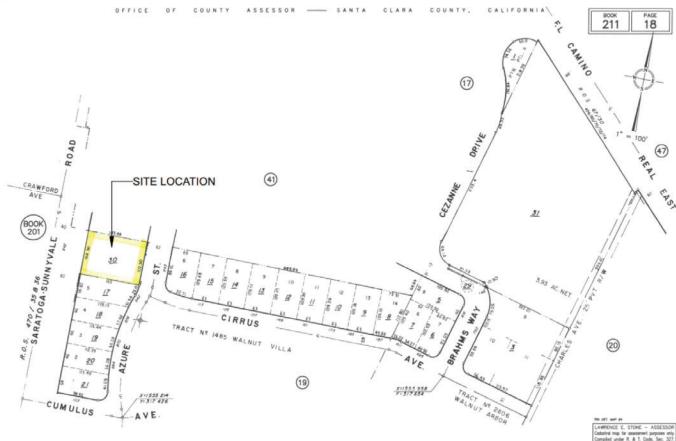
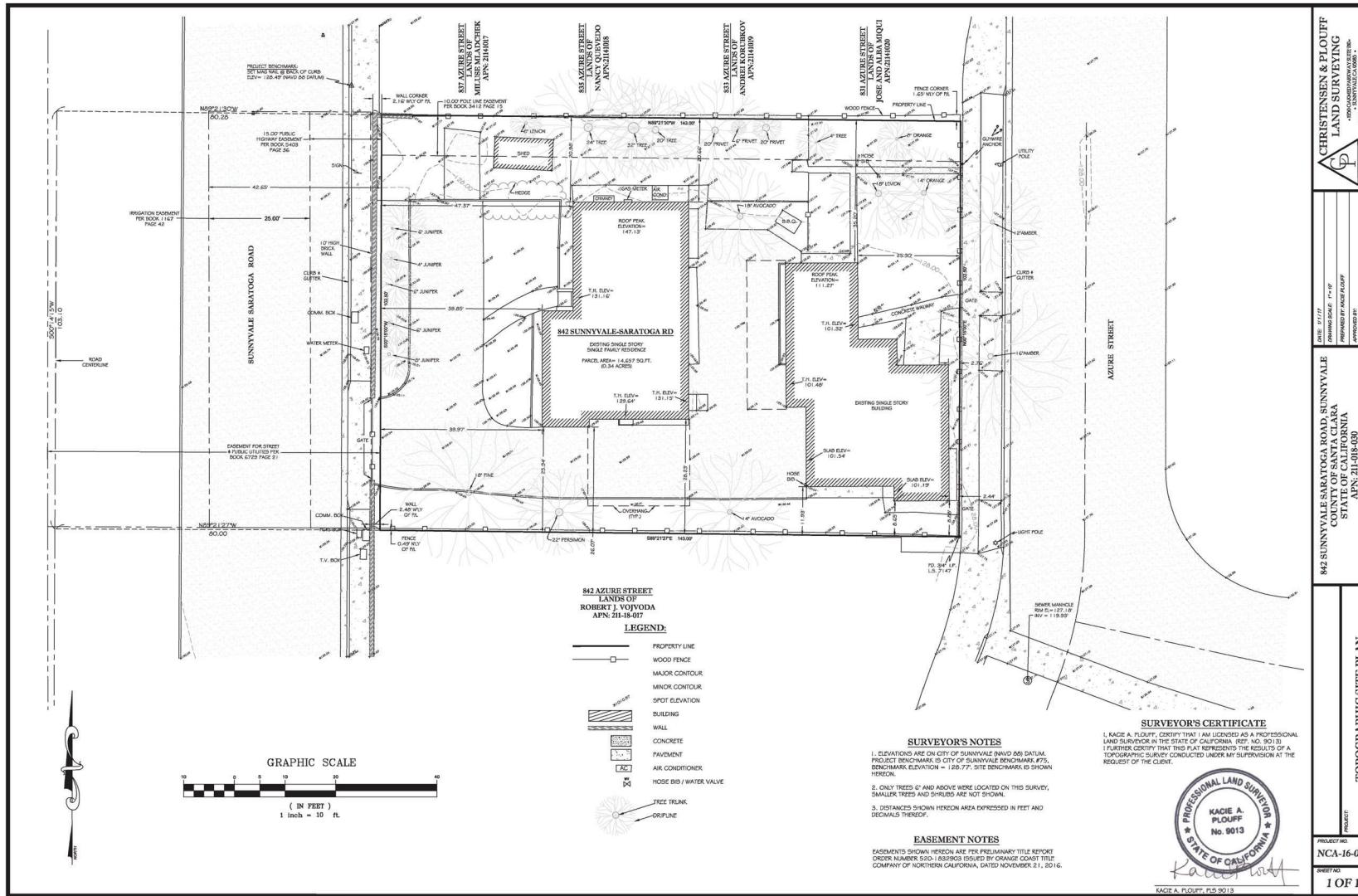
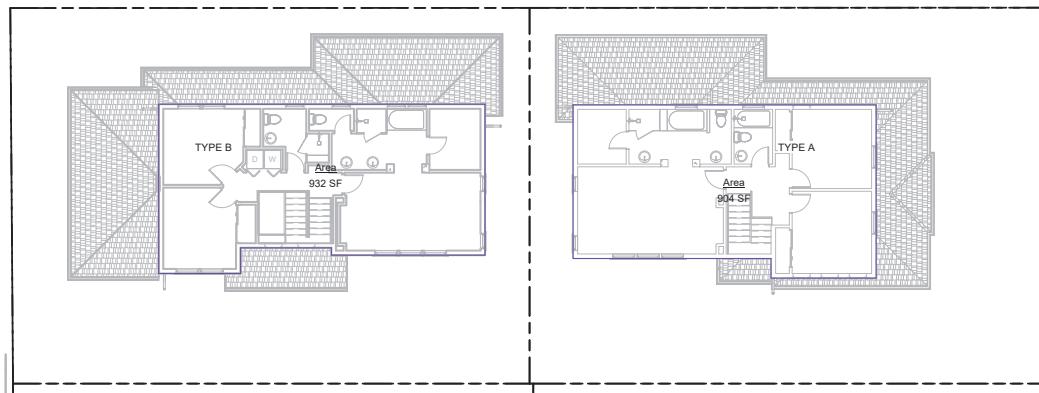
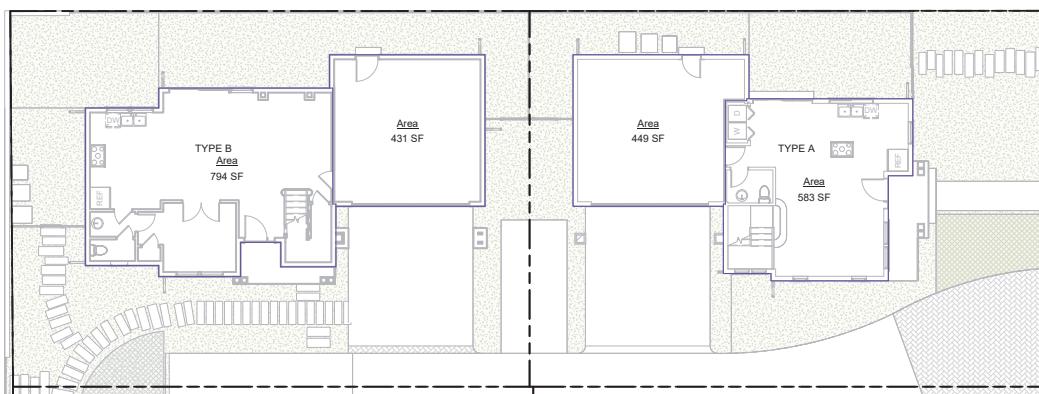


	SCOPE OF WORK 4 NEW 2 STORY SINGLE FAMILY HOMES WITH ATTACHED 2 CAR GARAGES		SHEET INDEX <ul style="list-style-type: none"> A0.1 COVER SHEET A0.2 TOPOGRAPHIC SITE PLAN A1.1 SITE COVERAGE & BUILDING AREA A1.3 LANDSCAPE AREA CALCS A2.1 CAL GREEN A3.1 HOUSE TYPE B A4.1 STREET & SITE SECTION A5.1 COLOR A7.1 CAL GREEN POINT'S TYPE A A8.1 CAL GREEN POINT'S TYPE B A9.1 COLOR & MATERIALS
	PROJECT INFORMATION <p>OWNER: JUN ZHANG ADDRESS: 162 SUNNYVALE - SARATOGA RD. SUNNYVALE CA APN: 211-18-303 BDRGS: 4 TYPE OF CONST: NC SITE AREA: 14,627 S.F.</p>		
VICINITY MAP 			
PARCEL MAP 			
<p>SITE PLAN FOR FIRE DEPT. SHADeD AREA INDICATES DISTANCES FOR HOSE REACH 1/16" = 1'-0"</p> <p>10/01/2024 11:51:47 PM</p>			
<p>COBRI www.cibri.com</p> <p>AZURE DEVELOPMENT SUNNY VALE AZURE RESIDENCE</p> <p>DATE: SUBMISSION: 06/23/2023 PLANNING PERMIT 02/14/2024 PLANNING PERMIT 2 05/31/2024 PLANNING PERMIT 3 10/03/2024 PLANNING PERMIT 4 01/26/2025 PLANNING PERMIT 5</p> <p>SCALE: As indicated JOB NO.: 219418</p> <p>DRAWING: COVER SHEET</p> <p>A0.1</p>			

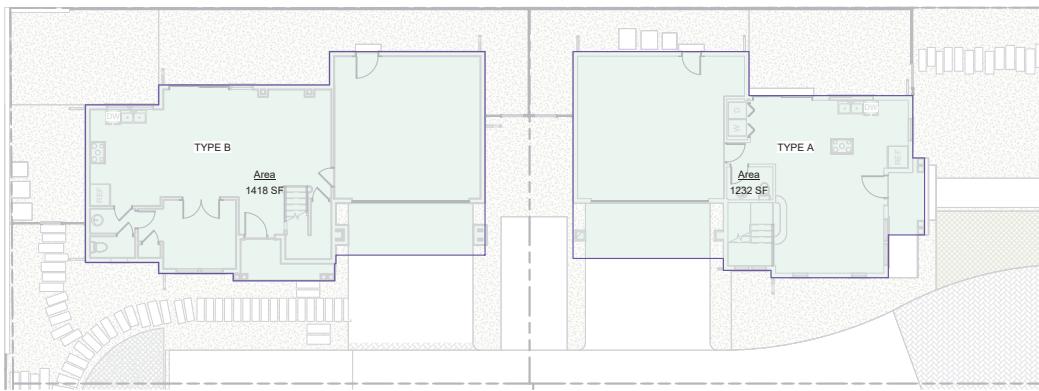




③ 2ND FLOOR BUILDING AREA
1/8" = 1'-0"



② 1ST BUILDING AREA
1/8" = 1'-0"



① 1ST FLOOR COVERAGE AREA
1/8" = 1'-0"

AZURE DEVELOPMENT

SUNNY VALE AZURE RESIDENCE

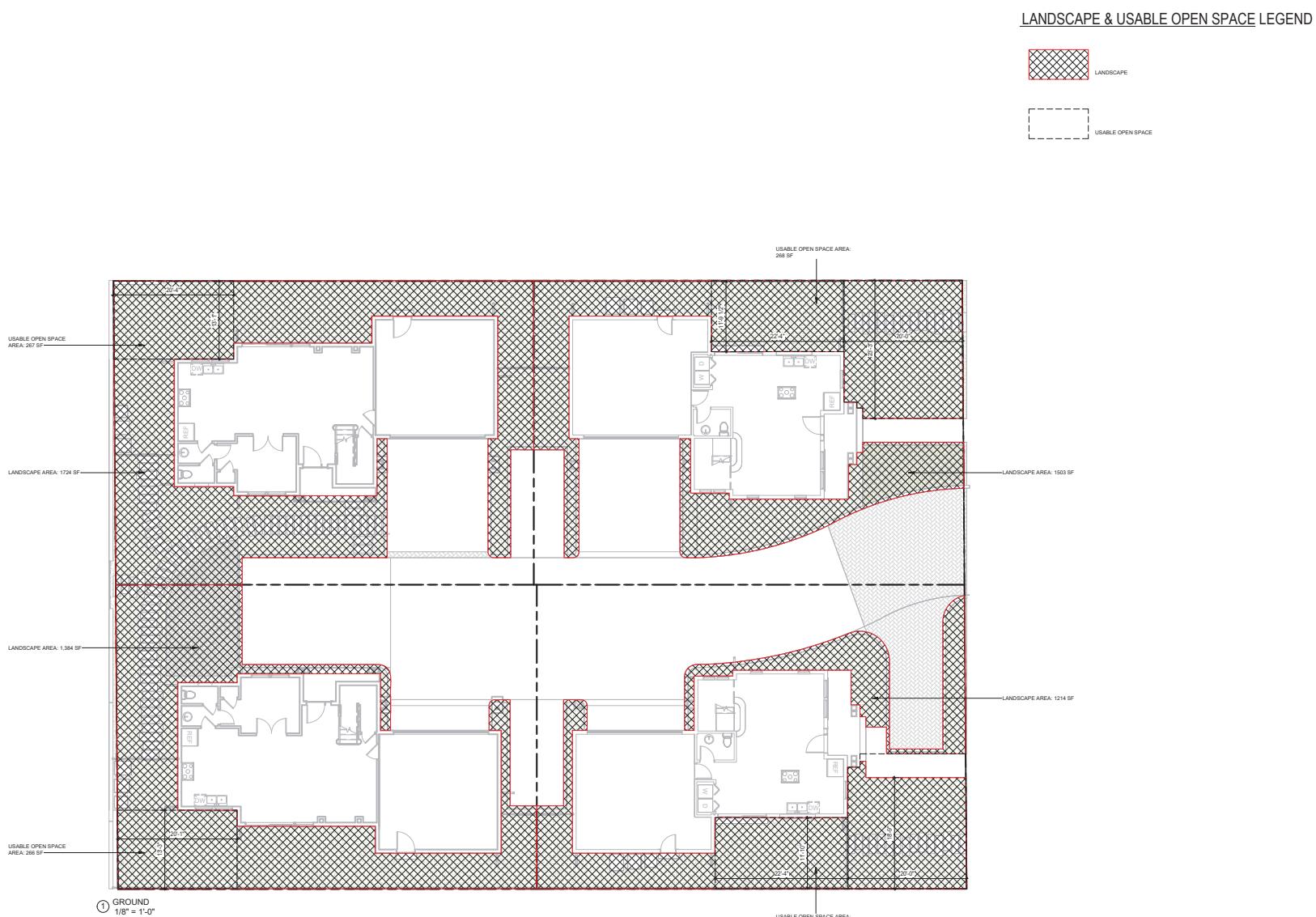
COBRI
WW.COBRI.COM

DATE:	SUBMISSION:
02/14/2024	PLANNING PERMIT 2
05/31/2024	PLANNING PERMIT 3
10/08/2024	PLANNING PERMIT 4

SCALE:	1/8" = 1'-0"
JOB NO.	219418

**DRAWING:
SITE COVERAGE & BUILDING
AREA**

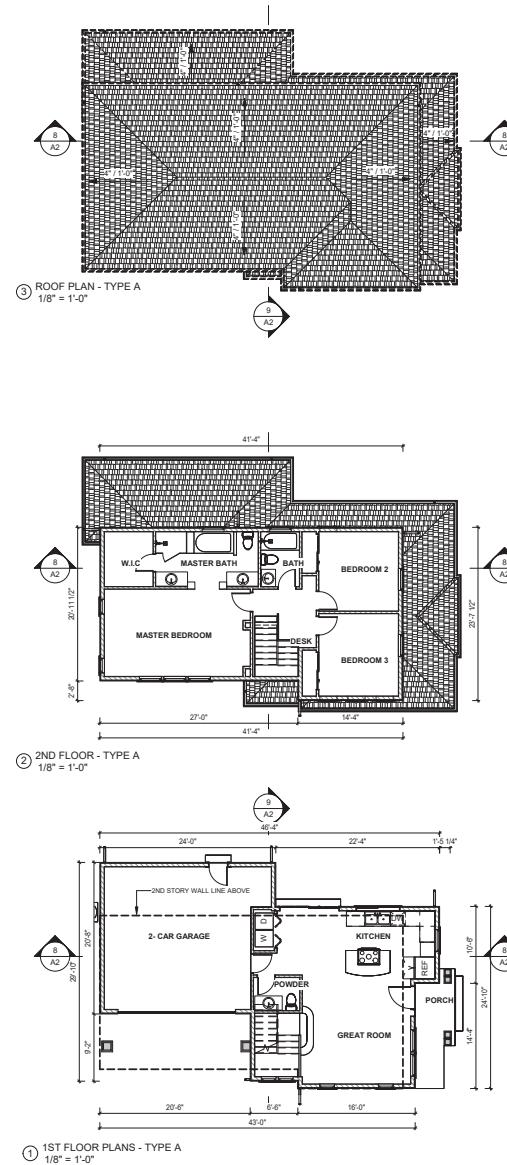
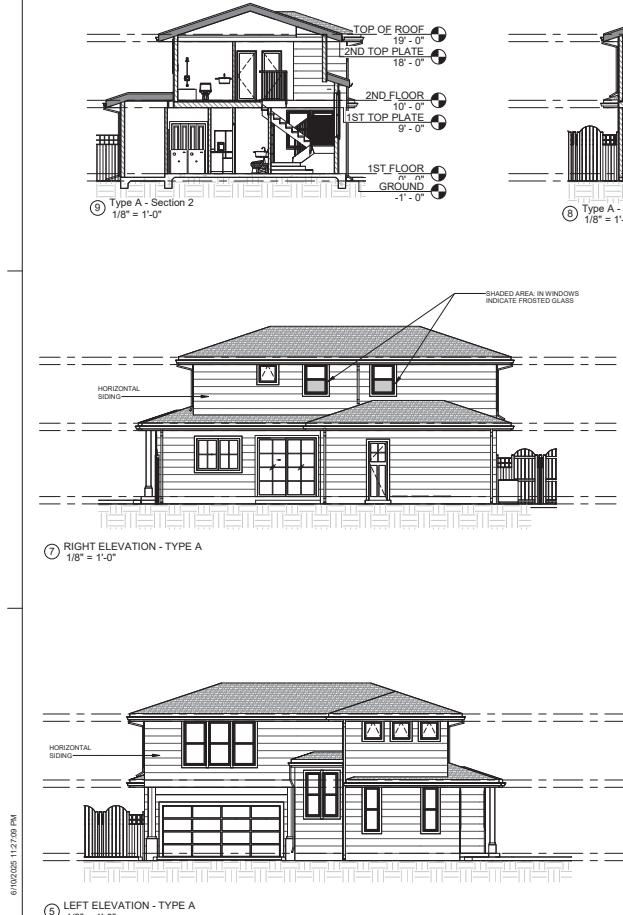
A1.2



A1.3

NOTE:

FOUNDATION FOR MAIN HOUSE WILL BE CRAWL SPACE, AND THE GARAGE WILL BE SLAB ON GRADE.



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
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DATE: SUBMISSION:
06/23/2023 PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2
05/31/2024 PLANNING PERMIT 3
10/09/2024 PLANNING PERMIT 4



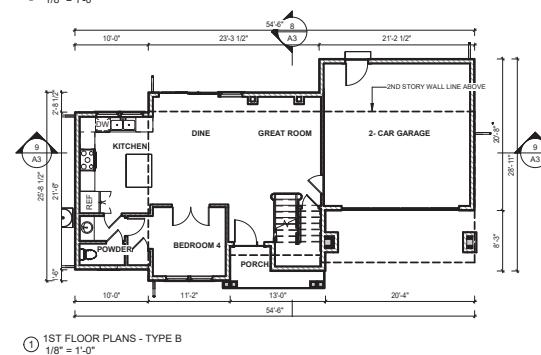
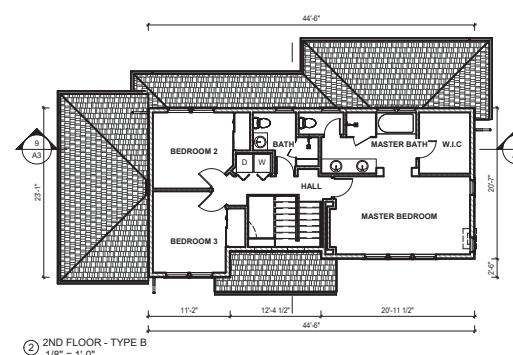
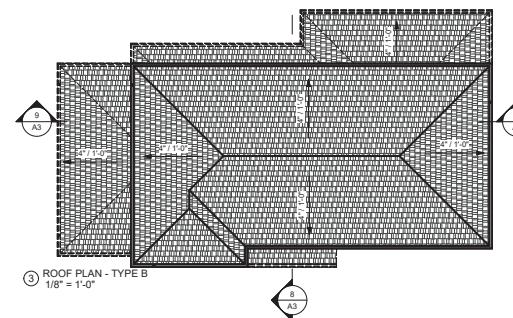
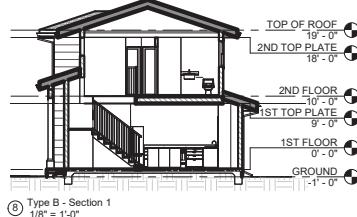
SCALE: 1/8" = 1'-0"
JOB NO. 219418

DRAWING:
HOUSE TYPE A

A2

NOTE:

FOUNDATION FOR MAIN HOUSE WILL BE CRAWL SPACE, AND THE GARAGE WILL BE SLAB ON GRADE.



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

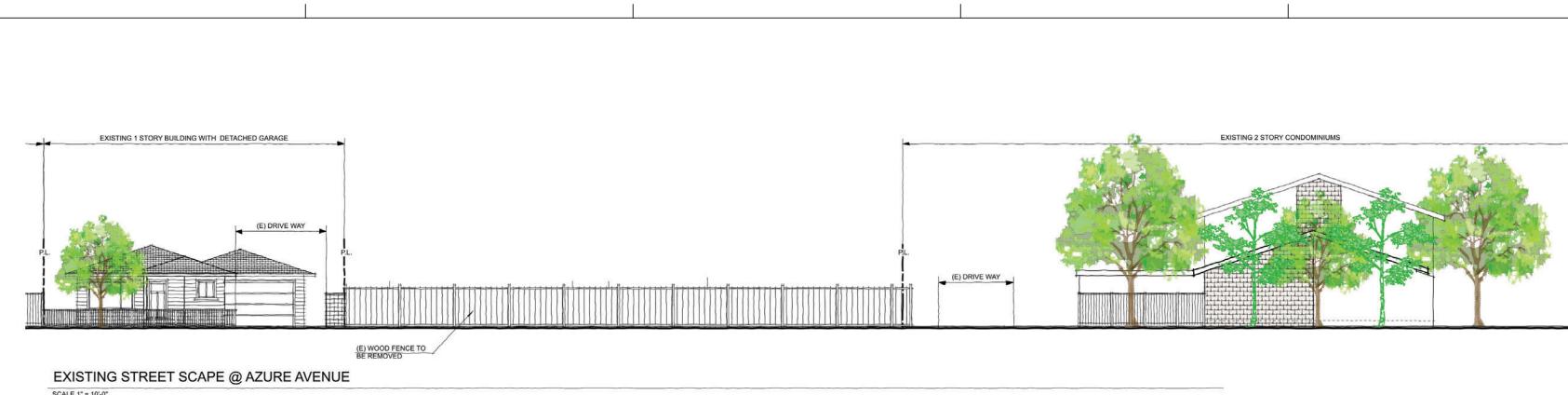
COBRI
WWW.COBRI.COM

DATE: SUBMISSION:
06/23/2023 PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2
05/14/2024 PLANNING PERMIT 3
10/05/2024 PLANNING PERMIT 4



SCALE: 1/8" = 1'-0"
JOB NO. 219418
DRAWING: HOUSE TYPE B

A3



AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM

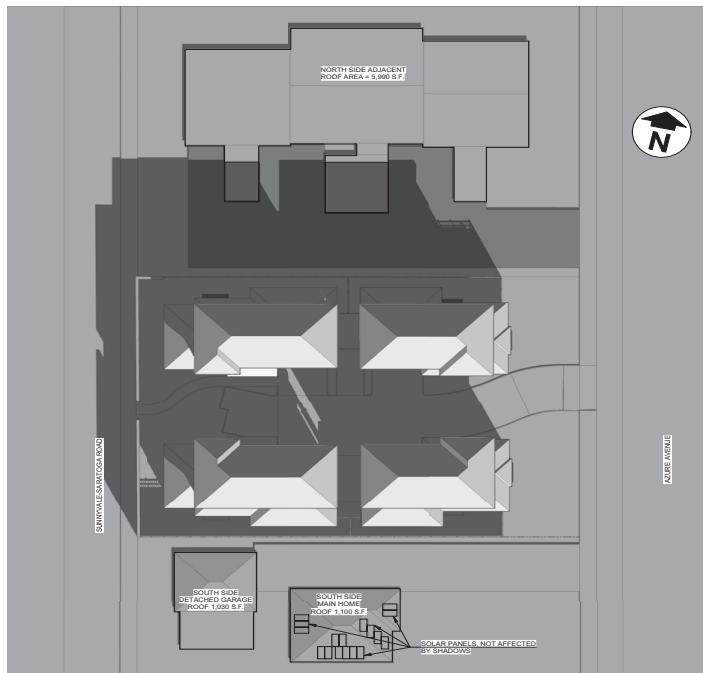


DATE: SUBMISSION:
06/23/2023 PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2
05/30/2024 PLANNING PERMIT 3
10/09/2024 PLANNING PERMIT 4



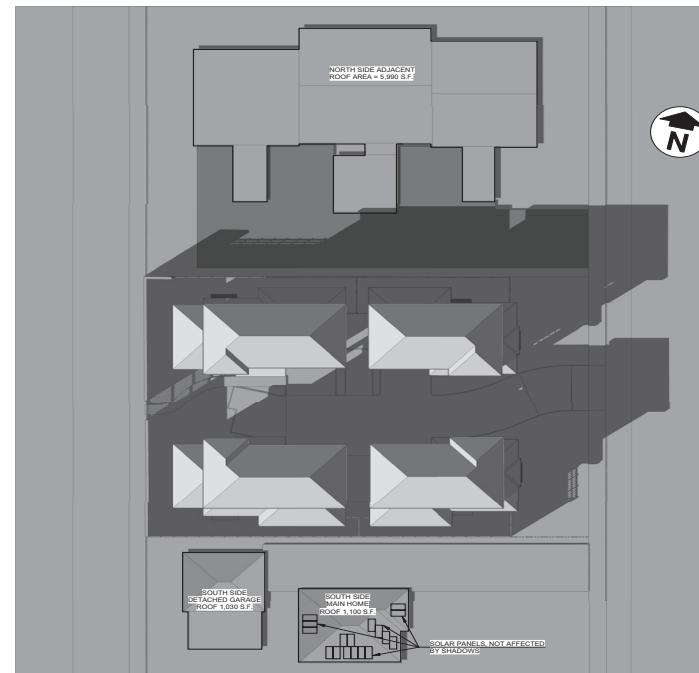
AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

COBRI
WWW.COBRI.COM



DECEMBER 21 - 9:00 A.M.

SHADOW COVERAGE
ADJACENT SOUTH SIDE ROOF = 0%
ADJACENT NORTH SIDE ROOF = 10% (610 S.F.)



DECEMBER 21 - 3:00 P.M.

SHADOW COVERAGE
ADJACENT SOUTH SIDE ROOF = 0%
ADJACENT NORTH SIDE ROOF = >1% (20 S.F.)

DATE: SUBMISSION:
06/23/2023 PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2



SCALE:
JOB NO. 219418

DRAWING:
SOLAR STUDY

A5

AZURE
DEVELOPMENT
SUNNY VALE AZURE RESIDENCE

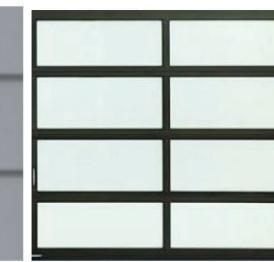
COBRI
WWW.COBRI.COM



ENTRY DOOR



EXTERIOR SIDING TEXTURE



GLASS GARAGE DOOR



FIBERGLASS WINDOW



PRESIDENTIAL TL ROOF

DATE: SUBMISSION:
06/23/2023 PLANNING PERMIT
02/14/2024 PLANNING PERMIT 2
05/31/2024 PLANNING PERMIT 3
10/09/2024 PLANNING PERMIT 4

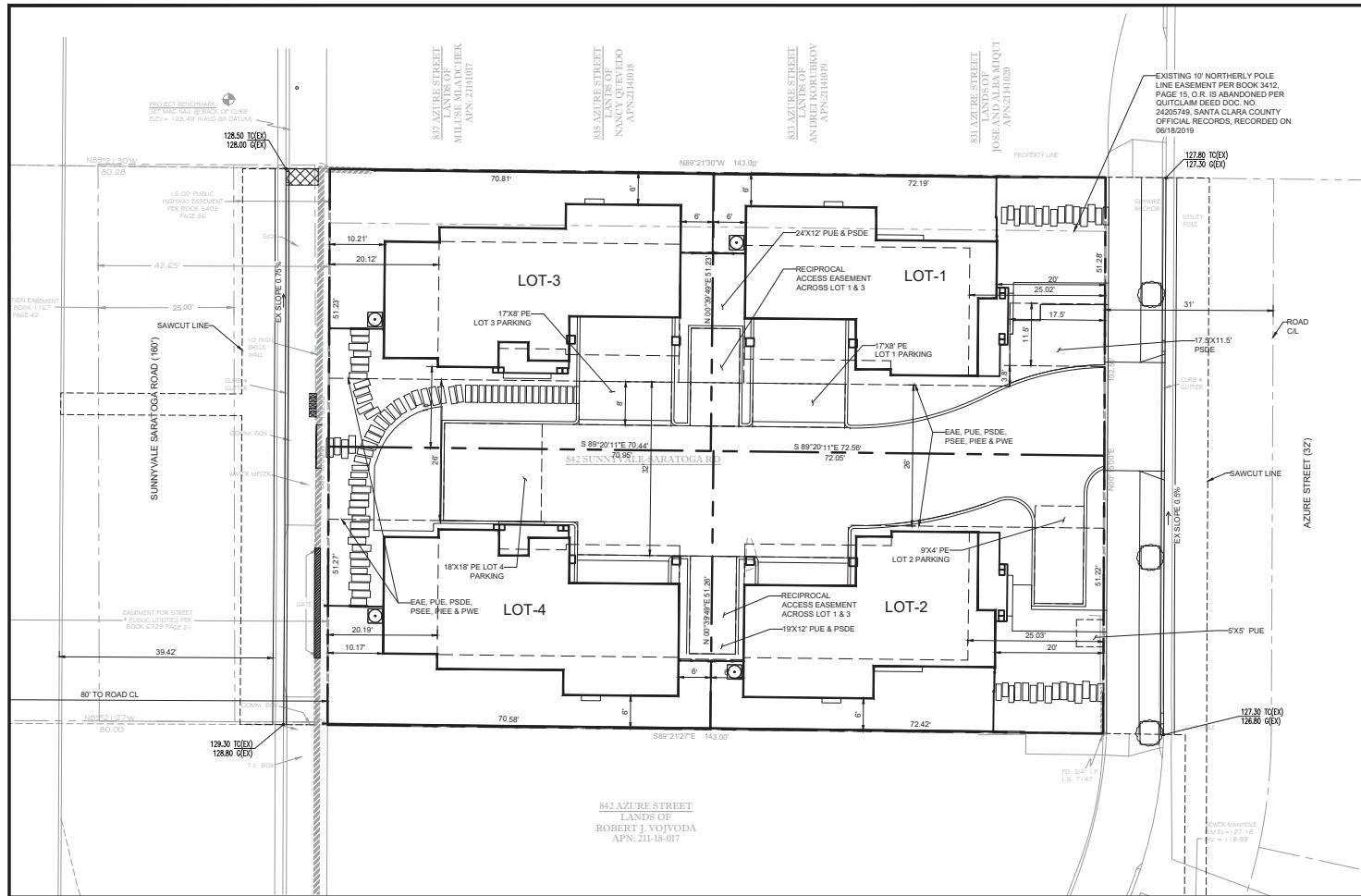


SCALE: _____
JOB NO. 219418

DRAWING:
COLOR & MATERIALS

A9

(See Corrected Attachment 5, posted 20250807)



Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN "NEW" CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-M-36 AND IS TAKEN TO BE N 00° 02' 26" W.

SITE BENCHMARK:

ELEVATIONS ARE ON CITY OF SUNNYVALE. PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75, BENCHMARK ELEVATION = 128.77' (NAVD 88) DATUM.

LEGEND/ABBREVIATIONS:

PROPOSED PROPERTY/LOT LINES

----- EASEMENT LINES

EXISTING TREES TO BE REMOVED

EXISTING TREES TO BE REMOVED

PIEE PRIVATE INGRESS EGRESS EASEMENT

PSDE PRIVATE STORM DRAINAGE EASEME

PE PRIVATE PARKING EASEMENT

PSSE PRIVATE SANITARY SEWER EASEMENT

PWE PRIVATE WATER EASEMENT

PROPOSED LOT AREA TABLE

PROPOSED UNITS	SQ. FT.	ACRES
LOT 1 (UNIT 1)	3,709	0.085
LOT 2 (UNIT 2)	3,702	0.085
LOT 3 (UNIT 3)	3,618	0.083
LOT 4 (UNIT 4)	3,628	0.083
TOTAL LOTS (SUBDIVISION BOUNDARY)	14,657	0.336

SHEET INDEX

- TM-1 TENTATIVE PARCEL MAP
 - TM-2 TENTATIVE MAP-ROAD SECTION
 - TM-3 TENTATIVE MAP-SITE PLAN
 - TM-4 TENTATIVE MAP-GRADING PLAN
 - TM-5 TENTATIVE MAP-UTILITY PLAN
 - TM-6 TENTATIVE MAP-STORM MANAGEMENT PLAN

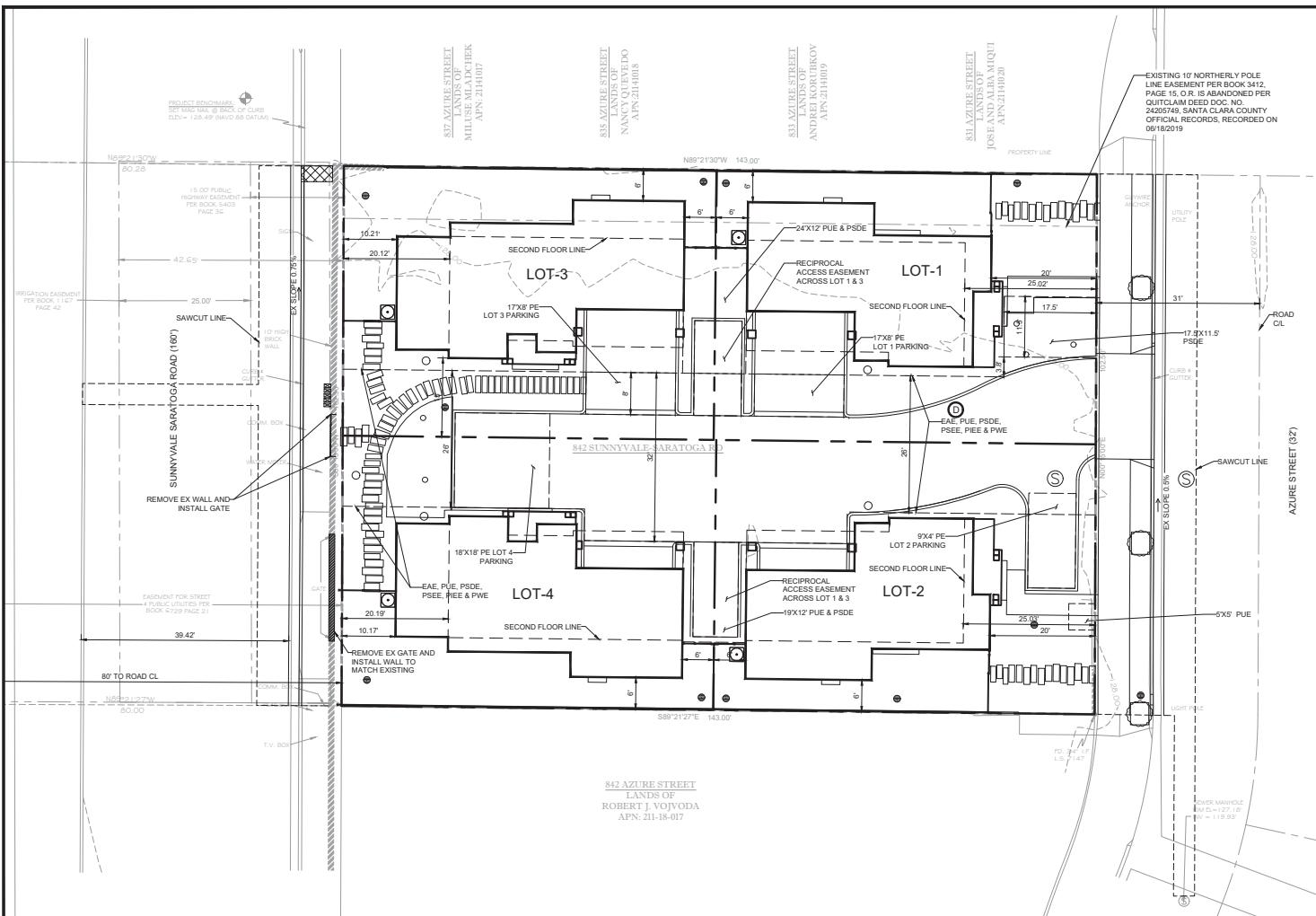
TENTATIVE MAP

AZURE GARDENS SUBDIVISION
4 SINGLE FAMILY HOMES
4 LOT SUBDIVISION
842 SUNNYVALE-SARATOGA RD
SUNNYVALE CA 94087

AZURE GARDENS SUBDIVISION

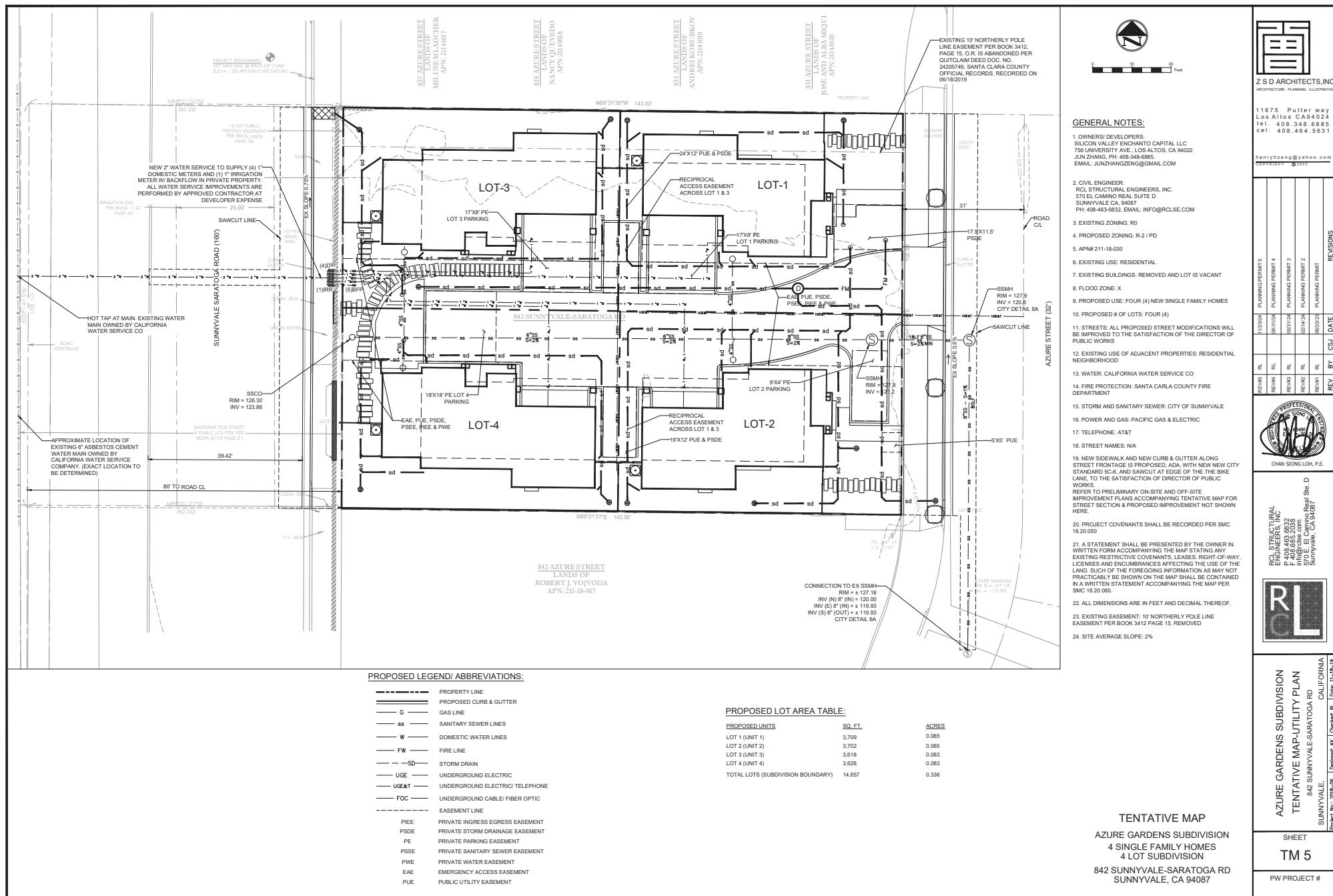
SH
T

PW PR

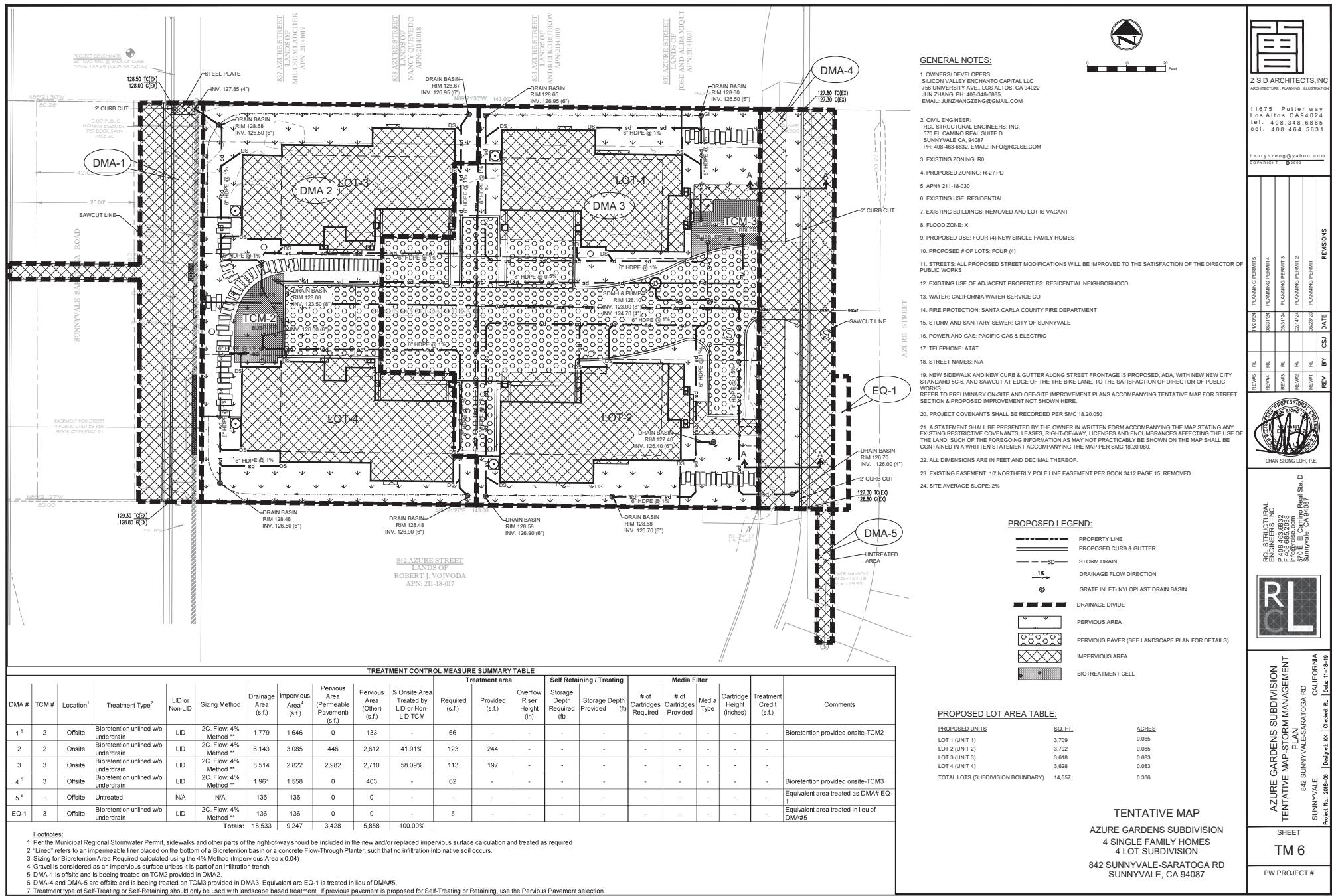


(See Corrected Attachment 5, posted 20250807)

Attachment 5
Page 17 of 34



(See Corrected Attachment 5, posted 20250807)



OFF-SITE IMPROVEMENT PLANS

AZURE GARDENS SUBDIVISION

842 SUNNYVALE SARATOGA RD.

CITY OF SUNNYVALE, CALIFORNIA



11675 PINEY WAY
LOS ANGELES CA 90024
tel. 408.348.6885
cel. 408.464.5631

henryhzeng@yahoo.com

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NOTES:

1. RE-USE OF EXISTING CITY WATER SERVICE IS NOT ALLOWED AND MUST BE ABANDONED IN PLACE. RE-USE OF EXISTING CITY SANITARY SEWER AND STORM DRAIN SERVICE LINES IS SUBJECT TO CITY'S REVIEW AND APPROVAL.
2. SEPARATE DOMESTIC IRRIGATION AND FIRE SERVICES SHALL BE PROVIDED TO THE PROPERTY. ALL IRRIGATION AND IRRIGATION SYSTEMS, LOCATED IN THE PUBLIC PARK-STRIP, SHALL BE CONNECTED TO THE WATER SYSTEM METERED TO THE PROPERTY OWNER.
3. INSTALL AN APPROVED BACKFLOW PREVENTION DEVICE IN THE DISCHARGE SIDE (BELOW PUBLIC RIGHT-OF-WAY) OF THE DOMESTIC WATER LINE AND STORM DRAIN LINE.
4. INSTALL NEW SANITARY SEWER AND STORM DRAIN MANHOLES AT THE STREET RIGHT-OF-WAY LINES FOR ALL PROPOSED SANITARY SEWER LATERALS AND PROPOSED STORM DRAIN LINES. A BURROWING BIO-RETENTION IS PROPOSED.
5. ALL SANITARY SEWER LATERALS CONNECTING TO THE EXISTING MAIN LINE SHALL BE AT A NEW SANITARY SEWER MANHOLE. ALL SANITARY DRAINS CONNECTING TO THE MAIN SHALL BE AT A NEW STORM DRAIN MANHOLE.
6. ANY PROPOSED BIO-RETENTIONS SHOULD REMAIN OUT OF THE PUBLIC RIGHT-OF-WAY. PROPOSED BIO-RETENTIONS AND PROPOSED BIO-RETENTIONS SHOULD BE LOCATED AWAY FROM AND NOT ADVERSELY IMPACT MAINTENANCE OF CITY STORM OR SANITARY SEWER PIPELINES.
7. ALL EXISTING UTILITY LINES (CITY OR PRIVATE) AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THIS PROJECT, SHALL BE CAPEDED, ABANDONED, AND RELOCATED AS REQUIRED AND AS SPECIFIED.
8. NO PRIVATE UTILITIES, STRUCTURES AND BUILDINGS CAN BE WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS.
9. ALL PUBLIC UTILITIES, STRUCTURES AND BUILDINGS ON THIS PROPERTY MUST BE ABANDONED. NEW PUBLIC WATER METERS WILL BE INSTALLED IN SIDEWALKS OUTSIDE OF THE PRIVATE PROPERTY. ANY PUBLIC SS OR SD PIPES AND ACCORDINGLY, ANY PUBLIC OWNERSHIP OF THESE MUST EITHER BE ABANDONED OR PRIVATIZED.
10. "THE PERPETUAL MAINTENANCE OF THE SIDEWALK, IMPROVEMENTS, AND OTHER PROPERTY OWNERS ON AZURE STREET AND SUNNYVALE SARATOGA RD SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER."

REV/S	11/10/2003	PLANNING PERMIT 5
REV/S	06/01/04	PLANNING PERMIT 4
REV/S	06/31/04	PLANNING PERMIT 3
REV/S	07/01/04	PLANNING PERMIT 2
REV/S	06/03/03	PLANNING PERMIT



CHAN SONG LOH, P.E.

SHEET INDEX:

- OI-1 COVER SHEET
OI-2 PRELIMINARY IMPROVEMENT PLAN
OI-3 PRELIMINARY UTILITY PLAN

Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN NEW* CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-41-36 AND IS TAKEN TO BE IN 90°07'25" W.

SITE BENCHMARK:

ELEVATIONS ARE ON CITY OF SUNNYVALE. PROJECT BENCHMARK IS CITY OF SUNNYVALE BENCHMARK #75, BENCHMARK ELEVATION = 128.77 (NAVD 88) DATUM.

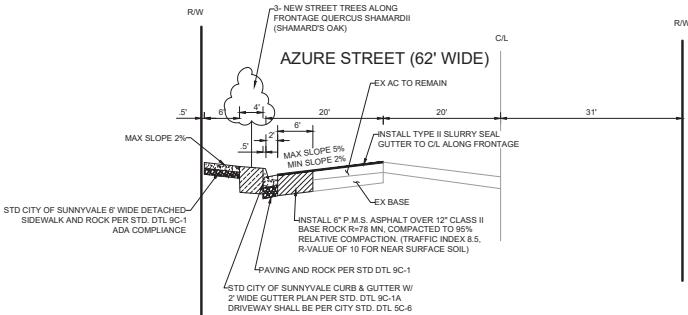


AZURE GARDENS SUBDIVISION	
COVER SHEET	
842 SUNNYVALE-SARATOGA RD	SUNNYVALE, CALIFORNIA

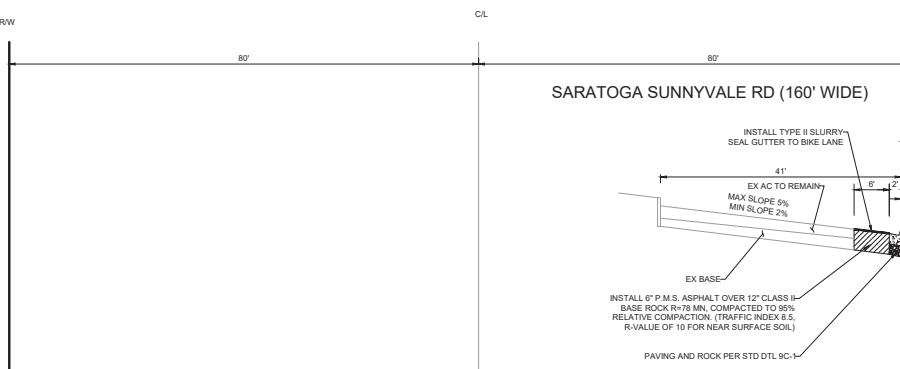
SHEET OI-1	
Project No. 2003-06	Design: EK Grade: RL Date: 11-15-19

ABBREVIATION:	
AC	Asphalt Concrete
ROW	Right of Way
FL	Flow Line
D/W	Driveway
EX	Existing
S	South
E	East
W	West
TC	Top of Curb
RCP	Reinforced Concrete Pipe
CI	Cast Iron
VCP	Vitrified Clay Pipe
DIP	Ductile Iron Pipe
CL	Class
GM	Gas Meter
HB	Hose Bib
MB	Mailbox

LEGEND:	
EXISTING	(Symbol Size May Vary)
PROPOSED	
Property Boundary/Lot Line	-----
Curb & Gutter	=====
Curb	=====
Storm Drain	-----
Gas	-----
<SAN>	-----
Sanitary Sewer Lines	-----
Water Main Line	-----
Overhead Electrical Line	-----
Underground Electric/ Telephone	-----
Underground Electric	-----
Underground Cable / Fiber Optic	-----
Domestic Water Service Line	-----
Fire Line	-----
Swale	-----
Proposed Type II Slurry
Proposed concrete sidewalk/pvmt.
Grate Drain (Nyleplot)	○
Sanitary Sewer cleanout	○
Sanitary Sewer Manhole	○
Spot Elevation	↑ 112.00
Storm Drain Manhole	○
Tree Trunk / Size	○ 12"
Utility Pole	○
Water Valve	○
Fire Hydrant	○

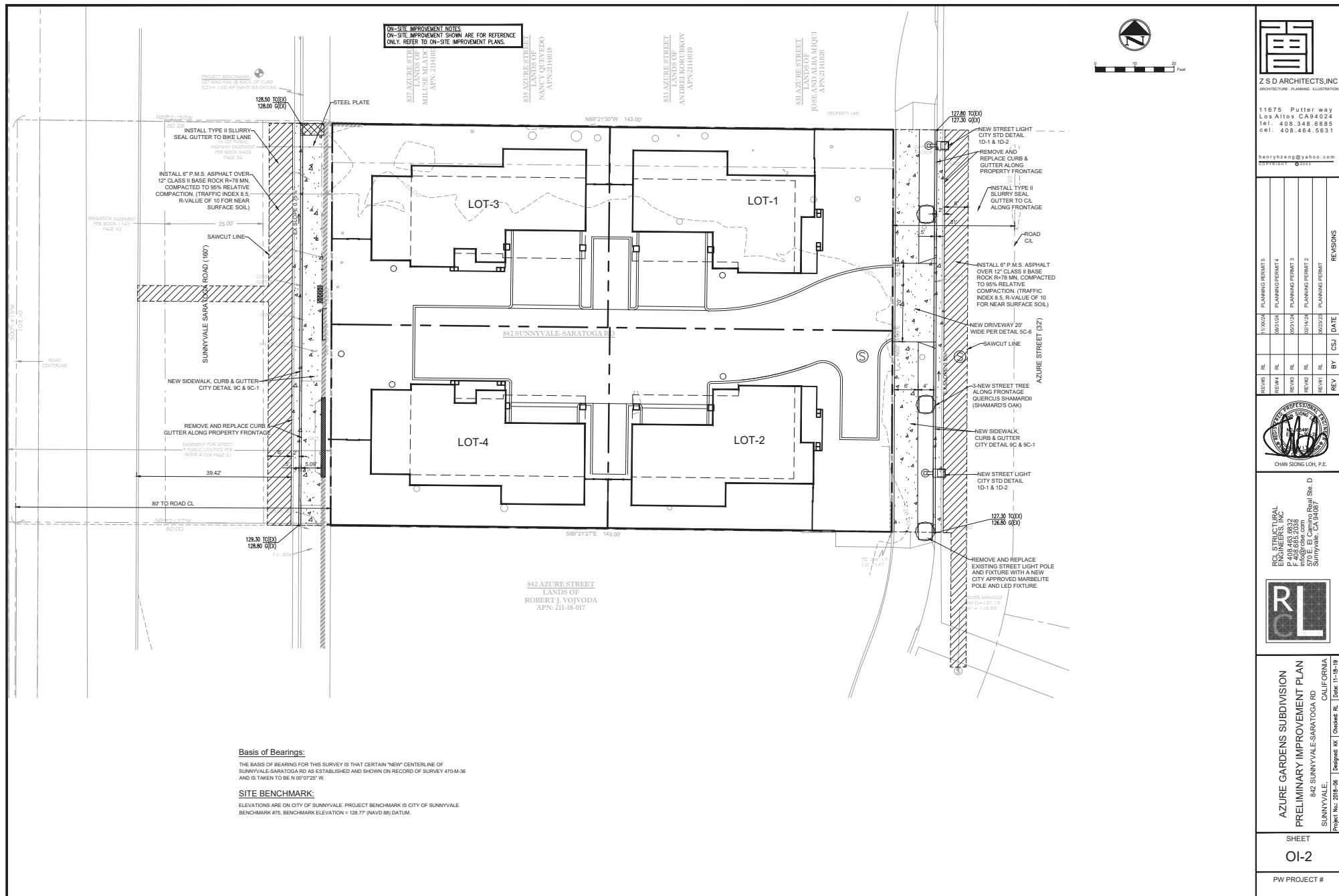


TYPICAL AZURE ST. SECTION
(N.T.S.)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S.)

(See Corrected Attachment 5, posted 20250807)



OFF-SITE IMPROVEMENT PLANS

AZURE GARDENS SUBDIVISION

842 SUNNYVALE SARATOGA RD.

CITY OF SUNNYVALE, CALIFORNIA



11675 PCHER WAY
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631

henryhzeng@yahoo.com

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NOTES:

1. RE-USE OF EXISTING CITY WATER SERVICE IS NOT ALLOWED AND MUST BE ABANDONED IN PLACE. RE-USE OF EXISTING CITY SANITARY SEWER AND STORM DRAIN SERVICE LINES IS SUBJECT TO CITY'S REVIEW AND APPROVAL.
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REVIS	11/1/2024	PLANNING PERMIT 5
REVW	06/31/2024	PLANNING PERMIT 4
REVW	06/31/2024	PLANNING PERMIT 3
REVW	06/30/2024	PLANNING PERMIT 2
REVW	06/30/2024	PLANNING PERMIT
REV		REVISIONS



CHAN SONG LOH, P.E.

SHEET INDEX:

- OI-1 COVER SHEET
OI-2 PRELIMINARY IMPROVEMENT PLAN
OI-3 PRELIMINARY UTILITY PLAN

Basis of Bearings:

THE BASIS OF BEARING FOR THIS SURVEY IS THAT CERTAIN NEW* CENTERLINE OF SUNNYVALE-SARATOGA RD AS ESTABLISHED AND SHOWN ON RECORD OF SURVEY 470-41-36 AND IS TAKEN TO BE IN 90°07'25" W.

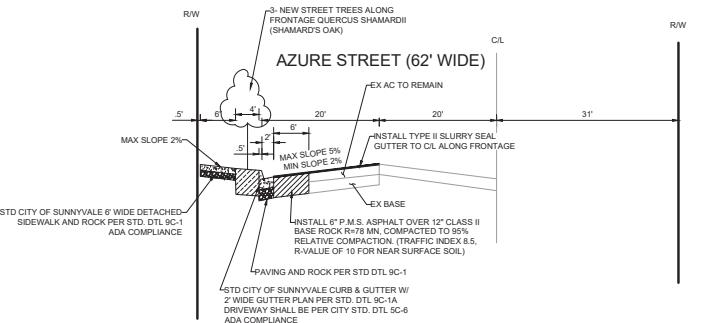
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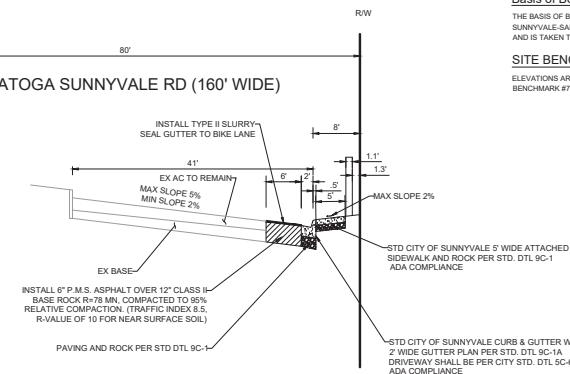


AZURE GARDENS SUBDIVISION	
COVER SHEET	
842 SUNNYVALE-SARATOGA RD	SUNNYVALE
Project No. 2018-06 Design: EK Grade: RL Date: 11-15-19	PW PROJECT # DP-19-19

TYPICAL AZURE ST. SECTION
(N.T.S)



TYPICAL SARATOGA SUNNYVALE RD. SECTION
(N.T.S)



ABBREVIATION:	
AC	Asphalt Concrete
ROW	Right of Way
FL	Flow Line
D/W	Driveway
EX	Existing
S	South
E	East
W	West
TC	Top of Curb
RCP	Reinforced Concrete Pipe
CI	Cast Iron
VCP	Vitrified Clay Pipe
DIP	Ductile Iron Pipe
CL	Class
GM	Gas Meter
HB	Hose Bib
MB	Mailbox

EXISTING	(Symbol Size May Vary)	PROPOSED
Property Boundary/Lot Line	-----	-----
Curb & Gutter	=====	=====
Storm Drain	-----	SD
G	Gas	G
<SAN>	Sanitary Sewer Lines	ss
W	Water Main Line	W
Overhead	Electrical Line	
Underground Electric/ Telephone	ueat	
Underground Electric	ue	
Underground Cable / Fiber Optic	roc	
Domestic Water Service Line	D	
Fire Line	fi	
Swale		
Proposed Type II Slurry	
Proposed concrete sidewalk/pvmt.	
Grate Drain (Nyleplot)	◎	
SS	Sanitary Sewer cleanout	○
④	Sanitary Sewer Manhole	
109.65	Spot Elevation	112.00
④	Storm Drain Manhole	
12*	Tree Trunk / Size	
Utility Pole		
Water Valve		
Fire Hydrant		

PRELIMINARY GRADING AND DRAINAGE PLAN

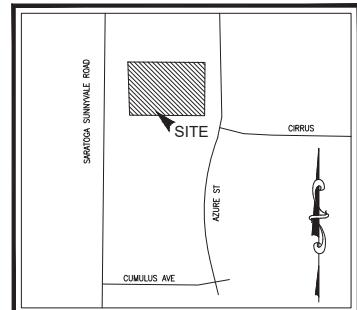
AZURE GARDENS SUBDIVISION

842 SUNNYVALE SARATOGA RD.

CITY OF SUNNYVALE, CALIFORNIA

ABBREVIATION:

AC	Asphalt Concrete	TC	Top of Curb
ROW	Right of Way	RCP	Reinforced Concrete Pipe
FL	Flow Line	CI	Cast Iron
D/W	Driveway	VCP	Vitrified Clay Pipe
EX	Existing	DIP	Ductile Iron Pipe
S	South	CL	Cross
E	East	GM	Gas Meter
W	West	HB	Hose Bib
MB	Mailbox		



VICINITY MAP
N.T.S.

LEGEND:		
EXISTING	(Symbol Size May Vary)	PROPOSED
Property Boundary/Lot Line	-----	PLANNING PERMIT 5
Curb & Gutter	=====	PLANNING PERMIT 4
Curb	=====	PLANNING PERMIT 3
Storm Drain	-----	PLANNING PERMIT 2
Gas	G	PLANNING PERMIT
Sanitary Sewer Lines	ss	
Domestic Water Lines	1" "	
Underground Electric And Telephone	UE&T	
Underground Electric	UE	
Underground Cable/ Fiber Optic	roc	
Fire Line	FW	
Swale	-----	
Proposed concrete sidewalk (Per draft plans)		
Grate Drain (Nyoplast)		
Sanitary Sewer cleanout	○	

11675 PINEHUR WAY LOS ALTOS CA 94024 tel. 408.348.6885 cel. 408.464.5631		
henryhzeng@yahoo.com		
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11/20/24	11/20/24	PLANNING PERMIT 5
REV/R	REV/R	REV/R
03/01/24	03/01/24	PLANNING PERMIT 4
REV/R	REV/R	REV/R
03/01/24	03/01/24	PLANNING PERMIT 3
REV/R	REV/R	REV/R
03/01/24	03/01/24	PLANNING PERMIT 2
REV/R	REV/R	REV/R
03/03/23	03/03/23	PLANNING PERMIT
REV	REV	REV
CS	DATE	REVISIONS
CHAN SONG LOH, P.E.		

SHEET INDEX:

- C1 COVER SHEET
- C2 PRELIMINARY GRADING & DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 STORM WATER MANAGEMENT PLAN
- C5 STORMWATER PERVERIOUS PAVEMENT DETAIL
- C6 STORMWATER - EXISTING PERVERIOUS/IMPERVIOUS
- C7 STORMWATER - PROPOSED PERVERIOUS/IMPERVIOUS

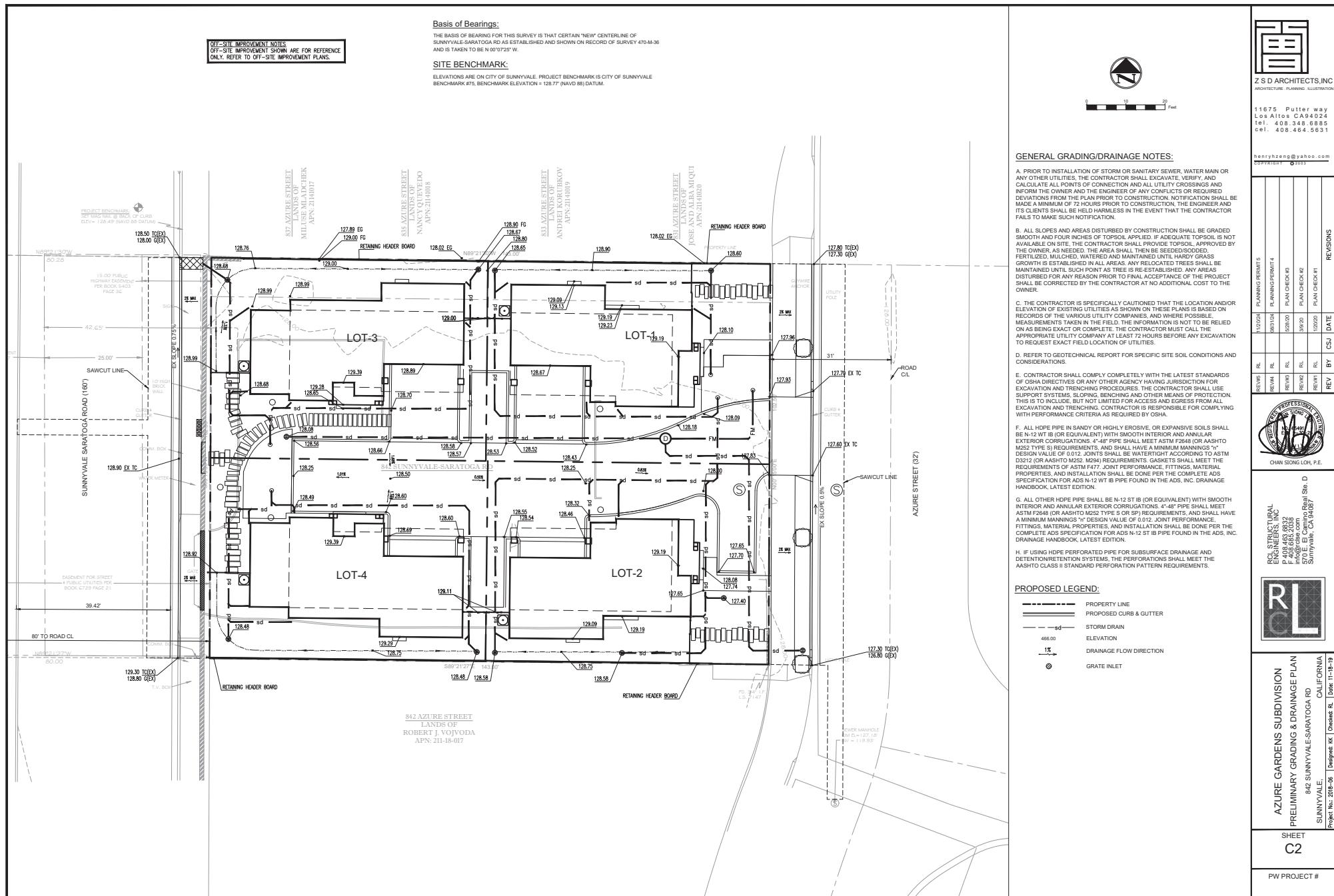


AZURE GARDENS SUBDIVISION
COVER SHEET
842 SUNNYVALE-SARATOGA RD
SUNNYVALE
Project No. 2018-06 | Design: EK | Grade: RL | Date: 11-15-19

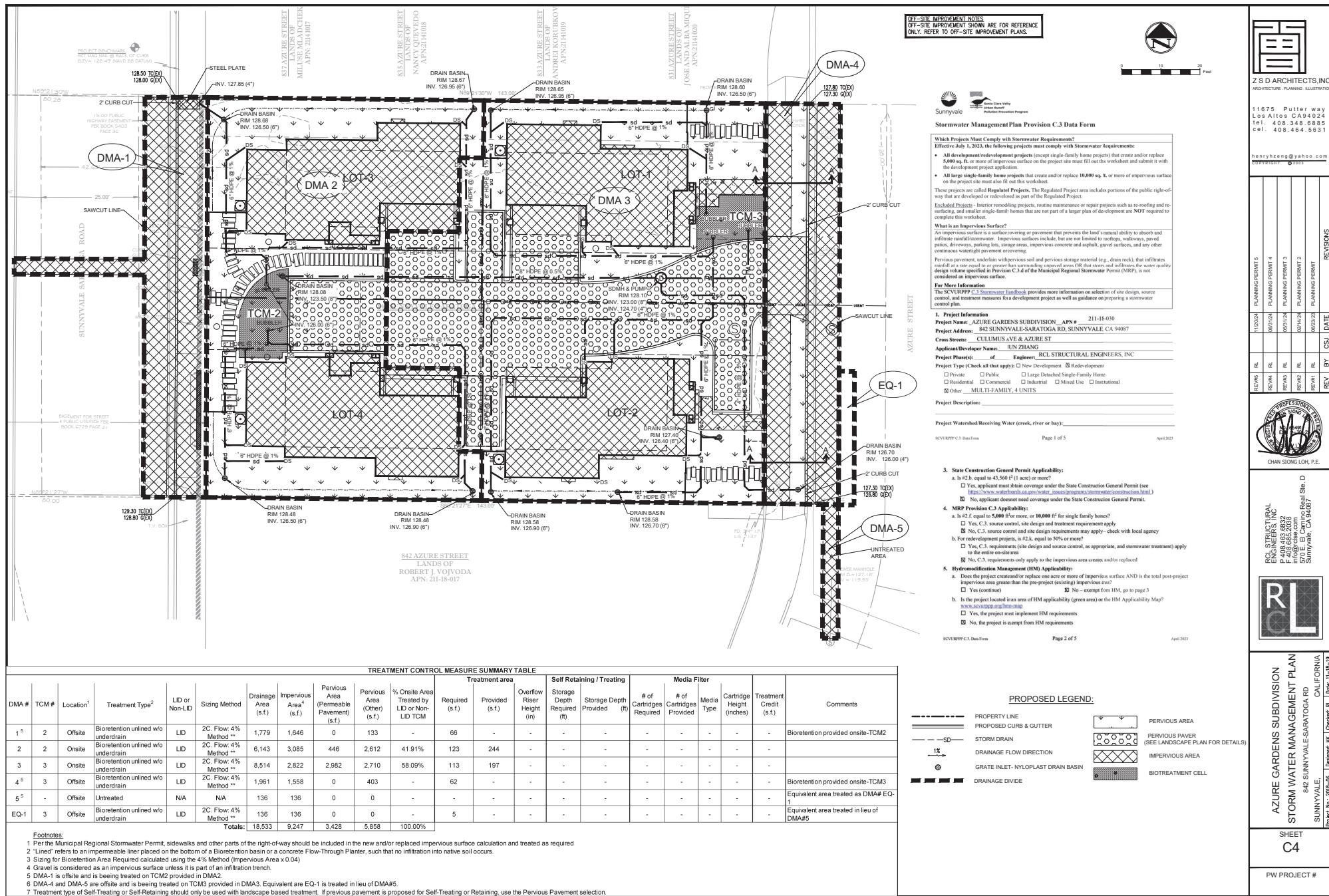
SHEET
C1
PW PROJECT #

PRELIMINARY PLANS
NOT APPROVED FOR CONSTRUCTION

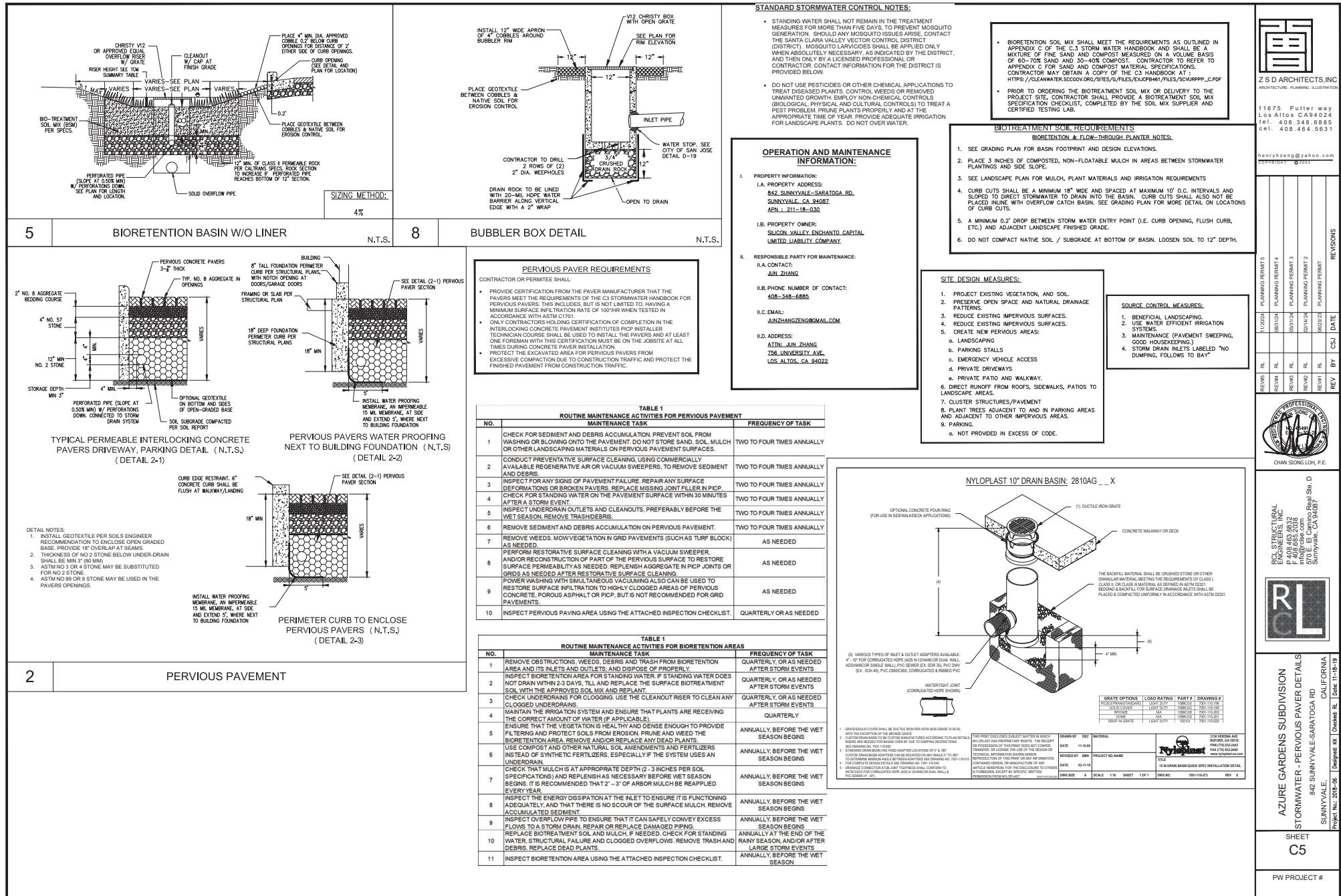
(See Corrected Attachment 5, posted 20250807)

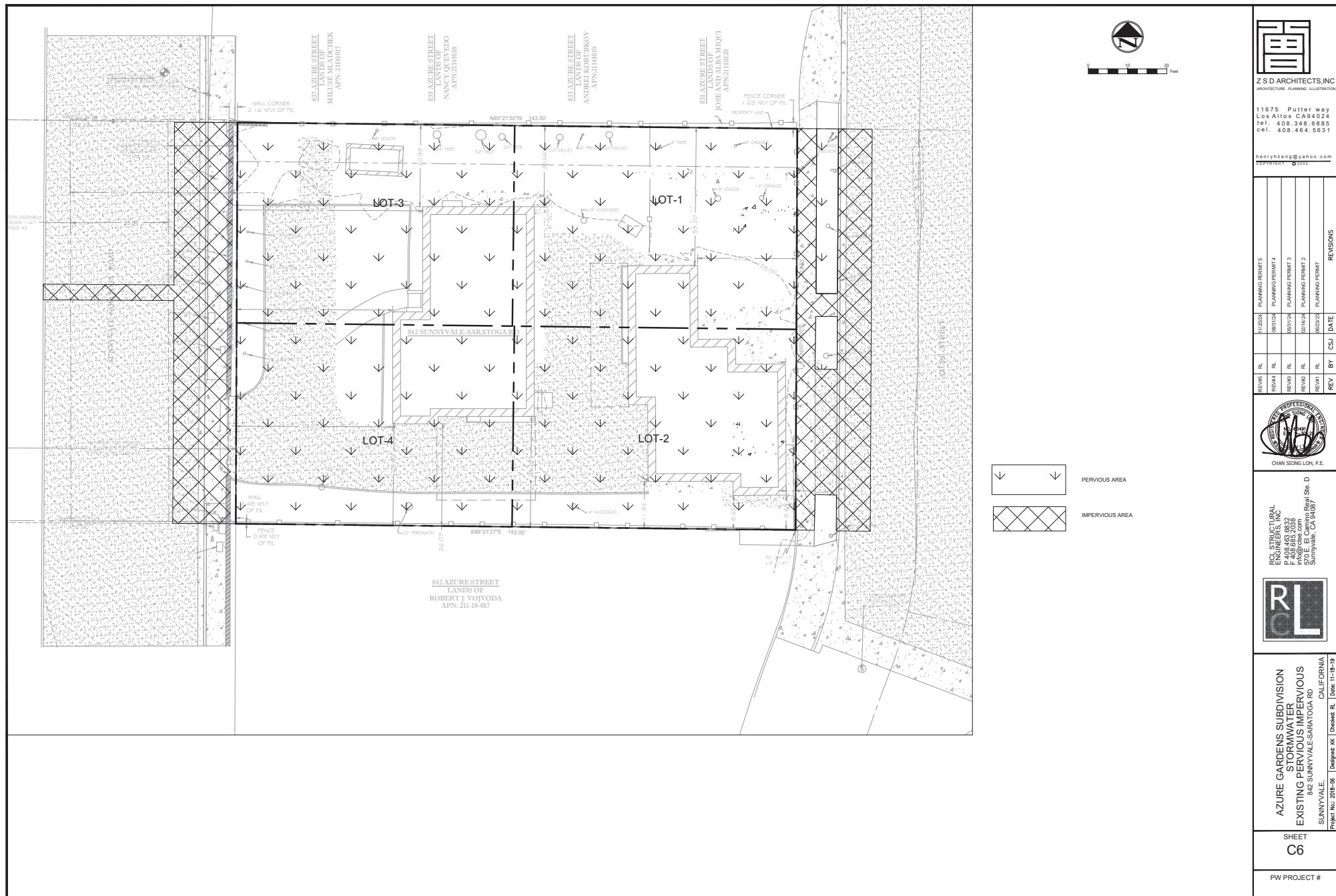


(See Corrected Attachment 5, posted 20250807)

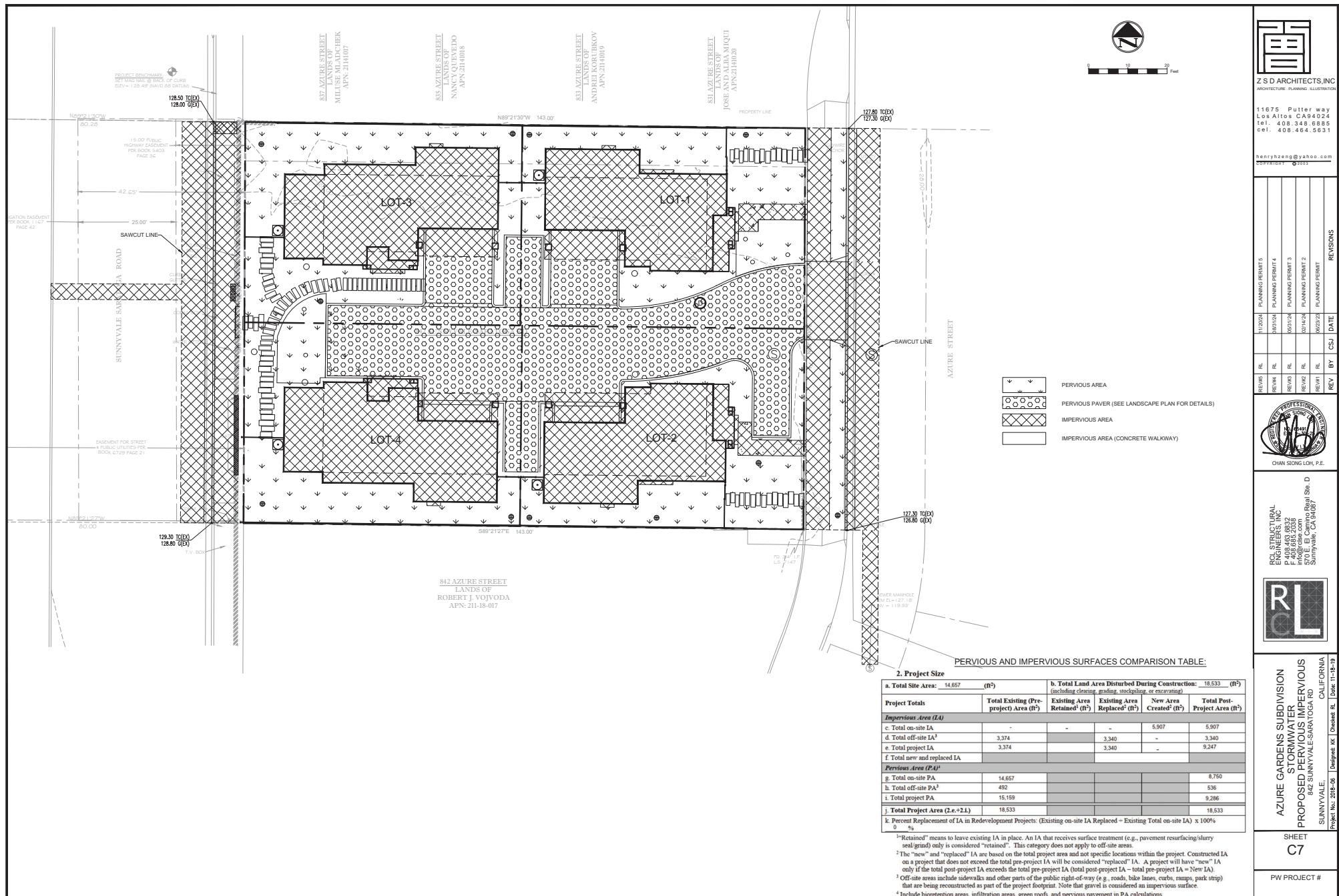


(See Corrected Attachment 5, posted 20250807)





(See Corrected Attachment 5, posted 20250807)



PLANTING NOTES

CONTRACTOR SHALL SUBMIT LABELED PHOTOS OF ALL PLANT MATERIAL, TREES AND GROUNDCOVERS. PHOTOS SHALL BE OF THE SPECIFIED CONTAINER SIZE. PHOTOS SHALL BE SUBMITTED AS A COMPLETE SUBMITTAL PACKAGE FOR REVIEW AND APPROVAL. INCLUDE PHOTOS OF ANY SUBSTITUTES, CLEARLY LABELED.

ALL PLANTED AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY, GROWING CONDITION, SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING, AND TRIMMING, AND SHALL BE KEPT FREE OF WEEDS AND DEBRIS BY THE OWNER OR PERSON IN POSSESSION OF SUCH AREAS. ANY DAMAGED, DEAD OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAYS FROM THE DATE OF DAMAGE.

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

PLANT SCHEDULE ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK, NOTIFY PROJECT LANDSCAPE ARCHITECT OF ANY MAJOR DISCREPANCIES.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL STRUCTURAL AND HARDSCAPE IMPROVEMENTS SHALL BE CONSTRUCTED AND FINISHED AHEAD OF PLANTING.

ADJUST PLANT MATERIAL AS NECESSARY AROUND UTILITY LOCATIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY MAJOR CONFLICTS OR NECESSARY ADJUSTMENTS.

SOILS SHALL BE AMENDED PER A SOILS FERTILITY ANALYSIS AS EXPLAINED IN THE COMPLIANCE WITH MWELD NOTES ON THE IRRIGATION PLAN. SOIL AMENDMENTS AND PREPARATION SHALL CONFORM TO STATE AB1881 AND LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES.

ALL TREES AND PLANTS PROPOSED ARE WUCOLS = LOW

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	ARB TRE	ARBUTUS UNEDO / STRAWBERRY TREE MULTI-TRUNK	24' BOX	1
	ARB MIY	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE	36' BOX	4
	LAG N40	LAGERSTROEMIA INDICA X FAURIEI NATCHEZ / NATCHEZ CRAPHE MYRTLE	15 GAL.	3
	OLE WI2	OLEA EUROPEA 'WILSONII' / WILSON OLIVE	15 GAL.	9
	PLA COL	PLATANUS X ACERIFOLIA 'COLUMBIA' / COLUMBIA LONDON PLANE TREE - MULTI TRUNK	15 GAL.	4
	QUE SHU	QUERCUS SHUMARDII / SHUMARD OAK	15 GAL.	3
	TRI BRI	TRISTANIA CONFERTA / BRISBANE BOX	24' BOX	7
	AR	ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA	1 GAL.	20
	C	CAREX DIVULSA / EUROPEAN GREY SEDGE	1 GAL.	119
	CH	CHONDROPETALUM TECTORUM 'EL CAMPO' / EL CAMPO SMALL CAPE RUSH	5 GAL.	7
	FEI	FEIJOA SELLOWIANA / PINEAPPLE GUAVA	5 GAL.	10
	J	JUNCUS PATENS / CALIFORNIA GRAY RUSH	1 GAL.	7
	O	OLEA EUROPEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL.	30
	SAL	SALVIA LEUCANTHA / MEXICAN BUSH SAGE	1 GAL.	16
	WB	WESTRINGIA FRUTICOSA 'WES03' TM / BLUE GEM COAST ROSEMARY	5 GAL.	33
	GB	WESTRINGIA FRUTICOSA 'WES04' / GREY BOX COAST ROSEMARY	5 GAL.	24

DESIGN KEY

- ① NEW SIDEWALK - PER CIVIL SHEET O1-2 / INSTALLED PER CITY DETAIL 9C+9C-1
- ② PERMEABLE PAVER DRIVEWAY - PER CIVIL SHEET C5 / DIAGRAM 2
PERMEABLE PAVER SYSTEM SHOWN IN BLUE TONE
- ③ LANDSCAPE STEPPERS - PRECAST CONCRETE FROM AIRVOL BLOCK OR EQUAL SET
OVER 4' DEPTH OF COMPACTED DECOMPOSED GRANITE
- ④ BIORETENTION BASIN - PER CIVIL SHEET C5 / DIAGRAM 5
- ⑤ PRIVATE YARD PRIVACY FENCE AND GATE
- ⑥ PROPERTY LINE
- ⑦ PRIVATE YARDS WITH BARK MULCH, TYP
- ⑧ EXISTING TREES TO REMAIN

WES AROLA LANDSCAPE ARCHITECTURE
WESAROLA.COM
831/247-9936

LICENSED LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
1234567890
EXPIRES 2025

AZURE RESIDENCES
842 SUNNYVALE SARATOGA ROAD . SUNNYVALE . CA . 94086
LANDSCAPE PLANS

#	ITEM	DATE
DATE 01.27.2025		

LANDSCAPE PLANTING PLAN

L-1.0

GRAPHIC SCALE
10 0 5 10 20 40
(In Feet)
1 inch = 10 feet

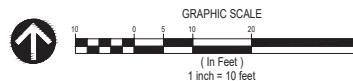


WES AROLA LANDSCAPE ARCHITECTURE

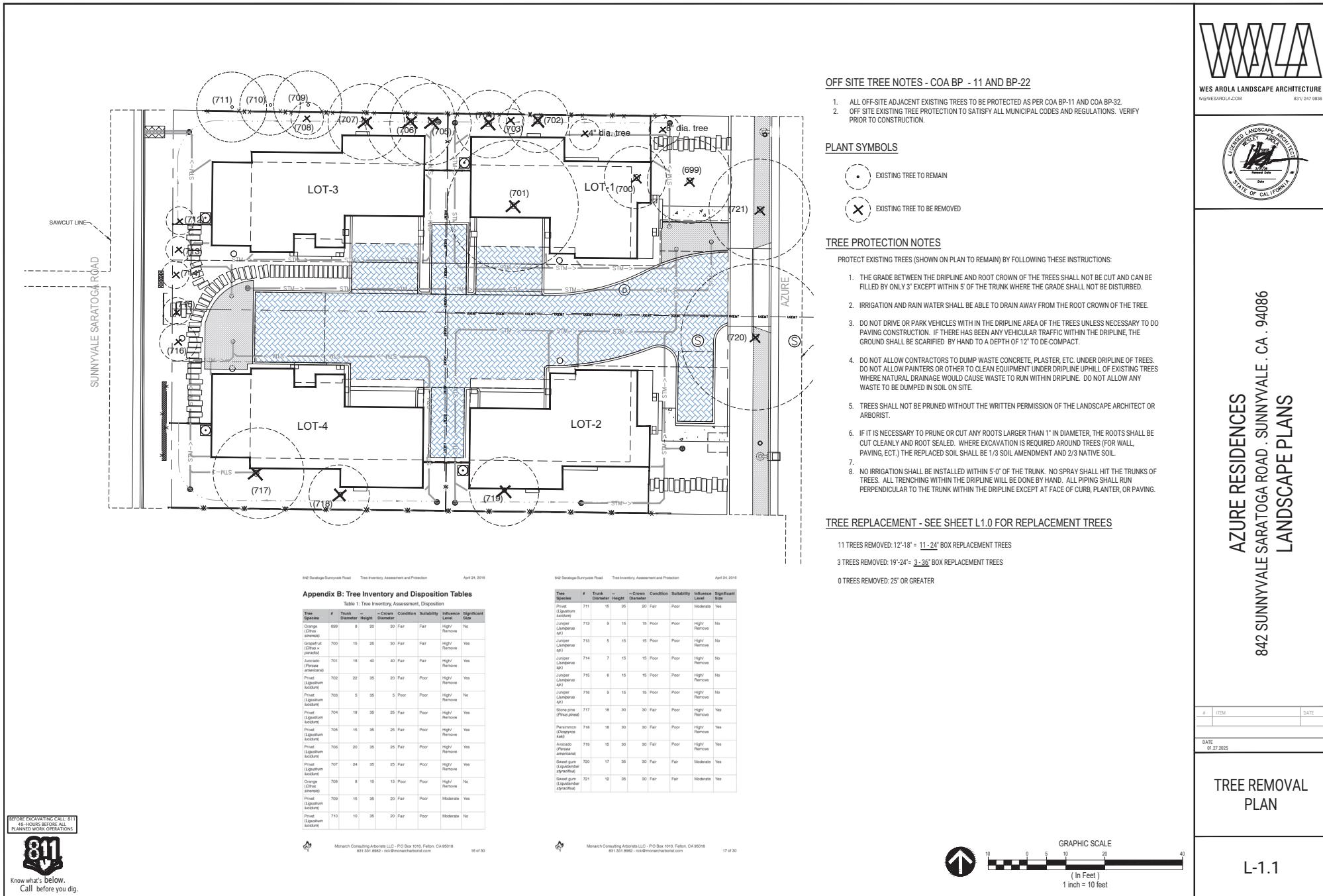


AZURE RESIDENCES
842 SUNNYVALE SARATOGA ROAD . SUNNYVALE . CA . 94086
LANDSCAPE PLANS

TREE REMOVAL PLAN



L-1.1

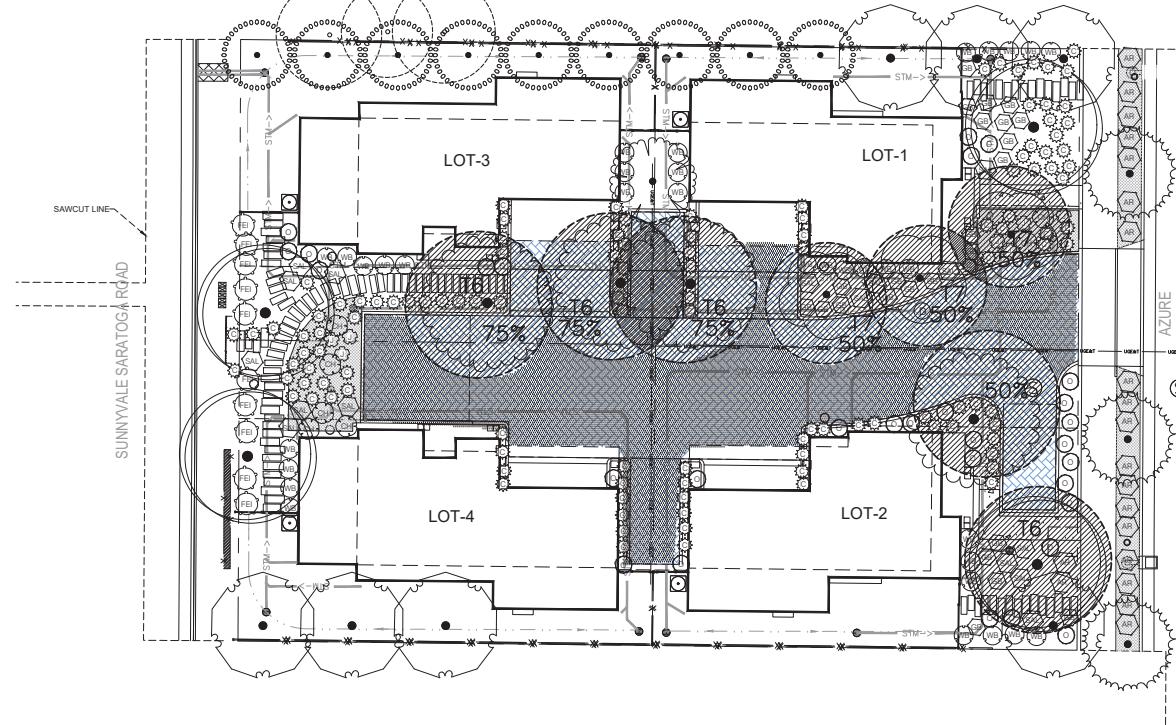




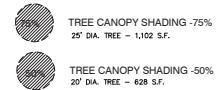
WES AROLA LANDSCAPE ARCHITECTURE
WESAROLA.COM 831/247 9936



AZURE RESIDENCES
842 SUNNYVALE SARATOGA ROAD . SUNNYVALE . CA . 94086
LANDSCAPE PLANS



TREE SHADING LEGEND



TREE CANOPY SHADING -75%
20' DIA. TREE - 1,102 s.f.

TREE CANOPY SHADING -50%
20' DIA. TREE - 628 s.f.

PARKING PAVING AREA

TREE SHADING CALCULATIONS

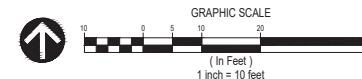
KEY	BOTANICAL NAME	TREE DIAMETER	SHADE, S.F.	100% SHADE/S.F.	75% SHADE/S.F.	50% SHADE/S.F.	25% SHADE/S.F.	TOTAL S.F.
T6	PISTACHIA CHINENSIS (CHINESE PISTACHE)	20' DIA. WITH 400 s.f. FULL SHADE	3 @ 367 s.f.					1,102 s.f.
T7	ARBUTUS MARMARA (STRAWBERRY TREE)	20' DIA. WITH 315 s.f. FULL SHADE		1 @ 157 s.f.				157 s.f.
T7	LAGERSTROEMIA (CREPE MYRTLE)	20' DIA. WITH 315 s.f. FULL SHADE		3 @ 157 s.f.				471 s.f.

TREE CANOPY 1,730 s.f. TOTAL

TREE SHADING COVERAGE

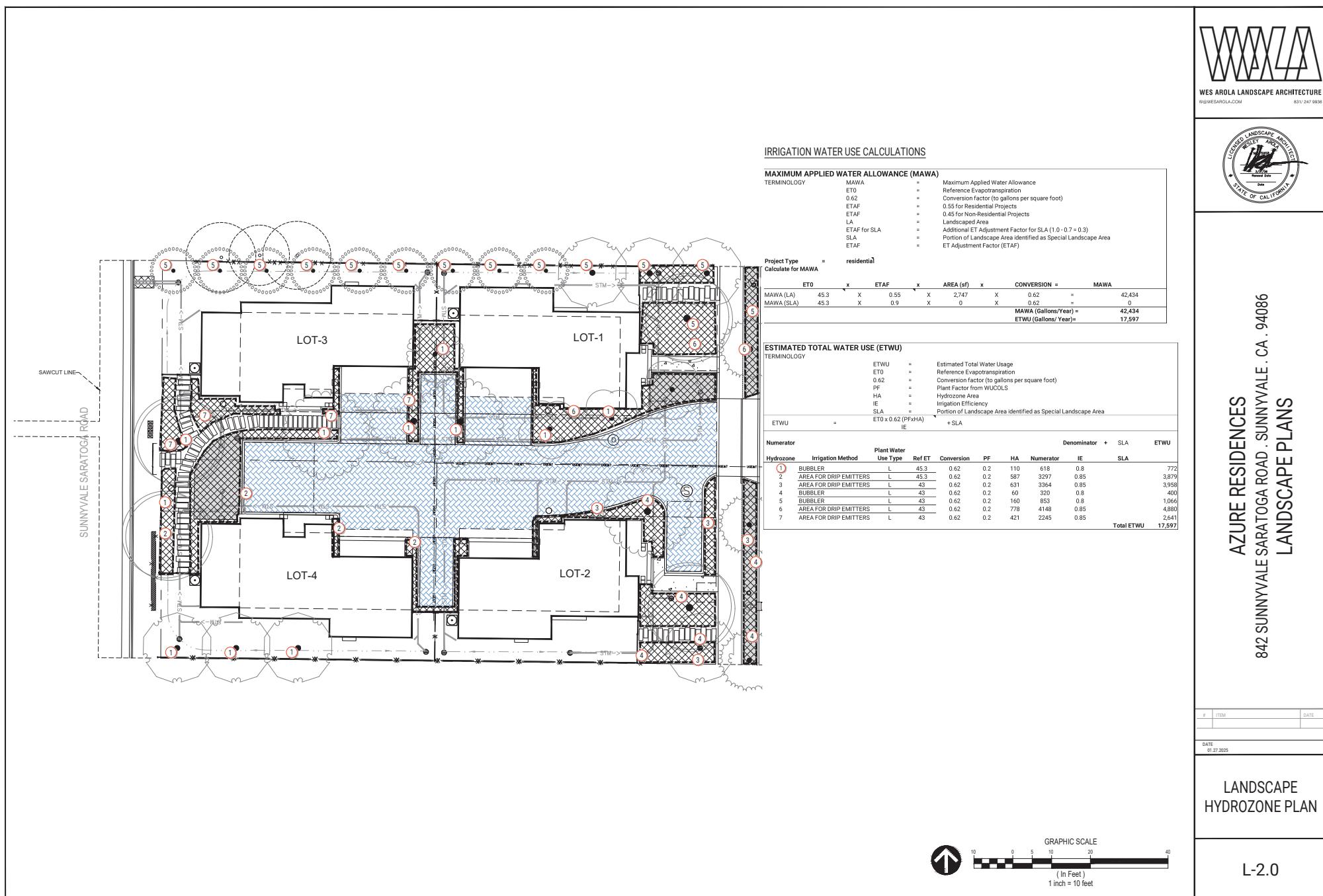
Parking lot square footage	3,216 s.f.
Tree shading square footage	1,730 s.f.

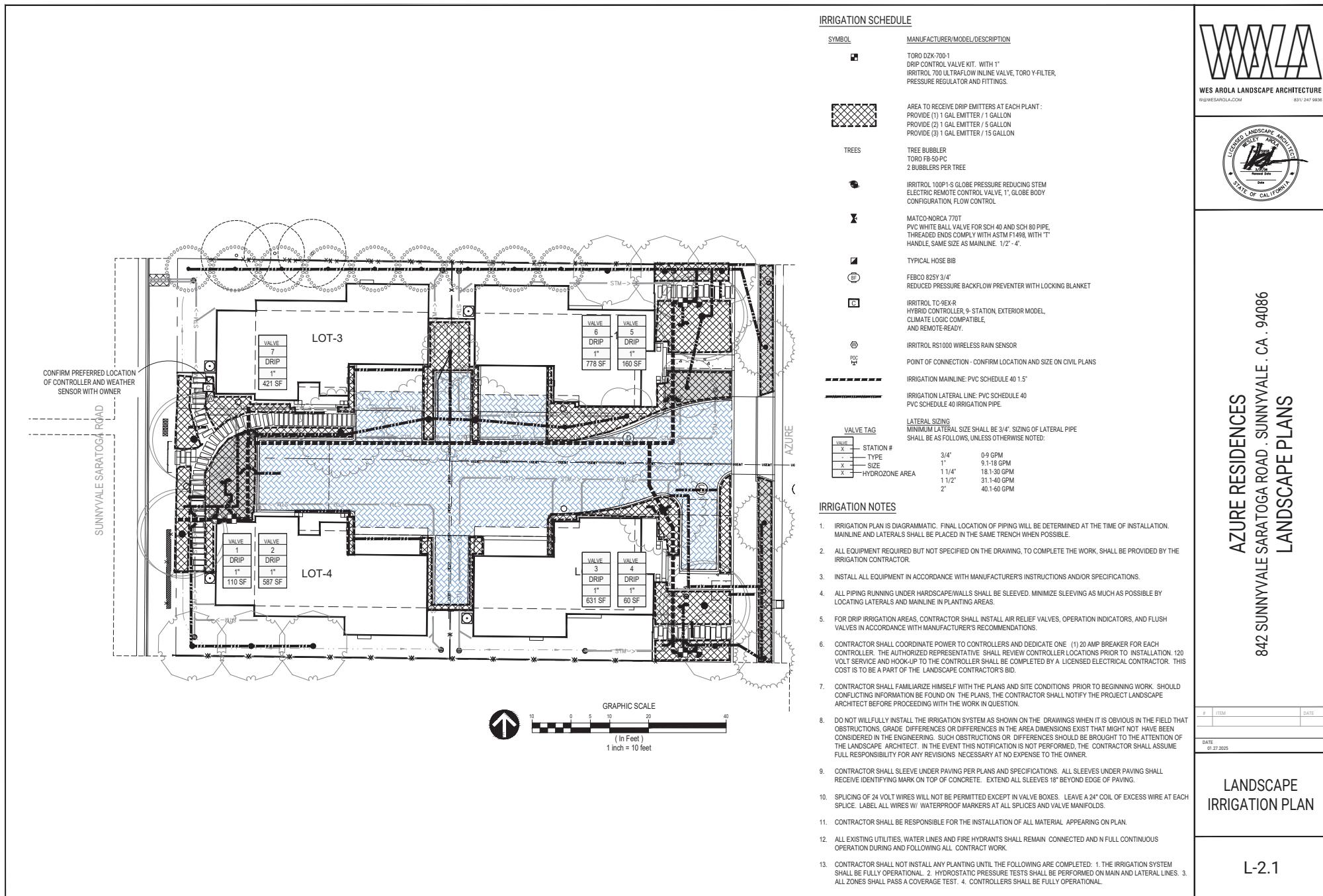
Percentage shading coverage in 15 years 53.8 %



TREE SHADING
PLAN

L-1.2





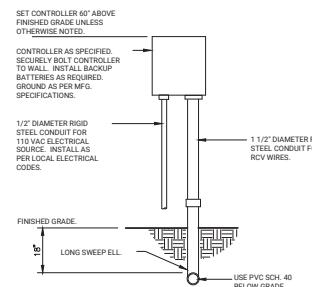


WES AROLA LANDSCAPE ARCHITECTURE
WESAROLA.COM

831/2479936



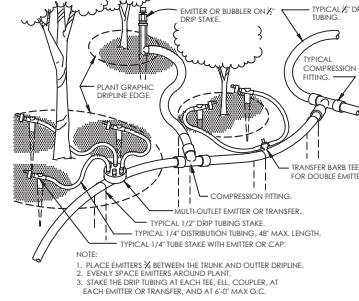
AZURE RESIDENCES
842 SUNNYVALE SARATOGA ROAD . SUNNYVALE . CA . 94086
LANDSCAPE PLANS



③ WALL MOUNT CONTROLLER

EX-IR-FX-CONT-07

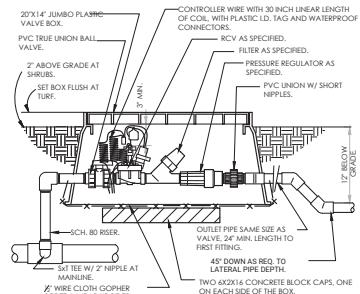
1" = 1'-0"



④ TYPICAL DRIP TUBING

FX-IR-FX-DRIP-01

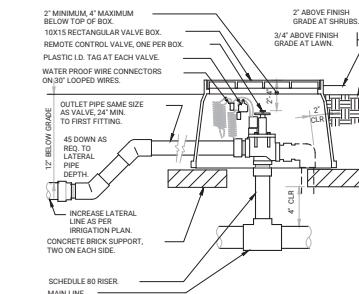
1 1/2" = 1'-0"



② 1" DRIP VALVE/FILTER/REGULATOR

EX-IR-FX-DRIP-12

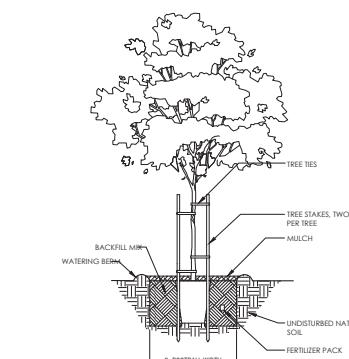
1 1/2" = 1'-0"



⑤ ELECTRIC REMOTE CONTROL VALVE

EX-IR-FX-RCV-05

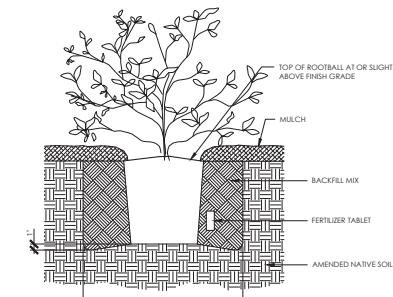
1 1/2" = 1'-0"



① TREE PLANTING

329343-20

1/2" = 1'-0"



⑥ SHRUB PLANTING

329333-03

1 1/2" = 1'-0"

#	ITEM	DATE

DATE

01.27.2025

LANDSCAPE CONSTRUCTION DETAILS

L-3.0