

City of Sunnyvale

Notice and Agenda Planning Commission

Monday, October 11, 2021

7:00 PM

Telepresence Meeting: City Web Stream | Comcast Channel 15 | AT&T Channel 99

Special Meeting: Study Session - Canceled | Public Hearing - 7:00 PM

Meeting Online Link: https://sunnyvale-ca-gov.zoom.us/j/91827390357

TELECONFERENCE NOTICE

Because of the COVID-19 emergency and the health orders issued by Santa Clara County and the State of California, this meeting of the Sunnyvale Planning Commission will take place by teleconference, as allowed by Government Code Subdivision 54953 (e); pursuant to state law, the City Council is scheduled to make the necessary findings on October 26, 2021.

- Watch the Planning Commission meeting on television over Comcast Channel 15 and AT&T Channel 99, or at https://Sunnyvale.ca.gov/YouTubeMeetings or https://Sunnyvaleca.Legistar.com/Calendar.aspx
- Submit written comments to the Planning Commission up to 4 hours prior to the meeting to planningcommission@sunnyvale.ca.gov or by mail to Sunnyvale Planning Division, 456 W. Olive Avenue, Sunnyvale, CA 94086-3707.
- Teleconference participation: You may provide audio public comment by connecting to the teleconference meeting online or by telephone. Use the Raise Hand feature to request to speak (*9 on a telephone):

Meeting Online Link: https://sunnyvale-ca-gov.zoom.us/j/91827390357 Meeting call-in telephone number: 833-548-0276 | Meeting ID: 918 2739 0357

Pursuant to the Americans with Disabilities Act (ADA) and Executive Order N-29-20, if you need special assistance to provide public comment, contact the City at least 2 hours prior to the meeting in order for the City to make reasonable alternative arrangements for you to communicate your comments. For other special assistance, please contact the City at least 48 hours prior to the meeting to

enable the City to make reasonable arrangements to ensure accessibility to this meeting. The Planning Division may be reached at 408-730-7440 or at planning@sunnyvale.ca.gov (28 CFR 35.160 (b) (1)).

STUDY SESSION CANCELED

7 P.M. PLANNING COMMISSION MEETING

CALL TO ORDER

Call to Order via Teleconference

ROLL CALL

ORAL COMMUNICATIONS

This category provides an opportunity for members of the public to address the commission on items not listed on the agenda and is limited to 15 minutes (may be extended or continued after the public hearings/general business section of the agenda at the discretion of the Chair) with a maximum of up to three minutes per speaker. Please note the Brown Act (Open Meeting Law) does not allow the Planning Commission to take action on an item not listed on the agenda. If you wish to address the Planning Commission, please refer to the notice at the beginning of this agenda. Individuals are limited to one appearance during this section.

CONSENT CALENDAR

All matters listed on the consent calendar are considered to be routine and will be acted upon by one motion. There will be no separate discussion of these items. If a member of the public would like a consent calendar item pulled and discussed separately, please refer to the notice at the beginning of this agenda.

1. <u>21-0961</u> Approve Planning Commission Meeting Minutes of September 27, 2021

Recommendation: Approve Planning Commission Meeting Minutes of September 27, 2021 as submitted.

2. 21-0960 Proposed Project:

DESIGN REVIEW to allow a 796 square foot first floor addition to an existing one-story home, resulting in 4,452 square feet (3,784 square feet living area and 668 square feet garage) and 28% floor area ratio (FAR).

Location: 1258 Cranberry Avenue (APN: 202-32-046)

File #: 2021-7159

Zoning: R-1 (Low Density Residential)

Applicant / Owner: OPQ Design (applicant) / Sheryl L Sun Trustee & et

al. (owner)

Environmental Review: A Class 1 Exemption relieves this project from

the California Environmental Quality Act (CEQA) provisions.

Project Planner: Kelly Cha, Associate Planner,

kcha@sunnyvale.ca.gov

Recommendation: Alternative 1: Approve the Design Review based on the

Findings in Attachment 3 and subject to the Conditions of

Approval in Attachment 4.

PUBLIC HEARINGS/GENERAL BUSINESS

If you wish to speak to a public hearing/general business item, please refer to the notice at the beginning of this agenda. Each speaker is limited to a maximum of three minutes.

3. 21-0957 Proposed Project:

DESIGN REVIEW to construct a 471 square foot first floor addition to an existing one-story single-family home, resulting in 1,946 square feet (1,442 square feet living area and 504 square feet garage) and 33% FAR. The project includes a new second story 845 square foot Accessory Dwelling Unit resulting in a total floor area of 2,791 square feet and 47% FAR including the ADU.

VARIANCE to allow a 4 foot second floor setback where a minimum of 7 feet is required to accommodate an exterior stair and landing for the proposed ADU.

Location: 1279 Palamos Ave. (104-27-082)

File #: 2020-7286 Zoning: R-0

Applicant / Owner: JER Design Group (Applicant) / Nathan Iglesias

(Owner)

Environmental Review: A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions.

Project Planner: Cindy Hom, (408) 730-7411,

chom@sunnyvale.ca.gov

Recommendation: Alternative 1: Approve the Design Review and Variance

subject to the Recommended Findings in Attachment 3 and Recommended Condition of Approval in Attachment 4..

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

INFORMATION ONLY REPORTS/ITEMS

4. 21-0962 Planning Commission Proposed Study Issues, Calendar Year: 2022 (Information Only)

NON-AGENDA ITEMS AND COMMENTS

- -Commissioner Comments
- -Staff Comments

<u>ADJOURNMENT</u>

Notice to the Public:

Any agenda related writings or documents on this agenda distributed to members of the Planning Commission are available by contacting the Planning Division at planning@sunnyvale.ca.gov. Agendas and associated reports are also available at sunnyvaleca.legistar.com/calendar.aspx 72 hours before the meeting.

Planning a presentation for a Planning Commission meeting? To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" document available on the City website.

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the City at or before the public hearing.

PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5. Pursuant to the Americans with Disabilities Act (ADA), if you need special assistance in this meeting, please see the notice at the beginning of this agenda.



City of Sunnyvale

Agenda Item 1

21-0961 Agenda Date: 10/11/2021

SUBJECT

Approve Planning Commission Meeting Minutes of September 27, 2021

RECOMMENDATION

Approve Planning Commission Meeting Minutes of September 27, 2021 as submitted.



City of Sunnyvale

Meeting Minutes Planning Commission

Monday, September 27, 2021

7:00 PM

Telepresence Meeting: City Web Stream | Comcast Channel 15 | AT&T Channel 99

Special Meeting: Study Session - Canceled | Public Hearing - 7:00 PM

TELECONFERENCE NOTICE

STUDY SESSION CANCELED

7 P.M. PLANNING COMMISSION MEETING

CALL TO ORDER

Pursuant to Section 3 of Executive Order N-29-20 (March 17, 2020), Section 42 of Executive Order N-08-21 (June 11, 2021) and Executive Order N-15-21 (September 20, 2021), issued by Governor Newsom, the meeting was conducted telephonically.

Chair Howard called the meeting to order at 7:00 PM.

ROLL CALL

Present: 6 - Chair Daniel Howard

Vice Chair Martin Pyne

Commissioner Sue Harrison Commissioner John Howe Commissioner Ken Rheaume Commissioner Carol Weiss

ORAL COMMUNICATIONS

None.

CONSENT CALENDAR

Commissioner Harrison asked staff if the Meeting Minutes of September 13, 2021 may be revised so that the seventh paragraph on page nine reads as follows: "Commissioner Harrison stated that she is in support of the motion and finds that maintaining the height of the garage roof rather than lowering it is detrimental to the proposed project's overall architecture."

MOTION: Commissioner Harrison moved and Commissioner Howe seconded the motion to approve the Consent Calendar with the following revisions to the minutes:

1.) Note that the seventh paragraph on page nine should read as follows: "Commissioner Harrison stated that she is in support of the motion and finds that maintaining the height of the garage roof rather than lowering it is detrimental to the proposed project's overall architecture."

The motion carried by the following vote:

Yes: 6 - Chair Howard

Vice Chair Pyne

Commissioner Harrison
Commissioner Howe

Commissioner Rheaume

Commissioner Weiss

No: 0

1. 21-0923 Approve Planning Commission Meeting Minutes of September 13, 2021

Approve Planning Commission Meeting Minutes of September 13, 2021 as submitted.

PUBLIC HEARINGS/GENERAL BUSINESS

2. 21-0811 Proposed Project:

SPECIAL DEVELOPMENT PERMIT: to allow a six-story office building with 153,000 square feet and ground floor retail space with 12,735 square feet, 88,915 square feet of parking and 1,019 square feet of service area, and one level of below grade parking.

Location: 300 South Mathilda Avenue (APN: 209-34-019)

File #: 2019-7923

Zoning: DSP (Downtown Specific Plan)/Block 18

Applicant / Owner: STC Venture LLC (applicant and owner)

Environmental Review: No additional review required as pursuant to CEQA Guidelines Section 15168(c)(2) and (4) - environmental impacts of the project are addressed in the Downtown Specific Plan Program

Environmental Impact Report (EIR) (State Clearinghouse

#2018052020).

Project Planner: Aastha Vashist, (408) 730-7458,

avashist@sunnyvale.ca.gov

Vice Chair Pyne inquired about whether the change made to Recommended Condition of Approval GC-18 affects how the Planning Commission will consider the

proposed project either tonight or in the future. Senior Assistant City Attorney Rebecca Moon confirmed that it does not.

Associate Planner Aastha Vashist presented the staff report with a slide presentation.

Commissioner Rheaume initiated a discussion with Associate Planner Vashist concerning pedestrian access to the Makerspace as well as the placement of the proposed project's main entrance on Aries Way. Associate Planner Vashist asserted that the main entrance on Aries way grants access to the proposed project's third, fourth, fifth, and sixth floors since the first and second floors of the proposed project serve as underground parking. She also stated that the proposed project's main entrance is located on Aries Way to prevent disruption to the high-volume traffic on Mathilda Avenue or conflict with the planned retail space on McKinley Avenue.

Since it was unclear to Commissioner Rheaume what the ramp access to the underground parking will look like, Josh Rupert, Developer at Hunter Properties Inc., assured him that he will be sharing a rendering of that area during his presentation later that evening.

Commissioner Harrison recalled text in the staff report which states that, "Staff has included a condition of approval to comply with Live Oak and Associates review and to work with staff on the treatment options for the transparent corners of the proposed building." Principal Planner Shaunn Mendrin confirmed that this refers to condition of approval BP-6 and described potential treatment options.

Commissioner Harrison questioned the use of subjective words such as "shall" in Attachment 3, and Assistant Director Andrew Miner explained that the rules of Objective Design Guidelines do not apply to office- and industrial-type projects.

When prompted by Commissioner Howe, Associate Planner Vashist confirmed that the staff report, proposed project, and Memo comply with a Development Agreement that was recently approved by the City Council. Assistant Director Miner clarified that if the Planning Commission approves the proposed project, the City Council will consider the approval of converting Booker Avenue from a two-way street to a one-way street.

Vice Chair Pyne asked whether the Reach Codes that were recently adopted apply to the proposed project. Principal Planner Mendrin explained that this project went

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into effect prior to the adoption of the Reach Codes, so the Reach Codes do not apply.

Chair Howard opened the Public Hearing.

Mr. Rupert and Jeremy Steiner, Architect at Gensler Architecture, presented the project including additional images and information.

Commissioner Weiss probed about the proposed project's measures in place for fire suppression. Mr. Steiner mentioned that the proposed project, which will include a sprinkler system and meets the qualifications of the most fire-resistant construction type, is fully compliant with all Building codes and is subject to a safety review conducted by the City and its Fire Marshal. Mr. Rupert added that the City's Fire Prevention Department will review the proposed projected in more detail during the Building permit process and assured her that, from his professional experience, the proposed project's fire lines support the required pound per square inch (PSI) and will not require a separate fire pump.

Commissioner Weiss advised against the incorporation of liquidambar trees in the proposed project's landscaping due to those trees' invasive root system and their tendency to destruct sidewalks. Mr. Rupert acknowledged her concern and stated that, with the approval of the City Arborist, alternative tree species may be used.

Commissioner Howe requested confirmation regarding whether the proposed project adheres to the Development Agreement adopted by the City Council. Mr. Rupert confirmed that this is true, and he added that only the conversion of Booker Avenue from a two-way street into a one-way street will need to be considered by the City Council if the proposed project is approved by the Planning Commission.

Vice Chair Pyne inquired about the inclusion of electric vehicle (EV) charging access in the proposed project's parking structure. In response, Mr. Steiner stated that 10 percent of the proposed project's parking structure is reserved for standard EV charging, Level 2 EV charging, and charging for American with Disabilities Act (ADA) EV vans. Mr. Rupert added that there are 32 EV chargers available in the proposed project's parking structure.

Commissioner Harrison asked the applicants to indicate where, on the proposed project's landscape plan, she may find the oak tree. Gary Laymon, Landscape Architect at The Guzzardo Partnership, Inc., answered that the oak tree is located to

the left of the proposed project's driveway entrance on Iowa Avenue.

Commissioner Weiss probed about the height of ladders on the City's fire trucks. Fire Marshal Vincent Anderson stated that the ladders in question extend to approximately 90 feet in height and can reach the fifth or sixth floor of a multi-story building. Beyond that height, he said that stairwells are relied upon as they are constructed with fire resistance in mind.

Neela, resident of Sunnyvale, suggested that the proposed project's art wall and Makerspace be reconfigured to create more connections to the retail space on McKinley Avenue.

Mike Johnson, Executive Director of the Sunnyvale Downtown Association (SDA), spoke on behalf of himself and the SDA Board of Directors when he expressed support of the proposed project in part because its retail space will attract visitors and because its office space will create employment opportunities.

Dawn Maher, CEO of the Sunnyvale Silicon Valley Chamber of Commerce, spoke on behalf of herself and the Board of Directors when she shared her support and enthusiasm for the proposed project due to its ability to maintain the historical elements of the City's downtown while simultaneously integrating business and community. In her opinion, she views the proposed project as a great benefit to the City and its downtown.

Robert Ruiz, resident of Sunnyvale, mentioned that he is in support of the proposed project and appreciates the location of the main lobby. Not only this, but, in his opinion, positioning the retail space on McKinley Avenue creates a livelier scene to walk through during the evening. Lastly, Mr. Ruiz asked about the general process for selecting art to be incorporated in proposed projects.

Regarding the art selection process, Chair Howard advised Mr. Ruiz that the City's Arts Commission is involved in the public art selection process and recruits interested residents to fill vacant positions on the Commission.

Deke Hunter, Developer at Hunter Properties Inc., responded to Neela's comments by providing a detailed explanation of the proposed project's art walls and Makerspace and the purpose of each. Mr. Rupert elaborated upon Mr. Hunter's comments.

Chair Howard closed the Public Hearing.

MOTION: Commissioner Howe moved and Commissioner Harrison seconded the motion to approve Alternative 1 – Make the required Findings required to approve the CEQA determination that the project is consistent with the Downtown Specific Plan's Program Environmental Impact Report and no additional environmental review is required as pursuant to the California Environmental Quality Act Guidelines Section 15168(c)(2) and (4) and approve the Special Development Permit based on clarification in the staff report and revised Findings and revised Conditions of Approval in Attachments 3 and 4 respectively.

Commissioner Howe voiced his support of the proposed project because of its open balconies, art walls, landscaping, and consideration for the privacy of neighboring buildings.

Commissioner Harrison echoed Commissioner Howe's comments, commended the applicants for proposed project's architecture and traffic flow, and spoke in favor of the motion.

Commissioner Rheaume expressed his support of the motion, thanked the applicants for changes made to the proposed project's original design, and revealed his preference for the main entrance being placed elsewhere.

Commissioner Weiss confirmed her support of the motion since she admires multiple components of the proposed project's architecture including its varied façades, art walls, wrap-around decks, and Makerspace. She also noted the applicants' responsiveness to suggestions made.

Vice Chair Pyne stated that he is in support of the motion, agreed with the remarks made by previous Commissioners, and recognized the applicants' dedication to environmental responsiveness, effort to include trees where feasible, willingness to utilize a native tree species that is root friendly, and consideration of pedestrian-friendly walkways to the retail space, Makerspace, and downtown.

Chair Howard spoke in overall favor of the motion.

The motion carried by the following vote:

Yes: 6 - Chair Howard

Vice Chair Pyne

Commissioner Harrison Commissioner Howe Commissioner Rheaume Commissioner Weiss

No: 0

This decision is final unless appealed or called up for review by the City Council by 5:00 PM on Tuesday, October 12, 2021.

3. 21-0884 **Proposed Project:** Related applications on a 1.5-acre site:

USE PERMIT to allow the construction of two new six-story hotel buildings totaling 274 hotel rooms, underground garage with mechanized parking, parking adjustment to allow valet parking, and installation of related site improvements.

TENTATIVE MAP to allow a lot merger and subdivision for condominium purposes.

Location: 247 and 295 Commercial St (APNs: 205-34-006 and

205-34-013) **File #**: 2020-7478

Zoning: Manufacturing and Services (M-S)

Applicant / Owner: DOA Development (applicant) / Stepan Family
Trust (property owner of 247 Commercial Street) and Huy Tu Trustee &

Et Al (property owner of 295 Commercial Street)

Environmental Review: The project is consistent with the Land Use and Transportation Element (LUTE) of the City's General Plan and no additional environmental review is required pursuant to CEQA Guidelines Section 15183 and Public Resources Code Section 21083.3.

Project Planner: Cindy Hom, (408) 730-7411, Chom@sunnyvale.ca.gov

Project Planner: Cindy Hom, (408) 730-7411,

Chom@sunnyvale.ca.gov

Principal Planner Mendrin presented the staff report with a slide presentation.

Commissioner Harrison, upon studying the fencing plan, questioned whether there is fencing on the west side of the proposed project and, if so, whether it allows for pedestrian access to the Apple campus. Principal Planner Mendrin advised that the applicant would be required to get a pedestrian access easement at that site on the Apple campus to allow for pedestrian access.

Vice Chair Pyne asked whether the proposed project is not directly abutting the City parking lot but rather the property over by one. Associate Planner Cindy Hom stated that it is not.

Commissioner Weiss inquired about the tentative parcel map for condominium purposes on page TM-1.0 and the pages that follow it in Attachment 7. Associate Planner Hom, along with Assistant Director Miner, explained that the property line is being reconfigured in such a way that each hotel building will have a designated parcel and a common area lot will be created to include a driveway and landscaping area. Senior Assistant City Attorney Moon advised that the term "condominium" may also apply to non-residential buildings with businesses.

Chair Howard opened the Public Hearing.

Eric Price, Architect at Lowney Architecture, presented the project including additional images and information.

Commissioner Weiss and Mr. Price discussed the reasoning behind the placement of ADA rooms away from the elevator in the select service plan (found on page A1.S2 of Attachment 8) versus their placement closer to the elevator in the extended stay plan (found on page AS.E2 of Attachment 8). Mr. Price revealed that he is open to exploring the possibility of shifting ADA rooms so that they are in closer proximity to the elevators in subsequent phases of the proposed project.

Commissioner Weiss expressed concern about indoor toxic air contaminants in the proposed project's parking structure, considering that contaminants may be present because of the site's previous uses. Mr. Price advised that a carbon monoxide monitoring system would be utilized throughout the entirety of the parking level and that a vapor mitigation system would be installed, if required. Associate Planner Hom further explained that a different agency will be conducting the oversight to determine soil characterization and whether any remediation is needed. She continued by revealing that, based on the results of studies already conducted, there is no indication that any soil or vapor mitigation is necessary.

Commissioner Howe questioned who the proposed project's target potential clients are. The applicant, Brianna Robertson, answered that the various major companies surrounding the proposed project site are the proposed project's target clients. These companies include Applied Materials, Apple, and Fortinet. She added that

transient tourist traffic is expected as well.

Commissioner Howe asked about placement of ADA rooms within the hotels, and Ms. Robertson reiterated Mr. Price's comments concerning the topic.

Chair Howard proposed that the applicant work with Apple to create pedestrian access to the west of the proposed project.

Neela, resident of Sunnyvale, applauded the applicant for taking a risk with the proposed project's design and the materials it will use, stated that she is unsure of whether pedestrian access may be permitted to the west of the proposed project since there is an existing easement there, and asked whether valet parking will be offered to customers who will visit the restaurants within the proposed project since parking space is limited.

Stephen Meier commended Commissioner Weiss for her comments pertaining to air quality and highlighted the importance of the topic.

Ms. Robertson addressed public comments by stating that they intend to have an active management system in place for vapor barriers and that, while they are open to creating pedestrian access to the west of the proposed project, the process for doing so would involve approval from Apple which has proven to be complicated and time consuming.

Chair Howard closed the Public Hearing.

MOTION: Commissioner Harrison moved and Chair Howard seconded the motion to approve Alternative 1 – Make the findings required to approve the California Environmental Quality Act (CEQA) determination that the project is exempt pursuant to CEQA Guidelines Section 15183 and Public Resources Code Section 21083.3 as noted in the checklist in Attachment 5 and approve the Use Permit and Tentative Map based on the Recommended Findings in Attachment 2, and Recommended Conditions of Approval in Attachment 4.

Commissioner Harrison mentioned that she finds the architecture of the proposed project to be amazing and in harmony with the surrounding buildings. In her opinion, she thinks that the proposed project is a needed amenity.

Chair Howard's comments mirrored that of Commissioner Harrison's.

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Vice Chair Pyne acknowledged that, in light of potential expansion that will result from the Arques Specific Plan, the need for the proposed project will be greater with time.

Commissioner Weiss stated that the applicant worked well with the constraints of the proposed project site and expressed that she is favor of the green roof and varied color schemes that each hotel possesses. Not only will the proposed project generate revenue for the City, but, in her opinion, it will improve the appearance of the neighborhood entirely.

The motion carried by the following vote:

No: 1 -

Yes: 5 - Chair Howard

Vice Chair Pyne

Commissioner Harrison Commissioner Rheaume Commissioner Weiss

Commissioner Howe

This decision is final unless appealed or called up for review by the City Council by 5:00 PM on Tuesday, October 12, 2021.

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

4. Proposed Study Issue for 2022: Missing Middle-Draft Paper for Commission Review

Principal Planner Amber Blizinski advised the Commissioners of their option to either defer or drop this study issue in light of the recent passing of SB 9. She advised that, in her opinion, this study issue item does not need to move forward and revealed her hopes that the Commissioners would vote to remove this study issue item from their list. She also explained the process that would result if this study issue item remained.

Commissioner Weiss proposed changing elements of this study issue, in particular revising Design Guidelines. Principal Planner Blizinski and Assistant Director Miner explained that work has already begun on modifying those guidelines.

Commissioner Weiss suggested reducing fees for those converting a property into a

duplex, triplex, etc. Principal Planner Blizinski stated that these projects will likely be charged fees similar to those charged for Single-Family Design Reviews or Miscellaneous Plan Permits, which are some of the lowest permit fees charged.

Vice Chair Pyne expressed his concern about the impact to this study issue if SB 9 is either put on hold via a referendum process or overturned by a constitutional amendment that may result from a November 2022 ballot measure. Principal Planner Blizinski assured him that this would likely not occur and reiterated that the Commissioners may either continue to sponsor this study issue or remove it.

On behalf of the Commissioners, Chair Howard announced that the Commissioners will defer the removal of this study issue until January. Assistant Director Miner reviewed next steps for this study issue.

5. Proposed Study Issue for 2022: Safe Parking-Draft Paper for Commission Review

None.

6. <u>21-0933</u> Proposed Study Issue for 2022: Aging in Place-Draft Paper for Commission Review

Chair Howard opened the Public Hearing for agenda items 4, 5, and 6.

Neela, resident of Sunnyvale, voiced her support of agenda item 6: Aging in Place as it is relevant to her own experiences and Sunnyvale as a whole.

Chair Howard closed the Public Hearing.

INFORMATION ONLY REPORTS/ITEMS

7. <u>21-0924</u> Planning Commission Proposed Study Issues, Calendar Year: 2022 (Information Only)

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

Commissioner Harrison stated that she attended a public meeting that centered on objective design standards. From her understanding, this entails converting subjective language to objective language rather than examining the City's Single-Family Design Guidelines in any other way. Assistant Director Miner advised that this is the initial step, but more will be done to rank projects objectively and

tools will be provided to review projects objectively. Principal Planner Blizinski added that the first outreach meeting will explore ways to improve guidelines and that there is ongoing discussion among staff about how guidelines that are working well may be more objective.

Vice Chair Pyne stated that the state's Planning Commission Handbook is currently being updated and will be completed in December.

-Staff Comments

Assistant Director Miner thanked Fire Marshal Anderson for his contribution to the hearing.

Assistant Director Miner announced that on September 28, 2021, the City Council will be considering the Applied Materials General Plan Initiation and the General Plan Initiation for 1313 South Wolfe Road.

<u>ADJOURNMENT</u>

Chair Howard adjourned the meeting at 9:57 PM.

Sunnyvale

City of Sunnyvale

Agenda Item 2

21-0960 Agenda Date: 10/11/2021

REPORT TO PLANNING COMMISSION

SUBJECT

Proposed Project:

DESIGN REVIEW to allow a 796 square foot first floor addition to an existing one-story home, resulting in 4,452 square feet (3,784 square feet living area and 668 square feet garage) and 28% floor area ratio (FAR).

Location: 1258 Cranberry Avenue (APN: 202-32-046)

File #: 2021-7159

Zoning: R-1 (Low Density Residential)

Applicant / Owner: OPQ Design (applicant) / Sheryl L Sun Trustee & et al. (owner)

Environmental Review: A Class 1 Exemption relieves this project from the California Environmental

Quality Act (CEQA) provisions.

Project Planner: Kelly Cha, Associate Planner, kcha@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Low Density Residential (RLO)

Existing Site Conditions: one-story single-family home

Surrounding Land Uses

North: One-story single-family homes **South:** One-story single-family home **East:** One-story single-family home

West: One-story and two-story single-family homes

Issues: Floor area

Staff Recommendation: Approve the Design Review based on the Findings in Attachment 3 and

subject to the Conditions of Approval in Attachment 4.

BACKGROUND

Description of Proposed Project: The project is located on a 15,808 square foot residential lot with an existing one-story single-family home. The applicant proposes to construct a single-story addition of 796 square feet in the rear of the existing single-family home, resulting in 4,452 square feet and 28% FAR.

A Design Review application is required for an addition to an existing home to evaluate compliance with development standards and with the Single-Family Home Design Techniques. Planning Commission review is required for homes with a gross floor area exceeding 3,600 square feet or floor area ratios greater than 45%. The project results in a gross floor area of 4,452 square feet, which requires Planning Commission review and approval.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Data Table of the project.

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Previous Actions on the Site

There are no previous Planning approvals for the site.

EXISTING POLICY

Applicable Design Guidelines: The City's Design Guidelines provide recommendations for site layout, architecture, and design. These guidelines are referenced in the discussion and analysis below.

ENVIRONMENTAL REVIEW

A Class 1 Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions.

DISCUSSION

Present Site Conditions: The project site is located in a residential neighborhood just west of De Anza Park, which is comprised of predominantly one-story single-family homes. The subject property is one of four larger lots within the block with lot sizes that range from almost 13,000 square feet to over 20,000 square feet, where a typical R-1 lot is approximately 8,000 square feet in size. The project site is one of two flag lots, along with its north neighbor at 1238 Cranberry Avenue. Both flag lots consist of long and narrow driveways that lead to the existing homes tucked at the back the lots. The neighboring property located in front of the project site is a designated Local Landmark two-story home (1234 Cranberry Avenue), also commonly known as the Wright Ranch house.

Architecture and Site Layout: The proposed single-story addition is to the rear of the existing single -story home. The additions are located on the left and right sides of the home. The left side addition expands the existing master bedroom with an office space, and the right side addition converts the covered patio area into an enclosed, habitable space. The addition would maintain the existing 8-foot -tall plate height and would increase the ridge height of the right side to match the height of the rest of the home. The new roof on the additions will match the existing 4:12 slope and will use the same composition shingle roofing material as well to provide continuous appearance with the existing home.

The applicant proposes to maintain the existing simple ranch style character. It would replace the front columns to allow windows a clear view of the front of the property and finishes with antique brick cladding to match the existing chimney and fireplace extension of the home on the other sides. To be consistent with the front façade, both side and rear elevations will be finished with siding as well. The applicant proposes to replace all the existing simulated divided light windows with another style of simulated divided light windows to bring in more sunlight and replace the garage doors with a new wood roll-up door. More details on materials and colors for the project can be found in Attachment 7.

Floor Area and Floor Area Ratio (FAR): A single-family home proposing a gross floor area greater than 3,600 square feet and a FAR greater than 45% requires Planning Commission review and approval. The proposed project has a gross floor area of 4,452 square feet on a 0.36-acre lot, which results in 28% FAR.

Homes in the neighborhood range in size from 1,976 square feet to 4,209 square feet with an average of 2,523 square feet. The existing FARs in the vicinity range from 19.1% to 33.0%, with an average of 24.4%. The proposed project will be the largest home in the immediate neighborhood in

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terms of square feet and will be the third largest in terms of FAR. Therefore, the proposed addition is consistent with established precedent in the neighborhood. The detailed information of neighboring homes in the immediate neighborhood can be found in Attachment 6.

Staff finds that the additional floor area is appropriate for the neighborhood as the addition is located in the rear of the property and is not visible from Cranberry Avenue. The subject property is almost twice as large as a typical R-1 property, thus resulting in a proposed lot coverage of 28% where 45% is permitted for a single-story home. Therefore, the proposed mass and bulk of the addition is minimized and will not negatively impact the streetscape or the characteristics of the immediate neighborhood.

Landscaping and Trees: The property contains one protected tree in the front yard, which will not be impacted by the rear yard addition. All existing landscaping and trees will be maintained.

Development Standards: The proposed project complies with the applicable development standards as set forth in the SMC. The Project Data Table for the proposed project can be found in Attachment 2. No deviations are proposed.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

As of the date of staff report preparation, staff has received no comments from the neighbors.

Notice of Public Hearing

- Published in the Sun newspaper
- Posted on the site
- 61 notices mailed to property owners and residents within 300 feet of the project site

Staff Report

Posted on the City's website

Agenda

- Posted on the City's official notice bulletin board
- Posted on the City's website

ALTERNATIVES

- 1. Approve the Design Review with the Conditions of Approval in Attachment 4.
- 2. Approve the Design Review with modified conditions.
- 3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

STAFF RECOMMENDATION

Alternative 1: Approve the Design Review based on the Findings in Attachment 3 and subject to the Conditions of Approval in Attachment 4.

Prepared by: Kelly Cha, Associate Planner

21-0960 Agenda Date: 10/11/2021

Approved by: Noren Caliva-Lepe, Principal Planner

ATTACHMENTS

- 1. Vicinity and Noticing Radius Map
- 2. Project Data Table
- 3. Recommended Findings
- 4. Recommended Conditions of Approval
- 5. Site and Architectural Plans
- 6. Neighborhood Comparison
- 7. Materials List

2021-7159 1258 Cranberry Avenue

	1258 Cranberry Avenue			
	EXISTING	PROPOSED	REQUIRED/ AS PERMITTED	
General Plan	Low Density Residential	Same	-	
Zoning District	R-0	Same	-	
Lot Size	15,808 s.f.	Same	-	
Gross Floor Area	3,656 s.f.	4,452 s.f.	3,600 s.f. ¹	
Lot Coverage	23.6%	28.6%	40% max.	
Floor Area Ratio (FAR)	23.1%	28.1%	45%¹	
Building Height	22'-8" Same 30' r		30' max.	
No. of Stories	One	Same	Two	
Setback				
Front	20'-0"	Same	20' min.	
Left Side				
North Addition	16'-1"	21'-11"	6' min.	
South Addition	36'-8"	15'-3"	6' min.	
Right Side				
North Addition	North Addition 14'-5" 86'-2"		6' min.	
South Addition	14'-3"	12'-10"	6' min.	
Combined Side				
North Addition	30'-6"	108'-1"	28' min.	
South Addition	50'-11"	28'-1"	(20% of the lot)	
Rear	28'-5"	10'-0"	10'-0" 20' min. ²	
Parking				
Total Spaces	4	Same	4 min.	
Covered Spaces	2	Same	2 min.	

¹ Threshold for Planning Commission Review

Per SMC 19.48.050, any one-story structure in residential zoning districts may extend 10 feet into the required yard providing the area of the extension does not exceed 25% of the required rear yard.

RECOMMENDED FINDINGS

2021-7159 1258 Cranberry Avenue

Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns	The proposed project proposes no changes to the front façade other than changes to the window divided lite styles and other small details to be more consistent with the existing architectural styles and details of the home. Even though the home itself is located in the back and not visible from the street due to its flag lot shape, the proposed project also maintains the existing orientation of the home's front entry and garage, which oriented towards the street, and consistent with other homes in the immediate neighborhood. Finding met.
2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.	The project site is one of four residential properties within the immediate neighborhood that has its lot size larger than 10,000 square feet. With the proposed additions, the proposed project will be the largest home in the immediate neighborhood when it is built. However, the additions are located in the rear and maintains the same plate height of 8 feet. The overall height of the home does not change as the addition's roof lines matches the existing roof lines. In addition, the proposed floor area ratio (FAR) is at 28%, which well under 45% FAR and also compatible size compared to other immediate neighboring properties. Therefore, the proposed mass and bulk of the addition is minimized and will not negatively impact the streetscape. Finding met.
2.2.3 Design homes to respect their immediate neighbors	The proposed project complies with the Code requirements related to height and setback and is respectful of surrounding neighborhood. Finding met.
2.2.4 Minimize the visual impacts of parking.	The proposed project does not propose changes to the existing layout of the two-car garage and driveway. Finding met .
2.2.5 Respect the predominant materials and character of front yard landscaping.	The proposed project proposes no removal of trees on the project site including one protected tree in the required front yard. Finding met.
2.2.6 Use high quality materials and craftsmanship	The applicant proposes to utilize high-quality materials for the addition that are consistent with

2021-7159 1258 Cranberry Avenue

Basic Design Principle	Comments
	the existing one-story home to maintain the consistent appearance between the existing and proposed portions of the single-story single-family home. The proposal includes replacement of all the existing windows but will have consistent style to be consistent for both the existing and proposed portions of the home. Finding met.
2.2.7 Preserve mature landscaping	The proposed project proposes no tree removal on the site and proposes to maintain the existing front yard landscaping, including one protected tree. The landscaping in the narrow portion of the lot in the front will be maintained as well. Finding met.

2021-7159 1258 Cranberry Ave

RECOMMENDED CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS OCTOBER 11, 2021

Planning Application **2021-7159** 1258 Cranberry Avenue

Construct a 796 square foot first floor addition to an existing one-story home, resulting in 4,452 square feet (3,784 square feet living area and 668 square feet garage) and 28% floor area ratio (FAR).

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:

The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to

2021-7159

1258 Cranberry Ave

the expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION: The entitlements shall expire if discontinued for a period of one year or more. [SDR] [PLANNING]

GC-4. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

GC-5. NOTICE OF FEES PROTEST:

As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR BUILDING SUPERSTRUCTURE PERMIT AND/OR SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT.

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
 - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

2021-7159

1258 Cranberry Ave

BP-5. CONSTRUCTION MATERIAL AND STAGING:

All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements. [COA] [PUBLIC WORKS]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

- OR 2.2: Construction equipment must be maintained per manufacturer's specifications.
- OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:
 - a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
 - b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
 - c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
 - d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

2021-7159 1258 Cranberry Ave

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

GENERAL NOTES

CONSTRUCTION: Drawings shall not be scaled for dimensional information. All partition dimensions are to existing finish face of walls unless otherwise noted. Patch, repair and align new work to match existing in material, shape, size, color, etc. unless otherwise noted.

The contractor and all subcontractors shall verify all conditions and dimensions in the field and notify the designer or owner of any discrepancies before proceeding withany work. No changes shall be made to any plan without prior comment of the designer.

All work shall be done in a first-class workmanlike manner by qualified mechanics skilled in their respective trades.

The contractor shall comply with all rules and regulations of city, state and federal regulatory agencies having jurisdiction over the work. The contractor shall obtain building permit, process and complete all controlled inspection reports and secore final sign off.

The contractor shall submit to the designer all fabrication shop drawings. The contractor shall submit to the owner all finish samples, fixture cuts, tec. for review prior to purchase and installation.

The contractor shall remove from the project site all rubbish and waste materials for its or subcontractor's work.

The contractor and all subcontractors shall proceed with environmentally-conscious methods and materials where specified and/or elsewhere where possible.

- Only work detailed on these plans is approved for construction. Any additional work required not detailed on these plans must be submitted separately as a revision to the project. Revisions may require new plans, permits and additional fees.
- Permit Expiration & Renewal Once a permit is issued, an inspection is required within 180 days thereafter or the permit will expire. Additional fees are required to reinstate an expired permit. All expired plans must be revised to comply with current code requirements.

GENERAL CONDITIONS

INSURANCE: The contractor shall maintain such insurance as will protect himself and/or the owner from direct, assumed and contingent liability for claims for damage, for personal injuries, including death, and/or damage to property, which may arise from operations under this contract whether such operations be by himself or any subcontractor or anyone directly or indirectly employed by either of them.

The contractor shall also require that each of his subcontractors shall carry propler and adequate policies covering Workmen's and Public Liability as well as all liability assumed under the contract covering the contractor and the owner. Original policies taken out in the name of the subcontractor shall be delivered by the contractor at the time the contract is signed.

- 2 INDEMNIFICATION: Should any person, persons or property be injured or damaged, including unjured resulting or causing death, by the contractor, or by any subcontractor, or by any person or persons employed under them in the course of the performance by them of this agreement or otherwise resulting from any actions or operation under this agreement, whether by negligence or otherwise, said contractor shall alone be liable, responsible and answerable therefore and does hereby agree, to and with the said owner to hold harmless and idemnify the owner and designer from all claims, suits, actions, costs, counsel fees, expenses, damages, adjustments or decrees by reason thereof
- GUARANTEES: The Contractor shall deliver to the Owner upon completion of all work under this Contract his written guarantee, made out to the Owner, guaranteeing all work under the Contract to be free from faulty materials, improper workmanship and against unusual wear and agreeing to replace or re-execute, without cost to the Owner, any work that is improper or imperfect, and to make good replacements or re-execution, for a period of one(1) year following final payment.

Neither final certificate for payment, nor any provision in the Contract Documents shall relieve the Contractor of responsibility for neglect or faulty materials or workmanship during the period covered by the guarantee.

- FEES AND PERMITS: It shall be the Contractor's responsibility to pick up and pay for the Building Permit for the Contract Work and for all certificates of inspection and approvals required by the authorities having jurisdiction. The Contractor shall be responsibile for the payment of all fees and the performance and coordinaltion of all work in regard to all required controlled and semi-controlled inspections.
- FIELD CONDITIONS: The Contractor shall visit the project site to familiarize themselves with all actual conditions which may affect the Work. The Contracotr shall verify all existing conditions and dimensions in the field prior to layout out the Work. Any discrepancies between the Contract Documents and the field conditions shall be immediately reported to the Owner and Deisgner. Start of work in any area shall mean that the Contractor has verified field conditions and accepts them as conforming to the Contract Documents.

Work shall be performed and all materials used shall comply with applicable city, state and federal rules and regulations.

EQUIPMENT AND PARTS: All material used in the execution of the Work shall be factory new, unused and in first class condition. The Contractor shall warranty that he has good and clear title to all materials and supplies used for this project, free from all claims, liens and encumbrances.

All material stores on or off site shall be the property of the Owner at the time of payment of the Owner to the Contractor. The Owner has the right of use to all materials at any moment in time thereafter.

The Contractor shall fabricate, construct and install work in accordance with applicable manufacturer's, trade and industry standards. Finish surfaces shall be neat, square, level, smooth, flush and fitted securely. Joints between fixed items shall be straight, hairline joints. Joints between operating items shall be industry or manufacturer's standards, whichever is more restrictive.

In all cases where a product, device or part is herein referred to in the singular number, it is intended that such reference shall apply to as many such products, devices and parts as are required to complete the Work. Where more than one piece of the same item is required on the project, all shall be by the same manufacturer.

All work shall be performed by mechanics and tradesmen trained and experienced in the installlation/application of the particular item being installed/applied. Work shall be performed in a first class manner, in accordance with industry trade practices or manufacturer's installation instructions, whichever is more restrictive. Work determined as not conforming to the Contract Documents shall be altered, repaired or replaced with conforming items, with all associated costs of the above to be borne by the Contractor.

No material or equipment substitutions shall be permitted without written approval. The request shall include cataloguecuts, installation instructions, and material samples or any other information required for review.

THE WORK: The Work covers all demolition, materials and new construction implied and shown in the Contract documents.

The Designer shall not have control over or charge of and shall not be responsible for construction means, methods, techniques, sequences of procedures, or for safety precautions and programs in connection with the Work, since these are solely the Contractor's responsibility. The Designer shall not be responsible for the Contractor's schedules or failures to carry out the Work in accordance with the Contract Documents. The Architect shall not have control over or charge of acts or omissions of the Contractor, Subcontractors, or their agents or employees, or of any other persons performing portions of the Work.

8 STANDARDS: General Referenced Standards shall mean the latest editions of such Standards published as of the date of the Project Manual, unlesss otherwise noted. All work, material, products and equipment shall comply to standards where applicable.

Nationally recognized standards and associates shall be referred to here throughout by their accepted abbreviations.

- 9 CODES: The Work shall be performed in conformance to the applicable codes. The selection of applicable codes will be determined by Local Code Enforcing Agency.
- 10 PROTECTION: The Contractor shall provide temporary protection for the duration of the project on a required basis for all materials, equipment, and furnishings belonging to the Owner. The Contractor shall fully protect all existing and new construction, finishes, furnishings and equipment. All temporary protection shall be removed from the site as they become no longer necessary and at the completion of the Work. Temporary protection shall include, but not be limited to, taping of furniture and hardware, protection boards for walls and floors, ceiling hung curtains and dust partitions, building paper, etc., as required to fully protect the site.
- 11 STORM DRAIN POLLUTION PREVENTION:
 Protect downslope drainage courses, streams
 and storm drains with hay bales, temporary
 drainage, swales, silt fences, berms or storm
 drain inlet filters. Cover stockpiles and
 excavated soil with secured tarps or plastic
 sheeting. For further information contact:

San Mateo Countywide Stormwater Pollution prevention Program 10 Twin Dolphin Drive, Ste. C-200 Redwood City, CA 94065 415-599-1420

- 12 HERITAGE TREE PROTECTION: It is unlawful to damage or remove a heritage tree with a permit from the Town. All trees must be properly protected in accordance with the Atherton Municipal Code section 8.10.
- 13 PROCEDURES AT SUBSTANTIAL
 COMPLETION: The Contractor shall submit
 executed warranties, workmanship bonds,
 maintenance agreements, inspection
 certificates, and similar required documentation.
 All applicable record documentation,
 maintenance manuals, tools, spare parts, attic
 stocks, keys and similar operational items shall
 be delivered to the Owner. All necessary
 instructions to Owner shall be turned over,
 supervised by the Contractor. The Contractor
 will then verify that the Work is Substantially
 Complete, as defined in the Contract, and ready
 for inspection.

14 GENERAL CLOSEOUT REQUIREMENTS:
Operator Instruction: The installer of each
system requireing operation and maintenance
shall provide on-site instruction to the Owner in
sufficient detail to ensure the proper operation
and maintenance of the operating system.

Final Cleaning: At the project closeout, the Contractor shall clean all Work. This will include removing all non-permanent protection and labels, polishing all glass and mirrors, cleaning all exposed finishes, touching up all minor damage which is not required to be replaqued, replacing all mechanical equipment filters, removing all debris, vacuuming all floors, sanitizing all plumbing and food service facilities, cleaning all light fixtures and replacing all burned out lamps

Final cleaning shall be complete prior to and is a requirement for final payment.

DEMOLITION NOTES

Do not scale drawings. Consult Designer if there are questions as to extent of demolition.

- Any uncovered or unanticipated field conditions during select demolition which adversly affect the design intent of the Contract Documents shall be reported to the Designer immediately and allowing sufficient time for Designer to
- 3 All items of reasonable value to be discarded or stockpiled shall be verified with Designer or Owner prior to their removal from the premises.
- Materials adjacent to those to be removed shall be protected from impact, dust or any other
- All rooms which require selective demolition shall be separated from the remainder of the premises by a dust partition.
- 6 All removed electrical devices shall be disconnected at the panelboard and stockpiled.
 All electrical devices to be relocated shall be temporarily disconnected atthe circuit board and stockpiled.

STRUCTURAL NOTES

- Special inspection or structural observation is not a substitute for inspection by the Building Official or Building Inspector. Specially inspected work that is installed or covered without the approval of the Building Official AND the special inspector AND designer engineer is subject to removal or exposure.
- 2 Structural observation shall be required for structural compliance to the approved plans per CBC 1709.2.5.
- Place and secure all anchor bolts and other items to be cast in concrete for foundation inspection. Wet setting anchor bolts or reinforcing after placement of concrete is not
- 4 Special inspection is required for epoxy set

FIRE BLOCKING NOTES

Fire blocking shall be placed as per CRC in the following locations:

- In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor levels and at 10 foot intervals both vertical and borizontal
- 2 At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
- In concealed spaces between stair stringers at top and bottom of the run and between studs along and in line with the run of the stairs if the walls under the stairs are unfinished.
- In openings around vents, pipes, ducts, chimneys, fireplaces, and similar openings which afford a passage for fire at ceiling and floor levels -- with non-combustible material.
- At openings between attic spaces and chimney chases for factory built fireplaces.

Fire block construction, except as provided in item #4 above, shall consist of 2 inches nominal lumber or 2 thicknesses of 1 inch nominal lumber with broken lap joints, or other code approved method.

CRANBERRY RESIDENCE 1258 Cranberry Ave. Sunnyvale, CA 94087

project information

Owner: Sheryl Sun & Jon Blum

Project Address: 1258 Cranberry Ave. Sunnyvale, CA 94087

APN: 202-32-046

Zoning: R-1

Occupancy Group: R-3/U

Parking: 2 covered and 2 uncovered

V-B

Flood Zone: No
Fire Sprinklers: Yes

Construction Type:

Applicable Codes: All construction, regardless of details on plans, shall comply with 2019 California

Building Code, 2019 California Residential Code, 2019 California Green Building Standards Code, 2019 California Plumbing Code, 2019 California Mechanical Code, 2019 California Electrical Code, 2019 California Energy Code, and the 2019

mechanical and plumbing system. New windows to replace existing throughout.

California Fire Code.

Scope of Work:

Addition to the rear of an existing single-family (single-story) home which will include an office, closet, and conservatory. Proposed renovations to the existing house will affect 2,069sf of the existing 3,015sf. A solar panel system will be added to the house's electrical system as well as upgrades to the existing

Lot Area: 15,808 sf

Required Setbacks: Required Front: 20'-0"

Required Sides: combined sideyard setbacks of 20% of lot width

Required Rear: 20'-0"

Maximum Height: 30'-0" from top of curb / two story maximum

Maximum Lot Coverage: 45% x 15,808 = 7,113.6sf

Maximum F.A.R.: 15,808sf x 45% = 7,113 sf or 3,600 sf, whichever is less

DESIGN DATA

FLOOR AREA CALCULATIONS:
existing floor area: 2,987.4sf
new floor area: 796.0sf
total proposed living area: 3,783.4sf

garage (existing to remain): 668.0sf total floor area: 4,451.4sf

4,451.4sf > 3,600sf 4,451.4 / 15,808 = .2815 28% of lot area

BUILDING COVERAGE CALCULATIONS: residence: 3,783.4.sf garage: 668.0sf front porch: 72.0sf total building coverage: 4,523.4sf

4,523.4sf < 7,113sf 4,523.4 / 15,808 = .2861 28.6% of lot area

index

a0.1 Title Sheet

0.2 Title Sheet, cont

a0.3 Materials Board & Streetscape Elevation

1.1 Site Plan - Existing1.2 Site Plan - Proposed

1.3 Floor Area Calculations

2.1 Existing Conditions / Demolition Plan

a2.2 Proposed Floor Plan - First Floor Levela2.3 Proposed Roof Plan

a3.1 Exterior Elevations

a3.2 Exterior Elevations

a3.3 Exterior Elevationsa3.4 Exterior Elevations

a4.1 Sections

Ppo Boundary and Topographic Survey Plan

SOILS REPORT COMPLIANCE

recommended in the geotechnical report.

(Cal Green).

Joel Way

Hawkins Dr

Selig Ln

CAL GREEN BUILDING STANDARDS CODE

green features/benefits, see note for specifications, a0.2.

Community First School (*)

Salvation Army

Earthwork, slab subgrade preparation, basement drainage, foundation

construction, utility trench and basement wall backfilling, and site drainage should

Engineers, Inc., dated September 24, 2013. Murray Engineers should be notified

This project contains notes outlining green features proposed for incorporation into

W Remington Dr

Rockefeller D

the new residence as required by the California Green Building Standards Code

Note: Contractor to develop homeowner operation & maintenance manual of

be performed in accordance with the geotechnical report prepared by Murray

at least 48 hours in advance of any earthwork or foundation construction and

should observe and test during earthwork and foundation construction as

Revisions Description Revision date

Attachment 5
Page 1 of 15

consultants

Structural Engineer

Civil Engineer

Title 24 Compliance

Surveyor

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Cranberry Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

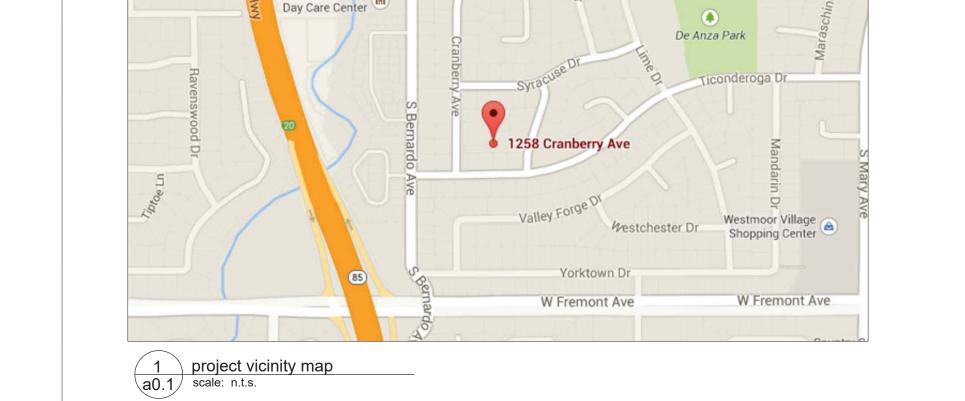
titlesheet

Date: 9.27.2021

Scale: n.t.s.

Drawn by: pq

a0.1



ABBREVIATIONS		CALGREEN COMPLIANCE NO	rec					Revisions Description R
a.b. anchor bolt a.c. asphaltic concrete a.d. area drain adj. adjustable a.f.f. above finished floor alum. aluminum alt. alternate	max. maximum m.b. michine bolt m.c. medicine cabinet mech. mechanical med. medium memb. membrane mezz. mezzanine mfr. manufacturer	A. SITE Divert 50%(by weight) of all jobsite construction waste and demolition waste (recycling or reuse). CalGreen 4.408.1 Where a local jurisdiction does not have a construction and demolition waste management	C. LANDSCAPE 1 Install high-efficiency irrigation systems: system ahs smart (weather based)controller. CalGreen 4.505.2 2 Storm water management during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of	 E. HEATING, VENTILATION & AIR CONDITIONING Design and install HVAC system to acca manual j, d, and s recommendations. CalGreen4.507.2 Install energy star bathroom fans on timer or humidistat. CalGreen 4.506.1. HVAC system installers are trained and certified 	 Heating and air conditioning systems shall be sized, designed and equipment is selected using the following methods: (CalGreen 4.507.2) a. The heat loss and heat gain is established according to ACCA manual J, Ashrae handbooks or equivalent. b. Duct systems are sized according to 	 G. FINISHES 1 Use low-voc interior all/ceiling paints (<50 grams per liter vocs regardless of sheen). CalGreen 4.504.2.2. 2 Use low-voc coatings that meet SCAQMD rule 1113. CalGreen 4.504.2.3. 	 H. OTHER 1 Energy efficiency (min. standard) to meet California Energy Code (Title 24, code 6). CalGreen 4.201.1. 2 An operation and maintenance manual shall be provided to the building occupant or owner, describing (CalGreen 4.410.1): 	$\begin{array}{c c} \boxed{1} \\ \hline \boxed{2} \\ \hline \boxed{3} \\ \hline \boxed{4} \\ \end{array}$
arch. architectural asb. asbestos asph. asphalt bd. board btwn. between bitum. bituminous bldg. building	min. minimum mir. mirror misc. miscellaneous m.o. mansonry opening mtd. mounted mtl. metal mul. mullion	ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency. CalGreen 4.408.2 Recycle and/or salvage for reuse a minimum of 50% of the non-hazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent. (excavated soil and land-clearing debris excluded.)	development which in total disturbs one acre or more, shall manage storm water drainage during construction, including one or more of retention basins, filtration, or compliance with a storm water management ordinance. CalGreen 4.106.2 D. PLUMBING	in the proper installation of HVAC systems. CalGreen 702.1 Install whole house fan. Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2. CalGreen 4.507.1.	ACCA-29D manual D, Ashrae handbooks or equivalent. c. Select heating and cooling equipment according to ACCA 36-S manual S or equivalent. 4 Adhesives, sealants, and caulks shall comply with local or regional air pollution control or air quality management district rules where	Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.	a. keeping manual with property b. o & m instructions for equipment and appliances, drainage, irrigation, etc. c. local utility conservation resources d. public transportation / carpool options e. health benefits of 30-60% relative humidity. f. landscape water conservation g. gutter and downspout maintenance h. routine maintenance	consultants
blk. block blkg. blocking bm. beam bot. bottom cab. cabinet cem. cement cer. ceramic clg. ceiling	n north (n) new n.i.c. not in contract no. number nom. nominal n.t.s. not to scale o.c. on center o.d. outside diameter (dim.)	 Storm water management plan to be developed & implemented during construction. CalGreen 4.106.2 Design for surface water drainage away from buildings. Conjstruction plans shall indicate how the site grading or drainage system will manage surface water flows. CalGreen 4.106.3 	 High efficiency showwerheads <= 2.0 gallons per minute at 80 psi. (multiple showerheads shall not exceed maximum flow rates.) High efficiency bathroom faucets <= 1.5 gpm at 60 psi. High efficiency kitchen and utility faucets <= 1.8 	F. ENVIRONMENTAL QUALITY Gas fireplace shall be a direct-vent sealed-combustion type. woodstove or pellet stove shall comply with US EPA phase II emission limits. CalGreen 4.503.1. At the time of rough installation, or during	applicable, or SCAQMD rule 1168 voc limits and rule 1168 prohibition on the use of certain toxic compounds. Aerosol adhesives shall meet CCR Title 17 94507 ET SEQ. CalGreen 4.504.2.1.	 All carpet and 50% of resilient flooring is low emitting. CalGreen 4.504.3 & 4.504.4. All carpet adhesive shall meet the requirements of table 4.504.1. CalGreen 4.504.3.2. Building material with visibgle signs of water damage shall not be installed. Moisture content of building materials used in wall and floor 	 i. state solar energy and incentive programs. j. special inspection records. Joints and openings: annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against rodents. (CalGreen 4.406.1)	Structural Engineer
clr. clear c.m.u. concrete masonry unit c.o. clean out or cased opening col. column conc. concrete conn. connection const. construction cont. coninuous or continued cpt. carpet	o.d. outside diameter (dim.) off. office oh overhead opng. opening opp. opposite ov. oven perf. perforated pl. plate or property line	B. FOUNDATION 1 Vapor retarder and capillary break is installed at slab on grade foundations. CalGreen 4.505.2	 gpm. Install only high efficiency toilets (dual-flush or ≤= 1.28 gallons per flush. As an alternative to perscriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation. CalGreen 4.303.1 	storage on the construction site and until final start up of the heating and cooling equipment, all duct and other related air distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. CalGreen 4.504.1.		framing is checked before enclosure. 19% max. moisture content of building framing materials. CalGreen 4.505.3.		Civil Engineer
d dryer dbl. double dept. department det. detail	plam. plastic laminate plas. plaster plywd. plywood p.m.e. patch to match existing pnl. panel pr. pair					1	1	Title 24 Compliance
d.f. douglas fir dia. diameter dim. dimension disp. disposal dn down ds downspout dwg drawing dwr drawer	prefab. prefabricated proj. project prop. property psi per square inch pt. point ptd painted ptdf pressure treated douglas fir ptn. partition	CONSTRUCTION AND NOISE The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Sunnyvale Municipal Code Chapter 8.06 Noise.	NOTES					Surveyor
e east ea. each e.j. expansion joint elev. elevation elec. electrical elvr. elevator emer. emergency encl. enclosure e.o.s. edge of slab	qtr. quarter qty. quantity qual. quality r. radius (r) remove r.a. return air r.b. roof beam	Any and all excessive, annoying, loud or unusual noises or vibrations such as offend the peace and quiet of persons of ordinary sensibilities and which interfere with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.						ADJACENT PROPERTY BLOCK / LOT 34 Soils Engineer
e.o.s. edge of slab e.p. electrical panelboard eq. equal equip. equipment est. estimate exc. excavate exh. exhaust (e) existing exp. exposed or expansion ext. exterior	r.c.p. reflected ceiling plan r.d. roof drain ref. reference refr. refrigerator reinf. reinforced req'd. required resil. resilient rgtr. register r.h. hobe hook	2 Construction Activities: a. Construction activities are limited to the hours of 8am and 6pm Monday through Friday. b. Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of 9a						· _ Arborist
fa. fire alarm fab. fabricate f.a.u. forced air unit f.b. flat bar f.c. face of curb f.d. floor drain fdn. foundation	rm. room r.o. rough opening r.o.w. right of way s. south s.4.s. surfaced 4 sides s.c. solid core s.c.d. see civil drawings	and 5p. c. A sign containing the permitted hours of construction activities exceeding the noise limits set for in section 8.06.030 shall be posted at all entrances to a construction site upon the commencement of construction for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The			ADJAC BLOCK	CENT PROPERTY K / LOT 47		
f.e. fire extinguisher f.e.c. fire extinguisher cabinet f.f. finished floor fin. finish fixt. fixture	sched. schedule s.d. smoke detector sdg. siding sect. section sht. sheet	sign shall be at least 5'-0" above ground level and shall consist of a white background with black letters. d. notwithstanding any other provision set forth above, all powered equipment shall comply with the limits set forth in section 8.06.040(b).					ADO BLO	OCK / LOT 35
flash. flashing flr floor fluor. fluourescent f.o.f. face of finish f.o.s. face of stud fp fireplace f.s. full size ft. feet or foot ftg. footing furn. furnace or furniture	shth. sheathing sim. similar sl. skylight s.l.d. see landscape drawings s.m.s. sheet metal screw s.o.s. sanded one side spec. specification sq. square s.s.d. see structural drawings ss stainless steel std. standard			0 5 10 20	50			P.O. Box 99214 Emeryville, CA 94662 tel.510.551.6224 peony@opq-design.com
furr. furring fut. future ga. gauge galv. galvanized gb grab bar g.d. garbage disposal gfci ground fault circuit interrupter g.l.b. glue laminated beam	stl. steel stor. storage struct. structural sym. symbol or symmetrical sys. system t&b top and bottom t&g tongue and groove					SUBJECT PROPERTY 1258 CRANBERRY AVE. BLOCK / LOT /46		Cranberry Residence 1258 Cranberry Ave. Sunnyvale, CA 94087
gr grade gyp. bd. gypsum board hb hose bib	t. tread t.b. towel bar t.b.d. to be determined tel. telephone thk. thick						ADJACENT PROPERTY BLOCK / LOT 37	
hd. head hdr. bd. headerboard hdwr. hardware h.m. hollow metal horiz. horizontal	thru through t.o.c. top of curb/concrete t.o.w. top of wall tv television typ. typical					ADJACENT PROPERTY BLOCK / LOT 38	•	\ titlesheet, cont.
hr. hour ht. height htr. heater hwd. hardwood	ubc uniform building code u.l. underwriter's laboratories unfin. unfinished u.o.n. unless otherwise noted		CRANBERF			BLOCK / LOT 38		
i.d. inside diameter (dim.) in. inch incl. include insul. insulation int. interior inv. invert j.h. joist hanger	v.c.t. vinyl composition tile vert. vertical v.g. vertical grain v.i.f. verify in field vol. volume v.w.a. verify with architect v.w.d. verify with designer		RY AVENUE	ADJACENT PRO BLOCK / LOT	PERTY 39			Date: 3.2.2021 Scale: n.t.s.
jst. joist jt. joint kit. kitchen	w washing machine, west, or widthw/ withw/o withoutw.c. water closet			·				Drawn by: pq
k.o. knock out k.p. kick plate lam. laminated lav. lavatory lb. pound lin. linear	wd wood w.h. water heater wp waterproof wpm waterproof membrane wt. weight						•	a0.2
lin. linear It. light	yd. yard				plot plan a0.1 scale: n.t.s.			

revisions as per plancheck comments 8.19.21

consultants consultants

Structural Engineer

Civil Engineer

Title 24 Compliance

Surveyor

Soils Engineer











pavers - garden pathways
a0.3 SCALE n.t.s.

exterior cladding - painted t & g siding

scale n.t.s.

architectural details - antique brick cladding

roofing material - composite shingles
a0.3 SCALE n.t.s.

Arborist

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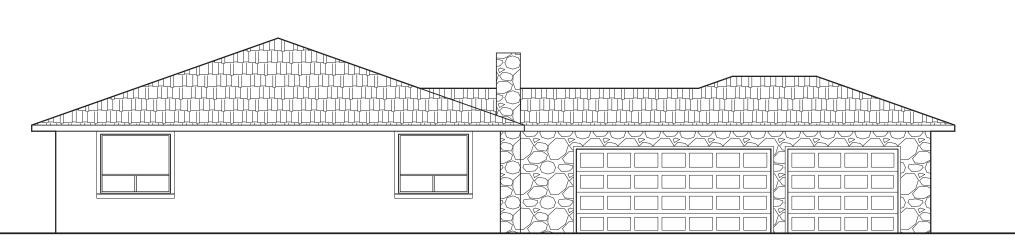
Cranberry Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

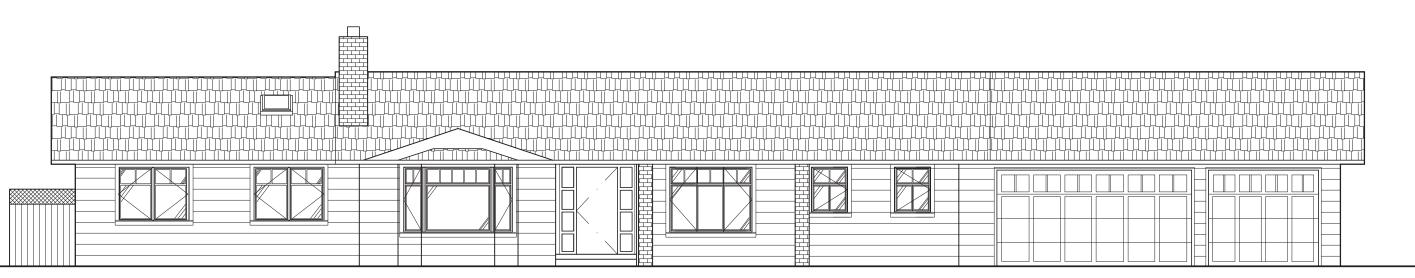
materials board & streetscape elevation

Date: 3.2.2021

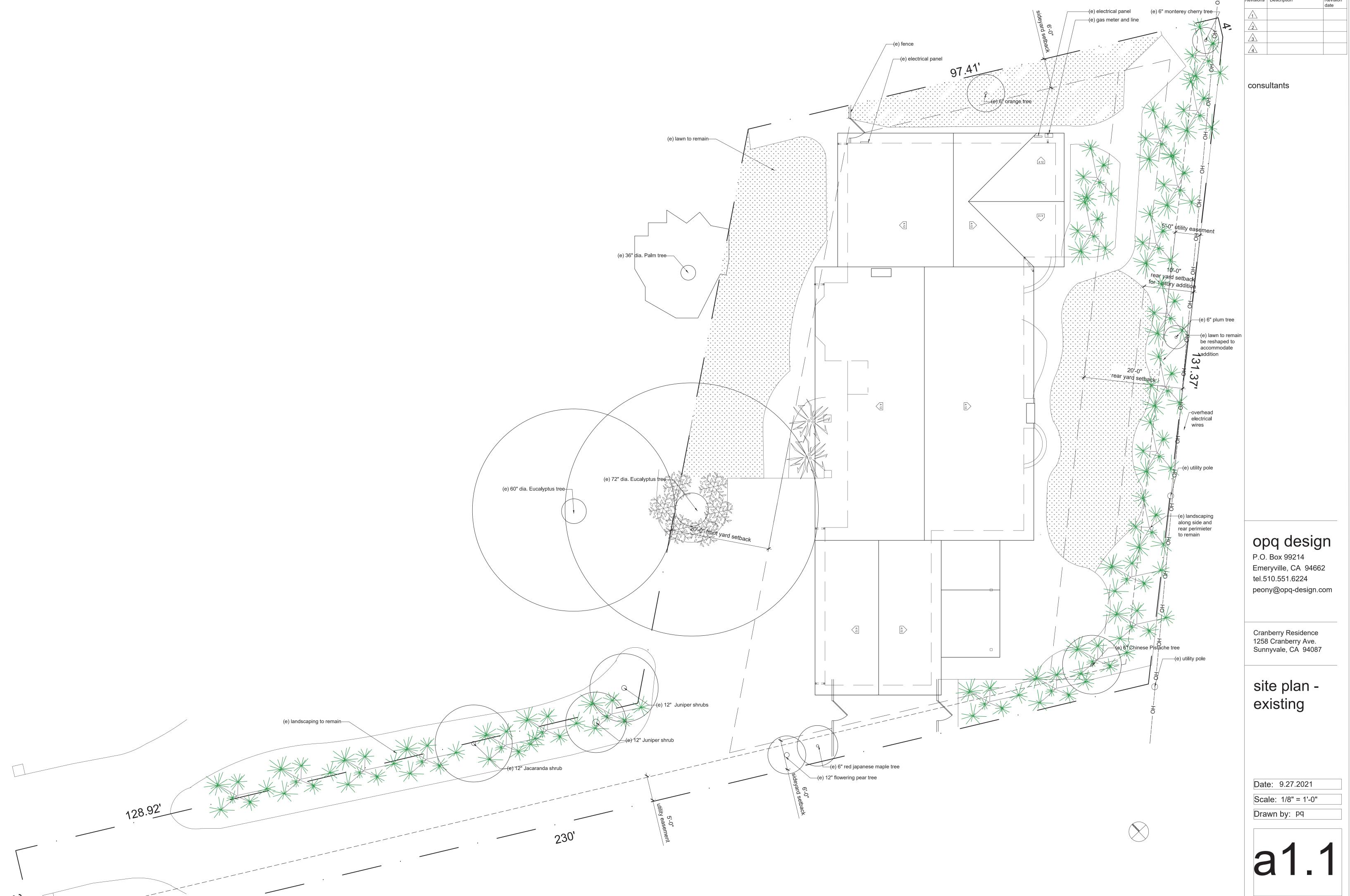
Scale: n.t.s. Drawn by: pq

a0.3





1238 1258



consultants

FLOOR AREA VERIFICATION:	
FLOOR AREA VERIFICATION.	

fireplace / firebox area (subtract):

dimensions

1'-7" x 3'-8"

3'-11" x 2'-2"

totals

5.9 sf

8.5 sf

-14.4 sf

existing floor area:

TOTAL

oxiotii ig iiooi t	<u>ar oa.</u>	
area	dimensions	totals
A	78'-2" x 35'-6.75"	2751.0 sf
В	22'-11.75" x 7'-1.5"	163.8 sf
С	16'-4" x 4'-4"	87.0 sf
D (garage)	31'-2" x 21'-4"	668.0 sf
aa (subtract)	1'-7" x 3'-8"	-5.9 sf
bb (subtract)	3'-11" x 2'-2"	-8.5 sf
TOTAL		3655.4 sf

FLOOR AREA CALCULATIONS:

existing floor area: 2987.4 sf new floor area: 796.0 sf total proposed living area: 3,783.4 sf

668.0 sf garage:

total floor area: 4,451.4 sf > 3600 sf 4,451.4 / 15,808 = .2815 4,451.4 sf

28% of lot area

BUILDING COVERAGE CALCULATIONS: residence:

4,451.4 sf front porch: 72.0 sf total building coverage: 4,523.4 sf

4,523.4 sf < 7,113.6sf

4,523.4 / 15,808 = .2861 28.6% of lot area JON'S CLOSET 7'-7" x 6'-6" new floor area: dimensions totals 22'-11.75" x 17'-10" 410.0 sf 24'-9" x 15'-7" 386.0 sf TOTAL 796.0 sf (E) FAMILY ROOM (E) BEDROOM 3 MASTER BATH 11'_F7" x 17'-8" — CONSERVATORY (E) KITCHEN 12'-9" X 23'-8" open shelves expand size of (e) attic access to add attic ladder (E) ENTRY VESTIBULE raise floor of living room to match entry vestibule and rest of house-(E) LIVING ROOM (E) LAUNDRY RM 14'-8" X 6'-2" (E)DINING ROOM EXERCISE ROOM 12'-3" x 13'-3" (E) BEDROOM 2 (E) GARAGE 30'-8" x 20'-4"

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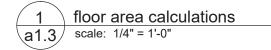
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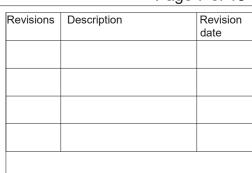
Sun Blum Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

floor area calculations

Date: 9.27.2021

Scale: 1/4" = 1'-0" Drawn by: pq





consultants

contractor

structural engineer

surveyor
J.L. Engineering
1539 fourth street
san rafael, ca 94901
tel.415.457.6647
fax.415.457.2517

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Sun Blum Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

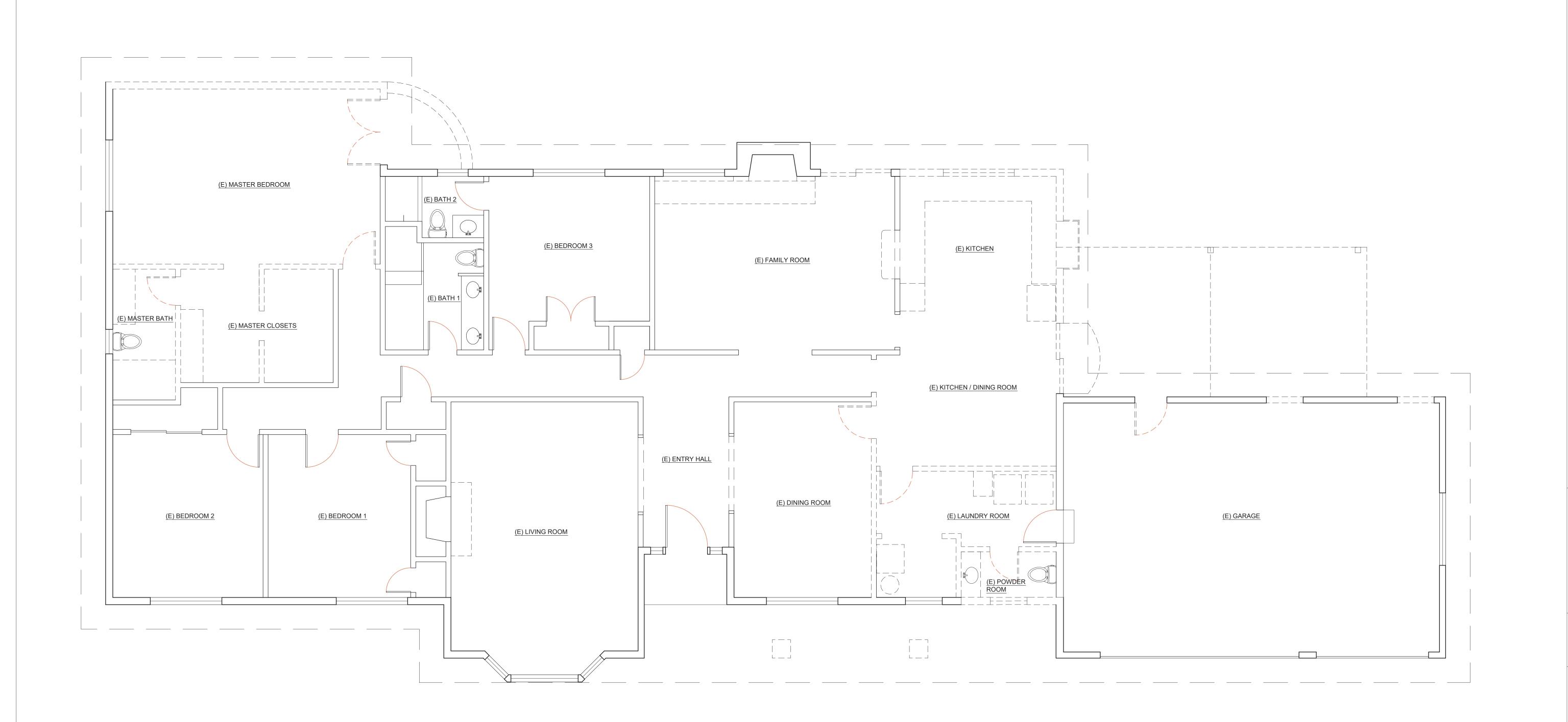
demolition plan

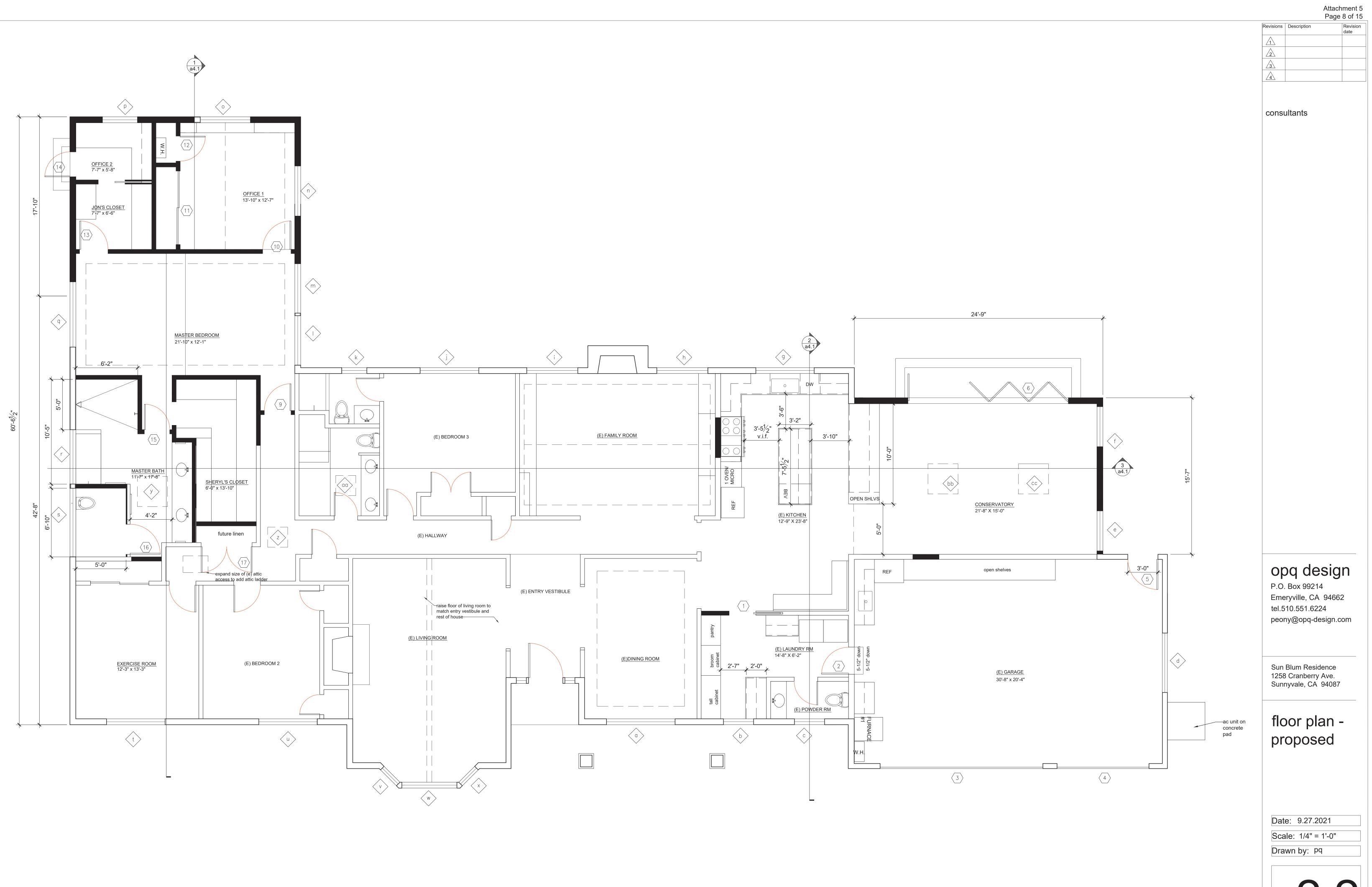
Date: 9.27.2021

Scale: 1/4" = 1'-0"

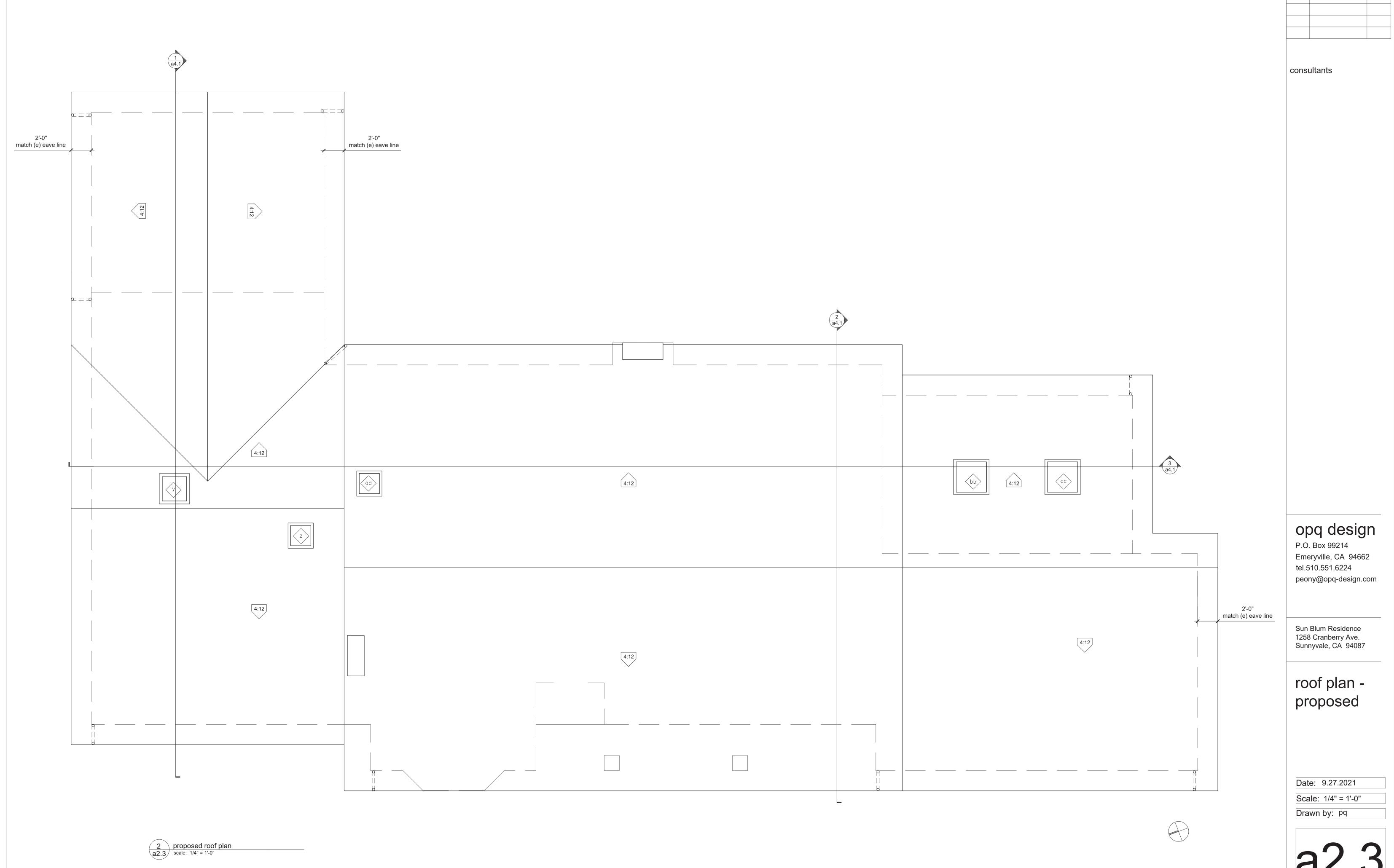
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a2.1





a2.



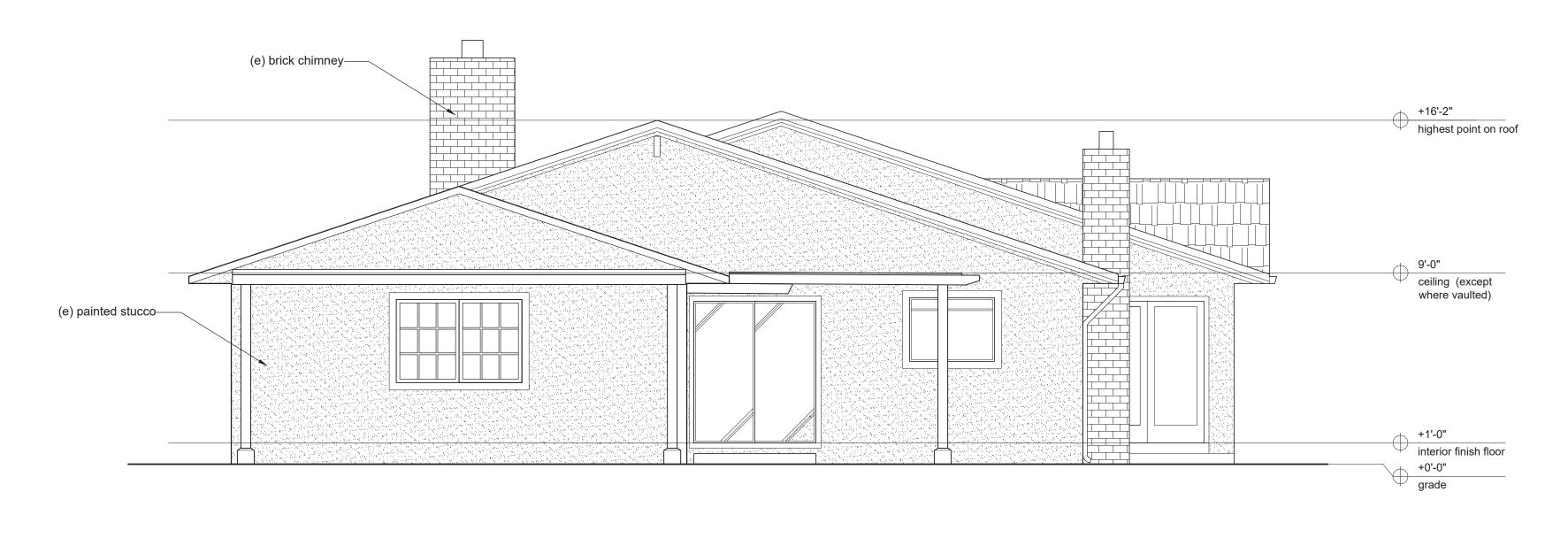
Revisions	Description	Revision date
\triangle		
2		
3		
4		

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contractor

structural engineer

surveyor



1 existing east elevation a3.2 scale: 1/4" = 1'-0"



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Sun Blum Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

exterior elevations

Date: 9.27.2021 Scale: 1/4" = 1'-0"

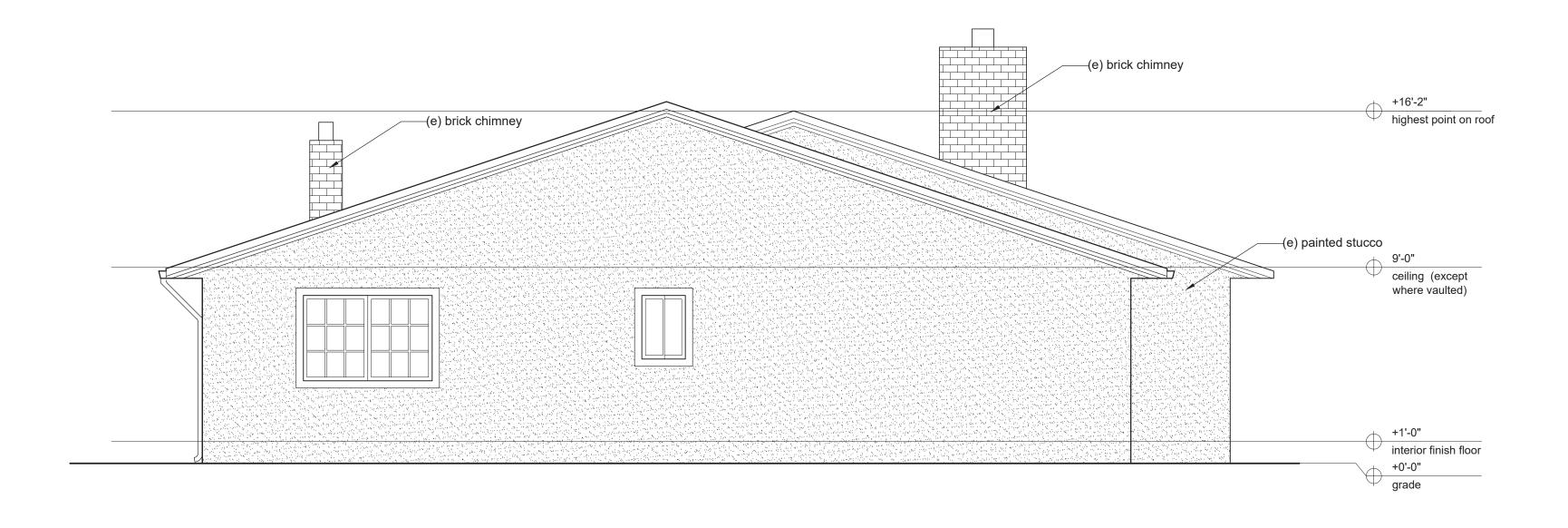
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a3.2

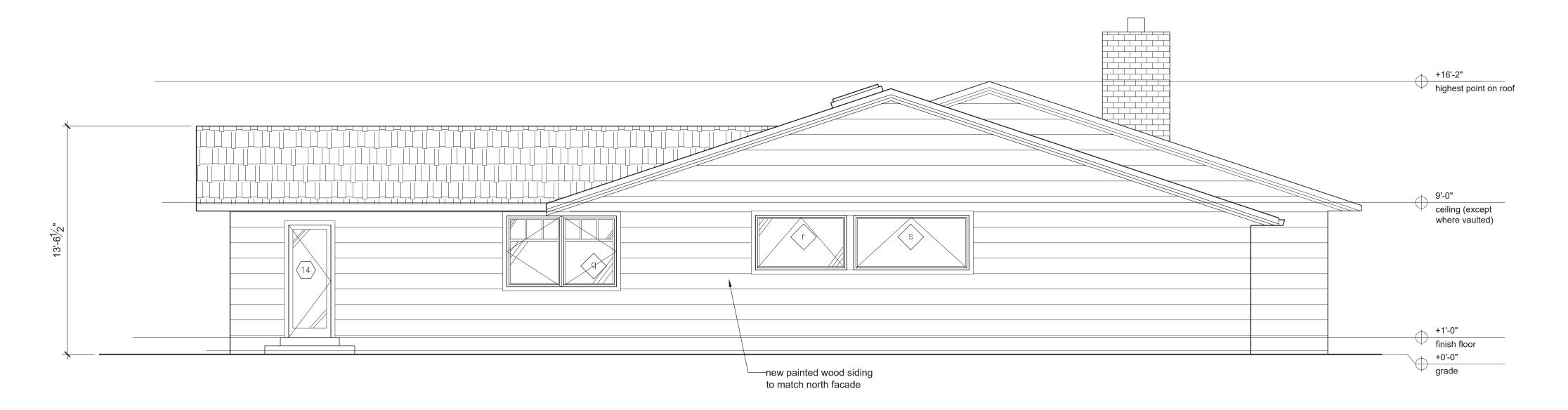
a3.3

Revisions	Description	Revisior date
1		

consultants



a3.4 existing west elevation scale: 1/4" = 1'-0"



proposed west elevation a3.4 scale: 1/4" = 1'-0"

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peony@opq-design.com

Sun Blum Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

exterior elevations

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a3.4



+1'-0"
interior f.f.
+0'-0"
grade

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peony@opq-design.com

Cranberry Residence 1258 Cranberry Ave. Sunnyvale, CA 94087

batt insulation where allowed and

sections

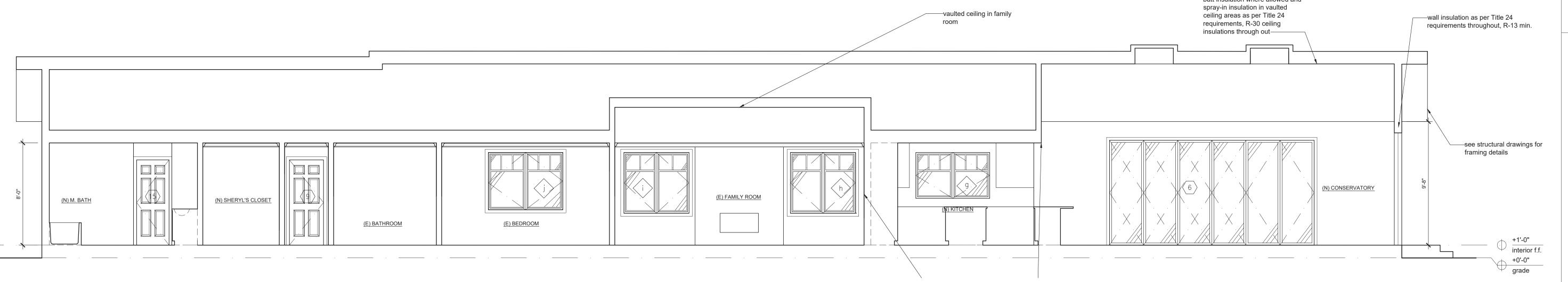
Date: 9.27.2021

Scale: 1/4" = 1'-0"

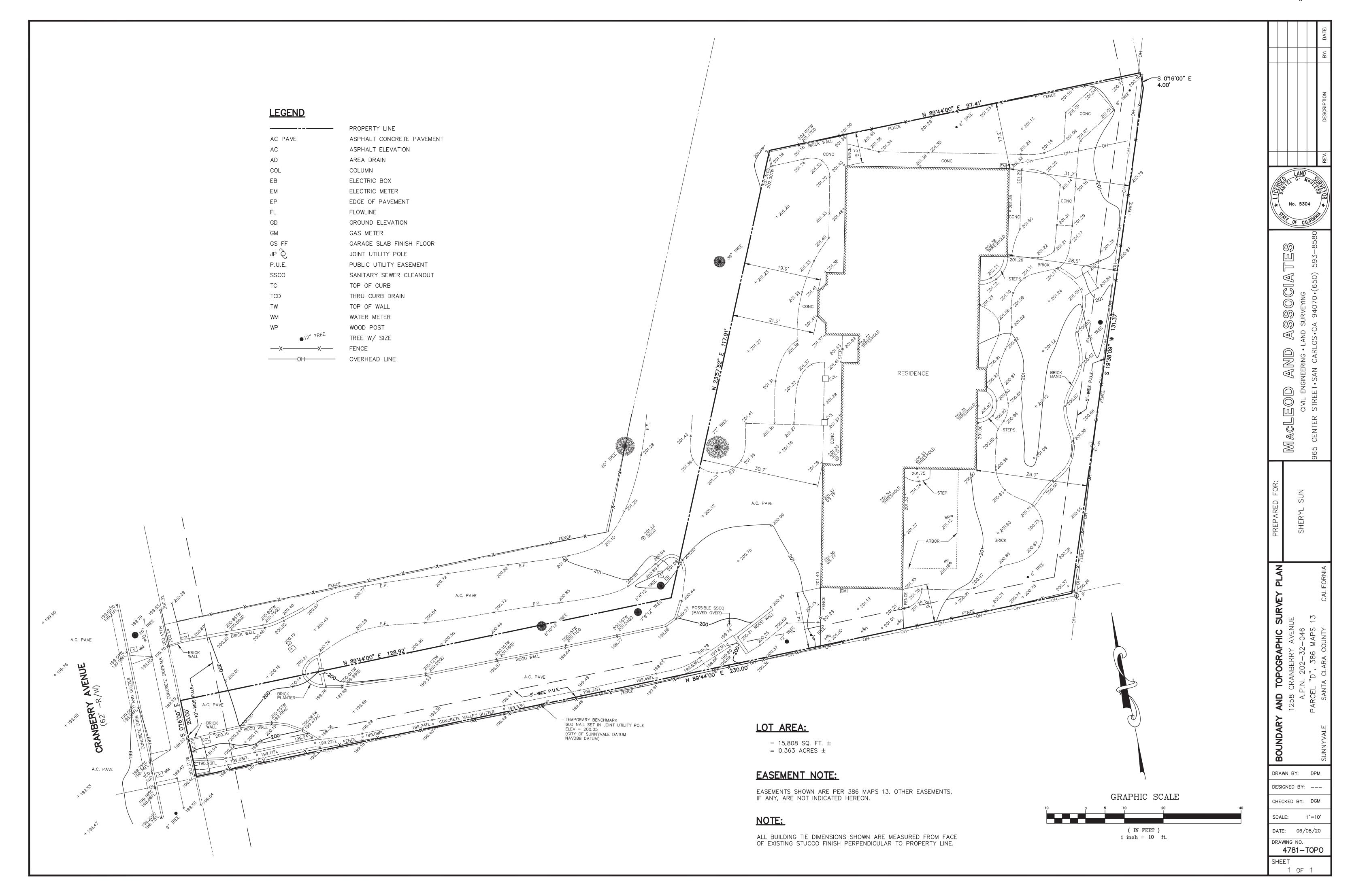
Drawn by: pq

a4.1

proposed section b-b scale: 1/4" = 1'-0"



(N) KITCHEN



			Floor Area	Lot Size	
APN	Address	Stories	(s.f.)	(s.f.)	FAR
202-32-039	1091 Ticonderoga Dr	1	1,976	9,000	22.0%
202-32-041	1090 Syracuse Dr	1	2,132	7,900	27.0%
202-32-046	1258 Cranberry Av	1	4,452	15,808	28.2%
202-32-047	1238 Cranberry Av	1	3,513	18,368	19.1%
202-32-048	1234 Cranberry Av	2	4,209	21,150	19.9%
202-32-049	1230 Cranberry Av	1	3,056	12,996	23.5%
202-35-020	1091 Syracuse Dr	1	2,136	8,160	26.2%
202-36-009	1197 Cranberry Av	1	2,138	7,200	29.7%
202-36-010	1191 Cranberry Av	1	2,475	7,500	33.0%
202-36-012	1243 Cranberry Av	1	1,976	9,000	22.0%
202-36-013	1253 Cranberry Av	1	2,161	9,000	24.0%
202-36-014	1255 Cranberry Av	1	1,976	9,000	22.0%

Color, materials and other details for single family home at 1258 Cranberry Avenue Fill in information in highlighted text and update photos for your project.

Item	Product Brand and Item Name	Colored picture example	Comments
Exterior color of the House	Valspar Exterior paint, Color Name: Wet Pavement		body
	Valspar Exterior paint, Color Name: White		trim
House Finish	Painted v-groove wood siding to match existing siding on front of house		Paint color: Wet pavement
Roof	Metal roofing shingles, charcoal grey, with solar panels		
Brick Veneer	Manufacturer t.b.d.		Cladding on columns at front of house to match (e) brick of (e) chimney
Outdoor lighting	Modern Forms Structure outdoor led sconces		Used in both sides of garage door and front door.
Front Door	Existing entry door to remain. Paint semi-gloss dark blue		

Item	Product Brand and Item Name		Comments
Garage Door	Sousa garage doors Material: wood and glass, painted to match trim;		
Windows	Anderson aluminum clad wood – painted wood windows clad in painted black metal with Simulated Divided Lite (SDL)grids		Casement, u.o.n. See exterior elevations for design.
Driveway pavers	Existing asphalt driveway to remain		
Walkway pavers	Antique brick		
House Number design –	Use existing. Brass at the street, porcelain on the house.	1258 CRANBERRY AVENUE	

Sunnyvale

City of Sunnyvale

Agenda Item 3

21-0957 Agenda Date: 10/11/2021

REPORT TO PLANNING COMMISSION

SUBJECT

Proposed Project:

DESIGN REVIEW to construct a 471 square foot first floor addition to an existing one-story single-family home, resulting in 1,946 square feet (1,442 square feet living area and 504 square feet garage) and 33% FAR. The project includes a new second story 845 square foot Accessory Dwelling Unit resulting in a total floor area of 2,791 square feet and 47% FAR including the ADU.

VARIANCE to allow a 4 foot second floor setback where a minimum of 7 feet is required to accommodate an exterior stair and landing for the proposed ADU.

Location: 1279 Palamos Ave. (104-27-082)

File #: 2020-7286 Zoning: R-0

Applicant / Owner: JER Design Group (Applicant) / Nathan Iglesias (Owner)

Environmental Review: A Class 3 Categorical Exemption relieves this project from the California

Environmental Quality Act (CEQA) provisions.

Project Planner: Cindy Hom, (408) 730-7411, chom@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Low Density Residential

Existing Site Conditions: One-story single-family home.

Surrounding Land Uses

North: One-story mobile home park. South: One-story single-family home. East: One-story single-family home. West: One-story single-family home.

Issues: Neighborhood Compatibility

Staff Recommendation: Approve the Design Review based on Recommended Findings in Attachment 3 and subject to the Recommended Conditions of Approval in Attachment 4.

BACKGROUND

State Accessory Dwelling Unit Legislation:

The State of California enacted new legislation related to ADUs (AB 881, AB 68, and SB 13). The City of Sunnyvale City Council adopted ADU regulations incorporated in Sunnyvale Municipal Code (SMC) Chapter 19.79, which went into effect in February 2020. As required by state law, the City's ADU regulations provide for streamlined approval (building permit only) of ADUs that meet certain criteria. For ADUs that do not qualify for streamlined approval such as a newly constructed or an

attached ADU more than 800 square feet in size, then the ADU is subject to additional zoning requirements of the SMC. State law allows the City to impose other applicable zoning requirements in Title 19 including but not limited to, lot coverage, required rear yard maximum lot coverage, floor area ratio, open space, and design review on non-streamlined ADUs, as long as those requirements do not preclude the construction of an ADU that is at least 800 square feet in size, no more than 16 feet in height, and has four-foot side and rear setbacks.

Design Review is required for the construction of additions or new homes to evaluate compliance with development standards and with the Single-Family Home Design Techniques, which are intended to promote increased property value, protect property owner livability and investment by discouraging inappropriate and out of scale adjacent homes while maintaining neighborhood compatibility and high-quality architecture. Planning Commission review is required for homes exceeding 3,600 square feet gross floor area or a Floor Area Ratio (FAR) greater than 45%. The proposed project will exceed the 45% FAR threshold. See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Project Data Table.

An application was received on May 19, 2020 for an addition to the main dwelling and to construct a new second story Accessory Dwelling Unit (ADU). The original proposal included covered exterior stairs on the side with a wrapped porch and balcony element along the front of the ADU. This would have resulted in deviations to the front and side setback and exceeded the maximum square footage for an ADU, which is limited to 50% of the existing single family dwelling. Staff and the applicant worked on multiple resubmittals to resolve above issues and design comments while still trying to meet the owner's desired square footage and design objectives.

The project proposal is for a 471 square foot first floor addition and a new 845 square foot second story ADU resulting in a total floor area of 2,791 square feet (1,442 square foot living area, 504 square foot garage and 845 square foot ADU) and 47% floor area ratio (FAR). The request includes a Variance to allow a 4 foot second floor side setback to accommodate exterior staircase and landing to the ADU where a 7 foot setback is required for the second floor.

Previous Actions on the Site

There are no previous Planning approvals and are no active neighborhood preservation cases on this property.

EXISTING POLICY

Applicable Design Guidelines:

The proposed addition is generally consistent with the Single-Family Home Design Techniques based on the following:

- Maintains design continuity by utilizing 2½':12" pitch roof to match existing, which is similar to the neighborhood pattern as well as similar building forms;
- Incorporates high quality materials that improves the visual architectural character of the home: and
- Reorientates the front door to be street facing, which is encouraged by the Single-Family Home Design Techniques

However, the second story exceeds the second to first floor ratio. Per Single-Family Design Technique SF-1, the area of the second floor should not exceed the common standard of the

neighborhood. For new second stories in predominately one-story neighborhoods, the second floor area should not exceed 35% of the first floor area (including the garage area). Furthermore, Single-Family Design Technique SF-8. Indicates second floor ceiling heights should be minimized. If taller interior ceilings heights are desired, they should be achieved through the use of cathedral ceilings rather that increased wall plate height.

The proposed second floor ADU is at 43% of the first floor area and includes a front balcony which adds emphasis on the second floor. The second floor also has a wall plate height of 8 feet 6 inches. Staff has worked with the applicant to reduce the plate height from of the original proposal of 9 feet 2 inches and also reduced the size of the front balcony. In consideration of the applicant's design objectives, facilitating ADUs, and ensuring architectural compatibility, staff is providing alternatives for the Planning Commission to consider and outlined further in the architectural design section. Findings and consistency analysis for the proposed project are included in Attachment 3.

ENVIRONMENTAL REVIEW

A Class 3 Categorical Exemption includes alterations and additions to an existing single-family residence in an urbanized area.

DISCUSSION

Project Description:

The project site is 5,940 square feet and is currently developed with a one-story single-family home. The applicant proposes a 471 square foot first floor addition and a new 845 square foot second story ADU resulting in a total floor area of 2,791 square feet (1,442 square foot living area, 504 square foot garage and 845 square foot ADU) and 47% FAR. The request includes a Variance to allow a 4 foot second story side setback to accommodate exterior staircase and landing to the ADU where a 7 foot setback is required.

Present Site Conditions

The neighborhood is primarily comprised of one-story single-family homes with two two-story homes on the block face. The existing home was built in the late 1958 with mid-century architectural features that includes low pitched gabled roof with deep facias, large windows, wide porch, and materials consisting of stucco and wood siding. The existing one-story home is 1,468 square feet on a rectangular shaped lot.

Development Standards

The proposed project complies with the applicable development standards as set forth in the Sunnyvale Municipal Code (SMC) except for the minimum 7 foot setback required for second floor. The applicant is requesting a Variance to allow a 4 foot setback for an exterior staircase and landing that provides the primary access to the proposed ADU. The Project Data Table for the proposed project can be found in Attachment 2.

Variance for Second Floor Setback:

The applicant is requesting a reduced second floor setback on the left elevation to accommodate staircase to the proposed second story ADU. The minimum requirement is 7 feet, and the project provides a 4-foot setback. The design of the stairs is incorporated into wall of the garage addition. The applicant proposes to conceal the exterior staircase with horizontal siding as an architectural treatment and to also provide additional privacy. This architectural treatment is consistent with the

Single Family Design Technique PV-4, which encourages the design of railings to be tailored to the privacy concerns of neighbors (e.g., balcony or deck sides overlooking adjacent windows or actively used yard space should be solid in form). Staff is supportive of the Variance because the design maintains sensitivity and privacy to the adjacent neighbors. The location of the stairs would overlook the side of garage and will not have a direct line of sight to living areas of the adjacent home. It also will not be considered a special privilege because SMC Section 19.48.070 allows for uncovered stairs, landings, fire escapes, porches, and portions of balconies that extend beyond a support structure to encroach 3 feet into any required front and side yard. The way the staircase is proposed lessens the visual impact of the exterior stairs. Variance findings are provided in Attachment 3.

The Planning Commission can consider alternatives if the Variance findings cannot be met. One alternative to eliminate the need for a Variance is to remove the ground floor addition under the exterior stairs and to support the exterior uncovered stairs from a footing and supportive beam at the second floor. This would bring the project into compliance with SMC Section 19.48.070 for extensions into yards. This option would result in a loss of privacy and architectural detailing and increase the visibility of the stairs. Incorporating the stairs into the first floor addition and the use of horizontal siding helps tie the side elevation in with the front elevation design elements and allows for design continuity.

Floor Area and Floor Area Ratio:

A single-family home proposing a gross floor area greater than 45% Floor Area Ratio (FAR) requires Planning Commission Review. The proposed project has a gross floor area of 2,791 square feet on a 5,940 square foot lot, which results in 47% FAR.

Homes in the neighborhood range in size from 1,468 square feet to 2,845 square feet with an average of 1,704 square feet. The existing FARs in the vicinity range from 12% to 48%, with an average of 28%. The project proposes a 47% FAR and would be the second largest home in the immediate neighborhood. There is already a precedent for a high FAR as well as two story homes. The single story home located at 1267 Palamos is approved with a 48% FAR. There are two other two-story homes within the same neighborhood block. The proposed addition would not appear to be out of character with the neighborhood because the design incorporates the following elements to help reduce the appearance of bulk, mass, and height:

- 1. Incorporating roof elements to help break up the massing of the second floor.
- 2. Providing gable roof forms with a 2 ½":12" roof pitch to help reduce building height.
- 3. Utilizing materials and color changes to distinguish first and second floor.

To further minimize perception of bulk and massing, staff is recommending the wall plate height be reduce to eight feet.

Architectural Design

The existing neighborhood is comprised of mostly one-story, single-family residences constructed in 1953, which are primarily mid-century modern style with simple rectilinear forms.

The proposed second story addition is in keeping with rectilinear forms and shallow pitched gable roofs that are a dominant characteristic in the neighborhood. The proposed additions reflect a transitional mid-century style of architecture. The design and style elements consist of following:

- Asphalt composition roof;
- Roof eaves are enclosed;

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- Standing seam roof material that is utilized to accent the porch entry element and the small, shed roofs over the garage that flare from the front balcony walls;
- Smooth finish stucco painted a beige earth tone color;
- Horizontal fiber cement siding along the front and left side elevation;
- Contemporary horizontal iron railings for the front balcony;
- Casement windows with ebony window mullions; and
- Contemporary doors and new garage door.

To help further de-emphasize the second story massing, staff is recommending the following addition changes, which have been incorporated in conditions PS-2:

- Horizontal siding to be added to the right half of the second floor front elevation to accentuate
 the asymmetry of the facade. The siding would wrap around to the right elevation and
 terminate at the end of the second floor bedroom window.
- The porch columns are to be cladded with horizontal siding. This would add a material break and visual interest at the entry.
- The roof pitch over the porch element be revised to match the 2 ½":12" pitch roof that is provided for the home. This will help reduce height of the forehead and minimize the perception of bulk and massing.

First to Second Floor Area Ratio Guideline:

As mentioned above, the proposed second floor exceeds the 35% second to first floor ratio. The two-story home located at 1293 Palamos is three houses down from the subject site and approved with a 40% FAR and a 94% second to first floor ratio. The other two-story home is located at 1192 Manzano and is approved with 31% FAR and 36% second to first floor ratio. Staff is supportive of the proposal based on the additional changes that the have been incorporated into the Conditions of Approval for the project. If the Planning Commission finds that the 43% second to first floor ratio is too high, then the following alternatives could be considered:

- 1. Reduce the size of the second floor to comply with the City's design guideline. The second floor would need to be reduced to be no more than 681 square feet. This option would not be in-line with the applicant's design objective and desired square footage. This change will no longer require Planning Commission approval because the total FAR will be reduced to 44.2% and will be consistent with the city's design guidelines.
- 2. Reduce the size of the second floor to be no more than 800 square feet, which brings the second to first floor ratio down to 41%. The total FAR would be reduced to 46%. This would be result in a compromise on the design guideline but allow facilitation of an 800 square foot ADU.
- 3. Keep the 845 square feet ADU as proposed and remove front balcony element. By removing the balcony, it can help de-emphasize the second floor massing.
- 4. Require a combination of reducing the square footage of the second floor and removal of the front balcony.

Neighborhood Impacts

The proposed home design addresses neighbor privacy, scale, and architectural design compatibility. The proposed home complies with the all the development standards except for a reduced second floor setback to accommodate an exterior stair and landing to an ADU. As proposed, the design mitigates privacy with the use of high sill windows. The location of the exterior stairs and landing maintain sensitivity and privacy by overlooking the side of garage. The stairs would be concealed with horizontal siding which will provide additional privacy and adds additional architectural detailing.

The proposed home utilizes similar roof pitch and form, and traditional building forms high-quality materials that will complement the architectural style found in the neighborhood.

Applicant's Request:

The applicant's project letter provided in Attachment 7 requests the Planning Commission consider the original concept design, which included a covered exterior staircase on the left side with a wrapped porch and balcony element along the side and front of the second story ADU. It also had a 9 foot 2 inch tall wall plate height on the second floor and a 4":12" pitch roof. The applicant provided renderings of two alternatives for the balcony railing. Alternative one consists of open horizontal cable railing for the balcony. The second alternative is a combination of solid walls and open railing, which is similar to the current design. This concept would have required a variance for reduced second floor front and side setback and to allow the ADU to exceed 50% of the single family dwelling. Staff would not be able to support the original design because of the bulk and massing of the second floor. Additionally, the roof pitch would be inconsistent with the existing roof and not in keeping with the neighborhood patterns, which consist of shallow roof pitches. The original concept also conflicted with many of the Single Family Design Techniques. Lastly, staff would not be able to make the required Variance findings for the multiple deviations.

Staff worked with the applicant on the changes that are reflected in the site and architectural plans provided in Attachment 5. The current design and implementation of the conditions of approval noted above, accommodates the applicant's objectives to retain a front, side, and backyard, maintain the mid-century modern architecture with more contemporary materials and build an ADU of sufficient size so that a family of two can occupy the space comfortably as well as satisfies the City's standard requirements, design guidelines and need for additional housing.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

Notice of Public Hearing

- Published in the *Sun* newspaper
- Posted on the site
- 72 notices mailed to property owners and residents within 300 feet of the project site

Staff Report

Posted on the City's website

Agenda

- Posted on the City's official notice bulletin board
- Posted on the City's website

Public Contact: Staff has not received any correspondence or phone calls from neighbors at the time of writing of this report.

ALTERNATIVES

1. Approve the Design Review and Variance subject to the Recommended Findings in Attachment 3 and Recommended Condition of Approval in Attachment 4.

- 2. Approve the Design Review and Variance with modified Recommended Condition of Approval in Attachment 4.
- 3. Continue the Design Review and Variance and provide direction to staff and the applicant where changes should be made.
- 4. Deny the Design Review and Variance and provide direction to staff and the applicant where changes should be made.

STAFF RECOMMENDATION

Alternative 1: Approve the Design Review and Variance subject to the Recommended Findings in Attachment 3 and Recommended Condition of Approval in Attachment 4..

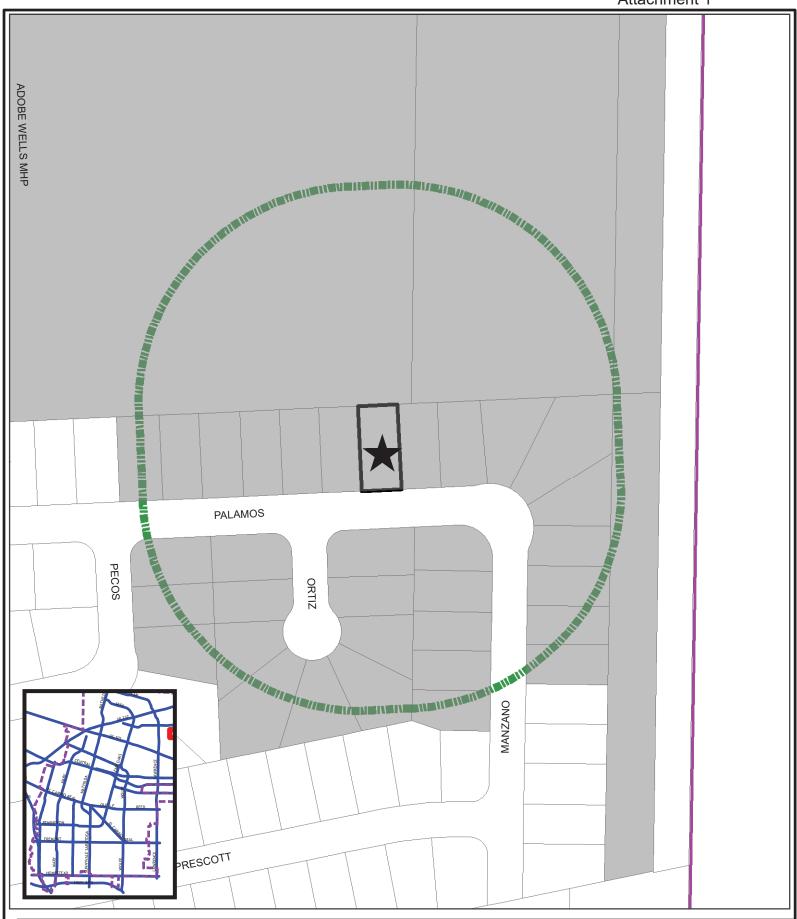
The proposed design can be supported because it is generally consistent with the Single-Family Design Guidelines. Staff was able to make the required Findings based on the justifications for the Design Review, Variance, and the Recommended Conditions of Approval.

Prepared by: Cindy Hom, Associate

Approved by: Shaunn Mendrin, Principal Planner

ATTACHMENTS

- 1. Site, Vicinity and Public Notice Mailing Map
- 2. Project Data Table
- 3. Recommended Findings
- 4. Recommended Conditions of Approval
- 5. Site and Architectural Plans
- 6. FAR Study
- 7. Project Description Letter



2020-7286 1279 Palamos Ave. (104-27-082) DESIGN REVIEW | VARIANCE 300-ft Area

0 40 80 160 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/
	Low Donaity	Same	PERMITTED
General Plan	Low Density Residential (RLO)	Same	
Zoning District	Low Density Residential (R-1)	Same	
Lot Size (s.f.)	5,940 s.f.	Same	8,000 min.
Gross Floor Area (s.f.)	1,475 s.f.	2,791 s.f.	
Lot Coverage	24%	32%	One Story – 45% max Two Story – 40% max
Floor Area Ratio (FAR%)	24%	47%	45% or 3,600 s.f. whichever is less
No. of Buildings On- Site	1	1	NA
Building Height	10'	24'-4"	30' max.
No. of Stories	1	2	2 max.
1 st Floor Setbacks			
Front	20'	20'	20' min.
Side	5'11" and 10'-5"	4' and 7'	4' min.
Combined/Total Side	16'-4"	11'	10'-9 ½" min.
Rear	28'-9 1/4"	Same	20' min.
2nd Floor Setbacks			
Front		25'	25' min.
Side ¹		4' and 17'-10 ½ "	7' min.
Combined/Total Side		21'-10 ½"	16'-9 ½" min.
Rear		55'-1"	20' min.
Parking			
Total Spaces	2	4	4 min.
Covered Spaces	0	2	2 min.
Uncovered Spaces	2	2	2 min.
Rear Yard Coverage			
Sq. Ft of	None	None	25% of required rear
Encroachment (%)			yard or 370 s.f. max



Starred items indicate deviations from Sunnyvale Municipal Code requirement ¹ Variance requested for reduced 2nd floor side setback to accommodate stairs and landing to a second story ADU.



RECOMMENDED FINDINGS

Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single-Family Home Design Techniques.

Basic Design Principle	Comments
2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns	The proposed additions will be in keeping with the neighborhood pattern by: • Maintaining orientation toward the street. • Utilizing traditional building and gable roof forms. • Incorporating materials and porch entry feature similar to those found in the neighborhood. Finding met.
2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.	The proposed addition has been designed to minimize the perception of bulk and mass by utilizing a gable roof with a 2 ½":12" pitch, incorporating roof segments to help break up the massing of the second floor and as conditioned, the home will be utilizing material and color changes to help distinguish the first and second and reduce the second floor wall plate height to 8 feet. Finding Met
2.2.3 Design homes to respect their immediate neighbors	The design of the new two-story home respects the adjacent neighbors by utilizing high sill windows on the second floor side elevations. The proposal includes an architectural treatment to an exterior staircase and landing to provide additional privacy. The placement of the exterior staircase overlooks the neighbor's garage, which further maintains privacy and sensitivity to the neighbor. Finding met.

2.2.4 Minimize the visual impacts of parking.	The proposed project meets the minimum required parking of two covered and two uncovered parking spaces with a two-car garage. The proposed location of the garage is consistent with the pattern common in the neighborhood. Finding met.
2.2.5 Respect the predominant materials and character of front yard landscaping.	The proposed porch entry elements and new landscaping will create a focal entry point that is identifiable from the street as well as visually enhances the streetscape. Finding Met
2.2.6 Use high quality materials and craftsmanship	The applicant proposes to utilize high quality materials (smooth stucco, standing seam metal roof, horizontal siding, metal railings and dimensional asphalt composition roof shingles) that will complement the mid-century architectural style that is found within the neighborhood. Finding met.

Variance

1. Because of exceptional or extraordinary circumstances or conditions applicable to the property, or use, including size, shape, topography, location or surroundings, the strict application of the ordinance is found to deprive the property owner or privileges enjoyed by other properties in the vicinity and within the same zoning district.

The project proposes an addition to the main dwelling and construction of a new 845 square foot ADU on the second story. ADUs require a separate exterior access from the main dwelling which necessitates an exterior stair and landing. The staircase and landing have a 4 feet setback where a minimum of 7 feet is required for the second floor setback. The design of the exterior staircase and landing consist of solid railing that is cladded with horizontal siding to match the architectural front façade treatment.

The deviation would not result in a special privilege because SMC Section 19.48.070 allows for uncovered stairs, landings, fire escapes, porches, and portions of balconies that extended from the structural support structure (in this case, the walls of the main dwelling) to extend 3 feet into any required front and side yard.

Although State law allows the City to impose other applicable zoning requirements in Title 19 including but not limited to, lot coverage, required rear yard maximum lot coverage, floor area ratio, open space, and design review on non-streamlined ADUs, the requirements shall not preclude the construction of an ADU that is at least 800 square feet in size, no more than 16 feet in height, and has 4-foot side and rear setbacks.

Staff is supportive of the variance because the design maintains sensitivity and privacy to the neighbors. The location of the stairs would overlook the side of garage and will not have a direct line of sight with living areas. If the staircase was redesign to be consistent with SMC Section 19.48.070, the steps and railing would be open and would result in an unfavorable interface with the neighboring home.

2. The granting of the Variance will not be materially detrimental to the public welfare or injurious to the property, improvements or uses within the immediate vicinity and within the same zoning district.

The proposed exterior stairs and landing will be solid rails that is cladded with horizontal siding. This architectural treatment is consistent with the City's Design Guidelines PV-4, which encourages the design of railings to be tailored to the privacy concerns of neighbors (e.g., balcony or deck sides overlooking adjacent windows or actively used yard space should be solid in form). Staff is supportive of the variance because the design maintains sensitivity and privacy to the neighbors. The location of the stairs would overlook the side of garage and will not have a direct line of sight with living areas. The solid rails provides additional privacy.

3. Upon granting of the Variance, the intent and purpose of the ordinance will still be served and the recipient of the Variance will not be granted special privileges not enjoyed by other surrounding property owners within the same zoning district.

Granting of the Variance would not constitute a special privilege considering the SMC 19.48.070 allows for uncovered stairs, landings, fire escapes, porches, and portions of balconies that extended from the structural support structure (in this case, the walls of the main dwelling) to extend 3 feet into any required front and side yard and therefore, will have the same benefit enjoyed by other neighbors.

RECOMMENDED CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS OCTOBER 11, 2021

Planning Application 2020-7268

1279 Palamos Ave.

DESIGN REVIEW: to construct a 471 square foot first floor addition to an existing one-story single-family home, resulting in 1,946 square feet (1,442 square feet living area and 504 square feet garage) and 33% FAR. The project includes a new second story 845 square foot Accessory Dwelling Unit resulting in a total floor area of 2,791 square feet and 47% FAR including ADU.

VARIANCE to allow 4 foot second floor setback where a minimum of 7 foot is required to accommodate an exterior stair and landing for the proposed ADU.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and

approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:

The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to the expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION:
The entitlements shall expire if discontinued for a period of one year or more. [SDR] (PLANNING)

GC-4. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

GC-5. NOTICE OF FEES PROTEST:

As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

PS-2. ARCHITECTURAL MODIFICATIONS

The Permittee shall modify the architectural elevations and details to provide the following:

- a) Horizontal siding to be added to the right half of the second floor front elevation to accentuate the asymmetry of the facade. The siding would wrap around to the right elevation and terminate at the end of the second floor bedroom window.
- b) The porch columns are to be cladded with horizontal siding. This would add a material break and visual interest at the entry.
- c) The roof pitch over the porch element be revised to match the 2 ½:12 pitch roof that is provided for the home. This will help reduce help reduce height of the forehead and minimize the perception of bulk and massing.
- BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. NOTICE OF CONDITIONS OF APPROVAL:

A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number, attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are

the person(s) who have signed the Notice of Conditions of Approval. [COA] [PLANNING]

BP-4. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-5. LANDSCAPE PLAN:

Landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. Landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP).

BP-6. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
- b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-7. EXTERIOR LIGHTING PLAN:

Prior to issuance of a Building Permit submit an exterior lighting plan, including fixture and pole designs, for review and approval by the Director of Community Development. Driveway and parking area lights shall include the following:

- a) Exterior lighting fixture shall be decorative and reinforce the architectural style of the home.
- b) Provide photocells for on/off control of all security and area lights.
- c) Lights shall have shields to prevent glare onto adjacent residential properties. [COA] [PLANNING]

BP-8. PHOTOMETRIC PLAN:

Prior to issuance of a Building Permit submit a contour photometric plan for approval by the Director of Community Development. The plan shall meet the specifications noted in the Standard Development Requirements. [COA] [PLANNING]

BP-9. GREEN BUILDING:

The plans submitted for building permits shall demonstrate the project achieves a minimum of 90 points on the Green Point Rated checklist, or the minimum points required effective at the time of building permit submittal. The project plans shall be accompanied with a letter from the project's Green Point Rater/LEED AP verifying the project is designed to achieve the required points. [COA] [PLANNING] [BUILDING]

BP-10. CONSTRUCTION MANAGEMENT PLAN:

The project applicant shall implement a Construction Management Plan (CMP) to minimize impacts of construction on surrounding residential uses to the extent possible. The CMP shall be subject to review and approval by the Director of Community Development prior to issuance of a demolition permit, grading permit, or building permit. The CMP shall identify measures to minimize the impacts of construction including the following:

- a) Measures to control noise by limiting construction hours to those allowed by the SMC, avoiding sensitive early morning and evening hours, notifying residents prior to major construction activities, and appropriately scheduling use of noise-generating equipment.
- b) Use 'quiet' models of air compressors and other stationary noise sources where such technology exists.
- c) Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
- d) Locate all stationary noise-generating equipment, such as air compressors and portable power generators, as far away as possible from residences or other noise-sensitive land uses.
- e) Locate staging areas and construction material areas as far away as possible from residences or noise-sensitive land uses.

- f) Route all construction traffic to and from the project site via designated truck routes where possible. Prohibit constructionrelated heavy truck traffic in residential areas where feasible. Obtain approval of proposed construction vehicle truck routes from the Department of Public Works.
- g) Manage construction parking so that neighbors are not impacted by construction vehicles. When the site permits, all construction parking shall be on-site and not on the public streets.
- h) Prohibit unnecessary idling of internal combustion engine-driven equipment and vehicles.
- i) Notify all adjacent business, residents, and noise-sensitive land uses of the construction schedule in writing. Notify nearby residences of significant upcoming construction activities at appropriate stages in the project using mailing or door hangers.
- j) Designate a "disturbance coordinator" who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint and will require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule. [COA] [PLANNING]

EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. WORK IN THE PUBLIC RIGHT OF WAY:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=2 3558

https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?blobid=23792

[COA] [PUBLIC WORKS]

EP-2 STREET TREE WORK PERMIT:

Prior to applying for a Building Permit, obtain a Street Tree Work Permit to remove any street tree (s), if necessary. [COA] [PUBLIC WORKS]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

- OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.
- OR 2.2: Construction equipment must be maintained per manufacturer's specifications.
- OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:
 - a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
 - b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.

- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

AT: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.

AT-1. RECYCLING AND SOLID WASTE:

All exterior recycling and solid waste shall be confined to approved receptacles and enclosures. [COA] [PLANNING]

AT-2. LANDSCAPE MAINTENANCE:

All landscaping shall be installed in accordance with the approved landscape plan and shall thereafter be maintained in a neat, clean, and healthful condition. Trees shall be allowed to grow to the full genetic height and habit (trees shall not be topped). Trees shall be maintained using standard arboriculture practices. [COA] [PLANNING]

ADDITION ADU ATTACHED 1279 PALAMOS AVE, **SUNNYVALE, CA 94089** APN:104-27-082



email: jer@jerdesigngroup.com 408.843.8067 c CONSULTANTS

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OWNER 94089

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SUNN

AVE

AMOS

279

MARK DATE DESCRIPTION

5,940 S.F. (0.14 ACRE) .25 (EXISTING) 1090(L) + 385(G)=1475 SF. .33 (NEW) 352 LIVING + 119(G)= 471 SF. TOTAL 1946 SF.

PROJECT NO: 10427082

CAD DWG FILE: F:\Windows\Active DRAWN BY: Authors\Dwg's\1279 Palamo

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JER DESIGN GROUP

SHEET TITLE

A0

SHEET



VICINITY MAP PROJECT SITE

PROJECT SITE

ARCHITECTURAL COVER **GENERAL NOTES** A0.2 CALGREEN A0.3 CLEAN BAY **AERIAL IMAGES** A0.5 STREETSCAPE

A0.6 SOLAR SHADE ANALYSIS SITE PLAN PROPOSED A1.0A DEMOLITION PLAN

PROPOSED SECOND FLR PLAN

PROPOSED ROOF PLAN **EXTERIOR ELEVATIONS BUILDING SECTIONS** WALL SECTIONS

A3.2 A4.2 3D IMAGES INTERIOR ELEVATIONS PROPOSED CEILING PLAN DETAILS DETAILS

DETAILS A8.4 **DETAILS** A8.5 T-24 SHEETS A9.0 MATERIAL BOARD

ADDING THE SECOND FLOOR TO ACCOMMATED A ADU DWELLING UNIT WITH A SIDE YARD ENTRANCE OPPSITE SIDE, OF EXISTING MAIN ENT. **CONTACTS**

EXPANDING LIVING SPACE'S AT THE FIRST FLOOR

OWNER RESIDENCE 1279 PALAMOS AVE, SUNNYVALE, CA. 94089 NATHAN IGLESIAS c. 650.260.3959

e. nathani@google.com

JER DESIGN GROUP

9711 HOPI LANE

c. 408.843.8067

e. jer@jerdesigngroup.com

JOSE RAMA

GILROY, CA. 95020

DESIGNER

DEFINING MAIN ENTRANCE

CONSTRUCTION TYPE VB.

FREMONT, CA. 94536 MOHAMED S. GENIDY o. 650.331.7264 e. mgenidy@gpmengineers.com

3340 WALNUT AVE. SUITE 292

TITLE 24 ENG.

STRUCTURE

GPM ENGINEERS

PROJECT CONSIST OF THE FOLLOWING: EXISTING SINGLE FAMILY HOUSE APPROX. 1475SF.

THE ADDITION LOCATED AT FRONT AND SIDE YARD OF THE HOUSE ADDITION WILL INCL. THE FOLLOWING

EXPANDING THE EXISTING GARAGE TO ACCOMM. TWO PARKING STALLS FRONT ELEVATION

5 STAR ENERGY 155 NOVATO DR. VACAVILLE, CA. 95688 MICAH SEIERSTAD o. 530.545.1138 e. NRGMicah@gmail.com

DEFERRED SUBMITTAL

R-0 L.M.D. RES. 104-27-082

1279 PALAMOS AVE,, SUNNYVALE, CA 94089

R3 AND U

1,442 SF FIRST FLR.

504 SF GARAGE 1,946 SUB-TOTAL

TOTAL 2,791 SF

845 SF (ADU 2ND. FLR)

2 STORY, 30'-0

APPLICABLE CODE 2019 C.R.C. CALIFORNIA RESIDENTIAL CODE

ADDRESS:

SITE AREA (ACRES): LOT COVERAGE

OCCUPANCY GROUP:

FAR: .469% INCL. ADU

BUILDING HEIGHT MAX:

BUILDING AREA:

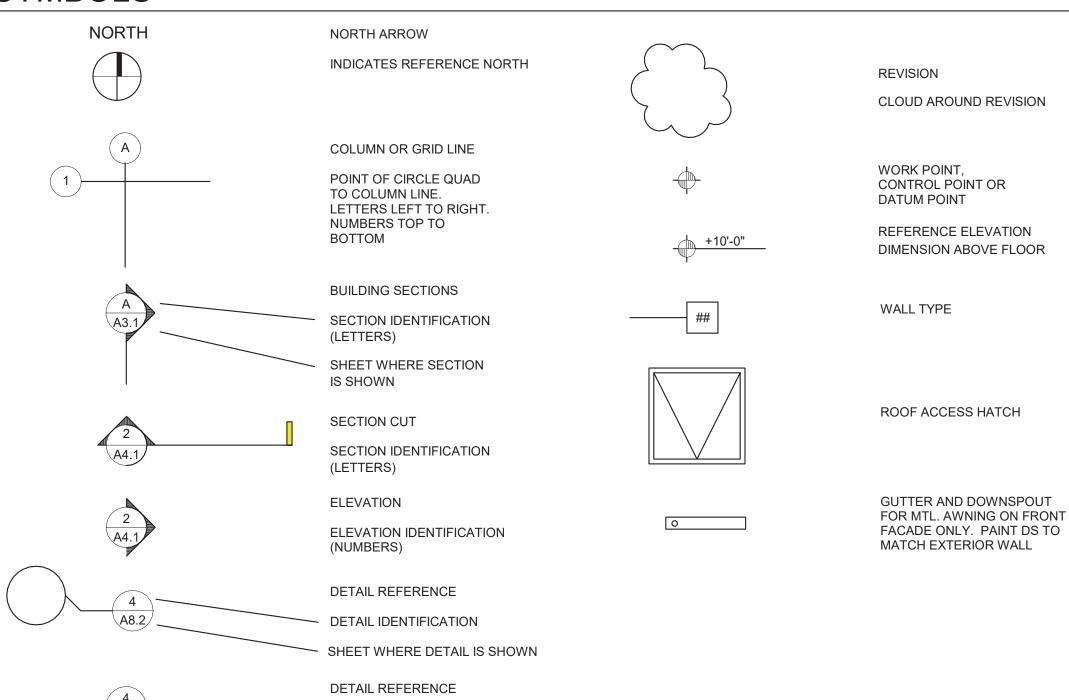
FAR: .33%

TYPES OF CONSTRUCTION:

ARREVIATIONS

ABBR	REVIATIONS						
Α	AMPERES	DR	DOOR	INCL.	"INCLUDE, INCLUSIVE"	R	RADIUS
A.B.	ANCHOR BOLT	E.A.	EXPANSION ANCHOR	INSUL.	INSULATION	R.D.L.	ROOF DRAIN LEADER
A.F.F.	ABOVE FINISHED FLOOR	E.F.	EXHAUST FAN	INT.	INTERIOR	R.D.O.	ROOF DRAIN OVERFLOW
A.F.G.	ABOVE FINISHED GRADE	E.J.	EXPANSION JOINT	J-BOX	JUNCTION BOX	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING	E.N.	END NAILING	JCT	JUNCTION	R.O.W. or R/V	N RIGHT OF WAY
ABC	AGGREGATE BASE COURSE	E.W.	EACH WAY	JST.	JOIST	REF	REFRIGERATOR
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	EA.	EACH	JT.	JOINT	REF.	REFERENCE
ABV.	ABOVE	EL	ELEVATION	K-D	KNOCK DOWN	REINF.	REINFORCED
ACB	ASBESTOS-CEMENT BOARD	ELECT.	"ELECTRIC, ELECTRICAL"	KD	KILN DRIED	REQ'D.	REQUIRED
ACOU.	ACOUSTIC	ELEV.	ELEVATOR	КО	KNOCK OUT	RET.	RETURN
ACT	ACOUSTICAL CEILING TILE	EMC	ELECTRICAL METALLIC CONDUIT	L.E.D.	LIGHT EMITTING DIODE	REV.	REVISION
ADD.	ADDITION or ADDENDUM	EMT	ELECTRICAL METALLIC TUBING	L.FT.	LINEAR FEET	RM	ROOM
AG	ABOVE GRADE	ENT	ELECTRICAL NON-METALLIC TUBING	LAM	LAMINATE	RMV.	REMOVE
AHU	AIR HANDLER UNIT	EQ.	EQUAL	LAT.	LAYATORY	S.C.	SOLID CORE SMOKE DETECTOR
AL. or ALUM.	ALUMINUM ALTERNATE	EQUIP. EST.	EQUIPMENT ESTIMATE	LAV LD.	LAVATORY LEAD	S.D. S.O.V.	SHUT OFF VALVE
ALT.	ANNEALED	EVAP.	EVAPORATIVE COOLER	LIN.	LINEAR	S.U.V.	SKYLIGHT
ASPH.	ASPHALT	EWC	ELECTRIC DRINKING COOLER	LINO.	LINOLEUM	S/S	STAINLESS STEEL
AVG	AVERAGE	EXC	EXCAVATE	LT.	LIGHT	SC	SELF CLOSING
AWG	AMERICAN WIRE GAUGE	EXH.	EXHAUST	LTG.	LIGHTING	SCHED.	SCHEDULE
4	ANGLE	EXIST. or E	EXISTING	LVL	LAMINATED VENEER LUMBER	SECT.	SECTION
B.M.	BENCH MARK	EXT.	EXTERIOR	M.B.	MACHINE BOLT	SES	SERVICE ENTRANCE SECTION
B.N.	BOUNDARY NAILING	F.A.	FIRE ALARM	M.H.	MANHOLE	SH	SHEET
B.O.	BOTTOM OF	F.C.	FAN COIL	M.I.	MALLEABLE IRON	SHT'G.	SHEATHING
B.O.F.	BOTTOM OF FOOTING	F.C.O.	FLOOR CLEAN OUT	M.O.	MASONRY OPENING	SIM.	SIMILAR
B.U.	BUILT UP	F.D.	FLOOR DRAIN	MAR.	MARBLE	SPA.	SPACE
B/C	BACK OF CURB	F.E.	FIRE EXTINGUISHER	MAS.	MASONRY	SPECS	SPECIFICATIONS
BD.	BOARD	F.N.	FIELD NAILING	MAT'L	MATERIAL	SPKR.	SPEAKER
BLDG	BUILDING	F.O.	FACE OF	MAX.	MAXIMUM	SQ. FT.	SQUARE FEET
BLK.	BLOCK	F.S.	FLOOR SINK	MECH.	MECHANICAL	SQ. IN.	SQUARE INCHES
BLKG.	BLOCKING	F/G	FIBERGLASS	MED.	MEDIUM	STC	SOUND TRANSMISSION CLASS
BM.	BEAM	FAB.	FABRICATE	MFG.	MANUFACTURING	STD.	STANDARD
BR	BRASS	FACP	FIRE ALARM CONTROL PANEL	MFR.	MANUFACTURER	STL.	STEEL
BRG.	BEARING	FDC	FIRE DEPARTMENT CONNECTION	MIN.	MINIMUM	SUSP.	SUSPENDED
BRZ	BRONZE	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	SW	SWITCH
C.A.P.	CONCRETE ASBESTOS PIPE	FHC	FIRE HOSE CABINET	MOD	MODULAR	SYM	SYMMETRICAL
C.D.	CAST IN PLACE	FIN.	FINISH FLOOR	MTL.	METAL	SYS. T & G	SYSTEM TONGLE AND CROOVE
C.I.P.	CAST IN PLACE CONTROL JOINT	FLG.	FLOOR	MUL N.I.C.	MULLION NOT IN CONTRACT	T.B.	TONGUE AND GROOVE THROUGH BOLT
C.J.	CLEAN OUT	FLUOR.	FLUORESCENT	N.T.S.	NOT TO SCALE	T.M.B.	TELEPHONE MOUNTING BOARD
C.T.	CERAMIC TILE	FP FLOOK.	FIRE PROOF	NCM	NON-CORROSIVE METAL	T.O.	TOP OF
CAB	CABINET	FTG.	FOOTING	NFC	NOT FOR CONSTRUCTION	T.O.B.	TOP OF BEAM
CAM.	CAMBER	FURN.	FURNISH	NLR.	NAILER	T.O.C.	TOP OF CURB
CCTV	CLOSED CIRCUIT TELEVISION	G.I.	GALVANIZED IRON	NO.	NUMBER	T.O.F.	TOP OF FOOTING
CEM.	CEMENT	GA.	GAUGE	NOM.	NOMINAL	T.O.J.	TOP OF JOIST
CER	CERAMIC	GALV.	GALVANIZED	O.C.	ON CENTER	T.O.M.	TOP OF MASONRY
CFM	CUBIC FEET PER MINUTE	GAR.	GARAGE	O.D.	OUTSIDE DIAMETER	T.O.S.	TOP OF SLAB
CH or □	CHANNEL	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	O.H.	OVER HANG	T.O.W.	TOP OF WALL
CKT. BKR.	CIRCUIT BREAKER	GFI	GROUND FAULT INTERRUPTER	O.I.	ORNAMENTAL IRON	T.S.	TUBE STEEL
CL or Q	CENTERLINE	GL	GLASS	O.R.	OUTSIDE RADIUS	T.V.	TELEVISION OUTLET
CLG.	CEILING	GLB	GLUE LAMINATED BEAM	OAI	OUTSIDE AIR INTAKE	TEL.	TELEPHONE
CLKG.	CAULKING	GM	GRADE MARK	ОН	OVER HEAD	TH.	THRESHOLD
CLO.	CLOSET	GM	GATE VALVE	OPNG.	OPENING	THD.	THREADED
CLR.	CLEAR	GRC	GALVANIZED RIGID TUBING	OPPO.	OPPOSITE	THK.	THICK
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSUM	P.C.	PRECAST CONCRETE	THRU	THROUGH
CNTRD.	CENTERED	GYP. BD.	GYPSUM BOARD	P.L. or P	PROPERTY LINE	TLT.	TOILET
COL.	COLUMN	H.B.	HOSE BIBB	P.LAM.	PLASTIC LAMINATE	TRANS.	TRANSFORMER
COMB.	COMBINATION CONCRETE	H.C. H.M.	HOLLOW CORE	P.O.C.	POINT OF CONNECTION	TYP.	TYPICAL UNFINISHED
CONC.	CONSTRUCTION	H/C	HOLLOW METAL HANDICAPPED	PERF. PERP. or⊥	PERFORATED PERPENDICULAR	UNF. UR	URINAL
CONST.	CONTINUOUS	HDBD.	HARDBOARD	PH or Ø	PHASE	V.B.	VAPOR BARRIER
CONTR.	CONTRACTOR	HDW	HARDWARE	PL.	PLASTER	V.I.F.	VERIFY IN FIELD
CU CU	COPPER	HGT.	HEIGHT	PL. or PL	PLATE	VA VA	VOLT AMPERE
d	PENNY	HOR.	HORIZONTAL	PLAS.	PLASTIC	VCT	VINYL COMPOSITION TILE
D.F.	DRINKING FOUNTAIN	HTR	HEATER	PLUMB.	PLUMBING	VERT.	VERTICAL
D.G.	DECOMPOSED GRANITE	HVAC	"HEATING, VENTILATING & AIR CONDITIO		PLYWOOD	W/C	WATER CLOSET
D.S.	DOWN SPOUT	HW	HOT WATER	PORC.	PORCELAIN	WDW	WINDOW
D/W	DISHWASHER	HYD.	HYDRAULIC	PREFAB.	PREFABRICATED	WCT	WAINSCOT
DBL.	DOUBLE	I.C.	INTERCOM OUTLET	PSF	POUNDS PER SQUARE FOOT	WP	WEATHER PROOF
DEMO	DEMOLITION	I.D.	INSIDE DIAMETER	PSI	POUNDS PER SQUARE INCH	WT.	WEIGHT
DIA. or Ø	DIAMETER	I.F.	INSIDE FACE	PTN.	PARTITION	W/	WITH
DIAG.	DIAGONAL	ID	IDENTIFICATION	PVC	POLYVINYLCLORIDE	W/O	WITHOUT
DIM.	DIMENSION	IG	ISOLATED GROUND	PWR.	POWER	WD.	WOOD
DL	DEAD LOAD	IMC	INTERMEDIATE METALLIC CONDUIT	Q.T.	QUARRY TILE	W.I.	WROUGHT IRON
DN.	DOWN	IMPG	IMPREGNATED	QTY.	QUANTITY	YD.	YARD

SYMBOLS



DETAIL IDENTIFICATION

INTERIOR ELEVATION

CORRESPONDING NUMBER

OPENING INDICATIONS

DOOR OPENING DOOR MARK

WINDOW OPENING

DIMENSION TO CENTER

DIMENSION TO ROUGH FACE

KEY NOTE

SHEET WHERE DETAIL IS SHOWN

LANNING-DESIGN-RENDERIN

email: jer@jerdesigngroup.com 408.843.8067 c CONSULTANTS

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GENERAL NOTES

DOWN

1. ALL WORK LISTED, SHOWN, OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EXECUTION OF WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE SUBCONTRACTORS'S WORK. THE CONTRACTOR SHALL CLOSELY COORDINATE WORK WITH THAT OF SUBCONTRACTORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH PLANS & SPECS.xxxx

IMPREGNATED

- 2. ALL MATERIALS, LABOR, INSTALLATION, FABRICATIONS, ETC. SHALL CONFORM TO ALL APPLICABLE CODES & REGULATIONS INCLUDING BUT NOT LIMITED TO THOSE LISTED UNDER PROJECT DATA IN THESE DRAWINGS, AND ALL LOCAL CODES. CONTRACTOR SHALL ADHERE TO ALL RULES GOVERNING CONSTRUCTION, SAFETY, BUILDING ACCESS AND THE USE OF THE FACILITIES AS SET BY LOCAL & STATE AUTHORITIES AND THE LANDLORD.
- 3. ALL CONSTRUCTION SHALL COMPLY WITH ENERGY STANDARDS IN TITLE 24 OF THE CALIFORNIA STATE BUILDING CODE AS OUTLINED IN THE ENERGY CERTIFICATES PROVIDED BY THE ENERGY CONSULTANT.
- 4. ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, FIRE-PROTECTION ENGINEERING TO BE "DESIGN BUILD" BY OTHERS. OTHERS RESPONSIBLE FOR ENGINEERING, PERMITS, FEES, CALCULATIONS, REPORTS, DRAWINGS, ETC. REQUIRED BY LOCAL AND ALL OTHER GOVERNING AGENCIES. SUCH DESIGN SHALL BE FULLY COORDINATED WITH ALL INFORMATION PROVIDED IN THIS DRAW**SN**G.
- 5. ALL "DESIGN-BUILD" SUBCONTRACTORS SHALL OBTAIN PERMITS AND PAY PERMIT FEES FOR THEIR RESPECTIVE FIELDS OF WORK.
- 6. EXAMINATIONS OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY THEMSELVES AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. THEY SHALL, ASCERTAIN AND

7. CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT, AND ALL CONDITIONS DURING CONSTRUCTION WHICH MAY AFFECT THEIR WORK. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE ARCHITECT BEFORE BIDDING OR PROCEEDING WITH ANY WORK.

QUANTITY

- 8. ALL CONSTRUCTION DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS.
- 9. DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS ON DRAWINGS TAKE PRECEDENCE OVER SCALE. DETAILS SHALL TAKE PRECEDENCE OVER GENERAL FLOOR PLANS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE PROJECT SCHEDULE. PRIOR TO START OF PROJECT, THE GENERAL CONTRACTOR SHALL VERIFY LEAD TIMES OF FINISH MATERIALS AND SPECIAL ITEMS TO ASSURE AVAILABILITY AS SCHEDULE REQUIRES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE PROGRESS OF THE WORK AND INFORMING THE ARCHITECT AND TENANTS IMMEDIATELY OF ANY POTENTIAL DELAYS.
- 11. CERTAIN MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AT LEAST TWO WEEKS PRIOR TO ORDERING OR INSTALLATION. REQUESTS WILL BE CONSIDERED ONLY IF A BETTER PRODUCT, A MORE ADVANTAGEOUS DELIVERY DATE OR A LOWER PRICE WITH CREDIT TO THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS NOT EQUAL QUALITY TO THE PRODUCT SPECIFIED. SUBSTITUTE MATERIALS SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
- 12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUESTED FOR FABRICATION ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, CONTRACTOR REPRESENTS THAT HE DETERMINED AND VERIFIED FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA, MATERIALS, CATALOG NUMBERS, AND SIMILAR DATA AND THAT EACH SUBMITTAL

13. SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH CONTRACT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF SHOP DRAWINGS, PROPER FITTINGS, COORDINATION OF WORK, CONSTRUCTION TECHNIQUES, MATERIALS, AND WORK REQUIRED BY CONTRACT DOCUMENTS. SUBMITTALS WILL BE REQUIRED FOR: - PAINT.

(0000)

- 14. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION; NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK, AS REQUIRED BY CONTRACT. DEFECTIVE WORK SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS. CONTRACTOR SHALL PROTECT WORK AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC.. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR CONSTRUCTION RESULTING FROM WORK OF CONTRACTOR AND/ OR SUBCONTRACTORS, AND SHALL REPAIR ALL SUCH DAMAGE TO ORIGINAL CONDITION AT NO ADDITIONAL COST.
- 15. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND
- 16. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOBSITE.
- 17. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. ONE SET OF RECORD DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT AT COMPLETION.
- 18. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND/ OR DEMOLITION.

- 19. CONTRACTOR SHALL PROVIDE ALL CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY THE AIR CONDITIONING, PLUMBING, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN RATED CONSTRUCTION.
- 20. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- 21. ALL DIMENSIONS NOTED "CLEAR" OR "CLR" ARE FOR MINIMUM CLEARANCES AND MUST BE FIELD VERIFIED AND STRICTLY
- 22. ALL DIMENSIONS NOTED "VERIFY" OR "VIF" ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCES SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTIONS.
- 23. ABBREVIATIONS USED ARE THOSE IN COMMON USE. ARCHITECT WILL DEFINE INTENT OF ANY QUESTIONS.
- 24. ALL ELECTRICAL OUTLETS & CONTROLS SHALL COMPLY WITH ARTICLES 3-210 & 3-380 OF THE STATE ELECTRICAL CODE.

MARK DATE DESCRIPTION

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PROJECT NO: 10427082 CAD DWG FILE: F:\Windows\Active Project\1279

DRAWN BY: Authors\Dwg's\1279 Palamos 210212.rvt— CHK'D BY: Checker

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SHEET TITLE

SHEET

4.4 Material Conservation and Resource Efficiency	4.406.1 Rodent Proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents.	Sheet:	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste.	Sheet:	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.2 Construction waste management plan. Submit a construction waste management plan.	Sheet:	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner.	Sheet:	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.2 Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, readily accessible areas shall be identified for the collection of recycling.	Sheet:	Initials and Date:
4.5 Environmental Quality	4.503.1 Fireplaces. Any installed gas fireplace shall be a direct-vent sealed-combustion type.	Sheet:	Initials and Date:

Manual D-2014 or equivalent.

of HVAC systems.

Select heating and cooling equipment according to ANSI/ACCA 3 Manual 5-2014 or equivalent.

703.1 **Documentation.** Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing

702.1 Installer Training. HVAC system installers

are trained and certified in the proper installation

702.2 Special Inspection. Special inspectors

agency which show substantial conformance.

employed by the enforcing agency must be qualified and able to demonstrate competence

in the discipline they are inspecting.

4.3 Wate Efficiency Conserva			
4.3 Water Efficiency and Conservation	4.303.1.2 Urinals . The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.	Sheet:	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.3 Showerheads. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all shower heads shall not exceed 1.8 gallons per minute at 80 psi.	Sheet:	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.4 Faucets. Residential lavatory faucets shall not exceed 1.2 gpm at 60 psi. Lavatory faucets in common and public use areas in residential buildings shall not exceed 0.5 gpm at 60 psi. Metering faucets installed in residential buildings shall not deliver more than 0.2 gallons per cycle. Kitchen faucets shall not exceed 1.8 gpm at 60 psi.	Sheet:	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed per the California Plumbing Code.	Sheet:	Initials and Date:
4.3 Water Efficiency and Conservation	4.304.1 Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO).	Sheet:	Initials and Date:
4.3 Water Efficiency and Conservation	4.305.1 Recycled water supply systems. Newly constructed residential developments, where recycled water is available from a municipal source may be required to have recycled water supply systems installed.	Sheet:	Initials and Date:

4.303.1.1 Water Closets. Effective flush volume of all water Sheet:

closets shall not exceed 1.28 gallons per flush.

7	4 504 4 Positiont flooring systems. Where resilient flooring	Sheet:	Initials and
4.5 Environmental Quality	 4.504.4 Resilient flooring systems. Where resilient flooring is in stalled, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (alsoknown as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350). 	Sneet:	Date:
4.5 Environmental Quality	4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those section s, as shown in Table 4.504.5. 4.505.2 Concrete slab foundations. Vapor retarder	Sheet:	Initials and Date:
4.5 Environmental Quality	and capillary break is installed at slab-on-grade foundations.		Date:
4.5 Environmental Quality	4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1	Sheet:	Initials and Date:

-	11	1.	
3	711		•
		-	•

CALGREEN RESIDENTIAL MANDATORY CHECKLIST

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2020

Sunnyvale

Initials and

Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
4.1 Planning and Design	4.106.2 Storm Water Drainage and Retention during construction. A plan is developed and implemented to manage storm water drainage during construction.	Sheet:	Initials and Date:
4.1 Planning and Design	4.106.3 Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings	Sheet:	Initials and Date:
4.1 Planning and Design	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages shall install a listed raceway to accommodate a dedicated 208.240-volt branch circuit	Sheet:	Initials and Date:
4.1 Planning and Design	4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces capable of supporting future EVSE.	Sheet:	Initials and Date:
4.1 Planning and Design	4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE.	Sheet:	Initials and Date:
4.2 Energy Efficiency	4.201.1 Scope Compliance with the California Energy Commission mandatory standards.	Sheet:	Initials and Date:

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444

Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.

Sunnyvale.ca.gov - Search "Planning and Building"

Rev. 1/2020 Page 1 of 6

4.5 Environmental Quality	4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.	Sheet:	Initials and Date:
4.5 Environmental Quality	4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.	Sheet:	Initials and Date:
4.5 Environmental Quality	 4.504.2 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with voelimits. Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification. Documentation shall be provided to verify that compliant voe limit finish materials have been used. 	Sheet:	Initials and Date:
4.5 Environmental Quality	 4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) NSFI ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 	Sheet:	Initials and Date:

Attachment 5 Page 3 of 24 LADDING-DESIGN-SENDESIN email: jer@jerdesigngroup.com 408.843.8067 c CONSULTANTS ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. **OWNER** 94089 S MYVAL SUNN AVE **AMOS** 279 MARK DATE DESCRIPTION

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Initials and

Date:

Blueprint for a Clean Bay

Best Management Practices for the Construction Industry

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.



In the City of Sunnyvale, DIAL 9-1-1. State Office of Emergency Service Warning Center (24 hours) . .1-800-852-7550

Health Sevices

Spill Response Agencies:

Santa Clara County Environmental

. (408) 299-6930

Small Business Hazardous

Waste Disposal Program

Santa Clara County businesses that

generate less than 27 gallons or 220

Business Hazardous Waste Disposal

pounds of hazardous waste per month are

eligible to use Santa Clara County's Small

Program. Call (408) 299-7300 for a quote,

more information or guidance on disposal.

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Stormwater pollution is a serious problem for wildlife dependent on our creeks and bays and for the people who live near polluted streams or baylands. Common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill



General

and Site

Construction

Supervision

Who should use

this information?

Site Supervisors

Home Builders

Developers

Homeowners

Inspectors

General Contractors

creeks and the Bay.

Earth-Moving and

Who should use

this information?

Dewatering Activities

Storm Drain Pollution from

Construction Activities

Construction sites are common sources of storm water

pollution. Materials and wastes that blow or wash into a

storm drain, gutter, or street have a direct impact on local

As a contractor, or site supervisor, owner or operator of a

site, you may be responsible for any environmental

damage caused by your subcontractors or employees.

into a street or storm drain.

Pollution Prevention Program

Preventing Pollution: It's Up to Us

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight stormwater pollution. This "blueprint" summarizes "Best Management Practices (BMPs) for stormwater pollution prevention.

- ☐ Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly. Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- ☐ Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Field Manual, available form the Regional Water Quality Control Board San Francisco Bay Region, as a reference.
- Control the amount of runoff crossing your site (especially during excavation!) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make sure everyone who works at the construction site is familiar with this information. Inform subcontractors about the stormwater requirements and their own responsibilities. Use BAASMA, Blueprint for a Clean Bay, a construction best

management practices guide available from the Santa Doing the Job Right Clara Valley Urban Runoff Pollution Prevention Program, General Principles and California Storm Water Quality Association Stormwater Best Management Practice Handbook:

Good Housekeeping Practices

Construction; (Jan 2003) as references.

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, bermed if necessary. Make major repairs off site.
- ☐ Keep materials out of the rain prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. ☐ Keep pollutants off exposed surfaces. Place trash cans
- and recycling receptacles around the site to minimize litter. Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
- Never hose down "dirty" pavement or surfaces where materials have spilled. ☐ Use dry cleanup methods whenever possible. If you must
- use water, use just enough to keep the dust down. Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the

Materials/Waste Handling

Local Pollution Control Agencies:

. . (408) 441-1195

. (408) 299-7300

. (408) 299-TIPS

. 1-888-510-5151

. . . . (408) 265-2600

County of Santa Clara

Management Program

Waste Program

Pollution Prevention Program

Santa Clara County Hazardous

Environmental Crimes Hotline

Santa Clara Valley Water District

Santa Clara Valley Water

District Pollution Hotline

County of Santa Clara Integrated Waste

For information on the disposal of hazardous waste

County of Santa Clara District Attorney

.... (408) 441-1198

- ☐ Practice Source Reduction -- minimize waste when you
- ☐ Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt. scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.
- and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See Sunnyvale Recycling Program information listed above.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

need to obtain coverage under the State's General Construction Activity Stormwater Permit if your construction site's disturbed area totals 1 acre or more. Information on the General Permit can be obtained from the Regional Water Quality Control Board.

■ Place portable toilets away from storm drains. Make sure portable toilets are in good working order. Check frequently for leaks.

- order materials. Order only the amount you need to finish the
- Dispose of all wastes properly. Many construction materials

In addition to local grading and building permits, you will

Painting and Application of Solvents and Adhesives

Who should use this information?

Installers

Home Builders

Developers

Homeowners

- . (510) 622-2300 Painters
- **Sunnyvale Water Pollution** Paperhangers **Control Plant**

. 1-800-533-8414

- Plasterers Graphic Artists Sunnyvale Recycling Program Dry Wall Crews (408) 730-7262 Floor Covering
- Or visit www.ci.sunnyvale.ca.us/recycle (GreenTeam/Zanker of Sunnyvale) Recycling Drop-Off Center,

Santa Clara County Recycling Hotline

Regional Water Quality Control Board

Serving San Francisco Bay Region

Garbage Disposal . (408) 752-8530

Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain General Contractors chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

Doing the Job Right Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of as hazardous. Contact the Santa Clara County Hazardous Waste Program at (408) 299-7300.
- before 1978 can contain high amounts of lead. even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.

Wash water from painted buildings constructed

If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

☐ Protect stockpiles (e.g. asphalt, sand, or soil) and

Schedule grading and excavation projects during dry

Use temporary check dams or ditches to divert runoff

☐ Protect storm drains with sandbags or other sediment

Revegetation is an excellent form of erosion control for

any site. Replant as soon as possible with temporary

under tarps or secured plastic sheeting.

landscaping materials from wind and rain by storing them

Store pesticides, fertilizers, and other chemicals indoors or

Doing the Job Right

General Business Practices

in a shed or storage cabinet.

away from storm drains.

Paint Removal

- Buildings constructed before 1978 may have lead paint in them. Test paint for lead by taking samples to a local environmental testing laboratory to determine if removed paint must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area, or check Sunnyvale Water Pollution Control Plant (408) 730-7270 to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assist the wastewater treatment authority in making its

Painting Cleanup

 Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.

further information.

possible.

For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary

Curbside pickup of yard waste is provided for

Sunnyvale residences. Place yard waste in approved

Sunnyvale SMaRT station for recycling. Contact the

Sunnyvale Recycling Program (408) 730-7262 for

Collect lawn and garden clippings, pruning waste, and

tree trimmings. Chip if necessary, and compost if

Do not blow or rake leaves, etc. into the street, or

Pool/Fountain/Spa Maintenance

Draining pools or spas

prohibited by local ordinance.

place yard waste in gutters or on dirt shoulders.

When it's time to drain a pool, spa, or fountain, please be

sure to call the Sunnyvale Water Pollution Control Plant

(408) 730-7270 before you start for further guidance on

flow rate restrictions, backflow prevention, and handling

special cleaning waste (such as acid wash). Discharge

flows should be kept to the low levels typically possible

through a garden hose. Higher flow rates may be

Sweep up any leaves, litter or residue in gutters or on

containers at curbside for pickup on waste collection

excess liquids and residue as hazardous waste. ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper

sewer. Never pour paint down a storm drain. Dispose of

- container. Filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste. ☐ When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Leave lids off paint cans so the refuse
- cans also may be recycled as metal. ☐ Dispose of empty aerosol paint cans as hazardous waste

or at household hazardous waste collection events.

collector cam see that they are empty. Empty, dry paint

Recycle/Reuse Leftover Paints Whenever Possible

- Donate excess water-based (latex) paint for reuse. Call the Santa Clara County Hazardous Waste Program at (408) 299-7300 for details.
- ☐ Reuse leftover oil-based paint. Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous
- Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

reuse water by draining it gradually onto a

Plant (408) 730-7270. You may be able to

discharge to the sanitary sewer by running the

hose to a utility sink or sewer pipe clean-out.

algae with chlorine or other alternatives, such as

☐ Contact the Sunnyvale Water Pollution Control

☐ Do not use copper-based algaecides. Control

landscaped area. OR

sodium bromide.

Filter Cleaning

ALL DRAWINGS AND WRITTEN MATERIAL Never discharge pool or spa water to a street or APPEARING HERFIN ARE THE ORIGINAL AND storm drain; discharge to a sanitary sewer UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. chlorine dissipate for a few days and then recycle/

- Never clean a filter in the street or near a storm drain. Rinse cartridge and diatomaceous earth filters onto a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the
- If there is no suitable dirt area, call the Sunnyvale Water Pollution Control Plant (408) 730-7270 for instructions on discharging filter backwash or rinsewater to the sanitary sewer.

And Pool Maintenance Who should use this

Landscaping, Gardening

- information?
- Landscapers Gardeners
- Swimming Pool/Spa Service and Repair Workers
- General Contractors Home Builders
- Developers Homeowners

Fresh Concrete and Mortar

Masons and Bricklayers

Construction Inspectors

General Contractors

Home Builders

Developers

Sidewalk Construction Crews

Concrete Delivery/Pumping Workers

Patio Construction Workers

Who should use this information?

Storm Drain Pollution from Landscaping and **Swimming Pool Maintenance**

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life

Landscaping/Garden Maintenance

vegetation such as grass seed.

- ☐ Consider using Integrated Pest Management Techniques. Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinsewater as product. Dispose of rinsed, empty containers in the trash.
- Dispose of unused pesticides as hazardous waste.

- General Business Practices ■ Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle
- ☐ Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover. protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- ☐ Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.

- storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff
- properly. Recycle large chunks of broken concrete at a local recycling facility. Call the Sunnyvale Recycling Program at (408) 730-7262 for information.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.

Roadwork and Paving

Who should use this

Machine Operators

Dump Truck Drivers

General Contractors

Site Supervisors

Home Builders

Developers

information?

 Road Crews Driveway/Sidewalk/Parking Lot Construction Crews

Bulldozer, Back Hoe, and Grading

- Seal Coat Contractors Operators of Grading Equipment Paving Machines, Dump Trucks,
- Concrete Mixers
- Construction Inspectors General Contractors
- Developers Home Builders

Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

Soil excavation and grading operations loosen large amounts of soil that can flow

destroy habitats in creeks and the Bay.

construction sites may be contaminated

with toxics (such as oil or solvents) or

pollutants can harm wildlife in creeks or

treatment plant operation. Discharging

sediment-laden water from a dewaterin

site into any water of the state without

treatment is prohibited.

laden with sediments. Any of these

the Bay, or interfere with wastewater

- or blow into storm drains when handled mproperly. Sediments in runoff can clog storm drains, smother aquatic life, and
- Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or ughened ground surfaces.
- Practices During Construction ontaminated groundwater is a mmon problem in the Santa Clara Valley. Depending on soil types and site vegetation for erosion control on history, groundwater pumped from
 - immediately planned. or temporary drainage swales. Use around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control

Doing the Job Right

construction sites.

clean equipment.

General Business Practices

plans for roadway embankments.

Check for and repair leaking equipment.

■ When refueling or when vehicle/equipment

Develop and implement erosion/sediment control

□ Schedule excavation and grading work during dry

☐ Perform major equipment repairs at designated

areas in your maintenance yard, where cleanup is

easier. Avoid performing equipment repairs at

maintenance must be done on site, designate a

Do not use diesel oil to lubricate equipment parts or

■ Take broken up concrete to a local recycling facility.

location away from storm drains and creeks.

Recycle used oil, concrete, broken asphalt, etc.

whenever possible, or dispose of properly.

Call the Sunnyvale Recycling Program at

(408) 730-7262 for information.

Storm Drain Pollution from Doing the Job Right

- Earth-Moving Activities General Business Practices Schedule excavation and grading work during dry weather.
 - from the job site. When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm
 - Do not use diesel oil to lubricate
 - Remove existing vegetation only when absolutely necessary. Plant temporary slopes or where construction is not
- California Stormwater Quality Association Stormwater Best Management Practice Handbook
- - equipment parts, or clean equipment.
 - Protect downslope drainage courses, streams, and storm drains with wattles, check dams or ditches to divert runoff

sediment control measures, and

- Perform major equipment repairs away

Field Manual for proper erosion and

- (construction, 2003) Cover stockpiles and excavated soil with secured tarps or plastic sheeting.
- Dewatering Operations Check for Toxic Pollutants Check for odors, discoloration, or an
- oily sheen on groundwater. ☐ Call your local wastewater treatment agency and ask whether the groundwater must be tested. ☐ If contamination is suspected, have the
- water tested by a certified laboratory. Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer. OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an

appropriate treatment facility.

During Construction

dispose to dirt area.

Check for Sediment Levels ☐ If the water is clear, the pumping time is less

- than 24 hours, and the flow rate is less than 20 gallons per minute, you may pump water to the street or storm drain. ☐ If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call
- your local wastewater treatment plant for ☐ If the water is not clear, solids must be filtered or settled out by pumping to a settling tank
- prior to discharge. Options for filtering Pumping through a perforate pipe sunk
- Pumping from a bucket placed below water level using a submersible pump; Pumping through a filtering device such as a swimming pool filter or filter fabric wrapped around end of suction pipe.

☐ When discharging to a storm drain, protect

part way into a small pit filled with

detecting contaminated soil or groundwater, and testing ponded groundwater before pumping. Watch for any of

Detecting

Contaminated Soil

or Groundwater

ontaminated groundwater

a common problem in the

essential that all contractors

and subcontractors involved

Santa Clara Valley. It is

know what to look for in

Unusual soil conditions discoloration or odor. Abandoned underground tanks. Abandoned wells. Buried barrels, debris or

the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric f any of these are found

- anchored under the grate. OR pump water follow the procedures below.
- through a grassy swale prior to discharge.

Collect and recycle or appropriately dispose of

excess abrasive gravel or sand. ■ Avoid over-application by water trucks for dust

- Avoid creating excess dust when breaking asphalt or concrete.
- rainfall or runoff. remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and construction materials with plastic tarps. Protect
- Asphalt/Concrete Removal
- remove all chunks and pieces. Make sure broken pavement does not come in contact with ☐ When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and

After breaking up old pavement, be sure to

properly dispose of, all residues. ☐ Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm

Doing the Job Right

- - washout by pumping back into mixers for reuse.
 - Secure bags of cement after they are open. Be sure to keep

- ☐ Set up and operate small mixers on tarps or heavy plastic drop cloths. When cleaning up after driveway or sidewalk construction, wash fines onto dirt
- areas, not down the driveway or into the street or storm drain. Protect applications of fresh concrete and mortar from rainfall and runoff until the
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) be vacuumed from a catchment created by blocking a
- does not reach gutters or storm drains. ■ When breaking up pavement, be sure to pick up all the pieces and dispose of
- ☐ Never dispose of washout into the street, storm drains, drainage ditches, or streams.

Heavy Equipment Operation Who should use this

- information?
- Vehicle and Equipment Operators Site Supervisors
- General Contractors Home Builders Developers

Stormwater Pollution from Heavy Equipment on Construction Sites

Storm Drain Pollution from Fresh Concrete

And Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are

toxic to fish and the aquatic environment. Disposing of these materials to the storm drains

or creeks can block storm drains, causes serious problems, and is prohibited by law.

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

Doing the Job Right Site Planning and Preventive Vehicle Maintenance

during rain events.

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Contain the area with
- berms, sand bags, or other barriers. Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- washing off site where cleanup is easier. ☐ If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect

☐ Perform major maintenance, repair jobs, and vehicle and equipment

Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.

☐ Cover exposed fifth wheel hitches and other oily or greasy equipment

Use as little water as possible for dust control. Ensure water used

doesn't leave silt or discharge to storm drains.

possible, otherwise, dispose of them as hazardous wastes.

Spill Cleanup

contaminated soil.

Services 1-800-852-7500.

- Clean up spills immediately when they happen. ☐ Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them. ☐ Clean up spills on dirt areas by digging up and properly disposing of
- Report significant spills to the appropriate local spill response agencies immediately. In Sunnyvale, dial 9-1-1 if hazardous materials might enter the all spent fluids, store in separate containers. Recycle them wherever

☐ If the spill poses a significant hazard to human health and safety, property or

the environment, you must also report it to the State Office of Emergency

or rags) whenever possible and properly dispose of absorbent materials.

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.ANNING-DESIGN-RENDERIN

email: jer@jerdesigngroup.com

408.843.8067 c

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remove, and properly dispose of contaminated soil.

Avoid paving and seal coating in wet weather, or

Cover and seal catch basins and manholes when

☐ Protect drainage ways by using earth dikes, sand

■ Never wash excess material from exposed

bags, or other controls to divert or trap and filter

aggregate concrete or similar treatments into a

street or storm drain. Collect and recycle, or

from rainfall and prevent runoff with temporary

(with absorbent materials and/or rags) Dig up,

Cover stockpiles (asphalt, sand, etc.) and other

applying seal coat, slurry seal, fog seal, or similar

from contacting stormwater runoff.

when rain is forecast, to prevent fresh materials

roofs or plastic sheets and berms. ☐ Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not ☐ Clean up all spills and leaks using "dry" methods

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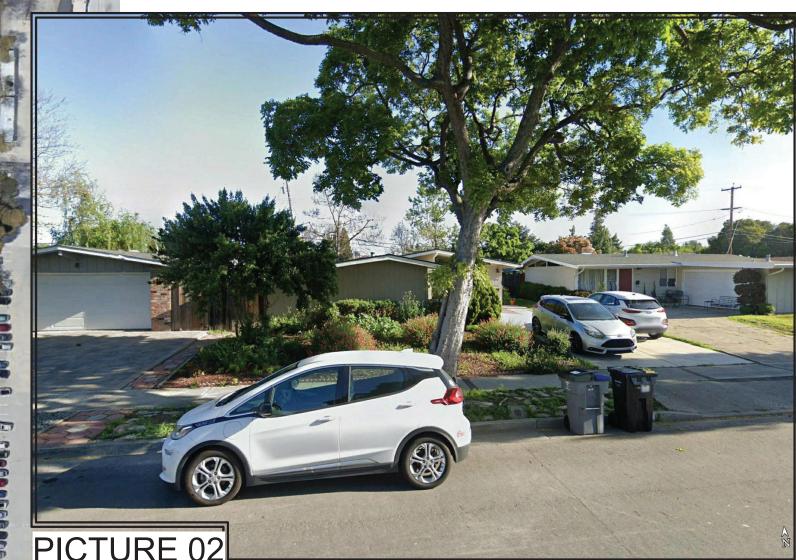
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PROJECT LOCATION







AERIAL MAP



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PICTURE 03

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STREETSCAPE

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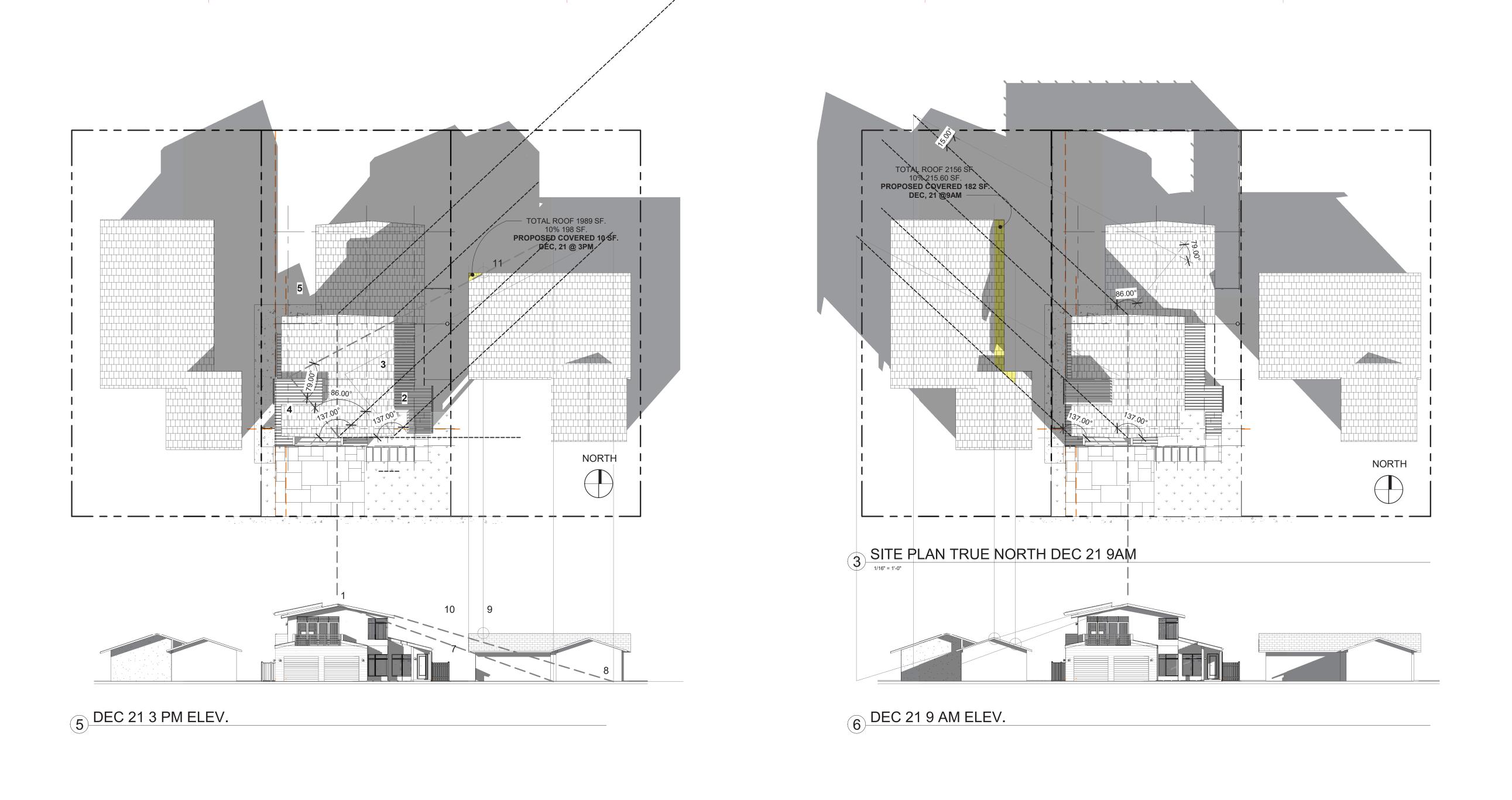
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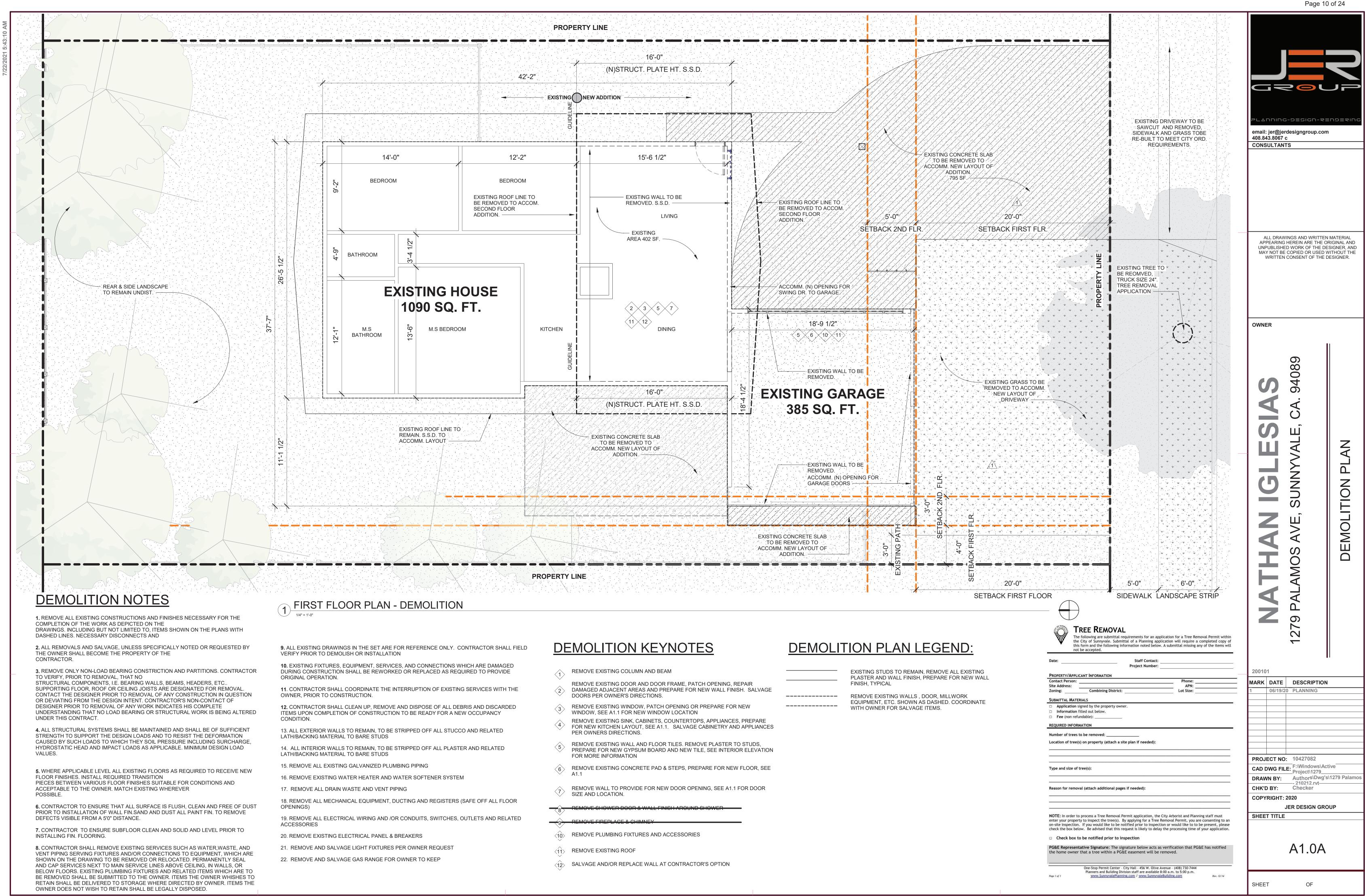
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Attachment 5 Page 9 of 24



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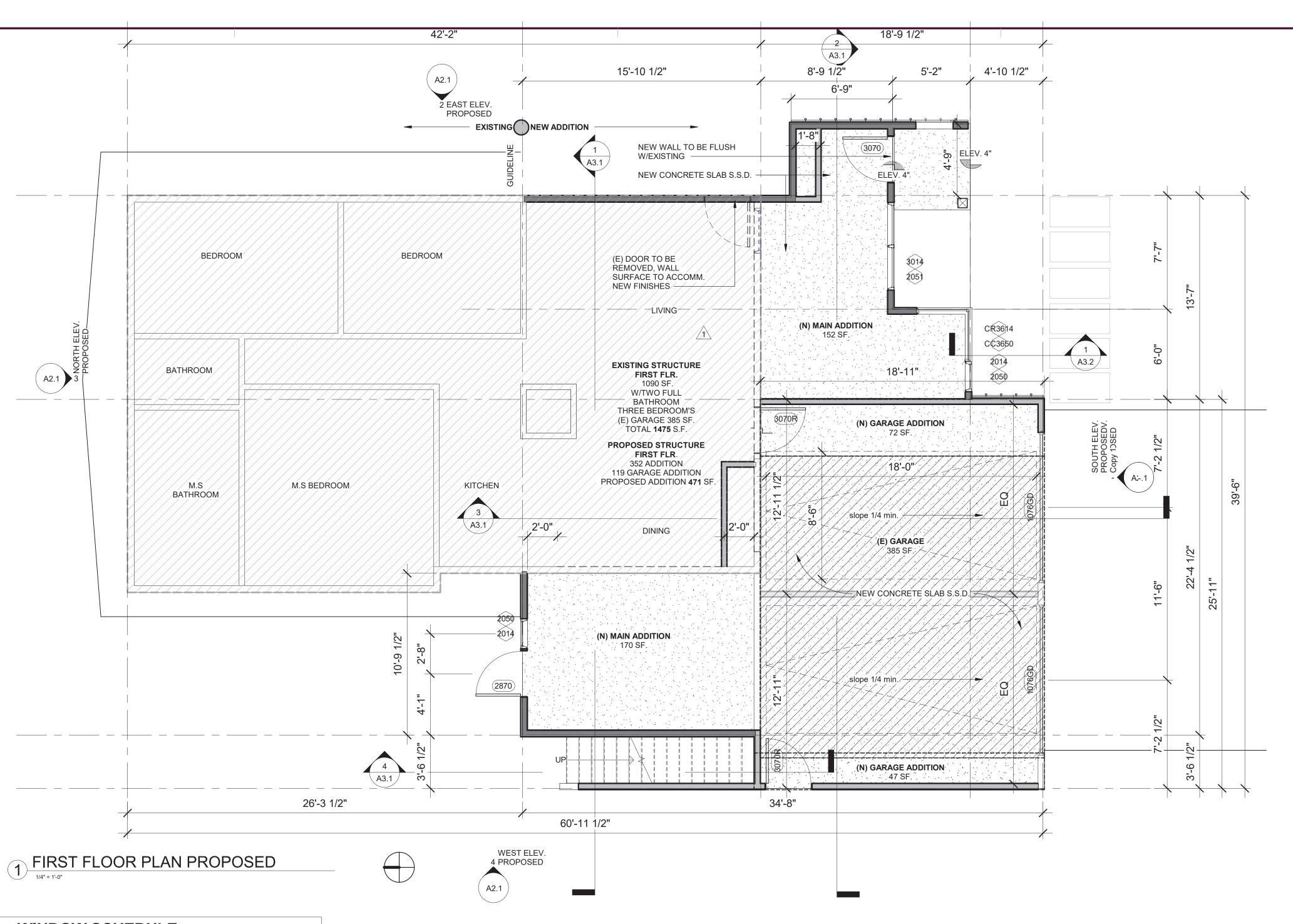
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		WINDOV	V SCHEDU	JLE		
Type Mark	Count	Туре	Width	Height	Head Height	Sill Height
	1.				Ta. a	
2020	1	2020	2'-0"	2'-0"	8'-0"	6'-0"
2014	1	2014	2'-0"	1'-4"	4'-5"	3'-1"
2014	1	2014	2'-0"	1'-4"	4'-5"	3'-1"
3014	1	3014	3'-0"	1'-4"	4'-5"	3'-1"
3014	1	3014	3'-0"	1'-4"	6'-4"	5'-0"
1270	1	3046	3'-0"	4'-6"	5'-1"	7"
2020	1	2020	2'-0"	2'-0"	8'-0"	6'-0"
CC3650	1	Corner Direct Set	3'-6"	4'-11"	5'-8"	9"
CR3614	1	ht14"	3'-6"	1'-4"	7'-0"	5'-8"
2014	1	2014	2'-0"	1'-4"	7'-0"	5'-8"
2050	1	2050	2'-0"	4'-11"	5'-8"	9"
CC3650	1	Corner Direct Set	3'-6"	4'-11"	6'-8"	1'-9"
CR3614	1	ht14"	3'-6"	1'-4"	8'-0"	6'-8"
2050	1	2050	2'-0"	4'-11"	6'-8"	1'-9"
2046	1	2046	2'-0"	4'-6"	6'-8"	2'-2"
2020	1	2020	2'-0"	2'-0"	8'-0"	6'-0"
2014	1	2014	2'-0"	1'-4"	8'-0"	6'-8"
2014	1	2014	2'-0"	1'-4"	7'-0"	5'-8"
2050	1	2050	2'-0"	4'-11"	6'-4"	1'-5"
3014	1	3014	3'-0"	1'-4"	7'-0"	5'-8"
2051	1	3050	3'-0"	4'-11"	5'-8"	9"
4014	1	4014	4'-0"	1'-4"	4'-5"	3'-1"
3016	1	3016	3'-0"	1'-6"	8'-6"	7'-0"
3016	1	3016	3'-0"	1'-6"	8'-6"	7'-0"
3016	1	3016	3'-0"	1'-6"	8'-6"	7'-0"
3016	1	3016	3'-0"	1'-6"	8'-6"	7'-0"
3014	1	3014	3'-0"	1'-4"	7'-0"	5'-8"
2051	1	3050	3'-0"	4'-11"	5'-8"	9"
2014	1	2014	2'-0"	1'-4"	8'-0"	6'-8"
2020	1	2020	2'-0"	2'-0"	8'-0"	6'-0"
3017	1	2070	2'-0"	7'-2"	7'-3"	1"

			DO	OOR SO	CHEDUL	E		
Type Mark	Count	Mark	Туре	Width	Height	Thickness	Location	Hardware Group
2468	1	3070	3070	3'-0"	7'-0"	1 3/8"	PANTRY	
2475	1	2870	Int-P101-WDWF- 2870	2'-8"	7'-0"	1 3/4"		
2475	1	2870	Int-P101-WDWF- 2870	2'-8"	7'-0"	1 3/4"		
2482	1	12070	12070	12'-0"	7'-0"	3/4"		
2481	1	4066TT	Overheard_Pane I_Garage_Door_ Contemporary_4	16'-0"	7'-0"			
2484	1	1076GD	4500x2400mm	10'-0"	7'-0"			
2484	1	1076GD	4500x2400mm	10'-0"	7'-0"			
2475	1	2870	Int-P101-WDWF- 2870	2'-8"	7'-0"	1 3/4"		
2474	1	3070	Int-P101-WDWF- 36" x 84"	3'-0"	7'-0"	1 3/4"		
2474	1	2870	Int-P101-WDWF- 36" x 84"	3'-0"	7'-0"	1 3/4"		
2474	1	2872	Int-P101-WDWF- 36" x 84"	3'-0"	7'-0"	1 3/4"		
2486	1	SL2470	Interior_barn_do or_18732	2'-4"	7'-0"			
2474	1	3070R	Int-P101-WDWF- 36" x 84"	3'-0"	7'-0"	1 3/4"		
2474	1	3070R	Int-P101-WDWF- 36" x 84"	3'-0"	7'-0"	1 3/4"		
2475	1	2870	Int-P101-WDWF- 2870	2'-8"	7'-0"	1 3/4"		
2474	1	3070	Int-P101-WDWF- 36" x 84"	3'-0"	7'-0"	1 3/4"		
6070	1	3071	6070	6'-0"	7'-0"	1 3/8"	CLOSET	

FLOOR PLAN NOTES

- 1. ALL FLOOR PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.O.N. WHERE CLEAR DIMENSION IS INDICATED, IT SHALL BE FROM FACE OF FINISH TO FACE OF FINISH. WHERE CENTERLINE DIMENSION IS INDICATED, IT SHALL BE FROM CENTERLINE OF OBJECT NOTED.
- CONTRACTOR TO PROVIDE RECESSED BOXES BEHIND ALL REFRIGERATORSFOR ICE-MAKERS & WATER LINE AND WASHER/DRYER. CAULKING ALL AROUND RECESSED BOXES
- REFER TO PROJECT INFORMATION SHEET FOR ROOF/ATTIC & UNDERFLOOR VENTILATION CALCULATIONS.
- PROVIDE FLOORING TRANSITION STRIP BETWEEN DISSIMILAR MATERIALS.
- MECHANICAL & PLUMBING VENTS THROUGH EXTERIOR WALLS SHALL BE EQUIPPED WITH WALL CAP, BUILT-IN BACKDRAFT DAMPER & BIRD SCREEN.
- FOR ROOM FINISHES, SEE ROOM FINISH SCHEDULE SHEET
- SEE INTERIOR ELEVATION SHEETS FOR MOUNTING HEIGHTS OF BATHROOM ACCESSORIES, COUNTERTOP HEIGHTS.
- 8. SEE SHEET A-0.1 FOR ABBREVIATIONS, LEGENDS, SYMBOLS.
- WHERE DOOR LOCATIONS ARE NOT SPECIFIED, CENTER IN WALL OR
- INSTALL 4" FROM FACE OF ADJACENT WALL FRAMING. 10. ALL INTERIOR WALLS TO BE WALL TYPE C U.O.N. - SEE WALL LEGEND.
- 11. EACH BEDROOM AND OUTSIDE SLEEPING AREA, PROVIDED WITH A SMOKE AND CARBON MONOXIDE DETECTORS INSTALLED IN A ACCORDANCE WITH CRC. R.315 CARBON MONOXIDE ALARMS COMBINED WITH SMOKE SHALL COMPLY WITH SECTION R315, ALL APPLICABLE STANDARD, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARM.

SYMBOL LEGEND # DOOR SYMBOL **FLOOR** CARPET \langle # \rangle WINDOW SYMBOL 1 FLOOR PLAN KEYNOTE PORCELAIN TILE SEE SHEET A-0.1 FOR BALANCE OF SYMBOLS

TYPICAL EXTERIOR WALL - ALL EXTERIOR WALLS ARE TYPE W1 U.O.N. SEE DETAIL1 / A8.1 AND13 / A8.1

INTERIOR WALLS

EXTERIOR WALLS

WALL LEGEND

TYPICAL INTERIOR WALL - ALL INTERIOR WALLS ARE TYPE W2 U.O.N., PROVIDE ACOUSTICAL INSULATION AT BATHROOMS AND BEDROOMS WALL. SEE DETAIL A8.1 SYMBOL IS NOT SHOWN FOR CLARITY, SEE DTL¹³ / A8.1 FOR ADDITIONAL

EXISTING STUDS TO REMAIN, REMOVE ALL EXISTING PLASTER AND WALL FINISH, PREPARE FOR NEW WALL FINISH, TYPICAL (PREPARE WALL TO ACCOMM. ACOUSTICAL INSULATION AT BATHROOMS AND REDROAMS: 5/8" GYPSUM BD. EACH SIDE. PLYWOOD SHEATHING WHERE OCCURS S.S.D. REFER TO DETAILS. PROVIDE ACOUSTICAL INSULATION AT BATHROOMS AND BEDROOMS WALLS. (TO MATCH EXISTING WALL

INTERIOR FINISH). REFER TO OWNER FOR SAMPLE

NOTE: USE WATER RESISTANT GYPSUM BD. AT BATHROOM (TYP.)

FLOOR PLAN KEYNOTES

01 TOILET- SELECTED BY OWNER

| 02 | TOILET-PAPER HOLDER - SELECTED BY OWNER

03 PEDESTAL SINK - SELECTED BY OWNER

04 MIRROR - SEE INTERIOR ELEVATIONS FOR DIMENSIONS

05 TOWEL BAR TO BE SELECTED - PROVIDE BLKG IN WALL

06 COUNTER TOP - SELECTED BY OWNER

07 SHOWER, SEE DTL. - / --- AND 6 / A8.3 , SHOWER SURROUND -SELECTED BY OWNER

08 SHOWER SHELF - SELECTED BY OWNER

09 SHOWER HEAD - SELECTED BY OWNER

10 PULL DOWN ATTIC ACCESS, SEE DTL11 / A8.2

11 LAVATORY AND FAUCET - SELECTED BY OWNER

12 GAS FIREPLACE - SELECTED BY OWNER

13 ADJUSTABLE SHOWER HEAD W/HANDSHOWER - SELECTED BY OWNER

WALK-IN BATH TUB EQUIPPED WITH EXTENSION BOX TO FIT OPENING, SEE 5 / A8.3

15 DISHWASHER - SEE APPLIANCE & EQUIPMENT SCHEDULE

REFRIGERATOR SPACE. PROVIDE RECESSED BOX FOR WATERLINE & SHUT-OFF VALVE IN WALL FOR ICE MAKER - SEE APPLIANCE & ENBERMOUNT FARM SINK, KITCHEN SINK WITH

GARBAGE DISPOSAL - SELECTED BY OWNER

18 GAS RANGE COOKTOP - SEE APPLIANCE & EQUIPMENT SCHEDULE

19 KITCHEN ISLAND

20 WINE COOLER - SELECTED BY OWNER

21 MILLWORK FINISH TO BE SELECTED BY OWNER - SEE INTERIOR ELEVATIONS

22 UNDERMOUNT VANITY SINK - SELECTED BY OWNER

23 BAR SINK - SELECTED BY OWNER, SEE DTL9 / A8.3 24 WALL-MOUNTED RANGE HOOD - SEE APPLIANCE & EQUIPMENT

25 TEMPERED GLASS SHOWER SCREEN & DOOR

CLOTHES DRYER - PROVIDE VENT TO EXTERIOR WITH BACKDRAFT DAMPER IN ACCORDANCE WITH CMC 504.3.2 - SEE APPLIANCE & EQUIPMENT

SCHEDULE CLOTHES WASHER - PROVIDE PLUMBING & GALVANIZED FLASHING PAN

27 UNDER UNIT & RECESSED VALVE AND DRAIN BOX IN WALL

28 PROVIDE NEW TEMPERED SHOWER GLASS DOOR WITH TOWEL BAR

29 CABINET SYSTEMS - N.I.C. TO BE PROVIDED & INSTALLED BY OWNER

30 DOWNSPOUT

31 BUILT-IN MICROWAVE & OVEN - SELECTED BY OWNER

32 UNDERCOUNTER LAZY SUSAN UNIT

33 TEMPER GLASS PANEL DOOR

34 BUILT-IN CABINET FOR TELEVISION

35 LAUNDRY SINK - SELECTED BY OWNER

PROVIDE HOT & COLD WATER ROUGH-IN FOR N.I.C. WATER SOFTENER

37 CLOTHES ROD WITH 12" DEEP FIXED SHELF ABOVE, SEE D113 / A8.2

38 HANDRAIL - SEE DTL7 / A8.2

39 BUILT-IN MILLWORK - SEE INTERIOR ELEVATIONS. REFER TO MILLWORK

40 COLUMNS MDO WITH STONE VENEER BASE, SEE DT14 / A8.3

41 ROOF LINE ABOVE

42 LINEN CLOSET - PROVIDE 5-20" DEEP SHELVES - DETERMINE

SPACING ON JOB WITH ARCHITECT & CLIENT. PANTRY SHELVES - PROVIDE ADJUSTABLE SHELVES

CRAWL SPACE VENTILATION AREAWAY - EXISTING LOCATION

45 PATIO DECK CONCRETE OR COMPOSITE ASSEMBLY BY TREX OR EQUAL. COLOR TO BE SELECTED BY OWNER. (TO BE DETERMINED BY

ROOF VENT (VENTILATION) OHAGIN 72 SQ.IN. NFVA. OR EQUAL, SEE DTL. 10 / A8.4

47 CONCRETE SLAB

| 48 | PRE-FABRICATED COLUMN COVER, SEE DTL20 / A8.2

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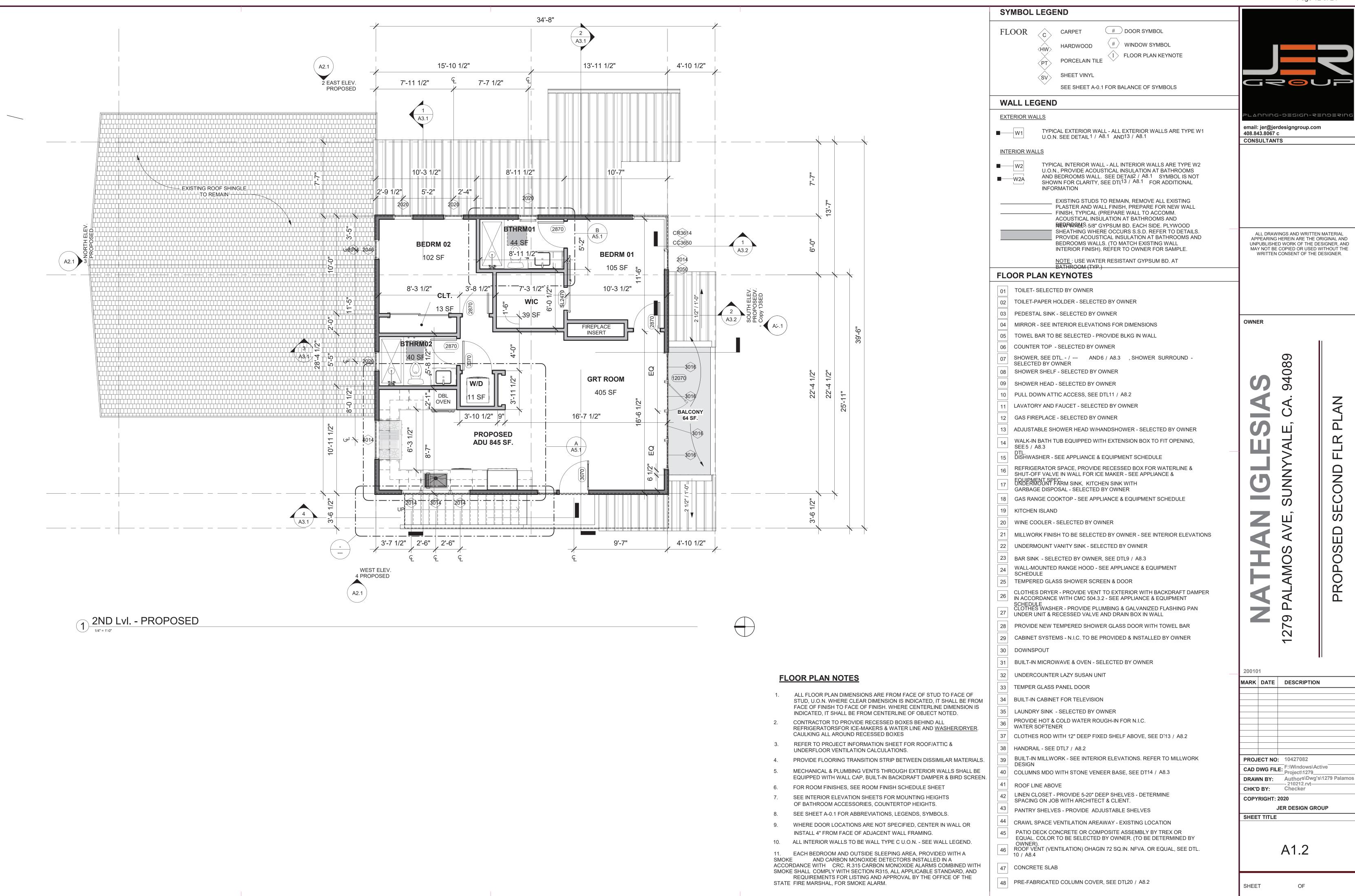
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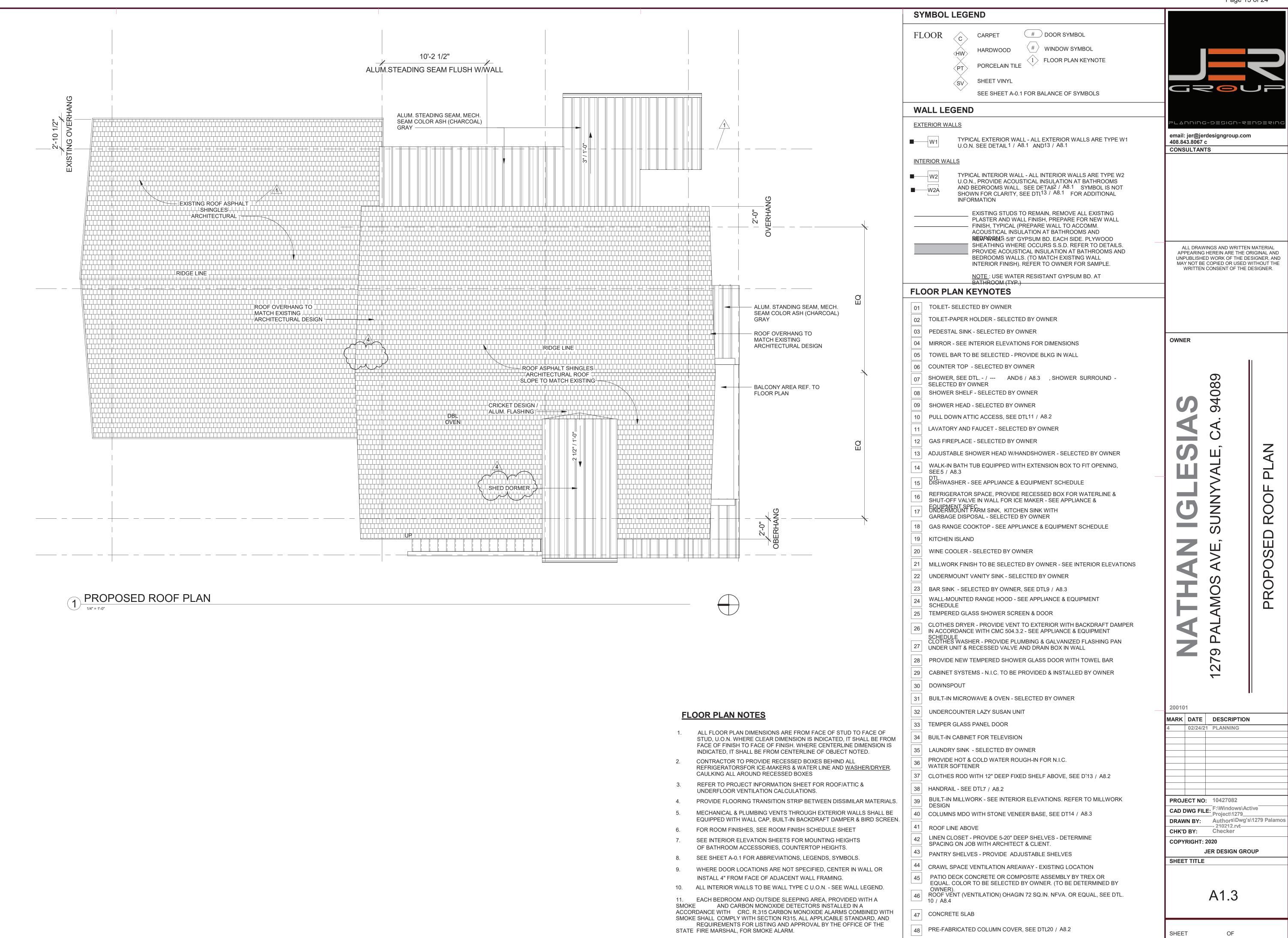
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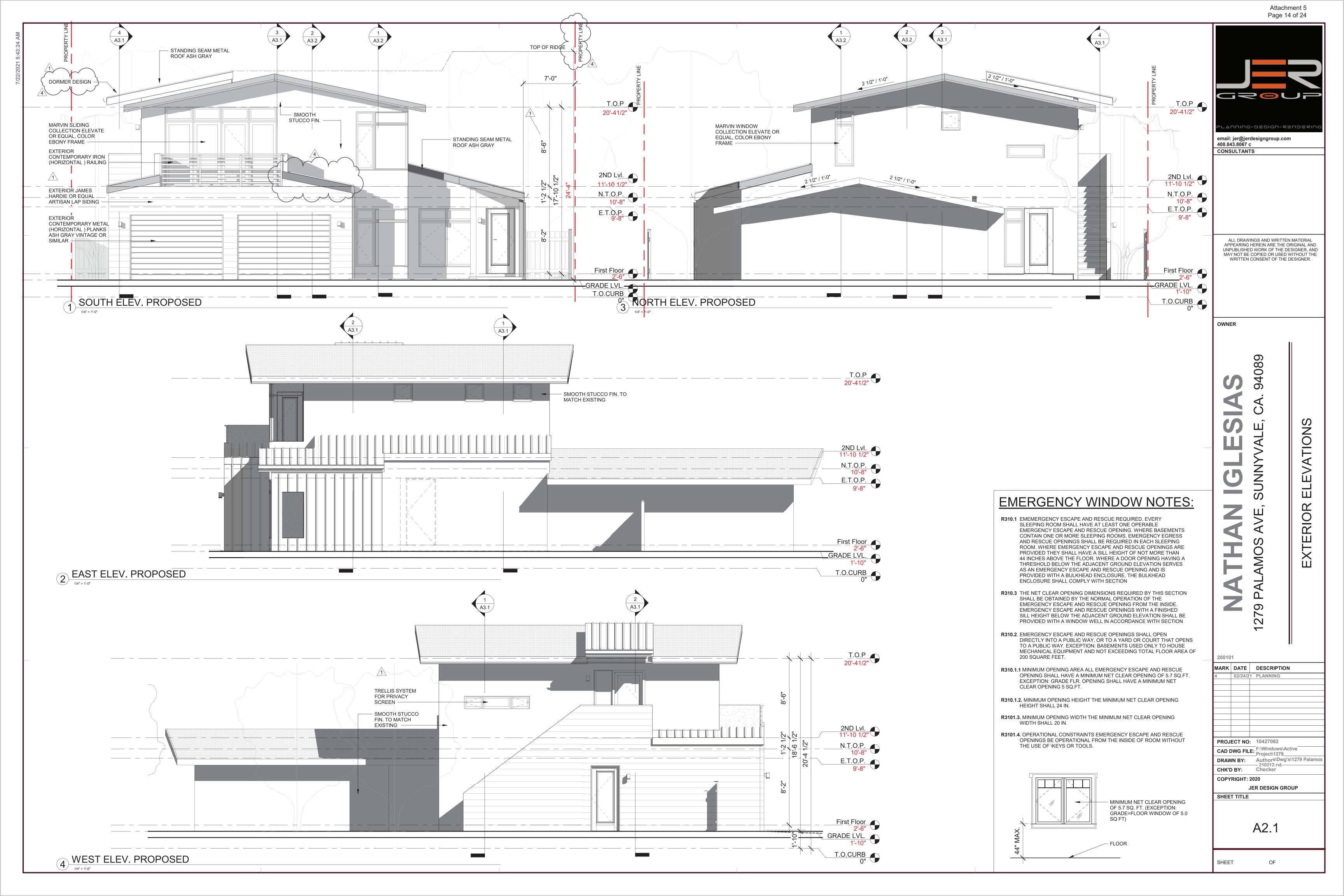
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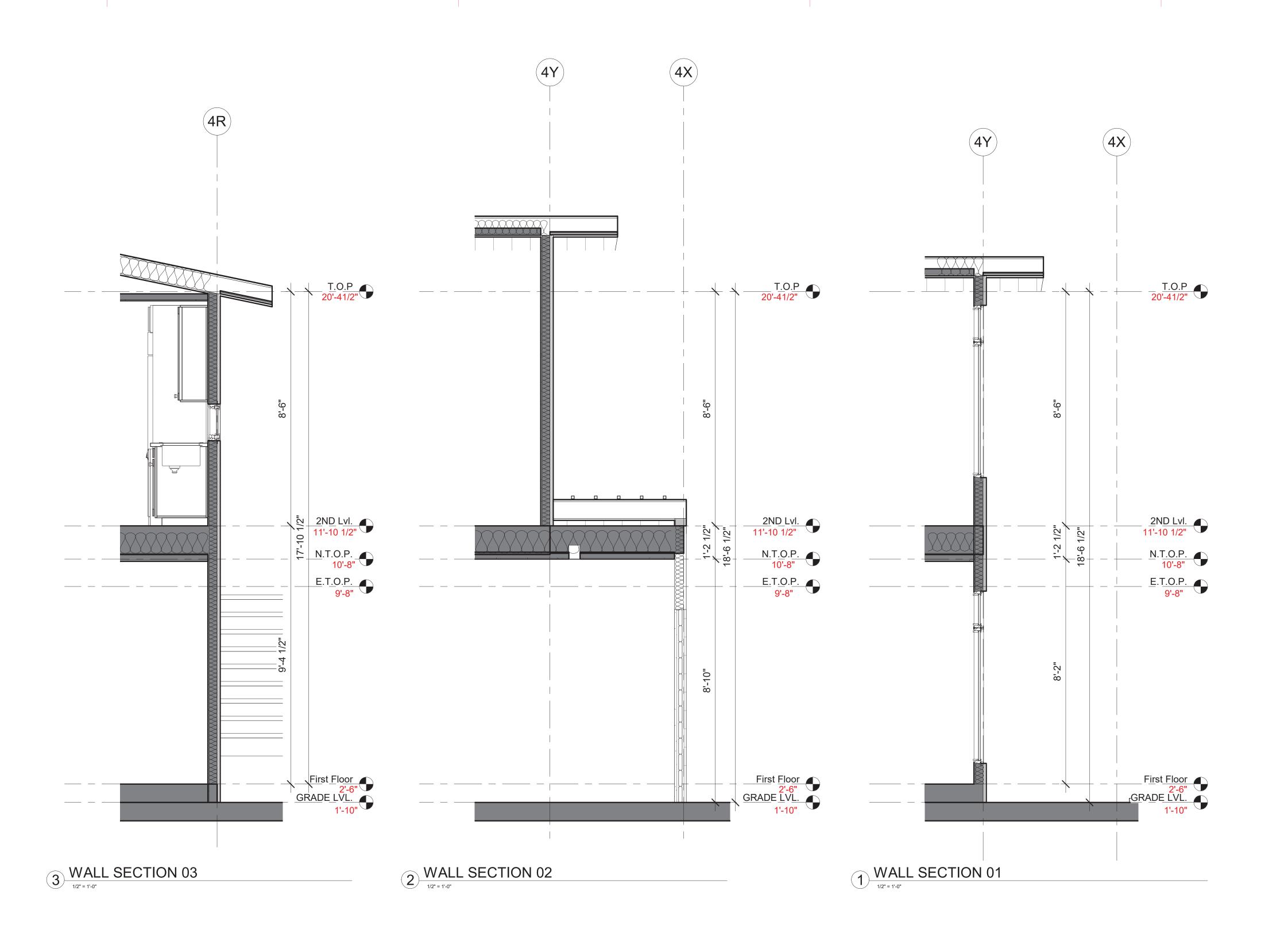
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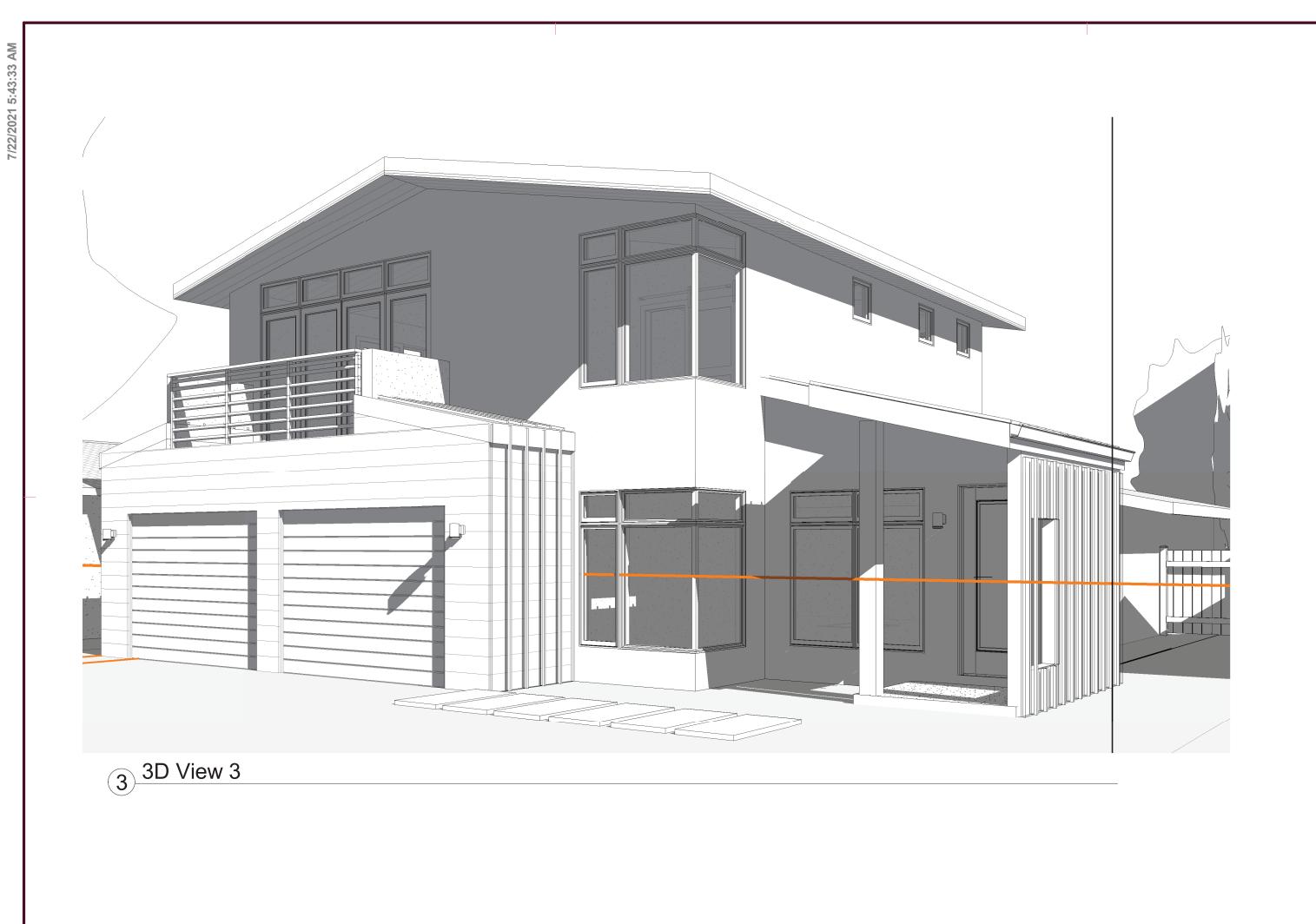
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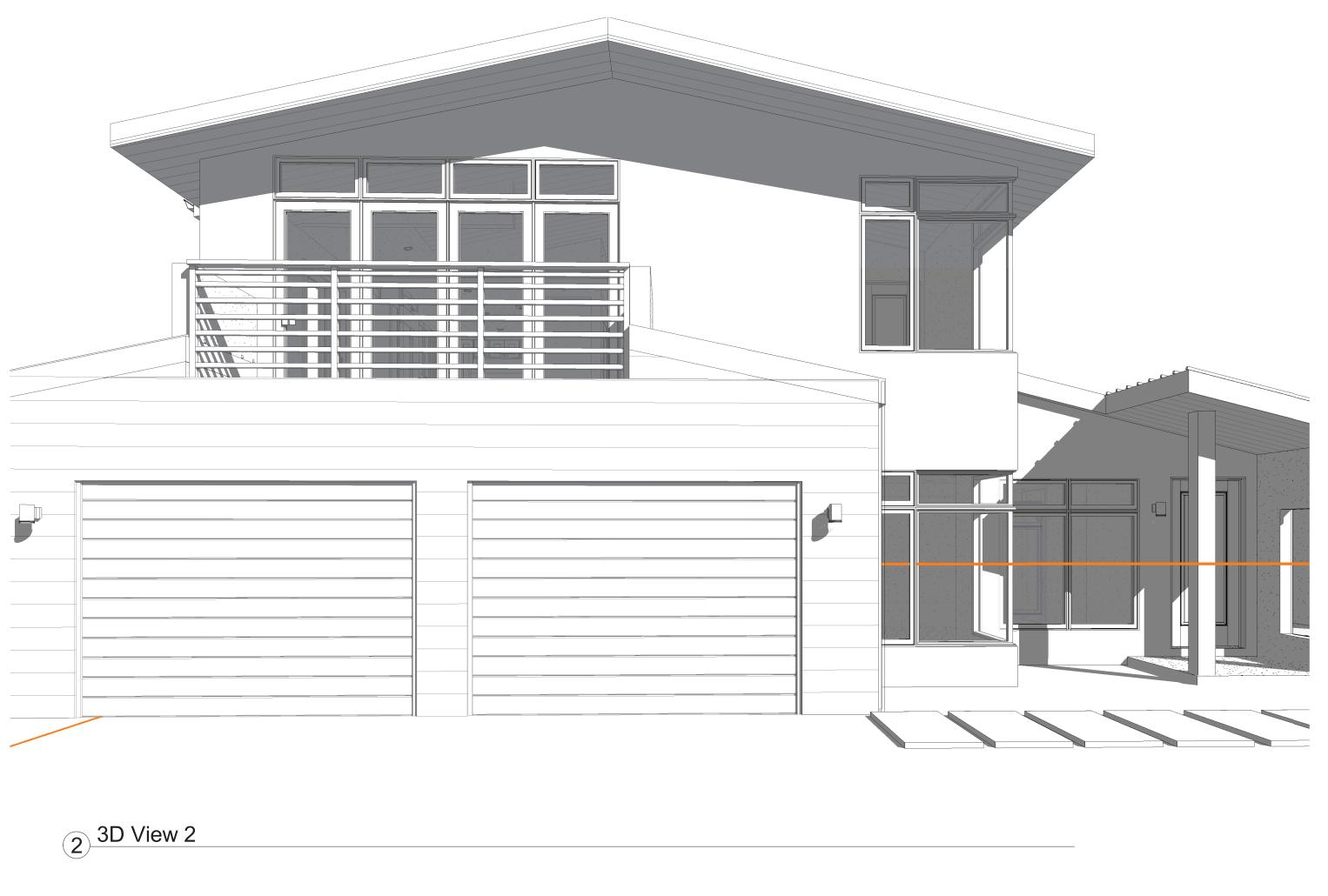
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IMAGE

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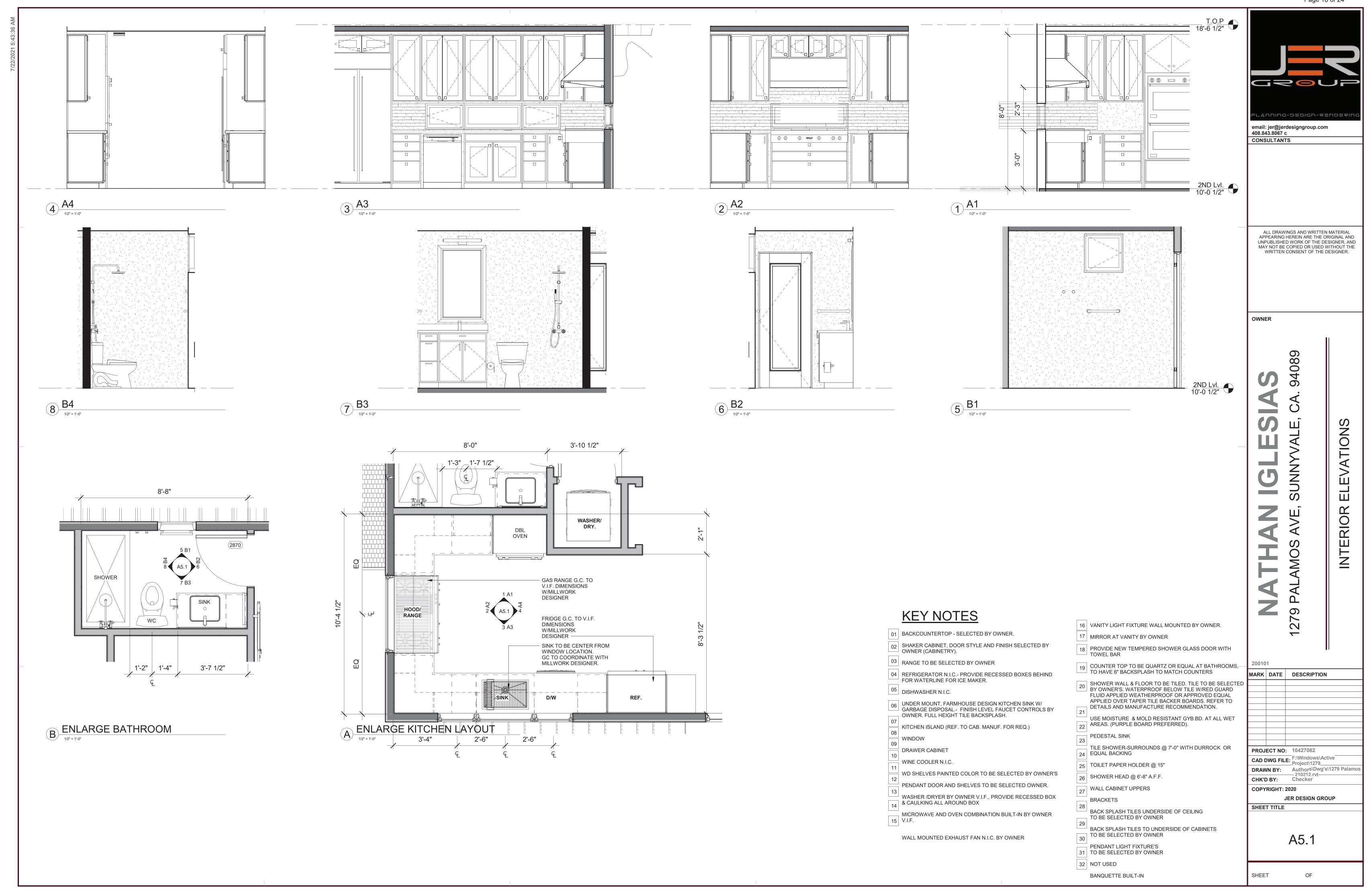
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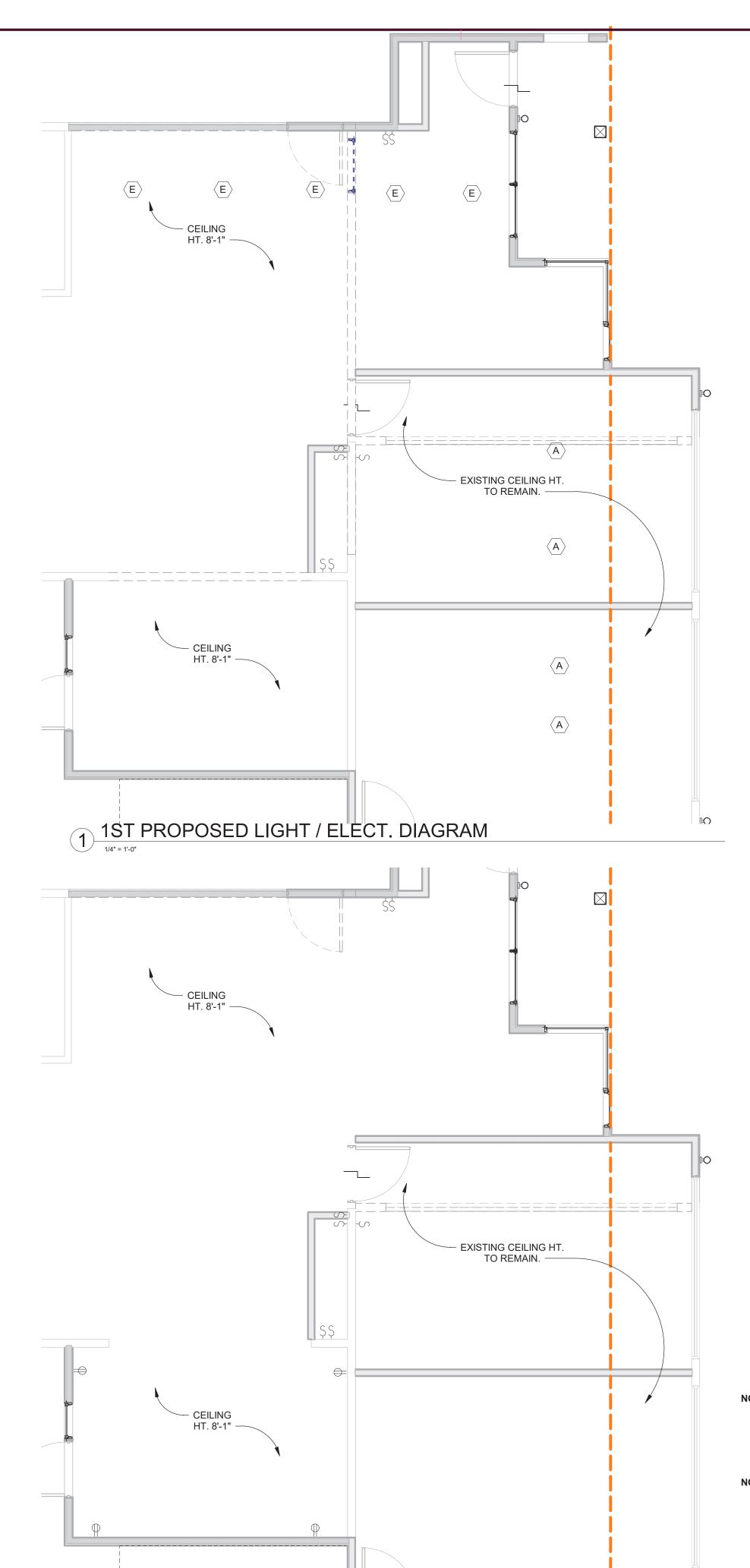
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SHEET TITLE

A4.2

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4 1ST PROPOSED POWER ELECT. DIAGRAM

ELECTRICAL NOTES

THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED PROJECT TO INSPECT THE EXISTING CONDITIONS AND DETERMINE THE SCOPE OF OF HIS WORK AND EXTENT OF DEMOLITION. THE SITE INSPECTION SHALL BE MADE PRIOR TO SUBMITTING BID FOR THE PROPOSED PROJECT . NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO INSPECT THE SITE. CONTRACTORSHALL INFORM ARCHITECT OR DESIGNER PRIOR TO BIDDING OF DISCREPANCIES WHICH EXIST BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS

REFER TO DESIGNER REFLECTED CEILING PLAN FOR EXACT LOCATION OF

ALL LIGHT FIXTURES. PER- CONCEPTUAL LAYOUT. REFER TO RISER DIAGRAM FOR FEEDER SIZES FOR PANELBOARD.

DRAWINGS ARE DIAGRAMMATIC AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS; FIELD VERIFIED LOCATIONS.

VERIFY ALL FIXTURES WITH OWNER PRIOR TO INSTALLATION. VERIFY LOCATION OF CABLE, VOICE, AND DATA LINES WITH OWNER PRIOR

TO ROUGH-IN. UNLESS OTHERWISE NOTED, OUTLET HEIGHTS TO BE 15" MINIMUM ABOVE FLOOR. WALL SWITCH HEIGHT TO BE 44" MAXIMUM ABOVE FLOOR.

DEDICATED 20 AMP CIRCUIT SHALL SUPPLY THE REQUIRED BATHROOM OUTLETS; THE CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

ALL RECESSED LIGHTING FIXTURES TO BE IC RATED AND AIRTIGHT. ALL BRANCH CIRCUITS (I.E. RECEPTACLES, LIGHTS, SMOKE ALARMS, ETC.)

TO BE AFCI LISTED EXCEPT THOSE SPECIFICALLY LABELED GFCI ON PLANS. ALL LIGHTING AND SWITCHES TO MEET CURRENT TITLE 24 ENERGY CODE. ALL BATHROOM FIXTURES TO BE HIGH EFFICIENCY OR OCCUPANCY

SENSOR CONTROLLED. KITCHEN LIGHTING TO BE 50% HIGH EFFICIENCY OF TOTAL WATTAGE.

ALL HABITABLE ROOMS TO HAVE DIMMER SWITCHES. ALL EXTERIOR LIGHTS TO HAVE PHOTO CELL MOTION SENSOR CONTROL. KITCHEN CIRCUITS TO COMPLY WITH CEC 210-52(B): TWO 20 AMP SMALL

APPLIANCE CIRCUITS TO SUPPLY KITCHEN; TO INCLUDE SEPARATE CIRCUIT FOR DISHWASHER AND DISPOSAL. KITCHEN COUNTERTOP RECEPTACLES TO BE SPACED AT 24" PER CEC

210.52(C)(1); RECEPTACLES TO BE GFCI PER CEC 210.8(A)(6). CONTRACTOR TO PROVIDE ROUGH-IN AND MAKE ALL CONNECTIONS OF KITCHEN EQUIPMENT IN ACCORDANCE WITH KITCHEN DRAWINGS.

ALL SMOKE DETECTORS TO BE LOCATED IN BEDROOMS; TO BE HARDWIRED 120VOLT WITH BATTERY BACK-UP AND INTERCONNECTED. CARBON MONOXIDE/SMOKE DETECTORS TO BE INSTALLED IN ALL

INTERCONNECTED. ALL CONSTRUCTION FOR THIS PROJECT SHALL COMPLY WITH ALL LOCAL

CODES AND ORDINANCES AND CURRENT ELECTRIC AND BUILDING CODES. EXTERIOR OUTLETS TO BE GFCI PROTECTED WITH WEATHER PROOF IN-USE

HALLWAYS AND STAIRWELLS; 120VOLT WITH BATTERY BACK-UP AND

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EACH BEDROOM AND OUTSIDE SLEEPING AREA, PROVIDED WITH A SMOKE AND CARBON MONOXIDE DETECTORS INSTALLED IN A ACCORDANCE WITH

CARBON MONOXIDE ALARMS COMBINED WITH SMOKE SHALL COMPLY WITH SECTION R315,

ALL APPLICABLE STANDARD, AND REQUIREMNTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE

CO CARBON MONOXIDE DET. SD SMOKE DET.

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								20010	1	
	MARK	DATE	DESCRIPTION							
	FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO.	LAMPS	VOLT	WATTS	MOUNTING			
• •	A	FLUORESCENT LIGHT FIXTURE	LITHONIA LIGHTING VW 2 32 120 GEB OR APPROVED EQUAL	2F32T8	120	64	SURFACED MOUNTED			
©	B	CONICAL PENDANT FIXTURE	SHAPER LIGHTING 148 SERIES OR APPROVED EQUAL	LED	120	18	SUSPENDED MOUNTED			
	C	RECTANGULAR PENDANT FIXTURE	SHAPER LIGHTING 141 SERIES OR APPROVED EQUAL	LED	120	29	SUSPENDED MOUNTED			
	D	WALL VANITY FIXTURE	SHAPER LIGHTING 605 SERIES OR APPROVED EQUAL	LED	120	20	WALL MOUNTED	PROJI	ECT NO:	10427082
•	E	5"Ø CANNED LIGHT FIXTURE	LAMP PLUS LIGHTING HALO H991CAT OR APPROVED EQUAL	LED	120	12	RECESSED MOUNTED			E: F:\Windows\Activ Project\1279 Authors\Dwg's\1:
×	F	11" Ø SURFACED MOUNTED LIGHT FIXTURE	BUYLIGHTFIXTURE LIGHTING BLF13989 OR APPROVED EQUAL	CFL	120	22	SURFACE MOUNTED			210212.rvt Checker
HX-	©	WALL SCONCE LIGHT FIXTURE FOR OUTDOOR	HINKLEY LIGHTING SHELTER 1320-BK-LED OR APPROVED EQUAL	LED	120	10	WALL MOUNTED	COPY	_	2020 JER DESIGN GROU
0	H	ROUND SURFACE LED LIGHT FIXTURE	LITHONIA LIGHTING FMHLDL 12 SERIES OR APPROVED EQUAL	LED	120	30	SURFACE MOUNTED	SHEE	T TITLE	
+		SURFACE LIGHT FIXTURE LISTED FOR WET LOCATION	HALO LIGHTING 1200 SERIES OR APPROVED EQUAL	LED	120	17.5	RECESSED MOUNTED			
	J	UNDER CABINET LIGHT FIXTURE WITH INDIVIDUAL ON/OFF SWITCH	HALO LIGHTING HU10 SERIES OR APPROVED EQUAL	LED	120	72	SURFACE MOUNTED			A7.1
©	⟨K/L⟩	SMOKE DETECTOR / CARBON M	IONOXIDE ALARM							
								SHEE	Γ	OF
		TYPE A B B C C D E F H O H O T T T T T T T T T T T T	FIXTURE TYPE A FLUORESCENT LIGHT FIXTURE B CONICAL PENDANT FIXTURE C RECTANGULAR PENDANT FIXTURE D WALL VANITY FIXTURE E 5"Ø CANNED LIGHT FIXTURE F 11" Ø SURFACED MOUNTED LIGHT FIXTURE WALL SCONCE LIGHT FIXTURE WALL SCONCE LIGHT FIXTURE FOR OUTDOOR H ROUND SURFACE LED LIGHT FIXTURE UNDER CABINET LIGHT FIXTURE UNDER CABINET LIGHT FIXTURE WITH INDIVIDUAL ON/OFF SWITCH	TYPE A FLUORESCENT LIGHT FIXTURE B CONICAL PENDANT FIXTURE B CONICAL PENDANT FIXTURE B CONICAL PENDANT FIXTURE C RECTANGULAR PENDANT FIXTURE C RECTANGULAR PENDANT FIXTURE B SHAPER LIGHTING 141 SERIES 0R APPROVED EQUAL SHAPER LIGHTING 141 SERIES 0R APPROVED EQUAL SHAPER LIGHTING 605 SERIES 0R APPROVED EQUAL LAMP PLUS LIGHTING 605 SERIES 0R APPROVED EQUAL LAMP PROVED EQUAL HALO H991CAT OR APPROVED EQUAL BUYLICHTRIXTURE LIGHTING BLF13989 OR APPROVED EQUAL HINKLEY LIGHTING SHELTER 1320-BIK-LED OR APPROVED EQUAL HINKLEY LIGHTING SHELTER 1320-BIK-LED OR APPROVED EQUAL LITHONIA LIGHTING FMHLDL 12 SERIES OR APPROVED EQUAL LITHONIA LIGHTING FMHLDL 12 SERIES OR APPROVED EQUAL UNDER CABINET LIGHT FIXTURE HALO LIGHTING 1200 SERIES OR APPROVED EQUAL UNDER CABINET LIGHT FIXTURE HALO LIGHTING HU10 SERIES OR APPROVED EQUAL HALO LIGHTING HU10 SERIES OR APPROVED EQUAL	FIXTURE TYPE DESCRIPTION	FIXTURE TYPE FIXTURE TYPE	FIXTURE TYPE FIXTURE TYPE DESCRIPTION MANUFACTURER'S CATALOG NO. LAMPS VOLT WATTS	FIXTURE DESCRIPTION MANUFACTURER'S CATALOG NO. LAMPS VOLT WATTS MOUNTING TYPE A FLUORESCENT LIGHT FIXTURE UITHONIA LIGHTING WY 23 21 20 GEB OR APPROVED EQUAL. B CONICAL PENDANT FIXTURE SHAPER LIGHTING 144 SERIES OR APPROVED EQUAL. C RECTANGULAR PENDANT FIXTURE SHAPER LIGHTING 144 SERIES OR APPROVED EQUAL. D WALL VANITY FIXTURE SHAPER LIGHTING 141 SERIES OR APPROVED EQUAL. D WALL VANITY FIXTURE SHAPER LIGHTING 141 SERIES OR APPROVED EQUAL. D WALL VANITY FIXTURE SHAPER LIGHTING SHAPER LIGHTING 141 SERIES OR APPROVED EQUAL. D WALL VANITY FIXTURE SHAPER LIGHTING SHAPER LIGHTING OR APPROVED EQUAL. E 5"Ø CANNED LIGHT FIXTURE HALD HISPICATT OR APPROVED EQUAL. F 11" Ø SURFACED MOUNTED LIGHT FIXTURE BLY 13989 OR APPROVED EQUAL. D WALL SCONCE LIGHT FIXTURE HINKLEY LIGHTING SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SCONCE LIGHT FIXTURE HINKLEY LIGHTING SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE MOUNTED LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE HINKLEY LIGHTING SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELD LIGHTING SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN-LED OR APPROVED EQUAL. D WALL SURFACE LIGHT FIXTURE SHELTER 1320-GIN	INTERIOR LIGHTING FIXTURE SCHEDULE MARK FATURE FATURE DESCRIPTION MANUFACTURER'S CATALOG NO. LAMPS VOLT WATTS MOUNTING LITHONIA LIGHTING WY 2 32 120 GEB OR APPROVED EQUAL B CONICAL PENDANT FIXTURE C C RECTANGULAR PENDANT FIXTURE B CONICAL PENDANT FIXTURE C C RECTANGULAR PENDANT FIXTURE C C C C C C C C C C C C C C C C C C	FIXTURE DESCRIPTION MANUFACTURER'S CATALOG NO. LAMPS VOLT WATTS MOUNTING TYPE A FLUORESCENT LIGHT FIXTURE ULTHONIA LIGHTING WW 2 32 120 GEB OR APPROVED EQUAL B CONICAL PENDANT FIXTURE C RECTANGULAR PENDANT FIXTURE SHAPER LICHTING 148 SERIES OR APPROVED EQUAL D WALL VANITY FIXTURE SHAPER LICHTING 148 SERIES OF APPROVED EQUAL D WALL VANITY FIXTURE SHAPER LICHTING 158 ERIES OF APPROVED EQUAL OR APPROVED EQUAL F 11*0 SURFACED MOUNTED WALL VANITY FIXTURE SHAPER LICHTING 158 ERIES OF APPROVED EQUAL OR APPROVED EQUAL OR APPROVED EQUAL F 11*0 SURFACED MOUNTED LIGHT FIXTURE B 11*1 SURFACE LIGHT FIXTURE C 120 SURFACE MOUNTED C CAD DWG FILL DRAWN BY: C CHK'D BY: COPYRIGHT: 2 COPYRIGHT: 2 COPYRIGHT: 2 SHEET TITLE SHEET TITLE

PROJECT NO: 10427082 CAD DWG FILE: F:\Windows\Active Project\1279 DRAWN BY: Authors\Dwg's\1279 Palamo CHK'D BY: Checker **COPYRIGHT: 2020** JER DESIGN GROUP

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SHEET TITLE

A7.1

STANDING SEAM

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CONSULTANTS

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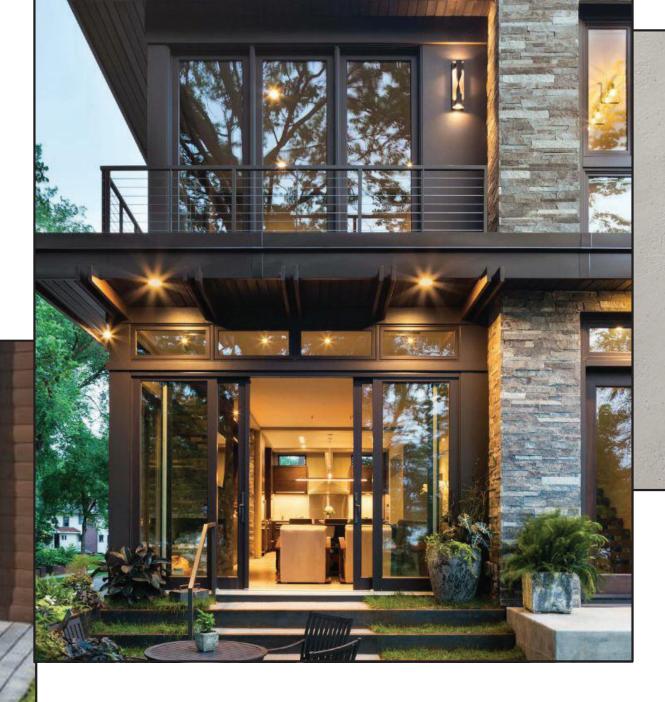
279

STANDING SEAM METAL ROOF ASSEMBLY

GARAGE DOOR
ASH GRAY PLANKS

PAVER PATTERN

EXTERIOR SIDING
ARTISAN LAP SIDING



SMOOTH FIN.

STUCCO COLOR LIGHT GRAY

IRON RAILING
PREFAB TREADS



SHEET TITLE

A9.0

SHEET

PAVER PATTERN LIGHT GRAY LARGE FORMAT

WINDOW FRAME

MARK DATE DESCRIPTION

PROJECT NO: 10427082

CAD DWG FILE: F:\Windows\Active Project\1279 DRAWN BY: Authors\Dwg's\1279 Palamos
- 210212.rvt
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															2nd to 1st
					Stories	CountyBuildingSqFt				_	TotalFAR w/ADU	FAR w/ADU	1st Fl Sq. Ft	2nd Fl Sq. Ft	floor Ratio
10427001			Av	6008	1	1108	360								
10427002			Av	5713	1	1108	360	1468	26%						
10427003			Av	5417	1	1750	360	2110	39%	_					
10427004			Av	5121	1	1108	360	1468	29%	,					
10427005			Av	5313	1	1108	360	1468	28%						
10427006			Av	5130	1	1108	360	1468	29%	,					
10427007			Av	6708	1	1486		1846	28%	,					
10427018	1198	Fairwood	Av	6214	1	1108		1468	24%						
10427019	1258		Ct	6214	1	1108	360	1468	24%						
10427027	1292	Ortiz	Ct	6656	1	1108	360	1468	22%						
10427028	1199	Manzano	Wy	5698	1	1108	360	1468	26%	,					
10427066	1280	Pecos	Wy	6214	1	1631	360	1991	32%						
10427076	1188	Manzano	Wy	5800	1	1108	360	1468	25%	,					
10427077	1192	Manzano	Wy	6522	2	1650	360	2010	31%	,			1468	542	0.36920981
10427078	1198	Manzano	Wy	12487	1	1108	360	1468	12%	,					
10427079	1293	Palamos	Av	7606	2	2588	460	3048	40%	,			1568	1480	0.94387755
10427080	1287	Palamos	Av	6875	1	1108	360	1468	21%	5					
10427081	1283	Palamos	Av	5940	1	1108	360	1468	25%	5					
10427082	1279	Palamos	Av	5940	2	1442	504	1946	33%	845	2791	47%	1946	845	0.43422405
10427083	1275	Palamos	Av	5940	1	1108	360	1468	25%	5					
10427084	1271	Palamos	Av	5940	1	1108	360	1468	25%	,					
10427085	1267	Palamos	Av	5940	1	2485	360	2845	48%	5					
10427086	1263	Palamos	Av	5940	1	1108	360	1468	25%	5					
10427087	1259	Palamos	Av	5940	1	1108	360	1468	25%	,					
10427088	1255	Palamos	Av	5940	1	2100	360	2460	41%						
10427089	1251	Palamos	Av	5940	1	1108	360	1468	25%	5					
10427090	1247	Palamos	Av	5940	1	1598	360	1958	33%	,					
10427091	1241	Palamos	Av	5940	1	1108	360	1468	25%						
10427092	1235	Palamos	Av	5940	1	1738	360	2098	35%						
10427093	1231	Palamos	Av	5940	1	1108	360	1468	25%	,					
10427094	1227	Palamos	Av	5940	1	1108	360	1468	25%	,					
10427095	1223	Palamos	Av	5940	1	1238	360	1598	27%						
10427096	1217	Palamos	Av	5940	1	1108	360	1468	25%						
10427097	1211	Palamos	Av	5940	1	1592	360	1952	33%	,					
10427098	1207	Palamos	Av	5940	1	1108	360	1468	25%	,					
		,	Average	6189.029		Average		1703.6	28%)	•	•			,

Data obtained by Santa Clara County Assessor's Office

1279 Palamos Ave Sunnyvale, CA 94089

Nathan Iglesias <u>nathan.iglesias@gmail.com</u> 831 601 3433

Project description: proposed ADU addition to primary home

Summary: My goal is to expand my primary home with an ADU. The ADU will seamlessly blend in with the primary home, and refresh the home's facade with a more modern look, consistent with the direction of my neighborhood.

Objective 1: Add a second story for the ADU to take better advantage of the lot's size and retain a front, side, and backyard.

Objective 2: Design the ADU to reflect a fusion of the neighborhood's original design with a modern adaptation that adds monetary and aesthetic value to the neighborhood without sticking out.

Objective 3: Build an ADU of sufficient size so that a family of two can comfortably occupy the space indefinitely, without feeling cramped (ideally, I would be occupying the space).

Rendering of Planning Department supported plan: Of note, the balcony tapers and the roof pitch is low (2"x12"; the absolute minimum pitch for skylights)



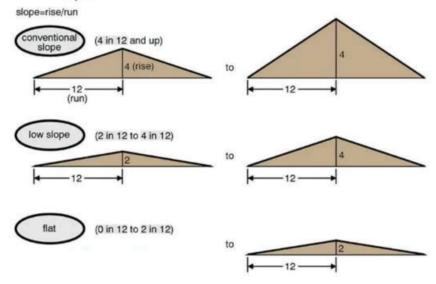
Alternative 1 proposal: Of note, the balcony is full length and the roof pitch, while still considered low (4"x12"), is consistent with remodels and new builds in the neighborhood; additionally, it helps open up the space



Alternative 2 proposal: Of note, the balcony is full length with a partial privacy wall; the roof pitch, while still considered low (4"x12"), is consistent with remodels and new builds in the neighborhood; additionally, it helps open up the space



Roof slopes





City of Sunnyvale

Agenda Item 4

21-0962 Agenda Date: 10/11/2021

Planning Commission Proposed Study Issues, Calendar Year: 2022 (Information Only)

Date	Working Title	Summary of Scope	Staff Comments
2/6/21	Elimination of Single- Family Zoning	Study would explore the elimination of single-family zoning	None
6/14/21	Safe Parking	Study would explore allowing Safe Parking lots in some zoning districts	None
6/14/21	Aging in Place	Study would explore the creation of policies or regulations associated with Aging in Place	None

Toward the end of the calendar year, no later than October, boards and commissions will review the list of proposed study issues and officially vote on sponsorship for each individually listed study issue. Official sponsorship means that the study issue is approved for ranking with a majority vote of the board or commission. Staff will then prepare the sponsored study issue papers, including fiscal impact **but not** the staff recommendation.

^{*}The study issues have been proposed for future sponsorship