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DESIGNER:
HAOCHING

PROPERTY OWNER:

PROJECT:

TENANT IMPROVEMENT

595 LAWRENCE EXPY
SUNNYVALE, CA 94085
APN #: 205-23-017

REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
2	12/18/22	PLAN CHECK COMMENT 2
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

TITLE SHEET /
EXISTING FLOOR
PLAN/ PROPOSED
FLOOR PLAN

SHEET OF:

TS-1

TENANT IMPROVEMENT

595 LAWRENCE EXPY, SUNNYVALE, CA 94085

PROJECT TEAM		DRAWING INDEX		SYMBOL		TABULATION		VICINITY MAP																																																																					
CLIENT: HIDDEN MODE 335 S PARK VICTORIA DR MILPITAS, CA 95035		<table><tr><th>SHEET NO.</th><th>SHEET NAME</th></tr><tr><td colspan="2">TITLE SHEETS</td></tr><tr><td>TS-1</td><td>TITLE SHEET / EXISTING FLOOR PLAN/ PROPOSED FLOOR PLAN</td></tr><tr><td>1</td><td></td></tr><tr><td colspan="2">ARCHITECTURAL</td></tr><tr><td>A-101</td><td>SITE PLAN - EXISTING/PROPOSED</td></tr><tr><td>A-102</td><td>SITE SAFETY PLAN</td></tr><tr><td>A-103</td><td>PARKING MANAGEMENT PLAN</td></tr><tr><td>A-104</td><td>EXISTING - OVERALL 1ST FLOOR PLAN</td></tr><tr><td>A-105</td><td>EXISTING - OVERALL 2ND FLOOR PLAN</td></tr><tr><td>A-106</td><td>PROPOSED - OVERALL 2ND FLOOR PLAN</td></tr><tr><td>A-200</td><td>ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED</td></tr><tr><td>A-201</td><td>ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED</td></tr><tr><td>A-202</td><td>ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED</td></tr><tr><td>A-203</td><td>ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED</td></tr><tr><td>A-204</td><td>ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED</td></tr><tr><td>A-205</td><td>ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED</td></tr><tr><td>A-400</td><td>DETAILS</td></tr><tr><td>A-401</td><td>DOOR & WINDOW SCHEDULE & DETAILS</td></tr><tr><td>14</td><td></td></tr><tr><td colspan="2">STRUCTURAL</td></tr><tr><td>S1</td><td>PLAN</td></tr><tr><td>S2</td><td>DETAIL</td></tr><tr><td>2</td><td></td></tr><tr><td>17</td><td></td></tr></table>		SHEET NO.	SHEET NAME	TITLE SHEETS		TS-1	TITLE SHEET / EXISTING FLOOR PLAN/ PROPOSED FLOOR PLAN	1		ARCHITECTURAL		A-101	SITE PLAN - EXISTING/PROPOSED	A-102	SITE SAFETY PLAN	A-103	PARKING MANAGEMENT PLAN	A-104	EXISTING - OVERALL 1ST FLOOR PLAN	A-105	EXISTING - OVERALL 2ND FLOOR PLAN	A-106	PROPOSED - OVERALL 2ND FLOOR PLAN	A-200	ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED	A-201	ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED	A-202	ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED	A-203	ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED	A-204	ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED	A-205	ENLARGED 2ND FLOOR PLANS EXISTING & PROPOSED	A-400	DETAILS	A-401	DOOR & WINDOW SCHEDULE & DETAILS	14		STRUCTURAL		S1	PLAN	S2	DETAIL	2		17		<table><tr><td></td><td>DOOR NUMBER DOOR SCHEDULE HARDWARE GROUP</td></tr><tr><td></td><td>WINDOW TYPE</td></tr><tr><td></td><td>REVISION NUMBER</td></tr><tr><td></td><td>WORK POINT, DATUM POINT OR CONTROL POINT</td></tr><tr><td></td><td>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</td></tr><tr><td></td><td>SECTION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</td></tr><tr><td></td><td>DETAIL IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</td></tr><tr><td></td><td>INTERIOR ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</td></tr><tr><td></td><td>ROOM NAME ROOM NO. FLOOR SCHEDULE BASE SCHEDULE CEILING SCHEDULE WALL SCHEDULE</td></tr></table>			DOOR NUMBER DOOR SCHEDULE HARDWARE GROUP		WINDOW TYPE		REVISION NUMBER		WORK POINT, DATUM POINT OR CONTROL POINT		ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN		SECTION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN		DETAIL IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN		INTERIOR ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN		ROOM NAME ROOM NO. FLOOR SCHEDULE BASE SCHEDULE CEILING SCHEDULE WALL SCHEDULE	<p>ASSESSOR PARCEL NUMBER: <u>205-23-017</u></p> <p>CONSTRUCTION TYPE: OCCUPANCY GROUP: <u>B</u></p> <p>PREVIOUS USE: SCHOOL PROPOSED USE: GAME ROOM IMPROVEMENT AREA: <u>N/A</u> NUMBER OF STORIES: <u>2</u></p> <p>FIRE SPRINKLER SYSTEM: CA BUILDING CODE <u>2019</u> CA FIRE CODE <u>2019</u> CA ELECTRICAL CODE <u>2019</u> CA MECHANICAL CODE <u>2019</u> CA PLUMBING CODE <u>2019</u> CA ENERGY CODE <u>2019</u> CA GREEN BUILDING CODE <u>2019</u></p> <p>LAND SG FT: <u>93218</u> BUILDING SG FT: <u>32510</u> ZONING: <u>MS</u></p>			
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USE PERMIT REQUEST FOR 5,253 SQUARE FOOT GAMIFY FACILITY, INCLUDING CONVERTING THE RM 222B, RM 222A, RM 221, RM 220, RM 219, RM 218, RM 217, RM 216, AND RM 228 TO BE THE HIDDEN MODE GAME ROOM. WITH LAYOUT CHANGES FOR RM 218, RM 217, AND 216. AND ADDING (4) CLASS II BIKE PARKING RACK, ALSO, ADDING THE PARKING LOT CIRCULATION DIRECTION ARROWS AND PARKING LOT SIGNAGES.		<table><tr><td>& @ # (E) (R) (N)</td><td>And Angle At Centerline Diameter or Round Pound or Number Existing Relocated New</td><td>E.J. EL. ELEV. ELEV. EMER. ENCL. ENGR. E.P. EQ. EQUIP. E.W.C. EXST. EXPO. EXP. EXT.</td><td>Expansion Joint Elevation Electrical Elevator Emergency Enclosure Engineer Electrical Panelboard Equal Equipment Electrical Water Cooler Existing Exposed Expansion Exterior</td><td>LAB. LAM. LAV. LKR. LT.</td><td>Laboratory Laminate Lavatory Locker Light</td><td>R.W.D. R.W.L.</td><td>Redwood Rain Water Leader</td></tr><tr><td>A.B. ACOUS. ADJ. AGGR. AL. ALT. A.P. APPROX. ARCH. ASB. ASPH. A.F.F.</td><td>Anchor Bolt Acoustical Area Drain Adjustable Aggregate Aluminum Alternate Access Panel Approximate Architectural Asbestos Asphalt Above Finish Floor</td><td>F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.W.S F.H. FIXT. FL.</td><td>Fire Alarm Flat Bar Floor Drain Foundation Fire Extinguisher Fire Hose Cabinet Flat Head Wood Screw Finish Fixture Floor</td><td>MAS. MAT. MAX. M.B. M.C. MECH. MEMB. MET. MFG. MH. MIN. MIR. MISC. M.O. MUL.</td><td>Masonry Material Maximum Machine Bolt Medicine Cabinet Mechanical Membrane Metal Manufacturer Manhole Minimum Mirror Miscellaneous Masonry Opening Mounted Mullion</td><td>S. S.A.D. S.C. S.C.D. SCHED. S.D. SECT. S.E.D. SH. SIM. S.M.D. S.M.S. S.N.R. S.N.R. SPEC. S.P.D. S.Q. S.S.D. S.S.T. S.S.K. STA. STD. STL. STOR. STR.L. SUSP. SYM.</td><td>South See Architectural Drawing Solid Core Seat Cover Dispenser Schedule Soap Dispenser Section See Electrical Drawing Shelf Shower Sheet Similar See Mechanical Drawing Sheet Metal Screw Sanitary Napkin Dispenser Sanitary Napkin Receptacle Specification See Plumbing Drawing Square See Structural Drawing Stainless Steel Service Sink Station Standard Steel Storage Structural Suspended Symmetrical</td></tr><tr><td>B.B. BD. BITUM BKG. BLDG. BLK. BLKG. BM. BOT.</td><td>Bulletin Board Board Bituminous Backing Building Block Blocking Beam Bottom</td><td>FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. FUL Size FT. FTG. FURR. FUT.</td><td>Flashing Fluorescent Face of Concrete Face of Finish Face of Studs Fireproof Full Size Foot or Feet Footing Furring FUTURE</td><td>O.A. OBS. O.C. O.D. OFF. OP. OPNG. OPP.</td><td>Overall Obscure On Center Outside Diameter (DIM.) Office Opposite Hand Opening Opposite</td><td>TRD. T.B. T.C. TEL TER. T&G. THK. THRES.</td><td>Tread Towel Bar Top of Curb Telephone Terrazzo Torque and Grove Thick Threshold Top of Pavement Telephone Panelboard Toilet Paper Dispenser T.V. T.W. TYP.</td></tr><tr><td>CAB. C.B. CEM. CER. C.I. C.L. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CPT. CTSK CNTR. C.NTR.</td><td>Cabinet Catch Basin Cement Ceramic Cast Iron Corner Guard Construction Joint Ceiling Calking Closet Clear Cased Opening Column Concrete Connection Construction Continuous Corridor Carpet Countersunk Counter Center</td><td>GA. GALV. G.B. GL. GND. GR. GYP.</td><td>Gauge Galvanized Grab Bar Glass Ground Gypsum</td><td>P. P.A.D. PRCST. PL. P.LAM. PLAS. PLYWD. PR. PT. P.T.D. P.T.D/R PTN. P.T.R.</td><td>Paint Powder Actuated Device Pre-cast Plate Plastic Laminate Plaster plywood Paint Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle Partition Paper Towel Reptacle</td><td>UNF. U.O.N. UR.</td><td>Unfinished Unless Otherwise Noted Urinal</td></tr><tr><td>DET. DIA. DIM. DISP. D.O. DR. DWR. DS. D.S.P. DWG.</td><td>Detail Diameter Dimensions Dispenser Down Door Opening Down Drawer Downspout Dry Standpipe Drawing</td><td>H.B. H.C. HDWD. HDWIE. H.M. HORIZ. HR. HGT.</td><td>Hose Bibb Hollow Core Hardwood Hardware Hollow Metal Horizontal Hour Height</td><td>Q.T. QTY.</td><td>Quarry Tile Quantity</td><td>V.C.T. VERT. VEST V.I.F.</td><td>Vinyl Composition Tile Vertical Vestibule Verify in Field</td></tr><tr><td></td><td></td><td>I.D. INC. INFO. INSUL. INT. INTER.</td><td>Inside Diameter (Dim.) Incandescent Information Insulation Interior Intermediate</td><td>R. RAD. R.D. REF. REFR. RGRTR. REINF. REQ. RESIL.</td><td>Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient</td><td>W. Wb. WC. WD. W.F. WFO. W/O. WP.</td><td>West With Wall Covering Wall Closet Wood Wide Flange Where Occurs Without Waterproof</td></tr></table>		& @ # (E) (R) (N)	And Angle At Centerline Diameter or Round Pound or Number Existing Relocated New	E.J. EL. ELEV. ELEV. EMER. 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COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED, AND 3. NOTIFIED THE ARCHITECT OF AMBIGUITIES, INCONSISTENCIES, AND ERRORS THEY HAVE DISCOVERED WITHIN DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS. 1. FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST. 2. CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS. 3. CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS. WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERROR ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR. 4. CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK. 5. DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK. 6. COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE. DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT. 7. IMMEDIATELY UPON ENTERING THE SITE FOR PURPOSES OF BEGINNING WORK, LOCATE GENERAL REFERENCE POINTS AND LAY OUT WORK AND BE RESPONSIBLE FOR LINES ELEVATION AND MEASUREMENTS, AND WORK EXECUTED UNDER THIS CONTRACT, EXERCISE PROPER PRECAUTIONS TO VERIFY FIGURES SHOWN ON PLANS BEFORE LAYING OUT WORK. 8. CONTRACTOR AND EACH SUBCONTRACTOR, BEFORE STARTING WORK, SHALL VERIFY GOVERNING DIMENSION AT THE SITE INCLUDING ELEVATIONS AND SHALL EXAMINE ADJOINING WORK ON WHICH CONTRACTORS OR SUBCONTRACTORS WORK IN ANY WAY DEPENDENT. NO "EXTRA" OR ADDITIONAL COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN. SUBMIT DIFFERENCES DISCOVERED DURING THE WORK TO THE OWNER FOR INTERPRETATION BEFORE PROCEEDING WITH ASSOCIATED WORK.						5. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES. 10. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECTS AND HIS CONSULTANTS FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECTS. 11. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO, CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION. 12. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED. NOTE 2: 1. FIRE SPRINKLER SYSTEM IS EXISTING. ADJUSTMENT TO BE DESIGN-BUILT BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE TO SUBMIT DESIGN-BUILT DRAWING AND SECURE PERMIT PRIOR TO START OF WORK. 2. ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL HAVE A DESIGN LISTING NUMBER. ANY EQUIPMENT NOT LISTED WILL BE REQUIRED TO BE FIELD TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER AND HIS DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE FOSTER CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION WILL NEED TO BE SUBMITTED AND APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED. NOTE 3: 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL REGULATIONS. SECURE REQUIRED PERMITS. ARRANGE WITH OWNER AND/OR APPROPRIATE PERSONS FOR SERVICE SHUTOFFS BEFORE BEGINNING WORK. IDENTIFY AND COORDINATE ALL EXISTING HARDWARE AND DEVICES SCHEDULED TO REMAIN OR TO BE SALVAGED FOR REUSE, VERIFY WITH OWNER. 2. ALL BIDDERS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE (PREMISES) AND ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. FAILURE TO EXAMINE SITE WILL NOT RELIEVE THE SUCCESSFUL BIDDER FROM NECESSITY TO PROVIDE WORK THAT MAY BE REQUIRED TO COMPLETE THE WORK WITHOUT ADDITIONAL COST TO THE OWNER. 3. WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE ALL DEMOLITION, SITE WORK, BUILDING CONSTRUCTION, AND IMPROVEMENTS TO THE PROPERTY DESIGNATED IN THE CONSTRUCTION DOCUMENTS. THE INTENT OF THE CONSTRUCTION CONTRACT IS TO PROVIDE A BEVERAGE SHOP COMPLETELY IN ALL RESPECT WITH ALL WORK PERFORMED IN A QUALITY AND WORKMANLIKE MANNER WITH THE BUILDING READY FOR OCCUPANCY WHEN CONSTRUCTION IS COMPLETE. 4. SURVEY EXISTING SITE AND BUILDING CONDITIONS WITH COMPLIANCE OF ADA REGULATIONS AND UPGRADE AS REQUIRED PER CODES. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER ANY CONFLICTS, OMISSIONS, DELETIONS, OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS, WHICH DO NOT CONFORM TO THE APPLICABLE ZONING, CODE AND OTHER USE REGULATIONS AND/OR TO THE AMERICANS WITH DISABILITIES ACT AND REGULATIONS PROMULGATED THEREUNDER. THE CONTRACTOR SHALL NOT BE LIABLE TO THE OWNER OR THE ARCHITECT FOR ANY DAMAGES RESULTING FROM ANY SUCH ERRORS EXCEPT THAT CONTRACT SHALL BE FULLY AND EXCLUSIVELY LIABLE UPON FAILURE TO PUT ARCHITECT ON NOTICE OF SAID CONFLICTS, OMISSIONS, DELETIONS OR ERRORS.						5. CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL CRATES, PACKING, DEBRIS, ETC., FROM KITCHEN EQUIPMENT. HE SHALL BROOM CLEAN THE BUILDING INTERIOR DAILY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL LEAVE THE BUILDING CLEANED DUST FREE, CLEAN ALL GLASS, REPLACE ANY BROKEN GLASS, REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATED WORK, CLEAN HARDWARE, REMOVE PAINT SPOTS FROM ALL SURFACES, CLEAN FIXTURES, AND WASH ALL TILE FLOORS. 6. IF THERE IS A CONFLICT AND/OR ERRORS BETWEEN THE PLANS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY INDICATED OTHERWISE BY THE OWNER OR OWNER'S REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE OWNER'S AGENT OF ANY CONFLICTS, OMISSIONS DELETIONS OR ERRORS IN THE PLANS OR SPECIFICATIONS ENCOUNTERED DURING THE BIDDING PERIOD AND THE COURSE OF THE CONSTRUCTION BEFORE CONTINUING THE WORK AFFECTED. 7. COORDINATE ALL DEMOLITION OPERATIONS WITH OWNER FOR SHUTDOWN PERIODS AND SEQUENCE OF WORK. PROTECT EXISTING HARDWARE AND DEVICES TO REMAIN AND ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL. 8. REMOVE ALL DEMOLISHED MATERIALS NOT SCHEDULED FOR SALVAGE AND REUSE, OR THOSE TO BECOME PROPERTY OF THE OWNER, LOCAL AUTHORITIES, OR UTILITY COMPANY, FROM THE SITE AND DISPOSE OF IN ACCORDANCE WITH LOCAL REGULATIONS. CONFIRM WITH THE OWNER, PROPER AUTHORITIES OR UTILITY COMPANY ALL ITEMS TO BE SALVAGED AND RETURNED TO THE APPROPRIATE PARTY. ALL ITEMS TO BE TURNED OVER TO THE OWNER, LOCAL AUTHORITIES OR UTILITY COMPANY, SHALL BE PROTECTED DURING DEMOLITION AND REMOVAL AND SHALL BE DELIVERED TO THE APPROPRIATE PARTY IN AN UNDMAGED CONDITION. 9. ALL ITEMS SCHEDULED TO BE SALVAGED FOR REUSE, SHALL BE REMOVED WITH CARE, STORED AND PROTECTED FROM DAMAGE UNTIL SALVAGED ITEMS ARE INCORPORATED IN THE NEW WORK. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPLACE ANOR RESTORE ANY ITEMS SCHEDULED FOR SALVAGE AND REUSE THAT ARE DAMAGED DURING THE COURSE OF CONTRACT OPERATIONS THE OWNER SHALL DETERMINE THE SUITABILITY OF THESE SALVAGED ITEMS FOR REUSE IN THE WORK. 10. PATCH/REPAIR/REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK TO MATCH AND ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN AND PREPARE TO RECEIVE NEW FINISHED AS SPECIFIED. WORK SHALL INCLUDE ALL LABOR AND MATERIALS REQUIRED RENDERING SUBSTRATES ACCEPTABLE AND RECEIVING NEW FINISHES AS SPECIFIED IN ACCORDANCE WITH MANUFACTURERS WRITTEN RECOMMENDATIONS. 11. WHEN WALLS, COLUMNS OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS. 12. TERMINATE, CAP AND REMOVE ALL ABANDONED ELECTRICAL CONDUIT, WIRING BOXES, SWITCHES, ETC, PLUMBING, AND PIPING, FIXTURES, ETC, HVAC, DUCTWORK, CONTROLS, PIPING, ETC. AS REQUIRED AND PER CODE. 13. IT IS THE RESPONSIBILITY OF THE G.C. TO COORDINATE DELIVERY, UNCRATING, POSITIONING, FINAL HOOK-UP AND REMOVAL OF TRASH OF ALL OWNERS SUPPLIED KITCHEN EQUIPMENT. 14. ALL KITCHEN EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. REFER TO EQUIPMENT PLAN FOR LOCATION AND SCHEDULE. 15. VERIFY ELECTRICAL, GAS, AND WATER CAPACITY FOR NEW EQUIPMENT REQUIREMENTS. 16. EXISTING CONSTRUCTION AND FINISHES TO BE PROTECTED FROM DAMAGE. RESPONSIBLE PARTY TO MATCH SURROUNDING SURFACES SHALL REPAIR ALL MATERIALS DAMAGED. 17. G.C. TO PREPARE ALL SURFACES TO RECEIVE NEW FINISHES PER MANUFACTURER SPECIFICATIONS. REFER TO EXTERIOR AND INTERIOR FINISH SCHEDULES FOR MATERIAL AND COLOR SELECTIONS. 18. THE CONTRACT DOCUMENTS CALL FOR CERTAIN ITEMS TO BE SUPPLIED BY THE OWNER OR OTHERS AND INSTALLED BY THE GENERAL CONTRACTOR. OTHER ITEMS ARE TO BE FURNISHED AND INSTALLED BY THE OWNER OR OTHERS, THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND COOPERATE IN THE PREPARATIONS OF SURFACES, DIMENSIONS AND UTILITIES FOR WORK TO BE PERFORMED BY THE OWNER OR OTHERS. SUBCONTRACTORS SHALL INSTALL MECHANICAL, ELECTRICAL AND PLUMBING SERVICES FOR FOOD SERVICE EQUIPMENT TO BE INSTALLED BY THE OWNER OR BY OTHERS ARE CAUTIONED THAT THE ROUGH-IN DIMENSIONS SHOWN ON THE PLANS ARE EXTREMELY CRITICAL. ERROR IN LOCATING SERVICES SHALL BE CORRECTED BY THE CONTRACTOR PERFORMING THE ROUGH-IN WORK AT NO ADDITIONAL COST TO THE OWNER													
& @ # (E) (R) (N)	And Angle At Centerline Diameter or Round Pound or Number Existing Relocated New	E.J. EL. ELEV. ELEV. EMER. ENCL. ENGR. E.P. EQ. EQUIP. E.W.C. EXST. EXPO. EXP. EXT.	Expansion Joint Elevation Electrical Elevator Emergency Enclosure Engineer Electrical Panelboard Equal Equipment Electrical Water Cooler Existing Exposed Expansion Exterior	LAB. LAM. LAV. LKR. LT.	Laboratory Laminate Lavatory Locker Light	R.W.D. R.W.L.	Redwood Rain Water Leader																																																																						
A.B. ACOUS. ADJ. AGGR. AL. ALT. A.P. APPROX. ARCH. ASB. ASPH. A.F.F.	Anchor Bolt Acoustical Area Drain Adjustable Aggregate Aluminum Alternate Access Panel Approximate Architectural Asbestos Asphalt Above Finish Floor	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.W.S F.H. FIXT. FL.	Fire Alarm Flat Bar Floor Drain Foundation Fire Extinguisher Fire Hose Cabinet Flat Head Wood Screw Finish Fixture Floor	MAS. MAT. MAX. M.B. M.C. MECH. MEMB. MET. MFG. MH. MIN. MIR. MISC. M.O. MUL.	Masonry Material Maximum Machine Bolt Medicine Cabinet Mechanical Membrane Metal Manufacturer Manhole Minimum Mirror Miscellaneous Masonry Opening Mounted Mullion	S. S.A.D. S.C. S.C.D. SCHED. S.D. SECT. S.E.D. SH. SIM. S.M.D. S.M.S. S.N.R. S.N.R. SPEC. S.P.D. S.Q. S.S.D. S.S.T. S.S.K. STA. STD. STL. STOR. STR.L. SUSP. SYM.	South See Architectural Drawing Solid Core Seat Cover Dispenser Schedule Soap Dispenser Section See Electrical Drawing Shelf Shower Sheet Similar See Mechanical Drawing Sheet Metal Screw Sanitary Napkin Dispenser Sanitary Napkin Receptacle Specification See Plumbing Drawing Square See Structural Drawing Stainless Steel Service Sink Station Standard Steel Storage Structural Suspended Symmetrical																																																																						
B.B. BD. BITUM BKG. BLDG. BLK. BLKG. BM. BOT.	Bulletin Board Board Bituminous Backing Building Block Blocking Beam Bottom	FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. FUL Size FT. FTG. FURR. FUT.	Flashing Fluorescent Face of Concrete Face of Finish Face of Studs Fireproof Full Size Foot or Feet Footing Furring FUTURE	O.A. OBS. O.C. O.D. OFF. OP. OPNG. OPP.	Overall Obscure On Center Outside Diameter (DIM.) Office Opposite Hand Opening Opposite	TRD. T.B. T.C. TEL TER. T&G. THK. THRES.	Tread Towel Bar Top of Curb Telephone Terrazzo Torque and Grove Thick Threshold Top of Pavement Telephone Panelboard Toilet Paper Dispenser T.V. T.W. TYP.																																																																						
CAB. C.B. CEM. CER. C.I. C.L. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CPT. CTSK CNTR. C.NTR.	Cabinet Catch Basin Cement Ceramic Cast Iron Corner Guard Construction Joint Ceiling Calking Closet Clear Cased Opening Column Concrete Connection Construction Continuous Corridor Carpet Countersunk Counter Center	GA. GALV. G.B. GL. GND. GR. GYP.	Gauge Galvanized Grab Bar Glass Ground Gypsum	P. P.A.D. PRCST. PL. P.LAM. PLAS. PLYWD. PR. PT. P.T.D. P.T.D/R PTN. P.T.R.	Paint Powder Actuated Device Pre-cast Plate Plastic Laminate Plaster plywood Paint Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle Partition Paper Towel Reptacle	UNF. U.O.N. UR.	Unfinished Unless Otherwise Noted Urinal																																																																						
DET. DIA. DIM. DISP. D.O. DR. DWR. DS. D.S.P. DWG.	Detail Diameter Dimensions Dispenser Down Door Opening Down Drawer Downspout Dry Standpipe Drawing	H.B. H.C. HDWD. HDWIE. H.M. HORIZ. HR. HGT.	Hose Bibb Hollow Core Hardwood Hardware Hollow Metal Horizontal Hour Height	Q.T. QTY.	Quarry Tile Quantity	V.C.T. VERT. VEST V.I.F.	Vinyl Composition Tile Vertical Vestibule Verify in Field																																																																						
		I.D. INC. INFO. INSUL. INT. INTER.	Inside Diameter (Dim.) Incandescent Information Insulation Interior Intermediate	R. RAD. R.D. REF. REFR. RGRTR. REINF. REQ. RESIL.	Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient	W. Wb. WC. WD. W.F. WFO. W/O. WP.	West With Wall Covering Wall Closet Wood Wide Flange Where Occurs Without Waterproof																																																																						



LADC CONSULTING INC.
1590 OAKLAND RD., STE B212
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAOCHING

PROPERTY OWNER:

PROJECT:

TENANT IMPROVEMENT

595 LAWRENCE EXPY
SUNNYVALE, CA 94085
APN #: 205-23-017

REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
2	12/18/22	PLAN CHECK COMMENT 2
3	5/20/23	PLAN CHECK COMMENT 3

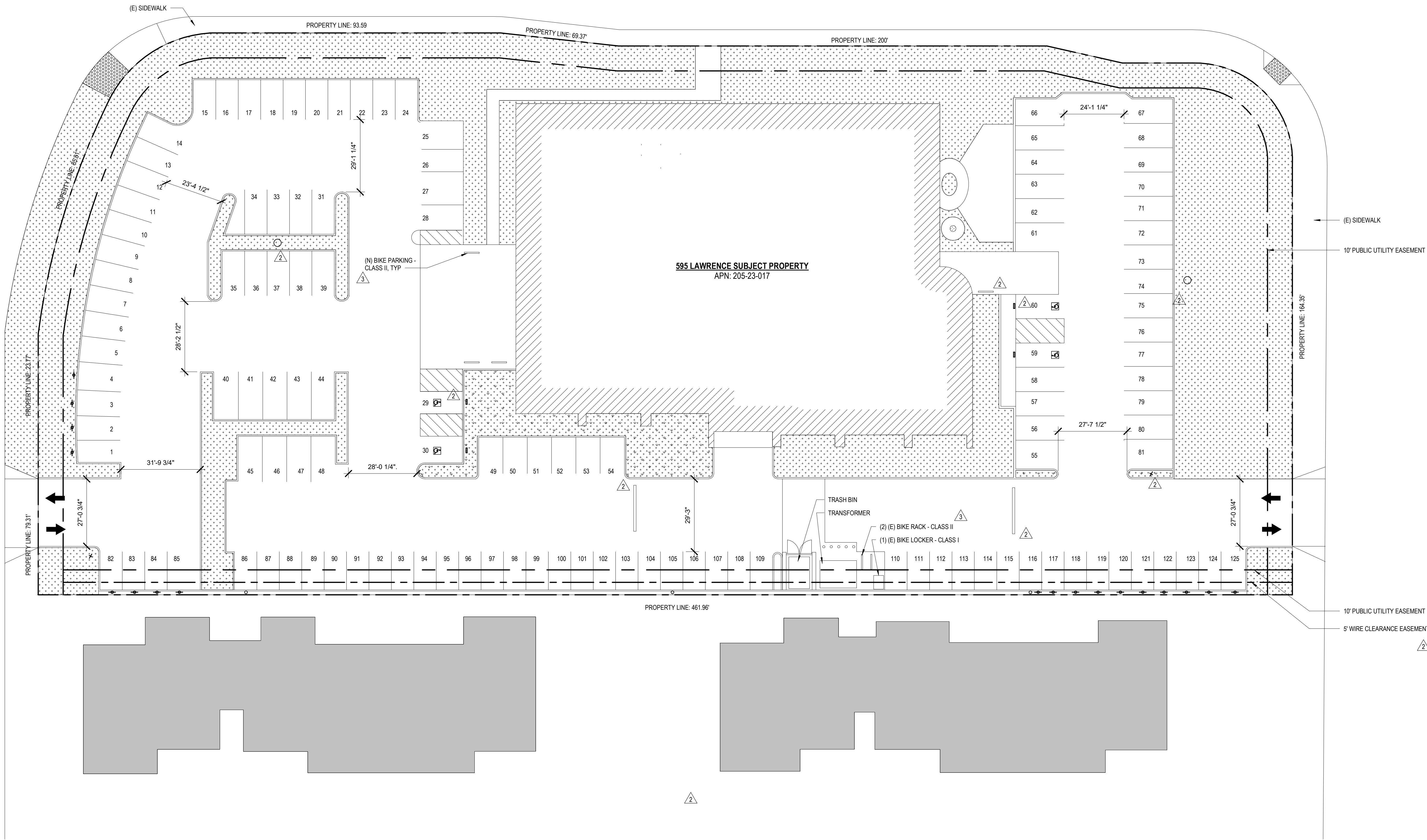
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DRAWN:
PROJECT NO.:

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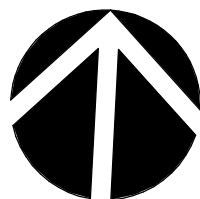
SITE PLAN -
EXISTING/PROPOSED

SHEET OF:

A-101



SITE PLAN 1" = 20'-0" 1





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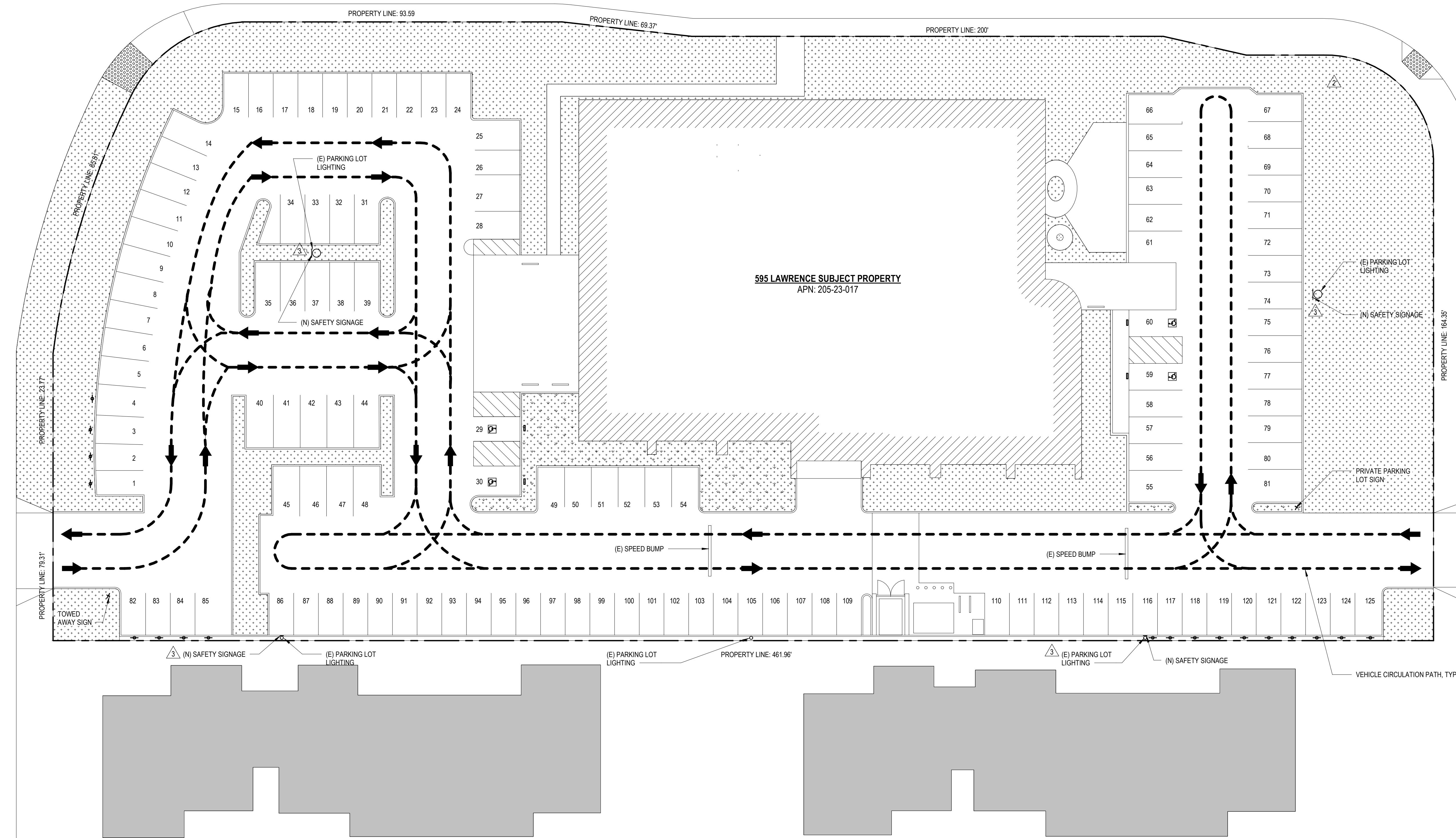
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PROJECT NO.:

SHEET TITLE:

SITE SAFETY PLAN

SHEET OF:

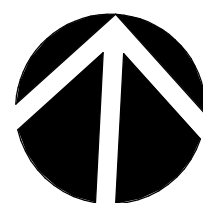
A-102



SITE SAFETY PLAN

SCALE
1" = 20'-0"

1



- A. NO PARKING LOT SECURITY CAMERA. EXISTING PARKING LOT POLE LIGHT IS INDICATED ON THE ABOVE PLAN. SEE PLAN FOR LOCATION.
- B. A SIGN WILL INFORM VISITOR TO NOT LEAVE VALUABLE ITEM IN THE CAR AND LOCK THE CAR BE POSTED AT THE PARKING LOT (E) LIGHT POLE. SEE PLAN FOR SIGNAGE LOCATION
- C. HIDDEN MODE SAFETY PROTOCOLS:
1. EACH OF THE GAME ROOMS HAS A DIGITAL KEY PAD LOCK SYSTEM. THE DOOR WILL REMAIN CLOSED UNLESS THERE IS A GAME STARTING, THEN THE STAFF MEMBER WILL LEAD THE CUSTOMER TO THE ROOM AND OPEN THE DOOR FOR THE CUSTOMER. SEE DETAIL 9/A-401 FOR KEY PAD LOCK DETAIL
 2. THERE ARE SECURITY CAMERA PROVIDED IN EACH OF THE GAMING ROOM TO MONITOR ANY ILLEGAL ACTIVITIES. ONCE THE STAFF MONITORS THERE IS ILLEGAL ACTIVITIES SUCH AS DRINKING, GAMBLING, AND/OR OTHER CRIMINAL ACTIVITY HAPPENING IN THE GAMING ROOMS, THE STAFF WILL CALL THE 911 TO INFORM THE COP. SEE SHEET A-200 TO A-205 FOR SECURITY CAMERA LOCATION, AND SEE DETAIL 19/A-401 FOR MOUNTING DETAIL.
 3. DURING THE END OF THE BUSINESS CLOSING HOUR, THE STAFF WILL ENSURE EACH OF THE GAME ROOM AND RECEPTION ROOM DOOR ARE LOCKED.
 4. THE HIDDEN MODE MANAGER WILL LET THE STAFF KNOW THE PROTOCOL WHEN SEEING ILLEGAL ACTIVITY WHO TO CONTACT AND WHAT TO DO. VERBALLY
 5. EACH OF THE HIDDEN MODE GAME ROOM WILL PROVIDE A BUZZ BUTTON TO INFORM THE STAFF IF THERE ARE ANYTHING HAPPENING. SEE SHEET A-200 TO A-205 FOR LOCATION, AND SEE DETAIL 20/A-401 FOR BUZZ BUTTON DETAIL
 6. SEE SHEET A-104 TO A-105 FOR EMERGENCY PATH OF TRAVEL



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HAOCHING

PROPERTY OWNER:

PROJECT:

TENANT IMPROVEMENT

595 LAWRENCE EXPY
SUNNYVALE, CA 94085
APN #: 205-23-017

REVISION

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1	12/18/22	PLAN CHECK COMMENT 2
2	05/20/23	PLAN CHECK COMMENT 3
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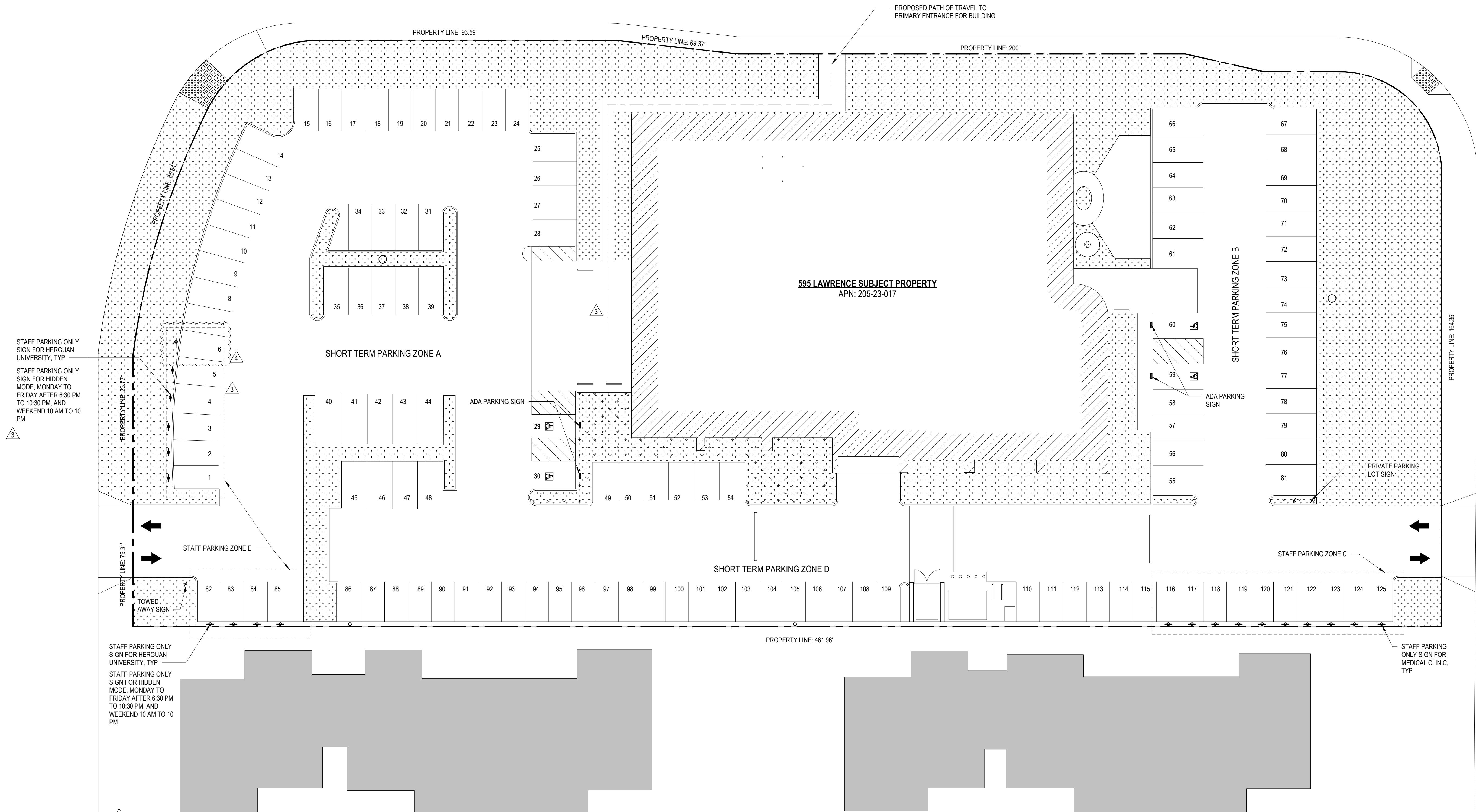
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PROJECT NO.:

SHEET TITLE:

PARKING MANAGMENT PLAN

SHEET OF:

A-103



- NOTE:
1. STAFF IS REQUIRED TO BE PARKED ON SITE ON ZONE E AND C DURING BUSINESS HOURS
 2. PARKING ZONE A, B, D ARE SHORT TERM PARKING AREA FOR VISITORS
 3. EXISTING DIRECTION ARROW IS PRINTED ON THE ENTRANCE OF THE PARKING LOT TO DIRECT THE TRAFFIC

PARKING SUMMARY

PROGRAM	OCCUPANCY	GROSS FLOOR AREA	MIN REQUIRED SPACES / 1,000 SQ FT GROSS FLOOR AREA	MIN SPACE REQUIRED
MEDICAL CLINIC	B	5,224.3 SF	3.3 PER 1000 SF	5224 / 1000 X 3.3 = 17 MIN
HERGUAN UNIVERSITY	B	14,024.1 SF	0.5 SPACE PER STUDENT	MAX 203 STUDENT X 0.5 = 102 MIN
HIDDEN MODE	B	5,253.5 SF	4 PER 1000 SF	5253.5 / 1000 x 4 = 21 MIN
				TOTAL PARKING REQUIRED = 17 + 102 + 21 = 140

PEAK PARKING DEMAND IS CREATED BY HERGUAN UNIVERSITY, DURING MONDAY TO FRIDAY 8:30 AM TO 5:30 PM. HIDDEN MODE OPERATE ONLY DURING MONDAY TO FRIDAY 6:30 PM TO 10:30 PM. AND SATURDAY AND SUNDAY 10 AM TO 10 PM. MEDICAL CLINIC OPERATE DURING MONDAY TO FRIDAY 8 AM TO 5:30 PM

PARKING TABULATION

USE	REQUIRED PARKING	HOUSE OF OPERATION	MONDAY - FRIDAY	SATURDAY	SUNDAY
1 - MEDICAL CLINIC	17	8 AM TO 5:30 PM	17	-	-
2 - HERGUAN UNIVERSITY	102	8:30 AM TO 5:30 PM	102	-	-
3 - HIDDEN MODE	21	6:30 PM TO 10:30 PM 10 AM TO 10 PM	21 -	- 21	- 21
		TOTAL	119 DURING 8 AM TO 5:30 PM 21 DURING 6:30 PM TO 10:30 PM	21	21

DAILY USE WILL NOT EXCEED THE 125 PARKING SPACES AVAILABLE.

(E) PARKING COUNT

TOTAL PARKING SPACES PROVIDED: 121 PARKING SPACES
ACCESSIBLE SPACES PROVIDED: 4 PARKING SPACES

(P) PARKING COUNT

TOTAL PARKING SPACES PROVIDED: 125 PARKING SPACES
ACCESSIBLE SPACES PROVIDED: 4 PARKING SPACES

(E) BICYCLE PARKING

TOTAL CLASS I PROVIDED: 1 PARKING SPACES
TOTAL CLASS II PROVIDED: 2 PARKING SPACES

(P) BICYCLE PARKING

TOTAL CLASS I PROVIDED: 1 PARKING SPACES
TOTAL CLASS II PROVIDED: 6 PARKING SPACES

DAILY PARKING MANAGEMENT - MONDAY THROUGH SUNDAY

BUILDING	OPERATING HOURS
1 - MEDICAL CLINIC	8 AM TO 5:30 PM
2 - HERGUAN UNIVERSITY	8:30 AM TO 5:30 PM
3 - HIDDEN MODE	6:30 PM TO 10:30 PM WEEKEND: 10 AM TO 10 PM

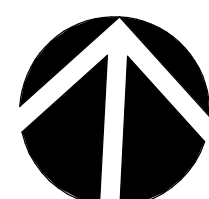
VISITOR PARKING DURING ABOVE OPERATION HOURS ARE DESIGNATED TO ZONE A, B, AND D

STAFF PARKING DURING ABOVE OPERATION HOURS ARE DESIGNATED TO ZONE C AND E.

PARKING MANAGEMENT PLAN

SCALE
1" = 20'-0"

1





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SHEET TITLE:

EXISTING - OVERALL
1ST FLOOR PLAN

SHEET OF:

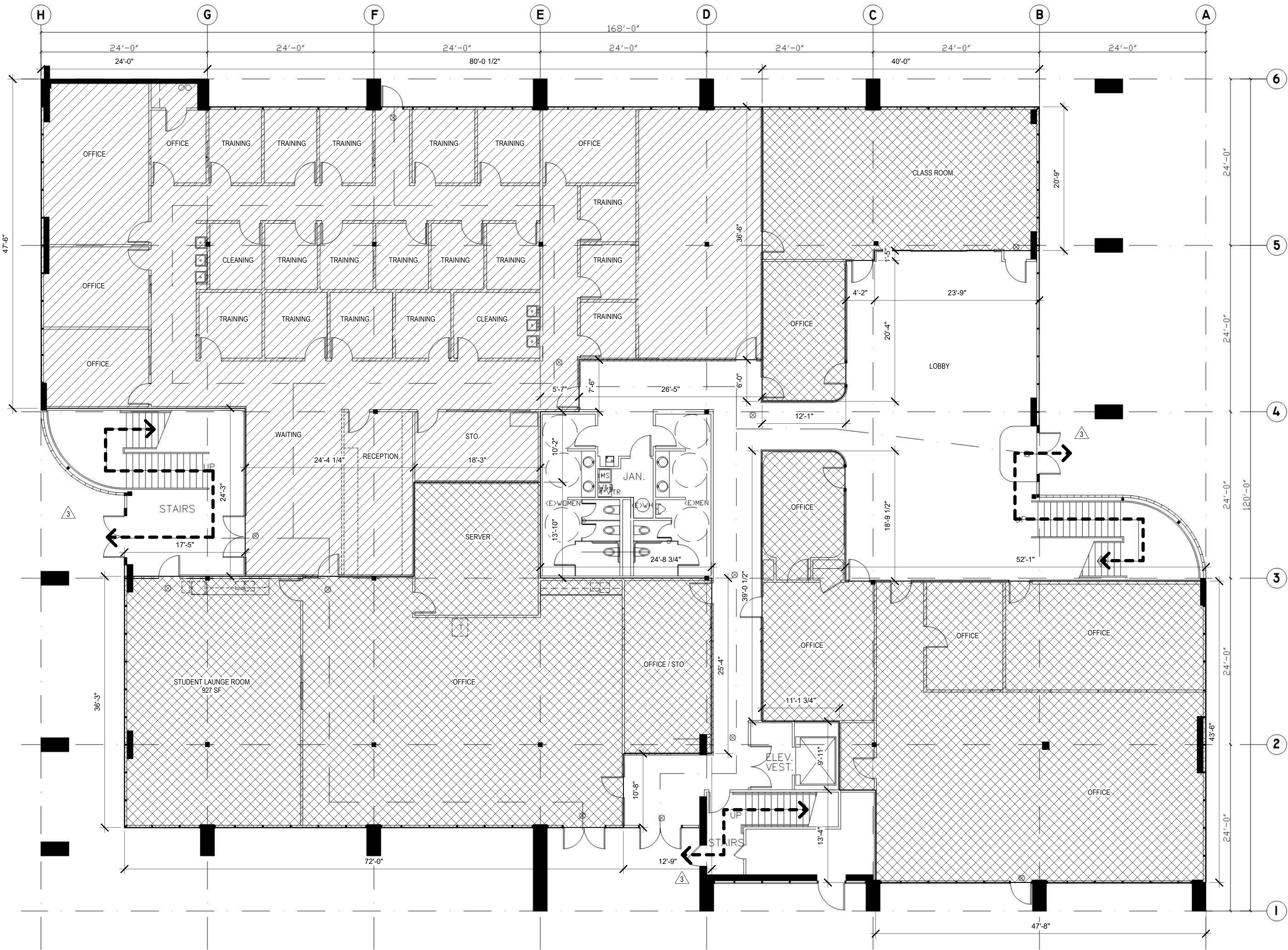
A-104

GENERAL NOTES

1. PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.
2. PROTECT & MAINTAIN ALL (E) WALL RATINGS, UNON WHERE DAMAGE OCCURS TO THE (E) 1 HR. RATED FIRE PARTITION PATCH & REPAIR PER UL DESIGN 465.
3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

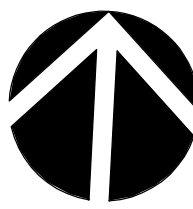
LEGEND

- (E) WALL PARTITION
- MEDICAL CLINIC
AREA: 5,224.3 SF
- HERGUAN UNIVERSITY
AREA: 6,957.6 SF
- PATH OF TRAVEL



OVERALL FIRST FLOOR - EXISTING 1/8" = 1'-0"

1





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PROJECT NO.:

SHEET TITLE:

EXISTING - OVERALL
2ND FLOOR PLAN

SHEET OF:

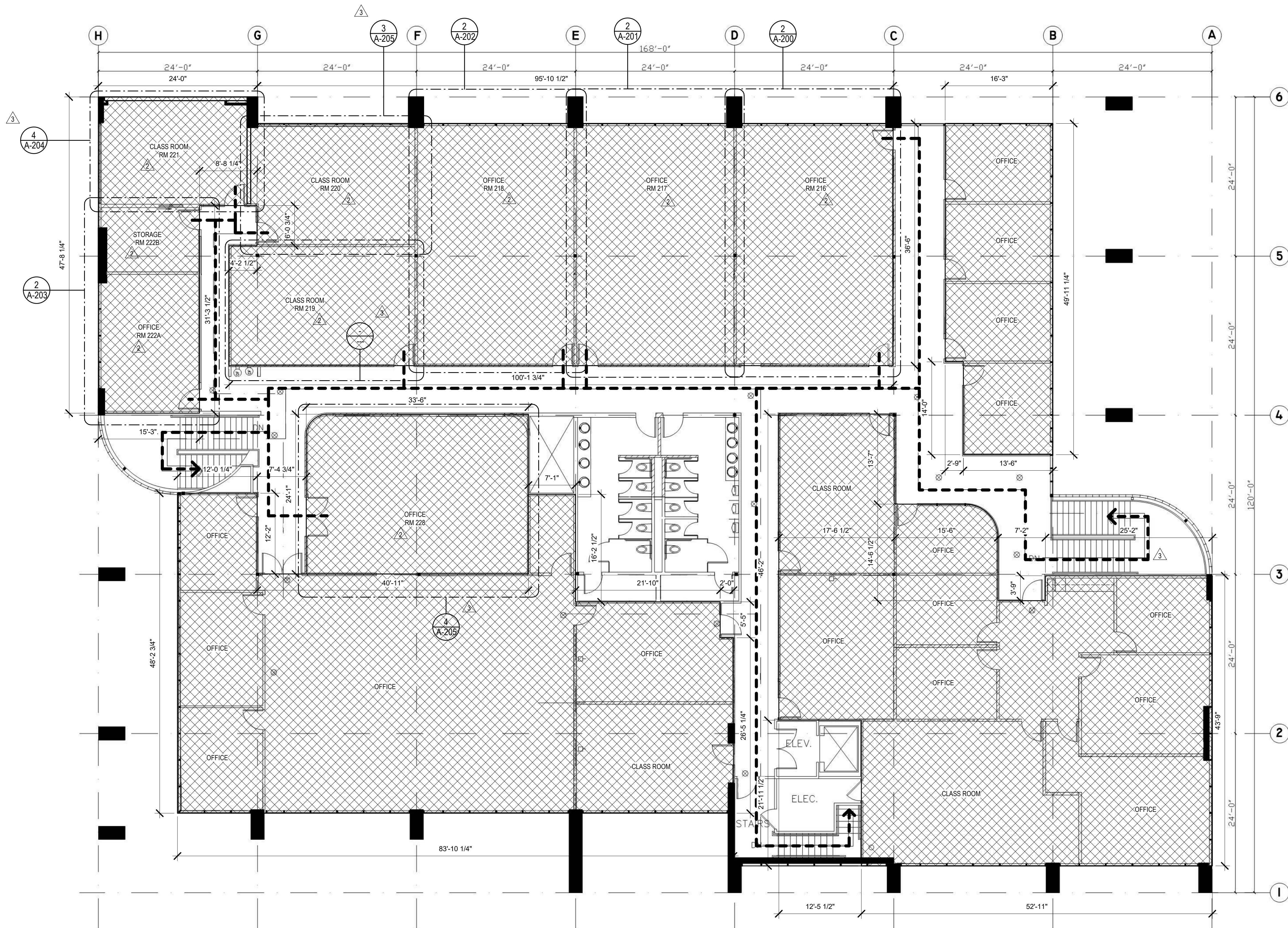
A-105

GENERAL NOTES

- PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.
- PROTECT & MAINTAIN ALL (E) WALL RATINGS, UON WHERE DAMAGE OCCURS TO THE (E) 1 HR. RATED FIRE PARTITION PATCH & REPAIR PER UL DESIGN 465.
- WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

LEGEND

- (E) WALL PARTITION
- HERGUAN UNIVERSITY AREA: 12,320 SF
- PATH OF TRAVEL



OVERALL SECOND FLOOR - EXISTING

1/8" = 1'-0"





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SHEET TITLE:

PROPOSED -
OVERALL 2ND
FLOOR PLAN

SHEET OF:

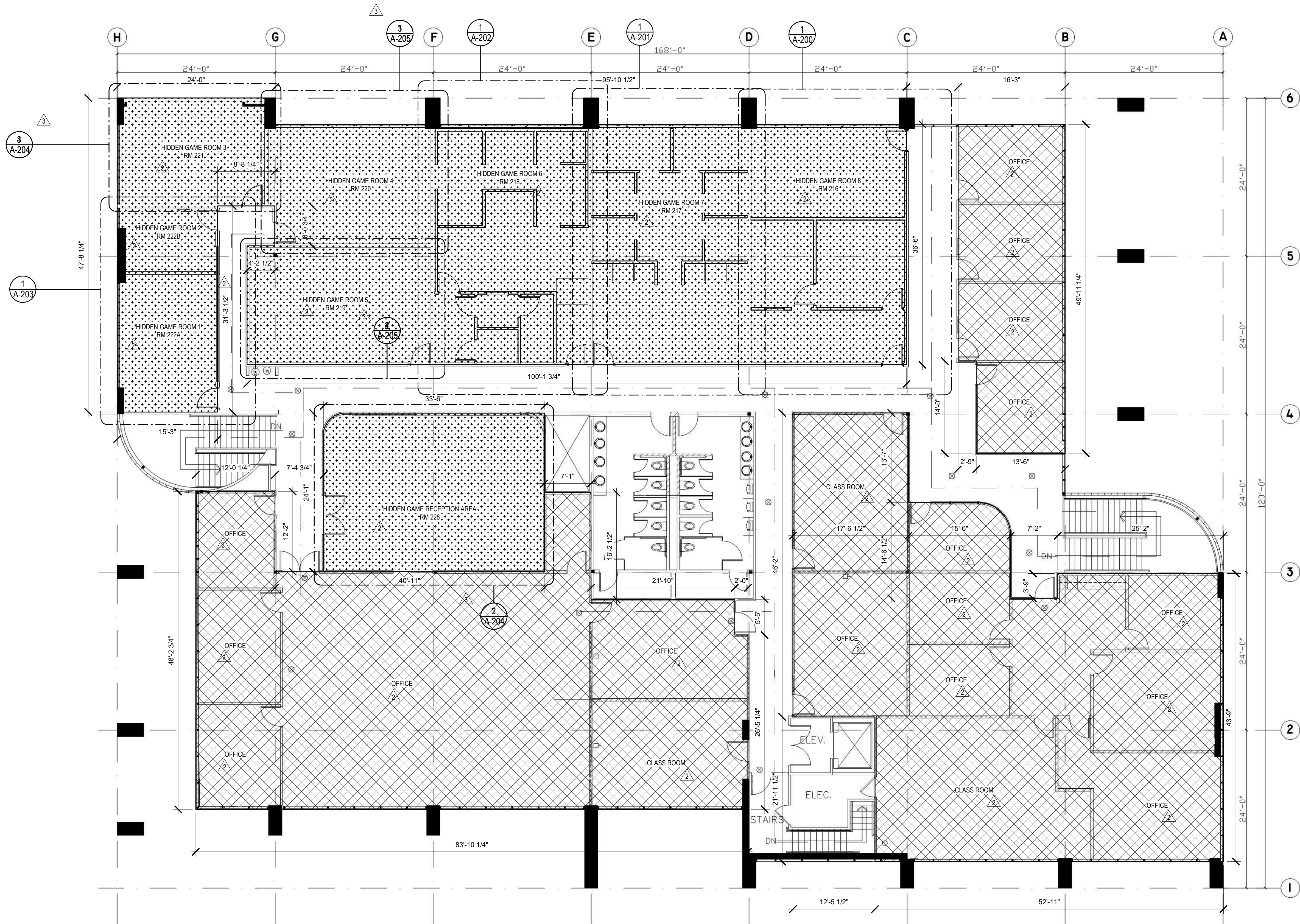
A-106

GENERAL NOTES

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3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

LEGEND

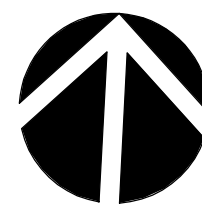
	(N) NON-RATED PARTITION
	(E) WALL PARTITION
	HIDDEN MODE AREA: 5,253.5 SF
	HERGUAN UNIVERSITY AREA: 7,066.5 SF



OVERALL SECOND FLOOR - PROPOSED

1/8" = 1'-0"

1



REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

ENLARGED 2ND
FLOOR PLANS
EXISTING &
PROPOSED

SHEET OF:

A-200

GENERAL NOTES

1. PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.
2. PROTECT & MAINTAIN ALL (E) WALL RATINGS, UON WHERE DAMAGE OCCURS TO THE (E) 1 HR. RATED FIRE PARTITION PATCH & REPAIR PER UL DESIGN 465.
3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

LEGEND

(N) NON-RATED PARTITION

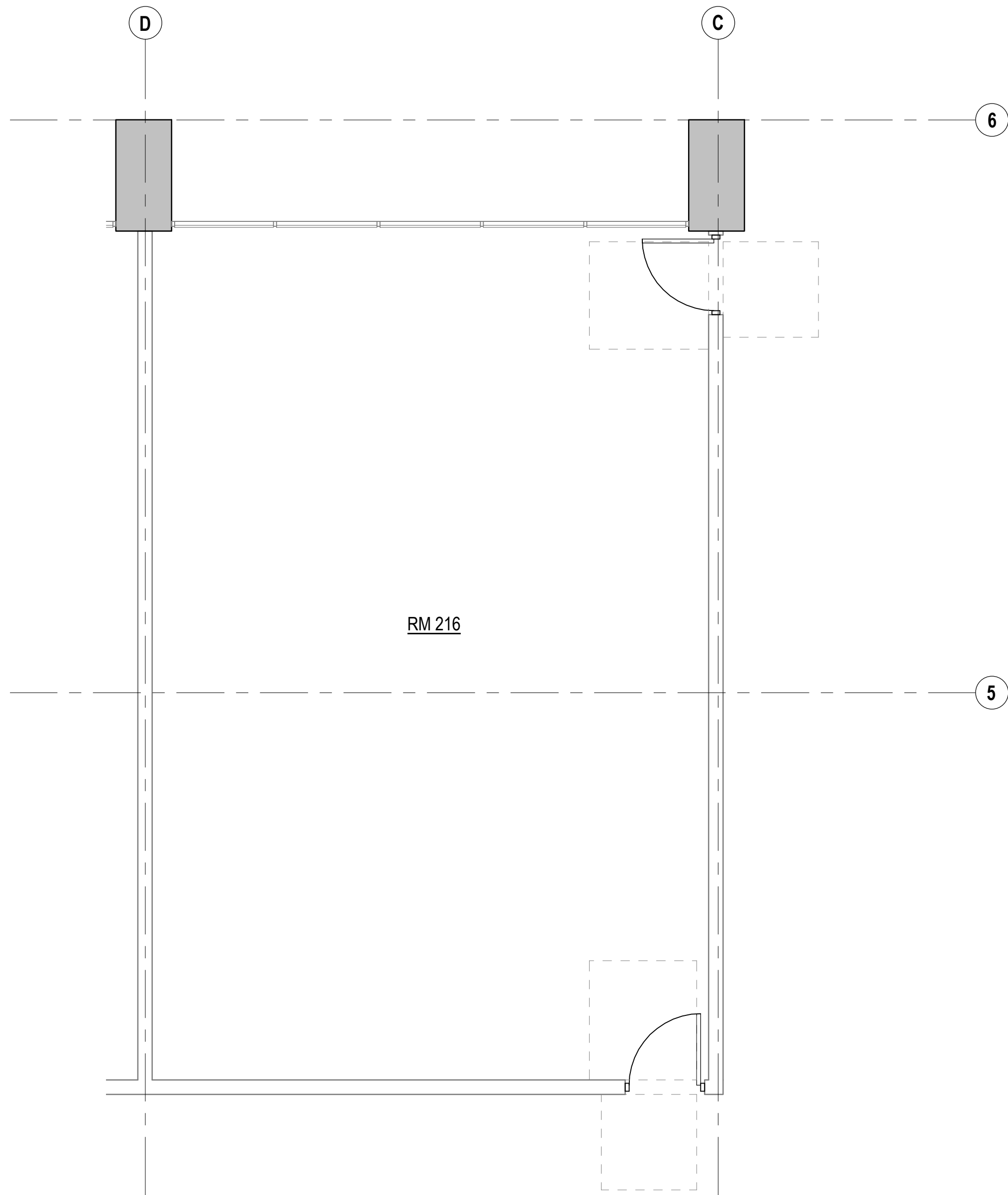
WALL TAG

A#

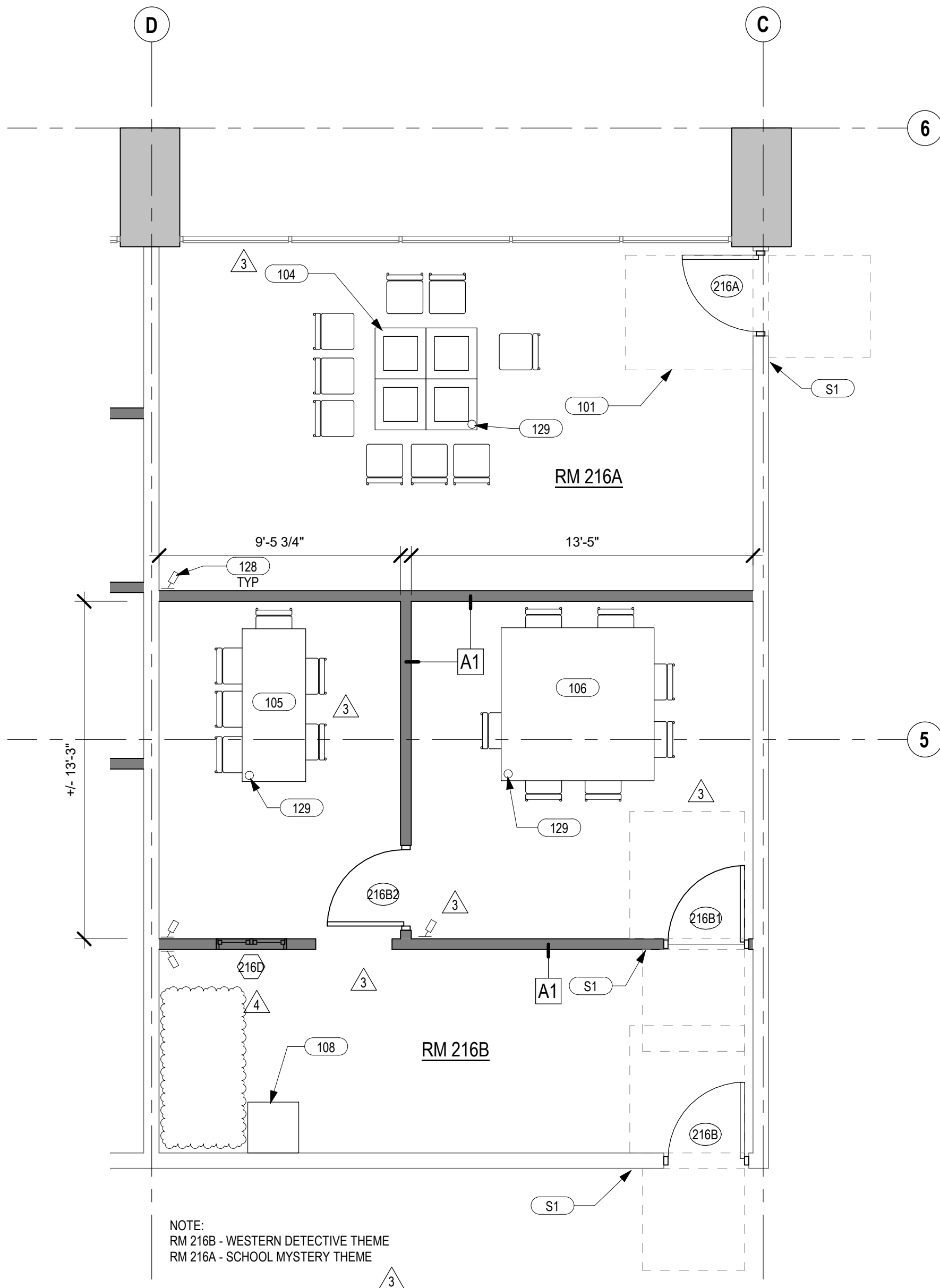
WALL TYPE, REFER TO A-300 FOR DETAILS

KEYNOTE

101	DOOR CLEARANCE SEE DETAIL 1/A-401
104	SQUARE TABLE WITH CHAIRS
105	RECTANGLE TABLE WITH CHAIRS
106	SQUARE TABLE WITH CHAIRS
108	NIGHTSTAND NOT TO BE USED, FOR DECORATION ONLY
128	WALL MOUNTED SECURITY CAMERA, REF DETAIL 19/A-401
129	BUZZ BUTTON, REF DETAIL 20/A-401
S1	(N) PERMANENT ROOM IDENTIFICATION SIGNAGE, SEE DETAIL 10/A-400



ENLARGED 2ND FLOOR EXISTING PLAN - RM 216 1/4" = 1'-0" 2



ENLARGED 2ND FLOOR PROPOSED PLAN - RM 216 1/4" = 1'-0" 1



DESIGN • BUILD • MANAGEMENT

LADC CONSULTING INC.
1590 OAKLAND RD., STE B212
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAOCHING

PROPERTY OWNER:

PROJECT:

TENANT IMPROVEMENT

595 LAWRENCE EXPY
SUNNYVALE, CA 94085
APN #: 205-23-017

REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

ENLARGED 2ND
FLOOR PLANS
EXISTING &
PROPOSED

SHEET OF:

A-201

GENERAL NOTES

1. PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.
2. PROTECT & MAINTAIN ALL (E) WALL RATINGS, UON WHERE DAMAGE OCCURS TO THE (E) 1 HR. RATED FIRE PARTITION PATCH & REPAIR PER UL DESIGN 466.
3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

LEGEND

(N) NON-RATED PARTITION

WALL TAG

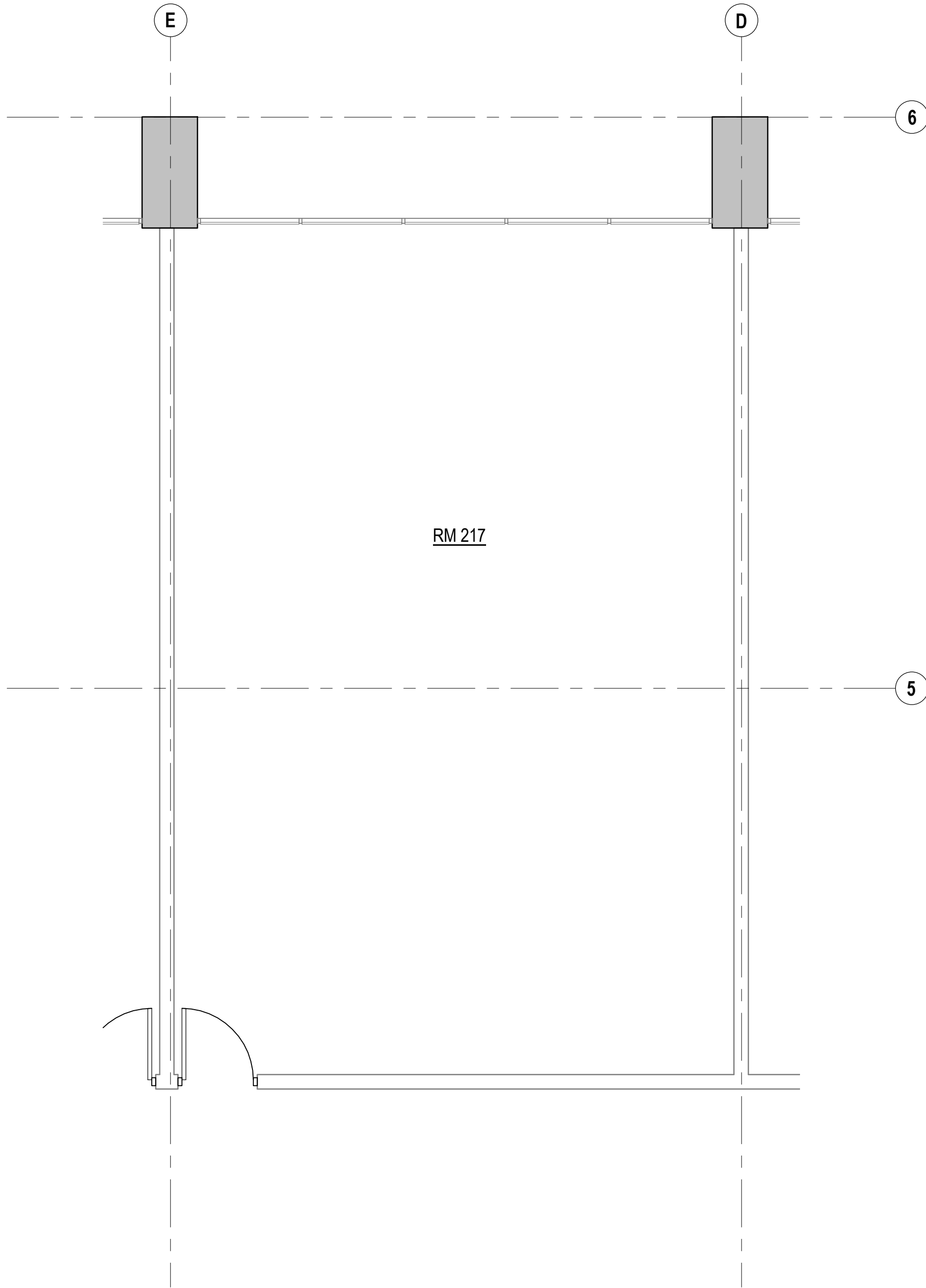
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WALL TYPE, REFER TO A-300 FOR DETAILS

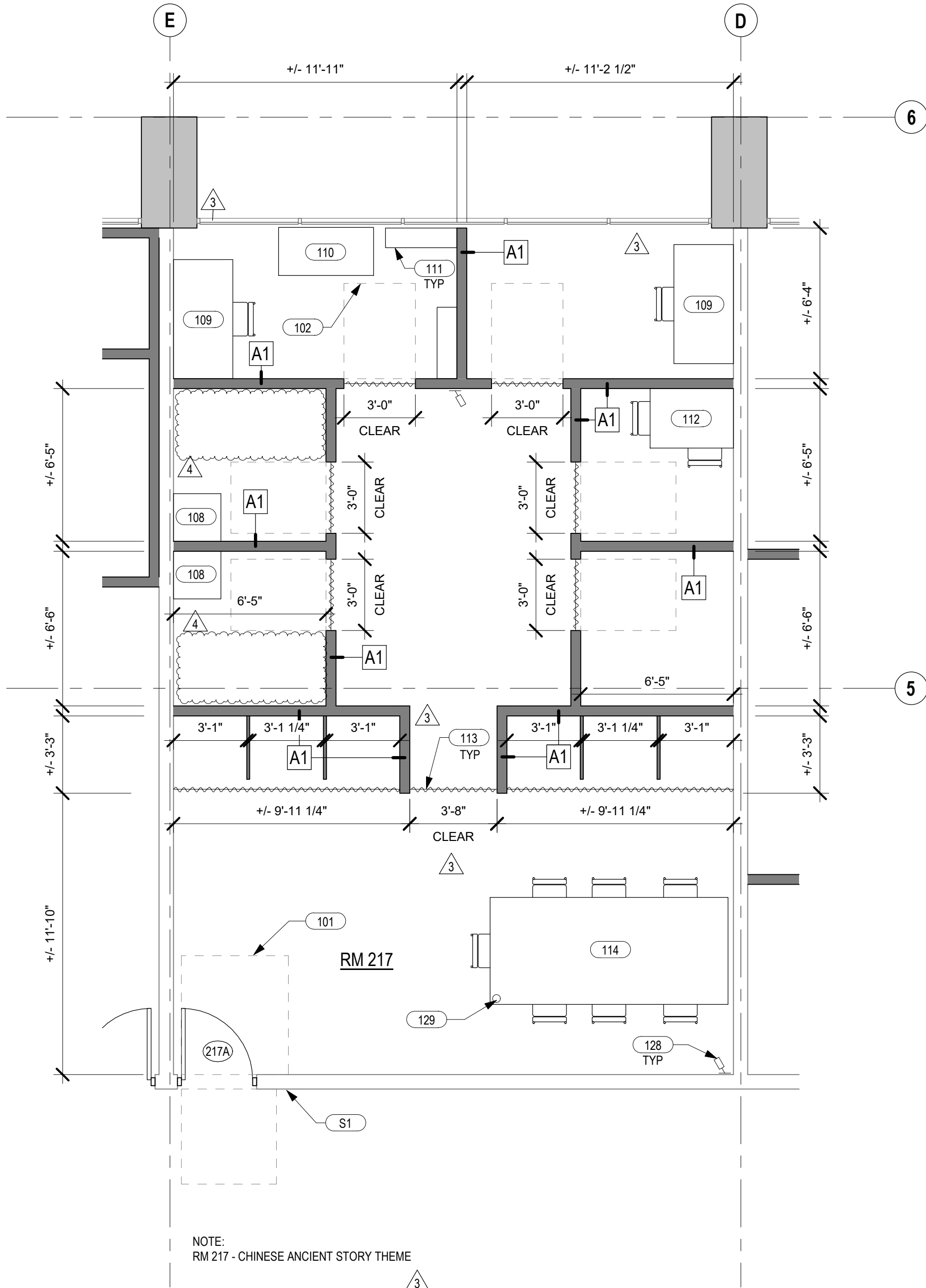
KEYNOTE

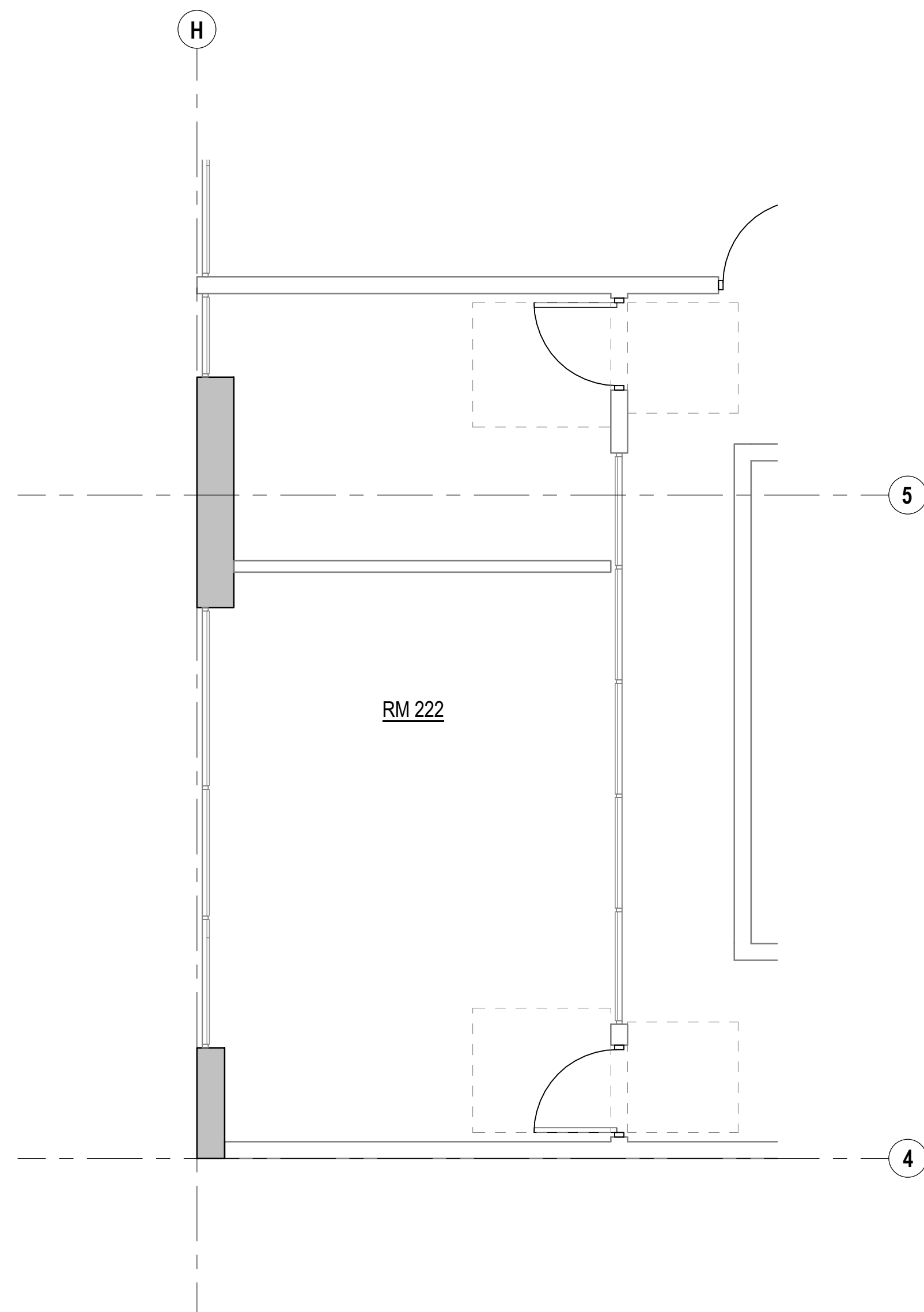
101	DOOR CLEARANCE SEE DETAIL 1/A-401
102	DOOR CLEARANCE 48"X36"
108	NIGHTSTAND NOT TO BE USED, FOR DECORATION ONLY
109	DESK AND CHAIR NOT TO BE USED, FOR DECORATION ONLY
110	STORAGE DRAWER NOT TO BE USED, FOR DECORATION ONLY
111	BOOK SHELF NOT TO BE USED, FOR DECORATION ONLY
112	TABLE WITH CHAIRS NOT TO BE USED, FOR DECORATION ONLY
113	CURTAIN
114	RECTANGLE TABLE WITH CHAIRS
128	WALL MOUNTED SECURITY CAMERA, REF DETAIL 19/A-401
129	BUZZ BUTTON, REF DETAIL 20/A-401
S1	(N) PERMANENT ROOM IDENTIFICATION SIGNAGE, SEE DETAIL 10/A-400

ENLARGED 2ND FLOOR EXISTING PLAN - RM 217 1/4" = 1'-0" 2

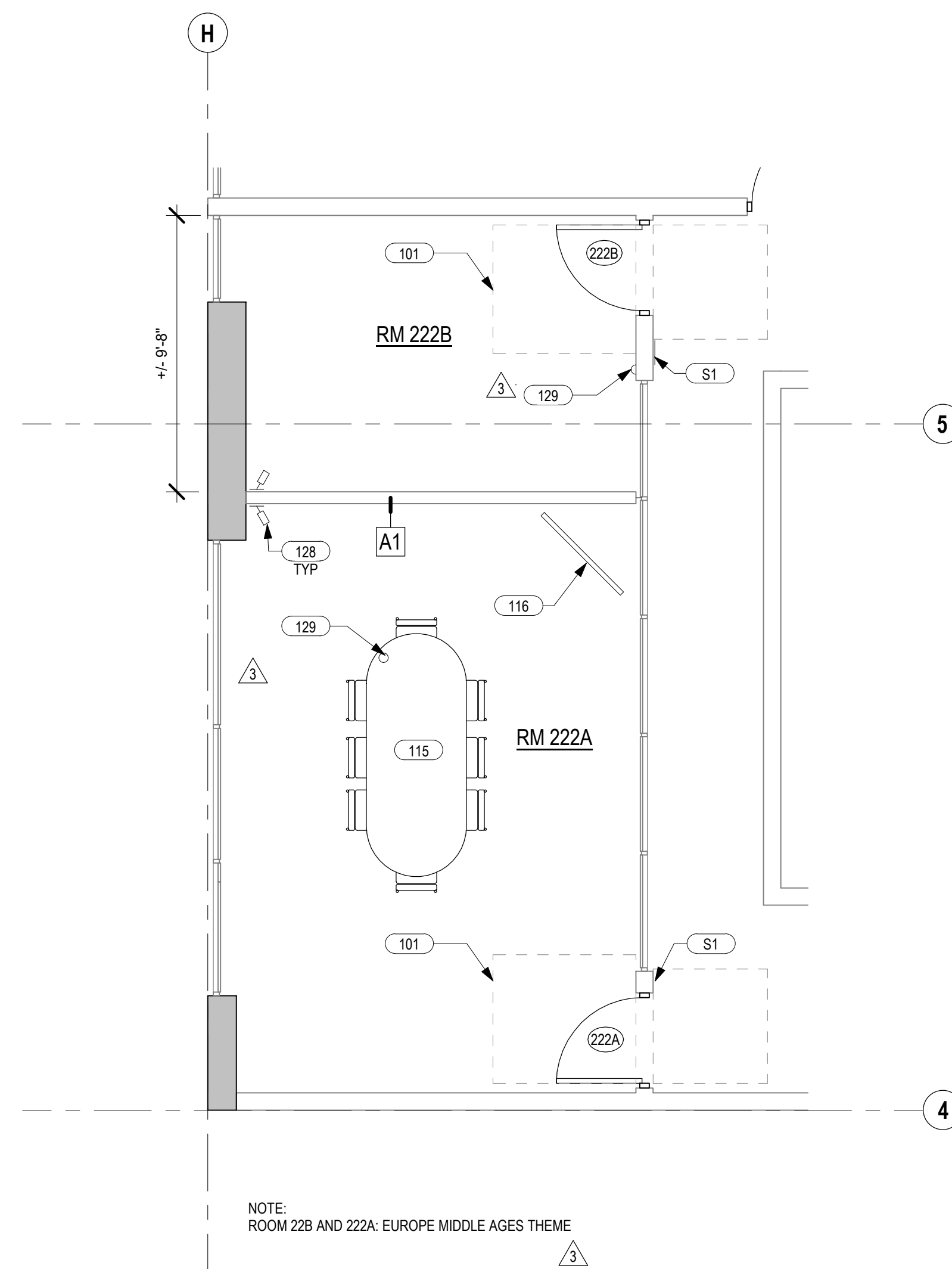


ENLARGED 2ND FLOOR PROPOSED PLAN - RM 217 1/4" = 1'-0" 1





ENLARGED 2ND FLOOR EXISTING PLAN - RM 222 1/4" = 1'-0" **(2)**



ENLARGED 2ND FLOOR PROPOSED PLAN - RM 222 1/4" = 1'-0" **1**

GENERAL NOTES

1. PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.

2. PROTECT & MAINTAIN ALL (E) WALL RATINGS, UON WHERE DAMAGE OCCURS TO THE (E) 1 HR. RATED FIRE PARTITION PATCH & REPAIR PER UL DESIGN 465.

3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

<p>LEGEND</p>	<p>DESIGNER: HAOCHING</p>
----------------------	--------------------------------------

LEGEND

(N) NON-RATED PARTITION

WALL TAG

A# — WALL TYPE, REFER TO A-300 FOR DETAILS

KEYNOTE

101	DOOR CLEARANCE SEE DETAIL 1/A-401
115	OVAL TABLE WITH CHAIRS
116	BULLETIN BOARD STAND
128	WALL MOUNTED SECURITY CAMERA, REF DETAIL 19/A-401
129	BUZZ BUTTON, REF DETAIL 20/A-401
S1	(N) PERMANENT ROOM IDENTIFICATION SIGNAGE, SEE DETAIL 10/A-400

LADC

DESIGN • BUILD • MANAGEMENT

LADC CONSULTING INC.
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OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAOCHING

PROPERTY OWNER:

PROJECT:

TENANT IMPROVEMENT

595 LAWRENCE EXPY
SUNNYVALE, CA 94085
APN #: 205-23-017

REVISION

#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

**ENLARGED 2ND
FLOOR PLANS
EXISTING &
PROPOSED**

SHEET OF:

A-203

REVISION

#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

ENLARGED 2ND
FLOOR PLANS
EXISTING &
PROPOSED

SHEET OF: 3

A-204

GENERAL NOTES

1. PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.
2. PROTECT & MAINTAIN ALL (E) WALL RATINGS. UON WHERE DAMAGE OCCURS TO THE (E) 1 HR. RATED FIRE PARTITION PATCH & REPAIR PER UL DESIGN 465.
3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

LEGEND

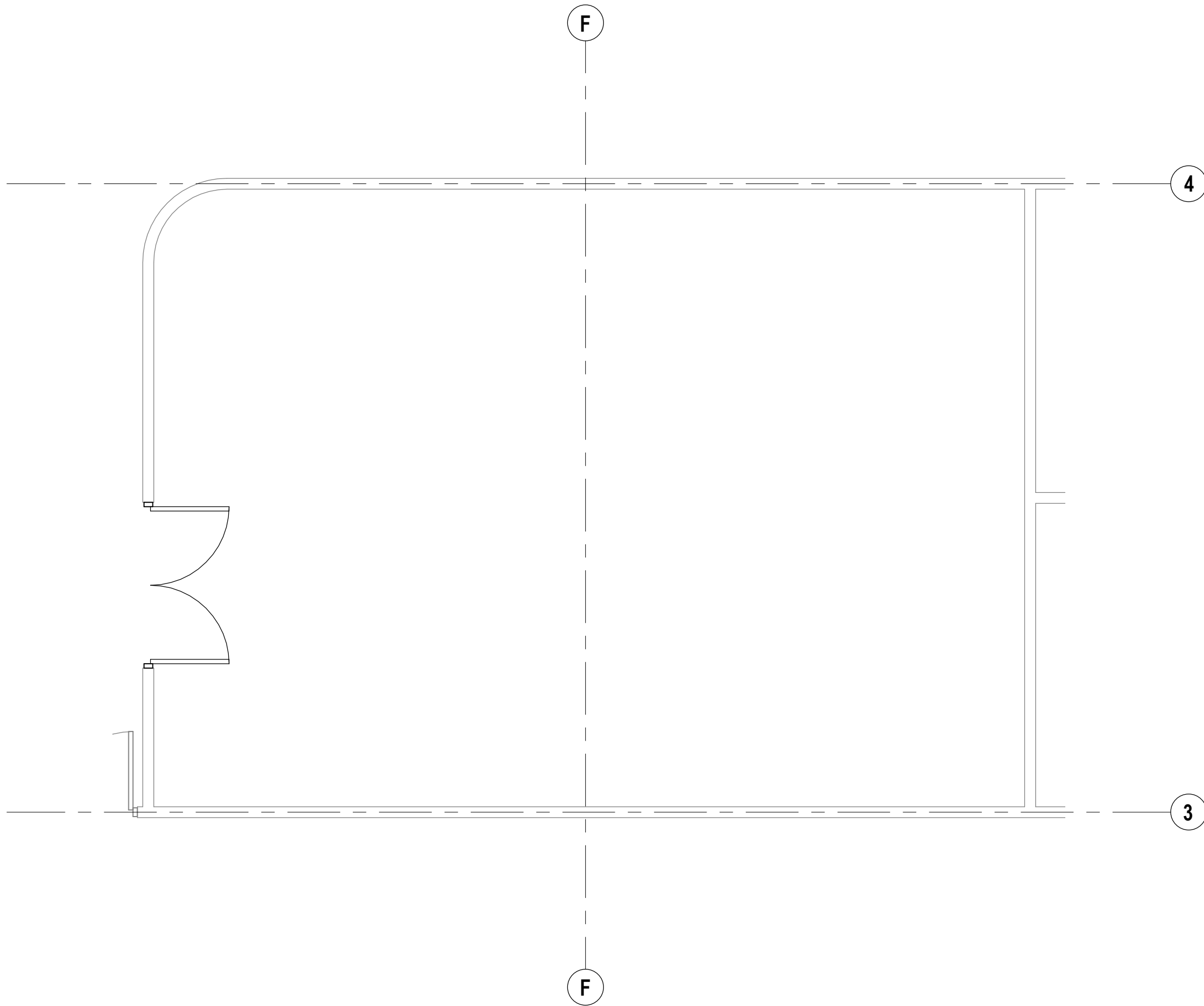
(E) PARTITION

WALL TAG

A# WALL TYPE. REFER TO A-300 FOR DETAILS

KEYNOTE

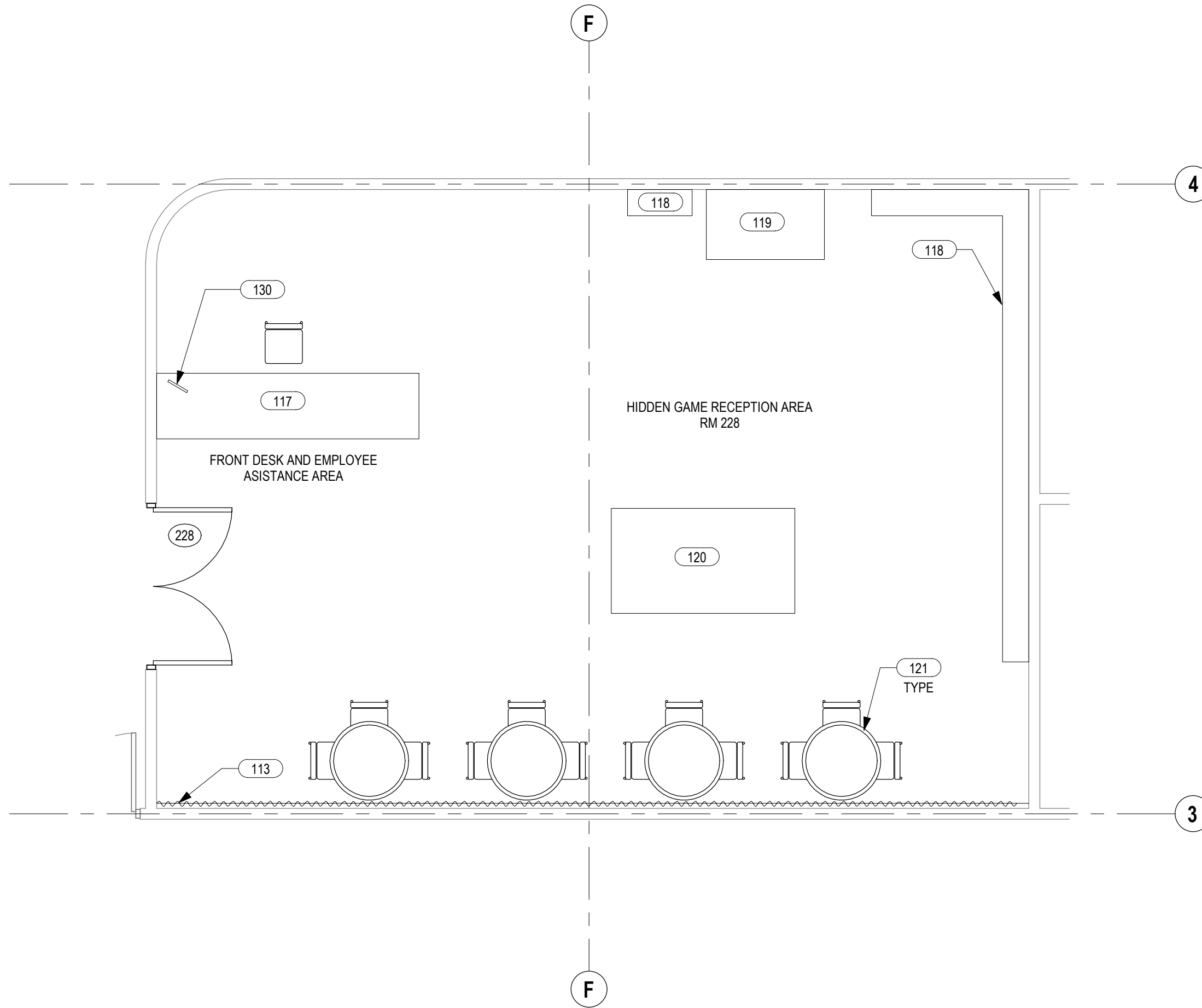
109	DESK AND CHAIR NOT TO BE USED, FOR DECORATION ONLY
113	CURTAIN
117	RECEPTION DESK
118	STORAGE SHELF
119	BEVERAGE REFRIGERATOR
120	POOL TABLE
121	ROUND TABLE WITH CHAIRS
122	SIDE TABLE WITH CHAIRSS
123	COFFEE TABLE
128	WALL MOUNTED SECURITY CAMERA, REF DETAIL 19/A-401
129	BUZZ BUTTON, REF DETAIL 20/A-401
130	BUZZ BUTTON RECEIVER, REF DETAIL 20/A-401



ENLARGED 2ND FLOOR EXISTING PLAN - RM 228

1/4" = 1'-0"

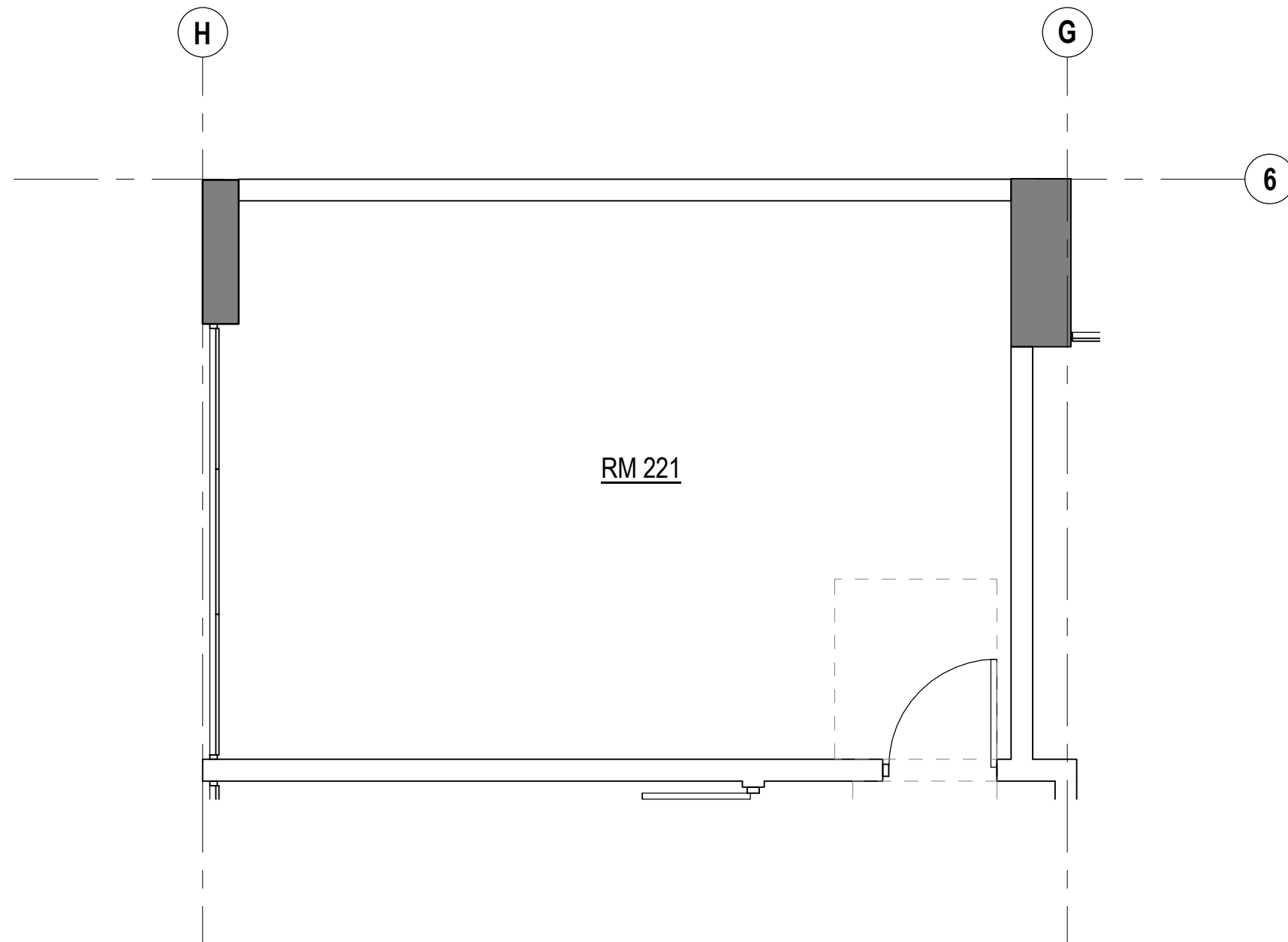
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ENLARGED 2ND FLOOR PROPOSED PLAN - RM228

1/4" = 1'-0"

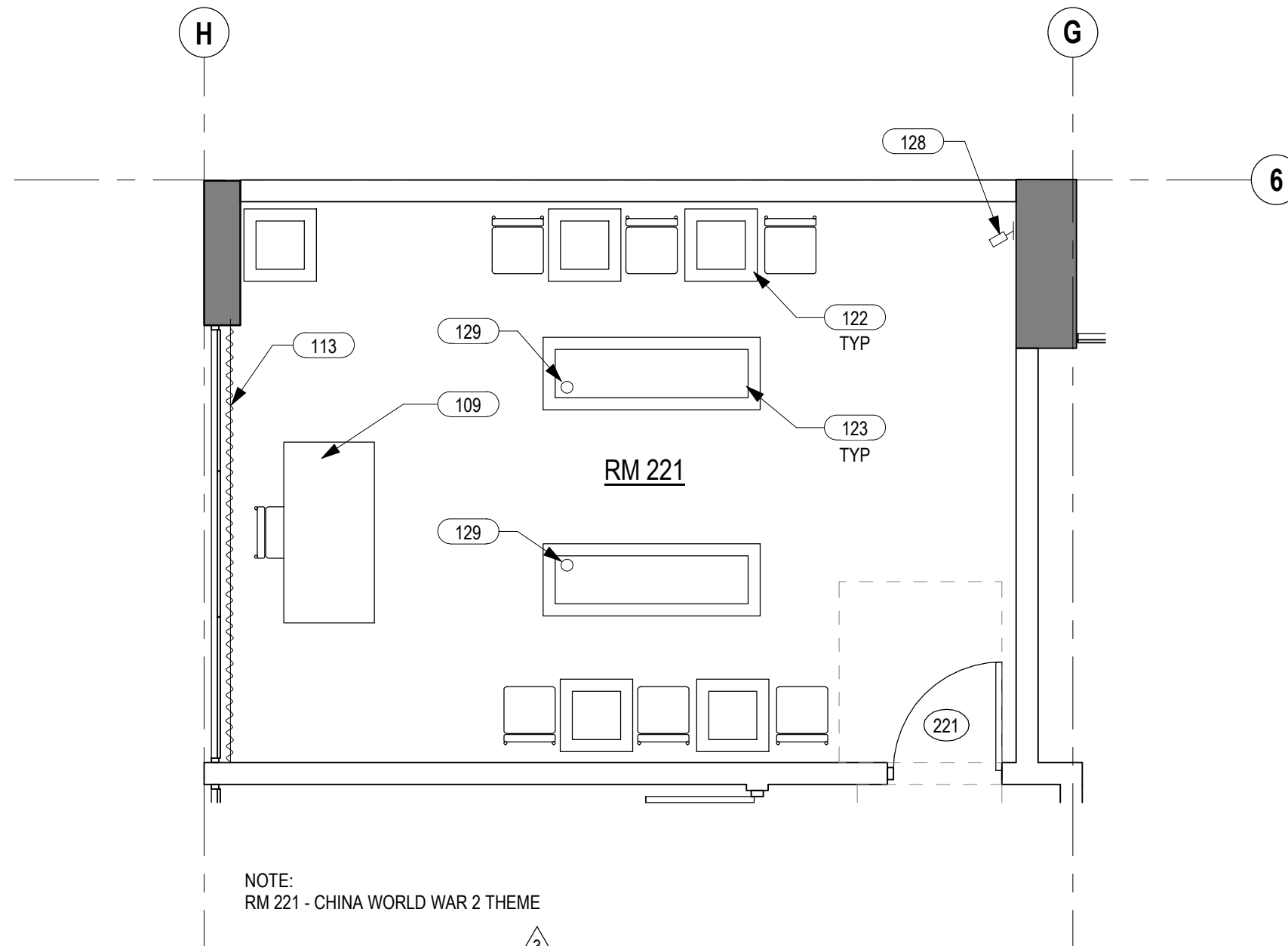
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ENLARGED 2ND FLOOR EXISTING PLAN - RM 221

1/4" = 1'-0"

4



ENLARGED 2ND FLOOR PROPOSED PLAN - RM 221

1/4" = 1'-0"

3

LADC

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1590 OAKLAND RD., STE B212

SAN JOSE, CA 95131

OFFICE: (408) 642-1628

FAX: (408) 642-1539

DESIGNER:

HAOCHING

PROPERTY OWNER:

PROJECT:

TENANT IMPROVEMENT

595 LAWRENCE EXPY

SUNNYVALE, CA 94085

APN #: 205-23-017

GENERAL NOTES

1. PRESERVE & PROTECT (E) FINISHES THAT ARE TO REMAIN. WHERE DAMAGE OCCURS DURING CONSTRUCTION PATCH & REPAIR ALL WALLS, CEILINGS, AND FLOOR SURFACES TO MATCH (E). WALLS SHALL BE PAINTED TO NEAREST INTERSECTION.
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3. WHERE FLOOR JOINTS OCCUR @ DOORWAYS JOINT SHALL BE @ CENTERLINE OF DOOR AND COMPLETELY HIDDEN FROM VIEW WHEN DOOR IS IN THE CLOSED POSITION.

LEGEND

(E) PARTITION

WALL TAG

A#

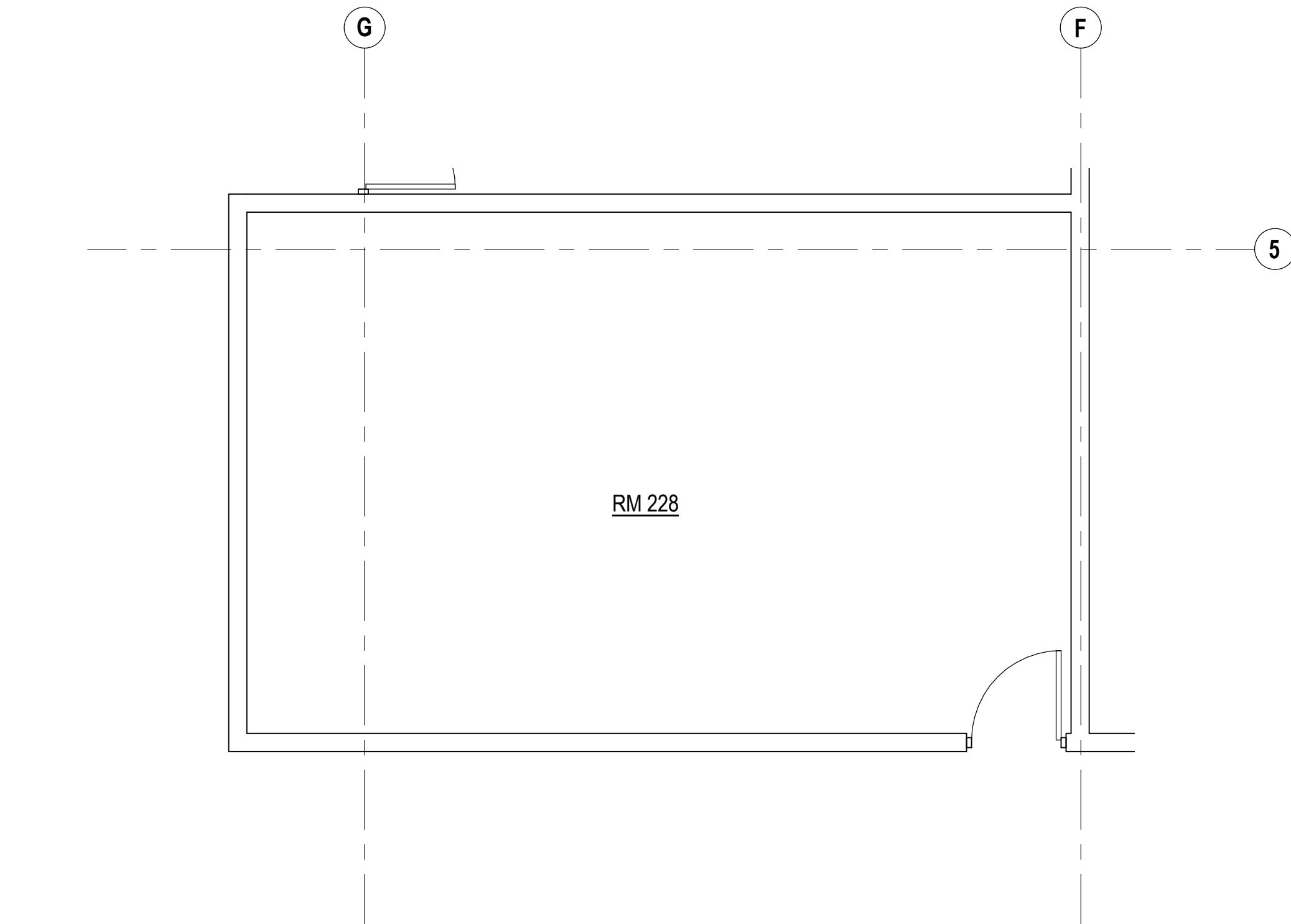
WALL TYPE, REFER TO A-300 FOR DETAILS

KEYNOTE

105	RECTANGLE TABLE WITH CHAIRS
113	CURTAIN
116	BULLETIN BOARD STAND
122	SIDE TABLE WITH CHAIRSS
124	CASEWORK NOT TO BE USED, FOR DECORATION ONLY
125	WALL PARTITION, FOR DECORATION ONLY
126	COFFEE TABLE NOT TO BUE USED, FOR DECORATION ONLY
127	RAISED PLATFORM +/- 6"
128	WALL MOUNTED SECURITY CAMERA, REF DETAIL 19/A-401
129	BUZZ BUTTON, REF DETAIL 20/A-401

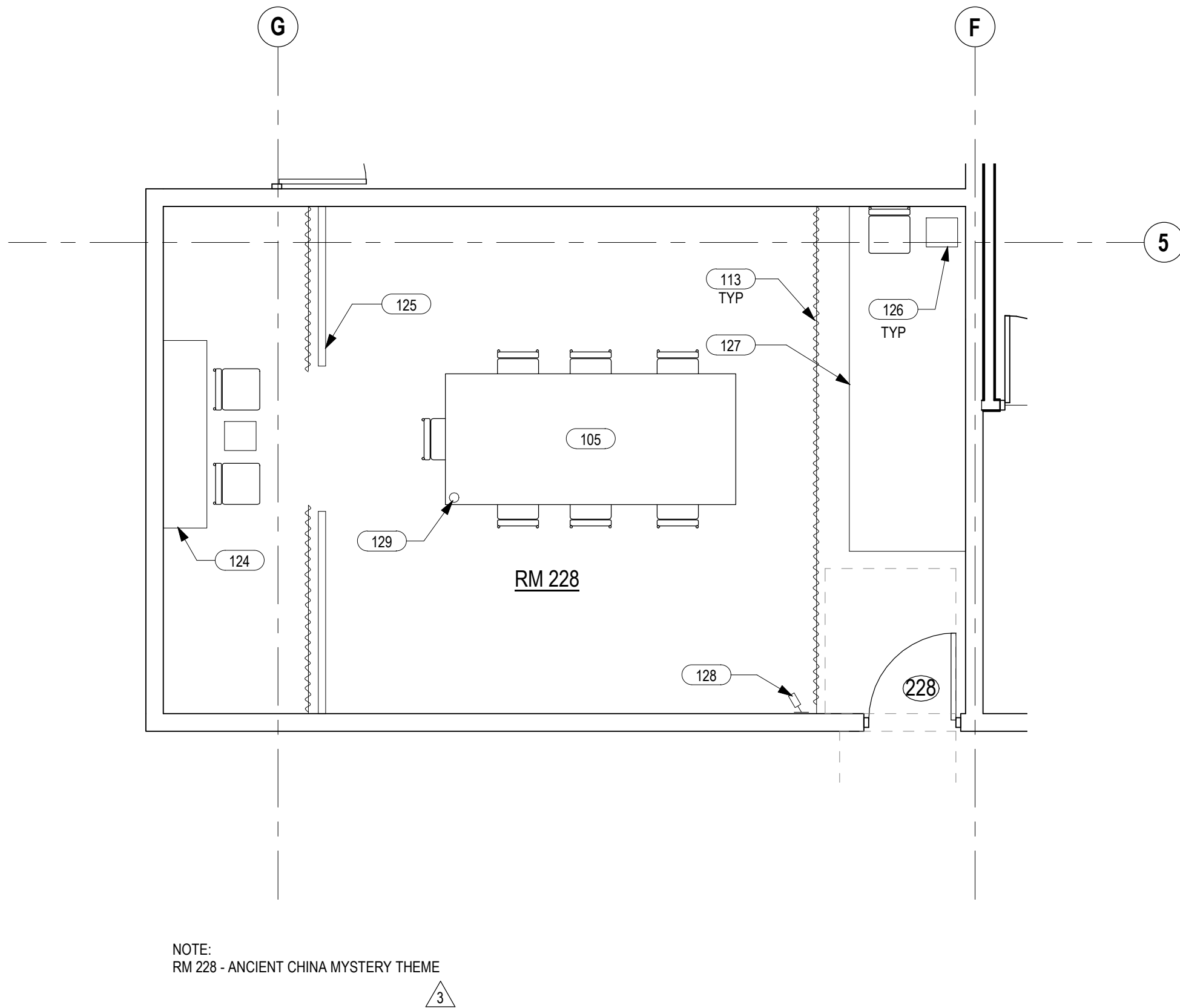
ENLARGED 2ND FLOOR EXISTING PLAN - RM 220 1/4" = 1'-0" 3

ENLARGED 2ND FLOOR PROPOSED PLAN - RM220 1/4" = 1'-0" 1



ENLARGED 2ND FLOOR EXISTING PLAN - RM 219 1/4" = 1'-0" 4

ENLARGED 2ND FLOOR PROPOSED PLAN - RM 219 1/4" = 1'-0" 2



REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

ENLARGED 2ND
FLOOR PLANS
EXISTING &
PROPOSED

SHEET OF:

A-205 3

LADC

DESIGN • BUILD • MANAGEMENT

LADC CONSULTING INC.
1590 OAKLAND RD., STE B212
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
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PROJECT:

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595 LAWRENCE EXPY
SUNNYVALE, CA 94085
APN #: 205-23-017

REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED

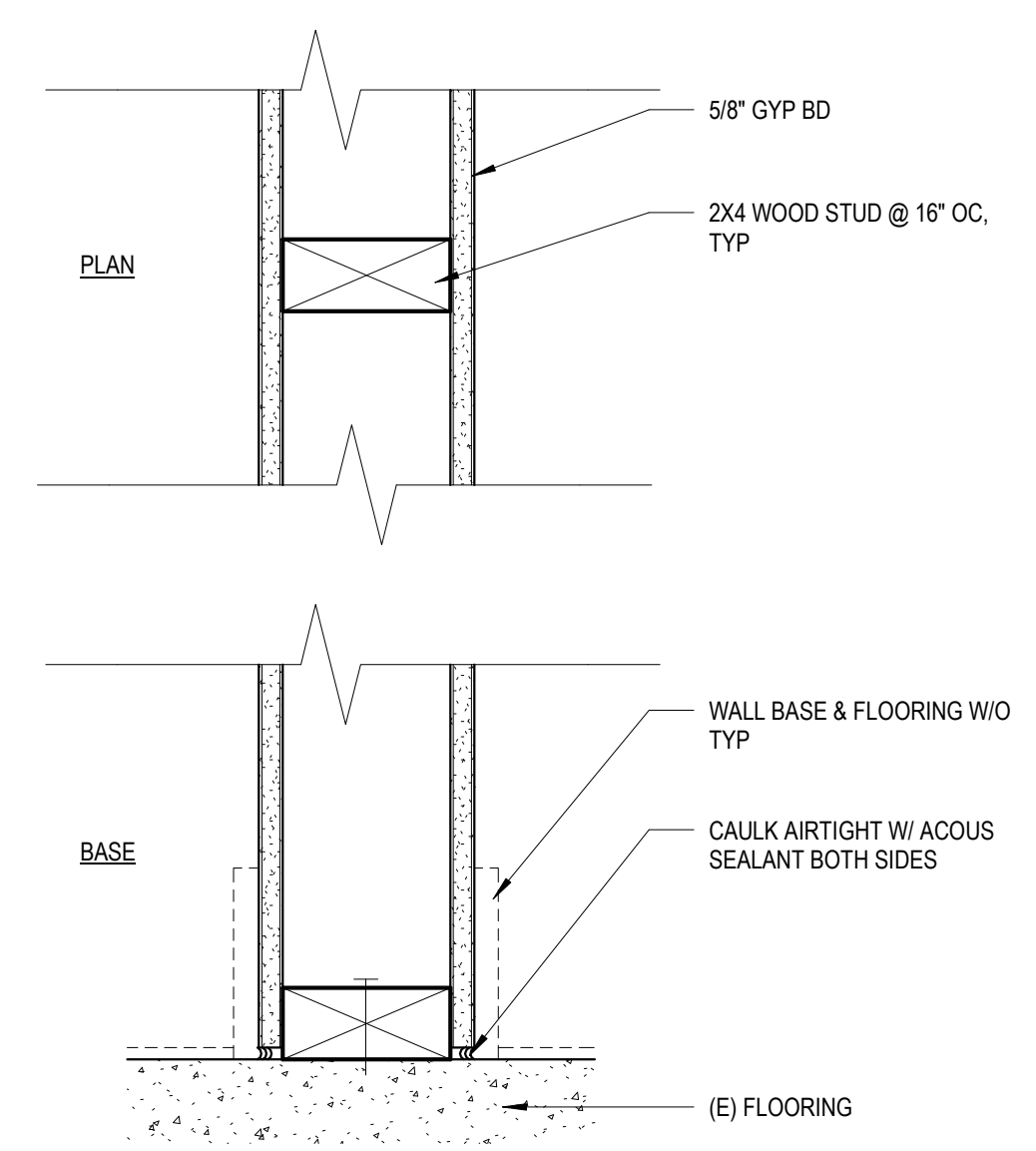
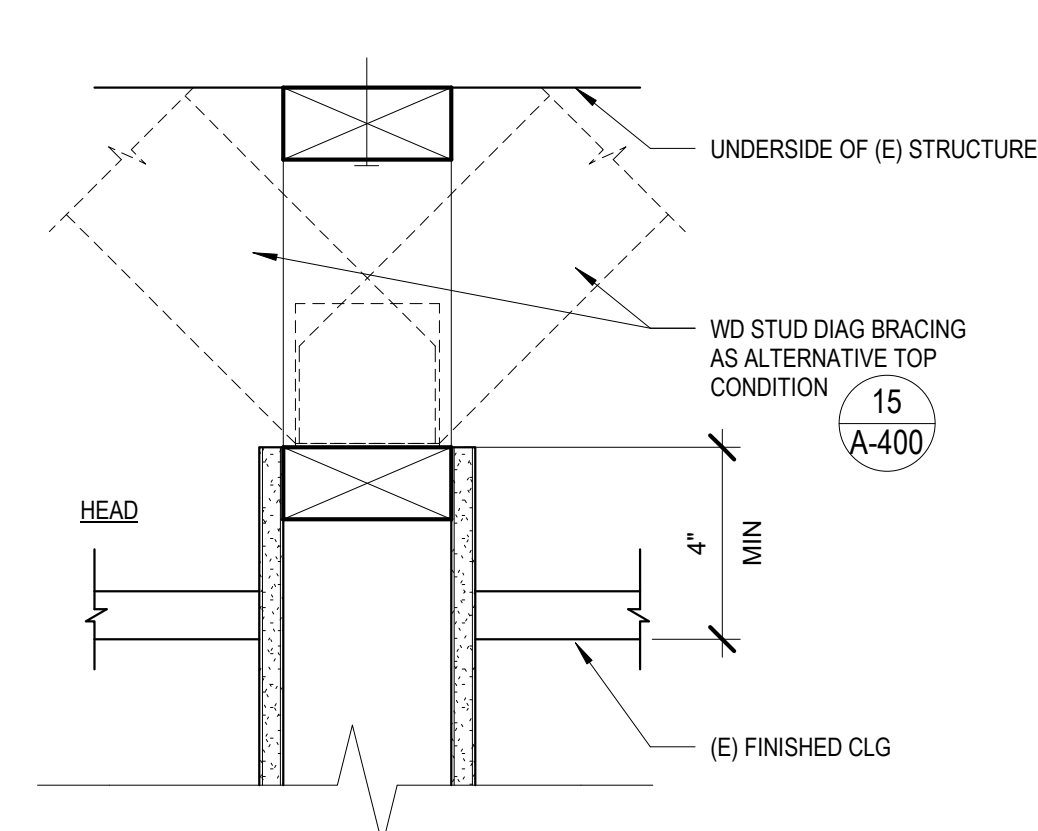
DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

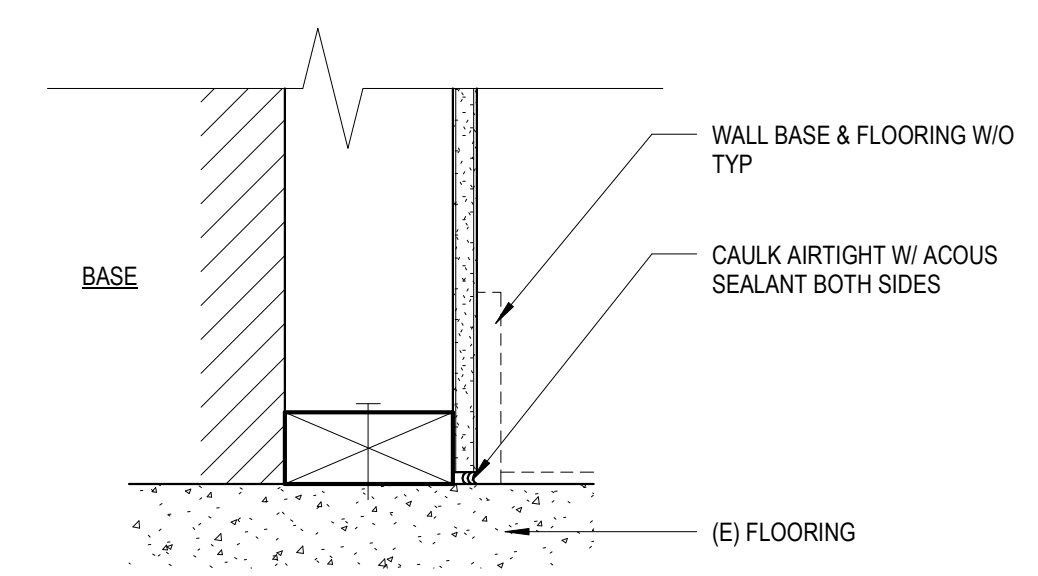
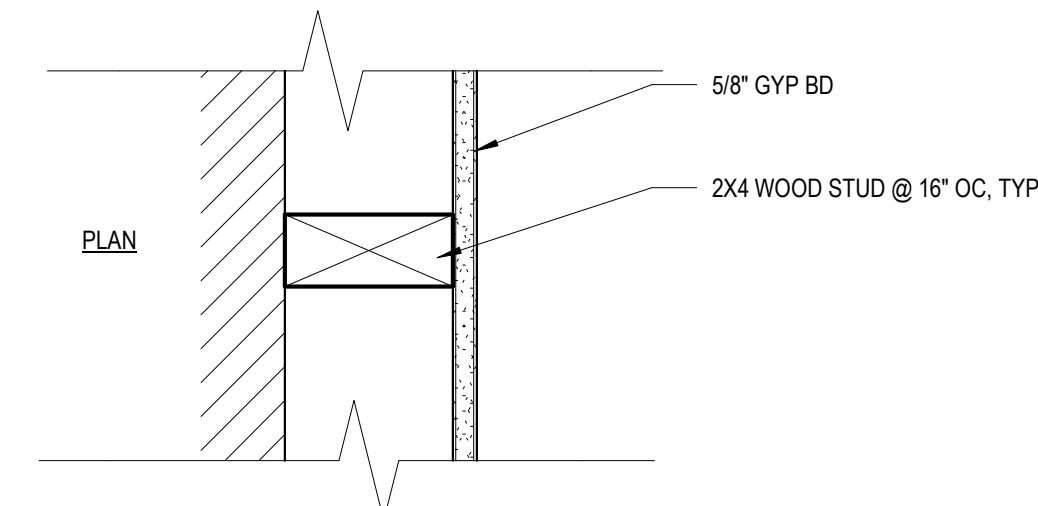
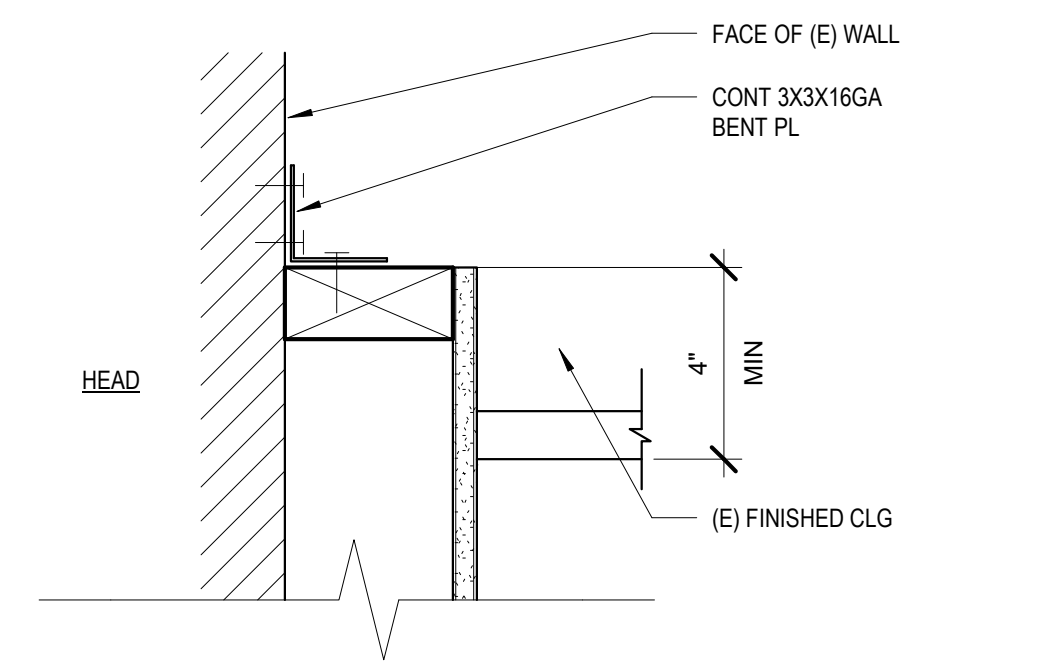
DETAILS

SHEET OF:

A-400



TYPE A1 - NON-RATED PTN

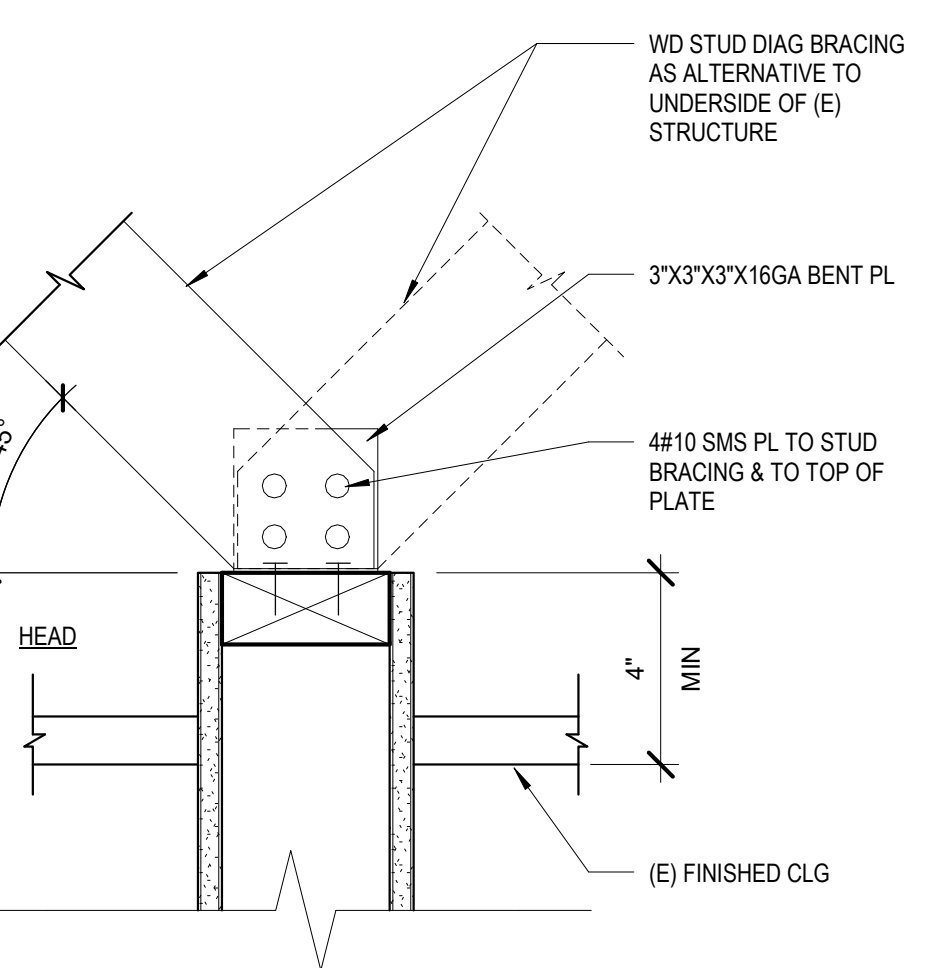
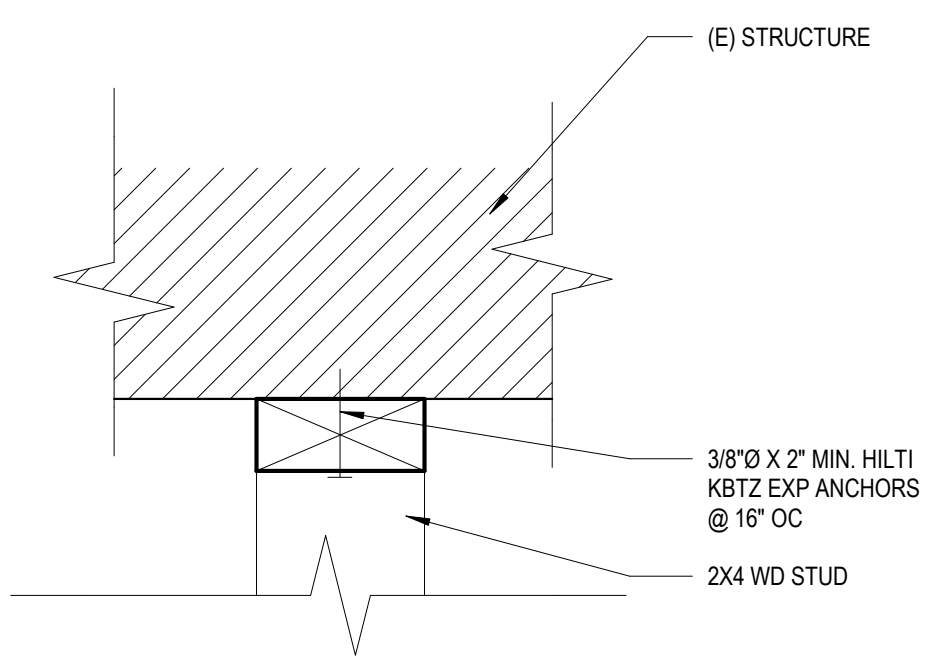
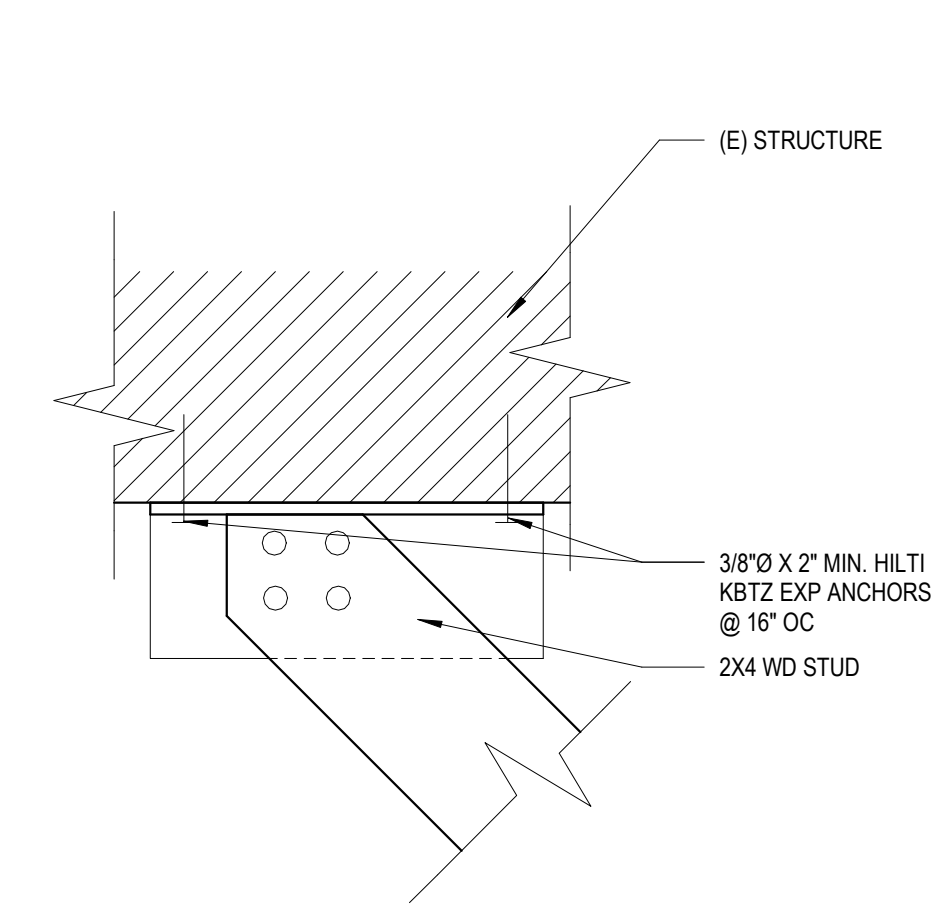


TYPE A2 - FURRED WALL

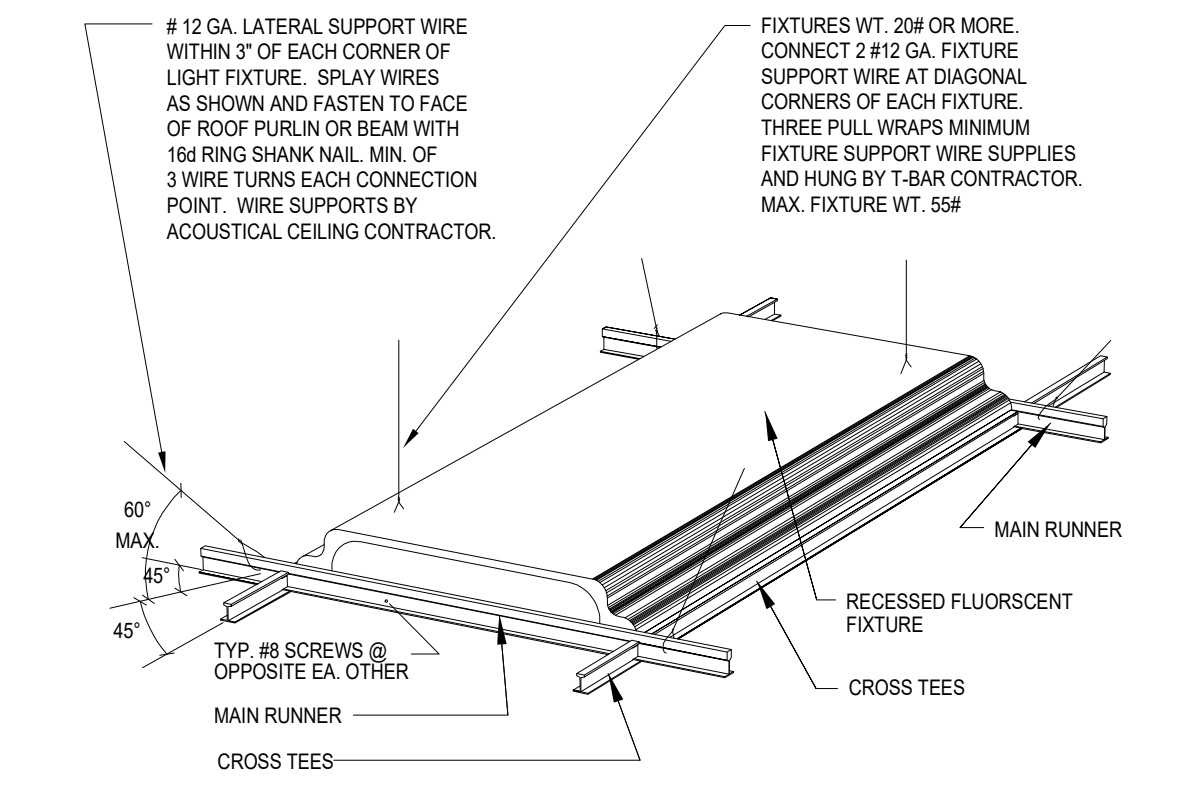
A.

B.

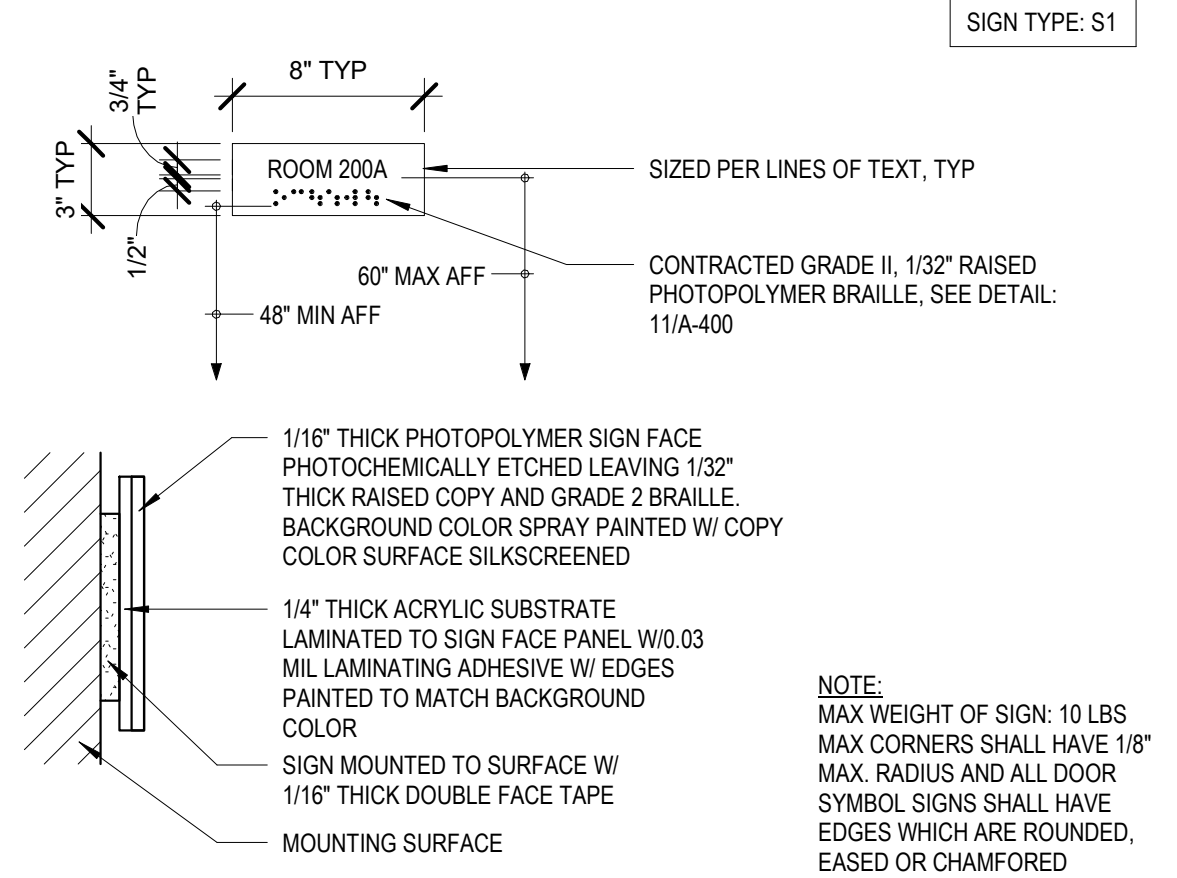
C.



CONNECTION TO (E) STRUCTURE

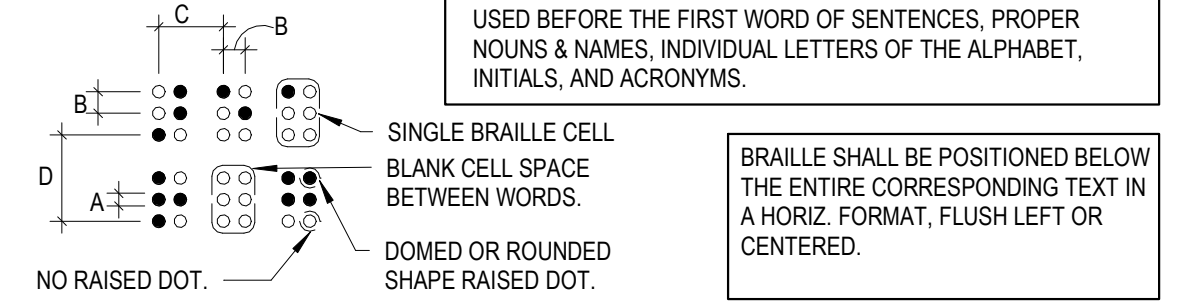


(E) FLUORESCENT LIGHT SUPPORT

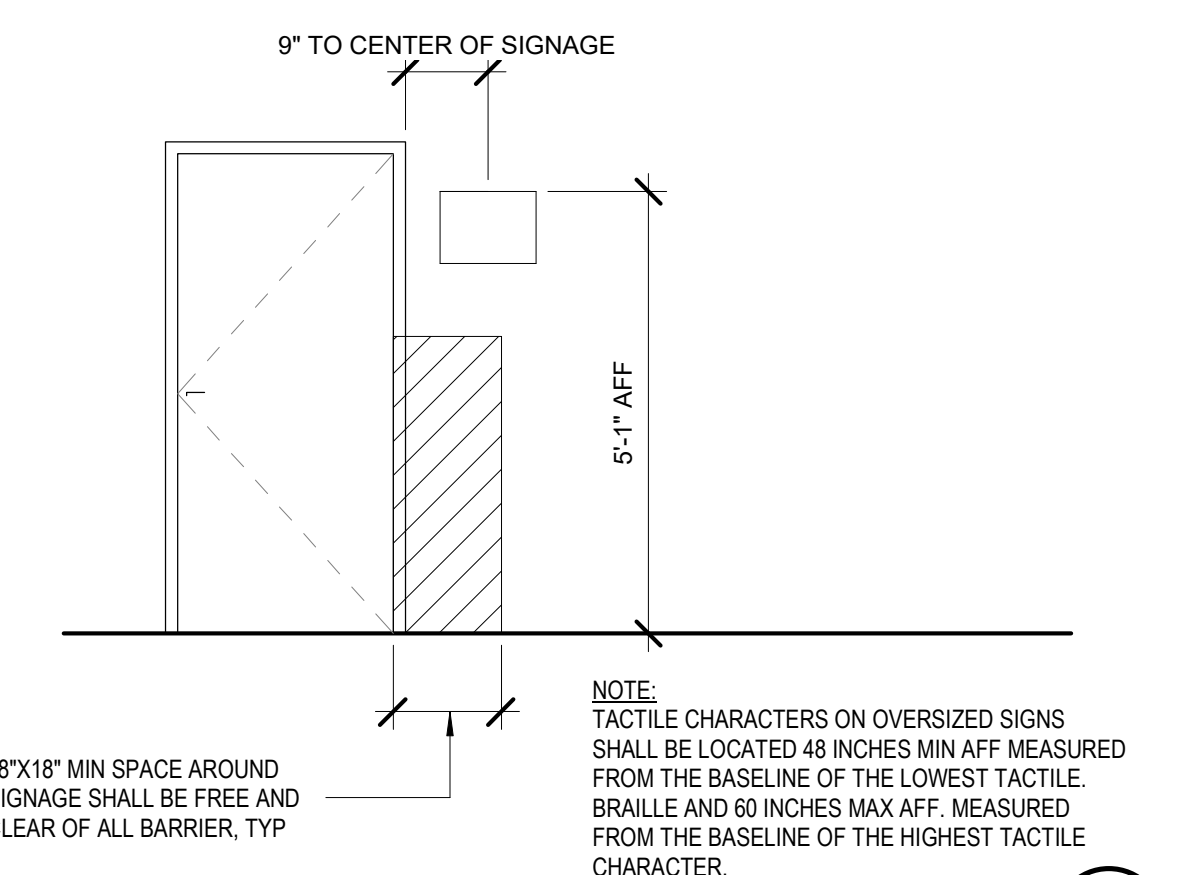


PERMANENT ROOM ID. SIGNAGE, TYP

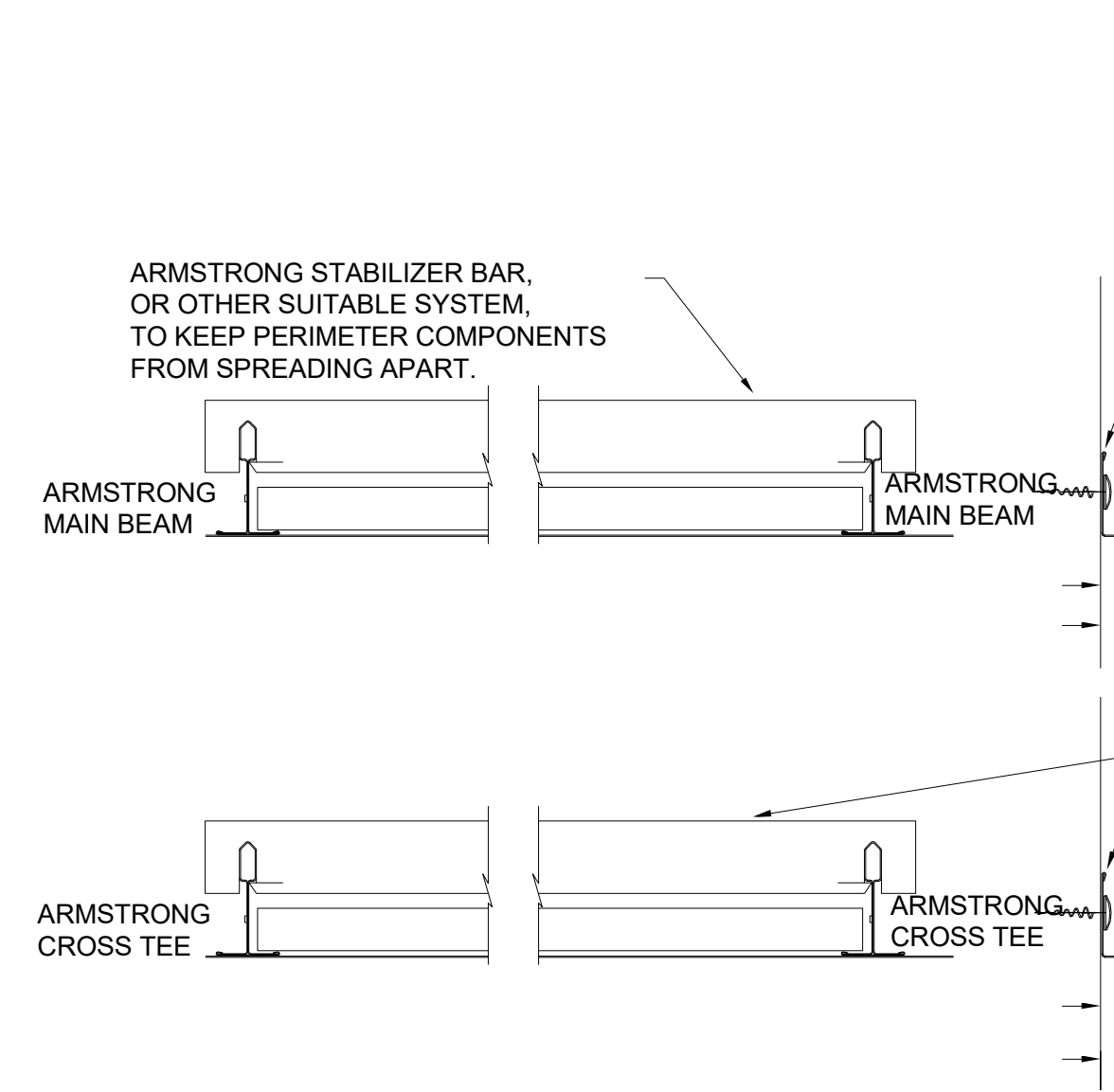
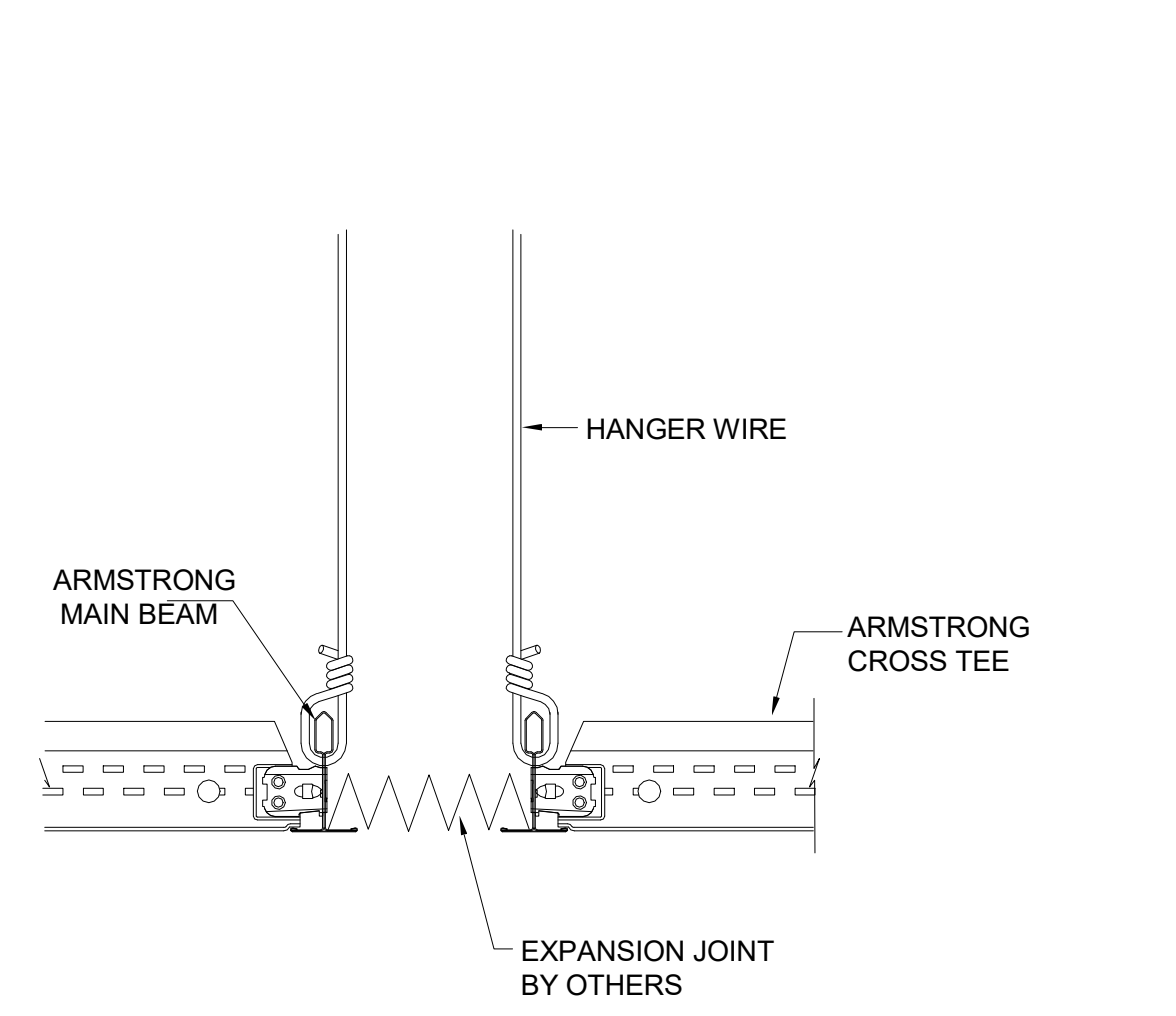
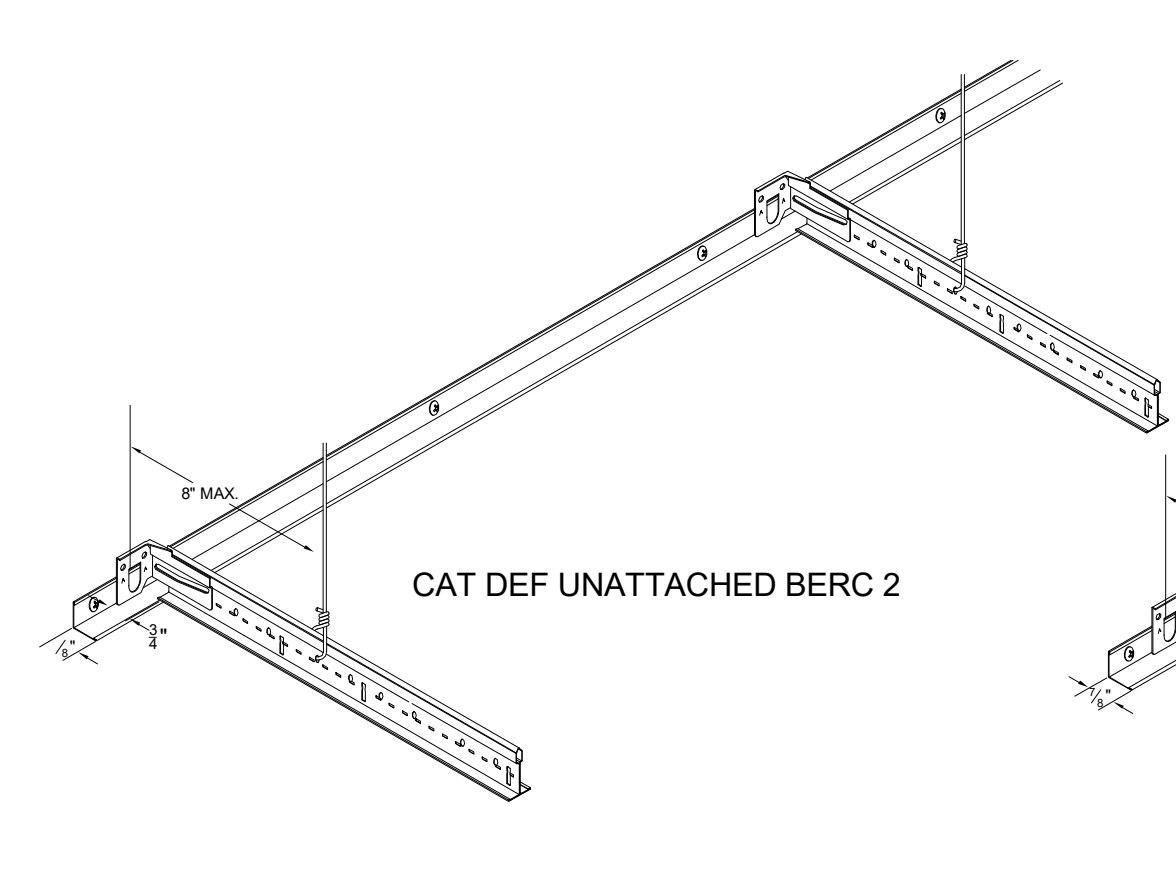
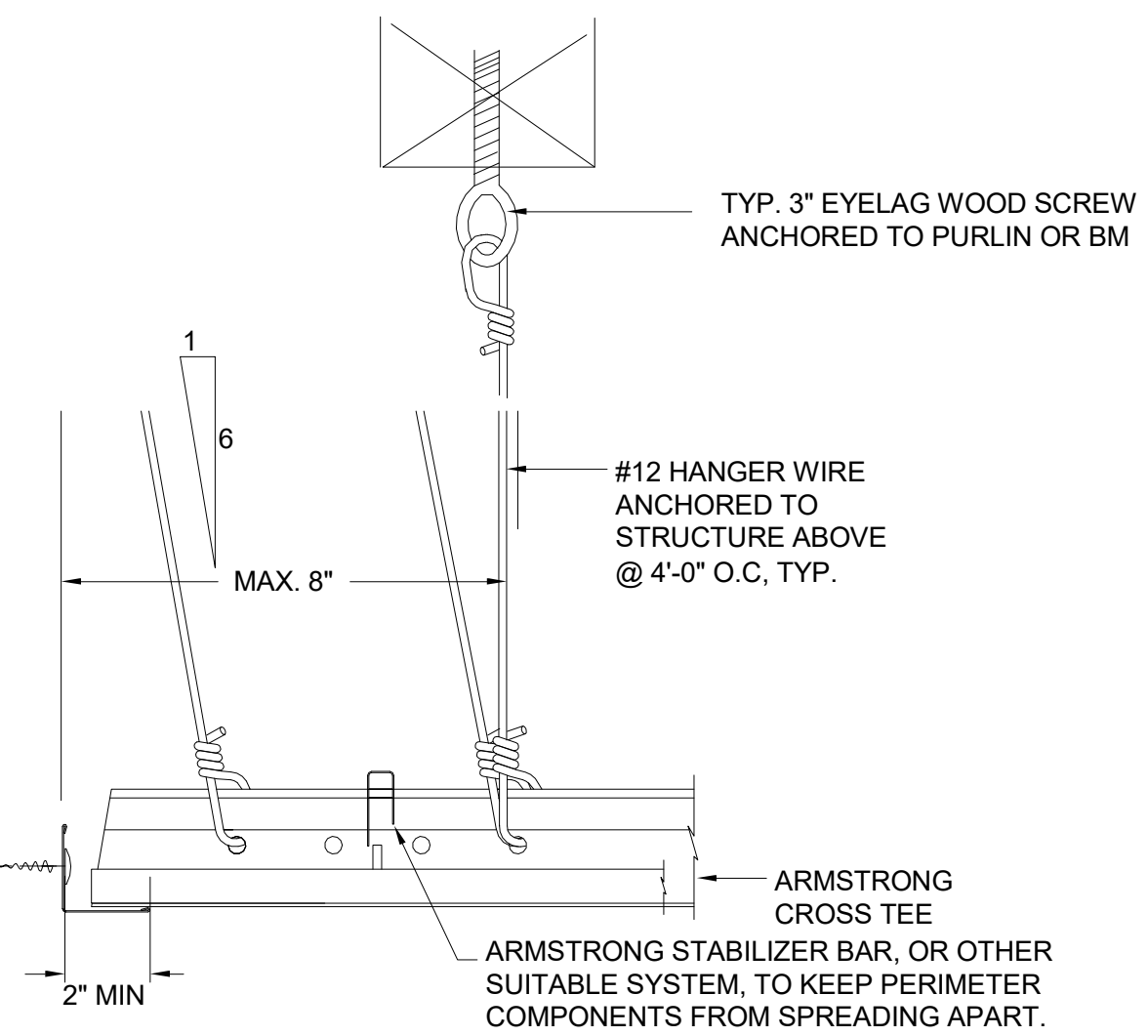
CONTRACTED GRADE II BRAILLE DIMENSIONS (CBC 11B-703.3.1)		
MEASUREMENT RANGE (*MEASURED CENTER TO CENTER)		MINIMUM IN INCHES MAXIMUM IN INCHES
A	DOT BASE DIAMETER	.059 TO .063
B	DISTANCE BETWEEN TWO DOTS IN THE SAME CELL*	.100
C	DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS*	.3
D	DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW*	.0395 TO .400
	DOT HEIGHT	.025 TO .037



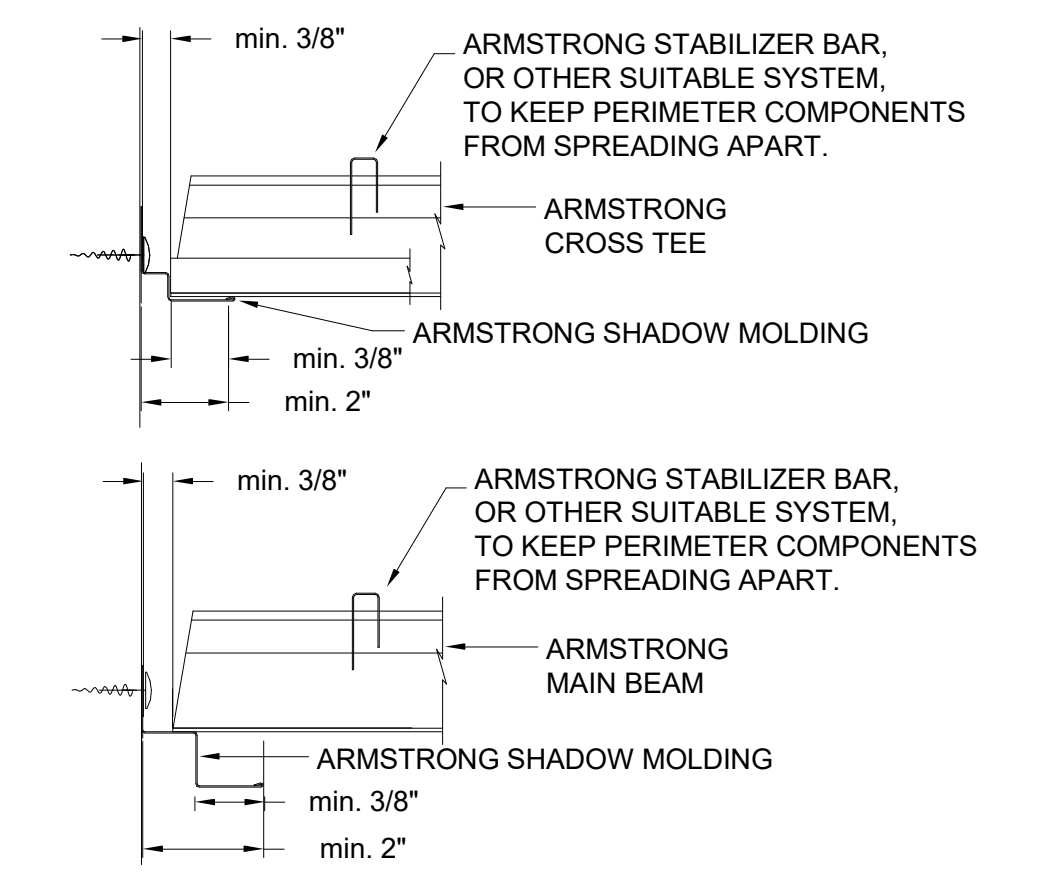
BRaille DIMENSIONS



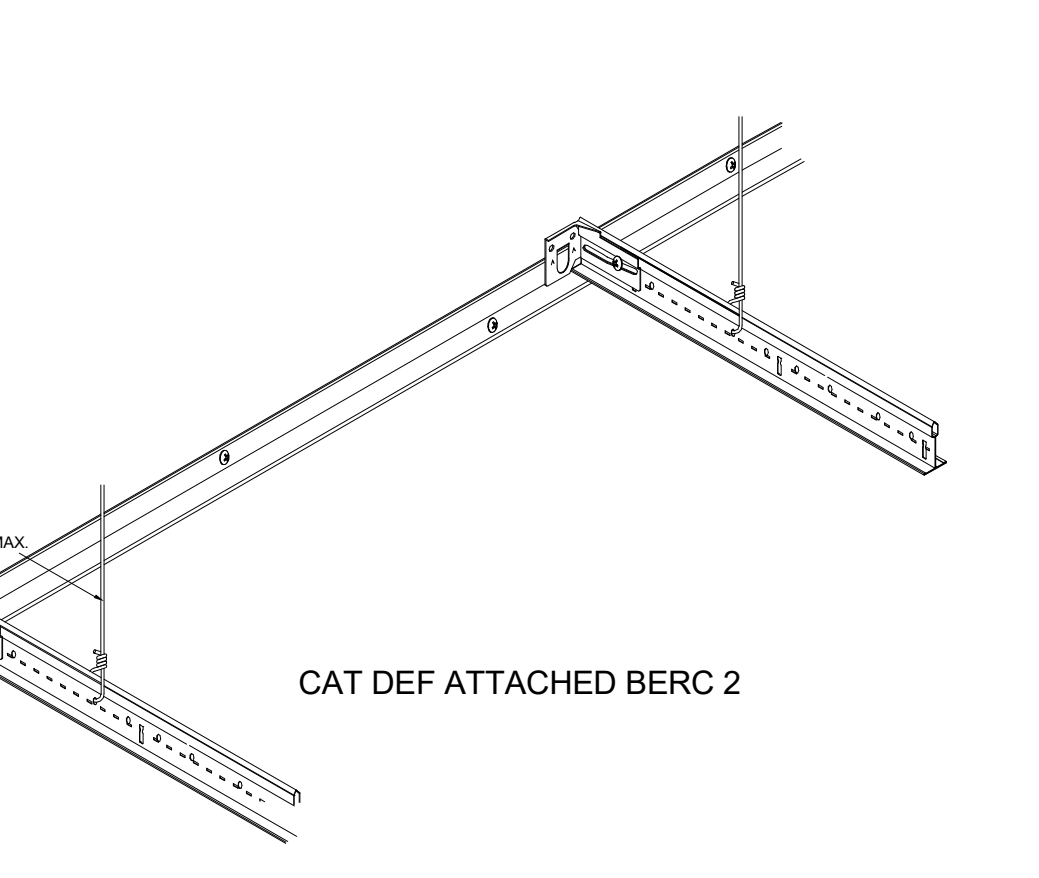
SIGNAGE MOUNTING HEIGHT



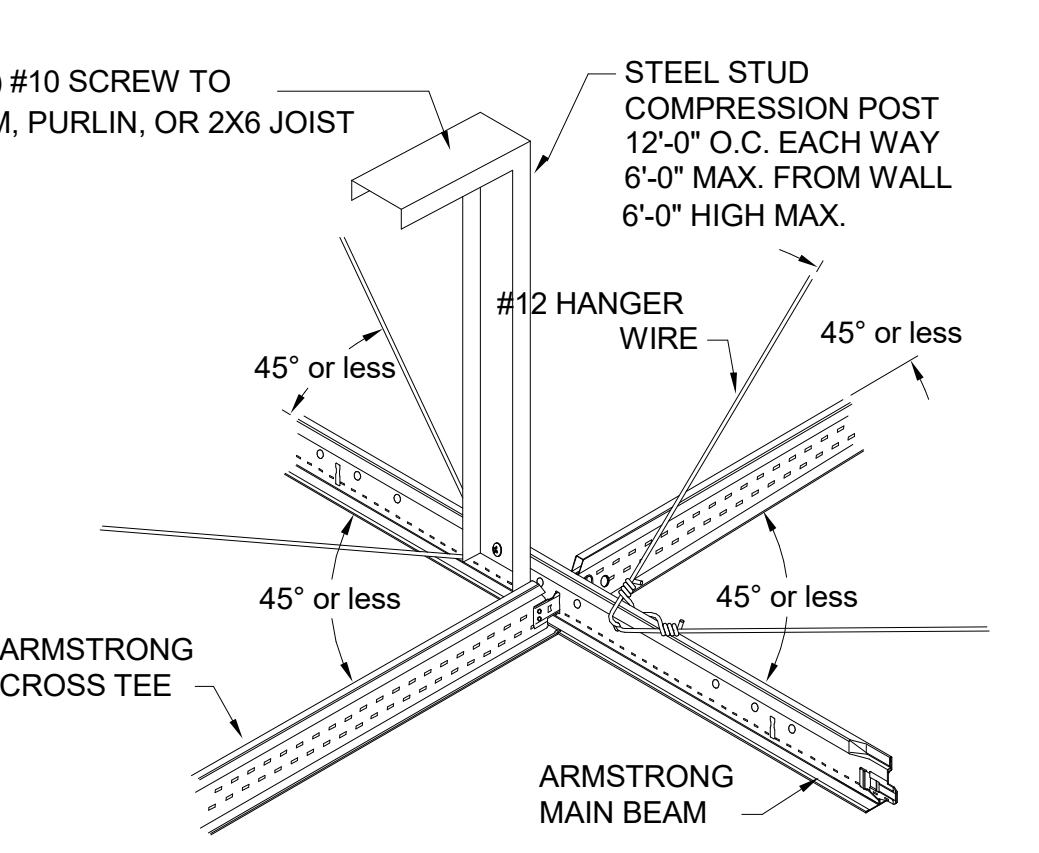
STABILIZER BAR INSTALLATION



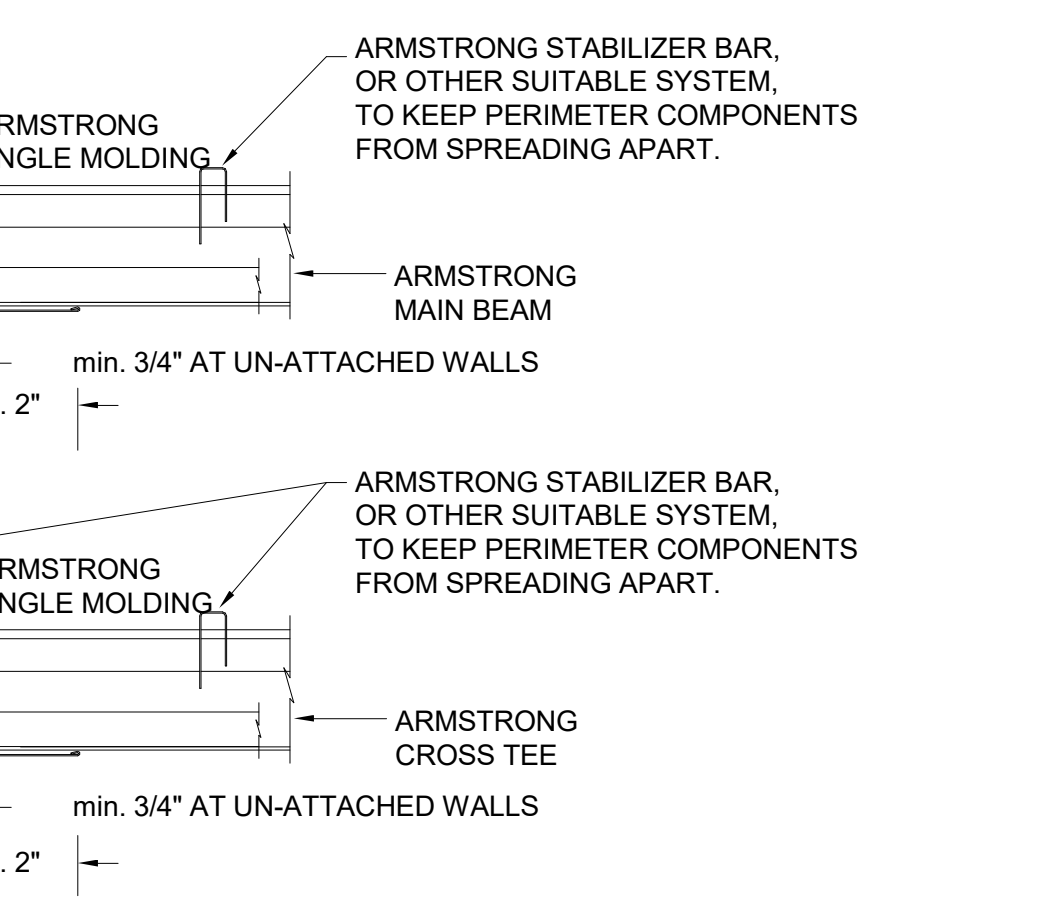
SEISMIC DETAIL CAT CDEF



BRACING DETAIL



COMPRESSION POST AND SPLAY WIRE INSTALLATION



STABILIZER BAR INSTALLATION

REVISION		
#	DATE	DESCRIPTION
0		ORIGINAL ISSUED
3	5/20/23	PLAN CHECK COMMENT 3

DATE:
DRAWN:
PROJECT NO.:

SHEET TITLE:

DOOR & WINDOW
SCHEDULE &
DETAILS

SHEET OF:

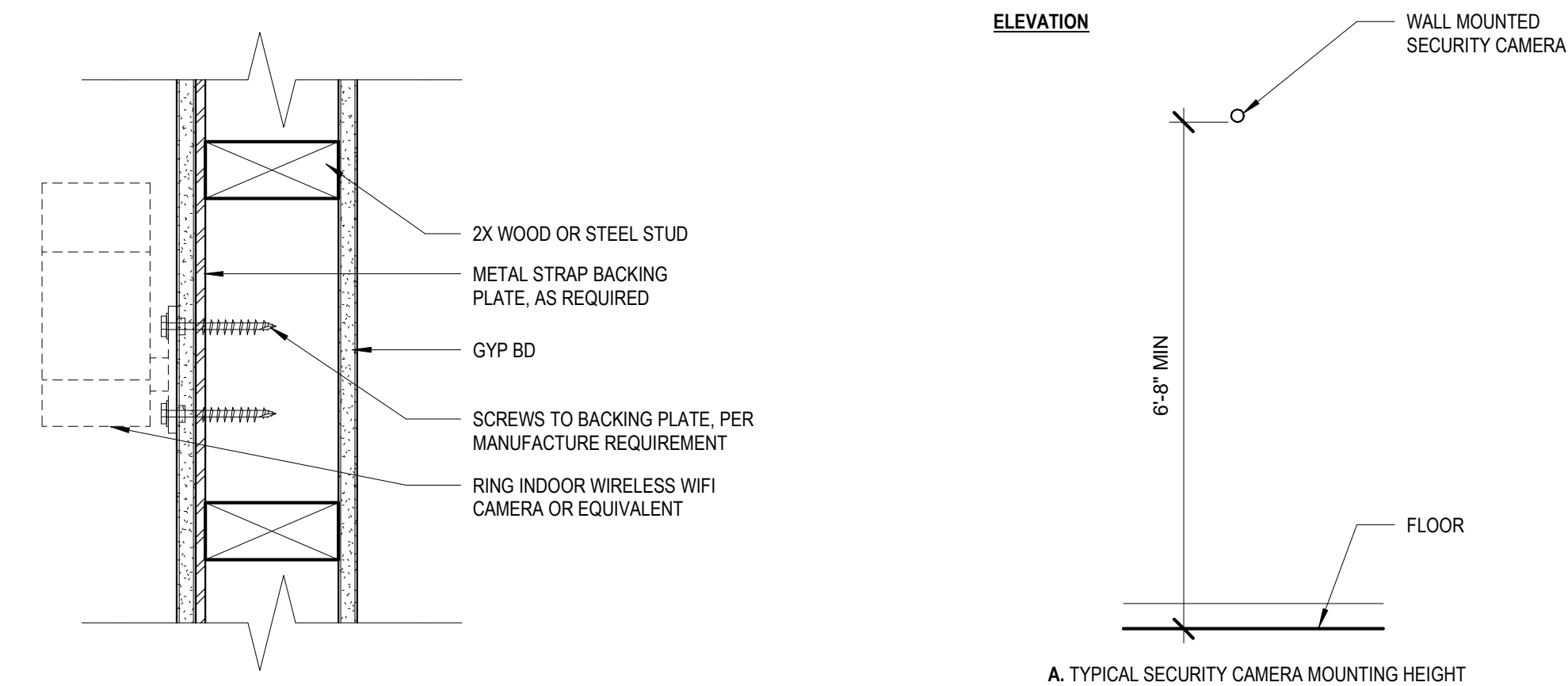
A-401

DOOR SCHEDULE											
NO.	SIZE		DOOR TYPE	DOOR				FRAME			HARDWARE GROUP
	WIDTH	HEIGHT		MATERIAL	FINISH	CORE	GLAZING	MATERIAL / TYPE	HEAD/JAMB	SILL	
216A	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
216B	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
216B1	3'-0"	6'-8"	A	WD	PAINT, UON	H	-	HM / A	2/A-401	3/A-401	1
216B2	3'-0"	6'-8"	A	WD	PAINT, UON	H	-	HM / A	2/A-401	3/A-401	1
217A	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
218	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
218B	3'-0"	6'-8"	A	WD	PAINT, UON	H	-	HM / A	2/A-401	3/A-401	1
218C	3'-0"	6'-8"	A	WD	PAINT, UON	H	-	HM / A	2/A-401	3/A-401	1
218D	3'-0"	6'-8"	A	WD	PAINT, UON	H	-	HM / A	2/A-401	3/A-401	1
218E	3'-0"	6'-8"	A	WD	PAINT, UON	H	-	HM / A	2/A-401	3/A-401	1
220	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
221	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
222A	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
222B	3'-0"	8'-11"	-	-	-	-	-	-	-	-	3
228	6'-0"	7'-0"	-	-	-	-	-	-	-	-	3

WINDOW SCHEDULE							
NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	MATERIAL	GLAZING	HEAD/ SILL
216D	A	2'-0"	2'-9"	3'-8"	AL	NON-TEMPERED	4/A-401
218B	A	3'-0"	3'-4"	2'-9"	AL	NON-TEMPERED	4/A-401

FINISH SCHEDULE											
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING			REMARKS
				NORTH	EAST	SOUTH	WEST	MAT.	FINISH	HEIGHT	
216	RM 216A	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
216	RM 216B	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
216	RM 216C	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
216	RM 216B	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
217	RM 217	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
218	RM 218A	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
218	RM 218B	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
218	RM 218D	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
218	RM 218C	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
218	RM 218E	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
219	RM 221										
220	RM 220										
221	RM 228										
222	RM 222B	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				
222	RM 222A	CARPET	4" COVED RUBBER TOPSET BASE	WHITE PAINT	WHITE PAINT	WHITE PAINT	WHITE PAINT				

NOTE:
WALLS TO BE GYPSUM BOARD, TAPE GYPSUM BOARD, SMOOTH FINISH, AND PAINT FLAT LATEX



SECURITY CAMERA DETAIL

SCALE
3/8" = 1'-0"

19

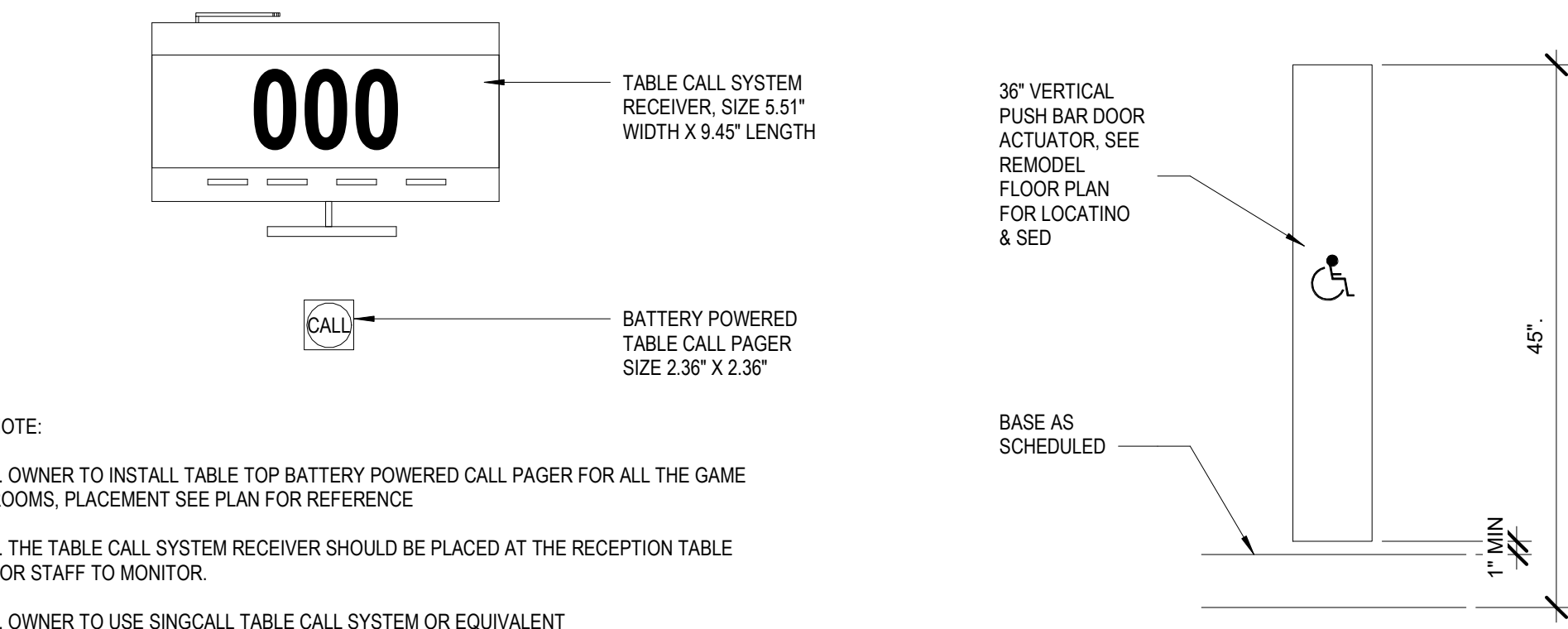


TABLE CALL SYSTEM

SCALE
3/8" = 1'-0"

20

VERTICAL PUSH BAR DOOR
ACTUATOR

SCALE
3/8" = 1'-0"

16

TYPICAL KEYPAD LOCK DEAL

SCALE
1/2" = 1'-0"

9

FRAME TYPE

SCALE
1/2" = 1'-0"

5

DOOR CLEARANCE DETAIL

SCALE
3/8" = 1'-0"

1

DOOR TYPE

SCALE
1/2" = 1'-0"

6

TYP DOOR HEAD/ JAMB (SIM)

SCALE
1 1/2" = 1'-0"

2

AUTO DOOR OPERATOR

SCALE
3/8" = 1'-0"

11

WINDOW TYPE

SCALE
1/2" = 1'-0"

7

THRESHOLDS DETAIL

SCALE
3/8" = 1'-0"

3

SIGNAGE NOTE

- SIGNAGE IS NOT A PART OF THE PROPOSAL, THE OWNER SHALL APPLY FOR A SEPARATE USE PERMIT AS REQUIRED, ALL SIGNS AND MONUMENTS SHOWN IN THE DRAWING ARE SCHEMATIC AND FOR REFERENCE ONLY.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PROVIDED AT ALL ENTRANCE AND W/ ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIANS WAYS SECTION 11B-703.2.
- TO POST A SIGN FOR 5MPH SPEED LIMIT SIGN AT EACH ENTRANCE FROM PUBLIC WAYS AS REQUIRED.
- APPROVED NUMBERS OR ADDRESS SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, SAID NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND

HARDWARE SCHEDULE

GROUP 1 (PER DOOR)			
1 - 1/2 PAIR BUTTS	BB179 X 4-1/2 X 4-1/2 X 10B	STA	
1 PASSAGE (LEVER TYPE)		SCH	
1 DOOR STOP	W9 X 10B	SCH	
1 CLOSER	4030 SERIES SMOOTHIE		
GROUP 2 (PER DOOR)			
1 DOOR STOP	W9 X 10B	SCH	
1 DOOR OPERATOR	MAGIC FORCE LOW-E	ST	
2 DOOR ACTUATOR	INGRESS'R 136-3	WI	
GROUP 3 (PER DOOR/EXISTING DOOR)			
1 CLASSROOM (LEVER TYPE)	CO-220	SCH	
HW :	HOLLOW METAL		
H :	HOLLOW CORE		

DOOR GENERAL NOTE

- EXIT DOOR TO BE OPENED FROM INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE, OR EFFORT PER CBC 1008.1.9
- ALL DOOR EQUIPPED W/ SINGLE - EFFORT, LEVER HARDWARE MOUNTED 34"-44" AFF PER CBC 11B-404.2.7
- 1/2 INCH MAX HIGH THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT BUILDING ENTRANCE AND ALL DOORS. CBC 11B-404.2.5 AND 11B-303.3
- MAX DOOR OPENING EFFORT OF 5 POUNDS AT EXTERIOR AND INTERIOR DOORS. AND 15 POUNDS AT FIRE DOORS. CBC 11B-404.2.9
- 10" KICKPLATE AT BOTTOM OF GLAZED DOORS. CBC 11B-404.2.10
- ALL DOORS ARE MIN 36" WIDE TO PROVIDE REQUIRED 32" CLEAR WIDTH WHEN OPEN CBC 11B-404.2.3

WINDOW HEAD/SILL (SIM)
DETAIL

SCALE
3/8" = 1'-0"

4