

# CHING RESIDENCE REMODEL

938 W CARDINAL DR SUNNYVALE

### GENERAL CODE NOTES

3. DOOR BETWEEN HOUSE AND GARAGE SHALL BE TIGHT-FITTING, 1-3/8", 20 MIN. RATED, SOLID CORE, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICE OR IN COMPLIANCE WITH CRC SECTION R302.5.1.
2. USEABLE AREA UNDER STAIRS SHALL BE PROTECTED WITH 5/8" TYPE "X" GYPSUM BOARD, MINIMUM REQUIREMENTS FOR R-3 OCCUPANCY IS 1/2" GYP. BOARD, CRC SECTION R302.7.
3. HANDRAILS: HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF 4 OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". NON-CIRCULAR HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS SECTION DIMENSION OF 2 1/4". EDGES SHALL HAVE A MIN. RADIUS OF 0.01". CRC R311.7.7, R311.7.8, R311.7.8.1, R311.7.8.2, R311.7.8.3
4. GUARDRAILS (GUARDS), INTERIOR OR EXTERIOR SHALL COMPLY WITH R312.1 EXCEPTION: GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" AND NOT MORE THAN 38" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS SHALL NOT HAVE AN OPENING FROM THE WALKWAY SURFACE TO THE REQUIRED HEIGHT WHICH ALLOW PASSAGE OF A 4" DIAMETER SPHERE. CRC R312.1.3
5. EGRESS WINDOWS IN EACH BEDROOM SHALL COMPLY WITH CRC SECTION R310, OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SF, AND 0.5 SF AT GRADE FLOOR OPENINGS. MINIMUM NET CLEAR HEIGHT 24", WIDTH OF 20" MINIMUM, AND BOTTOM OF THE CLEAR OPENING SHALL BE NOT GREATER THAN 44" MEASURE FROM THE FLOOR.(R310.2.2.)
6. EACH HABITABLE ROOM SHALL COMPLY WITH MIN. AREA FOR NATURAL LIGHT AND VENTILATION OR MEET THE REQUIREMENTS FOR EXCEPTIONS, PER CRC SECTIONS R303.1. BATHROOMS SHALL COMPLY WITH MIN. AREA FOR NATURAL LIGHT OR MEET REQUIREMENTS FOR EXCEPTIONS. PER CRC SECT. R303.3. BATHROOMS AND LAUNDRY ROOMS SHALL BE PROVIDED WITH EXHAUST FANS THAT COMPLY WITH CRC SECT. R303.4 & R303.5 AND THE CALIFORNIA MECHANICAL CODE.
7. SAFETY GLAZING, SUBJECT TO HUMAN IMPACT SHALL BE INSTALLED AT HAZARDOUS LOCATIONS PER CRC SECT. R308.1. AREAS TO BE DEFINED AS "HAZARDOUS LOCATIONS" ARE LISTED IN CRC SECT 308.4 AND INCLUDE: GLAZING IN DOORS, SLIDING DOOR ASSEMBLIES AND PANELS, SHOWER OR TUB ENCLOSURES AND IN WINDOWS WITHIN COMPARTMENTS WHERE EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET, GLAZING IN WINDOWS ADJACENT TO DOORS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
8. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER CRC SECTION R314 AND R315.LOCATE ALARMS OUTSIDE EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OF BEDROOMS.PROVIDE APPROVED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS THROUGHOUT EACH STRUCTURE.
9. WATER HEATERS SHALL BE STRAPPED FOR SEISMIC BRACING, TOP AND BOTTOM PER CPC SECTION 507.2 AND SECURED TO THE STRUCTURE. LISTED WATER HEATERS SHALL BE UNINSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PER CPC 504.3.1. UNLISTED WATER HEATERS SHALL BE INSTALLED WITH A CLEARANCE OF 12" ON ALL SIDES AND REAR PER CPC 504.3.2. COMBUSTION AIR SHALL BE PROVIDED IN ACCORDANCE WITH CRC SECTION 701. WATER HEATER CLOSING OPERATION SHALL HAVE A MINIMUM OF 1 SQ. IN. PER 1000 BTU INPUT, BUT NOT LESS THAN 100 SQ. IN. AND HAVE 1/2 LOCATED WITHIN 12" OF THE CEILING AND 1/2 LOCATED WITHIN 12" OF FLOOR PER CMC 701.5.
10. GAS PIPE CONNECTION TO EACH APPLIANCE SHALL HAVE AN ACCESSIBLE SHUT-OFF VALVE AND BE INSTALLED WITH FLEX-CONNECTORS.
11. GAS APPLIANCES INSTALLED IN THE GARAGE SHALL BE ELEVATED SO THAT PILOTS AND BURNERS ARE AT LEAST 18" ABOVE THE FLOOR PER CPC 507.13. PROTECT APPLIANCES FROM DAMAGE BY INSTALLING A PROTECTIVE STEEL POST, 3" DIA. X 24" HIGH, 12" IN FRONT OF APPLIANCE, UNLESS LOCATED OUTSIDE THE NORMAL PATH OF A VEHICLE.
12. VENTING OF GAS APPLIANCES SHALL BE IN ACCORDANCE WITH THE CMC AND CPC. VERIFY RUN, OFFSETS, SLOPES AND DIRECTION OF VENTS THROUGH FRAMING TO PROVIDE MINIMUM CLEARANCE TO COMBUSTIBLES FOR TYPE FLUE USED.
13. SHOWER AND TUB-SHOWER VALVES SHALL BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES SHALL COMPLY WITH CPC SECTION 408.3.
14. WATER HEATER PRESSURE RELIEF VALVES SHALL BE EQUIPPED WITH PIPING DIRECTLY TO THE EXTERIOR AND TERMINATING NOT LESS THAN 6" ABOVE GRADE. INSTALL HOSE BIBBS AT LOCATIONS NOTED HB. USE FAUCET TYPE EQUIPPED WITH BACKFLOW OR BACK SIPHONAGE PROTECTION PER CPC SECTION 603.5.7.
15. INSTALL WATER CLOSETS (TOILETS) HAVING A 1.28 GALLONS/FLUSH MAXIMUM. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREN SECTION 301.1 THE WATER CLOSET SPACE SHALL BE SET NO CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL AND NO CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE. CLEARANCE IN FRONT OF WATER CLOSET SHALL BE NOT LESS THAN 24" PER CPC SECTION 402.5.
16. INSTALL UNDERFLOOR ACCESS WITH ACCESSIBLE MINIMUM CLEARANCE 18" x 24" AND FREE FROM PIPES, DUCTS AND SIMILAR OBSTRUCTION, CRC SECTION R408.4.
17. INSTALL ATTIC ACCESS WITH MINIMUM 22" x 30" ROUGH OPENING LOCATED IN HALLWAY OR OTHER READILY ACCESSIBLE LOCATION, HAVING A 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE, ABOVE THE OPENING, CRC R807.1.
18. WHIRLPOOL TUB SHALL COMPLY WITH CPC SECTION 409.0 AND THE CEC. ELECTRICAL POWER SOURCE SHALL BE EQUIPPED WITH GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION.
19. LIGHT FIXTURES INSTALLED IN CLOSETS SHALL BE SURFACE MOUNTED FLUORESCENT, LOCATED ON THE WALL ABOVE THE DOOR A MIN HEIGHT OF 6 FEET AND HAVE MINIMUM CLEARANCES OF 12" TO STORAGE SHELVES AND SIDED, PER CEC SECTION 410.2.
20. ELECTRICAL RECEPTACLES LOCATED IN THE GARAGE, (SEE EXCEPTIONS FOR SPECIFIC EQUIPMENT) EXTERIOR (WATERPROOF), CRAWL SPACE, BATHROOMS. KITCHEN COUNTERS AND WITHIN 6" AND WITHIN 6" EACH WAY FROM SINKS OR LAVATORIES, SHALL BE GROUND\_FAULT CIRCUIT INTERRUPTER PROTECTED (GFI) IN ACCORDANCE WITH CEC SECTION 210.8(A).
21. INSTALL LIGHT FIXTURES, LOCATED IN KITCHENS AND ROOMS HAVING WATER CLOSETS THAT DO NOT EXCEED 40 LUMENS/WATT (FLUORESCENT TYPE) PER CALIFORNIA TITLE 24. INSTALL FIXTURES RATED FOR DAMP LOCATIONS (DL), EXTERIOR AND IN SHOWER OR TUB COMPARTMENTS. INSTALL FIXTURES RECESSED IN THE CEILINGS RATED FOR INSULATION PROTECTION (IC/AT) AND AIRTIGHT. CEC 406.9.
22. INSTALL SOLID BACKING AT WALLS AND WATERPROOF MEMBRANE AT SHOWER PAN, SEAMLESS TYPE "OATEY" UP 12" MIN WALLS AND OVER SHOWER CURB. SHAPE SHOWER PAN FLOOR USING 3/4" PLYWOOD SHIMMED TO FORM SLOPE TO DRAIN. INSTALL 4 X 4 PTDF CURB, PER CPC 408.5 - 408.7
23. INSTALL WATERPROOF MATERIAL SUCH AS TILE, ON SHOWER WALLS +72" MIN ABOVE THE FLOOR PER CBC R307.2
24. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.
25. ALL SHOWER HEADS IN THE EXISTING RESIDENCE WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 2.0 GPM SHOWER HEAD. FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH MAXIMUM FLOW RATE OF 1.2 GPM FOR LAVATORY FAUCETS AND 1.8 GPM FOR KITCHEN FAUCETS PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREN SECTION 430.3.

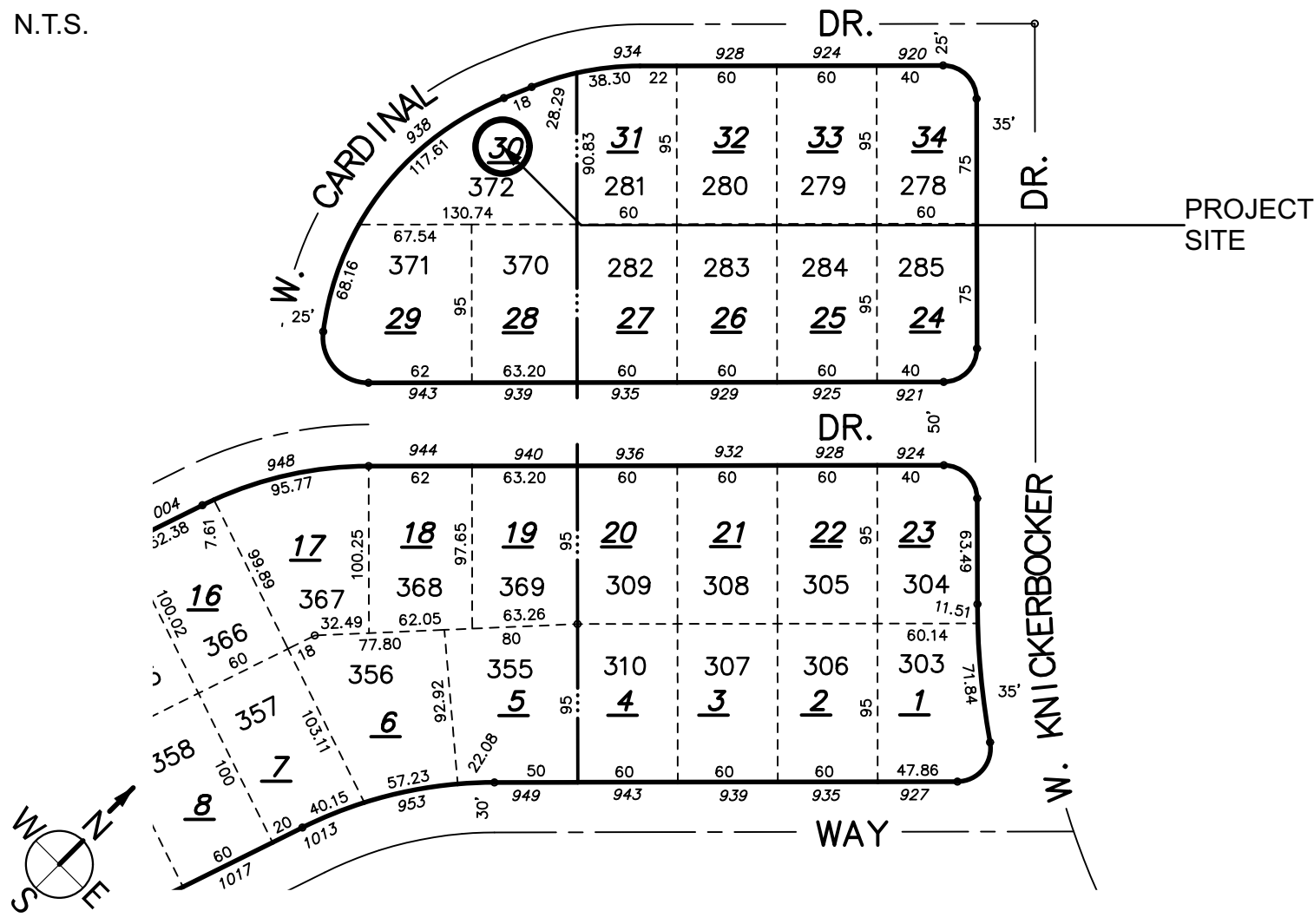
## STANDARD ABBREVIATIONS

@	and at	HB	hose bib	TB	towel bar
CL		HC	hollow core	TEL	telephone
Ø	centerline	HD	hot dipped	TER	terazzo
PLT	diameter	HDWE	hardware	T&G	terrouge & groove
#	plate	HDWD	hardwood	TOC	top of curb
(N)	pound/number	HM	hollow metal	TOP	top of plate
AB	existing	HORIZ	horizontal	TP	top of pavement
AC	new	HR	hour	TPD	toilet paper dispenser
ASB	anchor bolt	HT	height	TPG	tempered plate glass
AGG	asphaltic concrete	HTG	heating	TPH	toilet paper holder
ALT	aggregate	HTR	heater	TSCH	toilet seat cover dispenser
ALUM	alternate				television
APPROX	aluminum	ID	inside diameter	TW	top of wall
ARCH	approximate	IN	inches	TYP	typical
ASB	architect	INT	interior	VENT	ventilation
ASPH	asbestos	INSUL	insulation	VEST	vertical
AVE	asphalt				vestibule
AVG	avenue	JAN	janitor	VGDF	vertical grain Douglas Fir
	average	JT	joint	VOL	volum
BB	bulletinboard				
BD	board	KD	kiln dried	W/	with
BITUM	bituminous	LAB	lab	WC	water closet
BLDG	building	LAM	laminated	WD	wood
BLK	block	LAV	lavatory	WIN	wide flange
BOVLD	boulevard			W/O	window
BM	benchmark/beam			WP	without
		MAT	material	WSCT	waterproof(ing)
CAB		MAX	maximum	WT	wainscot
CB	catch basin/chalkboard	MC	medicine cabinet		weight
CEM	cement	MDF	medium density fiberboard		
CI	cast iron	MECH	mechanical		
CJ	control joint	MEMB	membrane		
CLG	ceiling	MET	metal		
CLKG	caulking	MFGR	manufacture(r)		
CLR	clear	MH	manhole		
CNTR	counter	MIN	minimum		
CO	cleanout	MIR	mirror		
COL	column	MISC	miscellaneous		
CONC	concrete	MO	masonry opening		
CONN	connection	MOD	module/modular		
CONST	construction	MTD	mounted		
CONT	continuous	MUL	mullion		
CORR	corridor				
CTR	center	NIC	not in contract		
CYL	cylinder	NO	number		
		NOM	nominal		
		NTS	not to scale		
DBL	double				
DEPT	department	OC	on center		
DF	Douglas Fir/drinking fountain	OD	outside diameter		
DIA	diameter	OFF	office		
DIM	dimension				
DISP	dispenser	OPNG	opening		
DN	down	OPP	opposite		
DW	downspout				
DWV	dishwasher	PART	partition		
DWL	drawing				
DWR	dowel				
	drawer	PBO	provided/supplied by owner		
EA	each	PERP	perpendicular		
EJ	expansion joint	PG	plate glass		
EL	elevation	PL	property line		
ELEC	electrical	PLYWD	plywood		
ELEV	elevator	PR	pair		
EMER	emergency	PT	pressure treated		
ENCL	enclosure				
EQ	electric panelboard	QT	quarry tile		
EQU	equal				
EQUIP	equipment	R	rise/radius		
EXIST	existing	RD	roof drain		
EXP	exposed	REINF	reinforce/reinforcing		
EXT	exterior	REF	reference		
		REFR	refrigerator		
FA	fire alarm	REQ	required		
FD	floor drain	RESIL	resilient		
FDN	foundation	REV	revision		
FE	fire extinguisher	RM	room		
FEC	fire extinguisher cabinet	RO	rough opening		
FHC	fire hose cabinet				
FIN	finish	RWD	redwood		
FL	floor	RWL	rain water leader		
FLASH	flashing				
FLOUR	flourescent	SECT	section		
FOC	face of concrete	SEL	select		
FOF	face of finish	SD	soap dispenser		
FOS	face of stud	SG	sheet glass		
FPRF	fire proof	SH	shelf		
FS	full size	SHT	sheet		
FT	foot/feet	SHWR	shower		
FTG	footing	SIM	similar		
FURN	furnish	SND	sanitary napkin dispenser		
FURR	furring	SNR	sanitary napkin recepticle		
FUT	future	SPEC	specification		
		SQ	square		
GA	gauge	SS	stainless steel		
GB	grab bar	SSK	service sink		
GALV	galvanized	STD	standard		
GL	glass	STL	steel		
GRD	grade	STRUCT	structural		
GYP	gypsum	SUSP	suspend(ed)		
		SYM	symetrical		

**Note:**  
Do not scale from these plans, use dimensions. This set is intended to be printed on Arch D (24"x36") sized paper. If the plans are printed on any size other than Arch D size, the plans are NOT TO SCALE.

## APN MAP

N.T.S.



APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC)	2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)	2022 CALIFORNIA ENERGY CODE (CEnc)
2022 CALIFORNIA MECHANICAL CODE (CMC)	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)	
	SUNNYVALE MUNICIPAL CODE

# OPERATIONAL MANUAL

OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:

1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HYAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS. C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS. D. LANDSCAPE IRRIGATION SYSTEMS. E. WATER REUSE SYSTEMS.
3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL SPECIFICATION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE FIELD INSPECTOR WITH A COPY OF THE VARIOUS CERTIFICATES OF INSTALLATION FOR THE VARIOUS APPLICABLE PORTIONS OF THE CONSTRUCTION AND/OR INSTALLATION. (BUILDING ENERGY EFFICIENCY STANDARDS SECTION 10-103 (a) (3)).

**NOTE:** PRESCRIPTIVE CERTIFICATES OF INSTALLATION CAN BE OBTAINED AT THE FOLLOWING LOCATION:  
<http://www.energy.ca.gov/2015publications/CEC-400-2015-032/appendices/forms/CF2R/>

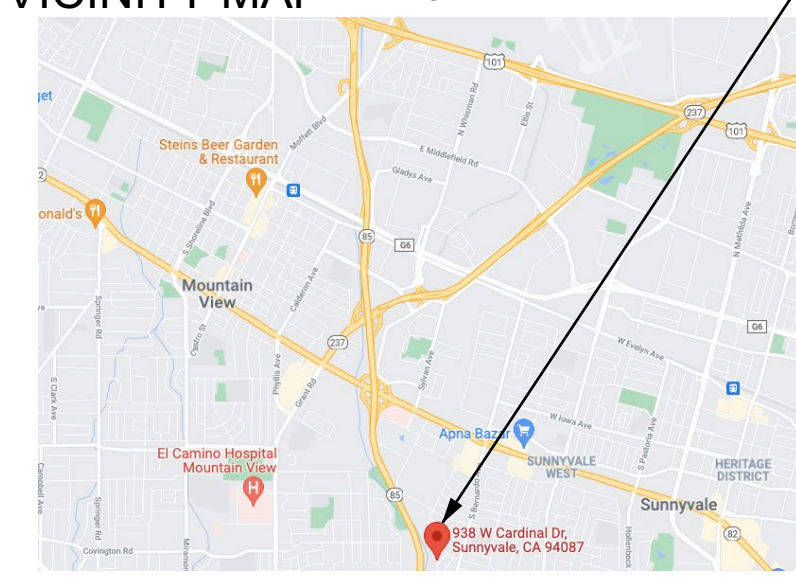
COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.

PROVIDE APPROVED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS THROUGHOUT EACH STRUCTURE (CRC 314, CRC 315)

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No.	Sheet Title
G1.0	COVER SHEET
AB00	SURVEY
A1.0	(E) SITE PLAN
A1.1	(N) SITE PLAN
A2.0	(E) FLOOR AND DEMO PLAN
A2.1	(N) FLOOR PLAN
A3.0	(E) ELEVATIONS
A3.1	(N) ELEVATIONS
A3.2	STREET ELEVATION
A4.0	(E) ROOF PLAN
A4.1	(N) ROOF PLAN
A4.2	COLOR AND MATERIAL BOARD
A5.0	SECTION AA
<b>13</b>	<b>TOTAL SHEETS THIS SET</b>

## VICINITY MAP N.T.S. PROJECT LOC.—



<u>OWNERS:</u>	PROJECT INFORMATION
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ALVIN Y CHING  
938 W CARDINAL DR  
SUNNYVALE  
**PLAN PREPARER:**  
LAKSHMI SUBRAMANIAN  
12429 DE SANKA AV SARATOGA  
CA 95070  
(408) 203 7814

### PROJECT DESCRIPTION:

1. VARIANCE FOR FRONT SETBACK
  2. TEARING DOWN (E) GARAGE AND NON COMPLIANT SHED AND BUILDING (N) GARAGE.
  3. ADDING (N) WET BAR, KITCHEN, LIVING, DINING, LAUNDRY AND PANTRY.
  4. REMOVING (E) WOOD FIREPLACE.
  5. REMOVING BRICK SIDING AND CONVERTING TO STUCCO AND SIDING EXTERIOR.
  6. REPLACING (E) ROOF FROM ASPHALT SHINGLE TO METAL ROOF.
  8. CONVERTING (E) LIVING AND (E) BEDROOM TO (N) MASTER SUITE.
  9. CONVERTING (E) DINING AND KITCHEN TO GREAT ROOM.
  10. CONVERTING (E) LAUNDRY AND BATHROOM AREA TO (N) WET BAR.
  11. ADDING (N) ELECTRIC FIREPLACE TO GREAT ROOM.
- APN#: 198-41-030
- ZONING: R0
- TYPE: VB - SPRINKLED
- OCCUPANCY GROUP: R-3/U
- SLOPE OF ENTIRE SITE: LEVEL

## AREA CALCULATIONS TABLE

<b>(E) AREAS</b>	<b>(E) SF</b>
(E) LIVING AREA	1290 SF
(E) LIVING AREA	0 SF
(E) LIVING AREA	0 SF
(E) LIVING AREA	0 SF
(E) LIVING AREA	0 SF
(E) LIVING AREA	0 SF
(E) GARAGE	399 SF
(E) SHED	191 SF
(E) COVERED WALKWAY	51 SF
(E) FLOOR AREA	1931 SF
<b>(N) AREAS</b>	<b>(N) SF</b>
(N) LIVING AREA	430 SF
(N) GARAGE	513 SF
(N) FLOOR AREA	2233 SF
(N) FLOOR AREA RATIO	29%
(N) LOT CALCULATIONS	
LAND AREA	7728 SF
LOT COVERAGE AREA	2355 SF
LOT COVERAGE	30%
REQUIRED REAR YARD AREA SF	1990 SF
PROVIDED REAR YARD AREA SF	1561 SF
ONE STORY REAR YARD ENCROACHMENT AREA	428 SF
ONE STORY REAR YARD ENCROACHMENT ALLOWANCE (25%)	22%

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 Lean Lens Architects  
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(408)203 7814



Project Phase	
PUBLIC HEARING	
Issue Date	
APRIL 30TH 2025	
File Name	
W CARDINAL 04302025 .xlsx	
5/29/24	PCC 1
11/12/24	PCC 2
21/02/25	PCC 3
04/30/25	PUBLIC HEARING

**CHING RESIDENCE**  
938 W CARDINAL DR  
SUNNYVALE

COVER SHEET

Drawing Number  
**G1.0**



ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.

DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS STUCCO AND VARIES APPROXIMATELY 0.03'-0.07' IN THICKNESS.

FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

BENCHMARK: CITY OF SUNNYVALE BM22 EL=164.049

A BOUNDARY SURVEY WAS PERFORMED TO ACCURATELY LOCATE THE LEGAL PROPERTY LINES IN RELATION TO THE EXISTING IMPROVEMENTS (BUILDING)
















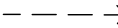
A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

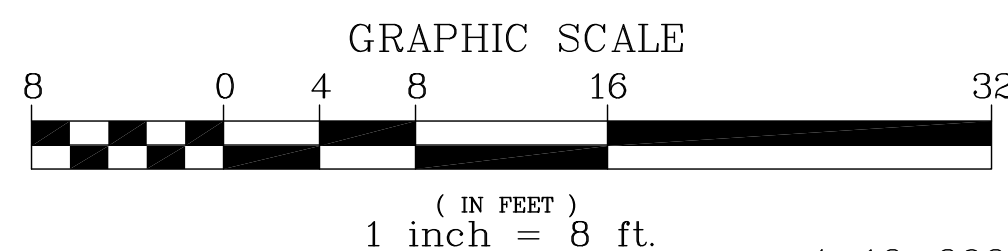
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.

TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

SSCO - SEARCHED FOR - NOT FOUND

LEGEND

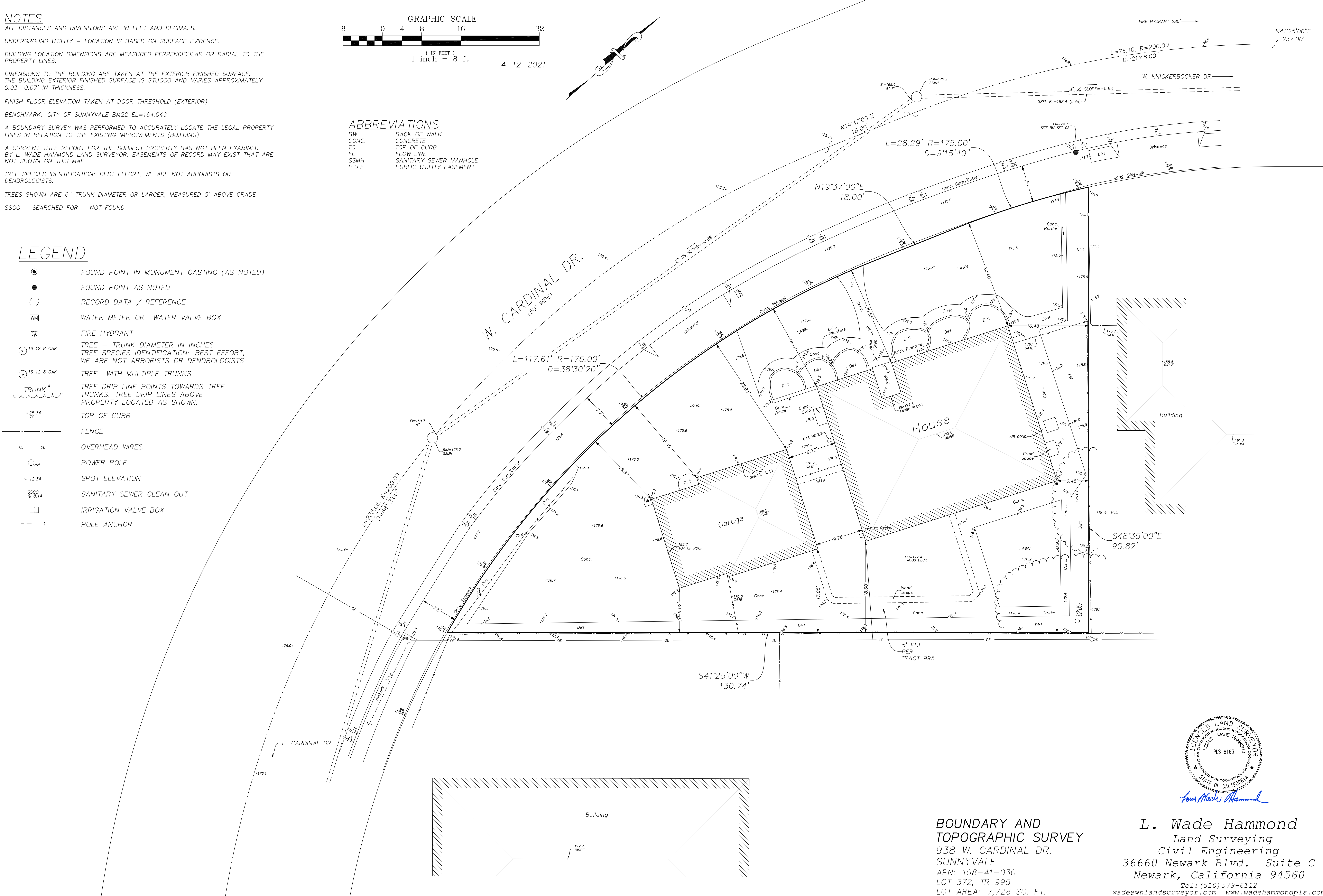
- |   |   |
|---|---|
|    | FOUND POINT IN MONUMENT CASTING (AS NOTED)  |
|    | FOUND POINT AS NOTED  |
|    | RECORD DATA / REFERENCE   |
|    | WATER METER OR WATER VALVE BOX  |
|    | FIRE HYDRANT  |
|    | TREE - TRUNK DIAMETER IN INCHES<br>TREE SPECIES IDENTIFICATION: BEST EFFORT,<br>WE ARE NOT ARBORISTS OR DENDROLOGISTS |
|    | TREE WITH MULTIPLE TRUNKS   |
|    | TREE DRIP LINE POINTS TOWARDS TREE<br>TRUNKS, TREE DRIP LINES ABOVE<br>PROPERTY LOCATED AS SHOWN.                     |
|    | TOP OF CURB   |
|    | FENCE   |
|  | OVERHEAD WIRES  |
|  | POWER POLE  |
|  | SPOT ELEVATION  |
|  | SANITARY SEWER CLEAN OUT  |
|  | IRRIGATION VALVE BOX  |
|  | POLE ANCHOR   |



4-12-2021

## ABBREVIATIONS

BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
P.U.E	PUBLIC UTILITY EASEMENT





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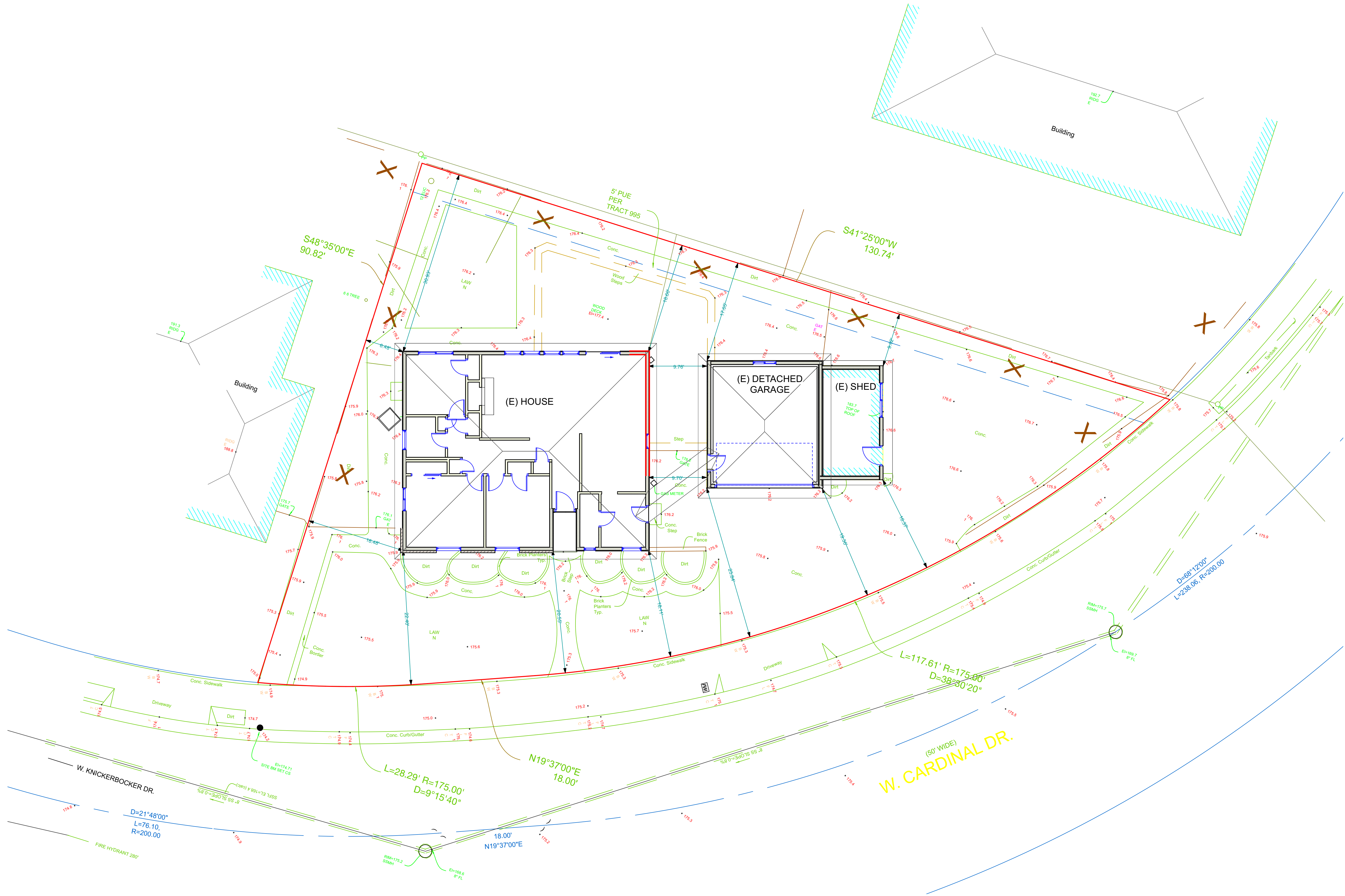
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21/02/25	PCC 3
30/04/25	PUBLIC HEARING

**CHING RESIDENCE**  
938 W CARDINAL DR  
SUNNYVALE

(E) SITE PLAN

Drawing Number  
**A1.0**



1 (E) SITE PLAN  
Scale: 1/8" = 1'-0"

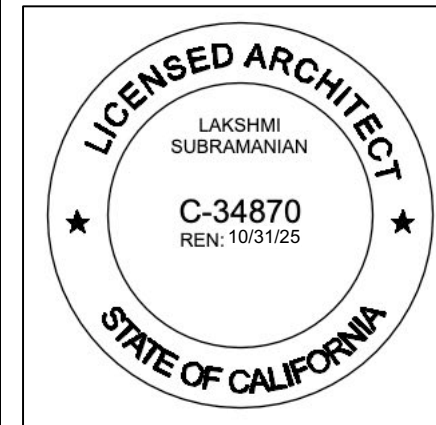


DEPARTMENT OF PUBLIC WORKS NOTES

1. THE CONSTRUCTION OF PERMANENT STRUCTURES IS NOT PERMITTED WITHIN THE PUBLIC UTILITY EASEMENT (PUE). PROVIDE ELEVATION SECTION TO SHOW THE HEIGHT OF THE STRUCTURE THAT FALLS WITHIN THE WCE. IF APPLICABLE. BUILDINGS, STRUCTURES, BALCONIES, OR OVERHANGS ARE NOT PERMITTED WITHIN PUES. IF THERE ARE EXISTING STRUCTURE(S) WITHIN THE PUE, PLEASE BE AWARE THAT IN THE EVENT THAT MAINTENANCE OR INSTALLATION OF PUBLIC FACILITIES ARE REQUIRED WITHIN THE PUE, YOUR STRUCTURE(S) MAY NEED TO BE REMOVED AND NOT REPAIRED/REINSTALLED IF THEY IMPEDE THE PUBLIC AGENCY'S USE OR ACCESS TO THE EASEMENT.
2. CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLISTS AND VEHICULAR TRAFFIC.
3. THE APPLICANT IS RESPONSIBLE FOR RESTORING AND REPLACING ANY DAMAGE IN THE PUBLIC RIGHT OF WAY OR ANY DAMAGE TO THE TRAFFIC CONTROL DEVICES CAUSED DUE TO CONSTRUCTION ACTIVITIES.
4. A SEPARATE ENCROACHMENT PERMIT (EP) WILL BE REQUIRED FOR THE UPGRADE OF THE WATER METER AND THE REMOVAL OF ALL DECORATIVE CONCRETE FROM WITHIN THE PARK STRIP.  
ENCROACHMENT PERMIT APPLICATION CAN BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS VIA YOUR ONLINE ACCOUNT. TRAFFIC CONTROL (IF APPLICABLE) SHALL BE IN COMPLIANCE WITH THE 2006 CA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). APPLICANT IS REQUIRED TO PAY FOR PUBLIC WORKS ENCROACHMENT PERMIT (SEPARATE FROM THE BUILDING PERMIT) FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND PUBLIC EASEMENT. SEE LINK BELOW FOR EP AND TRAFFIC CONTROL REQUIREMENTS AND STANDARD PERMIT CONDITIONS:  
[HTTPS://WWW.SUNNYVALE.CA.GOV/HOME/SHOWPUBLISHEDDOCUMENT/1616/637902746804900000](https://www.sunnyvale.ca.gov/home/showpublisheddocument/1616/637902746804900000)
5. A STREET TREE WORK PERMIT APPLICATION IS TO BE SUBMITTED FOR PROCESSING FOR THE INSTALLATION OF A TREE(S) ALONG YOUR PROJECT FRONTAGE(S). AN ENCROACHMENT PERMIT IS TO BE OBTAINED FOR THE REMOVAL OF DECORATIVE CONCRETE, PAVERS WITHIN THE PARK STRIP, IF APPLICABLE.  
[HTTPS://WWW.SUNNYVALE.CA.GOV/HOMES-STREETS-AND-PROPERTY/STREETS-AND-TREES/TREES/OBTAIN-STREET-TREE-WORK-PERMIT/STREET-TREE-WORK-PERMIT-APPLICATION](https://www.sunnyvale.ca.gov/homes-streets-and-property/streets-and-trees/trees/obtain-street-tree-work-permit/street-tree-work-permit-application)
6. INCREMENTAL WATER AND SEWER CONNECTION FEES WILL NOT APPLY AS A 4-BEDROOM DWELLING UNIT EXISTS. THE DWELLING UNIT IS CURRENTLY AT STANDARD OCCUPANCY.

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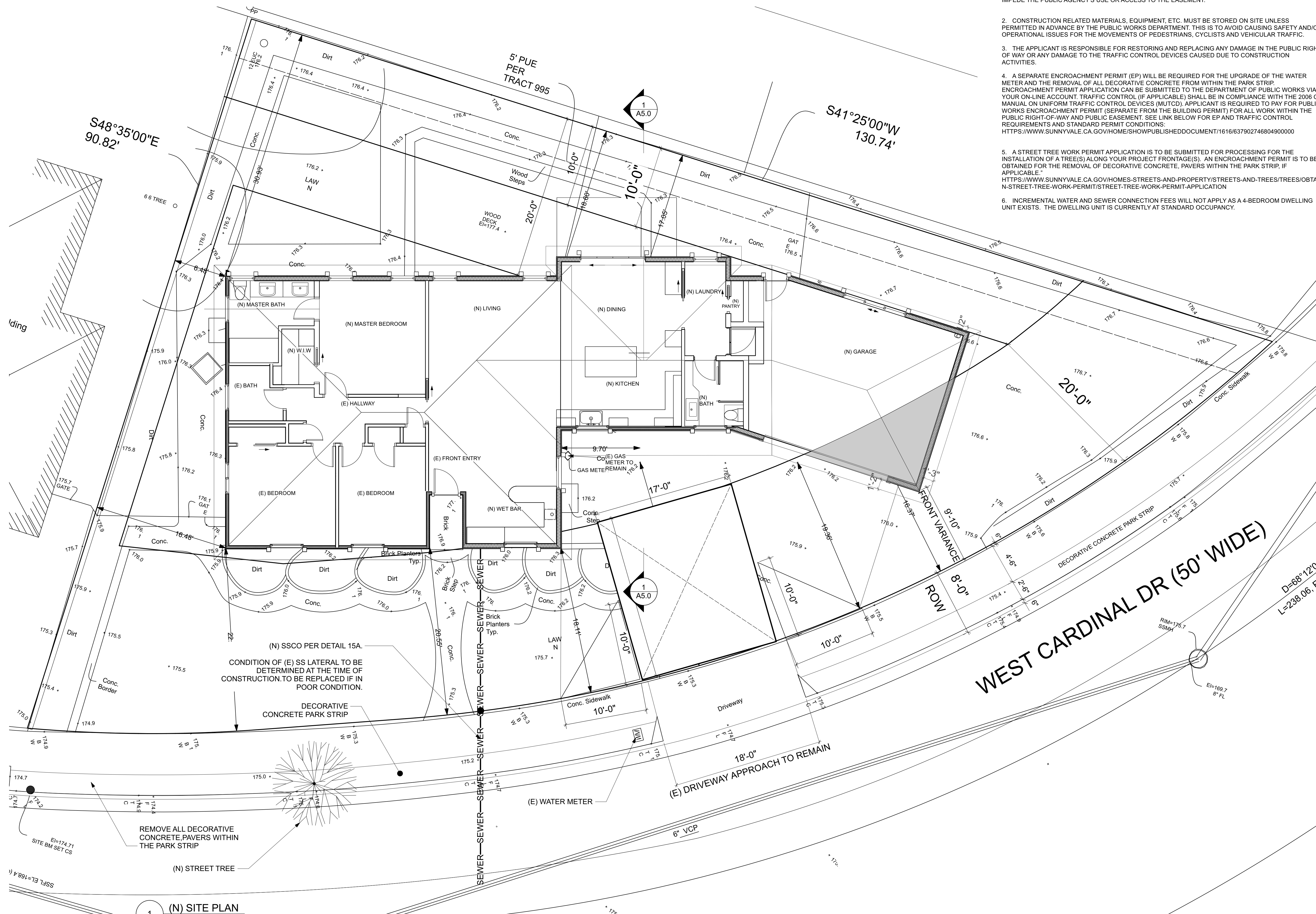
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938 W CARDINAL DR  
SUNNYVALE

(N) SITE PLAN

Drawing Number

**A1.1**





(E) PERMITER OF MAIN HOUSE: 160'-10"

PROPOSED DEMO PERIMETER : 34'-0"

% OF WALLS TO BE DEMO'D : 21.25%

## LEGEND

EXTERIOR WALLS/DOORS/  
WINDOWS TO BE REMOVED

EXISTING DOORS/WINDOWS  
TO BE REMAIN

EXISTING WALLS TO REMAIN

## NEW WALLS

ALL DIMENSIONS ARE  
FACE OF FINISH.

### LOCATION OF NEW 6"X14" VENTS

(N) NEW  
(E) EXISTING  
(R) REPLACE

(N)

(E)

(R

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**CHING RESIDENCE**  
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SUNNYVALE

(E) FLOOR PLAN

Drawing Number

## A2.0

The architectural floor plan illustrates a residential property with the following features and dimensions:

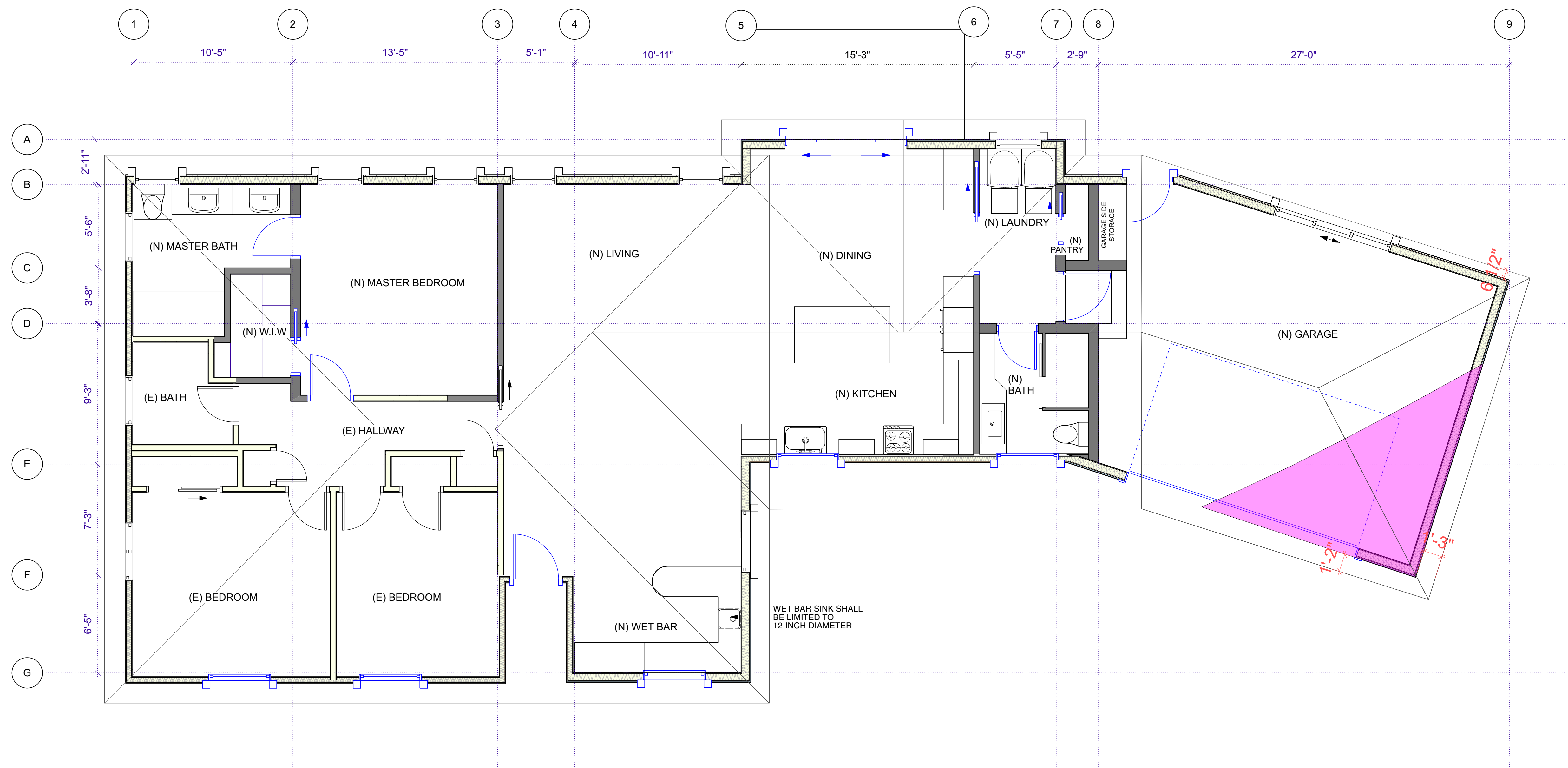
- Grid Lines:** The plan is defined by vertical grid lines numbered 1 through 10 at the top. Horizontal dimensions between these lines are: 10'-5" (1-2), 13'-4" (2-3), 7'-2" (3-4), 5'-9" (4-5), 3'-2" (5-6), 8'-9" (6-7), 8'-5" (7-8), 8'-8" (8-9), 5'-8" (9-10), and 19'-0" (10-11).
- (E) MAIN HOUSE:** The main residence is located on the left side of the plan. It includes a kitchen area with a sink and stove, a dining area, a living area, and a bedroom. A red line along the right exterior wall is labeled "(E) EXT WALLS TO BE DEMOLISHED".
- (E) GARAGE TO BE DEMOLISHED:** A detached garage structure is shown to the right of the main house, marked for demolition.
- (E) SHED TO BE DEMOLISHED:** A small shed structure is located to the right of the garage, also marked for demolition.
- Demolition Markings:** Blue dashed lines and arrows indicate the extent and direction of demolition for the exterior walls of the main house, the garage, and the shed.
- Other Features:** The plan shows various interior partitions, doors, and windows. A north arrow is located near the top center of the main house footprint.

1

(E) FLOOR PLAN

Scale: 1/4" = 1'-0"





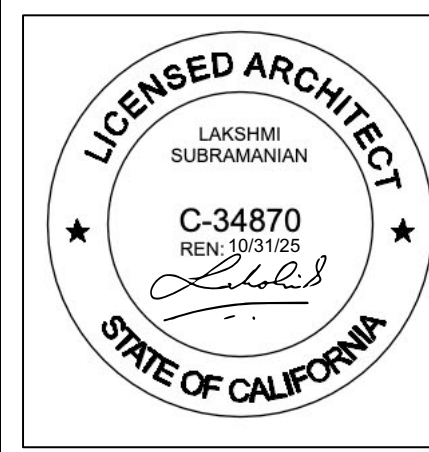
AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND  
INSTALLED IN ACCORDANCE WITH NFPA 13D IS REQUIRED PER SMC  
16.17.080 R313.2

1 (N) FLOOR PLAN  
Scale: 1/4" = 1'-0"

NOTE: 5' PUE ALONG THE EASTERLY PROPERTY LINE. MAINTAIN THIS EASEMENT AT ALL TIMES.

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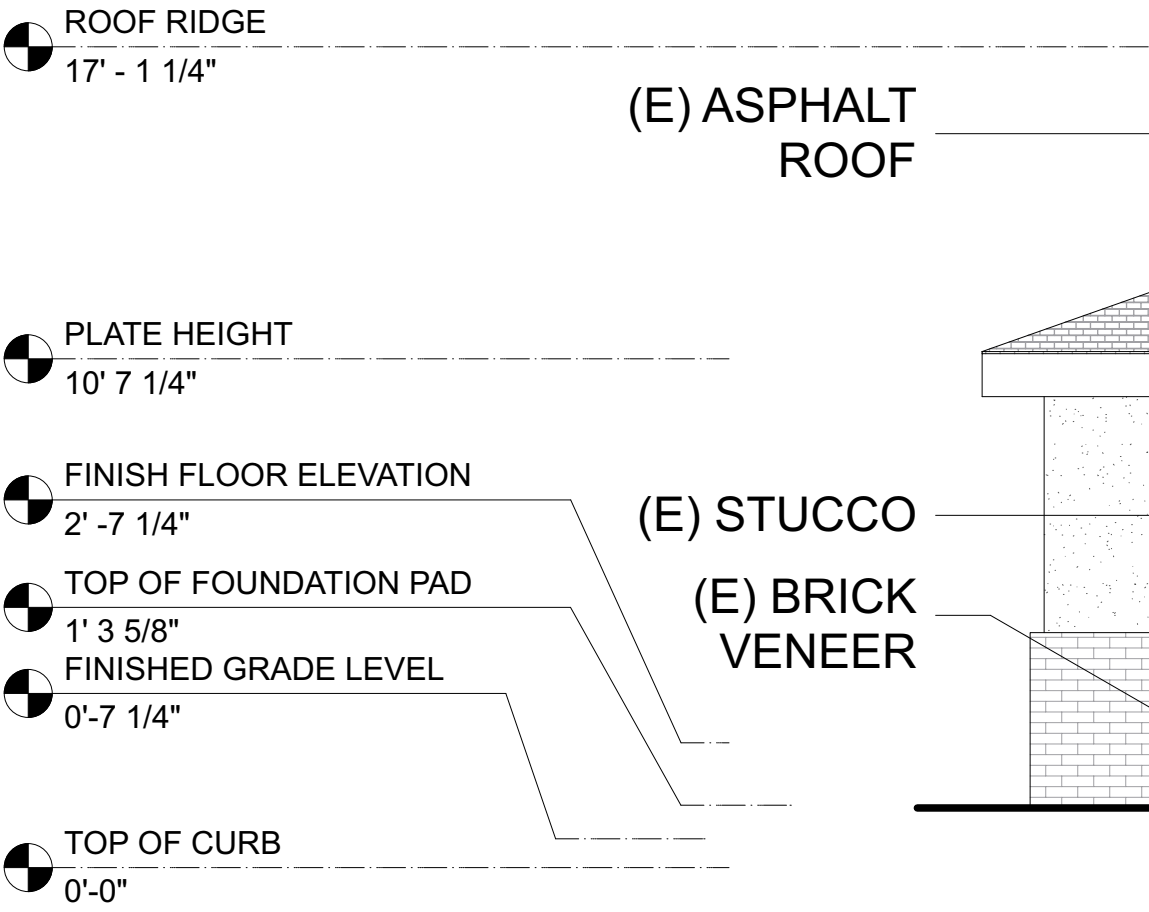
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Issue Date	
APRIL 30TH 2025	
File Name	
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11/12/24	PCC 2
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**CHING RESIDENCE**  
938 W CARDINAL DR  
SUNNYVALE

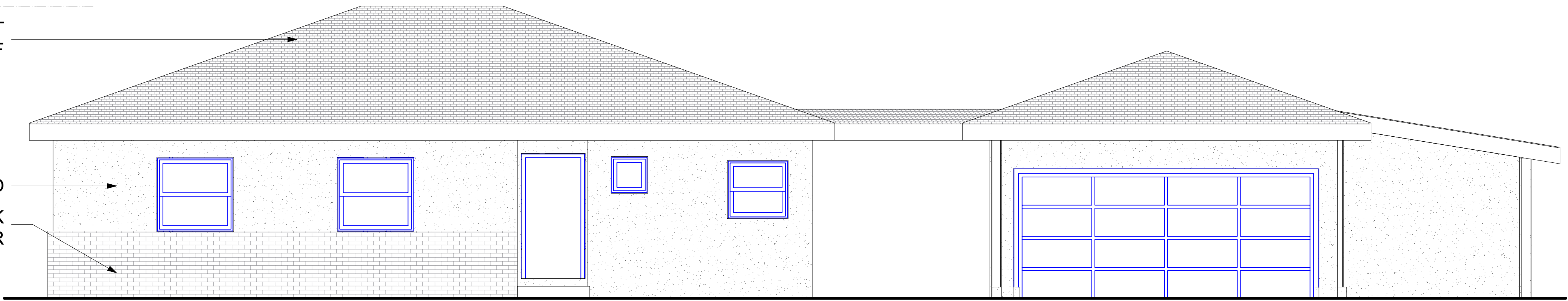
(N) FLOOR PLAN

Drawing Number  
**A2.1**

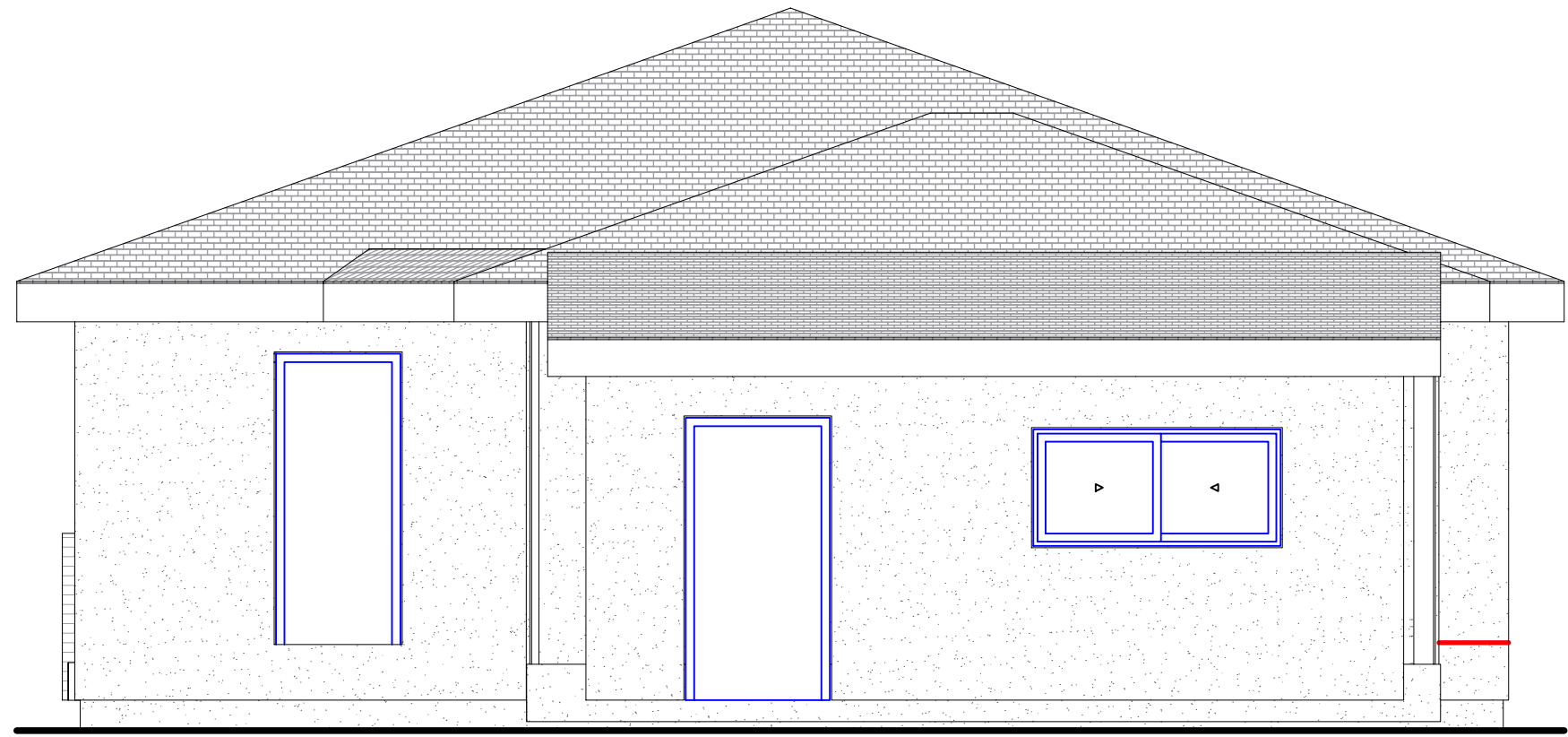




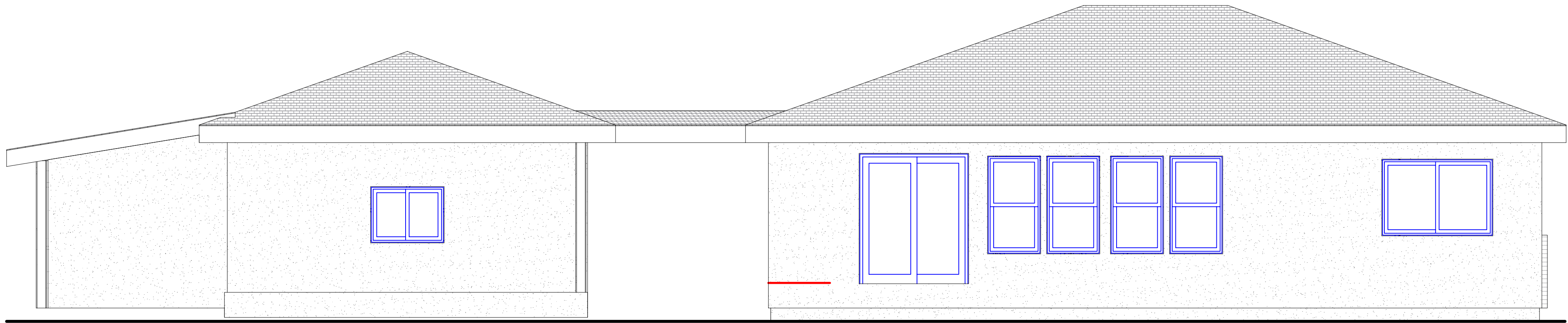
1 (E) FRONT ELEVATION  
Scale: 1/4" = 1'-0"



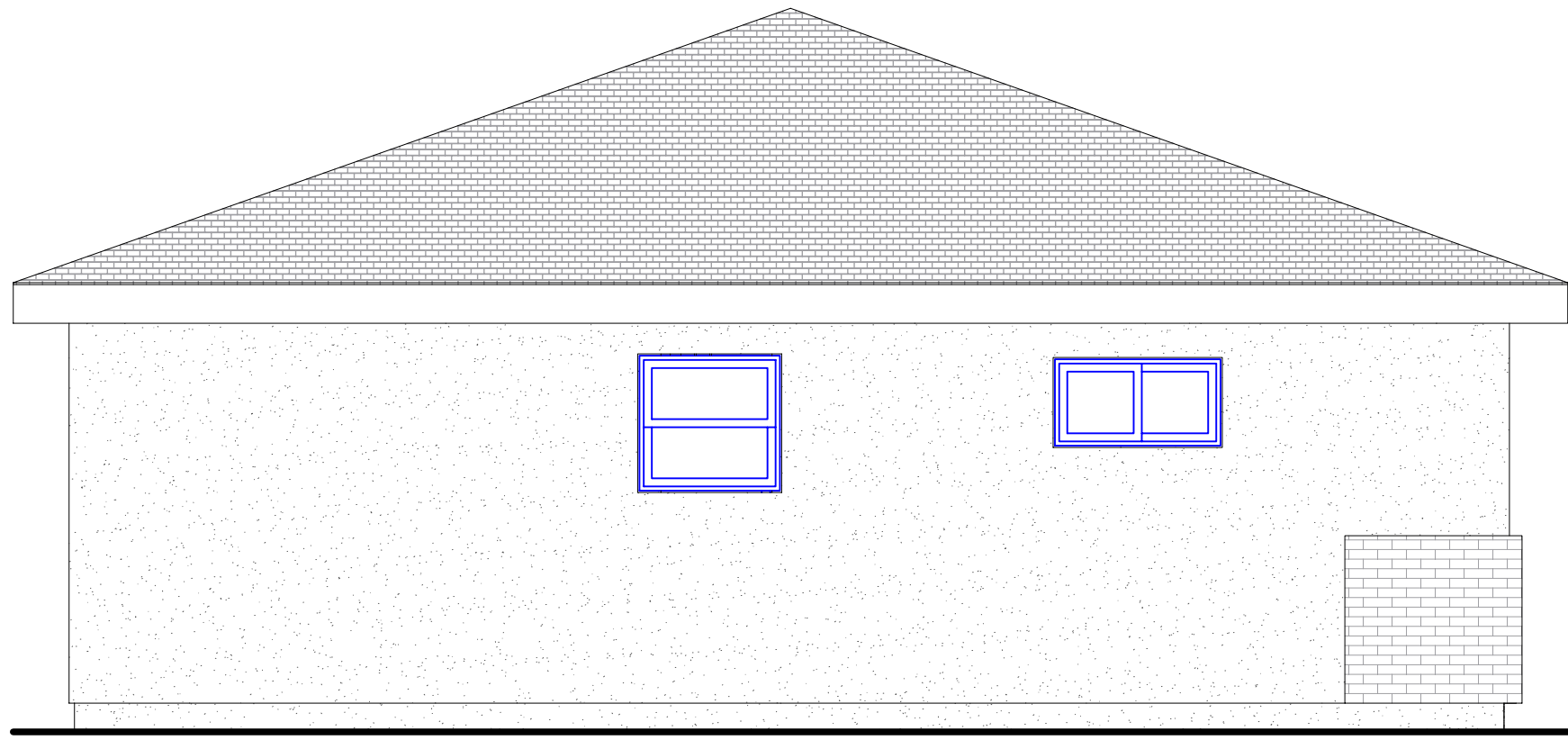
2 (E) RIGHT ELEVATION  
Scale: 1/4" = 1'-0"



3 (E) REAR ELEVATION  
Scale: 1/4" = 1'-0"



4 (E) LEFT ELEVATION  
Scale: 1/4" = 1'-0"



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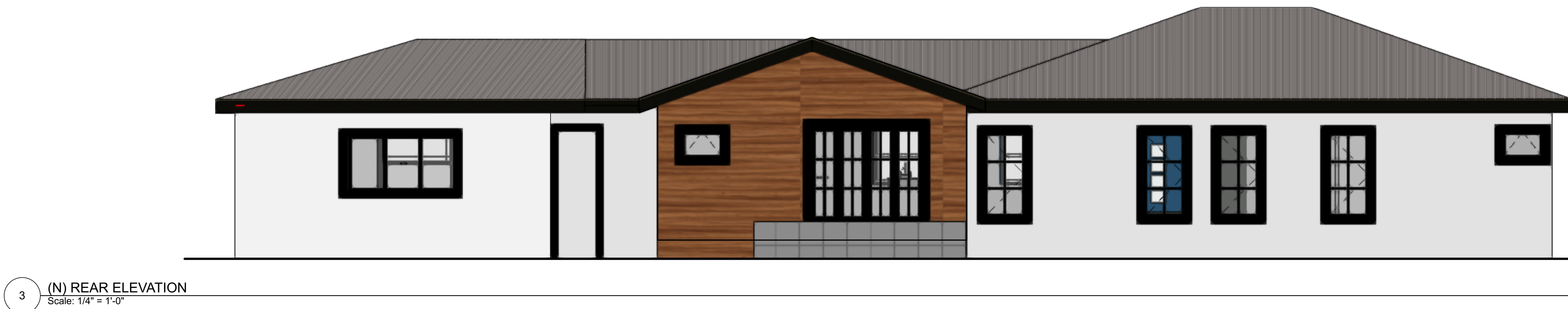
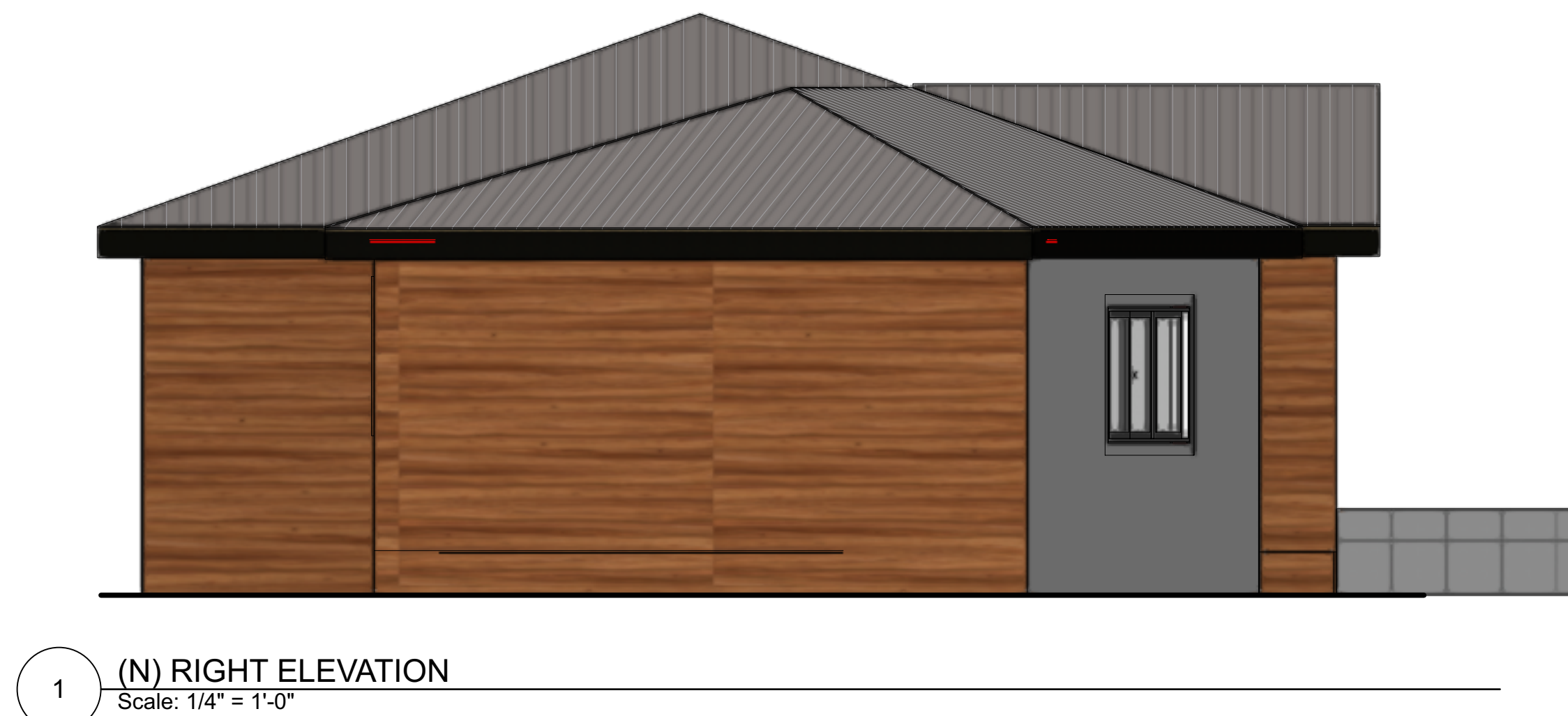
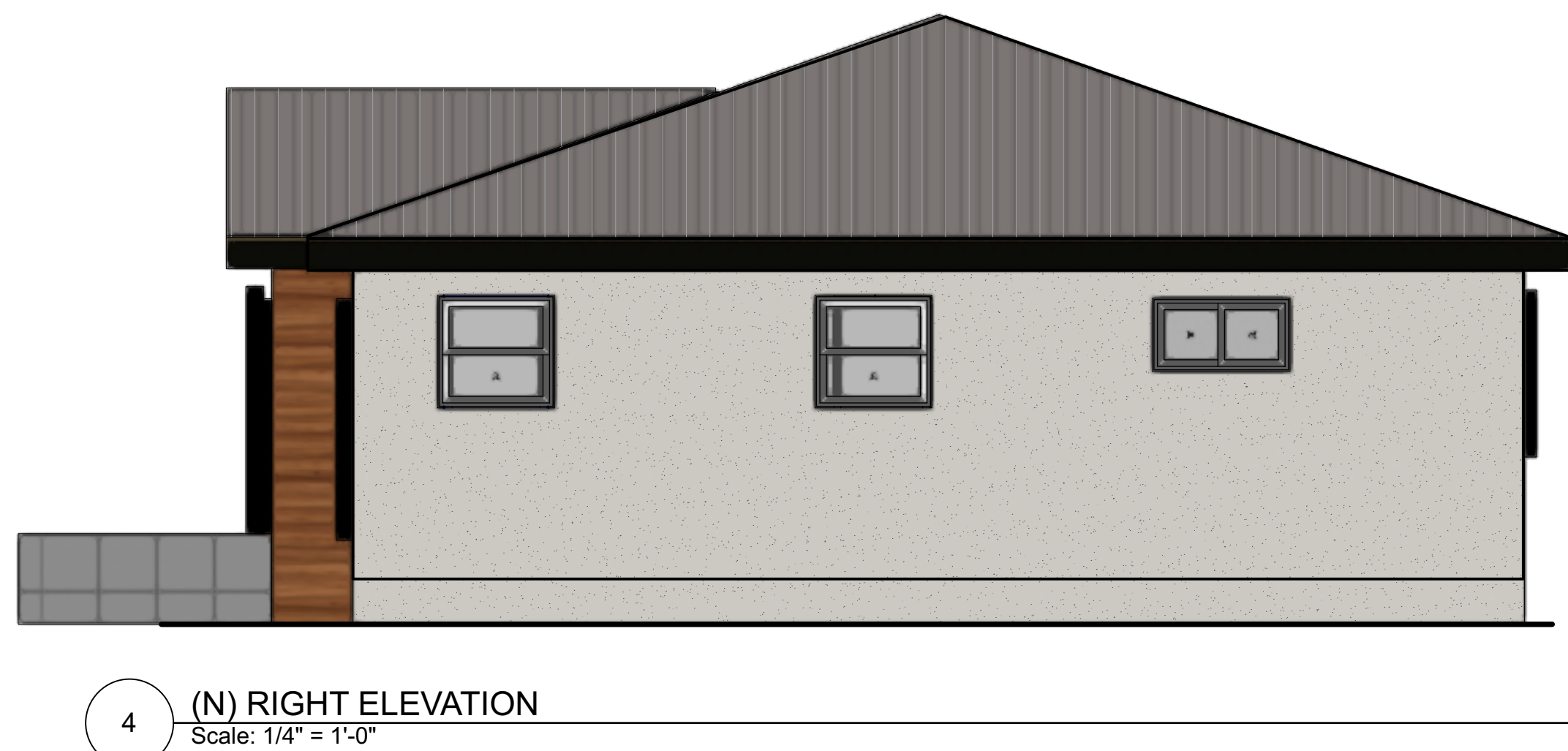
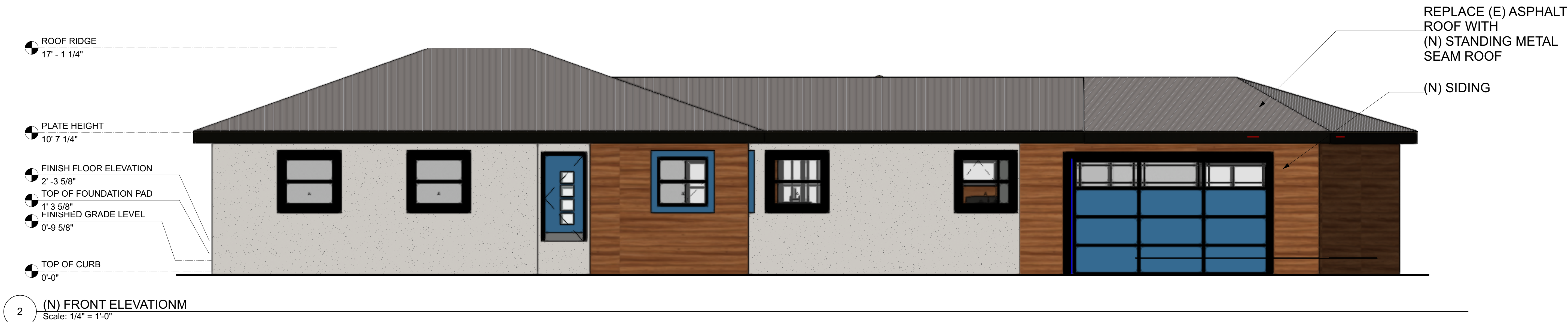
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CHING RESIDENCE  
938 W CARDINAL DR  
SUNNYVALE

(E) ELEVATIONS

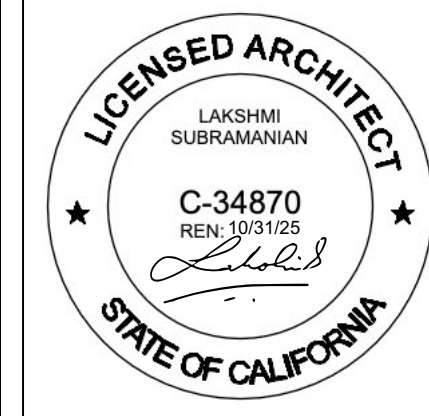
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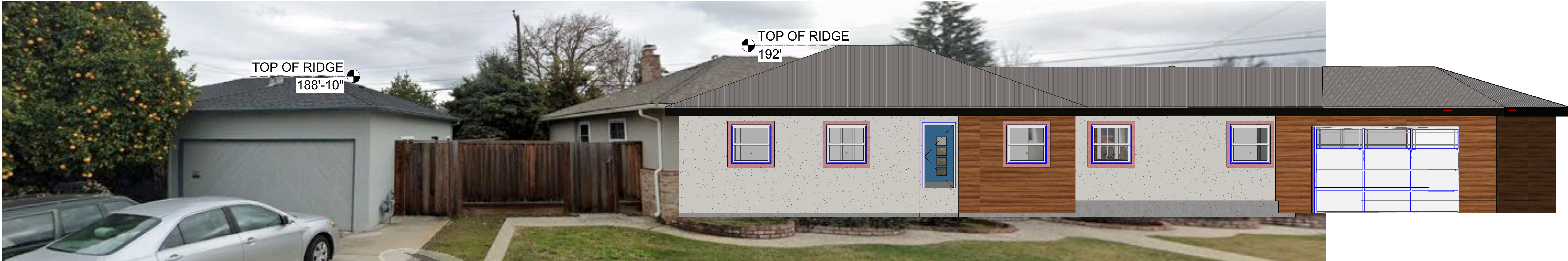
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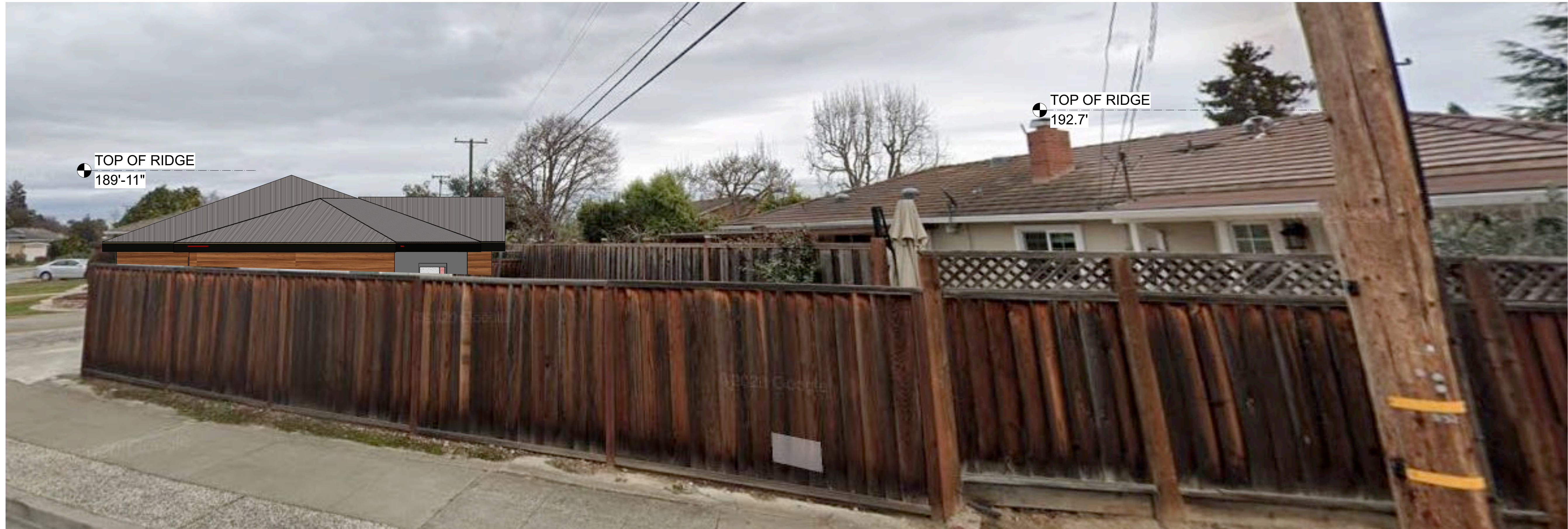
(N) ELEVATIONS

Drawing Number  
A3.1





5 STREET ELEVATION  
Scale: 3/16" = 1'-0"



1 CORNER STREET ELEVATION  
Scale: 3/16" = 1'-0"

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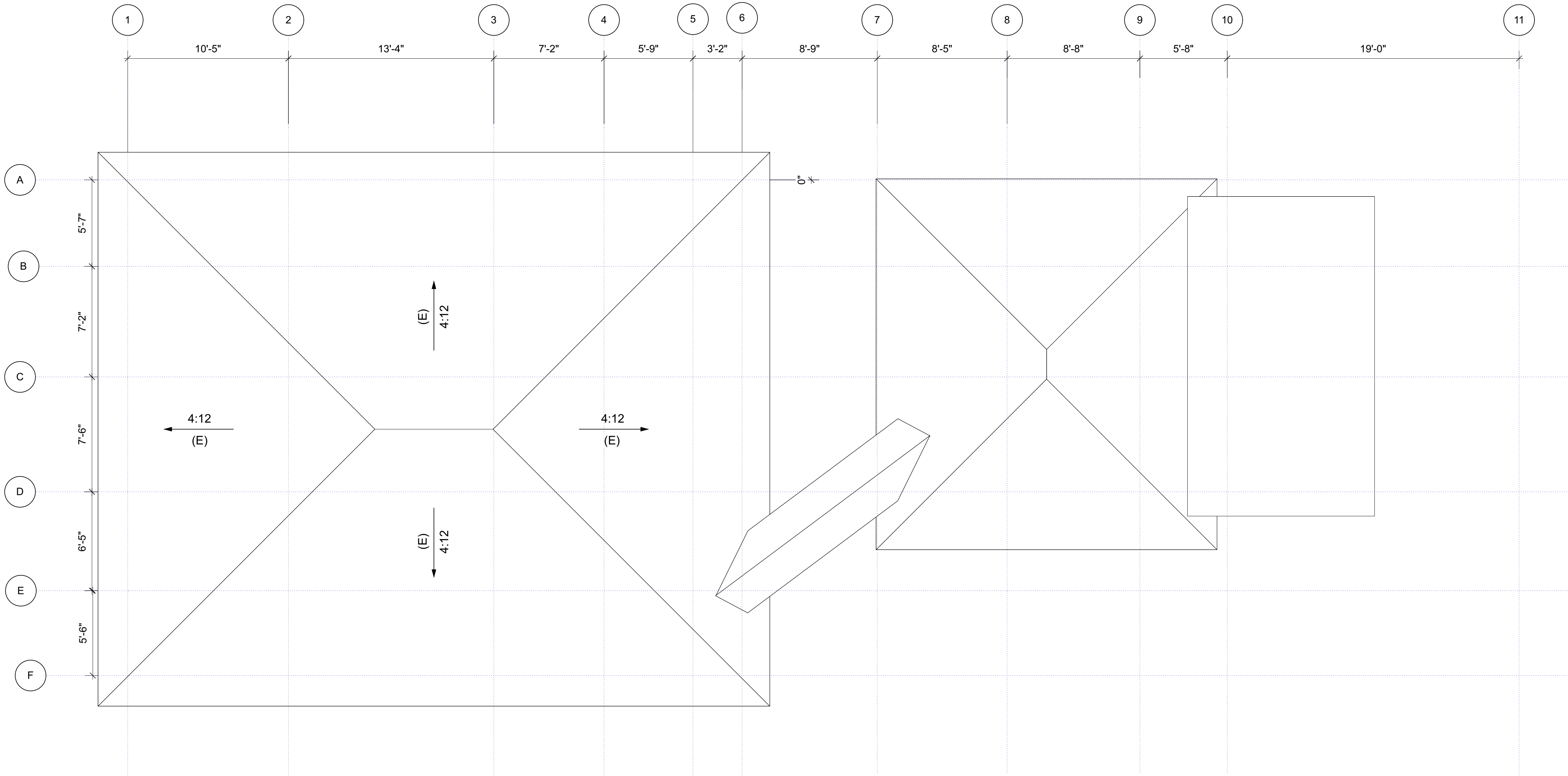
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STREET ELEVATION

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2 (E) ROOF PLAN  
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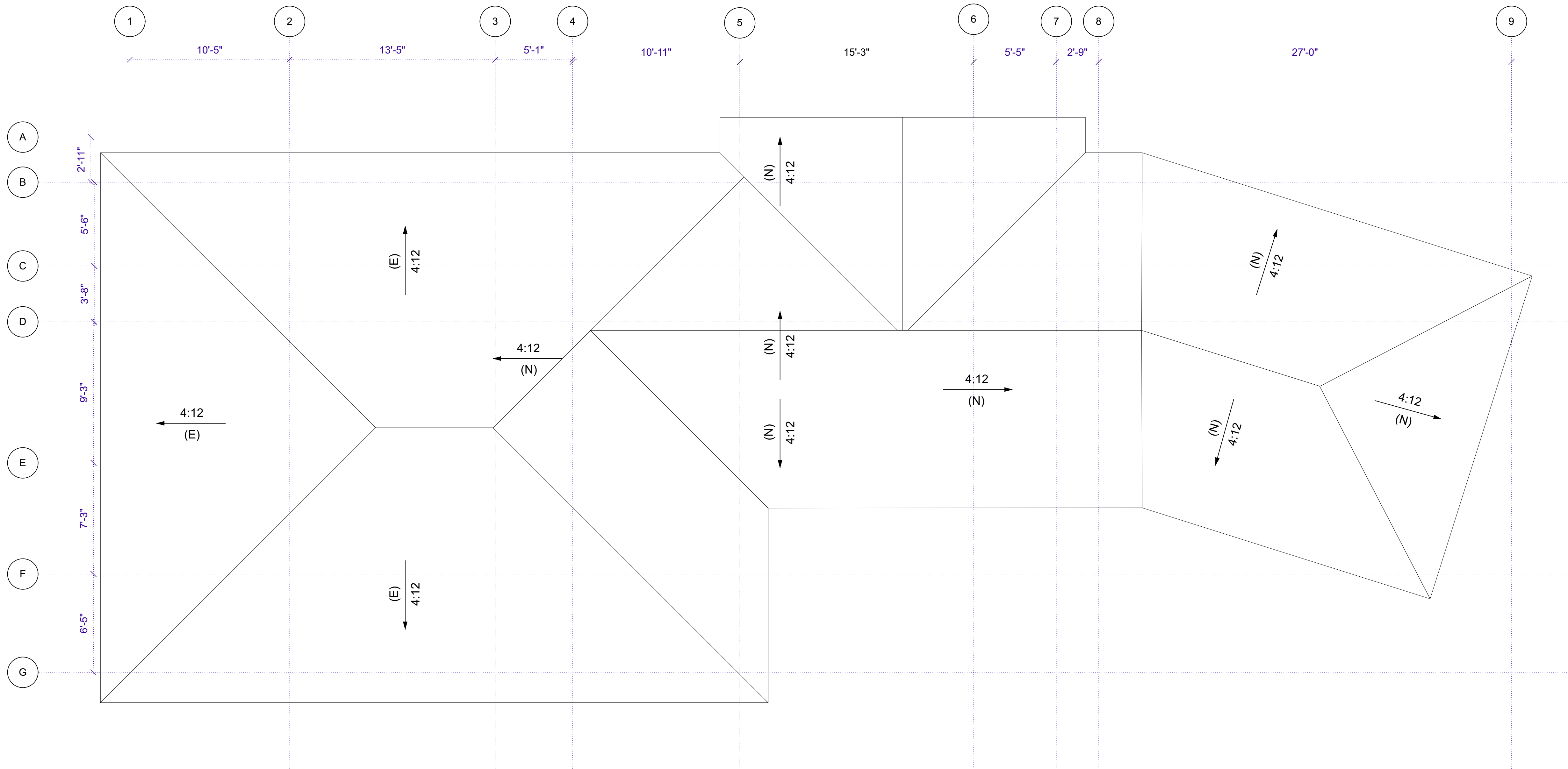
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CHING RESIDENCE  
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(E) ROOF PLAN

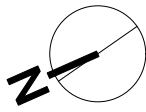
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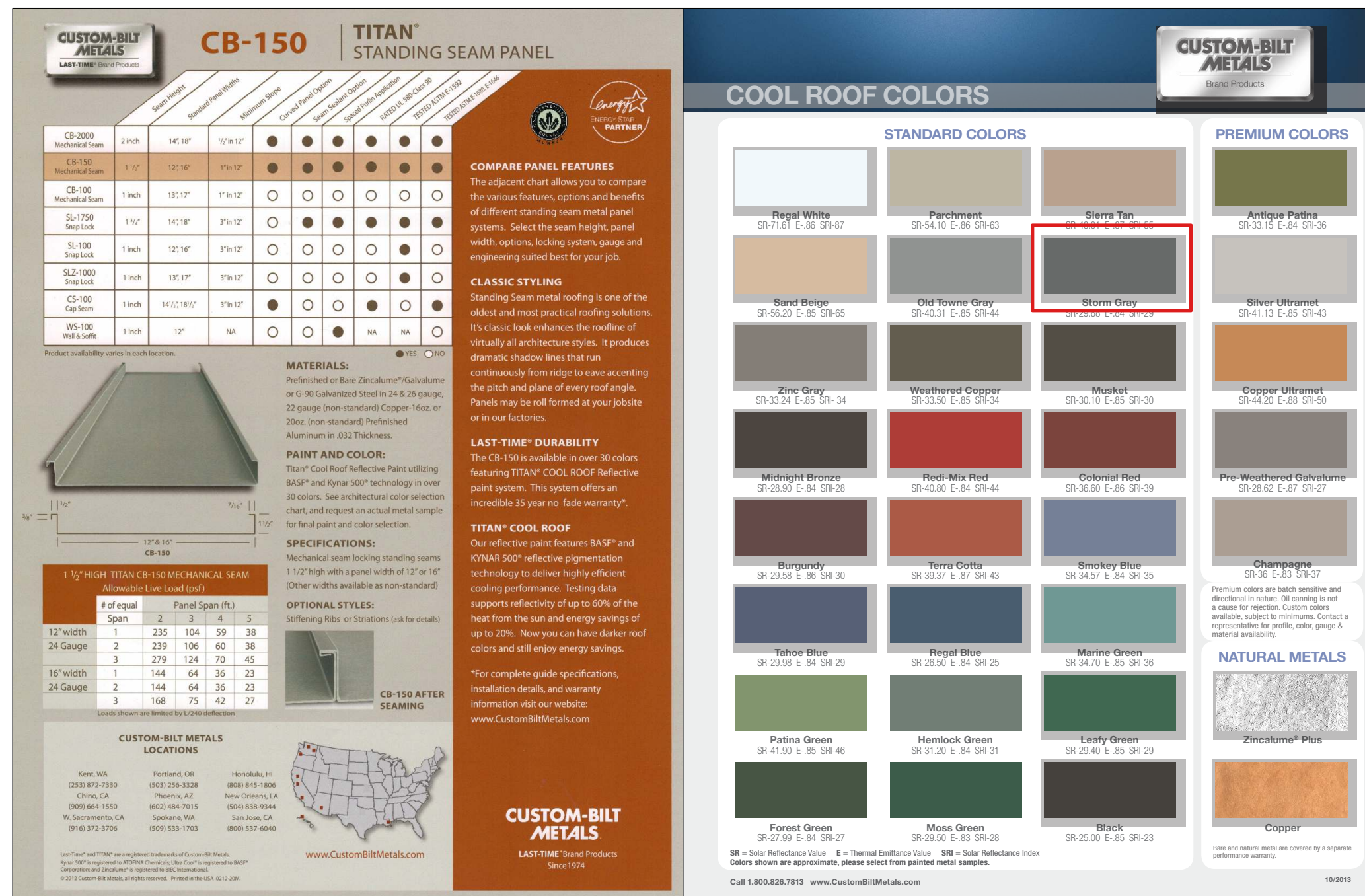
(N) ROOF PLAN

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**A4.1**



# ROOF

STANDING METAL SEAM CUSTOM BILT 150 STORM GRAY COLOR WITH BLACK GUTTERS

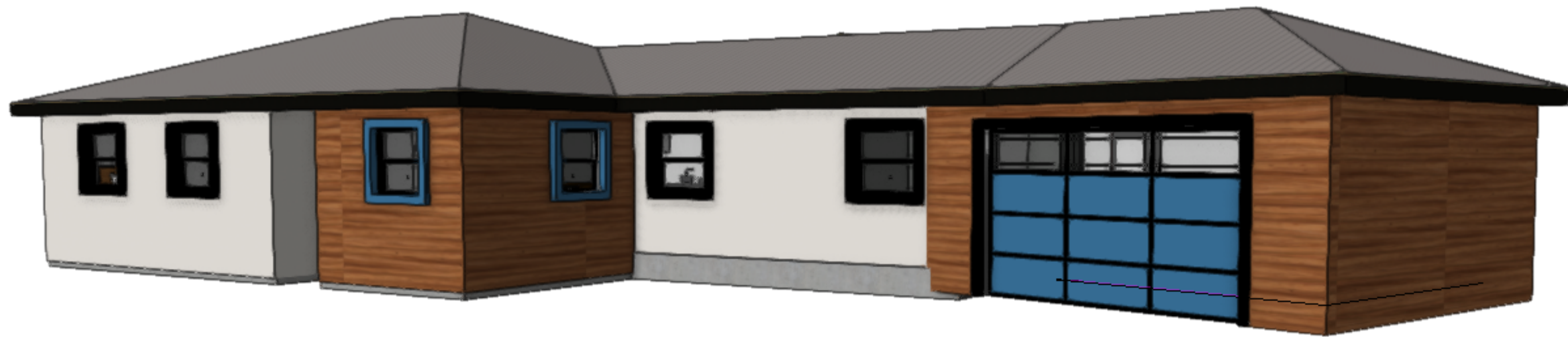
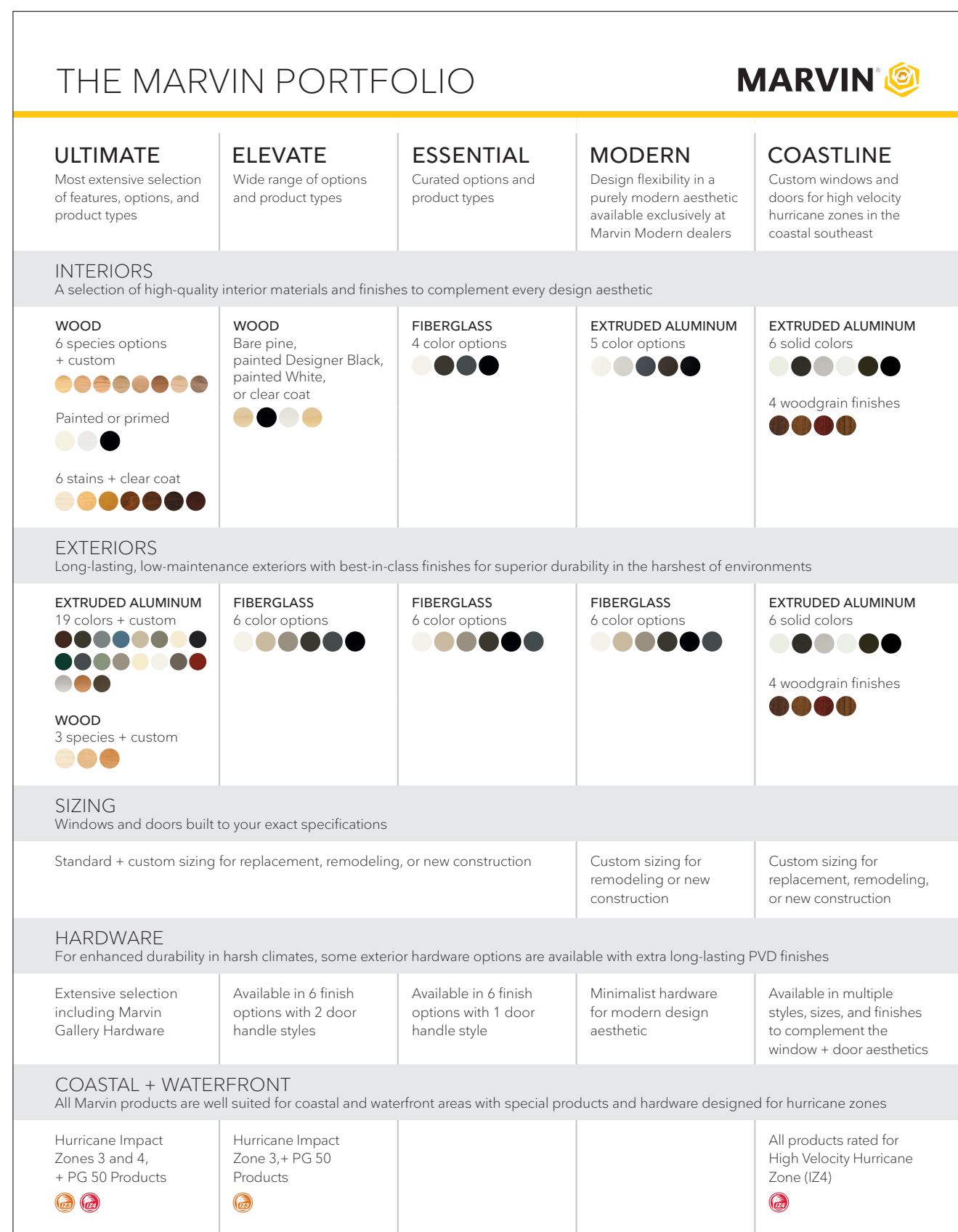


# WINDOWS

## MARVIN FIBERGLASS WINDOWS:

MARVIN MODERN SERIES WITH SINGLE  
HUNG WINDOWS TO MATCH EXISTING  
WINDOW STYLE

TRIM ILLUMINATION BY NICHHA BAY BLUE  
AND RAVEN



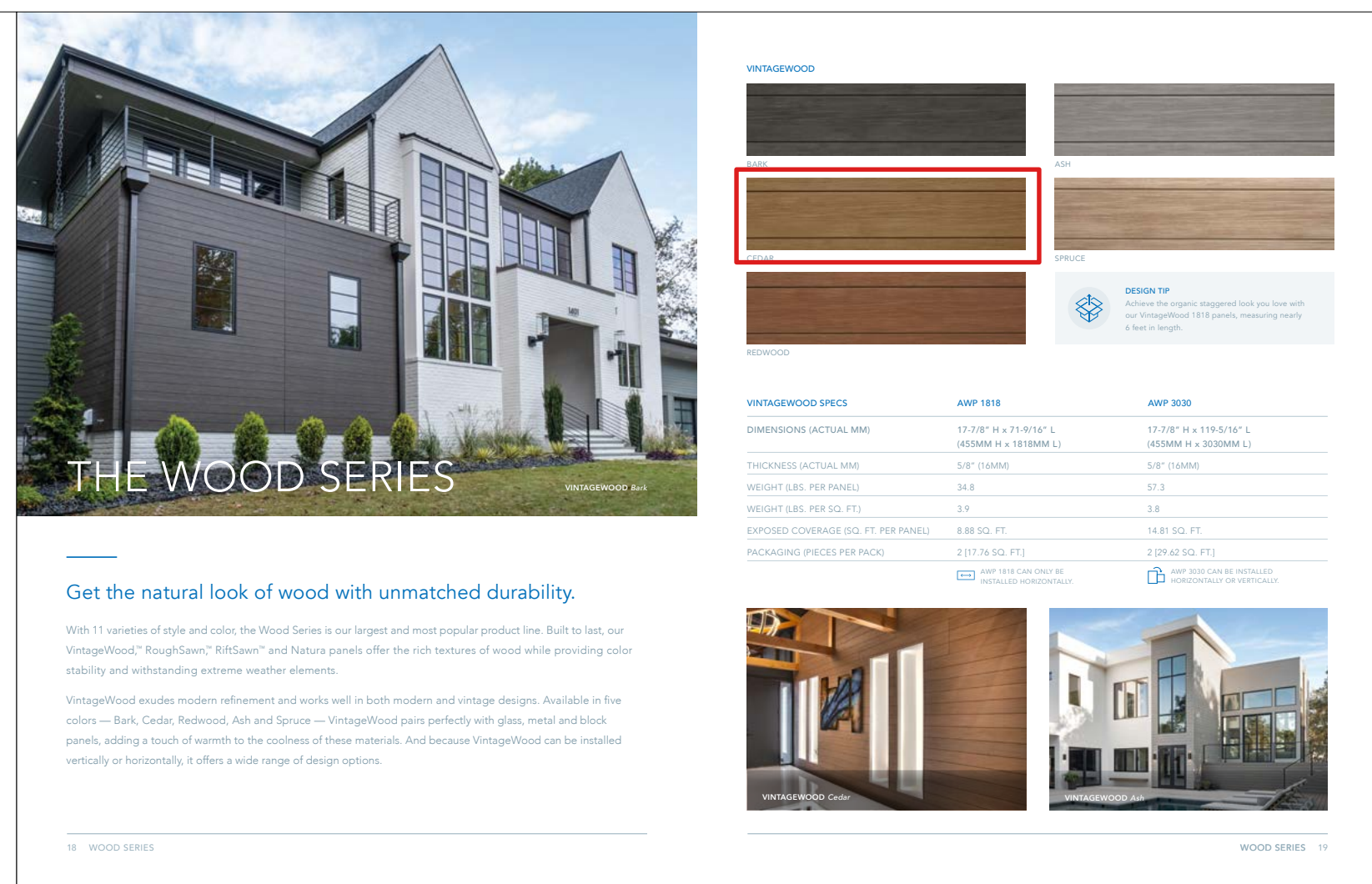
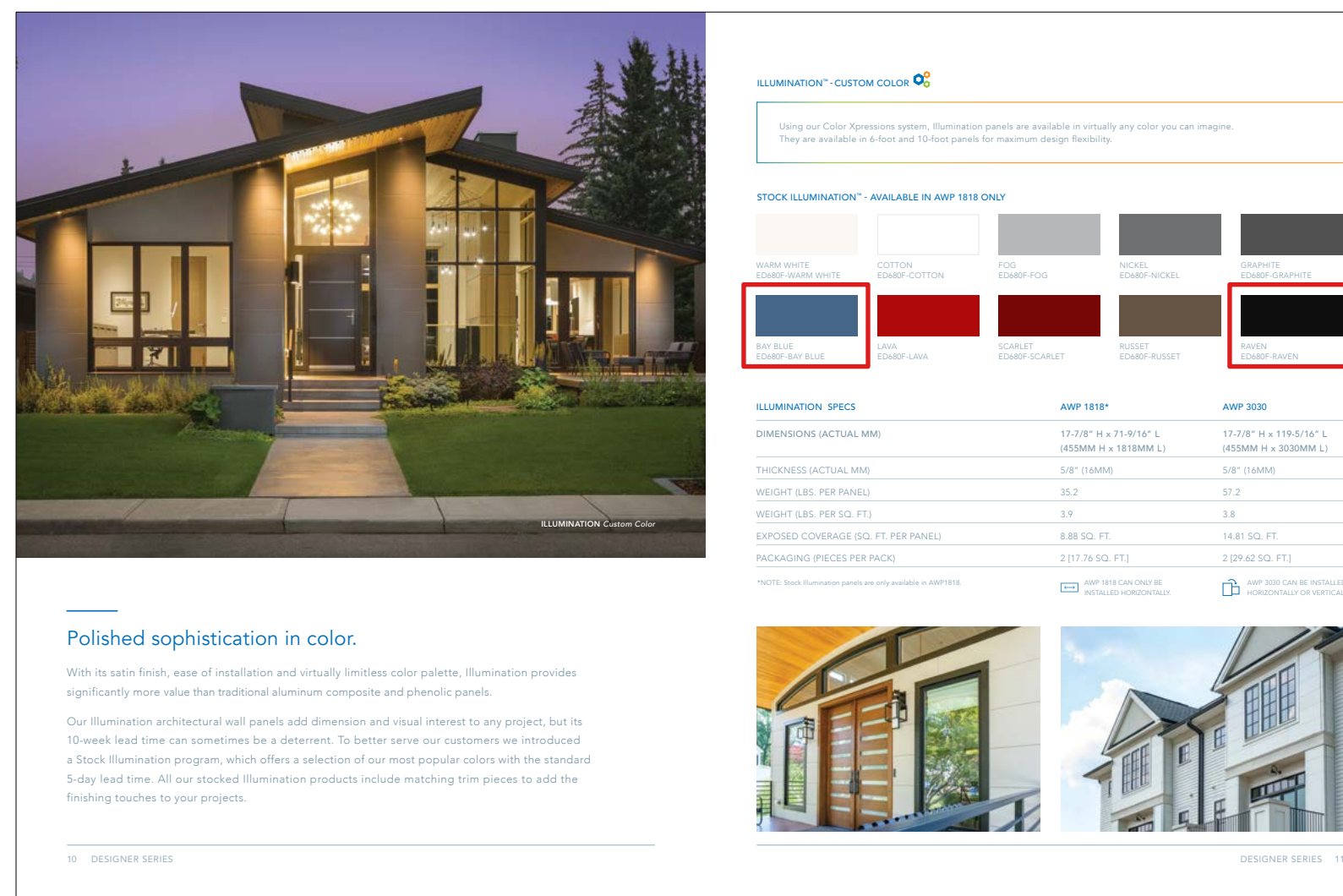
# WALLS

## NICHIHA FIBER CEMENT SIDING:

## WOOD HIGHLIGHTS: VINTAGE WOOD SIDING

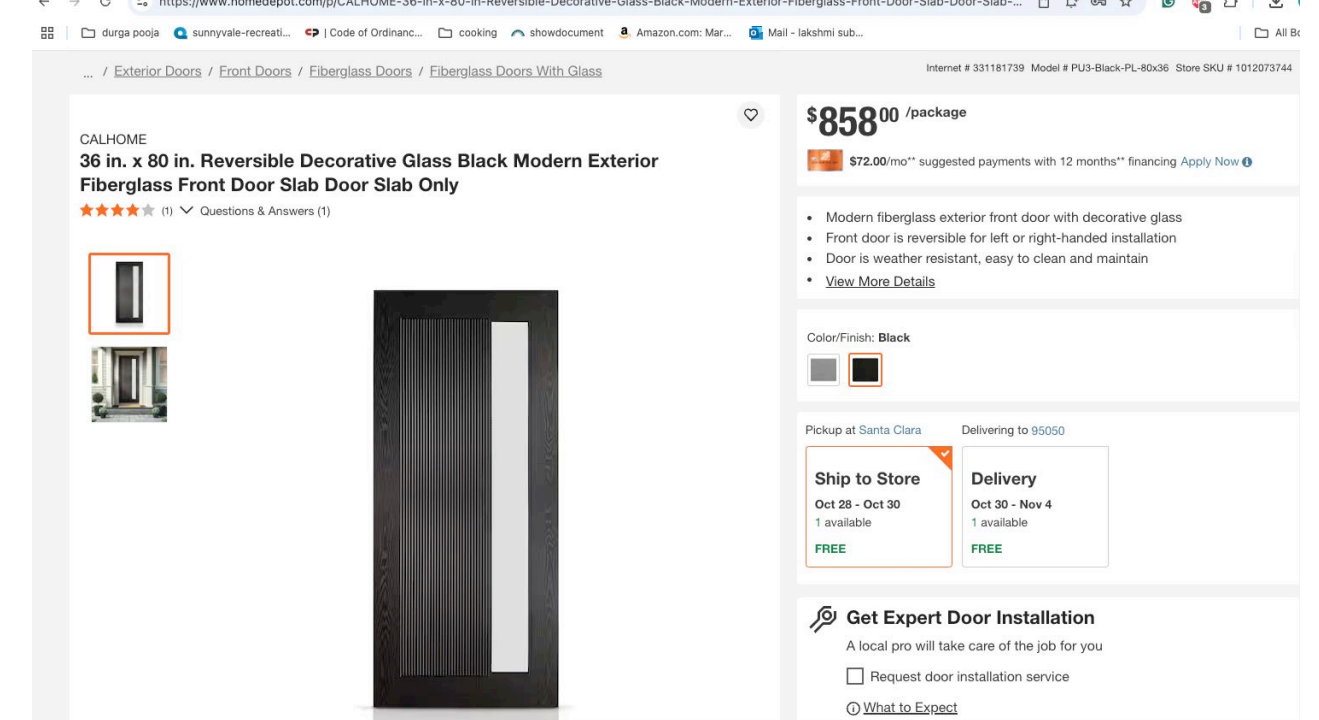
WINDOW TRIM: ILLUMINATION BAY BLUE AND RAVEN

EXTERIOR WALLS: STUCCO OR NICHHA SMOOTH



# FRONT DOOR

## MODERN DOOR WITH ONE SIDELITE




# GARAGE DOOR

## CONTEMPORARY GLASS PANEL GARAGE DOOR



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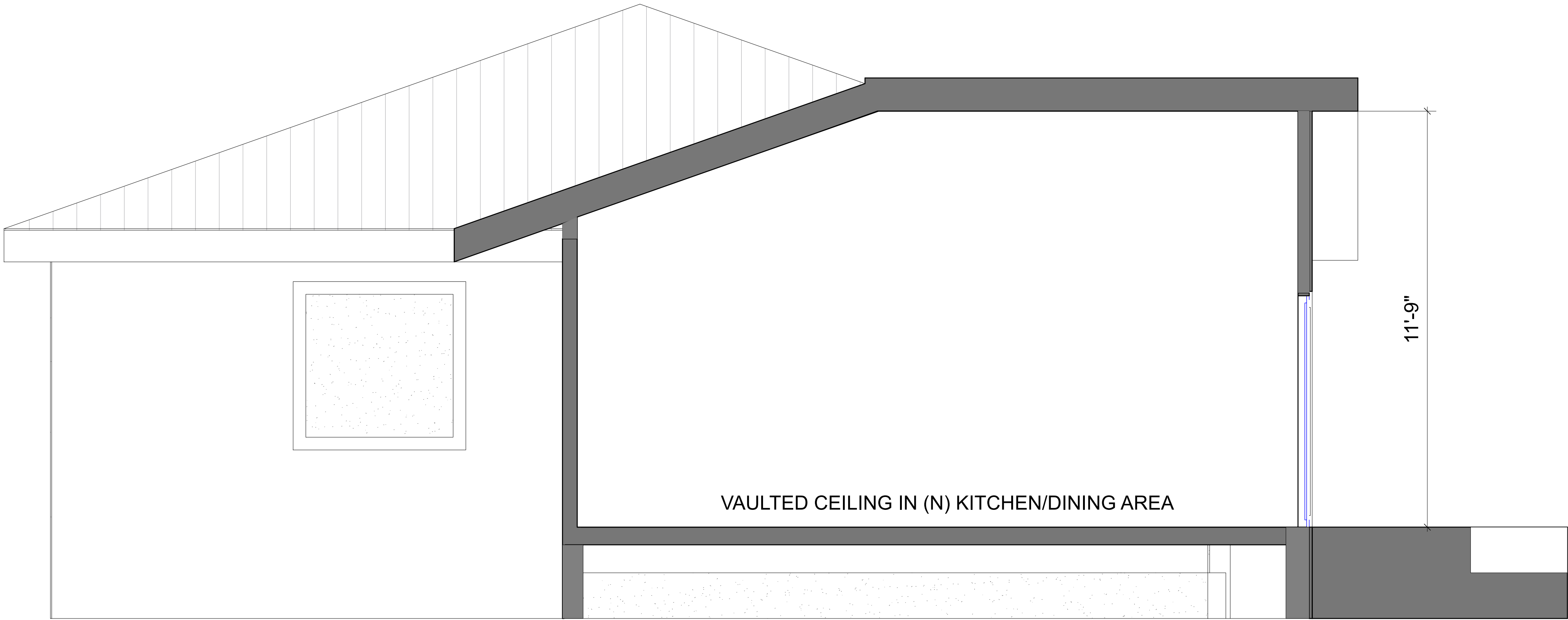
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## COLOR AND MATERIAL BOARD

Drawing Number

**A4.2**





1 SECTION A-A  
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SECTION AA

Drawing Number  
**A5.0**