City of Sunnyvale

Notice and Agenda - Final

Planning Commission

Monday, July 13, 2015 | **6:30 PM** | **Council Chambers and West Conference Room, City Hall, 456 W. Olive Ave., Sunnyvale, CA 94086**

SPECIAL STUDY SESSION START TIME 6:30 P.M. - PLANNING COMMISSION - WEST CONFERENCE ROOM

1 15-0700

File #: 2014-7614
Location: 915 De Guigne Avenue, 936 East Duane Avenue and surrounding area
Zoning: M-S (Industrial and Service) Proposed R-3/PD (Medium Density
Residential/Planned Development)
Proposed Project:

Overview of **DRAFT ENVIRONMENTAL IMPACT REPORT** for Residential Project and East Sunnyvale Sense of Place Plan
Project Planner: Ryan Kuchenig, (408) 730-7431, rkuchenig@sunnyvale.ca.gov

7:00 P.M. PLANNING COMMISSION - STUDY SESSION - WEST CONFERENCE ROOM

2 15-0694

File #: 2014-7373
Location: 871 E. Fremont Ave. (Butcher Property)
Project Description:

Staff will provide an update on the status and the process for considering the Butcher property annexation and development applications. Separate public hearings will be scheduled in the future to consider the proposed annexation, development applications, and Environmental Impact Report.
No written staff report will be prepared for the Planning Commission Study Session. No action will be taken by the Planning Commission.

Applicant / Owner: De Anza Properties
Environmental Review: An Environmental Impact Report is being prepared as part of the development applications (anticipate release in fall 2015). No environmental review is required at this time.
Project Webpage: ButchersCorner.InSunnyvale.com
Staff Contact: Noren Caliva-Lepe, (408) 730-7659, ncaliva-lepe@sunnyvale.ca.gov
Note: Study Session may be held in the Council Chambers

3 Public Comments on Study Session Agenda Items

4 Comments from the Chair

5 Adjourn Study Session

8:00 P.M. PLANNING COMMISSION - PUBLIC HEARING - COUNCIL CHAMBERS

CALL TO ORDER

SALUTE TO THE FLAG

ROLL CALL

PUBLIC ANNOUNCEMENTS/PUBLIC COMMENTS

Speakers are limited to 3 minutes for announcements of related commission events, programs, resignations, recognitions, acknowledgments.

CONSENT CALENDAR

1.A 15-0693 Approval of the Draft Minutes of the Planning Commission Meeting of June 22, 2015

1.B 15-0696 Introduction of an Ordinance to Amend Sunnyvale Municipal Code Chapters 19.12 (Definitions), 19.22 (Industrial Zoning Districts), 19.29 (Moffett Park Specific Plan District) and 19.98 (General Procedures) to include Modifications based on the Appropriate Locations for Child Care Centers Study Issue (CDD 15-11); and Approval of Location Guidelines for Commercial Child Care.

Staff Contact: Stephanie Skangos, (408) 730-7411, sskangos@sunnyvale.ca.gov
Staff Recommendation: Continuance to 7/27/15. The study will be re-advertised with an updated project description.

PUBLIC HEARINGS/GENERAL BUSINESS

2 15-0666

File #: 2015-7266
Location: 825 Tamarack Lane (APN: 213-29-053)
Zoning: R0
Proposed Project:

> **DESIGN REVIEW**: To allow a new two-story single-family home resulting in 3,117 square feet (2,717 square feet of living area and a 400 square-foot two-car garage) and 56% floor area ratio. The existing 1,374 square foot one-story single-family home will be demolished.

Applicant / Owner: Arsen Avagyan
Environmental Review: Categorical Exemption, Class 3
Project Planner: George Schroeder, (408) 730-7443, gschroeder@sunnyvale.ca.gov

3 15-0692 **Standing Item:** Potential Study Issues for 2016

4 15-0703 **Selection of Chair**

5 15-0704 **Selection of Vice Chair**

6 15-0705 **Selection of Seats**

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

-Staff Comments

INFORMATION ONLY ITEMS

ADJOURNMENT

Any agenda related writings or documents distributed to members of the Planning Commission regarding any open session item on this agenda will be made available for public inspection in the Planning Division office located at 456 W. Olive Ave., Sunnyvale CA 94086 during normal business hours, and in the Council Chambers on the evening of the Planning Commission meeting pursuant to Government Code §54957.5.

Agenda information is available by contacting The Planning Division at (408) 730-7440. Agendas and associated reports are also available on the City's web site at sunnyvale.ca.gov or at the Sunnyvale Public Library, 665 W. Olive Ave., Sunnyvale, 72 hours before the meeting.

Planning a presentation for a Planning Commission meeting?
To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" document available at Presentations.inSunnyvale.com.

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the City at or before the public hearing.

PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

Pursuant to the Americans with Disabilities Act, if you need special assistance in this meeting, please contact the Planning Division at (408) 730-7440. Notification of 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (29 CFR 35.106 ADA Title II)

City of Sunnyvale

Meeting Minutes - Draft
Planning Commission

Monday, June 22, 2015 | **7:00 PM** | **Council Chambers and West Conference Room, City Hall, 456 W. Olive Ave., Sunnyvale, CA 94086**

7:00 P.M. PLANNING COMMISSION - STUDY SESSION - WEST CONFERENCE ROOM

1 15-0567

File #: 2015-7264
Location: 755-777 East Evelyn Avenue (APNs: 209-01-018, -023, -024)
Zoning: M-3/ITR/R-3/PD (General Industrial/Industrial-to-Residential/Medium Density Residential/Planned Development)
Proposed Project: Related applications on a 2.05-acre site: **SPECIAL DEVELOPMENT PERMIT** to construct 42 townhomes; and **VESTING TENTATIVE MAP** to subdivide two lots into 43 lots, including 42 ownership lots and one common lot.
Applicant / Owners: Classic Communities (applicant/owner)
Environmental Review: Mitigated Negative Declaration
Project Planner: George Schroeder, (408) 730-7443, gschroeder@sunnyvale.ca.gov

2 Public Comment on Study Session Agenda Items

3 Comments from the Chair

4 Adjourn Study Session

8:00 P.M. PLANNING COMMISSION - PUBLIC HEARING - COUNCIL CHAMBERS

CALL TO ORDER

Chair Melton called the meeting to order at 8:00 p.m.

SALUTE TO THE FLAG

Chair Melton led the salute to the flag.

ROLL CALL

Present: 6 - Chair Russell Melton
Vice Chair Ken Olevson
Commissioner Ralph Durham
Commissioner Sue Harrison
Commissioner Larry Klein
Commissioner David Simons

Absent: 1 - Commissioner Ken Rheaume

SPECIAL PRESENTATION

Recognition of Service

Mayor Jim Griffith presented certificates of appreciation to Comms. Durham and Simons for their volunteer service on the Planning Commission, and expressed appreciation to all the Commissioners for their service to the City.

PUBLIC ANNOUNCEMENTS/PUBLIC COMMENTS

Comm. Klein announced that the application deadline for all City Boards and Commission openings is Friday, June 26, 2015.

CONSENT CALENDAR

1.A 15-0644 Approval of the Draft Minutes of the Planning Commission Meeting of June 8, 2015

Comm. Durham moved to approve the draft minutes. Comm. Harrison seconded. The motion carried by the following vote:

Yes: 6 - Chair Melton
Vice Chair Olevson
Commissioner Durham
Commissioner Harrison
Commissioner Klein
Commissioner Simons

No: 0

Absent: 1 - Commissioner Rheaume

PUBLIC HEARINGS/GENERAL BUSINESS

2 15-0574

File #: 2015-7201
Location: 1336 Cordilleras Avenue (APN: 323-08-059)
Zoning: R1
Proposed Project:

DESIGN REVIEW: To allow a new two-story single-family residence resulting in 3,877 square feet (3,462 square feet of living area and a 415 square-foot garage) and 40% FAR. The existing 1,685 square-foot one-story single-family home will be demolished.

Applicant / Owner: GP Residential Designs (applicant)/ William Schmoranc (owner)
Environmental Review: Categorical Exemption, Class 3
Project Planner: George Schroeder, (408) 730-7443, gschroeder@sunnyvale.ca.gov

Chair Melton recused himself from this item as he owns property within 500 feet of the subject property.

George Schroeder, Associate Planner, presented the staff report.

Comm. Klein confirmed with Mr. Schroeder that the proposed plantings that would address the privacy issue would be in the rear yard.

Vice Chair Olevson opened the public hearing.

William Schmoranc, the project applicant, gave a presentation on the proposed project.

Comm. Klein confirmed with Mr. Schmoranc the height of the rear fence, and confirmed that the proposed trees in the rear will grow to 50 feet.

Comm. Simons confirmed with Mr. Schmoranc that the driveway will be ripped out, and discussed the planting or material that may be placed along the left between lot line and driveway. Mr. Schmoranc noted that there is a water line beneath that area and once it is located he will determine what to place there. Comm. Simons also discussed with Mr. Schmoranc the age of the home and sewer line.

Vice Chair Olevson closed the public hearing.

Comm. Durham confirmed with Mr. Schroeder that generally there are no additional Green Building points avaliable if graywater systems are installed on properties.

Comm. Klein moved Alternative 1 to approve the Design Review with the conditions

in Attachment 6

Comm. Simons seconded.

Comm. Klein said he was able to make the findings, and that this is a good improvement compared to other neighborhoods. He said this design might have issues because of the size of the second floor and the ratio of first floor to second floor area, but that what makes this different is other homes in the neighborhood have greater ratios and the size of the lot is very large. He said we do not see many 9,600 plus square foot lots unless it is being subdivided, and having the original owner invest in an original home in Sunnyvale is a positive thing. He applauded the applicant for looking at how it fits in with the community, for working with staff on the issues and making the job of the Planning Commission easy. Comm. Klein added that he looks forward to the project moving forward.

Comm. Simons offered a friendly amendment for the stone veneer to wrap around the sides of the house to meet the fence.

Comm. Klein accepted.

Comm. Simons said the applicant triggered the requirement for a public hearing, but that this is a relatively easy project to support and he can make findings.

Comm. Durham said he can make the findings, that this new house will be an improvement over what is there already and will bring up the value of the property and the lifestyle of the applicant. He said the only thing he is concerned with is the privacy issue, especially on the second floor, the walls of which look like solid masses. He said there could be some way of using window treatments to allow more light in during the day as the windows get to be cave-like and result in using more electricity. He recommended this be kept in mind for future buildings, and said he can make the findings and wished the applicant luck.

Vice Chair Olevson commended the owner for keeping the home through multi-generations and improving the property. He said not too long ago this Commission approved a new development and found that the owners were very active during the outreach process to help shape the neighborhood and keep it one that is very attractive in Sunnyvale. He said he will be supporting the motion, and that he is pleased with all of the work the applicant has done in terms of design and working with the neighbors to help enhance Sunnyvale.

MOTION: Comm. Klein moved Alternative 2 to approve the Design Review with a

modified condition:
1) The stone veneer shall wrap around the sides of the house to meet the fence.

Comm. Simons seconded. The motion carried by the following vote:

Yes:	5 -	Vice Chair Olevson Commissioner Durham Commissioner Harrison Commissioner Klein Commissioner Simons
No:	0	
Absent:	1 -	Commissioner Rheaume
Recused:	1 -	Chair Melton

3 15-0580

File #: 2014-7624
Location: 1026 Lois Avenue (APN: 198-34-011)
Zoning: R-0
Proposed Project:

DESIGN REVIEW to allow construction of a new two-story home with a total floor area of 2,993 square feet (2,566 square feet living area and a 427-square foot garage) resulting in 49.8% floor area ratio (FAR) for review and approval by the Planning Commission.

Applicant / Owner: BO Design (applicant) / Haiyan Gong (owner)
Environmental Review: A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.
Project Planner: Shétal Divatia, (408) 730-7637, sdivatia@sunnyvale.ca.gov

Gerri Caruso , Principal Planner, presented the staff report.

Chair Melton discussed with Trudi Ryan, Planning Officer, whether the City Council motion limits anything within Planning Commission purview tonight.

Comm. Harrison verified with Ms. Caruso that all findings have been met for this project, and confirmed that an air conditioner can be placed in the back if it meets setback requirements. Ms. Ryan added that the adjacent neighbor requested the unit be relocated due to potential noise concerns.

Vice Chair Olevson confirmed with Ms. Caruso that the homeowner would have to meet the noise standard of the Municipal Code with regard to placement of the air conditioner.

Comm. Klein clarified the noise ordinance with Ms. Caruso, and confirmed with Ms. Ryan when the staff report was available on the City webpage.

Chair Melton opened the public hearing.

Frank Gong, the project applicant, gave a presentation on the proposed project.

Comm. Simons discussed with Mr. Gong whether obscure glass was considered for use on the north window in the stairway.

Annie Shiau, a nearby Sunnyvale resident, discussed her opposition to the proposed project.

Robert Nuttall, a nearby Sunnyvale resident, discussed his opposition to the proposed project.

Lorraine Nishikawa, a nearby Sunnyvale resident, discussed her opposition to the proposed project.

Mary Perkins, a nearby Sunnyvale resident, discussed her opposition to the proposed project.

Ava Mokhber, a nearby Sunnyvale resident, discussed her opposition to the proposed project.

Paul Clark, a nearby Sunnyvale resident, discussed his opposition to the proposed project.

Chair Melton confirmed with Mr. Clark the location of his home and that the air conditioner would not be adjacent to his home.

Comm. Simons verified with Mr. Clark that the window in the stairway was not a concern of his.

Chair Melton called Ms. Mokhber back to the podium.

Comm. Simons confirmed with Ms. Mokhber that obscured glass address the concern about the window in the stairway, and Ms. Mokhber added that the structure and design of the home create an invasion of privacy.

Jeanne Waldmann, a nearby Sunnyvale resident, discussed her opposition to the proposed project.

Mr. Gong addressed the neighbors' concerns.

Chair Melton closed the public hearing.

Comm. Harrison and Ms. Ryan discussed a typical percentage of Floor Area Ratio (FAR) for a two-story home, and Comm. Harrison asked what the FAR of the home would be without the garage. Ms. Caruso said staff would calculate it and respond shortly.

Comm. Simons moved Alternative 2 to approve the Design Review with modified conditions:

1) Correct the project data table and change the height of the structure from 24'4" to 23'4";
2) The veneer brick on the home shall extend to meet the fence on the sides of the house;
3) The selection of box trees shall be long lived, large scale species;
4) The applicant has the option of adding the window on the north side of the stairwell if the glass is obscured;
5) The applicant has the option to place the HVAC condenser on the side yard and must meet noise requirements.

Comm. Durham seconded.

Comm. Simons said the main goal for the neighborhood is being consistent, that the City has gone through a process over ten years creating the Design Guidelines for situations similar to this in which homes were built to the maximum in Eichler and single-story neighborhoods. He said the characters of the homes were disruptive and applicants made changes like adding more plantings to regain privacy, and that in response to these conflicts the City created the single story overlay so neighborhoods could be restricted to single stories. He said the Design Guidelines were created to minimize bulk while allowing homeowners to expand their homes and stay in the City, and said he understands that individuals have issues with this particular design and that even though the applicant has come before the Planning Commission multiple times modifying every step of the way to better meet the Design Guidelines, the neighborhood does not feel comfortable with it. He said he heard a lot of discussion about restricting this particular project but nothing about how to restrict the neighborhood as a whole, and that it is not an issue of personality but is always about the use. He said if there is a character in a particular part of the City that should be the reason for asking the City for restrictions that would apply specifically to that neighborhood, and that for Eichlers a single story overlay was applied for that. He stated he cannot deny an applicant who made all the modifications to reduce the second story and then say it still does not meet the character of the neighborhood. He noted the concern about house sizes increasing, and said generally when people expand their homes they stay within the intent of the neighborhood. He said this neighborhood has a unique character with houses smaller and closer in size to one another, but that it has has had the ability to add on second stories, which has been done in different parts and that those homes are now grandfathered in. He said many of them could not be developed today, and he recommends the neighbors consider what it is that is unique about the neighborhood and what it should look like. He said it is inappropriate to single out one project because of perceived incompatibility and that many things have been done to reduce the bulking of this house which is not

the same house that was originally brought before the Planning Commission.

Comm. Durham said he will be supporting the motion, that the applicant came up with good plan and fine tuned it a lot. He stated that he was not thrilled with the first plan, that a lot has been corrected and the size and mass has been dropped. He said the project falls well within all of the guidelines except the FAR, that he can support having the air conditioner on the side of the house if it meets noise standards which should not be problem because the neighbor could put up the same thing if installing a replacement unit. He noted that the the biggest drawback is the second floor and by comparing plans to the neighbors the second story will be 50 percent of one story higher than existing houses and if it is within all of the setbacks and the size for second story fits in the Design Guidelines and does not raise the roof too high, the view angles out from the neighbors will not be impeded.

Comm. Klein said he will be supporting the motion, that we are here to comply with the Design Guidelines and rules of the City, and that the FAR is just a threshold for Planning Commission review, not a limit as to what the homeowner can build. He noted that there are other two-story homes on Lois, that the applicant has worked to improve the privacy issues and the modifications of the motion will help to address those. He said the biggest issue that has been improved is the plate height, which is now similar down the street, and that he can support the motion and make the findings. He said when he denied the project the first time and approved it the second time he suggested the neighbors continue to look at doing a single story overlay district, which would mean going to the neighbors to get signatures and putting together money to put into law that only single story homes can be built in the area. He said he hopes the neighbors can work with the applicant and hopes the applicant reaches out, and that while he understands that the applicant is trying to build his dream home, it does collide with the neighborhood. He said the guidelines we follow give us the maximum size goals and the FAR from first to second story, that this design meets that and the applicant has tried to improve it with Council direction, therefore he is supporting the project.

Vice Chair Olevson said he will be supporting the motion, that when he saw the project the last time he did not support it, but he feels the applicant has come a great length to meet the intent and letter of various design criteria imposed on projects of this type. He said it is not the Commission's job to set policy as is done by the City Council, and in looking at the policy they have set this applicant has done a good job of meeting the criteria. He noted that the neighborhood is in transition with two-story homes coming in and around it, and that most people living in Sunnyvale do not realize what can happen in a given zoning area until it starts happening and it is too late. He encouraged neighbors to pursue the single story

overlay if they feel strongly enough before further changes occur, and that if a majority of neighbors do not support the change, the Design Guidelines and other policies in place now are ones we must live with.

Comm. Harrison said she will be supporting the motion, that she appreciates the impassioned view points of the public and the applicant, but that there is no way for her to not grant the applicant his desires because he has met every single rule. She said the neighbors asked how the Commissioners would feel if this were happening in their neighborhood, and that if it were her she would want to get approval for her project if she met every rule.

Chiar Melton said he will be supporting the motion, that this is the fourth public hearing on this project and that what he regrets the most is that he did not make himself clearer when the project came to the Planning Commission in the Spring and feedback was provided to the applicant. He said the Design Review was declined in October and then came back in March and was approved and he realizes he did not make it clear that even though the square footage remained largely the same it was the reallocation of square footage from the second to the first floor that was the tipping point for him. He echoed what the other Commissioners have said about the single story overlay and he does not know if anything would have been different if there was forward motion made on the single story overlay between public hearings, but that he sees all of the energy from the neighbors and hopes it can be used to plow forward on the signatures and dollars required for the single story overlay district. He said that is the legislative action you have to take to acheive the vision the neighbors are expressing to the Planning Commission. He said the applicant has been difficult, that Councilmember Davis expressed feelings he would agree with but that this is about following policy and the applicant has made many changes to the design, which started with something that absolutely did not pass but is a totally different project now. He said people may say the Planning Commission is coming to the wrong judgment but it is one that has to be made. He thanked the applicant for his passion, the neighbors for coming out to speak four times and thanked the City Council who spent three hours on a public hearing for this project.

MOTION: Comm. Simons moved Alternative 2 to approve the Design Review with modified conditions:
1) Correct the project data table and change the height of the structure from 24’4” to 23’4”;
2) The veneer brick on the home shall extend to meet the fence on the sides of the house;
3) The selection of box trees shall be long lived, large scale species;

4) The applicant has the option of adding the window on the north side of the stairwell if the glass is obscured;
5) The applicant has the option to place the HVAC condenser on the side yard and must meet noise requirements.

Comm. Durham seconded. The motion carried by the following vote:

Yes: 6 - Chair Melton
Vice Chair Olevson
Commissioner Durham
Commissioner Harrison
Commissioner Klein
Commissioner Simons

No: 0

Absent: 1 - Commissioner Rheaume

4 15-0531

File #: 2014-7900
Location: 625-627 E. Taylor Ave. (APNs: 205-29-006 and 205-29-007)
Proposed Project: Related applications on a 0.9-acre site:
SPECIAL DEVELOPMENT PERMIT for 20 townhome-style condominiums and site improvements, including a request to deviate from side yard and distance between buildings requirements; and
VESTING TENTATIVE MAP to create one common lot and 20 condominiums.
Applicant / Owner: 627 Taylor LLC
Environmental Review: Mitigated Negative Declaration
Project Planner: Rosemarie Zulueta, (408) 730-7437, rzulueta@sunnyvale.ca.gov

Rosemarie Zulueta, Associate Planner, presented the staff report.

Comm. Harrison confirmed with Gerri Caruso, Principal Planner, that a Climate Action Plan (CAP) checklist is included with Mitigated Negative Declarations and Negative Declarations, and discussed item EC 2.2 on the CAP checklist regarding requiring energy efficient siting of buildings. Ms. Caruso said the applicant would discuss propsed landscaping with regard to siting. Comm. Harrison and Ms. Caruso also discussed item CTO 1.3 regarding cross-parcel access and whether it is possible to achieve with this site and the adjacent Mid-Pen site. Comm. Harrison confirmed with Trudi Ryan, Planning Officer, that current City standards allow six foot sidewalk widths so people can walk side by side, and confirmed with Ms. Caruso that the buidlings on this site are the same height and will create no issue regarding shading buildings on site.

Comm. Klein confirmed with Ms. Zulueta that fire code restricts the height of the proposed planters at the front of the property, and Ms. Zulueta noted that the applicant's landscape architect could answer additional questions about the plantings. Comm. Klein discussed with Ms. Zulueta the color of the garage doors and the requested deviation for the setback.

Chair Melton said he is happy to see the number of projects going up on Taylor Avenue, and confirmed with Ms. Zulueta that this project is required to underground one of the two utility poles across the street from the subject site. Chair Melton also confirmed with Ms. Zulueta that vapor barrier installation is required for this project.

Comm. Durham and Ms. Ryan discussed future plans to mitigate traffic impacts on Fair Oaks Avenue.

Comm. Simons verified with Ms. Zulueta that the proposed driveway will be pervious.

Comm. Melton opened the public hearing.

Bob Iwerson, the project applicant, gave a presentation on the proposed project and answered several Commissioner questions.

Comm. Harrison confirmed with Mr. Iwerson the color of the score joints and that the lap siding is a wood element.

Comm. Klein confirmed with Kevin Levesque, Landscape Architect, the types of plantings proposed for the site.

Comm. Simons verified with Mr. Levesque the materials for the pervious drive aisle and sidewalks and discussed the species and locations of the larger trees proposed for the site.

Comm. Klein discussed with Mr. Iwerson the color and composition of the garage doors.

Chair Melton verified with Mr. Iwerson that exiting and entering through the den on the ground floor is not possible, and discussed the reason that space was not planned as a fourth bedroom.

Mr. Iwerson addressed the concern about water treatment, and Mr. Levesque discussed the goals of the outdoor living spaces and landscaping water usage.

Comm. Harrison and Mr. Iwerson discussed the potential for approaching Mid-Pen regarding cross-parcel access.

Samir Sharma, property owner, said that after review of cross-parcel access, he would consider having that conversation with Mid-Pen.

Comm. Harrison moved Alternative 2 to adopt the Mitigated Negative Declaration and approve the Special Development Permit and Vesting Tentative Map with a modified condition:
1) The applicant is encouraged to approach the neighboring property owners to the north regarding the provision of cross-parcel access and a linkage from the subject property to the park

Comm. Simons seconded.

Comm. Harrison said the Sunnyvale vision encourages projects to have a slightly different look from one another, and that although there are projects on same street of a similar size and type, this project accomplishes a different look with a very modern, young and high quality appearance with regard to the score joints, the stainless look and translucent garage doors. She said the applicant has done a good job having a palatable driveway entrance that is not just solid walls and having different planes, although they are only offset a few inches. She said the project meets the findings even with the deviations for the smaller building to building sizes.

Comm. Simons offered a friendly amendment to modify BP-10 regarding Green Point Rating to allow the additional five feet in building height that requires a minimum of 110 points on the Green Point Rated checklist.

Comm. Harrison accepted.

Comm. Simons offered a friendly amendment to recommend staff and the applicant review the tree species selection and use another low water oak rather than the Quercus suber.

Comm. Harrison accepted.

Comm. Simons said he will be supporting the project, that he likes the look of it and does not have strong opinion about the garage doors and thinks they may work. He said while he was looking at the panels and colors he thought that firestone would have higher performance roofing material that could be used. He said updated modern architecture that is true to the look is really nice and will become very popular, and added that he can make all the findings.

Comm. Klein offered a friendly amendment to have the applicant and/or the Director of Community Development review the color and design of the garage doors to add variety.

Comms. Harrison and Simons accepted.

Comm. Klein said he will be supporting the motion, and that it is good to see how the project has developed. He applauded the developer for listening to Commissioner comments by first improving the elevations and adding more variety, looking at the color scheme, stone enhancements and porous concrete, which we

do not see often. He said the developer is looking for ways to improve the project and has made a good project overall, that the deviations are only at the higher level so they have met the spirit of what we are achieving here and noted that the inter-building setbacks are a common deviation as we deal with the sites in this area. He applauded the applicant for filling in this neighborhood,which is in transition, and said the site will become much better and will add to the community and help the view of how the neighborhood sees itself. He said removing one of the last industrial sites along this street will make it more of a community and that the project has a unique design. He noted that we often get similar architecture side by side and added that he looks forward to the project moving forward and that he can make the findings.

Vice Chair Olevson said he will be supporting the motion, that he can make the finding that the project meets the General Plan and cannot make the negative findings that would preclude approving this project. He thanked the applicant for listening to the Planning Commission during the study session, and said his first impression of the first iteration was this was something out of a 1960s song being ticky tacky. He said he recognizes that the applicant is trying to do something different in this area, and that the modifications made will make the project the contrast with other projects going in. He applauded the color and elevation changes as they will add to existing projects and will be a nice connector to newer projects to the north, so he will be voting to approve the project.

Comm. Durham said he will be supporting the motion and can make the findings. He said he likes the overall plan, that this is a good product that will be an enhancement to the neighorhood. He said he likes the way the front end is being treated and the breakup of the back, and said he hopes there will be a good set of trees in the back to provide privacy, cooling and shading for the units.

Chair Melton said he will be supporting the motion and can make the findings to approve the Special Development Permit and not make negative findings that would disqualify the Tentative Map. He thanked the applicant for the nice parcelization, which he likes to see because gives developers a bigger turf are to work with. He appreciates the applicant's work since the study session which shows they listened to Commissioner comments and said we are ending up in a good position. He said sometimes a project is not only about what is going into a parcel but it is also about the prior use that will not be there anymore, which will come a long way to stitching together a neighborhood and brining it closer to completion, so removing the old industrial uses are positive. He said he is comfortable with the minor deviations requested which make good sense and is not a difficult thing to approve.

MOTION: Comm. Harrison moved Alternative 2 to adopt the Mitigated Negative Declaration and approve the Special Development Permit and Vesting Tentative Map with modified conditions:
1) The applicant is encouraged to approach the neighboring property owners to the north regarding the provision of cross parcel access and a linkage from the subject property to the park;
2) Modify BP-10 regarding Green Point Rating to allow the additional five feet in building height that requires a minimum of 110 points on the Green Point Rated checklist;
3) Recommend staff and the applicant review the tree species selection and use another low water oak rather than the Quercus suber; and,
4) The applicant and/or the Director of Community Development review the color and design of the garage doors to add variety.

Comm. Simons seconded. The motion carried by the following vote:

Yes: 6 - Chair Melton
Vice Chair Olevson
Commissioner Durham
Commissioner Harrison
Commissioner Klein
Commissioner Simons

No: 0

Absent: 1 - Commissioner Rheaume

5 15-0389 Approve the Parking Structure Design Guidelines for Projects in All Zoning Districts and Find that the project is exempt under CEQA pursuant to Guidelines 15060(3) and 15378(b)(5) (Study Issue)

Stephanie Skangos, Associate Planner, presented the staff report.

Comm. Klein discussed with Trudi Ryan, Planning Officer, wrapping art around garage structures and potentially using it to satisfy art in private development requirements. Comm. Klein and Ms. Ryan also discussed the type of materials used for wrapping art on the exterior of a building, and confirmed that item three under the Bike Parking section specifying the type of bike rack to be used should have been removed.

Comm. Harrison confirmed with staff that the phrase "should be" which appears throughout the draft document means variations could occur with merit, and discussed with Ms. Ryan the reason pedestrian access points should be minimized. Comm. Harrison confirmed with Ms. Ryan that the 15 foot landscaped setback between office park above grade parking structures and adjacent public streets is a requirement.

Chair Melton noted that he supports removal of the third paragraph of the Bike Parking section, and discussed with Ms. Ryan the potential reasons that full below grade parking may not be feasible.

Chair Melton opened the public hearing, and upon seeing no speakers for this item, closed the public hearing.

Comm. Klein moved to recommend to City Council Alternative 1 to find that the project is exempt from CEQA pursuant to CEQA Guidelines 15060(c)(3) and 15378(b)(5), and Alternative 3 to Approve the Parking Structure Design Guidelines with modifications:
1) Remove number 3 under the Bike Parking section; and,
2) Have staff investigate a proposal to add large scale art and colored materials to wrap the side of the parking structures

Comm. Simons seconded.

Comm. Klein noted that he proposed this issue not too long ago, is surprised by how quickly this issue moved forward, and said he is happy that City Council saw this as a requirement. He said parking structures are too often the after thought of design and that although we see the final plans of a project, the rest is left to the Director of Community Development and we never get an idea of the relationshp

between the structure and design of the buildings. He applauded staff for how quickly this issue has moved forward, and said it will hopefully help developers, the Planning Commission and City Council resolve issues before they happen in the future. He noted that the guidelines would have prevented some of the issues seen around the City today, and that this is a great step toward trying to codify or give guidelines for what is a good design. He said it captured all of the issues brought up by the Planning Commission, that staff laid them all out well, and that he looks forwad to Council approving this and making it part of a standard package of guidelines. He recommended Council get a colored version of the report, and said that once it is in place we will have better community with projects that require parking structures.

Comm. Simons offered a friendly amendment to add the noise and security sections in the Report to Council.

Comm. Klein accepted.

Comm. Simons noted that grammatical and format corrections suggested by staff should be changed, and Comm. Klein agreed.

Comm. Simons offered a friendly amendment to minimize auto ingress and egress as appropriate, and add wording that pedestrian access should be designed for safe access and designing pedestrian access to not rely on walking in auto travel lanes

Comm. Klein accepted.

Comm. Simons requested keeping item 3 of the Bike Parking section with language that encourages a variety of bike rack options that could become part of the art in public space consideration.

Comm. Klein accepted.

Comm. Durham said he supports the motion, and that it is a great document. He applauded the amendment regarding bike racks and said he would like to see people who have bikes help make a determination about whether certain types of bike racks are useful or not for locking up bikes, and that he has seen a fair number of racks that look nice but he has no idea how they really work with regard to securing bikes properly. He said new guidelines will be useful as less time will be spent during meetings discussing what developments need in terms of parking structures. He said with mixed use developments we allow mixed parking and he

would like to see in the future developments that do not use the full amount normally used for apartments and office because at different times of the day when there is much office use of parking residents will be out of their apartments, which can reduce the size and bulk of the parking structure.

Vice Chair Olevson said he will be supporting the motion, and that as part of the motion we have asked staff to look at a variety of additional items before finalizing the report and sending it to Council. He said he supports the concept of having art on the side of a building but that it may conflict with a recommendation that was added after the last study session in which the Commission suggested that parking structures should be consistent in format and look of the buliding it is supporting. He said if the main building does not have art work and the parking structure does it will stand out, so he encourages the addition of wording that explains that the two are not mutually exclusive. He added that staff has done an excellent job of incorporating comments from seven people, each with varynig ideas on how the City ought to be structured.

Chair Melton said he will be supporting the motion, that staff has done a great job, and he commended Comm. Klein for putting this forth as a study issue, which exhibits great leadership. He said looking at the projects on Weddell and Fair Oaks were the first signals that we needed design guidelines, and he highlighted language from the Design Guidelines that says parking structures are expected to be more than utilitarian boxes, which was a key sentence for him. He said too often we have seen utilitarian boxes where the developer has run out of ideas, energy or money after building the big thing that they wanted to build which is the office or the housing development and the parking structure becomes an after thought. He said this draft is a great effort by staff and the consultant to synergize a lot of information from various sources and come out with a high quality document. He added that he hopes City Council has good time reviewing this document.

MOTION: Comm. Klein moved Alternative 1 to find that the project is exempt from CEQA pursuant to CEQA Guidelines 15060(c)(3) and 15378(b)(5), and Alternative 3 to Approve the Parking Structure Design Guidelines with modifications:
1) Staff investigate a proposal to add large scale art and colored materials to wrap the side of the parking structures;
2) Addition of the noise and security sections in the Report to Council;
3) Minimize auto ingress and egress as appropriate, and add wording that pedestrian access should be designed for safe access and designing pedestrian access to not rely on walking in auto travel lanes; and,
4) Encourage a variety of bike rack options that could become part of the art in public space consideration.

Comm. Simons seconded. The motion carried by the following vote:

Yes: 6 - Chair Melton
Vice Chair Olevson
Commissioner Durham
Commissioner Harrison
Commissioner Klein
Commissioner Simons

No: 0

Absent: 1 - Commissioner Rheaume

6 15-0645 **Standing Item:** Potential Study Issues for 2016

Comm. Simons suggested a potential study issue to create web and mobile capabilities that allow the public to review previous project plans and view and report roadway information. Ms. Ryan said an interactive map to view pending and approved projects is currently being developed and will be available soon.

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

Comm. Durham said it has been an entertaining time on the Planning Commission, and thanked the City for helping him further his goal of pushing the City in a direction he thinks is best. He noted that the Mayor stated that the Commission works for no pay, but he feels he is paid by having a better City. He thanked staff for their hard work and patience bringing him up to speed and educating him on the City, and thanked his fellow Commissioners for their work and commitment. He also thanked the City Council for trusting him to be up on the dais, and thanked the public, especially those who take the time to come and speak during public hearings.

Chair Melton said he gives props to City staff, that he attended the ground breaking for Fire Station 5 and through the land swap agreement managed by City staff, Sunnyvale will be getting a new fire station that will have a training room and gun range, that we will be getting a new fire engine and new road that hopefully will help untie the knot of the Mathilda and Highway 237 underpass. He said it is worth noting all of the work staff put into making this deal happen.

-Staff Comments

Ms. Ryan thanked Comm. Durham for his service. She noted that there is a shared parking provision in the zoning code so that the total amount of parking can be reduced when you have two uses on the same site, which addresses Comm. Durham's earlier concern. She also discussed several items that City Council will consider at the next Council meeting.

INFORMATION ONLY ITEMS

None.

ADJOURNMENT

With no further business Chair Melton adjourned the Planning Commission meeting at 11:24 p.m.

City of Sunnyvale

Agenda Item 2

15-0666 **Agenda Date:** 7/13/2015

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2015-7266

Location: 825 Tamarack Lane (APN: 213-29-053)

Zoning: R0

Proposed Project:

> **DESIGN REVIEW**: To allow a new two-story single-family home resulting in 3,117 square feet (2,717 square feet of living area and a 400 square-foot two-car garage) and 56% floor area ratio. The existing 1,374 square foot one-story single-family home will be demolished.

Applicant / Owner: Arsen Avagyan

Environmental Review: Categorical Exemption, Class 3

Project Planner: George Schroeder, (408) 730-7443, gschroeder@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Residential Low Density

Existing Site Conditions: Single-Family Residence

Surrounding Land Uses

> **North:** Single-Family Residence
> **South:** Single-Family Residence
> **East:** Single-Family Residence
> **West:** Single-Family Residence

Issues: Floor Area Ratio, Neighborhood Compatibility

Staff Recommendation: Approve the Design Review permit with conditions

BACKGROUND

Description of Proposed Project: The applicant proposes to demolish an existing 1,374 square-foot one-story, single-family residence built in 1955 on a 5,529 square-foot lot and construct a new two-story, single-family residence. The proposed building size would total 3,117 square feet including a 400 square foot garage with a resulting floor area ratio (FAR) of 56%. A Design Review permit is required for construction of a new residence to evaluate compliance with development standards and with the Single Family Home Design Techniques. Planning Commission review is required for homes that exceed 45% FAR.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Data

Table of the project.

ENVIRONMENTAL REVIEW

A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act provisions. Class 3 Categorical Exemptions include new construction or conversion of small structures.

DISCUSSION

Architecture: The existing neighborhood is comprised mostly of one-story, single-family residences, which are Postwar Minimal with simple rectilinear forms. Newer homes at the northern end of the neighborhood are designed in the Mediterranean style. The existing neighborhood was developed in the early 1950s and the majority of the homes on Tamarack Lane have two-car garages. The project site is located on the west side of Tamarack Lane near Myrtle Drive. The proposed design is Mediterranean in nature that includes a composite shingle roof with moderate pitches, stucco walls with a stone veneer along the base of the house, aligned windows, and hip and gable roof forms.

The 1,942 square-foot first floor consists of a two-car garage, a bedroom, one-and-a-half bathrooms, a kitchen, and family, living, and dining rooms. The 1,175 square-foot second floor consists of four bedrooms and two bathrooms.

Floor Area Ratio: The neighborhood contains mostly one-story homes with six other two-story residences on the block. The gross floor area of the neighboring residences range from 1,383 to 3,183 square feet (23% to 52% FAR) with an average of 1,834 square feet (31% FAR). See Attachment 3 for a gross floor area and FAR comparison. The proposed gross floor area would make the home the second largest on the block, behind a 3,183 square-foot two-story home at 813 Tamarack built in 2000.

See below for a data table on the existing two-story homes in the neighborhood:

Address	FAR	2nd to 1st Floor Ratio	Plate Heights	Total Height	Year Built
805 Tamarack	45% (3,029/6,755)	54% (1,068/1,961)	1st - 10' 2nd - 9'	26'10"	2014
809 Tamarack	45% (2,841/6,313)	45% (880/1,961)	1st - 10' 2nd - 9'	26'9"	2014
808 Tamarack	51% (3,046/5,915)	50% (1,012/2,034)	1st - 9' 2nd - 8'6"	23'10"	2015
813 Tamarack	52% (3,183/6,109)	30% (739/2,444 approx.)	Unknown	Unknown	2000
817 Tamarack	35% (1,932/5,454)	39% (546/1,386 approx.)	Unknown	Unknown	1955 - original 1993 - 2nd st.

845 Tamarack	41% (2,257/5,454)	43% (684/1,573)	Unknown	Unknown	1955 - original 1980 - 2nd story

The applicant notes in the project description letter (Attachment 4) that the proposed house size is consistent with other recently completed two-story homes in the 51-lot Toll Brothers' neighborhood (Estates at Sunnyvale), located approximately 600 feet to the northeast of the project site at the corner of Lily Avenue and Timberpine Avenue. Per the Single-Family Home Design Techniques, this subdivision is not considered part of the immediate neighborhood context for the project, but the applicant considers that it provides context to justify the proposed square footage and 56% FAR. As shown in Attachment 3, the Toll Brothers' neighborhood consists of all two-story homes with gross floor areas ranging from 3,516 to 3,573 square feet (average of 3,536 square feet) and floor area ratios ranging from 50 to 59% FAR (average of 58% FAR). Staff notes that these homes were developed all at the same time with a planned development zoning overlay that did not necessarily follow the same considerations as with standalone single-family residential zoning in the surrounding older neighborhood.

The proposed 56% FAR requires Planning Commission review since it is in excess of the 45% FAR threshold. The design uses measures to reduce the mass and bulk of the home through varied setbacks, second floor wall offsets, a lower pitch second floor roof, and first floor rooflines to visually delineate the first and second floor in key locations. However, in staff's opinion, the proposed measures are inadequate to remedy the visual bulk and scale of the home or to justify the proposed 56% FAR. The proposed FAR significantly exceeds the neighborhood FAR pattern and is beyond what the Planning Commission has typically approved for other recent two-story single-family residential projects in the City. Staff recommends that the applicant work with staff to reduce the total project FAR to 50% or less, consistent with the FAR of several recently constructed two-story homes at the northern end of Tamarack Lane (Condition PS-1).

Second Floor Area: The City's Single Family Design Techniques suggest a second floor massing of up to 35% of the first floor when a neighborhood is predominantly single-story. The proposed project includes a second floor area of 1,175 square feet, which constitutes approximately 61% of the 1,942 square-foot first floor area, including the garage. The size of the proposed second floor is significantly larger than other second stories in the neighborhood which average 822 square feet. Other two-story homes in the neighborhood also average a second to first floor ratio of 44%. In addition to reducing the total project FAR to 50% or less, staff recommends that the applicant work with staff to reduce the second to first floor ratio to 50% or less, consistent with the size of recently constructed two-story homes at the northern end of Tamarack Lane (Condition PS-2).

While the location of space to be reduced on the second floor is at the applicant's discretion, staff suggests that the high volume space above the dining room be considered, as it would help accomplish the purpose of reducing second floor area, mass and bulk, and would break up a two-story tall wall on the front elevation. Doing so would reduce the second to first floor ratio to approximately 51% and the overall FAR to 55%. Other areas of the home would also need to be adjusted or reduced to meet the recommended 50% total FAR and 50% second to first floor ratio.

Other Recommended Design Modifications: Overall, staff feels that the project's architecture is

well-balanced and consistent with the style of other new homes in the neighborhood. Moreover, the recommended floor area reductions would reduce the mass and bulk of the project to be consistent with other homes in the neighborhood. Even if the floor area is reduced as recommended by staff, staff also recommends the following additional design modifications in accordance with the Single-Family Home Design Techniques (SFHDT) to make the project design more compatible with the neighborhood:

- First and Second Floor Plate Heights (SFHDT 3.4H and 3.5E) - The currently proposed plate heights are consistent with two recently constructed two-story homes adjacent to one another at the northern end of the neighborhood and the Toll Brothers development beyond the immediate neighborhood. However, given that the project is situated between one-story homes with lower floor plates and proposes side yard setbacks in close proximity to these neighboring homes, staff recommends a condition (Condition PS-3) that the first floor plate height be reduced from 10’ to 9’ and the second floor plate height be reduced from 9’ to 8’ in order to reduce taller exterior wall heights and be more compatible with neighboring properties.

- Living Room Roofline (SFHDT 3.3D) - The high-volume living room with tall windows at the front of the proposed home, next to the main entry feature, includes a gable roofline that is one and a half stories tall, and approximately 19 feet at its peak. The height of this feature is out of scale with the neighborhood pattern and the separate gable roof detracts from the otherwise balanced nature of the front and side elevations. Staff recommends a condition (Condition PS-4) that this roof feature is lowered to better align with the main first floor eaveline, and the gable roof be deleted, as it competes visually with the main entry feature on the front elevation.

- Site Grading/Total Height from Curb (SFHDT 3.6G) - The applicant notes that the site would be re-graded to a lower elevation to be flush with the street curb elevation. Staff notes that this is not allowed by the California Building Code, as the building pad would need to be at a higher elevation than the curb in order to allow to for drainage away from the structure. Staff recommends a condition (Condition PS-5) for the applicant to work with staff to ensure that the pad is designed in accordance with building code requirements and that the total building height from the top of curb elevation not exceed 26 feet as currently shown on the plans, in order to be consistent with other two story homes in the neighborhood. The recommended condition also specifies that the finished first floor elevation shall be the minimum required by the building code and consistent with the neighborhood character to minimize privacy impacts on adjacent properties.

Privacy: Second-story windows may present potential privacy impacts to adjacent properties. The project proposes three windows on the second floor rear elevation (master bedroom, master bathroom, and uninhabitable high volume dining room area), three windows on the second floor left elevation (bedroom, bathroom, and master bathroom), and two windows on the second floor right elevation (master bedroom and uninhabitable high volume dining room area).

The applicant is currently not proposing to plant any privacy trees or shrubs to screen the line of sight from second story windows with views to adjacent properties. At the time of staff report production, staff has not received any public comments related to privacy mitigation measures.

Staff has included a condition of approval (Condition PS-6) to require high sill windows for second

story bedrooms (when egress is not required) and for second story bathroom windows to be obscure style glass.

Solar Access: The Sunnyvale Municipal Code (SMC) Section 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The proposed second story is situated toward the middle of the home to minimize shadowing on the adjacent north and south properties. The project plans demonstrate shading would not exceed the maximum level permitted, thereby complying with current solar access standards.

Landscaping: The project is subject to the City's water-efficient landscaping requirements (Chapter 19.37 of the SMC) since the project is a new house with more than 1,000 square feet of new landscaping area. At this time, the applicant proposes to meet the landscaping requirements by limiting turf to no more than 25% of the landscaped area and planting at least 80% of the non-turf area with native, low water, or no water use plants. There is an existing protected 20-inch diameter tree in the front yard that will be retained. No trees are proposed for removal.

Applicable Design Guidelines and Policy Documents: With the recommended conditions in place to reduce the second to first story ratio to 50% and overall FAR to 50%, staff would consider the proposed home to be consistent with the adopted Single-Family Home Design Techniques since the proposed design incorporates prevailing Mediterranean-style design elements from the other two-story homes in the neighborhood. It would be consistent with the overall size and second floor area of other two-story homes, and positively adds to the streetscape. Staff has included findings for the Single-Family Home Design Techniques in Attachment 5.

Development Standards: The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, parking, height and setbacks.

Fiscal Impact: No fiscal impacts other than normal fees and taxes are expected.

Notice of Public Hearing, Staff Report and Agenda

- Published in the *Sun* newspaper
- Posted on the site
- 62 notices mailed to property owners and residents within 300 feet of the project site
- Posted on the City of Sunnyvale's Website
- Provided at the Reference Section of the City of Sunnyvale's Public Library
- Agenda Posted on the City's official notice bulletin board

Public Contact: Staff received a comment from a neighboring property owner noting concerns with retaining the existing private 20-inch diameter front yard tree in the project design (Attachment 6). The neighbor claims that the tree's roots have caused damage to the sewer line and has uprooted the front yard area. The neighbor requested that the tree be removed as part of the project. The applicant is willing to consider the neighbor's request and will work with them on the details. A separate Tree Removal Permit would be needed if the tree is proposed for removal.

Conclusion

With the recommended conditions in place, staff was able to make the required Findings for the Design Review. The recommended Conditions of Approval are located in Attachment 7. Recommended Findings are located in Attachment 5.

Alternatives

1. Approve the Design Review with the conditions in Attachment 7.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

Recommendation

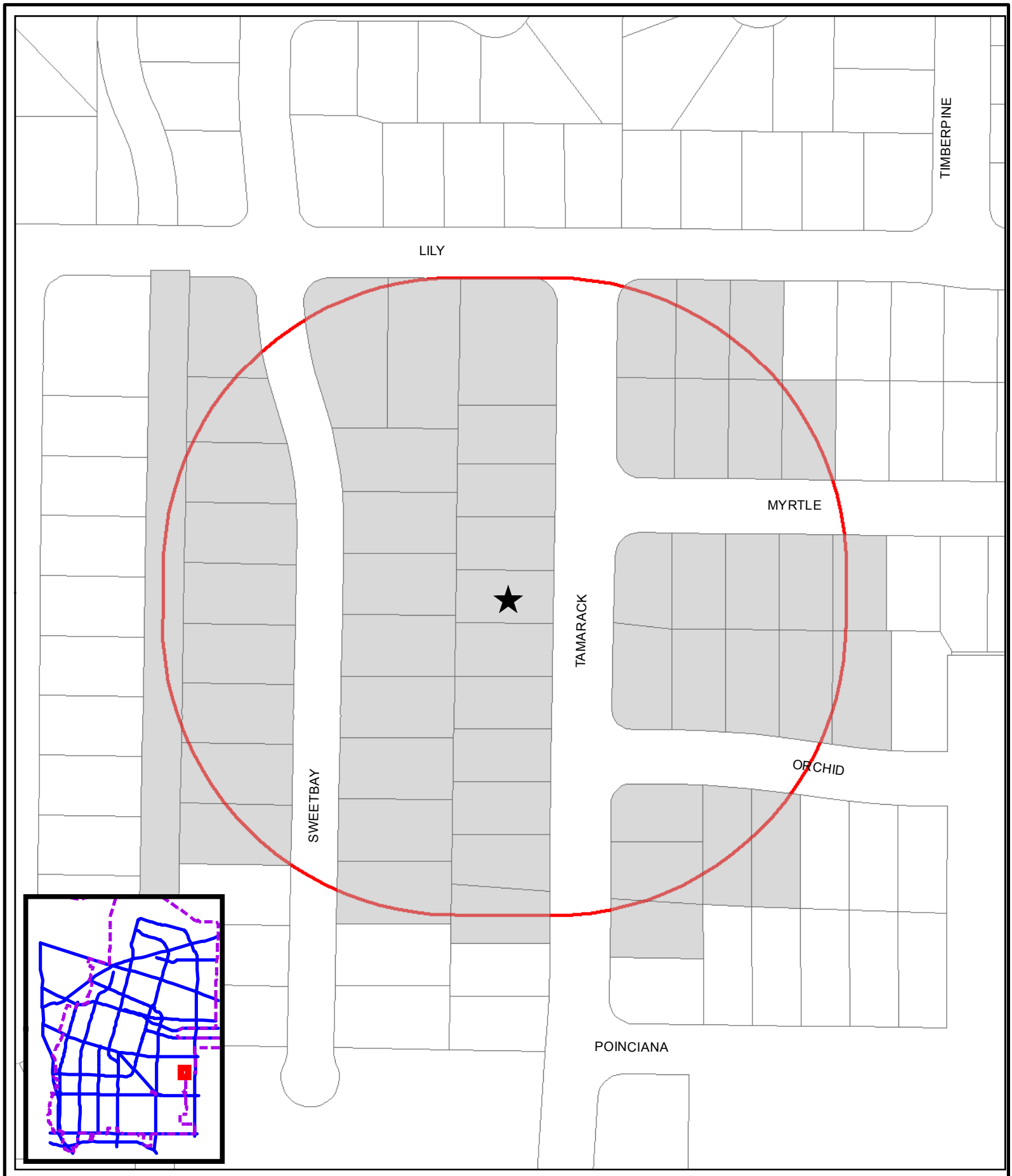
Recommend Alternative 1 in accordance with the Findings in Attachment 5 and Conditions of Approval in Attachment 7.

Prepared by: George Schroeder, Associate Planner
Approved by: Gerri Caruso, Principal Planner

ATTACHMENTS

1. Vicinity Map
2. Project Data Table
3. Gross Floor Area/FAR Comparison
4. Applicant's Description Letter
5. Recommended Findings
6. Neighbor's Email
7. Recommended Conditions of Approval
8. Site and Architectural Plans

ATTACHMENT 1



2015-7266
825 Tamarack Ln. (APN: 213-29-053) DESIGN REVIEW
300 foot Area Map

0 37.5 75 150 Feet

N W E S

PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Same
Zoning District	R0	Same	Same
Lot Size (s.f.)	5,529	Same	8,000 min.
Lot Width (linear ft.)	54’	Same	76’
Gross Floor Area (s.f.)	1,374	3,117	3,600 (Threshold for Planning Commission review)
Lot Coverage (%)	25% (1,374 s.f.)	35% (1,942 s.f.)	40% max.
Floor Area Ratio (FAR)	25%	56%	45% (Threshold for Planning Commission review)
Building Height (ft.)	Approx. 13’	26’	30’ max.
No. of Stories	One	Two	Two max.
Setbacks (Facing Property)			
Front (ft.)			
1st Floor	20’	20’	20’ min.
2nd Floor	N/A	25’6”	25’ min.
Left Side (ft.)			
1st Floor	5’	5’	4’ min.
2nd Floor	N/A	8’4”	7’ min.
Right Side (ft.)			
1st Floor	15’	8’9”	7’ min.
2nd Floor	N/A	8’9”	10’ min. – see total
Side Total (ft.)			
1st Floor	20’	13’9”	11’ min.
2nd Floor	N/A	17’1”	17’ min.
Rear (ft.)			
1st Floor	21’	20’1”	20’ min.
2nd Floor	N/A	20’1”	20’ min.
Parking			
Total Spaces	4	4	4 min.
Covered Spaces	2	2	2 min.

Immediate Neighborhood

APN	#	Street	Lot Size	Living Area	Garage	Stories	GFA	FAR	Notes
21329076	805	Tamarack	6,755	2,629	400	2	3,029	45%	54% 2nd/1st Fl. Ratio
21329077	809	Tamarack	6,313	2,441	400	2	2,841	45%	45% 2nd/1st Fl. Ratio
21329069	813	Tamarack	6,109	2,756	427	2	3,183	52%	High FAR, 30% 2nd/1st Fl. Ratio
21329051	817	Tamarack	5,529	1,532	400	2	1,932	35%	39% Approx. 2nd/1st Fl. Ratio
21329052	821	Tamarack	5,529	1,039	400	1	1,439	26%	
21329054	829	Tamarack	5,529	1,039	400	1	1,439	26%	
21329055	833	Tamarack	5,529	1,039	400	1	1,439	26%	
21329056	837	Tamarack	5,529	1,039	390	1	1,429	26%	
21329057	841	Tamarack	5,529	1,039	400	1	1,439	26%	
21329058	845	Tamarack	5,843	1,857	400	2	2,257	39%	54% 2nd/1st Fl. Ratio
21329059	849	Tamarack	5,560	1,039	400	1	1,439	26%	
21329060	853	Tamarack	5,508	1,039	400	1	1,439	26%	
21329061	857	Tamarack	5,508	1,039	400	1	1,439	26%	
21330030	816	Tamarack	5,914	1,549	400	1	1,949	33%	
21330031	808	Tamarack	5,914	2,646	400	2	3,046	52%	FAR > 50%, 50% 2nd/1st Fl. Ratio
21331006	1101	Poinciana	5,742	1,439	None	1	1,439	25%	
21331007	850	Tamarack	5,665	1,039	400	1	1,439	25%	
21331008	846	Tamarack	6,036	1,039	400	1	1,439	24%	
21331009	840	Tamarack	5,728	1,439	190	1	1,629	28%	
21331020	830	Tamarack	5,928	1,383	None	1	1,383	23%	Low FAR
21331021	826	Tamarack	5,926	1,039	400	1	1,439	24%	
						Avgs	**1,834**	**31%**	

Toll Bros. 51-Lot SFR Development, Approx 600' to the Northeast (Completed 2013)

APN	#	Street	Lot Size	Living Area	Garage	Stories	GFA	FAR	Notes
21312035	702	Timberpine	6,130	3,106	441	2	3,547	58%	
21312036	706	Timberpine	6,000	3,089	427	2	3,516	59%	
21312037	710	Timberpine	6,000	3,106	441	2	3,547	59%	
21312038	714	Timberpine	6,000	3,089	427	2	3,516	59%	
21312039	718	Timberpine	6,000	3,106	441	2	3,547	59%	
21312040	722	Timberpine	6,000	3,087	454	2	3,541	59%	
21312041	726	Timberpine	6,000	3,087	454	2	3,541	59%	
21312042	730	Timberpine	6,000	3,106	441	2	3,547	59%	
21312043	734	Timberpine	6,000	3,087	454	2	3,541	59%	
21312044	738	Timberpine	6,000	3,087	454	2	3,541	59%	
21312045	742	Timberpine	6,000	3,106	441	2	3,547	59%	
21312046	746	Timberpine	6,000	3,089	427	2	3,516	59%	
21312047	750	Timberpine	6,609	3,087	454	2	3,541	54%	
21312048	751	Torreya	6,555	3,087	441	2	3,528	54%	
21312049	747	Torreya	6,000	3,106	441	2	3,547	59%	
21312050	743	Torreya	6,000	3,087	454	2	3,541	59%	
21312051	739	Torreya	6,000	3,089	427	2	3,516	59%	
21312052	735	Torreya	6,000	3,087	454	2	3,541	59%	
21312053	731	Torreya	6,000	3,089	427	2	3,516	59%	
21312054	727	Torreya	6,000	3,087	454	2	3,541	59%	
21312055	723	Torreya	6,000	3,089	441	2	3,530	59%	
21312056	719	Torreya	6,000	3,106	441	2	3,547	59%	

21312057	715	Torreya	6,000	3,089	427	2	3,516	59%	
21312058	711	Torreya	6,000	3,106	441	2	3,547	59%	
21312059	707	Torreya	6,000	3,089	427	2	3,516	59%	
21312060	703	Torreya	6,070	3,119	454	2	3,573	59%	
21312061	750	Torreya	6,395	3,087	454	2	3,541	55%	
21312062	746	Torreya	6,000	3,089	427	2	3,516	59%	
21312063	742	Torreya	6,000	3,106	441	2	3,547	59%	
21312064	738	Torreya	6,000	3,106	441	2	3,547	59%	
21312065	734	Torreya	6,000	3,089	427	2	3,516	59%	
21312066	730	Torreya	6,000	3,087	454	2	3,541	59%	
21312067	726	Torreya	6,000	3,089	427	2	3,516	59%	
21312068	722	Torreya	6,000	3,087	454	2	3,541	59%	
21312069	718	Torreya	6,000	3,106	441	2	3,547	59%	
21312070	714	Torreya	6,000	3,089	427	2	3,516	59%	
21312071	710	Torreya	6,000	3,087	454	2	3,541	59%	
21312072	1150	Dahlia	6,545	3,087	454	2	3,541	54%	
21312073	1154	Dahlia	6,031	3,106	441	2	3,547	59%	
21312074	1158	Dahlia	7,050	3,087	454	2	3,541	50%	
21312075	711	Toyon	6,019	3,089	427	2	3,516	58%	
21312076	715	Toyon	6,019	3,089	427	2	3,516	58%	
21312077	719	Toyon	6,020	3,087	454	2	3,541	59%	
21312078	723	Toyon	6,020	3,106	441	2	3,547	59%	
21312079	727	Toyon	6,020	3,089	427	2	3,516	58%	
21312080	731	Toyon	6,020	3,106	441	2	3,547	59%	
21312081	735	Toyon	6,021	3,087	454	2	3,541	59%	
21312082	739	Toyon	6,021	3,106	441	2	3,547	59%	
21312083	743	Toyon	6,021	3,089	427	2	3,516	58%	
21312084	747	Toyon	6,022	3,087	454	2	3,541	59%	
21312085	751	Toyon	6,264	3,087	454	2	3,541	57%	
						Avgs	**3,536**	**58%**	

Averages for both neighborhoods	**2,685**	**45%**

Attachment 4

To: Sunnyvale Planning Commission July 9, 2015

Dear Commissioners,

We, the Avagyan family, would like to rebuild our house to gain more space.

We are a large family and we plan to grow even more. We plan to have 4 children and we are successfully executing on that plan. We have one year old son, another child is already on the way, and two more children are planned. Also, our elderly retired parents live with us. For that reason, we need additional space to accommodate the growing demands of our family.

The proposed house goes slightly above the recommended FAR. Yet, we feel it will fit our neighborhood for the following reasons:

1) We are exceeding minimum setbacks.
2) There are no deviations from City regulations or zoning.
3) 813 Tamarack Lane, located 100 feet away on our side of the street, was approved for 3,176 sqft.
4) The most recent Design Review approved by the Commission within the vicinity is located 400 feet away on 1124 Lily Avenue. On April 28, 2014, the Planning Commission approved a first and second story addition, resulting in a 55% FAR.
5) Subdivision of 51 homes by Toll Brothers, located 500 feet away, were approved for 63-64% FAR.
6) Our street is in a welcome and long-awaited transition toward a more beautiful condition. 3 new houses with very similar size, plate heights, and design were built just within the past year, 2 of them on our side of the street. 805 Tamarack (3,029 sqft), and 808 Tamarack (3,045 sqft). (170 ft away)

While on paper, the FAR is slightly above the recommended, in actuality, the proposed house will have the same size, plate height, and design as the other 3 houses built on our street within the past year. These houses are 170 feet away from us. In fact, it is the same cookie-cutter design and build. The only difference is that we are disadvantaged by a substandard lot size.

We were glad the other 3 houses got approved, which made our street more beautiful. As homeowners vs. investors, we tried to pay close attention to design elements of the facade, which, while costlier for us, would make our street even prettier and coherent with the times and increase our neighboring houses' values. In fact, after the public notice went up, several of our immediate neighbors came up to us and expressed their admiration of the design, size, height, and quality, and appreciation of what we are doing for our street and their houses' values.

Thank you for your time and assistance with this matter.

Sincerely yours,

The Avagyan Family

825 Tamarack Lane, Sunnyvale, CA 94086

RECOMMENDED FINDINGS

Design Review

The proposed project is desirable in that the project's design and architecture complies with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns	As with other homes in the vicinity, the proposed residence is oriented with its front entry facing Tamarack Lane with an entry roof feature consistent with other new two-story homes in the neighborhood. ***Finding Met***
2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.	With the recommended conditions in place, staff would find that the proposed home respects the scale, bulk, and character of homes in the neighborhood since the total floor area ratio, second floor, and plate heights would be reduced to be more consistent with the neighborhood pattern. Moreover, the project design uses measures to reduce the mass and bulk of the home through varied setbacks, second floor wall offsets, a lower pitch second floor roof, and first floor rooflines to visually delineate the first and second floor in key locations. ***Finding Met***
2.2.3 Design homes to respect their immediate neighbors	The proposed residence complies with code requirements related to height, setbacks, and solar shading. As conditioned, the project would be designed to respect immediate neighbors with conditions to reduce the overall size of the project, size of the second floor, plate heights, and interior volume. ***Finding Met***
2.2.4 Minimize the visual impacts of parking.	The parking layout is consistent with the prevailing neighborhood pattern and is well balanced on the front elevation. ***Finding Met***
2.2.5 Respect the predominant materials and character of front yard landscaping.	The modifications proposed to the front yard landscaping are required to meet the City's Landscaping Ordinance and would be consistent with the design of other new homes in the neighborhood. ***Finding Met***
2.2.6 Use high quality materials and craftsmanship	The proposed design uses high quality stucco, window trim, roof material, and stone wainscoting elements. ***Finding Met***
2.2.7 Preserve mature landscaping	No protected trees will be removed as part of this project. ***Finding Met***

Attachment 6
Page 1 of 1

George Schroeder <gschroeder@sunnyvale.ca.gov>

825 tamarack

marlyne andrade [redacted] Thu, Jul 2, 2015 at 1:19 PM
Reply-To: marlyne andrade [redacted]
To: "gschroeder@sunnyvale.ca.gov" <gschroeder@sunnyvale.ca.gov>

Thank you George for speaking with me yesterday regarding the construction of 825 Tamarack.
I will be gone on the evening that the planning commission is meeting to discuss this property but would like you to voice my concern.
Do the owner's plans include demolishing/removing the huge tree in the front yard to the right of the property? I have the house to the right and this tree's roots have crept and invaded my property that I cannot in any way have a landscape of any kind. I invite you and any commission member to visit the property and see this invasion of tree roots. I call them knuckles as they are above ground and release growth that prevents any kind of normal landscaping.
These roots and knuckles have impeded my sewer line that after numerous roto-router call outs, I had to replace the entire sewer line. The line was strangled with roots that it ripped holes in the pipe that it could not hold any sewage.
These roots are all over 825's front yard that the growth is readily visable if not maintained. To see how disasterous this tree is, growth can easily be seen even in the back yards of these two properties and in the city sidewalk out front.
This tree does not belong in a residential neighborhood.
I have been dealing with this tree for years, with various owners of the property with no helpful solutions. I have even offered to help pay for its removal.
Let me know George if I need to do anything more to have this tree part of the demolition.
Thank you.
Marlyne Andrade
821 Tamarack
[redacted]

RECOMMENDED CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS
JULY 13, 2015

Planning Application 2015-7266
825 Tamarack Lane
Design Review for a new two-story single-family home resulting in 3,117 square feet (2,717 square feet of living area and a 400 square-foot two-car garage) and 56% floor area ratio. The existing 1,374 square foot one-story single-family home will be demolished.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:
All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:
The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior

to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. TITLE 25:

Provisions of Title 25 of the California Administrative Code shall be satisfied with dependence on mechanical ventilation. [SDR] [BUILDING]

GC-4. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS] (SMC 13.08.030, SMC 13.08.60 and SMC 13.08.070)

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. TOTAL FLOOR AREA RATIO REDUCTION:

The applicant shall work with Planning staff to reduce the total project floor area ratio (FAR) to 50% of the lot area or less, consistent with other recently constructed two-story homes in the neighborhood. [COA] [PLANNING]

PS-2. SECOND TO FIRST FLOOR AREA RATIO REDUCTION:

The applicant shall work with Planning staff to reduce the size of the second floor to 50% of the first floor (including garage), consistent with other recently constructed two-story homes in the neighborhood. Consideration towards meeting this requirement shall be given to deleting the second floor open to below area/high volume space above the dining room. [COA] [PLANNING]

PS-3. FIRST AND SECOND FLOOR PLATE HEIGHT REDUCTION:

The applicant shall reduce the first floor plate height to 9 feet and shall reduce the second floor plate height to 8 feet in order to minimize mass and bulk. [COA] [PLANNING]

PS-4. LIVING ROOM ROOF FEATURE REDUCTION:

The applicant shall work with Planning staff to lower the living room roof feature to better align with the main first floor eaveline, and delete its gable roof feature, as it competes for space with the main entry feature on the front elevation. [COA] [PLANNING]

PS-5. SITE GRADING/TOTAL HEIGHT FROM TOP OF CURB:

The applicant shall work with staff to ensure that the building pad is designed in accordance with California Building Code requirements to the satisfaction of the City's Building Official. The total building height from the top of curb elevation shall not exceed 26 feet (as currently shown on the plans) in order to be consistent with other two-story homes in the neighborhood. Moreover, the finished floor elevation shall be the minimum required by the building code and consistent with the neighborhood character to minimize privacy impacts on adjacent properties. [COA] [PLANNING, BUILDING]

PS-6. SECOND STORY WINDOW PRIVACY MITIGATION MEASURES:
The right side (north) second story master bedroom window not required for egress shall be revised to have a window sill at least five feet above the finished floor for privacy mitigation purposes. Additionally, the two second story bathroom windows on the left side (south) not required for egress shall be revised to have obscured glass for privacy purposes. [COA] [PLANNING]

PS-7. EXTERIOR MATERIALS REVIEW:
Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:
Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:
A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:
The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. GREEN BUILDING:

The plans submitted for building permits shall demonstrate compliance with the CALGreen Mandatory Measures and achieve a minimum of 80 points on the Green Point Rated checklist. Project plans shall be accompanied with a letter from the project's Green Point Rater/LEED AP verifying the project is designed to achieve the required points. [COA] [PLANNING/BUILDING]

BP-5. LANDSCAPE PLAN:

If the new or modified landscaping area cumulatively exceeds 2,500 square feet, landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. New or modified landscaping area that cumulatively exceeds 1,000 square feet shall also comply with Sunnyvale Municipal Code Chapter 19.37 requirements. If the project is subject to the requirements of Chapter 19.37, landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). [COA] [PLANNING]

BP-6. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review.

a) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.

b) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-7. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.

b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides

and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.

c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.

d) Covered trash, food waste, and compactor enclosures.

e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:

   i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.

   ii) Dumpster drips from covered trash and food compactor enclosures.

   iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.

   iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.

   v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-8. CONSTRUCTION MATERIAL AND STAGING:

All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements. [SDR] [PUBLIC WORKS]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

PROJECT DATA:

ZONE: **R-0**
TYPE OF CONSTRUCTION: **V-B**
APN: **213-29-053**
ADDRESS: **825 TAMARACK LANE, SUNNYVALE, CA 94086-8326**
LOT: **102** of Assessor's Parcel Map Book 213, Page 29, Tract # 1458, Western Terrace Un. # 2, 57-M-52.
LOT AREA: **5529 SQ.FT**
EXISTING USE: **ONE STORY, SFD**
EXISTING LOT COVERAGE: **1 374 SQ.FT. (25%)**
PROPOSED LOT COVERAGE: **1 942 SQ.FT. (35%)**
PROPOSED USE: **SINGLE FAMILY MULTI-STORY**
BUILDING MAX HEIGHT: **28'** ABOVE TOP OF THE CURB VERIFY AND REFER TO LAW
(Sunnyvale Ordinance: no building or structure shall exceed 30 feet in height as measured from the top of curb)

SCOPE OF WORK:

- Demolish existing house and garage
- Proposed a single family two story house

AREA CALCULATIONS:

DESCRIPTION		SQFT
FIRST FLOOR	LIVING AREA	1542
FIRST FLOOR	GARAGE	400
SECOND FLOOR	LIVING AREA	1175
TOTAL		3117

DESCRIPTION	LOT AREA SQFT	ALLOWABLE PERCENTAGE	ALLOWABLE SQFT	ACTUAL SQFT	ACTUAL PERCENTAGE
BUILDING AREA	5529	NO MAX*	NO MAX*	3117	56.4%
LOT COVERAGE	5529	40%	2211.6	1942	35%

SETBACKS:

	REQUIRED		PROPOSED	
	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR
LEFT	5'	8'	5'	8'4"
RIGHT	5.86'	8.86'	8'9"	18'9"
FRONT	20'	25'	20'	25'6"
REAR	20'	20'	20'1"	20'1"

*NO MAX PER SUNNYVALE MUNICIPAL CODE

CODE EDITIONS:

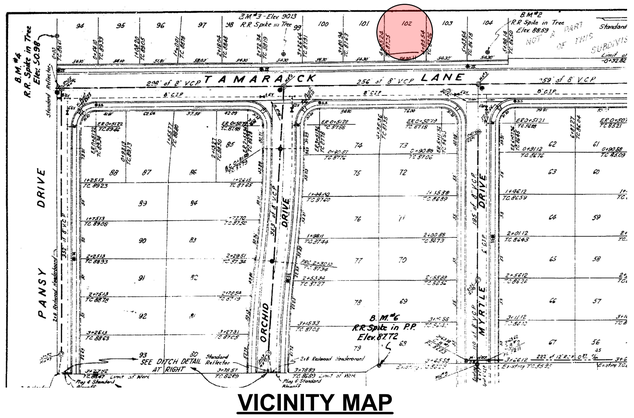
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ADMINISTRATIVE CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
2013 TITLE 24, PART 6, CALIFORNIA ENERGY CODE
2013 TITLE 24, HANDICAPPED ACCESSIBILITY REGULATIONS
SUNNYVALE MUNICIPAL CODE (SMC)
TITLE 19, CALIFORNIA CODE OF REGULATIONS
SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS

GENERAL NOTES:

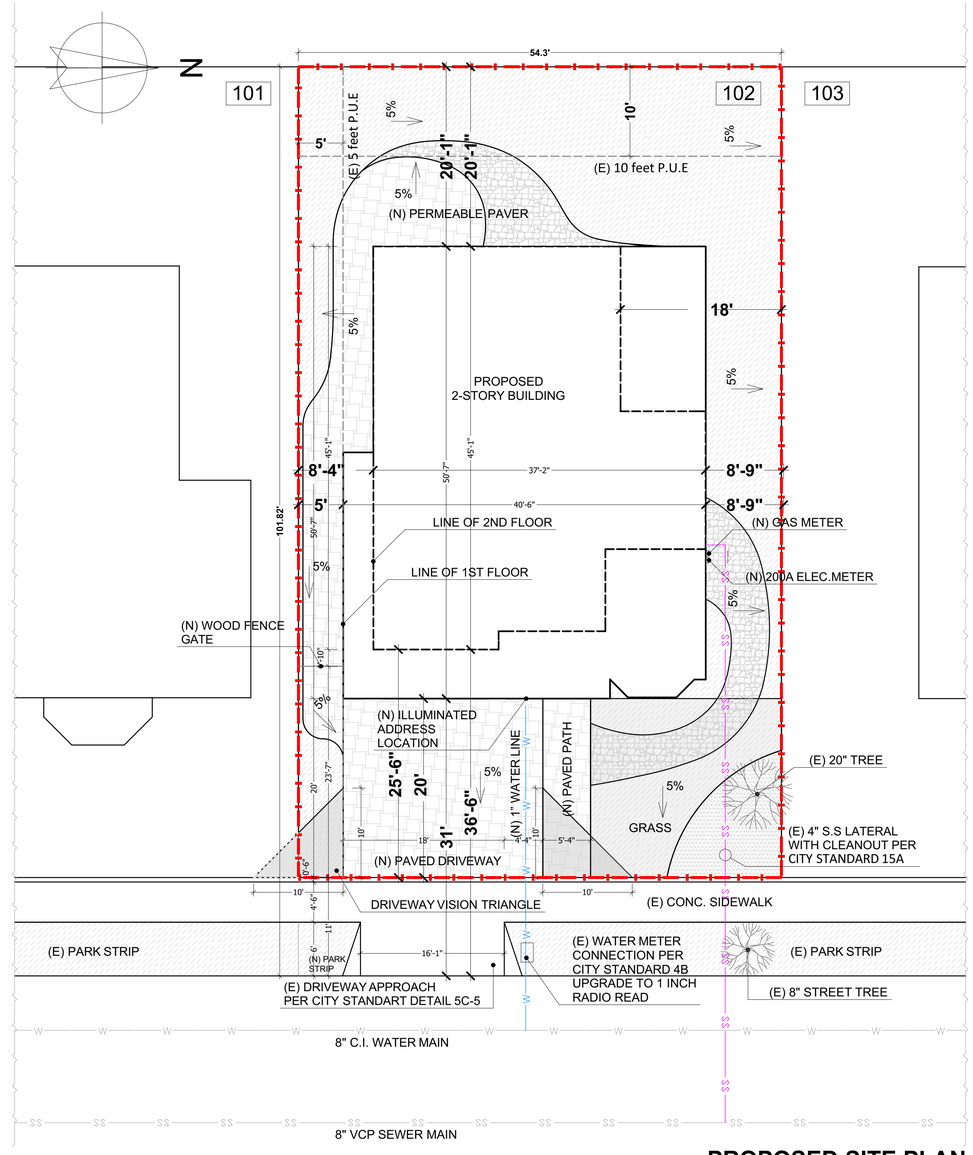
1. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL GRADES, DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING CONSTRUCTION. CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN IN THE PLANS OR SPECIFICATIONS, ALL PHASES OF WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2013 CRC CODE, LATEST ADDITION, AS WELL AS ALL APPLICABLE STATE AND LOCAL ORDINANCES AS ADOPTED BY THE CONTROLLING JURISDICTION.
3. THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN THE COMPLETED FORM. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES INCLUDE, BUT ARE NOT LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, AND SHORING FOR THE STRUCTURE.
4. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS AND/OR DETAILS. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO PROCEEDING. ANY WORK INSTALLED PRIOR TO AND/OR IN CONFLICT WITH SUCH CLARIFICATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
5. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS, INTERIOR AND EXTERIOR WALLS SHALL BE DETERMINED FROM THE ARCHITECTURAL DRAWINGS. OTHER FLOOR, WALL AND ROOF OPENINGS AS REQUIRED FOR MECHANICAL, ELECTRICAL AND/OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED.
6. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

7. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER DRAWINGS, AND ALL OTHER RELATED DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK, INCLUDING THAT OF THE SUBTRADES.
8. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER OF RECORD SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
9. ALL MATERIALS SHALL BE FURNISHED AS SHOWN HEREIN UNLESS ALTERNATES ARE APPROVED IN WRITING BY THE OWNER AND THE ENGINEER OF RECORD.
10. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUBCONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFICATION.
11. WHERE A DETAIL, SECTION OR NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO LIKE CASES OF CONSTRUCTION.
12. CONNECTIONS OF ALL ITEMS SUPPORTED BY THE STRUCTURE ARE THE RESPONSIBILITY OF THE DISCIPLINES WHO MAKE THESE ATTACHMENTS. REVIEW AND COORDINATE ALL THE REQUIREMENTS IN THE ARCHITECTS PROJECT SPECIFICATION AS APPLICABLE.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER INDICATED ON THE CONTRACT DRAWING OR NOT, AND TO PROTECT THEM FROM DAMAGE. REPAIR AND REPLACEMENT OF SAID WORK SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

14. VIBRATIONAL EFFECTS OF MECHANICAL AND/OR ANY OTHER EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER OF RECORD.
15. UNLESS NOTED OTHERWISE, ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE TO THE TOP OF BEAMS AND FOUNDATIONS. BEAMS DENOTED AS "DROP" HAVE THE TOP OF BEAM AT THE HEIGHT OF THE TOP PLATE. BEAMS DENOTED AS "FLUSH" HAVE THE BOTTOM OF BEAM AT THE HEIGHT OF THE TOP PLATE, U.N.O.
16. PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
17. A PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
18. A BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO ROOF NAIL INSPECTION.
19. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION. (2013 CMC 303.1 AND 2013 CPC 309.4)



VICINITY MAP



PROPOSED SITE PLAN

SCALE: 1/8"-1'

SHEET INDEX

1	PROJECT DATA; SITE PLAN; VISION TRIANGLE
2	EXISTING PLANS AND ELEVATIONS
3	PROPOSED FLOOR PLANS
4	PROPOSED ROOF PLANS
5	ARCHITECTURAL ELEVATIONS
6	BUILDING HEIGHT; STREETSCAPE ELEVATION
7	SHADOW STUDY AT 9:00 AM
8	SHADOW STUDY AT 3:00 PM
9	LANDSCAPING AND IRRIGATION SYSTEM
10	GREENPOINT RATED CHECKLIST

LEGEND

—I—I—I : PROPERTY LINE
P.U.E : PUBLIC UTILITY EASEMENT
*THE EASEMENTS SHALL BE KEPT OPEN AND FREE FROM BUILDINGS AND STRUCTURES OF ANY KIND

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

DRAWING TITLE: PROJECT DATA; SITE PLAN; VISION TRIANGLE

REV	DATE	DESCRIPTION
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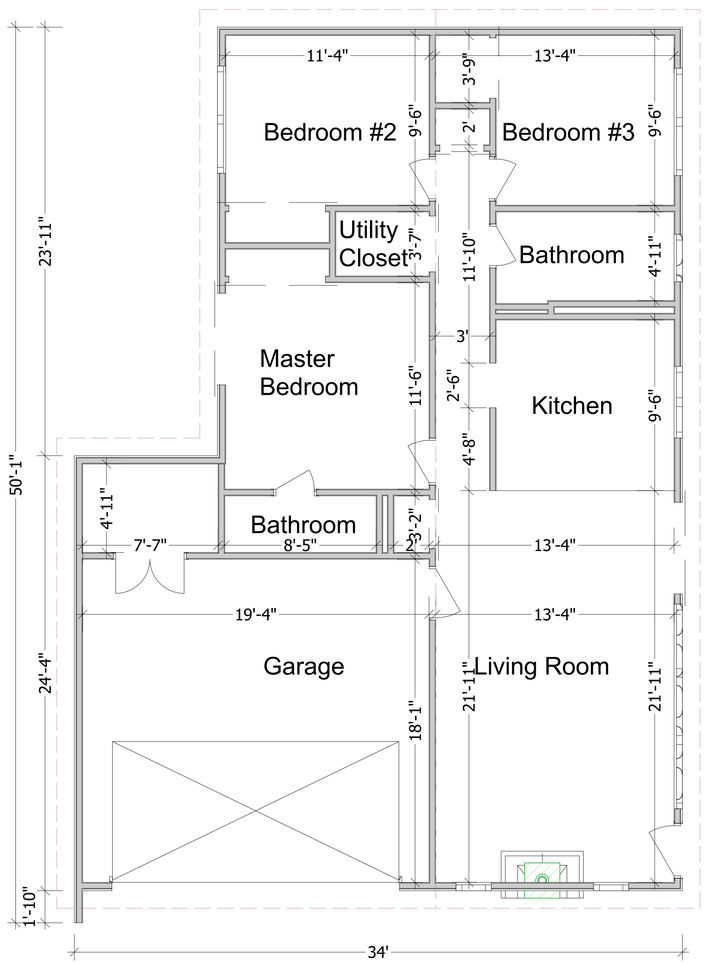
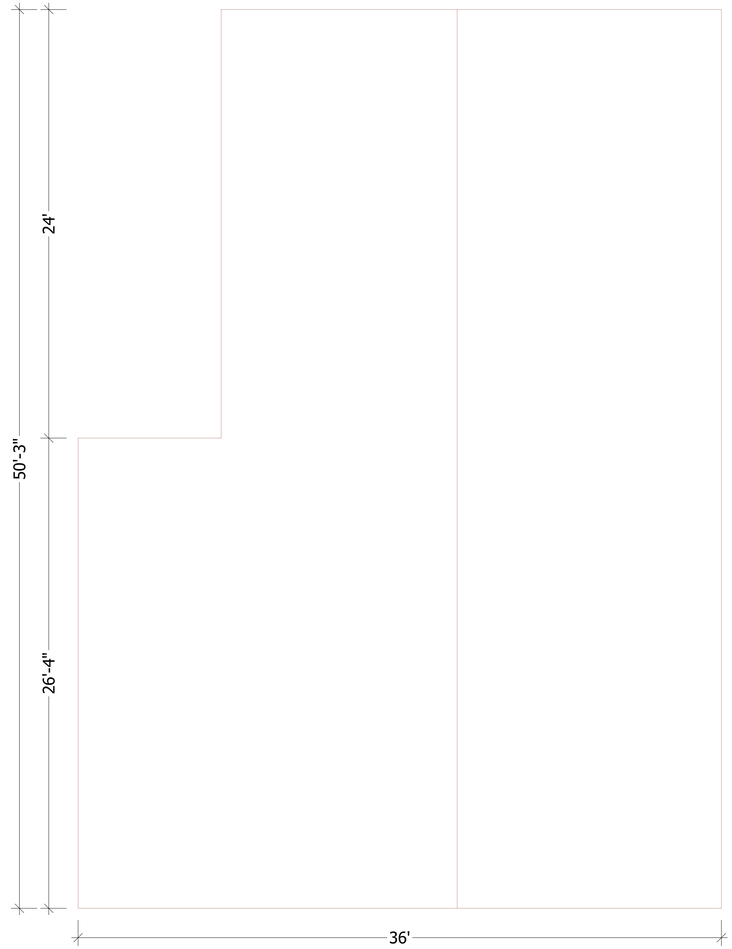
JOB NO.:
CAD FILE:
DSGN'D BY: B.A. | DRAWN BY: B.A.
CHK'D BY: B.A. | APP'D BY: B.A.
DATE: 06/22/2015 | SCALE: AS NOTED
SHEET NO: 1



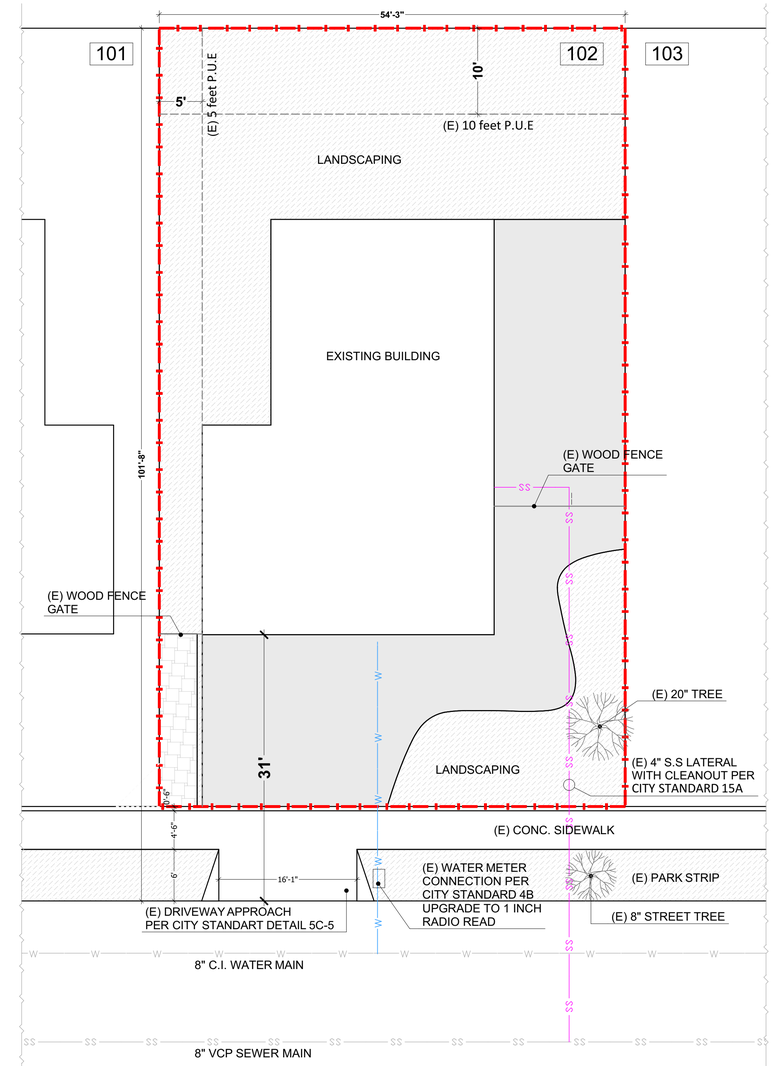
EXISTING FLOORPLAN

SCALE: 1/4"-1'



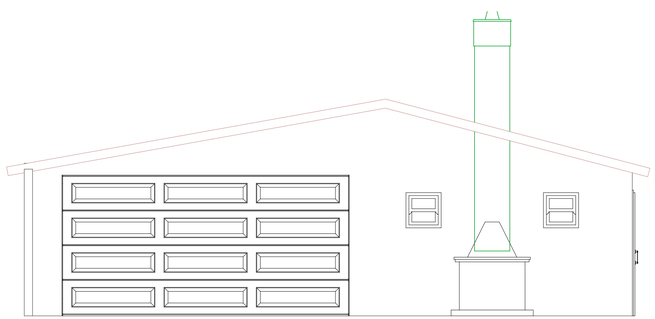
EXISTING ROOFPLAN

SCALE: 1/4"-1'



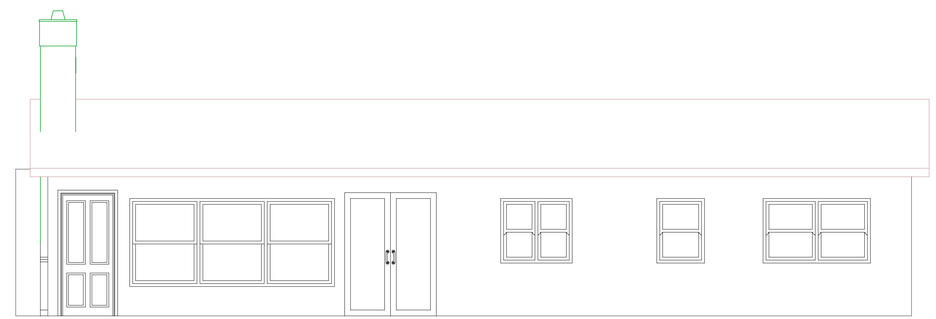
EXISTING SITE PLAN

SCALE: 1/8"-1'



EXISTING FRONT ELEVATION

SCALE: 1/4"-1'



EXISTING SIDE ELEVATION

SCALE: 1/4"-1'

DRAWN BY: BAKLAN ANTON

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825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

DRAWING TITLE: EXISTING PLANS AND ELEVATIONS

REV	DATE	DESCRIPTION
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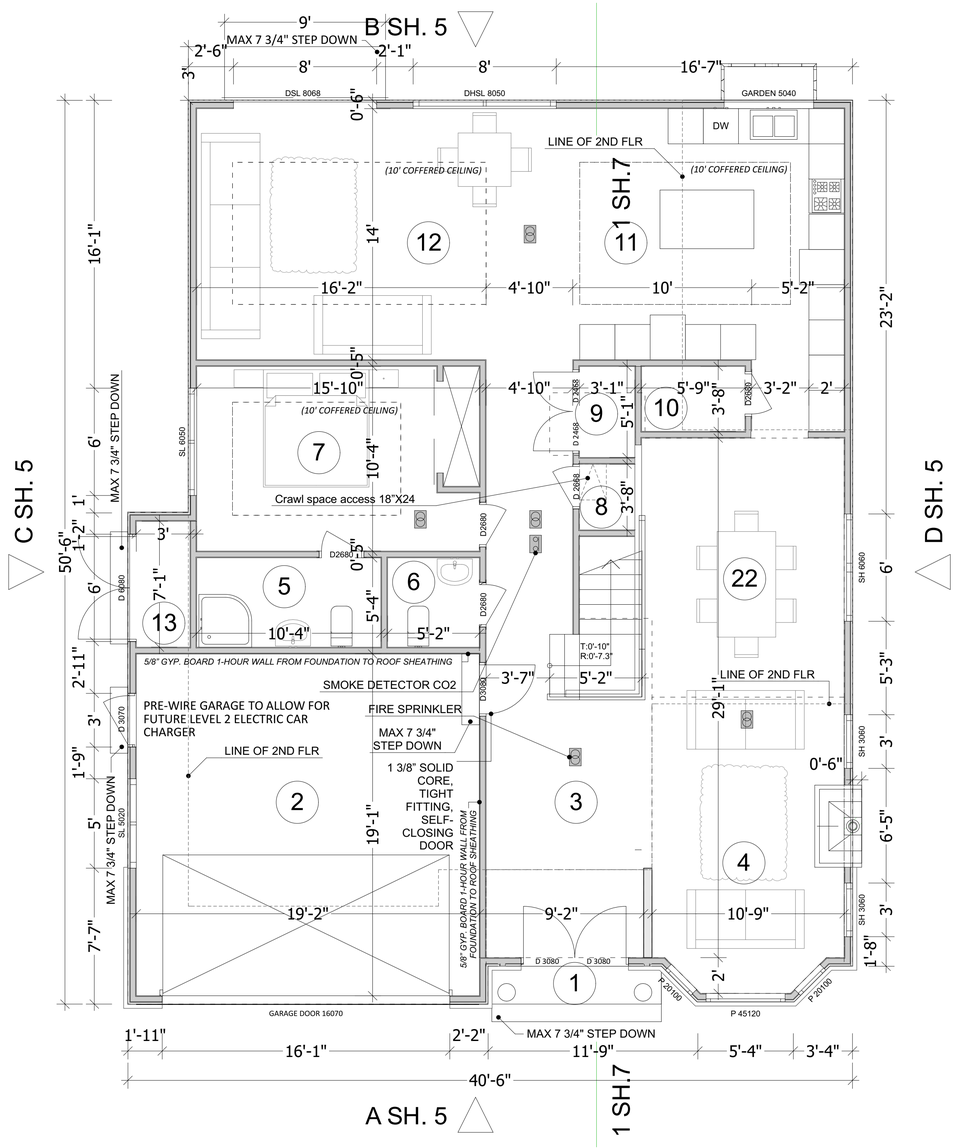
JOB NO.:
CAD FILE:

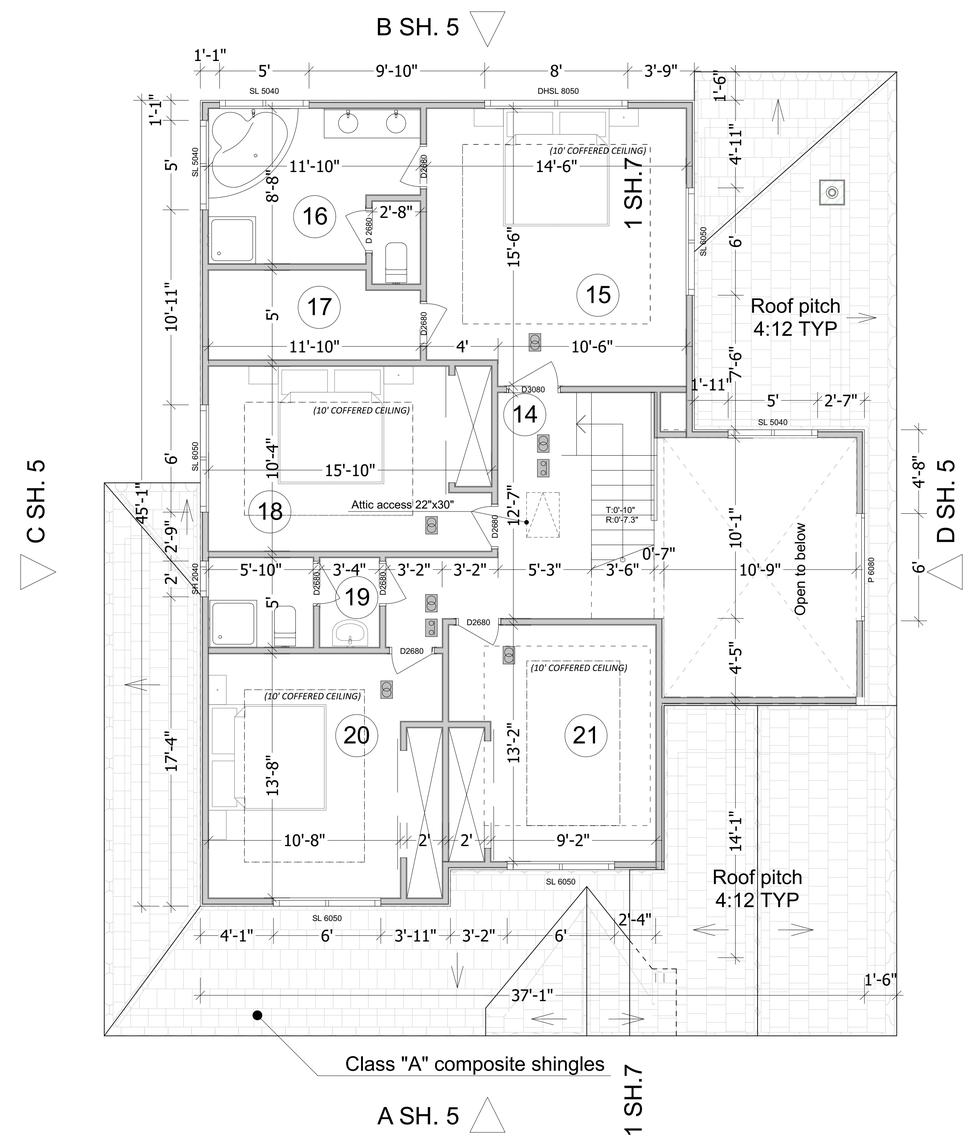
DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO: 2



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"-1'



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4"-1'

GENERAL NOTES:

- ALL WINDOWS MUST HAVE DUAL GLASS PANE.
- DRYER VENT DUCT SHALL BE 4" (102 MM) WITH A MAXIMUM RUN OF 14' (4267 MM), INCLUDING TWO 90-DEGREE ELBOWS [2013 CMC 504.3.1.2]. AND SHALL HAVE A BACK DRAFT DAMPER. [2013 CMC 504.1] DRYER VENTS MUST TERMINATE AT THE EXTERIOR. CLOTHES DRYER EXHAUST DUCTS, SHALL TERMINATE 3' FROM PROPERTY LINES AND 3' FROM ANY OPENINGS INTO THE BUILDING. [2013 CMC 504.5]
- THE WINDOWS AT BEDROOMS SHALL BE EGRESS WINDOWS. THE MINIMUM NET CLEAR OPENABLE AREA OF THE WINDOW SHALL TOTAL 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24 INCHES AND MINIMUM NET CLEAR OPENABLE WIDTH OF 20 INCHES. [2013 CRC SECTION R310]
- A HOSE BIBB WITH ANTI-BACK-FLOW DEVICE IS REQUIRED AT FRONT AND REAR OF THE HOUSE.
- PER TITLE 24 CALCULATIONS, R-38 INSULATION IS REQUIRED IN ATTIC.
- ALL UNDER-FLOOR CLEANOUTS SHALL BE EXTENDED TO THE EXTERIOR OF THE BUILDING IF LOCATED MORE THAN 20' FROM THE UNDER-FLOOR ACCESS. [2013 CPC 707.09]
- A NON-REMOVABLE BACKFLOW PREVENTER OR BIBB-TYPE VACUUM BREAKER WILL BE INSTALLED ON ALL EXTERIOR HOSE BIBS. [2013 CPC 603.5.7]
- THE KITCHEN VENT-A-HOOD SHALL VENT TO THE OUTSIDE OF THE BUILDING, OR PROVIDE OTHER KITCHEN EXHAUST TO COMPLY WITH 2013 ENERGY STANDARD.
- THE EXTERIOR LANDING FOR ALL IN-SWINGING OR SLIDING DOORS SHALL NOT BE MORE THAN 7-3/4" FROM TOP OF THRESHOLD. [2013 CRC SECTION R311.3.2]

10. UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. [2013 CMC 916.1(B)]
11. THE AIR CONDITIONING REFRIGERANT LINES MUST BE PROTECTED FROM UV DETERIORATION. (2013 CALIFORNIA ENERGY CODE 150M9)
12 ALL JOINTS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED MATERIAL MEETING THE ULI81 STANDARD. (CALIFORNIA ENERGY CODE 150M2D)

BATHROOM NOTES:

1. SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- BATH TUB: MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.
- ULTRA LOW FLUSH TOILET (1.28 GALLONS/FLUSH) AT ALL NEW BATHROOMS (CPC 2013 SECTION 402.2.1)
- FINISH BACKING MATERIAL AND WATERPROOFED MATERIAL AT SHOWER/BATHTUB WALL SHALL BE CEMENTITOUS MATERIAL OR GUPSUM BOARD APPROVED FOR THIS INSTALLATION. WATER RESISTANT GYPSUM BOARD UNDER GLUE-ON TILE IS NOT ALLOWED.
- SHOWER:
  - SHOWER DOORS MUST BE AT LEAST 22" WIDE [2013 CPC 408.5].
  - SHOWERS MUST HAVE WATERPROOF WALL FINISH UP AT LEAST 70" ABOVE THE FLOOR. [2013 CRC SECTION 307.2]
  - GLASS SHOWER AND TUB ENCLOSURE MUST BE SAFETY GLAZING.[2013 CRC SECTION 308.4.5]
6 THE BATHTUB WASTE OPENING IN THE FLOOR OVER THE CRAWL SPACE SHALL BE PROTECTED BY A METAL COLLAR OR SCREEN NOT EXCEEDING 1/2" OR A SOLID COVER. (2013 CPC 312.12.3)

VENTILATION NOTES:

-A MINIMUM OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING WITH ADEQUATE CROSS VENTING FOR VAULTED CEILING.
- THE ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30". A THIRTY-INCH MINIMUM CLEAR HEAD ROOM SHALL BE PROVIDED ABOVE THE ATTIC ACCESS. ATTIC ACCESS SHALL BE LOCATED AT A READILY ACCESSIBLE LOCATION.
- MECHANICAL VENTILATION IS NOT LESS THAN 6 AIR CHANGES PER HOUR TYPE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS. (CRC 2013 SECTION R806).

4 IF AIR DUCTS WILL BE INSTALLED IN AN UNDER-FLOOR CRAWL SPACE, THEY SHALL NOT PREVENT ACCESS TO THE CRAWL SPACE AND SHALL MAINTAIN A MINIMUM 4" VERTICAL CLEARANCE FROM EARTH. (2013 CMC 604.1 AND 604.2)

WATER HEATER NOTES:

1. THE WATER HEATER WILL HAVE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER UNIT AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP MUST BE LOCATED AT LEAST 4" AWAY FROM THE WATER HEATER CONTROLS. (2013 CPC 507.2)

2 THE WATER HEATERS PRESSURE/TEMPERATURE (P/T) RELIEF VALVE SHALL BE GALVANIZED STEEL, HARD-DRAWN COPPER, OR CPVC. THE VALVE SHALL BE DRAINED TO THE EXTERIOR OF THE BUILDING, TERMINATE TOWARD THE GROUND MAINTAINING BETWEEN 6" AND 24" OF CLEARANCE FROM THE GROUND, AND POINT DOWNWARD. THE DIAMETER OF THE VALVE OPENING (GENERALLY 3/4") MUST BE MAINTAINED TO THE TERMINATION OF THE DRAIN. [2013 CPC 507.5 AND 608.5]

- THE ENTIRE LENGTH OF HOT WATER PIPES SHALL BE INSULATED. [2013 CALIFORNIA ENERGY CODE SECTION 150 (J)]
- THE HOT WATER PIPE FROM THE WATER HEATER TO THE KITCHEN WILL BE INSULATED. [2013 CALIFORNIA ENERGY CODE SECTION 150 (J)]

5 ALL PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 6" ABOVE ROOF NOR LESS THAN 1' FROM ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN ICY FROM OR 3' ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT NOR 3' FROM LOT LINE. (2013 CPC 906).

6 IF THE WATER PRESSURE EXCEEDS 80 PSI, AND EXPANSION TANK AND AN APPROVED PRESSURE REGULATOR SHALL BE INSTALLED. (2013 CPC 608.2)

№	Name	№	Name	№	Name
1	Covered porch	8	Closet	15	Master Bedroom
2	2-car garage	9	Laundry	16	Bathroom
3	Foyer	10	Pantry	17	Walk In Closet
4	Living room	11	Kitchen	18	Bedroom
5	Bathroom	12	Family room	19	Bathroom
6	WC	13	Utility room	20	Bedroom
7	Guest room	14	Hallway	21	Bedroom
				22	Formal Dining Room

LEGEND

: FIRE SPRINKLER

: SMOKE DETECTOR CO2

DRAWN BY: BAKLAN ANTON

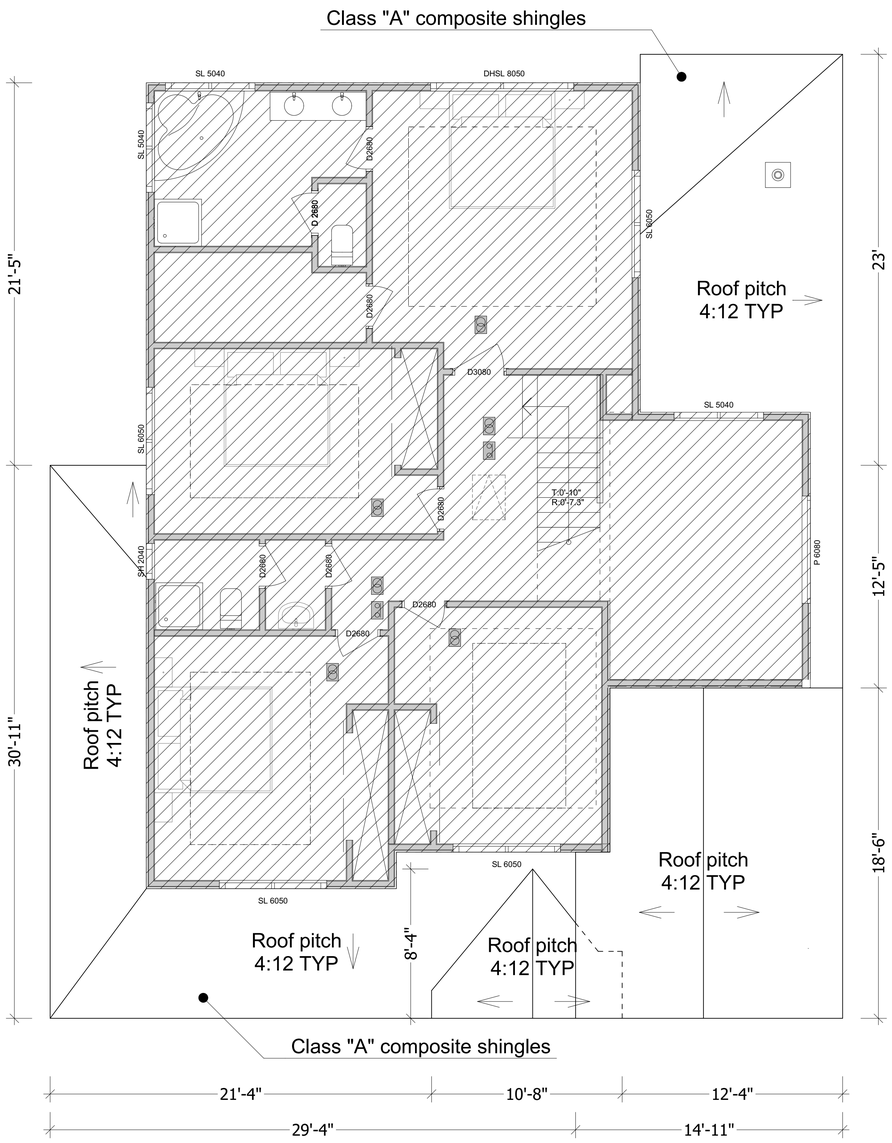
MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

DRAWING TITLE: PROPOSED FLOOR PLANS

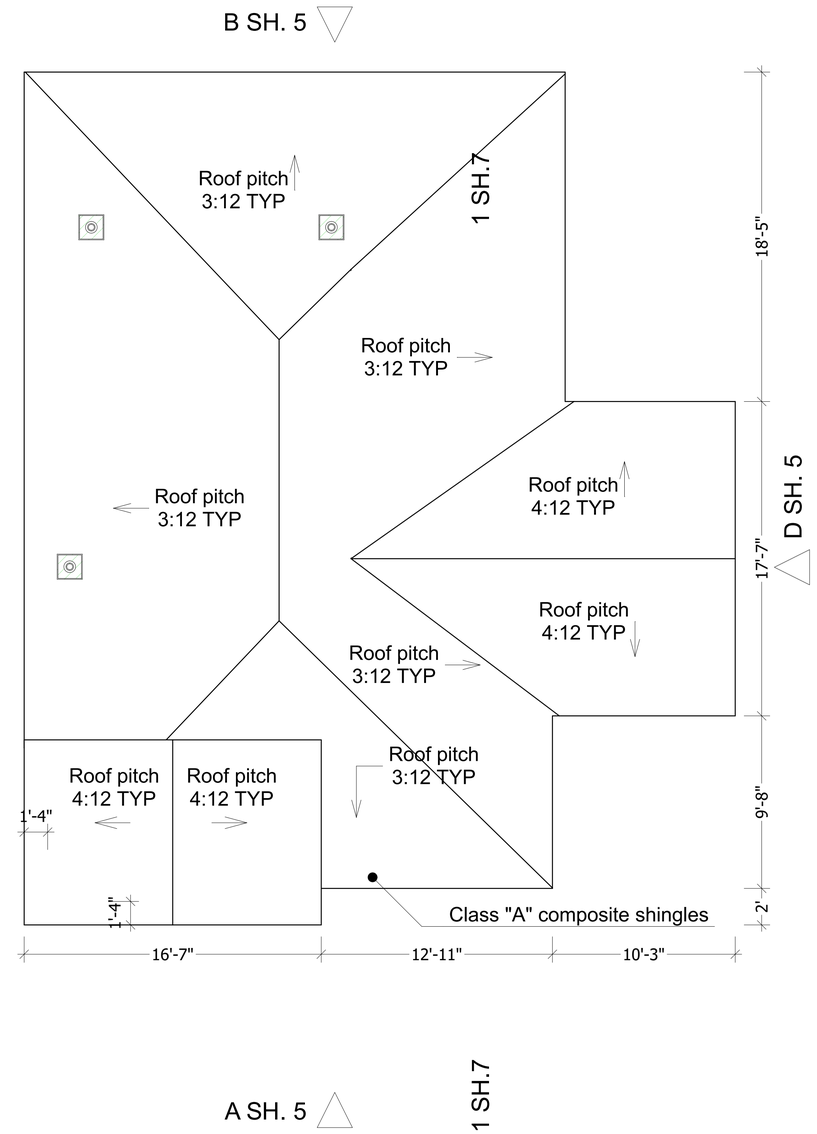
REV	DATE	DESCRIPTION

JOB NO.:
CAD FILE:
DSGN'D BY: B.A.
DRAWN BY: B.A.
CHK'D BY: B.A.
APP'D BY: B.A.
DATE: 06/22/2015
SCALE: AS NOTED
SHEET NO: 3



PROPOSED ROOF PLAN (1st floor)

SCALE: 1/4"-1'



PROPOSED ROOF PLAN (2nd floor)

SCALE: 1/4"-1'

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

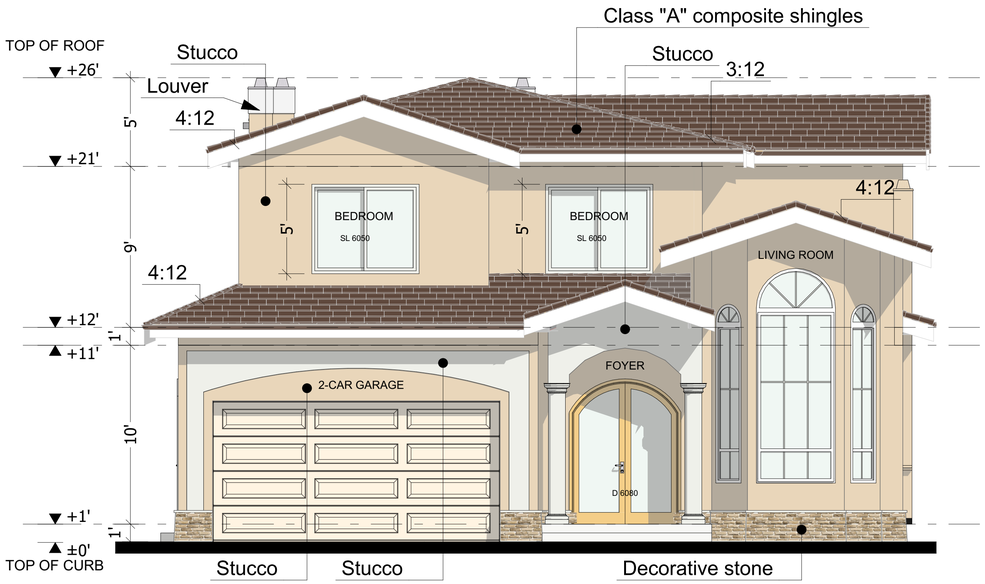
DRAWING TITLE: PROPOSED ROOF PLANS

REV	DATE	DESCRIPTION

JOB NO.:
CAD FILE:

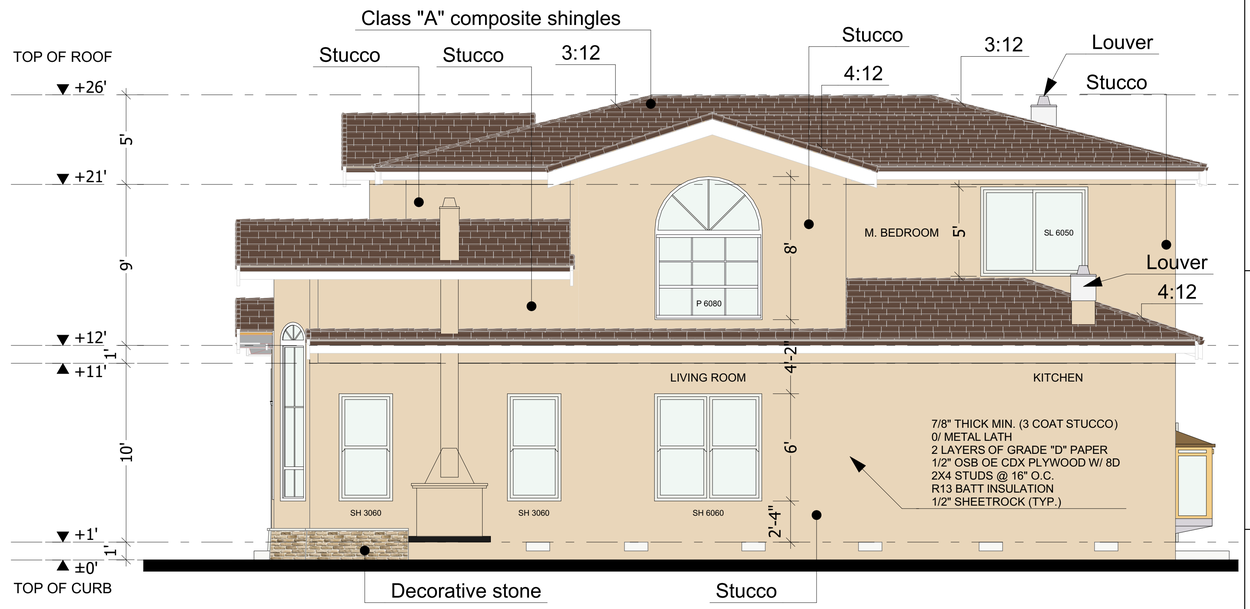
DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO: 4



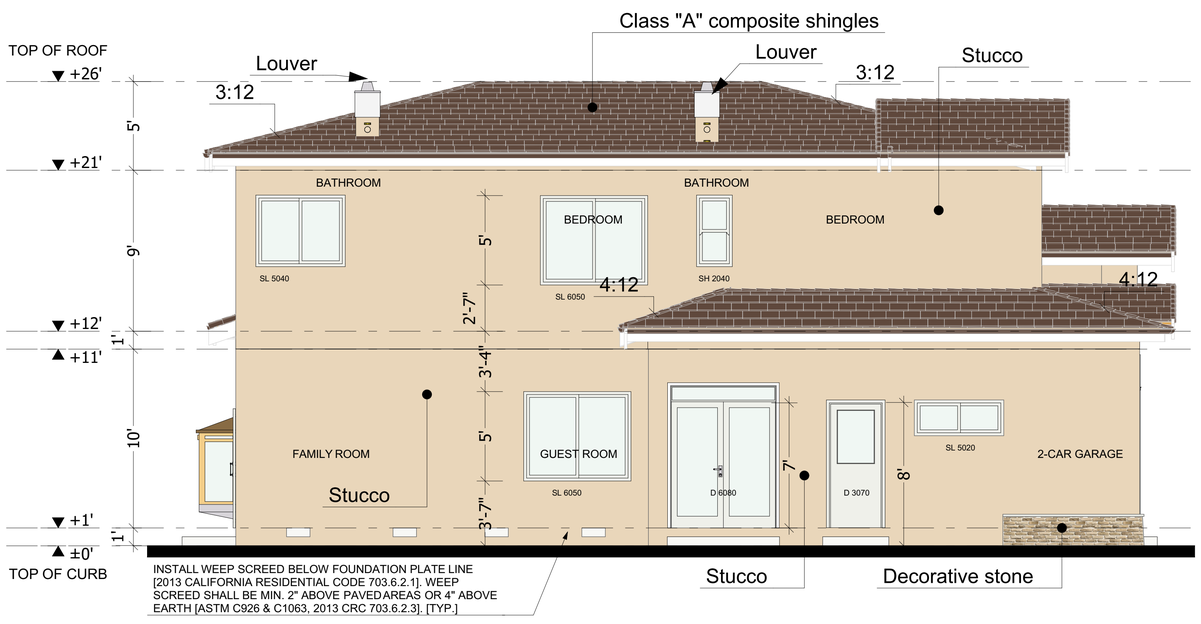
ELEVATION A (FRONT)

SCALE: 1/4"-1'



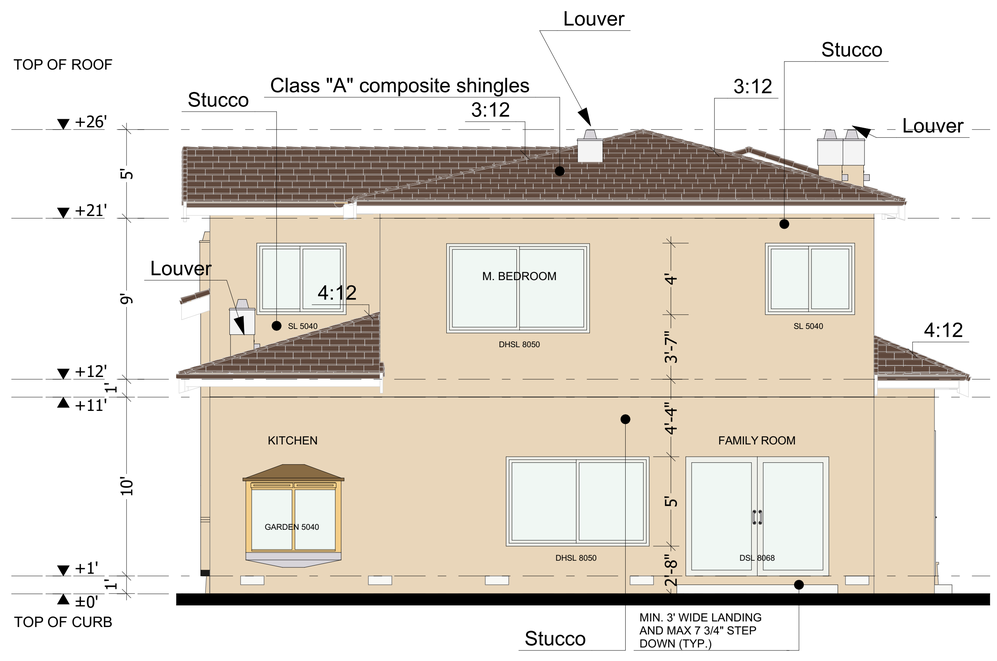
ELEVATION D (RIGHT)

SCALE: 1/4"-1'



ELEVATION C (LEFT)

SCALE: 1/4"-1'



ELEVATION B (REAR)

SCALE: 1/4"-1'

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825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: **CUSTOM HOME**

DRAWING TITLE: ARCHITECTURAL ELEVATIONS

REV	DATE	DESCRIPTION
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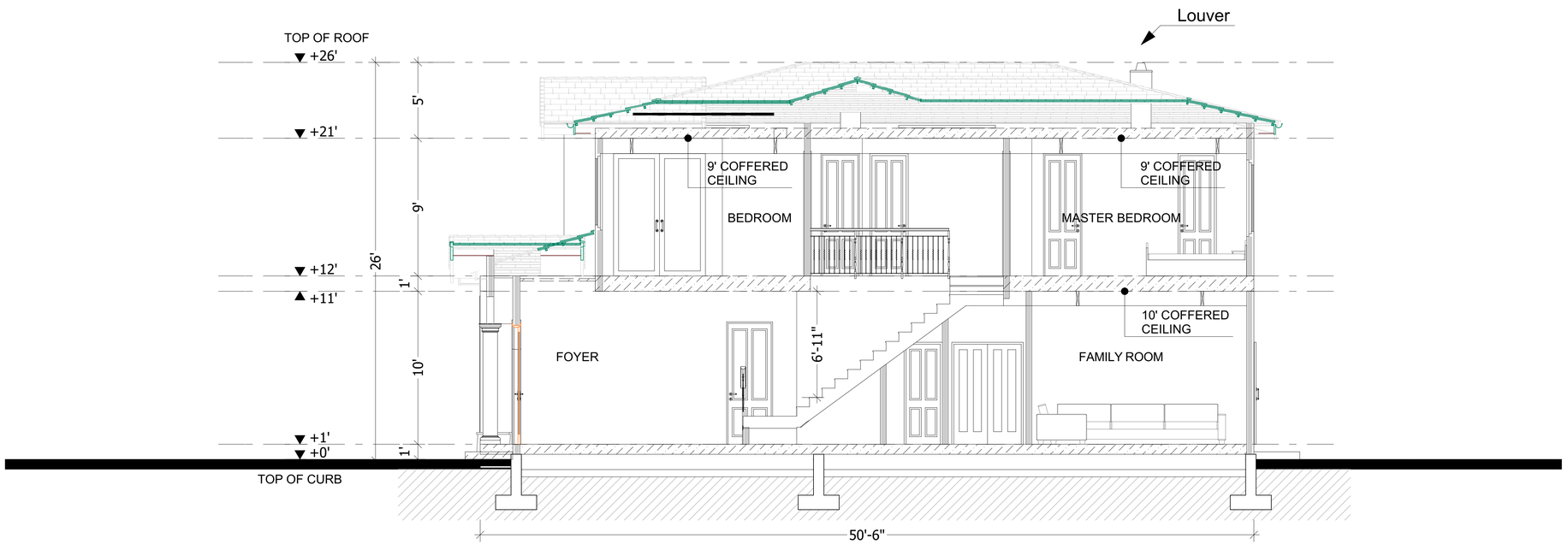
JOB NO.:
CAD FILE:

DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO: 5

STREETSCAPE ELEVATION

SCALE: 1/64"-1'



SECTION 1

SCALE: 1/4"-1'

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

DRAWING TITLE: BUILDING HEIGHT; STREETSCAPE ELEVATION

REV	DATE	DESCRIPTION
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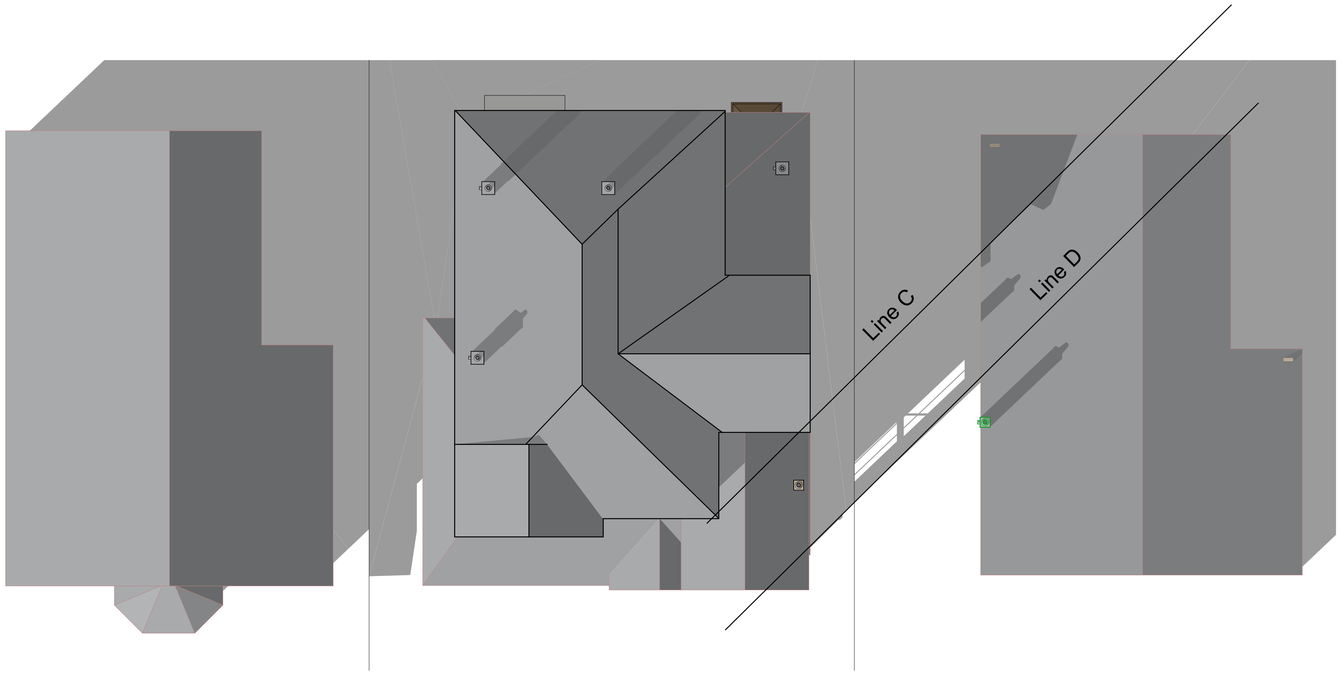
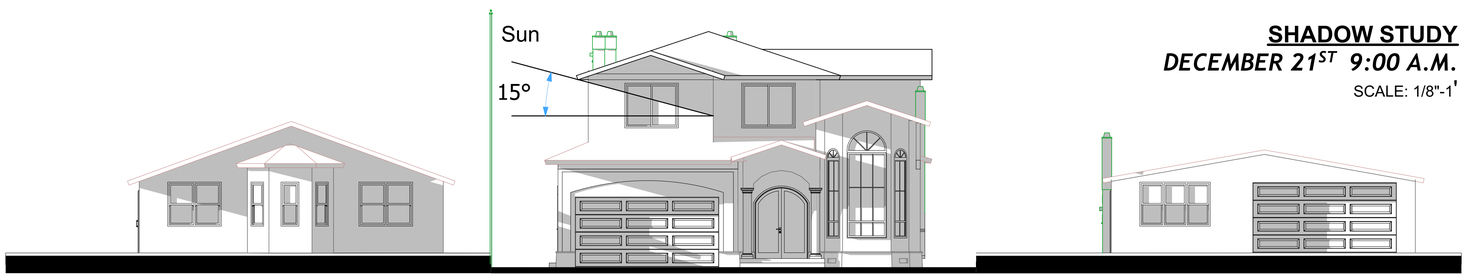
JOB NO.:
CAD FILE:

DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO: 6



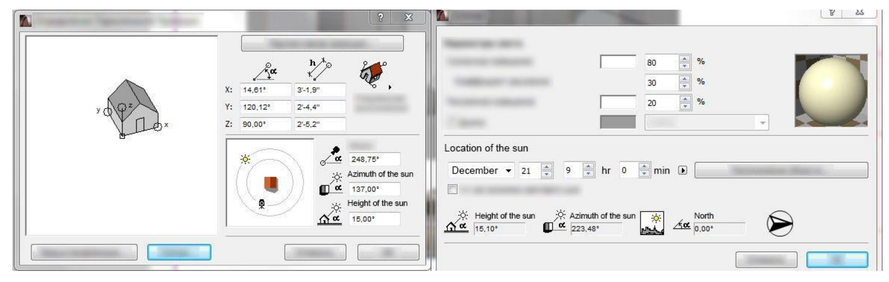


SHADOW STUDY

DECEMBER 21ST 9:00 A.M.

SCALE: 1/8"-1'

SHADED AREA: 97.9 S.F.
TOTAL ROOF AREA: 1580 S.F.
PERCENTAGE = 6.2 %



DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

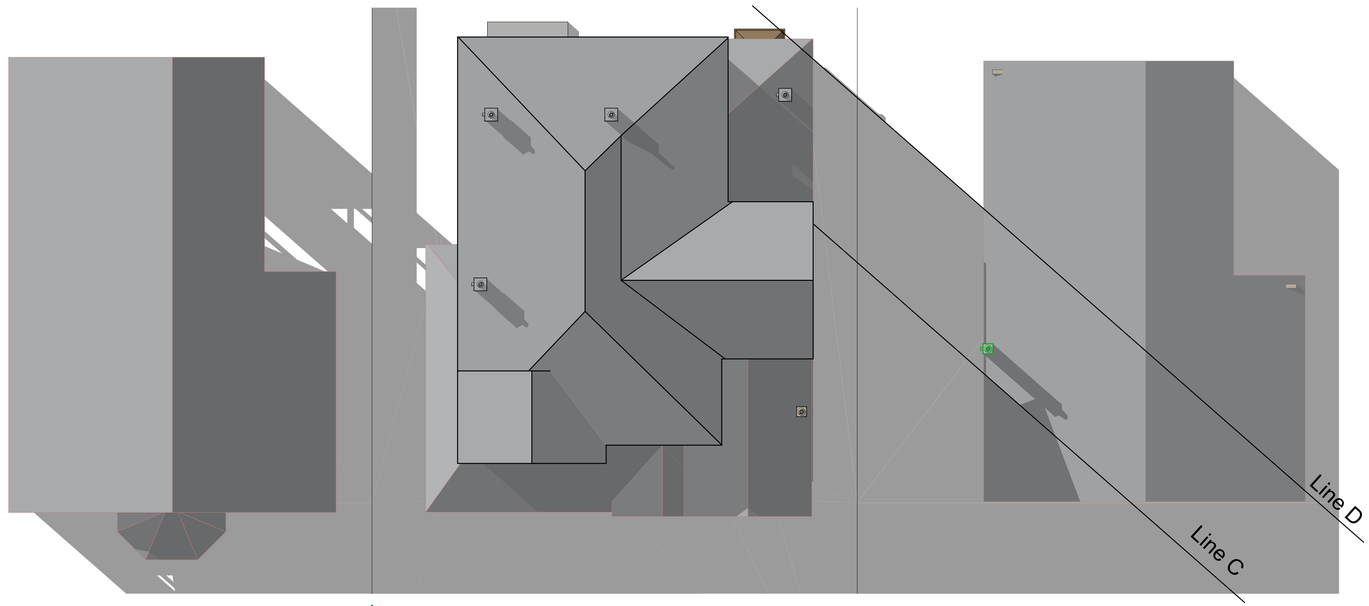
DRAWING TITLE: SHADOW STUDY AT 9:00 AM

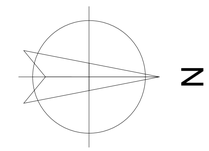
REV	DATE	DESCRIPTION

JOB NO.:
CAD FILE:

DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

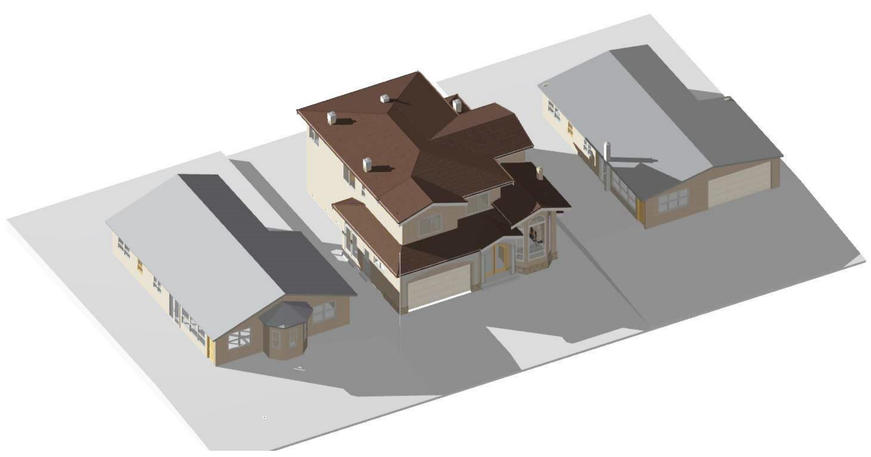
SHEET NO: 7





SHADOW STUDY
DECEMBER 21ST 3:00 P.M.
SCALE: 1/8"-1'

SHADED AREA: 102.7 S.F.
TOTAL ROOF AREA: 1580 S.F.
PERCENTAGE = 6.5 %



DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: **CUSTOM HOME**

DRAWING TITLE: SHADOW STUDY AT 3:00 PM

REV	DATE	DESCRIPTION
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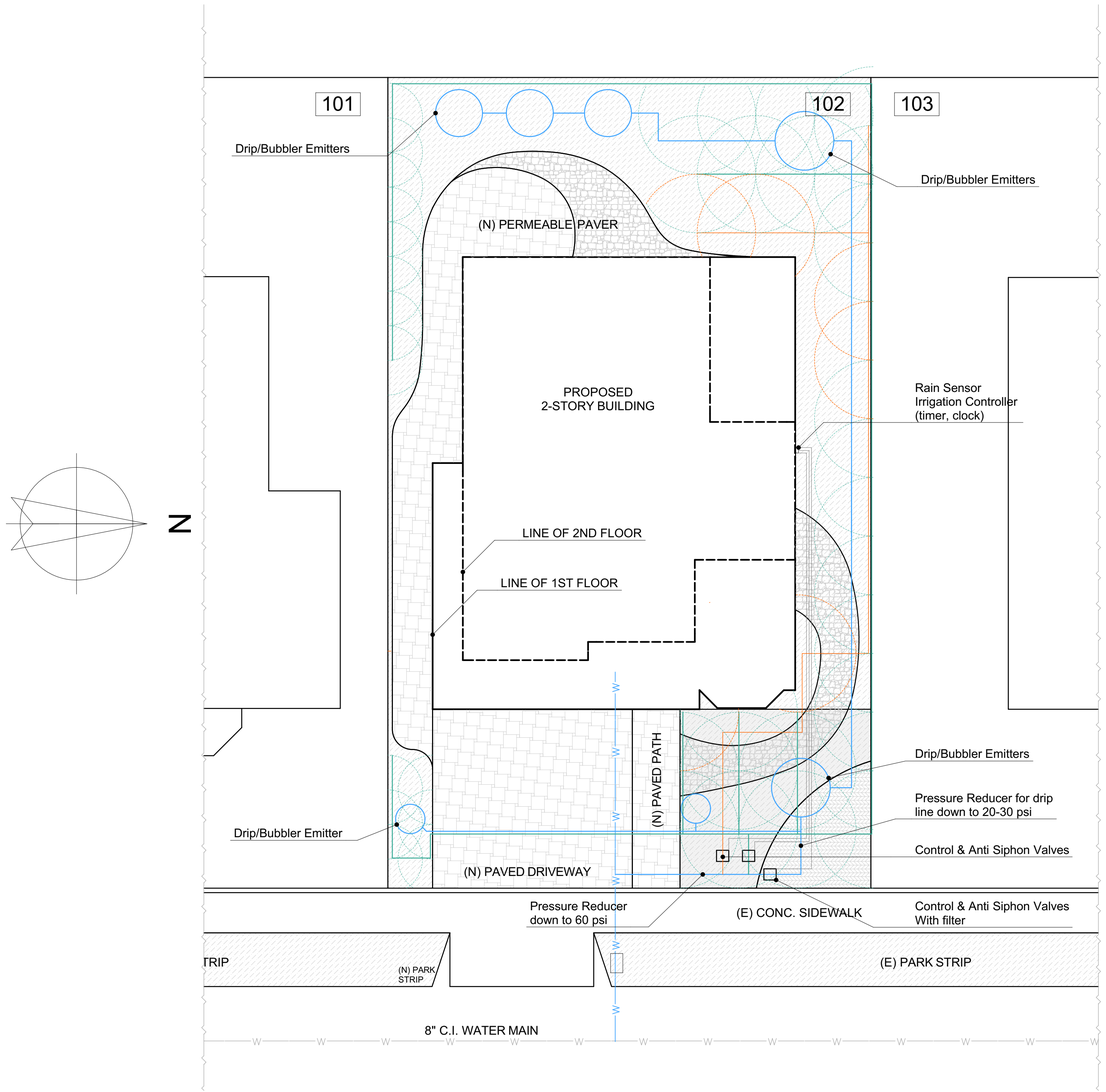
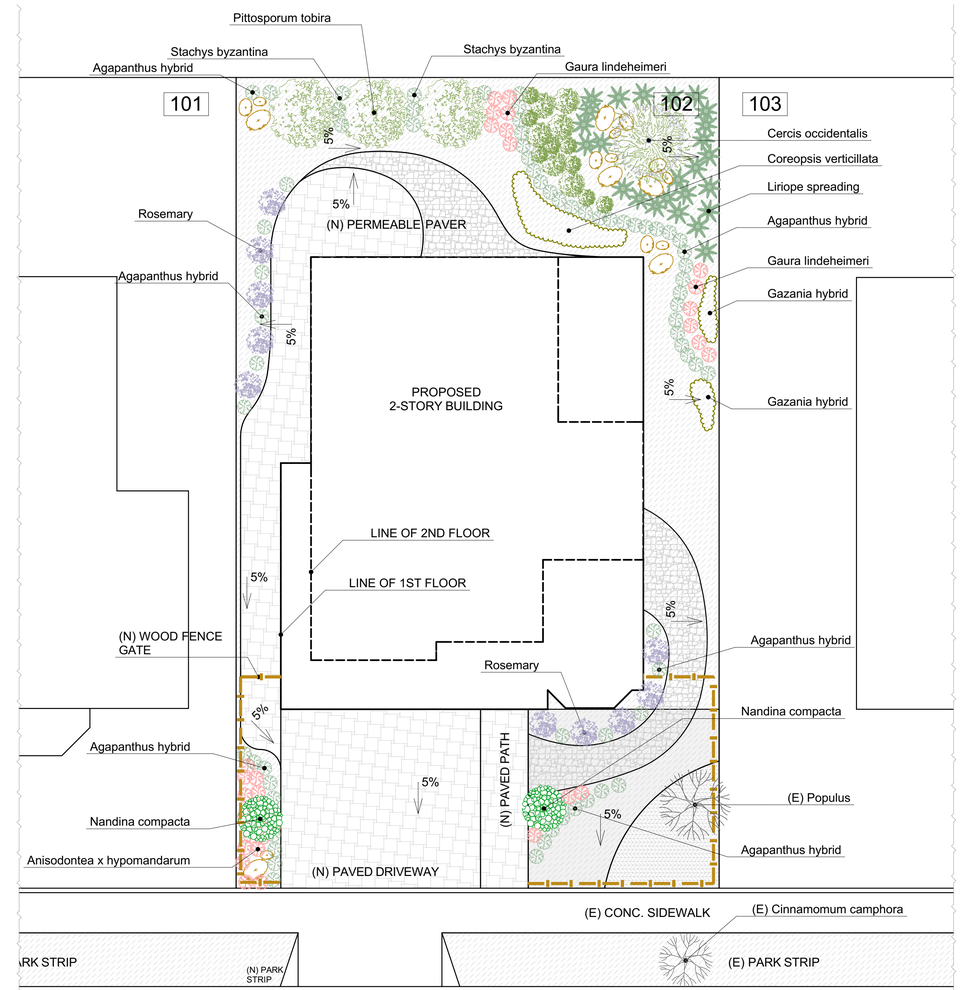
JOB NO.:
CAD FILE:

DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO: **8**





LANDSCAPING AND IRRIGATION SYSTEM

SCALE: 1/8"-1'

LEGEND

- : Drip/Bubbler Emitters Line
- : Groundcover Spray Heads Line
- : Sprinkler Heads Line
- : Trees, Shrubs etc.
- : Decorative Rock

All required landscaped areas shall be provided with a permanent irrigation system for all uses, except for single-family detached and duplex dwellings. Irrigation systems shall be designed and maintained to prevent water waste (e.g. runoff or overspray). Irrigation controllers shall be capable of multiple programming and incorporate sensors to override the call for water during rain or if the soil is still moist. Irrigation controllers and backflow devices shall be screened from public view. Irrigation shall only occur between 8 p.m. and 10 a.m.

Warm-season grass, permeable surface patio, water efficient plants with nearly year-round color, mulch in shrub areas, deciduous trees for summer shade and winter sun, a California native, shrubs attractive to hummingbirds and butterflies. A smaller
lawn would make this landscape even more water efficient.

Water Efficiency Design

Landscaping design and plant selection is based on:
Option 1: Turf/lawn is limited to 25% of the landscaped area. Of the non-turf area, at least 80% is planted with native, low water or no water use plants.

Plant Material

Variety - Landscaping includes trees, shrubs, vines, flower, ground covers

Hydrozones

Plants with similar water needs are grouped together

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

DRAWING TITLE: LANDSCAPING AND IRRIGATION SYSTEM

REV	DATE	DESCRIPTION
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JOB NO.:
CAD FILE:

DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO: 9

GreenPoint RATED
A PROGRAM OF BUILD IT GREEN

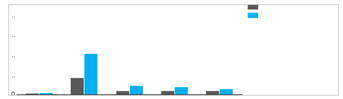
The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, H6.1, J5.1, O1, O7.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.buildItgreen.org/greenpointrated
Build It Green is not a code enforcement agency.

Points Achieved: 100

Certification Level: Silver



A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

PROJECT NAME		Points Achieved	Commu	Energy	IAQ/Hea	Resourc	Water	NOTES
MEASURES			Possible Points					
CALGreen								
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1	
A. SITE								
TBD	**A1. Construction Footprint**					1		
	A2. Job Site Construction Waste Diversion							
TBD	A2.1 65% C&D Waste Diversion(Including Alternative Daily Cover)					2		
TBD	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)					2		
TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility					1		
TBD	**A3. Recycled Content Base Material**					1		
TBD	**A4. Heat Island Effect Reduction (Non-Roof)**			1				
TBD	**A5. Construction Environmental Quality Management Plan Including Flush-Out**				1			
	A6. Stormwater Control: Prescriptive Path							
TBD	A6.1 Permeable Paving Material						1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
TBD	A6.4 Smart Stormwater Street Design		1					
TBD	**A7. Stormwater Control: Performance Path**						3	
B. FOUNDATION								
TBD	**B1. Fly Ash and/or Slag in Concrete**					1		
TBD	**B2. Radon-Resistant Construction**				2			
TBD	**B3. Foundation Drainage System**					2		
TBD	**B4. Moisture Controlled Crawlspace**				1			
	B5. Structural Pest Controls							
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections					1		
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation					1		
C. LANDSCAPE								
	Enter the landscape area percentage							
Yes	**C1. Plants Grouped by Water Needs (Hydrozoning)**	1					1	
TBD	**C2. Three Inches of Mulch in Planting Beds**						1	
	C3. Resource Efficient Landscapes							
Yes	C3.1 No Invasive Species Listed by Cal-IPC	1				1		
Yes	C3.2 Plants Chosen and Located to Grow to Natural Size	1				1		
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3					3	
	C4. Minimal Turf in Landscape							
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	0					2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area						2	
TBD	**C5. Trees to Moderate Building Temperature**		1	1			1	
Yes	**C6. High-Efficiency Irrigation System**	0					2	
TBD	**C7. One Inch of Compost in the Top Six to Twelve Inches of Soil**						2	
TBD	**C8. Rainwater Harvesting System**						3	
TBD	**C9. Recycled Wastewater Irrigation System**						1	
TBD	**C10. Submeter or Dedicated Meter for Landscape Irrigation**						2	
TBD	**C11. Landscape Meets Water Budget**						2	
	C12. Environmentally Preferable Materials for Site							
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing					1		
TBD	**C13. Reduced Light Pollution**		1					
Yes	**C14. Large Stature Tree(s)**	1	1					
TBD	**C15. Third Party Landscape Program Certification**						1	
TBD	**C16. Maintenance Contract with Certified Professional**						1	
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
	D1. Optimal Value Engineering							
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center			1		2		
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load					1		
TBD	D1.3 Advanced Framing Measures					2		
TBD	**D2. Construction Material Efficiencies**					1		
	D3. Engineered Lumber							
TBD	D3.1 Engineered Beams and Headers					1		
TBD	D3.2 Wood I-Joists or Web Trusses for Floors					1		
TBD	D3.3 Engineered Lumber for Roof Rafters					1		
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1		
TBD	D3.5 OSB for Subfloor					0,5		
TBD	D3.6 OSB for Wall and Roof Sheathing					0,5		
TBD	**D4. Insulated Headers**			1				
	D5. FSC-Certified Wood							
TBD	D5.1 Dimensional Lumber, Studs, and Timber					6		
TBD	D5.2 Panel Products					3		
	D6. Solid Wall Systems							
TBD	D6.1 At Least 90% of Floors					1		
TBD	D6.2 At Least 90% of Exterior Walls			1		1		
TBD	D6.3 At Least 90% of Roofs			1		1		
TBD	**D7. Energy Heels on Roof Trusses**			1				
TBD	**D8. Overhangs and Gutters**			1		1		
	D9. Reduced Pollution Entering the Home from the Garage							
TBD	D9.1 Detached Garage				2			
Yes	D9.2 Mitigation Strategies for Attached Garage	1			1			
	D10. Structural Pest and Rot Controls							
TBD	D10.1 All Wood Located At Least 12 Inches Above the Soil					1		
TBD	D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1		
Yes	**D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)**	2			1	1		
E. EXTERIOR								
TBD	**E1. Environmentally Preferable Decking**					1		
TBD	**E2. Flashing Installation Third-Party Verified**					2		
TBD	**E3. Rain Screen Wall System**					2		
TBD	**E4. Durable and Non-Combustible Cladding Materials**					1		
	E5. Durable Roofing Materials							
TBD	E5.1 Durable and Fire Resistant Roofing Materials or Assembly					1		
TBD	**E6. Vegetated Roof**		2	2				
F. INSULATION								
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
TBD	F1.1 Walls and Floors					1		
TBD	F1.2 Ceilings					1		
	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
TBD	F2.1 Walls and Floors				1			
TBD	F2.2 Ceilings				1			
	F3. Insulation That Does Not Contain Fire Retardants							
TBD	F3.1 Cavity Walls and Floors				1			
TBD	F3.2 Ceilings				1			
TBD	F3.3 Interior and Exterior				1			
G. PLUMBING								
	G1. Efficient Distribution of Domestic Hot Water							
Yes	G1.1 Insulated Hot Water Pipes	1		1				
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution						1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution						2	
	G2. Install Water-Efficient Fixtures							
Yes	G2.1 WaterSense Showerheads with Matching Compensation Valve	2					2	
Yes	G2.2 WaterSense Bathroom Faucets	1					1	
Yes	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams	1					1	
TBD	**G3. Pre-Plumbing for Graywater System**						1	
TBD	**G4. Operational Graywater System**						3	
H. HEATING, VENTILATION, AND AIR CONDITIONING								
	H1. Sealed Combustion Units							
TBD	H1.1 Sealed Combustion Furnace				1			
TBD	H1.2 Sealed Combustion Water Heater				2			
TBD	**H2. High Performing Zoned Hydronic Radiant Heating System**			1	1			
	H3. Effective Ductwork							
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1				
Yes	H3.2 Pressure Balance the Ductwork System	1		1				
Yes	**H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified**	1			1			
	H5. Advanced Practices for Cooling							
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms			1				
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R	
TBD	H6.2 Advanced Ventilation Standards				1			
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas				2			
	H7. Effective Range Hood Design and Installation							
Yes	H7.1 Effective Range Hood Ducting and Design	1			1			
TBD	H7.2 Automatic Range Hood Control				1			
TBD	**H8. No Fireplace or Sealed Gas Fireplace**				1			
TBD	**H9. Humidity Control Systems**				1			
TBD	**H10. Register Design Per ACCA Manual T**			1				
Yes	**H11. High Efficiency HVAC Filter (MERV 8+)**	1			1			
I. RENEWABLE ENERGY								
TBD	**I1. Pre-Plumbing for Solar Water Heating**			1				
TBD	**I2. Preparation for Future Photovoltaic Installation**			1				
	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)			25				
	I4. Net Zero Energy Home							
TBD	I4.1 Near Zero Energy Home			2				
TBD	I4.2 Net Zero Electric			4				
J. BUILDING PERFORMANCE AND TESTING								
TBD	**J1. Third-Party Verification of Quality of Insulation Installation**				1			
Yes	**J2. Supply and Return Air Flow Testing**	2		1	1			
TBD	**J3. Mechanical Ventilation Testing and Low Leakage**				1			
TBD	**J4. Combustion Appliance Safety Testing**				1			
2013	**J5. Building Performance Exceeds Title 24 Part 6**							
26.00% [1]	J5.1 Home Outperforms Title 24 Part 6	57		60				
TBD	**J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst**			1				
TBD	**J7. Participation in Utility Program with Third-Party Plan Review**			1				
TBD	**J8. ENERGY STAR for Homes**			1				
No	**J9. EPA Indoor airPlus Certification**	0			1			
TBD	**J10. Blower Door Testing**				2			
K. FINISHES								
	K1. Entryways Designed to Reduce Tracked-In Contaminants							
Yes	K1.1 Individual Entryways	1			1			
Yes	**K2. Zero-VOC Interior Wall and Ceiling Paints**	2			2			
Yes	**K3. Low-VOC Caulks and Adhesives**	1			1			
	K4. Environmentally Preferable Materials for Interior Finish							
TBD	K4.1 Cabinets					2		
TBD	K4.2 Interior Trim					2		
TBD	K4.3 Shelving					2		
TBD	K4.4 Doors					2		
TBD	K4.5 Countertops					1		
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB							
TBD	K5.1 Doors				1			
TBD	K5.2 Cabinets and Countertops				2			
TBD	K5.3 Interior Trim and Shelving				2			
TBD	**K6. Products That Comply With the Health Product Declaration Open Standard**				2			
TBD	**K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion**				2			
No	**K8. Comprehensive Inclusion of Low Emitting Finishes**	0			1			
L. FLOORING								
≥75%	**L1. Environmentally Preferable Flooring**	3				3		
≥75%	**L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential**	3			3			
TBD	**L3. Durable Flooring**					1		
TBD	**L4. Thermal Mass Flooring**			1				
M. APPLIANCES AND LIGHTING								
TBD	**M1. ENERGY STAR® Dishwasher**						1	
TBD	**M2. CEE-Rated Clothes Washer**			1			2	
TBD	**M3. Size-Efficient ENERGY STAR Refrigerator**			2				
	M4. Permanent Centers for Waste Reduction Strategies							
TBD	M4.1 Built-In Recycling Center					1		
TBD	M4.2 Built-In Composting Center					1		
	M5. Lighting Efficiency							
TBD	M5.1 High-Efficacy Lighting				2			
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant				2			
N. COMMUNITY								
	N1. Smart Development							
TBD	N1.1 Infill Site		1			1		
TBD	N1.2 Designated Brownfield Site		1		1			
TBD	N1.3 Conserve Resources by Increasing Density			2		2		
TBD	N1.4 Cluster Homes for Land Preservation		1			1		
	N1.5 Home Size Efficiency	5				9		
2717	Enter the area of the home, in square feet							
5	Enter the number of bedrooms							
TBD	**N2. Home(s)Development Located Within 1/2 Mile of a Major Transit Stop**		2					
	N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2					
	Enter the number of Tier 1 services							
	Enter the number of Tier 2 services							
TBD	N3.2 Connection to Pedestrian Pathways		1					
TBD	N3.3 Traffic Calming Strategies		2					
	N4. Outdoor Gathering Places							
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1					
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1					
	N5. Social Interaction							
TBD	N5.1 Residence Entries with Views to Callers		1					
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1					
TBD	N5.3 Porches Oriented to Street and Public Space		1					
TBD	N5.4 Social Gathering Space		1					
	N6. Passive Solar Design							
TBD	N6.1 Heating Load			2				
TBD	N6.2 Cooling Load			2				
	N7. Adaptable Building							
TBD	N7.1 Universal Design Principles in Units		1		1			
TBD	N7.2 Full-Function Independent Rental Unit		1					
O. OTHER								
Yes	**O1. GreenPoint Rated Checklist in Blueprints**	Y	R	R	R	R	R	
TBD	**O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors**			0,5		1	0,5	
TBD	**O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs**			0,5	0,5	0,5	0,5	
TBD	**O4. Builder's or Developer's Management Staff are Certified Green Building Professionals**			0,5	0,5	0,5	0,5	
TBD	**O5. Home System Monitors**			1			1	
	O6. Green Building Education							
Yes	O6.1 Marketing Green Building	2	2					
TBD	O6.2 Green Building Signage			0,5			0,5	
Yes	**O7. Green Appraisal Addendum**	Y	R	R	R	R	R	
TBD	**O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation**					1		
Summary								
	Total Available Points in Specific Categories	342	26	131	54	83	48	
	Minimum Points Required in Specific Categories	50	2	25	6	6	6	
Total Points Achieved		100,0	3,0	62,0	14,0	12,0	9,0	

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

PROJECT: CUSTOM HOME

DRAWING TITLE: GREENPOINT RATED CHECKLIST

REV	DATE	DESCRIPTION
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JOB NO.:
CAD FILE:
DSGN'D BY: B.A.
DRAWN BY: B.A.
CHK'D BY: B.A.
APP'D BY: B.A.
DATE: 06/22/2015
SCALE: AS NOTED
SHEET NO: 10

City of Sunnyvale

Agenda Item

15-0692 **Agenda Date:** 7/13/2015

Standing Item: Potential Study Issues for 2016

City of Sunnyvale

Agenda Item

15-0703 **Agenda Date:** 7/13/2015

Selection of Chair

City of Sunnyvale

Agenda Item

15-0704 **Agenda Date:** 7/13/2015

Selection of Vice Chair

City of Sunnyvale

Agenda Item

15-0705 **Agenda Date:** 7/13/2015

Selection of Seats