



City of Sunnyvale

Notice and Agenda - Final Planning Commission

Monday, May 8, 2017

6:30 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

Special Meeting - Study Session - 6:30 PM | Special Meeting - Public Hearing 7 PM

6:30 P.M. STUDY SESSION

Call to Order in the West Conference Room

Roll Call

Study Session

A. [17-0513](#)

File #: 2016-7830

Location: 1190 Borregas Avenue (APN:110-34-007)

Applicant / Owner: Arc Tec, Inc. (applicant) / Moffett Park Drive
Owner, LLC (owner)

Proposed Project:

Major Moffett Park Special Development Permit: to allow a new 65,240 sq. ft. 3-story office building with a new parking lot and site landscaping, resulting in 61% FAR. The project also request to utilize square footage from the development reserve and green building incentives.

Project Planner: Cindy Hom, Assistant Planner, (408) 730-7411,
chom@sunnyvale.ca.gov

Public Comment on Study Session Agenda Items

Adjourn Study Session

7 P.M. PLANNING COMMISSION MEETING

CALL TO ORDER

SALUTE TO THE FLAG

ROLL CALL

ORAL COMMUNICATIONS

CONSENT CALENDAR

1. A [17-0518](#) Approve Planning Commission Meeting Minutes of April 24, 2017

Recommendation: Approve Planning Commission Meeting Minutes of April 24, 2017 as submitted.

1. B [17-0391](#)

File #: 2017-7155

Location: 1377 Bluebird Court (APN: 309-19-004)

Zoning: R0 (Low Density Residential) Zoning District

Proposed Project:

DESIGN REVIEW: To allow the addition of an 887-square foot hobby room to the first floor of an existing two-story, single-family residence resulting in a total floor area of 3,717 sq. ft. (including a 461-square foot garage) and 33% Floor Area Ratio (FAR).

Applicant / Owner: Flury Bryant Design Group (applicant) / Jerome and Marilee Lazar (owners)

Environmental Review: Categorically Exempt Class 1

Project Planner: Momoko Ishijima, (408) 730-7532, mishijima@sunnyvale.ca.gov

Recommendation: Recommend Alternative 1 in accordance with the Findings in Attachment 3 and Conditions of Approval in Attachment 4.

PUBLIC HEARINGS/GENERAL BUSINESS

2. [17-0520](#)

File #: 2017-7012

Location: 1467 Dartshire Court (APN: 309-117-075)

Applicant / Owner: Moe Jalili (applicant) / Mohan Akella (owner)

Proposed Project:

DESIGN REVIEW PERMIT: to allow a 333-square foot one and two-story addition to an existing two-story home resulting in a 50% FAR (2,715 square foot of living area and 418 square feet garage) on a 6,322-square foot lot.

Environmental Review: Categorically exempt from CEQA pursuant to Section Class 1, 15301(Existing Facilities) and Class 3, Section 15303 (New Construction of Small Structures) of the California Environmental Quality Act (CEQA).

Project Planner: Cindy Hom, (408) 730-7411, chom@sunnyvale.ca.gov

Recommendation: Alternative 1: Approve the Design Review subject to the recommended findings (Attachment 3) and Conditions of Approval (Attachment 4).

3. [17-0510](#)

File #: 2017-7198

Location: 1490 Hampton Drive (APN: 313-13-015)

Zoning: R-0

Proposed Project:

DESIGN REVIEW: Allow construction of a new two-story residence totaling 3,702 sq. ft. (2,583 sq. ft. living area, a 490 sq. ft. garage and a 629 sq. ft. covered patio) resulting in 52% FAR. The existing one-story residence will be demolished.

Applicant / Owner: Mission City Construction Inc. (applicant) / Christopher Kassel (owner)

Environmental Review: A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions. Class 3(a) Categorical Exemption include construction or conversion of new small structures that includes one single-family residence (CEQA Section 15303).

Project Planner: Teresa Zarrin, (408) 730-7429, tzarrin@sunnyvale.ca.gov

Recommendation: Recommend Alternative 1 in accordance with the Findings in Attachment 3 and Conditions of Approval in Attachment 4.

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

-Staff Comments

ADJOURNMENT



City of Sunnyvale

Agenda Item 5 "

17-0513

Agenda Date: 5/8/2017

REPORT TO THE PLANNING COMMISSION

File #: 2016-7830

Location: 1190 Borregas Avenue (APN:110-34-007)

Applicant / Owner: Arc Tec, Inc. (applicant) / Moffett Park Drive Owner, LLC (owner)

Proposed Project:

Major Moffett Park Special Development Permit: to allow a new 65,240 sq. ft. 3-story office building with a new parking lot and site landscaping, resulting in 61% FAR. The project also request to utilize square footage from the development reserve and green building incentives.

Project Planner: Cindy Hom, Assistant Planner, (408) 730-7411, chom@sunnyvale.ca.gov



City of Sunnyvale

Agenda Item %5

17-0518

Agenda Date: 5/8/2017

SUBJECT

Approve Planning Commission Meeting Minutes of April 24, 2017

RECOMMENDATION

Approve Planning Commission Meeting Minutes of April 24, 2017 as submitted.



City of Sunnyvale

Meeting Minutes - Draft Planning Commission

Monday, April 24, 2017

6:00 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

Special Meeting - Study Session - 6:00 PM | Special Meeting - Public Hearing 7 PM

6 P.M. STUDY SESSION

Call to Order in the West Conference Room

Roll Call

Study Session

- A. [17-0481](#) Planning Commissioner Training: Further Discussion of Public Interest
and Planning Commission's Discretion

Public Comment on Study Session Agenda Items

Adjourn Study Session

7 P.M. PLANNING COMMISSION MEETING

CALL TO ORDER

Chair Harrison called the meeting to order at 7:07 PM in the Council Chambers.

SALUTE TO THE FLAG

Chair Harrison led the salute to the flag.

ROLL CALL

ORAL COMMUNICATIONS

Lloyd Yoshida asked for details about the requested deviations for the proposed project at 1008 E. El Camino Real. Chair Harrison advised that this project will not be heard during tonight's public hearing and recommended contacting the City's project planner.

CONSENT CALENDAR

Chair Harrison requested to pull item 1.A, the Planning Commission Minutes of

April 10, 2017, from the Consent Calendar.

Commissioner Howe moved and Vice Chair Rheaume seconded the motion to approve the Consent Calendar, excluding item 1.A.

The motion carried by the following vote:

Yes: 7 - Chair Harrison
Vice Chair Rheaume
Commissioner Howard
Commissioner Howe
Commissioner Olevson
Commissioner Simons
Commissioner Weiss

No: 0

1. A [17-0459](#) Approve Planning Commission Meeting Minutes of April 10, 2017

Commissioner Howe moved and Commissioner Howard seconded the motion to approve item 1.A.

The motion carried by the following vote:

Yes: 5 - Vice Chair Rheaume
Commissioner Howard
Commissioner Howe
Commissioner Olevson
Commissioner Simons

No: 0

Abstained: 2 - Chair Harrison
Commissioner Weiss

1. B [17-0468](#) Approve the 2017 Planning Commission Annual Work Plan

1. C [17-0496](#) **File #:** 2016-7293
Location: 1008 E. El Camino Real (APN 313-03-011) and 1314-1320 Poplar Ave. (APN 313-03-013)
Proposed Project:
REZONE: Introduction of an Ordinance to rezone the property at 1314-1320 Poplar Ave. (APN 313-03-013) from R-1/ECR (Low Density Residential/Precise Plan for El Camino Real) to C-2/ECR (Highway Business Commercial/Precise Plan for El Camino Real); and
SPECIAL DEVELOPMENT PERMIT: Construct 108 residential

units (rental apartment complex) on a 2.05-acre site, where 20% of units will be affordable to very low income households. The complex will consist of one five-story building facing El Camino Real (four stories above ground floor amenities and parking plus one underground level of parking) and one three-story building facing Poplar Ave. The project includes deviation requests from the required minimum distance between buildings on the same lot, maximum building height, minimum parking spaces and maximum lot coverage. The project site comprises a closed mobile home park (Conversion Impact Report certified and closure approved in January 2016) and a duplex property.

VESTING TENTATIVE PARCEL MAP: Combine two lots into one lot.

Applicant / Owner: St. Anton Communities / Sunnyvale Park LLC; Alhambra Apartments LP

Environmental Review: Mitigated Negative Declaration

Project Planner: Rosemarie Zulueta, (408) 730-7437, rzulueta@sunnyvale.ca.gov

Applicant requests continuance to June 12, 2017.

PUBLIC HEARINGS/GENERAL BUSINESS

2. [17-0340](#)

File #: 2016-7779

Location: 635 Toyon Avenue (APN:213-10-028)

Zoning: R-0

Proposed Project: Design Review to allow a new second-story addition of 1,584 square feet to an existing one-story single-family home resulting in a 3,285-square foot home (2,613 square feet living area, 251 square feet of covered balcony, and 421 square foot garage) at 53.4% Floor Area Ratio (FAR). Existing unpermitted carport in the rear will be removed and the unpermitted garage conversion to living area will be reverted.

Variance from SMC 19.34.045 and 19.34.080 to allow reduced second story front (19 feet six inches where 25 feet is required) and side yard (5 feet 6 inches where 7 feet is required) setbacks.

Applicant / Owner: Future Vision Remodeling / Abhay Gangadharan

Environmental Review: Categorical Exemption, Class 1, Section 15301.

Project Planner: Shetal Divatia, (408) 730-7637, sdivatia@sunnyvale.ca.gov

Senior Planner Shetal Divatia presented the staff report.

Commissioner Weiss commented that the applicant cited multiple court cases as being relevant for the proposed project and asked for staff comments. Senior

Assistant City Attorney Rebecca Moon advised that information would be provided later during the public hearing.

Vice Chair Rheume stated that pages 23 and 24 of Attachment 6 depict different architectural styles and asked staff if these homes followed the design guidelines and if the applicants had requested variances. Senior Planner Divatia advised that those applicants had not requested any variances.

Commissioner Simons asked if the staff requested project changes had been completed by the applicant. Senior Planner Divatia advised that the drawings were modified but that the bulk of the design remained the same.

Chair Harrison commented that page 6 of Attachment 6 shows several projects with allowed setback variances and asked staff about the approval dates and information on those circumstances. Senior Planner Divatia stated that the project at 1366 South Wolfe Road was approved in 2014 and that this home reverted an existing carport to add required parking spaces. Senior Planner Divatia advised that the right of way is wider on South Wolfe Road and so while the front setback was at 16 feet the visual impact was at 23 feet. Senior Planner Divatia stated that the project at 462 East McKinley Avenue was approved in 2016 and that the addition stayed within the existing 15-foot setback which is legal but non-conforming. Senior Planner Divatia commented that these were approvals specific to these unique circumstances and not relevant to the proposed project. Chair Harrison asked for information about 1222 Susan Way and Senior Planner Divatia advised staff would research this instance. Planning Officer Andrew Miner commented that the proposed second story to first story ratio is 93% but that the desired ratio is 35% per the Design Guidelines. Planning Officer Miner commented that if the ratio were reduced it would eliminate the need for a variance.

Senior Assistant City Attorney Moon returned to Commissioner Weiss's earlier question and advised that in her opinion the court cases cited by the applicant do not compel the Planning Commission to grant the variance.

Chair Harrison opened the Public Hearing.

Dr. Sartaj Chanchal presented images and information about the proposed project.

Commissioner Simons commented that grandfathering usually refers to an already developed property that does not meet current regulations. Commissioner Simons noted that the Toll Brothers project has a Planned Development (PD) zoning which does not match the applicant's zoning.

Commissioner Weiss confirmed with Dr. Chanchal that the proposed project plans were shown to their neighbors. Dr. Chanchal stated that 14 neighbors from 12 homes signed a letter of support with no one in opposition.

Commissioner Weiss commented that window film can be peeled off and asked the applicant about that choice. Dr. Chanchal advised that they are open to opaque glass if that is the Planning Commission's recommendation and that window film was chosen to enhance the elegance of the design.

Commissioner Weiss stated that the plans don't show a location for the furnace and asked the applicant to clarify the location. Dr. Chanchal advised that the contractor can provide this information.

Commissioner Howard asked the applicant if they considered removing the pool to reduce the lot constraints. Dr. Chanchal advised that the construction of the pool was costly, that removing it is not financially feasible and that it still would not be enough space to meet their needs.

Vice Chair Rheume thanked the applicant for her presentation. Vice Chair Rheume stated that the R0-PD zoning, despite being adjacent to her home, is different than the R0 zoning for the proposed project. Dr. Chanchal cited Municipal Code 19.34.045, stating that no PD can have a second story at a setback of less than 25 feet but that the Toll Brothers project was never granted a deviation.

Vice Chair Rheume commented that page A3.0 shows two full glass stories at the back of the property and that the size of the second story exceeds the Design Guidelines. Vice Chair Rheume stated three concerns – that the balcony goes throughout the second story, that the proposed second story to first story ratio greatly exceeds the 35% Design Guidelines ratio and that there are privacy concerns with the second story windows. Dr. Chanchal stated that the balcony is adaptive to the overall design and that there would be no impacts to the neighbors. Dr. Chanchal commented that they are open to changing their design to opaque glass. Dr. Chanchal stated that Toll Brothers referenced properties with R0 zoning for their Floor Area Ratio (FAR). Vice Chair Rheume commented that reference was for the FAR but that their project did adhere to the Design Guidelines.

Mr. Hewins stated an objection regarding the five-foot projection of the proposed project which could impact visibility when backing out of the adjacent driveway. Chair Harrison clarified with Mr. Hewins that his reference is to the first floor and that he has no issue with the side setbacks.

Commissioner Howard asked Mr. Hewins if he would have signed the letter of support and Mr. Hewins stated probably not.

Dr. Chanchal stated that their project would not extend the first floor by five feet.

Chair Harrison closed the Public Hearing.

Commissioner Howe stated that the Toll Brother homes shown in the applicant's presentation had straight walls without any deviation and asked staff about the second story setback. Planning Officer Miner stated that those homes met the setback standards and didn't require a variance or deviation. Commissioner Howe commented on the City's history regarding straight walls. Planning Officer Miner advised that if the first story is at the same setback distance as the second story then you could have a straight wall and in this instance, design criteria would be used to minimize the effect. Commissioner Howe confirmed with Planning Officer Miner that the Toll Brother homes were approved in 2011.

Chair Harrison commented that the applicant stated that the front setback of the second story of the Toll Brothers homes is at 19 feet when current setback requires 25 feet and asked for staff comments. Planning Officer Miner stated that an average setback is instituted and that the average setback must meet the standard. Chair Harrison confirmed with Planning Officer Miner that the Toll Brother homes meets the average setback of 20 feet.

Chair Harrison confirmed with Planning Officer Miner that the current Single Family Home Design Technique Guidelines were implemented in 2003.

Chair Harrison confirmed with Planning Officer Miner that the minimum setback is 25 feet for the second floor and 7 feet for the side setback. Chair Harrison confirmed with Planning Officer Miner that if the setback was 7 feet for the first and second floors it would not require a variance but would be examined from a design review.

Chair Harrison stated that the applicant wouldn't have to change the 19 foot 6-inch front setback. Planning Officer Miner confirmed, advising that it is legal non-conforming and can be maintained but not expanded. Chair Harrison confirmed with Planning Officer Miner that the proposed second story needs to meet the current standards.

MOTION: Commissioner Howe moved and Commissioner Olevson seconded the

motion for Alternative 1 – Deny the Design Review and Variance.

Commissioner Howe commented that page one of Attachment 3 shows the recommended findings for the variance. Commissioner Howe stated that the proposed project does not have exceptional or extraordinary circumstances, that the setback is detrimental to the public welfare and that approving the variance would be granting the applicant special privileges. Commissioner Howe stated that the proposed second story to first story ratio of 93% is a design issue, as is the two stories of glass.

Commissioner Olevson stated that without any breakup of the appearance of the home it is incompatible and out of character with the neighborhood. Commissioner Olevson advised that there is a clear difference in the approach of planned developments as compared to single family homes. Commissioner Olevson commented that while the Planning Commission tends to support residents who want to improve their homes, in this case the land use is not compatible with City Council policies and the neighborhood design.

Commissioner Simons stated that he will be supporting the motion. Commissioner Simons stated that there are design issues with the proposed project, including the scale of the second story and the use of French doors instead of a designated front door. Commissioner Simons commented that clerestory windows are usually required on second story rear and side projections for privacy issues. Commissioner Simons stated that he can't make the findings for the variance.

Commissioner Weiss stated that she will be supporting the motion. Commissioner Weiss commented that the proposed project violates the basic design principles and is not compatible with the immediate neighborhood. Commissioner Weiss stated that she has issues with the box style and massing of the proposed project. Commissioner Weiss commented that she hopes that the applicant will find a way to work with City staff so that a better designed project can move forward.

The motion carried by the following vote:

Yes: 7 - Chair Harrison
Vice Chair Rheaume
Commissioner Howard
Commissioner Howe
Commissioner Olevson
Commissioner Simons
Commissioner Weiss

No: 0

Planning Officer Miner stated this decision is final unless appealed to the City Council within 15 days or called up by the City Council within 15 days.

3. [17-0252](#) Tentative Map applications, for condominium purposes, for Ranchero Mobile Estates and Thunderbird Mobile Estates (mobilehome parks) to convert the ownership structure from rental mobilehome park to resident-owned mobilehome park in accordance with Government Code Section 66427.5.

File #: 2015-7707

Location: 900 Henderson Avenue (APN:213-38-008) Ranchero Mobilehome Park

Proposed Project: Tentative Map for a subdivision of 112 mobilehome spaces for condominium purposes.

File #: 2015-7706

Location: 954 Henderson Avenue (APN: 213-38-005) Thunderbird Mobilehome park

Proposed Project: Tentative Map for a subdivision of 166 mobilehome spaces for condominium purposes.

Environmental Review: If the Planning Commission denies the Tentative Map, the action would be exempt under the California Environmental Quality Act ("CEQA") as pursuant to CEQA Guidelines Section 15270 CEQA does not apply to a project that a public agency rejects or disapproves. If the Planning Commission approves the Tentative Map, the action is exempt from CEQA review under CEQA Guidelines Sections 15061(b)(3) and 15301(k). The project proposes to subdivide existing mobilehome parks into a common interest development, but no other changes are proposed. Accordingly, there will be no physical change, no change in use and no change to the intensity of the use as part of the ownership structure changes resulting from this subdivision map. Therefore, no further environmental review is required.

Applicant / Owner: Sid Goldstein/Alex MacDonell

Project Planner: Gerri Caruso, (408) 730-7591,
gcaruso@sunnyvale.ca.gov

Principal Planner Gerri Caruso presented the staff report.

Commissioner Simons confirmed with Principal Planner Caruso that this situation is unique for the City because the property owner owns both the land and the structures.

Commissioner Simons asked if staff considered requiring the applicant to send a registered letter based survey and then postponing the Planning Commission decision until the survey was conducted. Principal Planner Caruso stated that the applicant used a separate firm to conduct a survey and collect those results. Principal Planner Caruso advised that staff received copies of the surveys and confirmation that letters were sent to all residents.

Commissioner Howard confirmed with Principal Planner Caruso that staff objections are because the results of both the 2015 and 2017 surveys do not demonstrate support of a majority of the park's homeowners.

Chair Harrison opened the Public Hearing.

Thomas Casparian, representing Alex MacDonell, presented information about the proposed project.

Commissioner Weiss asked what improvements would take place if the proposed project was not approved. Mr. Casparian advised that the current schedule of park maintenance would stay the same and that the owner does not intend to add these improvements unless the project is approved.

Commissioner Weiss commented that three different terms are used in the Government Code which are existing tenants, residents and park homeowners. Mr. Casparian stated that the survey must be taken of all residents and that a later amendment granted local agency discretion to disapprove if there isn't a majority. Commissioner Weiss stated that the survey is required and that a strong response is essential. Mr. Casparian commented that all residents must be surveyed and that this instance is unusual because the residents do not own their mobile homes.

Commissioner Weiss commented that Mr. Casparian's use of "overwhelming in favor" to describe the survey response rates seems inaccurate, given the response rates of 20% and 29%. Mr. Casparian provided information about response rates and advised that the applicant did their best to engage residents with multiple meetings and mailings.

Vice Chair Rheume thanked Mr. Casparian for his presentation. Vice Chair Rheume commented that when the properties are sold the residents won't have to move out and asked if there is a time limit. Mr. Casparian advised that there is no imminent plan to go to the Bureau of Real Estate with a final map and that the owner has pledged two years before starting that process. Mr. Casparian stated

that under state law the residents are entitled to stay and continue renting or buy their lot but cannot be evicted if they don't want to buy.

Jacqueline Gratke, Sunnyvale resident, spoke in support of the proposed project and commented that this project would give elderly residents an opportunity to have permanence in the Bay area in a nice neighborhood that they could afford.

Santana Fabian, Sunnyvale resident, spoke in support of the proposed project.

Magda Esquivel, Sunnyvale resident, spoke in support of the proposed project.

Commissioner Weiss asked Ms. Esquivel why she supports the project. Ms. Esquivel advised that she would like to have a better park to live in through the pledged improvements.

Brian Crites, Sunnyvale resident, spoke in support of the proposed project. Mr. Crites commented that road improvements are needed due to potholes and that perhaps this could be financed if the project is approved.

Commissioner Howard asked Mr. Crites about his interest in the potential opportunity to buy and Mr. Crites advised that it is not financially feasible for him to buy. Mr. Crites asked if he wasn't interested in buying the property or condo if he would be forced out, should someone else want to buy his lot.

Maria Vasquez, Sunnyvale resident, spoke in support of the proposed project because of the potential improvements to the mobilehome parks.

Alejandro Sosa, Sunnyvale resident, spoke in support of the proposed project, citing that it would be beneficial for all residents.

Chair Harrison asked Mr. Sosa if he would they want to buy his home and lot. Mr. Sosa stated that it is not financially feasible but that he would want to continue to rent.

Leticia Priego, Sunnyvale resident, spoke in support of the proposed project.

Commissioner Howard asked Ms. Priego if there is any concern about rents increasing after the sale. Ms. Priego stated that this is a concern but that rents are increasing anyway.

Carolina Esquivel, Sunnyvale resident, spoke in support of the proposed project.

Chair Harrison confirmed with Ms. Esquivel that she would be interested in buying her unit and property.

Juan Fuentes spoke in support of the proposed project. Mr. Fuentes stated a concern that the improvements wouldn't be completed and that the rents could be raised. Mr. Fuentes stated a concern that he would be evicted because someone else wants to buy his property.

Octavio Martinez, Sunnyvale resident, spoke in support of the proposed project.

Chair Harrison asked Mr. Martinez for his comments on the opportunity to buy. Mr. Martinez stated he wouldn't be able to afford to buy, that renting is feasible and that this neighborhood is inexpensive when compared to the rest of the City.

Ken Archambault, Sunnyvale resident, spoke in support of the proposed project, noting that he would be interested in buying some City property.

Commissioner Howard confirmed with Mr. Archambault that he didn't have any information about the potential sale price.

Mr. Casparian presented additional information about the proposed project.

Commissioner Howard asked for an estimated price range for purchasing a unit. Mr. Casparian advised that he did not have this information but provided details about the future process. Mr. Casparian addressed Mr. Crites's concern by explaining that no one can buy a unit out from under a resident who is renting at the time of the conversion. Commissioner Howard asked about the current rent range but Mr. Casparian advised that he did not have this information.

Commissioner Simons thanked Mr. Casparian and asked what would happen to the shared space and roads if the park is converted to condominium ownership. Mr. Casparian provided information about that process, noting that as units are sold the common areas would be owned in fractional increments.

Commissioner Weiss asked about the current leasing arrangements. Mr. Casparian advised that he wasn't sure but that it may be a standard one year lease and then month to month renting.

Commissioner Weiss asked how the number of purchased condominiums would impact the finances slated for the park improvements. Mr. Casparian advised that

the pledged park improvements are tied to the project's approval but are not contingent upon the lot sales. Commissioner Weiss asked if the roads would be included in the improvements. Mr. Casparian stated that this improvement was not pledged and that the owner would need to analyze this option.

Commissioner Weiss commented that there would be first time homebuyers with language barriers and asked if there would be assistance for renters who wish to purchase. Mr. Casparian stated that based on his experience owners want to encourage sales and so assistance would likely be provided. Mr. Casparian commented that there are also state funds and assistance for low to moderate income residents. Commissioner Weiss advised that she was referring to the paperwork involved in the ownership process. Mr. Casparian stated that it would be in the park owner's interest to provide that support.

Housing Officer Suzanne Ise advised that the City works with local agencies that offer homebuyer counseling and if the owner allows an agency into the park they could setup outreach meetings to offer services. Housing Officer Ise advised that there could be a fee for the agency to provide that service, depending on the volume of interested residents.

Commissioner Howe confirmed with Mr. Casparian that the park owner has pledged three park improvements and that these could be conditioned in the Planning Commission's approval. Senior Assistant City Attorney Rebecca Moon stated that under the Subdivision Map Act the Planning Commission's ability to add conditions to the tentative map is limited to matters of health and safety. Mr. Casparian advised that it is a guaranteed pledge that the owner would complete these improvements.

Commissioner Howe asked staff if potholes are considered a health and safety issue. Senior Assistant City Attorney Moon advised it could be if the applicant stipulates that but noted her concern about putting conditions on the tentative map that aren't legally authorized.

Commissioner Howe stated an opinion that issues with roads are a safety issue and asked Mr. Casparian how this problem, as well as other health and safety issues, would be addressed before the creation of a Homeowners Association (HOA). Mr. Casparian stated that there would not be any changes in the current maintenance schedule and repairs except for the three pledged improvements.

Commissioner Simons commented that the applicant has promised three improvements not attached to the tentative map and asked about the feasibility of

providing agency support for residents interested in purchasing their home. Mr. Casparian stated that it would be in the park owner's interest to do so as it relates to selling lots but reiterated that there is no immediate intent to move forward on selling lots. Planning Officer Miner advised that the Planning Commission can't condition the tentative map but that the applicant's improvements can potentially aid the Planning Commission in making the findings to approve the tentative map.

Commissioner Howard asked staff about the status of the mobilehome parks rent stabilization study issue. Housing Officer Ise stated that this study issue was deferred and ultimately incorporated in the housing strategy study issue, which was ranked and approved by the City Council. Housing Officer Ise advised that staff is waiting for budget approval before preparing the study issue. Housing Officer Ise advised that the mobilehome issue and a comprehensive overview of affordable housing strategies for the City would be studied.

Commissioner Howard confirmed with Housing Officer Ise that if the proposed project is approved then the potential rent stabilization would not apply to those mobilehome parks. Senior Assistant City Attorney Moon confirmed, stating that the parks would not be subject to rent control because they would be owner occupied after the condominium conversion. Mr. Casparian clarified with Housing Officer Ise that at least one lot would have to be sold to exempt the mobilehome parks from future rent control. Mr. Casparian provided information about state law and rent control in situations when residents own their homes but not their lots.

Commissioner Howard asked staff about national and local indexes as it relates to section 8 and low income housing. Housing Officer Ise advised that two main indexes are used, the federal Housing and Urban Development (HUD) limits for standardized income levels and the California system which applies local knowledge to the federal limits and manages state funded programs. Housing Officer Ise provided details about income brackets in these two indexes.

Chair Harrison commented that page six of the staff report states that the key issue is whether the survey has demonstrated a majority of support and if the City finds that the surveys do not demonstrate a majority of support it may disapprove the project. Senior Assistant City Attorney Moon confirmed that this language is correct, noting that the Planning Commission has the discretion to grant the application even if there isn't a majority of support.

Chair Harrison closed the Public Hearing.

MOTION: Commissioner Olevson moved and Commissioner Simons seconded the

motion for Alternative 1 – Find the project to be exempt from CEQA pursuant to CEQA Guideline Sections 15061 (b)(3) and 15301 (k), make the recommended findings in Attachment 5 of this report and approve the Tentative Map with Conditions of Approval in Attachment 6 of this report.

FRIENDLY AMENDMENT: Commissioner Simons offered a friendly amendment to condition the road improvements as a safety issue as part of the tentative map.

Commissioner Olevson commented that conditioning the tentative map is outside of the purview of the Planning Commission and noted concern about the wording. Senior Assistant City Attorney Moon stated that with tentative maps conditions can be imposed if they are related to health and safety issues but that there is limited code enforcement authority of what occurs within the mobilehome park. Commissioner Simons confirmed with Senior Assistant City Attorney Moon that this condition would have enforcement issues and that review is limited to the requirements of the Subdivision Map Act. Commissioner Simons withdrew the friendly amendment.

Commissioner Olevson stated that this is a unique situation in California and noted his appreciation that the owner is trying to change the landscape of the mobilehome parks and give residents the opportunity to own their property. Commissioner Olevson noted that the owner has carried the burden of completing the survey and has received a reasonable response. Commissioner Olevson commented that over a 25% response rate is a good quantity response, that the applicant has met the burden required by the statute and that the application should be approved.

Commissioner Simons stated a belief that the applicant has met the requirements and noted his request that the applicant follow through on the three pledged improvements, as well as the road issues. Commissioner Simons commented that per staff's recommendation county agencies, such as Project Sentinel, should help facilitate homebuying support for the residents. Commissioner Simons stated that the applicant met the process as described by the state and that any concern regarding a change in housing designation is not under consideration in the application process. Commissioner Simons commented on the applicant's statements regarding a City Council election and noted that applications have come before the Planning Commission with impressive response rates of 70 - 90%.

Commissioner Howard commented that with the possibility of future mobilehome park rent stabilization it should be considered that the property owner is trying to circumvent this possibility, but noted that it doesn't appear to be the motivation for

this project. Commissioner Howard stated that the owner has raised capital to complete the park improvements, that the residents seem to have a good relationship with the owner and that this project will give the residents the opportunity to own property in the City. Commissioner Howard stated that he will be supporting the motion.

Commissioner Howe stated that he will not be supporting the motion and noted an agreement with staff that the applicant failed to meet the requirements for the resident ownership conversion based on the surveys.

Commissioner Weiss stated that she will not be supporting the motion and would have felt more comfortable if there was balanced representation of the residents. Commissioner Weiss commented that the residents' presence is representative of the survey results, which should not be taken conclusively, and that she would have supported Alternative 2.

The motion carried by the following vote:

Yes: 5 - Chair Harrison
Vice Chair Rheume
Commissioner Howard
Commissioner Olevson
Commissioner Simons

No: 2 - Commissioner Howe
Commissioner Weiss

Planning Officer Miner stated this decision is final unless appealed to the City Council within 15 days or called up by the City Council within 15 days.

4. [17-0423](#) **File #:** 2016-7898
Location: 830 E. El Camino Real (APN: 211-25-046)
Zoning: Highway Business/ Precise Plan for El Camino Real (C-2/ECR)
Proposed Project: Related applications on a 1.49-acre site:
 SPECIAL DEVELOPMENT PERMIT: Special Development Permit: To allow demolition of an existing single story restaurant (formerly Crazy Buffet) and construction of a new 127-room, four-story hotel with underground parking garage and associated site improvements on a 1.49-acre parcel.
Applicant / Owner: Sunnyvale HHG Hotel Development, LP (applicant)/ Tara Kumar Trustee (owner)
Environmental Review: Mitigated Negative Declaration

Assistant Planner Cindy Hom presented the staff report.

Vice Chair Rheume stated that the number of floors was reduced from four to three based on A108.2 and asked staff about the top floor. Assistant Planner Hom confirmed that there is a fourth floor which is stepped back and that there is no balcony.

Commissioner Olevson asked staff to confirm that there are no deviations in the current iteration of the proposed project. Assistant Planner Hom advised that there is a minor deviation with the landscape buffer, explaining that due to the hammerhead turnaround the proposed project does not meet the 20-foot requirement. Assistant Planner Hom stated that the applicant would provide grasscrete to visually meet this requirement. Commissioner Olevson confirmed with Assistant Planner Hom that this is a code requirement and is not related to privacy issues.

Commissioner Weiss asked staff to comment on page nine of the Conditions of Approval (COA) where it references a minimum LEED Gold level, noting that the project states LEED Silver level. Planning Officer Miner stated that it is an error and should state LEED Silver level.

Commissioner Weiss asked staff about the future of the bus shelter. Assistant Planner Hom advised that the Valley Transportation Authority (VTA) has reviewed the bus shelter, that it will be redesigned and will appear in the same location as shown on the plans.

Commissioner Weiss commented that the roof terrace is surrounded by rooms and asked for information about the composition of the windows. Assistant Planner Hom stated that the architect can speak to those details.

Commissioner Weiss stated that the front sidewalk has different widths and asked for clarification about those widths. Planning Officer Miner stated that page four of Attachment 6 shows that the sidewalk is 15-foot wide and provided details about the sidewalk. Assistant Planner Hom clarified that it is an 8-foot wide sidewalk with a 4-foot wide grate.

Commissioner Howe commented that Attachment 2 does not show any deviations. Assistant Planner Hom advised that the deviation is not included on Attachment 2 but is included on page ten of the staff report, in the landscaping section. Planning Officer Miner provided information from the staff report. Commissioner Howe confirmed with Planning Officer Miner regarding the reason for the requested

deviation.

Chair Harrison stated that page ten of the staff report lists the requirement for an 8-foot perimeter wall and noted that this conflicts with the requirement on page 40 of Attachment 5 to provide cross-parcel access. Chair Harrison asked staff if the fence would separate the proposed project from the adjacent commercial establishments. Planning Officer Miner clarified that the 8-foot perimeter wall is only for the residential areas.

Commissioner Simons noted that one issue on El Camino Real is landscape maintenance, citing pollarding as an issue. Commissioner Simons asked staff if the Planning Commission can add language to COA BP-7 to mitigate this potential issue. Planning Officer Miner confirmed.

Chair Harrison opened the Public Hearing.

Brian Spencer, representing Sunnyvale HHG Hotel Development, presented information about the proposed project.

Scott McGill, representing Awbrey Cook Rogers McGill Architects, presented images and information about the proposed project.

Commissioner Simons asked Bruce Hill, Landscape Architect, if the applicant would be amenable to a pollarding restriction in the proposed project. Mr. Hill stated that the street tree doesn't lend itself for pollarding and provided information about the applicant's tree selection. Commissioner Simons advised that this would pertain to all trees and confirmed with Mr. Hill that the applicant is amenable to a pollarding restriction as a stipulation in the COA.

Commissioner Weiss asked Mr. McGill to provide details about the window treatments in the guest rooms located on the second-floor roof terrace. Mr. McGill advised that the windows will have a double insulated glaze to provide a quiet environment in the guest rooms. Commissioner Weiss asked about window transparency and Mr. McGill explained that there is a landscape buffer and blackout curtains provided for privacy.

Chair Harrison closed the Public Hearing.

MOTION: Commissioner Simons moved and Vice Chair Rheume seconded the motion for Alternative 2 – Adopt the Mitigated Negative Declaration, approve the Special Development Permit with modified conditions –

1. Modify BP-7 to prohibit pollarding in the landscape plan.

Commissioner Simons thanked the applicant and noted his appreciation for the improved project, especially the landscape plan. Commissioner Simons commended the efforts of the applicant and staff to meet the concerns of the Planning Commission. Commissioner Simons stated his hope that the project will be a great success.

Vice Chair Rheume stated that he will be supporting the motion and can make the findings. Vice Chair Rheume thanked the applicant for addressing the Planning Commission comments on issues such as solar and privacy, for producing drone images and for the reduction to three stories adjacent to the residents. Vice Chair Rheume noted his appreciation for the inclusion of Incense Cedar trees, commenting that they mitigate privacy concerns, are drought tolerant and fast growing.

Commissioner Olevson stated that he will be supporting the motion, that he can make the findings that the project meets the CEQA requirements for the Mitigated Negative Declaration and can make the findings for the Special Development Permit. Commissioner Olevson stated that the proposed project meets the General Plan and would enhance the neighborhood. Commissioner Olevson stated an opinion that the project has dramatically improved and will enhance El Camino Real as defined by the El Camino Real Precise Plan.

Commissioner Weiss stated that she will be supporting the motion and can make the findings. Commissioner Weiss stated her appreciation of the applicant's responsiveness and cautioned the applicant to locate trees quickly. Commissioner Weiss commented that this project will be a great contribution to the El Camino Precise Plan.

Chair Harrison stated that she will be supporting the motion. Chair Harrison stated an appreciation that the solar shading issue was resolved and that the applicant produced drone studies to mitigate residents' privacy concerns.

The motion carried by the following vote:

Yes: 7 - Chair Harrison
Vice Chair Rheaume
Commissioner Howard
Commissioner Howe
Commissioner Olevson
Commissioner Simons
Commissioner Weiss

No: 0

Planning Officer Miner stated this decision is final unless appealed to the City Council within 15 days or called up by the City Council within 15 days.

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

Commissioner Simons proposed a study issue of sidewalk widths as it relates to appropriate widths for density and use. Commissioner Simons stated that the AASHTO Guide, California Caltrans Design Manual and VTA Pedestrian Guidelines should be referenced for the study. Planning Officer Miner stated that staff typically asks for a second interested Commissioner to produce a study issue paper. Commissioner Howe seconded the study issue.

Commissioner Weiss suggested an analysis and discussion of the City's solar ordinance in a future study session. Commissioner Weiss stated that the ordinance may need to include ground impact on gardens. Planning Officer Miner advised that a new set of policies for solar shading were adopted last year, which looked at the ground impact but recognized existing constraints. Chair Harrison took a vote for a refresher on solar issues. Commissioner Howe and Commissioner Weiss were in favor of the refresher. Planning Officer confirmed that staff will prepare a refresher for a future study session and will forward the solar report to all the Planning Commissioners.

NON-AGENDA ITEMS AND COMMENTS

-Commissioner Comments

Commissioner Howard stated that the Sunnyvale Sustainable and Affordable Living Coalition (SSLAC) and Sunnyvale Democrats will be meeting at 7 PM on Wednesday to have a panel discussion on the future of El Camino Real.

-Staff Comments

Planning Officer Miner advised that the General Plan and Rezone for the Ahwanee project was approved at the April 18th City Council meeting, noting that there was

guidance regarding the massing and the project's adjacency to single family homes. Planning Officer Miner advised that the City Council also approved the project at 675 Almanor Avenue. Planning Officer Miner stated that the second hearing for the Ahwanee project, the Firebird Single Story Combining District, the project at 669-673 Old San Francisco Road and the Simeon Peery Park Plan Review Permit will be heard at the April 25th City Council meeting.

ADJOURNMENT

Chair Harrison adjourned the meeting at 10:25 PM.



City of Sunnyvale

Agenda Item %6

17-0391

Agenda Date: 5/8/2017

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2017-7155

Location: 1377 Bluebird Court (APN: 309-19-004)

Zoning: R0 (Low Density Residential) Zoning District

Proposed Project:

DESIGN REVIEW: To allow the addition of an 887-square foot hobby room to the first floor of an existing two-story, single-family residence resulting in a total floor area of 3,717 sq. ft. (including a 461-square foot garage) and 33% Floor Area Ratio (FAR).

Applicant / Owner: Flury Bryant Design Group (applicant) / Jerome and Marilee Lazar (owners)

Environmental Review: Categorically Exempt Class 1

Project Planner: Momoko Ishijima, (408) 730-7532, mishijima@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Low Density Residential (0-7 du/ac)

Existing Site Conditions: Single-family residence

Surrounding Land Uses

North: Single-family residence

South: Single-family residence

East: Single-family residence

West: Single-family residence

Issues: Neighborhood Compatibility, floor area

Staff Recommendation: Approve the Design Review with conditions

BACKGROUND

Description of Proposed Project

The 10,750-square foot project site is located at the end of a nine-lot cul-de-sac on Bluebird Court. The applicant proposes to add an 887-square foot hobby room on the first floor of an existing 2,087-square foot two-story, single-family residence. The hobby room addition would be on the northwest side of the main residence. The project includes the removal of a 117-square foot shed located in the area of the addition.

This project requires Planning Commission review because the total floor area on the site would exceed 3,600 square feet. See Attachment 1 for a map of the vicinity and mailing area for notices

and Attachment 2 for the Project Data Table of the project.

ENVIRONMENTAL REVIEW

A Class 1 Categorical Exemption relieves this project from the California Environmental Quality Act provisions. Class 1 Categorical Exemptions includes minor additions to an existing single-family residence.

DISCUSSION

Architecture: The existing neighborhood is comprised of one and two-story ranch style residences. The existing U-shaped home has a one-story garage facing the cul-de-sac and the two-story living area to the right side set away from the street. The exterior material is stucco with composition shingle roof material with gabled and hipped roof forms. There is an arched entry into a small courtyard.

The proposed modification is a first floor 887-square foot hobby room addition to the northwest (right) side of the residence. The hobby room will have access from an existing storage space adjacent to the stairs, which will be converted to a vestibule. There is also a separate door into the hobby room from the north elevation. The addition will have a higher plate height compared to the existing residence at approximately nine feet.

The proposed project retains most of the elements of the existing home including the roof form, simple shape, and massing. All exterior materials would match the existing residence including the roof material. No trees are proposed to be removed.

Floor Area Ratio: The proposed FAR of 33% is less than other homes found in the immediate neighborhood, including the two adjacent homes, and is consistent with established precedent in the neighborhood. The existing residence with the garage and the shed to be removed is 2,947 square feet (27% FAR). With the proposed addition, the floor area would total 3,717 square feet (33% FAR). An FAR greater than 45% or building size of 3,600 SF or greater requires review by the Planning Commission.

The neighborhood contains a mix of one and two-story homes, with FARs that range between 27% and 39% with lot sizes averaging 7,411 square feet (Attachment 7). The project site has the largest lot size and the existing FAR is the lowest of the range at 27%. The proposed FAR at 33% would be less than the greatest FAR of the range. The four homes adjacent to the south and west of the project site are smaller lots (zoned R1.5) and have an FAR of 34% to 46%.

Privacy: The proposed setbacks on the right side of the addition would be reduced from 10 feet 10 inches to four feet, which complies with the minimum setback requirements for the R0 zoning district. No changes are proposed to the rear setback. Although the plate height of the addition is slightly higher than the first floor of the existing residence, which is at eight feet; the proposed windows are placed high with a sill height of seven feet to protect the privacy of the adjacent neighbor. In addition, the project site is a five-sided lot with a narrow frontage off a cul-de-sac and the addition to the right side of the home would be behind a fence and trees and would not be visible from Bluebird Court. The homeowner has provided a description of how the hobby room would be utilized (Attachment 6). Therefore, staff finds privacy impacts would be minimal and acceptable.

Applicable Design Guidelines and Policy Documents: The proposed home is consistent with the adopted Single-Family Design Techniques since the proposed design maintains the existing form of the house and materials. It would have minimal visual impact to the neighborhood. Staff has included findings for the Single-Family Design Techniques in Attachment 3.

Development Standards: The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, parking, height and setbacks.

Fiscal Impact: No fiscal impacts other than normal fees and taxes are expected.

Notice of Public Hearing, Staff Report and Agenda

- Published in the Sun newspaper
- Posted on the site
- 99 notices mailed to property owners and residents within 300 feet of the project site
- Posted on the City of Sunnyvale's website
- Provided at the Reference Section of the City of Sunnyvale's Public Library
- Agenda Posted on the City's official notice bulletin board

Public Contact: At the time of preparation of the staff report, no correspondences from neighbors were received.

Conclusion

Findings and General Plan Goals: Staff was able to make the required Findings based on the justifications for the Design Review and the Recommended Conditions of Approval (Attachment 4). Recommended Findings and General Plan Goals are located in Attachment 3.

ALTERNATIVES

1. Approve the Design Review with the conditions in Attachment 4.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

STAFF RECOMMENDATION

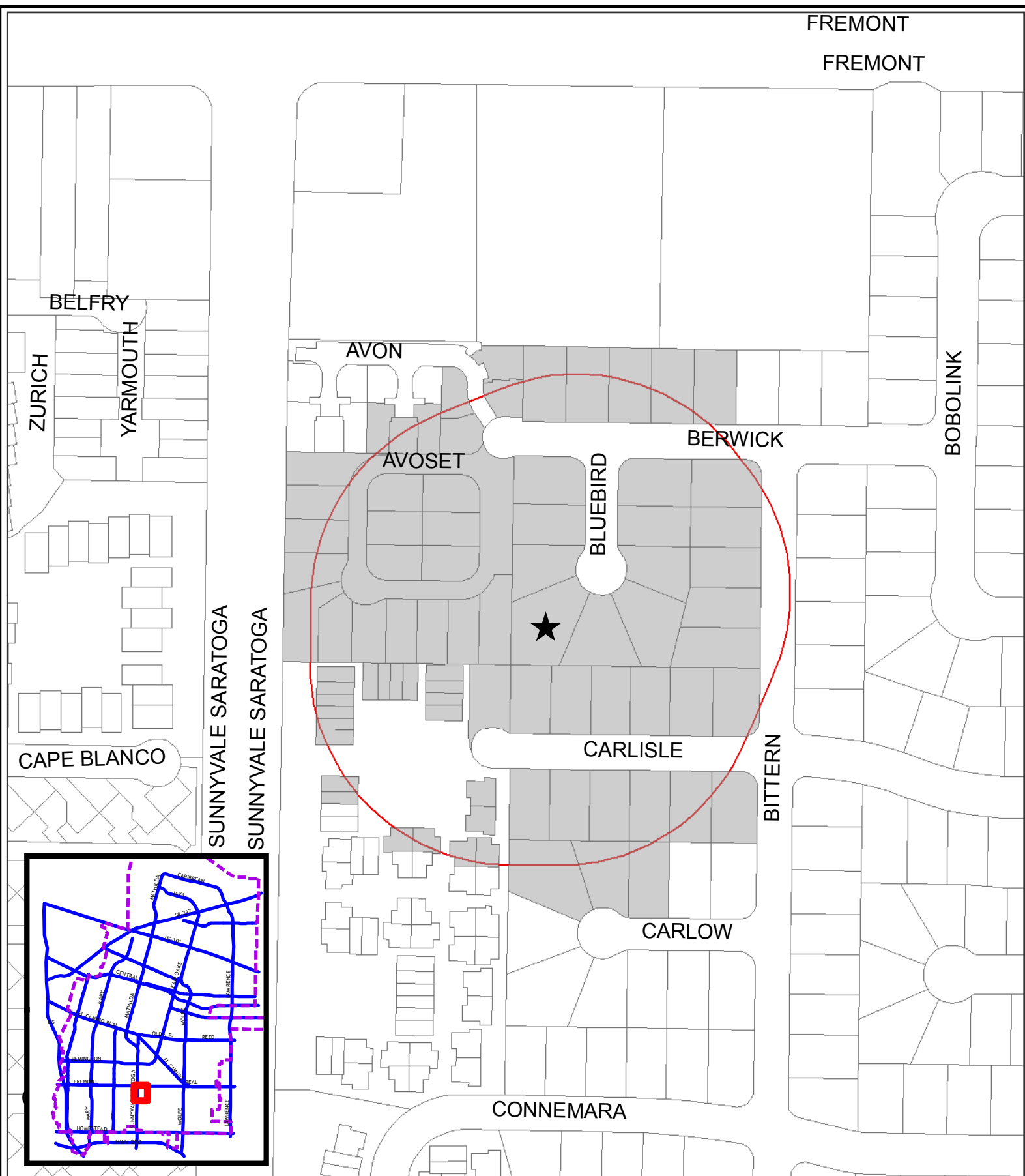
Recommend Alternative 1 in accordance with the Findings in Attachment 3 and Conditions of Approval in Attachment 4.

Prepared by: Momoko Ishijima, Associate Planner

Approved by: Gerri Caruso, Principal Planner

ATTACHMENTS

1. Site, Vicinity and Public Notice Mailing Map
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Site and Architectural Plans
6. Letter from Owner
7. FAR Analysis



2017-7155
 1377 Bluebird Court (APN: 309-19-004)
 Design Review
 300-ft Area Map

0 60 120 240 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Same
Zoning District	R0	Same	Same
Lot Size (s.f.)	10,750	Same	6,000 min.
Lot Width (linear ft.)	49' 9 ½"	Same	45' at cul de sac
Gross Floor Area (s.f.)	2,830	3,717	3,600 (Threshold for Planning Commission review)
Lot Coverage (%)	21%	27%	40% max.
Floor Area Ratio (FAR)	27%	33%	45% (Threshold for Planning Commission review)
Building Height (ft.)	23' 7"	Same	30' max.
No. of Stories	Two	Two	Two max.
Setbacks			
Front (ft.)	22' 1"	Same	20' min.
Left Side (ft.)	6'	Same	4' min.
Right Side (ft.)	10' 10"	4'	4' min. – see total
Side Total (ft.)	16' 10"	10'	10' min. (combined)
Rear (ft.)	45' 6"	Same	20' min.*
Parking			
Total Spaces	4	4	4 min.
Covered Spaces	2	2	2 min.
Uncovered Spaces	2	3	3 min.**

RECOMMENDED FINDINGS**Design Review**

The proposed project is desirable in that the project's design and architecture complies with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed addition will be located to the right side of the property behind a fence and trees and will not be visible from the public right-of-way. Finding Met
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	While the proposed project includes increases to the existing floor area, the addition has been designed to match the main residence in scale, bulk and character. Finding Met
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed residence complies with code requirements related to height and setbacks. Finding Met
<i>2.2.4 Minimize the visual impacts of parking.</i>	No changes are proposed to the garage and the project meets the required parking requirements. Finding Met
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	No changes are proposed to the front yard landscaping. Finding Met
<i>2.2.6 Use high quality materials and craftsmanship</i>	The proposed design includes elements that are compatible with the residence and the neighborhood such as stucco walls and low pitched roof forms. Finding Met
<i>2.2.7 Preserve mature landscaping</i>	No protected trees will be removed as part of this project. Conditions will be included to provide tree protection during construction. Finding Met

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
MAY 8, 2017**

Planning Application 2017-7155

1377 Bluebird Court

Design Review to allow the addition of an 887-square foot hobby room to the first floor of an existing two-story, single-family residence resulting in a total floor area of 3,717 sq. ft. (including a 461-square foot garage) and 33% Floor Area Ratio (FAR).

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

<p>GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.</p>

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not

exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action or proceeding is brought within the time period provided for an inapplicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

GC-4. NOTICE OF FEE PROTEST:

As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING/OCA]

GC-5. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

GC-6. ACCESSORY DWELLING UNIT:

In the future, if a kitchen is added to the addition, obtain the necessary permits for an accessory living unit. [SDR] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. TREE PROTECTION PLAN:

The applicant shall submit a tree protection plan for staff review. The tree protection plan shall be prepared by a certified arborist and shall include recommendations for ensuring the viability of existing protected trees during development, grading, and excavation. The arborist should prepare recommendations for construction methods and protection of the protected tree located at the southwest corner of the property. [COA] [PLANNING/CITY ARBORIST]

BP-5. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.

- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
 - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-6. CONSTRUCTION MATERIAL AND STAGING:

All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements. [COA] [PUBLIC WORKS]

EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:

Applicant shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

- a. Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.
- b. Construction equipment must be maintained per manufacturer's specifications.
- c. Planning and Building staff will work with project application to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- i. Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- ii. Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- iii. Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- iv. Limit heavy-duty equipment idling to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-2. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]COA] [PLANNING]

END OF CONDITIONS

REVISIONS	BY
PRC COMMENTS MARCH 21, 2011	MDP

Flury Bryant Design Group, Inc.

DESIGNERS OF FINE HOMES
1951 LOS GATOS BLVD., SUITE 111 LOS GATOS, CALIFORNIA 95032
TEL: 408.556.5500 FAX: 408.556.5115

SITE PLAN
SITE ANALYSIS
CONSULTANT LIST
VICINITY MAP

A PROPOSED REMODEL TO:

THE LAZAR RESIDENCE

1371 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
ARA

CHECKED BY:
BB

DATE:
FEBRUARY 14, 2017

SCALE:
AS NOTED

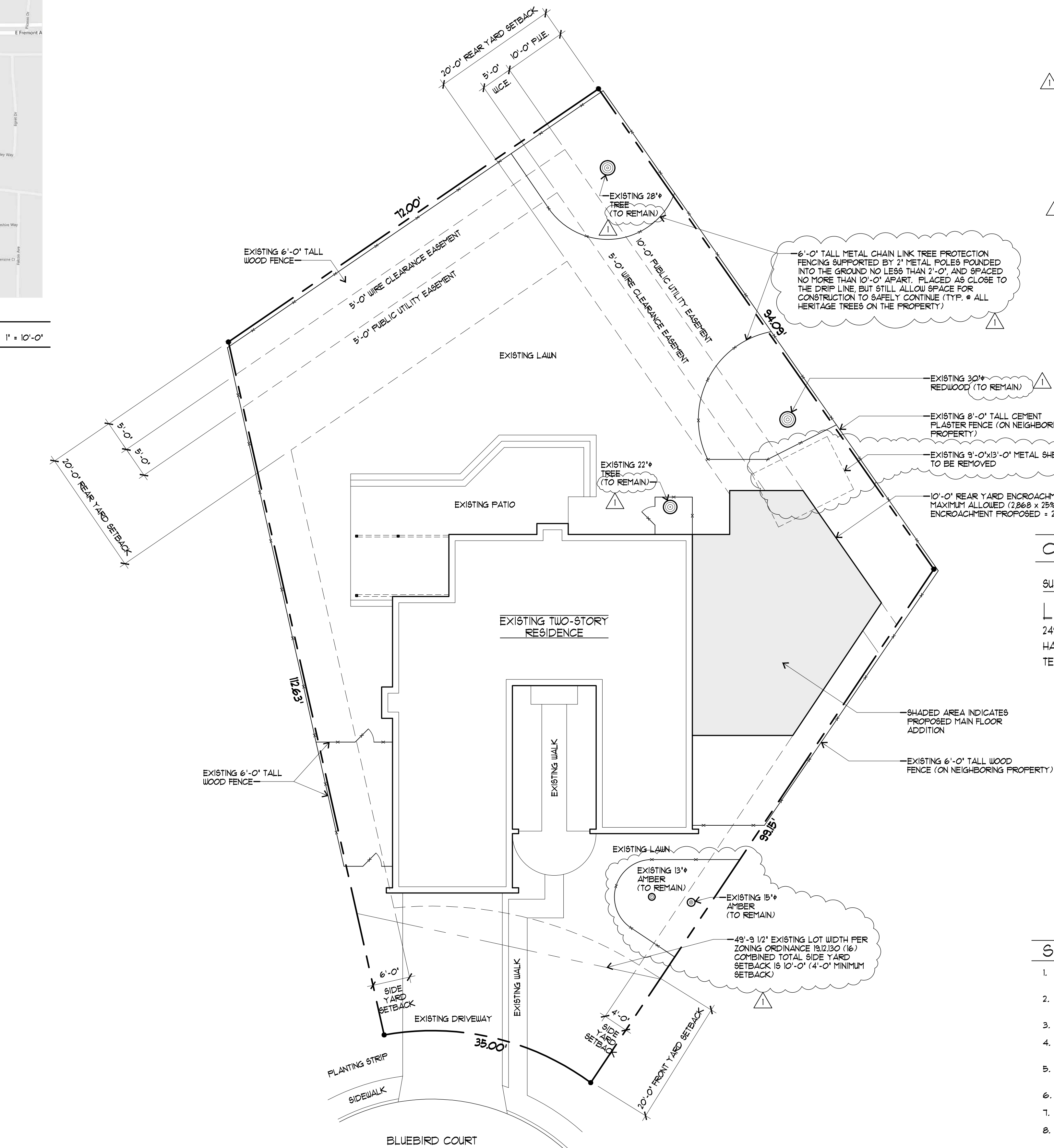
JOB NO:
16-010

SHEET:
1

OF 11 SHEETS



VICINITY MAP



SITE PLAN
AFN: 303-19-004

1" = 10'-0"

SITE ANALYSIS

APN :	303-19-004
ZONING :	RO
LOT AREA :	10,150 SQ. FT.
MAXIMUM FLOOR AREA RATIO : (10,150 x 45%)	4,567 SQ. FT.
MAXIMUM LOT COVERAGE : (10,150 x 40%)	4,060 SQ. FT.
EXISTING LOT COVERAGE :	
MAIN LEVEL	1,626 SQ. FT.
GARAGE	461 SQ. FT.
SHED	111 SQ. FT.
TOTAL	2,204 SQ. FT. (21%)
PROPOSED LOT COVERAGE :	
MAIN LEVEL	2,513 SQ. FT.
GARAGE	461 SQ. FT.
SHED	111 SQ. FT.
TOTAL	2,887 SQ. FT. (27%)
EXISTING FLOOR AREA :	
MAIN LEVEL	1,626 SQ. FT.
UPPER LEVEL	143 SQ. FT.
GARAGE	461 SQ. FT.
SHED	111 SQ. FT.
TOTAL FLOOR AREA:	2,341 SQ. FT. (21%)
PROPOSED FLOOR AREA :	
MAIN LEVEL	2,513 SQ. FT.
UPPER LEVEL	0 SQ. FT.
GARAGE	0 SQ. FT.
SHED	111 SQ. FT.
TOTAL FLOOR AREA:	2,624 SQ. FT. (25%)
TOTAL PROPOSED FLOOR AREA :	
MAIN LEVEL	2,513 SQ. FT.
UPPER LEVEL	143 SQ. FT.
GARAGE	461 SQ. FT.
TOTAL FLOOR AREA:	3,117 SQ. FT. (33%)

CONSULTANT LIST

SURVEYOR:
LEA & BRAZE ENGINEERING
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA. 94545
TEL: (510) 881-4086

SHEET INDEX

- SITE PLAN
SITE ANALYSIS
- EXISTING MAIN LEVEL FLOOR PLAN
FLOOR AREA DIAGRAM & CALCULATION
- EXISTING UPPER LEVEL FLOOR PLAN
- EXISTING FRONT ELEVATION
EXISTING REAR ELEVATION
- EXISTING LEFT SIDE ELEVATION
EXISTING RIGHT SIDE ELEVATION
- PROPOSED MAIN LEVEL FLOOR PLAN
- PROPOSED ROOF PLAN
- PROPOSED FRONT ELEVATION
PROPOSED REAR ELEVATION
- PROPOSED LEFT SIDE ELEVATION
PROPOSED RIGHT SIDE ELEVATION
- SITE SECTION
STREET SCAPES

50-1 TOPOGRAPHIC SURVEY

TREE PROTECTION NOTES:

- PROTECTED TREES DESIGNATED FOR PRESERVATION SHALL BE PROTECTED DURING CONSTRUCTION OF A PROJECT BY USE OF THE FOLLOWING METHODS:
- PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRIP LINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE. THE FENCE SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AND SHALL BE SET SECURELY IN PLACE. THE FENCE SHALL BE OF STURDY BUT OPEN MATERIAL (I.E. CHAIN LINK) TO ALLOW VISIBILITY TO THE TRUNK FOR INSPECTIONS AND SAFETY.
 - THE EXISTING GRADE LEVEL AROUND THE TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRIPLINE OF THE TREE. ALTERNATE GRADE LEVELS, AS DESCRIBED IN THE TREE PROTECTION PLAN, MAY BE APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
 - DRAIN WELLS SHALL BE INSTALLED WHENEVER IMPERVIOUS SURFACES WILL BE PLACED OVER THE ROOT SYSTEM OF A TREE (THE ROOT SYSTEM GENERALLY EXTENDS TO THE OUTERMOST EDGES OF THE BRANCHES).
 - PRUNING THAT IS NECESSARY TO ACCOMMODATE A PROJECT FEATURE, SUCH AS A BUILDING, ROAD OR WALKWAY, SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT AND THE DEPARTMENT OF PUBLIC WORKS.
 - NEW LANDSCAPING INSTALLED WITHIN THE DRIPLINE OF AN EXISTING TREE SHALL BE DESIGNED TO REPRODUCE A SIMILAR ENVIRONMENT TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION.

FIRE PREVENTION NOTES:

- PROJECT TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES / REQUIREMENTS.
- EVERY PORTION OF THE SITE AND EVERY PORTION OF THE FIRST FLOOR EXTERIOR WALLS OF EACH RESIDENCE IS REQUIRED TO BE WITHIN 50 FEET OF AN APPROVED EMERGENCY VEHICLE ACCESS ROAD. THE EMERGENCY VEHICLE ACCESS ROAD SHALL HAVE A MINIMUM WIDTH OF 20 FEET AND AN INSIDE TURNING RADIUS OF 30 FEET.
- BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (ESCAPE WINDOW) IN ACCORDANCE WITH CFC SECTION 1023. (CFC 1023)
- LANDSCAPING AND LOCATION OF SLEEPING ROOMS RELATIVE TO PROPERTY LINES SHALL BE LOCATED SO AS TO PROVIDE APPROVED LADDER ACCESS TO EACH SLEEPING ROOM.
- APPROVED LADDER ACCESS CONSISTS OF A MAXIMUM TO DEGREES CLIMBING ANGLE, AT LEAST 3 FEET CLEAR SPACE BEHIND THE BASE OF THE LADDER TO ALLOW ACCESS AND APPROVED CONCRETE OR GRAVEL LADDER PADS HAVING A MINIMUM DIMENSION OF 3' x 6' AND POSITIONED SO THAT THE 6' LENGTH IS PERPENDICULAR TO THE STRUCTURE.
- PROVIDE APPROVED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS THROUGHOUT EACH STRUCTURE.

PUBLIC WORKS NOTES:

- THE APPLICANT IS RESPONSIBLE FOR RESTORING AND REPLACING ANY DAMAGE IN THE PUBLIC RIGHT OF WAY OR ANY DAMAGE TO THE TRAFFIC CONTROL DEVICES CAUSED DUE TO CONSTRUCTION ACTIVITIES.
- PRIOR TO ANY WORK IN THE PUBLIC RIGHT OF WAY, OBTAIN AN ENCROACHMENT PERMIT WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.
- CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND / OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLISTS AND VEHICULAR TRAFFIC.

REVISIONS	BY
PRC COMMENTS MARCH 21, 2011	MDP.



Flury Bryant Design Group, Inc.
DESIGNERS OF FINE HOMES
1961 LOS GATOS BLVD., SUITE 110 LOS GATOS, CALIFORNIA 95032
TEL: 408.556.5500 FAX: 408.556.5115

EXISTING MAIN LEVEL FLOOR PLAN

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1311 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
MDP, D.B.

CHECKED BY:
B.B.

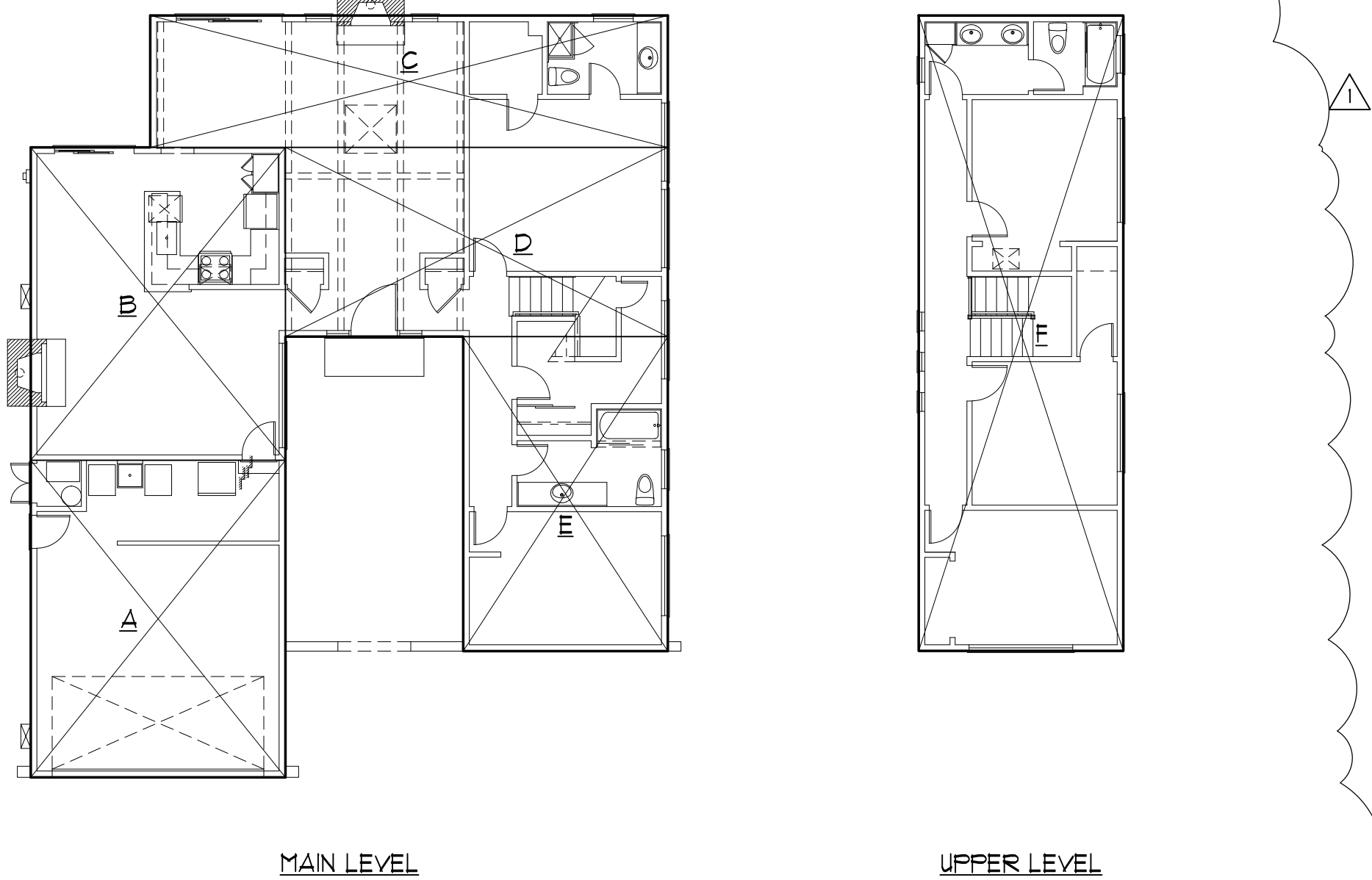
DATE:
FEBRUARY 14, 2017

SCALE:
AS NOTED

JOB NO:
16-010

SHEET:
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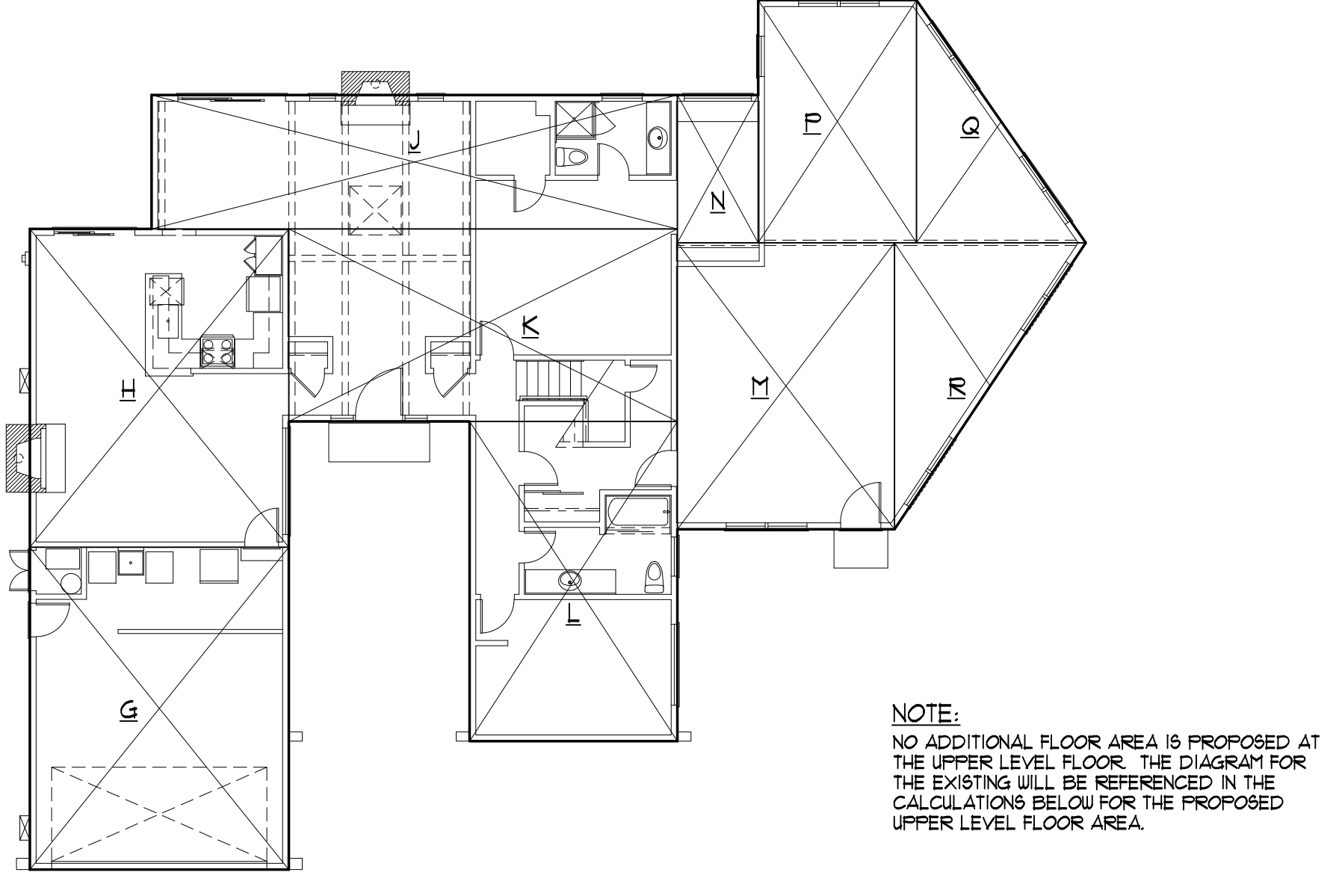
OF 11 SHEETS



MAIN LEVEL

UPPER LEVEL

EXISTING FLOOR AREA DIAGRAM N.T.S.



MAIN LEVEL

UPPER LEVEL

NOTE:
NO ADDITIONAL FLOOR AREA IS PROPOSED AT THE UPPER LEVEL FLOOR. THE DIAGRAM FOR THE EXISTING WILL BE REFERENCED IN THE CALCULATIONS BELOW FOR THE PROPOSED UPPER LEVEL FLOOR AREA.

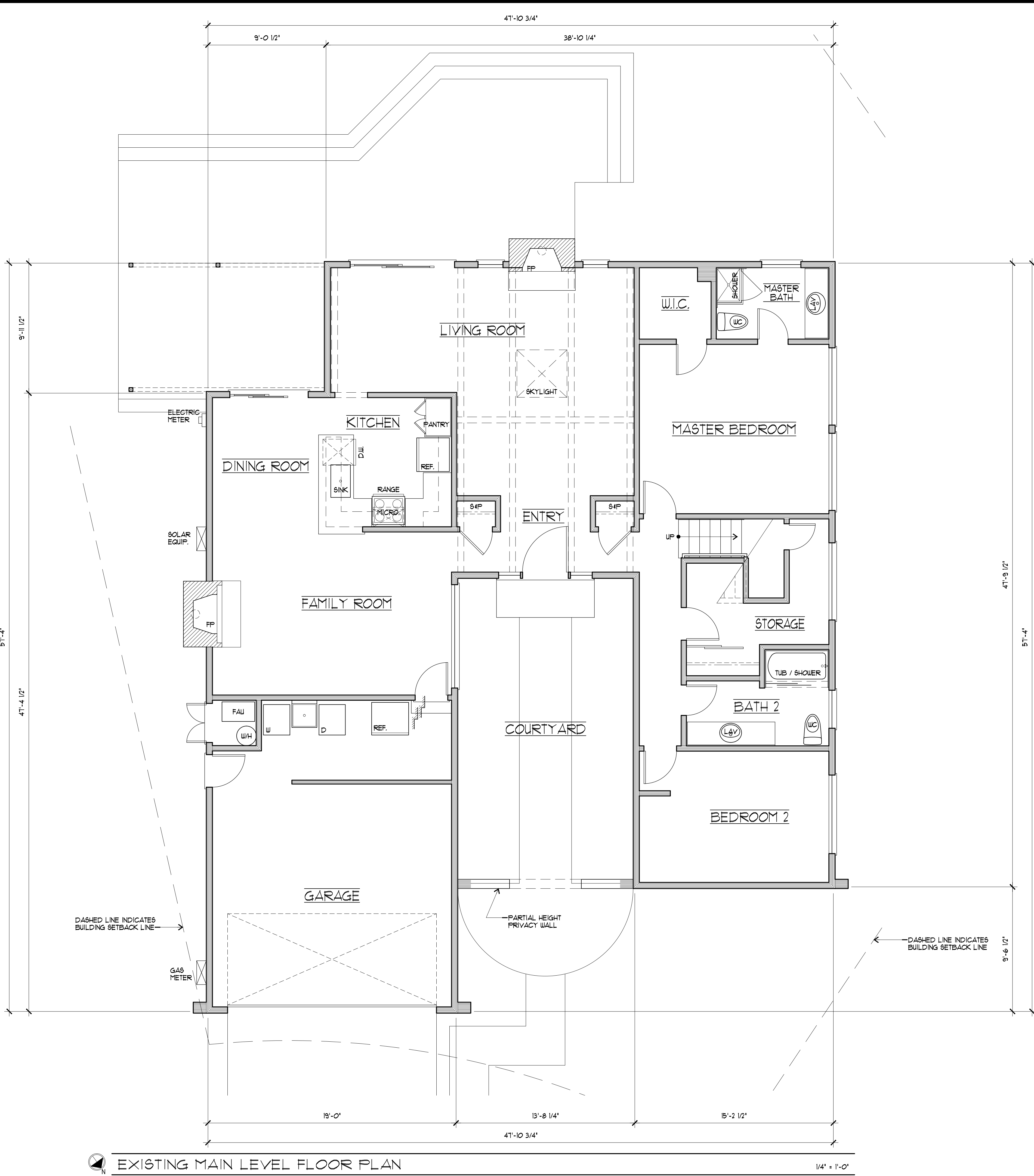
PROPOSED FLOOR AREA DIAGRAM N.T.S.

EXISTING FLOOR AREA CALCULATION

A. 19'-3" x 23'-11 5/8" =	461.40 SQ. FT. (GARAGE)
B. 19'-3" x 23'-7 1/8" =	455.38 SQ. FT.
C. 39'-1 1/4" x 9'-11 1/2" =	389.41 SQ. FT.
D. 28'-0 3/4" x 14'-3 3/4" =	419.51 SQ. FT.
E. 15'-5 1/2" x 23'-9 1/4" =	361.46 SQ. FT.
F. 15'-5 1/2" x 48'-0 1/2" =	142.64 SQ. FT. (UPPER LEVEL)
TOTAL	2,829.86 SQ. FT.

PROPOSED FLOOR AREA CALCULATION

A. 15'-5 1/2" x 48'-0 1/2" =	142.64 SQ. FT. (UPPER LEVEL)
B. 19'-3" x 23'-11 5/8" =	461.40 SQ. FT. (GARAGE)
C. 19'-3" x 23'-7 1/8" =	455.38 SQ. FT.
D. 39'-1 1/4" x 9'-11 1/2" =	389.41 SQ. FT.
E. 28'-0 3/4" x 14'-3 3/4" =	419.51 SQ. FT.
F. 15'-5 1/2" x 23'-9 1/4" =	361.46 SQ. FT.
G. 16'-1 1/2" x 21'-3 1/2" =	343.33 SQ. FT.
H. 6'-0" x 10'-11 3/4" =	65.88 SQ. FT.
I. 11'-9 1/4" x 18'-0 1/2" =	212.31 SQ. FT.
J. 12'-7" x 18'-0 1/2" =	113.51 SQ. FT.
K. 14'-2 3/4" x 21'-3 1/2" =	151.48 SQ. FT.
TOTAL	3,716.49 SQ. FT.



EXISTING MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"



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DESIGNERS OF FINE HOMES
1951 LOS GATOS BLVD., SUITE 1 LOS GATOS, CALIFORNIA 95032
TEL: 408.556.5500 FAX: 408.556.5115

EXISTING UPPER LEVEL FLOOR PLAN

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1311 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
M.D.P.

CHECKED BY:
B.B.

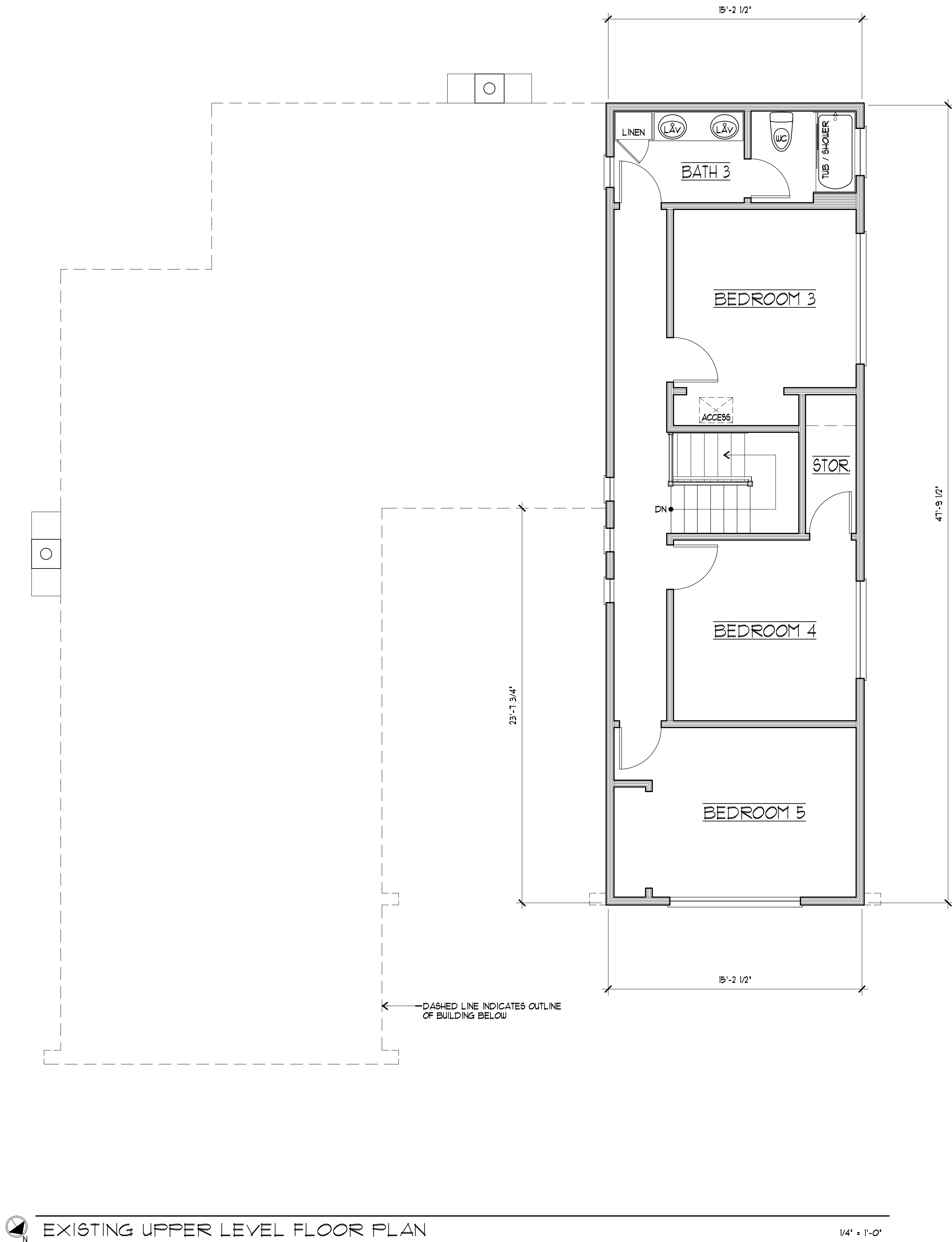
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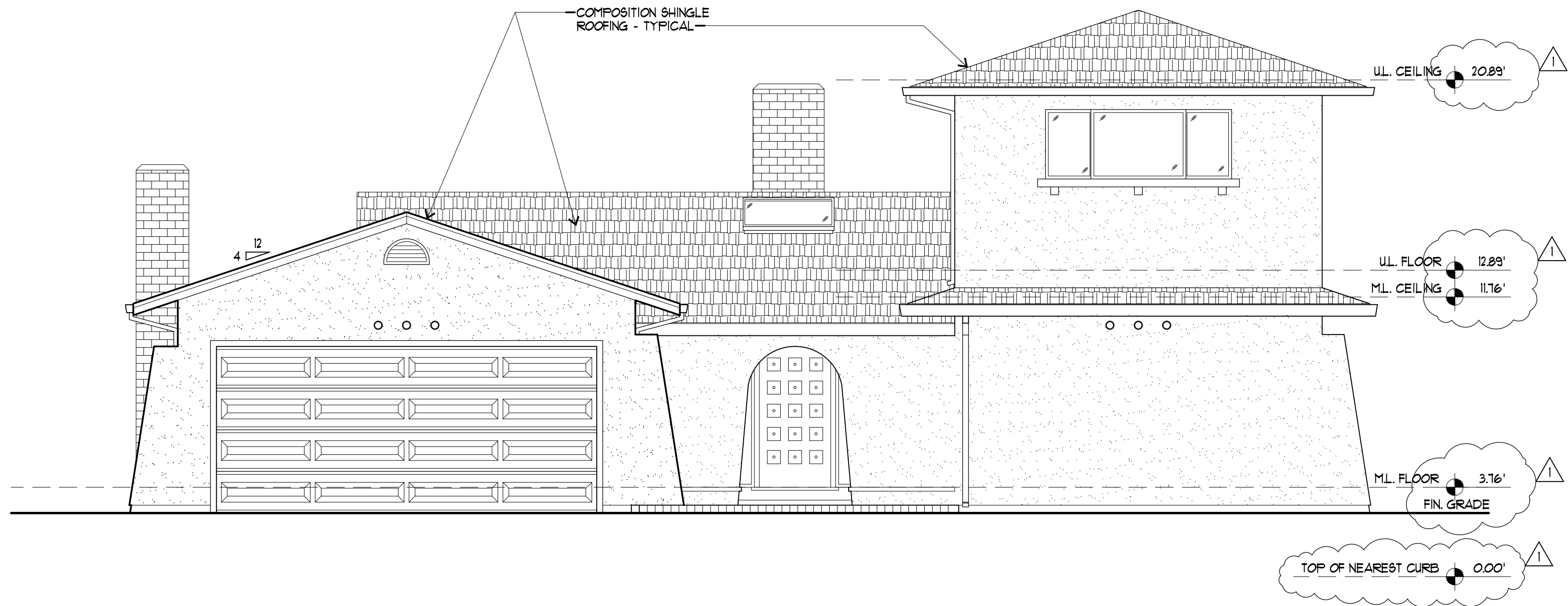
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OF 11 SHEETS



REVISIONS	BY
△ P.R.C. COMMENTS MARCH 21, 2011	MDP.



EXISTING FRONT ELEVATION

1/4" = 1'-0"



EXISTING REAR ELEVATION

1/4" = 1'-0"

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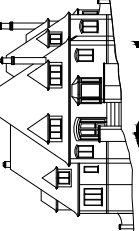
EXISTING FRONT ELEVATION
EXISTING REAR ELEVATION

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1371 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
ARA.
CHECKED BY:
BB.
DATE:
FEBRUARY 14, 2017
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AS NOTED
JOB NO.:
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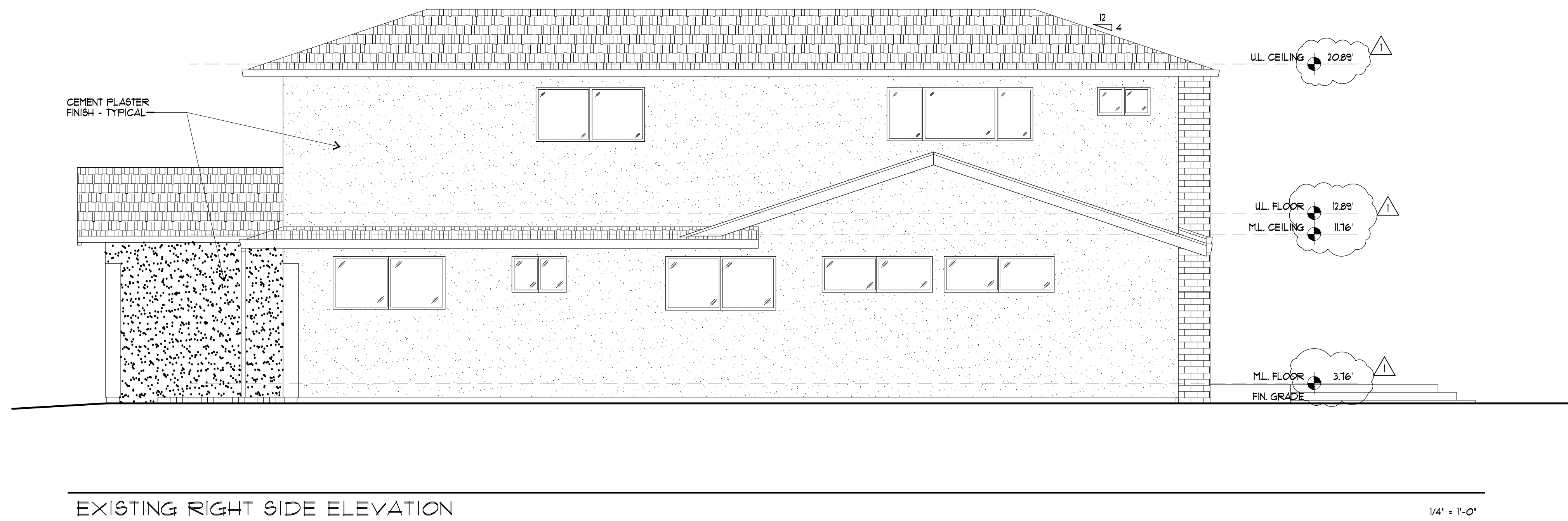
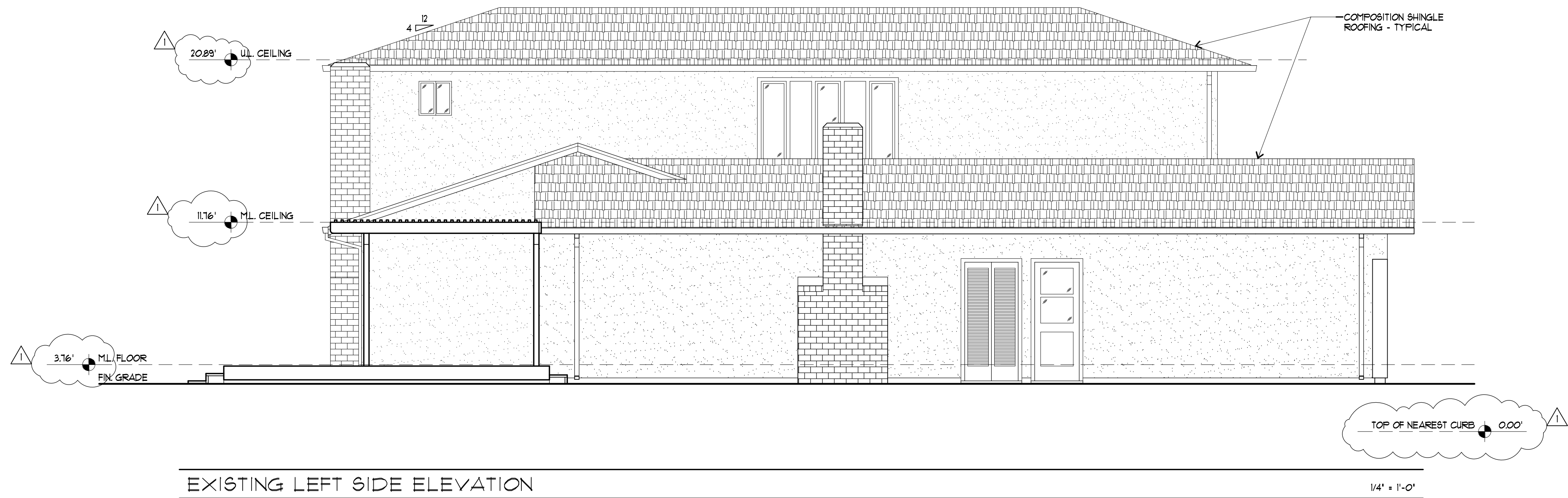
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DESIGNERS OF FINE HOMES
1961 LOS GATOS BLVD., SUITE 1 LOS GATOS, CALIFORNIA 95032
TEL: 408.556.5500 FAX: 408.556.5115

EXISTING RIGHT SIDE ELEVATION
EXISTING LEFT SIDE ELEVATION

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1311 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

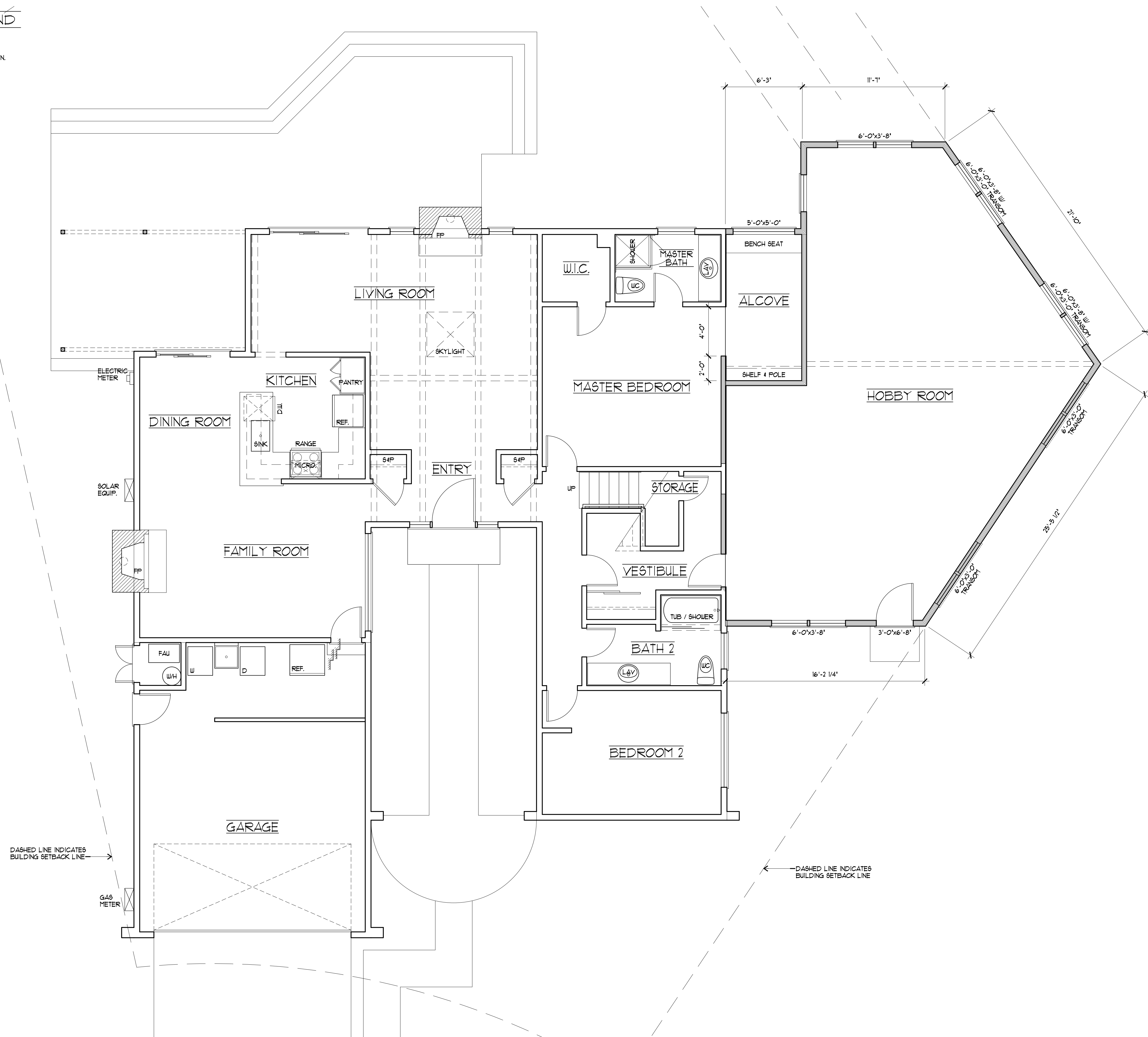
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FEBRUARY 14, 2011
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16-010
SHEET:
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OF
11
SHEETS



FLOOR PLAN LEGEND

- INDICATES NEW STUD WALL.
INDICATES EXISTING STUD WALL TO REMAIN.



PROPOSED MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

REVISIONS	BY



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DESIGNERS OF FINE HOMES
1951 LOS GATOS BLVD., SUITE 1 LOS GATOS, CALIFORNIA 95032
TEL: 408.556.5500 FAX: 408.556.5115

PROPOSED ROOF PLAN

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1311 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
ARA

CHECKED BY:
BB

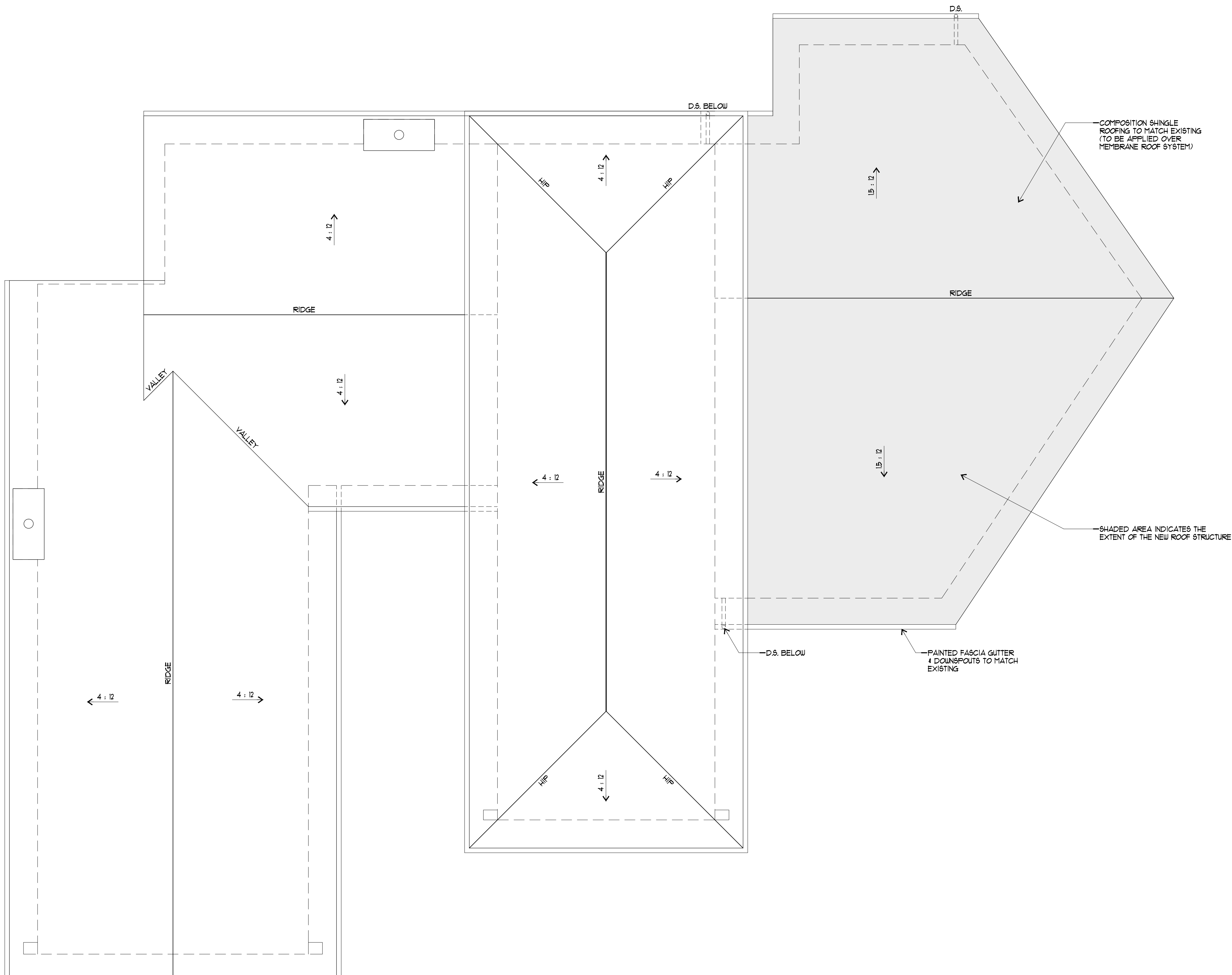
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FEBRUARY 14, 2017

SCALE:
AS NOTED

JOB NO:
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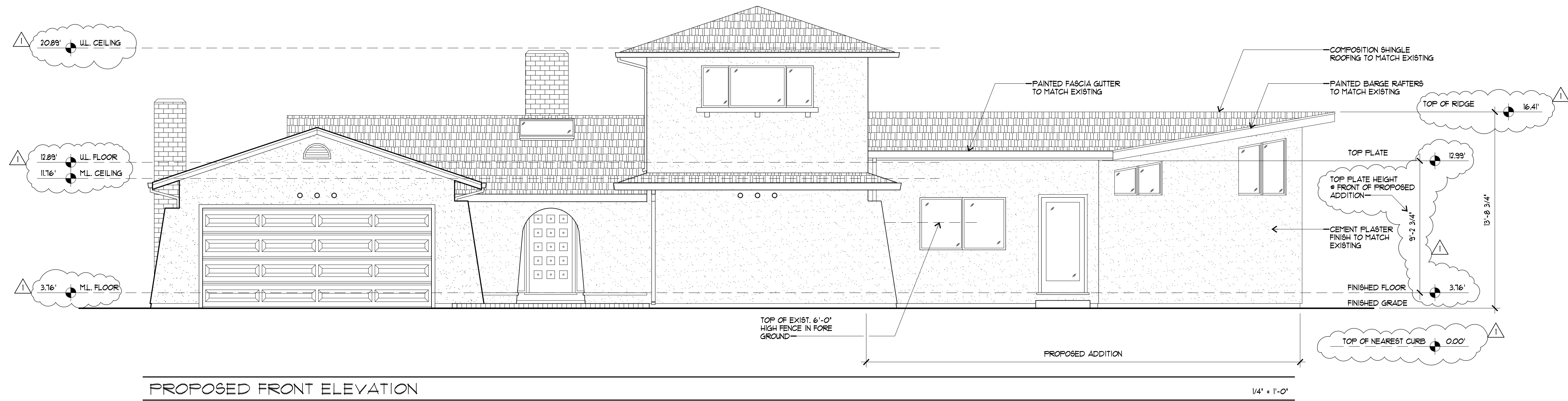
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OF 11 SHEETS

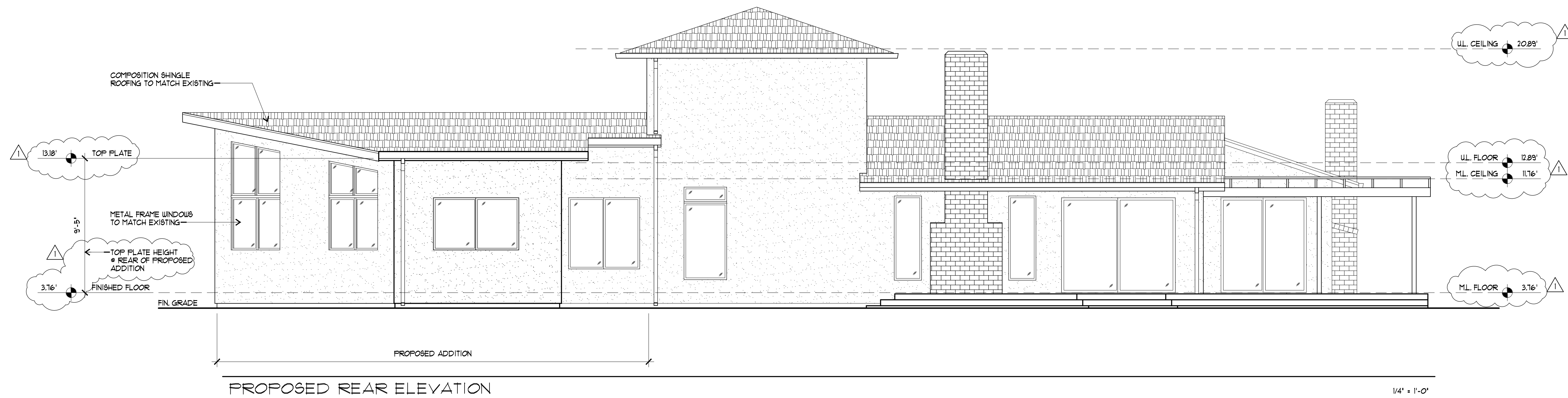


PROPOSED ROOF PLAN

1/8" = 1'-0"



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

REVISIONS	BY
△ P.R.C. COMMENTS MARCH 21, 2017	M.D.P.



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TEL: 408.556.5500 FAX: 408.556.5115

PROPOSED RIGHT SIDE ELEVATION
PROPOSED LEFT SIDE ELEVATION

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1371 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
M.D.P.

CHECKED BY:
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DATE:
FEBRUARY 14, 2017

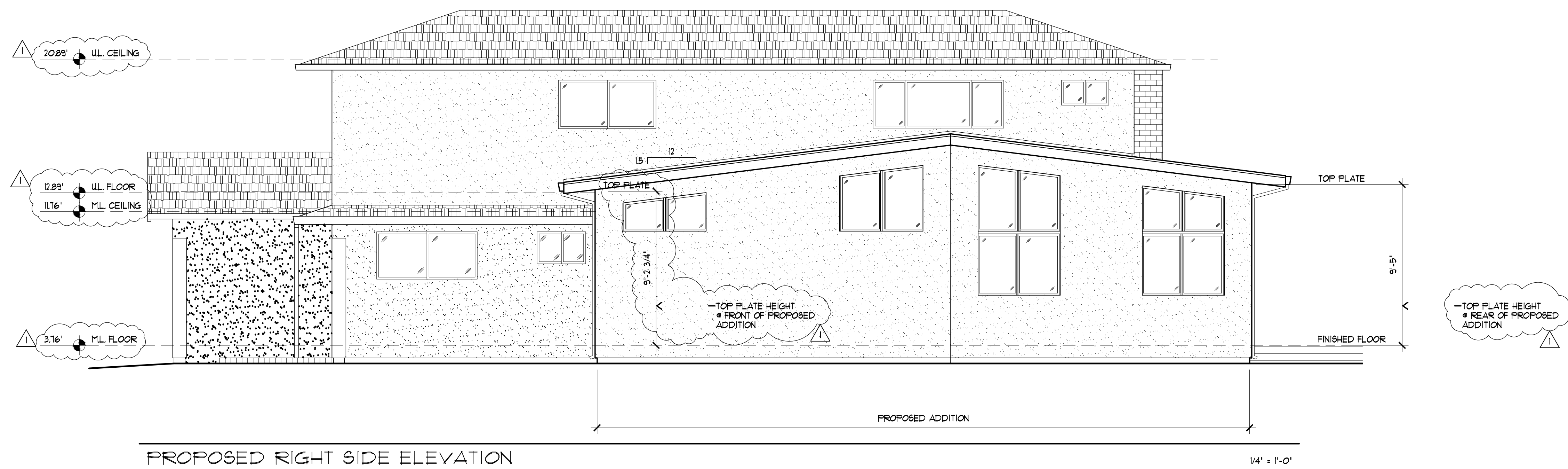
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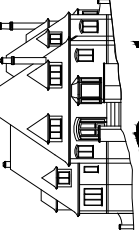
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9

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11

SHEETS



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DESIGNERS OF FINE HOMES
19611 LOS GATOS BLVD., SUITE 111 LOS GATOS, CALIFORNIA 95032
TEL: 408.556.5500 FAX: 408.556.5115

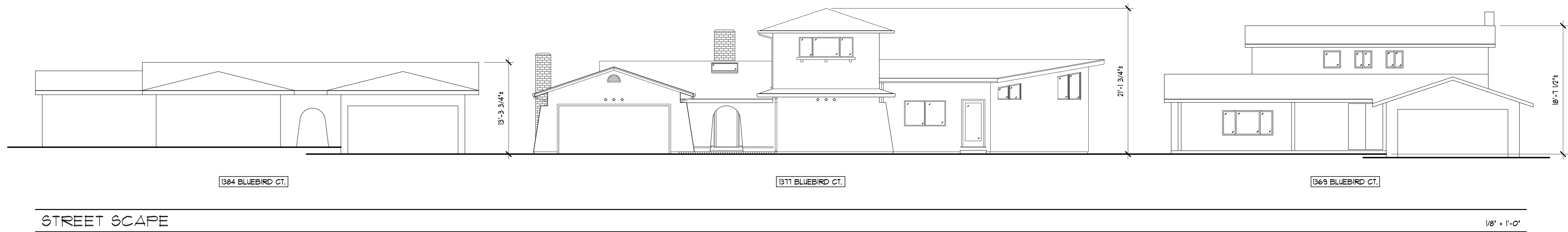
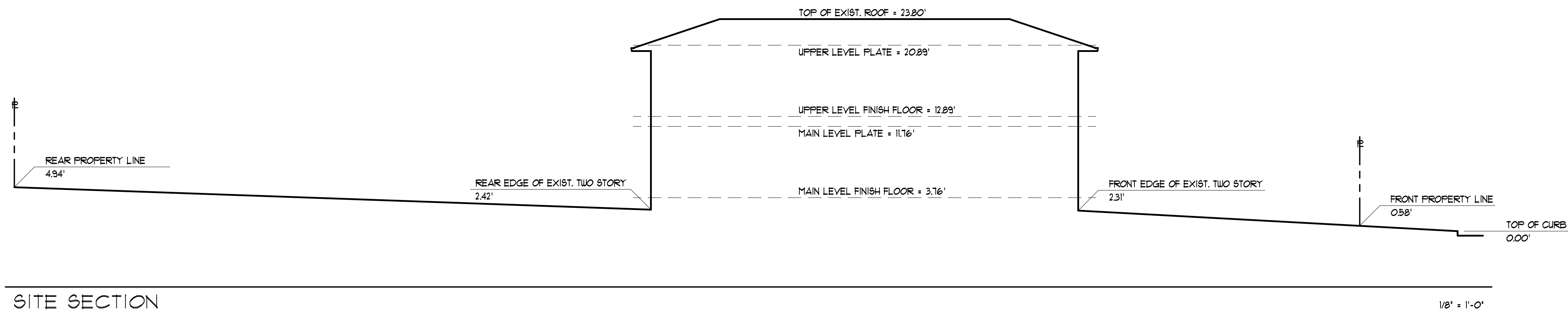
SITE SECTION
STREET SCAPE

A PROPOSED REMODEL TO:
THE LAZAR RESIDENCE
1311 BLUEBIRD COURT
SUNNYVALE, CALIFORNIA

DRAWN BY:
M.D.P.
CHECKED BY:
B.B.
DATE:
FEBRUARY 14, 2017
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16-010
SHEET:

10

OF 11 SHEETS



This is to inform you of the intended use of my proposed 800 + square foot addition to our house.

I am about to retire. I am an amateur musician, playing recorders and violas da gamba, both relatively quiet instruments. I would like a nice space to practice music and play with friends.

I also am an amateur photographer. I would like room to print and display my photographs.


I also would like to use the space as a home theater for both TV and listening to music.

My wife's hobby is card-making. She would also like some space for all her supplies, tools and as a workspace.

The space is not plumbed and will not be used as an accessory unit.

Thanks for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Bill Lazar". The signature is written in a cursive, flowing style.

Bill and Marilee Lazar

1377 Bluebird Ct.

Sunnyvale, CA 94087

Bill.Lazar@gmail.com

Street address	House SF	Garage SF	Total SF	Lot SF	FAR	Zoning	Proposed FAR
1353 Bluebird Ct	1578	456	2034	6760	30%	R0	
1361 Bluebird Ct	1578	456	2034	6240	33%	R0	
<i>1369 Bluebird Ct</i>	2092	456	2548	6555	39%	R0	
1377 Bluebird Ct	2486	456	2947	10750	27%	R0	33%
<i>1384 Bluebird Ct</i>	2265	446	2711	7500	36%	R0	
1376 Bluebird Ct	2092	456	2548	9200	28%	R0	
1368 Bluebird Ct	2165	466	2631	6762	39%	R0	
1360 Bluebird Ct	1578	456	2034	6180	33%	R0	
1352 Bluebird Ct	1578	456	2034	6760	30%	R0	
<i>139 Carlisle Way</i>	2059	420	2479	6000	41%	R1.5	
<i>141 Carlisle Way</i>	1578	456	2034	6000	34%	R0	
<i>147 Carlisle Way</i>	1800	427	2227	6000	37%	R0	
<i>1368 Avoset Ter</i>	2059	420	2479	5359	46%	R1.5	
1364 Avoset Ter	2419	420	2839	4477	63%	R1.5	

Project site shown in **BOLD** and adjacent homes shown in *italics*



City of Sunnyvale

Agenda Item &

17-0520

Agenda Date: 5/8/2017

REPORT TO THE PLANNING COMMISSION

File #: 2017-7012

Location: 1467 Dartshire Court (APN: 309-117-075)

Applicant / Owner: Moe Jalili (applicant) / Mohan Akella (owner)

Proposed Project:

DESIGN REVIEW PERMIT: to allow a 333-square foot one and two-story addition to an existing two-story home resulting in a 50% FAR (2,715 square foot of living area and 418 square feet garage) on a 6,322-square foot lot.

Environmental Review: Categorically exempt from CEQA pursuant to Section Class 1, 15301 (Existing Facilities) and Class 3, Section 15303 (New Construction of Small Structures) of the California Environmental Quality Act (CEQA).

Project Planner: Cindy Hom, (408) 730-7411, chom@sunnyvale.ca.gov

General Plan: Residential Low Density (0-7 du/ac)

Existing Site Conditions: Single Family Residence

Surrounding Land Uses

North: Single Family Residence

South: Single Family Residence

East: Single Family Residence

West: Single Family Residence

Issues: Floor Area Ratio

Staff Recommendation: *Approve Design Review based on the Findings with the recommended Conditions in Attachment 4.*

BACKGROUND

Site Context

The project site is on a 6,322-square foot residential lot located on the west side of Dartshire Court, within the Panama Park neighborhood. Currently, the lot is developed with a 2,800-square foot two-story home and two car garage. The existing neighborhood includes a blend of one and two-story homes consisting of traditional ranch and cottage style architecture. Some of the common design elements found in the neighborhood include asymmetrical buildings, steep gable roof forms, wood siding and stucco facades.

Existing Conditions/Permit History

The existing home was built in 1980 as a two-story residence that provided approximately 2,382-square feet of living area and a 418-square foot two car garage. There were no previous planning

permits granted for this site except for building permits that were issued for minor repairs and interior modifications.

Description of Proposed Project

The project proposes to add 176 square feet to the first floor and 183-square feet addition to the second floor. The purpose of the addition is to allow the following modifications:

- An open floor plan between the living room, kitchen and family room and allow one additional bedroom to be provided on the first floor.
- Enlargement of existing 2nd floor bedroom and master suite bathroom.

The proposed additions result in a 50% FAR and 39% lot coverage. The application is submitted pursuant to Sunnyvale Municipal Code (SMC) Chapter 19.80 (Design Review) which requires Planning Commission review and approval for homes that exceed the 45% FAR or 3,600 square foot limitation for the R-0 Zoning District. The purpose of the design review is to ensure neighborhood compatibility as well as compliance with Zoning development standards and Single Family Home Design Techniques.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Data Table of the project.

DISCUSSION

Development Standards

The proposed project complies with the applicable development standards as set forth in the Sunnyvale Municipal Code. Compliance with the R-0 development standards are summarized in the Project Data Table located in Attachment 2. Floor Area Ratios over 45% in the single-family zoning districts are allowed with Planning Commission review and approved.

Floor Area Ratio

The project is within an area that is composed of one and two-story homes with FARs that range between 35% and 65%, with an average FAR of 47% and gross floor areas that range from 2,203 square feet to 4,088 square feet with an average gross floor area of 2,980 square feet (Attachment 6). Based on the context of the surrounding neighborhood, there is already an established high FAR precedent in the neighborhood.

The proposed 50% FAR would not appear to be out of character considering the home is surrounded by other two-story homes with FARs that are greater than 47%. The project has been designed to maintain sensitivity and provide some design consistency. To minimize the perception of bulk and mass, the new home is designed with:

- 8-foot wall plate heights on the first and second floor so that the proposed home does not appear tall or disproportionate in scale.
- The required second floor setbacks so that there is adequate transition from neighbors.
- A majority of the proposed new second story windows consist of smaller, high sill windows except for one bedroom window shown on the left elevation. All windows provide adequate

setbacks from neighboring homes and are obscured by are existing mature trees.

- Similar roof forms, roof pitch, materials and finishes so that there is design compatibility with the neighborhood.

Staff recommends as a condition of approval, that the final colors and materials selection shall be subject to approval by the Community Development Director.

Architecture and Site layout

The project is located on a standard interior lot. No site or landscaping changes are proposed with this application. The project includes minor exterior changes to the left and rear elevation of the home to accommodate a one and two-story addition. The overall site layout, architectural style, building form and ornamentation remains relatively the same and in keeping with the existing steep, asymmetrical concrete tiled roof and stucco body with foam trim.

Privacy

The anticipated privacy impacts are minimal in that new windows on the second floor of the left and rear elevation consist mainly of smaller and high sill windows. Although one of the new window located on the left elevation interfaces with the rear yard of a neighboring home (870 Dartshire Way), it is setback 7 feet from the property line and approximately another 20 feet from the neighbor's rear facing windows. The size of the window is required for emergency egress. Additionally, there is a row of mature trees that help provides some screening.

Solar Access

SMC 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The proposed new two-story home will have no impact on the solar access for nearby properties.

Applicable Design Guidelines and Policy Documents

The proposed home is consistent with the adopted Single-Family Design Techniques since the proposed design maintains the existing form and materials of the house. Staff has included findings for the Single-Family Design Techniques in Attachment 3.

ENVIRONMENTAL REVIEW

The project is categorically exempt from further environmental review under Section 15301 and Section 15303 (New Construction of Small Structures) of the California Environmental Quality Act (CEQA). The project entails a 359-square foot addition to an existing two-story single family residence.

CONCLUSION

As proposed, the addition will not significantly alter the architectural character of the home, and it complies with the development standards for the R-0 Residential Zoning District and City's design guidelines. Staff was able to make the required Findings for the Design Review and recommends approval subject to the Conditions of Approval in Attachment 4.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

As of the date of staff report preparation, staff has received no comments from the neighbors.

Notice of Public Hearing

- Published in the Sun newspaper
- Posted on the site
- Mailed to 68 property owners and residents within 300 feet of the project site
- Provided at the Reference Section of the City's Public Library
- Posted on the City's website

Agenda

- Posted on the City's official notice bulletin board
- Posted on the City's website

ALTERNATIVES

1. Approve the Design Review subject to the recommended findings (Attachment 3) and Conditions of Approval (Attachment 4).
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant on what changes should be made.

RECOMMENDATION

Alternative 1: Approve the Design Review subject to the recommended findings (Attachment 3) and Conditions of Approval (Attachment 4).

Prepared by: Cindy Hom, Assistant Planner

Approved by: Gerri Caruso, Principal Planner

ATTACHMENTS

1. Vicinity and Noticing Map
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Site and Architectural Plans
6. Floor Area and Floor Area Ratio Table

KINGFISHER

CORNWALL

MALLARD

HAMPTON

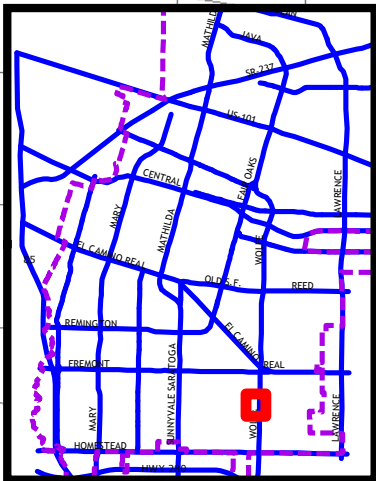
DARTSHIRE

MALLARD

MARION

WOLFE

ETON



2017-7012
 1467 Dartshire Ct. (APN 309-11-072)
 DESIGN REVIEW PERMIT
 300-ft Area Map

0 50 100 200 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	--
Zoning District	R-0	Same	--
Lot Size (s.f.)	6,322 s. f.	Same	---
Gross Floor Area (s.f.)	2,800 s. f.	3,133 s. f.	2,430 s. f. (Threshold for Planning Commission review)
Floor Area Ratio (FAR)	44 %	50 %	45% (Threshold for Planning Commission review)
Lot Coverage (%)	36%	39%	40% max.
Building Height (ft.)	23'-7"	24'-5"	30'-0" max.
No. of Stories	2	2	2 max.
Setbacks: First Floor			
Front (ft.)	25'-10"	Same	20'-0" min.
Left Side (ft.)	5'-3"	Same	4'-0" min
Right Side (ft.)	6'-5"	Same	4'-0" min
Combined	11'-8"	Same	11'-8" min
Rear (ft)	33'-5"	Same	20'-0" min.
Rear Yard Encroachment	0	Same	25 % of the required rear yard
Setbacks: Second Floor			
Front (ft.)	62'	Same	25'-0" min
Left Side (ft.)	12'-5"	7'	7'-0" min
Right Side (ft.)	13'-9"	Same	7'-0" min
Combined	20'-9"	20'-9"	17'-8" min
Rear (ft.)	33'-5"	33'-5"	20'-0" min
Parking			
Total Uncovered	2	Same	2 min.
Total Covered	2	Same	2 min.

Starred items indicate deviations from Sunnyvale Municipal Code requirement

Design Review

The proposed project is desirable in that the project's design and architecture conforms to the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The project maintains the existing design and orientation of the home's front entry and garage which face toward Dartshire Court. The proposed addition is located near the rear half of the home. The existing front entry is consistent with other homes within the neighborhood. <i>Finding Met</i>
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The proposed home has been designed to minimize the perception of bulk and mass through modest plate heights, providing adequate setbacks for the second story, and the use of architectural styles, materials and finishes that complement the neighborhood. <i>Finding Met</i>
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The design of the new two-story home respects the adjacent neighbors by providing setbacks for the second floor and utilizing window sizes and placements that minimize privacy impacts. <i>Finding Met</i>
<i>2.2.4 Minimize the visual impacts of parking.</i>	The project meets the minimum parking requirements of two covered and two uncovered parking spaces. The garage is forward of the porch entry and utilizes a panel door that is in keeping with the prevailing character of the neighborhood. <i>Finding Met</i>
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	The exterior materials are similar to those found in the neighborhood and applied in a manner that is consistent with the architecture. <i>Finding Met</i>
<i>2.2.7 Preserve mature landscaping</i>	The project intends to maintain existing on-site trees. Trees that are preserved will need to be protected in place. <i>Finding Met</i>

RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
MAY 8, 2017

Planning Application 2017-7012
1467 Dartshire Ct.
(APN: 309-117-075)

DESIGN REVIEW PERMIT: to allow a 333-square foot one and two-story addition to an existing two-story home resulting in a 50% FAR (2,715 square foot of living area and 418 square feet garage) on a 6,322-square foot lot.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not

exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

GC-4. NOTICE OF FEES PROTEST:

As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-5. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-6. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-7. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. TREE PROTECTION:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, the Permittee shall submit a tree protection plan for trees to be preserved on-site and shall include measures noted in Title 19 of the Sunnyvale Municipal Code such as but not limited to:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
- b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-8. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.

- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.

BP-9. EXTERIOR MATERIALS AND FINISHES REVIEW:

Final exterior building materials, finishes, color scheme, exterior and fixtures are subject to review and approval by the Director of Community Development prior to submittal of a building permit.
[COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of

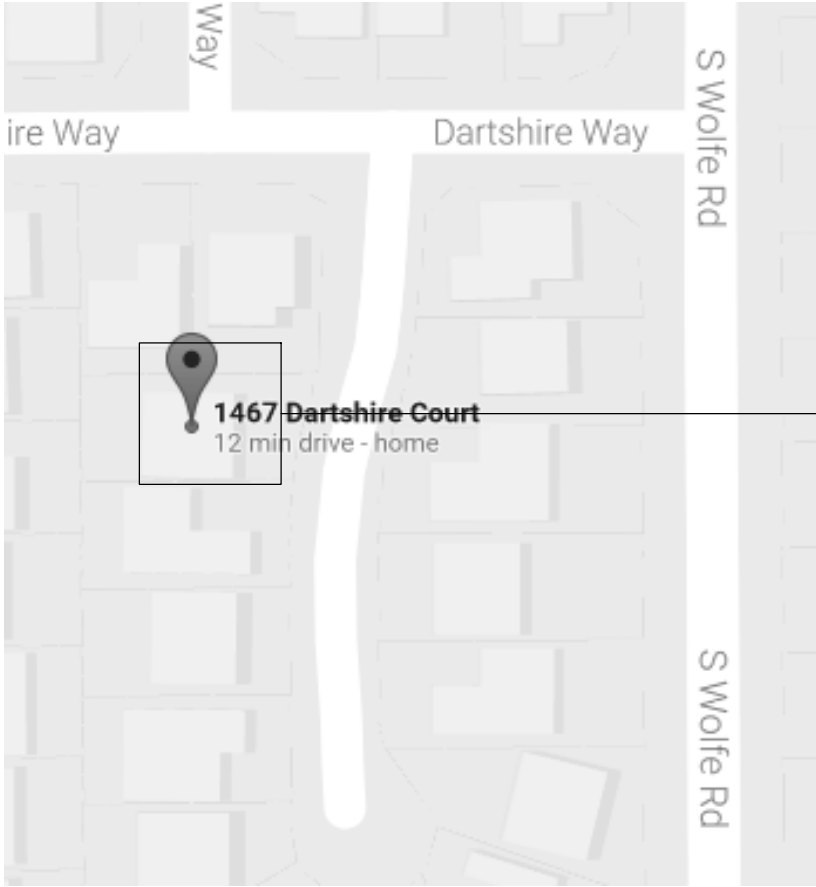
the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

VICINITY MAP:



EXTERIOR REMODELING FOR:

Mohan Akella RESIDENCE
1467 Dartshire CT, Sunnyvale CA
94087

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 309 - 117 -075
PROJECT TYPE: ADDITION & REMODELING

ZONING: R0
OCCUPANCY GROUP: R - 3/U
CONSTRUCTION TYPE: V - B
NUMBER OF FLOORS: TWO (2)STORY
FIRE PROTECTION: NOT SPRINKLER

CODE EDITIONS:

2013 CALIFORNIA BUILDING CODE.
2013 CALIFORNIA RESIDENTIAL CODE.
2013 CALIFORNIA MECHANICAL CODE.
2013 CALIFORNIA PLUMBING CODE.
2013 CALIFORNIA ELECTRICAL CODE.
2013 CALIFORNIA ENERGY CODE.
2013 CALIFORNIA FIRE CODE.
ANY OTHER APPLICABLE LOCAL AND STATE
LAWS AND REGULATIONS.

SCOPE OF WORK:

1.ADDITION 158 SQ AT LEFT SIDE AND 18
SQ AT FRONT OF THE FIRST FLOOR OF
HOUSE REMODELING KITCHEN & LIVING
AND FAMILY ROOM IN THE FIRST FLOOR.
2.ADDITION 183 SQ AT LEFT SIDE OF
HOUSE AND REMODELING BED ROOM AND
MASTER BATH.

AREA CALCULATION:

"E" 1S FLOOR LIVING AREA: 1868 SQF
"E" 2ND FLOOR LIVING AREA: 514 SQF
"E" GARAGE 418 SQF
"N" 1S FLOOR ADDITION: 162 SQF
"N" 2ND FLOOR ADDITION: 171 SQF
"N" 1ST FLOOR LIVING AREA: 2030 SQF
"N" 2ND FLOOR LIVING AREA: 685 SQF
"N" TOTAL LIVING AREA: 2715 SQF
"N" TOTAL BUILDING: 3133 SQF
LOT AREA: 6322 SQF

FLOOR AREA RATIO (FAR) =(3133/6322) X100= 49.55%

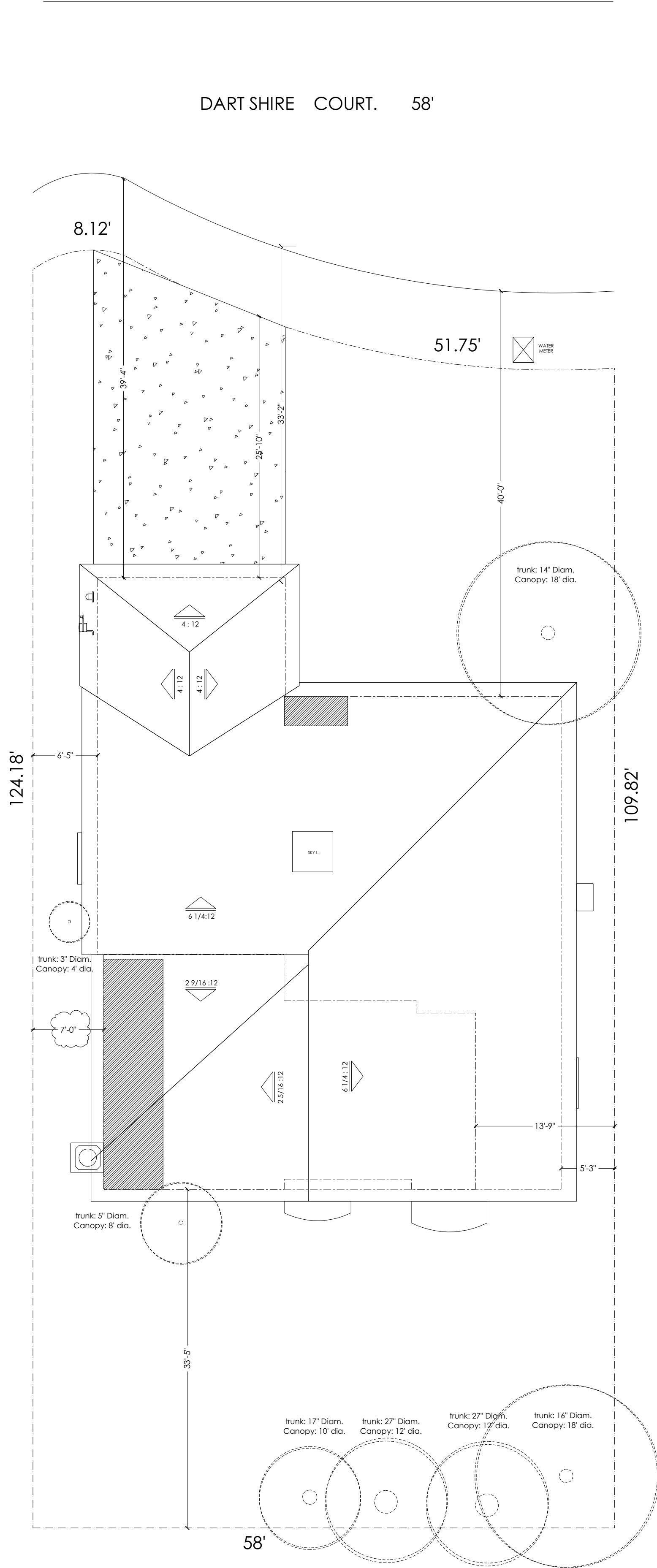
DRAWING INDEX:

A0: COVER SHEET & PROPOSED SITE PLAN
A0-1: EXISTING SITE PLAN
A1: EXISTING FIRST FLOOR PLAN
A1.1: EXISTING SECOND FLOOR PLAN
A1.2: EXISTING ELEVATIONS
A1.3: EXISTING ELEVATION
A2: PROPOSED FIRST FLOOR PLAN
A2.1: PROPOSED SECOND FLOOR PLAN
A3: PROPOSED ELEVATIONS
A3.1: PROPOSED ELEVATION
A4: PROPOSED SECTIONS
A5: 3D MODEL
A6: 3D MODEL
A7: SUN ANGLE
A8: ELEVATION
E1: ELECTRICAL PLAN

PROJECT CONTACT:

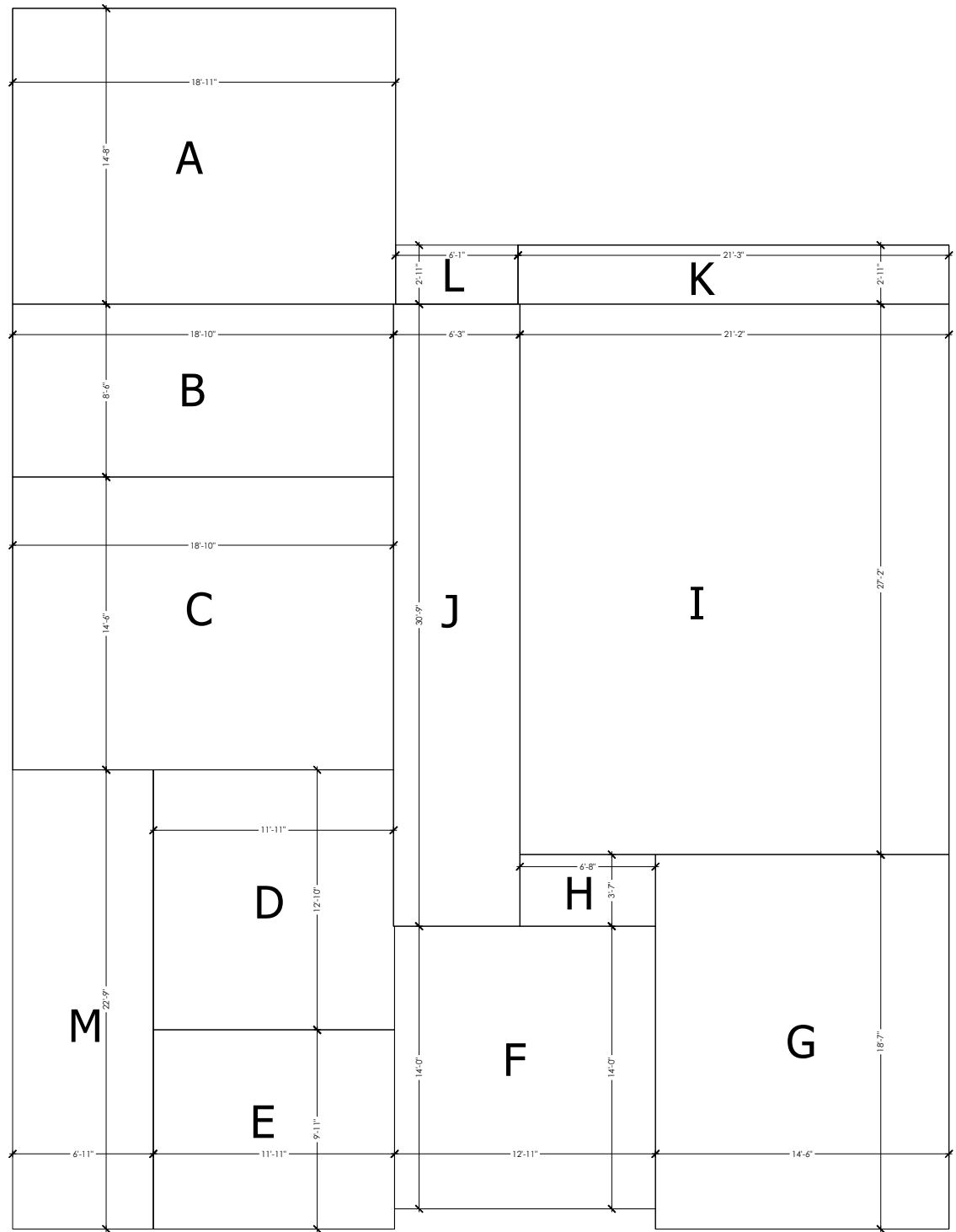
OWNER: Mohan Akella RESIDENCE
1467 Dartshire CT, Sunnyvale CA 94087

DESIGNER: PAB CONSTRUCTION INC.(408)499-6595
21060 HOMESTEAD RD #216 CUPERTINO CA 95014



PROPOSED SITE PLAN

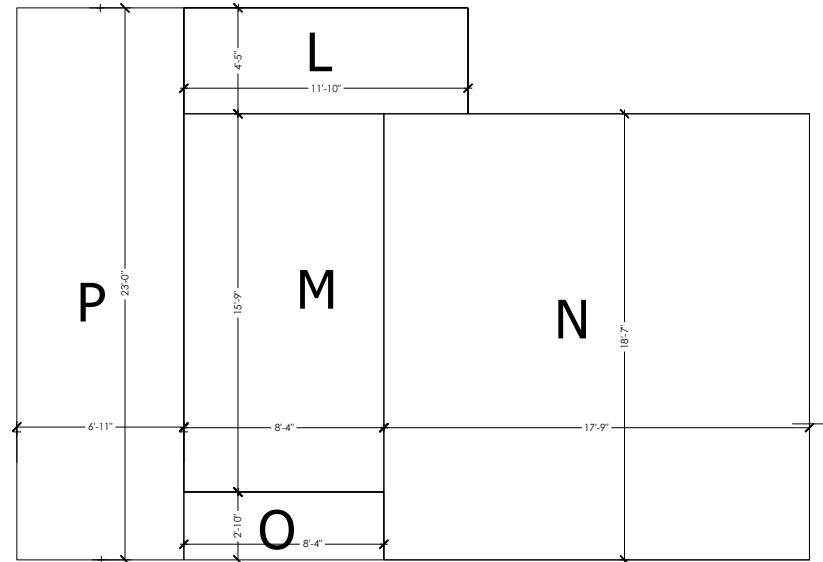
SC : 1/8" = 1'-0"



PROPOSED FIRS FLOOR

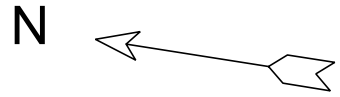
A	277	QF
B	161	QF
C	272	QF
D	154	QF
E	117	QF
F	180	QF
G	268	QF
H	24	QF
I	577	QF
J	194	QF
K	62	QF
L	18	QF
M	158	QF
TOTAL	2462	QF

LOT SIZE	6322	QF	40%	2528.8	QF
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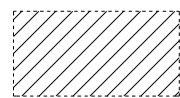
PROPOSED SECOND FLOOR

L	53	QF
M	131	QF
N	330	QF
P	160	QF
O	23	QF
TOTAL	697	QF



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



NEW ADDITION

PROPERTY LINE

BLDG 1st FLOOR FOOTPRINT LINE

BLDG 2nd FLOOR FOOTPRINT LINE

1st Floor

SHEET TITLE:
PROPOSED SITE & ROOF PLAN

PROJECT DESCRIPTION:
Mohan Akella REMODELING AND
ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

DATE:
04.03.2017

SCALE:
1/8"=1'

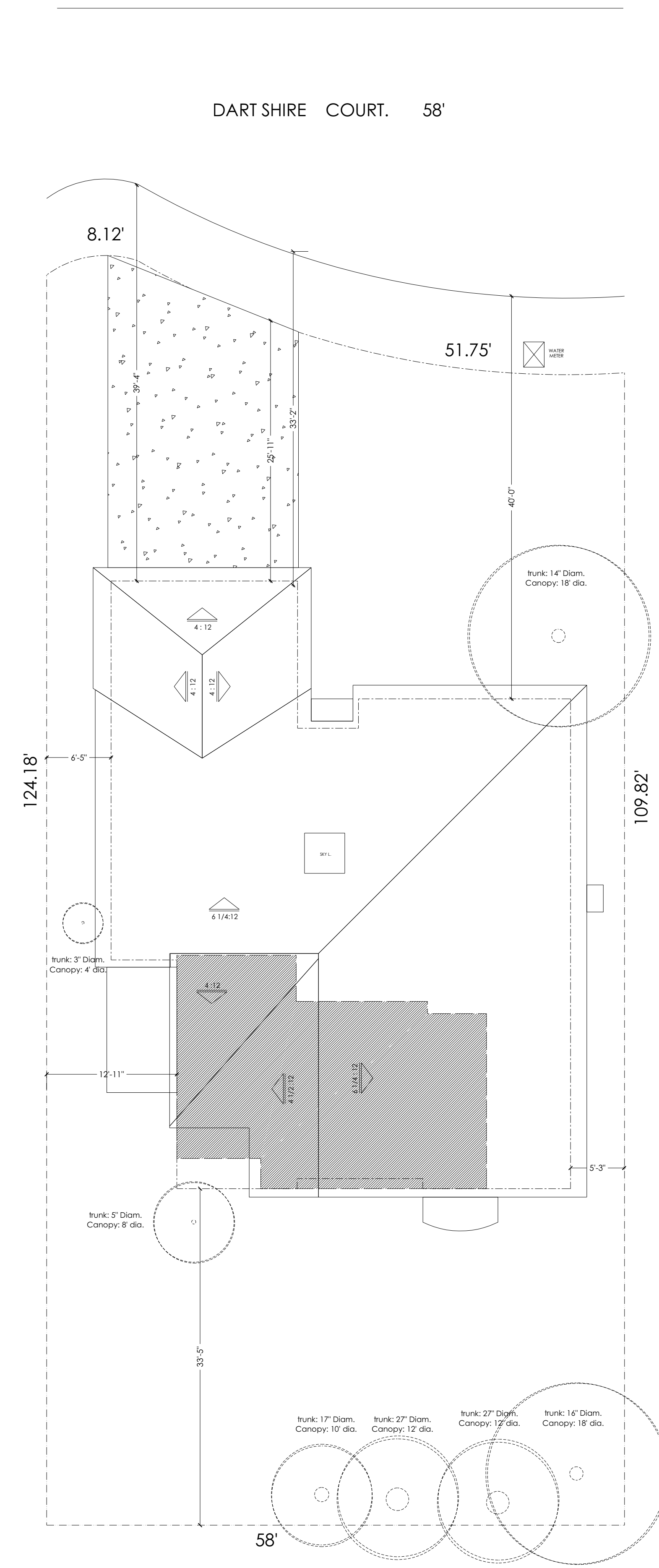
SHEET:

A-0

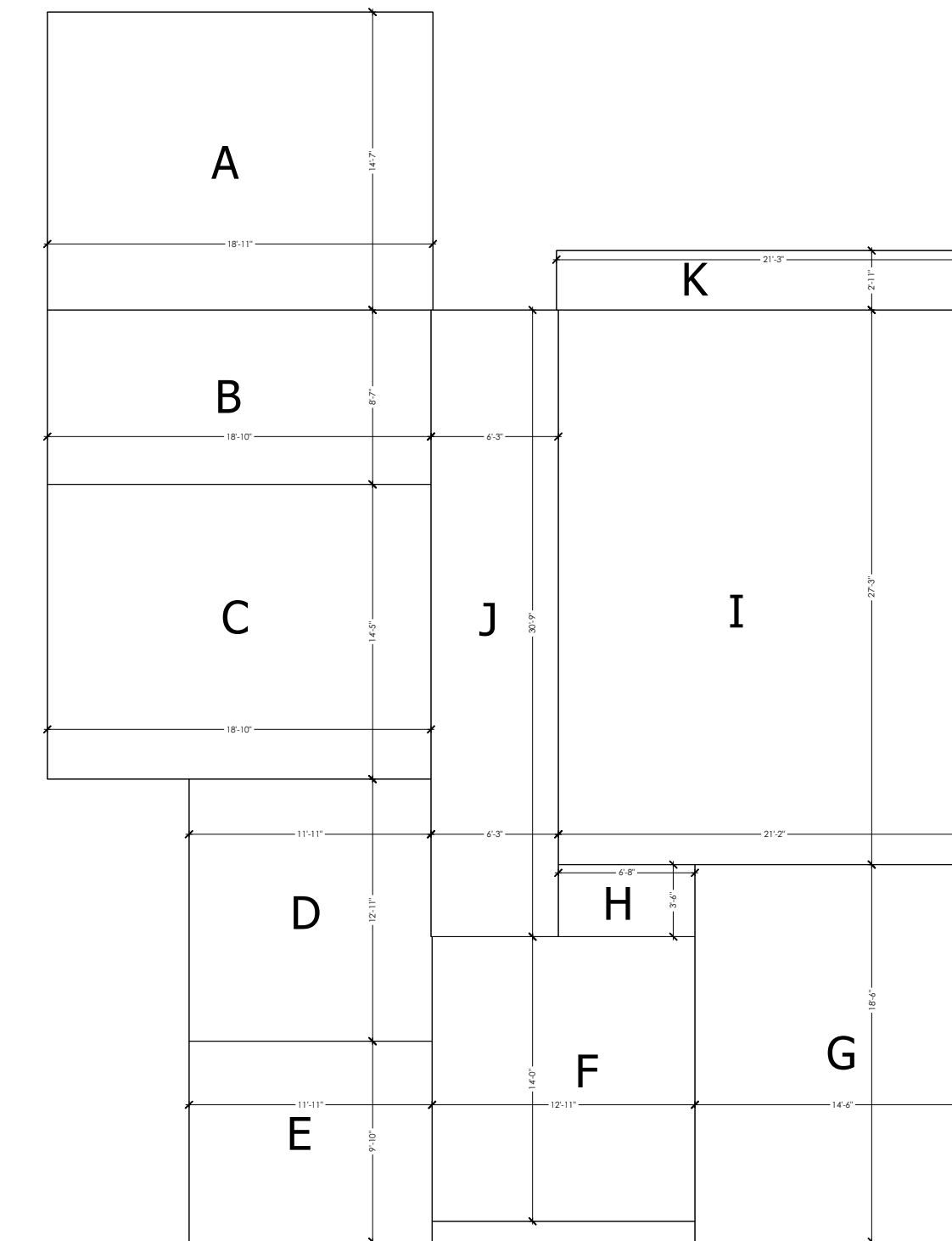
PAB CONSTRUCTION INC.
21060 HOMESTEAD RD #216
CUPERTINO, CA 95014
WWW.PABCONINC.COM
Tel 408-499-6595
Fax 408-542-9645



NO.	DESCRIPTION	DATE

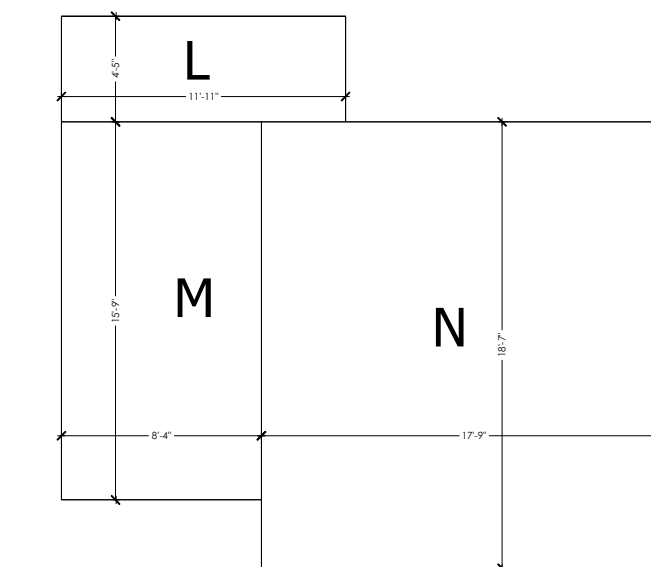


EXISTING SITE PLAN
SC : 1/8" = 1'-0"

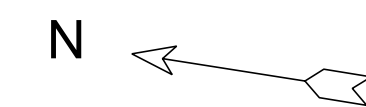


EXISTING FIRS FLOOR		
A	277	QF
B	161	QF
C	272	QF
D	154	QF
E	117	QF
F	180	QF
G	268	QF
H	24	QF
I	577	QF
J	194	QF
K	62	QF
TOTAL	2286	QF

LOT SIZE	6322	QF	40%	2528.8	QF
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EXISTING SECOND FLOOR		
L	53	QF
M	131	QF
N	330	QF
TOTAL	514	QF



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- 
 2nd FLOOR

 PROPERTY LINE

 BLDG 1st FLOOR FOOTPRINT LINE

 BLDG 2nd FLOOR FOOTPRINT LINE

1st Floor

[illegible]

PAB CONSTRUCTION INC.
21060 HOMESTEAD RD. #216
CUPERTINO, CA 95014
www.Pabconinc.com
Tel 408-499-6595
Fax 408-542-9645

SHEET TITLE:

EXISTING SITE & ROOF PLAN

PROJECT DESCRIPTION:

**Mohan Akella REMODELING AND
ADDITION**

1467 Dartshire Ct, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

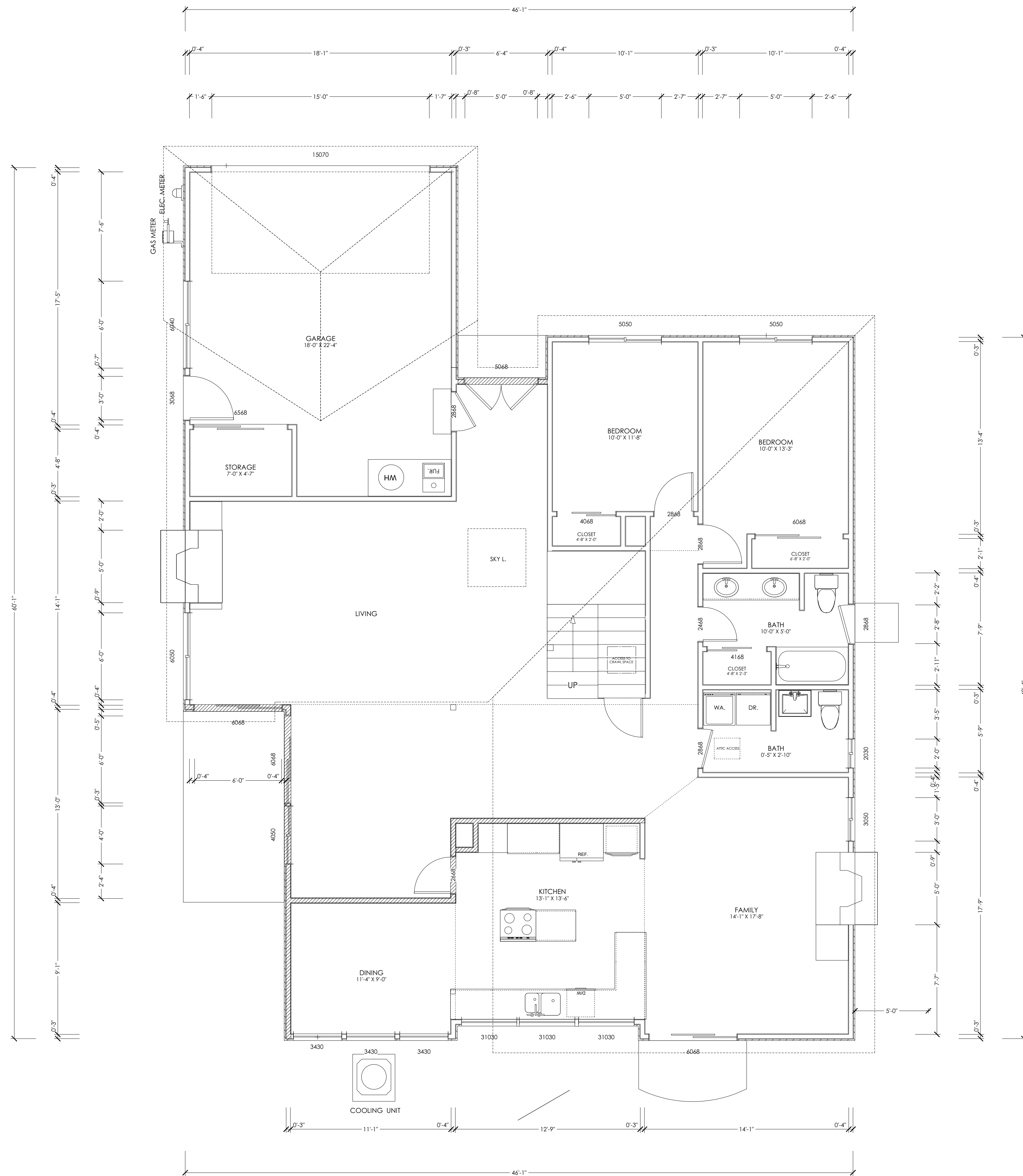
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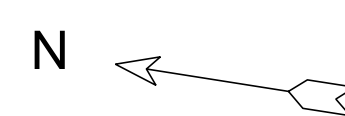
$$1/8'' = 1'$$

SHEET:

A-0-1



EXISTING 1ST PLAN
SC : 1/4" = 1'-0"



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

PAB CONSTRUCTION INC.
21060 HOMESTEAD RD. #216
CUPERTINO, CA 95014
WWW.PABCONINC.COM
Tel 408-499-6595
Fax 408-542-9645

SHEET TITLE:
EXISTING 1ST PLAN

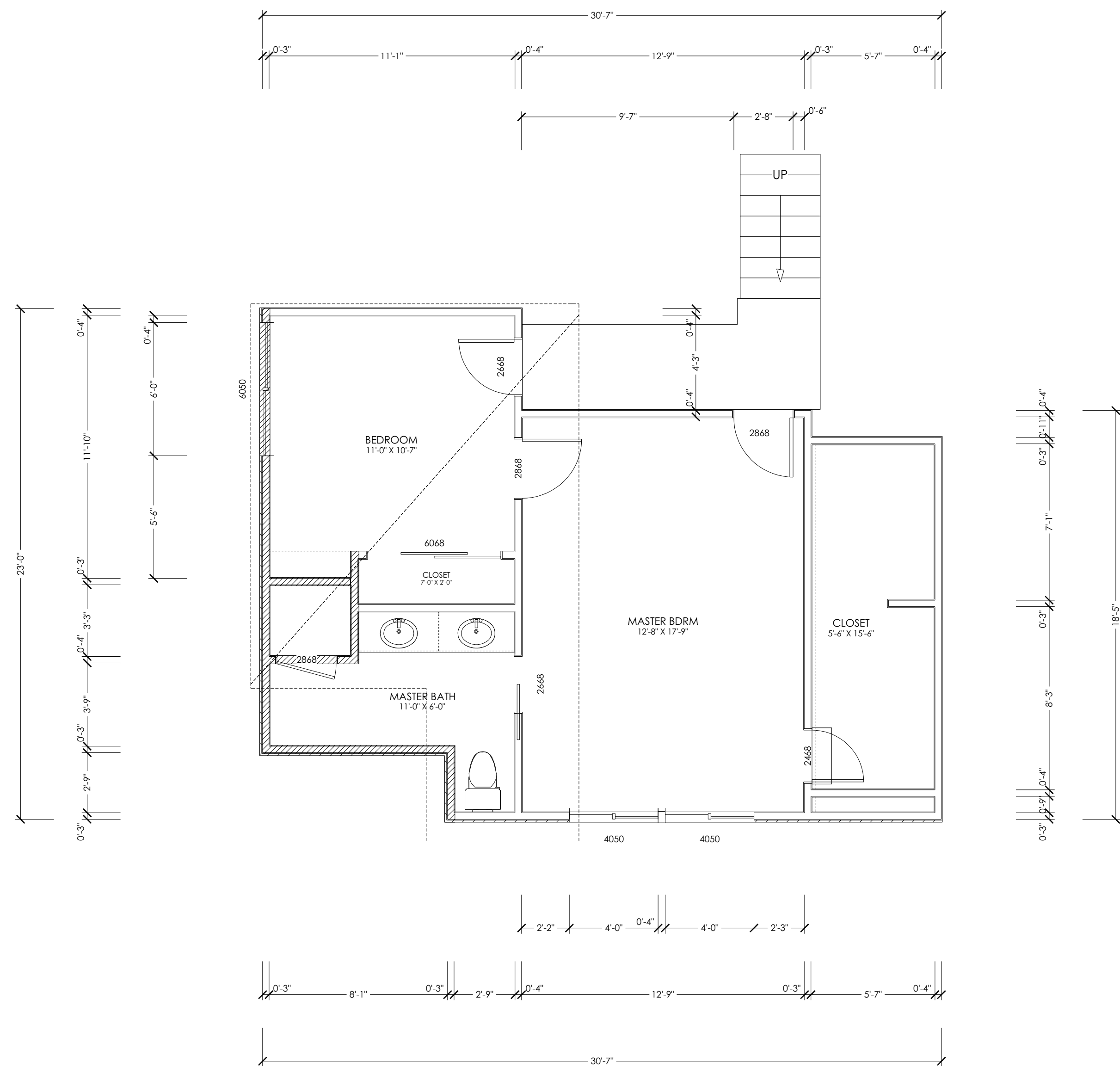
PROJECT DESCRIPTION:
Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

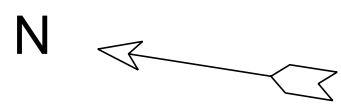
DATE:
04.03.2017

SCALE:
1/4"=1'

SHEET:
A-1



EXISTING 2ND PLAN
SC : 1/4" = 1'-0"



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

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SHEET TITLE:
EXISTING 2ND PLAN

PROJECT DESCRIPTION:
Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

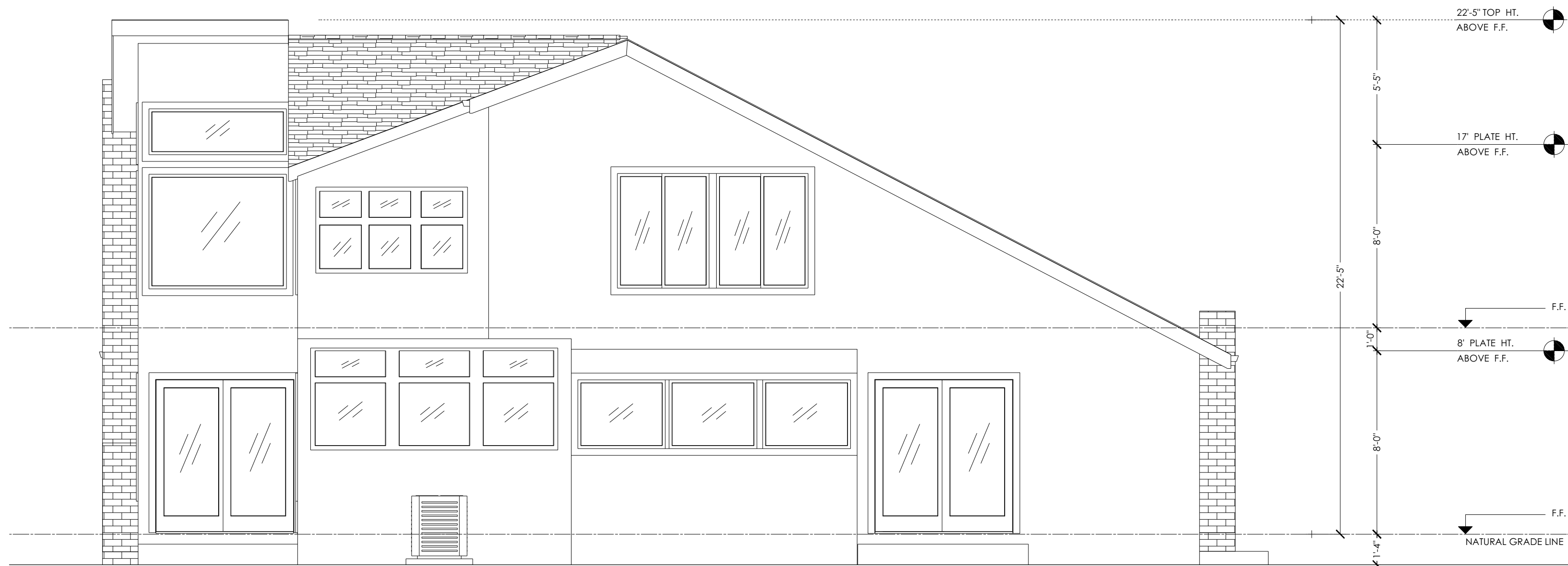
DATE:
04.03.2017

SCALE:
1/4"=1'

SHEET:
A-1.1



FRONT EXISTING ELEVATION
SC : 1/4" = 1'-0"



REAR EXISTING ELEVATION
SC : 1/4" = 1'-0"

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SHEET TITLE:
**EXISTING ELEVATION
PLAN**

PROJECT DESCRIPTION:
**Mohan Akella REMODELING AND
ADDITION**
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

DATE:
04.03.2017

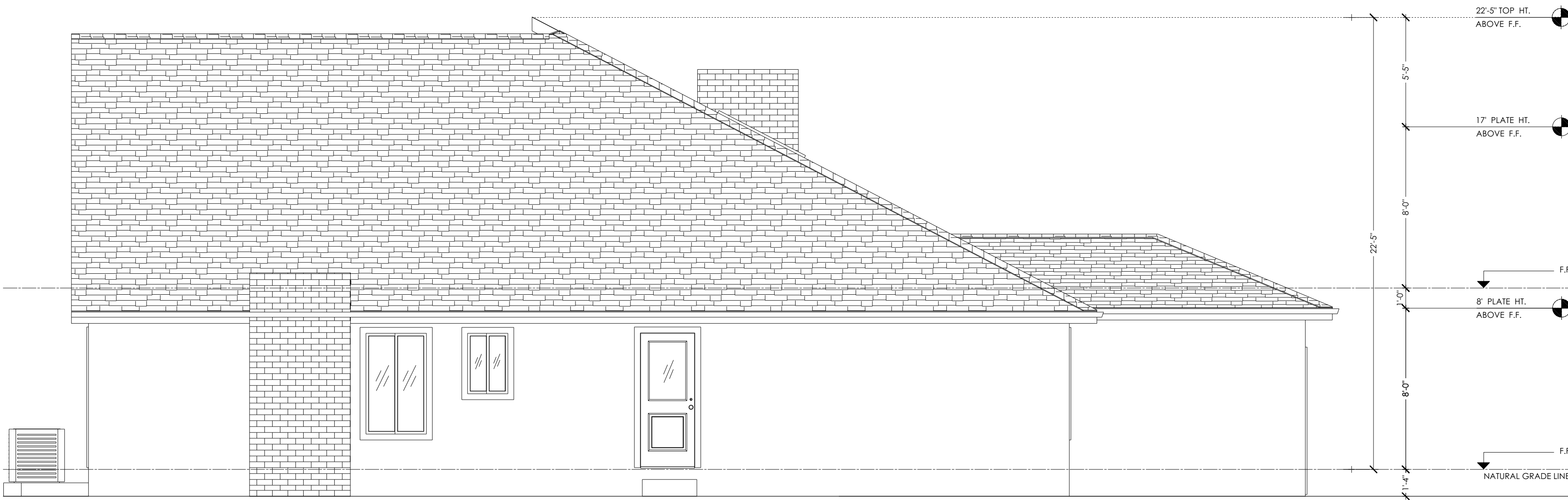
SCALE:
1/4"=1'

SHEET:

A-1.2




LEFT EXISTING ELEVATION
SC : 1/4" = 1'-0"



RIGHT EXISTING ELEVATION
SC : 1/4" = 1'-0"

NO.	DESCRIPTION	DATE



PAB
Construction Inc.

PAB CONSTRUCTION INC.
21060 HOMESTEAD RD. #216
CUPERTINO, CA 95014
WWW.PABCONINC.COM
Tel 408-499-6595
Fax 408-542-9645

SHEET TITLE:

EXISTING ELEVATION
PLAN

PROJECT DESCRIPTION:

Mohan Akella REMODELING AND
ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

04.03.2017

SCALE:

1/4"=1'

SHEET:

A-1.3

NOTES:

1- BASEMENTS (EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SQFT IN FLOOR AREA), HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. R310.1

- a. MIN. NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT. R310.1.2
b. MIN. NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH. R310.1.3
c. MIN. NET CLEAR OPENABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQFT. 310.1.1
d. OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES MEASURED FROM THE FLOOR. 310.1

2- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3-FEET BETWEEN THE COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS. CBC 1208.1

3- SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO THE HEIGHT NOT LESS THAN 72 INCHES(6 FT). CRC R307.2

4- THE DOOR BETWEEN GARAGE AND ENTRY REQUIRED TO BE SELF LATCHING AND SELF CLOSING, SOLID CORE DOOR NOT LESS THAN 1-3/8 INCH THICK.

5- THE MAXIMUM RISER HEIGHT CAN BE 7.75-INCHES. MINIMUM TREAD DEPTH CAN BE 10-INCHES. FOR ANY TREAD DEPTH LESS THAN 11-INCHES. A NOSING OF NOT LESS THAN 0.75-INCHES, BUT NOT MORE THAN 1.25-INCHES SHALL BE PROVIDED.

6- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CBC 2406.3. GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CBC 2406.3, #5

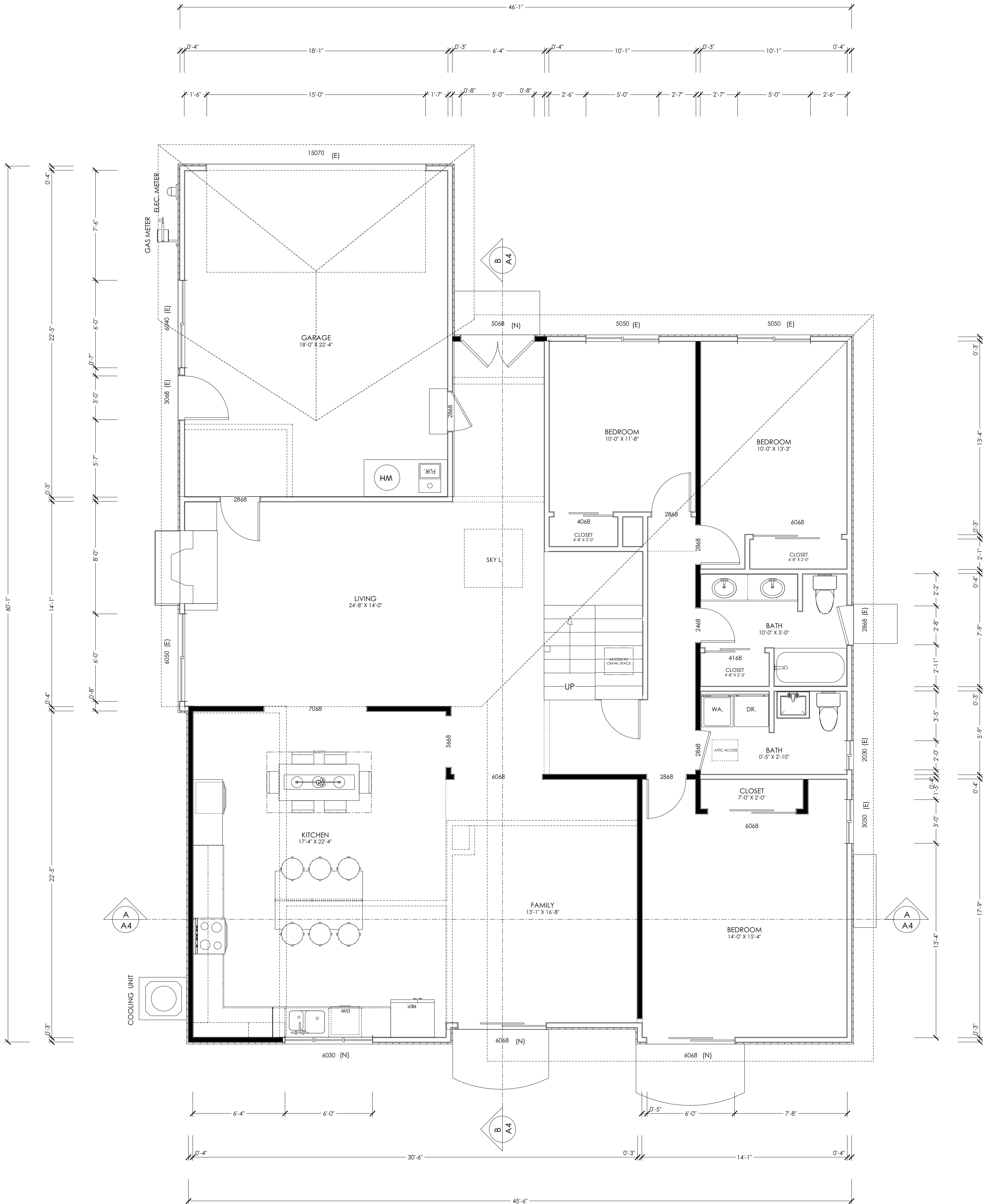
7- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24- INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (I.E. SIDE LIGHT AT NEW MAIN ENTRY DOOR) . CBC 2406.3, #6

8- MINIMUM 36" DEEP LANDING IN THE DIRECTION OF TRAVEL AT NEW EXTERIOR DOORS SHALL BE PROVIDED. LANDING TO BE NOT MORE THAN 7-¾ INCHES LOWER THAN THE DOOR'S THRESHOLD FOR IN-SWINGING AND SLIDING GLASS DOORS AND NOT MORE THAN 7" FOR IN-SWINGING AND MAIN ENTRY DOOR.

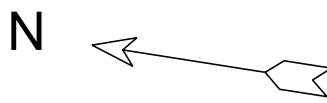
9- NEW ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT. CRC SEC. R311.2

10- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6
ALSO 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED.

- 11- BATHROOMS & KITCHEN:
11.1- 22" MIN SHOWER DOOR CLEARANCE.
11.2- TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.
11.3- LAVATORY FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
11.4- WATER CLOSETS TO HAVE A FLOW RATE OF 1.28 GALLONS/FLUSH OR LESS. (CALGREEN 4.303.1)
11.5 -CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD,ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS .
11.6- KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)



PROPOSED1 1ST FLOOR PLAN
SC : 1/4" = 1'-0"



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
EXISTING WALL TO BE REMOVED
NEW CONSTRUCTION WALL

NO.	DESCRIPTION	DATE

PAB Construction Inc.
PAB CONSTRUCTION INC.
21060 HOMESTEAD RD. #216
CUPERTINO, CA 95014
WWW.PABCONINC.COM
Tel 408-499-6595
Fax 408-542-9645

SHEET TITLE:
**PROPOSED 1ST
FLOOR PLAN**

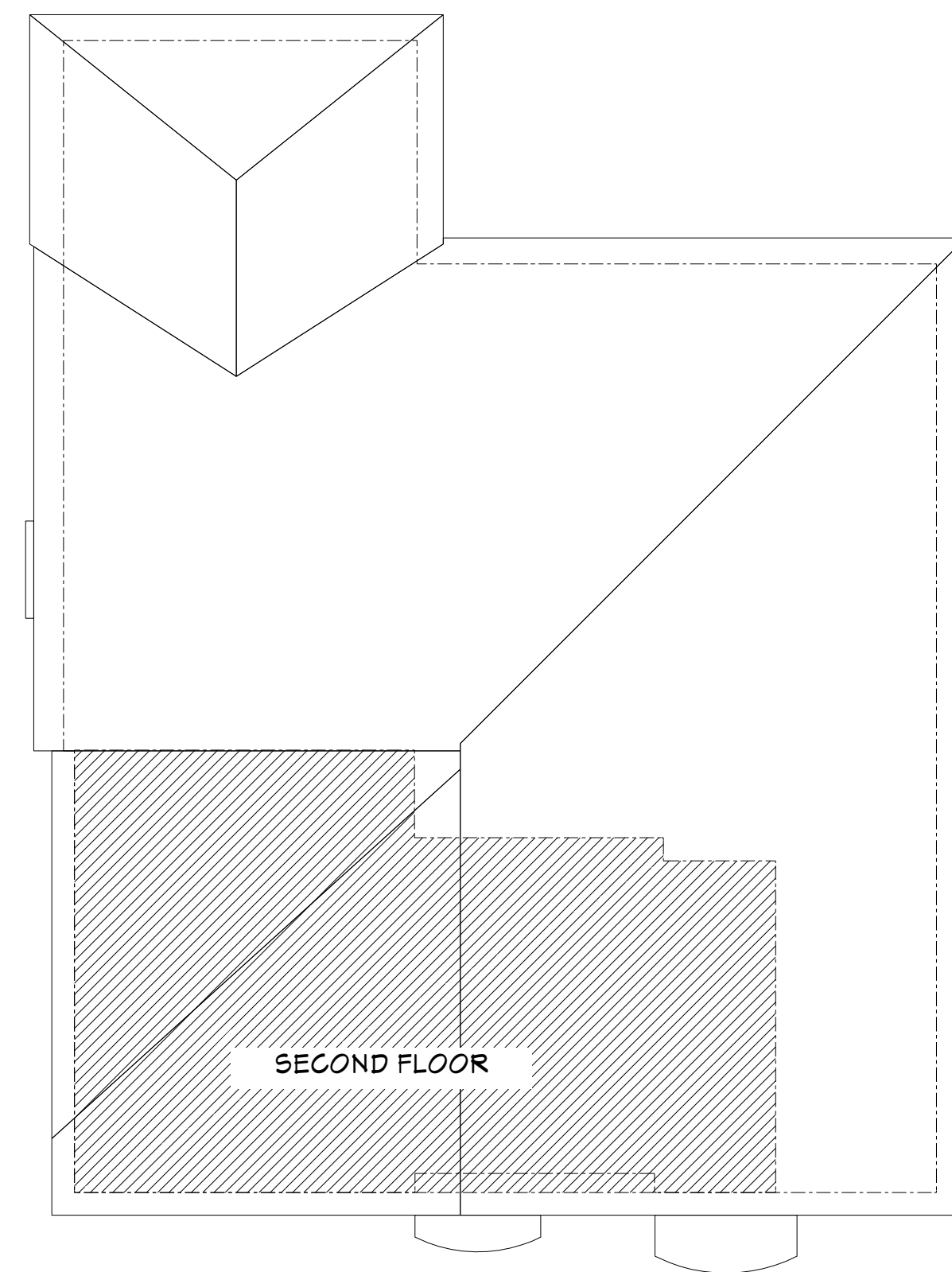
PROJECT DESCRIPTION:
**Mohan Akella REMODELING AND
ADDITION**
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

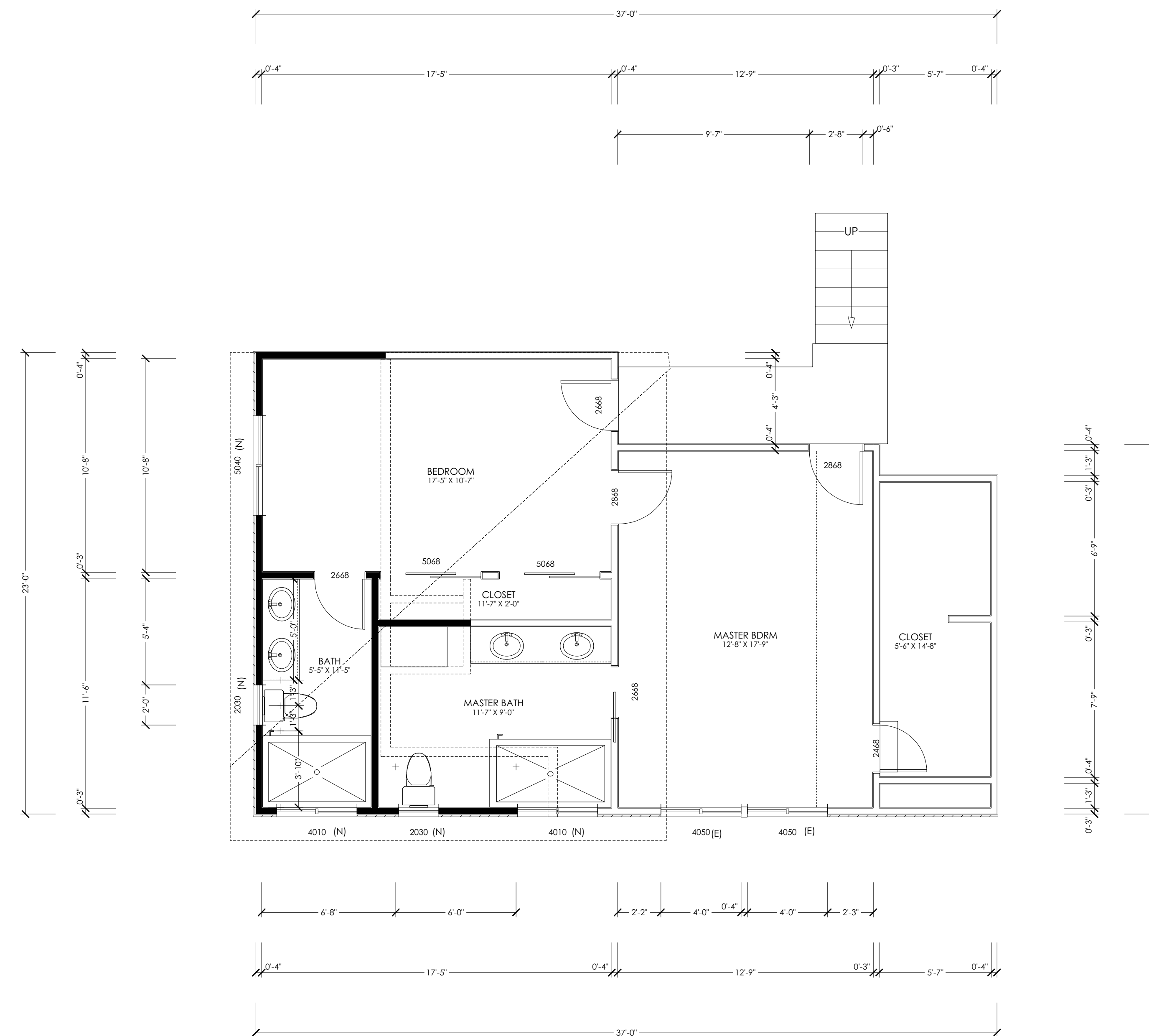
DATE:
04.03.2017

SCALE:
1/4"=1'

SHEET:
A-2



TOP VIEW



PROPOSED 2ND FLOOR PLAN
SC : 1/4" = 1'-0"

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21060 HOMESTEAD RD.#216
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Tel 408-499-6595
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TITLE: PROPOSED 2ND FLOOR PLAN

PROJECT DESCRIPTION:

Mohan Akella REMODELING AND ADDITION

1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

DATE:
04.03.2017

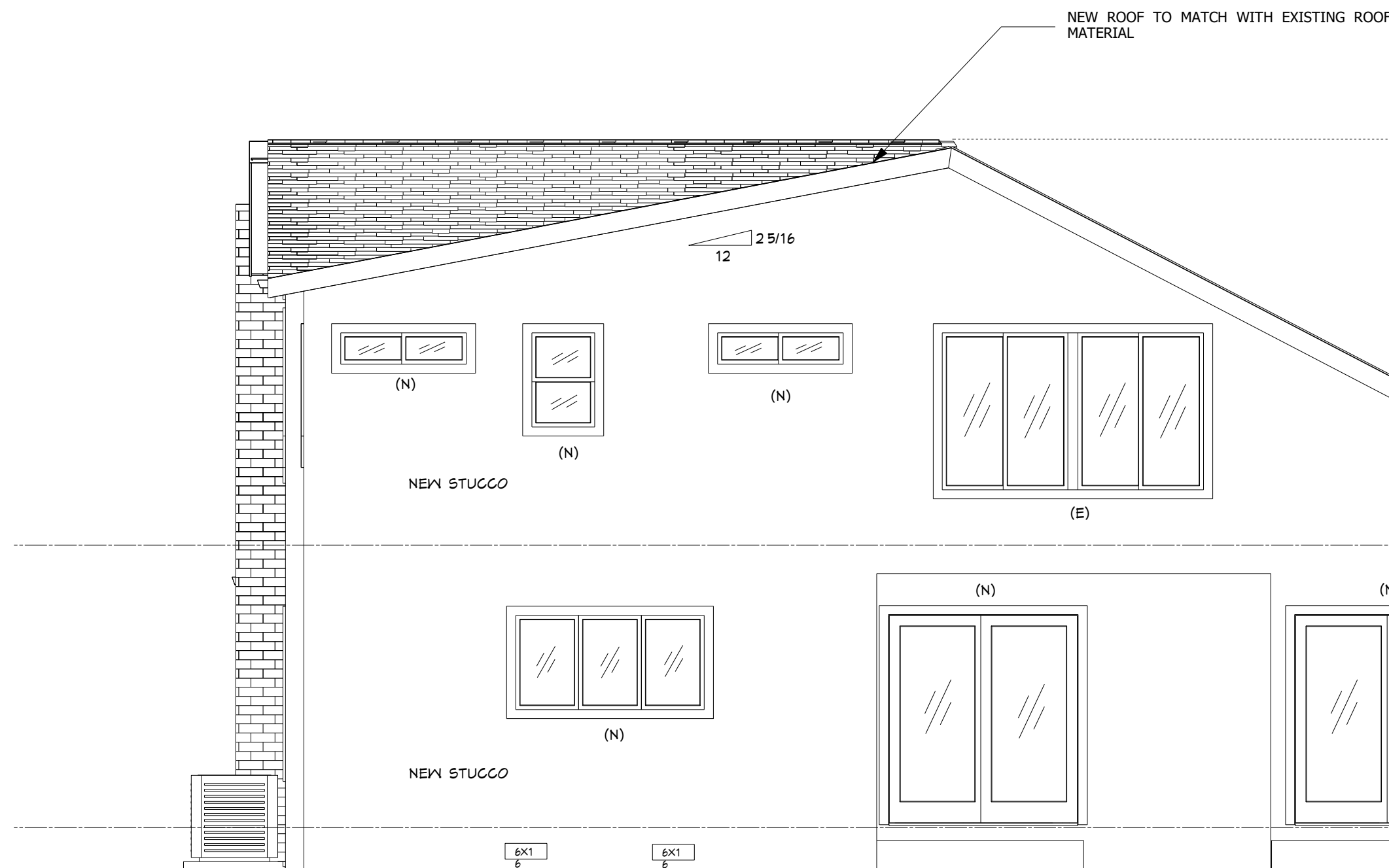
SCALE:
 $1/4" = 1'$

SHEET:

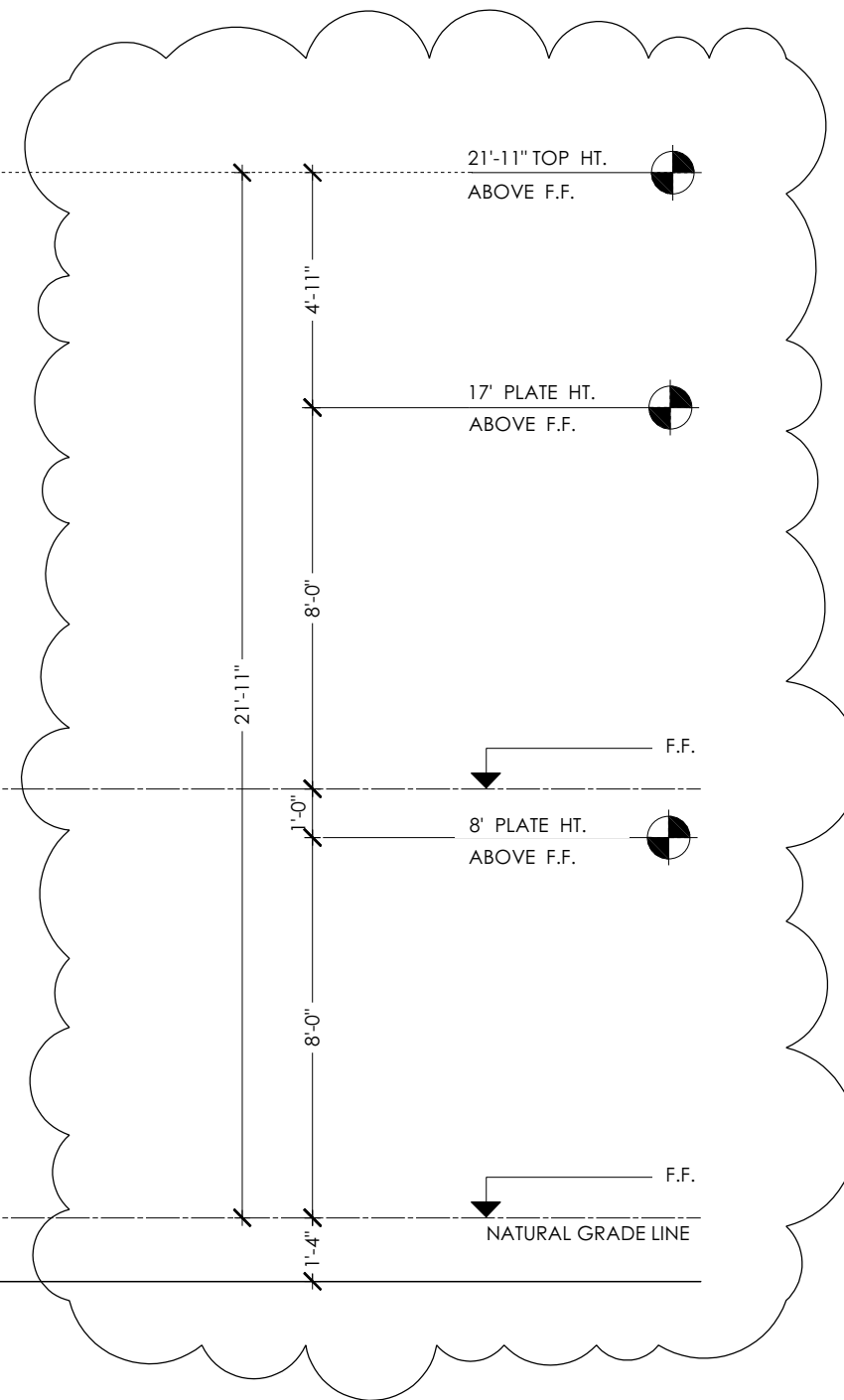
A-2.1



FRONT PROPOSED ELEVATION
SC : 1/4" = 1'-0"



REAR PROPOSED ELEVATION
SC : 1/4" = 1'-0"



NOTE : NEW ROOF MATERIAL WILL BE MATCH WITH EXISTING ROOF MATERIAL.

NOTE : ALL THE NEW EXTERIOR WALL MATERIAL WILL BE MATCHED WITH THE EXISTING (STUCCO WITH 7/8 INCH THICKNESS & TWO LAYERS GRADE D PAPER OVER THE PLYWOOD)

CRAWL SPACE VENTILATION CALC. :

NEW LIVING AREA : 158 SF.
VENT DIMENSION : (6' X 16') = 0.667 SF.
FORMULA : AREA (158) / 150 = REQUIRED VENTILATION AREA (1.05 SQF)
VENT NUMBERS = VENTILATION AREA (1) / VENT AREA (0.667) = 1.499 (2)

1ST FLOOR ATTIC VENTILATION CALC. :

FLAT CEILING AREA : 158 SF.
FORMULA : AREA (158) / 150 = REQUIRED VENTILATION AREA (1.053 SF.)
50% OF REQUIRED VENTILATION AREA (1.053 SF) = 0.526 SF.

50% OF THE VENTILATION TO OCCUR AT EAVE/CORNICE LINE, PER SEC.R 806.1 OF 2013 CRC.
METHOD A : ATTIC VENT (CIRCULAR VENT)
VENT DIMENSION : (12") = 0.022 SF.
VENT NUMBERS = VENTILATION AREA (0.523) / VENT AREA (0.022) = 23.94 (24)

50% OF THE VENTILATION TO OCCUR AT A LEVEL 3-FEET ABOVE THE EAVE/CORNICE LINE, PER SEC. R 806.1 OF 2013 CRC.
METHOD B : RIDGE VENT (EYEBROW VENT)
VENT DIMENSION : 18 SIN. PER LINEAR FOOT = 0.125 SF.
VENT LINEAR = VENTILATION AREA (0.523) / VENT AREA (0.125) = 4.208 FT.

2ND FLOOR ATTIC VENTILATION CALC. :

FLAT CEILING AREA : 183 SF.
FORMULA : AREA (183) / 150 = REQUIRED VENTILATION AREA (1.22 SF.)
50% OF REQUIRED VENTILATION AREA (1.22 SF) = 0.61 SF.

50% OF THE VENTILATION TO OCCUR AT EAVE/CORNICE LINE, PER SEC.R 806.1 OF 2010 CRC.
METHOD A : ATTIC VENT (CIRCULAR VENT)
VENT DIMENSION : (12") = 0.022 SF.
VENT NUMBERS = VENTILATION AREA (0.61) / VENT AREA (0.022) = 27.727 (28)

50% OF THE VENTILATION TO OCCUR AT A LEVEL 3-FEET ABOVE THE EAVE/CORNICE LINE, PER SEC. R 806.1 OF 2013 CRC.
METHOD B : RIDGE VENT (EYEBROW VENT)
VENT DIMENSION : 18 SIN. PER LINEAR FOOT = 0.125 SF.
VENT LINEAR = VENTILATION AREA (0.61) / VENT AREA (0.125) = 4.88 FT.

NOTE : BOTH METHODS A & B SHOULD BE DONE BY CONTRACTOR.

NOTE : NEW VENTS IN CRAWL SPACE DOES NOT INTERFERE WITH ANY BRACE WALLS/SHEAR PANELS.

NOTE : ADDITIONAL FOUNDATION VENTS ARE REQUIRED AS MUCH AS THEY ARE BLOCKED OR ELIMINATED BY THE ADDITION.

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SHEET TITLE:
**PROPOSED
ELEVATION PLAN**

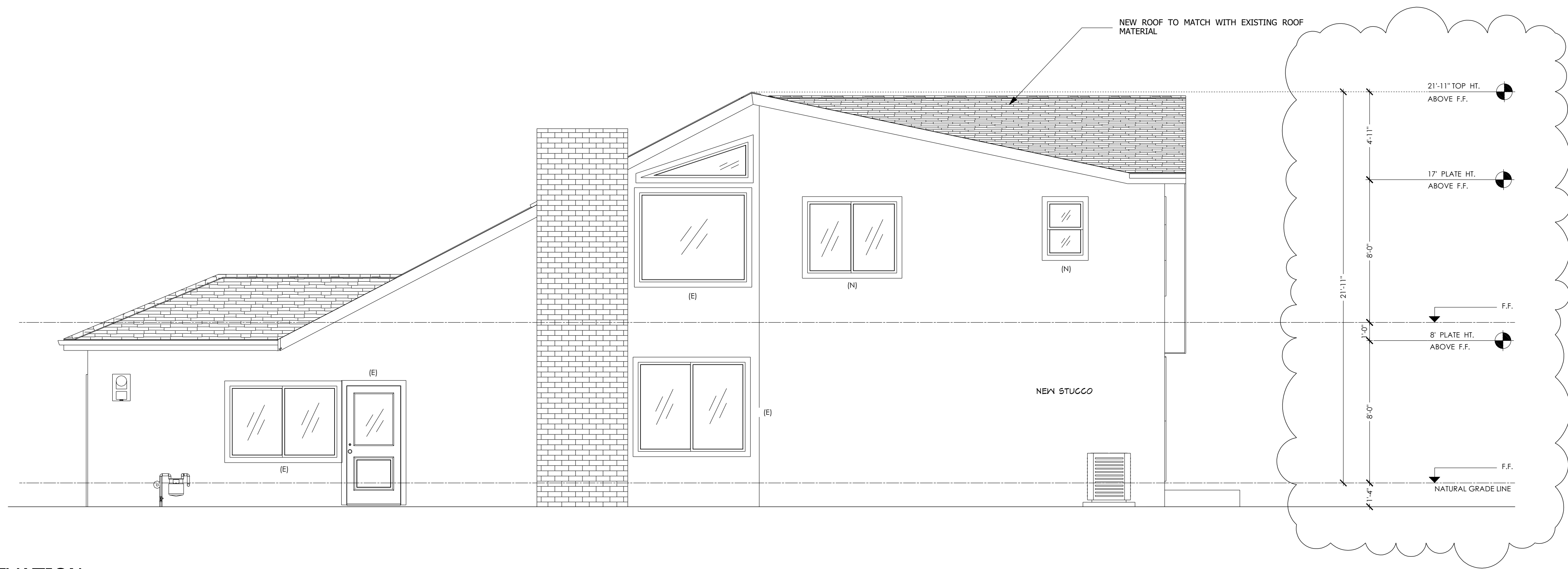
PROJECT DESCRIPTION:
**Mohan Akella REMODELING AND
ADDITION**
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

DATE:
04.03.2017

SCALE:
1/4"=1'

SHEET:
A-3



LEFT PROPOSED ELEVATION
SC : 1/4" = 1'-0"



RIGHT PROPOSED ELEVATION
SC : 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

PAB
Construction Inc.

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SHEET TITLE:

**PROPOSED
ELEVATION PLAN**

PROJECT DESCRIPTION:

**Mohan Akella REMODELING AND
ADDITION**

1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

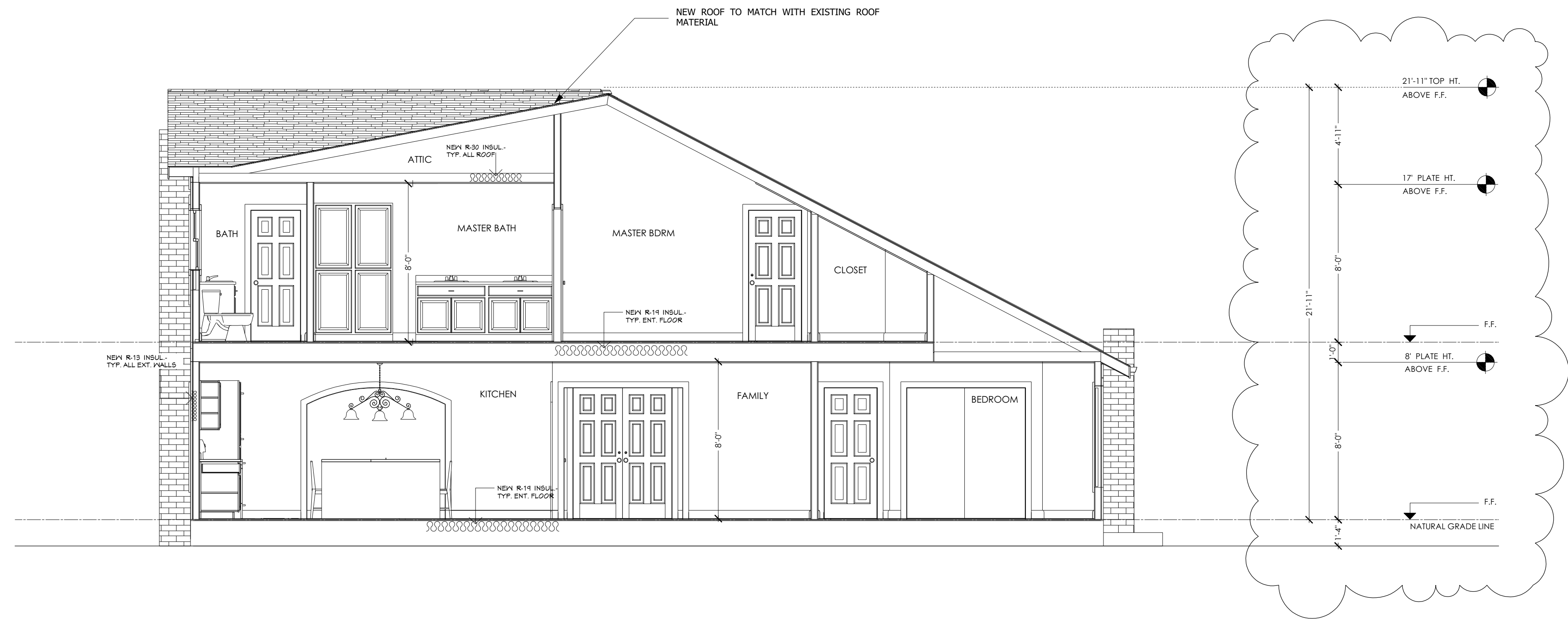
04.03.2017

SCALE:

1/4"=1'

SHEET:

A-3.1



A - A CROSS SECTION
SC : 1/4" = 1'-0"



B - B CROSS SECTION
SC : 1/4" = 1'-0"

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SHEET TITLE:
SECTION FLOOR PLAN

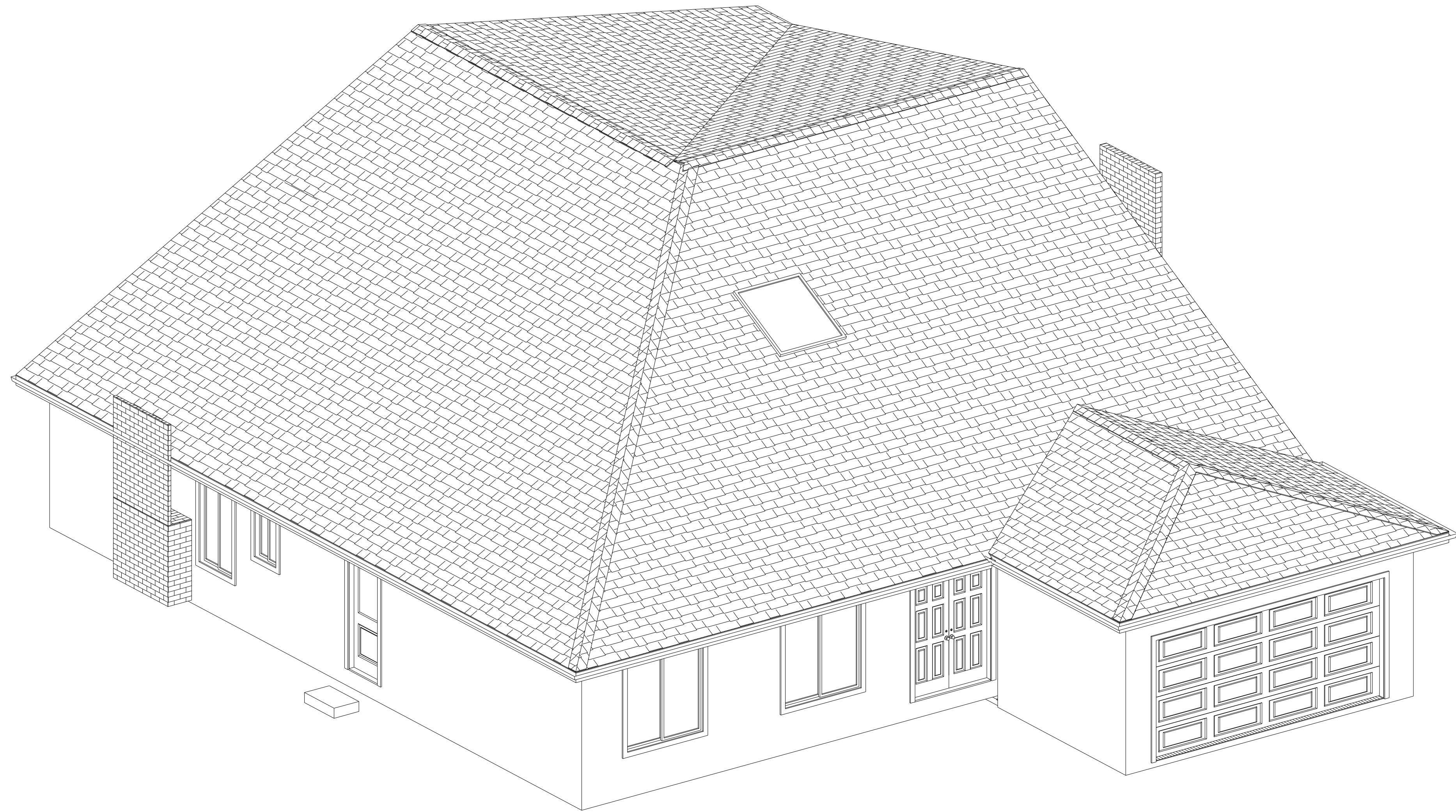
PROJECT DESCRIPTION:
Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

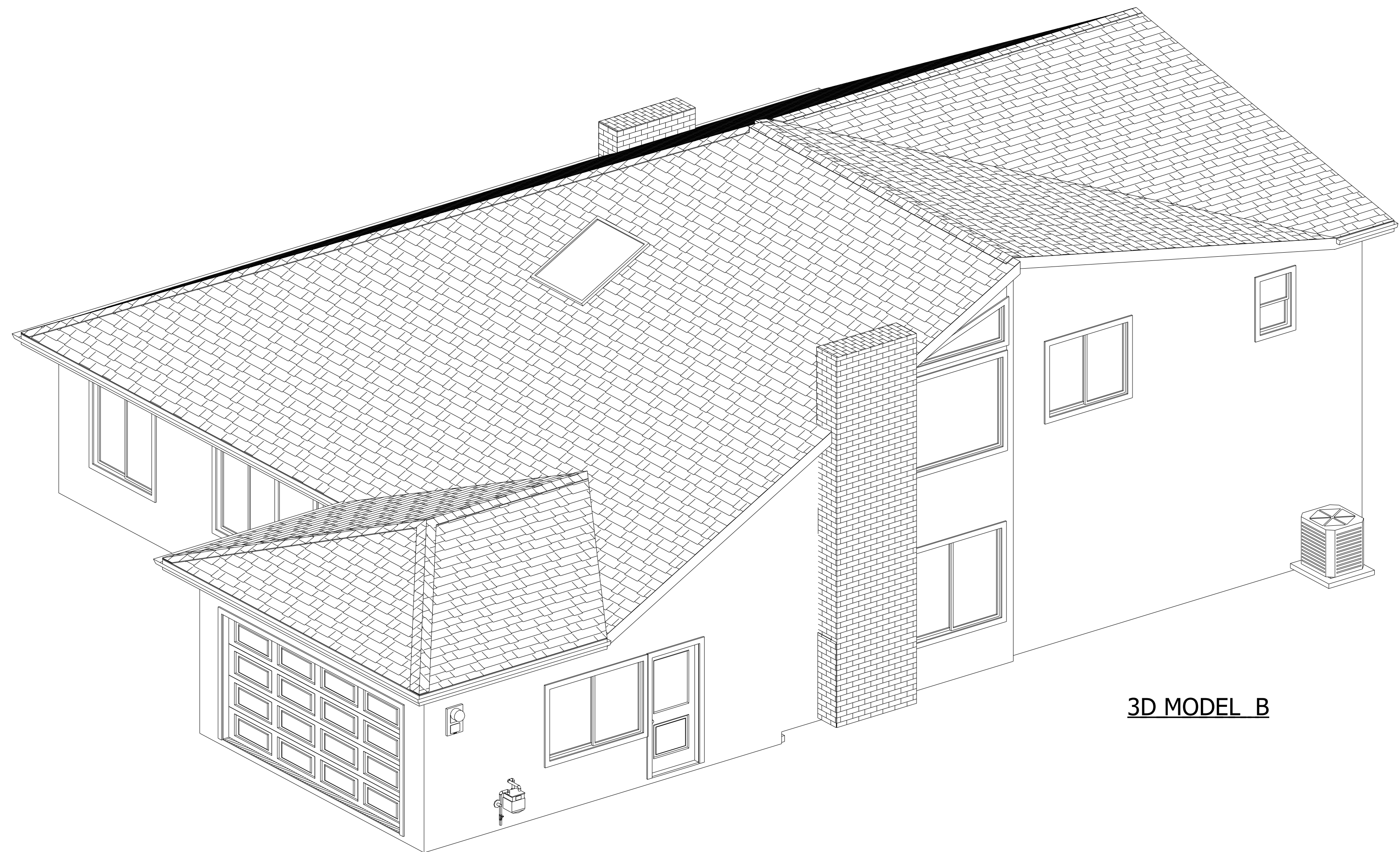
DATE:
04.03.2017

SCALE:
1/4"=1'

SHEET:
A-4



3D MODEL A



3D MODEL B

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Tel 408-499-6595
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SHEET TITLE:
3D MODELS

PROJECT DESCRIPTION:
Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

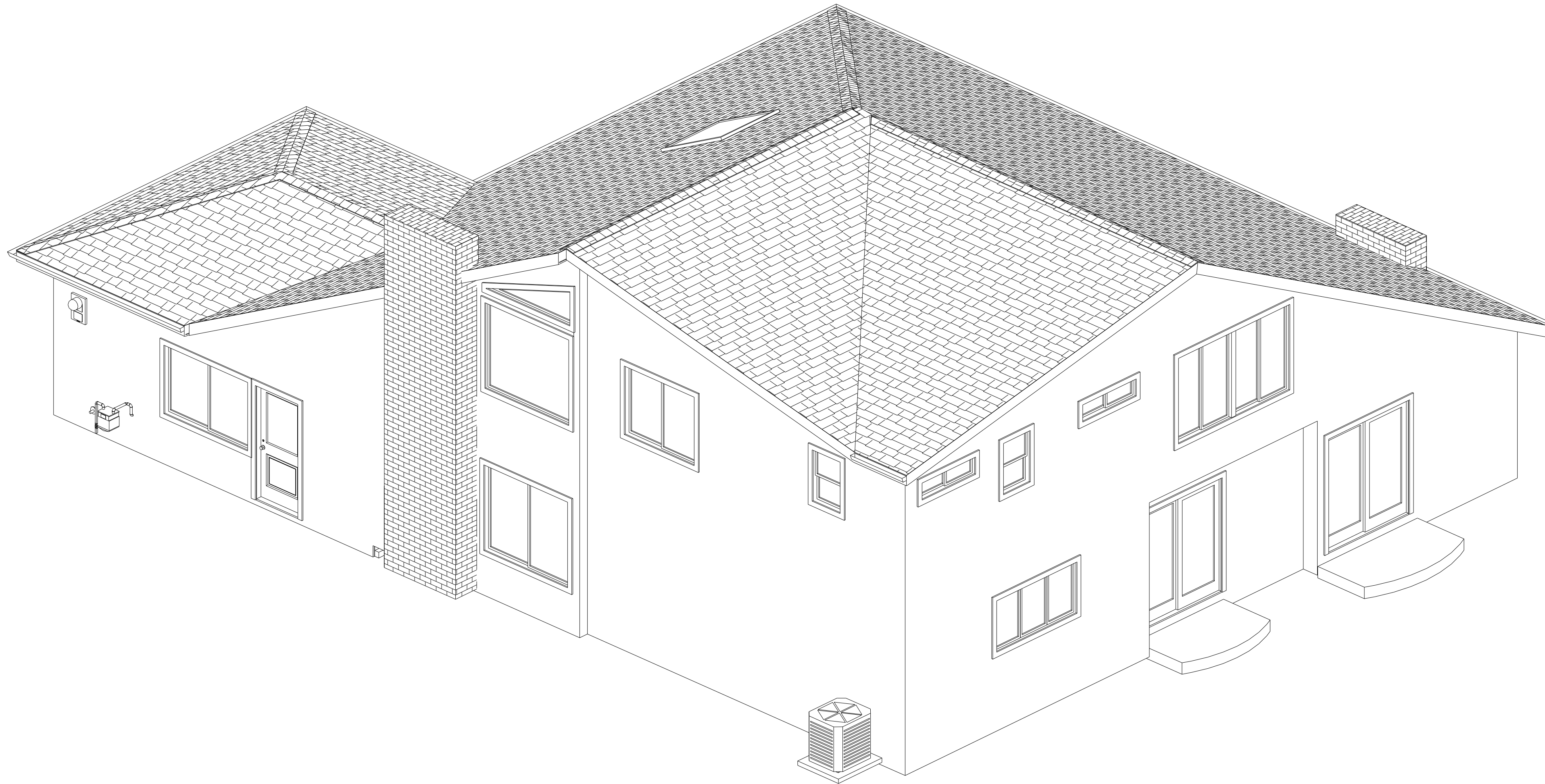
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PAB.02.16

DATE:
04.03.2017

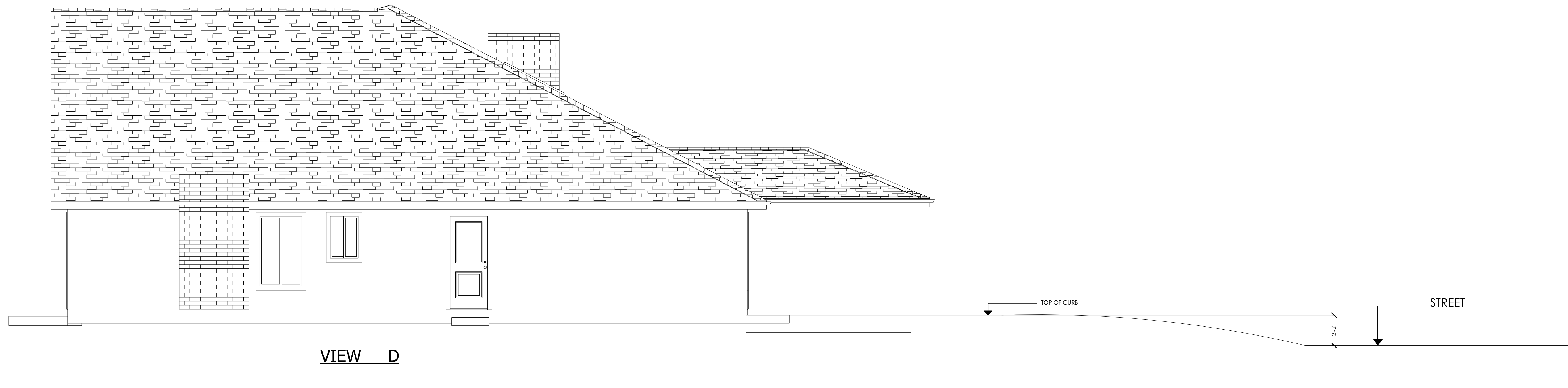
SCALE:
1/4"=1'

SHEET:

A-5



3D MODEL C



VIEW D

PAB CONSTRUCTION INC.
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SHEET TITLE:

3D MODELS

PROJECT DESCRIPTION:

Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

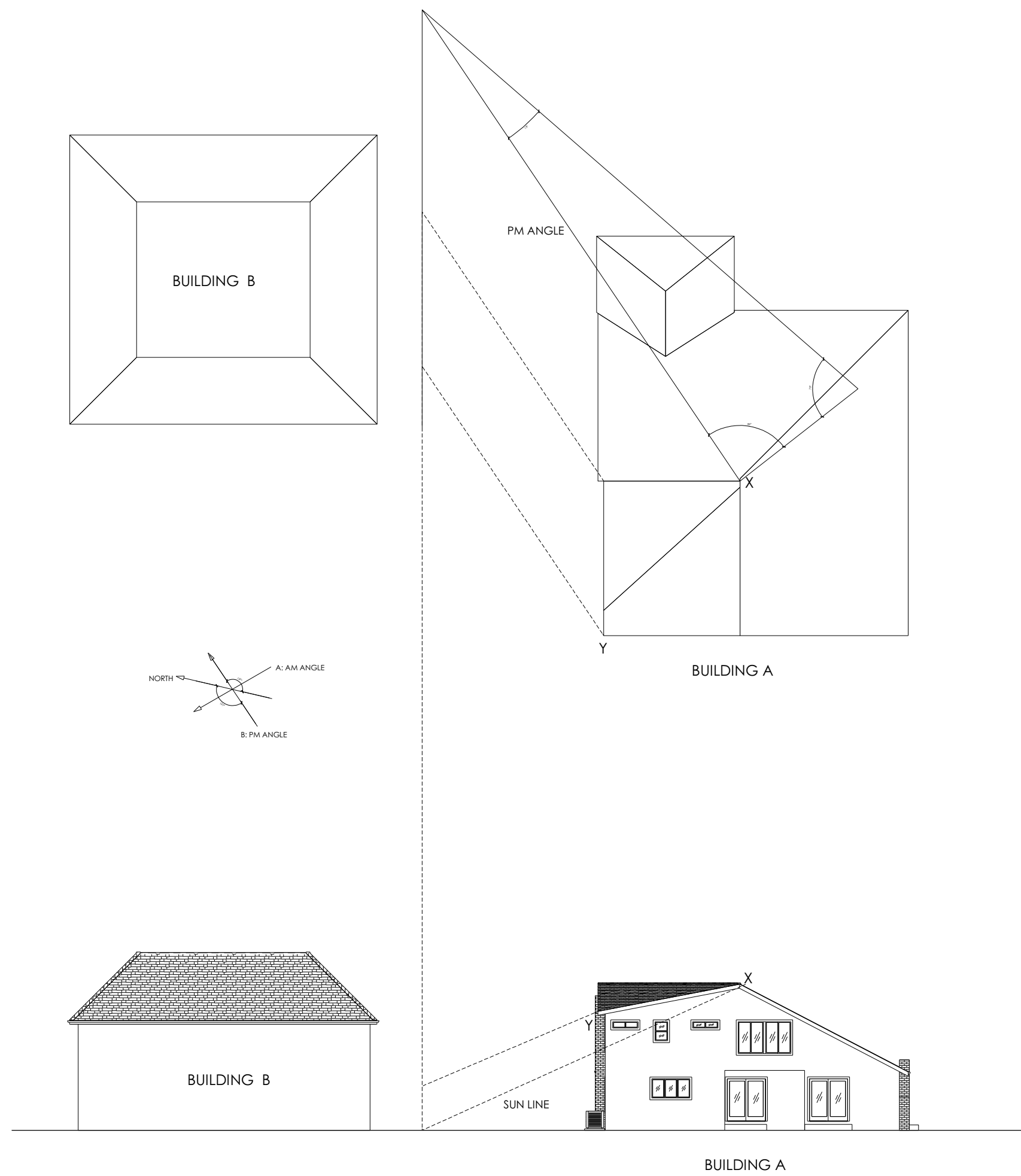
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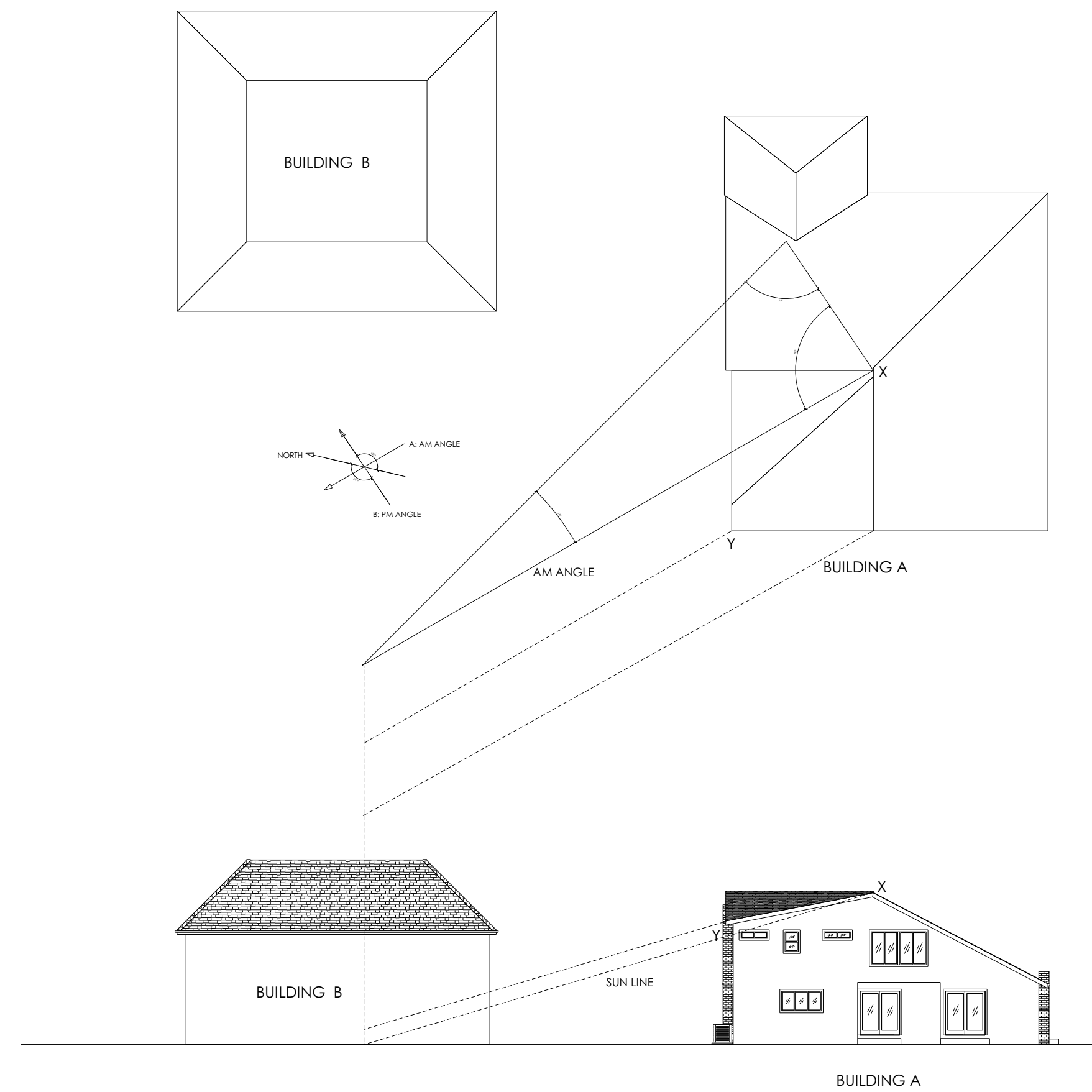
1/4"=1'

SHEET:

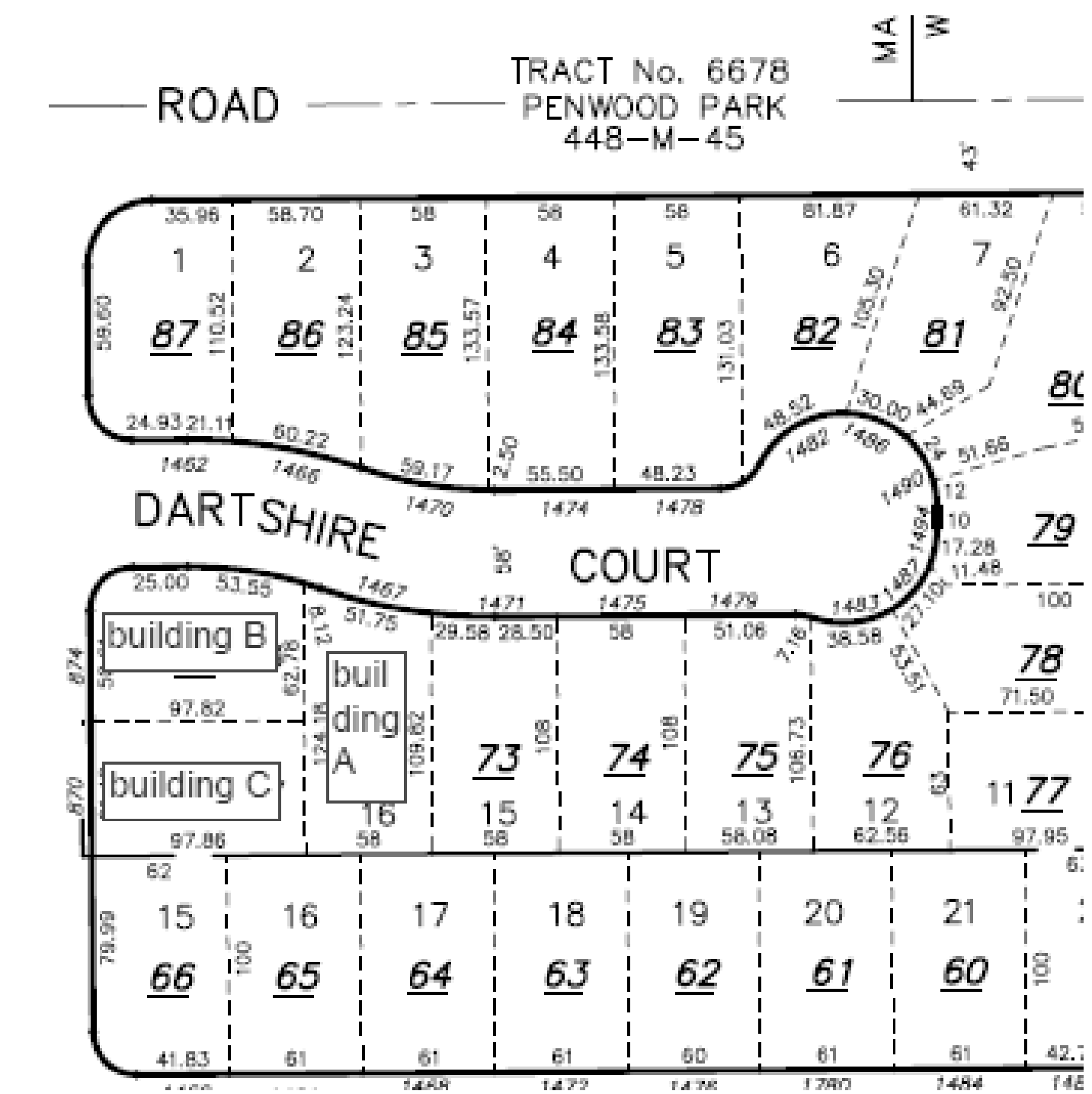
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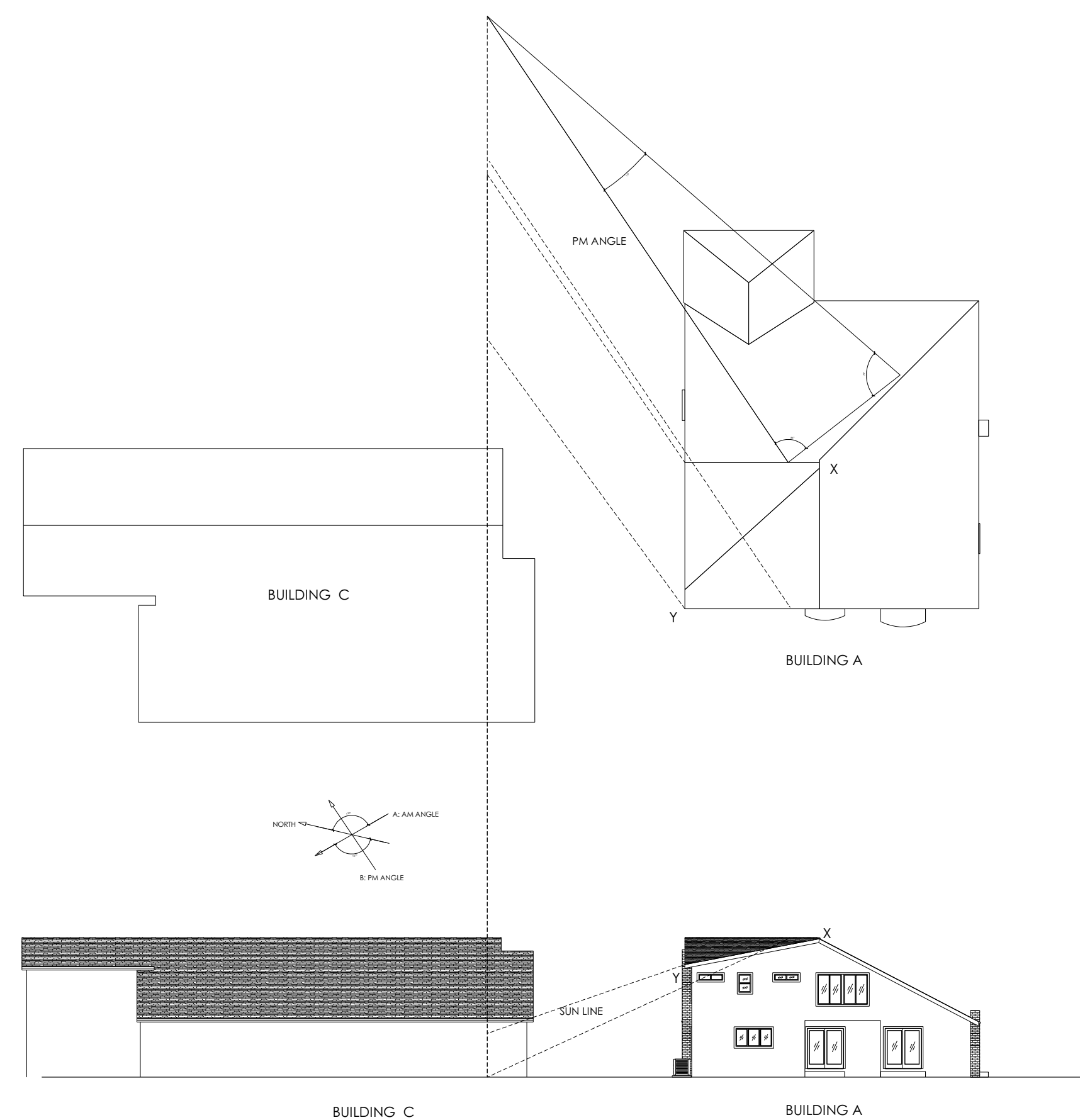
PM ANGLE: 0% of shading for this house



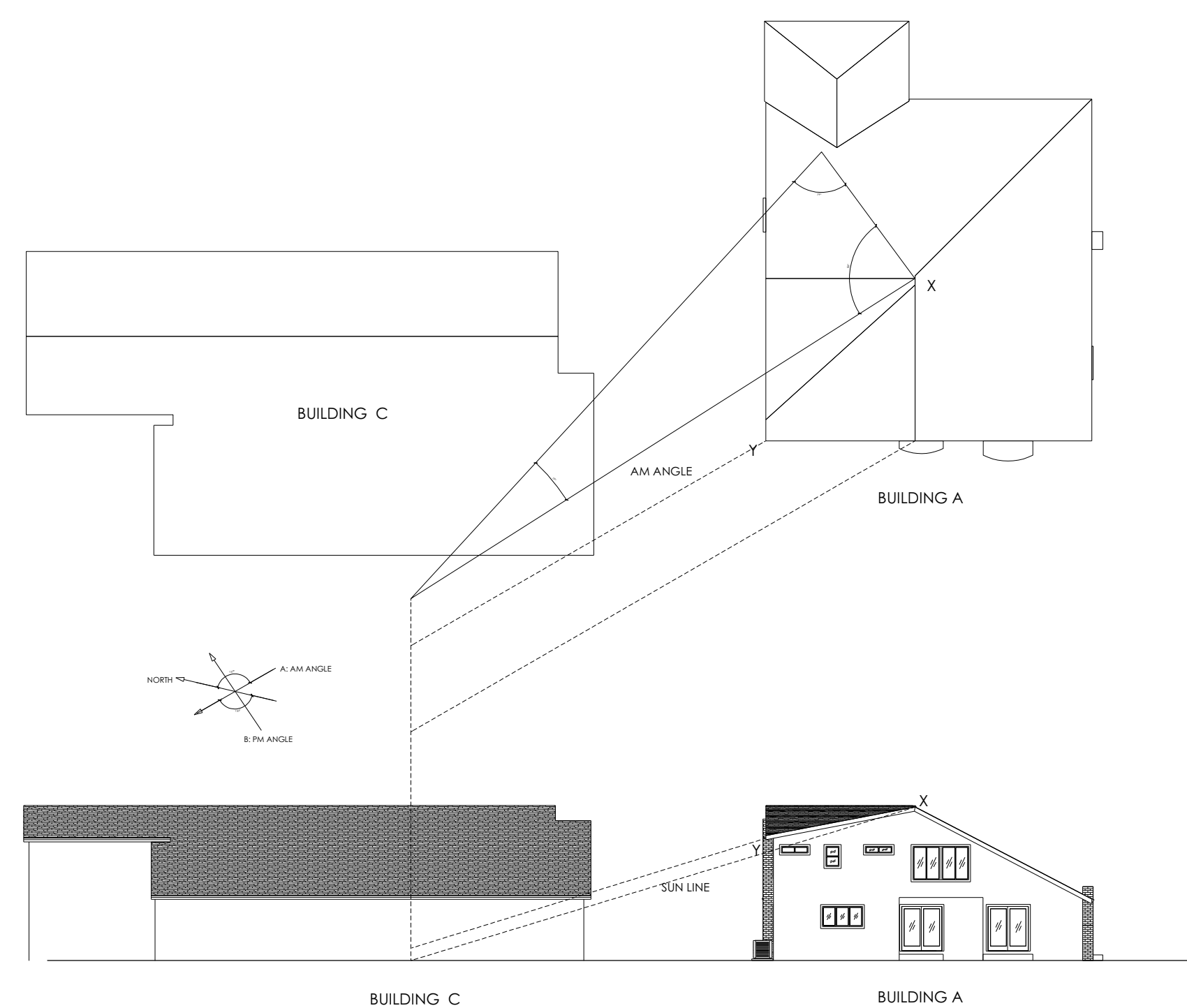
AM ANGLE: 0% of shading for this house



Property address of neighbors



PM ANGLE: 0% of shading for this house



AM ANGLE: 7 % of shading for this house

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SHEET TITLE:
SUN ANGLE

PROJECT DESCRIPTION:
Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

DATE:
04.03.2017

SCALE:

SHEET:

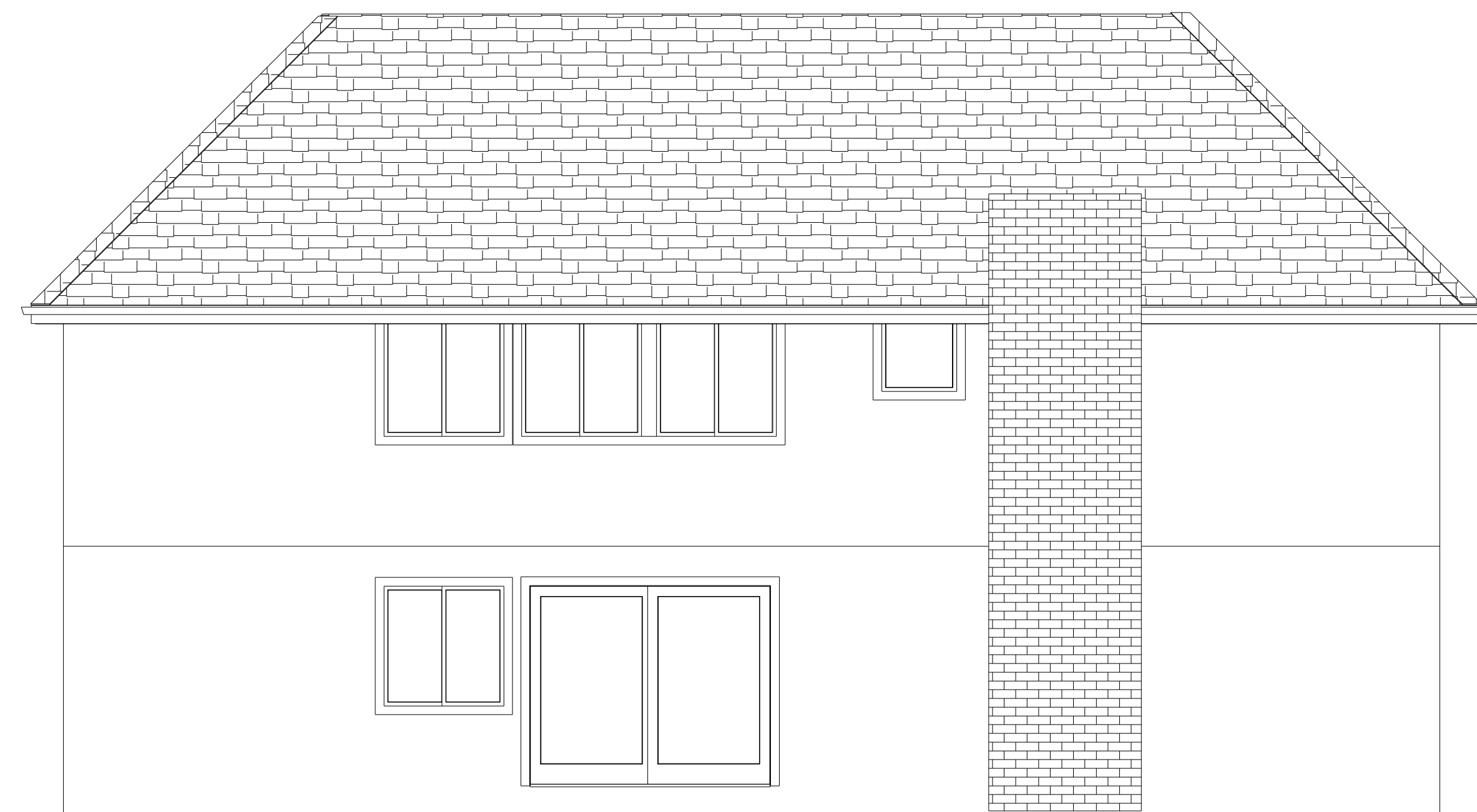
A-7



LEFT SIDE NEIGHBOR



RIGHT SIDE NEIGHBOR



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SHEET TITLE:
NEIGHBORS ELEVATION

PROJECT DESCRIPTION:
Mohan Akella REMODELING AND ADDITION
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:
PAB.02.16

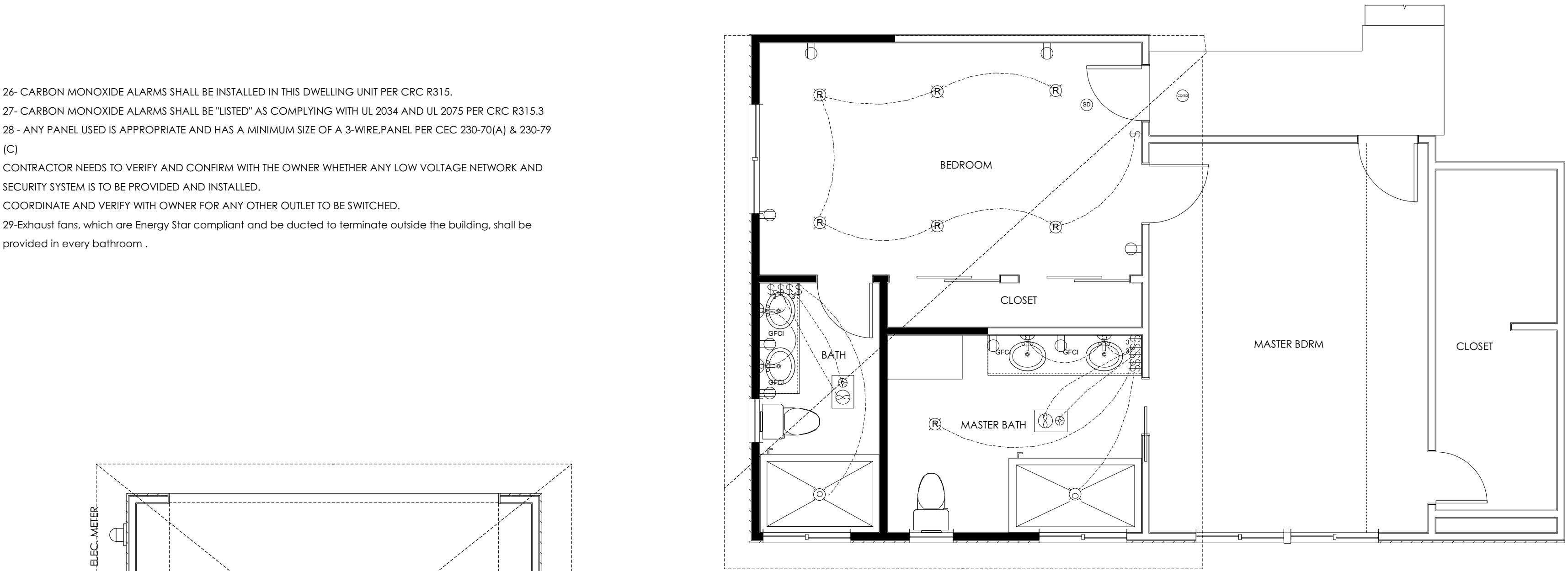
DATE:
04.03.2017

SCALE:

SHEET:
A-8

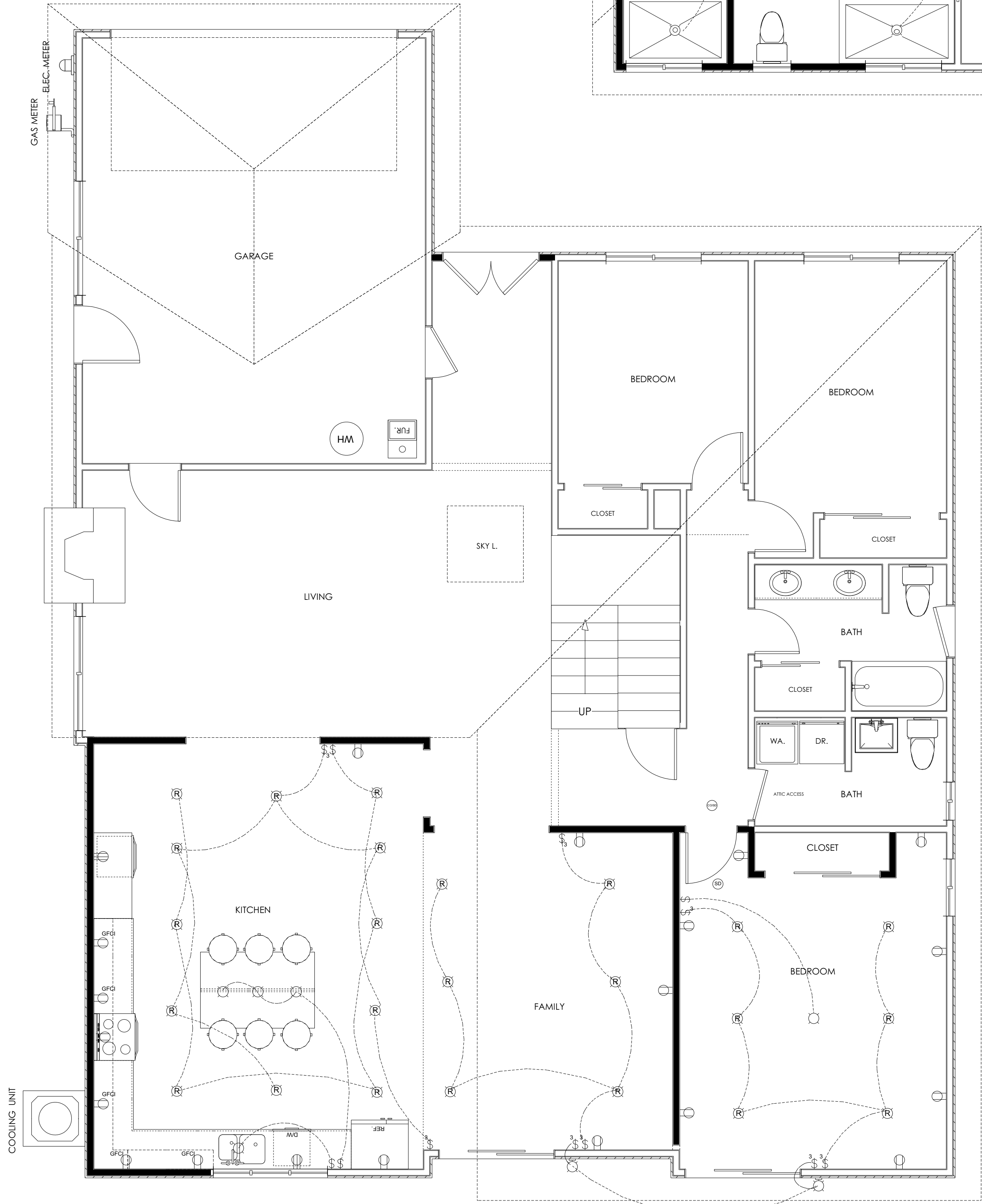
ELECTRICAL NOTES:

- 1 - PER SEC. 210.52 (C) OF THE 2010 CEC, IN KITCHENS AND DINING AREAS OF DWELLING UNITS, AT EACH COUNTER SPACE WIDER THAN 12" AND AT EACH ISLAND COUNTER OR PENINSULA SPACE 24" BY 12" OR LARGER RECEPTACLE SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. COUNTER TOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE SPACES. RECEPTACLE RENDERED INACCESSIBLE BY APPLIANCES FASTENED IN PLACE OR APPLIANCES OCCUPYING DEPICTED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS.
- 2 - PER SEC. 210.52 (C) (5) OF THE 2010 CEC, ISLAND/PENINSULA'S OVERHANG ABOVE OUTLET IS LESS THAN 6-INCHES AND OUTLET IS LESS THAN 12-INCHES BELOW THE COUNTERTOP.
- 3 - PER SEC. 210.11 AND 422.12 OF 2010 CEC, IN ADDITION TO BRANCH CIRCUITS INSTALLED TO SUPPLY GENERAL ILLUMINATION AND RECEPTACLE OUTLETS IN DWELLING UNITS, THE FOLLOWING MINIMUM REQUIREMENTS APPLY:
- TWO 20-AMP CIRCUITS FOR THE KITCHEN RECEPTACLES.
- ONE 20-AMP CIRCUIT FOR THE LAUNDRY RECEPTACLES.
- ONE 20-AMP CIRCUIT FOR THE BATHROOM RECEPTACLES.
- ONE SEPARATE, INDIVIDUAL BRANCH CIRCUIT FOR CENTRAL HEATING EQUIPMENT.
- 4 - PER SEC. 210.52 RECEPTACLES INSTALLED IN THE KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT LESS THAN TWO SEPARATE SMALL APPLIANCE BRANCH CIRCUIT.
- 5 - PER SEC. 210.52 OF THE 2010 CEC, ALL RECEPTACLES AT THE FRONT AND REAR OF THE HOME SHALL BE WITHIN 6 FEET 6 INCHES OF GRADE AND THEY ARE TO BE WEATHER PROOFED GFCI.
- 6 - PER SEC. 210.12 (B) OF THE 2010 CEC, ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- 7 - PER SEC. 210.8 OF THE 2010 CEC, ALL RECEPTACLES IN BATHROOMS, GARAGE, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENT, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6 FT OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.
- 8 - SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POIT CENTRALLY LOCATED IN CORRIDORS GIVING ACCESS TO SUCH ROOMS AS REQUIRED, PER SEC. 310.9.1.4 OF THE 2010 CBC, AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
- 9 - SMOKE DETECTORS TO BE HARD WIRED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW., PER SEC. 310.9.1.3 OF THE 2010CBC.
- 10 - PER SEC. 410.8 OF 2010 CEC, LUMINARIES IN CLOSETS SHALL HAVE THE FOLLOWING CLEARANCES TO COMBUSTIBLE/SHELVES
- A. SURFACE-MOUNTED INCANDESCENT FIXTURES SHALL HAVE 12" CLEARANCE AND HAVE AN ENCLOSED BULB.
- B. FLUORESCENT FIXTURES AND RECESSED TO HAVE MINIMUM 6' CLEARANCE.
- 11 - PER SEC. 410.66 OF THE 2010 CEC, ALL RECESSED LIGHTING FIXTURE INSTALLED IN INSULATED CEILING OR INSTALLED WITHIN 1/2-INCH-OF COMBUSTIBLE MATERIAL SHALL BE APPROVED FOR INSULATION CONTACT AND LABLED TYPE IC.
- 12 - PER SEC. 410.4 (A) AND (D) OF 2010 CEC, ALL LUMINARIES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE LISTED FOR SUCH USE BY AN APPROVED AND RECOGNIZED AGENCY. LUMINARIES SUBJECT TO SHOWER SPRAY MUST BE LISTED "SUITED FOR WET LOCATIONS." LUMINARIES NOT SUBJECT TO SHOWER SPRAY CAN BE LISTED AS EITHER "SUITED FOR WET LOCATIONS" OR "SUITED FOR DAMP LOCATIONS.
- 13 - LIGHT FIXTURES INSTALLED ABOVE AND WITHIN 5'-0" FROM INSIDE WALLS OF THE SPA/WHIRLPOOL UNIT SHALL BE AT LEAST 7'-6" ABOVE THE MAXIMUM WATER LEVEL AND FFICI PROTECTED. FIXTURES MAY BE INSTALLED LESS THAN 7'-6" PROVIDED THAT THEY ARE LISTED FOR USE IN DAMPED LOCATIONS AND GFCI PROTECTED.
- 14 - LAMP USED FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICACY OF NOT LESS THAN 40 LUMENS PER WATT, PER TITLE 24, 2.5352 (J).
- 15 - ALL RECEPTACLES TO BE INSTALLED IN GARAGE TO BE MIN. 18" ABOVE FINISH FLOOR AND GFCI PROTECTED.
- 16 - AT LEAST HALF OF THE INSTALLED WATTAGE OF LIGHT FIXTURES IN KITCHENS SHALL BE HIGH EFFICACY AND THOSE THAT ARE NOT MUST BE SWITCHED SEPARATELY. HIGH EFFICACY LIGHT FIXTURES MUST PROVIDE AT LEAST 40 LUMEN PER WATT, ALMOST ALL FLUORESCENT LAMPS EQUIPPED W/ELECTRONIC BALLAST QUALIFY, (VERIFY) INCANDESCENT LAMPS (INCLUDING ANY SCREW IN INCANDESCENT LAMPS) QUARTZ HALOGEN LAMPS OR LOW VOLTAGE LAMPS SUCH AS HALOGEN LAMPS DO NOT.
- 17 - OTHER ROOMS SHALL HAVE LIGHT FIXTURES EITHER BE HIGH EFFICACY (FLUORESCENT) OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQF, ARE EXEMPT FROM THIS REQUIREMENT, AN APPROVED OCCUPANT SENSOR DOES NOT ALLOW THE LIGHT TO BE TURNED ON AUTOMATICALLY, AND DOES NOT HAVE AN OVERRIDE THAT ALLOWS IT TO REMAIN ON.
- 18 - ALL OUTDOOR LIGHT FIXTURES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LIGHT FIXTURES (FLUORESCENT) OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- 19 - FOR EXISTING BUILDINGS TO BE REMOVED GAS AND ELECTRICAL METER ARE TO BE REMOVED BY PG&E PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
- 20 - CONTRACTOR NEEDS TO VERIFY AND CONFIRM THE LOCATION OF ALL LIGHT SWITCHES AND PROVIDE ANY ADDITIONAL OUTLETS OTHER THAN SHOWN ON THIS DRAWING. DO NOT ELIMINATE ANY OF THE OUTLETS SHOWN ON THIS DRAWING.
- 21 - BOTTOM OUTPUT OF ALL ELECTRICAL OUTLETS BY THE HEADBOARD LOCATIONS OF BEDS IN BEDROOMS AND GUEST ROOMS TO BE SWITCH OPERATED. SWITCH LOCATED BY THE ROOM ENTRY DOOR.
- 22 - PER CEC ARTICLE 406.11, ALL 15-AMP AND 20 AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 23 - PER CEC ARTICLE 406.11, ALL 125-VOLT, 15-AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 24 - PER CEC 210.12(B), ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMP, OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED.
- 25 - THE MAX. FLOW RATES SET BY CALIFORNIA ENERGY COMMISSION AND CPC CHAPTER 4:
- a. TOILET 1.28 GPM
- b. SHOWER HEADS 2.5 GPM
- c. SINK FAUCETS 2.2 GPM
- d. Urinals 0.5 gal per flush
- 26 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THIS DWELLING UNIT PER CRC R315.
- 27 - CARBON MONOXIDE ALARMS SHALL BE "LISTED" AS COMPLYING WITH UL 2034 AND UL 2075 PER CRC R315.3
- 28 - ANY PANEL USED IS APPROPRIATE AND HAS A MINIMUM SIZE OF A 3-WIRE.PANEL PER CEC 230-70(A) & 230-79 (C)
- CONTRACTOR NEEDS TO VERIFY AND CONFIRM WITH THE OWNER WHETHER ANY LOW VOLTAGE NETWORK AND SECURITY SYSTEM IS TO BE PROVIDED AND INSTALLED.
- COORDINATE AND VERIFY WITH OWNER FOR ANY OTHER OUTLET TO BE SWITCHED.
- 29 - Exhaust fans, which are Energy Star compliant and be ducted to terminate outside the building, shall be provided in every bathroom .



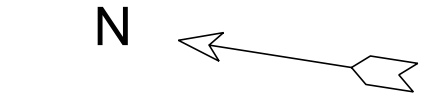
ELECTRICAL 2ND FLOOR PLAN

SC : 1/4" = 1'-0"



ELECTRICAL 1ST FLOOR PLAN

SC : 1/4" = 1'-0"



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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JOB NO:
PAB.02.16

DATE:
04.03.2017

SCALE:
1/4"=1'

SHEET:
E-1

ELECTRICAL FLOOR PLAN

ATTACHMENT 6

APN	St. No.	St. Name	St. Type	Zoning	Lot Size	Building Sq. Ft	Garage Sq. Ft.	Total Floor Area	Floor Area Ratio	No. of Stories
30911058	1510	Mallard	Wy	R0	6235	1793	410	2203	35%	1
30911059	1488	Mallard	Wy	R0	6257	2100	505	2605	42%	2
30911060	1484	Mallard	Wy	R0	6100	2226	480	2706	44%	2
30911061	1480	Mallard	Wy	R0	6100	2346	502	2848	47%	2
30911062	1476	Mallard	Wy	R0	6100	2100	505	2605	43%	2
30911063	1472	Mallard	Wy	R0	6100	2226	480	2706	44%	2
30911064	1468	Mallard	Wy	R0	6100	2346	502	2848	47%	2
30911065	1464	Mallard	Wy	R0	6100	2226	480	2706	44%	2
30911066	1460	Mallard	Wy	R0	6114	2100	505	2605	43%	2
30911068	1491	S. Wolfe	Rd	R0	6556	2226	480	2706	41%	2
30911070	870	Dartshire	Wy	R0	6007	2328	630	2958	49%	2
30911071	874	Dartshire	Wy	R0	6646	2967	438	3405	51%	2
30911072	1467	Dartshire	Ct	R0	6322	2741	418	3159	50%	2
30911073	1471	Dartshire	Ct	R0	6321	2328	630	2958	47%	2
30911074	1475	Dartshire	Ct	R0	6264	2967	438	3405	54%	2
30911075	1479	Dartshire	Ct	R0	6273	2345	416	2761	44%	2
30911076	1483	Dartshire	Ct	R0	6326	3624	464	4088	65%	2
30911077	1506	Mallard	Wy	R0	6040	2967	438	3405	56%	2
30911078	1487	Dartshire	Ct	R0	6438	2345	416	2761	43%	2
30911079	1494	Dartshire	Ct	R0	6538	2328	630	2958	45%	2
30911080	1490	Dartshire	Ct	R0	5250	2967	438	3405	65%	2
30911081	1486	Dartshire	Ct	R0	6204	2345	416	2761	45%	2
30911082	1482	Dartshire	Ct	R0	6972	2967	438	3405	49%	2
30911083	1478	Dartshire	Ct	R0	7738	2328	630	2958	38%	2
30911084	1474	Dartshire	Ct	R0	7747	2967	438	3405	44%	2
30911085	1470	Dartshire	Ct	R0	7447	2328	630	2958	40%	2
30911086	1466	Dartshire	Ct	R0	6861	2967	438	3405	50%	2
30911087	1462	Dartshire	Ct	R0	6998	2345	416	2761	39%	2
							Average	2980.5	47%	



City of Sunnyvale

Agenda Item 3

17-0510

Agenda Date: 5/8/2017

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2017-7198

Location: 1490 Hampton Drive (APN: 313-13-015)

Zoning: R-0

Proposed Project:

DESIGN REVIEW: Allow construction of a new two-story residence totaling 3,702 sq. ft. (2,583 sq. ft. living area, a 490 sq. ft. garage and a 629 sq. ft. covered patio) resulting in 52% FAR. The existing one-story residence will be demolished.

Applicant / Owner: Mission City Construction Inc. (applicant) / Christopher Kassel (owner)

Environmental Review: A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions. Class 3(a) Categorical Exemption include construction or conversion of new small structures that includes one single-family residence (CEQA Section 15303).

Project Planner: Teresa Zarrin, (408) 730-7429, tzarrin@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Residential Low Density

Existing Site Conditions: One-story single family home

Surrounding Land Uses

North: Single-family residential

South: Single-family residential

East: Single-family residential

West: Single-family residential (across Hampton Drive)

Issues: Floor area ratio and neighborhood compatibility

Staff Recommendation: Approve the Design Review subject to recommended conditions of approval.

BACKGROUND

Description of Proposed Project

The project site is 7,068 square feet (0.16 acres) in size and is currently developed with a single-family home with no garage. The applicant proposes to demolish the existing home and construct a new, two-story single-family home with a total of 3,702 square feet at 52% FAR. The project includes a 120-square foot front porch which is not included in the FAR calculation.

Design Review is required for construction of a new home to evaluate compliance with development standards and with the Single-Family Home Design Techniques. The Planning Commission is required to review applications exceeding 45% FAR or 3,600 square feet.

See Attachment 1 for a Vicinity Map, and Noticing Radius, Attachment 2 for the Project Data Table, and Attachment 6 for the proposed plans.

Previous Actions on the Site

The existing 1,102 square-foot, single-story home was constructed in 1950. In 2002, a 4:12 pitched, composition shingle roof replaced the flat roof on the home.

DISCUSSION

Development Standards

The proposed project complies with all applicable development standards including setbacks and parking, as set forth in the Sunnyvale Municipal Code. The following key items are noted below:

- **Site Layout:** The subject lot is 57 feet wide and 124 feet deep and 7,068 square feet in size. The proposed home would be located towards the front of the property and meets or exceeds all setback requirements. A 490-sq. ft. two-car garage is provided (minimum 400 sq. ft. required) and a driveway will provide access on the left side of the property's frontage.
- **Lot Coverage:** The proposal results in 36% lot coverage and is below the maximum 40% allowed for two-story homes.
- **Parking/Circulation:** The project provides a two-car garage and two unenclosed parking spaces in the driveway to meet the minimum of two covered and two uncovered parking spaces as required per SMC 19.46.060.
- **Landscaping and Tree Preservation:** The existing site does not contain any "protected trees" (tree trunk measuring 38 inches or more in circumference). There are some shrubs along the front property line that are proposed for removal. The project includes 425 sq. ft. of new landscaping in the front yard so a landscape plan is not required for the project. (A landscape plan is required when building a new home *and* installing more than 500 sq. ft. of landscaping.)
- **Solar Access:** SMC 19.56.020 states that
If the solar shading analysis shows a conflict with solar access greater than ten percent, the applicant shall provide an additional analysis which calculates the extent to which the proposed construction will shade adjacent rooftops and solar collectors between nine a.m. to three p.m. Pacific Time throughout the entire three hundred sixty-five-day solar cycle. If the analysis shows a cumulative shadowing effect of less than ten percent total over the course of the three hundred sixty-five-day solar cycle, the application shall be deemed to be in compliance with this section.

The proposal shows that the roof of the adjacent property at 1484 Hampton Drive is shaded 25.49% on December 21st at 9AM. Additional analysis throughout the entire 365-day solar cycle was provided

that shows an average shading of 82 sq. ft. or 3.7% shading of the south side of the neighbor's roof, meeting the requirements of SMC Section 19.56.020. There are no solar collectors currently on the adjacent neighbor's roof.

- **GreenPoint Rated Checklist:** This project is required to be designed to achieve a minimum of 80 points on Build It Green's *Green Point Rated Checklist*. A Checklist was provided that achieved 90.5 points. The Building Division will do a detailed review of the Checklist at the building permit stage.

Single Family Home Design Techniques: The City's Single Family Home Design Techniques (2003) provide guidelines for site planning, architecture, and other design elements related to neighborhood compatibility. These guidelines are referenced in the discussion and analysis below.

Site Plan and Architecture: The homes in the neighborhood can be categorized into three distinct architectural styles and scale; the original one-story, single-family residences which are Postwar Minimal with simple rectangular forms and flat roofs and simple ranch-style homes with 4:12 pitched roofs and the newer two-story, contemporary/Spanish architectural style homes with tile roofs. All the original homes have either no garage, a one-car garage, or garages that have been converted into living space. The existing home at the site can be categorized as a typical Postwar Minimal home without garage.

The proposed home would be a two-story ranch house with a prominent 121 sq. ft. front porch on the right and a two-car garage on the left side. The ranch-style design of the home blends well with the one-story ranch homes on Hampton Drive. The exterior is beige stucco; the garage door and front entry are painted blue with an accent of stone veneer around the front entry. A gabled, dimensional composition shingle roof with a 4:12 pitch is proposed which is compatible with the roofs of the existing one-story ranch homes in the neighborhood that have composition shingle roofs with 4:12 slopes (Attachment 6 - Site and Architectural Plans).

The rear of the second story extends an additional 13 ft. beyond the first story creating a covered 628 sq. ft. outdoor patio that counts towards the floor area. Planning counts patios with roofs that are more than 50% solid toward the floor area and the lot coverage in accordance with the SMC 19.12 (12) (a) and (14).

Setbacks: The proposed residence is located toward the front of the site and exceeds minimum setback requirements for the R-0 zoning district. The Project Data table in Attachment 2 shows the setbacks. The front porch is setback 20 ft. and the first-story is setback approximately 25 ft. where 20 ft. is required. The second-story setback is 39 ft. where 25 ft. is required. The combination of the front porch providing a buffer and the first and second stories exceeding the required setbacks reduces the two-story home's impact on the streetscape. The first and second story rear setback is approximately 42 ft. which exceeds the minimum requirement of 20 ft. for both first and second stories.

The first-story side setbacks total 12 ft., where 11ft. combined is required and the second-story setbacks approximately 22 ft. where 17 ft. is required. The right side yard of the house is adjacent to the rear yard of the two-story house at 943 Marion Way so the distance between the houses would be over 35 ft. The distance of the second story to the house on the left is about 20 ft. Exceeding the side setbacks further reduces the impact of the second story on the adjoining neighbors and the

streetscape.

Heights: The proposed plate height for the first floor is 9.5 feet and second floor is 9 feet which is similar to the newer two-story homes in this neighborhood. The proposed roof pitch is 4:12 and is compatible with the ranch homes in the neighborhood. The resultant height of the home is 25'0" measured from the center line of Hampton Drive (there is no curb). The 25-ft. height is similar to the more recently built two-story homes in the neighborhood which range from 24-29 feet in height (See Attachment 5 - Neighborhood FARs and Existing Two-Story Homes)

Floor Area Ratio (FAR):

The proposed 3,702 sq. ft. square foot single family home at 52% FAR exceeds the 45% FAR review threshold and requires Planning Commission approval. The proposed 52% FAR would be the highest FAR in the neighborhood. The difference between 45% (3180) and the 52% FAR in this project is approximately 522 square feet of floor area.

The neighborhood is composed of one and two-story single family homes with an average FAR of 24.5% prior to project; and 25.2% with the project. The newer two-story homes in the neighborhood have FARs ranging from 35-47%, floor areas ranging from 2,480 - 3,535 square feet.

The patio is approximately 629 square feet. While it is counted into the floor area, it does not significantly add to the bulk of the house because the patio area under the second floor is open and in the rear of the house. For comparison if the patio was subtracted from the floor area calculation, the home would result in 3,074 sq. ft. with a 43% FAR which is in the mid-range of both FAR and floor area compared to other two-story homes in the neighborhood.

Staff also considers that although the 53% FAR appears high compared to the average, the appearance of the house from the street in terms of size and scale is similar to those found of the newer two-story homes in this neighborhood.

Second Floor Area to First Floor Area Ratio: The proposed first floor to second story ratio is 52%. This ratio is similar to those of other newer two-story homes in this neighborhood. The neighborhood for this site is composed of one and two-story homes. Since this neighborhood is not predominantly a one-story single-family home neighborhood, the 35% second floor to first floor ratio design guideline is not applicable; however, neighborhood compatibility is still a goal.

Neighborhood Compatibility: The neighborhood is in transition and has a mix of original one and newer two-story homes. The house is similar in scale and height with the newer two-story homes in the neighborhood. The 53% FAR is not uncommon for new two-story homes in Sunnyvale.

Privacy Impact: The proposed house has four second story windows (two high-sill and two regular-sized) facing the rear yard of the two-story home at 943 Marion Way. The 35' distance to the house on Marion Way minimizes the impact on the adjacent home and staff has not required the applicant to modify the current design. However, if the Planning Commission is concerned about privacy, staff suggests that when not required for egress purposes, the proposed regularly sized second story windows could be modified to high-sill windows. The only window on the left elevation (in Bedroom 3) is required for egress.

ENVIRONMENTAL REVIEW

A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions. Class 3(a) Categorical Exemption include construction or conversion of new small structures that includes one single-family residence (CEQA Section 15303).

FISCAL IMPACT

No fiscal impacts other than regular fees and taxes are expected.

PUBLIC CONTACT**Notice of Public Hearing**

- Published in the *Sun* newspaper
- Posted on the site
- 64 notices mailed to property owners and residents within 300 feet of the project site

Staff Report

- Posted on the City's website
- Provided at the Reference Section of the City's Public Library

Agenda

- Posted on the City's official notice bulletin board
- Posted on the City's website

Public Contact: Staff has not received any correspondence or phone calls from neighbors at the time of writing of this report.

FINDINGS

Staff is able to make the Design Review Findings (Attachment 3).

ALTERNATIVES

1. Approve the Design Review subject to recommended Conditions of Approval in Attachment 4.
2. Approve the Design Review subject to modified Conditions of Approval.
3. Deny the Design Review and provide direction to staff and applicant on where changes should be made.

STAFF RECOMMENDATION

Recommend Alternative 1 in accordance with the Findings in Attachment 3 and Conditions of Approval in Attachment 4.

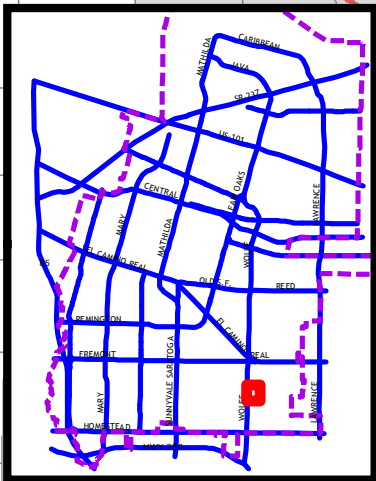
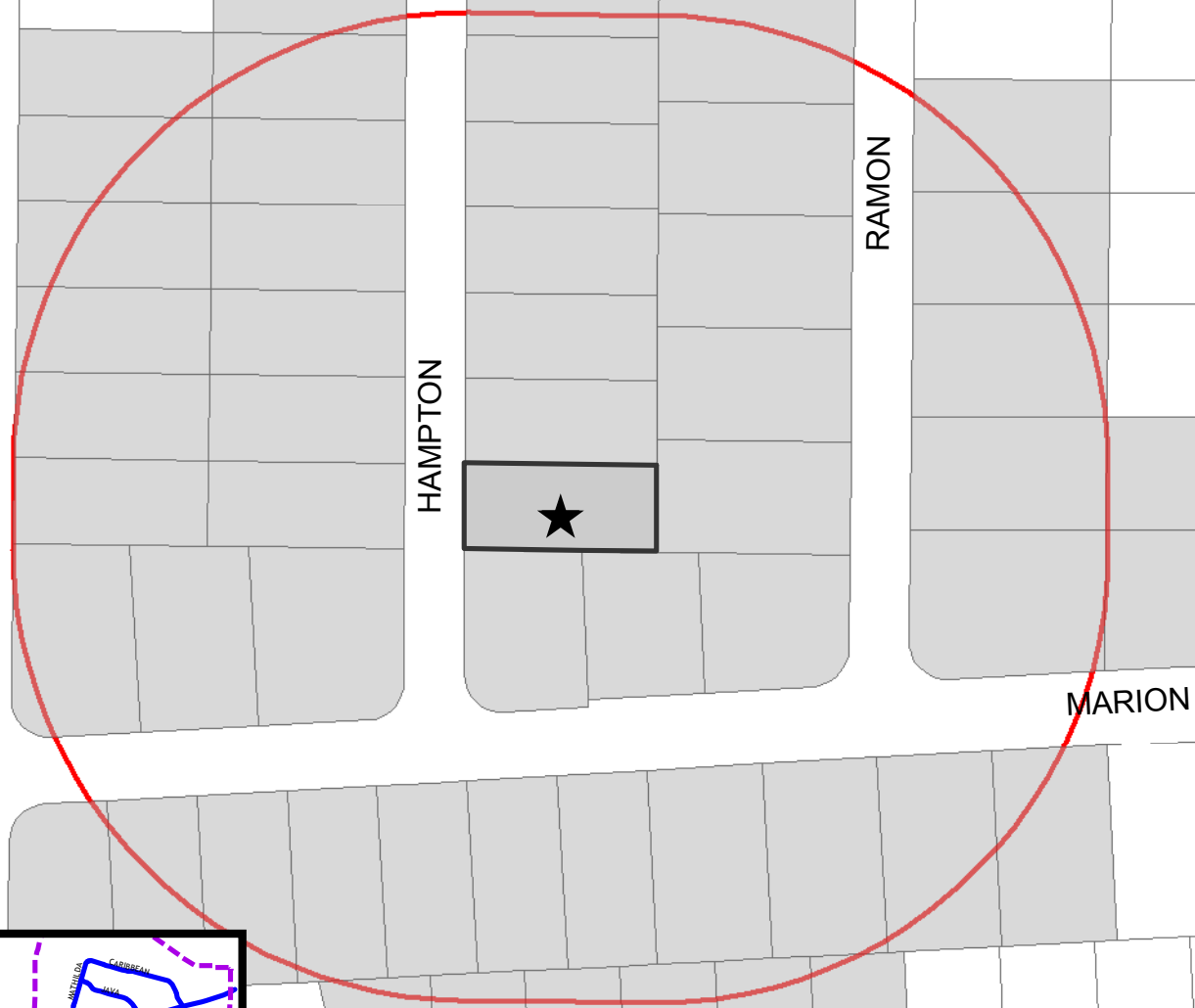
Prepared by: Teresa Zarrin, Associate Planner

Approved by: Gerri Caruso, Principal Planner

ATTACHMENTS

1. Vicinity Map and Noticing Radius
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Neighborhood FARs and Photos of Existing Two-Story Homes

6. Proposed Site and Architectural Plans



2017-7198
 1490 Hampton Dr. (APN: 313-13-015)
 Design Review
 300-ft Area Map

0 40 80 160 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Residential Low Density
Zoning District	R-0	Same	R-0
Lot Size (s.f.)	7,068	Same	6,000 min.
Gross Floor Area (s.f.)	1,102 (to be removed)	3,702	3,600 s.f. threshold (Threshold for Planning Commission Review)
Lot Coverage (%)	16% (1,102 s.f.)	36% (2,544 s.f.)	40% max.
Floor Area Ratio (FAR)	16% (1,102 s.f.)	52% (3,702 s.f.)	45% threshold (Threshold for Planning Commission Review)
Building Height (ft.)	12'0"	25'0"	30' max.
No. of Stories	1	2	2 max.
Setbacks (First/Second Facing Property)			
Front: 1 st Floor 2 nd Floor	24' --	20' 39'	20' min. 25' min.
Left Side 1 st Floor 2 nd Floor	9'	Combined yards = 12' 5' Combined yards = 22' 13'	Combined yards = 11' 4' min. Combined yards = 17' 7' min
Right Side 1 st Floor 2 nd Floor	5' --	Combined yards = 12' 7' 9'	Combined yards = 11' 5' min (P.U.E.) Combined yards = 17' 7' min.
Rear 1 st Floor 2 nd Floor	67' --	42' 42'	20' min. 20' min.
Parking			
Total Spaces	2	4	4 min.
Covered Spaces	0	2	2 min.

RECOMMENDED FINDINGS

Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques - *Finding made*

Staff is able to make this finding as indicated below:

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed home's entry would face the street similar to the pattern in the existing neighborhood. <i>Finding Met</i>
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The proposed home at 53% FAR is larger than homes in the surrounding single-story neighborhood; but the scale and bulk is similar to those of newer, high FAR projects in the neighborhood. <i>Finding Met</i>
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed design as conditioned, respects the privacy of adjacent neighbors by including significant second floor setbacks and minimizing second floor windows. <i>Finding Met</i>
<i>2.2.4 Minimize the visual impacts of parking.</i>	The proposal includes two covered and two uncovered parking spaces as required by code. <i>Finding Met</i>
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	The proposed project will include 425 sq. ft. of front yard landscaping that will improve the streetscape. The new landscaping is less than 500 sq. ft. so a landscape plan is not required. <i>Finding Met</i>
<i>2.2.6 Use high quality materials and craftsmanship</i>	The proposed design includes stucco, stone veneer and dimensional composition shingle roofing. These materials are consistent with the Design Techniques and the surrounding neighborhood. <i>Finding Met</i>
<i>2.2.7 Preserve mature landscaping</i>	The existing site has minimal landscaping with no mature trees/landscaping that need to be saved. <i>Finding Met</i>

FINAL
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
MAY 5, 2017

Planning Application 2017-7198
1490 Hampton Avenue

DESIGN REVIEW to allow construction of a new two-story residence totaling 3,702.38 sq. ft. (2,583.23 sq. ft. living area, a 490.55 sq. ft. garage and a 628.6 sq. ft. covered patio) resulting in 52.38% FAR. The existing one-story residence will be demolished.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. TITLE 25:

Provisions of Title 25 of the California Administrative Code shall be satisfied with dependence on mechanical ventilation. [SDR] [BUILDING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
 - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

- a) Construction equipment must be maintained per manufacturer's specifications.
- b) Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:
 - i. Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
 - ii. Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
 - iii. Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
 - iv. Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

END OF CONDITIONS

FAR/GFA Table for Immediate Neighborhood (based on County data)

APN	Address	YearBuilt	Stories	Lot Size	G.F.A.	FAR (%)
31301012	1357 Hampton Dr	1948	1	8375	1,898	23
31301013	1361 Hampton Dr	1948	1	7068	2,149	30
31301014	1365 Hampton Dr	1948	1	7068	1,290	18
31301015	1369 Hampton Dr	1948	1	7068	2,334	33
31301016	1373 Hampton Dr	1948	1	7068	1,556	22
31301017	1377 Hampton Dr	1948	1	7068	1,290	18
31301018	1381 Hampton Dr	1948	1	7068	1,470	21
31301019	1385 Hampton Dr	1948	1	7068	1,290	18
31301020	1389 Hampton Dr	1948	1	7038	1,409	20
31301021	1393 Hampton Dr	1948	1	7068	2,010	28
31301022	917 Elizabeth Wy	1952	2	7068	3,540	50
31301023	1398 Hampton Dr	1950	1	7060	1,244	18
31301024	1394 Hampton Dr	1950	2	7068	3,475	49
31301025	1390 Hampton Dr	1950	1	5928	1,524	26
31301026	1386 Hampton Dr	1950	1	7068	1,661	24
31301027	1382 Hampton Dr	1950	1	7068	1,234	17
31301028	1378 Hampton Dr	1950	1	7068	1,744	25
31301029	1374 Hampton Dr	1950	1	7068	1,570	22
31301030	1370 Hampton Dr	1950	1	7068	1,146	16
31301031	1366 Hampton Dr	1949	1	7068	1,892	27
31301032	1362 Hampton Dr	1948	1	7068	1,669	24
31313013	945 Marion Wy	1945	1	7332	1,844	25
31313014	943 Marion Wy	2006	2	7592	3,535	47
31313015	1490 Hampton Dr	proposed	2	7068	3702	52
31313016	1484 Hampton Dr	1950	1	7068	1,540	22
31313017	1478 Hampton Dr	1950	1	7068	1,502	21
31313018	1472 Hampton Dr	1950	1	7068	1,102	16
31313019	1466 Hampton Dr	1950	1	7068	1,865	26
31313020	1460 Hampton Dr	1950	1	7068	1,951	28
31313021	1454 Hampton Dr	1950	1	7068	1,102	16
31313022	1448 Hampton Dr	1950	1	7068	1,724	24
31313023	1442 Hampton Dr	1950	1	7068	2,020	29
31313024	1436 Hampton Dr	1950	1	7068	1,102	16
31313025	1430 Hampton Dr	1950	2	7068	2,480	35
31313026	1428 Hampton Dr	1950	1	7068	1,978	28
31313027	1418 Hampton Dr	2012	2	7068	3,193	45
31313028	1412 Hampton Dr	1950	1	7068	2,102	30
31313029	1406 Hampton Dr	1950	1	7060	1,846	26
31313030	916 Elizabeth Wy	1949	1	7068	1,809	26
31313031	1411 Hampton Dr	1948	1	7068	1,290	18
31313032	1417 Hampton Dr	1950	1	7068	1,512	21
31313033	1423 Hampton Dr	1952	1	7068	1,620	23
31313034	1429 Hampton Dr	1952	1	7068	1,849	26
31313035	1435 Hampton Dr	1952	1	7068	1,804	26
31313036	1441 Hampton Dr	1951	1	7068	1,216	17
31313037	1447 Hampton Dr	1950	1	7068	1,951	28
31313038	1453 Hampton Dr	1950	1	7068	1,739	25
31313039	1459 Hampton Dr	1950	1	7068	1,638	23
31313040	1465 Hampton Dr	1950	1	7068	1,669	24
31313041	1471 Hampton Dr	1950	1	7068	1,102	16
31313042	1477 Hampton Dr	1950	1	7068	1,602	23
31313043	1483 Hampton Dr	1950	1	7068	1,560	22
31313044	1489 Hampton Dr	1950	1	7068	1,570	22
31313045	937 Marion Wy	1950	1	10570	1,498	14
31313046	933 Marion Wy	1950	1	9200	1,582	17
31313047	1498 Wolfe Rd	2006	1	8833	2,420	27
31326054	932 Marion Wy	2015	2	8649	3,341	39
31326055	934 Marion Wy	1950	1	7440	1,300	17
31326056	936 Marion Wy	1950	1	7440	1,102	15
31326057	938 Marion Wy	1950	1	7440	1,244	17
31326058	940 Marion Wy	1950	1	7440	2,087	28
31326059	942 Marion Wy	2015	2	7547	3,371	45
31326060	944 Marion Wy	1950	1	7440	1,066	14
		With Proposed Project				25.2%
		Prior to Proposed Project				24.6%

Photos of Two-Story Homes in the Neighborhood



943 Marion Way – Rear Yard View (house to right of project when facing the front of the house from the street)



943 Marion Way – Front Yard



1430 Hampton Drive



1418 Hampton Drive



1394 Hampton Drive



917 Elizabeth Way

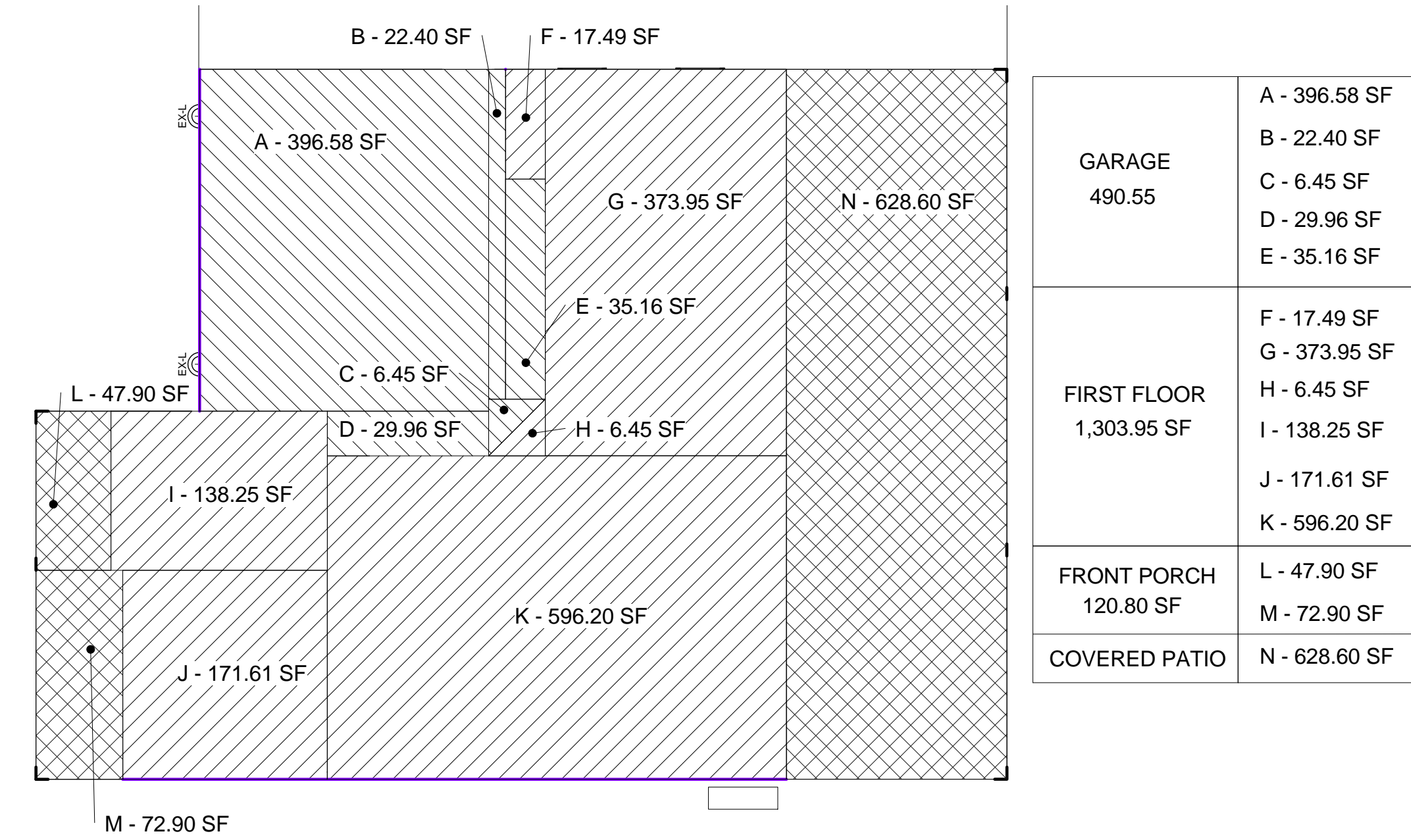
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KASSEL RESIDENCE
1490 HAMPTON DRIVE
SUNNYVALE, CA 94087
Consultant

PLANNING REVISION
v2

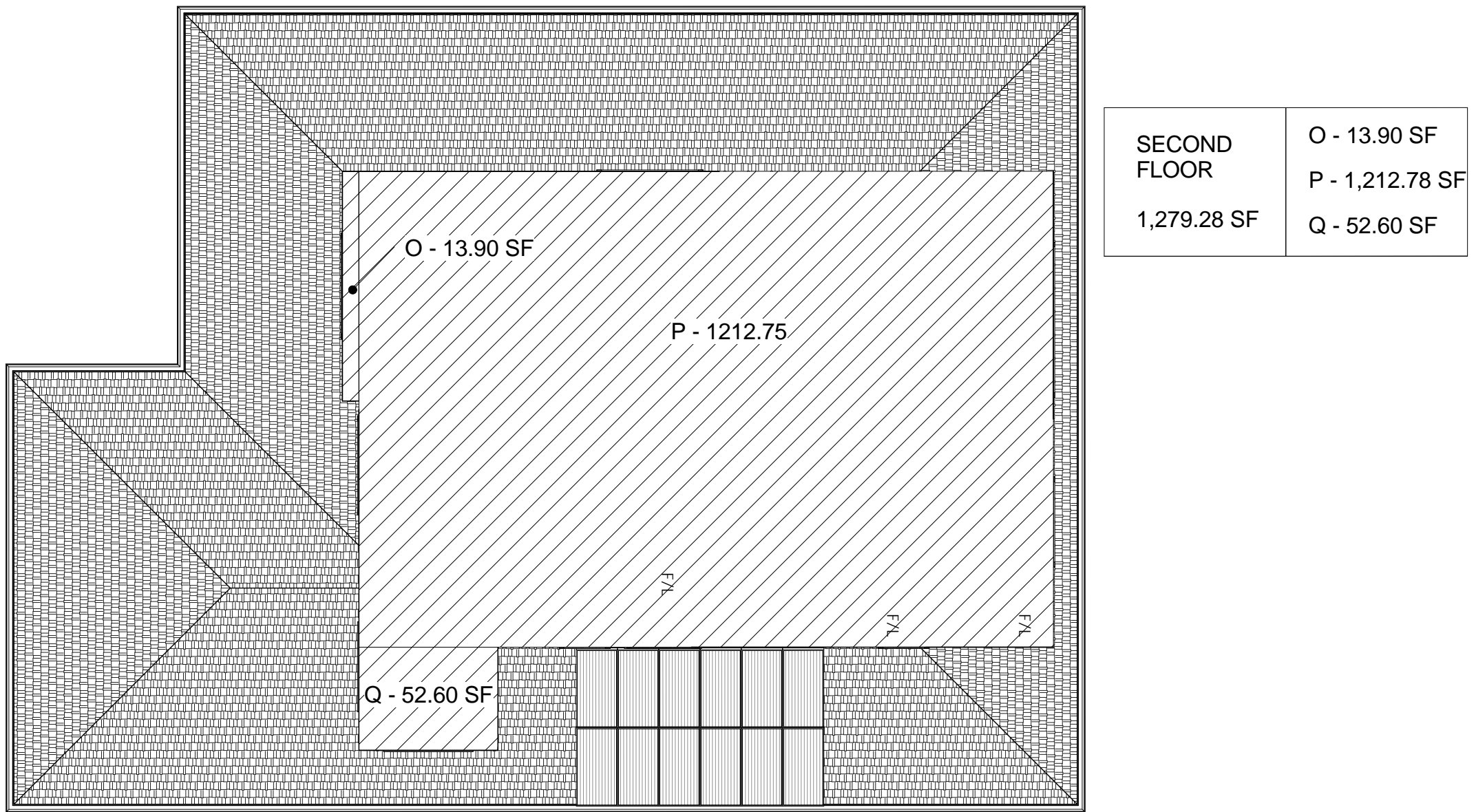
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No		Date
1	Revision 1	Date 1

Sheet Information	
Issue Date	04/28/2017
Job Number	17-007
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/8" = 1'-0"
Sheet Title	

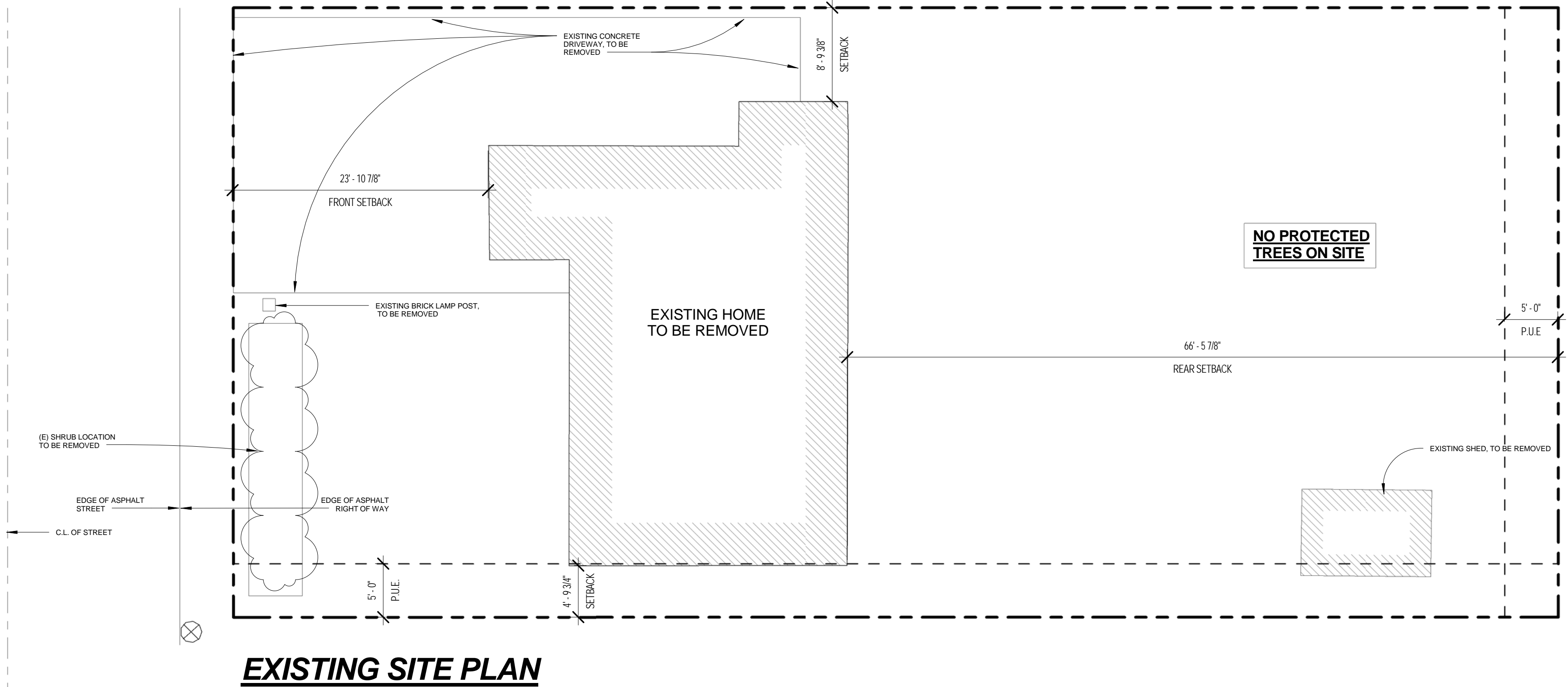
SITE PLAN / LOT
COVERAGE / FAR



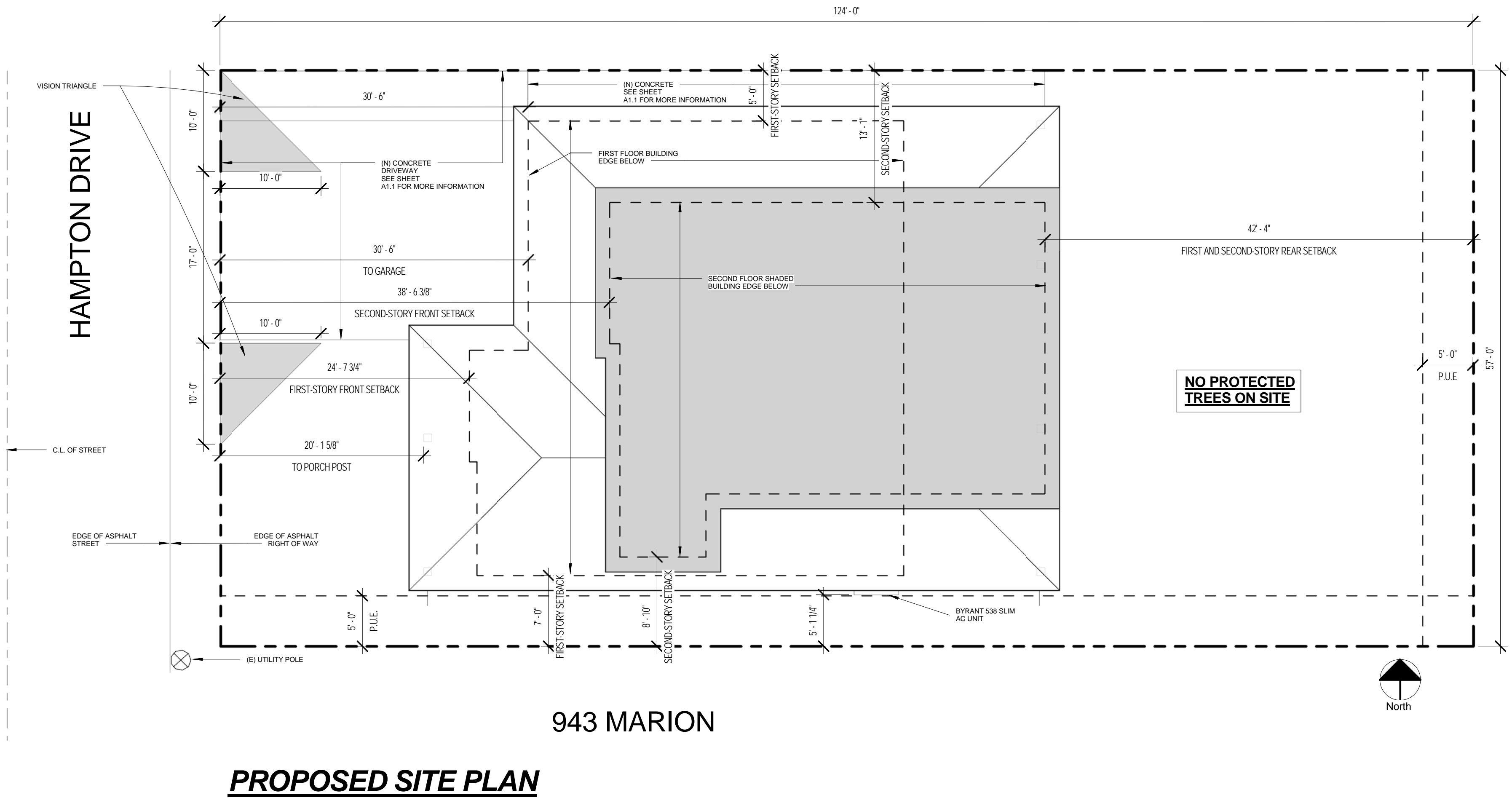
2 GROUND FLOOR AREA PLAN
1/8" = 1'-0"



3 2ND STORY AREA PLAN
1/8" = 1'-0"



1484 HAMPTON

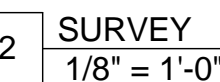
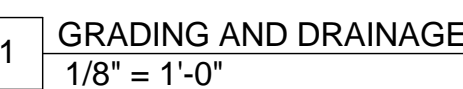


1 SITE PLAN
1/8" = 1'-0"



1490 HAMPTON DRIVE
SUNNYVALE, CA 94807

Consultant



Revision

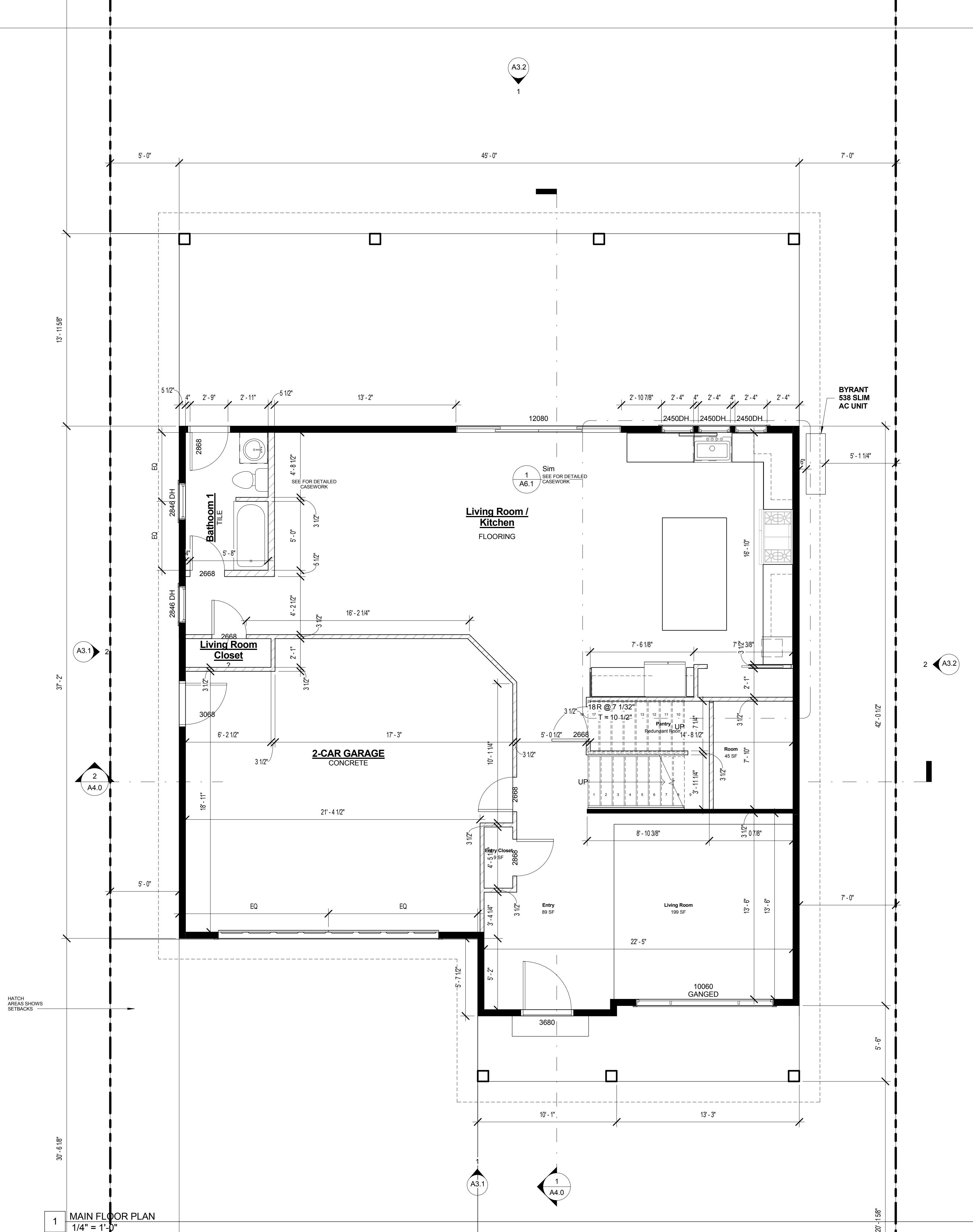
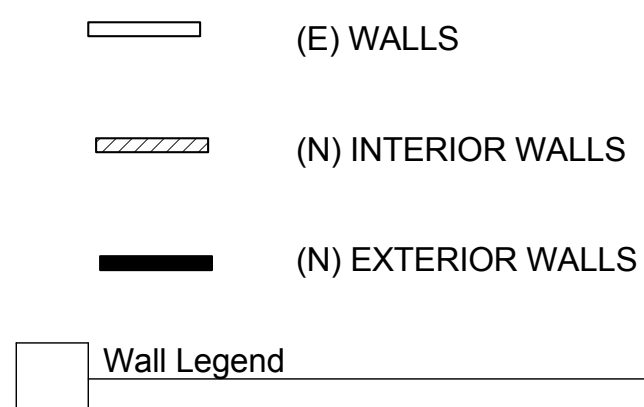
Sheet Information

Sheet Title

A1.1

OVERALL DOOR SCHEDULE				
CONSTRUCTION TYPE	WIDTH	HEIGHT	COMMENTS	COUNT
2668	2' - 6"	6' - 8"		5
2868		6' - 8"		9
3068	3' - 0"	6' - 8"		1
3068 PKCT	3' - 0"	6' - 8"		1
3680	3' - 6"	8' - 0"		1
5068 CL	5' - 0"	6' - 8"		2
7468	2' - 5 5/16"	6' - 8"		1
12080	11' - 11 7/8"	7' - 11 1/2"		1
16080 GARAGE	8' - 0"	6' - 6"		2

OVERALL WINDOW SCHEDULE			
Construction Type	WIDTH	HEIGHT	COUNT
5046 GANGED	5' - 0"	4' - 6"	1
10060 GANGED	10' - 0"	6' - 0"	1
6046 LS	6' - 0"	4' - 6"	2
9056 CS	9' - 0"	5' - 6"	1
2846 DH	2' - 8"	3' - 10"	6
2450DH	2' - 4"	5' - 0"	3
5026 F	5' - 0"	2' - 6"	2
4026 LS	4' - 0"	2' - 6"	1
Grand total: 17			

Project:
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PLANNING REVISION
v2

Revision

[illegible]

Sheet Information

Issue Date	04/20/2011
Job Number	17-007
Drawn	ASM
Checked	AVR
Approved	AVR
Scale	1/4" = 1'-0"

Sheet Title

LOWER FLOOR PLAN

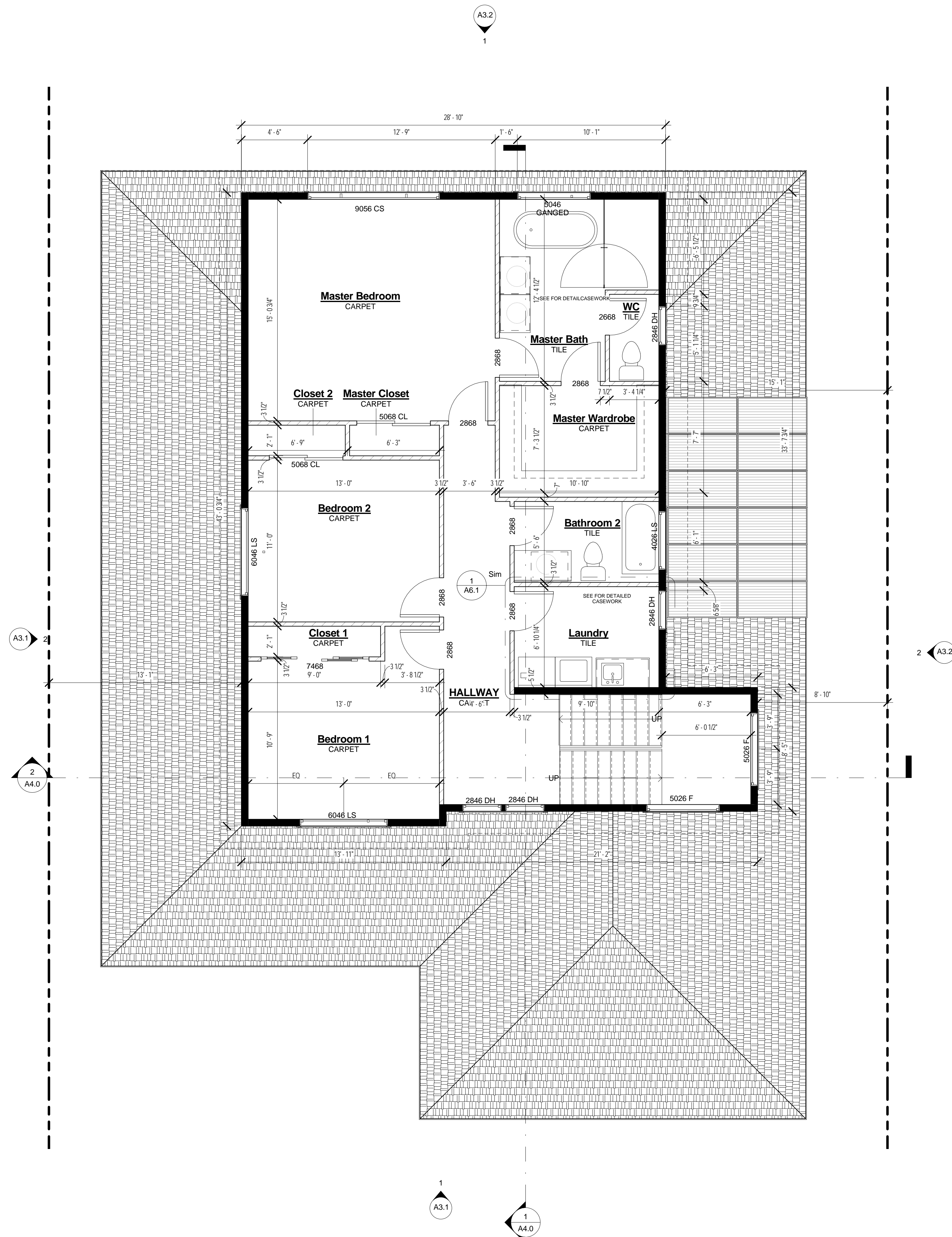
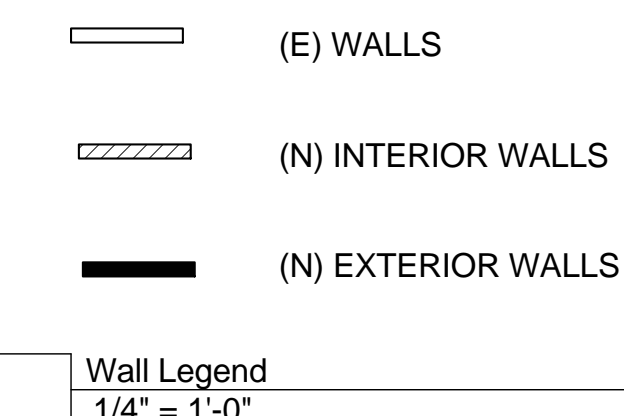
A2.0

OVERALL DOOR SCHEDULE				
CONSTRUCTION TYPE	WIDTH	HEIGHT	COMMENTS	COUNT
2668	2' - 6"	6' - 8"		5
2868		6' - 8"		9
3068	3' - 0"	6' - 8"		1
3068 PKCT	3' - 0"	6' - 8"		1
3680	3' - 6"	8' - 0"		1
5068 CL	5' - 0"	6' - 8"		2
7468	2' - 5 5/16"	6' - 8"		1
12080	11' - 11 7/8"	7' - 11 1/2"		1
16080 GARAGE	8' - 0"	6' - 6"		2

Grand total: 23

OVERALL WINDOW SCHEDULE			
Construction Type	WIDTH	HEIGHT	COUNT
5046 GANGED	5' - 0"	4' - 6"	1
10060 GANGED	10' - 0"	6' - 0"	1
6046 LS	6' - 0"	4' - 6"	2
9056 CS	9' - 0"	5' - 6"	1
2846 DH	2' - 8"	3' - 10"	6
2450DH	2' - 4"	5' - 0"	3
5026 F	5' - 0"	2' - 6"	2
4026 LS	4' - 0"	2' - 6"	1

Grand total: 17

Project:
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Revision

No	Date
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Sheet Title

UPPER FLOOR PLAN



1940 LAFAYETTE STREET UNIT G
SANTA CLARA, CA 95050

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Revision

No Date

Sheet Information

Issue Date 04/20/2017

Job Number 17-007

Drawn	Author
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Approved _____ Designer _____

Scale $1/4" = 1'-0"$

Sheet Title

ROOF PLAN

A2.2

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v2

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No Date

Sheet Information

Issue Date 04/20/2017

Job Number 17-007

Drawn	Author
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Checked _____ Checker _____

Approved	Designer

AS indicated

Sheet Title

ELEVATIC

ELEVATIONS

A3.1

Project:

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PLANNING REVISION
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Revision

No Date

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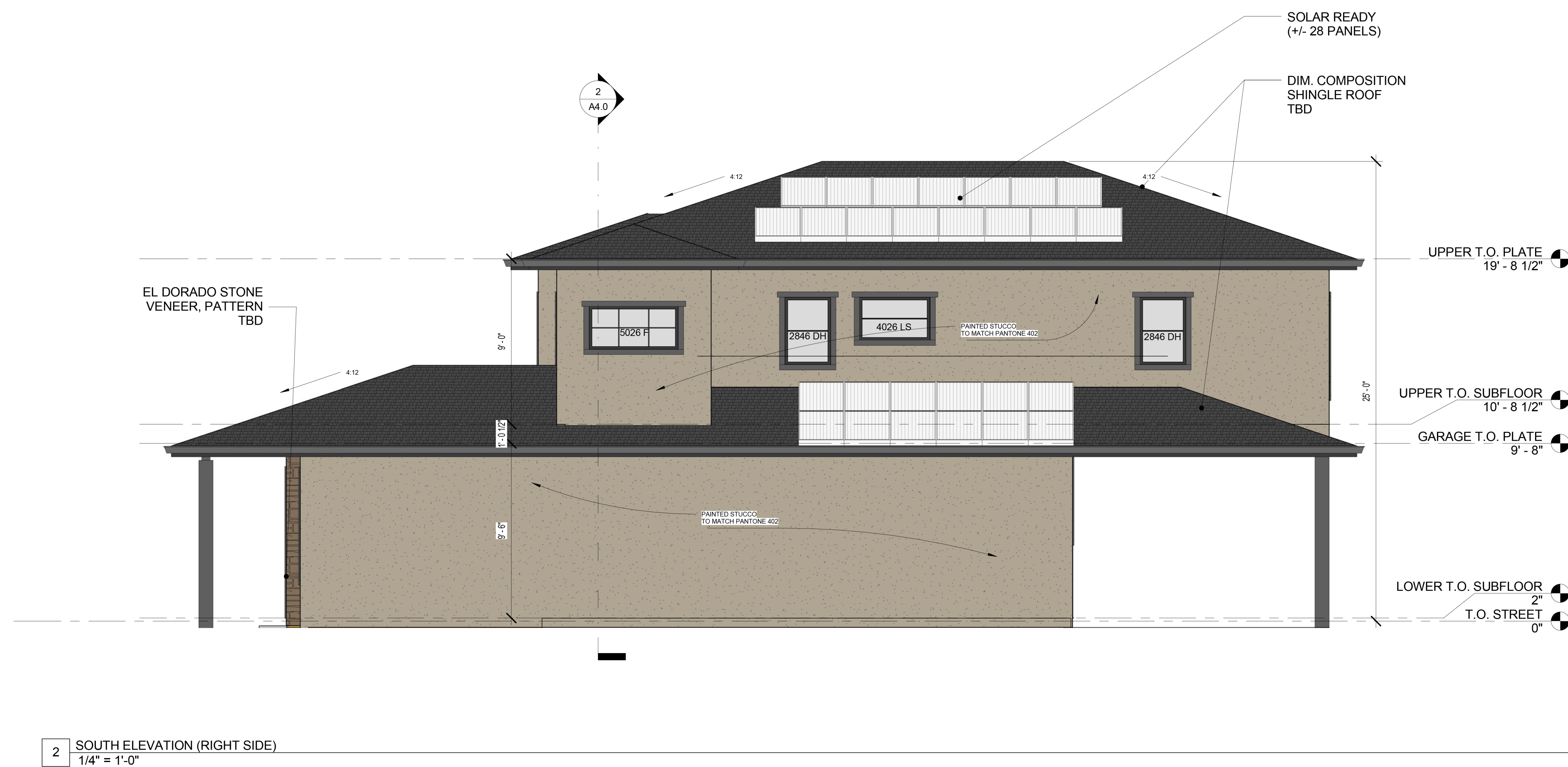
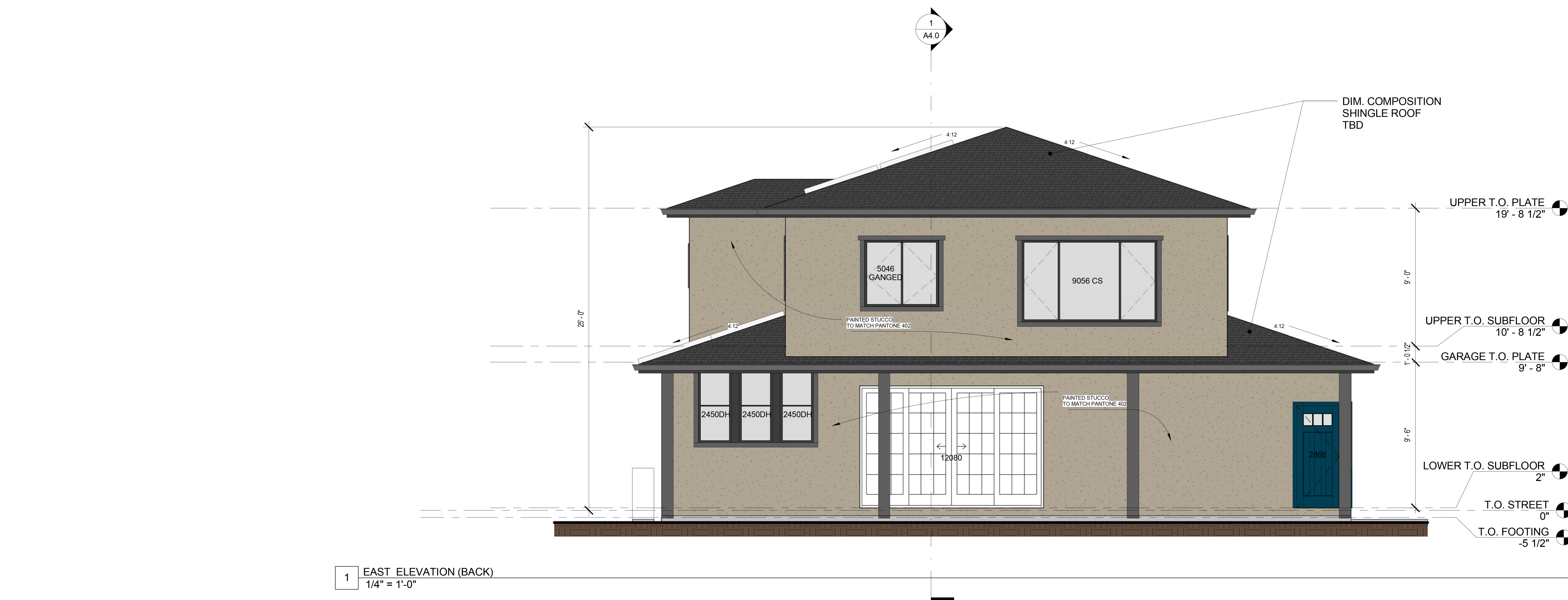
Sheet Information

Issue Date	04/20/2017
Job Number	17-007
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Approved	Designer
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Sheet Title

ELEVATIONS

A3.2



Project:
KASSEL RESIDENCE

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v2

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No Date

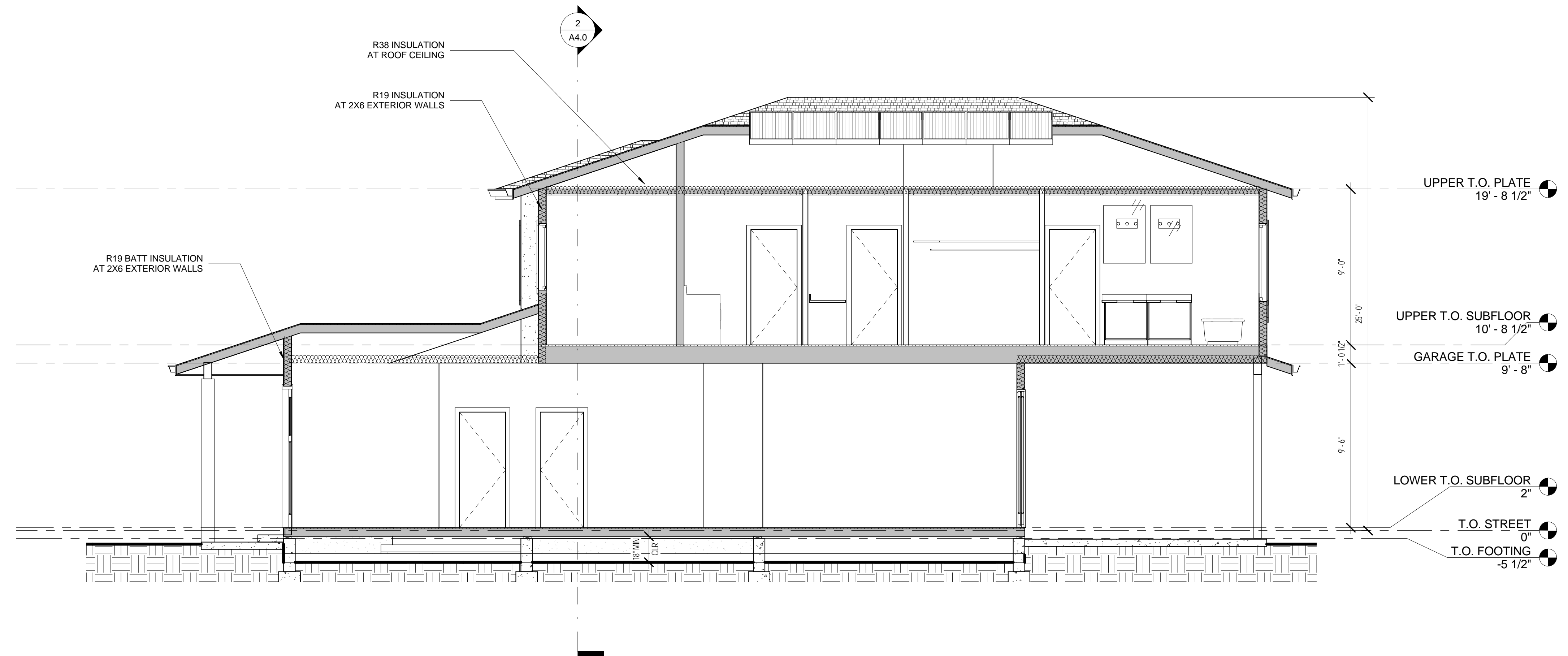
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Job Number	17-007
Drawn	Author
Checked	Checker
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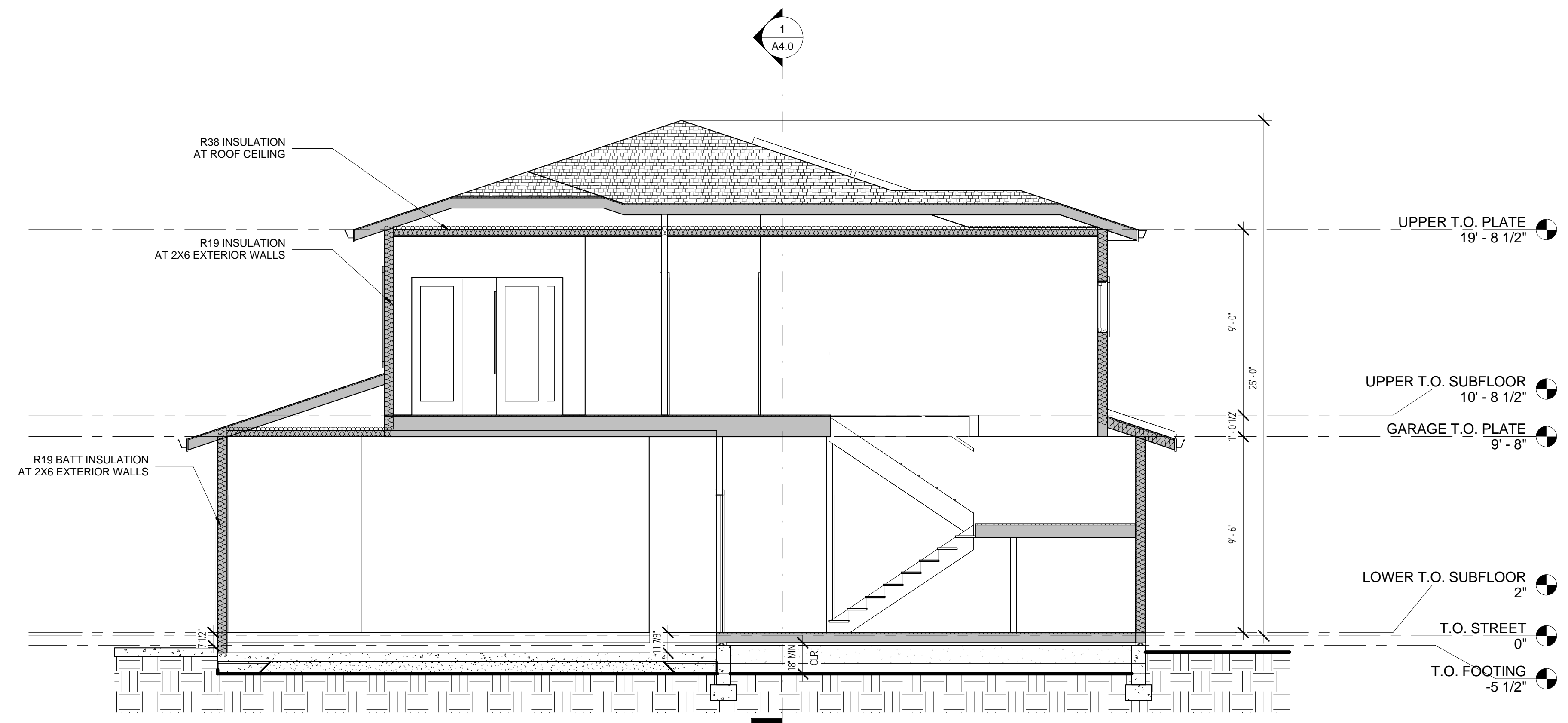
Sheet Title

SECTIONS

A4.0



1 LONGITUDINAL SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"