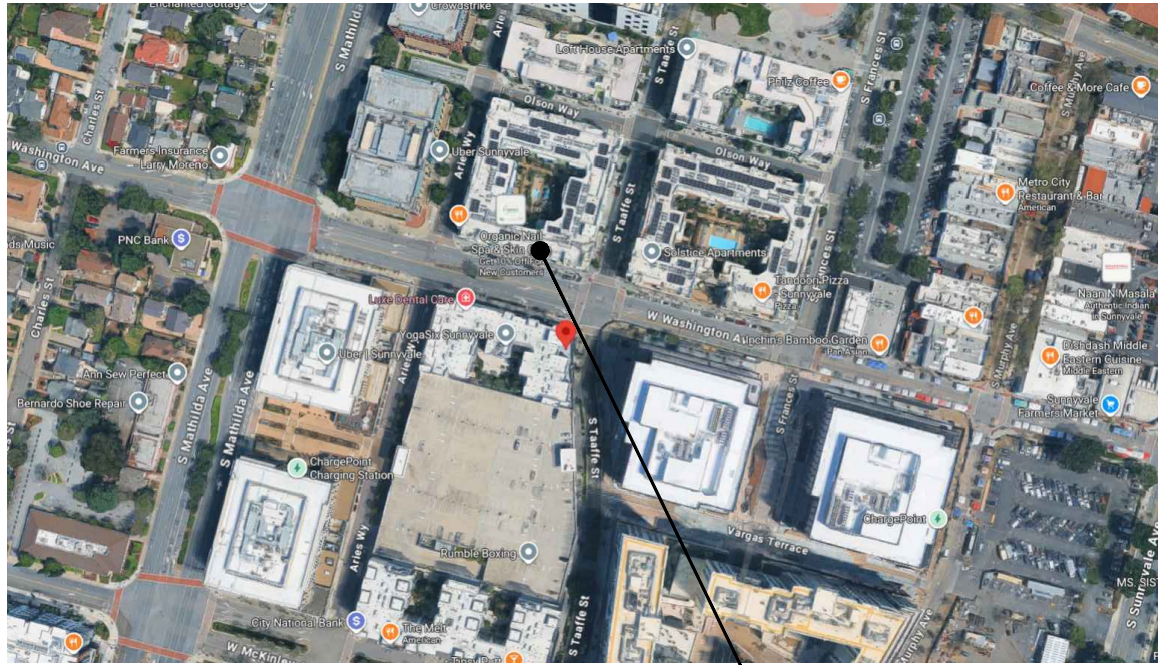


PROXIMITY MAP



PROJECT LOCATION



SCALE = NTS

BUILDING CODES

* BUILDING	2022 CALIFORNIA BUILDING CODE
* MECHANICAL	2022 CALIFORNIA MECHANICAL CODE
* ELECTRICAL	2022 CALIFORNIA ELECTRICAL CODE
* PLUMBING	2022 CALIFORNIA PLUMBING CODE
* FIRE PREVENTION	2022 CALIFORNIA FIRE CODE
* ENERGY	2022 CALIFORNIA BUILDING ENERGY CODE
* GREEN BUILDING	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
* ACCESSIBILITY	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
* AS AMENDED PER SUNNYVALE CITY CODES	

CBC 2022 CODE MATRIX

SCOPE OF WORK: INTERIOR BUILDOUT
CONSTRUCTION TYPE: TYPE IIB (SPRINKLERED)
OCCUPANCY CLASSIFICATION: A-3 - ASSEMBLY (PROPOSED)
EXISTING OCCUPANCY CLASSIFICATION: A-3 - ASSEMBLY (NO CHANGE)
ZONING USE: RECREATIONAL AND ATHLETIC FACILITIES
TENANT SPACE GROSS AREA: 2,975 SF
BUILDING HEIGHT: 365'-0" EXISTING MULTI-STORY (NO CHANGE)

ASSESOR PARCEL NUMBER: 209-07-027 2

SITE AND PARKING: EXISTING TO REMAIN, NO CHANGE

BUILDING ELEMENT FIRE RESISTANCE RATING REQUIREMENT (TABLE 601)

	REQUIRED	PROVIDED
STRUCTURAL FRAME:	0 HR	EXISTING
BEARING WALLS, EXTERIOR:	0 HR	EXISTING
BEARING WALLS, INTERIOR:	0 HR	EXISTING
NON-BEARING WALLS, EXT.:	0 HR	EXISTING
NON-BEARING WALLS, INT.:	0 HR	1 HR (DEMISING WALLS)
FLOOR CONSTRUCTION:	0 HR	EXISTING
ROOF CONSTRUCTION:	0 HR	EXISTING

INTERIOR FINISHES: ALL INTERIOR FINISHES/MATERIALS SHALL COMPLY WITH CHAPTER 8 OF THE 2022 CBC

EGRESS CALCULATIONS

EGRESS REQUIREMENTS	MAX. ALLOWED (SPRINKLERED)	PROVIDED
EXIT TRAVEL DISTANCE	250'-0"	75'-1"
COMMON PATH OF TRAVEL	75'-0"	51'-8"
MINIMUM NUMBER OF EXITS REQUIRED	1	2
MINIMUM EGRESS DOOR WIDTH	36"	36"
MINIMUM EGRESS PATH	36"	44"

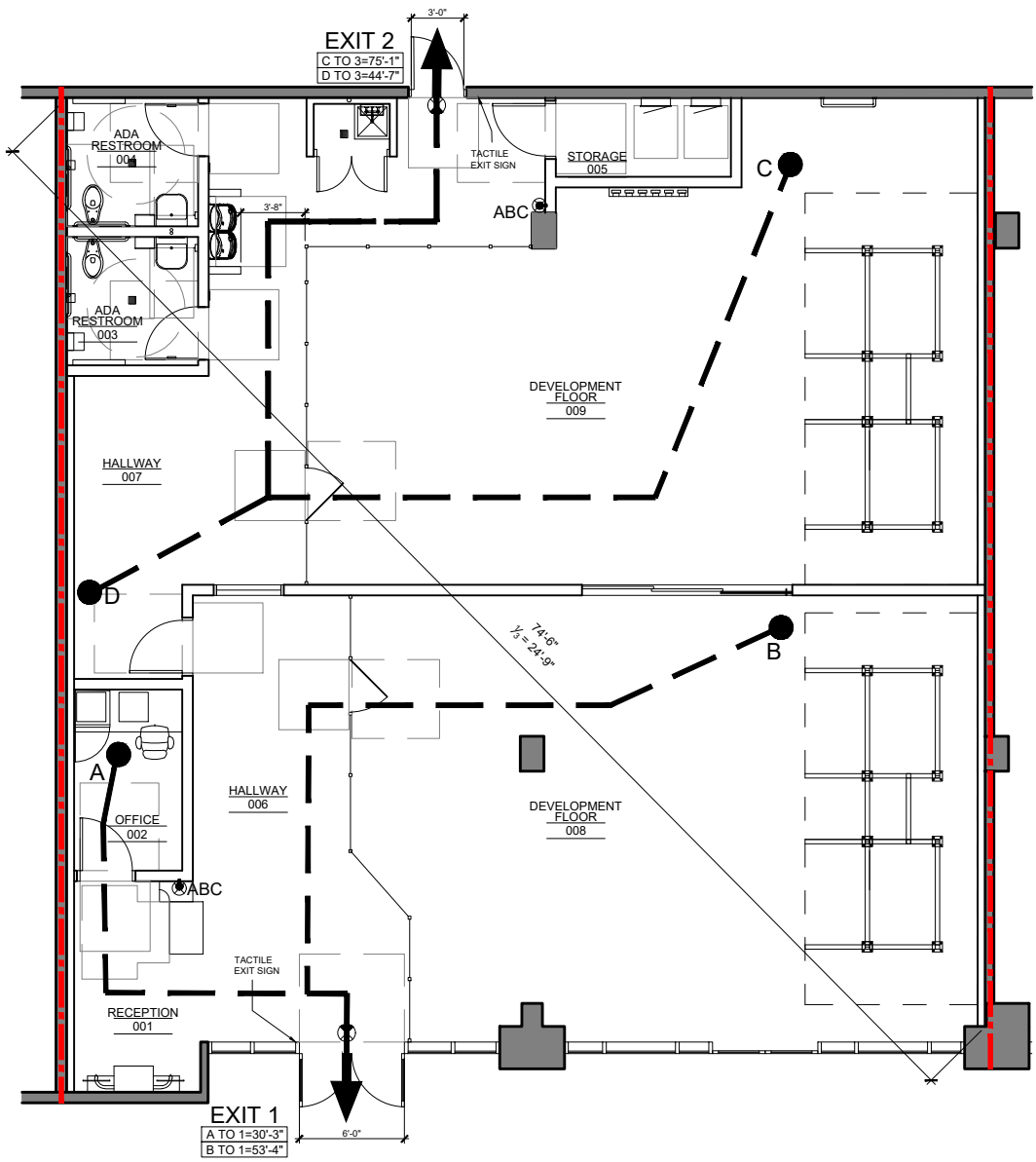
PLUMBING REQUIREMENTS (CPC 2022)

PER TABLE 4-1					
	SQUARE FEET	LOAD FACTOR	OCCUPANT LOAD		
STORAGE/UTILITY	45	-	-		
MERCANTILE (OFFICE,RECEPTION)	180	100	2		
CIRCULATION / FIXED ITEMS	987	-	-		
DEVELOPMENT FLOOR 8	874	50	18		
DEVELOPMENT FLOOR 9	889	50	18		
	BUILDING OCCUPANCY TOTAL :		38 OCCUPANTS		
	TOTAL WOMEN/MEN		19		
	WATER CLOSETS		LAVATORIES		OTHER
BUILDING ASSEMBLY	MALE	FEMALE	MALE	FEMALE	
A-3	1:100	1:25	1:200	1:100	1 SERVICE SINK
REQUIRED	1	1	1	1	1
PROVIDED	1	1	1	1	1

ALLOWABLE OCCUPANT LOAD

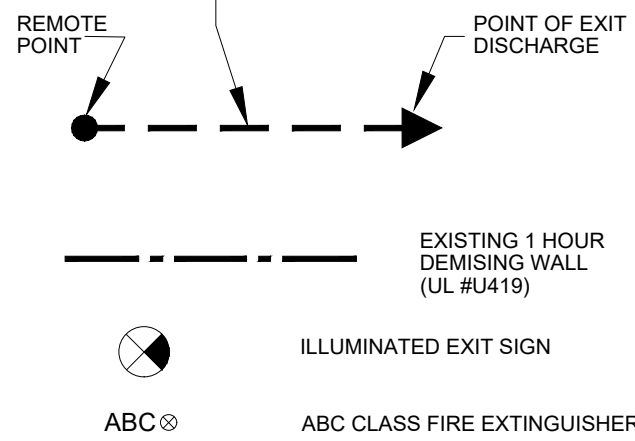
OCCUPANT LOAD COUNT TABLE PER 2022 CBC TABLE 1004.5				
AREA	SQUARE FEET	LOAD FACTOR	CODE TABLE REFERENCE	OCCUPANT LOAD
STORAGE/UTILITY	45	300 GROSS	1004.5	1
MERCANTILE (OFFICE,RECEPTION)	180	60 GROSS	1004.5	3
CIRCULATION / FIXED ITEMS	987	-	1004.5	-
DEVELOPMENT FLOOR 8	874	50 GROSS	1004.5	18
DEVELOPMENT FLOOR 9	889	50 GROSS	1004.5	18
TOTAL :	2,975		TOTAL :	40 OCCUPANTS

EGRESS / ACCESS DIAGRAM



LEGEND

LINE OF EGRESS TRAVEL WITH 36" MINIMUM CLEAR WIDTH AT DOORS AND 36" MINIMUM CLEAR WIDTH AT EXIT ACCESS COMPONENTS SUCH AS CORRIDORS & AISLES



NOTE: COORDINATE ALL FIRE EXTINGUISHER LOCATIONS WITH LOCAL FIRE DEPARTMENT.

EXIT ACCESS TRAVEL DISTANCE

MAX. DISTANCE = 75'-1"

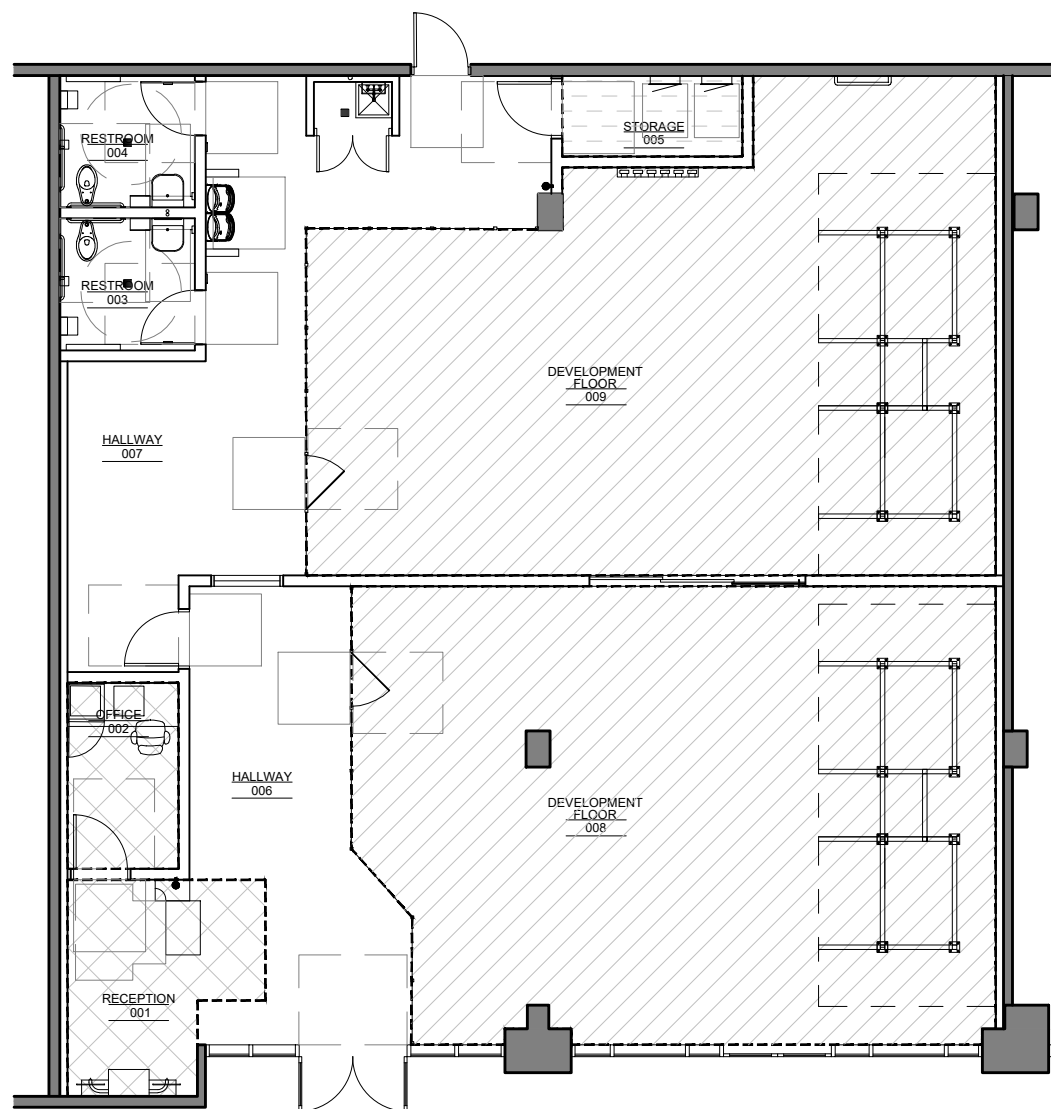
REFER TO A1-03 DIMENSIONED PLAN FOR EGRESS AISLE WIDTHS



SCALE = 3/32"=1'-0"

FLOOR PLAN

OCCUPANCY DIAGRAM



LEGEND

	MERCANTILE (OFFICE,RECEPTION) - 180 SF
	DEVELOPMENT FLOOR 8 - 874 SF
	DEVELOPMENT FLOOR 9 - 889SF
	STORAGE/ UTILITY - 45 SF



SCALE = 3/32"=1'-0"

FLOOR PLAN

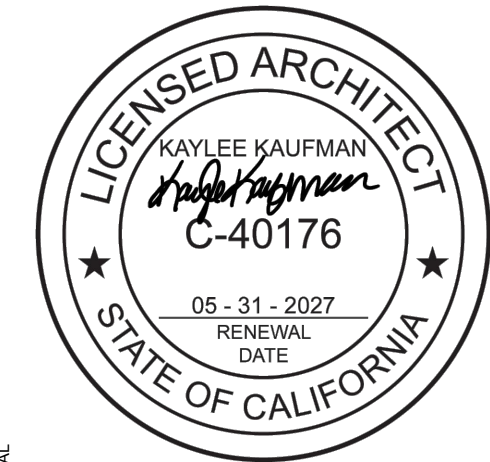
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KIDSTRONG
331 W WASHINGTON AVE
SUNNYVALE, CA 94086

CLIENT

PROJECT



SEAL



ISSUE FOR PERMIT

Project Number: 25-421	Drawn By: YP	Approved By: AV	Date: 09/26/2025
No. 1	Issue	SPECIAL DEVELOPMENT PERMIT	11/25/2025
		SDP COMMENTS REV	

SHEET TITLE & NUMBER

PROJECT INFO &
CODE ANALYSIS

G1-01

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Block B Retail Summary

	Total Gross SF	Notes
Leased Retail/Restaurant	11,700	Includes Service Hallway and 50% SF of the Commercial Trash Room
Covered Retail (Exterior)	1,560	
Total	13,260	

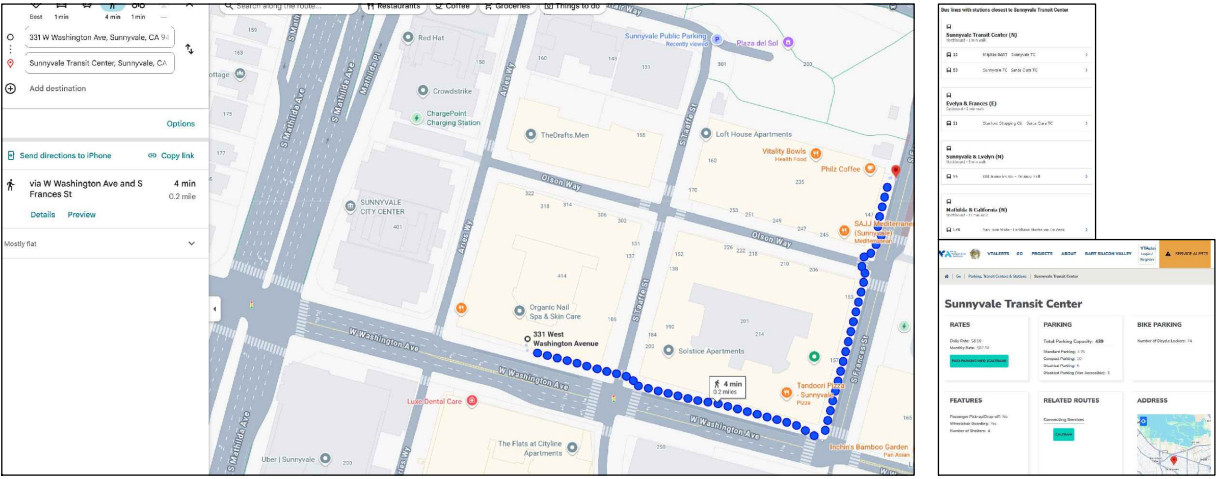
Block B Project Data Summary

	Sub Areas	Total Gross SF	Notes
Basement Level		46,449	
First Floor (Grade)		42,585	
Garage	22,739		Includes Transformer, Fire Pump, Mechanical Rooms
Retail	11,700		Gross building area only, see Retail Data Summary for additional info
Second Floor		31,234	
Garage	24,629		
Third Floor (Podium)		35,260	
Fourth Floor		34,400	
Fifth Floor		35,307	
Sixth Floor		35,307	
Total		260,542	

1-3	Solstice Retail	Gym	2,958.0000 sq ft
11	Solstice Retail	Salon	2,121.0000
12-13	Solstice Retail	Vacant	2,972.0000
15	Solstice Retail	Restaurant	3,325.0000
4	Solstice Retail	Cafe	2,259.0000
5	Solstice Retail	Restaurant	1,599.0000
6-7	Solstice Retail	Restaurant	4,832.0000
8	Solstice Retail	Restaurant	1,297.0000
9	Solstice Retail	Restaurant	1,492.0000

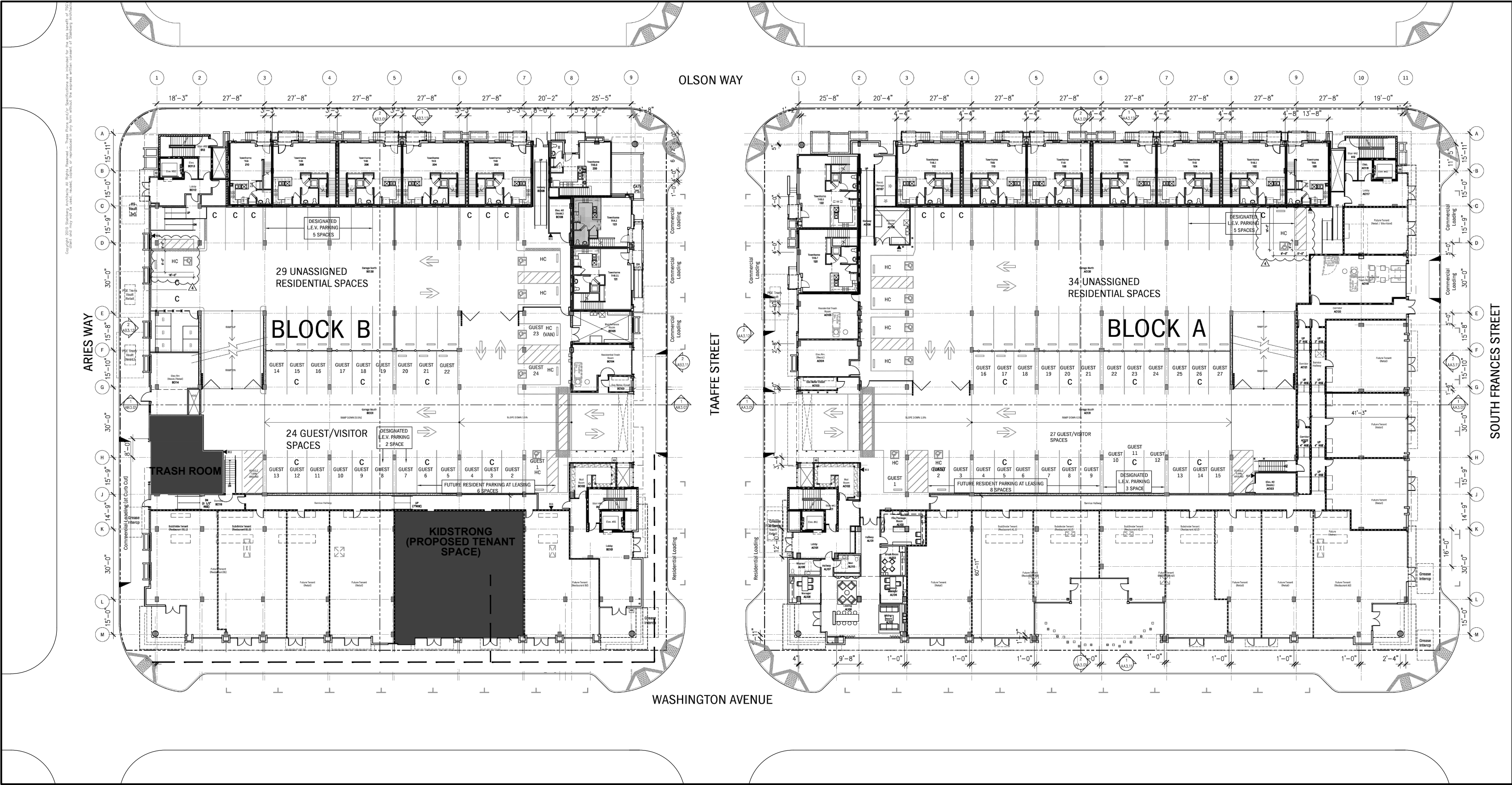
PARKING EXEMPTION EVIDENCE

THE CITY OF SUNNYVALE, CA CODE TITLE 19: ZONING § 19.46.130: ADJUSTMENTS TO PARKING REQUIREMENTS, PROVIDES FLEXIBILITY AND EXEMPTIONS ON THE PARKING REQUIREMENTS. THE PROPOSED LOCATION IS ACCESSIBLE WITHIN 0.5 MILE OF A MAJOR PUBLIC TRANSPORTATION CENTER: SUNNYVALE TRANSIT CENTER.



SUNNYVALE CITY CODE OF ORDINANCES TEXT:

- § 19.46.130 Adjustments to parking requirements.
- (a) Purpose. A parking adjustment permits flexibility in parking requirements to address unusual or specific use or locational characteristics.
- (b) Applicability. Adjustments may be granted from parking ratio minimums, maximums or type of bicycle parking provided for nonresidential uses or for special housing developments as described in Section 19.46.020 (Parking for special housing developments). Adjustments are not permitted for residential parking ratios except for special housing developments. An adjustment request may be reviewed by the approving body as part of any discretionary permit or, if no discretionary permit would be otherwise required, a miscellaneous plan permit. Changes in use for existing properties with established parking lots do not require an adjustment to exceed the parking maximum. A request to deviate from any other requirement in this chapter requires a variance.
- (c) Findings for Parking Adjustments for Special Housing Developments. To grant an adjustment from a parking minimum for special housing developments, the director or approving body shall find:
- (1) One or more of the following applicable characteristics are present:
- (A) Location or proximity to transportation;
- (B) Variety or forms of transportation available;
- (C) Accessibility; or
- (D) Services and programs offered, or population served by the housing development.
- (d) Based on the characteristics present in subsection (c)(1), the proposed parking is adequate.
- (e) Findings for Parking Adjustments from Minimum Parking Ratios for Nonresidential Uses. To grant an adjustment from a parking ratio minimum for nonresidential uses, the director or approving body shall find:
- (1) One or more of the following applicable characteristics are present:
- (A) There are parking agreements with off-site properties; or
- (B) There is a parking management plan that includes valet parking, off-site employee parking, parking agreements, or other demand management tools; or
- (C) The uses on a site have complementary peak hours; or
- (D) The use is commercial in nature and is intended to serve adjacent employment centers. The use provides adequate pedestrian connections to the site from nearby properties and businesses; or
- (E) The use is within one-half mile of a walk from a rail station, light rail station, or major bus stop. A major bus stop is defined as a stop where six or more buses per hour from the same or different routes stop during the peak period in core, corridor or station areas; or
- (F) The proposed use has an unusual characteristic that results in less parking demand. This characteristic shall be described and limited in applicable conditions of approval for a discretionary land use permit. Land uses that are permitted by right may not apply for adjustment because of this criterion of unusual characteristics.
- (d) Based on the characteristics present in subsection (d)(1), the proposed parking is adequate and will not spill over onto surrounding properties or streets.



LEGEND
— EXISTING ACCESSIBLE PATH OF TRAVEL

01 SITE PLAN
1/32" = 1'-0"

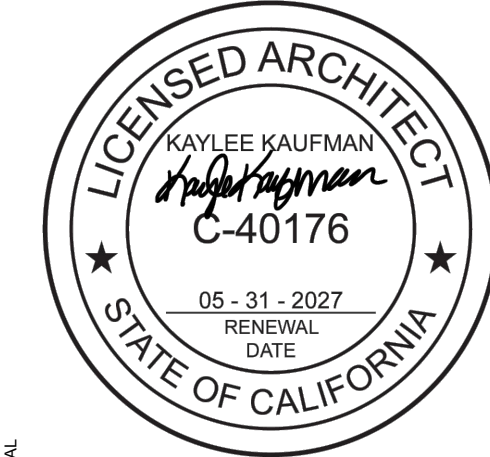
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PROJECT



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ISSUE FOR PERMIT

Project Number: 25-421	Approved By: AV	Date
Drawn By: YP	Issue	09/20/2025
No	SPECIAL DEVELOPMENT PERMIT	11/25/2025
1	SDP COMMENTS REV	

SHEET TITLE & NUMBER

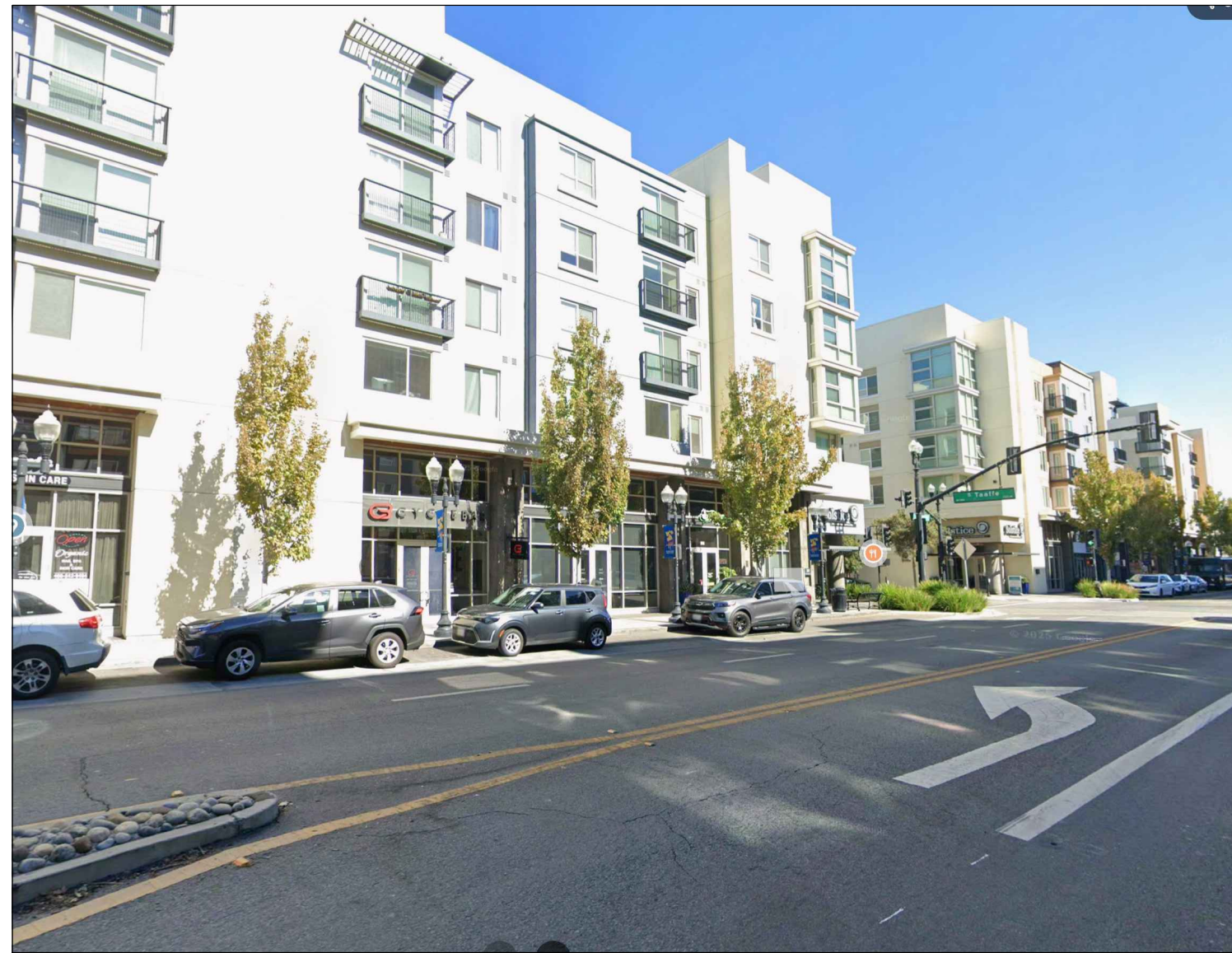
SITE PLAN

G3-01

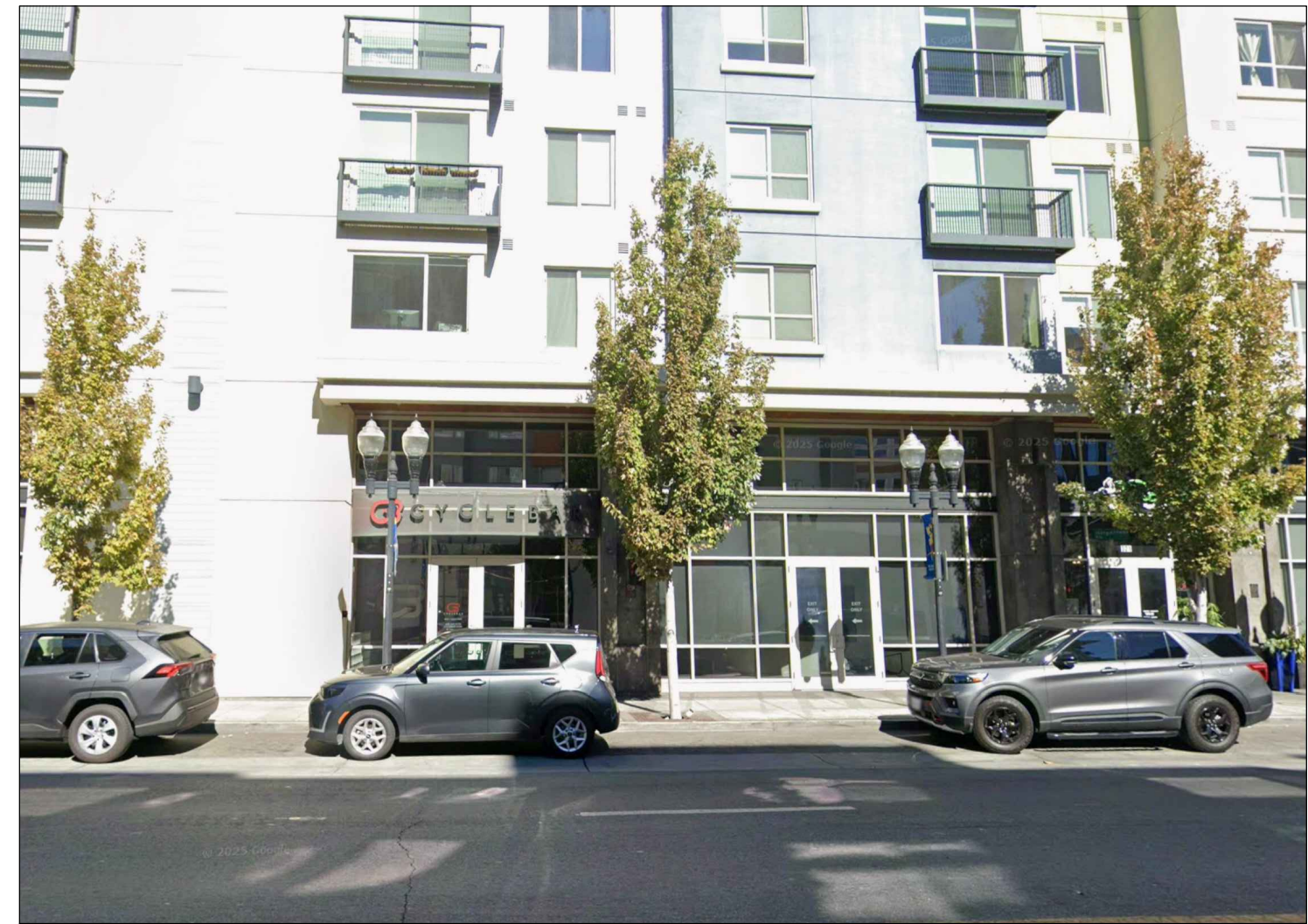
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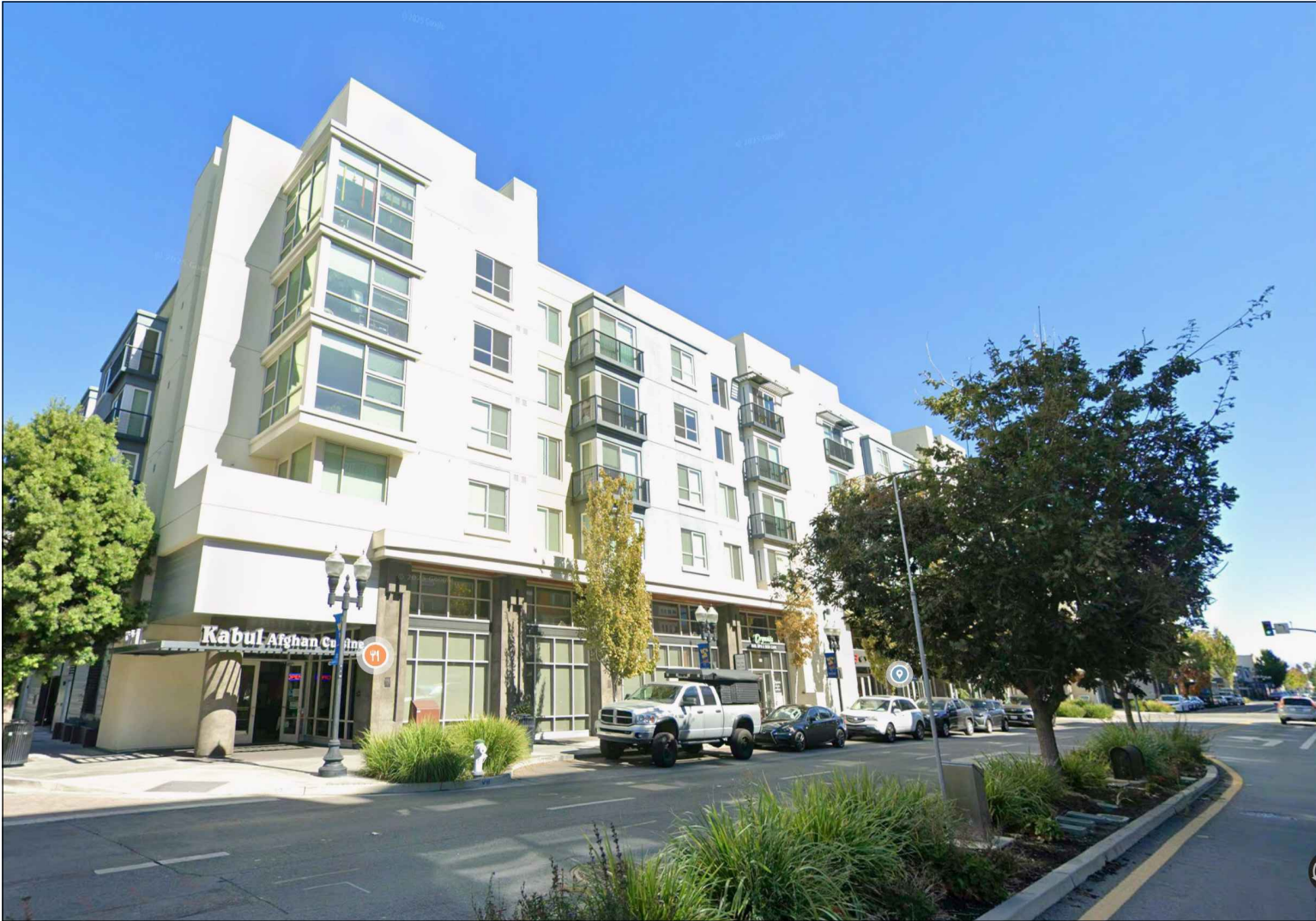
06 POINT OF VIEW
NTS



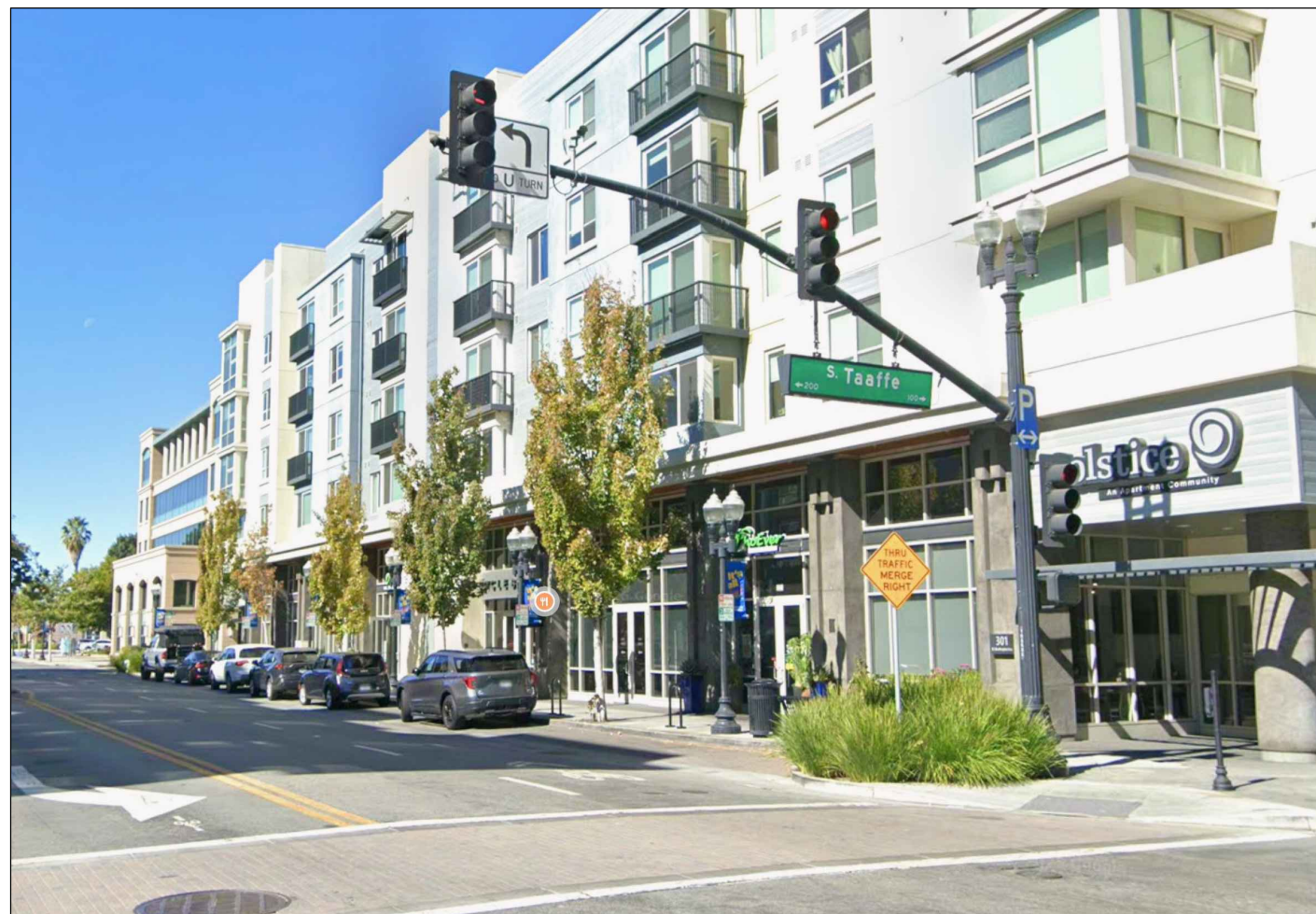
03 POINT OF VIEW
NTS



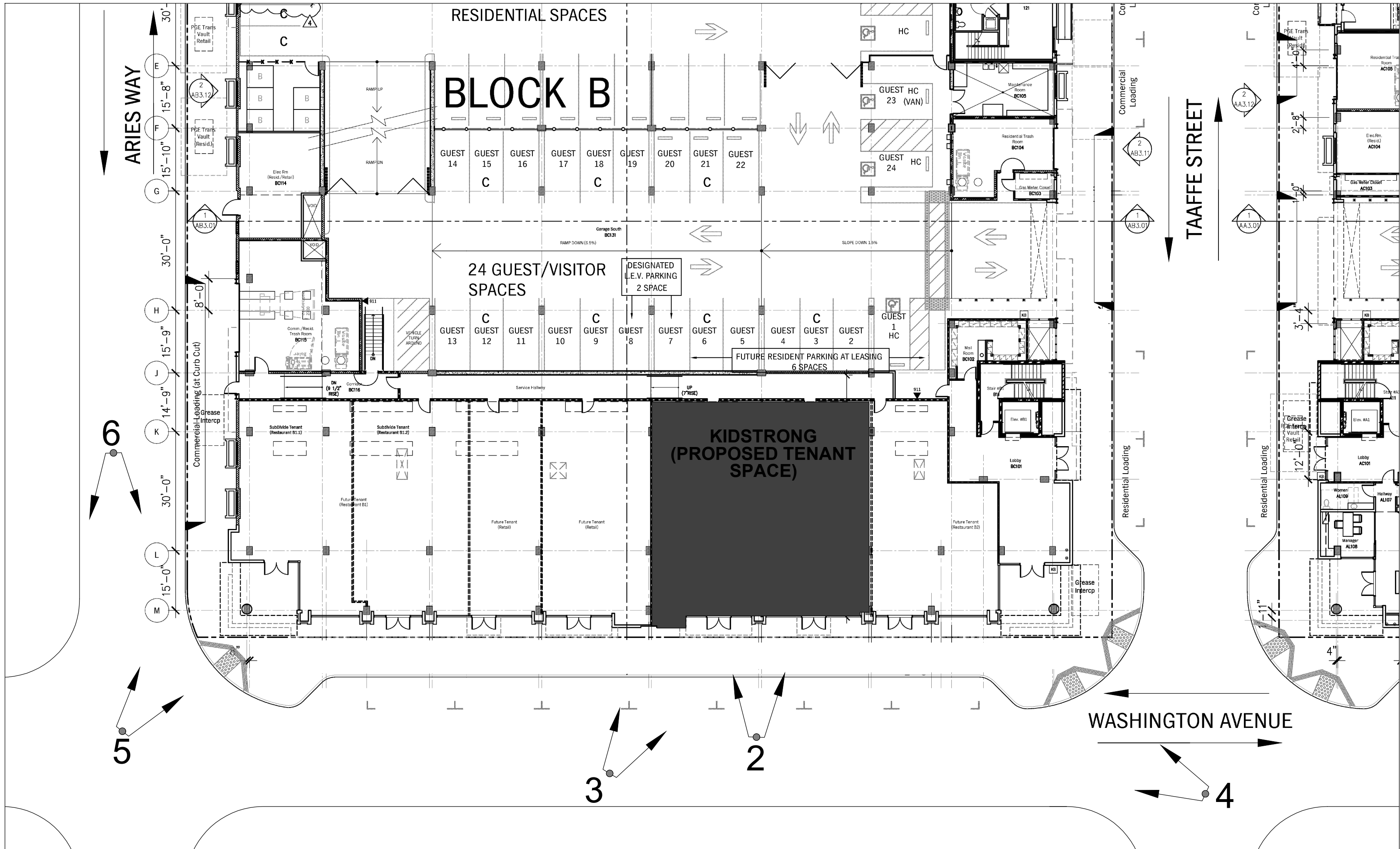
02 POINT OF VIEW
NTS



05 POINT OF VIEW
NTS



04 POINT OF VIEW
NTS



1 VISION TRIANGLE PLAN
NTS

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ISSUE FOR PERMIT

Project Number:	25-421	Approved By:	AV	Date:	
Drawn By:	YP	Issue:			
No.	1	SPECIAL DEVELOPMENT PERMIT		09/26/2025	
		SDP COMMENTS REV		11/26/2025	

SHEET TITLE & NUMBER

VISION
TRIANGLE
PLAN

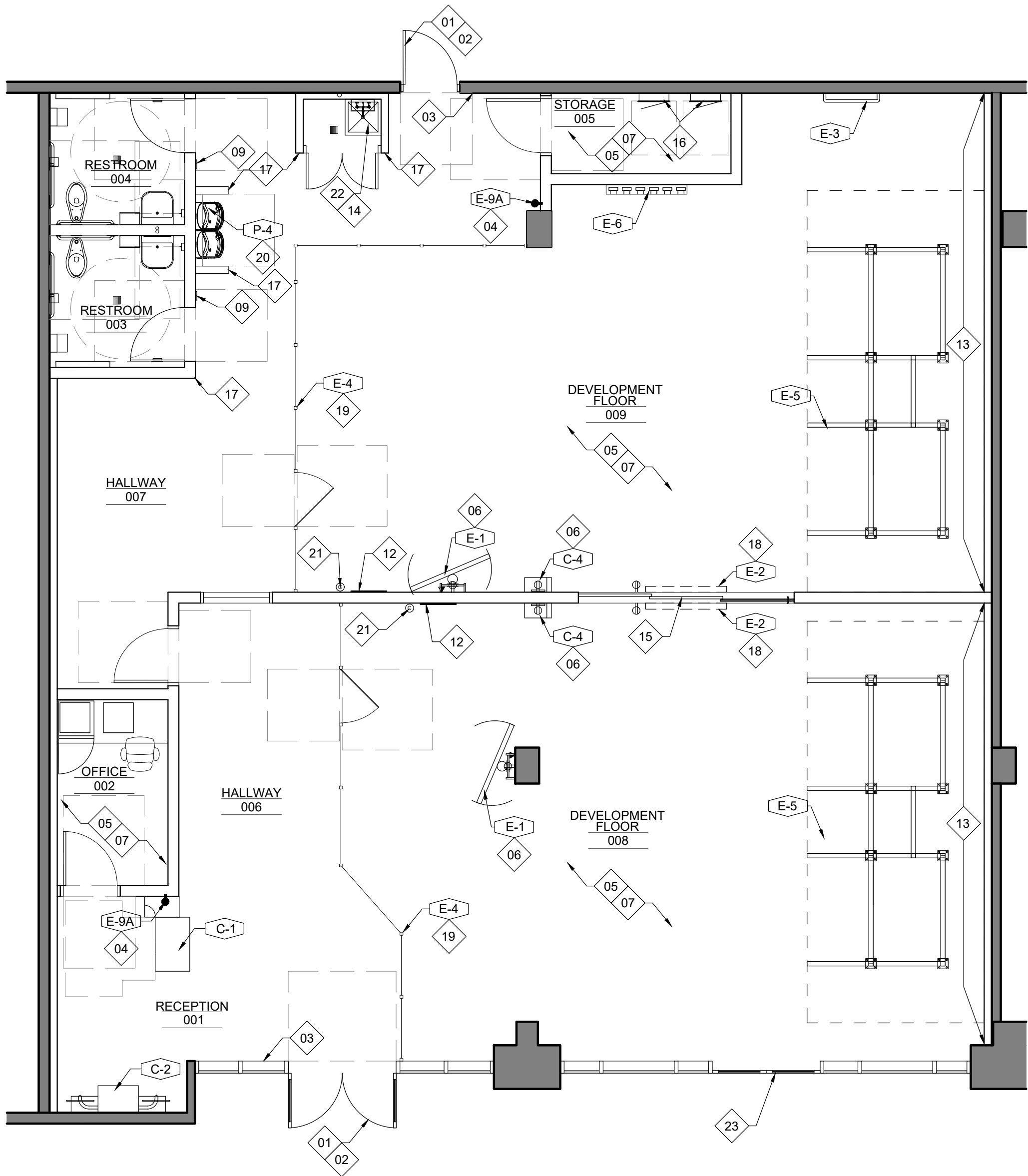
G3-02

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*CASEWORK SCHEDULE		
ITEM #	DESCRIPTION	NOTES
C-1	RECEPTION DESK	PROVIDED BY OWNER, INSTALLED BY GC. ASSEMBLY REQUIRED.
C-2	RETAIL CABINET	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED.
C-3	RETAIL WALL RACK	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED, PROVIDE NEW IN WALL BLOCKING.
C-4	COACH STATION AND WALL BRACKET	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED, PROVIDE NEW IN WALL BLOCKING
C-6	CUBBY BENCH	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED.

*CONFIRM WITH AD IF ELECTING WHITE GLOVE - THEN WILL BE GC TO COORDINATE WITH KS EQUIPMENT TEAM WHO WILL PROVIDE AND INSTALL

EQUIPMENT SCHEDULE					
ITEM #	DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
E-1	WALL-MOUNT TELEVISION	SAMSUNG/ LEADZM	UN65TU7000FXZA TV. WITH TMXD-103 SWIVEL MOUNT	-	PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE NEW IN-WALL BLOCKING
E-2	SOUND BAR	SAMSUNG	HW-S60T1ZA	-	PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE NEW IN-WALL BLOCKING
E-3	PARLETTE WALL RACK	KIDSTRONG	-	-	PROVIDED & INSTALLED BY KIDSTRONG. PROVIDE NEW IN-WALL BLOCKING
E-4	PONY WALL	KIDSTRONG	-	-	GLASS, POSTS & GATE PROVIDED & INSTALLED BY KIDSTRONG. GC TO CALL OUT PIECES THAT ARE NOT STANDARD 42" DURING LAYOUT.
E-5	RIG	KIDSTRONG	-	-	PROVIDED & INSTALLED BY KIDSTRONG.
E-6	BALANCE BEAMS	KIDSTRONG	-	-	PROVIDED & INSTALLED BY KIDSTRONG. PROVIDE NEW IN-WALL BLOCKING
E-9A	FIRE EXT. CABINET (RECESSED)	POTTER ROEMER	7008-DV-PRFH-PRVDFI-BL CABINET WITH 3005 EXTINGUISHER (5 LB. 2A)	WHITE	PROVIDED & INSTALLED BY GC. PROVIDE NEW IN-WALL BLOCKING



01 FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

- EXISTING DOOR TO REMAIN. PROVIDE PANIC BAR IF NOT EXISTING. PROTECT DURING CONSTRUCTION. PATCH AND REPAIR AS REQUIRED.
- SIGNAGE ABOVE DOOR TO READ "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"
- TACTILE "EXIT" SIGNAGE, IN ALL EXIT DOORS.
- 2A10BC FULLY RECESSED FIRE EXTINGUISHER MOUNTED IN WALL CABINET
- PROVIDE MAXIMUM OCCUPANCY SIGN AT ALL ROOMS.
- TV & COACH'S CUBBY TO BE MOUNTED AT 72" AFF.
- PROVIDE BLOCKING IN WALL FOR ALL EQUIPMENT; CABINETS, GRAB BARS, SINKS, D.F., SHELVES, MIRRORS.
- RECEPTION DESK, ADA COUNTER 36" HIGH MAX. GC INSTALLED OR KID STRONG INSTALLED IF ELECTING WHITE GLOVE.
- ACCESSIBLE TOILET FACILITY SIGNAGE.
- EXISTING SHELL WALL AND STOREFRONT TO REMAIN. PATCH/REPAIR/FINISH AS REQUIRED TO MATCH EXISTING FINISHES.
- CORPORATE STANDARD 36" GATE. NO LATCHING. INCLUDED IN KS EQUIPMENT PACKAGE, INSTALLED BY GC.
- RANK POSTER 24"x36". PROVIDED & INSTALLED BY KS.
- GC TO COORDINATE AND PROVIDE LEVEL 5 FINISH AT WALLS RECEIVING VINYL. VENDOR TO INSTALL.
- NEW WATER HEATER ABOVE MOP SINK. PROVIDE BLOCKING. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- SLIDING DOOR. TO HAVE SAFETY GLAZING ON ALL PANELS. PROV. & INST. BY KS. CONFIRM TIMING WITH EQUIPMENT TEAM, CAN BE ROLLED INTO WHITE GLOVE.
- ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
- PROVIDE CLEAR CORNER GUARDS ON ALL OUTSIDE CORNERS IN HIGH TRAFFIC AREAS. CONFIRM IF PAINTABLE OR WHITE.
- SOUND BAR ABOVE DOOR TO BE MOUNTED AT 100" AFF.
- PONY WALL-WIDTH BETWEEN POSTS @42"O.C. END CORNER PIECES CAN VARY. A 36" OPENING MUST BE PROVIDED FOR GATE. 1/2" TEMPERED GLASS.
- NEW HIGH/LOW ADA COMPLIANT DRINKING FOUNTAIN. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CAMERA MOUNTED AT 10' AFF.
- NEW MOP SINK. PROVIDE FRP SURFACE BEHIND SINK
- SECURE EXISTING DOORS CLOSE. REMOVE HARDWARE AND ALL EXIT SIGNS. DOOR TO REMAIN CLOSED AT ALL TIMES.

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED.

GC TO ADD 5/8" GYP BOARD AT ALL EXISTING CONDITIONS WITH EXPOSED METAL STUD. VERIFY IN FIELD TO PROVIDE PROPER BIDS

BLOCKING NOTES

PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:

- ACCESSIBILITY REQUIREMENTS & GRAB BARS AT ALL RESTROOM LOCATIONS
- RESTROOM ACCESSORIES INCLUDING TOILET STALL PARTITIONS & BABY CHANGING TABLE
- MILLWORK LOCATIONS - TO BE 6" STRIPS
- CASEWORK AS REQUIRED BY THE MFR & FOR PROPER SUPPORT
- MANAGER'S DESK SHELVES

LEGEND

- X-XX CASEWORK & EQUIPMENT TAG
- NEW PARTITION
- EXISTING WALL
- EXISTING WALL WITH NEW FURRING

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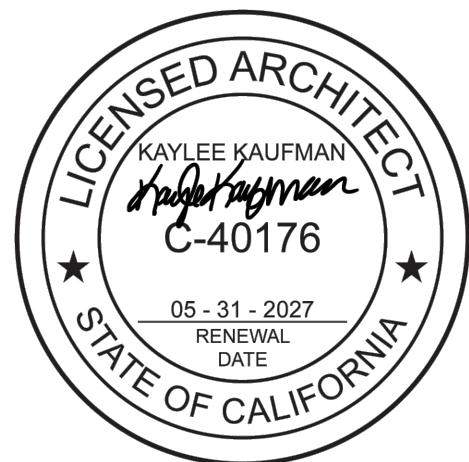


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SHEET TITLE & NUMBER

FLOOR PLAN

A1-02

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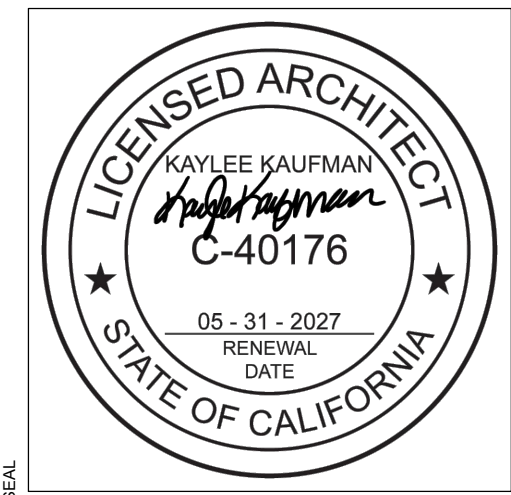
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ISSUE FOR PERMIT

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No.	Issue		
1	SPECIAL DEVELOPMENT PERMIT		09/26/2025
	SDF COMMENTS REV		11/25/2025

SHEET TITLE & NUMBER

EXTERIOR
ELEVATIONS

A6-01

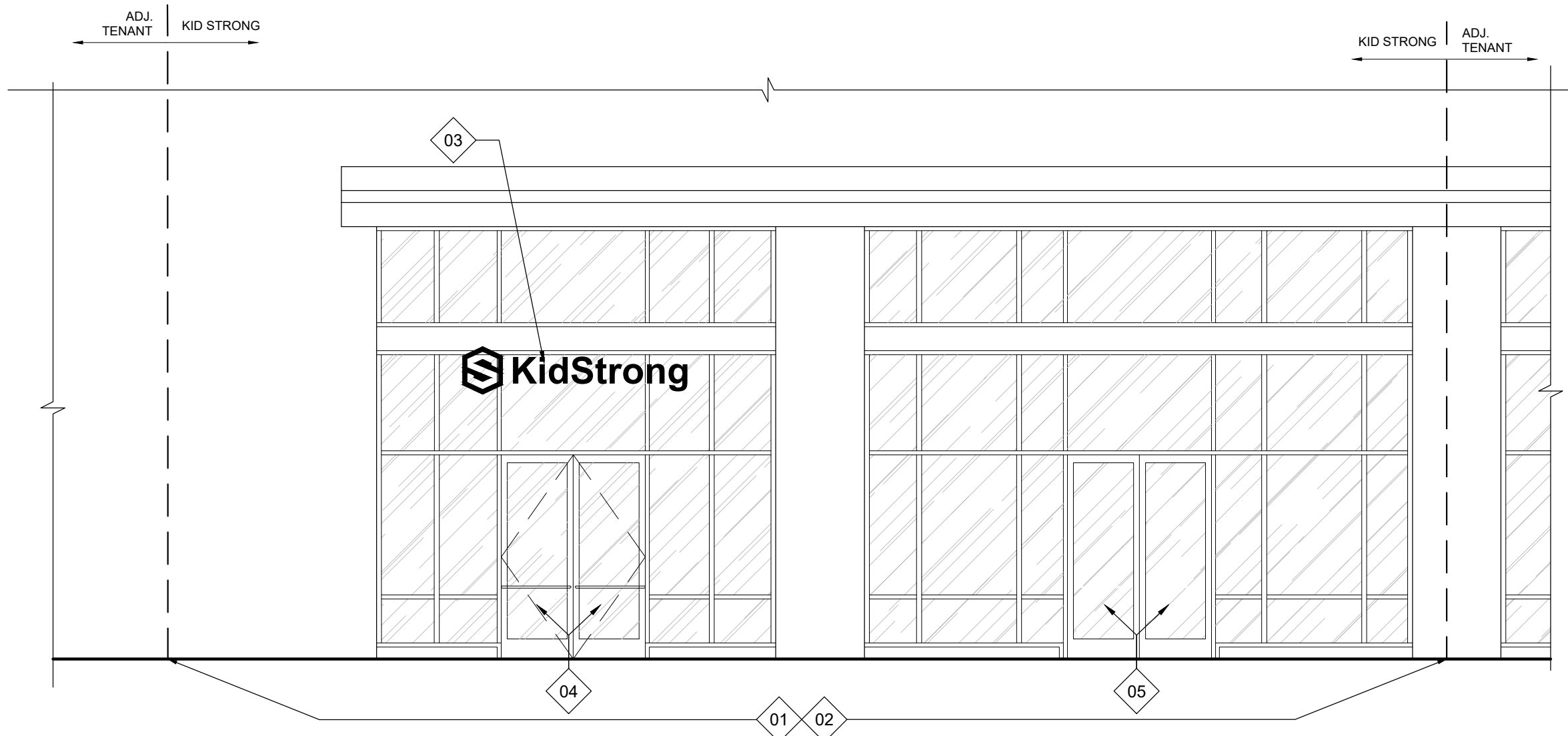
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KEYNOTES

- 01 EXISTING STOREFRONT /WINDOWS TO REMAIN. GC TO VERIFY THERE ARE NO CRACKS IN EXISTING GLASS & SEALS DO NOT LEAK. CLEAN INTERIOR OF ALL GLAZING DURING FINAL CLEAN PRIOR TO TURNOVER.
- 02 EXISTING SHELL WALL TO REMAIN. PATCH/REPAIR/FINISH AS REQUIRED TO MATCH EXISTING FINISHES.
- 03 SIGNAGE, CHANNEL LETTERS. GC TO COORDINATE INSTALLATION AND PROVIDE TIME CLOCK AND ALL POWER CONNECTIONS.
- 04 EXISTING DOOR TO REMAIN. PROVIDE PANIC BAR IF NOT EXISTING. PROTECT DURING CONSTRUCTION. PATCH AND REPAIR AS REQUIRED.
- 05 SECURE EXISTING DOORS CLOSE. REMOVE HARDWARE AND ALL EXIT SIGNS. DOOR TO REMAIN CLOSED AT ALL TIMES.

GENERAL NOTES

- 1. ALL SIGNAGE UNDER SEPARATE PERMIT.
- 2. G.C. TO VERIFY ALL DIMENSIONS IN FIELD.
- 3. SCOPE INCLUDES EXISTING TO REMAIN STOREFRONT FOR TENANT SPACE ONLY.



01 EXTERIOR ELEVATION - FRONT

3/16" = 1'-0"