	18 x 36"	PORCELAIN	LIGHT SANDBLAST	INSTALL WITH BISON PEDESTALS, SPACERS AND ACCESSORIES AS PER MANUFACTURER
M6	MOUNDED SYNTHETIC TURF	SHAW SPORTS TURF	POWERBLADE TURF	PER PLANS	SOLID LIME	-	SYNTHETIC 'LAWN' SHAW SPORTS TURF POWERBLADE 2.25 WITH GEOFILL AS PER MANUF. SPECS. INSTALL OVER 1" FIBERGLASS GRATE ON PEDESTAL. STAINLESS STEEL HEADER ALONG EDGE.

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SITE MATERIALS

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TREE REMOVAL PLAN

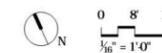
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L0.05
OF SHEETS

KEY

#0XXX
⊗ TREES TO BE REMOVED
CORRESPONDS WITH ARBORIST REPORT

TREE TABULATION
TOTAL NUMBER OF TREES ON SITE: 23
TOTAL NUMBER OF PROTECTED TREES ON SITE: 15
TOTAL TREES TO BE REMOVED: 23
TREES TO BE REMOVED WITH PROTECTED STATUS: 15
NEW TREES ADDED TO PROJECT: 27



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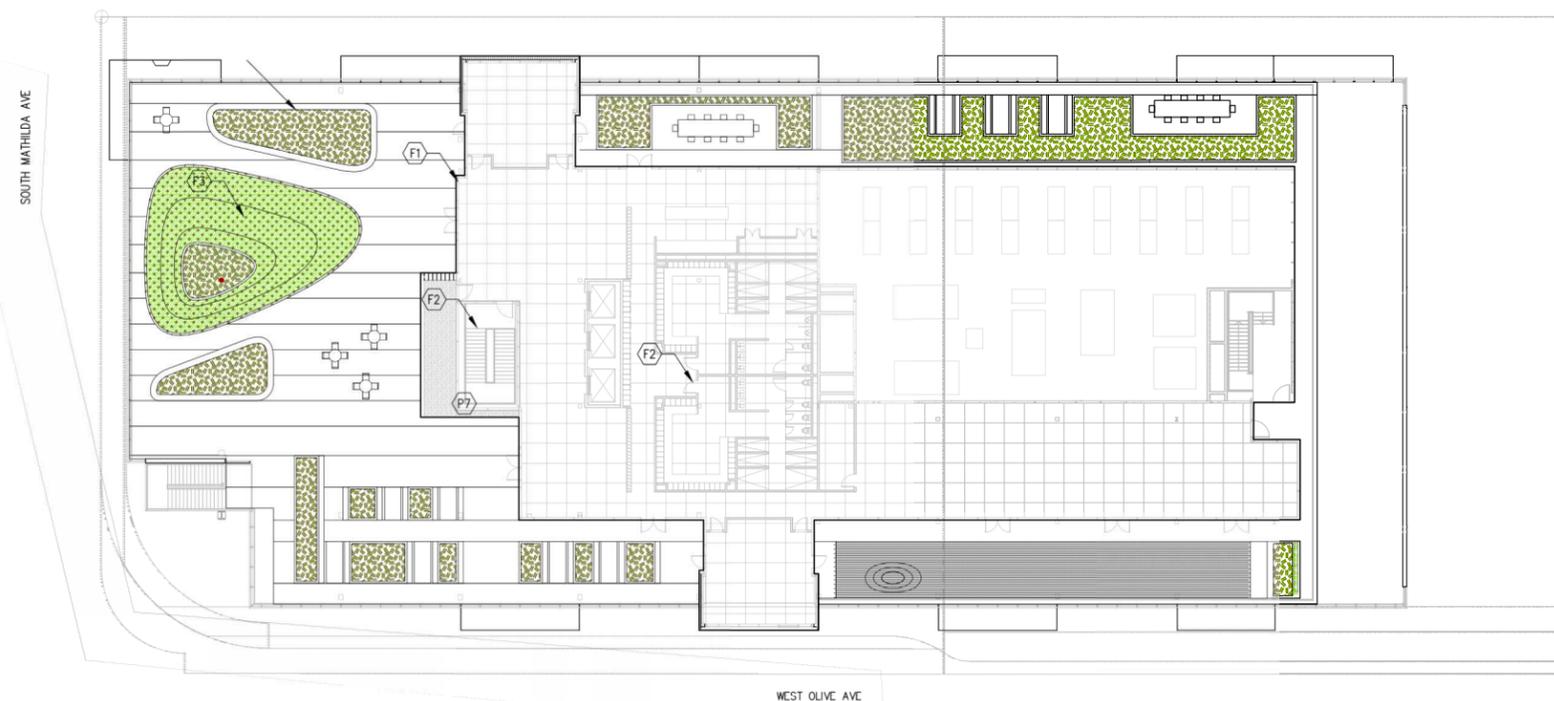
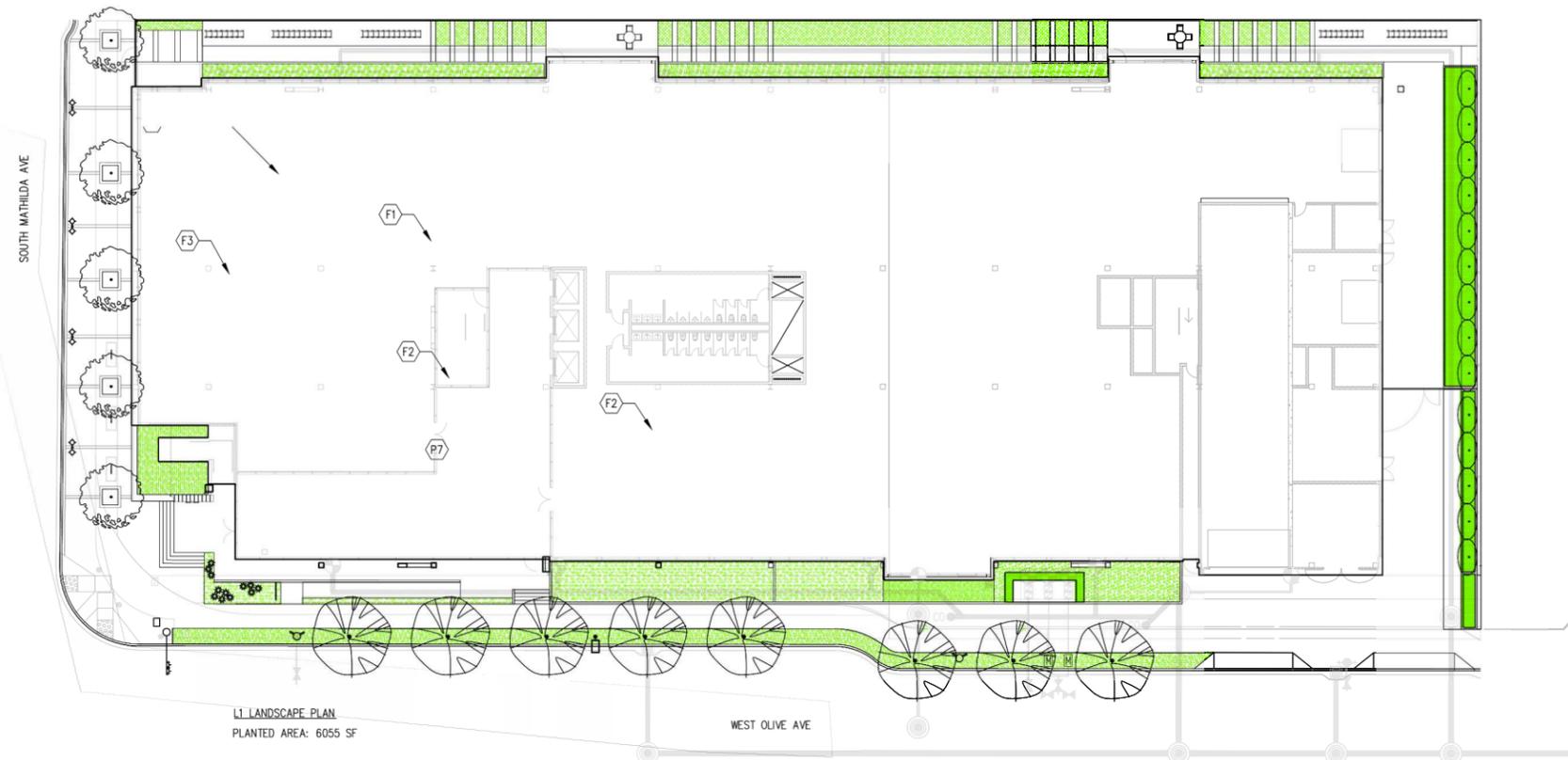
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LANDSCAPING (TOTAL): 10005 SF
LOT SIZE: 54763 SF
GREEN COVERAGE BASED ON LOT SIZE: 18.4%



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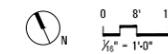
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PLANTING COVERAGE

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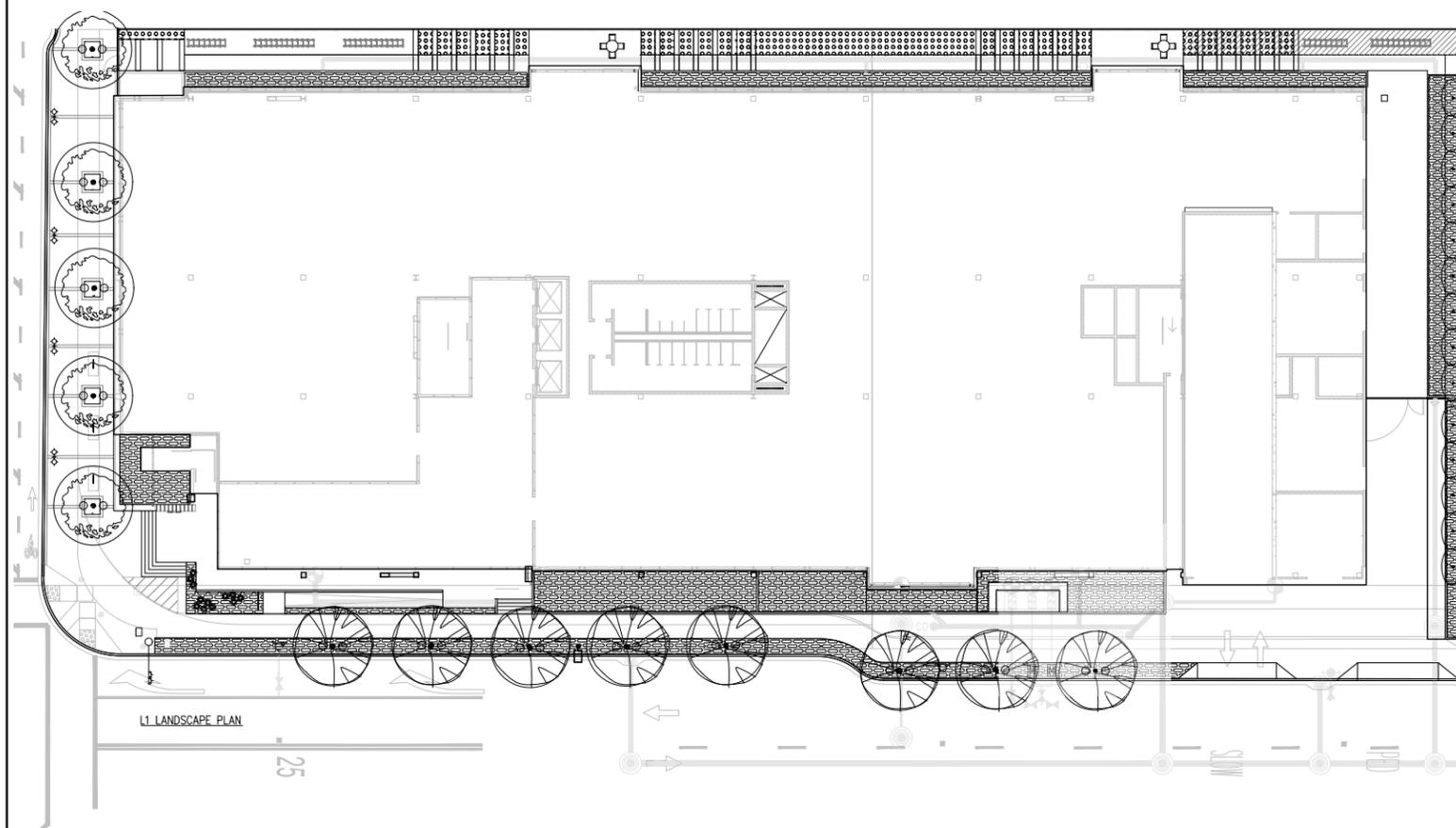


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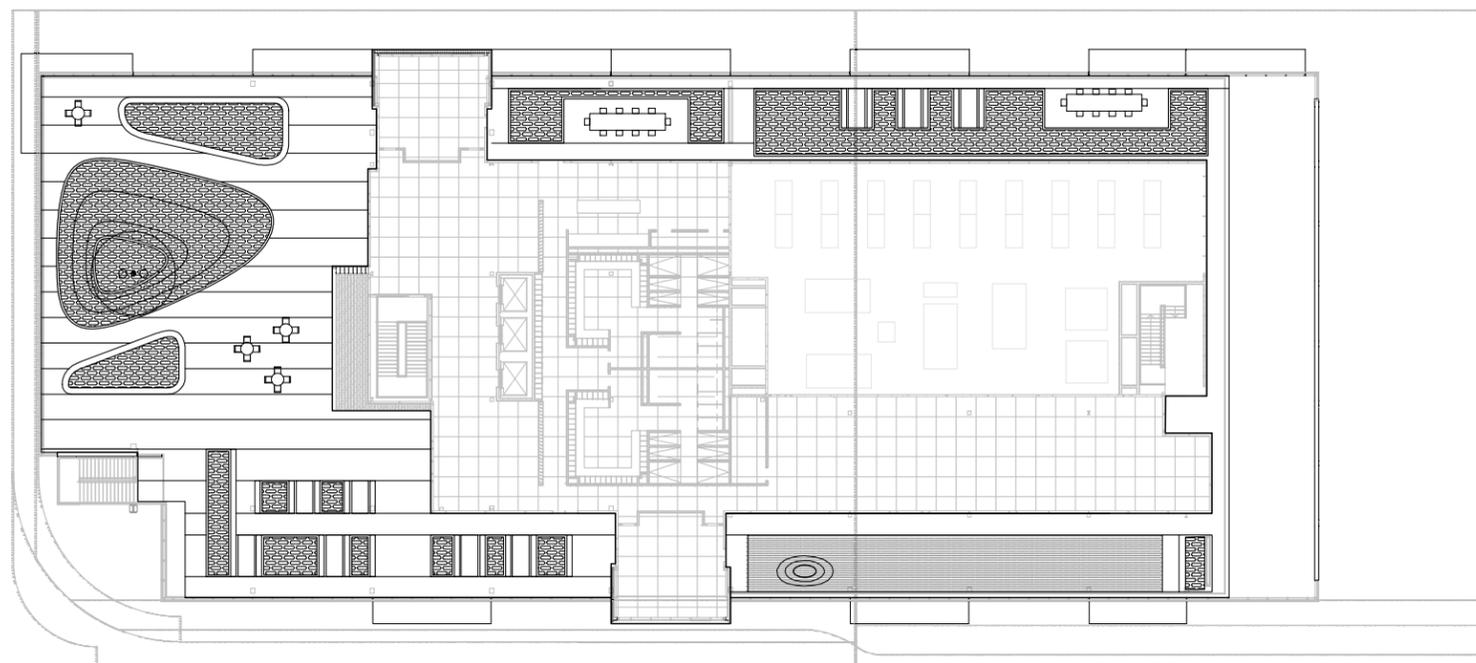
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WATER EFFICIENT LANDSCAPE WORKSHEET							
<i>This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package</i>							
Project Name:	480 S. Matilda						
Project Address:	480 S. Matilda Sunnyvale, California 94089						
Reference Evapotranspiration (ET _o)	43.1	In./Yr.	Residential Project?	No			
Hydrozone # / Planting Description*	Plant Factor	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF / IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
Low Water Use Plantings	0.20	Drip	0.81	0.25	3,610	891	23,819
Moderate Water Use Plantings	0.40	Drip	0.81	0.49	6,000	2,963	79,176
High Water Use Plantings	0.70	Drip	0.81	0.86	940	812	21,708
Water Feature / Pool / Spa	1.00	Direct Fill	1.00	1.00	0	0	0
					Totals:	10,550	4,667
Special Landscape Areas							
Picnic Area			1.00		0	0	0
Active Turf			1.00		0	0	0
Vegetable Garden			1.00		0	0	0
					Totals:	0	0
						Estimated Total Water Use (ETWU) Total:	124,703
						Maximum Applied Water Allowance (MAWA):	126,863
^a Hydrozone # / Planting Description		^b Irrigation Method		^c Irrigation Efficiency			
E.g. 1.) Front Lawn 2.) Low Water Use Plantings 3.) Medium Water Use Plantings		Overhead Spray of Drip		0.75 for Spray 0.81 for Drip			
^d ETWU (Annual Gallons Required) = ET _o x 0.62 x ETAF x Area Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year.							
^e MAWA (Annual Gallons Allowed) = ET _o x 0.62 x [(ETAF x LA) + ((1 - ETAF) x SLA)] Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential projects and 0.45 for non-residential projects.							
Evapotranspiration Adjustment Factor (ETAF) Calculations							
This non-residential project complies with the WELO and its average ETAF is less than 0.45							
Regular Landscape Areas				All Landscape Areas			
Total ETAF x Area	4,667			Total ETAF x Area	4,667		
Total Area	10,550			Total Area	10,550		
Average ETAF	0.44			Average ETAF	0.44		

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IRRIGATION PLAN

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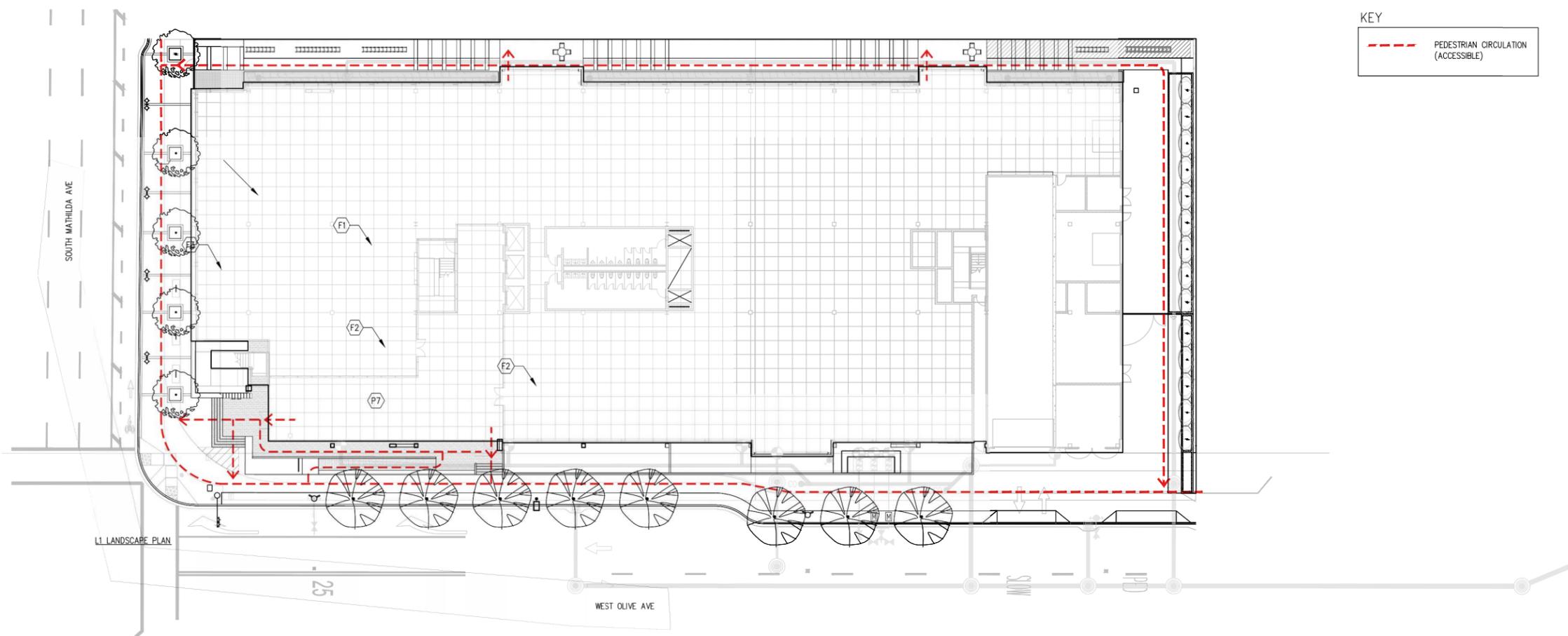
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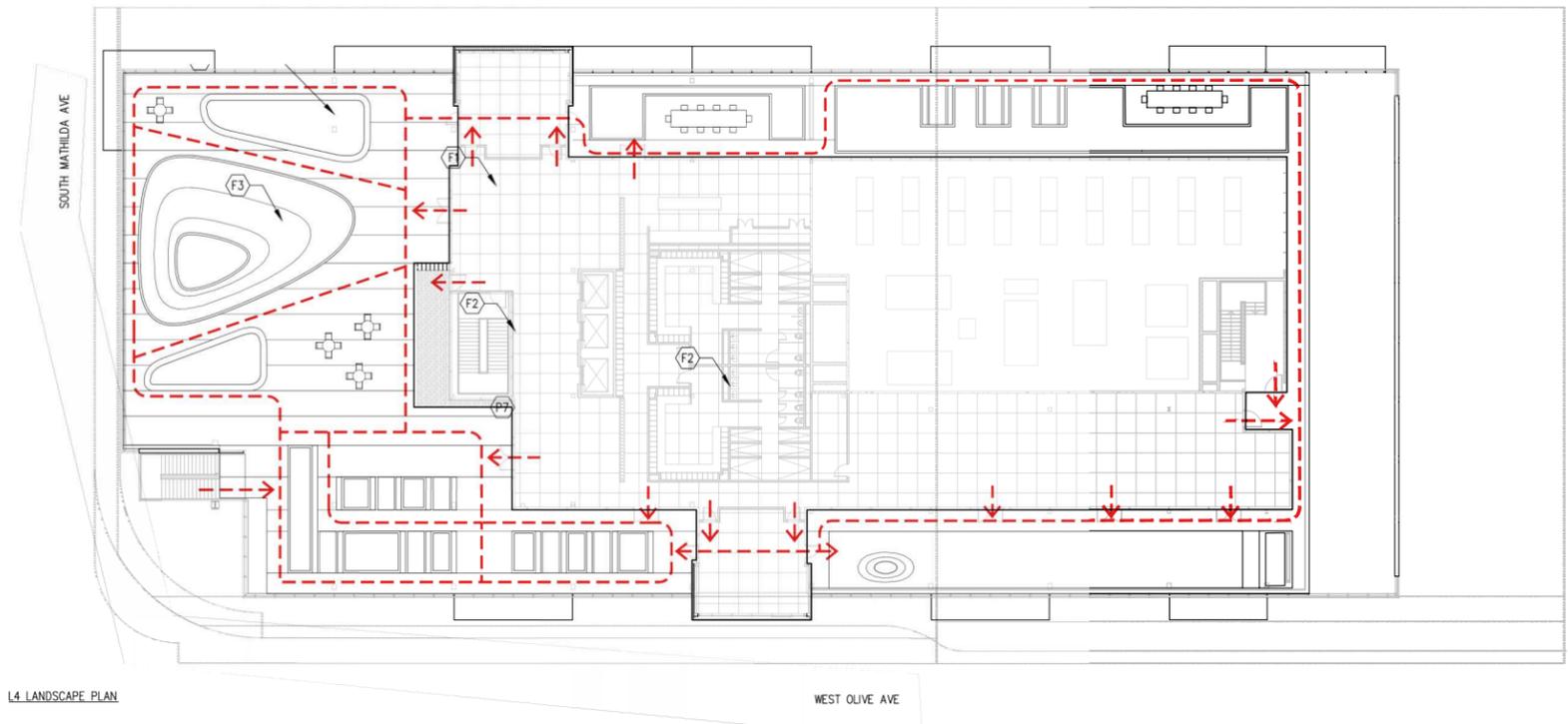
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L1 LANDSCAPE PLAN



L4 LANDSCAPE PLAN

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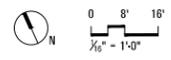
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CIRCULATION

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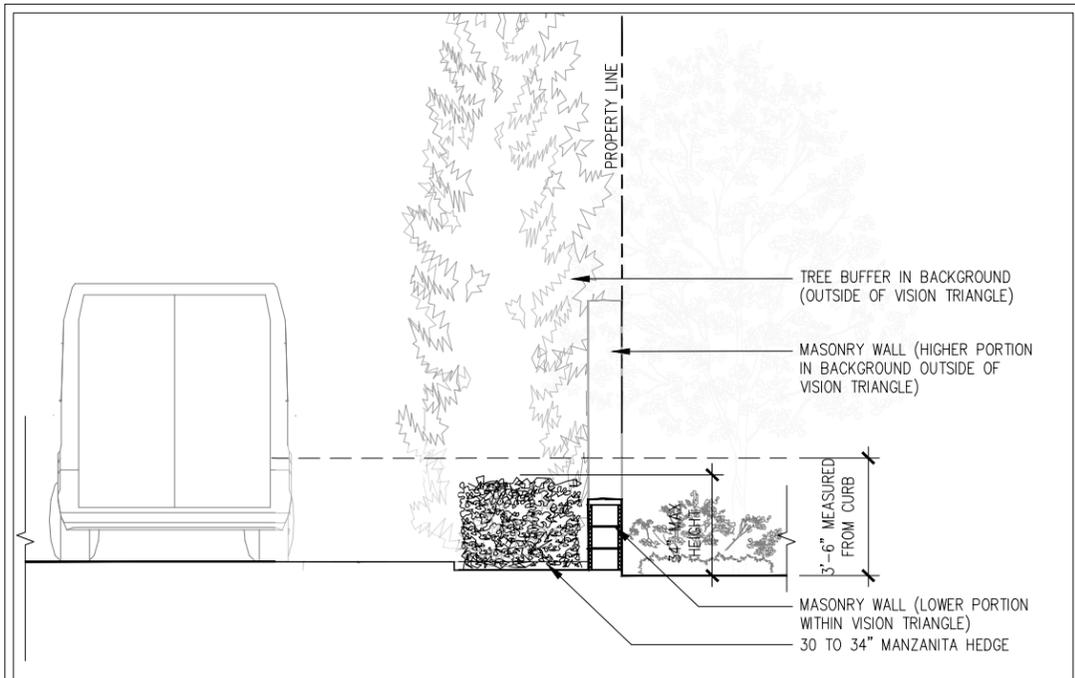
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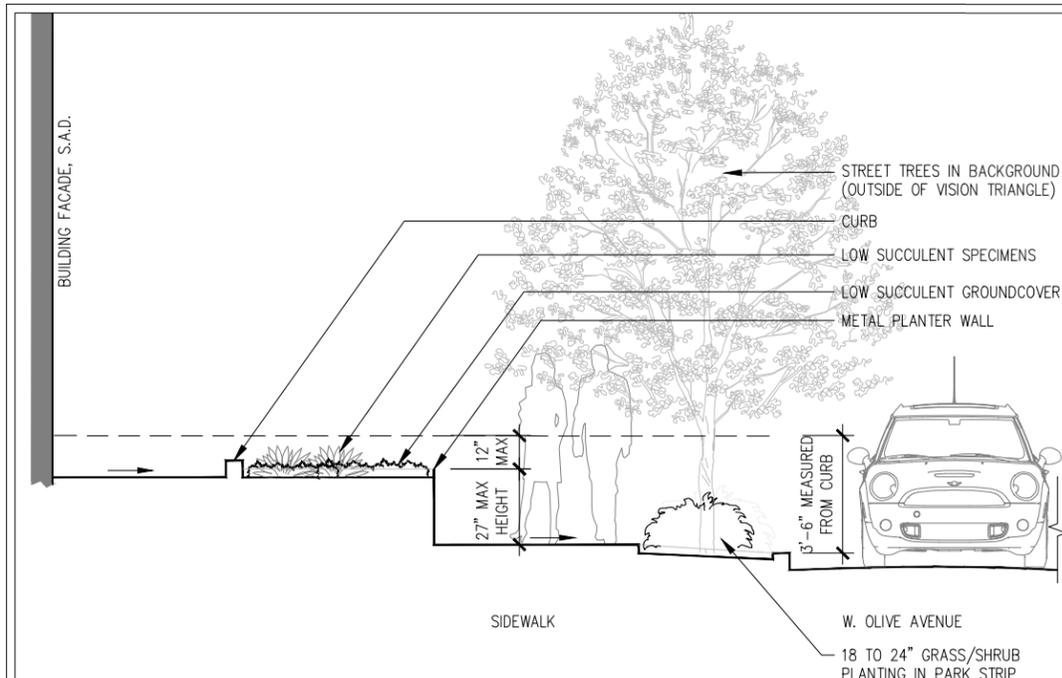
NO.	DATE	DESCRIPTION	BY

SECTIONS AND RENDERING

JOB NO. DEVT101	SHEET NO.
DATE: 05.23.2022	L0.09
DRAWN: DP	
CHECKED: DA	
ISSUE: PLN RESUBMITTAL	OF SHEETS



02 SECTION @ DRIVEWAY VISION TRIANGLE
NTS



01 SECTION @ CORNER VISION TRIANGLE
NTS



03 VIEW ALONG W. OLIVE AVENUE STREETScape, FACING S. MATHILDA AVENUE



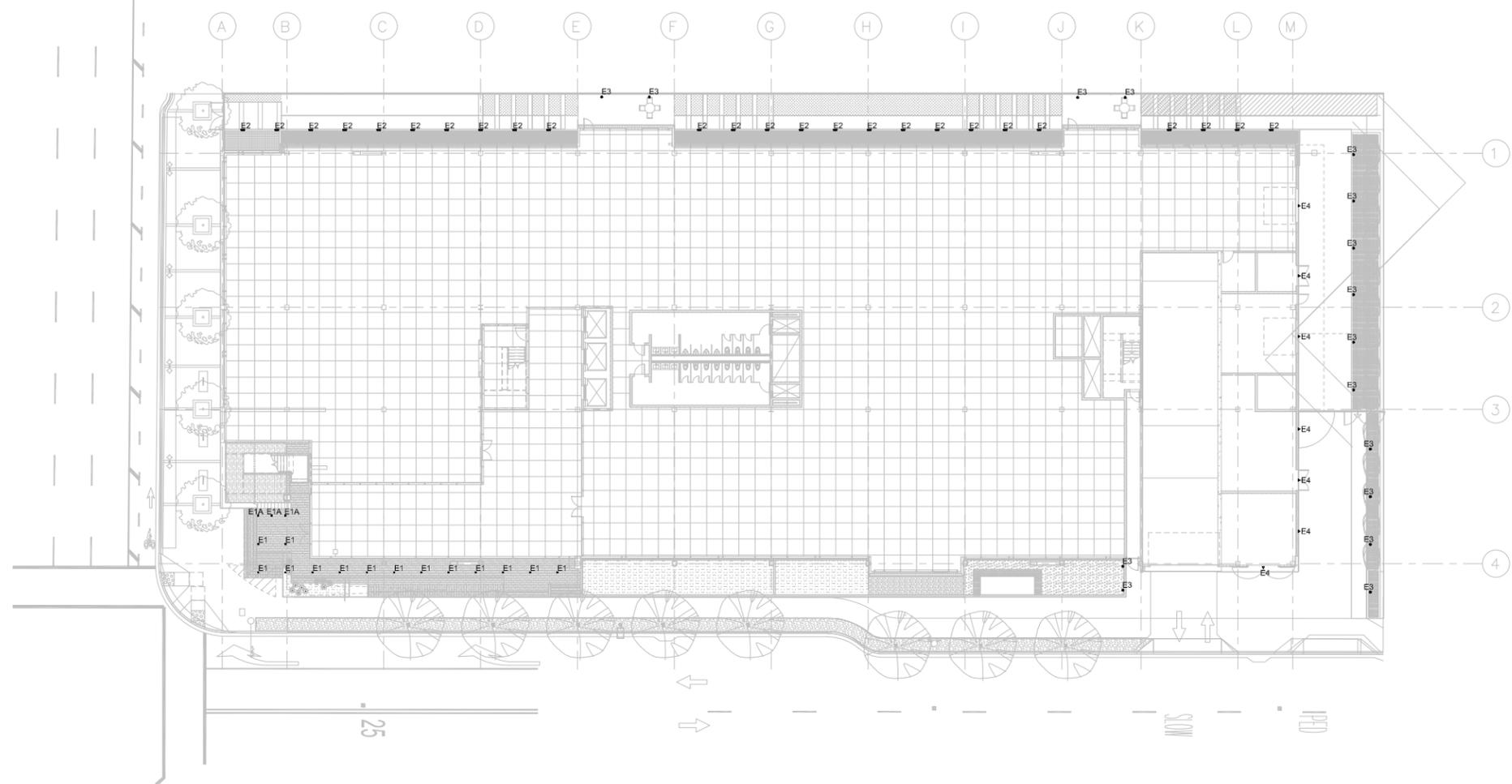
CONSTRUCTION INCORPORATED

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(408)942-8200 Lic. #399163



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San Francisco, CA 94103
415 348 8273 tel | 415 348 8298 fax
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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	03/22/22	PLANNING RESUBMITTAL	
4	04/18/22	PLANNING RESUBMITTAL	
5	05/23/22	PLANNING RESUBMITTAL	

SITE LIGHTING PLAN

JOB NO. 21-018
DATE : 05/23/22
DRAWN:
CHECKED:
ISSUE: PLN RESUBMITTAL

SHEET NO.
LT.1
OF SHEETS

SCALE: 1/16" = 1'-0"

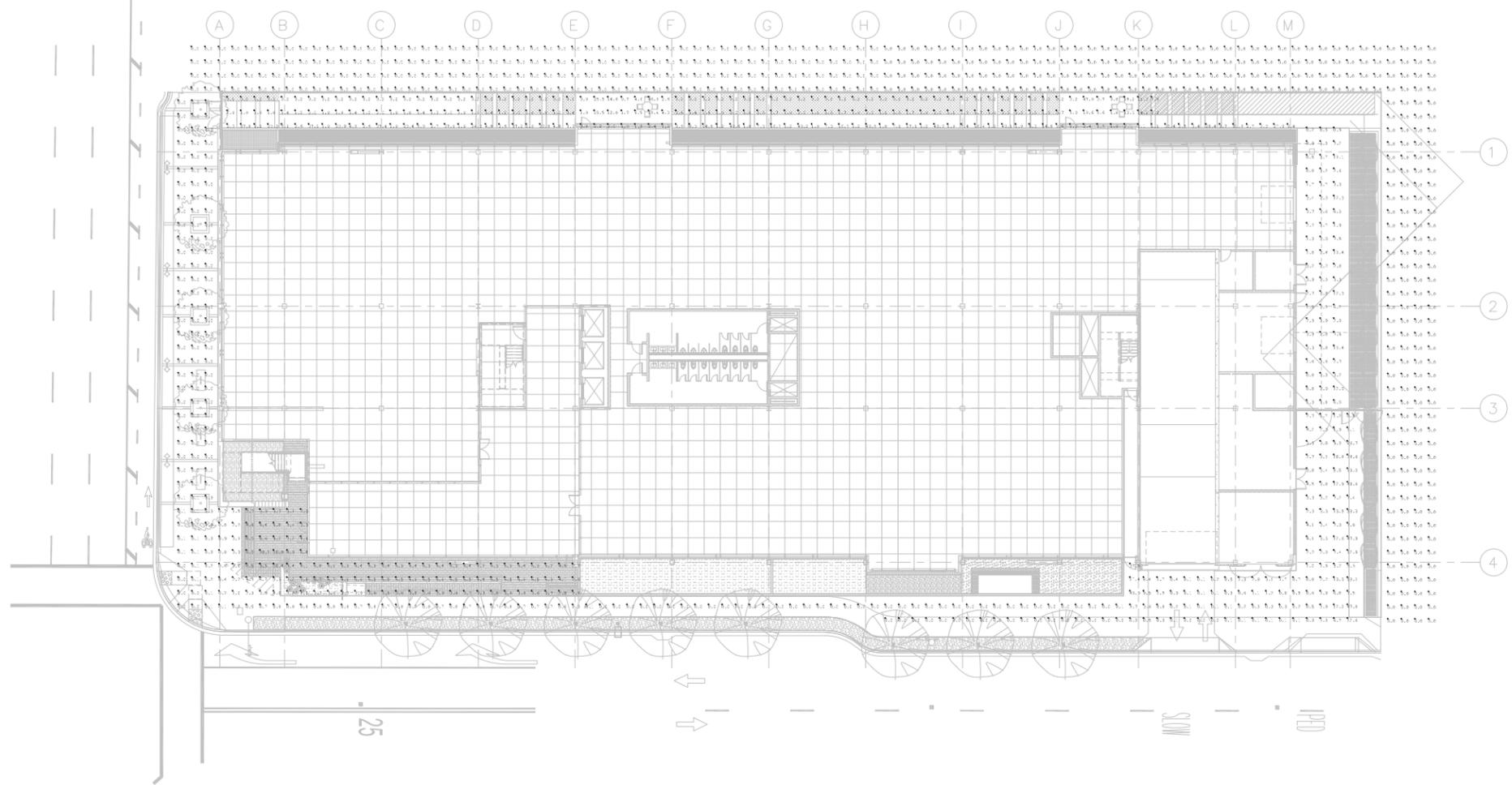


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SCALE: 1/16" = 1'-0"

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NO.	DATE	DESCRIPTION	BY
1	07/02/21	PLANNING SUBMITTAL	
2	01/19/22	PLANNING RESUBMITTAL	
3	03/22/22	PLANNING RESUBMITTAL	
4	04/18/22	PLANNING RESUBMITTAL	
5	05/23/22	PLANNING RESUBMITTAL	

PHOTOMETRIC PLAN	
JOB NO. 21-018	SHEET NO.
DATE : 05/23/22	LT.2
DRAWN:	OF
CHECKED:	SHEETS
ISSUE: PLN RESUBMITTAL	

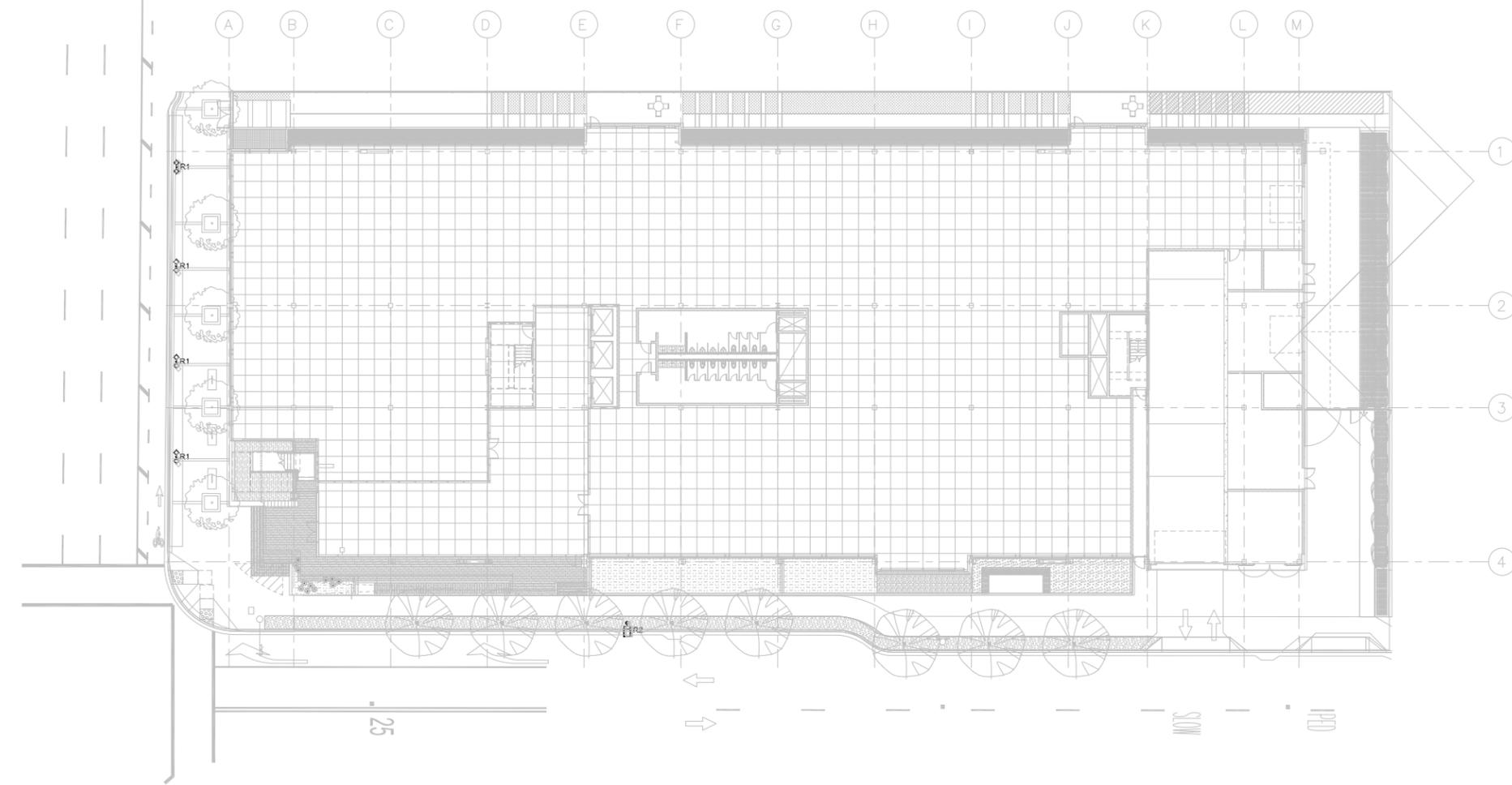


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4	04/18/22	PLANNING RESUBMITTAL	
5	05/23/22	PLANNING RESUBMITTAL	

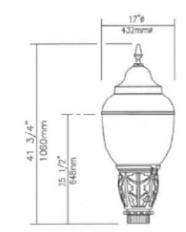
OFF SITE LIGHTING PLAN

JOB NO. 21-018
DATE : 05/23/22
DRAWN:
CHECKED:
ISSUE: PLN RESUBMITTAL

SHEET NO.
LT.3
OF SHEETS

SCALE: 1/16" = 1'-0"

LIGHTING FIXTURE SCHEDULE



TYPE R1:
LUMEC DOUBLE-HEADED DECORATIVE ROADWAY LIGHT
(2) 556-80W48LED4K-R-GL-4-E3-UNIV-SFOK-TN2.875C-RC-FN104HS-8KTX
79W LED



TYPE R2:
LUMEC ROADWAY LIGHT ON 30' POLE
ROADFOCUS MEDIUM
75W LED



490 S MATHILDA
SUNNYVALE, CA

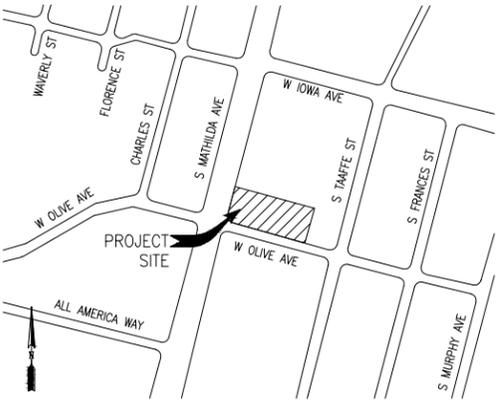


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UTILITY DESIGN CONSULTANTS & ENGINEERS
1460 MARIA LANE, SUITE 420, WALNUT CREEK, CA 94596
Tel: (925) 269-4575



VICINITY MAP
N. T. S.

WORK RESPONSIBILITY
JOINT TRENCH

TRENCHING EXCAVATE & BACKFILL	PG&E	ELECTRIC	CONTRACTOR
GAS MATERIAL SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
PG&E ELECTRIC CABLE SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
ELECTRIC CONDUIT SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
ELECTRIC BOXES SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
ELECTRIC PADS SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
ELECTRIC TRANSFORMERS SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
ELECTRIC INTERRUPTERS SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
PG&E ELECTRIC SWITCHES SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
TELEPHONE CONDUIT SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
TELEPHONE CABLE SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
TELEPHONE SPLICE BOXES SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
TELEPHONE S&I PADS SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
C.A.T.V. CONDUIT SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
C.A.T.V. SPLICE BOXES SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
C.L.E.C. FIBER CONDUIT SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR
C.L.E.C. FIBER SPLICE BOXES SUPPLY & INSTALL	PG&E	ELECTRIC	CONTRACTOR

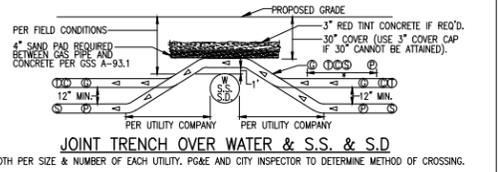
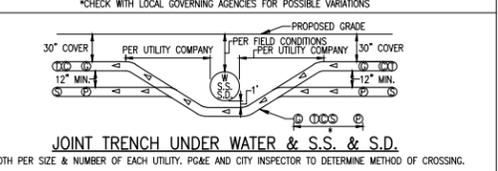
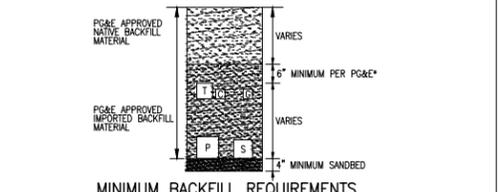
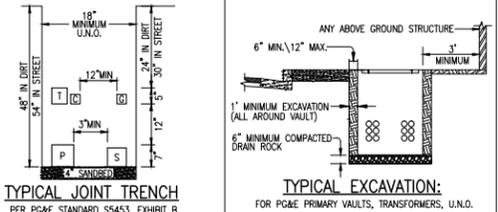
● WORK TO BE PERFORMED BY THE RESPECTIVE CONTRACTOR & UTILITY COMPANIES
○ ASSUME CONTRACTOR RESPONSIBILITY UNLESS OTHERWISE SPECIFIED
○ NOT APPLICABLE UNLESS OTHERWISE SPECIFIED
* PG&E TO PULL CABLE INTO ENERGIZED ENCLOSURES
NOTE: FOR A MORE DETAILED WORK RESPONSIBILITY BREAKDOWN, SEE CORRESPONDING MATERIAL LIST.

THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

	RECEIVED	APPROVED
CIVIL IMPROVEMENT PLANS/GRADING PLANS	05-23-2022	PRELIMINARY
ARCHITECTURAL ELECTRONIC FILE	01-19-2022	PRELIMINARY
APPLICANT DESIGN (GAS)		
APPLICANT DESIGN (ELECTRIC)		
TELEPHONE		
C.A.T.V.		
LANDSCAPE	05-23-2022	PRELIMINARY
LIGHT LOCATIONS		
TRAFFIC SIGNAL LOCATIONS		

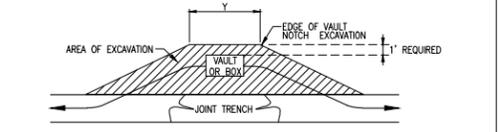
RADIUS DESIGN is not responsible for any subsequent changes or revisions.

OTHER UTILITIES SHOWN ARE APPROXIMATE AND BASED ON FIELD SURVEY AND AVAILABLE UTILITY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND EXTENT OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. PHYSICAL VERIFICATION OF UTILITY LOCATIONS SHALL BE PERFORMED BY CAREFUL PROBING OR HAND DIGGING IN ACCORDANCE WITH ARTICLE 6 OF THE CAL/OSHA CONSTRUCTION SAFETY ORDERS.



NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO PG&E. YOU ARE REQUIRED TO CONTACT THE LOCAL PG&E ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVERS LESS THAN MINIMUM OR COVERS REQUIRING SHORING. CONCRETE CAPPING IS ONLY ACCEPTABLE WHERE NO OTHER SOLUTION IS POSSIBLE AND ONLY WHEN CERTAIN CRITERIA ARE MET AND ONLY WITH PG&E APPROVAL.



PRIMARY BOX SIZE	"Y"	NOTE:
3' x 5'	7"	DISTANCE VARIES PER FIELD CONDITIONS
4'-6" x 8'-6"	11"	

CONDUIT DIAMETER	VERTICAL RADIUS	HORIZONTAL RADIUS
2"	24"	36"
3"	24"	36"
4"	36"	36"
5"	36"	60"

METER TYPE	LOAD (SOFT)	DELIVERY PRESSURE** (PSIG)	PAD SIZE (INCHES)	MIN. WIDTH REQUIRED FOR METER "X" (INCHES)	DISTANCE FROM RISER TO FINISHED WALL (INCHES)	MIN. HOUSELINE STUB OUT (INCHES)
TYPICAL RESIDENTIAL	0-350	0.25	N/A UNLESS USING FLEX-HOSE METER	24	6 TO 9	4
400 TO 1000 GLASS	351-1,400	0.25	N/A UNLESS USING FLEX-HOSE METER	30	6 TO 9	6
1.5M OR 3M ROTARY	601-2,400	2	APPROVED BY PG&E	40 x 36 x 4	52	VARIES
5M OR 7M ROTARY	1,401-3,000	APPROVED BY PG&E	78 x 36 x 4	90	20	VARIES
11M OR 16M ROTARY	3,001-16,000	APPROVED BY PG&E	94 x 36 x 4	106	20	VARIES

*ACTUAL METER-SET CONFIGURATIONS MAY DIFFER DEPENDING ON FIELD CONDITIONS AND RESTRICTIONS. FOR GAS METER DETAILS, SEE SECTION 2 OF CURRENT ELECTRIC & GAS SERVICE REQUIREMENTS GREENBOOK BY PG&E. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT. SEE NOTE 17 UNDER GENERAL NOTES ON SHEET JT-1.
**DELIVERY PRESSURE TO BE CONFIRMED VIA BUILDING PLUMBING AND MECHANICAL PLANS. PG&E MAINTAINS SOLE AUTHORITY TO DETERMINE IF THE ELEVATED DELIVERY-PRESSURE SERVICE IS AVAILABLE AT A SPECIFIC LOCATION.

GENERAL NOTES:

- JOINT TRENCH MUST BE INSTALLED ENTIRELY WITHIN AN EASEMENT. EASEMENTS FOR JOINT TRENCH SERVICE LATERALS WITHIN PROJECT ON PRIVATE PROPERTY ARE AT THE DISCRETION OF THE UTILITY COMPANIES.
- ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
- COVER, CLEARANCES, AND SEPARATION SHALL BE AS GREAT AS PRACTICABLE UNDER THE CIRCUMSTANCES, BUT UNDER NO CIRCUMSTANCES SHALL BE LESS THAN THE MINIMUM COVER, CLEARANCE, AND SEPARATION REQUIREMENTS SET FORTH IN GENERAL ORDER 128 AND 49CFR 192.321, 49CFR 192.325, AND 49CFR 192.327. ALL FACILITIES SHALL BE ANCHORED IN PLACE PRIOR TO COMPACTION, OR OTHER MEANS SHALL BE TAKEN TO ENSURE NO MOTION OF THE FACILITIES. DIMENSIONAL REQUIREMENTS FOR SHADING, LEVELING, AND BACKFILLING SHALL BE DETERMINED SUBSEQUENT TO COMPACTION.
- TRENCH DIMENSIONS SHOWN ARE TYPICAL. TRENCH SIZES AND CONFIGURATIONS MAY VARY DEPENDING UPON OCCUPANCY AND/OR FIELD CONDITIONS. TRENCH SIZE AND CONFIGURATION MUST AT ALL TIMES BE CONSTRUCTED IN A MANNER THAT ENSURES PROPER CLEARANCES AND COVER REQUIREMENTS ARE MET. ANY "CHANGES" TO THE TRENCH WIDTH AND CONFIGURATIONS AS SHOWN IN THIS EXHIBIT MUST BE DESIGNED TO ENSURE THIS REQUIREMENT.
- IT IS PREFERRED TO HAVE NON-PG&E OWNED STREETLIGHTS AT A LEVEL OTHER THAN THE GAS OR ELECTRIC LEVEL. NON-PG&E OWNED STREETLIGHTS MAY BE AT THE ELECTRIC LEVEL OF THE TRENCH AS LONG AS MINIMUM CLEARANCES ARE PROVIDED AND COMPLY WITH ALL SPECIAL NOTES FOR A JOINT TRENCH WITH A SECOND ELECTRIC UTILITY.
- NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH, E.G., IRRIGATION CONTROL LINES, BUILDING FIRE ALARM SYSTEMS, PRIVATE TELEPHONE SYSTEMS, OUTDOOR ELECTRICAL CABLE, ETC.
- WHEN COMMUNICATION DUCTS ARE INSTALLED, A MINIMUM OF 12" RADIAL SEPARATION SHALL BE MAINTAINED FROM GAS FACILITIES. EXCEPTION: WITH MUTUAL AGREEMENT, WHEN 4-INCH DIAMETER OR SMALLER GAS PIPE IS INSTALLED, THE SEPARATION MAY BE REDUCED TO NOT LESS THAN 6 INCHES.
- PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
- MAINTAIN PROPER SEPARATION BETWEEN PG&E FACILITIES AND "WET" UTILITY LINES AS DESCRIBED IN UO STANDARD S5453. THE MINIMUM ALLOWABLE HORIZONTAL SEPARATION BETWEEN COMPANY FACILITIES AND "WET" FACILITIES IS 3' WITH A MINIMUM 1' OF UNDISTURBED EARTH OR THE INSTALLATION OF A SUITABLE BARRIER BETWEEN THE FACILITIES. IF A 3' HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO THE SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL. SEPARATIONS OF 1' OR LESS ARE NOT PERMISSIBLE AND WILL NOT BE ALLOWED. THE COMPANY MAY AGREE TO WAIVE THE MINIMUM 3' SEPARATION REQUIREMENT AT THE REQUEST OF AN APPLICANT IF WARRANTED AND THE NEED IS JUSTIFIED. THE REQUEST FOR A WAIVER MUST:
 - BE MADE IN WRITING AND SUBMITTED TO THE COMPANY ADE DURING THE PLANNING AND DESIGN PHASE OF THE PROJECT.
 - CLEARLY DESCRIBE THE CONDITIONS NECESSITATING THE WAIVER.
 - INCLUDE A PROPOSED DESIGN, AND INCLUDE A DESIGN FOR A BARRIER BETWEEN THE "WET" UTILITIES AND COMPANY DRY FACILITIES IN THE EVENT 1' OF UNDISTURBED EARTH CANNOT BE MAINTAINED. NOTE: DRAIN LINES CONNECTED TO DOWNSPOUTS ON BUILDINGS ARE CONSIDERED A "WET" UTILITY FOR THE PURPOSES OF THIS STANDARD.
- SEPARATIONS SHALL BE MAINTAINED AT ABOVE GROUND TERMINATION POINTS.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING OF PG&E GAS FACILITIES:
 - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE. THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING, OR LEVELING MATERIALS.
 - COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E, FEDERAL, STATE, COUNTY, OR LOCAL REQUIREMENTS.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
 - THE SIZES AND SCREENS SHALL BE:
 - 1/2" Sieve: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
 - 4" Sieve: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING AT PG&E ELECTRIC FACILITIES:
 - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - SHADING MATERIAL: LARGE ROCK, PAVING MATERIAL, CONIDERS, SHARPLY ANGULAR SUBSTANCES, OR CORROSIVE MATERIAL SHALL NOT BE PLACED IN THE TRENCH WHERE SUCH MATERIAL MAY DAMAGE THE CONDUITS AND/OR PREVENT PROPER COMPACTION OVER OR AROUND THE CONDUITS.
 - NATIVE SOILS CONTAINING CLODS NOT TO EXCEED 8" IN DIAMETER MAY BE INCLUDED IN THE SHADING MATERIAL PROVIDED THE CLODS ARE EASILY BREAKABLE BY HAND. NOTE: SOILS CONSISTING PRIMARILY OF ADOBE, HARD COMPACT (DENSE) CLAY, AND SAND SHALL NOT BE USED AS SHADING MATERIAL.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS. REFER TO ENGINEERING DOCUMENT 062288, ITEM 13 ON PAGE 2.
- COMPLETE NATIVE SOILS ARE PREFERRED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING THROUGHOUT THE TRENCH.
 - WHERE NATIVE SOILS EXCEED 1/2" MINUS AND/OR WHERE GAS IS TO BE PLACED AT THE BOTTOM OF A TRENCH IN AREAS THAT EXCEED 1/2" MINUS SOIL CONDITIONS, OR WHERE THE BOTTOM OF A TRENCH IS CONSIDERED TO CONSIST OF HARD PAN, IMPORT MATERIAL SHALL BE USED FOR SHADING AND/OR BEDDING OF GAS FACILITIES.
 - PG&E APPROVED IMPORT MATERIAL IS PER COST ENGINEERING GUIDELINE #123.
 - IF A LEVELING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS CONDITIONS ARE NOT ATTAINABLE WITH THE NATIVE SOILS, THEN THE USE OF PG&E APPROVED IMPORT MATERIALS IS REQUIRED. BEDDING UNDER GAS FACILITIES WILL BE A MINIMUM OF 2" OF COMPACTED 1/2" MINUS NATIVE SOILS OR PG&E APPROVED IMPORT MATERIAL.
 - FOR ELECTRIC FACILITIES, REFER TO NOTE 12. THIS APPLIES TO LEVELING COURSES AS WELL AS SHADING.
 - THE MINIMUM PG&E APPROVED BEDDING MATERIAL MAY BE INCREASED AT THE DISCRETION OF PG&E WHEN WARRANTED BY EXISTING FIELD CONDITIONS (E.G., ROCKY SOILS, HARD PAN, ETC.).
 - THE USE OF ANY IMPORTED MATERIAL FOR BACKFILLING PURPOSES SHALL BE LIMITED TO THOSE SITUATIONS WHEN NATIVE SOILS DO NOT ALLOW FOR REQUIRED COMPACTION.
- THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPOIL AND ASSOCIATED COSTS.
- SEPARATION BETWEEN GAS FACILITIES AND ELECTRIC FACILITIES MAY BE REDUCED TO 6" WHEN CROSSING.
- SERVICE SADDLES ARE THE PREFERRED SERVICE FITTINGS FOR USE THROUGHOUT THE JOINT TRENCH PROJECT. ALL PROJECTS WILL BE DESIGNED AND ESTIMATED USING SERVICE SADDLES. HOWEVER, SERVICE TEES MAY BE USED IF ALL CLEARANCES, SEPARATION, AND COVER REQUIREMENTS ARE MAINTAINED.
- CONTRACTOR TO INCREASE METER SPACING AS NECESSARY WHEN EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT ARE REQUIRED. EARTHQUAKE VALVES ARE REQUIRED IN SOME AREAS AND ARE NOT PART OF PG&E/RADIUS SCOPE. THIS INFORMATION CAN BE FOUND ON BUILDING MECHANICAL ENGINEER'S PLANS. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES.

ELECTRIC VERTICAL CLEARANCE REQUIREMENTS:

- ABOVE ANY THREE-PHASE PAD-MOUNTED TRANSFORMER/EQUIPMENT LOCATION (EXCEPT MIN THREE PHASE), MAINTAIN 30' MINIMUM UNOBSTRUCTED OVERHEAD CLEARANCE OVER PAD.
- ABOVE ANY OTHER TRANSFORMER/EQUIPMENT LOCATION, MAINTAIN 20' MINIMUM UNOBSTRUCTED OVERHEAD CLEARANCE OVER VAULT/PAD.

GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:

- A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION OVER GAS PIPELINES IN BOTH TRANSMISSION AND DISTRIBUTION FACILITIES. THIS INCLUDES TRENCHES, BELL HOLES, EXCAVATIONS FOR REPAIR PURPOSES AND REPAIR REPLACEMENTS. THE WARNING TAPE IS INTENDED FOR EXCAVATOR DIGGING IN THE "TOLERANCE ZONE" TO STRIKE THE WARNING TAPE PRIOR THAN THE PIPELINE. WHEN THE WARNING TAPE IS EXPOSED AND GRABBED WITH EXCAVATING EQUIPMENT IT STRIKES WITHOUT BREAKING, THIS ALERTING THE EXCAVATOR OF THE GAS FACILITY BELOW.
 - INSTALL 6" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" BELOW GRADE, AND NO CLOSER THAN 12" FROM THE PIPE. INSTALLATION SHOULD PROVIDE THE GREATEST DISTANCE BETWEEN THE PIPELINE AND THE TAPE AS POSSIBLE. INSTALL THE TAPE ALONG THE LENGTH OF THE EXCAVATION. INSURE THAT THE TAPE OVERLAPS WHEN TWO OR MORE PIECES OF TAPE ARE USED. EXCEPTION: WHEN A JOINT TRENCH DESIGN DOES NOT ALLOW FOR INSTALLATION OF WARNING TAPE WITHIN THE "WARNING TAPE INSTALLATION ZONE", INSTALL THE WARNING TAPE A MINIMUM OF 6" ABOVE THE GAS PIPELINE AND BELOW THE FACILITY ABOVE THE PIPE.
 - WARNING TAPE SHALL BE BRIGHTLY COLORED YELLOW AND MARKED "CAUTION: GAS LINE BURIED BELOW" OR MARKED WITH A SIMILAR NOTIFICATION.
 - WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.



PG&E PM#S:

ELECTRIC:
GAS:

DESIGN CHANGE COMPONENT
ANY CHANGES TO THIS DESIGN
MUST BE APPROVED BY
PG&E GAS ADE

CONSTRUCTION NOTES:

- ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH PG&E UO STANDARD S5453 (EFFECTIVE DATE 7-5-2006).
- ALL WORK MUST COMPLY WITH P.G. & E. TELEPHONE, C.A.T.V. STANDARDS AND PRACTICES. ALL WORK MUST BE INSPECTED AND APPROVED BY RESPECTIVE INSPECTORS. RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF THREE LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A #4 SIEVE AND 75% MUST PASS THROUGH A #10 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND IS TO BE AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE. THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE. THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING OR LEVELING MATERIALS. COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE P.G. & E. FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS. ANY NATIVE SOILS OR IMPORT MATERIALS USED MUST NOT HINDER THOSE EFFORTS.
- BACKFILL SHALL BE APPROVED BY THE UTILITY COMPANIES AND THE CITY. COMPACTION WILL BE TESTED AND PASSED BY THE SOILS ENGINEER.
- IF SOIL IS NOT ROCK FREE, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
- VERIFY SPLICE BOX EXCAVATION SIZES WITH SUPPLIER(S).
- THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION. THE TRENCHING CONTRACTOR TO PLACE CONNECTING CONDUIT WITHIN 5' OF BUILDING EXTERIOR WALL.
- CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- IT IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES. NO EXTRA PAYMENT WILL BE CONSIDERED FOR CROSSING OTHER SYSTEMS.
- RADIUS DESIGN ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THESE DRAWINGS WERE PREPARED USING DATA SUPPLIED BY PG&E, TELEPHONE, C.A.T.V. IMPROVEMENT PLANS AND THE CITY'S VARIOUS "AS BUILT" INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY REVIEW THE PROJECT PRIOR TO SUBMITTING HIS BID.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A., INDUSTRIAL SAFETY ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING NEAR ENERGIZED OR "HOT" EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER. PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT CONSTRUCTION STAKING. HE SHALL COORDINATE STAKING WITH THE PROJECT'S CIVIL ENGINEER.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS PRIOR TO START OF WORK.
- CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK.
- THIS PLAN IS TO BE USED FOR SOLE PURPOSE OF DIGGING THE JOINT TRENCH. SEE PG&E AT&T AND COMCAST PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS INSTALLED IN THE JOINT TRENCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CORRECT NUMBER, SIZE AND TYPES OF CONDUITS ARE INSTALLED PER THE ENGINEERED PLANS BY EACH UTILITY COMPANY.
- NOTE: PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING MAY BE SUBJECT TO REVISIONS, IF FINAL PLANS FROM EACH UTILITY COMPANY WERE NOT AVAILABLE AT THE START OF CONSTRUCTION.
- WATER, SEWER, DRAINS, SANITARY WASTE, FUELS (INCLUDING DIESEL AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES, SPRINKLER, IRRIGATION, STEAM AND OTHER "WET" FACILITIES SHALL MAINTAIN A MINIMUM OF THREE FEET FROM THE NEAREST OUTER SURFACE OF PG&E FACILITIES WITH NO LESS THAN ONE FOOT OF EARTH (SOIL SHORER) BETWEEN THE ADJACENT SIDES OF THE INDIVIDUAL TRENCHES.
- IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL.
- ALL METER PANELS: INDIVIDUAL, RESIDENTIAL, OR NONRESIDENTIAL APPLICANTS WITH A METER PANEL RATING OF ANY SIZE, INSTALLED INSIDE A METER ROOM OR OTHER STRUCTURE, MUST FOLLOW ALL OF THE REQUIREMENTS DESCRIBED BELOW.
 - INSTALL, OWN, AND MAINTAIN A SEPARATE, NOMINAL, 2-INCH DIAMETER CONDUIT WITH PULL TAPE INSIDE THE CONDUIT AND PULL TAPE MUST EXTEND FROM THE OUTSIDE SURFACE OF THE BUILDING AND TERMINATE OUTSIDE THE METER PANEL OR SWITCHBOARD AT THE TOP OF THE METER SECTION.
 - ENSURE THE 2-INCH DIAMETER CONDUIT AND PULL TAPE EXIT THE OUTSIDE OF THE BUILDING A MINIMUM OF 8 FEET AND A MAXIMUM OF 10 FEET ABOVE GROUND. THE OPEN END OF THE CONDUIT THAT IS EXPOSED TO THE OUTSIDE MUST HAVE A REMOVABLE, TEMPORARY CAP OR PLUG.
 - DO NOT USE THE CONDUIT, THE CONDUIT IS FOR PG&E'S METERING EQUIPMENT ONLY.
- THIS JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHICAL SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY. RADIUS STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.
- EXCAVATION DIMENSIONS FOR TIE-IN TO EXISTING ELECTRIC CONDUITS ARE AT THE DISCRETION OF THE PG&E FIELD INSPECTOR. CONTRACTOR TO COORDINATE WITH INSPECTOR AND EXPOSE UP TO 20' OR MORE OF EXISTING CONDUITS WHEN NEEDED.

SUBSTRUCTURE VERIFICATION STAMP

DEVELOPER
PLEASE NOTE AND SIGN

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO THE CORRECT DEPTH AND COVER. THE DEVELOPER'S ENGINEER, ALL COSTS TO RELOCATE OR RE-ADJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR SUFFICIENTLY CORRECT GRADE OF ALL ENCLOSURES OR BOXES, AND SIGN AND DATE DRAWING.

THANK YOU

SIGNED: _____
DATE: _____

UTILITY APPROVALS		
UTILITY	APPROVED BY	DATE
PG&E ELECTRIC		
PG&E GAS		
AT&T (PHONE)		
COMCAST (CATV)		
CITY ENGINEER		

FOR RADIUS USE ONLY		
QA REVIEW		
INTENT	INITIALS	REVIEW DATE
COMPOSITE		
PRE-CON		
PRE-CON		

DEVELOPER:

THE MINKOFF GROUP
6762 VIRGO ROAD
OAKLAND, CA 94611
DANIEL MINKOFF
T: (415) 730-2802
E: DMINKOFF@MINKOFFGROUP.COM

SHEET INDEX

JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH INTENT



GENERAL NOTE:
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

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REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOINT TRENCH
TITLE SHEET

JOB NO. 21-1155	SHEET NO.
DATE: 05/23/22	JT-1
DRAWN: HN	
CHECKED: MC	
ISSUE: PLN RESUBMITTAL	
	1 OF 2 SHEETS

UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

-PRELIMINARY-
NOT FOR CONSTRUCTION

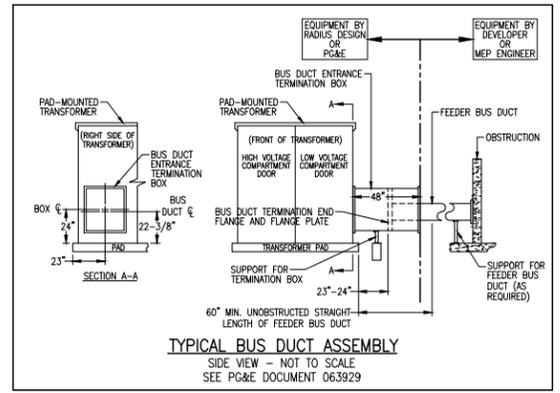
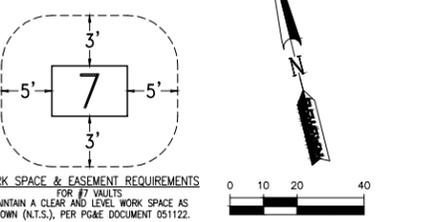
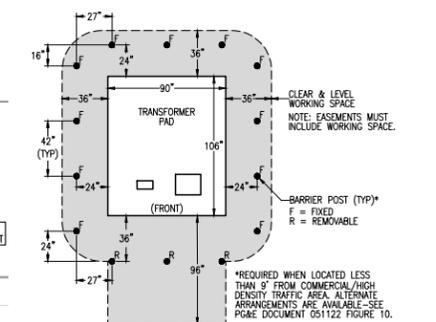
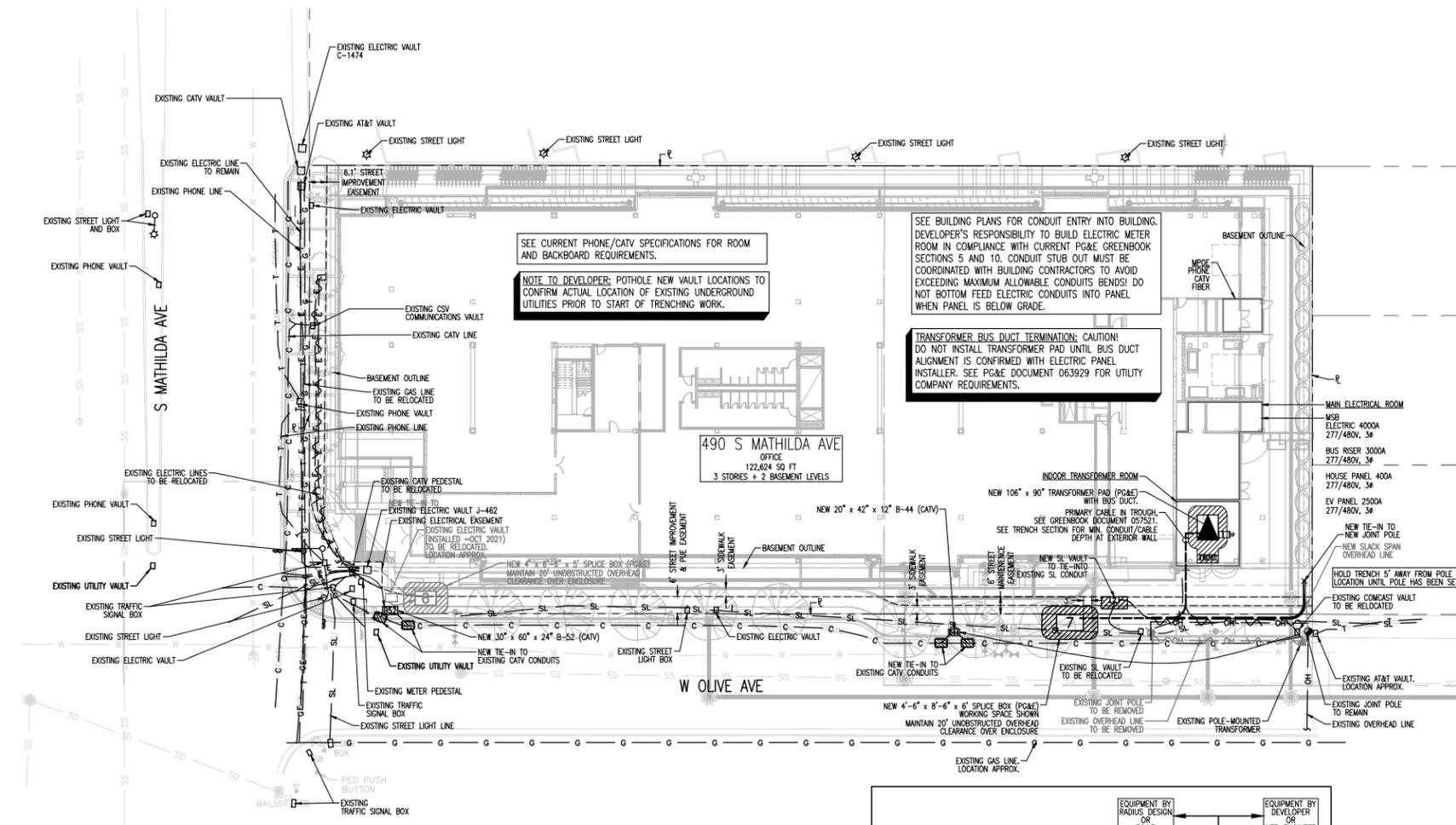
THIS IS NOT A BID DOCUMENT
THIS DRAWING HAS NOT YET BEEN REVIEWED BY
UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JT-1)

LEGEND:

NEW	DESCRIPTION
---	JOINT TRENCH
⬢	106" x 90" TRANSFORMER PAD (PG&E) WITH BUS DUCT WORKING SPACE SHOWN. MAINTAIN 30' UNOBSTRUCTED OVERHEAD CLEARANCE OVER PAD.
⬢	4'-6" x 8'-6" x 6' SPLICE BOX (PG&E) WORKING SPACE SHOWN. MAINTAIN 20' UNOBSTRUCTED OVERHEAD CLEARANCE OVER ENCLOSURE.
⬢	4' x 6'-6" x 5' SPLICE BOX (PG&E) WORKING SPACE SHOWN. MAINTAIN 20' UNOBSTRUCTED OVERHEAD CLEARANCE OVER ENCLOSURE.
⬢	17" x 30" x 18" SPLICE BOX (PG&E) WORKING SPACE SHOWN.
⬢	30" x 60" x 24" B-52 (CATV)
×	JOINT POLE

EXISTING	DESCRIPTION
— OH	OVERHEAD LINE
— E	ELECTRIC LINE
— G	GAS LINE
— T	PHONE LINE
— C	CATV LINE
— SL	STREET LIGHT LINE
⬢	JOINT POLE
⬢	STREET LIGHT
⬢	DECORATIVE LIGHT
⬢	ELECTRIC LINE TO BE RELOCATED
⬢	GAS LINE TO BE RELOCATED
⬢	OVERHEAD LINE TO BE REMOVED
⬢	JOINT POLE TO BE REMOVED
⬢	POLE-MOUNTED TRANSFORMER TO BE REMOVED



NOTE TO COMCAST:
PLEASE CONFIRM WHO WILL PROVIDE CONDUIT AND VAULTS. DEVELOPER TO PROVIDE TRENCH.

REFER TO PG&E UTILITY BULLETIN TD-7001R-005 DOCUMENT FOR SMART METER ANTENNA CONSTRUCTION REQUIREMENTS.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION. SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE SHEET (JT-1) REGARDING EXISTING CONDITIONS.

NOTE FOR UNDERGROUND ELECTRIC INSTALLATION:
USE OF PVC DB-120 IS NO LONGER APPROVED BY PG&E FOR ANY CONDUIT SIZES, BENDS, AND FITTINGS. RIGID PVC SCHEDULE 40 MUST BE USED IN PLACE OF PVC DB-120 CONDUIT. FOR ALL APPROVED CONDUITS, BENDS, AND FITTINGS, SEE PG&E BULLETIN TD-062288-B006.

SEE CURRENT PHONE/CATV SPECIFICATIONS FOR ROOM AND BACKBOARD REQUIREMENTS.
NOTE TO DEVELOPER: POTHOLE NEW VAULT LOCATIONS TO CONFIRM ACTUAL LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF TRENCHING WORK.

SEE BUILDING PLANS FOR CONDUIT ENTRY INTO BUILDING. DEVELOPER'S RESPONSIBILITY TO BUILD ELECTRIC METER ROOM IN COMPLIANCE WITH CURRENT PG&E GREENBOOK SECTIONS 5 AND 10. CONDUIT STUB OUT MUST BE COORDINATED WITH BUILDING CONTRACTORS TO AVOID EXCEEDING MAXIMUM ALLOWABLE CONDUITS BENDS! DO NOT BOTTOM FEED ELECTRIC CONDUITS INTO PANEL WHEN PANEL IS BELOW GRADE.
TRANSFORMER BUS DUCT TERMINATION: CAUTION! DO NOT INSTALL TRANSFORMER PAD UNTIL BUS DUCT ALIGNMENT IS CONFIRMED WITH ELECTRIC PANEL INSTALLER. SEE PG&E DOCUMENT 063929 FOR UTILITY COMPANY REQUIREMENTS.

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JT-1 JOINT TRENCH TITLE SHEET
JT-2 JOINT TRENCH INTENT



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JOINT TRENCH INTENT

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CHECKED: MC	
ISSUE: PLN RESUBMITTAL	
2 OF 2 SHEETS	

THE
Minkoff
GROUP

490 S MATHILDA
SUNNYVALE, CA

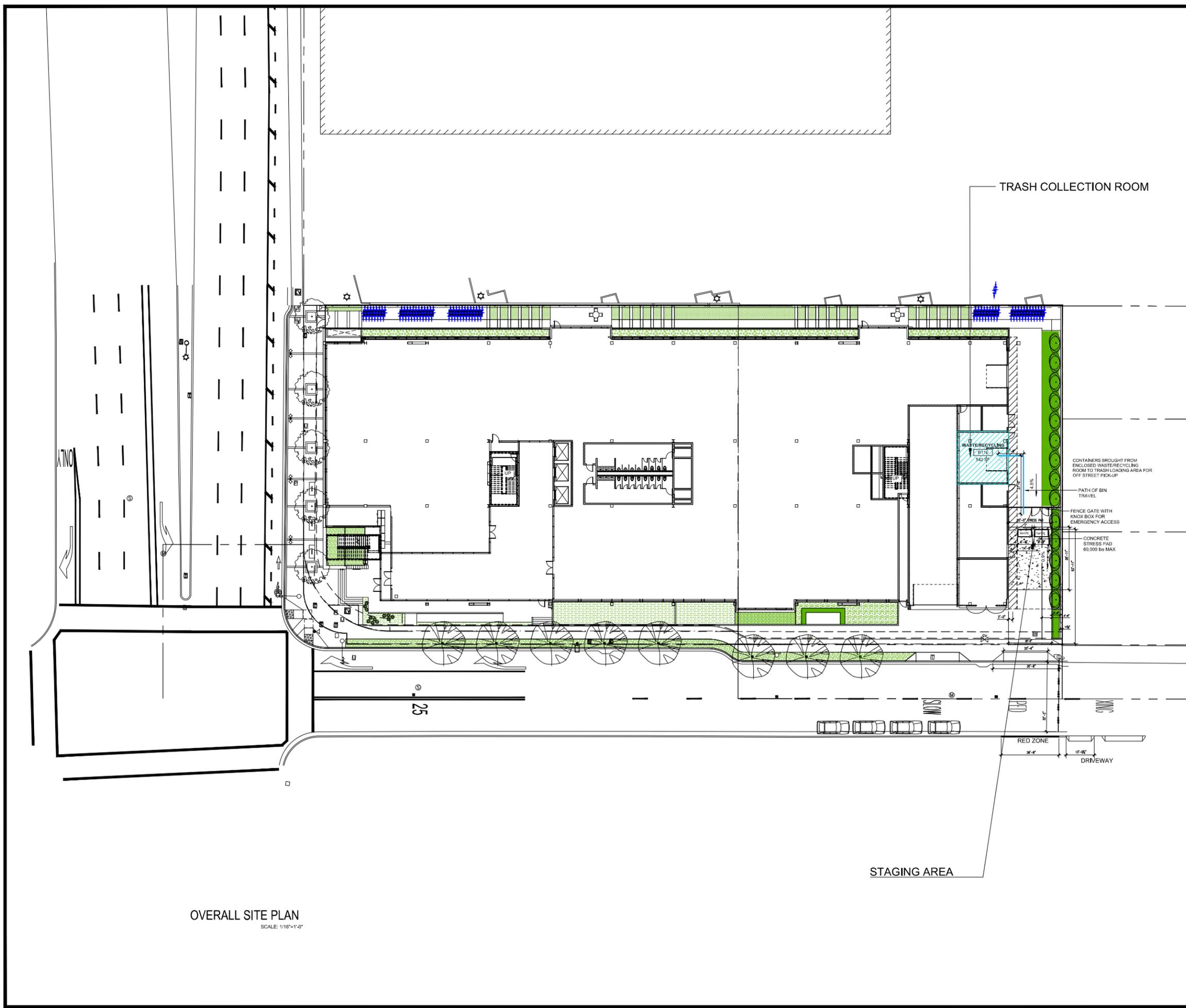


CONSTRUCTION
INCORPORATED

690 Gibraltar Drive
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AMERICAN TRASH MANAGEMENT
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F: 415-292-5410
SEROW@TRASHMANAGE.COM



OVERALL SITE PLAN
SCALE: 1/16"=1'-0"

GENERAL NOTES
CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT.
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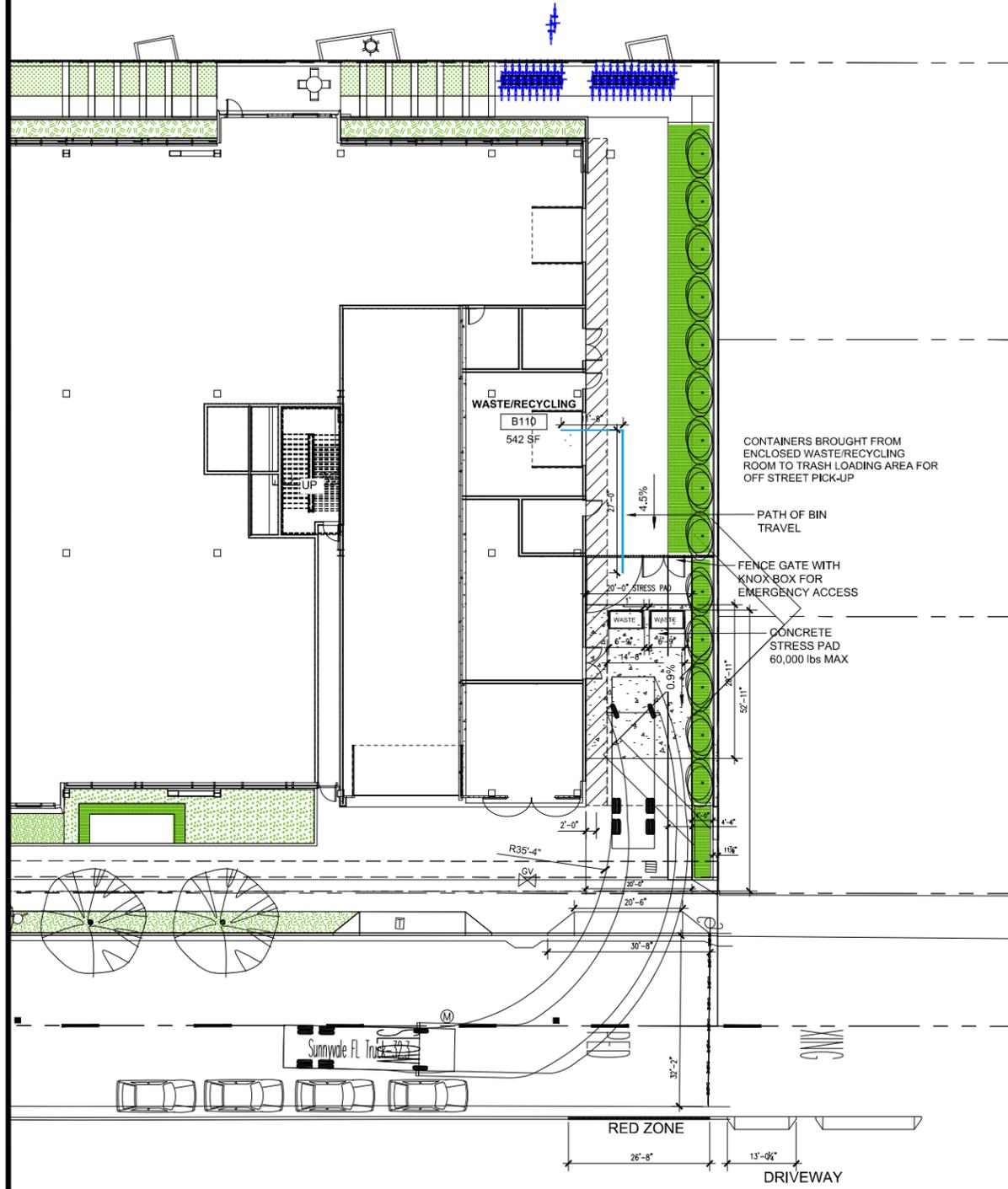
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1	OF 4 SHEETS

THE
Minkoff
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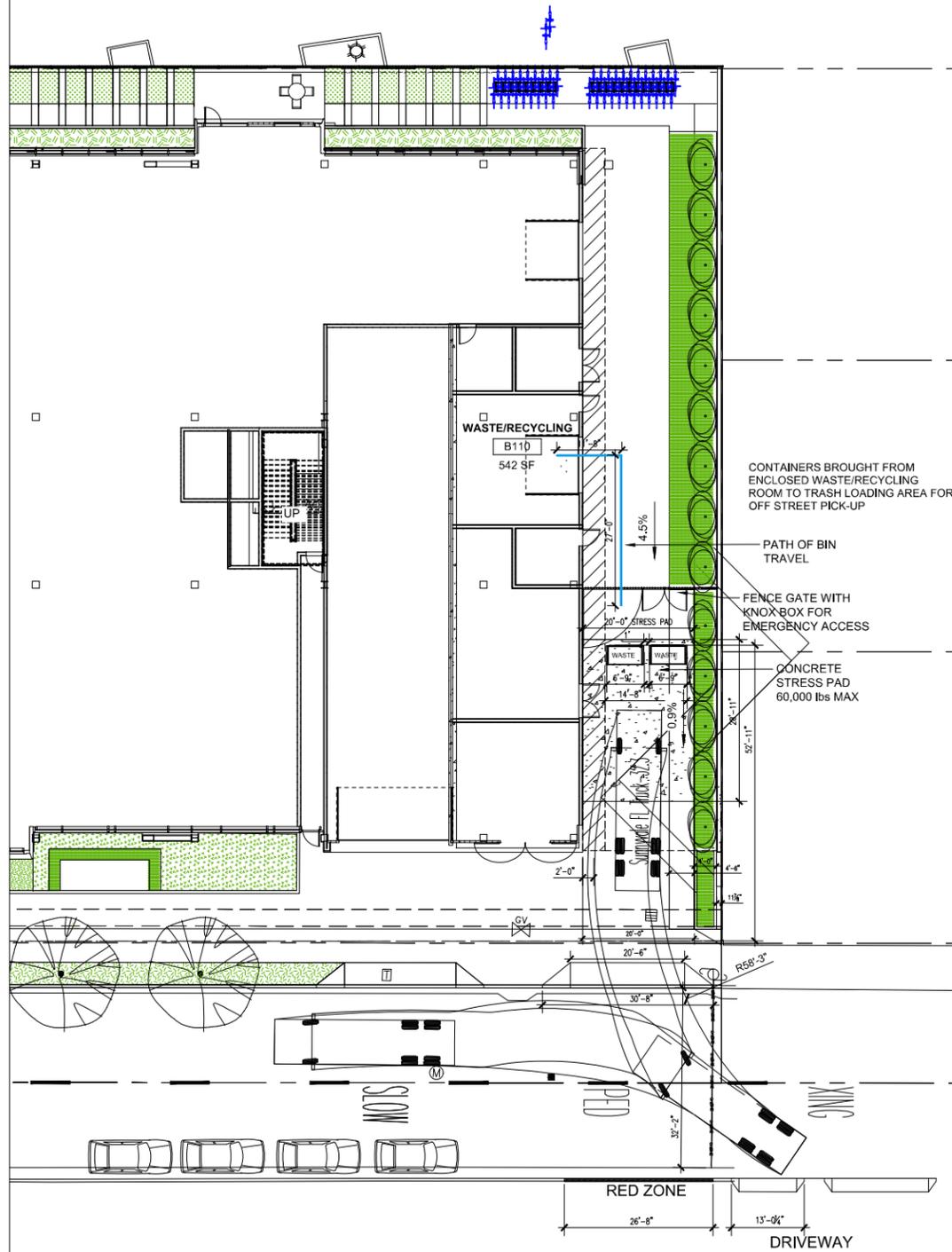
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FRONT LOAD TRUCK
ENTERING THE PROPERTY



FRONT LOAD TRUCK
EXITING ON OLIVE ST TOWARDS MATHILDA AVE

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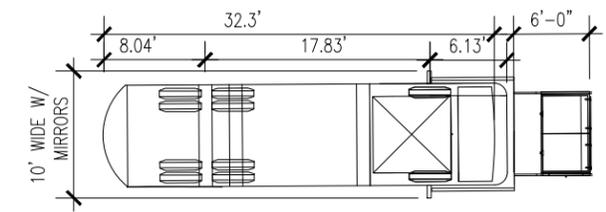
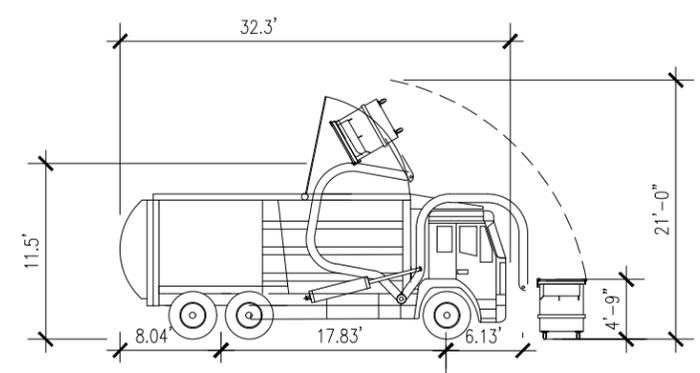
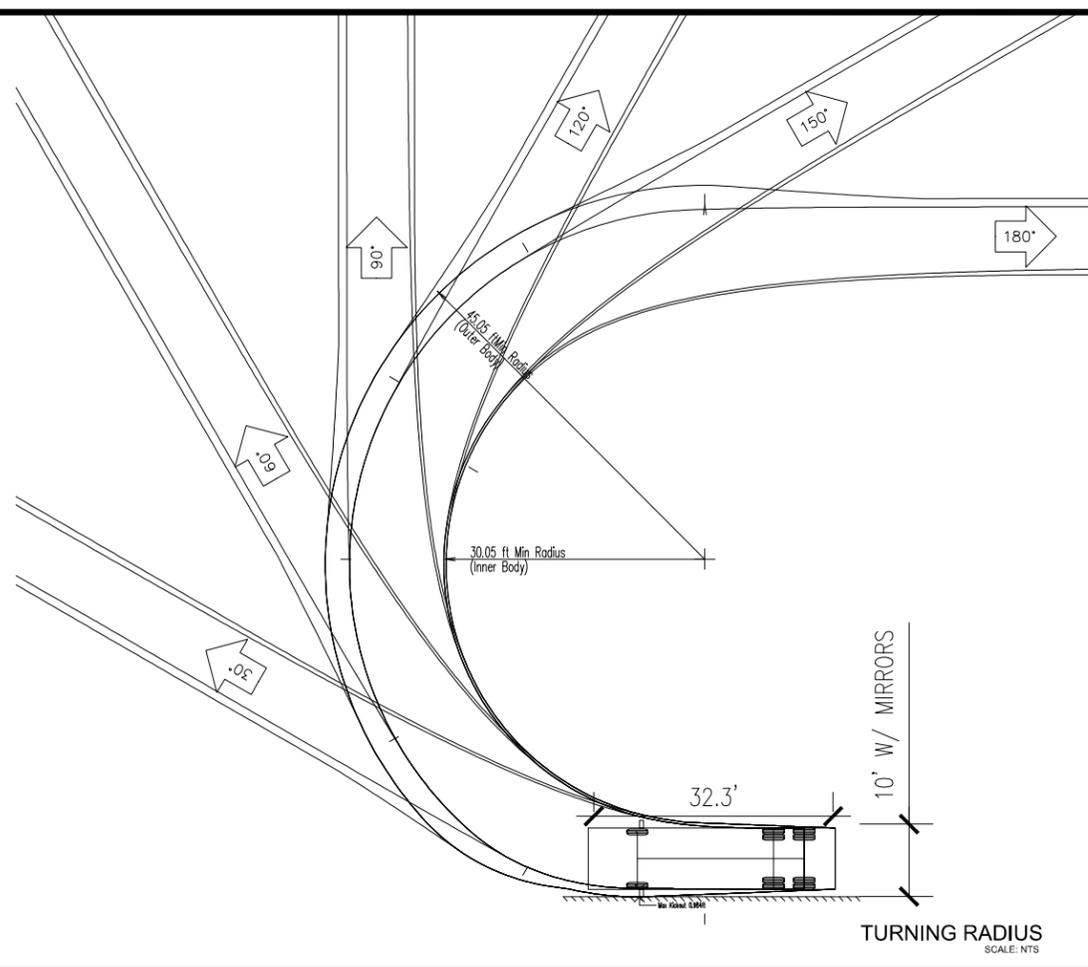
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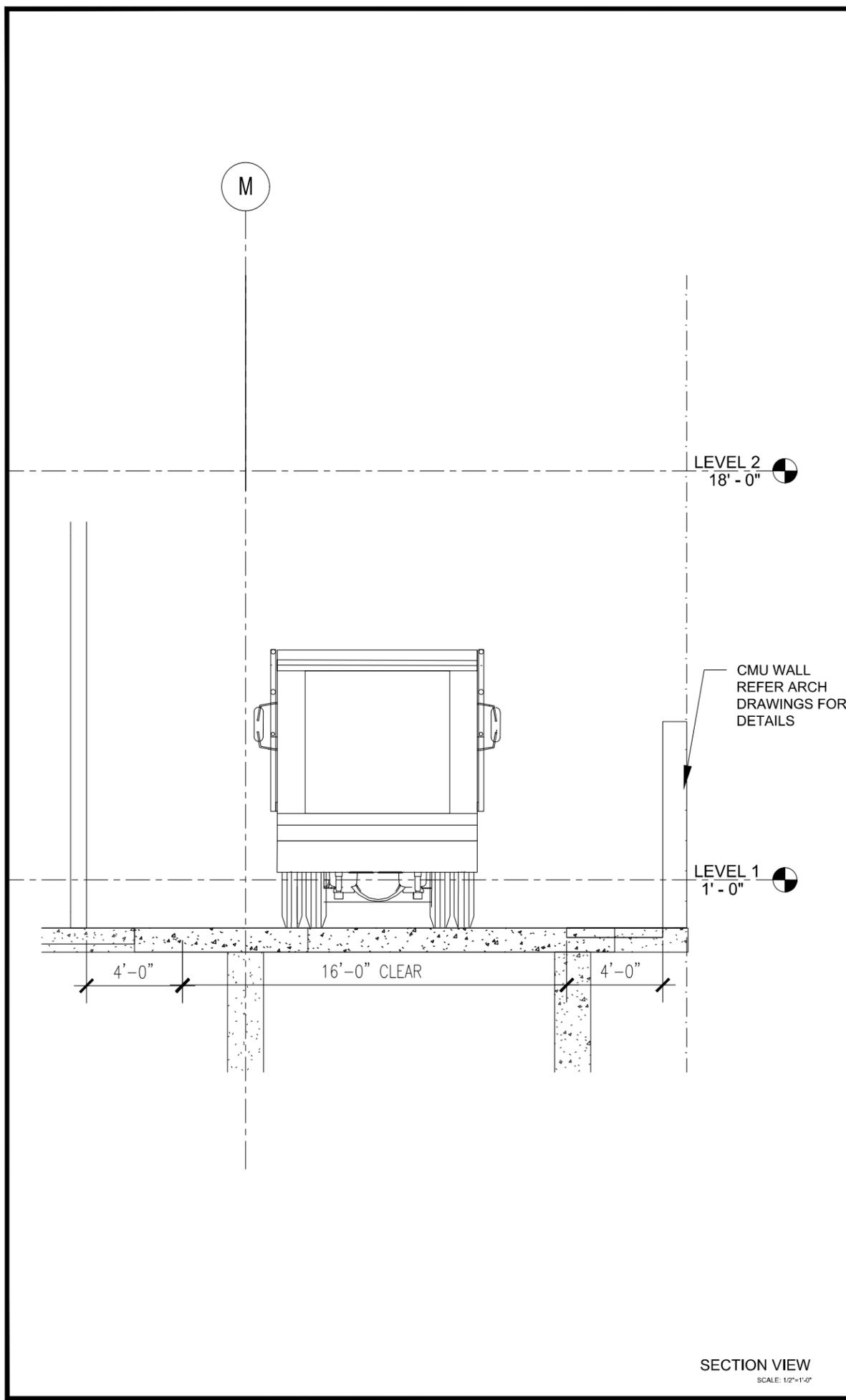
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TRUCK DIMENTIONS
SCALE: 3/16"=1'-0"



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