

NOTE:

GC TO MAINTAIN ADJOINING STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIAL AND DEBRIS DURING CONSTRUCTION PERIOD, AND MAINTAIN FIRE TRUCK ACCESS TO OTHER PROPERTIES.

GC TO INSTALL STRAW WATTLE AS NEEDED DURING CONSTRUCTION TO PREVENT RUNOFFS ON ADJACENT SITES, AND PUBLIC RIGHT OF WAY.

(E) DS TO REMAIN, INSTALL (N) SPLASH PAN AS NEEDED.

(N) DS TO CONNECT TO (E) DRAIN SYSTEM W/ 4" PVC AS NEEDED, OR TO STOP ABOVE A SPLASH PAN.

ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND NOT ONTO ADJACENT PROPERTIES.

WHEN NEW FOUNDATIONS ARE NEEDED FOR THE PROJECT, AT THE TIME OF FOUNDATION INSPECTION WHEN REQUIRED BY CITY INSPECTOR OR PART OF PERMITTING APPROVAL REQUIREMENTS, CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCROACH IN THE SETBACK.

THE CONSTRUCTION OF PERMANENT STRUCTURES IS NOT PERMITTED WITHIN THE PUBLIC UTILITY EASEMENT (PUE). STRUCTURES ARE LIMITED TO 15 FEET IN HEIGHT WITHIN THE WIRE CLEARANCE EASEMENT (WCE). BUILDINGS, STRUCTURES, BALCONIES, OR OVERHANGS ARE NOT PERMITTED WITHIN PUES. IF THERE ARE EXISTING STRUCTURE(S) WITHIN THE PUE, PLEASE BE AWARE THAT IF MAINTENANCE OR INSTALLATION OF PUBLIC FACILITIES ARE REQUIRED WITHIN THE PUE, THE PROPERTY OWNER IS TO REMOVE THE STRUCTURE(S) AT THE APPLICANT'S EXPENSE.

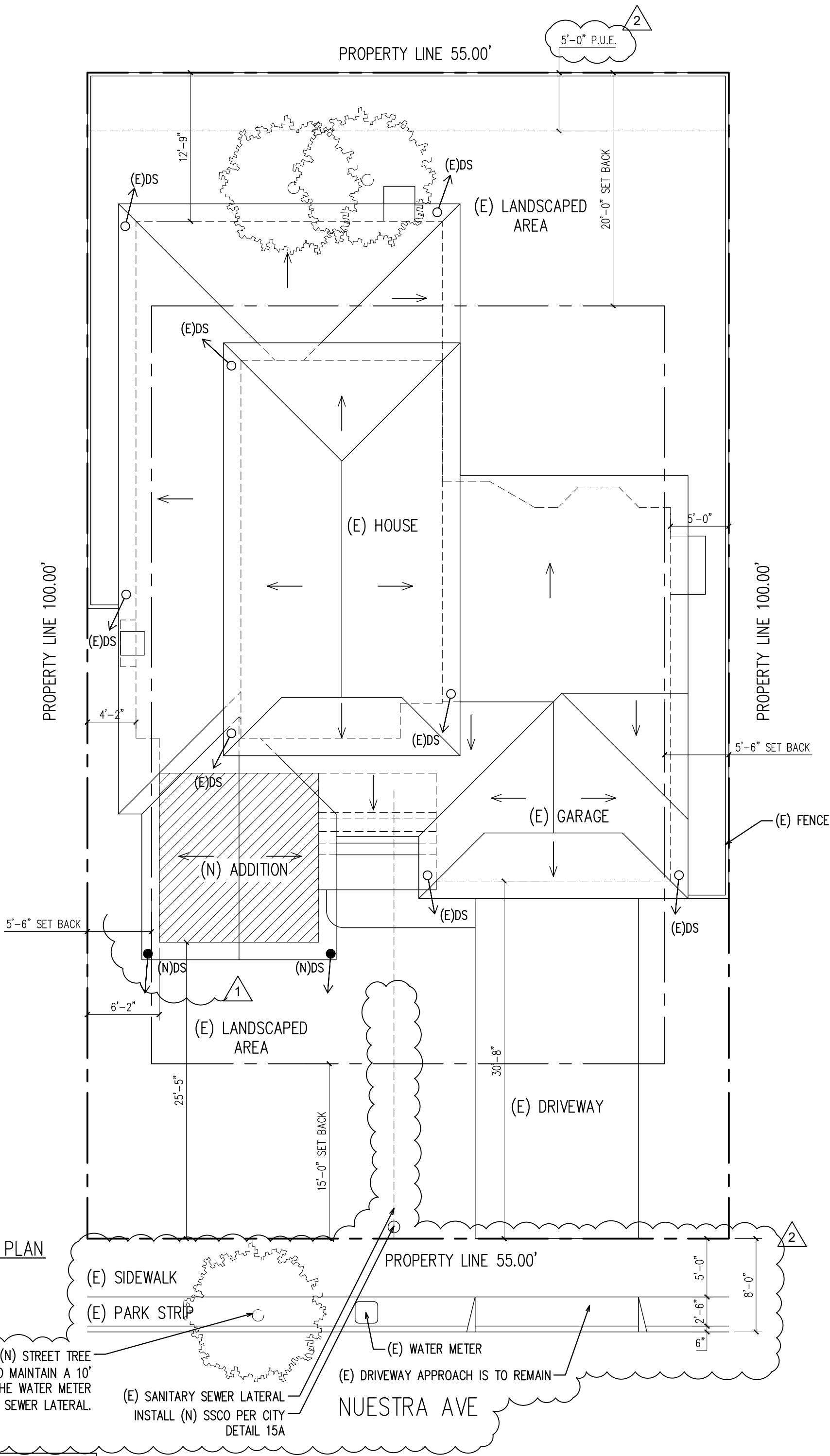
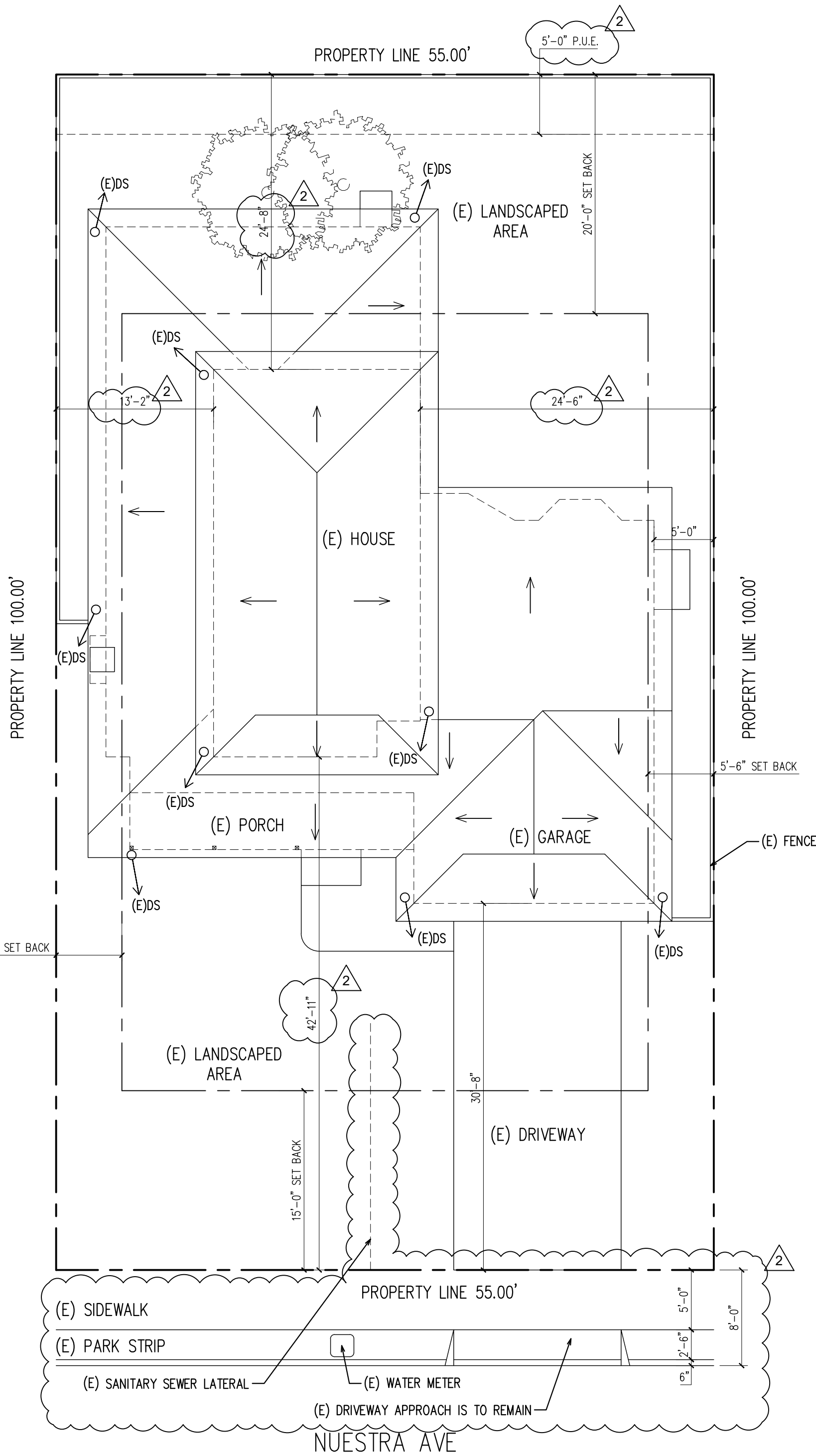
CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT.

THE APPLICANT IS RESPONSIBLE FOR RESTORING AND REPLACING ANY DAMAGE IN THE PUBLIC RIGHT OF WAY CAUSED DUE TO CONSTRUCTION ACTIVITIES.

IF A SAME PLACE WATER METER UPGRADE IS REQUIRED, A SELF-GENERATED ENCROACHMENT PERMIT CAN BE APPLIED FOR VIA THE E-ONESTOP ONLINE SERVICE.

<https://sunnyvaleca-energypub.tylerhost.net/apps/SelfService#/home>

INCREMENTAL SEWER CONNECTION FEES WILL NOT APPLY AS A 5-BEDROOM DWELLING UNIT EXISTS. THE DWELLING UNIT IS CURRENTLY AT STANDARD OCCUPANCY.



UPON COMPLETION OF ON-SITE CONSTRUCTION, A STREET TREE WORK PERMIT APPLICATION IS TO BE SUBMITTED FOR PROCESSING FOR THE INSTALLATION OF A TREE(S) ALONG YOUR PROJECT FRONTAGE(S). AN ENCROACHMENT PERMIT IS TO BE OBTAINED FOR THE REMOVAL OF DECORATIVE CONCRETE, PAVERS WITHIN THE PARK STRIP, IF APPLICABLE.

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

CONTRACTOR'S NOTES:

- CONTRACTOR SHALL BE FULLY INSURED AND LICENSED IN THE STATE WHERE WORK IS TAKING PLACE.
- THE CONTRACTOR SHALL NOT ORDER MATERIALS NOR SCHEDULE THE WORK UNTIL ALL PLAN DIMENSIONS, SPECIFICATIONS, NOTES, HAVE BEEN VERIFIED IN FIELD.
- DRAWINGS, SHOP DRAWINGS AND EXISTING CONDITIONS ARE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. THE GC SHALL INFORM THE ARCHITECT OF ANY CONFLICTS IN WRITING BEFORE CONSTRUCTION COMMENCES. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST AS PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY.
- IT IS THE RESPONSIBILITY OF THE GC TO NOTIFY THE OWNER AND THE ARCHITECT OF RECORD OF ANY CONDITION FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR SHOP DRAWINGS AND OF NOTED CONFLICTS FOUND ON THE PLANS OR SHOW ON DRAWINGS THAT MAY AFFECT THE COMPLETION OF THE PROJECT, BEFORE SUCH WORK COMMENCES.

- THE GC SHALL REVIEW AND COMPARE THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, PLUMBING, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS, AS PROVIDED IN PERMIT SET.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO POURING CONCRETE; ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OF RECORD BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING AND NEW PROPERTIES OF THE OWNER OR ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, INCLUDED BUT NOT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND IMPLEMENT SHORING SYSTEM PRIOR TO THE

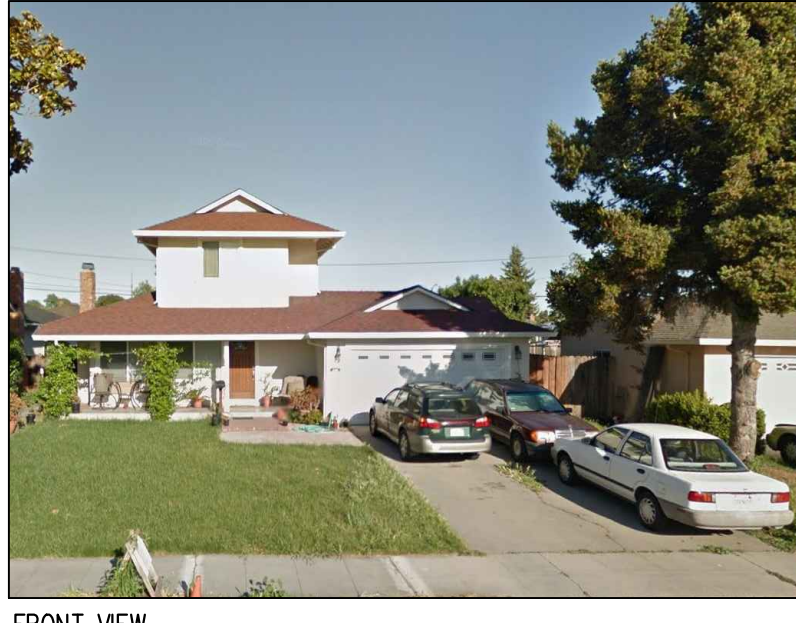
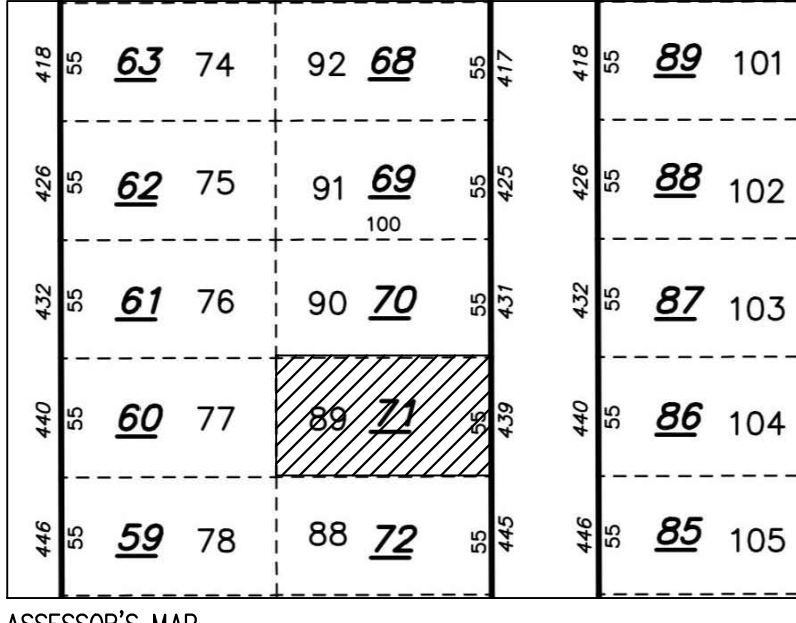
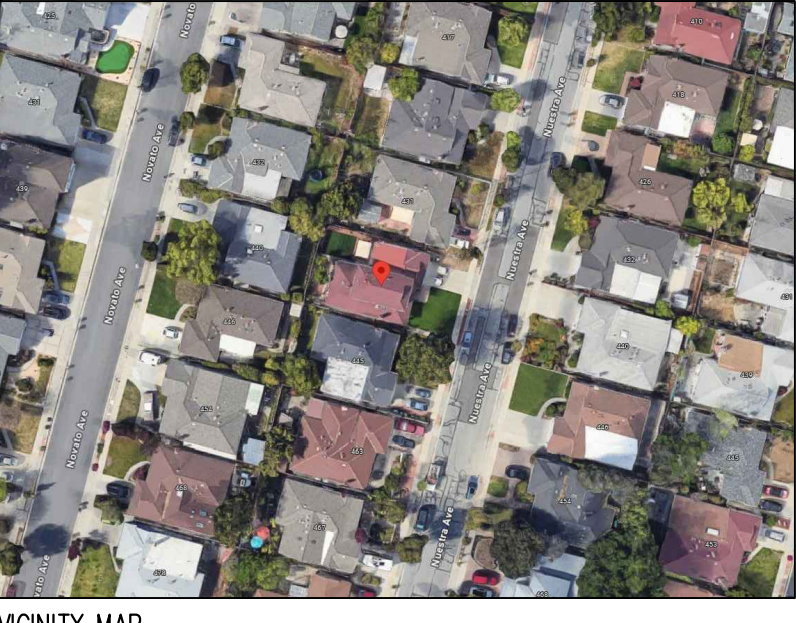
BEGINNING OF CONSTRUCTION.

- WHEN A CONFLICT EXISTS ON THE PLANS AND SPECIFICATIONS, DETAIL NOTES AND DRAWINGS SHALL GOVERN AND WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED MEASUREMENTS.
- UNLESS SHOWN OTHERWISE, DETAILS SHOWN ON TYPICAL DETAIL SHEETS SHALL BE USED WHEREVER APPLICABLE. SPECIFIC DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER TYPICAL ARCHITECTURAL DETAILS. SPECIFIC NOTES ON STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER NOTES SHOWN IN GENERAL NOTES.
- MANUFACTURERS' NOTES AND SPECIFICATIONS SHALL APPLY WHEN PER CODE.
- DO NOT SCALE DRAWINGS.
- GC IS RESPONSIBLE FOR LOCATING AND AVOIDING UTILITIES. CALL USA NORTH AT 1-800-227-2600.
- VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL OF CODE

REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED BUILT COMPLIES WITH ALL LOCAL, STATES AND FEDERAL REGULATIONS, LAWS AND CODE REQUIREMENTS.

- WHEN MANUFACTURED ROOF TRUSSES ARE INSTALLED, GC TO PROVIDE TRUSSES CALCS SIGNED BY LICENCE PROFESSIONAL FOR APPROVAL BY CITY OR COUNTY. CALC TO BE REVIEWED AND APPROVED BY ENGINEER OF RECORD PRIOR TO BE SUBMITTED TO THE BUILDING OFFICIAL.
- THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE MARSHALL WILL REVIEW THE SCOPE OF WORK AND DETERMINE IF THE EXISTING BUILDING WILL NEED TO BE REQUIRED TO BE RETROFITTED WITH FIRE SUPPRESSION SPRINKLERS. GC TO CONTACT FIRE DEPARTMENT FOR VERIFICATION, AND UPGRADE WATER METER, LINES AS NECESSARY. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE ON DEFERRED PERMIT AND SUBMITTED BY THE GC.
- GC TO READ, BE FAMILIAR AND FOLLOW ALL STANDARD PROVISIONS, CONSTRUCTION GUIDE LINES AND REQUIREMENTS OF LISTED, CURRENTLY APPLICABLE CODES AND ORDINANCE.

439 NUESTRA AVENUE, SUNNYVALE, CA 94086



GENERAL SYMBOLS	
	ALL DIMENSIONS
	(E) WALL
	REMOVED WALL
	(N) WALL
	SHEAR WALL
APPLICABLE CODES & STANDARDS	
CITY / COUNTY CODES AND ORDINANCES CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE 2022 2022 EDITION OF THE TITLE 24 STANDARDS	
ARCHITECT:	
NAME: ROMAIN CURTIS ARCHITECT #C35019 ANURA DESIGN 367 CIVIC DR #3, PLEASANT HILL, CA94523 phone: 510.612.0345 roman@anuradesign.com	
OWNER'S REPRESENTATIVE:	
ANTON KLEIN 439 NUESTRA AVENUE SUNNYVALE, CALIFORNIA 94086	
PROJECT DATA	
OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	NO
STORIES:	2
APN:	165-07-071
FLOOD ZONE:	X
ZONING:	RO
NET SITE AREA:	5,500 SF
(E) 1ST FLOOR:	1,427 SF
(E) 2ND FLOOR:	533 SF
(E) GARAGE:	434 SF
(E) ENTRY PORCH:	114 SF
(E) FOOT PRINT:	1,975 SF
(E) LOT COVERAGE:	35.90%
(E) TOTAL CONDITIONED SPACE:	1,960 SF
(E) TOTAL FLOOR AREA:	2,394 SF
(E) FAR:	43.5%
MAX FAR:	45% 2,575 SF
MAX LOT COVERAGE:	40% 2,200 SF
(N) SUN ROOM ADDITION:	193 SF
(N) TOTAL CONDITIONED SPACE:	2,153 SF
(N) PORCH:	50 SF
(N) TOTAL FLOOR AREA:	2,587 SF
(N) FAR:	47.03%
(N) TOTAL FOOT PRINT:	2,104 SF
(N) LOT COVERAGE:	38.25%
SCOPE OF WORK	
193 SF ADDITION AND MINOR INTERIOR REMODEL TO AN EXISTING FULLY-DETACHED SINGLE FAMILY RESIDENCE.	
NO CHANGES PROPOSED TO SECOND FLOOR NO CHANGE TO LANDSCAPING NO CHANGE TO PARKING NO CHANGE TO IMPERVIOUS AREA NO CHANGE TO DRAINAGE	
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SITE PLAN -- PROJECT DATA	
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A2b	EXISTING ELEVATIONS
A3	PROPOSED FLOOR PLAN
A4	PROPOSED ELEVATIONS
A5	PROPOSED SECTION & ROOF VENT CALCULATION AND DIAGRAM
A6	DETAILS
GN1	GENERAL NOTES
GN2	MANDATORY MEASURES
GN3	MANDATORY MEASURES
GN4	CALGREEN FORMS
GN5	POLLUTION PREVENTION PLAN
EN1	TITLE 24
EN2	TITLE 24
SN1	STRUCTURAL NOTES
SN2	STRUCTURAL NOTES
ST1	TYPICAL FOUNDATION DETAILS
ST2	TYPICAL FRAMING DETAILS
FOUNDATION PLAN	
S2	LOWER ROOF & SECOND FLOOR FRAMING PLAN & FIRST FLOOR WALLS
FOUNDATION DETAILS	
SD1	FOUNDATION DETAILS
SD1.1	FOUNDATION DETAILS
SD2	FRAMING DETAILS
SD2.1	FRAMING DETAILS
WSWH1	STRONG-WALL WSWH
WSWH2	STRONG-WALL WSWH
NOTES:	
- ALL PERMITS EXCEEDING \$1,000.00 IN VALUATION SHALL REQUIRE INSTALLATION OF APPROVED SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE DWELLING.	
- ALL PERMITS EXCEEDING \$10,000.00 IN VALUATION SHALL REQUIRE THE INSTALLATION OF AN APPROVED AUTOMATIC GAS SHUT-OFF DEVICE ON THE CUSTOMER OWNED PIPING AT THE UTILITY METER.	
- VE & INSTALL A MOTION SENSITIVE AUTOMATIC GAS SHUTOFF VALVE ON GAS METER WHEN REQUIRED.	
- BUILDING ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES IN HEIGHT OR 3 INCHES IN HEIGHT AND SELF-ILLUMINATED.	
- CARBON MONOXIDE ALARM AND DETECTOR SHALL BE INSTALLED IN ACCORDANCE W/ THE MANUFACTURER'S INSTRUCTIONS, NFPA 720 INSTALLATION STANDARDS AND CRC.	
ALL SMOKE ALARMS SHALL BE 110V CONNECTED TO THE BUILDING WIRING (W/ BATTERY BACKUP INCLUDING LOW BATTERY WARNING FEATURE)	
ALL SMOKE ALARMS TO BE INTERCONNECTED.	

Attachment 5
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anura
design

REVISIONS

1	02/15/2025
2	03/28/2025
3	06/25/2025
4	
5	

ARCHITECT:

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ARCHITECT #C35019
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OWNER'S REPRESENTATIVE:

ANTON KLEIN
439 NUESTRA AVENUE
SUNNYVALE, CALIFORNIA 94086

PROJECT DATA

OCCUPANCY: R-3 / U
CONSTRUCTION TYPE: VB
FIRE SPRINKLERS: NO
STORIES: 2
APN: 165-07-071
FLOOD ZONE: X
ZONING: RO
NET SITE AREA: 5,500 SF

(E) 1ST FLOOR: 1,427 SF
(E) 2ND FLOOR: 533 SF
(E) GARAGE: 434 SF
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(E) FOOT PRINT: 1,975 SF
(E) LOT COVERAGE: 35.90%
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(E) TOTAL FLOOR AREA: 2,394 SF
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MAX FAR: 45% 2,575 SF
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NO CHANGE TO PARKING
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ALL SMOKE ALARMS TO BE INTERCONNECTED.

ADDITION / REMODEL
439 NUESTRA AVE,
SUNNYVALE, CA 94086

SITE PLAN
PROJECT DATA

DRAWN BY
CA008

CHECKED BY
CA007

ISSUE DATE
10/31/2024

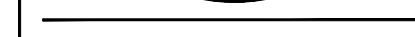
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ANURA JOB NO
CA2410-0031

SHEET

A-1

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CA008

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10/31/2024

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CAZ# 10-0051

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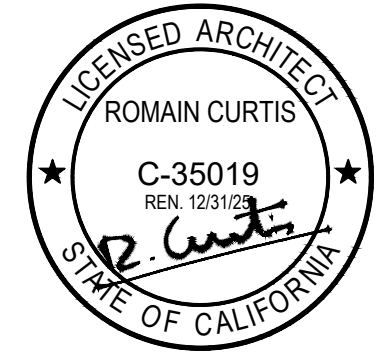
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REVISIONS

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ADDITION / REMODEL
439 NUESTRA AVE,
SUNNYVALE, CA 94086

EXISTING
ELEVATIONS

DRAWN BY
CA008
CHECKED BY
CA007
ISSUE DATE
10/31/2024
SCALE
1/4"=1'-0"
ANURA JOB NO
CA2410-0031
SHEET

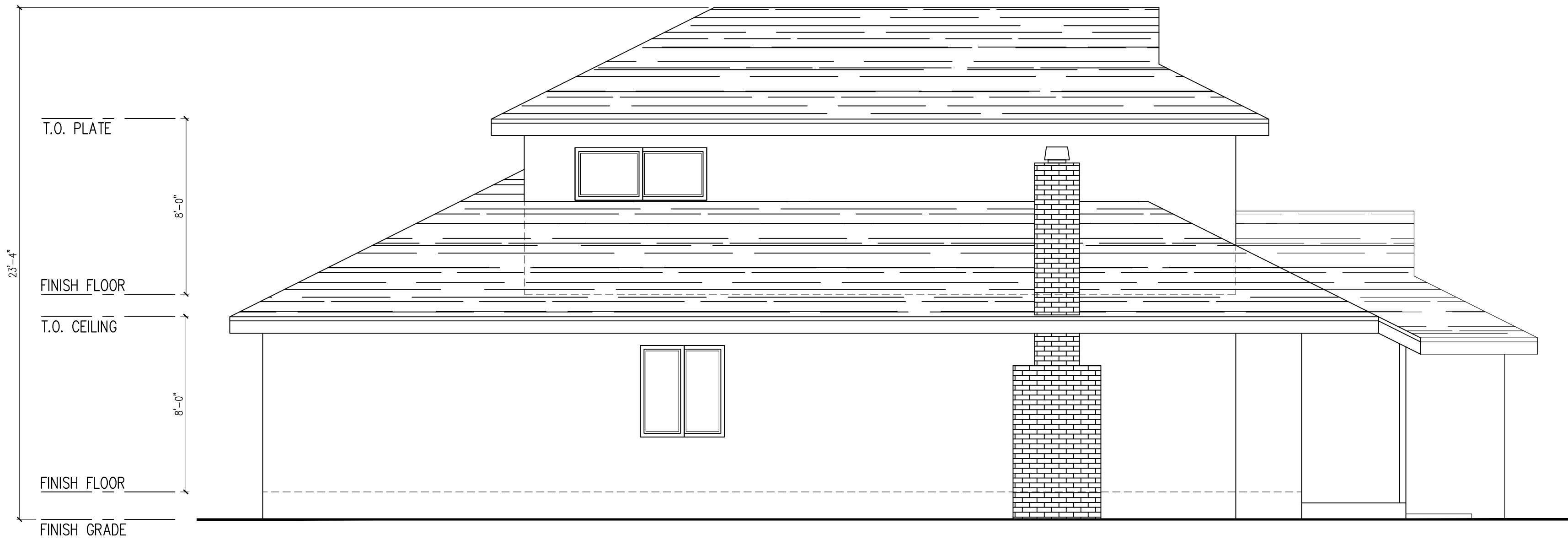
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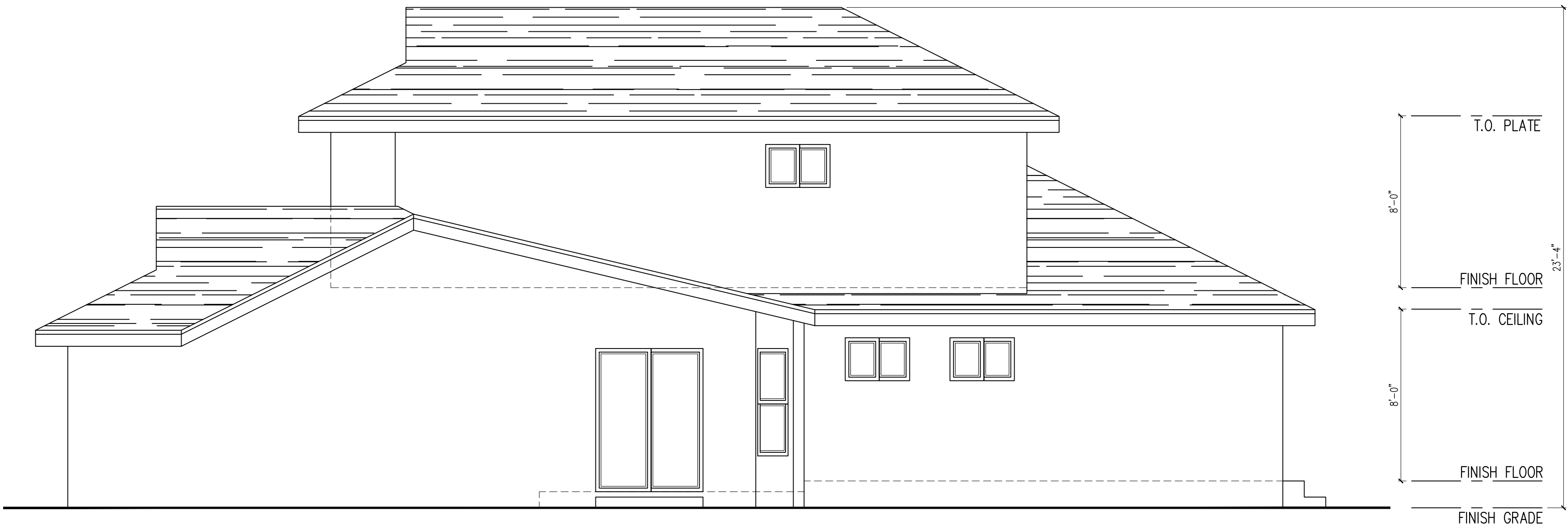
1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

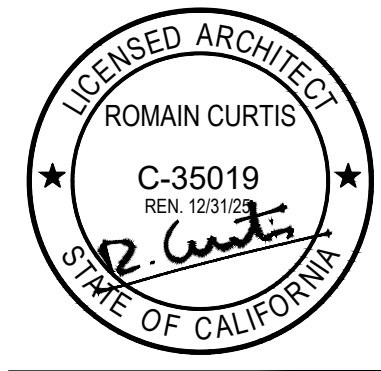


4 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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ADDITION / REMODEL
439 NUESTRA AVE,
SUNNYVALE, CA 94086

PROPOSED
PLAN

DRAWN BY
CA008
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CA007
ISSUE DATE
10/31/2024
SCALE
1/4"=1'-0"
ANURA JOB NO
CA2410-0031
SHEET

A-3

ELECTRICAL PLAN KEY NOTES

- NEW CARBON MONOXIDE ALARMS AND SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. THEY SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET FROM A PERMANENTLY INSTALLED COOKING APPLIANCE, IONIZATION SMOKE ALARMS AND PHOTOELECTRIC SMOKE ALARMS ARE PERMITTED TO BE INSTALLED 10 FEET OR GREATER FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- ARC FAULT CIRCUIT INTERRUPTERS IN ALL ROOMS - UON
- (N) BATHROOM. PROVIDE AT LEAST ONE 20-AMP CIRCUIT AT BATHROOM. CIRCUIT SHALL HAVE NO OTHER OUTLETS. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED - SUITABLE FOR WET/DAMP LOCATIONS. MECHANICAL VENTILATION (EXHAUSTED FAN) IS REQUIRED IN ALL BATHROOMS. BATHROOM EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CGCS 4.506.1 AND SHALL INCLUDE THE FOLLOWING: HAVE AN EXHAUST RATE OF MIN 50 CFM AND BE ENERGY STAR COMPLIANT AND HAVE A BACKDRAFT DAMPER. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. BATHROOM EXHAUST FAN CONTROLS MUST COMPLY WITH ONE OF THE FOLLOWING:
ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS. FOR AN EXHAUST FAN WITH AN INTEGRAL LIGHTING SYSTEM, IT SHALL BE POSSIBLE FOR THE LIGHTING SYSTEM TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
IF FAN IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2, MAXIMUM SOUND RATING OF 3-SONES IS ALLOWED AT 100 CFM.
LIGHTS AT BATHROOM ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
EXHAUST FAN SHOWING IN THE BATHROOMS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. (CENC 150.0(K) 2 (B)).
- VACANCY SENSOR
- OUTDOOR LIGHTING SHALL BE CONTROLLED BY MANUAL ON/OFF SWITCH AND CONTROLLED BY PHOTOCELL AND MOTION SENSOR OR PHOTOCONTROL TIME SWITCH CONTROL/ASTRONOMICAL TIME CLOCK/ENERGY MANAGEMENT CONTROLS SYSTEM.
- WEATHERPROOF EXTERIOR GRADED OUTLET

FLOOR PLAN KEY NOTES

- SEE ATTACHED MANDATORY MEASURES TO BE FOLLOWED OR/AND DONE DURING CONSTRUCTION PER 2022 CRC
- APPROVED ADDRESS NUMBER FOR EACH UNIT TO BE CONTRAST W/ BACKGROUND COLOR, MIN 4" HIGH, MIN STROKE OF 3" AND BE ILLUMINATED, AND CLEARLY VISIBLE FROM THE STREET
- WF & INSTALL INSTANT GAS SHUT OFF
- BATHROOM - SHOWER COMPARTMENT TO HAVE A MIN. FINISHED INTERIOR OF 1,024 SQ INCHES. ALL WALLS ADJACENT TO SHOWER TO A HEIGHT OF 72" ABOVE DRAIN TO BE TILED ON FIBER CEMENT BACKER BOARD 30" DIAM. - CLR ALL WALLS ADJACENT TO TUB TO A HEIGHT OF 72" ABOVE DRAIN TO BE TILED ON FIBER CEMENT BACKER BOARD DRYWALL MUST CONTINUE BEHIND TUB/SHOWERS. GYPSUM BOARD USED AS BACKER SHALL NOT BE INSTALLED OVER A GLASS 1 OR 1/2 VAPOR RETARDER AT TUB OR SHOWER COMPARTMENTS. CRC R702.2.7 TOILET TO HAVE 15" CLR MIN. OC. EACH SIDE AND 24" CLR MIN IN FRONT
- TEMP. GLASS
- (N) EXTERIOR WALL 2X6 OF #2 MIN. 1/2" X WOOD SHEATHING - R-21 INSULATION UON IN T24 2 LAYER GRAD TP BLDG. PAPER SIDING AND TRIM OR STUCCO TO MATCH (E) - UON
- (N) CONCRETE FOUNDATION SOIL TO SLOPE AWAY FROM FOUNDATION 10' MIN AT 5% ALL SILL PLATE TO BE PT WOOD - NO EXCEPTION
- (N) CONCRETE STAIRS AND LANDING
- (N) FRENCH DRAIN
- AT DOOR, 36" MIN DEPTH LANDING TO BE NO MORE THAN 1-1/2" BELOW 1/2" THRESHOLD - LANDING TO SLOPE AWAY 1/4" PER FOOT MIN
- DRY ROT - REPAIR AND REPLACE AS NECESSARY
- MAINTAIN AT LEAST 6" BETWEEN THE WEEP SCREED AND DIRT. MAINTAIN AT LEAST 6" BETWEEN THE WEEP SCREED AND ANY PAVED AREA
- SLOPE AWAY 1/4" PER FOOT MIN
- AT VAULTED CEILING CLOSED-CELL FOAM STOP AIR AND MOISTURE R VALUE PER INCH = +/- 6.5
- CONCRETE LANDINGS AT EXTERIOR DOORS AND EXTERIOR STAIRS EQUAL TO THE WIDTH OF THE DOOR/STAIRS MIN AND A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36" AND SLOPE OF EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" PER FOOT (2% SLOPE). [8831.1.3 CRC]
- ALL EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES WHEN REQUIRED IN THE 2022 MANDATORY MEASURE. ALL NEW FIXTURES TO COMPLY WITH THE 2022 MANDATORY MEASURE. SEE G02 FOR LOW FLOW WATER FIXTURE REQUIREMENTS. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE.
- DO NOT CUT INTO SLAB PRE TENSION CABLES IN SLAB GC TO PROVIDE OWNER AND ARCHITECT WITH A SCAN OF THE SLAB SHOWING LOCATION OF PRE TENSIONED CABLE IN SLAB PRIOR TO ANY CUT IN SLAB.

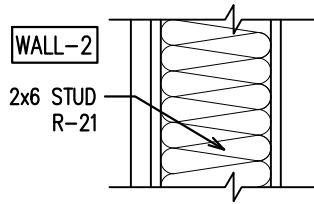
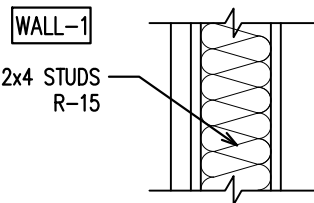
NOTES:
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL DETAILS AND LOCATION, AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN.

FOOTING:
GC TO WF THAT THE (E) FOUNDATION SYSTEM IS CONSISTENT WITH THE PROPOSED DESIGN (PIER HERS SPREAD FOOTING, MAT FOOTING...)
GC TO WF EXISTING FOOTING BEFORE ANY FOUNDATION WORK IS DONE. GC TO WF THAT PROPOSED FOOTING ARE SIMILAR AND CONSISTENT WITH EXISTING FOOTING SYSTEM (PIER - PIER, SPREAD FOOTING - SPREAD FOOTING) SHOWN ON PLANS. IN CASE OF DISCREPANCY (PIER - SPREAD FOOTING), STOP WORK AND CONTACT ARCHITECT AND ENGINEER OF RECORD.

INTERIOR FINISHES:
WALL - SHEET ROCK - SMOOTH FINISH
CEILING - SHEET ROCK - SMOOTH FINISH
FLOORS - HARDWOOD FLOORS
FLOORS FOR BATHROOM, LAUNDRY ROOM, MUD ROOM TO BE VINYL.
WALLS IN BATHROOMS TO BE TILES
GARAGE TO BE SEALED/PAINTED CONCRETE.
ALL WINDOW TO BE VINYL AND/OR FIBERGLASS - UON
ALL DOORS TO BE SOLID WOOD DOOR - UON
ALL FINISHES TO BE SELECTED AND SPECIFIED BY OWNER - TYP WHOLE HOUSE - UON

FIXTURE, DOORS AND WINDOWS:
GC TO WF ALL DIMENSIONS BEFORE ORDERING DOORS, WINDOWS, FIXTURES...
ACTUAL FRAMING DIMENSION, ROUGH DIMENSION OR FIXTURE DIMENSION MAY DIFFER FROM DIMENSIONS SHOWN ON PLAN, ESPECIALLY FOR WINDOW, DOOR, AND FIXTURE REPLACEMENT.

INSULATION:
WHEN ENERGY COMPLIANCE REQUIRE HIGH QUALITY INSULATION (QI), INSTALLATION INSTALLATION MUST COMPLY WITH QI REQUIREMENTS; QI INSTALLATION REQUIRED HERS INSPECTION, IT IS CRITICAL TO AVOID HOLES, Voids AND GAPS DURING INSTALLATION.
IF IT DOES NOT PASS HERS INSPECTION, INSULATION WILL NEED TO BE RE-INSTALLED.



- WALL-1 - R15
- WALL 2 - R21
- FLR-1 - R19
- ROOF-1 - R38

193 SF
ADDITION

1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

TIMBER FRAMING:
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR GRADE STAMPED ACCORDING TO THE CURRENT GRADING RULES AS FOLLOWS:
BEAMS AND STRINGERS - #1 OR STRUCTURAL AS NOTED.
CEILING JOISTS AND RAFTERS - #2 OR #1 AS NOTED.
FLOOR FRAMING SHALL BE #2 @ 16" O.C. U.O.N.
DOOR AND WINDOW HEADERS - #2
STUDS - #2
PLATES AND BLOCKING - #2
ALL LUMBER SHALL BE MINIMUM DOUGLAS FIR #2 MPFA
ALL SUB-FLOORS SHALL BE 3/4" TONGUE AND GROOVE, EDGE GOLD OSB, STAGGERED JOISTS. BLUE WITH CSI CONSTRUCTION ADHESIVE. NAIL WITH 10D NAILS AT 6" O.C. AT EDGES AND 12" O.C. THROUGHOUT.

DOUBLE FLOOR JOISTS BELOW PARALLEL PARTITIONS WITH 16D NAILS AT 12" O.C., STAGGERED
ALL SHEAR WALLS SHALL BE 1/2" OSB, UON.
PROVIDE HARDWARE MANUFACTURED BY SIMPSON AS REQUIRED. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
FLOOR JOISTS AND CEILING JOISTS SHALL BE SIDE LAPPED AND NAILED OVER TOP PLATES. U.O.N.
ALL UNTREATED WOOD FRAMING SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISHED GRADE.
ALL TIMBER LESS THAN 8" FROM FINISHED GRADE SHALL BE PRESSURE TREATED. ALL SILL PLATE TO BE PT WOOD.
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE POURED MUST WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE.
FRAMING (E.G., JOISTS, BEAMS, POSTS, DECKING) SHALL BE OF APPROVED NATURALLY DURABLE OR PRESSURE

TREATED WOOD.
FAVOR PLYWOOD INSTEAD OF OSB FOR SHEATHING, AS OSB CAN LOOSE ITS STRUCTURAL STRENGTH ONCE IF MOISTURE IS TRAPPED IN IT.
STRUCTURAL DETAIL:
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL DETAILS AND LOCATION, AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN WHEN PROVIDED.
CONCRETE FOUNDATIONS:
ALL CONCRETE SHALL BE MINIMUM 2,500 PSI STRENGTH WITHIN 28 DAYS. - UON SSD
REINFORCING STEEL LARGER THAN #5 SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A415, 30,000 PSI. SPLICES = 40 BAR DIAMETERS, BENDS MINIMUM 12".

REINFORCEMENT OF CONCRETE SLAB AND SLAB THICKNESS TO BE AS NOTED ON DRAWINGS, MIN. 4" THICK WITH #4 BARS AT 18" O.C. E/W
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE POURED MUST BE WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE.
NEW FOUNDATIONS:
AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCRoACH IN THE SETBACK.

FLASHING:
FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS.
EGRESS:
IN BED ROOMS, AT LEAST ONE WINDOW OR DOOR TO EXTERIOR TO COMPLY WITH EGRESS REQUIREMENTS. ONE WINDOW IN EACH BEDROOM MUST COMPLY W/ THE FOLLOWING:
MIN CLEAR OPENING HEIGHT OF 24"
MIN CLEAR OPENING WIDTH OF 20"
MIN CLEAR OPENABLE AREA NOT LESS THAN 5.7 SF.
BOTTOM OF CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR - GC TO WF

WINDOWS:
ALL NEW WINDOWS AND DOORS W/ GLASS WINDOW TO HAVE U FACTOR AS NOTED ON ENERGY REPORT & BE NRC RATED - TYP.
ALL GLASS IN (N) INTERIOR OR EXTERIOR DOORS TO BE TEMPERED.
STUCCO:
EXTERIOR 7/8-INCH TEXTURED STUCCO SHALL BE APPLIED ACCORDING TO THE TSB RECOMMENDATIONS. TECHNICAL SERVICES INFORMATION BUREAU - CHAPTER 6 - THREE-COAT PLASTER-STUCCO DETAILS
INSULATION:
ALL EXTERIOR WALLS/CEILING/FLOORS (OR WALLS ADJACENT TO UNCONDITIONED SPACE) THAT ARE OPENED UP DURING CONSTRUCTION WILL BE INSULATED.

2X4 FRAMED WALLS WITH A MINIMUM OF R-15, 2X6 FRAMED WALLS WITH R-21, FLOORS W/ R-19
CEILINGS WITH R-30 (ZONE 3) R-38 (ZONE 12) OR AS OTHERWISE NOTED ON PLAN OR ENERGY REPORT. FOR ALL NEW WALLS, FLOORS, ROOF, SEE ENERGY REPORT FOR INSULATION REQUIREMENTS.
VENTILATION:
MECHANICAL VENTILATION SYSTEM PROVIDED IN THE BATHROOM/WATER CLOSET SPACES SHALL BE A MINIMUM 50-CFM, FT. PER MINUTE (FOR INTERMITTENT VENTILATION), OR 25-CFM, FT. PER MINUTE FOR CONTINUOUS VENTILATION. THE VENTILATION AIR FROM THIS SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
WHEN THE BATHROOM OR TOILET ROOM IS NOT OCCUPIED

WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQ.FT, PROVIDE MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CFM.
EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL.
WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.
EXHAUST RATE OF RESTROOM FANS AT (E) BATHROOM, (N) BATHROOM AND POWDER ROOM ADJACENT TO GARAGE AND FAMILY ROOM THAT DO NOT HAVE A WINDOW TO HAVE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM.
THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION

OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.
DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS, A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO, NOT LESS THAN A 4 INCH DIAMETER (102 MM) MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE.
GC TO PROVIDE AN EXHAUST FAN FOR WHOLE-BUILDING VENTILATION TO MEET INDOOR AIR QUALITY (IAQ) REQUIREMENTS. THE FAN SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED.

PROVIDE WHOLE HOUSE FAN (WHF) WHEN INDICATED ON THE ENERGY REPORT
TERMINATION OF ALL ENVIRONMENTAL AIR DUCT EXHAUST SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E., BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
FLUE / VENT FOR DRYER 14'-0" LONG MAX. END MUST BE 3'-0" MIN FROM ANY OPENING. IF LONGER THAN 14'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON WHEN W/D ARE IN USE (N) METAL FLUE TO BE INSULATED AND 4" CLR MIN ALL TIMBER - INSTALL PER MANUFACTURER SPECIFICATIONS INSULATE ALL FLUE & VENT TO PREVENT CONDENSATION.

ELECTRICAL NOTES:
- AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
- TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5 1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.
- GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR COUNTER TOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT INTENDED AS HABITABLE ROOMS.

- RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
- CLARIFY RECEPTACLE OUTLET LOCATIONS:
A) SHALL NOT BE RECESSED DOWN LIGHT LUMINAIRES IN CEILING; AND
B) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JAB, AND
C) THE INSTALLED LAMPS SHALL BE MARKED WITH JAB-2022 OR JAB-2022-E.
- LUMINAIRES RECESSED INTO CEILING MUST MEET ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND

IN THAT SPACE.
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE LISTED BY SOURCE TYPE.
- SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING:
A) SHALL NOT BE RECESSED DOWN LIGHT LUMINAIRES IN CEILING; AND
B) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JAB, AND
C) THE INSTALLED LAMPS SHALL BE MARKED WITH JAB-2022 OR JAB-2022-E.
- LUMINAIRES RECESSED INTO CEILING MUST MEET ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 110.9 AND NOT TURN ON AUTOMATICALLY OR HAVE AN

REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW, BE RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.
- AT LEAST ONE LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(0) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. (150.0(K)3)
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(0) AND NOT TURN ON AUTOMATICALLY OR HAVE AN

ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 10 SQUARE FEET; LUMINAIRES IN HALLWAYS.
- RECESSED LIGHT FIXTURES SHOULD BE BOXED IN.
- DOOR BELL AND CHIME SHALL BE PROVIDED AS A STANDARD ITEM. PROVIDE ALL ELECTRICAL FIXTURES AND APPLIANCES AS SELECTED BY OWNERS - GC TO VERIFY ALL FIXTURE MEET CODE.
- FOR REMODELED AREAS, SPECIFY RECEPTACLE OUTLETS IN THE FOLLOWING LOCATIONS, AS SHOWN ON PLANS, 12" O.C. MAX. AND WITHIN 6" FROM THE ENDS OF WALLS, ANY WALL SPACE 2 OR MORE FEET WIDE.
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED AT OUTDOOR ENTRANCES.

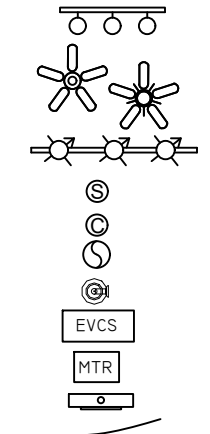
- MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE THE AUTOMATIC CONTROL FUNCTIONS LISTED ABOVE AND ANY CONTROL THAT OVERRIDES THE AUTOMATIC CONTROLS TO ON MUST AUTOMATICALLY REACTIVATE THOSE CONTROLS WITHIN SIX HOURS.
- ALL LIGHTING SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0 (K) AND JOINT APPENDIX JAB. MANUFACTURERS MUST TEST THEIR PRODUCTS AT AN ACCREDITED TEST LABORATORY AND SUBMIT TEST RESULTS TO THE CALIFORNIA ENERGY COMMISSION TO GAIN JAB CERTIFICATION. A LIST OF COMPLIANT PRODUCTS CAN BE FOUND AT [HTTPS://CAENERGY.COM/ENERGY-CA.GOV](https://caenergy.com/energy-ca.gov).
- ALL ELECTRICAL INSTALLATION SHALL MEET THE MINIMUM OR MAXIMUM ALLOWED IN THE 2022 MANDATORY MEASURES - NO EXCEPTION
- GAS LINE SIZING CALCULATIONS TO BE A DEFERRED

SHALL BE ZERO CLEARANCE (L) LISTED AND CERTIFIED AIR TIGHT. BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES. SHALL NOT CONTAIN SCREW BASE SOCKETS
- ALL LIGHTING SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0 (K) AND JOINT APPENDIX JAB. MANUFACTURERS MUST TEST THEIR PRODUCTS AT AN ACCREDITED TEST LABORATORY AND SUBMIT TEST RESULTS TO THE CALIFORNIA ENERGY COMMISSION TO GAIN JAB CERTIFICATION. A LIST OF COMPLIANT PRODUCTS CAN BE FOUND AT [HTTPS://CAENERGY.COM/ENERGY-CA.GOV](https://caenergy.com/energy-ca.gov).
- ALL ELECTRICAL INSTALLATION SHALL MEET THE MINIMUM OR MAXIMUM ALLOWED IN THE 2022 MANDATORY MEASURES - NO EXCEPTION
- GAS LINE SIZING CALCULATIONS TO BE A DEFERRED

SUBMITTAL ITEM AND PROVIDED BY GC.
- SUBMITTAL ITEM AND PROVIDED BY GC.
- I-C RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT) FIXTURES FOR RECESSED LUMINAIRES
- ALL ADDED/REPLACED BRANCH CIRCUITS THAT SUPPLY 120 VOLT SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLOUS, LIBRARIES, TEENS BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAY, OR SIMILAR ROOMS OR AREA SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED.
ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

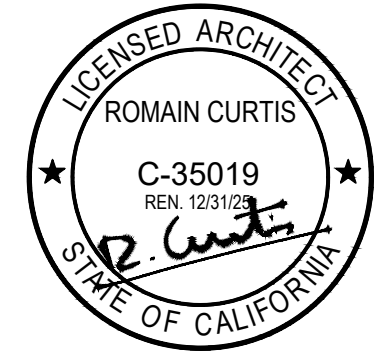
ELECTRICAL SYMBOLS:
SWITCH
DIMMER SWITCH
RECEPTACLE
220 RECEPTACLE
GROUND FAULT INTERRUPTER
RECESSED LIGHTING
CHANDELIER
CLG MOUNT
WALL MOUNT
HANGING LIGHT
FLUORESCENT LIGHT

VANITY LIGHTING
CEILING FAN
CEILING FAN W/LIGHT
TRACK LIGHTING
SMOKE ALARM
CARBON MONOXIDE ALARM FAN
WATER PROOF EXT. LIGHT
EV CHARGING STATION
GARAGE MOTOR
ELECTRICAL PANEL
WIRING



REVISIONS

1	02/15/2025
2	03/28/2025
3	06/25/2025
4	
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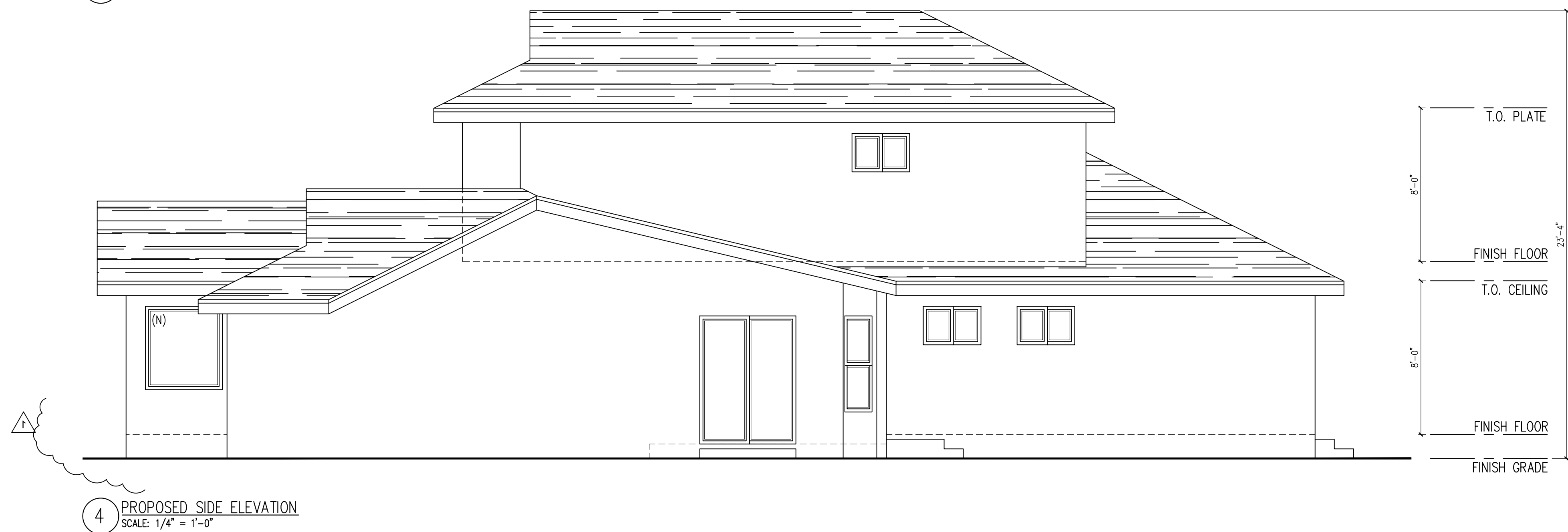
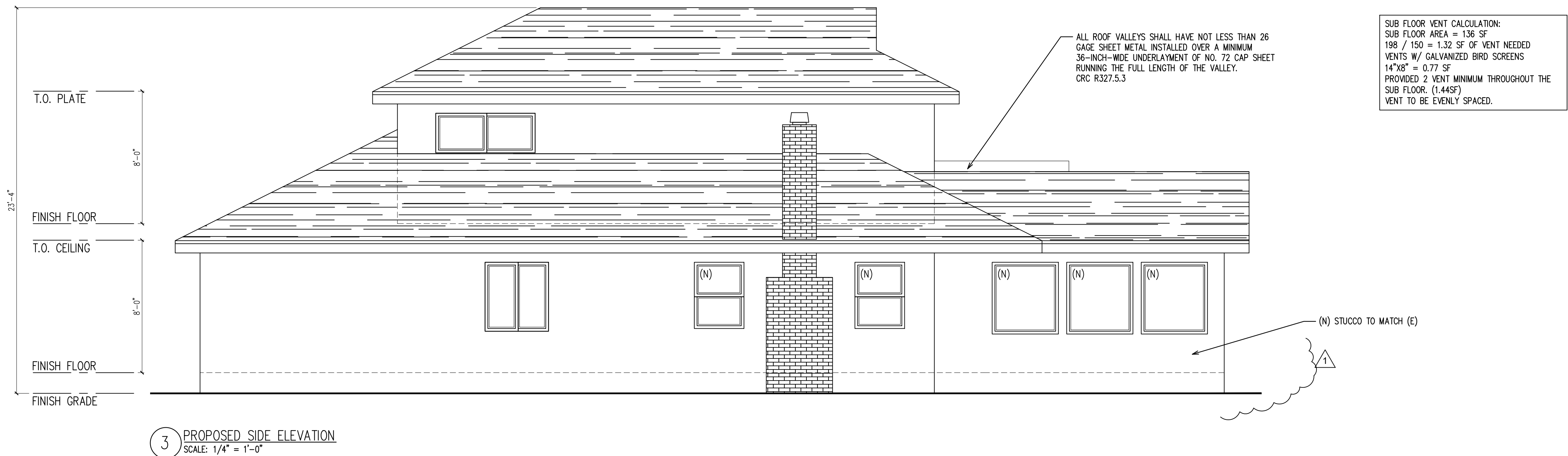
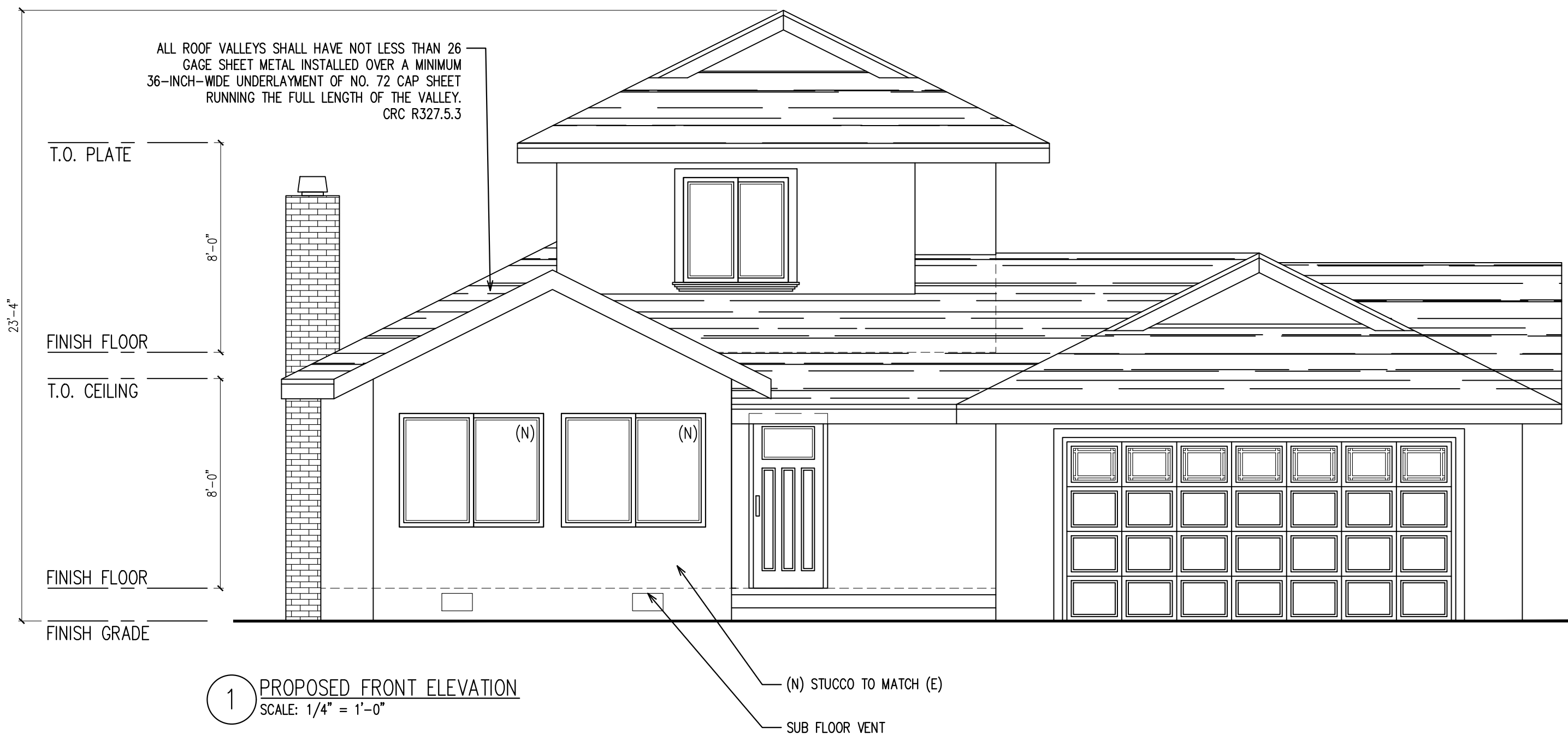
ROMAIN CURTIS
ARCHITECT #C35019
367 CIVIC DR #3,
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ADDITION / REMODEL
439 NUESTRA AVE,
SUNNYVALE, CA 94086

PROPOSED
ELEVATIONS

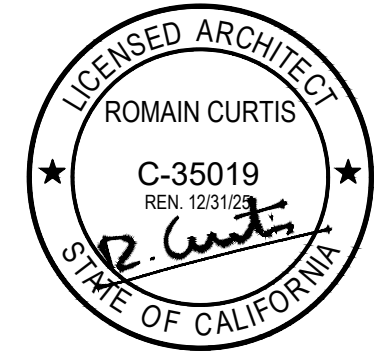
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10/31/2024
SCALE
1/4"=1'-0"
ANURA JOB NO
CA2410-0031
SHEET

A-4



REVISIONS

1	02/15/2025
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ADDITION / REMODEL
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PROPOSED
SECTION & DETAILS

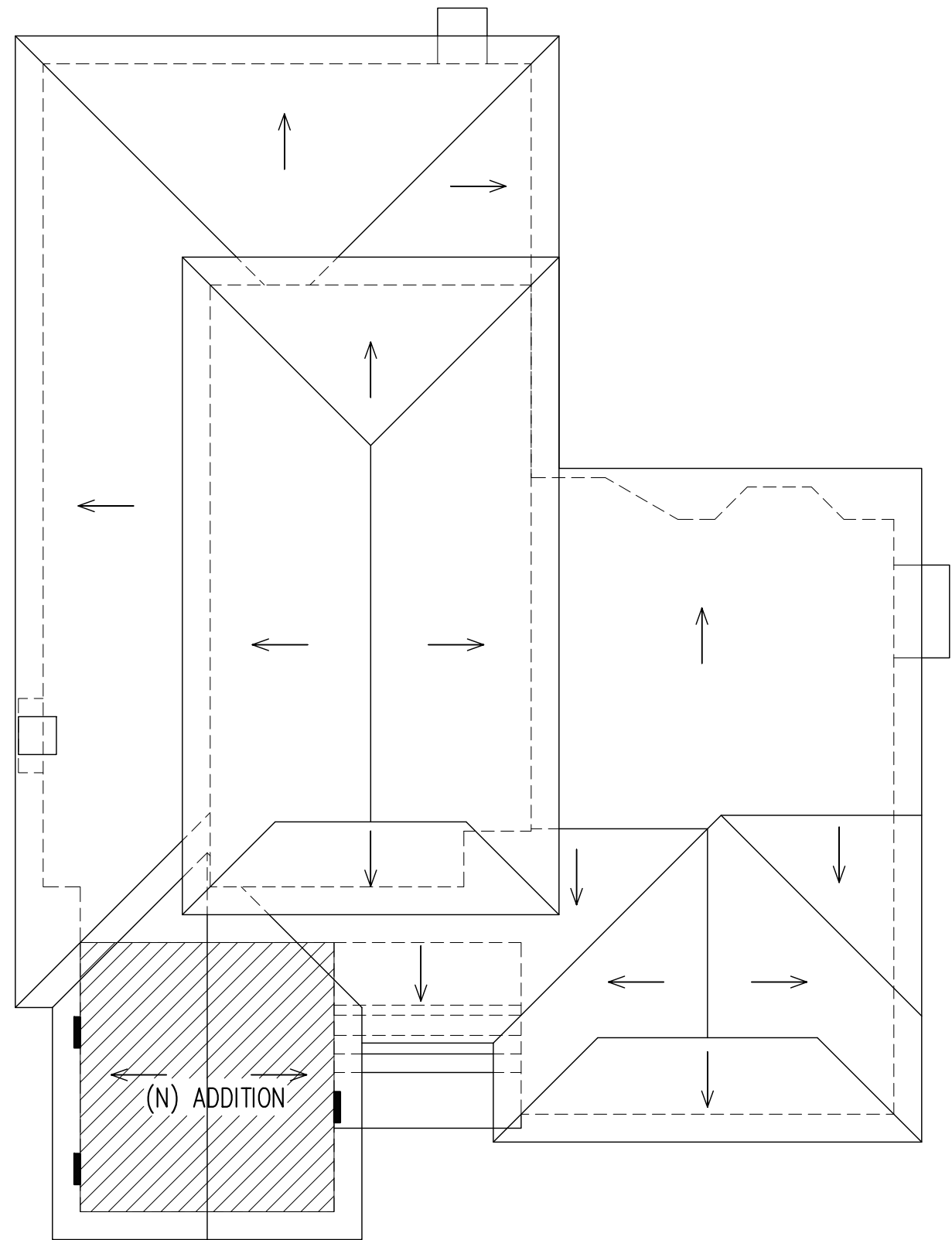
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ANURA JOB NO
CA2410-0031
SHEET

A-5



1 PROPOSED SECTION A
SCALE: 1/4" = 1'-0"

SUB FLOOR VENT CALCULATION:
SUB FLOOR AREA = 193 SF
193 / 150 = 1.29 SF OF VENT NEEDED
VENTS W/ GALVANIZED BIRD SCREENS
14" X 8" = 0.77 SF
PROVIDED (2) VENTS MINIMUM THROUGHOUT THE
SUB FLOOR.
VENTS TO BE EVENLY SPACED.

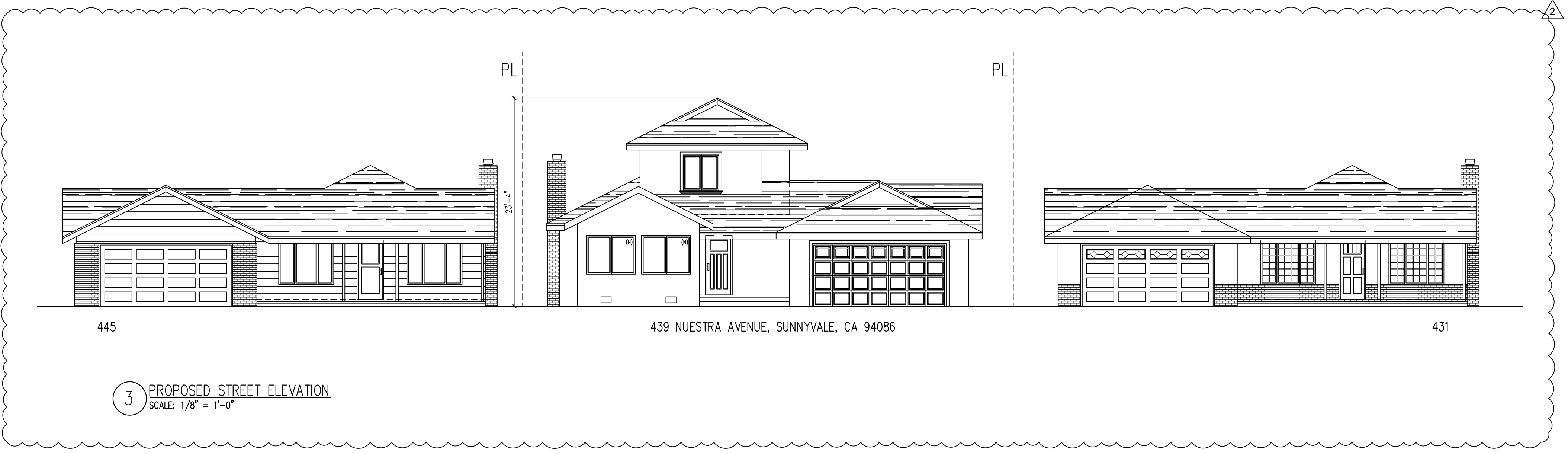


2 ROOF VENT CALCULATION & DIAGRAM
SCALE: 1/8" = 1'-0"

ROOF VENT CALCULATION
193 / 150 = 1.29 SF OF VENT NEEDED EAVES VENTS
1 EAVE VENT 4" X 20" = 0.5 SF EACH
(3) EAVE VENTS = 1.5 SF
PROVIDE (3) EAVE VENTS EVENLY SPACED (1.5 SF)
TOTAL SF OF VENTS PROVIDED = 1.5 SF



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.



3 PROPOSED STREET ELEVATION
SCALE: 1/8" = 1'-0"