[illegible]

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4
01/28/2025	PLANNING PERMIT 5



A0.1

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

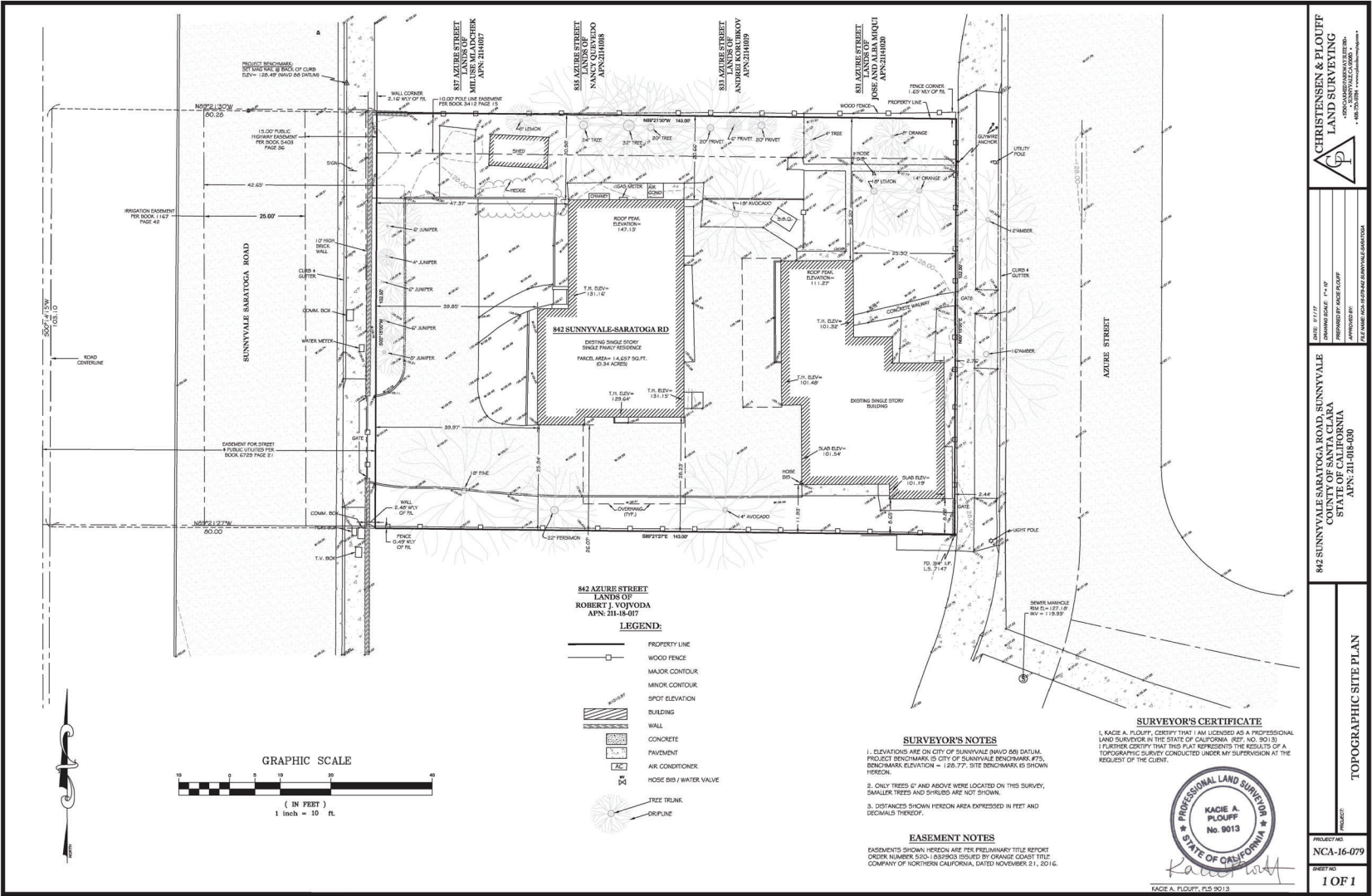
DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
05/11/2024	PLANNING PERMIT 3



SCALE:	
JOB NO.	219418

DRAWING:
TOPOGRAPHIC SITE PLAN

A0.2



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

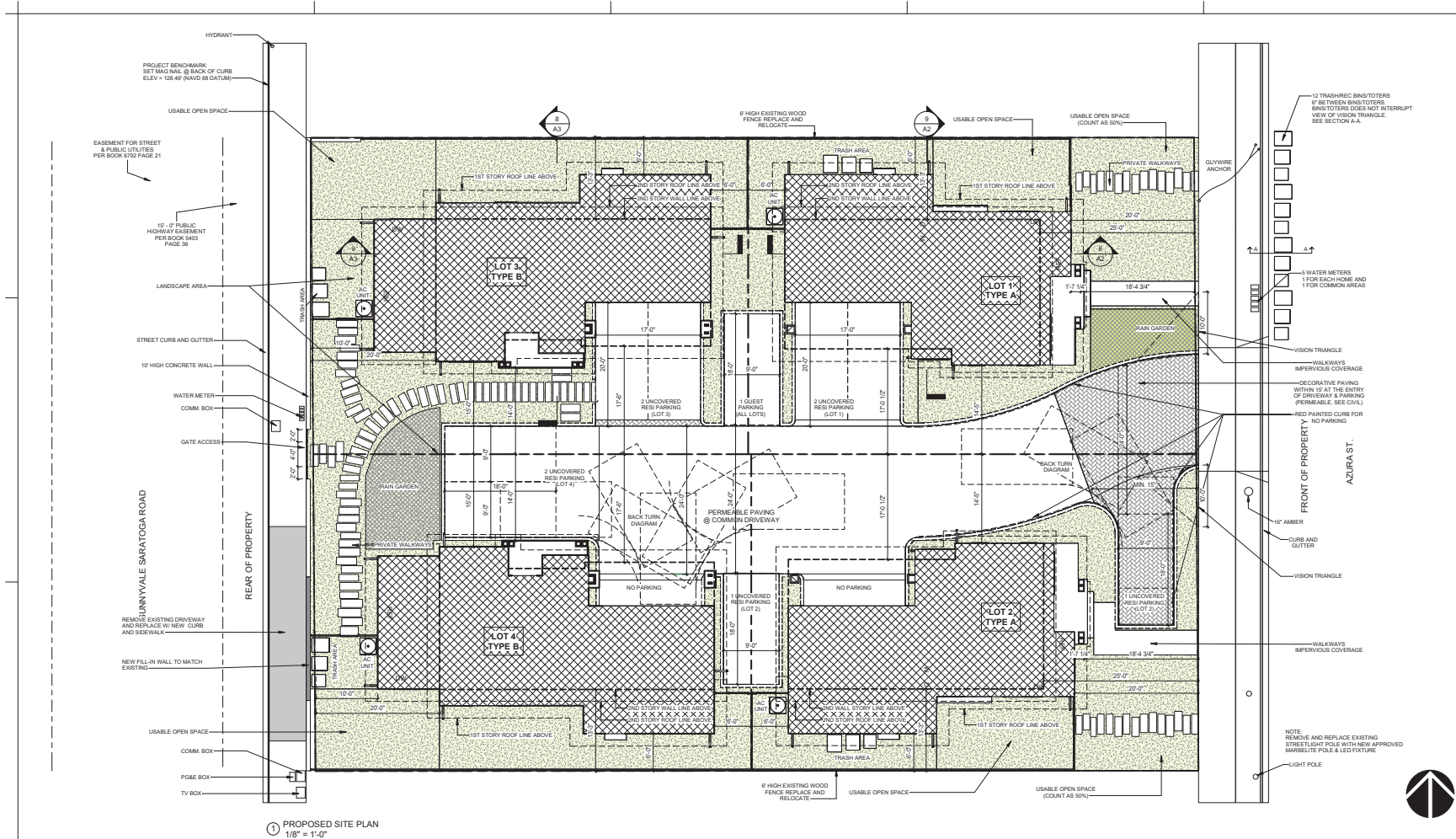
DATE: 06/23/2023 SUBMISSION: PLANNING PERMIT 1
02/14/2024 PLANNING PERMIT 2
05/31/2024 PLANNING PERMIT 3
10/08/2024 PLANNING PERMIT 4
01/28/2025 PLANNING PERMIT 5



SCALE: As indicated
JOB NO. 219418

DRAWING:
PROPOSED SITEPLAN

A1.1



PROJECT DATA:

PROJECT AREA:	14,657 S.F.		
(VACANT - DEMO COMPLETE)			
PREVIOUS EXISTING STRUCTURES:			
NUMBER OF UNIT	2		
STORIES	1		
COVERED PARKING	2		
INDIVIDUAL LOT COVERAGE:			
LOT NUMBER:	LOT SIZE:	COVER:	% COVER:
LOT 1 / TYPE A	3709 S.F.	1232 S.F.	33.22
LOT 2 / TYPE A	3702 S.F.	1232 S.F.	33.28
LOT 3 / TYPE B	3618 S.F.	1418 S.F.	39.19
LOT 4 / TYPE B	3629 S.F.	1418 S.F.	39.07
TOTAL	14,657 S.F.	5300 S.F.	36.16
STORIES PROPOSED		2	
MAXIMUM HEIGHT		25' - 8"	
COVERED PARKING		8	
UNCOVERED PARKING		8	
GUEST PARKING		1	

PROPOSED PROJECT:			
NO. UNITS		4	
BY LOT NO.		FAR	2ND TO 1ST FLOOR RATIO
LOT 1	1487 S.F.	52.2%	904/1032 = 87.7%
GARAGE	449 S.F.		
LOT 2	1487 S.F.	52.3%	904/1032 = 87.7%
GARAGE	449 S.F.		
LOT 3	1726 S.F.	59.6%	932/1225 = 76.1%
GARAGE	431 S.F.		
LOT 4	1726 S.F.	59.4%	932/1225 = 76.1%
GARAGE	431 S.F.		

REAR SETBACK + % AREA ENCROACHMENT:	
OVERALL LOT	10'- 21% SF
LOT 1	6' - 37% SF
LOT 2	6' - 37% SF
LOT 3	6' - 41% SF
LOT 4	6' - 41% SF

*INCLUDES AREA OVER 15 FEET FLOOR TO CEILING

USEABLE OPEN SPACE*	1069 S.F.
*UOS PER UNIT	267 S.F.

TOTAL LANDSCAPE*	5825 S.F.
*US PER UNIT	1456 S.F.

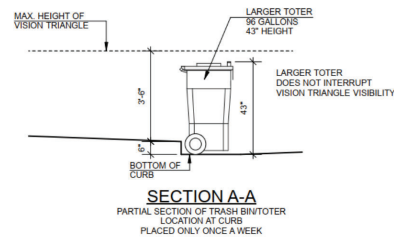
OVERALL SITE FAR = 0.559

OVERALL LOT COVERAGE:
5212 S.F./14657 S.F. = 36.16%

INDICATES WALL MOUNTED INDIRECT EXTERIOR LIGHTING

UOS BY LOT:	
LOT 1	268 SF
LOT 2	268 SF
LOT 3	267 SF
LOT 4	266 SF

L/S BY LOT:	
LOT 1	1503 SF
LOT 2	1214 SF
LOT 3	1724 SF
LOT 4	1384 SF

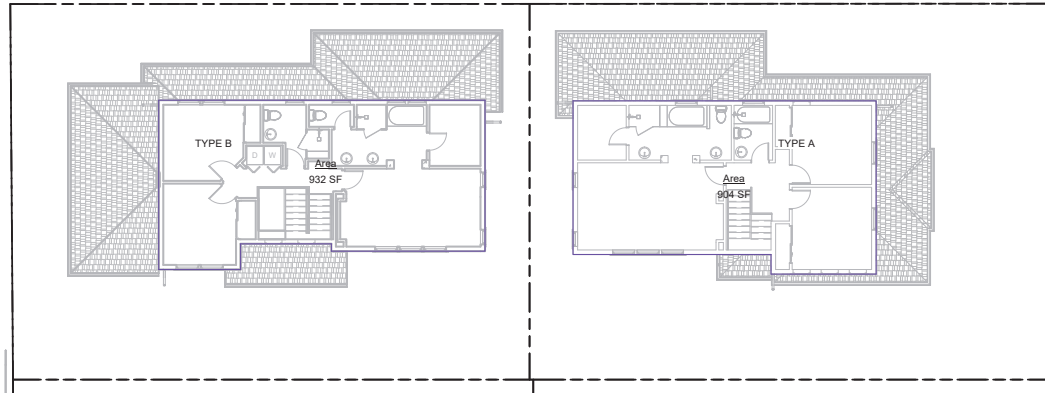


FIRE PROTECTION NOTES:
ALL UNITS SHALL COMPLY WITH CFC906.1 FOR FIRE EXTINGUISHER IN EACH UNIT.
EACH UNIT SHALL BE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED TO BE IN ACCORDANCE WITH NFPA13D.
(CFC/SMC 903)
AUTO FIRE EXTINGUISHERS TO BE PROVIDED AT TRASH RECEPTACLES WITHIN 5 FEET OF HOME.

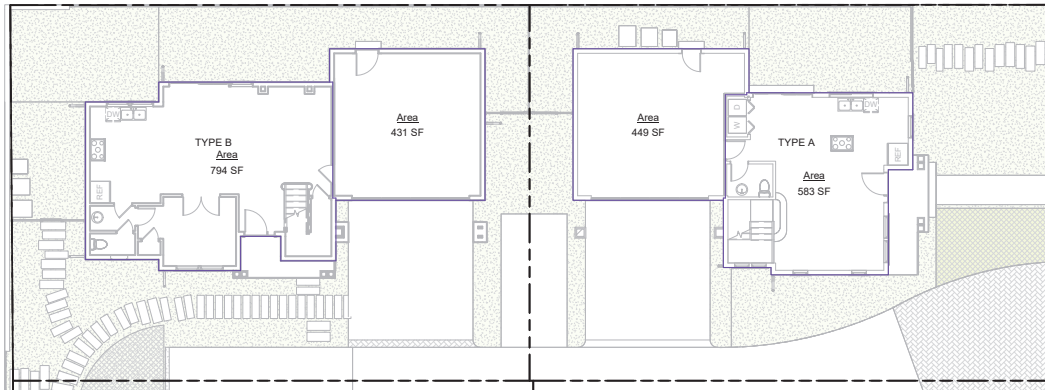
SOLID WASTE LEGEND

INDICATES YARD WASTE TOTER 96 GALLONS 28" x 34 1/2" - 43" HIGH
INDICATES SPLIT RECYCLING TOTER 64 GALLONS 30 1/2" x 26 1/2" - 40 1/2" HIGH
INDICATES BLACK GARBAGE CART 65 GALLONS 24" x 27" - 40 1/2" HIGH

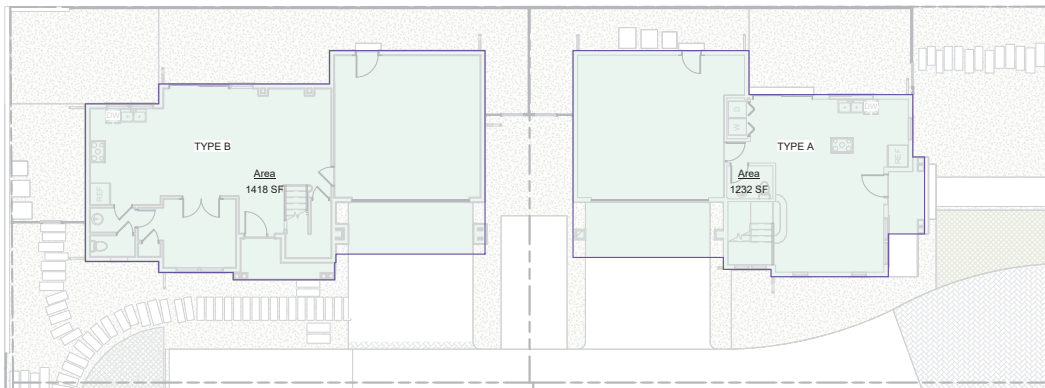
TRASH ENCLOSURES WITHIN 5 FEET OF BLDG. EXT. OR OVERHANG REQUIRE SPRINKLER PROTECTION



③ 2ND FLOOR BUILDING AREA
1/8" = 1'-0"



② 1ST BUILDING AREA
1/8" = 1'-0"



① 1ST FLOOR COVERAGE AREA
1/8" = 1'-0"

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

DATE:	SUBMISSION:
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
SITE COVERAGE & BUILDING
AREA

A1.2

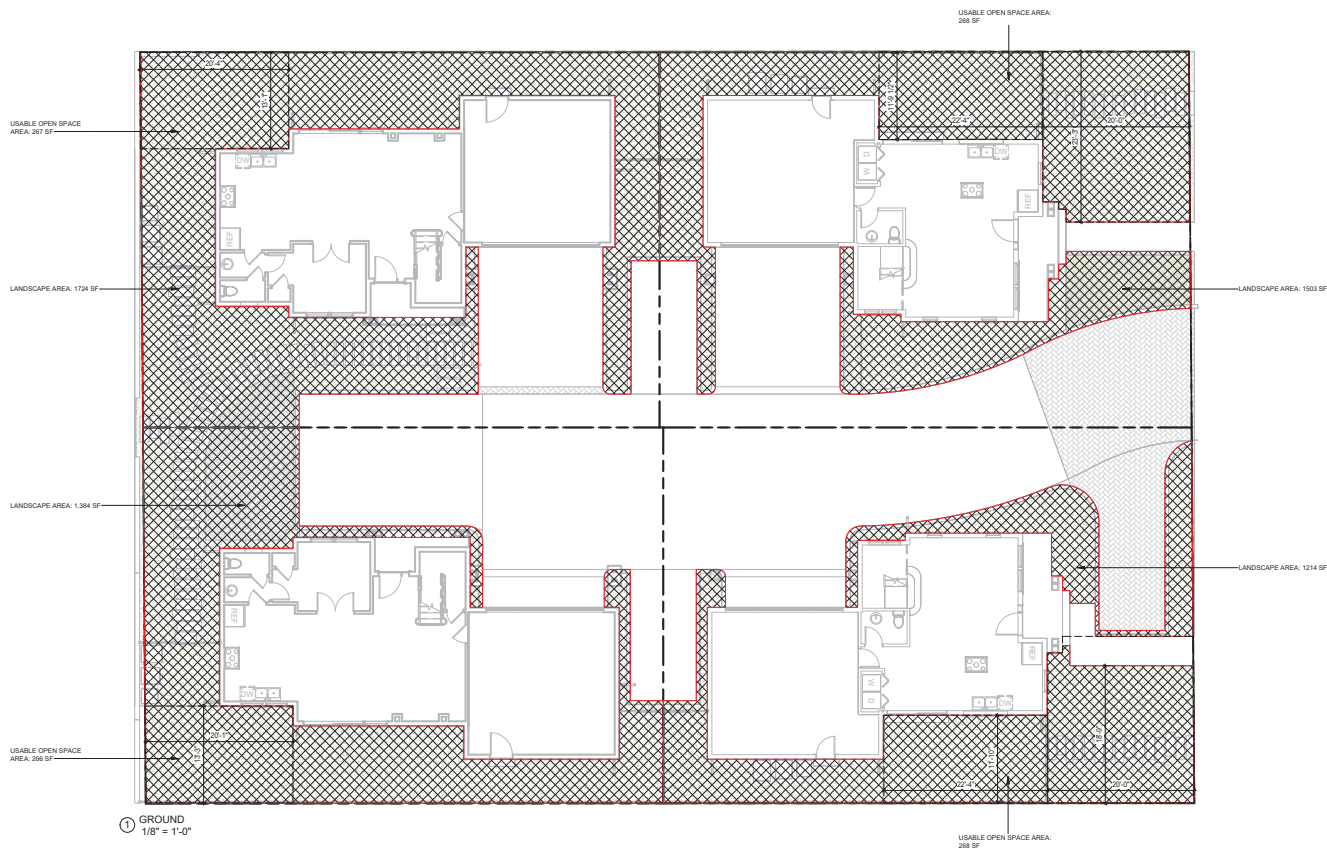
LANDSCAPE & USABLE OPEN SPACE LEGEND



LANDSCAPE



USABLE OPEN SPACE



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

DATE:	SUBMISSION:
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4
01/28/2025	PLANNING PERMIT 5



SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
LANDSCAPE AREA CALS

A1.3

NOTE:

FOUNDATION FOR MAIN HOUSE WILL BE CRAWL SPACE, AND THE GARAGE WILL BE SLAB ON GRADE.

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

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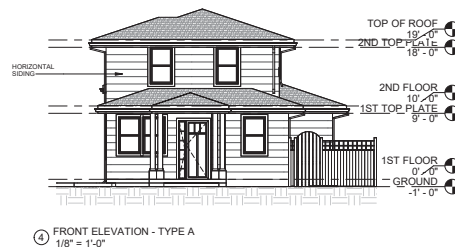
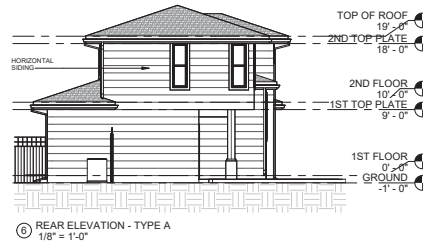
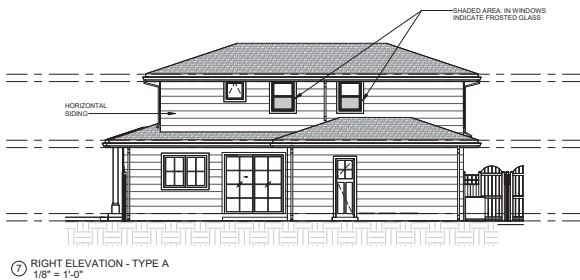
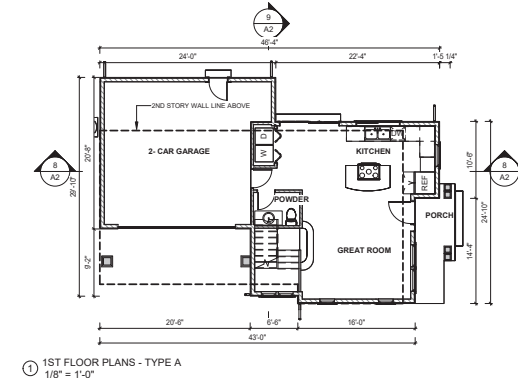
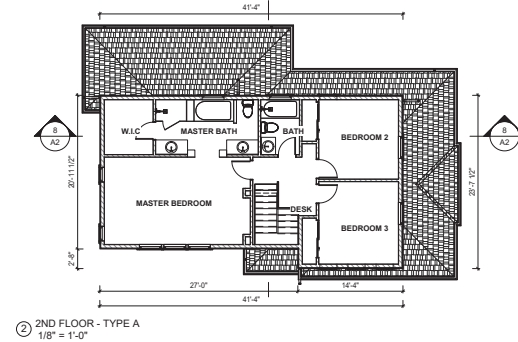
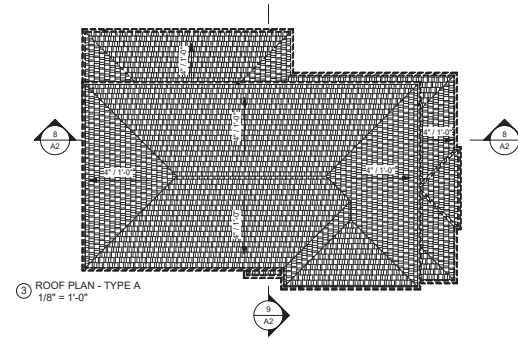
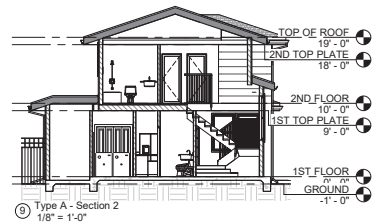
DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2
05/13/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



SCALE:	1/8" = 1'-0"
JOB NO.	219418

DRAWING:
HOUSE TYPE A

A2



NOTE:

FOUNDATION FOR MAIN HOUSE WILL BE CRAWL SPACE, AND THE GARAGE WILL BE SLAB ON GRADE.

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

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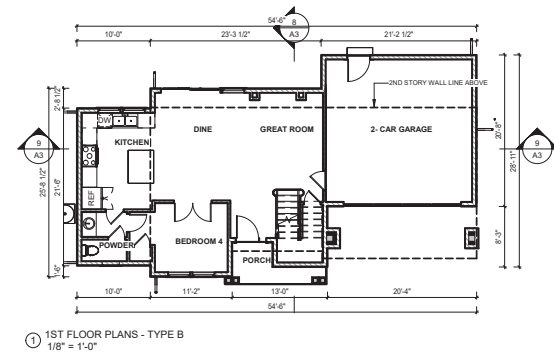
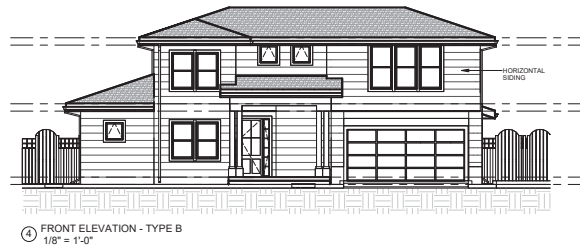
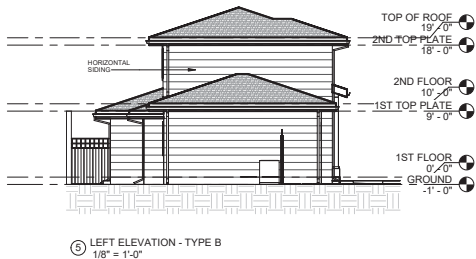
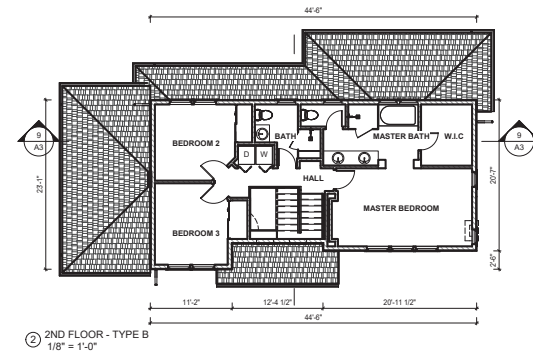
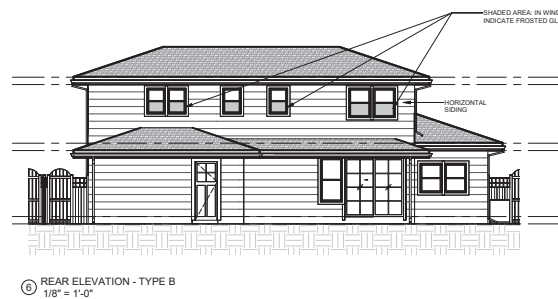
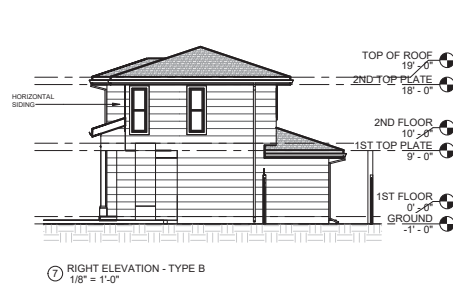
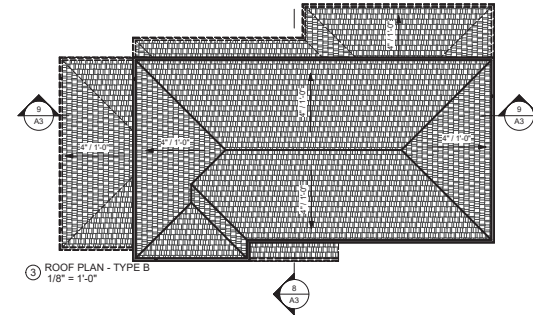
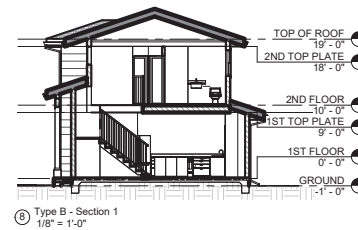
DATE: SUBMISSION:
06/23/2023 PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2
05/13/2024 PLANNING PERMIT 3
10/08/2024 PLANNING PERMIT 4



SCALE: 1/8" = 1'-0"
JOB NO. 219418

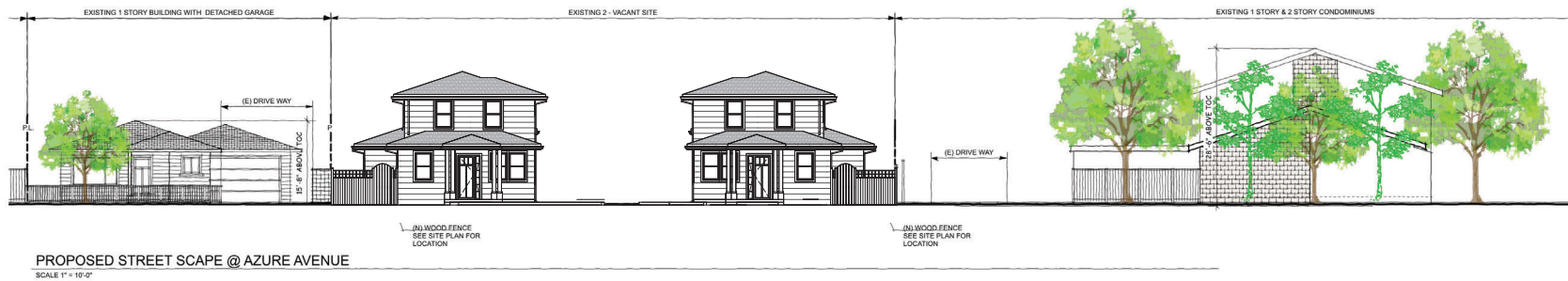
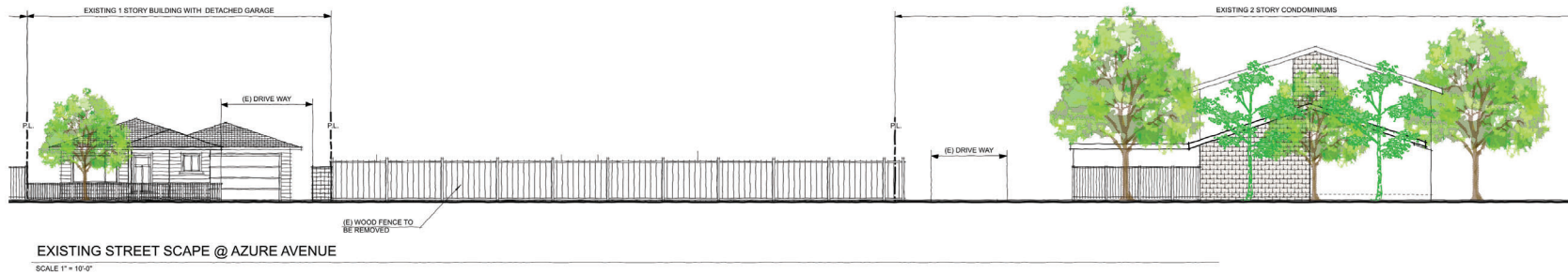
DRAWING:
HOUSE TYPE B

A3



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT 1
02/14/2024	PLANNING PERMIT 2
06/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



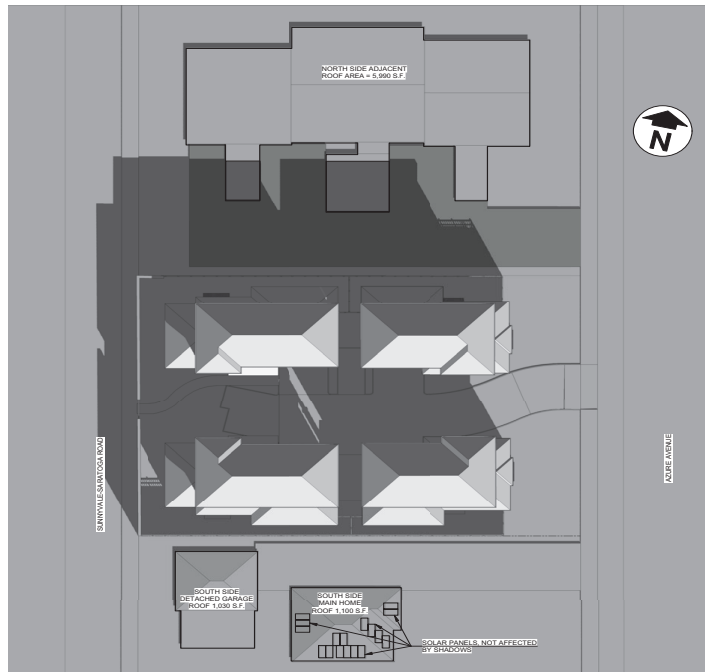
SCALE:	As indicated
JOB NO.	219418

DRAWING:
STREET SCAPE & SITE
SECTION

A4

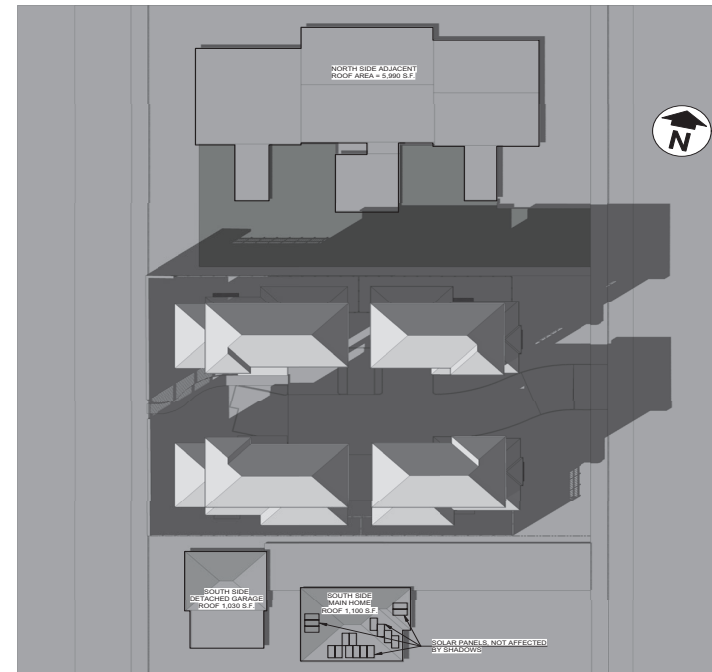
AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



DECEMBER 21 - 9:00 A.M.

SHADOW COVERAGE
ADJACENT SOUTH SIDE ROOF = 0%
ADJACENT NORTH SIDE ROOF = 10% (610 S.F.)



DECEMBER 21 - 3:00 P.M.

SHADOW COVERAGE
ADJACENT SOUTH SIDE ROOF = 0%
ADJACENT NORTH SIDE ROOF = >1% (20 S.F.)

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT
02/14/2024	PLANNING PERMIT 2



SCALE:	
JOB NO.	219418

DRAWING:
SOLAR STUDY

A5

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
www.cobri.com

DATE: 06/23/2023
SUBMISSION: PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2
05/31/2024 PLANNING PERMIT 3



SCALE: 1"=10'-0"

JOB NO. 219418

DRAWING:
CAL GREEN POINTS TYPE A

A7

NEW HOME RATING SYSTEM, VERSION 8.0
SINGLE FAMILY CHECKLIST

© Build It Green
GreenPoint Rated New Home Single Family Checklist Version 7.0

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GreenPoint Rated New Home Single Family Checklist Version 7.0

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AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

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ENTRY DOOR



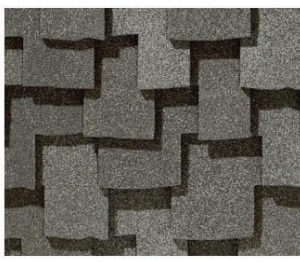
EXTERIOR SIDING TEXTURE



GLASS GARAGE DOOR



FIBERGLASS WINDOW



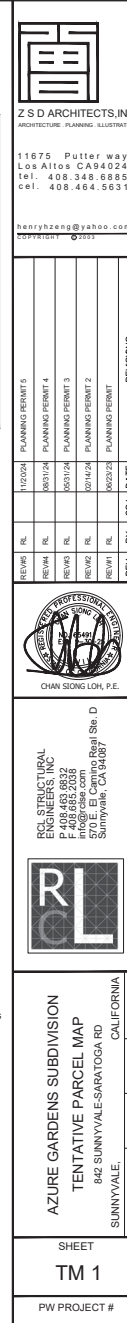
PRESIDENTIAL TL ROOF

DATE:	SUBMISSION:
06/23/2023	PLANNING PERMIT 1
02/14/2024	PLANNING PERMIT 2
06/11/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4



SCALE:	
JOB NO.	219418

DRAWING:
COLOR & MATERIALS





henryhzeng@yahoo.com



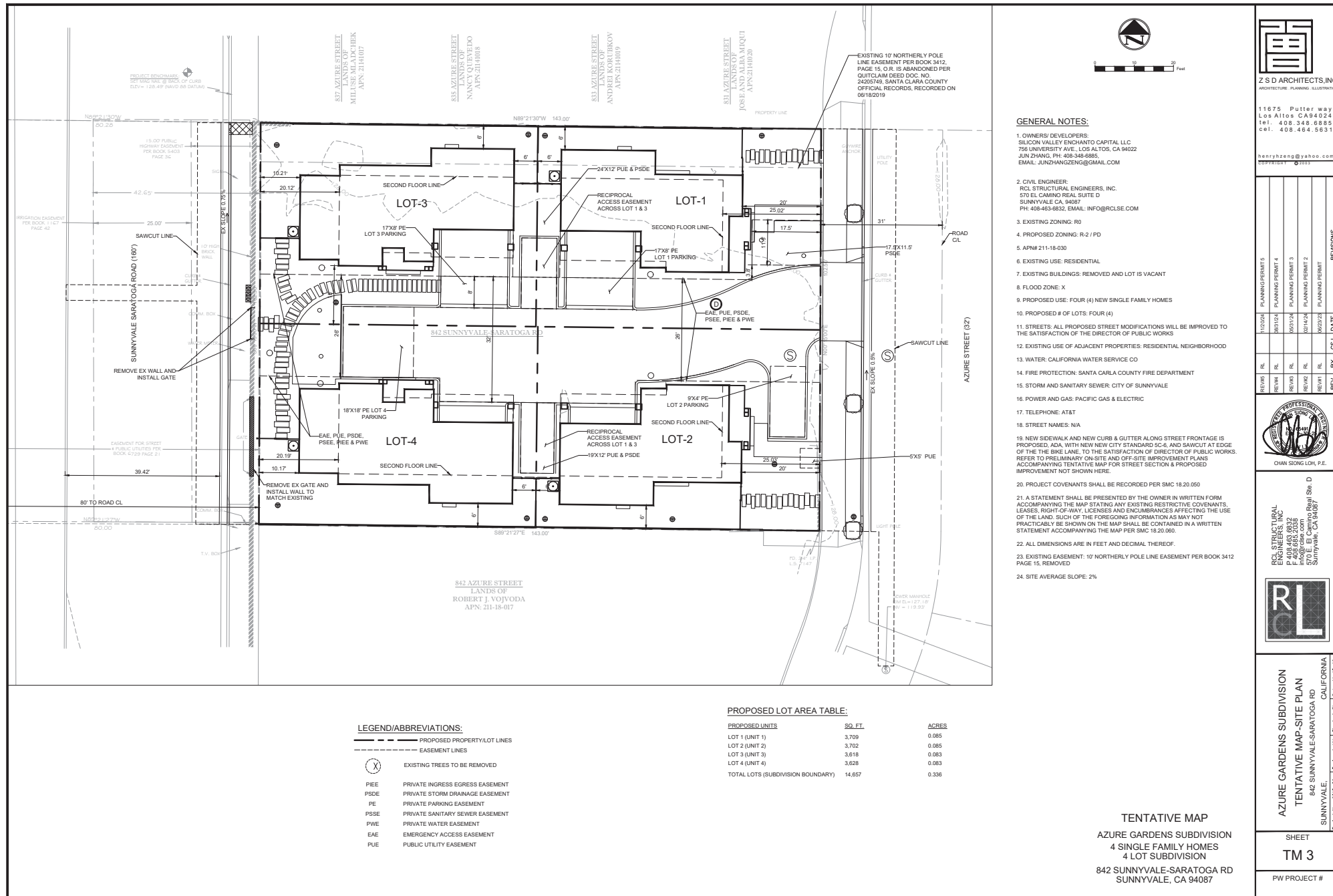
**RCL STRUCTURAL
ENGINEERS, INC.**
P 408.463.6832
F 408.685.2038
info@rcse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087

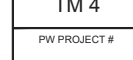
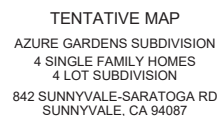


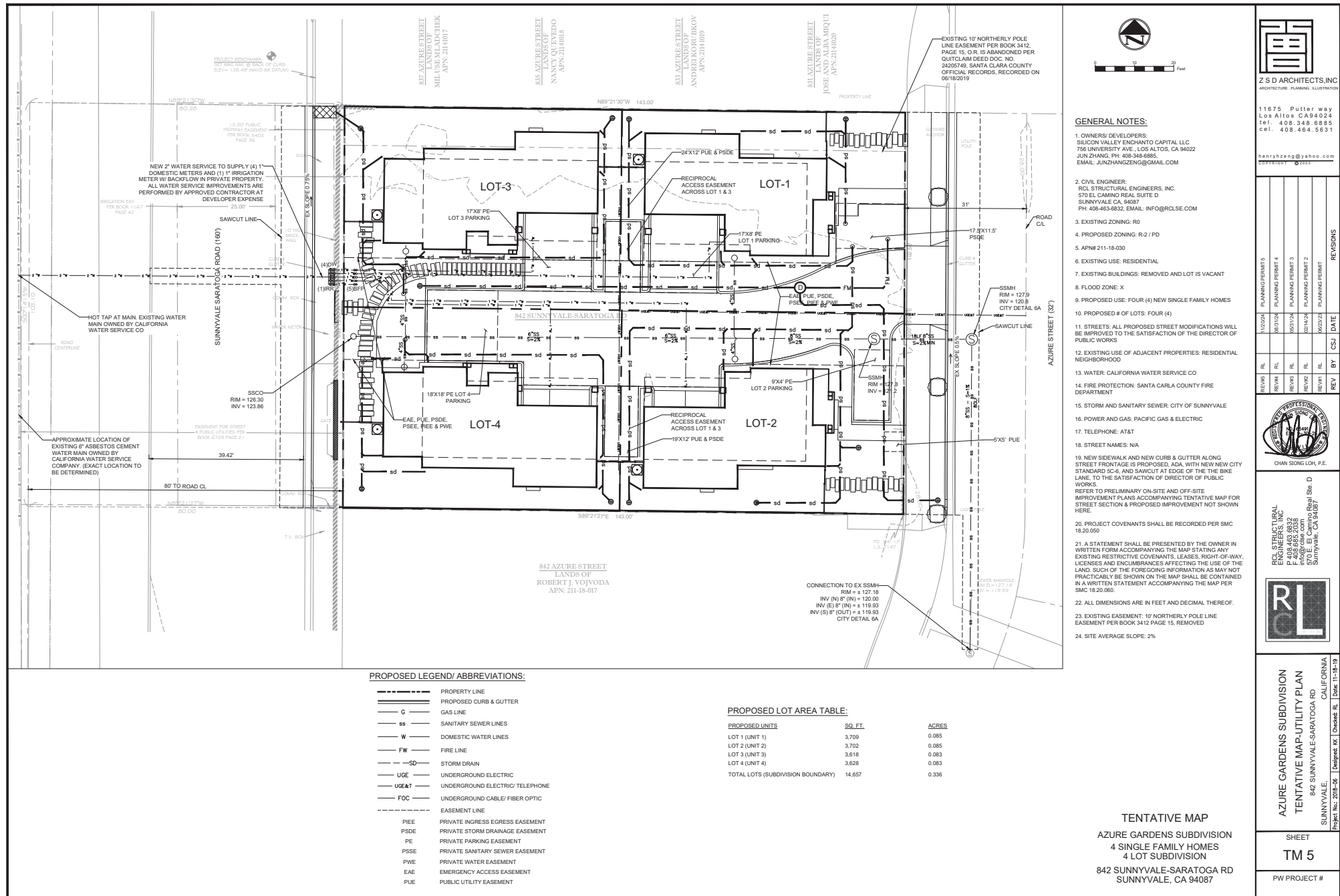
AZURE GARDENS SUBDIVISION
 TENTATIVE MAP-ROAD SECTION
 842 SUNNYVALE-SARATOGA RD
 SUNNYVALE CALIFORNIA

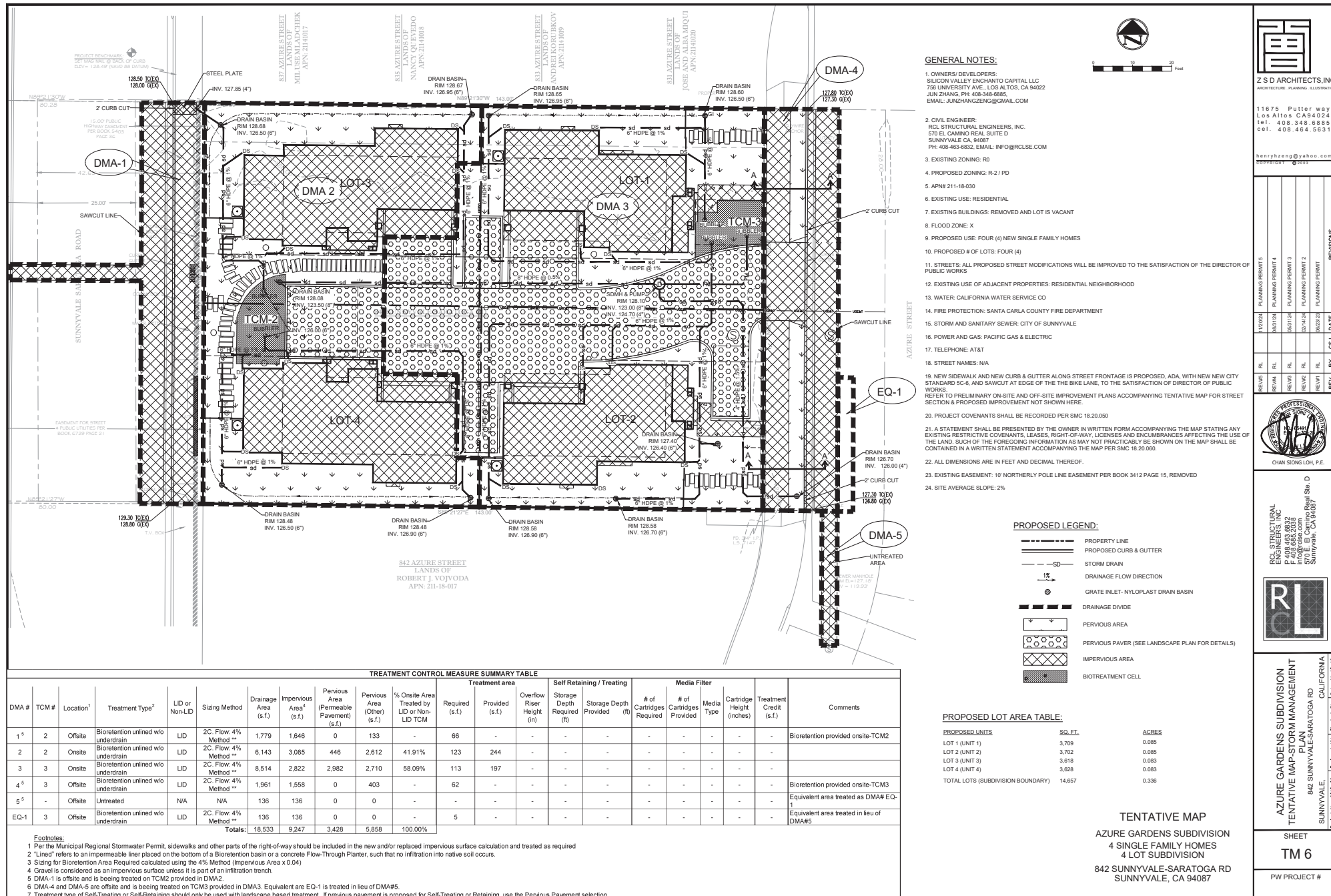
SHEET
TM 2
PW PROJECT #

TENTATIVE MAP
AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CA 94087









OFF-SITE IMPROVEMENT PLANS

AZURE GARDENS SUBDIVISION

842 SUNNYVALE SARATOGA RD.

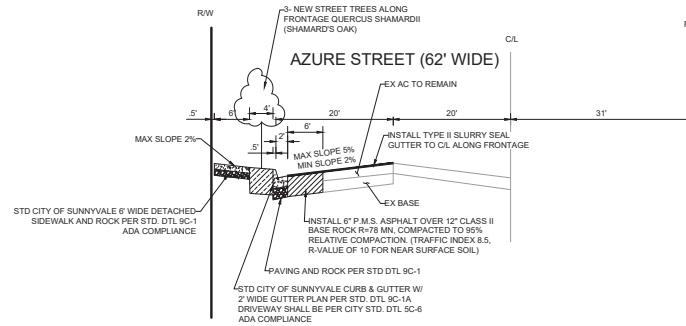
CITY OF SUNNYVALE, CALIFORNIA

ABBREVIATION:

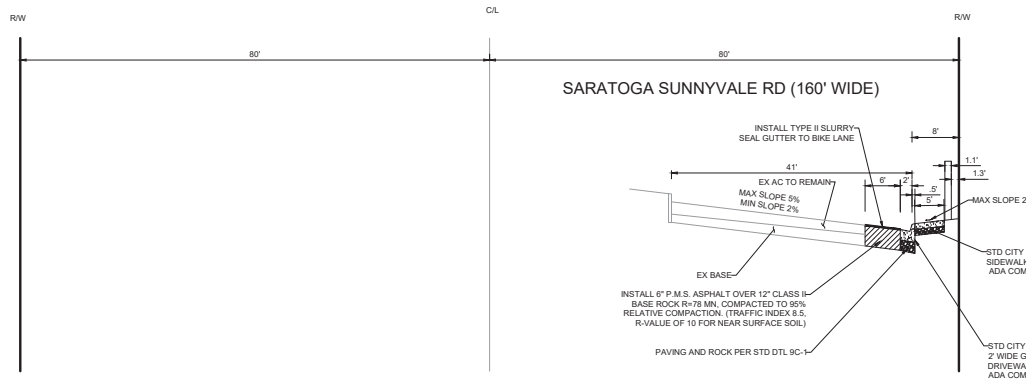
AC	Asphalt Concrete	TC	Top of Curb
ROW	Right of Way	RCP	Reinforced Concrete Pipe
FL	Flow Line	CI	Cast Iron
D/W	Driveway	VCP	Vitrified Clay Pipe
EX	Existing	DP	Ductile Iron Pipe
S	South	CL	Class
E	East	GM	Gas Meter
W	West	HB	Hose Bib
		MB	Mailbox

LEGEND:

EXISTING	(Symbol Size May Vary)	PROPOSED
---	Property Boundary/Lot Line	---
---	Curb & Gutter	---
---	Curb	---
---	Storm Drain	SD
G	Gas	G
SS	Sanitary Sewer Lines	SS
W	Water Main Line	W
---	Overhead Electrical Line	---
---	Underground Electric/Telephone	UGET
---	Underground Electric	UGE
---	Underground Cable/Fiber Optic	ROC
---	Domestic Water Service Line	D
---	Fire Line	FI
---	Swale	---
	Proposed Type II Slurry	
	Proposed concrete sidewalk/pvmt.	
o	Grate Drain (Nyloplast)	o
o	Sanitary Sewer cleanout	o
o	Sanitary Sewer Manhole	o
110.00	Spot Elevation	112.00
o	Storm Drain Manhole	o
o 12"	Tree Trunk / Size	o 12"
o	Utility Pole	o
o	Water Valve	o
o	Fire Hydrant	o



TYPICAL AZURE ST. SECTION
(N.T.S.)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S.)

NOTES:

- RE-USE OF EXISTING CITY WATER SERVICE IS NOT ALLOWED AND MUST BE ABANDONED IN PLACE. RE-USE OF EXISTING CITY SANITARY SEWER AND STORM DRAIN SERVICE LINES IS SUBJECT TO CITY'S REVIEW AND APPROVAL.
- SEPARATE DOMESTIC, IRRIGATION, AND FIRE SERVICES SHALL BE PROVIDED TO THE PROPERTY. ALL LANDSCAPE AND IRRIGATION SYSTEMS LOCATED IN THE PUBLIC PARK STRIP SHALL BE CONNECTED TO THE WATER SYSTEM METERED TO THE PROPERTY OWNER.
- INSTALL AN APPROVED BACKFLOW PREVENTION DEVICE IN THE DISCHARGE SIDE (BEHIND PUBLIC RIGHT-OF-WAY) OF THE DOMESTIC, IRRIGATION, AND FIRE SERVICE METERS.
- INSTALL NEW SANITARY SEWER AND STORM DRAIN MANHOLES AT THE STREET RIGHT-OF-WAY LINES FOR ALL PROPOSED SANITARY SEWER LATERALS AND PROPOSED STORM DRAIN LINES TO BE USED FOR THE PROJECT.
- ALL SANITARY SEWER LATERALS CONNECTING TO THE EXISTING MAIN LINE SHALL BE AT A NEW SANITARY SEWER MANHOLE. ALL STORM DRAIN LATERALS CONNECTING TO THE MAIN SHALL BE AT A NEW STORM DRAIN MANHOLE.
- ANY PROPOSED BIO-RETENTIONS SHALL REMAIN OUT OF THE PUBLIC RIGHT-OF-WAY OF PUBLIC EASEMENTS. ANY PROPOSED BIO-RETENTIONS SHOULD BE LOCATED AWAY FROM AND NOT ADVERSELY IMPACT MAINTENANCE OF CITY STORM OF SANITARY SEWER PIPELINES.
- ALL EXISTING UTILITY LINES (PUBLIC OR PRIVATE) AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THE PROJECT, SHALL BE CAPPED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED.
- NO PRIVATE UTILITIES, STRUCTURES AND BUILDINGS CAN BE WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS.
- ALL EXISTING PUBLIC WATER PIPES AND METERS ON THIS PROPERTY MUST BE ABANDONED. NEW PUBLIC WATER METERS WILL BE INSTALLED IN SIDEWALKS OUTSIDE OF THE PRIVATE PROPERTY. ANY PUBLIC SS OR SD PIPES AND ACCESS STRUCTURES ON PRIVATE PROPERTY MUST EITHER BE ABANDONED OR PRIVATIZED.
- "THE PERPETUAL MAINTENANCE OF THE SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGES ON AZURE STREET AND SUNNYVALE SARATOGA ROAD SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER."

SHEET INDEX:

- 01-1 COVER SHEET
- 01-2 PRELIMINARY IMPROVEMENT PLAN
- 01-3 PRELIMINARY UTILITY PLAN

Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN "NEW" CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-M-36 AND IS TAKEN TO BE N 00°07'25" W.

SITE BENCHMARK:

ELEVATIONS ARE ON CITY OF SUNNYVALE PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75, BENCHMARK ELEVATION = 128.77' (NAVD 88) DATUM.



ZSD ARCHITECTS, INC.

ARCHITECTURE PLANNING ILLUSTRATION

11675 Pulte way
Los Altos CA 94024
tel. 408.349.6885
cel. 408.484.5631

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




henryzheng

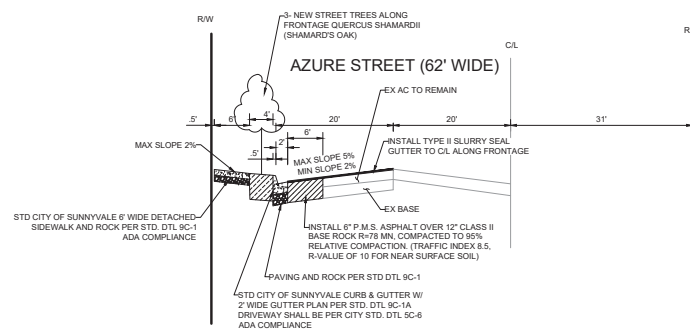
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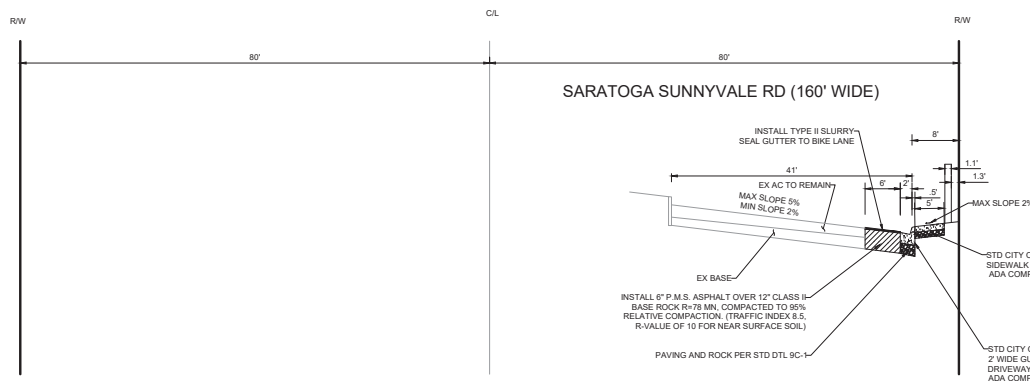
ABBREVIATION:

<i>AC</i>	Asphalt Concrete	<i>TC</i>	Top of Curb
<i>ROW</i>	Right of Way	<i>RCP</i>	Reinforced Concrete Pipe
<i>FL</i>	Flow Line	<i>CI</i>	Cast Iron
<i>D/W</i>	Driveway	<i>VCP</i>	Vitrified Clay Pipe
<i>EX</i>	Existing	<i>DIP</i>	Ductile Iron Pipe
<i>S</i>	South	<i>CL</i>	Glass
<i>E</i>	East	<i>GM</i>	Gas Meter
<i>W</i>	West	<i>HB</i>	Hose Bib
		<i>MR</i>	Manhole

EXISTING		(Symbol Size May Vary)	PROPOSED
----	Property Boundary/Lot Line	=====	
----	Curb	=====	
----	Gutter	=====	
----	Curb	=====	
----	Storm Drain	-----SD-----	
○	Gas	○	
—SAN—	Sanitary Sewer Lines	SS	
—W—	Water Main Line	—W—	
-----	Overhead	-----	
	Electrical Line		
	Underground Electric/ Telephone	=====UG&T=====	
	Underground Electric	=====UG=====	
	Underground Cable/ Fiber Optic	=====FOC=====	
	Domestic Water Service Line	-----D-----	
	Fire Line	-----FI-----	
	Swale	-----S-----	
	Proposed Type II Slurry		
	Proposed concrete sidewalk/pvmt.		
	Grate Road (Niyoplast)		
○S	Sanitary Sewer cleanout	○	
○	Sanitary Sewer Manhole		
x 100.65	Spot Elevation		
⊕	Storm Drain Manhole		
⊙ 12"	Tree Trunk / Size		
	Utility Pole		
○V	Water Valve		
HOI	Fire Hydrant		HOI



TYPICAL AZURE ST. SECTION
(N.T.S)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S)

NOTES:

1. REUSE EXISTING CITY WATER SERVICE IS NOT ALLOWED AND MUST BE ABANDONED IN PLACE. RE-USE OF EXISTING CITY SANITARY SEWER AND STORM DRAIN SERVICE LINES IS ALLOWED TO CITY STREET RIGHT-OF-WAY.
2. SEPARATE DOMESTIC, IRRIGATION, AND FIRE SERVICES SHALL BE MAINTAINED AND NOT MIXED WITH CITY STREET IRRIGATION SYSTEMS. LOCATED IN THE PUBLIC PARK-STRIP, SHALL BE CONNECTED TO THE WATER SYSTEM METERED TO THE PROPERTY OWNER.
3. INSTALL AN APPROVED BACKFLOW PREVENTION DEVICE IN THE DISCHARGE SIDE (BEHIND PUBLIC RIGHT-OF-WAY) OF THE EXISTING IRRIGATION SYSTEM.
4. INSTALL NEW SANITARY SEWER AND STORM DRAIN MANHOLE IN CITY STREET RIGHT-OF-WAY.
5. ALL EXISTING SANITARY SEWERS AND PROPOSED STORM DRAIN LINES TO BE USED FOR THE PROJECT.
6. ALL EXISTING SANITARY SEWERS CONNECTING TO THE EXISTING MAIN LINE SHALL BE AT A NEW SANITARY SEWER MANHOLE. ALL STORM DRAIN LATERALS CONNECTING TO THE EXISTING MAIN LINE BE AT A NEW STORM DRAIN MANHOLE.
7. ANY PROPOSED BIO-RETENTIONS SHALL REMAIN OUT OF THE PUBLIC RIGHT-OF-WAY.
8. ANY PROPOSED BIO-RETENTIONS SHOULD BE LOCATED AWAY FROM AND NOT ADVERSELY IMPACT MAINTENANCE OF CITY STREET.
9. ALL EXISTING UTILITY LINES (PUBLIC OR PRIVATE) AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR CONFLICTS WITH THE PROJECT SHALL BE MAINTAINED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED.
10. ALL UTILITY LINES SHALL BE MAINTAINED AND/OR BE WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS.
11. ALL EXISTING PUBLIC WATER PIPES AND METERS ON THIS PROJECT MUST BE MAINTAINED AND/OR RELOCATED.
12. ALL EXISTING PUBLIC WATER PIPES AND METERS WITHIN THE PROJECT PROPERTY, ANY PUBLIC SS OR SD PIPES AND MANHOLE STRUCTURES, SHALL BE MAINTAINED OR EITHER BE ABANDONED OR PRIVATIZED.
13. ALL EXISTING SIDEWALKS OF THE SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTS ON AZURE STREET AND SUNNYSVALE SARAGOTA ROAD SHALL BE THE RESPONSIBILITY OF THE CITY.

SHEET INDEX:

01-1	COVER SHEET
01-2	PRELIMINARY IMPROVEMENT PLAN
01-3	PRELIMINARY UTILITY PLAN

Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN "NEW" CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-M-36 AND IS TAKEN TO BE N 00°07'25" W.

SITE BENCHMARK

ELEVATIONS ARE ON CITY OF SUNNYVALE. PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75. BENCHMARK ELEVATION = 120.77' (NAVD 88) DATUM



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REVISE	RL	DATE	BY	CSL	REVISIONS
		11/20/24			PLANNING PERMIT 5
		08/31/24			PLANNING PERMIT 4
		06/31/24			PLANNING PERMIT 3
		02/14/24			PLANNING PERMIT 2
		06/23/22			PLANNING PERMIT



CHAN SIONG LOH, P.E.

D

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ENGINEERS, INC.**
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F 408.685.2038
info@rclse.com
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Sunnyvale, CA 94087



AZURE GARDENS SUBDIVISION
 COVER SHEET
 842 SUNNYVALE-SARATOGA RD
 SUNNYVALE, CALIFORNIA

SHEET
OI-1

PW PROJECT #
DP-19-19

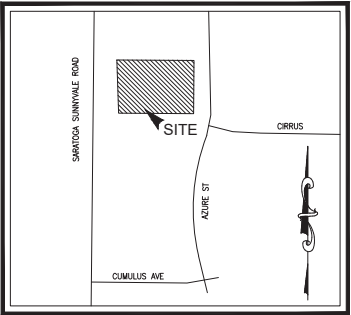
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89	2010	2010	2010
90	2010	2010	2010

PRELIMINARY GRADING AND DRAINAGE PLAN

AZURE GARDENS SUBDIVISION
842 SUNNYVALE SARATOGA RD.
CITY OF SUNNYVALE, CALIFORNIA

ABBREVIATION:

AC	Asphalt Concrete	TC	Top of Curb
ROW	Right of Way	RCP	Reinforced Concrete Pipe
FL	Flow Line	CI	Cast Iron
D/W	Driveway	VCP	Vitrified Clay Pipe
EX	Existing	DIP	Ductile Iron Pipe
S	South	CL	Class
E	East	GM	Gas Meter
W	West	HB	Hose Bib
		MB	Mailbox



VICINITY MAP
N.T.S.

PRELIMINARY PLANS
NOT APPROVED FOR CONSTRUCTION

LEGEND:		
EXISTING	(Symbol Size May Vary)	PROPOSED
-----	Property Boundary/Lot Line	-----
=====	Curb & Gutter	=====
=====	Curb	=====
-----	Storm Drain	-----sd-----
-----	Gas	-----G-----
-----	Sanitary Sewer Lines	-----SS-----
-----	Domestic Water Lines	-----1" W-----
-----	Underground Electric And Telephone	-----UGE&T-----
-----	Underground Electric	-----UE-----
-----	Underground Cable/ Fiber Optic	-----FOC-----
-----	Fire Line	-----FW-----
-----	Swale	-----
-----	Proposed concrete sidewalk (Per arch. plans)	-----
-----	Grate Drain (Nyloplast)	-----
-----	Sanitary Sewer cleanout	-----o-----
SHEET INDEX:		
C1	COVER SHEET	
C2	PRELIMINARY GRADING & DRAINAGE PLAN	
C3	UTILITY PLAN	
C4	STORM WATER MANAGEMENT PLAN	
C5	STORMWATER PERVIOUS PAVEMENT DETAIL	
C6	STORMWATER - EXISTING PERVIOUS/IMPERVIOUS	
C7	STORMWATER - PROPOSED PERVIOUS/IMPERVIOUS	



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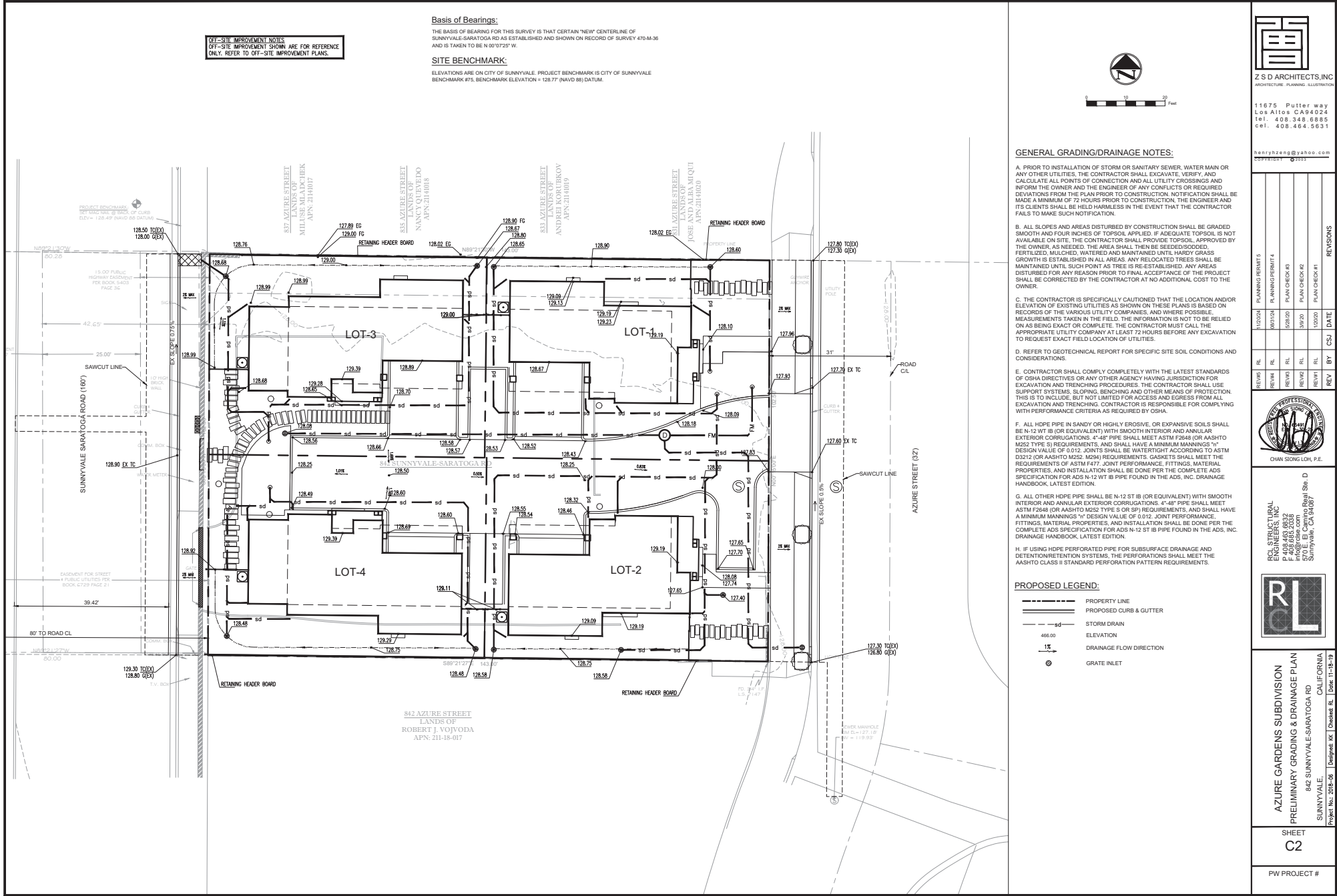
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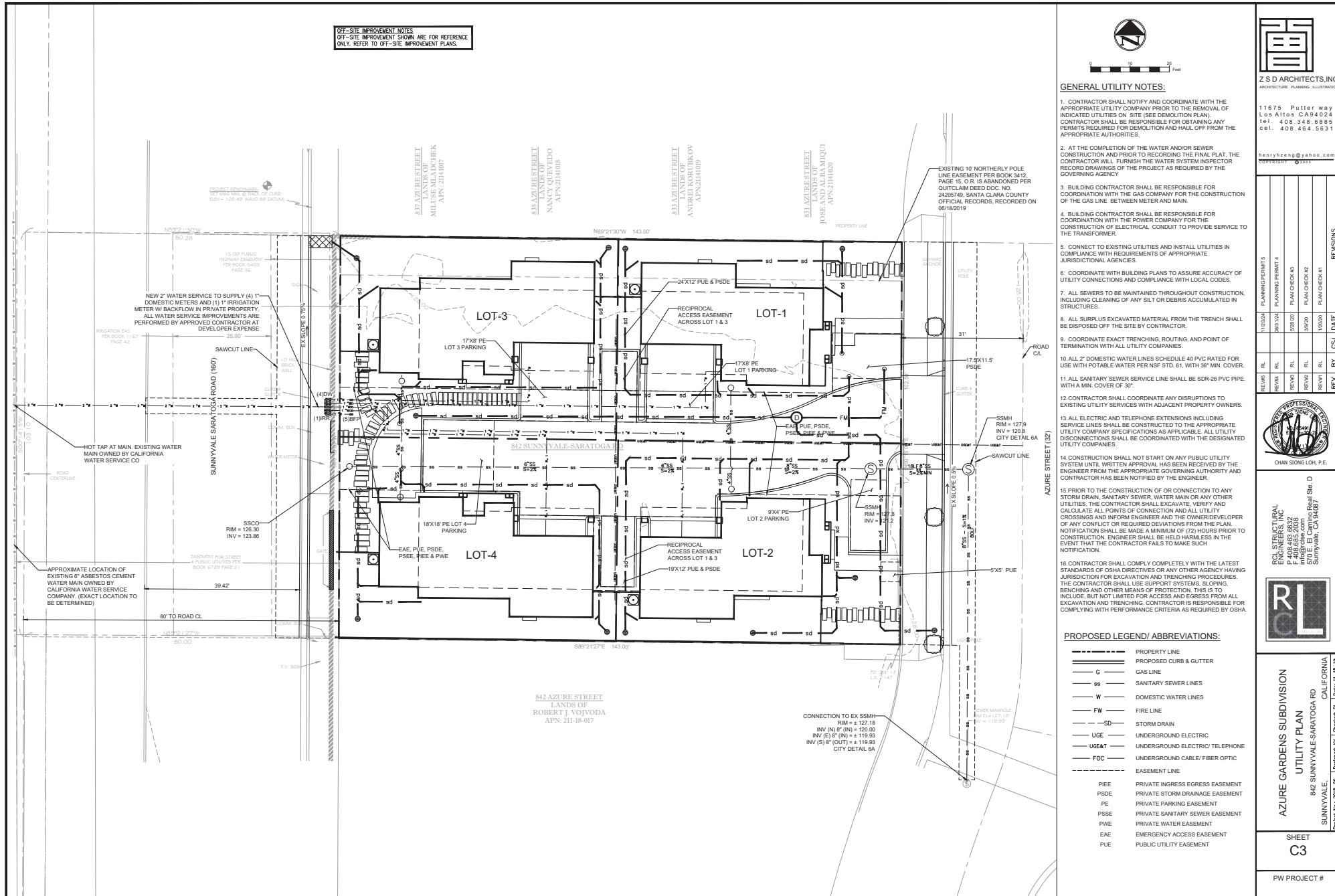
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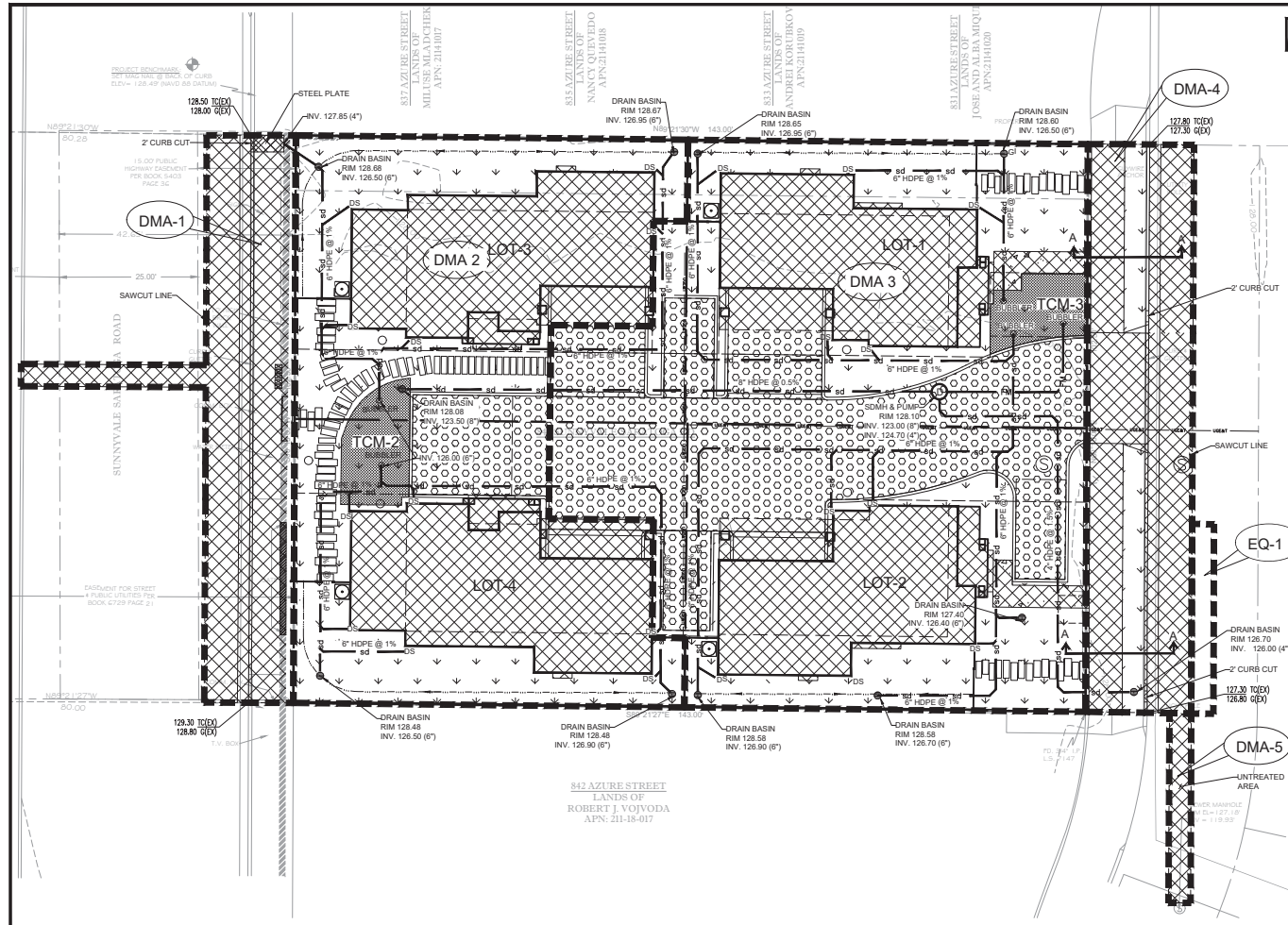
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OFF-SITE IMPROVEMENT NOTES
OFF-SITE IMPROVEMENT SHOWN ARE FOR REFERENCE ONLY. REFER TO OFF-SITE IMPROVEMENT PLANS.



Stormwater Management Plan Provision C.3 Data Form

Which Projects Must Comply with Stormwater Requirements?

Effective July 1, 2023, the following projects must comply with Stormwater Requirements:

- All development/redevelopment projects (except single-family home projects) that create and/or replace 5,000 sq. ft. or more of impervious surface on the project site must fill out this worksheet and submit it with the development project application.
- All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site must also fill out this worksheet.

These projects are called **Regulated Projects**. The Regulated Project area includes portions of the public right-of-way that are developed or redeveloped as part of the Regulated Project.

Excluded Projects - Interior remodeling projects, routine maintenance or repair projects such as re-roofing and re-surfacing, and smaller single-family homes that are not part of a larger plan of development are NOT required to complete this worksheet.

What is an Impervious Surface?

An impervious surface is a surface covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to, rooftops, walkways, paved patios, driveways, parking lots, storage areas, impervious concrete and asphalt, gravel surfaces, and any other continuous watertight pavement covering.

Previous pavement, underlain by pervious soil and pervious storage material (e.g., drain rocks), that infiltrates rainfall at a rate equal to or greater than surrounding ungravelled areas (U) that stores and infiltrates the water quality design volume specified in Provision C.3.d of the Municipal Regional Stormwater Permit (MRP), is not considered an impervious surface.

For More Information

The SCVURPPP C.3 Stormwater Handbook provides more information on selection of site design, source control, and treatment measures for a development project as well as guidance on preparing a stormwater control plan.

1. Project Information

Project Name: AZURE GARDENS SUBDIVISION APN# 211-18-030

Project Address: 842 SUNNYVALE-SARATOGA RD, SUNNYVALE, CA 94087

Cross Streets: CULIMUS AVE & AZURE ST

Applicant/Developer Name: JUN ZHANG

Project Planner: RCL STRUCTURAL ENGINEERS, INC.

Project Type (Check all that apply): ☐ New Development ☐ Redevelopment

☐ Private ☐ Public ☐ Large Detached Single-Family Home

☐ Residential ☐ Commercial ☐ Industrial ☐ Mixed Use ☐ Institutional

☐ Other: MULTI-FAMILY, 4 UNITS

Project Description:

Project Watershed/Receiving Water (creek, river or bay):

SCVURPPP C.3 Data Form Page 1 of 5 April 2023

3. State Construction General Permit Applicability:

a. Is it 2.b. equal to 43,560 SF (1 acre) or more?

☐ Yes, applicant must obtain coverage under the State Construction General Permit (see https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html).

☒ No, applicant does not need coverage under the State Construction General Permit.

4. MRP Provision C.3 Applicability:

a. Is it 2.b. equal to 5,000 SF or more, or 10,000 SF for single-family homes?

☒ Yes, C.3. source control, site design and treatment requirement apply.

☐ No, C.3. source control and site design requirements may apply-check with local agency.

b. For redevelopment projects, is it 2.b. equal to 50% or more?

☒ Yes, C.3. requirements (site design and source control, as appropriate, and stormwater treatment) apply to the entire on-site area.

☐ No, C.3. requirements only apply to the impervious area created and/or replaced.

5. Hydromodification Management (HM) Applicability:

a. Does the project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?

☐ Yes (continue) ☒ No - exempt from HM, go to page 3

b. Is the project located in an area of HM applicability (green area) on the HM Applicability Map?

☒ Yes, the project must implement HM requirements.

☐ No, the project is exempt from HM requirements.

SCVURPPP C.3 Data Form Page 2 of 5 April 2023

TREATMENT CONTROL MEASURE SUMMARY TABLE

TREATMENT CONTROL MEASURES AND CREDITS											Treatment area		Self Retaining / Treating		Media Filter					Treatment Credit (s.f.)	Comments
DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Required (s.f.)	Provided (s.f.)	Overflow Risk Height (ft)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)		
1 ⁵	2	Offsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	1,779	1,646	0	133	-	66	-	-	-	-	-	-	-	-	-	Bioretention provided onsite-TCM2
2	2	Onsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	6,143	3,085	446	2,612	41.91%	123	244	-	-	-	-	-	-	-	-	
3	3	Onsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	8,514	2,822	2,982	2,710	58.09%	113	197	-	-	-	-	-	-	-	-	
4 ⁵	3	Offsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	1,961	1,558	0	403	-	62	-	-	-	-	-	-	-	-	-	Bioretention provided onsite-TCM3
5 ⁵	-	Offsite	Untreated	N/A	N/A	136	136	0	0	-	-	-	-	-	-	-	-	-	-	-	Equivalent area treated as DMA# E 1
EQ-1	3	Offsite	Bioretention unlined w/o underdrain	LID	2C, Flow: 4% Method **	136	136	0	0	-	5	-	-	-	-	-	-	-	-	-	Equivalent area treated in lieu of DMA#5
Totals:						18,533	9,247	3,428	5,858	100.00%											

Footnotes:

1 Per the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required.

2 "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.

3 Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)

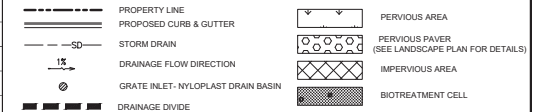
4 Gravel is considered as an impervious surface unless it is part of an infiltration trench.

5 DMA-1 is offsite and is being treated on TCM2 provided in DMA2.

6 DMA-4 and DMA-5 are offsite and is being treated on TCM3 provided in DMA3. Equivalent are EQ-1 is treated in lieu of DMA#5.

7 Treatment type of Self-Treating or Self-Retaining should only be used with landscape based treatment. If previous pavement is proposed for Self-Treating or Retaining, use the Pervious Pavement selection.

PROPOSED LEGEND:



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PROJECT NO. 211-18-030

REVISIONS

1/10/2024 PLANNING PERMIT 5

1/10/2024 PLANNING PERMIT 4

1/10/24 PLANNING PERMIT 3

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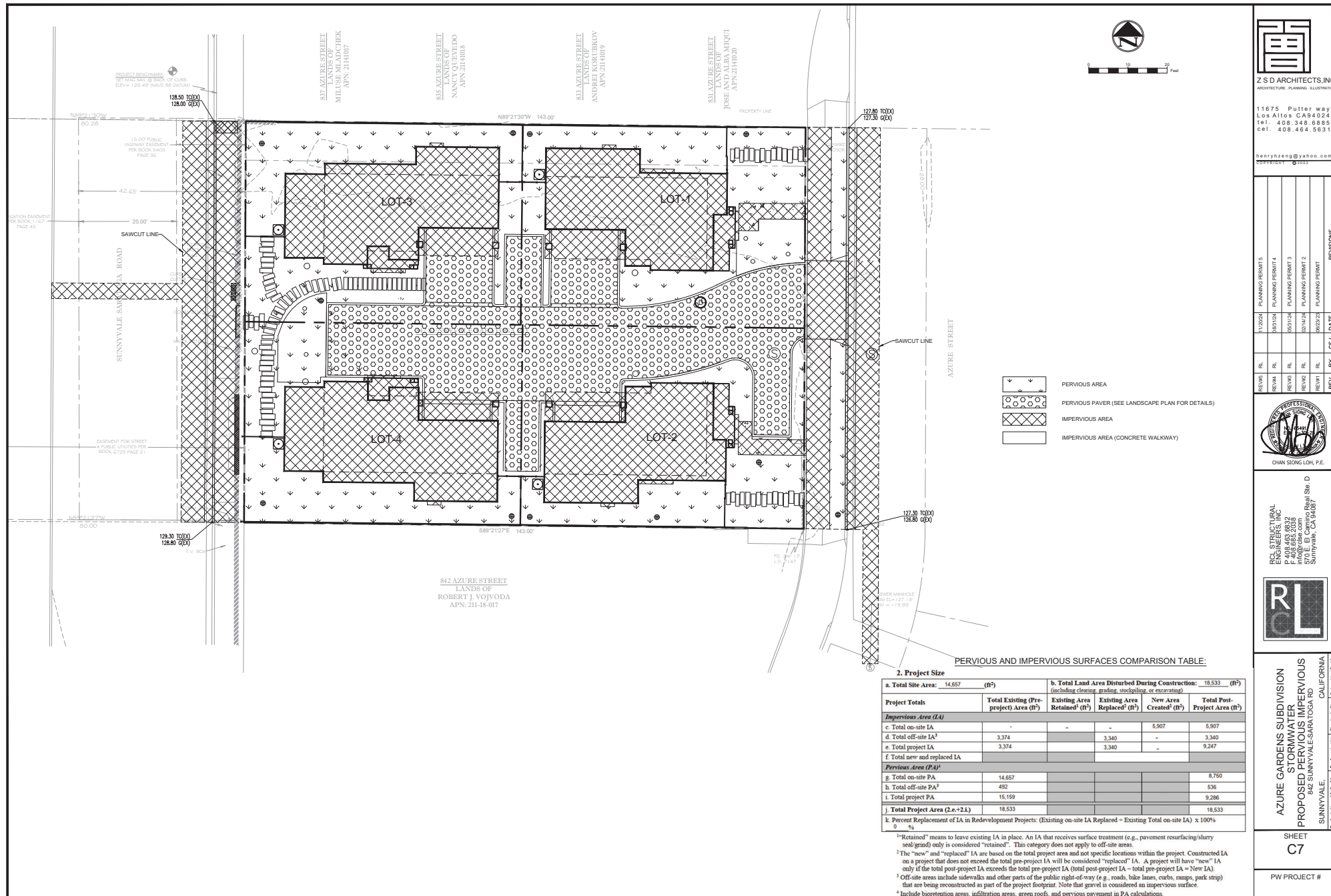
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REVISIONS

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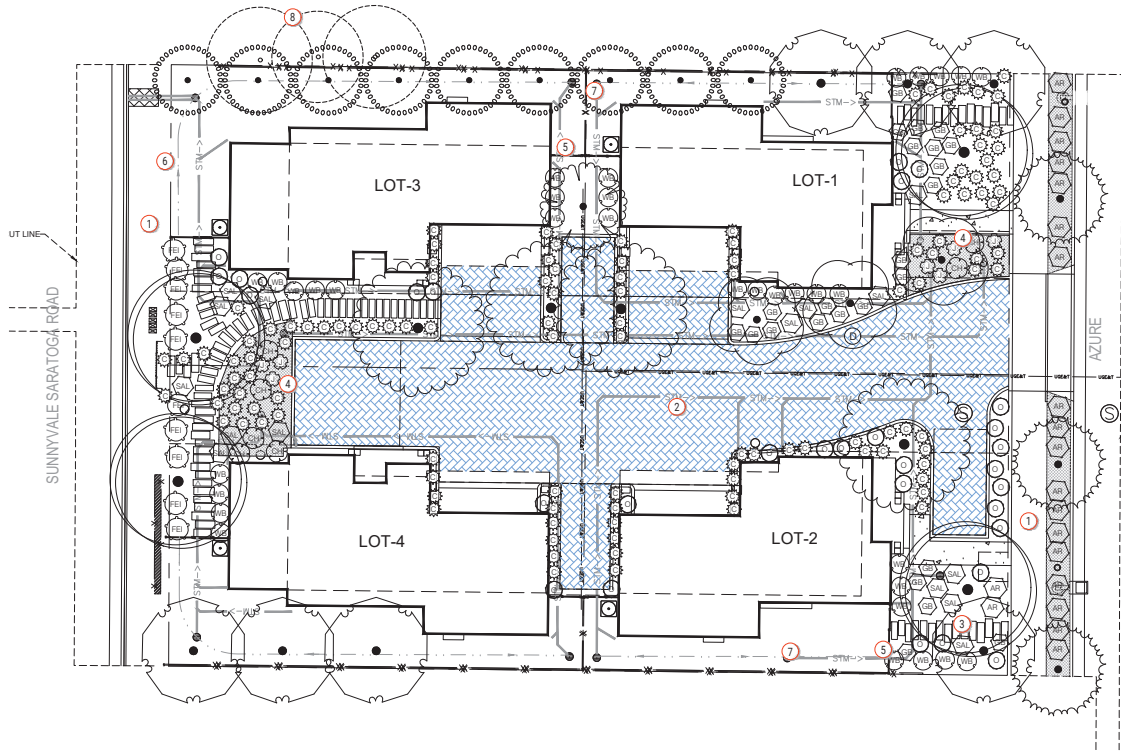
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PLANTING NOTES

CONTRACTOR SHALL SUBMIT LABELED PHOTOS OF ALL PLANT MATERIAL, TREES AND GROUNDCOVERS. PHOTOS SHALL BE OF THE SPECIFIED CONTAINER SIZE. PHOTOS SHALL BE SUBMITTED AS A COMPLETE SUBMITTAL PACKAGE FOR REVIEW AND APPROVAL. INCLUDE PHOTOS OF ANY SUBSTITUTES, CLEARLY LABELED.

ALL PLANTED AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY, GROWING CONDITION, SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING, AND TRIMMING, AND SHALL BE KEPT FREE OF WEEDS AND DEBRIS BY THE OWNER OR PERSON IN POSSESSION OF SUCH AREAS. ANY DAMAGED, DEAD OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAYS FROM THE DATE OF DAMAGE.

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

PLANT SCHEDULE ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK. NOTIFY PROJECT LANDSCAPE ARCHITECT OF ANY MAJOR DISCREPANCIES.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL STRUCTURAL AND HARDSCAPE IMPROVEMENTS SHALL BE CONSTRUCTED AND FINISHED AHEAD OF PLANTING.

ADJUST PLANT MATERIAL AS NECESSARY AROUND UTILITY LOCATIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY MAJOR CONFLICTS OR NECESSARY ADJUSTMENTS.

SOILS SHALL BE AMENDED PER A SOILS FERTILITY ANALYSIS AS EXPLAINED IN THE COMPLIANCE WITH MWELD NOTES ON THE IRRIGATION PLAN. SOIL AMENDMENTS AND PREPARATION SHALL CONFORM TO STATE AB1881 AND LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES.

ALL WORK ON THE IRRIGATION SYSTEM INCLUDING OPERATIONAL TESTS, AND BACKFILLING OF TRENCHES SHALL BE COMPLETED AHEAD OF PLANTING.

LOCATIONS OF ALL PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLANTING. THE REPRESENTATIVE RESERVES THE RIGHT TO MAKE ANY ADJUSTMENTS, SUBSTITUTIONS, ADDITIONS, AND DELETIONS TO THE PLANT LAYOUT AS WORK PROGRESSES.

ALL GROUNDCOVER SHALL BE TRIANGULARLY SPACED, UNLESS OTHERWISE NOTED.

TREES SHALL BE INSTALLED NO CLOSER THAN TEN (10) FEET FROM UTILITIES.

INSTALL TREE ROOT BARRIERS FOR TREES LOCATED WITHIN 5' OF ANY UNDERGROUND UTILITY - SEE CIVIL ENGINEERS PLANS FOR REFERENCE.

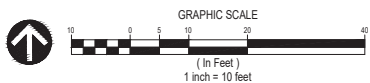
ALL PLANTING AREAS TO RECEIVE 3" THICK LAYER OF STRINGY CEDAR BARK

PLANTING SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
TREES				
ARB TRE	ARB TRE	ARBUTUS UNEDO / STRAWBERRY TREE MULTI-TRUNK	24" BOX	1
ARB MY	ARB MY	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE	36" BOX	4
LAG N40	LAG N40	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE	15 GAL.	3
OLE W12	OLE W12	OLEA EUROPAEA 'WILSONIT' / WILSON OLIVE	15 GAL.	9
PLA COL	PLA COL	PLATANUS X ACERIFOLIA 'COLUMBIA' / COLUMBIA LONDON PLANE TREE - MULTI TRUNK	15 GAL.	4
QUE SHU	QUE SHU	QUERCUS SHUMARDII / SHUMARD OAK	15 GAL.	3
TRI BRI	TRI BRI	TRISTANIA CONFERTA / BRISBANE BOX	24" BOX	7
SHRUBS				
AR	AR	ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA	1 GAL.	20
C	C	CAREX DIVULSA / EUROPEAN GREY SEDGE	1 GAL.	119
CH	CH	CHONDROPETALUM TECTORIUM 'EL CAMPO' / EL CAMPO SMALL CAPE RUSH	5 GAL.	7
FEI	FEI	FEIJOA SELLOWIANA / PINEAPPLE GUAVA	5 GAL.	10
J	J	JUNCUS PATENS / CALIFORNIA GRAY RUSH	1 GAL.	7
O	O	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL.	30
SAL	SAL	SALVIA LEUCANTHA / MEXICAN BUSH SAGE	1 GAL.	16
WB	WB	WESTRINGIA FRUTICOSA 'WES03' TM / BLUE GEM COAST ROSEMARY	5 GAL.	33
GB	GB	WESTRINGIA FRUTICOSA 'WES04' / GREY BOX" COAST ROSEMARY	5 GAL.	24

DESIGN KEY

- 1 NEW SIDEWALK - PER CIVIL SHEET 01-2 / INSTALLED PER CITY DETAIL 9C+9C-1
- 2 PERMEABLE PAVEMENT DRIVEWAY - PER CIVIL SHEET C5 / DIAGRAM 2 PERMEABLE PAVEMENT SYSTEM SHOWN IN BLUE TONE
- 3 LANDSCAPE STEPPERS - PRECAST CONCRETE FROM AIRVOL BLOCK OR EQUAL. SET OVER 4" DEPTH OF COMPACTED DECOMPOSED GRANITE
- 4 BIORETENTION BASIN - PER CIVIL SHEET C5 / DIAGRAM 5
- 5 PRIVATE YARD PRIVACY FENCE AND GATE
- 6 PROPERTY LINE
- 7 PRIVATE YARDS WITH BARK MULCH, TYP
- 8 EXISTING TREES TO REMAIN



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AZURE RESIDENCES
LANDSCAPE PLANS

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PLAN

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AZURE RESIDENCES
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DATE
01.27.2025

TREE REMOVAL
PLAN

L-1.1

OFF SITE TREE NOTES - COA BP - 11 AND BP-22

- ALL OFF-SITE ADJACENT EXISTING TREES TO BE PROTECTED AS PER COA BP-11 AND COA BP-22.
- OFF SITE EXISTING TREE PROTECTION TO SATISFY ALL MUNICIPAL CODES AND REGULATIONS. VERIFY PRIOR TO CONSTRUCTION.

PLANT SYMBOLS

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

TREE PROTECTION NOTES

PROTECT EXISTING TREES (SHOWN ON PLAN TO REMAIN) BY FOLLOWING THESE INSTRUCTIONS:

- THE GRADE BETWEEN THE DRIPLINE AND ROOT CROWN OF THE TREES SHALL NOT BE CUT AND CAN BE FILLED BY ONLY 3" EXCEPT WITHIN 5' OF THE TRUNK WHERE THE GRADE SHALL NOT BE DISTURBED.
- IRRIGATION AND RAIN WATER SHALL BE ABLE TO DRAIN AWAY FROM THE ROOT CROWN OF THE TREE.
- DO NOT DRIVE OR PARK VEHICLES WITHIN THE DRIPLINE AREA OF THE TREES UNLESS NECESSARY TO DO PAVING CONSTRUCTION. IF THERE HAS BEEN ANY VEHICULAR TRAFFIC WITHIN THE DRIPLINE, THE GROUND SHALL BE SCARIFIED BY HAND TO A DEPTH OF 12" TO DE-COMPACT.
- DO NOT ALLOW CONTRACTORS TO DUMP WASTE CONCRETE, PLASTER, ETC. UNDER DRIPLINE OF TREES. DO NOT ALLOW PAINTERS OR OTHER TO CLEAN EQUIPMENT UNDER DRIPLINE UPHILL OF EXISTING TREES WHERE NATURAL DRAINAGE WOULD CAUSE WASTE TO RUN WITHIN DRIPLINE. DO NOT ALLOW ANY WASTE TO BE DUMPED IN SOIL ON SITE.
- TREES SHALL NOT BE PRUNED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR ARBORIST.
- IF IT IS NECESSARY TO PRUNE OR CUT ANY ROOTS LARGER THAN 1" IN DIAMETER, THE ROOTS SHALL BE CUT CLEANLY AND ROOT SEALED. WHERE EXCAVATION IS REQUIRED AROUND TREES (FOR WALL, PAVING, ECT.) THE REPLACED SOIL SHALL BE 1/3 SOIL AMENDMENT AND 2/3 NATIVE SOIL.
- NO IRRIGATION SHALL BE INSTALLED WITHIN 5'-0" OF THE TRUNK. NO SPRAY SHALL HIT THE TRUNKS OF TREES. ALL TRENCHING WITHIN THE DRIPLINE WILL BE DONE BY HAND. ALL PIPING SHALL RUN PERPENDICULAR TO THE TRUNK WITHIN THE DRIPLINE EXCEPT AT FACE OF CURB, PLANTER, OR PAVING.

TREE REPLACEMENT - SEE SHEET L1.0 FOR REPLACEMENT TREES

11 TREES REMOVED: 12'-18" = 11'-24" BOX REPLACEMENT TREES

3 TREES REMOVED: 19'-24" = 3'-36" BOX REPLACEMENT TREES

0 TREES REMOVED: 25' OR GREATER

842 Sunnyvale Road Tree Inventory, Assessment and Protection April 24, 2016

Appendix B: Tree Inventory and Disposition Tables
Table 1: Tree Inventory, Assessment, Disposition

Tree Species	#	Trunk Diameter	Height	Crown Diameter	Condition	Subsistence	Influence Level	Significant
Orange (Citrus aurantium)	699	8	20	30	Fair	Fair	High	No
Shoreline (Citrus aurantium)	700	15	25	30	Fair	Fair	High	Yes
Arundo (Phragmites australis)	701	18	40	40	Fair	Fair	High	Yes
Privet (Ligustrum lucidum)	702	22	35	20	Fair	Poor	High	Yes
Privet (Ligustrum lucidum)	703	5	35	5	Poor	Poor	High	No
Privet (Ligustrum lucidum)	704	18	35	25	Fair	Poor	High	Yes
Privet (Ligustrum lucidum)	705	15	35	25	Fair	Poor	High	Yes
Privet (Ligustrum lucidum)	706	20	35	25	Fair	Poor	High	Yes
Privet (Ligustrum lucidum)	707	24	35	25	Fair	Poor	High	Yes
Orange (Citrus aurantium)	708	8	15	15	Poor	Poor	High	No
Privet (Ligustrum lucidum)	709	15	35	20	Fair	Poor	Moderate	Yes
Privet (Ligustrum lucidum)	710	10	35	20	Fair	Poor	Moderate	No

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842 Sunnyvale Road Tree Inventory, Assessment and Protection April 24, 2016

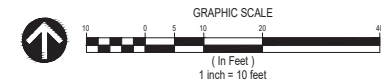
Tree Species	#	Trunk Diameter	Height	Crown Diameter	Condition	Subsistence	Influence Level	Significant
Privet (Ligustrum lucidum)	711	15	35	20	Fair	Poor	Moderate	Yes
Juniper (Juniperus sp.)	712	9	15	15	Poor	Poor	High	No
Juniper (Juniperus sp.)	713	5	15	15	Poor	Poor	High	No
Juniper (Juniperus sp.)	714	7	15	15	Poor	Poor	High	No
Juniper (Juniperus sp.)	715	8	15	15	Poor	Poor	High	No
Juniper (Juniperus sp.)	716	9	15	15	Poor	Poor	High	No
Stone pine (Pinus pinea)	717	18	30	30	Fair	Poor	High	Yes
Arundo (Phragmites australis)	718	18	30	30	Fair	Poor	High	Yes
Arundo (Phragmites australis)	719	15	30	30	Fair	Poor	High	Yes
Sweet gum (Liquidambar styraciflua)	720	17	35	30	Fair	Fair	Moderate	Yes
Sweet gum (Liquidambar styraciflua)	721	12	30	30	Fair	Fair	Moderate	Yes

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BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS

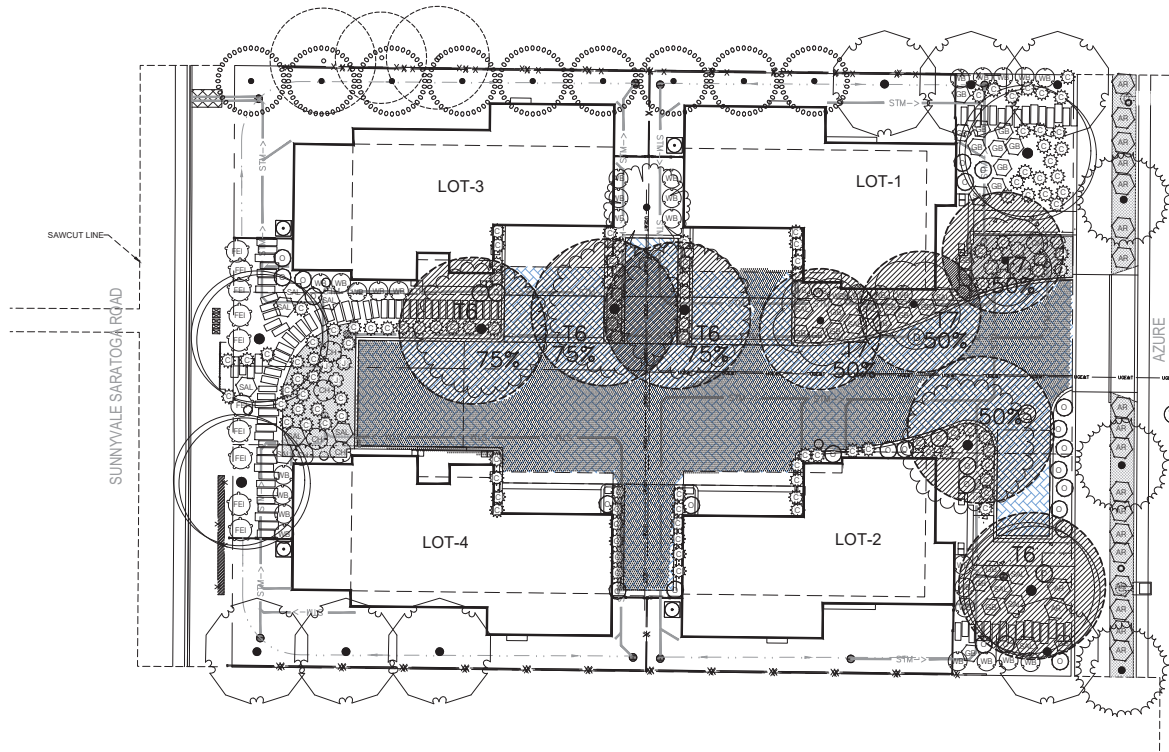


Know what's below.
Call before you dig.

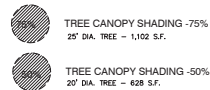




AZURE RESIDENCES
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LANDSCAPE PLANS



TREE SHADING LEGEND



TREE CANOPY SHADING - 75%
25' DIA. TREE - 1,102 S.F.

TREE CANOPY SHADING - 50%
20' DIA. TREE - 628 S.F.



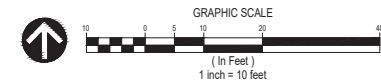
PARKING PAVING AREA

TREE SHADING CALCULATIONS

KEY	BOTANICAL NAME	TREE DIAMETER	SHADE, S.F.	100% SHADE/S.F.	75% SHADE/S.F.	50% SHADE/S.F.	25% SHADE/S.F.	TOTAL S.F.
16	PISTACHIA CHINENSIS (CHINESE PISTACHE)	25' DIA. WITH 400 S.F. FULL SHADE		3 @ 367 s.f.				1,102 s.f.
13	ARBUTUS MARINA (STRAWBERRY TREE)	20' DIA. WITH 315 S.F. FULL SHADE			1 @ 157 s.f.			157 s.f.
17	LARRETRINOSIA (GOPE MYRTLE)	20' DIA. WITH 315 S.F. FULL SHADE			3 @ 157 s.f.			471 s.f.
TREE CANOPY 1,730 s.f. TOTAL								

TREE SHADING COVERAGE

Parking lot square footage	3,216 s.f.
Tree shading square footage	1,730 s.f.
Percentage shading coverage in 15 years	53.8 %



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DATE
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**TREE SHADING
PLAN**

L-1.2



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HYDROZONE PLAN

L-2.0

IRRIGATION WATER USE CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

TERMINOLOGY	MAWA	=	Maximum Applied Water Allowance
	ET0	=	Reference Evapotranspiration
	0.62	=	Conversion factor (to gallons per square foot)
	ETAF	=	0.55 for Residential Projects
	ETAF	=	0.45 for Non-Residential Projects
	LA	=	Landscaped Area
	ETAF for SLA	=	Additional ET Adjustment Factor for SLA (1.0 - 0.7 = 0.3)
	SLA	=	Portion of Landscape Area identified as Special Landscape Area
	ETAF	=	ET Adjustment Factor (ETAF)

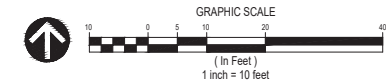
Project Type = residential
Calculate for MAWA

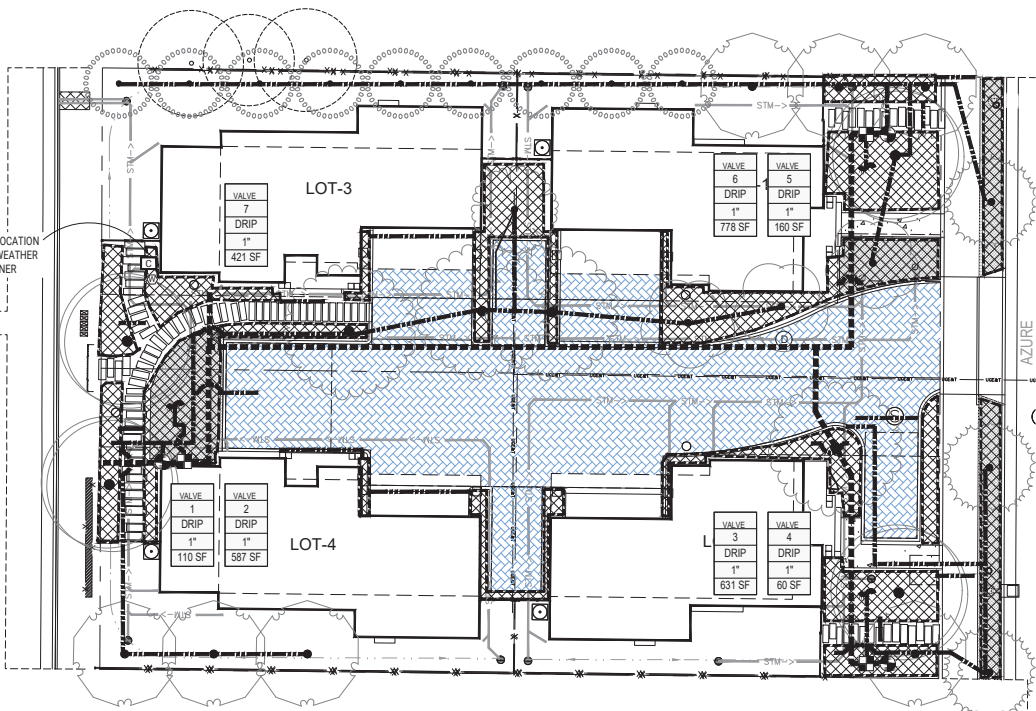
ET0	X	ETAF	X	AREA (sf)	X	CONVERSION	=	MAWA
MAWA (LA)	45.3	X	0.55	X	2,747	X	0.62	= 42,434
MAWA (SLA)	45.3	X	0.9	X	0	X	0.62	= 0
MAWA (Gallons/Year) =								42,434
ETWU (Gallons/Year) =								17,597

ESTIMATED TOTAL WATER USE (ETWU)














TERMINOLOGY	ETWU	=	Estimated Total Water Usage
	ET0	=	Reference Evapotranspiration
	0.62	=	Conversion factor (to gallons per square foot)
	PF	=	Plant Factor from WUCOLS
	HA	=	Hydrozone Area
	IE	=	Irrigation Efficiency
	SLA	=	Portion of Landscape Area identified as Special Landscape Area
ETWU	=	ET0 x 0.62 (PF x HA)	+ SLA

Numerator		Plant Water		Denominator		+ SLA		ETWU	
Hydrozone	Irrigation Method	Use Type	Ref ET	Conversion	PF	HA	Numerator	IE	SLA
1	BUBBLER	L	45.3	0.62	0.2	110	618	0.8	772
2	AREA FOR DRIP EMITTERS	L	45.3	0.62	0.2	587	3297	0.85	3,879
3	AREA FOR DRIP EMITTERS	L	43	0.62	0.2	631	3364	0.85	3,958
4	BUBBLER	L	43	0.62	0.2	60	320	0.8	400
5	BUBBLER	L	43	0.62	0.2	160	853	0.8	1,066
6	AREA FOR DRIP EMITTERS	L	43	0.62	0.2	778	4148	0.85	4,880
7	AREA FOR DRIP EMITTERS	L	43	0.62	0.2	421	2245	0.85	2,641
Total ETWU									17,597





IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION																									
	TORO DZK-700-1 DRIP CONTROL VALVE KIT, WITH 1" IRRITROL 700 ULTRAFLOW INLINE VALVE, TORO Y-FILTER, PRESSURE REGULATOR AND FITTINGS.																									
	AREA TO RECEIVE DRIP EMITTERS AT EACH PLANT : PROVIDE (1) 1 GAL EMITTER / 1 GALLON PROVIDE (2) 1 GAL EMITTER / 5 GALLON PROVIDE (5) 1 GAL EMITTER / 15 GALLON																									
	TREES TREE BUBBLER TORO FB-50-PC 2 BUBBLERS PER TREE																									
	IRRITROL 100P1-S GLOBE PRESSURE REDUCING STEM ELECTRIC REMOTE CONTROL VALVE, 1", GLOBE BODY CONFIGURATION, FLOW CONTROL																									
	MATCO-NORCA 770T PVC WHITE BALL VALVE FOR SCH 40 AND SCH 80 PIPE, THREADED ENDS COMPLY WITH ASTM F1498, WITH "T" HANDLE, SAME SIZE AS MAINLINE. 1/2" - 4".																									
	TYPICAL HOSE BIB																									
	FENCO 825V 3/4" REDUCED PRESSURE BACKFLOW PREVENTER WITH LOCKING BLANKET																									
	IRRITROL TC-9EX-R HYBRID CONTROLLER, 9- STATION, EXTERIOR MODEL, CLIMATE LOGIC COMPATIBLE, AND REMOTE-READY.																									
	IRRITROL RS1000 WIRELESS RAIN SENSOR																									
	POINT OF CONNECTION - CONFIRM LOCATION AND SIZE ON CIVIL PLANS																									
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1.5"																									
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.																									
	LATERAL SIZING MINIMUM LATERAL SIZE SHALL BE 3/4". SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:																									
<table border="1" data-bbox="1323 789 1365 847"><thead><tr><th>VALVE TAG</th><th>STATION #</th><th>TYPE</th><th>SIZE</th><th>HYDROZONE AREA</th></tr></thead><tbody><tr><td>X</td><td>1</td><td>3/4"</td><td>0-9 GPM</td><td>9.1-18 GPM</td></tr><tr><td>X</td><td>2</td><td>1"</td><td>18.1-30 GPM</td><td>1.1/4"</td></tr><tr><td>X</td><td>3</td><td>1 1/2"</td><td>31.1-40 GPM</td><td>1 1/2"</td></tr><tr><td>X</td><td>4</td><td>2"</td><td>40.1-60 GPM</td><td></td></tr></tbody></table>	VALVE TAG	STATION #	TYPE	SIZE	HYDROZONE AREA	X	1	3/4"	0-9 GPM	9.1-18 GPM	X	2	1"	18.1-30 GPM	1.1/4"	X	3	1 1/2"	31.1-40 GPM	1 1/2"	X	4	2"	40.1-60 GPM		
VALVE TAG	STATION #	TYPE	SIZE	HYDROZONE AREA																						
X	1	3/4"	0-9 GPM	9.1-18 GPM																						
X	2	1"	18.1-30 GPM	1.1/4"																						
X	3	1 1/2"	31.1-40 GPM	1 1/2"																						
X	4	2"	40.1-60 GPM																							

IRRIGATION NOTES

- IRRIGATION PLAN IS DIAGRAMMATIC. FINAL LOCATION OF PIPING WILL BE DETERMINED AT THE TIME OF INSTALLATION. MAINLINE AND LATERALS SHALL BE PLACED IN THE SAME TRENCH WHEN POSSIBLE.
- ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE DRAWING, TO COMPLETE THE WORK, SHALL BE PROVIDED BY THE IRRIGATION CONTRACTOR.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR SPECIFICATIONS.
- ALL PIPING RUNNING UNDER HARDSCAPE/WALLS SHALL BE SLEEVED. MINIMIZE SLEEVING AS MUCH AS POSSIBLE BY LOCATING LATERALS AND MAINLINE IN PLANTING AREAS.
- FOR DRIP IRRIGATION AREAS, CONTRACTOR SHALL INSTALL AIR RELIEF VALVES, OPERATION INDICATORS, AND FLUSH VALVES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE POWER TO CONTROLLERS AND DEDICATE ONE (1) 20 AMP BREAKER FOR EACH CONTROLLER. THE AUTHORIZED REPRESENTATIVE SHALL REVIEW CONTROLLER LOCATIONS PRIOR TO INSTALLATION. 120 VOLT SERVICE AND HOOK-UP TO THE CONTROLLER SHALL BE COMPLETED BY A LICENSED ELECTRICAL CONTRACTOR. THIS COST IS TO BE A PART OF THE LANDSCAPE CONTRACTOR'S BID.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SITE CONDITIONS PRIOR TO BEGINNING WORK. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL SLEEVE UNDER PAVING PER PLANS AND SPECIFICATIONS. ALL SLEEVES UNDER PAVING SHALL RECEIVE IDENTIFYING MARK ON TOP OF CONCRETE. EXTEND ALL SLEEVES 18" BEYOND EDGE OF PAVING.
- SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE. LABEL ALL WIRES W/ WATERPROOF MARKERS AT ALL SPLICES AND VALVE MANIFOLDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL MATERIAL APPEARING ON PLAN.
- ALL EXISTING UTILITIES, WATER LINES AND FIRE HYDRANTS SHALL REMAIN CONNECTED AND IN FULL CONTINUOUS OPERATION DURING AND FOLLOWING ALL CONTRACT WORK.
- CONTRACTOR SHALL NOT INSTALL ANY PLANTING UNTIL THE FOLLOWING ARE COMPLETED: 1. THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL. 2. HYDROSTATIC PRESSURE TESTS SHALL BE PERFORMED ON MAIN AND LATERAL LINES. 3. ALL ZONES SHALL PASS A COVERAGE TEST. 4. CONTROLLERS SHALL BE FULLY OPERATIONAL.



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IRRIGATION PLAN

L-2.1



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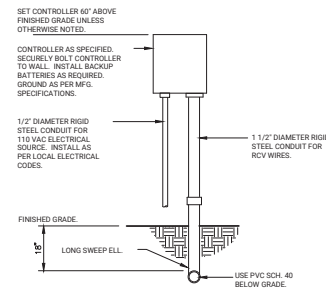
AZURE RESIDENCES
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LANDSCAPE PLANS

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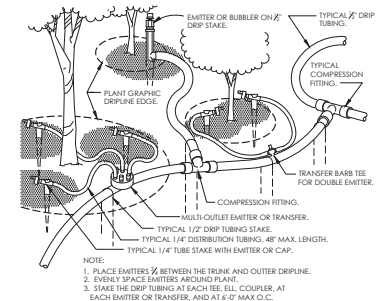
DATE
01.27.2025

LANDSCAPE CONSTRUCTION DETAILS

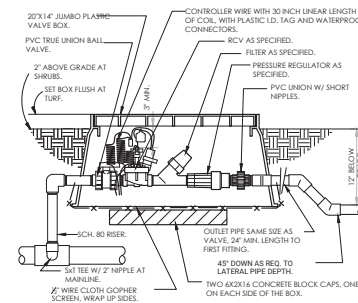
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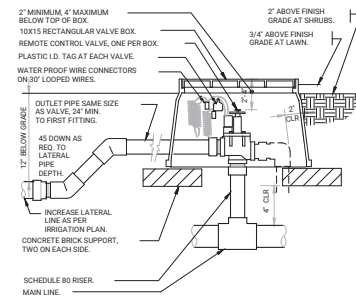
3 WALL MOUNT CONTROLLER



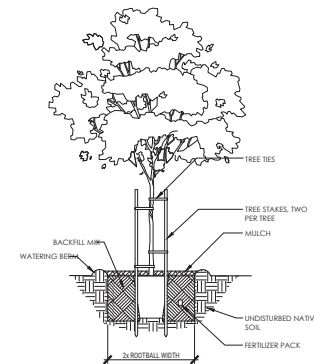
4 TYPICAL DRIP TUBING



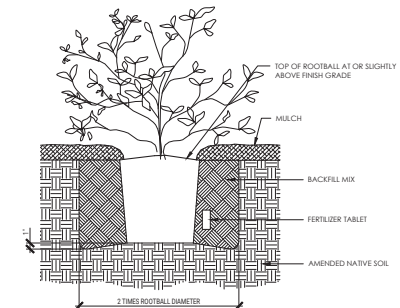
2 1" DRIP VALVE/FILTER/REGULATOR
1 1/2" = 1'-0"



5 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"



1 TREE PLANTING
1/2" = 1'-0"



6 SHRUB PLANTING