



City of Sunnyvale

Notice and Agenda - Final Planning Commission

Monday, November 9, 2015

6:45 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

6:45 P.M. PLANNING COMMISSION - STUDY SESSION - WEST CONFERENCE ROOM

1 [15-1008](#)

File #: 2013-7525

Name: Landbank Central& Wolfe Campus

Location: Southeast corner of N. Wolfe Road and E. Arques Avenue
(APNs: 205-33-002, 205-33-005, 205-33-007, 205-33-009,
205-33-010, 205-33-011, 205-33-012, 205-33-013, and 205-33-014)

Proposed Project:

INFORMATION ONLY: Overview of minor architectural
modifications for a 17.84 acre site with an approved 747,170
square foot corporate office campus (100% FAR).
Modifications include removal of rooftop "halo" and alternative
design and window pane alignment.

Applicant/Owner: Scott Jacobs, Landbank Investments, LLC

Environmental Review: Considered under a previously certified EIR

Staff Contact: David Hogan, Project Planner, (408) 730-7411,
dhogan@sunnyvale.ca.gov or Gerri Caruso, Principal Planner, (408)
730-7591, gcaruso@sunnyvale.ca.gov

2 [15-0924](#)

File #: 2015-7736

Location: 701, 711, 717, and 729 E. Evelyn Avenue (APNs:
209-01-009, -010, -011, -012, -013, -014, -029)

Zoning: M3/ITR/R3/PD (General

Industrial/Industrial-to-Residential/Medium Density
Residential/Planning Development)

Proposed Project: Related applications on a 1.98-acre site:

SPECIAL DEVELOPMENT PERMIT: to allow a modification to
the previously-approved 204-townhome unit Special
Development Permit 2014-7656 to include a 0.37-acre parcel
located at 711 East Evelyn Avenue, add 11 new townhome
units, and make adjustments to the site plan on and around the
included parcel. The modified overall project would total 11.42
acres and 215 townhome units. The 11 new townhome units
would utilize concierge trash service previously approved with a
Variance for the overall project (2014-7656).

VESTING TENTATIVE MAP: to allow a modification to the
previously-approved Vesting Tentative Map 2014-7656 to

include the 711 East Evelyn Avenue parcel in the project and add an additional lot, two common area parcels, and 11 condominium units; and reconfigure the location of six previously-approved lots and 27 condominium units on and around the included parcel.

Applicant / Owner: D.R. Horton

Environmental Review: Mitigated Negative Declaration

Project Planner: George Schroeder, (408) 730-7443,
gschroeder@sunnyvale.ca.gov

3 [15-0993](#)

File #: 2014-7417

Location: 915 DeGuigne Drive and 936 E. Duane Avenue (APNs: 205-21-001 and 2015-21-002)

Proposed Project:

SPECIAL DEVELOPMENT PERMIT for the redevelopment of a 25.2 acre site with 450 residential townhouse units and a public park;

VESTING TENTATIVE MAP to allow 13 lots and 450 condominium units; and

VARIANCE to allow concierge trash service

Environmental Review: Environmental Impact Report.

Applicant/Owner: Watt Investments at Sunnyvale, LLC

Project Planner: Ryan Kuchenig, (408) 730-7431,
rkuchenig@sunnyvale.ca.gov

4 Public Comment on Study Session Agenda Items

5 Comments from the Chair

6 Adjourn Study Session

Any agenda related writings or documents distributed to members of the Planning Commission regarding any open session item on this agenda will be made available for public inspection in the Planning Division office located at 456 W. Olive Ave., Sunnyvale CA 94086 during normal business hours, and in the Council Chambers on the evening of the Planning Commission meeting pursuant to Government Code §54957.5.

8:00 P.M. PLANNING COMMISSION - PUBLIC HEARING - COUNCIL CHAMBERS

CALL TO ORDER

SALUTE TO THE FLAG

ROLL CALL

ORAL COMMUNICATIONS

This category provides an opportunity for members of the public to address the commission on items not listed on the agenda and is limited to 15 minutes (may be extended or continued after the public hearings/general business section of the agenda at the discretion of the Chair) with a maximum of up to three minutes per speaker. Please note the Brown Act (Open Meeting Law) does not allow commissioners to take action on an item not listed on the agenda. If you wish to address the commission, please complete a speaker card and give it to the Recording Secretary. Individuals are limited to one appearance during this section.

CONSENT CALENDAR

- 1.A [15-0994](#) Approval of the Draft Minutes of the Planning Commission Meeting of October 26, 2015

PUBLIC HEARINGS/GENERAL BUSINESS

- 2 [15-0896](#) **File #:** 2015-7296
Location: 433 E. Washington Ave. (APN: 209-04-032)
Zoning: R-2/PD (Low Medium Density Residential/Planned Development)
Proposed Project:
 SPECIAL DEVELOPMENT PERMIT: for demolition of existing single-story duplex and construction of a new two-story, single-family home, resulting in 2,763 square feet (2,299 square feet living area and 464 square feet garage) and 53% FAR.
Applicant / Owner: LPMD Architects (applicant) / Craig Campbell (owner)
Environmental Review: Categorically Exempt from provisions of CEQA, Class 3 Section (a)
Project Planner: Teresa Zarrin, (408) 730-7429, tzarrin@sunnyvale.ca.gov
- 3 [15-0949](#) **File #:** 2015-7872
Location: 825 Tamarack Lane (APN: 213-29-053)
Zoning: R0
Proposed Project:
 DESIGN REVIEW: For a new two-story single-family home of 3,026 square feet (2,626 square foot living area and 400 square foot garage) and 55% FAR. The existing 1,374 square foot one-story single-family home will be demolished. This project supersedes the previous project (2015-7266) that was denied by the Planning Commission.
Applicant / Owner: Arsen Avagyan

Environmental Review: Categorical Exemption, Class 3

Project Planner: George Schroeder, (408) 730-7443,
gschroeder@sunnyvale.ca.gov

4 [15-0977](#)

File #: 2014-7990

Location: 1500 Partridge Avenue (APN: 313-24-031)

Zoning: PF (Public Facility)

Proposed Project:

**PUBLIC COMMENTS ON THE DRAFT ENVIRONMENTAL
IMPACT REPORT (DEIR)** to allow the Stratford School to
operate a private school at the former Raynor Activity Center.

Project Planner: Momoko Ishijima, (408) 730-7532,
mishijima@sunnyvale.ca.gov

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

-Staff Comments

INFORMATION ONLY ITEMS

ADJOURNMENT

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Agenda information is available by contacting The Planning Division at (408) 730-7440. Agendas and associated reports are also available on the City's web site at sunnyvale.ca.gov or at the Sunnyvale Public Library, 665 W. Olive Ave., Sunnyvale, 72 hours before the meeting.

*Planning a presentation for a Planning Commission meeting?
To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" document available at Presentations.inSunnyvale.com.*

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on

any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the City at or before the public hearing.

PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

Pursuant to the Americans with Disabilities Act, if you need special assistance in this meeting, please contact the Planning Division at (408) 730-7440. Notification of 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (29 CFR 35.106 ADA Title II)



City of Sunnyvale

Meeting Minutes

Planning Commission

Monday, October 26, 2015

7:00 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

7:00 P.M. PLANNING COMMISSION - STUDY SESSION - WEST CONFERENCE ROOM

- 1 [15-0975](#) **File #:** 2015-7382
Location: 250 E. Java Drive (APN: 110-33-030)
Zoning: MPT (Moffett Park - Transit Oriented Development)
Proposed Project:
 SPECIAL DEVELOPMENT PERMIT to redevelop a site for a
 new 5-story hotel with 180 guest rooms and 6,000 square foot
 of ground floor retail.
Applicant / Owner: Peninsular Investments
Environmental Review: TBD
Project Planner: Margaret Netto, (408) 730-76628,
 mnetto@sunnyvale.ca.gov

2 Public Comment on Study Session Agenda Items

3 Comments from the Chair

4 Adjourn Study Session

8:00 P.M. PLANNING COMMISSION - PUBLIC HEARING - COUNCIL CHAMBERS

CALL TO ORDER

Chair Melton called the meeting to order at 8:00 p.m.

SALUTE TO THE FLAG

Chair Melton led the salute to the flag.

ROLL CALL

Present: 6 - Chair Russell Melton
Vice Chair Sue Harrison
Commissioner Ken Olevson
Commissioner Larry Klein
Commissioner Ken Rheaume
Commissioner David Simons

ORAL COMMUNICATIONS

Unagendized Special Order of the Day

Chair Melton announced the promotion of Trudi Ryan, Planning Officer, to the role of Community Development Director and presented her with a certificate of commendation for her 26 years of service as the City's Planning Officer.

CONSENT CALENDAR

1.A [15-0897](#) Approval of the Draft Minutes of the Planning Commission Meeting of October 12, 2015

Comm. Klein moved to approve the draft minutes. Comm. Rheaume seconded.
The motion carried by the following vote:

Yes: 6 - Chair Melton
Vice Chair Harrison
Commissioner Olevson
Commissioner Klein
Commissioner Rheaume
Commissioner Simons

No: 0

PUBLIC HEARINGS/GENERAL BUSINESS

2 [15-0862](#)**File #:** 2015-7303**Location:** 725 South Fair Oaks Avenue (APN: 211-01-046)**Zoning:** C2-ECR**Proposed Project:** Consideration of an application on a 1.25-acre site:**SPECIAL DEVELOPMENT PERMIT:** to allow the redevelopment of a former restaurant site into a 182-room, five-story hotel with underground parking**VARIANCE:** to reduce solar access to adjacent structures.**Applicant / Owner:** Lifestyle Hotel (applicant) / K3 Dev, LLC (owner)**Environmental Review:** Mitigated Negative Declaration**Project Planner:** Momoko Ishijima, (408) 730-7532,
mishijima@sunnyvale.ca.gov

Momoko Ishijima, Associate Planner, presented the staff report. She noted that in attendance are Carol Shariat, Principal Transportation Engineer, and Mike Mowery, with Kimley-Horn, to answer traffic related questions.

Vice Chair Harrison confirmed with Ms. Shariat that the Conditions of Approval (COA) address the bike lane striping request from CalTrans, and confirmed with Ms. Ishijima that the owner of the adjacent commercial property has expressed approval of the proposed project. Vice Chair Harrison also confirmed with Ms. Ishijima that improvements to the bus stop on El Camino Real would not be completed with this project, and verified with Trudi Ryan, Planning Officer, that trash collection would not occur before 7 a.m.

Comm. Olevson discussed with Ms. Ryan and Mr. Mowery whether elimination of the pork chop island would impact vehicular traffic on southbound Fair Oaks Avenue. Comm. Olevson discussed with Ms. Ishijima the solar shading study and the Variance requested by the applicant.

In response to Comm. Klein's inquiry, Ms. Ishijima provided clarification on the expanded solar analysis study, and confirmed that the critical time period for solar access is between 9:00 a.m. and 3:00 p.m. daily. Comm. Klein verified with Ms. Ishijima that the applicant has not received negative feedback from the owner of the property to the north related to the shading of the car port, and confirmed the car port's location with Ms. Ryan. Comm. Klein also confirmed with Ms. Ishijima that the applicant will provide secured bicycle parking.

Comm. Rheume clarified with Ms. Ishijima the proposed removal of trees on and adjacent to the subject property, and discussed why the applicant is asking to remove the neighbor's trees. Comm. Rheume confirmed with Ms. Ishijima that the applicant has proposed to protect the trees on adjacent properties during

excavation of the underground parking lot, and confirmed that the hotel would need to be two stories to avoid a solar Variance request.

Comm. Simons confirmed with Ms. Ryan that staff is amenable to changing the texture of ST.1, the engineered stone tile system as shown on the materials board, and verified with Ms. Ishijima that the planter trees shown in the renderings around the pool are not included in the COAs. Comm. Simons also confirmed that staff is amenable to making more visible the bicycle loops discussed in COA BP-21.

Comm. Olevson commented on the potential increase in solar access Variance requests as similar projects are proposed along El Camino in the future, and discussed with Ms. Ryan whether the code should be modified specifically for El Camino Real to address the solar shading issues for these projects.

Chair Melton opened the public hearing.

Rashik Patel, Vice President of Development, and Greg LeBon, Vice President of Design, with T-2 Development, gave a presentation on the proposed project.

Comm. Simons confirmed with Mr. LeBon that the art installation would be on the corner of El Camino Real and Fair Oaks but is not finalized, and confirmed with Mr. Patel that they are striving to achieve LEED gold. Comm. Simons commented on the side of the building facing El Camino looking like the back of a building, and Mr. LeBon said their intention is to make it look special.

In response to Vice Chair Harrison's inquiry, Mr. Patel defined "select service hotel," and confirmed with Mr. LeBon the estimated cost per hotel room. Vice Chair Harrison also confirmed with Mr. Patel that the whole building creates the shading issue and not just the pool area on El Camino that was portrayed in the previous design.

Comm. Klein confirmed with Mr. Patel that he is amenable to the requirement of four Class II bicycle parking spaces, and discussed his contact with the property owner to the north regarding the solar shading issue.

Stan Hendryx, a Sunnyvale resident, encouraged the Planning Commission to develop a policy recommendation for City Council on solar shading.

Zachary Kaufman, a Sunnyvale resident, discussed his concerns with the replacement of the trees on the site and an increase in traffic in the area. Comm. Simons discussed with Mr. Kaufman the preferred size of replacement trees.

Dave and Meena, Sunnyvale residents, discussed their concerns with adequate parking for the project, increased traffic and their desire for mature trees.

Mr. Patel and Mr. LeBon addressed the neighbors' and Planning Commissioners' concerns. Bruce Jett, Landscape Architect, discussed the proposed tree replacement program.

Vice Chair Harrison clarified the calculation of the percentage of shading throughout the year with Jeremy Grant, Project Architect.

Comm. Rheaume confirmed with Mr. Jett that trees will be replaced with more trees but those smaller in size and that the applicant is planning on saving the eucalyptus trees.

Chair Melton closed the public hearing.

Vice Chair Harrison clarified with Ms. Ryan the section of the code regarding solar shading.

Chair Melton discussed with Ms. Ryan the intent of the Ordinance regarding solar access, and the pros and cons of pork chop islands with Ms. Shariat.

Comm. Klein moved Alternative 3 to adopt the Mitigated Negative Declaration and deny the Special Development Permit and Variance.

Comm. Rheaume seconded.

Comm. Klein said this project has many positives, that the developer worked with staff and the community to look at reducing the height of the building on El Camino and changed the whole frontage there. He said this all goes back to the requested solar shading Variance and that the code is very clear. He said the developer mentioned during the study session that there might be a Variance but that it was not until we saw the final plans that we understood how distinct that Variance request would be. He applauded the applicant for talking to the property owner to the west who is okay with keeping the trees and any solar shading, and noted that the applicant reached out to the apartment owners to the north who they have not heard back from yet. Comm. Klein said the Planning Commission recently reviewed a project with a similar solar shading issue and the owner and community was up in arms about it, so although the owner to the west may be pro-solar shading now, that property may be sold in the future and the new owner may not be in favor of it.

He said the Planning Commission does not set policy, that City Council may decide to reevaluate the policies and codes of the City, but the code clearly says there needs to be an extreme reason to grant a Variance and he does not see such a reason with this project. He said he understands that within the last two weeks keeping the trees on the property line has become a priority of the developer who has said those trees are shading the restaurant to the west and parking lot to the north, and that he understands that the way the lot is set up on El Camino will make shading the buildings to west and north nearly inevitable. He said increasing the scope of this project and purchasing that building and reducing shading on the nearby buildings would be a positive thing and would bring this project into code, but that we are not talking about ten to 15 percent shading, but 95 to 100 percent, which is dramatic. He noted that in the past the Planning Commission has debated 15 or 20 percent shading of a next door residential property and that as much as he likes this project and what it would bring to the community, he cannot vote for the approval of the project. He thanked the developer for going through the process and the community for coming out to discuss their concerns, and said traffic is already a problem here. He said this project would slightly affect traffic, especially as people try exiting onto Fair Oaks.

Comm. Rheume said he will be supporting the motion and that this project comes down to the solar access Variance. He said we allow for ten percent maximum coverage, and here the applicant is asking for 95 to 100 percent, which is not just a little bit over. He said he cannot make the findings to approve the Variance, especially 3.2.5 which states "to ensure properties are developed and operated in such a manner as to minimize their negative impacts to adjacent residential areas." He noted that two weeks ago the Planning Commission denied an application for a similar solar shading Variance, and that with regard to the current project there are no neighbors who are against it, but with the other property just two blocks from this site he does not see how this project is okay to approve while the other is not. He said this is a nice project, and that we are not here to set policy and he wonders if we are still trying to build projects that are too big for this part of the City. He said that until we have a policy to support this he is unable to make the findings.

Comm. Simons said he will be supporting the motion, but wanted to go over his methodology for passing the project. He said he would have changed the fiber board issue, added a requirement for trees around the pool, modified COA BP-21 for bicycle parking and added a requirement to improve the northwest long side of the building, entryway and rear. He said the solar requirement, is very new and will likely be gone very soon because of impacts to development, could have been taken care of in a three to four part addition. He said any applicant that has shaded buildings of a neighborhood would have to offer to pay for covered, cool roofed

parking in adjoining parking lots equal to or greater than the buildings with greater than ten percent shading and that parking be placed in areas of the parking lot that have the least or no shading. He noted that the purpose of the original requirement was not to stop shading of green space, but to limit the amount of impact for anyone wanting to put solar arrays on their home or business and could potentially become nonfunctional for part of the year. He said if you have a green space or golf area that does not count unless it goes over a building, and that what he thinks of as a win-win situation is when we can give an equivalent area where solar power could be placed and would not cost the neighbor as much and to reduce the amount of open parking and heating. He said most greenhouse gases do not come from driving but from heated up cars venting different gas products, and that he thinks the aforementioned option could be done and be very beneficial. He said a hotel has the lowest traffic impact than most other uses for this site, that more retail would have a greater traffic impact and that he is supporting this motion because there may not be support for mitigation for this type of project. He said he expects the policy will change and will allow mitigation in the future and that the intent of the law is not being followed.

Comm. Olevson said he will not be supporting the motion, and that the trees being saved provide all of the solar shading that we are trying to avoid. He said by not taking down the trees the shadow of this building will be on them, and this is a prime reason that this Commission sees a project in public hearing format rather than all projects going directly to City Council, so that we might use judgment and ask whether this project meets City policy. He said if it does not the Commission uses judgement to ask if there are overriding reasons to approve the project anyway. He said he is sensitive to the solar issue and in the last meeting we had a project that would cast great shadows over an open area, which is not something we want to do, but that in this instance the building would be casting shadows on the trees that the applicant and surrounding neighbors have tried very hard to save. He said because of that he does not see that we are violating the intent of the policy at all.

Vice Chair Harrison said she is not supporting the motion, and said how we have been interpreting the Municipal Code is too simplistic by saying that at any point in time during this 9 a.m. to 3 p.m. window if there is more than ten percent shading then the project is out. She said that has been effective for a majority of projects we have seen, but that this is a very different circumstance. She said for the first time she has seen the exact wording of what this section of the code says and the way we have been doing it is not supported by the actual wording of the code, which is "the absence of shadows blocking or reducing exposure to the sun to an extent greater than 10 percent daily during the hours between 9 a.m. and 3 p.m." She said

that does not say if at any point in time more than ten percent is covered it is out, but that during that time period if you add it all up and it is more than 10 percent. She said she understands that we have been comparing this project to a recent similar one with regard to a Variance request, but that this project's documentation is such that she can make the findings that it does not cover more than ten percent of the roof daily during this period of time.

Chair Melton said he is not supporting the motion, that he sees a lot of positives to this project and that some Commissioners had architectural comments we could incorporate if we end up with Alternative 2. He said if you look at the current situation a hotel room in Sunnyvale can go for \$500 per night, which has a lot to do with land use, housing and growth, but indicates that we need hotels. He said there are policies that talk about the growth and development of the City and that the positive aspects are clearly being met. He said the traffic situation and the contemplated removal of the pork chop island is something he can get comfortable with as there are benefits to pedestrians and that creation of a dedicated right turn lane can be managed and detriments to traffic monitored and mitigated. He echoed Comm. Olevson's notion that the solar shading arising from the new building would shade the trees that we are looking to save, and he agrees with Vice Chair Harrison regarding the intent of policy interpretation. He noted that it is interesting that the Planning Commission during consecutive public hearings reviewed two similar projects, and that one critical difference that allows him to say that two weeks ago he was uncomfortable with the Variance and today he is comfortable is the potential injuriousness to the neighboring parcel. He said two weeks ago we had Golfland which is a business operating on access to sunshine which does not carry over to the application we are looking at today. He said the parking car ports are already shaded by trees, and that he can make the findings for the Special Development Permit and those to grant the Variance.

MOTION: Comm. Klein moved Alternative 3 to adopt the Mitigated Negative Declaration and deny the Special Development Permit and Variance.

Comm. Rheume seconded. The motion failed by the following vote:

Yes: 3 - Commissioner Klein
Commissioner Rheume
Commissioner Simons

No: 3 - Chair Melton
Vice Chair Harrison
Commissioner Olevson

Action reflects revote after Commisisoner Olevson indicated he had pushed the wrong button.

Comm. Simons moved Alternative 2 to adopt the Mitigated Negative Declaration and approve the Special Development Permit and Variance with modified conditions: that ST.1 on the materials board be replaced with an appropriate material of a higher quality look; to require the trees shown around the decking area in the project renderings; to add to Condition of Approval BP-21 the provision of six long-term bicycle parking spaces, and require a nicer looking option for the short-term bicycle parking spaces that are more visible; recommend that the applicant and staff look at integrating the required art into the construction of the building; include CalTrans recommendations in the Conditions of Approval, as appropriate; require an improved, visible entryway on the long northwest side of the building and bring materials from the opposite side of the building around to the northwest side to make it consistent. Comm. Simons discussed with Ms. Ryan the challenges and notion of requiring an applicant who proposes to shade an adjacent building beyond ten percent to offer the adjacent property owner payment for construction of a solar structure on their property. Comm. Simons said he would like to add that modification along with the requirement that any covered parking be in a spot without shading. Ms. Ryan confirmed with Comm. Simons that this modification would apply to the commercial site. Ms. Ryan said she and Rebecca Moon, Senior Assistant City Attorney, discussed that such a notion might be over-stepping, and clarified with Comm. Simons his final modification.

The motion failed for lack of a second.

Vice Chair Harrison moved Alternative 2 to adopt the Mitigated Negative Declaration and approve the Special Development Permit and Variance with the modified conditions that Comm. Simons proposed except for the final modification regarding solar structures over covered parking.

Comm. Olevson seconded.

Vice Chair Harrison said she agrees with earlier Commissioner statements that this project would be a benefit to the community, and overrides the loss to the restaurant due to the fact that it would have shading for 100 percent for an hour. She said she does not believe a Variance is necessary based on the actual wording of the code, and that the developer has worked hard with staff and the community to establish a project that looks good, is safe and provides for an attractive community as per the Precise Plan for El Camino Real (PPECR) requirements. She said the additions that Comm. Simons offered with regard to the trees on the third story and bike striping enhance the project and safety of the community.

Comm. Olevson said solar shading is a non-issue, and that shading trees may hinder their growth, but if they are already 50 to 60 feet high it is not an issue. He said he sees a nice project, one where the owner and developer have worked a great deal with their neighbors and staff to come up with a project that will enhance Sunnyvale. He said they are providing shuttle service and other things we think enhance this type of project, that he likes the modifications Comm. Simons put forward except that regarding solar shading, therefore making it easy for him to support this project.

Comm. Klein said he will not be supporting the motion, and that he still has an issue with the requested Variance. He said he is happy with the design of the project and the changes made to the COAs which are a positive twist on the project. He requested that staff and City Council reexamine the current solar code and the request for Variances. He noted that with other projects where solar shading was a slight increase over ten percent meant a denial of the request, and that if we applied the same Variance decision to the project two weeks ago because it was only a small building and portion of the project, that Variance would have been approved. He said staff and the Planning Commission need better direction and evaluation of what the application of that Ordinance needs to be and any possible changes to clarify for staff, the Planning Commission, City Council and developers what the right practice is and best implementation of solar access might be. He said that may mean looking for alternatives for neighbors as recompense when you go beyond a certain shading level and giving them an out like a fee and

that many alternatives are available. He said the question of a solar Variance is not something to be decided on a given night, but should be clarified within the code.

Comm. Rheume said he is supporting the motion and appreciates and was persuaded by the Planning Commissioners comments on this and the previous motions. He said he was stuck on the fact that two weeks ago we denied a very similar project, and thought we should deny this one as well, but that this is different and reaches many General Plan goals. He said what he likes about the project is that it meets specifics of the PPECR to enhance the experience of, and bring more pedestrian friendly environments closer to El Camino. He said he likes that the developer shrunk the front portion from five to three stories, and that the project will not impact the residential neighbors' abilities to provide solar power to their property. He added that this is a positive for the City and he too would like clarification on the solar policy.

Comm. Simons said the reasons he is not supporting the motion include that the justification that trees will be saved that are shading these buildings is a moot point, and that we have had projects where people put in solar arrays and neighbors have to take trees down because state law requires solar access. He said a building is permanent and cannot be not taken down if someone wants to put solar on their buildings. He recommended staff look into a tree removal option for getting solar access into Sunnyvale and for handling developments on El Camino, Mathilda Avenue and Lawrence Station. He said it makes no sense for someone to put solar on their house that may be providing 30 to 40 percent of their power while taking down trees that are shading their house and increasing their heat load 30 to 40 percent. He said we need to have solar power options that make sense and to place them where there is complete open sun that is optimized for angles, and that placement may not be on buildings, but may be in parking lots. He said his proposal may not have been the right solution, but that he is afraid it may become politically expedient to approve whatever is desired to be built on El Camino and to forgo solar protection altogether because we want to have nice nodes, retail and hotels. He said he likes how this project has been developed over time, that it is interesting to see the recommendations from the public and Planning Commission incorporated into the design, but that he cannot support approval of the project. He said the intent of this Variance is about fairness, and that, for example, if you have a required setback there may be great reasons to modify a building so that setbacks are not met, but we have requirements for setbacks in an attempt to be fair to all applicants. He said being fairer toward some people and less fair toward others because their project is wonderful is not where his decision making is coming from. He said it comes from following the rules and how to create a win-win situation when there are conflicting goals.

Chair Melton said he will be supporting the motion, and that looking at the totality of the project and all of the goals and policies of the City, he can make the findings for the Special Development Permit and to grant the Variance. He noted that later on in the agenda the Planning Commission will have the opportunity to suggest potential study issues and hopes to hear suggestions then.

MOTION: Vice Chair Harrison moved Alternative 2 to adopt the Mitigated Negative Declaration and approve the Special Development Permit and Variance with modified conditions:

- 1) That ST.1 on the materials board be replaced with an appropriate material of a higher quality look;
- 2) Require the trees shown around the decking area in the project renderings;
- 3) Add to Condition of Approval BP-21 the provision of six long-term bicycle parking spaces, and require a nicer looking option for the short-term bicycle parking spaces that are more visible;
- 4) Recommend that the applicant and staff look at integrating the required art into the construction of the building;
- 5) Include CalTrans recommendations in the Conditions of Approval, as appropriate; and,
- 6) Require an improved, visible entryway on the long northwest side of the building and bring materials from the opposite side of the building around to the northwest side to make it consistent.

Comm. Olevson seconded. The motion carried by the following vote:

Yes: 4 - Chair Melton
Vice Chair Harrison
Commissioner Olevson
Commissioner Rheume

No: 2 - Commissioner Klein
Commissioner Simons

Vice Chair Harrison left the meeting at 10:05 p.m.

- 3 [15-0976](#) File #: 2014-7416 and 2014-7417
Location: 915 DeGuigne Drive and 936 E. Duane Avenue (APNs: 205-21-001 and 2015-21-002)
Proposed Project:
 General Plan Amendment to change from Industrial to Medium Density Residential for 915 DeGuigne Drive and from Industrial to Public Facility: Park for 936 E. Duane Avenue;
 Rezoning from M-S to R-3/PD for 915 DeGuigne Drive and M-S to PF for 936 E. Duane Avenue; and
 East Sunnyvale Sense of Place Plan
Environmental Review: **Environmental Impact Report.**
Applicant/Owner: Watt Investments at Sunnyvale, LLC
Project Planner: Ryan Kuchenig (408) 730-7431, rkuchenig@sunnyvale.ca.gov

Ryan Kuchenig, Senior Planner, presented the staff report.

Chair Melton confirmed with Trudi Ryan, Planning Officer, that with Vice Chair Harrison's absence there is still a quorum, and that a recommending approval of the General Plan Amendment (GPA) and Rezone will require four affirmative votes.

Comm. Olevson commented on the rejection two years ago of nearby land for park dedication due to ground contamination, and confirmed with Ms. Ryan that the Department of Public Works revised the standard for acceptance for park land dedication and that this site is acceptable. Comm. Olevson clarified with Ms. Ryan the location of multiuse paths on the site and how bicyclists would navigate them.

Comm. Klein discussed with Carol Shariat, Principal Transportation Engineer, this project's effects on the Fair Oaks/Duane intersection and how the previous approval of the road diet means those effects cannot be mitigated, and Comm. Klein commented on the approval of the road diet being shortsighted. Comm. Klein commented on Attachment 5 not listing several residential areas and Ms. Ryan explained that the map is from the 2011 General Plan consolidation which is based on older documents. He disclosed that because he missed the study session on this portion of the project he met with the developer to understand how the project has been developed over time.

Comm. Rheame verified with Mr. Kuchenig which intersections would have unavoidable traffic impacts and whether those are based on the maximum build out or the planned project, and that the maximum density allowed is much higher than the proposal. Comm. Rheame also confirmed with Mr. Kuchenig the zoning of an approved mixed use development, and with Ms. Ryan that part of the recommendation made to Council would be for a GPA and Rezone.

Comm. Klein and Ms. Ryan discussed the appropriateness of the 0.8 acre park listed as an alternative for donation at the corner of DeGuigne and Duane, and discussed potentially looking at more mixed use sites for Industrial-to-Residential designations.

Chair Melton opened the public hearing.

Max Frank, Division President at Watt Investments, gave a presentation on the proposed project.

Chair Melton verified with Mr. Frank that 56 Below Market Rate (BMR) units are proposed for this project and that any housing mitigation fees would be paid for the balance percentage.

Jay Herbert, a member of the public, gave a presentation discussing his concerns with safety and increased traffic in the subject area.

Chair Melton confirmed with Mr. Herbert that his observations are around school drop-off and pick-up times.

Philip Payne, a Sunnyvale resident, discussed his concern with safety and traffic in the subject area, and said having more grocery stores and gas stations in the area would be useful. Mr. Payne submitted a letter outlining his concerns.

Mr. Frank addressed the residents' concerns.

Chair Melton closed the public hearing.

Comm. Klein discussed with staff the community outreach done before approval of the road diet.

Comm. Olevson moved to recommend to City Council Alternatives:

- 1) Certify the Environmental Impact Report, make the findings required by CEQA and adopt a Statement of Overriding Considerations and Mitigation Monitoring Program
- 2) Adopt a resolution amending the General Plan land use designation from Industrial to Residential Medium Density for 915 De Guigne Drive and from Industrial to Public Facility: Park for 936 E. Duane Avenue (Attachment 3).
- 3) Introduce an Ordinance to rezone 915 De Guigne from M-S to R-3/PD and 936 E. Duane Avenue from M-S to PF (Attachment 4).

Comm. Klein seconded.

Comm. Olevson said because we are recommending that City Council adopt a well written Environmental Impact Report (EIR), Sense of Place Plan and in reviewing the Fiscal Impact Analysis (FIA), we have a complete package to set policy for further development of this area, which is the appropriate step at this point. He said we will not make substantive changes to the dirt until the developer makes a specific proposal for the amount of project to put into this place.

Comm. Klein said he was able to make the findings to support the motion, and that this project should have been studied when we did the EIR of the larger area in 2007. He said coming back eight years later to finish the work has created a lot of extra work but that ultimately the impacts here are mitigated where they can be. He said he hopes staff reaches out to the local residents about the road diet, which has been received in a mixed way by the community, and noted that the developers envision the project creating less trips per day than if the industrial site was still being used. He said the impact on the road is less than it is as currently zoned, but that what the residents are saying regarding speed issues and traffic accidents will be mitigated with the road diet is not what the EIR is in place for, and that we are here to look at land use. He said it is a reasonable recommendation to City Council to rezone the site and the park as the EIR looks at the issues a residential zone would cause. He said he hopes in the future staff takes a good look at the commercial viability of a mixed use project when doing ITR zoning, and noted that residents have said this area has lost a lot of commercial properties and have only one shopping center nearby. He said as we look at rezoning and converting industrial locations, separating that land into residential and commercial sections may create a better transition, much like the shopping center is for the residential area to the north. He said when we look at the project in the future residents will be able to provide input regarding what it looks like and the effects on the community, which will hopefully be positive.

Comm. Simons said he is accepting of the EIR but only supportive of a mixed use project and alternative zoning for this area. He said having more services in this area would reduce traffic as residents would not have to travel outside of the neighborhood, and the concept of having giant chunks of residential without services does not make sense long term, especially with higher density housing here. He said the road diet will address a lot of the safety issues, that having two lanes where people are passing is the danger and not the solution and will slow traffic down. He said the road diet will be a major improvement for pedestrians and bicyclists, and that his main concern is the proposed park. He said he will take what

the City said previously about this being a pocket park, and that those of this size are not operationally efficient to maintain. He said we need to concentrate the land, and if that means we have a two-foot cap on top of the contamination underneath that would be appropriate for making contiguous groupings of land for parks.

Chair Melton said he will be supporting the motion, and finds it interesting that the applicant brought a squadron of specialist and experts and it is a testament to the completeness of the package that not all of them had to come up and share their expertise. He said the robustness of community outreach and availability of the project proponent and applicant to work with staff and speak with the public and Planning Commission are meaningful to him. He noted that we need more housing in Sunnyvale, and that the Rezone, GPA and certification of the EIR are a step toward December when we can talk about this project that will help meet this critical need. He thanked the members of the public for coming out to speak and said he understands the traffic concern and the importance of child safety, and that he believes the road diet will make the situation better. He said he hopes the lighted crosswalk will improve safety, and asked the members of the public to stay involved in the process. He said the professional traffic staff are receptive to input from the public, and thanked the applicant for going above and beyond to answer the questions he had regarding the draft EIR and the Pad C issue. He said he is comfortable with the environmental mitigation and everything in the draft EIR that hopefully Council will turn into an adopted final EIR. He reiterated that this is a really big and important motion that will need four votes to pass.

Comm. Rheume said he will support the motion but concurs with Comm. Simons about the desire for the mixed use development alternative. He said there is only a small pocket of retail across the street on Duane, which concerns him because having more services near the site would prevent additional traffic. He noted that such an alternative would substantially reduce the density for sale housing on the site, which demonstrates that we have conflicting goals.

FINAL MOTION: Comm. Olevson moved to recommend to City Council Alternatives:

- 1) Certify the Environmental Impact Report, make the findings required by CEQA and adopt a Statement of Overriding Considerations and Mitigation Monitoring Program
- 2) Adopt a resolution amending the General Plan land use designation from Industrial to Residential Medium Density for 915 De Guigne Drive and from Industrial to Public Facility: Park for 936 E. Duane Avenue (Attachment 3).
- 3) Introduce an Ordinance to rezone 915 De Guigne from M-S to R-3/PD and 936 E. Duane Avenue from M-S to PF (Attachment 4).

Comm. Klein seconded. The motion carried by the following vote:

Yes: 4 - Chair Melton
Commissioner Olevson
Commissioner Klein
Commissioner Rheume

No: 1 - Commissioner Simons

Absent: 1 - Vice Chair Harrison

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

Comm. Klein recommended reexamining the solar shading Ordinance of the City, and said we need to look at the affects of usage and not just structures. He also recommended reexamining the ten percent rule as a study issue. He also suggested a study issue to look at the rule of replacing protected trees within a development site and said we should be looking at what the right tree is for the site beyond just size. Ms. Ryan said staff will write up thoughts on each topic to see if it is accurately captured for consideration as a study issue.

Comm. Simons said he would like to add to Comm. Klein's study issue suggestion regarding solar shading looking into what types of review for uses that would include outdoor uses like sporting or farming, and to look into options for mitigation.

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

Comm. Klein thanked Ms. Ryan for her years of work with the Planning Commission and said he appreciates her making his transition onto the Planning Commission very easy.

Chair Melton offered congratulations to Ms. Ryan on her promotion, and asked Ms. Ryan to comment on transition timing for an interim and permanent Planning Officer and whether the Planning Commission would be involved in the selection process of the permanent Planning Officer. Chair Melton mentioned that he attended the Silicon Valley Asian-Pacific American Democratic Club Gala and congratulated Margaret Okuzumi, a member of the Sunnyvale Bicycle and Pedestrian Advisory Commission, for winning the award for activist of the year. Chair Melton disclosed that he met individually with the applicant for the hotel project on Wolfe and El Camino that was considered at the Planning Commission meeting two weeks ago and the proprietor of Golfland to implore each to communicate with each other on the project.

-Staff Comments

Ms. Ryan discussed recent and upcoming Planning-related City Council items, and the recruitment for various Planning positions.

INFORMATION ONLY ITEMS

None.

ADJOURNMENT

With no further business Chair Melton adjourned the Planning Commission meeting at 11:44 p.m.



City of Sunnyvale

Agenda Item

15-0896

Agenda Date: 11/9/2015

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2015-7296

Location: 433 E. Washington Ave. (APN: 209-04-032)

Zoning: R-2/PD (Low Medium Density Residential/Planned Development)

Proposed Project:

SPECIAL DEVELOPMENT PERMIT: for demolition of existing single-story duplex and construction of a new two-story, single-family home, resulting in 2,763 square feet (2,299 square feet living area and 464 square feet garage) and 53% FAR.

Applicant / Owner: LPMD Architects (applicant) / Craig Campbell (owner)

Environmental Review: Categorically Exempt from provisions of CEQA, Class 3 Section (a)

Project Planner: Teresa Zarrin, (408) 730-7429, tzarrin@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Residential Low Medium Density

Existing Site Conditions: Single-story duplex, with detached garage in the rear of the property

Surrounding Land Uses

North: Multi-Family Residential facing Evelyn Avenue (3+ story)

South: Apartments (two-story) and Single-Family Residential across the street

East: Single-Family Residence (two-story bungalow)

West: Single-Family Residence

Issues: Floor Area Ratio, Neighborhood Compatibility, Driveway Access for Neighbor

Staff Recommendation: Approve the Special Development Permit with recommended conditions.

BACKGROUND

Description of Proposed Project: The applicant proposes to demolish an existing single-story, duplex on the 5,266 sq. ft. lot and construct a new two-story, single-family home with 1,590 sq. ft. of first floor and 709 sq. ft. of second floor living area and a 464 sq. ft. garage, resulting in 2,763 square feet and 53% Floor Area Ratio in a R-2/PD zone. A Special Development Permit is required for construction of a new home in the R-2 PD zoning district to evaluate compliance with development standards and with the Single Family Home Design Techniques. Planning Commission review is required for homes that exceed 45% FAR.

See Attachment 1 for a map of the vicinity and mailing area for notices, Attachment 2 for the Project Data Table, and Attachment 9 - Site and Architectural Plans.

Previous Actions on the Site: A building permit was issued in 1951 to alter the residence to a duplex.

DISCUSSION

Development Standards: The proposed project complies with all applicable development standards including setbacks and parking (except driveway width discussed below), as set forth in the Sunnyvale Municipal Code. The following items have been noted for clarification:

- **Site Layout:** The proposed home would be located near the center of the property meeting/exceeding all setback requirements. A two-car garage and a driveway will provide access at the right side of the property's frontage.
- **Lot Coverage:** The proposal results in 39.9% lot coverage and meets the maximum 40% allowed for two-story homes.
- **Driveway Width:** The proposed driveway width is 16' wide and 20' in depth. The 16' width does not meet the minimum requirement of 17' in width but can be easily extended to the left or right to accomplish the required width. A recommended condition of approval will be to provide a driveway with a minimum width of 17'.
- **Parking:** The applicant proposes a two-car garage and driveway space for two cars (as conditioned) meeting size and dimensional requirements for two covered and two uncovered parking spaces.
- **Landscaping and Tree Preservation:** The existing site does not contain any mature trees or trees considered protected by City code. The proposed conceptual landscape plan includes plantings including shrubs and trees. A detailed Landscape and Irrigation Plan will be required as a Condition of Approval. The project is required to conform to the City's water efficient landscape code.
- **Street Tree:** There currently are no street trees on the property. A condition of approval requires planting of a street tree.
- **Solar Access:** SMC 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The project plans demonstrate that the shading would comply with this requirement. See solar study in Attachment 9 - Site and Architectural Plans.
- **Driveway:** The site is currently served by a driveway that is shared with the property to the east at 441 E. Washington Ave. Each property has a narrow driveway leading to a garage in the rear of the property (see the Site Plan in Attachment 9). The connected driveways form a wider, more useable driveway for each property. The neighbor's 8.5 foot wide driveway was approved by SDP 2004-0681. The proposed driveway is shifted to the left of its current location, would operate independently from the neighbor, and complies with the City's Public Works standards.

When the existing driveway is vacated, the neighbor's driveway approach will need to be repaired to create a curb cut and driveway approach that is independent from 433 E. Washington. The applicant's proposal for modifying the neighbor's driveway approach shifts the neighbor's driveway approach to the right to conform to Current Public Works Standards (see Attachment 9, Site Plan). However, staff determined the easiest modification is to consider the neighbor's driveway legal non-conforming and have the left side of the driveway approach be a continuation of the west side of the driveway instead shifting the driveway

approach to the right. The right side of the driveway approach would remain unchanged. The applicant's alternative made entering the driveway awkward and required driveway alterations on the neighbor's property. The new alternative eliminates these issues.

A recommended condition of approval is to modify the left side of the driveway approach for the neighbor at 441 E. Washington Ave. so it is a continuation of the west line of the driveway and keep the right side of the driveway approach unchanged.

Since the repair is in the public right-of-way and not on the neighbor's property, it is not necessary to obtain the neighbor's permission to modify the driveway approach. As a courtesy, the neighbor will be notified of the modifications.

A recommended condition of approval will be to require the applicant to pay for driveway approach modification for the neighbor at 441 E. Washington Ave. since the modification is required for the applicant's project.

Floor Area Ratio: The proposed 53% FAR requires Planning Commission review since it is in excess of the 45% FAR threshold. For the purposes of assessing neighborhood character and scale for implementation of the design techniques, a neighborhood is defined as both block faces within the same and immediately adjacent block (on the same street). Staff also included the properties within the 300 ft. noticing area up to the Downtown Specific Plan zoning district boundary. Table 1 below shows the FAR of the two-story, single-family homes and the two or more story multi-family residential in the vicinity of 433 E. Washington Ave. The FAR of the two-story single-family homes ranges from 27% to 63%. The FARs for the apartment in the neighborhood range from 27-53%

The neighborhood surrounding the project is mixed single-family and multi-family. When trying to find similarly sized homes near the project, staff identified one, new two-story home at 390 E. Washington Ave. approved with a 63% FAR in 2002. The other homes are mostly bungalows built in the 1920s and 1930s with lower FARs because the second story square footage is limited due to the bungalow architecture.

Apartments, while not directly comparable to single-family homes, contribute to the overall scale and bulk of the structures in the neighborhood. (See Table 1 below.)

Table 1 Floor Area Ratios in the E. Washington Ave. Neighborhood

Two-Story Single-family Homes						
#	Street	Sq. Ft.	Lot Size	FAR%	Year Built	Style
389	E. Washington	1176	4400	27	1925	Bungalow
390	E. Washington	2332	3700	63	2002	Contemporary
441	E. Washington	1445	5432	27	1935	Bungalow
450	E. Washington	2430	5400	45	1910	Bungalow
480	E. Washington	2056	5400	38	1930	Bungalow
200	S. Bayview	1592	5000	32	1926	Bungalow

206	S. Bayview	1695	5000	34	1930	Single-family, a
208	S. Bayview	1382	5000	28	1920	Bungalow

Multi-Family Residential					
#	Street	Sq. Ft.	Lot Size	FAR%	Year Built
365	E. Washington	4,487	8,400	53	1965
183	S. Bayview	8,580	18,124	47	1959
420	E. Washington	2,426	5,914	41	1961
432	E. Washington	1,921	4,449	43	1968
425-429	Lincoln	1,152	4,320	27	1956

Although the proposed 53% FAR is larger than most current single-family homes in the neighborhood, the project will blend with the neighborhood because of the precedence set by the house at 390 E. Washington and the many higher FAR apartments in the neighborhood. 53% FAR is also comparable to many two-story single-family homes approved using the Single Family Design Techniques. The proposed house will serve as a transition between the 85% FAR multi-family housing adjacent to the property to the north (rear) and the lower density single-family residential on the left and right side of the property.

Single Family Home Design Techniques: The City's Single Family Home Design Techniques (2003) provide guidelines for site planning, architecture, and other design elements related to neighborhood compatibility. These guidelines are referenced in the discussion and analysis below.

Neighborhood Architecture: The East Washington Ave neighborhood, just east of downtown, was developed in the 1920s and is comprised of a combination of one-story single-family homes, two-story bungalows, duplexes, and multi-story triplexes, fourplexes, and apartments. (See Attachment 7 for the location of two or more story residences). The bungalow's second stories are usually a shed dormer or within a street-facing gable which doesn't create a full second story and thus reduces the impact of the second story on the streetscape. However, the bungalows usually have steps up to a front porch that raises the overall height of the house. (See Attachment 8 for an example of a typical bungalow in the neighborhood.)

Architecture: The proposed home is contemporary style architecture with an entry arch below a broad gable on the left side of the front facade, stucco exterior, and a moderately pitched hip roof with dimensional composition shingles. The front elevation includes a stone veneer base along the entire frontage that wraps around the sides. The second story portion of the house is situated in the rear of the first story to minimize the visual impact on the streetscape. The 1,590 sq. ft. first story contains living room, dining room, kitchen, family room, three bedrooms and three bathrooms. The 709 sq. ft. second floor contains the master bedroom and bathroom and a walk-in closet resulting in a four bedroom, three bathroom house. (Attachment 9 - Site and Architectural Plans).

Heights: The proposed plate height for the first floor is 9.5' and 8' for the second story (*plate height is measured from finished floor to ceiling*). The height of the proposed residence will be 27' measured from the top-of-curb to top-of-ridge.

Generally, staff discourages first floor plate heights over 9' unless a project is on a large lot (>9,000 sq. ft.) and is located in a large lot neighborhood with more area between homes. The review criteria of the Single Family Design Techniques requires staff to compare the heights of first and second floor eaves compared to adjacent homes.

3.5 E. Keep first floor and second floor eave heights at the same general height as adjacent homes to minimize the visual bulk of the new construction. The recent desire for taller interior ceiling heights should be achieved through interior open spaces or cathedral ceilings, rather than taller exterior walls and higher eave heights, unless taller heights are consistent with adjacent homes.

Many of the bungalows in the neighborhood have an elevated first story because of the raised front porch common in their architecture. The bungalow next door to the east of the subject property has eaves that are comparable to the 9.5' proposed plate heights (See Streetscape in Attachment 9 Site and Architectural Plans). The most recent new two-story home in the neighborhood at 390 E. Washington (built in 2002) appears to have plate heights greater than 8' on the first and second stories (no plans were available). While a majority of the (non-bungalow) single family homes in this neighborhood have 8-foot plate heights, the house next door has eave heights similar to the proposed eave heights, and the influence of the raised eaves of the bungalows and the home at 390 E. Washington makes staff comfortable with the 9.5' proposed plate heights in this case.

Second Floor Area to First Floor Area Ratio: The Single Family Design Techniques recommend a second to first story floor area ratio of 35% in predominantly single story neighborhoods. The neighborhood for this site is composed of one and two-story single-family homes, duplexes, and multi-story triplexes, fourplexes, and apartments. The older-style apartments mostly have 100% ratio of first story to second story. The proposed first floor to second story ratio is a modest 34%, similar to other two-story homes in the neighborhood. Since this neighborhood is not a predominantly one-story single-family homes, the 35% second floor to first floor ratio design guideline is not applicable.

Privacy Impact: When not required for egress purposes, the proposed second story side and rear windows are reduced in size to be clerestory windows with 5'0" sill height.

Neighborhood Compatibility: The neighborhood has one and two-story homes. A new two-story home at 390 E. Washington Ave. is similar in scale and height to the proposed two-story home. As conditioned, the project addresses neighbor privacy, solar access requirements, scale and architectural design compatibility. Staff finds that the proposed two-story home also adequately addresses privacy and bulk issues associated with higher FAR projects.

ENVIRONMENTAL REVIEW

A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act provisions. Class 3 Categorical Exemptions, New Construction or Conversion of Small Structures. Section (a) includes one single-family residence, or a second dwelling unit in a residential zone.

CONCLUSION

Findings and General Plan Goals: Staff is recommending approval of the Special Development Permit subject to recommended conditions of approval as noted in Attachment 4.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

As of the date of staff report preparation, staff has received no comments from the neighbors.

Notice of Public Hearing, Staff Report and Agenda

- Published in the *Sun* newspaper
- Posted on the site
- 374 notices mailed to property owners and residents within 300 feet of the project site
- Posted on the City of Sunnyvale's Web site
- Provided at the Reference Section of the City of Sunnyvale's Public Library
- Posted on the City's official notice bulletin board
- Posted on the City of Sunnyvale's Web site

ALTERNATIVES

1. Approve the Special Development Permit subject to recommended Conditions of Approval.
2. Approve the Special Development Permit with modified Conditions of Approval.
3. Deny the Special Development Permit.

RECOMMENDATION

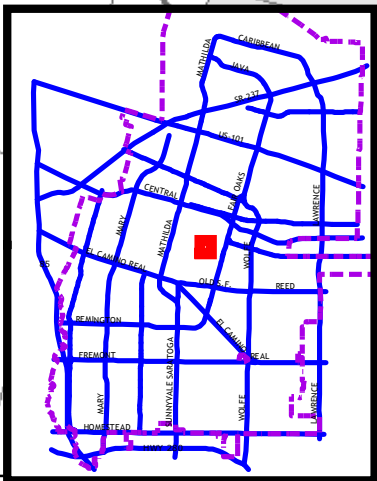
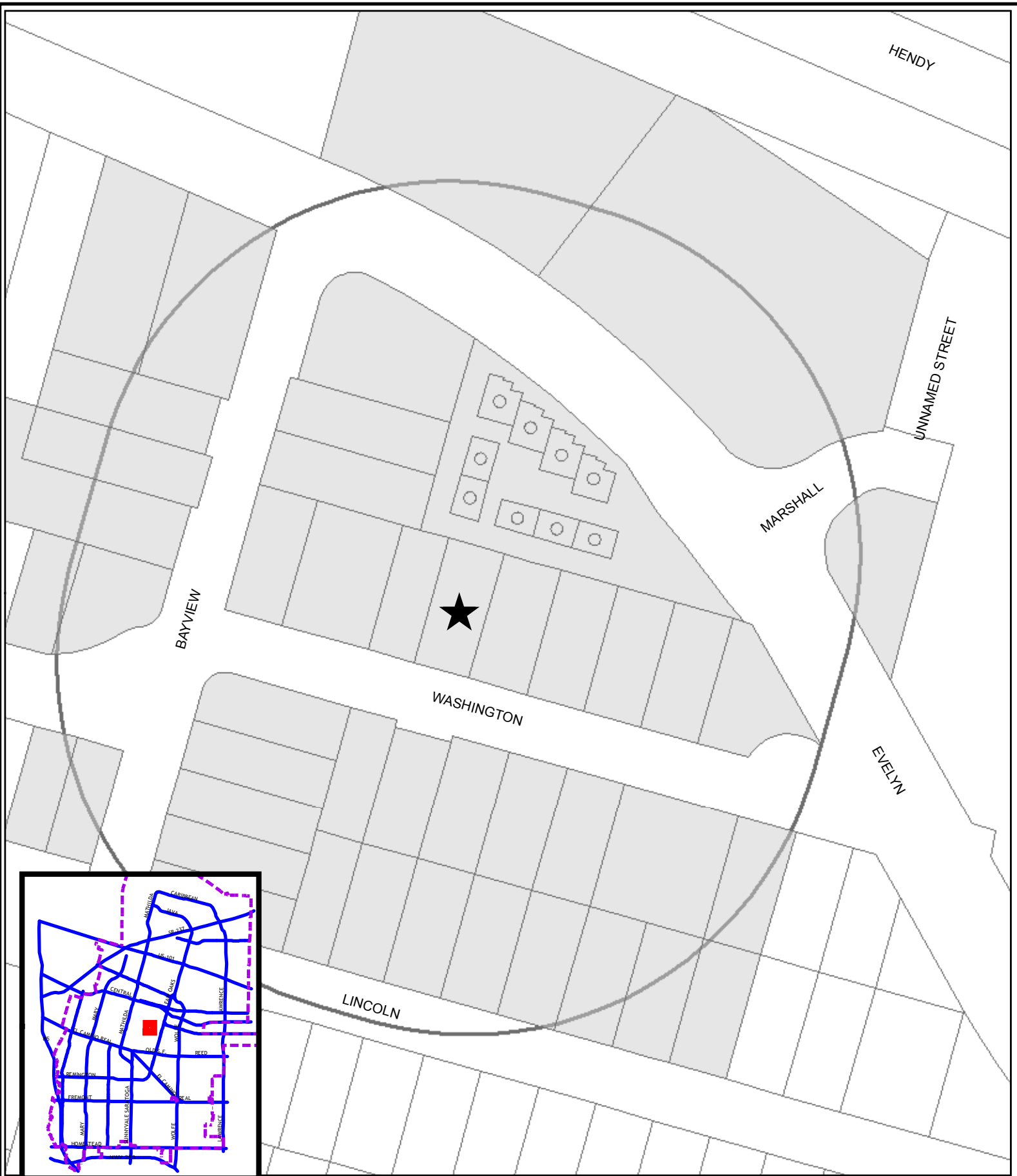
Recommend Alternative 1 to approve the Special Development Permit subject to recommended Conditions of Approval.

Prepared by: Teresa Zarrin, Associate Planner

Approved by: Gerri Caruso, Principal Planner

Attachments:

1. Noticing Radius and Vicinity Map
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Property Owner Letter
6. Special Development Permit Justifications
7. Two-Story Map
8. Typical Bungalow in the Neighborhood
9. Site and Architectural Plans



2015-7296
 433 E Washington Av (APN: 209-04-032)
 Special Development Permit
 300-foot area map

0 30 60 120 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Medium Density	Same	Residential Low Density
Zoning District	R-2/PD	Same	R-0
Lot Size (s.f.)	5,266	Same	6,000 min.
Gross Floor Area (s.f.)	1,562 (1,111 living area; 451 garage)	2,763 (2,299 living area; 464 garage)	3,600 square feet threshold (Threshold for Planning Commission Review)
Lot Coverage (%)	29.7% (1562 s.f.)	39.9% (2,106 s.f.)	40% max.
Floor Area Ratio (FAR)	29.7%	53%	45% threshold (Threshold for Planning Commission Review)
Building Height (ft.)	17'	27'	30' max.
No. of Stories	1	2	2 max.
Setbacks (First/Second Facing Property)			
Front:			
1 st Floor	25'	20'	20' min.
2 nd Floor	--	46'	25' min.
Left Side			
1 st Floor	7'3"	5'6"	4' min.
2 nd Floor	--	11'8"	7' min.
Right Side			
1 st Floor	8'3"	5'6"	4' min.
2 nd Floor	--	8'	7' min.
Rear			
1 st Floor	50'	24'-9"	20' min.
2 nd Floor	--	32'	20' min.
Parking			
Total Spaces	4	4	4 min.
Covered Spaces	2	2	2 min.

RECOMMENDED FINDINGS

Special Development Permit

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques - *Finding made*

Staff is able to make this finding as indicated below:

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed home's entry would face the street similar to the pattern in the existing neighborhood. <i>Finding Met</i>
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The proposed home respects the scale, bulk, and character of other two-story homes in the neighborhood because the project design uses measures to reduce the mass and bulk of the second story through generous setbacks, second story setback to the rear of the first story, and moderately pitched hip roof. <i>Finding Met</i>
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed design respects the privacy of adjacent neighbors by including significant second floor setbacks and minimizing second floor windows and solar shading. <i>Finding Met</i>
<i>2.2.4 Minimize the visual impacts of parking.</i>	The proposal, as conditioned, includes two covered and two uncovered parking spaces as required by code. <i>Finding Met</i>
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	The proposed project will include plantings in the front yard that will improve the streetscape. <i>Finding Met</i>
<i>2.2.6 Use high quality materials and craftsmanship</i>	The proposed design includes stucco, stone cladding and dimensional composition shingle roofing. These materials are consistent with the Design Techniques and the surrounding neighborhood. <i>Finding Met</i>
<i>2.2.7 Preserve mature landscaping</i>	No protected trees will be removed as part of this project. <i>Finding Met</i>
<i>3.3D Eave lines at entries should match or be within 24" of the height of entry eaves in the neighborhood.</i>	The height and design of the entry feature is compliant. <i>Finding Met</i>

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
NOVEMBER 9, 2015**

Special Development Permit for a new two-story home with a total floor area of 2,763 square feet (2,299 square feet living area and 464 square feet garage) resulting in 53% Floor Area Ratio (FAR).

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior

to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

GC-4. PREVIOUS USE SUPERSEDED:

Once the allowed use as approved for this planning application is exercised, the previously approved building permit 1808-5704 which allowed a duplex on the property shall be null and void with no further action required by any reviewing authority. [COA] [PLANNING]

GC-5. TITLE 25:

Provisions of Title 25 of the California Administrative Code shall be satisfied with dependence on mechanical ventilation. [SDR] [BUILDING]

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. MODIFY PLANS:

Driveway Width: The driveway shall be a minimum of 17' wide. [COA] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. LANDSCAPE PLAN:

Landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. Landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP).

BP-5. LANDSCAPE MAINTENANCE PLAN:

Prepare a landscape maintenance plan subject to review and approval by the Director of Community Development prior to issuance of building permit. [COA] [PLANNING]

BP-6. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
- b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-7. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
 - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-8. CITY STREET TREES:

The landscape plan shall including street trees and shall be submitted for review and approval by the City Arborist prior to issuance of building permit. [COA] [ENGINEERING/CITY ARBORIST]

EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. 441 E. WASHINGTON DRIVEWAY APPROACH MODIFICATION:

Modify the left side of the driveway approach of 441 E. Washington Ave. so it is a continuation of the west line of the driveway and keep

the right side of the driveway approach unchanged. Work with Public Works on the design of the approach and any other modifications necessary to the public right-of-way on the subject property and 441 E. Washington Ave. Submit plans for the driveway approach modifications to both properties. [COA] [PUBLIC WORKS]

EP-2. 441 E. WASHINGTON AVE. MODIFICATIONS OF DRIVEWAY APPROACH
PAYMENT:

The property owner of 433 E. Washington Ave. shall pay for the required modifications to the driveway approach of 441 E. Washington Ave. [COA] [PUBLIC WORKS]

EP-3. STREET LANDSCAPING:

Show the proposed street tree on plan. Add a note for tree species and tree size.

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

AT: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.

AT-1. LANDSCAPE MAINTENANCE:

All landscaping shall be installed in accordance with the approved landscape plan and shall thereafter be maintained in a neat, clean, and healthful condition. Trees shall be allowed to grow to the full genetic height and habit (trees shall not be topped). Trees shall be maintained using standard arboriculture practices. [COA] [PLANNING]

AT-2. ANY FUTURE ACCESSORY STRUCTURES REQUIRE APPORVAL THROUGH A VARIANCE: The property is near the maximum lot coverage of

39.9% for a two-story home. As per SMC Section 19.12.130 “L” (14), accessory structures (including sheds, gazebos, garden features etc.) count towards lot coverage. In the future, if you wish to add an accessory structure to the property, you will need to apply for a variance to add any more square footage to the property.

END OF CONDITIONS

To Whom it May Concern,

This is a simple Project Overview for the new house to be built at 433/435 E. Washington Ave, Sunnyvale, CA. The proposed size of the house is critical for us, because there are a number of key needs to be met for this large family:

- Mother-In-Laws quarters on first floor
- Large kitchen for Mother-In-Law to cook (Safely)
- Master Bedroom on Second floor
- Office Area
- Two car garage
- Room enough to move in Brother-in-law's family of 3 if needed in the future.
- Backyard for private reflection and entertainment

My mother-in-law is no longer as limber as she has been in the past, and we would like to provide her a comfortable Mother-In-Law's quarters, complete with private bathroom, located on the first floor so that she does not need to climb the steps every day.

My mother-in-law, as well as my wife enjoys cooking. However, my mother-in-law cooks traditional Korean dishes and my wife cooks more European/American dishes. Need a kitchen that is big enough to accommodate both to help keep the peace.

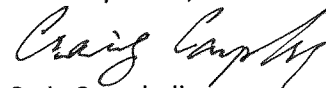
I have a job as a Manager of Technical Solutions at Quantum Secure and most of their employees work remotely from home, to save on needed office space in the Bay Area. So I need a room I can use as a dedicated office. My wife works for Adobe in San Francisco office for 3 days out of the week, but for 2 days she works from home and would share this office space requirement.

We both want to enjoy a private back yard where we can have tea in the morning and see nice landscaped lawn, not a garage for our car. So part of the new design incorporates the parking into the house structure, requiring our need for a two story home to meet our other space requirements.

And last, my brother-in-law is getting paid \$16hr, but is having a tough time providing a living in the Bay Area. He is currently living in low income assisted housing for his family of three, but there may come a time soon when they may have to come live with us to be able to survive in California with the constant increase of rent and cost of living.

Furthermore, I would like to mention that our backyard faces into a gigantic 4-story multi-family building that totally dwarfs us. My left and right neighbors, in contrast, are only 1-story tall. I am proposing my house to be 2-story, with some stylish roof pitches. My house will ultimately serve as a "transition" between the 4-story and the 1-story's.

Sincerely Yours,



Craig Campbell



USE PERMIT/SPECIAL DEVELOPMENT PERMIT JUSTIFICATIONS

One of the two following findings must be made in order to approve a Use Permit or Special Development Permit application.

The Sunnyvale Municipal code states that at least one of the following two justifications must be met before granting the Use Permit or Special Development Permit. Please provide us information on how your project meets **at least one** of the following criteria.

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale as the project ...

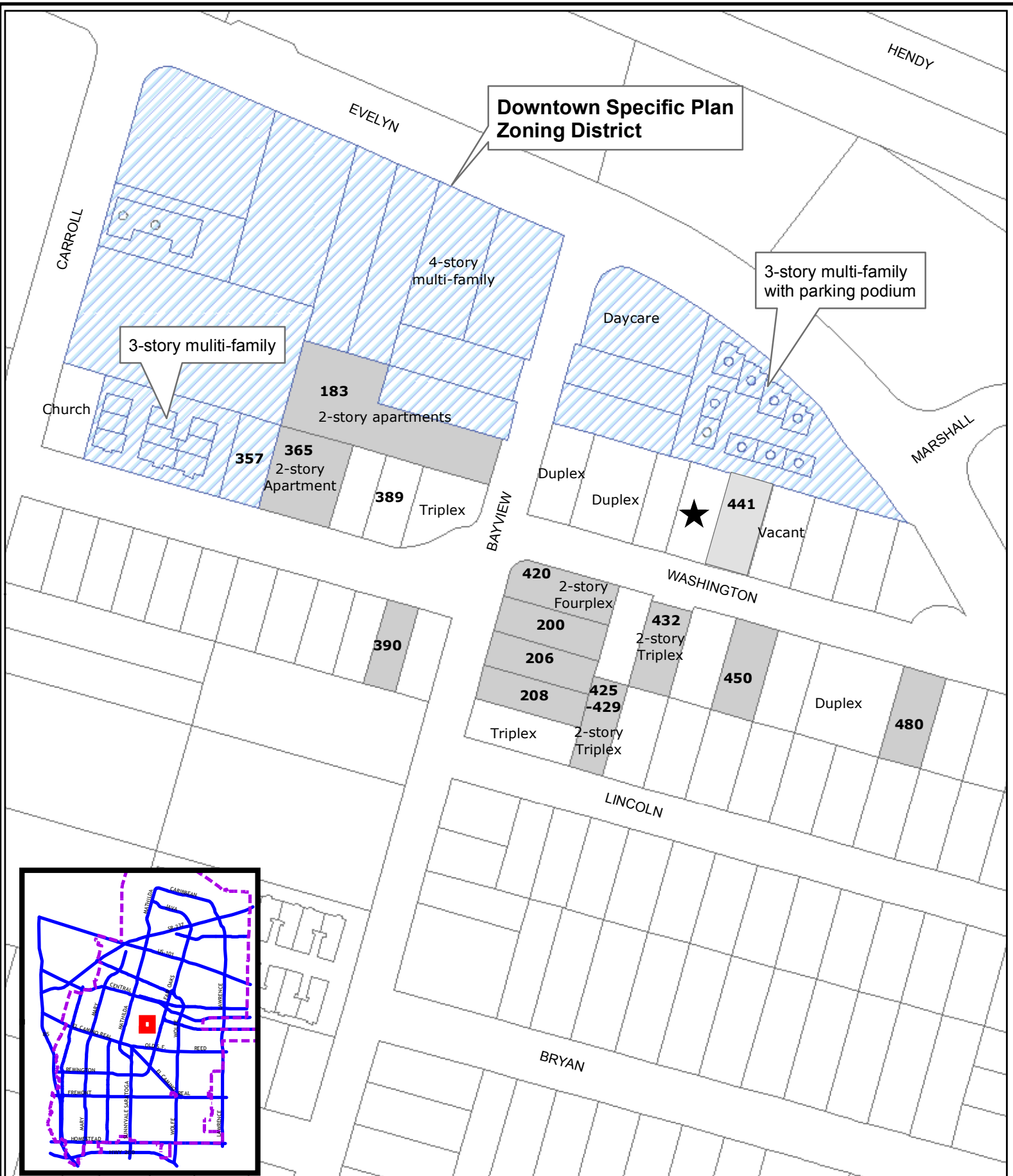
serves as the ideal transition between the high density multi-family housing at the rear and the lower density single-family immediately adjacent. The proposed F.A.R. of 53%----though slightly higher than the allowed 45%----fits in seamlessly between the higher FAR behind and the lower FAR on the sides.

OR

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties as ...

the proposed structure's massing and forms are well proportioned. It's 2-story height is the appropriate "link" between the tall 4-story structure at the back, to the single-story structures on both sides. With the proposed building in place, the variation in building height within the block will appear less drastic, thus giving a more natural streetscape appearance.

If you need assistance in answering either of these justifications, contact the Planning Division staff at the One-Stop Permit Center.



2015-7296
433 E. Washington Ave.
Two Story Vicinity Map

0 62.5 125 250 Feet

Legend

Downtown Specific Plan

2-story



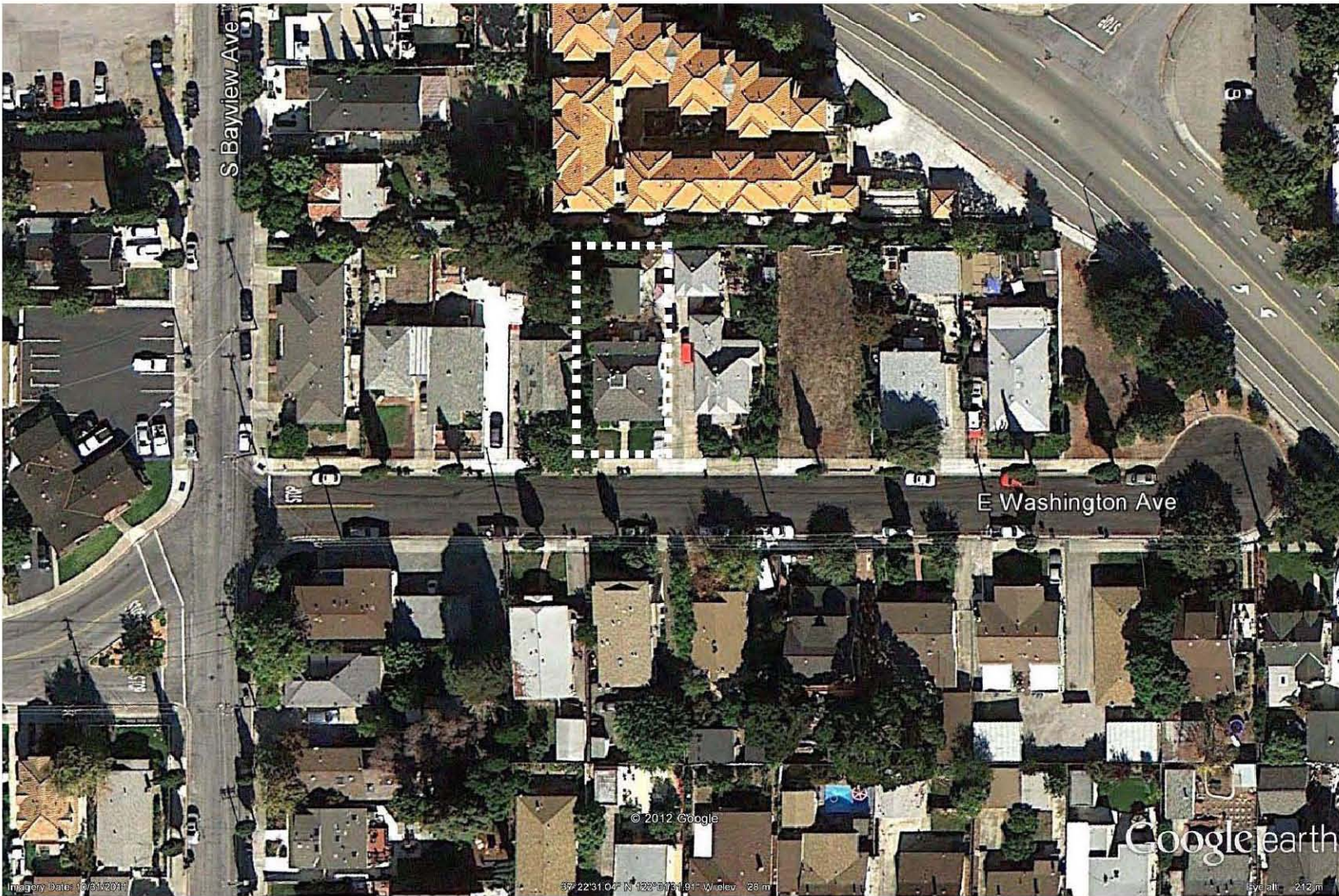


Typical Bungalow in E Washington Ave. Neighborhood

Features

- Steps up to raised porch
- Higher eaves due to raised porch
- Shed dormer for low-profile second story

NEW SINGLE FAMILY HOME
433 E. WASHINGTON AVENUE
SUNNYVALE, CA



RESIDENTIAL PROJECT DATA
Applicant should refer to the Sunnyvale Municipal Code for current requirements.

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
<input type="checkbox"/> General Plan Category			
<input type="checkbox"/> Zoning District	R-2	R-2	R-2
<input type="checkbox"/> Lot Size (sq. ft.)	5,266	5,266	8,000 min.
<input type="checkbox"/> Gross Floor Area (sq. ft.)	1,111 Living+451 Garage	2,763	2,369 max.
<input type="checkbox"/> Floor Area Ratio (%)	29.7	52.5	45.0 max.
<input type="checkbox"/> Lot Coverage (%)	1562/5266 = 29.7	2106/5266 = 39.99	40.0 max.
<input type="checkbox"/> Number of Units	1	1	1 max.
<input type="checkbox"/> Density (units/acre)	1 u/a	1 u/a	12 u/a max.
<input type="checkbox"/> Meets 75% min?	n/a	n/a	n/a max.
<input type="checkbox"/> Bedrooms / Unit	2	4	n/a max.
<input type="checkbox"/> Unit Sizes (sq. ft.)	n/a	n/a	n/a
<input type="checkbox"/> Lockable Storage / Unit (cu. ft.)	n/a	n/a	n/a max.
<input type="checkbox"/> Number of Buildings On-Site	2	1	
<input type="checkbox"/> Distance Between Buildings	15'	n/a	n/a min.
<input type="checkbox"/> Building Height (ft.)	17'	27.5'	30'-0" max.
<input type="checkbox"/> No. of Stories	1	2	2 max.
<input type="checkbox"/> Front Setbacks (1 st Story/2 nd story)	25' / ---	20' / 46'	20' / 25' min.
<input type="checkbox"/> Left Side Setbacks(1 st Story/2 nd story facing property)	7.3' / ---	5.5' / 11.6'	4' / 7' min.
<input type="checkbox"/> Right Side Setbacks(1 st Story/2 nd Story facing property)	8.3' / ---	5.5' / 8'	4' / 7' min.
<input type="checkbox"/> Rear Setback	50'	24'-9"	20' min.
<input type="checkbox"/> Landscaping (total sq. ft.)	1,341	2,391	n/a min.
<input type="checkbox"/> Landscaping (sq. ft./unit)	n/a	n/a	n/a
<input type="checkbox"/> Useable Open Space (sq. ft./unit)	n/a	n/a	15 ft. min.
<input type="checkbox"/> Parking Lot Area Shading (%)	n/a	n/a	50% min. in 15 yrs.
<input type="checkbox"/> Water Conserving Plants (%)	0%	90%	70% min.
<input type="checkbox"/> Total No. of Parking Spaces	2	2	2 min.
<input type="checkbox"/> Standards	2	2	2 min.
<input type="checkbox"/> Compacts / % of total	n/a	n/a	n/a max.
<input type="checkbox"/> Accessible Spaces	n/a	n/a	n/a min.
<input type="checkbox"/> Covered Spaces	2	2	2 min.
<input type="checkbox"/> Aisle Width (ft.)	n/a	n/a	n/a
<input type="checkbox"/> Bicycle Parking	n/a	n/a	n/a
<input type="checkbox"/> Impervious Surface Area (sq. ft.)	3,504	2,751	
<input type="checkbox"/> Impervious Surface (%)	67%	52%	

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444
Planners and Building Division staff are available 8:00 a.m. to noon and 1:00 to 5:00 p.m.
www.SunnyvalePlanning.com / www.SunnyvaleBuilding.com

Rev. 11/15 (yellow)

PROJECT INFORMATION:

A.P.N 209-04-032
ZONE R2
SITE AREA 5,266 S.F. NET

PROJECT SCOPE: DEMOLISH EXISTING SINGLE STORY HOME WITH DETACHED GARAGE
CONSTRUCT NEW TWO STORY SINGLE FAMILY HOME WITH ATTACHED GARAGE

$\frac{2,763}{5,266 \text{ LOT SIZE}} = 0.525 \text{ F.A.R.}$

NEW FIRST FLOOR LIVING AREA = 1,589.66 S.F.
NEW SECOND FLOOR LIVING AREA = 709.03 S.F. (34.5% OF FIRST FLOOR LIVING + GARAGE)

TOTAL LIVING AREA = 2,298.69 S.F.
GARAGE = 464.42 S.F.
TOTAL = 2,763.11 S.F.

COVERAGE = $\frac{1589.66 + 464.42 + 51.59}{5,266 \text{ LOT SIZE}} = 39.99 \%$
= (40 % ALLOWED)

0 COVER SHEET

C0 EXISTING GRADING PLAN
C1-C3 PROPOSED GRADING PLAN

1 ARCHITECTURAL SITE PLAN

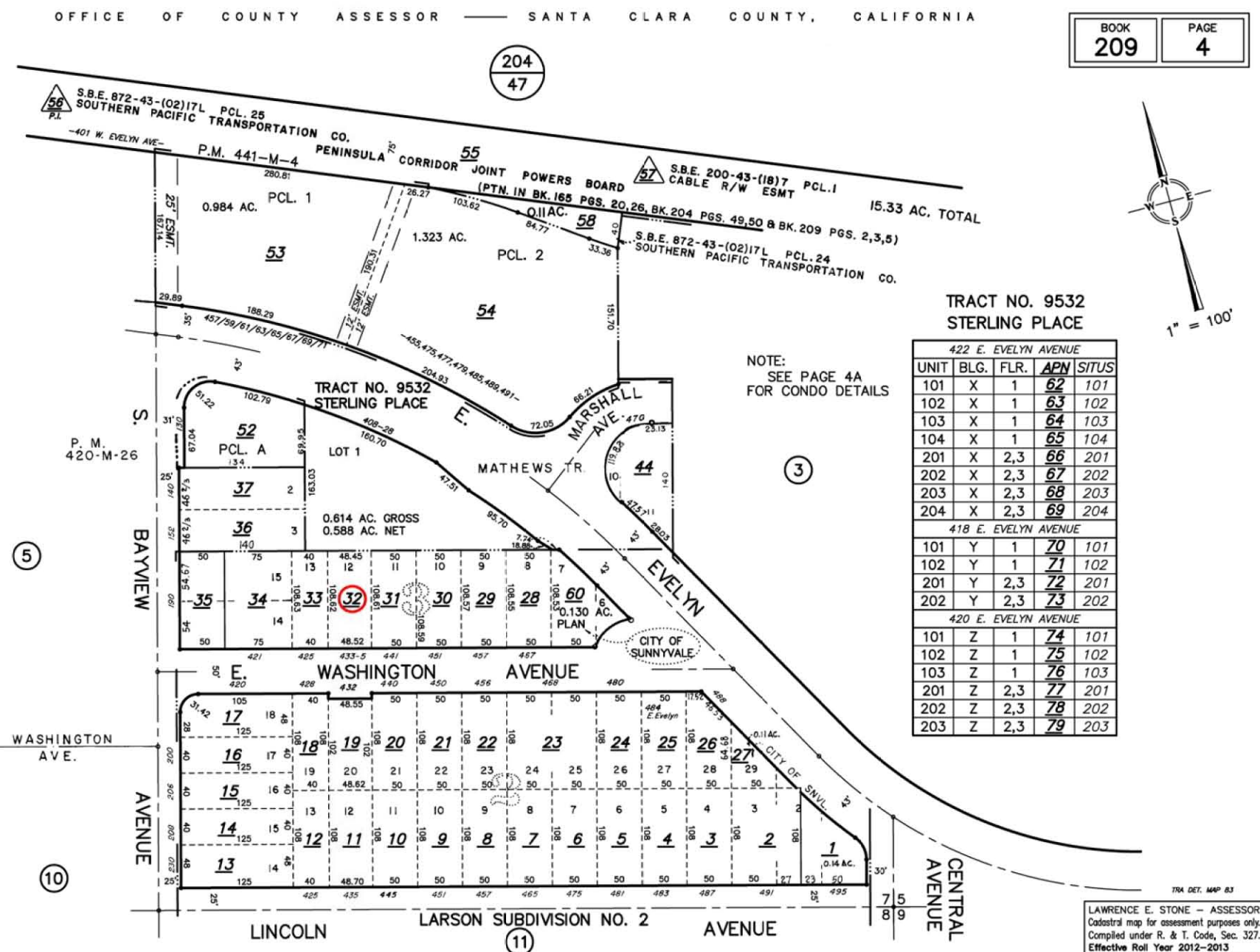
2.1 PROPOSED FIRST AND SECOND FLOOR PLANS

3.0 FRAMING SECTIONS AND ROOF PLAN
3.1 PROPOSED EXTERIOR ELEVATIONS
3.2 PROPOSED EXTERIOR ELEVATIONS

4 PROPOSED STREETSCAPE

5 AREA CALCULATION

L.1 CONCEPTUAL LANDSCAPE PLAN



MR. AND MRS. CRAIG CAMPBELL
433 E WASHINGTON AVENUE
SUNNYVALE CA

PLANNING SUBMITTAL
NEW SINGLE FAMILY HOME

433 E. WASHINGTON AVENUE
SUNNYVALE, CALIFORNIA

Date: 3-23-2015
Scale:

Revisions:

Drawing Title:

COVER SHEET

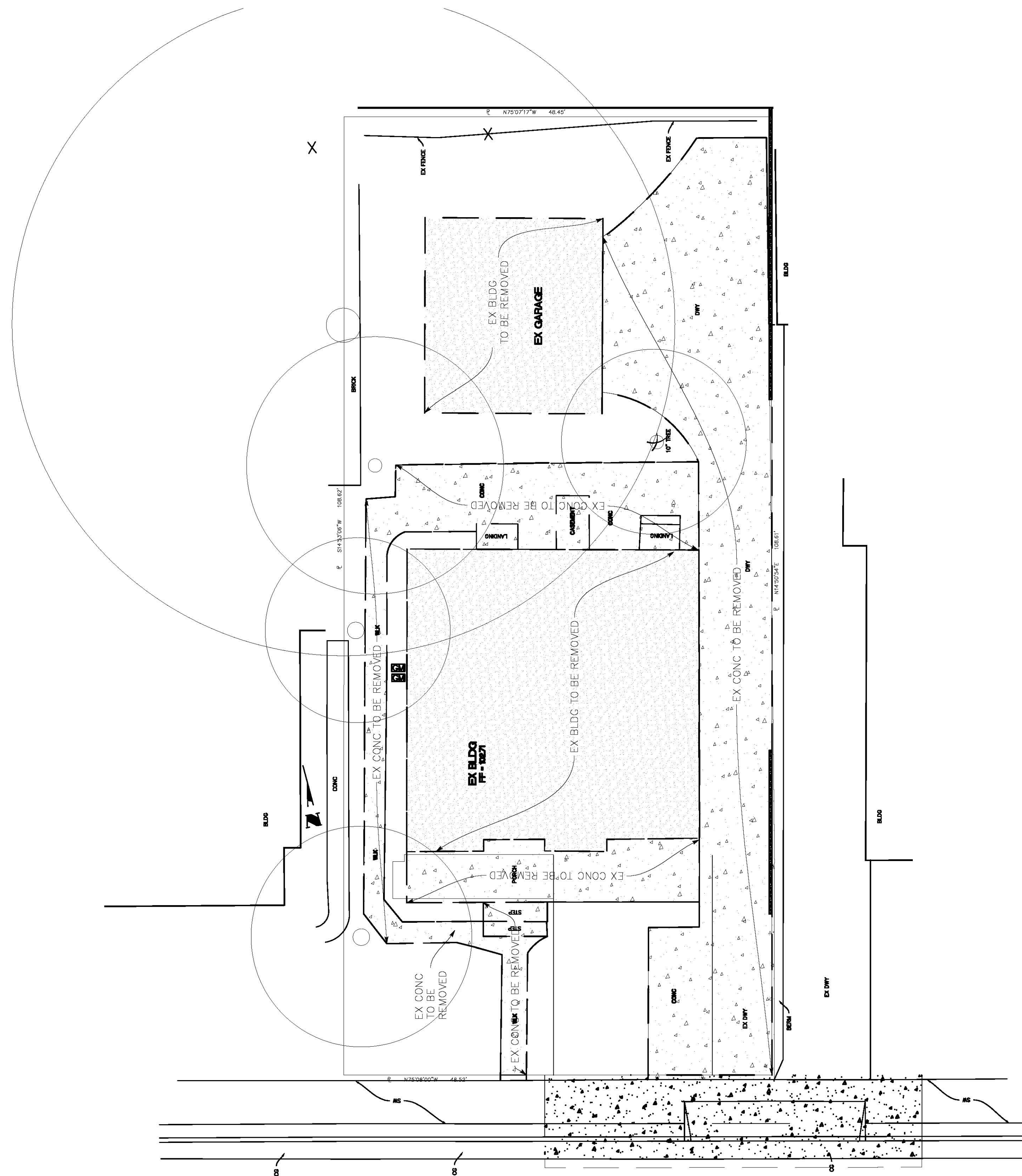
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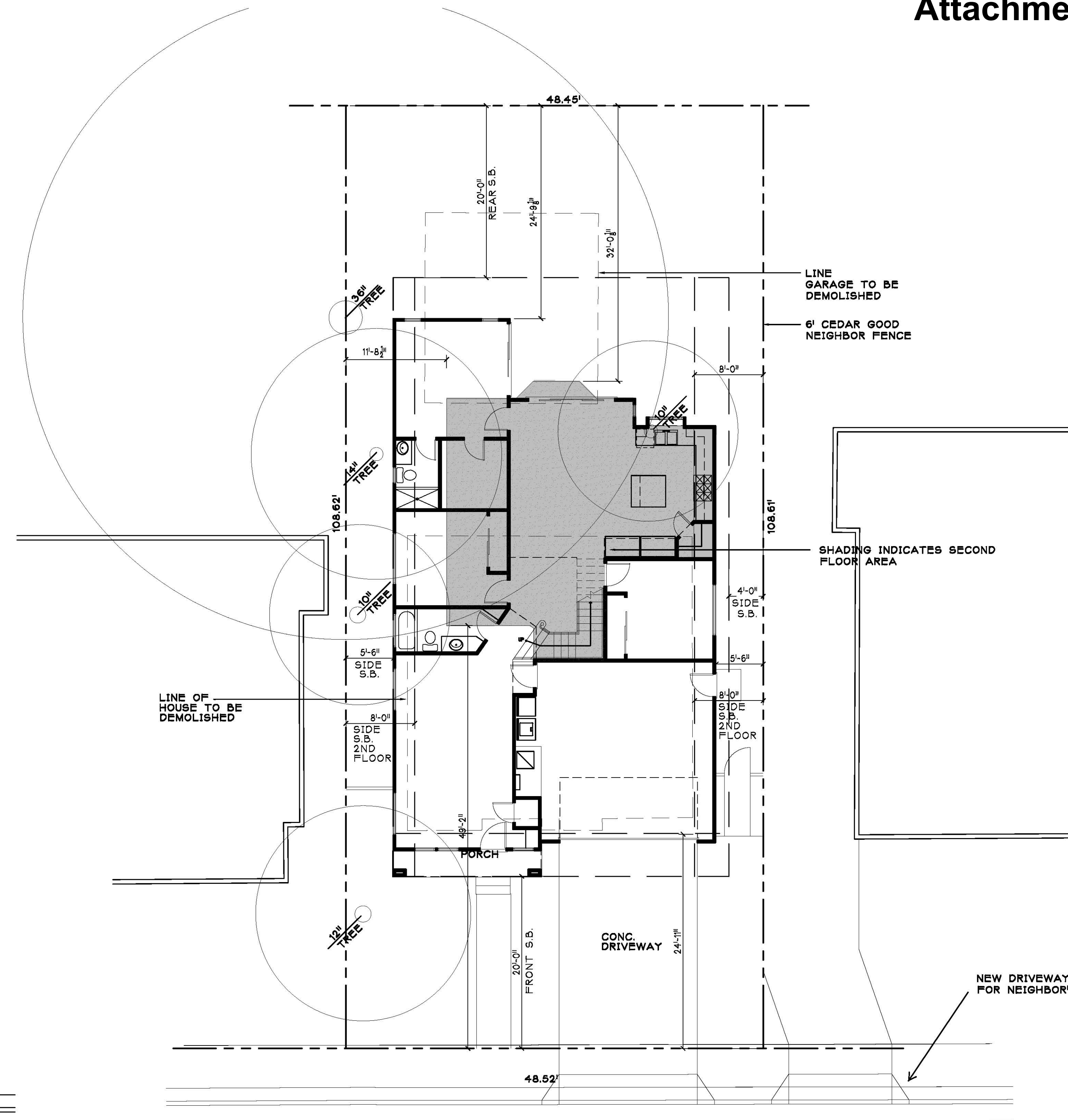
1288 Kifer Road, #206
Sunnyvale, CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



WASHINGTON AVENUE

EXISTING SITE PLAN

1/8" = 1'-0"



WASHINGTON AVENUE

PROPOSED SITE PLAN

1/8" = 1'-0"

NO PROTECTED TREES 38" OR GREATER IN CIRCUMFERENCE IS PROPOSED FOR REMOVAL

MR. AND MRS. CRAIG CAMPBELL
433 E. WASHINGTON AVENUE
SUNNYVALE CA

PLANNING SUBMITTAL
NEW SINGLE FAMILY HOME

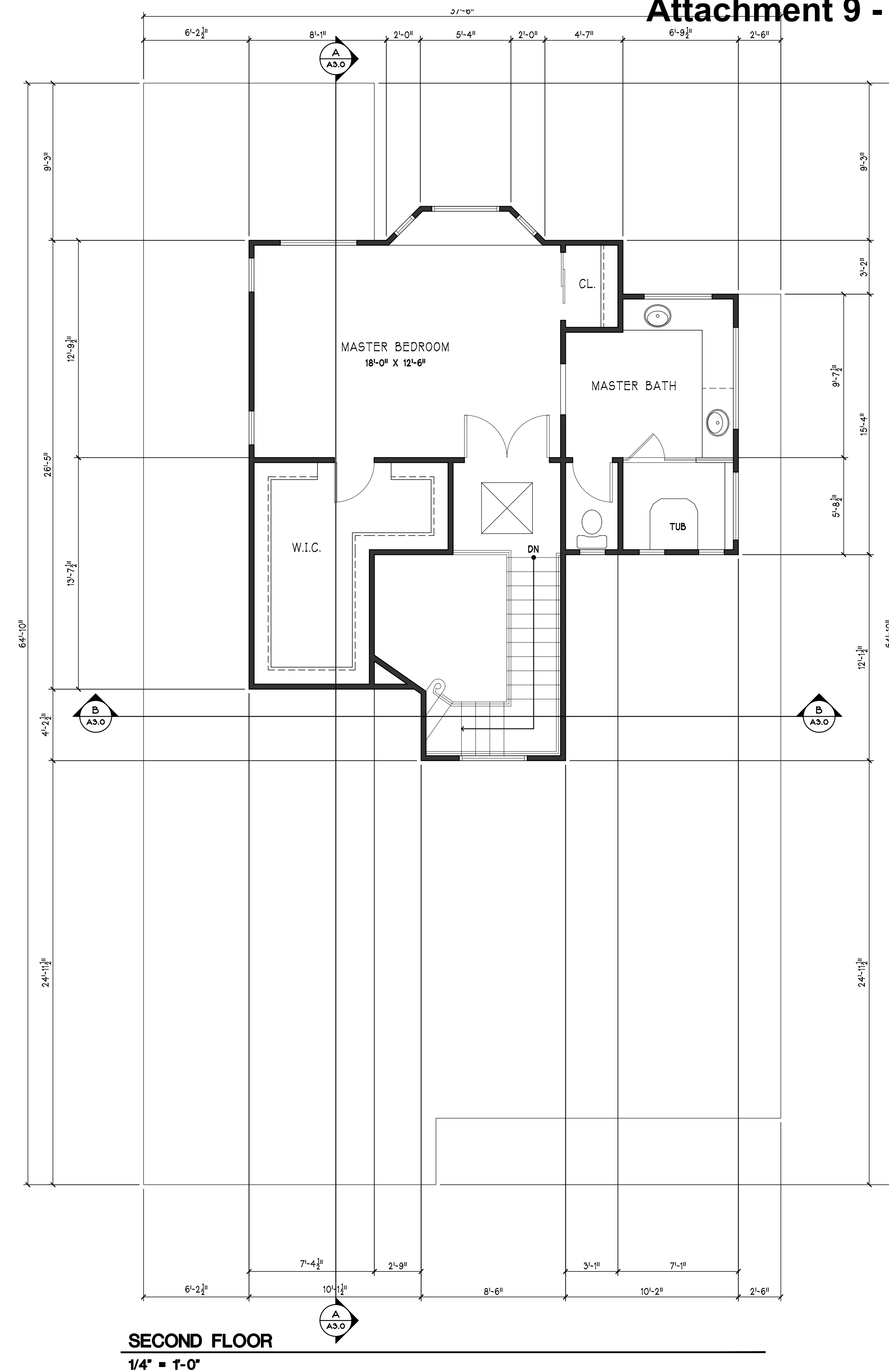
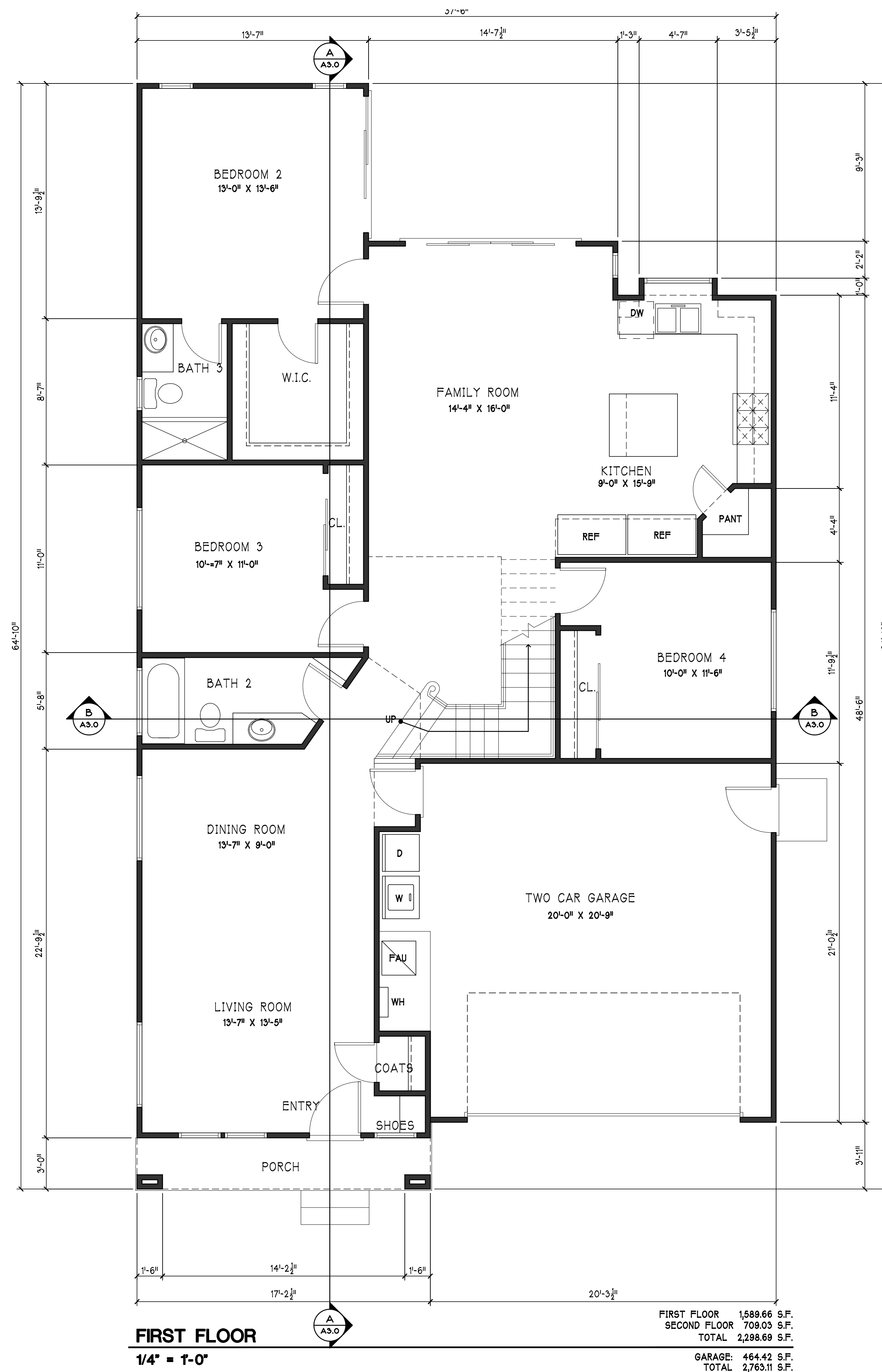
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Date: 3-23-2015
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SITE PLAN
Sheet No:
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PLANNING SUBMITTAL NEW SINGLE FAMILY HOME

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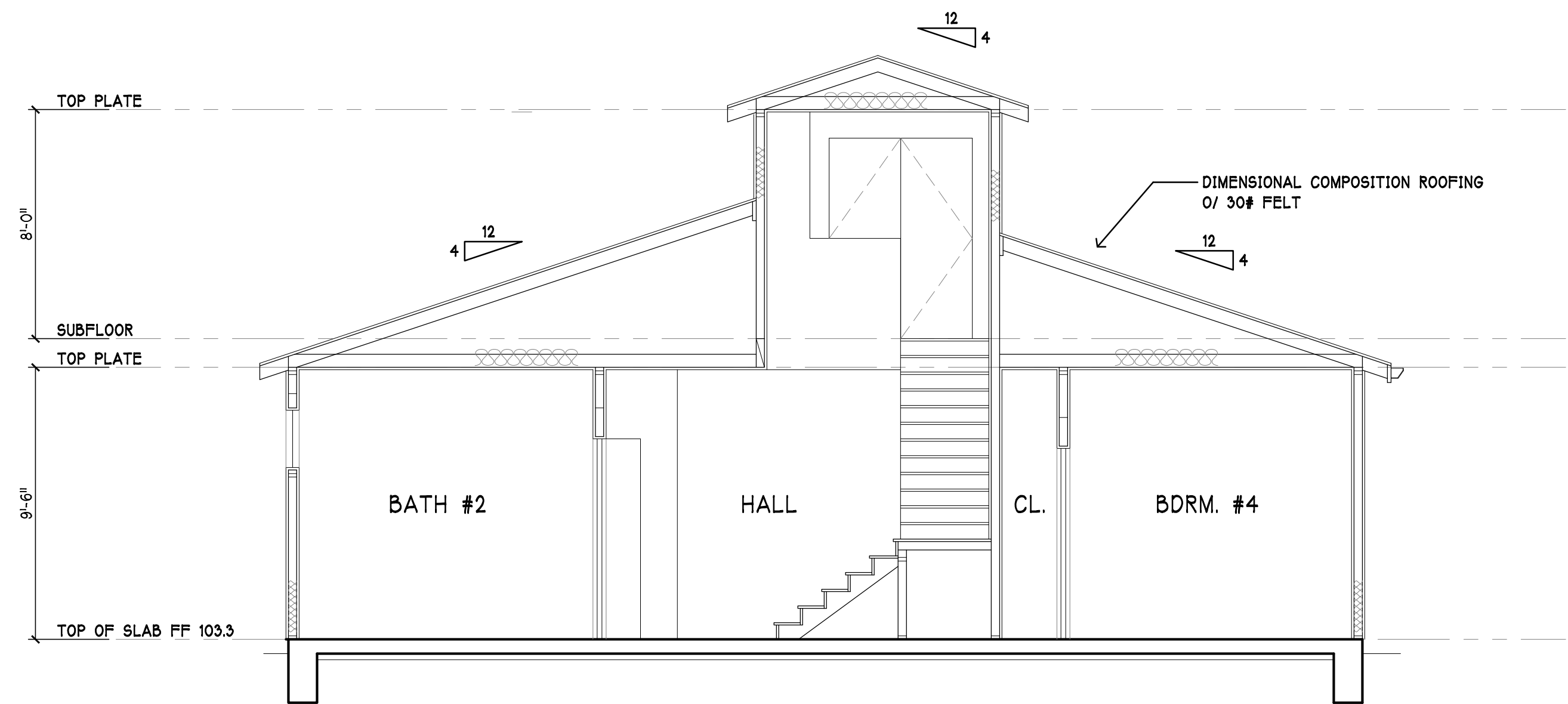
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**FIRST & SECOND
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Sheet No:

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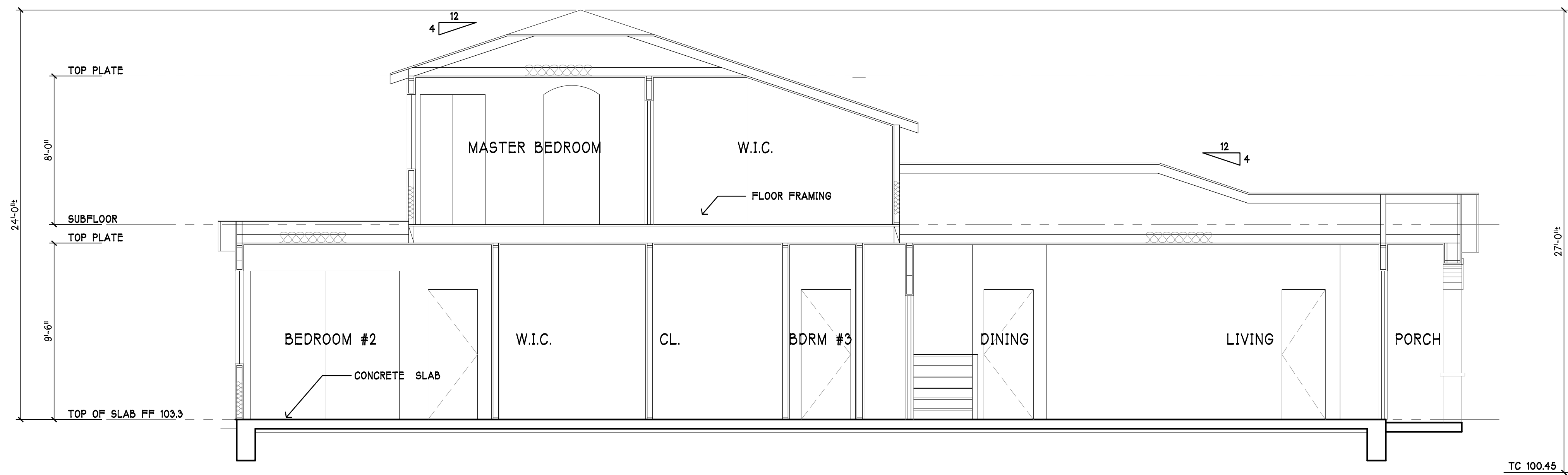
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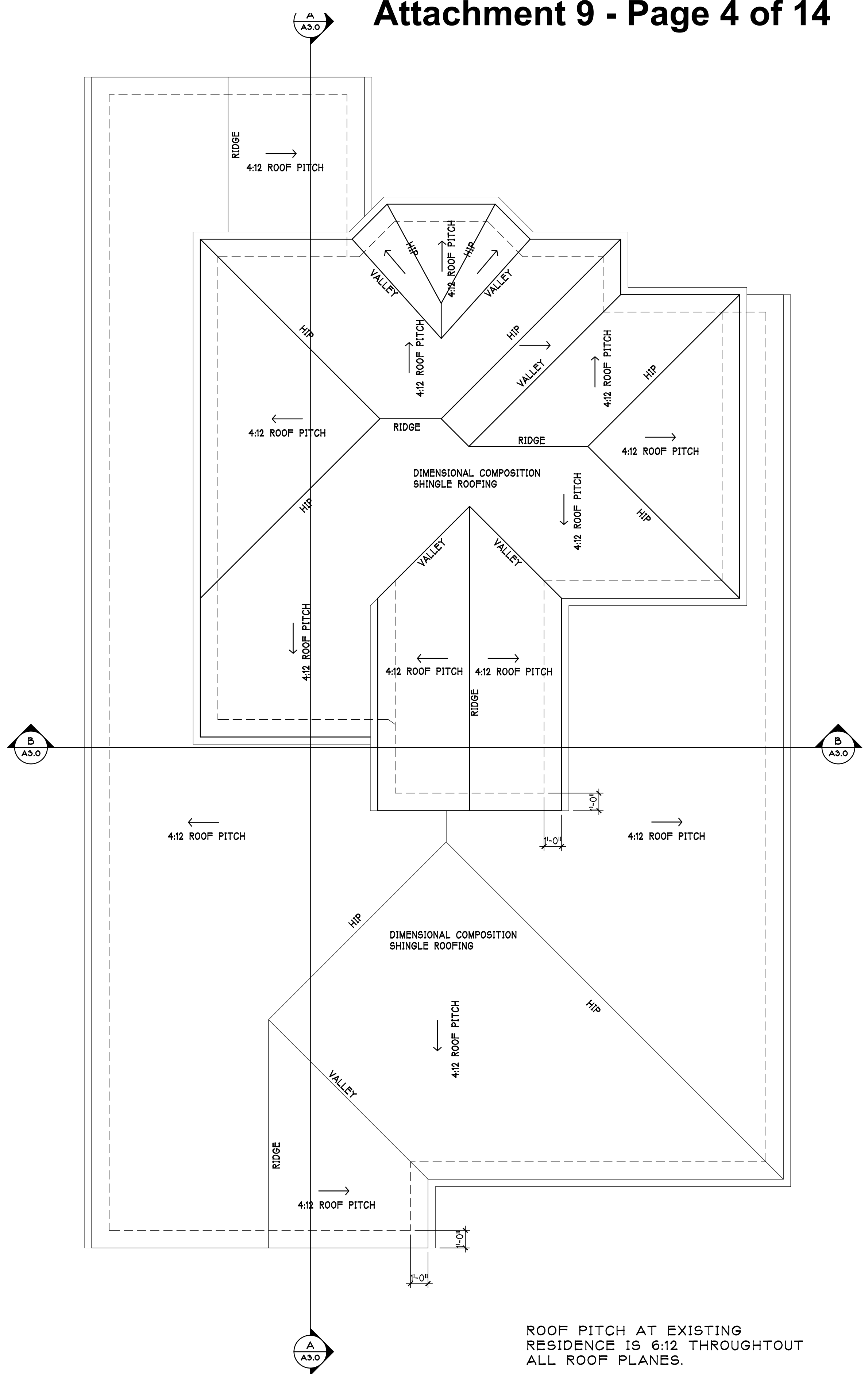
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PROPOSED FRAMING SECTION B
1/4" = 1'-0"



PROPOSED FRAMING SECTION A
1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"

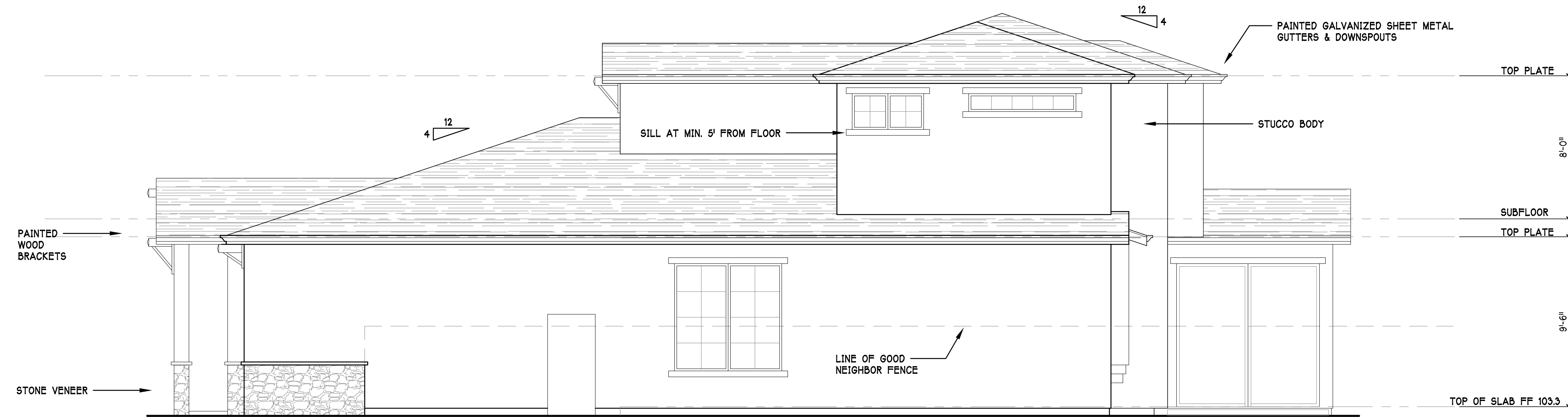
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Drawing Title:
**SECTION &
ROOF PLAN**
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**RIGHT SIDE ELEVATION****1/4" = 1'-0"****FRONT ELEVATION****1/4" = 1'-0"**

MR. AND MRS. CRAIG CAMPBELL
 433 E. WASHINGTON AVENUE
 SUNNYVALE CA

PLANNING SUBMITTAL NEW SINGLE FAMILY HOME

433 E. WASHINGTON AVENUE
 SUNNYVALE, CALIFORNIA

Date: 3-23-2015

Scale:

Revisions:

Drawing Title:

**EXTERIOR
 ELEVATIONS**

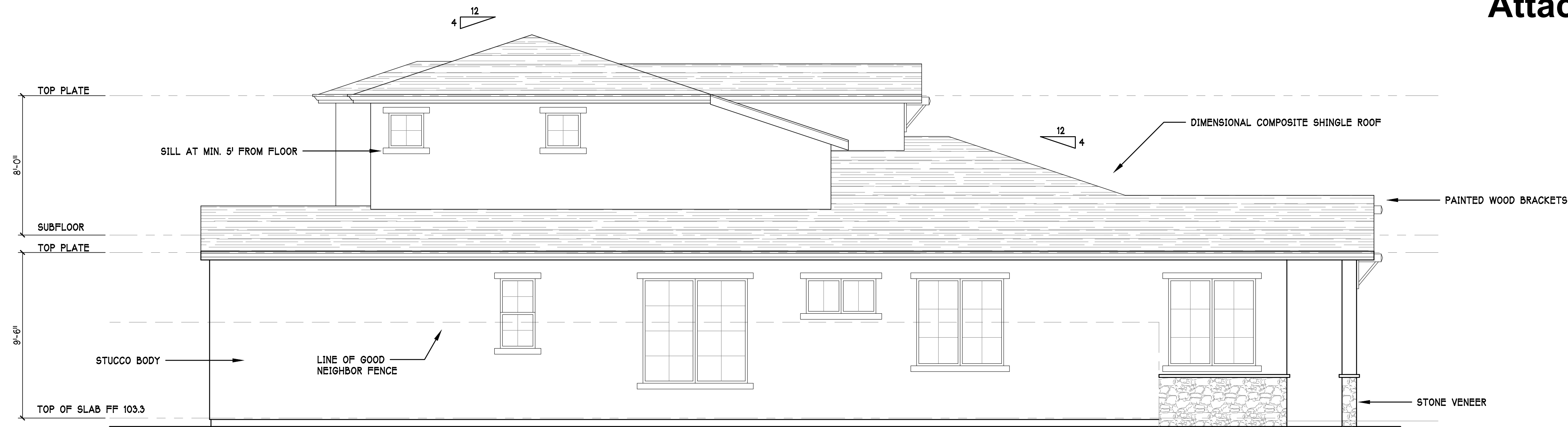
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LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

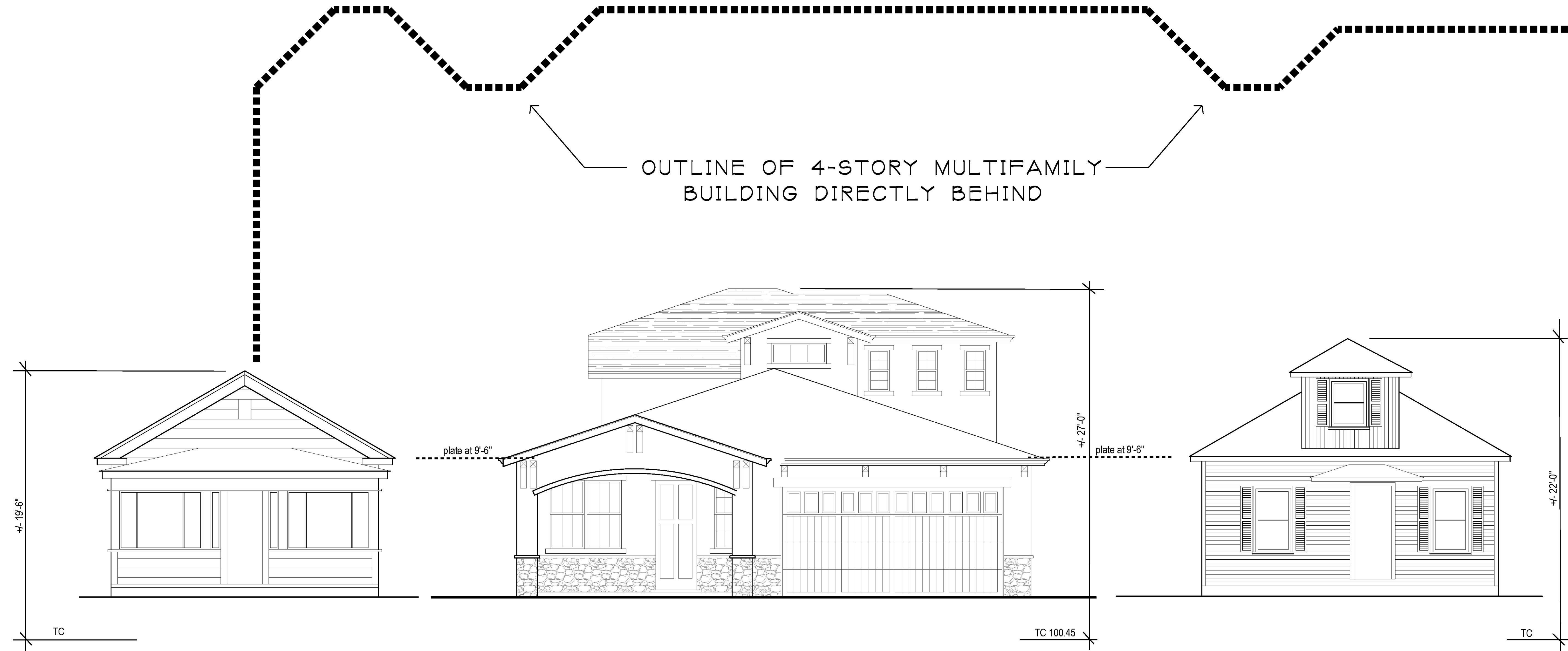
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PLANNING SUBMITTAL
NEW SINGLE FAMILY HOME
433 E. WASHINGTON AVENUE
SUNNYVALE, CALIFORNIA

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Scale:
Revisions:

Drawing Title:
**EXTERIOR
ELEVATIONS**
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3.2
of Sheets

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425 E. WASHINGTON

433 E. WASHINGTON

441 E. WASHINGTON

WASHINGTON AVENUE

MR. AND MRS. CRAIG CAMPBELL
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PLANNING SUBMITTAL
NEW SINGLE FAMILY HOME

433 E. WASHINGTON AVENUE
 SUNNYVALE, CALIFORNIA

Date: 3-23-2015

Scale:

Revisions:

Drawing Title:

STREETSCAPE

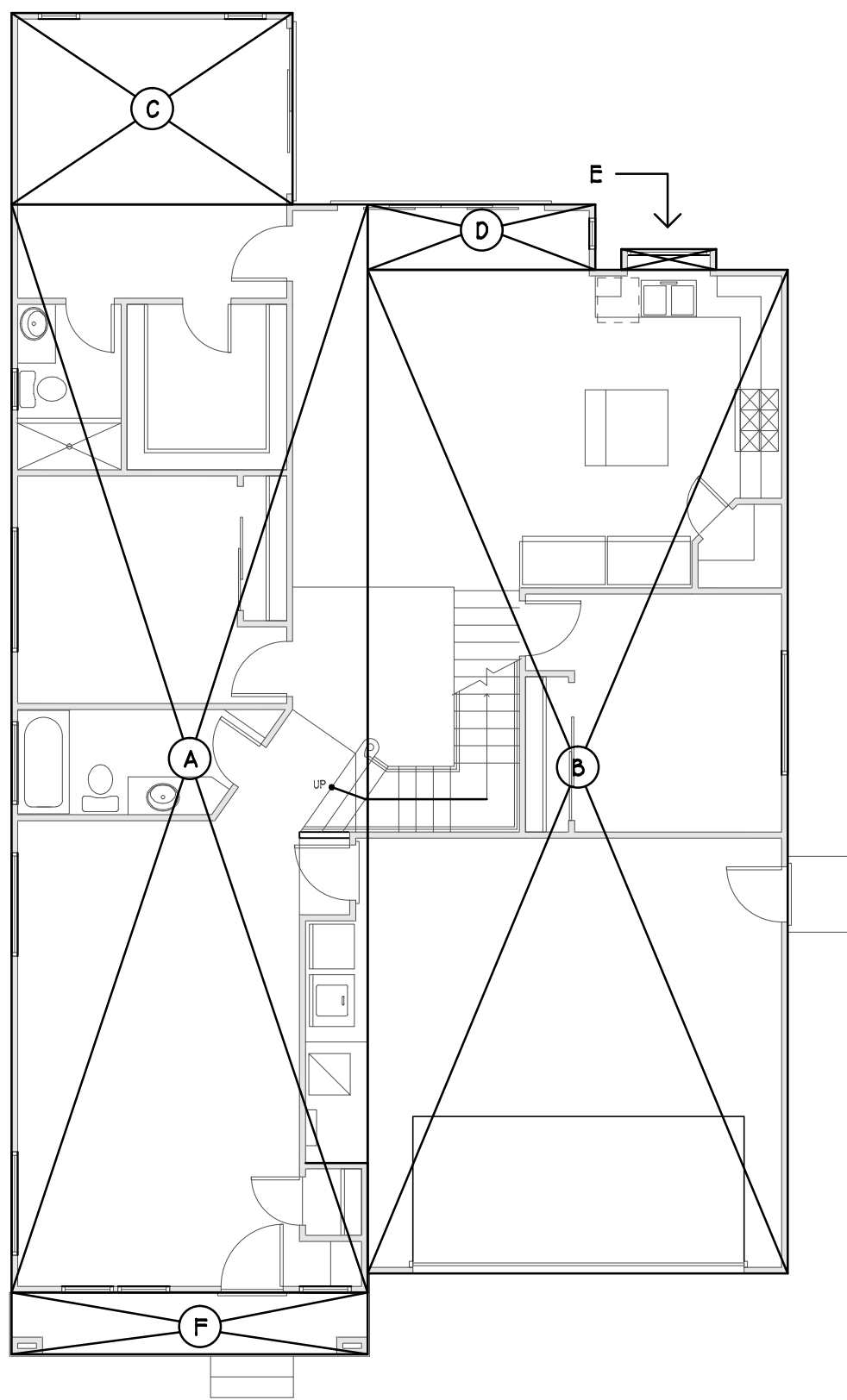
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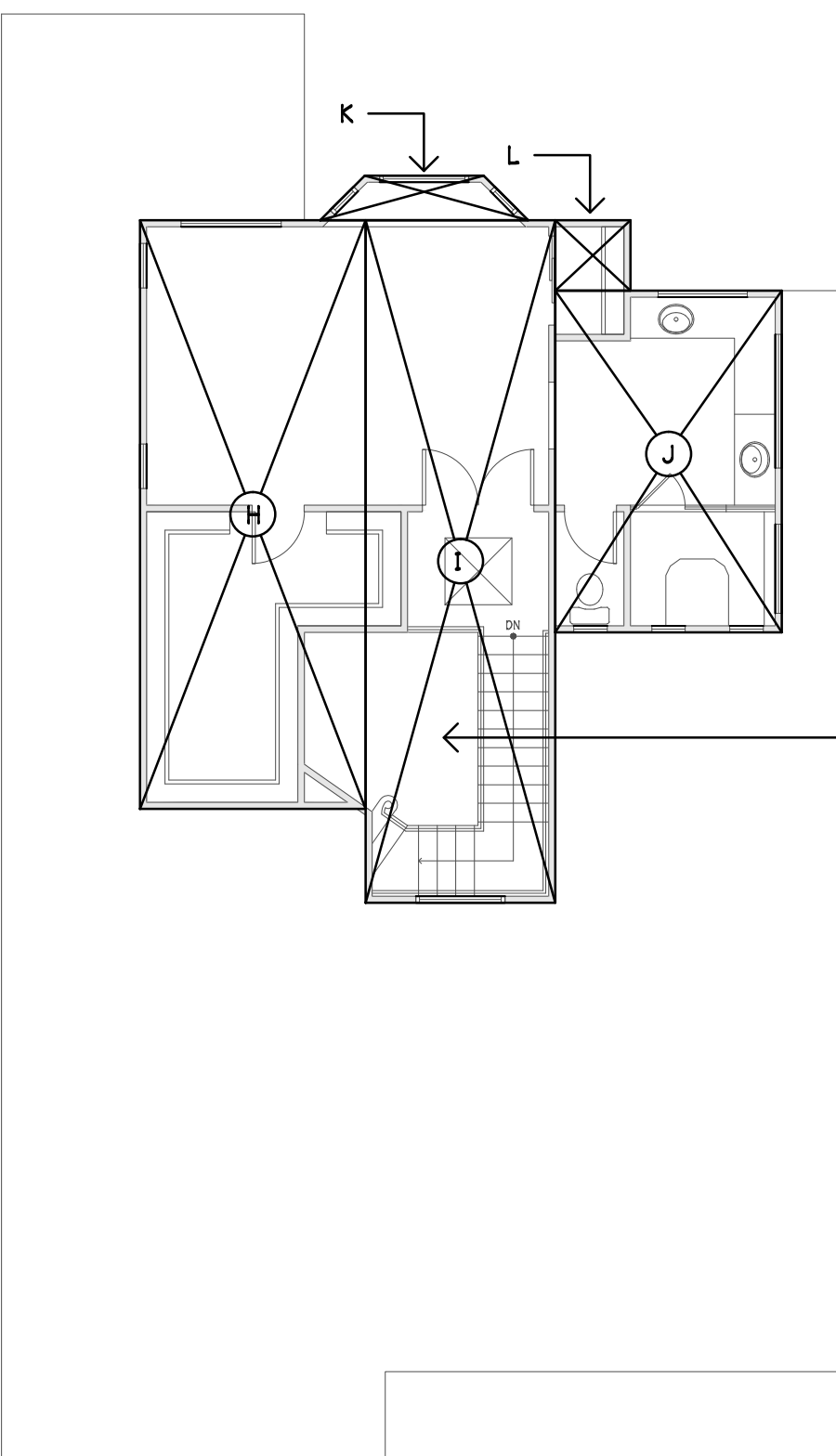
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1 FIRST FLOOR
1/8" = 1'-0"

NOTE:
SQUARE FOOTAGE CALCULATIONS ARE
TAKEN FROM EXTERIOR FACE OF STUD.
STAIRWELL COUNTED ON BOTH FLOORS.

FIRST FLOOR 1,589.66 SQ. FT.
GARAGE 464.42 SQ. FT.
TOTAL 2,054.08 SQ. FT.



2 SECOND FLOOR
1/8" = 1'-0"

NOTE:
SQUARE FOOTAGE CALCULATIONS ARE
TAKEN FROM EXTERIOR FACE OF STUD.
STAIRWELL COUNTED ON BOTH FLOORS.

SECOND FLOOR 708.03 SQ. FT.

AREA WITH INTERIOR CEILING HEIGHT
IN EXCESS OF 15' HAVE BEEN COUNTED
AGAIN ON SECOND FLOOR.

SECTION	DIMENSIONS	AREA
A	17'-2-1/2"x52'-7"	904.87 SQ. FT.
B	20'-3-1/2"x48'-6"	984.15 SQ. FT.
C	15'-7"x9'-3"	125.65 SQ. FT.
D	11'-0"x3'-2"	34.83 SQ. FT.
E	4'-7"x1'-0"	4.58 SQ. FT.
FIRST STORY SUBTOTAL =		2,054.08 SQ. FT.
H	10'-1-1/2"x26'-5"	267.47 SQ. FT.
I	8'-6"x30'-7-1/2"	260.31 SQ. FT.
J	10'-2"x15'-4"	155.89 SQ. FT.
K	7'-4"x2'-0"	14.67 SQ. FT.
L	3'-4-1/2"x3'-2"	10.69 SQ. FT.
SECOND STORY SUBTOTAL =		708.03 SQ. FT.
TOTAL FLOOR AREA =		2,762.11 SQ. FT.
F	17'-2-1/2"x3'-0"	51.59 SQ. FT.
FIRST STORY SUBTOTAL =		2,054.08 SQ. FT.
TOTAL LOT COVERAGE =		2,105.67 SQ. FT.

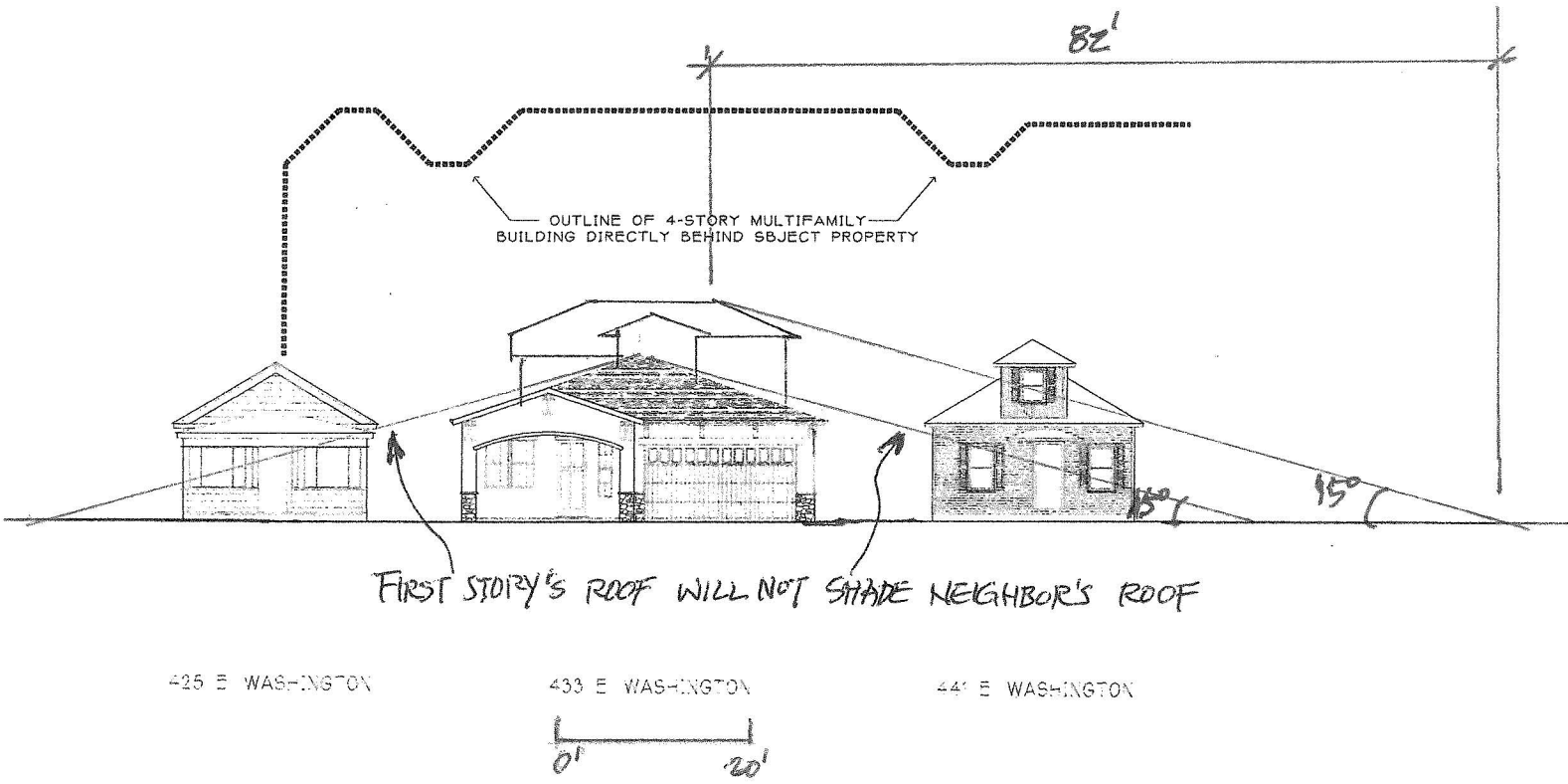
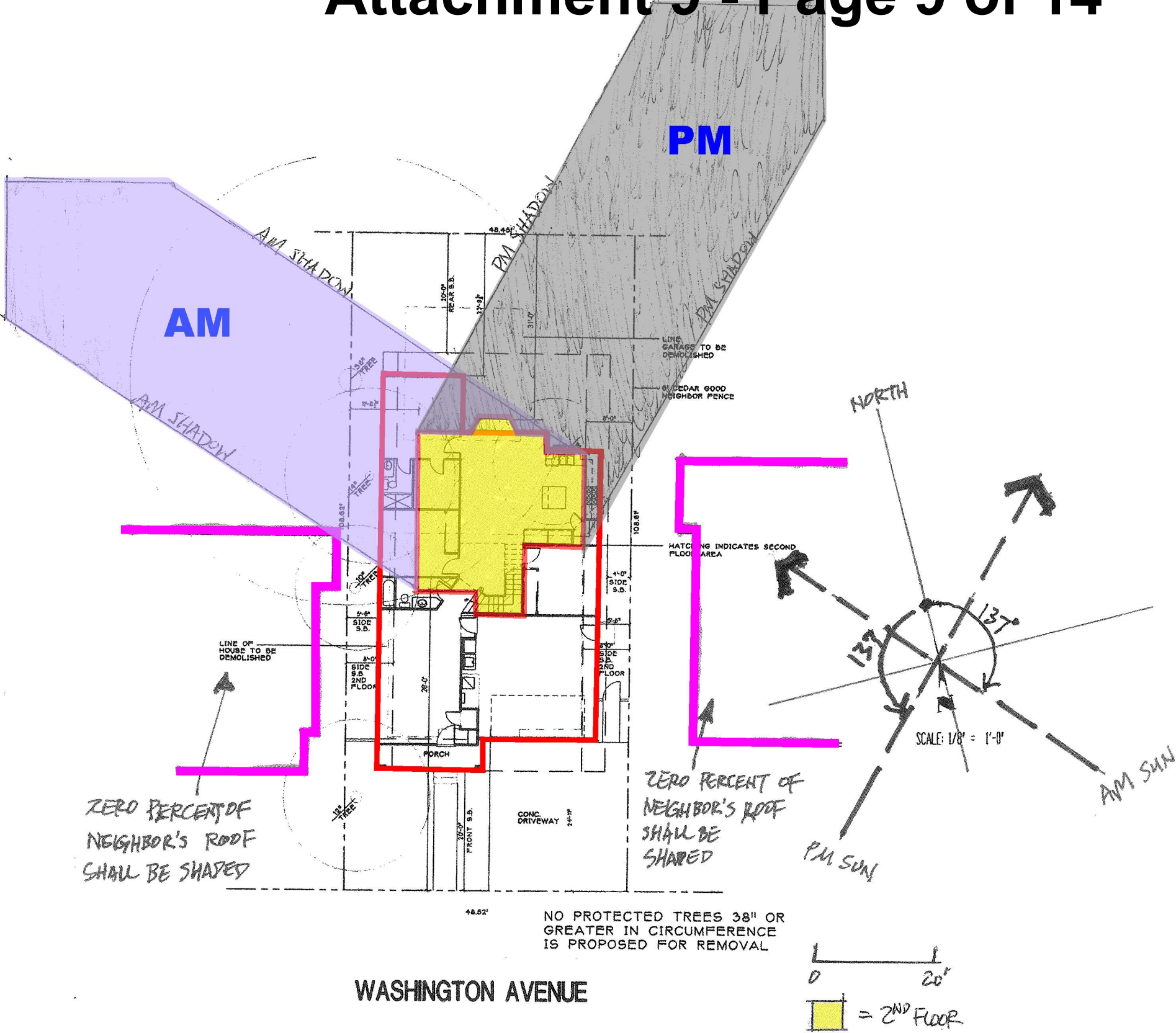
MR. AND MRS. CRAIG CAMPBELL
433 E. WASHINGTON AVENUE
SUNNYVALE CA

PLANNING SUBMITTAL
NEW SINGLE FAMILY HOME
433 E. WASHINGTON AVENUE
SUNNYVALE, CALIFORNIA

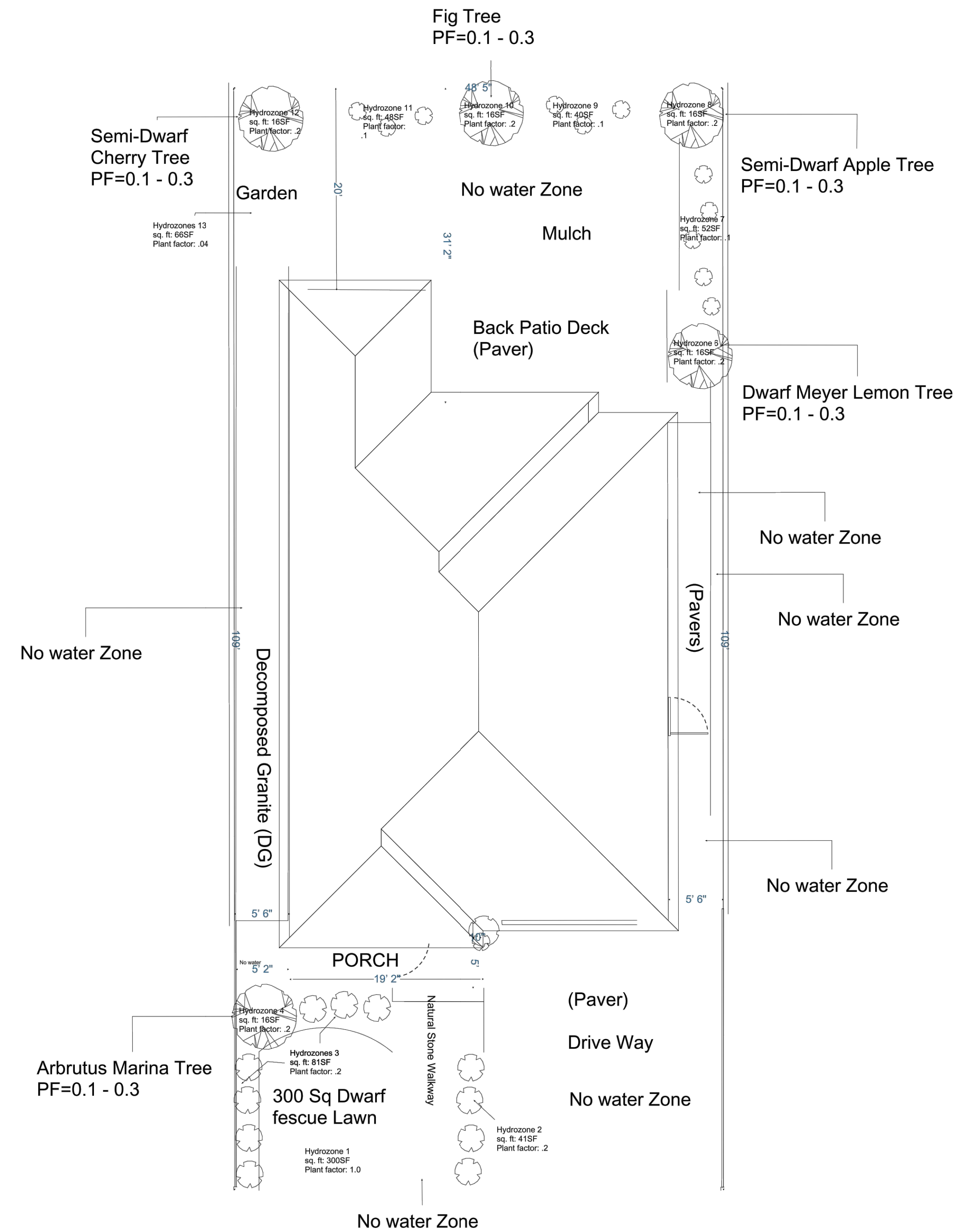
Date: 3-23-2015
Scale:
Revisions:

Drawing Title:
AREA
CALCULATIONS
Sheet No.
5
of
Sheets

LPMD
Architects
1288 Kifer Road, #206
Sunnyvale, CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



433 E. WASHINGTON AVENUE
SOLAR STUDY



CONCEPTUAL LANDSCAPE PLAN

MR. AND MRS. CRAIG CAMPBELL
433 E. WASHINGTON AVENUE
SUNNYVALE CA

PLANNING SUBMITTAL

NEW SINGLE FAMILY HOME

433 E. WASHINGTON AVENUE
SUNNYVALE, CALIFORNIA

Date: 3-23-2015

Scale:

Revisions: _____

Drawing Title:

**CONCEPTUAL
LANDSCAPE PLAN**
Sheet No: _____

Sheet No: _____

L1

of Sheets


















LPMD
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Telephone : 408-992-0280
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AREA DRAIN
 BENCHMARK
 BOUNDARY
 CATCH BASIN
 COBBLE ROCK ENERGY DISSIPATOR
 CONCRETE
 EXISTING CONTOUR AFTER GRADING
 ORIGINAL GROUND PRIOR TO GRADING
 DESIGN GRADE
 DOWNSPOUT WITH SPLASHBLOCK
 DRAINAGE EMITTER
 DIVERSION VALVE
 DRAINAGE DIRECTION EXTENDABLE
 BACKWATER VALVE (SEE PROJECT NOTES)
 DRAINAGE SWALE
 EASEMENT LINE
 EXISTING ELEVATION
 EXISTING FENCE
 EXISTING TREE TO BE REMOVED
 EXISTING TREE TO REMAIN
 FOUND IRON PIPE AT PROPERTY CORNER
 FIBER ROLLS
 GAS METER
 GAS VALVE
 GRADE TO DRAIN
 GUY POLE
 GUY WIRE ANCHOR
 HIGH POINT
 HYDRANT: EXISTING
 HYDRANT: PROPOSED

AB	AGGREGATE BASE	ELEV	ELEVATION	MH	MANHOLE
AC	ASPHALT CONCRETE	EM	ELECTRIC METER	MIN	MINIMUM
AD	ARCH DRAIN	EOH	ELECTRIC OVERHEAD	N&S	NAIL AND SILVER
AE	ANCHOR EASEMENT	EU(G)	ELECTRIC UNDERGROUND	NHS	NOT TO SCALE
BB	BUBBLER BOX	EP	EDGE OF PAVEMENT	OH	OVERHEAD
BLDG	BUILDING	EX	EXISTING	OG	ORIGINAL GRADE
BLK	BLOCK	EVA	VEHICLE ACCESS EASEMENT	OP	PAVEMENT FINISH GRADE
BSL	BUILDING SETBACK LINE	FC	FACE OF CURB	PAD	PAD ELEVATION
BW	BOTTOM OF WALL/BACK OF WALK	FD	FOUND	PE	PATHWAY EASEMENT
CG	CURB GUTTER	FE	FINISH ELEVATION OF SUBFLOOR	PEST	PEDESTRIAN EASEMENT
C	CENTERLINE	FG	GROUND FINISH GRADE	PERF	PERFORATED
CLF	CHAIN LINK FENCE	FI	FIRE HYDRANT	R	PROPERTY LINE
CS	SHANTY SEWER CLEANOUT	FL	FLOW LINE	PP	POWER POLE
CO	CURB OPENING	GL	GARAGE SLAB ELEVATION/GAS LINE	PROP	PROPOSED
CONC	CONCRETE	GPE	GENERAL PUBLIC EASEMENT	PSE	PUBLIC SERVICE EASEMENT
CSD	COUNTY STANDARD DETAIL	GSB	GRADING SETBACK	PUE	PUBLIC UTILITY EASEMENT
CSN	CONSERVATION EASEMENT	GM	GAS METER	PVMT	PAVEMENT
DE	DRAINAGE EMITTER	HP	HI POINT	PVC	POLYVINYL CHLORIDE
DI	DRAINAGE INLET	IN	INVERT	R	RADIUS
DS	DOWNSPOUT	LIP	LIP OF GUTTER	RW	RETAINING WALL
DWY	DRIVEWAY	LS	LANDSCAPED AREA	RM	REMOVE
EA	EASEMENT	MAX	MAXIMUM	R/W	RIGHT OF WAY

	INLET
	JOINT POLE
	LIGHTING
	LIGHTING POLE
	LOW POINT
	MONUMENT WELL
	OVERLAND FLOW DIRECTION
	PGE BOX
	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
	PROJECT SITE
	ROCK RETAINING WALL
	RIGHT OF WAY
	SANITARY SEWER CLEAN OUT MANHOLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SUMP PUMP

	ELECTRICAL BOX
	TELEPHONE BOX
	TELEVISION BOX
	TEST PIT
	TOP OF FILL
	TOE OF FILL
	TOP OF CUT
	TOE OF CUT
	TREE NUMBER
	T-VAULT
	UTILITY: EXISTING
	UTILITY: PROPOSED
	VERTICAL SHORING
	WATER METER
	WATER VALVE
	HEART WATER TANK
	WELL




1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. ASSESSOR'S PARCEL NUMBER: 209-04-032
5. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

A MAG NAIL WAS SET IN THE STREET IN FRONT RIGHT OF THE PROPERTY CORNER. ELEVATION OF 100.00'.

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF E. WASHINGTON AVENUE AS FOUND MONUMENTED AS N75°08'00"W, SHOWN ON TRACT NO. 9532 "STERLING PLACE", RECORDED IN BOOK 767 OF MAPS, AT PAGE 15, SANTA CLARA COUNTY RECORDS.

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY
ME OR UNDER MY DIRECTION.


TOM H. MILO
L.S. 6438 EXP. 12-31-2014

12/03/14
DATE



BOUNDARY SURVEY AND TOPOGRAPHIC MAP
LANDS OF CAMPBELL
433 E. WASHINGTON AVENUE
APN 209-04-032

California

Sunnyvale

CONTRACT NO.	PROJECT NO.
--------------	-------------

ENGINEERING

1291 Oakland Road
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006



08	DESIGNED	12/02/14
	DATE	
	P.T	12/02/14
	DRAWN	DATE
	1" = 5'	
	SCALE	
	N.L	12/02/14
	CHECKED	DATE

APPLICANT :

ROAD NAME :

COUNTY FILE NO :

GRADING AND DRAINAGE IMPROVEMENTS

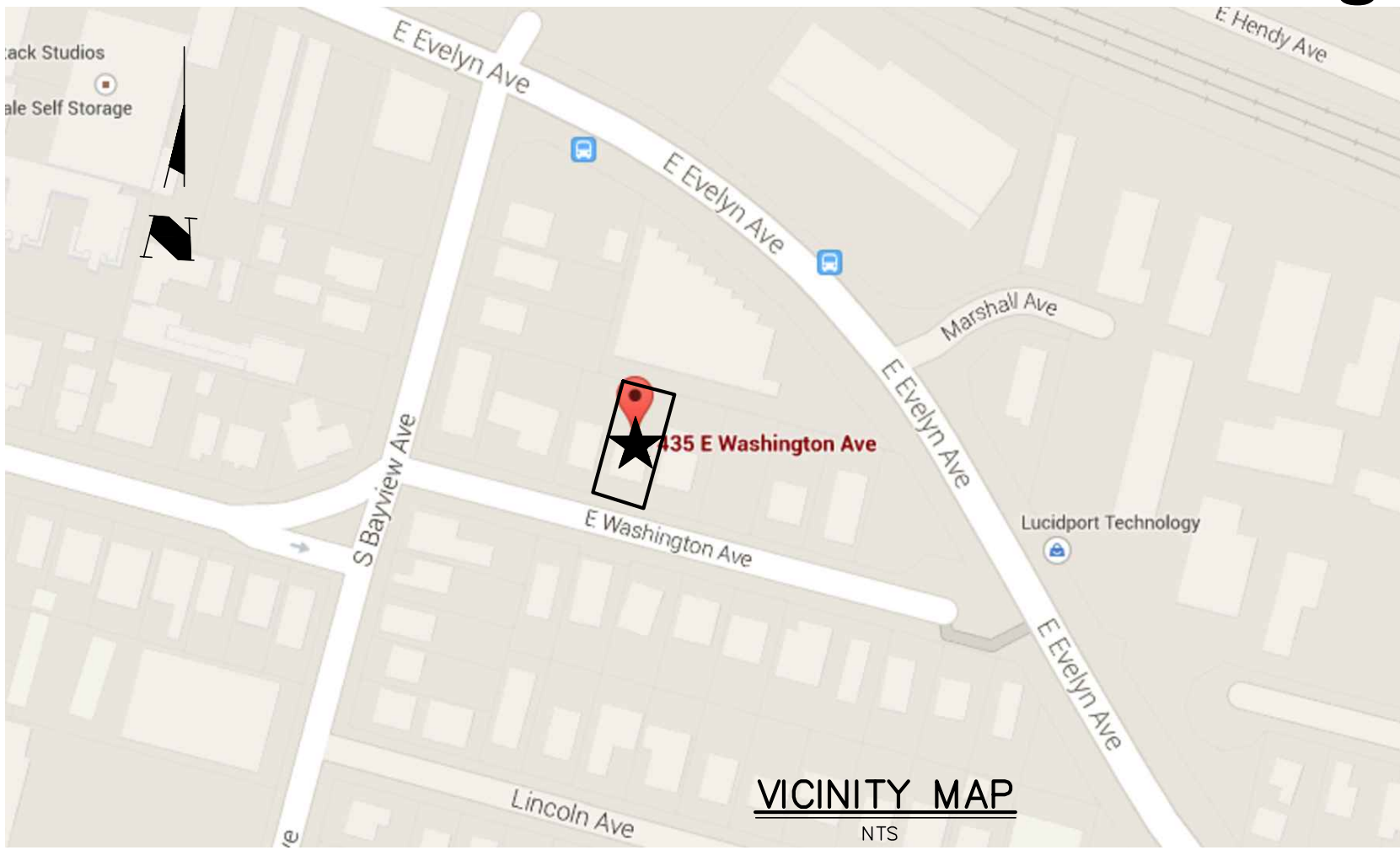
I. STANDARD GRADING NOTES

1. PRIOR TO COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION ION MEETING. THE MEETING SHALL INCLUDE THE CITY OF SUNNYVALE GRADING INSPECTOR (408) 868-1201, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK/ GRADING ACTIVITIES.
2. APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
3. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND ACTIVITIES.
4. THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
5. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
6. ALL WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 X2600 TO ARRANGE FOR DISTRICT OBSERVATIONS OF WELL ABANDONMENT.
7. THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
8. THE PROJECT CIVIL ENGINEER, LC ENGINEERING, DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY _____.
9. ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND HAS SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
10. ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
11. GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.
12. ALL GRADING SHALL COMPLY WITH THE CITY OF SUNNYVALE STANDARD SPECIFICATIONS, AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
13. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
14. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
16. ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
17. EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
18. DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL UNCOVER PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 1%.
19. THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
20. SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX SECTION 3318, 1997 EDITION OF THE UNIFORM BUILDING CODE.
21. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
22. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
23. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
24. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
25. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
26. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
27. SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
28. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
29. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN REGISTRATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
30. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL : UNDERGROUND SERVICE ALERT (USA).
32. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
33. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2% THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
34. COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
35. ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2010 UNIFORM BUILDING CODE.

II. DUST CONTROL

1. ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
3. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
4. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED.
5. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEP (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

GRADING AND DRAINAGE PLAN FOR LANDS OF CAMPBELL 435 E. WASHINGTON AVENUE APN 209-04-032 SUNNYVALE CALIFORNIA AUGUST 14, 2015

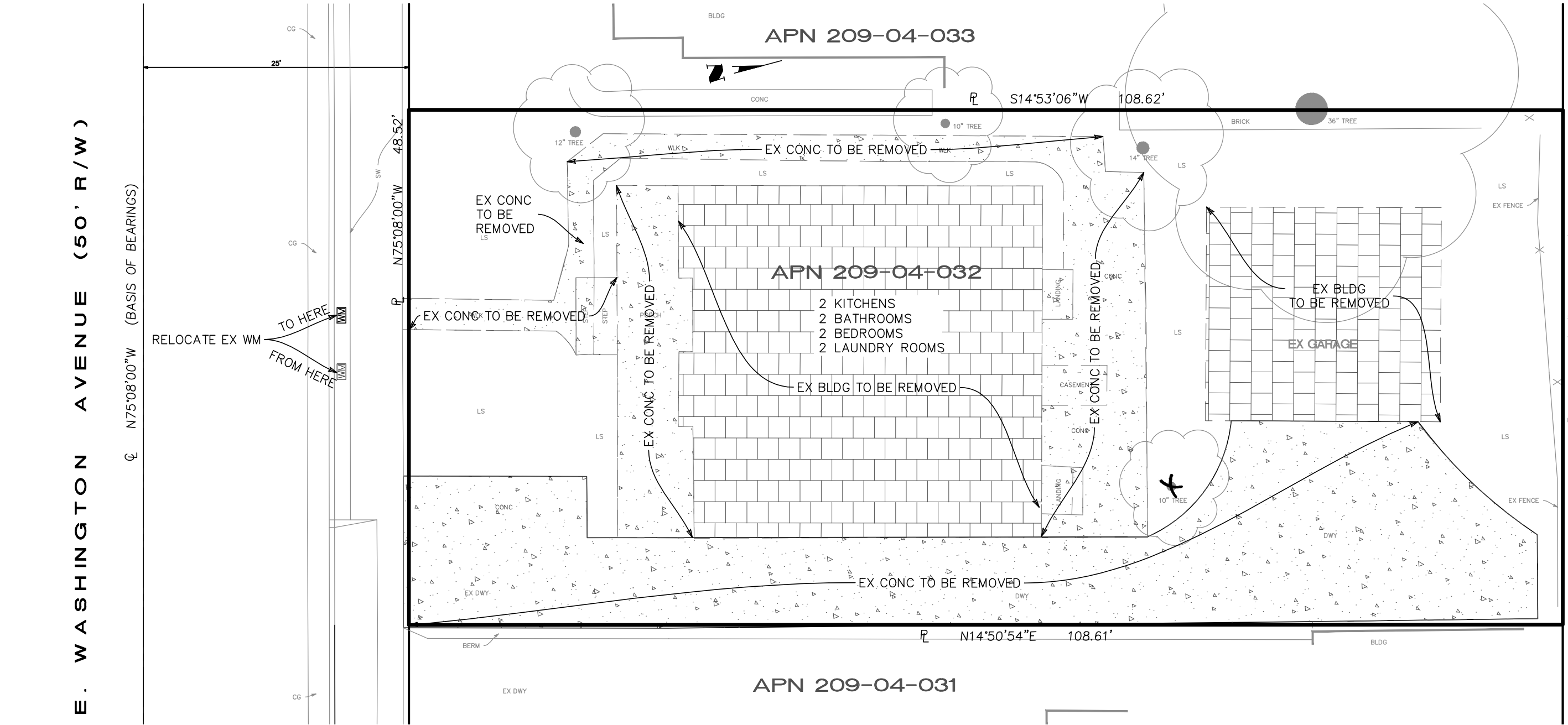


SHEET INDEX

TITLE	SHT No.
TITLE SHEET	C1
GRADING, DRAINAGE AND CROSS SECTIONS	C2
EROSION CONTROL DETAILS	C3

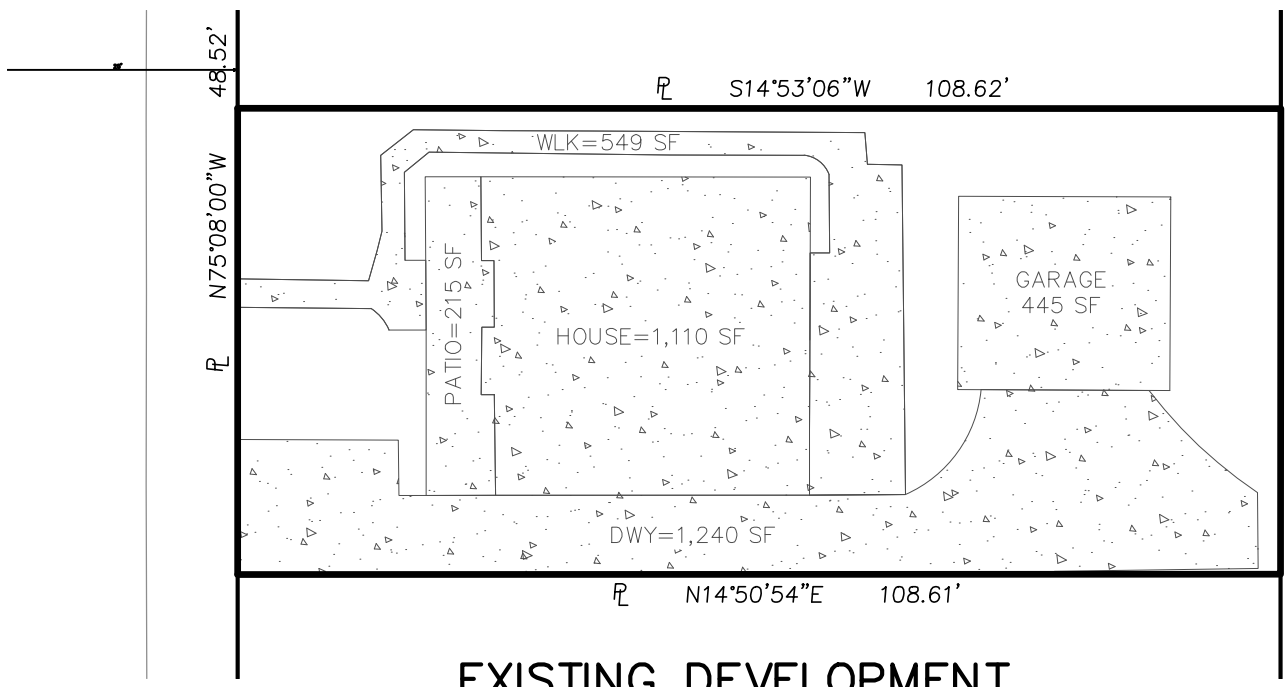
LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	⊗	AREA DRAIN
AC	ASPHALT CONCRETE	⊗	BENCHMARK
AD	AREA DRAIN	⊗	BOUNDARY
AE	ANCHOR EASEMENT	⊗	CATCH BASIN
BB	BUBBLER BOX	⊗	COBBLE ROCK ENERGY DISSIPATOR
BLDG	BUILDING	⊗	CONCRETE
BSL	BUILDING SETBACK LINE	⊗	CONTOUR: EXISTING
BW	BOTTOM OF WALL/BACK OF WALK	⊗	CONTOUR: PROPOSED OR NEW
CED	COBBLE ROCK ENERGY DISSIPATOR	⊗	DESIGN GRADE
CG	CURB & GUTTER	⊗	DOWNSPOUT WITH SPLASHBLOCK
CL	CENTERLINE	⊗	DRAINAGE EMITTER
CLF	CHAIN LINK FENCE	⊗	DIVERSION VALVE
CO	SANITARY SEWER CLEANOUT	⊗	BACKWATER VALVE
COB	CURB OPENING	⊗	DRAINAGE SWALE
CONC	CONCRETE	⊗	EASEMENT LINE
CSD	COUNTY/CITY STANDARD DETAIL	⊗	EXISTING ELEVATION
DE	DRAINAGE EMITTER	⊗	EXISTING FENCE
DI	DRAINAGE INLET	⊗	EXISTING TREE TO BE REMOVED
DS	DOWNSPOUT	⊗	EXISTING TREE TO REMAIN
DWY	DRIVEWAY	⊗	FOUND IRON PIPE AT PROPERTY CORNER
E	EASEMENT	⊗	FILTER FABRIC ROLLS
ELEV	ELEVATION	⊗	GAS METER
EM	ELECTRIC METER	⊗	GAS VALVE
EO(H)	ELECTRIC OVERHEAD	⊗	GRADE TO DRAIN
E(UO)	ELECTRIC UNDERGROUND	⊗	GUY POLE
EP	EDGE OF PAVEMENT	⊗	GUY WIRE ANCHOR
EX	EXISTING	⊗	HIGH POINT
FC	FACE OF CURB	⊗	HYDRANT: EXISTING
FD	FOUND	⊗	HYDRANT: PROPOSED OR NEW
FF	FINISH ELEVATION OF SUBFLOOR	⊗	INLET
FG	GROUND FINISH GRADE	⊗	JOINT POLE
FL	FIRE HYDRANT	⊗	LIGHTING
FLW	FLOW LINE	⊗	LIGHTING POLE
G	GARAGE SLAB ELEVATION/GAS LINE	⊗	LOW POINT
GPE	GENERAL PUBLIC EASEMENT	⊗	OVERLAND FLOW DIRECTION
GSE	GRADING SETBACK	⊗	PGE BOX
GM	GAS METER	⊗	POST CONSTRUCTION STORM WATER
HP	HI POINT	⊗	POLLUTION CONTROL MEASURE
INV	INVERT	⊗	PROJECT SITE
LIP	LIP OF GUTTER	⊗	RETAINING WALL
LS	LANDSCAPED AREA MAXIMUM	⊗	RIGHT OF WAY
MH	MANHOLE	⊗	SANITARY SEWER CLEAN OUT MANHOLE
MIN	MINIMUM	⊗	SANITARY SEWER MANHOLE
N&S	NAIL AND SILVER	⊗	STORM DRAIN MANHOLE
NTS	NOT TO SCALE	⊗	SUMP PUMP
OG	ORIGINAL GROUND	⊗	TELEPHONE BOX
P	PAVEMENT FINISH GRADE	⊗	TELEVISION BOX
PAO	PAD ELEVATION	⊗	TEST PIT
PEE	PEDESTRIAN EQUESTRIAN EASEMENT	⊗	TOP OF FILL
PERF	PERFORATED	⊗	TOE OF FILL
PP	POWER POLE PROP. PROPOSED	⊗	TOP OF CUT
PSE	PUBLIC SERVICE EASEMENT	⊗	TOE OF CUT
PUE	PUBLIC UTILITY EASEMENT	⊗	TREE NUMBER
PVMT	POLYVINYL CHLORIDE	⊗	T-T VAULT
PVC	RADIUS	⊗	UTILITY: EXISTING
R	RETAINING WALL	⊗	UTILITY: PROPOSED OR NEW
REM	REMOVE	⊗	VERTICAL SHORING
R/W	RIGHT OF WAY	⊗	WATER METER
SD	STORM DRAIN	⊗	WATER VALVE
SE	STORM DRAIN EASEMENT	⊗	WELL
SSE	SLOPE EASEMENT	⊗	
SS	SANITARY SEWER/LATERAL	⊗	
SSE	SANITARY SEWER EASEMENT	⊗	
STA	STATION	⊗	
STD	STANDARD CITY DETAIL	⊗	
SW	SIDEWALK	⊗	
TB	TOP OF BANK	⊗	
TC	TOP OF CURB	⊗	
TEMP	TEMPORARY	⊗	
TOC	TOP OF COVER	⊗	
TOE	TOE OF BANK	⊗	
TG	TOP OF GRATE	⊗	
TPF	TREE PROTECTION FENCE	⊗	
TW	TOP OF WALL	⊗	
TYP	TYPICAL	⊗	
VG	VALLEY GUTTER	⊗	
W	WATER	⊗	
WCE	WIRE CLEARANCE EASEMENT	⊗	
WLK	WALKWAY	⊗	
WM	WATER METER	⊗	
WOE	WIRE OVERHANG EASEMENT	⊗	
WV	WATER VALVE	⊗	

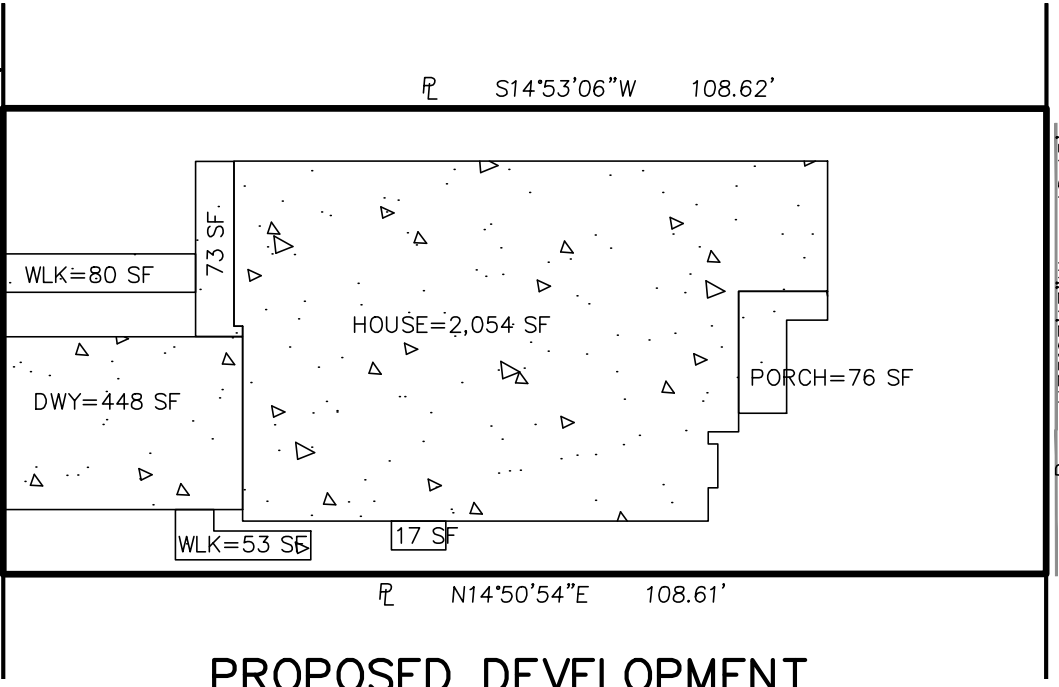


DEMOLITION PLAN

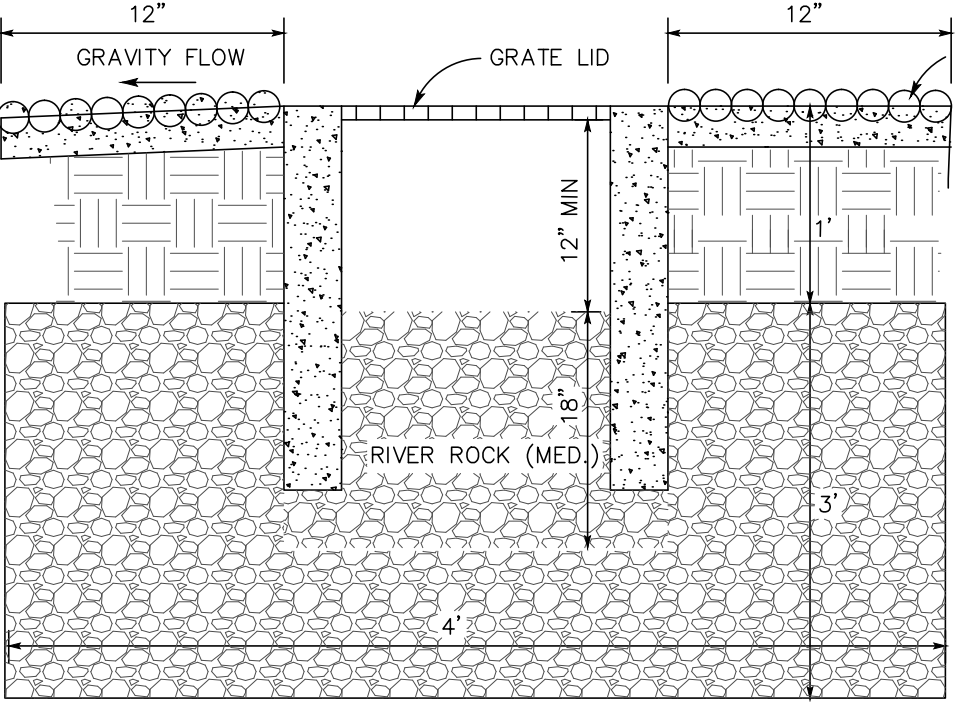
1" = 10'



EXISTING DEVELOPMENT
TOTAL IMPERVIOUS AREA = 3,504 SF



PROPOSED DEVELOPMENT
TOTAL IMPERVIOUS AREA = 2,751 SF

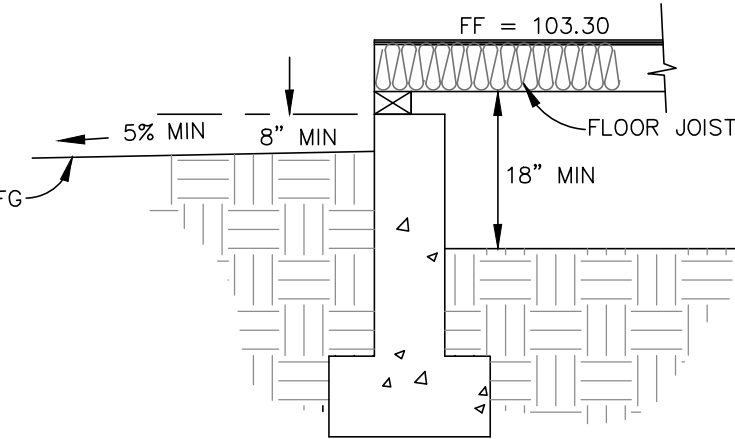


INFILTRATION DEVICE DETAILS

NTS

NOTE:

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.



FINISH GRADE DETAILS
AT BUILDING FOUNDATION

PROJECT ENGINEER

SUBMITTED BY:
LC ENGINEERING SAN JOSE, CALIFORNIA

NTS
PROJECT ENGINEER
EXP. DATE: 12-31-15



DESIGNED	08/14/15	DATE	08/14/15	DATE	08/14/15	DATE	08/14/15
DRAWN		DATE		DATE		DATE	
AS NOTED		SCALE		SCALE		SCALE	
CHECKED		SCALE		SCALE		SCALE	
BY		DATE		DATE		DATE	
APPROVED		DATE		DATE		DATE	
REVISIONS		DATE		DATE		DATE	
NO.		DATE		DATE		DATE	

TITLE SHEET
LANDS OF CAMPBELL
435 E. WASHINGTON AVENUE
APN 209-04-032

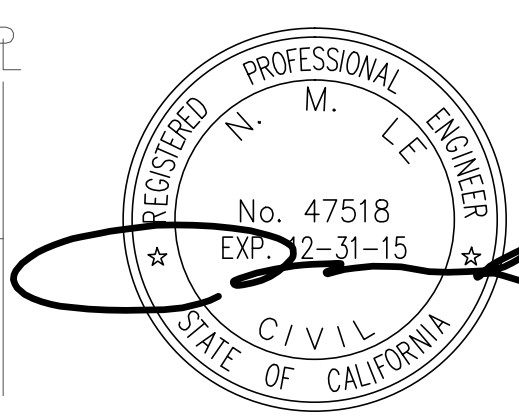
PROJECT NO.
CONTRACT NO.

FILE NO.
SHT NO. 1 OF 3

598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

Sunnyvale



1. CONTRACTOR/OWNER: LE
ADDRESS: 1156 LUNDY AVENUE
PHONE NUMBER: 408-606-7187
IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
2. CIVIL ENGINEER: LC ENGINEERING
ADDRESS: 1291 OAKLAND ROAD, SAN JOSE, CA 95112
PHONE NUMBER: (408) 806-7187
3. CONTRACTOR:
ADDRESS:
24-HOUR PHONE NUMBER:
CONSTRUCTION SUPERINTENDENT:
ADDRESS:
24-HOUR PHONE NUMBER:
THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OFF ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASONS WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPE.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH EROSION DURING CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL BE THE SAME AS THE TYPICAL LOT. EROSION CONTROL DETAILS SHOWN ON THIS PLAN SHALL BE USED.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION OF THE FIELD. DUE TO UNANTICIPATED FIELD CONDITION, VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS AND FILTERS ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND FULRIES MUST BE REPAIRED.
2. SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.




Notes

1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

ENGINEERING

598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006



EROSION CONTROL DETAILS
LANDS OF CAMPBELL
435 E. WASHINGTON AVENUE
APN 209-04-032

Sunnyvale

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FILE NO.



City of Sunnyvale

Agenda Item

15-0949

Agenda Date: 11/9/2015

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2015-7872

Location: 825 Tamarack Lane (APN: 213-29-053)

Zoning: R0

Proposed Project:

DESIGN REVIEW: For a new two-story single-family home of 3,026 square feet (2,626 square foot living area and 400 square foot garage) and 55% FAR. The existing 1,374 square foot one-story single-family home will be demolished. This project supersedes the previous project (2015-7266) that was denied by the Planning Commission.

Applicant / Owner: Arsen Avagyan

Environmental Review: Categorical Exemption, Class 3

Project Planner: George Schroeder, (408) 730-7443, gschroeder@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Residential Low Density

Existing Site Conditions: Single-Family Residence

Surrounding Land Uses

North: Single-Family Residence

South: Single-Family Residence

East: Single-Family Residence

West: Single-Family Residence

Issues: Floor Area Ratio, Neighborhood Compatibility

Staff Recommendation: Approve the Design Review permit with conditions

BACKGROUND

Previous Planning Commission Action: On July 13, 2015, the Planning Commission reviewed the applicant's previous Design Review permit proposal (2015-7266) at this address for a new 3,117 square foot, two-story single-family residence that included a 175 square foot high-volume first floor living room area and 60% FAR. Due to concerns with mass and bulk and neighborhood compatibility, the Planning Commission denied the project on a 6-0 vote and directed the applicant to make the following revisions to the design:

- Reduce the total floor area ratio (FAR) to 50% or less
- Reduce the size of the second floor to 50% of the first floor
- Reduce the first floor plate height to 9 feet and the second floor plate height to 8 feet

- Lower the living room roof feature to better align with the main first floor eaveline and delete its gable roof feature
- Ensure the total height from the top of curb elevation does not exceed 26 feet
- Revise the following second floor windows (not required for egress) to have high sills for privacy mitigation - master bedroom window on the right side elevation and two bathroom windows on the left side elevation

The meeting minutes and previous plans presented at the July 13, 2015 hearing can be found in Attachments 3 and 4, respectively. The applicant filed an appeal of the Planning Commission's decision on July 28, 2015, but the City Council appeal hearing has been put on hold due to the currently proposed design revisions. A new Design Review application (2015-7872) was filed by the applicant on October 7, 2015. A discussion on how the project addresses the Planning Commission's direction is found later in this report.

Revisions since the July 13, 2015 Planning Commission hearing: The applicant has made the following changes to the plan with this application:

- Reduced total floor area by 91 square feet (all on the second floor)
- Eliminated the 175-square foot high-volume area above the first floor living room and its associated bulk on the second floor
- Increased second floor setbacks (one foot on the rear; 7'9" on the right side)
- Increased variation in second floor wall line setbacks along the side elevations
- Eliminated two-story high walls through wall offsets and roof elements
- Revised all second floor roof pitches to be 3:12 instead of a mix of 3:12 and 4:12
- Reduced second floor plate height from 9 feet to 8'6" and first floor plate height from 10 feet to 9 feet
- Eliminated the gable entry roof element in lieu of a simplified shed roof element in line with the predominant first floor front elevation roofline
- Lowered the living room gable roof height by approximately 3.5 feet
- Revised non-egress second floor windows (with the exception of the rear elevation and the right side stairwell window) to high sill or obscured glass
- Added a high-sill window on the second floor left elevation
- Clarified the difference between the finished grade elevation and top of curb elevation

In staff's opinion, the most substantial visual changes are the reduction of floor area, the elimination of the high-volume first floor area, reduction of plate heights, and revisions to heights and roof elements on the front elevation. The total FAR has been reduced from 60% to 55% and the second to first floor ratio has been reduced from 61% to 56%.

Description of Proposed Project (2015-7872): The applicant still proposes to demolish the existing 1,374 square-foot one-story, single-family residence built in 1955 on a 5,529 square-foot lot and construct a new two-story, single-family residence. The proposed building size would total 3,026 square feet including a 400 square foot garage with a resulting floor area ratio (FAR) of 55%. A Design Review permit is required for construction of a new residence to evaluate compliance with development standards and with the Single Family Home Design Techniques. Planning Commission review is required for homes that exceed 45% FAR.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Data Table of the project.

ENVIRONMENTAL REVIEW

A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act provisions. Class 3 Categorical Exemptions include new construction or conversion of small structures.

DISCUSSION

Architecture: The project site is located on the west side of Tamarack Lane near Myrtle Drive. The existing neighborhood is comprised mostly of one-story, single-family residences, which are Postwar Minimal with simple rectilinear forms. Recent homes at the northern end of the neighborhood are designed in the Mediterranean style. The existing neighborhood was developed in the early 1950s and the majority of the homes on Tamarack Lane have two-car garages. The proposed design is Mediterranean in nature that includes a composite shingle roof with moderate pitches, stucco walls with a stone veneer along the base of the house, aligned windows, and hip and gable roof forms.

The 1,942 square-foot first floor consists of a two-car garage, a bedroom, one-and-a-half bathrooms, a kitchen, and family, living, and dining rooms. The 1,084 square-foot second floor consists of four bedrooms and two bathrooms.

Neighborhood Floor Area Ratio Context: The Single-Family Design Techniques note that for the purposes of assessing neighborhood character and scale, "neighborhood" is defined as both block faces within the same (containing the subject property) and immediately adjacent blocks. Based on this definition, the immediate neighborhood (Tamarack Lane, between Lily Avenue and Poinciana Drive) contains mostly one-story homes with six other two-story residences on the block. The gross floor area of the neighboring residences range from 1,383 to 3,183 square feet (23% to 52% FAR) with an average of 1,834 square feet (31% FAR). See Attachment 5 for a gross floor area and FAR comparison. The proposed gross floor area would make the home the fourth largest on the block. The largest home on the block is a 3,183 square-foot two-story home located at 813 Tamarack built in 2000.

See below for a data table on the existing two-story homes in the neighborhood:

Address	FAR (s.f./lot size)	2 nd to 1 st Floor Ratio	Year Built
805 Tamarack	45% (3,029/6,755)	54% (1,068/1,961)	2014
809 Tamarack	45% (2,841/6,313)	45% (880/1,961)	2014
808 Tamarack	51% (3,046/5,915)	50% (1,012/2,034)	2015
813 Tamarack	52% (3,183/6,109)	30% (739/2,444 approx.)	2000
817 Tamarack	35% (1,932/5,454)	39% (546/1,386 approx.)	1955 - original 1993 - 2 nd story

845 Tamarack	41% (2,257/5,454)	43% (684/1,573)	1955 - original 1980 - 2 nd story
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Beyond the immediate neighborhood/block (but within the Ponderosa Park neighborhood), there are some examples of two-story homes with floor area ratios greater than 45%. These homes are also listed in Attachment 5. The majority of these homes are within the recently completed 51-lot Toll Brothers' neighborhood (Estates at Sunnyvale), located approximately 600 feet to the northeast of the project site at the corner of Lily Avenue and Timberpine Avenue. The Toll Brothers' neighborhood consists of all two-story homes with gross floor areas ranging from 3,516 to 3,573 square feet (average of 3,536 square feet) and floor area ratios ranging from 50 to 59% FAR (average of 58% FAR). These numbers are not inclusive of units with rear yard patio covers, which further increase the FAR. While these homes provide context to support the applicant's proposal, staff notes that these homes were developed all at the same time with a planned development zoning overlay.

There are five recent examples of standalone two-story projects beyond the immediate neighborhood with floor area ratios greater than 45%. The gross floor areas of these homes range from 2,770 to 3,788 square feet (average of 3,188 square feet) and floor area ratios range from 50 to 58% FAR (average of 54% FAR). The closest project is 1114 Myrtle Drive, located approximately 240 feet to the east of the project site, which was approved in 2004 at 52% FAR. The next closest project is 1124 Lily Avenue, located approximately 450 feet to the northeast of the project site, near the Toll Brothers' neighborhood, which was approved in 2014 at 55% FAR. These examples provide additional context of standalone single-family development greater than 45% FAR within the general vicinity of the project site.

Proposed Floor Area Ratio/Second Floor Area: The proposed 55% FAR requires Planning Commission review since it is in excess of the 45% FAR threshold. Based on the prior design, the Planning Commission directed the applicant to reduce the total FAR to 50% since the previous design was considered visually bulky and out of scale with the neighborhood. While the applicant has proposed an FAR higher than the Planning Commission's direction, the most significant design concerns with the previous proposal have since been addressed. The mass and bulk of the home has been reduced to a point where the proposed design is now in scale with the neighborhood pattern of recently constructed two-story homes.

The Planning Commission also previously directed the applicant to reduce the second to first floor ratio to 50% to ensure better visual proportion. The applicant reduced area from the second floor and also eliminated a high volume area which added considerable bulk on the second floor. The proposed project includes a second floor area of 1,084 square feet, which constitutes 56% of the 1,942 square-foot first floor area, including the garage. While the applicant is proposing a ratio higher than the Planning Commission's previous direction, revisions have been made to the second floor to minimize visual proportion concerns. Additionally, the size of the proposed second floor is consistent with the two recently constructed homes at the corner of Tamarack Lane and Lily Avenue approximately 300 feet to the north.

Project's Consistency with the Planning Commission's Direction: The revised design considers the Planning Commission's direction at the July 13, 2015 hearing as follows:

- Reduce the total floor area ratio (FAR) to 50% or less - The applicant has reduced the total

FAR from 60% to 55%. Although the FAR has not been reduced to 50% or less, the applicant has addressed the Commission's direction through visual reductions in the appearance of mass and bulk. The proposed FAR would be the highest in the immediate neighborhood, and comparable to other examples of standalone and planned single-family development with similar or higher floor area ratios within close proximity to the immediate neighborhood.

- Reduce the size of the second floor to 50% of the first floor -The Planning Commission directed the applicant to reduce the first to second floor ratio to 50%. The applicant responded by reducing it from 61% to 56%. The applicant has reduced the square footage on the second floor by 91 square feet, eliminated a 175-square foot high volume first floor area with bulk on the second floor, and increased the wall line setbacks. The size of the second floor is also similar to other recently constructed two-story homes in the immediate neighborhood.
- Reduce the first floor plate height to 9 feet and the second floor plate height to 8 feet - The first floor plate height has been revised to 9' and the second floor plate height has been reduced by six inches to 8'6".
- Lower the living room roof feature to better align with the main first floor eaveline and delete its gable roof feature - The tall, vertical living room roof feature has been lowered by approximately 3.5 feet, and it is now within two feet of the main first floor eaveline, consistent with the Single-Family Home Design Techniques. The gable roof on the living room feature has been retained and the main entry's gable roof has been simplified, improving balance on the front elevation.
- Ensure the total height from the top of curb elevation does not exceed 26 feet - The plans have been clarified to accurately show the top of curb elevation with respect to the finished grade elevation. The plans demonstrate that the total height from the top of the curb elevation is 26 feet.
- Revise the following second floor windows (not required for egress) to have high sills for privacy mitigation - master bedroom window on the right side elevation and two bathroom windows on the left side elevation - The master bedroom window on the right side elevation has been revised to have a high sill, and the two bathroom windows on the left side elevation have been revised to have obscured glass.

Privacy: As stated above, the applicant has addressed the privacy issues from second story windows as directed by the Planning Commission.

Solar Access: The Sunnyvale Municipal Code (SMC) Section 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The proposed second story is situated toward the middle of the home to minimize shadowing on the adjacent north and south properties. The project plans demonstrate shading would not exceed the maximum level permitted.

Landscaping: The project is subject to the City's water-efficient landscaping requirements (Chapter 19.37 of the SMC) since the project is a new house with more than 1,000 square feet of new landscaping area. The applicant's preliminary plan meets the landscaping requirements by limiting turf to no more than 25% of the landscaped area and planting at least 80% of the non-turf area with native, low water, or no water use plants. There is an existing protected 20-inch diameter tree in the

front yard that will be retained. No trees are proposed for removal. A final landscape plan will be reviewed prior to issuance of Building Permits.

Applicable Design Guidelines and Policy Documents: Staff considers the revised home design to be consistent with the adopted Single-Family Home Design Techniques since the proposed design incorporates elements to visually reduce mass and bulk, and positively adds to the streetscape. Staff has included findings for the Single-Family Home Design Techniques in Attachment 6.

Development Standards: The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, parking, height and setbacks. The Project Data Table is located in Attachment 2.

Fiscal Impact: No fiscal impacts other than normal fees and taxes are expected.

Notice of Public Hearing, Staff Report and Agenda

- Published in the *Sun* newspaper
- Posted on the site
- 67 notices mailed to property owners and residents within 300 feet of the project site
- Posted on the City of Sunnyvale's Website
- Provided at the Reference Section of the City of Sunnyvale's Public Library
- Agenda Posted on the City's official notice bulletin board

Public Contact: Staff did not receive any public comments at the time of staff report production. The applicant previously provided a petition from neighbors in support of the project and presented it to the Planning Commission at the July 13, 2015 hearing.

Conclusion

The applicant has made changes to the original plans in order to address the direction previously given by the Planning Commission. Although the applicant has still included higher overall FAR and second to first floor ratio than directed, the current plan minimizes design concerns and is consistent with other recently built homes in the neighborhood. Staff was able to make the required Findings for the Design Review. The recommended Conditions of Approval are located in Attachment 7. Recommended Findings are located in Attachment 6.

Alternatives

1. Approve the Design Review with the conditions in Attachment 7.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

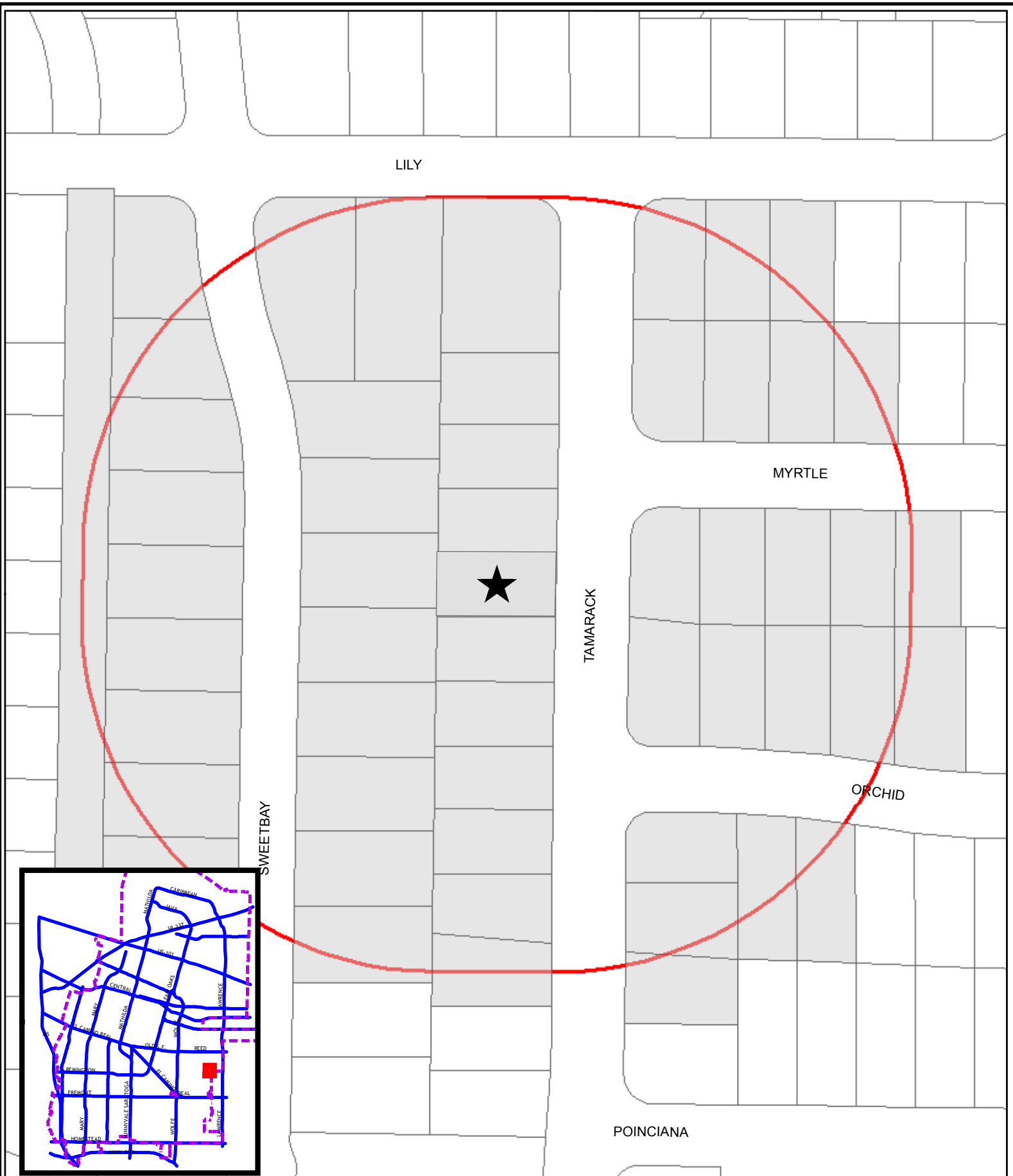
Recommendation

Recommend Alternative 1 in accordance with the Findings in Attachment 6 and Conditions of Approval in Attachment 7.

Prepared by: George Schroeder, Associate Planner
Approved by: Gerri Caruso, Principal Planner

ATTACHMENTS

1. Noticing and Vicinity Map
2. Project Data Table
3. Planning Commission Minutes of July 13, 2015
4. Previous Site and Architectural Plans - July 13, 2015
5. Gross Floor Area/FAR Comparison
6. Recommended Findings
7. Recommended Conditions of Approval
8. Site and Architectural Plans



2015-7872
 825 Tamarack Ln (APN: 213-29-053)
 Design Review
 300-foot area map

0 30 60 120 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Same
Zoning District	R0	Same	Same
Lot Size (s.f.)	5,529	Same	8,000 min.
Lot Width (linear ft.)	54'	Same	76'
Gross Floor Area (s.f.)	1,374	3,026	3,600 (Threshold for Planning Commission review)
Lot Coverage (%)	25% (1,374 s.f.)	35% (1,942 s.f.)	40% max.
Floor Area Ratio (FAR)	25%	55%	45% (Threshold for Planning Commission review)
Building Height (ft.)	Approx. 13'	26'	30' max.
No. of Stories	One	Two	Two max.
Setbacks			
Front (ft.)			
1 st Floor	20'	20'	20' min.
2 nd Floor	N/A	25'6"	25' min.
Left Side (ft.)			
1 st Floor	5'	5'	4' min.
2 nd Floor	N/A	8'4"	7' min.
Right Side (ft.)			
1 st Floor	15'	8'9"	7' min.
2 nd Floor	N/A	16'6"	10' min.
Side Total (ft.)			
1 st Floor	20'	13'9"	11' min.
2 nd Floor	N/A	24'10"	17' min.
Rear (ft.)			
1 st Floor	21'	20'1"	20' min.
2 nd Floor	N/A	21'1"	20' min.
Parking			
Total Spaces	4	4	4 min.
Covered Spaces	2	2	2 min.

2 [15-0666](#)**File #:** 2015-7266**Location:** 825 Tamarack Lane (APN: 213-29-053)**Zoning:** R0**Proposed Project:**

DESIGN REVIEW: To allow a new two-story single-family home resulting in 3,117 square feet (2,717 square feet of living area and a 400 square-foot two-car garage) and 56% floor area ratio. The existing 1,374 square foot one-story single-family home will be demolished.

Applicant / Owner: Arsen Avagyan**Environmental Review:** Categorical Exemption, Class 3**Project Planner:** George Schroeder, (408) 730-7443,
gschroeder@sunnyvale.ca.gov

George Schroeder, Associate Planner, presented the staff report.

Comm. Klein confirmed with Mr. Schroeder that an extra 175 square feet of high volume ceiling above the dining area that was previously not calculated into the Floor Area Ratio (FAR) reported in the staff report brings the FAR closer to 60 percent, and that the additional square footage does not decrease the lot coverage. Comm. Klein verified with Mr. Schroeder that the new second to first floor area ratio is 69 percent, and discussed why the right side second story 8.9 foot setback where ten feet is required is not a deviation. Comm. Klein also confirmed with Mr. Schroeder that the tree removal, which will be accomplished by a Tree Removal Permit does not affect this development.

Comm. Rheaume verified with Mr. Schroeder the new FAR and the new first to second floor area ratio. Comm. Rheaume also confirmed with Mr. Schroeder that there is no Planned Development overlay for two recently remodeled homes on Tamarack, and clarified Alternative 1 with Mr. Schroeder.

Vice Chair Olevson discussed with Ms. Caruso the difficulty of approving or denying the project when various, important elements of the Conditions of Approval (COA) are incomplete.

Comm. Simons discussed with Ms. Caruso whether a continuance of the project with direction would be an acceptable alternative, and Ms. Caruso suggested speaking to the applicant about the option.

Chair Melton discussed with Mr. Schroeder how the Single-Family Home Design Techniques could help offset the the rear left exterior side of the house that appears to be a two story wall, and Chair Melton commented on his alarm at the massiveness of the project and said he is struggling with the FARs.

EXCERPT

Planning Commission

Meeting Minutes - Final

Chair Melton opened the public hearing.

Arsen Avagyan, the project applicant, gave a presentation on the proposed project and submitted a petition signed by neighbors who support the project to the Commission.

No members of the public were present to discuss the project.

Mr. Avagyan addressed several of the Commissioners' concerns.

Comm. Simons confirmed with Mr. Avagyan that he is open to a continuance, and Mr. Avagyan said he would like to hear the underlying thinking behind it.

Comm. Rheaume discussed with Mr. Avagyan whether he is amenable to the staff recommendation, and Mr. Avagyan asked the Commission to consider not disadvantaging smaller lots. Comm. Rheaume noted that he thinks the staff proposal is fair, and discussed with Mr. Avagyan why he is proposing a large FAR.

Chair Melton closed the public hearing.

Comm. Rheaume verified with Mr. Schroeder that without including the high volume area in the calculations the FAR of the project would be 56 percent and the second to first floor area ratio would be 61 percent.

Comm. Harrison clarified with Mr. Schroeder the rule about what is to be counted of a high volume area in the FAR, and confirmed that Building officials pointed out that the grading of the project does not meet the building code.

MOTION: Comm. Harrison moved Alternative 2 to approve the Design Review with modified conditions:

- 1) Incorporate staff recommended design modifications; and
- 2) The project will return to the Planning Commission if the final, revised project is over 45 percent FAR.

Comm. Simons seconded.

Comm. Harrison said she appreciates the applicant's attention to the Planning Commission minutes and statements, but that she cannot follow the logic of putting the same size house that would meet rules on larger lot onto smaller lot. She said she trusts that the applicant can find a solution that will meet the 50 percent FAR

EXCERPT

Planning Commission

Meeting Minutes - Final

and the 50 percent second to first floor area ratio, and that she hopes the applicant understands that the second floor at 50 percent is above the guidelines for a house in a single story neighborhood.

Comm. Simons offered a friendly amendment to ensure that any stone front veneer wrap around the sides to meet the fencing.

Comm. Harrison accepted.

Comm. Simons offered a friendly amendment to have staff work with the applicant to use the Single-Family Home Design Techniques to break up the flat, two-story wall.

Comm. Harrison replied that reducing the the second story should accomplish this. Comm. Simons withdrew the amendment.

Chair Melton clarified the motion and staff recommendation with Ms. Caruso.

Vice Chair Olevson said he will not be supporting the motion, and that while he recognizes that this house is similar to others in this neighborhood in transition, there are too many moving parts in the proposal. He noted that City Council sets the policy of including over 15 foot ceiling heights in the second floor and adding that to the calculation, which may not have been done in past but is part of the process now. He said that the Commission has varied from the hard and fast FAR and first to second floor area ratio when it seemed to fit because there was an unusual lot size, and that while he appreciates the applicant researching prior Planning Commission decisions, the numbers are actually higher than originally reported. He said because so much is changing and the massing is too much, and because we are looking at roofline changes and grading changes, the basic things we evaluate to see if the project fits, it is not ready for the Planning Commission.

Comm. Rheume further clarified the motion with Ms. Caruso.

Chair Melton reiterated that the motion is to approve the Design Review with modified conditions.

Comm. Rheume said he struggles with supporting the motion as there are a lot of open questions about the project. He said he appreciates the applicant's due diligence watching prior meetings, and that while the Commission has approved projects that go slightly beyond the FAR threshold this project is so far above it. He said he cannot make the findings to support the original proposal, but that it is not

EXCERPT

Planning Commission

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what is currently proposed, so he will be supporting the motion. He added that the applicant has an opportunity to put together a nice plan.

Chair Melton said he will not be supporting the motion, and that he is aligned philosophically with Vice Chair Olevson with regard to the project having a lot going on and that we are contemplating substantial changes. He said when looking at the enlarged site plans he found himself staring at a couple schematics showing the second story to the first story floor area ratio, and that while he understands there may be multiple methodologies to calculating it, this thing is 70 percent and too massive. He said the FAR is also too big and he would support a motion to continue the project to a date certain, and provide verbal direction to staff that the FAR needs to be smaller, the second story to first story floor area ratio needs to be much smaller and to provide very specific direction about how to handle the two story block by the right rear of the property by the living room. He said we have to use some design technique like a setback, fake eave line or some line to delineate the second floor from the first floor.

Comm. Klein clarified the motion with Rebecca Moon, Senior Assistant City Attorney.

Comm. Klein said he will not be supporting the motion and thinks it is important for the project to come back in front of the Planning Commission whether by continuance or denial. He said the applicant needs to come back and reapply, and that with the number of changes required on the project it only makes sense for us to ultimately see how it fits in. He said he trusts staff on trying to improve the project but that we are looking at the massing and multiple changes which may or may not alleviate some of the issues that the Commission has.

Comm. Rheume said he will change his vote, that there are too many outstanding issues and he would prefer to resolve them via a continuance so there is a clear direction of where we and the applicant are going.

Comm. Harrison withdrew her motion.

Chair Melton confirmed with Ms. Moon that Comm. Harrison can withdraw the motion with permission of the Chair.

Chair Melton verified with Comm. Harrison that she is withdrawing the motion.

Comm. Simons confirmed with Ms. Caruso that if the project is not continued to a date certain it would need to be re-noticed, and that a denial could be appealed

EXCERPT

Planning Commission

Meeting Minutes - Final

within 15 days and taken to City Council.

MOTION: Comm. Simons noted that it would be difficult to come up with a date certain for a continuance, and moved Alternative 3 to deny the Design Review and provide direction to staff and the applicant where changes should be made.

Vice Chair Olevson seconded.

Comm. Simons had no further comment.

Vice Chair Olevson said the motion adequately says there ought to be more work where we are presented with final numbers and not things in process.

Comm. Harrison said she will be supporting the motion because believes whole-heartedly in the staff recommendation regarding the FAR and the second story to first story floor area ratio.

Chair Melton said he will be supporting the motion and looks forward to seeing the applicant back at the Planning Commission. He said the applicant is on the right track but what he is asking for is just too big and we are not able to support it. He suggested the applicant recalibrate his expectations and come up with something smaller that will better fit into the neighborhood and to work with staff. He said he is comfortable with an FAR of 50 percent or less, that we have to taper down second floor to first floor FAR to 50 percent or 48 or 49 percent and that he does not know what to say about calculating the second floor to first floor ratio. He also said we have to tackle the wall and does not know if the applicant will do an actual setback to create a roofline with shingles or an artificial line or fake gutter, but that it absolutely must be addressed. He added that if the decision is to deny the project, the applicant has the right to appeal and take it to the City Council.

FINAL MOTION: Comm. Simons moved Alternative 3 to deny the Design Review and provide direction to staff and the applicant where changes should be made.

Vice Chair Olevson seconded. The motion carried by the following vote:

Yes: 6 - Chair Melton
Vice Chair Olevson
Commissioner Harrison
Commissioner Klein
Commissioner Rheume
Commissioner Simons

No: 0

PROJECT DATA:

ZONE: **R-0**
TYPE OF CONSTRUCTION: **V-B**
APN: **213-29-053**
ADDRESS: **825 TAMARACK LANE, SUNNYVALE, CA 94086-8326**
LOT: **102** of Assessor's Parcel Map Book 213, Page 29, Tract # 1458, Western Terrace Un. # 2, 57-M-52.
LOT AREA: **5529 SQ.FT**
EXISTING USE: **ONE STORY, SFD**
EXISTING LOT COVERAGE: **1 374 SQ.FT. (25%)**
PROPOSED LOT COVERAGE: **1 942 SQ.FT. (35%)**
PROPOSED USE: **SINGLE FAMILY MULTI-STORY**
BUILDING MAX HEIGHT:**28'** ABOVE TOP OF THE CURB VERIFY AND REFER TO LAW
(Sunnyvale Ordinance: no building or structure shall exceed 30 feet in height as measured from the top of curb)

SCOPE OF WORK:

- Demolish existing house and garage
- Proposed a single family two story house

AREA CALCULATIONS:

DESCRIPTION		SQFT	
FIRST FLOOR	LIVING AREA	1542	
FIRST FLOOR	GARAGE	400	
SECOND FLOOR	LIVING AREA	1175	
TOTAL		3117	

DESCRIPTION	LOT AREA	SQFT	ALLOWABLE PERCENTAGE	ALLOWABLE SQFT	ACTUAL SQFT	ACTUAL PERCENTAGE
BUILDING AREA	5529		NO MAX*	NO MAX*	3117	56.4%
LOT COVERAGE	5529		40%	2211.6	1942	35%

SETBACKS:

	REQUIRED	PROPOSED
1ST FLOOR	5'	5'
2ND FLOOR	8'	8'
1ST FLOOR	5'	5'
2ND FLOOR	8'	8'
LEFT	5'	5'
RIGHT	5.86'	8.86'
FRONT	20'	25'
REAR	20'	20'

*NO MAX PER SUNNYVALE MUNICIPAL CODE

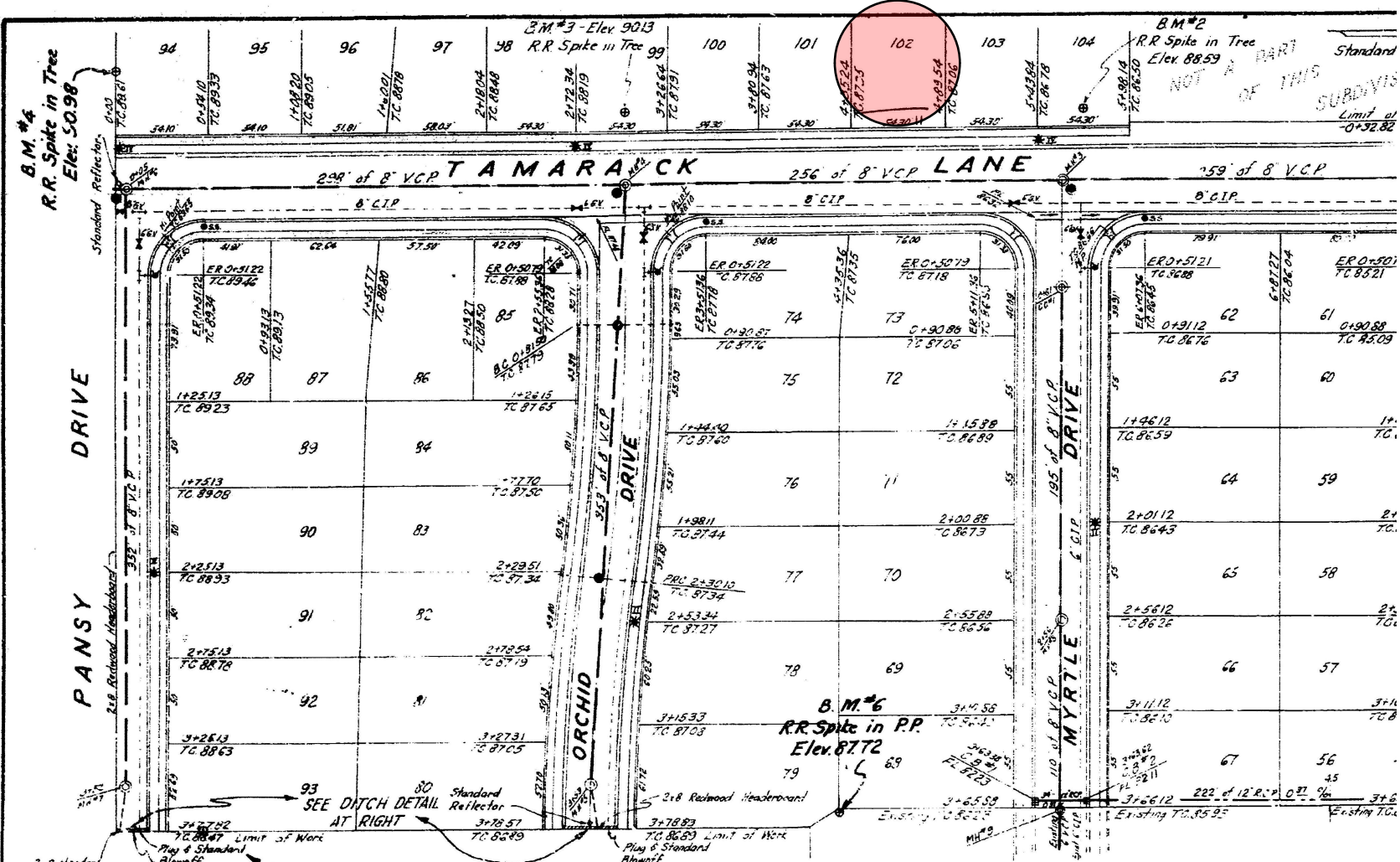
CODE EDITIONS:

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ADMINISTRATIVE CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
2013 TITLE 24, PART 6, CALIFORNIA ENERGY CODE
2013 TITLE 24, HANDICAPPED ACCESSIBILITY REGULATIONS
SUNNYVALE MUNICIPAL CODE (SMC)
TITLE 19, CALIFORNIA CODE OF REGULATIONS
SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS

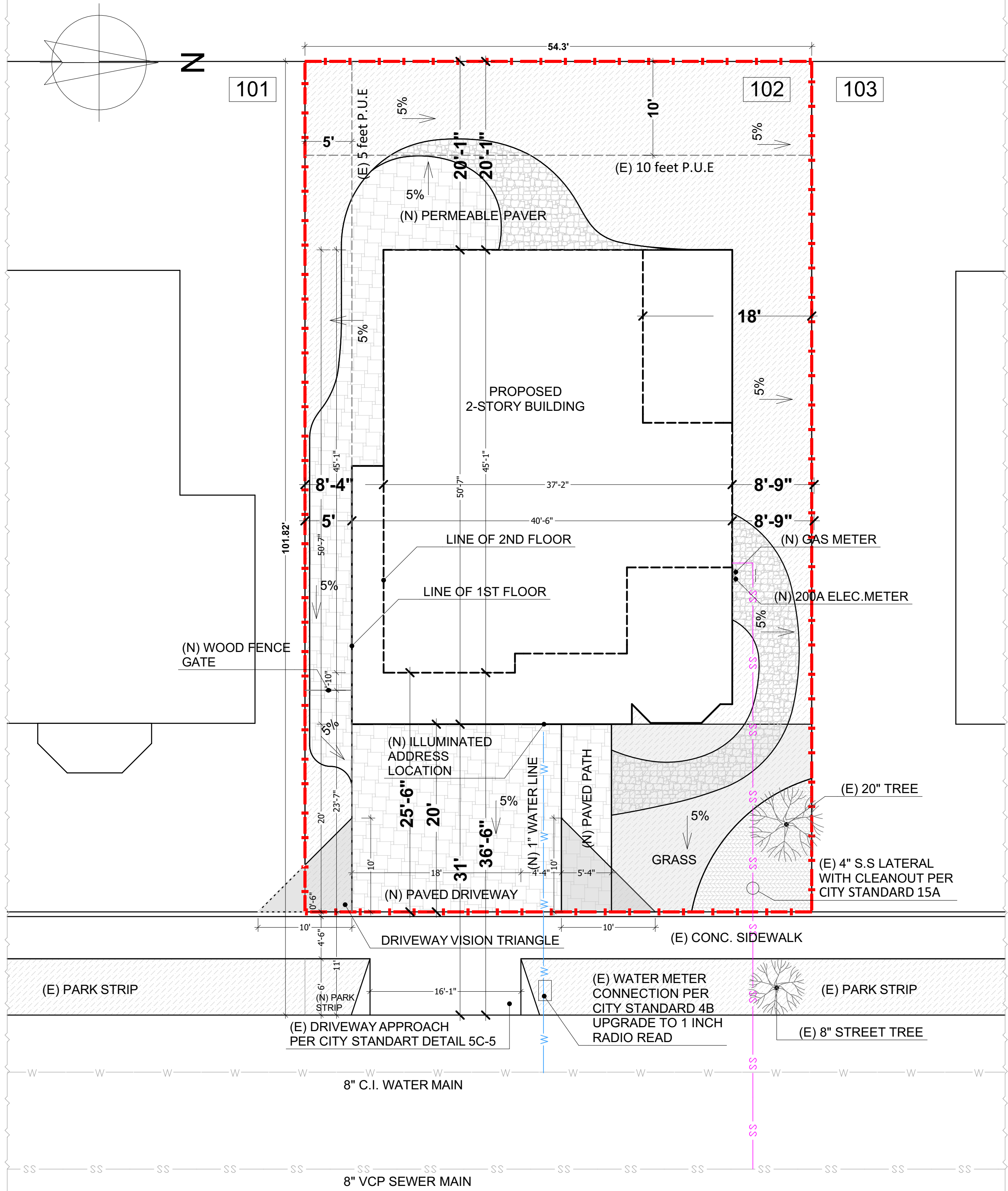
GENERAL NOTES:

1. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL GRADES, DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING CONSTRUCTION. CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN IN THE PLANS OR SPECIFICATIONS, ALL PHASES OF WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2013 CRC CODE, LATEST ADDITION, AS WELL AS ALL APPLICABLE STATE AND LOCAL ORDINANCES AS ADOPTED BY THE CONTROLLING JURISDICTION.
3. THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN THE COMPLETED FORM. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES INCLUDE, BUT ARE NOT LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, AND SHORING FOR THE STRUCTURE.
4. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS AND/OR DETAILS. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO PROCEEDING. ANY WORK INSTALLED PRIOR TO AND/OR IN CONFLICT WITH SUCH CLARIFICATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
5. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS, INTERIOR AND EXTERIOR WALLS SHALL BE DETERMINED FROM THE ARCHITECTURAL DRAWINGS. OTHER FLOOR, WALL AND ROOF OPENINGS AS REQUIRED FOR MECHANICAL, ELECTRICAL AND/OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED.
6. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
7. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER DRAWINGS, AND ALL OTHER RELATED DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK, INCLUDING THAT OF THE SUBTRADES.
8. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER OF RECORD SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
9. ALL MATERIALS SHALL BE FURNISHED AS SHOWN HEREIN UNLESS ALTERNATES ARE APPROVED IN WRITING BY THE OWNER AND THE ENGINEER OF RECORD.
10. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUBCONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFICATION.
11. WHERE A DETAIL, SECTION OR NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO LIKE CASES OF CONSTRUCTION.
12. CONNECTIONS OF ALL ITEMS SUPPORTED BY THE STRUCTURE ARE THE RESPONSIBILITY OF THE DISCIPLINES WHO MAKE THESE ATTACHMENTS. REVIEW AND COORDINATE ALL THE REQUIREMENTS IN THE ARCHITECTS PROJECT SPECIFICATION AS APPLICABLE.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER INDICATED ON THE CONTRACT DRAWING OR NOT, AND TO PROTECT THEM FROM DAMAGE. REPAIR AND REPLACEMENT OF SAID WORK SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

14. VIBRATIONAL EFFECTS OF MECHANICAL AND/OR ANY OTHER EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER OF RECORD.
15. UNLESS NOTED OTHERWISE, ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE TO THE TOP OF BEAMS AND FOUNDATIONS. BEAMS DENOTED AS "DROP" HAVE THE TOP OF BEAM AT THE HEIGHT OF THE TOP PLATE. BEAMS DENOTED AS "FLUSH" HAVE THE BOTTOM OF BEAM AT THE HEIGHT OF THE TOP PLATE, U.N.O.
16. PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
17. A PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
18. A BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO ROOF NAIL INSPECTION.
19. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION. (2013 CMC 303.1 AND 2013 CPC 309.4)



VICINITY MAP



PROPOSED SITE PLAN

SCALE: 1/8\"/>

SHEET INDEX

1	PROJECT DATA; SITE PLAN; VISION TRIANGLE
2	EXISTING PLANS AND ELEVATIONS
3	PROPOSED FLOOR PLANS
4	PROPOSED ROOF PLANS
5	ARCHITECTURAL ELEVATIONS
6	BUILDING HEIGHT; STREETSCAPE ELEVATION
7	SHADOW STUDY AT 9:00 AM
8	SHADOW STUDY AT 3:00 PM
9	LANDSCAPING AND IRRIGATION SYSTEM
10	GREENPOINT RATED CHECKLIST

LEGEND

- : PROPERTY LINE
- P.U.E : PUBLIC UTILITY EASEMENT
- *THE EASEMENTS SHALL BE KEPT OPEN AND FREE FROM BUILDINGS AND STRUCTURES OF ANY KIND

DRAWN BY: BAKLAN ANTON

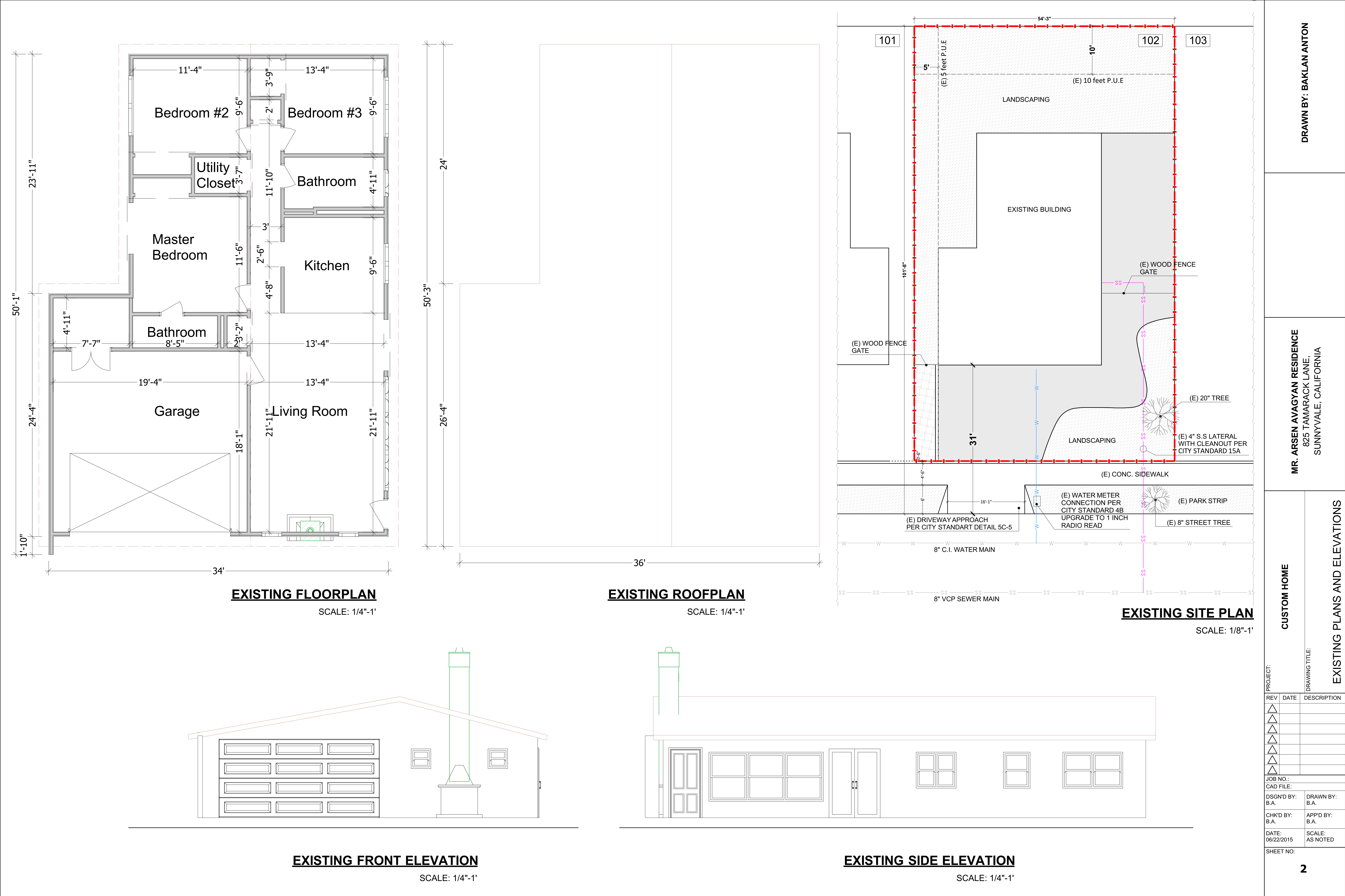
MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

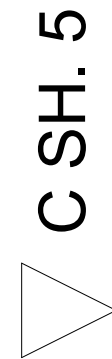
CUSTOM HOME

PROJECT DATA; SITE PLAN; VISION TRIANGLE

PROJECT: REV DATE DESCRIPTION

JOB NO.:
CAD FILE:
DSGN'D BY: B.A.
CHK'D BY: B.A.
DATE: 06/22/2015
SHEET NO:





PROPOSED 2ND FLOOR PLAN

Nº	Name	Nº	Name	Nº	Name	REV	DATE	DESCRIPTION
1	Covered porch	8	Closet	15	Master Bedroom	△		
2	2-car garage	9	Laundry	16	Bathroom	△		
3	Foyer	10	Pantry	17	Walk In Closet	△		
4	Living room	11	Kitchen	18	Bedroom	△		
5	Bathroom	12	Family room	19	Bathroom	△		
6	WC	13	Utility room	20	Bedroom	JOB NO. : CAD FILE:		
7	Guest room	14	Hallway	21	Bedroom	DSG'N'D BY: B.A.	DRAWN BY: B.A.	
				22	Formal Dining Room	CHK'D BY:	APP'D BY:	

REV	DATE	DESCRIPTION
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JOB NO.:		
CAD FILE:		
DSG'ND BY: B.A.		DRAWN BY: B.A.
CHK'D BY: B.A.		APP'D BY: B.A.
DATE: 06/22/2015		SCALE: AS NOTED
SHEET NO:		
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GENERAL NOTES:

- 1. ALL WINDOWS MUST HAVE DUAL GLASS PANE.
- 2. A DOOR VENT DUCT SHALL BE 4" (102 MM) WITH A MAXIMUM RUN OF 14' (4267 MM), INCLUDING TWO 90-DEGREE ELBOWS [2013 CMC 504.3.1.2]. AND SHALL HAVE A BACK DRAFT DAMPER. [2013 CMC 504.1] DRYER VENTS MUST TERMINATE AT THE EXTERIOR.
- 3. ALL EXTERIOR DRYER VENTS MUST BE PROTECTED BY AN ANTI-BACKFLOW DEVICE AND FROM ANY OPENINGS INTO THE BUILDING. [2013 CMC 504.5]
- 4. THE WINDOWS AT BEDROOMS SHALL BE EGRESS WINDOWS. THE MINIMUM NET CLEAR OPENABLE AREA OF THE WINDOW SHALL TOTAL 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET AND MINIMUM NET CLEAR OPENABLE WIDTH OF 20 INCHES. [2013 CRC SECTION R310]
- 5. A HOSE BIBB WITH ANTI-BACKFLOW DEVICE IS REQUIRED AT FRONT AND REAR OF THE HOUSE.
- 6. PER TITLE 24 CALCULATIONS, R-38 INSULATION IS REQUIRED IN ATTIC.
- 7. ALL UNDER-FLOOR CLEANOUTS SHALL BE EXTENDED TO THE EXTERIOR OF THE BUILDING IF LOCATED MORE THAN 20' FROM THE UNDER-FLOOR ACCESS. [2013 CPC 903.10.9]
- 8. A NON-REMOVABLE BACKFLOW PREVENTER OR BIBB-TYPE VACUUM BREAKER WILL BE INSTALLED ON ALL EXTERIOR HOSE BIBBS. [2013 CPC 603.5.7]
- 9. ALL VENT EXHAUSTS MUST TERMINATE TO THE OUTSIDE OF THE BUILDING OR PROVIDE OTHER KITCHEN EXHAUST TO COMPLY WITH 2013 ENERGY STANDARD.
- 10. THE EXTERIOR LANDING FOR ALL IN-SWINGING OR SLIDING DOORS SHALL NOT BE LESS THAN 7'-3/4" (196 MM) FROM THE EXTERIOR WALL. [2013 CMC 504.3.1.2]
- 11. UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. [2013 CMC 916.10.10]
- 12. THE AIR CONDITIONING REFRIGERANT LINES MUST BE PROTECTED FROM UV DEGRADATION. (2013 CALIFORNIA ENERGY CODE 1509M)
- 13. ALL EXTERIOR MEANS OF EGRESS SHALL BE PROTECTED FROM HEATED MATERIAL MEETING THE UL911 STANDARD. (CALIFORNIA ENERGY CODE 1509M20)

INSTALLATION NOTES:

1. SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH THE FOLLOWING INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

2. BATH TUB: MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILTER SHALL BE LIMITED TO 120 DEG F.

3. TUB/SHOWER FLUSH TOILET (1.28 GALLONS/FLUSH) AT ALL NEW BATHROOMS (CPC 2013 SECTION 402.2.1)

4. FINISH BACKING MATERIAL AND WATERPROOFED MATERIAL AT SHOWER/BATHTUB WALL SHALL BE CEMENTITIOUS MATERIAL OR GUMPSO BOARD APPROVED FOR THIS INSTALLATION. WATER RESISTANT GYPSUM BOARD UNDER GLUE-ON-TILE IS NOT ALLOWED.

5. SHOWER:

- SHOWER DOORS MUST BE AT LEAST 22" WIDE [2013 CPC 408.5]
- SHOWERS MUST HAVE WATERPROOF WALL FINISH UP AT LEAST 70" ABOVE THE FLOOR [2013 CPC SECTION 307.2]
- GLASS SHOWER AND TUB ENCLOSURE MUST BE SAFETY GLAZING [2013 CPC SECTION 308.4.1]

6. THE BATHTUB WALLS OPENING IN THE FLOOR OVER THE CRAWL SPACE SHALL BE PROTECTED BY A METAL COLLAR OR SCREEN NOT EXCEEDING 1/2" OR A SOLID COVER. (2013 CPC 312.12.3)

VENTILATION NOTES:

1. A MINIMUM OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING WITH ADEQUATE CROSS VENTILATION FOR VAULTED CEILING.

2. THE AIR SPACE SHALL BE A MINIMUM OF 22" X 20". A THIN LAYER MINIMUM CLEAR HEAD SPACE SHALL BE PROVIDED ABOVE THE ATTIC ACCESS. ATTIC ACCESS SHALL BE LOCATED AT A READILY ACCESSIBLE LOCATION.

3. MECHANICAL VENTILATION IS NOT LESS THAN 6 AIR CHANGES PER HOUR TYPE. THE AIR EXCHANGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS. (CRC 2013 SECTION 806).

4. IF AIR DUCTS WILL BE INSTALLED IN AN UNDER-FLOOR CRAWL SPACE, THEY SHALL NOT BE INSTALLED IN THE CRAWL SPACE. THEY SHALL MAINTAIN A MINIMUM 4" VERTICAL CLEARANCE FROM EARTH. (2013 CMC 604.1 AND 604.2).

WATER HEATER NOTES:

1. THE WATER HEATER WILL HAVE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER UNIT AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP MUST BE LOCATED AT LEAST 4" AWAY FROM THE WATER HEATER CONTROLS. (2013 CPC 507.2)
2. THE WATER HEATERS PRESSURE/TEMPERATURE (P/T) RELIEF VALVE SHALL BE GALVANIZED STEEL, HARD-DRAWN COPPER, OR CPVC. THE VALVE SHALL BE DRAINED TO THE EXTERIOR OF THE BUILDING, TERMINATE TOWARD THE GROUND MAINTAINING BETWEEN THE VALVE AND THE GROUND A MINIMUM CLEARANCE OF 18" AND TOWARD THE DIAMETER OF THE VALVE OPENING (GENERAL NOTE 507.2.4) MUST BE MAINTAINED TO THE TERMINATION OF THE DRAIN. [2013 CPC 505 AND 608.5]
3. THE ENTIRE LENGTH OF HOT WATER PIPES SHALL BE INSULATED. [2013 CALIFORNIA ENERGY CODE SECTION 150.4(I)]
4. THE PIPING FROM THE WATER HEATER TO THE KITCHEN WILL BE INSULATED. [2013 CALIFORNIA ENERGY CODE SECTION 150.4(I)]
5. ALL PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 6" ABOVE ROOF NO LESS THAN 1' ABOVE ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN 18" FROM LOT LINE. [2013 CPC 500.2]
6. IF THE WATER PRESSURE EXCEEDS 80 PSI, AND EXPANSION TANK AND AN APPROVED PRESSURE REGULATOR SHALL BE INSTALLED. (2013 CPC 608.2)

LEGEND

 : FIRE SPRINKLER
 : SMOKE DETECTOR CO2

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

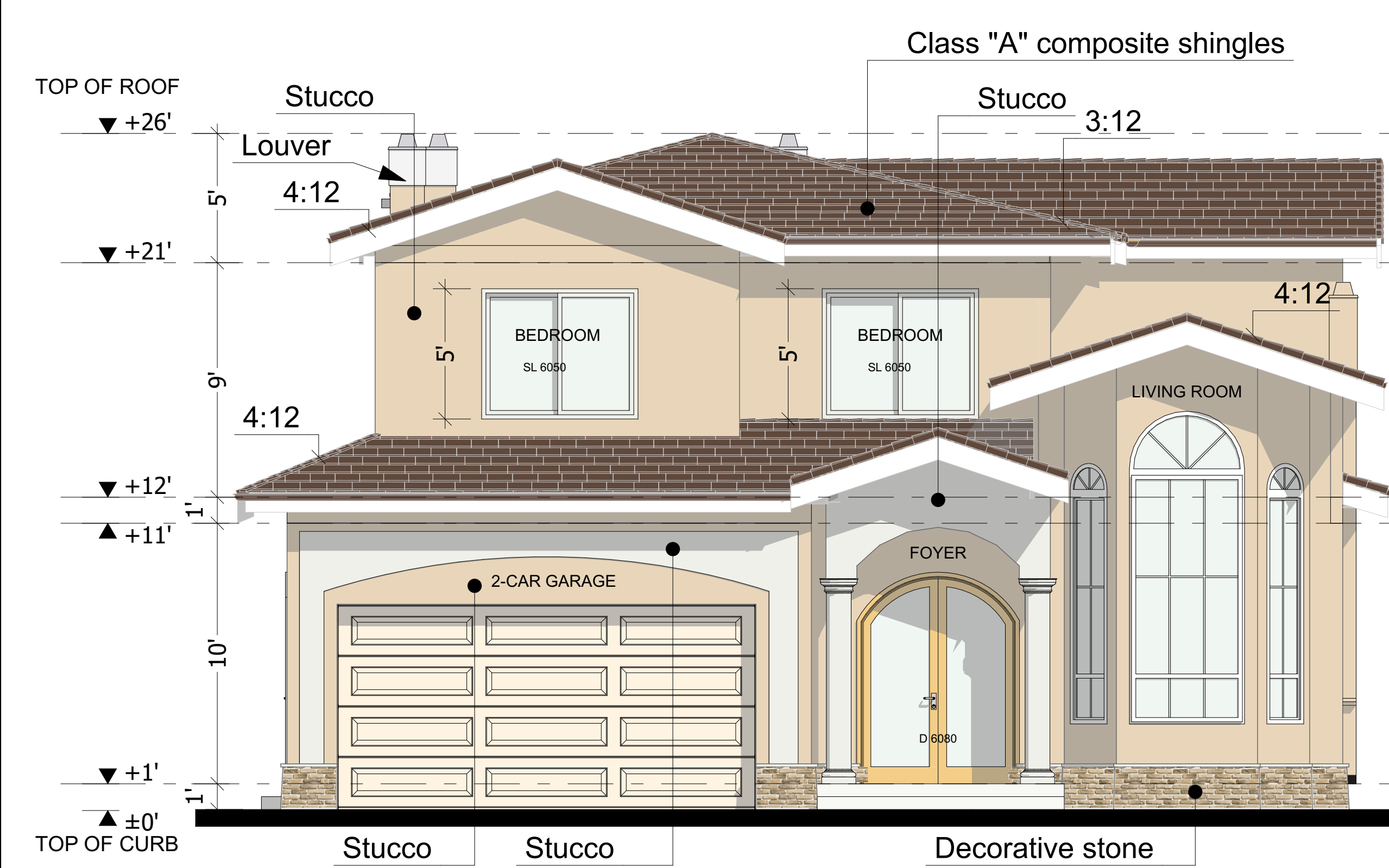
DRAWING TITLE:

PROPOSED ROOF PLANS

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CAD FILE:			
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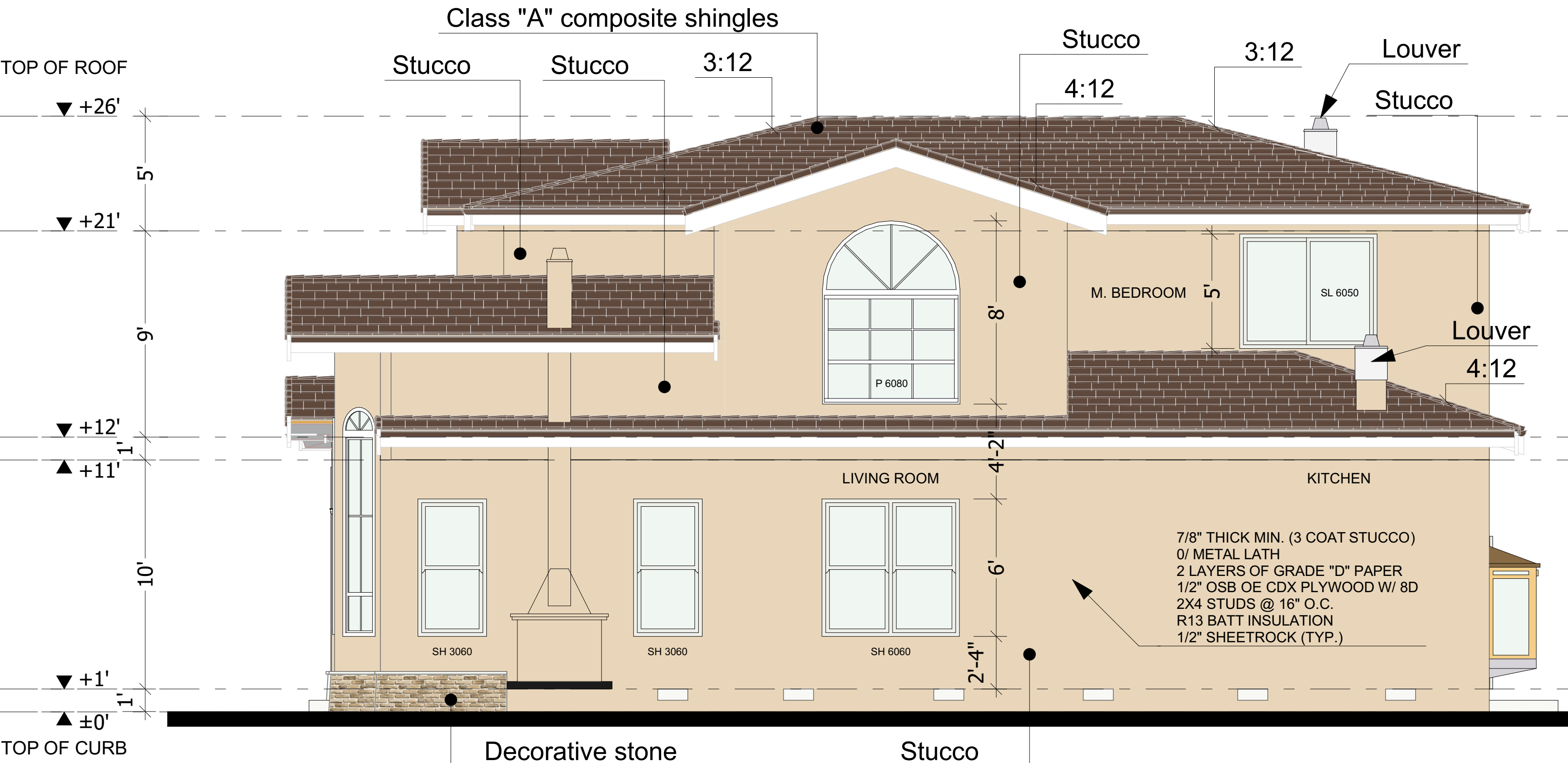
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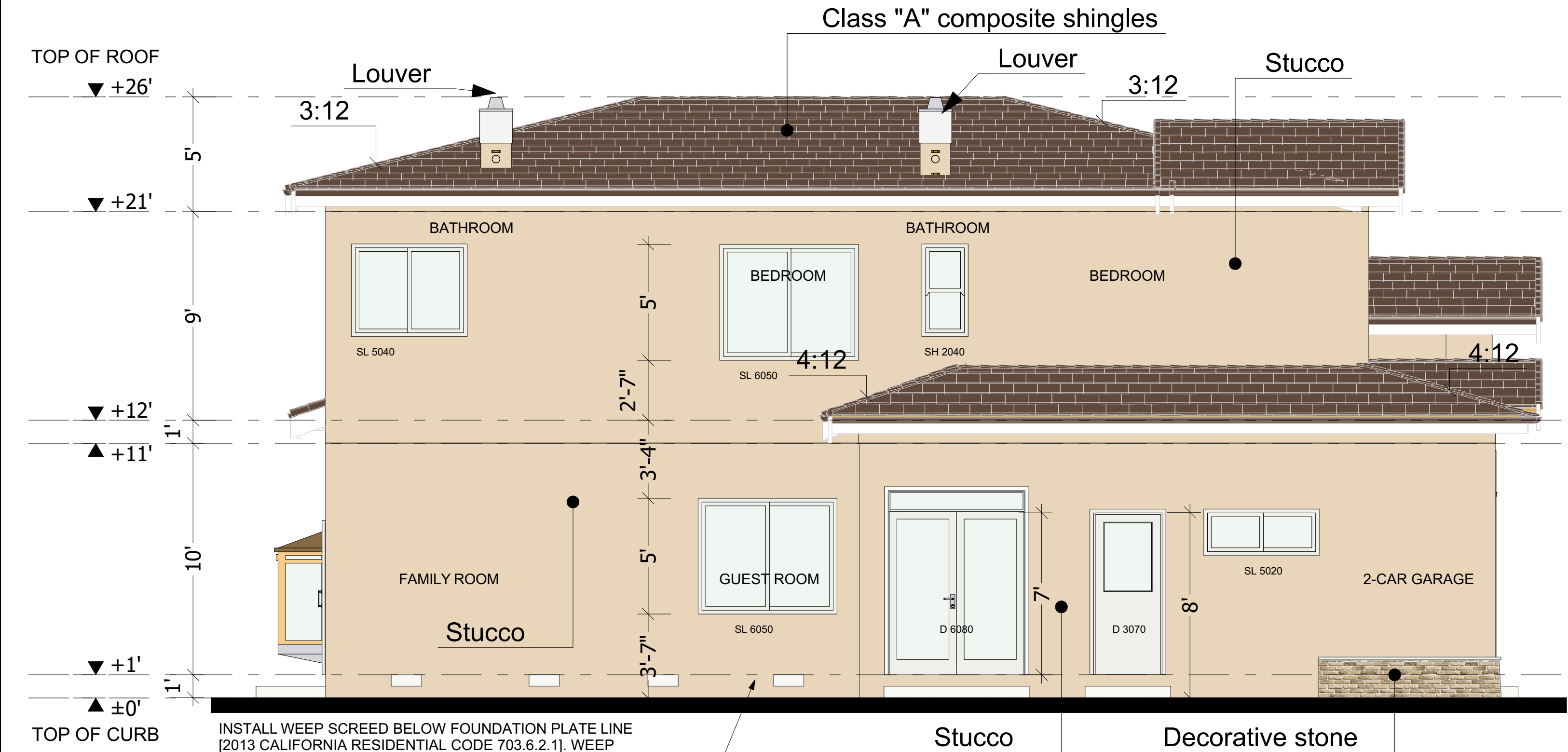
ELEVATION A (FRONT)

SCALE: 1/4"-1'



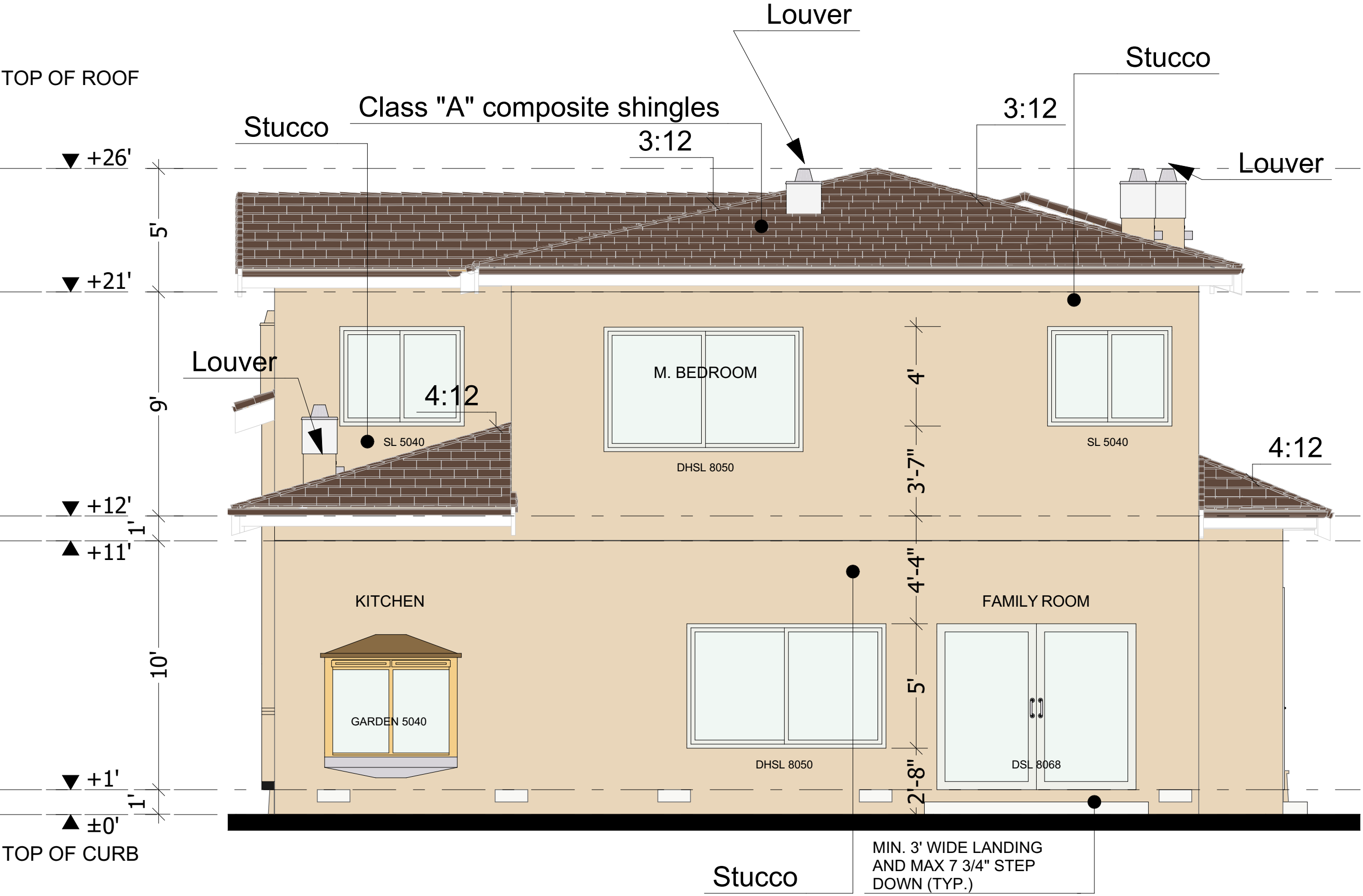
ELEVATION D (RIGHT)

SCALE: 1/4"-1'



ELEVATION C (LEFT)

SCALE: 1/4"-1'



ELEVATION B (REAR)

SCALE: 1/4"-1'

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

ARCHITECTURAL ELEVATIONS

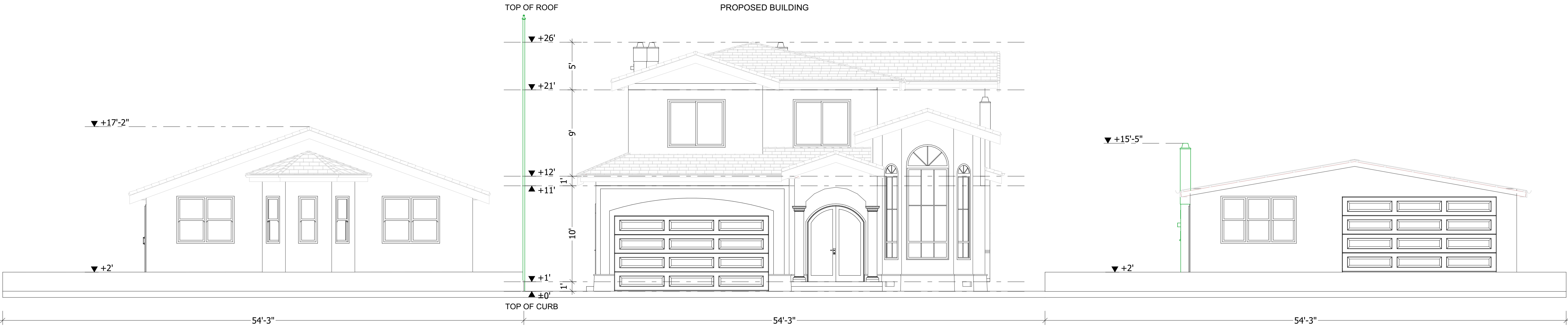
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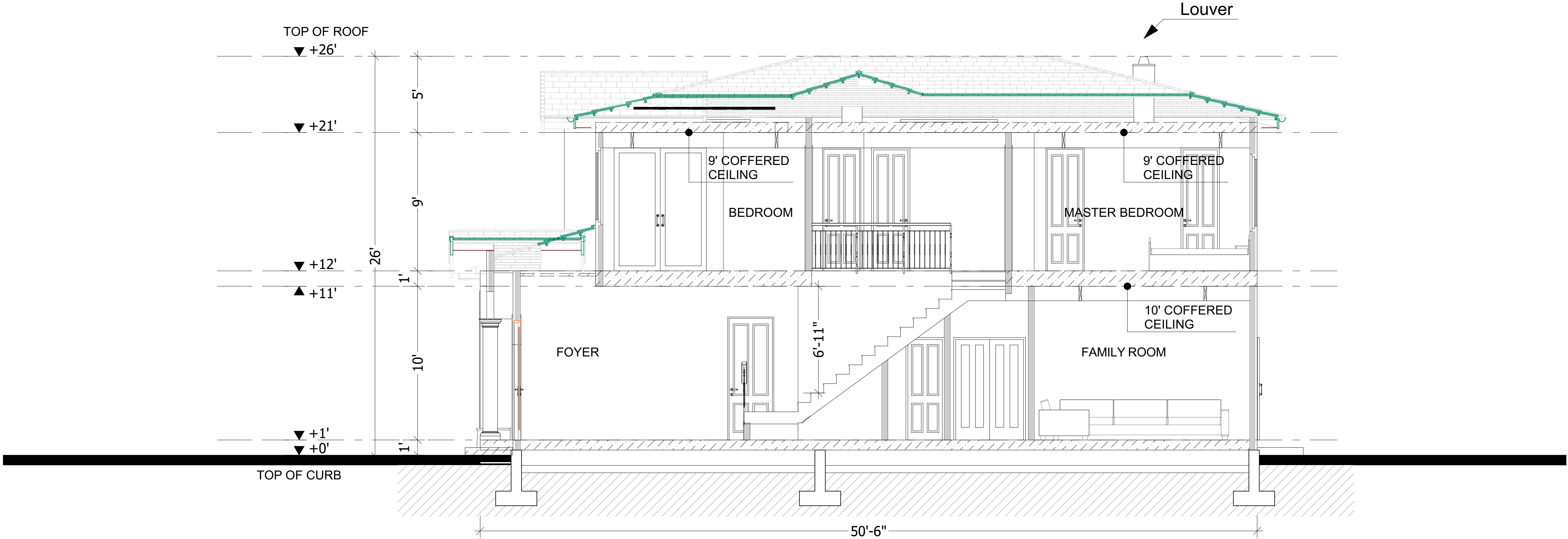
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DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO:

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STREETSCAPE ELEVATION
SCALE: 1/64"=1'



SECTION 1
SCALE: 1/4"=1'

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

BUILDING HEIGHT, STREETSCAPE
ELEVATION

PROJECT:

REV	DATE	DESCRIPTION
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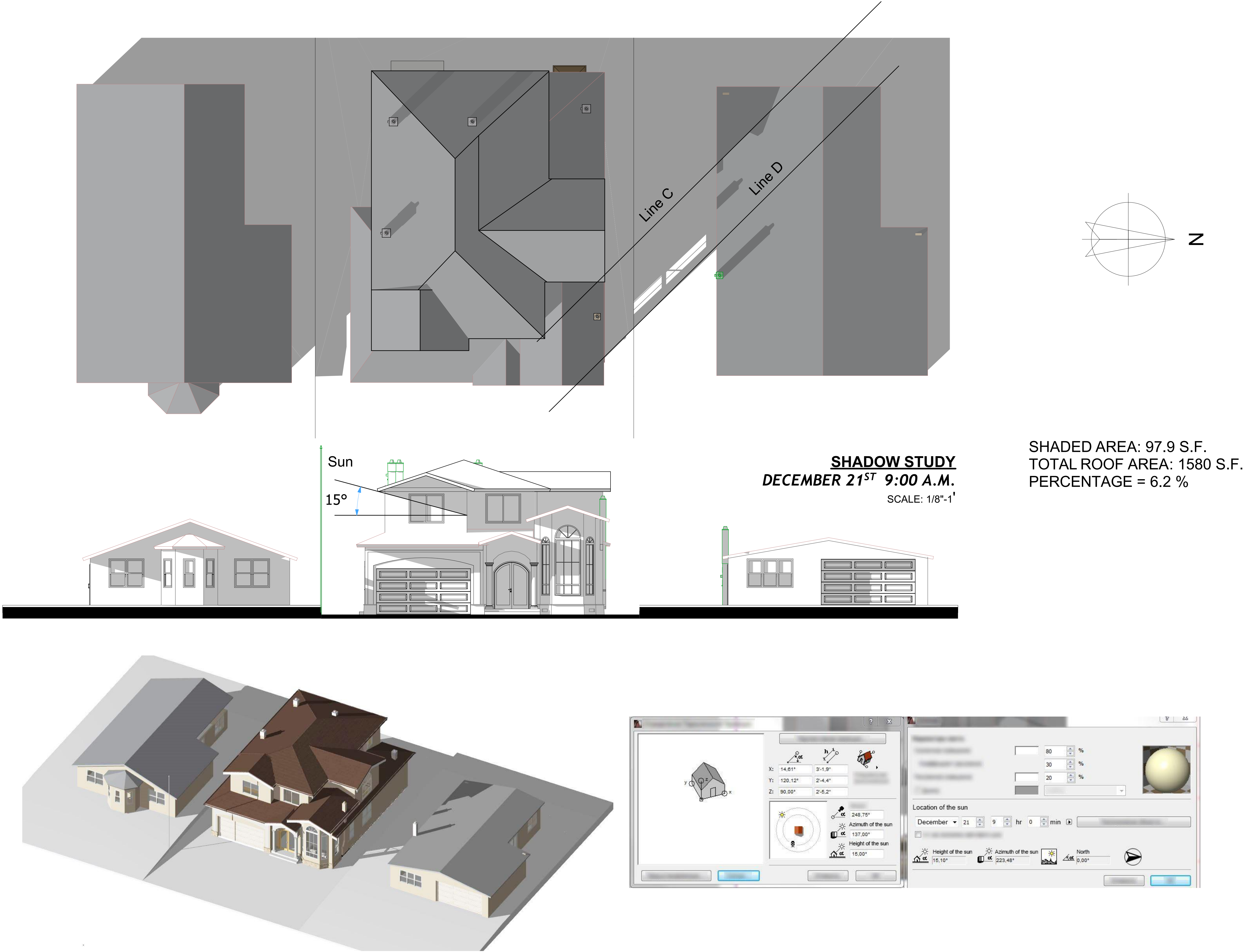
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CHK'D BY: B.A. APP'D BY: B.A.

DATE: 06/22/2015 SCALE: AS NOTED

SHEET NO:



DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

SHADOW STUDY AT 9:00 AM

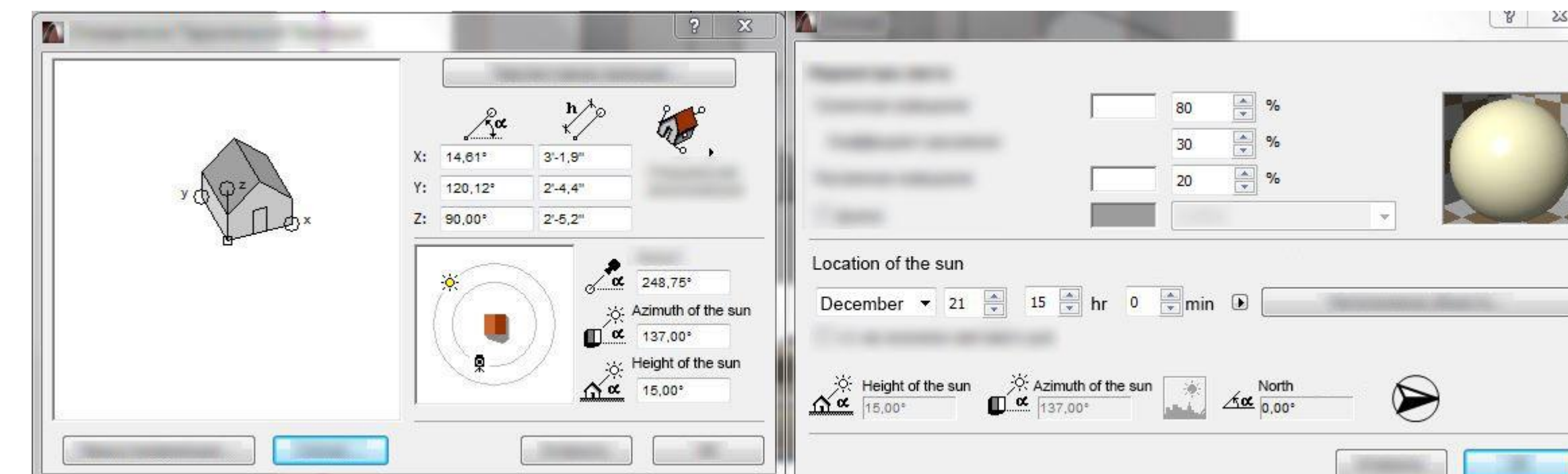
PROJECT:

DRAWING TITLE:

REV	DATE	DESCRIPTION
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JOB NO.:	
CAD FILE:	
DSGN'D BY: B.A.	DRAWN BY: B.A.
CHK'D BY: B.A.	APP'D BY: B.A.
DATE: 06/22/2015	SCALE: AS NOTED

SHEET NO:



DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

SHADOW STUDY AT 3:00 PM

PROJECT:	DRAWING TITLE		5	
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CAD FILE:				
DSGN'D BY: B.A.		DRAWN BY: B.A.		
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DATE: 06/22/2015		SCALE: AS NOTED		
SHEET NO.:				

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CAD FILE:

DESIGN'D BY:

S.A.

CHK'D BY:

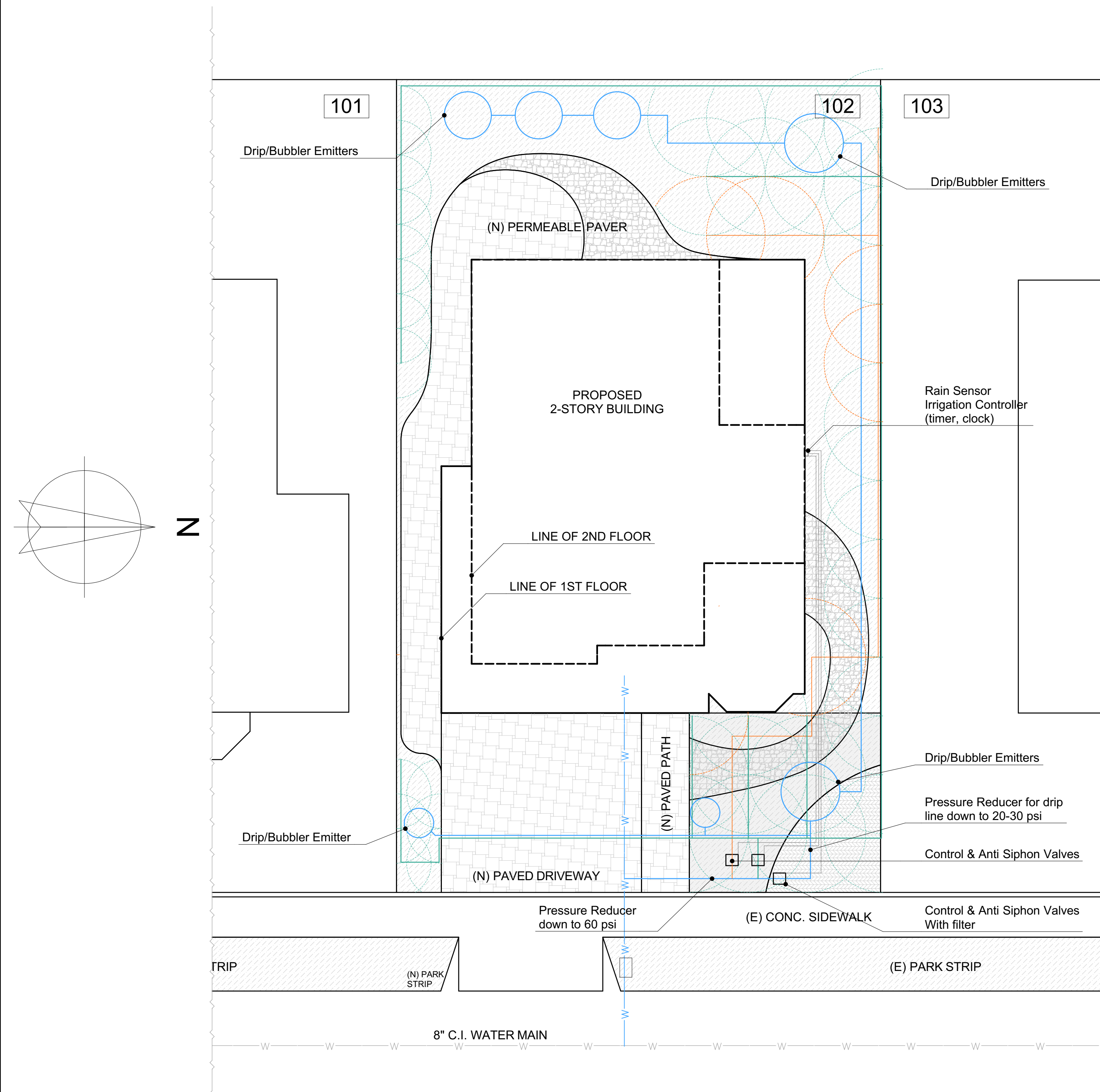
S.A.

DATE: 06/22/2015



6/22/2015

SHEET NO:

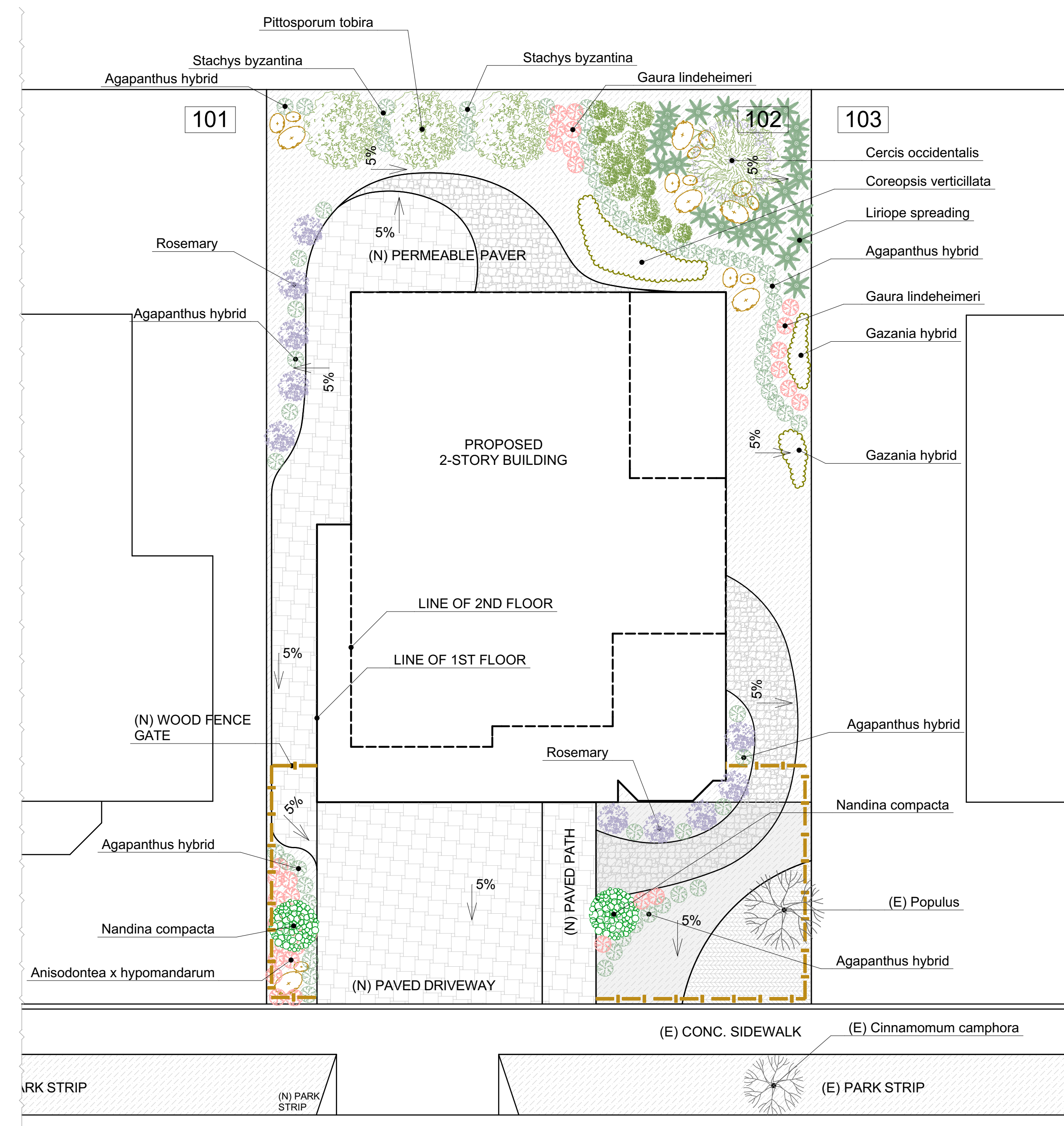
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LEGEND

- : Drip/Bubbler Emitters Line
- : Groundcover Spray Heads Line
- : Sprinkler Heads Line
-  : Trees, Shrubs etc.
-  : Decorative Rock

All required landscaped areas shall be provided with a permanent irrigation system for all uses, except for single-family detached and duplex dwellings. Irrigation systems shall be designed and maintained to prevent water waste (e.g. runoff or overspray). Irrigation controllers shall be capable of multiple programming and incorporate sensors to override the call for water during rain or if the soil is still moist. Irrigation controllers and backflow devices shall be screened from public view. Irrigation shall only occur between 8 p.m. and 10 a.m.



LANDSCAPING AND IRRIGATION SYSTEM

SCALE: 1/8"-1'

Warm-season grass, permeable surface patio, water efficient plants with nearly year-round color, mulch in shrub areas, deciduous trees for summer shade and winter sun, a California native, shrubs attractive to hummingbirds and butterflies. A smaller lawn would make this landscape even more water efficient.

Water Efficiency Design

Landscaping design and plant selection is based on:

Option 1: Turf/lawn is limited to 25% of the landscaped area. Of the non-turf area, at least 80% is planted with native, low water or no water use plants.

Plant Material

Variety - Landscaping includes trees, shrubs, vines, flower, ground covers

Hydrozones

Plants with similar water needs are grouped together



The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, H6.1, J5.1, O1, O7.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated

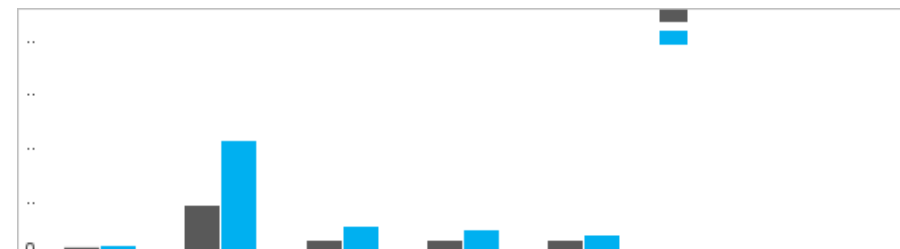
Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

Points Achieved: 100

Certification Level: Silver



PROJECT NAME		Points Achieved	Commu	Energy	IAQ/Hea	Resource	Water	NOTES
MEASURES		Possible Points						
CALGreen	Yes	CALGreen Res (REQUIRED)	4	1	1	1	1	
A. SITE								
TBD	A1. Construction Footprint				1			
TBD	A2. Job Site Construction Waste Diversion							
TBD	A2.1 65% C&D Waste Diversion(Including Alternative Daily Cover)				2			
TBD	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)				2			
TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility				1			
TBD	A3. Recycled Content Base Material				1			
TBD	A4. Heat Island Effect Reduction (Non-Roof)		1					
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out				1			
TBD	A6. Stormwater Control: Prescriptive Path						1	
TBD	A6.1 Permeable Paving Material						1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
TBD	A6.4 Smart Stormwater Street Design		1					
TBD	A7. Stormwater Control: Performance Path						3	
B. FOUNDATION								
TBD	B1. Fly Ash and/or Slag in Concrete					1		
TBD	B2. Radon-Resistant Construction				2			
TBD	B3. Foundation Drainage System					2		
TBD	B4. Moisture Controlled Crawlspace				1			
TBD	B5. Structural Pest Controls							
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections					1		
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation					1		
C. LANDSCAPE								
	Enter the landscape area percentage							
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)		1				1	
TBD	C2. Three Inches of Mulch in Planting Beds						1	
	C3. Resource Efficient Landscapes							
Yes	C3.1 No Invasive Species Listed by Cal-IPC		1			1		
Yes	C3.2 Plants Chosen and Located to Grow to Natural Size		1			1		
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species		3				3	
	C4. Minimal Turf in Landscape							
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide		0				2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area						1	
TBD	C5. Trees to Moderate Building Temperature			1	1			
Yes	C6. High-Efficiency Irrigation System		0				2	
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil						2	
TBD	C8. Rainwater Harvesting System						3	
TBD	C9. Recycled Wastewater Irrigation System						1	
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation						2	
TBD	C11. Landscape Meets Water Budget						2	
TBD	C12. Environmentally Preferable Materials for Site							
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Finish					1		
Yes	C13. Reduced Light Pollution			1				
TBD	C14. Large Stature Tree(s)		1	1				
TBD	C15. Third Party Landscape Program Certification						1	
TBD	C16. Maintenance Contract with Certified Professional							
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
TBD	D1. Optimal Value Engineering							
TBD	D1.1 Joists, Rafter, and Studs at 24 Inches on Center			1		2		
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load				1			
TBD	D1.3 Advanced Framing Measures					2		
TBD	D2. Construction Material Efficiencies					1		
TBD	D3. Engineered Lumber							
TBD	D3.1 Engineered Beams and Headers					1		
TBD	D3.2 Wood Joists or Web Trusses for Floors					1		
TBD	D3.3 Engineered Lumber for Roof Rafters					1		
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1		
TBD	D3.5 OSB for Subfloor					0.5		
TBD	D3.6 OSB for Wall and Roof Sheathing					0.5		
TBD	D3.7 Insulated Headers			1				
TBD	D5. FSC-Certified Wood							
TBD	D5.1 Dimensional Lumber, Studs, and Timber					6		
TBD	D5.2 Panel Products					3		
TBD	D6. Solid Wall Systems							
TBD	D6.1 At Least 90% of Floors					1		
TBD	D6.2 At Least 90% of Exterior Walls				1	1		
TBD	D6.3 At Least 90% of Roofs				1	1		
TBD	D7. Energy Heels on Roof Trusses					1		
TBD	D8. Overhangs and Gutters				1	1		
TBD	D9. Reduced Pollution Entering the Home from the Garage							
TBD	D9.1 Detached Garage				2			
Yes	D9.2 Mitigation Strategies for Attached Garage		1		1			
TBD	D10. Structural Pest and Rot Controls							
TBD	D10.1 All Wood Located At Least 12 Inches Above the Soil					1		
TBD	D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1		
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)		2		1	1		
E. EXTERIOR								
TBD	E1. Environmentally Preferable Decking					1		
TBD	E2. Flashing Installation Third-Party Verified					2		
TBD	E3. Rain Screen Wall System					2		
TBD	E4. Durable and Non-Combustible Cladding Materials					1		
TBD	E5. Durable Roofing Materials							
TBD	E5.1 Durable and Fire Resistant Roofing Materials or Assembly					1		
TBD	E6. Vegetated Roof			2	2			
F. INSULATION								
TBD	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
TBD	F1.1 Walls and Floors					1		
TBD	F1.2 Ceilings					1		
TBD	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
TBD	F2.1 Walls and Floors				1			
TBD	F2.2 Ceilings				1			
TBD	F3. Insulation That Does Not Contain Fire Retardants							
TBD	F3.1 Cavity Walls and Floors				1			
TBD	F3.2 Ceilings				1			
TBD	F3.3 Interior and Exterior				1			
G. PLUMBING								
Yes	G1. Efficient Distribution of Domestic Hot Water							
TBD	G1.1 Insulated Hot Water Pipes		1		1			
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution						1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution						2	
	G2. Install Water-Efficient Fixtures							
Yes	G2.1 WaterSense Showerheads with Matching Compensation Valve		2				2	
Yes	G2.2 WaterSense Bathroom Faucets		1					
Yes	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams						1	
			1					

TBD	G3. Pre-Plumbing for Graywater System							1	
TBD	G4. Operational Graywater System							3	
H. HEATING, VENTILATION, AND AIR CONDITIONING									
H1. Sealed Combustion Units									
TBD	H1.1 Sealed Combustion Furnace						1		
TBD	H1.2 Sealed Combustion Water Heater						2		
TBD	H2. High Performing Zoned Hydronic Radiant Heating System					1	1		
H3. Effective Ductwork									
Yes	H3.1 Duct Mastic on Duct Joints and Seams				1	1			
Yes	H3.2 Pressure Balance the Ductwork System				1	1			
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified				1		1		
H5. Advanced Practices for Cooling									
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms					1			
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality									
Yes	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R		
TBD	H6.2 Advanced Ventilation Standards						1		
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas						2		
H7. Effective Range Hood Design and Installation									
Yes	H7.1 Effective Range Hood Ducting and Design				1		1		
TBD	H7.2 Automatic Range Hood Control						1		
TBD	H8. No Fireplace or Sealed Gas Fireplace						1		
TBD	H8. Humidity Control Systems						1		
TBD	H10. Register Design Per ACCA Manual T						1		
Yes	H11. High Efficiency HVAC Filter (MERV 8+)				1		1		
I. RENEWABLE ENERGY									
TBD	I1. Pre-Plumbing for Solar Water Heating					1			
TBD	I2. Preparation for Future Photovoltaic Installation					1			
TBD	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)					25			
I4. Net Zero Energy Home									
TBD	I4.1 Near Zero Energy Home					2			
TBD	I4.2 Net Zero Electric					4			
J. BUILDING PERFORMANCE AND TESTING									
TBD	J1. Third-Party Verification of Quality of Insulation Installation						1		
Yes	J2. Supply and Return Air Flow Testing	2			1	1			
TBD	J3. Mechanical Ventilation Testing and Low Leakage					1	1		
TBD	J4. Combustion Appliance Safety Testing						1		
TBD	J5. Building Performance Exceeds Title 24 Part 6								
26.00% [1]	J5.1 Home Outperforms Title 24 Part 6	57			60				
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst						1		
TBD	J7. Participation in Utility Program with Third-Party Plan Review					1			
TBD	J8. ENERGY STAR for Homes						1		
No	J9. EPA Indoor airPlus Certification	0					1		
TBD	J10. Blower Door Testing						2		
K. FINISHES									
K1. Entryways Designed to Reduce Tracked-In Contaminants									
Yes	K1.1 Individual Entryways				1	1			
Yes	K2. Zero-VOC Interior Wall and Ceiling Paints				2		2		
Yes	K3. Low-VOC Caulks and Adhesives				1		1		
K4. Environmentally Preferable Materials for Interior Finish									
TBD	K4.1 Cabinets						2		
TBD	K4.2 Interior Trim						2		
TBD	K4.3 Shelving						2		
TBD	K4.4 Doors						2		
TBD	K4.5 Countertops						1		
K5. Formaldehyde Emissions in Interior Finish Exceed CARB									
TBD	K5.1 Doors					1			
TBD	K5.2 Cabinets and Countertops					2			
TBD	K5.3 Interior Trim and Shelving						2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard						2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion						2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes	0					1		
L. FLOORING									
≥75%	L1. Environmentally Preferable Flooring	3					3		
≥75%	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential					3			
TBD	L3. Durable Flooring						1		
TBD	L4. Thermal Mass Flooring				1				
M. APPLIANCES AND LIGHTING									
TBD	M1. ENERGY STAR® Dishwasher							1	
TBD	M2. CEE-Rated Clothes Washer				1			2	
TBD	M3. Size-Efficient ENERGY STAR Refrigerator				2				
M4. Permanent Centers for Waste Reduction Strategies									
TBD	M4.1 Built-In Recycling Center						1		
TBD	M4.2 Built-In Composting Center						1		
M5. Lighting Efficiency									
TBD	M5.1 High-Efficacy Lighting					2			
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant					2			
N. COMMUNITY									
N1. Smart Development									
TBD	N1.1 Infill Site			1			1		
TBD	N1.2 Designated Brownfield Site			1		1			
TBD	N1.3 Conserve Resources by Increasing Density				2		2		
TBD	N1.4 Cluster Homes for Land Preservation			1				1	
TBD	N1.5 Home Size Efficiency	5						9	
2717	Enter the area of the home, in square feet								
5	Enter the number of bedrooms								
TBD	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop			2					
N3. Pedestrian and Bicycle Access									
N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services									
Enter the number of Tier 1 services									
Enter the number of Tier 2 services									
TBD	N3.2 Connection to Pedestrian Pathways			1					
TBD	N3.3 Traffic Calming Strategies			2					
N4. Outdoor Gathering Places									
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents			1					
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services			1					
N5. Social Interaction									
TBD	N5.1 Residence Entries with Views to Callers			1					
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors						1		
TBD	N5.3 Porches Oriented to Street and Public Space						1		
TBD	N5.4 Social Gathering Space			1					
N6. Passive Solar Design									
TBD	N6.1 Heating Load				2				
TBD	N6.2 Cooling Load				2				
N7. Adaptable Building									
TBD	N7.1 Universal Design Principles in Units			1		1			
TBD	N7.2 Full-Function Independent Rental Unit			1					
O. OTHER									
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R		
TBD	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors			0.5		1	0.5		
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5		
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5	0.5		
TBD	O5. Home System Monitors			1			1		
O6. Green Building Education									
Yes	O6.1 Marketing Green Building			2	2				
TBD	O6.2 Green Building Signage				0.5			0.5	
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R		
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation						1		

Summary						
Total Available Points in Specific Categories	342	26	131	54	83	48
Minimum Points Required in Specific Categories	50	2	25	6	6	6
Total Points Achieved	100,0	3,0	62,0	14,0	12,0	9,0

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Immediate Neighborhood

APN	#	Street	Lot Size	Living Area	Garage	Stories	GFA	FAR	Notes
21329076	805	Tamarack	6,755	2,629	400	2	3,029	45%	54% 2nd/1st Fl. Ratio
21329077	809	Tamarack	6,313	2,441	400	2	2,841	45%	45% 2nd/1st Fl. Ratio
21329069	813	Tamarack	6,109	2,756	427	2	3,183	52%	High FAR, 30% 2nd/1st Fl. Ratio
21329051	817	Tamarack	5,529	1,532	400	2	1,932	35%	39% Approx. 2nd/1st Fl. Ratio
21329052	821	Tamarack	5,529	1,039	400	1	1,439	26%	
21329054	829	Tamarack	5,529	1,039	400	1	1,439	26%	
21329055	833	Tamarack	5,529	1,039	400	1	1,439	26%	
21329056	837	Tamarack	5,529	1,039	390	1	1,429	26%	
21329057	841	Tamarack	5,529	1,039	400	1	1,439	26%	
21329058	845	Tamarack	5,843	1,857	400	2	2,257	39%	54% 2nd/1st Fl. Ratio
21329059	849	Tamarack	5,560	1,039	400	1	1,439	26%	
21329060	853	Tamarack	5,508	1,039	400	1	1,439	26%	
21329061	857	Tamarack	5,508	1,039	400	1	1,439	26%	
21330030	816	Tamarack	5,914	1,549	400	1	1,949	33%	
21330031	808	Tamarack	5,914	2,646	400	2	3,046	52%	FAR > 50%, 50% 2nd/1st Fl. Ratio
21331006	1101	Poinciana	5,742	1,439	None	1	1,439	25%	
21331007	850	Tamarack	5,665	1,039	400	1	1,439	25%	
21331008	846	Tamarack	6,036	1,039	400	1	1,439	24%	
21331009	840	Tamarack	5,728	1,439	190	1	1,629	28%	
21331020	830	Tamarack	5,928	1,383	None	1	1,383	23%	Low FAR
21331021	826	Tamarack	5,926	1,039	400	1	1,439	24%	
Avg							1,834	31%	

Existing Second Stories >45% FAR Beyond Immediate Neighborhood

APN	#	Street	Lot Size	Living Area	Garage	Stories	GFA	FAR	Notes
21331024	1114	Myrtle	5,500	2,450	400	2	2,850	52%	Completed in 2007
21315002	1035	Daisy	6,200	3,072	435	2	3,507	57%	Completed in 2009
21313006	792	Henderson	6,538	3,342	444	2	3,788	58%	Completed in 2014
21310031	663	Toyon	5,568	2,344	424	2	2,770	50%	Completed in 2015
21330037	1124	Lily	5,500	2,623	400	2	3,023	55%	Approved in 2014, but not yet completed
21312035	702	Timberpine	6,130	3,106	441	2	3,547	58%	Toll Brothers 51-lot SFR development, approximately 600' to the northeast (completed 2013)
21312036	706	Timberpine	6,000	3,089	427	2	3,516	59%	
21312037	710	Timberpine	6,000	3,106	441	2	3,547	59%	
21312038	714	Timberpine	6,000	3,089	427	2	3,516	59%	
21312039	718	Timberpine	6,000	3,106	441	2	3,547	59%	
21312040	722	Timberpine	6,000	3,087	454	2	3,541	59%	
21312041	726	Timberpine	6,000	3,087	454	2	3,541	59%	
21312042	730	Timberpine	6,000	3,106	441	2	3,547	59%	
21312043	734	Timberpine	6,000	3,087	454	2	3,541	59%	
21312044	738	Timberpine	6,000	3,087	454	2	3,541	59%	
21312045	742	Timberpine	6,000	3,106	441	2	3,547	59%	
21312046	746	Timberpine	6,000	3,089	427	2	3,516	59%	
21312047	750	Timberpine	6,609	3,087	454	2	3,541	54%	

21312048	751	Torreya	6,555	3,087	441	2	3,528	54%
21312049	747	Torreya	6,000	3,106	441	2	3,547	59%
21312050	743	Torreya	6,000	3,087	454	2	3,541	59%
21312051	739	Torreya	6,000	3,089	427	2	3,516	59%
21312052	735	Torreya	6,000	3,087	454	2	3,541	59%
21312053	731	Torreya	6,000	3,089	427	2	3,516	59%
21312054	727	Torreya	6,000	3,087	454	2	3,541	59%
21312055	723	Torreya	6,000	3,089	441	2	3,530	59%
21312056	719	Torreya	6,000	3,106	441	2	3,547	59%
21312057	715	Torreya	6,000	3,089	427	2	3,516	59%
21312058	711	Torreya	6,000	3,106	441	2	3,547	59%
21312059	707	Torreya	6,000	3,089	427	2	3,516	59%
21312060	703	Torreya	6,070	3,119	454	2	3,573	59%
21312061	750	Torreya	6,395	3,087	454	2	3,541	55%
21312062	746	Torreya	6,000	3,089	427	2	3,516	59%
21312063	742	Torreya	6,000	3,106	441	2	3,547	59%
21312064	738	Torreya	6,000	3,106	441	2	3,547	59%
21312065	734	Torreya	6,000	3,089	427	2	3,516	59%
21312066	730	Torreya	6,000	3,087	454	2	3,541	59%
21312067	726	Torreya	6,000	3,089	427	2	3,516	59%
21312068	722	Torreya	6,000	3,087	454	2	3,541	59%
21312069	718	Torreya	6,000	3,106	441	2	3,547	59%
21312070	714	Torreya	6,000	3,089	427	2	3,516	59%
21312071	710	Torreya	6,000	3,087	454	2	3,541	59%
21312072	1150	Dahlia	6,545	3,087	454	2	3,541	54%
21312073	1154	Dahlia	6,031	3,106	441	2	3,547	59%
21312074	1158	Dahlia	7,050	3,087	454	2	3,541	50%
21312075	711	Toyon	6,019	3,089	427	2	3,516	58%
21312076	715	Toyon	6,019	3,089	427	2	3,516	58%
21312077	719	Toyon	6,020	3,087	454	2	3,541	59%
21312078	723	Toyon	6,020	3,106	441	2	3,547	59%
21312079	727	Toyon	6,020	3,089	427	2	3,516	58%
21312080	731	Toyon	6,020	3,106	441	2	3,547	59%
21312081	735	Toyon	6,021	3,087	454	2	3,541	59%
21312082	739	Toyon	6,021	3,106	441	2	3,547	59%
21312083	743	Toyon	6,021	3,089	427	2	3,516	58%
21312084	747	Toyon	6,022	3,087	454	2	3,541	59%
21312085	751	Toyon	6,264	3,087	454	2	3,541	57%
						Avg	3,536	58%

RECOMMENDED FINDINGS

Design Review

The proposed project is desirable in that the project's design and architecture complies with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns	As with other homes in the vicinity, the proposed residence is oriented with its front entry facing Tamarack Lane with a minimal entry roof feature consistent with other new two-story homes in the neighborhood. Finding Met
2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.	The proposed home respects the scale, bulk, and character of homes in the neighborhood since the floor area ratio is consistent with new homes in the area and the project design uses measures to reduce the mass and bulk of the home through varied setbacks, lower plate heights, second floor wall offsets, a lower pitch second floor roof, and first floor rooflines to visually delineate the first and second floor on all four sides. Finding Met
2.2.3 Design homes to respect their immediate neighbors	The proposed home complies with code requirements related to height, setbacks, and solar shading. Mass and bulk has been reduced through lower plate heights and increased and varied second floor setbacks. Moreover, non-egress second floor side yard windows incorporate privacy mitigation measures to minimize views to neighboring properties. Finding Met
2.2.4 Minimize the visual impacts of parking.	The parking layout is consistent with the prevailing neighborhood pattern and is well balanced on the front elevation. Finding Met
2.2.5 Respect the predominant materials and character of front yard landscaping.	The modifications proposed to the front yard landscaping are required to meet the City's Landscaping Ordinance and would be consistent with the design of other new homes in the neighborhood. Finding Met
2.2.6 Use high quality materials and craftsmanship	The proposed design uses high quality stucco, window trim, roof material, and stone wainscoting elements. Finding Met
2.2.7 Preserve mature landscaping	No protected trees will be removed as part of this project. Finding Met

RECOMMENDED CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
NOVEMBER 9, 2015

Planning Application 2015-7872
825 Tamarack Lane

Design Review for a new two-story single-family home of 3,026 square feet (2,626 square foot living area and 400 square foot garage) and 55% FAR. The existing 1,374 square foot one-story single-family home will be demolished. This project supersedes the previous project (2015-7266) that was denied by the Planning Commission.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not

exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS] (SMC 13.08.030, SMC 13.08.60 and SMC 13.08.070)

GC-4. FIRE SPRINKLER SYSTEM:

An approved automatic fire sprinkler system designed and installed in accordance with NFPA 13D is required throughout the house.

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. GREEN BUILDING:

The plans submitted for building permits shall demonstrate compliance with the CALGreen Mandatory Measures and achieve a minimum of 80 points on the Green Point Rated checklist. Project plans shall be accompanied with a letter from the project's Green Point Rater/LEED AP verifying the project is designed to achieve the required points. [COA] [PLANNING/BUILDING]

BP-5. LANDSCAPE PLAN:

If the new or modified landscaping area cumulatively exceeds 2,500 square feet, landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. New or modified landscaping area that cumulatively exceeds 1,000 square feet shall also comply with Sunnyvale Municipal Code Chapter 19.37 requirements. If the project is subject to the requirements of Chapter 19.37, landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). [COA] [PLANNING]

BP-6. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review.

- a) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- b) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-7. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.

- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
 - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-8. CONSTRUCTION MATERIAL AND STAGING:

All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements. [SDR] [PUBLIC WORKS]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is

completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

AT: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.

AT-1. SECOND FLOOR WINDOWS:

The second floor windows identified on the approved plans as having obscured glass or window sill heights at least five feet above the finished floor shall continue to remain in effect. Any proposed modifications shall be reviewed by the Director of Community Development. [COA] [PLANNING]

PROJECT DATA:

ZONE: R-0
TYPE OF CONSTRUCTION: V-B
APN: 213-29-053
ADDRESS: 825 TAMARACK LANE, SUNNYVALE, CA
94086-8326
LOT: 102 of Assessor's Parcel Map Book 213, Page 29,
 Tract # 1458, Western Terrace Un. # 2, 57-M-52.
LOT AREA: 5529 SQ.FT
EXISTING USE: ONE STORY, SFD
EXISTING LOT COVERAGE: 1 374 SQ.FT. (25%)
PROPOSED LOT COVERAGE: 1 942 SQ.FT. (35%)
PROPOSED USE: SINGLE FAMILY MULTI-STORY
BUILDING MAX HEIGHT: 26' ABOVE TOP OF THE
CURB VERIFY AND REFER TO LAW
 (Sunnyvale Ordinance: no building or structure shall
 exceed 30 feet in height as measured from the top of
 curb)

SCOPE OF WORK:

- Demolish existing house and garage
- Proposed a single family two story house

AREA CALCULATIONS:

DESCRIPTION		SQFT			
FIRST FLOOR	LIVING AREA	1542			
FIRST FLOOR	GARAGE	400			
SECOND FLOOR	LIVING AREA	1084			
TOTAL		3026			

DESCRIPTION	LOT AREA SQFT	ALLOWABLE PERCENTAGE	ALLOWABLE SQFT	ACTUAL SQFT	ACTUAL PERCENTAGE
BUILDING AREA	5529	NO MAX*	NO MAX*	3026	54%
LOT COVERAGE	5529	40%	2211.6	1942	35%

SETBACKS:

	REQUIRED		PROPOSED	
	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR
LEFT	5'	8'	5'	8'4"
RIGHT	5.86'	8.86'	8'9"	16'6"
FRONT	20'	25'	20'	25'6"
REAR	20'	20'	20'1"	21'1"

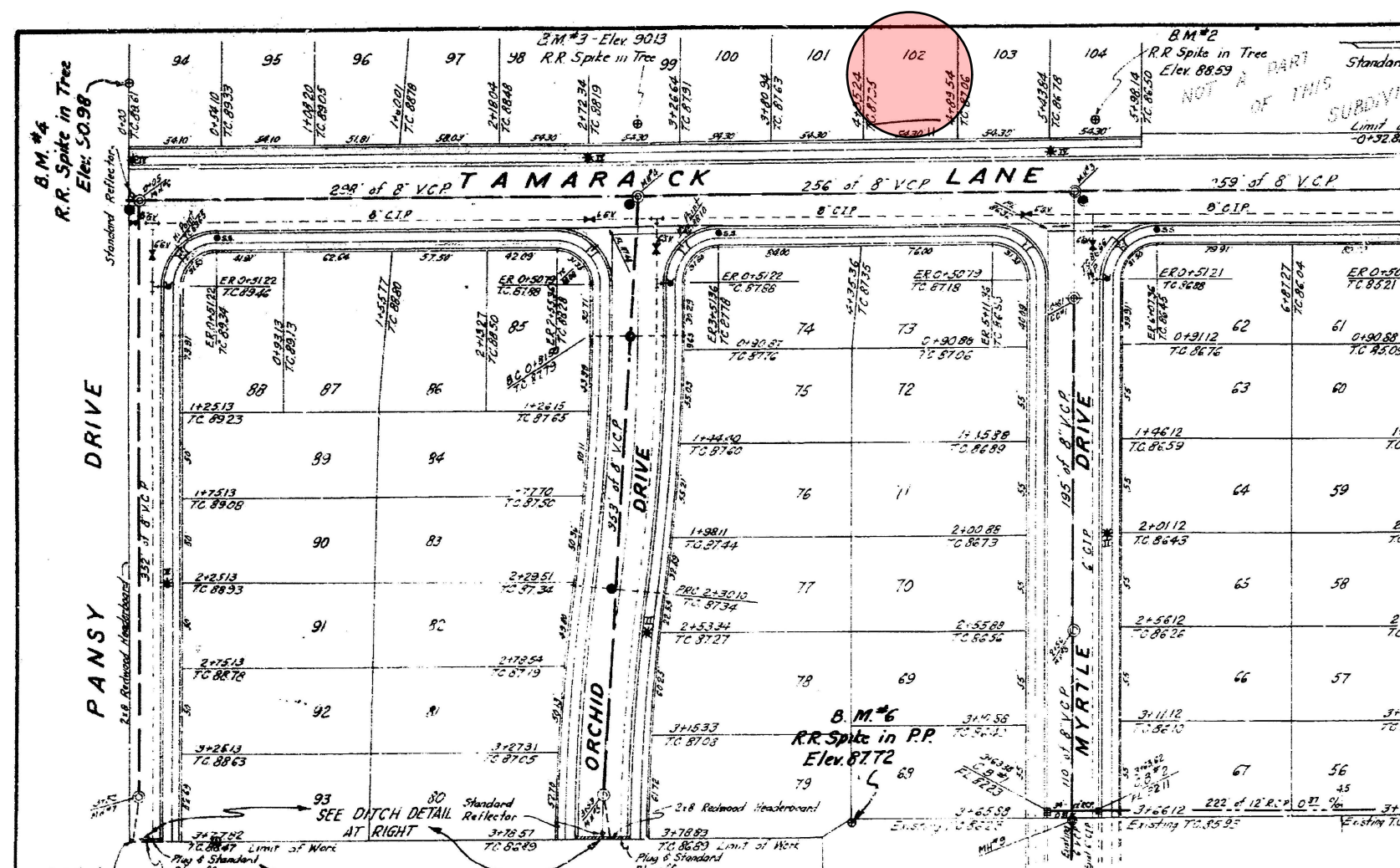
CODE EDITIONS:

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ADMINISTRATIVE CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS
CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2012 INTERNATIONAL PROPERTY MAINTENANCE
CODE
2013 TITLE 24, PART 6, CALIFORNIA ENERGY CODE
2013 TITLE 24, HANDICAPPED ACCESSIBILITY
REGULATIONS
SUNNYVALE MUNICIPAL CODE (SMC)
TITLE 19, CALIFORNIA CODE OF REGULATIONS
SUNNYVALE FIRE PREVENTION
PROCEDURES/REQUIREMENTS

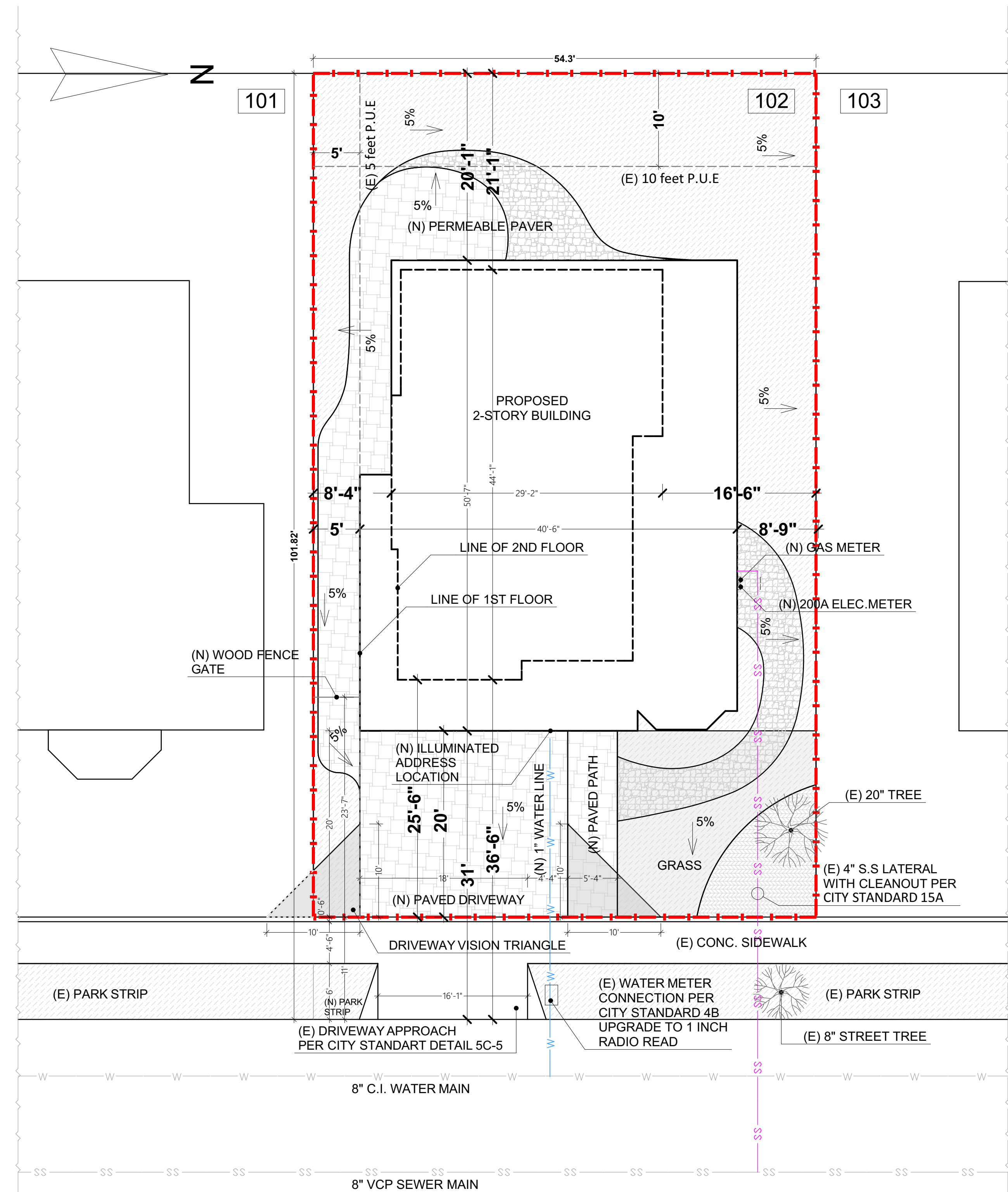
GENERAL NOTES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL GRADES, DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING CONSTRUCTION. CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN IN THE PLANS OR SPECIFICATIONS, ALL PHASES OF WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2013 CRC CODE, LATEST ADDITION, AS WELL AS ALL APPLICABLE STATE AND LOCAL ORDINANCES AS ADOPTED BY THE CONTROLLING JURISDICTION.
3. THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN THE COMPLETED FORM. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES INCLUDE, BUT ARE NOT LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, AND SHORING FOR THE STRUCTURE.
4. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS AND/OR DETAILS. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO PROCEEDING. ANY WORK INSTALLED PRIOR TO AND/OR IN CONFLICT WITH SUCH CLARIFICATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
5. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS, INTERIOR AND EXTERIOR WALLS SHALL BE DETERMINED FROM THE ARCHITECTURAL DRAWINGS. OTHER FLOOR, WALL AND ROOF OPENINGS AS REQUIRED FOR MECHANICAL, ELECTRICAL AND/OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED.
6. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
7. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER DRAWINGS, AND ALL OTHER RELATED DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK, INCLUDING THAT OF THE SUBTRADES.
8. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER OF RECORD SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
9. ALL MATERIALS SHALL BE FURNISHED AS SHOWN HEREIN UNLESS ALTERNATES ARE APPROVED IN WRITING BY THE OWNER AND THE ENGINEER OF RECORD.
10. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUBCONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFICATION.
11. WHERE A DETAIL, SECTION OR NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO LIKE CASES OF CONSTRUCTION.
12. CONNECTIONS OF ALL ITEMS SUPPORTED BY THE STRUCTURE ARE THE RESPONSIBILITY OF THE DISCIPLINES WHO MAKE THESE ATTACHMENTS. REVIEW AND COORDINATE ALL THE REQUIREMENTS IN THE ARCHITECTS PROJECT SPECIFICATION AS APPLICABLE.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER INDICATED ON THE CONTRACT DRAWING OR NOT, AND TO PROTECT THEM FROM DAMAGE. REPAIR AND REPLACEMENT OF SAID WORK SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

14. VIBRATIONAL EFFECTS OF MECHANICAL AND/OR ANY OTHER EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER OF RECORD.
 15. UNLESS NOTED OTHERWISE, ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE TO THE TOP OF BEAMS AND FOUNDATIONS. BEAMS DENOTED AS "DROP" HAVE THE TOP OF BEAM AT THE HEIGHT OF THE TOP PLATE. BEAMS DENOTED AS "FLUSH" HAVE THE BOTTOM OF BEAM AT THE HEIGHT OF THE TOP PLATE, U.N.O.
 16. PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
 17. A PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
 18. A BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO ROOF NAIL INSPECTION.
 19. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION.
- (2013 CMC 303.1 AND 2013 CPC 309.4)



VICINITY MAP




PROPOSED SITE PLAN

SCALE: 1/8"-1'

SHEET INDEX

1	PROJECT DATA; SITE PLAN; VISION TRIANGLE
2	EXISTING PLANS AND ELEVATIONS
3	PROPOSED FLOOR PLANS
4	PROPOSED ROOF PLANS
5	ARCHITECTURAL ELEVATIONS
6	BUILDING HEIGHT; STREETSCAPE ELEVATION
7	SHADOW STUDY AT 9:00 AM
8	SHADOW STUDY AT 3:00 PM
9	LANDSCAPING AND IRRIGATION SYSTEM
10	GREENPOINT RATED CHECKLIST

LEGEND

-  : PROPERTY LINE
 P.U.E : PUBLIC UTILITY EASEMENT
 *THE EASEMENTS SHALL BE KEPT OPEN AND
 FREE FROM BUILDINGS AND STRUCTURES
 OF ANY KIND

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

PROJECT DATA; SITE PLAN; VISION TRIANGLE

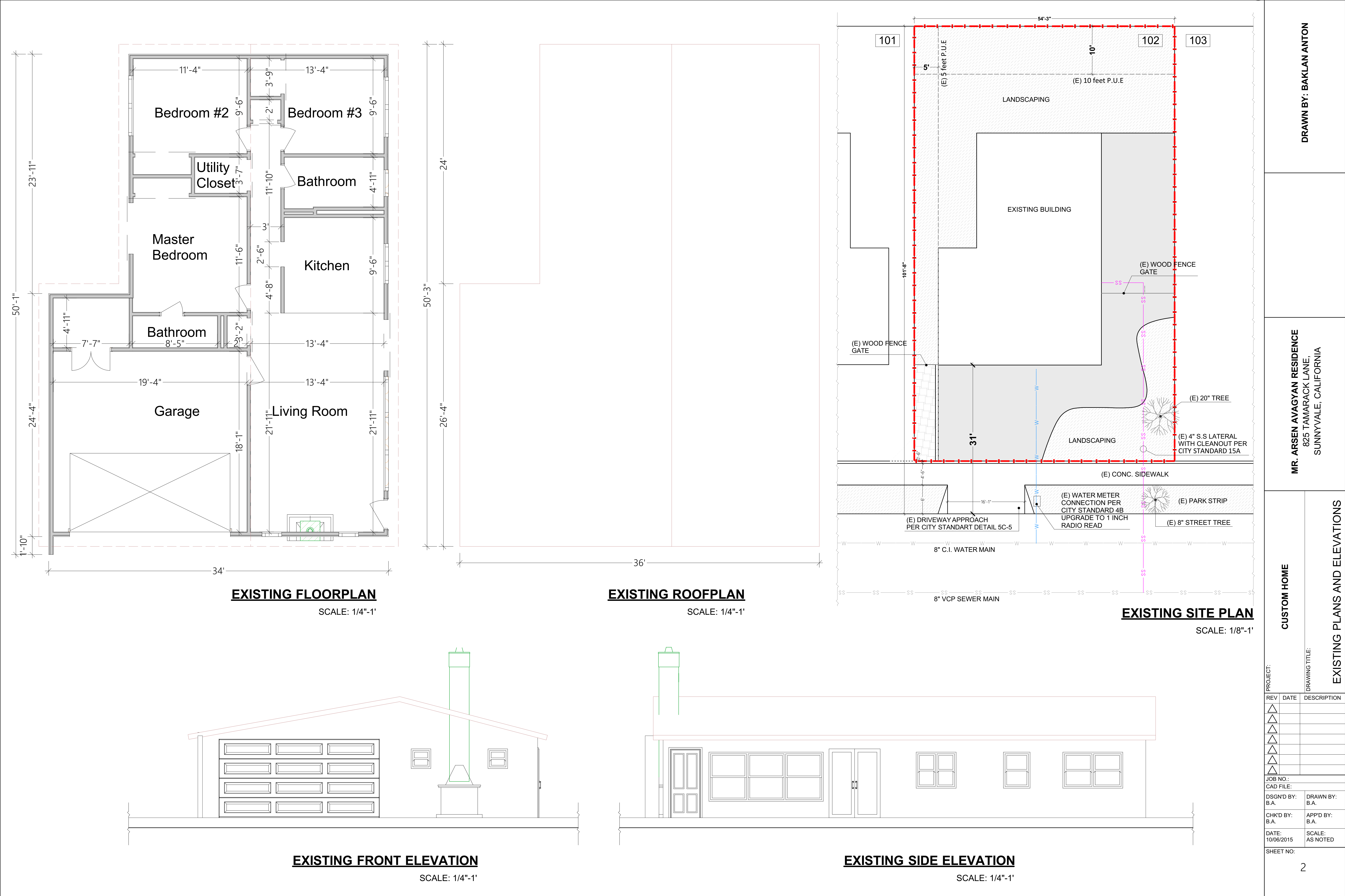
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DATE: 10/06/2015	SCALE: AS NOTED

SHEET NO:	
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DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

PROPOSED FLOOR PLANS

PROJECT:

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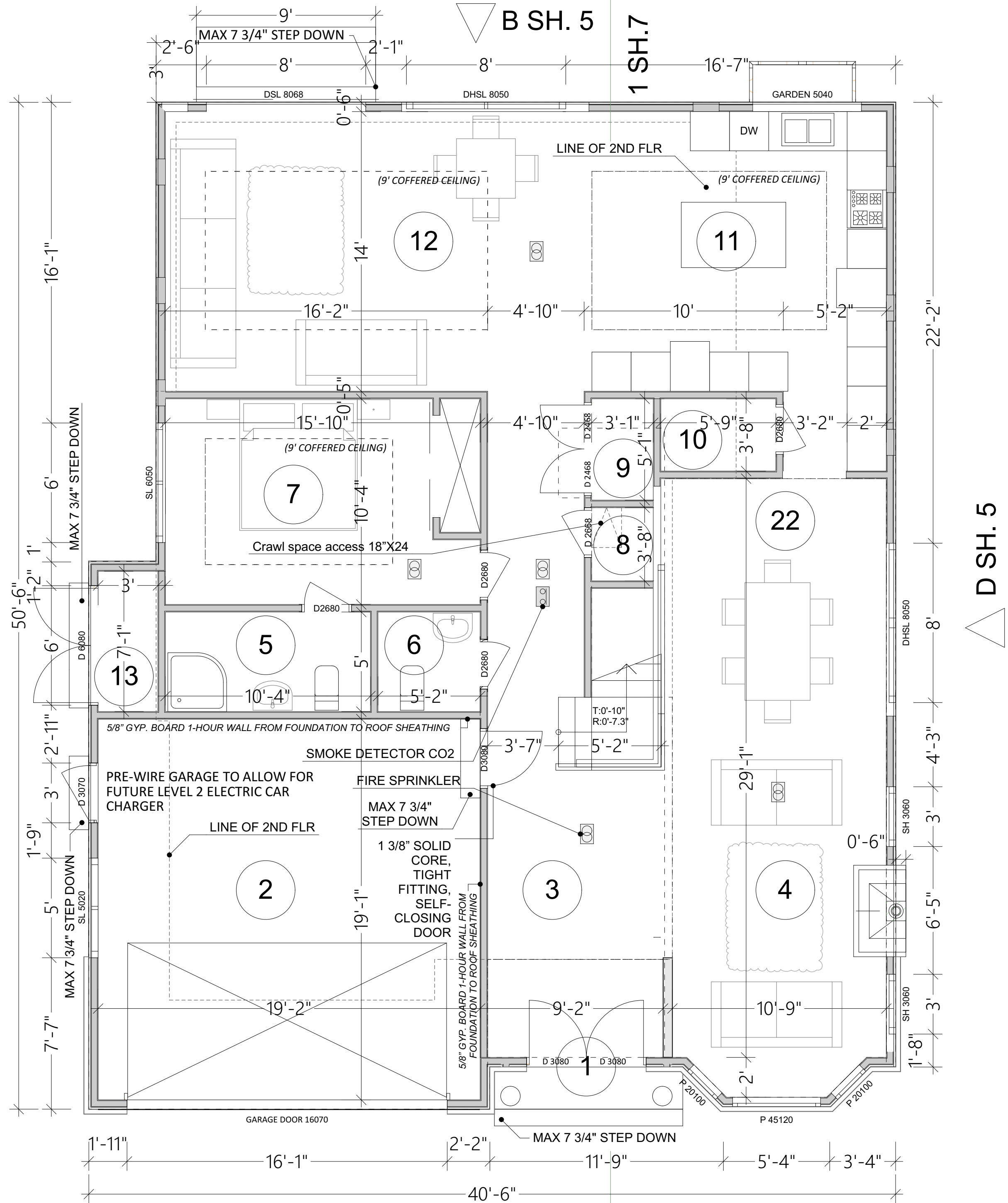
JOB NO.:
CAD FILE:

DSGND BY: B.A.
DRAWN BY: B.A.

CHK'D BY: B.A.
APP'D BY: B.A.

DATE: 10/06/2015
SCALE: AS NOTED

SHEET NO:
3



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'

- GENERAL NOTES:**
- ALL WINDOWS MUST HAVE DUAL GLASS PANE.
 - DRYER VENT DUCT SHALL BE 4" (102 MM) WITH A MAXIMUM RUN OF 14' (4267 MM), INCLUDING TWO 90-DEGREE ELBOWS [2013 CMC 504.3.1.2] AND SHALL HAVE A BACK DRAFT DAMPER. [2013 CMC 504.1] DRYER VENTS MUST TERMINATE AT THE EXTERIOR. CLOTHES DRYER EXHAUST DUCTS, SHALL TERMINATE 3' FROM PROPERTY LINES AND 3' FROM ANY OPENINGS INTO THE BUILDING. [2013 CMC 504.5]
 - THE WINDOWS AT BEDROOMS SHALL BE EGRESS WINDOWS. THE MINIMUM NET CLEAR OPENABLE AREA OF THE WINDOW SHALL TOTAL 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24 INCHES AND MINIMUM NET CLEAR OPENABLE WIDTH OF 20 INCHES. [2013 CRC SECTION R310]
 - A HOSE BIBB WITH ANTI-BACK-FLOW DEVICE IS REQUIRED AT FRONT AND REAR OF THE HOUSE.
 - PER TITLE 24 CALCULATIONS, R-38 INSULATION IS REQUIRED IN ATTIC. [2013 CRC SECTION 307.2]
 - ALL UNDER-FLOOR CLEANOUTS SHALL BE EXTENDED TO THE EXTERIOR OF THE BUILDING IF LOCATED MORE THAN 20' FROM THE UNDER-FLOOR ACCESS. [2013 CPC 707.09]
 - A NON-REMOVABLE BACKFLOW PREVENTER OR BIBB-TYPE VACUUM BREAKER WILL BE INSTALLED ON ALL EXTERIOR HOSE BIBBS. [2013 CPC 603.5.7]
 - THE KITCHEN VENT-A-HOOD SHALL VENT TO THE OUTSIDE OF THE BUILDING, OR PROVIDE OTHER KITCHEN EXHAUST TO COMPLY WITH 2013 ENERGY STANDARD.
 - THE EXTERIOR LANDING FOR ALL IN-SWINGING OR SLIDING DOORS SHALL NOT BE MORE THAN 7-3/4" FROM TOP OF THRESHOLD. [2013 CRC SECTION R311.3.2]
 - UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. [2013 CMC 916.1(B)]
 - THE AIR CONDITIONING REFRIGERANT LINES MUST BE PROTECTED FROM UV DEGRADATION. [2013 CALIFORNIA ENERGY CODE 150M(9)]
 - ALL JOINTS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED MATERIAL MEETING THE UL181 STANDARD. (CALIFORNIA ENERGY CODE 150M(2D))

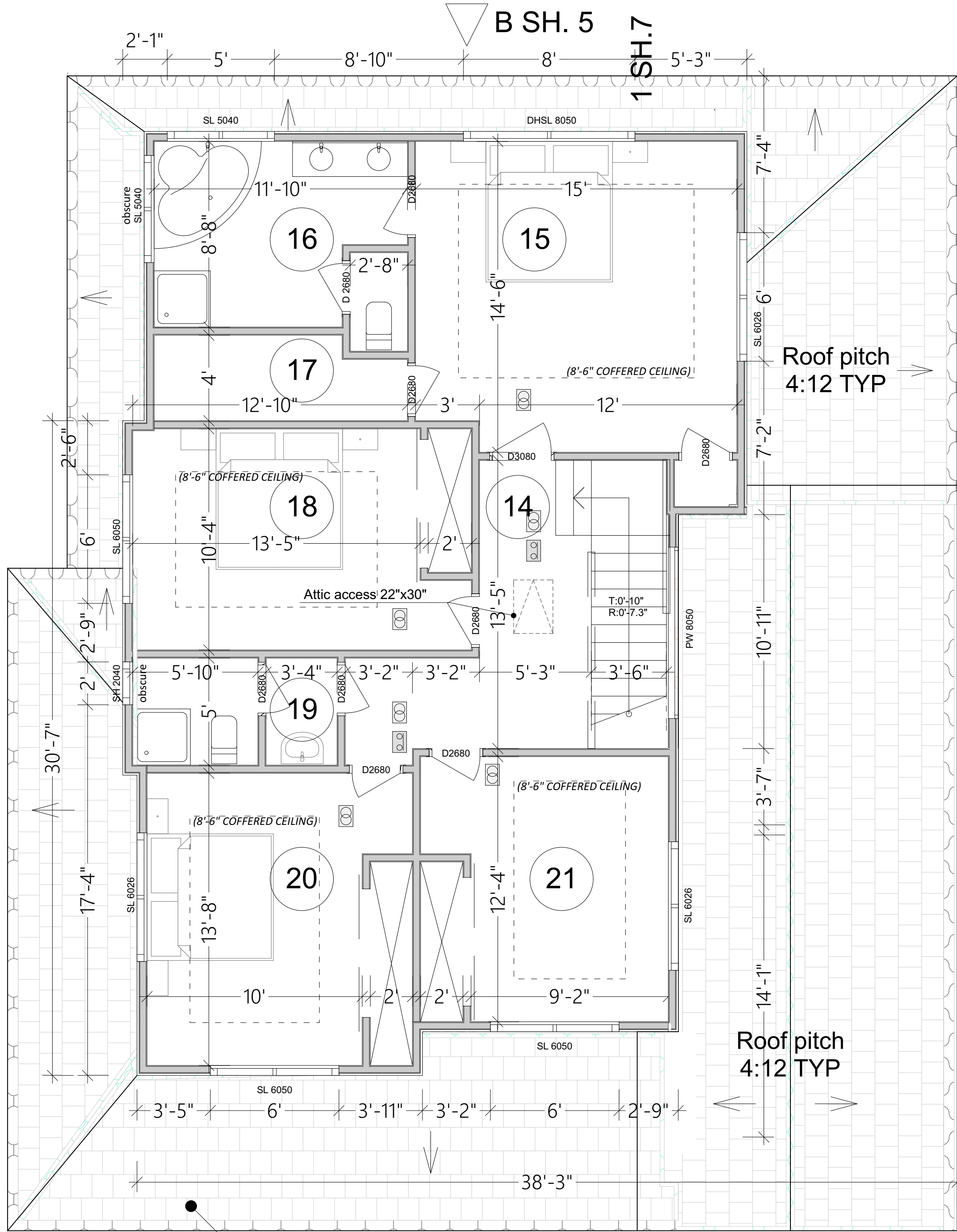
- BATHROOM NOTES:**
- SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
 - BATH TUB MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.
 - ULTRA LOW FLUSH TOILET (1.28 GALLONS/FLUSH) AT ALL NEW BATHROOMS (CPC 2013 SECTION 402.2.1)
 - FINISH BACKING MATERIAL AND WATERPROOFED MATERIAL AT SHOWER/BATHTUB WALL SHALL BE CEMENTITIOUS MATERIAL OR GYPSUM BOARD APPROVED FOR THIS INSTALLATION. WATER RESISTANT GYPSUM BOARD UNDER GLUE-ON TILE IS NOT ALLOWED.
 - SHOWER:
 - SHOWER DOORS MUST BE AT LEAST 22" WIDE [2013 CPC 408.5]
 - SHOWERS MUST HAVE WATERPROOF WALL FINISH UP AT LEAST 70" ABOVE THE FLOOR. [2013 CRC SECTION 307.2]
 - GLASS SHOWER AND TUB ENCLOSURE MUST BE SAFETY GLAZING. [2013 CRC SECTION 308.4.5]
 - THE BATHTUB WASTE OPENING IN THE FLOOR OVER THE CRAWL SPACE SHALL BE PROTECTED BY A METAL COLLAR OR SCREEN NOT EXCEEDING 1/2" OR A SOLID COVER. [2013 CPC 312.12.3]

- VENTILATION NOTES:**
- A MINIMUM OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING WITH ADEQUATE CROSS VENTING FOR VAULTED CEILING.
 - THE ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30". A THIRTY-ONE INCH MINIMUM CLEAR HEAD ROOM SHALL BE PROVIDED ABOVE THE ATTIC ACCESS. ATTIC ACCESS SHALL BE LOCATED AT A READILY ACCESSIBLE LOCATION.
 - MECHANICAL VENTILATION IS NOT LESS THAN 6 AIR CHANGES PER HOUR TYPE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS. (CRC 2013 SECTION R806).
 - IF AIR DUCTS WILL BE INSTALLED IN AN UNDER-FLOOR CRAWL SPACE, THEY SHALL NOT PREVENT ACCESS TO THE CRAWL SPACE AND SHALL MAINTAIN A MINIMUM 4" VERTICAL CLEARANCE FROM EARTH. (2013 CMC 604.1 AND 604.2)

- WATER HEATER NOTES:**
- THE WATER HEATER WILL HAVE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER UNIT AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP MUST BE LOCATED AT LEAST 4" AWAY FROM THE WATER HEATER CONTROLS. (2013 CPC 507.2)
 - THE WATER HEATERS PRESSURE/TEMPERATURE (PTT) RELIEF VALVE SHALL BE GALVANIZED STEEL, HARD-DRAWN COPPER, OR CPVC. THE VALVE SHALL BE DRAINED TO THE EXTERIOR OF THE BUILDING, TERMINATE TOWARD THE GROUND MAINTAINING BETWEEN 6" AND 24" OF CLEARANCE FROM THE GROUND, AND POINT DOWNWARD. THE DIAMETER OF THE VALVE OPENING (GENERALLY 3/4") MUST BE MAINTAINED TO THE TERMINATION OF THE DRAIN. [2013 CPC 507.5 AND 608.5]
 - THE ENTIRE LENGTH OF HOT WATER PIPES SHALL BE INSULATED. [2013 CALIFORNIA ENERGY CODE SECTION 150 (J)]
 - THE HOT WATER PIPE FROM THE WATER HEATER TO THE KITCHEN WILL BE INSULATED. [2013 CALIFORNIA ENERGY CODE SECTION 150 (J)]
 - ALL PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 6" ABOVE ROOF NOR LESS THAN 1' FROM ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN 12" FROM OR 3' ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT NOR 3' FROM LOT LINE. (2013 CPC 906)
 - IF THE WATER PRESSURE EXCEEDS 80 PSI, AND EXPANSION TANK AND AN APPROVED PRESSURE REGULATOR SHALL BE INSTALLED. (2013 CPC 608.2)

LEGEND

- : FIRE SPRINKLER
- : SMOKE DETECTOR CO2



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4"=1'

Nº	Name	Nº	Name	Nº	Name
1	Covered porch	8	Closet	15	Master Bedroom
2	2-car garage	9	Laundry	16	Bathroom
3	Foyer	10	Pantry	17	Walk In Closet
4	Living room	11	Kitchen	18	Bedroom
5	Bathroom	12	Family room	19	Bathroom
6	WC	13	Utility room	20	Bedroom
7	Guest room	14	Hallway	21	Bedroom
				22	Formal Dining Room

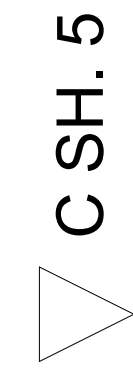
MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

PROPOSED ROOF PLANS

PROJECT:	REV	DATE	DESCRIPTION
	△		
	△		
	△		
	△		
	△		
	△		
JOB NO.:			
CAD FILE:			
DSGND BY: B.A.		DRAWN BY: B.A.	
CHKD BY: B.A.		APP'D BY: B.A.	
DATE: 10/06/2015		SCALE: AS NOTED	
SHEET NO:			

4





825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

GO TO THE HOME

[illegible]

REV	DATE	DESCRIPTION
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JOB NO.:		
CAD FILE:		
DESIGN'D BY: B.A.	DRAWN BY: B.A.	
CHECK'D BY:	APP'D BY: B.A.	
DATE: 0/06/2015	SCALE: AS NOTED	

SHEET NO: 5

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

BUILDING HEIGHT: STREETSCAPE
ELEVATION

PROJECT:

REV	DATE	DESCRIPTION
△		
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JOB NO.:
CAD FILE:

DSGN'D BY: B.A. DRAWN BY: B.A.

CHK'D BY: B.A. APP'D BY: B.A.

DATE: 10/06/2015 SCALE: AS NOTED

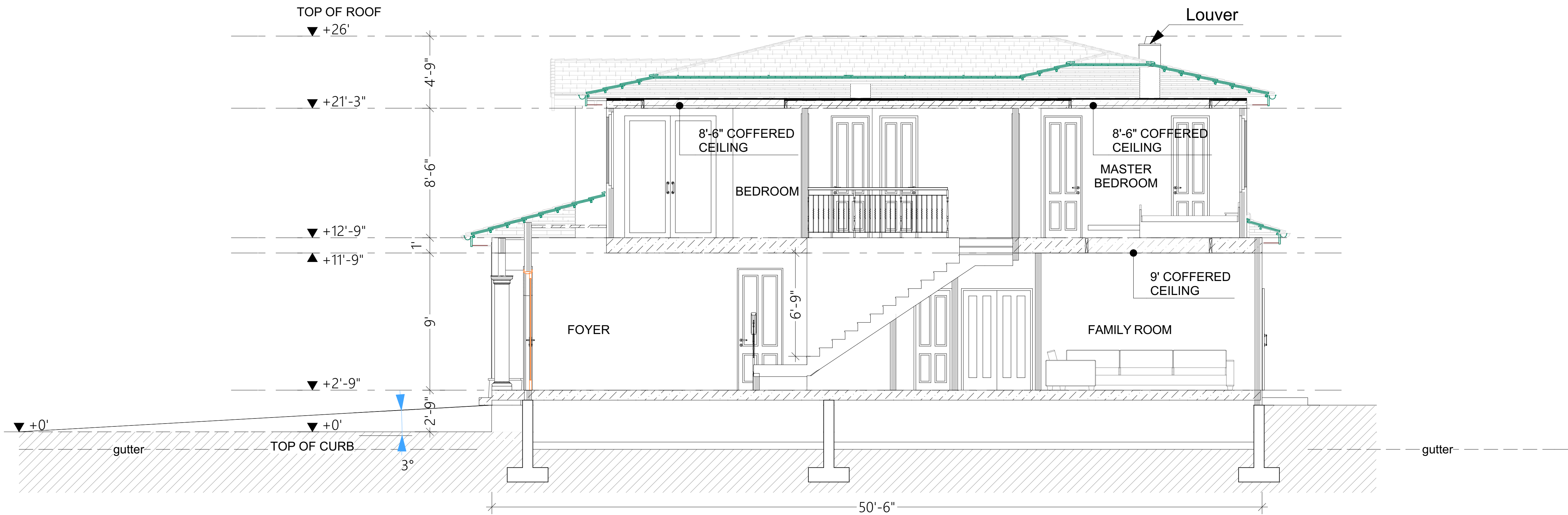
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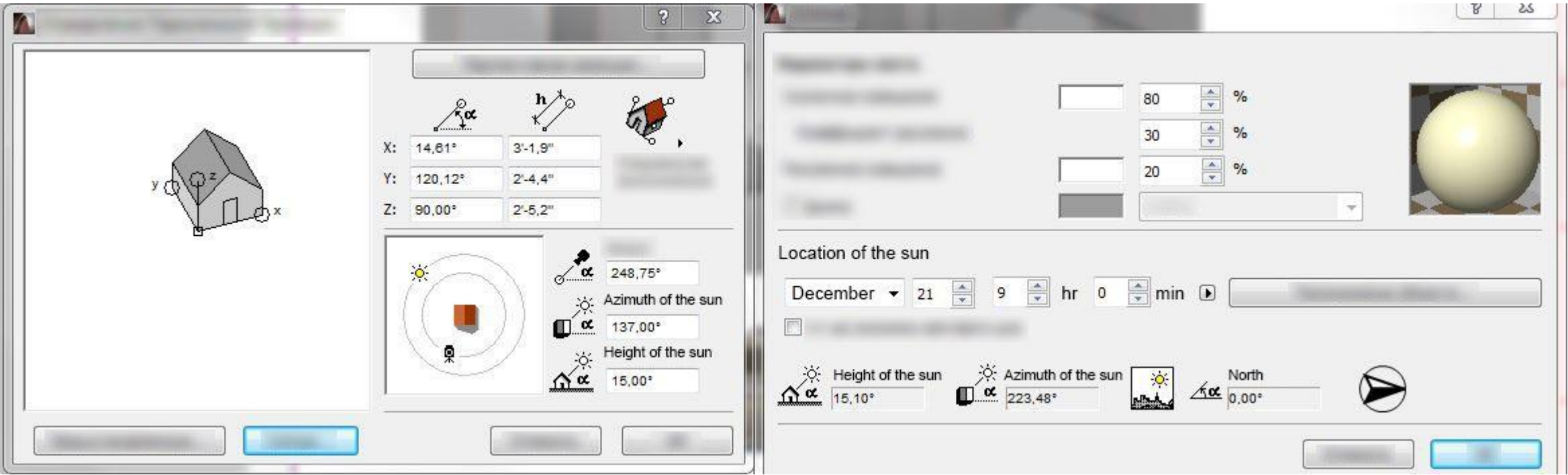
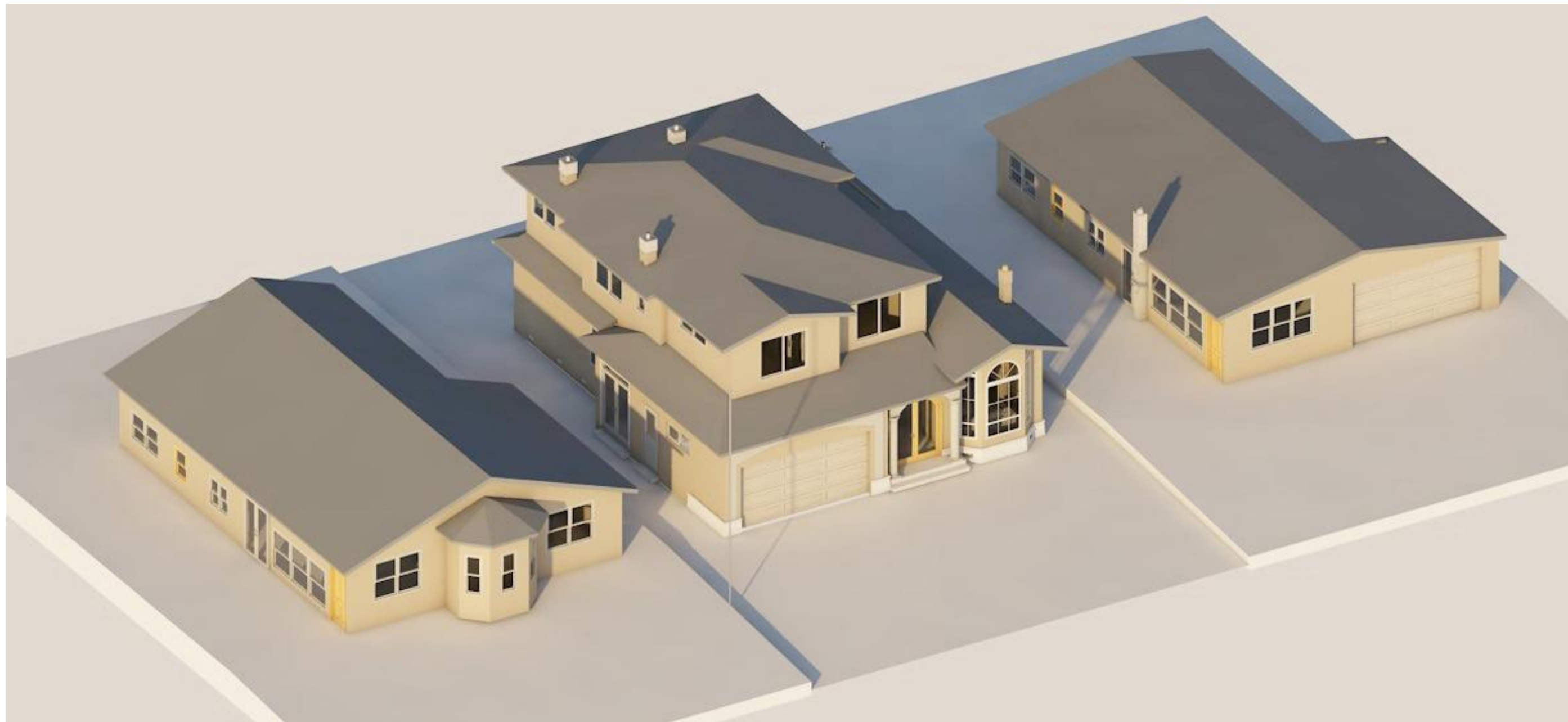
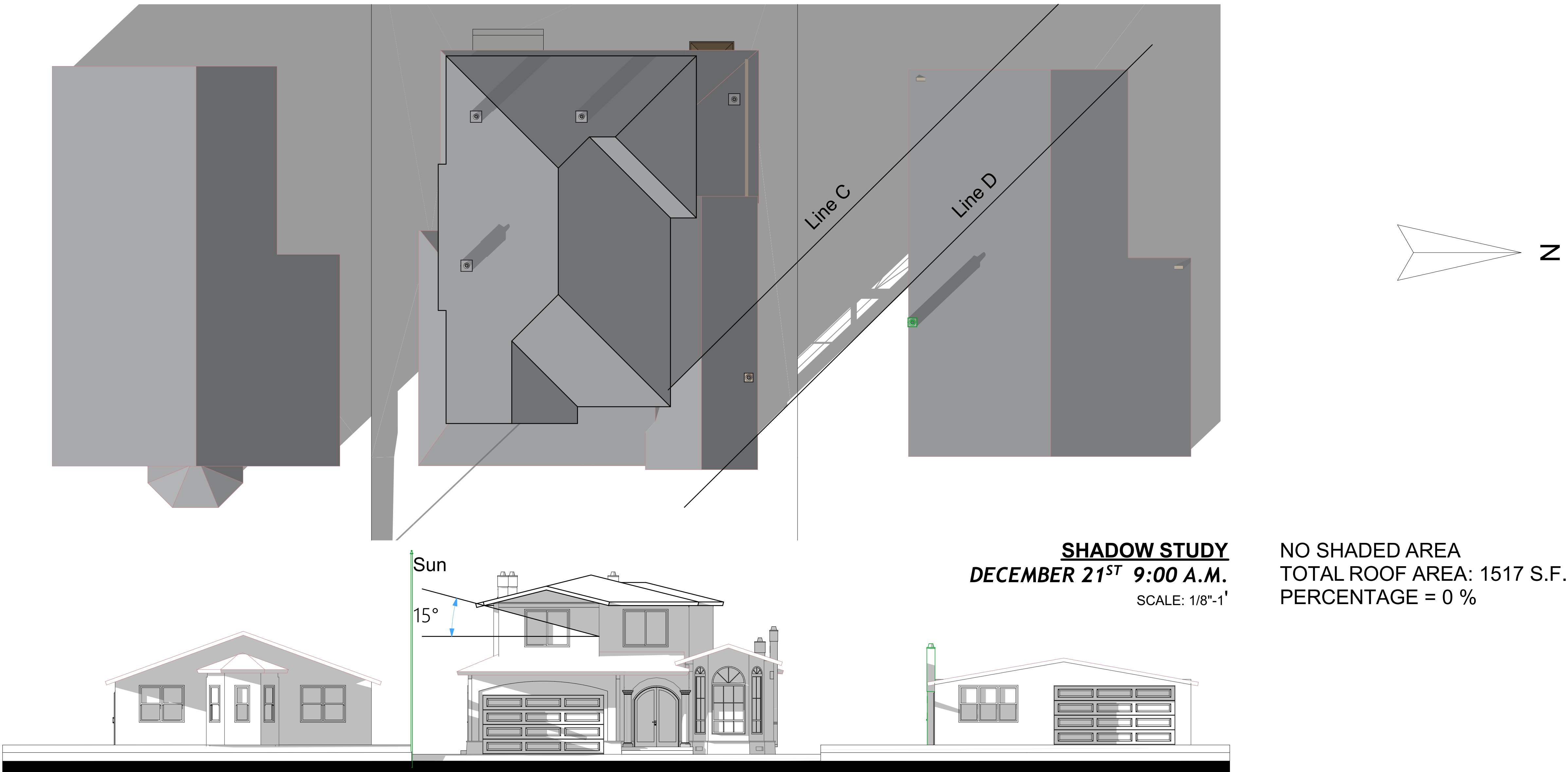
STREETSCAPE ELEVATION

SCALE: 1/64"-1'

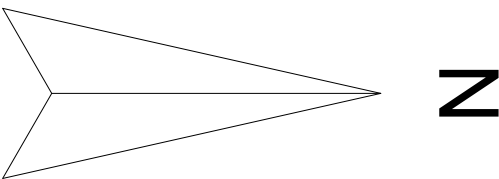
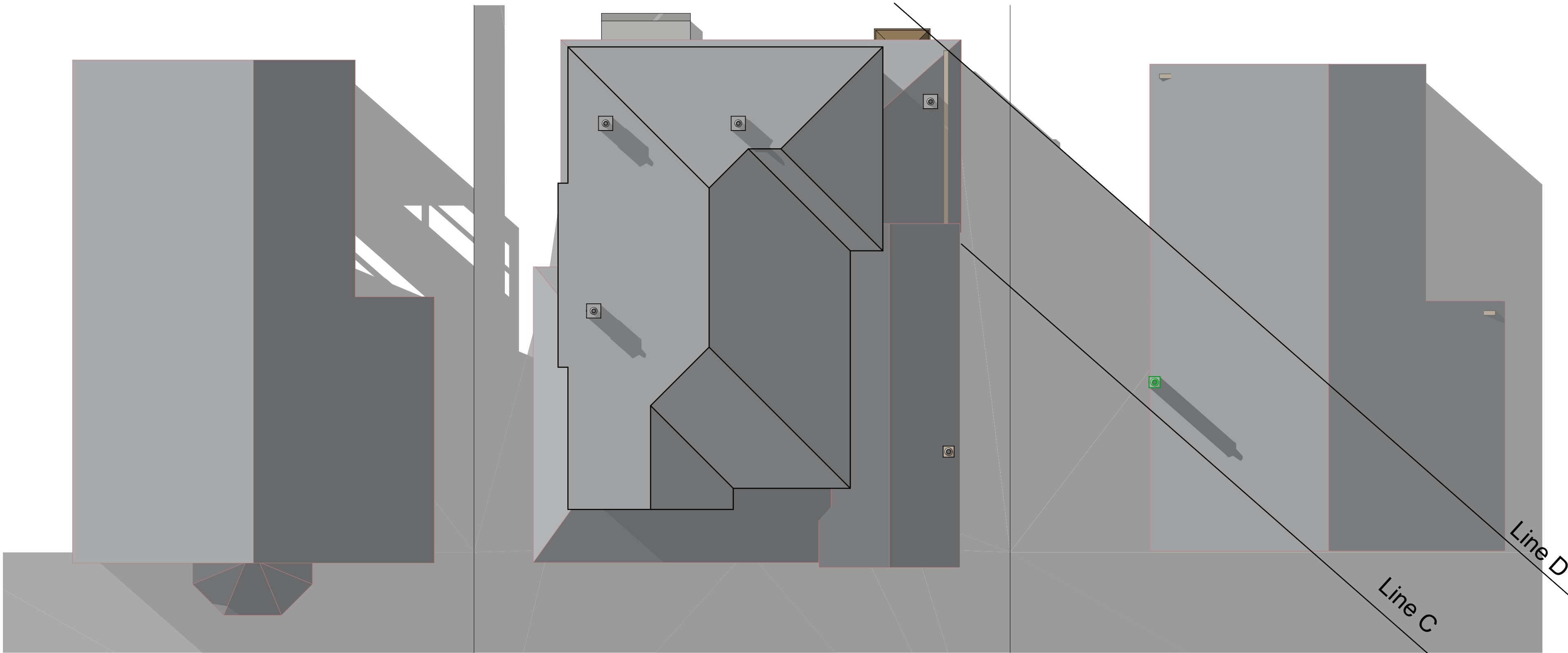


SECTION 1

SCALE: 1/4"-1'

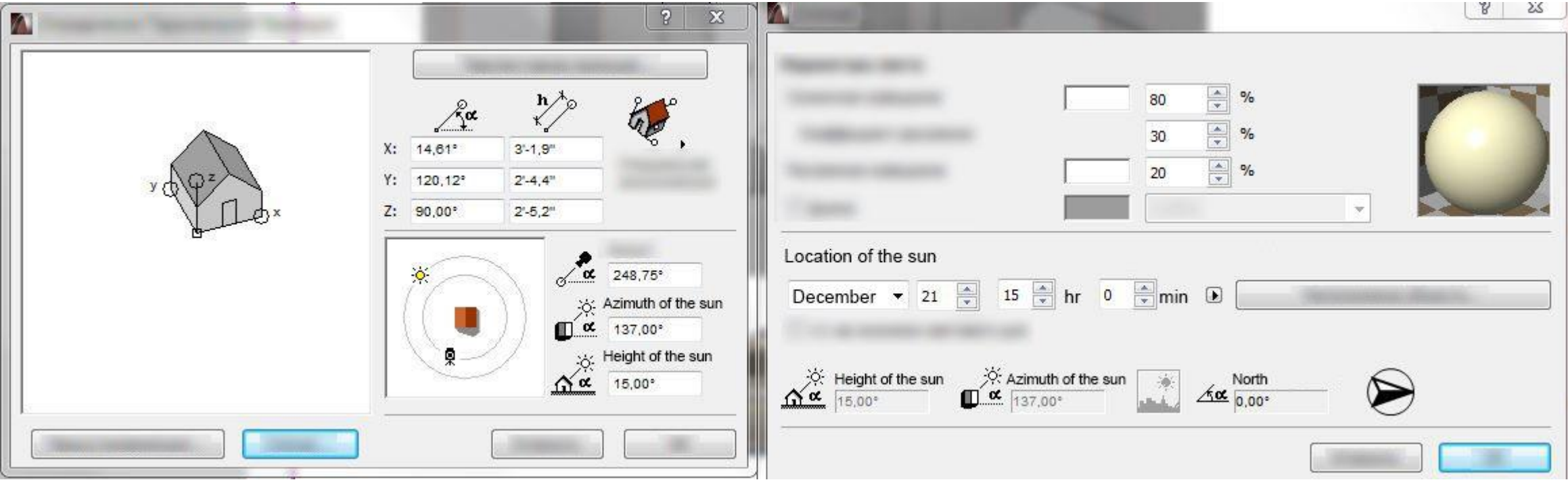
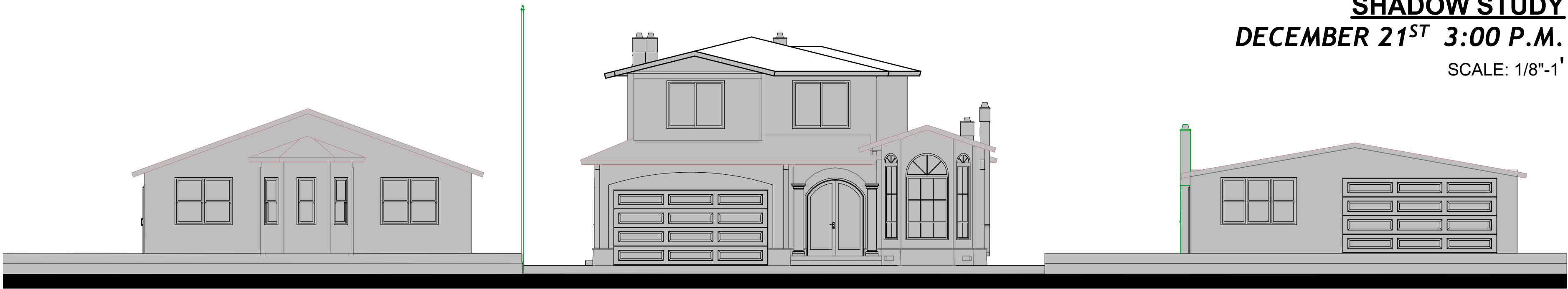


DRAWN BY: BAKLAN ANTON				
			MR. ARSEN AVAGYAN RESIDENCE 825 TAMARACK LANE, SUNNYVALE, CALIFORNIA	
CUSTOM HOME			SHADOW STUDY AT 9:00 AM	
PROJECT:				
REV	DATE	DESCRIPTION		
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JOB NO.:				
CAD FILE:				
DSGND BY: B.A.		DRAWN BY: B.A.		
CHKD BY: B.A.		APPD BY: B.A.		
DATE: 10/06/2015		SCALE: AS NOTED		
SHEET NO:				
7				



SHADOW STUDY
DECEMBER 21ST 3:00 P.M.
SCALE: 1/8"-1'

NO SHADED AREA
TOTAL ROOF AREA: 1517 S.F.
PERCENTAGE = 0 %



DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

SHADOW STUDY AT 3:00 PM

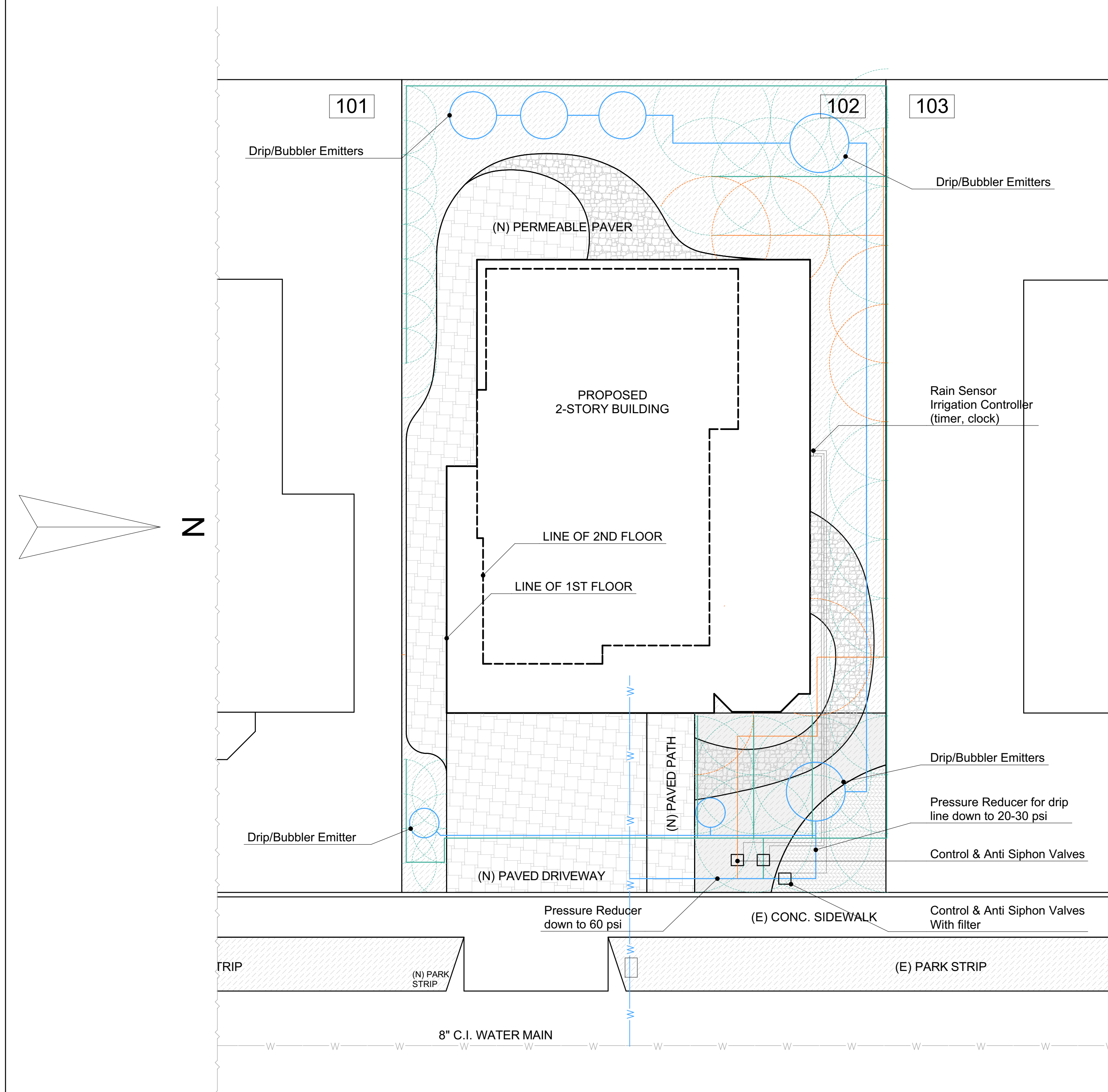
PROJECT:

DRAWING TITLE:



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DSGN'D BY: B.A.	DRAWN BY: B.A.
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DATE: 10/06/2015	SCALE: AS NOTED

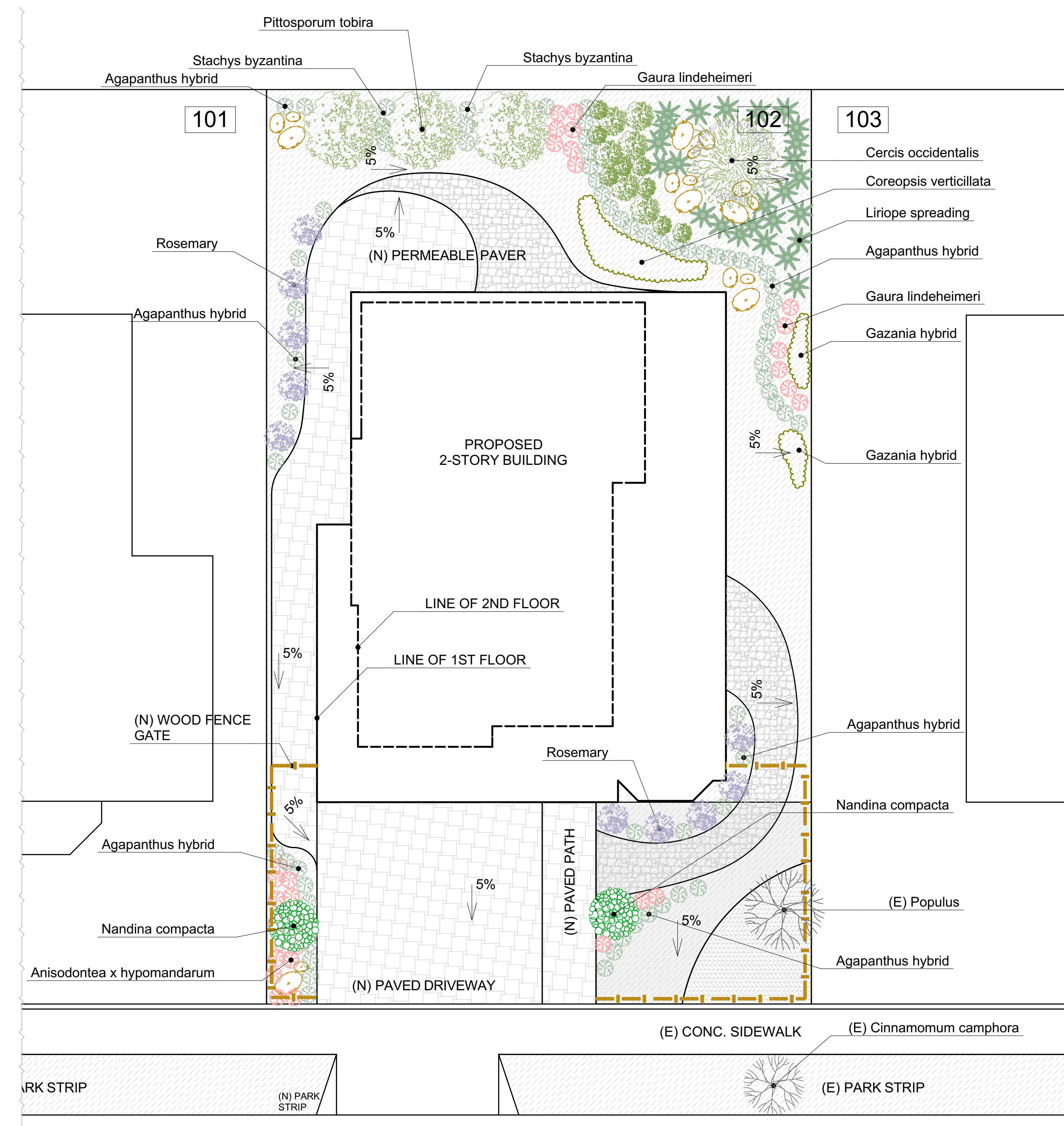
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8



LEGEND

- : Drip/Bubbler Emitters Line
- : Groundcover Spray Heads Line
- : Sprinkler Heads Line
-  : Trees, Shrubs etc.
-  : Decorative Rock

All required landscaped areas shall be provided with a permanent irrigation system for all uses, except for single-family detached and duplex dwellings. Irrigation systems shall be designed and maintained to prevent water waste (e.g. runoff or overspray). Irrigation controllers shall be capable of multiple programming and incorporate sensors to override the call for water during rain or if the soil is still moist. Irrigation controllers and backflow devices shall be screened from public view. Irrigation shall only occur between 8 p.m. and 10 a.m.



LANDSCAPING AND IRRIGATION SYSTEM

SCALE: 1/8"-1'

Warm-season grass, permeable surface patio, water efficient plants with nearly year-round color, mulch in shrub areas, deciduous trees for summer shade and winter sun, a California native, shrubs attractive to hummingbirds and butterflies. A smaller lawn would make this landscape even more water efficient.

Water Efficiency Design

Landscaping design and plant selection is based on:

Option 1: Turf/lawn is limited to 25% of the landscaped area. Of the non-turf area, at least 80% is planted with native, low water or no water use plants.

Plant Material

Variety - Landscaping includes trees, shrubs, vines, flower, ground covers

Hydrozones

Plants with similar water needs are grouped together

DRAWN BY: BAKLAN ANTON

MR. ARSEN AVAGYAN RESIDENCE
825 TAMARACK LANE,
SUNNYVALE, CALIFORNIA

CUSTOM HOME

LANDSCAPING AND IRRIGATION SYSTEM

PROJECT:	REV	DATE	DRAWING TITLE LAW
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JOB NO.:			
CAD FILE:			
DSG'ND BY: B.A.		DRAWN BY: B.A.	
CHK'D BY: B.A.		APP'D BY: B.A.	
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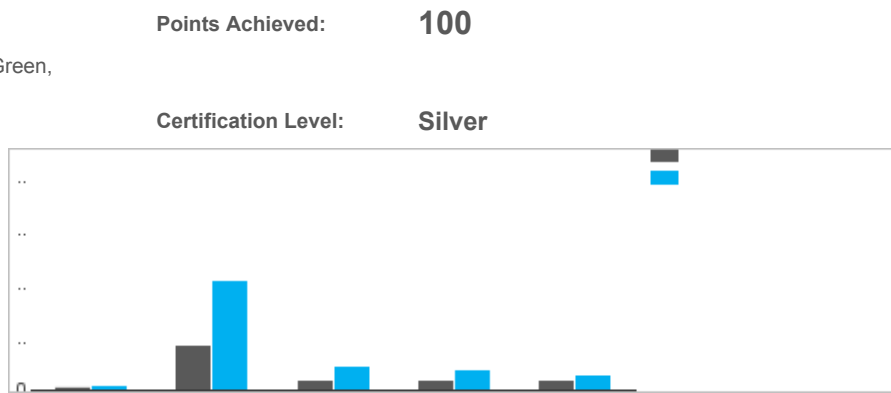
9



The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory H6.1, H6.1.1, G1, O1, O7

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.



A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

PROJECT NAME		Points Achieved	Commu	Energy	IAQ/Hea	Resource	Water	NOTES
MEASURES		Possible Points						
CALGreen	Yes	CALGreen Res (REQUIRED)	4	1	1	1	1	
A. SITE								
TBD		A1. Construction Footprint				1		
TBD		A2. Job Site Construction Waste Diversion						
TBD		A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)				2		
TBD		A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)				2		
TBD		A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility				1		
TBD		A3. Recycled Content Base Material				1		
TBD		A4. Heat Island Effect Reduction (Non-Roof)		1				
TBD		A5. Construction Environmental Quality Management Plan Including Flush-Out			1			
TBD		A6. Stormwater Control: Prescriptive Path						
TBD		A6.1 Permeable Paving Material					1	
TBD		A6.2 Filtration and/or Bio-Retention Features					1	
TBD		A6.3 Non-Leaching Roofing Materials					1	
TBD		A6.4 Smart Stormwater Street Design	1					
TBD		A7. Stormwater Control: Performance Path					3	
B. FOUNDATION								
TBD		B1. Fly Ash and/or Slag in Concrete				2	1	
TBD		B2. Radon-Resistant Construction					2	
TBD		B4. Foundation Drainage System				1		
TBD		B4. Moisture Controlled Crawlspace						
TBD		B5. Structural Pest Controls					1	
TBD		B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections						
TBD		B5.2 Plant Trunks, Bases, or Stems at Least 36 inches from the Foundation					1	
C. LANDSCAPE								
Yes		Enter the landscape area percentage	1				1	
TBD		C1. Plants Grouped by Water Needs (Hydrozoning)					1	
TBD		C2. Three Inches of Mulch in Planting Beds					1	
Yes		C3. Resource Efficient Landscapes						
Yes		C3.1 No Invasive Species Listed by Cal-IPC	1			1		
Yes		C3.2 Plants Chosen and Located to Grow to Natural Size	1			1		
Yes		C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3				3	
Yes		C4. Minimal Turf in Landscape						
TBD		C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	0				2	
TBD		C4.2 Turf on a Small Percentage of Landscaped Area		1	1		1	
Yes		C5. Trees to Moderate Building Temperature					2	
Yes		C6. High-Efficiency Irrigation System	0				2	
TBD		C7. One Inch of Compost in the Top Six to Twelve Inches of Soil					3	
TBD		C8. Rainwater Harvesting System					1	
TBD		C9. Recycled Wastewater Irrigation System					2	
TBD		C10. Submeter or Dedicated Meter for Landscape Irrigation					2	
TBD		C11. Landscape Meets Water Budget					2	
TBD		C12. Environmentally Preferable Materials for Site						
TBD		C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing		1			1	
Yes		C13. Reduced Light Pollution	1	1				
TBD		C14. Large Stature Trees						
Yes		C15. Third Party Landscape Program Certification					1	
TBD		C16. Maintenance Contract with Certified Professional					1	
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
TBD		D1. Optimal Value Engineering			1	2		
TBD		D1.1 Joists, Rafters, and Studs at 24 Inches on Center				1		
TBD		D1.2 Non-Load Bearing Door and Window Headers Sized for Load				2		
TBD		D1.3 Advanced Framing Measures				1		
TBD		D2. Construction Material Efficiencies						
TBD		D3. Engineered Lumber				1		
TBD		D3.1 Engineered Beams and Headers				1		
TBD		D3.2 Wood I-Joists or Web Trusses for Floors				1		
TBD		D3.3 Engineered Lumber for Roof Rafters				1		
TBD		D3.4 Engineered or Finger-Jointed Studs for Vertical Applications				1		
TBD		D3.5 OSB for Subfloor				0.5		
TBD		D3.6 OSB for Wall and Roof Sheathing				0.5		
TBD		D4. Insulated Headers			1			
TBD		D5. FSC-Certified Wood						
TBD		D5.1 Dimensional Lumber, Studs, and Timber				6		
TBD		D5.2 Panel Products				3		
TBD		D6. Solid Wall Systems					1	
TBD		D6.1 At Least 90% of Floors					1	
TBD		D6.2 At Least 90% of Exterior Walls				1		
TBD		D6.3 At Least 90% of Roofs				1		
TBD		D7. Energy Heels on Roof Trusses				1		
TBD		D8. Overhangs and Gutters				1	1	
TBD		D9. Reduced Pollution Entering the Home from the Garage				2		
Yes		D9.1 Detached Garage	1			1		
TBD		D9.2 Mitigation Strategies for Attached Garage						
TBD		D10. Structural Pest and Rot Controls					1	
TBD		D10.1 All Wood Located At Least 12 inches Above the Soil					1	
TBD		D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1	
Yes		D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2			1	1	
E. EXTERIOR								
TBD		E1. Environmentally Preferable Decking				1		
TBD		E2. Flashing Installation Third-Party Verified				2		
TBD		E3. Rain Screen Wall System				2		
TBD		E4. Durable and Non-Combustible Cladding Materials				1		
TBD		E5. Durable Roofing Materials					1	
TBD		E5.1 Durable and Fire Resistant Roofing Materials or Assembly					1	
TBD		E6. Vegetated Roof		2	2			
F. INSULATION								
TBD		F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content					1	
TBD		F1.1 Walls and Floors					1	
TBD		F1.2 Ceilings					1	
TBD		F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions						
TBD		F2.1 Walls and Floors				1		
TBD		F2.2 Ceilings				1		
TBD		F3. Insulation That Does Not Contain Fire Retardants						
TBD		F3.1 Cavity Walls and Floors				1		
TBD		F3.2 Ceilings				1		
TBD		F3.3 Interior and Exterior				1		
G. PLUMBING								
Yes		G1. Efficient Distribution of Domestic Hot Water	1		1			
TBD		G1.1 Insulated Hot Water Pipes					1	
TBD		G1.2 WaterSense Volume Limit for Hot Water Distribution					2	
TBD		G1.3 Increased Efficiency in Hot Water Distribution						
Yes		G2. Install Water-Efficient Fixtures	2				2	
Yes		G2.1 WaterSense Showerheads with Matching Compensation Valve						
Yes		G2.2 WaterSense Bathroom Faucets	1				1	
Yes		G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams	1				1	

TBD	G3. Pre-Plumbing for Graywater System						1	
TBD	G4. Operational Graywater System						3	
H. HEATING, VENTILATION, AND AIR CONDITIONING								
	H1. Sealed Combustion Units							
TBD	H1.1 Sealed Combustion Furnace						1	
TBD	H1.2 Sealed Combustion Water Heater						2	
TBD	H2. High Performing Zoned Hydronic Radiant Heating System					1	1	
	H3. Effective Ductwork							
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1				
Yes	H3.2 Pressure Balance the Ductwork System	1						
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	1		1	1			
	H5. Advanced Practices for Cooling							
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms					1		
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R	
TBD	H6.2 Advanced Ventilation Standards						1	
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas						2	
	H7. Effective Range Hood Design and Installation							
Yes	H7.1 Effective Range Hood Ducting and Design	1				1		
TBD	H7.2 Automatic Range Hood Control						1	
TBD	H8. No Fireplace or Sealed Gas Fireplace						1	
TBD	H9. Humidity Control Systems						1	
TBD	H10. Register Design Per ACCA Manual T					1		
Yes	H11. High Efficiency HVAC Filter (MERV 8+)	1				1		
I. RENEWABLE ENERGY								
TBD	I1. Pre-Plumbing for Solar Water Heating					1		
TBD	I2. Preparation for Future Photovoltaic Installation					1		
	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)					25		
	I4. Net Zero Energy Home							
TBD	I4.1 Near Zero Energy Home					2		
TBD	I4.2 Net Zero Electric					4		
J. BUILDING PERFORMANCE AND TESTING								
TBD	J1. Third-Party Verification of Quality of Insulation Installation						1	
Yes	J2. Supply and Return Air Flow Testing	2			1	1		
TBD	J3. Mechanical Ventilation Testing and Low Leakage							
TBD	J4. Combustion Appliance Safety Testing					1		
2013	J5. Building Performance Exceeds Title 24 Part 6							
26.00% [1]	J5.1 Home Outperforms Title 24 Part 6	57				60		
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst							
TBD	J7. Participation in Utility Program with Third-Party Plan Review					1		
TBD	J8. ENERGY STAR for Homes					1		
No	J9. EPA Indoor airPlus Certification	0				1	1	
TBD	J10. Blower Door Testing						2	
K. FINISHES								
	K1. Entryways Designed to Reduce Tracked-In Contaminants							
Yes	K1.1 Individual Entryways	1				1		
Yes	K2. Zero-VOC Interior Wall and Ceiling Paints	2				2		
Yes	K3. Low-VOC Caulks and Adhesives	1				1		
	K4. Environmentally Preferable Materials for Interior Finish							
TBD	K4.1 Cabinets						2	
TBD	K4.2 Interior Trim						2	
TBD	K4.3 Shelving						2	
TBD	K4.4 Doors						2	
TBD	K4.5 Countertops						1	
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB							
TBD	K5.1 Doors					1		
TBD	K5.2 Cabinets and Countertops					2		
TBD	K5.3 Interior Trim and Shelving					2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard					2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion					2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes	0				1		
L. FLOORING								
≥75%	L1. Environmentally Preferable Flooring	3					3	
≥75%	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential					3		
TBD	L3. Durable Flooring						1	
TBD	L4. Thermal Mass Flooring					1		
M. APPLIANCES AND LIGHTING								
TBD	M1. ENERGY STAR® Dishwasher						1	
TBD	M2. CEE-Rated Clothes Washer				1		2	
TBD	M3. Size-Efficient ENERGY STAR Refrigerator				2			
	M4. Permanent Centers for Waste Reduction Strategies							
TBD	M4.1 Built-In Recycling Center						1	
TBD	M4.2 Built-In Composting Center						1	
	M5. Lighting Efficiency							
Yes	M5.1 High-Efficacy Lighting					2		
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant					2		
N. COMMUNITY								
	N1. Smart Development							
TBD	N1.1 Infill Site			1			1	
TBD	N1.2 Designated Brownfield Site			1		1	2	
TBD	N1.3 Conserve Resources by Increasing Density				2			
TBD	N1.4 Cluster Homes for Land Preservation			1			2	
2717	N1.5 Home Size Efficiency	5					1	
5	Enter the area of the home, in square feet							
TBD	Enter the number of bedrooms							
TBD	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop		2					
	N3. Pedestrian and Bicycle Access							
TBD	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2					
TBD	Enter the number of Tier 1 services							
TBD	Enter the number of Tier 2 services							
TBD	N3.2 Connection to Pedestrian Pathways		1					
TBD	N3.3 Traffic Calming Strategies		2					
	N4. Outdoor Gathering Places							
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents			1				
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1					
	N5. Social Interaction							
TBD	N5.1 Residence Entries with Views to Callers		1					
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors			1				
TBD	N5.3 Porches Oriented to Street and Public Space			1				
TBD	N5.4 Social Gathering Space		1					
	N6. Passive Solar Design							
TBD	N6.1 Heating Load			2				
TBD	N6.2 Cooling Load			2				
	N7. Adaptable Building							
TBD	N7.1 Universal Design Principles in Units		1			1		
TBD	N7.2 Full-Function Independent Rental Unit							
O. OTHER								
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R	R
TBD	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors			0.5	1		1	0.5
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5	
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5	0.5	
TBD	O5. Home System Monitors			1				1
	O6. Green Building Education							
Yes	O6.1 Marketing Green Building	2	2					
TBD	O6.2 Green Building Signage				0.5			0.5
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R	R
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1		



City of Sunnyvale

Agenda Item

15-0977

Agenda Date: 11/9/2015

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2014-7990

Location: 1500 Partridge Avenue (APN: 313-24-031)

Zoning: PF (Public Facility)

Proposed Project:

PUBLIC COMMENTS ON THE DRAFT ENVIRONMENTAL IMPACT REPORT (DEIR) to allow the Stratford School to operate a private school at the former Raynor Activity Center.

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