



Sunnyvale

Lakewood Shopping Center Redevelopment PLNG-2023-0302

Jeffrey Cucinotta, Senior Planner
Planning Commission, May 12, 2025

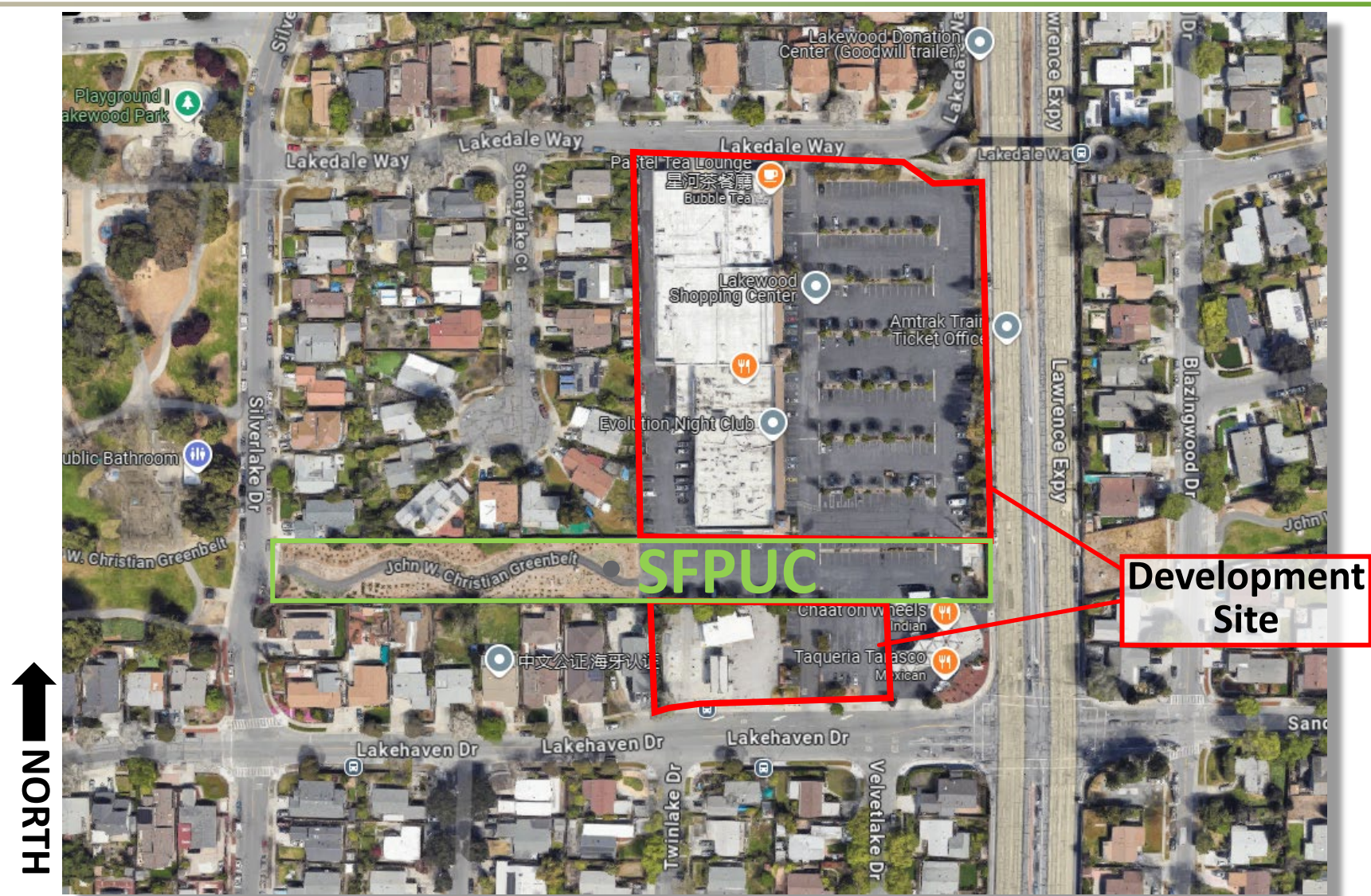
Overview

- **Special Development Permit (SDP)**
 - ◆ Demolish existing Lakewood Shopping Center buildings:
 - Commercial/retail (+/- 56,641 sq. ft.)
 - Former auto service center (+/- 2,008 sq. ft.)
 - ◆ Construct:
 - 101 townhome units (15 three-story buildings)
 - A commercial building with at least 10,000 sq. ft. floor area
- **Vesting Tentative Map**
 - ◆ Subdivision of three existing lots into 27 lots and 101 residential condominiums

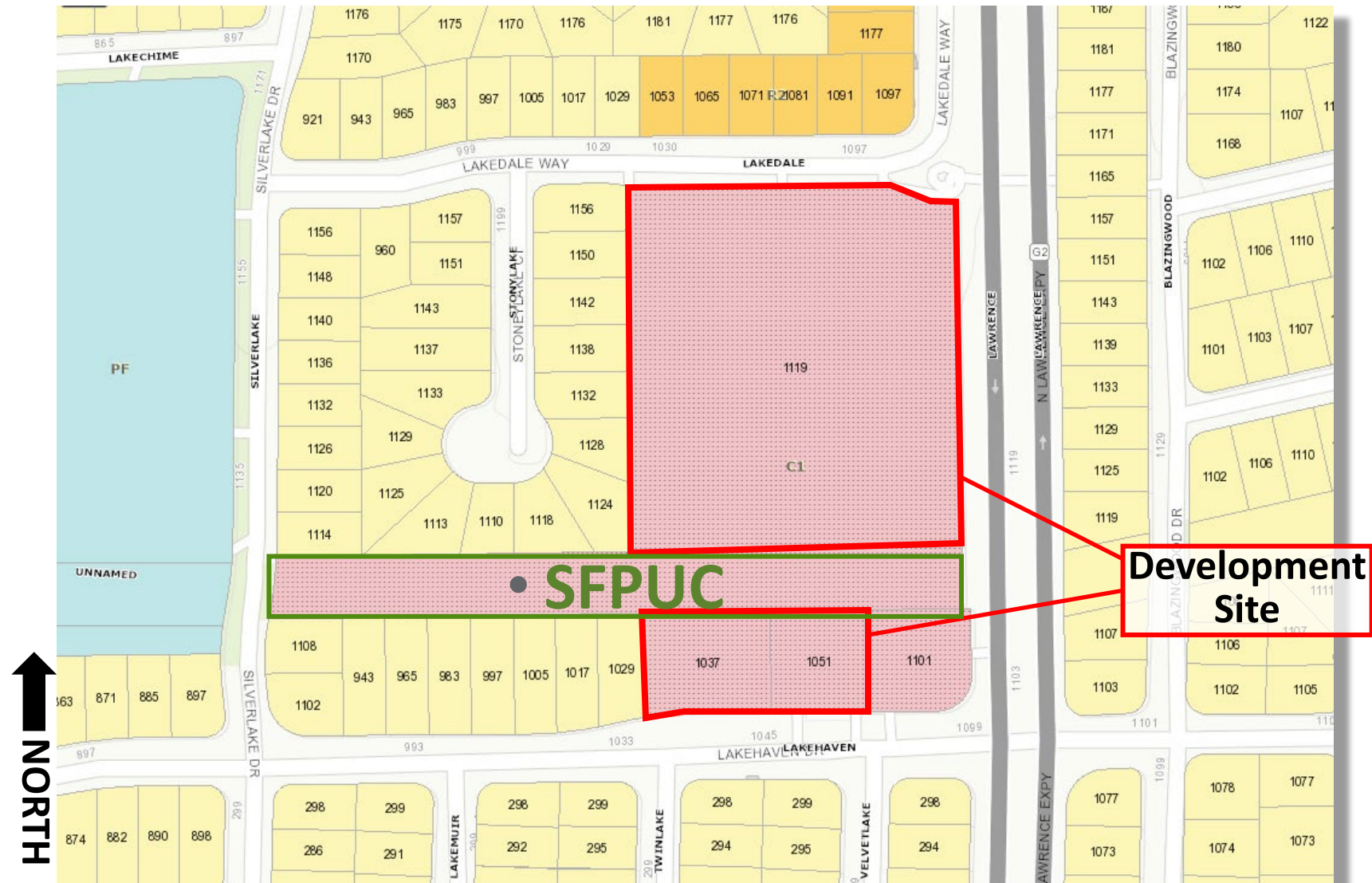
Background

- **General Plan:** Village Mixed Use
- **Zoning:** C-1/PD (Neighborhood Business/Planned Development)
- **Village Center Master Plan:** Plan preparation is underway – tentative June PC and July CC dates

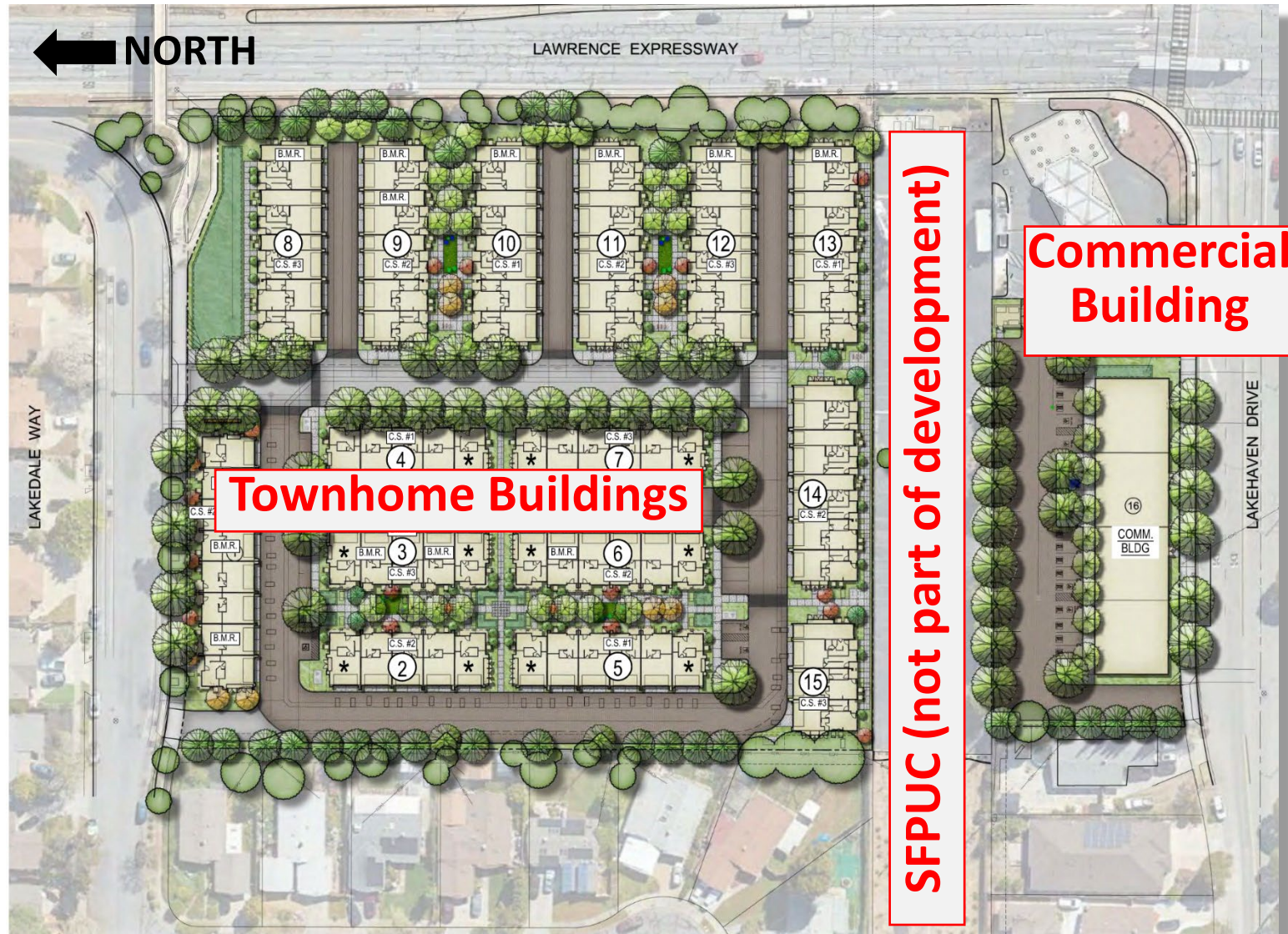
Neighborhood Context



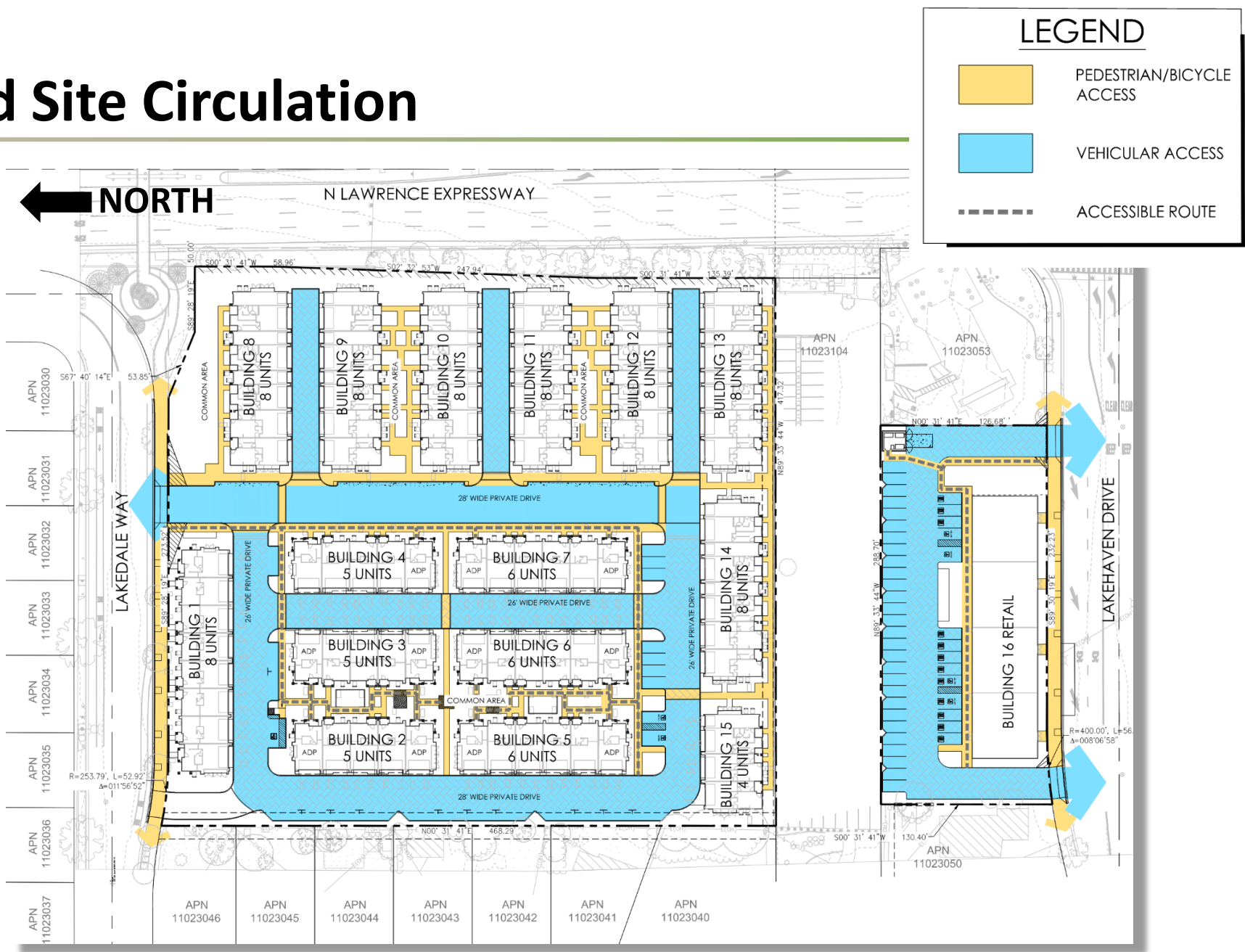
Zoning Context



Proposed Site Plan



Proposed Site Circulation



“Rowtown” Units (Buildings 1-7)



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

“Rowtown” Units (Buildings 1-7)



RIGHT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

“Townflat” Units (Buildings 8-15)



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION

EXTERIOR MATERIALS

Commercial Building



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



Rendering from Lakehaven Drive (Commercial Building)



Rendering from Lakedale Way ("Rowtown" Units)



Rendering from Lawrence Expressway (“Townflat” Units)



Rendering from SFPUC Trail Parcel ("Townflat" Units)



Requested State Density Bonus Waivers

Multifamily Residential

1. Building height
2. Building height (within 75 feet of property line shared with residential)
3. Front, Side and Rear yard setbacks
4. Side yard setback (second story and above)
5. Distance between buildings
6. Usable open space
7. Private balcony dimensions
8. Community room/clubhouse

Requested State Density Bonus Waivers

Commercial

- 11. Commercial floor area ratio
- 12. Front yard setback
- 13. Loading space

Overall

- 14. Parking lot shading
- 15. Landscaped buffer width
- 16. Landscaped buffer wall design and height
- 17. Landscape frontage strip

Neighborhood Outreach Meeting

- Outreach conducted on 4/24/2025
- Comments received:
 - Concerns:
 - Loss of neighborhood serving retail/restaurants
 - Trail and cross-site bike/ped access
 - Traffic/parking
 - Support for housing unit production

Feedback Requested:

- Project Design
- Site Planning

Thank you!

Backup Slides

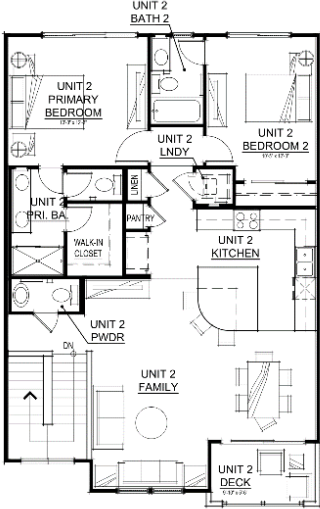
Requested State Density Bonus Waivers

#	Development Standard	Required	Proposed
Multifamily Residential			
1	Building Height (maximum)	3 stories/35'	40' 6"
2	Building Height (maximum, within 75 feet of property line shared with a property in a single-family residence zoning district)	30'	40' 6"
3	Front Yard Setback (minimum)	25' 3"	Lawrence Exwy: 7' 6" Lakedale Way: 7' 9"
4	Side Yard Setback (minimum)	11' 3"	10' (Buildings 1, 3, 6, & 16)
5	Side Yard Setback (minimum, second story and above)	2nd Story 14' 3" 3rd Story 17' 3" 4th Story 20' 3"	10' (Buildings 1, 3, 6, & 16)
6	Rear Yard Setback (minimum)	25' 3"	10' 4"
7	Distance Between Main Buildings (minimum)	29'	20'
8	Useable Open Space (minimum)	40,000 sq. ft.	30,951 sq. ft.
9	Private Balcony Dimensions (minimum)	7' in any direction	4'
10	Community Room/Clubhouse (minimum meeting space area)	450 sq. ft.	None

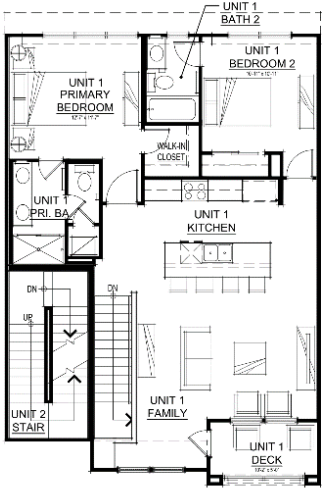
Requested State Density Bonus Waivers

#	Development Standard	Required	Proposed
Commercial			
11	Commercial Floor Area Ratio (minimum)	10% (22,996 sq. ft.)	4.3% (10,000 sq. ft.)
12	Front Yard Setback (minimum)	70'	6' 9"
13	Loading Space (minimum # of spaces)	1 space	None
Overall			
14	Parking lot shading	Minimum 50%	27.1%
15	Landscaped Buffer (minimum width along western lot line)	10'	3.5'
16	Landscape Buffer Wall Design and Height	Decorative masonry wall 6' in height	Maintain existing wall and fence
17	Landscape Frontage Strip (minimum width for all property frontages on a public street)	15'	6'

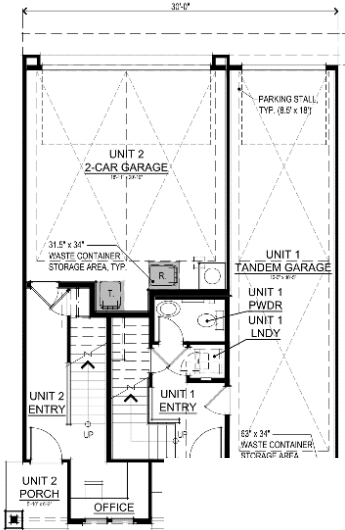
“Townflat” Units (Buildings 8-15)



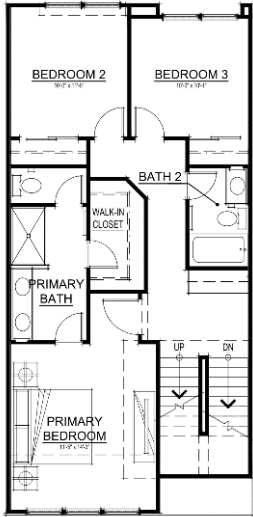
THIRD FLOOR PLAN



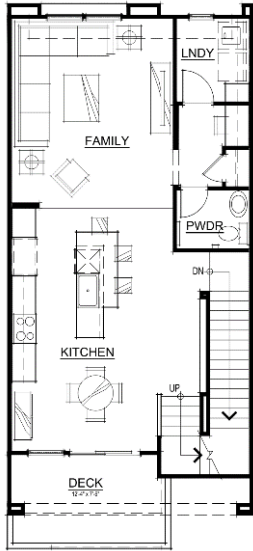
SECOND FLOOR PLAN



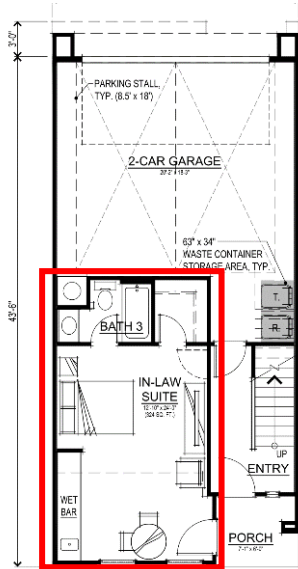
ROOF DECK PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



“Adaptable”
in-law suites

Proposed Buffer Walls/Fences

