

Hellmuth, Obata & Kassabaum, Inc.



One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

NORTH BUILDING

945 Kifer Road, Sunnyvale, CA 94086

PRIVATE PEDESTRIAN BRIDGE

Between 950 & 945 Kifer Road, Sunnyvale, CA 94086

Prepared for
INTUITIVE SURGICAL, INC.



Issued information
Modification to Approved
Site Development Permit
RESPONSE TO FOURTH ROUND
OF PLANNING COMMENTS
Volume 1

MARCH 1, 2024

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



BuildGroup
Contractor
160 S. Van Ness Ave.
San Francisco, CA 9410

Kier + Wright
Civil Engineer
2850 Collier Canyon Road
Livermore, CA 94551

Cornerstone
Geotechnical Engineer
1250 Oakmead Parkway
Sunnyvale, CA 94085

Taylor Engineering
Mechanical, Plumbing, Fire Protection
1080 Marina Village Parkway, Suite 502
Alameda, CA 94501-1142

The Engineering Enterprise
Electrical
1305 Marina Village Parkway
Alameda, CA 94501

Lerch Bates
Vertical Transportation, Exterior Bldg Maintenance
4480 Redwood Hwy Suite 16-510
San Rafael, CA 94903

KSH Architects
Envelope AOR
349 Sutter Street
San Francisco, CA 94101

Key Idea

Professional Seal

No.	Description	Date
1	SD PROGRESS	2022-06-13
2	FINAL SD	2022-06-27
3	PLANNING SUBMITTAL	2022-06-15
4	MDP SD SET	2022-06-17
5	SD SD	2022-07-29
6	SD SD	2022-06-03
7	PLANNING RESUBMITTAL 01	2022-06-02
8	PLANNING RESUBMITTAL 02	2022-06-04
9	PLANNING RESUBMITTAL 03	2022-11-20
10	PLANNING RESUBMITTAL 04	2022-06-04

Sheet Title

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Original is 46 x 35. Do not scale contents of this drawing.

G4-002

LEGEND

- SHEET ISSUED
- SHEET NOT ISSUED

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L14-400	LIGHTING FIXTURE SCHEDULE	*	*	*	*	*	*
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AS-201	OUTLINE ELEVATIONS				*	*	*
AS-451	ELEVATED SECTIONS - EAST-WEST				*	*	*
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Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 5). This checklist is required for all new buildings, additions of 1,000 square feet or more, and alterations with a permit valuation of \$200,000 and more. Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
S.1 Planning and Design	5.106.1 Storm water pollution prevention. Newly constructed projects which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through local ordinance in Section 5.106.1.1 or Best management practices (BMP) in Section 5.106.1.2.	Sheet: C4-500	Initials and Date:
S.1 Planning and Design	5.106.4 Bicycle parking. Comply with Sections 5.106.4.1 and 5.106.4.2, or meet local ordinance, whichever is stricter.	Sheet: C4-004	Initials and Date:
S.1 Planning and Design	5.106.4.1 Short-term bicycle parking. If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces.		
S.1 Planning and Design	5.106.4.2 Long-term bicycle parking. For new buildings with 10 or more tenant-occupants or for additions or alterations that add 10 or more tenant vehicular parking space, provide secure bicycle parking for 5% of the tenant vehicular parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles. 2. Lockable bicycle room with permanently anchored racks; or Lockable, permanently anchored bicycle lockers.		

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.
Sunnyvale.ca.gov - Search "Planning and Building"

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S.1 Planning and Design	5.106.5.3.1 Electric vehicle (EV) charging. New Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE).	Sheet: Within North Garage, under separate package C10-002	Initials and Date:
S.1 Planning and Design	5.106.5.3.1.1 Single charging space requirements. When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code.	Sheet: will comply in future permit package	Initials and Date:
S.1 Planning and Design	5.106.5.3.2 Multiple charging space requirements. When multiple charging spaces are required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code.	Sheet: will comply in future permit package	Initials and Date:
S.1 Planning and Design	5.106.5.3.3 EV charging space calculation. (N) per Table 5.106.5.3.3 below:	Sheet: will comply in future permit package	Initials and Date:
S.1 Planning and Design	5.106.5.3.3.1 Identification. The service panel (or subpanel) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE".	Sheet: will comply in future permit package	Initials and Date:
S.1 Planning and Design	5.106.5.3.3.2 Light pollution reduction. Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code; and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IESNA TM-15-11; and 3. Allowable BUG ratings not exceeding those shown in Table 5.106.8, OR comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.	Sheet: will comply in future permit package	Initials and Date:
S.1 Planning and Design	5.106.5.3.3.3 Shade trees. Shade trees shall be planted. Percentages shown shall be measured at noon on the summer solstice 5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50% of the parking area within 15 years.	Sheet: will comply in future permit package	Initials and Date:
S.1 Planning and Design	5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size shall be installed to provide shade of 20% of the landscape area within 15 years.	Sheet: will comply in future permit package	Initials and Date:
S.2 Energy	5.201.1 Scope Compliance with the California Energy Commission mandatory standards.	Sheet: will comply in future permit package	Initials and Date:

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S.3 Water Efficiency and Conservation	5.303.3 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 5.303.3.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 5.303.3.2 Urinals. 5.303.3.2.1 Wall-mounted urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted urinals. The effective flush volume of floor-mounted urinals shall not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads. 5.303.3.3.1 Single showerheads. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.	Sheet: will comply in future permit package	Initials and Date:
S.3 Water Efficiency and Conservation	5.303.4 Commercial kitchen equipment. 5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 30 minutes or inactivity. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.	Sheet: will comply in future permit package	Initials and Date:
S.3 Water Efficiency and Conservation	5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alterations to the building.	Sheet: N/A	Initials and Date:
S.3 Water Efficiency and Conservation	5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1403.1, of the California Plumbing Code and in Chapter 6 of this code.	Sheet: will comply in future permit package	Initials and Date:

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S.3 Water Efficiency and Conservation	5.304.1 Outdoor Water Use Scope. The provisions of Section 5.304 Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWLEO) contained with Chapter 27, Division 2, Title 23, California Code of Regulations.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent. 5.408.1.1 Construction waste management plan. Where a construction waste management plan that complies with items 1 through 4 of this section. 5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction waste material diverted from the landfill complies with this section. Exceptions to Sections 5.408.1.1 and 5.408.1.2: 1. Excavated soil and land clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets. 5.408.1.4 Documentation. Provide documentation of the waste management plan that meets the requirements listed in Sections 5.408.1.1 through 5.408.1.3, and the plan is accessible to the enforcement authority. 5.408.2 Universal Waste. Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents. 5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. Exception: Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.	Sheet: will comply in future permit package	Initials and Date:

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S.4 Material Conservation and Resource Efficiency	5.410.1 Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials including organic waste for recycling. 5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.	Sheet: See Attached Waste report	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.410.4 Testing and adjusting. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet. Applies to new systems serving additions or alterations. 5.410.3.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.4.2. 5.410.3.3 Procedures. Perform testing and adjusting procedures in accordance with applicable standards on each system as determined by enforcing agency. 5.410.3.3.1 HVAC balancing. Before a new space conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.3.3.1. 5.410.3.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.3.5 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of warranties/warranties for each system prior to final inspection. Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.503.1 Fireplaces. Install only a direct-vent sealed-combustion gas or sealed wood burning fireplace, or a sealed woodstove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves. Woodstoves shall comply with US EPA New Source Performance Standards (NSPS) emissions limits, where applicable, and shall have a permanent label indicating they are certified to meet the emission limit.	Sheet: N/A	Initials and Date:

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S.4 Material Conservation and Resource Efficiency	5.504.1.3 Temporary ventilation. If the HVAC system is used during construction, use return air filters with a MERV of 6, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. Applies to additions or alterations.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.504.4 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with voc limits. Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted Mtl limits for R02 and other toxic compounds. Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 or the Gold Seal. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.	Sheet: N/A	Initials and Date:

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S.4 Material Conservation and Resource Efficiency	5.504.4.6 Resilient flooring systems. For 80% of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following: 1. Certified under the Resilient Floor Covering Institute (RFCI) Floorscore program. 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010; 3. Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database; or 4. Products certified under the GREENGUARD Gold (formerly the Greenguard Children's for Schools Program).	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.504.5 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. Exceptions: 1. An ASHRAE 10-percent to 15-percent efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/h or less capacity per fan coil. If the energy use of the air delivery system is 0.4 W/cfm or less at design air flow. 2. Existing mechanical equipment.	Sheet: will comply in future permit package	Initials and Date:
S.4 Material Conservation and Resource Efficiency	5.504.7 Environmental tobacco smoke (ETS) control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as otherwise prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.	Sheet: will comply in future permit package	Initials and Date:

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S.5 Indoor Environmental Quality	5.505.1 Indoor moisture control. Buildings shall meet or exceed the provisions of California Building Code, CCR Title 24, Part 2. Sections 1203 and Chapter 14.1.	Sheet: will comply in future permit package	Initials and Date:
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 LEED v4 for BD+C: New Construction & Major Renovati
Project Checklist

Y	H	M	L	N	Req	Integrative Process	1
8	1	2	5			Location and Transportation	16
1	1	1	1	1	1	LEED for Neighborhood Development Location	16
2	0	1	0	0	0	Sensitive Land Protection	1
2	0	1	0	0	0	High Priority Site and Equitable Development (v4.1)	2
3	0	1	0	0	0	Surrounding Density and Diverse Uses (v4.1)	2
4	0	1	0	0	0	Access to Quality Transit	2
1	0	1	0	0	0	Bicycle Facilities (v4.1)	1
0	1	0	0	0	0	Reduced Parking Footprint (v4.1) - (comm)	1
1	0	1	0	0	0	Electric Vehicles (v4.1)	1
5	1	0	4			Sustainable Sites	10
Y						Construction Activity Pollution Prevention	Req
0	1	0	0	0	0	Site Assessment	2
0	1	0	0	0	0	Site Development - Protect or Restore Habitat	2
1	0	0	0	0	0	Open Space	1
0	1	0	0	0	0	Water Management (v4.1)	2
2	0	0	0	0	0	Heat Island Reduction	2
1	0	0	0	0	0	Light Pollution Reduction (v4.1)	1
10	0	0	1			Water Efficiency	11
Y						Outdoor Water Use Reduction	Req
1	0	0	0	0	0	Indoor Water Use Reduction	Req
1	0	0	0	0	0	Building-Level Water Metering	Req
1	0	0	0	0	0	Outdoor Water Use Reduction	2
2	0	0	0	0	0	Indoor Water Use Reduction	2
2	0	0	0	0	0	Cooling Tower Water Use / Optimize Process Water Use (v4.1)	2
1	0	0	0	0	0	Water Metering	1
32	0	1	0			Energy and Atmosphere	33
Y						Fundamental Commissioning and Verification	Req
Y						Minimum Energy Performance	Req
Y						Building-Level Energy Metering	Req
Y						Fundamental Refrigerant Management	Req
6	0	0	0	0	0	Enhance Commissioning	6
1	0	0	0	0	0	Optimize Energy Performance	1
1	0	0	0	0	0	Advanced Energy Metering	1
1	0	0	0	0	0	Grid Interconnection (v4.1)	2
1	0	0	0	0	0	Renewable Energy Production	1
1	0	0	0	0	0	Enhanced Refrigerant Management	1
2	0	0	0	0	0	Green Power and Carbon Offsets	2

Project Name: Intuitive Surgical, Inc. Sunnyvale Headquarters, Sunnyvale, CA - NORTH BUILDING
Date: 2022-07-25

Y	H	M	L	N	Req	Materials and Resources	13
6	1	4	2			Storage and Collection of Recyclables	Req
Y						Construction and Demolition Waste Management Planning	Req
2	1	1	1	1	1	Building Life-Cycle Impact Reduction (v4.1)	5
1	0	1	1	1	1	Building Product Disclosure and Optimization - Environmental Product Declarations (v4.1)	2
2	1	0	0	0	0	Building Product Disclosure and Optimization - Sourcing of Raw Materials (v4.1)	2
1	0	1	1	1	1	Building Product Disclosure and Optimization - Material Ingredients (v4.1)	2
2	0	0	0	0	0	Construction and Demolition Waste Management	2
12	1	3	0			Indoor Environmental Quality	16
Y						Minimum Indoor Air Quality Performance	Req
Y						Environmental Tobacco Smoke Control (v4.1)	Req
2	0	0	0	0	0	Enhanced Indoor Air Quality Strategies	2
2	0	0	0	0	0	Low Emitting Materials (v4.1)	2
1	0	0	0	0	0	Construction Indoor Air Quality Management Plan	1
1	0	0	0	0	0	Indoor Air Quality Assessment	2
2	0	0	1	1	1	Thermal Comfort	1
2	0	0	0	0	0	Interior Lighting (v4.1)	2
1	0	1	1	1	1	Daylight	3
0	0	1	1	1	1	Quality Views	1
1	0	0	0	0	0	Acoustic Performance (v4.1)	1
6	0	0	0	0	0	Innovation	6
1	0	0	0	0	0	Exemplary Performance - Renewable Energy Production	1
1	0	0	0	0	0	Exemplary Performance - Low Emitting Materials	1
1	0	0	0	0	0	Innovation - Purchasing Lamps	1
1	0	0	0	0	0	Innovation - Occupant Comfort Survey	1
1	0	0	0	0	0	Phil. - Designing with Nature, Biophilic Design for the Indoor Environment	1
1	0	0	0	0	0	LEED Accredited Professional	1
2	1	0	1	1	1	Regional Priority	4
Y						Regional Priority - Optimize Energy Performance	1
Y						Regional Priority - BPDQ Raw Materials Sourcing	1
Y						Regional Priority - Building Life Cycle Impact Reduction	1
Y						Regional Priority - Indoor Water Use Reduction	1
Y						Regional Priority - Access to quality transit	1
Y						Regional Priority - Water management	1
82	6	10	13			TOTALS	Possible Points: 110

California 2019 for BD+C, New Construction, Minimum 60 points, Basic; 80 to 89 points, Silver; 90 to 99 points, Gold; 100 to 110 points, Platinum; 110 to 120 points, Diamond

Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA


Helmut, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

Approved by:  Date: 08/04/2022

In Association With:

BuildGroup

Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Commissioning
Commissioning Engineer
1250 Diamond Parkway
Sunnyvale, CA 94086

Taylor Engineering
Mechanical, Plumbing, Fire Protection
1200 Marina Village Parkway, Suite 301
Alameda, CA 94601-1142

The Engineering Enterprise
Electrical
1200 Marina Village Parkway
Alameda, CA 94501

Lentz Bates
Vertical Transportation, Exterior Bldg Maintenance
4400 Redwood Hwy Suite 16-0
San Rafael, CA 94903

KSH Architects
Envelope ADR
3400 Sutter Street
San Francisco, CA 94108

Key/Rev

Prepared By:

Rev.	Description	Date
1	REVISION SUBMITTED	2022-07-25
2	SI CO	2022-07-25
3	SI CO	2022-07-25
4	PLANNING SUBMITTAL (1)	2022-07-25
5	PLANNING SUBMITTAL (2)	2022-07-25
6	PLANNING SUBMITTAL (3)	2022-07-25
7	PLANNING SUBMITTAL (4)	2022-07-25
8	PLANNING SUBMITTAL (5)	2022-07-25
9	PLANNING SUBMITTAL (6)	2022-07-25
10	PLANNING SUBMITTAL (7)	2022-07-25
11	PLANNING SUBMITTAL (8)	2022-07-25
12	PLANNING SUBMITTAL (9)	2022-07-25
13	PLANNING SUBMITTAL (10)	2022-07-25
14	PLANNING SUBMITTAL (11)	2022-07-25
15	PLANNING SUBMITTAL (12)	2022-07-25
16	PLANNING SUBMITTAL (13)	2022-07-25
17	PLANNING SUBMITTAL (14)	2022-07-25
18	PLANNING SUBMITTAL (15)	2022-07-25
19	PLANNING SUBMITTAL (16)	2022-07-25
20	PLANNING SUBMITTAL (17)	2022-07-25
21	PLANNING SUBMITTAL (18)	2022-07-25
22	PLANNING SUBMITTAL (19)	2022-07-25
23	PLANNING SUBMITTAL (20)	2022-07-25
24	PLANNING SUBMITTAL (21)	2022-07-25
25	PLANNING SUBMITTAL (22)	2022-07-25
26	PLANNING SUBMITTAL (23)	2022-07-25
27	PLANNING SUBMITTAL (24)	2022-07-25
28	PLANNING SUBMITTAL (25)	2022-07-25



Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Helmuth, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

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It is acknowledged that the design is preliminary and subject to change.

Bulldog Group
Contractor
100 S. Van Ness Ave.
San Francisco, CA 94103

Kier & Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Cornerstone
Geotechnical Engineer
1250 Grandview Parkway
San Ramon, CA 94583

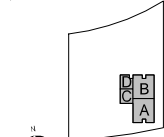
Taylor Engineering
Mechanical, Plumbing, Fire Protection
1000 Marina Village Parkway, Suite 301
Alameda, CA 94501-1142

The Engineering Enterprise
Electrical
1200 Marina Village Parkway
Alameda, CA 94501

Lentz Bates
Vertical Transportation, Exterior Sign Maintenance
4400 Redwood Hwy Suite 16-010
San Rafael, CA 94903

KSH Architects
Envelope ADR
360 Sutter Street
San Francisco, CA 94108

Key Plan



Professional Stamp

No.	Description	Date
1	PLANNING SUBMITTAL	01/24/2021
2	PLANNING SUBMITTAL	01/24/2021
3	PLANNING SUBMITTAL	01/24/2021
4	PLANNING SUBMITTAL	01/24/2021
5	PLANNING SUBMITTAL	01/24/2021
6	PLANNING SUBMITTAL	01/24/2021
7	PLANNING SUBMITTAL	01/24/2021

Project No: 20-24345-02

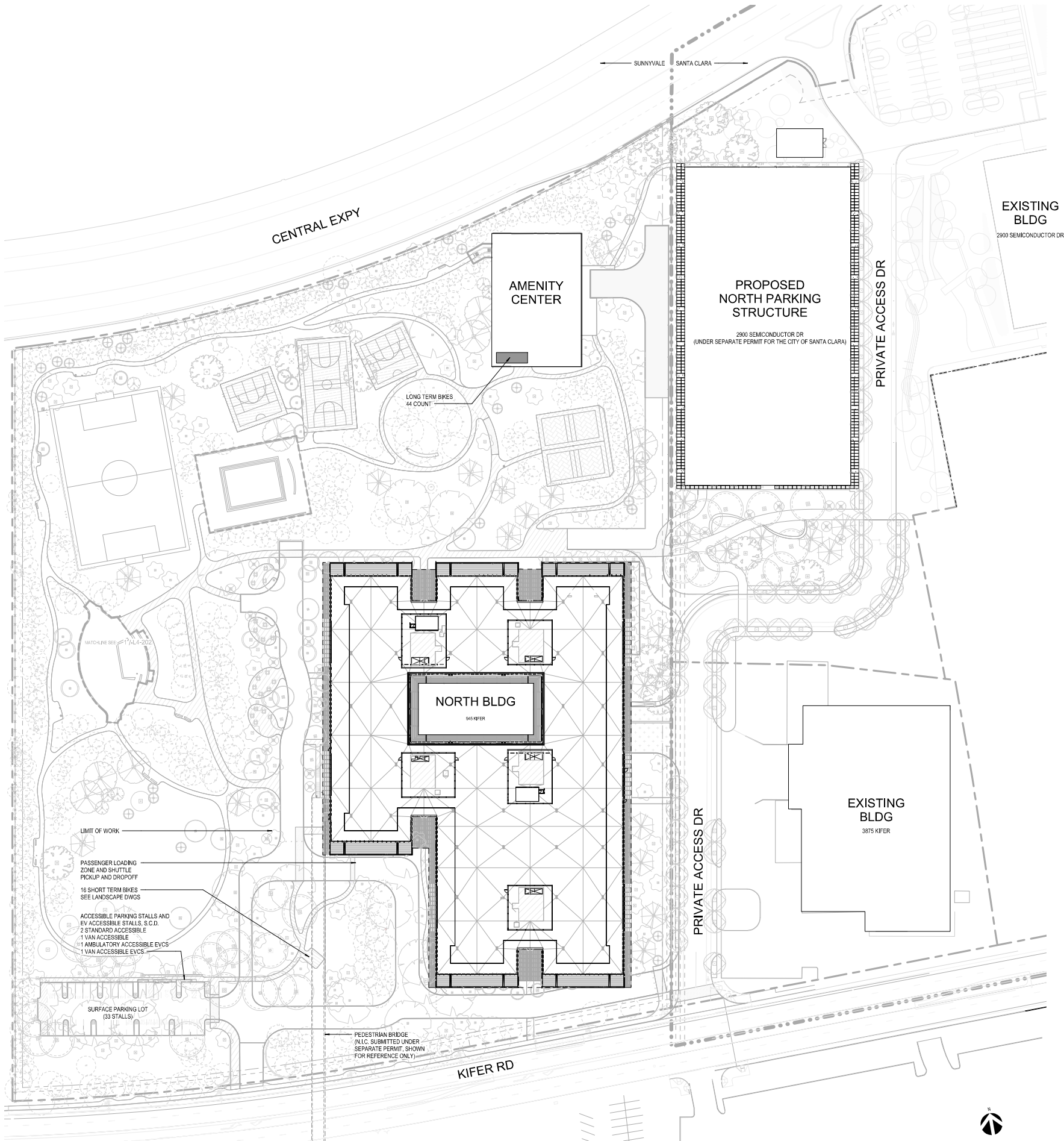
Sheet Title

SITE PARKING PLAN

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Sheet Number

G4-004



VEHICULAR PARKING REQUIREMENTS						
DESCRIPTION	REQUIRED			STALL SIZE	PROVIDED	
	CITY OF SUNNYVALE	CBC 2022	CALGREEN 2022		COUNT	STALL SIZE
OVERALL COUNT	ENTITLED/APPROVED: 937 (NO CHANGE)	N/A	N/A	VARIES, SEE BELOW	904 (IN PARKING STRUCTURE) + 33 (ON SURFACE) = 937	VARIES, SEE BELOW
	TABLE 12.35.080A MIN (2.75/1000SF) 345,000/1000 x 2.75 = 949 949 x 3% REDUCTION FOR SHOWERS/LOCKERS = 921 MAX (4/1000SF) 345,000/1000 x 4 = 1,380 1,380 x 3% REDUCTION = 1,339					

STALL TYPES IN NORTH PARKING STRUCTURE	SEE REFERENCE SHEET G10-002 (UNDER NORTH PARKING STRUCTURE PACKAGE, UNDER CITY OF SANTA CLARA)					
STALL TYPES ON SURFACE LOT						33
STANDARD				8'-6" x 18' (SUNNYVALE SECTION 12.45.120)	9	8'-6" x 18'
ACCESSIBLE	N/A	USING 34 STALLS COUNT (TABLE 11B-208.2)	N/A	9'x18' + 5' AISLE	2	9'x18' + 5' AISLE
VAN ACCESSIBLE	N/A	1 PER 6 ACC COUNT (11B-208.2.4) 2 / 6 = 1	N/A	12'x18' + 5' AISLE OR 9'x18' + 8' AISLE	1	9'x18' + 8' AISLE
EVCS - LEVEL 2	33 x 35% = 12	N/A	N/A	9' x 18' (CALGREEN 4.306-A.2.2.1.1)	6 (SEE NOTE 4 BELOW)	9' x 18'
EVCS - LEVEL 2 CAPABLE	33 x 35% = 12	N/A	N/A	9' x 18'	12	9' x 18'
EVCS - LEVEL 3	1 PER 100 SPACES	N/A	N/A	9' x 18'	1	9' x 18'
EVCS ACCESSIBLE	N/A	1 (TABLE 11B-228.3.2.1)	N/A	9'x18' + 5' AISLE	1	9'x18' + 5' AISLE
EVCS VAN ACCESSIBLE	N/A	1 (TABLE 11B-228.3.2.1)	N/A	9'x18' + 8' AISLE	1	9'x18' + 8' AISLE

NOTES:
1. NORTH GARAGE (2900 SEMICONDUCTOR DR) IS UNDER SEPARATE PERMIT FOR THE CITY OF SANTA CLARA, PERMIT # TBO
2. NORTH BLDG (945 KIFER) GROSS AREA IS 345,000 SF
3. FOR ENLARGED SURFACE PARKING PLANS, SEE SHEET CA-102D
4. INSTALLATION OF EACH DIRECT CURRENT FAST CHARGER MAY SUBSTITUTE FOR 6 LEVEL 2 EVCS SPACES AFTER A MINIMUM OF 6 LEVEL 2 EVCS ARE INSTALLED (CITY OF SUNNYVALE AMENDMENT 5.106.5.3.2)

BICYCLE PARKING REQUIREMENTS						
DESCRIPTION	REQUIRED			CONDITIONS OF APPROVAL (LAWRENCE STATION AREA PLAN) (SAP per CDA)	PROVIDED	
	CITY OF SUNNYVALE	CBC 2022	CALGREEN 2022		COUNT	LOCATION
LONG TERM (CLASS I)	75% OF 5% OF TOTAL PARKING (12.46.150) 75% OF 5% x 1217 = 45	N/A	5% OF TOTAL PARKING (5.106.4.1.2) 5% x 1217 = 61	1 PER 75% OF 6000SF 347,000 x 75% / 6000 = 44	44	WITHIN 300' FROM CLOSEST ENTRY
SHORT TERM (CLASS II)	25% OF 5% OF TOTAL PARKING (12.46.150) 25% OF 5% x 1217 = 15	N/A	5% OF VISITORS, 2 MIN. WITHIN 200' FT OF ENTRANCE (5.106.4.1.3) 5% x 124 = 7	1 PER 25% OF 6000SF 347,000 x 25% / 6000 = 15	15	WITHIN 200' FROM MAIN ENTRY

NOTES:
1. THE ORIGINAL ENTITLEMENT RELIED ON THE SOUTH SITE FOR ADDITIONAL PARKING SPACES FOR THE NORTH BLDG. THIS IS NO LONGER NEEDED BECAUSE THE NORTH SITE IS NOW SELF-SUFFICIENT WITH THE ADDITION OF AN ABOVE-GRADE PARKING GARAGE (2900 SEMICONDUCTOR DR).
2. FOR SOUTH SITE PARKING GARAGE & BICYCLE COUNTS SEE A-003

SITE PARKING PLAN LEGEND

--- PROPERTY LINE
--- LIMIT OF WORK

Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

MODIFICATIONS TO APPROVED
SPECIAL DEVELOPMENT PERMIT

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Helmut, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

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It is understood that:

BullGroup
Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Cornerstone
Geotechnical Engineer
1250 Diamond Parkway
Sunnyvale, CA 94085

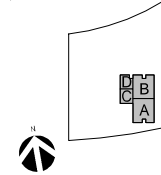
Taylor Engineering
Mechanical, Plumbing, Fire Protection
1300 Marina Village Parkway, Suite 301
Alameda, CA 94501-1142

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Electrical
1200 Marina Village Parkway
Alameda, CA 94501

Lench Bates
Vertical Transportation, Exterior Sign Maintenance
4400 Rockwood Hwy Suite 16-010
San Rafael, CA 94903

KSH Architects
Enriquez ACR
3400 Sutter Street
San Francisco, CA 94108

Key Plan



Professional Stamp

No.	Description	Date
1	PLANNING REVIEW/FINAL, IS	01/24/2024
2	PLANNING REVIEW/FINAL, IS	01/24/2024
3	PLANNING REVIEW/FINAL, IS	02/04/2024

Project No: 20-24045-02

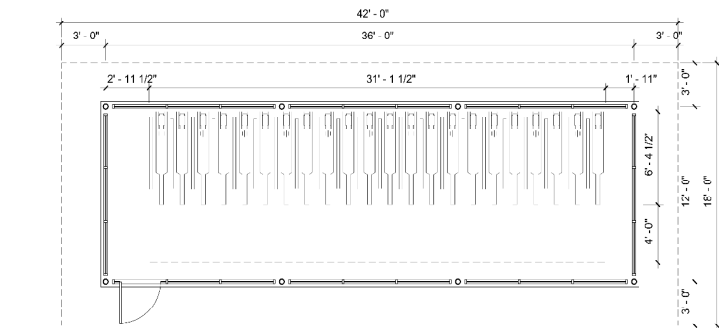
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BIKE PARKING NORTH
SITE

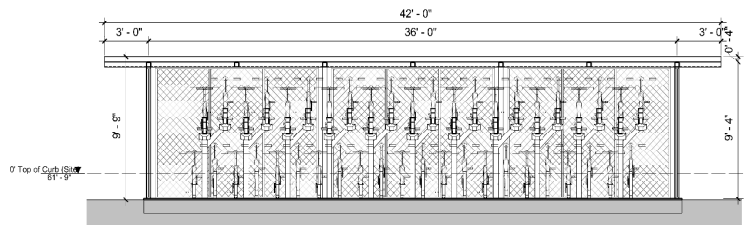
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Sheet Number

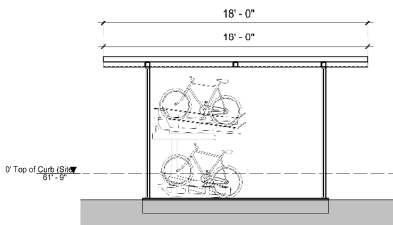
G4-005



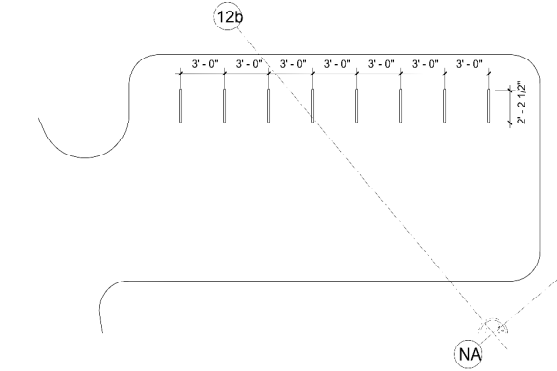
1 Class 1 North Bike Parking DA Plan - 465 sf
1/4" = 1'-0"



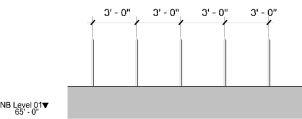
2 Class 1 North Bike Parking DA Longitudinal Section
1/4" = 1'-0"



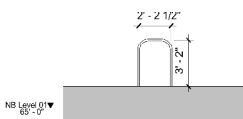
3 Class 1 North Bike Parking DA Cross Section
1/4" = 1'-0"



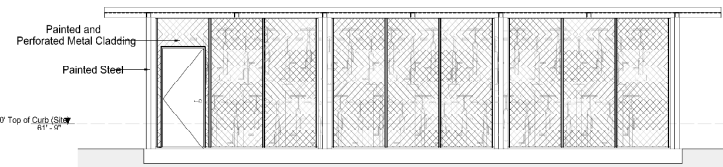
8 Class 2 North Bike Parking (Public) DA Plan
1/4" = 1'-0"



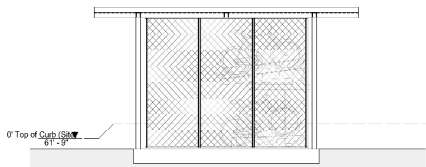
9 Class 2 North Bike Parking DA Typ Longitudinal Section
1/4" = 1'-0"



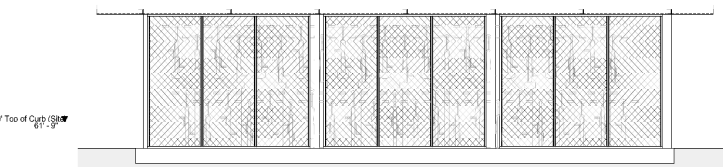
10 Class 2 North Bike Parking DA Typ Cross Section
1/4" = 1'-0"



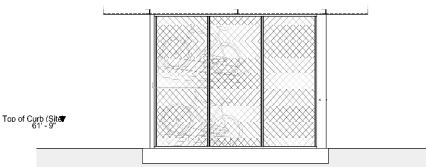
4 Class 1 North Bike Parking DA Elevation South
1/4" = 1'-0"



5 Class 1 North Bike Parking DA Elevation East
1/4" = 1'-0"



6 Class 1 North Bike Parking DA Elevation North
1/4" = 1'-0"

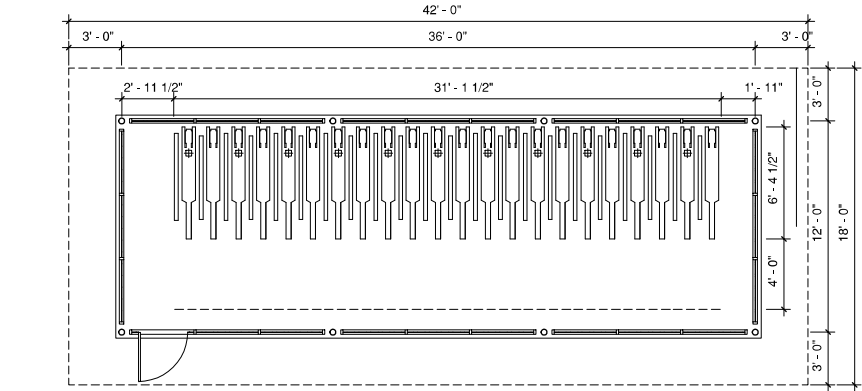


7 Class 1 North Bike Parking DA Elevation West
1/4" = 1'-0"

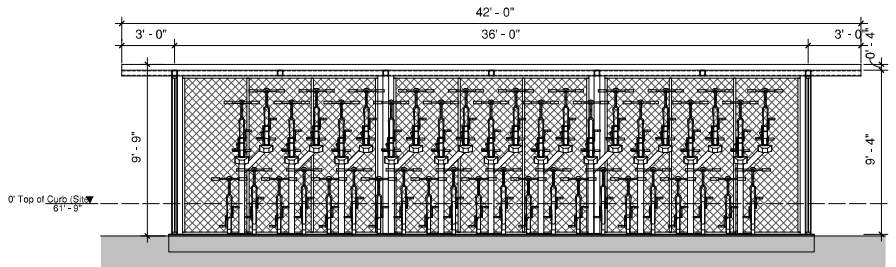
Site	North site		
Land use	Corporate Office		
GSF	358,000		
Restaurant	13,000		
Adjusted GSF	345,000		
	Required parking ratio	Required number of parking spaces	Provided number of parking spaces
Class I Bicycle parking	1 per 75% of 6,000 SF	42	44
Class II Bicycle parking*	1 per 25% of 6,000 SF	14	16
Total Bicycle parking (Class I and Class II)		56	60

*One Class II rack equals 2 bike parking spaces

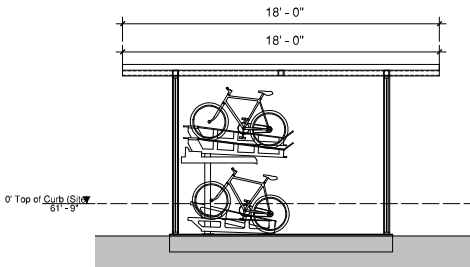




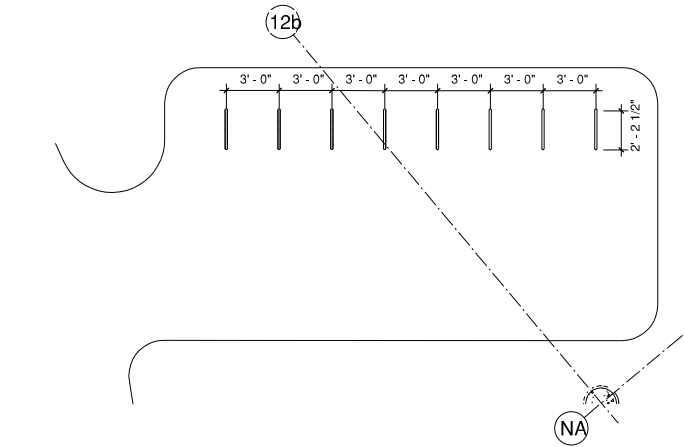
1 Class 1 North Bike Parking DA Plan.
1/4" = 1'-0"



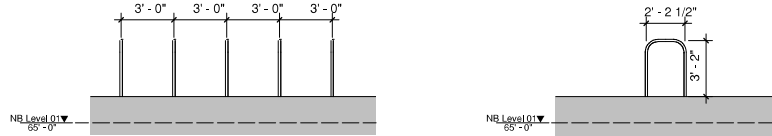
2 Class 1 North Bike Parking DA Longitudinal Section
1/4" = 1'-0"



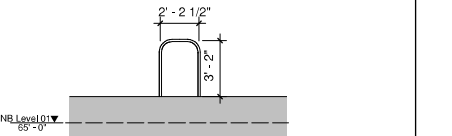
3 Class 1 North Bike Parking DA Cross Section
1/4" = 1'-0"



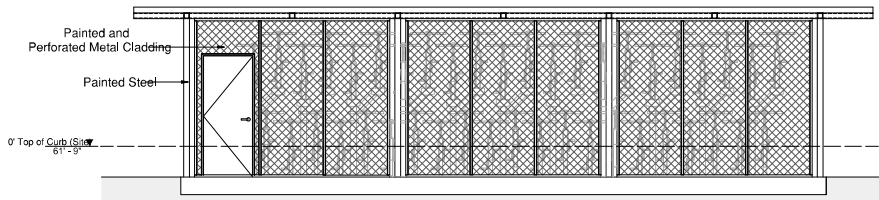
8 Class 2 North Bike Parking (Public) DA Plan
1/4" = 1'-0"



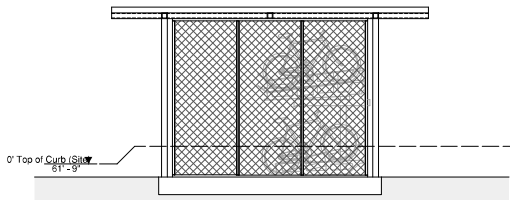
9 Class 2 North Bike Parking DA Typ Longitudinal Section
1/4" = 1'-0"



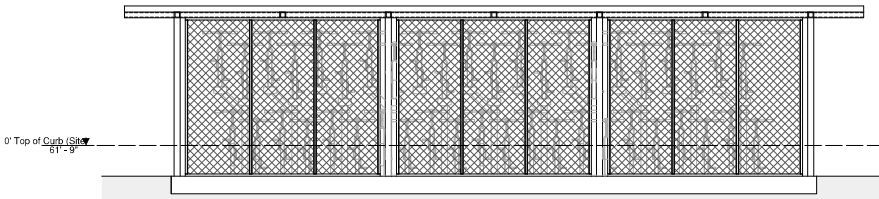
10 Class 2 North Bike Parking DA Typ Cross Section
1/4" = 1'-0"



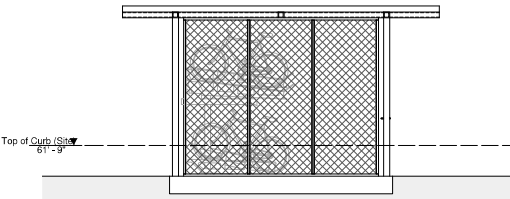
4 Class 1 North Bike Parking DA Elevation South
1/4" = 1'-0"



5 Class 1 North Bike Parking DA Elevation East
1/4" = 1'-0"



6 Class 1 North Bike Parking DA Elevation North
1/4" = 1'-0"



7 Class 1 North Bike Parking DA Elevation West
1/4" = 1'-0"

Site	North site		
Land use	Corporate Office		
GSF	364,000		
Restaurant	13,000		
Adjusted GSF	351,000		
	Required parking ratio	Required number of parking spaces	Provided number of parking spaces
Class I Bicycle parking	1 per 75% of 6,000 SF	44	44
Class II Bicycle parking*	1 per 25% of 6,000 SF	15	15
Total Bicycle parking (Class I and Class II)		59	59

*One Class II rack equals 2 bike parking spaces

FOR REFERENCE ONLY

Foster + Partners

Riverside, 22 Hester Road
London SW11 4AN
T +44(0)20 7738 0455
www.fosterandpartners.com

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ARUP

560 Mission Street, Suite 700
San Francisco, CA 94105

(415) 846-0201
www.arup.com

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, CA 95054

(408) 727-6665

BrightView

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1715 15TH STREET
SANTA MONICA, CA 90404
(310) 829-4707

Client
Intuitive

Project
Intuitive

Title
Bike Parking
North Site

Project No.
2768
Number
A-b2-321-xx-01-PL

Date
31 JUL 2020

Scale at Arch E1
1/4" = 1'-0"

Revision
01

CODE DATA

GOVERNING CODES:

- A. 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 2.
B. 2019 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 3.
C. 2019 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 3.
D. 2019 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 5.
E. 2019 CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 9.
F. 2019 CALIFORNIA ENERGY, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 PART 6
G. ADAAG ADA ACCESSIBILITY GUIDELINES
H. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
J. SUNNYVALE MUNICIPAL CODE

BUILDING

CODE SECTIONS	TYPE	TYPE	NOTES
AUTOMATIC SPRINKLER SYSTEM - SEC. 903	YES	YES	903.3.1.1 PER NFPA 13 REGULATIONS
OCCUPANCY TYPE(S) - CHAPTER 3	S-2 PARKING GARAGE (OPEN, PER 406.5)	F-1 (CUP)	OPENNESS - 406.5.2
CONSTRUCTION TYPE(S) - CHAPTER 4 AND 6	IB	IB	TABLES 406.5.4, 601 AND 602
GRADE PLANE - CHAPTER 2 DEFINITION	67"	67"	NOTE AS ELEVATION RELATIVE TO ESTABLISHED DATUM ON DRAINAGE PLAN
ALLOWABLE HEIGHT, ABOVE GRADE PLANE - TABLE 504.3	180'	180'	ELEVATOR TOWERS - UNLIMITED IN HEIGHT IF NC (SECTION 504.3 EXCEPTION).
ACTUAL HEIGHT	122'-4"	108'-10"	MEASURED FROM GRADE PLANE
ALLOWABLE STORIES, ABOVE GRADE PLANE - TABLE 504.4	12 STORIES	12 STORIES	
ACTUAL STORIES	5 STORIES	4 STORIES	BASED ON CONSTRUCTION TYPE
BASE ALLOWABLE AREA (A _b), PER STORY - TABLE 506.2	237,000 SQ. FT. PER STORY	UNLIMITED SQ. FT. PER STORY	
ACTUAL AREA (PER OCCUPANCY TYPE, PER STORY)	111,662 SQ. FT.	6000 SQ. FT.	BASED ON CONSTRUCTION TYPE
NON-SEPARATED MIXED OCCUPANCY METHOD - SEC. 508.3.2 ALLOWABLE STORY AREA, PLUS ALLOWED AREA MODIFICATION, BASED ON MOST RESTRICTIVE ALLOWANCES FOR OCCUPANCY GROUPS UNDER CONSIDERATION, FOR TYPE OF CONSTRUCTION.	$A_b = [A_s + (NS \times I)]$ S-2: $A_b = [A_s + (NS \times I)]$ 237,000 + (79,000 x 0.75) = 296,250		S2 OCCUPANCY IS MORE RESTRICTIVE THAN F1, THEREFORE EVALUATE AREA OF STORY AGAINST B OCCUPANCY TABULAR VALUE + ALLOWED AREA MODIFICATION. EQUATION 5-3
FOR STRUCTURES WITH FOUR OR MORE STORIES ABOVE GRADE PLANE, MAXIMUM TOTAL BUILDING AREA IS THE AGGREGATE SUM OF RATIOS OF ACTUAL AREA OF EACH STORY DIVIDED BY THE ALLOWABLE AREA OF SUCH STORIES, NOT TO EXCEED 3.	ACTUAL/ALLOWABLE = RATIO GROUND LEVEL: S1 105,473/296,250 = .356 GROUND LEVEL: F1 6000/296,250 = .020 LEVEL 2: S1 108,000/296,250 = .37 LEVEL 2: F1 2860/296,250 = 0.009 LEVEL 3: S1 108,000/296,250 = .37 LEVEL 3: F1 3140/296,250 = 0.010 LEVEL 4: S1 108,000/296,250 = .37 LEVEL 4: F1 2860/296,250 = 0.009 LEVEL 5: S1 102,840/296,250 = .346 FINAL AGGREGATE SUM OF RATIOS = 1.85 < 3		
STRUCTURAL FRAME	2 HR		CONCRETE STRUCTURAL FRAME. SEE STRUCTURAL FRAMING PLANS AND ELEVATIONS FOR LOCATION OF PRIMARY AND SECONDARY MEMBERS.
BEARING WALLS - EXTERIOR	2 HR		N/A
BEARING WALLS - INTERIOR	2 HR		N/A
NON BEARING WALLS AND PARTITIONS - EXTERIOR	SEE REQUIREMENTS BELOW		
NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HR		
FLOOR CONSTRUCTION	2 HR		SEE S-700 SERIES FOR SLAB DETAILS.
ROOF CONSTRUCTION	1 HR		N/A
EXTERIOR F.R. REQUIREMENTS - TABLE 602	IB		
EXTERIOR WALLS AND PARTITIONS:	NR, ≥ 30"		
OPENINGS (UNPROTECTED) - MAXIMUM AREA OF EXTERIOR WALL OPENINGS, SECTION AND TABLE 705.8.	UNLIMITED, ELSEWHERE		BASED ON DISTANCE AND SPRINKLERS (SEE TABLE FOOTNOTE G.)
SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS)	NOT REQUIRED		SEE SECTIONS 406.5.9, 712.1.10.2 AND 1019.3.6
OCC. LOAD - TABLE 1004.1.2	108,000/200 = 540	6000/300 = 20	CALCULATE FOR LARGEST TIER
EXITS REQUIRED - TABLE 1006.3.1	3	1	SEE TABLE 1006.2.1 FOR MAX. OCC. FOR 1 EXIT.
EXITS PROVIDED	3	1	
WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2 STAIRS: OCC. X 0.3 = TOTAL INCHES (48" MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1007.3. 44" MIN. CLEAR, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1007.3. EXCEPT, #1, WHEN THE BUILDING IS SPRINKLERED.) OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES (32" MIN. CLEAR WIDTH, PER 11B-404.2.3, DOORS, DOORWAYS AND GATES.) WIDTH PROVIDED	STAIRS: 540 x 0.3 = 162" 162"/3 = 54" OTHER THAN STAIRS: 540 x 0.2 = 108" STAIRS: 3 x 54" = 162" OTHER THAN STAIRS: NA	STAIRS: 20 x 0.3 = 6" MIN 36" STAIRS: 1 x 54" = 54"	FOR MULTIPLE MEANS OF EGRESS, IF ONE REQUIRED EXIT IS LOST, THE SECOND ONE MUST PROVIDE 50% OF REQUIRED CAPACITY. (FACTOR OF 0.2, WHEN EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM - SECTION 1005.3.1, EXCEPTION) (AREAS OF REFUGE N/A, IF SERVING S-2 OPEN PARKING STRUCTURES, PER EXCEPT. # 4) (FACTOR OF 0.15, WHEN EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM - SECTION 1005.3.1, EXCEPTION)

S-2 (LOW HAZARD STORAGE) INCLUDES BOTH OPEN AND CLOSED PARKING STRUCTURES, PLUS OTHER LOW HAZARDOUS MATERIALS. TABLE 705.8, FOOT NOTE G. THE AREA OF OPENINGS IN AN OPEN PARKING STRUCTURE WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 10 FEET SHALL NOT BE LIMITED. VEHICLE BARRIERS, 406.4.3 - 2'4" TALL MINIMUM, PLACED WHERE DIFFERENCE IN ELEVATION IS GREATER THAN 1'-0", (X > 1'-0").

PARKING REQUIREMENT

SITE	CONSTRUCTION DOCUMENTS
LANDUSE	MANUFACTURING AND R&D
GSF	846,950 SQ.FT
RESTAURANT & KITCHEN	17,399 SQ.FT
ADJUSTED GSF	829,551 SQ.FT
PARKING RATIO (LAP REQUIREMENT)	2 SPACES PER 1000 SQ.FT
TOTAL REQUIRED PARKING	1,659 STALLS
REQUIRED PARKING WITH 3% REDUCTION	1,610 STALLS
SOUTH BUILDING WILL BE UNDER A SEPARATE PERMIT.	

PARKING STALL SUMMATION - PARKING STRUCTURE

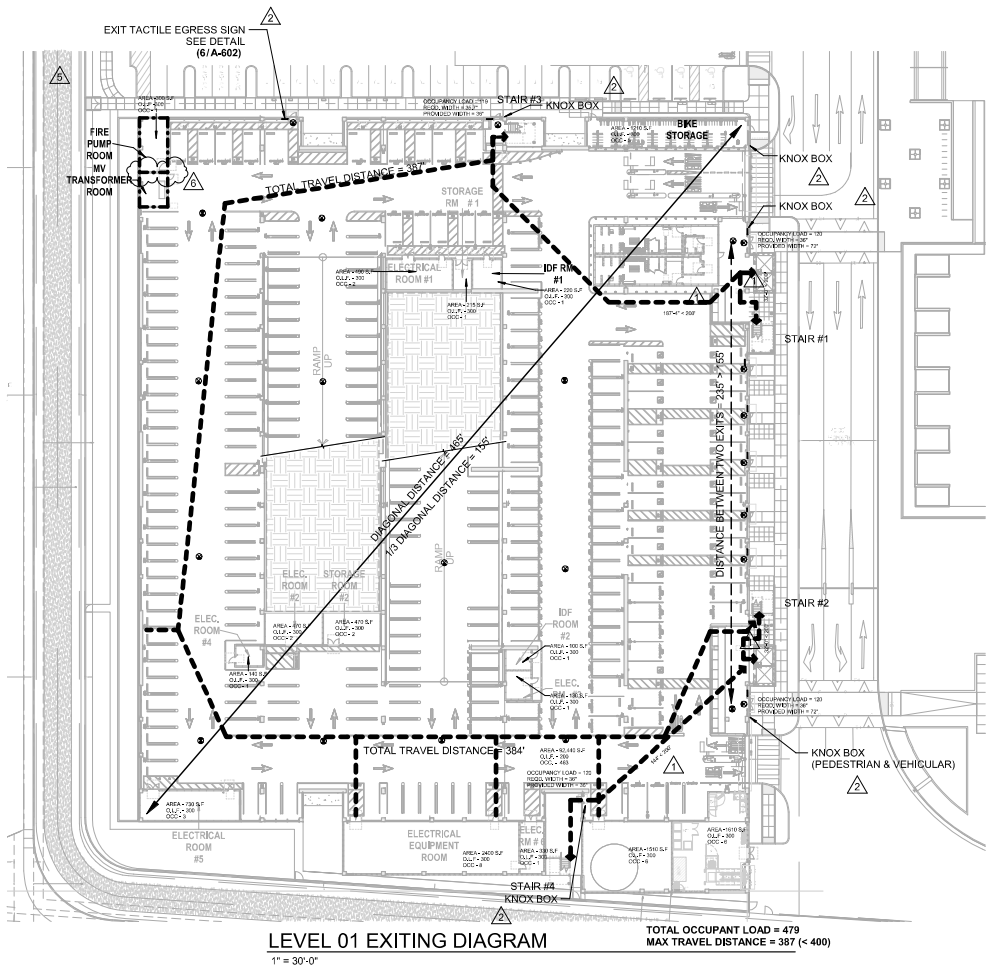
LEVEL	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	EV DAY 1 LEVEL 2 (35%)				TOTAL EV DAY 1 LEVEL 2	EV FUTURE LEVEL 1 (30%) (8'-6"x18'-0")	EV FUTURE LEVEL 2 (30%) (8'-6"x18'-0")	CARSHARE ** (5%) (8'-6"x18'-0")	TOTAL	SQ. FOOTAGE	SQ. FT./STALL
			STANDARD EV (8'-6"x18'-0")	EV ACCESSIBLE (8'-6"x18'-0")	EV VAN ACCESSIBLE (12'-0"x18'-0")	EV AMBULATORY (10'-0"x18'-0")							
LEVEL 05	0	0	130	0	0	0	130	100	73	20	323	102,645	315
LEVEL 04	0	0	119	0	0	0	119	126	85	20	350	108,000	309
LEVEL 03	0	0	121	0	0	0	121	124	88	20	353	108,000	306
LEVEL 02	0	0	121	0	0	0	121	127	84	20	352	108,000	308
LEVEL 01	17	4	48	12	3	13	76	92	50	2	242	105,473	447
TOTAL	17	4	539	12	3	13	567	569	360	82	1,620	532,118	330

** CAR SHARE SPACES AND ADA STALLS WILL BE EV FUTURE LEVEL 1

THE PROJECT WILL PROVIDE LEVEL 2 EVCS FOR MIN. 35% OF PARKING SPACES, AND EV CAPABLE FOR ADDITIONAL MIN. 35% PER SUNNYVALE MUNICIPAL CODE 16.42.060 - 5.106.5.3.1 OFFICE BUILDINGS. ALTHOUGH THE LAND USE OF THE SOUTH BUILDING WAS ENTITLED AS A 'MANUFACTURING AND R&D', THE MANUFACTURING AND LAB AREAS OF THE BUILDING MORE CLOSELY ALIGN WITH THE OFFICE FUNCTIONS THAN THEY DO WITH RETAIL OR INSTITUTIONAL USES, WHICH FALL UNDER PUBLIC ACCESSIBLE IN A TRANSITORY NATURE AND THE NEED FOR SHORT TERM PARKING. HENCE THE REQUIREMENT FOR LEVEL 3 CHARGING. THE NATURE OF THIS PARKING GARAGE IS FOR MORE LONG TERM PARKING OF 4 TO 8 HOURS, WHICH IS WHY OFFICE BUILDINGS DO NOT REQUIRE LEVEL 3 CHARGERS.

EXITING DIAGRAMS

- 2019 C.B.C. SECTION 1016, TABLE 1016.2 "EXIT TRAVEL DISTANCE"
S2 OCCUPANCY EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THE MAXIMUM TRAVEL DISTANCE IS 400'
- FOR ADDITIONAL LEVELS, SEE SHEET (A-003A)



ADA PARKING REQUIREMENT - PS

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ADA PARKING SPACES	MINIMUM NUMBER OF REQUIRED VAN ADA PARKING SPACES
1613 - 512/DAY 1 EV* = 1101 SPACES	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000 =20 + (100/100) =21	1 IN EVERY 5 ADA SPACES =21/5 =4
TOTAL ADA PROVIDED	=21 - 4 (VAN ADA) =17 STANDARD ADA	4 VAN ADA

ADA PARKING REQUIREMENT - SURFACE LOT

TOTAL NUMBER OF PARKING SPACES PROVIDED ON THE SURFACE LOT	MINIMUM NUMBER OF REQUIRED ADA PARKING SPACES	MINIMUM NUMBER OF REQUIRED VAN ADA PARKING SPACES
55 - 20/DAY 1 EV* = 35 SPACES	2	1 IN EVERY 5 ADA SPACES = 1
TOTAL ADA PROVIDED	=2 - 1 (VAN ADA) =1 STANDARD ADA	1 VAN ADA

*AS PER SECTION 11B-208.1, * ELECTRIC VEHICLE CHARGING STATIONS ARE NOT PARKING SPACES FOR THE PURPOSE OF THIS SECTION"

PARKING STALL SUMMATION - SURFACE PARKING LOT

LEVEL	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	EV DAY 1 LEVEL 2 (35%) (8'-6"x18'-0")	EV DAY 1 LEVEL 3 (8'-6"x18'-0")	EV ACCESSIBLE (8'-6"x18'-0")	EV VAN ACCESSIBLE (12'-0"x18'-0")	EV AMBULATORY (10'-0"x18'-0")	EV FUTURE LEVEL 2 (30%) (8'-6"x18'-0")	EV FUTURE LEVEL 1 (30%) (8'-6"x18'-0")	TOTAL	SQ. FOOTAGE	SQ. FT./STALL
TOTAL	1	1	18	0	1	1	0	20	13	55	NA	NA

TOTAL STALLS - 1675
65 STALLS PROVIDED FOR THE NORTH SITE

FOR SITE PLAN SEE A-100

EXITING LEGEND

- ACTUAL TRAVEL DISTANCE
- DIAGONAL DISTANCE
- DISTANCE BETWEEN EXITS
- EXIT SIGN - SEE E1-301 - E1-305
- TACTILE EGRESS SIGN SEE DETAIL (61/A-602)
- 1-HR.

FIRE RATINGS LEGEND

Project
ISI CAMPUS EXPANSION
SOUTH PARKING
STRUCTURE & CENTRAL
PLANT
932 & 950 Kifer Road, Sunnyvale, CA, 94086
Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA

Architect - Engineers - Parking Planners

WATRY DESIGN, INC.
San Jose, California
Irvine, California

watrydesign.com

Approved for final design (signature)

By: [Signature]

Build Group

Contractor

180 S. Van Ness Ave.,

San Francisco, CA 94103

Kier + Wright

2000 Collier Canyon Road

Livermore, CA 94551

Condon Johnson & Associates Inc.

Geotechnical Engineer

401 Richard Way, Suite 200

Oakland, CA 94612

ACCO Engineering Systems

Mechanical & Plumbing

2301 Gurney Drive

San Jose, CA 95131

Rosendin

Electrical

2500 Collier Parkway

San Jose, CA 95134

Golden Bear Fire Protection

Fire Protection

22315 Commodore St.

Hayward, CA 94545

Lynch Bates

Vertical Transportation, Exterior Sign Maintenance

4400 Stevenson Hwy, Suite 105-10

San Rafael, CA 94903

HOK - Hellmuth, Obata & Kassabaum, Inc.

Landscaping

One Bush Street, Suite 200

San Francisco, CA 94104 USA

Cornestone Earth Group, Inc.

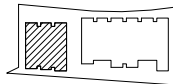
Geotechnical Engineer

1250 Gaiens Road, Suite 100

Sunnyvale, CA 94085

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APPLICATION # 2022-0093

Key/Rev



Professional Seal



No.	Description	Date
1	Design/Construction	05/24/2022
2	50% Construction Sub.	05/24/2022
3	Revised for New Codes	07/17/2022
4	Plan Check Response #1	08/04/2022
5	Construction Submittal #1	08/15/2022
6	Construction Submittal #2	08/25/2022
7	Plan Check Response #2	09/01/2022
8	Revisions Resubmitted #1	09/01/2022
9	Revisions Resubmitted #2	09/01/2022
10	Revisions Resubmitted #3	09/01/2022

Project No: 20-027

Sheet No:

CODE DATA SHEET

Original: 10/15/2022, last revision: 10/15/2022

Sheet Number

A-003

Project
ISI CAMPUS EXPANSION
SOUTH PARKING
STRUCTURE & CENTRAL
PLANT
932 & 950 Kifer Road, Sunnyvale, CA, 94086
Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA

Architect - Engineers - Parking Planners



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San Jose, California
Irvine, California

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Bulldog Group

Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright

Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Condon Johnson & Associates Inc.

Geotechnical Engineer
401 Richard Way, Suite 200
Oakland, CA 94612

ACCO Engineered Systems

Mechanical & Plumbing
2201 Quince Drive
San Jose, CA 95131

Rosendin

Electrical
2508 Lochman Parkway
San Jose, CA 95134

Golden Bear Fire Protection

Fire Protection
22315 Connecticut St.
Hayward, CA 94545

Lynch Bates

Vertical Transportation, Exterior Bldg Maintenance
4400 Rockwood Way, Suite 105-10
San Rafael, CA 94903

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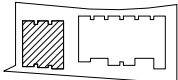
Landscape
One Bush Street, Suite 200
San Francisco, CA 94104 USA

Cornerstone Earth Group, Inc.

Geotechnical Engineer
1250 Gorman Plaza
Sunnyvale, CA 94085

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APPLICATION # 2022-0050

Key Plan



Professional Seal:

No.	Description	Date
1	Design Development	05/24/2022
2	Site Construction Doc.	10/26/2022
3	Final Construction Doc.	11/15/2022
4	Final Construction Doc.	02/04/2023
5	Final Construction Doc.	05/15/2023
6	Final Construction Doc.	05/15/2023
7	Final Construction Doc.	05/15/2023
8	Final Construction Doc.	05/15/2023
9	Final Construction Doc.	05/15/2023
10	Final Construction Doc.	05/15/2023

Project No: 20-027

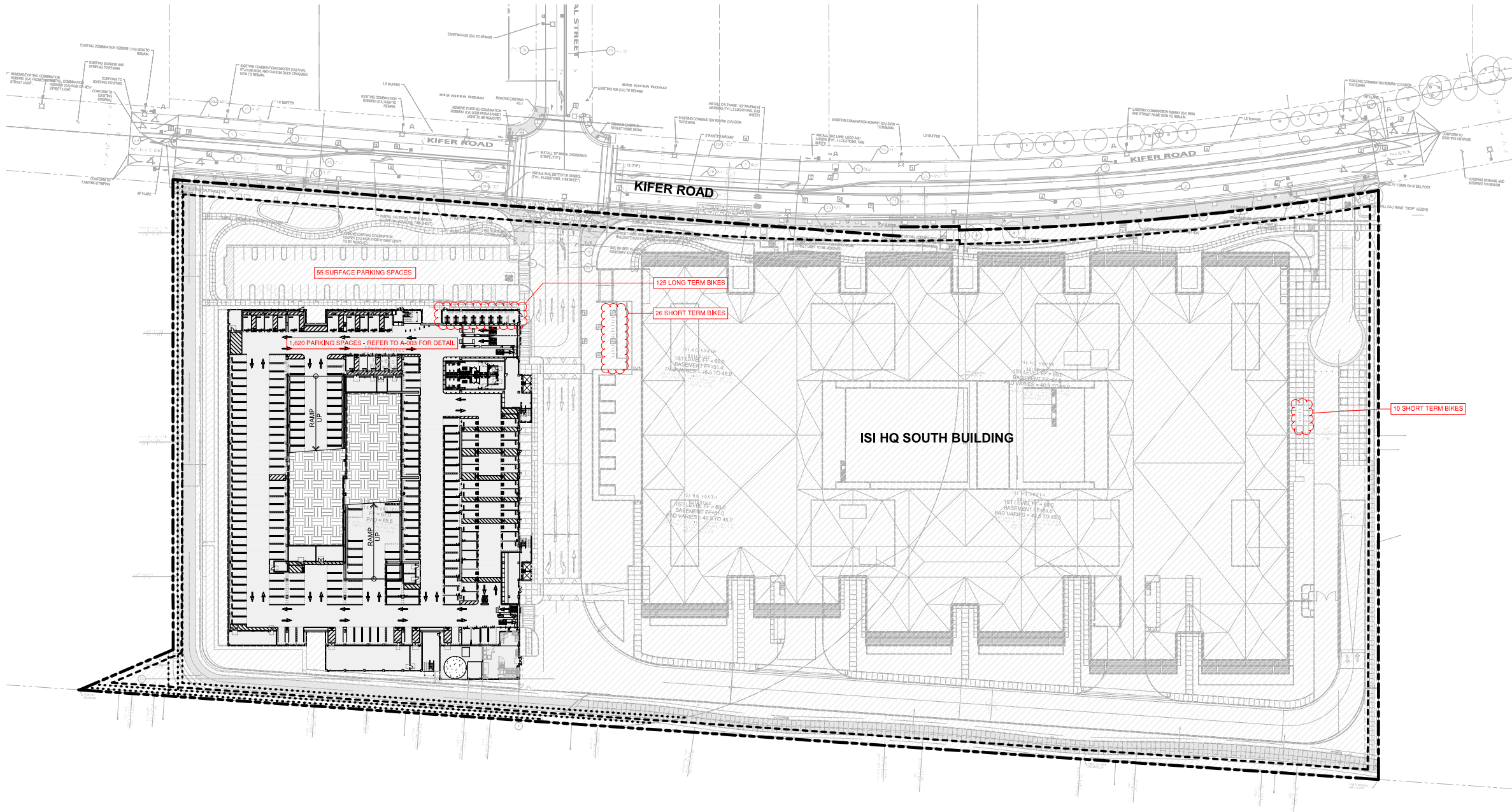
Sheet Title

MASTER SITE PLAN

Original is a true and correct copy of the drawing.

Sheet Number

A-100



MASTER SITE PLAN

1" = 40'-0"

LEGEND

- INDICATES PARKING STRUCTURE FOOT PRINT
- NOT IN PROJECT SCOPE - SEE PERMIT 2022-0050
- INDICATES PROPERTY LINE
- INDICATES ASSUMED PROPERTY LINE
- INDICATES PROPERTY SETBACK
- INDICATES EASEMENT LINE



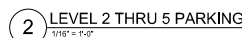
SCALE: 1" = 30'-0"

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h+k

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4480 Redwood Hwy Suite 18-510
San Rafael, CA 94903



07/07/2010 10:30 AM

NOTE:
- 104 STALLS ARE ALLOCATED FOR 945 NIFER. SUNNYVALE PIR SHARED USE AGREEMENT

No.	Description	Date
1	PLANNING SUBMITTAL	2023-06-1
2	PLANNING RESUBMITTAL 01	2023-06-6
3	PLANNING RESUBMITTAL 02	2023-06-6
4	PLANNING RESUBMITTAL 03	2023-12-4
5	PLANNING RESUBMITTAL 04	2024-03-1

Project No: 20.04045.00

PARKING REQUIREMENT CALCULATIONS

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G10-002



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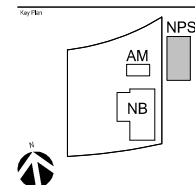
BuildGroup
Contractor
163 S. Van Ness Ave.
San Francisco, CA 9410

Kier + Wright
Civil Engineer
2850 Collier Canyon Road
Livermore, CA 94551

Taylor Engineering
Mechanical, Plumbing, Fire Protection
1080 Marina Village Parkway, Suite 5
Alameda, CA 94501-1142

The Engineering Enterprise
Electrical
1335 Marina Village Parkway
Alameda, CA 94501

Lerch Bates
Vertical Transportation, Exterior Bldg Maintenance
4480 Redwood Hwy Suite 16-510
San Rafael, CA 94903



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SANTA CLARA APPLICATION #: TBD

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Project No: 20.04045.0

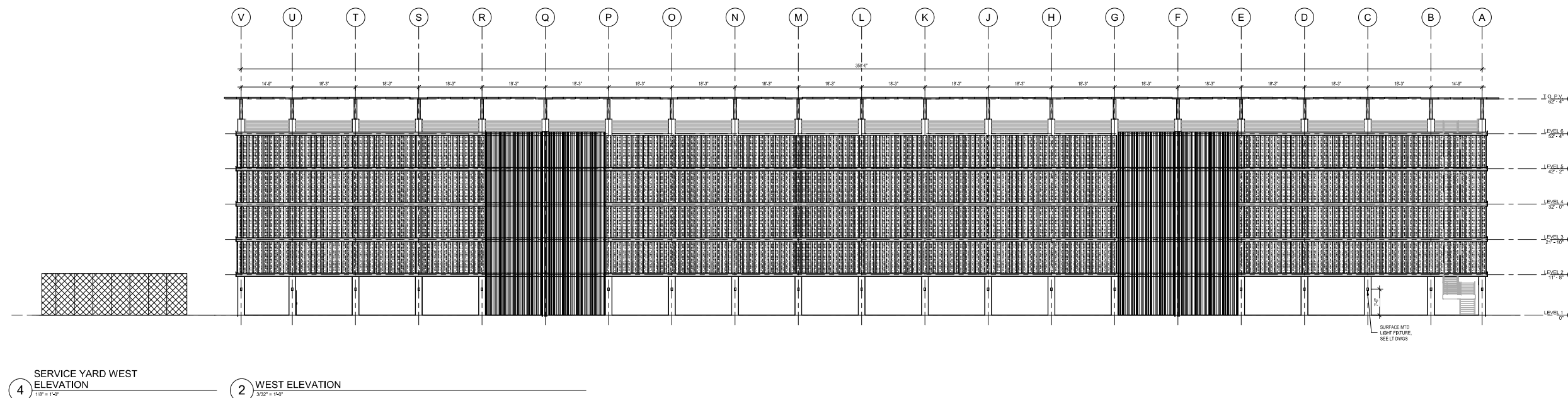
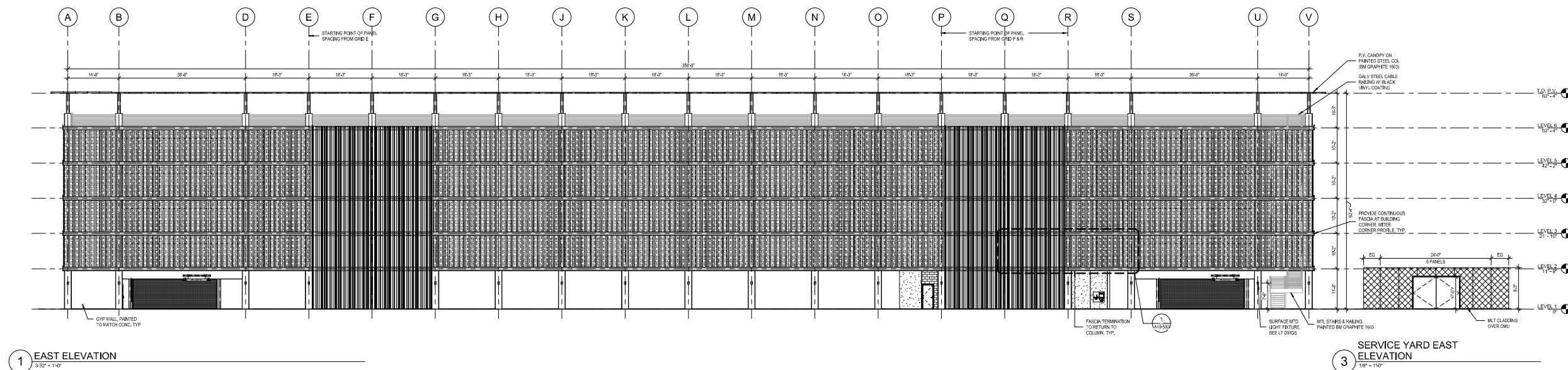
Sheet T1

EXTERIOR
ELEVATIONS - EAST,
WEST

Original is 48 x 72. Do not scale contents of this drawing.

Sheet Number

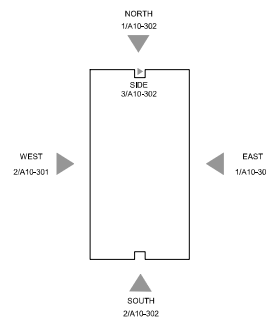
A10-301



MATERIAL LEGEND

-  1" WIDE PERF. METAL PLATE, W/ REVERS. DIMPLES, ROUND ALUMINUM TYPE 304, 16GA. POWDER COAT WHITE, 3/16" ROUNDR ON 6/1" STAGGERED CENTERS, 3" OPEN
-  CONCRETE COL. BEAM, PAINTED BENJAMIN MOORE #2 ALABASTER 895
-  PAINTED CEMENT PLASTER ON CMU WALL
-  CONCRETE REVEALS ON SHEAR WALL, FINISH TO MATCH ADJACENT CONC. COL.
-  POHL EXOABOMED MTL MESH PATTERN SUNSHINE B - INSH PATTERN COATED BLACK
-  ALUMINUM FIASCO, POWDER COATED BK GRAPHITE - 1603

KEY MAP





Taylor Engineering
Mechanical, Plumbing, Fire Protection
1080 Marina Village Parkway, Suite 501
Alameda, CA 94501-1142

Lerch Bates
Vertical Transportation, Exterior Bldg Maintenance
4480 Rockwood Hwy Suite 16-510
San Rafael, CA 94903

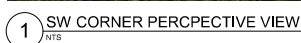


 14" WIDE PERF METAL PANEL W/ 2" RETURNS. McNICHOLS, ROUND ALUMINUM TYPE 304, 18GA, POWDER COAT WHITE, 3/16" ROUND ON 5/1" STAGGERED CENTERS, 33% OPEN

EXTERIOR
ELEVATIONS- NORTH,
SOUTH

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Vertical Transportation, Exterior Bldg Maintenance
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Project No: 20-04045.00

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A10-000



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San Rafael, CA 94903

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Street Number

1 WEST ELEVATION RENDERING VIEW
NTS

NTS

2 EAST ELEVATION RENDERING VIEW

NTS

3 ENLARGED ELEVATION RENDERING VIEW
NTS

NTS.

Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Hellmuth, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

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Contractor
160 S. Van Ness Ave.
San Francisco, CA 9410

Kier + Wright
Civil Engineer
2850 Collier Canyon Road
Livermore, CA 94551

Cornerstone
Geotechnical Engineer
1250 Oakmead Parkway
Sunnyvale, CA 94085

Taylor Engineering
Mechanical, Plumbing, Fire Protection
1080 Marina Village Parkway, Suite 52
Alameda, CA 94501-1142

The Engineering Enterprise
Electrical
1305 Marina Village Parkway
Alameda, CA 94501

Lerch Bates
Vertical Transportation, Exterior Bldg Maintenance
4460 Redwood Hwy Suite 16-510
San Rafael, CA 94903

KSH Architects
Envelope AOR
349 Sutter Street
San Francisco, CA 94101

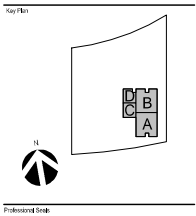


North Site
Existing Block Elevation 945/955 Kifer Road



North Site Existing Buildings

Fitness Center 945 Kifer Road



No.	Description	Date
1	PLANNING SUBMITTAL	2023-06-15
2	PLANNING RESUBMITTAL 01	2023-06-23
3	PLANNING RESUBMITTAL 02	2023-06-24
4	PLANNING RESUBMITTAL 03	2023-11-20
5	PLANNING RESUBMITTAL 04	2024-03-01

Project No: 20.04045.0

Sheet Title

EXISTING SITE & BUILDINGS

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G4-900



Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Heilmuth, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

All drawings to be read in conjunction with the project description.

In Association with:

BullGroup

Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright

Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Corbettone

Geotechnical Engineer
1250 Gaiens Road
Sunnyvale, CA 94085

Taylor Engineering

Mechanical, Plumbing, Fire Protection
1300 Marina Village Parkway, Suite 301
Alameda, CA 94501-1142

The Engineering Enterprise

Electrical
120 Marina Village Parkway
Alameda, CA 94501

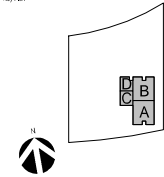
Lentz Bates

Vertical Transportation, Exterior Sign Maintenance
4400 Redwood Hwy Suite 16-810
San Rafael, CA 94903

KSH Architects

Envelope ADR
340 Sutter Street
San Francisco, CA 94108

Key Plan



Professional Stamp

No.	Description	Date
1	PLANNING RESUBMITTAL 1	2024-04-01
2	PLANNING RESUBMITTAL 2	2024-04-02
3	PLANNING RESUBMITTAL 3	2024-04-04
4	PLANNING RESUBMITTAL 4	2024-04-05
5	PLANNING RESUBMITTAL 5	2024-04-07

Project No: 20-04345-02

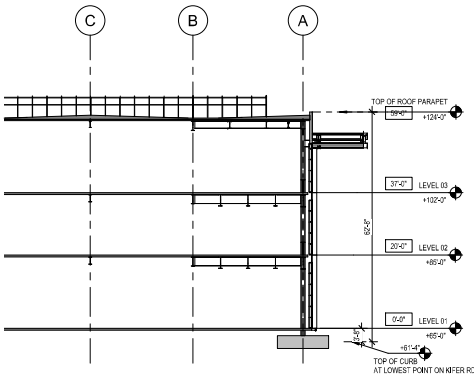
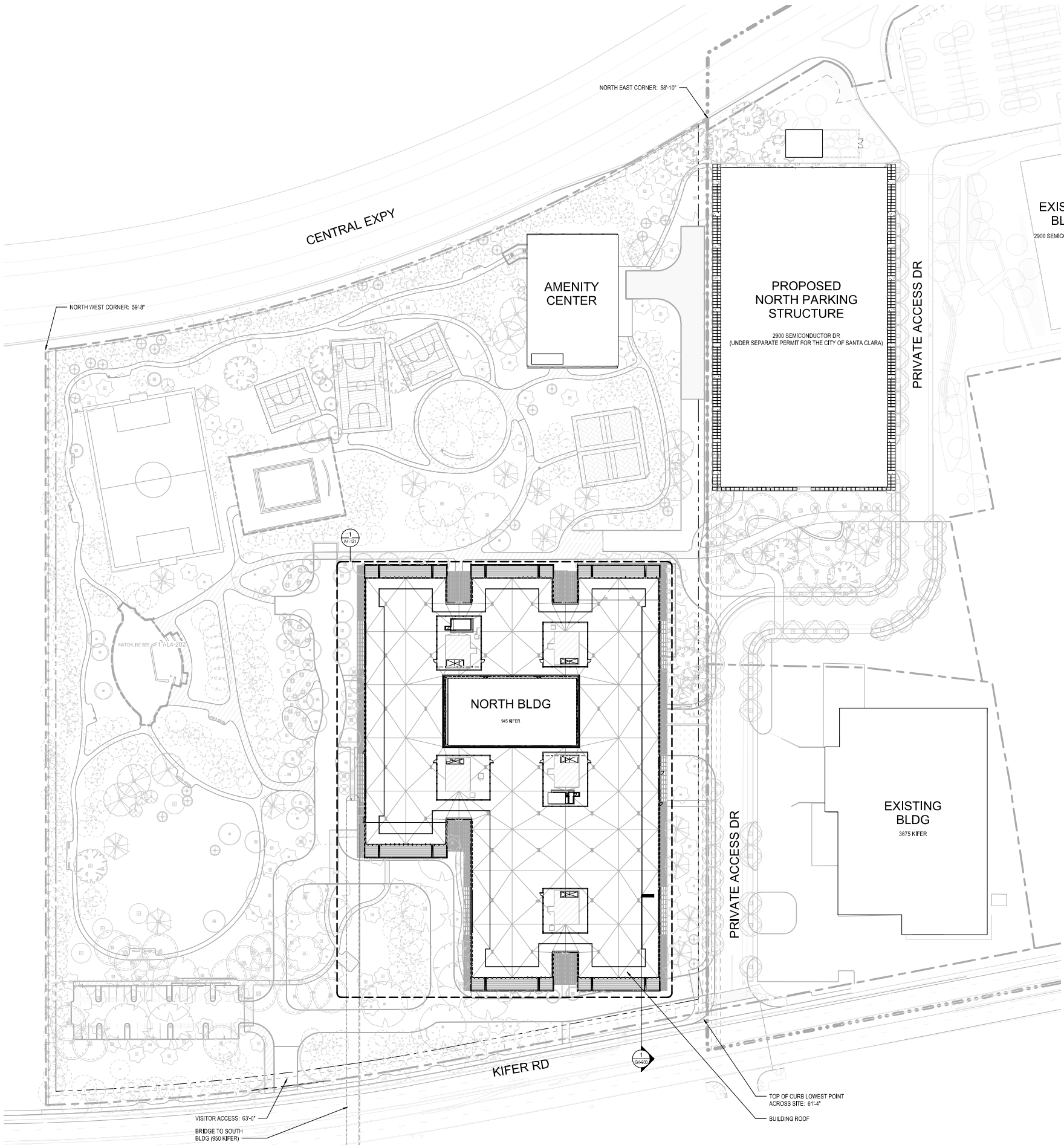
Sheet Title

GRADING & BUILDING
HEIGHT

Original is for 15% Draw and is the basis of this drawing.

Sheet Number

G4-903



2 SITE PLAN
1" = 40'-0"

1 BUILDING HEIGHT
1/16" = 1'-0"

2024-05-20 11:02:07 AM



Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Helmut, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

All quantities & related areas are approximate.

BuildGroup
Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

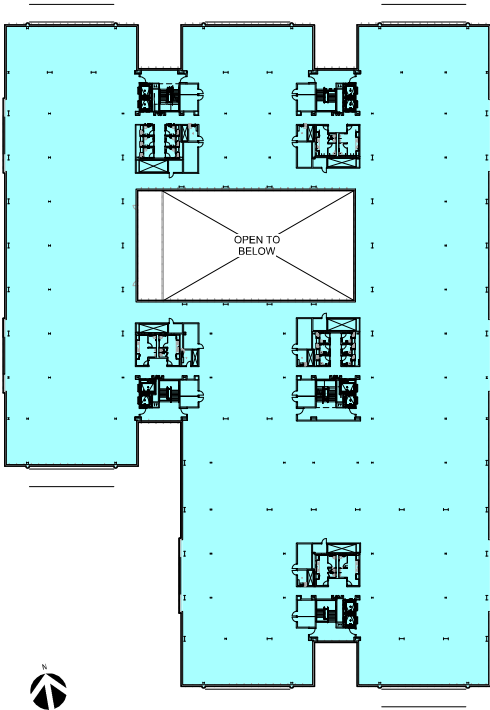
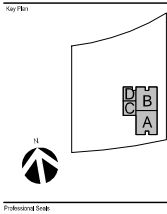
Cornerstone
Geotechnical Engineer
1250 Diamond Parkway
Sunnyvale, CA 94085

Taylor Engineering
Mechanical, Plumbing, Fire Protection
1300 Marina Village Parkway, Suite 301
Alameda, CA 94501-1142

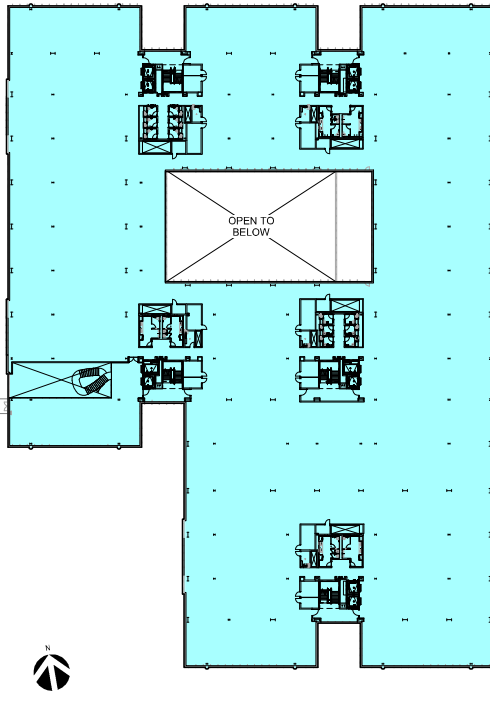
The Engineering Enterprise
Electrical
1200 Marina Village Parkway
Alameda, CA 94501

Lynch Bates
Vertical Transportation, Exterior Sign Maintenance
4400 Redwood Hwy Suite 16-010
San Rafael, CA 94903

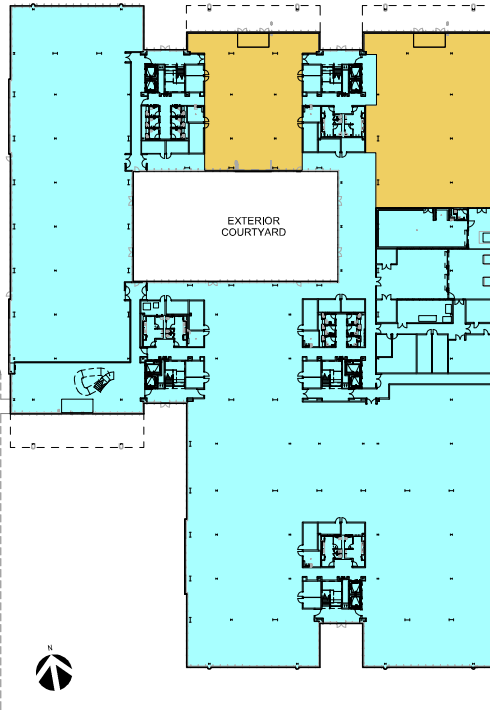
KSH Architects
Envelope ADR
340 Sutter Street
San Francisco, CA 94108



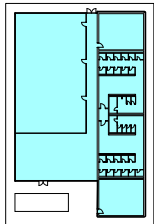
3 PLANNING GROSS AREA - LEVEL 03
1" = 40'-0"



2 PLANNING GROSS AREA - LEVEL 02
1" = 40'-0"



1 PLANNING GROSS AREA - LEVEL 01
1" = 40'-0"



4 PLANNING GROSS AREA - AMENITIES BLDG
1" = 40'-0"

PLANNING GROSS AREA - AMENITIES	
LEVEL	AREA
LEVEL 01	11000 SF
GRAND TOTALS	11000 SF

SUNNYVALE DEFINITION: GROSS FLOOR AREA
IN 12,000 SQ. FT. (12,000 SQ. FT.) GROSS FLOOR AREA MEANS THE FOLLOWING: THE SUM OF THE AREAS COMPUTED FROM THE OUTSIDE DIMENSIONS OF A BUILDING, INCLUDING CORRIDORS, SUPPORTING COLUMNS AND UNSUPPORTED WALL PROJECTS (EXCEPT FOR EAVES, UNCOVERED BALCONIES, UNCOVERED PORCHES ON THE GROUND FLOOR, UNCOVERED STAIRWAYS, FIRE ESCAPES, LANDING PLACES, TERRACES, AND SIMILAR ARCHITECTURAL FEATURES) FOR EACH FLOOR INCLUDING MEZZANINE FLOORS AND ENCLOSED AND UNENCLOSED ROOFED PATIOS WHERE THE ROOF IS MORE THAN 50 PERCENT SOLID.

PLANNING GROSS AREA - NORTH BLDG	
LEVEL	AREA
LEVEL 01	123338 SF
LEVEL 02	117560 SF
LEVEL 03	117093 SF
GRAND TOTALS	358000 SF

LEVEL 01 EMPLOYEE RESTAURANT/CAFE: 13,000 SF
(INCLUDED IN LEVEL 1 AREA)
NOTE: PREVIOUS TOTAL GFA WAS 364,000 SF
DUE TO UNDERGROUND BASEMENT (17,000 SF)

LEGEND

- OFFICE, R&D - 345,000 SF
- RESTAURANT + CAFE - 13,000 SF
- COURTYARD - 10,462 SF
- MECH & ELEVATOR SHAFTS
(INCLUDED IN OFFICE, R&D AREA ABOVE)

No.	Description	Date
1	PLANNING SUBMITTAL 01	2014-04-01
2	PLANNING SUBMITTAL 02	2014-04-02
3	PLANNING SUBMITTAL 03	2014-04-04
4	PLANNING SUBMITTAL 04	2014-04-05
5	PLANNING SUBMITTAL 05	2014-04-07

Project No: 20-24345-02

Sheet Title:

BUILDING AREA

Original: 04/15/2014, 04/15/2014, 04/15/2014, 04/15/2014, 04/15/2014

Sheet Number:

G4-904

Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Helmuth, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

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BullGroup
Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Cornerstone
Geotechnical Engineer
1250 Diamond Parkway
Sunnyvale, CA 94085

Taylor Engineering
Mechanical, Plumbing, Fire Protection
1000 Marina Village Parkway, Suite 301
Alameda, CA 94501-1142

The Engineering Enterprise
Electrical
120 Marina Village Parkway
Alameda, CA 94501

Lench Bates
Vertical Transportation, Exterior Sign Maintenance
4400 Rockwood Hwy Suite 16-010
San Rafael, CA 94903

KSH Architects
Envelope ACR
3400 Sutter Street
San Francisco, CA 94108

Key Plan

Professional Stamp

No.	Description	Date
1	PLANNING SUBMITTALS	01/24/02
2	PLANNING RESUBMITTALS	02/14/02
3	PLANNING RESUBMITTALS	03/14/02
4	PLANNING RESUBMITTALS	03/14/02
5	PLANNING RESUBMITTALS	03/14/02

Project No: 20-24345-02

Sheet Title

EXTERIOR MATERIAL
SAMPLES

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Sheet Number

G4-905

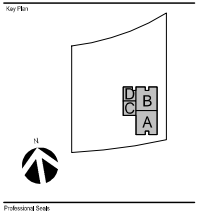


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San Francisco, CA 94108



LOT COVERAGE				
	LOT SIZE	BLDGS	PROPOSED COVERAGE	EXISTING COVERAGE
NORTH SITE 845955 AFTER ROAD	678,048 SF	MULTI-PURPOSE ADJUTANTS BLDG:	11,000 SF	2% (14,008 SF)
		NORTH BLDG:	119,658 SF	
		SHADE STRUCTURE:	7,300 SF	
	TOTAL		137,958 SF	

SUNNYVALE DEFINITION: LOT COVERAGE
(19) "LOT COVERAGE" MEANS THE LAND AREA COVERED BY ALL BUILDINGS ON ANY LOT AS COMPUTED FROM THE OUTSIDE DIMENSION OF EACH BUILDING, INCLUDING CORRIDORS, SUPPORTING COLUMNS, AND UNSUPPORTED WALL PROJECTS (EXCEPT EAVES, UNCOVERED BALCONIES, PORCHES AND STAIRWAYS, FIRE ESCAPES, LANDING PLACES, FIRE PLACES, AND SIMILAR ARCHITECTURAL FEATURES), AND ENCLOSED AND UNENCLOSED ROOFED PATIOS WHERE THE ROOF IS MORE THAN FIFTY PERCENT SOLID. UNDERGROUND PARKING STRUCTURES WHICH DO NOT PROTRUDE ABOVE FINISHED GRADE SHALL NOT BE CALCULATED IN LOT COVERAGE PERCENTAGES.

EXISTING BUILDING
PROPOSED BUILDING
SITE BOUNDARY

[illegible]

Project No: 20.04045.02

LOT COVERAGE DIAGRAM

Original is 46 x 75. On ref scale contents of this drawing.

G4-906



1 LOT COVERAGE DIAGRAM
1" = 40'-0"



Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

MODIFICATIONS TO APPROVED
SPECIAL DEVELOPMENT PERMIT

Prepared For
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1020 Kifer Road Sunnyvale, CA



Hellmuth, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

All drawings are the property of the client and shall remain confidential.

It is acknowledged that:

BullGroup
Contractor
180 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

Cornerstone
Geotechnical Engineer
1250 Diamond Parkway
Sunnyvale, CA 94085

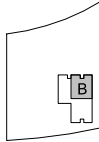
Taylor Engineering
Mechanical, Plumbing, Fire Protection
1200 Marina Village Parkway, Suite 301
Alameda, CA 94501-1142

The Engineering Enterprise
Electrical
1200 Marina Village Parkway
Alameda, CA 94501

Lynch Bates
Vertical Transportation, Exterior Sign Maintenance
4400 Rockwood Hwy Suite 16-010
San Rafael, CA 94903

KSH Architects
Envelope ADR
340 Sutter Street
San Francisco, CA 94108

Key Plan



Professional Seal:

No.	Description	Date
1	PLANNING RESTAURANT, IS	2014-04-01
2	PLANNING RESTAURANT, IS	2014-04-01
3	PLANNING RESTAURANT, IS	2014-04-01
4	PLANNING RESTAURANT, IS	2014-04-01

Project No: 20-34045-02

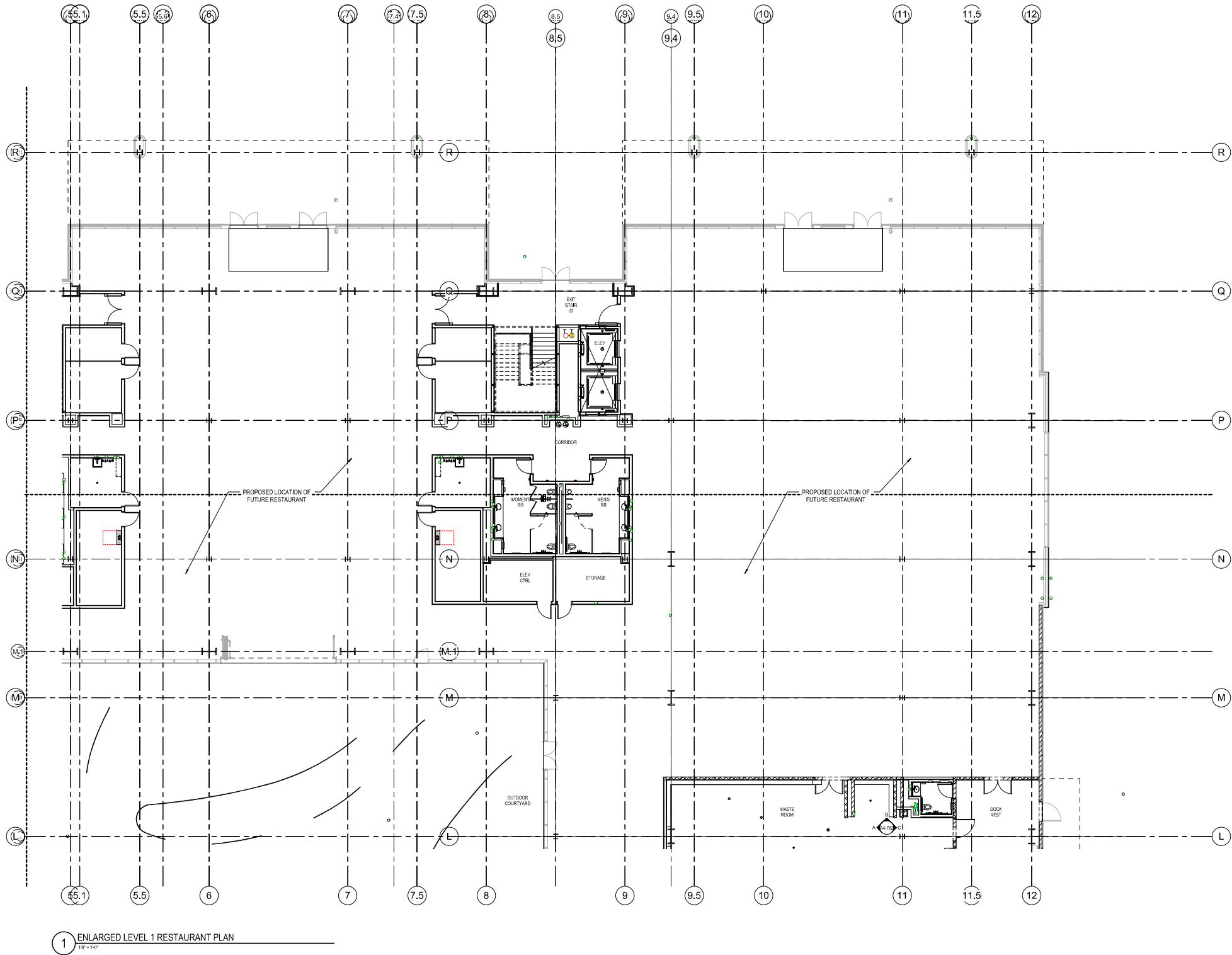
Sheet Title:

**ENLARGED LEVEL 1
RESTAURANT PLAN**

Original is for the City of San Francisco and shall remain confidential.

Sheet Number

G4-907



1 ENLARGED LEVEL 1 RESTAURANT PLAN
1/8" = 1'-0"



Project
ISI HQ NORTH BUILDING
945 Kifer Road, Sunnyvale, CA, 94086

Prepared For
INTUITIVE SURGICAL, INC.
1020 Kifer Road Sunnyvale, CA



Helmut, Obata & Kassabaum, Inc.
One Bush Street, Suite 200
San Francisco, CA 94104 USA
t +1 415 243 0555 f +1 415 882 7763

Approved for construction by the City of Sunnyvale on 08/10/2017

By: [Signature]

BullGroup
Contractor
100 S. Van Ness Ave.
San Francisco, CA 94103

Kier + Wright
Civil Engineer
2000 Collier Canyon Road
Livermore, CA 94551

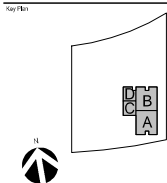
Comerstone
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Mechanical, Plumbing, Fire Protection
1200 Marina Village Parkway, Suite 201
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Electrical
1200 Marina Village Parkway
Alameda, CA 94501

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4400 Rockwood Hwy Suite 16-010
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KSH Architects
Envelope ADR
3400 Sutter Street
San Francisco, CA 94108



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No.	Description	Date
1	PLANNING RESUBMITTAL, 1A	2014-04-01
2	PLANNING RESUBMITTAL, 1B	2014-04-01
3	PLANNING RESUBMITTAL, 1C	2014-04-01
4	PLANNING RESUBMITTAL, 1D	2014-04-01

Project No: 20-04045-02

Sheet Title:

NORTH BLDG KIFER RD
STREET VIEW
RENDERING

Original: 04/10/2014, Drawn: 04/10/2014, Checked: 04/10/2014

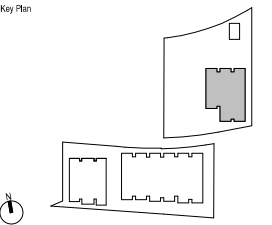
Sheet Number:

G4-908



1 North Building - Illustrative Rendered Street View - Kifer Road

02	31 JUL 2020	Planning Permit Resubmission	F+P
01	28 FEB 2020	Planning Permit Resubmission	F+P
00	12 JUL 2019	Planning Permit	F+P
Rev.	Date	Reason For Issue	Cmt



Stamp

FOR REFERENCE ONLY

Foster + Partners
Riverside, 22 Hester Road
London SW11 4AN
T +44(0)20 7738 0455
www.fosterandpartners.com

ARUP
550 Mission Street, Suite 700
San Francisco, CA 94105
(415) 846-0201
www.arup.com

KIER+WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
(408) 727-6665

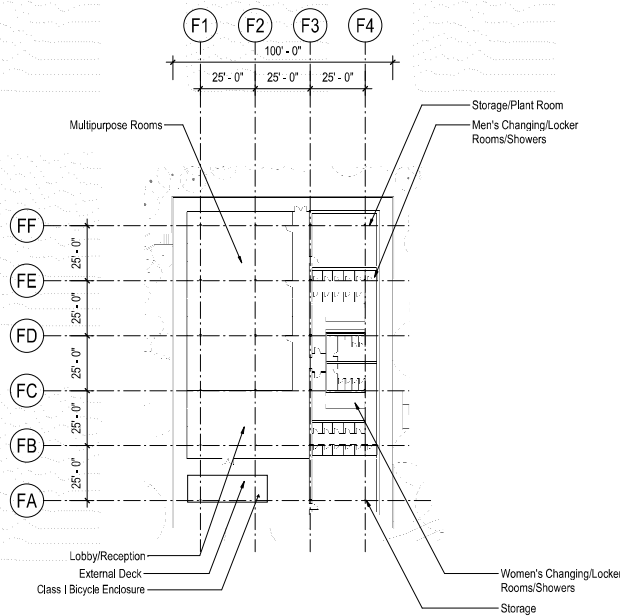
BrightView
PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1715 16TH STREET
SAN FRANCISCO, CA 94104
(415) 829-4707

Client
Intuitive

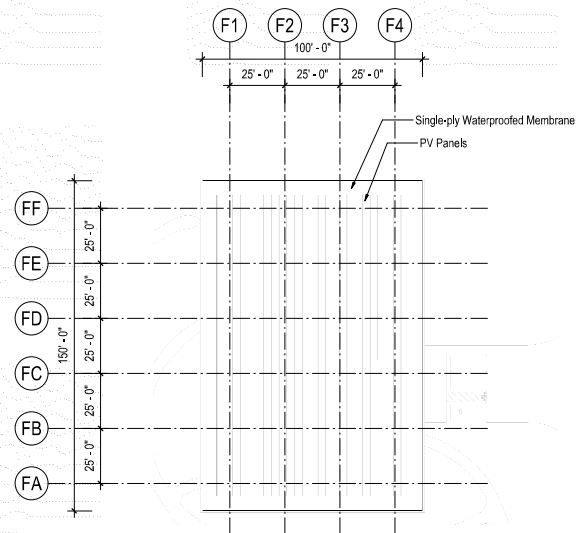
Project
Intuitive

Title
North Building
Illustrative Rendered Street View
Kifer Road

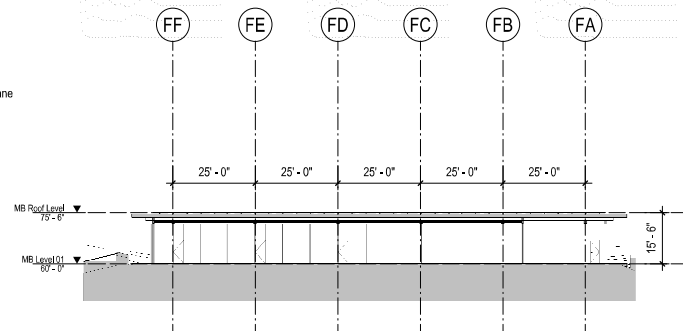
Project No.	Date	Scale at Arch E1
2768	31 JUL 2020	N/A
Number	Revision	
A-b2-100-xx-01-PL	02	



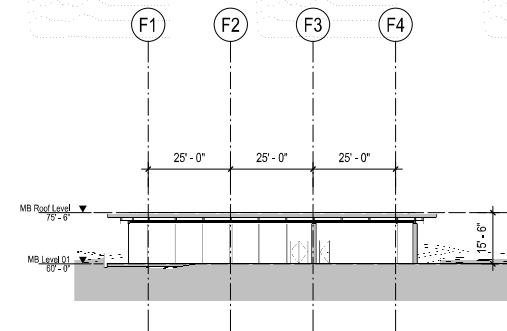
1 Multipurpose Building, Plan Level 1
1/32" = 1'-0"



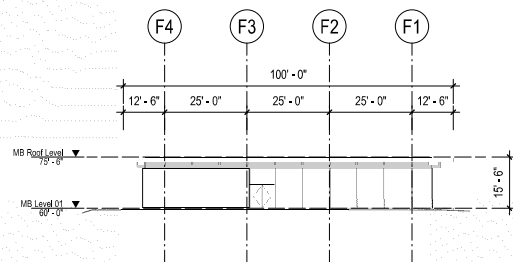
2 Multipurpose Building, Roof Plan
1/32" = 1'-0"



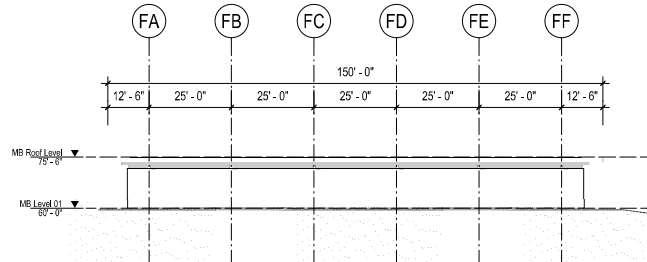
3 Multipurpose Building, Longitudinal Section
3/84" = 1'-0"



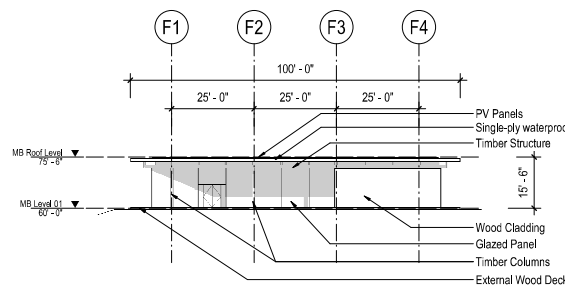
4 Multipurpose Building, Cross Section
3/84" = 1'-0"



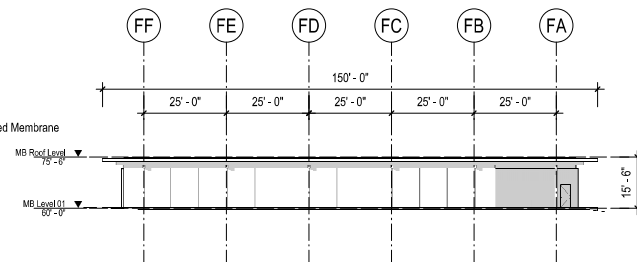
5 Multipurpose Building, North Elevation
3/84" = 1'-0"



6 Multipurpose Building, East Elevation
3/84" = 1'-0"

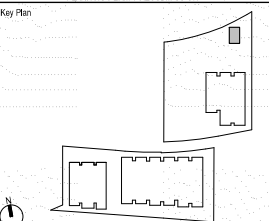


7 Multipurpose Building, South Elevation
3/84" = 1'-0"



8 Multipurpose Building, West Elevation
3/84" = 1'-0"

02	31 JUL 2020	Planning Permit Resubmission	F+P
01	28 FEB 2020	Planning Permit Resubmission	F+P
00	12 JUL 2019	Planning Permit	F+P
Rev.	Date	Reason For Issue	CRS



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Foster + Partners

Riverside, 22 Hester Road
London SW11 4AN
T +44(0)20 7738 0455
www.fosterandpartners.com

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360 Mission Street, Suite 700
San Francisco, CA 94105
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BrightView
PLANNING
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1715 16TH STREET
SAN FRANCISCO, CA 94104
(415) 625-4707

Client
Intuitive

Project
Intuitive

Title
Multipurpose Building
Plans, Sections and Elevations

Project No. 2768	Date 31 JUL 2020	Scale at Arch E1 As indicated
Number A-mb-xxx-xx-01-PL	Revision 02	

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