



City of Sunnyvale

Notice and Agenda

City Council

Tuesday, November 11, 2014

3:45 PM

Sunnyvale Community Center Community
Room, 550 E. Remington Dr. and Council
Chambers, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA

**Special Meetings- Closed Sessions-3:45 PM | Joint Study Session with Planning
Commission and Bicycle and Pedestrian Advisory Commission-5:15 PM | Regular
Meeting-7 PM**

3:45 P.M. SPECIAL COUNCIL MEETING (Closed Sessions)

**1 Call to Order in the Sunnyvale Community Center Community Room, 550 E.
Remington Drive**

2 Roll Call

3 Public Comment

*The public may provide comments regarding the Closed Session item(s) just prior
to the Council beginning the Closed Session. Closed Sessions are not open to the
public.*

4 Convene to Closed Session

[14-1073](#)

Closed Session held pursuant to California Government Code
Section 54957.6: CONFERENCE WITH LABOR
NEGOTIATORS

Agency designated representatives: Deanna J. Santana, City
Manager; Allison Suggs, Human Resources Manager
Employee organization: Sunnyvale Managers Association

[14-1066](#)

Closed Session held pursuant to California Government Code Section 54956.8: CONFERENCE WITH REAL PROPERTY NEGOTIATORS

Agency negotiator: Deanna J. Santana, City Manager; Kent Steffens, Assistant City Manager

Property: 396 Charles Avenue and 397 S. Mathilda Avenue, negotiator Paul Elkins (Trustee); 402 Charles Avenue, negotiator Christy Kramer (Trustee); 403 S. Mathilda Avenue negotiating parties Michael Sorci and Cynthia Sorci, (Trustees) of the John and Jolene Sorci (Trust),

Under negotiation: Price and terms of a potential purchase

5 Adjourn Special Meeting

5:15 P.M. SPECIAL COUNCIL MEETING (Joint Study Session with Planning Commission and Bicycle and Pedestrian Advisory Commission)

1 Call to Order in the Sunnyvale Community Center Community Room, 550 E. Remington Drive

2 Roll Call

3 Public Comment

4 Study Session

[14-0668](#)

El Camino Real Bus Rapid Transit

5 Adjourn Special Meeting

7 P.M. COUNCIL MEETING

Pursuant to Council Policy, City Council will not begin consideration of any agenda item after 11:30 p.m. without a vote. Any item on the agenda which must be continued due to the late hour shall be continued to a date certain. Information provided herein is subject to change from date of printing of the agenda to the date of the meeting.

CALL TO ORDER

Call to Order in the Council Chambers, City Hall (Open to the Public)

SALUTE TO THE FLAG

ROLL CALL**CLOSED SESSION REPORTS****PUBLIC ANNOUNCEMENTS**

Each speaker is limited to three minutes for announcements of community events, programs, or recognition.

CONSENT CALENDAR

All matters listed on the consent calendar are considered to be routine and will be acted upon by one motion. There will be no separate discussion of these items. If a member of the public would like a consent calendar item pulled and discussed separately, please submit a speaker card to the City Clerk prior to the start of the meeting or before approval of the consent calendar.

- 1.A** [14-0879](#) Approve City Council Meeting Minutes of October 28, 2014

Recommendation: Approve the City Council Meeting Minutes of October 28, 2014 as submitted.

- 1.B** [14-1083](#) Approve the List(s) of Claims and Bills Approved for Payment by the City Manager

Recommendation: Approve the list(s) of claims and bills.

- 1.C** [14-0666](#) Approve Assignment and Assumption and Modification Agreements between Senior Housing Solutions, Sunnyvale Senior Homes LLC (an affiliate of Charities Housing), and the City of Sunnyvale Regarding Transfer of 1230 Klee Court and 1675 S. Wolfe Road in Sunnyvale

Recommendation: Approve the Assignment and Assumption and Modification Agreements between Senior Housing Solutions, Sunnyvale Senior Homes LLC (an affiliate of Charities Housing), and the City, both in final form as approved by the City Attorney; and authorize the City Manager to execute agreements and related loan documents required to facilitate the transfer of 1230 Klee Court and 1675 S. Wolfe Road from Senior Housing Solutions to Sunnyvale Senior Homes LLC.

- 1.D** [14-0983](#) Award of Contract for Three Quintuple Combination Fire Service Apparatus (F15-02)

Recommendation: 1) Award a contract in substantially the same form as the draft purchase order attached to the report and in the amount of \$2,501,198 to Ferrara Fire Apparatus, Inc. for three quintuple combination fire service apparatus; and 2) approve a 2% contingency in the amount of \$51,624.

- 1.E** [14-1045](#) Award of Contract for Cisco Equipment to Upgrade the City Network Infrastructure (F15-22)

Recommendation: Approve the award of a contract in the amount of \$241,377, excluding sales tax, to NetXperts Inc., in substantially the same form as the draft purchase order attached to the report.

- 1.F** [14-0855](#) Adopt a Resolution Amending the City of Sunnyvale Conflict of Interest Code

Recommendation: Adopt the proposed resolution (Attachment 1) amending the City's Conflict of Interest Code, as submitted.

- 1.G** [14-1084](#) Adopt Ordinance No. 3048-14 Amending Chapter 1.04 (General Penalty) of Title 1 (General Provisions), adding Chapter 9.58 (Signs On City Property) to Title 9 (Public Peace, Safety Or Welfare), and Amending Various Sections of Chapter 19.44 (Sign Code); of Title 19 (Zoning) of the Sunnyvale Municipal Code

Recommendation: Adopt Ordinance No. 3048-14.

PUBLIC COMMENTS

This category is limited to 15 minutes (may be extended or continued after the public hearings/general business section of the agenda at the discretion of the mayor) with a maximum of three minutes per speaker. If your subject is not on this evening's agenda you will be recognized at this time; however, the Brown Act (Open Meeting Law) does not allow action by Councilmembers. If you wish to address the Council, please complete a speaker card and give it to the City Clerk. Individuals are limited to one appearance during this section.

PUBLIC HEARINGS/GENERAL BUSINESS

If you wish to speak to a public hearings/general business item, please fill out a speaker card and give it to the City Clerk. You will be recognized at the time the item is being considered by Council. Each speaker is limited to a maximum of three minutes. For land-use items, applicants are limited to a maximum of 10 minutes for opening comments and 5 minutes for closing comments.

- 2 [14-1067](#) REQUEST FOR CONTINUATION to November 25, 2014 for the Introduction of an Ordinance to Amend Title 19 (Zoning) Regarding the Appeal Process for Land Use Projects (Study Issue, CDD 14-15); Repeal of Council Policy 1.1.4 on Appeals; and making a Finding that the Proposed Project is Exempt from the Requirements of the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines 15061(b)(3) (Planning File: 2014-7434)

Recommendation: In order to balance the Council agenda of November 11, 2014 staff requests continuance of this item to November 25, 2014.

- 3 [14-0787](#) Determine Priority Needs for Human Services for Fiscal Years 2015-16 and 2016-17 and Supplemental Funding Amount for Fiscal Year 2015-16

Recommendation: Alternatives 1, 3 and 4: 1) Approve the list of priority needs as shown above, excerpted from the ConPlan, 3) Determine a supplemental funding amount of \$100,000 for human services grants for FY 2015-16, and 4) Modify the Human Services Policy to increase the minimum grant limit, only for applicants seeking CDBG funds, to \$25,000, and retain the current maximum grant limit of 25% of total human services funding available. The minimum grant limit for applicants seeking General funds only would remain at \$10,000.

- 4 [14-0817](#) File #: 2014-7423
Location: 1071 Noriega Ave. (APNs: 161-37-017, 161-37-018)
Proposed Project: Related applications on a 0.48-acre site:
REZONE: Introduction of an Ordinance to rezone the site from
R-3 (Medium Density Residential) to R-3/PD (Medium Density
Residential/Planned Development);
SPECIAL DEVELOPMENT PERMIT: for 10 residential
townhome units; and
VESTING TENTATIVE MAP: to subdivide two lots into 10 lots
plus a common lot.
Applicant / Owner: Classic Communities (applicant) / Classic
1071 Noriega LP (owner)
Environmental Review: Mitigated Negative Declaration

Recommendation: Alternative 1: Adopt the Mitigated Negative Declaration;
introduce the ordinance in Attachment 8 to Rezone 1071
Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to
R-3/PD; and approve the Special Development Permit for 10
residential townhome units and Vesting Tentative Map to
subdivide two lots into 10 lots plus a common lot based on the
findings in Attachment 3 and with the recommended
conditions of approval in Attachment 4.

- 5 [14-0818](#) Examine Ways to Increase Local Hiring in Major Private
Developments (Study Issue)

Recommendation: Alternative 1: Direct staff to develop and implement the
actions, as presented in this report, to Encourage Local Hiring
by developers and contractors for local projects.

- 6 [14-1059](#) Adopt a Resolution Declaring City-Owned Residential Properties and Vacant Lots on Charles Street and Mathilda Avenue as Surplus Property and Authorizing for Sale the Subject Properties in Compliance with Government Code Section 54222

Recommendation: Adopt a resolution declaring the City-owned properties located within Block 15 as surplus property for sale, and begin the public notice process as per Government Code section 54222; if any agencies offer to purchase the properties, begin good faith negotiations and return to Council for consideration; and, proceed with sale of the properties in the open market via a Request for Proposal process if no agencies respond to the offer for sale or price and terms cannot be agreed upon; work with MTC regarding the Priority Development Area grant to help facilitate the sale and return to Council for consideration with viable offers to purchase.

COUNCILMEMBERS REPORTS ON ACTIVITIES FROM INTERGOVERNMENTAL COMMITTEE ASSIGNMENTS

NON-AGENDA ITEMS & COMMENTS

-Council

-City Manager

INFORMATION ONLY REPORTS/ITEMS

- | | |
|--------------------------------|---|
| <u>14-0281</u> | Tentative Council Meeting Agenda Calendar |
| <u>14-0957</u> | Information/Action Items |
| <u>14-1074</u> | Study Session Summary of October 28, 2014 - Review Performance Evaluation Tools for the City Manager and City Attorney |
| <u>14-1082</u> | Study Session Summary of October 28, 2014 - Consideration of Housing Mitigation Fee Nexus Study Findings and Alternatives |
| <u>14-0302</u> | Board/Commission Minutes |

ADJOURNMENT**NOTICE TO THE PUBLIC**

The agenda reports to council (RTCs) may be viewed on the City's Web site at sunnyvale.ca.gov after 7 p.m. on Thursdays or at the Sunnyvale Public Library, 665 W. Olive Ave. as of Fridays prior to Tuesday City Council meetings. Any agenda related writings or documents distributed to members of the City of Sunnyvale City Council regarding any open session item on this agenda will be made available for public inspection in the Office of the City Clerk located at 603 All America Way, Sunnyvale, California during normal business hours and in the Council Chamber on the evening of the Council Meeting, pursuant to Government Code §54957.5. Please contact the Office of the City Clerk at (408) 730-7483 for specific questions regarding the agenda.

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the Office of the City Clerk at or before the public hearing. PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure 1094.5.

Pursuant to the Americans with Disabilities Act, if you need special assistance in this meeting, please contact the Office of the City Clerk at (408) 730-7483. Notification of 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.106 ADA Title II).

Planning a presentation for a City Council meeting?

To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" document available at Presentations.inSunnyvale.com.

Planning to provide materials to Council?

If you wish to provide the City Council with copies of your presentation materials, please provide 12 copies of the materials to the City Clerk (located to the left of the Council dais). The City Clerk will distribute your items to the Council.

Upcoming Meetings

Visit CouncilMeetings.inSunnyvale.com for upcoming Council meeting information.

Visit BoardsandCommissions.inSunnyvale.com for upcoming board and commission meeting information.

For a complete schedule of KSUN-15 Council meeting broadcasts, visit KSUN.insunnyvale.com.



City of Sunnyvale

Agenda Item

14-1073

Agenda Date: 11/11/2014

Closed Session held pursuant to California Government Code Section 54957.6: CONFERENCE WITH LABOR NEGOTIATORS

Agency designated representatives: Deanna J. Santana, City Manager; Allison Suggs, Human Resources Manager

Employee organization: Sunnyvale Managers Association



City of Sunnyvale

Agenda Item

14-1066

Agenda Date: 11/11/2014

Closed Session held pursuant to California Government Code Section 54956.8: CONFERENCE WITH REAL PROPERTY NEGOTIATORS

Agency negotiator: Deanna J. Santana, City Manager; Kent Steffens, Assistant City Manager
Property: 396 Charles Avenue and 397 S. Mathilda Avenue, negotiator Paul Elkins (Trustee); 402 Charles Avenue, negotiator Christy Kramer (Trustee); 403 S. Mathilda Avenue negotiating parties Michael Sorci and Cynthia Sorci, (Trustees) of the John and Jolene Sorci (Trust),
Under negotiation: Price and terms of a potential purchase



City of Sunnyvale

Agenda Item

14-0668

Agenda Date: 11/11/2014

El Camino Real Bus Rapid Transit



City of Sunnyvale

Agenda Item

14-0879

Agenda Date: 11/11/2014

SUBJECT

Approve City Council Meeting Minutes of October 28, 2014

RECOMMENDATION

Approve the City Council Meeting Minutes of October 28, 2014 as submitted.



City of Sunnyvale

Meeting Minutes - Draft City Council

Tuesday, October 28, 2014

4:30 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

Special Meetings-Closed Session-4:30 PM | Study Sessions-5:15 PM and 6 PM | Regular
Meeting-7 PM

7 P.M. COUNCIL MEETING

CALL TO ORDER

Mayor Griffith called the meeting to order in Council Chambers.

SALUTE TO THE FLAG

Mayor Griffith led the salute to the flag.

ROLL CALL

Present: 7 - Mayor Jim Griffith
Vice Mayor Jim Davis
Councilmember David Whittum
Councilmember Pat Meyering
Councilmember Tara Martin-Milius
Councilmember Glenn Hendricks
Councilmember Gustav Larsson

CLOSED SESSION REPORTS

Vice Mayor Davis reported Council met in Closed Session pursuant to California Government Code Section 54956.9: Conference with Legal Counsel-Existing Litigation and pursuant to California Government Code Section 54957.6: Conference with Labor Negotiators; direction was given, no action was taken.

PUBLIC ANNOUNCEMENTS

Members of the Teen Advisory Committee announced an upcoming open mic night and an upcoming blood donation drive.

CONSENT CALENDAR

Councilmember Meyering requested to pull Items 1.A, 1.B, 1.H, 1.I , 1.J and 1.K.

Councilmember Whittum requested to record a no vote on Item 1.L.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to approve the Consent Calendar with the exception of Items 1.A, 1.B, 1.H, 1.I , 1.J and 1.K. The motion carried by the following vote:

Yes: 7 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Meyering
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 0

1.A [14-0870](#) Approve City Council Meeting Minutes of October 14, 2014

Public Hearing opened at 9:01 p.m.

No speakers.

Public Hearing closed at 9:01 p.m.

MOTION: Vice Mayor Davis moved and Councilmember Whittum seconded the motion to approve the City Council Meeting Minutes of October 14, 2014 with an amendment to the Closed Session Report language as appropriate, as determined by staff. The motion carried by the following vote:

Yes: 6 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 1 - Councilmember Meyering

- 1.B** [14-0987](#) Approve the List(s) of Claims and Bills Approved for Payment by the City Manager

Public Hearing opened at 9:03 p.m.

No speakers.

Public Hearing closed at 9:03 p.m.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to approve the list(s) of claims and bills. The motion carried by the following vote:

Yes: 6 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 1 - Councilmember Meyering

- 1.C** [14-0804](#) Adopt the City's Investment Policy for Fiscal Year 2014/15 and Receive the Annual Performance Report for Fiscal Year 2013/14

Adopt the Investment Policy for FY 2014/15 as presented.

- 1.D** [14-0970](#) Receive and File the City of Sunnyvale Investment Report - 3rd Quarter 2014

Receive and file the City of Sunnyvale FY 2014/15 Period 3 investment report.

- 1.E** [14-0911](#) Award of Contracts for a Wheel Loader (F15-10) and Two Dump Trucks (F15-15)

1) Award a contract in the amount of \$103,507 to Sonsray Machinery for one wheel loader; and 2) Award a contract in the amount of \$232,797 to Peterson Trucks for two dump trucks, with both contracts in substantially the same form as the draft purchase orders attached to the report.

1.F [14-0954](#) Award of Contract for Preventive Maintenance and Corrective Repairs to Water and Wastewater Engines (F15-20)

1) Award a three year contract in substantially the same form as the draft services agreement attached to the report, not to exceed \$2,000,000, to Peterson Power Systems for emergency and routine maintenance and repair services; 2) Delegate authority to the City Manager to renew the contract for up to two additional years, subject to budgeted funding and provided pricing and service remain acceptable to the City and; 3) Find that the contract is not a project under CEQA.

1.G [14-0883](#) Approve Budget Modification No. 15 to Appropriate \$13,361 of Department of Justice, Office of Justice Programs, Bureau of Justice Assistance Grant Funds for Frontline Law Enforcement

Approve Budget Modification No. 15 to appropriate \$13,361 of Department of Justice, Office of Justice Programs, Bureau of Justice Assistance Grant Funds for Frontline Law Enforcement to a new project, FY 2014/15 Justice Assistance Grant.

1.H [14-0972](#) Award of Bid No. PW15-03 for Repaint Street Light Poles Project and Finding of CEQA Categorical Exemption

Public Hearing opened at 9:04 p.m.

No speakers.

Public Hearing closed at 9:04 p.m.

MOTION: Councilmember Meyering moved to send the item back for re-bid.
Motion died due to lack of a second.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to: 1) Make a finding of CEQA categorical exemption Section 15301(d) for the restoration or rehabilitation of deteriorated or damaged structures, facilities or mechanical equipment to meet current standards of public health and safety; 2) Award a contract, in substantially the same format as Attachment 2 and in the amount of \$124,000 to Everlast Builders, Inc., for the subject project, and authorize the City Manager to execute the contract when all the necessary conditions have been met; and 3) Approve a 2% construction contingency in the amount of \$2,480. The motion carried by the following vote:

Yes: 6 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 1 - Councilmember Meyering

1.I [14-0982](#) Award of Contract for Ammunition (F15-21)

Public Hearing opened at 9:09 p.m.

No speakers.

Public Hearing closed at 9:09 p.m.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to: 1) Award a one year contract, in substantially the same form as the Draft Purchase Order in Attachment 1 and in an amount not to exceed \$157,000 to Adamson Police Products; and 2) Delegate authority to the City Manager to renew the Purchase Order for two additional one year periods, not to exceed budgeted amounts. The motion carried by the following vote:

Yes: 7 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Meyering
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 0

- 1.J** [14-1014](#) Adoption of Ordinance No. 3045-14 Amending the Precise Zoning Plan, Zoning Districts Map, to Rezone Certain Property Located at East Argues and North Wolfe Road from M-S (Industrial and Service) to M-S Far 100% Zoning District

Public Hearing opened at 9:11 p.m.

No speakers.

Public Hearing closed at 9:11 p.m.

Councilmember Whittum noted a typo in the spelling of Arques.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to adopt Ordinance No. 3045 14. The motion carried by the following vote:

- Yes: 5 -** Mayor Griffith
 Vice Mayor Davis
 Councilmember Martin-Milius
 Councilmember Hendricks
 Councilmember Larsson
- No: 2 -** Councilmember Whittum
 Councilmember Meyering

- 1.K** [14-1016](#) Adoption of Ordinance No. 3046-14 Approving and Adopting a Development Agreement between Landbank Investments, LLC and the City of Sunnyvale Related to the Development of Property Commonly Known as the Landbank Central & Wolfe Campus Project

Public Hearing opened at 9:11 p.m.

No speakers.

Public Hearing closed at 9:11 p.m.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to adopt Ordinance No. 3046 14. The motion carried by the following vote:

Yes: 5 - Mayor Griffith
Vice Mayor Davis
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 2 - Councilmember Whittum
Councilmember Meyering

1.L [14-1017](#) Adoption of Ordinance No. 3047-14 to Add Chapter 3.70 to Title 3 (Revenue And Finance) of the Sunnyvale Municipal Code to Require the Payment of a City-Wide Minimum Wage

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to adopt Ordinance No. 3047-14. The motion carried by the following vote:

Yes: 6 - Mayor Griffith
Vice Mayor Davis
Councilmember Meyering
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 1 - Councilmember Whittum

PUBLIC COMMENTS

Erin Jew spoke regarding the impact of high density residential development on Cumberland School.

PUBLIC HEARINGS/GENERAL BUSINESS

2 [14-0274](#) Feasibility of Entering Into a Joint-Use Agreement with the
Santa Clara Unified School District for Open Space Areas at
Peterson Middle School (Study Issue)

Superintendent of Parks and Golf Scott Morton presented the staff report.

Public Hearing opened at 7:19 p.m.

Denise DeLange requested support for Alternative 1 and expressed concern regarding the language stating “at the initiation of the district.”

Public Hearing closed at 7:22 p.m.

MOTION: Vice Mayor Davis moved and Councilmember Whittum seconded the motion to approve Alternative 1: Direct staff to stay in communication with the SCUSD and discuss the possibility of a joint use agreement for the open space at Peterson Middle School.

FRIENDLY AMENDMENT: Councilmember Hendricks offered a friendly amendment to direct the City Manager to maintain awareness of what's going on and if the level of effort becomes such that she deems appropriate, come back to Council before they continue on.

Vice Mayor Davis stated that direction was part of the motion and declined to accept the friendly amendment.

The motion carried by the following vote:

Yes: 7 - Mayor Griffith
 Vice Mayor Davis
 Councilmember Whittum
 Councilmember Meyering
 Councilmember Martin-Milius
 Councilmember Hendricks
 Councilmember Larsson

No: 0

3 [14-0275](#) Implementation of a Bike Share Program (Study Issue)

Director of Public Works Manuel Pineda presented the staff report.

Public Hearing opened at 7:36 p.m.

No speakers.

Public Hearing closed at 7:36 p.m.

MOTION: Councilmember Hendricks moved and Councilmember Larsson seconded the motion to approve Alternative 2: Monitor the Bay Area Bike Share Pilot Program for resolution of ongoing funding issues at a regional level before re evaluating the future of a bike share program in Sunnyvale. The motion carried by the following vote:

Yes: 7 - Mayor Griffith
 Vice Mayor Davis
 Councilmember Whittum
 Councilmember Meyering
 Councilmember Martin-Milius
 Councilmember Hendricks
 Councilmember Larsson

No: 0

4 [14-0701](#) Approve the Amended Request for Modification of 2003
CDBG Loan to Sunnyvale Community Services

Housing Officer Suzanne Isé presented the staff report.

Public Hearing opened at 7:42 p.m.

John Howe spoke regarding the services provided to the homeless by Sunnyvale Community Services and recommended forgiveness of the past, present and future interest on the loan.

Marie Bernard, Sunnyvale Community Services, spoke regarding the unique role of Sunnyvale Community Services to provide assistance services to the homeless.

Dixie Larsen expressed support of the recommendation to forgive the accrued and future interest on the loan.

Poncho Guevara, Executive Director of Sacred Heart Community Services, expressed support for Sunnyvale Community Services and urged forgiveness of the loan.

Stan Hendryx spoke regarding the benefits of Sunnyvale Community Services' service to the community and stated support of the recommendation to approve Option 2 to forgive the interest.

Public Hearing closed at 7:53 p.m.

MOTION: Councilmember Hendricks moved and Councilmember Whittum seconded the motion to approve Alternative 1: Approve the current SCS request ("Option 2") to revise the existing loan agreement to forgive the interest accrued to date and reduce interest rate to zero percent, and make a formal policy statement that this action shall not be seen as a precedent for other borrowers, and is made only due to the unique role of SCS in the Sunnyvale community. The motion carried by the following vote:

Yes: 7 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Meyering
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 0

- 5** [14-0709](#) Introduce an Ordinance Amending Chapter 19.44 (Signs) of Title 19 (Zoning), Adding Chapter 9.58 (Signs on City Property) of Title 9 (Public Peace, Safety or Welfare), and Amending Section 1.04.010 (General Penalty) of the Sunnyvale Municipal Code related to various clean-up items and adding provisions for signs on City property; Find that the project is exempt under CEQA pursuant to Guideline 15061(b)(3) - Continued from September 30, 2014.

Principal Planner Andrew Miner presented the staff report and noted a correction to page 11 of Attachment 1, that 19.44.180(a)(4) should state "120 days." Principal Planner Miner clarified regarding signs on City property, the lease agreement between the City and the company would state they have to meet the City zoning sign standards as applicable at that time.

Director of Community Development Hanson Hom provided additional information.

Public Hearing opened at 8:13 p.m.

No speakers.

Public Hearing closed at 8:13 p.m.

City Clerk Kathleen Franco Simmons read the ordinance title.

MOTION: Councilmember Larsson moved and Councilmember Hendricks seconded the motion to approve Alternatives 1 and 3: 1) Find that the project is exempt from CEQA pursuant to CEQA Guideline 15061(b)(3); and 3) Adopt the ordinance as presented in Attachment 1 with the two modifications as mentioned by staff to section 19.44.180(a)4 to specify 120 days and to include text in the lease agreements for City owned properties. The motion carried by the following vote:

Yes: 5 - Mayor Griffith
Vice Mayor Davis
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 2 - Councilmember Whittum
Councilmember Meyering

- 6 [14-0746](#) Approve Budget Modification No. 21 to Appropriate \$400,000 to Fund Consultant Services Related to the Civic Center Modernization Project

Assistant City Manager Kent Steffens presented the staff report. City Manager Deanna Santana provided additional information.

Public Hearing opened at 8:32 p.m.

Michael Goldman spoke in support of giving great emphasis on community engagement and presented a PowerPoint presentation.

Public Hearing closed at 8:36 p.m.

MOTION: Vice Mayor Davis moved and Councilmember Hendricks seconded the motion to approve Alternatives 1 and 2: 1) Approve Budget Modification No. 21 to appropriate \$400,000 to the Civic Center Modernization Capital Improvement Project to fund consultant services associated with implementation of the Civic Center and Main Library Decision Tree, and 2) Delegate authority to the City Manager to procure and execute individual service agreements and associated amendments in amounts that may exceed \$100,000, so long as the total of all issued contracts does not exceed the appropriation limit of \$400,000. The motion carried by the following vote:

Yes: 6 - Mayor Griffith
Vice Mayor Davis
Councilmember Whittum
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 1 - Councilmember Meyering

COUNCILMEMBERS REPORTS ON ACTIVITIES FROM INTERGOVERNMENTAL COMMITTEE ASSIGNMENTS

Vice Mayor Davis reported his attendance at a meeting of the County Emergency Operations Council.

Councilmember Martin-Milius reported her attendance at meetings of the water commission and the water summit, and a regional water meeting.

Councilmember Whittum reported he met with VTA staff regarding BART Phase 2.

NON-AGENDA ITEMS & COMMENTS**-Council**

MOTION: Councilmember Hendricks moved and Councilmember Whittum seconded the motion to continue the study session item on how the City Council works together. The motion carried by the following vote:

Yes: 4 - Councilmember Whittum
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson

No: 3 - Mayor Griffith
Vice Mayor Davis
Councilmember Meyering

-Council

Councilmember Whittum reported the release of the El Camino Real Bus Rapid Transit project draft Environmental Impact Report. Whittum reported his attendance at VTA Diversity Day, the Diwali celebration, and a meeting of the Bicycle and Pedestrian Advisory Commission. Whittum announced the availability of Sunnyvale Community Services Annual Holiday Auction tickets, reported his attendance at a ribbon cutting for Maitri Boutique, and shared concerns regarding dust produced by construction projects near residences.

Mayor Griffith reported November 11 is scheduled to be a lengthy meeting.

MOTION: Councilmember Meyering moved and Councilmember Whittum seconded the motion to post Council questions and answers on the City website at the same time they are provided to Councilmembers.

City Manager Santana stated she would look into the issue operationally and provide a response in the City Manager's Bi-Weekly Report.

Councilmember Meyering withdrew the motion.

-City Manager

None.

INFORMATION ONLY REPORTS/ITEMS

- [14-0194](#) Tentative Council Meeting Agenda Calendar
- [14-0824](#) Information/Action Items
- [14-1035](#) Study Session Summary of March 18, 2014 - Lawrence Expressway Grade Separations Study
- [14-1025](#) Study Session Summary of May 6, 2014 - Joint Study Session with the Bicycle and Pedestrian Advisory Commission to Discuss Recent Updates to the City's Sidewalk Standards
- [14-1032](#) Study Session Summary of May 20, 2014 - Joint Study Session with the Planning Commission to Discuss the Balanced Growth Profile
- [14-1027](#) Study Session Summary of June 10, 2014 - Review of Design Alternatives for the Mathilda Avenue and Highway 237/101 Interchange Improvement Project
- [14-0951](#) Study Session Summary of June 24, 2014 - Progress Update on the Water Pollution Control Plant (WPCP) Master Plan
- [14-0624](#) Study Session Summary of August 26, 2014 - Board and Commission Interviews
- [14-0944](#) Study Session Summary of September 16, 2014 - Board and Commission Interviews
- [14-0260](#) Board/Commission Meeting Minutes

ADJOURNMENT

Mayor Griffith adjourned the meeting at 9:29 p.m.



City of Sunnyvale

Agenda Item

14-1083

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Approve the List(s) of Claims and Bills Approved for Payment by the City Manager

BACKGROUND

Pursuant to Sunnyvale Charter Section 802(6), the City Manager has approved for payment claims and bills on the following list(s); and checks have been issued.

List No.	Date	Total Disbursements
735	10/19/14 through 10/25/14	\$4,337,694.32
736	10/26/14 through 11/01/14	\$2,325,087.87

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

RECOMMENDATION

Approve the list(s) of claims and bills.

Prepared by: Pete Gonda, Purchasing Officer

Reviewed by: Grace K. Leung, Director of Finance

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. List(s) of Claims and Bills Approved for Payment

11/3/2014

City of Sunnyvale

LIST #735

Page 1

List of All Claims and Bills Approved for Payment

For Checks Dated 10/19/14 through 10/25/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
100262385	10/22/14	3M	UM23415	Library Periodicals/Databases	2,694.61		0.00	2,694.61	\$2,694.61
100262386	10/22/14	ALBINO D MARTINEZ	S1-2014-15-2C	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262387	10/22/14	APPLEONE EMPLOYMENT SERVICES	01-3400799	Contracts/Service Agreements	673.20		0.00	673.20	\$1,503.48
			01-3407990	Contracts/Service Agreements	830.28		0.00	830.28	
100262388	10/22/14	ARROWHEAD MOUNTAIN SPRING WATER	14J0024199309	Miscellaneous Services	39.63		0.00	39.63	\$113.64
			14J5715636006	General Supplies	74.01		0.00	74.01	
100262389	10/22/14	ARTECLETICA	140930	Professional Services	7,500.00		0.00	7,500.00	\$7,500.00
100262390	10/22/14	BANK OF SACRAMENTO	ANAEROBC123#09C	Construction Project Contract Retainage	19,453.15		0.00	19,453.15	\$19,453.15
100262391	10/22/14	BAY-VALLEY PEST CONTROL INC	0180703	Facilities Maint & Repair - Labor	43.00		0.00	43.00	\$723.00
			0180704	Facilities Maint & Repair - Labor	43.00		0.00	43.00	
			0180705	Facilities Maint & Repair - Labor	43.00		0.00	43.00	
			0180706	Facilities Maint & Repair - Labor	43.00		0.00	43.00	
			0180707	Facilities Maint & Repair - Labor	43.00		0.00	43.00	
			0180708	Facilities Maint & Repair - Labor	43.00		0.00	43.00	
			0180709	Facilities Maint & Repair - Labor	59.00		0.00	59.00	
			0180710	Facilities Maint & Repair - Labor	59.00		0.00	59.00	
			0180711	Facilities Maint & Repair - Labor	59.00		0.00	59.00	
			0180712	Facilities Maint & Repair - Labor	59.00		0.00	59.00	
			0180713	Facilities Maint & Repair - Labor	59.00		0.00	59.00	
			0180720	Facilities Maint & Repair - Labor	42.00		0.00	42.00	
			0180722	Facilities Maint & Repair - Labor	42.00		0.00	42.00	
			0180724	Facilities Maint & Repair - Labor	86.00		0.00	86.00	
100262393	10/22/14	BEE FRIENDLY	4699	Services Maintain Land Improv	350.00		0.00	350.00	\$1,150.00
			4700	Services Maintain Land Improv	200.00		0.00	200.00	
			4702	Services Maintain Land Improv	200.00		0.00	200.00	
			4703	Services Maintain Land Improv	400.00		0.00	400.00	
100262394	10/22/14	BOETHING TREELAND FARMS INC	TV261571	Materials - Land Improve	455.41		0.00	455.41	\$455.41
100262395	10/22/14	CALIFORNIA DEPARTMENT OF JUSTICE	062628	Software As a Service	1,876.98		0.00	1,876.98	\$1,876.98
100262396	10/22/14	CENTURY GRAPHICS	40266	Clothing, Uniforms & Access	78.30		0.00	78.30	\$78.30
100262397	10/22/14	CINTAS DOCUMENT MANAGEMENT	DG38282125	Records Related Services	90.00		0.00	90.00	\$90.00
100262398	10/22/14	COAST PERSONNEL SERVICES INC	238008	Contracts/Service Agreements	779.45		0.00	779.45	\$779.45
100262399	10/22/14	COUNTY OF SANTA CLARA	PC16-10/15/14	Engineering Services	986.00		0.00	986.00	\$986.00
100262400	10/22/14	DAVID CHAU	S1-2014-15-1S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262401	10/22/14	FOSTER BROS SECURITY SYSTEMS INC	262754	Facilities Maint & Repair - Labor	73.50		0.00	73.50	\$323.63
			263077	Bldg Maint Matls & Supplies	250.13		0.00	250.13	
			263077	Facilities Maint & Repair - Labor	0.00		0.00	0.00	
100262402	10/22/14	FULL SPECTRUM ANALYTICS INC	45348	Misc Equip Maint & Repair - Labor	8,945.60		0.00	8,945.60	\$8,945.60
100262403	10/22/14	GETINGE USA INC	2135588	General Supplies	1,237.75		0.00	1,237.75	\$1,237.75
100262404	10/22/14	HATCH MOTT MACDONALD	302843-3	Consulting Services	2,675.00		0.00	2,675.00	\$2,675.00
100262405	10/22/14	HEXAGON TRANSPORTATION CONSULTANTS INC	8502	Consultants	21,098.75		0.00	21,098.75	\$21,098.75
100262406	10/22/14	HOWARD ROME MARTIN & RIDLEY LLP	32471	Legal Services	426.97		0.00	426.97	\$426.97
100262407	10/22/14	HYDROSCIENCE ENGINEERS INC	262011022	Engineering Services	1,289.55		0.00	1,289.55	\$1,289.55
100262408	10/22/14	INNOVATIVE INTERFACES INC	INV-INC01561	Software As a Service	7,788.00		0.00	7,788.00	\$7,788.00
100262409	10/22/14	INSERV CO INC	51778	Facilities Maint & Repair - Labor	1,436.59		0.00	1,436.59	\$1,436.59
100262410	10/22/14	INSIGHT PUBLIC SECTOR INC	1100388097	Computer Hardware	26,927.17		0.00	26,927.17	\$26,927.17
100262411	10/22/14	JAMES DESROSIER	09/17-29/2014	DED Services/Training - Support Services	138.22		0.00	138.22	\$138.22

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100262412	10/22/14	JONES & MAYER	69588	Legal Services	5,258.28		0.00	5,258.28	\$5,258.28
100262413	10/22/14	JULIA SHOTWELL	S1-2014-15-5C	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262414	10/22/14	KELLY PAPER CO	6848713	General Supplies	528.85		0.00	528.85	\$528.85
100262415	10/22/14	KIMLEY HORN & ASSOC INC	5734308	Consultants	1,061.69		0.00	1,061.69	\$1,061.69
100262416	10/22/14	LANGUAGE LINE SERVICES	3456100	Miscellaneous Services	663.70		0.00	663.70	\$663.70
100262417	10/22/14	LIFETIME TENNIS INC	MANGUM082914	Refund Recreation Fees	125.00		0.00	125.00	\$245.00
			N TRAN091614	Refund Recreation Fees	120.00		0.00	120.00	
100262418	10/22/14	MANUEL-ANTONIO G REGIDOR	S1-2014-15-2S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262419	10/22/14	MDE INC	6336	Software As a Service	550.00		0.00	550.00	\$550.00
100262420	10/22/14	MIALI REYNOSO	S1-2014-15-3C	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$2,000.00
			S1-2014-15-4C	Rec Instructors/Officials	1,000.00		0.00	1,000.00	
100262421	10/22/14	MIDWEST TAPE	92219485	Library Acquis, Audio/Visual	2,921.34		0.00	2,921.34	\$3,998.80
			92219487	Library Acquis, Audio/Visual	445.69		0.00	445.69	
			92219488	Library Acquis, Audio/Visual	631.77		0.00	631.77	
100262422	10/22/14	MUSSON THEATRICAL INC	00386728	General Supplies	84.83		0.00	84.83	\$84.83
100262423	10/22/14	MY FIRST ART CLASS	084	Rec Instructors/Officials	780.00		0.00	780.00	\$780.00
100262424	10/22/14	NEXTEL COMMUNICATIONS	223865314-154	Utilities - Mobile Phones - City Mobile Phones	1,145.54		0.00	1,145.54	\$1,145.54
100262425	10/22/14	NIKE USA INC	964237785	Inventory Purchase	585.00		0.00	585.00	\$606.25
			964251303	Inventory Purchase	21.25		0.00	21.25	
100262426	10/22/14	NORTH STATE ENVIRONMENTAL	045948	HazMat Disposal - Hazardous Waste Disposal	815.25		0.00	815.25	\$815.25
100262427	10/22/14	OGRADY PAVING INC	HENDYAVENUE#0	Construction Services	375,657.44		0.00	375,657.44	\$375,657.44
100262428	10/22/14	OLDCASTLE PRECAST INC	500004853	Misc Equip Maint & Repair - Labor	750.00		0.00	750.00	\$750.00
100262429	10/22/14	OVERDRIVE INC	0910-153443633	Library Periodicals/Databases	460.65		0.00	460.65	\$460.65
100262430	10/22/14	PACIFIC TELEMAGEMENT SERVICES	689722	Utilities - Telephone	75.00		0.00	75.00	\$75.00
100262431	10/22/14	PHUONG SHARP	S1-2014-15-6C	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262432	10/22/14	QUALITY ASSURANCE SOLUTIONS LLC	CA-2014-075	Miscellaneous Services	270.00		0.00	270.00	\$270.00
100262433	10/22/14	R & B CO	S1438953.002	Inventory Purchase	467.28		8.59	458.69	\$1,647.47
			S1442986.001	Inventory Purchase	1,072.73		19.73	1,053.00	
			S1443223.001	Construction Services	135.78		0.00	135.78	
100262434	10/22/14	RANKIN STOCK HEABERLIN	32146	Legal Services	9,153.58		0.00	9,153.58	\$9,153.58
100262435	10/22/14	RAYVERN LIGHTING SUPPLY CO INC	29277-1	Inventory Purchase	511.04		0.00	511.04	\$511.04
100262436	10/22/14	REBECCA KIM	S1-2014-15-5S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262437	10/22/14	ROBERT BARELLI	S1-2014-15-4S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262438	10/22/14	ROGER D HIGDON	2014-4884-C	Consultants	200.00		0.00	200.00	\$462.50
			2014-4884B	Consultants	262.50		0.00	262.50	
100262439	10/22/14	RYDIN DECAL	300218	Contracts/Service Agreements	391.25		0.00	391.25	\$391.25
100262440	10/22/14	SFO REPROGRAPHICS	17213	Printing & Related Services	108.21		0.00	108.21	\$171.29
			17215	Printing & Related Services	63.08		0.00	63.08	
100262441	10/22/14	SSA LANDSCAPE ARCHITECTS INC	4901	Engineering Services	25,365.00		0.00	25,365.00	\$25,365.00
100262442	10/22/14	SAFEWAY INC	431459-100814	Food Products	10.19		0.00	10.19	\$108.47
			431459-100814	General Supplies	7.78		0.00	7.78	
			722324-101314	Food Products	13.37		0.00	13.37	
			722324-101314	General Supplies	10.19		0.00	10.19	
			802191-101014	Food Products	66.94		0.00	66.94	
100262443	10/22/14	SAN FRANCISCO BAY REGIONAL WATER	BAYLDS PUMP#2	Engineering Services	2,751.00		0.00	2,751.00	\$2,751.00

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100262444	10/22/14	SANDERSON SAFETY SUPPLY CO	8083367-02	Inventory Purchase	69.32		0.64	68.68	\$68.68
100262445	10/22/14	SANTA CLARA CTY FIRE MARSHALS ASSN	KPATRICK14-15	Membership Fees	50.00		0.00	50.00	\$50.00
100262446	10/22/14	SECURITY CONTRACTOR SERVICES INC	0218691-IN	Equipment Rental/Lease	358.13		0.00	358.13	\$358.13
100262447	10/22/14	SHANE M REYNOLDS	S1-2014-15-3S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262448	10/22/14	SMART & FINAL INC	141745-101314	Food Products	11.99		0.00	11.99	\$26.96
			141745-101314	General Supplies	14.97		0.00	14.97	
100262449	10/22/14	SPARTAN TOOL LLC	471663	Inventory Purchase	477.71		0.00	477.71	\$477.71
100262450	10/22/14	STEVEN BOLING	S1-2014-15-IC	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262451	10/22/14	SUN MOUNTAIN	203431	Inventory Purchase	1,078.00		53.90	1,024.10	\$1,024.10
100262452	10/22/14	SUNNYVALE DOWNTOWN ASSN	JAZZ&BEOND2014	Outside Group Funding	2,300.00		0.00	2,300.00	\$5,300.00
			SUMMERMUSIC14	Outside Group Funding	3,000.00		0.00	3,000.00	
100262453	10/22/14	SUNNYVALE HISTORICAL SOCIETY AND	082414FAIRE	Outside Group Funding	1,400.00		0.00	1,400.00	\$1,400.00
100262454	10/22/14	SUPERIOR PRESS	2247702	Printing & Related Services	75.23		0.00	75.23	\$416.51
			2251074	Printing & Related Services	341.28		0.00	341.28	
100262455	10/22/14	TAYLOR CASTO	S1-2014-15-7S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262456	10/22/14	THOMAS HERNANDEZ	S1-2014-15-8S	Rec Instructors/Officials	1,000.00		0.00	1,000.00	\$1,000.00
100262457	10/22/14	TRICOR AMERICA INC	M612742	Contracts/Service Agreements	660.00		0.00	660.00	\$660.00
100262458	10/22/14	UNITED PARCEL SERVICE	966608404	Mailing & Delivery Services	521.78		0.00	521.78	\$521.78
100262459	10/22/14	UNITED RENTALS	123285935-001	Equipment Rental/Lease	235.70		0.00	235.70	\$235.70
100262460	10/22/14	WHCI PLUMBING SUPPLY	S1970006.001	Bldg Maint Matls & Supplies	386.58		0.00	386.58	\$386.58
100262461	10/22/14	WATER SOLUTIONS INC	1688	Training and Conferences	2,010.00		0.00	2,010.00	\$2,010.00
100262462	10/22/14	WAXIE SANITARY SUPPLY	74875515	Inventory Purchase	7.61		0.00	7.61	\$274.05
			74886661	Inventory Purchase	266.44		0.00	266.44	
100262463	10/22/14	WELLS FARGO FINANCIAL LEASING	5001557341	Equipment Rental/Lease	247.56		0.00	247.56	\$247.56
100262464	10/22/14	WEST COAST SECURITY INC	10022014-14	Alarm Services	50.00		0.00	50.00	\$50.00
100262465	10/22/14	WHITE NELSON DIEHL EVANS LLP	121614SEMINAR	Training and Conferences	590.00		0.00	590.00	\$590.00
100262466	10/22/14	WILLIAM SELF ASSOC	4762	Engineering Services	1,181.89		0.00	1,181.89	\$4,453.22
			4809	Engineering Services	3,271.33		0.00	3,271.33	
100262467	10/22/14	WAITER.COM INC	E1014725557	Food Products	120.18		0.00	120.18	\$193.15
			E1016740621	Food Products	72.97		0.00	72.97	
100262468	10/22/14	EMERGENCY MEDICAL SERVICES AUTHORITY	27680-1402	Training and Conferences	371.00		0.00	371.00	\$371.00
100262469	10/22/14	PACIFIC GAS & ELECTRIC CO	12847684120914	Utilities - Electric	10.82		0.00	10.82	\$119,612.09
			22868920920914	Utilities - Electric	109.76		0.00	109.76	
			32725920070914	Utilities - Electric	16.50		0.00	16.50	
			32725920350914	Utilities - Gas	8.65		0.00	8.65	
			32725921320914	Utilities - Electric	169.12		0.00	169.12	
			32725921480914	Utilities - Electric	219.44		0.00	219.44	
			32725921490914	Utilities - Electric	11.32		0.00	11.32	
			32725921600914	Utilities - Gas	7.84		0.00	7.84	
			32725921800914	Utilities - Electric	19.16		0.00	19.16	
			32725921980914	Utilities - Electric	878.28		0.00	878.28	
			32725922050914	Utilities - Electric	39.34		0.00	39.34	
			32725922090914	Utilities - Electric	2,162.85		0.00	2,162.85	
			32725922410914	Utilities - Electric	1,200.54		0.00	1,200.54	
			32725922520914	Utilities - Electric	455.86		0.00	455.86	
			32725923350914	Utilities - Electric	162.80		0.00	162.80	

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			32725923400914	Utilities - Electric	33.01		0.00	33.01	
			32725923710914	Utilities - Electric	11.80		0.00	11.80	
			32725923770914	Utilities - Electric	400.78		0.00	400.78	
			32725924170914	Utilities - Electric	97.34		0.00	97.34	
			32725924970914	Utilities - Electric	18.29		0.00	18.29	
			32725925000914	Utilities - Electric	647.84		0.00	647.84	
			32725925230914	Utilities - Electric	407.91		0.00	407.91	
			32725925370914	Utilities - Electric	207.30		0.00	207.30	
			32725925890914	Utilities - Electric	1,335.27		0.00	1,335.27	
			32725925920914	Utilities - Electric	386.81		0.00	386.81	
			32725926210914	Utilities - Electric	260.67		0.00	260.67	
			32725926440914	Utilities - Electric	1,276.01		0.00	1,276.01	
			32725926470914	Utilities - Electric	1,123.88		0.00	1,123.88	
			32725926950914	Utilities - Electric	32.82		0.00	32.82	
			32725927040914	Utilities - Electric	11.58		0.00	11.58	
			32725927340914	Utilities - Electric	589.52		0.00	589.52	
			32725927380914	Utilities - Electric	126.45		0.00	126.45	
			32725927400914	Utilities - Electric	76.71		0.00	76.71	
			32725927510914	Utilities - Electric	665.60		0.00	665.60	
			32725928250914	Utilities - Electric	19.78		0.00	19.78	
			32725928590914	Utilities - Electric	264.10		0.00	264.10	
			32725929220914	Utilities - Electric	526.71		0.00	526.71	
			32725929280914	Utilities - Electric	41.57		0.00	41.57	
			32725929750914	Utilities - Electric	134.28		0.00	134.28	
			56892570120914	Utilities - Electric	14.31		0.00	14.31	
			56892570470914	Utilities - Electric	11.61		0.00	11.61	
			56892570610914	Utilities - Electric	13.54		0.00	13.54	
			56892570850914	Utilities - Electric	10.18		0.00	10.18	
			56892571500914	Utilities - Electric	11.29		0.00	11.29	
			56892572230914	Utilities - Electric	9.53		0.00	9.53	
			56892573210914	Utilities - Electric	12.05		0.00	12.05	
			56892573280914	Utilities - Electric	9.53		0.00	9.53	
			56892573340914	Utilities - Electric	10.15		0.00	10.15	
			56892573450914	Utilities - Electric	9.53		0.00	9.53	
			56892574540914	Utilities - Electric	11.74		0.00	11.74	
			56892574610914	Utilities - Electric	12.03		0.00	12.03	
			56892574690914	Utilities - Electric	11.84		0.00	11.84	
			56892574720914	Utilities - Electric	11.60		0.00	11.60	
			56892574930914	Utilities - Electric	11.53		0.00	11.53	
			56892575240914	Utilities - Electric	11.67		0.00	11.67	
			56892575250914	Utilities - Electric	12.08		0.00	12.08	
			56892575560914	Utilities - Electric	12.09		0.00	12.09	
			56892575840914	Utilities - Electric	13.51		0.00	13.51	
			56892576280914	Utilities - Electric	11.71		0.00	11.71	
			56892576480914	Utilities - Electric	12.63		0.00	12.63	
			56892576590914	Utilities - Electric	9.53		0.00	9.53	
			56892576690914	Utilities - Electric	11.90		0.00	11.90	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/19/14 through 10/25/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			56892577220914	Utilities - Electric	11.67		0.00	11.67	
			56892577390914	Utilities - Electric	12.17		0.00	12.17	
			56892578180914	Utilities - Electric	10.09		0.00	10.09	
			56892578670914	Utilities - Electric	11.50		0.00	11.50	
			56892578890914	Utilities - Electric	11.61		0.00	11.61	
			56892579010914	Utilities - Electric	9.53		0.00	9.53	
			56892579640914	Utilities - Electric	11.74		0.00	11.74	
			56892579810914	Utilities - Electric	11.69		0.00	11.69	
			60225900040914	Utilities - Electric	48,525.64		0.00	48,525.64	
			60225900080914	Utilities - Electric	8,092.50		0.00	8,092.50	
			60225900140914	Utilities - Electric	37.36		0.00	37.36	
			60225900150914	Utilities - Electric	24.77		0.00	24.77	
			60225900160914	Utilities - Electric	13.89		0.00	13.89	
			60225900170914	Utilities - Electric	10.82		0.00	10.82	
			60225900220914	Utilities - Electric	796.14		0.00	796.14	
			60225900260914	Utilities - Electric	40.91		0.00	40.91	
			60225900450914	Utilities - Electric	251.72		0.00	251.72	
			60225900550914	Utilities - Electric	11,743.00		0.00	11,743.00	
			60225900760914	Utilities - Electric	546.88		0.00	546.88	
			60225901000914	Utilities - Electric	10.51		0.00	10.51	
			60225901010914	Utilities - Electric	8,876.23		0.00	8,876.23	
			60225901100914	Utilities - Gas	62.64		0.00	62.64	
			60225901310914	Utilities - Electric	13.13		0.00	13.13	
			60225901610914	Utilities - Electric	7,917.59		0.00	7,917.59	
			60225901980914	Utilities - Electric	73.17		0.00	73.17	
			60225902290914	Utilities - Electric	25.95		0.00	25.95	
			60225902530914	Utilities - Electric	1,399.49		0.00	1,399.49	
			60225902640914	Utilities - Electric	49.54		0.00	49.54	
			60225902900914	Utilities - Electric	330.47		0.00	330.47	
			60225902950914	Utilities - Electric	20.09		0.00	20.09	
			60225903550914	Utilities - Electric	4,615.76		0.00	4,615.76	
			60225904170914	Utilities - Electric	12.28		0.00	12.28	
			60225904240914	Utilities - Electric	11.87		0.00	11.87	
			60225904580914	Utilities - Electric	93.75		0.00	93.75	
			60225905100914	Utilities - Electric	4.44		0.00	4.44	
			60225905410914	Utilities - Electric	28.31		0.00	28.31	
			60225905570914	Utilities - Electric	94.78		0.00	94.78	
			60225905580914	Utilities - Electric	12.40		0.00	12.40	
			60225905590914	Utilities - Electric	12.40		0.00	12.40	
			60225905600914	Utilities - Electric	6,566.94		0.00	6,566.94	
			60225906210914	Utilities - Electric	4.44		0.00	4.44	
			60225906510914	Utilities - Electric	1,404.10		0.00	1,404.10	
			60225906590914	Utilities - Electric	521.89		0.00	521.89	
			60225906600914	Utilities - Electric	91.02		0.00	91.02	
			60225906780914	Utilities - Electric	2,069.46		0.00	2,069.46	
			60225907690914	Utilities - Electric	193.76		0.00	193.76	
			60225907730914	Utilities - Electric	20.10		0.00	20.10	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/19/14 through 10/25/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			60225908170914	Utilities - Electric	23.68		0.00	23.68	
			60225908580914	Utilities - Electric	78.76		0.00	78.76	
			60225908610914	Utilities - Electric	30.88		0.00	30.88	
			60225908940914	Utilities - Electric	50.80		0.00	50.80	
			60225909050914	Utilities - Electric	13.59		0.00	13.59	
			60225909410914	Utilities - Electric	100.67		0.00	100.67	
			60225909720914	Utilities - Electric	11.56		0.00	11.56	
			60225909830914	Utilities - Electric	91.48		0.00	91.48	
			81008625370914	Utilities - Electric	66.64		0.00	66.64	
100262479	10/22/14	SF BAY SECTION CWEA	110414SEMINAR	Training and Conferences	450.00		0.00	450.00	\$450.00
100262480	10/22/14	SAN MATEO CTY ENVIRONMENTAL HEALTH SVCS	111314TRNG	Training and Conferences	270.00		0.00	270.00	\$270.00
100262481	10/22/14	UNITED STATES POSTAL SERVICE	P#112-101714	Postage	465.00		0.00	465.00	\$465.00
100262482	10/22/14	JONES COVEY GROUP	M#15126227	Deposits Payable - Hydrant Meter	2,262.00		0.00	2,262.00	\$2,214.10
			M#15126227	Water Sales - Metered	-47.90		0.00	-47.90	
100262483	10/22/14	JULIE HESS	253649	Refund Recreation Fees	49.00		0.00	49.00	\$49.00
100262484	10/22/14	MAURICIO GUTIERREZ	8000008927	Deposits Payable - Facility Rental	500.00		0.00	500.00	\$500.00
100262485	10/22/14	PARKER HANNIFIN CORPORATION	109077-73436	Refund Utility Account Credit	82.65		0.00	82.65	\$82.65
100262486	10/22/14	BERTRAND FOX & ELLIOT	22006	Legal Services	7,544.08		0.00	7,544.08	\$12,092.65
			22007	Legal Services	4,548.57		0.00	4,548.57	
100262487	10/22/14	HATCH MOTT MACDONALD	339362-3	Consulting Services	1,399.50		0.00	1,399.50	\$1,399.50
100262488	10/22/14	PINE CONE LUMBER CO INC	562521	Inventory Purchase	580.07		5.80	574.27	\$574.27
100262489	10/22/14	REED & GRAHAM INC	819395	Materials - Land Improve	114.55		0.00	114.55	\$676.18
			819544	Materials - Land Improve	561.63		0.00	561.63	
100262490	10/22/14	ROYAL COACH TOURS INC	2860	Travel Related Services	665.00		0.00	665.00	\$1,328.00
			2958	Travel Related Services	663.00		0.00	663.00	
100262491	10/22/14	SILKE COMMUNICATIONS INC	30585	Computer Hardware	76,519.81		0.00	76,519.81	\$76,519.81
100262492	10/22/14	YORK RISK SERVICES GROUP INC	500011456	Workers' Compensation - Administration	21,739.25		0.00	21,739.25	\$21,739.25
100262493	10/22/14	ALBERT J SCOTT	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	103.50		0.00	103.50	\$103.50
100262494	10/22/14	CHARLES S EANEFF JR	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	1,184.60		0.00	1,184.60	\$1,184.60
100262495	10/22/14	COUNTY OF SAN MATEO - SHERIFF	10/22-24/14-RE	Training and Conferences	225.00		0.00	225.00	\$225.00
100262496	10/22/14	CYNTHIA KEEHEN	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	3.27		0.00	3.27	\$3.27
100262497	10/22/14	DEAN CHU	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	838.50		0.00	838.50	\$838.50
100262498	10/22/14	DEAN S RUSSELL	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	1,223.16		0.00	1,223.16	\$1,223.16
100262499	10/22/14	GAIL SWEGLES	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	107.53		0.00	107.53	\$107.53
100262500	10/22/14	GARY K CARLS	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	310.50		0.00	310.50	\$310.50
100262501	10/22/14	MARK ROGGE	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	149.09		0.00	149.09	\$149.09
100262502	10/22/14	PAMELA RUSSELL	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	55.22		0.00	55.22	\$55.22

List of All Claims and Bills Approved for Payment

For Checks Dated 10/19/14 through 10/25/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
100262503	10/22/14	ROSIE CANDELARIA	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	55.22		0.00	55.22	\$55.22
100262504	10/22/14	TERILYN ANDERSON	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	55.22		0.00	55.22	\$55.22
100262505	10/22/14	VALERIE ARMENTO	NOVEMBER 2014	Insurances - Retiree Medical - Retiree Reimbursement	55.22		0.00	55.22	\$55.22
100262506	10/24/14	ABLE SEPTIC TANK SERVICE	AFJ-14-118	Misc Equip Maint & Repair - Labor	1,787.50		0.00	1,787.50	\$1,787.50
100262507	10/24/14	ACE FIRE EQUIPMENT & SERVICE CO INC	123574	Inventory Purchase	783.33		0.00	783.33	\$783.33
100262508	10/24/14	AIR LIQUIDE AMERICA SPECIALTY GASES LLC	57400307	Inventory Purchase	209.94		0.00	209.94	\$209.94
100262509	10/24/14	ARROWHEAD MOUNTAIN SPRING WATER	14J5740132005	Miscellaneous Services	14.01		0.00	14.01	\$154.89
			14J5740146005	Miscellaneous Services	140.88		0.00	140.88	
100262510	10/24/14	BADGER METER INC	1018344	Water Meters	791.52		0.00	791.52	\$791.52
100262511	10/24/14	BEE FRIENDLY	4693	Services Maintain Land Improv	250.00		0.00	250.00	\$500.00
			4701	Services Maintain Land Improv	250.00		0.00	250.00	
100262512	10/24/14	BILL WILSON CENTER	AUGUST2014	Miscellaneous Revenues	-2,400.00		0.00	-2,400.00	\$157,011.67
			AUGUST2014	Contracts/Service Agreements	74,965.43		0.00	74,965.43	
			JULY2014	Miscellaneous Revenues	-2,400.00		0.00	-2,400.00	
			JULY2014	Contracts/Service Agreements	86,846.24		0.00	86,846.24	
100262513	10/24/14	BOUND TREE MEDICAL LLC	81575636	Inventory Purchase	1,114.47		0.00	1,114.47	\$1,114.47
100262514	10/24/14	CPS EXECUTIVE SEARCH	SOP37402	Personnel Testing Services	2,098.80		0.00	2,098.80	\$2,098.80
100262515	10/24/14	CALIFORNIA SPORTS CENTER	CSC1001	Rec Instructors/Officials	48,805.61		0.00	48,805.61	\$48,805.61
100262516	10/24/14	CENTURY GRAPHICS	40242	Inventory Purchase	2,068.10		0.00	2,068.10	\$2,068.10
100262517	10/24/14	CITY OF SANTA CLARA MUNICIPAL UTILITIES	OCT2014	Utilities - Electric	494.60		0.00	494.60	\$494.60
100262518	10/24/14	CLEANSOURCE INC	1539467-00	General Supplies	203.27		0.00	203.27	\$834.96
			1541142-00	Inventory Purchase	439.21		0.00	439.21	
			1541663-00	Inventory Purchase	192.48		0.00	192.48	
100262519	10/24/14	CU SOLUTIONS INC	0168	Miscellaneous Services	889.00		0.00	889.00	\$889.00
100262520	10/24/14	DAPPER TIRE CO INC	41065180	Inventory Purchase	1,427.40		0.00	1,427.40	\$1,427.40
100262521	10/24/14	DAVIDOVITZ & BENNETT LLP	9007	Legal Services	14,565.43		0.00	14,565.43	\$14,565.43
100262522	10/24/14	DEBRA CHROMCZAK	16	Consultants	900.00		0.00	900.00	\$900.00
100262523	10/24/14	ELESCO	56294	Facilities Maint & Repair - Labor	712.50		0.00	712.50	\$712.50
100262524	10/24/14	ELIZABETH J STRAIN	ES2014SEP	Rec Instructors/Officials	1,415.70		0.00	1,415.70	\$1,415.70
100262525	10/24/14	FALCON FUELS INC	185987	Inventory Purchase	21,488.70		0.00	21,488.70	\$21,488.70
100262526	10/24/14	FIX AIR	297551	Bldg Maint Matls & Supplies	638.86		0.00	638.86	\$638.86
100262527	10/24/14	FOOTJOY	5878677	Inventory Purchase	2,521.23		190.24	2,330.99	\$2,330.99
100262528	10/24/14	GOLDER ASSOC INC	395690	Consultants	17,187.07		0.00	17,187.07	\$17,317.01
			396837	Engineering Services	129.94		0.00	129.94	
100262529	10/24/14	GOODYEAR COMMERCIAL TIRE & SERVICE CTR	189-1085074	Inventory Purchase	400.15		0.00	400.15	\$400.15
100262530	10/24/14	GRANICUS INC	59175	Software As a Service	3,433.80		0.00	3,433.80	\$3,433.80
100262531	10/24/14	GRANITE CONSTRUCTION CO	719330	Materials - Land Improve	2,995.53		0.00	2,995.53	\$6,894.66
			719373	Materials - Land Improve	3,899.13		0.00	3,899.13	
100262532	10/24/14	GRANITEROCK CO	853648	Materials - Land Improve	274.65		0.00	274.65	\$274.65
100262533	10/24/14	ITRON INC	348313	Hardware Maintenance	1,306.90		0.00	1,306.90	\$1,306.90
100262534	10/24/14	KELLY MOORE PAINT CO INC	820-244021	General Supplies	476.42		0.00	476.42	\$476.42

List of All Claims and Bills Approved for Payment

For Checks Dated 10/19/14 through 10/25/14

Sorted by Payment Number

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100262535	10/24/14	KING CRANE SERVICE INC	72612	Facilities Maint & Repair - Labor	1,112.00		0.00	1,112.00	\$1,112.00
100262536	10/24/14	KIRPAL BAJWA	IN000061682	Financial Services	30.00		0.00	30.00	\$30.00
100262537	10/24/14	LORI NEUMANN	LN2014SEP	Rec Instructors/Officials	924.00		0.00	924.00	\$924.00
100262538	10/24/14	MAINTENANCE CONNECTION INC	28286	Professional Services	1,346.32		0.00	1,346.32	\$1,346.32
100262539	10/24/14	MALLORY SAFETY & SUPPLY LLC	3882303	Inventory Purchase	365.40		0.00	365.40	\$365.40
100262540	10/24/14	MIKE ALLEN SPORTS LLC	40791	Rec Instructors/Officials	6,901.32		0.00	6,901.32	\$6,901.32
100262541	10/24/14	MITCHELL I	3940617	Software Licensing & Support	1,728.00		0.00	1,728.00	\$1,728.00
100262542	10/24/14	MUSSON THEATRICAL INC	00387017	General Supplies	193.03		0.00	193.03	\$193.03
100262543	10/24/14	OTIS ELEVATOR COMPANY	SJ26472001	Facilities Maint & Repair - Labor	738.28		0.00	738.28	\$1,346.73
			SJ26738001	Facilities Maint & Repair - Labor	608.45		0.00	608.45	
100262544	10/24/14	P&R PAPER SUPPLY CO INC	30010317-01	Inventory Purchase	78.09		0.00	78.09	\$1,297.28
			30011397-00	Inventory Purchase	1,219.19		0.00	1,219.19	
100262545	10/24/14	PACIFIC JANITORIAL SUPPLY CO	30025619	Inventory Purchase	135.59		0.00	135.59	\$135.59
100262546	10/24/14	PINE CONE LUMBER CO INC	562488	Inventory Purchase	663.99		6.64	657.35	\$657.35
100262547	10/24/14	R & B CO	S1441144.001	Inventory Purchase	3,305.76		60.80	3,244.96	\$5,743.84
			S1441551.001	Materials - Land Improve	2,498.88		0.00	2,498.88	
100262548	10/24/14	REED & GRAHAM INC	819681	Materials - Land Improve	504.35		0.00	504.35	\$8,967.28
			819807	Materials - Land Improve	2,540.85		0.00	2,540.85	
			819915	Materials - Land Improve	3,422.60		0.00	3,422.60	
			820185	Materials - Land Improve	2,499.48		0.00	2,499.48	
100262549	10/24/14	ROBIN PICKEL	RP2014SEP	Rec Instructors/Officials	2,187.90		0.00	2,187.90	\$2,187.90
100262550	10/24/14	S&S WELDING INC	54406	Misc Equip Maint & Repair - Labor	2,070.00		0.00	2,070.00	\$2,070.00
100262551	10/24/14	SAFEWAY INC	433559-102014	Food Products	21.50		0.00	21.50	\$214.25
			801162-092314	Food Products	13.60		0.00	13.60	
			801274-101714	Food Products	39.93		0.00	39.93	
			802106-102014	Food Products	73.31		0.00	73.31	
			802796-102114	Food Products	16.98		0.00	16.98	
			802796-102114	General Supplies	9.79		0.00	9.79	
			809827-100214	Training and Conferences	39.14		0.00	39.14	
100262552	10/24/14	STATE WATER RESOURCES CONTROL BOARD	GR D2-102114	Membership Fees	160.00		0.00	160.00	\$160.00
100262553	10/24/14	SUNNYVALE BUILDING MAINTENANCE	97483	Professional Services	290.00		0.00	290.00	\$290.00
100262554	10/24/14	THOMAS A JACK	TJ2014SEP	Rec Instructors/Officials	2,074.80		0.00	2,074.80	\$2,074.80
100262555	10/24/14	TITLEIST	0154685	Inventory Purchase	936.56		18.36	918.20	\$6,546.33
			0156688	Inventory Purchase	3,765.15		73.44	3,691.71	
			0157136	Inventory Purchase	1,596.00		31.92	1,564.08	
			0163596	Inventory Purchase	905.18		17.76	887.42	
			0168967	Inventory Purchase	257.15		4.80	252.35	
			0173663	Inventory Purchase	270.00		5.00	265.00	
			0173664	Inventory Purchase	511.79		9.84	501.95	
			0176493	Inventory Purchase	221.70		4.08	217.62	
			6157091	Inventory Purchase	-1,596.00		0.00	-1,596.00	
			6158447	Inventory Purchase	-156.00		0.00	-156.00	
100262556	10/24/14	UNITED SITE SERVICES INC	114-2371616	Equipment Rental/Lease	95.39		0.00	95.39	\$95.39
100262557	10/24/14	V & A CONSULTING ENGINEERS	14938	Consultants	20,298.50		0.00	20,298.50	\$20,298.50
100262558	10/24/14	WEIGEL MEPF INC	23583	Facilities Maint & Repair - Labor	480.00		0.00	480.00	\$480.00
100262559	10/24/14	BUCKLES-SMITH ELECTRIC CO	1414829-00	Water/Wastewater Treat Equip	482.34		0.00	482.34	\$482.34

List of All Claims and Bills Approved for Payment

For Checks Dated 10/19/14 through 10/25/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
100262560	10/24/14	CALIFORNIA CONFERENCE OF ARSON	11/10-12/2014	Training and Conferences	325.00		0.00	325.00	\$325.00
100262561	10/24/14	CONTRA COSTA CTY OFC OF THE SHERIFF	11/10-14/2014	Training and Conferences	1,010.00		0.00	1,010.00	\$1,010.00
100262562	10/24/14	DEPT OF FORESTRY & FIRE PROTECTION	122226	General Supplies	388.00		0.00	388.00	\$388.00
100262563	10/24/14	OFFICEMAX CONTRACT INC	55348410092014	Supplies, Office 1	9.41		0.00	9.41	\$8,741.80
			58648410092014	Supplies, Office 1	22.80		0.00	22.80	
			64578710072014	Supplies, Office 1	168.85		0.00	168.85	
			75086710012014	Supplies, Office 1	46.86		0.00	46.86	
			75135310012014	Supplies, Office 1	35.76		0.00	35.76	
			75523710012014	Supplies, Office 1	385.45		0.00	385.45	
			76277510012014	Supplies, Office 1	89.46		0.00	89.46	
			76612410022014	Supplies, Office 1	94.03		0.00	94.03	
			77434610022014	Supplies, Office 1	64.58		0.00	64.58	
			77729510062014	Supplies, Office 1	-215.62		0.00	-215.62	
			77730810022014	Supplies, Office 1	259.19		0.00	259.19	
			81483310062014	Supplies, Office 1	61.10		0.00	61.10	
			81615710062014	Supplies, Office 1	38.62		0.00	38.62	
			81630710062014	Supplies, Office 1	6.90		0.00	6.90	
			82634710072014	Supplies, Office 1	139.11		0.00	139.11	
			83002210072014	Supplies, Office 1	50.96		0.00	50.96	
			83196710072014	Supplies, Office 1	7.13		0.00	7.13	
			83486610072014	Supplies, Office 1	156.69		0.00	156.69	
			83832510072014	Supplies, Office 1	121.71		0.00	121.71	
			84831810082014	Supplies, Office 1	21.68		0.00	21.68	
			84918910082014	Supplies, Office 1	367.53		0.00	367.53	
			84922410082014	Supplies, Office 1	237.20		0.00	237.20	
			85006010082014	Supplies, Office 1	37.97		0.00	37.97	
			85182910082014	Supplies, Office 1	20.22		0.00	20.22	
			85554210082014	Supplies, Office 1	64.14		0.00	64.14	
			85770510082014	Supplies, Office 1	78.72		0.00	78.72	
			86042710082014	Supplies, Office 1	58.73		0.00	58.73	
			86091410092014	Supplies, Office 1	34.89		0.00	34.89	
			86123510092014	Supplies, Office 1	37.35		0.00	37.35	
			86129910102014	Supplies, Office 1	75.12		0.00	75.12	
			86731210092014	Supplies, Office 1	87.40		0.00	87.40	
			86905010092014	Supplies, Office 1	86.47		0.00	86.47	
			87051910092014	Supplies, Office 1	180.54		0.00	180.54	
			87151910092014	Inventory Purchase	2,126.53		0.00	2,126.53	
			87847110092014	Supplies, Office 1	91.58		0.00	91.58	
			88163710102014	Supplies, Office 1	20.75		0.00	20.75	
			88836510102014	Supplies, Office 1	56.27		0.00	56.27	
			88867610102014	Supplies, Office 1	62.48		0.00	62.48	
			89557210102014	Supplies, Office 1	123.37		0.00	123.37	
			89590210102014	Supplies, Office 1	1,891.36		0.00	1,891.36	
			89593610102014	Supplies, Office 1	91.79		0.00	91.79	
			89595410102014	Supplies, Office 1	22.58		0.00	22.58	
			89596210102014	Supplies, Office 1	21.88		0.00	21.88	
			89598110102014	Supplies, Office 1	105.64		0.00	105.64	

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
100262567	10/24/14	PACIFIC GAS & ELECTRIC CO	89606610102014	Supplies, Office 1	128.94		0.00	128.94	\$392.64
			90948610132014	Supplies, Office 1	930.90		0.00	930.90	
			91061610132014	Supplies, Office 1	136.78		0.00	136.78	
			20855751170414	Utilities - Gas	31.81		0.00	31.81	
			20855751170614	Utilities - Gas	0.53		0.00	0.53	
			20855751760414	Utilities - Electric	360.30		0.00	360.30	
100262568	10/24/14	STATE FIRE TRAINING	CERTS102114	General Supplies	720.00		0.00	720.00	\$720.00
100262569	10/24/14	A-1 ROOF MANAGEMENT INC	2014-0843	Permit - Building	724.87		0.00	724.87	\$2,464.56
			2014-0843	Permit - Fire Prev Construct	507.41		0.00	507.41	
			2014-0846	Permit - Building	724.87		0.00	724.87	
			2014-0846	Permit - Fire Prev Construct	507.41		0.00	507.41	\$251.00
100262570	10/24/14	MOHSEN OGABIAN	2014-9120	Street Tree Fees	251.00		0.00	251.00	
100262571	10/24/14	SHAUNA LINTZ	177759-12588	Refund Utility Account Credit	286.60		0.00	286.60	
950002333	10/21/14	PUBLIC EMPLOYEES RETIREMENT SYSTEM	950002333	Retirement Benefits - PERS Misc - Empl Portion	-88,204.58		0.00	-88,204.58	\$1,092,759.11
			950002333	Retirement Benefits - PERS Misc - Total	658,686.45		0.00	658,686.45	
			950002333	Retirement Benefits - PERS Safety - Empl Portion	-37,035.98		0.00	-37,035.98	
			950002333	Retirement Benefits - PERS Safety - Total	545,658.14		0.00	545,658.14	
			950002333	Retirement Benefits - PERS EPMC Public Safety	6,316.80		0.00	6,316.80	
			950002333	Retirement Benefits - PERS EPMC - Misc	7,338.28		0.00	7,338.28	
950100466	10/20/14	WELLS FARGO BANK	10202014	Purchasing Card Statement	111,768.56		0.00	111,768.56	\$111,768.56
950100467	10/24/14	SPECIALTY SOLID WASTE & RECYCLING INC	SEPT2014	Franchise - Specialty Garbage	-150,996.15		0.00	-150,996.15	\$1,343,097.44
			SEPT2014	Refuse Serv Fees - Specialty	-132,149.41		0.00	-132,149.41	
			SEPT2014	Pymt to Franch Garb Collector	1,626,243.00		0.00	1,626,243.00	
950100468	10/24/14	SANTA CLARA VALLEY WATER DISTRICT	TI001848	Water for Resale	601,056.61		0.00	601,056.61	\$601,056.61
Grand Total Payment Amount									\$4,337,694.32
									\$4,337,694.32

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
100262572	10/29/14	AT&T	000005837809	Utilities - Telephone	18,423.89		0.00	18,423.89	\$18,423.89
100262573	10/29/14	ABLE SEPTIC TANK SERVICE	AFJ-14-107	Construction Services	1,637.50		0.00	1,637.50	\$1,637.50
100262574	10/29/14	ADVANCED CHEMICAL TRANSPORT INC	60278	Materials - Land Improve	141.38		0.00	141.38	\$141.38
100262575	10/29/14	AIR LIQUIDE AMERICA SPECIALTY GASES LLC	56766178	Supplies, First Aid	150.45		0.00	150.45	\$518.44
			57057789	Supplies, First Aid	220.17		0.00	220.17	
			57172934	Supplies, First Aid	147.82		0.00	147.82	
100262576	10/29/14	AIRGAS USA LLC	9031605219	Chemicals	61.27		0.00	61.27	\$61.27
100262577	10/29/14	ALAMEDA CTY INFORMATION TECHNOLOGY DEPT	112-1409062	Software As a Service	1,471.49		0.00	1,471.49	\$1,471.49
100262578	10/29/14	AMERICAN LEAK DETECTION	65095	Misc Equip Maint & Repair - Labor	1,150.00		0.00	1,150.00	\$1,150.00
100262579	10/29/14	APPLEONE EMPLOYMENT SERVICES	01-3416749	Contracts/Service Agreements	897.60		0.00	897.60	\$897.60
100262580	10/29/14	AREA TRUCK DRIVING SCHOOL	6857	DED Services/Training - Training	559.50		0.00	559.50	\$559.50
100262581	10/29/14	ARROWHEAD MOUNTAIN SPRING WATER	04J0028805083	General Supplies	20.88		0.00	20.88	\$180.54
			14J0023249071	General Supplies	32.13		0.00	32.13	
			14J0023360647	General Supplies	4.34		0.00	4.34	
			14J0025819772	General Supplies	47.13		0.00	47.13	
			14J5736476002	General Supplies	17.13		0.00	17.13	
			14J5740153001	General Supplies	33.71		0.00	33.71	
			14J5740154009	General Supplies	18.71		0.00	18.71	
			14J5740156004	General Supplies	6.51		0.00	6.51	
100262582	10/29/14	ARTECLETICA	141017	Professional Services	7,500.00		0.00	7,500.00	\$7,500.00
100262583	10/29/14	BAKER & TAYLOR	4011008318	Library Acquisitions, Books	215.74		0.00	215.74	\$229.00
			4011008318	Library Materials Preprocessing	13.26		0.00	13.26	
100262584	10/29/14	BARITEAU CONSTRUCTION	10174	Services Maintain Land Improv	11,953.78		0.00	11,953.78	\$11,953.78
100262585	10/29/14	BERTRAND FOX & ELLIOT	22008	Legal Services	333.81		0.00	333.81	\$333.81
100262586	10/29/14	CSAC EXCESS INSURANCE AUTHORITY	OCT2014	Insurances - Life/AD&D Insurance	18,253.45		0.00	18,253.45	\$41,365.59
			OCT2014	Insurances - Long Term Disability	23,112.14		0.00	23,112.14	
100262587	10/29/14	CARBOLINE CO	21167937	Chemicals	210.92		0.00	210.92	\$210.92
100262588	10/29/14	CHASE NORLIN	3	Contracts/Service Agreements	11,625.00		0.00	11,625.00	\$11,625.00
100262589	10/29/14	CLEANSOURCE INC	1545235-00	Inventory Purchase	1,771.15		0.00	1,771.15	\$6,021.77
			1545235-01	Inventory Purchase	339.30		0.00	339.30	
			1546009-00	Inventory Purchase	3,911.32		0.00	3,911.32	
100262590	10/29/14	COAST PERSONNEL SERVICES INC	238069	Contracts/Service Agreements	1,458.77		0.00	1,458.77	\$1,458.77
100262591	10/29/14	CONSOLIDATED PARTS INC	5020852	Electrical Parts & Supplies	630.75		0.00	630.75	\$630.75
100262592	10/29/14	CYBERSOURCE CORP	5447235	Software As a Service	75.00		0.00	75.00	\$75.00
100262593	10/29/14	D W NICHOLSON CORP	3828	Misc Equip Maint & Repair - Labor	19,225.36		0.00	19,225.36	\$19,225.36
100262594	10/29/14	DANCE FORCE LLC	1070	Rec Instructors/Officials	3,159.60		0.00	3,159.60	\$3,159.60
100262595	10/29/14	DAPPER TIRE CO INC	41102180	Inventory Purchase	617.74		0.00	617.74	\$617.74
100262596	10/29/14	DAVES MOBILE CRANE SERVICE	3970	Facilities Maint & Repair - Labor	585.00		0.00	585.00	\$585.00
100262597	10/29/14	DELTA DENTAL INSURANCE CO	BE000930398	Insurances - Dental	1,481.59		0.00	1,481.59	\$1,481.59
100262598	10/29/14	DEPARTMENT OF JUSTICE	060657	Pre-Employment Testing	672.00		0.00	672.00	\$672.00
100262599	10/29/14	DIVISION OF THE STATE ARCHITECT	JUL-SEPT2014	Miscellaneous Payment	235.50		0.00	235.50	\$235.50
100262600	10/29/14	EOA INC	SU43-0814	Consultants	16,326.81		0.00	16,326.81	\$16,326.81
100262601	10/29/14	EMPIRE SAFETY & SUPPLY	0066014-IN	Inventory Purchase	754.83		0.00	754.83	\$754.83
100262602	10/29/14	ENNIS PAINT INC	277463	Materials - Land Improve	8,221.50		0.00	8,221.50	\$8,221.50
100262603	10/29/14	ENVIRONMENTAL MANAGEMENT & CONTROLS	11355	Environmental Services	600.00		0.00	600.00	\$600.00
100262604	10/29/14	ESBRO	9246	Chemicals	1,014.54		0.00	1,014.54	\$1,014.54

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

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100262605	10/29/14	FIRST PLACE INC	81584	Customized Products	117.77		0.00	117.77	\$444.34
			81608	Customized Products	110.81		0.00	110.81	
			81613	Customized Products	114.20		0.00	114.20	
			81621	Customized Products	101.56		0.00	101.56	
100262606	10/29/14	FISHER SCIENTIFIC CO LLC	9368366	General Supplies	211.09		0.00	211.09	\$211.09
100262607	10/29/14	FRANK A OLSEN CO INC	231647	Miscellaneous Equipment Parts & Supplies	95.92		0.00	95.92	\$95.92
100262608	10/29/14	GALE/CENGAGE LEARNING	53451729	Library Acquisitions, Books	154.81		0.00	154.81	\$242.65
			53463526	Library Acquisitions, Books	31.31		0.00	31.31	
			53476915	Library Acquisitions, Books	56.53		0.00	56.53	
100262609	10/29/14	GARDENLAND POWER EQUIPMENT	233338	Misc Equip Maint & Repair - Materials	118.91		0.00	118.91	\$286.49
			235915	General Supplies	167.58		0.00	167.58	
100262610	10/29/14	GRANITE CONSTRUCTION CO	719731	Materials - Land Improve	1,915.31		0.00	1,915.31	\$3,564.18
			720749	Materials - Land Improve	458.27		0.00	458.27	
			720775	Materials - Land Improve	387.48		0.00	387.48	
			721682	Materials - Land Improve	803.12		0.00	803.12	
100262611	10/29/14	GRANITEROCK CO	854790	Materials - Land Improve	676.50		0.00	676.50	\$2,036.07
			855352	Materials - Land Improve	1,359.57		0.00	1,359.57	
100262612	10/29/14	HAWKINS TRAFFIC SAFETY SUPPLY	23186	Materials - Land Improve	557.65		0.00	557.65	\$557.65
100262613	10/29/14	INDEPENDENT ELECTRIC SUPPLY INC	S102047549.001	Materials - Land Improve	576.45		0.00	576.45	\$576.45
100262614	10/29/14	INTERNATIONAL PAPER CO	P0082230-01	Recycling Services	188.96		0.00	188.96	\$188.96
100262615	10/29/14	J R SIMPLOT CO	53574733	Chemicals	-3,669.53		0.00	-3,669.53	\$900.62
			53574734	Chemicals	-3,777.96		0.00	-3,777.96	
			53574735	Chemicals	-2,897.70		0.00	-2,897.70	
			53577346	Chemicals	3,990.61		0.00	3,990.61	
			53577397	Chemicals	4,108.53		0.00	4,108.53	
			53577398	Chemicals	3,151.25		0.00	3,151.25	
			53583871	Chemicals	-4.58		0.00	-4.58	
100262616	10/29/14	JONES & MADHAVAN	1721	Engineering Services	11,120.00		0.00	11,120.00	\$11,120.00
100262617	10/29/14	JOSEPHINE ELWOOD	811593866	DED Services/Training - Books	83.16		0.00	83.16	
100262618	10/29/14	KAISER FOUNDATION HEALTH PLAN INC	248602-100914	Medical Services	20.00		0.00	20.00	\$20.00
100262619	10/29/14	KELLY MOORE PAINT CO INC	820-244340	Bldg Maint Matls & Supplies	318.94		0.00	318.94	\$318.94
100262620	10/29/14	KOHLWEISS AUTO PARTS INC	01NX9799	Inventory Purchase	593.31	11.87		581.44	\$581.44
100262621	10/29/14	L N CURTIS & SONS INC	1314904-00	Clothing, Uniforms & Access	1,072.27		0.00	1,072.27	\$2,729.58
			13149404-00REV	Clothing, Uniforms & Access	-1,072.27		0.00	-1,072.27	
			1317886-04	Supplies, Fire Protection	113.10		0.00	113.10	
			1324366-00	Clothing, Uniforms & Access	157.96		0.00	157.96	
			1326102-00	Clothing, Uniforms & Access	145.73		0.00	145.73	
			1327377-00	Supplies, Fire Protection	221.85		0.00	221.85	
			1327438-00	Supplies, Fire Protection	-179.44		0.00	-179.44	
			1329984-00	Hand Tools	386.07		0.00	386.07	
			1330975-00	Supplies, Fire Protection	265.09		0.00	265.09	
			1330975-01	Supplies, Fire Protection	199.83		0.00	199.83	
			1332017-00	Supplies, Safety	827.04		0.00	827.04	
			1332067-00	Supplies, Fire Protection	-265.09		0.00	-265.09	
			1332070-00	Supplies, Fire Protection	248.98		0.00	248.98	
			1332111-00	Inventory Purchase	608.46		0.00	608.46	
100262623	10/29/14	LGS RECREATION	2014-2015	Rec Instructors/Officials	120.00		0.00	120.00	\$120.00
100262624	10/29/14	LAWSON PRODUCTS INC	9302823218	Miscellaneous Equipment Parts & Supplies	530.05		0.00	530.05	\$530.05
100262625	10/29/14	LIEBERT CASSIDY WHITMORE	1394499	City Training Program	2,000.00		0.00	2,000.00	\$2,000.00
100262626	10/29/14	LISA WOLSTED	092914PURCHASE	DED Services/Training - Books	157.52		0.00	157.52	\$157.52

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

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100262627	10/29/14	MAINTENANCE CONNECTION INC	28275	Professional Services	6,375.00		0.00	6,375.00	\$6,375.00
100262628	10/29/14	MARTIN STUCZYNSKI	10152014	DED Services/Training - Support Services	86.50		0.00	86.50	\$86.50
100262629	10/29/14	MCMASTER CARR SUPPLY CO	15172672	Hand Tools	64.45		0.00	64.45	\$1,512.12
			15190395	General Supplies	15.69		0.00	15.69	
			15248178	Miscellaneous Equipment Parts & Supplies	670.02		0.00	670.02	
			15308902	Miscellaneous Equipment Parts & Supplies	761.96		0.00	761.96	
100262630	10/29/14	MIDWEST TAPE	92245999	Library Acquis, Audio/Visual	2,027.17		0.00	2,027.17	\$2,027.17
100262631	10/29/14	MUSIC FOR FAMILIES INC	SVU14	Rec Instructors/Officials	6,821.76		0.00	6,821.76	\$6,821.76
100262632	10/29/14	OCCUPATIONAL TRAINING INSTITUTE	WIA-1184R	DED Services/Training - Training	449.73		0.00	449.73	\$449.73
			WIA-1193	DED Services/Training - Training	934.27		0.00	934.27	
			WOA-1193REV	DED Services/Training - Training	-934.27		0.00	-934.27	
100262633	10/29/14	OMEGA ENGRAVING	025427	General Supplies	12.50		0.00	12.50	\$12.50
100262634	10/29/14	OVERDRIVE INC	0910-155939483	Library Periodicals/Databases	2,533.04		0.00	2,533.04	\$3,348.61
			0910-160328350	Library Periodicals/Databases	533.57		0.00	533.57	
			0910-174503173	Library Periodicals/Databases	282.00		0.00	282.00	
100262635	10/29/14	P&R PAPER SUPPLY CO INC	30011397-01	Inventory Purchase	643.20		0.00	643.20	\$921.52
			30011662-00	Inventory Purchase	278.32		0.00	278.32	
100262636	10/29/14	PAYFLEX SYSTEMS USA INC	128934-589548	Insurances - Depend Care & Health Care	595.50		0.00	595.50	\$595.50
				Rmb Admin Fees					
100262637	10/29/14	PACIFIC WEST SECURITY INC	0972547	Alarm Services	133.00		0.00	133.00	\$133.00
100262638	10/29/14	PINE CONE LUMBER CO INC	562732	Electrical Parts & Supplies	22.88		0.00	22.88	\$22.88
100262639	10/29/14	PREFERRED BENEFIT INSURANCE ADMIN INC	EIA12218	Insurances - Dental	57,441.30		0.00	57,441.30	\$68,755.90
			EIA12218	Insurances - Vision	11,314.60		0.00	11,314.60	
100262640	10/29/14	R & B CO	S1442219.001	Materials - Land Improve	7,188.59		0.00	7,188.59	\$7,188.59
100262641	10/29/14	R E P NUT N BOLT GUY	25499	Inventory Purchase	205.69		0.00	205.69	\$205.69
100262642	10/29/14	REDWOOD COAST PETROLEUM	435780	Fuel, Oil & Lubricants	765.79		0.00	765.79	\$10,818.58
			435813	Fuel, Oil & Lubricants	607.34		0.00	607.34	
			435814	Fuel, Oil & Lubricants	886.07		0.00	886.07	
			436920	Fuel, Oil & Lubricants	8,559.38		0.00	8,559.38	
100262643	10/29/14	REED & GRAHAM INC	820340	Materials - Land Improve	3,032.81		0.00	3,032.81	\$7,037.92
			820473	Materials - Land Improve	2,691.96		0.00	2,691.96	
			820614	Materials - Land Improve	1,313.15		0.00	1,313.15	
100262644	10/29/14	RENNE SLOAN HOLTZMAN SAKAI LLP	26351	Legal Services	1,152.00		0.00	1,152.00	\$1,152.00
100262645	10/29/14	ROLDAN RHOLD A VICTOR	001111	Professional Services	708.34		0.00	708.34	\$708.34
100262646	10/29/14	SAFETY KLEEN SYSTEMS INC	63180000	Chemicals	304.26		0.00	304.26	\$304.26
100262647	10/29/14	SAFEWAY INC	430408-102214	Food Products	16.67		0.00	16.67	\$16.67
100262648	10/29/14	SARAH GRAVES	SG2014SEP	Rec Instructors/Officials	1,626.03		0.00	1,626.03	\$1,626.03
100262649	10/29/14	SHIN SHIN TRAINING CENTER	W20140078 1OF2	DED Services/Training - Training	4,455.00		0.00	4,455.00	\$5,055.00
			W20140079 2OF2	DED Services/Training - Training	600.00		0.00	600.00	
100262650	10/29/14	SIERRA CHEMICAL CO	SLS10013936	Chemicals	2,394.36		0.00	2,394.36	\$5,387.31
			SLS10014298	Chemicals	2,992.95		0.00	2,992.95	
100262651	10/29/14	SIERRA PACIFIC TURF SUPPLY INC	0437716-IN	Materials - Land Improve	36.48		0.00	36.48	\$2,538.65
			0438412-IN	Materials - Land Improve	1,977.08		0.00	1,977.08	
			0438615-IN	Materials - Land Improve	525.09		0.00	525.09	
100262652	10/29/14	SPARTAN TOOL LLC	472010	Inventory Purchase	981.42		0.00	981.42	\$981.42
100262653	10/29/14	STATE WATER RESOURCES CONTROL BOARD	J NAVARRO II	Membership Fees	80.00		0.00	80.00	\$80.00
100262654	10/29/14	STATEWIDE TRAFFIC SAFETY & SIGNS INC	7137/5	Safety Equipment Maintenance & Repair	1,197.59		0.00	1,197.59	\$1,197.59
100262655	10/29/14	STUDIO EM GRAPHIC DESIGN	15402	Advertising Services	130.50		0.00	130.50	\$1,435.50

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			15407	Graphics Services	1,305.00		0.00	1,305.00	
100262656	10/29/14	SUNNYVALE PUBLIC SAFETY OFFICERS ASSN	DENTAL1014	Insurances - Dental	28,672.20		0.00	28,672.20	\$28,672.20
100262657	10/29/14	SUNNYVALE PUBLIC SAFETY OFFICERS ASSN	DISABILITY1014	Insurances - Long Term Disability	3,629.00		0.00	3,629.00	\$3,629.00
100262658	10/29/14	SUTTER CARE AT HOME	36108	City Wellness Program	3,696.00		0.00	3,696.00	\$6,864.00
			36488	City Wellness Program	3,168.00		0.00	3,168.00	
100262659	10/29/14	TMT ENTERPRISES INC	74979	Materials - Land Improve	5,016.78		0.00	5,016.78	\$5,016.78
100262660	10/29/14	THOMAS PLUMBING INC	89618	Facilities Equipment	182.50		0.00	182.50	\$182.50
100262661	10/29/14	TRIPAC FASTENERS	5667178	Construction Services	3,919.36		0.00	3,919.36	\$3,919.36
100262662	10/29/14	UNITED ROTARY BRUSH CORP	CI161761	Inventory Purchase	1,559.55		0.00	1,559.55	\$1,559.55
100262663	10/29/14	UNIVAR USA INC	SJ649138	Chemicals	2,826.77		0.00	2,826.77	\$2,826.77
100262664	10/29/14	UNIVERSITY OF CALIFORNIA SANTA CRUZ	56554	DED Services/Training - Training	4,558.50		0.00	4,558.50	\$14,800.50
			56556	DED Services/Training - Training	5,400.00		0.00	5,400.00	
			56565	DED Services/Training - Training	4,842.00		0.00	4,842.00	
100262665	10/29/14	VINCENT ELECTRIC MOTOR CO	538483	Misc Equip Maint & Repair - Labor	3,637.50		0.00	3,637.50	\$4,748.27
			538483	Misc Equip Maint & Repair - Materials	1,110.77		0.00	1,110.77	
100262666	10/29/14	WAITER.COM INC	E1014737849	Food Products	72.09		0.00	72.09	\$281.00
			E1021698462	Food Products	91.98		0.00	91.98	
			E1022752696	Food Products	116.93		0.00	116.93	
100262667	10/29/14	CALIFORNIA DEPT OF FISH & WILDLIFE	FEE	Environmental Services	4,912.25		0.00	4,912.25	\$4,912.25
100262668	10/29/14	CATHY JAMELLO COURT REPORTER	1-14-CV-258694	Legal Services	19.80		0.00	19.80	\$19.80
100262669	10/29/14	G&K SERVICES	1083626555	Laundry & Cleaning Services	12.80		0.00	12.80	\$6,959.54
			1083626556	Laundry & Cleaning Services	17.88		0.00	17.88	
			1083626557	Laundry & Cleaning Services	32.58		0.00	32.58	
			1083626558	Laundry & Cleaning Services	19.62		0.00	19.62	
			1083626559	Laundry & Cleaning Services	33.46		0.00	33.46	
			1083626560	Laundry & Cleaning Services	41.60		0.00	41.60	
			1083626561	Laundry & Cleaning Services	6.02		0.00	6.02	
			1083626562	Laundry & Cleaning Services	37.84		0.00	37.84	
			1083626563	Laundry & Cleaning Services	65.06		0.00	65.06	
			1083626564	Laundry & Cleaning Services	274.47		0.00	274.47	
			1083626565	Laundry & Cleaning Services	240.04		0.00	240.04	
			1083626566	Laundry & Cleaning Services	65.76		0.00	65.76	
			1083626567	Laundry & Cleaning Services	158.52		0.00	158.52	
			1083626568	Laundry & Cleaning Services	17.60		0.00	17.60	
			1083626569	Laundry & Cleaning Services	8.97		0.00	8.97	
			1083626570	Laundry & Cleaning Services	134.64		0.00	134.64	
			1083626571	Laundry & Cleaning Services	202.52		0.00	202.52	
			1083626572	Laundry & Cleaning Services	11.73		0.00	11.73	
			1083626573	Laundry & Cleaning Services	1.70		0.00	1.70	
			1083626574	Laundry & Cleaning Services	69.30		0.00	69.30	
			1083626575	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083626576	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083626577	Laundry & Cleaning Services	5.12		0.00	5.12	
			1083626578	Laundry & Cleaning Services	8.74		0.00	8.74	
			1083626579	Laundry & Cleaning Services	30.84		0.00	30.84	
			1083626580	Laundry & Cleaning Services	13.42		0.00	13.42	
			1083626581	Laundry & Cleaning Services	12.54		0.00	12.54	
			1083626582	Laundry & Cleaning Services	15.61		0.00	15.61	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			1083626583	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083626584	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083626585	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083628369	Laundry & Cleaning Services	12.80		0.00	12.80	
			1083628370	Laundry & Cleaning Services	17.88		0.00	17.88	
			1083628371	Laundry & Cleaning Services	32.58		0.00	32.58	
			1083628372	Laundry & Cleaning Services	19.62		0.00	19.62	
			1083628373	Laundry & Cleaning Services	33.46		0.00	33.46	
			1083628374	Laundry & Cleaning Services	41.60		0.00	41.60	
			1083628375	Laundry & Cleaning Services	6.02		0.00	6.02	
			1083628376	Laundry & Cleaning Services	37.84		0.00	37.84	
			1083628377	Laundry & Cleaning Services	65.06		0.00	65.06	
			1083628378	Laundry & Cleaning Services	778.20		0.00	778.20	
			1083628379	Laundry & Cleaning Services	187.58		0.00	187.58	
			1083628380	Laundry & Cleaning Services	65.76		0.00	65.76	
			1083628381	Laundry & Cleaning Services	193.81		0.00	193.81	
			1083628382	Laundry & Cleaning Services	17.60		0.00	17.60	
			1083628383	Laundry & Cleaning Services	8.97		0.00	8.97	
			1083628384	Laundry & Cleaning Services	134.64		0.00	134.64	
			1083628385	Laundry & Cleaning Services	202.52		0.00	202.52	
			1083628386	Laundry & Cleaning Services	11.73		0.00	11.73	
			1083628387	Laundry & Cleaning Services	1.70		0.00	1.70	
			1083628388	Laundry & Cleaning Services	69.30		0.00	69.30	
			1083628389	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083628390	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083628391	Laundry & Cleaning Services	5.12		0.00	5.12	
			1083628392	Laundry & Cleaning Services	8.74		0.00	8.74	
			1083628393	Laundry & Cleaning Services	30.84		0.00	30.84	
			1083628394	Laundry & Cleaning Services	13.42		0.00	13.42	
			1083628395	Laundry & Cleaning Services	12.54		0.00	12.54	
			1083628396	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083628397	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083628398	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083628399	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083630196	Laundry & Cleaning Services	12.80		0.00	12.80	
			1083630197	Laundry & Cleaning Services	17.88		0.00	17.88	
			1083630198	Laundry & Cleaning Services	32.58		0.00	32.58	
			1083630199	Laundry & Cleaning Services	19.62		0.00	19.62	
			1083630200	Laundry & Cleaning Services	33.46		0.00	33.46	
			1083630201	Laundry & Cleaning Services	41.60		0.00	41.60	
			1083630202	Laundry & Cleaning Services	6.02		0.00	6.02	
			1083630203	Laundry & Cleaning Services	37.84		0.00	37.84	
			1083630204	Laundry & Cleaning Services	65.06		0.00	65.06	
			1083630205	Laundry & Cleaning Services	347.56		0.00	347.56	
			1083630206	Laundry & Cleaning Services	159.89		0.00	159.89	
			1083630207	Laundry & Cleaning Services	65.76		0.00	65.76	
			1083630208	Laundry & Cleaning Services	132.29		0.00	132.29	
			1083630209	Laundry & Cleaning Services	17.60		0.00	17.60	
			1083630210	Laundry & Cleaning Services	8.97		0.00	8.97	
			1083630211	Laundry & Cleaning Services	134.64		0.00	134.64	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			1083630212	Laundry & Cleaning Services	202.52		0.00	202.52	
			1083630213	Laundry & Cleaning Services	11.73		0.00	11.73	
			1083630214	Laundry & Cleaning Services	1.70		0.00	1.70	
			1083630215	Laundry & Cleaning Services	69.30		0.00	69.30	
			1083630216	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083630217	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083630218	Laundry & Cleaning Services	5.12		0.00	5.12	
			1083630219	Laundry & Cleaning Services	8.74		0.00	8.74	
			1083630220	Laundry & Cleaning Services	30.84		0.00	30.84	
			1083630221	Laundry & Cleaning Services	13.42		0.00	13.42	
			1083630222	Laundry & Cleaning Services	12.54		0.00	12.54	
			1083630223	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083630224	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083630225	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083630226	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083632014	Laundry & Cleaning Services	12.80		0.00	12.80	
			1083632015	Laundry & Cleaning Services	17.88		0.00	17.88	
			1083632016	Laundry & Cleaning Services	32.58		0.00	32.58	
			1083632017	Laundry & Cleaning Services	19.62		0.00	19.62	
			1083632018	Laundry & Cleaning Services	33.46		0.00	33.46	
			1083632019	Laundry & Cleaning Services	41.60		0.00	41.60	
			1083632020	Laundry & Cleaning Services	6.02		0.00	6.02	
			1083632021	Laundry & Cleaning Services	37.84		0.00	37.84	
			1083632022	Laundry & Cleaning Services	65.06		0.00	65.06	
			1083632023	Laundry & Cleaning Services	286.04		0.00	286.04	
			1083632024	Laundry & Cleaning Services	159.89		0.00	159.89	
			1083632025	Laundry & Cleaning Services	65.76		0.00	65.76	
			1083632026	Laundry & Cleaning Services	267.65		0.00	267.65	
			1083632027	Laundry & Cleaning Services	17.60		0.00	17.60	
			1083632028	Laundry & Cleaning Services	8.97		0.00	8.97	
			1083632029	Laundry & Cleaning Services	134.64		0.00	134.64	
			1083632030	Laundry & Cleaning Services	202.52		0.00	202.52	
			1083632031	Laundry & Cleaning Services	11.73		0.00	11.73	
			1083632032	Laundry & Cleaning Services	1.70		0.00	1.70	
			1083632033	Laundry & Cleaning Services	69.30		0.00	69.30	
			1083632034	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083632035	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083632036	Laundry & Cleaning Services	5.12		0.00	5.12	
			1083632037	Laundry & Cleaning Services	8.74		0.00	8.74	
			1083632038	Laundry & Cleaning Services	30.84		0.00	30.84	
			1083632039	Laundry & Cleaning Services	13.42		0.00	13.42	
			1083632040	Laundry & Cleaning Services	12.54		0.00	12.54	
			1083632041	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083632042	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083632043	Laundry & Cleaning Services	15.61		0.00	15.61	
			1083632044	Laundry & Cleaning Services	15.61		0.00	15.61	
100262680	10/29/14	MP HOMESTEAD PARK ASSOCIATES	LOAN DRAW#6	Customer Loans Disbursed	629,018.51		0.00	629,018.51	\$629,018.51
100262681	10/29/14	STATE WATER RESOURCES CONTROL BOARD	RENEWAL-102814	Membership Fees	1,860.00		0.00	1,860.00	\$1,860.00
100262682	10/29/14	BYLDAN CORPORATION	M#285902	Deposits Payable - Hydrant Meter	2,198.00		0.00	2,198.00	\$1,899.98

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			M#285902	Water Sales - Metered	-298.02		0.00	-298.02	
100262683	10/29/14	DANCE MANTRAA	8000008938	Deposits Payable - Facility Rental	350.00		0.00	350.00	\$350.00
100262684	10/29/14	ELENA SANPEDRO	8000008937	Deposits Payable - Facility Rental	350.00		0.00	350.00	\$350.00
100262685	10/29/14	KATHERINE MOYES	254401	Refund Recreation Fees	290.00		0.00	290.00	\$290.00
100262686	10/29/14	SPANSION INC	PASSTHRU BAL	Miscellaneous Passthroughs	4,182.99		0.00	4,182.99	\$4,182.99
100262687	10/31/14	A-1 FENCE INC	7059	Facilities Maint & Repair - Labor	4,500.00		0.00	4,500.00	\$4,500.00
100262688	10/31/14	AMS.NET INC	139989	Computer Hardware	299.05		0.00	299.05	\$299.05
			139989	Hardware Maintenance	0.00		0.00	0.00	
100262689	10/31/14	ADVANCED CHEMICAL TRANSPORT INC	61556	HazMat Disposal - Hazardous Waste Disposal	2,040.00		0.00	2,040.00	\$2,040.00
100262690	10/31/14	AIR LIQUIDE AMERICA SPECIALTY GASES LLC	57493523	Inventory Purchase	245.17		0.00	245.17	\$245.17
100262691	10/31/14	AMFASOFT CORP	ILGIZ-02	DED Services/Training - Training	599.50		0.00	599.50	\$599.50
100262692	10/31/14	ANNY MITRA	EXAMS OCT2014	DED Services/Training - Support Services	735.00		0.00	735.00	\$735.00
100262693	10/31/14	BEE FRIENDLY	4716	Services Maintain Land Improv	350.00		0.00	350.00	\$350.00
100262694	10/31/14	BERT S ESPINOSA	BLSEPT2014	Medical Services	4,425.00		0.00	4,425.00	\$4,425.00
100262695	10/31/14	BOUND TREE MEDICAL LLC	81584669	Inventory Purchase	5,253.93		0.00	5,253.93	\$5,253.93
100262696	10/31/14	CALTRONICS BUSINESS SYSTEMS	1638898	Equipment Rental/Lease	11,904.23		0.00	11,904.23	\$11,904.23
100262697	10/31/14	CENTURY GRAPHICS	40358	Inventory Purchase	369.97		0.00	369.97	\$369.97
100262698	10/31/14	COMMUNITY HEALTH CHARITIES OF CALIFORNIA	PR201443	Employee Payroll Contributions	288.00		0.00	288.00	\$288.00
100262699	10/31/14	CORIX WATER PRODUCTS (US) INC	1741327258	Inventory Purchase	1,369.81	12.60		1,357.21	\$13,632.53
			1741327259	Inventory Purchase	12,389.24	113.92		12,275.32	
100262700	10/31/14	DAPPER TIRE CO INC	41122453	Inventory Purchase	926.61		0.00	926.61	\$926.61
100262701	10/31/14	EARTH SHARE OF CALIFORNIA	PR201443	Employee Payroll Contributions	177.00		0.00	177.00	\$177.00
100262702	10/31/14	ECONOMIC & PLANNING SYSTEMS INC	131119-9	Professional Services	1,377.50		0.00	1,377.50	\$1,377.50
100262703	10/31/14	GCS ENVIRONMENTAL EQUIPMENT SERVICES INC	10628	Inventory Purchase	743.59		0.00	743.59	\$743.59
100262704	10/31/14	GOLDFARB LIPMAN ATTORNEYS	113732	Legal Services	137.50		0.00	137.50	\$2,624.50
			113733	Legal Services	1,347.50		0.00	1,347.50	
			113896	Legal Services	1,139.50		0.00	1,139.50	
100262705	10/31/14	GOODYEAR COMMERCIAL TIRE & SERVICE CTR	189-1085214	Inventory Purchase	5,084.34		0.00	5,084.34	\$5,084.34
100262706	10/31/14	HOHBACH-LEWIN INC	31187	Engineering Services	6,500.00		0.00	6,500.00	\$6,500.00
100262707	10/31/14	HUMANE SOCIETY SILICON VALLEY	76481	Contracts/Service Agreements	27,831.60		0.00	27,831.60	\$27,831.60
100262708	10/31/14	HYDROSCIENCE ENGINEERS INC	262010012	Engineering Services	3,595.00		0.00	3,595.00	\$3,595.00
100262709	10/31/14	INTERSTATE SALES	8917	Materials - Land Improve	2,213.06		0.00	2,213.06	\$2,213.06
100262710	10/31/14	JIM RUIZ	CASE#14-7843	Investigation Expense	500.00		0.00	500.00	\$500.00
100262711	10/31/14	KRONG DESIGN INC	00014037	Engineering Services	10,475.77		0.00	10,475.77	\$10,475.77
100262712	10/31/14	L N CURTIS & SONS INC	1330032-00	Inventory Purchase	322.11		0.00	322.11	\$302.87
			1333020-00	Inventory Purchase	-322.11		0.00	-322.11	
			1333021-00	Inventory Purchase	302.87		0.00	302.87	
100262713	10/31/14	NATASHA BERNES	068537-6219415	DED Services/Training - Books	180.00		0.00	180.00	\$180.00
100262714	10/31/14	NEXTEL COMMUNICATIONS	194062036-115	Utilities - Mobile Phones - City Mobile Phones	70.18		0.00	70.18	\$70.18
100262715	10/31/14	NEXTEL COMMUNICATIONS	39995207-115	Utilities - Mobile Phones - City Mobile Phones	39.22		0.00	39.22	\$39.22
100262716	10/31/14	NIKE USA INC	964621237	Inventory Purchase	1,691.50		0.00	1,691.50	\$2,922.52
			964704351	Inventory Purchase	141.44		0.00	141.44	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
100262717	10/31/14	P&R PAPER SUPPLY CO INC	964936791	Inventory Purchase	324.00		0.00	324.00	\$1,850.40
			964956703	Inventory Purchase	765.58		0.00	765.58	
			30008238-00	Inventory Purchase	113.91		0.00	113.91	
			30008567-00	Inventory Purchase	-2.76		0.00	-2.76	
			30008727-00	Inventory Purchase	-61.60		0.00	-61.60	
			30011662-01	Inventory Purchase	53.24		0.00	53.24	
			30012517-00	Inventory Purchase	1,773.11		0.00	1,773.11	
100262718	10/31/14	PAYFLEX SYSTEMS USA INC	30012825-00	Inventory Purchase	-25.50		0.00	-25.50	\$11,416.34
			PR201443	Employee Payroll Contributions	11,416.34		0.00	11,416.34	
100262719	10/31/14	PACIFIC CRANE INSPECTIONS	0283	Auto Maint & Repair - Labor	2,175.00		0.00	2,175.00	\$2,175.00
100262720	10/31/14	PACIFIC ELECTRIC COMPANY INC	RMGTN@BRNRD#	Construction Services	4,787.69		0.00	4,787.69	\$4,787.69
100262721	10/31/14	PINE CONE LUMBER CO INC	563692	Inventory Purchase	408.90		4.09	404.81	\$404.81
100262722	10/31/14	RAYVERN LIGHTING SUPPLY CO INC	29742-0	Inventory Purchase	1,099.88		0.00	1,099.88	\$1,099.88
100262723	10/31/14	ROBERT A BOTHMAN INC	SEVENSEASPK#11	Construction Services	79,715.76		0.00	79,715.76	\$79,715.76
100262724	10/31/14	SACRAMENTO DRILLING INC	51094	Misc Equip Maint & Repair - Labor	13,650.00		0.00	13,650.00	\$13,650.00
100262725	10/31/14	SAFEWAY INC	725154-102714	Food Products	51.99		0.00	51.99	\$51.99
100262726	10/31/14	SANDERSON SAFETY SUPPLY CO	8083367-03	Inventory Purchase	870.00		0.00	870.00	\$1,160.93
			8083559-01	Inventory Purchase	293.63		2.70	290.93	
			H5282663000	Medical Services	1,304.00		0.00	1,304.00	
100262727	10/31/14	SANTA CLARA VALLEY HEALTH & HOSPITAL SYS	H5311638300	Medical Services	1,725.00		0.00	1,725.00	\$4,754.00
			H5311719700	Medical Services	1,725.00		0.00	1,725.00	
100262728	10/31/14	SILICON VALLEY LEADERSHIP	FY14/15 QTR !	Outside Group Funding	1,500.00		0.00	1,500.00	\$1,500.00
100262729	10/31/14	STATE BOARD OF EQUALIZATION	JUL-SEP2014	Taxes & Licenses - Misc	1,025.11		0.00	1,025.11	\$1,025.11
100262730	10/31/14	SUJATA IYER	868334-8913026	DED Services/Training - Books	42.12		0.00	42.12	\$42.12
100262731	10/31/14	SUMMIT UNIFORMS	15874	Clothing, Uniforms & Access	10.88		0.00	10.88	\$18,123.65
			15925	Clothing, Uniforms & Access	150.08		0.00	150.08	
			16024	Clothing, Uniforms & Access	343.65		0.00	343.65	
			16025	Clothing, Uniforms & Access	21.75		0.00	21.75	
			16026	Clothing, Uniforms & Access	146.81		0.00	146.81	
			16092	Clothing, Uniforms & Access	234.90		0.00	234.90	
			16154	Clothing, Uniforms & Access	13.05		0.00	13.05	
			16189	Clothing, Uniforms & Access	127.66		0.00	127.66	
			16200	Clothing, Uniforms & Access	107.66		0.00	107.66	
			16203	Clothing, Uniforms & Access	117.45		0.00	117.45	
			16204	Clothing, Uniforms & Access	192.49		0.00	192.49	
			16205	Clothing, Uniforms & Access	128.33		0.00	128.33	
			16207	Clothing, Uniforms & Access	-106.58		0.00	-106.58	
			16247	Clothing, Uniforms & Access	2,022.75		0.00	2,022.75	
			16248	Clothing, Uniforms & Access	127.24		0.00	127.24	
			16256	Clothing, Uniforms & Access	1,723.68		0.00	1,723.68	
			16299	Clothing, Uniforms & Access	1,259.33		0.00	1,259.33	
			16340	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16341	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16342	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16343	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16344	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16345	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16346	Clothing, Uniforms & Access	303.41		0.00	303.41	
			16361	Clothing, Uniforms & Access	128.33		0.00	128.33	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount	Taken	Amount Paid	Payment Total
			16412	Clothing, Uniforms & Access	129.41		0.00	129.41	
			16428	Clothing, Uniforms & Access	2,393.58		0.00	2,393.58	
			16429	Clothing, Uniforms & Access	128.33		0.00	128.33	
			16430	Clothing, Uniforms & Access	193.58		0.00	193.58	
			16431	Clothing, Uniforms & Access	505.69		0.00	505.69	
			16433	Clothing, Uniforms & Access	96.79		0.00	96.79	
			16434	Clothing, Uniforms & Access	107.66		0.00	107.66	
			16435	Clothing, Uniforms & Access	193.58		0.00	193.58	
			16436	Clothing, Uniforms & Access	193.58		0.00	193.58	
			16440	Clothing, Uniforms & Access	598.13		0.00	598.13	
			16442	Clothing, Uniforms & Access	598.13		0.00	598.13	
			16443	Clothing, Uniforms & Access	598.13		0.00	598.13	
			16444	Clothing, Uniforms & Access	598.13		0.00	598.13	
			16445	Clothing, Uniforms & Access	381.71		0.00	381.71	
			16457	Clothing, Uniforms & Access	59.81		0.00	59.81	
			16467	Clothing, Uniforms & Access	26.10		0.00	26.10	
			16628	Clothing, Uniforms & Access	237.08		0.00	237.08	
			16670	Clothing, Uniforms & Access	597.04		0.00	597.04	
			16698	Clothing, Uniforms & Access	613.35		0.00	613.35	
			16714	Clothing, Uniforms & Access	351.26		0.00	351.26	
			16717	Clothing, Uniforms & Access	128.33		0.00	128.33	
			16773	Clothing, Uniforms & Access	433.91		0.00	433.91	
			16792	Clothing, Uniforms & Access	21.75		0.00	21.75	
			16793	Clothing, Uniforms & Access	21.75		0.00	21.75	
			16794	Clothing, Uniforms & Access	10.88		0.00	10.88	
			16802	Clothing, Uniforms & Access	32.63		0.00	32.63	
100262744	10/31/14	SUNNYVALE BUILDING MAINTENANCE	97510	Professional Services	7,421.00		0.00	7,421.00	\$26,371.52
			97511	Professional Services	18,950.52		0.00	18,950.52	
100262745	10/31/14	SUNNYVALE PUBLIC SAFETY OFFICERS ASSN	PR201443	Employee Payroll Contributions	13,975.00		0.00	13,975.00	\$13,975.00
100262746	10/31/14	UNITED RENTALS	123537950-001	Vehicles & Motorized Equip	916.33		0.00	916.33	\$916.33
100262747	10/31/14	UNITED WAY SILICON VALLEY	PR201443	Employee Payroll Contributions	321.00		0.00	321.00	\$321.00
100262748	10/31/14	VLACH REPAIR SERVICE	102014	Comm Equip Maintain & Repair - Labor 1	50.00		0.00	50.00	\$155.47
			102014	Comm Equip Maintain & Repair - Materials 2	84.93		0.00	84.93	
			102114	Comm Equip Maintain & Repair - Labor 1	13.80		0.00	13.80	
			102114	Comm Equip Maintain & Repair - Materials 2	6.74		0.00	6.74	
100262749	10/31/14	WILLIAM SELF ASSOC	4849	Engineering Services	3,343.20		0.00	3,343.20	\$9,162.87
			4948	Engineering Services	5,819.67		0.00	5,819.67	
100262750	10/31/14	PACIFIC GAS & ELECTRIC CO	03142830050914	Utilities - Electric	19,313.24		0.00	19,313.24	\$138,748.34
			11059220090914	Utilities - Electric	5,911.22		0.00	5,911.22	
			11059220250914	Utilities - Gas	955.98		0.00	955.98	
			11059220400914	Utilities - Gas	105.19		0.00	105.19	
			11059220450914	Utilities - Gas	494.26		0.00	494.26	
			11059220500914	Utilities - Gas	18.71		0.00	18.71	
			11059220550914	Utilities - Electric	933.10		0.00	933.10	
			11059220600914	Utilities - Gas	3,050.27		0.00	3,050.27	
			11059220750914	Utilities - Gas	178.40		0.00	178.40	
			11059220810914	Utilities - Electric	346.19		0.00	346.19	

List of All Claims and Bills Approved for Payment

For Checks Dated 10/26/14 through 11/01/14

Sorted by Payment Number

[illegible]



City of Sunnyvale

Agenda Item

14-0666

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Approve Assignment and Assumption and Modification Agreements between Senior Housing Solutions, Sunnyvale Senior Homes LLC (an affiliate of Charities Housing), and the City of Sunnyvale Regarding Transfer of 1230 Klee Court and 1675 S. Wolfe Road in Sunnyvale

BACKGROUND

Between 1994 and 2010, the City made several loans of Community Development Block Grant (CDBG) and HOME Investments Partnership Program (HOME) funds to Senior Housing Solutions (SHS), a non-profit housing agency based in Milpitas, to acquire and rehabilitate two residential properties in Sunnyvale to serve as group homes for lower-income seniors. These properties included a duplex located at 1230 Klee Court (which has a second street address of 436 Offenbach Place) and a single-family home located at 1675 S. Wolfe Road. The particulars of these loans are summarized in **Attachment 1**. Both of these homes are currently fully occupied by eligible seniors and receive operating subsidies in the form of project-based Section 8 vouchers provided by the Housing Authority of the County of Santa Clara.

In February 2013, through RTC 13-034, Council approved the transfer of a third Sunnyvale home previously owned by SHS, located on Socorro Avenue, to the Bill Wilson Center (BWC) for use as a home for young adults exiting foster care. The current proposal is to transfer the remaining two properties to Charities Housing similar to the method of transfer of the Socorro home to BWC. However, the remaining SHS homes both have estimated property values well in excess of the outstanding debts against the properties, and both homes are operating stably with a solid financial position.

About a year ago, SHS was still considering retaining the more successful group homes, such as the Klee and Wolfe homes, in its portfolio, which originally included 15 homes throughout the county, and transferring only those with operational difficulties to other entities. However, after careful analysis and consultation with its lenders, most of which were local jurisdictions, in June 2013 the SHS Board voted to dissolve SHS as a non-profit organization and transfer its assets and programs, if possible, to another qualified housing provider. SHS arrived at this decision after several years of inadequate funding to support its operations, exacerbated by the recession and dissolution of redevelopment agencies.

Several months before that vote, Charities Housing, a local non-profit housing provider, had been identified as the only qualified agency interested in and able to assume ownership of the agency's remaining properties and continue operating them as senior group homes. Charities agreed to assume fiscal and property management functions of the properties for an interim period, and entered into a conditional agreement to acquire the remaining SHS portfolio by the end of 2014. At that time the portfolio included 11 group homes in Santa Clara County, including the Klee and Wolfe

homes. The primary concern of SHS and the lenders, which included seven cities within the county as well as the County, was to avoid displacing the senior tenants from these group homes if at all possible.

The proposed transfer will avoid any displacement and will not cause any disruptions to the tenants, as Charities has already been managing the properties on behalf of SHS for the past year. Charities recently acquired title to an SHS home located in Cupertino consistent with the county-wide portfolio transfer plan, which calls for all SHS homes to be transferred by December 2014, so that SHS may complete the dissolution process by the end of 2014.

EXISTING POLICY

Housing Element of the General Plan:

Policy A.2: Facilitate the development of affordable housing through regulatory incentives and concessions, and/or financial assistance.

Policy A.7: Support collaborative partnerships with non-profit organizations, affordable housing builders, and for-profit developers to gain greater access to various sources of affordable housing funds.

Goal E: Promote equal housing opportunities for all residents, including Sunnyvale's special needs populations, so that residents can reside in the housing of their choice.

ENVIRONMENTAL REVIEW

This project qualifies for a categorical exemption under CEQA and NEPA because it involves only a change of ownership, and will not result in any change of use or occupancy that could impact the environment.

DISCUSSION

Charities Housing, a non-profit affordable housing developer, has been developing, preserving, and managing high quality affordable housing for low-income households in Santa Clara County since 1993. Its projects include supportive housing for very low-income and special needs individuals, such as the new Parkside Studios project currently under construction in Sunnyvale and the Stoney Pine Apartments for developmentally disabled adults, built in 2001 in Sunnyvale, as well as standard affordable rental housing. Charities manages and operates more than 1,000 housing units in seven cities throughout the county, and is a well-respected organization in Santa Clara County, known for providing high-quality property management and services to its tenants. The City has partnered with Charities on several past projects, including Stoney Pine and Parkside, and has worked closely with Charities and SHS in structuring the current transfer proposal.

At the request of SHS and its lenders, in early 2013, Charities completed an analysis of the financial and operational health of SHS. This report identified serious financial challenges resulting from both a lack of anticipated Section 8 vouchers and the rapid decline in availability of redevelopment agency funding, which had been one of its primary funding sources for capital projects. In May 2013, SHS's board concluded that the organization could no longer sustain itself, based on current financial projections. After meeting with all of the jurisdictions and funders, and with the agreement of the SHS Board of Directors, Charities agreed to assume fiscal and property management functions of all SHS properties for a limited term contract.

Since that time, the staff and board members of SHS and Charities have been working with staff of the County and cities' housing offices to plan for the orderly transfer of the remaining SHS homes to Charities. The County also engaged a housing consultant experienced in California non-profit dissolution and similar transfers of affordable housing assets to advise SHS, the lenders, and Charities about the steps in dissolution process, which is regulated by the State Attorney General, and ways to avoid potential difficulties post-dissolution which could affect any of the involved parties.

As part of Charities' due diligence process, Charities prepared a detailed feasibility analysis of each SHS property and portfolio in each jurisdiction, which included a Physical Needs Assessment (PNA), and acquisition feasibility analysis. The PNA concluded that the Klee and Wolfe homes are generally in good condition, but could use some improvements to provide greater accessibility, such as modified kitchen cabinets and door knobs, and to replace some worn items and/or extend the useful life of certain components.

In anticipation of this transfer, last spring Charities successfully applied to the City for housing rehabilitation funds for the Sunnyvale homes, and was awarded a conditional loan commitment of \$165,000 in CDBG revolving loan funds to address their identified immediate improvement needs. One of the conditions of that award was that Charities (or its affiliate) obtain fee title to the Sunnyvale homes prior to receiving final loan approval and any loan funds. Once the assignment and assumption has been completed and all other conditions have been met, such as federal environmental clearance, final approval of the rehabilitation loan can be issued and loan documents prepared. Staff expects that the loan could be funded by early 2015 and the rehabilitation work could then be completed by June 2015.

In order to allow the SHS dissolution to occur while maintaining all of the occupied group homes in their current state, the lenders need to approve assignments of their respective loans and affordability restrictions from SHS to Charities. Charities has set up new non-profit affiliate limited liability companies (LLCs), one for each jurisdiction with SHS homes, of which Charities is the sole member. The LLC established to assume the Klee and Wolfe homes and associated debt is called Sunnyvale Senior Homes LLC.

While the precise details of the assignments will vary somewhat by jurisdiction, the parties have coordinated to ensure effective completion to allow the dissolution to proceed, and to allow for greater consistency in operation of the homes. Staff has worked with Charities to develop the terms of the proposed Assignment and Assumption and Modification Agreements (the "Agreements") for the Sunnyvale homes, drafts of which are provided in **Attachments 2 and 3**, one for each home.

The proposed Agreements, which are based on the same template but vary slightly to cover the particulars of each home and its existing debt, set forth a process and general terms by which the outstanding City loans, regulatory agreements, and title to the Sunnyvale homes may be assigned to Sunnyvale Senior Homes LLC. The new loan documents and regulatory agreements for each home would be prepared following Council approval, based on current Housing loan templates and subject to the approval of the City Attorney.

The outstanding City debt on the homes, consisting of two loans on each property, includes approximately \$682,600 at Klee and \$202,900 at Wolfe. Approximately 21 percent of this total debt consists of deferred interest accrued through October 1, 2014. Please see **Attachment 1** for the

original principal and current balances of each loan. The outstanding City debt on each property represents approximately 52 percent of the current estimated property value of the Klee home and approximately 16 percent of the Wolfe home, respectively. The existing loans have interest rates of 3 percent simple partially or fully deferred, except for the 2002 CDBG loan on Wolfe, which has a rate of 5 percent simple.

The proposed Agreements include the following terms for all four loans to be assigned to Sunnyvale Senior Homes LLC: a 30-year term beginning on the date of transfer, a requirement to make annual residual receipts payments, an interest rate of three percent simple interest, to be charged on the original (pre-assignment) principal, but not on interest accrued and deferred by SHS prior to the transfer, which represents approximately 21 percent of the total outstanding balances to be transferred.

Payments of principal and interest would be deferred to the end of the new loan terms, except for the residual receipts payments, which are projected to be adequate to cover at least a portion of the annual interest accrual each year, at least through 2027 when the Section 8 contract is subject to renewal. In addition, staff proposes to consolidate the two loans currently on each property into one new loan on each property, with loan and regulatory agreements that will specify the original HOME and CDBG principal and interest amounts and include both HOME and CDBG terms and conditions. The final loan documents will be updated to reflect the interest accrued as of the actual transfer date once it is known.

The proposed changes to the regulatory agreements include standardizing the age limits to 62 years and the income and rent limits to the HOME program “very low” limits, which roughly coincide with 50 percent of area median income, and resetting the term to thirty years consistent with the new loan terms. These terms are all consistent with the intent of the original regulatory agreements, which varied in some details but all shared the goal of providing shared housing affordable to very low income seniors.

Approval of the proposed Agreements will allow the transfer of the remaining Sunnyvale group homes to occur, thus ensuring the long-term financial health and physical integrity of each home, and preserving this affordable housing resource for current occupants and any future occupants to move in during the term of restrictions.

FISCAL IMPACT

The recommended action would not impact the City’s General Fund. In accordance with the Agreements, the new Charities’ affiliate would assume all of SHS’s rights, title and obligations related to the Klee and Wolfe homes and associated city loans. Staff projects that approval of the Agreements would have a positive impact on the City’s CDBG and HOME funds, because the extended loan terms and residual receipts payment requirements will most likely result in a higher total amount of program income paid to these funds than would be received if no action is taken. In addition, the proposed action greatly reduces the risk that the current property owner, SHS, could default on any or all of the existing loans and create significant legal or other related expenses for the City in the event of a possible foreclosure.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City’s official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public

Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

The Housing and Human Services Commission considered this item at its meeting on October 22, 2014 and recommended approval of the Agreements as attached. The draft minutes of that meeting are provided in **Attachment 4**.

RECOMMENDATION

Approve the Assignment and Assumption and Modification Agreements between Senior Housing Solutions, Sunnyvale Senior Homes LLC (an affiliate of Charities Housing), and the City, both in final form as approved by the City Attorney; and authorize the City Manager to execute agreements and related loan documents required to facilitate the transfer of 1230 Klee Court and 1675 S. Wolfe Road from Senior Housing Solutions to Sunnyvale Senior Homes LLC.

The Housing and Human Services Commission and staff recommend approval of the attached Agreements regarding transfer of 1230 Klee Court and 1675 S. Wolfe Road from Senior Housing Solutions to Sunnyvale Senior Homes LLC, an affiliate of Charities Housing. The City's approval of this proposed transfer of the Sunnyvale group homes will allow the current senior tenants to remain in their homes and will preserve this important affordable housing resource for the future.

Prepared by: Suzanne Isé, Housing Officer

Reviewed by: Hanson Hom, Director, Community Development Department

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Loans Summary
2. Assignment and Assumption and Modification Agreement between Senior Housing Solutions, Sunnyvale Senior Homes LLC, and the City of Sunnyvale (Klee Home)
3. Assignment and Assumption and Modification Agreement between Senior Housing Solutions, Sunnyvale Senior Homes LLC, and the City of Sunnyvale (Wolfe Home)
4. Draft Minutes of the October 22, 2014 Housing and Human Services Commission Meeting

Loans Summary

Outstanding City of Sunnyvale Loans to Senior Housing Solutions (SHS)

Property Address	Year Made	Funding Source	Original Loan Amount	Loan Type	Current Balance *
1230 Klee Court	1994	HOME	\$170,250	Acquisition	\$276,010
1230 Klee Court	2010	CDBG	\$369,770	Rehabilitation and refinance of 3 senior loans (2 City & 1 Private)	\$406,585
Klee Total			\$540,020		\$682,595
1675 S. Wolfe Road	1997	HOME	\$75,000	Acquisition	\$113,836
1675 S. Wolfe Road	2002	CDBG	\$86,000	Rehabilitation	\$89,038
Wolfe Total			\$161,000		\$202,874

** Balance owed as of October 1, 2014, including outstanding principal and accrued interest. Approximately 21% of the current balance owed on each home consists of accrued interest.*

RECORDING REQUESTED BY:
CITY OF SUNNYVALE

Record at No Fee per Government Code § 6103

AND WHEN RECORDED MAIL TO:

Housing Division
City of Sunnyvale
P.O. Box 3707
Sunnyvale, CA 94088-3707

SPACE ABOVE THIS LINE FOR RECORDER'S USE

APN: 211-33-011

Property Address: 1230 Klee Court and 436 Offenbach Place, Sunnyvale

**ASSIGNMENT AND ASSUMPTION AGREEMENT
AND MODIFICATION AGREEMENT
BETWEEN SENIOR HOUSING SOLUTIONS,
SUNNYVALE SENIOR HOMES LLC, AND THE CITY OF SUNNYVALE**

This Assignment and Assumption Agreement and Modification Agreement is dated as of _____, 2014 and is made by and between **Senior Housing Solutions**, a California nonprofit corporation, whose address is 512 Valley Way, Milpitas, California, 95035, hereinafter "Assignor," and **Sunnyvale Senior Homes LLC**, a California limited liability company, whose address is 1400 Parkmoor Avenue, Suite 190, San Jose, CA 95126 hereinafter "Assignee," and the **City of Sunnyvale**, a California charter city and municipal corporation, whose address is P.O. Box 3707, Sunnyvale, California, 94088-3707, hereinafter "City." All three agencies shall be referred to collectively herein as "the Parties". This Assignment and Assumption Agreement and Modification Agreement is entered into on the basis of the following facts, understandings and intentions of the Parties.

RECITALS

- A. Assignor owns and operates a group home consisting of a duplex with five (5) bedrooms in total which Assignor operated as (5) Single Room Occupancy- (SRO) type units for very low income seniors, located at 1230 Klee Court and 436 Offenbach Place in Sunnyvale (the "Property"), as further described in the legal description provided in Exhibit "A".
- B. Assignor acquired the Property in part with the proceeds of a loan from City, consisting of \$170,250 in federal HOME Investments Partnership Program funds (the "HOME Loan"). The HOME Loan is evidenced by a loan agreement dated as of January 14, 1994 (the "HOME Loan Agreement") and a promissory note in the amount of the HOME Loan dated as of January 14, 1994 (the "HOME Note") which is secured by a deed of trust recorded February 24, 1994, as Instrument No. 12371724 in the Official Records of Santa

Clara County (the “Official Records”) (the “HOME Deed of Trust”). The HOME Loan Note carried an interest rate of three percent (3%) for a thirty-year term, with all payments of principal and interest fully deferred until January 2024. The HOME Loan Agreement, the HOME Note and the HOME Deed of Trust shall hereinafter be referred to collectively, as the “HOME Loan Documents”.

- C. In order to complete a partial rehabilitation of the home and refinance several existing senior loans, including two prior CDBG loans from the City and one private bank loan, Assignor obtained a second mortgage loan of \$369,770 in federal CDBG loan funds from the City (the “CDBG Loan”) on July 23, 2010. The City CDBG Loan carries an interest rate of three percent (3%) and is partially deferred, with a minimum interest payment of \$750 due monthly throughout the term, and the balance due at the end of the term. The CDBG Loan is evidenced by a CDBG Program Loan Agreement recorded August 23, 2010, as Instrument No. 20828059 in the Official Records (the “CDBG Loan Agreement”) and a promissory note in the amount of the CDBG Loan dated as of July 23, 2010 (the “CDBG Note”) which is secured by a deed of trust recorded August 23, 2010, as Instrument No. 20828061 in the Official Records (the “CDBG Deed of Trust”), and a CDBG Regulatory Agreement recorded on August 23, 2010, as Instrument No. 20828060 in the Official Records (the “CDBG Regulatory Agreement”). The CDBG Loan Agreement, the CDBG Note, the CDBG Deed of Trust and the CDBG Regulatory Agreement will hereinafter be referred to collectively, as the “CDBG Loan Documents”).
- D. Assignee is a limited liability company formed by Charities Housing Development Corporation of Santa Clara County, a California nonprofit public benefit corporation (“Charities”), as its sole member and manager, for the sole purpose of owning and managing the Property as an affordable group home for seniors.
- E. Assignor desires to assign all of its interest in the Property to Assignee and Assignee desires to assume Assignor’s interest in the property and assume responsibility for the Property. The City hereby approves this assignment and assumption, as it provides an excellent opportunity to preserve affordable housing for an underserved population in a location near services.
- F. Assignor desires to assign all of its rights, title and interest in and obligations under the HOME Loan Documents to Assignee. Assignee desires to assume all of Assignor’s rights, title and interest in and obligations under the HOME Loan Documents.
- G. Assignor desires to assign all of its rights, title and interest in and obligations under the CDBG Loan Documents to Assignee. Assignee desires to assume all of Assignor’s rights, title and interest in and obligations under the CDBG Loan Documents.
- H. City has agreed to modify the terms of the HOME Loan Documents and the CDBG Loan Documents to: (i) change the maturity date of the HOME Note and the CDBG Note to thirty (30) years from close of escrow, and (ii) clarify that the minimum age for occupancy of the Property is sixty-two (62 years old); and (iii) (a) modify the repayment terms to include required annual payments of residual receipts as defined in the Amended

HOME and CDBG Notes, consistent with this Agreement, (b) eliminate the fixed monthly payment currently required under the CDBG loan, and (c) defer all principal and interest payments to the end of term, except for the annual residual receipts payment; and (d) reflect maximum income and rent limits based on the HOME/CDBG “Very Low” income limit and HOME “Low” rent limit, both of which are based on approximately 50% of area median income as determined by HUD.

NOW THEREFORE, the parties agree as follows, at CLOSING:

1. **Assignment and Assumption of Property and Certain Encumbrances.** Assignor assigns and Assignee assumes the rights, interest and obligations of Assignor set forth in the HOME Loan Documents and the CDBG Loan Documents and Assignee agrees to be bound by each and all of the terms and provisions of the HOME Loan Documents and the CDBG Loan Documents as though the documents had originally been made, executed and delivered by Assignee.
2. **Amendment of Loan and Regulatory Agreements.** City and Assignee mutually agree that the HOME and CDBG Loan Documents and Regulatory Agreement shall be amended and restated to:
 - a. reflect the minimum age for occupants of the Property to be sixty-two (62) years old;
 - b. reflect maximum income and rent limits based on the HOME/CDBG “Very Low” income limit and HOME “Low” rent limit, both of which are based on approximately 50% of area median income as determined by HUD;
 - c. include the revised repayment terms described in Recital H above;
 - d. extend the term of the loans and the regulatory agreement to thirty years from close of escrow on the assignment to Assignee; and
 - e. include references to current CDBG and HOME program regulations and requirements in the amended regulatory agreement.

All other federal and City requirements and obligations associated with the original HOME Loan Documents and CDBG Loan Documents and associated federal regulations shall remain in force.

3. **Term.** The term of the HOME Loan and the CDBG Loan and the term of affordability restrictions under the amended Loan Documents and CDBG Regulatory Agreement shall end thirty (30) years from close of escrow, ending in 2044 (collectively, the “Amended Term”).
4. **Consent and Release.** The City consents to the assignment to Assignee upon the completion of the Acquisition and at that time hereby releases Assignor from all obligations thereunder.
5. **Restrictions on the Sale/Transfer/Use of Property**

a. It is agreed and understood that the Property was acquired with HOME and CDBG funds and rehabilitated with CDBG funds for use as a group home with five (5) SRO-type units for very low income seniors. As such, Assignee agrees to comply with all HOME and CDBG Program laws, rules and regulations, including those that apply to affordable rental housing acquired and rehabilitated with HOME and CDBG funds.

b. Per the terms of the City's agreement, Assignee may not sell, convey, alienate, transfer, lease, dispose of, encumber, assign, discontinue or change the use of the Property or any interest in such Property without first obtaining the written consent of City. The Property must at all times during the Term be used as affordable housing for very low income individuals.

c. If during the Amended Term the use of the Property changes to a use which does not provide affordable housing, or if the property is sold, conveyed, alienated, transferred, leased, disposed of, encumbered or assigned without obtaining prior written approval of City, then Assignee shall pay to City the fair market value of the property at the time of sale, less reasonable closing costs incurred by Assignee, and any encumbrances specifically authorized in writing by City.

d. Excess Proceeds. In the event that Assignee transfers the Property at any time during the Amended Term, Assignee shall pay to City any excess proceeds generated by the sale of the property, in compliance with the HOME Program regulations governing use of HOME Program Income. Excess proceeds are defined as 100% of the gross sales proceeds, less seller's customary expenses associated with the sale, and less payment of any debt still owing on the HOME loan. Such payment shall be returned to City for deposit in the City's HOME and CDBG Program Income accounts as appropriate, or a successor affordable housing program account, if the HOME and/or CDBG Program Income accounts no longer exist.

6. Successors and Assigns. This Agreement applies to, inures to the benefit of, and binds all parties of this Agreement and their respective successors, assigns and legal representatives.

IN WITNESS WHEREOF, the parties have executed this Agreement on the day and year above written.

ASSIGNOR:

SENIOR HOUSING SOLUTIONS,
a California nonprofit public benefit corporation

By: _____
Dolly Sandoval, Chair, Board of Directors

ASSIGNEE:

SUNNYVALE SENIOR HOMES LLC,
a California limited liability company

By: Charities Housing Development Corporation of
Santa Clara County, a California nonprofit public
benefit corporation, its sole member/manager

By: _____
Daniel Wu, Executive Director

CITY:

THE CITY OF SUNNYVALE
a municipal corporation

By: _____
Name: _____
Title: _____

APPROVED AS TO FORM:

STATE OF CALIFORNIA)
COUNTY OF _____)

On _____, before me, _____, Notary Public, personally appeared _____, proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public

STATE OF CALIFORNIA)
COUNTY OF _____)

On _____, before me, _____, Notary Public, personally appeared _____, proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public

EXHIBIT A
Legal Description of Property

The land is situated in the State of California, County of Santa Clara, City of Sunnyvale and is described as follows:

Lot 40, as shown upon that certain Map entitled, "Tract No. 3294 Newport Manor", which Map was filed for record in the Office of the Recorder of the County of Santa Clara, State of California, on November 20, 1964 in Book 188 of Maps, at Pages 15 and 16.

APN: 211-33-011

RECORDING REQUESTED BY:
CITY OF SUNNYVALE

Record at No Fee per Government Code § 6103

AND WHEN RECORDED MAIL TO:

Housing Division
City of Sunnyvale
P.O. Box 3707
Sunnyvale, CA 94088-3707

SPACE ABOVE THIS LINE FOR RECORDER'S USE

APN: 309-50-031

Property Address: 1675 S. Wolfe Road, Sunnyvale

**ASSIGNMENT AND ASSUMPTION AGREEMENT
AND MODIFICATION AGREEMENT
BETWEEN SENIOR HOUSING SOLUTIONS,
SUNNYVALE SENIOR HOMES LLC, AND THE CITY OF SUNNYVALE**

This Assignment and Assumption Agreement and Modification Agreement is dated as of _____, 2014 and is made by and between **Senior Housing Solutions**, a California nonprofit corporation, whose address is 512 Valley Way, Milpitas, California, 95035, hereinafter "Assignor," and **Sunnyvale Senior Homes LLC**, a California limited liability company, whose address is 1400 Parkmoor Avenue, Suite 190, San Jose, CA 95126, hereinafter "Assignee," and the **City of Sunnyvale**, a California charter city and municipal corporation, whose address is P.O. Box 3707, Sunnyvale, California, 94088-3707, hereinafter "City." All three agencies shall be referred to collectively herein as "the Parties". This Assignment and Assumption Agreement and Modification Agreement is entered into on the basis of the following facts, understandings and intentions of the Parties.

RECITALS

- A. Assignor owns and operates a group home consisting of a single-family home with four (4) bedrooms which Assignor operated as four (4) Single Room Occupancy (SRO)-type units for very low income seniors, located at 1675 S. Wolfe Road in Sunnyvale (the "Property"), as further described in the legal description provided in Exhibit "A".
- B. Assignor acquired the Property in part with the proceeds of a loan from City, consisting of \$75,000 in federal HOME Investments Partnership Program funds (the "HOME Loan"). The HOME Loan is evidenced by a loan agreement dated as of July 2, 1997 (the "HOME Loan Agreement") and a promissory note in the amount of the HOME Loan dated as of July 2, 1997 (the "HOME Note") which is secured by a deed of trust recorded July 3, 1997, as Instrument No. 13764568 in the Official Records of Santa Clara County (the "Official Records") (the "HOME Deed of Trust"). The HOME Loan Note has an interest rate of three percent (3%) for a thirty-year term, with all payments of principal

and interest fully deferred until July 2027. The HOME Loan Agreement, the HOME Note and the HOME Deed of Trust shall hereinafter be referred to collectively, as the "HOME Loan Documents".

- C. In order to complete a rehabilitation of the home, Assignor obtained a second mortgage loan of \$86,000 in federal CDBG loan funds from the City (the "CDBG Loan") on April 3, 2002. The City CDBG Loan has an interest rate of five percent (5%) and is partially deferred, with a minimum monthly interest payment of \$400 payable monthly throughout the loan term of twenty-five (25) years. The CDBG Loan is evidenced by a CDBG Program Loan Agreement dated as of April 3, 2002 (the "CDBG Loan Agreement") and a promissory note in the amount of the CDBG Loan dated as of April, 3, 2002, as amended by an amended dated November 15, 2003 (collectively, the "CDBG Note") which is secured by a deed of trust recorded April 2, 2002, as Instrument No. 16190315 in the Official Records (the "CDBG Deed of Trust"). The CDBG Loan Agreement, the CDBG Note, and the CDBG Deed of Trust will hereinafter be referred to collectively, as the "CDBG Loan Documents").
- D. Assignee is a limited liability company formed by Charities Housing Development Corporation of Santa Clara County, a California nonprofit public benefit corporation ("Charities"), as its sole member and manager, for the sole purpose of owning and managing the Property as an affordable group home for seniors.
- E. Assignor desires to assign all of its interest in the Property to Assignee and Assignee desires to assume Assignor's interest in the property and assume responsibility for the Property. The City hereby approves this assignment and assumption, as it provides an excellent opportunity to preserve affordable for an underserved population in a location near services.
- F. Assignor desires to assign all of its rights, title and interest in and obligations under the HOME Loan Documents to Assignee. Assignee desires to assume all of Assignor's rights, title and interest in and obligations under the HOME Loan Documents.
- G. Assignor desires to assign all of its rights, title and interest in and obligations under the CDBG Loan Documents to Assignee. Assignee desires to assume all of Assignor's rights, title and interest in and obligations under the CDBG Loan Documents.
- H. City and Assignee have agreed to modify the terms of the HOME Loan Documents and the CDBG Loan Documents and to enter into a new HOME/CDBG Regulatory agreement for the Property, consistent with the Amended Klee Regulatory Agreement (to be amended as set forth in the Assignment and Assumption Agreement between the Parties for the property located at 1230 Klee Court and 436 Offenbach Place in Sunnyvale, recorded concurrently herewith). Collectively, the amended loan documents and the new regulatory agreement shall be referred to as the Amended Loan Documents, with the following modifications to the terms of the original HOME and CDBG Loan Documents:

- (i) clarify that the minimum age for occupancy of the Property is sixty-two (62) years old;
- (ii) reflect maximum income and rent limits based on the HOME/CDBG “Very Low” income limit and HOME “Low” rent limit, both of which are based on approximately 50% of area median income as determined by HUD;
- (iii) reduce the interest rate on the CDBG Loan from five percent (5%) to three percent (3%);
- (iv) modify the repayment terms of both loans to: (a) include required annual payments of residual receipts as defined in the Amended HOME and CDBG Notes, consistent with this Agreement; (b) eliminate the fixed monthly payment currently required under the CDBG loan; and (c) defer all principal and interest payments to the end of term, except for the annual residual receipts payment; and
- (v) to extend the term of the CDBG and HOME Notes and Amended Loan Documents to the date that is thirty (30) years from the date on which Assignee takes title to the Property through recording of this Agreement (the “Amended Term”).

NOW THEREFORE, the parties agree as follows, at CLOSING:

1. **Assignment and Assumption of Property and Certain Encumbrances.** Assignor assigns and Assignee assumes the rights, interest and obligations of Assignor set forth in the HOME Loan Documents and the CDBG Loan Documents and Assignee agrees to be bound by each and all of the terms and provisions of the HOME Loan Documents and the CDBG Loan Documents as though the documents had originally been made, executed and delivered by Assignee.
2. **Amendment of Loan Agreements.** City and Assignee mutually agree that the HOME Loan Documents and the CDBG Loan Documents shall be amended and restated to include the modifications described in Recital H above. All other federal and City requirements and obligations associated with the original HOME Loan Documents and CDBG Loan Documents and associated federal regulations shall remain in force.
3. **Interest Rate and Term.** The Interest Rate of the CDBG Loan is changed from five percent (5%) to three percent (3%) and the term of the CDBG and HOME Loans shall be extended to the date that is thirty (30) years from date of the recording of this Assignment and Assumption Agreement and Modification Agreement.
4. **Consent and Release.** The City consents to the assignment to Assignee upon the completion of the Acquisition and at that time hereby releases Assignor from all obligations thereunder.
5. **Restrictions on the Sale/Transfer/Use of Property**

a. It is agreed and understood that the Property was acquired with HOME and CDBG funds and rehabilitated with CDBG funds for use a group home with four (4) SRO-type units for very low income seniors. As such, Assignee agrees to comply with all HOME and CDBG Program laws, rules and regulations, including those that apply to affordable rental housing acquired and rehabilitated with HOME and CDBG funds.

b. Per the terms of the City's agreement, Assignee may not sell, convey, alienate, transfer, lease, dispose of, encumber, assign, discontinue or change the use of the Property or any interest in such Property without first obtaining the written consent of City. The Property must at all times during the Term be used as affordable housing for very low income individuals.

c. If during the CDBG term of restrictions the use of the Property changes to a use which does not provide affordable housing, or if the property is sold, conveyed, alienated, transferred, leased, disposed of, encumbered or assigned without obtaining prior written approval of City, then Assignee shall pay to City the fair market value of the property at the time of sale, less reasonable closing costs incurred by Assignee, and any encumbrances specifically authorized in writing by City.

d. Excess Proceeds. In the event that Assignee transfers the Property at any time during the Amended Term, Assignee shall pay to City any excess proceeds generated by the sale of the property, in compliance with the HOME Program regulations governing use of HOME Program Income. Excess proceeds are defined as 100% of the gross sales proceeds, less seller's customary expenses associated with the sale, and less payment of any debt still owing on the HOME loan. Such payment shall be returned to City for deposit in the City's HOME and CDBG Program Income accounts, as appropriate, or a successor affordable housing program account, if the HOME and/or CDBG Program Income accounts no longer exist.

6. Successors and Assigns. This Agreement applies to, inures to the benefit of, and binds all parties of this Agreement and their respective successors, assigns and legal representatives.

IN WITNESS WHEREOF, the parties have executed this Agreement on the day and year above written.

ASSIGNOR:

SENIOR HOUSING SOLUTIONS,
a California nonprofit public benefit corporation

By: _____
Dolly Sandoval, Chair, Board of Directors

ASSIGNEE:

SUNNYVALE SENIOR HOMES LLC,
a California limited liability company

By: Charities Housing Development Corporation of
Santa Clara County, a California nonprofit public
benefit corporation, its sole member/manager

By: _____
Daniel Wu, Executive Director

CITY:

THE CITY OF SUNNYVALE
a municipal corporation

By: _____
Name: _____
Title: _____

APPROVED AS TO FORM:

STATE OF CALIFORNIA)
COUNTY OF _____)

On _____, before me, _____, Notary Public, personally appeared _____, proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public

STATE OF CALIFORNIA)
COUNTY OF _____)

On _____, before me, _____, Notary Public, personally appeared _____, proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public

EXHIBIT A
Legal Description of Property

The land is situated in the State of California, County of Santa Clara, City of Sunnyvale and is described as follows:

Lot 2, Tract No. 2186 Lindvale Park Unit No. 1, County of Santa Clara, State of California, Book 100 of Maps, Page 7.

APN: 309-50-031



City of Sunnyvale

Meeting Minutes - Draft

Housing and Human Services Commission

Wednesday, October 22, 2014

7:00 PM

West Conference Room, City Hall, 456 W.
Olive Ave., Sunnyvale, CA 94086

CALL TO ORDER

Chair Gilbert called the meeting to order at 7:05 p.m.

SALUTE TO THE FLAG

ROLL CALL

Present: 5 - Chair Diana Gilbert
Commissioner Dennis Chiu
Commissioner Patti Evans
Commissioner Chrichelle McCloud
Commissioner Barbara Schmidt

Absent: 2 - Vice Chair Younil Jeong
Commissioner Navpreet (Ruby) Sidhu

Council Liaison Tara Martin-Milius (present)

Vice Chair Jeong (excused absence)

Commissioner Sidhu (excused absence)

Commissioner McCloud arrived at 7:10 p.m.

Chair Gilbert noted that agenda item 4 was being moved ahead of items 2 and 3, as a courtesy to the attendees present for that item. No one objected.

PUBLIC ANNOUNCEMENTS

None.

CONSENT CALENDAR

1.A [14-0978](#) Draft Minutes of the Housing and Human Services
Commission Meeting of September 24, 2014.

Chair Gilbert stated that she had contacted staff to request corrections to the titles of officers listed in the draft minutes. Staff provided a corrected set of minutes prior to the meeting.

Commissioner Evans moved and Commissioner Chiu seconded the motion to approve the consent calendar comprised of the Draft Minutes of the Housing and Human Services Commission meeting of September 24, 2014 as amended. The motion carried by the following vote:

Yes: 4 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner Schmidt

No: 0

Absent: 3 - Vice Chair Jeong
Commissioner McCloud
Commissioner Sidhu

PUBLIC COMMENTS

None.

PUBLIC HEARINGS/GENERAL BUSINESS

- 2** [14-0788](#) Consideration of Housing Mitigation Fee Nexus Study Findings and Alternatives

This item was heard after agenda item 4.

Housing Officer Suzanne Isé gave a summary of the report and noted that the Housing Mitigation fee has been in place since 1983, was added to the Municipal Code in 2003, and was indexed to inflation by Council action in 2008. This fee generates the largest amount of revenue for the City's affordable housing programs. However, the fee rate has not significantly increased since the inception of the program.

She also noted that one of the unique aspects of Sunnyvale's Housing Mitigation fee is that it only applies to new development projects in industrial zones of the City. The goal of the nexus study is to determine an appropriate fee rate based on the amount of housing need generated by new job-creating developments, and how it might be applied more broadly to other commercial zones.

Chair Gilbert opened the public hearing at 8:05 p.m.

Councilmember Martin-Milius asked how the fee would be applied to mixed used projects. Staff explained that the current study does not get into that level of detail, however that is the type of detail that would be addressed in an ordinance

implementing changes to the fee. Staff would most likely recommend taking a pro-rata approach based on the percentage of space dedicated to each use type in the structure, such as office or retail.

Chair Gilbert closed the public hearing at 8:07 p.m.

After additional discussion and clarifying questions of staff, Chair Gilbert asked for a motion.

Commissioner Chiu moved and Commissioner McCloud seconded the motion to approve Alternatives 1, 2, and 4: Recommend that Council expand the Housing Mitigation Fee to all net new square footage of all non-residential development projects, in any zone; recommend that Council consider adopting a fee of \$12 per square foot for office/industrial projects (\$6 per square foot for first 25,000 square feet), and \$6 per square foot for retail and lodging projects, both based on net increase in square footage and adjusted annually for inflation as part of the annual fee schedule adoption; and recommend that Council have the new fee apply to projects where a complete planning application is submitted after the effective date of the fee. The motion carried by the following vote:

Yes: 5 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner McCloud
Commissioner Schmidt

No: 0

Absent: 2 - Vice Chair Jeong
Commissioner Sidhu

- 3** [14-0789](#) Determine Priority Needs for Human Services for Fiscal Years 2015-16 and 2016-17 and Supplemental Funding Amount for Fiscal Year 2015-16

Housing Officer Suzanne Isé gave an overview of the report and explained that this item is heard every other year per Council Policy. It provides an opportunity for the public, the Commission and Council to consider the pressing needs in the community for different types of human services at the time. The list of priority needs determined through these hearings are incorporated into the Request for Proposals for CDBG funding which staff will release this winter. The current priority needs list was developed in 2010 as part of the 2010-2015 Consolidated Plan development.

The actions the Commission is being asked to consider at this time include: review the current list of priority needs and reaffirm it or modify it in any way; consider and make a recommendation to Council regarding the current supplemental funding amount for next year; and consider increasing the minimum CDBG grant amount to \$25,000 to reduce the risk to the City of potential non-compliance by its sub-recipients.

Chair Gilbert opened the public hearing at 8:34 p.m.

The following agencies submitted comment letters prior to the meeting:

Abilities United, Senior Adults Legal Assistance, Family and Children Services, and Catholic Charities Ombudsman Program.

The comment letters noted an increased need for the services provided by these agencies to the City's most vulnerable residents, including: people with physical and developmental challenges; seniors at risk of abuse, isolation or institutionalization; at-risk and very low income youth and their families; and residents of nursing homes and care facilities. The letters expressed support for the provision of \$100,000 in supplemental funding for human services for next year. All the letters expressed gratitude to the City for current and past support of these programs.

The following representatives attended and spoke on behalf of their agencies:

Senior Adults Legal Assistance's Staff Attorney Beatriz Lopez; Bill Wilson's Director of Development Pilar Furlong; Sunnyvale Community Services' Executive Director Marie Bernard; and West Valley Community Services' Executive Director Naomi Nakano-Matsumoto.

The speakers expressed gratitude for the City's continued support and several noted their support for staff's recommendations. They also noted the increased need for their services for seniors, individuals and families who are homeless or at risk of homelessness, and at-risk youth and their families, and also noted that high housing costs contribute to the increased number of clients needing services.

Chair Gilbert closed the public hearing at 9:01 p.m.

After some discussion and questions of staff, Chair Gilbert asked for a motion.

Commissioner Evans moved and Commissioner Chiu seconded the motion to

approve Alternative 1, a modified version of Alternative 3, and Alternative 4, as follows: Recommend to Council the list of priority needs as shown above, excerpted from the ConPlan; recommend that Council determine a supplemental funding amount of \$115,000, to be adjusted annually by increases in the Consumer Price Index, for human services grants; and recommend that Council modify the Human Services Policy to increase the minimum grant limit, only for applicants seeking CDBG funds, to \$25,000, and retain the current maximum grant limit of 25% of total human services funding available. The minimum grant limit for applicants seeking General funds only would remain at \$10,000. The motion carried by the following vote:

Yes: 5 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner McCloud
Commissioner Schmidt

No: 0

Absent: 2 - Vice Chair Jeong
Commissioner Sidhu

- 4 [14-0881](#) Recommend Approval of Assignment and Assumption and Modification Agreements between Senior Housing Solutions, Sunnyvale Senior Homes LLC, an affiliate of Charities Housing, and the City of Sunnyvale Regarding Transfer of 1230 Klee Court and 1675 S. Wolfe Road in Sunnyvale

This item was heard right after the Consent Calendar and before agenda items 2 and 3.

Housing Officer Suzanne Isé explained that the report is regarding the transfer of two senior group homes from Senior Housing Solutions (SHS) to Charities Housing.

in 2013, SHS determined that it was no longer able to operate with its current funding model, and had to dissolve as a non-profit agency and transfer all of its properties to another agency. Staff has been working with SHS and the staff of several other cities and the county for nearly two years to develop solutions to this situation and plan for a smooth transition of the homes. Staff's main concern in looking for a solution was to allow the senior residents to remain in the homes with minimal disruptions. Any other solution, such as selling or foreclosing on the homes, would most likely result in the cities having to relocate the current tenants, which would be very difficult and costly. She introduced the agency which was the

only one interested in assuming responsibility for the homes, Charities Housing, and was approved by all of the participating jurisdictions to take over the homes.

A representative from Charities Housing, Vianey Nava, was present to answer questions.

Chair Gilbert opened the public hearing at 7:29 p.m.

Chair Gilbert closed the public hearing at 7:30 p.m.

Commissioner Chiu moved and Commissioner Schmidt seconded the motion to approve Alternative 1: Recommend the Council Approve the Assignment and Assumption Agreements as presented in Attachments 2 and 3. The motion carried by the following vote:

Yes: 4 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner Schmidt

No: 1 - Commissioner McCloud

Absent: 2 - Vice Chair Jeong
Commissioner Sidhu

Commissioner McCloud dissented because she did not agree with the terms of the transfer due to concerns about the agencies' equity in the homes.

NON-AGENDA ITEMS & COMMENTS

-Commissioner Comments

None.

-Staff Comments

None.

ADJOURNMENT

Chair Gilbert adjourned the meeting at 9:15 p.m.



City of Sunnyvale

Agenda Item

14-0983

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Award of Contract for Three Quintuple Combination Fire Service Apparatus (F15-02)

REPORT IN BRIEF

Approval is requested to award a contract to Ferrara Fire Apparatus of Holden, Louisiana in the amount of \$2,501,198, excluding sales tax and including a trade-in allowance of \$80,000, for three fire service apparatus. Approval is also requested for a 2% contingency in the amount of \$51,624. Contingencies are typically not requested for vehicle bids, but historically a nominal amount has been requested for fire rigs in order to make minor required modifications during the manufacturing process.

ENVIRONMENTAL REVIEW

N/A

BACKGROUND AND DISCUSSION

Economic operation of the City's fleet requires that vehicles be replaced before operating costs become excessive. This year the fleet replacement schedule includes a 14-year old American La France 100-foot aerial fire apparatus with approximately 9,000 hours of usage. This unit's age, mileage, and breakdown record make its replacement appropriate at this time. Furthermore, as American La France is no longer in business, repair parts for this unit are becoming difficult to acquire. This unit will be replaced with a 100-foot aerial ladder apparatus. An identical aerial apparatus is scheduled for replacement in FY 2015/16. Because of the time required to manufacture aerial fire apparatus, it is anticipated that the replacement for this unit, a 75-foot aerial ladder apparatus also included in this contract, will not be delivered until after July 1, 2015. Staff is replacing the 100-foot aerial with a 75-foot aerial as this equipment configuration better fits the operational needs in the area of the City where it will be stationed. The third unit is a new 100-foot aerial platform apparatus, which will be assigned to the new Fire Station 5 where it will provide service to the north side of Sunnyvale where the buildings are taller and primarily commercial.

Bid specifications were prepared by the Fleet Services Division and the Department of Public Safety. Purchasing staff issued Invitation for Bids No. F15-02, broadcast to potential suppliers through the City's Onvia DemandStar public procurement network. Sealed bids were received and publicly opened on September 24, 2014. Four bids were received; a bid summary is provided as Attachment 1. The lowest responsive bid was received from Ferrara Fire Apparatus.

FISCAL IMPACT

The bid price of the three apparatus totals \$2,581,198. However, Ferrara Fire Apparatus is offering an \$80,000 in trade-in allowance for the two units being replaced, bringing the total down to \$2,501,198. The 2% contingency is derived from the actual bid price, as opposed to the net amount.

Budgeted funds for the 100-foot and 75-foot aerial ladder apparatus are available in the Fleet Equipment Replacement Account.

On December 3, 2013, Council approved a development agreement (RTC No. 13-283) with the Jay Paul Company that included the purchase of a ladder truck, in an amount not to exceed \$1.1 million, along with the construction of a new fire station (Fire Station No. 5). The 100-foot platform apparatus, which is a type of ladder truck, is being funded by the Jay Paul Company in accordance with the development agreement. A payment of \$500,000 has already been received with the remainder to be paid upon invoicing for the truck or completion of the first building at the site, whichever comes first..

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

RECOMMENDATION

1) Award a contract in substantially the same form as the draft purchase order attached to the report and in the amount of \$2,501,198 to Ferrara Fire Apparatus, Inc. for three quintuple combination fire service apparatus; and 2) approve a 2% contingency in the amount of \$51,624.

Prepared by: Pete Gonda, Purchasing Officer
Reviewed by: Grace K. Leung, Director, Finance
Reviewed by: Frank Grgurina, Chief of Public Safety
Reviewed by: Manuel Pineda, Director, Public Works
Reviewed by: Robert A. Walker, Assistant City Manager
Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Bid Summary
2. Draft Purchase Order

City of Sunnyvale, California
Invitation for Bids No. F15-02
Quintuple Combination Fire Service Apparatus
Bid Summary

<i>Vendor</i> <i>Address</i> <i>Phone</i> <i>Contact</i>				A2Z Fire Apparatus 3418 52nd Ave. Sacramento, CA 95823 916-399-2900 Randy Powell	Ferrara Fire Apparatus, Inc. 27855 James Chapel Rd. Holden, LA 70744 800-443-9006 Chris Ferrara	Hi-Tech Emergency Vehicle Svc. 444 W. Greger St. Oakdale, CA 95361 800-225-0182 Michael Shea	Kovatch Mobile Equipment Corp. 1 Industrial Complex Nesquehoning, PA 18240 800-235-3928 x5143 Pete Hoherchak
Bid Item	Description	Qty	Unit	Unit Price	Unit Price	Unit Price	Unit Price
1	100 foot Aerial Platform Truck	1	EA	986,985.00	974,171.00	No Bid	971,631.00
	Year/Make/Model			2015 E-One HP100 Platform	2015 Ferrara 100' Rear Mount Platform	N/A	2015 KME 102' Aerialcat Platform
1	110 foot Aerial Ladder Truck	1	EA	888,186.00	858,895.00	908,382.00	907,406.00
	Year/Make/Model			2015 E-One HP100 Ladder Truck	2015 Ferrara HD107, 107 Rear Mount Ladder	2015 Spartan ERV 103' Rear Mount Aerial	2015 KME 109' Aerialcat Ladder
1	75 foot Aerial Ladder Truck	1	EA	734,577.00	748,132.00	794,055.00	824,286.00
	Year/Make/Model			2015 E-One HP75 Ladder Truck	2015 Ferrara HD77, 77' Rear Mount Ladder	2015 Spartan ERV 75' Rear Mount Aerial	2015 KME 79' Aerialcat Ladder
	Total Cost without Trade-in Allowance			\$2,609,748.00	\$2,581,198.00	\$1,702,437.00	\$2,703,323.00
	Trade in, Unit 092-2	1	LOT	-30,000.00	-40,000.00	-45,000.00	-30,000.00
	Trade-in, Unit 090-2	1	LOT	-30,000.00	-40,000.00	-40,000.00	-30,000.00
	TOTAL COST WITH TRADE-IN ALLOWANCE			\$2,549,748.00	\$2,501,198.00	\$1,617,437.00*	\$2,643,323.00
	Delivery time			270 days	270 days		360-380 days
	Discount/Payment Terms			Prepayment	Prepayment		N/A

*NOTE: Although Hi-Tech Emergency Vehicle Service is the apparent low bidder, the bid total is for only two apparatus; no bid was submitted for Item 1, 100 foot Aerial Platform Truck.



ORDERED FROM 18366 - 001 (800) 443-9006 Ferrara Fire Apparatus Inc 27855 James Chapel Rd Holden LA 70744	ORDER DATE 10/03/2014	BILL TO: City of Sunnyvale Finance Department Accounts Payable PO Box 3707 Sunnyvale, CA 94088-3707
	DELIVERY DATE 08/31/2015	
	PAYMENT TERMS N/30	
	BID NO/RFQ NO	
DELIVER TO DPW/Ops - Fleet Services 221 Commercial St Sunnyvale CA 94085 Phone: (408) 730-7570	FOB POINT DEST	FREIGHT CHARGES Destination, freight included in price
	REQ. NO RQ013098	REQUISITIONER: PGONDA
	CHARGE/OBJ CODE(S): 020700 5135 \$2,501,198.00	

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL
1	Three (3) quintuple combination fire service apparatus in accordance with the specifications, terms, and conditions of Invitation for Bids F15-02 and vendor's response, incorporated by this reference. 1 ea. 2015 Ferrara 100' Rear Mount Platform @ \$974,171.00 1 ea. 2015 Ferrara HD107 107' Rear Mount Ladder @ \$858,895.00 1 ea. 2015 Ferrara HD7 77' Rear Mount Ladder @ \$748,132.00 Less \$40,000.00 trade-in allowance for Unit 092-2 Less \$40,000.00 trade-in allowance for Unit 090-2 Awarded by Council 11/11/2014, RTC No. 14-0983	2501	DLR	\$1.0000	\$2,501,198.00

Amount does not reflect applicable taxes.

TOTAL \$2,501,198.00



Document Terms:

Invoices must be sent directly to Accounts Payable by mail to the address above or by e-mail to accountspayable@sunnyvale.ca.gov and must reference the purchase order number. Failure to comply will result in a delay in payment processing.

This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Goods, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCPO-G).

BUYER:

Dietz, Noel

PHONE (408) 730-7399

FAX (408) 730-7710



City of Sunnyvale

Agenda Item

14-1045

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Award of Contract for Cisco Equipment to Upgrade the City Network Infrastructure (F15-22)

REPORT IN BRIEF

Approval is requested to award a contract to NetXperts, Inc. of San Ramon in the amount of \$241,377, excluding sales tax, for Cisco equipment and related network components to upgrade the City's network infrastructure, for the Information Technology Department (ITD).

ENVIRONMENTAL REVIEW

N/A

BACKGROUND/DISCUSSION

The Information Technology Department is in progress of upgrading the City's network infrastructure as part of the routine equipment replacement program designed to replace equipment at its end of life, as well as improve the communications services to accommodate current and future demands. In its current state, the City's network infrastructure is technologically obsolete and will no longer provide an acceptable level of performance in many locations or accommodate normal growth in demand for network services. In order to effectively address these issues, ITD has developed and is implementing a network infrastructure plan which will provide sustainable network services to City facilities, improve network stability and facilitate the conversion to Voice Over Internet Protocol (VoIP) telephony.

ITD has completed the purchase and installation of the central core network switches, approved by City Council in September 2013 (RTC 13-225). The scope of work for this project builds on that foundation, replacing network switches local to each building that are at their end of life. These local network switches provide the direct connections for business applications, file and printer sharing, email, and eventually telephone services.

Bid specifications were prepared by the Department of Information Technology. Purchasing staff issued Invitation for Bids (IFB) F15-22, which was broadcast to potential suppliers through the City's Onvia DemandStar public procurement network. The bid specifications included a trade-in for existing Cisco equipment scheduled for replacement. Six sealed bids were received and publicly opened on October 22, 2014, with the lowest responsive bid received from NetXperts. The bid tabulation in Attachment 2 contains the details for the base bid total and trade-in value.

FISCAL IMPACT

The total cost of the contract is \$241,377, excluding sales tax. This includes the purchase of hardware and one-year warranty. After the first year warranty, an annual contract for maintenance and support will be competitively bid and issued under the City Manager's contract award authority

(the IFB included optional pricing for two additional years of maintenance and support, but NetXperts did not submit the lowest bid). Budgeted funds for the current purchase and ongoing maintenance are available in the Information Technology Department Equipment Replacement Account.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

RECOMMENDATION

Approve the award of a contract in the amount of \$241,377, excluding sales tax, to NetXperts Inc., in substantially the same form as the draft purchase order attached to the report.

Prepared by: Pete Gonda, Purchasing Officer

Reviewed by: Grace K. Leung, Director of Finance

Reviewed by: David Jensen, Director of Information Technology

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Draft Purchase Order
2. Bid Summary



ORDERED FROM 20038 - 001 (925) 806-0800 NetXperts Inc 2680 Bishop Dr Ste 125 San Ramon CA 94583	ORDER DATE 10/24/2014	BILL TO: City of Sunnyvale Finance Department Accounts Payable PO Box 3707 Sunnyvale, CA 94088-3707
	DELIVERY DATE 12/30/2014	
	PAYMENT TERMS N/30	
	BID NO/RFQ NO	
DELIVER TO ITD/Information Technology Services 650 W Olive Ave Sunnyvale CA 94086 Phone: (408) 730-7557	FOB POINT	FREIGHT CHARGES
	REQ. NO RQ013429	REQUISITIONER: KHARTZMAN
	CHARGE/OBJ CODE(S): 021600 5050 \$241,376.61	

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL
1	Provide Cisco equipment as needed by the Information Technology Department per Invitation For Bids specifications, terms, conditions and bidder response which are incorporated herein by this reference. Contract awarded by City Council _____, RTC14-1045.	241376.61	DLR	\$1.0000	\$241,376.61

Amount does not reflect applicable taxes.

TOTAL \$241,376.61

Document Terms:

Invoices must be sent directly to Accounts Payable by mail to the address above or by e-mail to accountspayable@sunnyvale.ca.gov and must reference the purchase order number. Failure to comply will result in a delay in payment processing.

BUYER:
Howard, Dreama
PHONE (408) 730-7396 FAX (408) 730-7710

Bid Summary

Attachment 2

Invitation for Bids No. F15-22 -Cisco Switches & Network Components

Bidder	NetXperts Inc.	OM Office Supply Inc.	AMS.NET	VOX Network Solutions Inc.	Milestone Technologies	CCT Technologies Inc.
Address	2680 Bishop Drive #125	5007 Carlisle Pike, Ste 101	502 Commerce Way	8000 Marina Blvd Ste 130	3103 Skyway Court	482 W San Carlos St
Contact	San Ramon, CA 94583 Carol Nordine	Mechanicsburg, PA 17050 Manish Agarwal	Livermore, CA 94551 Joseph Moomau	Brisbane, CA 94005 Randall Sullivan	Fremont CA 94539 Ryan Doo	San Jose, CA 95110 Mark Niemann
BASE BID TOTAL:	\$294,209.71	\$244,796.90	\$254,783.38	\$261,250.10	\$320,826.60	\$326,684.46
Trade-In for Existing Equipment	\$52,833.10	Included In Base Bid	Included In Base Bid	Included in Base Bid	\$52,833.10	\$52,833.10
TOTAL FOR EQUIPMENT	\$241,376.61	\$244,796.90	\$254,783.38	\$261,250.10	\$267,993.50	\$273,851.36
OPTIONAL SERVICE PRICING:						
Year-Two Maintenance	\$17,991.50	\$10,281.00	\$20,841.24	\$19,242.02	\$19,236.50	\$21,172.00
Year- Three Maintenance	\$17,991.50	\$10,281.00	\$20,841.24	\$19,242.02	\$38,473.60	\$21,172.00
TOTAL MAINTENANCE	\$35,983.00	\$20,562.00	\$41,682.48	\$38,484.04	\$57,710.10	\$42,344.00



City of Sunnyvale

Agenda Item

14-0855

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Adopt a Resolution Amending the City of Sunnyvale Conflict of Interest Code

DISCUSSION

The Political Reform Act requires every local government agency to review its Conflict of Interest Code biennially to determine if the Code is accurate, or alternatively, that the Code must be amended. An amendment would be necessary to include new positions which have either been added to or deleted from the City's classification plan and salary resolution, revise titles of existing positions, or revise disclosure categories.

The City's Conflict of Interest Code was last amended on November 13, 2012. Consistent with requirements of the Political Reform Act, the City conducted a biennial review of its Conflict of Interest Code and determined that an amendment is necessary. This action was taken on September 30, 2014 (RTC 14-0813), and Council directed staff to submit the proposed revisions to Council for approval within 90 days. The review period has provided officers, employees, members, consultants of the agency and residents an opportunity to review the proposed amendments to the Code.

Staff recommends Council adopt the proposed resolution (Attachment 1) amending the Conflict of Interest Code.

EXISTING POLICY

Resolution 556-12, A Resolution of the City of Sunnyvale Amending Resolution No. 458-10 Designating Positions for which Conflict of Interest Filings are Required.

Council Policy 7.3.7 Standard Conflict of Interest Code addresses procedures developed in compliance with the Political Reform Act.

ENVIRONMENTAL REVIEW

N/A

FISCAL IMPACT

None

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

Copies of this report have been provided to staff and commissioners in positions affected by revisions to the disclosure list (Attachment 1, Exhibit "A").

RECOMMENDATION

Adopt the proposed resolution (Attachment 1) amending the City's Conflict of Interest Code, as submitted.

Prepared by: Kathleen Franco Simmons, City Clerk
Reviewed by: Robert A. Walker, Assistant City Manager
Approved by: Deanna J. Santana, City Manager

ATTACHMENT

1. Proposed Resolution and Exhibit "A"

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF SUNNYVALE AMENDING RESOLUTION NO. 458-10
DESIGNATING POSITIONS FOR WHICH CONFLICT OF
INTEREST FILINGS ARE REQUIRED**

WHEREAS, the City of Sunnyvale has previously adopted a Conflict of Interest Code in compliance with the provisions of the Political Reform Act, Government Code Sections 81000, *et seq.*, by incorporating, by reference, California Code of Regulations Section 18730, along with the attached Appendix designated Exhibit "A," in which officials and employees of the City of Sunnyvale are designated and disclosure categories are set forth to constitute the Conflict of Interest Code of the City of Sunnyvale; and

WHEREAS, the City Council has reviewed and considered administratively suggested changes to the Appendix listing designated positions of City officials and employees along with assigned disclosure categories.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SUNNYVALE THAT it amends the Appendix to the City's Conflict of Interest Code as set forth in Exhibit "A" attached hereto and incorporated herein. Designated officials and employees shall file Statements of Economic Interests in compliance with the provisions of California Code of Regulations Section 18730(b)(4)(A).

Adopted by the City Council at a regular meeting held on _____, 2014, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSAL:

ATTEST:

APPROVED:

City Clerk
(SEAL)

Mayor

APPROVED AS TO FORM:

City Attorney

EXHIBIT “A”

CITY OF SUNNYVALE – CONFLICT OF INTEREST CODE
DESIGNATED CITY POSITIONS REQUIRED TO FILE
(Proposed changes shown in Underline and ~~Strikeout~~ text)

Position	Disclosure Category
Accountant/Treasury	1
Administrative Analyst/Public Works Property Management	1
Administrative Assistant	1
Administrative Librarian	1
Administrative Services Manager	1
Affordable Housing Manager	1
Applications Development Manager	1
Assistant Buyer	2
Assistant City Attorney	1
Assistant City Engineer	1
Assistant City Manager	1
<u>Assistant Director of Finance</u>	<u>1</u>
Assistant Director of Public Works/City Engineer	1
Assistant to the Director of Parks / Recreation	1
Assistant Planner	1
Associate Planner	1
Budget Manager	1
<u>Budget Analyst II</u>	<u>1</u>
Building Inspector	1
Buyer	1
City Clerk	1
City Property Administrator	1
Civil Engineer	1
<u>Civilian Fire Marshal</u>	<u>1</u>
Communications Officer	1
Community Resources Manager	1
<u>Community Services Manager</u>	<u>1</u>
Deputy City Attorney	1
Deputy City Clerk	1
Deputy Communications Officer	1
Director of Community Development	1
Director of Environmental Services	1
Director of NOVA Workforce Services	1
Director of Human Resources	1
Director of Information Technology	1
Director of Library and Community Services	1
Director of Public Safety	1
Director of Public Works	1
Economic Development Manager	1
Employment Training Manager	1
Environmental Compliance Inspector	3

Environmental Engineering Coordinator	2
<u>Environmental Programs Manager</u>	<u>1</u>
Fire Protection Inspector	3
Fleet Manager	2
Golf Operations Manager	2
Hazardous Materials Coordinator	3
Hazardous Materials Inspector	3
Housing <u>Programs</u> Analyst	1
Housing Officer	1
Housing <u>Programs</u> Technician	1
Human Resources Analyst	1
Human Resources Manager	1
Information Technology Services Manager	1
Library Circulation Manager	1
Management Analyst	1
Manager of Business Operations	2
Manager of Job Seeker Services	1
Neighborhood Preservation Manager	1
Onizuka BRAC Project Manager	1
Operations Manager: <u>Facilities</u>	3
Parks Manager	2
Permit Technician	1
Permit Center Coordinator	1
Plan Check Engineer	1
Plan Checker	1
Planning Officer	1
Principal Buyer	1
Principal Human Resources Analyst	1
Principal Planner	1
Principal Storekeeper	1
<u>Principal Transportation Engineer/Planner</u>	<u>1</u>
Program Quality and Operations Manager	2
Public Safety Captain	1
<u>Public Safety Communications Manager</u>	<u>1</u>
Public Safety Deputy Chief	1
<u>Public Safety Records Manager</u>	<u>1</u>
Public Works Construction Inspector	3
Public Works Supervisor	1
Purchasing Officer	1
Community Services Manager	3
Recycling Manager	1
Regulatory Programs Division Manager	1
Utility Billing Manager	1
Risk Manager	1
Senior Assistant City Attorney	1
Senior Building Inspector	1
Senior Buyer	1
Senior Engineer	1
Senior Housing Rehab Specialist	1

<u>Senior Human Resources Analyst</u>	<u>1</u>
Senior Environmental Compliance Inspector	1
<u>Senior Environmental Engineer</u>	<u>1</u>
Senior Construction Inspector/Coordinator	1
Senior Management Analyst/Human Resources	1
Senior Management Analyst/ Finance	1
Senior Management Analyst/Public Safety	1
Senior Management Analyst/Office of the City Manager	1
Senior Plan Check Engineer	1
Senior Planner	1
Senior Traffic/Transportation Engineer	2
Senior Transportation Planner	2
Street Operations Manager	1
Solid Waste Contract Administrator	2
Solid Waste Programs Division Manager	1
Storekeeper/Buyer	1
Storekeeper I/II	1
Superintendent of Building Inspection	1
Superintendent of Facilities Maintenance	1
Superintendent of Parks and Golf	1
Superintendent of Community Services	1
Superintendent of Public Works Operations	1
Supervising Librarian	1
Transportation and Traffic Manager	1
Treasury Manager	1
Urban Landscape Manager	1
Waste- W ater Operations Manager	1
Water and Sewer Systems Division Manager	1
Water Operations Manager	1
Water Pollution Control Lab and Pretreatment Manager	1
Water Pollution Control Maintenance and Facility Manager	1
Water Pollution Control Operations Manager	1
Water Pollution Control Plant Division Manager	1
Youth and Family Resources Manager	1
Consultants	1
Designated appointees:	
Member, Board of Building Code Appeals	1
Member, Heritage Preservation Commission	1
Member, Housing and Human Services Commission	1
State Required Filers:	
The following positions are <u>NOT</u> covered by the code because they must file under Government Code Section 87200 and are listed for informational purposes only:	
Councilmembers	1
City Attorney	1
City Manager	1
Director of Finance	1

Member, Planning Commission	1
<p>An individual holding one of the above listed positions (State Required Filers) may contact the Fair Political Practices Commission for assistance or written advice regarding their filing obligations if they believe that their position has been categorized incorrectly. The Fair Political Practices Commission makes the final determination whether a position is covered by section 87200.</p>	

CITY'S CONFLICT OF INTEREST CODE
DISCLOSURE CATEGORIES

Category 1

A designated employee in this category must report all investments, interests in real property owned in the City of Sunnyvale, sources of income including gifts, loans and travel payments, and business entities in which he or she is a director, officer, partner, trustee, employee or holds any position of management.

Category 2

A designated employee in this category must report sources of income including gifts, loans and travel payments, and business entities in which he or she has an investment or is a director, officer, partner, trustee, employee or holds any position of management, if the business entity or source of income is of the type which has done business with the City of Sunnyvale within the previous two years.

Category 3

A designated employee in this category must report sources of income including gifts, loans and travel payments, and business entities in which he or she has an investment or is a director, officer, partner, trustee, employee or holds any position of management, if the business entity or source of income is of the type which within the previous two years has provided services, equipment, lease space, materials or supplies to the City.

*Consultants are included in the list of designated positions and shall disclose pursuant to Category 1, subject to the following limitation:

The city manager may determine in writing that a particular consultant, although a "designated position," is hired to perform a range of duties that is limited in scope and thus is not required to fully comply with the disclosure requirements in this section. Such written determination shall include a description of the consultant's duties and, based upon that description, a statement of the extent of disclosure requirements. The city manager's determination is public record and shall be retained for public inspection in the same manner and location as this Conflict of Interest Code. (Gov. Code Section 81008.)



City of Sunnyvale

Agenda Item

14-1084

Agenda Date: 11/11/2014

SUBJECT

Adopt Ordinance No. 3048-14 Amending Chapter 1.04 (General Penalty) of Title 1 (General Provisions), adding Chapter 9.58 (Signs On City Property) to Title 9 (Public Peace, Safety Or Welfare), and Amending Various Sections of Chapter 19.44 (Sign Code); of Title 19 (Zoning) of the Sunnyvale Municipal Code

RECOMMENDATION

Adopt Ordinance No. 3048-14.

ATTACHMENT

1. Ordinance No. 3048-14

ORDINANCE NO. 3048-14

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUNNYVALE AMENDING CHAPTER 1.04 (GENERAL PENALTY) OF TITLE 1 (GENERAL PROVISIONS), ADDING CHAPTER 9.58 (SIGNS ON CITY PROPERTY) TO TITLE 9 (PUBLIC PEACE, SAFETY OR WELFARE), AND AMENDING VARIOUS SECTIONS OF CHAPTER 19.44 (SIGN CODE); OF TITLE 19 (ZONING) OF THE SUNNYVALE MUNICIPAL CODE

THE CITY COUNCIL OF THE CITY OF SUNNYVALE DOES ORDAIN AS FOLLOWS:

SECTION 1. SECTION 1.04.010 AMENDED. Section 1.04.010 (Violation – Misdemeanor or Infraction) of Chapter 1.04 (General Penalty) of Title 1 (General Provisions) is hereby amended to include Chapter 9.58, as follows:

1.04.010. Violation—Misdemeanor or infraction.

- (a) [Text unchanged]
- (b) Violations of the following provisions are infractions:
 - (1)–(3) [Text unchanged]
 - (4) Title 9: Chapter 9.24, except Section 9.24.180; Chapters 9.26, 9.28, 9.42, 9.52, 9.54, 9.58, 9.60, 9.62, 9.64, 9.66, and 9.84;
 - (5)–(9) [Text unchanged]
- (c)-(d) [Text unchanged]

SECTION 2. CHAPTER 9.58 ADDED. Chapter 9.58 (Signs On City Property) of Title 9 (Public Peace, Safety or Welfare) of the Sunnyvale Municipal Code is hereby added to read as set forth in Exhibit “A” (Chapter 9.58 (Signs on City Property)) attached and incorporated by reference.

SECTION 3. SECTION 19.44.030 AMENDED. Section 19.44.030 (Scope, authority and basic principles) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.030 Scope, authority and basic principles.

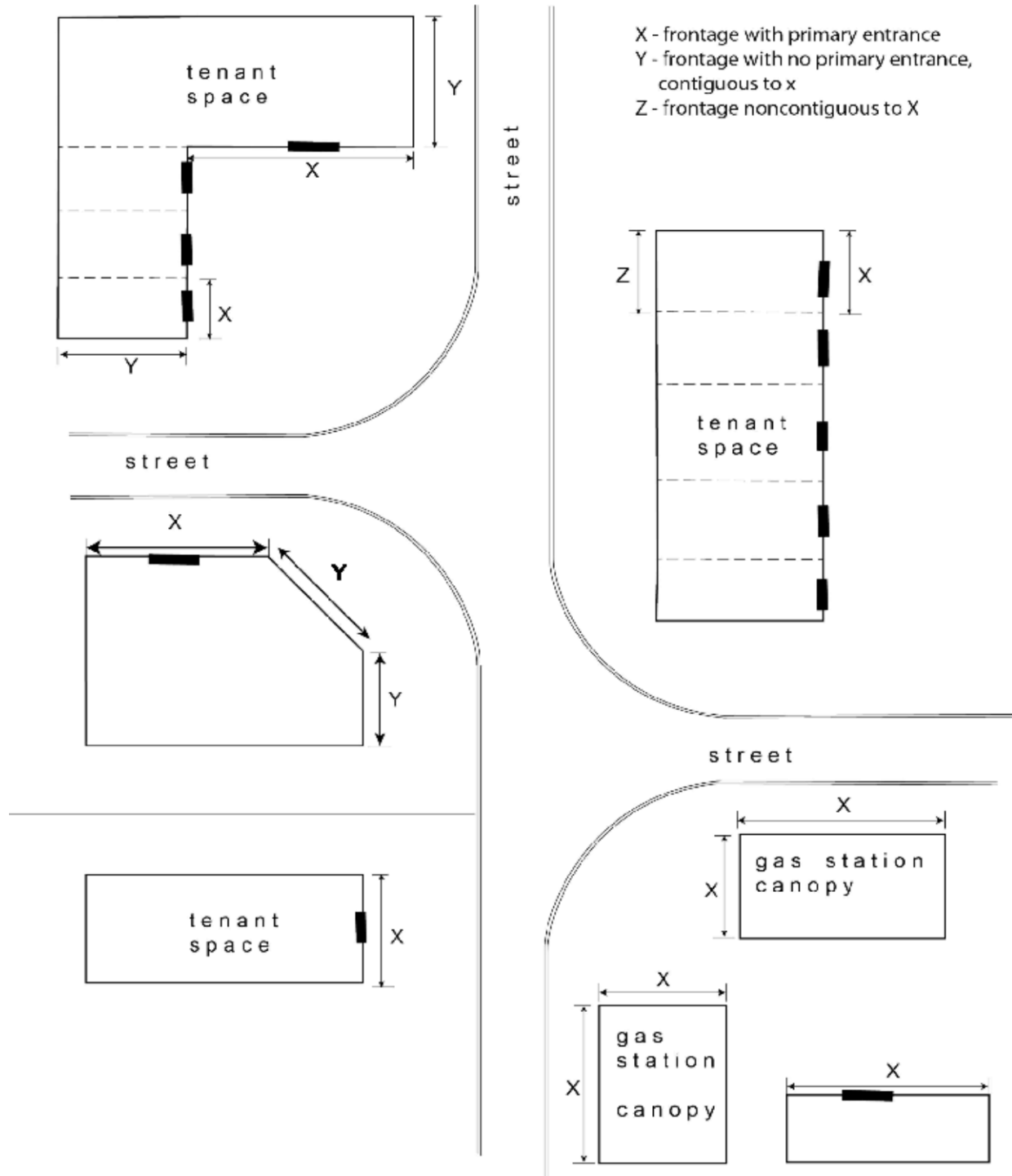
- (a) Scope. This chapter regulates signs, as defined herein, which are within the legal corporate limits of the city, but not on city property or in the public right-of-way, or on property owned and/or controlled by other city controlled entities. Signs on city property and the public right-of-way are regulated by Chapter 9.58. This chapter does not regulate signs used in conjunction with parades, demonstrations or public assemblies, which are covered by Chapter 9.45 (Special Event Permits).
- (b)-(h) [Renumbered; text unchanged]

SECTION 4. SECTION 19.44.040 AMENDED. Section 19.44.040 (Definitions) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended by adding and modifying certain definitions, and by modifying the diagram in Figure 19.44.040 Tenant Frontage, to read as follows:

19.44.040 Definitions.

- (1)-(7) [Text unchanged]
- (8) Construction site sign. A sign that is displayed on the site of a construction project during actual construction.
- (9)-(12) [Text unchanged]
- (13) Directional sign. A sign that serves to control traffic, parking or pedestrian movements on private property, and that is located entirely on the property to which it pertains.
- (14)-(15) [Renumbered; text unchanged]
- (16) Election Period. See Pre-election Period.
- (17)-(45) [Renumbered; text unchanged]
- (46) Sign. Any structure, object, visual device or advertising artwork used for the purpose of communicating a message or identifying or attracting attention to a premises, product, service, person, organization, business or event. The above definition does not include the following:
 - (A) Holiday and cultural observance decorations displayed in season, including inflatable objects which do not include commercial messages;
 - (B)-(E) [Text unchanged]
- (47)-(55) [Renumbered; text unchanged]

Figure 19.44.040 Tenant Frontage



SECTION 5. SECTION 19.44.050 AMENDED. Section 19.44.050 (Signs exempt from permitting) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.050 Signs exempt from sign permit requirement.

The following signs are allowed without a sign permit and do not count toward the otherwise applicable limit on sign display area or size, so long as they meet the stated requirements:

- (a) Address numbers on a building.
- (b) Government signs.
- (c) Warning signs.
- (d) Window signs. Window signs limited to twenty-five percent of the total window area per facade, per tenant space.

(e) Residential Open House Signs. A residential open house directional sign may be placed on private property without a permit provided that sign is not placed on a traffic median, sidewalk, bicycle lane or other travel way or path. The sign is limited to three and one half feet in height as measured from the ground immediately adjacent to the sign, and four square feet in area. The sign may only be displayed between the hours of 9:00 a.m. and 7:00 p.m. on the same day of the open house. Open house directional signs may be placed in the public right-of-way only as authorized by Section 9.58.080.

(f) Real Estate Signs on Private Property. A lease, sale or construction sign that consists of a banner or a temporary ground sign, and meets all of the following criteria:

- 1. One sign per street frontage;
- 2. A ground sign shall not exceed forty square feet per sign face, with eighty square feet total;
- 3. The maximum ground sign height is ten feet;
- 4. The sign is not located in the public right-of-way;
- 5. Any banner shall be limited to sixty square feet and must be stretched taut and secured against the building, fence or wall and not attached to landscaping; and
- 6. Sign must be removed within ten days after the property is no longer for lease or sale or within sixty days after the issuance of certificate of occupancy of the last building within a development.

(g) Directory Signs for Multifamily Uses. Directory signs within a multifamily residential use are not counted toward allowable sign area and may be installed without a permit provided the sign meets all of the following requirements:

(1)-(4) [Text unchanged]

(h) Information signs. Information signs shall not exceed sixteen square feet sign area.

(i) Flags displaying non-commercial images or messages. Limited to three per property. Examples of non-commercial flags include the American flag or State of California flag. The top of the flag must not exceed twenty feet in residential zoning districts, as measured from the ground. Flag height is limited to thirty feet in all other zoning districts. Flag poles are included in the total height

restriction. The maximum lateral dimension of the flag is limited to twenty-five percent of the height of the pole or other structure to which it is affixed.

(j) Directional signs may be installed without a sign permit provided the sign meets all of the following requirements:

- (1) Is located on the property to which it pertains,
- (2) Does not in any way advertise a business,
- (3) Does not exceed four square feet in area, and
- (4) Does not exceed five feet in height as measured from the ground immediately adjacent to the sign.

(k) Residential name plate. Each separate residential dwelling unit, whether in attached multi-family, detached single family, town home, condominium, or apartment, is allowed a residential name plate placed at the home entrance or along the front wall of a residential use, limited to two square feet in area.

(l) Traffic signs. Shall be located on the property to which it pertains, shall not exceed four feet in area, and shall not exceed five feet in height as measured from the ground immediately adjacent to the sign.

SECTION 6. SECTION 19.44.070 AMENDED. Section 19.44.070 (Sign permit required) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.070 Sign permit required.

Unless exempted from the permit requirement, all signs regulated by this chapter may be installed, maintained, erected, or displayed only pursuant to a sign permit issued pursuant to chapter, using the design criteria identified in this chapter and other applicable regulations. The sign owner, message sponsor, and property owner must satisfy all other applicable permit and planning approval requirements, even if the sign is exempt from the sign permit requirement.

SECTION 7. SECTION 19.44.080 AMENDED. Section 19.44.080 (Building permit required in certain instances) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.080 Building permit required in certain instances.

A building permit as required by Title 16 may be required for freestanding signs and flag poles qualifying as structures under the building code, any signs permanently mounted or fastened to a building, or any sign that requires an electrical connection for illumination.

SECTION 8. SECTION 19.44.090 AMENDED. Section 19.44.090 (Changes to permitted signs - Requirement for amended or new permit) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.090 Changes to permitted signs - Requirement for amended or new permit.

A sign initially approved and for which a sign permit is issued shall not thereafter be modified, altered or replaced, nor shall any design elements of any building or lot upon which such sign is maintained be modified, altered or replaced if the

physical design elements constituted a basis for the sign approval, without an amended or new permit first being obtained pursuant to this chapter. If the original permit did not contain physical design elements, and only the copy or graphic design on the display face is changed, a new or amended permit is not required. If the physical structure of a permitted sign is changed, whether by repair, alteration, expansion, change in electrical supply, change in physical method of image presentation, change in dimension or weight, or similar factors, then a new permit or amendment to the existing permit is required.

SECTION 9. SECTION 19.44.110 AMENDED. Section 19.44.110 (Application review, timeframes) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.110 Application review, timeframes.

- (a) [Text unchanged]
- (b) Conditional Approval. A sign permit application may be approved subject to conditions, so long as the purpose of the conditions is to satisfy requirements of this chapter or some other applicable law, rule, regulation or policy.
- (c)-(e) [Text unchanged]

SECTION 10. SECTION 19.44.150 AMENDED. Section 19.44.150 (General sign requirements) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.150 General sign requirements.

The following requirements apply to all signs. Adjustments to specific requirements may be granted in accordance with Section 19.44.230 (Exceptions to sign standards).

- (a) Number of Signs. The number and size of permanent and temporary signs allowed are described in Sections 19.44.160 (Permanent signs in nonresidential zoning districts), Section 19.44.170 (Permanent signs in residential zoning districts), and Section 19.44.050 (Signs exempt from sign permit requirements).

- (b) [Text unchanged]

- (c) Location. All signs are subject to the following location requirements. In addition to the general requirements listed below, details about allowable locations for individual permanent or temporary signs are described in their respective sections.

- (1) [Text unchanged]

- (2) If both residential and nonresidential uses are allowed or in place, then the residential portion of the development is subject to the requirements for residential uses, and the nonresidential portion is subject to the requirements for the most restrictive abutting nonresidential zoning district.

- (3) No Encroachment. Signs must be placed on private property and must not overhang the public right-of-way or sidewalk, except as authorized by Section 9.58.100.

(4) Clearance from Sidewalk and Property Line. The minimum horizontal clearance between any part of the sign structure and the property line shall be one foot. For ground and fin signs over sidewalks and driveways, the minimum clearance between the lowest point of the sign and grade immediately below must be eight feet for pedestrian areas and fifteen feet for vehicular clearance.

(5) [Renumbered; text unchanged]

(d) [Text unchanged]



Figure 19.44.150 Sign Area.

(e) Logos. Logos may be detached from other sign copy and are counted towards sign area but shall not be included in calculations of copy height.

(f) Sign Type Requirements.

(1) [Text unchanged]

(A)-(C) [Text unchanged]

(2) Awning and canopy signs. Awning and canopy signs may be attached to or painted on the vertical edges of awnings, canopies, arcades, or similar features or structures in non-residential and multi-family residential zones in accordance with the following standards:

(A) Height. Maximum twelve feet.

(B) Clearance between sidewalk and bottom of awning or canopy. Minimum eight feet.

(C) Clearance between canopy and curb. Minimum two feet.

(D) Illumination. None allowed.

(3) [Renumbered; text unchanged]

(4) [Renumbered; text unchanged]

(A) [Text unchanged]

(B) Address Numbers. All new ground signs must have address numbers of a minimum of six inches and maximum of two feet in height. Address numbers on a ground sign must be located between two to fifteen feet from the ground.

(5) [Renumbered; text unchanged]

(g) Materials. All signs must be constructed of wood, rigid plastic, metal, or other permanent material, with the exception of flags, banners, pennants, balloons, and large inflatable objects.

(h) [Text unchanged]

(i) Illumination. Permanent signs may be illuminated with continuous lighting, and can include neon tube lighting, external and internal lighting. No sign shall be illuminated so that the bulb or other primary source of the light is visible beyond the property line or in any way will cause excessive glare or brightness. Wall signs on side or rear elevations within one hundred fifty feet from any residential zoning district may be illuminated only from 7:00 a.m. to 10:00 pm. The city reserves the right to require and/or complete a post-installation inspection of the sign illumination. If, as a result of this inspection, it is determined that the illumination is so bright as to adversely impact adjacent properties or uses, the city may require shielding or a reduction and/or adjustment in the intensity of the sign illumination, so that it is in keeping with the general level of illumination on surrounding properties. Such intensity restriction may vary by time of day and ambient light conditions. Illuminated signs located adjacent to any residential area shall be shielded to direct light downward and away from adjacent properties such that there is no spillover light and shall be controlled by a rheostat or functional equivalent to avoid excessive glare to residential properties.

SECTION 11. SECTION 19.44.160 AMENDED. Section 19.44.160 (Permanent signs in nonresidential zoning districts) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.160 Permanent signs in nonresidential zoning districts.

(a)-(c) [Text unchanged]

(1)-(3) [Text unchanged]

(4) Readerboard Signs. Readerboard signs are allowed only in conjunction with places of assembly and theater uses and shall be included in calculations of the area and height of signs, and shall conform to those regulations.

Table 19.44.160(a)**Sign Requirements for Commercial, Office and Public-Facility Zoning Districts.**

Type	Number	Maximum Area	Copy Height	Sign Height	Special Requirements
Wall	No limit	0.66 sq. ft. of sign for every one lineal foot of building frontage. 200 sq. ft. maximum sign area.	6 in. minimum 48 in. maximum	Cannot extend above the top of the building.	Multiple wall signs cannot exceed maximum wall sign area. Fin signs are calculated towards overall wall sign area. Buildings over 100 feet tall may have a maximum copy height of 60 in.
Ground	One per street frontage, two if lot is wider than 300 ft.	60 sq. ft. per side 120 sq. ft. on both sides.	6 in. minimum 48 in. maximum	10 ft. high maximum as measured from top of nearest curb.	None
Under-Canopy	One per entrance	5 sq. ft. per side, 10 sq. ft. on both sides.	No limit	Lower edge must be at least 8 ft. above walkway	None

Table 19.44.160(b)**Sign Requirements for Regional Retail Business and Industrial Zoning Districts.**

[Table unchanged]

SECTION 12. SECTION 19.44.170 AMENDED. Section 19.44.170 (Permanent Signs in Residential Zoning Districts) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.170 Permanent Signs in Residential Zoning Districts.

The requirements of this section apply to all uses in residential zoning districts and all legal residential uses in other districts.

(a)-(c) [Text unchanged]

(c) Residential Project Identification Signs. Signs identifying a residential project shall follow ground sign regulations shown in Table 19.44.170, and are limited to one per street frontage.

TABLE 19.44.170**Signs for Non-Residential Uses and Multi-Family Residential Uses in Residential Zoning Districts.**

[Table unchanged]

SECTION 13. SECTION 19.44.180 AMENDED. Section 19.44.180 (Temporary Signs – Nonresidential zoning districts) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.180 Temporary Signs – Nonresidential zoning districts.

The following regulations apply to temporary signs in nonresidential zoning districts, except as qualified by Section 19.44.150(b). Display time for temporary signs is limited to a total of one hundred twenty days in a calendar year, unless otherwise specified in this code.

(a) [Text unchanged]

(1) Banners, Pennants and Ribbons. One banner or a collection of pennants or ribbons are each considered one temporary sign. Two such signs per tenant are allowed at one time, except for shopping centers with two or more tenants may have up to four signs on a property at one time.

(A)-(B) [Text unchanged]

(2) Large inflatable objects. No more than one large inflatable object is allowed on site at a time. If ground mounted, large inflatable objects shall not exceed ten feet in height. If roof mounted, such signs shall not exceed ten feet above building height. May not be located within required parking areas, landscaping or walkway areas. Display time: a maximum of ten days in a calendar year.

(3) Ground Sign Sleeve. Ground sign sleeves must be made of durable fabric, and not increase the size of the ground sign or obscure the address numbers. Ground sign sleeves are allowed for up to ninety days or until the permanent sign is installed, whichever is less.

(4) Building Wrap. Building wrap signs are allowed only in commercial buildings of five stories or greater in Block 18 of the Downtown Specific Plan District. The building wrap sign is limited to three floors of the building and cannot include any movement or animation. Display time for building wrap signs is limited to a maximum of one hundred twenty days in a calendar year.

(5) [Text unchanged]

(b) [Text unchanged]

(1)-(2) [Text unchanged]

(3) Portable Signs. Portable signs of up to eight square feet in area are allowed with the following restrictions:

(A) The sign is oriented to on-site vehicles and pedestrians;

(B)-(D) [Text unchanged]

(E) Portable signs are prohibited in landscaping or parking areas;

(F)-G) [Renumbered; text unchanged]

(H) Portable signs are not permitted in the public right-of-way unless authorized by Chapter 9.58.

SECTION 14. SECTION 19.44.190 AMENDED. Section 19.44.190 (Temporary Signs – Residential zoning districts) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.190 Temporary Signs – Residential zoning districts.

The following requirements apply to temporary signs in residential zoning districts, except as qualified by Section 19.44.150(b). No permit is required for temporary signs that meet all of the following standards:

- (a) [Text unchanged]
- (b) Sign Area. The total of all temporary signs on a single premise shall not exceed sixteen square feet in total sign area, except that during the pre-election period (ninety days prior to an election and ten days after an election), the total area of all signs shall not exceed thirty-two feet in area. These limitations on total sign area do not apply to window signs.
- (c) [Text unchanged]
- (d) Location. Signs shall not be placed on trees or in walkways, driveways, or other areas of the property used for vehicular or pedestrian travel. Temporary ground signs and portable signs may not be placed in the public right-of-way except as authorized by Section 9.58.100.
- (e) Permission of Owner. Signs shall not be placed in any location without the permission of the owner or occupant of the property. In the case of signs that are allowed in the public right-of-way pursuant to Chapter 9.58, signs shall not be placed without the permission of the owner or occupant of the contiguous and adjacent private parcel.
- (f) Flags displaying non-commercial messages do not count toward the total sign area for temporary signs as long the total area of each flag does not exceed sixteen square feet.
- (g) Flags displaying commercial messages are prohibited in residential zones except for multifamily uses. For multifamily uses, up to four flags with commercial messages are allowed. The maximum flag size is fifteen square feet and the maximum height is twenty feet, as measured from the ground and including the pole. Maximum lateral dimension is twenty-five percent of the total height of the pole or structure.
- (h) Places of Assembly. Churches, community centers, and other places of assembly located on residentially-zoned property are not subject to this section. Places of assembly are subject to the regulations applicable to signs in commercial zoning districts.

SECTION 15. SECTION 19.44.230 AMENDED. Section 19.44.230 (Exceptions to Sign Standards.) of Chapter 19.44 (Sign Code) of Title 19 (Zoning) is hereby amended to read as follows:

19.44.230 Exceptions to Sign Standards.

- (a) [Text unchanged]
- (b) [Text unchanged]
 - (1)-(4) [Text unchanged]
- (c) [Text unchanged]

- (1) [Text unchanged]
- (A)-(B) [Text unchanged]
- (C) Unusual building location or use on-site; or
- (D) [Text unchanged]
- (2)-(3) [Text unchanged]

SECTION 16. CEQA - EXEMPTION. The City Council finds, pursuant to Title 14 of the California Code of Regulations, Section 15061(b)(3), that this ordinance is exempt from the requirements of the California Environmental Quality Act (CEQA) in that it is not a project which has the potential for causing a significant effect on the environment.

SECTION 17. CONSTITUTIONALITY; SEVERABILITY. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such decision or decisions shall not affect the validity of the remaining portions of this ordinance. The City Council hereby declares that it would have passed this ordinance, and each section, subsection, sentence, clause and phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared invalid.

SECTION 18. EFFECTIVE DATE. This ordinance shall be in full force and effect thirty (30) days from and after the date of its adoption.

SECTION 19. POSTING AND PUBLICATION. The City Clerk is directed to cause copies of this ordinance to be posted in three (3) prominent places in the City of Sunnyvale and to cause publication once in The Sun, the official publication of legal notices of the City of Sunnyvale, of a notice setting forth the date of adoption, the title of this ordinance, and a list of places where copies of this ordinance are posted, within fifteen (15) days after adoption of this ordinance.

Introduced at a regular meeting of the City Council held on October 28, 2014, and adopted as an ordinance of the City of Sunnyvale at a regular meeting of the City Council held on _____, 2014, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSAL:

ATTEST:

APPROVED:

City Clerk
Date of Attestation: _____

Mayor

SEAL

APPROVED AS TO FORM:

City Attorney

EXHIBIT A

Chapter 9.58 SIGNS ON CITY PROPERTY

9.58.010 Title and purpose.

This chapter may be known as the “signs on city property ordinance.” The purpose of this chapter is to regulate signs placed by private parties on properties and facilities owned by the city. By adopting this chapter, the city council intends to balance the rights of free speech, protected by the First Amendment to the U.S. Constitution and corollary provisions of the California Constitution, against the city’s own speech rights, its own property rights, and the public interests in reducing the visual clutter and safety risks that can result from excessive or inappropriate signage.

9.58.020 Proprietary capacity of city; scope.

In adopting this chapter, the city acts in its proprietary capacity as to city property, as defined herein. Private parties may post or display signs on city property only in accordance with this chapter or some other authorization duly adopted by the city council, including but not limited to signs on city property that are displayed at city-sponsored events or pursuant to a miscellaneous plan permit (Chapter 19.82), special event permit (Chapter 9.62), or permit for exclusive use of a park (Chapter 9.62). When the city leases its property to third parties for commercial or other non-governmental uses, signage for such uses shall be governed by the sign code, set forth in Chapter 19.44. Nothing in this chapter limits the city’s ability to use its property or facilities to convey its own messages to the public, whether by way of signs or any other communication device. This chapter is adopted pursuant to the city’s general and police powers, California Constitution Article XI, section 7; the city’s ownership rights, California Government Code sections 38774, 38775, 65000 et seq., 65850(b), 38774; Business and Professions Code sections 5200 et seq., 5230, and 5490 et seq.; Penal Code section 556, and other applicable state laws.

9.58.030 Public forum designation.

No city property shall function as a designated or limited public forum for purposes of sign display, unless specifically designated in this chapter or by an act of the city council. The declaration as to public forum type shall apply strictly and only to the specified area and the specified time period.

9.58.040 Definitions.

Definitions from Chapter 19.44, “Signs on Private Property,” are incorporated herein, as supplemented with the following definitions, which apply specifically to this chapter.

(a) City property. Land or other property or facilities in which the city of Sunnyvale is the legal owner or holds a present right of possession and control, as well as areas which are either designated as public rights-of-way within the city of Sunnyvale or which have long been used as such.

(b) Traditional Public Forum. Public streets and parks that are open to the public, city-owned plazas, public sidewalks, and pedestrian areas immediately surrounding city-owned civic buildings (i.e., City Hall, community centers).

9.58.050 General prohibition.

Private persons and governmental agencies other than the city may not display signs on city property unless such display is specifically authorized by this chapter or other applicable city law, or by state or federal law or court order.

9.58.060 Personal carrying of signs in traditional public forum areas.

In Traditional Public Forum areas, the personal carrying of signs displaying constitutionally protected noncommercial speech messages (i.e., picketing) is allowed subject to all of the following requirements:

(a) The sign must be personally worn or held by a person, or personally attended by one or more persons. "Personally attended" means that a person is physically present within five feet of the sign at all times.

(b) The signs may be displayed only during the time period 7:00 a.m. to 10:00 p.m., except on occasions when the city council or other public body of the city is holding a public hearing or meeting which is open to the public; on such occasions, the display period is extended to thirty minutes after such meeting is officially adjourned.

(c) The maximum aggregate size of all signs held by a single person is six square feet. Visible images which are displayed as part of personal apparel do not count toward this maximum. For purposes of this rule, apparel and other aspects of personal appearance do not count towards the maximum aggregate sign area.

(d) To serve the city's interests in traffic flow and safety, persons displaying signs under this section shall not stand in any vehicular traffic lane when a public roadway is open for use by moving vehicles, and shall not interfere with public ingress or egress or free use of sidewalks or public right-of-way.

(e) This section does not authorize the display of commercial messages on city property, nor does it authorize the posting of inanimate signs on city property, regardless of message type.

(f) This section does not apply to personally held signs displayed inside city buildings.

9.58.070 Government speech on signs; legally authorized signs.

The following signs may be erected and displayed on city property, subject to the rules set forth herein:

(a) Traffic control and traffic directional signs erected by the city or other governmental agencies acting in scope of their authority, including temporary traffic and traffic direction signs.

(b) Official notices required or authorized by law or valid court order.

(c) Signs placed by the city in furtherance of its governmental functions.

(d) Signs placed by the city on city property which express the city's own message.

9.58.080 Residential Open House Signs.

A portable open house directional sign may be placed on the public right-of-way provided that the sign is not placed on a traffic median, sidewalk, bicycle lane or other travel way or path. The sign is limited to three and one-half feet in height measured from the ground immediately adjacent to the sign and four square feet in area. The sign may be displayed only between the hours of 9:00 a.m. and 7:00 p.m. on the same day of the open house.

9.58.090 Temporary Non-Commercial Signs in Residential Zoning Districts.

Temporary non-commercial signs may be placed in the public right-of-way in residential zoning districts without a permit subject to the following requirements:

(a) The signs comply with the requirements in Section 19.44.190 (Temporary Signs – Residential Zoning Districts).

(b) Signs are allowed only in that portion of the public right-of-way that is immediately adjacent to and contiguous with the private property and not separated from the adjacent private property by a sidewalk, curb or other public improvement.

(c) Signs shall not be placed on any parkway strip, traffic median, sidewalk, bicycle lane or other travel way or path, or attached to any utility pole, light pole, fire hydrant, utility box, or traffic control device.

(d) Signs shall not be placed in the public right-of-way without the consent of the owner or occupant of the contiguous and adjacent private parcel.

9.58.100 Encroachments.

Signs mounted on private property may not project into or over city property or the public right-of-way without an encroachment permit and/or, in the case of heritage landmark properties, a landmark alteration permit. Projecting signs in the Downtown Specific Plan District are subject to the requirements in Chapter 19.28. Sign encroachment permits must satisfy all requirements of Chapter 19.44, plus all requirements applicable to encroachments generally, plus all applicable safety codes (building, plumbing, electrical, etc.) and all city rules, regulations and policies regarding encroachments.

9.58.110. Freestanding signs on the 100 block of South Murphy Avenue

Freestanding signs such as A-frame and sandwich-board signs may be placed in the public right-of-way in the 100 block of South Murphy Avenue without a permit subject to the following requirements:

(a) Signs may only be placed in the frontage zone of the public sidewalk. The frontage zone is defined as that portion of the sidewalk closest to the building facades and measuring approximately two feet from the right-of-way line.

(b) The signs must be related to the legal business operation of the adjacent business.

(c) The signs may only be displayed during business hours by business owners or operators of the adjacent business.

(d) One freestanding sign is allowed per business

(e) The signs shall not exceed four feet in height and two feet wide in any direction.

(f) The pedestrian zone of the sidewalk outside of the frontage zone shall remain clear without any obstructions to allow for the movement of pedestrians.

(g) The signs shall comply with the design guidelines contained in the “City of Sunnyvale South Murphy Avenue Sidewalk Use Regulations.”

9.58.120 Enforcement.

Any violation of this chapter is declared to be a public nuisance that may be abated by the city by any means provided by law, including but not limited to any remedy for illegal signs as set forth in the sign code, other city laws, or any remedy available under state law, including but not

limited to Penal Code section 556. Legal remedies under this section are cumulative and discretionary with the city attorney, and are not exclusive.

9.58.130 Abatement.

(a) Removal. Any sign, flag or banner (collectively, “sign”) placed on city property in violation of the provisions of this chapter, or any sign which constitutes an immediate peril to persons or property, may be summarily removed as a trespass and a nuisance by the city.

(b) Notification. The sign-owner, if known, will be notified that the sign(s) have been removed and will be given thirty days to retrieve the sign(s). Any charge for the cost of removal, as provided for in subsection (c) below, must be paid prior to retrieval of the sign. The city may destroy or dispose of the sign(s) after thirty days if there is no response to the notification.

(c) Charge for cost of removal. The city may recover the cost of removing signs as authorized by this section. When the city has incurred any expense in removing the sign or other matter or in repairing city property damaged because of the posting or removal of the sign or other matter, any such expense incurred shall constitute a debt owed to the city.

(d) Post-removal hearing regarding signs summarily removed. The owner or person in charge of any sign which has been summarily removed by the city pursuant to this chapter is entitled to an informal hearing to be conducted by the city manager or designee. The request for hearing shall be made in writing to the city manager no later than fifteen calendar days from the date of mailing of the notification specified in subsection (b), or within thirty calendar days of the date of the removal, whichever occurs first. The hearing shall be limited to determining whether the sign was located upon city property in violation of the provisions of this chapter or constituted an immediate peril to persons or property, and the accuracy of any amount billed. Upon receiving a written request for the hearing, the city manager shall set a hearing, which shall be held within thirty calendar days from the date of receipt of the request. The city manager shall provide written notification of the hearing to the applicant. The notification shall include the date, time and place of the hearing. Following the hearing, the city manager shall within ten calendar days after the date of the hearing notify the person of his or her determination, and whether any adjustment to the any billed amount will be made. This notification shall specify the date by which such bill shall be paid, which date shall in no event be less than thirty calendar days after the date of the hearing. Any person who fails to pay the amount billed to such person within the period specified therein shall also be liable for expenses incurred by the city in collecting the debt, including, but not limited to, the cost of paying city employees or other persons engaged in debt collection. The city manager’s decision shall be final.



City of Sunnyvale

Agenda Item

14-1067

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

REQUEST FOR CONTINUATION to November 25, 2014 for the Introduction of an Ordinance to Amend Title 19 (Zoning) Regarding the Appeal Process for Land Use Projects (Study Issue, CDD 14-15); Repeal of Council Policy 1.1.4 on Appeals; and making a Finding that the Proposed Project is Exempt from the Requirements of the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines 15061(b)(3)
(Planning File: 2014-7434)

BACKGROUND

This item was originally scheduled and advertised for the City Council hearing on November 11, 2014. In order to balance the Council agenda of November 11, staff requests continuance of this item to November 25, 2014.

PUBLIC CONTACT

An action to continue a hearing to a date certain serves as required legal notice. Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

STAFF RECOMMENDATION

In order to balance the Council agenda of November 11, 2014 staff requests continuance of this item to November 25, 2014.

Prepared by: Rosemarie Zulueta, Associate Planner

Reviewed by Trudi Ryan, Planning Officer

Reviewed by: Hanson Hom, Community Development Director

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager



City of Sunnyvale

Agenda Item

14-0787

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Determine Priority Needs for Human Services for Fiscal Years 2015-16 and 2016-17 and Supplemental Funding Amount for Fiscal Year 2015-16

BACKGROUND

The City provides grants to eligible human services agencies on a competitive basis pursuant to Council Policy 5.1.3: Human Services, originally adopted in 1981, and amended in 1999 and 2006. Eligible human service agencies are those providing assistance programs for lower-income clients (those with a household income of less than 80% of area median income), such as food, legal services, health care, literacy classes, child care, and so on. Most of the clients served by these programs are seniors, people with disabilities, very low income families with children, and homeless people. Historically the City has used a portion of its annual Community Development Block Grant (CDBG) from the federal government to fund these grants, although in more recent years, City General funds have also been used.

Applications for the human services grants are solicited every other year, following hearings held by the Housing and Human Services Commission (HHSC) and Council to determine the City's current "priority human service needs." Grants are awarded conditionally for a two-year period, with the second-year grants conditioned on several factors, such as successful completion of the grant activity in the first year, compliance with applicable CDBG regulations, and availability of funding for the second year.

The priority needs are those identified through this hearing process as most deserving of the City's funds designated for human services. The total amount of funding requested usually exceeds the amount available by a factor of 2 or more, so it is helpful to let applicants know what the priorities are, so they may determine if their programs are likely to succeed in getting a grant through the City's funding opportunity. Programs that address needs other than the identified priority needs are not excluded from this funding opportunity, although proposals addressing one or more of the priority needs will be awarded more points in the "need" category than those addressing non-priority needs.

After the priority needs have been recommended by the HHSC and approved by Council, staff will issue a request for proposals (RFP) for human services programs serving the priority needs, and will begin reviewing proposals in early 2015. After proposals are reviewed by staff for eligibility, the HHSC will hold several public hearings to evaluate proposals and recommend grant awards to Council. Council will consider the recommended grant amounts and make its final funding decisions in May 2015.

In addition to determining the priority needs, Council has also established a policy of determining the

amount of General funds to be provided for human services grants to supplement the CDBG funds. This is known as supplemental funding, and this process is described further in the Discussion section of this report.

Staff has also included a recommendation for possible modification of the minimum CDBG grant amount as recommended by HUD in its recent monitoring letter, for consideration and potential application to the upcoming two-year cycle. This is described briefly in the Discussion section.

EXISTING POLICY

Human Services Policy 5.1.3

The City will biennially, prior to adoption of the two-year Resource Allocation Plan, review prevailing conditions of human needs within the City and give appropriate attention to Human Services Policies in the City. The Housing and Human Services Commission, following one or more public hearings, will recommend to City Council priority human service needs for the next two years. Following a public hearing, City Council will adopt a two-year priority of human service needs.

2010-2015 HUD Consolidated Plan

Goal C, Objective 1: Support provision of essential human services, particularly for special needs populations.

ENVIRONMENTAL REVIEW

N/A

DISCUSSION

Part 1. Determining Priority Needs

The use of CDBG funds, which comprise about two-thirds of the funding for human services grants at this time, must be consistent with the City's 2010-2015 Consolidated Plan (ConPlan), a five-year strategic plan that the U.S. Department of Housing and Urban Development (HUD) requires the City to prepare as a condition of receiving the CDBG grant. The ConPlan includes the following list of priority needs for human services and prioritized client types, as follows:

Priority Client Types

Very low-income, extremely low-income, and/or special needs households (seniors, disabled, homeless people, children, youth, victims of domestic violence, etc.).

Priority Needs

- A. Basic needs (such as food, shelter, transportation, health & mental health care, employment assistance/training, child care, etc.).
- B. After school or intervention programs to provide youth with positive alternatives to drugs, violence, and/or gangs (i.e., recreational, mentoring, educational, and career-building activities).
- C. Mental health, addiction and substance abuse counseling, particularly for youth and those exiting institutions.
- D. Other specialized supportive services as may be requested by the community, such as foreclosure assistance, legal assistance for seniors and others, and other specialized human services, such as those currently supported by the City, or those that may address a new or

unmet priority need.

At the last priority needs hearing, held on November 13, 2012, Council considered RTC 12-259, which provided several graphs depicting the amount of human services funding by client type and by priority need category in prior years. At that time, Council directed staff to set funding targets for each priority need category, to be used as a general guideline for future allocation decisions, consistent with the distribution provided in that report, which was as follows:

- Basic Needs: 61 percent;
- Youth Intervention Programs: 3 percent;
- Counseling/Substance Abuse Treatment: 14 percent; and
- Other Supportive Services: 22 percent.

The first purpose of the current hearing is to determine whether this list of priority needs should continue to be implemented for the next two-year funding cycle, or if it should be modified or updated in any way prior to solicitation of proposals. The funding targets noted above could also be modified at this time, if desired.

HUD recognizes that the priority needs may change periodically during the 5-year term of the ConPlan, therefore the biennial hearing allows an opportunity for the public and local officials to make adjustments to the list of priorities if needed to reflect evolving local circumstances. Staff recommends holding a public hearing to determine if any modifications to the list may be needed. Any additions to the current list of priority needs will also be included in the 2015-2020 ConPlan update, which will be developed in early 2015 for adoption in May 2015, concurrently with the 2015 Action Plan hearings.

Part 2. Determining Supplemental Funding Amount

For many years, Sunnyvale has provided funding for the human services grants using CDBG and General funds (supplemental funds). Approximately one-third of the funding for the grants has come from the City's General fund in recent years, following Council direction in prior years to include a planned expenditure of \$100,000 annually for human services grants for each of the next twenty years in the City's twenty-year Resource Allocation Plan. Council confirms this appropriation annually when adopting the City budget each June, and has an opportunity to affirm or modify the amount planned for the coming year during the biennial priority needs hearings. For context, a table with the amount of supplemental and CDBG funds provided for this program in the past five fiscal years is provided in **Attachment 1**.

The second purpose of this hearing is to recommend a supplemental funding amount for the coming year, in accordance with this practice.

Part 3 (Optional). Increase Minimum CDBG Grant Limit

The City has been making relatively small grants with its CDBG public services dollars for many years, including grants of well under \$10,000 in years before 2012. Two years ago, Council approved increasing the minimum grant limit to \$10,000 in response to staff and HUD recommendations in order to maximize cost-effectiveness. CDBG funds have always required a significant level of administrative effort by both City and grantee staff, in order to comply with complex regulations and provide very detailed quarterly and annual expenditure and performance reports to

HUD. Recently, increased levels of scrutiny and auditing by HUD, in response to pressure from federal oversight agencies and Congress, have made use of CDBG funds for these small human services grants even more onerous and time-consuming for both grantee and city staff than in years past. For that reason, in its most recent monitoring letter, HUD reiterated its prior recommendation and urged the City to increase its minimum CDBG grant limit to at least fifteen or twenty thousand dollars per grant. Staff believes the appropriate limit would be a minimum of twenty-five thousand dollars, given the high level of reporting and administrative burden associated with each grant.

The last time Council considered raising the minimum grant limit, grantees were resistant, as it meant fewer agencies could get funded. However, the City also needs to be aware of the compliance risks to the City's entire CDBG program and administrative burden it incurs with each additional CDBG grantee. The current proposal differs somewhat from the 2012 recommendation, as staff is only recommending this change for CDBG-funded grants, whereas in 2012 the limit was raised for all human services grants, regardless of funding source.

The minimum grant amount for human services grants funded by the General Fund would not necessarily have to be raised, since the General Fund-funded grants do not incur such a high administrative burden. Staff is not recommending any changes to the maximum grant limit for either funding type (currently 25 percent of the total funding available for human services).

An alternative to increasing the minimum grant amount could be to use a portion of the CDBG public services funds for increased or new City services, such as increased levels of senior care management and/or tenant landlord counseling, and use only a portion of the CDBG public services funds for the largest one or two human services grants, and provide additional supplemental funds to offset the difference to the human services grant program. This policy option would require a deeper review of implications to the General Fund (within the 20 year plan and competing priorities context) and, overall, whether this is a service area that the City would like to invest at a greater level and related policy issues.

FISCAL IMPACT

The recommended alternatives are consistent with the current Adopted Budget and 20-year Resource Allocation Plan, and therefore would have no fiscal impact on the General fund. The recommended actions are for planning purposes only, to allow staff to solicit funding proposals and complete the required annual Action Plan hearings, while formal appropriations for Fiscal Year 2015/16 will be presented in the FY 2015/16 Recommended Budget for Council consideration.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

Four members of the public, each representing human services agencies, spoke at the HHSC hearing on this item on October 22. They each thanked the City for its past support and explained why their programs continue to meet priority needs in the community.

Following the hearing, the HHSC voted to recommend Alternatives 1 and 4 as recommended by

staff, and a modified version of Alternative 3, which was a recommendation that Council determine a supplemental funding amount of \$115,000 for FY 2015-16, and base future adjustments to the supplemental funding amount on annual change in the Consumer Price Index (CPI). The vote was 5-0, with two commissioners absent. Minutes of the meeting are provided in **Attachment 2**.

ALTERNATIVES

1. Approve the list of priority needs as shown above, excerpted from the ConPlan.
2. Approve the list of priority needs shown above, with modifications.
3. Determine a supplemental funding amount of \$100,000 for human services grants for FY 2015-16.
4. Modify the Human Services Policy to increase the minimum grant limit, only for applicants seeking CDBG funds, to \$25,000, and retain the current maximum grant limit of 25% of total human services funding available. The minimum grant limit for applicants seeking General funds only would remain at \$10,000.

STAFF RECOMMENDATION

Alternatives 1, 3 and 4: 1) Approve the list of priority needs as shown above, excerpted from the ConPlan, 3) Determine a supplemental funding amount of \$100,000 for human services grants for FY 2015-16, and 4) Modify the Human Services Policy to increase the minimum grant limit, only for applicants seeking CDBG funds, to \$25,000, and retain the current maximum grant limit of 25% of total human services funding available. The minimum grant limit for applicants seeking General funds only would remain at \$10,000.

Alternative 1: The current list of priority needs is broad enough to encompass virtually all types of human services; therefore modification of the list does not appear to be necessary. However, if members of the public or the Council feel otherwise, modifications can be made at this time.

Alternative 3, determining the supplemental funding amount of \$100,000, is recommended because it is consistent with the City's past practice in accordance with prior Council direction and the 20-year Resource Allocation Plan.

Alternative 4 is recommended to reduce the amount of risk to the City of potential non-compliance by its CDBG sub-recipients and to reduce the significant administrative burden associated with CDBG funds, which is disproportionate to the relatively small size of most of the current human services grants.

COMMISSION RECOMMENDATION

The HHSC recommended Alternatives 1 and 4 as recommended by staff, and a modified version of Alternative 3, which was to recommend that Council determine a supplemental funding amount of \$115,000 for FY 2015-16, and base future adjustments to the supplemental funding amount on annual change in the Consumer Price Index (CPI).

Prepared by: Suzanne Isé, Housing Officer

Reviewed by: Hanson Hom, Director, Community Development

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Historical Human Services Funding Levels
2. Minutes of October 22, 2014, HHSC Meeting

Fiscal Year	Supplemental Funds	CDBG	Total
2009-10*	\$ 109,999	\$ 208,077	\$ 318,076
2010-11**	\$ 78,476	\$ 239,600	\$ 318,076
2011-12	\$ 100,000	\$ 197,717	\$ 297,717
2012-13	\$ 100,000	\$ 217,436	\$ 317,436
2013-14	\$ 100,000	\$ 204,500	\$ 304,500
2014-15	\$ 100,000	\$ 198,933	\$ 298,933
6-Year Avg	\$ 98,079	\$ 211,044	\$ 309,123
4-Year Avg	\$ 100,000	\$ 204,647	\$ 304,647

** In 2009-10, only \$43,388 of the supplemental funds came from the General fund, because an additional \$66,611 in federal stimulus funds (ARRA), was available for the human services grants.*

*** Only \$78K in General funds was needed to fund all the grants at the amounts committed the prior year (2010 was the 2nd year of 2-year cycle) due to approximately \$31K more in CDBG funds compared to 2009.*



City of Sunnyvale

Meeting Minutes - Draft

Housing and Human Services Commission

Wednesday, October 22, 2014

7:00 PM

West Conference Room, City Hall, 456 W.
Olive Ave., Sunnyvale, CA 94086

CALL TO ORDER

Chair Gilbert called the meeting to order at 7:05 p.m.

SALUTE TO THE FLAG

ROLL CALL

Present: 5 - Chair Diana Gilbert
Commissioner Dennis Chiu
Commissioner Patti Evans
Commissioner Chrichelle McCloud
Commissioner Barbara Schmidt

Absent: 2 - Vice Chair Younil Jeong
Commissioner Navpreet (Ruby) Sidhu

Council Liaison Tara Martin-Milius (present)

Vice Chair Jeong (excused absence)

Commissioner Sidhu (excused absence)

Commissioner McCloud arrived at 7:10 p.m.

Chair Gilbert noted that agenda item 4 was being moved ahead of items 2 and 3, as a courtesy to the attendees present for that item. No one objected.

PUBLIC ANNOUNCEMENTS

None.

CONSENT CALENDAR

1.A [14-0978](#) Draft Minutes of the Housing and Human Services
Commission Meeting of September 24, 2014.

Chair Gilbert stated that she had contacted staff to request corrections to the titles of officers listed in the draft minutes. Staff provided a corrected set of minutes prior to the meeting.

Commissioner Evans moved and Commissioner Chiu seconded the motion to approve the consent calendar comprised of the Draft Minutes of the Housing and Human Services Commission meeting of September 24, 2014 as amended. The motion carried by the following vote:

Yes: 4 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner Schmidt

No: 0

Absent: 3 - Vice Chair Jeong
Commissioner McCloud
Commissioner Sidhu

PUBLIC COMMENTS

None.

PUBLIC HEARINGS/GENERAL BUSINESS

- 2** [14-0788](#) Consideration of Housing Mitigation Fee Nexus Study Findings and Alternatives

This item was heard after agenda item 4.

Housing Officer Suzanne Isé gave a summary of the report and noted that the Housing Mitigation fee has been in place since 1983, was added to the Municipal Code in 2003, and was indexed to inflation by Council action in 2008. This fee generates the largest amount of revenue for the City's affordable housing programs. However, the fee rate has not significantly increased since the inception of the program.

She also noted that one of the unique aspects of Sunnyvale's Housing Mitigation fee is that it only applies to new development projects in industrial zones of the City. The goal of the nexus study is to determine an appropriate fee rate based on the amount of housing need generated by new job-creating developments, and how it might be applied more broadly to other commercial zones.

Chair Gilbert opened the public hearing at 8:05 p.m.

Councilmember Martin-Milius asked how the fee would be applied to mixed used projects. Staff explained that the current study does not get into that level of detail, however that is the type of detail that would be addressed in an ordinance

implementing changes to the fee. Staff would most likely recommend taking a pro-rata approach based on the percentage of space dedicated to each use type in the structure, such as office or retail.

Chair Gilbert closed the public hearing at 8:07 p.m.

After additional discussion and clarifying questions of staff, Chair Gilbert asked for a motion.

Commissioner Chiu moved and Commissioner McCloud seconded the motion to approve Alternatives 1, 2, and 4: Recommend that Council expand the Housing Mitigation Fee to all net new square footage of all non-residential development projects, in any zone; recommend that Council consider adopting a fee of \$12 per square foot for office/industrial projects (\$6 per square foot for first 25,000 square feet), and \$6 per square foot for retail and lodging projects, both based on net increase in square footage and adjusted annually for inflation as part of the annual fee schedule adoption; and recommend that Council have the new fee apply to projects where a complete planning application is submitted after the effective date of the fee. The motion carried by the following vote:

Yes: 5 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner McCloud
Commissioner Schmidt

No: 0

Absent: 2 - Vice Chair Jeong
Commissioner Sidhu

- 3** [14-0789](#) Determine Priority Needs for Human Services for Fiscal Years 2015-16 and 2016-17 and Supplemental Funding Amount for Fiscal Year 2015-16

Housing Officer Suzanne Isé gave an overview of the report and explained that this item is heard every other year per Council Policy. It provides an opportunity for the public, the Commission and Council to consider the pressing needs in the community for different types of human services at the time. The list of priority needs determined through these hearings are incorporated into the Request for Proposals for CDBG funding which staff will release this winter. The current priority needs list was developed in 2010 as part of the 2010-2015 Consolidated Plan development.

The actions the Commission is being asked to consider at this time include: review the current list of priority needs and reaffirm it or modify it in any way; consider and make a recommendation to Council regarding the current supplemental funding amount for next year; and consider increasing the minimum CDBG grant amount to \$25,000 to reduce the risk to the City of potential non-compliance by its sub-recipients.

Chair Gilbert opened the public hearing at 8:34 p.m.

The following agencies submitted comment letters prior to the meeting:

Abilities United, Senior Adults Legal Assistance, Family and Children Services, and Catholic Charities Ombudsman Program.

The comment letters noted an increased need for the services provided by these agencies to the City's most vulnerable residents, including: people with physical and developmental challenges; seniors at risk of abuse, isolation or institutionalization; at-risk and very low income youth and their families; and residents of nursing homes and care facilities. The letters expressed support for the provision of \$100,000 in supplemental funding for human services for next year. All the letters expressed gratitude to the City for current and past support of these programs.

The following representatives attended and spoke on behalf of their agencies:

Senior Adults Legal Assistance's Staff Attorney Beatriz Lopez; Bill Wilson's Director of Development Pilar Furlong; Sunnyvale Community Services' Executive Director Marie Bernard; and West Valley Community Services' Executive Director Naomi Nakano-Matsumoto.

The speakers expressed gratitude for the City's continued support and several noted their support for staff's recommendations. They also noted the increased need for their services for seniors, individuals and families who are homeless or at risk of homelessness, and at-risk youth and their families, and also noted that high housing costs contribute to the increased number of clients needing services.

Chair Gilbert closed the public hearing at 9:01 p.m.

After some discussion and questions of staff, Chair Gilbert asked for a motion.

Commissioner Evans moved and Commissioner Chiu seconded the motion to

approve Alternative 1, a modified version of Alternative 3, and Alternative 4, as follows: Recommend to Council the list of priority needs as shown above, excerpted from the ConPlan; recommend that Council determine a supplemental funding amount of \$115,000, to be adjusted annually by increases in the Consumer Price Index, for human services grants; and recommend that Council modify the Human Services Policy to increase the minimum grant limit, only for applicants seeking CDBG funds, to \$25,000, and retain the current maximum grant limit of 25% of total human services funding available. The minimum grant limit for applicants seeking General funds only would remain at \$10,000. The motion carried by the following vote:

Yes: 5 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner McCloud
Commissioner Schmidt

No: 0

Absent: 2 - Vice Chair Jeong
Commissioner Sidhu

- 4 [14-0881](#) Recommend Approval of Assignment and Assumption and Modification Agreements between Senior Housing Solutions, Sunnyvale Senior Homes LLC, an affiliate of Charities Housing, and the City of Sunnyvale Regarding Transfer of 1230 Klee Court and 1675 S. Wolfe Road in Sunnyvale

This item was heard right after the Consent Calendar and before agenda items 2 and 3.

Housing Officer Suzanne Isé explained that the report is regarding the transfer of two senior group homes from Senior Housing Solutions (SHS) to Charities Housing.

in 2013, SHS determined that it was no longer able to operate with its current funding model, and had to dissolve as a non-profit agency and transfer all of its properties to another agency. Staff has been working with SHS and the staff of several other cities and the county for nearly two years to develop solutions to this situation and plan for a smooth transition of the homes. Staff's main concern in looking for a solution was to allow the senior residents to remain in the homes with minimal disruptions. Any other solution, such as selling or foreclosing on the homes, would most likely result in the cities having to relocate the current tenants, which would be very difficult and costly. She introduced the agency which was the

only one interested in assuming responsibility for the homes, Charities Housing, and was approved by all of the participating jurisdictions to take over the homes.

A representative from Charities Housing, Vianey Nava, was present to answer questions.

Chair Gilbert opened the public hearing at 7:29 p.m.

Chair Gilbert closed the public hearing at 7:30 p.m.

Commissioner Chiu moved and Commissioner Schmidt seconded the motion to approve Alternative 1: Recommend the Council Approve the Assignment and Assumption Agreements as presented in Attachments 2 and 3. The motion carried by the following vote:

Yes: 4 - Chair Gilbert
Commissioner Chiu
Commissioner Evans
Commissioner Schmidt

No: 1 - Commissioner McCloud

Absent: 2 - Vice Chair Jeong
Commissioner Sidhu

Commissioner McCloud dissented because she did not agree with the terms of the transfer due to concerns about the agencies' equity in the homes.

NON-AGENDA ITEMS & COMMENTS

-Commissioner Comments

None.

-Staff Comments

None.

ADJOURNMENT

Chair Gilbert adjourned the meeting at 9:15 p.m.



City of Sunnyvale

Agenda Item

14-0817

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

File #: 2014-7423

Location: 1071 Noriega Ave. (APNs: 161-37-017, 161-37-018)

Proposed Project: Related applications on a 0.48-acre site:

REZONE: Introduction of an Ordinance to rezone the site from R-3 (Medium Density Residential) to R-3/PD (Medium Density Residential/Planned Development);

SPECIAL DEVELOPMENT PERMIT: for 10 residential townhome units; and

VESTING TENTATIVE MAP: to subdivide two lots into 10 lots plus a common lot.

Applicant / Owner: Classic Communities (applicant) / Classic 1071 Noriega LP (owner)

Environmental Review: Mitigated Negative Declaration

Project Planner: Rosemarie Zulueta, (408) 730-7437, rzulueta@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Residential Medium Density

Existing Zoning: R-3 (Medium Density Residential)

Existing Site Conditions: Multi-family Residential (11 apartment units)

Surrounding Land Uses

North: Multi-family Residential (medium density)

South: Multi-family Residential (medium density)

East: Single-family Residential (low medium density)

West: Single-family Residential (low density)

Issues: Usable open space and setbacks

Planning Commission Recommendation: Alternative 2: Adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit and Vesting Tentative Map with direction for staff to limit on-street parking on the project site frontage during solid waste pick-up days and to assess and consider the preservation of two existing onsite trees for privacy screening.

Staff Recommendation: Alternative 1: Adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit for 10 residential townhome units and Vesting Tentative Map to subdivide two lots into 10 lots plus a common lot based on the findings in Attachment 3 and with the recommended conditions of approval in Attachment 4.

BACKGROUND

Description of Proposed Project

The project includes the demolition of apartment buildings and construction of 10 townhomes with site improvements. The new units will be grouped into three three-story buildings; one building comprising six townhome units and two buildings comprising two units each (duets). The project includes the following applications.

- **Rezone**

Change under consideration: R-3 to R-3/PD.

The Planned Development (PD) Combining District designation does not change the permitted density of the site. It is a common tool utilized throughout Sunnyvale for infill/small lot developments, and is intended to allow for flexibility in meeting the City's development standards for a more successful project.

- **Special Development Permit**

A Special Development Permit (SDP) is required for site and architectural review on project sites with the PD designation. An SDP also allows for consideration of deviations from specified development standards in exchange for superior design, environmental preservation or public benefit. The applicant is requesting deviations from the requirements for front and side setbacks, distance between buildings and minimum usable open space. The findings required in order to grant an SDP and deviations are discussed in Attachment 3.

- **Vesting Tentative Map**

The Tentative Map is required prior to a Final Map for the creation of 10 individual ownership lots and one common lot. The Tentative Map shows the location of the proposed lot lines, public and private streets and other improvements (see Attachment 6). A Vesting Tentative Map vests the developer's right to build the project for the life of the map and secures the approved project against future Sunnyvale Municipal Code (SMC) amendments that might otherwise affect the project. The Vesting Tentative Map is valid only in conjunction with the approved site plan and conditions of approval. The Tentative Map conditions of approval are listed in Attachment 4. The Final Map is approved by the Director of Public Works and must be in substantial conformance to the Vesting Tentative Map.

See Attachment 1 for the vicinity and noticing radius map and Attachment 2 for the project data table. A project description provided by the applicant is in Attachment 5.

Previous Actions on the Site

There have been no previous development applications on the site. The apartments currently on the site were built in the 1960s.

EXISTING POLICY

General Plan Goals and Policies: Key goals and policies from the Land Use and Transportation Chapter of the General Plan, Council Policy Manual and Citywide Design Guidelines which pertain to the proposed project are provided in Attachment 3.

ENVIRONMENTAL REVIEW

A Negative Declaration has been prepared in compliance with California Environmental Quality Act

(CEQA) provisions and City guidelines (see Attachment 7). An Initial Study has determined that the proposed project would not create any significant environmental impacts with implementation of the recommended mitigation measures pertaining to soil remediation or disturbance of cultural resources.

DISCUSSION

Present Site Conditions

The 0.48-acre project site is located on the corner of Noriega Avenue and Lometa Avenue. The site is currently developed with 11 units in two, two-story apartment buildings, and related accessory structures.

Site Design and Architecture

The proposed site layout is consistent with recently approved small-lot, multi-family infill developments in the City. The three buildings are arranged around a central driveway off of Noriega Avenue that serves as the only access to the project. The proposed unit sizes are consistent with typical townhome developments and range from 1,488 to 1,924 square feet of living area with enlarged garages to meet storage requirements.

The project architecture is contemporary in style, consistent with newer developments in the area. The design includes a comprehensive material and color scheme, the use of wall projections, window detailing, defined entries and variations in garage door designs (see Attachment 6). The applicant has worked with staff to further refine exterior materials, especially on the street-facing façades, and the placement of windows.

Development Standards

The project generally complies with the applicable development standards in the SMC. The project data table in Attachment 2 summarizes the project's compliance with applicable development standards. The applicant has requested deviations from front and side setbacks, distances between buildings and minimum usable open space.

Setbacks

The project site has two street frontages and is therefore subject to a 20-foot setback from both front property lines. A portion of the project along Noriega Avenue does not meet this requirement where the six-unit building is only 15 feet from the Noriega Avenue property line. Shifting the building five feet closer to Noriega Avenue allows the project to meet garage dimension requirements, provide a required unassigned parking space and meet the side yard setback from the neighboring property.

The project does not meet the required 12-foot side yard setback at Lot 4 (opposite of Noriega Avenue). The rear yard setback has been applied to the yard opposite Lometa Avenue to be more compatible with adjacent single-family properties. The applicant is requesting this side yard setback deviation to allow the preservation of two mature cedar trees fronting Noriega Avenue and to provide larger usable open space areas for the duet units.

Distance Between Buildings

The Zoning Code requires a 26-foot separation between buildings on the same lot. The project includes a deviation from this requirement between the two duet buildings, which are separated by 11.5 feet instead of the required 26 feet. The result is larger yard areas for the duet units. While the project could be redesigned to have one building instead of two, this separation serves to break up

mass and bulk (consistent with the Citywide Design Guidelines) and serves as a transition to the adjacent single-family neighborhood.

The building separation requirement applies to all types of development; not just residential. Deviations from this requirement have been granted to similar infill townhome projects on small lots.

Usable Open Space

The project provides 254 square feet of usable open space per unit, which is below the 400-square feet required minimum area. The six-plex units include decks on the second floor, but each one is only 73 square feet, which is seven square feet short of the minimum required size to be counted as usable open space.

Some of the difficulty in providing usable open space is the tension between providing the minimum required density and site design requirements such as pedestrian and vehicular access, parking, setbacks and onsite stormwater management. Meeting all code standards is especially difficult on smaller corner lot developments such as the project site. Although the project is above the 75 percent minimum density set by the General Plan, the project already has a net loss of one unit when compared to the existing 11-unit project. Reducing the number of units to meet usable open space and other requirements would result in a larger net loss of units.

The SMC does not allow counting front yards for usable open space. However, Citywide Design Guidelines discourage “walling off” projects from the street and encourage visible entryways, which put yard areas in front of units. Previously approved projects have been granted half credit for usable open space areas within the front yard of the project site. Granting a deviation for half credit to this project would result in 426 square feet of usable open space per unit, which would be above the 400 square feet per unit required.

Landscaping and Tree Preservation

The project exceeds the 425-square foot minimum landscaped area requirement per unit and provides 794 square feet per unit. The project would also result in less impervious surface area than currently on the site.

There are 10 existing trees on the project site, three of which meet the definition of a “protected tree” in the SMC. A tree survey conducted for the site stated that most of the trees are in fair to excellent condition, but many of them are within the proposed driveway or building footprints. Seven trees are proposed to be removed including one “protected tree,” and three trees are proposed to be preserved, including two “protected trees.” These two protected trees are cedars that front Noriega Avenue and contribute significantly to the existing streetscape.

At the Planning Commission public hearing on October 13, 2014, the Commissioners expressed some concerns regarding two smaller trees (a cedar tree that is 7.2 inches in diameter and an almond tree that is 6.5 inches in diameter) on the west side of the property being proposed for removal (see photos in Attachment 10). Commissioners questioned why these two trees are proposed for removal and recommended the City Arborist review them for potential preservation. Although these trees are not directly within the proposed building footprints, the applicant is proposing to excavate this area in order to lower the height of the units and minimize privacy impacts to adjacent properties. The trees are not likely to survive with that extent of grading. Because these trees are fairly small, they provide minimal privacy screening. The applicant is proposing to plant

additional replacement trees throughout the project site.

In order for newly planted trees to achieve immediate effect, staff recommends condition of approval BP-8 in Attachment 4, which requires any protected trees approved for removal shall be replaced with at least 36-inch box specimen trees and that at least 10 percent of all new trees shall be 24-inch box or larger.

Trash and Recycling Facilities

The project proposal is to have individual trash and recycling carts and pick-up service for each unit. The units in the six-plex fronting Lometa Avenue have enlarged garages (479 to 489 square feet) for storage of individual solid waste carts. The proposed duet units have enclosed private rear yards where the carts can be stored. The carts for all units are proposed to be placed at the curb on Noriega Avenue and Lometa Avenue on pick-up days (see Attachment 6 for Trash Management Plan). Environmental Services and Public Works staff have determined that the preliminary plan satisfies established guidelines for trash and recycling collection in townhome complexes. On-street cart staging has been approved for other more recently approved townhome projects.

During the Planning Commission Study Session, Commissioners and neighbors expressed concerns with the visual impact of the carts on the street and the potential conflicts between pick-up service and perceived limited on-street parking. The Planning Commission gave the direction to explore an option for on-site centralized staging of carts for pick-up days, or to limit on-street parking on pick-up days either through striping the curb red or through parking signs to ensure carts could be serviced.

Given the proposed layout and constraints in meeting the required development standards (parking, usable open space, emergency vehicle access, etc.) in smaller corner lot developments, staff identified the area adjacent to the driveway entrance on Noriega Avenue and the accessible parking space as an option for a centralized cart staging area. This option, however, would result in an increase in impervious surfaces and loss of landscaping. A minimum area of 22 feet wide by 9 feet deep would need to be paved for the cart staging. The applicant has chosen to forego this option as this landscaped area defines the entry to the development and contributes to the streetscape. Providing a centralized trash enclosure would result in a loss of one or more units, smaller units, less usable open space/landscaping or reduced setbacks between the proposed buildings and adjacent single-family properties in order to meet the turnaround requirements for collection vehicles per the *Solid Waste & Recycling Design Guidelines for Multi-family Residential Projects*. Staff considers the on-street staging to be the most appropriate solution for solid waste management while still achieving other benefits of the project.

There are no citywide policies to limit on-street parking during solid waste and recycling pick-up days on residential streets. Limiting the use of the public right-of-way for trash service would set a precedent, and might be better addressed through a study issue to reexamine SMC requirements or the established guidelines for solid waste and recycling facilities.

Parking

Each unit is provided two covered spaces in an enclosed garage. Five unassigned spaces are provided and one of them is accessible per building code. Staff recommends condition of approval GC-5, which prohibits any conversion or addition that would result in additional bedrooms unless additional unassigned spaces can be provided per the Zoning Code.

The project would provide more onsite parking than the existing use (from 13 covered assigned

spaces to 20 covered assigned spaces) and would eliminate the curb cuts and driveways on Lometa Avenue. This may result in more on-street parking than currently available.

FISCAL IMPACT

The project would result in a net decrease in units, and therefore no transportation impact fee or park in-lieu fee is required. Reinvestment in the property and sale of the townhome units will increase property taxes.

PUBLIC CONTACT

Notice of Public Hearings

- Published in the *Sun* newspaper
- Posted on the site
- 765 notices were mailed to property owners and residents within 1,000 ft. of the project site
- Notices were emailed to the Sunnyvale West Neighborhood Association and interested parties

Staff Report

- Posted on the City's Web site
- Provided at the Reference Section of the City's Public Library
- Made available at the City's One-Stop Permit Center and the Office of the City Clerk

Agenda

- Posted on the City's official notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety
- Posted on the City's Web site

Outreach Meeting

The applicant conducted a community outreach meeting on July 17, 2014 at the Sunnyvale Community Center. There were approximately 12 attendees. Neighboring residents expressed concerns about privacy, impact to on-street parking and trash cart pick-up on the street. To address potential privacy impacts, the proposed duet buildings closest to the adjacent single-family homes are set back farther than the existing apartment buildings. The third floor of the duets is stepped back even further and includes clerestory windows at the rear elevation for additional privacy. Attachment 6 includes a site section illustrating the existing and proposed privacy impacts to adjacent single-family homes.

Planning Commission Study Session

A Planning Commission study session was held for this project on July 28, 2014. The Commissioners noted concerns regarding the street staging of the trash carts (as previously discussed), the pedestrian connection from the duet buildings to Noriega Avenue and surface treatment of the driveway aisle. The applicant has revised the plans to enhance the driveway and parking areas with a color stamped asphalt treatment and to delineate a pedestrian path from the duet buildings to Noriega Avenue in response to the Commissioners' concerns. Attachment 5 includes the applicant's written response to the Planning Commission's concerns.

Planning Commission Public Hearing

The Planning Commission considered this project at a public hearing on October 13, 2014. No members of the public spoke at the hearing. The Planning Commission voted in support of the

project with the recommendation for Council to direct staff to limit on-street parking along the project frontage during trash pick-up days. The Commission also recommended a condition of approval for the City Arborist to review the two existing trees on the west side of the project site for potential retention as they were thought to contribute towards privacy screening between adjacent properties. The draft public hearing minutes are included in Attachment 9.

ALTERNATIVES

1. Adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit for 10 residential townhome units and Vesting Tentative Map to subdivide two lots into 10 lots plus a common lot based on the findings in Attachment 3 and with the recommended conditions of approval in Attachment 4.
2. Adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit and Vesting Tentative Map with modified findings or conditions.
3. Adopt the Mitigated Negative Declaration; do not introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018); and deny the Special Development Permit and Vesting Tentative Map.
4. Do not adopt the Mitigated Negative Declaration and direct staff as to where additional environmental analysis is required.

STAFF RECOMMENDATION

Alternative 1: Adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit for 10 residential townhome units and Vesting Tentative Map to subdivide two lots into 10 lots plus a common lot based on the findings in Attachment 3 and with the recommended conditions of approval in Attachment 4.

PLANNING COMMISSION RECOMMENDATION

The Planning Commission recommends Alternative 2: Adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit and Vesting Tentative Map with direction for staff to limit on-street parking on the project site frontage during solid waste pick-up days and to assess and consider the preservation of two existing onsite trees for privacy screening.

Staff does not recommend the Planning Commission project changes. The locations for the trash carts were found acceptable by the Public Works and Environmental Services staff. There are currently no citywide policies or provisions to limit on-street parking during solid waste pick-up days, and requiring this condition on the project would be precedent-setting. The two trees in question provide minimal screening because of their small size. The applicant is proposing these trees for removal in order to grade the area and lower the proposed building heights to minimize privacy impacts to adjacent homes. The applicant will be planting additional replacement trees throughout the project site.

Prepared by: Rosemarie Zulueta, Associate Planner

Reviewed by: Trudi Ryan, Planning Officer

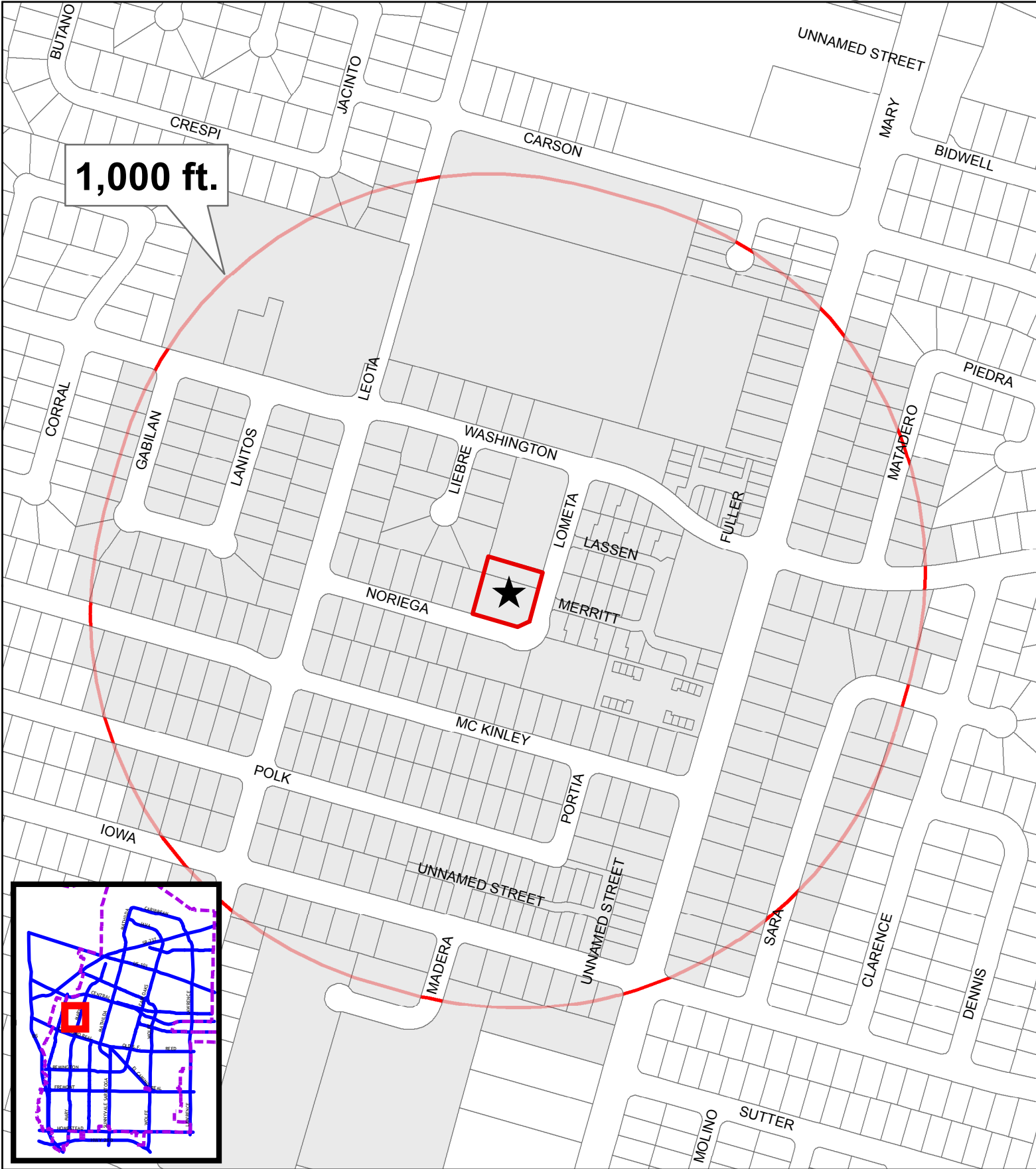
Reviewed by: Hanson Hom, Director, Community Development

Reviewed by: Robert A. Walker, Assistant City Manager

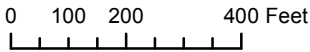
Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Vicinity and Noticing Radius Map
2. Project Data Table
3. Recommended Findings for Approval and General Plan Goals and Policies
4. Recommended Conditions of Approval
5. Applicant's Project Description and Response to Concerns from the Planning Commission Study Session
6. Project Plans dated August 22, 2014
7. Mitigated Negative Declaration
8. Draft Rezoning Ordinance
9. Planning Commission Minutes from October 13, 2014
10. Photos of Trees in West (Rear) Yard



1071 Noriega Avenue (APN: 161-37-017, -018)
Rezone the site from R-3 (Medium Density Residential)
to R-3/PD (Medium Density Residential/Planned Development)



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Medium Density	No Change	Residential Medium Density
Zoning District	R-3	R-3/PD	R-3/PD
Lot Size (s.f.)	20,986	No Change	8,000 min.
Gross Floor Area (s.f.)	8,829	21,386	No Max
Lot Coverage (%)	N/A	37.2%	40% max.
No. of Units	11	10	11 max.
Density (units/acre)	22.8	20.8	24 max
Meets 75% min?	N/A	Yes	8 min.
Bedrooms/Unit	1-2	3	---
Unit Sizes (s.f.)	800	1488-1924	N/A
Lockable Storage/Unit	N/A	Within 2-car garage	300 cu. ft. min. storage or 2-car garage
No. of Buildings On-Site	2	3	---
★ Distance Between Buildings (ft.)	N/A	11.5 @ duets 26.8 @ driveway	26 min. for 3-story
Building Height (ft.)	N/A	35.8 @6-plex bldg. (35 ft.-10 in.) 33.9 @duet bldgs. (33 ft-11 in.)	40 max. with Green Building Incentive
No. of Stories	2	3	3 max.
Setbacks			
Front (ft.) (Lometa Ave.)	N/A	21	20 min.
★ Front (ft.) (Noriega Ave.)	N/A	15	20 min.
★ Right Side (ft.)	N/A	9	12 min
Rear (ft.)	N/A	18 @1 st story/20 @ upper stories	10-ft for 1 st story encroachment/ 20 min.
Landscaping			
Total Landscaping (sq. ft.)	N/A	7,940	4,250 min.
Landscaping (sq. ft. per unit)	N/A	794 per unit	425 min. per unit

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
★ Usable Open Space (sq. ft. per unit)	N/A	254 per unit (426 per unit with 50% credit for open space in front yard areas)	400 min. per unit
Parking Lot Area Shading (%)	N/A	79%	50% min. in 15 years
Water Conserving Plants (%)	N/A	94% (8% turf)	80% min. (+ limit 25% turf)
Parking			
Total Spaces	13 Resident 5 Guest	20 Resident 5 Guest	25 min.
Standard Spaces	N/A	100% Assigned 100% Unassigned	100% Assigned 90% Unassigned
Compact Spaces/ % of Total	N/A	0	10% max. unassigned
Accessible Spaces	N/A	Per Building Code	Per Building Code
Covered Spaces	N/A	2 per Unit	1 per Unit
Aisle Width (ft.)	N/A	20'	18' min. ¹
Bicycle Parking	N/A	10 Secured in Garages	4 Secured
Stormwater			
Impervious Surface Area (sq. ft.)	14,810	12,375	None per zoning code
Impervious Surface (%)	71%	59%	None per zoning code

1. Fire Code requires 20 feet.

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

RECOMMENDED FINDINGS
2014-7423
1071 Noriega Ave.

Rezone

In order to approve a Rezoning request, the City Council is required by SMC 19.92.080 to make a finding that “the amendment, as proposed, changed or modified, is deemed to be in the public interest.” The proposed Rezoning is consistent with this finding because it is consistent with the General Plan land use designation and density, while also assisting the City in meeting its housing goals by providing ownership housing.

Special Development Permit

Goals and Policies that relate to this project are:

- **Policy LT-2.1** Recognize that the City is composed of residential, industrial and commercial neighborhoods, each with its own individual character; and allow change consistent with reinforcing positive neighborhood values.
- **Policy LT-3.2** Encourage the development of ownership housing to maintain a majority of housing in the city for ownership choice.
- **Policy LT-4.1** Protect the integrity of the City’s neighborhoods; whether residential, industrial or commercial.
- **Policy LT-4.2** Require new development to be compatible with the neighborhood, adjacent land uses, and the transportation system.
- **Policy LT-4.4** Preserve and enhance the high quality character of residential neighborhoods.
- **Policy CC-1.3** Ensure that new development is compatible with the character of special districts and residential neighborhoods.
- **Policy CC-2.1** Maintain and provide attractive landscaping in the public right-of-way to identify the different types of roadways and districts, make motorists more comfortable and improve the enjoyment of residential neighborhoods.
- **Policy HE-4.3** Require new development to build to at least 75 percent of the maximum zoning density, unless an exception is granted by the City Council.

In order to approve the Special Development Permit, the decision maker must be able to make at least one

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale. (*Finding met.*)

The proposed project meets the goals and policies of the General Plan as listed above by providing 10 ownership housing units in compliance with the planned residential density for the area. Although the project would result in a net loss of one

unit, it still attains the objectives of the General Plan by providing home ownership opportunities. The high quality architectural design and materials of the proposed townhomes will enhance the neighborhood aesthetics and contribute positively to the streetscape and character.

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties. (*Finding met.*)

The project complies with most development standards and is compatible with the mixed character of the neighborhood, which consists of both single-family and multi-family housing. The proposed townhomes have been designed to reduce privacy and visual impacts to adjacent properties through the placement of windows and by providing increased setbacks from shared property lines, particularly at the third story of the buildings.

Tentative Map

In order to approve the Tentative Map, the proposed subdivision must be consistent with the general plan. Staff finds that the Tentative Map is in conformance with the General Plan. However, if any of the following findings can be made, the Tentative Map shall be denied.

1. That the subdivision is not consistent with the General Plan.
2. That the design or improvement of the proposed subdivision is not consistent with the General Plan.
3. That the site is not physically suitable for the proposed type of development.
4. That the site is not physically suitable for the proposed density of development.
5. That the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
6. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
7. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
8. That the map fails to meet or perform one or more requirements or conditions imposed by the "Subdivision Map Act" or by the Municipal Code.

Staff was not able to make any of the following findings and recommends approval of the Tentative Map.

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
NOVEMBER 11, 2014**

Planning Application 2014-7423

1071 Noriega Ave.

(APNs 161-37-017 and 161-37-018)

Rezone from R-3 to R-3/PD, Special Development Permit for 10 townhome units and Tentative Map to subdivide two lots into 10 lots plus a common lot. Project includes deviations from front and side yard setback, distance between buildings and usable open space requirements.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

<p>GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.</p>

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

- The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]
- GC-3. INDEMNITY:
The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]
- GC-4. NOTICE OF FEES PROTEST:
As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]
- GC-5. FUTURE HOME ADDITIONS:
Future home additions will be subject to the Sunnyvale Municipal Code development standards for properties within the R-3 zoning district, such as setbacks, parking, lot coverage and floor area ratio. Home additions will be subject to the required permit procedures in place at that time, to ensure conformance with development standards, design guidelines, and compatibility with the subdivision and neighboring properties. [COA] [PLANNING]
- GC-6. ON-SITE AMENITIES:
Swimming pools, pool equipment structures, play equipment and other accessory utility buildings, except as otherwise subject to Planning Commission review, may be allowed by the Director of Community Development subject to approval of design, location and colors. [COA] [PLANNING]
- GC-7. BMR OWNERSHIP HOUSING COMPLIANCE:

This project is subject to the City's Below Market Rate (BMR) Housing requirements as set forth in Sunnyvale Municipal Code Chapter 19.67 and the BMR Program Guidelines, both as may be amended. Developer shall enter into a BMR Developer Agreement in a form provided by the City, to be recorded against the property before issuance of building permits or recordation of a final map, whichever occurs first. When dwelling units in the project are made available for sale, the project will provide one (1) Below Market Rate dwelling unit for sale and pay a fractional in-lieu fee of 0.25 units in compliance with the BMR requirements set forth in SMC 19.67 and the BMR Program Guidelines. [SDR][HOUSING]

GC-8. STORMWATER MANAGEMENT PLAN:

Project is subject to Provision C3, of the Municipal Regional Stormwater Permit Order No. R2-2009-0074, as determined by a completed "Stormwater Management Plan Data Form", and therefore must submit a Stormwater Management Plan as per SMC 12.60.140 prior to issuance of the building permit. [SDR] [PLANNING]

GC-9. PUBLIC IMPROVEMENTS:

The developer is required to install all public improvements, including but not limited to, curb & gutter, sidewalks, driveway approaches, curb ramps, street pavements, utility extensions and connections, meters/vaults, trees and landscaping, striping, street lights, etc. as required by the Director of Public Works. All public improvements shall be designed and constructed in accordance with current City design standards, standard details and specifications, and Americans with Disabilities Act (ADA) requirements where applicable, unless otherwise approved by the Department of Public Works. [COA] [PUBLIC WORKS]

GC-10. OFF-SITE IMPROVEMENT PLANS:

Submit off-site improvement plans separate from the Building on-site improvement plans as the off-site improvement plans are approved through a Public Works Encroachment Permit process. [SDR] [PUBLIC WORKS]

GC-11. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

GC-12. FINAL MAP RECORDATION:

This project is subject to, and contingent upon the approval of a tentative map and recordation of a final map. The submittal, approval and recordation of the Final Map shall be in accordance with the provisions of the California Subdivision Map Act and Sunnyvale Municipal Code Title 18 Subdivision requirements. All existing and proposed property lines, easements, dedications shown on the tentative map are subject to City's technical review and approval during the final map process prior to any grading or building permit issuance. [COA] [PUBLIC WORKS]

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. FINAL ON-SITE LANDSCAPE AND IRRIGATION PLAN REVIEW:

A final on-site landscape and irrigation plan is required to demonstrate compliance with Sunnyvale Municipal Code requirements and Conditions of Approval BP-8 and BP-9 prior to submittal of a building permit through a separate Miscellaneous Plan Permit (staff-level review) process. The plan must also show the location of all fences and walls, and mechanical equipment per Condition of Approval BP-6. [COA] [PLANNING]

PS-2. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

PS-3. BMR STANDARD PERMIT CONDITION:

The developer shall complete a "BMR Standard Conditions Form" provided by the Housing Division and submit it with a site plan to the Housing Division for review before submitting building permit applications for the project. The site plan must describe the number, type, size and location of each unit on the site. This information will be used to complete the Developer Agreement. [SDR] [HOUSING/BMR Administrative Guidelines]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. NOTICE OF CONDITIONS OF APPROVAL:

A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number, attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are the person(s) who have signed the Notice of Conditions of Approval. [COA] [PLANNING]

BP-4. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-5. BMR DEVELOPMENT AGREEMENT:

Before issuance of building permits for the project, the developer shall enter into a Development Agreement with the City to establish the method by which the development will comply with the applicable BMR requirements. The form of the Developer Agreement will be provided by the City, with tables regarding unit characteristics and timing of completion to be completed by the Developer, and is subject to the approval of the Community Development Director or his/her designee, consistent with the SMC. The completed Developer Agreement must be executed by both parties and recorded against the property, and will run with the land.

In the event that any Below Market Rate dwelling unit or any portion thereof in the development is destroyed by fire or other cause, all

- insurance proceeds therefrom shall be used to rebuild such units, which will remain subject to the terms of the Developer Agreement and the BMR requirements. Grantee hereby covenants to cause the City of Sunnyvale to be named an additional insured party to all fire and casualty insurance policies pertaining to said assisted units. [SDR] [HOUSING/BMR Administrative Guidelines]
- BP-6. SOLID WASTE DISPOSAL PLAN:
A detailed recycling and solid waste disposal plan shall be submitted for review and approval by the Director of Community Development prior to issuance of building permit. The solid waste disposal plan and building permit plans shall demonstrate compliance with current City requirements and guidelines for residential projects. [COA] [PLANNING/ENVIRONMENTAL SERVICES]
- BP-7. MECHANICAL EQUIPMENT (EXTERIOR):
Detailed plans showing the locations of individual exterior mechanical equipment/air conditioning units shall be submitted and subject to review and approval by the Director of Community Development prior to issuance of building permits. Proposed locations shall have minimal visual and minimal noise impacts to neighbors and ensure adequate usable open space. Individual exterior mechanical equipment/air conditioning units shall be screened with architecture or landscaping features. [SDR] [PLANNING]
- BP-8. LANDSCAPE PLAN:
Landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. Final landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). The landscape plan shall include the following elements:
- a) All areas not required for parking, driveways or structures shall be landscaped.
 - b) Ten percent (10%) shall be 24-inch box size or larger and no tree shall be less than 15-gallon size.
 - c) Any “protected trees”, (as defined in SMC 19.94) approved for removal, shall be replaced with a specimen tree of at least 36-inch box size.
 - d) Ground cover shall be planted so as to ensure full coverage 18 months after installation.
 - e) Backflow device and other appurtenances are to include screening and covers as approved by the Director of Community Development. This includes all devices (irrigation, DCDA, etc.) located in the front yard landscape areas. Covers should be black, metal mesh with rounded top covers (e.g. “mailbox style”).

- f) Decorative paving shall be used on the drive aisle and on the pedestrian path connecting the duet units to Noriega Avenue. The paving design shall distinguish the pedestrian path from the vehicular drive aisle. [COA] [PLANNING]

BP-9. PRE-APPROVED WATER-EFFICIENT LANDSCAPE PLANS:

The developer must install all front yard landscaping and irrigation per approved water-efficient landscape plans, and must submit (also applicable to rear yard landscaping) a Landscaping Certificate of Completion, Irrigation Audit Report and Irrigation Schedule, and Landscaping Maintenance Schedule. Regarding rear yard landscaping, future homeowners must decide to either:

- a) Have the developer install the landscaping per plans (developer to provide plans to homeowner at no charge),
- b) Select their own landscape professional to install landscaping per plans, or
- c) Submit an alternative water-efficient landscape plan for staff approval. [COA] [PLANNING]

BP-10. LANDSCAPE MAINTENANCE PLAN:

Prepare a landscape maintenance plan subject to review and approval by the Director of Community Development prior to issuance of building permit. All landscaping within the corner and driveway vision triangles shall be properly maintained to ensure vision triangle clearance per Sunnyvale Municipal Code requirements. [COA] [PLANNING]

BP-11. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
- b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.

- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-12. STORMWATER MANAGEMENT PLAN:

Submit two copies of a Stormwater Management Plan subject to review and approval by Director of Community Development and third party certification, pursuant to SMC 12.60, prior to issuance of building permit. Submit two copies of an updated Stormwater Data Form. [COA] [PLANNING/PUBLIC WORKS]

BP-13. STORMWATER MANAGEMENT PLAN THIRD PARTY CERTIFICATION:

Third party certification of the Storm Water Management Plan is required per the following guidance: City of Sunnyvale – Storm Water Quality BMP Applicant Guidance Manual for New and Redevelopment Projects - Addendum: Section 3.1.2 Certification of Design Criteria Third-Party Certification of Storm Water Management Plan Requirements. The third party certification shall be provided prior to building permit issuance. [SDR] [PLANNING/PUBLIC WORKS]

BP-14. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.

- ii) Dumpster drips from covered trash and food compactor enclosures.
- iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
- iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
- v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-15. EXTERIOR LIGHTING PLAN:

Prior to issuance of a Building Permit submit an exterior lighting plan, including fixture and pole designs, for review and approval by the Director of Community Development. Driveway and parking area lights shall include the following:

- a) Sodium vapor (or illumination with an equivalent energy savings).
- b) Pole heights to be uniform and compatible with the areas, including the adjacent residential areas. Light standards shall not exceed 18 feet on the interior of the project and 8 feet in height on the periphery of the project near residential uses.
- c) Provide photocells for on/off control of all security and area lights.
- d) All exterior security lights shall be equipped with vandal resistant covers.
- e) Wall packs shall not extend above the roof of the building.
- f) Lights shall have shields to prevent glare onto adjacent residential properties. [COA] [PLANNING]

BP-16. PHOTOMETRIC PLAN:

Prior to issuance of a Building Permit submit a contour photometric plan for approval by the Director of Community Development. The plan shall meet the specifications noted in the Standard Development Requirements. [COA] [PLANNING]

BP-17. LIGHTING SPACING:

Installation of lights shall be at a minimum of 50 feet intervals along the private street/drive aisle. [COA] [PLANNING]

BP-18. PARKING MANAGEMENT PLAN (RESIDENTIAL MULTI-FAMILY):

A Parking Management Plan is subject to review and approval by the Director of Community Development prior to issuance of a building permit. The Parking Management Plan shall include the following:

- a) A clear definition of “guest” as proposed by the property manager/homeowner’s association and subject to review and approval by the Director of Community Development.

- b) The property manager/homeowner's association may specify that 25% to 75% of unassigned spaces be reserved for guest use.
- c) Clearly indicate that the property manager/homeowner's association shall not rent unassigned spaces, except that a nominal fee may be charged for parking management.
- d) Residents shall use their garage parking spaces prior to using unassigned parking spaces.
- e) Prohibit tenants from parking RV's, trailers, or boats in assigned spaces.
- f) Notify potential residents that number of parking spaces provided for each unit on-site as per the approved plans. [PLANNING] [COA]

BP-19. GREEN BUILDING:

The plans submitted for building permits shall demonstrate the project achieves a minimum of 110 points on the Green Point Rated checklist, or the minimum points required effective at the time of building permit submittal. The project plans shall be accompanied with a letter from the project's Green Point Rater/LEED AP verifying the project is designed to achieve the required points. [COA] [PLANNING] [BUILDING]

BP-20. CONSTRUCTION MANAGEMENT PLAN:

The project applicant shall implement a Construction Management Plan (CMP) to minimize impacts of construction on surrounding residential uses to the extent possible. The CMP shall be subject to review and approval by the Director of Community Development prior to issuance of a demolition permit, grading permit, or building permit. The CMP shall identify measures to minimize the impacts of construction including the following:

- a) Measures to control noise by limiting construction hours to those allowed by the SMC, avoiding sensitive early morning and evening hours, notifying residents prior to major construction activities, and appropriately scheduling use of noise-generating equipment.
- b) Use 'quiet' models of air compressors and other stationary noise sources where such technology exists.
- c) Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
- d) Locate all stationary noise-generating equipment, such as air compressors and portable power generators, as far away as possible from residences or other noise-sensitive land uses.
- e) Locate staging areas and construction material areas as far away as possible from residences or noise-sensitive land uses.
- f) Route all construction traffic to and from the project site via designated truck routes where possible. Prohibit construction-related heavy truck traffic in residential areas where feasible.

Obtain approval of proposed construction vehicle truck routes from the Department of Public Works.

- g) Manage construction parking so that neighbors are not impacted by construction vehicles. When the site permits, all construction parking shall be on-site and not on the public streets.
- h) Prohibit unnecessary idling of internal combustion engine-driven equipment and vehicles.
- i) Notify all adjacent business, residents, and noise-sensitive land uses of the construction schedule in writing. Notify nearby residences of significant upcoming construction activities at appropriate stages in the project using mailing or door hangers.
- j) Designate a “disturbance coordinator” who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint and will require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule. [COA] [PLANNING]

BP-21. HISTORIC AND CULTURAL RESOURCES:

Final construction drawings shall incorporate all mitigation measures related to historic and cultural resources as set forth under “Mitigation Measures” in the approved environmental document and as noted below. [COA] [PLANNING]

Mitigation Measure – Historic and Cultural Resources

WHAT:

- (1) Provide documentation that construction staff has been informed of the following requirement. In the event archaeological resources are encountered during construction, work should be temporarily halted in the vicinity of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. Project personnel should not collect cultural resources. Native American resources include chert or obsidian flakes, projectile points, mortars, and pestles; and dark friable soil containing shell and bone dietary debris, heat-affected rock, or human burials. Historic-period resources include stone or adobe foundations or walls; structures and remains with square nails; and refuse deposits or bottle dumps, often located in old wells privies.
- (2) Any identified cultural resources shall be recorded on DPR 523 historic resource recordation forms.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City’s Planning Commission. The conditions will

become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-22. HAZARDS AND HAZARDOUS MATERIALS:

Final construction drawings shall incorporate all hazards and hazardous materials mitigation measures as set forth under “Mitigation Measures” in the approved environmental document and as noted below. [COA][PLANNING]

Mitigation Measure – Hazards and Hazardous Materials

WHAT:

- (1) The soil along the southern project site boundary (at SB-3 as indicated in Figure 3 of the Phase I and II Environmental Site Assessment prepared by Tetra Tech GEO and dated January 28, 2014) shall be removed to a depth of approximately one (1) foot prior to or during redevelopment activities to remove soil containing Dieldrin concentrations to below human health-based agency screening levels.
- (2) Following excavation, confirmation soil samples shall be collected to confirm that soil containing elevated Dieldrin concentrations has been removed.
- (3) Following excavation, the soil shall be tested for pesticides to assist in determining the appropriate disposal option for the soil.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City’s Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-23. DEMOLITION/CONSTRUCTION/RECYCLING WASTE REPORT FORM:

To mitigate the impacts of large projects on local waste disposal and recycling levels, demolition waste weights/volumes, construction weights/volumes, and recycling weights/volumes are to be reported to the city, per city’s “waste & recycling reporting form” (electronic copy

available) or a similar chart approved by the city. As part of the project's construction specifications, the developer shall track the type, quantity, and disposition of materials generated, and forward a complete report to the department of environmental services, solid waste division both periodically and at project completion. [COA] [ENVIRONMENTAL SERVICES]

EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. COMPLETE OFF-SITE IMPROVEMENT PLAN SET:

A complete plan check set applicable to the project, including street improvement plans, streetlight plans, streetscape plans, traffic control plans, shall be submitted as part of the first off-site improvement plans, including engineering cost estimates. Joint trench plans may be submitted at a later date. No partial sets are allowed unless otherwise approved by the Director of Public Works. [COA][PUBLIC WORKS]

EP-2. UTILITY CONNECTION:

This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]

EP-3. UTILITY CONNECTION TO THE MAIN:

All sanitary sewer laterals and storm drain main line connecting to the existing manholes shall comply with current City's standard requirements and specifications. [SDR] [PUBLIC WORKS]

EP-4. UTILITY ABANDONMENT/RELOCATION:

Developer is responsible for research on all existing utility lines to ensure that there are no conflicts with the project. All existing utility lines (public or private) and/or their appurtenances not serving the project and/or have conflicts with the project, shall be capped, abandoned, removed, relocated and/or disposed to the satisfaction of the Director of Public Works. Existing public facilities within the street right-of-way shall be abandoned per City's Abandonment Notes, including abandonment by other utility owners. [COA] [PUBLIC WORKS]

EP-5. DRY UTILITIES:

Submit dry utility plans and/or joint trench plans (PG&E, telephone, cable TV, fiber optic, etc.) to the Public Works Department for review and approval prior to the issuance of any permits for utility work within public right-of-way or public utility easements. Separate encroachment permits shall be required for various dry utility constructions. [SDR] [PUBLIC WORKS]

EP-6. MODIFICATIONS TO EXISTING PUBLIC UTILITIES:

Developer is required to pay for all changes or modifications to existing city utilities, streets and other public utilities within or adjacent to the project site, including but not limited to utility facilities/conduits/vaults relocation due to grade change in the sidewalk area, caused by the development. [COA] [PUBLIC WORKS] (SMC 18.20.250)

EP-7. WET UTILITIES:

All wet utilities (water, sanitary sewer, storm drain) on private property shall be privately owned and maintained. For water line, install public master water meter(s) in the public right-of-way and install individual private water meters for each unit on-site. For each public master water meter installation, install a RP Principle Backflow Assembly. For private sanitary sewer and storm drain, install a manhole at the right-of-way line. Install a separate irrigation water service line and meter with a backflow prevention device. The fire and domestic water systems shall be privately owned and maintained beyond the meter. [COA] [PUBLIC WORKS]

EP-8. RE-USE OF EXISTING CITY UTILITY SERVICE LINES:

The re-use of any existing City utility service lines and appurtenances is subject to City's review and approval. Developer's contractor shall expose the existing facilities during construction for City's evaluation or provide video footage of the existing pipe condition. Developer's contractor shall replace any deficient facilities as deemed necessary by Public Works Department. [COA] [PUBLIC WORKS]

EP-9. PUBLIC FIRE HYDRANTS:

Remove and replace the existing fire hydrant barrel at Lometa Avenue and Noriega Avenue to current City standard Clow-Rich 75. Public fire hydrant shall be maintained free and clear of all vines, shrubs, bushes, ivy, etc. for a minimum of three feet. [COA] [PUBLIC WORKS/PUBLIC SAFETY-FIRE PROTECTION]

EP-10. WATER METER:

Install new radio-read domestic water meter. Provide meter sizing calculations to the Public Works Department for approval of meter size.

EP-11. IRRIGATION METER:

The new irrigation water meter shall be radio-read water meter. Install a backflow prevention device for irrigation water service line. All landscape and irrigation systems, located in the public park strip areas shall be connected to the water system metered to the property owner. [COA] [PUBLIC WORKS]

- EP-12. UTILITY METER/VAULT AT DRIVEWAY APPROACH:
No existing or new utility meters or vaults shall be located within the new driveway approach areas. [COA] [PUBLIC WORKS]
- EP-13. SANITARY SEWER ANALYSIS:
Submit a focused sanitary sewer analysis identifying the overall project impact to the City's existing sanitary sewer main(s). This includes, but is not limited to, the following:
- a) A detailed estimate of water consumption in gallons per day or estimate of sanitary sewer discharge in gallons per day; and
 - b) Any incremental impact that will result from the new project in comparison to the existing sewer capacity of the immediate downstream mainline as needed, and allocation of wastewater discharge from the project site to each of the proposed laterals. Any deficiencies in the existing system in the immediate vicinity of the project will need to be addressed and resolved at the expense of the developer as part of the off-site improvement plans.
[COA] [PUBLIC WORKS]
- EP-14. SANITARY SEWER AND STORM DRAIN TRIBUTARY PATTERN:
This project is required to follow the existing sanitary sewer and storm drain tributary pattern. Any deviations would require additional analysis and be subject to approval by the Director of Public Works as part of the off-site improvement plan review process. This project shall not cause any negative impact on the drainage pattern for adjacent properties. [COA] [PUBLIC WORKS]
- EP-15. STORM DRAIN DESIGN
The proposed storm drain pipe in the public right-of-way as shown on the vesting tentative map is subject to review and approval by the Department of Public Works during the plan check review stage. Provide storm drain hydrology and hydraulic calculations to justify the size of the with a flow depth not exceeding 75% in the main. The new storm drain main line shall be minimum 18 inches diameter.
- EP-16. STREETLIGHTS:
- a) Remove the two existing street light fixtures and replace with new LED fixtures along both Lometa Avenue and Noriega Avenue.
 - b) Provide photometric analysis to confirm if the street lighting along the project frontage is in accordance with the City's Roadway Lighting Design Criteria. The minimum average luminance shall be approximately 0.4 fc and the uniformity ratio shall be approximately 6.0 for both Lometa Avenue as well as Noriega Avenue.
 - c) The photometric analysis shall include all the streetlights on the project frontage upgraded to LED and the existing streetlights on the opposite side of the project. The photometric plan shall also show the Luminaire schedule and the calculation summary.

- d) Replace all existing streetlight conduits, wires and pull boxes with new ones along the entire project frontage per City's current standards.
- e) If new streetlights need to be installed or existing streetlights need to be relocated to comply with City's design criteria, the following items are required:
Submit separate streetlight plans concurrently with the off-site improvement plan review to include installation of new conduits, existing and/or new locations of power source connection and new service pedestal, conductors, pull boxes, voltage drop and load calculations, and any other streetlight equipment as required to be installed by Developer per latest City standard details and specifications and National Electrical Code. Obtain PG&E's approval for new service pedestal, if required, prior to Encroachment Permit issuance by Public Works Department.[SDR]
[PUBLIC WORKS]

EP-17. DRIVEWAY APPROACHES:

Construct a new driveway approach per current City standard details and specifications. All unused driveway approaches shall be replaced with new curbs, gutters, park-strip and sidewalks per current City standards. [SDR] [PUBLIC WORKS]

EP-18. STREETSCAPE IMPROVEMENTS:

Remove existing concrete curb and 2' gutter and install new concrete curb and 1' gutter per current City standards along the entire project frontage. Provide gutter transition to conform to existing 2' gutter at project limits. Install a 4-foot wide parkstrip (not including 6-inch curb) and 6-foot wide detached sidewalk along the entire project frontage per City's standard detail 9C-1. [COA] [PUBLIC WORKS]

EP-19. CITY STREET TREES:

The developer shall install required street trees along the project frontage as follows: Quercus Frainetto – Italian Oak on Lometa Avenue And Quercus K Elloggii – California Black Oak on Noriega Avenue. Street trees and frontage landscaping shall be included in the detailed landscape and irrigation plan subject to review and approval by the Department of Public Works prior to issuance of encroachment permit. New street trees shall be 24-inch box size or 15 gallon size. The city tree spacing should be approximately 35 feet apart. A continuous root barrier shall be installed along both sides of the parkstrip area. No trees are to be planted within 10' of a sanitary sewer lateral. All existing Liquidambar trees along project frontage shall be removed. [SDR] [PUBLIC WORKS]

- EP-20. PROTECTION OF EXISTING TREES:
No utility trench shall be allowed within 15' radius of an existing mature tree. Boring, air spade or other excavation method as approved by the City Arborist shall be considered to protect existing mature tree. Consult with the City Arborist prior to adjusting locations of utility lines. [SDR] [PUBLIC WORKS]
- EP-21. DEFICIENT PUBLIC IMPROVEMENTS:
Any and all existing minor deficient public improvements (such as curb and gutter, sidewalk, backflow preventer, etc.) which are not in accordance to the latest city standards, and are not specifically identified in the project conditions, shall be upgraded to current city standards as required by the Director of Public Works as part of the off-site improvement plan review and approval. [COA] [PUBLIC WORKS]
- EP-22. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:
Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Director of Public Works. [COA] [PUBLIC WORKS]
- EP-23. STREET PAVEMENT:
Install type II slurry seal for the easterly half of the street on Lometa up to washignton Avenue, and a portion of full street width slurry seal fronting the project site as determined by the City during plan check stage unless otherwise approved by the director of public works with alternatives. [SDR] [PUBLIC WORKS]
- EP-24. TRAFFIC CONTROL PLAN:
Submit a traffic control plan with the off-site improvement plans for review and approval. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris. [COA] [PUBLIC WORKS]
- EP-25. NO PARKING SIGN:
Install the following signs and posts:
- R28(CA) - left arrow, on the west side of Lometa Avenue, approximately 22 feet east of the curb return at Noriega Avenue
 - R28(CA) - right arrow, immediately east of the proposed driveway
 - R26(CA) - between the two R28(CA) signs, as directed by City staff during the plan check process.
- EP-26. RECORD DRAWINGS:
Record drawings (including street, sewer, water, storm drain and off-site landscaping plans) shall be submitted to the City prior to encroachment permit sign-off. [COA] [PUBLIC WORKS]

TM: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO THE APPROVAL OF THE FINAL MAP OR PARCEL MAP.

- TM-1. FINAL MAP COMPLIANCE WITH VESTING TENTATIVE MAP: The final map shall be substantially the same as the vesting tentative map. Any alteration of the vesting tentative map after the vesting tentative map is approved is subject to additional approval by the City and may require a public hearing. [COA][PLANNING/PUBLIC WORKS]
- TM-2. TITLE 18 AND SUBDIVISION MAP ACT:
The submittal, approval and recordation of the final map shall be in accordance with the provision of the California Subdivision Map Act and Sunnyvale Municipal Code Title 18 Subdivision requirements. [COA][PUBLIC WORKS]
- TM-3. RESERVATION/ABANDONMENT OF EASEMENTS:
Reservation of new and/or abandonment of existing public/private utility easement(s), ingress/egress easement(s) necessary for the project shall be delineated on the final map or recorded concurrently with the map with a separate instrument. (SMC 18.16.010 (c), Subdivision Map Act §66475 and §66499.20-1/2 for public easements) Quitclaim deed is required for abandonment of private easements prior to final map recordation. All easements shall be kept open and free from buildings and structures of any kind except those appurtenances associated with the defined easements. [COA][PUBLIC WORKS]
- TM-4. APPROVAL FROM PUBLIC UTILITY COMPANIES:
Obtain approval letters from various utility companies for the final map in regards to any existing or new easements associated with the project. [COA][PUBLIC WORKS]
- TM-5. PUBLIC WORKS DEVELOPMENT FEES:
The developer shall pay all applicable Public Works development fees associated with the project, including but not limited to, utility frontage and/or connection fees and off-site improvement plan check and inspection fees, prior to map recordation or any permit issuance, whichever occurs first. The incremental sewer connection fee is estimated at \$34,850.00 and the incremental water connection fee is estimated at \$5,490.00 based upon available project data and fiscal year 2014-15 rate. The actual fee amount would be based upon the fee structure/rate at the time of fee payment. [COA] [PUBLIC WORKS] (SMC 18.16)

TM-6. SUBDIVISION AGREEMENT AND IMPROVEMENT SECURITIES:

The developer shall execute a Subdivision Agreement and provide improvement securities and/or cash deposit(s) for all proposed public improvements prior to final/parcel map recordation or any permit issuance, whichever occurs first. [COA][PUBLIC WORKS] (SMC 18.20.250 and 18.20.260)

TM-7. CONDITIONS, COVENANTS AND RESTRICTIONS (CC&Rs) (DRAFT REVIEW):

Any proposed deeds, covenants, restrictions and by-laws relating to the subdivision are subject to review and approval by the Director of Community Development and the City Attorney. Four (4) sets of the CC&Rs including all information required below shall be submitted to the Engineering Division of the Public Works Department for routing. In addition to requirements as may be specified elsewhere, the CC&R's shall include the following provisions:

- a) Membership in and support of an association controlling and maintaining all common facilities shall be mandatory for all property owners within the development.
- b) The owners association shall obtain approval from the Director of Community Development prior to any modification of the CC&R's pertaining to or specifying the City.
- c) The developer shall maintain all private utilities and landscaping for a period of three (3) years following installation of such improvements or until the improvements are transferred to an owners association, following sale of at least 75% of the units, whichever comes first.
- d) The Standard Development Requirements and Conditions of Approval included as part of the approved Planning Application, Permit #2014-7423, and associated map shall be incorporated into the CC&Rs as an exhibit or attachment. The included map shall clearly indicate all public/private easements as disclosure for property owners. The CC&Rs shall include a list of all attachments and/or exhibits.
- e) The CC&Rs shall include the provisions of the Parking Management Plan as approved by the Director of Community Development per Condition of Approval BP-18.
- f) The CC&Rs shall contain language for Best Management Practices "Agreement to Maintain" pursuant to Sunnyvale Municipal Code 12.60.200.
- g) The CC&Rs shall contain the following provisions:
 - i) The owners association shall maintain parkstrip landscaping in perpetuity along the public street fronting the project site.
 - ii) Property owners are prohibited from modifying drainage facilities and/or flow patterns unless reviewed and approval granted from the Public Works Department.

- h) The CC&Rs shall contain the following language:
- i) "Right to Remedy Failure to Maintain Common Area. In the event that there is a failure to maintain the Common Area so that owners, lessees, and their guests suffer, or will suffer, substantial diminution in the enjoyment, use, or property value of their Project, thereby impairing the health, safety and welfare of the residents in the Project, the City, by and through its duly authorized officers and employees, will have the right to enter upon the subject Property, and to commence and complete such work as is necessary to maintain said Common Area. The City will enter and repair only if, after giving the Association and Owners written notice of the failure to maintain the Common Area, they do not commence correction of such conditions in no more than thirty (30) days from the giving of the notice and proceed diligently to completion. All expenses incurred by the City shall be paid within thirty (30) days of written demand. Upon a failure to pay within said thirty (30) days, the City will have the right to impose a lien for the proportionate share of such costs against each lot in the Project.
 - ii) It is understood that by the provisions hereof, the City is not required to take any affirmative action, and any action undertaken by the City will be that which, in its sole discretion, it deems reasonable to protect the public health, safety and general welfare, and to enforce it and the regulations and ordinances and other laws.
 - iii) It is understood that action or inaction by the City, under the provisions hereof, will not constitute a waiver or relinquishment of any of its rights to seek redress for the violation of any of the provisions of these restrictions or any of the rules, regulations and ordinances of the City, or of other laws by way of a suit in law or equity in a court of competent jurisdiction or by other action.
 - iv) It is further understood that the remedies available to the City by the provision of this section or by reason of any other provisions of law will be cumulative and not exclusive of the maintenance of any other remedy. In this connection, it is understood and agreed that the failure to maintain the Common Area will be deemed to be a public nuisance and the City will have the right to abate said condition, assess the costs thereof, and cause the collection of said assessments to be made on the tax roll in the manner provided by appropriate provisions of the Sunnyvale Municipal Code or any other applicable law.
 - v) No Waiver. No failure of the City of Sunnyvale to enforce any of the covenants or restrictions contained herein will in any event render them ineffective.

- vi) Hold Harmless. Declarant, Owners, and each successor in interest of Declarant and said Owners, hereby agree to save, defend and hold the City of Sunnyvale harmless from any and all liability for inverse condemnation which may result from, or be based upon, City's approval of the Development of the subject Property." [COA] [PUBLIC WORKS/PLANNING/CITY ATTORNEY]

TM-8. HOA CREATION:

The developer/Owner shall create a Homeowner's Association that comports with the state law requirements for Common Interest Developments. [COA] [PLANNING]

TM-9. HOA TRANSFER:

At the time the homeowners association is transferred from the developer to the individual property owners (typically at election of board members or officers), the developer shall schedule a meeting between the board members or officers, the City of Sunnyvale and the developer to review the Conditions of Approval of the development and other applicable City requirements. [COA] [PLANNING]

TM-10. COMMON LOT/PRIVATE STREET NAME:

The common lot shall be assigned a private street name in accordance with the official Street Name System, as selected by the Community Development Department, and be shown on the final map. The private street shall be designated as "Terrace". [COA] [PLANNING/PUBLIC WORKS]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

PF-2. CONDITIONS, COVENANTS AND RESTRICTIONS (CC&RS) (RECORDATION):

The Developer/Owner shall submit a copy of the recorded CC&Rs and a letter from the Developer/Owner either indicating that the recorded CC&Rs are in conformance with the approved draft CC&Rs or summary of changes shall be provided to the Director of Community Development prior to release of utilities or certificate of occupancy. [COA] [PUBLIC WORKS/PLANNING/CITY ATTORNEY]

PF-3. HOA ESTABLISHMENT:

The developer shall submit to the Planning Division the names, addresses and telephone numbers of the officers of the homeowners association, architectural review committee or similar committee, at the time the organization is granted autonomy. Until such information is supplied, the developer shall remain a Responsible Person for purposes of maintaining all common property. The chairperson, secretary or principal officer of any committee or association shall notify the City of any change in officers and provide the names, addresses and telephone numbers of the new officers within thirty (30) days after the change becomes effective. [COA] [PLANNING]

PF-4. COMPLETION OF PUBLIC IMPROVEMENTS:

Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy. [COA][PUBLIC WORKS]

PF-5. BMR COMPLETION 60 ADVANCE DAY NOTICE:

The Developer/Owner must provide a written "Notice of Intent to Sell" to the Affordable Housing Manager for each BMR unit to be provided in the development sixty days (60) prior to the request for a certificate of occupancy or receipt of a DRE report for the unit, whichever is later. Upon receipt of this Notice, the Housing Division will inform the developer of the current maximum BMR sales price applicable to the unit, based on number of bedrooms, as published in the Administrative Procedures and updated annually. The developer must also request and pass a site inspection by the Affordable Housing Manager to verify that the BMR units have been completed in compliance with the BMR Development Agreement. [COA] [HOUSING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

AT: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.

- AT-1. RECYCLING AND SOLID WASTE:
All exterior recycling and solid waste shall be confined to approved receptacles and enclosures. [COA] [PLANNING]
- AT-2. EXTERIOR EQUIPMENT:
All unenclosed materials, equipment and/or supplies of any kind shall be maintained within approved enclosure areas. Any stacked or stored items shall not exceed the height of the enclosure. Individual air conditioning units shall be screened with architecture or landscaping features. [COA] [PLANNING]
- AT-3. LANDSCAPE MAINTENANCE:
All landscaping shall be installed in accordance with the approved landscape plan and shall thereafter be maintained in a neat, clean, and healthful condition. Trees shall be allowed to grow to the full genetic height and habit (trees shall not be topped). Trees shall be maintained using standard arboriculture practices. [COA] [PLANNING]
- AT-4. PARKING MANAGEMENT:
On-Site parking management shall conform to the approved Parking Management Plan. [COA] [PLANNING]
- AT-5. UNENCLOSED STORAGE (PROHIBITED):
Unenclosed storage of any kind shall be prohibited on the premises. [COA] [PLANNING]
- AT-6. ON-SITE PARKING MAINTENANCE:
a) Off-street parking for both residents and guests shall be maintained at all times in accordance with approved plans.
b) Garage and carport spaces shall be maintained at all times so as to allow for parking of vehicles.
c) Clearly mark all assigned, guest, and compact spaces (as specified on the Building Permit plans and completed prior to occupancy).
d) Maintain all parking lot striping and marking.
e) Maintain parking lot lighting and exterior lighting to ensure that the parking lot is maintained in a safe and desirable manner for residents. [COA] [PLANNING]
- AT-7. HOA REVIEW AND APPROVAL:

In common interest developments, any future applications to the City for physical modifications on commonly owned property shall require consent of the board of directors of the homeowners association, architectural review committee or similar committee; applications for physical modifications on privately owned property shall require the individual property owner's signature. Individual property owners submitting an application for physical modifications on private property shall comply with any approval processes outlined as such in the conditions, covenants & restrictions (CC&Rs) of their respective development. [COA] [PLANNING]

AT-8. HOA RESPONSIBILITIES:

The chairperson, secretary or principal officer of any committee or association shall notify the Planning Division and the Neighborhood and Community Resources Division of any change in officers and provide the names, addresses and telephone numbers of the new officers within thirty (30) days after the change becomes effective. [COA] [PLANNING DIVISION/NEIGHBORHOOD AND COMMUNITY RESOURCES DIVISION]

AT-9. BMP MAINTENANCE:

The project applicant, owner, landlord, or HOA, must properly maintain any structural or treatment control best management practices to be implemented in the project, as described in the approved Stormwater Management Plan and indicated on the approved building permit plans. [SDR] [PLANNING]

AT-10. BMP RIGHT OF ENTRY:

The project applicant, owner, landlord, or HOA, shall provide access to the extent allowable by law for representatives of City, the local vector control district, and the Regional Water Quality Control Board, strictly for the purposes of verification of proper operation and maintenance for the stormwater treatment best management practices contained in the approved Stormwater Management Plan.[SDR] [PLANNING]

CLASSICS AT NORIEGA
PROJECT DESCRIPTION
August 22, 2014

The Classics At Noriega is a proposed community of ten (10) single family attached homes on a 0.48 acre parcel located at the corner of Lometa Avenue and Noriega Avenue. The project site is currently improved with 2 – two story apartment buildings comprising 11 apartment units, two carport structures and additional uncovered surface parking. The existing buildings were constructed in 1970. The apartments have been vacant since May, 2014. Future residents of the Classics At Noriega will enjoy a rare opportunity to live in a new home within easy walking distance to amenities, entertainment, dining and retail venues as well as major employers and transit. The property is located 0.3 miles (5 minute walk) from Vargas Elementary School, 0.6 miles (10 minute walk) from Washington Park, 1.1 miles (20 minute walk) from the Downtown Sunnyvale shopping center and 1.4 miles (7 minute bike ride) from the Sunnyvale Caltrain station.

The homes at Classics at Noriega comprise six – 3 story townhomes and four – 3 story duet homes. All homes include an attached 2-car garage. The duet homes include private rear yards. The townhomes include private front yards facing Noriega Avenue. The townhomes are three bedroom floorplans comprising 1,488 to 1,536 square feet. The duet homes are three bedroom floorplans comprising 1,892 to 1,924 square feet.

The project, as proposed, is fully compliant the applicable R-3 zoning standards, except as follows:

Deviation 1: Lot 4 side yard setback on north side (required = 12'; proposed = 9')

Justification: The side yard at this location was reduced to allow the preservation of two large cedar trees at the south end of the site. The proposed side yard meets the spirit, if not the letter, of the code (9' side yards are required for 2 story buildings, 12' side yards are required for 3 story buildings. Proposed setbacks are 9' for 2 story building elements and 12' for 3 story building elements).

Deviation 2: Usable open space (required = 400 sf/du; proposed = 254 sf/du)

Justification: Per code, front yard areas are not included as usable open space. In this community, the front yards are usable and comprise a significant amenity for residents. If 50% of the front yard areas are included as usable open space, the project exceeds the requirement (400 sf/du required; 426 sf/du provided). Credit for 50% of front yard areas as usable open space meets the intent of the code and has been accepted in the past for other residential applications in Sunnyvale. In addition, the project provides approximately double the amount of landscaped area required by code (7,900 sf provided versus 4,200 sf required).

Deviation 3: Building to building setback (required = 26'; proposed = 11.5')

Justification: This deviation occurs in the side yard between lots 2 and 3. The proposed building faces at those locations are the short sides of the buildings and include the garage walls. This code section was intended to apply to "front on" adjacencies (long edges of buildings, entries, etc.) where privacy is an important consideration, not "side on" adjacencies. Separating the duet buildings to achieve the 26' setback would provide no meaningful benefit but would result in the loss of one dwelling unit. Deviations from the 26' building to building setback meets the intent of the code and has been accepted in the past for other residential applications in Sunnyvale.

The proposed project shall incorporate all recommendations from the project Environmental Noise Study by Charles Salter and Associates, dated March 3, 2014.

The proposed project shall incorporate all recommendations from the California Historical Resources Information System letter dated August 22, 2014.

The proposed project shall incorporate all recommendations from the Phase I and Screening Level Phase II Environmental Site Assessment by Tetra Tech GEO, dated January 28, 2014.

CLASSICS AT NORIEGA
EXPLANATION OF REVISIONS MADE TO ADDRESS COMMENTS RECEIVED
AT JULY 28, 2104 PLANNING COMMISSION STUDY SESSION
September 9, 2014

1. PLANNING COMMISSION COMMENT: PROVIDE ADA COMPLIANT PEDESTRIAN ACCESS FROM ALL HOMES TO PUBLIC STREETS / SIDEWALKS.
RESPONSE: Added ADA compliant pedestrian walkway on westerly 4' of main drive. Added Pedestrian Circulation Plan (Sheet C6) to plan set. Modified walkway layout and grading at Lot 5 entry to provide ADA access to that townhome.
2. PLANNING COMMISSION COMMENT: PROVIDE MORE INFORMATION ON DUET BUILDING AND TOWNHOME (6-PLEX) BUILDING REAR ELEVATIONS.
RESPONSE: Added color rear elevations of duet buildings (sheet A-03) and townhome (6-plex) building (sheet A-06) to plan set to highlight architectural detailing and show proposed color blocking.
3. PLANNING COMMISSION COMMENT: CONSIDER ALTERNATIVE GARBAGE PICKUP LOCATIONS.
RESPONSE:
 - We considered centralized front loading bins (dumpsters) in an enclosure located in the interior of the property. However, centralized bins require wider streets (26' versus 20') and 21' inside turning radii at corners to provide access for front-load garbage trucks. Those plan revisions would make the current plan infeasible, and would result in the loss of at least 1 unit (making the project not feasible).
 - We considered individual carts with a centralized staging location. The only feasibly staging location is the small area adjacent to the project entry, between the Noriega sidewalk and the ADA parking stall. That area is highly visible from the project entry and the street, and is proposed to be heavily landscaped to provide a landscape buffer between the street and the internal circulation and parking areas. The entire area would be needed for staging individual carts at that location (to accommodate two rows of carts with a walkway between each row). Staging carts at that location would require installing pavement rather than plant material, which would significantly diminish the appearance of the project from the street and the project entry.
 - Because of the dis-advantages of the two alternatives listed above, we chose to stay with the original plan of individual carts staged on the street on pickup day.
4. NEIGHBOR COMMENT: NEIGHBOR EXPRESSED CONCERN ABOUT PRIVACY IMPACTS TO EXISTING SFD HOME REAR YARDS LOCATED JUST WEST OF PROPERTY.
RESPONSE:
 - Modified west facing windows at 3rd story bedrooms in duet homes (raised sill height to 5'-9") to provide additional privacy for existing homes to the west.
 - Added Site Section (sheet A-8) to show existing (blue lines) and proposed (black lines) building locations adjacent to west property line.
 - Added Site Line Exhibit (sheet A-12) to show view lines to adjacent SFD rear yards from existing (blue) and proposed (black) building locations adjacent to west property line.



CLASSICS at NORIEGA
1071 NORIEGA AVENUE
CITY OF SUNNYVALE, CALIFORNIA
AUGUST 22, 2014

SHEET INDEX

CS COVER SHEET

CIVIL

- C-1 VESTING TENTATIVE MAP
- C-2 EXISTING CONDITIONS AND TREE REMOVAL PLAN
- C-3 PRELIMINARY GRADING AND DRAINAGE PLAN
- C-4 PRELIMINARY UTILITY PLAN
- C-4.1 PRELIMINARY UTILITY PLAN
- C-5 PRELIMINARY STORM WATER MANAGEMENT PLAN
- C-6 OPEN SPACE / TRASH MANAGEMENT / PEDESTRIAN CIRCULATION EXHIBIT

LANDSCAPE

- L-1 PRELIMINARY PLANTING PLAN
- L-2 LANDSCAPE SITE PLAN
- L-3 HYDROZONE MAP AND LANDSCAPE NOTES
- L-4 LANDSCAPE DETAILS
- L-5 PLANT PALETTE
- L-6 PRELIMINARY IRRIGATION PLAN
- L-7 IRRIGATION NOTES AND LEGEND
- L-8 IRRIGATION DETAILS
- L-9 IRRIGATION DETAILS
- L-10 TREE SHADING DIAGRAM

LIGHTING

- L PHOTOMETRIC PLAN

ARCHITECTURE

- A-01 CONCEPTUAL SITE PLAN
- A-02 DUPLEX FLOOR PLANS
- A-03 DUPLEX ELEVATIONS
- A-04 6-PLEX FLOOR PLANS 1ST & 2ND
- A-05 6-PLEX FLOOR PLANS 3RD & ROOF
- A-06 6-PLEX ELEVATIONS
- A-07 CONCEPTUAL STREET SCENE
- A-08 SITE SECTION
- A-09 SOLAR STUDY (EXISTING)
- A-10 SOLAR STUDY (PROPOSED)
- A-11 DETAILS
- A-12 SIGHT LINE EXHIBIT

LEGEND

PROPOSED

EXISTING

PROJECT BOUNDARY
EASEMENT LINE
STREET CENTERLINE
LOT LINE
PARKING STALL

ABBREVIATIONS

CSV	= CITY OF SUNNYVALE	DET	= DETAIL
EVAE	= EMERGENCY VEHICLE ACCESS EASEMENT	DWY	= DRIVEWAY
PRCE	= PRIVATE ROLLED CURB EASEMENT	FC	= FACE OF CURB
PSDE	= PRIVATE STORM DRAIN EASEMENT	LS	= LANDSCAPE STRIP
PSSE	= PRIVATE SANITARY SEWER EASEMENT	(N)	= NEW
PUE	= PUBLIC UTILITY EASEMENT	ROW	= RIGHT OF WAY
PWE	= PRIVATE WATER EASEMENT	STD	= STANDARD
PIEE	= PRIVATE INGRESS AND EGRESS EASEMENT	SW	= SIDEWALK
PGE	= PRIVATE GAS EASEMENT	TYP	= TYPICAL

GENERAL NOTES

- OWNER: CLASSIC 1071 NORIEGA, L.P., a California limited partnership
- DEVELOPER: CLASSIC COMMUNITIES
1068 E. MEADOW CIRCLE
PALO ALTO, CA 94303
CONTACT: JIM POLLART
(650) 496-4162
- CIVIL ENGINEER: BKF ENGINEERS
1650 TECHNOLOGY DRIVE, SUITE 650
SAN JOSE, CA 95110
CONTACT: SCOTT SCHORK
(408) 467-9100
- PROPERTY:

PARCEL 1:
LOT 8, AS SAID LOT IS SHOWN UPON THE MAP OF TRACT NO. 3076 LEOTA PARK, WHICH SAID MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, OF NOVEMBER 27, 1961 IN BOOK 140 OF MAPS, AT PAGE 34 AND 35, SANTA CLARA COUNTY RECORDS.

PARCEL 2:
BEGINNING AT THE MOST EASTERLY CORNER OF LOT 8 IN THE NORTHWESTERLY LINE OF LOMETA AVENUE, AS SAID LOT AND AVENUE ARE SHOWN UPON THE MAP OF TRACT NO. 3076 LEOTA PARK, WHICH SAID MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON NOVEMBER 27, 1961 IN BK 140 OF MAPS, AT PGS 34 & 35, SANTA CLARA COUNTY RECORDS; RUNNING THENCE ALONG THE NORTHEASTERLY PROLONGATION OF SAID NORTHWESTERLY LINE OF LOMETA AVENUE N14°52'E 52.58'; THENCE LEAVING SAID LINE AND RUNNING N75°08'30"E 138.80' TO THE POINT OF BEGINNING, AND BEING A PORTION OF LOT 19, AS SAID LOT 19 IS SHOWN UPON THE MAP OF THE W. F. TAFFEE SUBDIVISION NO. 1, WHICH SAID MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA IN BK 14 OF MAPS, AT PG 25, SANTA CLARA COUNTY RECORDS.
- ASSESSORS PARCEL NO. PARCEL 1: 161-37-018
PARCEL 2: 161-37-017
- GENERAL PLAN: MEDIUM DENSITY RES (14-27 DU/AC)
- EXISTING ZONING: R3-MEDIUM DENSITY RESIDENTIAL
- PROPOSED ZONING: R3-MEDIUM DENSITY RESIDENTIAL
- EXISTING USE: RESIDENTIAL (APARTMENTS)
- PROPOSED USE: RESIDENTIAL (TOWNHOMES)
- GROSS AREA: 0.48± ACRES
- NUMBER OF UNITS: 10
- NUMBER OF LOTS: 10 DEVELOPABLE, 1 NON-DEVELOPABLE COMMON PARCEL
- UTILITIES:

A. WATER:
PUBLIC STREETS: CITY OF SUNNYVALE
PRIVATE STREETS: HOMEOWNERS ASSOCIATION

B. SANITARY SEWER:
PUBLIC STREETS: CITY OF SUNNYVALE
PRIVATE STREETS: HOMEOWNERS ASSOCIATION

C. STORM DRAIN:
PUBLIC STREETS: CITY OF SUNNYVALE
PRIVATE STREETS: HOMEOWNERS ASSOCIATION

D. GAS/ELECTRIC:
E. TELEPHONE:
F. CABLE TV: PACIFIC GAS & ELECTRIC
AT&T
COMCAST
- BENCHMARK: CITY OF SUNNYVALE BENCHMARK #74: BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN, INTERSECTION OF MARY AVENUE AND MCKINLEY AVENUE. EL: 112.52'
- TOPOGRAPHY: INFORMATION SHOWN IS BASED ON A GROUND SURVEY PREPARED BY BKF ENGINEERS CONDUCTED FEBRUARY 2014.
- FLOOD ZONE: THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06085C004H.
- LOT SIZES:

PARCEL A	= 4,417 SF
LOT 1-10	= 16,569 SF
TOTAL	= 20,986 SF

GENERAL NOTES:

- THIS TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 66452 OF THE SUBDIVISION MAP ACT AND CONFORMS TO THE REQUIREMENTS OF CHAPTER 18.20.050 & 18.20.060 OF THE CITY OF SUNNYVALE MUNICIPAL CODE.

VESTING TENTATIVE MAP

AUGUST 22, 2014 BKF Project No: 20146020



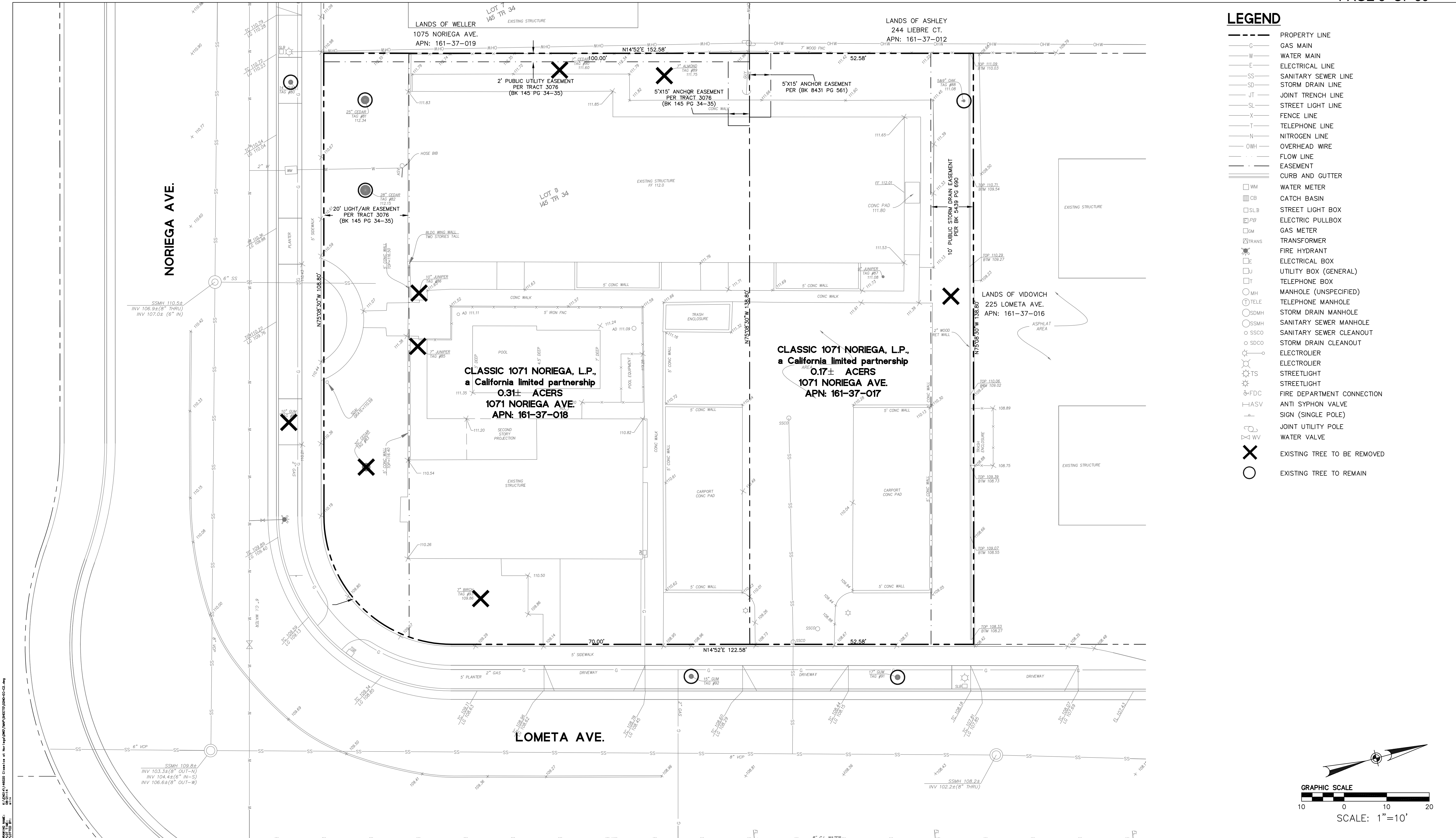
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C1

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

SUNNYVALE, CALIFORNIA



EXISTING CONDITIONS AND TREE REMOVAL PLAN

AUGUST 22, 2014 BKF Project No: 20146020

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

SUNNYVALE, CALIFORNIA



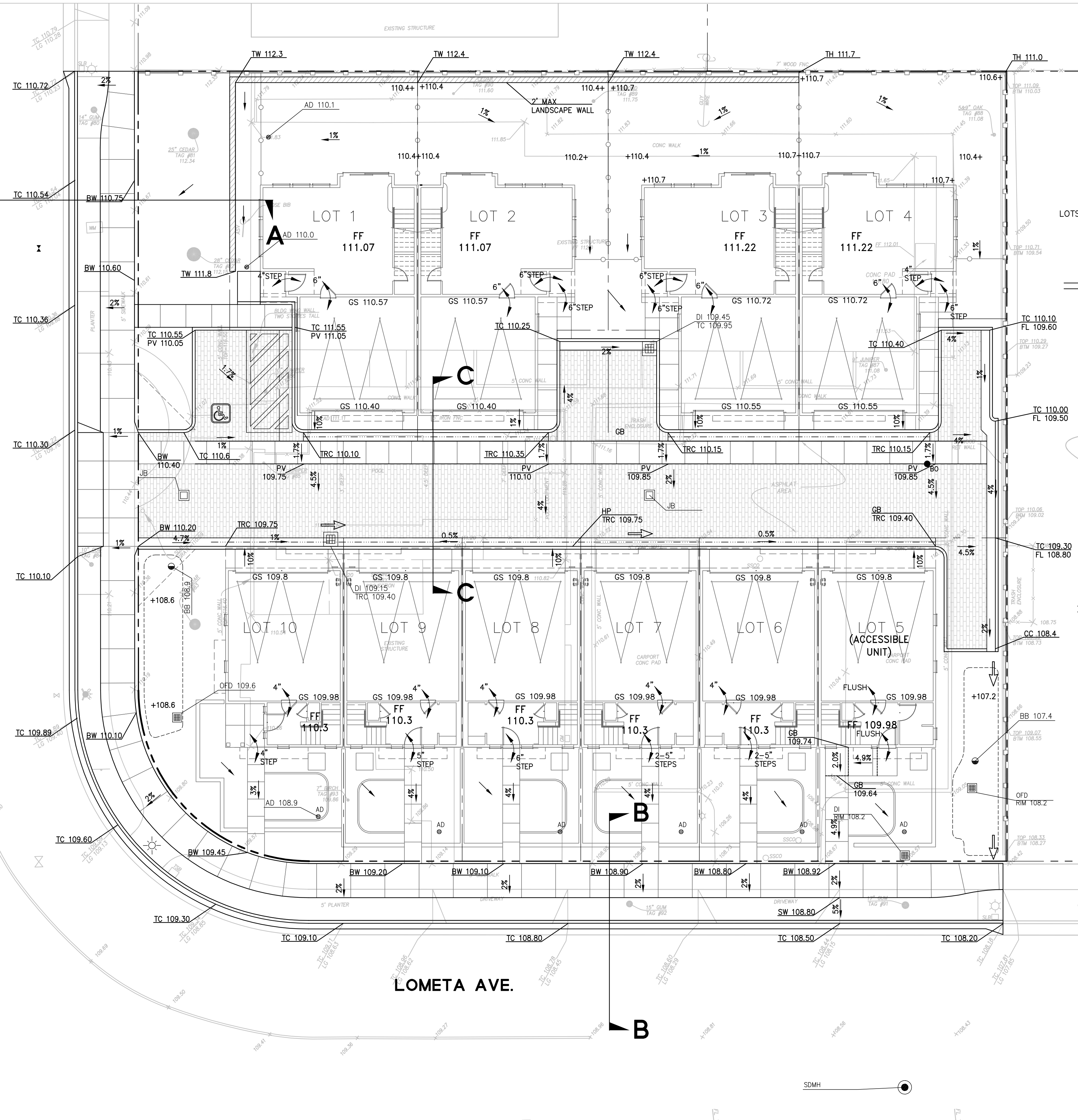
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C2

NORIEGA AVE.

A



LEGEND

PROPERTY LINE	---
LOT LINE	----
STREET CENTERLINE	----
CURB AND GUTTER	=====
ROLLED CURB & GUTTER	=====
VERTICAL CURB	=====
VALLEY GUTTER	=====
INTERIOR LOT FENCE	-----o-----
RETAINING WALL	=====
BIORETENTION BASIN	=====
OVERLAND RELEASE	=====
AREA DRAIN	AD
OVER FLOW DRAIN	OFD
STORM DRAIN MANHOLE	SDMH
DRAIN INLET	DI
BUBBLER BOX	BB
STORM DRAIN JUNCTION BOX	JB

NORIEGA AVE. SECTION A-A

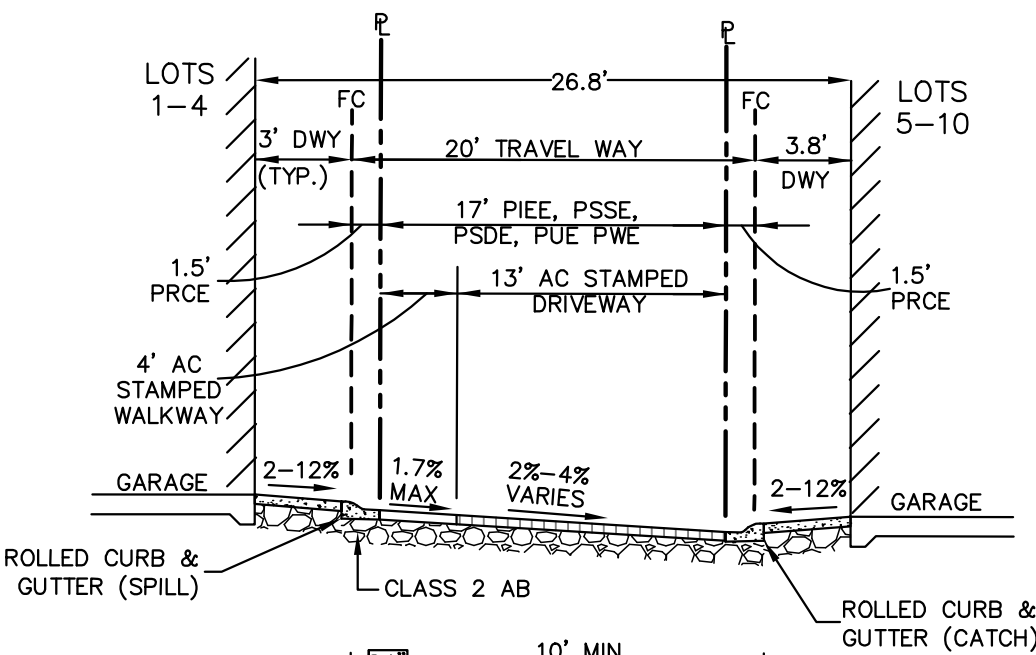
N.T.S.

ABBREVIATIONS

SYMBOL	DESCRIPTION
AC	HVAC UNIT
AD	AREA DRAIN
BB	BUBBLER BOX
BW	BACK OF WALK
B/W	BOTTOM OF WALL
CB	CATCH BASIN
CC	CURB CUT (CURB OPENING)
CR	CROWN
CSV	CITY OF MOUNTAIN VIEW
DET	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
FC	FLUSH CURB
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
GB	GRADE BREAK
GS	GARAGE SLAB
HP	HIGH POINT
JB	JUNCTION BOX
LG	LIP OF GUTTER
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
NEW	NEW
N.T.S.	NOT TO SCALE
OFD	OVER FLOW DRAIN
PV	PAVEMENT
SD	STORM DRAIN
STD	STANDARD
TC	TOP OF CURB
TW	TOP OF WALL
TRC	TOP OF ROLLED CURB
TYP	TYPICAL

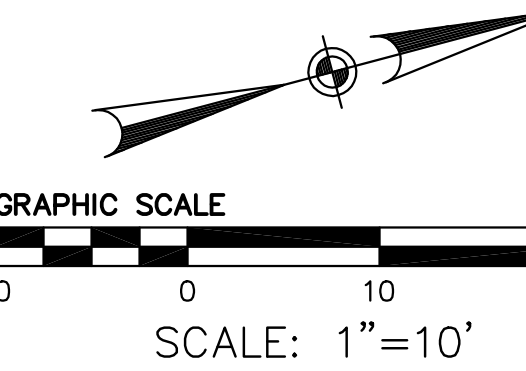
LOMETA AVE. SECTION B-B

N.T.S.



PRIVATE STREET SECTION C-C

N.T.S.

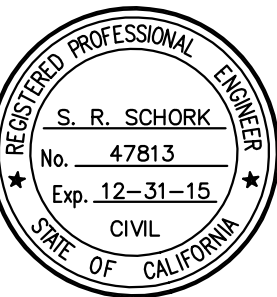


PRELIMINARY GRADING AND DRAINAGE PLAN

AUGUST 22, 2014 BKF Project No: 20146020



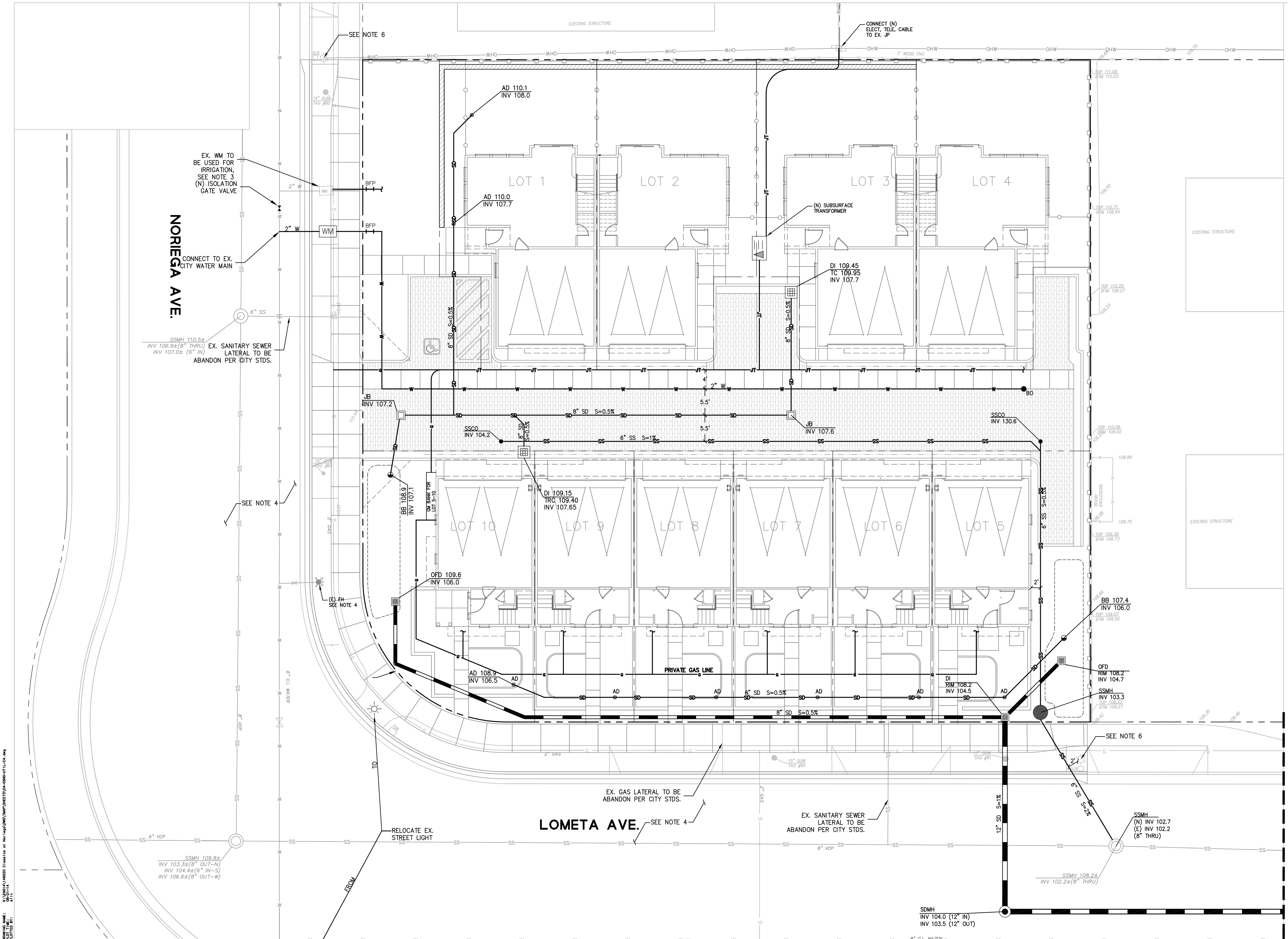
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C3

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

SUNNYVALE, CALIFORNIA

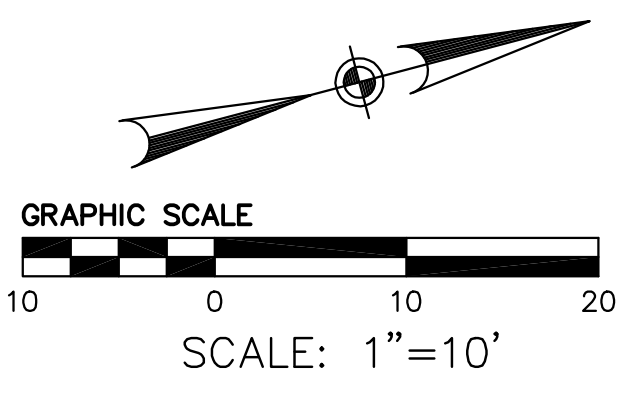


LEGEND

PROPERTY LINE	---
LOT LINE	- - - -
STREET CENTERLINE	---
CURB AND GUTTER	=====
ROLLED CURB & GUTTER	=====
VERTICAL CURB	=====
RETAINING WALL	=====
SANITARY LINE	SS
STORM DRAIN LINE (TREATED)	12" SD
STORM DRAIN LINE (UNTREATED)	SD
DOMESTIC WATER LINE	W
FIRE WATER LINE	FW
JOINT TRENCH	JT
AREA DRAIN	AD
BIORETENTION BASIN	=====
OVER FLOW DRAIN	OFD
SANITARY SEWER MANHOLE	SSMH
SANITARY SEWER CLEANOUT	SSCO
STORM DRAIN MANHOLE	SDMH
STORM DRAIN CLEAN OUT	SDCO
BUBBLER BOX	BB
STORM DRAIN CATCH BASIN	CB
STORM DRAIN JUNCTION BOX	JB
FIRE HYDRANT	FH
FIRE DEPARTMENT CONNECTION	FDC
SUBSURFACE TRANSFORMER	=====
BACKFLOW PREVENTER	IBFP
WATER VALVE	WV
WATER METER	WM
IRRIGATION WATER METER	IRR WM
BLOW OFF VALVE	BO

GENERAL UTILITY NOTES:

1. ALL PUBLIC WATER METER(S) SHALL BE RADIO-READ TYPE.
2. ALL EXISTING UTILITY SERVICES WILL EITHER BE ABANDON OR REMOVED.
3. THE EXISTING WATER METER TO BE REUSED FOR IRRIGATION PURPOSES AND SHALL BE RADIO-READ. IF CITY'S UPON FIELD INSPECTION DETERMINES THAT THE EXISTING WATER METER/SERVICE IS DETERIORATED AND/OR UNUSABLE, A NEW WATER METER/SERVICE SHALL BE INSTALLED AND CONNECTED TO THE WATER MAIN.
4. THE DEVELOPER SHALL SLURRY SEAL ALONG THE ENTIRE PROJECT FRONTAGE AND ALONG THE NEW STORM DRAIN MAIN EXTENSION FROM CENTERLINE TO THE LIP OF GUTTER UP TO WASHINGTON AVENUE.
5. REMOVE AND REPLACE EXISTING HYDRANT BARREL TO CITY STANDARD CLOW RICH 75.
6. UPGRADE STREETLIGHT TO NEW LED LIGHT BULB.



PRELIMINARY UTILITY PLAN
AUGUST 22, 2014 BKF Project No.: 20146020

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

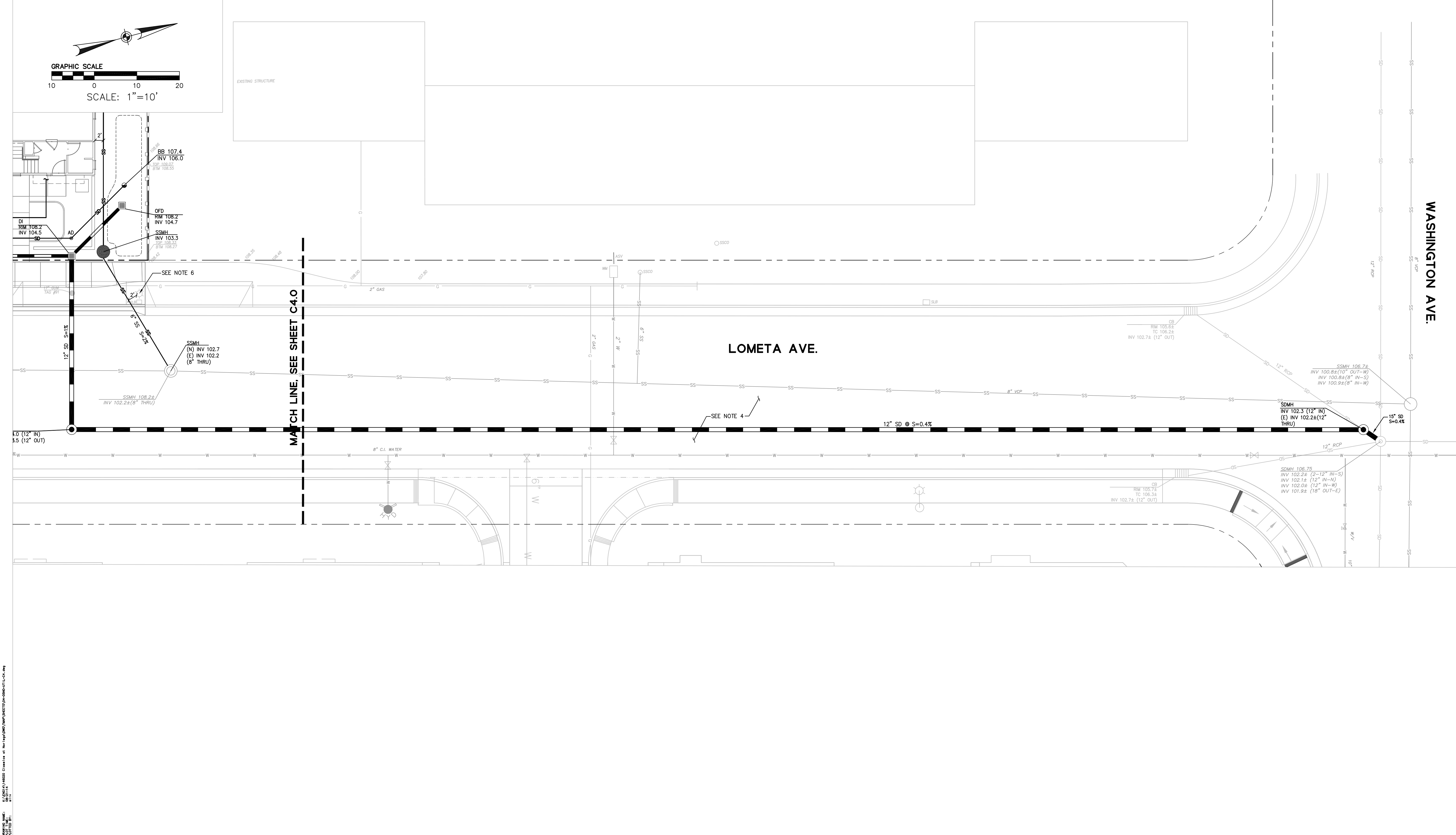
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BKF
ENGINEERS / SURVEYORS / PLANNERS

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PRELIMINARY UTILITY PLAN
AUGUST 22, 2014 BKF Project No: 20146020

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

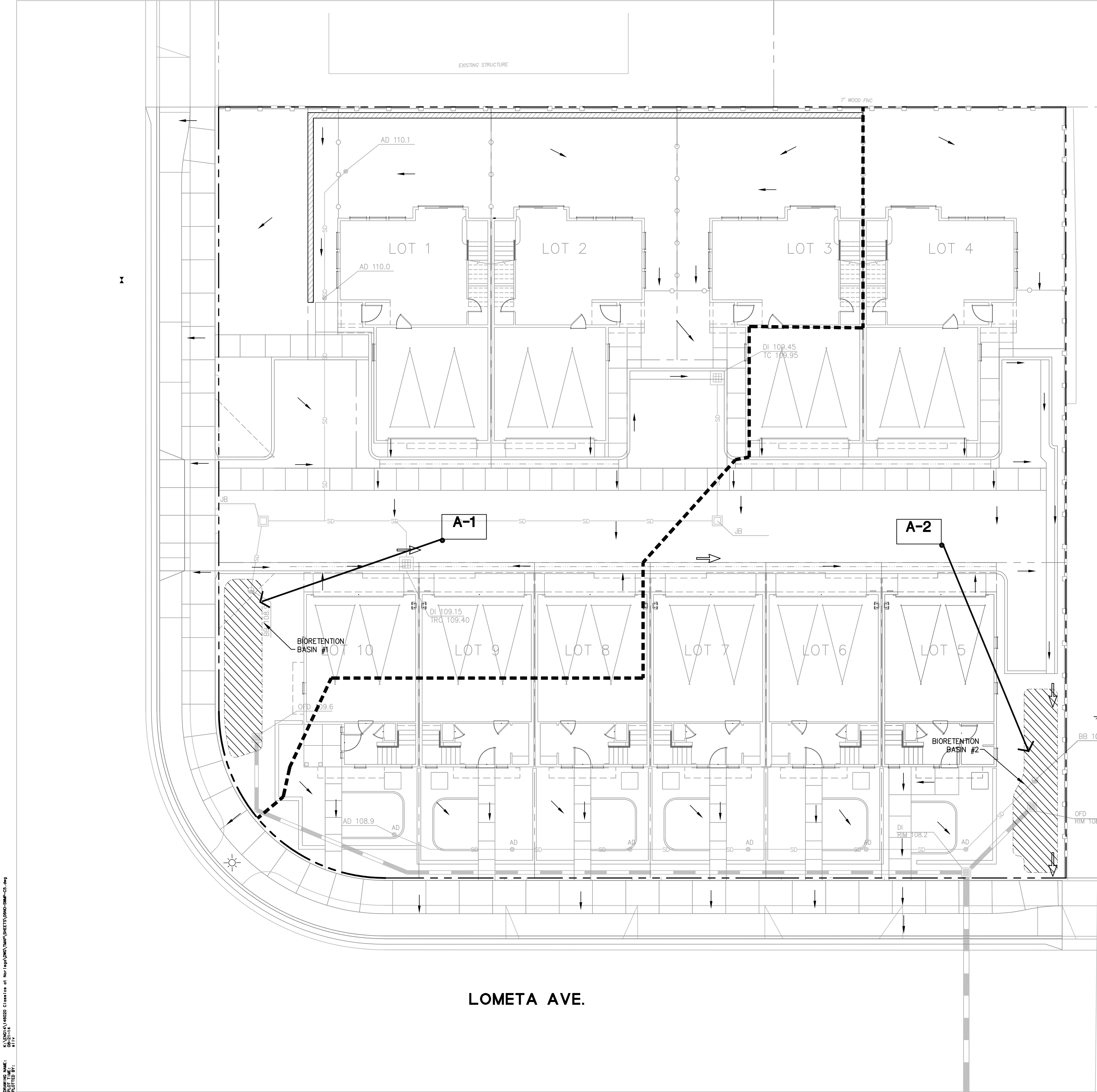
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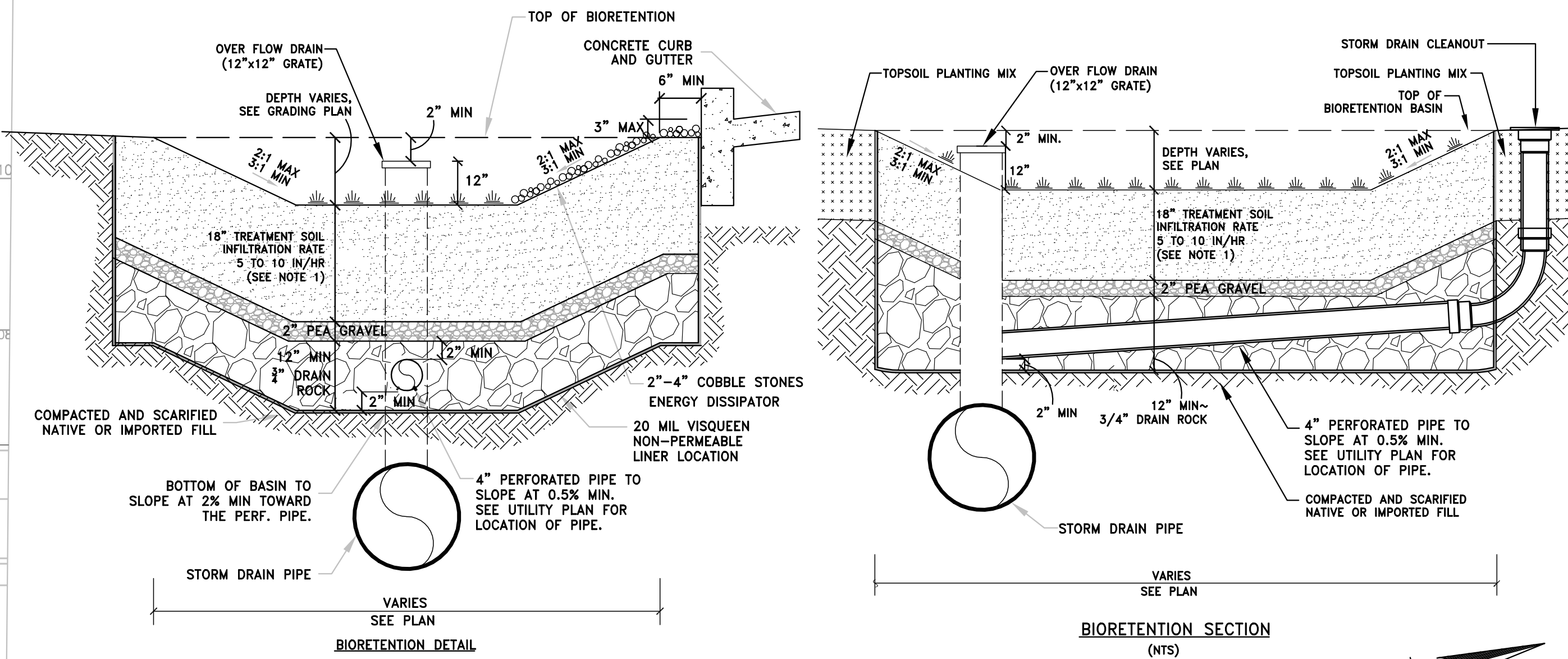
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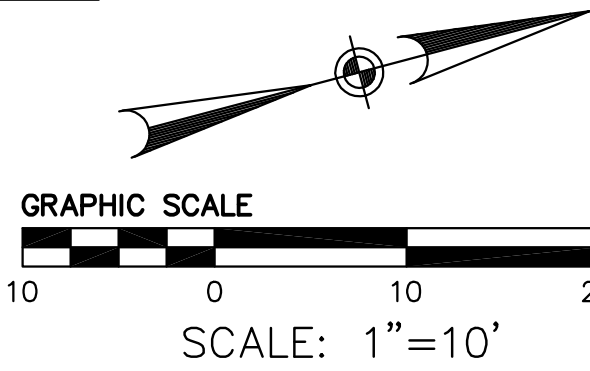
LEGEND

- PROPERTY LINE
- LOT LINE
- TREATED STORM DRAIN LINE
- UNTREATED STORM DRAIN LINE
- DRAINAGE AREA BOUNDARY
- TREATMENT AREA
- STORM DRAIN MANHOLE
- OVER FLOW DRAIN
- STORM DRAIN CATCH BASIN
- AREA DRAIN
- JUNCTION BOX
- BUBBLER BOX
- STORM CLEANOUT
- DRAINAGE SLOPE
- BIORETENTION SWALE/BASIN
- DIRECTION OF RUNOFF

TREATMENT CONTROL MEASURE SUMMARY TABLE									
	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	WATER QUANTITY (FLOW AND/OR VOLUME GENERATED)		PROPOSED TREATMENT CONTROLS	CONFORMS TO SIZE STANDARD?
						REQUIRED (SF)	PROVIDED (SF)		
A-1	10360	5185	LANDSCAPE	5175	ROOF PAVING CONCRETE	205	205	B.B.1 BIORETENTION BASIN 1	YES
A-2	10630	3430	LANDSCAPE	7200	ROOF PAVING CONCRETE	220	220	B.B.2 BIORETENTION BASIN 2	YES



- NOTE:
- FOR TREATMENT SOIL SPECIFICATION, SEE APPENDIX C IN SCVURPPP C3 STORMWATER HANDBOOK DATED APRIL 2012.
 - BACKFILL BIORETENTION ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL. CONTRACTOR MUST COORDINATE WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION.



PRELIMINARY STORM WATER MANAGEMENT PLAN

AUGUST 22, 2014 BKF Project No: 20146020



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San Jose, CA 95110
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C5

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

SUNNYVALE, CALIFORNIA

NORIEGA AVE.

LOMETA AVE.

LEGEND

- PROPERTY LINE
--- LOT LINE
- USABLE OPEN SPACE (50% CREDIT)
USABLE OPEN SPACE (US)
LANDSCAPE AREA (LS)
TRASH CARTS (26" WIDE BY 33" DEEP. 12" SEPARATED BETWEEN CARTS.)
PEDESTRIAN CIRCULATION

LANDSCAPE AREA TABLE

	TOTAL LANDSCAPE AREA PROVIDED (SQ. FT.)	PROVIDED LANDSCAPE AREA PER UNIT (SQ. FT./UNIT)	REQUIRED LANDSCAPE AREA PER UNIT (SQ. FT./UNIT)
TOTAL	7940±	794±	425

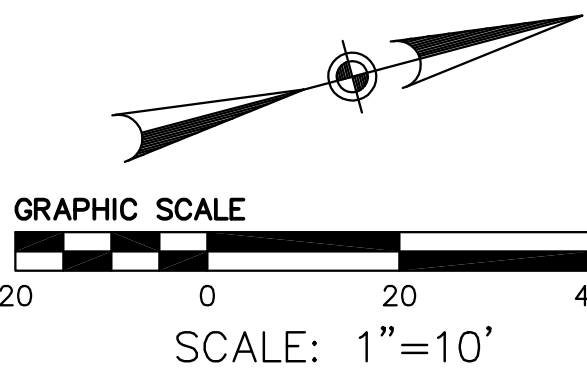
USABLE OPEN SPACE TABLE

US1-US4 (SEE NOTE 1)	AREA (SF)	US5-US6 (SEE NOTE 2)	AREA (SF)
US1	532	US5	2480
US2	650	US6	964
US3	650	TOTAL	3444
US4	710	50% CREDIT TOTAL	1722
TOTAL	2542		
USABLE OPEN SPACE GRAND TOTAL (US1-6): 4264 SF			

APPLY 50% CREDIT TO US5-US6

	TOTAL USABLE OPEN SPACE PROVIDED (SQ. FT.)	USABLE OPEN SPACE PROVIDED PER UNIT (SQ. FT./UNIT)	REQUIRED USABLE OPEN SPACE PER UNIT (SQ. FT./UNIT)
USABLE OPEN SPACE US1-US6 (SEE NOTE 3)	4264±	426±	400
USABLE OPEN SPACE US1-US4 (SEE NOTE 4)	2542±	254±	400

- NOTE:
1. US1-US4 AREAS CONFORMS TO USABLE OPEN SPACE REQUIREMENTS.
2. A 50% CREDIT WAS APPLIED TO US5 AND US6 FOR THE PURPOSE OF CALCULATING THE TOTAL USABLE OPEN SPACE AREA IN THE ATTACHED TABLES. THESE AREAS ARE LOCATED WITHIN THE SETBACKS AND MEET THE MINIMUM DIMENSIONS AND AREA.
3. TOTAL USABLE OPEN SPACE INCLUDES 50% CREDIT FOR US5 & US6.
4. TOTAL USABLE OPEN SPACE TOTAL IS FOR US1-US4.



OPEN SPACE/TRASH SERVICE/PEDESTRIAN CIRCULATION EXHIBIT
AUGUST 22, 2014 BKF Project No.: 20146020



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San Jose, CA 95110
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C6

CLASSICS AT NORIEGA
CLASSIC COMMUNITIES

SUNNYVALE, CALIFORNIA

PLANT LIST

TREES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
ED	Elseocarpus decipiens	Japanese Blueberry Tree	15 GAL	AS SHOWN	MODERATE
LP	Lagerstroemia 'Pecos'- Standard	Crepe Myrtle	15 GAL	AS SHOWN	LOW
LZ	Lagerstroemia 'Zuni'- Standard	Crepe Myrtle	15 GAL	AS SHOWN	LOW
QF	Quercus frainetto	Italian Oak	24" BOX	AS SHOWN	LOW
QK	Quercus kelloggii	California Black Oak	24" BOX	AS SHOWN	LOW
RM	Rhapiolepis 'Majestic Beauty'	Indian Hawthorn	15 GAL	AS SHOWN	LOW

SHRUBS/ GROUND COVER					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
AR	Ajuga r. 'Atropurpurea'	Carpet Bugle	1 GAL	1'-0" O.C.	MODERATE
CN	Chamaemelum nobile	Roman Chamomile	1 GAL	1'-0" O.C.	LOW
DV	Dietes vegeta	Fortnight Lily	1 GAL	3'-0" O.C.	LOW
EK	Erigeron karvinskianus (N)	Santa Barbara Daisy	1 GAL	2'-6" O.C.	MODERATE
EG	Euonymus j. 'Green Spire'	Green Spire Euonymus	1 GAL	2'-0" O.C.	LOW
GG	Gazania 'Sunglow'	Sunglow Trailing Gazania	1 GAL	2'-0" O.C.	MODERATE
LS	Lantana 'Spreading Sunshine'	Lantana	1 GAL	3'-0" O.C.	LOW
LT	Lavatera t. 'Red Rum'	Tree Mallow	5 GAL	4'-0" O.C.	LOW
LM	Liriope m. 'Majestic'	Majestic Lilyturf	1 GAL	2'-0" O.C.	MODERATE
NJ	Nandina d. 'Jayree'	Harbor Belle Heavenly Bamboo	5 GAL	2'-0" O.C.	LOW
PJ	Phormium t. 'Jack Spratt'	New Zealand Flax	1 GAL	1'-6" O.C.	LOW
PT	Phormium c. 'Tricolor'	New Zealand Flax	5 GAL	3'-0" O.C.	LOW
PY	Phormium 'Yellow Wave'	New Zealand Flax	5 GAL	3'-0" O.C.	LOW
RC	Rhamnus californica 'Eve Case' (N)	Coffeeberry	5 GAL	4'-0" O.C.	LOW
RF	Rosa x 'Nostrum' - Pink	Flower Carpet Pink Rose	2 GAL	2'-6" O.C.	LOW
SM	Scaevola 'Maui Clusters'	Scaevola	1 GAL	1'-0" O.C.	LOW

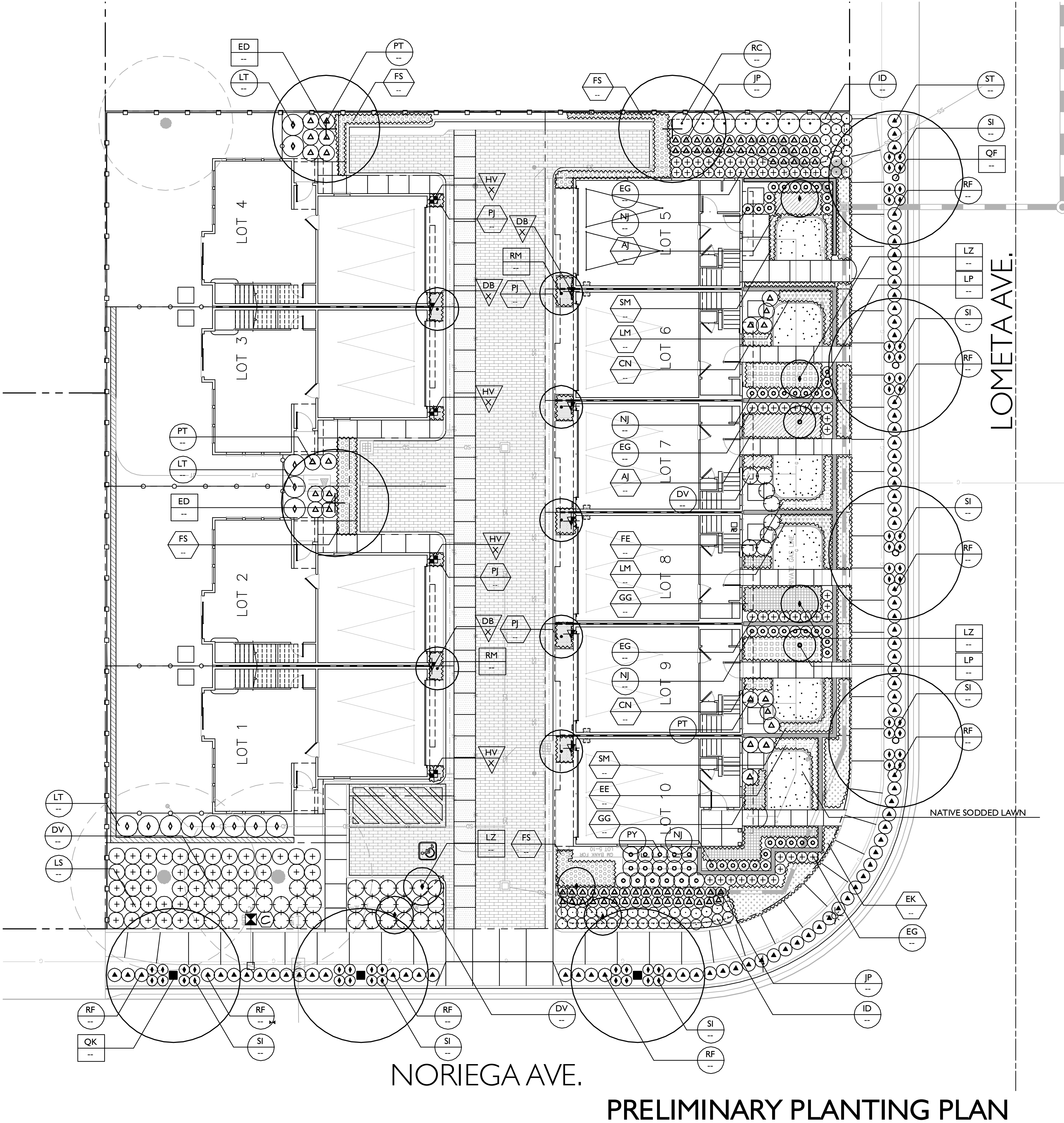
PERENNIALS/ GRASSES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
FE	Festuca 'Elijah Blue'	Elijah Blue Fescue	1 GAL	1'-6" O.C.	LOW
FS	Festuca 'Siskiyou Blue'	Siskiyou Blue Fescue	1 GAL	1'-6" O.C.	LOW
SI	Sisyrinchium idahoense bellum	Blue-Eyed Grass	1 GAL	2'-0" O.C.	VERY LOW

VINE					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
DB	Distictis buccinatoria	Blood Red Trumpet Vine	15 GAL	AS SHOWN	MODERATE
HV	Hardenbergia violacea	Lilac Vine	15 GAL	AS SHOWN	MODERATE

SWALE/ FILTRATION AREA PLANTING					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
ID	Iris douglasiana (N)	Pacific Coast Iris	1 GAL	2'-0" O.C.	LOW
JP	Juncus patens (N)	Common Rush	1 GAL	2'-0" O.C.	MODERATE

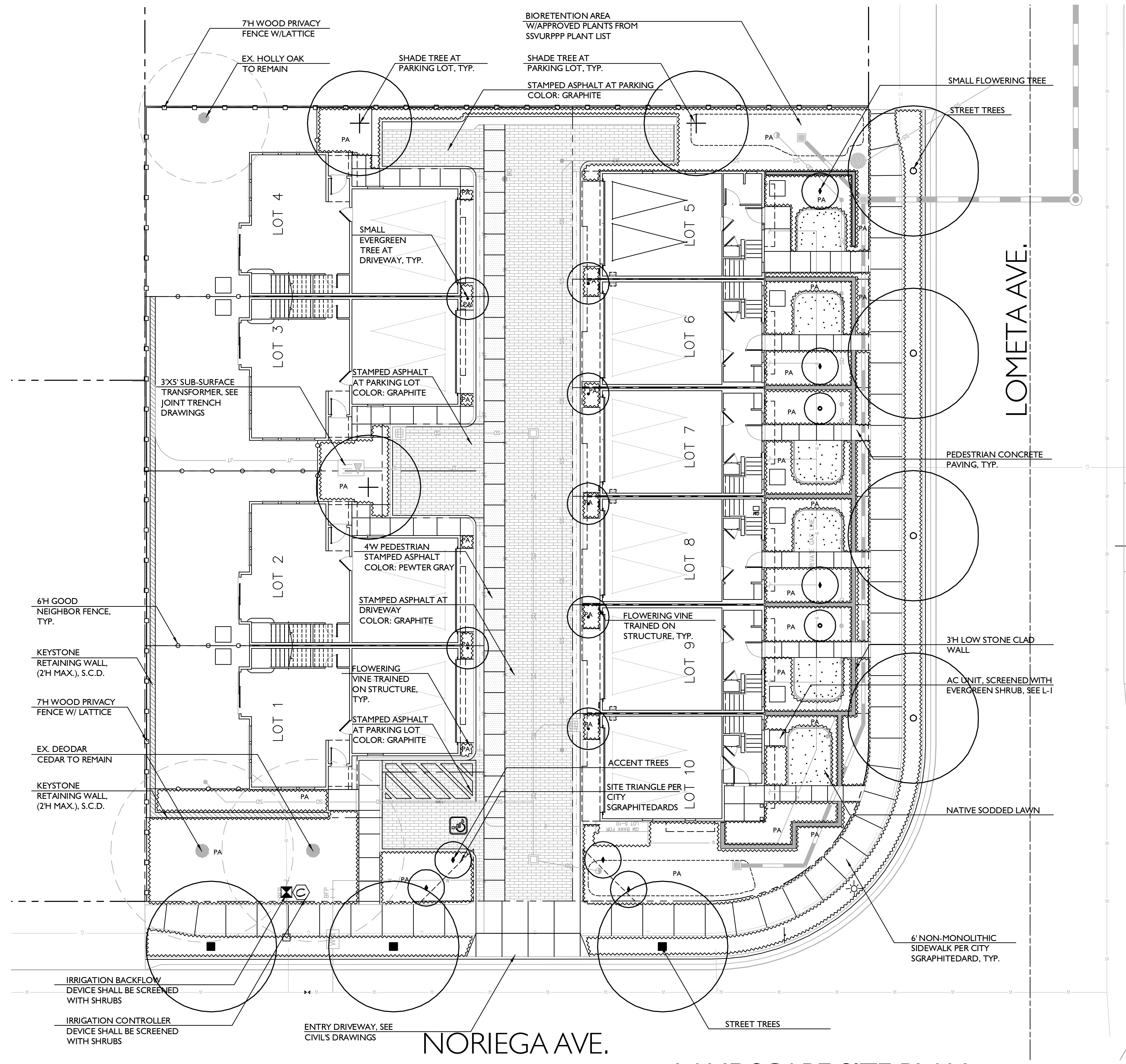
NATIVE SODDED LAWN
AGROSTIS- NATIVE BENTGRASS
MFR: DELTA BLUEGRASS COMPANY
P: 800-637-8873

(N) = NATIVE PLANTS	
TOTAL PLANTS	SUBTOTAL PLANTS WITH NATIVE, LOW WATER OR NO WATER USE REQUIREMENTS
5,650 S.F.	5,315 S.F.
PERCENTAGE OF PLANTS MEETING NATIVE/ LOW WATER REQUIREMENTS: 94% MORE THAN 80% REQUIRED.	



NORIEGA AVE.
PRELIMINARY PLANTING PLAN

L-1

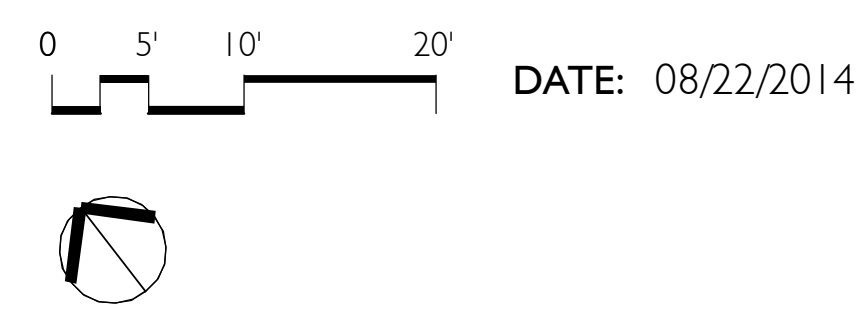


NORIEGA AVE.

LOMETA AVE.

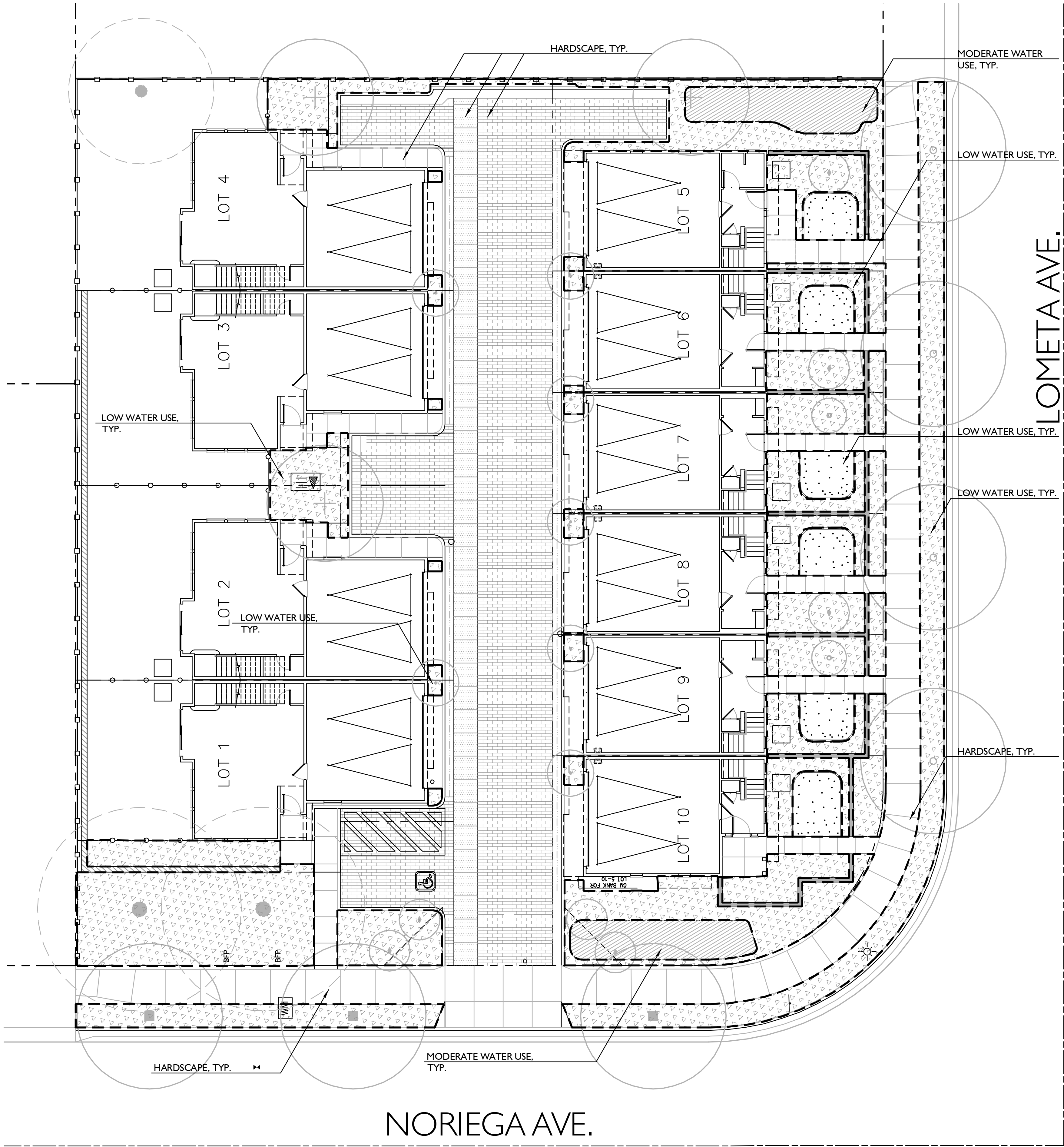
LANDSCAPE SITE PLAN

L-2



CLASSICS AT NORIEGA AVE.
SUNNYVALE, CA





PLANTING NOTES

1. ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
2. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT.
3. ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/GUYING DETAIL.
4. PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
5. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT TO BLOCK WINDOWS NOR IMPEDE ACCESS.
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
7. BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH GRADE.
8. ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE.
9. LANDSCAPE CONTRACTOR SHALL HIRE AN ACCREDITED SOILS ANALYSIS FIRM TO TEST SOIL AND ABIDE BY RECOMMENDATIONS CONTAINED WITHIN FOR PROPER PLANT GROWTH.
10. ON GRADE PLANTING BACKFILL MIX SHALL CONSIST OF 50% IMPORTED TOPSOIL, 50% NATIVE SOIL (WITH NO ROCKS LARGER THAN 2" DIAMETER).
11. ALL ON-GRADE PLANTING AREAS ARE TO RECEIVE IRON AND NITROGEN STABILIZED REDWOOD SOIL CONDITIONER AT THE RATE OF 6 CUBIC YARDS/1000 SQUARE FEET, EVENLY TILLED 6" DEEP INTO THE SOIL TO FINISH GRADE.
12. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH 3" LAYER OF SALT WATER FREE FIR BARK MULCH HAVING A MAXIMUM SIZE OF 3/4" DIAMETER.
13. ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY.
14. ALL TREES WITHIN 5' OF PAVING AREAS SHALL HAVE DEEP ROOT BARRIERS INSTALLED. DEEP ROOT BARRIER MODEL NO. UB-36.2. (415) 344.1464.
15. ALL SLOPES GREATER THAN 2.5:1 SHALL BE COVERED WITH JUTE NETTING PER THE MANUFACTURERS SPECIFICATIONS. OVERLAP ALL EDGES A MINIMUM OF 2" AND SECURE AS REQUIRED WITH METAL STAPLES.
16. THE LANDSCAPE CONTRACTOR SHALL AS A PART OF THIS BID PROVIDE FOR A PLANTING ALLOWANCE FOR THE AMOUNT OF \$1,500.00 (ONE THOUSAND FIVE HUNDRED DOLLARS), TO BE USED FOR SUPPLYING AND INSTALLING ADDITIONAL PLANT MATERIAL AS DIRECTED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER IN WRITING. THE UNUSED PORTION OF THE ALLOWANCE SHALL BE RETURNED TO THE OWNER AT THE BEGINNING OF THE MAINTENANCE PERIOD.
17. CONTRACTOR SHALL EXCAVATE ALL LIME-TREATED SOILS FROM ALL PLANTING AREAS.
18. ADJACENT TO CURBS OR PAVING, CONTRACTOR TO HOLD CENTER OF PLANTINGS 1/2 THE DISTANCE OF THE ON-CENTER SPACING.
19. THE LANDSCAPE CONTRACTOR IS TO PROVIDE AN AGRICULTURAL SUITABILITY ANALYSIS AND PERCOLATION TEST VERIFYING 3" PER HOUR DRAIN RATE FOR ON-SITE AND IMPORTED TOPSOIL. RECOMMENDATIONS FOR AMENDMENTS AND DRAINAGE SOLUTIONS CONTAINED IN THIS ANALYSIS, SHALL BE CARRIED OUT BEFORE PLANTING OCCURS IF DRAINAGE IS FOUND TO NOT AT A PROPER RATE.
20. TREES WITHIN THE PROPERTY LINE SHALL BE MAINTAIN A HEIGHT OF 8 FEET CLEARANCE ABOVE GROUND IN (5) YEARS.
21. TREES SHALL NOT BE INSTALLED WITHIN 10 FEET OF SANITARY SEWER MAINS AND LATERALS. S.C.D. FOR SANITARY SEWER MAINS AND LATERALS LOCATIONS.
22. TREES WITHIN THE PROPERTY LINE SHALL BE MAINTAIN A DISTANCE OF 5' FROM SIDE OF STRUCTURE AND PERIMETER FENCING. TREE TYPES WITH SMALLER BRANCHES NOT CONDUCTIVE TO CLIMBING ARE ONLY ALLOWED WITHIN 5' DISTANCE FROM SIDE OF STRUCTURE AND PERIMETER FENCING.
23. TREES NEXT TO RESIDENCES SHALL NOT BE PLANTED IN POSITIONS THAT WILL BLOCK WINDOWS.
24. ALL SHRUBS AROUND THE BUILDING STRUCTURE SHALL MAINTAIN A HEIGHT OF 3 FOOT AND TRIMMED UP FROM GROUND 1 FOOT. ALL SHRUBS SHALL BE KEPT BELOW WINDOWS ON GROUND.

WATER EFFICIENT LANDSCAPE STATEMENT

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURF AND GROUND COVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAN 5,000 SF SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.



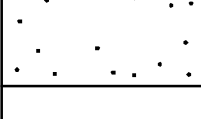
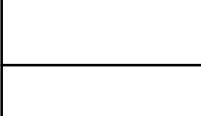
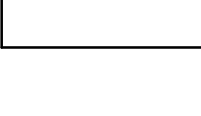
A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES.

A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUND COVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND PRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

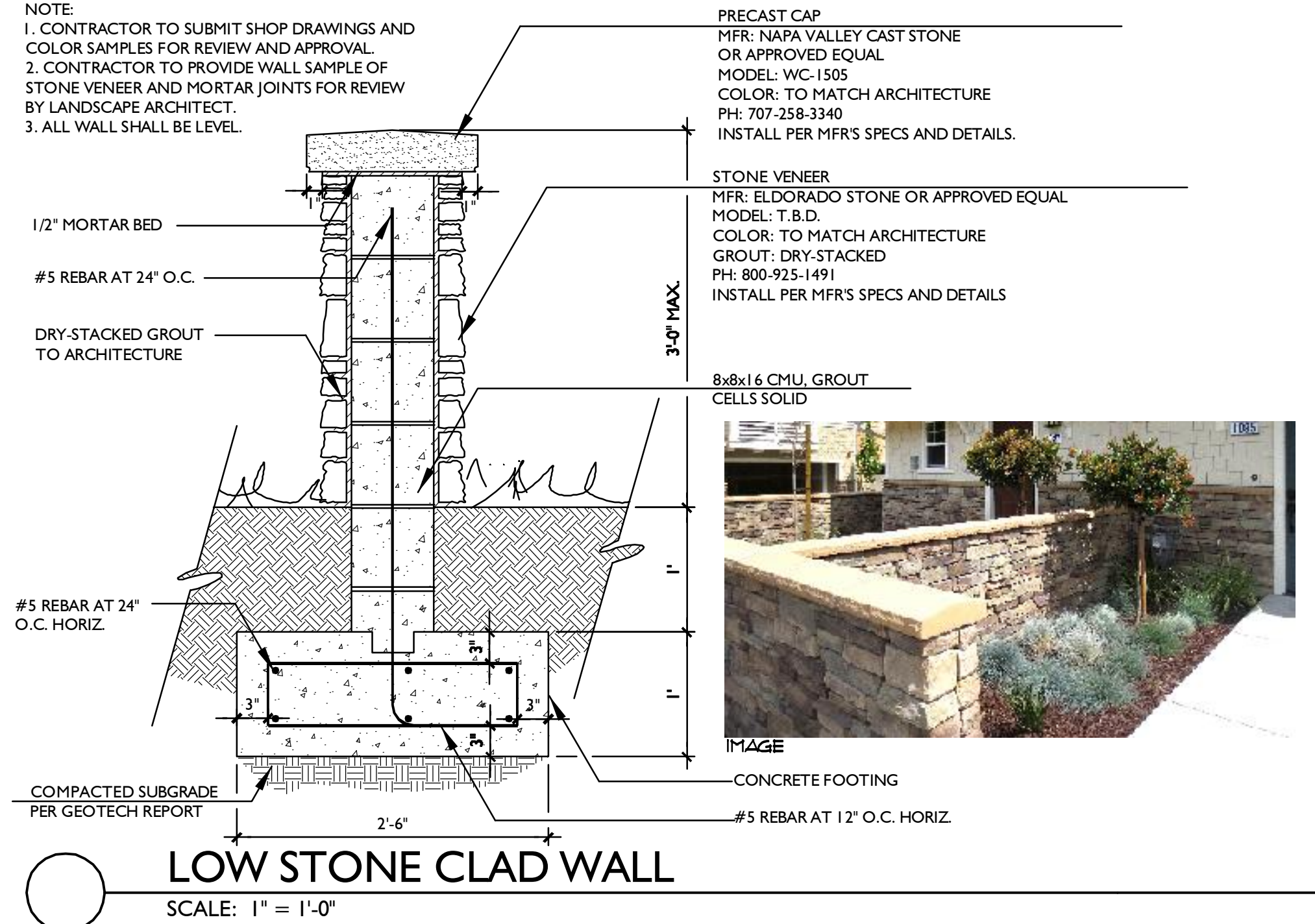
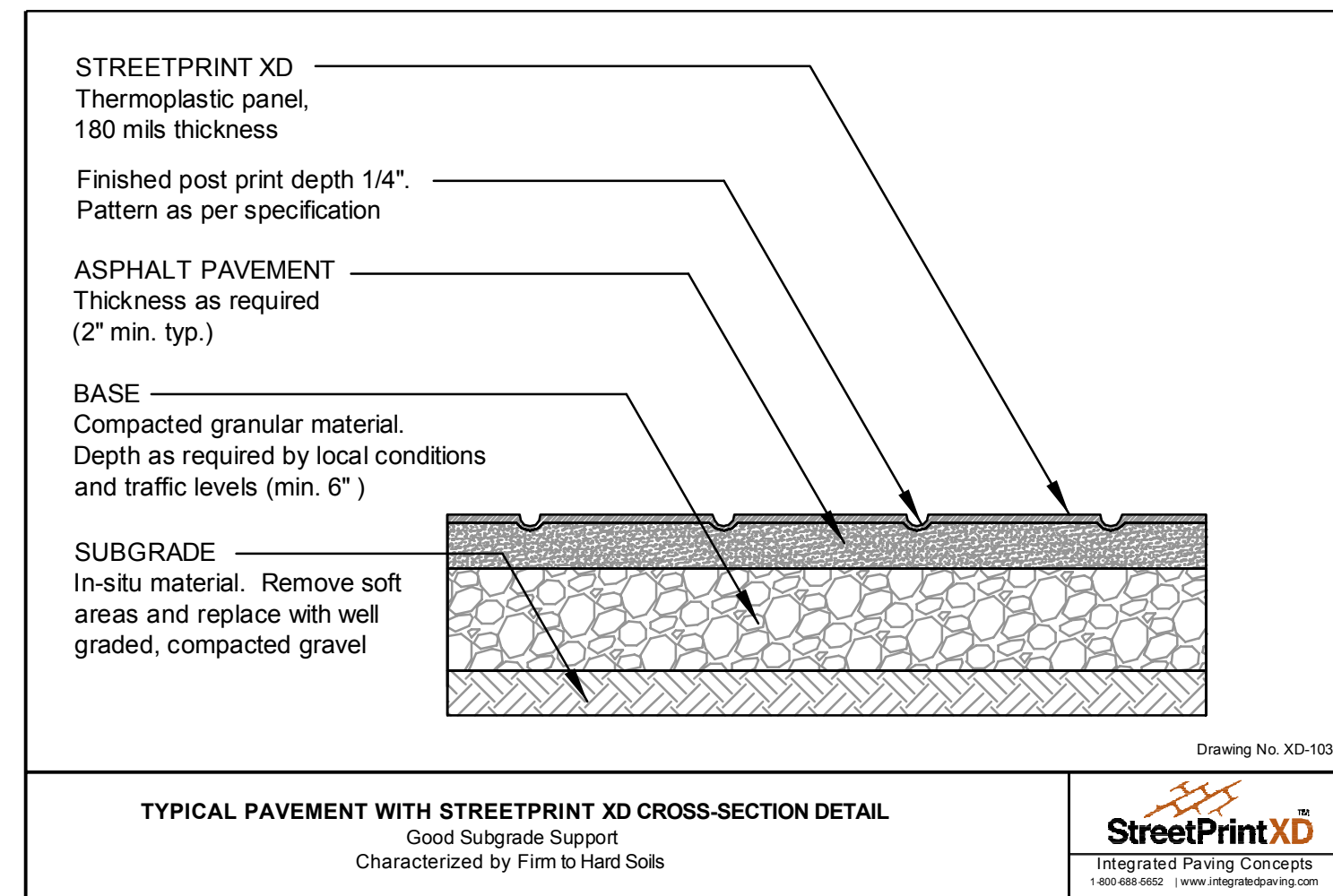
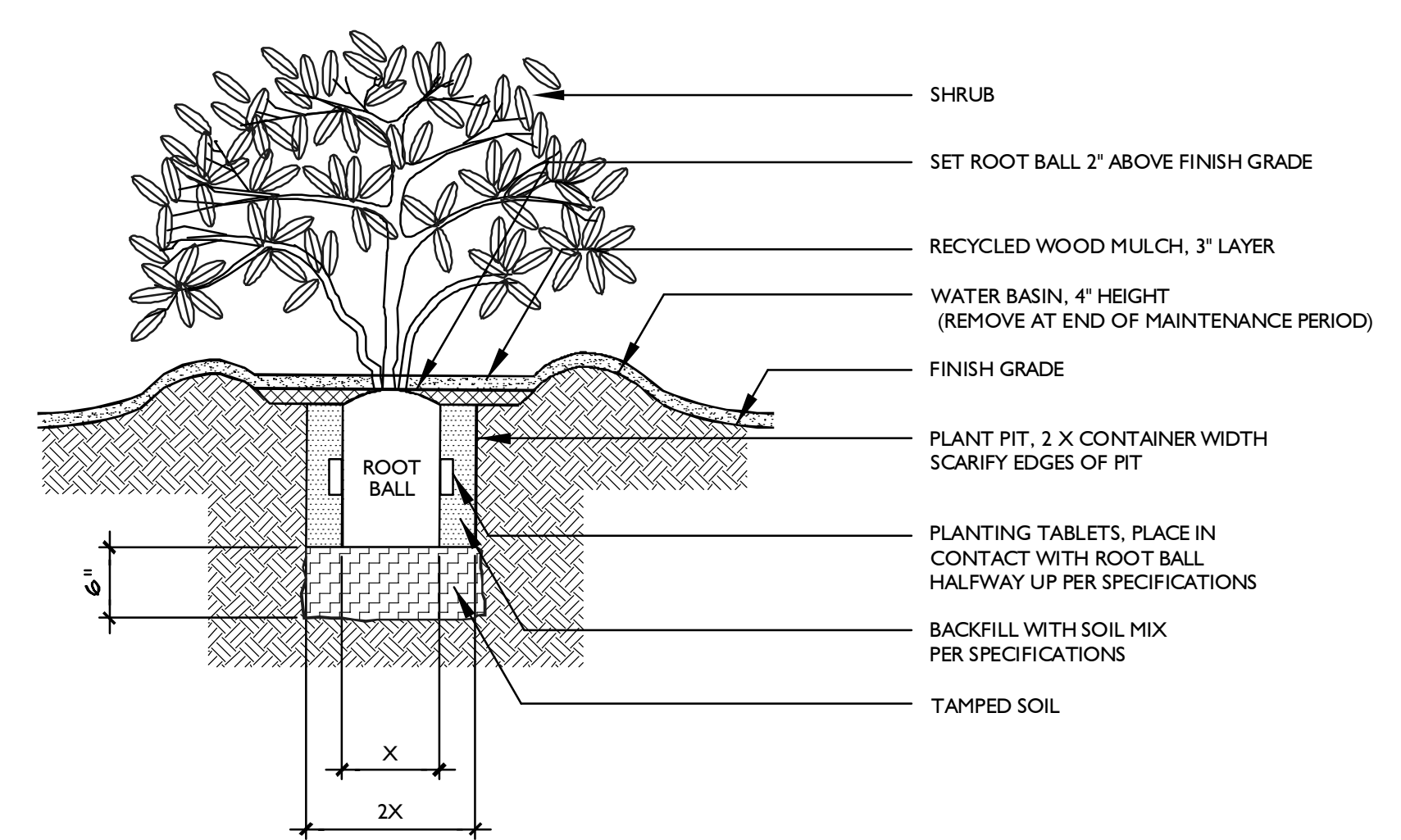
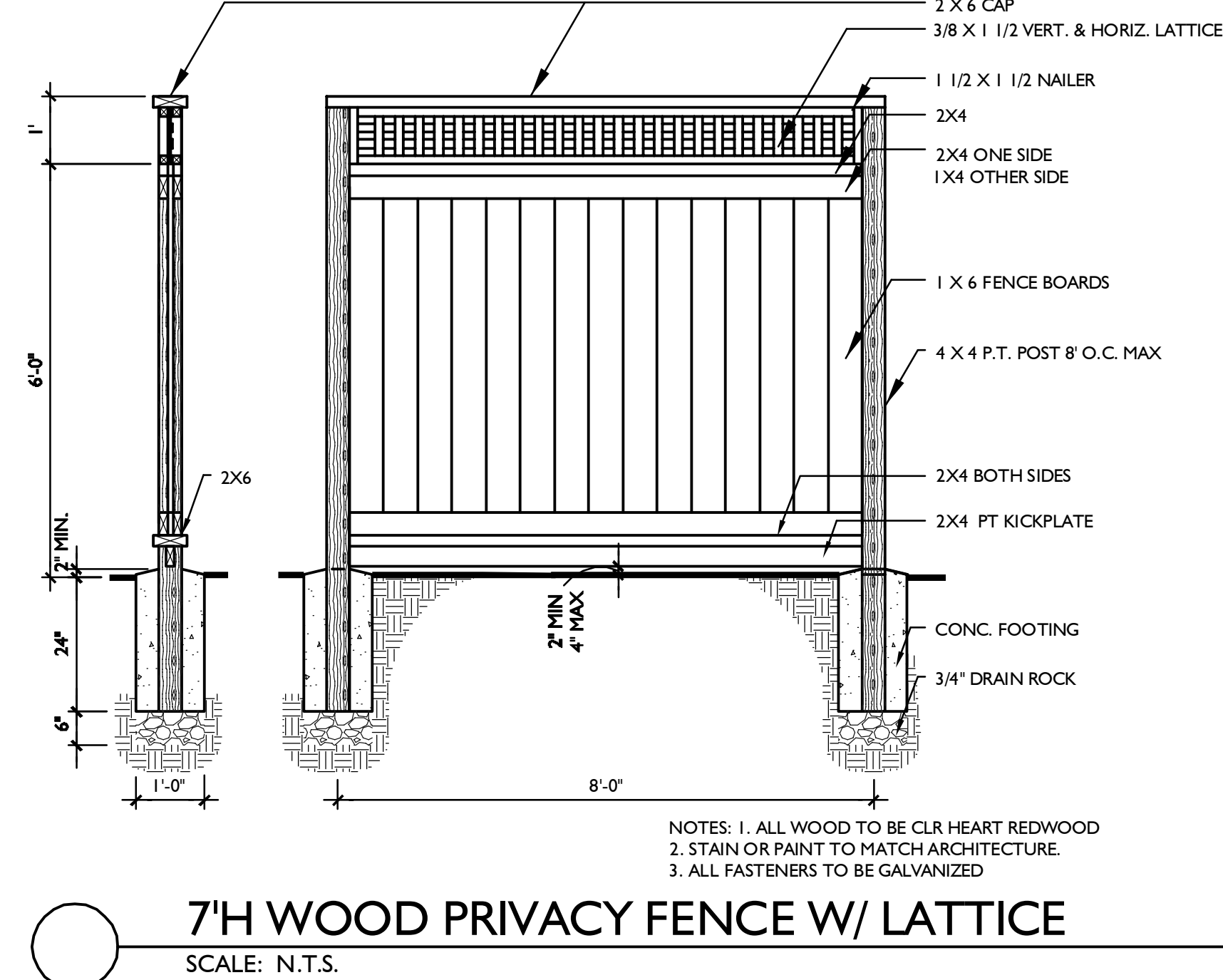
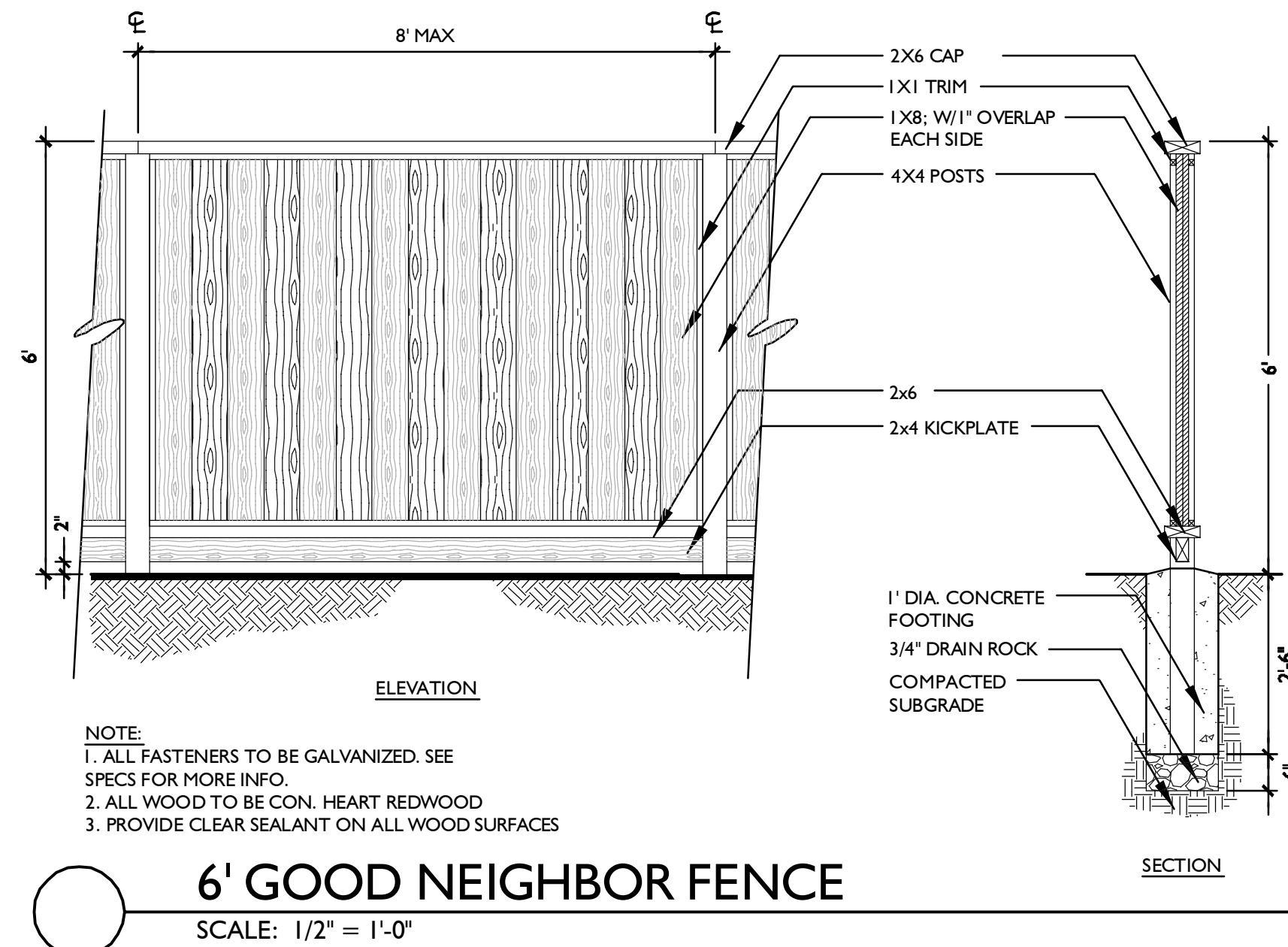
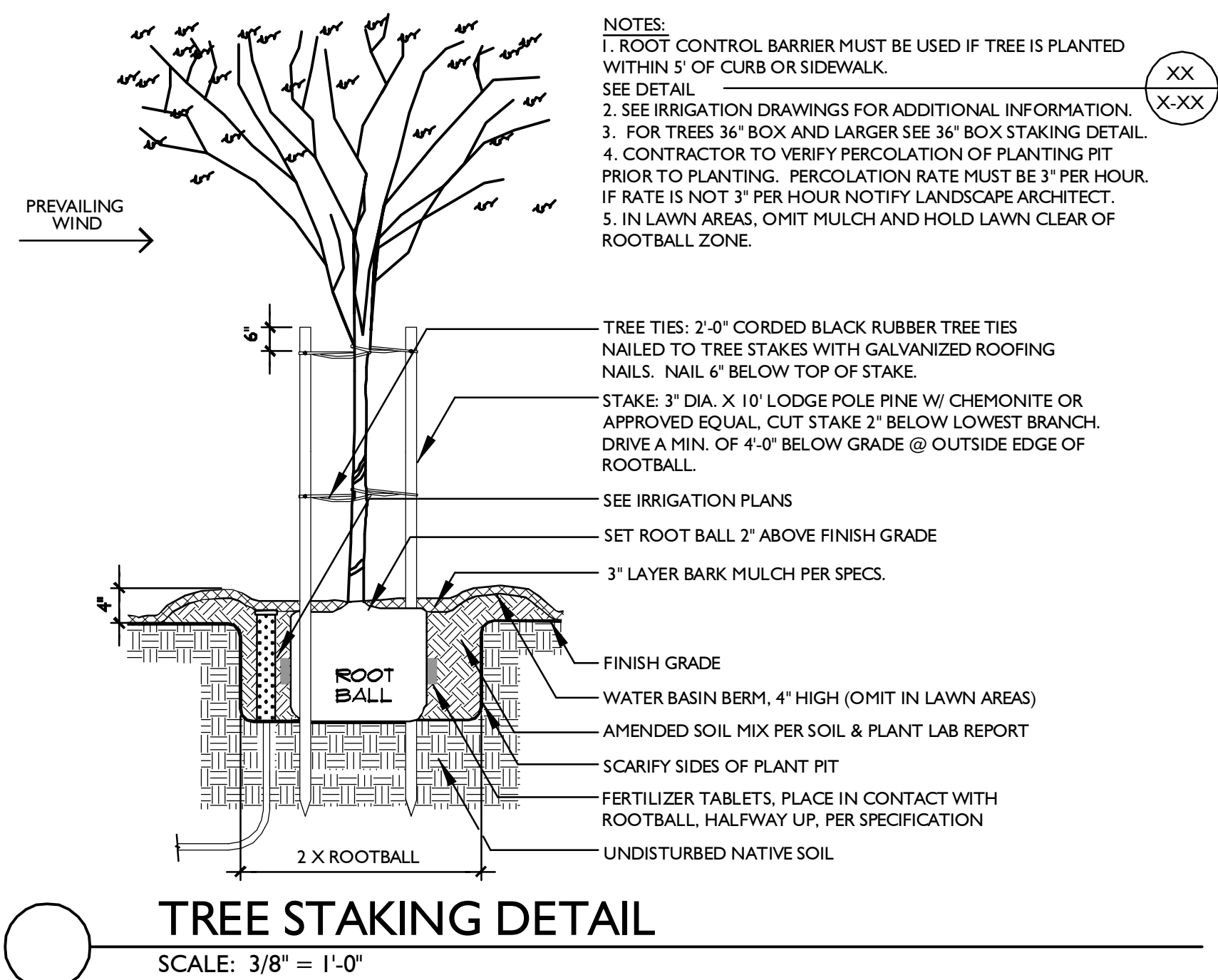
THE DRIP SYSTEM WILL INCORPORATE PRESSURE COMPENSATING DRIP BUBBLERS WITH 1/4" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

LEGEND		
A	 SHRUBS (MODERATE WATER USE)	435 S.F.
B	 SHRUBS (LOW WATER USE)	4,740 S.F.
C	 NATIVE BENTGRASS (LOW WATER USE)	475 S.F.
D	 TREES (LOW WATER USE)	160 S.F.
E	 TREES (MODERATE WATER USE)	90 S.F.

TOTAL PLANTING AREA 5,900 S.F.

HYDROZONE MAP AND LANDSCAPE NOTES

L-3



KEYSTONE RETAINING WALL



LANDSCAPE DETAILS

CLASSICS AT NORIEGA AVE.
SUNNYVALE, CA



L-4

0 5' 10' 20'

DATE: 08/22/2014

TREES



Elaeocarpus decipiens



Lagerstroemia 'Zuni'



Lagerstroemia 'Pecos'



Pyrus C. 'Capital'



Quercus frainetto



Quercus kelloggii



Rhapiolepis 'Majestic Beauty'

SHRUBS/ GROUNDCOVER



Ajuga R. 'Astropurpurea'



Chamaemelum nobile



Diets vegeta



Erigeron karvinskianus



Gazania 'Sunglow'



Euonymus J. 'Green Spire'



Lantana 'Spreading Sunshine'



Lavatera T. 'Red Rum'

SHRUBS/ GROUNDCOVER



Liriope M. 'Majestic'



Nandina D. 'Jaytee'



Phormium 'Jack Spratt'



Phormium C. 'Tricolor'



Phormium 'Yellow Wave'



Rhamnus C. 'Eve Case'



Rosa x 'Noatraum' Pink



Scaevola 'Mauve Clusters'

PERENNIALS/ GRASSES



Festuca 'Elijah Blue'



Festuca 'Siskyou Blue'



Sisyrinchium idahoense bellum

NATIVE SODDED LAWN



VINES



Distictis buccinatoria



Hardenbergia violacea

SWALE/ FILTRATION AREA PLANTING



Iris douglasiana



Juncus patens

PLANT PALETTE

L-5

HYDROZONE TABLE

VALVE	SIZE	GPM	HYDROZONE	WATER USE	IRRIGATION METHOD
C-1	1"	9	Bio Swale	M	Spray
C-2	1"	7	Shrubs	L	Drip tubing
C-3	1"	7	Shrubs	L	Drip tubing
C-4	1"	4	Trees	M	Bubblers
C-5	1"	5	Trees	M	Bubblers
C-6	1"	6	Trees	L	Bubblers
C-7	1"	8	Bio Swale	M	Spray
C-8	1"	6	Shrubs	L	Drip tubing
C-9	1"	6	Shrubs	L	Drip tubing
C-10	1"	6	Shrubs	L	Drip tubing
C-11	1"	6	Shrubs	L	Drip tubing
C-12	1"	4	Shrubs	L	Drip tubing
C-13	1"	14	Lawn	L	Spray
C-14	1"	10	Bio Swale	M	Spray
C-15	1"	3	Shrubs	L	Drip tubing

LATERAL SIZING CHART

1/2"	1-3 GPM
3/4"	4-9 GPM
1"	10-15 GPM
1 1/4"	16-20 GPM

IRRIGATION CONTROLLER "C"-
PEDESTAL MOUNT AS DIRECTED
BY ARCHITECT. SERVICE WITH 120
VOLT A.C. ELECTRICAL.
ELECTRICAL SERVICE TO THIS
LOCATION PROVIDED BY
ELECTRICAL CONTRACTOR.

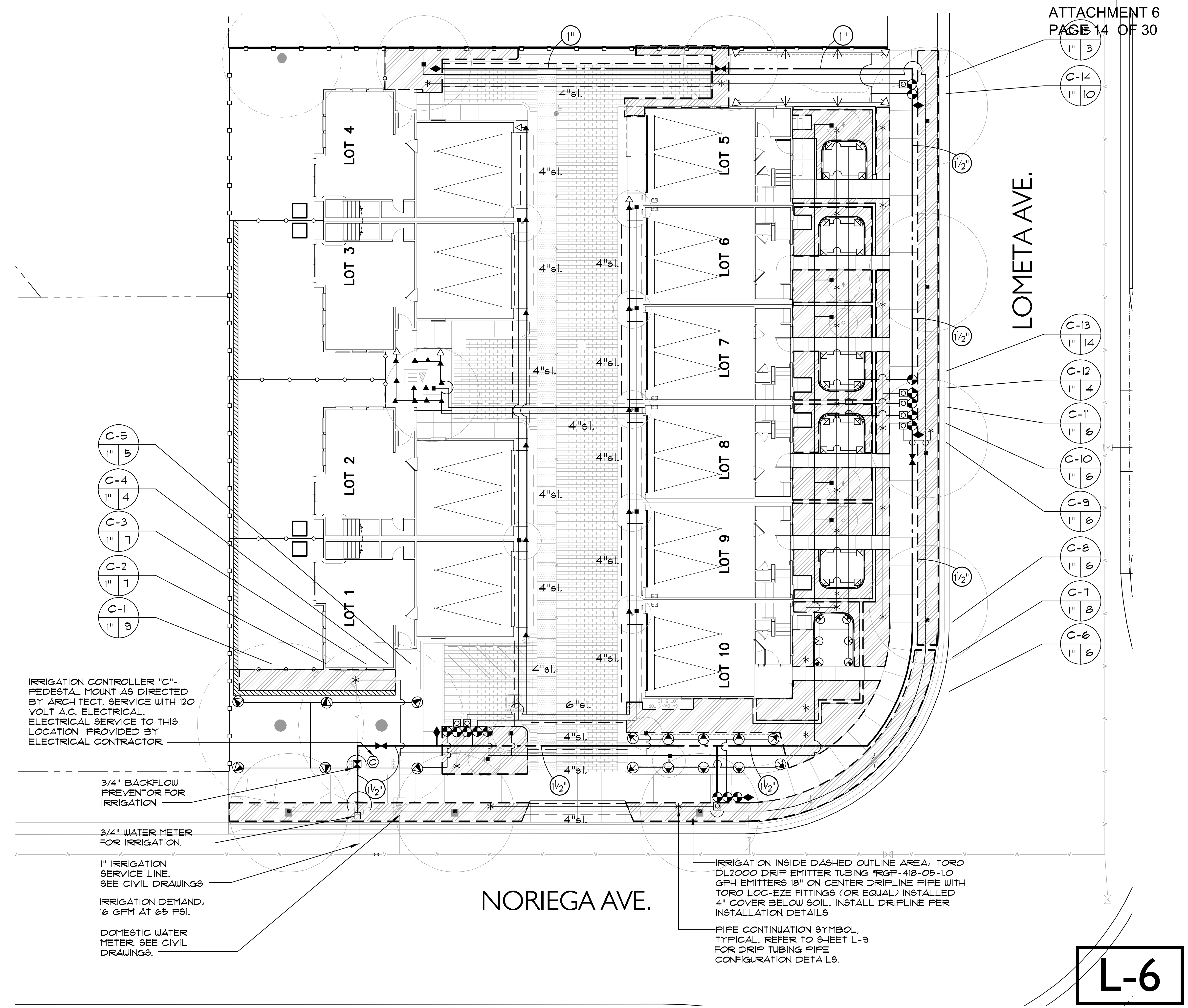
3/4" BACKFLOW
PREVENTOR FOR
IRRIGATION

3/4" WATER METER
FOR IRRIGATION.

1" IRRIGATION
SERVICE LINE.
SEE CIVIL DRAWINGS

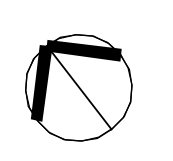
IRRIGATION DEMAND:
16 GPM AT 65 PSI.

DOMESTIC WATER
METER. SEE CIVIL
DRAWINGS.



L-6

0 5' 10' 20' DATE: 08/22/2014




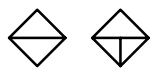












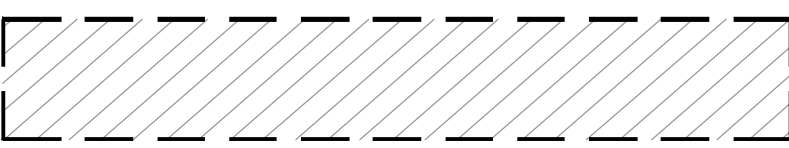
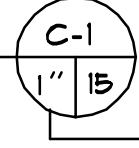

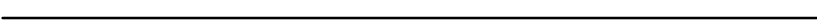
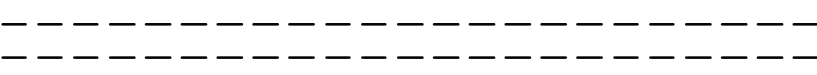
CLASSICS AT NORIEGA AVE.
SUNNYVALE, CA



IRRIGATION NOTES

1. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
2. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
3. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
4. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THEN WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
5. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE.
6. SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
7. INSTALL FOUR (4) SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
8. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
9. NOTIFY LANDSCAPE ARCHITECT OF ANY ASPECTS OF LAYOUT WHICH WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED.
10. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.
11. ELECTRICAL CONTRACTOR TO SUPPLY 120 VOLT A.C. (2.5 AMP) SERVICE TO CONTROLLER LOCATION. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER.
12. IN ADDITION TO THE SLEEVES AND CONDUITS SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
13. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES, AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. ROOTS TWO (2) INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN A PLASTIC BAG AND SECURED WITH A RUBBER BAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
14. LOCATE QUICK COUPLING VALVE 12" FROM HARDSCAPE AREA.
15. INSTALL VALVE BOXES 12" FROM AND PERPENDICULAR TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF VALVE BOX SHALL BE PARALLEL TO WALK, CURB, LAWN, ETC.
16. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO LANDSCAPE ARCHITECT.
17. INSTALL A NEW 9 VOLT DURACELL BATTERY(S) OR APPROVED EQUAL IN EACH CONTROLLER TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURE.
18. OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.
19. PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT, (1-800) 642-2444 FOR NORTHERN CALIFORNIA.
20. WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	RADIUS
	570Z-12P-COM-PRN-A	TORO 12" POP-UP SPRAY HEAD WITH ADJUSTABLE ROTATING NOZZLES	30	1.50	16'-20'
	570Z-4P-PR COM-OT-12 H,Q	TORO 4" POP-UP SPRAY HEAD WITH PRECISION SERIES NOZZLES	30	.50, .25	10'
	570Z-4P-PR COM-OT- 8 H,Q	TORO 4" POP-UP SPRAY HEAD WITH PRECISION SERIES NOZZLES	30	.30, .15	8'
	570Z-12P-PR COM-OT-12 H,Q	TORO 12" POP-UP SPRAY HEAD WITH PRECISION SERIES NOZZLES	30	.80, .40	12'
	570Z-12P-PR COM-OT- 8 H,Q	TORO 12" POP-UP SPRAY HEAD WITH PRECISION SERIES NOZZLES	30	.30, .15	8'
	OCT816	PEPCO OCTA BUBBLER - SHRUBS	30	2 GPH	-
	RWS-BG-02	RAIN BIRD BUBBLER - TREES	30	0.50	-
	M64/AP100	SPEARS FLUSHING END PLUG			
	1-1201-1151-8130 PMR-MF-30-1"	AMIAD 1" FILTER WITH 130 MESH SCREEN WITH SENNINGER 1" IN-LINE PRESSURE REDUCING VALVE (1-22 GPM)			
	825Y-BV-3/4" SBBC-SS	FEBCO REDUCED PRESSURE BACKFLOW PREVENTOR INSIDE STRONG BOX "SMOOTH TOUCH" STAINLESS STEEL ENCLOSURE			
	700 SERIES	IRRITROL ULTRA FLOW REMOTE CONTROL VALVE			
	T-113-K	NIBCO GATE VALVE (LINE SIZE) WITH CROSS HANDLE IN ROUND BOX			
	33 DRC	RAIN BIRD QUICK COUPLING VALVE			
	ESPLXM12-ESPLXM8 ETM-LXM LXMM-PED	RAINBIRD 20 STATION CONTROLLER (12 STATION BASE PLUS 8-STATION EXPANSION MODULE) INCLUDE RAINBIRD ET MANAGER CARD AND POWDER COATED PEDESTAL.			
		IRRIGATION INSIDE DASHED OUTLINE AREA: TORO DL2000 DRIP EMITTER TUBING #RGP-418-05-1.0 GPH EMMITERS 18" ON CENTER DRIPLINE PIPE WITH TORO LOC-EZE FITTINGS (OR EQUAL) INSTALLED 4" COVER BELOW SOIL. INSTALL DRIPLINE PER INSTALLATION DETAILS			
		STATION NUMBER GALLONS PER MINUTE VALVE SIZE			
		MAINLINE: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		LATERAL LINE:1120-200 PSI PVC PLASTIC PIPE W/SCHEDULE 40 PVC PLASTIC FITTINGS. 12" COVER.			
		SLEEVE:1120-200 PSI PVC PLASTIC PIPE W/SCHEDULE 40 PVC PLASTIC FITTINGS. 24" COVER.			

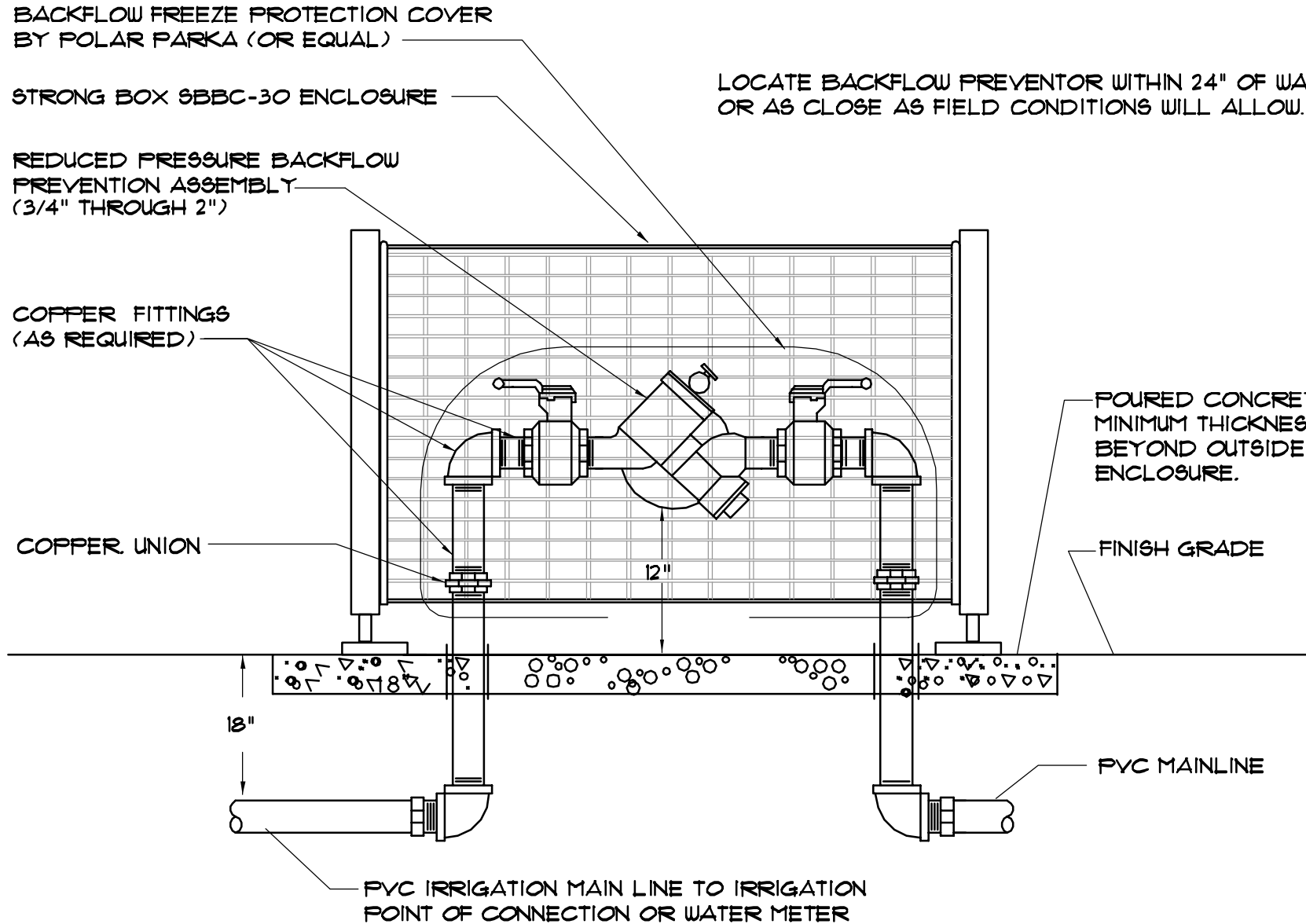
IRRIGATION NOTES AND LEGEND

L-7

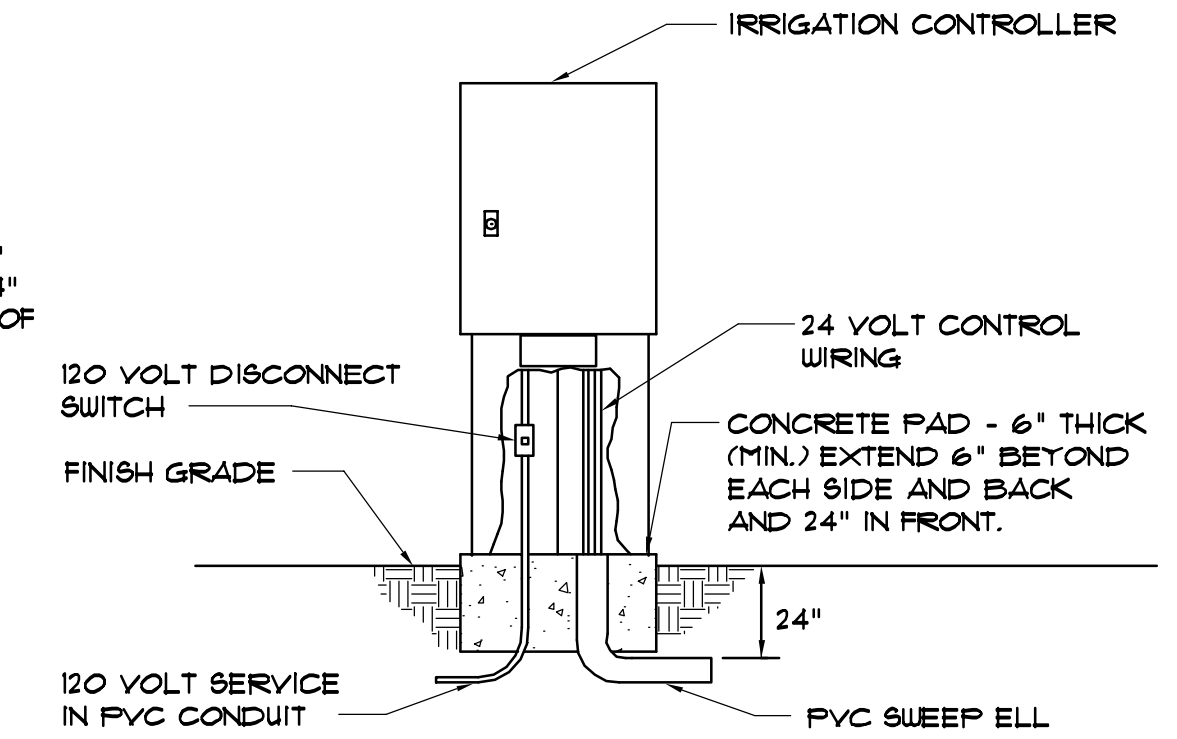


CLASSICS AT NORIEGA AVE.
SUNNYVALE, CA

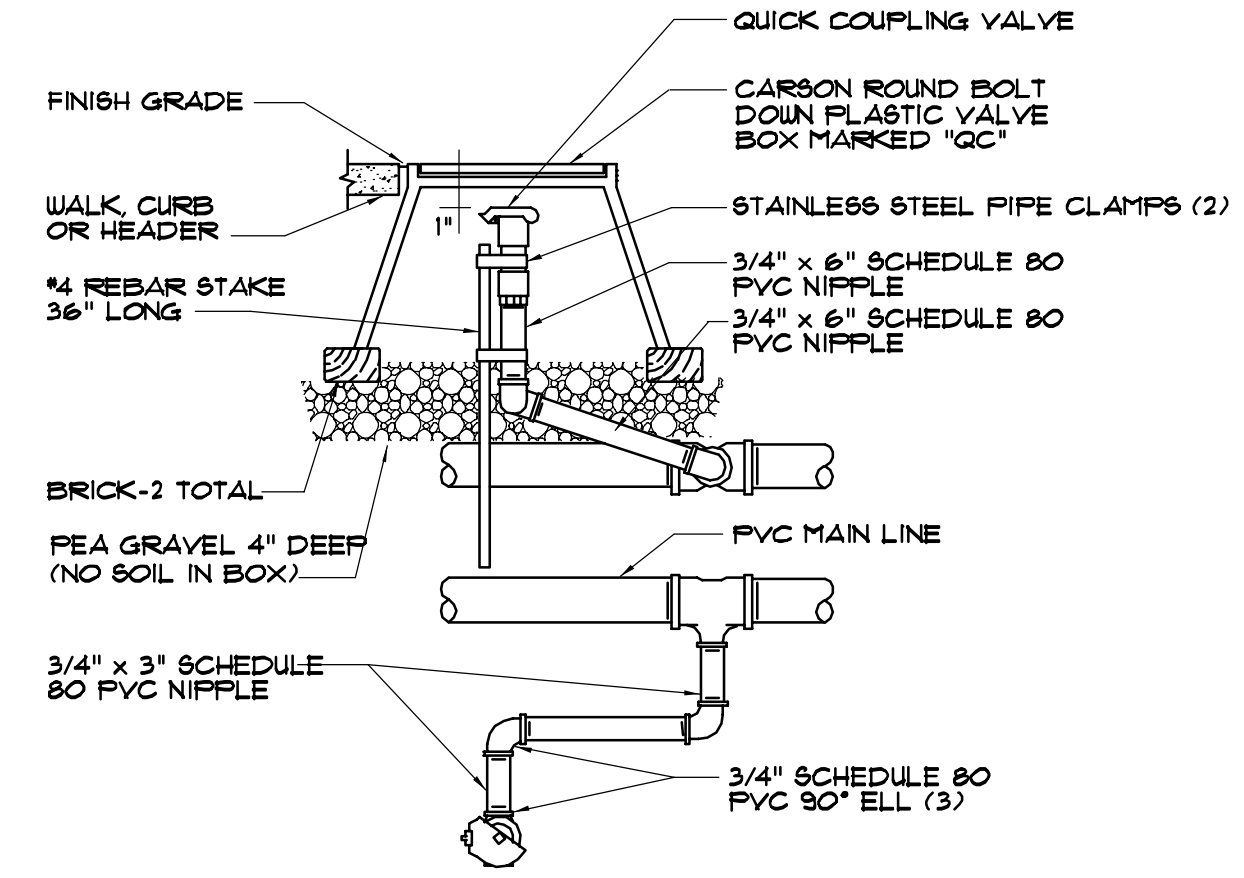




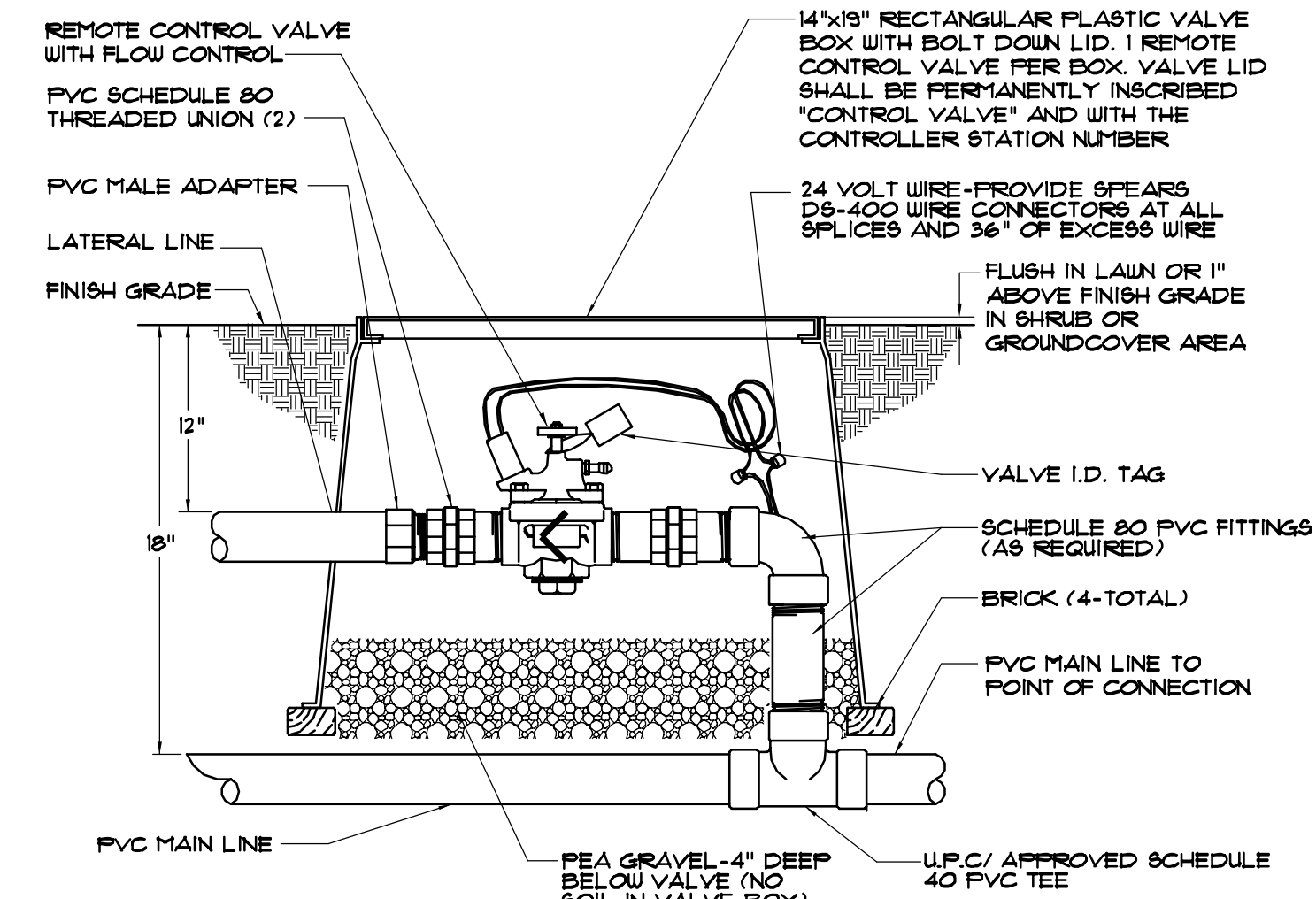
1 BACKFLOW ASSEMBLY
NTS



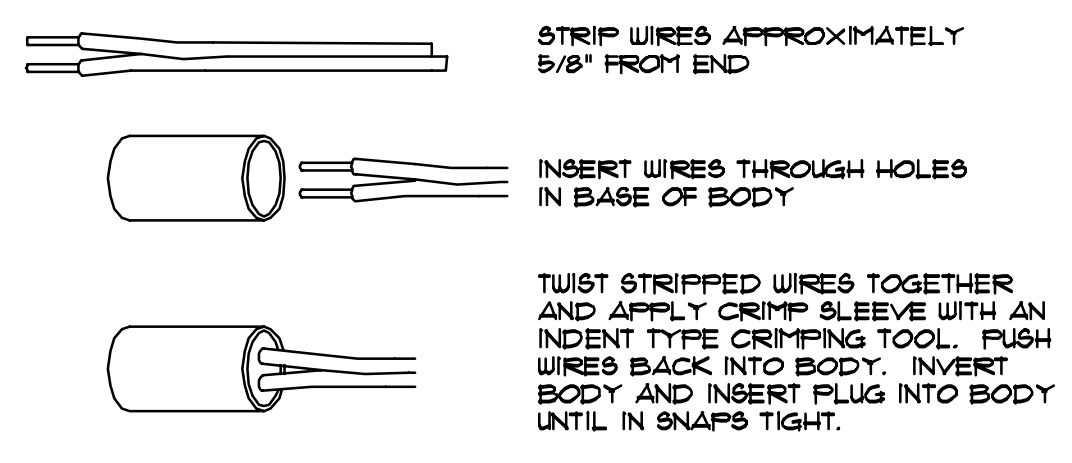
2 PEDESTAL MOUNT CONTROLLER
NTS



3 QUICK COUPLER IN BOX
NTS

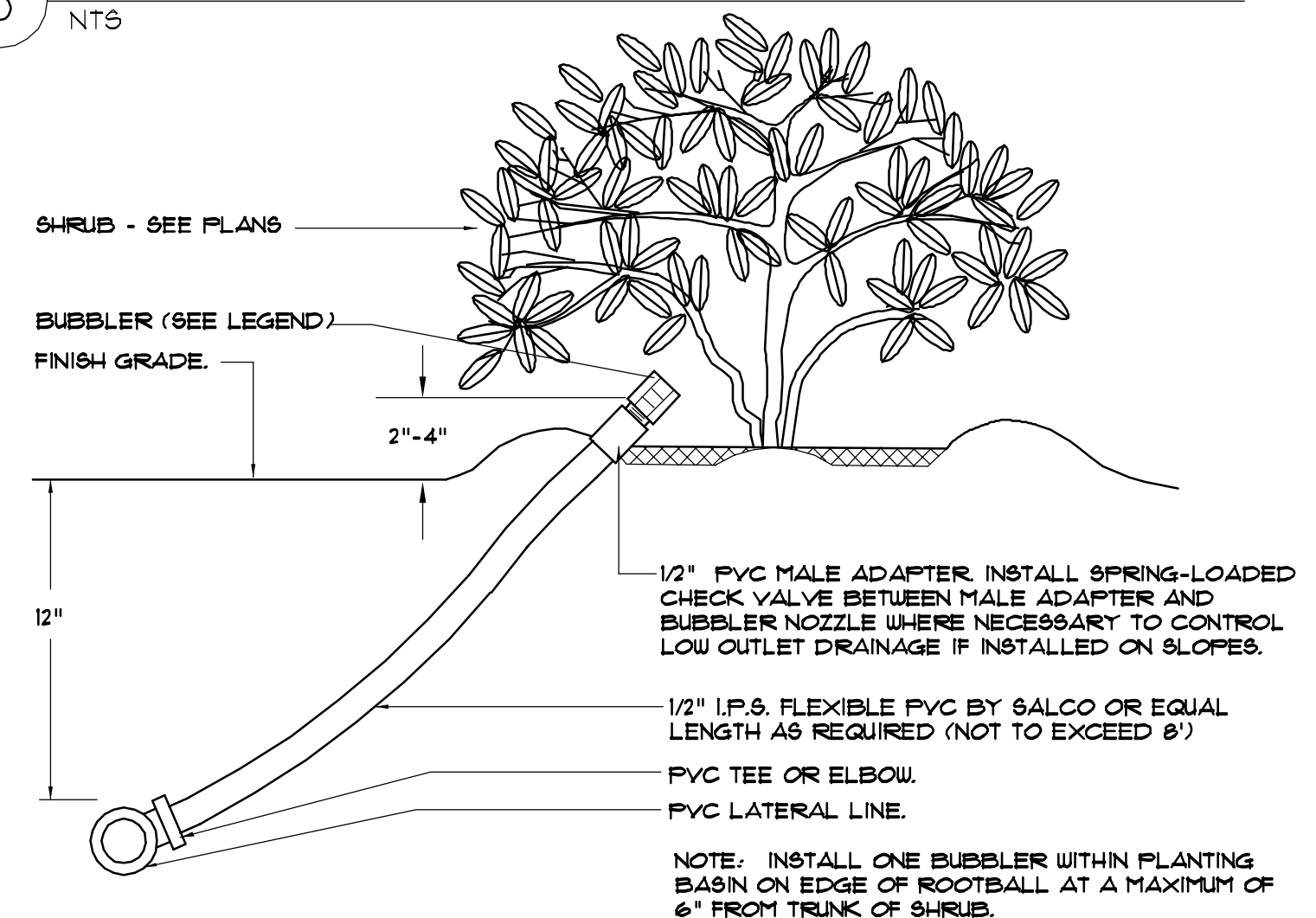


4 REMOTE CONTROL VALVE INSTALLATION
NTS

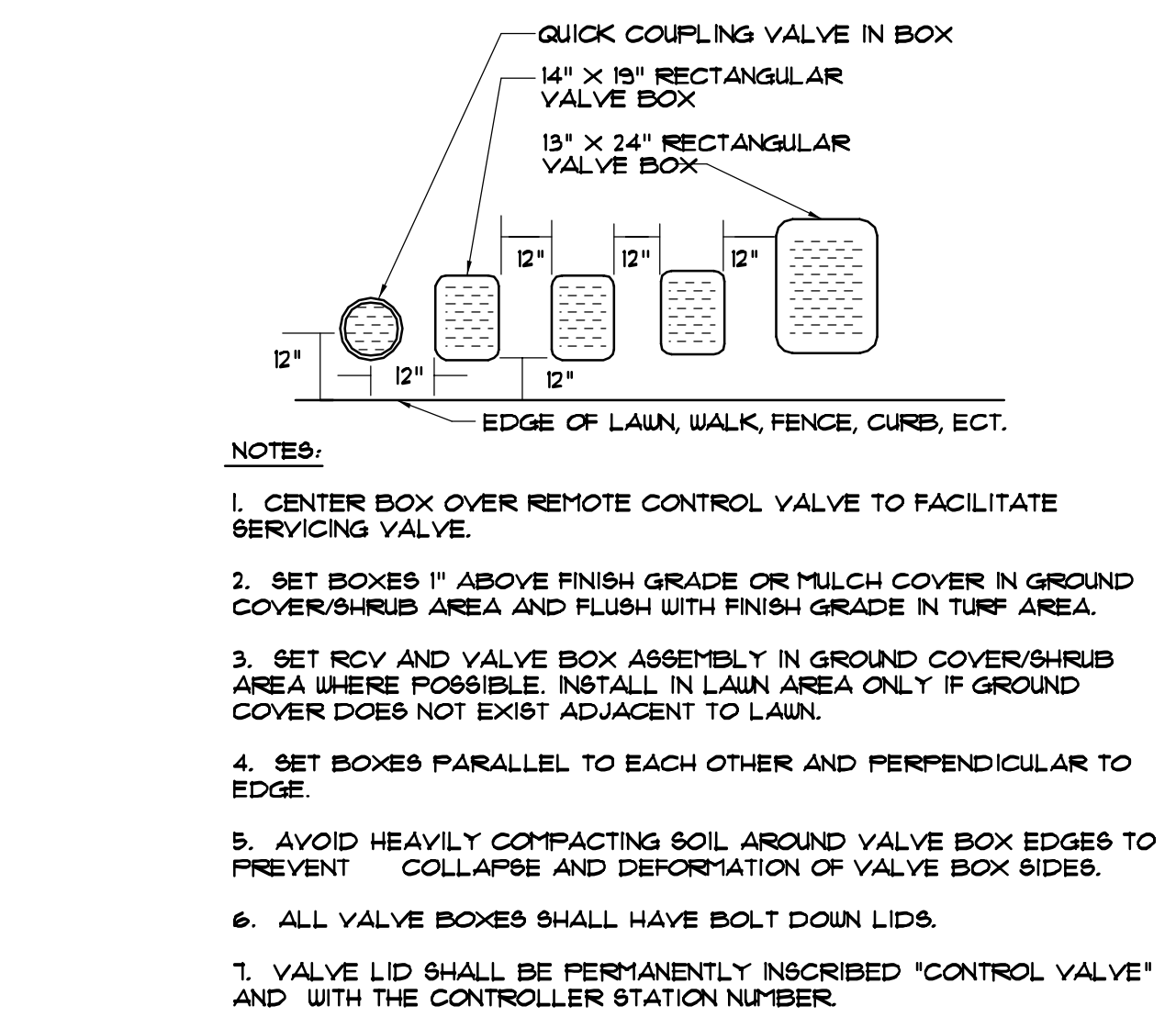


- NOTES:
- ONE CONNECTOR HANDLES #10 AWG, #12 AWG AND #14 AWG WIRES.
 - WIRE CONNECTORS WILL ACCEPT THREE WIRE OR TWO WIRE CONNECTIONS.
 - MANUFACTURED BY SPEARS #D8-500, KING #6135 OR EQUAL.

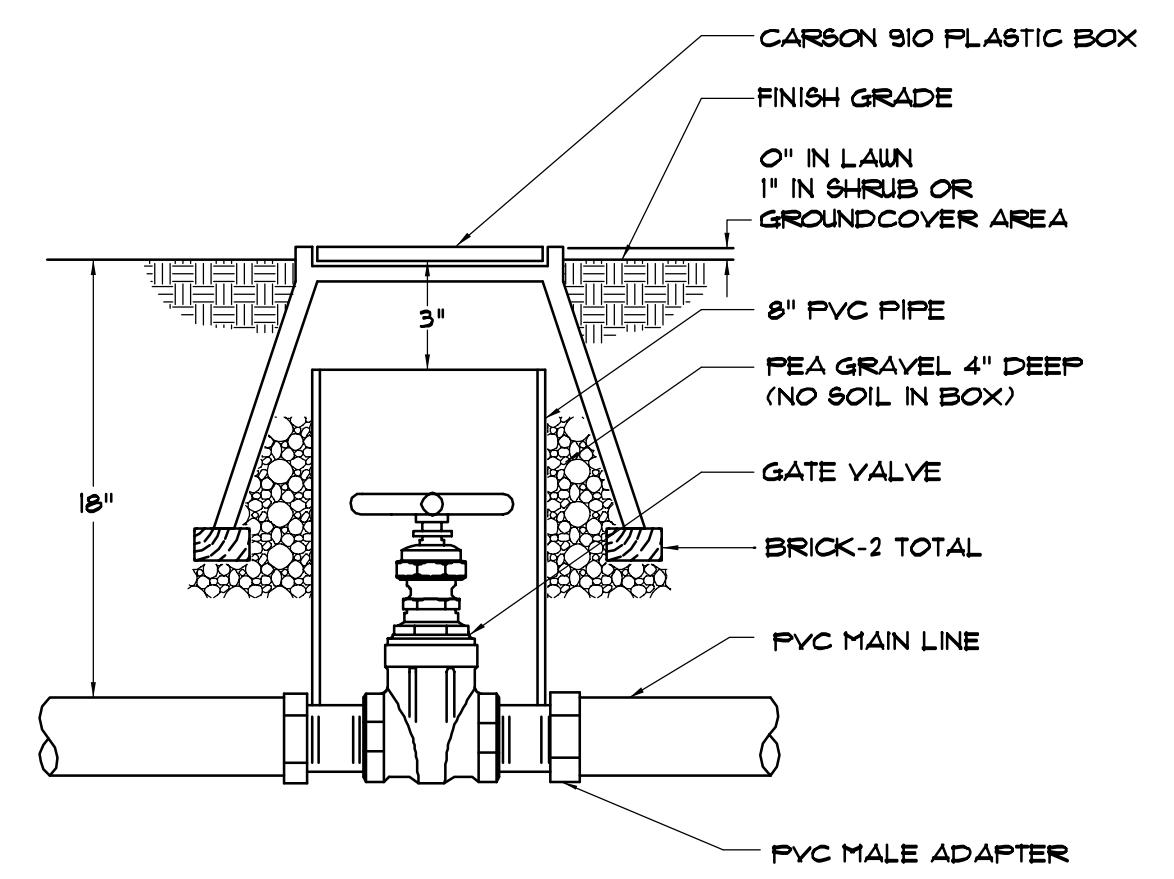
5 WIRE CONNECTION
NTS



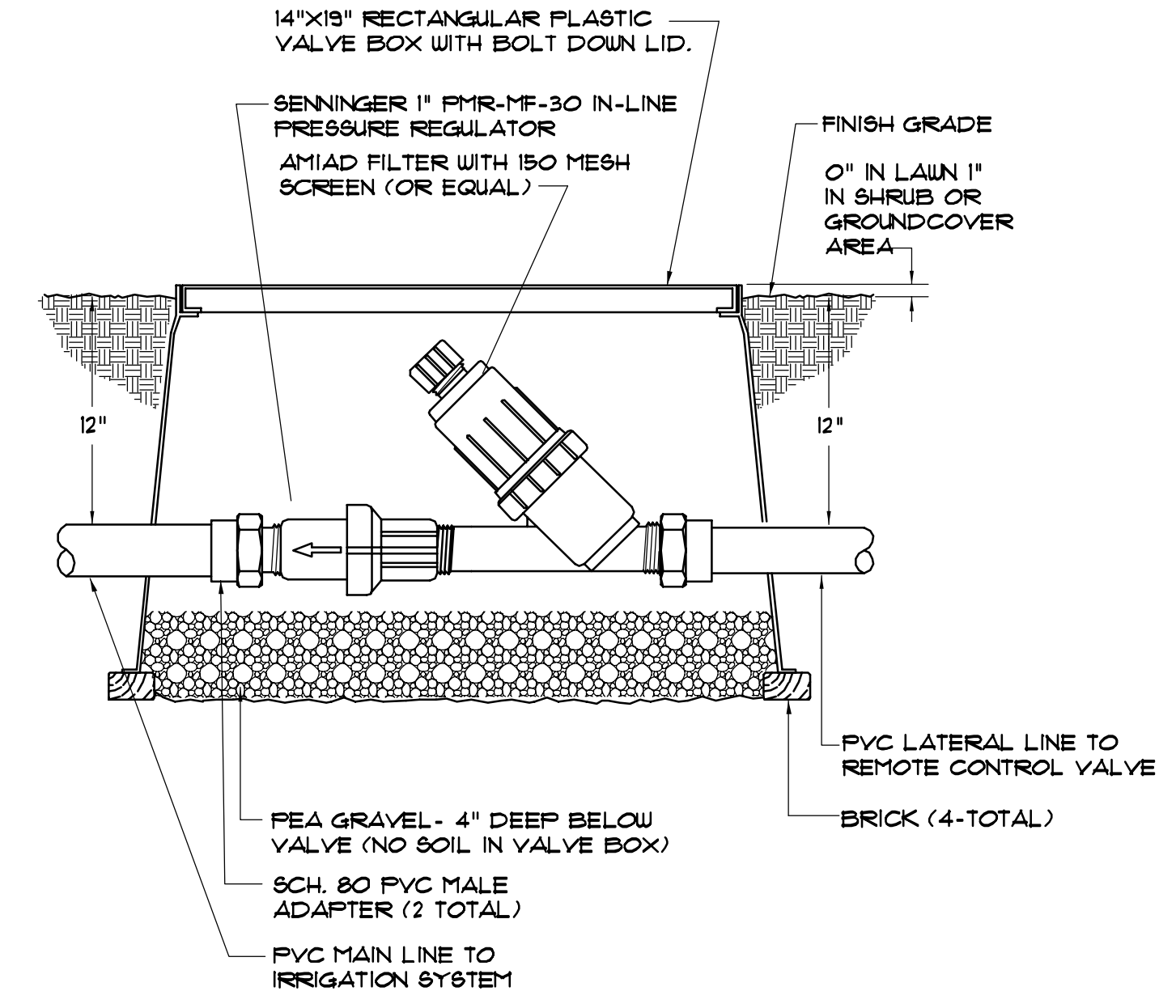
6 VALVE BOX INSTALLATION
NTS



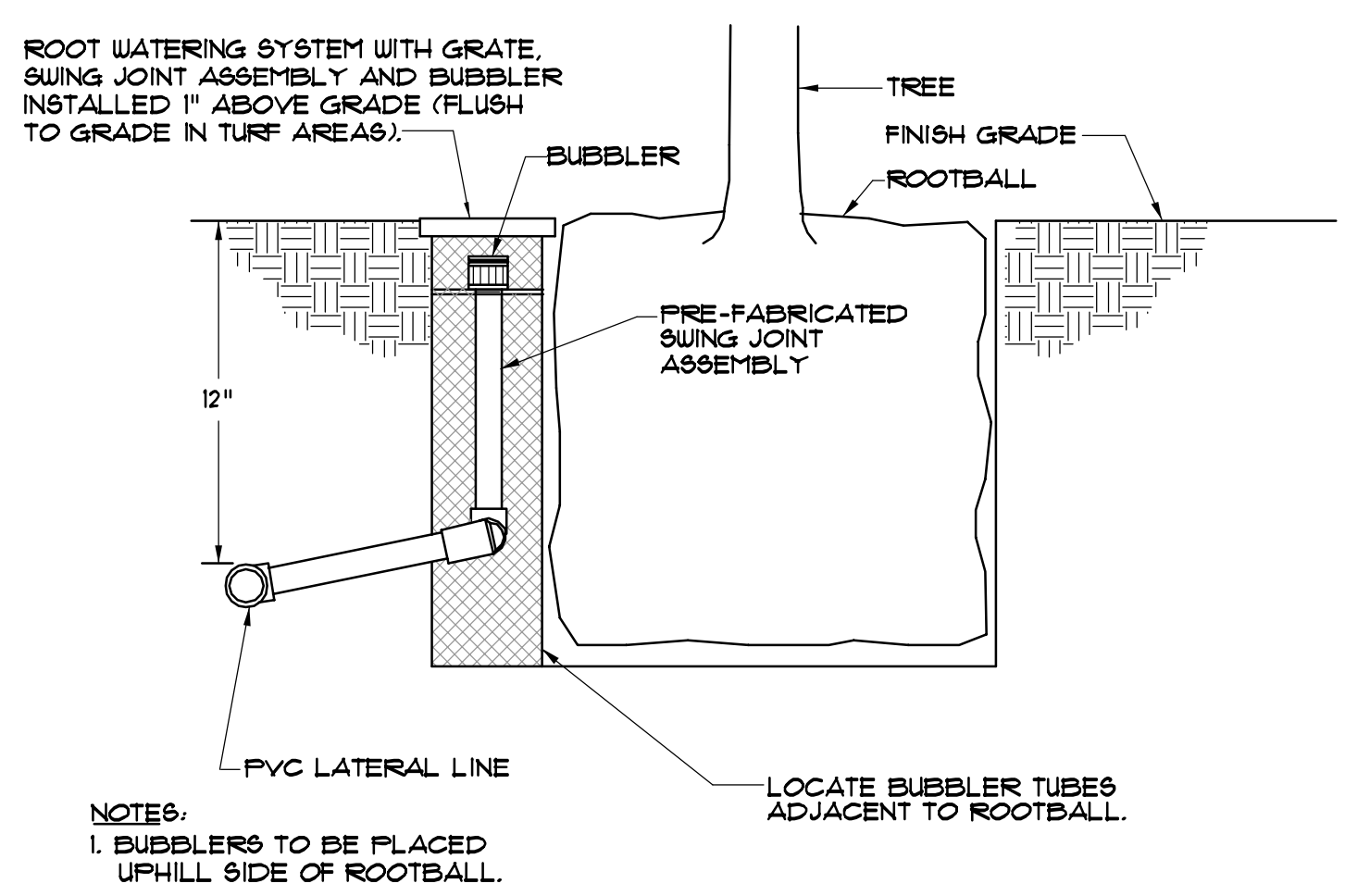
7 GATE VALVE INSTALLATION
NTS



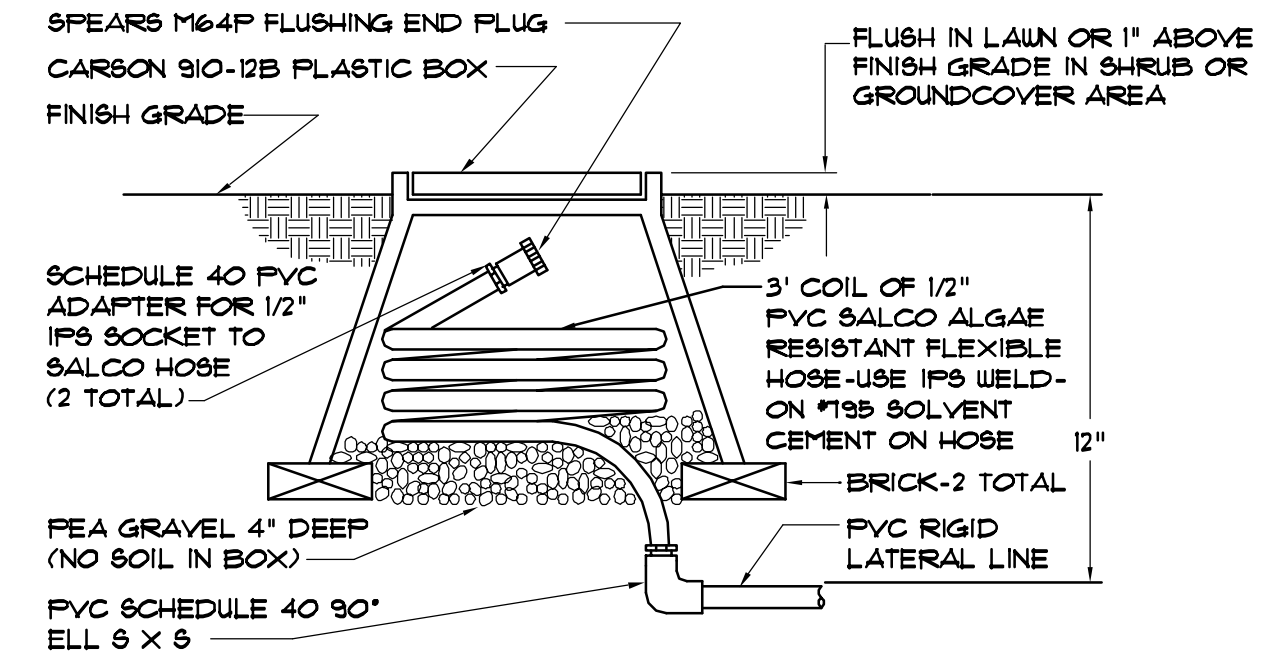
8 FILTER AND PRESSURE REGULATOR
NTS



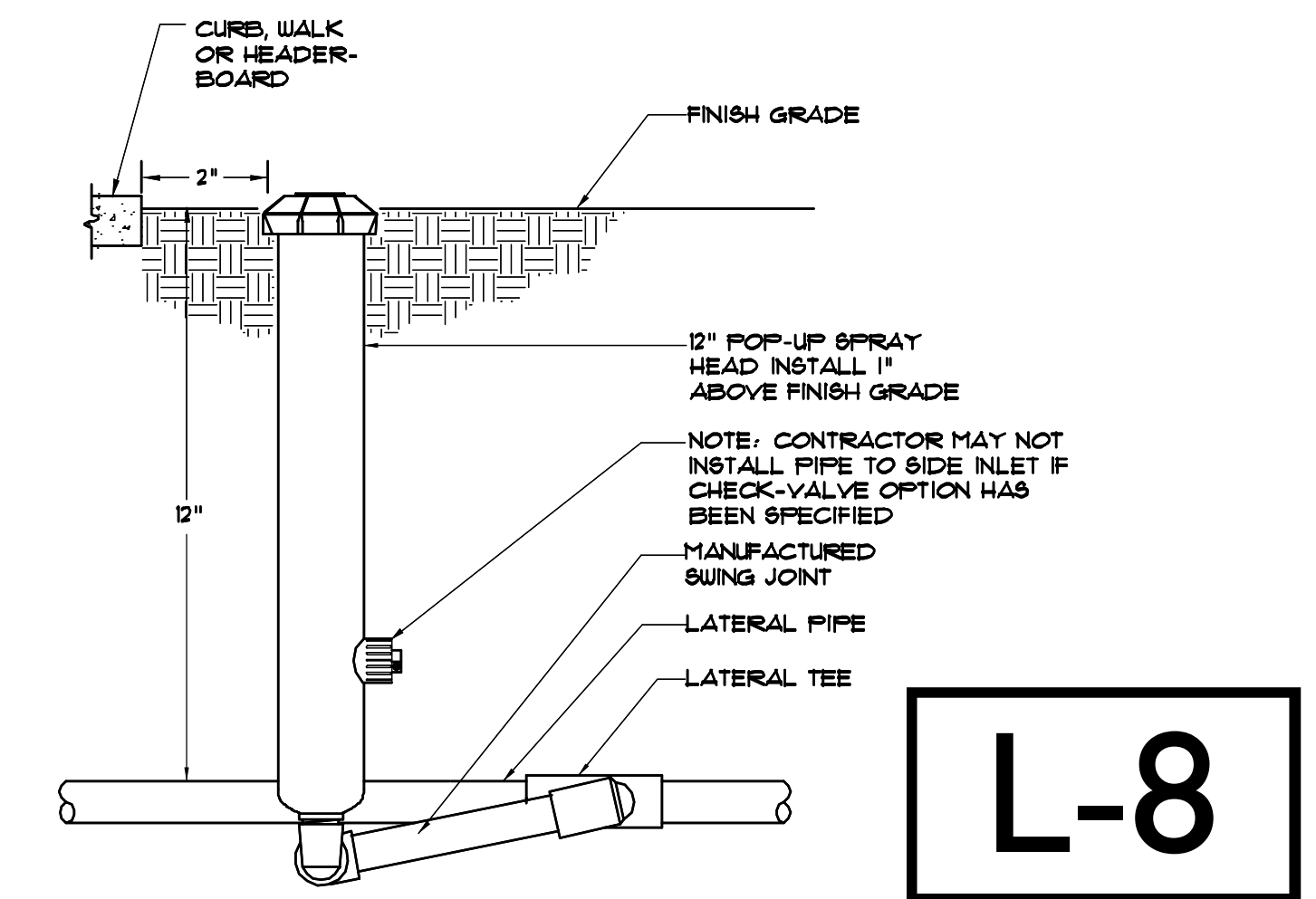
9 SHRUB BUBBLER INSTALLATION
NTS



10 TREE BUBBLER INSTALLATION
NTS



11 FLUSHING END PLUG INSTALLATION
NTS



12 POP-UP 12\"/>

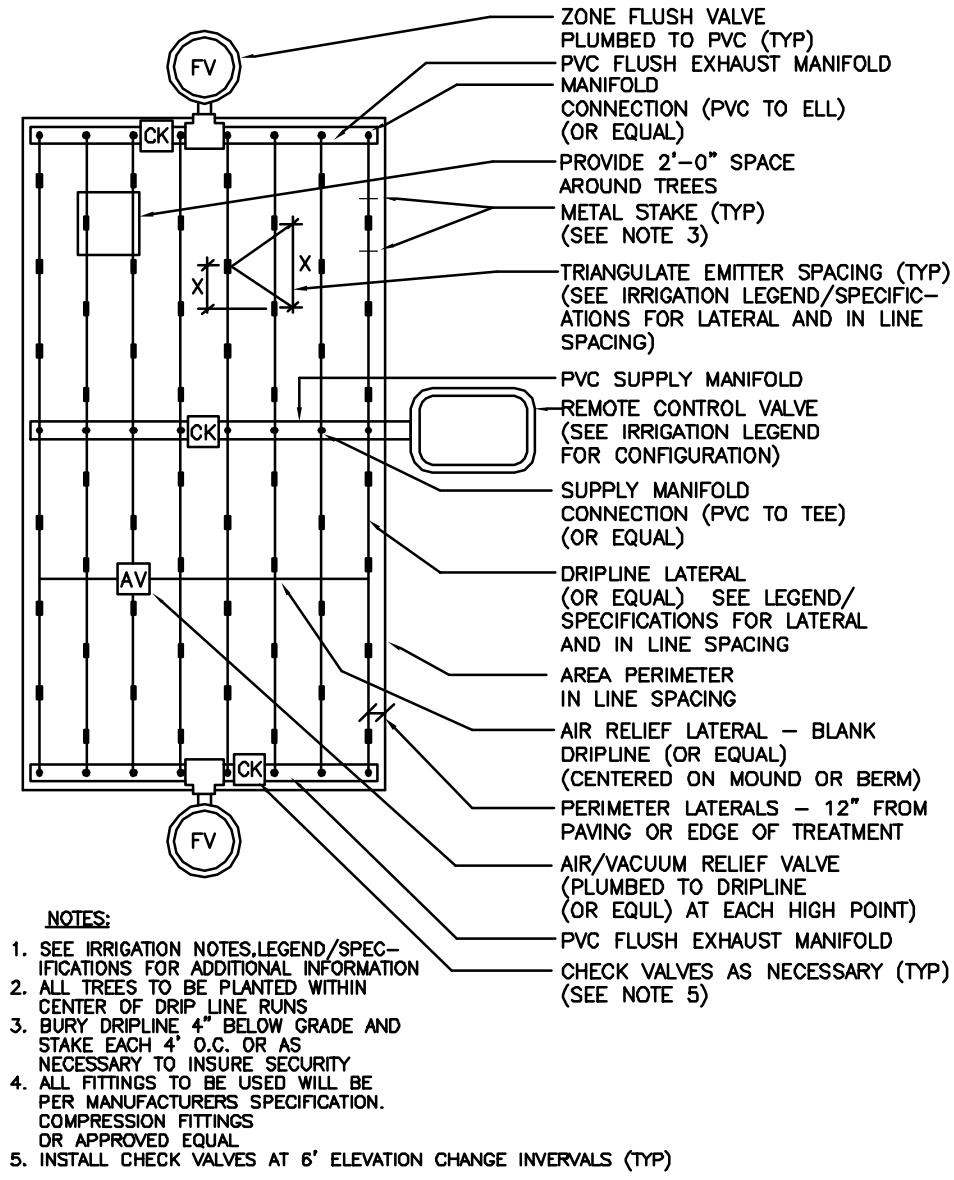
IRRIGATION DETAILS



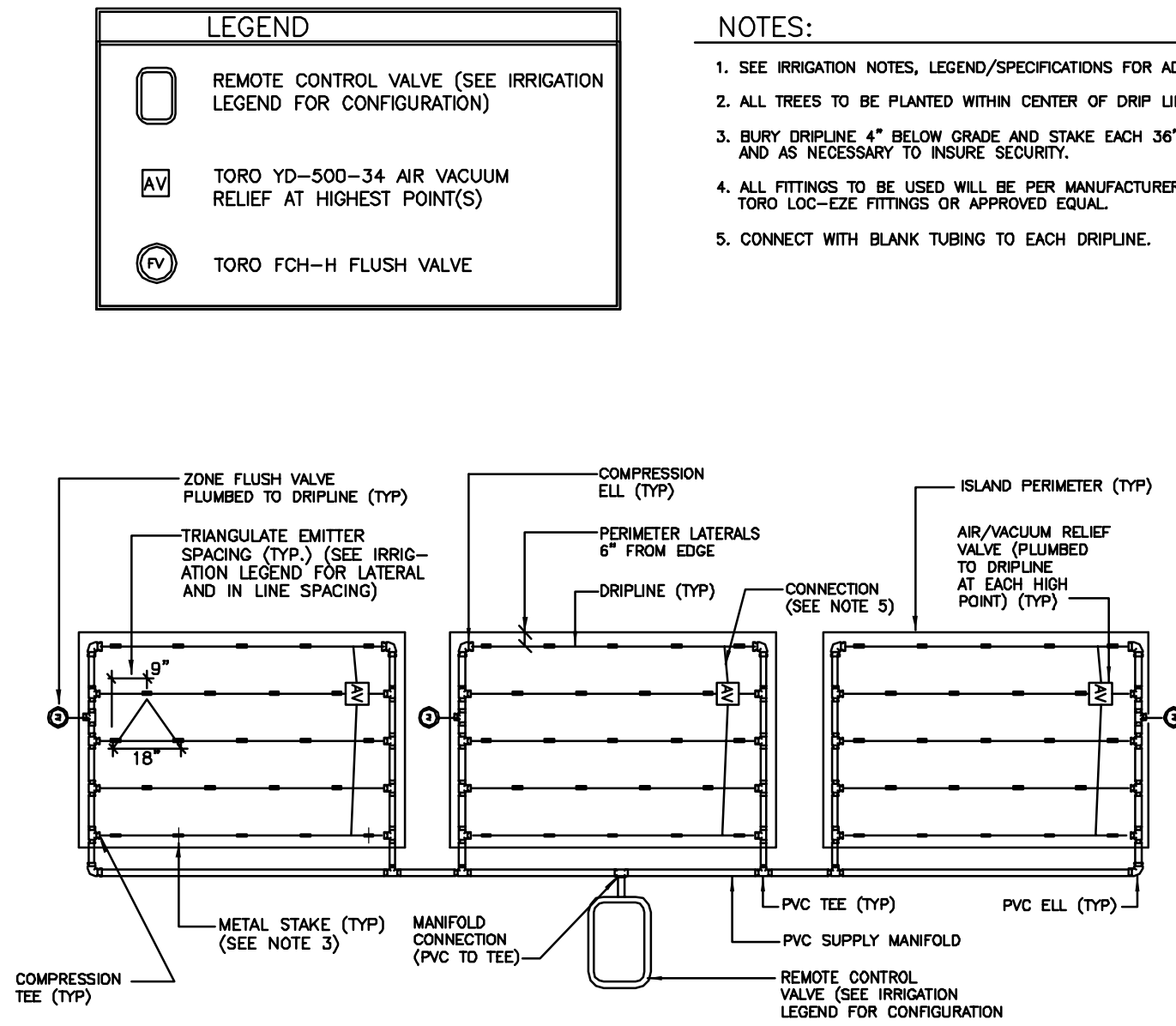
DATE: 08/22/2014

CLASSICS AT NORIEGA AVE.
SUNNYVALE, CA

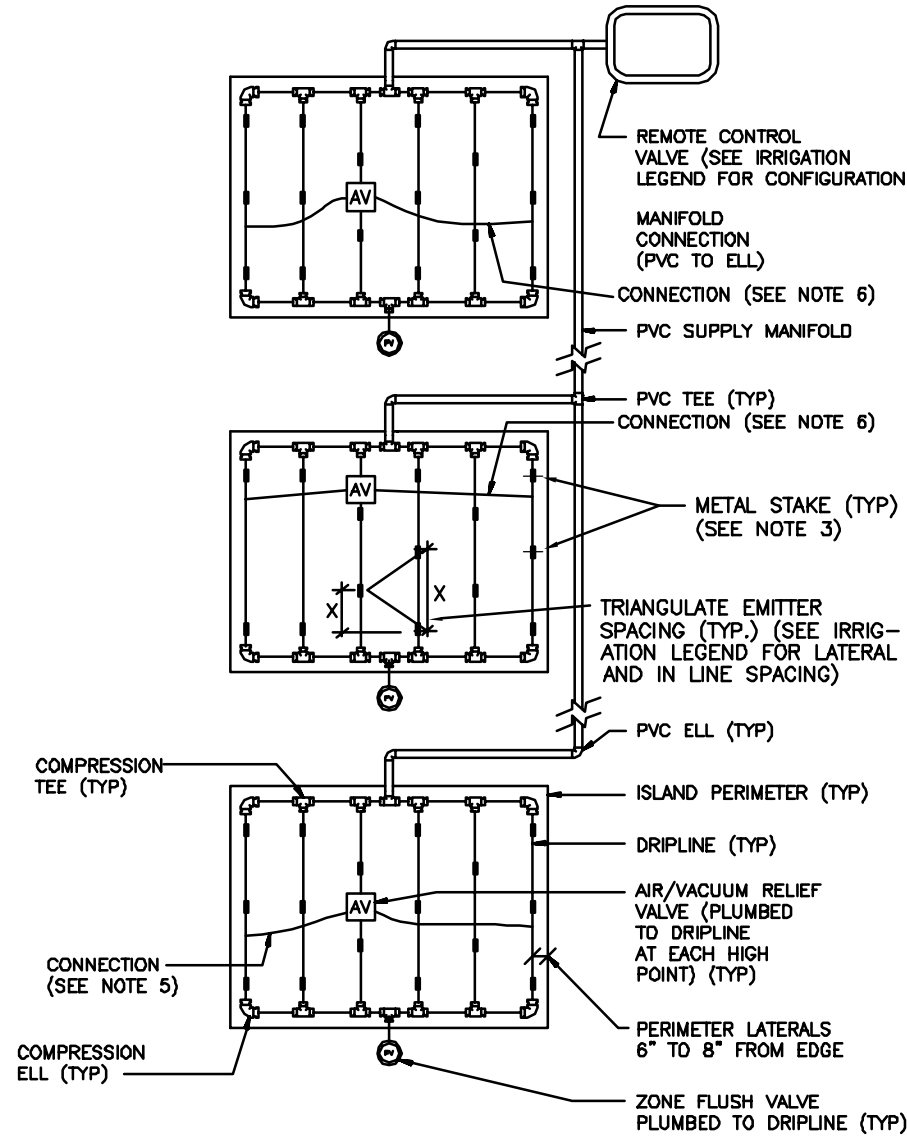




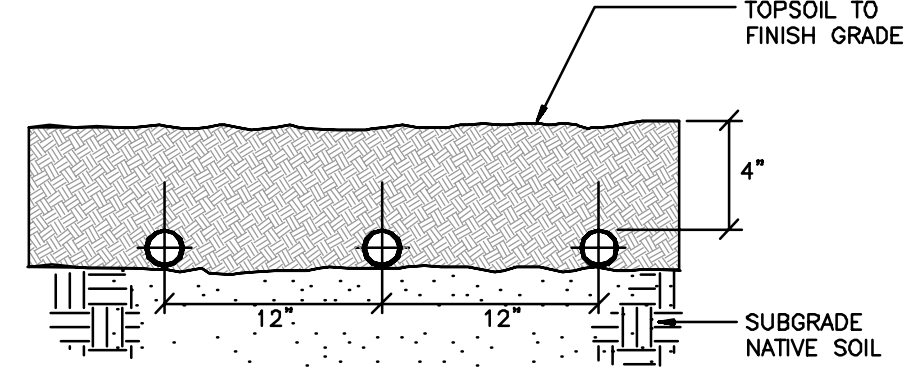
13 TYPICAL CENTER FEED DRIP SYSTEM LAYOUT
NTS



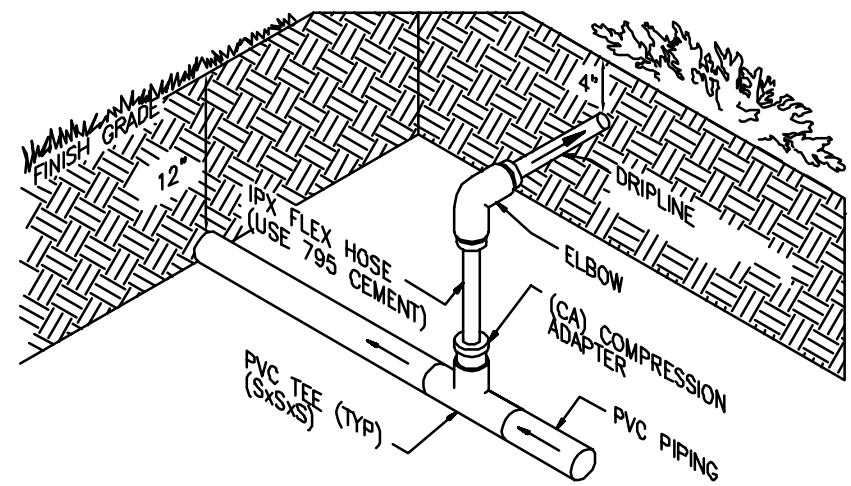
14 MANIFOLD FOR MULTIPLE PLANTERS
NTS



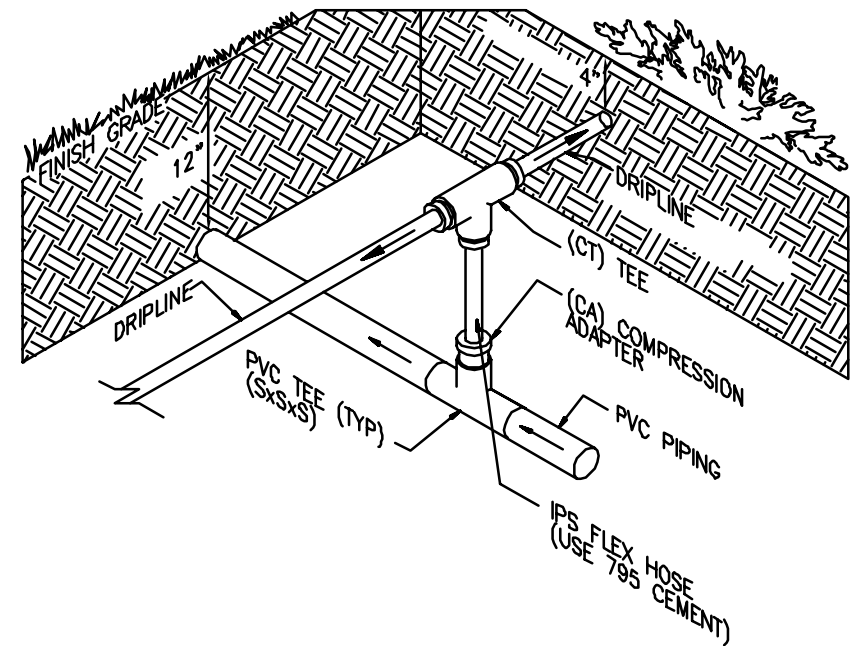
15 TYPICAL ISLAND MANIFOLD
NTS



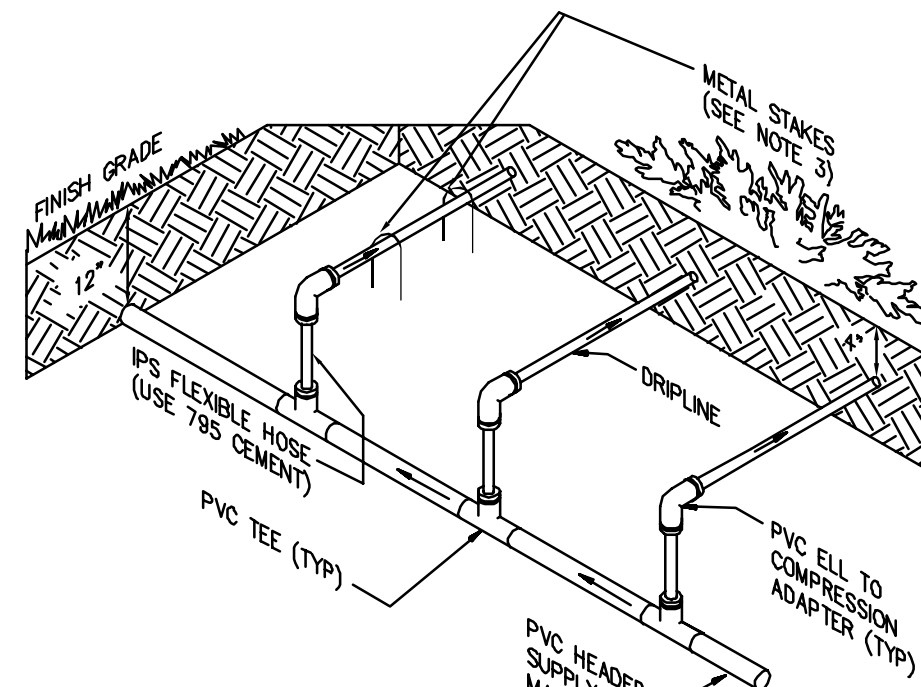
16 TYPICAL DRIPLINE SUBGRADE INSTALLATION
NTS



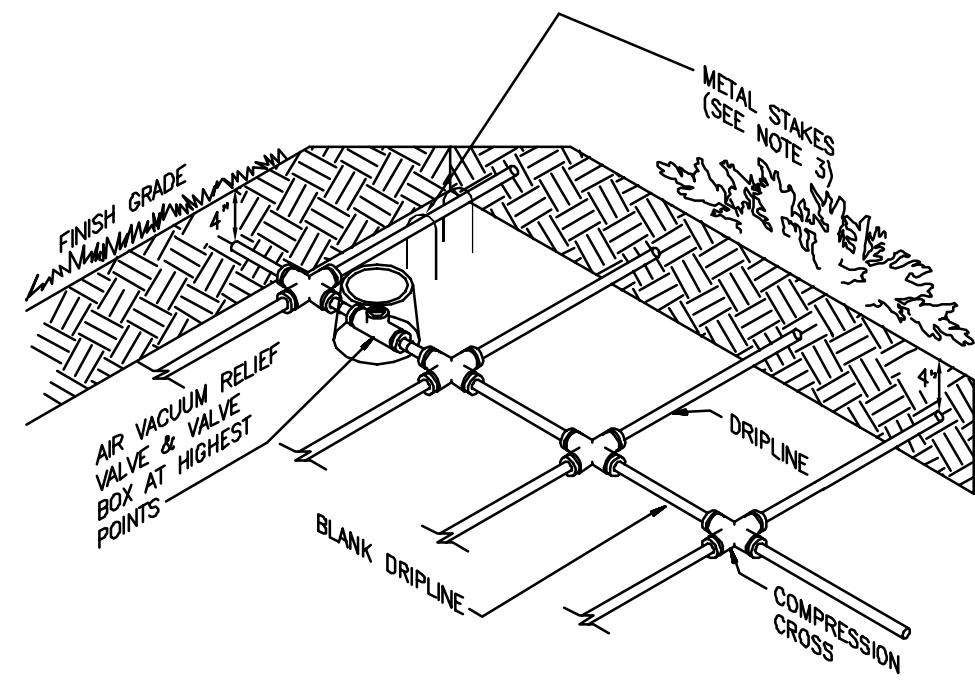
17 DRIPLINE TO PVC INSTALLATION
NTS



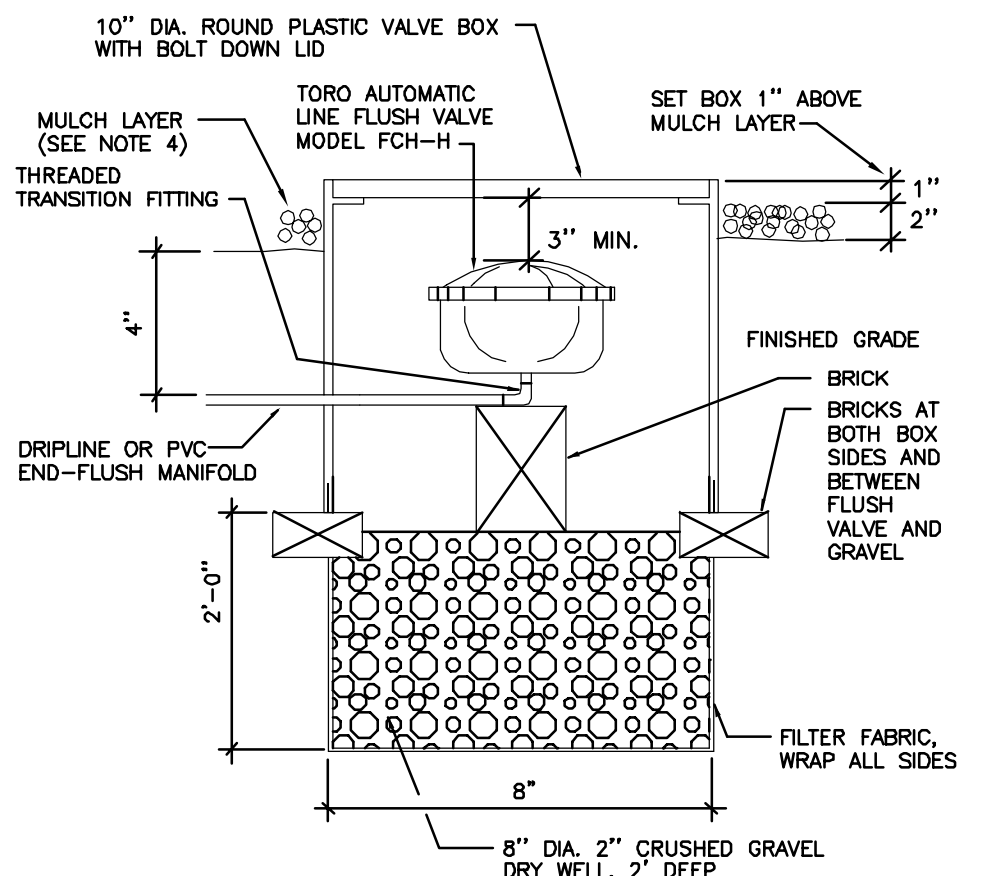
18 DRIPLINE TO PVC INSTALLATION
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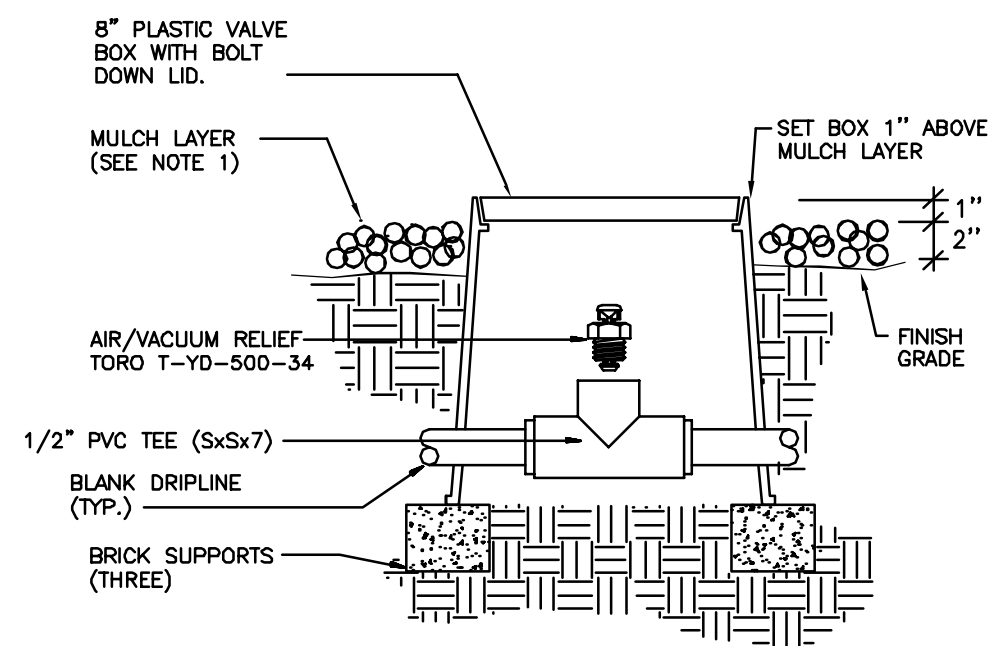
19 DRIPLINE TO PVC HEADER INSTALLATION
NTS



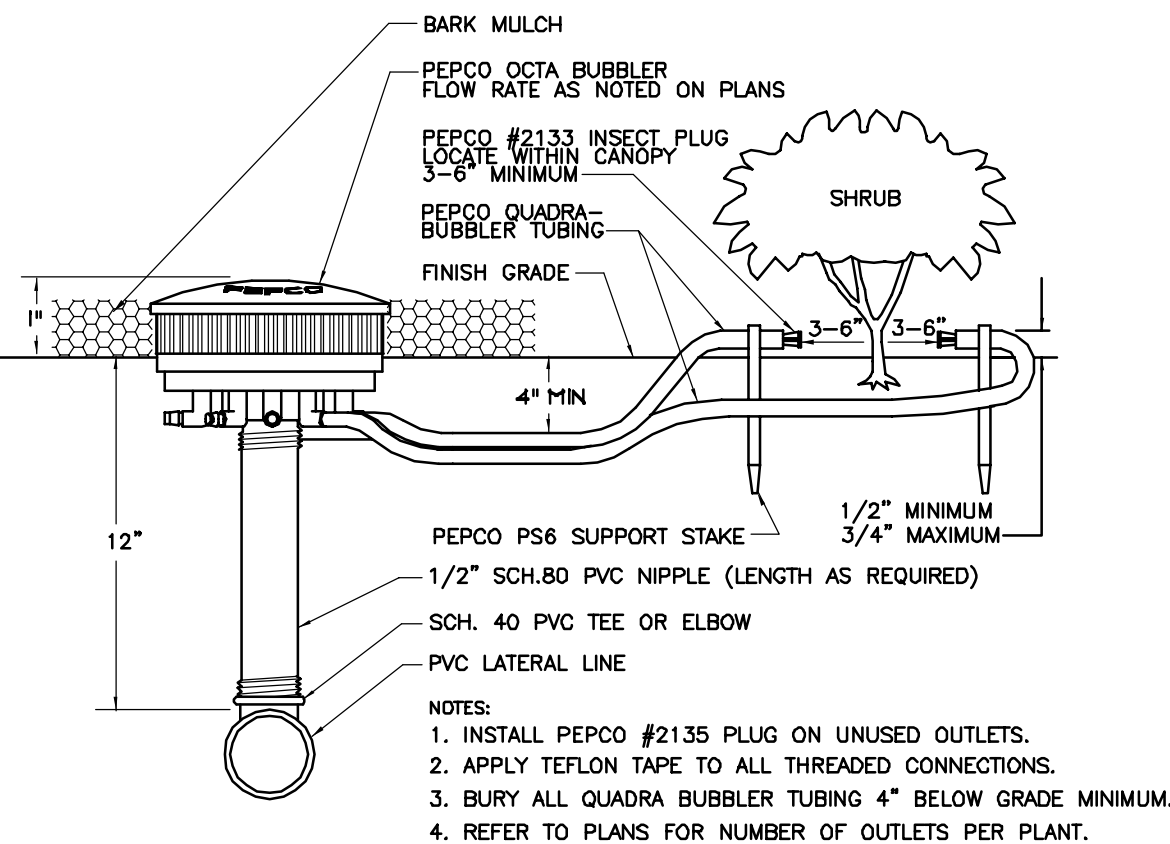
20 AIR VACUUM RELIEF VALVE LOCATION
NTS



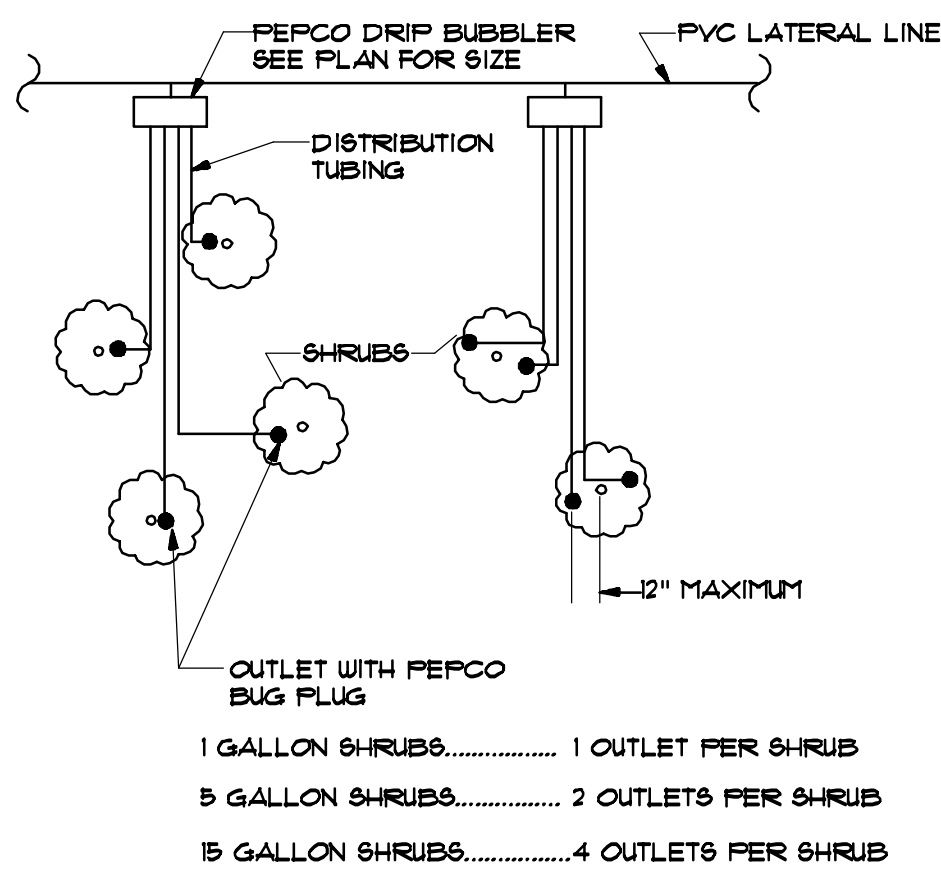
21 FLUSH VALVE INSTALLATION
NTS



22 AIR/VACUUM RELIEF VALVE
NTS



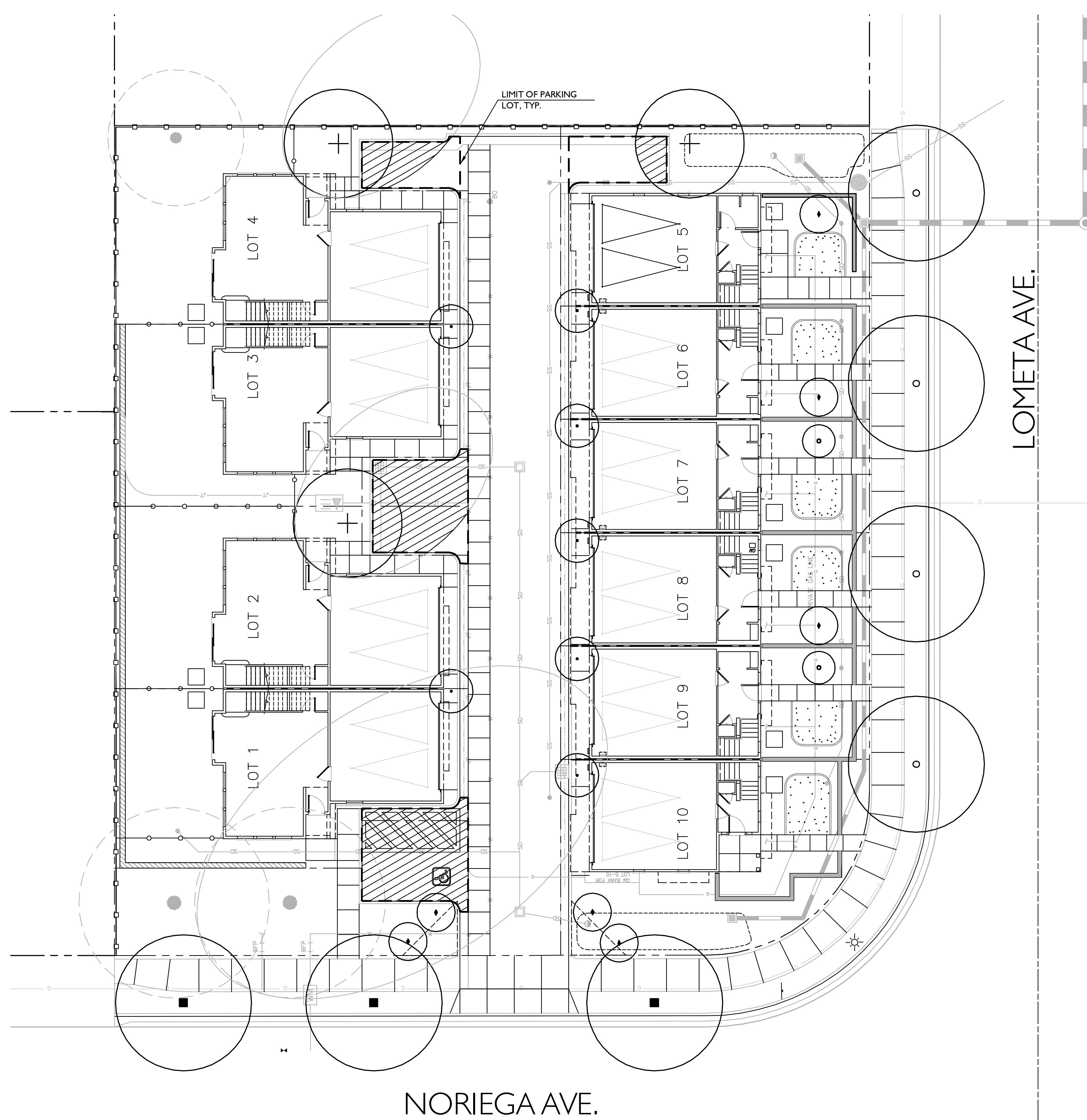
23 OCTA-BUBBLER IN ACCESS BOX DETAIL
NTS



24 TYPICAL DRIP BUBBLER LAYOUT
NTS

IRRIGATION DETAILS

L-9



SHADE: 755 S.F.
PARKING AREA: 955 S.F.
RATIO SHADE/PARKING: 79% Coverage.
50% SHADE COVERAGE REQUIRED PER
ZONING ORDINANCE 19.37.070

NORIEGA AVE.
TREE SHADING DIAGRAM

L-10

Site Summary :

Total Homes : 10
Site Area : 0.48 Acres
Gross Density : 20.8 Homes/Acre

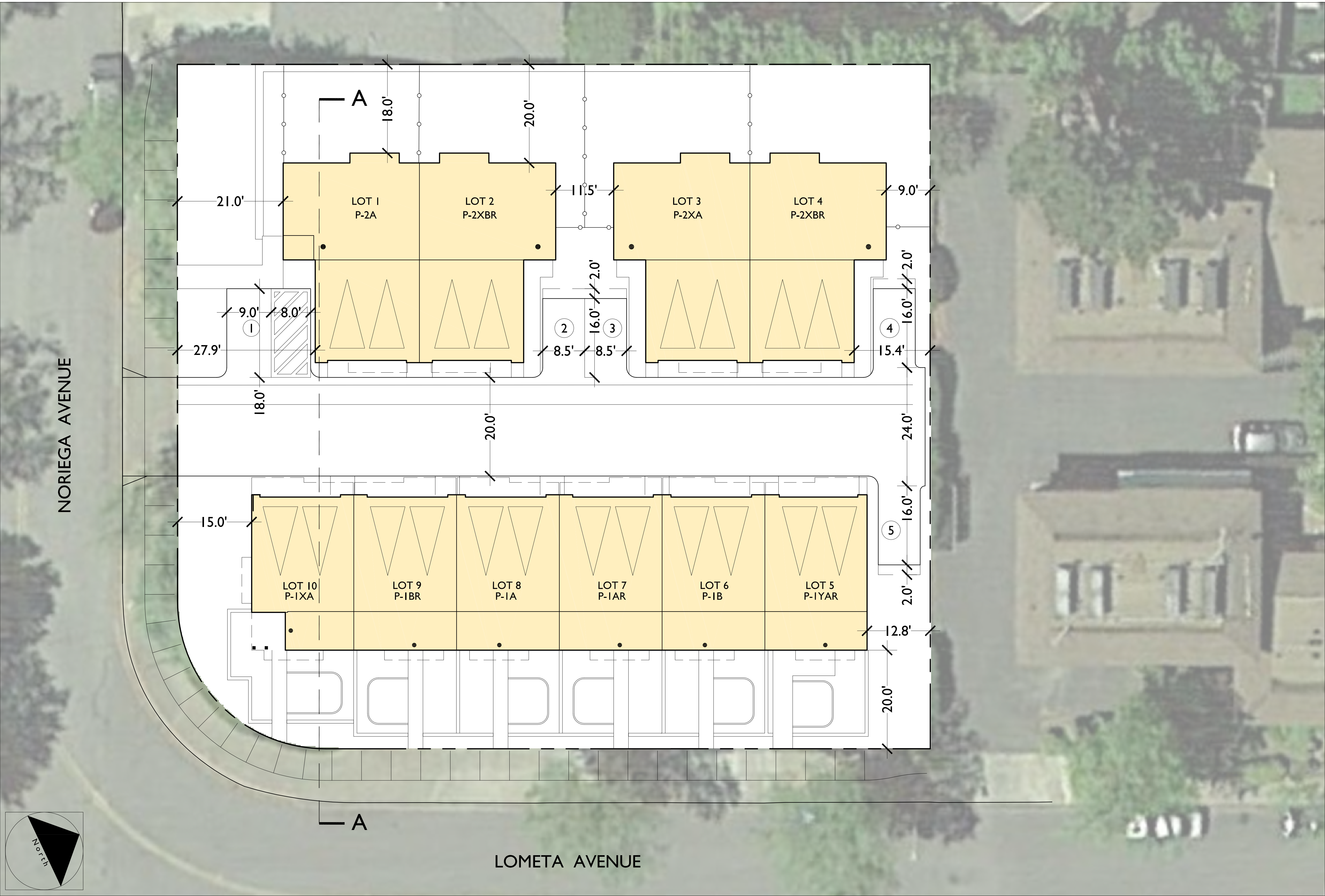
Parking Provided:
2 Garage Spaces/Home = 20
On-site Guest Spaces = 5
Total Spaces = 25

Floor Area Ratio :
Site Area : 20,985 sq.ft.
Total Floor Area : 21,386 sq.ft.
F.A.R. = 1.01

Lot Coverage :
Site Area : 20,985 sq.ft.
Total Building Coverage : 7,816 sq.ft.
Lot Coverage : 37.2%

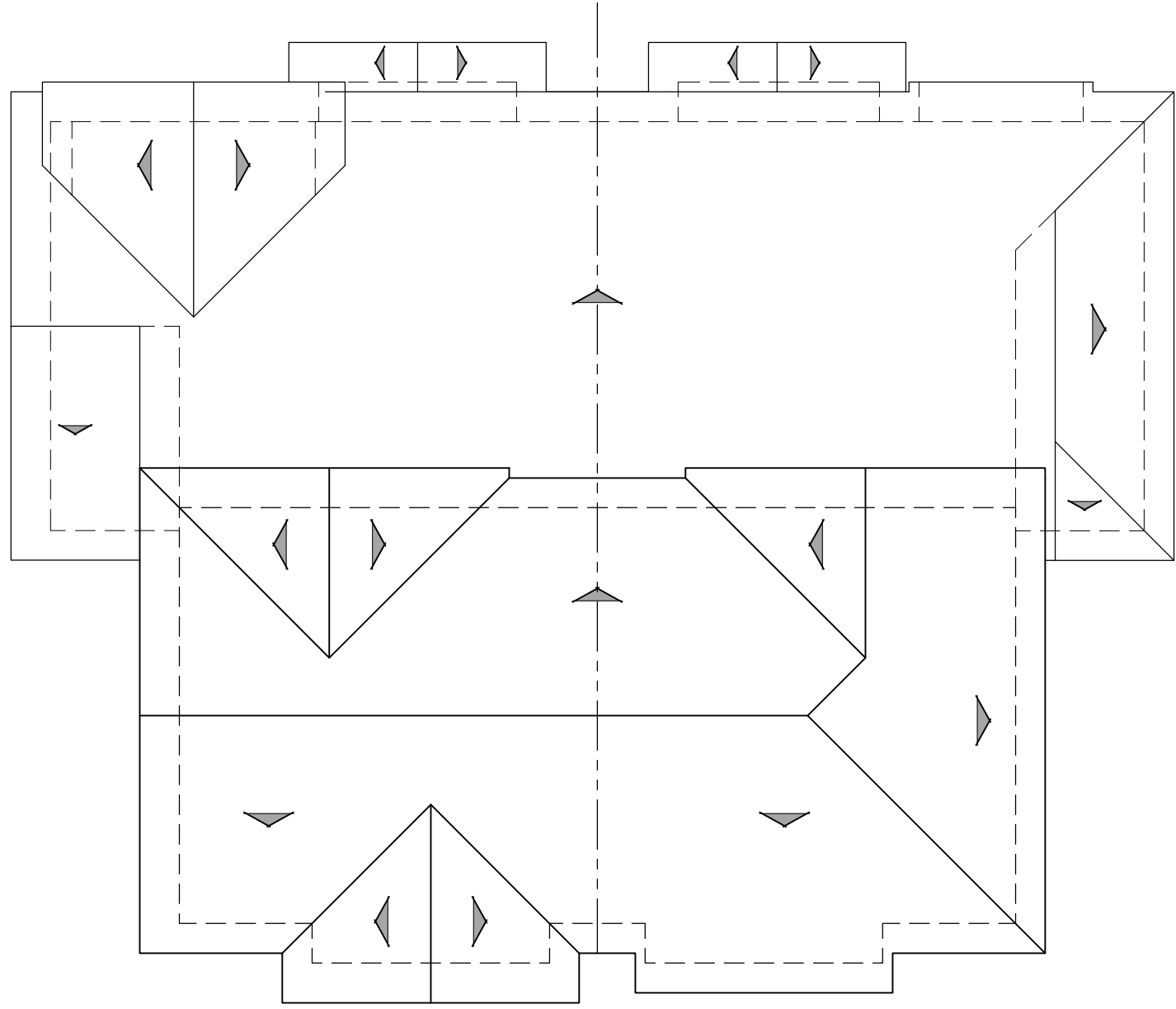
Plan Type Summary:

Plan I (Lots 6-9)	
First floor	169 sq.ft.
Second floor	664 sq.ft.
Third floor	681 sq.ft.
Total Livable	1,514 sq.ft.
Deck	70 sq.ft.
Garage	479 sq.ft.
Plan IX (Lot 10)	
First floor	113 sq.ft.
Second floor	675 sq.ft.
Third floor	700 sq.ft.
Total Livable	1,488 sq.ft.
Deck	70 sq.ft.
Garage	489 sq.ft.
Plan IY (Lot 5)	
First floor	169 sq.ft.
Second floor	664 sq.ft.
Third floor	703 sq.ft.
Total Livable	1,536 sq.ft.
Deck	70 sq.ft.
Garage	479 sq.ft.
Plan 2 (Lots 1)	
First floor	535 sq.ft.
Second floor	946 sq.ft.
Third floor	417 sq.ft.
Total Livalbe	1,898 sq.ft.
Porch	26 sq.ft.
Garage	438 sq.ft.
Plan 2X (Lots 2,3 & 4)	
First floor	561 sq.ft.
Second floor	946 sq.ft.
Third floor	417 sq.ft.
Total Livable	1,924 sq.ft.
Porch	0 sq.ft.
Garage	438 sq.ft.



ROOF PLAN

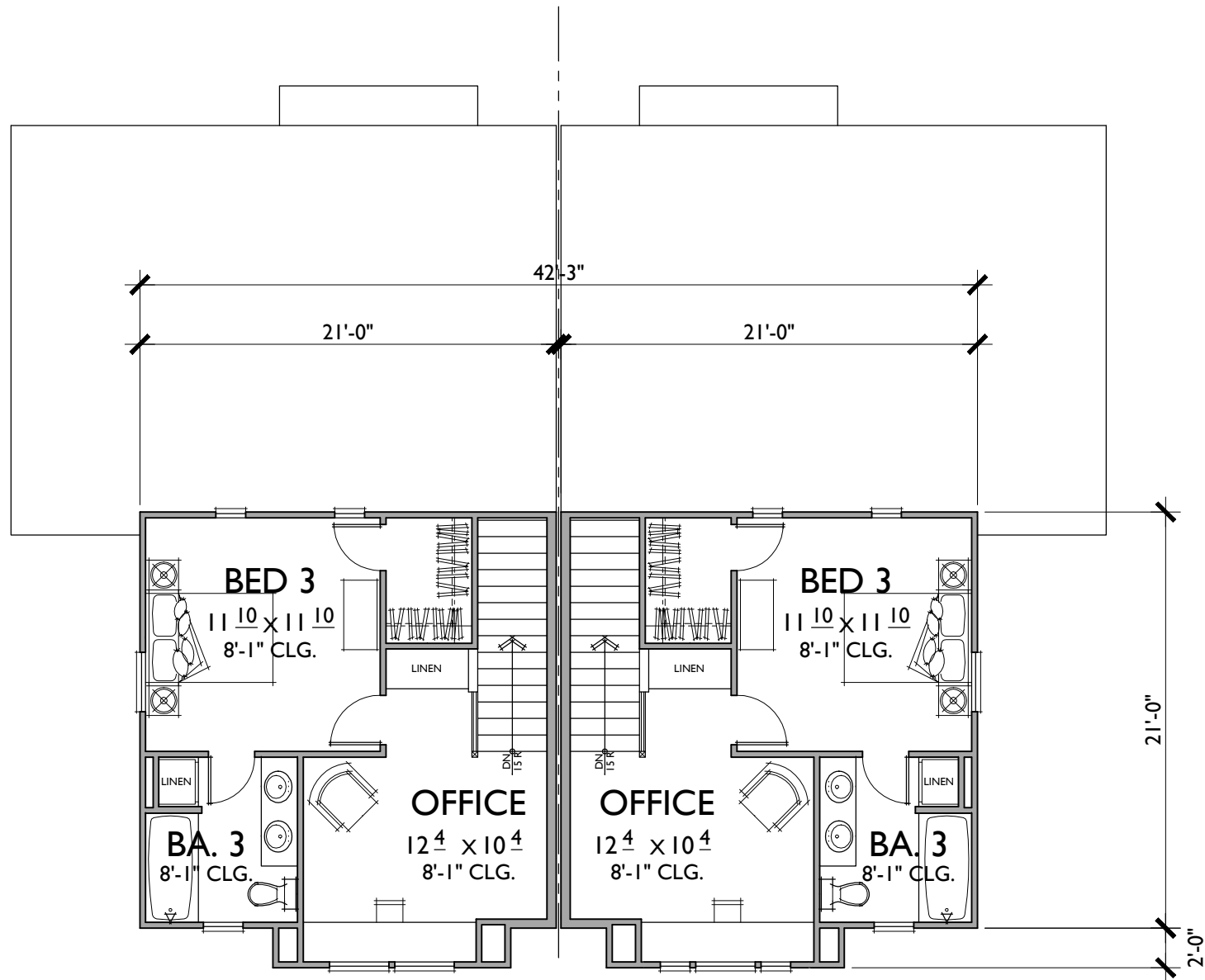
SLOPE: 3:12 U.N.O.
RAKE: 24" U.N.O.
EAVE: 18" U.N.O.
F.A.U. IN ATTIC



PLAN 2A

PLAN 2XBR

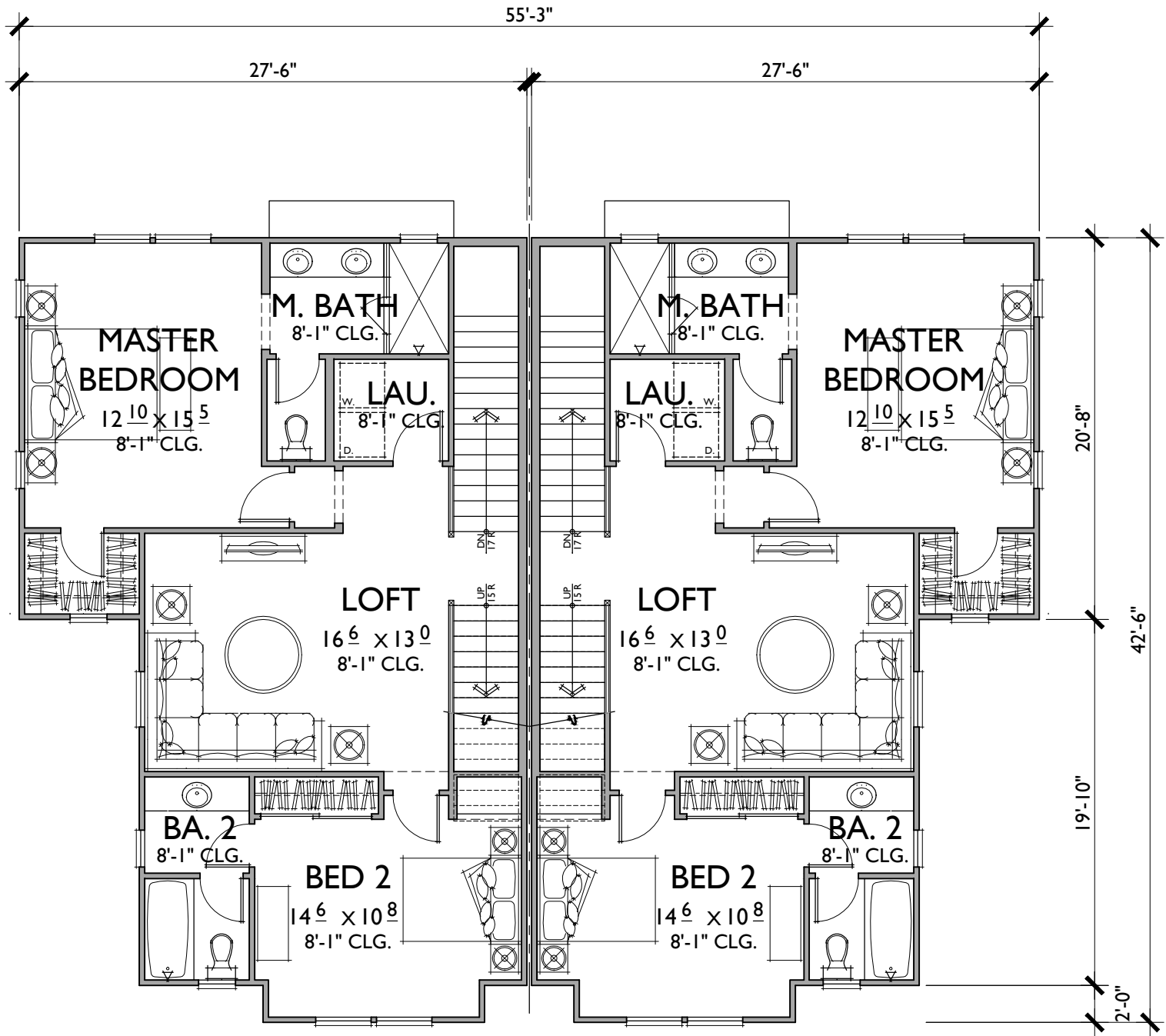
ROOF PLAN



PLAN 2A

PLAN 2XBR

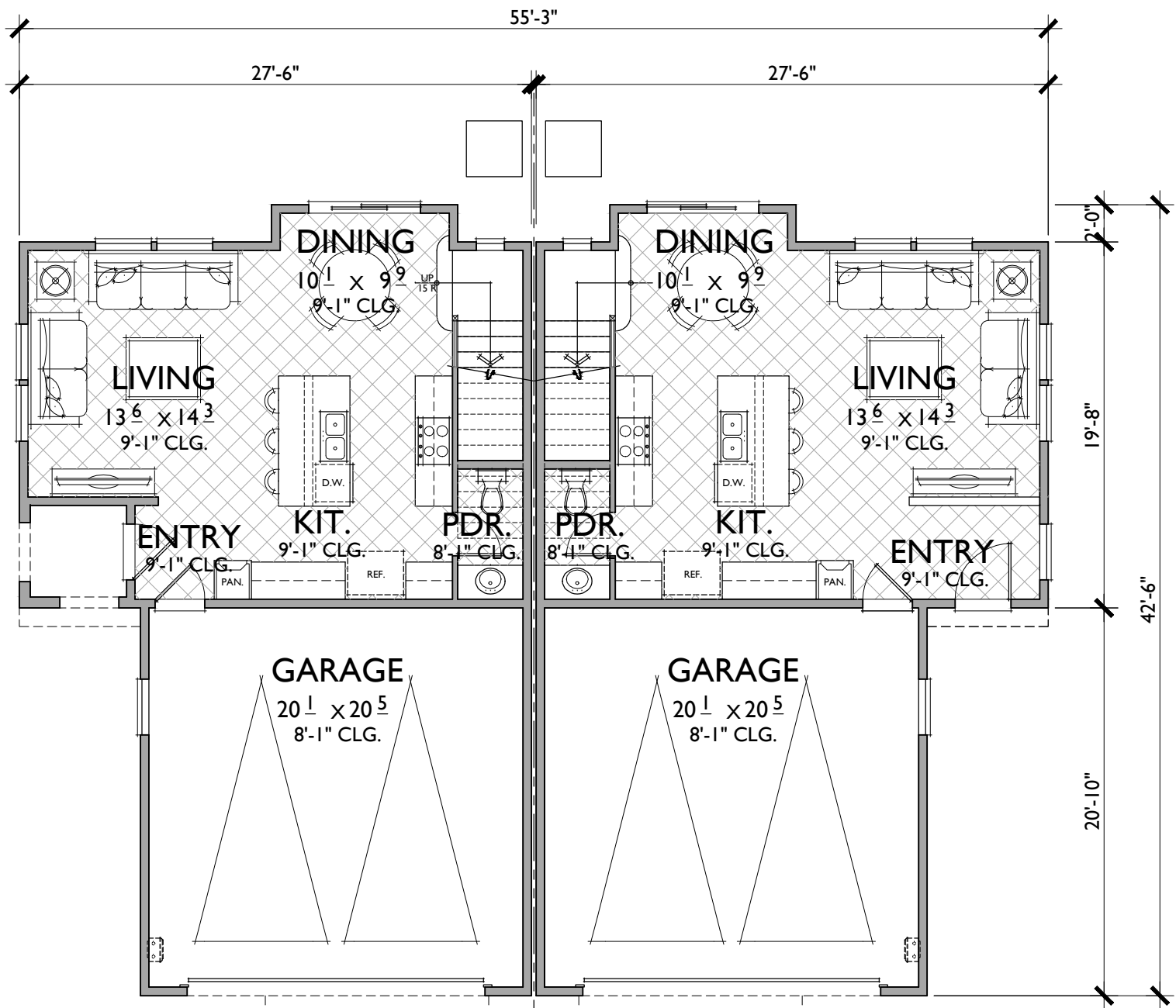
THIRD FLOOR



PLAN 2A

PLAN 2XBR

SECOND FLOOR



PLAN 2A

PLAN 2XBR

FIRST FLOOR

FLOOR PLAN SQUARE FOOTAGES

PLAN 2

FIRST: 529 SQ.FT.
SECOND: 946 SQ.FT.
THIRD: 417 SQ.FT.
TOTAL: 1,892 SQ.FT.
PORCH: 32 SQ.FT.
GARAGE: 438 SQ.FT.

PLAN 2XR

FIRST: 561 SQ.FT.
SECOND: 946 SQ.FT.
THIRD: 417 SQ.FT.
TOTAL: 1,924 SQ.FT.
PORCH: 0 SQ.FT.
GARAGE: 438 SQ.FT.



PLAN 2A

LEFT ELEVATION



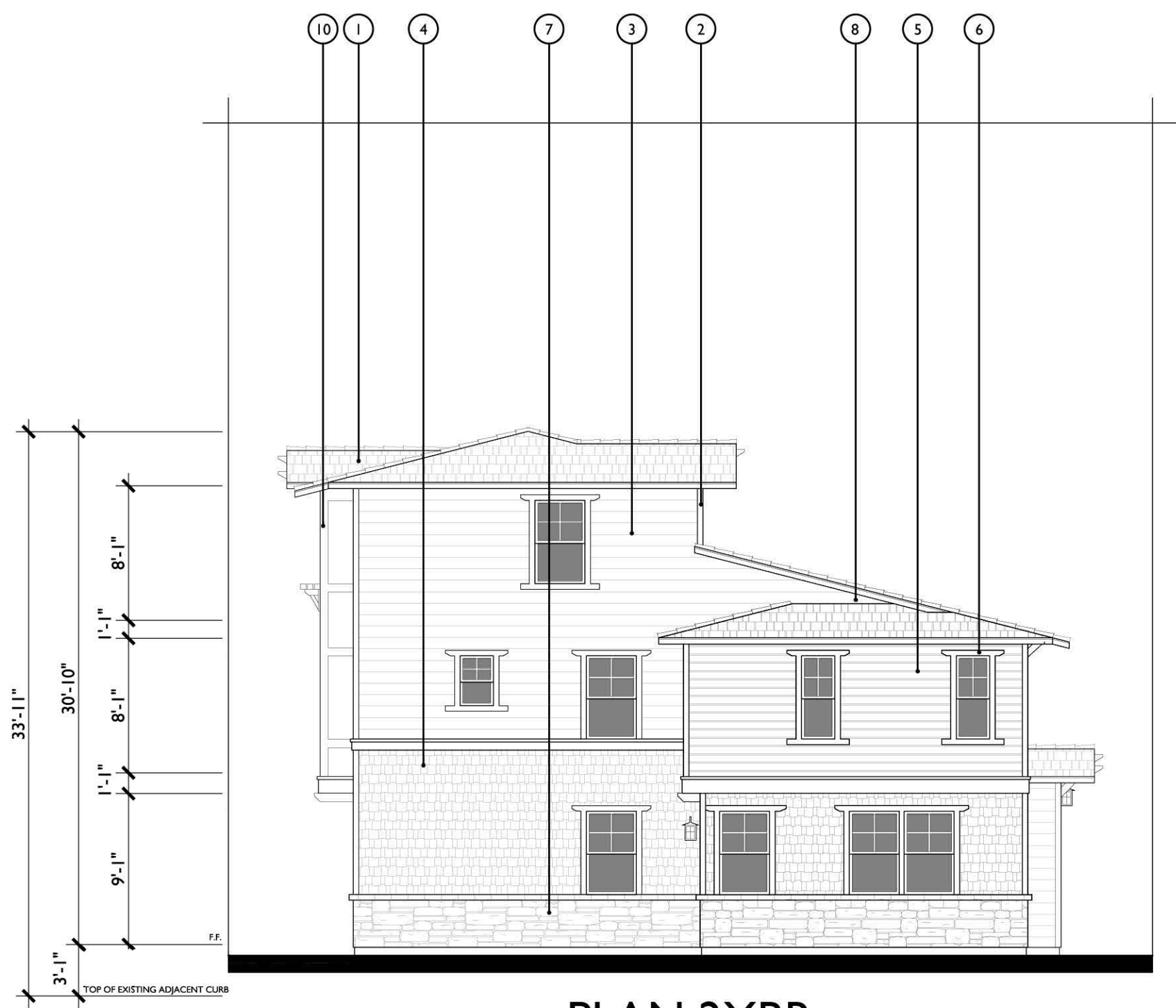
PLAN 2A

PLAN 2XBR

FRONT ELEVATION

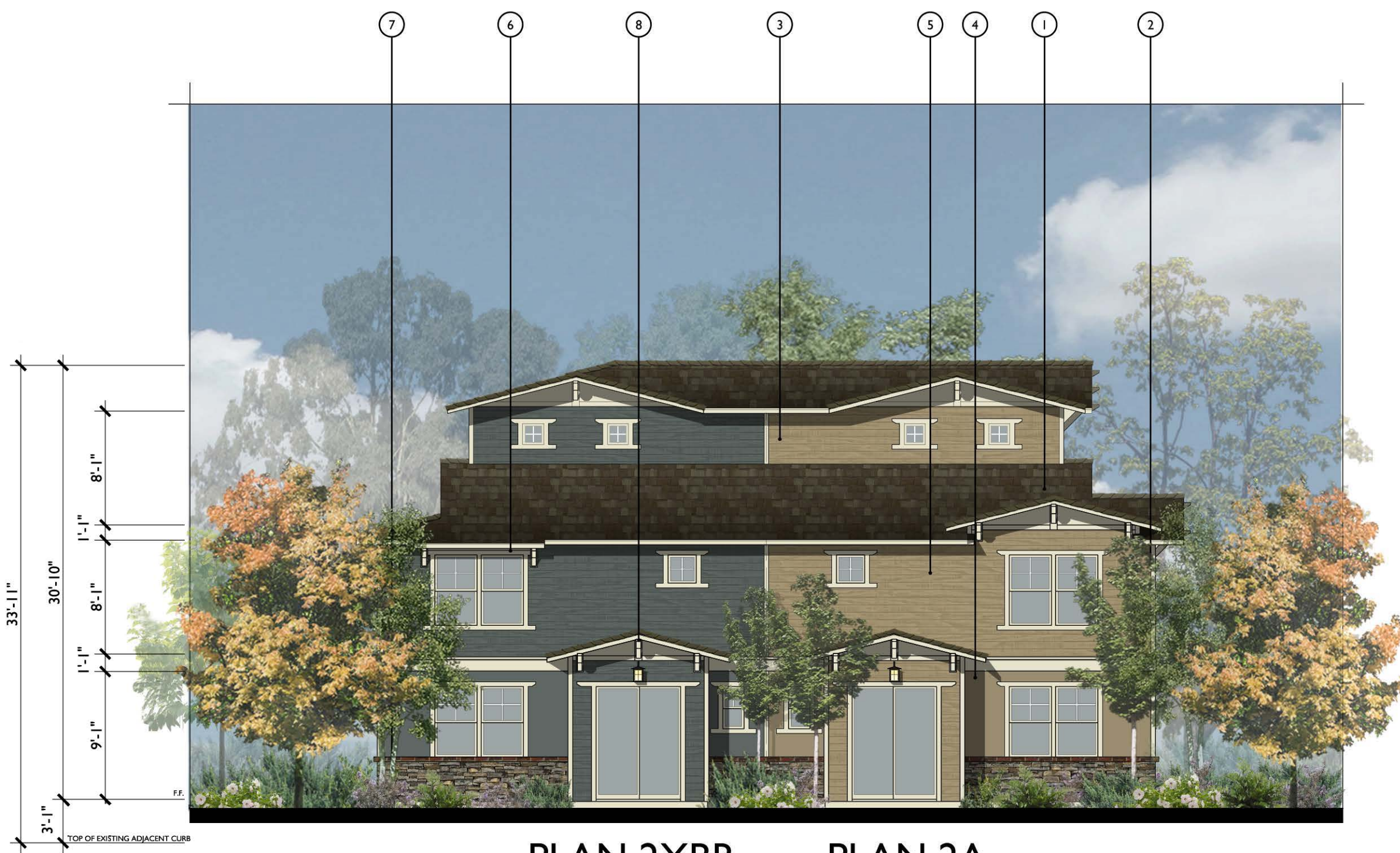
MATERIALS

1. COMPOSITION ROOF TILE
2. 2x4 VERTICAL COMPOSITE TRIM
3. 8.25" HORIZONTAL HARDIE LAP SIDING
4. HARDIE SHINGLES STAGGERED EDGE PANEL
5. 6" HORIZONTAL HARDIE STAGGERED LAP SIDING
6. CEMENTITIOUS TRIM AT WINDOW
7. SYNTHETIC STONE VENEER
8. DECORATIVE WOOD OUTLOOKERS
9. METAL SECTIONAL GARAGE DOOR
10. FIBER CEMENT TRIM AND PANEL BOX BAY



PLAN 2XBR

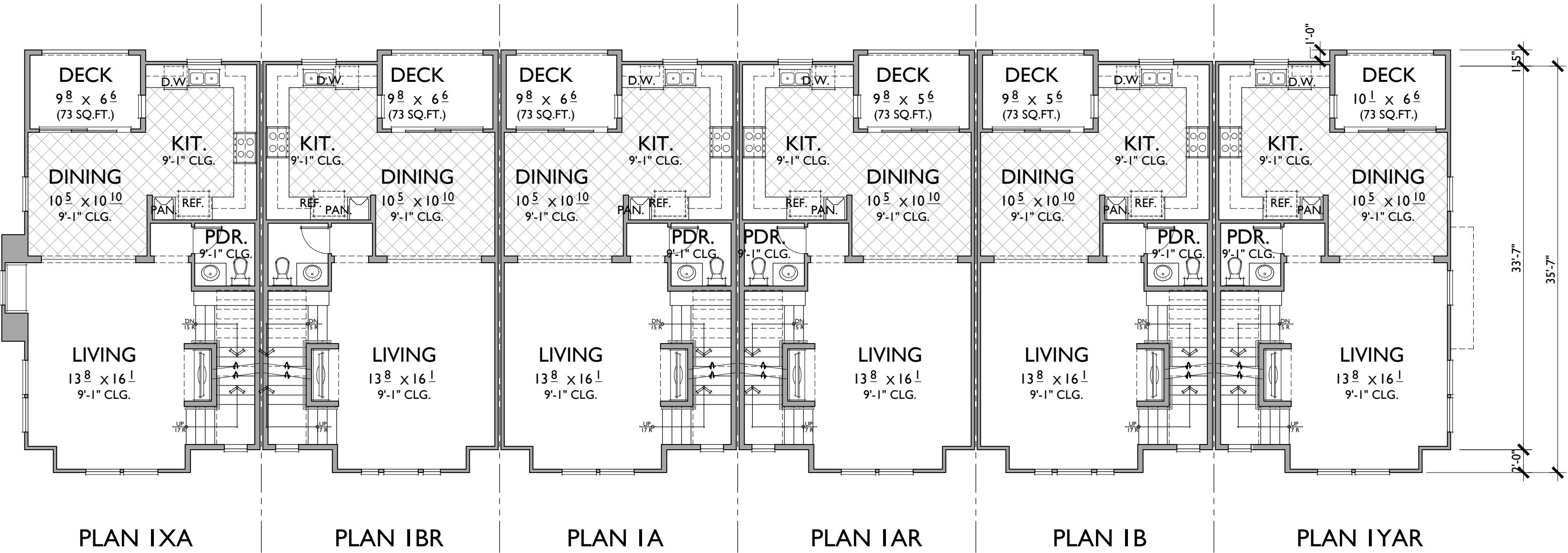
RIGHT ELEVATION



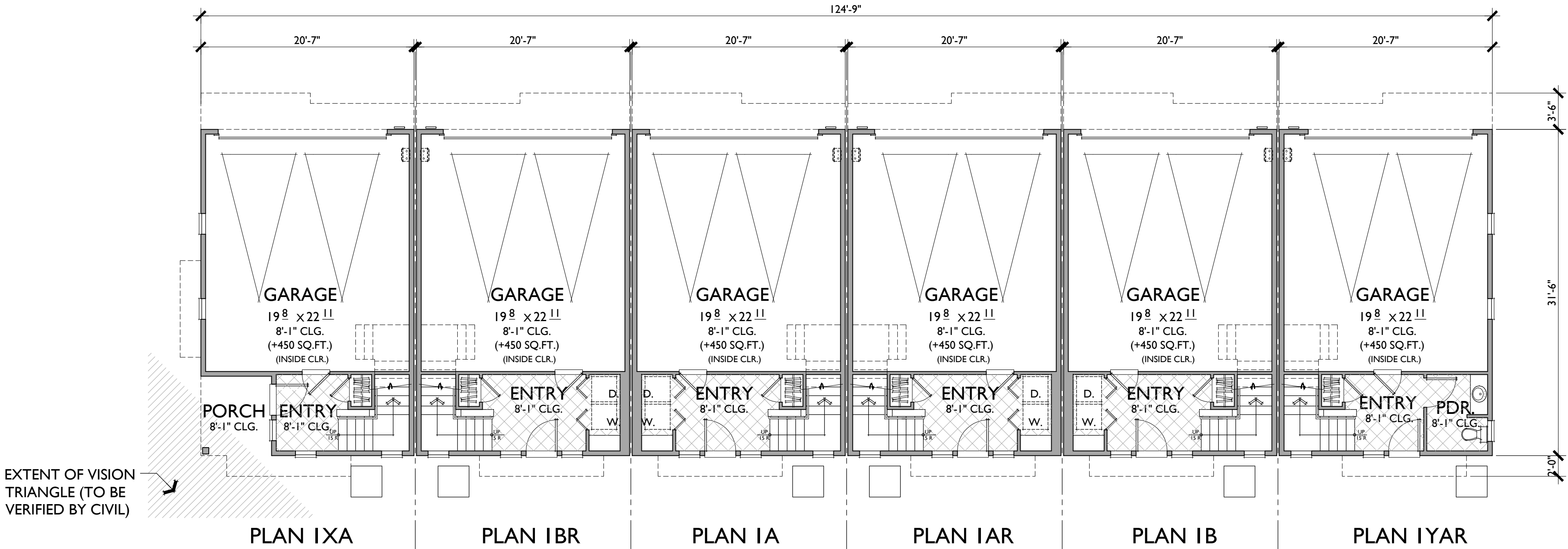
PLAN 2XBR

PLAN 2A

REAR ELEVATION



SECOND FLOOR



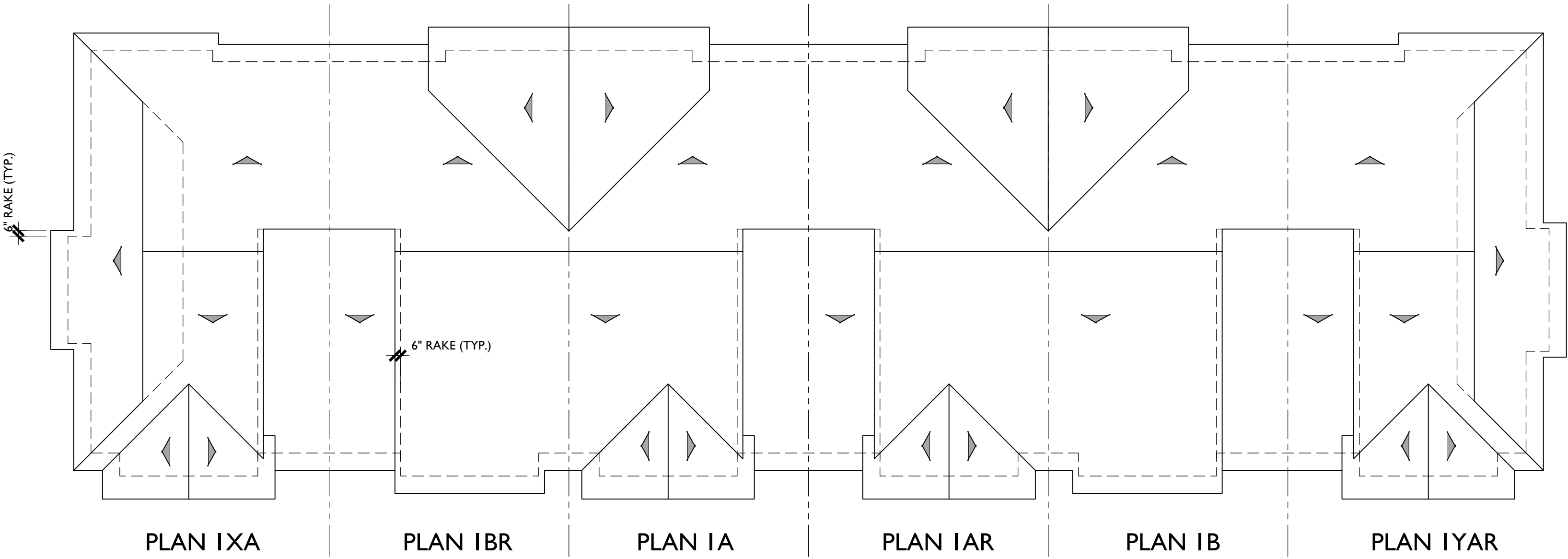
FIRST FLOOR

FLOOR PLAN SQUARE FOOTAGES

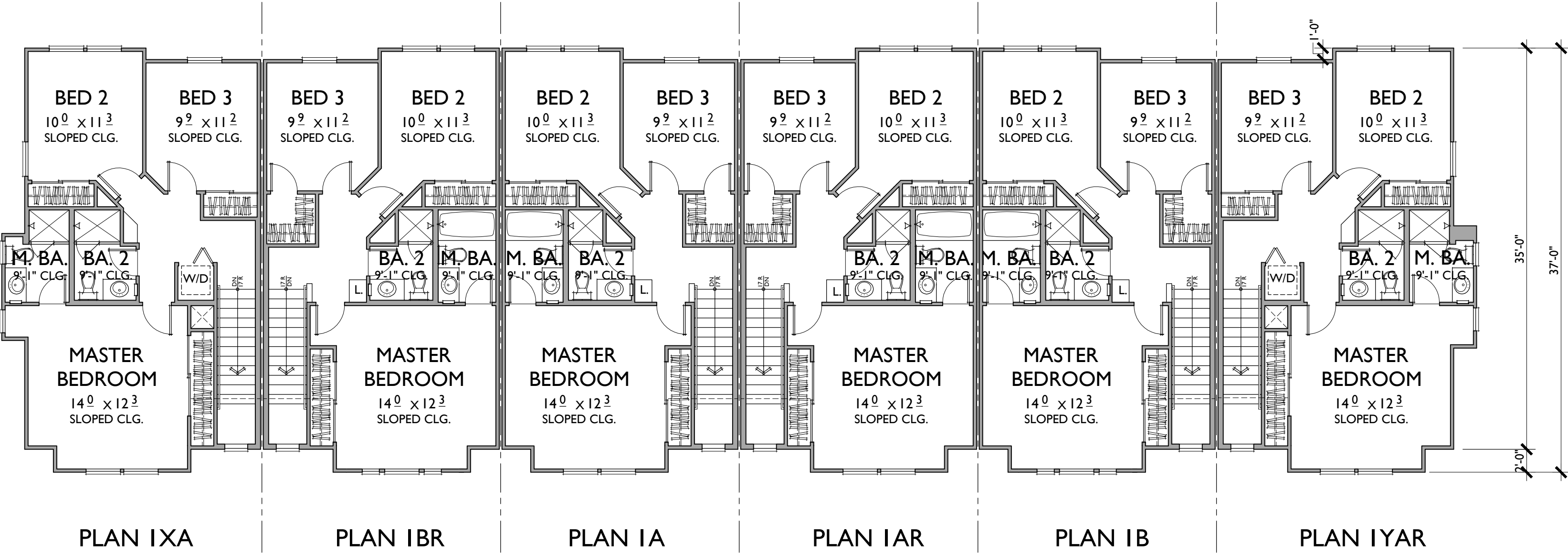
PLAN I	
FIRST:	169 SQ.FT.
SECOND:	664 SQ.FT.
THIRD:	681 SQ.FT.
TOTAL:	1,514 SQ.FT.
DECK:	70 SQ.FT.
GARAGE:	479 SQ.FT.
PLAN IX	
FIRST:	113 SQ.FT.
SECOND:	675 SQ.FT.
THIRD:	700 SQ.FT.
TOTAL:	1,488 SQ.FT.
DECK:	70 SQ.FT.
GARAGE:	489 SQ.FT.
PLAN IYR	
FIRST:	169 SQ.FT.
SECOND:	664 SQ.FT.
THIRD:	703 SQ.FT.
TOTAL:	1,536 SQ.FT.
DECK:	70 SQ.FT.
GARAGE:	479 SQ.FT.

ROOF PLAN

SLOPE: 3:12 U.N.O.
RAKE: 24" U.N.O.
EAVE: 18" U.N.O.
FAU IN ATTIC



ROOF PLAN



THIRD FLOOR



PLAN IXA



PLAN IXA

PLAN IBR

PLAN IA

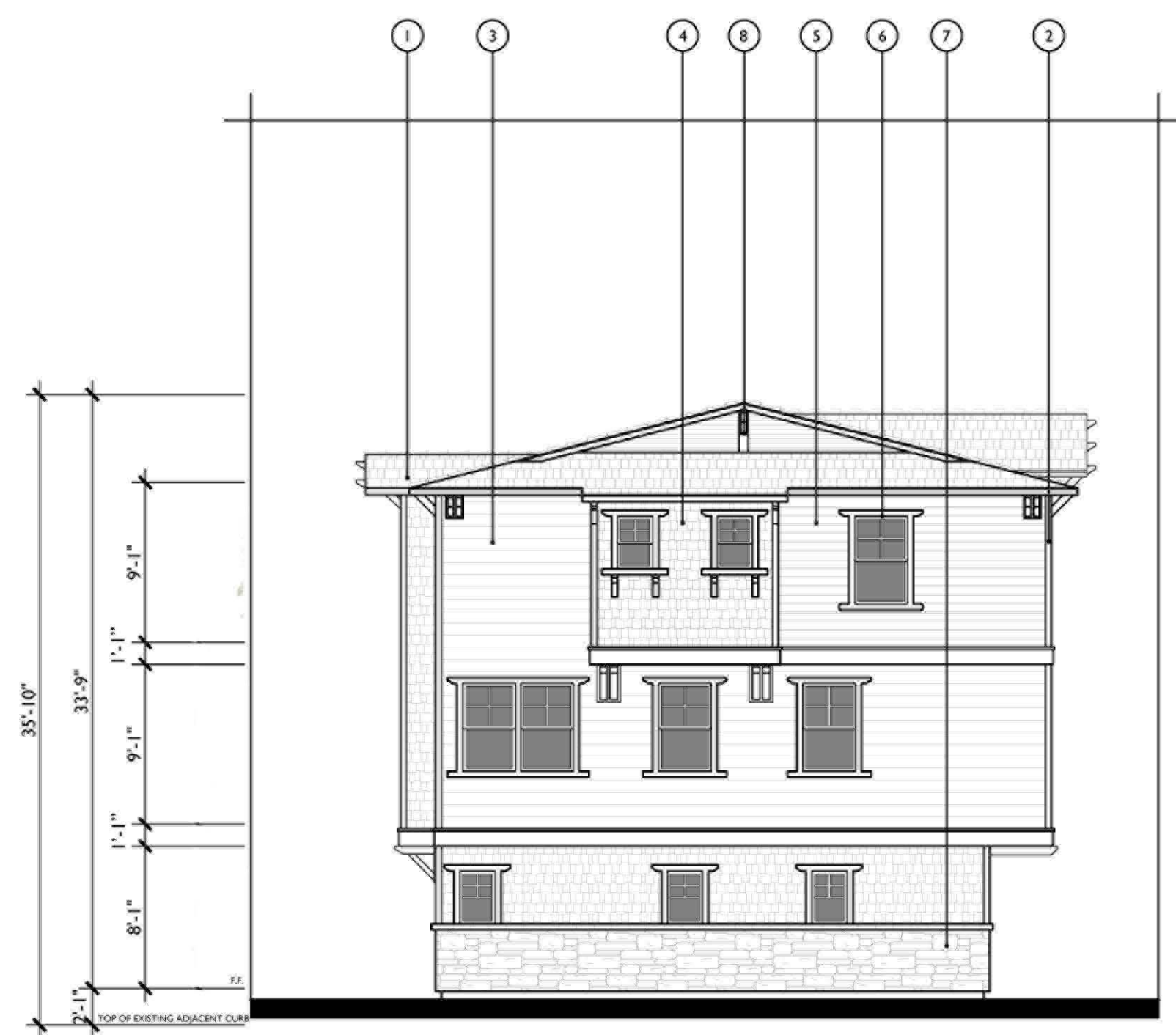
PLAN IAR

PLAN IB

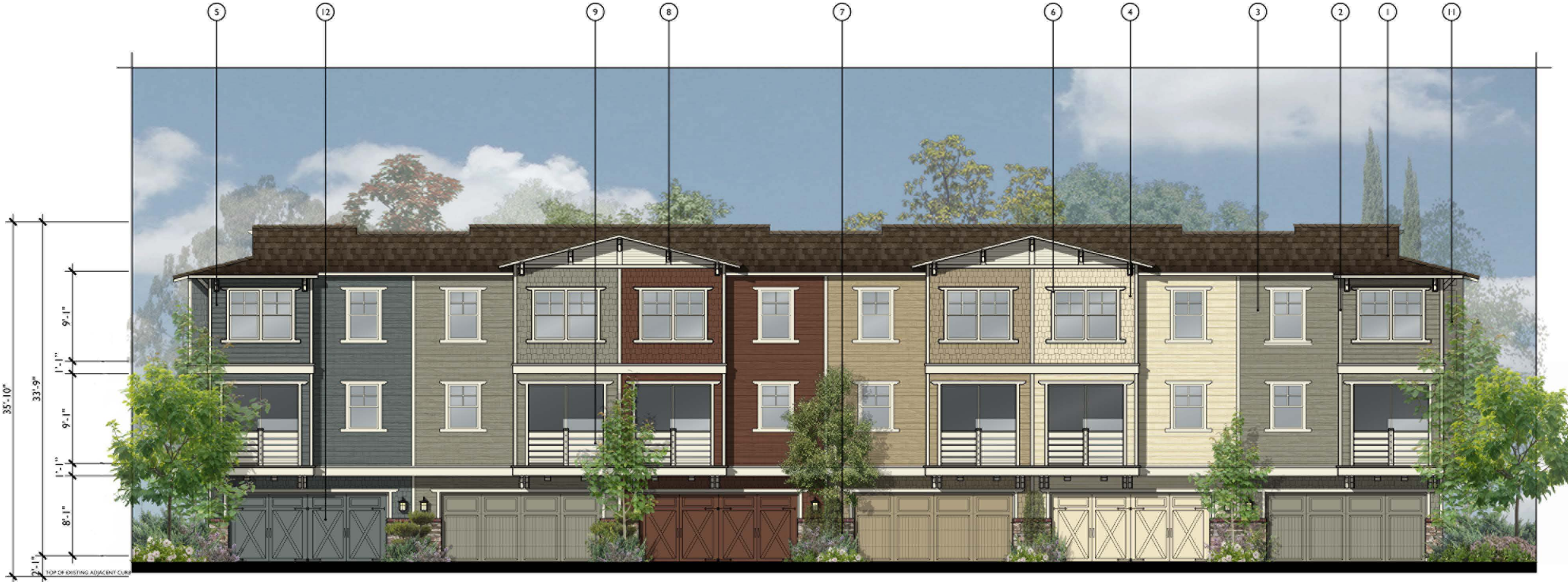
PLAN IYAR

MATERIALS

1. COMPOSITION ROOF TILE
2. 2x4 VERTICAL COMPOSITE TRIM
3. 8.25" HORIZONTAL HARDIE LAP SIDING
4. HARDIE SHINGLES STAGGERED EDGE PANEL
5. 6" HORIZONTAL HARDIE STAGGERED LAP SIDING
6. FIBER CEMENT TRIM AT WINDOW
7. SYNTHETIC STONE VENEER
8. DECORATIVE WOOD OUTLOOKERS
9. COMPOSITE RAILING
10. FIBER CEMENT PANEL AND WOOD BUILT-UP COLUMN
11. FIBER CEMENT TRIM AND PANEL BOX BAY
12. METAL SECTIONAL GARAGE DOORS



PLAN IYAR



PLAN IYAR

PLAN IB

PLAN IAR

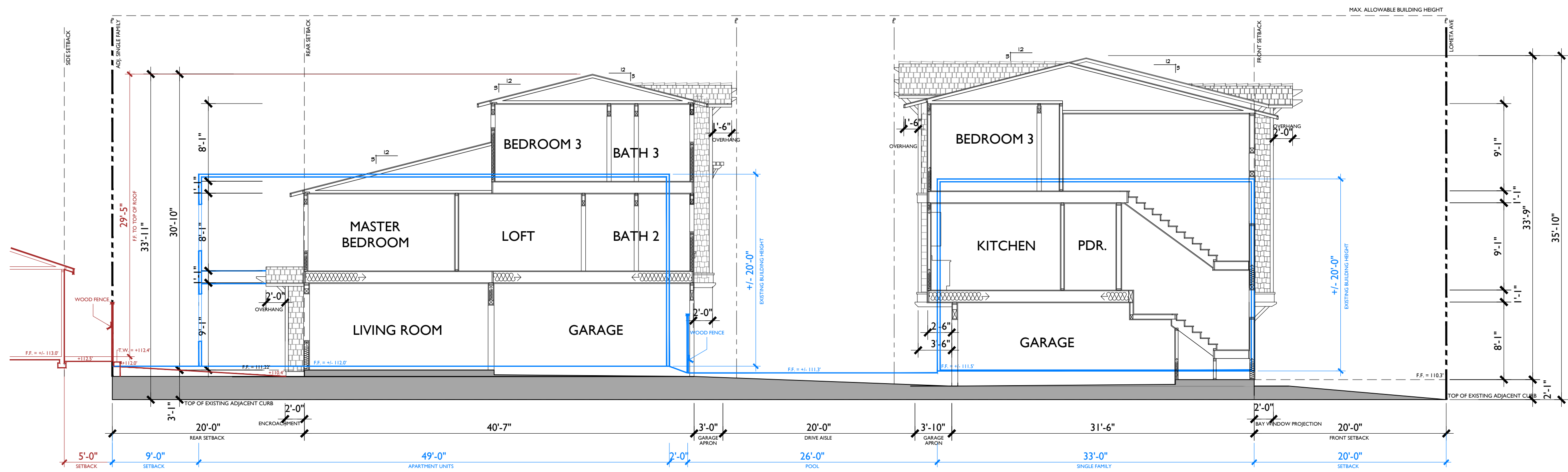
PLAN IA

PLAN IBR

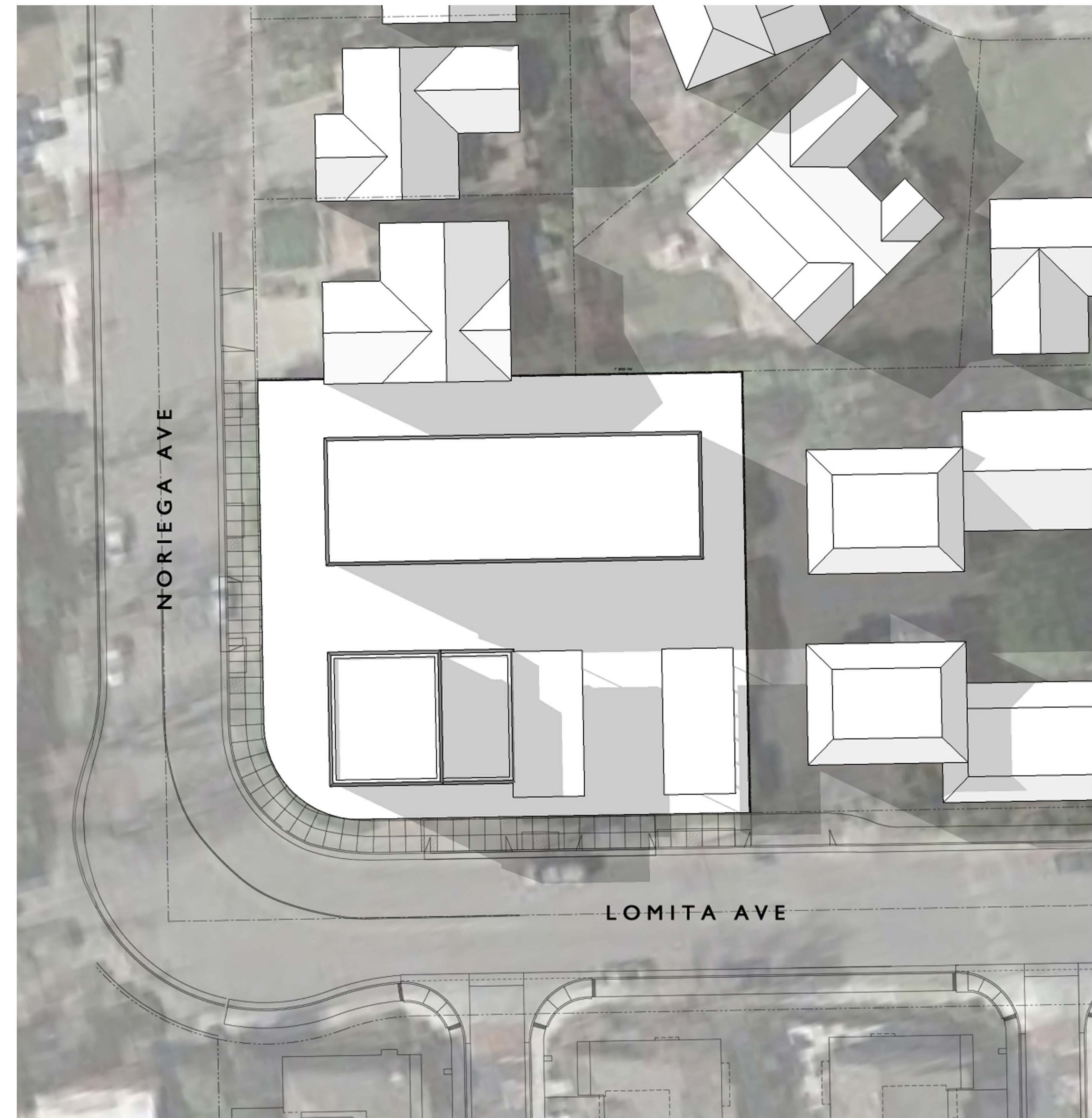
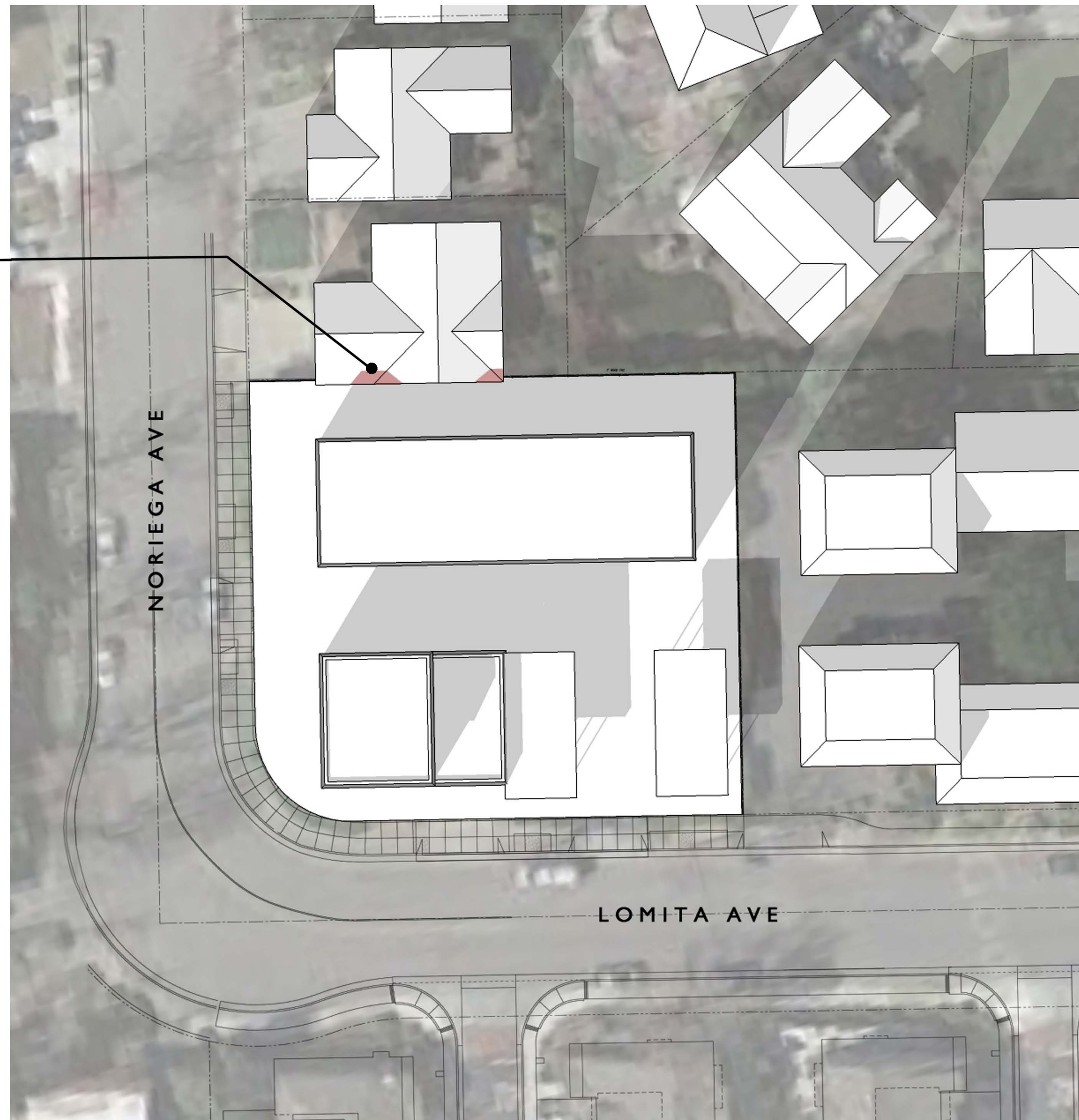
PLAN IXA



LOMETA AVENUE ELEVATION

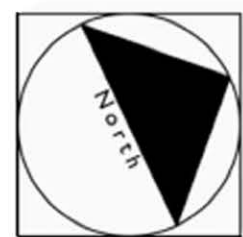


3.09% OF ROOF
AREA IN SHADE



DECEMBER 21 - 9AM
WINTER SOLSTICE

DECEMBER 21 - 3PM
WINTER SOLSTICE



Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

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tel. +1 949 553 9100
fax +1 949 553 0548

SOLAR STUDY (EXISTING)
NORIEGA AVENUE
Sunnyvale , California

252.14004

A-09
08.22.14



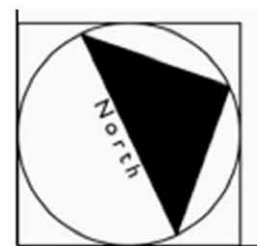
CLASSIC
COMMUNITIES

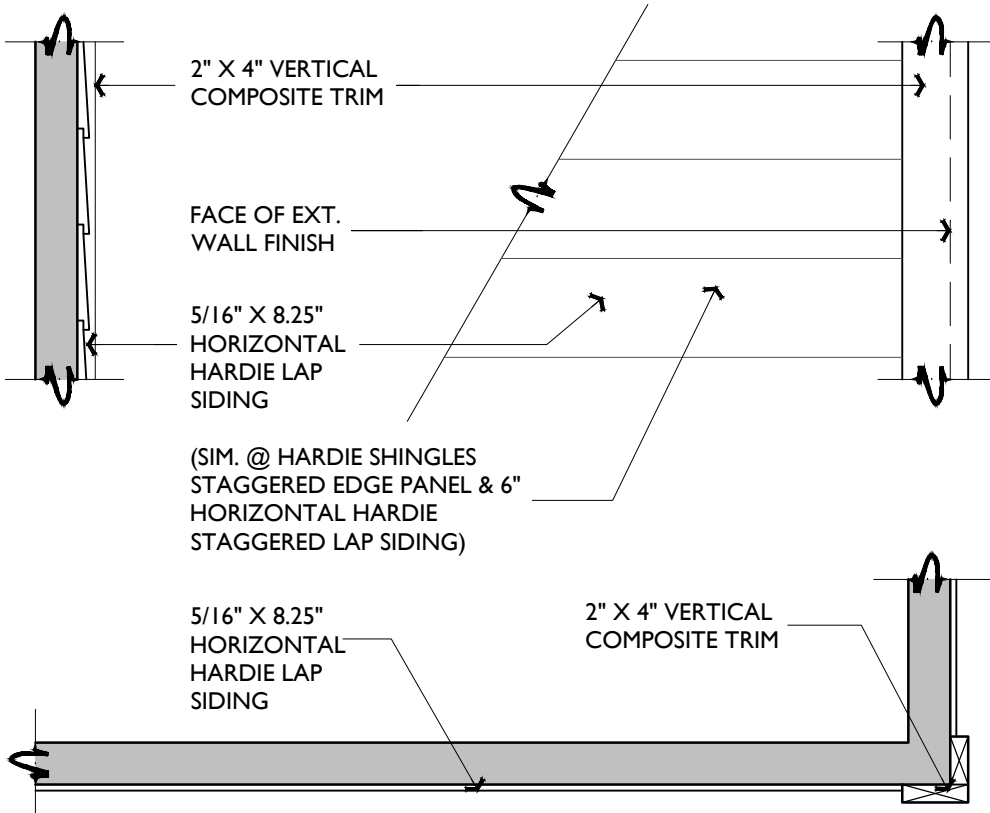
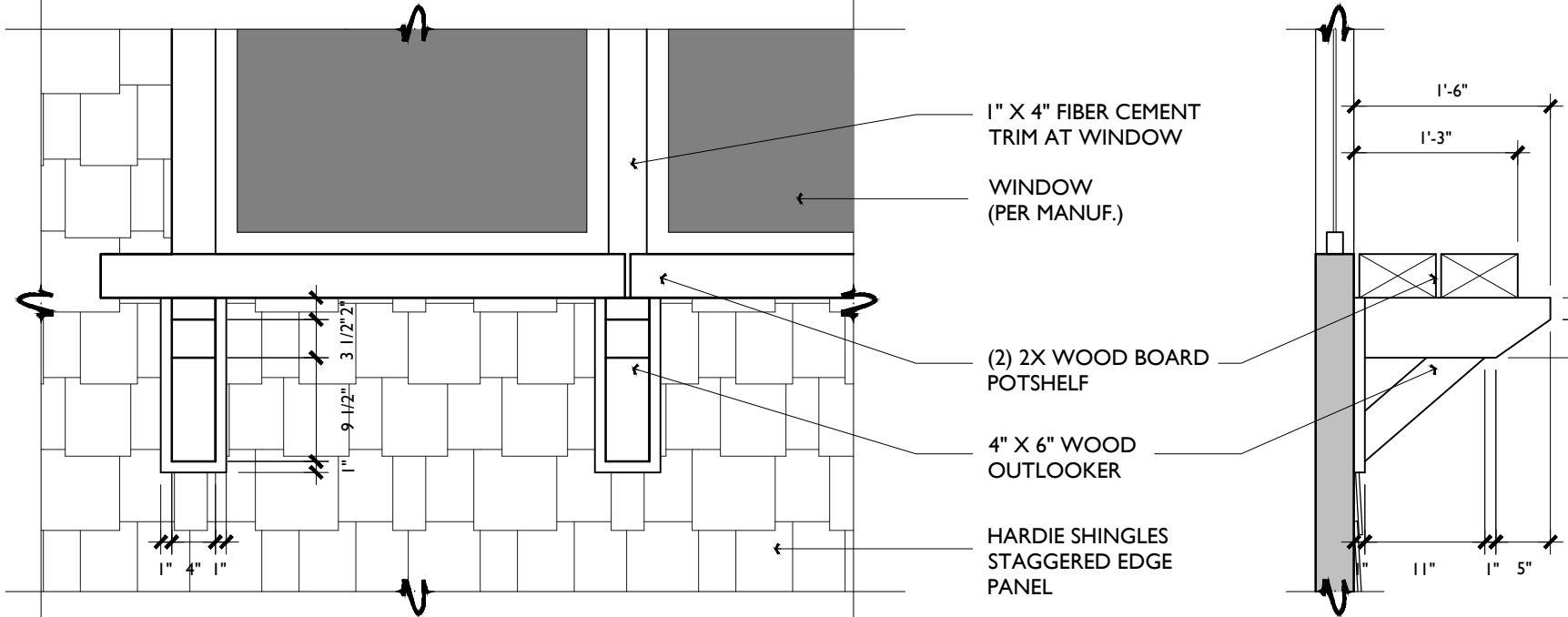
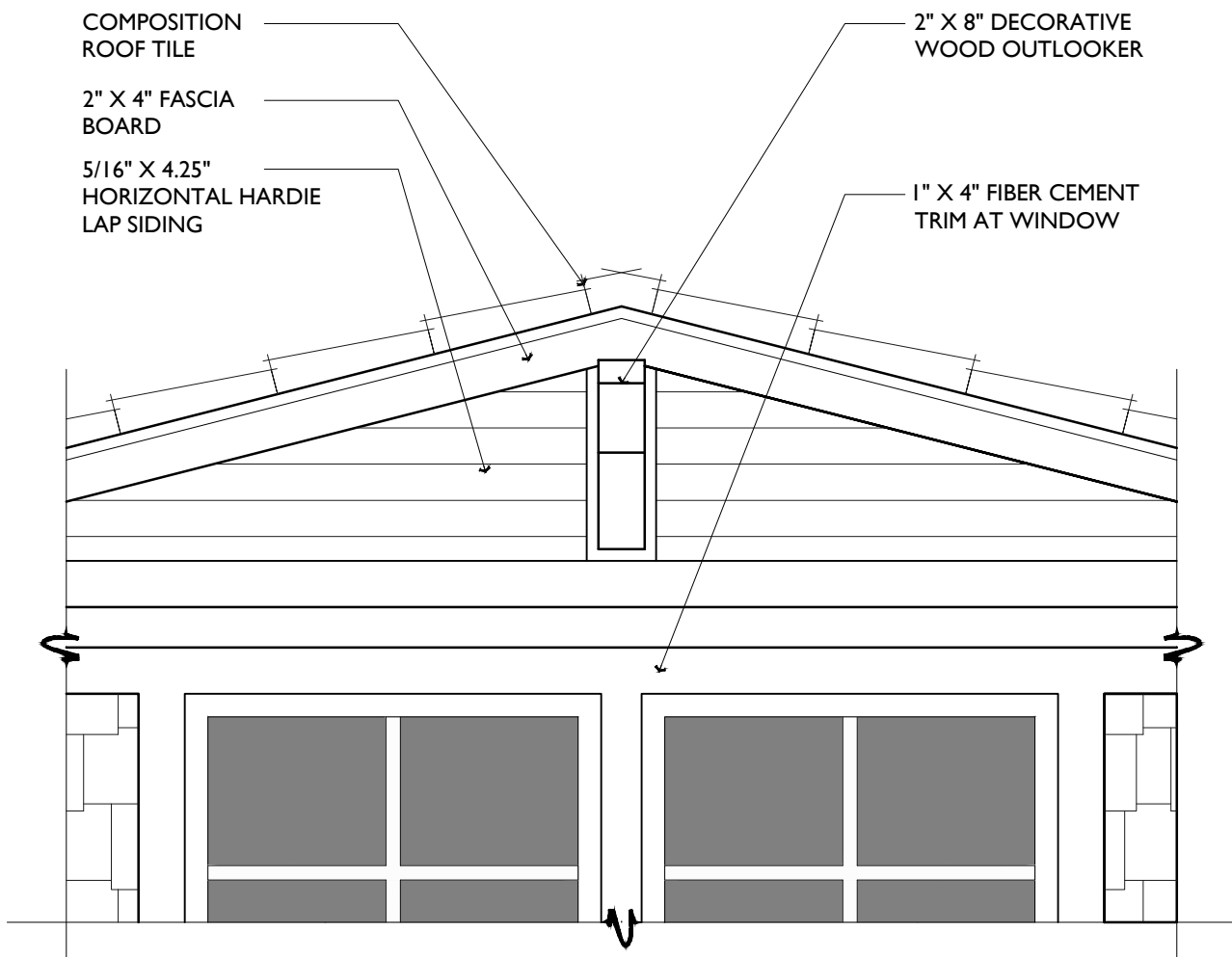
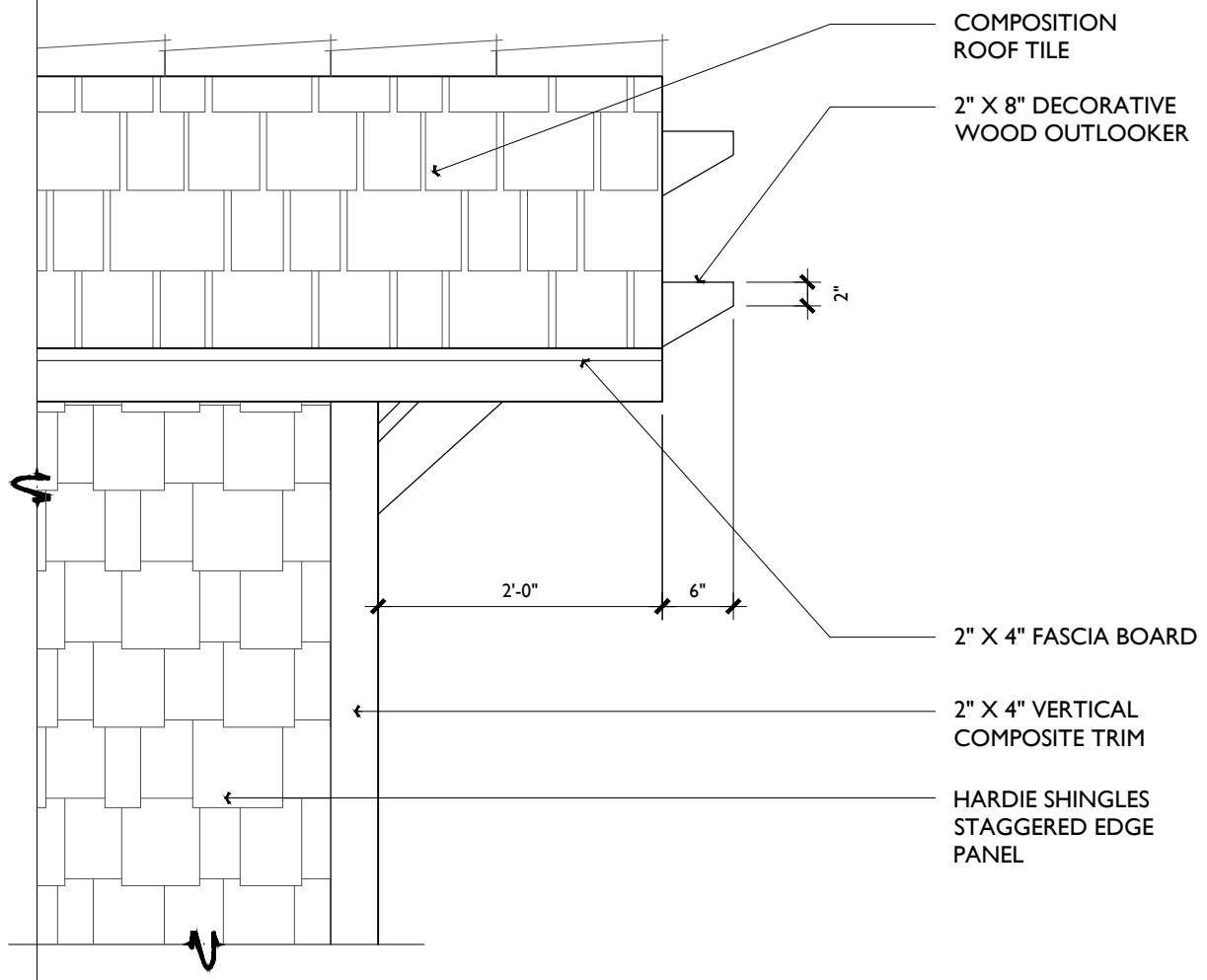
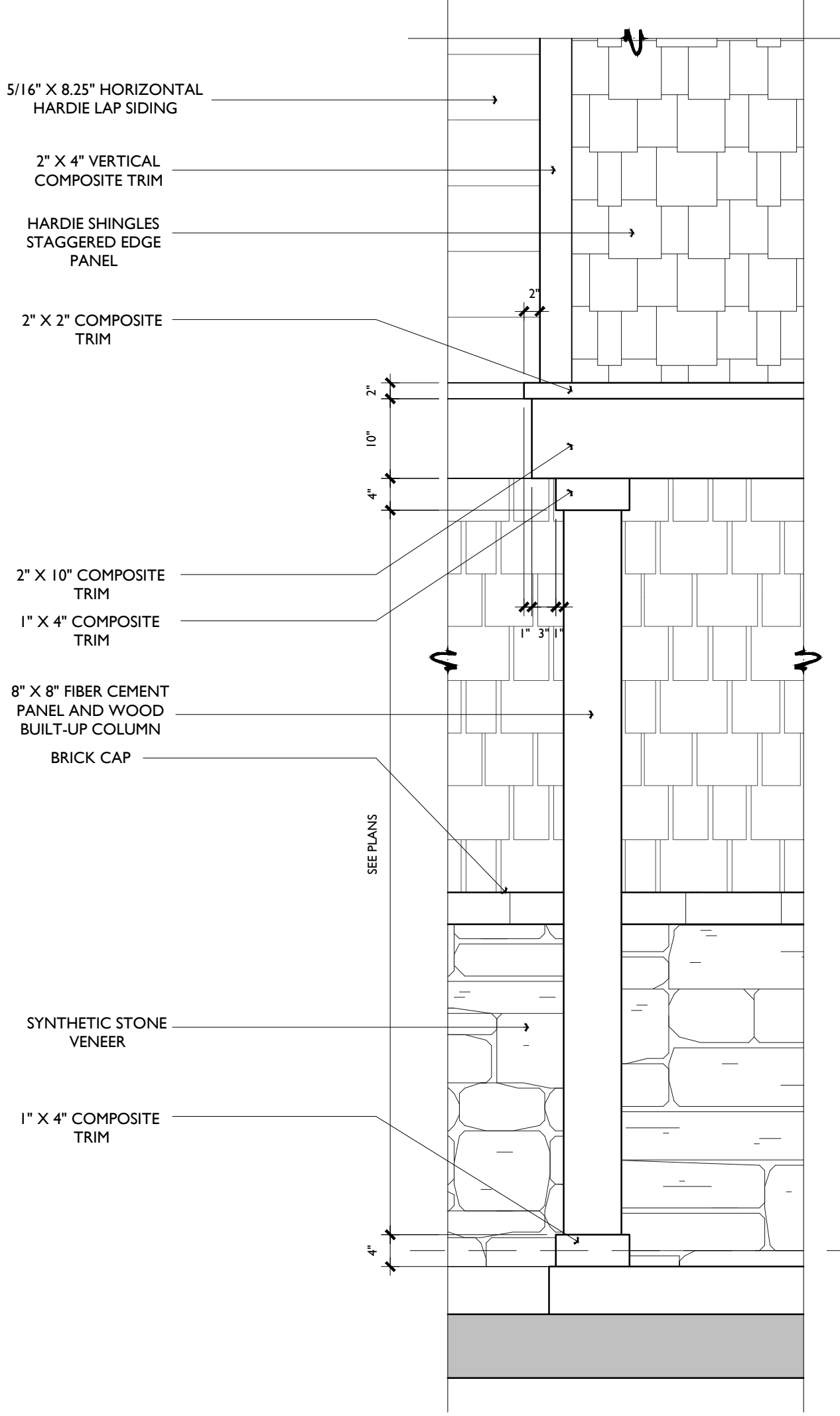
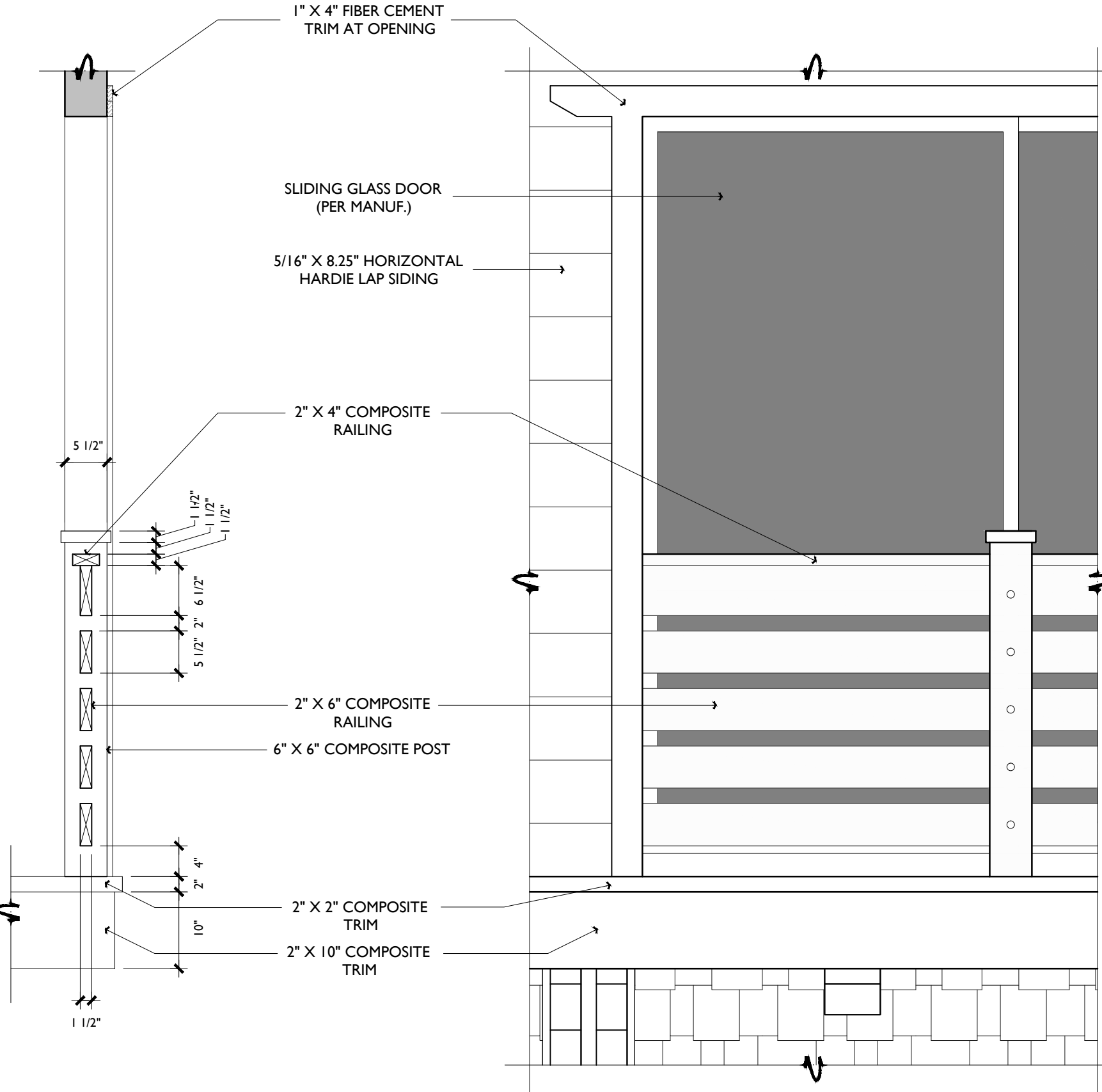
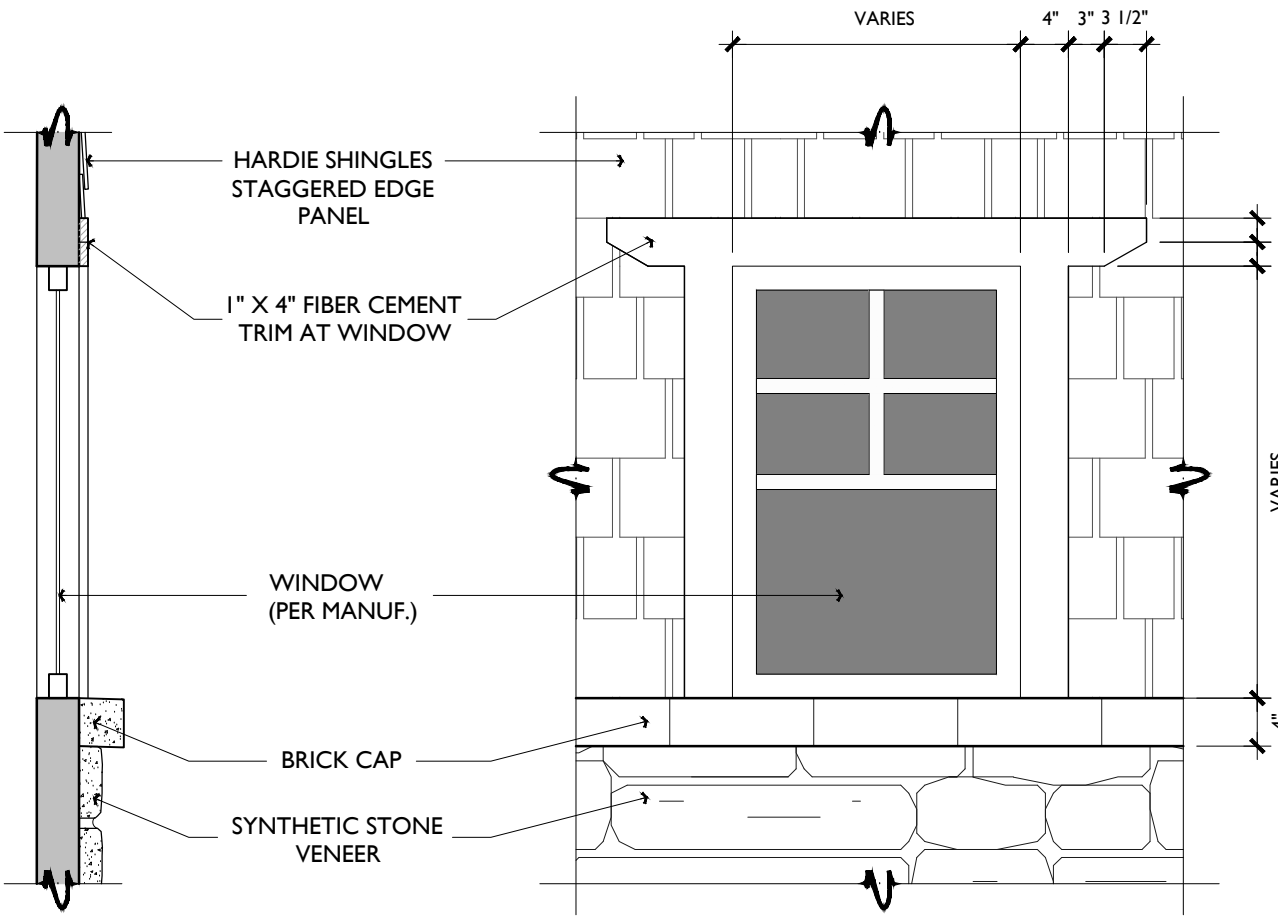
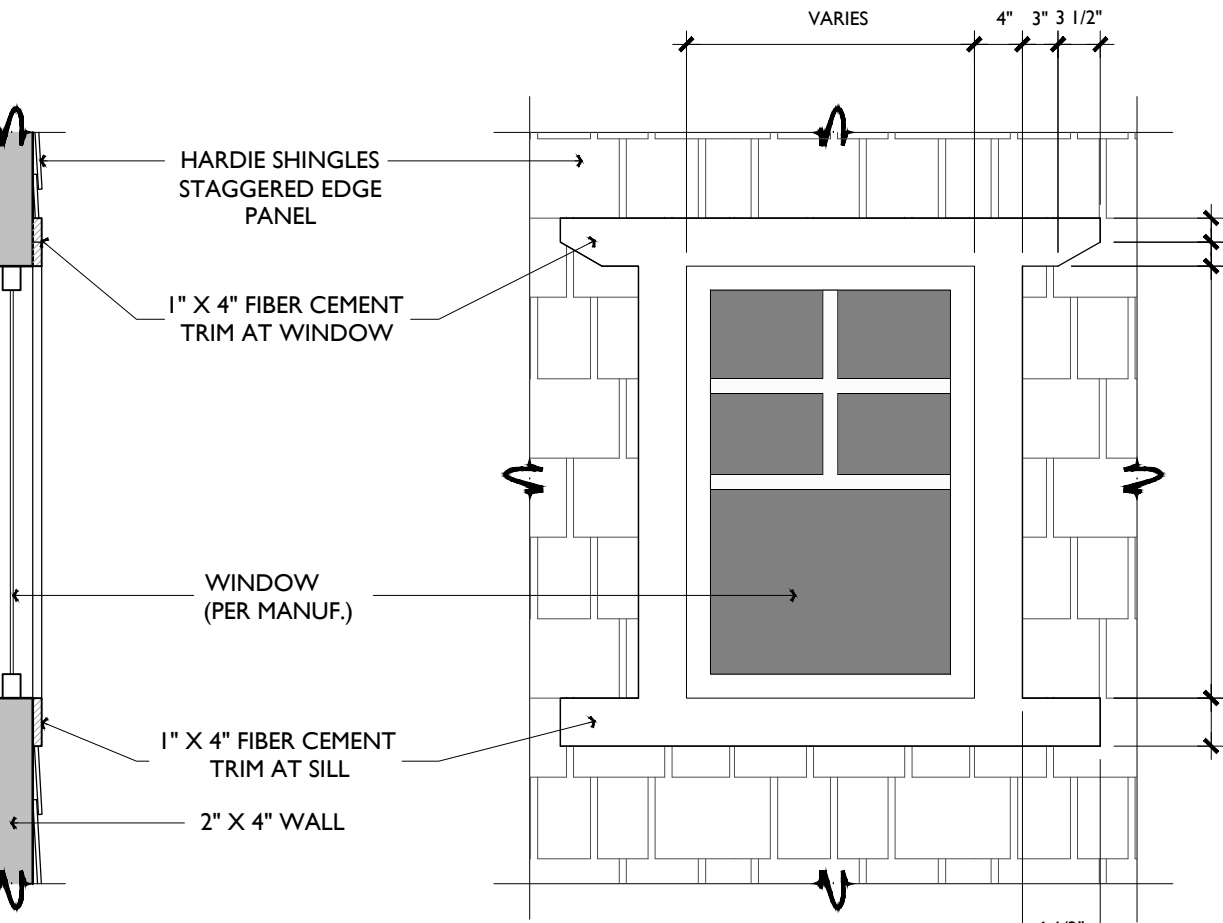
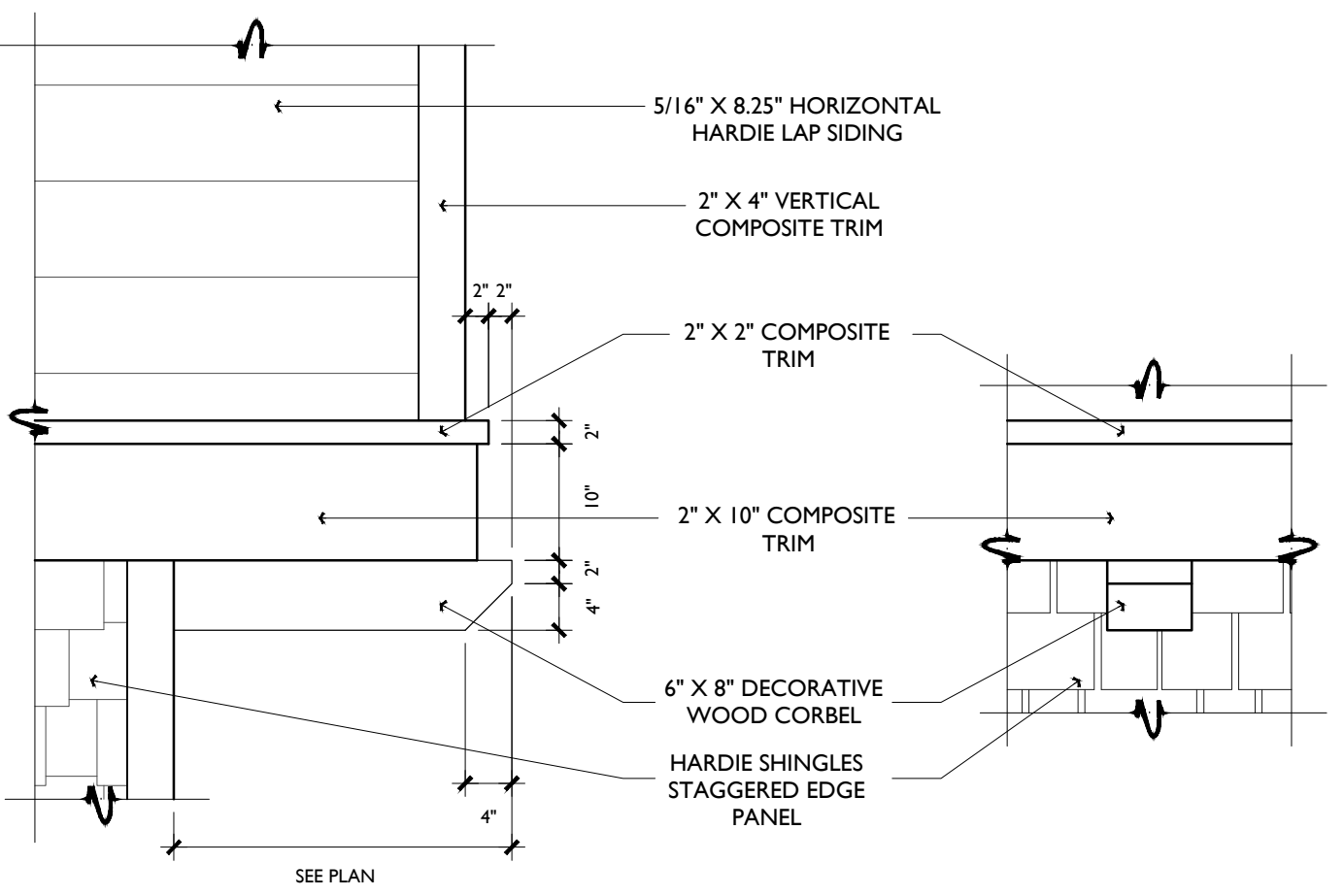
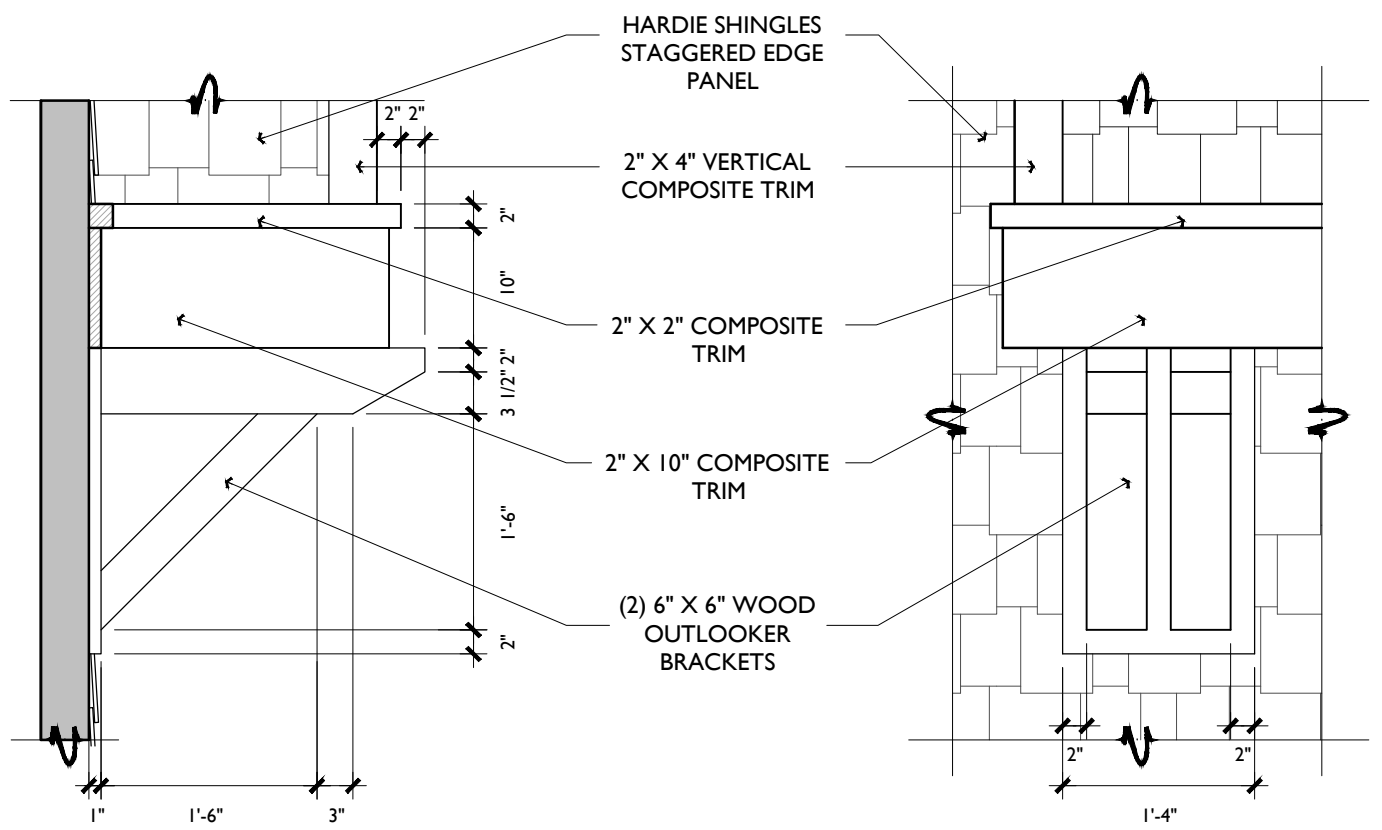


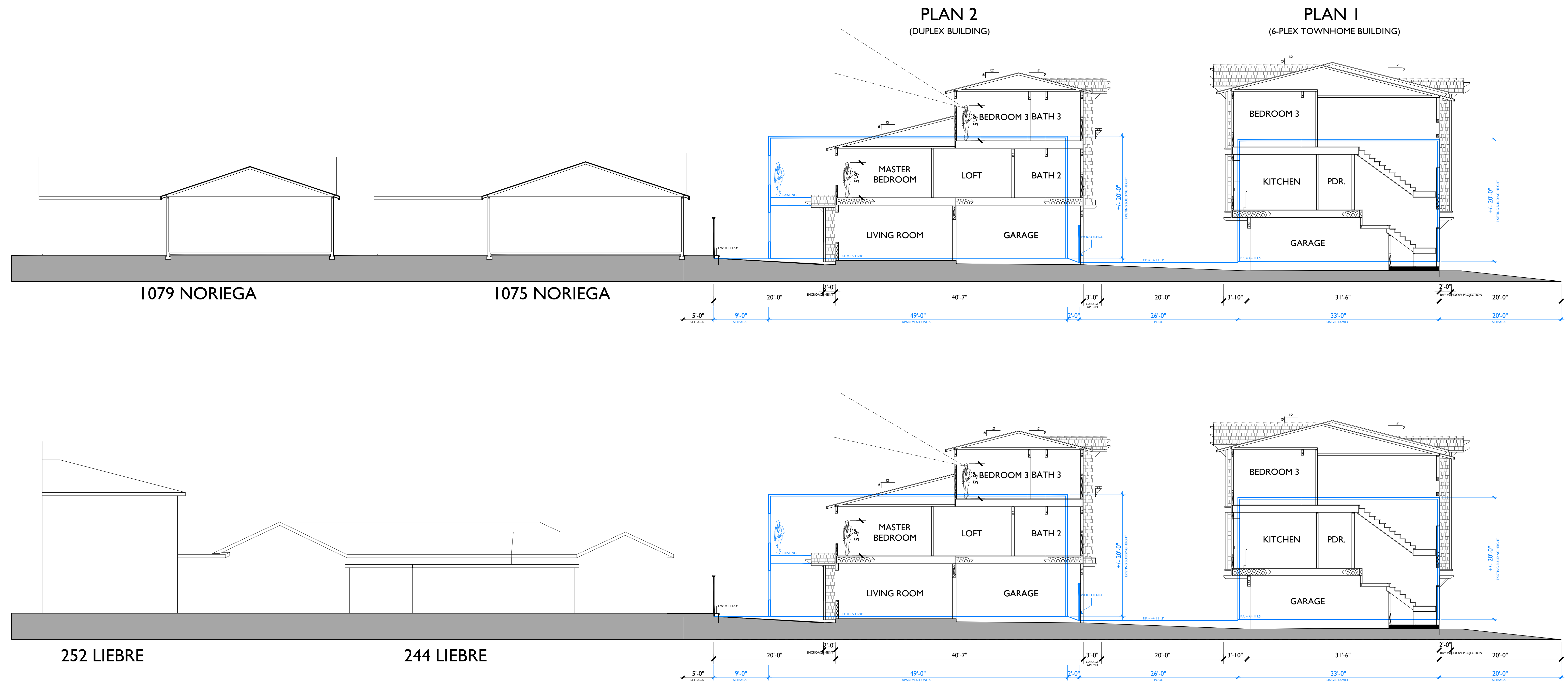
DECEMBER 21 - 9AM
WINTER SOLSTICE



DECEMBER 21 - 3PM
WINTER SOLSTICE



	9		7		4	
TYP. SIDING DETAIL		POTSHEFF		GABLE END		EAVE
	10		8		5	
COLUMN @ PORCH		RAILING @ COVERED DECK		WINDOW TRIM @ WAINSCOTT		WINDOW TRIM
	6		3			
CORBEL @ CANTILEVER FLOOR		BRACKET @ WINDOW BOX BAY				



County of Santa Clara
Office of the County Clerk-Recorder
Business Division

County Government Center
70 West Hedding Street, E. Wing, 1st Floor
San Jose, California 95110 (408) 299-5688



Document No.: 838
Number of Pages: 27
Filed and Posted On: 9/22/2014
Through: 10/12/2014
CRO Order Number:
Fee Total: 0.00

REGINA ALCOMENDRAS, County Clerk – Recorder
by Veronica Aguirre, Deputy Clerk – Recorder,

CEQA DOCUMENT DECLARATION

ENVIRONMENTAL FILING FEE RECEIPT

PLEASE COMPLETE THE FOLLOWING:

1. LEAD AGENCY: City of Sunnyvale
2. PROJECT TITLE: Related applications on a .48-acre site: Special Development Permit, Tentative Map, and Rezone for 10 townhome units.
3. APPLICANT NAME: Classic Communities PHONE: (650) 496-4162
4. APPLICANT ADDRESS: 1071 Noriega Avenue (PAN: 161-37-017, -018) Sunnyvale, CA 94086
5. PROJECT APPLICANT IS A: ☐ Local Public Agency ☐ School District ☐ Other Special District ☐ State Agency ☒ Private Entity
6. NOTICE TO BE POSTED FOR 20 DAYS.
7. CLASSIFICATION OF ENVIRONMENTAL DOCUMENT

a. PROJECTS THAT ARE SUBJECT TO DFG FEES

- | | | |
|---|-------------|---------|
| <input type="checkbox"/> 1. <u>ENVIRONMENTAL IMPACT REPORT</u> (PUBLIC RESOURCES CODE §21152) | \$ 3,029.75 | \$ 0.00 |
| <input type="checkbox"/> 2. <u>NEGATIVE DECLARATION</u> (PUBLIC RESOURCES CODE §21080(C)) | \$ 2,181.25 | \$ 0.00 |
| <input type="checkbox"/> 3. <u>APPLICATION FEE WATER DIVERSION</u> (STATE WATER RESOURCES CONTROL BOARD ONLY) | \$ 850.00 | \$ 0.00 |
| <input type="checkbox"/> 4. <u>PROJECTS SUBJECT TO CERTIFIED REGULATORY PROGRAMS</u> | \$ 1,030.25 | \$ 0.00 |
| <input type="checkbox"/> 5. <u>COUNTY ADMINISTRATIVE FEE</u> (REQUIRED FOR a-1 THROUGH a-4 ABOVE)
Fish & Game Code §711.4(e) | \$ 50.00 | \$ 0.00 |

b. PROJECTS THAT ARE EXEMPT FROM DFG FEES

- | | | |
|---|----------|---------|
| <input type="checkbox"/> 1. NOTICE OF EXEMPTION (\$50.00 COUNTY ADMINISTRATIVE FEE REQUIRED) | \$ 50.00 | \$ 0.00 |
| <input type="checkbox"/> 2. A COMPLETED "CEQA FILING FEE NO EFFECT DETERMINATION FORM" FROM THE DEPARTMENT OF FISH & GAME, DOCUMENTING THE DFG'S DETERMINATION THAT THE PROJECT WILL HAVE NO EFFECT ON FISH, WILDLIFE AND HABITAT, OR AN OFFICIAL, DATED RECEIPT / PROOF OF PAYMENT SHOWING PREVIOUS PAYMENT OF THE DFG FILING FEE FOR THE *SAME PROJECT IS ATTACHED (\$50.00 COUNTY ADMINISTRATIVE FEE REQUIRED) | | |
| DOCUMENT TYPE: <input type="checkbox"/> ENVIRONMENTAL IMPACT REPORT <input type="checkbox"/> NEGATIVE DECLARATION | \$ 50.00 | \$ 0.00 |

c. NOTICES THAT ARE NOT SUBJECT TO DFG FEES OR COUNTY ADMINISTRATIVE FEES

NOTICE OF PREPARATION ☒ NOTICE OF INTENT NO FEE \$ NO FEE

8. OTHER: _____ FEE (IF APPLICABLE): \$

9. TOTAL RECEIVED: _____ \$ 0.00

*NOTE: "**SAME PROJECT**" MEANS **NO** CHANGES. IF THE DOCUMENT SUBMITTED IS NOT THE SAME (OTHER THAN DATES), A "NO EFFECT DETERMINATION" LETTER FROM THE DEPARTMENT OF FISH AND GAME FOR THE **SUBSEQUENT** FILING OR THE APPROPRIATE FEES ARE REQUIRED.

THIS FORM MUST BE COMPLETED AND ATTACHED TO THE FRONT OF ALL CEQA DOCUMENTS LISTED ABOVE (INCLUDING COPIES) SUBMITTED FOR FILING. WE WILL NEED AN ORIGINAL (WET SIGNATURE) AND THREE COPIES. (YOUR ORIGINAL WILL BE RETURNED TO YOU AT THE TIME OF FILING.)

CHECKS FOR ALL FEES SHOULD BE MADE PAYABLE TO: SANTA CLARA COUNTY CLERK-RECORDER

PLEASE NOTE: FEES ARE ANNUALLY ADJUSTED (Fish & Game Code §711.4(b)); PLEASE CHECK WITH THIS OFFICE AND THE DEPARTMENT OF FISH AND GAME FOR THE LATEST FEE INFORMATION.

"... NO PROJECT SHALL BE OPERATIVE, VESTED, OR FINAL, NOR SHALL LOCAL GOVERNMENT PERMITS FOR THE PROJECT BE VALID, UNTIL THE FILING FEES REQUIRED PURSUANT TO THIS SECTION ARE PAID." Fish & Game Code §711.4(c)(3)



PLANNING DIVISION
CITY OF SUNNYVALE
P.O. BOX 3707
SUNNYVALE, CALIFORNIA 94088-3707

File Number: 2014-7423
No.

NOTICE OF INTENT TO ADOPT NEGATIVE DECLARATION

This form is provided as a notification of an intent to adopt a Mitigated Negative Declaration which has been prepared in compliance with the provisions of the California Environmental Quality Act of 1970, as amended, and Resolution #193-86.

PROJECT TITLE:

Application for a Rezone, Special Development Permit, and a Vesting Tentative Map by Classic Communities.

PROJECT DESCRIPTION AND LOCATION (APN):

FILE #: 2014-7423
Location: 1071 Noriega Ave. (APN: 161-37-017 and 163-37-018)
Proposed Project: **REZONE:** Introduction of an Ordinance to rezone the site from R-3 (Medium Density Residential) to R-3/PD (Medium Density Residential/Planned Development);
SPECIAL DEVELOPMENT PERMIT: for 10 residential townhouse units; and
VESTING TENTATIVE MAP: to subdivide two lots into 10 lots plus a common lot.
Applicant / Owner: Classic Communities / Classic 1071 Noriega LP

WHERE TO VIEW THIS DOCUMENT:

The **Mitigated Negative Declaration**, its supporting documentation and details relating to the project are on file and available for review and comment in the Office of the Secretary of the Planning Commission, City Hall, 456 West Olive Avenue, Sunnyvale.

This **Mitigated Negative Declaration** may be protested in writing by any person prior to 5:00 p.m. on November 11, 2014. Protest shall be filed in the Department of Community Development, 456 W. Olive Avenue, Sunnyvale and shall include a written statement specifying anticipated environmental effects which may be significant. A protest of a **Mitigated Negative Declaration** will be considered by the adopting authority, whose action on the protest may be appealed.

HEARING INFORMATION:

A public hearing on the project is scheduled for:

PLANNING COMMISSION HEARING ON Monday, October 13, 2014 AT 8:00 P.M., and CITY COUNCIL HEARING on Tuesday, November 11, 2014 AT 7:00 P.M., COUNCIL CHAMBERS.

at 8:00 p.m. in the Council Chambers, City Hall, 456 West Olive Avenue, Sunnyvale.

TOXIC SITE INFORMATION:

(No) listed toxic sites are present at the project location.

Circulated On September 19, 2014

Signed: 
Gerri Caruso, Principal Planner

Project Title	Classics (10 townhomes) at Noriega
Lead Agency Name and Address	City of Sunnyvale P.O. Box 3707, Sunnyvale, CA 94088-3707
Contact Person	Rosemarie Zulueta, Associate Planner
Phone Number	(408) 730-7437
Project Location	1071 Noriega Avenue Sunnyvale, CA 94086 (APNs: 161-37-017 and 161-37-018)
Applicant's Name	Classic Communities (applicant) / Classic 1071 Noriega LP (owner)
Zoning	R-3 (Medium Density Residential)
General Plan	Residential Medium Density
Other Public Agencies whose approval is required	None

BRIEF PROJECT DESCRIPTION

Related applications on a 0.48-acre site:

Rezone the site from R-3 (Medium Density Residential) to R-3/PD (Medium Density Residential/Planned Development);

Special Development Permit for 10 residential townhome units; and

Vesting Tentative Map to subdivide two lots into 10 lots plus a common lot.

DETAILED PROJECT DESCRIPTION

Surrounding Uses and Setting: The 0.48-acre project site is located on the corner of Noriega Avenue and Lometa Avenue. The site is bordered along the north and south by multi-family residential developments (medium density apartments), by a single-family neighborhood (low density) to the west and a small-lot single-family planned development (low medium density) to the east. The site is near a neighborhood commercial center to the east on South Mary Avenue and Washington Avenue.

On-site Development: The project includes full demolition of the existing 11-unit, two-story apartment buildings and related accessory structures (built in the 1970s), and construction of 10 townhomes with site improvements. The new units will be grouped into three three-story buildings; one building comprising six townhome units and two buildings comprising two units each ("duets"). The three buildings will be arranged around a central driveway off Noriega Avenue that will serve as the only vehicular access to the development. Each unit will have two-car garages and storage areas. The duets will have a private enclosed rear yard, while the each of

the six-plex units will have enclosed front yards and a private balcony on the second floor. The common lot will include landscaped areas, uncovered parking and the driveway aisle.

Construction Activities and Schedule: Construction activities include full demolition of all existing buildings and paving on the project site and construction of 10 townhomes with associated on-site and off-site improvements. The project will be subject to the Sunnyvale Municipal Code requirements for construction noise and hours of construction contained in Chapter 16.08.030.

Construction of the project is estimated to span 16 to 20 months. Demolition is anticipated to commence in spring or summer of 2015. Demolition and site work will span approximately four to five months. The remaining time will include construction of buildings, on-site improvements and off-site improvements. Construction will not include deep pile foundations or pile driving, jackhammers or other extremely high noise-generating activities or significant vibration.

Off-site Improvements: Existing curb cuts and driveways off Lometa Avenue will be removed and one new curb cut and driveway will be installed off Noriega Avenue to serve the new homes. New sidewalks and street trees will be installed in the public right-of-way, per City standards. Standard water, sewer, right-of-way and utility upgrades will be provided as required by the Municipal Code.

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Potentially Significant Unless Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 17, "Earlier Analysis," may be cross-referenced).
5. Earlier analysis may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c) (3) (d). In this case, a brief discussion should identify the following:
6. Earlier Analysis Used. Identify and state where they are available for review.
7. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
8. Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project
9. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Agricultural Resources | <input type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | |

MANDATORY FINDINGS OF SIGNIFICANCE (see checklist for further information):

Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

- ☐ Yes
☒ No

Mandatory Findings of Significance? Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of the past projects, the effects of other current projects, and the effects of probable future projects)?

- ☐ Yes
☒ No

Mandatory Findings of Significance? Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

- ☐ Yes
☒ No

DETERMINATION:

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared. ☐

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared. ☒

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required. ☐

I find that the proposed project MAY have a "potential significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed. ☐

I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required. ☐

Checklist Prepared By: Rosemarie Zulueta

Date: 09/16/2014

Title: Associate Planner

City of Sunnyvale

Signature:



Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
1. Aesthetics -Substantially damage scenic resources, including, but not limited to trees, historic buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map, Land Use and Transportation Chapter 3, and Community Character Chapter 4 of the Sunnyvale General Plan www.sunnyvaleplanning.com
2. Aesthetics -Substantially degrade the existing visual character or quality of the site and its surroundings including significant adverse visual changes to neighborhood character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map, Land Use and Transportation Chapter 3, and Community Character Chapter 4 of the Sunnyvale General Plan www.sunnyvaleplanning.com
3. Aesthetics -Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map, Land Use and Transportation Chapter 3, and Community Character Chapter 4 of the Sunnyvale General Plan www.sunnyvaleplanning.com
4. Population and Housing - Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure) in a way that is inconsistent with the Sunnyvale General Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map, and Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com
5. Population and Housing -Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3, and Housing Chapter 5 of the Sunnyvale General Plan and General Plan Map www.sunnyvaleplanning.com
6. Population and Housing -Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Housing Chapter 5 of the Sunnyvale General Plan and General Plan Map www.sunnyvaleplanning.com
7. Land Use Planning - Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map www.sunnyvaleplanning.com
8. Land Use Planning conflict - With the Sunnyvale General Plan, Zoning Ordinance, San Francisco Bay Conservation and Development Commission (BCDC) area or related specific plan adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan, Title 19 (Zoning) of the Sunnyvale Municipal Code http://qcode.us/codes/sunnyvale/view.php?topic=19&frames=off
9. Transportation and Traffic - Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking Requirements (Section 19.46) in the Sunnyvale Municipal Code http://qcode.us/codes/sunnyvale/view.php?topic=19-4-19_46&frames=off

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
10. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Moffett Field AICUZ, Sunnyvale Zoning Map, Sunnyvale General Plan Map www.sunnyvaleplanning.com
11. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	There are no private airstrips in or in the vicinity of Sunnyvale
12. For a project within the vicinity of Moffett Federal Airfield, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Moffett Field AICUZ
13. Agricultural Resources - Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale Zoning Map www.sunnyvaleplanning.com
14. Noise - Exposure of persons to or generation of noise levels in excess of standards established in the Noise Sub-Element, Noise limits in the Sunnyvale Municipal Code, or applicable standards of the California Building Code?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan, SMC www.sunnyvaleplanning.com 19.42 Noise Ordinance http://qcode.us/codes/sunnyvale/view.php?topic=19&frames=off Noise Study by Salter Associates, Inc., dated 3/3/14
15. Noise -Exposure of persons to or generation of excessive ground borne vibration?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description Project Construction Schedule
16. Noise - A substantial permanent or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description Noise Study by Salter Associates, Inc., dated 3/3/14
17. Biological Resources - Have a substantially adverse impact on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
18. Biological Resources -Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
19. Biological Resources -Interfere substantially with the movement of any resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
20. Biological Resources -Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SMC 19.90 Tree Preservation Ordinance Sunnyvale Inventory of Heritage Trees Tree Inventory Report by Barrie D. Coate and Associates, dated 1/21/14
21. Biological Resources -Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan and General Plan Map www.sunnyvaleplanning.com
22. Historic and Cultural Resources - Cause a substantial adverse change in the significance of a historical resource or a substantial adverse change in an archeological resource?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Community Character Chapter 4 of the Sunnyvale General Plan, Sunnyvale Inventory of Heritage Resources The United States Secretary of the Interior's "Guidelines for Rehabilitation" Criteria of the National Register of Historic Places
23. Historic and Cultural Resources - Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	California Health and Safety Code, Section 7050.5(b), CEQA Guidelines Section 15064.5(e) Project description CHRIS/NWIC Letter dated 8/22/14
24. Public Services - Would the project result in substantial adverse physical impacts associated with the provision of new or expanded public schools, the construction of which could cause significant environmental impacts, in order to maintain acceptable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The following public school districts are located in the City of Sunnyvale: Fremont Union High School District, Sunnyvale Elementary School District, Cupertino Union School District and Santa Clara Unified School District.

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
performance objectives?					
25. Air Quality - Conflict with or obstruct implementation of the BAAQMD air quality plan? How close is the use to a major road, hwy. or freeway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 1999 Thresholds Sunnyvale General Plan Map Sunnyvale Air Quality Sub-Element www.sunnyvaleplanning.com
26. Air Quality - Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 1999 Thresholds AB 32
27. Air Quality -Would the project conflict with any applicable plan, policy or regulation of any agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 1999 Thresholds Sunnyvale Climate Action Plan 2014 AB 32
28. Air Quality -Violate any air quality standard or contribute substantially to an existing or projected air quality violation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 1999 Thresholds Sunnyvale General Plan Map Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
29. Air Quality -Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 1999 Thresholds Sunnyvale General Plan Map Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
30. Air Quality -Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 1999 Thresholds Sunnyvale General Plan Map Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
31. Seismic Safety -Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
32. Seismic Safety - Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
33. Seismic Safety-Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
34. Seismic Safety-Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if "Less Than Significant" with or without mitigation:

14. Noise (No Impact) – A noise study for the project was prepared by Charles M. Salter Associates, Inc., dated March 3, 2014. The study is available for review at the City of Sunnyvale's Community Development Department, Monday through Friday between 8 a.m. and 5 p.m. Two continuous long-term 24-hour measurements were conducted February 20, 2014 to February 21, 2014. At the nearest proposed setback from Lometa Avenue, the study calculated a future DNL of 58 dB, which is considered "normally acceptable" sound levels at the building façade are less than DNL 60 dB, therefore typical construction grade double-pane windows would be sufficient to reduce the interior noise levels below DNL 45 dB.

20. Biological Resources (Less than Significant) – A Tree Inventory Report was prepared by Barrie D. Coate and Associates, dated January 21, 2014. A total of 14 trees were included in the report, four of which are located in the City right-of-way. The four existing City street trees along the project side frontage will be removed as part of the project in order to install new sidewalks and plant new street trees per current City standards.

The remaining 10 trees are within the project site, and only three are considered "protected" under Sunnyvale Municipal Code Chapter 19.94. A protected tree is defined as having a trunk size of at least 38 inches in circumference, as measured 4.5 feet from the ground. Three of the trees will be preserved, including two mature cedar trees fronting Noriega Avenue that meet the definition of a protected tree. All other trees, including one protected tree will be removed because they are within the proposed building footprints or circulation areas. The project will add 19 trees to the site, which will mitigate the loss of the existing trees in accordance with Sunnyvale Municipal Code Section 19.94, to a less than significant level.

23. Historic and Cultural Resources (Less than Significant) – The project construction will include grading and land disturbance. A records search by the California Historical Resources Information System/Northwest Information Center of Sonoma State University (CHRIS/NWIC) was conducted for the project area in August 2014. Review of the obtained information indicates that there have been no cultural resources studies conducted within the project area. The project area contains no recorded archaeological resources. The State Office of Historic Preservation Historic Property Directory (OHP HPD) (which includes listings of the California Register of Historical Resources, California State Historical Landmarks, California State Points of Historical Interest, and the National Register of Historic Places) lists no recorded buildings or structures within the proposed project area. In addition to these inventories, the NWIC base maps show no recorded buildings or structures within the proposed project area. The records search also indicates that there are no Native American resources in or adjacent to the proposed project area referenced in the ethnographic literature.

Based on an evaluation of the environmental setting and features associated with known sites, there is a moderate potential of unrecorded Native American resources in the proposed project area. Review of historical

literature and maps gave no indication of the possibility of historic-period archaeological resources within the proposed project area, but there is a low potential of unrecorded historic-period archaeological resources.

The following mitigations are recommended to reduce the potential impact to less than significant level:

MITIGATION

WHAT:

- (1) Provide documentation that construction staff has been informed of the following requirement. In the event archaeological resources are encountered during construction, work should be temporarily halted in the vicinity of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. Project personnel should not collect cultural resources. Native American resources include chert or obsidian flakes, projectile points, mortars, and pestles; and dark friable soil containing shell and bone dietary debris, heat-affected rock, or human burials. Historic-period resources include stone or adobe foundations or walls; structures and remains with square nails; and refuse deposits or bottle dumps, often located in old wells privies.
- (2) Contact the local Native American tribe regarding traditional, cultural, and religious values.
- (3) Any identified cultural resources shall be recorded on DPR 523 historic resource recordation forms.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

Responsible Division: Planning Division

Completed by: Rosemarie Zulueta Date: 09/16/2014

Transportation	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
35. Exceeds the capacity of the existing circulation system, based on an applicable measure of effectiveness (as designated in a general plan policy, ordinance, etc.), taking into account all modes of transportation including nonmotorized travel and all relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian walkways, bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
36. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measurements, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
37. Results in a change in air traffic patterns, including either an increase in air traffic levels or a change in flight patterns or location that results in substantial safety risks to vehicles, bicycles, or pedestrians?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
38. Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
39. Conflict with adopted policies, plans, or programs regarding public transit or nonmotorized transportation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
40. Affect the multi-modal performance of the highway and/or street and/or rail and/or off road nonmotorized trail transportation facilities, in terms of structural, operational, or perception-based measures of effectiveness (e.g. quality of service for nonmotorized and transit modes)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/

Transportation	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
41. Reduce, sever, or eliminate pedestrian or bicycle circulation or access, or preclude future planned and approved bicycle or pedestrian circulation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
42. Cause a degradation of the performance or availability of all transit including buses, light or heavy rail for people or goods movement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Rosemarie Zulueta Date: 09/16/2014

Building	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
43. Hydrology and Water Quality - Place housing within a 100-year floodplain, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FEMA Flood Insurance Rate Map Effective 5/18/09 www.sunnyvaleplanning.com , California Building Code, Title 16 (Building) of the Sunnyvale Municipal Code
44. Hydrology and Water Quality - Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FEMA Flood Insurance Rate Map Effective 5/18/09 www.sunnyvaleplanning.com , California Building Code, Title 16 (Building) of the Sunnyvale Municipal Code
45. Hydrology and Water Quality - Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1995 ABAG Dam Inundation Map www.abag.ca.gov , California Building Code, Title 16 (Building) of the Sunnyvale Municipal Code
46. Geology and Soils -Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale Municipal Code 12.60, Storm Water Quality Best Sunnyvale Management Practices Guideline Manual
47. Geology and Soils -Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan, www.sunnyvaleplanning.com California Plumbing, Mechanical, and Electrical Codes and Title 16 (Building) of the Sunnyvale Municipal Code
48. Geology and Soils -Be located on expansive soil, as defined by the current building code, creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	California Plumbing, Mechanical, and Electrical Codes and Title 16 (Building) of the Sunnyvale Municipal Code

Further Discussion if "Less Than Significant" with or without mitigation: None required.

General Discussion: The California Building Code contains a series of building code requirements to address safety issues regarding seismic shaking, flooding, and soil types. In addition, Title 16.62 of the Sunnyvale Municipal Code requires a series of measures for provisions to reduce flood-related hazards to buildings. These standards are suggested by the Federal Emergency Management Agency and required by code by the City of Sunnyvale. These standards must be met for a building permit to be issued.

Engineering	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
49. Utilities and Service Systems: Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
50. Utilities and Service Systems: Require or result in construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
51. Utilities and Service Systems: Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
52. Utilities and Service Systems: Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
53. Utilities and Service Systems: Result in a determination by the wastewater treatment provider which services or may serve the project determined that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
54. Utilities and Service Systems: Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
55. Hydrology and Water Quality - Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Regional Water Quality Control Board (RWQCB) Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/

Engineering	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
56. Hydrology and Water Quality - Substantially degrade groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New and Redevelopment Projects www.sunnyvaleplanning.com
57. Hydrology and Water Quality - Substantially degrade groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New and Redevelopment Projects www.sunnyvaleplanning.com
58. Hydrology and Water Quality - Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Santa Clara Valley Water District Groundwater Protection Ordinance www.valleywater.org
59. Hydrology and Water Quality - Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems in a manner which could create flooding or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New and Redevelopment Projects www.sunnyvaleplanning.com
60. Hydrology and Water Quality - Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New and Redevelopment Projects www.sunnyvaleplanning.com
61. Utilities and Service Systems: Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Engineering	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
62. Public Services Infrastructure? Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Rosemarie Zulueta Date: 09/16/2014

Public Safety	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
63. Public Services Police and Fire protection - Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
64. Public Services Police and Fire protection - Would the project result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	California Building Code SMC Section 16.52 Fire Code

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Rosemarie Zulueta Date: 09/16/2014

Public Safety – Hazardous Materials	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
65. Hazards and Hazardous Materials - Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan, www.sunnyvaleplanning.com
66. Hazards and Hazardous Materials - Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan, www.sunnyvaleplanning.com Title 20 of the City of Sunnyvale Municipal Code Phase I & II Environmental Site Assessment prepared by Tetra Tech GEO dated 1/28/14
67. Hazards and Hazardous Materials - Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale Zoning Map www.sunnyvaleplanning.com
68. Hazards and Hazardous Materials - Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	State of California Hazardous Waste and Substances Site List (Cortese List), Department of Toxic Substance Control
69. Hazards and Hazardous Materials - Impair implementation of, or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if “Less Than Significant” with or without mitigation:

66. Hazards and Hazardous Materials (Less than Significant with Mitigation) – A Phase I and II Environmental Site Assessment was prepared by Tetra Tech GEO, dated January 28, 2014. The study is available for review at the City of Sunnyvale’s Community Development Department, Monday through Friday between 8 a.m. and 5 p.m.

Tetra Tech GEO found the presence of the pesticide Dieldrin in the surface soil along the southern project site boundary. The site has historically been used as orchard land from the late 1930s through the 1960s. No structure was located on the project site prior to construction of the existing apartment complex in 1970. Strips of soil along the western and southern portions of the project site contain low concentrations of pesticide residues, typical of land formerly used for orchard trees. Surface soil along the southern portion of the project site contains the pesticide compound Dieldrin above human health-based agency screening levels for residential land use. Soil beneath the developed portion of the project site is not considered likely to have

elevated pesticide concentrations, because the topsoil in that area is presumed to have been largely removed during development.

The following mitigations are recommended to reduce the impact to less than significant level:

WHAT:

- (1) The soil along the southern project site boundary (at SB-3 as indicated in Figure 3 of the Phase I and II Environmental Site Assessment prepared by Tetra Tech GEO and dated January 28, 2014) shall be removed to a depth of approximately one (1) foot prior to or during redevelopment activities to remove soil containing Dieldrin concentrations to below human health-based agency screening levels.
- (2) Following excavation, confirmation soil samples shall be collected to confirm that soil containing elevated Dieldrin concentrations has been removed.
- (3) Following excavation, the soil shall be tested for pesticides to assist in determining the appropriate disposal option for the soil.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

Responsible Division: Planning Division

Completed by: Rosemarie Zulueta Date: 09/16/2014

Community Services	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
70. Public Services Parks? Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter of the Sunnyvale General Plan, Community Character Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com
71. Recreation - Would the project increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter of the Sunnyvale General Plan, Community Character Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com
72. Recreation - Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter of the Sunnyvale General Plan, Community Character Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Rosemarie Zulueta Date: 09/16/2014

City of Sunnyvale General Plan:

Sunnyvale General Plan Consolidated in (2011)
generalplan.InSunnyvale.com

- Community Vision
- Land Use and Transportation
- Community Character
- Housing
- Safety and Noise
- Environmental Management
- Appendix A: Implementation Plans

City of Sunnyvale Climate Action Plan 2014**City of Sunnyvale Municipal Code:**

- Title 8 Health and Sanitation
- Title 9 Public Peace, Safety or Welfare
- Title 10 Vehicles and Traffic
- Title 12 Water and Sewers
- Chapter 12.60 Storm Water Management
- Title 13 Streets and Sidewalks
- Title 16 Buildings and Construction
 - Chapter 16.52 Fire Code
 - Chapter 16.54 Building Standards for Buildings Exceeding Seventy-Five Feet in Height
- Title 18 Subdivisions
- Title 19 Zoning
 - Chapter 19.28 Downtown Specific Plan District
 - Chapter 19.29 Moffett Park Specific plan District
 - Chapter 19.39 Green Building Regulations
 - Chapter 19.42 Operating Standards
 - Chapter 19.54 Wireless Telecommunication Facilities
 - Chapter 19.81 Streamside Development Review
 - Chapter 19.96 Heritage Preservation
- Title 20 Hazardous Materials

Specific Plans:

- Downtown Specific Plan
- El Camino Real Precise Plan
- Lockheed Site Master Use Permit
- Moffett Park Specific Plan
- 101 & Lawrence Site Specific Plan
- Southern Pacific Corridor Plan
- Lakeside Specific Plan
- Arques Campus Specific Plan

Environmental Impact Reports:

- Futures Study Environmental Impact Report
- Lockheed Site Master Use Permit Environmental Impact Report

- Tasman Corridor LRT Environmental Impact Study (supplemental)
- Kaiser Permanente Medical Center Replacement Center Environmental Impact Report (City of Santa Clara)
- Downtown Development Program Environmental Impact Report
- Caribbean-Moffett Park Environmental Impact Report
- Southern Pacific Corridor Plan Environmental Impact Report
- East Sunnyvale ITR General Plan Amendment EIR
- Palo Alto Medical Foundation Medical Clinic Project EIR
- Luminaire (Lawrence Station Road/Hwy 237 residential) EIR
- NASA Ames Development Plan Programmatic EIS
- Mary Avenue Overpass EIR
- Mathilda Avenue Bridge EIR

Maps:

- General Plan Map
- Zoning Map
- City of Sunnyvale Aerial Maps
- Flood Insurance Rate Maps (FEMA)
- Santa Clara County Assessor's Parcel
- Utility Maps
- Air Installations Compatible Use Zones (AICUZ) Study Map
- 2010 Noise Conditions Map

Legislation / Acts / Bills / Resource Agency Codes and Permits:

- Subdivision Map Act
- Municipal Regional Stormwater NPDES Permit
- Santa Clara County Valley Water District Groundwater Protection Ordinance
- Section 404 of Clean Water Act

Lists / Inventories:

- Sunnyvale Cultural Resources Inventory List
- Heritage Landmark Designation List
- Santa Clara County Heritage Resource Inventory
- Hazardous Waste & Substances Sites List (State of California)
- List of Known Contaminants in Sunnyvale
- USFWS / CA Dept. F&G Endangered and Threatened Animals of California
<http://www.dfg.ca.gov/biogeodata/cnddb/pdfs/TEAnimals.pdf>
- The Leaking Underground Petroleum Storage Tank List www.geotracker.waterboards.ca.gov

- The Federal EPA Superfund List
www.epa.gov/region9/cleanup/california.html
- The Hazardous Waste and Substance Site List
www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm

Guidelines and Best Management Practices

- Storm Water Quality Best Management Practices Guidelines Manual 2007
- Sunnyvale Citywide Design Guidelines
- Sunnyvale Industrial Guidelines
- Sunnyvale Single-Family Design Techniques
- Sunnyvale Eichler Guidelines
- Blueprint for a Clean Bay
- Santa Clara Valley Water District (SCVWD) Guidelines and Standards for Land Use Near Streams
- The United States Secretary of the Interior 's Guidelines for Rehabilitation
- Criteria of the National Register of Historic Places

Transportation:

- California Department of Transportation Highway Design Manual
- California Department of Transportation Traffic Manual
- California Department of Transportation Standard Plans & Standard Specifications
- Highway Capacity Manual
- Institute of Transportation Engineers - Trip Generation Manual & Trip Generation Handbook
- Institute of Transportation Engineers - Traffic Engineering Handbook
- Institute of Transportation Engineers - Manual of Traffic Engineering Studies
- Institute of Transportation Engineers - Transportation Planning Handbook
- Institute of Transportation Engineers - Manual of Traffic Signal Design
- Institute of Transportation Engineers - Transportation and Land Development
- U.S. Dept. of Transportation Federal Highway Administration Manual on Uniform Traffic Control Devices for Street and Highways & CA Supplements
- California Vehicle Code
- Santa Clara County Congestion Management Program and Technical Guidelines
- Santa Clara County Transportation Agency Short Range Transit Plan
- Santa Clara County Transportation Plan
- Traffic Volume Studies, City of Sunnyvale Public works Department of Traffic Engineering Division

- Statewide Integrated Traffic Records System
- Sunnyvale Zoning Ordinance – including Titles 10 & 13
- City of Sunnyvale General Plan – land Use and Transportation Element
- City of Sunnyvale Bicycle Plan
- City of Sunnyvale Neighborhood Traffic Calming Program
- Valley Transportation Authority Bicycle Technical Guidelines
- Valley Transportation Authority Community Design & Transportation – Manual of Best Practices for Integrating Transportation and Land Use
- Santa Clara County Sub-Regional Deficiency Plan
- City of Sunnyvale Deficiency Plan
- AASHTO: A Policy on Geometric Design of Highways and Streets

Public Works:

- Standard Specifications and Details of the Department of Public Works
- Storm Drain Master Plan
- Sanitary Sewer Master Plan
- Water Master Plan
- Solid Waste Management Plan of Santa Clara County
- Geotechnical Investigation Reports
- Engineering Division Project Files
- Subdivision and Parcel Map Files

Miscellaneous Agency Plans:

- ABAG Projections 2013
- Bay Area Clean Air Plan
- BAAQMD CEQA Guidelines 1999 Thresholds

Building Safety:

- California Building Code,
- California Energy Code
- California Plumbing Code,
- California Mechanical Code,
- California Electrical Code
- California Fire Code
- Title 16.52 Sunnyvale Municipal Code
- Title 16.53 Sunnyvale Municipal Code
- Title 16.54 Sunnyvale Municipal Code
- Title 19 California Code of Regulations
- National Fire Protection Association (NFPA) standards

OTHER :

Project Specific Information

- Project Description
- Sunnyvale Project Environmental Information Form
- Project Development Plans dated 8/22/14
- Project Noise Study by Charles M. Salter Associates, Inc., dated 3/03/14
- Project Construction Schedule
- Project Draft Storm Water Management Plan (in project plans)
- Project Tree Inventory by Barrie D. Coate and Associates, dated 1/21/14
- Project Tree Preservation Plan (in project plans)
- Project Green Building Checklist

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUNNYVALE AMENDING THE PRECISE ZONING PLAN, ZONING DISTRICTS MAP, TO REZONE CERTAIN PROPERTY LOCATED AT 1071 NORIEGA AVENUE FROM MEDIUM DENSITY RESIDENTIAL (R-3) TO MEDIUM DENSITY RESIDENTIAL/ PLANNED DEVELOPMENT (R-3/PD)

THE CITY COUNCIL OF THE CITY OF SUNNYVALE DOES ORDAIN AS FOLLOWS:

SECTION 1. AMENDMENT OF PRECISE ZONING PLAN. The Precise Zoning Plan, Zoning Districts Map, City of Sunnyvale (Section 19.16.050 of the Sunnyvale Municipal Code) hereby is amended in order to include certain property located at 1071 Noriega Avenue within the R-3/PD (Medium Density Residential/Planned Development) Zoning District, which property is presently zoned R-3 (Medium Density Residential) Zoning District. The location of the property is set forth on the scale drawing attached as Exhibit A.

SECTION 2. CEQA-MITIGATED NEGATIVE DECLARATION. The City Council hereby determines that the Mitigated Negative Declaration prepared for this ordinance has been completed in compliance with the requirements of the California Environmental Quality Act (CEQA) and reflects the independent judgment of the City, and finds that adoption of the ordinance will have no significant negative impact on the area's resources, cumulative or otherwise.

SECTION 3. EFFECTIVE DATE. This ordinance shall be in full force and effect thirty (30) days from and after the date of its adoption.

SECTION 4. PUBLICATION. The City Clerk is directed to cause copies of this ordinance to be posted in three (3) prominent places in the City of Sunnyvale and to cause publication once in The Sun, the official newspaper for publication of legal notices of the City of Sunnyvale, of a notice setting forth the date of adoption, the title of this ordinance, and a list of places where copies of this ordinance are posted, within fifteen (15) days after adoption of this ordinance.

Introduced at a regular meeting of the City Council held on _____, and
adopted as an ordinance of the City of Sunnyvale at a regular meeting of the City Council held
on _____, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSAL:

ATTEST:

APPROVED:

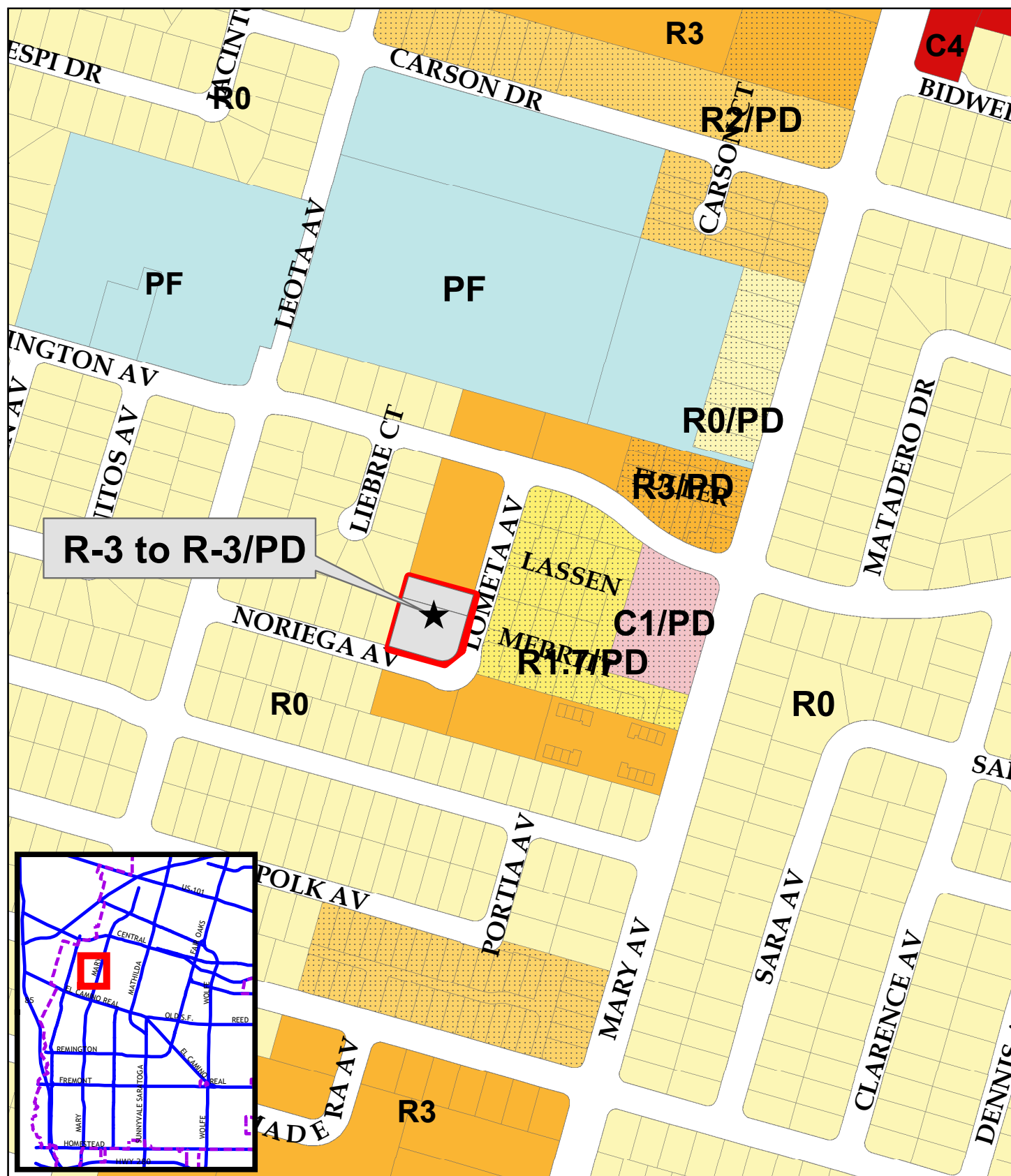
City Clerk
Date of Attestation: _____

Mayor

(SEAL)

APPROVED AS TO FORM:

City Attorney



1071 Noriega Avenue (APN: 161-37-017, -018)
 Rezone the site from R-3 (Medium Density Residential)
 to R-3/PD (Medium Density Residential/Planned Development)

0 80 160 320 Feet



EXCERPT

Planning Commission

Meeting Minutes - Final

3 [14-0816](#) **File #:** 2014-7423
Location: 1071 Noriega Ave. (APNs: 161-37-017, 161-37-018)
Proposed Project: Related applications on a 0.48-acre site:
REZONE: Introduction of an Ordinance to rezone the site from R-3 (Medium Density Residential) to R-3/PD (Medium Density Residential/Planned Development);
SPECIAL DEVELOPMENT PERMIT: for 10 residential townhome units; and
VESTING TENTATIVE MAP: to subdivide two lots into 10 lots plus a common lot.
Applicant / Owner: Classic Communities (applicant) / Classic 1071 Noriega LP (owner)
Environmental Review: Mitigated Negative Declaration
Project Planner: Rosemarie Zulueta, (408) 730-7437, rzulueta@sunnyvale.ca.gov

Rosemarie Zulueta, Associate Planner, presented the staff report.

Comm. Klein and Ms. Zulueta discussed the applicant's response to, and the staff opinion on, including a centralized trash enclosure in the design of the site. Comm. Klein verified with Ms. Zulueta that complaints have not been made by residents living in projects with multiple trash carts with an on-street staging area, and discussed the staff opinion regarding allowing the requested deviation for distance between buildings.

Comm. Simons discussed with Ms. Zulueta where the trash carts would be placed on the street, and confirmed that parking would be allowed in the trash collection area. Comm. Simons stated that it would be more logical to prohibit parking in that area, to which Ms. Ryan responded that the Solid Waste Division is aware of these concerns.

Comm. Rheume inquired about the proposed tree removal in the rear setback, to which Ms. Ryan replied that the applicant could better answer that question.

Comm. Durham and Ms. Ryan discussed what parking is like in the evenings, and confirmed with Ms. Zulueta that eleven is the maximum number of units allowed in the R-3 zoning designation for this size of project site.

Chair Melton noted that he is also struggling with the placement of trash carts, and confirmed with Ms. Zulueta that this item will be heard by City Council on November 11. Chair Melton also confirmed with Ms. Zulueta that the separation between the duets was created to split up the bulk of it, which created the need for a deviation.

EXCERPT

Planning Commission

Meeting Minutes - Final

Chair Melton opened the public hearing.

Jim Pollart, with Classic Communities, presented information on the proposed project and addressed the Commissioners' concerns.

Chair Melton closed the public hearing.

Comm. Simons moved to recommend to City Council Alternative 2 to adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit for 10 residential townhome units and Vesting Tentative Map to subdivide two lots into 10 lots plus a common lot with modified conditions:

- 1) Prohibit parking on the section of the street planned for trash containers on the day of trash collection.

Comm. Harrison seconded.

Comm. Simons said that the problems with this project are minor and with regard to trash collection, it is one of these things where there may be too many cars on the street and he likes to see things nicely fixed for the future. He said he appreciates the improvements in the detail and that oftentimes plans are so generic you cannot tell if the architectural improvements are there or whether the project will be extremely limited in architectural amenities. He added that he can make the findings, and that he enjoys finding out that we have caused problems when trying to improve them, as with the changes that were made to reduce the bulk of the building.

Comm. Harrison said she can make the findings and appreciates the applicant handling the neighbors' concerns and showing them visually how the setback will be less impactful on them. She said she also appreciates the project meeting policy LT-3.2 which encourages home ownership options, which is being proposed in a neighborhood that is close to transit, schools and shopping.

Comm. Klein said he will be reluctantly supporting the motion, and that the garbage enclosure issue is somewhat resolved with the added modification but that staff has noted that this has not been done before and research needs to be completed before implementing this plan. He said he was taken aback by the number of deviations requested, and that the reasoning for a lot of them goes back to the reduction from eleven units to ten and not wanting to reduce the project further. He said that now there are ten much larger ownership units created to reduce mass,

EXCERPT

Planning Commission

Meeting Minutes - Final

which is a goal of the Design Guidelines, and that if Variances result from reducing mass they should try to be removed. He said that while he has issues with some of the reasoning in the staff report, he generally likes the design and details that have been added since the study session, and that the lack of neighbors in attendance is not a touchstone for how the neighborhood will ultimately feel about this project. He said that he is happy that the developer worked on the privacy issue and that it is clearer to the neighbors, and that he hopes the trash enclosure issue is resolved going forward. He added that the design details, architecture and colors are nice additions, and he looks forward to the project moving forward.

Comm. Durham said he will be supporting the motion, and that the staff report notes that there are currently no Citywide policies to limit on-street parking on residential streets during trash and recycling pick-up days, and that the issue may not fly once it gets through to the next stage. He said the building and construction fits in well and will be an improvement to the neighborhood, and that it will work well with the zero lot line construction to the immediate east. He added that it would have been nice to cut back one unit but that a problem with reducing the size of these buildings is the size of storage for cars. He said 80% of the ground floor of three-story units on Lometa is designated to car parking and that if you can reduce that you can reduce the whole unit.

Comm. Rheume said he will be supporting motion, that he likes the design and can make the findings. He said he likes the fact that the applicant worked with the neighbors on reducing the setback abutting the single-family homes on Noriega. He said he struggles with making the assumption that when a neighbor spoke at the study session she was okay with taking out the trees in the rear. Comm. Rheume offered a friendly amendment to preserve the trees in the rear behind the two duets.

Comm. Simons asked if he could modify the amendment to have the applicant work with the City Arborist to evaluate the condition of the trees, to which Comm. Rheume agreed.

Comms. Simons and Harrison accepted the friendly amendment.

Ms. Ryan interjected that the applicant's arborist report notes that the trees are small, young and in excellent condition. Comm. Simons said he would still like to recommend this condition because the City arborist is an independent arbiter with no economic involvement.

Chair Melton said he will be supporting the motion and that we are doing a good job

EXCERPT

Planning Commission

Meeting Minutes - Final

to provide City Council with a solid recommendation. He said he can make the findings and that the project will be a nice addition to, and a good capital injection into, the neighborhood. He said he appreciates that the applicant has proposed a nice-looking development with sumptuous detail and rich, visually-appealing colors, and that it will work well with the existing neighborhood. He said he also appreciates that the applicant did a good job protecting the privacy of the neighbors and single-family residences, and said that Comm. Simons has come up with a good idea for City Council to consider regarding trash collection on the street.

MOTION: Comm. Simons moved to recommend to City Council Alternative 2 to adopt the Mitigated Negative Declaration; introduce the ordinance in Attachment 8 to Rezone 1071 Noriega Ave. (APNs: 161-37-017 and 161-37-018) from R-3 to R-3/PD; and approve the Special Development Permit for 10 residential townhome units and Vesting Tentative Map to subdivide two lots into 10 lots plus a common lot with modified conditions:

- 1) Prohibit parking on the section of the street planned for trash containers on the day of trash collection; and
- 2) Applicant works with the City Arborist to evaluate the condition of the two trees at the rear of the site.

Comm. Harrison seconded. The motion carried by the following vote:

Yes: 6 - Chair Melton
Commissioner Durham
Commissioner Harrison
Commissioner Klein
Commissioner Rheume
Commissioner Simons

No: 0

Absent: 1 - Vice Chair Olevson

PHOTOS OF TREES IN WEST (REAR) YARD



Figure 1 Cedar Tree

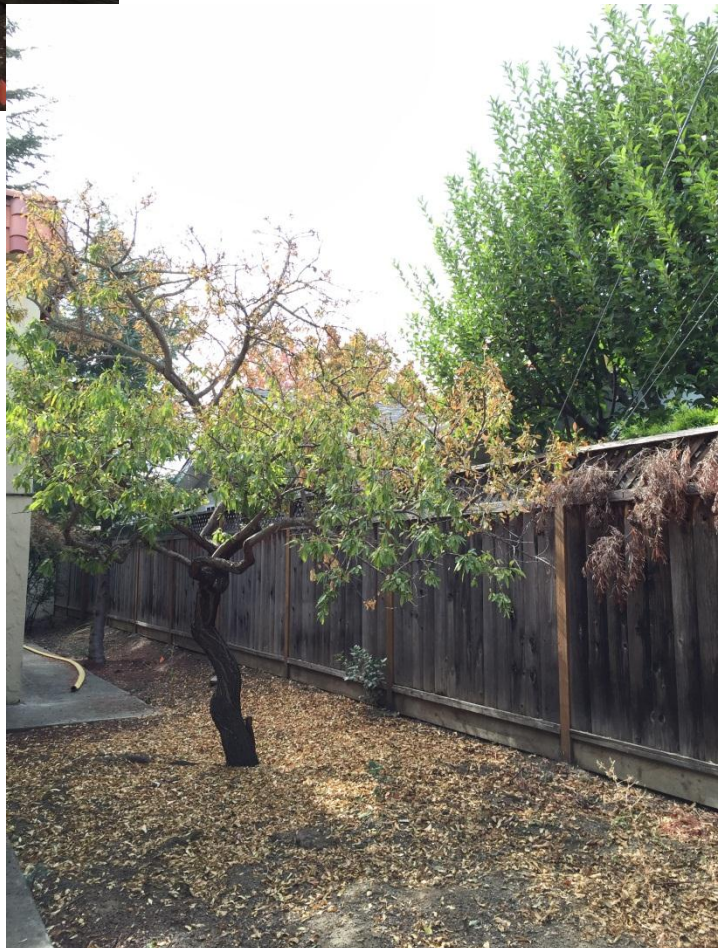


Figure 2 Almond Tree



City of Sunnyvale

Agenda Item

14-0818

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Examine Ways to Increase Local Hiring in Major Private Developments (Study Issue)

BACKGROUND

At the February 7, 2014 Study/Budget Issues Workshop, Council prioritized a study issue to examine opportunities to encourage hiring of local residents for major private development projects (Attachment 1). The study described local residents as those living in Santa Clara County. The study was prompted by information indicating that some developers may be making heavy use of out-of-state workers, and/or housing out-of-state workers at unfinished project sites.

Staff advised Council that while the general concept behind “local hiring” programs and policies may seem simple and straightforward, it is a complex issue and a comprehensive study of related economic, land use, and social factors would be a significant and time-intensive undertaking. Staff further indicated that while it could certainly pursue such a study, neither NOVA nor the Office of Economic Development was in a position to do so this year within the current workload. A comprehensive analysis of a program seeking to *require* local hiring in major private developments would need to address at least the following:

- The legal parameters associated with promoting local hiring on private developments.
- The type of projects that would qualify for the local hiring requirement. The requirement could be based on the amount of public funds provided or the size of the project.
- Specific requirements in terms of the number or percentage of a developer’s workforce that would need to be “local”? What part of the workforce would be impacted?
- Potential programs to ensure the availability of a local workforce (i.e., jobs training programs).
- Requirements for substantiating local hiring - how would a developer or contractor prove it was in compliance? How will the City monitor/regulate these development activities to ensure compliance?
- Processes for monitoring compliance - how would staff ensure continuous compliance given terminations and new hires?
- Consideration of penalties and sanctions for non-compliance.
- Analysis of types of local hiring programs and related land use policies that surface, along with potential consideration of the City’s development impact fees (e.g., park/open space, affordable housing, transportation, etc.) to ensure that the City continues to strike a balance with respect to managing development while ensuring competitive fees.
- Potential impacts of requiring a local hiring component on federal or state-funded projects.
- Potential impacts on the local economy (i.e., impact to local business and development).
- One-time costs for developing and launching such a program.
- Ongoing costs for managing, monitoring and enforcing such a program.

As a result, the scope of this study was limited to and focused on “finding some simple, practical steps that the City can take to emphasize with developers that local hiring matters and would be appreciated.”

Attachment 2 depicts a local hiring policy spectrum the City could pursue to address the issue of local hiring programs, ranging from the relatively simple steps associated with encouraging local hiring (the focus of this study), to the more complex analysis and actions associated with imposing mandatory program requirements.

This report provides Council with general information regarding efficient and practical actions the City could take to encourage contractors and developers to hire local workers for major private development projects.

EXISTING POLICY

Council Policy 1.1.5 *Jobs/Housing Imbalance*: Views the severe jobs-housing shortage and imbalance as endemic to all county cities and recognizes that it must be addressed through mutual cooperation and goal setting.

ENVIRONMENTAL REVIEW

N/A

DISCUSSION

Local hiring programs are generally directed at major development projects that receive public funds, and target a percentage of jobs created (temporary construction jobs and/or permanent jobs associated with the development of new business) towards local residents to ensure that those residents benefit from the economic development activities occurring in their community. The requirements for major private developments are typically applied only when the infusion of public dollars exceeds an established minimum threshold. If a city provides financial incentives for a major private development, those incentives may also include a local hiring requirement.

Encouraging Local Hiring

In keeping to the limited scope of this study, staff focused on potential actions the City could take immediately that are efficient and practical and would not require additional significant resources to implement. As an example, one resource that staff identified is the current industry-specific services provided by NOVA, which could be easily tailored to construction-specific jobs. NOVA is a nonprofit, federally-funded employment and training agency that provides customer-focused workforce development services. They work closely with businesses, educators, and job seekers to provide opportunities that build the knowledge, skills and attitudes necessary to address the workforce needs of Silicon Valley. NOVA is directed by the NOVA Workforce Board <<http://www.novaworks.org/AboutUs/NOVABoard.aspx>> which works on behalf of a seven-city consortium composed of Cupertino, Los Altos, Milpitas, Mountain View, Palo Alto, Santa Clara and Sunnyvale. This approach would help to facilitate Council's objective to see local hiring in private development by providing information and resources to developers and contractors regarding construction-related jobs.

Staff is proposing that the City link currently available resources regarding workforce preparation and recruiting channels for the local construction workforce. Depending on the size of the project,

applicable resources may include the NOVA Job Center, NOVA's Job Board, San Jose's Work2Future, local apprenticeship programs, community colleges, nonprofit organizations, and recruiting firms. Information on how to access the workforce entities as well as state and federal tax credits and wage subsidy programs would be made available to developers and contractors.

Additionally, the City could implement actions to encourage developers and contractors to place a priority on hiring local residents, including, but not limited to:

- Regularly offering meetings to educate developers and contractors about NOVA's services regarding construction-related employment. NOVA could develop and post a regular schedule several months ahead so that developers working their way through the entitlement process are aware of the services.
- Offering a main point of contact at NOVA for assistance with identifying local workers for construction-related jobs.
- Creating a one-page information sheet regarding resources and information about the local workforce and making it available, among other places, at the City's One-Stop Center.
- Educating City staff involved in the development process on the City's new direction on encouraging local hiring and to provide information regarding NOVA's services to applicants of major private development projects.

FISCAL IMPACT

There are no financial impacts associated with this report or staff's recommendation.

PUBLIC CONTACT

Staff did not perform any business or community engagement as the focus of the study was very limited to referral and awareness, and the proposed actions do not have a major impact on the business community. If Council chooses to direct staff to create a robust local hiring program, significant community engagement will need to be accomplished. Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

ALTERNATIVES

1. Direct staff to develop and implement the actions, as presented in this report, to *Encourage Local Hiring* by developers/contractors for local projects.
2. Direct staff to maintain the status quo and not pursue additional actions related to encouraging local hiring by developers/contractors for local projects.
3. Alternative actions, as directed by Council.

STAFF RECOMMENDATION

Alternative 1: Direct staff to develop and implement the actions, as presented in this report, to *Encourage Local Hiring* by developers and contractors for local projects.

Staff believes this alternative and its related actions will represent a positive step toward raising the awareness of private developers and contractors with regard to the importance of local hiring.

Prepared by: Connie Verceles, Economic Development Manager
Reviewed by: Robert A. Walker, Assistant City Manager
Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Study Issue NOVA 14-01, Examine Ways to Increase Local Hiring in Major Developments
2. Local Hiring Policy Spectrum

2014 Council Study Issue

NOVA 14-01

Examine ways to increase local hiring in major developments

Lead Department NOVA Workforce Services Department

Sponsor(s) Griffith, Spitaleri

History 1 year ago: n/a 2 years ago: n/a

1. **Scope of the Study**

a. What are the key elements of the study?

The primary goal of the study would be to explore opportunities to increase local (within Santa Clara County) hiring in major private developments.

The study would evaluate and make recommendations on a variety of factors and approaches that could support this goal including:

How to emphasize to developers that this issue is important to the City;

How to interest the developers of these projects in emphasizing local employment;

Surveying other local jurisdictions to see if any have come up with a pragmatic solution to further this goal;

Outreach to Unions, Developers, and NOVA or other workforce programs.

b. What precipitated this study?

Concerns have been raised that, according to anecdotal information, some developers may be making heavy use of out-of-state labor and perhaps housing laborers in unfinished projects.

c. Is this a multiple year project? No Planned Completion Year 2014

2. **Fiscal Impact**a. Cost to Conduct Study

i. Level of staff effort required (opportunity cost)

☐ Major ☐ Moderate ☒ Minor

ii. Amount of funding above current budget required \$

☐ Will seek budget supplement ☐ Will seek grant funding

iii. Explanation of Cost:

Staff time

b. Costs to Implement Study Results

☐ No cost to implement.

☒ Unknown. Study would include assessment of potential costs.

☐ Some cost to implement. Explanation:


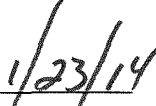
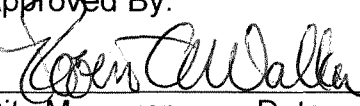
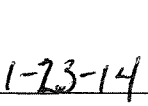
3. **Expected participation in the process**

- ☐ Council-approved work plan
- ☐ Council Study Session
- ☐ Board/Commission Review by

4. **Staff Recommendation**

a. Position: Support

b. Explanation: Staff recommend supporting this study issue assuming it is kept limited and focused on finding some simple, practical steps that the City can take to emphasize with developers that local hiring matters and would be appreciated.

Reviewed By:		Approved By:	
			
Department Director	Date	City Manager	Date

LOCAL HIRING POLICY SPECTRUM (Private & Public Development)



CITY RESOURCE NEEDS (OPERATIONAL, REGULATORY, LEGAL, ETC)*

*Each policy requires a different level of resources. This spectrum is an example of local hiring programs, but is not inclusive of all policy options available to Council. The diagram is to illustrate the various policy options and each column beginning from #1 is illustrated assuming that the next column is cumulative.



City of Sunnyvale

Agenda Item

14-1059

Agenda Date: 11/11/2014

REPORT TO COUNCIL

SUBJECT

Adopt a Resolution Declaring City-Owned Residential Properties and Vacant Lots on Charles Street and Mathilda Avenue as Surplus Property and Authorizing for Sale the Subject Properties in Compliance with Government Code Section 54222

BACKGROUND

The City Council reviewed Report to Council 14-0753 on October 14, 2014 (Attachment 1). At that time Council held a public hearing, received public testimony, and tabled the item with no action. Council did request that staff provide more information on alternatives including the possibility of assembling additional properties before considering whether City-owned properties should be declared surplus property. City Council has scheduled a closed session on November 11, 2014 to discuss the potential purchase of properties located at: 396 and 402 Charles Street; and 397 and 403 Mathilda Avenue, Sunnyvale.

All pertinent information related to the proposed resolution declaring City-owned properties as surplus (Attachment 2) is contained in Attachment 1, the previous RTC.

STAFF RECOMMENDATION

Adopt a resolution declaring the City-owned properties located within Block 15 as surplus property for sale, and begin the public notice process as per Government Code section 54222; if any agencies offer to purchase the properties, begin good faith negotiations and return to Council for consideration; and, proceed with sale of the properties in the open market via a Request for Proposal process if no agencies respond to the offer for sale or price and terms cannot be agreed upon; work with MTC regarding the Priority Development Area grant to help facilitate the sale and return to Council for consideration with viable offers to purchase.

Prepared by: Kent Steffens, Assistant City Manager

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. RTC 14-0753

2. Resolution declaring six residential parcels of City-owned property as surplus property, and authorizing sale of the property in compliance with Government Code Sections 54220, et seq.



City of Sunnyvale

Agenda Item

14-0753

Agenda Date: 10/14/2014

REPORT TO COUNCIL

SUBJECT

Adopt a Resolution Declaring City-Owned Residential Properties and Vacant Lots on Charles and Mathilda Avenue as Surplus Property and Authorizing for Sale the Subject Properties in Compliance with Government Code Section 54222

BACKGROUND

The City owns six residential parcels in the downtown area located in "Block 15" of the Downtown Specific Plan (DSP). Block 15 is bounded by Iowa, Charles, McKinley and Mathilda Avenues. Attachment 1 is an aerial map of Block 15 and outlines parcels owned by the City. The six parcels are made up of three single-family homes located on Charles Avenue, and one duplex and two vacant parcels fronting Mathilda Avenue. Most of the homes are over 55 years old and are generally in fair condition.

In June 2013, a study session was held to provide the City Council with an overview of City-owned properties and those with potential for reuse. The Block 15 City-owned parcels were discussed and Council expressed interest in pursuing redevelopment of this area as planned.

Property locations and descriptions are as follows:

ADDRESS	DESCRIPTION	LOT SIZE	TYPE
344 Charles Avenue	2Bedroom/1Bath	6,250	Single family home
388 Charles Avenue	2Bedroom/1Bath	6,500	Single family home
406 Charles Avenue	3Bedroom/1Bath	6,500	Single family home
365 Mathilda Avenue	Unimproved Lot	5,000	Vacant lot
377/379 Mathilda Avenue	2 Bedroom/1Bath	5,000	Duplex
407 Mathilda Avenue	Unimproved Lot	3,200	Excess roadway

Over several years the City purchased these properties to help assemble land to facilitate redevelopment of low density commercial and residential uses to higher density multi-family/commercial mixed use, as envisioned in the DSP for this area. The subject properties were purchased by the General Fund for a purchase price totaling \$1.4 million for all properties with the last parcel being acquired in the late 1990s. In June 2006, the property located at 388 Charles Avenue was sold to the City's Housing Mitigation Fund with the proceeds going back to the General Fund.

The housing units have been leased to individual tenants on a month-to-month basis until implementation of the intended use for downtown redevelopment could be realized. On February 22, 2014, City Council approved a relocation assistance package for tenants of City-owned properties

required to relocate to be based on need for assistance.

EXISTING POLICY

Council Policy 1.2.7 Acquisition, Leasing and Disposition of City-Owned Real Property

Section 3: Disposing of surplus property shall be done in a manner to maximize the benefit to the community and should be done whenever real estate market conditions are favorable to the City.

Section 3.E: Costs associated with the disposition of property shall come from proceeds of the sale or charged to the fund which owns the property. Unless otherwise directed by the City Council, net proceeds from disposition of surplus property owned by the General Fund shall be placed into the General Fund Reserve for Capital Improvements. Proceeds from the sale of land or facilities originally purchased with monies from a specific fund shall be returned to that fund, except when a fund no longer exists, it will be at the direction of City Council.

ENVIRONMENTAL REVIEW

CEQA review is not required for declaring City-owned real property as surplus property for sale as it does not constitute a project within the meaning of the CEQA.

DISCUSSION

The real estate market for new development in Sunnyvale is very active and current market conditions are positive for the sale of these properties. The estimated combined value of the six City-owned properties in Block 15 is estimated at \$3.5 million. Real property values continue to gradually rise with median prices in Sunnyvale increasing by almost 10 percent since March 2014. If a sale were to occur now, the benefit would be a viable project for approximately one half of the Block 15 Area.

The City has been contacted by residential developers expressing interest in purchasing the City-owned properties with the intent to redevelop the land into a mixed-use project consistent with the DSP. The owners of four other parcels located between the City parcels have also indicated their willingness to sell.

Grant Funding to Facilitate Sale of Block 15 Properties

Sunnyvale has been awarded a Priority Development Area service grant from the Metropolitan Transportation Commission (MTC) valued at \$58,000 to help facilitate sale of the Block 15 City-owned properties. The program provides professional consulting assistance for specific planning projects related to MTC-designated Priority Development Areas. The grant will provide customized technical assistance with policy and/or planning challenges in assimilating the City-owned properties for surplus and will assist staff in facilitating completion of the sale to realize redevelopment of Block 15. This would include obtaining appraisal valuations of properties, professional expertise in the sale and transfer of public property, marketing, as well as help with the Request for Proposal process should the properties be sold on the open market.

The Metropolitan Transportation Commission retains a "bench" of consulting firms and allocates a budget to the firms to perform services for local government agencies for the specified project. Payments to the consultants are made directly by the MTC, resulting in a streamlined implementation process. City staff would participate in the consultant selection process.

Surplus Property for Sale to Public Agencies as per Government Code 54222

To pursue this option, in line with Council Policy 1.2.7, Council would need to declare, by resolution (Attachment 2), that the Block 15 City-owned parcels are surplus property for sale, and staff would then begin the public notice process, per Government Code 54222, to offer them for sale to affordable housing agencies, school districts within the properties' jurisdiction, and for open space and/or recreation.

Tenants Currently Occupying the Block 15 City-owned Properties

Residents currently residing in the subject properties were personally contacted and informed of tonight's possible action by Council to declare the properties surplus for sale. If the Council approves the resolution declaring the properties as surplus, staff would begin working with the current tenants on relocation plans.

FISCAL IMPACT

Five of the properties reside in the General Fund and the sixth property (388 Charles Ave) resides in the Housing Mitigation Fund. In the twenty year financial plans, both funds anticipate the sale of these properties to occur in FY 2016/17. Proceeds from the sale of the General Fund properties shall be reserved in the General Fund Capital Improvement Projects Reserve for use on future capital projects consistent with Council Policy 1.2.7. Proceeds from the sale of the Housing Mitigation Fund property will be reserved and subsequently used to fund affordable housing projects as appropriate. Because the budget anticipates the sale of these properties in FY 2016/17, rental revenue has been budgeted through FY 2015/16. Completing the sale will reduce rental income slightly earlier than planned and will also reduce operating costs for property management and repairs. Longer term redevelopment of the property will result in higher property tax revenues to the City.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

In compliance with Council Policy 1.2.7, residents and property owners within 1,000 foot radius of Block 15 were noticed 10 days in advance informing them of tonight's public hearing on this item.

Additionally, current residents of the City-owned properties in Block 15 were personally contacted and informed of tonight's hearing.

ALTERNATIVES

1. Adopt a resolution declaring the City-owned properties located within Block 15 as surplus property for sale, and begin the public notice process as per Government Code section 54222; if any agencies offer to purchase the properties, begin good faith negotiations and return to Council for consideration.
2. Proceed with the sale of the properties on the open market via a Request for Proposal process if no agencies respond to the offer for sale or price and terms cannot be agreed upon; work with the MTC regarding the Priority Development Area grant to help facilitate the sale and return to Council for consideration with viable offers to purchase the properties.
3. Adopt a resolution declaring the subject City-owned properties within Block 15 as surplus, and proceed with disposition of the properties as directed by Council
4. Do not declare the subject City-owned properties within Block 15 as surplus property and proceed

as otherwise directed by Council

STAFF RECOMMENDATION

Alternatives 1 and 2: 1) Adopt a resolution declaring the City-owned properties located within Block 15 as surplus property for sale, and begin the public notice process as per Government Code section 54222; if any agencies offer to purchase the properties, begin good faith negotiations and return to Council for consideration; and 2) Proceed with the sale of the properties on the open market via a Request for Proposal process if no agencies respond to the offer for sale or price and terms cannot be agreed upon; work with the MTC regarding the Priority Development Area grant to help facilitate the sale and return to Council for consideration with viable offers to purchase the properties.

Selling these parcels will help the City realize its goals for downtown redevelopment as envisioned in the City's Downtown Specific Plan. Market conditions are currently favorable for a sale and the bulk of revenues from the sale will be placed in the General Fund Capital Improvement Projects Reserve for much needed capital improvements.

Prepared by: Christina Uribe, Acting City Property Administrator

Reviewed by: Kent Steffens, Director of Public Works

Reviewed by: Grace K. Leung, Director of Finance

Reviewed by: Hanson Hom, Director of Community Development

Reviewed by: Robert A. Walker, Assistant City Manager

Approved by: Deanna J. Santana, City Manager

ATTACHMENTS

1. Aerial Map of City-Owned Properties in Block 15
2. Resolution declaring six residential parcels of City-owned property as surplus property, and authorizing sale of the property in compliance with government code sections 54220, et seq.

ATTACHMENT 1



344

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388

377 - 379

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CHARLES

MATHILDA

IOWA

RESOLUTION NO. ____-14

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF SUNNYVALE DECLARING SIX RESIDENTIAL
PARCELS OF CITY-OWNED PROPERTY AS SURPLUS
PROPERTY, AND AUTHORIZING SALE OF THE
PROPERTY IN COMPLIANCE WITH GOVERNMENT
CODE SECTIONS 54220, *ET SEQ.***

WHEREAS, Council Policy 1.2.7 authorizes the City Council to declare City-owned real property as surplus property and to direct the sale of such property in compliance with the requirements of Government Code Sections 54220 *et seq.*; and

WHEREAS, the City of Sunnyvale ("City") owns six residential parcels of property in the Downtown Specific Plan area, as more particularly described below, that are no longer needed for municipal purposes; and

WHEREAS, the sale of these City parcels in accordance with the Council Policy will result in significant public benefits including revenues from the sale, return of the properties to the property tax rolls, and relief of any maintenance responsibilities by the City; and

WHEREAS, the sale of these properties shall be in accordance with Council Policy 1.2.7 and Government Code Sections 54220, *et seq.*

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SUNNYVALE THAT:

1. The parcels listed below are no longer needed for municipal purposes, and are hereby declared surplus:

344 Charles Avenue	APN# 165-13-049
388 Charles Avenue	APN# 165-13-074
406 Charles Avenue	APN# 165-13-073
365 Mathilda Avenue	APN# 165-13-074
377/379 Mathilda Avenue	APN# 165-13-074
407 Mathilda Avenue	APN# 165-13-070

2. The public interest will be served by the sale of these surplus properties. The City Manager or designee is authorized to take such steps as necessary to proceed with the sale of such properties, and to execute any implementing documents in accordance with Council Policy 1.2.7, and Government Code Sections 54220, *et seq.*

3. This Resolution shall take effect immediately upon its adoption.

Adopted by the City Council at a regular meeting held on _____, 2014, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSAL:

ATTEST:

APPROVED:

City Clerk
(SEAL)

Mayor

City Attorney



City of Sunnyvale

Agenda Item

14-0281

Agenda Date: 11/11/2014

Tentative Council Meeting Agenda Calendar



City of Sunnyvale

Tentative Council Meeting Agenda Calendar

Tuesday, November 25, 2014 - City Council

Study Session

- 14-0478** 6 P.M. SPECIAL COUNCIL MEETING (Study Session)
Discussion of Council 2015 Intergovernmental Relations Assignments

Public Hearings/General Business

- 14-0061** Approve a New Section of the Council Policy Manual to Hold Policies Relating to Council Support and Processes, Including a Reorganization of Existing Council Policies 7.3.2; 7.3.12; 7.3.13, and 7.3.28
- 14-0287** Introduce an Ordinance to Amend Title 19 (Zoning) Regarding the Appeal Process for Land Use Projects (Study Issue, CDD 14-15); Repeal Council Policy 1.1.4 on Appeals; and make a Finding that the Proposed Project is Exempt from the Requirements of the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines 15061(b)(3)
(Planning File: 2014-7434)
- 14-0917** Approval of a Work Plan to Achieve the 2020 Greenhouse Gas Reduction Targets in the Adopted Climate Action Plan and Budget Modification No. 22
- 14-0993** Amend the Salary Table of the Salary Resolution and the Classification Plan to Add the Newly Established Classifications of Principal Network Engineer, Principal Design and Construction Operator, and Water Pollution Control Plant (WPCP) Control Systems Integrator.
- 14-1051** Approve Budget Modification No. 25 to Appropriate \$300,000 to Capital Project 830560 Fremont Pool House Infrastructure Improvements, Approve "Fourth Amendment to Use Agreement Between City of Sunnyvale and Fremont Union High School District for the Development and Operation of a 50 Meter Swimming Pool and Related Facilities at Fremont High School"
- 14-1054** Amend the Salary Table of the Salary Resolution to Add the Newly Established Classification of Part Time Meter Reader and to Increase the Pay Range of the Golf Operations Manager Classification.

Tuesday, December 9, 2014 - City Council

Closed Session

- 14-0495** 6 P.M. SPECIAL COUNCIL MEETING (Closed Session)

Closed Session held pursuant to California Government Code Section
54957: PUBLIC EMPLOYEE PERFORMANCE EVALUATION
Title: City Manager

Special Order of the Day

14-0950 SPECIAL ORDER OF THE DAY - Recognition of Sunnyvale Library
Centennial

Public Hearings/General Business

14-0673 Consideration of Housing Mitigation Fee Nexus Study Findings and
Alternatives

14-0953 Receive and File the FY 2013/14 Budgetary Year-End Financial Report,
Comprehensive Annual Financial Report, and Sunnyvale Financing
Authority Financial Report; and Approve Budget Modification No. X

14-1003 Update to the Status of Department of Public Safety Recruitment and
Staffing and Approval of Budget Modification No. 26

14-1007 Introduce Ordinances Amending Municipal Code Chapters 2.08 to
Increase the City Manager's Bid Rejection Threshold and 2.09 to Comply
with New State Law for the Payment of Prevailing Wages for Infrastructure
Work

14-1076 2014 4th Quarterly Consideration of GENERAL PLAN AMENDMENT
INITIATION - ACCELERATED PROCESS
REQUEST
File #: 2014-7958
Location: 690 E. Arques Avenue (APN: 201-31-005)
Proposed Project: Request to study a General Plan Land Use
Designation change from Industrial to Residential High Density or other
designation that would accommodate an elementary school. This Study
may include other properties in the vicinity and evaluate other General
Plan designations.
Applicant / Owner: Summit Public Schools

Tuesday, December 16, 2014 - City Council

Closed Session

14-0497 6 P.M. SPECIAL COUNCIL MEETING (Closed Session)
Closed Session held pursuant to California Government Code Section
54957: PUBLIC EMPLOYEE PERFORMANCE EVALUATION
Title: City Attorney

Study Session

14-0627 5:45 P.M. SPECIAL COUNCIL MEETING (Study Session)
Discussion of Upcoming Selection of 2015 Vice Mayor

Public Hearings/General Business

- 14-0286** Introduce an ordinance to amend the Title 19 (Zoning) to include floor area ratio threshold standards for multi-family residential zoned property; Approve amendments to the City-wide Design Guidelines to include design techniques for multi-family residential projects that exceed the floor area ratio threshold; and make a finding that the proposed project is exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines 15061(b)(3). (Study Issue)
- 14-0594** Approval of an Agreement with the Santa Clara Valley Water District (SCVWD) Regarding Funding of California Environmental Quality Act (CEQA) Review and Design Costs to Retain a Membrane Bioreactor (MBR) Option at the Water Pollution Control Plant, Approval of an Amendment to an Existing Engineering Design Contract with Carollo Engineers for Additional Services Related to Recycled Water Production and to Increase the Total Contract Value, and Approval of Budget Modification No. _____ to provide additional funding for the project.
- 14-0790** General Plan Amendment: Adoption of 2015-2023 Housing Element and Negative Declaration

Tuesday, January 6, 2015 - City Council

Public Hearings/General Business

- 15-0001** Selection of Vice Mayor for 2015
- 15-0002** Approval of 2015 City Council Meeting Calendar
- 15-0003** Annual Public Hearing - Potential Council Study Issues and Budget Issues
- 15-0004** City Council 2015 Appointments to Intergovernmental and Internal Assignments, Council Subcommittees, and Community Member Appointments
- 15-0005** 2015 Seating Arrangements for City Council
- 15-0008** Approve the Proposed 2015 Priority Issues and Legislative Advocacy Positions

Tuesday, January 13, 2015 - City Council

Special Order of the Day

- 15-0006** SPECIAL ORDER OF THE DAY - Recognition of Outgoing Vice Mayor
- 15-0007** SPECIAL ORDER OF THE DAY - Ceremonial Oath of Office for Incoming

Vice Mayor

Friday, January 30, 2015 - City Council

Study Session

15-0009 8:30 A.M. SPECIAL COUNCIL MEETING
Study Issues/Budget Issues Workshop

Tuesday, February 10, 2015 - City Council

Study Session

15-0010 6 P.M. SPECIAL COUNCIL MEETING (Study Session)
Board and Commission Interviews (as necessary)

14-0845 5 P.M. SPECIAL COUNCIL MEETING (Study Session)
Discussion and Possible Action on Rental Housing Impact Fee

Public Hearings/General Business

14-0195 2015 Quarterly Consideration of General Plan Amendment Initiation
Request (Tentative)

14-0272 Community Choice Aggregation (Study Issue)

Tuesday, February 24, 2015 - City Council

Public Hearings/General Business

14-0270 Use of Gas-powered Leaf Blowers (Study Issue)

14-0288 Explore the Use of Stacker and Tandem Parking Spaces to Meet Parking
Requirements (Study Issue)

15-0011 Board and Commission Appointments

15-0012 Adoption of Council-ranked Study Issue Presentation Dates for 2015

Date to be Determined - City Council

Study Session

14-0398 SPECIAL COUNCIL MEETING (Study Session)
Citywide Traffic/Transportation Update

Public Hearings/General Business

14-0027 Toolkit for Commercial/Residential Mixed Use Development (Study Issue)
(Tentatively scheduled for City Council Public Hearing, 3/24/15.)

14-0030	Preparation of Peery Park Specific Plan (Study Issue) (To be scheduled for 2015, tentatively)
14-0031	Ecodistrict Feasibility and Incentives (Study Issues)
14-0032	Community and Operational Greenhouse Gas Inventory (Study Issue)
14-0034	Protecting Burrowing Owl Habitat on City Facilities (Study Issue)
14-0035	Pilot Bicycle Boulevard Project on East-West and North-South Routes (Study Issue)
14-0273	Optimization of Wolfe Road for Neighborhood and Commuters via Reconfiguration and Signalization (Study Issue)
14-0277	Review of Park Use Policies and Related User Fees (Study Issue) (Tentatively scheduled for 3/10/15)
14-0429	Homestead Road - Resolution to Underground Existing PG&E Poles and Utilities
14-0846	Discussion and Possible Action on Rental Housing Impact Fee (Tentatively to be scheduled March 2015)
14-0988	Expand Smoking Regulations to Prohibit Smoking Near Doorways and Outdoor Areas of Retail and Commercial Businesses (Study Issue - Fall/Winter 2015 Proposed)



City of Sunnyvale

Agenda Item

14-0957

Agenda Date: 11/11/2014

Information/Action Items

2014 INFORMATION/ACTION ITEMS

COUNCIL DIRECTIONS TO STAFF

No.	Date Assigned	Directive/Action Required	Dept	Due Date	Date Completed
1.	2/25/14	Schedule Rule 20A Resolution for future Council agenda	DPW	TBD	
2.	9/30/14	Create new budget issue policy in accordance with Council's action	FIN		9/30/14
3.	10/28/14	Advise City Manager regarding adequacy of current dust control requirements imposed on contractors working adjacent to residential neighborhoods	CDD		
4.	10/28/14	Coordinate and place on future agenda a follow-up study session for Council to continue its past discussion on how it can work together more collaboratively from the dais – no facilitators necessary	HR		
5.	10/28/14	Respond via City Manager's Biweekly Report to Councilmember Meyering's comments regarding letter to SNAIL neighborhood from City Manager's Office	OCM		10/30/14
6.	10/28/14	Process correction to title of 10/14/14 meeting minutes for Joint City Council and Successor Agency to the Redevelopment Agency Closed Session	OCM		11/5/14
7.	10/28/14	Post on the Web "Answers to Council Agenda Questions" at the same time those answers are provided to the Council (in addition to providing hard copies in the back of Council Chambers the evening of the meeting)	OCM		

NEW STUDY/BUDGET ISSUES SPONSORED BY COUNCIL IN 2014

No.	Date Requested	Study Issue Title	Requested By	Dept	Issue Paper Approved by City Manager
1.	9/30/14	Prohibit Smoking Inside All Units and in Common Areas of Multi-Family Residences	Whittum/ Martin-Milius	DPS	
2.	10/14/14	Explore Actions to Improve Affordability of Living in Sunnyvale and Surrounding Cities	Hendricks/ Larsson	OCM	



City of Sunnyvale

Agenda Item

14-1074

Agenda Date: 11/11/2014

Study Session Summary of October 28, 2014 - Review Performance Evaluation Tools for the City Manager and City Attorney



City of Sunnyvale

Meeting Minutes City Council

Tuesday, October 28, 2014

5:15 PM

Special Meeting - Study Session 5:15 PM
(Audio only)

5:15 P.M. SPECIAL COUNCIL MEETING (Study Session)

1 Call to Order in the West Conference Room (Open to the Public)

Vice Mayor Jim Davis called the meeting to order at 5:40 p.m.

2 Roll Call

Present: 7 - Mayor Jim Griffith
Vice Mayor Jim Davis
Councilmember David Whittum
Councilmember Pat Meyering
Councilmember Tara Martin-Milius
Councilmember Glenn Hendricks
Councilmember Gustav Larsson

3 Study Session

[14-1001](#) Review Performance Evaluation Tools for the City Manager
and City Attorney

Study Session Summary:

Director of Human Resources, Teri Silva distributed the proposed performance evaluation criteria for the City Manager and City Attorney as developed by the Mayor's Subcommittee.

Opening remarks were made by the Mayor. The City Manager made comments in regards to the evaluation process, the criteria developed by the Mayor's Subcommittee and her support for the use of a facilitator. The City Attorney made comments in regards to the evaluation criteria presented and agreed with the City Manager regarding the use of a facilitator.

Council discussion included questions and comments relating to the performance evaluation criteria. Council made one modification to the criteria for the City Attorney with the addition of Professional Development.

Council discussion took place on the use of a facilitator.

MOTION: Councilmember Hendricks moved and Mayor Griffith seconded the motion to have someone outside the City staff help the Council congeal their different feelings in regards to the City Manager and City Attorney based on the two documents that we have already formed consensus on. The motion carried by the following vote:

- Yes: 4 -** Mayor Griffith
Councilmember Martin-Milius
Councilmember Hendricks
Councilmember Larsson
- No: 3 -** Vice Mayor Davis
Councilmember Whittum
Councilmember Meyering

Council will meet and deliver the performance evaluation to their respective employee without participation of the facilitator. The Mayor's Subcommittee will select the facilitator.

4 Public Comment

None.

5 Adjourn Special Meeting

Vice Mayor Davis adjourned the meeting at 6:17 p.m.



City of Sunnyvale

Agenda Item

14-1082

Agenda Date: 11/11/2014

Study Session Summary of October 28, 2014 - Consideration of Housing Mitigation Fee Nexus Study Findings and Alternatives



City of Sunnyvale

Meeting Minutes City Council

Tuesday, October 28, 2014

6:00 PM

Special Meeting - Study Session 6 PM
(Audio only)

6 P.M. SPECIAL COUNCIL MEETING (Study Session)

1 Call to Order in the West Conference Room (Open to the Public)

Vice Mayor Jim Davis called the meeting to order at 6:25 p.m.

2 Roll Call

Present: 7 - Mayor Jim Griffith
Vice Mayor Jim Davis
Councilmember David Whittum
Councilmember Pat Meyering
Councilmember Tara Martin-Milius
Councilmember Glenn Hendricks
Councilmember Gustav Larsson

3 Study Session

[14-0548](#) Consideration of Housing Mitigation Fee Nexus Study
Findings and Alternatives

Study Session Summary:

Hanson Hom, Community Development Director, introduced the study session topic and provided a background summary of the Housing Mitigation Fee.

Darin Smith with Economic Planning Systems, Inc. gave a slide presentation about the nexus study his firm completed regarding the City's Housing Mitigation Fee, including the methodology used to calculate the maximum justifiable impact fees, an overview of the findings, a review of other cities' housing mitigation fees and various alternative fee structures and rates .

Housing Officer Suzanne Isé reviewed the next steps for this project, which include a Council hearing on December 9.

Council Comments:

Councilmembers asked questions and made comments about the nexus study and Housing Mitigation Fees. Observations, comments and questions included:

- What is the concern about charging the maximum supportable impact fee (\$114) on office projects? Would that stop/slow down development?
- Will we generate enough housing to meet the needs if we are charging only 1/10th of the maximum impact fee?
- Can staff elaborate on the potential increase to the linkage fees in Mountain View?
- What types of projects can be created with the fees?
- How many new housing units would we be created if the fee was set at \$10, \$20 or the maximum fee permitted? Will this increase mean a lower cost for housing?
- Rather than show the dollar amount of the fee or the increase in the fee, show the overall increase of the fee as a percentage.
- If Council increases the fee significantly, will enough matching funds be available for more affordable housing projects, since most of the projects funded by the City typically leverage the City's funds with other sources (state, federal)?

4 Public Comment

- Companies and the development community are concerned about the increase in overall development fees.
- Commercial property rents are already a bit lower in Sunnyvale compared to some neighboring cities, and increasing fees here could make the margins on these projects even lower.
- A NAIOP representative noted that NAIOP has commissioned a peer review of the nexus study. The review should be complete by the first week of December. They will share their findings with the City.
- A representative of Working Partnerships was very supportive of the recommended fees and of the efforts the City is taking to address local affordable housing needs.

5 Adjourn Special Meeting

Vice Mayor Jim Davis adjourned the meeting at 6:55 p.m.



City of Sunnyvale

Agenda Item

14-0302

Agenda Date: 11/11/2014

Board/Commission Minutes



City of Sunnyvale

Meeting Minutes - Draft

Sustainability Commission

Monday, October 20, 2014

7:00 PM

West Conference Room, City Hall, 456 W.
Olive Ave., Sunnyvale, CA 94086

CALL TO ORDER

Chair Paton called the meeting to order at 7:02 p.m. in the West Conference Room.

SALUTE TO THE FLAG

Chair Paton led the salute to the flag.

ROLL CALL

Present: 7 - Chair Bruce Paton
Vice Chair Amit Srivastava
Commissioner Barbara Fukumoto
Commissioner Gerald Glaser
Commissioner Brian Glazebrook
Commissioner Dan Hafeman
Commissioner Petya Kisyova

Council Liaison- Glenn Hendricks (present)

PUBLIC ANNOUNCEMENTS

None.

CONSENT CALENDAR

- 1 [14-1013](#) Draft Minutes of the Sustainability Commission Meeting of
September 15, 2014

Chair Paton pulled the minutes from the consent calendar to discuss additional clarification regarding the discussion of new study issues. Commissioner Hafeman noted that the roll call was not updated to reflect the change in Commission Chair.

Commissioner Glaser moved and Commissioner Fukumoto seconded a motion to approve the minutes as amended. The motion carried by the following vote:

Yes: 6 - Chair Paton
Vice Chair Srivastava
Commissioner Fukumoto
Commissioner Glaser
Commissioner Glazebrook
Commissioner Hafeman

No: 0

Abstain: 1 - Commissioner Kisyova

PUBLIC COMMENTS

None.

PUBLIC HEARINGS/GENERAL BUSINESS

- 2 [14-1006](#) Approval of a Work Plan to Achieve the 2020 Greenhouse Gas Reduction Targets in the Adopted Climate Action Plan and Budget Modification No. 22

Commissioner Glaser moved and Commissioner Srivastava seconded a motion to recommend that the City Council approve Alternatives 1 through 5, direct staff to change all "biannual" references to "biennial," and to recognize that the timeframes identified in the Work Plan are considered maximum milestones. The motion carried by the following vote:

Yes: 6 - Chair Paton
Vice Chair Srivastava
Commissioner Glaser
Commissioner Glazebrook
Commissioner Hafeman
Commissioner Kisyova

No: 0

Abstain: 1 - Commissioner Fukumoto

Commissioner Fukumoto moved and Commissioner Kisyova seconded a motion to recommend that the City Council direct staff to accelerate the Green Building Ordinance review schedule in light of the life cycle impacts of buildings to occur no later than 2016.

Commissioner Kisyova offered a friendly amendment, which was accepted by Commissioner Fukumoto, to change the date to 2015.

The motion carried by the following vote:

Yes: 7 - Chair Paton
Vice Chair Srivastava
Commissioner Fukumoto
Commissioner Glaser
Commissioner Glazebrook
Commissioner Hafeman
Commissioner Kisyova

No: 0

NON-AGENDA ITEMS & COMMENTS

-Commissioner Comments

Chair Paton suggested that the Commission consider scheduling a strategic planning session that would allow the Commission to discuss opportunities to increase the effectiveness of the Commission, set strategic direction, and identify how the Commission can better support the City Council.

Commissioner Glazebrook announced that NetApp was working with Joint Venture Silicon Valley, Business for Clean Energy, local cities to host a Community Choice Aggregation Workshop to increase local business awareness of CCA and the local study that is underway.

Commissioner Hafeman and Commissioner Kisyova posed several questions about recent street maintenance projects.

Commissioner Fukumoto reported on attending a Sierra Club meeting focused on the findings of their 2014 Local Government Climate Action Survey.

-Staff Comments

Elaine Marshall provided an update on the City's participation in a regional grant to install EV charging stations that would include four Sunnyvale locations and the City's participation in a County grant that will include development of an EV Charging Station siting plan. Elaine Marshall also provided an update on the City's participation in the Georgetown University Energy Prize Challenge, informed the Commission about an upcoming community energy efficiency brainstorm, and asked Commissioners to send any energy saving ideas.

Melody Tovar provided a progress update on the City's CCA study. The County of Santa Clara will be joining the study as a fourth partner.

ADJOURNMENT

The meeting adjourned at 9:29 p.m.