

## ABBREVIATIONS

AB	anchor bolt	PNT	paint
ABV	above	PT	pressure treated
AD	area drain	QT	quarry tile
AFF	above finish floor	R	riser
ALUM	aluminum	RD	root drain
ANN	annunciator	REF	refrigerator
APROX	approximate	REINF	reinforced
ARCH	architectural	REQ'D	required
AUTO	automatic	REV	revision
AVE	avenue	RFG	roofing
AWG	American wire gauge	RM	room
B/	bottom of	RMV	remove
BIT	bituminous	RO	rough opening
BLDG	building	S	South
CL	center line	SAFB	sound attenuation fire
CLG	ceiling	batt insulation	
CM	centimeter	SAN	sanitary
CMU	concrete masonry unit	SECT	section
CO	cleanout	SF	square foot (feet)
COL	column	SIM	similar
CONC	concrete	SQ	square
CONT	continuous	SS	stainless steel
COORD	coordinate	STC	sound transmission
CNTR	center	class	
CU	cubic	STD	standard
CW	cold water	STL	steel
DBL	double	STRUCT	structural
DEG	degree	T	tread
DEMO	demolish	T/	top
DEPT	department	T&B	top and bottom
DET	detail	T&G	tongue and groove
DIA	diameter	TEL	telephone
DIAG	diagonal	TEMP	tempered
DN	down	TOPO	topography(ic)
DS	downspout	TYP	typical
DWG	drawing		
E	East	UNO	unless noted otherwise
ELEC	electrical	UTIL	utility
EM	emergency	VAC	vacuum
EXIST	existing	VTR	vent through roof
EXT	exterior	VIF	verify in field
F/	face of	W	West
FA	fire alarm	W/	with
FCO	floor clean out	W/O	without
FD	floor drain	WC	water closet
FNDN	foundation	WH	water heater
FF	finish floor	WIN	window
FLR	floor	WWF	welded wire fabric
FT	foot (feet)	YD	yard
FTG	footing		
FURR	furring		
GA	gauge		
GALV	galvanized		
GND	ground		
GWB	gypsum wall board		
GYP	gypsum		
HB	hose bib		
HDWH	hardwood		
HDWR	hardware		
HR	hour		
HT	height		
HW	hot water		
ID	inside diameter		
IN	inches		
INCL	include(d)(ing)		
INSUL	insulation		
INT	interior		
KO	knockout		
KIT	kitchen		
LAM	laminate(s)		
LAV	lavatory		
LB(S)	pound(s)		
LL	landlord		
LT	light		
M	meter		
MAINT	maintenance		
MAS	masonry		
MAX	maximum		
MECH	mechanical		
MTL	metal		
MEZZ	mezzanine		
MFR	manufacturer		
MIN	minimum		
MISC	miscellaneous		
MM	millimeter		
MO	masonry opening		
MULL	mullion		
N	North		
N.I.C.	not in contract		
NO.	number		
NOM	nominal		
NTS	not to scale		
OA	overall		
OC	on center		
OD	outside diameter		
OH	overhead		
OPNG	opening		
PL	plate		
P-LAM	plastic laminate		
PLBG	plumbing		
PLUMB	plumbing		
PNL	panel		



**KIDSTRONG**  
331 W. WASHINGTON AVE  
SUNNYVALE, CA 94086

## SPECIAL DEVELOPMENT PERMIT

INTERIOR BUILD-OUT OF A CHILDREN'S ATHLETIC SPACE IN AN EXISTING  
TENANT SPACE. WORK INCLUDES CARPENTRY, ELECTRICAL, PLUMBING  
AND HVAC DISCIPLINES.

DEFERRED SUBMITTALS
- FIRE SPRINKLERS
SEPARATE SUBMITTAL
OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.

CLIENT: KIDSTRONG  
PROJECT: 331 W WASHINGTON AVE SUNNYVALE, CA 94086

SEAL: LICENSED ARCHITECT  
KAYLEE KAUFMAN  
C-40176  
05-31-2027  
RENEWAL DATE  
STATE OF CALIFORNIA



ISSUE FOR PERMIT

Project Number: 25-421	Approved By: AV
Drawn By: YP	Date: 09/26/2025
No. 1	SDP COMMENTS REV 1

SHEET TITLE & NUMBER: 1

TITLE SHEET

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T1-01

## INSURANCE REQUIREMENTS

- 1a. TO THE FULLEST EXTENT PERMITTED BY LAW, THE CONTRACTOR SHALL WAIVE ANY RIGHT OF CONTRIBUTION AND SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT OF RECORD, AND ENGINEER AND THEIR AGENTS AND EMPLOYEES AND CONSULTANTS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEYS FEES ARISING OUT OF OR RESULTING FROM OR IN CONNECTIONS WITH THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS CAUSED IN WHOLE OR IN PART BY ANY NEGIGENT ACT OR OMISSION OF THE CONTRACTOR OR ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE. REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER, SUCH OBLIGATION SHALL NOT BE CONSTRAINED TO NEGATE, ABRIDGE, OR OTHERWISE REDUCE ANY OTHER RIGHT OR OBLIGATION OF INDEMNITY, WHICH WOULD OTHERWISE EXIST AS TO ANY PARTY OR PERSON DESCRIBED IN THIS AGREEMENT.
- 1b. IN ANY AND ALL CLAIMS AGAINST THE OWNER, ARCHITECT OF RECORD, AND ENGINEERS OR ANY OF THEIR AGENTS OR EMPLOYEES AND CONSULTANTS BY ANY EMPLOYEE OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION UNDER THIS PARAGRAPH AGREEMENT SHALL NOT BE LIMITED IN ANY WAY BY AN LIMITATION ON THE AMOUNT OR TYPES OF DAMAGES; COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR OR ANY SUBCONTRACTOR UNDER WORKS OR WORKMEN'S COMPENSATION ACTS, DISABILITY BENEFITS ACTS OR OTHER EMPLOYEE BENEFITS ACTS.
- 1c. "CLAIMS, DAMAGES, LOSSES AND EXPENSES" AS THESE WORDS ARE USED IN THIS AGREEMENT, SHALL BE CONSTRUED TO INCLUDE, BUT NOT LIMITED TO (1) INJURY OR DAMAGE CONSEQUENT UPON THE FAILURE OF OR USE OR MISUSE BY CONTRACTOR, ITS SUBCONTRACTOR, AGENTS, SERVANTS OR EMPLOYEES OF ANY HOIST, RIGGING, BLOCKING, SCAFFOLDING, OR ANY AND ALL OTHER KINDS OF ITEMS OF EQUIPMENT, OWNED, FURNISHED OR LOANED BY OWNER; (2) ALL ATTORNEY'S FEES AND COSTS INCURRED IN BRINGING AN ACTION TO ENFORCE THE PROVISIONS OF THIS INDEMNITY OR ANY OTHER INDEMNITY CONTAINED IN THIS GENERAL CONDITIONS, AND (3) TIME EXPENDED BY THE PARTY BEING INDEMNIFIED AND THEIR EMPLOYEES AT THEIR USUAL RATES PLUS COSTS OF TRAVEL, LONG DISTANCE TELEPHONE AND REPRODUCTION OF DOCUMENTS.
- 1d. IF THE PROJECT IS IN A STATE WHICH PROHIBITS PARTIES FROM BEING INDEMNIFIED AGAINST THEIR OWN NEGLIGENCE, AN ADDITIONAL MODIFICATION SHOULD BE:

"THE OBLIGATIONS OF THE CONTRACTOR UNDER THIS AGREEMENT SHALL NOT EXTEND TO THE LIABILITY OF THE OWNER, ARCHITECT/ ENGINEER, THEIR AGENTS OR EMPLOYEES ARISING OUT OF THEIR NEGLIGENCE".

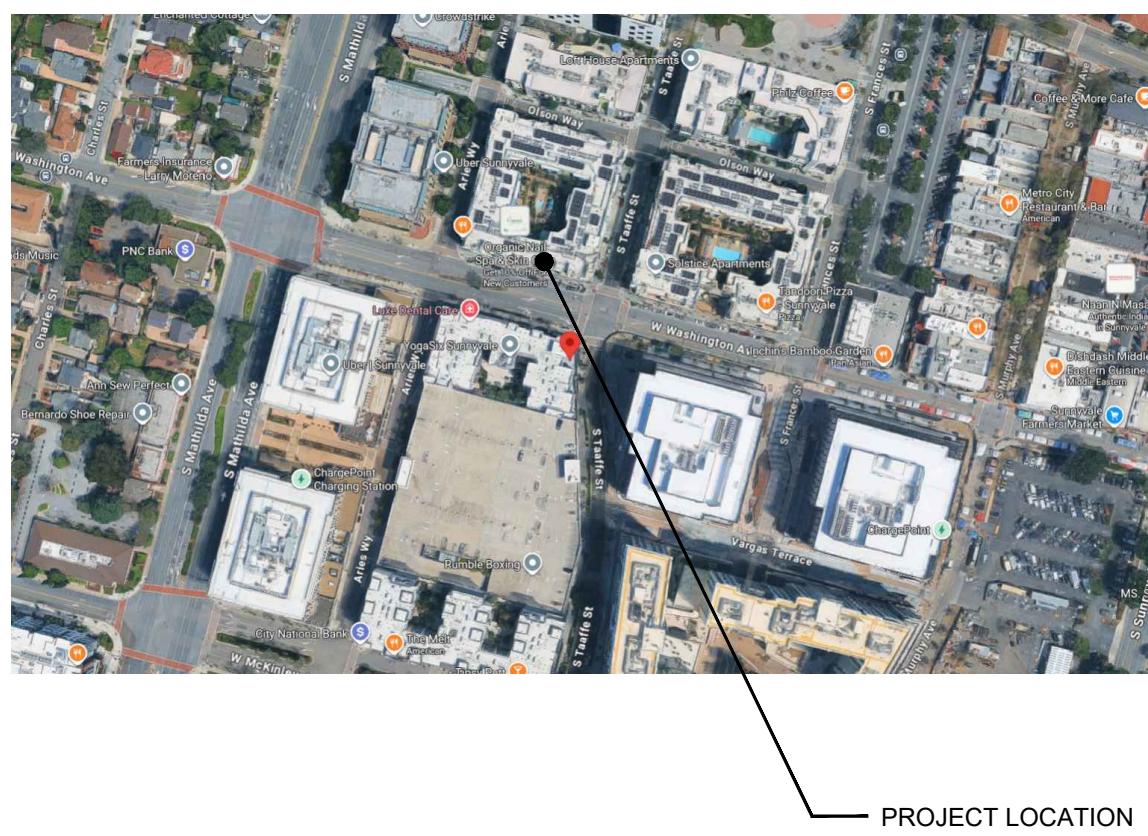
## DRAWING INDEX

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M1-1	MECHANICAL PLAN	
M2-1	MECHANICAL DETAILS AND SCHEDULES	
M3-1	MECHANICAL TITLE 24	
M3-2	MECHANICAL TITLE 24	
<b>FRANCHISEE INFO</b>		
MARK IGLESIAS	mark.iglesias@gmail.com	
<b>LANDLORD</b>		
CASE ENGINEERING INC.	BEX PORTFOLIO, LLC.	
798 MERUS COURT.	C/O ESSEX PROPERTY TRUST, INC.	
LOUIS, MO 63026	650.655.7800	
636.349.1600 EXT. 228		
CONTACT: LUKE WILD	CONTACT: FERNANDO LANDA, ESQ.	
lwild@caseengineering.com	858.225.6752	

CLIENT: KIDSTRONG  
SUITE 301, 3901 PARKWOOD BLVD  
FRISCO, TX 75034  
CONTACT: BETH HERSH  
beth.hersh@kidstrong.com  
FRANCHISEE INFO: MARK IGLESIAS  
mark.iglesias@gmail.com  
LANDLORD: CASE ENGINEERING INC.  
798 MERUS COURT.  
LOUIS, MO 63026  
636.349.1600 EXT. 228  
CONTACT: LUKE WILD  
lwild@caseengineering.com

T1-01

## PROXIMITY MAP



## BUILDING CODES

BUILDING	2022 CALIFORNIA BUILDING CODE
MECHANICAL	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL	2022 CALIFORNIA ELECTRICAL CODE
PLUMBING	2022 CALIFORNIA PLUMBING CODE
FIRE PREVENTION	2022 CALIFORNIA FIRE CODE
ENERGY	2022 CALIFORNIA BUILDING ENERGY CODE
GREEN BUILDING	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
ACCESSIBILITY	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

\* AS AMENDED PER SUNNYVALE CITY CODES

## CBC 2022 CODE MATRIX

SCOPE OF WORK: INTERIOR BUILDDOUT  
CONSTRUCTION TYPE: TYPE IIB (SPRINKLERED)  
EXISTING OCCUPANCY CLASSIFICATION: A-3 - ASSEMBLY (PROPOSED)  
ZONING USE: RECREATIONAL AND ATHLETIC FACILITIES  
TENANT SPACE GROSS AREA: 2,975 SF (2)

BUILDING HEIGHT: 165'-0" EXISTING MULTI-STORY (NO CHANGE)

ASSESSOR PARCEL NUMBER: 209-07-027 (2)

SITE AND PARKING: EXISTING TO REMAIN, NO CHANGE

BUILDING ELEMENT FIRE RESISTANCE RATING REQUIREMENT (TABLE 601)

REQUIRED PROVIDED

STRUCTURAL FRAME: 0 HR EXISTING

BEARING WALLS, EXTERIOR: 0 HR EXISTING

BEARING WALLS, INTERIOR: 0 HR EXISTING

NON-BEARING WALLS, EXT.: 0 HR EXISTING

NON-BEARING WALLS, INT.: 0 HR 1 HR (DEMISING WALLS)

FLOOR CONSTRUCTION: 0 HR EXISTING

ROOF CONSTRUCTION: 0 HR EXISTING

INTERIOR FINISHES: ALL INTERIOR FINISHES/MATERIALS SHALL COMPLY WITH CHAPTER 8 OF THE 2022 CBC

## EGRESS CALCULATIONS

EGRESS REQUIREMENTS	MAX. ALLOWED (SPRINKLERED)	PROVIDED
EXIT TRAVEL DISTANCE	250'-0"	75'-1"
COMMON PATH OF TRAVEL	75'-0"	51'-8"
MINIMUM NUMBER OF EXITS REQUIRED	1	2
MINIMUM EGRESS DOOR WIDTH	36"	36"
MINIMUM EGRESS PATH	36"	44"

## PLUMBING REQUIREMENTS (CPC 2022)

PER TABLE 4-1

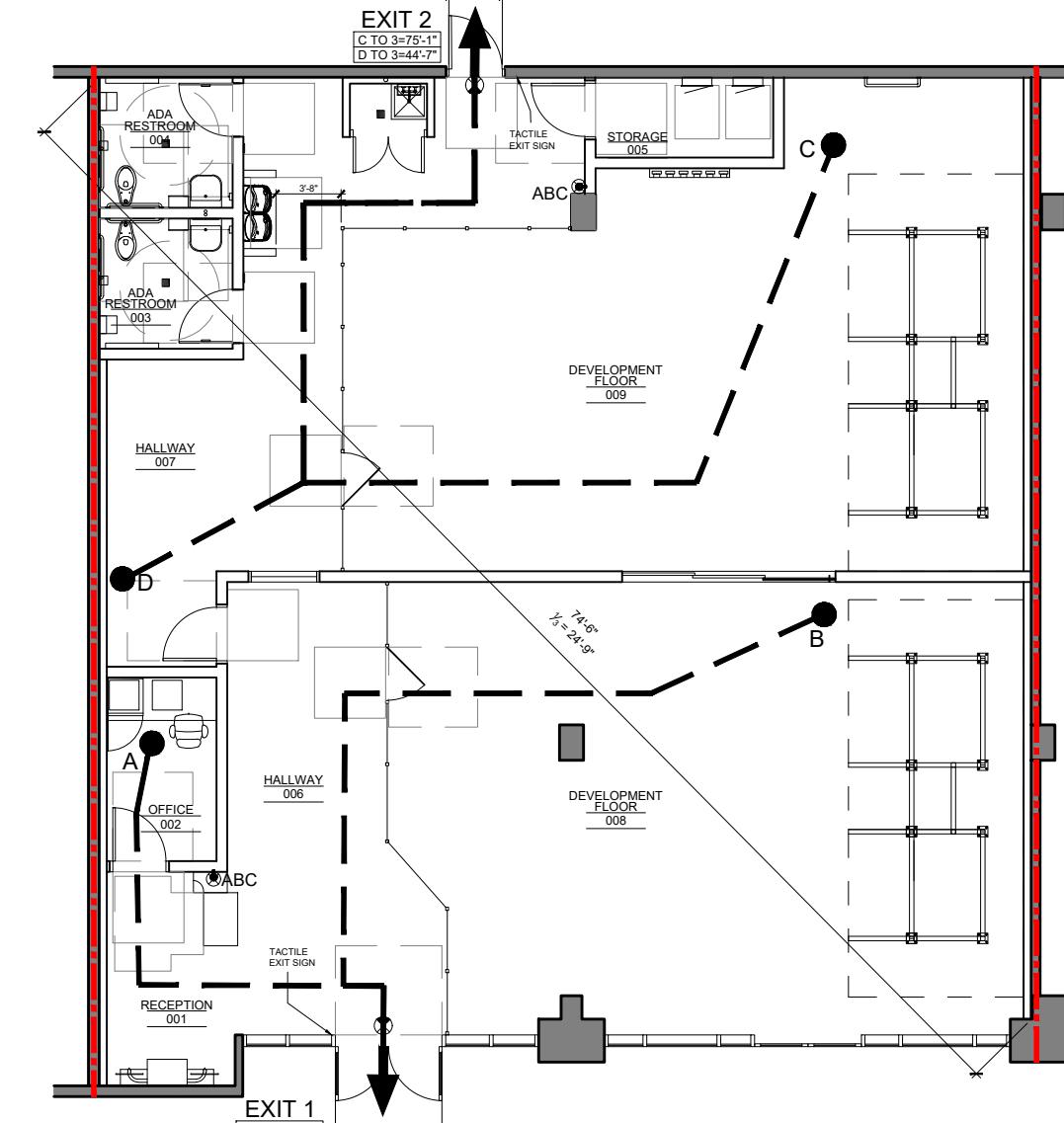
	SQUARE FEET	LOAD FACTOR	OCCUPANT LOAD
STORAGE/UTILITY	45	-	-
MERCANTILE (OFFICE,RECEPTION)	180	100	2
CIRCULATION / FIXED ITEMS	987	-	-
DEVELOPMENT FLOOR 8	874	50	18
DEVELOPMENT FLOOR 9	889	50	18
	BUILDING OCCUPANCY TOTAL : 38 OCCUPANTS		
	TOTAL WOMEN/MEN 19		
	WATER CLOSETS		LAVATORIES
BUILDING ASSEMBLY	MALE	FEMALE	OTHER
A-3	1:100	1:25	1:200 1:100 1 SERVICE SINK
REQUIRED	1	1	1 1 1
PROVIDED	1	1	1 1 1

## ALLOWABLE OCCUPANT LOAD

OCCUPANT LOAD COUNT TABLE PER 2022 CBC TABLE 1004.5

AREA	SQUARE FEET	LOAD FACTOR	CODE TABLE REFERENCE	OCCUPANT LOAD
STORAGE/UTILITY	45	300 GROSS	1004.5	1
MERCANTILE (OFFICE,RECEPTION)	180	60 GROSS	1004.5	3
CIRCULATION / FIXED ITEMS	987	-	1004.5	-
DEVELOPMENT FLOOR 8	874	50 GROSS	1004.5	18
DEVELOPMENT FLOOR 9	889	50 GROSS	1004.5	18
	TOTAL : 2,975			TOTAL : 40 OCCUPANTS

## EGRESS / ACCESS DIAGRAM



FLOOR PLAN

### LEGEND

- LINE OF EGRESS TRAVEL WITH 36" MINIMUM CLEAR WIDTH AT DOORS AND 36" MINIMUM CLEAR WIDTH AT EXIT ACCESS COMPONENTS SUCH AS CORRIDORS & AISLES
- REMOTE POINT
- POINT OF EXIT DISCHARGE
- EXISTING 1 HOUR DEMISING WALL (UL #0419)
- ILLUMINATED EXIT SIGN
- ABC ABC CLASS FIRE EXTINGUISHER

NOTE:  
COORDINATE ALL FIRE EXTINGUISHER LOCATIONS WITH LOCAL FIRE DEPARTMENT.

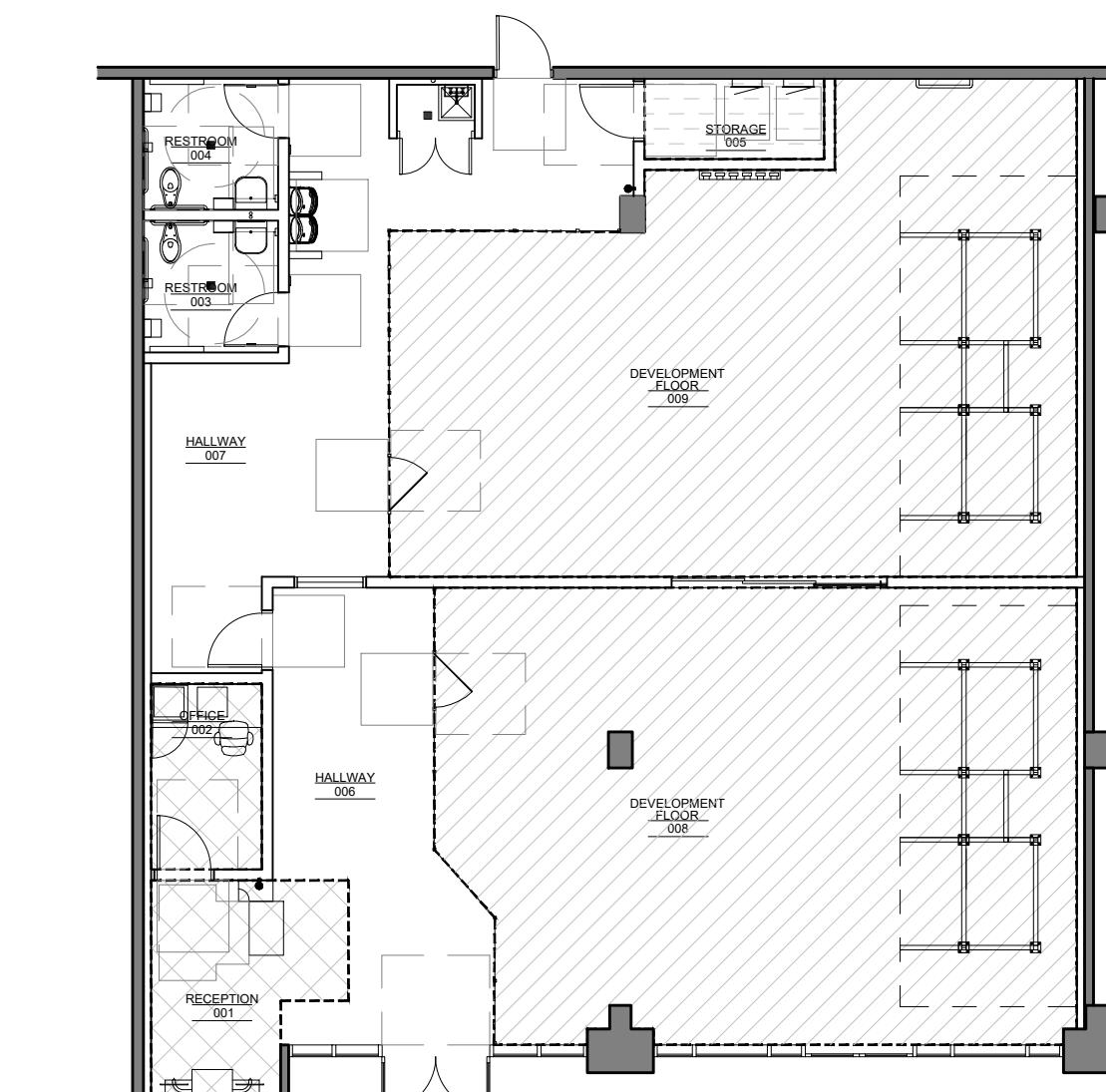
### EXIT ACCESS TRAVEL DISTANCE

MAX. DISTANCE = 75'-1"

REFER TO A1-03 DIMENSIONED PLAN FOR EGRESS AISLE WIDTHS

SCALE = 3/32"=1'-0"

## OCCUPANCY DIAGRAM



### LEGEND

- MERCANTILE (OFFICE,RECEPTION) - 180 SF
- DEVELOPMENT FLOOR 8 - 874 SF
- DEVELOPMENT FLOOR 9 - 889SF
- STORAGE/UTILITY - 45 SF

FLOOR PLAN

## ISSUE FOR PERMIT

Project Number: 25-421	Approved By: AV	Date:
Drawn By: YP	Issue No.:	09/26/2025
	SPECIAL DEVELOPMENT PERMIT	11/25/2025
	SDP COMMENTS REV	

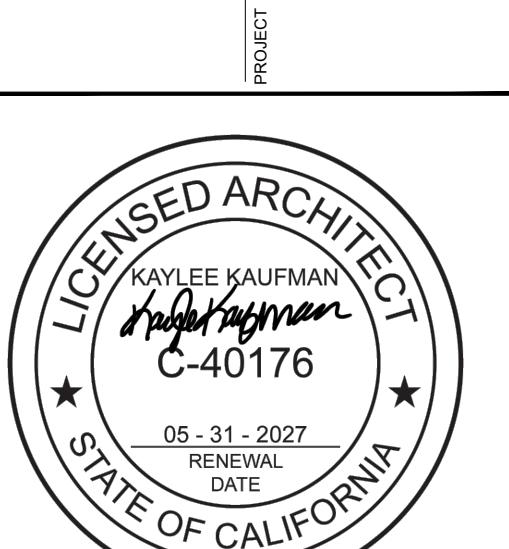
SHEET TITLE & NUMBER

## PROJECT INFO & CODE ANALYSIS

G1-01

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MUNICIPAL APPROVAL STAMP



Block B Retail Summary		
	Total Gross SF	Notes
Leased Retail/Restaurant	11,700	Includes Service Hallway and 50% SF of the Commercial Trash Room
Covered Retail (Exterior)	1,560	
<b>Total</b>	<b>13,260</b>	

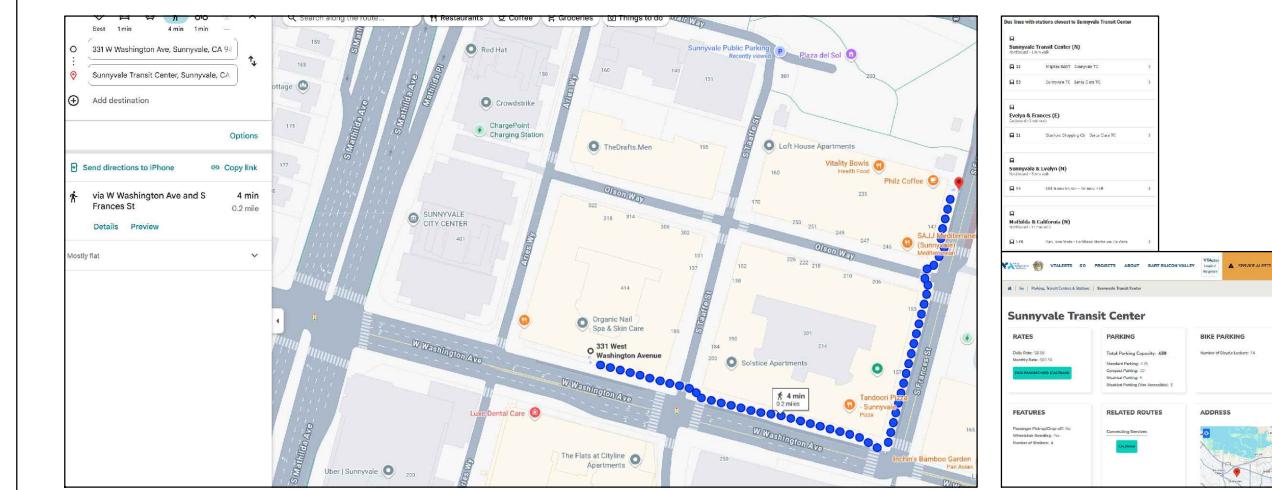
  

Block B Project Data Summary		
Sub Areas	Total Gross SF	Notes
Basement Level	46,449	
First Floor (Grade)	42,585	
Garage	22,739	Includes Transformer, Fire Pump, Mechanical Rooms
Retail	11,700	Gross building area only, see Retail Data Summary for additional info
Second Floor	31,234	
Garage	24,629	
Third Floor (Podium)	35,260	
Fourth Floor	34,400	
Fifth Floor	35,307	
Sixth Floor	35,307	
<b>Total</b>	<b>260,542</b>	

1-3	Solstice Retail	Gym	2,958.0000 sq ft
11	Solstice Retail	Salon	2,121.0000
12-13	Solstice Retail	Vacant	2,972.0000
15	Solstice Retail	Restaurant	3,325.0000
4	Solstice Retail	Cafe	2,259.0000
5	Solstice Retail	Restaurant	1,599.0000
6-7	Solstice Retail	Restaurant	4,832.0000
8	Solstice Retail	Restaurant	1,297.0000
9	Solstice Retail	Restaurant	1,492.0000

## PARKING EXEMPTION EVIDENCE

THE CITY OF SUNNYVALE, CA CODE, TITLE 19: ZONING § 19.46.130: ADJUSTMENTS TO PARKING REQUIREMENTS, PROVIDES FLEXIBILITY AND EXEMPTIONS ON THE PARKING REQUIREMENTS, THE PROPOSED LOCATION IS ACCESSIBLE WITHIN 0.5 MILE OF A MAJOR PUBLIC TRANSPORTATION CENTER: SUNNYVALE TRANSIT CENTER.



### SUNNYVALE CITY CODE OF ORDINANCES TEXT:

§ 19.46.130 Adjustments to parking requirements.

(a) Purpose. A parking adjustment permits flexibility to parking requirements to address unusual or specific use or locational characteristics.

(b) Applicability. Adjustments may be granted from parking ratio, minimum, maximum or type of on-site parking provided for residential uses or for special housing developments as described in Section 19.44.000 (Parking for special housing developments). Adjustments are not permitted for residential parking ratios except for special housing developments. An adjustment request may be reviewed by the approving body as part of a discretionary permit or, if no discretionary permit would be required, by the approving body as part of a special housing development. Adjustments to parking ratios do not require an adjustment to exceed the parking maximum. A request to deviate from any other requirement in this chapter requires a variance.

(c) Findings. For Applications for Special Housing Developments. To grant an adjustment from a parking minimum for special housing developments, the director or approving body shall find:

(1) One or more of the following applicable characteristics are present:

- (A) Location or proximity to transportation;
- (B) Variety or forms of transportation available;
- (C) Accessibility or
- (D) Services and programs offered, or population served by the housing development.

(d) Findings for Parking Adjustments from Minimum Parking Basics for Nonresidential Uses. To grant an adjustment from a parking ratio minimum for nonresidential uses, the director or approving body shall find:

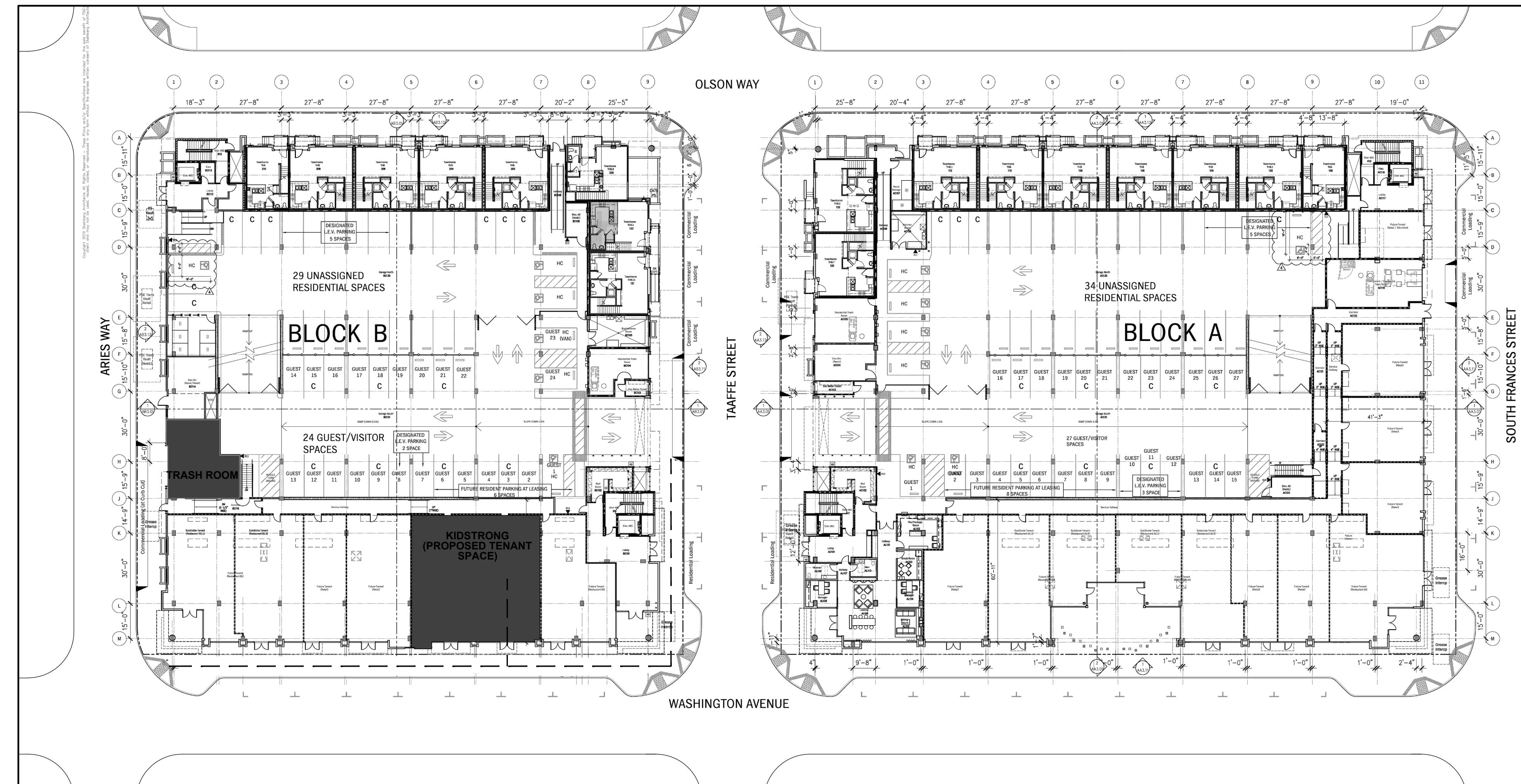
(1) One or more of the following applicable characteristics are present:

- (A) There are parking agreements with off-site properties; or
- (B) There is a parking management plan that includes valet parking, off-site employee parking, parking agreements, or other demand management tools; or
- (C) The uses on site have complementary peak hours; or
- (D) The use is commercial in nature and is intended to serve adjacent employment centers. The use provides adequate pedestrian connections to the uses from nearby properties and businesses; or

(E) ~~Major bus stop is located one-half mile or less from a rail station, light rail station, or major bus stop. A major bus stop is defined as a stop where one or more buses per hour from the same or different routes stop during the peak period in core, corridor or station areas; or~~

(F) The proposed use has an unusual characteristic that results in less parking demand. This characteristic shall be described and limited in applicable conditions of approval for a discretionary land use permit. Land uses that are permitted by right are not eligible for adjustment because of this criterion of unusual characteristics.

(G) Based on the characteristics present in subsection (G)(3), the proposed parking is adequate and will not spill over onto surrounding properties or streets.



## 01 SITE PLAN

**KIDSTRONG**

381 W WASHINGTON AVE  
SUNNYVALE, CA 94086



**DXU**  
ARCHITECTS  
410 S. West Street, 2nd Floor, Chicago, IL 60606  
CONSULTANTS

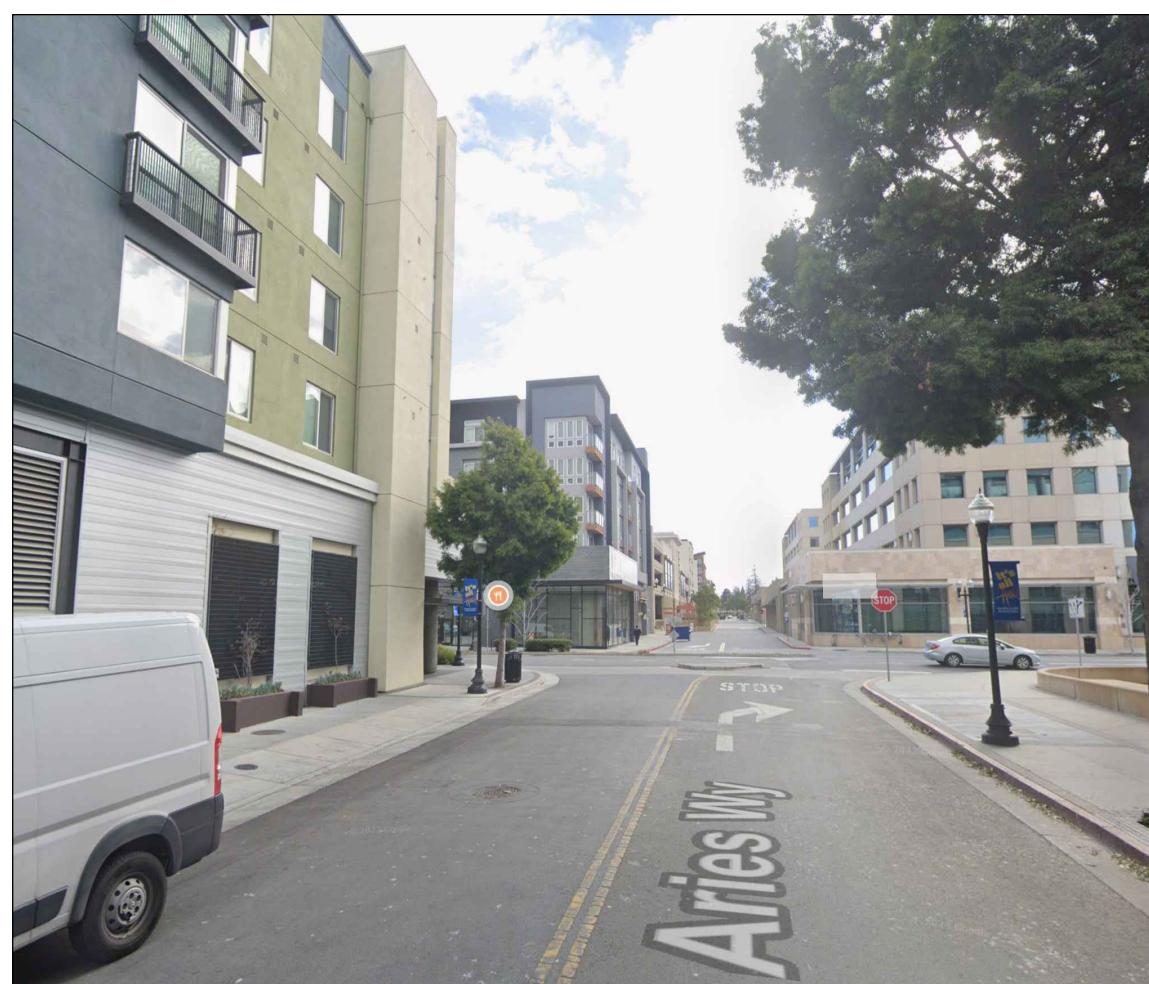
## ISSUE FOR PERMIT

Project Number: 25-421	Approved By: AV
Drawn By: YP	Date
No.:	Issue
SPECIAL DEVELOPMENT PERMIT	09/26/2025
1 SDP COMMENTS REV	11/25/2025

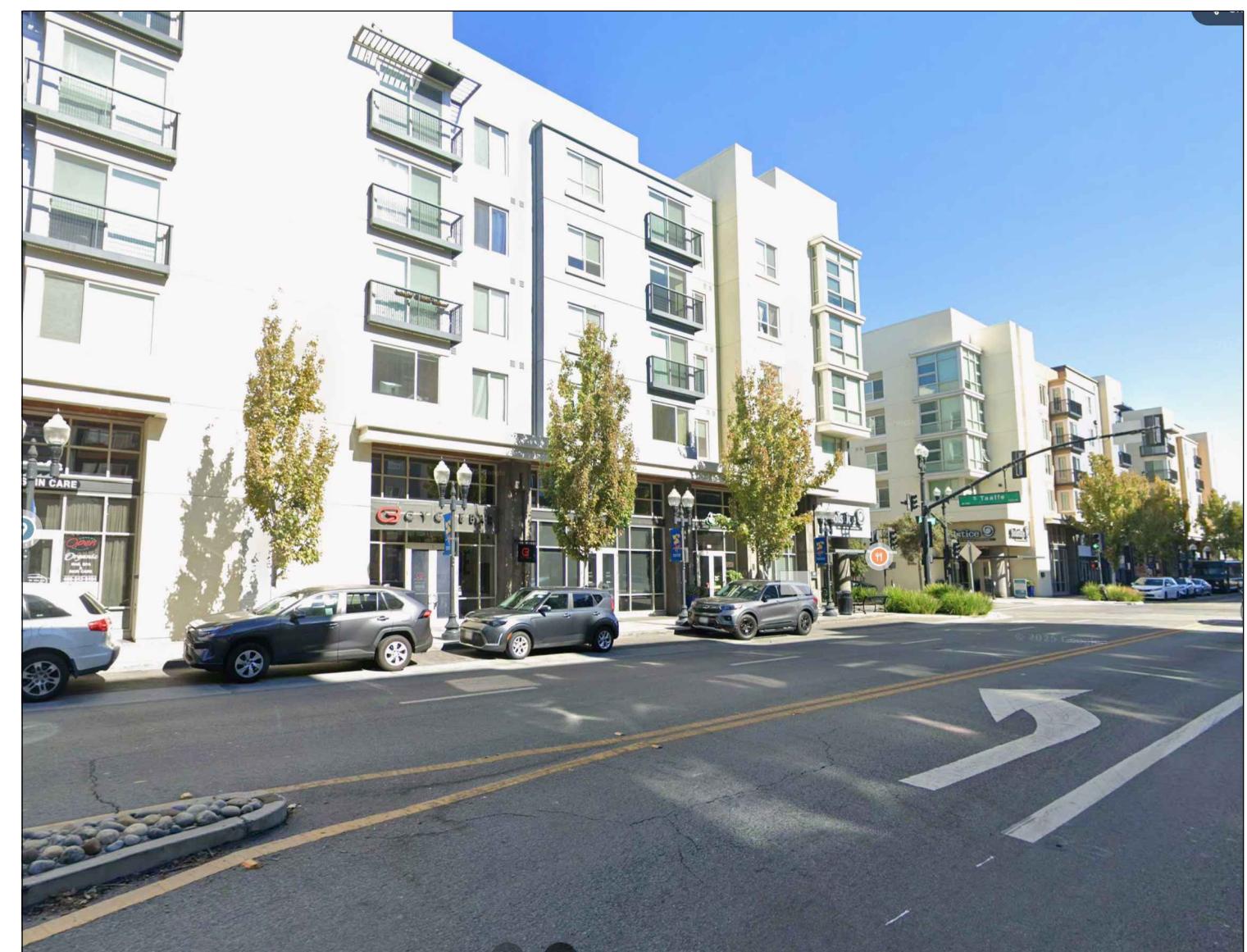
SHEET TITLE & NUMBER

SITE PLAN

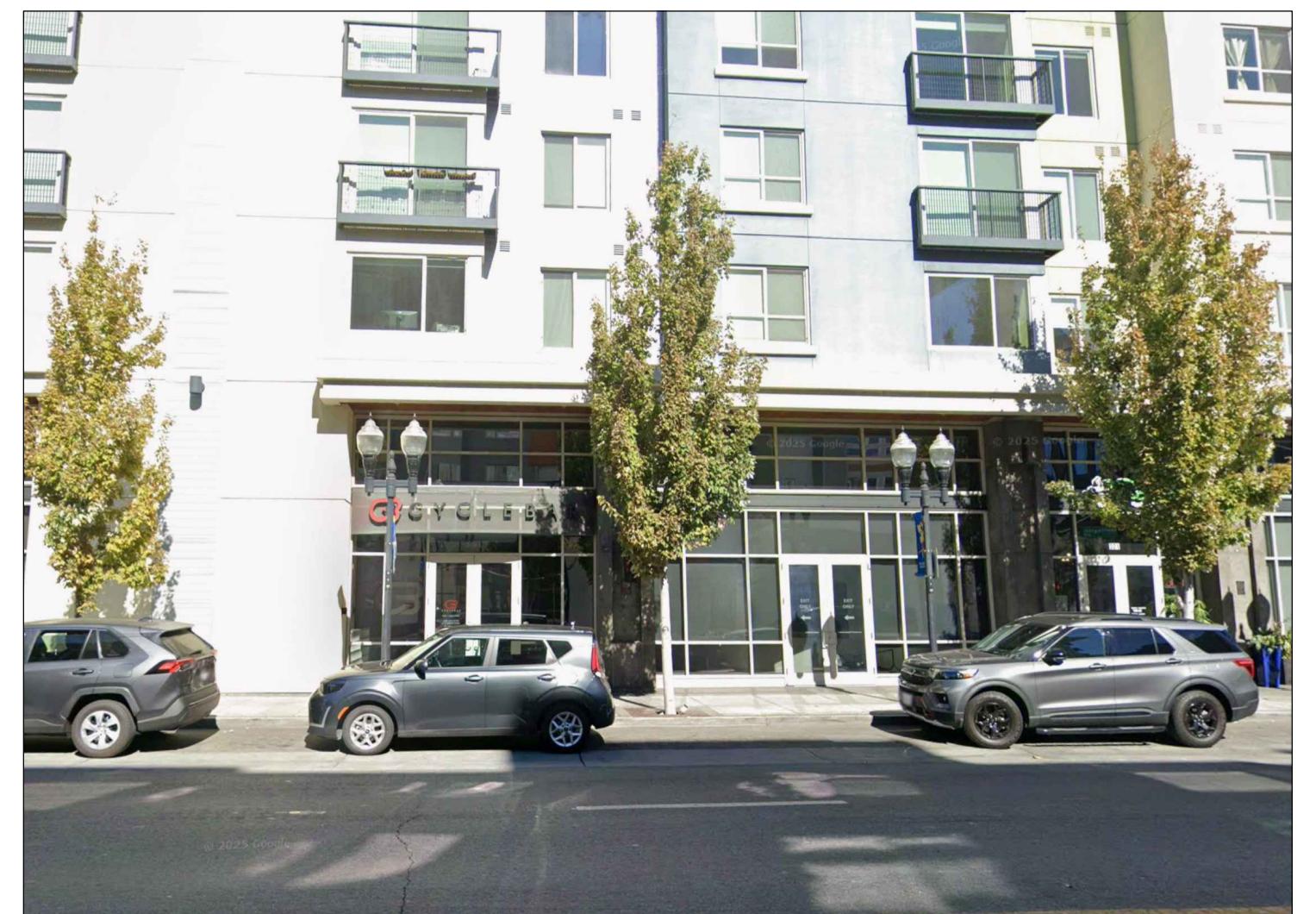
**G3-01**



06 POINT OF VIEW  
NTS



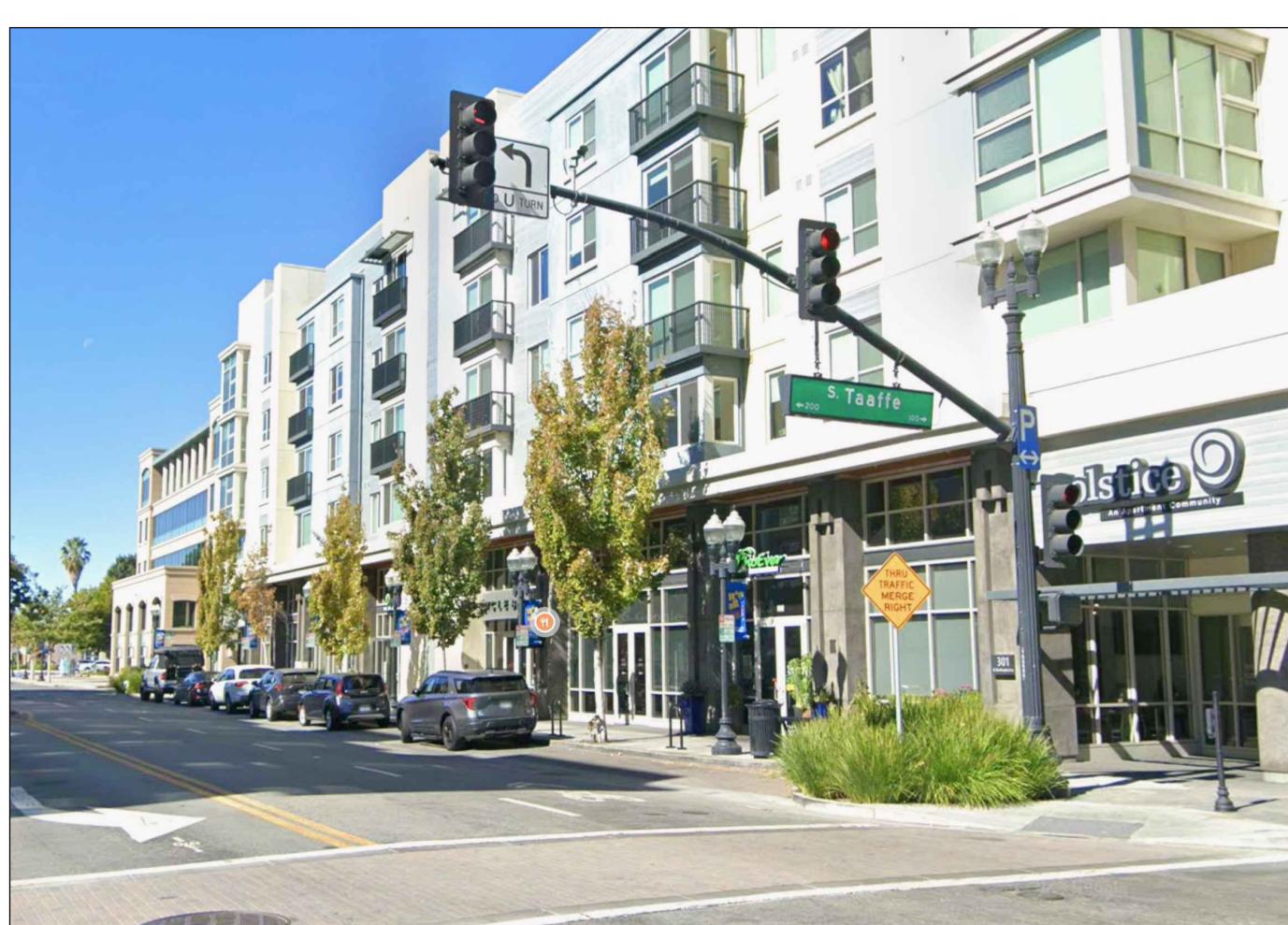
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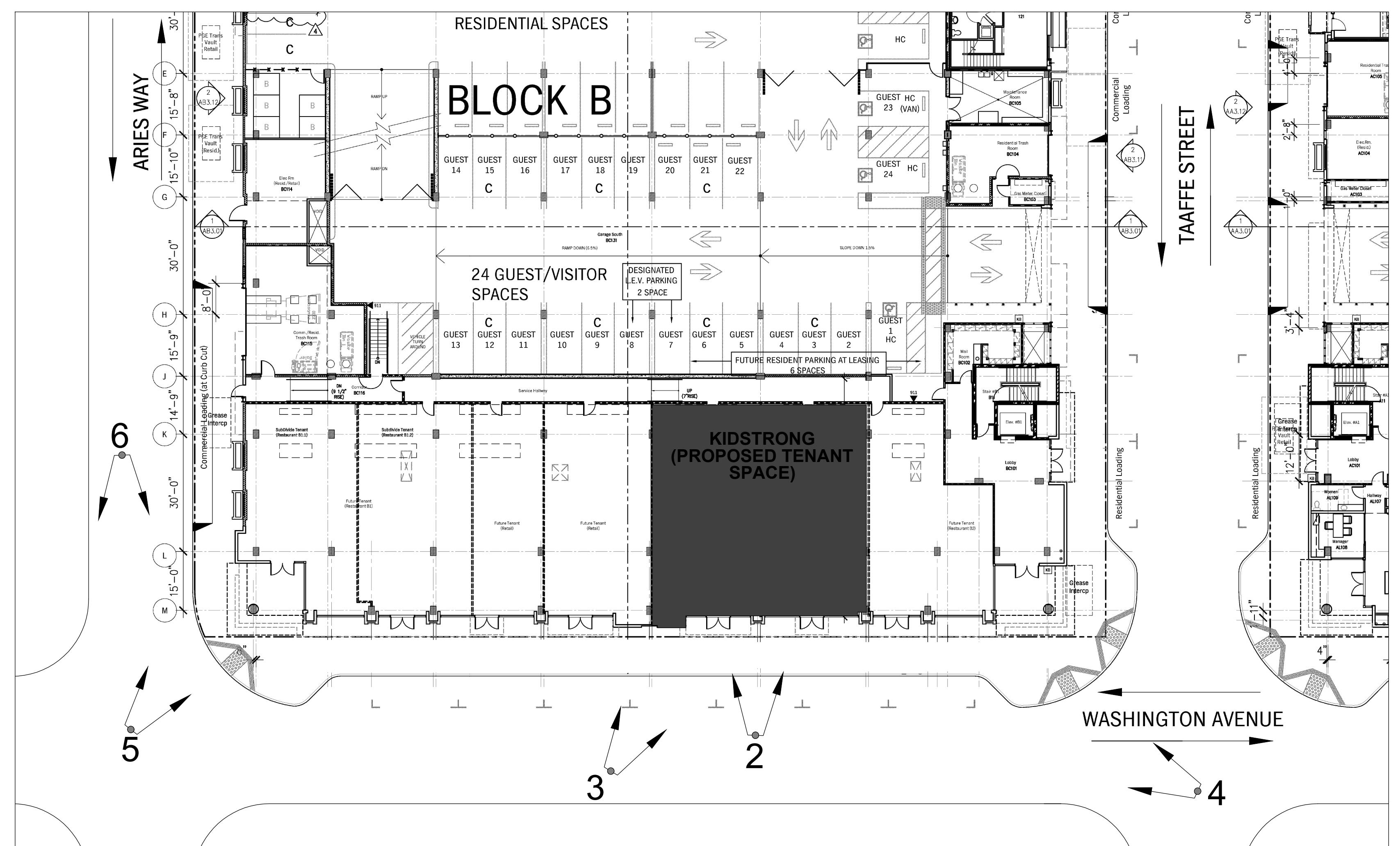
02 POINT OF VIEW  
NTS



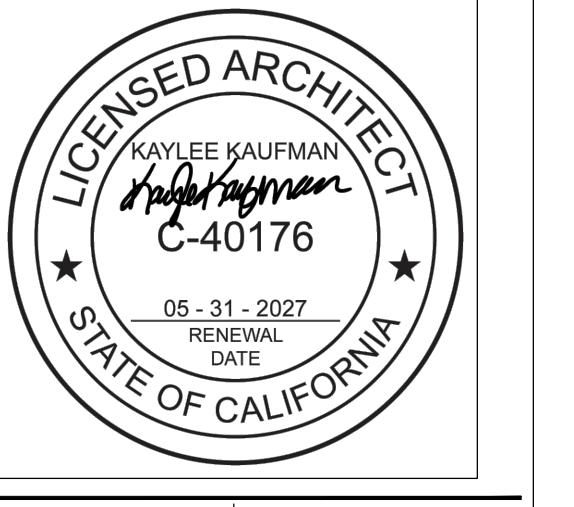
05 POINT OF VIEW  
NTS



04 POINT OF VIEW  
NTS



1 VISION TRIANGLE PLAN  
NTS

 <b>KIDSTRONG</b> 381 W WASHINGTON AVE SUNNYVALE, CA 94086	
	SEAL KAYLEE KAUFMAN <i>Kaylee Kaufman</i> C-40176 05-31-2027 RENEWAL DATE
<b>DXU</b> <b>ARCHITECTS</b> 411 S. West Street, 2nd Floor, Chicago, IL 60606 P. 312.915.3334 • F. 312.915.3334 CONSULTANTS	
<b>ISSUE FOR PERMIT</b> Project Number: 28-421 Drawn By: YP Approved By: AV Date: 09/26/2025 No. 1 Issue: SPECIAL DEVELOPMENT PERMIT 11/25/2025 1 SDP COMMENTS REV	
SHEET TITLE & NUMBER <b>VISION TRIANGLE PLAN</b> <b>G3-02</b>	
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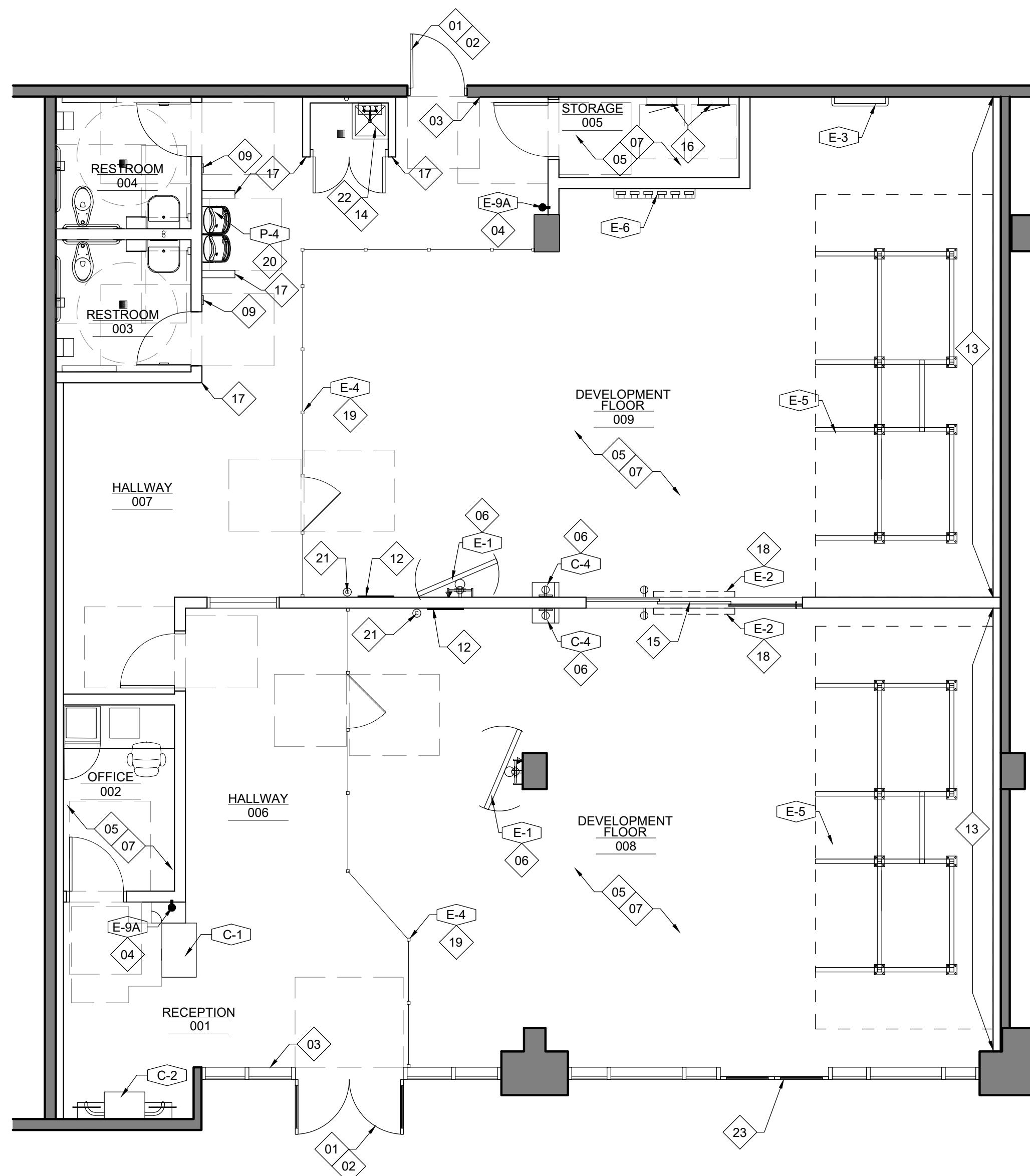
*CASEWORK SCHEDULE		
ITEM #	DESCRIPTION	NOTES
C-1	RECEPTION DESK	PROVIDED BY OWNER, INSTALLED BY GC. ASSEMBLY REQUIRED.
C-2	RETAIL CABINET	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED.
C-3	RETAIL WALL RACK	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED, PROVIDE NEW IN WALL BLOCKING.
C-4	COACH STATION AND WALL BRACKET	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED, PROVIDE NEW IN WALL BLOCKING
C-6	CUBBY BENCH	PROVIDED BY KIDSTRONG HQ, INSTALLED BY GC. ASSEMBLY REQUIRED.

\*CONFIRM WITH AD IF ELECTING WHITE GLOVE - THEN WILL BE GC TO COORDINATE WITH KS EQUIPMENT TEAM WHO WILL PROVIDE AND INSTALL

EQUIPMENT SCHEDULE					
ITEM #	DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
E-1	WALL-MOUNT TELEVISION	SAMSUNG / LEADZM	UN65TU7000FXZA TV. WITH TMXD-103 SWIVEL MOUNT	-	PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE NEW IN-WALL BLOCKING
E-2	SOUND BAR	SAMSUNG	HW-S60TIZA	-	PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE NEW IN-WALL BLOCKING
E-3	PARLETTE WALL RACK	KIDSTRONG	-	-	PROVIDED & INSTALLED BY KIDSTRONG. PROVIDE NEW IN-WALL BLOCKING
E-4	PONY WALL	KIDSTRONG	-	-	GLASS, POSTS & GATE PROVIDED & INSTALLED BY KIDSTRONG. GC TO CALL OUT PIECES THAT ARE NOT STANDARD 42" DURING LAYOUT.
E-5	RIG	KIDSTRONG	-	-	PROVIDED & INSTALLED BY KIDSTRONG.
E-6	BALANCE BEAMS	KIDSTRONG	-	-	PROVIDED & INSTALLED BY KIDSTRONG. PROVIDE NEW IN-WALL BLOCKING
E-9A	FIRE EXT. CABINET (RECESSED)	POTTER ROEMER	7008-DV-PRFH-PRVDFI-BL CABINET WITH 3005 EXTINGUISHER (5 LB. 2A)	WHITE	PROVIDED & INSTALLED BY GC. PROVIDE NEW IN-WALL BLOCKING

#### KEYNOTES

- 01 EXISTING DOOR TO REMAIN. PROVIDE PANIC BAR IF NOT EXISTING. PROTECT DURING CONSTRUCTION. PATCH AND REPAIR AS REQUIRED.
- 02 SIGNAGE ABOVE DOOR TO READ "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"
- 03 TACTILE "EXIT" SIGNAGE, IN ALL EXIT DOORS.
- 04 2A10BC FULLY RECESSED FIRE EXTINGUISHER MOUNTED IN WALL CABINET
- 05 PROVIDE MAXIMUM OCCUPANCY SIGN AT ALL ROOMS.
- 06 TV & COACH'S CUBBY TO BE MOUNTED AT 72" AFF.
- 07 PROVIDE BLOCKING IN WALL FOR ALL EQUIPMENT; CABINETS, GRAB BARS, SINKS, D.F., SHELVES, MIRRORS.
- 08 RECEPTION DESK, ADA COUNTER 36" HIGH MAX. GC INSTALLED OR KID STRONG INSTALLED IF ELECTING WHITE GLOVE.
- 09 ACCESSIBLE TOILET FACILITY SIGNAGE.
- 10 EXISTING SHELL WALL AND STOREFRONT TO REMAIN. PATCH/REPAIR/PINISH AS REQUIRED TO MATCH EXISTING FINISHES.
- 11 CORPORATE STANDARD 36" GATE. NO LATCHING. INCLUDED IN KS EQUIPMENT PACKAGE, INSTALLED BY GC.
- 12 RANK POSTER 24"x36". PROVIDED & INSTALLED BY KS.
- 13 GC TO COORDINATE AND PROVIDE LEVEL 5 FINISH AT WALLS RECEIVING VINYL VENDOR TO INSTALL.
- 14 NEW WATER HEATER ABOVE MOP SINK. PROVIDE BLOCKING. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 15 SLIDING DOOR, TO HAVE SAFETY GLAZING ON ALL PANELS. PROV. & INST. BY KS. CONFIRM TIMING WITH EQUIPMENT TEAM. CAN BE ROLLED INTO WHITE GLOVE.
- 16 ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
- 17 PROVIDE CLEAR CORNER GUARDS ON ALL OUTSIDE CORNERS IN HIGH TRAFFIC AREAS. CONFIRM IF PAINTABLE OR WHITE.
- 18 SOUND BAR ABOVE DOOR TO BE MOUNTED AT 100" AFF.
- 19 PONY WALL-WIDTH BETWEEN POSTS @42" O.C. END CORNER PIECES CAN VARY. A 36" OPENING MUST BE PROVIDED FOR GATE.  $\frac{1}{2}$ " TEMPERED GLASS.
- 20 NEW HIGH/LOW ADA COMPLIANT DRINKING FOUNTAIN. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 21 CAMERA MOUNTED AT 10' AFF.
- 22 NEW MOP SINK. PROVIDE FRP SURFACE BEHIND SINK
- 23 SECURE EXISTING DOORS CLOSE. REMOVE HARDWARE AND ALL EXIT SIGNS. DOOR TO REMAIN CLOSED AT ALL TIMES.



01 FLOOR PLAN  
3/16" = 1'-0"

MUNICIPAL APPROVAL STAMP



KIDSTRONG  
381 W WASHINGTON AVE  
SUNNYVALE, CA 94086



#### ISSUE FOR PERMIT

Project Number: 25-421	Approved By: AV
Drawn By: YP	Date:
No.:	Issue:
1	SPECIAL DEVELOPMENT PERMIT
	SDP COMMENTS REV
	11/25/2025

SHEET TITLE & NUMBER

#### FLOOR PLAN

#### BLOCKING NOTES

PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:

- ACCESSIBILITY REQUIREMENTS & GRAB BARS AT ALL RESTROOM LOCATIONS
- RESTROOM ACCESSORIES INCLUDING TOILET STALL PARTITIONS & BABY CHANGING TABLE
- MILLWORK LOCATIONS - TO BE 6" STRIPS
- CASEWORK AS REQUIRED BY THE MFR & FOR PROPER SUPPORT
- MANAGER'S DESK SHELVES

#### LEGEND

- (X-XX) CASEWORK & EQUIPMENT TAG
- NEW PARTITION
- EXISTING WALL
- EXISTING WALL WITH NEW FURRING

A1-02

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KEYNOTES

- 01 EXISTING STOREFRONT /WINDOWS TO REMAIN. GC TO VERIFY THERE ARE NO CRACKS IN EXISTING GLASS & SEALS DO NOT LEAK. CLEAN INTERIOR OF ALL GLAZING DURING FINAL CLEAN PRIOR TO TURNOVER.
- 02 EXISTING SHELL WALL TO REMAIN. PATCH/REPAIR/FINISH AS REQUIRED TO MATCH EXISTING FINISHES.
- 03 SIGNAGE, CHANNEL LETTERS, GC TO COORDINATE INSTALLATION AND PROVIDE TIME CLOCK AND ALL POWER CONNECTIONS.
- 04 EXISTING DOOR TO REMAIN, PROVIDE PANIC BAR IF NOT EXISTING. PROTECT DURING CONSTRUCTION. PATCH AND REPAIR AS REQUIRED.
- 05 SECURE EXISTING DOORS CLOSE, REMOVE HARDWARE AND ALL EXIT SIGNS. DOOR TO REMAIN CLOSED AT ALL TIMES.

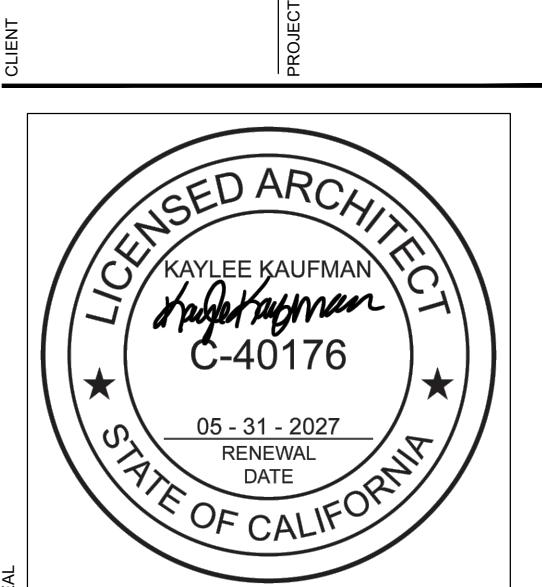
GENERAL NOTES

1. ALL SIGNAGE UNDER SEPARATE PERMIT.
2. G.C. TO VERIFY ALL DIMENSIONS IN FIELD.
3. SCOPE INCLUDES EXISTING TO REMAIN STOREFRONT FOR TENANT SPACE ONLY.



KIDSTRONG

331 W WASHINGTON AVE  
SUNNYVALE, CA 94086



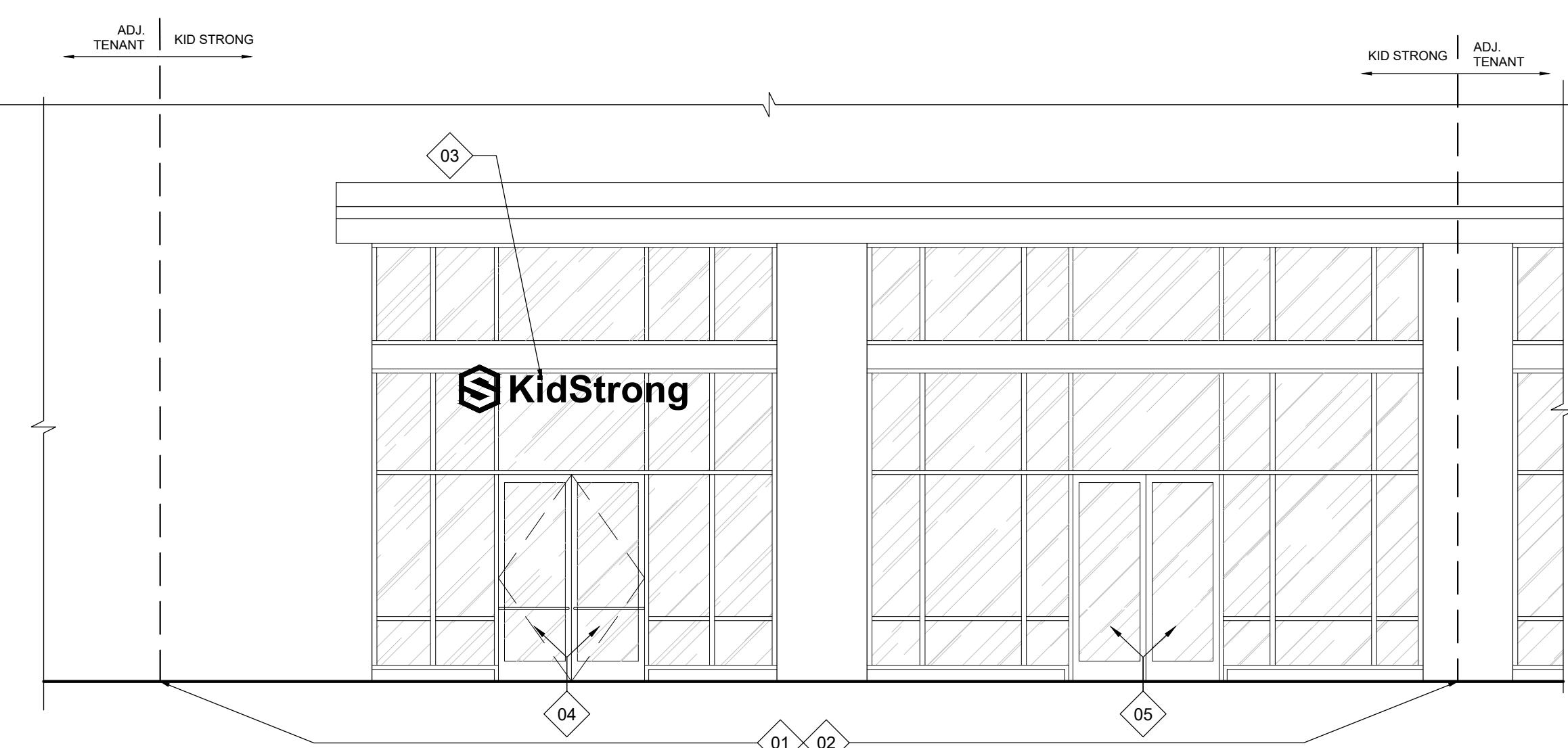
ISSUE FOR PERMIT

SHEET TITLE & NUMBER

EXTERIOR  
ELEVATIONS

A6-01

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01 EXTERIOR ELEVATION - FRONT  
3/16" = 1'-0"