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NOT FOR  
CONSTRUCTION

CHEVRON GAS STATION,  
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898 E. FREMONT AVE.  
SUNNYVALE, CA 94087

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### SITE INFO

APN#	304-10-015
JURISDICTION:	CITY OF SUNNYVALE, CA
CURRENT ZONING:	C-1 (PD)
LOT SIZE:	26,883 S.F. (0.62 ACRES)
PROPOSED LOT SIZE:	23,821 S.F.
EXISTING LANDSCAPE AREA:	321 S.F. (1.19%)
PROPOSED LANDSCAPE AREA:	3,708 S.F. (16.0%)
EXISTING BUILDING AREA:	1,151 S.F.
PROPOSED BUILDING AREA:	8,014 S.F.
CONVENIENCE STORE:	2,346 S.F.
GSR:	1,218 S.F.
FUEL CANOPY:	4,400 S.F.
FAR:	8,014 S.F./23,888 S.F. = 0.34
<b>PARKING REQUIREMENTS:</b>	
CONVENIENCE STORE:	2.5 PER 1000 S.F.
2,346 S.F. / 1000 X 2.5 = 5.91 = 6 SPACES	
GSR (TAKE OUT):	4 PER 1000 S.F.
1,218 S.F. / 1000 X 4 = 5 SPACES	
PARKING REQUIRED:	11 SPACES
PARKING PROVIDED:	10 SPACES
STANDARD PARKING SPACES:	5 SPACES
EV CHARGING PARKING SPACE:	4 SPACES
VAN ACCESSIBLE PARKING SPACE:	1 SPACE

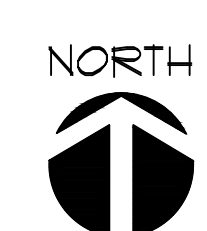
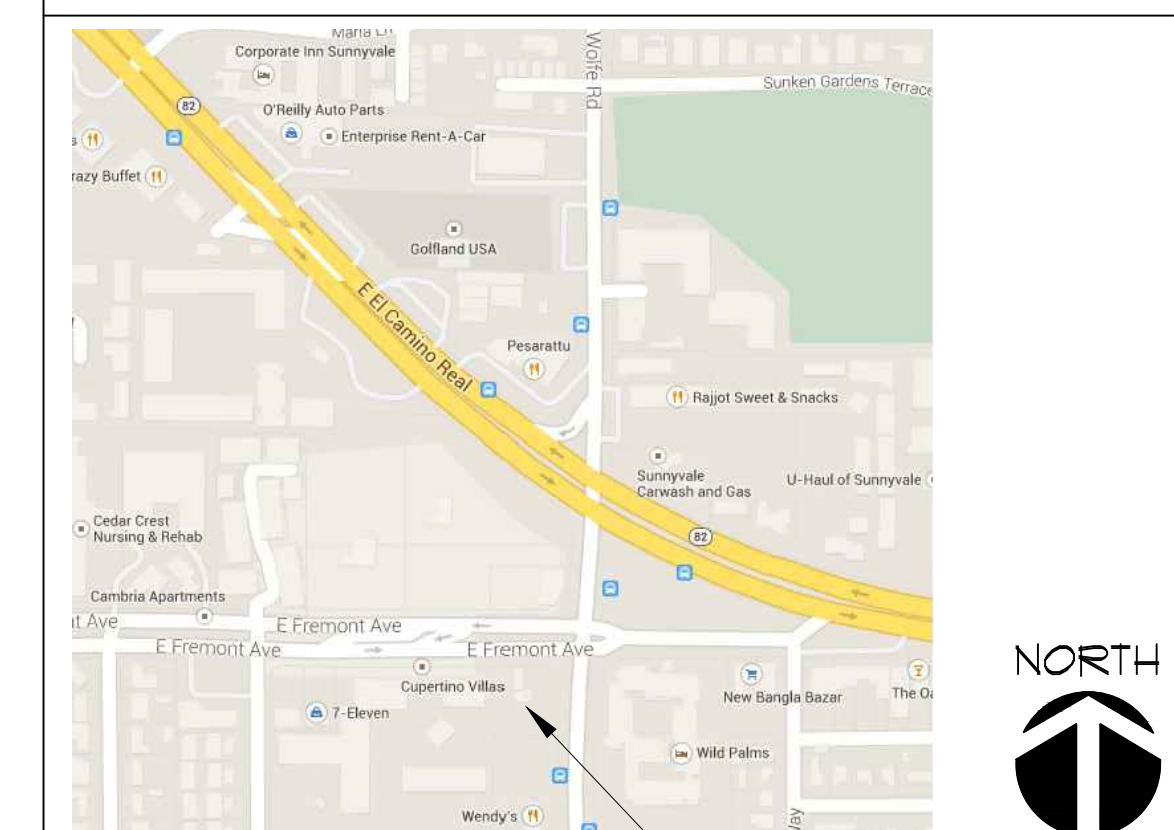
### SITE PLAN LEGEND

	NEW LANDSCAPING
	NEW CONCRETE PAVING
	BIO PLANTER, SEE CIVIL DWGS.
	4 FT. WIDE (MIN.) ACCESSIBLE ROUTE OF TRAVEL, SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE
	EXISTING TO REMAIN
	EXISTING CURB TO REMAIN
	NEW CONCRETE CURB

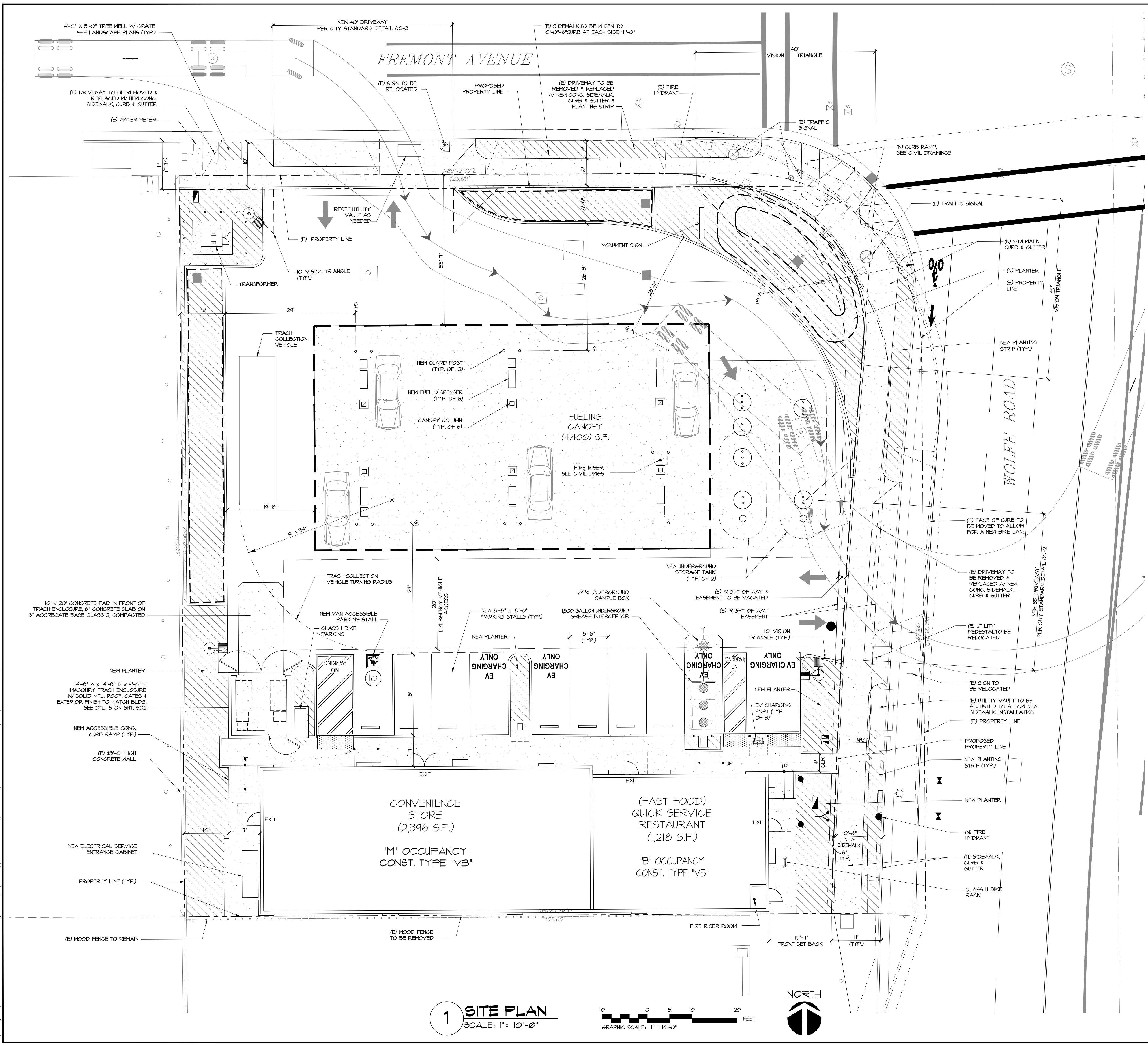
### PROJECT DIRECTORY

<b>ARCHITECT</b> M I ARCHITECTS, INC. 1801 OAKLAND BLVD, SUITE 300 WALNUT CREEK, CA 94596 TEL: (925) 287-1174 x1 FAX: (925) 943-1581 CELL: (925) 878-9875 MR. MUTHANA IBRAHIM, ARCHITECT	<b>DEVELOPER</b> PETROLEUM INVESTMENTS, LLC 1500 FASHION ISLAND BLVD., SUITE 104 SAN MATEO, CA 94404 TEL: (650) 346-8282 MR. JAMES LIN
<b>LANDSCAPE ARCHITECT</b> GIARDELLA ASSOCIATES 640 MENLO AVE, SUITE 10 MENLO PARK, CA 94025 TEL: (650) 326-6100 FAX: (650) 323-6706 MR. RICHARD GIARDELLA	<b>CIVIL ENGINEER</b> STUKAM CONSULTING ENGINEERS, INC. 8999 GREENBACK LANE, 2ND FLOOR ORANGEVALE, CA 95662 TEL: (916) 835-5711 FAX: (916) 988-6316 MR. FAREED T. SIDDIQUI, P.E.

### VICINITY MAP



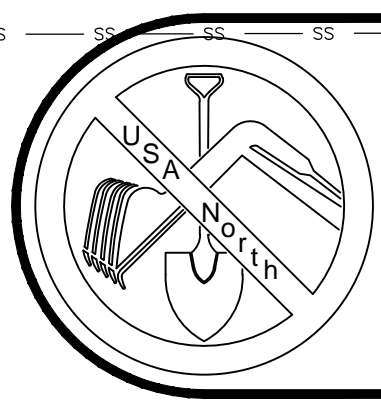
# SD1



**1 SITE PLAN**  
SCALE: 1" = 10'-0"  
GRAPHIC SCALE: 1" = 10'-0"  
FEET

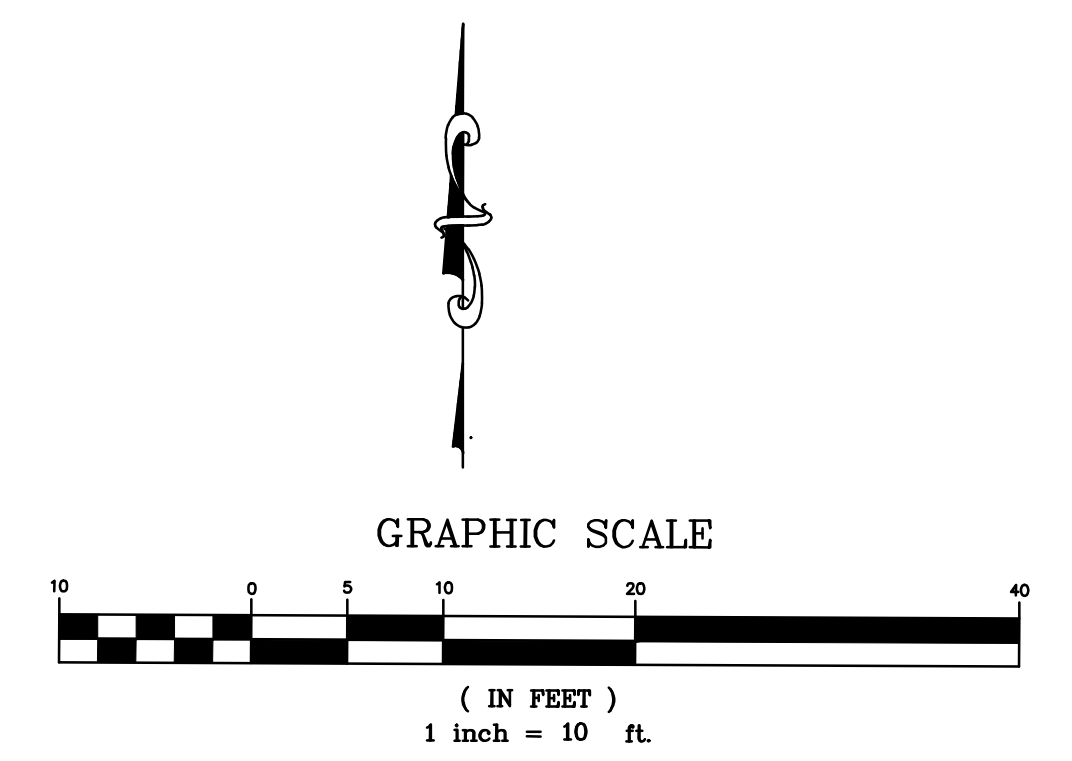
S:\1-Projects\13-4304-898 E Fremont Ave Sunnyvale\DWG's\Planning\13-4304-898.dwg modified by Muthana Ibrahim at Apr 09, 2024 - 5:45pm





**BEFORE EXCAVATING CALL U.S.A.**  
OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.

**FREMONT AVENUE**



- LEGEND**
- PROPERTY LINE
  - - - ADJACENT PROPERTY LINE
  - - - EASEMENT
  - - - WOOD FENCE
  - - - CENTERLINE
  - - - EDGE OF PAVEMENT
  - W — WATER LINE
  - SS — SEWER LINE
  - SD — STORM DRAIN
  - 00.00 x SPOT ELEVATIONS
  - SSMH SANITARY SEWER MANHOLE
  - ⊗ GAS VALVE
  - ⊗ WATER VALVE
  - ⊗ FIRE HYDRANT
  - AC ASPHALT CONCRETE
  - CONC. CONCRETE
  - EMB ELECTRIC METER BOX
  - FF FINISH FLOOR
  - PP POWER POLE
  - R/W RIGHT OF WAY
  - SSMH SANITARY SEWER MANHOLE
  - WMB WATER METER BOX
  - DIRT
  - CONCRETE

**BENCHMARK NOTE:**  
ELEVATIONS ARE NAVD83.  
BENCHMARK USWD IS CITY BENCHMARK #11 AND IS A BRASS DISK IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF FREMONT AVENUE AND WOLFE ROAD. TEMPORARY BENCHMARK IS THE FINISH FLOOR OF EXISTING BUILDING AS SHOWN. ELEVATION = 133.25'

**UTILITY NOTE:**  
INVERT INFORMATION SHOWN WAS ESTABLISHED BY USING THE DIFFERENCE BETWEEN RIM AND INVERT ELEVATIONS FROM CITY AS-BUILT INFORMATION.

**GENERAL NOTES:**  
OWNER : PETROLEUM INVESTMENTS LLC  
898 E FREMONT AVE  
SUNNYVALE CA 94087  
APN-189-29-034

**PREPARED FOR:**  
MR. JAMES LIN

I HEREBY STATE THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN JULY 2015, AND THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND A LEGAL DESCRIPTION PROVIDED BY THE CLIENT AND AS SHOWN ON THAT "ALTA/ACSM LAND TITLE SURVEY" DATED 10/24/04 AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.  
IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY. HAVING BEEN OBTAINED FROM AVAILABLE SOURCES, NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.



**TOPOGRAPHIC SURVEY**  
**898 E FREMONT AVE**  
 CITY OF SUNNYVALE, SANTA CLARA COUNTY CALIFORNIA

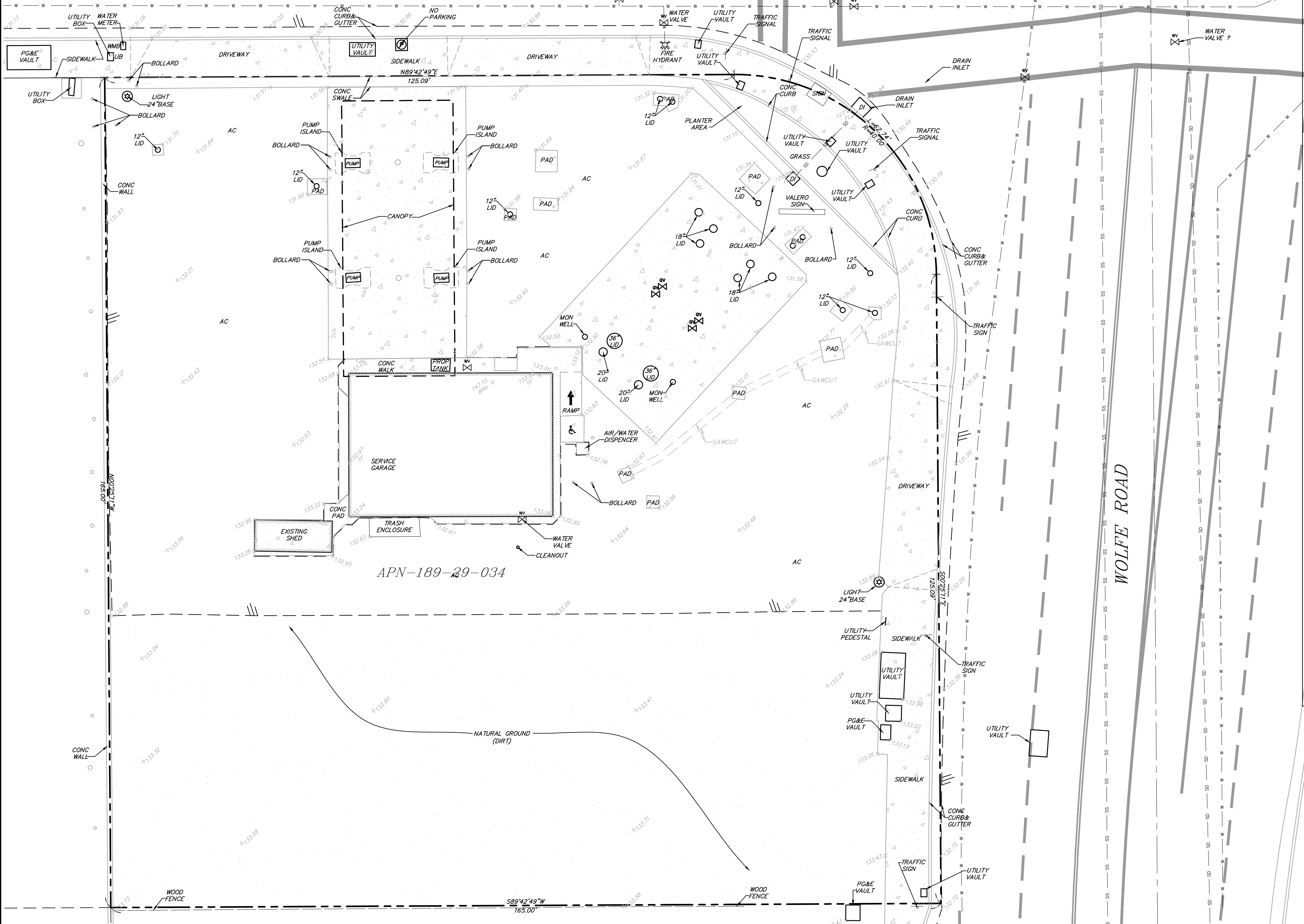
873 north main st. suite 150  
BISHOP, CA 93514  
phone (760) 873-8273  
fax (760) 873-8024  
e-mail bishop@triad.com

777 woodside rd. suite a  
REDWOOD CITY, CA 94061  
phone (650) 356-0216  
fax (650) 356-0208  
e-mail af@triad.com

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REVISIONS	BY

DATE 03/22/18  
SCALE 1"=10'  
DRAWN MN  
JOB NO. 09-1692  
DWG 09-1692 R1  
SHEET 1  
OF 1 SHEETS



NOT FOR CONSTRUCTION

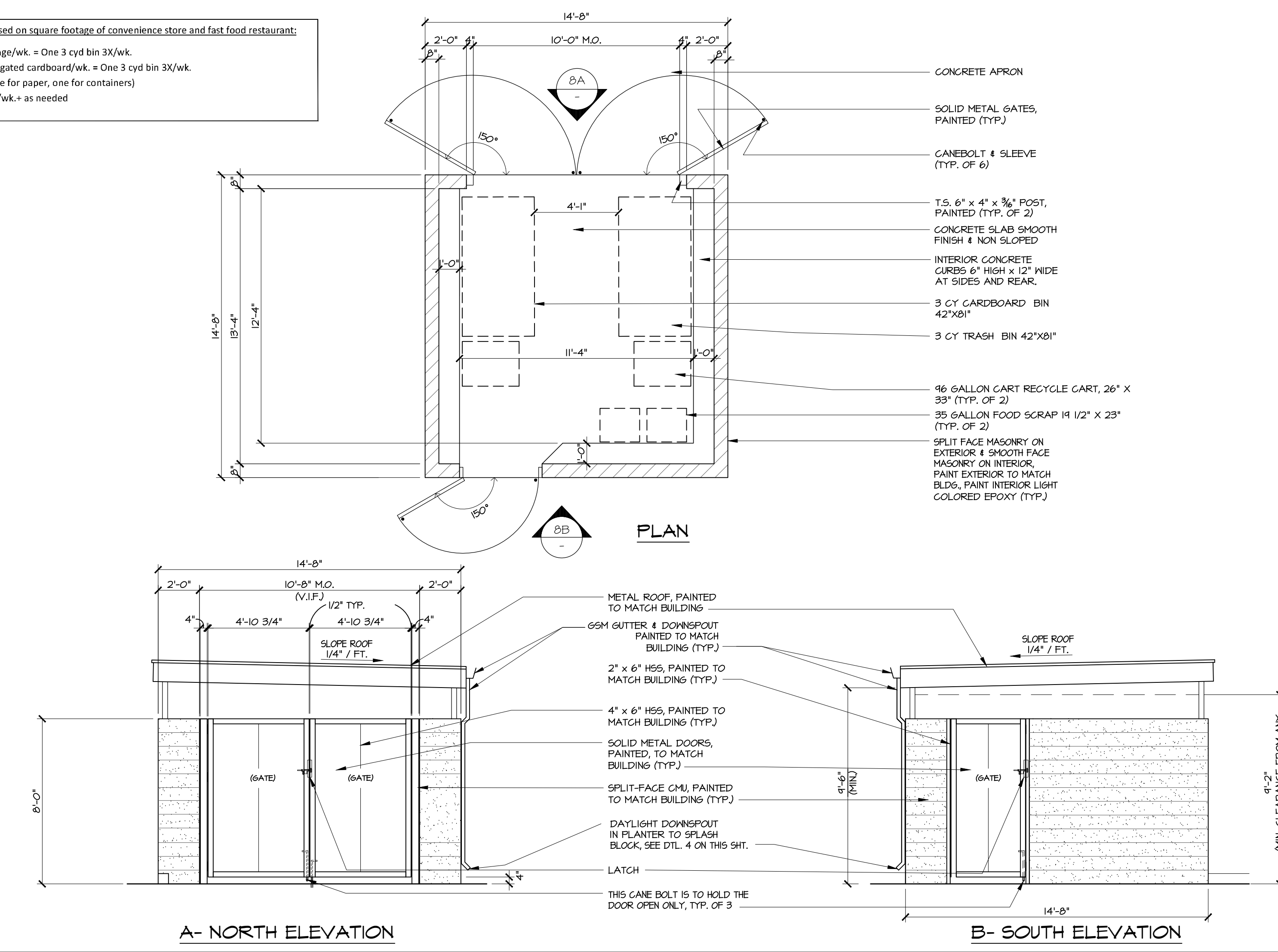
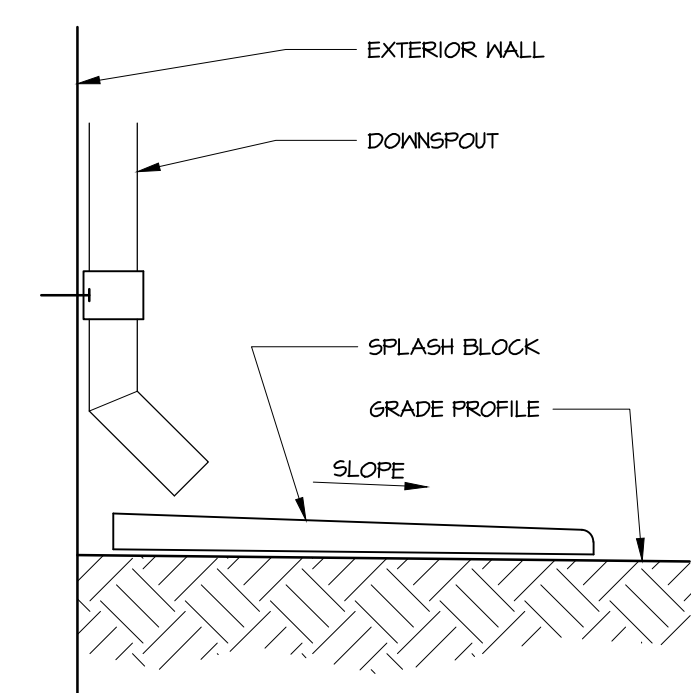
**CHEVRON GAS STATION,  
CONVENIENCE STORE & GSR  
898 E. FREMONT AVE.  
SUNNYVALE, CA 94087**

-	ISSUED FOR CONSTRUCTION	
-	ISSUED FOR PLAN CHECK	
01-28-16	ISSUED FOR PLANNING	
NO.	DATE	DESCRIPTION
△		
△		
△		
△		
SITE DETAILS		
PROJECT #: 13-4304		
DRAWN: BB CHECKED: MII		
SCALE: AS NOTED DATE: 06-20-18		

SD2

Waste generation estimates based on square footage of convenience store and fast food restaurant:

- 7-8 cubic yards of garbage/wk. = One 3 cyd bin 3X/wk
- 7-8 cubic yards of corrugated cardboard/wk. = One 3 cyd bin 3X/wk
- Two 96-gallon carts (one for paper, one for containers)
- Two 35-gal. carts @ 2X/wk. as needed



5 NOT USED  
N.T.S.

4 DOWNSPOUT TO SPLASH BLOCK  
1/2" ± 1'-0"

10 NOT USED

9 NOT USED

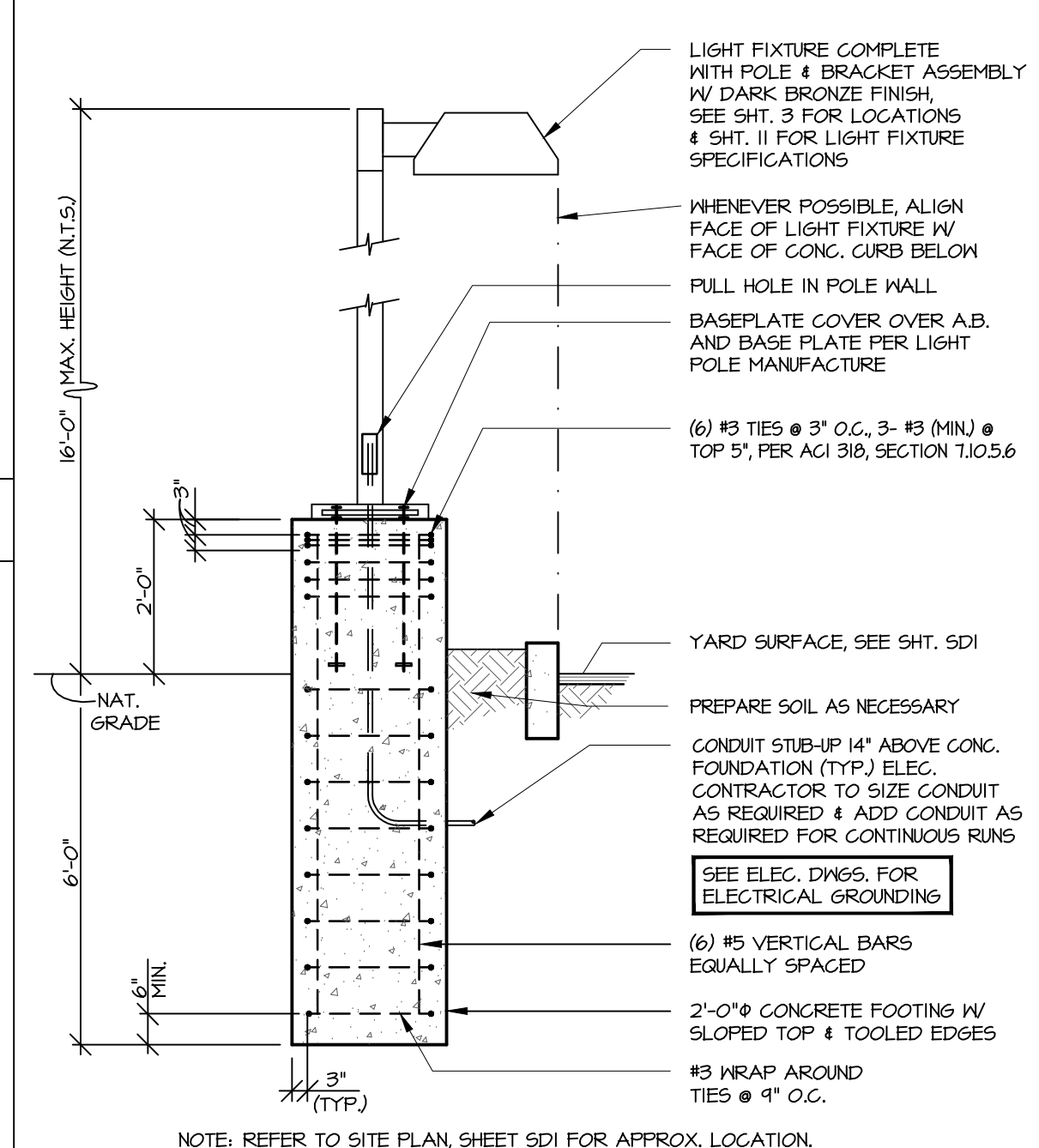
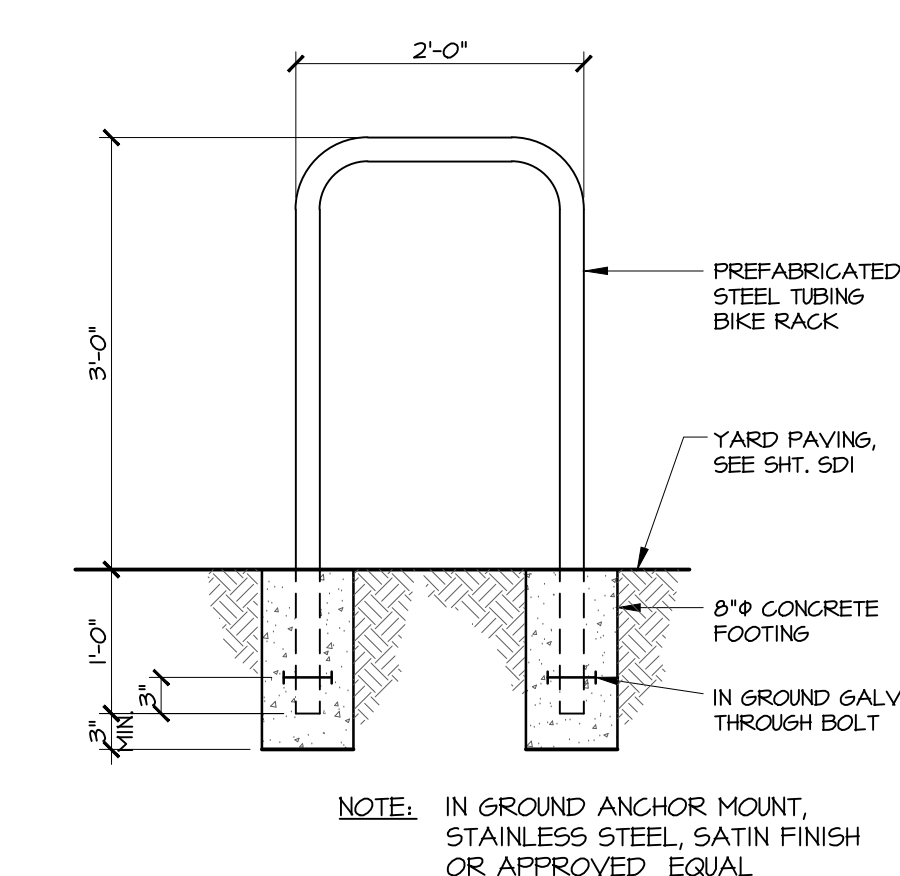
8 TRASH ENCLOSURE PLAN & ELEVATIONS  
1/4" = 1'-0"

15 NOT USED

14 NOT USED

13 NOT USED

12 BIKE RACK  
3/4" = 1'-0"



20 NOT USED

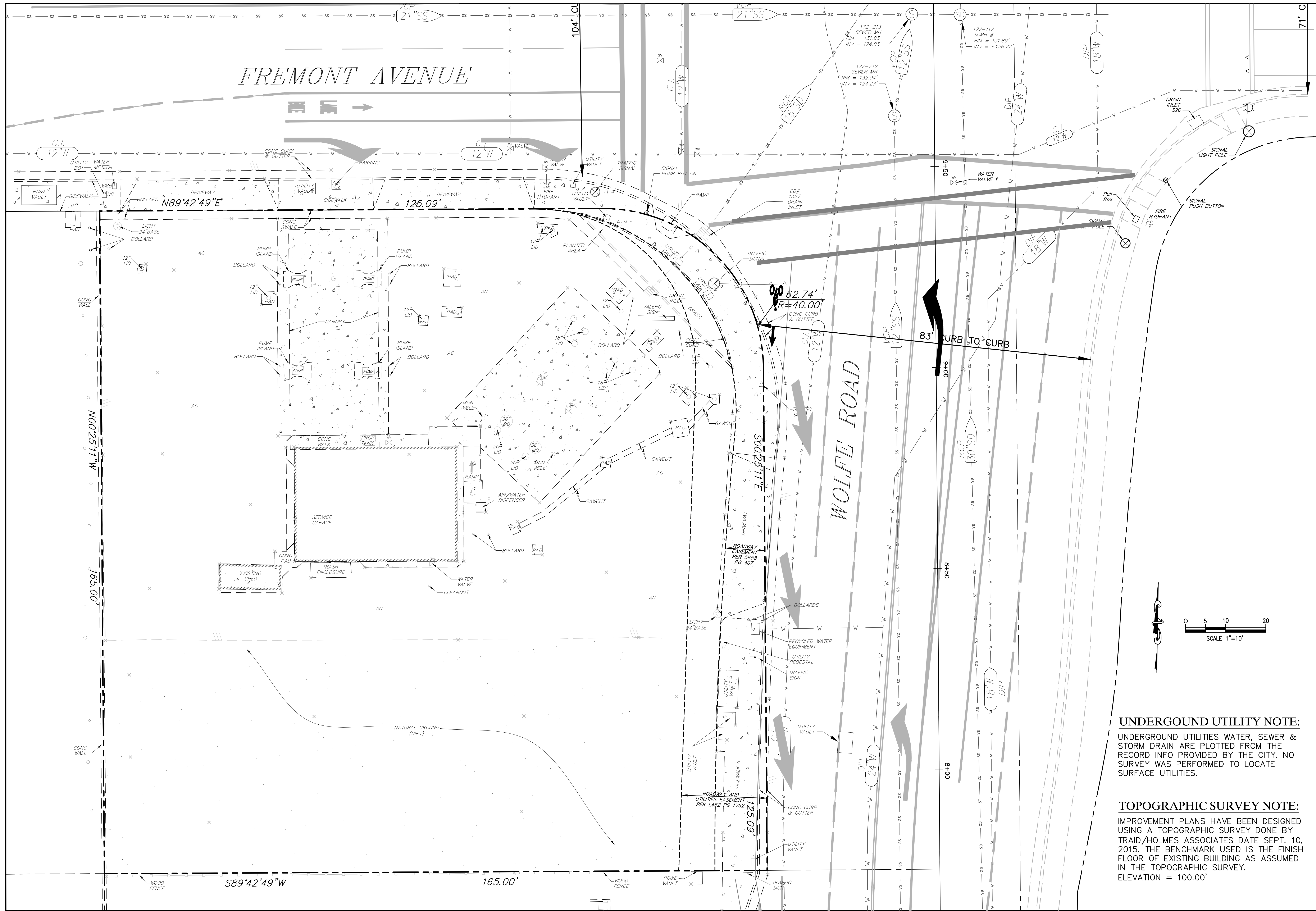
19 NOT USED

18 NOT USED

17 NOT USED

16 AREA LIGHT  
3/8" = 1'-0"

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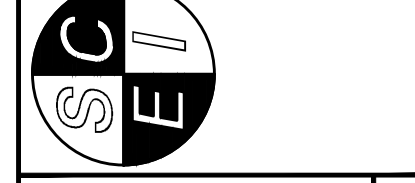


NO.	DATE	BY	CS	REVISIONS



**BAY AREA OIL SUPPLY, INC.**  
 JAMES LIN  
 1500 FASHION ISLAND BLVD., 104  
 SAN MATEO, CA 94404  
 PHONE: (650) 346-8282

**STUKAM CONSULTING ENGINEERS, INC.**  
 11344 COLOMA RD, SUITE 235C  
 GOLD RIVER, CA 95670  
 (916) 858-8241 PHONE  
 (916) 988-6316 FAX



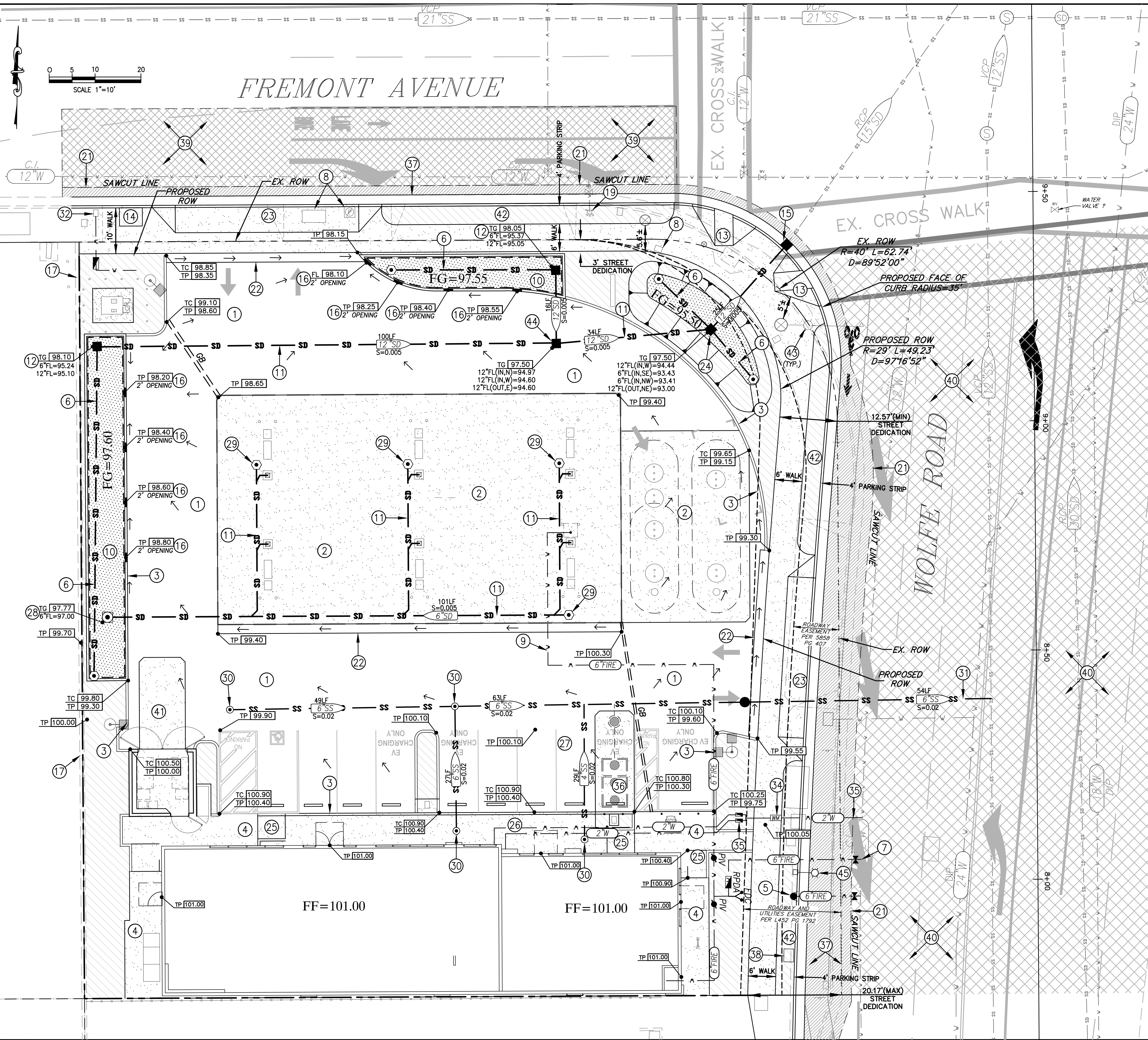
**UNDERGROUND UTILITY NOTE:**  
 UNDERGROUND UTILITIES WATER, SEWER & STORM DRAIN ARE PLOTTED FROM THE RECORD INFO PROVIDED BY THE CITY. NO SURVEY WAS PERFORMED TO LOCATE SURFACE UTILITIES.

**TOPOGRAPHIC SURVEY NOTE:**  
 IMPROVEMENT PLANS HAVE BEEN DESIGNED USING A TOPOGRAPHIC SURVEY DONE BY TRAUD/HOLMES ASSOCIATES DATE SEPT. 10, 2015. THE BENCHMARK USED IS THE FINISH FLOOR OF EXISTING BUILDING AS ASSUMED IN THE TOPOGRAPHIC SURVEY. ELEVATION = 100.00'

**EXISTING CONDITIONS**  
 898 E. FREMONT AVE.  
 CHEVRON GAS STATION  
 CONVENIENCE STORE & QSR  
 APN: 309-10-015  
 CITY OF SUNNYVALE SANTA CLARA COUNTY CALIFORNIA  
 JOB NO: 2016-042 [Designed: FTS] [Checked: FTS] [Date: 4/1/2024]

SHEET  
 C1  
 Of 5 SHEETS  
 JOB NUMBER:  
 2016-042





**PROPOSED IMPROVEMENT NOTES:**

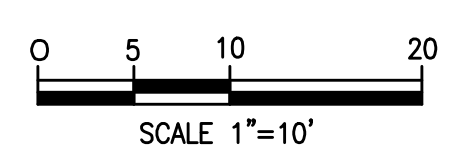
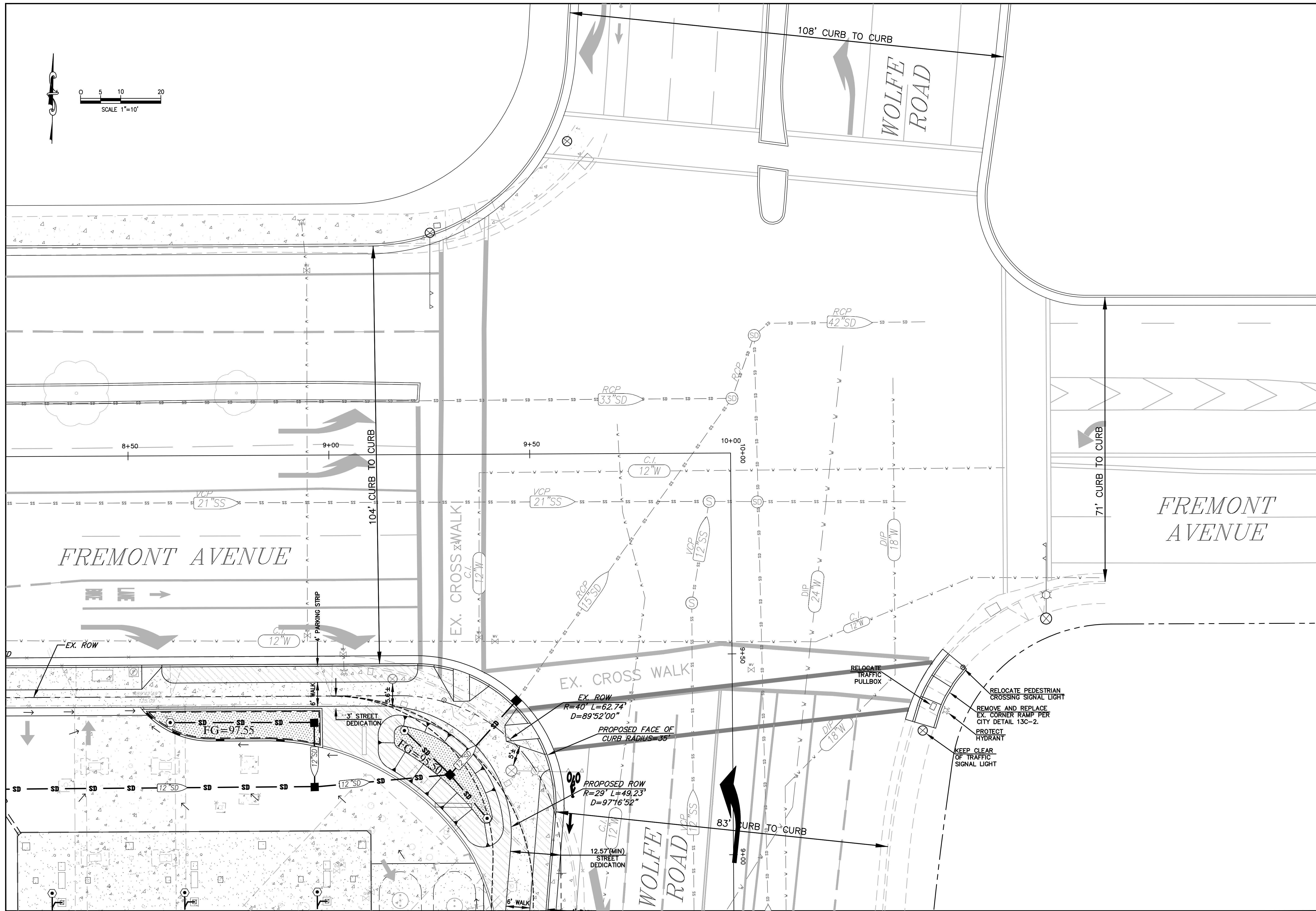
- 1 PLACE 3.5" AC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 2 PLACE 6" PCC OVER 4" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 3 CONSTRUCT 6" VERTICAL CURB.
- 4 SIDEWALK, PLACE 4"(MIN)PCC OVER 4"(MIN)AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 5 NEW FH PER CITY STD DETAIL 2B.
- 6 PLACE 6" PERFORATED STORMDRAIN INSIDE BIO-PLANTER.
- 7 NEW 6" FIRE SERVICE AND RPDA PER CITY DETAIL 21B.
- 8 RELOCATE EXISTING UTILITIES OR SIGNS.
- 9 PROPOSED FIRE SERVICE AND RPDA PER CITY DETAIL 21B TO SERVE THE BUILDING AT THE REAR AND THE FUELING CANOPY.
- 10 PROPOSED BIO-TREATMENT AREA.
- 11 PROPOSED STORM DRAIN PIPE MIN S=0.005.
- 12 PLACE NEW CATCH BASIN TOP OF GRATE 6" ABOVE FG OF BIO-TREATMENT AREA.
- 13 REMOVE EXISTING ADA RAMP AND INSTALL NEW DIRECTIONAL ADA COMPLIANT CURB RAMP PER LATEST CITY STANDARD, SEE TRAFFIC PLANS.
- 14 4'x5' TREE WELL PER CITY DETAIL PK-80.
- 15 REMOVE EXISTING OFFSITE DRAIN INLET AND INSTALL IN NEW POSITION ALONG REBUILT INTERSECTION CORNER AND INLINE WITH THE EXISTING STORM DRAIN PIPE. CONNECT ONSITE STORM DRAIN SYSTEM TO INLET.
- 16 PLACE 2.0" CURB OPENING.
- 17 EXISTING WALL TO REMAIN AND PROTECTED.
- 18 REMOVE OR RELOCATE EXISTING UTILITIES AS NEEDED FOR NEW CONSTRUCTION.
- 19 UPGRADE EXISTING FIRE HYDRANT TO CLOW 865 PER CITY DETAIL 2B-2. ALSO UPGRADE FIRE HYDRANT LATERAL.
- 20 PLACE STORM DRAIN JUNCTION BOX.
- 21 SAWCUT 2' FROM EXISTING CURB AND GUTTER ALONG ENTIRE STREET FRONTAGE. PAVE SMOOTH TRANSITION TO NEW GUTTER LIP. MATCH EXISTING STREET SECTION.
- 22 PLACE 2' VALLEY GUTTER AT DRIVEWAY ALONG FREMONT AVE, AND DRIVEWAY ALONG WOLFE ROAD.
- 23 PROPOSED DRIVEWAY PER CITY DETAIL 6C-4.
- 24 REMOVE & REPLACE EXISTING DRAIN INLET ADJUST TO GRADE INSIDE NEW PLANTER.
- 25 CONSTRUCT PCC RAMP WITH MAX 1:12 SLOPE.
- 26 CONSTRUCT PCC WALK/LANDING WITH MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- 27 CONSTRUCT AC PAVING WITH MAXIMUM SLOPE IN ALL DIRECTIONS AT ALL HANDICAPPED ACCESSIBLE PARKING SPACES AND ACCESS AISLES. VERIFY LOCATION WITH ARCHITECTURAL PLANS.
- 28 PLACE NEW BUBBLER 2" ABOVE FG OF BIO-TREATMENT AREA. SEE DETAIL ON SHEET C2.
- 29 PLACE NEW STORMWATER CLEANOUT.
- 30 PLACE NEW SANITARY SEWER CLEANOUT PER CITY DETAIL 15A.
- 31 INSTALL 6" SS LATERAL PER CITY DESIGN GUIDELINES. INSTALL SSMH ON PRIVATE PROPERTY
- 32 NEW WATER METER AND BACKFLOW PREVENTOR IS TO BE INSTALLED FOR IRRIGATION SYSTEM PER CITY DETAIL 18B AND 19B. IT IS NOT PERMITTED TO REUSE THE EXISTING WATER LATERAL. EXISTING WATER LATERAL IS TO BE ABANDONED.
- 33 PROTECT EXISTING UTILITIES.
- 34 PLACE NEW 2" WATER METER.
- 35 INSTALL NEW 2" DOMESTIC WATER LINE COMPLETE WITH RP DEVICE FOR NEW CONVENIENCE STORE AND QSR.
- 36 CONNECT 1,500 GALLON GREASE TRAP TO EXISTING SEWER.
- 37 REMOVE & REPLACE EXISTING CURB, GUTTER, & SIDEWALK ALONG PROPERTY FRONTAGE WITH NEW 6" CURB, 2-FOOT WIDE GUTTER, 10' WIDE SIDEWALK AND 4'x5' TREE WELLS.
- 38 RELOCATE RECYCLED WATER EQUIPMENT ALONG WOLFE ROAD FRONTAGE TO NEW POSITION.
- 39 GRIND AND OVERLAY 2.5" RUBBERIZED AC ALONG PROJECT FRONTAGE ON FREMONT AVE UP TO FIRST TRAFFIC LANE.
- 40 SLURRY SEAL (TYPE III) ALONG PROJECT FRONTAGE ON WOLFE ROAD FOR THE ENTIRE WIDTH OF THE STREET.
- 41 PLACE 6" PCC OVER 5" AB COMPACTED TO A MINIMUM 95% COMPACTION. FOR TRASH ENCLOSURE APRON.
- 42 4' WIDE PARK STRIP PER CITY DETAIL 9C-1, AND 12C.
- 43 ALONG PROJECT FRONTAGE AND AT INTERSECTION UPGRADE ALL STREETLIGHT FIXTURES PER THE CITY'S LATEST ROADWAY LIGHTING SPECIFICATIONS.
- 44 PLACE JUNCTION BOX.
- 45 INSTALL STREETLIGHT.

**GENERAL NOTES:**

- BACKFLOW PREVENTER TYPES: RPPA FOR DOMESTIC AND IRRIGATION. RPDA FOR FIRE.
- UTILITIES ARE TO BE ABANDONED PER CITY ABANDONMENT NOTES. WATER ABANDONMENTS ARE TO BE PERFORMED BY CITY CREW AT OWNER'S EXPENSE.
- CURRENT OFFSITE STRIPING IS SHOWN ON PLAN VIEW. FOR PROPOSED OFF-SITE STRIPING, PLEASE REFER TO TRAFFIC PLANS.
- FOR CHANGES TO THE INTERSECTION OF FREMONT AVENUE AND WOLFE ROAD, PLEASE REFER TO TRAFFIC PLANS.
- FOR DEMOLITION PLAN, PLEASE REFER TO ARCHITECT SHEET SD-0.

	<p><b>BAY AREA OIL SUPPLY, INC.</b> JAMES LIN 1500 FASHION ISLAND BLVD., 104 SAN MATEO, CA 94404 PHONE: (650) 346-8282</p>												
	<p><b>STUKAM CONSULTING ENGINEERS, INC.</b> 11344 COLONA RD, SUITE 235C GOLD RIVER, CA 95670 (916) 858-8241 PHONE (916) 988-6316 FAX</p>												
<p><b>PRELIMINARY GRADING &amp; UTILITY PLAN</b> <b>898 E. FREMONT AVE.</b> <b>CHEVRON GAS STATION</b> <b>CONVENIENCE STORE &amp; QSR</b> APN: 309-10-015</p>	<p>CITY OF SUNNYVALE SANTA CLARA COUNTY CALIFORNIA JOB NO: 2016-042   Designed: FTS   Checked: FTS   Date: 4/1/2024</p>												
<p>SHEET C2 Of 5 SHEETS</p>	<p>JOB NUMBER: 2016-042</p>												
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NO.	DATE	BY	CS	DATE	REVISIONS								





NO.	DATE	BY	CS	REVISIONS



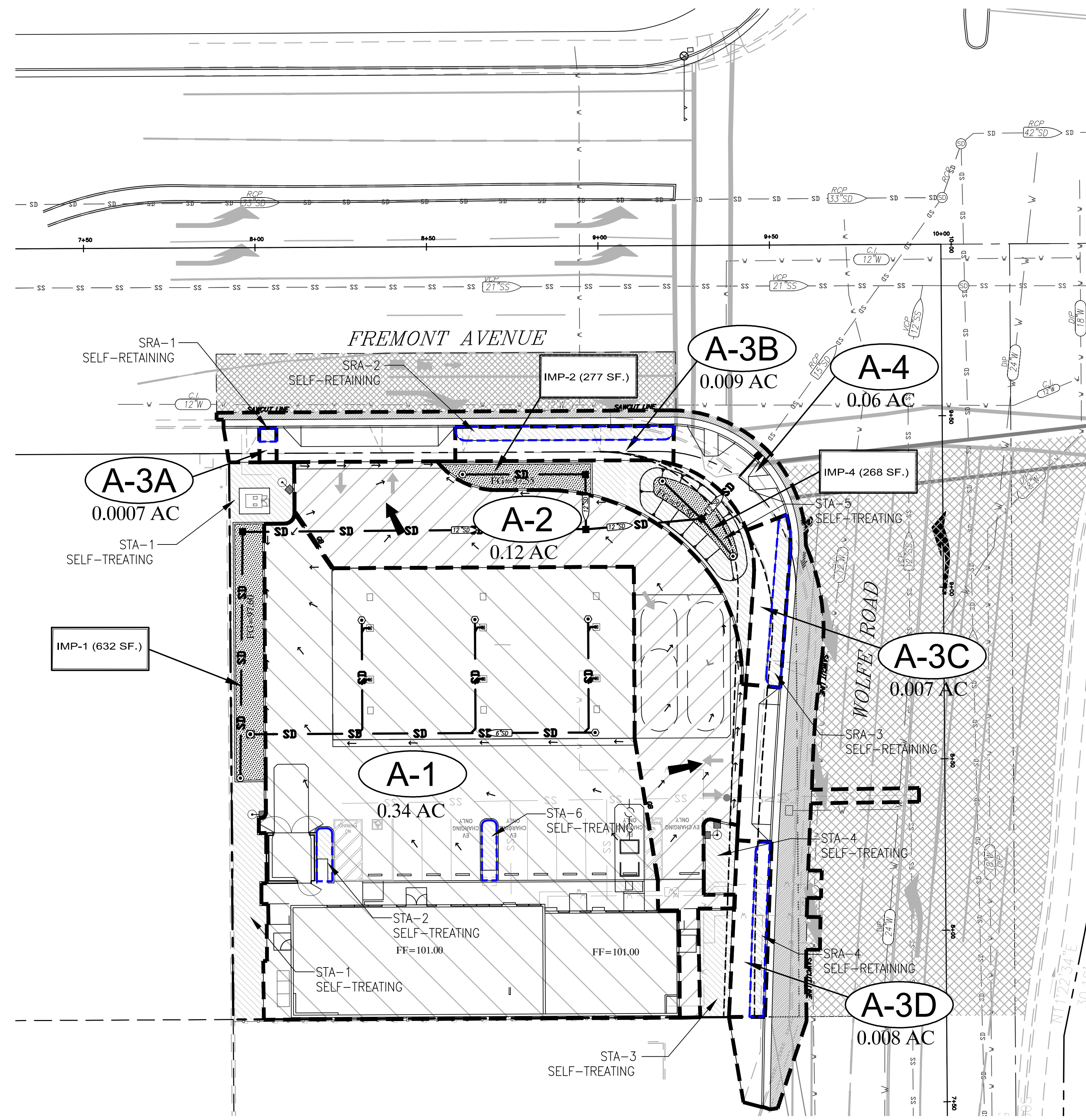
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 GOLD RIVER, CA 95670  
 (916) 858-8241 PHONE  
 (916) 988-6316 FAX

**INTERSECTION LAYOUT**  
**898 E. FREMONT AVE.**  
 CHEVRON GAS STATION  
 CONVENIENCE STORE & QSR  
 APN: 309-10-015  
 CITY OF SUNNYVALE SANTA CLARA COUNTY CALIFORNIA  
 JOB NO: 2016-042 | Designed: FTS | Checked: FTS | Date: 4/1/2024

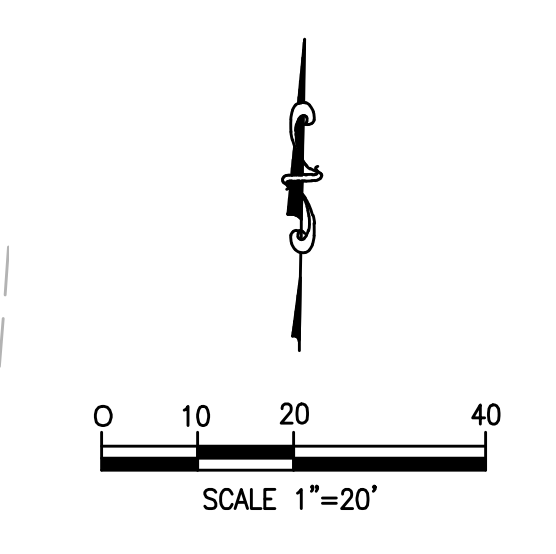
SHEET  
 C3  
 Of 5 SHEETS  
 JOB NUMBER:  
 2016-042





**LEGEND**

- DRAINAGE AREA BOUNDARY (DMA)
- - - SELF-RETAINING AREA
- (A-1) DRAINAGE AREA
- DIRECTION OF FLOW
- ← OVERLAND RELEASE



**IMP NAME: IMP-1**  
IMP TYPE: BIORETENTION FACILITY  
SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING		
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM PROPOSED AREA
DMA 1-PAVING	6,638	ASPHALT/CONCRETE	1.00	6,638			
DMA 1-ROOF	8,303	CONVENTIONAL ROOF	1.00	8,303			
<b>TOTAL:</b>				<b>14,941</b>	<b>0.040</b>	<b>1.00</b>	<b>655</b>

**IMP NAME: IMP-2**  
IMP TYPE: BIORETENTION FACILITY  
SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING		
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM PROPOSED AREA
DMA 2-PAVING	5,434	ASPHALT/CONCRETE	1.00	5,434			
<b>TOTAL:</b>				<b>5,434</b>	<b>0.040</b>	<b>1.00</b>	<b>277</b>

**IMP NAME: IMP-3**  
IMP TYPE: PARKING STRIP & TREE WELL  
SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING		
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM PROPOSED AREA
DMA 3A	30	CONCRETE	1.00	30			
DMA 3B	389	CONCRETE	1.00	389			
DMA 3C	305	CONCRETE	1.00	305			
DMA 3D	323	CONCRETE	1.00	323			
<b>TOTAL:</b>				<b>1,037</b>	<b>0.50</b>	<b>1.00</b>	<b>673</b>

**IMP NAME: IMP-4**  
IMP TYPE: BIORETENTION\*  
SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING		
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM PROPOSED AREA
DMA 4-OFFSITE	4,510	ASPHALT/CONCRETE	1.00	4,510			
<b>TOTAL:</b>				<b>4,510</b>	<b>0.04</b>	<b>1.00</b>	<b>201</b>

\*ONSITE TREATMENT PLANTER PROVIDED TO TREAT REPLACED OFFSITE IMPERVIOUS AREAS

**SELF-RETAINING AREAS**

NAME	AREA (SF.)	RETAINED (IN.)
SRA-1	20	1
SRA-2	251	1
SRA-3	199	1
SRA-4	203	1

**SELF-TREATING AREAS**

NAME	AREA (SF.)	RETAINED (IN.)
STA-1	966	1
STA-2	69	1
STA-3	371	1
STA-4	218	1
STA-5	1028	1
STA-6	74	1

**STORMWATER QUALITY FLOW CALCULATIONS FOR HYDRAULIC DESIGN**

Q = CIA  
C = 0.80 FOR COMMERCIAL/INDUSTRIAL PROPERTY  
I = 0.20 INCHES PER HOUR  
A = AREA, ACRES

AREA -1 = 0.35 AC  
Q: 0.80 x 0.20 x 0.35 = 0.056 CFS

AREA -2 = 0.14 AC  
Q: 0.80 x 0.20 x 0.14 = 0.0224 CFS

**SIZING OF CURB OPENING FOR 2 YEAR**

$Q = AV = 1.486/N \times R^{2/3} \times S^{1/2} \times A$

A = CROSS SECTIONAL AREA (SF.)  
V = FLOW VELOCITY (FT/S)  
R = HYDRAULIC RADIUS  
S = SLOPE PER (FT)  
n = MANNING COEFFICIENT  
A = 0.28 AC.  
Q = 0.0448 CFS  
S = 0.01  
 $R = a/p = 1.5 / 4 = 0.375ft$   
n = 0.13  
 $Q = AV = 1.486/N \times R^{2/3} \times S^{1/2} \times A$   
 $Q = 1.486/0.015 \times (0.375)^{2/3} \times (0.1)^{1/2} \times 0.28$   
Q = 4.56 CFS

**MINIMUM TCMS AND BMPS FOR LAND USE OF CONCERN:**

- GAS STATION OR EQUIPMENT FUELING FACILITIES:
- ALL NEW FUELING STATIONS OR EXPANSION OF SUCH USES SHOULD INCLUDE THE FOLLOWING BMPS:
- INSTALL AND MAINTAIN A TREATMENT CONTROL MEASURE
  - PAVE THE FUELING AREA FLOORS WITH AN IMPERMEABLE SURFACE (I.E., PORTLAND CEMENT CONCRETE OR EQUIVALENT SMOOTH IMPERVIOUS SURFACE).
  - COVER THE FUELING AREAS WITH A CANOPY OR COVER THAT EXTENDS A MINIMUM OF TEN FEET IN EACH DIRECTION FROM EACH PUMP; ALTERNATIVELY, COVER THE FUELING AREAS WITH A CANOPY OR COVER THAT HAS MINIMUM DIMENSIONS EQUAL TO OR GREATER THAN THE AREA WITH THE GRADE BREAK OR FUEL DISPENSING AREA. (THE FUEL DISPENSING AREA IS DEFINED AS THE AREA EXTENDING A MINIMUM OF 6.5 FEET FROM THE CORNER OF EACH FUEL DISPENSER OR THE LENGTH AT WHICH THE HOSE AND NOZZLE ASSEMBLY MAY BE OPERATED PLUS A MINIMUM OF ONE FOOT, WHICHEVER IS GREATER. IN NO CASE SHOULD THE CANOPY OR COVER DRAIN ONTO THE FUELING AREA).
  - GRADE THE FUEL AREA TO PREVENT WATER DRAINING TOWARD THE FUELING AREA.
  - GRADE THE FUEL AREA WITH THE MINIMUM SLOPE NECESSARY TO PREVENT PONDING.
  - SEPARATE THE FUELING AREA FROM THE REST OF THE SITE BY A GRADE BREAK THAT PREVENTS RUN-ON OF STORM WATER TO THE MAXIMUM EXTENT PRACTICABLE.
  - DRY SWEEP THE FUELING AREA ROUTINELY.
  - STENCIL ALL ON-SITE STORM DRAINS IN CONFORMANCE WITH THE CITY'S REQUIREMENTS.
  - PREPARE A SPILL CLEANUP PLAN IN CONFORMANCE WITH THE CITY OF SUNNYVALE FIRE CODE.

**Pollutant Sources**

- The following are sources of pollutants:
- ☐ Fueling
  - ☐ Spills
  - ☐ Surface cleaning
  - ☐ Air / water supply areas
  - ☐ Dumpster and trash can areas

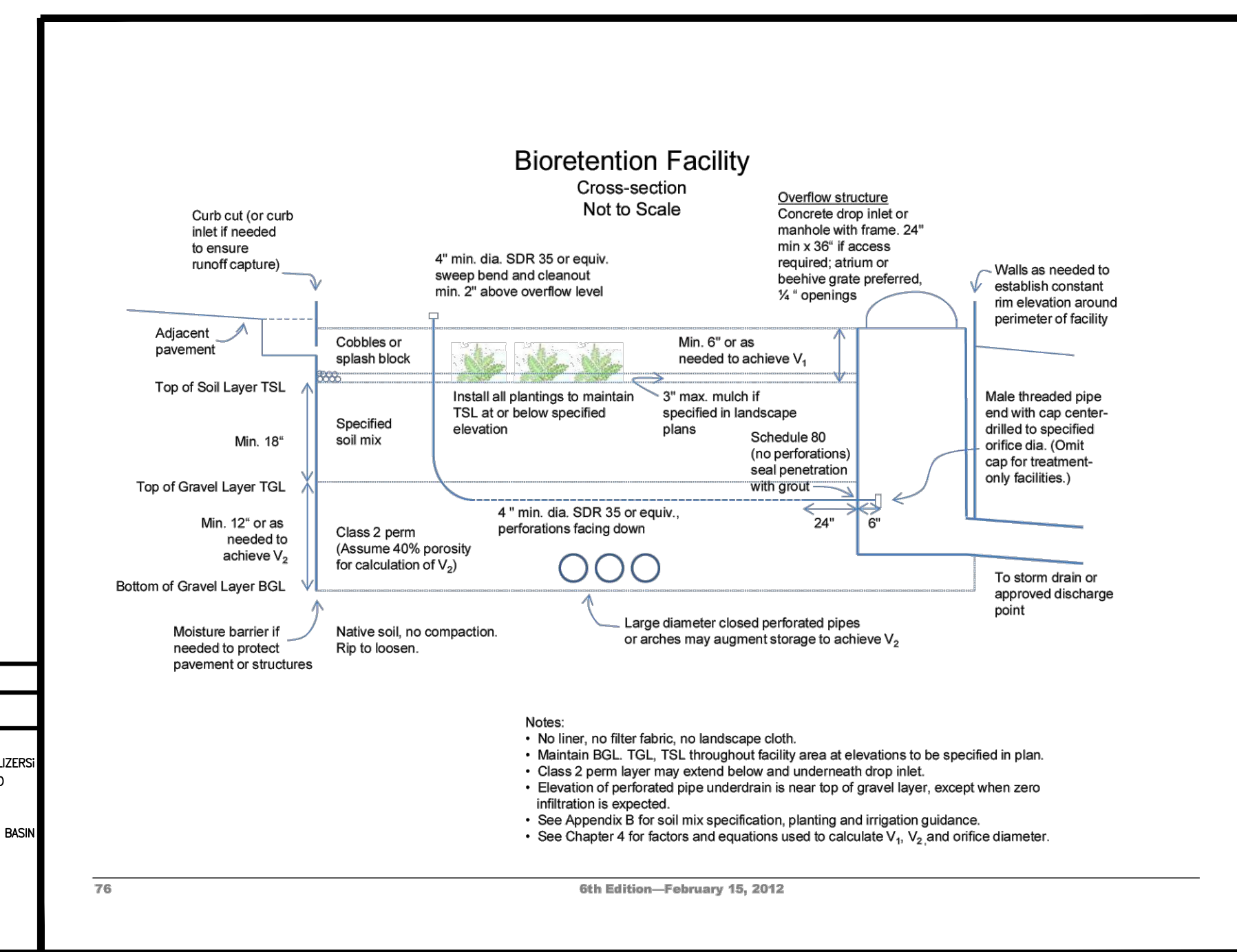
- Pollutants can include:
- ☐ Heavy metals (copper, lead, nickel, and zinc)
  - ☐ Hydrocarbons (oil and grease, PAHs)
  - ☐ Toxic chemicals (benzene, toluene, xylene, MTBE)
  - ☐ Detergents
  - ☐ Food waste and trash

Reference: California Stormwater BMP Handbook Industrial and Commercial [www.cabmpandbooks.com](http://www.cabmpandbooks.com)

**Creek Receiving the Watershed**

Stevens Creek

STORMWATER CONTROL MEASURES USED	
SITE DESIGN	SOURCE CONTROLS
1. DISCONNECT DOWNSPOUTS, 2. MINIMIZE CHANGE IN RUNOFF HYDROGRAPH	1. BENEFICIAL LANDSCAPING (MINIMIZES IRRIGATION, RUNOFF) PESTICIDES & FERTILIZERS (PROMOTES TREATMENT) 2. KRISTAR UPFLO MINIWALL
	2. MAINTENANCE (STREET SWEEPING CATCH BASIN CLEANING)
	3. STORM DRAIN SIGNAGE



- Notes:
- No liner, no filter fabric, no landscape cloth.
  - Maintain BGL, TGL, TSL throughout facility area at elevations to be specified in plan.
  - Class 2 perm layer may extend below and underneath drop inlet.
  - Elevation of perforated pipe underdrain is near top of gravel layer, except when zero infiltration is expected.
  - See Appendix B for soil mix specification, planting and irrigation guidance.
  - See Chapter 4 for factors and equations used to calculate V<sub>1</sub>, V<sub>2</sub> and orifice diameter.

REVISIONS

NO.	DATE	BY

**BAY AREA OIL SUPPLY, INC.**  
JAMES LIN  
1500 FASHION ISLAND BLVD., 104  
SAN MATEO, CA 94404  
PHONE: (650) 346-8282

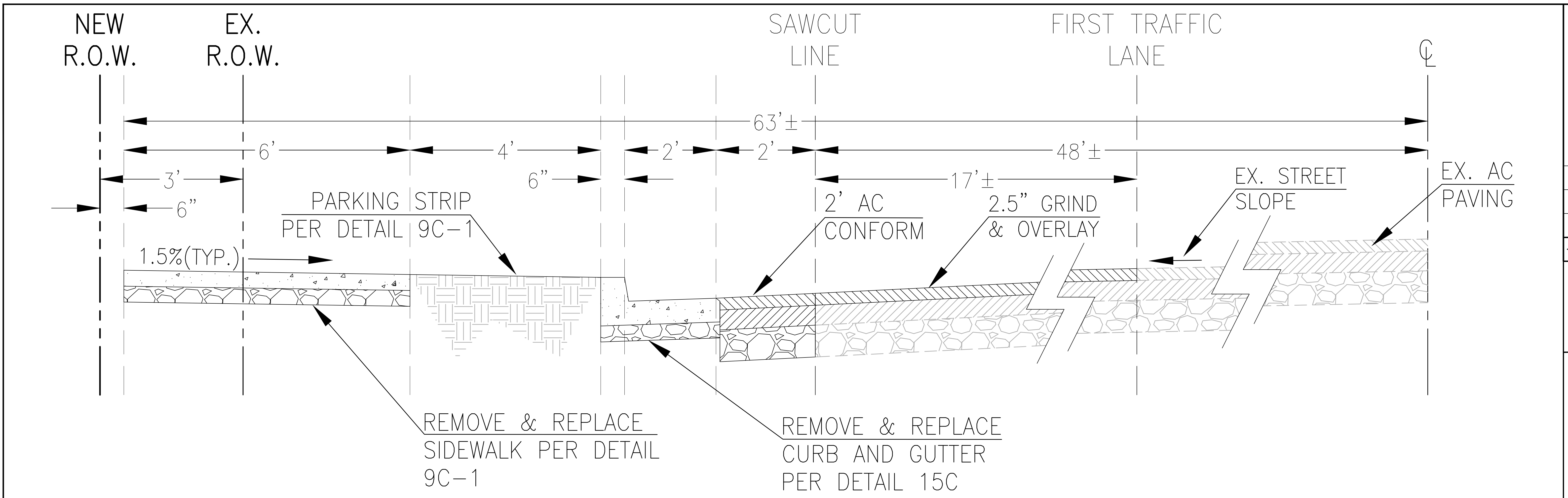
**STUKAM CONSULTING ENGINEERS, INC.**  
11344 COLOMA RD, SUITE 235C  
GOLD RIVER, CA 95670  
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(916) 988-6316 FAX

**STORMWATER CONTROL PLAN**  
**898 E. FREMONT AVE.**  
**CHEVRON GAS STATION,**  
**CONVENIENCE STORE & QSR**  
APN: 309-10-015

CITY OF SUNNYVALE SANTA CLARA COUNTY CALIFORNIA  
JOB NO: 2016-042 [Checked] [FIS] [Date: 4/1/2024]

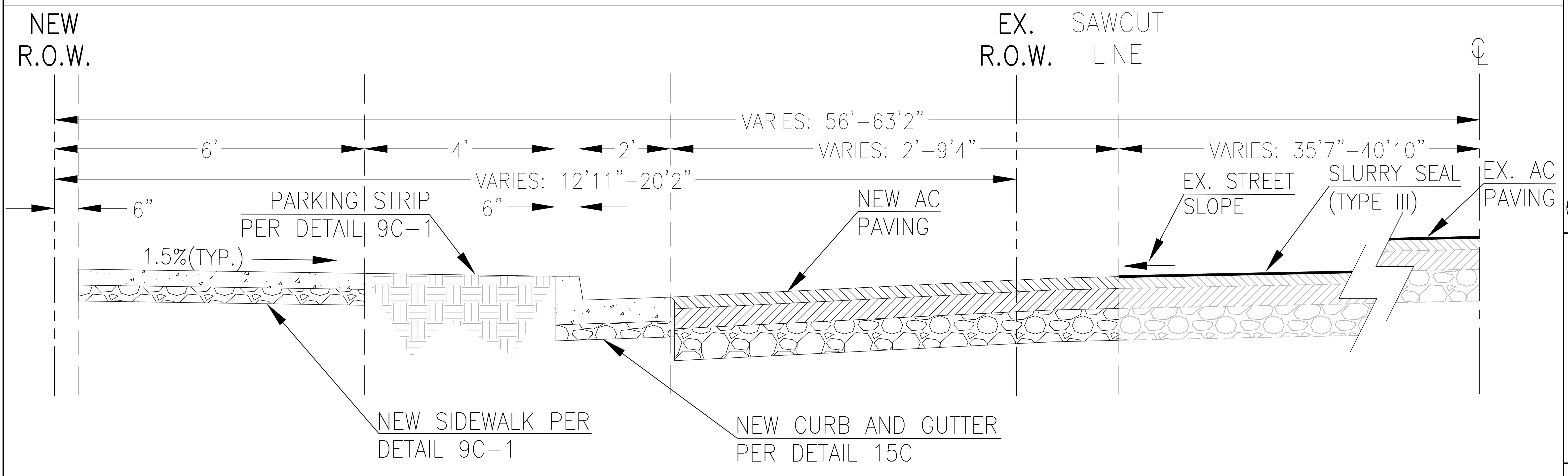
SHEET  
C4  
Of 5 SHEETS  
JOB NUMBER:  
2016-042





**TYPICAL FREMONT AVENUE HALF STREET SECTION**

SCALE: 1"=1'



**TYPICAL WOLFE ROAD HALF STREET SECTION**

SCALE: 1"=1'

NO.	DATE	BY	REVISIONS



**BAY AREA OIL SUPPLY, INC.**  
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**STREET HALF SECTIONS**  
**898 E. FREMONT AVE.**  
 CHEVRON GAS STATION  
 CONVENIENCE STORE & QSR  
 APN: 309-10-015  
 CITY OF SUNNYVALE SANTA CLARA COUNTY CALIFORNIA  
 JOB NO: 2016-042 | Designed: FTS | Checked: FTS | Date: 4/1/2024

SHEET  
 C5  
 Of 5 SHEETS  
 JOB NUMBER:  
 2016-042

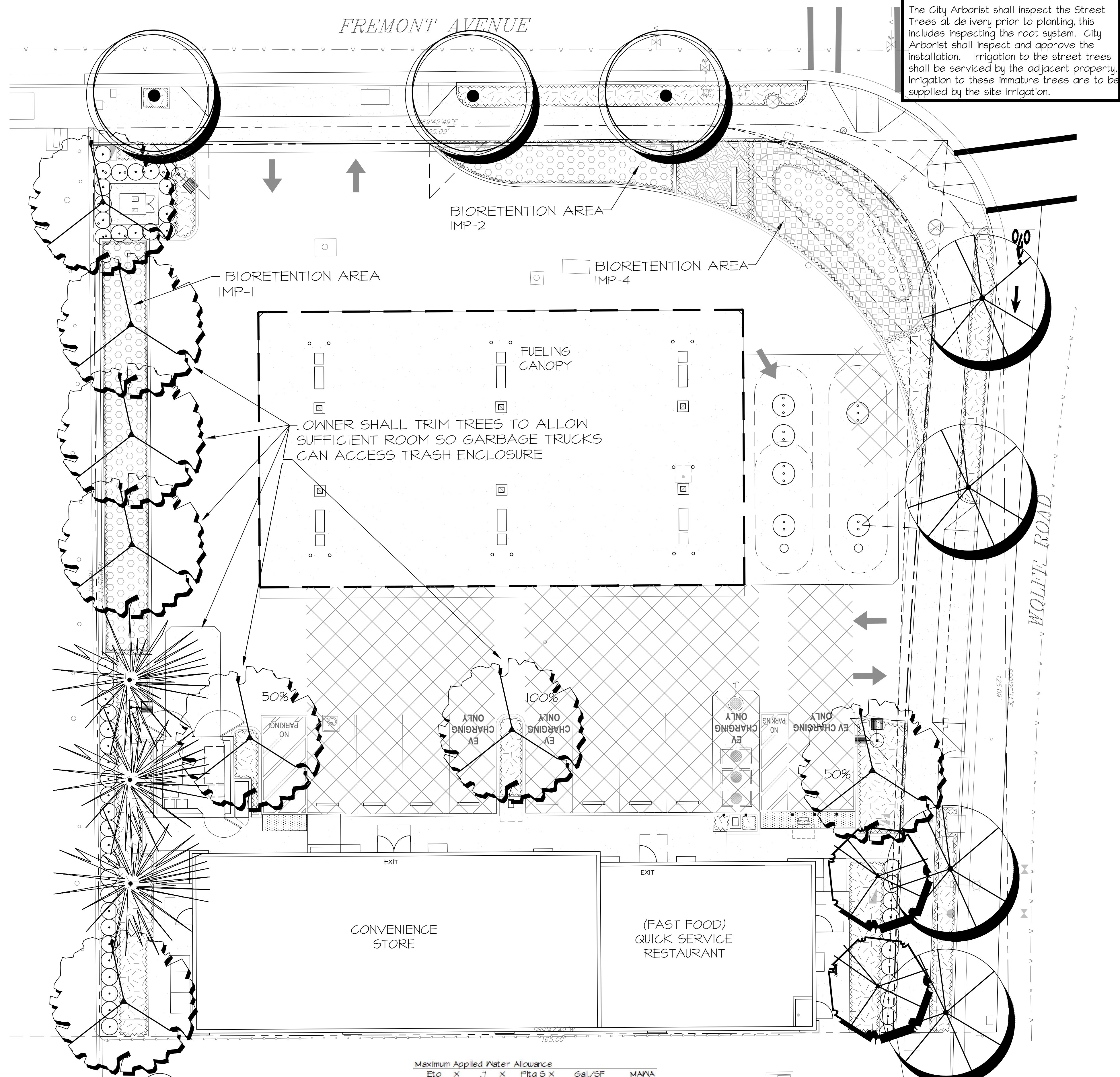




**Architects**

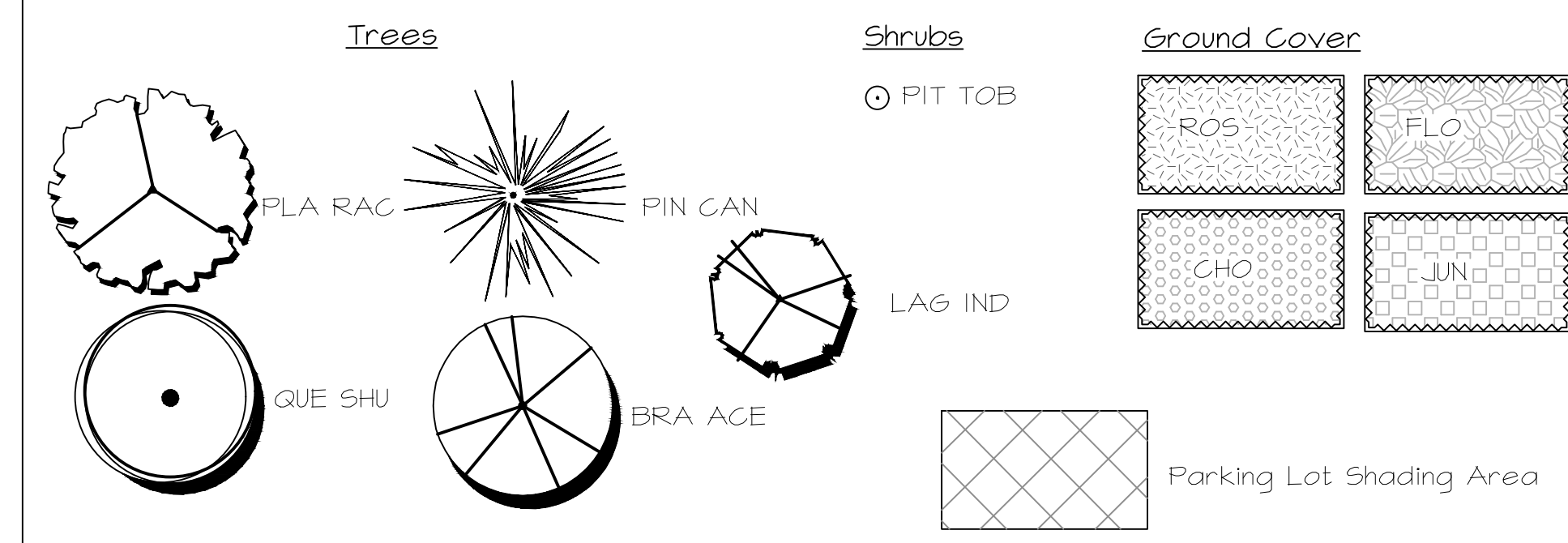
M I Architects, Inc.  
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**PLANTING LEGEND**

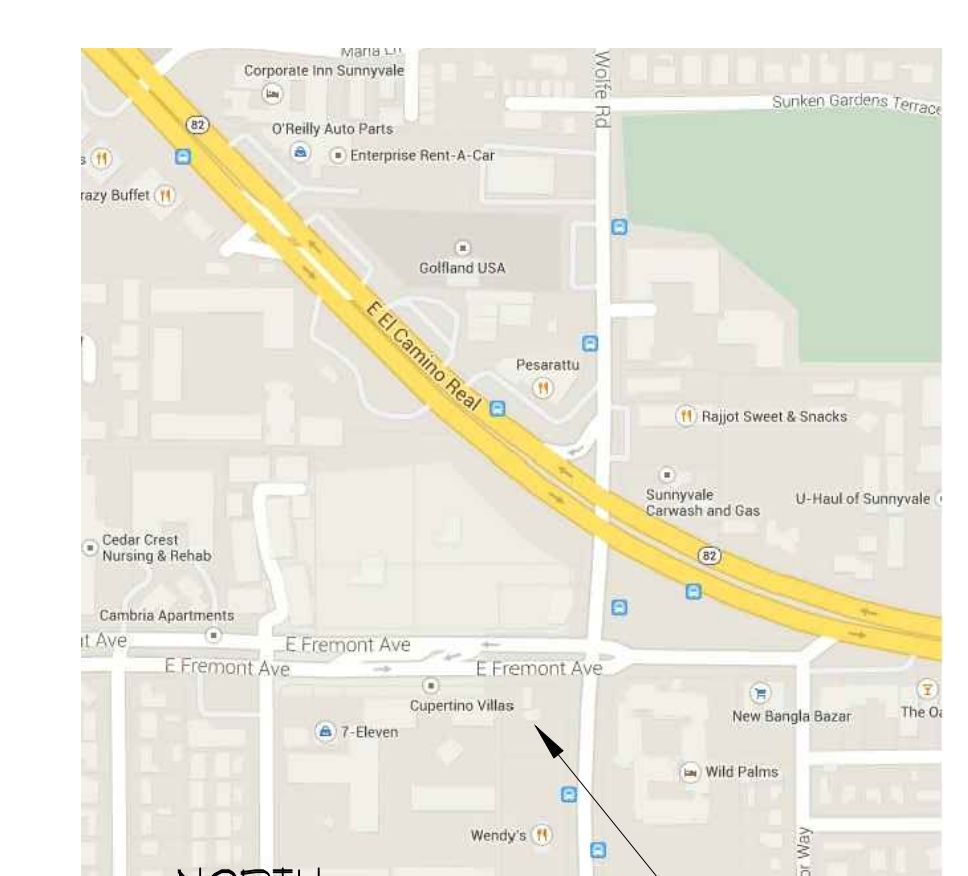
Symbol	BOTANICAL NAME	COMMON NAME	SIZE	QNTY
<b>Trees</b>				
PLA RAC	Platanus racemosa	Western Sycamore	L 15 gallon	8
LAG IND	Lagerstroemia indica 'Musk.'	Grape Myrtle	L 15 gallon	2
QUE SHU	Quercus shumardii	Shumard Oak	L 24" Box	3
BRA ACE	Brachychiton acerifolius	Australian Flametree	L 24" Box	4
PIN CAN	Pinus canariensis	Canary Island Pine	L 48" Box	3
<b>Shrubs</b>				
PIT TOB	Pittosporum tobira 'Variegata'	Var. Mock Orange	L 5 Gallon	50
<b>Ground Cover</b>				
ROS	Rosmarinus off. 'Huntington Carpet'	Huntington Carpet Rosemary	L 1 gallon @ 36" oc	182
ANN	ANN Mexican Tarragon	Tagetes lucida Marigold	M 4" Pot @ 14" oc	126
JUN	Juncus patens 'Enigma'	Mystery Blue California Gray Rush	L 1 gallon @ 36" oc	55
CHO	Chondropetalum elephantinum	Large Cape Rush	L 1 Gallon @ 48" oc	76



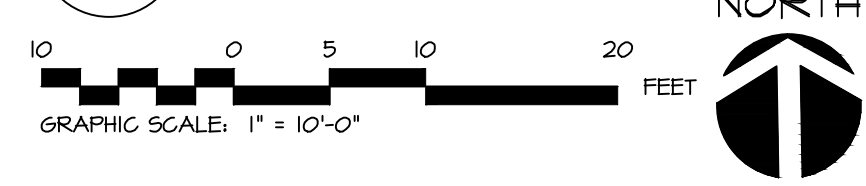
**PLANTING NOTES**

- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of Hardwood mulch.
- All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species an size as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
- Landscape shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
- CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
- A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
- Incorporate compost or natural fertilizer into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet.
- All Plantings shall be automatically irrigated utilizing state of the art subsurface drip irrigation system, weather based controller component, monitoring and installation techniques.
- All details shall comply with city standard details.

**VICINITY MAP**



**1 PLANTING PLAN**  
1" = 10'-0"



Maximum Applied Water Allowance				
Eto	X	Pitg SF	Gal/SF	MAWA
49.0	0.45	3,568	0.62	42,805
Estimated Total Water Use				
Plant Water Use	(Eto)(.062)	X	(PF X HA)	ETW
Low	26.7		1,321	35,231
Medium	26.7		0	0
High	26.7		0	0
			Total	35,231
Proposed Landscape Water Use				
Plant Type	H2O Use	Pitg SF	Gallons	% of Land.
Low	0.30	3,568	35,231	100%
Medium	0.60	0	0	0%
High	0.90	0	0	0%
Totals		3,568	35,231	100%

Botanical Name	Quantity @ Full Shade / Sq. Ft.	Quantity @ 1/2 Shade / Sq. Ft.	Total (Sq. Ft.)
Platanus racemosa	1 @ 962	2 @ 481	1,924
	Total Surface Area=		3,829
	50% SHADE AREA REQUIRED=		1,915
	SHADE BY TREES=		1,924
	PERCENT SHADE=		50.2%

**Ciardella associates**  
Landscape Architecture  
Urban Design  
200 Clock Tower Place  
Suite D100-A  
Carmel, CA 93923  
Tel 831 624 6100  
Tel 650 326 6100  
ca@ciardella-assoc.com



NO.	DATE	DESCRIPTION
1	02-28-16	ISSUED FOR CONSTRUCTION
2		ISSUED FOR PLAN CHECK
3		ISSUED FOR PLANNING
4		
5		
6		
7		
8		

LANDSCAPE PLAN

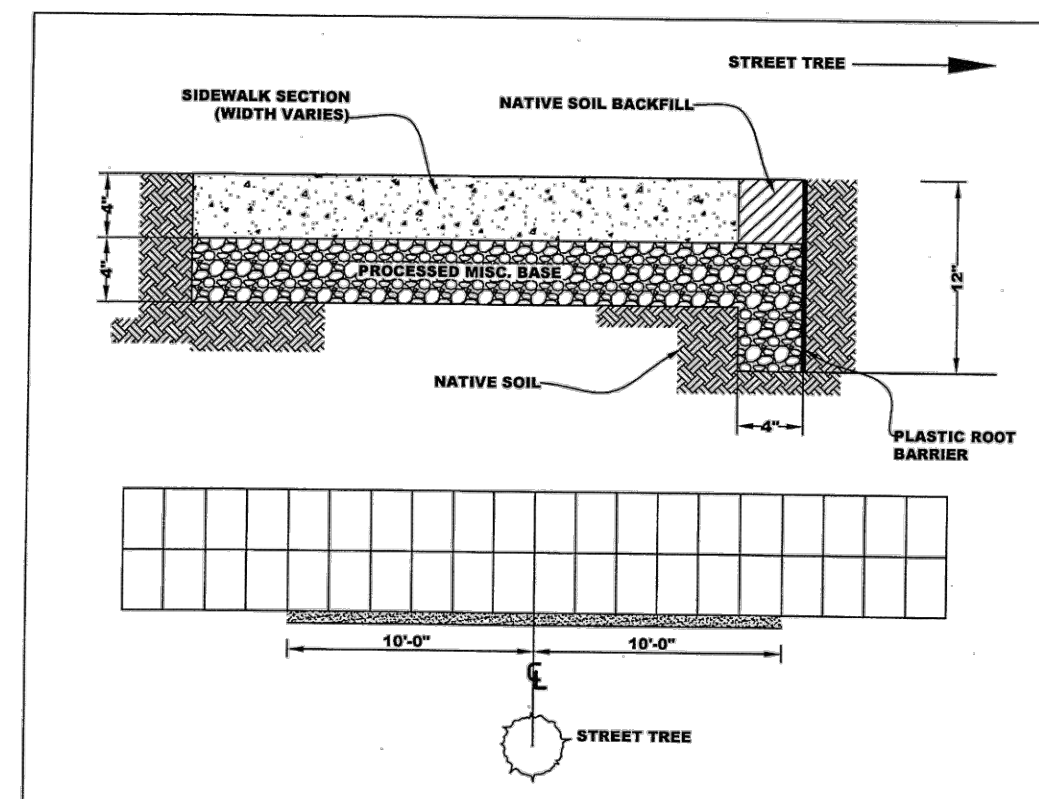
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DRAWN: rc CHECKED: rc  
SCALE: AS NOTED DATE: 02-19-14

**LA1**



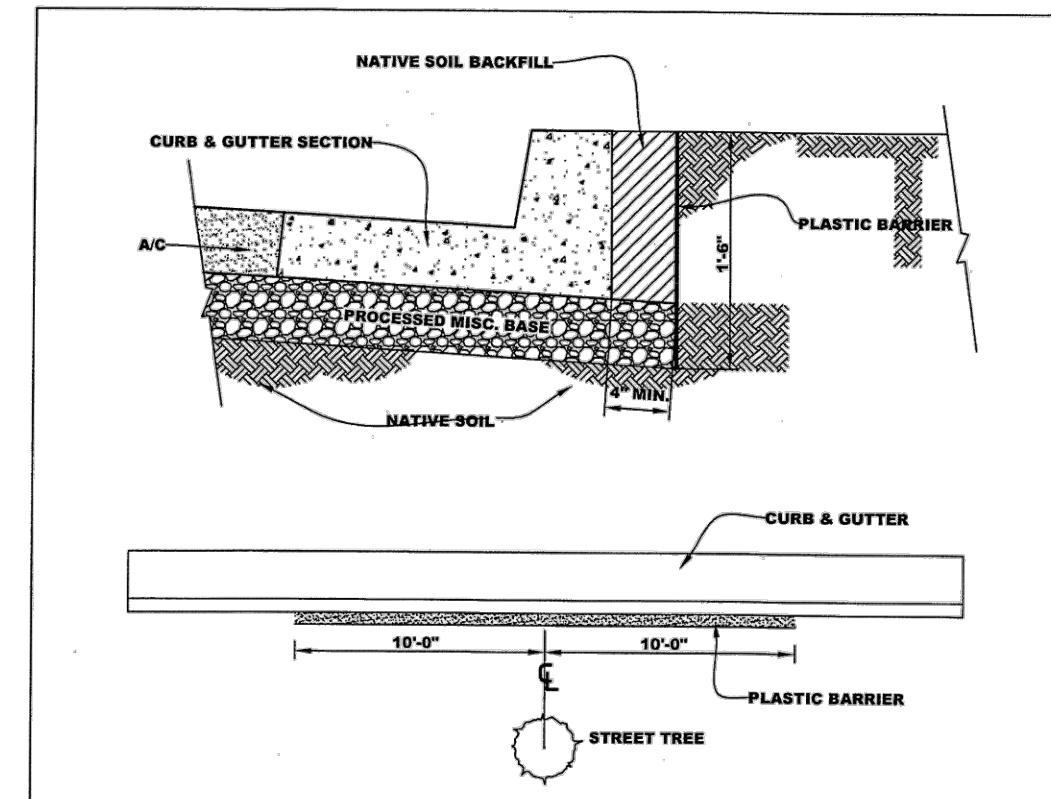


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925-878-9875 Cell  
mthana@miarchitect.com  
www.miarchitect.com



1. PLASTIC ROOT BARRIER SHALL BE MINIMUM 40 MIL THICK HIGH DENSITY POLYETHYLENE PLASTIC SHEETING TWELVE (12) INCHES WIDE.
2. THE PLASTIC ROOT BARRIER SHALL BE INSTALLED FOUR (4) INCHES FROM THE CONCRETE EDGE ON THE TREE SIDE OF THE ROOT BARRIER TRENCH.
3. THE PLASTIC ROOT BARRIER SHALL BE A CONTINUOUS SHEET ITS ENTIRE INSTALLED LENGTH.
4. THE PLASTIC ROOT BARRIER SHALL BE INSTALLED TO A MINIMUM LENGTH OF TEN FEET EITHER SIDE OF THE CENTER LINE OF THE STREET TREE.
5. THE PLASTIC ROOT BARRIER SHALL EXTEND TO THE SOIL SURFACE. THE TOP EDGE OF ROOT BARRIER SHOULD BE AT GRADE AND VISIBLE AFTER INSTALLATION.
6. PROCESSED MISC. BASE SHALL BE INSTALLED IN BOTTOM OF ROOT BARRIER TRENCH UP TO BASE OF SIDEWALK. BASE ROCK SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
7. NATIVE SOIL SHALL FILL TOP FOUR (4) INCHES OF ROOT BARRIER TRENCH. THIS SOIL DOES NOT REQUIRE COMPACTION.
8. IT IS IMPERATIVE THAT BASE ROCK IN ROOT BARRIER TRENCH BE COMPACTED. IF MATERIAL IN ROOT BARRIER TRENCH IS NOT COMPACTED, ROOTS WILL GROW INTO THIS AREA AND TRAVEL IN INTERFACES BETWEEN BASE OF CONCRETE AND BASE ROCK DEFEATING THE FUNCTION OF ROOT BARRIER INSTALLATION.

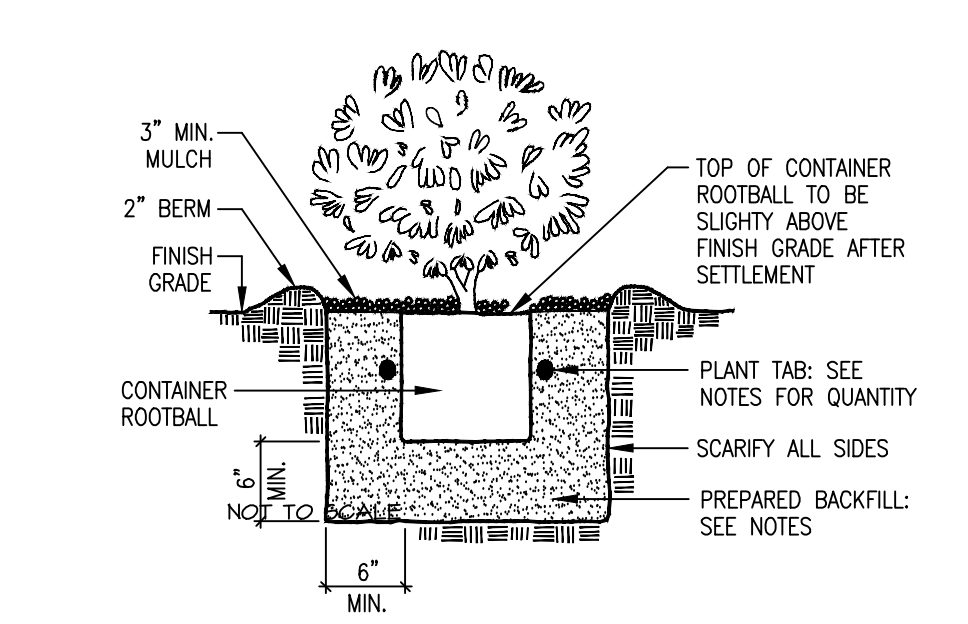
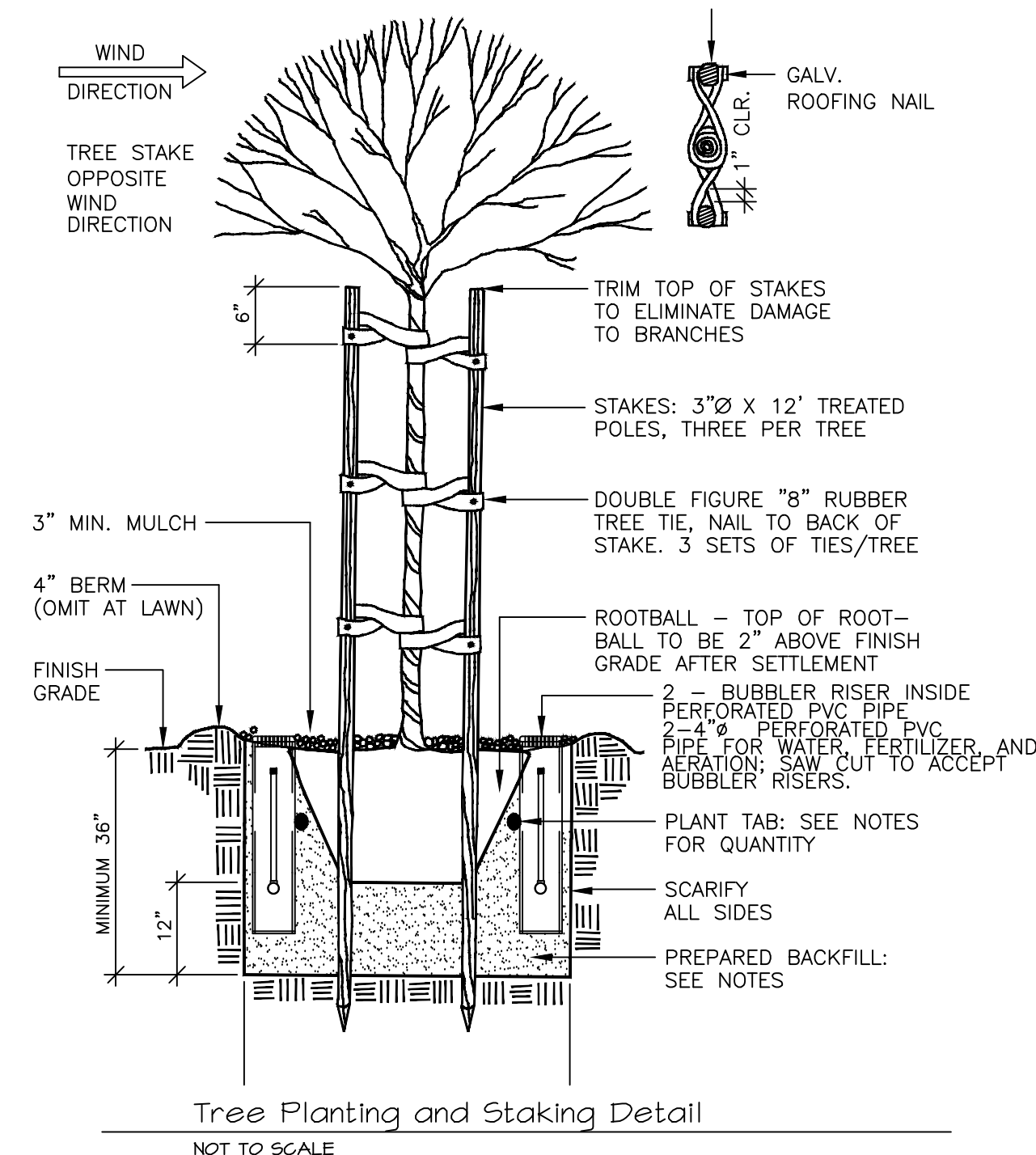
**ROOT CONTROL BARRIER  
INSTALLATION AT SIDEWALK**  
DATE: 1 JUNE 30, 2009  
APPROVED BY: [Signature]  
13F



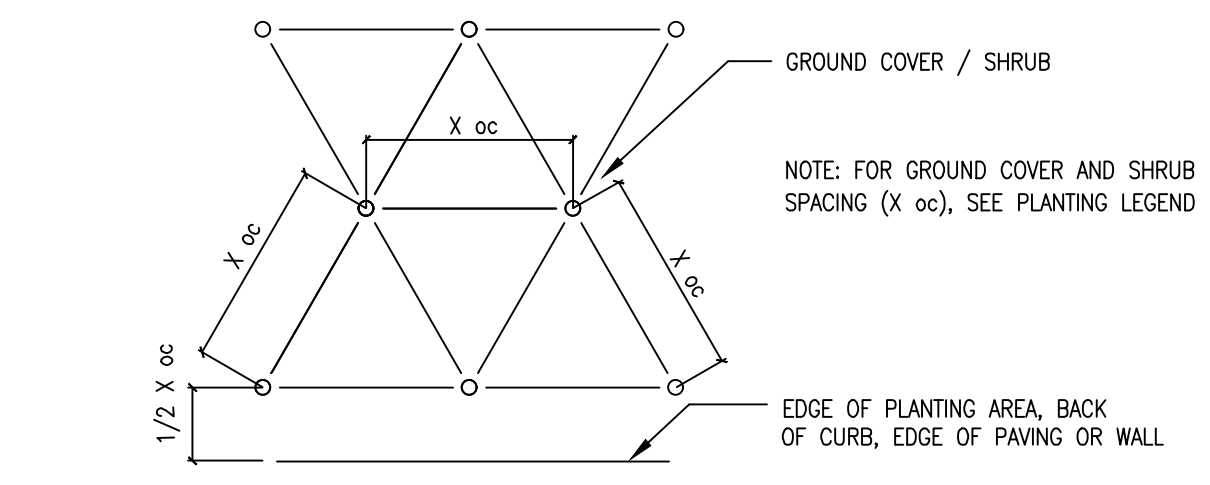
1. PLASTIC ROOT BARRIER SHALL BE MINIMUM 40 MIL THICK HIGH DENSITY POLYETHYLENE PLASTIC SHEETING EIGHTEEN (18) INCHES WIDE.
2. THE PLASTIC ROOT BARRIER SHALL BE INSTALLED FOUR (4) INCHES FROM THE CONCRETE EDGE ON THE TREE SIDE OF THE ROOT BARRIER TRENCH.
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**ROOT CONTROL BARRIER  
INSTALLATION AT CURB**  
DATE: 1 JUNE 30, 2009  
APPROVED BY: [Signature]  
14F

2006 STANDARD DETAILS



Shrub / Ground Cover Planting



Plant Spacing  
NOT TO SCALE

CHEVRON GAS STATION,  
CONVENIENCE STORE & OSR  
898 E. FREMONT AVE.  
SUNNYVALE, CA 94087

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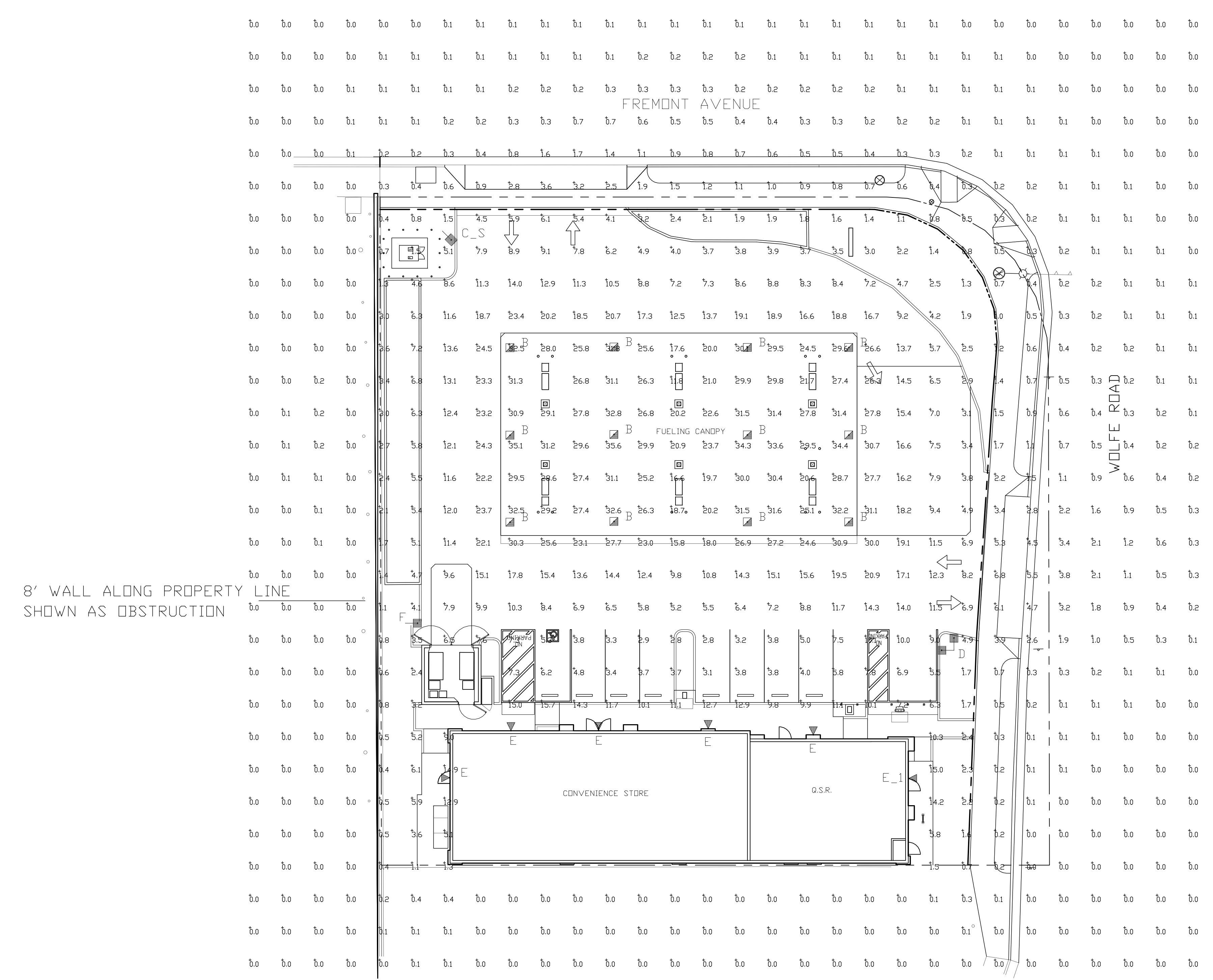
**Ciardella  
associates**  
200 Clock Tower Place  
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Carmel, CA 93923  
Tel 831 624 6100  
Tel 650 326 6100  
ca@ciardella-assoc.com



LANDSCAPE  
DETAILS  
PROJECT #: 13-4304  
DRAWN: rc CHECKED: rc  
SCALE: AS NOTED DATE: 02-19-14

LA2





Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	12	B	SINGLE	CRUS-SC-HD-50 MTD @ 16'-4"	1.000	N.A.	19071	125
	1	C_S	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-18'POLE+2'BASE	1.000	N.A.	12043	135
	1	D	2 @ 90 DEGREES	SLM-LED-18L-SIL-FT-50-70CRI-IL-T90-18'POLE+2'BASE	1.000	N.A.	24086	270
	5	E	SINGLE	XPWS3-WT-LED-48-450-CW-UE MTD @ 10'	1.000	N.A.	6144	72
	1	E_1	SINGLE	XPWS3-WT-LED-48-450-CW-UE MTD @ 10'	0.900	N.A.	6144	72
	1	F	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-18'POLE+2'BASE	1.000	N.A.	12043	135

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	5.28	35.6	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	27.65	35.6	11.8	2.34	3.02
INSIDE CURB	Illuminance	Fc	11.98	31.1	2.8	4.28	11.11

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts  
Total Watts = 2472

**SD1-L**

1000 ALLIANCE BL. CHICAGO, ILL. 60601 USA  
(312) 750-3000 • FAX (312) 750-6800

LIGHTING PROPOSAL LD-133537-8

CHEVRON  
898 E. FREMONT AVE  
SUNNYVALE, CA

BY: WKE DATE: 6-23-16 REV: 9-29-24 SHEET 1 OF 1

SCALE: 1"=16'

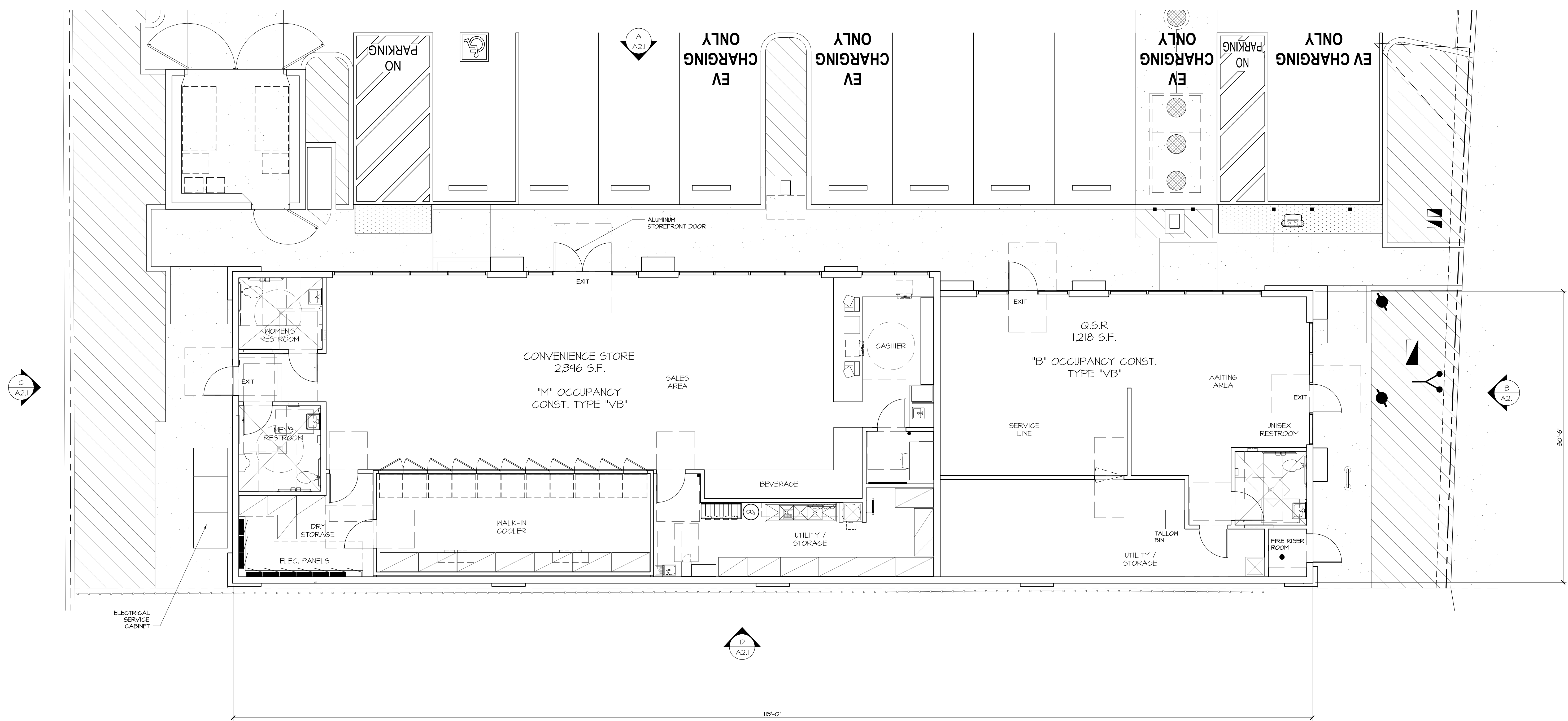




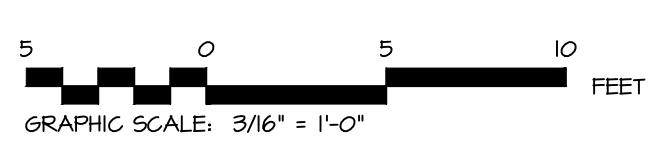
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**1 FLOOR PLAN**  
3/16" = 1'-0"



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- ISSUED FOR PLAN CHECK
- 01-28-18 ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
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△		
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△		

FLOOR PLAN  
PROJECT #: 13-4304  
DRAWN: BB CHECKED: MI  
SCALE: AS NOTED DATE: 06-20-18

**A1.1**

S:\1-Projects\13-4304-898 E Fremont Ave Sunnyvale\Drawings\Planning\13-4304-A1.1.dwg modified by Muthana Ibrahim at Apr 08, 2024 - 6:26pm





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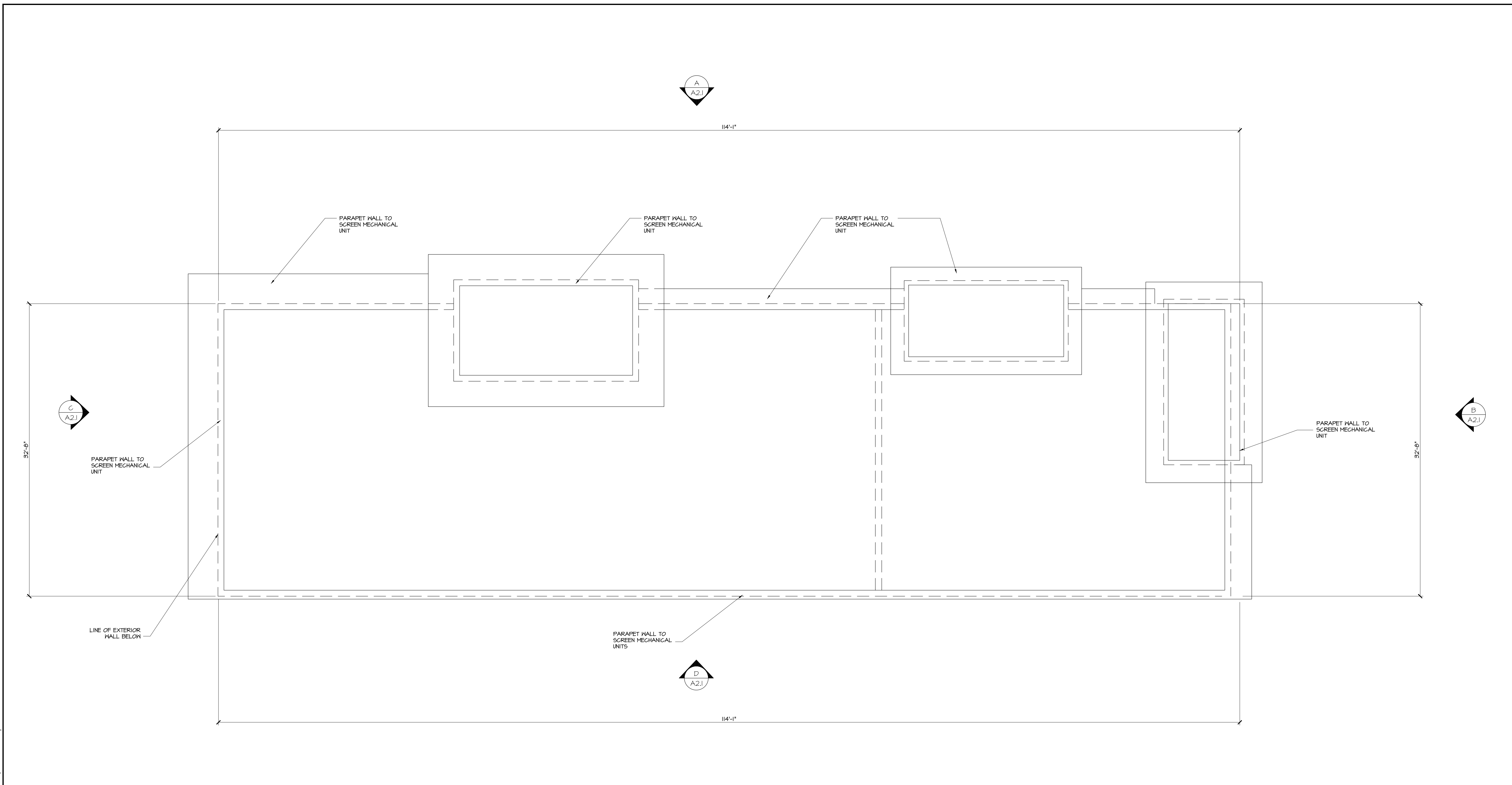
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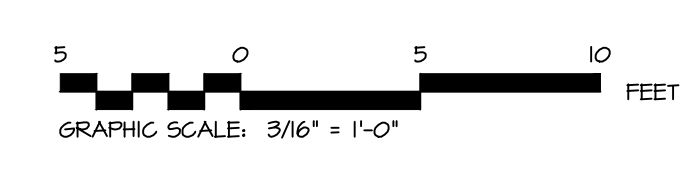
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ROOF PLAN  
PROJECT #: 13-4304  
DRAWN: BB CHECKED: MII  
SCALE: AS NOTED DATE: 06-20-18

A1.2



1 ROOF PLAN  
3/16" = 1'-0"



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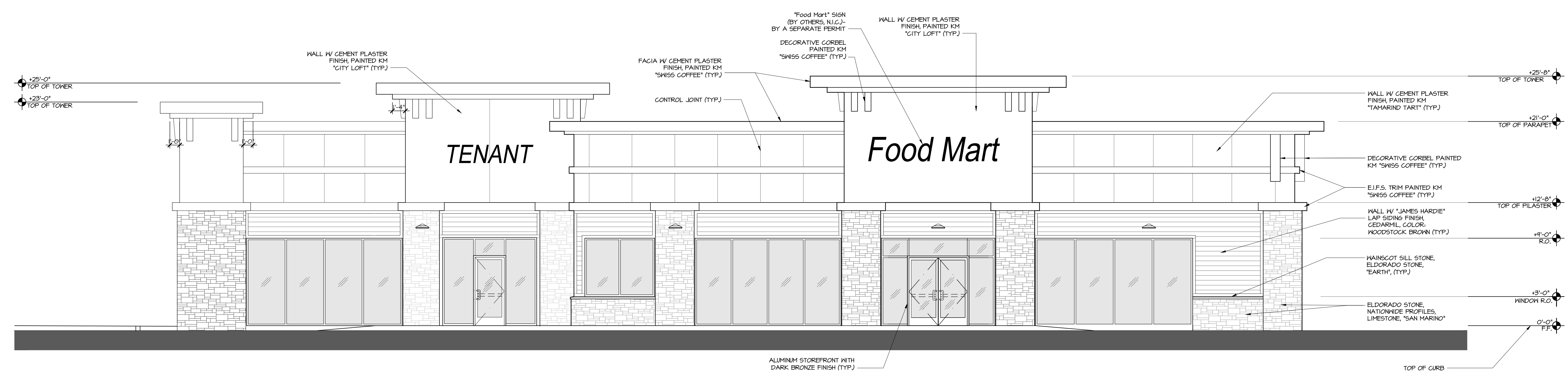
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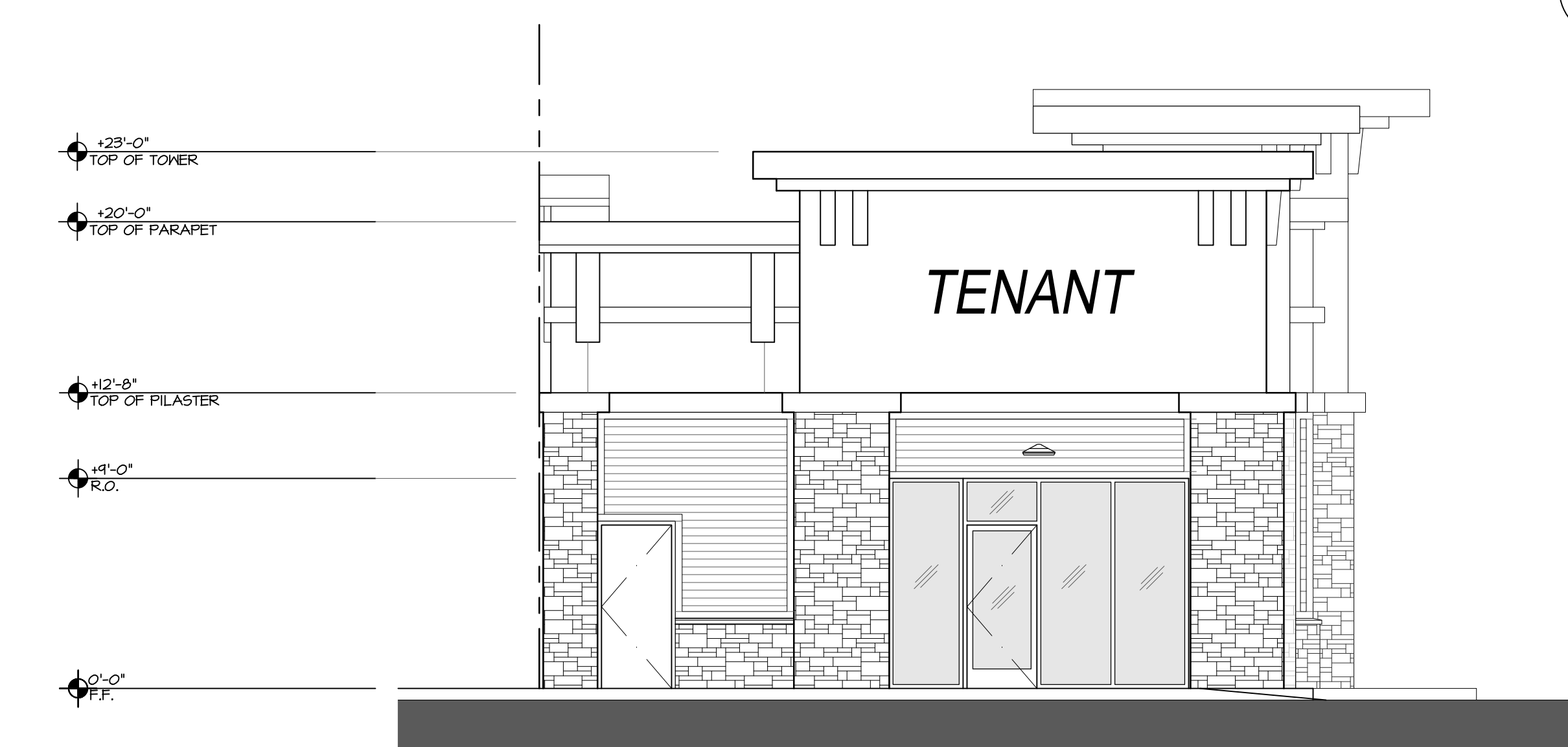
BUILDING ELEVATION

PROJECT #: 13-4304  
DRAWN: BB CHECKED: MI  
SCALE: AS NOTED DATE: 06-20-18

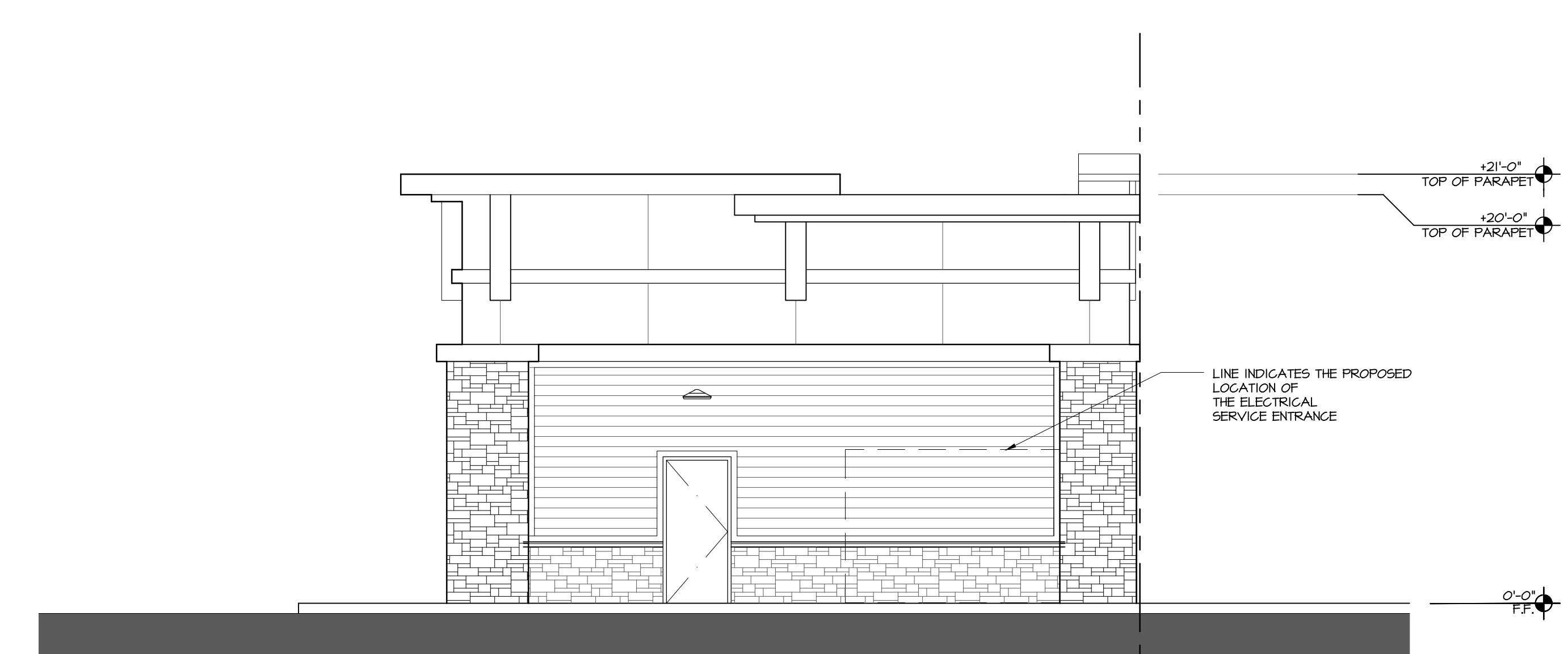
**A2.1**



**A NORTH ELEVATION**  
3/16" = 1'-0"



**B EAST ELEVATION**  
3/16" = 1'-0"



**C WEST ELEVATION**  
3/16" = 1'-0"



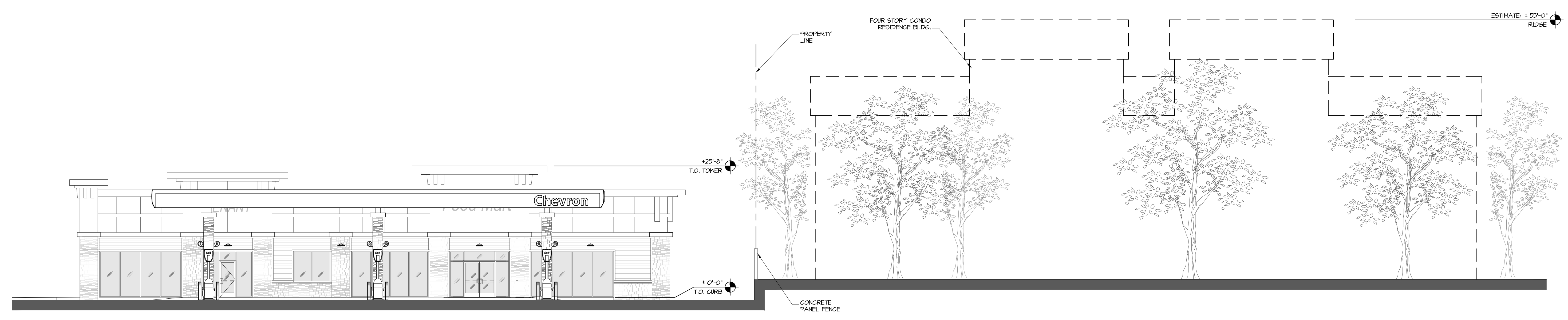
**D SOUTH ELEVATION**  
3/16" = 1'-0"

S:\1-Projects\13-4304-Fremont Ave Sunnyvale\Draw's\Planning\13-4304-02.dwg modified by muser4 at Jan 23, 2024 - 1:05pm





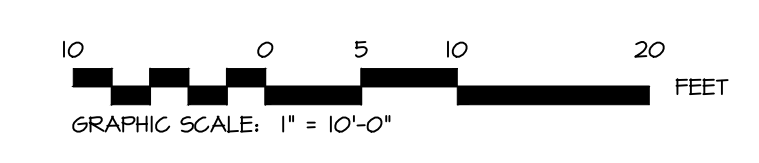
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**A NORTH ELEVATION - E. FREMONT AVE.**  
1" = 10'-0"



**B EAST ELEVATION - WOLFE ROAD**  
1" = 10'-0"



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STREET VIEW ELEVATION

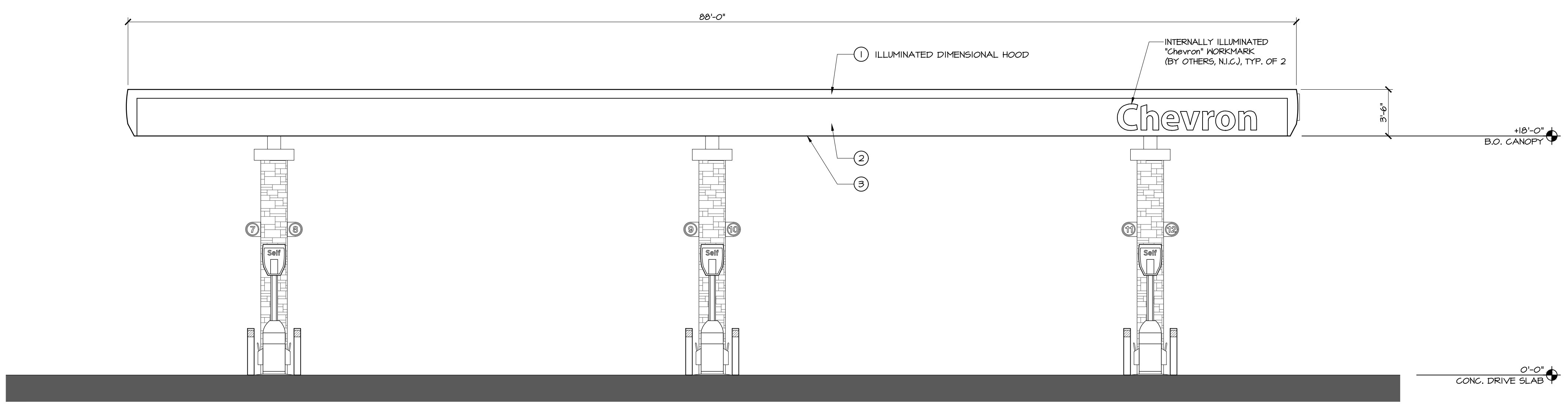
PROJECT #: 13-4304  
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SCALE: AS NOTED DATE: 06-20-18

**A2.2**

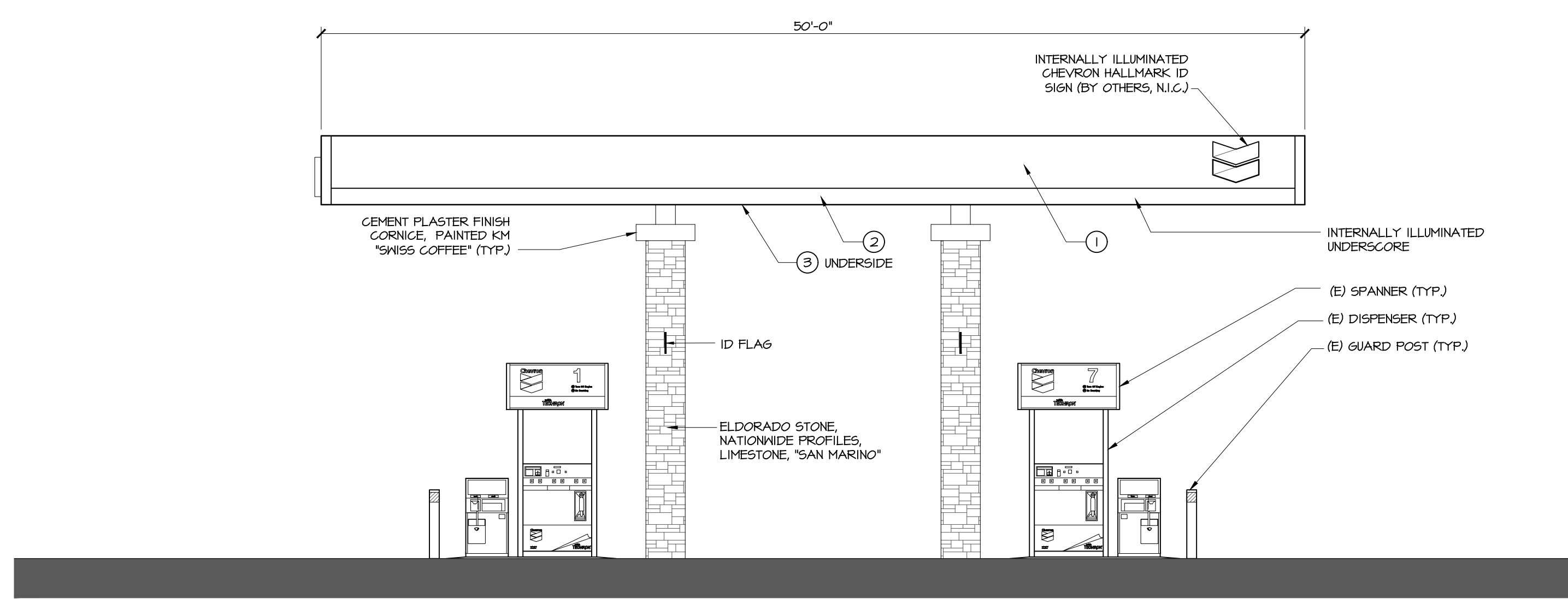




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**A** NORTH ELEVATION  
3/16" = 1'-0"



**B** EAST ELEVATION  
3/16" = 1'-0"

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CANOPY ELEVATION  
PROJECT #: 13-4304  
DRAWN: BB CHECKED: MI  
SCALE: AS NOTED DATE: 06-20-18

COLOR	PMS	FILM	FINISHES	
PEARL WHITE	N/A	3M REFLECTIVE WHITE 680-10	JONES BLAIR HIGH GLOSS	①
BLUE	PMS 2435C	3M BRISTOL BLUE	N/A	②
WHITE	N/A	PPG WH-835		③

ALL PAINT TO BE V.O.C. COMPLIANT URETHANE

