

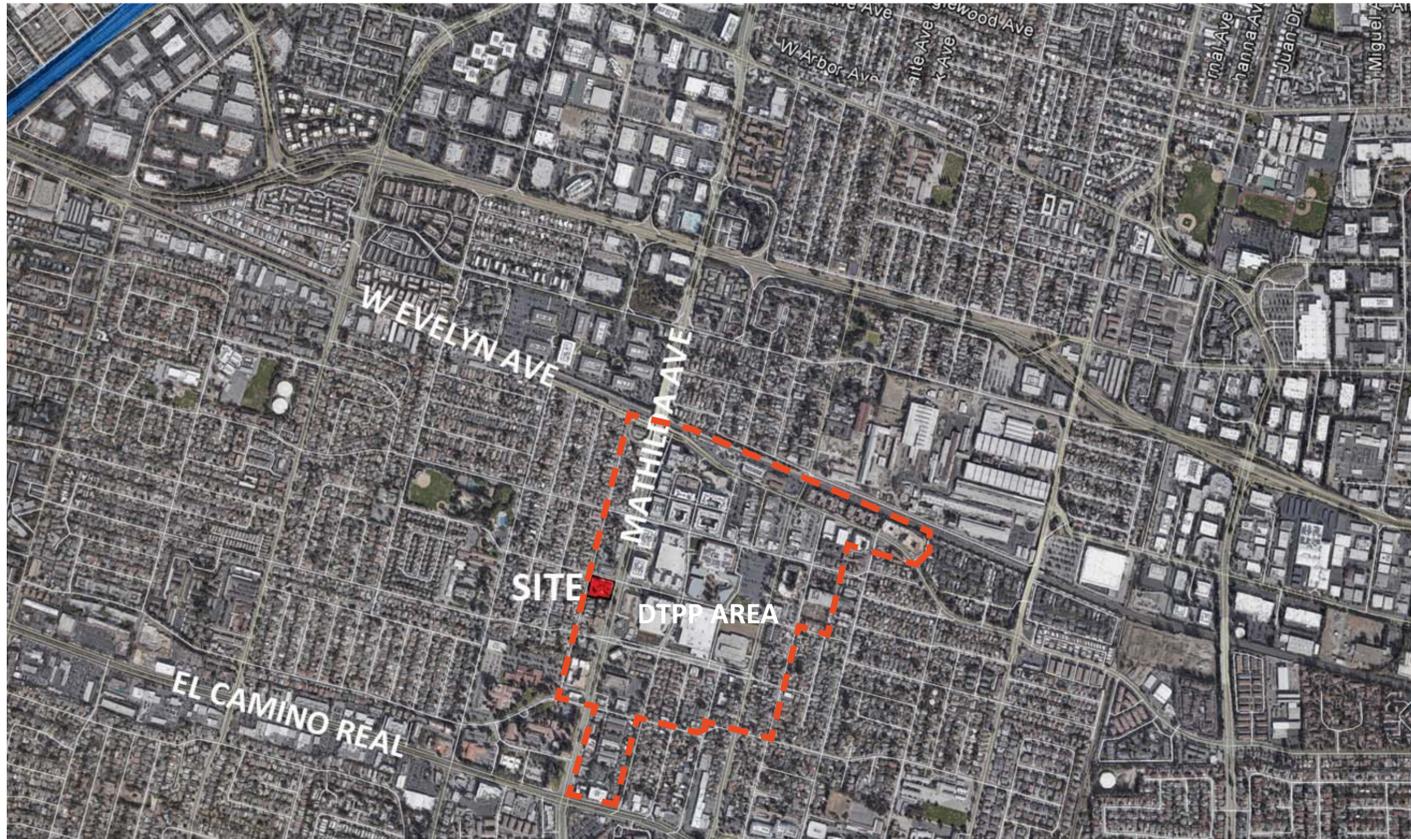


# 311 S Mathilda Avenue, Sunnyvale, CA

APRIL 2018



VICINITY MAP:



PROPERTY INFORMATION:

Site Address: 311 S Mathilda Avenue, Sunnyvale, CA 94086  
 APN: 165-13-050  
 Site Area: 1.01  
 Existing Use: Commercial  
 Proposed Use: Commercial, Multi-family Residential  
 Density: 54 du/acre  
 Proposed Density: 75 du/acre  
 (54 x 0.05 Green Building Bonus = +2 units)  
 (2+54 x 1.35 SDB = 75 units allowed)

PROJECT DESCRIPTION:

311 Mathilda is a mixed-use project located on the corner of McKinley and S Mathilda in Sunnyvale. The project comprises of 5,000 square foot of commercial frontage along Mathilda that will replace the existing Denny's restaurant. The residential component will be made up of 75 units with some allotted for below market rate. On Charles Street side, four townhouse type units line the frontage to reduce the scale towards the single family neighborhood. A central podium courtyard provides open space for the residents. This layout provides a small-scale appearance along Charles Street.

PROJECT TEAM:

APPLICANT:  
 LANE PARTNERS  
 644 Menlo Avenue 2nd Floor  
 Menlo Park, CA 94025  
 Contact: MARCUS GILMOUR  
 Phone: 650.838.0100

CIVIL ENGINEER:  
 BKF ENGINEERS  
 4670 Willow Rd, Suite 250  
 Pleasanton, CA 94588  
 Contact: ALEXIS MATUSEK  
 Phone: 925.396.7700

UTILITY ENGINEER:  
 GIACALONE DESIGN SERVICES, INC.  
 5820 Stoneridge Mall Rd Ste 345,  
 Pleasanton, CA 94588  
 Contact: ANDREW CUMMINS  
 Phone: 925.467.1740

APPLICANT:  
 BAY WEST DEVELOPMENT  
 1725 S. Bascom Ave, Suite 1050  
 Campbell, CA 95008  
 Contact: PETE BERITZHOFF  
 Phone: 408.680.4938

LANDSCAPE:  
 SAW // SPIEGEL AIHARA WORKSHOP  
 2325 3rd ST, Suite 216  
 San Francisco, CA 94107  
 Contact: MEGUMI AIHARA  
 Phone: 415.890.4729

MEP ENGINEERS:  
 ALFA TECH  
 1321 Ridder Park Drive, No. 50  
 San Jose, CA 95131  
 Contact: Saied Nazeri  
 Phone: 408.487.1200

ARCHITECT/PLANNER:  
 STUDIO T-SQ, INC.  
 304 12th Street, Suite 2A  
 Oakland, CA 94607  
 Contact: DOUGLAS OLIVER  
 Phone: 510.451.2850

TRASH MANAGEMENT  
 AMERICAN TRASH MANAGEMENT  
 1900 Powell Street, STE 890  
 Emeryville, CA 94608  
 Contact: Scott Brown  
 Phone: 415.292.5401

STRUCTURAL ENGINEER  
 HOHBACH-LEWIN, INC  
 260 Sheridan Ave, Suite 150  
 Palo Alto, CA 94306  
 Contact: Dan Lewin  
 Phone: 650.617.5930

SHEET INDEX:

- G1.0 Project Summary
- SP1.0 Vicinity Map and Existing Site Photos
  - SP1.1 Illustrative Site Plan
  - SP1.2 Circulation Diagram
  - SP1.3 Fire Access Plan
  - SP1.4 Open Space Calculation
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- A2.0 Basement Level Plan
  - A2.1 Street Level Plan
  - A2.2 Podium Level Plan
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  - A2.6 Roof Level Plan
- A3.0 Building Elevation and Perspective
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  - A3.3 Building Elevation and Perspective
  - A3.4 Color and Material Board
- A4.0 Building Sections
  - A4.1 Building Sections
  - A4.2 Schematic Detail
  - A4.3 Schematic Detail
- A5.0 Unit Plans
  - A5.1 Unit Plans
  - A5.2 Unit Plans
  - A5.3 GreenPoint Rated Check List
- L1.0 Landscape Concept Plan
- L4.0 Landscape Planting Plan
- L5.0 Landscape Hydrozone Plan
- C0.0 Civil Cover Sheet
- C1.0 Existing Conditions Plan
- C2.0 Proposed Civil Site Plan
- C3.0 Preliminary Grading Plan
- C4.0 Preliminary Utility Plan
- C5.0 Preliminary Stormwater Control Plan
- INT1 Joint Trench Intent Title Sheet
- INT2 Joint Trench Intent Plan
- T0.1 Residential Trash Collection Plan
- T0.2 Restaurant Trash Collection Plan
- T0.3 Remote Trash Collection Room
- T0.4 Trash Staging Area
- T1.1 Restaurant Bin Movement Plan
- T1.2 Path of Travel Plan
- T1.3 Path of Travel Plan
- T1.4 Path of Travel Plan
- T2.0 Chute Details

BUILDING PROGRAM:

UNITS	Quan.	N.S.F.	Mix	Rentable S.F.	Parking Provided
Studios Total	8	596	10.7%	4,765	8
1BR Units Total	41	764	54.7%	31,338	41
2BR Units Total	26	1376	34.7%	35,777	26
<b>ALL UNITS -TOTAL</b>	<b>75</b>	<b>958</b>	<b>100.0%</b>	<b>71,880</b>	<b>75</b>

RESIDENTIAL	
Residential Parking Required (.5 per bedroom)	51
Guest Parking Provided	7
Total Residential Parking Provided (3 Accessible)	82
Residential Bike Parking Required (1 per 4 units)	19
Residential Bike Parking Provided	54

COMMERCIAL	
Existing Commercial	4,057 SF
Proposed Commercial	4860
Commercial Parking Required (1 per 110 SF)	44
Commercial Parking Provided (2 Accessible Stalls)	47

STORAGE REQUIRED (200 cuft per S/1 BD, 300 cuft per 2+ BD)		17,600
# of storage per level	200 cu ft	300 cu ft
Level B1	44	14
Level 1	0	0
Level 2	0	3
Level 3	0	3
Level 4	0	3
Level 5	6	3
Total	50	26
<b>STORAGE PROVIDED (Partially on decks / remainder in garage)</b>		<b>17,800</b>

<b>COMMON OPEN SPACE REQUIRED-</b> (50 square feet required per unit)	3,750
<b>COMMON OPEN SPACE PROVIDED-</b> (roof deck and courtyard)	5,035

OPEN AREA	
Site Area SF	44111
Building Coverage SF	31910
Courtyard SF	4285
Roof Deck	750
Private Balcony	3465
<b>OPEN AREA PROVIDED</b>	<b>8500</b>



STUDIO T SQUARE

: Architecture  
 : Planning  
 : Urban Design

: 304 12th Street, Suite 2A  
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 : (510) 451 - 2850

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 311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development  
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
 Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:  
 PROJECT SUMMARY

Job No. 16044  
 Date: 4/18/2018  
 Scale:  
 Drawn By:

Sheet No:

G1.0



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1. CHARLES ST LOOKING SOUTH EAST



2. W MCKINLEY AVE LOOKING SOUTH



3. W MCKINLEY AVE LOOKING WEST



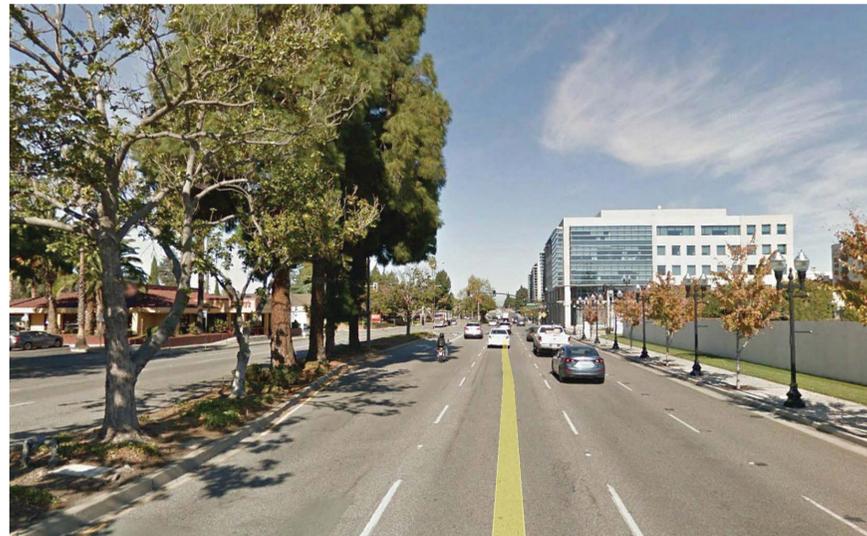
8. W MCKINLEY AVE LOOKING WEST



4. S MATHILDA AVE LOOKING NORTH EAST



7. CHARLES ST LOOKING NORTH



6. S MATHILDA AVE LOOKING NORTH



5. S MATHILDA AVE LOOKING WEST

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Sheet Title:  
VICINITY MAP AND  
EXISTING SITE  
PHOTOS

Job No. 16044  
Date: 4/18/2018  
Scale:  
Drawn By:

Sheet No:

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Sheet Title:  
**ILLUSTRATIVE SITE PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16" = 1' - 0"  
 Drawn By:

Sheet No:  
**SP1.1**

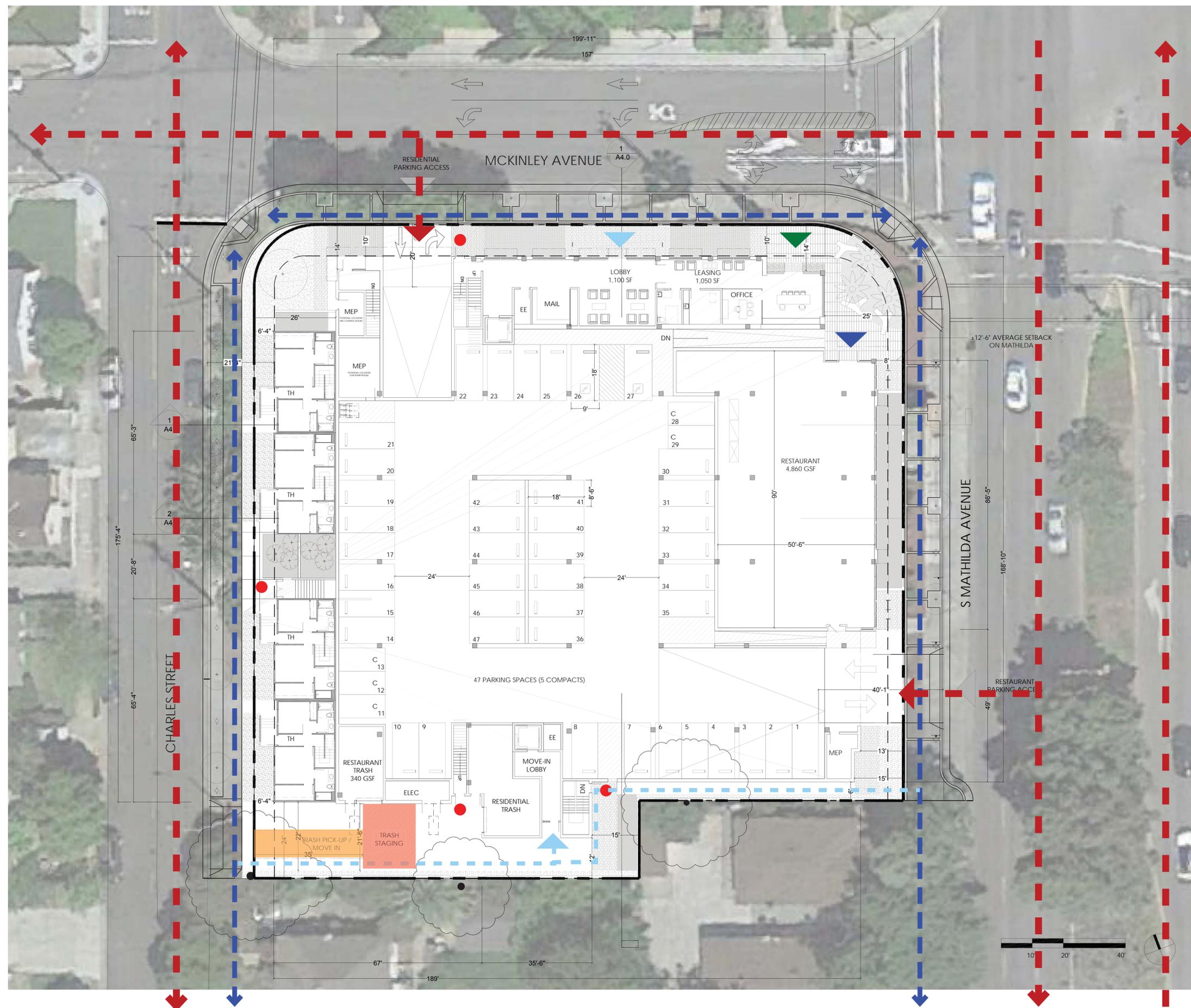


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- PUBLIC PEDESTRIAN CIRCULATION
- PRIVATE PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- TRASH STAGING AREA
- MOVE IN / TRASH PICK-UP
- RESIDENTIAL PEDESTRIAN ACCESS
- VEHICULAR ACCESS
- VISITOR PEDESTRIAN ACCESS
- COMMERCIAL PEDESTRIAN ACCESS
- EMERGENCY EXIT ONLY

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Sheet Title:  
**CIRCULATION DIAGRAM**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
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Sheet No:  
**SP1.2**



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- 150 FIRE HOSE REACH
- COURTYARD EGRESS
- FIRE TRUCK CIRCULATION
- FIRE LADDER PAD



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Sheet Title:  
**FIRE ACCESS PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
 Drawn By:

Sheet No:  
**SP1.3**

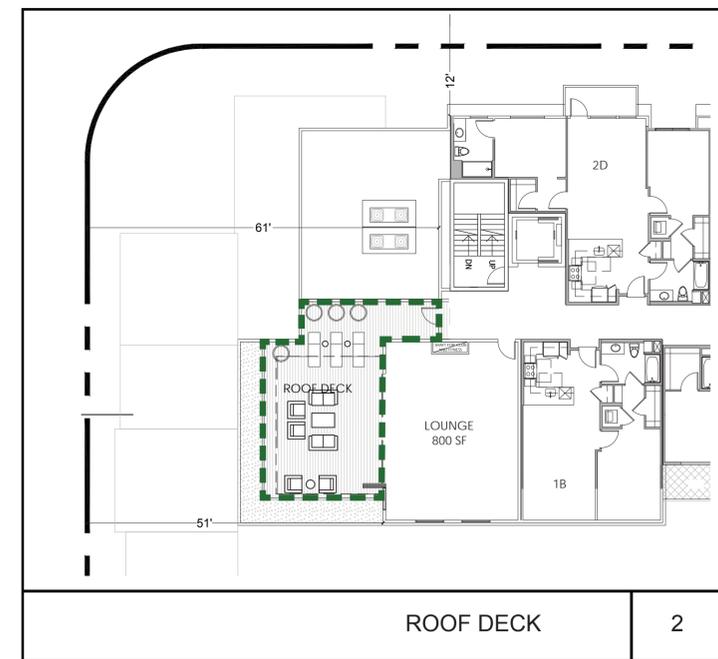


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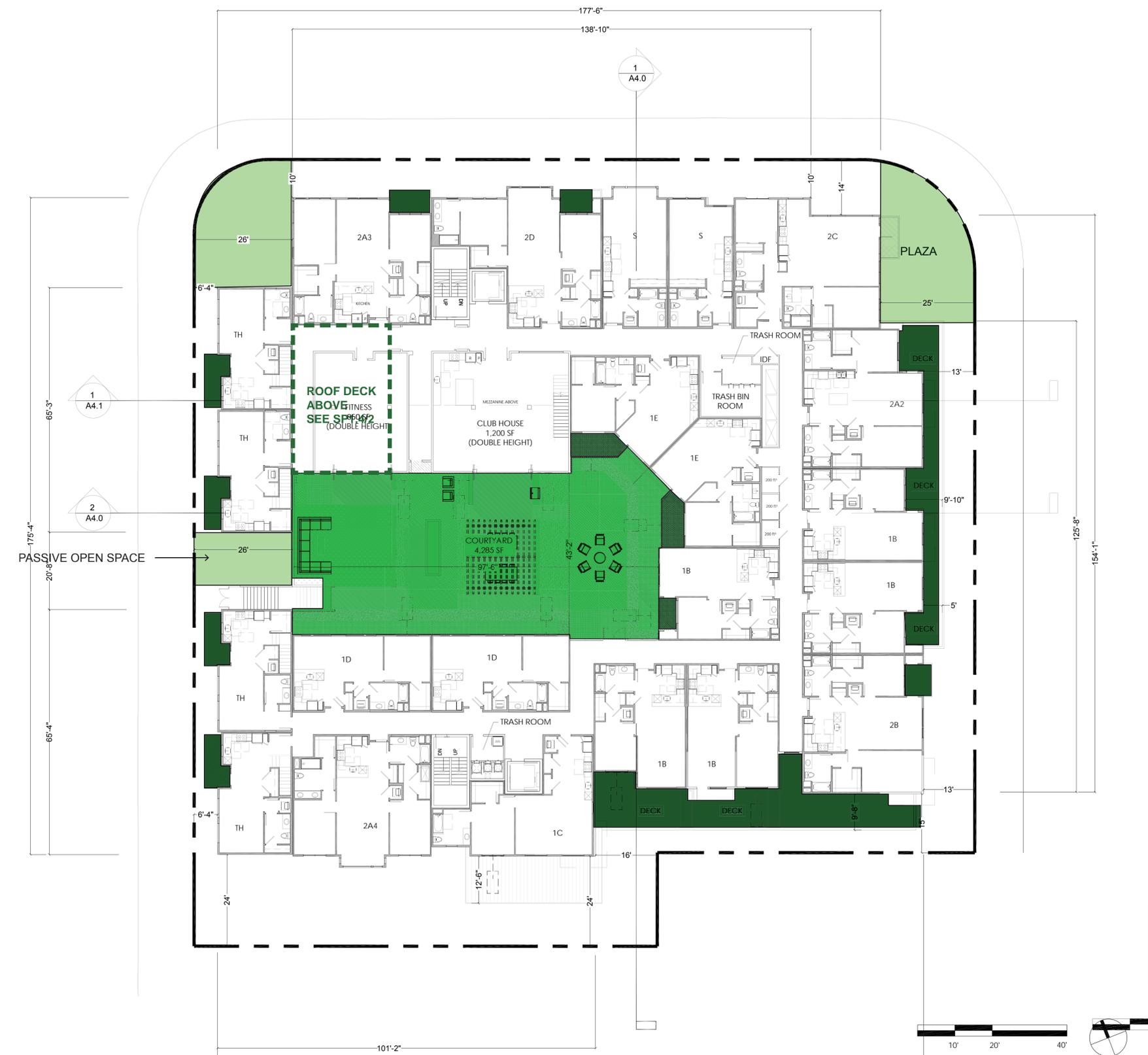
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ROOF DECK

2



- EXTERIOR PUBLIC
- COURTYARD
- PRIVATE BALCONIES
- ROOF DECK

**OPEN SPACE REQUIREMENT**  
 50 SF(PER UNIT) X 75 =3750 SF

**OPEN SPACE PROVIDED**  
 EXTERIOR PUBLIC = 1,990 SF  
 COURTYARD = 4,285 SF  
 PRIVATE BALCONIES = 3,465 SF  
 ROOF DECK = 750 SF

TOTAL PROVIDED = 10,490 SF (WITH EXTERIOR PUBLIC)  
 8,500 SF (WITHOUT EXTERIOR PUBLIC)

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Sheet Title:  
**OPEN SPACE CALCULATION**

Job No. 16044  
 Date: 4/18/2018  
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**SP1.4**



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Dec 21 9:00AM



Jun 21 9:00AM



Mar/Sep 21 9:00AM



Dec 21 12:00PM



Jun 21 12:00PM



Mar/Sep 21 12:00PM



Dec 21 03:00PM



Jun 21 03:00PM



Mar/Sep 21 03:00PM

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Sheet Title:  
SHADOW STUDY

Job No. 16044  
Date: 4/18/2018  
Scale:  
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SP1.5

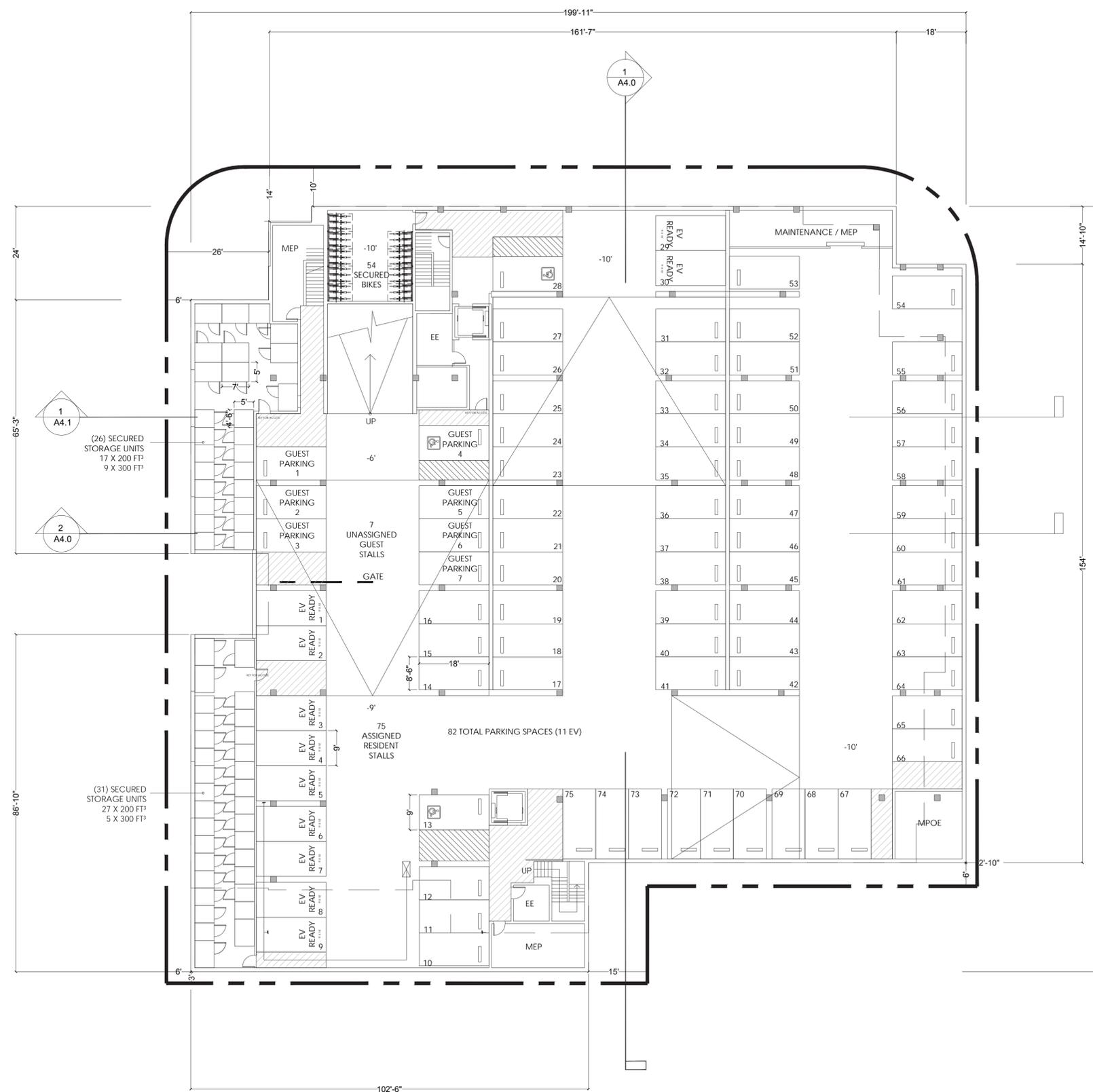


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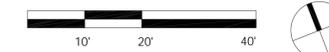
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STORAGE PROVIDED		
STORAGE TYPE	CU FT	QUANTITY
	200 FT <sup>3</sup>	44
	300 FT <sup>3</sup>	14



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Sheet Title:  
**BASEMENT LEVEL PLAN**

Job No. 16044  
Date: 4/18/2018  
Scale: 1/16 = 1 - 0  
Drawn By:

Sheet No:

**A2.0**

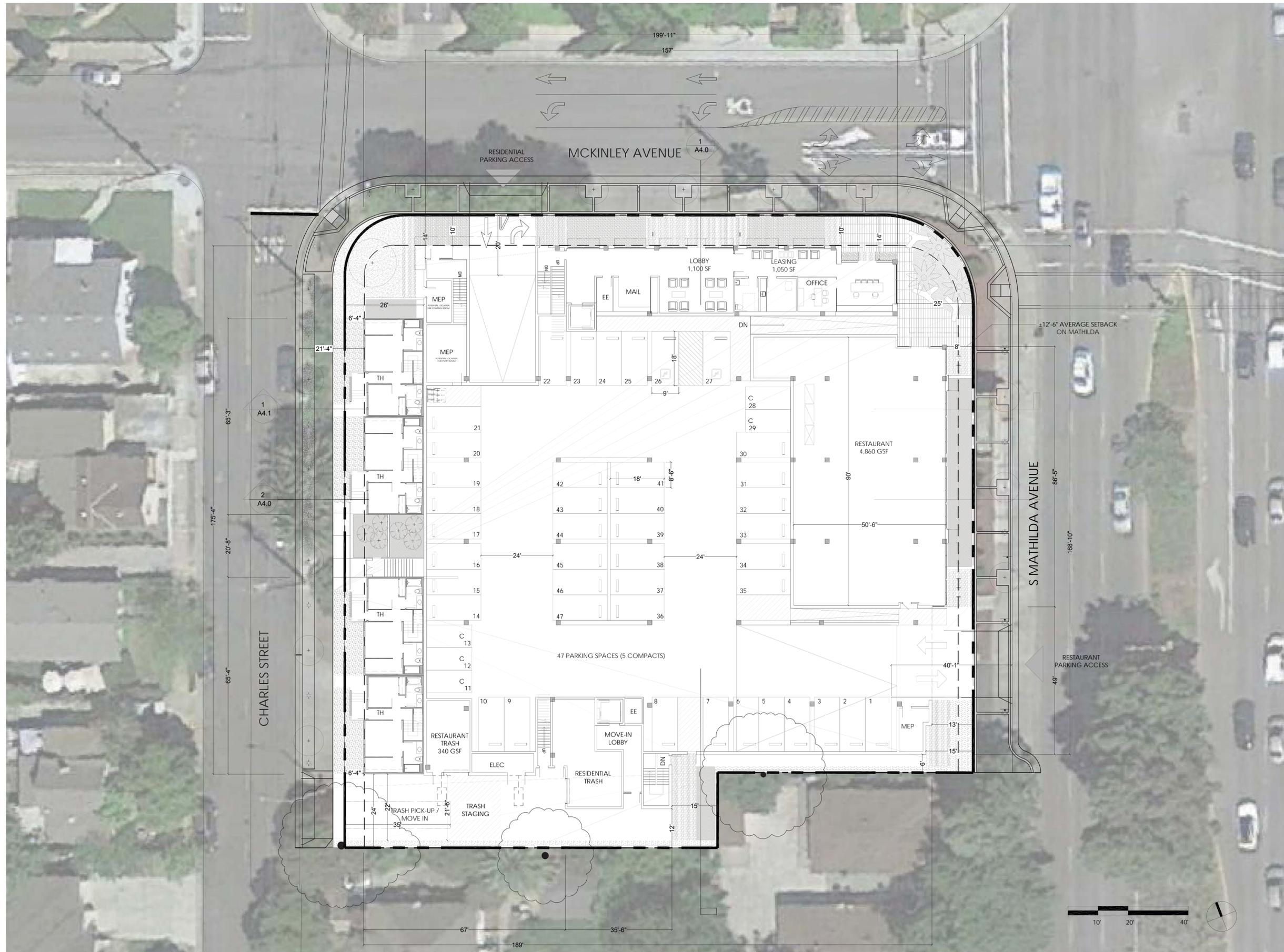


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Sheet Title:  
**STREET LEVEL PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
 Drawn By:

Sheet No:

**A2.1**

MATHILDA AVERAGE SETBACK = (25' x 17.8 + 8' x 52.6 + 13' x 29.6 ) / 164' (TOTAL FRONTAGE) = ±12'-6" AVERAGE

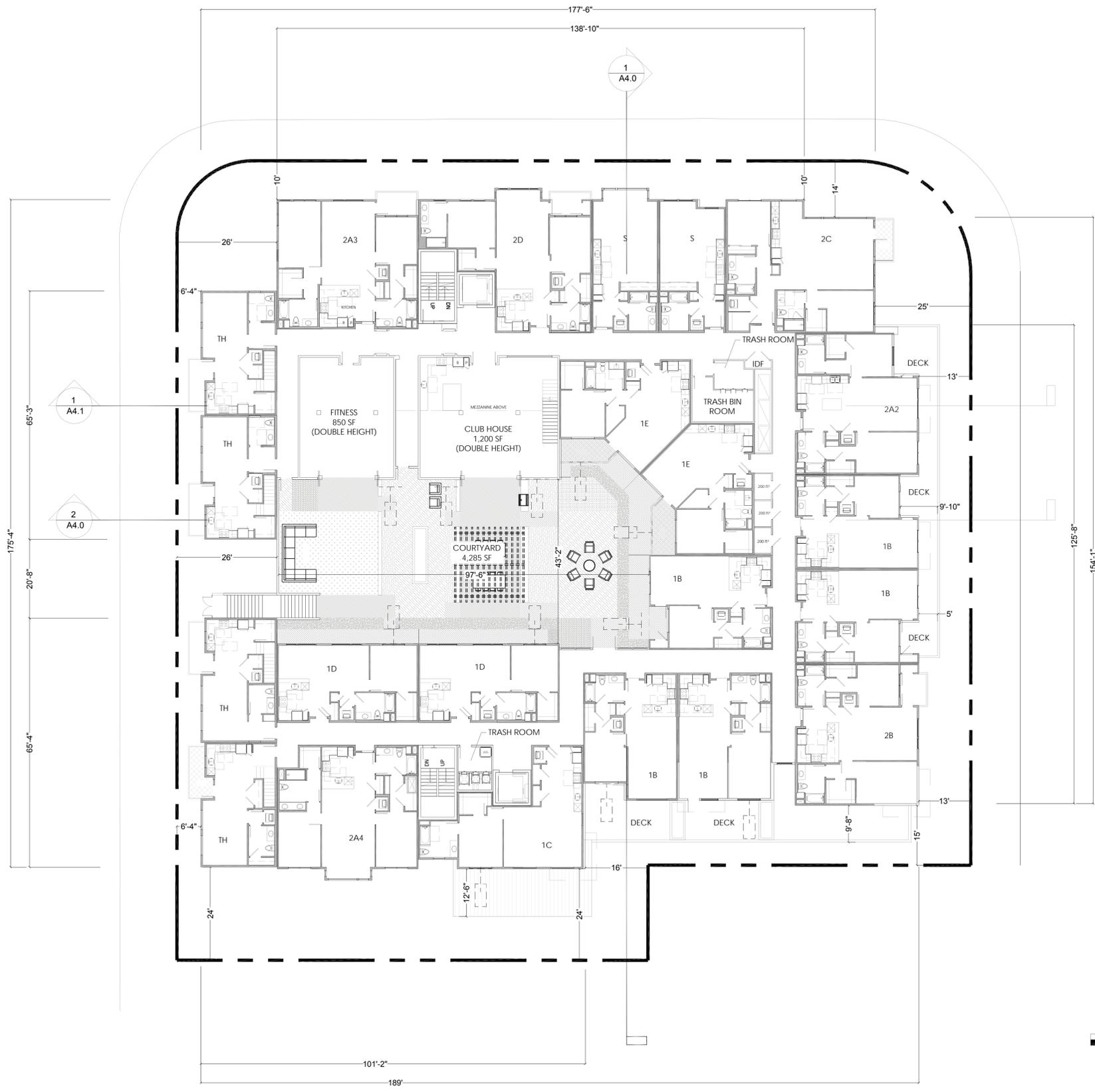


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Sheet Title:  
**PODIUM LEVEL PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
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**A2.2**

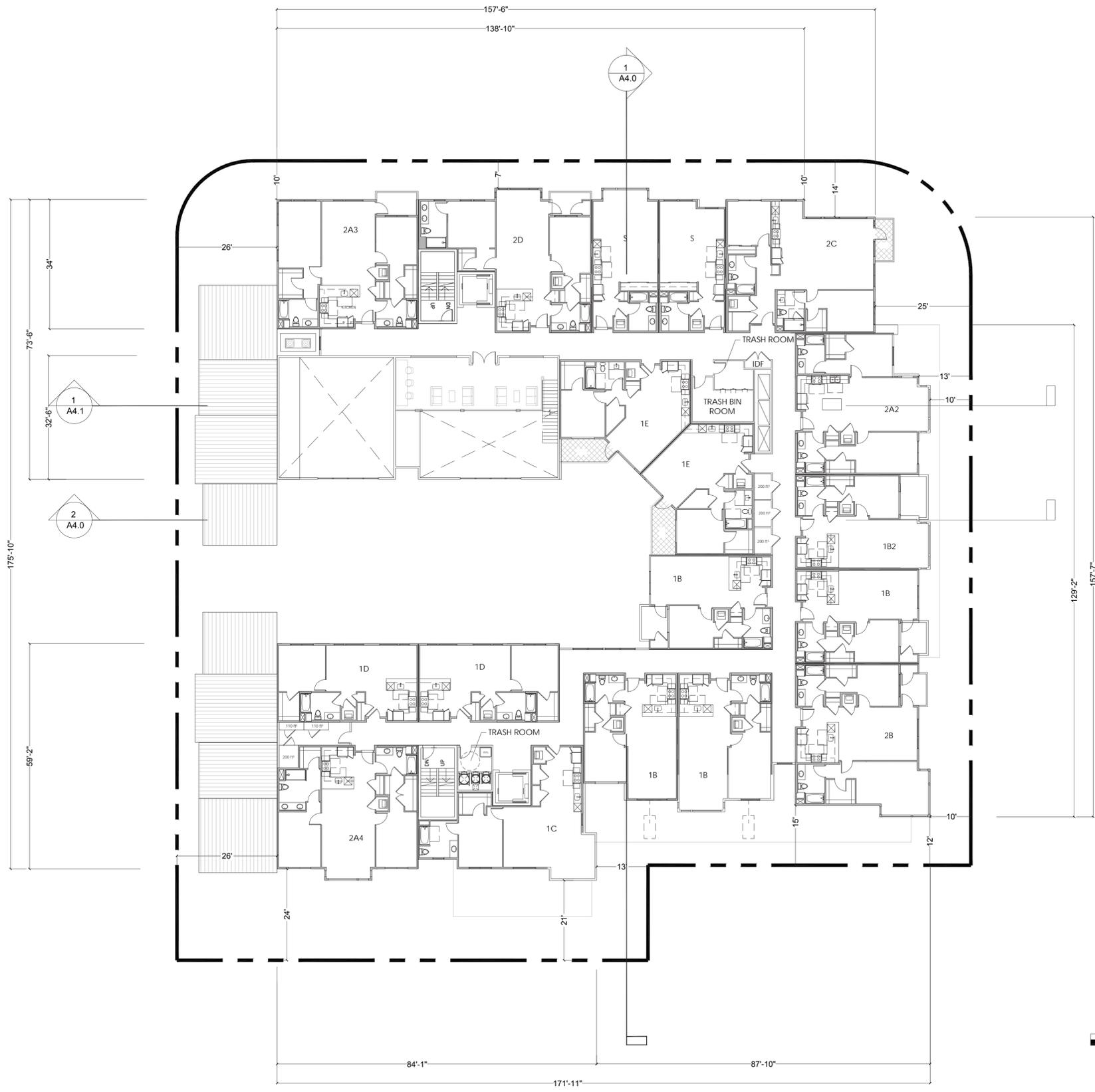


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STORAGE TYPE	CU FT	QUANTITY
	300 FT <sup>3</sup>	3



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Sheet Title:  
**THIRD LEVEL PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
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Sheet No:

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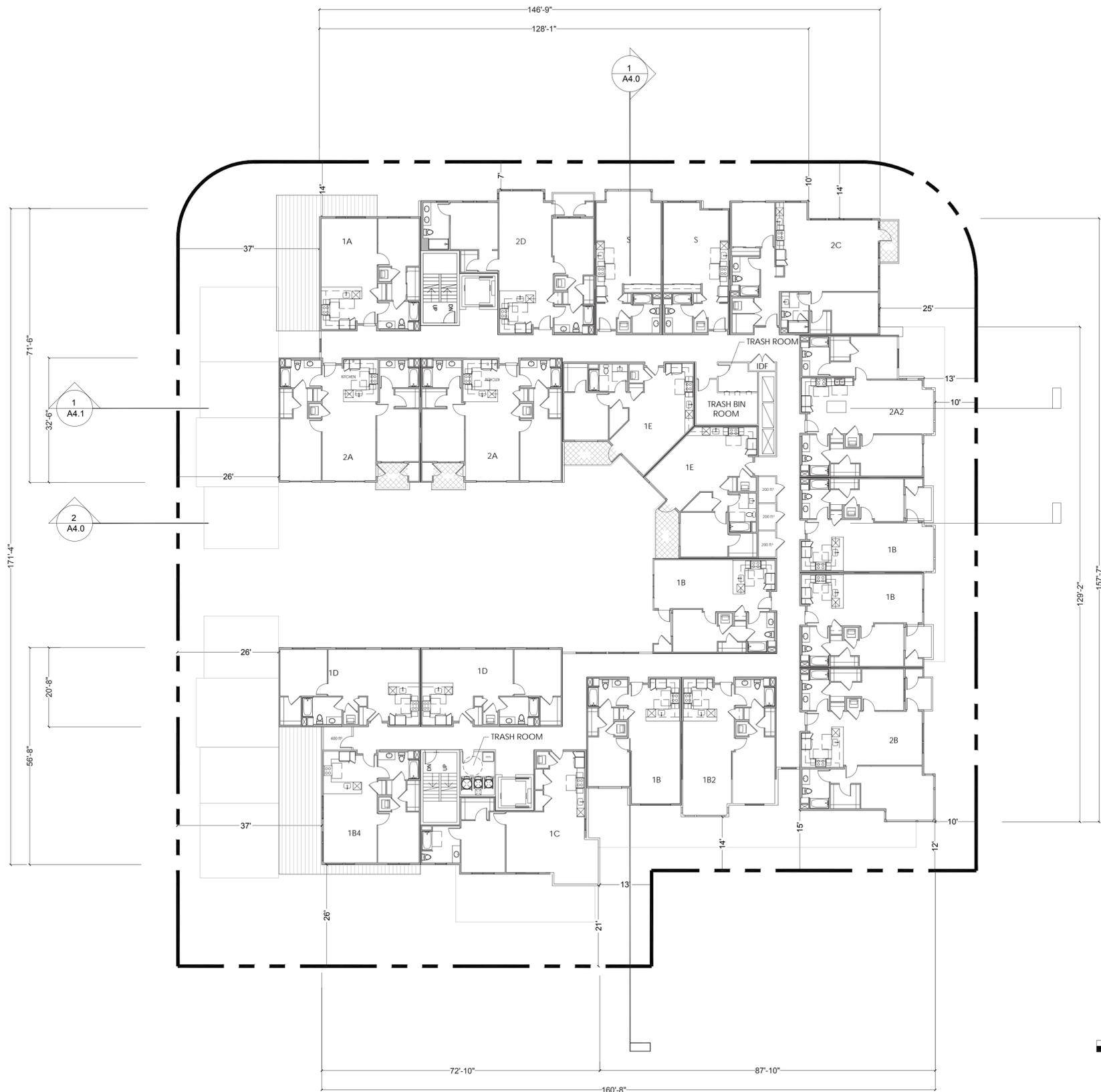


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STORAGE PROVIDED		
STORAGE TYPE	CU FT	QUANTITY
	300 FT <sup>3</sup>	3



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Sheet Title:  
**FOURTH LEVEL PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
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**A2.4**

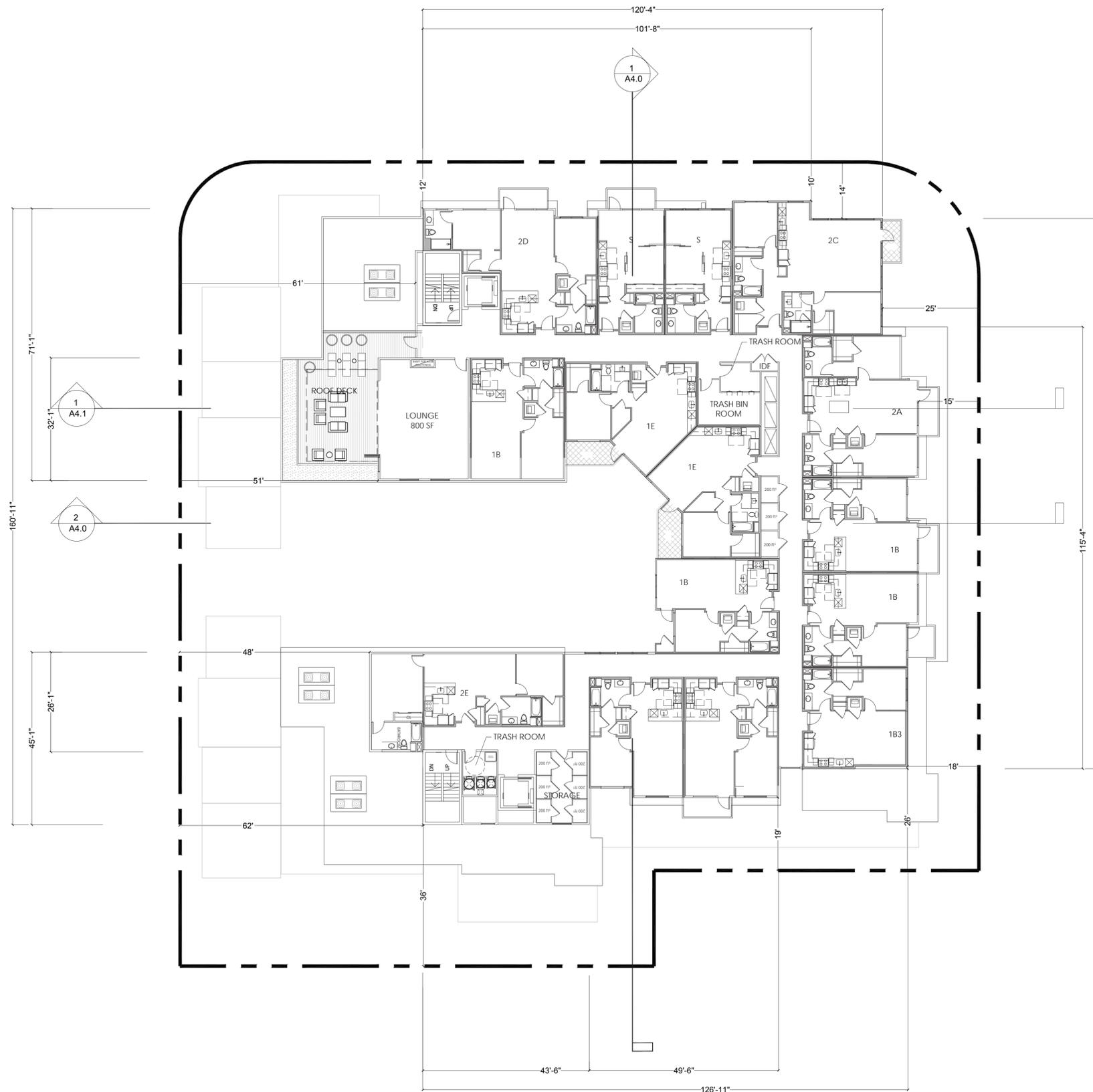


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STORAGE PROVIDED		
STORAGE TYPE	CU FT	QUANTITY
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	300 FT <sup>3</sup>	3



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Sheet Title:  
**FIFTH LEVEL PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
 Drawn By:

Sheet No:

**A2.5**

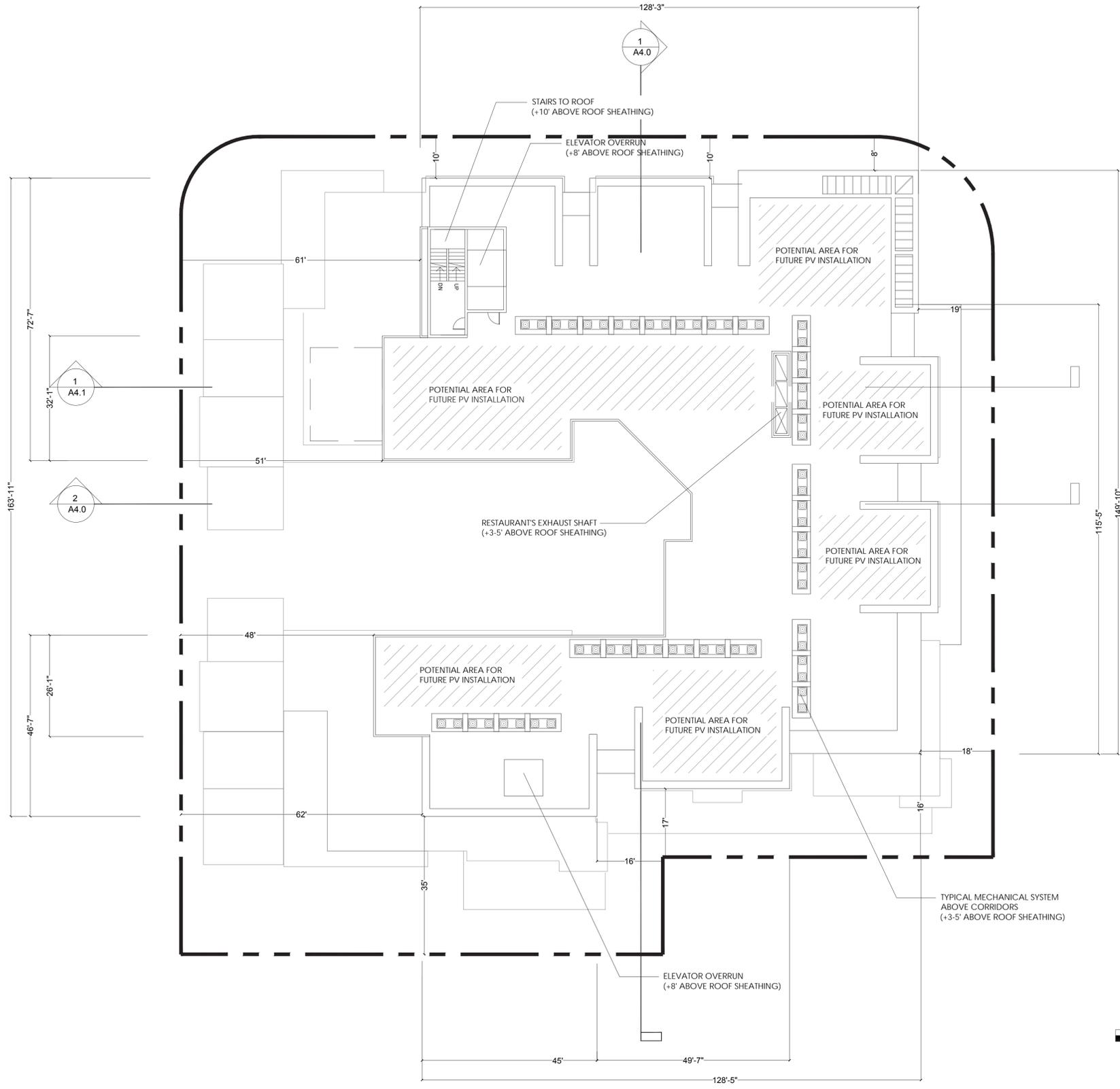


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 Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:  
**ROOF LEVEL PLAN**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/16 = 1 - 0  
 Drawn By:

Sheet No:  
**A2.6**



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: Planning  
: Urban Design

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S MATHILDA AVE ELEVATION

2

SCALE: 1/16" = 1' - 0"



S MATHILDA AVE PERSPECTIVE

1

SCALE: N.T.S.

①	STUCCO (SW7656 RHINESTONE)
②	STUCCO (SW7073 NETWORK GRAY)
③	STUCCO (SW7075 WEB GRAY)
④	STUCCO (SW6118 LEATHER BOUND)
⑤	SIDING (SW7633 TAUPE TONE)
⑥	SIDING (SW7705 WHEAT PENNY)
⑦	RAIN SCREEN (NICHIIA VINTAGE WOOD CEDAR)
⑧	METAL AWNING (BLACK)
⑨	METAL SEAMED ROOF
⑩	STOREFRONT (BLACK)
⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING

311 Mathilda  
311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development  
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:  
**BUILDING  
ELEVATIONS AND  
PERSPECTIVES**

Job No. 16044  
Date: 4/18/2018  
Scale: AS NOTED  
Drawn By:

Sheet No:

**A3.0**



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⑪	ALUMINUM WINDOW (BLACK)
⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING

MCKINLEY AVE ELEVATION

2

SCALE: 1/16" = 1' - 0"



MCKINLEY AVE PERSPECTIVE

1

SCALE: N.T.S.

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Job No. 16044  
Date: 4/18/2018  
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CHARLES ST ELEVATION

2

SCALE: 1/16" = 1' - 0"

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②	STUCCO (SW7073 NETWORK GRAY)
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⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING



CHARLES ST PERSPECTIVE

1

SCALE: N.T.S.

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Sheet Title:  
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ELEVATIONS AND  
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Job No. 16044  
Date: 4/18/2018  
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⑫	VINYL WINDOW (BLACK)
⑬	GLASS RAILING
⑭	PERFORATED METAL RAILING



SOUTH ELEVATION

2

SCALE: 1/16" = 1' - 0"



CHARLES ST LOOKING NORTH PERSPECTIVE

1

SCALE: N.T.S.

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Sheet Title:  
BUILDING ELEVATIONS AND PERSPECTIVES

Job No. 16044  
Date: 4/18/2018  
Scale: AS NOTED  
Drawn By:

Sheet No:

A3.3

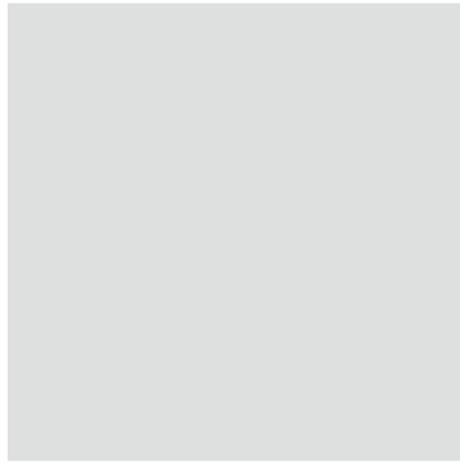


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01 STUCCO (SW7656 RHINESTONE)



02 STUCCO (SW7073 NETWORK GRAY)



03 STUCCO (SW7075 WEB GRAY)



04 STUCCO (SW6118 LEATHER BOUND)



05 SIDING (SW7633 TAUPE TONE)



06 SIDING (SW7705 WHEAT PENNY)



07 RAIN SCREEN (NICHHA VINTAGE WOOD CEDAR)



08 METAL AWNING (BLACK)



09 METAL SEAMED ROOF



10 STOREFRONT (BLACK)



11 ALUMINUM WINDOW (BLACK)



12 VINYL WINDOW (BLACK)



13 GLASS RAILING



14 PERFORATED METAL RAILING

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Sheet Title:  
**COLOR AND  
MATERIAL BOARD**

Job No. 16044  
Date: 4/18/2018  
Scale:  
Drawn By:

Sheet No:

**A3.4**

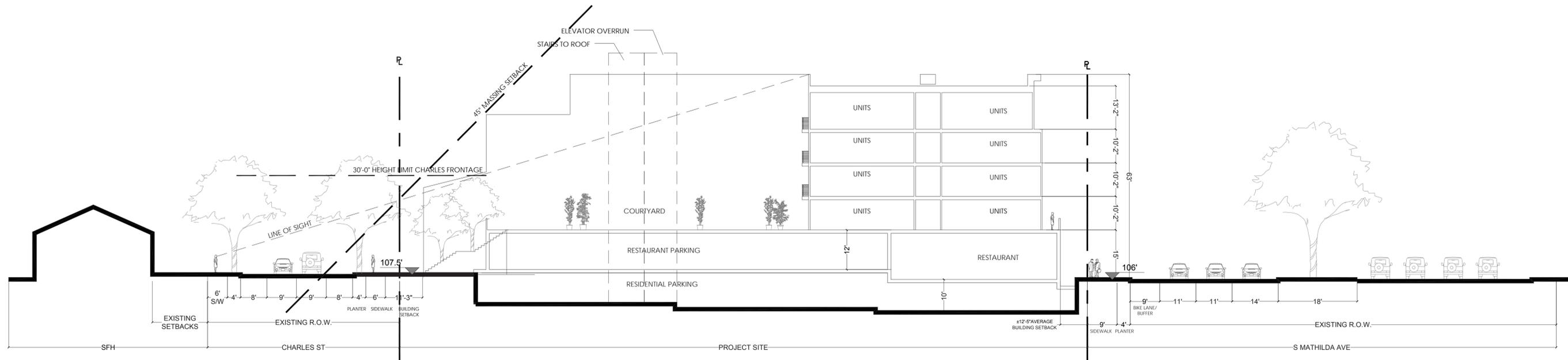


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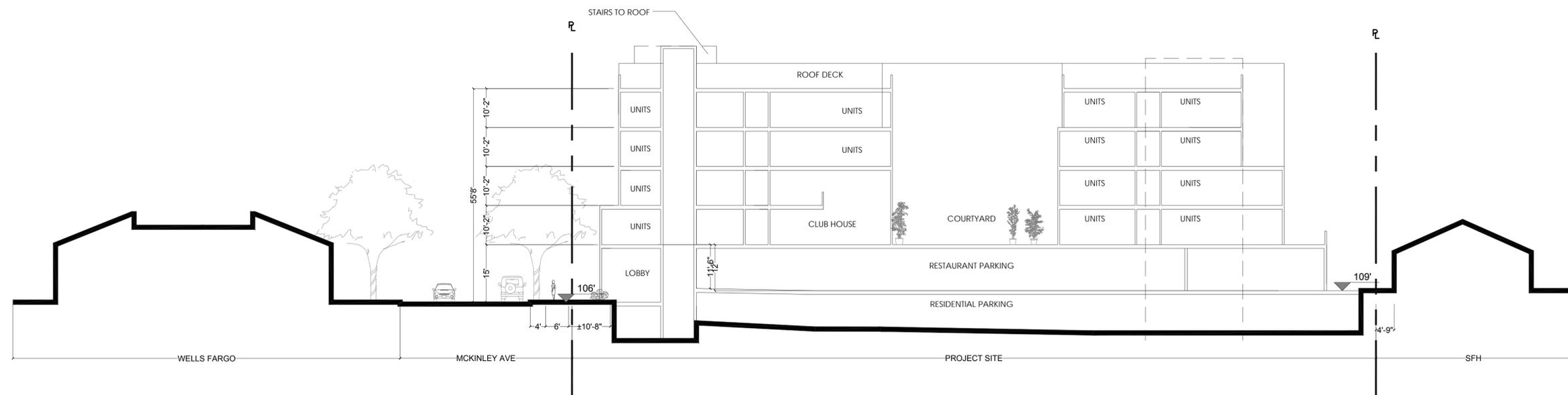
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SECTION 2

2

SCALE: 1/16" = 1' - 0"



SECTION 1

1

SCALE: 1/16" = 1' - 0"

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Sheet Title:  
**BUILDING  
SECTIONS**

Job No. 16044  
Date: 4/18/2018  
Scale: AS NOTED  
Drawn By:

Sheet No:

**A4.0**

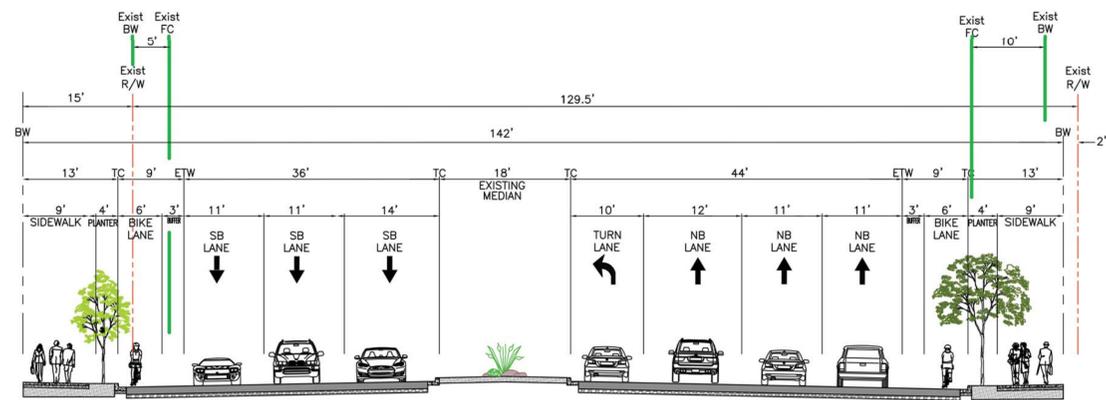


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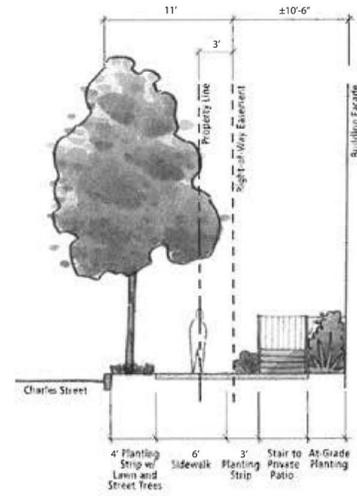
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DTPP-MATHILDA AVENUE SECTION

3

N.T.S.

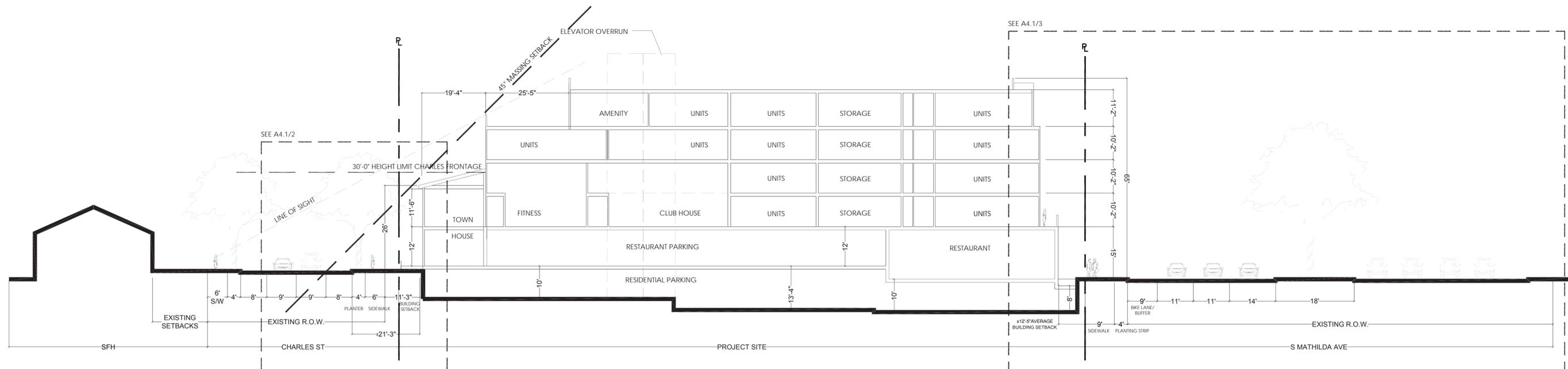
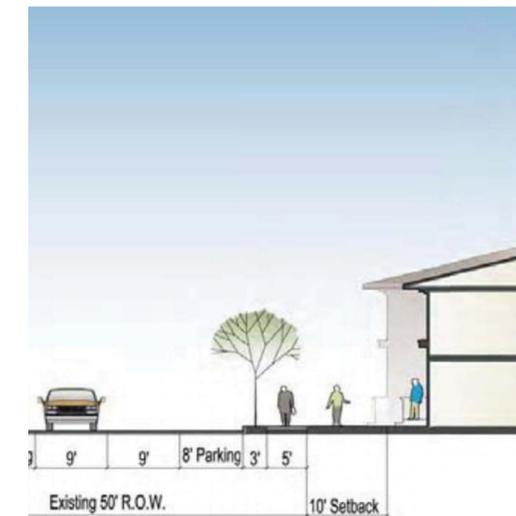


481 MATHILDA PROPOSED CHARLES AVENUE SECTION

DTPP-CHARLES AVENUE SECTION

2

N.T.S.



10' 20' 40'

SECTION 1

1

SCALE: 1/16" = 1' - 0"

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SECTIONS**

Job No. 16044  
Date: 4/18/2018  
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**A4.1**

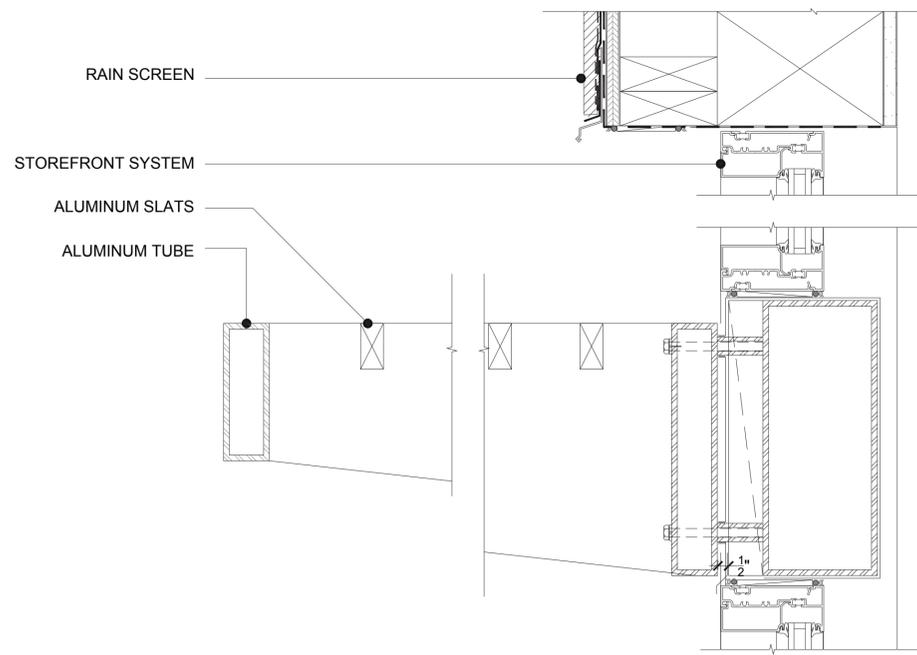


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STOREFRONT AWNING DETAIL

SCALE: 3" = 1' - 0"

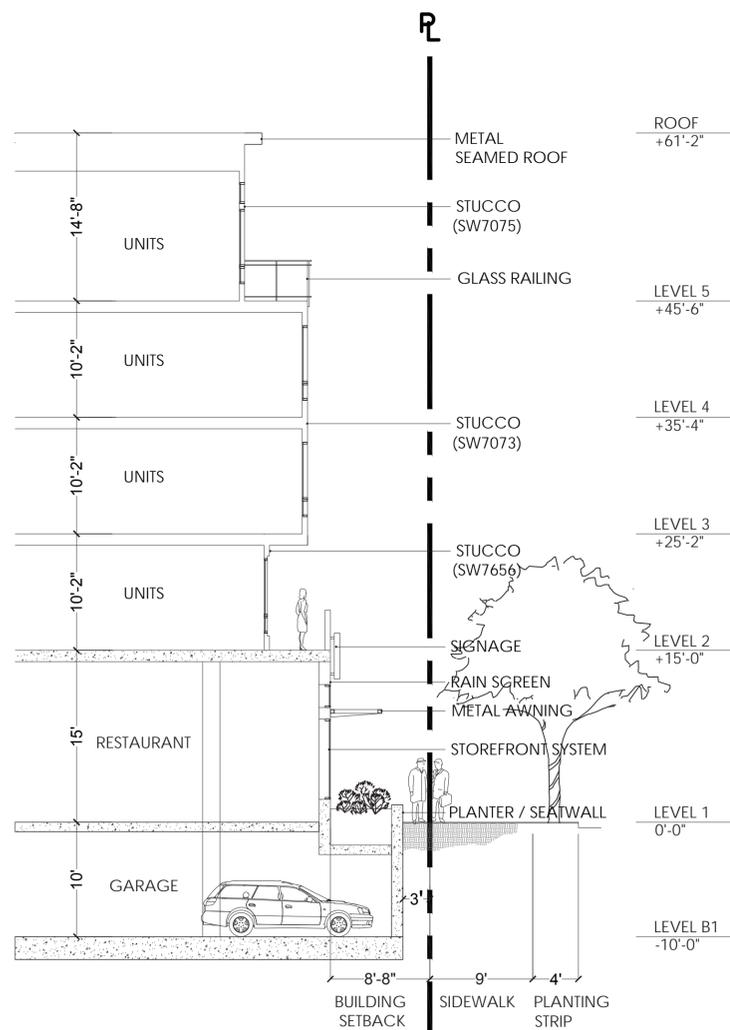
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ENLARGED ELEVATION

N.T.S.

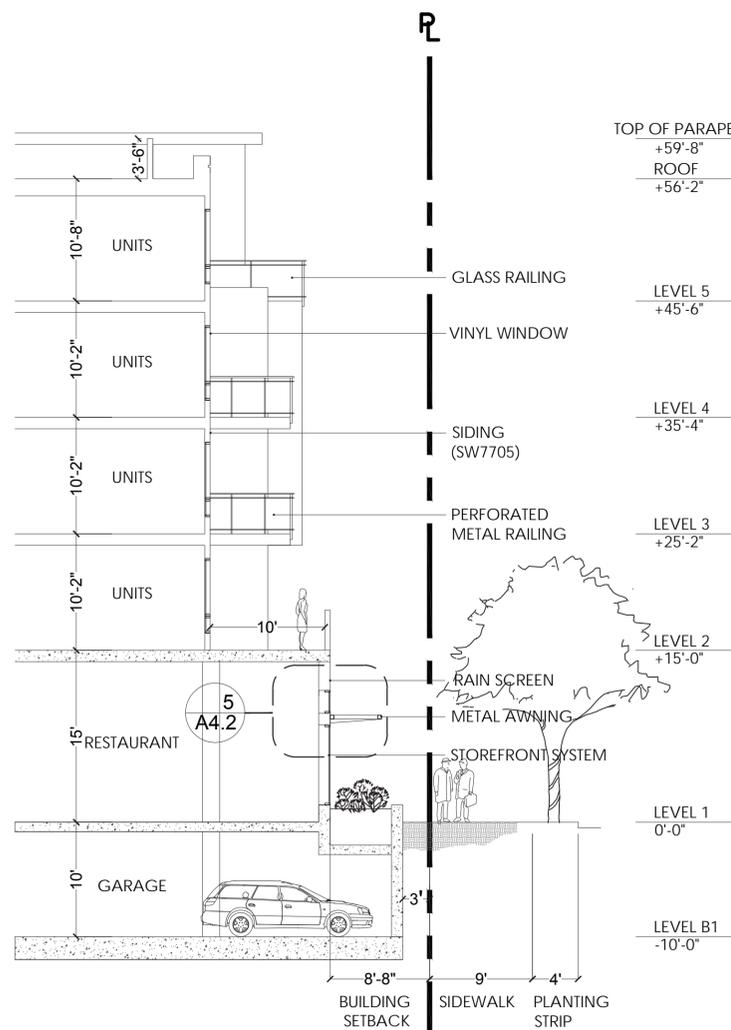
4



BAY SECTION

SCALE: 1/8" = 1' - 0"

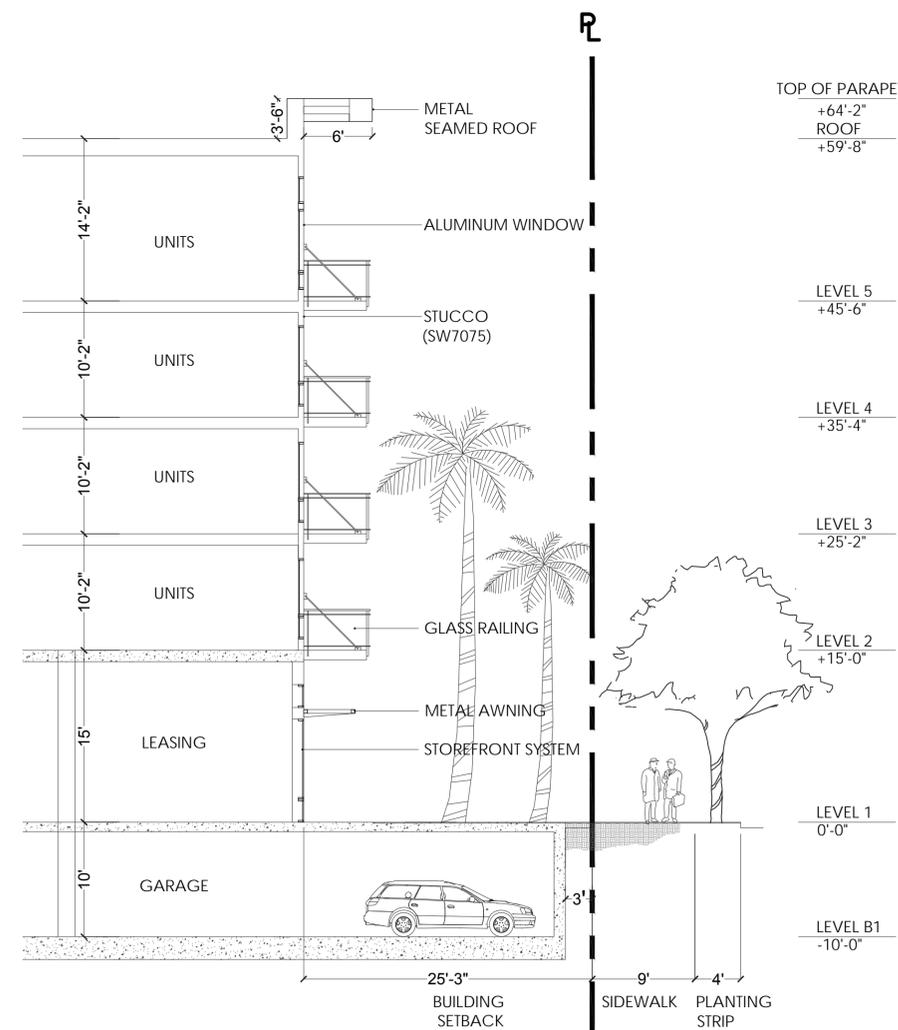
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BALCONY SECTION

SCALE: 1/8" = 1' - 0"

2



CORNER TOWER SECTION

SCALE: 1/8" = 1' - 0"

1

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Sheet Title:  
SCHEMATIC DETAIL

Job No. 16044  
Date: 4/18/2018  
Scale: AS NOTED  
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Sheet No:

A4.2

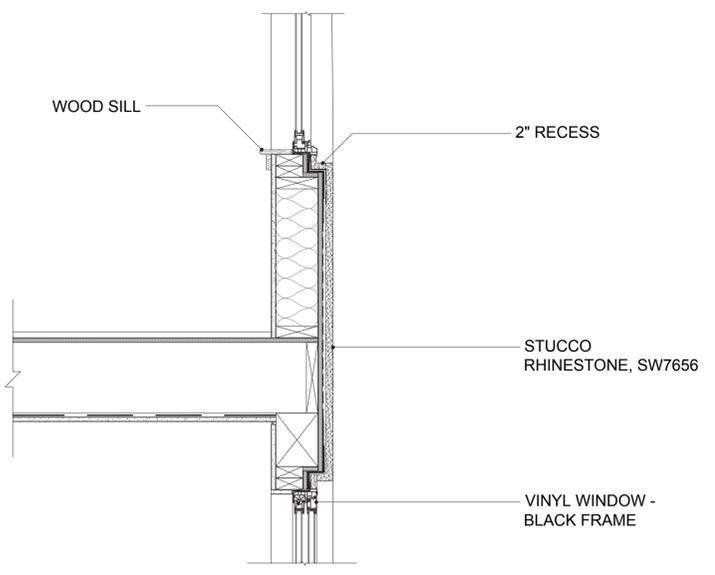


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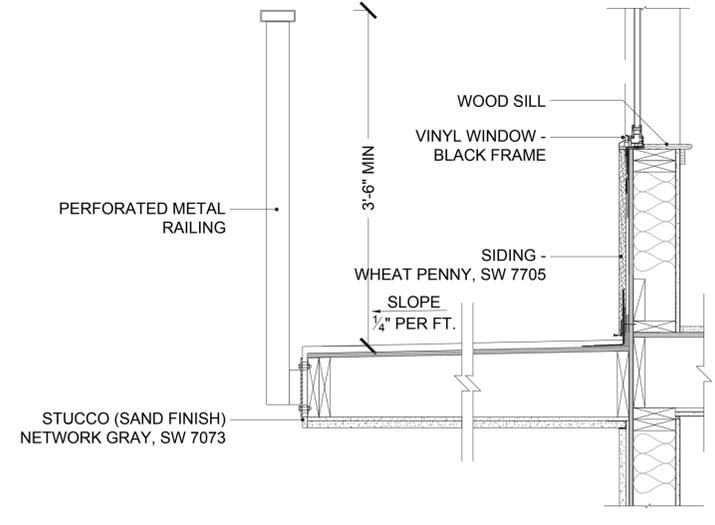
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RECESSED WINDOW DETAIL

6

SCALE: 1" = 1' - 0"



INSET BALCONY DETAIL

5

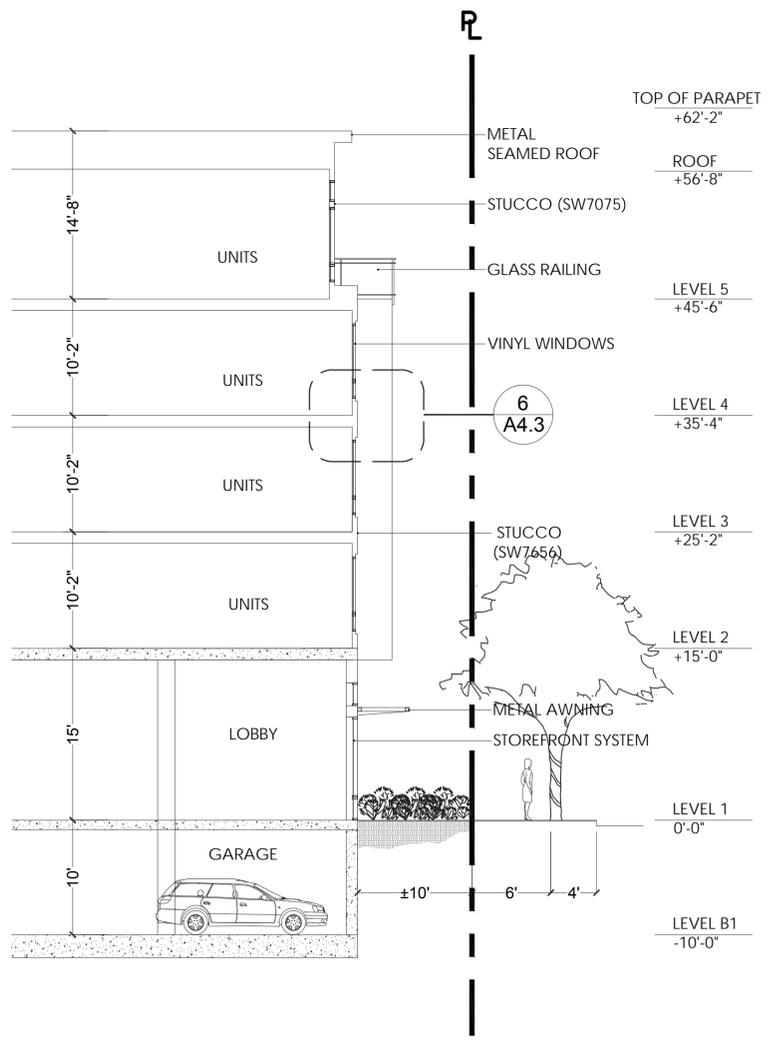
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ENLARGED ELEVATION

4

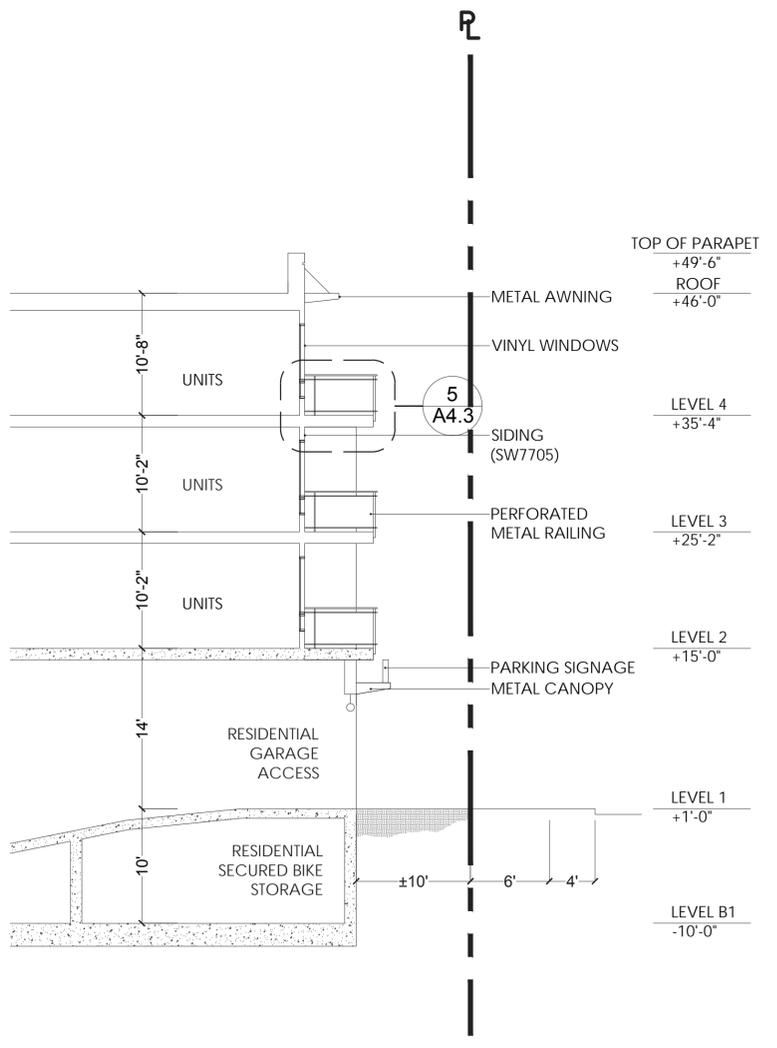
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LOBBY SECTION

3

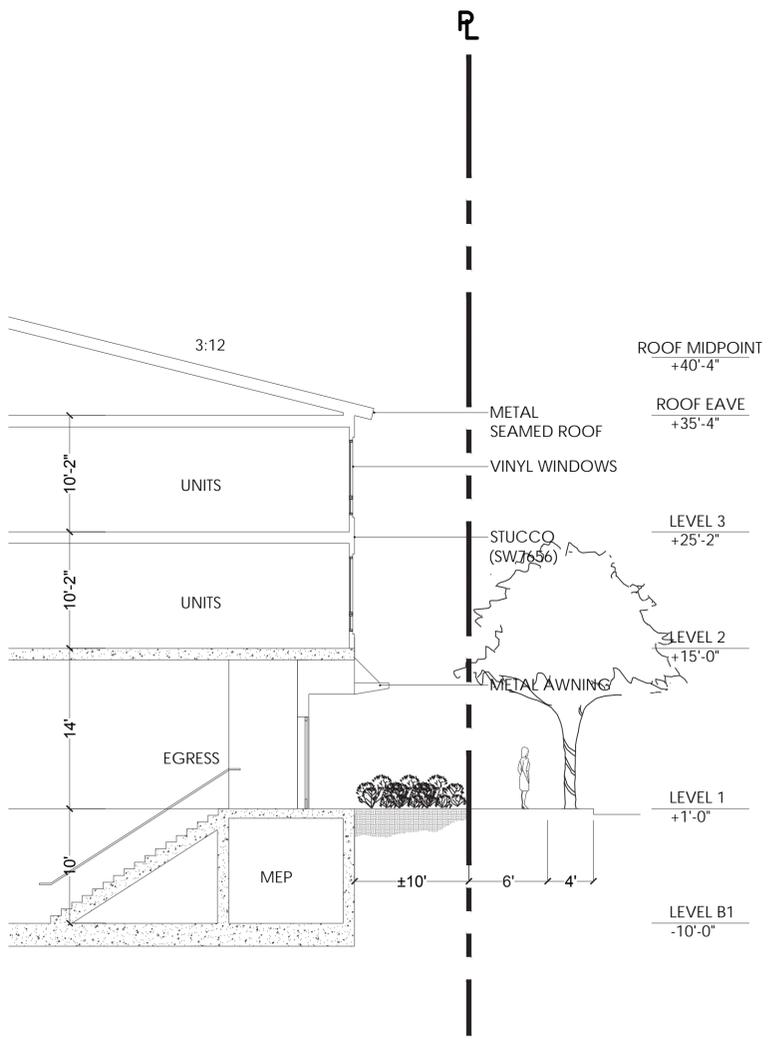
SCALE: 1/8" = 1' - 0"



RESIDENTIAL GARAGE ENTRY SECTION

2

SCALE: 1/8" = 1' - 0"



MCKINLEY / CHARLES CORNER SECTION

1

SCALE: 1/8" = 1' - 0"

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**SCHEMATIC DETAIL**

Job No. 16044  
Date: 4/18/2018  
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Drawn By:

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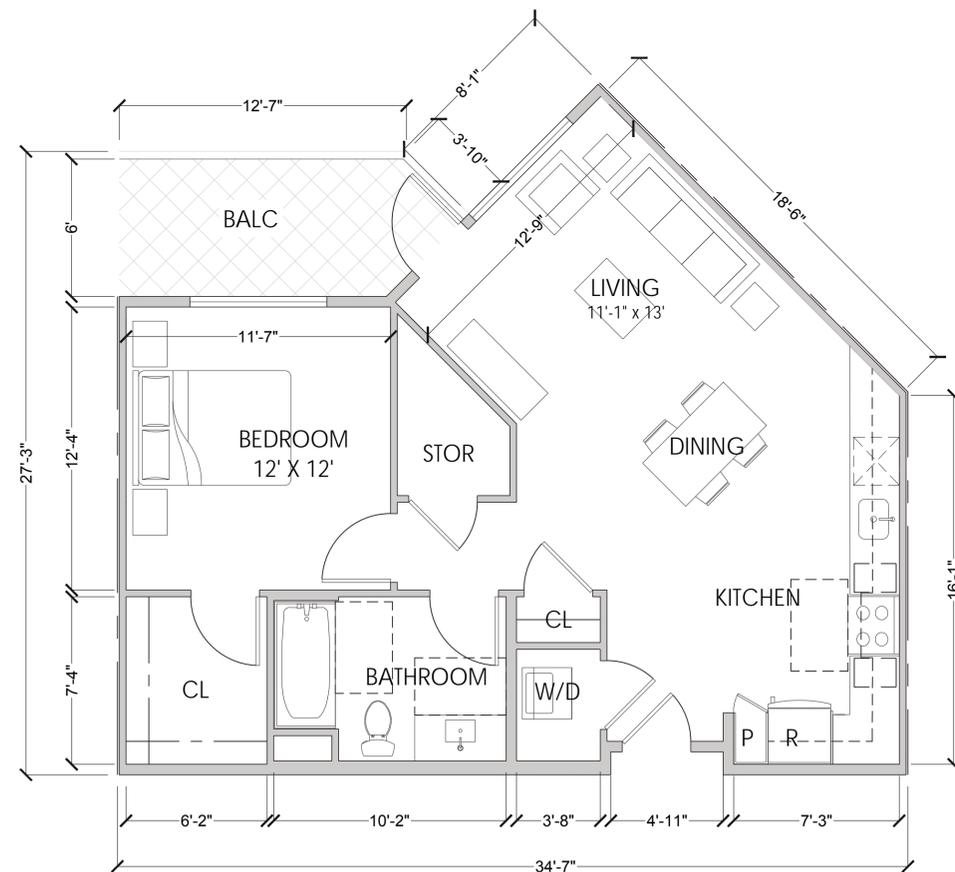


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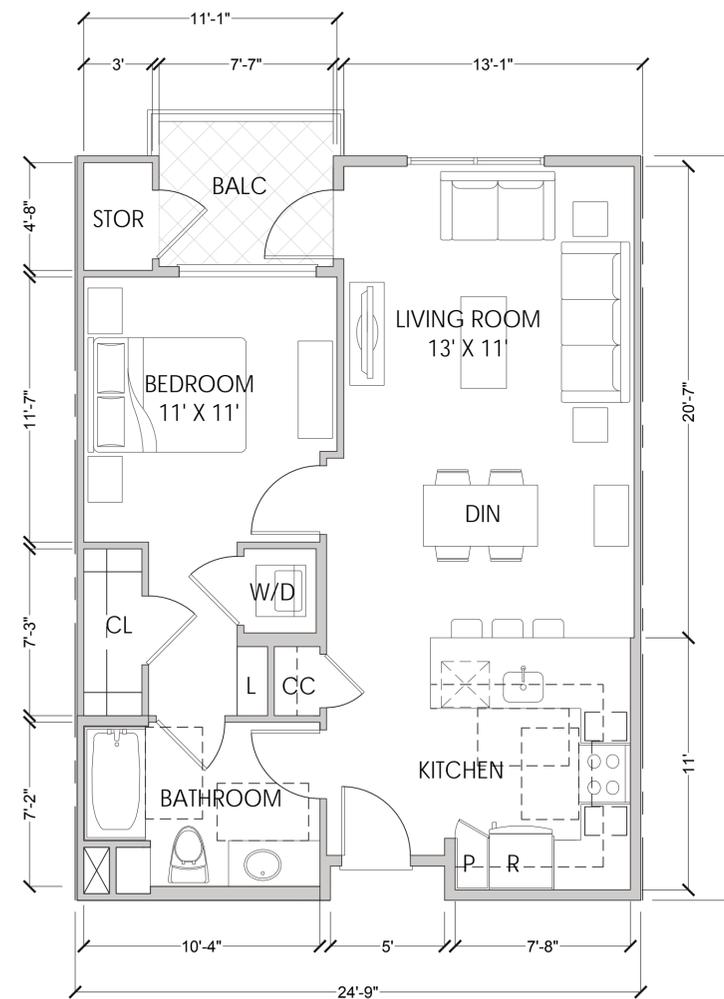
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UNIT 1E - 1BR + 1BA (775 SF)

SCALE: 1/4" = 1' - 0"

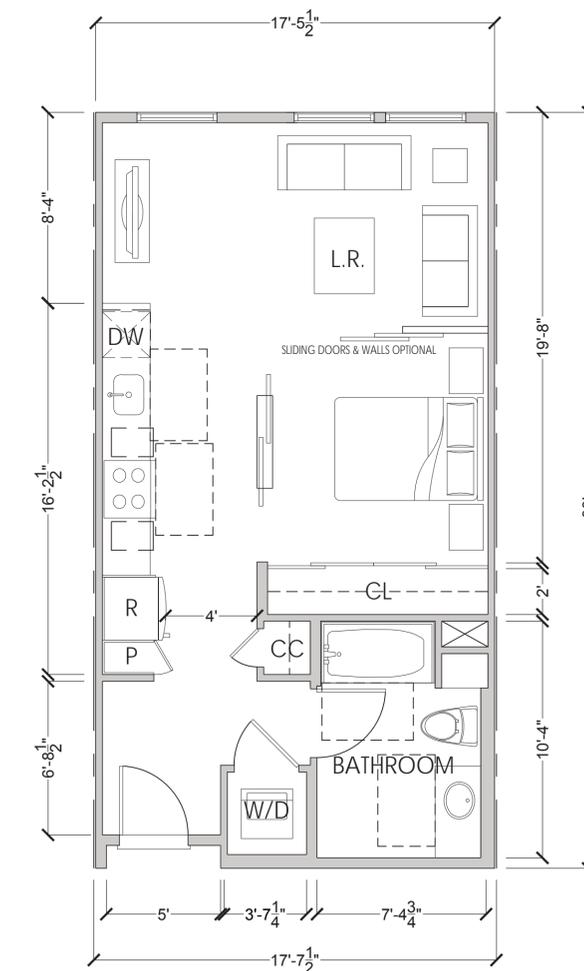
3



UNIT 1B - 1BR + 1BA (705-848 SF)

SCALE: 1/4" = 1' - 0"

2



UNIT S - STUDIO (560-633 SF)

SCALE: 1/4" = 1' - 0"

1

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Sheet Title:  
**UNIT PLANS**

Job No. 16044  
 Date: 4/18/2018  
 Scale: 1/4" = 1' - 0"  
 Drawn By:

Sheet No:

**A5.0**

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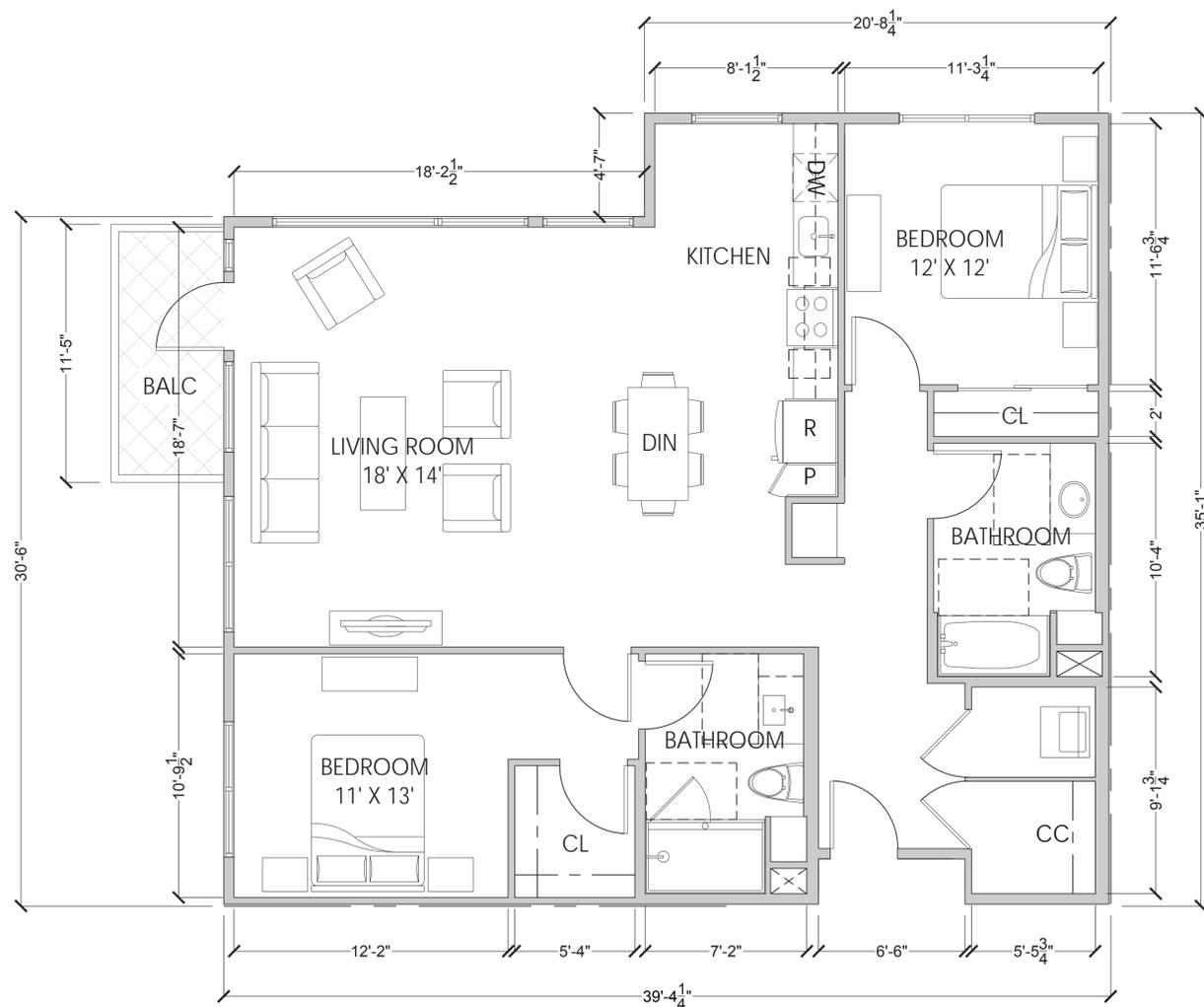


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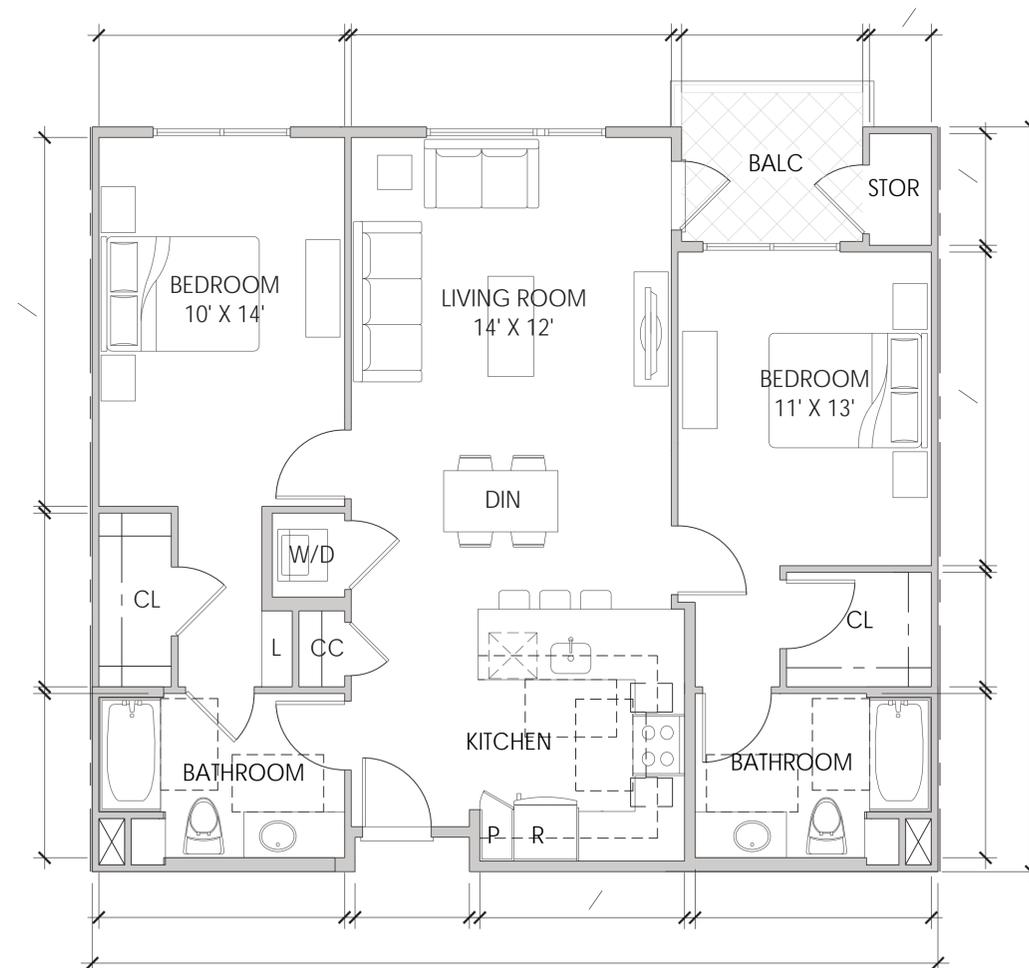
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UNIT 2C - 2BR + 2BA (1270 SF)

2

SCALE: 1/4" = 1' - 0"



UNIT 2A - 2BR + 2BA (1120-1190 SF)

1

SCALE: 1/4" = 1' - 0"

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Sheet Title:  
UNIT PLANS

Job No. 16044  
Date: 4/18/2018  
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Sheet No:

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Sheet Title:  
GREENPOINT RATED CHECK LIST

Job No. 16044  
Date: 4/18/2018  
Scale:  
Drawn By:

Sheet No:

A5.3

**GreenPoint RATED NEW HOME RATING SYSTEM, VERSION 7.0**

**MULTIFAMILY CHECKLIST**

Total Points Targeted: 110  
Current Score: 110

POINTS REQUIRED: 0

Measures

Measure	Points Available	Points Earned	Comments
<b>A. SITE</b>			
<b>A1. Construction Footprint</b>	1	1	
<b>A2. Job Site Construction Waste Diversion</b>	2	2	
<b>A2.1 75% C&amp;D Waste Diversion (Including Alternative Daily Cover)</b>	2	2	
<b>A2.2 65% C&amp;D Waste Diversion (Excluding Alternative Daily Cover)</b>	2	2	
<b>A2.3 Recycling Rates from Third-Party Verified Mixed Use Waste Facility</b>	2	2	
<b>A3. Recycled Content Base Material</b>	1	1	
<b>A4. Heat Island Effect Reduction (Non-Roof)</b>	1	1	
<b>A5. Construction Environmental Quality Management Plan Including Flush-Out</b>	1	1	
<b>A6. Stormwater Control: Prescriptive Path</b>	3	3	
<b>A6.1 Permeable Paving Material</b>	1	1	
<b>A6.2 Filtration and/or Bio-Retention Features</b>	1	1	
<b>A6.3 Non-Leaching Roofing Materials</b>	1	1	
<b>A6.4 Smart Stormwater Street Design</b>	1	1	
<b>A7. Stormwater Control: Performance Path</b>	3	3	
<b>B. FOUNDATION</b>			
<b>B1. Fly Ash and/or Slag in Concrete</b>	1	1	
<b>B2. Radon-Resistant Construction</b>	2	2	
<b>B3. Foundation Drainage System</b>	2	2	
<b>B4. Moisture Controlled Crawspace</b>	1	1	
<b>B5. Structural Pest Controls</b>	1	1	
<b>B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections</b>	1	1	
<b>B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation</b>	1	1	
<b>C. LANDSCAPE</b>			
<b>C1. Plants Grouped by Water Needs (Hydrozoning)</b>	1	1	
<b>C2. Three Inches of Mulch in Planting Beds</b>	1	1	
<b>C3. Resource Efficient Landscapes</b>	3	3	
<b>C3.1 No Invasive Species Listed by Cal-IPC</b>	1	1	
<b>C3.2 Plants Chosen and Located to Grow in Natural Soil</b>	1	1	
<b>C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species</b>	1	1	
<b>C4. Minimal Turf in Landscape</b>	2	2	
<b>C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide</b>	2	2	
<b>C4.2 Turf on a Small Percentage of Landscaped Area</b>	2	2	
<b>C5. Trees to Moderate Building Temperature</b>	1	1	
<b>C6. High-Efficiency Irrigation System</b>	2	2	
<b>C7. One Inch of Compost in the Top Six to Twelve Inches of Soil</b>	1	1	
<b>C8. Rainwater Harvesting System</b>	1	1	
<b>C9. Recycled Wastewater Irrigation System</b>	1	1	
<b>C10. Submeter or Dedicated Meter for Landscape Irrigation</b>	2	2	
<b>C11. Landscape Moisture Water Budget</b>	1	1	
<b>C12. Environmentally Preferable Materials for Site</b>	1	1	
<b>C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing</b>	1	1	
<b>C12.2 Play Structures and Surfaces Have an Average Recycled Content &gt;20%</b>	1	1	
<b>C13. Reduced Light Pollution</b>	1	1	

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Measure	Points Available	Points Earned	Comments
<b>C14. Large Mature Trees</b>	1	1	
<b>C15. Third-Party Landscape Program Certification</b>	1	1	
<b>C16. Maintenance Contract with Certified Professional</b>	1	1	
<b>C17. Community Garden</b>	1	1	
<b>D. STRUCTURAL FRAME AND BUILDING ENVELOPE</b>			
<b>D1. Quality Value Engineering</b>	2	2	
<b>D1.1 Joists, Rafters, and Studs at 24 Inches on Center</b>	2	2	
<b>D1.2 Non-Load Bearing Door and Window Headers Sized for Load</b>	2	2	
<b>D1.3 Advanced Framing Measures</b>	2	2	
<b>D2. Construction Material Efficiencies</b>	1	1	
<b>D3. Engineered Lumber</b>	1	1	
<b>D3.1 Engineered Beams and Headers</b>	1	1	
<b>D3.2 Wood Joists or Web Trusses for Floors</b>	1	1	
<b>D3.3 Engineered Lumber for Roof Rafters</b>	1	1	
<b>D3.4 Engineered or Finger-Jointed Studs for Vertical Applications</b>	1	1	
<b>D3.5 OSB for Subfloor</b>	1	1	
<b>D3.6 OSB for Wall and Roof Sheathing</b>	1	1	
<b>D4. Insulated Headers</b>	1	1	
<b>D5. FSC-Certified Wood</b>	1	1	
<b>D5.1 Dimensional Lumber, Studs, and Trimmer</b>	1	1	
<b>D5.2 Panel Products</b>	1	1	
<b>D6. Solid Wall Systems</b>	1	1	
<b>D6.1 At Least 90% of Floors</b>	1	1	
<b>D6.2 At Least 90% of Exterior Walls</b>	1	1	
<b>D6.3 At Least 90% of Roofs</b>	1	1	
<b>D7. Energy Heels on Roof Trusses</b>	1	1	
<b>D8. Overhangs and Gutters</b>	1	1	
<b>D9. Reduced Pollution Entering the Home from the Garage</b>	1	1	
<b>D9.1 Detached Garage</b>	1	1	
<b>D9.2 Mitigation Strategies for Attached Garage</b>	1	1	
<b>D10. Structural Pest and Rot Controls</b>	1	1	
<b>D10.1 All Wood Located At Least 12 Inches Above the Soil</b>	1	1	
<b>D10.2 Wood Framing Treated With Borates or Factory-Impregnated or Wall Materials Other Than Wood</b>	1	1	
<b>D11. Moisture-Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)</b>	2	2	
<b>E. EXTERIOR</b>			
<b>E1. Environmentally Preferable Decking</b>	1	1	
<b>E2. Flashing Installation Third-Party Verified</b>	2	2	
<b>E3. Rain Screen Wall System</b>	2	2	
<b>E4. Durable and Non-Combustible Cladding Materials</b>	1	1	
<b>E5. Durable Roofing Materials</b>	1	1	
<b>E5.1 Durable and Fire-Resistant Roofing Materials or Assembly</b>	1	1	
<b>E5.2 Roofing Warranty for Shingle Roofing</b>	1	1	
<b>E6. Vegetated Roof</b>	2	2	
<b>F. INSULATION</b>			
<b>F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content</b>	1	1	
<b>F1.1 Walls and Floors</b>	1	1	
<b>F1.2 Ceilings</b>	1	1	
<b>F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions</b>	1	1	
<b>F2.1 Walls and Floors</b>	1	1	
<b>F2.2 Ceilings</b>	1	1	
<b>F3. Insulation That Does Not Contain Fire Retardants</b>	1	1	
<b>F3.1 Cavity Walls and Floors</b>	1	1	
<b>F3.2 Ceilings</b>	1	1	
<b>F3.3 Interior and Exterior Insulation</b>	1	1	
<b>G. PLUMBING</b>			
<b>G1. Efficient Distribution of Domestic Hot Water</b>	1	1	
<b>G1.1 Insulated Hot Water Pipes</b>	1	1	
<b>G1.2 WaterSense Showerheads for Hot Water Distribution</b>	1	1	
<b>G1.3 Increased Efficiency in Hot Water Distribution</b>	1	1	
<b>G2. Install Water-Efficient Fixtures</b>	2	2	
<b>G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve</b>	2	2	

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Measure	Points Available	Points Earned	Comments
<b>G2.2 WaterSense Bathroom Faucets with 1.0gpm or less</b>	1	1	
<b>G2.3 WaterSense Toilets with a Maximum Performance (MP) Threshold of No. Less Than 500 Grams 1.28gpf CR 1.1 gpf</b>	1	1	
<b>G2.4 Urinals with Flush Rate of 0.1 Gallons/Flush</b>	1	1	
<b>G3. Pre-Plumbing for Graywater System</b>	1	1	
<b>G4. Operational Graywater System</b>	1	1	
<b>G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout</b>	1	1	
<b>G6. Submeter Water for Tenants</b>	2	2	
<b>H. HEATING, VENTILATION, AND COOLING</b>			
<b>H1. Sealed Combustion Units</b>	1	1	
<b>H1.1 Sealed Combustion Furnace</b>	1	1	
<b>H1.2 Sealed Combustion Water Heater</b>	1	1	
<b>H2. ENERGY STAR® Bathroom Fans</b>	1	1	
<b>H3. Effective Ductwork</b>	1	1	
<b>H3.1 Duct Mastic on Duct Joints and Seams</b>	1	1	
<b>H3.2 Pressure Balance the Ductwork System</b>	1	1	
<b>H5. Advanced Practices for Cooling</b>	1	1	
<b>H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms</b>	1	1	
<b>H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room of Units</b>	1	1	
<b>H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality</b>	1	1	
<b>H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards</b>	1	1	
<b>H6.2 Advanced Ventilation Standards</b>	1	1	
<b>H6.3 Outdoor Air is Filtered and Tempered</b>	1	1	
<b>H7. Effective Range Design and Installation</b>	1	1	
<b>H7.1 Effective Range Hood Ducting and Design</b>	1	1	
<b>H7.2 Automatic Range Hood Control</b>	1	1	
<b>H8. High Efficiency HVAC Filter (MERV 13+)</b>	1	1	
<b>H9. Advanced Refrigerants</b>	1	1	
<b>I. RENEWABLE ENERGY</b>			
<b>I1. Pre-Plumbing for Solar Water Heating</b>	1	1	
<b>I2. Preparation for Future Photovoltaic Installation</b>	1	1	
<b>I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)</b>	1	1	
<b>I4. Net Zero Energy Home</b>	1	1	
<b>I4.1 Net Zero Energy Home</b>	1	1	
<b>I4.2 Net Zero Electric</b>	1	1	
<b>I5. Energy Storage System</b>	1	1	
<b>I6. Solar Hot Water Systems to Preheat Domestic Hot Water</b>	1	1	
<b>I7. Photovoltaic System for Multifamily Projects</b>	1	1	
<b>J. BUILDING PERFORMANCE AND TESTING</b>			
<b>J1. Third-Party Verification of Quality of Insulation Installation</b>	1	1	
<b>J2. Supply and Return Air Flow Testing</b>	1	1	
<b>J3. Mechanical Ventilation Testing</b>	1	1	
<b>J4. Combustion Appliance Safety Testing</b>	1	1	
<b>J5. Building Energy Performance</b>	1	1	
<b>J5.1 Home Meets or Exceeds Energy Compliance Pathway</b>	1	1	
<b>J5.2 Non-Residential Spaces Outperform Title 24</b>	1	1	
<b>J6. Title 24 Prepared and Signed by a CABC Certified Energy Analyst</b>	1	1	
<b>J7. Participation in Utility Program with Third-Party Plan Review</b>	1	1	
<b>J8. ENERGY STAR for Homes</b>	1	1	
<b>J9. EPA Indoor airPlus Certification</b>	1	1	
<b>J10. Blower Door Testing</b>	1	1	
<b>J11. Compartmentalization of Units</b>	1	1	
<b>K. FINISHES</b>			
<b>K1. Entrways Designed to Reduce Tracked-In Contaminants</b>	1	1	
<b>K1.1 Entrways to Individual Units</b>	1	1	
<b>K1.2 Entrways to Buildings</b>	1	1	
<b>K2. Zero-VOC Interior Wall and Ceiling Paints</b>	1	1	
<b>K3. Low-VOC Caulks and Adhesives</b>	1	1	
<b>K4. Environmentally Preferable Materials for Interior Finish</b>	1	1	
<b>K4.1 Cabinets</b>	1	1	
<b>K4.2 Interior Trim</b>	1	1	

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Measure	Points Available	Points Earned	Comments
<b>K4.3 Siding</b>	1	1	
<b>K4.4 Doors</b>	1	1	
<b>K4.5 Countertops</b>	1	1	
<b>K5. Formaldehyde Emissions in Interior Finish Exceed CARB</b>	1	1	
<b>K5.1 Doors</b>	1	1	
<b>K5.2 Cabinets and Countertops</b>	1	1	
<b>K5.3 Interior Trim and Shelving</b>	1	1	
<b>K6. Products That Comply With the Health Product Declaration Open Standard</b>	1	1	
<b>K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion</b>	1	1	
<b>K8. Comprehensive Inclusion of Low-Emitting Finishes</b>	1	1	
<b>K9. Durable Cabinets</b>	1	1	
<b>K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes</b>	1	1	
<b>L. FLOORING</b>			
<b>L1. Environmentally Preferable Flooring</b>	1	1	
<b>L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential</b>	1	1	
<b>L3. Durable Flooring</b>	1	1	
<b>L4. Thermal Mass Flooring</b>	1	1	
<b>M. APPLIANCES AND LIGHTING</b>			
<b>M1. ENERGY STAR® Dishwasher</b>	1	1	
<b>M2. Efficient Clothes Washing and Drying</b>	2	2	
<b>M2.1 CEE-Rated Clothes Washer</b>	2	2	
<b>M2.2 Energy Star Dryer</b>	1	1	
<b>M2.3 Solar Dryer Laundry Lines</b>	1	1	
<b>M3. Size-Efficient ENERGY STAR Refrigerator</b>	1	1	
<b>M4. Permanent Centers for Waste Reduction Strategies</b>	1	1	
<b>M4.1 Built-In Recycling Center</b>	1	1	
<b>M4.2 Built-In Composting Center</b>	1	1	
<b>M5. Lighting Efficiency</b>	2	2	
<b>M5.1 High-Efficiency Lighting</b>	2	2	
<b>M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant</b>	2	2	
<b>M6. Electric Vehicle Charging Stations and Infrastructure</b>	1	1	
<b>M7. Central Laundry</b>	1	1	
<b>M8. Gearless Elevator</b>	1	1	
<b>N. COMMUNITY</b>			
<b>N1. Smart Development</b>	2	2	
<b>N1.1 Infill Site</b>	2	2	
<b>N1.2 Designated Brownfield Site</b>	1	1	
<b>N1.3 Conserve Resources by Increasing Density</b>	2	2	
<b>N1.4 Cluster Homes for Land Preservation</b>	1	1	
<b>N1.5 Home Size Efficiency</b>	1	1	
<b>N2. Home(s)/Development Located Near Major Transit Stop</b>	1	1	
<b>N2.1 Within 1 Mile of a Major Transit Stop</b>	1	1	
<b>N2.2 Within 1/2 Mile of a Major Transit Stop</b>	1	1	
<b>N3. Pedestrian and Bicycle Access</b>	1	1	
<b>N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services</b>	1	1	
<b>N3.2 Connection to Pedestrian Pathways</b>	1	1	
<b>N3.3 Traffic Calming Strategies</b>	1	1	
<b>N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide</b>	1	1	
<b>N3.5 Bicycle Storage for Residents</b>	1	1	
<b>N3.6 Bicycle Storage for Non-Residents</b>	1	1	
<b>N3.7 Reduced Parking Capacity</b>	1	1	
<b>N4. Outdoor Gathering Places</b>	1	1	
<b>N4.1 Public or Semi-Public Outdoor Gathering Places for Residents</b>	1	1	
<b>N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services</b>	1	1	
<b>N5. Social Interaction</b>	1	1	
<b>N5.1 Residence Entries with Views to Callers</b>	1	1	
<b>N5.2 Entrances Visible from Street and/or Other Front Doors</b>	1	1	

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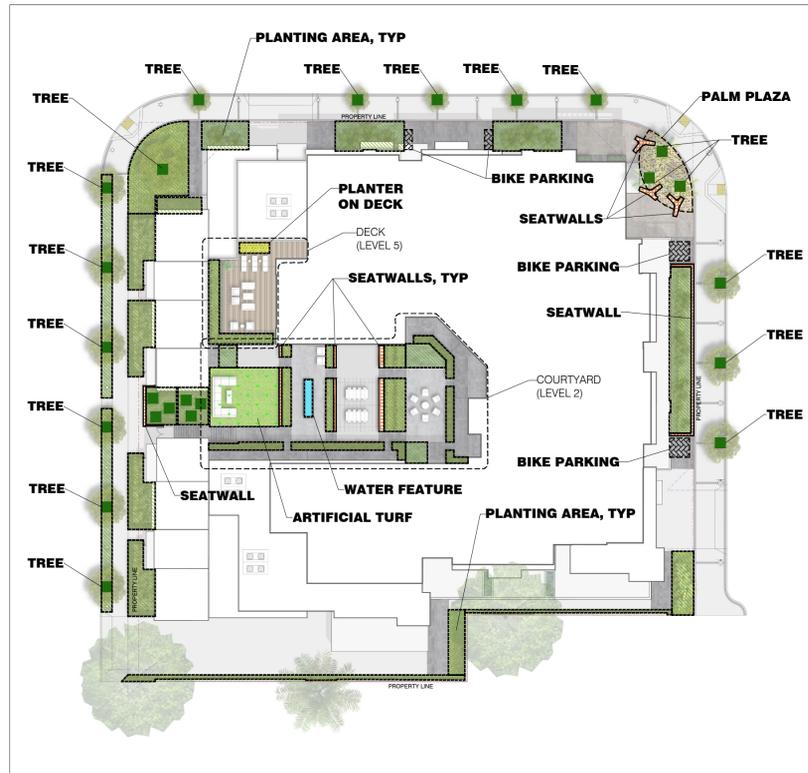
Measure	Points Available	Points Earned	Comments
<b>N6. Passive Solar Design</b>	1	1	
<b>N6.1 Heating Load</b>	1	1	
<b>N6.2 Cooling Load</b>	1	1	
<b>N7. Adaptable Building</b>	1	1	
<b>N7.1 Universal Design Principles in Units</b>	1	1	
<b>N7.2 Full-Function Independent Rental Unit</b>	1	1	
<b>N8. Affordability</b>	1	1	
<b>N8.1 Dedicated Units for Households Making 80% of AMI or Less</b>	1	1	
<b>N8.2 Units with Median Rent for Households Making 80% of AMI or Less</b>	1	1	
<b>N8.3 At Least 20% of Units at 120% AMI or Less are For Sale</b>	1	1	
<b>N9. Mixed-Use Developments</b>	1	1	
<b>N9.1 Live/Work Units Include a Dedicated Commercial Entrance</b>	1	1	
<b>N9.2 At Least 2% of Development Floor Space Supports Mixed Use</b>	1	1	
<b>N9.3 Half of the Non-Residential Floor Space is Dedicated to Community Service</b>	1	1	
<b>N10. Resiliency</b>	1	1	
<b>N10.1 Climate Impact Assessment</b>	1	1	
<b>N10.2 Strategies to Address Assessment Findings</b>	1		

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Street Improvement Details, See Civil Dwgs.
3. For Planting Information, See L4.0 Landscape Planting Plan



**LANDSCAPE AREA DIAGRAM:**



**LANDSCAPE AREA LEGEND:**

SYMBOL	LANDSCAPE ZONE	AREA/ SQ FT (INSIDE OF PROPERTY LINE)	AREA/ SQ FT (OUTSIDE OF PROPERTY LINE)	AREA/ SQ FT (TOTAL)
[Green Symbol]	TREES	112	272	384
[Light Green Hatching]	PLANTING AREA	4417	1198	5615
[Tan Hatching]	PALM PLAZA	311	14	325
[Green and White Hatching]	ARTIFICIAL TURF	581	0	581
[Blue Hatching]	WATER FEATURE	42	0	42
[Orange Hatching]	SEATWALLS	238	32	270
[Grey Hatching]	BIKE PARKING	155	0	155
[Yellow Hatching]	PLANTER ON DECK	45	0	45
	<b>TOTAL</b>	<b>5901</b>	<b>1516</b>	<b>7417</b>

LANDSCAPE CONCEPT PLAN

PLAN



1/16" = 1' - 0"

**SAW**  
 SA // SPIEGEL AHARA WORKSHOP  
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 www.s-a-works.com



311 Mathilda

311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development

Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
 Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:

**Landscape Concept Plan**

Job No. 16044  
 Date: 03/20/2018  
 Scale: 1/16" = 1'-0"  
 Drawn By:

Sheet No:

**L1.0**

- NOTES:**
- For Building Details, See Arch Dwg.
  - For Street Improvement Details, See Civil Dwg.
  - For Landscape Materials, See L1.0 Landscape Concept Plan
  - 3" of mulch applied on all exposed planting surfaces.
  - Compost at a minimum rate of 4 cy per 1000 sf of permeable area, to a depth of 6".
  - "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

ROOF DECK						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	Agave attenuata Foxtail Agave	--	5 or 15 Gal	7" O.C.	
	AB	Agave shawii x attenuata 'Blue Flame' Agave 'Blue Flame'	--	5 or 15 Gal	5" O.C.	
	AL	Aloe hybrid "LEO 3711" Super Red™ Aloe	--	5 or 15 Gal	40" O.C.	
	AY	Anigozanthos 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	24" O.C.	
	CA	Calamagrostis x acutiflora 'Karl Foerster' Foerster's Feather Reed Grass	--	1 or 5 Gal	24" O.C.	
	PA	Panicum virgatum 'Heavy Metal' Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	
	PC	Phormium cookianum 'Cream Delight' Cream Delight New Zealand Flax	--	1 or 5 Gal	5" O.C.	
	VB	Verbena bonariensis Tall Verbena	--	5 or 15 Gal	30" O.C.	

COURTYARD						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AY	Anigozanthos 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	24" O.C.	
	CB	Carex divulsa Berkeley Sedge	--	1 or 5 Gal	24" O.C.	
	CS	Carex phyllocephala 'sparkler' Sparkler Sedge	--	1 or 5 Gal	24" O.C.	
	CT	Chondropetalum tectorum Small Cape Rush	--	1 or 5 Gal	30" O.C.	
	LG	Liriope 'gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	LL	Lomandra longifolia 'Breeze' Dwarf Mat Rush	--	1 or 5 Gal	36" O.C.	
	RV	Ribes viburnifolium Evergreen Currant	--	1 or 5 Gal	30" O.C.	
	NC	Nephrolepis cordifolia California Sword Fern	--	15 Gal	30" O.C.	
	WG	Woodwardia fimbriata Giant Chain Fern	--	15 Gal	36" O.C.	
	PR	Prunus caroliniana 'Compacta' Dwarf Carolina Laurel Cherry	--	15 Gal	36" O.C.	
	RC	Rhamnus californica California Coffeeberry	--	15 Gal	36" O.C.	

TREES						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AR	Acer rubrum Red Maple	4	36" Box	30" O.C. As Shown	Sunnyvale Street Tree for 3 Mathilda Avenue. Follow City Specifications.
	CD	Calocedrus decurrens Incense Cedar	5	36" Box	30" O.C. As Shown	Sunnyvale Street Tree for W McKinley Avenue. Follow City Specifications.
	CO	Cercis occidentalis Western Redbud	6	8'-10" Tall	15" O.C. As Shown	3 Multi-stem Trees, 3 Standard
	QS	Quercus shumardii Shumard Oak	6	36" Box	30" O.C.	Sunnyvale Street Tree for Charles Street. Follow City Specifications.
	QS1	Quercus shumardii Shumard Oak	1	60" Box	30" O.C.	Sunnyvale Street Tree at Corner Garden. Follow City Specifications.
	PC	Phoenix canariensis Canary Island date palm	3	Transplant - Size Varies	As shown	Transplanted Trees from Site - Size Varies (22"-35" Diameter, 20'-45" Height)
	WR	Washingtonia robusta Mexican Fan Palm	3	Transplant - Size Varies	As shown	Transplanted Tree from Site - Size Varies (15"-21" Diameter, 40'-50" Height)

CHARLES ST PARK STRIP & CORNER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DA	Dianella revoluta 'Little Rev' Little Rev™ Flax Lily	--	1 or 5 Gal	24" O.C.	
	DI	Diets iridioides African Iris	--	1 or 5 Gal	30" O.C.	
	LG	Liriope 'Gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	

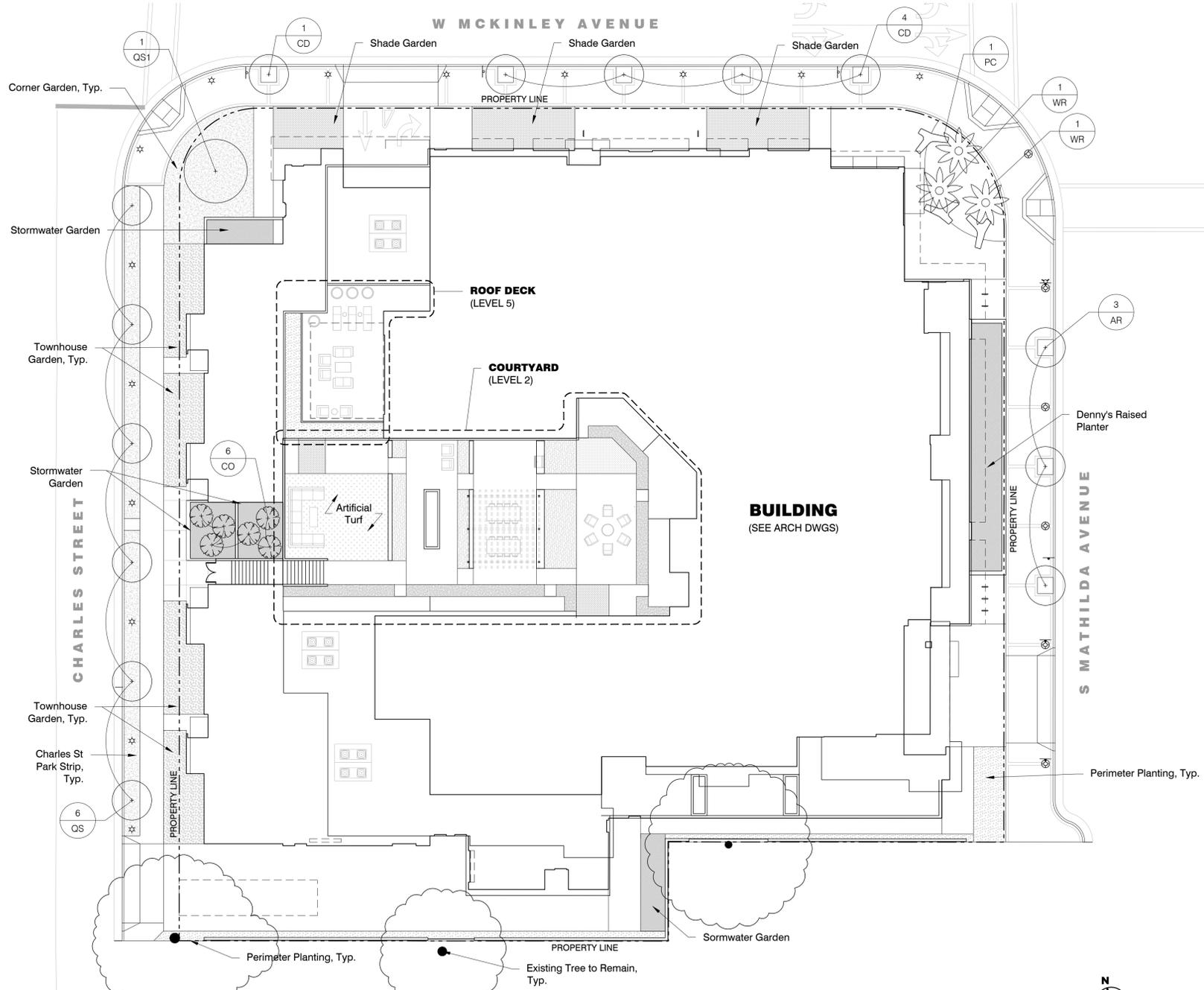
PERIMETER PLANTING						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AB	Agave shawii x attenuata 'Blue Flame' Agave 'Blue Flame'	--	5 or 15 Gal	5" O.C.	
	AG	Agave 'Blue Glow' Blue Glow Agave	--	5 or 15 Gal	24" O.C.	
	CP	Carex phyllocephala 'sparkler' Sparkler Sedge	--	1 or 5 Gal	15" O.C.	
	PC	Phormium cookianum 'Cream Delight' Cream Delight New Zealand Flax	--	1 or 5 Gal	5" O.C.	
	SF	Semiarundinaria fastuosa 'Vividis' Temple Bamboo	--	1 Gal	30" O.C.	

DENNY'S RAISED PLANTER (STORMWATER GARDEN)						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	Agave attenuata Foxtail Agave	--	5 or 15 Gal	5" O.C.	
	AC	Aloe capitata var. quartzicola Aloe	--	5 or 15 Gal	30" O.C.	
	CS	Carex barbarae Santa Barbara sedge	--	1 or 5 Gal	12" O.C.	
	AN	Anigozanthos 'Big Red' Big Red Kangaroo Paws	--	8'-10" Tall	30" O.C.	
	CA	Calamagrostis x acutiflora 'Karl Foerster' Foerster's Feather Reed Grass	--	1 or 5 Gal	24" O.C.	
	CP	Carex phyllocephala 'sparkler' Sparkler Sedge	--	1 or 5 Gal	15" O.C.	
	DC	Deschampsia caespitosa 'Susan's Choice' Tufted Hair Grass	--	1 or 5 Gal	30" O.C.	
	FF	Furcraea foetida False Agave	--	5 or 15 Gal	6" O.C.	
	HR	Hesperaloe parviflora Red Yucca	--	5 or 15 Gal	30" O.C.	
	LG	Liriope 'Gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	DT	Dianella tasmanica Tasman Flax-lily	--	1 or 5 Gal	24" O.C.	
	JC	Juncus patens California Grey Rush	--	1 or 5 Gal	12" O.C.	
	PA	Panicum virgatum 'Heavy Metal' Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	
	PE	Pennisetum orientale 'Fairy Tails' Evergreen Fountain Grass	--	1 or 5 Gal	30" O.C.	
	CT	Chondropetalum tectorum Small Cape Rush	--	1 or 5 Gal	12" O.C.	

SHADE GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DI	Dicksonia antarctica Tasmanian tree fern	--	15 Gal	12" O.C.	
	NE	Nephrolepis cordifolia California Sword Fern	--	15 Gal	30" O.C.	
	RI	Ribes viburnifolium Evergreen Currant	--	1 or 5 Gal	30" O.C.	
	WO	Woodwardia fimbriata Giant Chain Fern	--	15 Gal	36" O.C.	

STORMWATER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	CS	Carex barbarae Santa Barbara sedge	--	1 or 5 Gal	12" O.C.	
	CB	Carex divulsa Berkeley Sedge	--	1 or 5 Gal	12" O.C.	
	CL	Chondropetalum elephantium Large Cape Rush	--	1 or 5 Gal	24" O.C.	
	CT	Chondropetalum tectorum Small Cape Rush	--	1 or 5 Gal	12" O.C.	
	JC	Juncus patens California Grey Rush	--	1 or 5 Gal	12" O.C.	
	JE	Juncus patens 'Elk Blue' Elk Blue CA Rush	--	1 or 5 Gal	12" O.C.	

TOWNHOUSE GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	DA	Dianella revoluta 'Little Rev' Little Rev™ Flax Lily	--	1 or 5 Gal	24" O.C.	
	DI	Diets iridioides African Iris	--	1 or 5 Gal	30" O.C.	
	EB	Escaallonia bifida White Escallonia	--	15 Gal	36" O.C.	
	HQ	Hydrangea quercifolia Oakleaf Hydrangea	--	15 Gal	4" O.C.	
	LG	Liriope 'Gigantea' Giant Lilyturf	--	1 or 5 Gal	30" O.C.	
	WF	Woodwardia fimbriata Giant Chain Fern	--	15 Gal	36" O.C.	



PLANTING PLAN  
PLAN

**SAW**  
 SAW // SPIEGEL AIHARA WORKSHOP  
 2325 3rd St. #216 // San Francisco, CA 94107  
 info@s-a-a-works.com // 415.890.4729  
 www.s-a-a-works.com



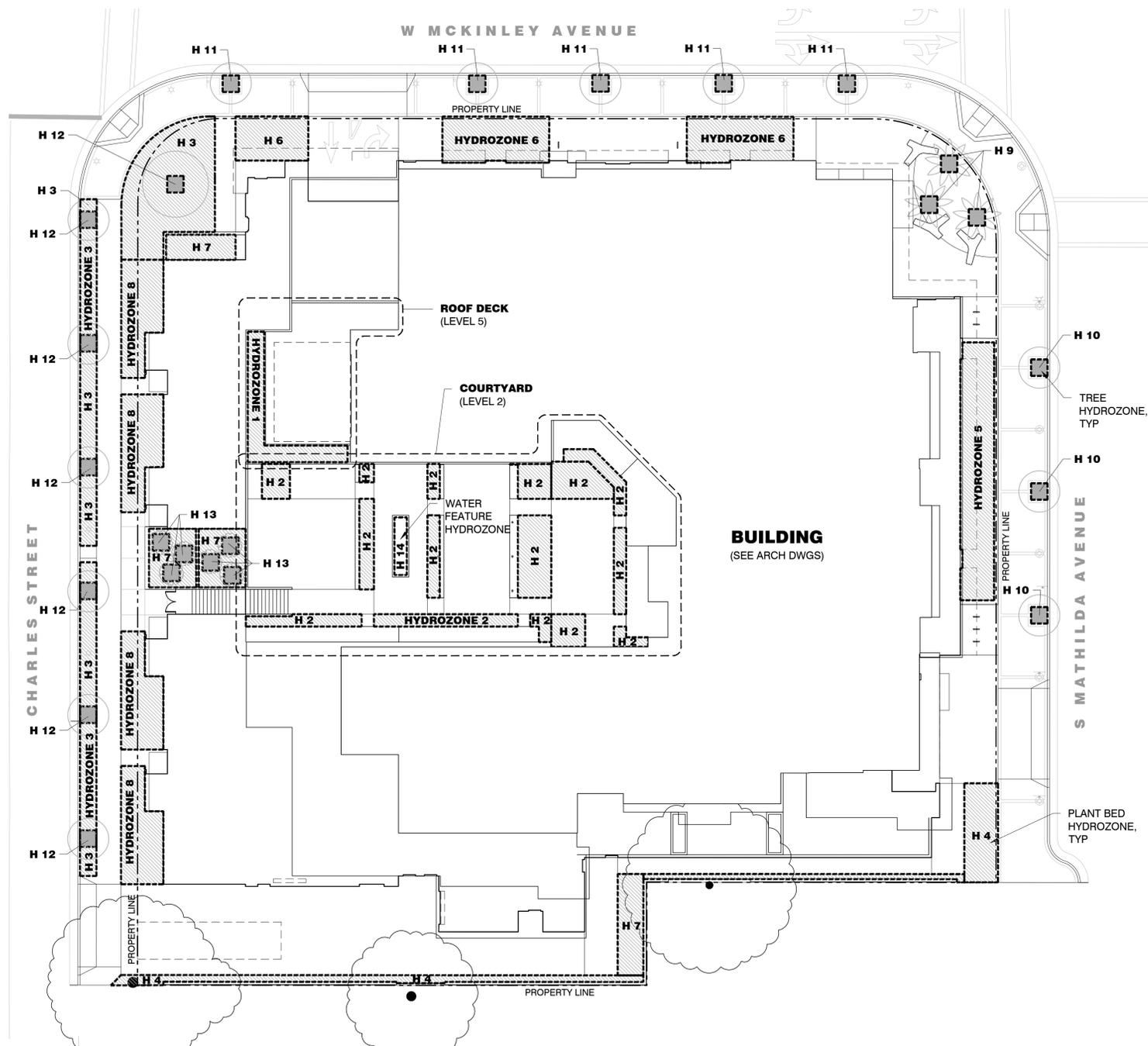
**311 Mathilda**  
 311 S Mathilda Ave, Sunnyvale, CA 94086  
**Lane Partners / Bay West Development**  
 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
 Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:  
**Landscape Planting Plan**  
 Job No. 16044  
 Date: 03/20/2018  
 Scale: 1/16" = 1'-0"  
 Drawn By:

Sheet No:  
**L4.0**

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See L1.0 Landscape Concept Plan
4. For Planting Information, See L4.0 Landscape Planting Plan



HYDROZONE PLAN

PLAN



MAXIMUM APPLIED WATER ALLOWANCE		PROJECT #:
MAWA = (ETo) x (0.62) x [(0.45 x LA)+(0.55 x SLA)]		
ETo**	San Jose (Sunnyvale)	45.30 ETo (inches/year)
Enter total project Landscaped Area		6,042 LA (square feet)
Enter Special Landscaped Area		0 SLA (square feet)
<b>RESULTS:</b>		
		76,363.03 MAWA (gallons/year)

\*\* Eto Values derived from Appendix A of the CA Model Water Efficient Landscape Ordinance, CA Dept. of Water Resources

- MAWA= Maximum applied water allowance (gallons per year)
- ETo = Reference Evapotranspiration (inches per year)
- 0.45 = ET Adjustment Factor (ETAF) for nonresidential projects
- LA = Planted landscaped area including SLA and not including hardscapes. Also include surface area of water features not using recycled water.
- 0.62 = Conversion Factor (to gallons per square foot)
- SLA = Portion of the Landscaped Area identified as Special Landscaped Area. Also include surface area of water features using recycled water.
- 0.55 = The additional ET Adjustment Factor for SLA (1.0 - 0.45 = 0.55)

ESTIMATED TOTAL WATER USE		PROJECT #:				
ETWU = (ETo) x (0.62) x [(PF x HA)/IE + SLA]						
<b>Irrigation Efficiency Values</b>						
Drip System	0.81					
Overhead Spray System	0.75					
Water Feature/Other	0.75					
<b>Plant Water Use Type</b>		<b>Plant Factor</b>				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Moderate		0.4 - 0.6				
High		0.7 - 1.0				
Water Feature (High)		1.0				
SLA		1.0				
<b>HYDROZONE TABLE</b>						
Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Irrigation Type	Irrigation Efficiency (IE)	Hydrozone Area (HA) (sq ft)	[PF x HA]/IE (sq ft)
1. ROOF DECK	Low	0.3	Drip System	0.81	208	77
2. COURTYARD	Moderate	0.4	Drip System	0.81	1,023	505
3. CHARLES ST PARK STRIP & CORNER PARK	Low	0.2	Drip System	0.81	1,139	281
4. PERIMETER PLANTING	Low	0.2	Drip System	0.81	509	628
5. DENNY'S RAISED PLANTER	Low	0.2	Drip System	0.81	509	126
6. SHADE GARDEN	Moderate	0.4	Drip System	0.81	764	377
7. STORMWATER GARDEN	Very Low	0.1	Drip System	0.81	484	60
8. TOWNHOUSE GARDEN	Moderate	0.4	Drip System	0.81	980	484
9. PALM TREES	Low	0.2	BUBBLER	0.81	48	12
10. RED MAPLE	Low	0.4	BUBBLER	0.81	48	24
11. INCENSE CEDAR	Low	0.2	BUBBLER	0.81	80	20
12. SHUMARD OAK	Low	0.2	BUBBLER	0.81	112	28
13. WESTERN REDBUD	Low	0.2	BUBBLER	0.81	96	24
14. WATER FOUNTAIN	High	1.0	OTHER	0.75	42	56
SLA		1			0	
<b>Sum</b>					6,042	2,701
<b>RESULTS</b>						
MAWA =	76,363	ETWU =			75,854	gallons/year

- ETWU = Estimated total water use per year (gallons per year)
- ETo = Reference Evapotranspiration (inches per year)
- PF = Plant Factor from WUCOLS\* or equivalent reference subject to approval
- HA = Hydrozone Area (square feet)
- SLA = Special Landscaped Area (square feet)
- 0.62 = Conversion Factor (to gallons per square foot)
- IE = Average Irrigation Efficiency (minimum 0.75, assumed to be 0.75 for overhead spray system and 0.81 for drip system)

ETWU must be less than or equal to MAWA  
ETWU complies with MAWA

**PROJECT MEETS WATER EFFICIENCY REQUIREMENTS:**

ETWU is less than MAWA

**SAW**  
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2325 3rd St. #216 // San Francisco, CA 94107  
info@s-a-works.com // 415.890.4729  
www.s-a-works.com



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311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development  
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
Bay West: 1725 S. Bascom Ave., Suite 1050, Campbell, CA 95008

Sheet Title:  
**Landscape Hydrozone Plan**

Job No. 16044  
Date: 03/20/2018  
Scale: 1/16" = 1'-0"  
Drawn By:

Sheet No:  
**L5.0**

# VESTING TENTATIVE MAP APPLICATION

## A ONE LOT SUBDIVISION FOR CONDOMINIUM PURPOSES

# 311 MATHILDA AVENUE

### CITY OF SUNNYVALE SANTA CLARA COUNTY, CALIFORNIA



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**PROJECT SUMMARY**

1. **OWNER/SUBDIVIDER:** LANE PARTNERS  
644 MENLO AVE, 2ND FLOOR  
MENLO PARK, CA 94025
2. **ENGINEER:** BKF ENGINEERS  
4670 WILLOW ROAD, SUITE 250  
PLEASANTON, CA 94588  
TEL (925) 396-7700  
FAX (925) 396-7799
3. **SUBDIVIDED AREA:** 44,111 SQ FT (APPROX. 1.01 ACRES)  
(41,486 SQ FT AFTER PROPOSED STREET DEDICATION)
4. **UTILITIES:**  
WATER SUPPLY: CITY OF SUNNYVALE  
FIRE PROTECTION: CITY OF SUNNYVALE  
SEWAGE DISPOSAL: CITY OF SUNNYVALE  
STORM DRAIN: CITY OF SUNNYVALE  
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC  
TELEPHONE: AT&T  
CABLE TELEVISION: COMCAST
5. **APN:** 165-13-050
6. **ZONING:** DSP (DOWNTOWN SPECIFIC PLAN)
7. **LAND USE:** MIXED USE
8. **GENERAL PLAN:** COMMERCIAL GENERAL BUSINESS
9. **FLOOD ZONE DESIGNATION:** ZONE X PER MAP #06085C0206H  
AREA OF 0.2% ANNUAL CHANCE FLOODPLANE
10. **NUMBER OF LOTS:** 1 WITH CONDOMINIUM UNITS
11. **NUMBER OF RESIDENTIAL CONDO UNITS:** 75
12. **NUMBER OF RETAIL CONDO UNITS:** 1



**VICINITY MAP**  
NTS

**SHEET INDEX**

NUMBER	DESCRIPTION
C0.0	CIVIL COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C2.0	PROPOSED CIVIL SITE PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	PRELIMINARY STORMWATER CONTROL PLAN

**BENCHMARK**

CITY OF SUNNYVALE BRASS DISK MONUMENT, DESIGNATED "BM2," SET IN TOP OF CURB NEXT TO CATCH BASIN AT TRAFFIC SIGNAL BOX ON THE SOUTHWEST CORNER OF WEST OLIVE AVE. AND MATHILDA AVE.  
ELEVATION = 115.872 (NAVD88)

**BASIS OF BEARINGS**

NORTH 14°52'00" EAST, BEING THE EASTERLY LINE OF PARCEL 1, BEING PARALLEL AND DISTANT 60.00 FEET WESTERLY OF THE LINE BETWEEN TWO CITY MONUMENTS IN THE RIGHT OF WAY OF MATHILDA AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN BOOK 543 OF MAPS AT PAGE 24, RECORDS OF SANTA CLARA COUNTY.

**ABBREVIATIONS**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
APN	ASSESSOR PARCEL NUMBER	LF	LINEAR FOOT	STD	STANDARD
APPROX	APPROXIMATE	LP	LIP OF GUTTER	SWE	SIDEWALK EASEMENT
BFP	BACK FLOW PREVENTION DEVICE	LP	LIP POINT	TC	TOP OF CURB
BLDG	BUILDING	LP	LINEAR POINT	TEL, TELE	TELEPHONE
BW	BACK OF WALK	MAX	MAXIMUM	TG	TOP OF GRATE
C&G	CURB AND GUTTER	MIN	MINIMUM	THRU	THROUGH
CB	CATCH BASIN	MH	MANHOLE	TM	TENTATIVE MAP
CD	CURB DRAIN	MON	MONUMENT	TOS	TOP OF SLAB
CI	CURB INLET	NEW	NEW	TRANS	TRANSFORMER
CONC	CONCRETE	NO.	NUMBER	TS	TRAFFIC SIGNAL
CY	CUBIC YARDS	NTS	NOT TO SCALE	TSB/TSPB	TRAFFIC SIGNAL BOX
DEMO	DEMOLITION	PG&E	PACIFIC GAS & ELECTRIC	TYP	TYPICAL
DI	DROP INLET	PGE	P&G EASEMENT	UB	UTILITY BOX
DW	DOMESTIC WATER	PG&E TOWER LINE EASEMENT	PG&E TOWER LINE EASEMENT	UE	UTILITY EASEMENT
DW, D/W, DWY	DRIVEWAY	PIV	POST INDICATOR VALVE	USD	UNION SANITARY DISTRICT
E, ELEC	ELECTRIC	P/L	PROPERTY LINE	VCP	VITRIFIED CLAY PIPE
(E), EX, EXIST	EXISTING	POC	POINT OF CONNECTION	W	WATER
EB	ELECTRIC BOX	PROP	PROPOSED	WL	WATER LINE
EG	EXISTING GROUND	PRV	PRESSURE REDUCING VALVE	WM	WATER METER
EL, ELEV	ELEVATION	PSE	PUBLIC SURVEY EASEMENT	WV	WATER VALVE
EP	EDGE OF PAVEMENT	R	RADIUS	W/	WITH
ESMT	EASEMENT	ROP	REINFORCED CONCRETE PIPE		
ETW	EDGE OF TRAVELED WAY	RE	ROADWAY EASEMENT		
EVAE	EMERGENCY VEHICLE ACCESS	RIM	RIM ELEVATION		
FC	FACE OF CURB	R/W, R-O-W	RIGHT OF WAY		
FDC	FIRE DEPARTMENT CONNECTION	RTE	RAIL TRACK EASEMENT		
FF	FINISHED FLOOR	RUE	ROAD UTILITY EASEMENT		
FG	FINISH GRADE	S	SLOPE		
FH	FIRE HYDRANT	SD	STORM DRAIN		
FL	FLOW LINE	SDCB	STORM DRAIN CATCH BASIN		
FS	FINISHED SURFACE	SDCI	STORM DRAIN CURB INLET		
GB	GRADE BREAK	SDCO	STORM DRAIN CLEANOUT		
GM	GAS METER	SDJB	STORM DRAIN JUNCTION BOX		
HC/HCR	HANDICAP RAMP	SDMH	STORM DRAIN MANHOLE		
HDPE	HIGH DENSITY POLYETHYLENE	SHT	SHEET		
HP	HIGH POINT	SL	STREET LIGHT		
INV	INVERT	SOFT	SQUARE FEET		
IRR	IRRIGATION	SS	SANITARY SEWER		
JP	JOINT POLE	SSCO	SANITARY SEWER CLEANOUT		
JT	JOINT TRENCH	SSMH	SANITARY SEWER MANHOLE		
		SW, S/W	SIDEWALK		

**LEGEND**

PROPOSED	EXISTING
PROPERTY LINE	PROPERTY LINE
ELECTRICAL LINE	ELECTRICAL LINE
GAS LINE	GAS LINE
STORM DRAIN LINE	STORM DRAIN LINE
SANITARY SEWER	SANITARY SEWER
EX WATER LINE	EX WATER LINE
FIRE WATER LINE	FIRE WATER LINE
MANHOLE (MH)	MANHOLE (MH)
STORM DRAIN OVERFLOW (SDO)	STORM DRAIN OVERFLOW (SDO)
STORMWATER TREATMENT VAULT (STV)	STORMWATER TREATMENT VAULT (STV)
BACKFLOW PREVENTER (BFP)	BACKFLOW PREVENTER (BFP)
FIRE HYDRANT	FIRE HYDRANT
CLEANOUT (CO)	CLEANOUT (CO)
WATER VALVE (WV)	WATER VALVE (WV)
WATER METER (WM)	WATER METER (WM)
AREA DRAIN (AD)	AREA DRAIN (AD)
BIORETENTION AREA (SEE DETAIL 1/C5.0)	BIORETENTION AREA (SEE DETAIL 1/C5.0)
FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)	FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)

**311 Mathilda**  
311 S Mathilda Ave, Sunnyvale, CA 94086

**Lane Partners / Bay West Development**  
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Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

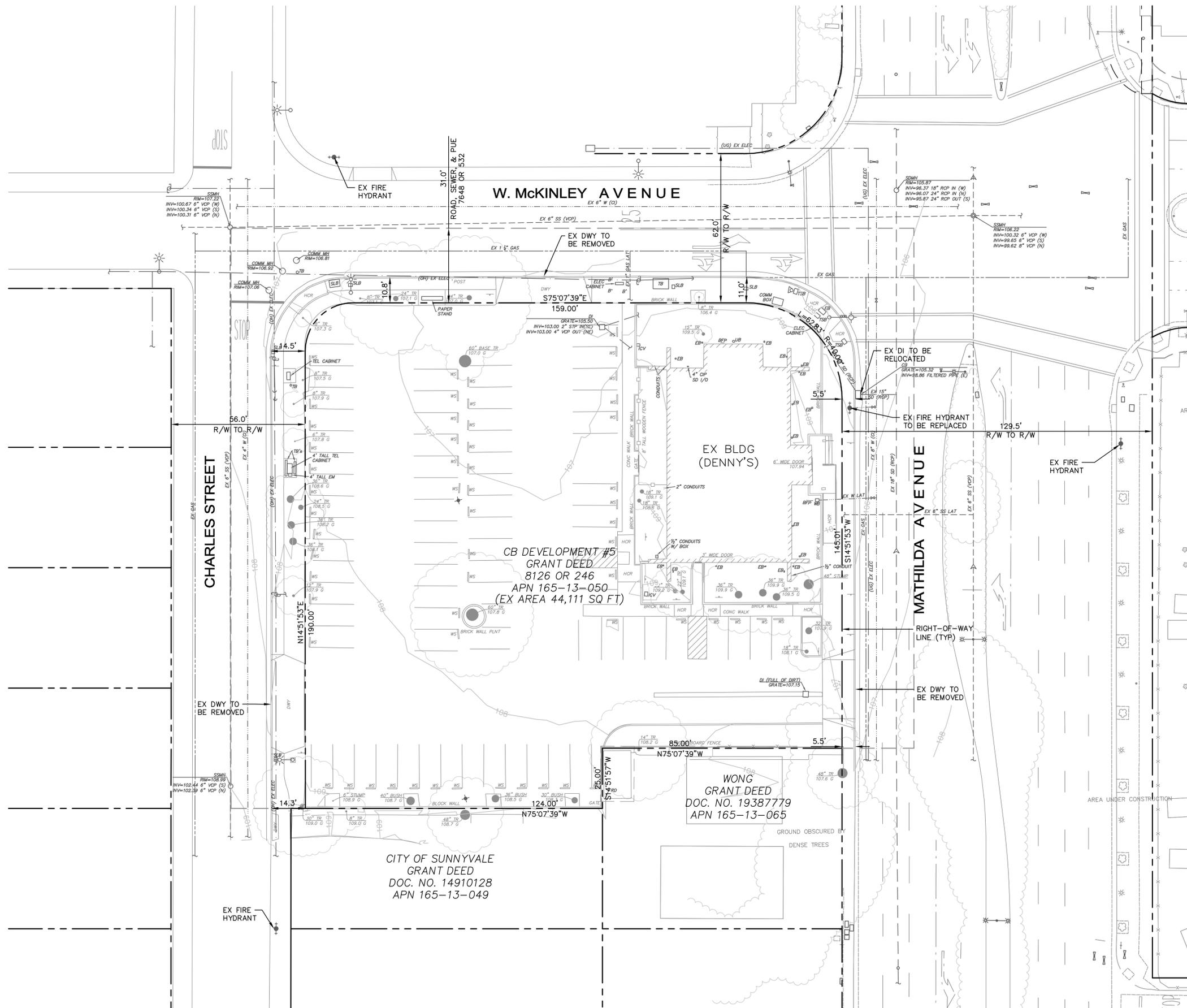
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**CIVIL COVER SHEET**

Job No. 20177004  
Date: 06/04/2018  
Scale: PER PLAN  
Drawn By: KA

Sheet No:  
**C0.0**

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PLOT DATE: 06-13-18 PLOTTED BY: arcc

DRAWING NAME: K:\2017\177004\_311-S\_Mathilda\ENG\PLANNING\SHEETS\01\_MAPLEX.dwg  
 PLOT DATE: 03-19-18 PLOTTED BY: arca



**LEGEND:**

- PROPERTY LINE
- EXISTING CONTOUR
- ☆ AREA/YARD LIGHT
- ⊕ ELECTROLIER
- ⊕ FIRE HYDRANT
- ⊕ SIGN
- ⊕ STREET LIGHT
- ⊕ GUY WIRE
- ⊕ JOINT POLE/POWER POLE
- ⊕ WATER VALVE
- ⊕ SIGNAL LIGHT

**NOTES:**

1. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR PROPERTY LINE UNLESS NOTED OTHERWISE.

**ABBREVIATIONS:**

B	==	BOLLARD
BFP	==	BACKFLOW PREVENTOR
BLDG COR	==	BUILDING CORNER
BW	==	BACK OF WALK
CB	==	CATCH BASIN
CCP	==	CONCRETE PAD
CIP	==	CAST IRON PIPE
COMM	==	COMMUNICATION
CONC	==	CONCRETE
DI	==	DROP INLET
EB	==	ELECTRICAL BOX
EP	==	EDGE OF PAVEMENT
HCR	==	HANDICAP RAMP
ICV	==	IRRIGATION CONTROL VALVE
MH	==	MANHOLE
SD	==	STORM DRAIN
SD I/O	==	STORM DRAIN INLET/OUTLET
SDMH	==	STORM DRAIN MANHOLE
SLB	==	STREET LIGHTING BOX
SSMH	==	SANITARY SEWER MANHOLE
TB	==	TELEPHONE BOX
TEL	==	TELEPHONE
TSB	==	TRAFFIC SIGNAL BOX
UB	==	UTILITY BOX
NM	==	WATER METER
WS	==	WHEEL STOP



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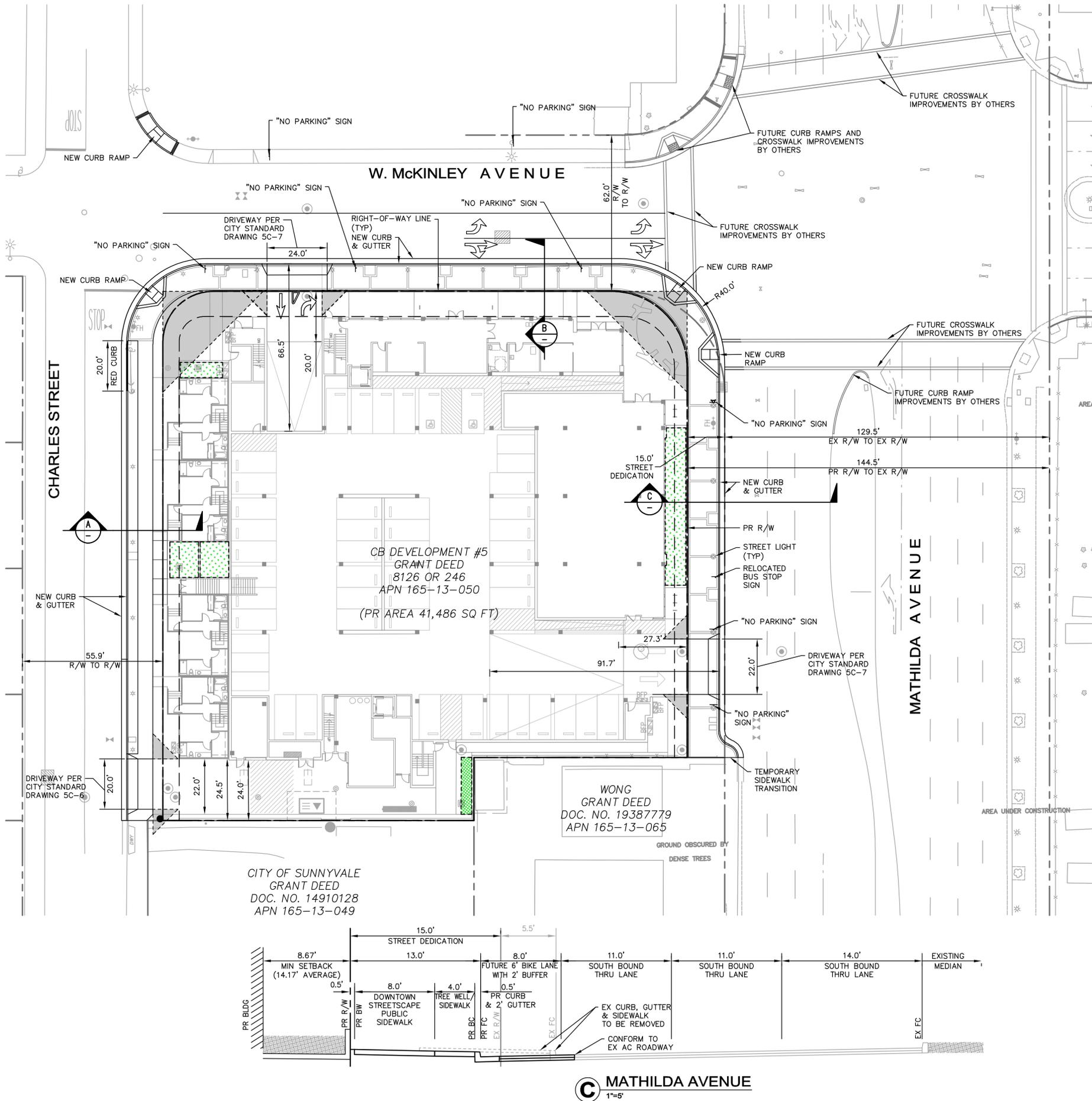
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 Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
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Sheet Title:  
**EXISTING CONDITIONS PLAN**

Job No. 20177004  
 Date: 03/21/2018  
 Scale: PER PLAN  
 Drawn By: KA

Sheet No:  
**C1.0**

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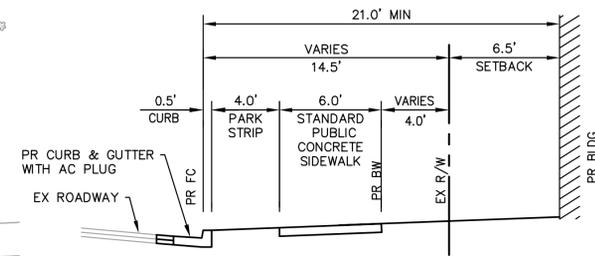
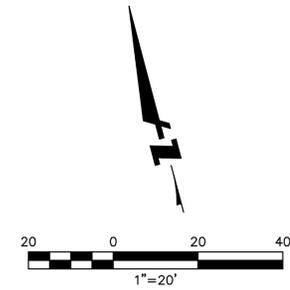


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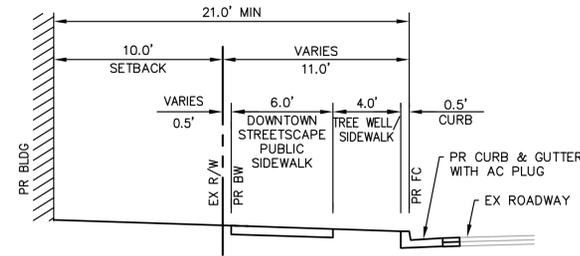
- PROPERTY LINE
- ▨ FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)
- ▨ BIORETENTION AREA (SEE DETAIL 1/C5.0)
- △ VISION TRIANGLE

**NOTES:**

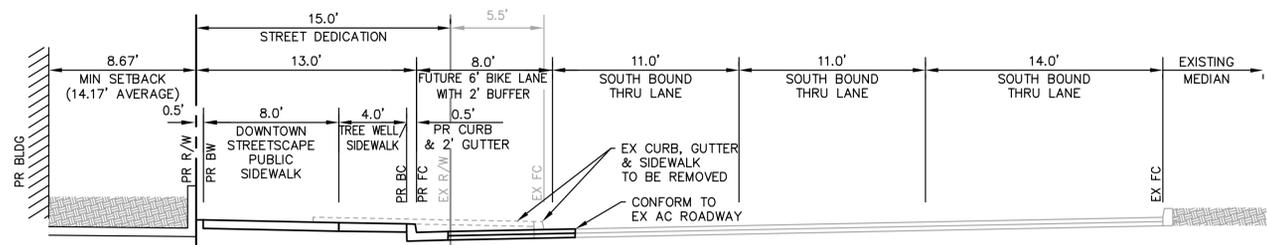
1. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
2. ALL DIMENSIONS ARE TO THE FACE OF CURB OR PROPERTY LINE UNLESS NOTED OTHERWISE.



**A CHARLES STREET**  
1"=5'



**B W. McKinley AVENUE**  
1"=5'



**C MATHILDA AVENUE**  
1"=5'

311 Mathilda

311 S Mathilda Ave, Sunnyvale, CA 94086

Lane Partners / Bay West Development

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Sheet Title:

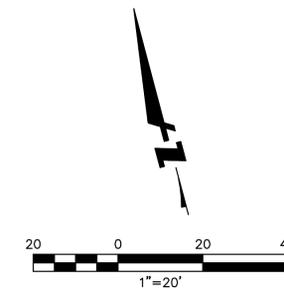
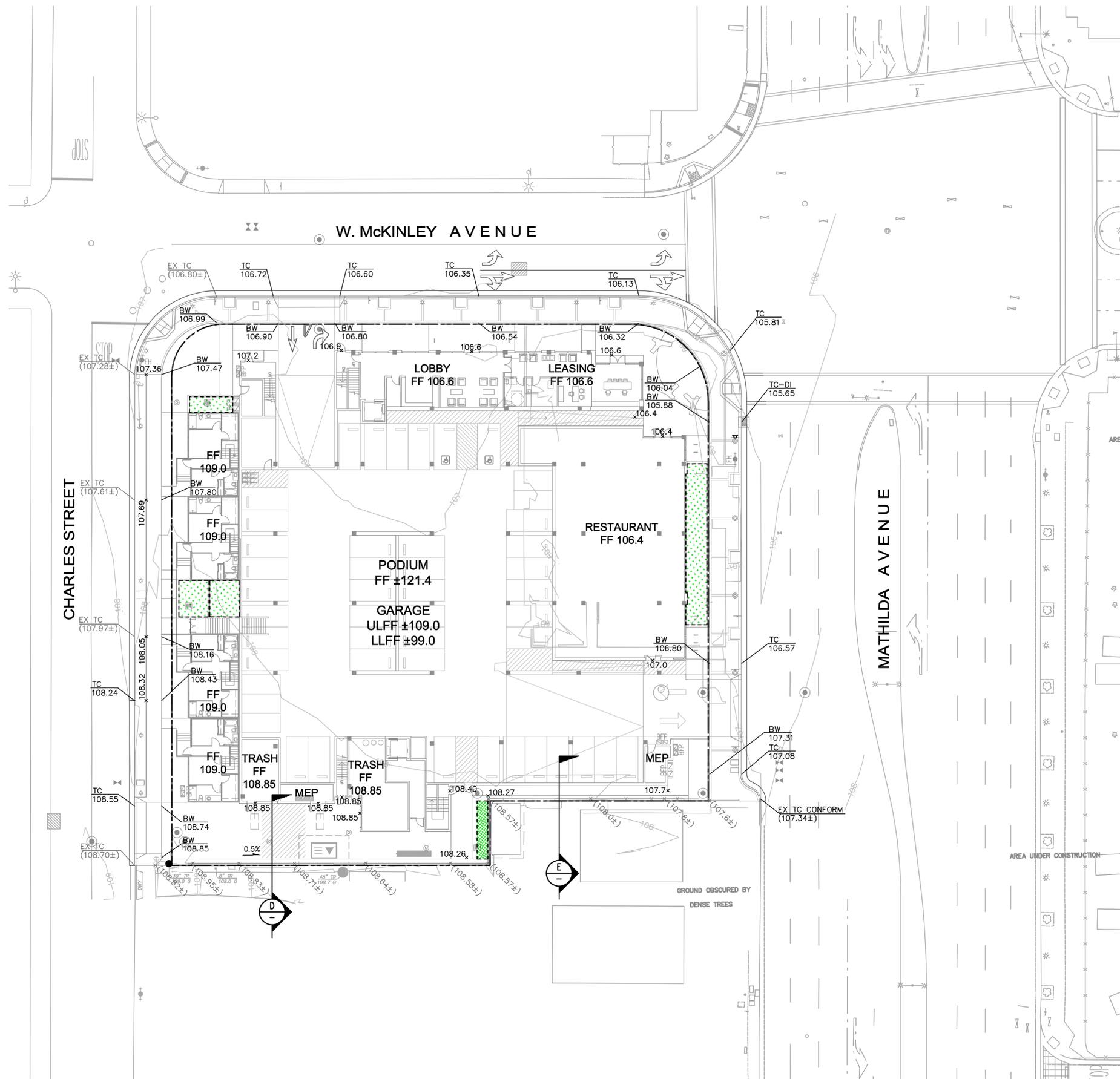
**PROPOSED CIVIL SITE PLAN**

Job No. 20177004  
Date: 03/21/2018  
Scale: PER PLAN  
Drawn By: KA

Sheet No:

**C2.0**

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 PLOT DATE: 03-19-18 PLOTTED BY: arca



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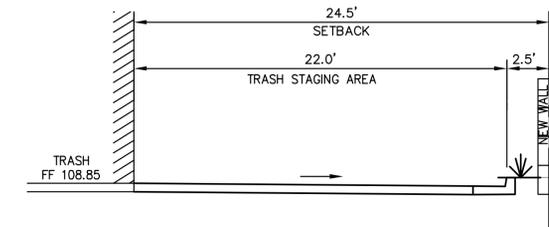
- — — — — PROPERTY LINE
- - - - - GRADE BREAK/RIDGELINE
- [Green Dotted Box] FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)
- [Green Stippled Box] BIORETENTION AREA (SEE DETAIL 1/C5.0)
- (XX.X) X EXISTING GRADE
- XX.X X PROPOSED GRADE
- X.X% DRAINAGE SLOPE AND DIRECTIONAL LABEL
- MANHOLE
- STORMWATER TREATMENT VAULT

**ABBREVIATIONS:**

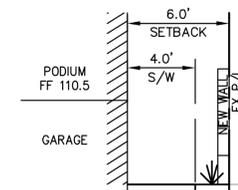
- AD AREA DRAIN
- CB CATCH BASIN
- DI DRAIN INLET
- ESMT EASEMENT
- INV INVERT
- LP LOW POINT
- MH MANHOLE
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SQ FT SQUARE FEET
- STV STORMWATER TREATMENT VAULT
- TC TOP OF CURB
- TYP TYPICAL
- W WATER

**NOTES:**

1. ALL GRADING WORK SHALL BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL RECOMMENDATIONS, INCLUDING SITE STRIPPING AND OVEREXCAVATION REQUIREMENTS.
2. LOT LINES AND TOPOGRAPHY BASED ON TOPOGRAPHIC SURVEY BY BKF ENGINEERS ON 02/01/17.
3. SEE SHEET C2.0 FOR CROSS-SECTIONS ALONG CHARLES STREET, MCKINLEY AVENUE AND MATHILDA AVENUE.



**D SECTION D**  
1"=5'



**E SECTION E**  
1"=5'



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Sheet Title:

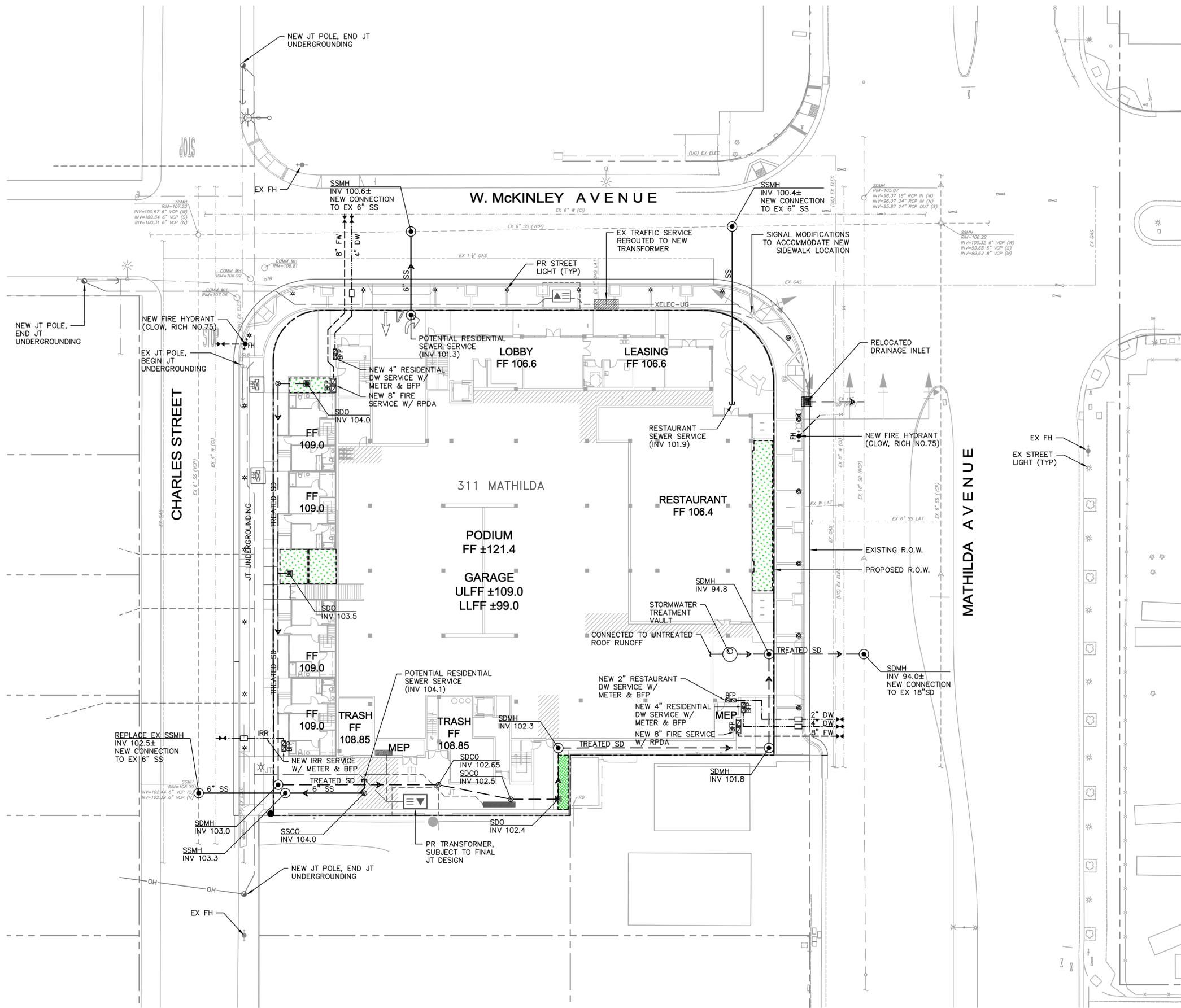
**PRELIMINARY GRADING PLAN**

Job No. 20177004  
 Date: 03/21/2018  
 Scale: PER PLAN  
 Drawn By: KA

Sheet No:

**C3.0**

DRAWING NAME: K:\2017\177004\_311-S\_Mathilda\04\ENG\PLANNING\04\_MAPLUT.dwg  
PLOT DATE: 06-13-18 PLOTTED BY: arcc



**LEGEND:**

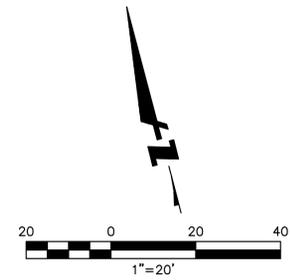
- PROPERTY LINE
- - - EX ELECTRICAL LINE
- - - EX GAS LINE
- - - EX STORM DRAIN LINE
- - - EX SANITARY SEWER
- - - EX WATER LINE
- PR STORM DRAIN LINE
- PR SANITARY SEWER LINE
- PR DOMESTIC WATER LINE
- PR FIRE WATER LINE
- MANHOLE (MH)
- CLEANOUT (CO)
- STORM DRAIN OVERFLOW (SDO)
- STORMWATER TREATMENT VAULT (STV)
- BACKFLOW PREVENTER (BFP)
- WATER METER (WM)
- AREA DRAIN (AD)
- ⋈ WATER VALVE (WV)
- BIORETENTION AREA (SEE DETAIL 1/C5.0)
- FLOW-THRU PLANTER (SEE DETAIL 2/C5.0)

**ABBREVIATIONS:**

- |      |                            |
|------|----------------------------|
| AD   | AREA DRAIN                 |
| BFP  | BACKFLOW PREVENTER         |
| CO   | CLEANOUT                   |
| DW   | DOMESTIC WATER             |
| EX   | EXISTING                   |
| FF   | FINISH FLOOR               |
| FH   | FIRE HYDRANT               |
| FW   | FIRE WATER                 |
| INV  | INVERT                     |
| IRR  | IRRIGATION                 |
| JT   | JOINT TRENCH               |
| MH   | MANHOLE                    |
| OH   | OVER HEAD                  |
| S    | SLOPE                      |
| SD   | STORM DRAIN                |
| SDCO | STORM DRAIN CLEANOUT       |
| SDMH | STORM DRAIN MANHOLE        |
| SDO  | STORM DRAIN OVERFLOW       |
| SS   | SANITARY SEWER             |
| SSCO | SANITARY SEWER CLEANOUT    |
| SSMH | SANITARY SEWER MANHOLE     |
| TYP  | TYPICAL                    |
| UG   | UNDERGROUND                |
| USD  | UNTREATED STORM DRAIN LINE |
| W    | WATER                      |
| WM   | WATER METER                |
| WV   | WATER VALVE                |

**NOTES:**

1. WATER SEWER AND STORM DRAIN IMPROVEMENTS TO BE INSTALLED PER CITY DESIGN STANDARDS.
2. BACKFLOW PREVENTERS SHALL BE LOCATED ON PRIVATE PROPERTY.
3. EXISTING BUILDING LATERALS TO BE REMOVED/ABANDONNED.
4. TRAFFIC SIGNAL POLE, MAST ARM, AND SIGNAL HEADS AT THE SOUTHWEST CORNER OF MATHILDA AVENUE AND MCKINLEY AVENUE SHALL BE UPGRADED PER DOWNTOWN STREETScape STANDARD DETAIL REQUIREMENTS AND RELOCATED IN COORDINATION WITH THE INTERSECTION IMPROVEMENTS. PREVIOUS PLANS TO MODIFY THE EXISTING SIGNAL POLE AT THE SOUTHWEST CORNER OF MATHILDA AND MCKINLEY TO THE ULTIMATE CONDITION AS PART OF A SEPARATE DEVELOPMENT WILL REQUIRE STAGING DUE TO THE CONSIDERABLE DIFFERENCE IN LOCATIONS BETWEEN EXISTING AND PROPOSED CURB RAMPS. IMPROVEMENT STAGING TO BE COORDINATED WITH THE DIVISION OF TRANSPORTATION AND TRAFFIC (DOT) STAFF AT THE CITY DURING THE PROJECT OFFSITE IMPROVEMENT PHASE.



4670 WILLOW RD., SUITE 250  
PLEASANTON, CA 94588  
(925) 396-7700  
www.bkf.com

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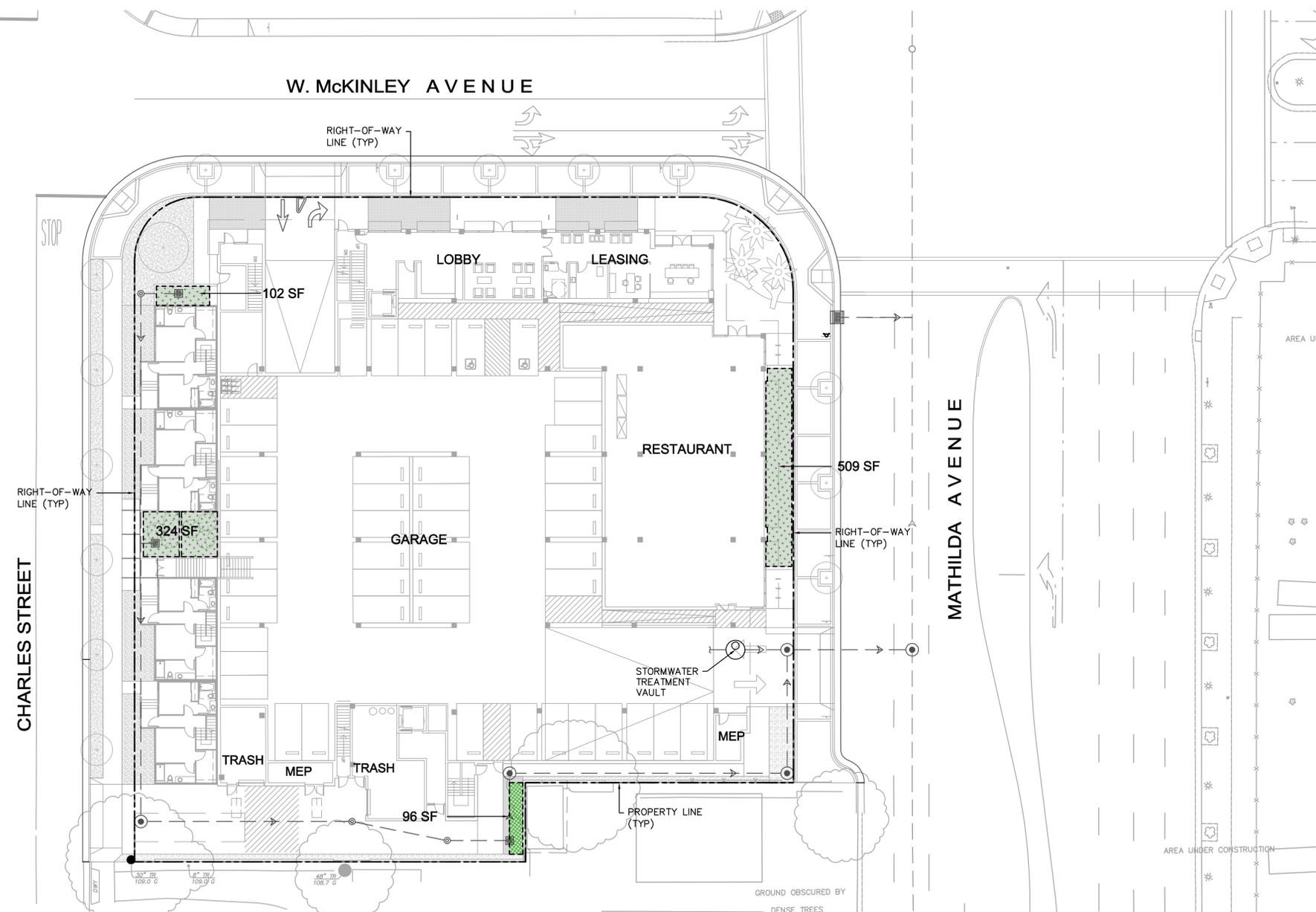
**Lane Partners / Bay West Development**  
Lane Partners: 644 Menlo Ave, 2nd Floor, Menlo Park CA 94025  
Bay West: 1725 S. Bascom Ave, Suite 1050, Campbell, CA 95008

Sheet Title:  
**PRELIMINARY  
UTILITY PLAN**

Job No. 20177004  
Date: 06/04/2018  
Scale: PER PLAN  
Drawn By: KA

Sheet No:  
**C4.0**

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**LEGEND:**

- PROPERTY LINE
- - - EX STORM DRAIN LINE
- - - PR STORM DRAIN LINE
- [Dotted Pattern] FLOW-THRU PLANTER (SEE DETAIL 2, THIS SHEET)
- [Green Pattern] BIORETENTION AREA (SEE DETAIL 1, THIS SHEET)
- STORMWATER TREATMENT VAULT (STV)
- STORM DRAIN MANHOLE (SDMH)
- STORM DRAIN OVERFLOW (SDO)

**NOTES:**

- THIS PROJECT QUALIFIES FOR 65% TRANSIT-ORIENTED DEVELOPMENT (TOD) CREDITS UNDER THE MRP CATEGORY C SPECIAL PROJECT CRITERIA.

**TOD CREDITS:**

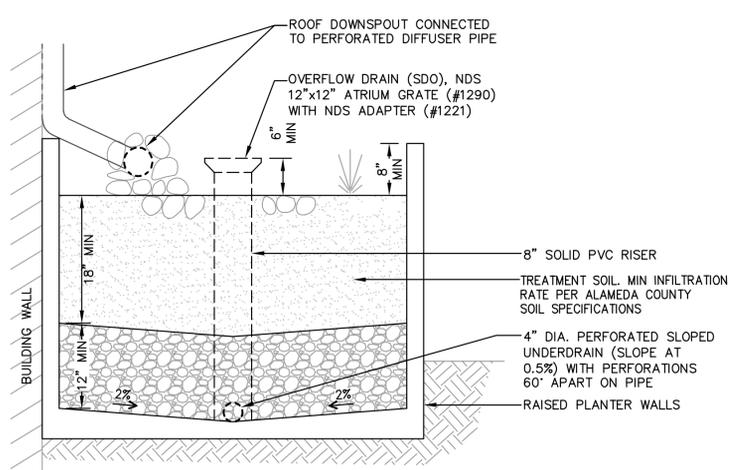
- + 25% - LOCATION [WITHIN 0.5 MILES OF EXISTING TRANSIT HUB]
- + 20% - DENSITY [> 60 DU/AC]
- + 20% - PARKING [0% AT-GRADE PARKING]
- + 65% - TOTAL CREDITS

- FLOW-THRU PLANTERS AND BIORETENTION AREAS ARE SIZED FOR 4% OF THE IMPERVIOUS AREA DRAINING TO THEM PER THE FLOW TREATMENT SIZING METHOD.

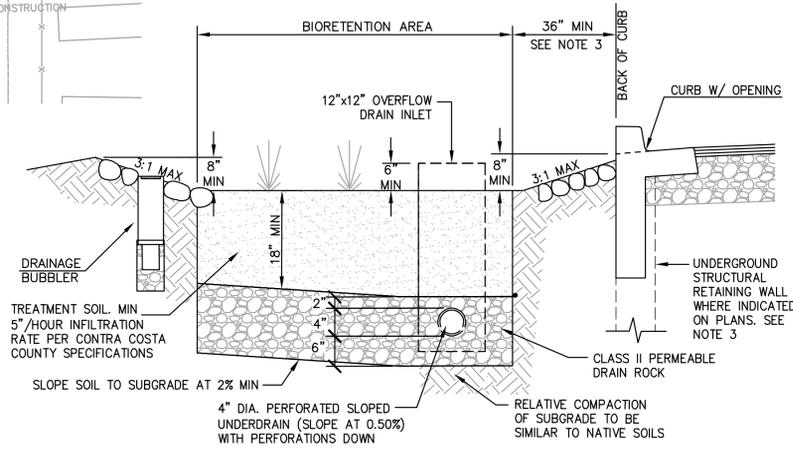
**STORMWATER MANAGEMENT TABLE**

Method of Treatment	Description of Drainage Area	Drainage Area (sf)	% of Total Drainage Area	Required Treatment Area* (sf)	Potential Treatment Area (sf)	Excess (sf)
Bioretention Area	Pavement	2,375	6%	95	96	1
Flow-Thru Planter	Roof	13,500	35%	540	935	395
2:1 Drain to Landscape	Pavement	3,295	9%	1,571	1,767	196
Media Filtration Vault	Pavement, Podium, & Roof	19,167	50%	N/A	N/A	N/A

\*SEE NOTE 2.



**2 FLOW-THRU PLANTER**  
NTS



**1 BIORETENTION AREA**  
NTS

- NOTES:**
- PLACE 4" MIN. DIA. APPROVED NOYO COBBLE (OR APPROVED EQUIVALENT) FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" FROM EDGE OF STRUCTURE.
  - TREATMENT SOIL TO BE UNCOMPACTED AT FINAL CONDITION. KEEP HEAVY EQUIPMENT OUT OF TREATMENT AREAS.
  - STRUCTURAL BIORETENTION RETAINING WALL WITH FOOTING OR CROSS-BRACING REQUIRED AT ALL LOCATIONS WHERE BIORETENTION BASINS ARE LESS THAN 3' FROM CURB OR WALL.

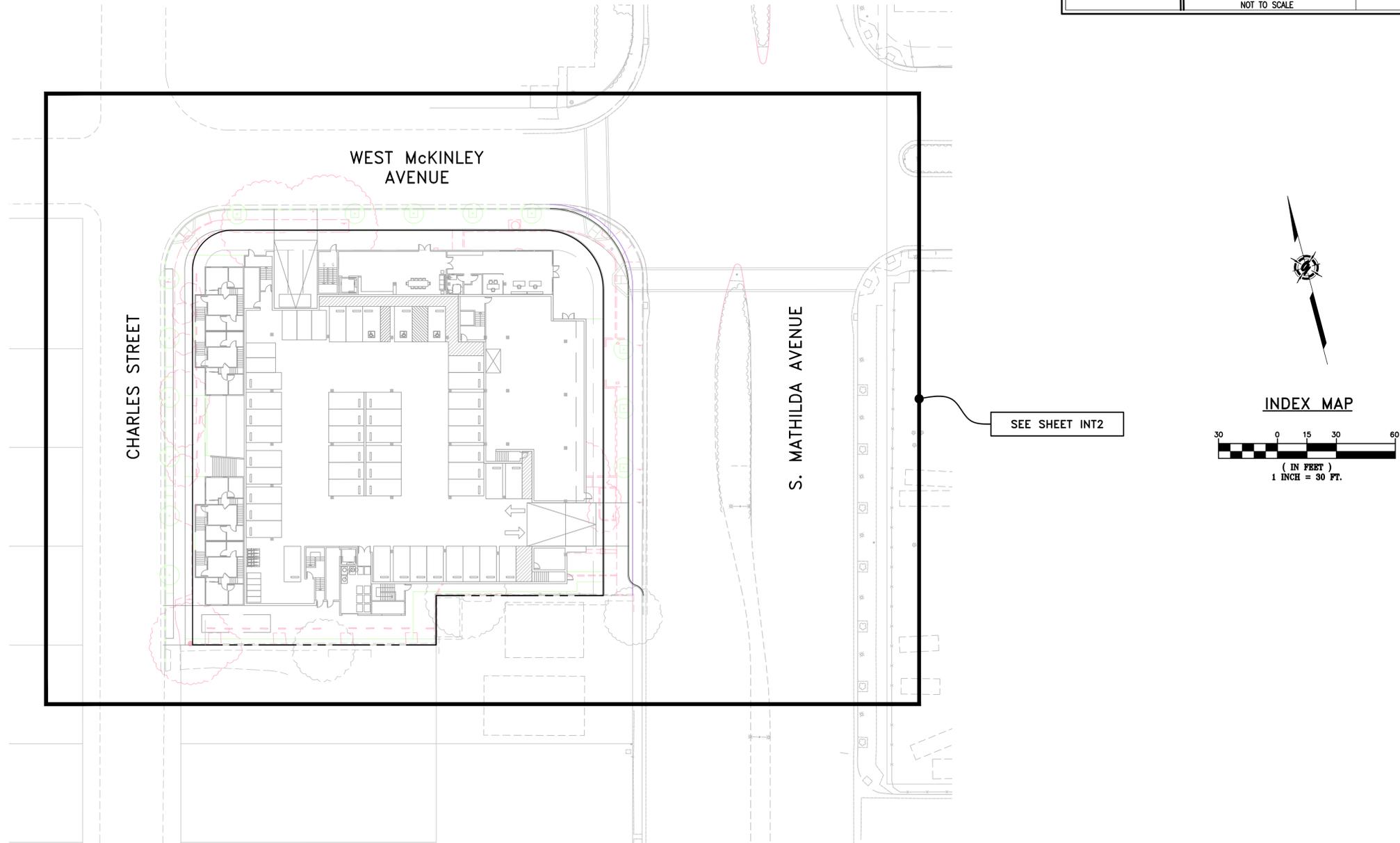
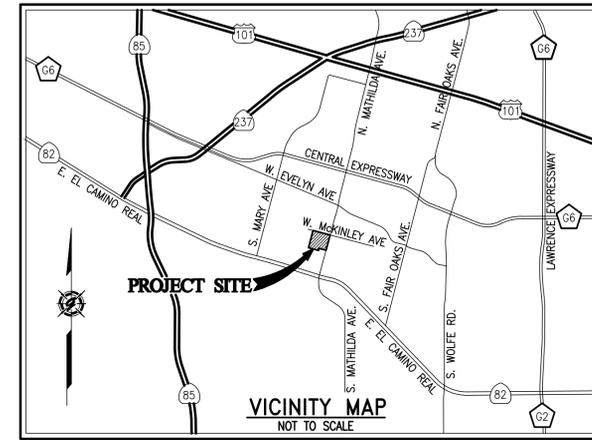
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Sheet Title:  
**PRELIMINARY STORMWATER CONTROL PLAN**  
Job No. 20177004  
Date: 03/21/2018  
Scale: PER PLAN  
Drawn By: KA

Sheet No:  
**C5.0**

**LANE PARTNERS  
311 MATHILDA  
311 SOUTH MATHILDA AVE.  
SUNNYVALE, CALIFORNIA  
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



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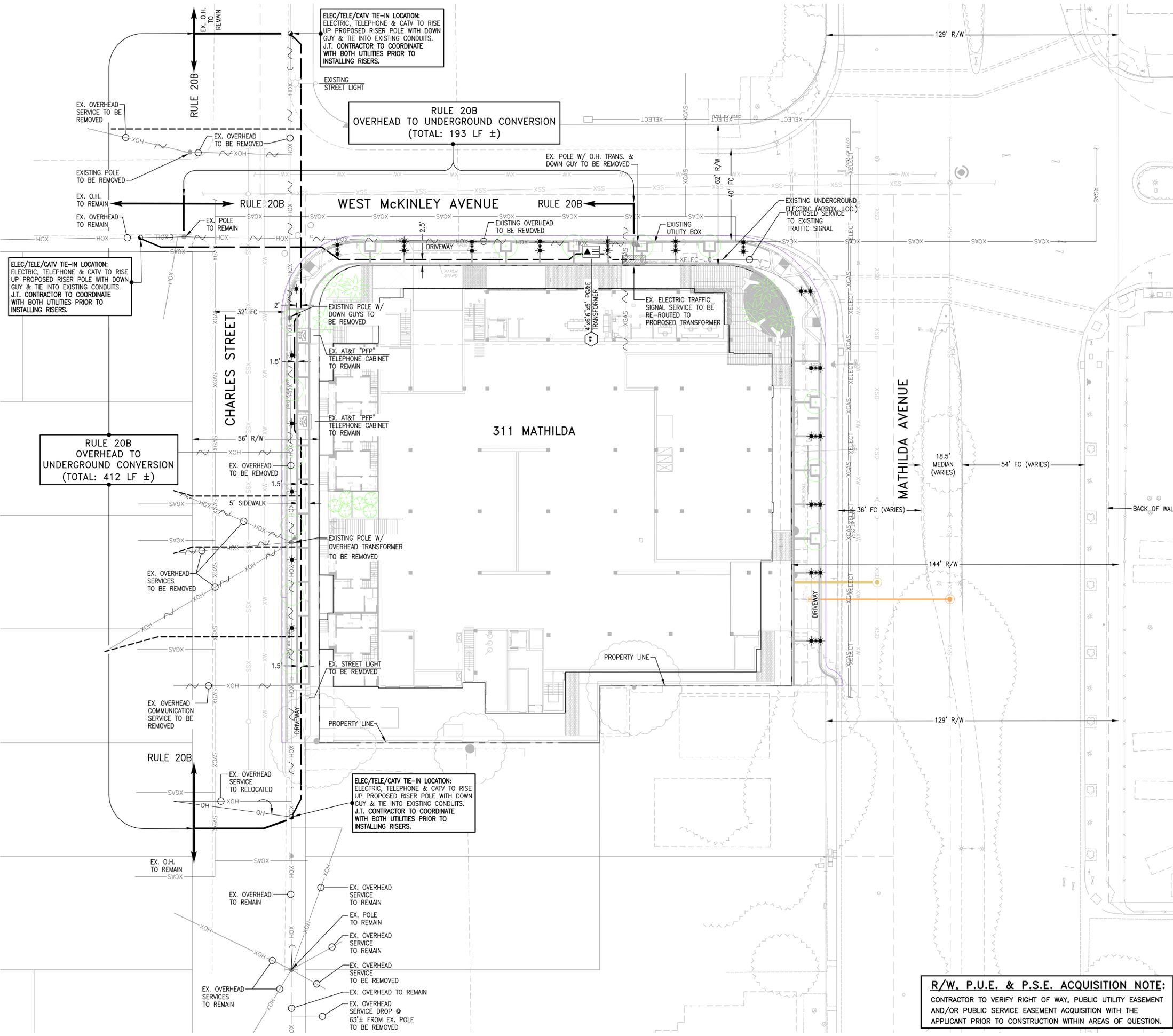
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Sheet Title:  
**JOINT TRENCH INTENT  
TITLE SHEET**

Job No. 17-093  
Date: 03/21/2018  
Scale: 1"=30'  
Drawn By: JPS

Sheet No:  
**INT1**



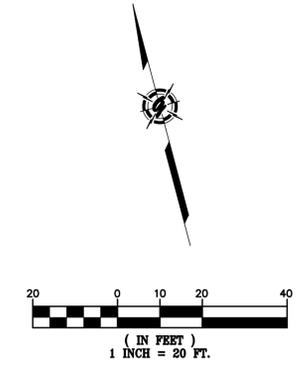
### LEGEND

- EXISTING TRENCH OR UTILITIES
- PROPOSED TRENCH (DISTRIBUTION)
- PROPOSED TRENCH (SERVICE)
- PROPOSED STREET LIGHT TRENCH
- EXISTING UTILITY SPLICE BOX
- PROPOSED POST TOP STREET LIGHT
- PROPOSED DOUBLE ARM POST TOP STREET LIGHT
- EXISTING STREET LIGHT
- PROPOSED NEW RISER POLE
- PROPOSED NEW GUY ANCHOR
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE GUY ANCHOR
- 4'x6'6"x5' PG&E TRANSFORMER

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**NOTE**

PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**

PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS**

**NOT FOR CONSTRUCTION**

**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**

CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

TWO DAYS BEFORE YOU DIG  
CALL USA TOLL FREE  
**811**  
CALL BEFORE YOU DIG

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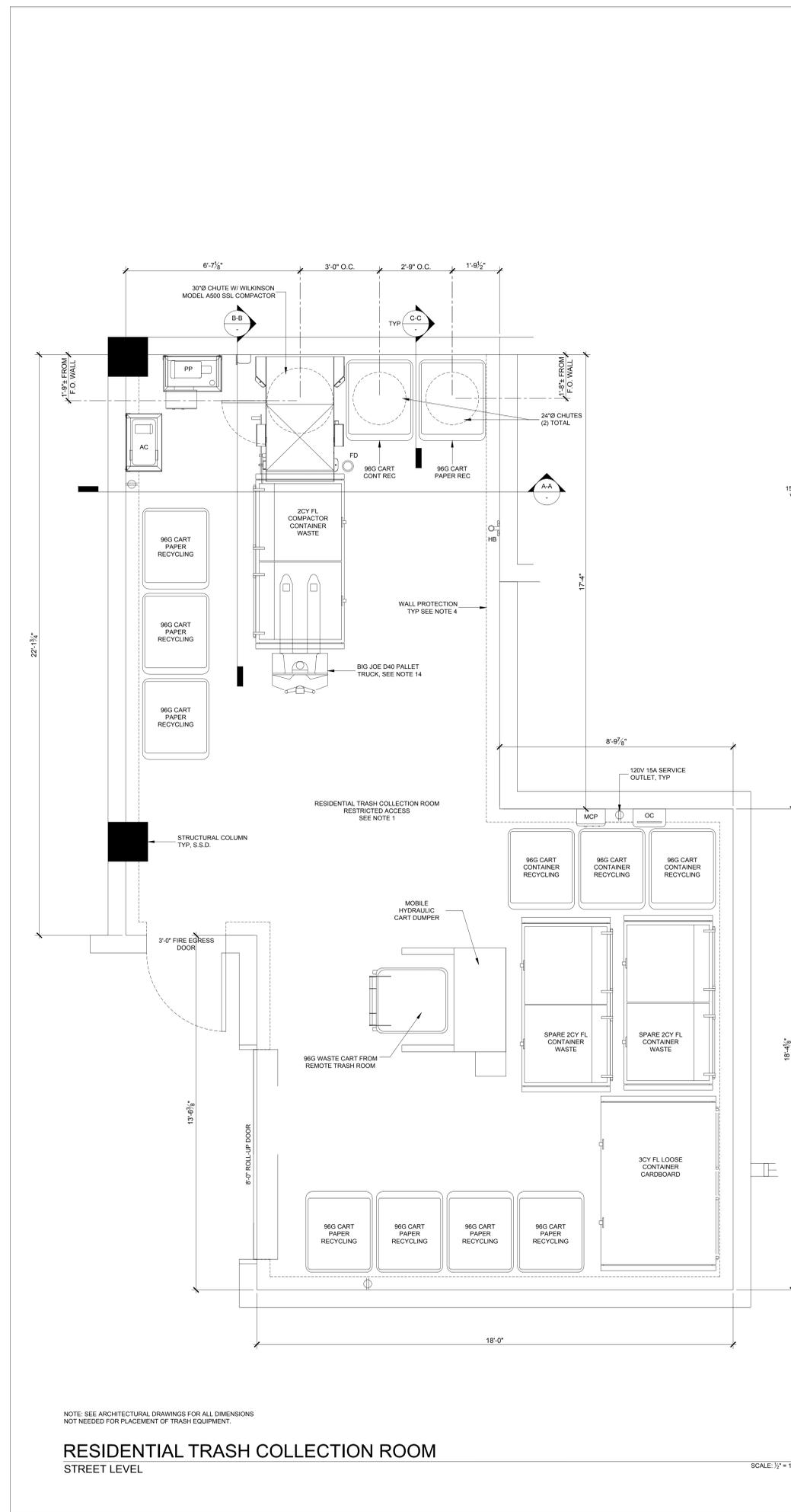
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Sheet Title:  
**JOINT TRENCH INTENT TITLE SHEET**

Job No. 17-092  
Date: 03/21/2018  
Scale: 1"=20'  
Drawn By: JPS

Sheet No:

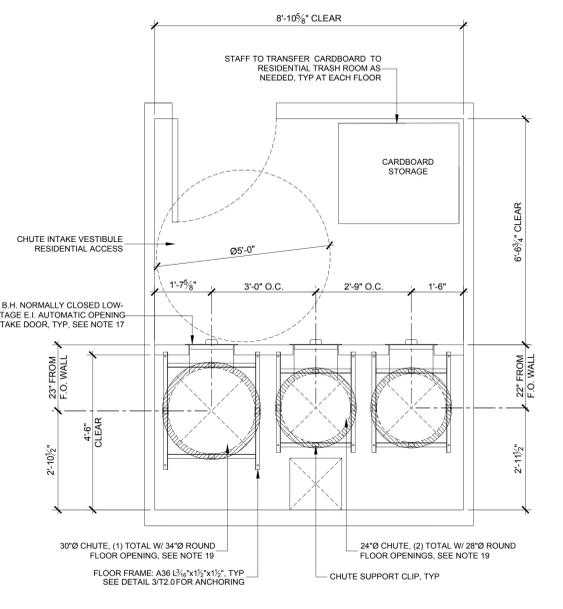
INT2



**RESIDENTIAL TRASH COLLECTION ROOM**  
STREET LEVEL

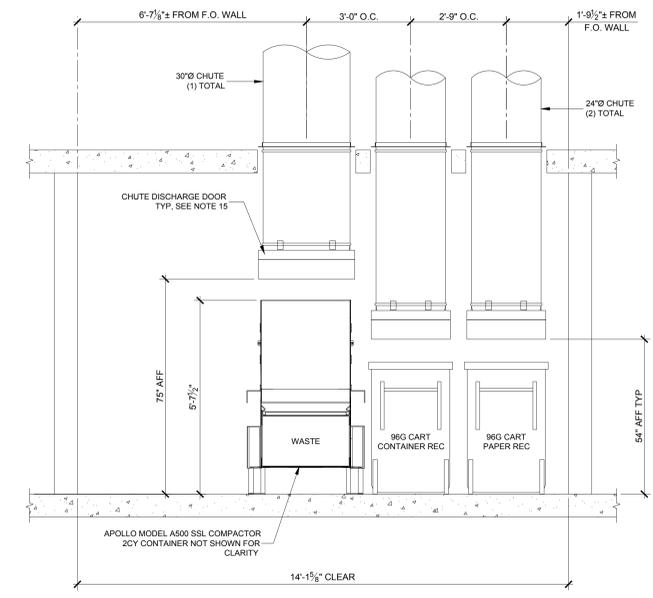
NOTE: SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT NEEDED FOR PLACEMENT OF TRASH EQUIPMENT.

SCALE: 1/2" = 1'-0"



**CHUTE INTAKE VESTIBULES**  
TYPICAL AT PODIUM - LEVEL 5

SCALE: 1/2" = 1'-0"



SECTION A-A

NOTE: SEE RESIDENTIAL TRASH COLLECTION ROOM PLAN FOR TRASH EQUIPMENT OR ANY OTHER INFORMATION NOT SHOWN IN SECTIONS.

**SECTIONS**  
AT RESIDENTIAL TRASH COLLECTION ROOM

SCALE: 1/2" = 1'-0"

EQUIPMENT SCHEDULE: RESIDENTIAL TRASH COLLECTION ROOM	
QTY:	DESCRIPTION:
5	TOTAL FLOORS
3	GALVANIZED STEEL CHUTES: (1) 30" CHUTE AND (2) 24" CHUTES
12	TOTAL FLOOR SUPPORT FRAMES (ONE AT EACH FLOOR PENETRATION)
12	15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING CHUTE INTAKE DOORS
2	TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY INSULATED SLIDING-STEEL CHUTE DISCHARGE DOORS, HELD OPEN BY 165°F FUSIBLE LINK
1	APOLLO MODEL A500 SINGLE-SIDE LATCH COMPACTOR
1	COMPACTOR POWER PACK: 5HP 3-PHASE, 208/230/460V WITH 30A DISCONNECT
3	2CY FRONT-LOAD COMPACTOR CONTAINERS
1	3CY FRONT-LOAD LOOSE CONTAINER
12	96G LOOSE TOTER CARTS
4	96G LOOSE TOTER CARTS (CARDBOARD DISPOSAL AT VESTIBULES)
1	96G LOOSE TOTER CARTS (CARDBOARD DISPOSAL AT VESTIBULES)
1	CHUTE AIR COMPRESSOR: 2HP MOTOR
1	CHUTE MASTER CONTROL PANEL
1	FLOOR DRAIN
1	ODOR CONTROL UNIT
1	HOT AND COLD HOSE BIBB
1	8'-0" ROLL-UP DOOR
1	3'-0" FIRE EGRESS DOOR
1	BIG JOE D40 ELECTRIC PALLET TRUCK

PROJECTED COLLECTION SCHEDULE: RESIDENTIAL TRASH COLLECTION ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 2CY FL COMPACTOR CONTAINERS	2x/wk
CARDBOARD	(1) 3CY FL LOOSE CONTAINER	2x/wk
PAPER RECYCLING	(8) 96G LOOSE TOTER CARTS	2x/wk
CONTAINER RECYCLING	(4) 96G LOOSE TOTER CARTS	2x/wk

- SHEET NOTES:**
- RESIDENTIAL TRASH COLLECTION ROOM: STREET LEVEL**
- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS. FF - 3'-0"
  - FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
  - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FFP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
  - INSTALL WALL PROTECTION: 10"Hx6"W CONCRETE CURB AT BASE OF WALLS. DO NOT INSTALL CURB ON WALL AT END OF COMPACTOR OR POWER PACK.
  - INSTALL 8'-0" ROLL-UP DOOR AND 3'-0" FIRE EGRESS DOOR
  - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FIT PER 2016 CBC.
  - (1) 30" GRAVITY CHUTE WITH (1) COMPACTOR FOR WASTE - PROVIDE 2CY CONTAINER. (2) 24" GRAVITY CHUTES WITH 96G TOTER CARTS FOR PAPER AND CONTAINER RECYCLING. ALL CHUTES SHALL BE 304 S.S.
  - 30" CHUTE: TERMINATES 5' AFF. 24" CHUTES: TERMINATE 64" AFF.
  - PP: COMPACTOR POWER PACK SHALL BE WALL-MOUNTED 60" AFF. (1) 5HP 3-PHASE, 208/230/460V, 30A DISCONNECTS 60" AFF.
  - MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES.
  - AC: 2HP CHUTE AIR COMPRESSOR SHALL BE WALL-MOUNTED 60" AFF.
  - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
  - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
  - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY, TURNING RADIUS: 45.5'.
  - CHUTE DISCHARGE DOOR: TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165°F FUSIBLE LINK.
  - 120V, 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).
- CHUTE INTAKE VESTIBULES: TYPICAL AT PODIUM - LEVEL 5**
- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR: 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (3) 15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING CHUTE INTAKE DOORS AT EACH FLOOR. SEE DETAIL 172.0.
  - CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
  - CHUTE SUPPORT FLOOR FRAME: ROUND FLOOR OPENINGS AT CONCRETE FLOORS, AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. 24" CHUTE: 35" LONG FLOOR FRAME. 30" CHUTE: 41" LONG FLOOR FRAME.
- GENERAL NOTES:**
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  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

Architecture  
Planning  
Urban Design

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Consultant

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**Lane Partners**  
644 Menlo Ave., 2nd Floor, Menlo Park, CA 94025

Description	Date
BUILDING PERMIT SUBMITTAL	08/06/2017
PLAN CHECK RESPONSE	03/16/2018

**AMERICAN TRASH MANAGEMENT**

AMERICAN TRASH MANAGEMENT  
1500 POWELL STREET, SUITE 800  
EMERYVILLE, CALIFORNIA 94608  
P: 415.292.5400  
F: 415.292.5410  
SBROWN@TRASHMANAGE.COM

Sheet Title:  
**RESIDENTIAL TRASH COLLECTION PLAN**

STREET LEVEL

Job No. 16044  
Date: 03/16/2018  
Scale: AS INDICATED

Sheet No:

**T0.1**

EQUIPMENT SCHEDULE: RESTAURANT TRASH COLLECTION ROOM	
QTY:	DESCRIPTION:
5	TOTAL FLOORS
1	2CY FRONT-LOAD LOOSE - FOOD SCRAPS
1	3CY FRONT-LOAD LOOSE - CARDBOARD
2	4CY FRONT-LOAD LOOSE - WASTE
1	50G DRUM (HOT GREASE)
1	FLOOR DRAIN
1	ODOR CONTROL UNIT
1	HOT AND COLD HOSE BIBB
1	BIG JOE D40 ELECTRIC PALLET TRUCK

PROJECTED COLLECTION SCHEDULE: RESTAURANT TRASH COLLECTION ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 4CY FL LOOSE CONTAINER	2x/wk
CARDBOARD RECYCLING	(1) 3CY FL LOOSE CONTAINER	2x/wk
FOOD SCRAPS	(1) 2CY FL LOOSE CONTAINER	2x/wk

**SHEET NOTES:**

**RESTAURANT TRASH COLLECTION ROOM: STREET LEVEL**

- TRASH COLLECTION ROOM SHALL BE 2HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS. FF-43-07.
- FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 10"x6"x6" CONCRETE CURB AT BASE OF WALLS.
- INSTALL 8'-0" ROLL-UP DOOR AND 3'-0" FIRE EGRESS DOOR
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
- HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY; TURNING RADIUS: 45.5".
- 120V, 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).

**GENERAL NOTES:**

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- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

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: Planning  
: Urban Design

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Consultant

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**Lane Partners**  
644 Menlo Ave, 2nd Floor, Menlo Park, CA 94025

Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018



Sheet Title:  
**RESTAURANT TRASH COLLECTION PLAN**  
STREET LEVEL

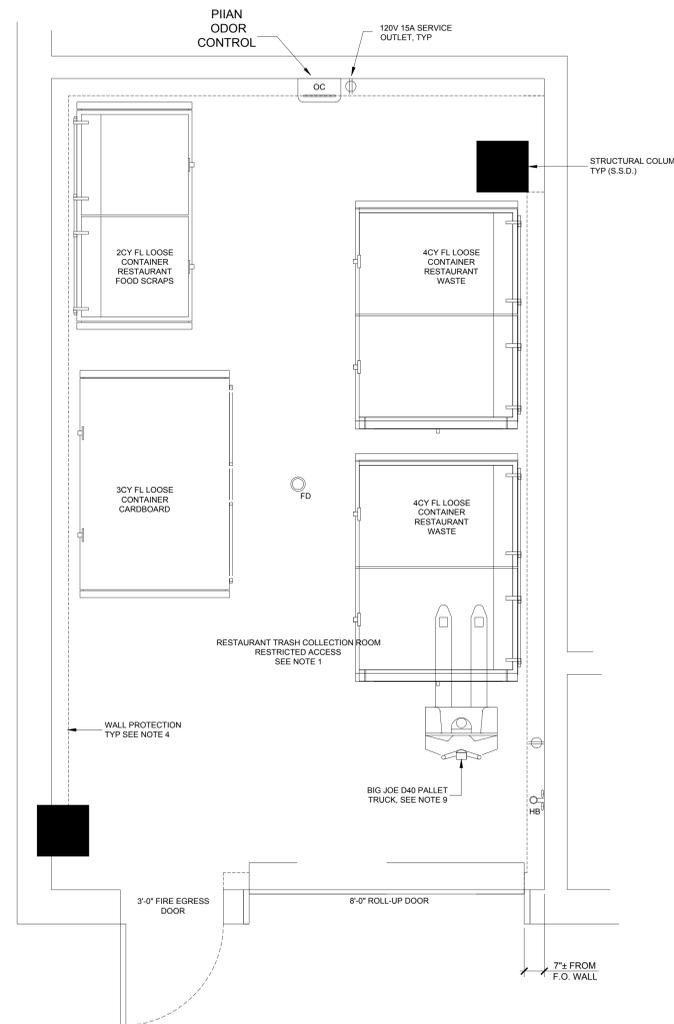
Job No: 16044  
Date: 03/16/2018  
Scale: AS INDICATED

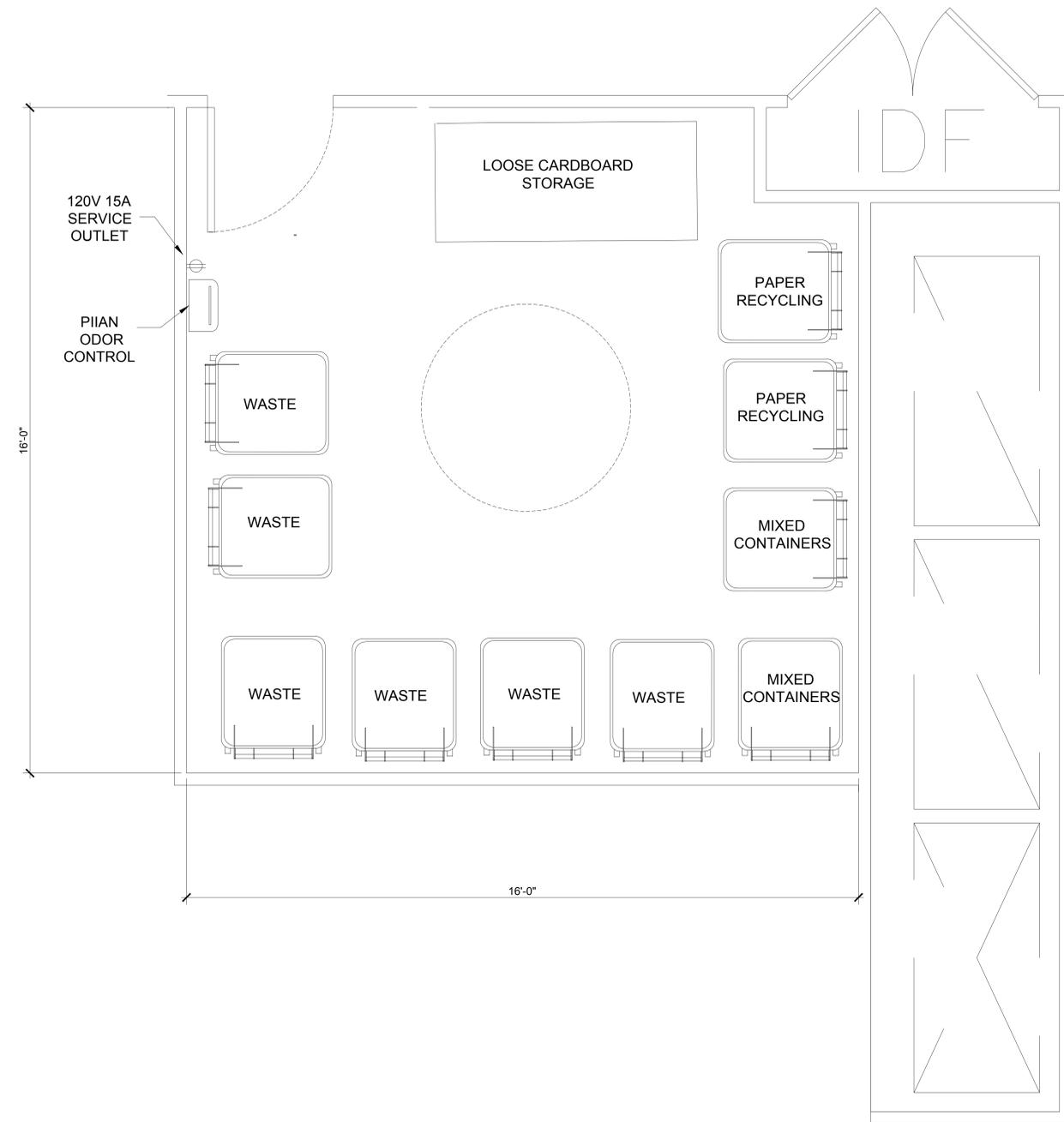
Sheet No:

**T0.2**

SCALE: 1/2" = 1'-0"

**RESTAURANT TRASH COLLECTION ROOM**  
STREET LEVEL





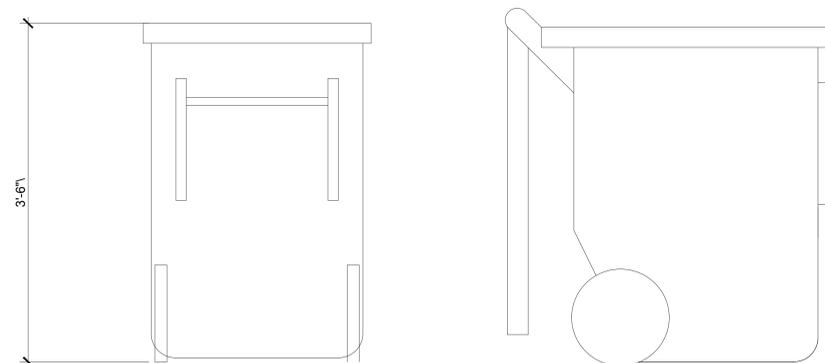
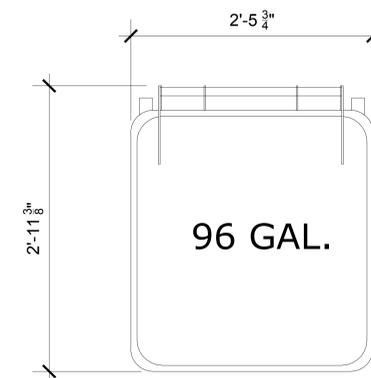
**SHEET NOTES:**

**REMOTE TRASH COLLECTION ROOM:**

1. TRASH COLLECTION ROOM SHALL BE 1HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS. .
2. FLOOR SHALL BE FINISHED WITH ELASTO-DECK 6001 AL-HT DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
5. 120V, 15A SERVICE OUTLET REQUIRED.

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**96 GAL CART**

**REMOTE TRASH COLLECTION ROOM**  
RESIDENTIAL LEVELS

: Architecture  
: Planning  
: Urban Design

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: (510) 451 - 2850

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Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

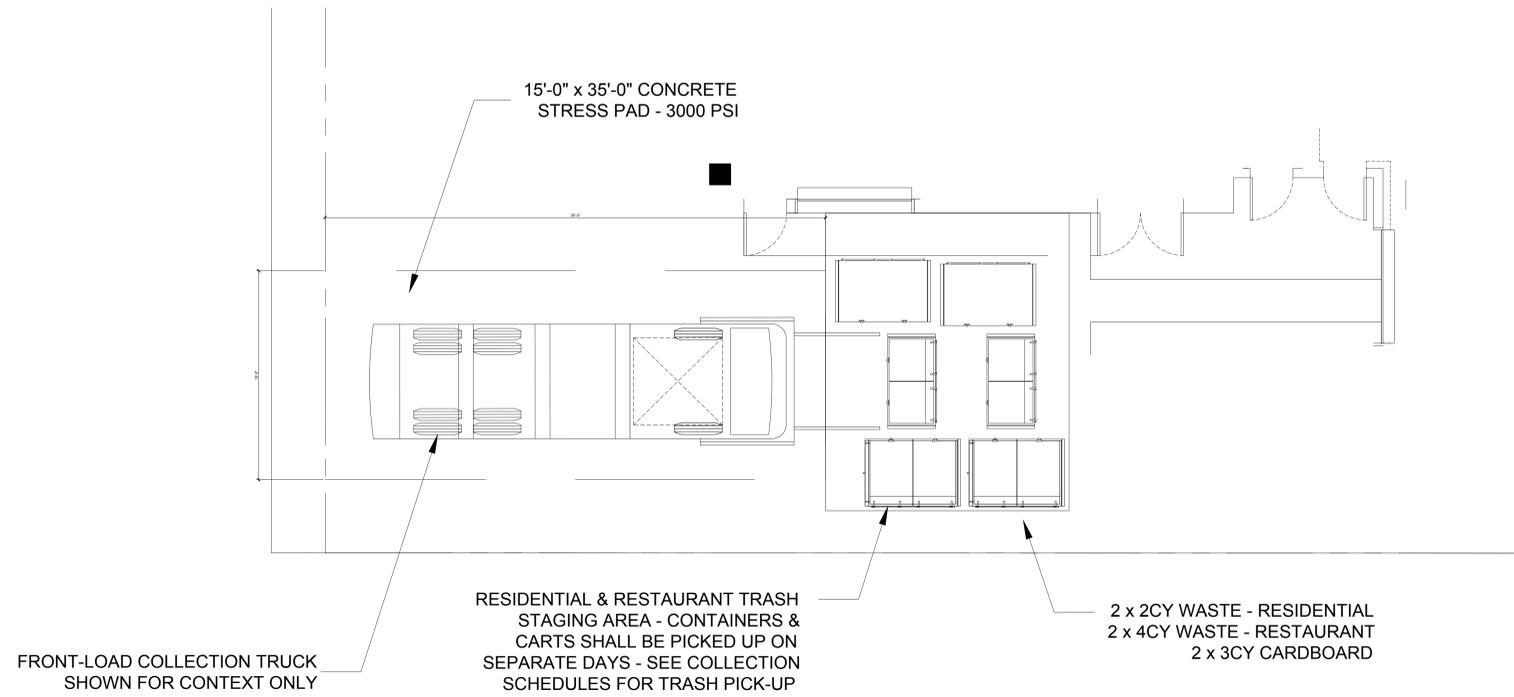


Sheet Title:  
**REMOTE TRASH COLLECTION ROOM**  
UPPER LEVEL

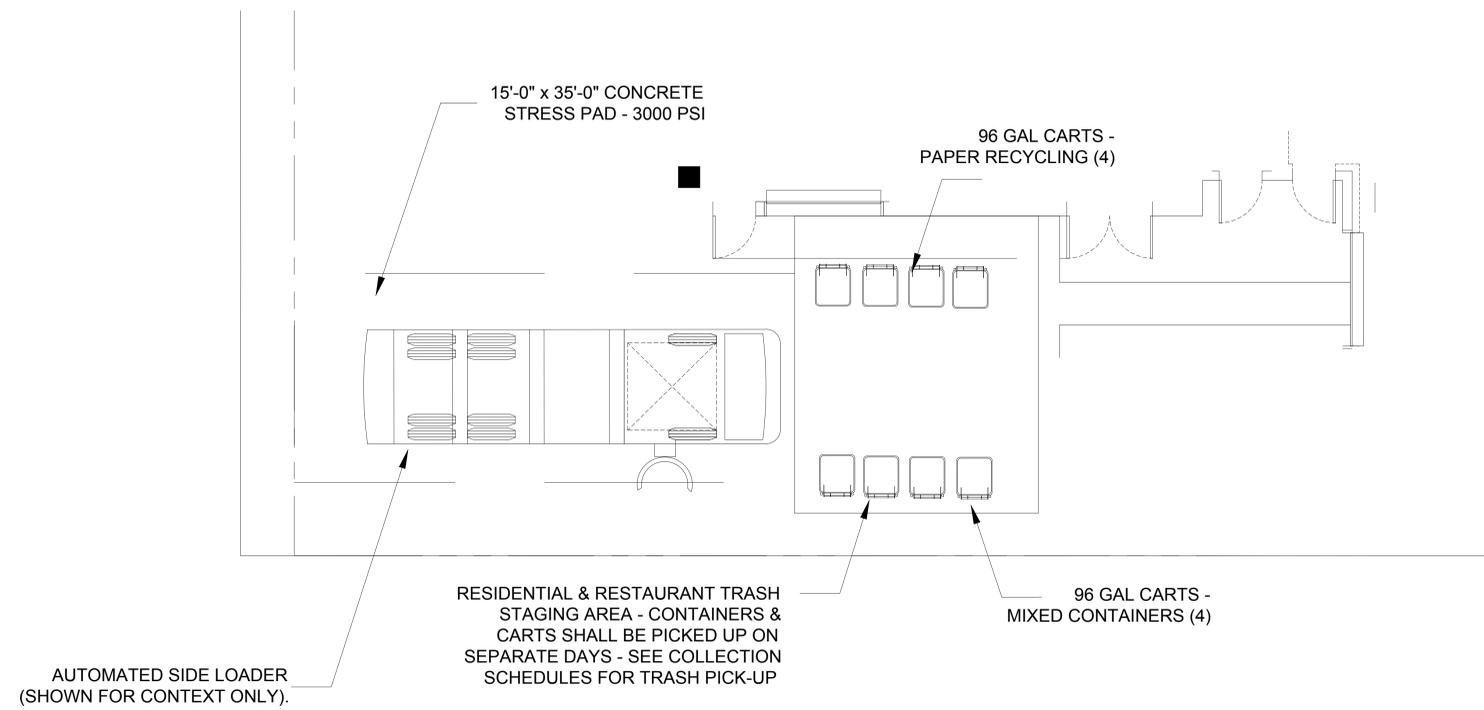
Job No: 16044  
Date: 03/16/2018  
Scale: AS INDICATED

Sheet No:

**T0.3**



**RESIDENTIAL & RESTAURANT TRASH STAGING AREA**  
STREET LEVEL



**RESIDENTIAL 96 GAL TRASH CART STAGING AREA**  
STREET LEVEL

: Architecture  
: Planning  
: Urban Design

: 304 12th Street, Suite 2A  
: Oakland, California 94607  
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Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018

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Sheet Title:  
**TRASH STAGING AREA**

Job No: 16044  
Date: 03/16/2018  
Scale: AS INDICATED

Sheet No:

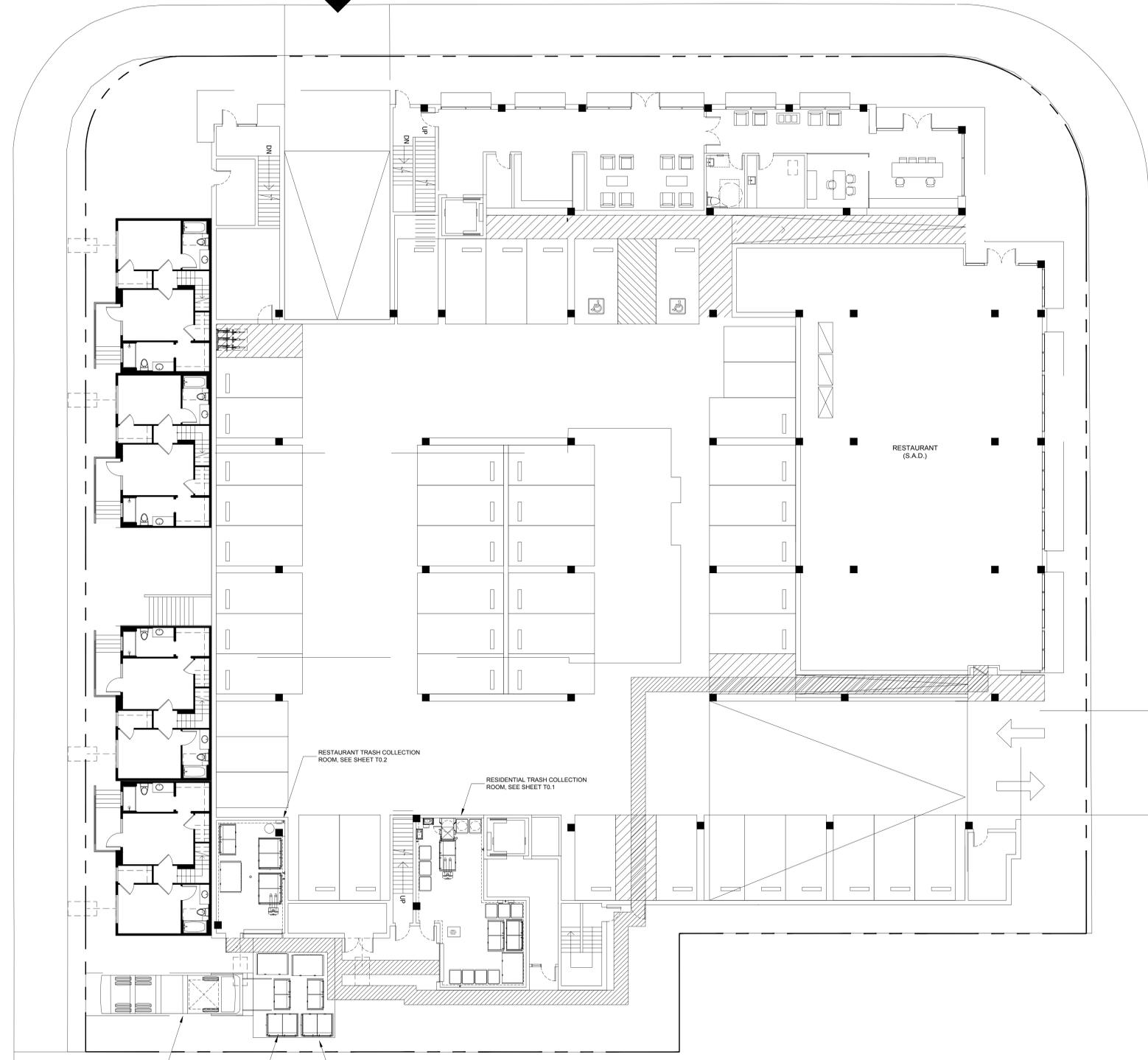
**T0.4**

CHARLES AVENUE

MCKINLEY AVENUE  
RESIDENTIAL PARKING ACCESS

S MATHILDA AVENUE

RESTAURANT PARKING ACCESS



FRONT-LOAD COLLECTION TRUCK SHOWN FOR CONTEXT ONLY

RESIDENTIAL & RESTAURANT TRASH STAGING AREA - CONTAINERS & CARTS SHALL BE PICKED UP ON SEPARATE DAYS - SEE COLLECTION SCHEDULES FOR TRASH PICK-UP

2 x 2CY WASTE - RESIDENTIAL  
2 x 4CY WASTE - RESTAURANT  
2 x 3CY CARDBOARD

RESTAURANT TRASH COLLECTION ROOM. SEE SHEET TO.2

RESIDENTIAL TRASH COLLECTION ROOM. SEE SHEET TO.1

**SHEET NOTES:**  
**RESTAURANT BIN MOVEMENT PLAN: STREET LEVEL**  
 1. DISTANCE FROM RESTAURANT TO RESTAURANT TRASH COLLECTION ROOM IS ±262'-0". DISTANCE FROM RESIDENTIAL TRASH ROOM TO TRASH STAGING AREA IS ±22'-0".

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 3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

: Architecture  
 : Planning  
 : Urban Design

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Description	Date
BUILDING PERMIT SUBMITTAL	09/06/2017
PLAN CHECK RESPONSE	03/16/2018

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**LEGEND:**  
 1. RESTAURANT PATH OF TRAVEL TO TRASH STAGING AREA SHOWN AS: [Hatched Box]

**RESTAURANT BIN MOVEMENT PLAN**  
 STREET LEVEL

SCALE: 3/4" = 1'-0"

Sheet Title:  
**RESTAURANT BIN MOVEMENT PLAN**  
 STREET LEVEL

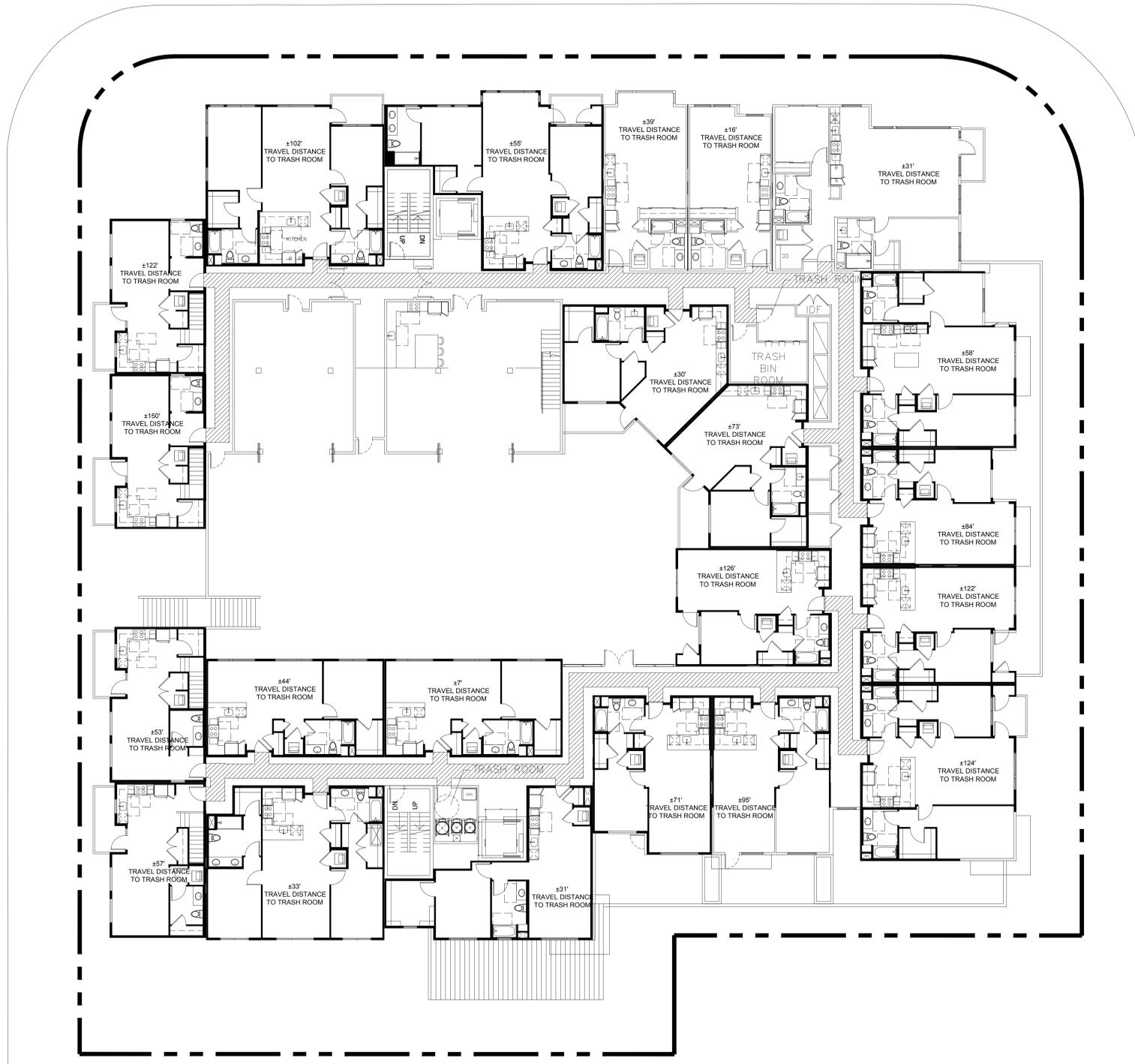
Job No. 16044  
 Date: 03/16/2018  
 Scale: AS INDICATED

Sheet No:  
**T1.1**



**SHEET NOTES:**  
**PATH OF TRAVEL PLAN: UPPER LEVEL**  
 1. (35) TOTAL RESIDENTIAL UNITS EXCEED THE CITY OF SUNNYVALE'S ALLOWABLE TRAVEL DISTANCE TO TRASH ROOMS (150'-0"). SEE PLAN FOR MARKED UNITS.  
 2. MAX DISTANCE RESIDENTIAL UNIT FROM CHUTE INTAKE VESTIBULE: 263'-0".

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Description	Date
BUILDING PERMIT SUBMITTAL	09/05/2017
PLAN CHECK RESPONSE	03/16/2018

**AMERICAN TRASH MANAGEMENT**  
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 SBROWING@TRASHMANAGE.COM

**LEGEND:**

1. RESIDENTIAL UNITS EXCEEDING 150'-0" FROM TRASH ROOM SHOWN AS:

2. RESIDENTIAL PATH OF TRAVEL TO CHUTE INTAKE VESTIBULE SHOWN AS:

**PATH OF TRAVEL PLAN**  
 FROM RESIDENTIAL UNITS TO CHUTE INTAKE VESTIBULE - PODIUM LEVEL

SCALE: 3/8" = 1'-0"

Sheet Title:  
**PATH OF TRAVEL PLAN**  
 TO VESTIBULES - UPPER LEVEL

Job No: 16044  
 Date: 03/16/2018  
 Scale: AS INDICATED

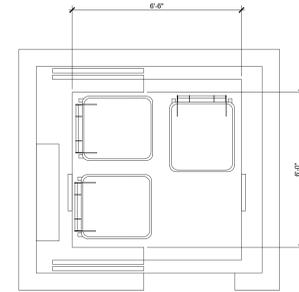
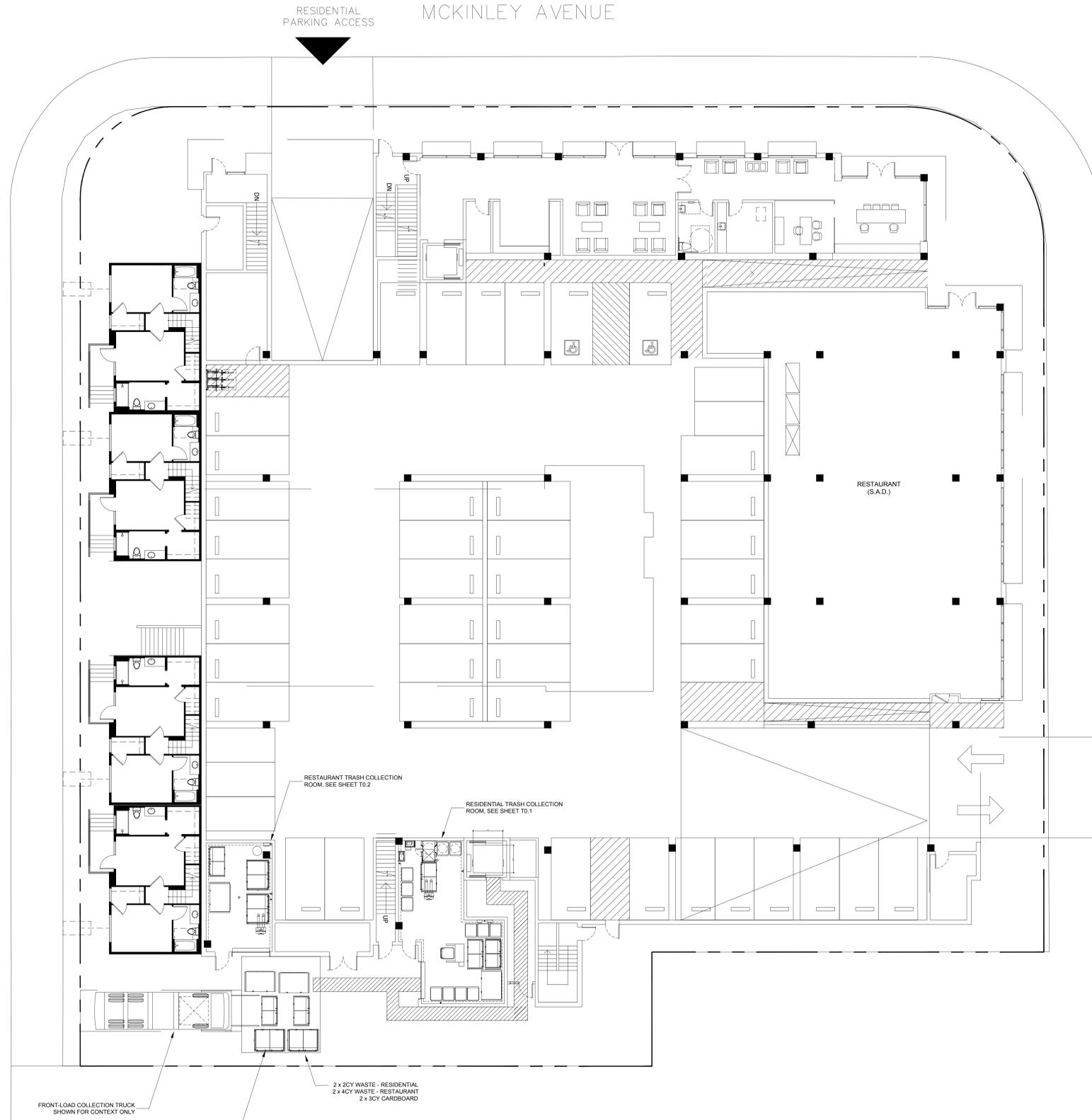
Sheet No:

**T1.3**

CHARLES AVENUE

MCKINLEY AVENUE

S MATHILDA AVENUE



ELEVATOR WITH 96 GAL CARTS  
STREET LEVEL

RESTAURANT  
PARKING ACCESS

FRONT-LOAD COLLECTION TRUCK  
SHOWN FOR CONTEXT ONLY

RESIDENTIAL & RESTAURANT TRASH  
STAGING AREA - CONTAINERS &  
CARTS SHALL BE PICKED UP ON  
SEPARATE DAYS - SEE COLLECTION  
SCHEDULES FOR TRASH PICK-UP

2 x 2CY WASTE - RESIDENTIAL  
2 x 4CY WASTE - RESTAURANT  
2 x 3CY CARDBOARD

RESTAURANT TRASH COLLECTION  
ROOM. SEE SHEET T0.2

RESIDENTIAL TRASH COLLECTION  
ROOM. SEE SHEET T0.1

RESTAURANT  
(S.A.D.)

96 GAL CART MOVEMENT PATH FROM ELEVATOR TO CENTRAL TRASH ROOM  
STREET LEVEL

LEGEND:

- 1. REMOTE TRASH ROOM PATH OF TRAVEL TO CENTRAL TRASH ROOM.



SCALE: 3/32" = 1'-0"

Architecture  
Planning  
Urban Design

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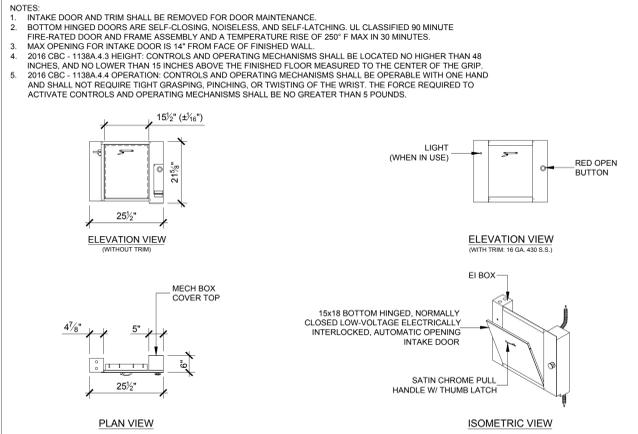
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Sheet Title:  
**PATH OF TRAVEL  
PLAN**  
ELEVATOR TO CENTRAL  
TRASH ROOM

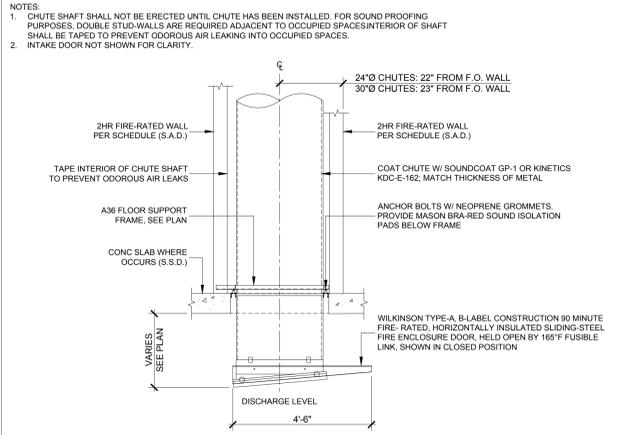
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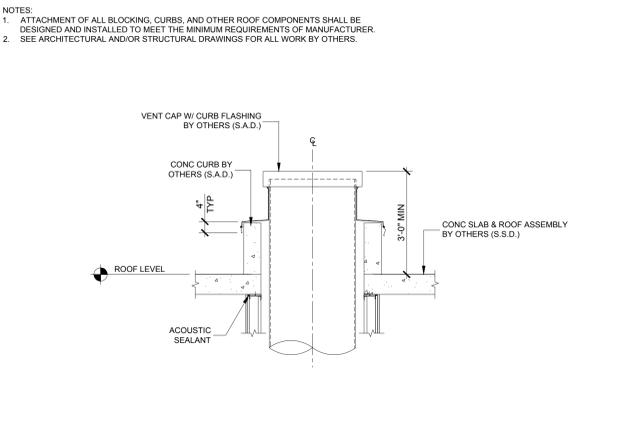
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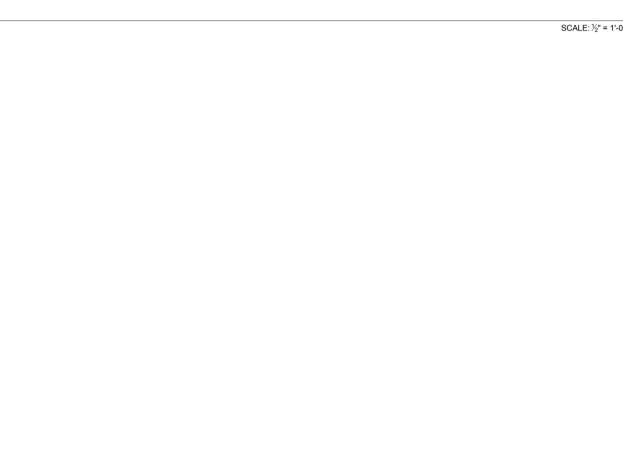
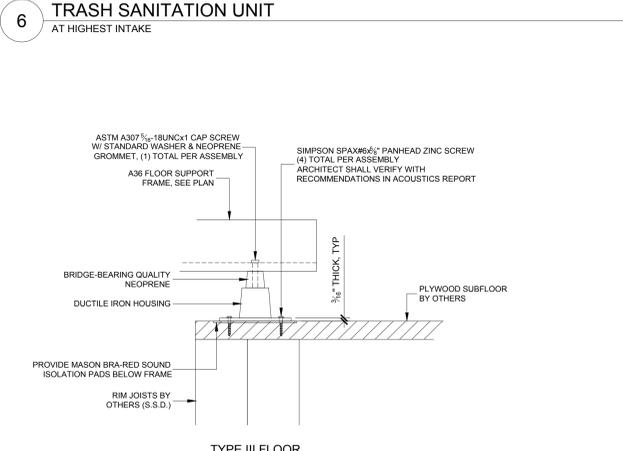
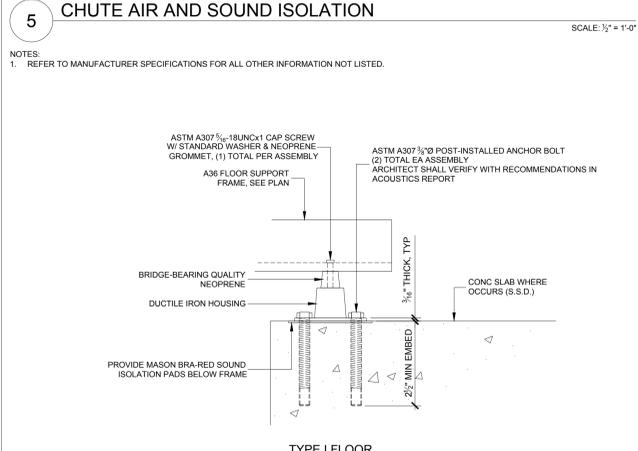
**1 CHUTE INTAKE DOOR**  
PODIUM - LEVEL 5  
SCALE: 1/2" = 1'-0"



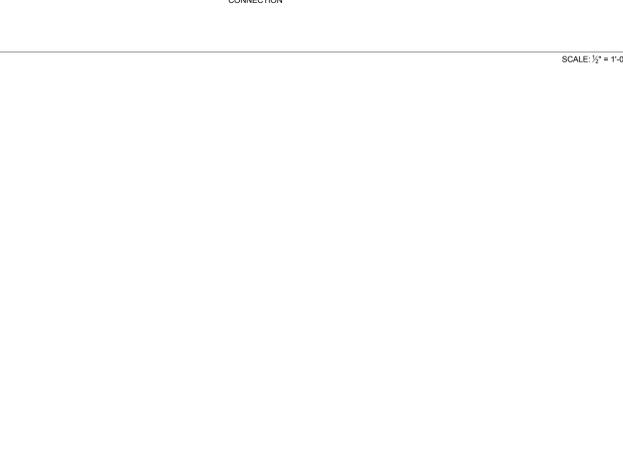
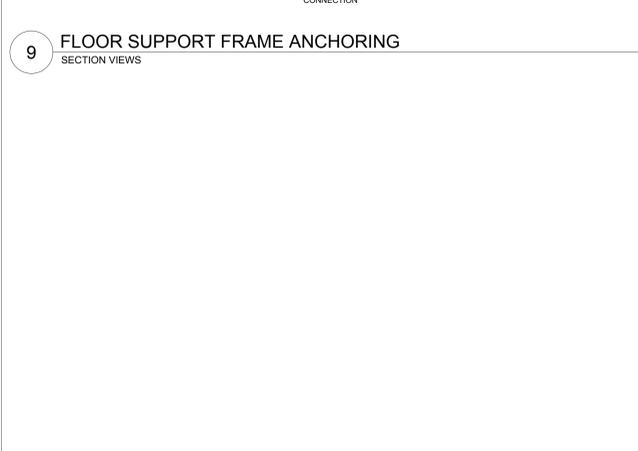
**2 CHUTE SHAFT ANCHORING**  
SCALE: 1/2" = 1'-0"



**3 CHUTE VENT**  
AT ROOF LEVEL  
SCALE: 1'-0" = 1'-0"



**8 CHUTE VENT**  
AT HIGHEST INTAKE  
SCALE: 1/2" = 1'-0"



**9 FLOOR SUPPORT FRAME ANCHORING**  
SECTION VIEWS  
SCALE: 1/2" = 1'-0"

**SHEET NOTES: 24"Ø AND 30"Ø CHUTE DETAILS**

- CHUTE MATERIAL: GALVANIZED STEEL
- ALL WALL ASSEMBLIES ENCASE THE CHUTE SHAFT SHALL BE 2HR FIRE-RATED.
- SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS TO VERIFY ALL INFORMATION NOT RELATED TO ATM'S SCOPE OF WORK PER AGREEMENT.
- POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

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**CHUTE DETAILS**  
24"Ø AND 30"Ø

Job No. 16044  
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**T2.0**