



City of Sunnyvale

Notice and Agenda City Council

Tuesday, February 27, 2018

5:30 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

Special Meetings: Study Sessions- 5:30 PM and 6 PM | Regular Meeting- 7 PM

5:30 P.M. SPECIAL COUNCIL MEETING (Study Session)

- 1 Call to Order in the West Conference Room (Open to the Public)**
- 2 Roll Call**
- 3 Public Comment**
- 4 Study Session**

[17-0102](#) Minimum Wage Update

- 5 Adjourn Special Meeting**

6 P.M. SPECIAL COUNCIL MEETING (Study Session)

- 1 Call to Order in the West Conference Room (Open to the Public)**
- 2 Roll Call**
- 3 Public Comment**
- 4 Study Session**

[17-1150](#) Wage Theft (Study Issue)

- 5 Adjourn Special Meeting**

7 P.M. COUNCIL MEETING

Pursuant to Council Policy, City Council will not begin consideration of any agenda item after 11:30 p.m. without a vote. Any item on the agenda which must be continued due to the late hour shall be continued to a date certain. Information

provided herein is subject to change from date of printing of the agenda to the date of the meeting.

CALL TO ORDER

Call to Order in the Council Chambers (Open to the Public)

SALUTE TO THE FLAG**ROLL CALL****SPECIAL ORDER OF THE DAY**

- [18-0192](#) SPECIAL ORDER OF THE DAY - Recognition of Heroic Action
- [18-0180](#) SPECIAL ORDER OF THE DAY - National African American History Month
- [18-0116](#) SPECIAL ORDER OF THE DAY - Arbor Day Celebration and Proclamation

ORAL COMMUNICATIONS

This category provides an opportunity for members of the public to address Council on items not listed on the agenda and is limited to 15 minutes (may be extended or continued after the public hearings/general business section of the agenda at the discretion of the Mayor) with a maximum of up to three minutes per speaker. Please note the Brown Act (Open Meeting Law) does not allow Councilmembers to take action on an item not listed on the agenda. If you wish to address the Council, please complete a speaker card and give it to the City Clerk. Individuals are limited to one appearance during this section.

CONSENT CALENDAR

All matters listed on the consent calendar are considered to be routine and will be acted upon by one motion. There will be no separate discussion of these items. If a member of the public would like a consent calendar item pulled and discussed separately, please submit a speaker card to the City Clerk prior to the start of the meeting or before approval of the consent calendar.

- 1.A [18-0102](#) Approve City Council Meeting Minutes of February 6, 2018

Recommendation: Approve the City Council Meeting Minutes of February 6, 2018 as submitted.

- 1.B** [17-1087](#) Approve the List(s) of Claims and Bills Approved for Payment by the City Manager

Recommendation: Approve the list(s) of claims and bills.

- 1.C** [18-0125](#) Authorize the Issuance of Three Purchase Orders for Networking Equipment for Colocation Facility and Additional IT Security Tools (F18-203, F18-204, F18-205)

Recommendation: 1) Authorize the City Manager to issue three purchase orders, excluding sales tax, to: IAS, Inc. in the amount of \$757,789.84 for Cisco networking equipment (connectivity/communications), Palo Alto Networks in the amount of \$513,590.30 for networking equipment (firewalls/IT security subscription services), and NetApp Networks in the amount of \$339,630.73 for networking equipment (enterprise storage), in substantially the same form as the Attachment 4 and 2) Authorize the City Manager to renew the maintenance and support for up to two additional years subject to available funding and acceptable pricing and services

- 1.D** [18-0104](#) Approve Budget Modification No. 41 to Appropriate \$50,000 from the Solid Waste Management Fund for Study Issue ESD18-02 Planning for Post-2021 Solid Waste & Recycling Collection Franchise

Recommendation: Approve Budget Modification No. 41 to appropriate \$50,000 from the Solid Waste Management Fund to fund a study of options for establishing the next franchise for solid waste and recycling collection services.

- 1.E** [18-0154](#) Adopt Ordinance No. 3131-18 Amending Section 19.68.040 (Accessory Dwelling Units) of Title 19 (Zoning) of the Sunnyvale Municipal Code

Recommendation: Adopt Ordinance No. 3131-18.

PUBLIC HEARINGS/GENERAL BUSINESS

If you wish to speak to a public hearings/general business item, please fill out a speaker card and give it to the City Clerk. You will be recognized at the time the item is being considered by Council. Each speaker is limited to a maximum of three minutes. For land-use items, applicants are limited to a maximum of 10 minutes for opening comments and 5 minutes for closing comments.

- 2 [18-0060](#) Proposed Project: Call for Review by the City Council of a Decision by the Planning Commission Approving Related Applications on a 0.34-acre site:
SPECIAL DEVELOPMENT PERMIT: to develop four new single family homes. The existing single family home and accessory living unit are proposed to be demolished.
VESTING TENTATIVE MAP: to subdivide one lot into four lots
File #: 2017-7248
Location: 838 Azure Dr. (APN: 211-18-030)
Zoning: R-2/PD (Residential Low-Medium Density/Planned Development)
Applicant / Owner: Xin Lu
Environmental Review: Mitigated Negative Declaration

Recommendation: Alternative 1: Make the findings required by CEQA in Attachment 3 to the report, affirm the adoption of the Mitigated Negative Declaration and affirm the decision of the Planning Commission to approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and conditions of approval in Attachment 4 to the report.

- 3 [17-1180](#) Authorize the City Manager to Execute a Contract Amendment for the Mary Avenue Overcrossing Environmental Impact Report (EIR) to Undertake Additional Work Required by CEQA, Approve Increase to Contract Contingency Amount and Approve Budget Modification No. 40 in the Amount of \$47,556

Recommendation: Alternative 1: Authorize the City Manager to execute a contract amendment with Kimley-Horn Associates in the amount of \$42,800 for the Mary Avenue Overcrossing Environmental Impact Report (EIR) to undertake additional work required by CEQA to designate a proposed project for the EIR, approve an increase in the contract contingency of \$4,756 and approve Budget Modification No. 40 in the amount of \$47,556.

- 4 [17-0778](#) Public Hearing and Adopt a Resolution Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive and Reserving Public Utility Easements Therein

Recommendation: Alternative 1: Adopt the Resolution Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein; and authorize the City Clerk to record a certified copy of the Resolution to the Santa Clara County Recorder's office.

- 5 [18-0182](#) Amend the Classification Plan to Add the Newly Established Classification of Assistant Director of Community Development and Amend the City's Salary Resolution to Update the Schedule of Pay to Include the Classification

Recommendation: Alternative 1: Adopt Resolution amending Resolution Nos. 143-77 and 190-05 to Add a New Classification of Assistant Director of Community Development to the Classification Plan of the Civil Service, and amending the City's Salary Resolution to Update the Schedule of Pay to Include the New Classification.

COUNCILMEMBERS REPORTS ON ACTIVITIES FROM INTERGOVERNMENTAL COMMITTEE ASSIGNMENTS

NON-AGENDA ITEMS & COMMENTS

-Council

-City Manager

INFORMATION ONLY REPORTS/ITEMS

- | | |
|--------------------------------|---|
| <u>18-0103</u> | Tentative Council Meeting Agenda Calendar |
| <u>18-0057</u> | Information/Action Items |
| <u>18-0044</u> | Boards and Commissions Semi-Annual Attendance Report, July - December 2017 (Information Only) |
| <u>18-0099</u> | Board/Commission Resignations (Information Only) |
| <u>18-0137</u> | Strategic Session Follow-Up: Responses to Council Inquiries (Information Only) |
| <u>18-0066</u> | Board/Commission Meeting Minutes |

ADJOURNMENT**NOTICE TO THE PUBLIC**

The agenda reports to council (RTCs) may be viewed on the City's website at sunnyvale.ca.gov after 7 p.m. on Thursdays or at the Sunnyvale Public Library, 665 W. Olive Ave. as of Fridays prior to Tuesday City Council meetings. Any agenda related writings or documents distributed to members of the City of Sunnyvale City Council regarding any open session item on this agenda will be made available for public inspection in the Office of the City Clerk located at 603 All America Way, Sunnyvale, California during normal business hours and in the Council Chamber on the evening of the Council Meeting, pursuant to Government Code §54957.5. Please contact the Office of the City Clerk at (408) 730-7483 for specific questions regarding the agenda.

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the Office of the City Clerk at or before the public hearing. PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure 1094.5.

Pursuant to the Americans with Disabilities Act, if you need special assistance in this meeting, please contact the Office of the City Clerk at (408) 730-7483. Notification of 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.160 (b) (1))

Planning a presentation for a City Council meeting?

To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" available on the City website at sunnyvale.ca.gov.

Planning to provide materials to Council?

If you wish to provide the City Council with copies of your presentation materials, please provide 12 copies of the materials to the City Clerk (located to the left of the Council dais). The City Clerk will distribute your items to the Council.

Upcoming Meetings

Visit <https://sunnyvaleca.legistar.com> for upcoming Council, board and commission meeting information.



City of Sunnyvale

Agenda Item

17-0102

Agenda Date: 2/27/2018

Minimum Wage Update



City of Sunnyvale

Agenda Item

17-1150

Agenda Date: 2/27/2018

Wage Theft (Study Issue)



City of Sunnyvale

Agenda Item

18-0192

Agenda Date: 2/27/2018

SPECIAL ORDER OF THE DAY - Recognition of Heroic Action



City of Sunnyvale

Agenda Item

18-0180

Agenda Date: 2/27/2018

SPECIAL ORDER OF THE DAY - National African American History Month



City of Sunnyvale

Agenda Item

18-0116

Agenda Date: 2/27/2018

SPECIAL ORDER OF THE DAY - Arbor Day Celebration and Proclamation



City of Sunnyvale

Agenda Item

18-0102

Agenda Date: 2/27/2018

SUBJECT

Approve City Council Meeting Minutes of February 6, 2018

RECOMMENDATION

Approve the City Council Meeting Minutes of February 6, 2018 as submitted.



City of Sunnyvale

Meeting Minutes - Draft City Council

Tuesday, February 6, 2018

5:45 PM

Council Chambers and West Conference
Room, City Hall, 456 W. Olive Ave.,
Sunnyvale, CA 94086

Special Meeting: Closed Session- 5:45 PM | Regular Meeting- 7 PM

5:45 P.M. SPECIAL COUNCIL MEETING (Closed Session)

Vice Mayor Klein announced the items for Closed Session and invited any members of the public to provide public comments before convening to Closed Session.

1 Call to Order in the West Conference Room

Vice Mayor Klein called the meeting to order at 5:48 p.m.

2 Roll Call

Present: 7 - Mayor Glenn Hendricks
Vice Mayor Larry Klein
Councilmember Jim Griffith
Councilmember Gustav Larsson
Councilmember Nancy Smith
Councilmember Russ Melton
Councilmember Michael S. Goldman

Councilmember Griffith arrived at 5:49 p.m.

3 Public Comment

No speakers.

4 Convene to Closed Session

[18-0008](#)

Closed Session held pursuant to California Government Code
Section 54957 (a): THREAT TO PUBLIC SERVICES OR
FACILITIES

Topic: Council Chambers Security

Consultation with Sunnyvale Department of Public Safety:

Phan Ngo, Director of Public Safety and Captain James

Boone; John Nagel, City Attorney

[18-0097](#)

Closed Session held pursuant to California Government Code
Section 54957.6: CONFERENCE WITH LABOR
NEGOTIATORS

Agency designated representatives: Kent Steffens, City
Manager; Teri Silva, Assistant City Manager
Employee organization: Public Safety Managers Association
(PSMA)

5 Adjourn Special Meeting

Vice Mayor Klein adjourned the meeting at 6:27 p.m.

7 P.M. COUNCIL MEETING

CALL TO ORDER

Mayor Hendricks called the meeting to order.

SALUTE TO THE FLAG

Mayor Hendricks led the salute to the flag.

ROLL CALL

Present: 7 - Mayor Glenn Hendricks
Vice Mayor Larry Klein
Councilmember Jim Griffith
Councilmember Gustav Larsson
Councilmember Nancy Smith
Councilmember Russ Melton
Councilmember Michael S. Goldman

Mayor Hendricks announced the meeting would be closed in honor of the memory of Councilmember Nancy Smith's father, Dale Hirstein.

CLOSED SESSION REPORT

Vice Mayor Klein reported the Council met in Closed Session pursuant to California Government Code Section 54957 (a): Threat to Public Services or Facilities; Topic: Council Chambers Security; Consultation with Sunnyvale Department of Public Safety: Phan Ngo, Director of Public Safety and Captain James Boone; John Nagel, City Attorney; nothing to report.

Vice Mayor Klein reported the Council met in Closed Session held pursuant to California Government Code Section 54957.6: Conference with Labor Negotiators; Agency designated representatives: Kent Steffens, City Manager; Teri Silva, Assistant City Manager; Employee organization: Public Safety Managers Association (PSMA); nothing to report.

ORAL COMMUNICATIONS

Councilmember Larsson announced an upcoming Innovate Climate Action in Sunnyvale workshop and challenge.

Scott Brizzolara spoke regarding the brightness and blueness of the new LED street lamps.

Eric Krock spoke in opposition to SB 827 and SB 828 and requested Council oppose the bills.

William Barry spoke in opposition to SB 827 and SB 828.

Lorraine Nishikawa spoke in opposition to SB 827 and SB 828 and requested Council oppose the bills.

Hans spoke in opposition to SB 827 and SB 828 and requested Council oppose the bills.

Alan Ross, representing Friends of Stevens Creek Trail, provided information regarding an upcoming project regarding an impediment to fish passage by Deep Cliff Golf Course and requested Council support of the ongoing process to improve the creek.

Richard McMurtry spoke regarding fish migration barriers along Stevens Creek, provided written materials, and requested Council place the item on an agenda at a future meeting.

CONSENT CALENDAR

Mayor Hendricks announced Item 1.D would be pulled from the Consent Calendar.

MOTION: Vice Mayor Klein moved and Councilmember Larsson seconded the motion to approve Consent Calendar Items 1.A, 1.B, 1.C, 1.E, 1.F, 1.G and 1.H.

The motion carried by the following vote:

Yes: 7 - Mayor Hendricks
Vice Mayor Klein
Councilmember Griffith
Councilmember Larsson
Councilmember Smith
Councilmember Melton
Councilmember Goldman

No: 0

1.A [18-0065](#) Approve City Council Meeting Minutes of January 23, 2018

Approve the City Council Meeting Minutes of January 23, 2018 as submitted.

1.B [17-1086](#) Approve the List(s) of Claims and Bills Approved for Payment
by the City Manager

Approve the list(s) of claims and bills.

1.C [18-0074](#) Receive and File the City of Sunnyvale Investment Report - 4th
Quarter 2017

Receive and file the City of Sunnyvale FY 2017/18 - Fourth Quarter 2017 (Period 7)
Investment Report.

1.D [17-1166](#) Accept the Addendum to the Water Pollution Control Plant
Master Plan Program EIR, Authorize the City Manager to
Accept Grant Funds, and Execute a Sub-recipient Grant
Agreement and Approve Budget Modification No. 39 to
Appropriate \$380,000 from the San Francisco Bay Water
Quality Improvement Fund Grant for the Caribbean Drive
Green Street Demonstration Project

City Manager Kent Steffens provided a brief report and recommended Council not
approve this tonight but give direction to staff to look at potential bike and safety
enhancements and to bring it back to Council in a couple of months with other
options.

Public Hearing opened at 7:22 p.m.

Kira Od spoke regarding the right to public parking access for recreational uses at

the location.

Kristel Wickham, Sustainability Commission member speaking for herself, urged the Council to defer this item and requested direction to staff to reevaluate the bicycle portion of the project to be sure it is designed with the highest safety standards for bicyclists. Wickham recommended Council consult with the Bicycle and Pedestrian Advisory Commission and with the recommendations of the Silicon Valley Bicycle Coalition.

Shiloh Ballard, Executive Director, Silicon Valley Bicycle Coalition, spoke regarding the importance of safety, clear staff direction to elevate sensitivity to safety, and working with partners.

Tim Oey, Bicycle and Pedestrian Advisory Commission member speaking for himself, spoke in support of bicycle safety and requested deferral of this item.

Kevin Jackson spoke regarding the cyclist fatality on Caribbean Drive, expressed concerns regarding bicycle safety, and requested the Bicycle and Advisory Commission to be given an opportunity to provide input on this and all relevant projects.

Public Hearing closed at 7:32 p.m.

MOTION: Vice Mayor Klein moved and Councilmember Smith seconded the motion to postpone the item as written and to further study safety in this region as staff looks at future grants along Caribbean, and that those improvements include, but are not limited to: cycle tracks, additional spacing, and other measures in order to improve cycling and pedestrian traffic at this intersection.

Councilmember Larsson requested clarification that the motion includes direction to staff to bring back the grant authorization at the appropriate time.

Vice Mayor Klein confirmed this is included in the motion.

The motion carried by the following vote:

Yes: 7 - Mayor Hendricks
Vice Mayor Klein
Councilmember Griffith
Councilmember Larsson
Councilmember Smith
Councilmember Melton
Councilmember Goldman

No: 0

1.E [17-1187](#) Reject Proposals for Emergency Operations Center Site Analysis and Feasibility Study (F18-141)

Reject both proposals received in response to Request for Proposals (RFP) F18-141.

1.F [17-1203](#) Authorize Amending an Existing Contract for the Preliminary Design and Environmental Clearance of the Bernardo Undercrossing Project (F17-075) and Approve a Cost Sharing Agreement with the City of Mountain View and a Service Agreement with the Peninsula Corridor Joint Powers Board Regarding the Project and Approval of Budget Modification No. 38

1) Authorize the City Manager to execute a first amendment, in substantially the same form as Attachment 1 to the report, to increase the not to exceed contract amount for the existing consultant services agreement with WMH Corporation from \$586,577 to \$1,051,721, 2) approve a 8.8% contingency in the amount of \$92,848, 3) authorize the City Manager to execute a Cost Sharing Agreement with the City of Mountain View regarding the Project, 4) authorize the City Manager to execute a Service Agreement with the Peninsula Corridor Joint Powers Board in the amount of \$20,500, and 5) approve a Budget Modification No. 38 in the amount of \$532,158 to fund the contract, recognize revenue from the City of Mountain View, and fund the balance of the Peninsula Corridor Joint Powers Board Service Agreement.

1.G [18-0126](#) Adopt Ordinance No. 3130-18 amending the Precise Zoning Plan, Zoning Districts Map, to Rezone 79 contiguous properties located on Pome Avenue, Pomengranate Court, Pulora Court, Qunice Avenue, Sheraton Avenue, and Hollenbeck Avenue from R-1 (Low Density Residential) to R-1/S (Low Density Residential/Single-Story)

Adopt Ordinance No. 3130-18.

1.H [18-0135](#) Approve 2018 Board and Commission Work Plans

Approve the 2018 work plans as submitted.

PUBLIC HEARINGS/GENERAL BUSINESS

2 [18-0100](#) Proposed Project: General Plan Amendment Initiation: to consider amendments to the Moffett Park Specific Plan
File #: 2017-7743
Locations: Moffett Park Specific Plan Area
Applicant / Owner: Google, Inc. (applicant) / various owners
Environmental Review: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15378 (a).

Councilmember Griffith announced the item involves a competitor to his employer, recused himself and left the room.

Councilmember Melton, Councilmember Goldman, Vice Mayor Klein, Councilmember Larsson, Councilmember Smith and Mayor Hendricks each disclosed they met individually with representatives of Google.

Planning Officer Andrew Miner provided the staff report. Director of Community Development Trudi Ryan provided additional information.

Applicant Jeff Holzman, Director of District Development with the real estate group at Google, Inc., spoke regarding the proposed study and provided a PowerPoint presentation.

Public Hearing opened at 8:36 p.m.

Pamela Putman spoke in agreement with the speakers earlier in the meeting and encouraged consideration of cyclists and bicycle safety.

Boban Jose, small business owner in the Moffett Plaza, expressed concerns regarding the loss of small businesses that are being bought by Google and urged Council to consider small family businesses.

Mimi Khuc spoke regarding her family's small business in the small shopping

complex and requested Council not approve the project.

Jacquelyn Khuc spoke regarding the impact of the Google development on their family business in Moffett Plaza, and requested consideration of the impact on their lives.

Kira Od asked that Google involve local biologists and consider birds and wildlife in the area.

Mike Samuel, owner of a small business in Moffett Park, expressed concern regarding the future of the area and requested consideration of the effects of development on the businesses in that area.

Zachary Kaufman spoke regarding consideration of satellite production and the ecosystem that supports it, and what it means to the city fiscally.

Mike Serrone spoke in support of the open space and trails, the reference to placemaking, mixed use and residential development, and encouraged the City to proceed with the study.

Sue Serrone spoke in support of the study and the comments by the Planning Commission. Serrone expressed concerns regarding sea level rise, heat and flooding and spoke in support of the opportunity to study housing needs and requested inclusion of a jobs-housing fit metric.

Nichole Montojo, SV@Home, spoke in support for the study of the Moffett Park Plan and encouraged jobs-housing fit and features that would support affordable housing.

Angela Rausch, Bicycle and Pedestrian Advisory Commission member speaking for herself, spoke in support of the study of mixed use, connectivity of cyclists and pedestrians, and more housing.

Mark Roest, SeaWave Battery, spoke regarding high capacity elevated transit systems and other technologies for connectivity.

Kerry Haywood, Executive Director, Moffett Park Business Group, requested support for the study to update the Moffett Park Specific Plan and support for the staff recommendation.

Ben Pacho, Silicon Valley Bicycle Coalition speaking for himself, expressed support for the amendment to the Moffett Park Specific Plan. Pacho also expressed support for Council's action on Consent Calendar Item 1.D.

Mason Fong, Board of Library Trustees member speaking for himself, spoke in support of the study.

Applicant Jeff Holzman responded to questions.

Public Hearing closed at 9:07 p.m.

MOTION: Vice Mayor Klein moved and Councilmember Larsson seconded the motion to approve Alternatives 1, 2 (A and B) and 3 (A, B, and C i - viii): 1) Initiate a General Plan/Specific Plan Amendment study to consider amending the Moffett Park Specific Plan; 2) Direct staff: A) to prepare a work plan and project description after initial community outreach and return to the Planning Commission for a recommendation and to City Council for action and B) to commence work on the amendment studies only if fully paid for by the applicant(s); and, 3) Direct staff to include the following scope items as suggested by the Planning Commission and modified by staff:

A. Water Supply Assessment.

B. Access at State Highway 237.

C. Bicycle and Pedestrian Master Plan. Prepare a bike and pedestrian circulation plan that considers the following aspects:

- i. Type IV bicycle lanes
- ii. Light Rail and other transportation
- iii. Potential transportation gaps and mitigation measures
- iv. Borregas Avenue bridge access
- v. Mountain View connection via Moffett Drive
- vi. Bike and pedestrian access points to the Bay trail
- vii. Sidewalk width consistency with VTA, Caltrans and AASHTO standards
- viii. Public safety impacts related to Fire Station Five

The motion carried by the following vote:

Yes: 6 - Mayor Hendricks
Vice Mayor Klein
Councilmember Larsson
Councilmember Smith
Councilmember Melton
Councilmember Goldman

No: 0

Recused: 1 - Councilmember Griffith

Council recessed at 9:35 p.m.

Council reconvened at 9:46 p.m. with all Councilmembers present.

- 3** [18-0062](#) Introduce an Ordinance to Amend Sunnyvale Municipal Code Section 19.68.040 (Accessory Dwelling Units) and Find that the Action is Exempt from Environmental Review Pursuant to Public Resources Code Section 21080.17

Director of Community Development Trudi Ryan provided the staff report.

Public Hearing opened at 9:48 p.m.

No speakers.

Public Hearing closed at 9:48 p.m.

MOTION: Vice Mayor Klein moved and Councilmember Larsson seconded the motion to approve Alternative 1: Make the finding that the action is exempt from the California Environmental Quality Act pursuant to Public Resources Code Section 21080.17 and introduce an Ordinance (Attachment 2 to the report) to adopt the proposed amendments to Sunnyvale Municipal Code Section 19.68.040 (Accessory Dwelling Units).

City Clerk Kathleen Franco Simmons read the ordinance title.

The motion carried by the following vote:

Yes: 6 - Mayor Hendricks
Vice Mayor Klein
Councilmember Griffith
Councilmember Larsson
Councilmember Smith
Councilmember Melton

No: 0

Abstain: 1 - Councilmember Goldman

- 4** [18-0120](#) Approve Memorandum of Understanding between the City of Sunnyvale and the Communication Officers Association, Adopt two Resolutions: (1) Amending the City's Salary Resolution and the Schedule of Pay to Increase Salaries for Pay Plan Category A (Classified Employees Represented by the Communication Officers Association ("COA")), and (2) For Paying and Reporting the Value of Employer Paid Member Contributions for CalPERS Retirement for COA Employees

Interim Director of Human Resources Anthony Giles provided the staff report.

Public Hearing opened at 9:54 p.m.

No speakers.

Public Hearing closed at 9:54 p.m.

MOTION: Councilmember Larsson moved and Councilmember Smith seconded the motion to approve Alternative 1: Authorize the City Manager to Execute the Memorandum of Understanding between the City of Sunnyvale and the Communication Officers Association, Adopt two Resolutions: 1) Amending the City's Salary Resolution and the Schedule of Pay to Increase Salaries for Pay Plan Category A (Classified Employees Represented by the Communication Officers Association), and 2) for Paying and Reporting the Value of Employer Paid Member Contributions for CalPERS Retirement for COA employees.

The motion carried by the following vote:

Yes: 7 - Mayor Hendricks
Vice Mayor Klein
Councilmember Griffith
Councilmember Larsson
Councilmember Smith
Councilmember Melton
Councilmember Goldman

No: 0

COUNCILMEMBERS REPORTS ON ACTIVITIES FROM INTERGOVERNMENTAL COMMITTEE ASSIGNMENTS

Councilmember Smith reported her attendance at a meeting of the Santa Clara County Creeks Coalition in which fish passage into Stevens Creek was discussed.

MOTION: Councilmember Smith moved and Vice Mayor Klein seconded the motion to direct staff to place on a future agenda an item with a recommendation regarding contributing funds to the Santa Clara County Creeks Coalition.

The motion carried by the following vote:

Yes: 7 - Mayor Hendricks
Vice Mayor Klein
Councilmember Griffith
Councilmember Larsson
Councilmember Smith
Councilmember Melton
Councilmember Goldman

No: 0

NON-AGENDA ITEMS & COMMENTS

-Council

None.

-City Manager

City Manager Kent Steffens noted an Information Only item in the agenda packet regarding 2017 Housing Legislation.

INFORMATION ONLY REPORTS/ITEMS

- [18-0067](#) Tentative Council Meeting Agenda Calendar
- [18-0056](#) Information/Action Items
- [17-1208](#) Review of 2017 Housing Legislation (Information Only)
- [18-0038](#) Board/Commission Meeting Minutes

ADJOURNMENT

Councilmember Smith provided comments in honor of the memory of her father, Dale Hirstein.

Following a moment of silence, Mayor Hendricks adjourned the meeting at 10:08 p.m.



City of Sunnyvale

Agenda Item

17-1087

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Approve the List(s) of Claims and Bills Approved for Payment by the City Manager

BACKGROUND

Pursuant to Sunnyvale Charter Section 802(6), the City Manager has approved for payment claims and bills on the following list(s); and checks have been issued.

List No.	Date	Total Disbursements
905	01-21-18 through 01-27-18	\$4,038,370.01
906	01-28-18 through 02-03-18	\$5,774,353.55
907	02-04-18 through 02-10-18	\$2,901,086.94

Payments made by the City are controlled in a variety of ways. In general, payments are reviewed by the appropriate City staff for compliance with the goods or services provided. Any discrepancies are resolved and re-submitted for payment. Different levels of dollar amounts for payments require varying levels of approval within the organization. Ultimately payments are reviewed and processed by the Finance Department. Budgetary control is set by Council through the budget adoption resolution.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" with the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15378(b)(4) in that it is a fiscal activity that does not involve any commitment to any specific project which may result in a potential significant impact on the environment.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

RECOMMENDATION

Approve the list(s) of claims and bills.

Prepared by: Timothy J. Kirby, Director of Finance

Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager

ATTACHMENTS

1. List(s) of Claims and Bills Approved for Payment

2/9/2018

City of Sunnyvale

LIST # 905

Page 1

List of All Claims and Bills Approved for Payment
For Payments Dated 1/21/2018 through 1/27/2018

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
xxx299003	1/23/18	4LEAF INC	J3567D	Consultants	9,519.68	0.00	9,519.68	\$9,519.68
xxx299004	1/23/18	AECOM TECHNICAL SERVICES INC	37957885	Engineering Services	117,832.76	0.00	117,832.76	\$117,832.76
xxx299005	1/23/18	AMA GOLF	142919	Inventory Purchase	1,494.32	0.00	1,494.32	\$1,494.32
xxx299006	1/23/18	AT&T	0851910408	Software As a Service	529.55	0.00	529.55	\$529.55
xxx299007	1/23/18	ACCLAMATION INSURANCE MANAGEMENT	109274	Workers' Compensation - Administration	25,320.83	0.00	25,320.83	\$25,320.83
xxx299008	1/23/18	ACTERRA	SUNNYVALE2	Consultants	36,000.00	0.00	36,000.00	\$36,000.00
xxx299009	1/23/18	ADVANCED CHEMICAL TRANSPORT INC	166354	HazMat Disposal - Hazardous Waste Disposal	2,972.95	0.00	2,972.95	\$7,735.75
			166375	HazMat Disposal - Hazardous Waste Disposal	4,762.80	0.00	4,762.80	
xxx299011	1/23/18	AIR COOLED ENGINES INC	80101	Parts, Vehicles & Motor Equip	19.62	0.00	19.62	\$39.24
			80107	Parts, Vehicles & Motor Equip	19.62	0.00	19.62	
xxx299012	1/23/18	ANDERSON PACIFIC ENGINEERING	WPCPCHLRINE #30	Construction Services	158,070.66	0.00	158,070.66	\$158,070.66
xxx299013	1/23/18	APPLEONE EMPLOYMENT SERVICES	01-4735811	Contracts/Service Agreements	924.96	0.00	924.96	\$4,795.01
			01-4735812	Contracts/Service Agreements	3,870.05	0.00	3,870.05	
xxx299015	1/23/18	BAKER & TAYLOR	4012107271	Library Acquisitions, Books	28.27	0.00	28.27	\$29.55
			4012107271	Library Materials Preprocessing	1.28	0.00	1.28	
xxx299016	1/23/18	BOOTSTRAP SOLUTIONS	2003	Contracts/Service Agreements	8,611.82	0.00	8,611.82	\$8,611.82
xxx299017	1/23/18	BOUND TREE MEDICAL LLC	82745215	Inventory Purchase	6,679.30	0.00	6,679.30	\$6,679.30
xxx299018	1/23/18	BRODART CO	489511	General Supplies	1,070.39	0.00	1,070.39	\$1,070.39
xxx299019	1/23/18	BUCKLES-SMITH ELECTRIC CO	3071759-00	Electrical Parts & Supplies	950.63	0.00	950.63	\$950.63
xxx299020	1/23/18	CALIFORNIA BUILDING OFFICIALS	11200	Training and Conferences	975.00	0.00	975.00	\$975.00
xxx299021	1/23/18	CALTRONICS BUSINESS SYSTEMS	2420678	Misc Equip Maint & Repair - Labor	477.41	0.00	477.41	\$862.96
			2430468	Misc Equip Maint & Repair - Labor	385.55	0.00	385.55	
xxx299022	1/23/18	CENTRAL LABOR COUNCIL PARTNERSHIP	DEC2017	DED Services/Training - Training	691.04	0.00	691.04	\$72,890.88
			DEC2017	Contracts/Service Agreements	72,199.84	0.00	72,199.84	
xxx299023	1/23/18	CITY OF MOUNTAIN VIEW	AR180787	Services Maintain Land Improv	12,000.00	0.00	12,000.00	\$12,000.00

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xxx299024	1/23/18	CITY OF SANTA CLARA MUNICIPAL UTILITIES	JAN2018	Utilities - Electric	545.68	0.00	545.68	\$545.68
xxx299025	1/23/18	CLAY PLANET	219196	General Supplies	2,714.55	0.00	2,714.55	\$2,789.55
			219203	Misc Equip Maint & Repair - Labor	75.00	0.00	75.00	
xxx299026	1/23/18	D & M TRAFFIC SERVICES INC	55801	Inventory Purchase	918.87	0.00	918.87	\$918.87
xxx299027	1/23/18	D W NICHOLSON CORP	9183	Miscellaneous Equipment Parts & Supplies	2,981.99	0.00	2,981.99	\$2,981.99
xxx299028	1/23/18	DLT SOLUTIONS LLC	SI381451	Software As a Service	1,230.50	0.00	1,230.50	\$1,230.50
xxx299029	1/23/18	DNV GL ENERGY SERVICES USA INC.	875010000582	Consultants	14,458.14	0.00	14,458.14	\$14,458.14
xxx299030	1/23/18	DEL GAVIO GROUP	8369	Facilities Equipment	575.00	0.00	575.00	\$3,074.48
			8413	Furniture	2,499.48	0.00	2,499.48	
xxx299031	1/23/18	DELL MARKETING LP	10218094854	Computer Hardware	1,489.98	0.00	1,489.98	\$1,489.98
xxx299033	1/23/18	EBSCO INFORMATION SERVICES	0091902	Library Periodicals/Databases	74.36	0.00	74.36	\$74.36
xxx299034	1/23/18	ECONOLITE SYSTEMS, INC.	21854	Services Maintain Land Improv	7,609.28	0.00	7,609.28	\$105,756.14
			21856	Services Maintain Land Improv	4,106.52	0.00	4,106.52	
			21857	Services Maintain Land Improv	41,173.07	0.00	41,173.07	
			22007	Services Maintain Land Improv	5,978.72	0.00	5,978.72	
			22008	Services Maintain Land Improv	4,062.30	0.00	4,062.30	
			22035	Services Maintain Land Improv	2,645.11	0.00	2,645.11	
			22079	Services Maintain Land Improv	31,446.29	0.00	31,446.29	
			22080	Construction Services	8,734.85	0.00	8,734.85	
xxx299035	1/23/18	EDELMAN CORP	5179	Miscellaneous Services	210.00	0.00	210.00	\$210.00
xxx299036	1/23/18	EMPIRE SAFETY & SUPPLY	0091479-IN	Inventory Purchase	952.22	0.00	952.22	\$952.22
xxx299037	1/23/18	EXAMINETICS INC	216611	Occupational Health and Safety Services - Other	6,000.00	0.00	6,000.00	\$6,000.00
xxx299038	1/23/18	FCI INTERNATIONAL LTD	1115721	Misc Equip Maint & Repair - Labor	854.95	0.00	854.95	\$854.95
xxx299039	1/23/18	FERGUSON ENTERPRISES INC 1423	1335155	Inventory Purchase	3,129.94	28.72	3,101.22	\$4,040.82
			1335182	Inventory Purchase	948.30	8.70	939.60	
xxx299040	1/23/18	GARDA	10342364	Financial Services	3,469.32	0.00	3,469.32	\$6,938.64
			10354727	Financial Services	3,469.32	0.00	3,469.32	
xxx299041	1/23/18	GENUENT LLC	256946	Professional Services	1,248.00	0.00	1,248.00	\$3,120.00
			257098	Professional Services	1,872.00	0.00	1,872.00	
xxx299042	1/23/18	GRANITEROCK CO	1078925	Materials - Land Improve	256.88	0.00	256.88	\$256.88

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xxx299044	1/23/18	INFORMATION SERVICES DEPT	1800060804	Software As a Service	1,966.40	0.00	1,966.40	\$1,966.40
xxx299045	1/23/18	INTERNATIONAL MANAGEMENT SYSTEMS	8055	Professional Services	9,620.00	0.00	9,620.00	\$9,620.00
xxx299046	1/23/18	JMB CONSTRUCTION INC	WLFEVLYNH2O #04	Construction Services	593,750.00	0.00	593,750.00	\$593,750.00
xxx299047	1/23/18	KMVT COMMUNITY TELEVISION	7110	Engineering Services	5,250.71	0.00	5,250.71	\$5,250.71
xxx299048	1/23/18	KAPPE ARCHITECTS	1319	Consultants	3,461.50	0.00	3,461.50	\$3,461.50
xxx299050	1/23/18	KOHLWEISS AUTO PARTS INC	01PO0515	Inventory Purchase	1,658.66	33.17	1,625.49	\$1,625.49
xxx299051	1/23/18	L N CURTIS & SONS INC	INV147710	Clothing, Uniforms & Access	196.20	0.00	196.20	\$196.20
xxx299052	1/23/18	LAWSON PRODUCTS INC	9305504966	Miscellaneous Equipment Parts & Supplies	384.36	0.00	384.36	\$384.36
xxx299053	1/23/18	M&M COMMUNICATIONS INC	575	Miscellaneous Services	4,900.00	0.00	4,900.00	\$5,300.00
			579	Miscellaneous Services	300.00	0.00	300.00	
			580	Miscellaneous Services	100.00	0.00	100.00	
xxx299054	1/23/18	MGT OF AMERICA CONSULTING LLC	32834	Mandated Cost SB 90	4,350.00	0.00	4,350.00	\$4,350.00
xxx299055	1/23/18	MCMaster CARR SUPPLY CO	54327268	Miscellaneous Equipment Parts & Supplies	242.66	0.00	242.66	\$1,690.54
			54362738	Miscellaneous Equipment Parts & Supplies	1,194.70	0.00	1,194.70	
			54423513	Miscellaneous Equipment Parts & Supplies	253.18	0.00	253.18	
xxx299056	1/23/18	MIDWEST TAPE	95713361	Library Acquis, Audio/Visual	417.71	0.00	417.71	\$2,819.28
			95715684	Library Acquis, Audio/Visual	917.09	0.00	917.09	
			95715685	Library Acquis, Audio/Visual	672.82	0.00	672.82	
			95733526	Library Acquis, Audio/Visual	811.66	0.00	811.66	
xxx299057	1/23/18	MOUNTAIN VIEW LOS ALTOS ADULT SCHOOL	01102018	DED Services/Training - Training	157.50	0.00	157.50	\$157.50
xxx299058	1/23/18	MUNICIPAL PLAN CHECK SERVICES, INC.	1007	Consultants	18,000.00	0.00	18,000.00	\$18,000.00
xxx299059	1/23/18	OSC COMPUTER TRAINING	5072	DED Services/Training - Training	599.97	0.00	599.97	\$599.97
xxx299060	1/23/18	OPENACCESS LLC	001105818DEC1 7	Contracts/Service Agreements	1,800.00	0.00	1,800.00	\$3,900.00
			002105118DEC1 7	Contracts/Service Agreements	2,100.00	0.00	2,100.00	
xxx299061	1/23/18	OVERDRIVE INC	910CO18004218	Library Periodicals/Databases	659.97	0.00	659.97	\$1,647.13
			910CO18011214	Library Periodicals/Databases	501.62	0.00	501.62	
			910CO18011215	Library Periodicals/Databases	206.12	0.00	206.12	

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			910DA18000860	Library Periodicals/Databases	113.94	0.00	113.94	
			910DA18005555	Library Periodicals/Databases	147.49	0.00	147.49	
			910DA18010243	Library Periodicals/Databases	17.99	0.00	17.99	
xxx299063	1/23/18	PAYFLEX SYSTEMS USA INC	128934-1097264	Insurances - Depend Care & Health Care	1,254.80	0.00	1,254.80	\$1,275.40
				Rmb Admin Fees				
			128934-1097264	Professional Services	20.60	0.00	20.60	
xxx299064	1/23/18	PRN ERGONOMIC SERVICES	17120127	Miscellaneous Services	100.00	0.00	100.00	\$100.00
xxx299065	1/23/18	PACIFIC TELEMAGEMENT SERVICES	964942	Utilities - Telephone	75.00	0.00	75.00	\$75.00
xxx299066	1/23/18	PACIFIC WEST SECURITY INC	1006162	Alarm Services	79.00	0.00	79.00	\$251.00
			1070640	Alarm Services	79.00	0.00	79.00	
			1071086	Alarm Services	93.00	0.00	93.00	
xxx299067	1/23/18	PAN ASIAN PUBLICATIONS INC	U-15453	Library Acquisitions, Books	677.93	0.00	677.93	\$677.93
xxx299068	1/23/18	PENINSULA BATTERY INC	124066	Inventory Purchase	464.34	0.00	464.34	\$464.34
xxx299069	1/23/18	PETERSON TRUCKS	102862P	Parts, Vehicles & Motor Equip	465.29	0.00	465.29	\$1,900.79
			31304	Auto Maint & Repair - Labor	615.21	0.00	615.21	
			31304	Auto Maint & Repair - Materials	434.29	0.00	434.29	
			32205	Auto Maint & Repair - Labor	336.00	0.00	336.00	
			32205	Auto Maint & Repair - Materials	50.00	0.00	50.00	
xxx299070	1/23/18	PINE CONE LUMBER CO INC	739218	Inventory Purchase	258.50	2.59	255.91	\$928.99
			739219	Inventory Purchase	679.88	6.80	673.08	
xxx299071	1/23/18	PROXY NETWORKS INC	IN1711034	Software Licensing & Support	3,245.04	0.00	3,245.04	\$3,245.04
xxx299072	1/23/18	RANKIN STOCK HEABERLIN	34888	Legal Services	3,636.99	0.00	3,636.99	\$4,004.49
			34889	Legal Services	122.50	0.00	122.50	
			34890	Legal Services	245.00	0.00	245.00	
xxx299073	1/23/18	RASH CURTIS & ASSOC	662700000315	Financial Services	207.60	0.00	207.60	\$207.60
xxx299074	1/23/18	RAYVERN LIGHTING SUPPLY CO INC	55036-0	Inventory Purchase	2,514.77	0.00	2,514.77	\$2,514.77
xxx299075	1/23/18	READYREFRESH BY NESTLE	08A0035365238	Miscellaneous Services	32.69	0.00	32.69	\$96.13
			18A0024199309	Miscellaneous Services	46.69	0.00	46.69	
			18A5715636006	General Supplies	16.75	0.00	16.75	
xxx299076	1/23/18	REDWOOD ENGINEERING CONSTRUCTION	ORCHHRTGPR K#01	Construction Services	11,827.50	0.00	11,827.50	\$11,827.50
xxx299077	1/23/18	SC FUELS	3488843	Inventory Purchase	16,170.32	0.00	16,170.32	\$16,170.32

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xxx299078	1/23/18	SCBA SAFETY CHECK INC	9258	Safety Equipment Maintenance & Repair	466.93	0.00	466.93	\$466.93
xxx299079	1/23/18	SAFEWAY INC	434252-011718	Inventory Purchase	101.69	0.00	101.69	\$129.97
			805498-010818	General Supplies	23.28	0.00	23.28	
			809037-011618	Food Products	5.00	0.00	5.00	
xxx299080	1/23/18	SAN FRANCISCO STATE UNIVERSITY	758056	DED Services/Training - Training	595.00	0.00	595.00	\$595.00
xxx299081	1/23/18	SAN MATEO COUNTY COMMUNITY COLLEGE	202837	Contracts/Service Agreements	18,053.63	0.00	18,053.63	\$18,053.63
xxx299082	1/23/18	SANTA CLARA COUNTY EAC	J KIHARA-2018	Membership Fees	80.00	0.00	80.00	\$80.00
xxx299083	1/23/18	SHIN SHIN TRAINING CENTER	W20180023	DED Services/Training - Training	495.00	0.00	495.00	\$990.00
			20F2					
			W20180024	DED Services/Training - Training	495.00	0.00	495.00	
			20F2					
xxx299084	1/23/18	SHRED-IT USA	8123841531	Records Related Services	54.45	0.00	54.45	\$54.45
xxx299085	1/23/18	SILICON VALLEY TOW	78521	Vehicle Towing Services	2,400.00	0.00	2,400.00	\$2,400.00
xxx299086	1/23/18	SITEONE LANDSCAPE SUPPLY LLC	84027641	Inventory Purchase	1,998.75	0.00	1,998.75	\$1,998.75
xxx299087	1/23/18	SMART & FINAL INC	054697-011018	Food Products	344.86	0.00	344.86	\$390.98
			054697-011018	General Supplies	23.74	0.00	23.74	
			057066-011718	General Supplies	22.38	0.00	22.38	
xxx299088	1/23/18	STIFEL NICOLAUS & CO INC	010418-0025	Financial Services	2,342.09	0.00	2,342.09	\$2,342.09
xxx299089	1/23/18	STOP PROCESSING CENTER	17437	Financial Services	22.04	0.00	22.04	\$22.04
xxx299090	1/23/18	SUBURBAN PROPANE	2289065	Fuel, Oil & Lubricants	31.53	0.00	31.53	\$31.53
xxx299091	1/23/18	SUPERIOR PRESS	3682041	Printing & Related Services	281.44	0.00	281.44	\$314.93
			3694890	Printing & Related Services	33.49	0.00	33.49	
xxx299092	1/23/18	SUPPLYWORKS	425946803	Inventory Purchase	2,075.36	19.04	2,056.32	\$2,056.32
xxx299093	1/23/18	TRICOR AMERICA INC	M647271	General Supplies	141.25	0.00	141.25	\$911.25
			M647986	Contracts/Service Agreements	770.00	0.00	770.00	
xxx299094	1/23/18	UC REGENTS	1001238-181	DED Services/Training - Training	2,178.00	0.00	2,178.00	\$22,549.50
			1002479-181	DED Services/Training - Training	4,275.00	0.00	4,275.00	
			1002566-181	DED Services/Training - Training	4,284.00	0.00	4,284.00	
			1002925-181	DED Services/Training - Training	4,315.50	0.00	4,315.50	
			1003049-181	DED Services/Training - Training	2,929.50	0.00	2,929.50	
			1014928-181	DED Services/Training - Training	4,567.50	0.00	4,567.50	

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xxx299096	1/23/18	UNIVAR USA INC	SJ858505	Chemicals	3,375.95	0.00	3,375.95	\$3,375.95
xxx299097	1/23/18	UNIVERSITY OF CALIFORNIA SANTA CRUZ	57231	DED Services/Training - Training	600.00	0.00	600.00	\$21,883.50
			57330	DED Services/Training - Training	600.00	0.00	600.00	
			57438	DED Services/Training - Training	600.00	0.00	600.00	
			57443	DED Services/Training - Training	600.00	0.00	600.00	
			57491	DED Services/Training - Training	600.00	0.00	600.00	
			57522	DED Services/Training - Training	600.00	0.00	600.00	
			57932	DED Services/Training - Training	3,546.00	0.00	3,546.00	
			57937	DED Services/Training - Training	4,837.50	0.00	4,837.50	
			57939	DED Services/Training - Training	4,572.00	0.00	4,572.00	
			57941	DED Services/Training - Training	5,328.00	0.00	5,328.00	
xxx299098	1/23/18	VMI INC	171227	Audio Visual Products	16,267.90	0.00	16,267.90	\$25,599.66
			171227	Comm Equip Maintain & Repair - Labor 1	1,269.19	0.00	1,269.19	
			171227	Hardware Maintenance	6,979.52	0.00	6,979.52	
			171227	Mailing & Delivery Services	863.05	0.00	863.05	
			240202	Miscellaneous Equipment Parts & Supplies	220.00	0.00	220.00	
xxx299099	1/23/18	VAN DERMYDEN MADDUX LAW CORP	8184	Legal Services	2,165.50	0.00	2,165.50	\$2,165.50
xxx299100	1/23/18	VERIZON WIRELESS	9798408699	Communication Equipment	623.98	0.00	623.98	\$13,447.09
			9798408699	Utilities - Mobile Phones - City Mobile Phones	12,823.11	0.00	12,823.11	
xxx299104	1/23/18	VISION CORPS MEDIA GROUP, LLC	DEC2017	Contracts/Service Agreements	15,525.00	0.00	15,525.00	\$15,525.00
xxx299105	1/23/18	W A KRAUSS & CO INC	201801	Facilities Maint & Repair - Labor	226.00	0.00	226.00	\$405.05
			201801	Professional Services	179.05	0.00	179.05	
xxx299106	1/23/18	W G FRITZ CONSTRUCTION INC	3853	General Supplies	3,950.00	0.00	3,950.00	\$3,950.00
xxx299107	1/23/18	WOWZY CREATION CORP	89679	Customized Products	117.11	0.00	117.11	\$117.11
xxx299108	1/23/18	WELLS FARGO FINANCIAL LEASING	5004512685	Equipment Rental/Lease	172.10	0.00	172.10	\$172.10
xxx299109	1/23/18	WESTERN STATES TOOL & SUPPLY CORP	117895A	Inventory Purchase	586.97	0.00	586.97	\$586.97
xxx299110	1/23/18	WITMER TYSON IMPORTS INC	T12354	Canine Program Expenditures	650.00	0.00	650.00	\$650.00
xxx299111	1/23/18	ZALCO LABORATORIES	1801054	Miscellaneous Services	390.00	0.00	390.00	\$390.00
xxx299112	1/23/18	WAITER.COM INC	10109698209REV	Food Products	-174.62	0.00	-174.62	\$60.82
			H1212656924	Food Products	139.91	0.00	139.91	

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			H121656924REV	Food Products	-139.91	0.00	-139.91	
			I0109698209	Food Products	174.62	0.00	174.62	
			I0116722052	Food Products	60.82	0.00	60.82	
xxx299113	1/23/18	CALEMA	DBITONTI-2017	General Supplies	32.70	0.00	32.70	\$65.40
			RLOCKE-2017	General Supplies	32.70	0.00	32.70	
xxx299114	1/23/18	DEPT OF FORESTRY & FIRE PROTECTION	147729	Training and Conferences	348.00	0.00	348.00	\$348.00
xxx299115	1/23/18	DEPT OF FORESTRY & FIRE PROTECTION	145990	Training and Conferences	148.00	0.00	148.00	\$148.00
xxx299116	1/23/18	EMS PERSONNEL FUND	030118-022920	Training and Conferences	200.00	0.00	200.00	\$200.00
xxx299117	1/23/18	LC ACTION POLICE SUPPLY	374200A	Clothing, Uniforms & Access	-43.35	0.00	-43.35	\$6,784.28
			374856A	Clothing, Uniforms & Access	-60.14	0.00	-60.14	
			375103A	Clothing, Uniforms & Access	-34.96	0.00	-34.96	
			375735	Clothing, Uniforms & Access	106.82	0.00	106.82	
			375769	Clothing, Uniforms & Access	106.82	0.00	106.82	
			375908	Clothing, Uniforms & Access	62.61	0.00	62.61	
			375909	Clothing, Uniforms & Access	23.76	0.00	23.76	
			375910	Clothing, Uniforms & Access	143.96	0.00	143.96	
			375914	Clothing, Uniforms & Access	143.96	0.00	143.96	
			375915	Clothing, Uniforms & Access	143.96	0.00	143.96	
			375917	Clothing, Uniforms & Access	143.96	0.00	143.96	
			375925	Clothing, Uniforms & Access	141.65	0.00	141.65	
			375926	Clothing, Uniforms & Access	143.96	0.00	143.96	
			376054	Clothing, Uniforms & Access	42.94	0.00	42.94	
			376069	Clothing, Uniforms & Access	23.97	0.00	23.97	
			376097	Clothing, Uniforms & Access	16.79	0.00	16.79	
			376330	Clothing, Uniforms & Access	375.79	0.00	375.79	
			376361	Clothing, Uniforms & Access	70.14	0.00	70.14	
			376362	Clothing, Uniforms & Access	86.93	0.00	86.93	
			376369	Clothing, Uniforms & Access	143.96	0.00	143.96	
			376373	Clothing, Uniforms & Access	70.14	0.00	70.14	
			376499	Ballistic Equipment - Other	327.00	0.00	327.00	
			376500	Clothing, Uniforms & Access	327.00	0.00	327.00	

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			376556	Clothing, Uniforms & Access	130.47	0.00	130.47	
			376646	Clothing, Uniforms & Access	32.47	0.00	32.47	
			376647	Clothing, Uniforms & Access	438.79	0.00	438.79	
			376647A	Clothing, Uniforms & Access	16.01	0.00	16.01	
			376647B	Clothing, Uniforms & Access	-16.01	0.00	-16.01	
			376698	Ballistic Equipment - Body Armor/Vests	790.25	0.00	790.25	
			376700	Ballistic Equipment - Body Armor/Vests	790.25	0.00	790.25	
			376701	Ballistic Equipment - Body Armor/Vests	107.91	0.00	107.91	
			376765	Clothing, Uniforms & Access	149.46	0.00	149.46	
			376809	Clothing, Uniforms & Access	51.74	0.00	51.74	
			376847	Clothing, Uniforms & Access	287.91	0.00	287.91	
			376848	Clothing, Uniforms & Access	143.96	0.00	143.96	
			376874	Clothing, Uniforms & Access	477.42	0.00	477.42	
			376878	Ballistic Equipment - Body Armor/Vests	790.25	0.00	790.25	
			376987	Clothing, Uniforms & Access	43.35	0.00	43.35	
			376989	Clothing, Uniforms & Access	42.38	0.00	42.38	
xxx299120	1/23/18	PACIFIC GAS & ELECTRIC CO	11059228291217	Utilities - Electric	56.76	0.00	56.76	\$9,460.88
			11059229931217	Utilities - Electric	65.13	0.00	65.13	
			35600081571217	Utilities - Electric	29.55	0.00	29.55	
			35602171201217	Utilities - Electric	22.18	0.00	22.18	
			35604437161217	Utilities - Electric	23.62	0.00	23.62	
			35606224451217	Utilities - Electric	14.67	0.00	14.67	
			35607191901217	Utilities - Electric	39.21	0.00	39.21	
			35608567661217	Utilities - Electric	33.78	0.00	33.78	
			35610567281217	Utilities - Electric	20.39	0.00	20.39	
			35611839591217	Utilities - Electric	0.64	0.00	0.64	
			35612262511217	Utilities - Electric	33.27	0.00	33.27	
			35613458021217	Utilities - Electric	17.68	0.00	17.68	
			35615386141217	Utilities - Electric	11.88	0.00	11.88	
			35616646261217	Utilities - Electric	24.76	0.00	24.76	
			35617117851217	Utilities - Electric	17.81	0.00	17.81	

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			35619832011217	Utilities - Electric	9.81	0.00	9.81	
			35620251621217	Utilities - Electric	13.16	0.00	13.16	
			35621388651217	Utilities - Electric	19.68	0.00	19.68	
			35622378291217	Utilities - Electric	25.83	0.00	25.83	
			35622803791217	Utilities - Electric	33.27	0.00	33.27	
			35623203291217	Utilities - Electric	30.13	0.00	30.13	
			35623495081217	Utilities - Electric	25.98	0.00	25.98	
			35624668431217	Utilities - Electric	27.76	0.00	27.76	
			35625361151217	Utilities - Electric	16.75	0.00	16.75	
			35629588411217	Utilities - Electric	19.18	0.00	19.18	
			35630250571217	Utilities - Electric	17.03	0.00	17.03	
			35630370111217	Utilities - Electric	31.70	0.00	31.70	
			35630869421217	Utilities - Electric	21.62	0.00	21.62	
			35631755361217	Utilities - Electric	25.90	0.00	25.90	
			35632810381217	Utilities - Electric	17.74	0.00	17.74	
			35634101591217	Utilities - Electric	45.95	0.00	45.95	
			35635840131217	Utilities - Electric	25.40	0.00	25.40	
			35635878161217	Utilities - Electric	19.61	0.00	19.61	
			35638635001217	Utilities - Electric	29.70	0.00	29.70	
			35639668521217	Utilities - Electric	17.60	0.00	17.60	
			35641783141217	Utilities - Electric	28.26	0.00	28.26	
			35642309021217	Utilities - Electric	25.83	0.00	25.83	
			35642590021217	Utilities - Electric	24.12	0.00	24.12	
			35642590101217	Utilities - Electric	55.36	0.00	55.36	
			35642590151217	Utilities - Electric	44.25	0.00	44.25	
			35642590201217	Utilities - Electric	46.29	0.00	46.29	
			35642590251217	Utilities - Electric	66.11	0.00	66.11	
			35642590301217	Utilities - Electric	76.01	0.00	76.01	
			35642590351217	Utilities - Electric	51.07	0.00	51.07	
			35642590401217	Utilities - Electric	87.25	0.00	87.25	
			35642590451217	Utilities - Electric	52.63	0.00	52.63	

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			35642590461217	Utilities - Electric	10.09	0.00	10.09	
			35642590501217	Utilities - Electric	44.13	0.00	44.13	
			35642590651217	Utilities - Electric	43.01	0.00	43.01	
			35642590701217	Utilities - Electric	60.91	0.00	60.91	
			35642590751217	Utilities - Electric	74.39	0.00	74.39	
			35642590801217	Utilities - Electric	66.67	0.00	66.67	
			35642590851217	Utilities - Electric	37.97	0.00	37.97	
			35642590951217	Utilities - Electric	16.70	0.00	16.70	
			35642591001217	Utilities - Electric	94.40	0.00	94.40	
			35642591051217	Utilities - Electric	53.67	0.00	53.67	
			35642591101217	Utilities - Electric	42.41	0.00	42.41	
			35642591151217	Utilities - Electric	52.79	0.00	52.79	
			35642591211217	Utilities - Electric	32.27	0.00	32.27	
			35642591251217	Utilities - Electric	62.81	0.00	62.81	
			35642591301217	Utilities - Electric	29.36	0.00	29.36	
			35642591311217	Utilities - Electric	9.66	0.00	9.66	
			35642591351217	Utilities - Electric	65.95	0.00	65.95	
			35642591401217	Utilities - Electric	52.92	0.00	52.92	
			35642591431217	Utilities - Electric	23.69	0.00	23.69	
			35642591451217	Utilities - Electric	41.92	0.00	41.92	
			35642591501217	Utilities - Electric	31.52	0.00	31.52	
			35642591551217	Utilities - Electric	34.04	0.00	34.04	
			35642591601217	Utilities - Electric	43.69	0.00	43.69	
			35642591651217	Utilities - Electric	62.25	0.00	62.25	
			35642591701217	Utilities - Electric	55.67	0.00	55.67	
			35642591751217	Utilities - Electric	48.98	0.00	48.98	
			35642591801217	Utilities - Electric	39.16	0.00	39.16	
			35642591851217	Utilities - Electric	43.85	0.00	43.85	
			35642591901217	Utilities - Electric	34.88	0.00	34.88	
			35642591931217	Utilities - Electric	34.50	0.00	34.50	
			35642591941217	Utilities - Electric	22.33	0.00	22.33	

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			35642591951217	Utilities - Electric	57.85	0.00	57.85	
			35642592001217	Utilities - Electric	64.50	0.00	64.50	
			35642592051217	Utilities - Electric	59.16	0.00	59.16	
			35642592071217	Utilities - Electric	26.33	0.00	26.33	
			35642592101217	Utilities - Electric	53.02	0.00	53.02	
			35642592131217	Utilities - Electric	16.82	0.00	16.82	
			35642592151217	Utilities - Electric	53.62	0.00	53.62	
			35642592191217	Utilities - Electric	44.37	0.00	44.37	
			35642592201217	Utilities - Electric	51.25	0.00	51.25	
			35642592251217	Utilities - Electric	25.90	0.00	25.90	
			35642592301217	Utilities - Electric	39.63	0.00	39.63	
			35642592351217	Utilities - Electric	10.94	0.00	10.94	
			35642592401217	Utilities - Electric	75.24	0.00	75.24	
			35642592451217	Utilities - Electric	40.69	0.00	40.69	
			35642592501217	Utilities - Electric	42.63	0.00	42.63	
			35642592551217	Utilities - Electric	58.89	0.00	58.89	
			35642592601217	Utilities - Electric	51.01	0.00	51.01	
			35642592651217	Utilities - Electric	64.40	0.00	64.40	
			35642592701217	Utilities - Electric	50.90	0.00	50.90	
			35642592751217	Utilities - Electric	42.89	0.00	42.89	
			35642592801217	Utilities - Electric	75.99	0.00	75.99	
			35642592851217	Utilities - Electric	45.74	0.00	45.74	
			35642592901217	Utilities - Electric	46.58	0.00	46.58	
			35642592951217	Utilities - Electric	60.32	0.00	60.32	
			35642593001217	Utilities - Electric	59.86	0.00	59.86	
			35642593051217	Utilities - Electric	60.69	0.00	60.69	
			35642593101217	Utilities - Electric	55.92	0.00	55.92	
			35642593201217	Utilities - Electric	51.98	0.00	51.98	
			35642593211217	Utilities - Electric	33.78	0.00	33.78	
			35642593251217	Utilities - Electric	12.03	0.00	12.03	
			35642593261217	Utilities - Electric	23.47	0.00	23.47	

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			35642593301217	Utilities - Electric	56.00	0.00	56.00	
			35642593351217	Utilities - Electric	41.57	0.00	41.57	
			35642593401217	Utilities - Electric	60.33	0.00	60.33	
			35642593411217	Utilities - Electric	16.39	0.00	16.39	
			35642593451217	Utilities - Electric	43.93	0.00	43.93	
			35642593481217	Utilities - Electric	16.82	0.00	16.82	
			35642593501217	Utilities - Electric	50.65	0.00	50.65	
			35642593551217	Utilities - Electric	41.57	0.00	41.57	
			35642593601217	Utilities - Electric	64.40	0.00	64.40	
			35642593651217	Utilities - Electric	59.37	0.00	59.37	
			35642593701217	Utilities - Electric	52.69	0.00	52.69	
			35642593751217	Utilities - Electric	38.62	0.00	38.62	
			35642593801217	Utilities - Electric	42.93	0.00	42.93	
			35642593831217	Utilities - Electric	19.53	0.00	19.53	
			35642593851217	Utilities - Electric	10.52	0.00	10.52	
			35642593901217	Utilities - Electric	46.87	0.00	46.87	
			35642593951217	Utilities - Electric	40.30	0.00	40.30	
			35642593961217	Utilities - Electric	23.33	0.00	23.33	
			35642594001217	Utilities - Electric	50.82	0.00	50.82	
			35642594031217	Utilities - Electric	18.03	0.00	18.03	
			35642594051217	Utilities - Electric	27.38	0.00	27.38	
			35642594101217	Utilities - Electric	26.65	0.00	26.65	
			35642594151217	Utilities - Electric	44.84	0.00	44.84	
			35642594251217	Utilities - Electric	84.65	0.00	84.65	
			35642594261217	Utilities - Electric	17.89	0.00	17.89	
			35642594301217	Utilities - Electric	51.55	0.00	51.55	
			35642594311217	Utilities - Electric	22.11	0.00	22.11	
			35642594351217	Utilities - Electric	46.76	0.00	46.76	
			35642594401217	Utilities - Electric	49.51	0.00	49.51	
			35642594451217	Utilities - Electric	54.53	0.00	54.53	
			35642594501217	Utilities - Electric	37.90	0.00	37.90	

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			35642594551217	Utilities - Electric	72.59	0.00	72.59	
			35642594601217	Utilities - Electric	66.97	0.00	66.97	
			35642594651217	Utilities - Electric	69.24	0.00	69.24	
			35642594701217	Utilities - Electric	64.45	0.00	64.45	
			35642594751217	Utilities - Electric	55.84	0.00	55.84	
			35642594801217	Utilities - Electric	61.97	0.00	61.97	
			35642594851217	Utilities - Electric	36.30	0.00	36.30	
			35642594901217	Utilities - Electric	47.30	0.00	47.30	
			35642594951217	Utilities - Electric	67.53	0.00	67.53	
			35642595001217	Utilities - Electric	47.18	0.00	47.18	
			35642595051217	Utilities - Electric	54.61	0.00	54.61	
			35642595101217	Utilities - Electric	56.62	0.00	56.62	
			35642595151217	Utilities - Electric	42.53	0.00	42.53	
			35642595181217	Utilities - Electric	15.81	0.00	15.81	
			35642595201217	Utilities - Electric	51.72	0.00	51.72	
			35642595251217	Utilities - Electric	43.27	0.00	43.27	
			35642595261217	Utilities - Electric	35.42	0.00	35.42	
			35642595271217	Utilities - Electric	26.76	0.00	26.76	
			35642595301217	Utilities - Electric	48.04	0.00	48.04	
			35642595351217	Utilities - Electric	44.07	0.00	44.07	
			35642595401217	Utilities - Electric	43.74	0.00	43.74	
			35642595451217	Utilities - Electric	81.29	0.00	81.29	
			35642595501217	Utilities - Electric	36.54	0.00	36.54	
			35642595551217	Utilities - Electric	39.39	0.00	39.39	
			35642595601217	Utilities - Electric	37.97	0.00	37.97	
			35642595651217	Utilities - Electric	39.86	0.00	39.86	
			35642595701217	Utilities - Electric	49.33	0.00	49.33	
			35642595751217	Utilities - Electric	49.33	0.00	49.33	
			35642595801217	Utilities - Electric	42.90	0.00	42.90	
			35642595841217	Utilities - Electric	27.12	0.00	27.12	
			35642595851217	Utilities - Electric	69.04	0.00	69.04	

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			35642595901217	Utilities - Electric	40.01	0.00	40.01	
			35642595951217	Utilities - Electric	78.34	0.00	78.34	
			35642596001217	Utilities - Electric	65.28	0.00	65.28	
			35642596051217	Utilities - Electric	48.76	0.00	48.76	
			35642596101217	Utilities - Electric	49.15	0.00	49.15	
			35642596151217	Utilities - Electric	39.43	0.00	39.43	
			35642596181217	Utilities - Electric	20.54	0.00	20.54	
			35642596201217	Utilities - Electric	49.72	0.00	49.72	
			35642596251217	Utilities - Electric	39.66	0.00	39.66	
			35642596301217	Utilities - Electric	46.48	0.00	46.48	
			35642596311217	Utilities - Electric	18.03	0.00	18.03	
			35642596351217	Utilities - Electric	37.65	0.00	37.65	
			35642596381217	Utilities - Electric	35.14	0.00	35.14	
			35642596391217	Utilities - Electric	23.62	0.00	23.62	
			35642596401217	Utilities - Electric	37.84	0.00	37.84	
			35642596451217	Utilities - Electric	69.44	0.00	69.44	
			35642596501217	Utilities - Electric	39.27	0.00	39.27	
			35642596511217	Utilities - Electric	21.75	0.00	21.75	
			35642596701217	Utilities - Electric	22.39	0.00	22.39	
			35642596891217	Utilities - Electric	20.25	0.00	20.25	
			35642597311217	Utilities - Electric	24.54	0.00	24.54	
			35642597411217	Utilities - Electric	30.77	0.00	30.77	
			35642597561217	Utilities - Electric	15.95	0.00	15.95	
			35642597581217	Utilities - Electric	35.27	0.00	35.27	
			35642597781217	Utilities - Electric	23.62	0.00	23.62	
			35642598091217	Utilities - Electric	37.14	0.00	37.14	
			35642598241217	Utilities - Electric	9.85	0.00	9.85	
			35642598321217	Utilities - Electric	27.98	0.00	27.98	
			35642598501217	Utilities - Electric	16.82	0.00	16.82	
			35642598681217	Utilities - Electric	21.68	0.00	21.68	
			35642598821217	Utilities - Electric	19.40	0.00	19.40	

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			35642599031217	Utilities - Electric	25.04	0.00	25.04	
			35642599141217	Utilities - Electric	19.75	0.00	19.75	
			35642599221217	Utilities - Electric	33.35	0.00	33.35	
			35642599231217	Utilities - Electric	17.81	0.00	17.81	
			35642599631217	Utilities - Electric	42.72	0.00	42.72	
			35642599651217	Utilities - Electric	20.47	0.00	20.47	
			35642657101217	Utilities - Electric	25.40	0.00	25.40	
			35644680671217	Utilities - Electric	21.68	0.00	21.68	
			35646567581217	Utilities - Electric	4.30	0.00	4.30	
			35647525511217	Utilities - Electric	24.97	0.00	24.97	
			35647587031217	Utilities - Electric	39.79	0.00	39.79	
			35650040161217	Utilities - Electric	25.83	0.00	25.83	
			35650072021217	Utilities - Electric	19.40	0.00	19.40	
			35650295621217	Utilities - Electric	50.81	0.00	50.81	
			35650736241217	Utilities - Electric	19.96	0.00	19.96	
			35651995911217	Utilities - Electric	26.20	0.00	26.20	
			35652446011217	Utilities - Electric	30.20	0.00	30.20	
			35652837431217	Utilities - Electric	18.45	0.00	18.45	
			35653850931217	Utilities - Electric	30.41	0.00	30.41	
			35654460381217	Utilities - Electric	20.04	0.00	20.04	
			35655027901217	Utilities - Electric	32.84	0.00	32.84	
			35656758091217	Utilities - Electric	20.39	0.00	20.39	
			35658641991217	Utilities - Electric	19.83	0.00	19.83	
			35659521991217	Utilities - Electric	23.47	0.00	23.47	
			35659719431217	Utilities - Electric	39.15	0.00	39.15	
			35661606411217	Utilities - Electric	20.25	0.00	20.25	
			35662710141217	Utilities - Electric	19.18	0.00	19.18	
			35663598021217	Utilities - Electric	34.20	0.00	34.20	
			35664661631217	Utilities - Electric	24.61	0.00	24.61	
			35666020591217	Utilities - Electric	17.96	0.00	17.96	
			35666267911217	Utilities - Electric	38.65	0.00	38.65	

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			35669864391217	Utilities - Electric	22.90	0.00	22.90	
			35671931871217	Utilities - Electric	20.54	0.00	20.54	
			35674252921217	Utilities - Electric	29.84	0.00	29.84	
			35674989851217	Utilities - Electric	20.32	0.00	20.32	
			35675679621217	Utilities - Electric	28.33	0.00	28.33	
			35676150741217	Utilities - Electric	30.56	0.00	30.56	
			35677237451217	Utilities - Electric	32.84	0.00	32.84	
			35677904121217	Utilities - Electric	27.62	0.00	27.62	
			35679500461217	Utilities - Electric	32.70	0.00	32.70	
			35679745901217	Utilities - Electric	31.56	0.00	31.56	
			35680001591217	Utilities - Electric	27.62	0.00	27.62	
			35681394251217	Utilities - Electric	15.17	0.00	15.17	
			35685267031217	Utilities - Electric	41.00	0.00	41.00	
			35690738201217	Utilities - Electric	27.05	0.00	27.05	
			35692937871217	Utilities - Electric	30.62	0.00	30.62	
			35693522671217	Utilities - Electric	22.47	0.00	22.47	
			35695460941217	Utilities - Electric	24.48	0.00	24.48	
			35695887371217	Utilities - Electric	24.83	0.00	24.83	
			35699206581217	Utilities - Electric	1.29	0.00	1.29	
			74408230821217	Utilities - Electric	47.79	0.00	47.79	
xxx299140	1/23/18	STATE WATER RESOURCES CONTROL BOARD	BATENGA	Membership Fees	125.00	0.00	125.00	\$1,235.00
			G1CERT					
			BATENGA	Membership Fees	155.00	0.00	155.00	
			G2EXAM					
			CAIN G2 EXAM	Membership Fees	155.00	0.00	155.00	
			CHAVEZ G2	Membership Fees	155.00	0.00	155.00	
			EXAM					
			FILLER G4	Membership Fees	365.00	0.00	365.00	
			EXAM					
			OCHOA G2	Membership Fees	170.00	0.00	170.00	
			CERT					

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			TAVARES	Membership Fees	110.00	0.00	110.00	
			G2REEX					
xxx299141	1/23/18	SUMMIT UNIFORMS	46049	Clothing, Uniforms & Access	128.92	0.00	128.92	\$15,294.92
			46058	Clothing, Uniforms & Access	167.15	0.00	167.15	
			46059	Clothing, Uniforms & Access	107.15	0.00	107.15	
			46115	Clothing, Uniforms & Access	238.17	0.00	238.17	
			46206	Clothing, Uniforms & Access	26.22	0.00	26.22	
			46207	Clothing, Uniforms & Access	26.22	0.00	26.22	
			46208	Clothing, Uniforms & Access	13.11	0.00	13.11	
			46209	Clothing, Uniforms & Access	39.33	0.00	39.33	
			46210	Clothing, Uniforms & Access	26.22	0.00	26.22	
			46211	Clothing, Uniforms & Access	357.25	0.00	357.25	
			46212	Clothing, Uniforms & Access	254.55	0.00	254.55	
			46213	Clothing, Uniforms & Access	216.32	0.00	216.32	
			46214	Clothing, Uniforms & Access	196.65	0.00	196.65	
			46216	Clothing, Uniforms & Access	639.11	0.00	639.11	
			46217	Clothing, Uniforms & Access	234.89	0.00	234.89	
			46218	Clothing, Uniforms & Access	1,061.80	0.00	1,061.80	
			46241	Clothing, Uniforms & Access	108.16	0.00	108.16	
			46419	Clothing, Uniforms & Access	238.17	0.00	238.17	
			46420	Clothing, Uniforms & Access	119.08	0.00	119.08	
			46421	Clothing, Uniforms & Access	172.62	0.00	172.62	
			46422	Clothing, Uniforms & Access	148.58	0.00	148.58	
			46423	Clothing, Uniforms & Access	253.46	0.00	253.46	
			46425	Clothing, Uniforms & Access	432.63	0.00	432.63	
			46426	Clothing, Uniforms & Access	43.70	0.00	43.70	
			46427	Clothing, Uniforms & Access	137.66	0.00	137.66	
			46428	Clothing, Uniforms & Access	477.42	0.00	477.42	
			46429	Clothing, Uniforms & Access	161.69	0.00	161.69	
			46430	Clothing, Uniforms & Access	16.39	0.00	16.39	
			46431	Clothing, Uniforms & Access	458.85	0.00	458.85	

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			46432	Clothing, Uniforms & Access	701.39	0.00	701.39	
			46433	Clothing, Uniforms & Access	737.44	0.00	737.44	
			46434	Clothing, Uniforms & Access	99.42	0.00	99.42	
			46436	Clothing, Uniforms & Access	137.66	0.00	137.66	
			46438	Clothing, Uniforms & Access	216.32	0.00	216.32	
			46439	Clothing, Uniforms & Access	733.07	0.00	733.07	
			46440	Clothing, Uniforms & Access	260.02	0.00	260.02	
			46441	Clothing, Uniforms & Access	238.17	0.00	238.17	
			46442	Clothing, Uniforms & Access	260.02	0.00	260.02	
			46443	Clothing, Uniforms & Access	368.17	0.00	368.17	
			46445	Clothing, Uniforms & Access	171.52	0.00	171.52	
			46447	Clothing, Uniforms & Access	948.92	0.00	948.92	
			46530	Clothing, Uniforms & Access	172.62	0.00	172.62	
			46632	Clothing, Uniforms & Access	238.17	0.00	238.17	
			46633	Clothing, Uniforms & Access	414.06	0.00	414.06	
			46634	Clothing, Uniforms & Access	151.86	0.00	151.86	
			46635	Clothing, Uniforms & Access	49.16	0.00	49.16	
			46636	Clothing, Uniforms & Access	585.55	0.00	585.55	
			46749	Clothing, Uniforms & Access	573.56	0.00	573.56	
			46750	Clothing, Uniforms & Access	222.87	0.00	222.87	
			46751	Clothing, Uniforms & Access	146.40	0.00	146.40	
			46754	Clothing, Uniforms & Access	478.88	0.00	478.88	
			46755	Clothing, Uniforms & Access	835.76	0.00	835.76	
			46756	Clothing, Uniforms & Access	26.22	0.00	26.22	
			46757	Clothing, Uniforms & Access	26.22	0.00	26.22	
xxx299147	1/23/18	TREASURE ISLAND JOB CORPS	1-8D-SV	Food Products	455.00	0.00	455.00	\$455.00
xxx299148	1/23/18	TREASURE ISLAND JOB CORPS	1-8-SV	Food Products	70.00	0.00	70.00	\$70.00
xxx299149	1/23/18	UNITED STATES POSTAL SERVICE	P#112-011718	Postage	11,976.17	0.00	11,976.17	\$11,976.17
xxx299150	1/23/18	BRAVELANE III PROPERTY LLC	BL073836 N/A	Business License Tax	73.20	0.00	73.20	\$73.20
xxx299151	1/23/18	COASTAL PLUMBING	BL073764 17-18	Business License Tax	450.75	0.00	450.75	\$450.75
xxx299152	1/23/18	CONRAD ROOFING SERVICE INC	BL058491 18-19	Business License Tax	125.74	0.00	125.74	\$125.74

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xxx299153	1/23/18	D M ESHELMAN ELECTRIC	BL073775 17-18	Business License Tax	87.40	0.00	87.40	\$87.40
xxx299154	1/23/18	D S PROPERTY MANAGEMENT	BL055157 18-19	Business License Tax	125.74	0.00	125.74	\$125.74
xxx299155	1/23/18	DOUGLAS SINSLEY RENTALS	BL073854 N/A	Business License Tax	125.74	0.00	125.74	\$125.74
xxx299156	1/23/18	EDMUNDSON & ASSOCIATES	BL073746 17-18	Business License Tax	26.72	0.00	26.72	\$26.72
xxx299157	1/23/18	GREENSPACE RECYCLING	BL06629-2017	Business License Tax	50.33	0.00	50.33	\$50.33
xxx299158	1/23/18	IRIS RICE	373140	Refund Recreation Fees	13.00	0.00	13.00	\$13.00
xxx299159	1/23/18	JEAN DOKTER	757581	Lib - Lost & Damaged Circulation	25.87	0.00	25.87	\$25.87
xxx299160	1/23/18	SUNNYVALE AUTO PARTS	BL069084 17-18	Business License Tax	105.02	0.00	105.02	\$105.02
xxx299161	1/23/18	TOYOTA SUNNYVALE	110716-033117	Deposits Payable - Miscellaneous	5,250.00	0.00	5,250.00	\$5,250.00
xxx299162	1/25/18	3T EQUIPMENT CO INC	67521	Misc Equip Maint & Repair - Materials	615.69	0.00	615.69	\$615.69
xxx299163	1/25/18	ADVANCED FUEL SERVICES INC	905590	Auto Maint & Repair - Labor	787.50	0.00	787.50	\$2,671.40
			905590	Auto Maint & Repair - Materials	36.55	0.00	36.55	
			905610	Auto Maint & Repair - Labor	600.00	0.00	600.00	
			905610	Auto Maint & Repair - Materials	34.00	0.00	34.00	
			905612	Auto Maint & Repair - Labor	825.00	0.00	825.00	
			905612	Auto Maint & Repair - Materials	36.55	0.00	36.55	
			905614	Auto Maint & Repair - Labor	93.75	0.00	93.75	
			905614	Auto Maint & Repair - Materials	36.55	0.00	36.55	
			905645	Auto Maint & Repair - Labor	187.50	0.00	187.50	
			905645	Auto Maint & Repair - Materials	34.00	0.00	34.00	
xxx299164	1/25/18	ALL CITY MANAGEMENT SERVICES INC	52420	Contracts/Service Agreements	1,373.42	0.00	1,373.42	\$1,373.42
xxx299165	1/25/18	ALL STAR GLASS	ISJ053809	Auto Maint & Repair - Labor	126.50	0.00	126.50	\$1,480.09
			ISJ053809	Auto Maint & Repair - Materials	188.15	0.00	188.15	
			ISJ053901	Auto Maint & Repair - Labor	121.00	0.00	121.00	
			ISJ053901	Auto Maint & Repair - Materials	456.12	0.00	456.12	
			ISJ053995	Auto Maint & Repair - Labor	185.00	0.00	185.00	
			ISJ053995	Auto Maint & Repair - Materials	38.15	0.00	38.15	
			ISJ054028	Auto Maint & Repair - Labor	154.00	0.00	154.00	
			ISJ054028	Auto Maint & Repair - Materials	211.17	0.00	211.17	
xxx299166	1/25/18	ALTEC INDUSTRIES INC	10852380	Parts, Vehicles & Motor Equip	20.07	0.00	20.07	\$727.28
			10852575	Parts, Vehicles & Motor Equip	18.24	0.00	18.24	

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			10852576	Parts, Vehicles & Motor Equip	33.97	0.00	33.97	
			50182863	Auto Maint & Repair - Labor	655.00	0.00	655.00	
xxx299167	1/25/18	ARNE SIGN & DECAL CO INC	17-10719	Vehicles & Motorized Equip	709.59	0.00	709.59	\$709.59
xxx299168	1/25/18	AUTOSCRIBE CORP	167478	Financial Services	1,333.72	0.00	1,333.72	\$2,855.98
			169932	Financial Services	1,522.26	0.00	1,522.26	
xxx299169	1/25/18	B & A FRICTION MATERIALS INC	582456	Parts, Vehicles & Motor Equip	18.73	0.00	18.73	\$157.91
			582808	Parts, Vehicles & Motor Equip	28.47	0.00	28.47	
			583332	Parts, Vehicles & Motor Equip	110.71	0.00	110.71	
xxx299170	1/25/18	BASCOM TRIM & UPHOLSTERY	6771	Auto Maint & Repair - Labor	522.50	0.00	522.50	\$718.70
			6771	Auto Maint & Repair - Materials	196.20	0.00	196.20	
xxx299171	1/25/18	BELKORP AG LLC	407971	Parts, Vehicles & Motor Equip	1,108.00	0.00	1,108.00	\$1,108.00
xxx299172	1/25/18	BERLITZ LANGUAGE CENTER	00163318-00022	Bilingual Testing Fees	75.00	0.00	75.00	\$75.00
xxx299173	1/25/18	BURTONS FIRE INC	S39008	Parts, Vehicles & Motor Equip	35.47	0.00	35.47	\$119.79
			S39217	Parts, Vehicles & Motor Equip	84.32	0.00	84.32	
xxx299174	1/25/18	CSAC EXCESS INSURANCE AUTHORITY	18100425	Workers' Compensation - Insurance	44,549.00	0.00	44,549.00	\$44,549.00
xxx299175	1/25/18	CSG CONSULTANTS INC	14630	Engineering Services	51,902.50	0.00	51,902.50	\$66,900.00
			14836	Engineering Services	14,997.50	0.00	14,997.50	
xxx299176	1/25/18	CALIFORNIA CHAMBER OF COMMERCE	11208725	Books & Publications	2,378.83	0.00	2,378.83	\$2,378.83
xxx299177	1/25/18	CENTURY GRAPHICS	47643	Clothing, Uniforms & Access	635.95	0.00	635.95	\$3,339.28
			48229	Clothing, Uniforms & Access	698.47	0.00	698.47	
			48263	Clothing, Uniforms & Access	572.60	0.00	572.60	
			48320	Inventory Purchase	1,432.26	0.00	1,432.26	
xxx299178	1/25/18	CHANG TAI DO KARATE & FITNESS	CTD2017ND	Rec Instructors/Officials	3,928.36	0.00	3,928.36	\$3,928.36
xxx299179	1/25/18	COAST COUNTIES PETERBILT	0148321P	Parts, Vehicles & Motor Equip	517.64	0.00	517.64	\$588.30
			0148492P	Parts, Vehicles & Motor Equip	70.66	0.00	70.66	
xxx299180	1/25/18	CUMMINS PACIFIC LLC	027-97719	Parts, Vehicles & Motor Equip	208.89	0.00	208.89	\$1,190.91
			027-98466	Parts, Vehicles & Motor Equip	529.02	0.00	529.02	
			027-98589	Software Licensing & Support	453.00	0.00	453.00	
xxx299181	1/25/18	DISTRICT ATTORNEYS CRIME LABORATORY	CY2017	Contracts/Service Agreements	153,455.00	0.00	153,455.00	\$153,455.00
xxx299182	1/25/18	DOOLEY ENTERPRISES INC	54826	Ammunition	11,561.03	0.00	11,561.03	\$11,561.03
xxx299183	1/25/18	DU-ALL SAFETY						\$2,700.00

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			19435	Occupational Health and Safety Services - Other	2,700.00	0.00	2,700.00	
xxx299184	1/25/18	EMPIRE SAFETY & SUPPLY	0091522-IN	Inventory Purchase	618.03	0.00	618.03	\$1,171.31
			0091551-IN	Inventory Purchase	553.28	0.00	553.28	
xxx299185	1/25/18	ENVIRONMENTAL PRODUCTS & ACCESSORIES	231778	Miscellaneous Equipment	1,765.40	0.00	1,765.40	\$1,765.40
xxx299186	1/25/18	FERRARA FIRE APPARATUS INC	INV00000W87168	Parts, Vehicles & Motor Equip	404.17	0.00	404.17	\$1,537.10
			INV00000W87174	Parts, Vehicles & Motor Equip	215.46	0.00	215.46	
			INV00000W87178	Parts, Vehicles & Motor Equip	814.97	0.00	814.97	
			INV00000W87352	Parts, Vehicles & Motor Equip	102.50	0.00	102.50	
xxx299187	1/25/18	FIRE & RISK ALLIANCE LLC	132-001-17	Miscellaneous Services	44,103.34	0.00	44,103.34	\$55,503.34
			132-001-18	Miscellaneous Services	11,400.00	0.00	11,400.00	
xxx299188	1/25/18	GCS ENVIRONMENTAL EQUIPMENT SERVICES INC	16187	Parts, Vehicles & Motor Equip	490.91	0.00	490.91	\$737.42
			16489	Parts, Vehicles & Motor Equip	246.51	0.00	246.51	
xxx299189	1/25/18	GEORGE HILLS CO INC	INV1012875	Liability Claims Adjustor	6,750.00	0.00	6,750.00	\$6,750.00
xxx299190	1/25/18	GEORGE R GUINDON	CMS-B3-2G	Rec Instructors/Officials	1,000.00	0.00	1,000.00	\$1,000.00
xxx299191	1/25/18	GEOSYNTEC CONSULTANTS INC	16339470	Consultants	1,024.34	0.00	1,024.34	\$1,024.34
xxx299192	1/25/18	GOODYEAR COMMERCIAL TIRE & SERVICE CTR	189-1096837	Parts, Vehicles & Motor Equip	119.26	0.00	119.26	\$946.18
			189-1096936	Auto Maint & Repair - Labor	202.50	0.00	202.50	
			189-1096985	Parts, Vehicles & Motor Equip	510.36	0.00	510.36	
			189-1097030	Auto Maint & Repair - Labor	46.06	0.00	46.06	
			189-1097030	Auto Maint & Repair - Materials	68.00	0.00	68.00	
xxx299193	1/25/18	HDL COREN & CONE	0024818-IN	Financial Services	76.41	0.00	76.41	\$76.41
xxx299194	1/25/18	HIGH LINE CORP	21126	Training and Conferences	150.00	0.00	150.00	\$150.00
xxx299195	1/25/18	HYBRID COMMERCIAL PRINTING INC	26402	Printing & Related Services	1,498.75	0.00	1,498.75	\$1,847.55
			26404	Printing & Related Services	348.80	0.00	348.80	
xxx299196	1/25/18	IMAGEX	211573	Printing & Related Services	4,434.81	0.00	4,434.81	\$4,882.81
			212559	Printing & Related Services	448.00	0.00	448.00	

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xxx299197	1/25/18	INFOSEND INC	128459	Mailing & Delivery Services	1,115.37	0.00	1,115.37	\$16,286.15
			129035	Mailing & Delivery Services	1,707.01	0.00	1,707.01	
			129036	Postage	3,062.15	0.00	3,062.15	
			129593	Financial Services	1,200.92	0.00	1,200.92	
			129990	Mailing & Delivery Services	1,037.13	0.00	1,037.13	
			129991	Postage	1,890.50	0.00	1,890.50	
			130344	Mailing & Delivery Services	946.93	0.00	946.93	
			130345	Postage	1,701.38	0.00	1,701.38	
			130460	Financial Services	1,204.03	0.00	1,204.03	
			131232	Mailing & Delivery Services	897.84	0.00	897.84	
			131233	Postage	1,522.89	0.00	1,522.89	
xxx299200	1/25/18	INSIGHT PUBLIC SECTOR INC	1100575366	Software Licensing & Support	1,065.00	0.00	1,065.00	\$1,065.00
xxx299201	1/25/18	INTERNATIONAL PAPER CO	P0021359-01	Recycling Services	141.00	0.00	141.00	\$141.00
xxx299202	1/25/18	JACOBSEN WEST	90140150	Parts, Vehicles & Motor Equip	209.66	0.00	209.66	\$5,939.22
			90140155	Parts, Vehicles & Motor Equip	89.09	0.00	89.09	
			90140172	Parts, Vehicles & Motor Equip	50.91	0.00	50.91	
			90141025	Parts, Vehicles & Motor Equip	5,589.56	0.00	5,589.56	
xxx299203	1/25/18	JAKES OF SUNNYVALE	011918CATERIN G	Food Products	344.55	0.00	344.55	\$344.55
xxx299204	1/25/18	JAVELCO EQUIPMENT SERVICE INC	53080	Parts, Vehicles & Motor Equip	43.14	0.00	43.14	\$43.14
xxx299206	1/25/18	JERRELL DE LEON	CMS-B3-4D	Rec Instructors/Officials	1,000.00	0.00	1,000.00	\$1,000.00
xxx299207	1/25/18	KELLY PAPER CO	8943938	General Supplies	353.16	0.00	353.16	\$1,903.55
			8956277	General Supplies	457.80	0.00	457.80	
			8963010	General Supplies	457.80	0.00	457.80	
			8972151	General Supplies	634.79	0.00	634.79	
xxx299208	1/25/18	KIMLEY HORN & ASSOC INC	10527351	General Supplies	11,940.55	0.00	11,940.55	\$26,153.05
			10640846	Consultants	14,212.50	0.00	14,212.50	
xxx299209	1/25/18	L N CURTIS & SONS INC	INV155053	Inventory Purchase	678.96	0.00	678.96	\$678.96
xxx299210	1/25/18	LC ACTION POLICE SUPPLY	372009	General Supplies	130.75	0.00	130.75	\$169.92
			377349	General Supplies	39.17	0.00	39.17	
xxx299211	1/25/18	LANDCARE USA LLC	101435	Miscellaneous Services	416.67	0.00	416.67	\$416.67

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xxx299212	1/25/18	LEAGUE OF CALIFORNIA CITIES	1417	Membership Fees	100.00	0.00	100.00	\$100.00
xxx299213	1/25/18	LEXISNEXIS RISK SOLUTIONS	1409790-171031	Financial Services	130.50	0.00	130.50	\$261.00
			1409790-171231	Financial Services	130.50	0.00	130.50	
xxx299214	1/25/18	MACIAS GINI AND OCONNELL LLP	248247	Financial Services	4,846.00	0.00	4,846.00	\$14,592.00
			248249	Financial Services	2,929.00	0.00	2,929.00	
			248250	Financial Services	6,817.00	0.00	6,817.00	
xxx299216	1/25/18	MAHAN AND SONS INC	1538	Services Maintain Land Improv	1,947.14	0.00	1,947.14	\$1,947.14
xxx299217	1/25/18	MIALI MARIE REYNOSO	CMS-B3-5R	Rec Instructors/Officials	1,000.00	0.00	1,000.00	\$1,000.00
xxx299218	1/25/18	MIDWEST TAPE	95733662	Library Acquis, Audio/Visual	1,693.27	0.00	1,693.27	\$2,192.90
			95733664	Library Acquis, Audio/Visual	499.63	0.00	499.63	
xxx299219	1/25/18	MUNICIPAL RESOURCE GROUP LLC	03-18-20	Professional Services	1,200.00	0.00	1,200.00	\$1,200.00
xxx299220	1/25/18	NEXGEN FACILITIES GROUP LLC	1859	Professional Services	690.00	0.00	690.00	\$2,070.00
			1913	Facilities Maintenance & Repair Labor	1,380.00	0.00	1,380.00	
xxx299221	1/25/18	NEXLEVEL INFORMATION TECHNOLOGY INC	20171225	Consultants	1,137.50	0.00	1,137.50	\$1,137.50
xxx299222	1/25/18	OTIS ELEVATOR COMPANY	SJ66427B17	Facilities Maintenance & Repair Labor	4,459.80	0.00	4,459.80	\$4,459.80
xxx299223	1/25/18	PATSONS MEDIA GROUP	205728	Printing & Related Services	221.27	0.00	221.27	\$221.27
xxx299224	1/25/18	PITNEY BOWES INC	1005887651	Equipment Rental/Lease	209.28	0.00	209.28	\$209.28
xxx299225	1/25/18	PREFERRED BENEFIT INSURANCE ADMIN INC	EIA23189	Insurances - Dental	54,519.90	0.00	54,519.90	\$65,953.10
			EIA23189	Insurances - Vision	11,433.20	0.00	11,433.20	
xxx299226	1/25/18	PRESTIGE LANDSCAPING	5069	Canine Program Expenditures	2,454.00	0.00	2,454.00	\$2,454.00
xxx299227	1/25/18	QUESTICA INC	209109-4	Computer Software	39,590.00	0.00	39,590.00	\$39,590.00
xxx299228	1/25/18	RAYVERN LIGHTING SUPPLY CO INC	55185-0	Inventory Purchase	398.16	0.00	398.16	\$398.16
xxx299229	1/25/18	READYREFRESH BY NESTLE	18A0023249071	General Supplies	36.71	0.00	36.71	\$295.54
			18A0023360647	General Supplies	6.81	0.00	6.81	
			18A0028805083	General Supplies	31.72	0.00	31.72	
			18A5727863002	General Supplies	41.70	0.00	41.70	
			18A5736476002	General Supplies	36.71	0.00	36.71	
			18A5740132005	Miscellaneous Services	21.74	0.00	21.74	
			18A5740153001	General Supplies	91.60	0.00	91.60	
			18A5740154009	General Supplies	21.74	0.00	21.74	

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			18A5740156004	General Supplies	6.81	0.00	6.81	
xxx299230	1/25/18	RECORDED BOOKS INC	75701972	Library Periodicals/Databases	6,300.00	0.00	6,300.00	\$10,023.94
			75701973	Library Periodicals/Databases	3,723.94	0.00	3,723.94	
xxx299231	1/25/18	REDGWICK CONSTRUCTION CO	MRYAVBIKEII#	Construction Services	301,004.82	0.00	301,004.82	\$301,004.82
			03					
xxx299232	1/25/18	REED & GRAHAM INC	908845	Materials - Land Improve	887.32	0.00	887.32	\$8,036.45
			908919	Materials - Land Improve	3,327.48	0.00	3,327.48	
			909213	Materials - Land Improve	1,636.76	0.00	1,636.76	
			909307	Materials - Land Improve	2,184.89	0.00	2,184.89	
xxx299233	1/25/18	REEDS INDOOR RANGE	508546	Real Property Rental/Lease	24.00	0.00	24.00	\$24.00
xxx299234	1/25/18	S & L FENCE CO	03770	Construction Services	4,857.03	0.00	4,857.03	\$5,598.23
			03771	Construction Services	741.20	0.00	741.20	
xxx299235	1/25/18	SFO REPROGRAPHICS	43739	Printing & Related Services	89.38	0.00	89.38	\$2,943.67
			45672	Printing & Related Services	2,600.15	0.00	2,600.15	
			45695	Printing & Related Services	90.68	0.00	90.68	
			46163	Printing & Related Services	163.46	0.00	163.46	
xxx299236	1/25/18	SVT GRUPPE INC	1801	Prisoner Transport - Transport	5,327.54	0.00	5,327.54	\$5,327.54
xxx299237	1/25/18	SAFEWAY INC	802478-012218	Food Products	24.67	0.00	24.67	\$115.41
			809764-011718	Food Products	90.74	0.00	90.74	
xxx299238	1/25/18	SCHAAF & WHEELER	28805	Engineering Services	258.30	0.00	258.30	\$258.30
xxx299239	1/25/18	SHRED-IT USA	8123950327	Records Related Services	54.45	0.00	54.45	\$54.45
xxx299240	1/25/18	SPARTAN TOOL LLC	564688	Miscellaneous Equipment	3,115.72	0.00	3,115.72	\$3,211.14
			565742	Miscellaneous Equipment	95.42	0.00	95.42	
xxx299241	1/25/18	SPECIAL SERVICES GROUP LLC	8355	Investigation Expense	2,400.00	0.00	2,400.00	\$2,400.00
xxx299242	1/25/18	STATEWIDE TRAFFIC SAFETY & SIGNS INC	05015153	Supplies, Safety	860.29	0.00	860.29	\$860.29
xxx299243	1/25/18	STUDIO EM GRAPHIC DESIGN	16927	Advertising Services	436.00	0.00	436.00	\$436.00
xxx299244	1/25/18	SUBURBAN PROPANE	2289136	Fuel, Oil & Lubricants	28.53	0.00	28.53	\$28.53
xxx299245	1/25/18	TJKM	0046838	Consultants	2,285.68	0.00	2,285.68	\$2,285.68
xxx299246	1/25/18	THE ARCANUM GROUP	000683	General Supplies	31,706.25	0.00	31,706.25	\$31,706.25
xxx299247	1/25/18	THE COVELLO GROUP INC	2015.003-32	Engineering Services	88,646.73	0.00	88,646.73	\$88,646.73
xxx299248	1/25/18	TRENDTEC INC	268358	Salaries - Contract Personnel	1,467.20	0.00	1,467.20	\$1,467.20

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xxx299249	1/25/18	UNITED PARCEL SERVICE	0000966608018	Mailing & Delivery Services	313.81	0.00	313.81	\$313.81
xxx299250	1/25/18	UNIVAR USA INC	SJ859620	Chemicals	3,506.90	0.00	3,506.90	\$9,264.92
			SJ859625	Chemicals	2,211.18	0.00	2,211.18	
			SJ860169	Chemicals	3,546.84	0.00	3,546.84	
xxx299251	1/25/18	VALLEY CONCRETE	15-3622	Construction Services	3,967.50	0.00	3,967.50	\$14,267.50
			15-3628	Construction Services	10,300.00	0.00	10,300.00	
xxx299252	1/25/18	VERDE DESIGN INC	7-1606800	Consultants	1,501.75	0.00	1,501.75	\$1,501.75
xxx299253	1/25/18	WILSEY HAM	21867	Consultants	3,365.00	0.00	3,365.00	\$3,365.00
xxx299254	1/25/18	ALBERT J SCOTT	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	134.34	0.00	134.34	\$134.34
xxx299255	1/25/18	BAY AREA AIR QUALITY MANAGEMENT DISTRICT	4CL44	Miscellaneous Services	8,708.00	0.00	8,708.00	\$8,708.00
xxx299256	1/25/18	BRICE MCQUEEN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	942.38	0.00	942.38	\$942.38
xxx299258	1/25/18	CHARLES S EANEFF JR	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	929.24	0.00	929.24	\$929.24
xxx299259	1/25/18	DEAN CHU	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	866.25	0.00	866.25	\$866.25
xxx299260	1/25/18	DEAN S RUSSELL	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,261.79	0.00	1,261.79	\$1,261.79
xxx299261	1/25/18	GAIL SWEGLES	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	118.66	0.00	118.66	\$118.66
xxx299262	1/25/18	JEFFREY S PLECQUE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,134.34	0.00	1,134.34	\$1,134.34
xxx299263	1/25/18	JOHN S WITTHAUS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,475.79	0.00	1,475.79	\$1,475.79
xxx299264	1/25/18	MARK ROGGE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	53.36	0.00	53.36	\$53.36
xxx299265	1/25/18	NANCY BOLGARD STEWARD	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	929.24	0.00	929.24	\$929.24
xxx299266	1/25/18	PACIFIC GAS & ELECTRIC CO	06025923001217	Utilities - Electric	16.05	0.00	16.05	\$219,101.26
			06037193331217	Utilities - Electric	0.07	0.00	0.07	
			06040860491217	Utilities - Electric	21.23	0.00	21.23	

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			06072000411217	Utilities - Electric	17.30	0.00	17.30	
			06075132701217	Utilities - Electric	13.35	0.00	13.35	
			06075133001217	Utilities - Electric	10.55	0.00	10.55	
			06075135641217	Utilities - Electric	6.57	0.00	6.57	
			06075139671217	Utilities - Electric	0.43	0.00	0.43	
			06081240041217	Utilities - Electric	42.04	0.00	42.04	
			11008300870118	Utilities - Electric	246.14	0.00	246.14	
			11023824480118	Utilities - Electric	476.33	0.00	476.33	
			11054204050118	Utilities - Electric	4,059.43	0.00	4,059.43	
			11059220090118	Utilities - Electric	2,281.68	0.00	2,281.68	
			11059220250118	Utilities - Gas	1,916.92	0.00	1,916.92	
			11059220400118	Utilities - Gas	751.35	0.00	751.35	
			11059220450118	Utilities - Gas	1,682.41	0.00	1,682.41	
			11059220500118	Utilities - Gas	168.51	0.00	168.51	
			11059220550118	Utilities - Electric	529.97	0.00	529.97	
			11059220600118	Utilities - Gas	4,360.03	0.00	4,360.03	
			11059220640118	Utilities - Electric	1,153.81	0.00	1,153.81	
			11059220750118	Utilities - Gas	3,667.80	0.00	3,667.80	
			11059220810118	Utilities - Electric	442.47	0.00	442.47	
			11059220900118	Utilities - Gas	473.27	0.00	473.27	
			11059220930118	Utilities - Electric	264.19	0.00	264.19	
			11059221020118	Utilities - Electric	424.15	0.00	424.15	
			11059221050118	Utilities - Gas	377.54	0.00	377.54	
			11059221060118	Utilities - Electric	614.49	0.00	614.49	
			11059221080118	Utilities - Electric	433.43	0.00	433.43	
			11059221150118	Utilities - Gas	480.13	0.00	480.13	
			11059221180118	Utilities - Electric	4,919.04	0.00	4,919.04	
			11059221280118	Utilities - Electric	535.97	0.00	535.97	
			11059221350118	Utilities - Gas	725.43	0.00	725.43	
			11059221400118	Utilities - Gas	3,323.53	0.00	3,323.53	
			11059221600118	Utilities - Gas	230.38	0.00	230.38	

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			11059221680118	Utilities - Electric	241.00	0.00	241.00	
			11059221700118	Utilities - Gas	547.90	0.00	547.90	
			11059221730118	Utilities - Electric	998.24	0.00	998.24	
			11059221930118	Utilities - Electric	7,183.65	0.00	7,183.65	
			11059222630118	Utilities - Electric	1,121.57	0.00	1,121.57	
			11059222720118	Utilities - Electric	454.66	0.00	454.66	
			11059224060118	Utilities - Electric	6,018.63	0.00	6,018.63	
			11059224270118	Utilities - Electric	9.53	0.00	9.53	
			11059224730118	Utilities - Electric	225.48	0.00	225.48	
			11059225100118	Utilities - Gas	670.92	0.00	670.92	
			11059225290118	Utilities - Electric	440.85	0.00	440.85	
			11059225320118	Utilities - Electric	259.52	0.00	259.52	
			11059225550118	Utilities - Electric	1,355.79	0.00	1,355.79	
			11059225650118	Utilities - Gas	4,247.04	0.00	4,247.04	
			11059226380118	Utilities - Electric	4,463.76	0.00	4,463.76	
			11059226470118	Utilities - Electric	358.48	0.00	358.48	
			11059226810118	Utilities - Electric	3,993.38	0.00	3,993.38	
			11059227030118	Utilities - Electric	390.27	0.00	390.27	
			11059227060118	Utilities - Electric	2,149.60	0.00	2,149.60	
			11059227230118	Utilities - Electric	3,234.81	0.00	3,234.81	
			11059227650118	Utilities - Electric	255.64	0.00	255.64	
			11059227850118	Utilities - Electric	2,214.87	0.00	2,214.87	
			11059228050118	Utilities - Electric	3,846.12	0.00	3,846.12	
			11059228580118	Utilities - Electric	6,041.81	0.00	6,041.81	
			11059228670118	Utilities - Electric	251.35	0.00	251.35	
			11059229250118	Utilities - Electric	2,855.82	0.00	2,855.82	
			11059229470118	Utilities - Electric	3,137.07	0.00	3,137.07	
			11059229910118	Utilities - Electric	5,232.74	0.00	5,232.74	
			11059229990118	Utilities - Electric	1,693.72	0.00	1,693.72	
			12847684121217	Utilities - Electric	10.31	0.00	10.31	
			14823837851217	Utilities - Electric	39.27	0.00	39.27	

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			18068041901217	Utilities - Electric	79.95	0.00	79.95	
			19867842521217	Utilities - Electric	32.41	0.00	32.41	
			22868920921217	Utilities - Electric	63.56	0.00	63.56	
			24528699501217	Utilities - Electric	9.85	0.00	9.85	
			25900730021217	Utilities - Electric	77.35	0.00	77.35	
			32725925631217	Utilities - Electric	779.29	0.00	779.29	
			32725927361217	Utilities - Gas	598.47	0.00	598.47	
			32725927631217	Utilities - Electric	446.65	0.00	446.65	
			35922924581217	Utilities - Electric	20.57	0.00	20.57	
			38257235831217	Utilities - Electric	10.73	0.00	10.73	
			39509111001217	Utilities - Electric	36.88	0.00	36.88	
			43357992721217	Utilities - Electric	11.22	0.00	11.22	
			45039216731217	Utilities - Electric	11.17	0.00	11.17	
			48131400741217	Utilities - Electric	9.64	0.00	9.64	
			56825387841217	Utilities - Electric	0.32	0.00	0.32	
			56891435921217	Utilities - Electric	0.57	0.00	0.57	
			56892570111217	Utilities - Electric	0.84	0.00	0.84	
			56892570121217	Utilities - Electric	12.80	0.00	12.80	
			56892570161217	Utilities - Electric	0.80	0.00	0.80	
			56892570471217	Utilities - Electric	11.18	0.00	11.18	
			56892570611217	Utilities - Electric	12.30	0.00	12.30	
			56892570851217	Utilities - Electric	11.05	0.00	11.05	
			56892571111217	Utilities - Electric	40.36	0.00	40.36	
			56892571231217	Utilities - Electric	0.82	0.00	0.82	
			56892571501217	Utilities - Electric	10.51	0.00	10.51	
			56892571931217	Utilities - Electric	0.75	0.00	0.75	
			56892572231217	Utilities - Electric	9.85	0.00	9.85	
			56892572311217	Utilities - Electric	0.97	0.00	0.97	
			56892572411217	Utilities - Electric	0.78	0.00	0.78	
			56892572991217	Utilities - Electric	0.77	0.00	0.77	
			56892573011217	Utilities - Electric	1.46	0.00	1.46	

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			56892573211217	Utilities - Electric	11.08	0.00	11.08	
			56892573281217	Utilities - Electric	9.85	0.00	9.85	
			56892573341217	Utilities - Electric	10.95	0.00	10.95	
			56892573451217	Utilities - Electric	9.85	0.00	9.85	
			56892573611217	Utilities - Electric	1.75	0.00	1.75	
			56892573791217	Utilities - Electric	0.92	0.00	0.92	
			56892573861217	Utilities - Electric	0.78	0.00	0.78	
			56892574541217	Utilities - Electric	11.24	0.00	11.24	
			56892574611217	Utilities - Electric	11.43	0.00	11.43	
			56892574641217	Utilities - Electric	1.44	0.00	1.44	
			56892574691217	Utilities - Electric	11.25	0.00	11.25	
			56892574721217	Utilities - Electric	11.18	0.00	11.18	
			56892574751217	Utilities - Electric	0.95	0.00	0.95	
			56892574931217	Utilities - Electric	11.04	0.00	11.04	
			56892574971217	Utilities - Electric	0.27	0.00	0.27	
			56892574981217	Utilities - Electric	0.72	0.00	0.72	
			56892575011217	Utilities - Electric	16.80	0.00	16.80	
			56892575241217	Utilities - Electric	11.18	0.00	11.18	
			56892575251217	Utilities - Electric	11.41	0.00	11.41	
			56892575561217	Utilities - Electric	11.45	0.00	11.45	
			56892575841217	Utilities - Electric	12.34	0.00	12.34	
			56892576281217	Utilities - Electric	9.85	0.00	9.85	
			56892576481217	Utilities - Electric	12.27	0.00	12.27	
			56892576591217	Utilities - Electric	11.20	0.00	11.20	
			56892576671217	Utilities - Electric	11.37	0.00	11.37	
			56892576691217	Utilities - Electric	11.34	0.00	11.34	
			56892576721217	Utilities - Electric	0.75	0.00	0.75	
			56892577191217	Utilities - Electric	0.80	0.00	0.80	
			56892577221217	Utilities - Electric	11.12	0.00	11.12	
			56892577391217	Utilities - Electric	11.52	0.00	11.52	
			56892577591217	Utilities - Electric	0.71	0.00	0.71	

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			56892578071217	Utilities - Electric	0.93	0.00	0.93	
			56892578181217	Utilities - Electric	10.28	0.00	10.28	
			56892578261217	Utilities - Electric	0.78	0.00	0.78	
			56892578541217	Utilities - Electric	2.52	0.00	2.52	
			56892578611217	Utilities - Electric	0.82	0.00	0.82	
			56892578661217	Utilities - Electric	0.90	0.00	0.90	
			56892578671217	Utilities - Electric	11.06	0.00	11.06	
			56892578891217	Utilities - Electric	11.16	0.00	11.16	
			56892578981217	Utilities - Electric	11.44	0.00	11.44	
			56892579011217	Utilities - Electric	9.85	0.00	9.85	
			56892579191217	Utilities - Electric	0.78	0.00	0.78	
			56892579381217	Utilities - Electric	0.67	0.00	0.67	
			56892579431217	Utilities - Electric	1.48	0.00	1.48	
			56892579641217	Utilities - Electric	11.24	0.00	11.24	
			56892579761217	Utilities - Electric	0.81	0.00	0.81	
			56892579811217	Utilities - Electric	11.22	0.00	11.22	
			56892579831217	Utilities - Electric	0.74	0.00	0.74	
			56892579861217	Utilities - Electric	0.65	0.00	0.65	
			60209026831217	Utilities - Electric	5.09	0.00	5.09	
			60211953741217	Utilities - Electric	2.10	0.00	2.10	
			60225900041217	Utilities - Electric	28,357.11	0.00	28,357.11	
			60225900081217	Utilities - Electric	7,291.60	0.00	7,291.60	
			60225900141217	Utilities - Electric	34.42	0.00	34.42	
			60225900151217	Utilities - Electric	18.85	0.00	18.85	
			60225900161217	Utilities - Electric	11.60	0.00	11.60	
			60225900171217	Utilities - Electric	9.11	0.00	9.11	
			60225900221217	Utilities - Electric	710.23	0.00	710.23	
			60225900261217	Utilities - Electric	23.81	0.00	23.81	
			60225900451217	Utilities - Electric	152.67	0.00	152.67	
			60225901001217	Utilities - Electric	10.51	0.00	10.51	
			60225901011217	Utilities - Electric	332.36	0.00	332.36	

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			60225901311217	Utilities - Electric	12.11	0.00	12.11	
			60225901821217	Utilities - Electric	9.97	0.00	9.97	
			60225901981217	Utilities - Electric	42.37	0.00	42.37	
			60225902011217	Utilities - Electric	134.74	0.00	134.74	
			60225902291217	Utilities - Electric	24.02	0.00	24.02	
			60225902531217	Utilities - Electric	8,013.80	0.00	8,013.80	
			60225902641217	Utilities - Electric	44.33	0.00	44.33	
			60225902661217	Utilities - Electric	535.81	0.00	535.81	
			60225902811217	Utilities - Electric	159.76	0.00	159.76	
			60225902901217	Utilities - Electric	190.86	0.00	190.86	
			60225902951217	Utilities - Electric	20.48	0.00	20.48	
			60225903301217	Utilities - Electric	54.72	0.00	54.72	
			60225903371217	Utilities - Electric	2.25	0.00	2.25	
			60225903551217	Utilities - Electric	102.31	0.00	102.31	
			60225904171217	Utilities - Electric	7.05	0.00	7.05	
			60225904201217	Utilities - Electric	3,911.16	0.00	3,911.16	
			60225904271217	Utilities - Electric	3.26	0.00	3.26	
			60225904461217	Utilities - Electric	1.33	0.00	1.33	
			60225904501217	Utilities - Electric	0.49	0.00	0.49	
			60225904581217	Utilities - Electric	54.52	0.00	54.52	
			60225905101217	Utilities - Electric	2.62	0.00	2.62	
			60225905411217	Utilities - Electric	25.24	0.00	25.24	
			60225905571217	Utilities - Electric	76.98	0.00	76.98	
			60225905581217	Utilities - Electric	11.70	0.00	11.70	
			60225905591217	Utilities - Electric	11.70	0.00	11.70	
			60225905601217	Utilities - Electric	3,802.77	0.00	3,802.77	
			60225906091217	Utilities - Electric	2,825.92	0.00	2,825.92	
			60225906211217	Utilities - Electric	2.62	0.00	2.62	
			60225906401217	Utilities - Electric	4.55	0.00	4.55	
			60225906511217	Utilities - Electric	2,688.26	0.00	2,688.26	
			60225906591217	Utilities - Electric	36.03	0.00	36.03	

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			60225906601217	Utilities - Electric	50.53	0.00	50.53	
			60225906651217	Utilities - Electric	45.01	0.00	45.01	
			60225906781217	Utilities - Electric	7,781.95	0.00	7,781.95	
			60225906941217	Utilities - Electric	1,064.18	0.00	1,064.18	
			60225906981217	Utilities - Electric	274.75	0.00	274.75	
			60225907191217	Utilities - Electric	1,310.27	0.00	1,310.27	
			60225907631217	Utilities - Electric	2.55	0.00	2.55	
			60225907691217	Utilities - Electric	109.38	0.00	109.38	
			60225907731217	Utilities - Electric	24.42	0.00	24.42	
			60225907761217	Utilities - Electric	7.29	0.00	7.29	
			60225908161217	Utilities - Electric	3,813.53	0.00	3,813.53	
			60225908171217	Utilities - Electric	23.50	0.00	23.50	
			60225908581217	Utilities - Electric	47.64	0.00	47.64	
			60225908611217	Utilities - Electric	27.41	0.00	27.41	
			60225908941217	Utilities - Electric	33.64	0.00	33.64	
			60225909051217	Utilities - Electric	7.99	0.00	7.99	
			60225909411217	Utilities - Electric	68.77	0.00	68.77	
			60225909831217	Utilities - Electric	52.96	0.00	52.96	
			60243005771217	Utilities - Electric	0.85	0.00	0.85	
			61266000050118	Utilities - Gas	3,662.84	0.00	3,662.84	
			63004478111217	Utilities - Electric	45.21	0.00	45.21	
			65170651531217	Utilities - Electric	932.19	0.00	932.19	
			66172622091217	Utilities - Electric	21.04	0.00	21.04	
			72891152061217	Utilities - Electric	10.06	0.00	10.06	
			81004444431217	Utilities - Electric	6.41	0.00	6.41	
			81008620211217	Utilities - Electric	0.91	0.00	0.91	
			81008621121217	Utilities - Electric	6.82	0.00	6.82	
			81008622291217	Utilities - Electric	4.36	0.00	4.36	
			81008622551217	Utilities - Electric	55.93	0.00	55.93	
			81008623481217	Utilities - Electric	10.04	0.00	10.04	
			81008623721217	Utilities - Electric	0.75	0.00	0.75	

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			81008624271217	Utilities - Electric	69.29	0.00	69.29	
			81008624311217	Utilities - Electric	19.87	0.00	19.87	
			81008624651217	Utilities - Electric	10.04	0.00	10.04	
			81008624801217	Utilities - Electric	22.40	0.00	22.40	
			81008625371217	Utilities - Electric	124.21	0.00	124.21	
			81008626651217	Utilities - Electric	7.76	0.00	7.76	
			81008628101217	Utilities - Electric	0.75	0.00	0.75	
			81008628261217	Utilities - Electric	2.39	0.00	2.39	
			81008628351217	Utilities - Electric	0.75	0.00	0.75	
			81008629371217	Utilities - Electric	2.39	0.00	2.39	
			81008629451217	Utilities - Electric	2.44	0.00	2.44	
			81009280181217	Utilities - Electric	708.51	0.00	708.51	
			81011846091217	Utilities - Electric	13.65	0.00	13.65	
			81015536311217	Utilities - Electric	3,627.19	0.00	3,627.19	
			81020785621217	Utilities - Electric	7.33	0.00	7.33	
			81024370711217	Utilities - Electric	183.19	0.00	183.19	
			81029727041217	Utilities - Electric	6.41	0.00	6.41	
			81033823481217	Utilities - Electric	51.47	0.00	51.47	
			81035854771217	Utilities - Electric	19.88	0.00	19.88	
			81049144671217	Utilities - Electric	40.43	0.00	40.43	
			81052655701217	Utilities - Electric	13.15	0.00	13.15	
			81063868991217	Utilities - Electric	27,126.36	0.00	27,126.36	
			81073831151217	Utilities - Electric	22.38	0.00	22.38	
			81074135341217	Utilities - Electric	80.02	0.00	80.02	
			81080547221217	Utilities - Electric	50.53	0.00	50.53	
			81081601141217	Utilities - Electric	60.64	0.00	60.64	
			81703231611217	Utilities - Electric	14.21	0.00	14.21	
			91475900361217	Utilities - Electric	190.09	0.00	190.09	
			91475900451217	Utilities - Gas	220.30	0.00	220.30	
			91475901221217	Utilities - Electric	32.85	0.00	32.85	
			91475903191217	Utilities - Electric	74.95	0.00	74.95	

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			91475903551217	Utilities - Electric	231.61	0.00	231.61	
			91475904101217	Utilities - Electric	565.69	0.00	565.69	
			91475904311217	Utilities - Electric	324.88	0.00	324.88	
			91475904901217	Utilities - Electric	87.52	0.00	87.52	
			91475906251217	Utilities - Electric	166.24	0.00	166.24	
			91475906621217	Utilities - Electric	786.85	0.00	786.85	
			91475907051217	Utilities - Electric	168.54	0.00	168.54	
			91475907471217	Utilities - Electric	550.27	0.00	550.27	
			91475907601217	Utilities - Electric	257.77	0.00	257.77	
			91475907801217	Utilities - Electric	217.23	0.00	217.23	
			91475908691217	Utilities - Electric	301.85	0.00	301.85	
			91475909641217	Utilities - Electric	1,390.80	0.00	1,390.80	
			91475909791217	Utilities - Electric	441.99	0.00	441.99	
			94639783771217	Utilities - Electric	39.03	0.00	39.03	
			96226800431217	Utilities - Electric	79.48	0.00	79.48	
			96226804091217	Utilities - Electric	147.72	0.00	147.72	
			97331850981217	Utilities - Electric	11.79	0.00	11.79	
xxx299287	1/25/18	ROBERT VAN HEUSEN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	575.14	0.00	575.14	\$575.14
xxx299288	1/25/18	STEPHEN QUICK	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,245.04	0.00	1,245.04	\$1,245.04
xxx299289	1/25/18	NARONGTUT PRASOBSRI	BL073747 17-18	Business License Tax	18.02	0.00	18.02	\$18.02
xxx299290	1/25/18	DEPARTMENT OF CONSUMER AFFAIRS	LIC120809-2018	Membership Fees	120.00	0.00	120.00	\$120.00
xxx100715	1/22/18	WELLS FARGO BANK	01222018	Purchasing Card Statement	117,632.79	0.00	117,632.79	\$117,632.79
xxx100716	1/26/18	BAY COUNTIES WASTE SERVICES	NOV2017	Curbside Revenues - Sunnyvale Portion	-29,090.00	0.00	-29,090.00	\$1,059,070.46
			NOV2017	Host Fees - SMaRT Station - Public Haul Fees	-6,910.95	0.00	-6,910.95	
			NOV2017	MRF Revenues - SMaRT	6,184.50	0.00	6,184.50	
			NOV2017	Kirby Canyon SMaRT Operator	-96,100.34	0.00	-96,100.34	
			NOV2017	Yardwaste - Palo Alto	2,950.71	0.00	2,950.71	
			NOV2017	Misc Equip Maint & Repair - Labor	650.00	0.00	650.00	
			NOV2017	Facilities Equipment	45,663.87	0.00	45,663.87	

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			NOV2017	General Supplies	1,103.93	0.00	1,103.93	
			NOV2017	HazMat Disposal - Hazardous Waste Disposal	7,946.40	0.00	7,946.40	
			NOV2017	SMaRT Contractor Payment	1,108,621.71	0.00	1,108,621.71	
			NOV2018	Yardwaste - Mountain View	1,269.85	0.00	1,269.85	
			NOV2018	Yardwaste - Sunnyvale	16,780.78	0.00	16,780.78	
xxx906311	1/22/18	ACCLAMATION INSURANCE MANAGEMENT		Workers' Compensation - Claims	43,184.52	0.00	43,184.52	\$43,184.52
xxx906313	1/23/18	CALIFORNIA PUBLIC EMP RETIREMENT SYSTEM		Retirement Benefits - PERS - Mandatory Arrears	1,136.27	0.00	1,136.27	\$1,136.27
Grand Total Payment Amount								<u>\$4,038,370.01</u>

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
xxx8623	1/30/18	ABEL A VARGAS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	724.06	0.00	724.06	\$724.06
xxx8624	1/30/18	AIMEE FOSBENNER	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	53.36	0.00	53.36	\$53.36
xxx8625	1/30/18	ALI FATAPOUR	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,475.79	0.00	1,475.79	\$1,475.79
xxx8626	1/30/18	ANNABEL YURUTUCU	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	429.09	0.00	429.09	\$429.09
xxx8627	1/30/18	BYRON K PIPKIN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	887.34	0.00	887.34	\$887.34
xxx8628	1/30/18	CATHY E MERRILL	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	53.36	0.00	53.36	\$53.36
xxx8629	1/30/18	CATHY HAYNES	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,245.04	0.00	1,245.04	\$1,245.04
xxx8630	1/30/18	CHRIS CARRION	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	724.06	0.00	724.06	\$724.06
xxx8631	1/30/18	CORYN CAMPBELL	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	265.62	0.00	265.62	\$265.62
xxx8632	1/30/18	DAN HAMMONS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	942.38	0.00	942.38	\$942.38
xxx8633	1/30/18	DAVID A LEWIS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	929.24	0.00	929.24	\$929.24
xxx8634	1/30/18	DAVID KAHN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	884.11	0.00	884.11	\$884.11
xxx8635	1/30/18	DAVID L VERBRUGGE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,261.79	0.00	1,261.79	\$1,261.79
xxx8636	1/30/18	DAVID M GOTT	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	265.62	0.00	265.62	\$265.62
xxx8637	1/30/18	DAVID PITTS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	704.34	0.00	704.34	\$704.34
xxx8638	1/30/18	DEE SCHABOT						\$866.94

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	866.94	0.00	866.94	
xxx8639	1/30/18	DON JOHNSON	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	487.24	0.00	487.24	\$487.24
xxx8640	1/30/18	DOUGLAS MORETTO	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,191.98	0.00	1,191.98	\$1,191.98
xxx8641	1/30/18	ENCARNACION HERNANDEZ	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	171.76	0.00	171.76	\$171.76
xxx8642	1/30/18	ERWIN YOUNG	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	602.30	0.00	602.30	\$602.30
xxx8643	1/30/18	ESTRELLA AGRAVIADOR KAWCZYNSKI	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	183.34	0.00	183.34	\$183.34
xxx8644	1/30/18	EUGENE J WADDELL	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	866.94	0.00	866.94	\$866.94
xxx8645	1/30/18	FRANK CURTIS BLACK	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	269.76	0.00	269.76	\$269.76
xxx8646	1/30/18	FRANK J GRGURINA	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	595.99	0.00	595.99	\$595.99
xxx8647	1/30/18	GARY K CARLS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	310.58	0.00	310.58	\$310.58
xxx8648	1/30/18	GARY LUEBBERS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	299.22	0.00	299.22	\$299.22
xxx8649	1/30/18	GLENN FORTIN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	914.68	0.00	914.68	\$914.68
xxx8650	1/30/18	GREGORY E KEVIN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	704.34	0.00	704.34	\$704.34
xxx8651	1/30/18	JAMES BOUZIANE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	602.30	0.00	602.30	\$602.30
xxx8652	1/30/18	JEROME P AMMERMAN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	724.06	0.00	724.06	\$724.06
xxx8653	1/30/18	JOHN DEBATTISTA	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	724.06	0.00	724.06	\$724.06
xxx8654	1/30/18	JOHN HOWE						\$429.09

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			FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	429.09	0.00	429.09	
xxx8655	1/30/18	KAREN WOBLESKY	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	929.24	0.00	929.24	\$929.24
xxx8656	1/30/18	KELLY FITZGERALD	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	704.34	0.00	704.34	\$704.34
xxx8657	1/30/18	KELLY MENEHAN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	46.79	0.00	46.79	\$46.79
xxx8658	1/30/18	KLAUS DAEHNE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	565.43	0.00	565.43	\$565.43
xxx8659	1/30/18	MARK G PETERSEN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,458.71	0.00	1,458.71	\$1,458.71
xxx8660	1/30/18	MARK STIVERS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,134.34	0.00	1,134.34	\$1,134.34
xxx8661	1/30/18	MARVIN A ROSE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	449.10	0.00	449.10	\$449.10
xxx8662	1/30/18	MICHAEL A CHAN	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,475.79	0.00	1,475.79	\$1,475.79
xxx8663	1/30/18	MYRIAM CASTANEDA	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	429.09	0.00	429.09	\$429.09
xxx8664	1/30/18	PETE GONDA	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,458.71	0.00	1,458.71	\$1,458.71
xxx8665	1/30/18	RICHARD C GURNEY	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	429.09	0.00	429.09	\$429.09
xxx8666	1/30/18	ROBERT PATERNOSTER	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	220.37	0.00	220.37	\$220.37
xxx8667	1/30/18	ROBERT WALKER	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,418.36	0.00	1,418.36	\$1,418.36
xxx8668	1/30/18	RONALD DALBA	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	704.34	0.00	704.34	\$704.34
xxx8669	1/30/18	SCOTT MORTON	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,191.98	0.00	1,191.98	\$1,191.98
xxx8670	1/30/18	SILVIA MARTINS						\$942.38

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			FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	942.38	0.00	942.38	
xxx8671	1/30/18	SIMON C LEMUS	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,458.71	0.00	1,458.71	\$1,458.71
xxx8672	1/30/18	STEVEN D PIGOTT	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	458.41	0.00	458.41	\$458.41
xxx8673	1/30/18	TAMMY PARKHURST	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	265.62	0.00	265.62	\$265.62
xxx8674	1/30/18	THERESE BALBO	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,071.44	0.00	1,071.44	\$1,071.44
xxx8675	1/30/18	TIM CARLYLE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	704.34	0.00	704.34	\$704.34
xxx8676	1/30/18	TIM JOHNSON	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	704.34	0.00	704.34	\$704.34
xxx8677	1/30/18	TONY J PEREZ	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	866.94	0.00	866.94	\$866.94
xxx8678	1/30/18	VINCENT CHETCUTI	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	1,475.79	0.00	1,475.79	\$1,475.79
xxx8679	1/30/18	WILLIAM BIELINSKI	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	265.62	0.00	265.62	\$265.62
xxx8680	1/30/18	WILLIAM L DISQUE	FEBRUARY 2018	Insurances - Retiree Medical - Retiree Reimbursement	413.57	0.00	413.57	\$413.57
xxx299291	1/30/18	AT&T	000010759076	Utilities - Telephone	1,246.63	0.00	1,246.63	\$19,188.98
			000010793463	Utilities - Telephone	27.73	0.00	27.73	
			000010793472	Utilities - Telephone	11,432.19	0.00	11,432.19	
			000010793860	Utilities - Telephone	2,878.08	0.00	2,878.08	
			000010794059	Utilities - Telephone	36.55	0.00	36.55	
			000010796565	Utilities - Telephone	3,567.80	0.00	3,567.80	
xxx299292	1/30/18	AARON'S INDUSTRIAL PUMPING	12/19/2017	Facilities Maintenance & Repair Labor	395.00	0.00	395.00	\$395.00
xxx299293	1/30/18	ACCESS HARDWARE	5677186-IN	Bldg Maint Matls & Supplies	326.52	0.00	326.52	\$1,054.86
			5677699-IN	Bldg Maint Matls & Supplies	713.24	0.00	713.24	
			5677761-IN	Bldg Maint Matls & Supplies	15.10	0.00	15.10	
xxx299294	1/30/18	ACE FIRE EQUIPMENT & SERVICE CO INC	4147	Bldg Maint Matls & Supplies	6,032.31	0.00	6,032.31	\$7,616.23

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			4148	Bldg Maint Matls & Supplies	1,337.41	0.00	1,337.41	
			4541	Inventory Purchase	575.49	0.00	575.49	
			S-4420	Bldg Maint Matls & Supplies	-328.98	0.00	-328.98	
xxx299295	1/30/18	ACME BOILER & WATER HEATING CO	2806	Facilities Maintenance & Repair Labor	310.00	0.00	310.00	\$3,150.00
			2808	Facilities Maintenance & Repair Labor	310.00	0.00	310.00	
			2809	Facilities Maintenance & Repair Labor	825.00	0.00	825.00	
			2810	Facilities Maintenance & Repair Labor	310.00	0.00	310.00	
			2811	Facilities Maintenance & Repair Labor	310.00	0.00	310.00	
			2812	Facilities Maintenance & Repair Labor	310.00	0.00	310.00	
			2813	Facilities Maintenance & Repair Labor	775.00	0.00	775.00	
xxx299296	1/30/18	ACTION SIGN SYSTEMS	34640	Supplies, Office 1	69.45	0.00	69.45	\$69.45
xxx299297	1/30/18	ADVANTEL NETWORKS	6083721	Miscellaneous Services	3,000.00	0.00	3,000.00	\$3,000.00
xxx299298	1/30/18	ALAMEDA CTY INFORMATION TECHNOLOGY DEPT	112-1712057	Software As a Service	1,987.91	0.00	1,987.91	\$1,987.91
xxx299299	1/30/18	ALEJANDRA FLORES	CMS-B3-3F	Rec Instructors/Officials	1,000.00	0.00	1,000.00	\$1,000.00
xxx299300	1/30/18	ALPINE AWARDS INC	5522506	Clothing, Uniforms & Access	114.18	0.00	114.18	\$114.18
xxx299301	1/30/18	AMERICAN SOCIETY OF COMPOSERS AUTHORS &	100004871362	Membership Fees	1,333.04	0.00	1,333.04	\$1,392.17
			100004871363	Membership Fees	57.96	0.00	57.96	
			192000320221	Membership Fees	1.17	0.00	1.17	
xxx299302	1/30/18	ANDERSON BRULE ARCHITECTS INC	16.1101.2-6	Consultants	1,493.43	0.00	1,493.43	\$4,863.43
			16.1101.2-7	Consultants	3,370.00	0.00	3,370.00	
xxx299304	1/30/18	BACKFLOW PREVENTION SPECIALISTS INC	7007	Water Backflow Valves	529.31	0.00	529.31	\$529.31
xxx299305	1/30/18	BARA INFOWARE INC	1919	General Supplies	10,792.00	0.00	10,792.00	\$10,792.00
xxx299306	1/30/18	BAY-VALLEY PEST CONTROL INC	0234477	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	\$1,486.00
			0234923	Facilities Maintenance & Repair Labor	43.00	0.00	43.00	
			0234924	Facilities Maintenance & Repair Labor	43.00	0.00	43.00	
			0234925	Facilities Maintenance & Repair Labor	43.00	0.00	43.00	
			0234926	Facilities Maintenance & Repair Labor	88.00	0.00	88.00	
			0234927	Facilities Maintenance & Repair Labor	43.00	0.00	43.00	
			0234928	Facilities Maintenance & Repair Labor	43.00	0.00	43.00	
			0234929	Facilities Maintenance & Repair Labor	59.00	0.00	59.00	

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			0234930	Facilities Maintenance & Repair Labor	59.00	0.00	59.00	
			0234931	Facilities Maintenance & Repair Labor	59.00	0.00	59.00	
			0234932	Facilities Maintenance & Repair Labor	59.00	0.00	59.00	
			0234933	Facilities Maintenance & Repair Labor	72.00	0.00	72.00	
			0234936	Facilities Maintenance & Repair Labor	32.00	0.00	32.00	
			0234937	Facilities Maintenance & Repair Labor	56.00	0.00	56.00	
			0234939	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	
			0234940	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	
			0234941	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	
			0234942	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	
			0234943	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	
			0234944	Facilities Maintenance & Repair Labor	65.00	0.00	65.00	
			0234945	Facilities Maintenance & Repair Labor	65.00	0.00	65.00	
			0234946	Facilities Maintenance & Repair Labor	65.00	0.00	65.00	
			0234949	Facilities Maintenance & Repair Labor	42.00	0.00	42.00	
			0234971	Services Maintain Land Improv	120.00	0.00	120.00	
			0234974	Services Maintain Land Improv	58.00	0.00	58.00	
			0234984	Services Maintain Land Improv	120.00	0.00	120.00	
xxx299308	1/30/18	BOUND TREE MEDICAL LLC	70256200	Inventory Purchase	-1,496.03	0.00	-1,496.03	\$6,853.94
			70256721	Inventory Purchase	-1,496.03	0.00	-1,496.03	
			70256866	Inventory Purchase	-333.55	0.00	-333.55	
			82723209	Inventory Purchase	6,853.95	0.00	6,853.95	
			82725855	Inventory Purchase	2,992.05	0.00	2,992.05	
			82745214	Inventory Purchase	333.55	0.00	333.55	
xxx299309	1/30/18	BUCKLES-SMITH ELECTRIC CO	3057776-01	Electrical Parts & Supplies	503.17	0.00	503.17	\$642.18
			3057776-02	Electrical Parts & Supplies	139.01	0.00	139.01	
xxx299310	1/30/18	CWEA-SCVS	JAN/25/2018	Training and Conferences	50.00	0.00	50.00	\$50.00
xxx299311	1/30/18	CALIFORNIA BUILDING OFFICIALS	11233	Training and Conferences	2,500.00	0.00	2,500.00	\$2,500.00
xxx299312	1/30/18	CARNEGHI NAKASAKO & ASSOC	2018CNA105	Professional Services	4,000.00	0.00	4,000.00	\$4,000.00
xxx299313	1/30/18	CAROLLO ENGINEERS	0162730	Professional Services	67,542.08	0.00	67,542.08	\$67,542.08
xxx299314	1/30/18	CENTURY GRAPHICS	48218	Inventory Purchase	417.23	0.00	417.23	\$417.23

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xxx299315	1/30/18	CLAY PLANET	219148	Misc Equip Maint & Repair - Labor	75.00	0.00	75.00	\$107.70
			219148	General Supplies	32.70	0.00	32.70	
xxx299316	1/30/18	CONEXWEST	607996721719	Equipment Rental/Lease	81.75	0.00	81.75	\$81.75
xxx299317	1/30/18	CONTRACTOR COMPLIANCE & MONITORING INC	9429	Consultants	2,000.00	0.00	2,000.00	\$2,000.00
xxx299318	1/30/18	CORIX WATER PRODUCTS US INC	17813001506	Inventory Purchase	20.71	0.19	20.52	\$20.52
xxx299319	1/30/18	DEL GAVIO GROUP	8417	Miscellaneous Services	4,512.10	0.00	4,512.10	\$4,512.10
xxx299320	1/30/18	DELL MARKETING LP	10219748641	Computer Hardware	1,487.13	0.00	1,487.13	\$1,487.13
xxx299321	1/30/18	DELTA DIABLO SANITATION DISTRICT	004390101	Membership Fees	2,934.16	0.00	2,934.16	\$2,934.16
xxx299322	1/30/18	DEPARTMENT OF TRANSPORTATION	SL180423	Utilities - Electric	13,215.60	0.00	13,215.60	\$13,215.60
xxx299323	1/30/18	ECONOLITE SYSTEMS, INC.	21859	Construction Services	10,520.93	0.00	10,520.93	\$13,906.59
			21884	Services Maintain Land Improv	1,586.31	0.00	1,586.31	
			21885	Services Maintain Land Improv	58.44	0.00	58.44	
			21886	Services Maintain Land Improv	91.90	0.00	91.90	
			21892	Services Maintain Land Improv	1,649.01	0.00	1,649.01	
xxx299324	1/30/18	FEDEX	6-055-08531	Mailing & Delivery Services	6.58	0.00	6.58	\$6.58
xxx299325	1/30/18	FEHR & PEERS	118952	Professional Services	5,258.16	0.00	5,258.16	\$7,838.54
			119565	Professional Services	2,580.38	0.00	2,580.38	
xxx299326	1/30/18	FITGUARD INC	0000137887	Misc Equip Maint & Repair - Labor	125.00	0.00	125.00	\$275.42
			0000137887	Misc Equip Maint & Repair - Materials	150.42	0.00	150.42	
xxx299327	1/30/18	GP RESIDENTIAL DESIGNS	18-003	Customer Loans Disbursed	1,480.00	0.00	1,480.00	\$1,480.00
xxx299328	1/30/18	GARDENLAND POWER EQUIPMENT	533420	Parts, Vehicles & Motor Equip	63.31	0.00	63.31	\$63.31
xxx299329	1/30/18	GENUENT LLC	257227	Professional Services	3,120.00	0.00	3,120.00	\$3,120.00
xxx299330	1/30/18	GRAINGER	9580253384	General Supplies	10,048.72	0.00	10,048.72	\$20,097.43
			9580526938	General Supplies	10,048.71	0.00	10,048.71	
xxx299331	1/30/18	GRANITEROCK CO	1080894	Materials - Land Improve	1,757.07	0.00	1,757.07	\$1,757.07
xxx299332	1/30/18	HDL SOFTWARE LLC	0011823-IN	Software As a Service	3,540.00	0.00	3,540.00	\$3,540.00
xxx299333	1/30/18	HILLARD HEINTZE LLC	HH17-1679	Consultants	44,990.32	0.00	44,990.32	\$44,990.32
xxx299334	1/30/18	HYDROSCIENCE ENGINEERS INC	262013041	Professional Services	3,140.00	0.00	3,140.00	\$3,140.00
xxx299335	1/30/18	IMAGEX	211421	Printing & Related Services	499.00	0.00	499.00	\$499.00
xxx299336	1/30/18	INDUSTRIAL SAFETY SUPPLY CORP	1055472	Equipment Maintenance & Repair Labor	83.88	0.00	83.88	\$83.88
xxx299337	1/30/18	INTEGRATED ARCHIVE SYSTEMS INC						\$25,608.72

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xxx299338	1/30/18	INTERNATIONAL MANAGEMENT SYSTEMS	0087084-IN 8066	Hardware Maintenance Professional Services	25,608.72 7,000.00	0.00	25,608.72 7,000.00	\$7,000.00
xxx299339	1/30/18	JAIME MCNEELY	CK REQ 18-140	DED Services/Training - Books	62.90	0.00	62.90	\$62.90
xxx299340	1/30/18	JOANNE JOHNSON	CMS-B3-1J	Rec Instructors/Officials	1,000.00	0.00	1,000.00	\$1,000.00
xxx299341	1/30/18	KAESER COMPRESSORS INC	912258298 912258298	Facilities Maint & Repair - Labor Facilities Maint & Repair - Materials	517.73 1,784.41	0.00	517.73 1,784.41	\$2,302.14
xxx299343	1/30/18	KELLY MOORE PAINT CO INC	820-344439 820-345000	Materials - Land Improve Miscellaneous Equipment Parts & Supplies	118.85 16.35	0.00	118.85 16.35	\$135.20
xxx299344	1/30/18	KEVIN WU	CK REQ 18-147	DED Services/Training - Books	51.40	0.00	51.40	\$51.40
xxx299345	1/30/18	KIM MILLER	CK REQ 18-141	DED Services/Training - Books	70.94	0.00	70.94	\$70.94
xxx299346	1/30/18	KIM-LOAN NGUYEN	CK REQ 18-143	DED Services/Training - Books	82.89	0.00	82.89	\$82.89
xxx299347	1/30/18	LANDCARE USA LLC	111657	Services Maintain Land Improv	485.00	0.00	485.00	\$485.00
xxx299348	1/30/18	M&M COMMUNICATIONS INC	INV-0019	Miscellaneous Services	300.00	0.00	300.00	\$300.00
xxx299349	1/30/18	MACIAS GINI AND OCONNELL LLP	247187	Financial Services	16,162.00	0.00	16,162.00	\$16,162.00
xxx299350	1/30/18	MARTAN MANN	67890	Special Events	200.00	0.00	200.00	\$200.00
xxx299351	1/30/18	METROPOLITAN PLANNING GROUP	3881	Professional Services	906.25	0.00	906.25	\$906.25
xxx299352	1/30/18	MOFFETT PARK BUSINESS GROUP	301092	Membership Fees	1,100.00	0.00	1,100.00	\$1,100.00
xxx299353	1/30/18	MUSIC FOR FAMILIES INC	SVF17 SVU17	Rec Instructors/Officials Rec Instructors/Officials	16,336.32 7,023.72	0.00	16,336.32 7,023.72	\$23,360.04
xxx299354	1/30/18	MY FIRST ART CLASS	112	Rec Instructors/Officials	1,326.00	0.00	1,326.00	\$1,326.00
xxx299355	1/30/18	PACIFIC ECO-RISK	14008	Water Lab Services	2,985.00	0.00	2,985.00	\$2,985.00
xxx299356	1/30/18	PACIFIC JANITORIAL SUPPLY CO	30045967	Inventory Purchase	1,462.54	0.00	1,462.54	\$1,462.54
xxx299357	1/30/18	PACIFIC PLUMBING & UNDERGROUND	40440SR	Facilities Maintenance & Repair Labor	3,080.00	0.00	3,080.00	\$3,080.00
xxx299358	1/30/18	POLLARDWATER.COM	0098654	Water Meters	372.34	0.00	372.34	\$372.34
xxx299359	1/30/18	POTABLE DIVERS INC	18004	Contracts/Service Agreements	13,800.00	0.00	13,800.00	\$13,800.00
xxx299360	1/30/18	READYREFRESH BY NESTLE	18A0023956113	Food Products	14.97	0.00	14.97	\$14.97
xxx299361	1/30/18	REED & GRAHAM INC	909406 909559	Materials - Land Improve Materials - Land Improve	118.75 2,496.95	0.00	118.75 2,496.95	\$2,615.70
xxx299362	1/30/18	REFRIGERATION SUPPLIES DISTRIBUTOR	38380234-00 38382046-00	Bldg Maint Matls & Supplies Bldg Maint Matls & Supplies	400.38 73.23	0.00	400.38 73.23	\$1,432.70

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			38382050-00	Bldg Maint Matls & Supplies	64.45	0.00	64.45	
			38382191-00	Bldg Maint Matls & Supplies	172.63	0.00	172.63	
			38382473-00	Bldg Maint Matls & Supplies	588.75	0.00	588.75	
			38382799-00	Bldg Maint Matls & Supplies	13.05	0.00	13.05	
			38382800-00	Bldg Maint Matls & Supplies	120.21	0.00	120.21	
xxx299363	1/30/18	REON STALLINGS	CK REQ 18-142	DED Services/Training - Books	84.95	0.00	84.95	\$84.95
xxx299364	1/30/18	ROGER D HIGDON	2017-15306J	Consultants	696.96	0.00	696.96	\$696.96
xxx299365	1/30/18	ROYAL BRASS INC	853527-001	Miscellaneous Equipment Parts & Supplies	630.47	0.00	630.47	\$630.47
xxx299366	1/30/18	SCS ENGINEERS	0312162	Engineering Services	500.00	0.00	500.00	\$500.00
xxx299367	1/30/18	SCS FIELD SERVICES INC	0316661	Engineering Services	753.00	0.00	753.00	\$753.00
xxx299368	1/30/18	SAFEWAY INC	803394-012318	Food Products	8.99	0.00	8.99	\$33.31
			804439-012418	Food Products	24.32	0.00	24.32	
xxx299369	1/30/18	SANTA CLARA ADULT EDUCATION	13432	DED Services/Training - Training	274.00	0.00	274.00	\$274.00
xxx299370	1/30/18	SANTA CLARA VALLEY WATER DISTRICT	GM100711	Taxes & Licenses - Misc	10,774.75	0.00	10,774.75	\$10,774.75
xxx299371	1/30/18	SHAPE INC	123834	Contracts/Service Agreements	4,588.00	0.00	4,588.00	\$4,588.00
xxx299372	1/30/18	SIGN WIZ	11731	General Supplies	159.33	0.00	159.33	\$159.33
xxx299373	1/30/18	SIGNET TESTING LABORATORIES INC	6196	Professional Services	360.50	0.00	360.50	\$360.50
xxx299374	1/30/18	SIMPLEX GRINNELL	84339892	Facilities Maintenance & Repair Labor	610.00	0.00	610.00	\$2,520.40
			84402237	Facilities Maint & Repair - Labor	646.00	0.00	646.00	
			84402237	Facilities Maint & Repair - Materials	1,264.40	0.00	1,264.40	
xxx299375	1/30/18	STATCOMM INC	125215	Facilities Maint & Repair - Labor	239.00	0.00	239.00	\$1,423.54
			125215	Facilities Maint & Repair - Materials	5.45	0.00	5.45	
			125233	Facilities Maint & Repair - Labor	517.75	0.00	517.75	
			125233	Facilities Maint & Repair - Materials	11.34	0.00	11.34	
			125258	Facilities Maintenance & Repair Labor	375.00	0.00	375.00	
			125259	Facilities Maintenance & Repair Labor	275.00	0.00	275.00	
xxx299376	1/30/18	STUDIO EM GRAPHIC DESIGN	16945	Graphics Services	163.50	0.00	163.50	\$163.50
xxx299377	1/30/18	SUNNYVALE BUILDING MAINTENANCE	100049	Professional Services	148.00	0.00	148.00	\$3,159.00
			100059	Professional Services	1,767.50	0.00	1,767.50	
			100060	Professional Services	708.24	0.00	708.24	
			100061	Professional Services	535.26	0.00	535.26	

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xxx299378	1/30/18	SUPPLYWORKS	423108802	Bldg Maint Matls & Supplies	314.23	0.00	314.23	\$650.41
			424519700	Bldg Maint Matls & Supplies	336.18	0.00	336.18	
xxx299379	1/30/18	SYNAGRO-WWT INC	03-103154	Miscellaneous Services	20,219.51	0.00	20,219.51	\$20,219.51
xxx299380	1/30/18	TJKM	0046837	Consultants	250.00	0.00	250.00	\$250.00
xxx299381	1/30/18	TANKO STREETLIGHTING INC	9847	Construction Services	362,611.47	0.00	362,611.47	\$1,622,577.46
			9847	General Supplies	1,259,965.99	0.00	1,259,965.99	
xxx299382	1/30/18	THANH CONG MAI	CK REQ 18-146	DED Services/Training - Books	61.75	0.00	61.75	\$61.75
xxx299383	1/30/18	THOMAS PLUMBING INC	184465	Facilities Maintenance & Repair Labor	124.00	0.00	124.00	\$124.00
xxx299384	1/30/18	THRASHER TERMITE & PEST CONTROL INC	17270	Facilities Maintenance & Repair Labor	1,050.00	0.00	1,050.00	\$1,050.00
xxx299385	1/30/18	TOGOS EATERY	539814	Food Products	96.50	0.00	96.50	\$96.50
xxx299386	1/30/18	TRI DIM FILTER CORP	1972557-1	Bldg Maint Matls & Supplies	106.15	0.00	106.15	\$521.45
			1972558-1	Bldg Maint Matls & Supplies	218.39	0.00	218.39	
			1972561-1	Bldg Maint Matls & Supplies	196.91	0.00	196.91	
xxx299387	1/30/18	UC REGENTS	1002418-181	DED Services/Training - Training	4,243.50	0.00	4,243.50	\$12,802.50
			1003019-181	DED Services/Training - Training	4,297.50	0.00	4,297.50	
			1015993-181	DED Services/Training - Training	4,261.50	0.00	4,261.50	
xxx299388	1/30/18	UNIVERSITY OF CALIFORNIA SANTA CRUZ	57260	DED Services/Training - Training	515.00	0.00	515.00	\$32,785.00
			57268	DED Services/Training - Training	578.00	0.00	578.00	
			57348	DED Services/Training - Training	600.00	0.00	600.00	
			57408	DED Services/Training - Training	436.00	0.00	436.00	
			57487	DED Services/Training - Training	588.50	0.00	588.50	
			57544	DED Services/Training - Training	610.50	0.00	610.50	
			57935	DED Services/Training - Training	4,392.00	0.00	4,392.00	
			58015	DED Services/Training - Training	4,590.00	0.00	4,590.00	
			58017	DED Services/Training - Training	4,779.00	0.00	4,779.00	
			58019	DED Services/Training - Training	4,896.00	0.00	4,896.00	
			58021	DED Services/Training - Training	5,400.00	0.00	5,400.00	
			58029	DED Services/Training - Training	5,400.00	0.00	5,400.00	
xxx299390	1/30/18	VMI INC	240267	Misc Equip Maint & Repair - Labor	300.00	0.00	300.00	\$913.62
			240267	Miscellaneous Equipment Parts & Supplies	210.32	0.00	210.32	

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			240276	Equipment Rental/Lease	403.30	0.00	403.30	
xxx299391	1/30/18	VWR INTERNATIONAL LLC	8081009048	General Supplies	88.02	0.00	88.02	\$207.34
			8081064499	General Supplies	119.32	0.00	119.32	
xxx299392	1/30/18	VERIZON WIRELESS	9799554657	Utilities - Mobile Phones - City Mobile Phones	185.36	0.00	185.36	\$185.36
xxx299393	1/30/18	VIRGIL INC	110117-123117	Contracts/Service Agreements	2,100.00	0.00	2,100.00	\$2,100.00
xxx299394	1/30/18	WATER ONE INDUSTRIES INC	103501	Facilities Maintenance & Repair Labor	1,200.00	0.00	1,200.00	\$1,200.00
xxx299395	1/30/18	WEATHERSHIELD ROOF SYSTEMS INC	8865	Facilities Maint & Repair - Labor	225.00	0.00	225.00	\$11,813.00
			8865	Facilities Maint & Repair - Materials	43.00	0.00	43.00	
			8991	Facilities Maint & Repair - Labor	300.00	0.00	300.00	
			8991	Facilities Maint & Repair - Materials	12.00	0.00	12.00	
			9061	Facilities Maint & Repair - Labor	487.50	0.00	487.50	
			9061	Facilities Maint & Repair - Materials	46.00	0.00	46.00	
			9065	Facilities Maint & Repair - Labor	750.00	0.00	750.00	
			9065	Facilities Maint & Repair - Materials	10.00	0.00	10.00	
			9072	Facilities Maintenance & Repair Labor	4,924.00	0.00	4,924.00	
			9077	Facilities Maint & Repair - Labor	2,662.53	0.00	2,662.53	
			9077	Facilities Maint & Repair - Materials	84.97	0.00	84.97	
			9078	Facilities Maint & Repair - Labor	300.00	0.00	300.00	
			9078	Facilities Maint & Repair - Materials	10.00	0.00	10.00	
			9083	Facilities Maintenance & Repair Labor	905.00	0.00	905.00	
			9124	Facilities Maint & Repair - Labor	412.50	0.00	412.50	
			9124	Facilities Maint & Repair - Materials	161.00	0.00	161.00	
			9142	Facilities Maint & Repair - Labor	300.00	0.00	300.00	
			9142	Facilities Maint & Repair - Materials	67.00	0.00	67.00	
			9152	Facilities Maintenance & Repair Labor	112.50	0.00	112.50	
xxx299397	1/30/18	WECK LABORATORIES INC	W8A1345	Water Lab Services	674.86	0.00	674.86	\$674.86
xxx299398	1/30/18	WEST VALLEY STAFFING GROUP	220454	Professional Services	1,052.64	0.00	1,052.64	\$2,302.49
			220914	Professional Services	1,249.85	0.00	1,249.85	
xxx299399	1/30/18	WINSUPPLY OF SILICON VALLEY	681869 00	Bldg Maint Matls & Supplies	20.72	0.00	20.72	\$475.09
			683852 00	General Supplies	431.85	0.00	431.85	

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			683883 00	General Supplies	19.58	0.00	19.58	
			683883 02	General Supplies	2.94	0.00	2.94	
xxx299400	1/30/18	WAITER.COM INC	10123736389	Food Products	127.83	0.00	127.83	\$227.63
			10123736417	Food Products	99.80	0.00	99.80	
xxx299401	1/30/18	ALFONSO CHARTIER	CLAIM#1718-030	Liability Claims Paid	350.00	0.00	350.00	\$350.00
xxx299402	1/30/18	ALLAN HANCOCK JCCD	S0007882	Training and Conferences	115.00	0.00	115.00	\$115.00
xxx299403	1/30/18	OFFICE DEPOT INC	992709765001	Supplies, Office 1	-370.59	0.00	-370.59	\$14,670.13
			993573719001	Supplies, Office 1	59.35	0.00	59.35	
			993909895001	Supplies, Office 1	-241.97	0.00	-241.97	
			994106066001	Supplies, Office 1	30.47	0.00	30.47	
			994136587001	Supplies, Office 1	55.61	0.00	55.61	
			994223732001	Supplies, Office 1	134.21	0.00	134.21	
			994336408001	Supplies, Office 1	593.05	0.00	593.05	
			994340726001	Supplies, Office 1	55.30	0.00	55.30	
			994371584001	Supplies, Office 1	105.47	0.00	105.47	
			994387891001	Supplies, Office 1	588.59	0.00	588.59	
			994389725001	Supplies, Office 1	118.59	0.00	118.59	
			994446042001	Supplies, Office 1	83.61	0.00	83.61	
			994473708001	Supplies, Office 1	7.01	0.00	7.01	
			994474345001	Supplies, Office 1	338.07	0.00	338.07	
			994474346001	Supplies, Office 1	15.33	0.00	15.33	
			994541827001	Supplies, Office 1	67.65	0.00	67.65	
			994549683001	Supplies, Office 1	15.65	0.00	15.65	
			994569840001	Supplies, Office 1	196.83	0.00	196.83	
			994578528001	Supplies, Office 1	231.18	0.00	231.18	
			994589028001	Supplies, Office 1	55.92	0.00	55.92	
			994605945001	Supplies, Office 1	431.53	0.00	431.53	
			994622980001	Supplies, Office 1	24.72	0.00	24.72	
			994623122001	Supplies, Office 1	39.21	0.00	39.21	
			994623123001	Supplies, Office 1	19.13	0.00	19.13	

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			994820928001	Supplies, Office 1	56.37	0.00	56.37	
			994857790001	Supplies, Office 1	30.51	0.00	30.51	
			995109863001	Supplies, Office 1	105.63	0.00	105.63	
			995110279001	Supplies, Office 1	45.75	0.00	45.75	
			995180754001	Supplies, Office 1	2.17	0.00	2.17	
			995181078001	Supplies, Office 1	17.11	0.00	17.11	
			995378573001	Supplies, Office 1	338.22	0.00	338.22	
			995378606001	Supplies, Office 1	30.51	0.00	30.51	
			995379897001	Supplies, Office 1	7.25	0.00	7.25	
			995379909001	Supplies, Office 1	55.52	0.00	55.52	
			995640044001	Supplies, Office 1	-303.42	0.00	-303.42	
			995641513001	Supplies, Office 1	488.17	0.00	488.17	
			995657046001	Supplies, Office 1	21.35	0.00	21.35	
			995659821001	Supplies, Office 1	68.17	0.00	68.17	
			995679959001	Supplies, Office 1	56.48	0.00	56.48	
			995765479001	Supplies, Office 1	848.71	0.00	848.71	
			995843743001	Supplies, Office 1	139.41	0.00	139.41	
			995979960001	Supplies, Office 1	25.28	0.00	25.28	
			996062110001	Supplies, Office 1	53.02	0.00	53.02	
			996063579001	Supplies, Office 1	229.34	0.00	229.34	
			996087506001	Inventory Purchase	6,083.01	0.00	6,083.01	
			996313915001	Supplies, Office 1	113.35	0.00	113.35	
			996321125001	Supplies, Office 1	124.25	0.00	124.25	
			996330700001	Supplies, Office 1	103.90	0.00	103.90	
			996338061001	Supplies, Office 1	310.37	0.00	310.37	
			996503761001	Supplies, Office 1	9.65	0.00	9.65	
			996503988001	Supplies, Office 1	10.08	0.00	10.08	
			996503990001	Supplies, Office 1	11.50	0.00	11.50	
			996503991001	Supplies, Office 1	13.41	0.00	13.41	
			996564290001	Supplies, Office 1	29.92	0.00	29.92	
			996576060001	Supplies, Office 1	-17.11	0.00	-17.11	

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			996649375001	Supplies, Office 1	431.53	0.00	431.53	
			996745664001	Supplies, Office 1	25.15	0.00	25.15	
			996745786001	Supplies, Office 1	47.36	0.00	47.36	
			996745976001	Supplies, Office 1	14.16	0.00	14.16	
			996767876001	Supplies, Office 1	175.83	0.00	175.83	
			996768649001	Supplies, Office 1	27.24	0.00	27.24	
			996804920001	Supplies, Office 1	25.51	0.00	25.51	
			996913624001	Supplies, Office 1	100.09	0.00	100.09	
			996936555001	Supplies, Office 1	268.69	0.00	268.69	
			997085537001	Supplies, Office 1	113.46	0.00	113.46	
			997148957001	Supplies, Office 1	155.75	0.00	155.75	
			997196540001	Supplies, Office 1	317.24	0.00	317.24	
			997196618001	Supplies, Office 1	342.17	0.00	342.17	
			997196619001	Supplies, Office 1	9.53	0.00	9.53	
			997196621001	Supplies, Office 1	475.22	0.00	475.22	
			997277738001	Supplies, Office 1	110.02	0.00	110.02	
			997373605001	Supplies, Office 1	49.85	0.00	49.85	
			997484370001	Supplies, Office 1	120.47	0.00	120.47	
			997503760001	Supplies, Office 1	99.06	0.00	99.06	
xxx299409	1/30/18	PACIFIC GAS & ELECTRIC CO	03153947311217	Utilities - Electric	1,534.36	0.00	1,534.36	\$15,043.57
			32709321911217	Utilities - Electric	66.52	0.00	66.52	
			32725920041217	Utilities - Electric	48.70	0.00	48.70	
			32725920071217	Utilities - Electric	12.32	0.00	12.32	
			32725920141217	Utilities - Electric	20.80	0.00	20.80	
			32725920351217	Utilities - Gas	8.66	0.00	8.66	
			32725921111217	Utilities - Electric	9.68	0.00	9.68	
			32725921171217	Utilities - Electric	107.32	0.00	107.32	
			32725921261217	Utilities - Electric	13.26	0.00	13.26	
			32725921321217	Utilities - Electric	113.24	0.00	113.24	
			32725921431217	Utilities - Electric	4.46	0.00	4.46	
			32725921481217	Utilities - Electric	180.95	0.00	180.95	

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			32725921491217	Utilities - Electric	11.20	0.00	11.20	
			32725921611217	Utilities - Electric	59.42	0.00	59.42	
			32725921711217	Utilities - Electric	169.10	0.00	169.10	
			32725921791217	Utilities - Electric	1.45	0.00	1.45	
			32725921801217	Utilities - Electric	15.54	0.00	15.54	
			32725922051217	Utilities - Electric	26.41	0.00	26.41	
			32725922091217	Utilities - Electric	1,261.91	0.00	1,261.91	
			32725922411217	Utilities - Electric	736.03	0.00	736.03	
			32725922521217	Utilities - Electric	300.54	0.00	300.54	
			32725922581217	Utilities - Electric	50.43	0.00	50.43	
			32725922851217	Utilities - Electric	2.75	0.00	2.75	
			32725923121217	Utilities - Electric	172.42	0.00	172.42	
			32725923351217	Utilities - Electric	134.64	0.00	134.64	
			32725923371217	Utilities - Electric	6.67	0.00	6.67	
			32725923401217	Utilities - Electric	18.54	0.00	18.54	
			32725923711217	Utilities - Electric	11.25	0.00	11.25	
			32725923771217	Utilities - Electric	99.37	0.00	99.37	
			32725923851217	Utilities - Electric	2.64	0.00	2.64	
			32725924031217	Utilities - Electric	268.16	0.00	268.16	
			32725924041217	Utilities - Electric	184.96	0.00	184.96	
			32725924171217	Utilities - Electric	24.46	0.00	24.46	
			32725924961217	Utilities - Electric	718.87	0.00	718.87	
			32725924971217	Utilities - Electric	11.14	0.00	11.14	
			32725925001217	Utilities - Electric	305.07	0.00	305.07	
			32725925011217	Utilities - Electric	71.32	0.00	71.32	
			32725925201217	Utilities - Electric	319.11	0.00	319.11	
			32725925211217	Utilities - Electric	7.90	0.00	7.90	
			32725925231217	Utilities - Electric	33.24	0.00	33.24	
			32725925371217	Utilities - Electric	162.03	0.00	162.03	
			32725925691217	Utilities - Electric	30.62	0.00	30.62	
			32725925891217	Utilities - Electric	72.96	0.00	72.96	

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			32725926211217	Utilities - Electric	329.64	0.00	329.64	
			32725926441217	Utilities - Electric	835.54	0.00	835.54	
			32725926471217	Utilities - Electric	777.87	0.00	777.87	
			32725926831217	Utilities - Electric	413.08	0.00	413.08	
			32725926851217	Utilities - Electric	30.79	0.00	30.79	
			32725926871217	Utilities - Electric	0.78	0.00	0.78	
			32725926941217	Utilities - Electric	352.66	0.00	352.66	
			32725926951217	Utilities - Electric	20.93	0.00	20.93	
			32725927041217	Utilities - Electric	11.17	0.00	11.17	
			32725927251217	Utilities - Electric	264.50	0.00	264.50	
			32725927291217	Utilities - Electric	4.99	0.00	4.99	
			32725927341217	Utilities - Electric	460.34	0.00	460.34	
			32725927381217	Utilities - Electric	94.45	0.00	94.45	
			32725927401217	Utilities - Electric	49.87	0.00	49.87	
			32725927511217	Utilities - Electric	523.81	0.00	523.81	
			32725927681217	Utilities - Electric	0.84	0.00	0.84	
			32725928001217	Utilities - Electric	293.39	0.00	293.39	
			32725928251217	Utilities - Electric	17.68	0.00	17.68	
			32725929101217	Utilities - Electric	0.77	0.00	0.77	
			32725929141217	Utilities - Electric	53.01	0.00	53.01	
			32725929221217	Utilities - Electric	643.32	0.00	643.32	
			32725929251217	Utilities - Electric	0.80	0.00	0.80	
			32725929281217	Utilities - Electric	33.10	0.00	33.10	
			32725929391217	Utilities - Electric	81.94	0.00	81.94	
			32725929441217	Utilities - Electric	473.95	0.00	473.95	
			32725929751217	Utilities - Electric	103.05	0.00	103.05	
			32730750561217	Utilities - Electric	393.67	0.00	393.67	
			32753650071217	Utilities - Electric	134.61	0.00	134.61	
			32754254881217	Utilities - Electric	199.60	0.00	199.60	
			32799419321217	Utilities - Gas	124.76	0.00	124.76	
			36207652981217	Utilities - Electric	63.15	0.00	63.15	

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			52896844241217	Utilities - Gas	388.25	0.00	388.25	
			52896847891217	Utilities - Electric	456.84	0.00	456.84	
xxx299415	1/30/18	SMCO SHERIFFS OFFICE	LARKIN	Training and Conferences	275.00	0.00	275.00	\$275.00
			APR2018					
xxx299416	1/30/18	SOUTH BAY REGIONAL PUBLIC SAFETY	218353	Training and Conferences	423.00	0.00	423.00	\$423.00
xxx299417	1/30/18	TAMEEM ALTAMEEMI	CLAIM#1718-03	Liability Claims Paid	13,119.59	0.00	13,119.59	\$13,119.59
			8					
xxx299419	1/30/18	JESSICA CHANG	169199-19628	Refund Utility Account Credit	258.60	0.00	258.60	\$258.60
xxx299420	1/30/18	LIGHT HOUSE ROOFING & CONSTRUCTION	BL050451-2017	Business License Tax	37.82	0.00	37.82	\$37.82
xxx299421	1/30/18	M&C HOTEL INTERESTS INC	PR2004-0491	Miscellaneous Payment	24,270.18	0.00	24,270.18	\$24,270.18
xxx299422	1/30/18	PIVOT MEDICAL	146315-858	Refund Utility Account Credit	872.51	0.00	872.51	\$872.51
xxx299424	2/1/18	ABHINANDAN CHOUGULE	61758	DED Services/Training - Books	223.99	0.00	223.99	\$223.99
xxx299425	2/1/18	ALL CITY MANAGEMENT SERVICES INC	52638	Contracts/Service Agreements	27,606.38	0.00	27,606.38	\$27,606.38
xxx299426	2/1/18	ALLSTAR FIRE EQUIPMENT INC	203049	Clothing, Uniforms & Access	354.25	0.00	354.25	\$354.25
xxx299427	2/1/18	ANDERSON PACIFIC ENGINEERING	1638-04	Misc Equip Maint & Repair - Labor	59,656.33	0.00	59,656.33	\$59,656.33
xxx299428	2/1/18	BAY AREA NEWS GROUP DIGITAL FIRST MEDIA	0005994639-8/4	Advertising Services	328.00	0.00	328.00	\$315.75
			0006011848	Advertising Services	802.00	0.00	802.00	
			0006014211	Advertising Services	299.50	0.00	299.50	
			0006053666	Advertising Services	271.00	0.00	271.00	
			C64239	Advertising Services	-328.00	0.00	-328.00	
			C64240	Advertising Services	-802.00	0.00	-802.00	
			C64248	Advertising Services	-254.75	0.00	-254.75	
xxx299429	2/1/18	BOUND TREE MEDICAL LLC	82690988	Supplies, First Aid	4,846.08	0.00	4,846.08	\$5,511.89
			82693746	Supplies, First Aid	196.62	0.00	196.62	
			82735998	Supplies, First Aid	469.19	0.00	469.19	
xxx299430	2/1/18	C OVERAA & CO	PRMRTYRTMT	Construction Services	1,936,812.50	0.00	1,936,812.50	\$1,936,812.50
			2#04					
xxx299431	2/1/18	CONTRACTOR COMPLIANCE & MONITORING INC	9535	Consultants	2,000.00	0.00	2,000.00	\$2,000.00
xxx299432	2/1/18	CORNERSTONE DETENTION PRODUCTS INC	120189	Facilities Maintenance & Repair Labor	250.00	0.00	250.00	\$250.00
xxx299433	2/1/18	DEEPTI SAWHNEY						\$63.88

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xxx299434	2/1/18	DEL GAVIO GROUP	CK REQ 18-152	DED Services/Training - Books	63.88	0.00	63.88	
			8308	Facilities Maint & Repair - Labor	150.00	0.00	150.00	\$6,875.30
			8308	Facilities Maint & Repair - Materials	3,046.55	0.00	3,046.55	
			8414	Facilities Maintenance & Repair Labor	1,495.00	0.00	1,495.00	
			8418	Facilities Maintenance & Repair Labor	935.15	0.00	935.15	
			8419	Facilities Maintenance & Repair Labor	898.60	0.00	898.60	
xxx299435	2/1/18	ECONOLITE SYSTEMS, INC.	8426	Facilities Maintenance & Repair Labor	350.00	0.00	350.00	
			21037	Services Maintain Land Improv	40,178.00	0.00	40,178.00	\$144,550.03
			22176	Services Maintain Land Improv	429.90	0.00	429.90	
			22180	Services Maintain Land Improv	645.68	0.00	645.68	
			22220	Services Maintain Land Improv	3,934.59	0.00	3,934.59	
			22221	Services Maintain Land Improv	6,022.81	0.00	6,022.81	
			22225	Services Maintain Land Improv	4,181.16	0.00	4,181.16	
			22226	Services Maintain Land Improv	1,750.76	0.00	1,750.76	
			22277	Construction Services	14,441.54	0.00	14,441.54	
			22278	Services Maintain Land Improv	49,701.20	0.00	49,701.20	
			22287	Services Maintain Land Improv	6,835.44	0.00	6,835.44	
			22291	Services Maintain Land Improv	8,317.39	0.00	8,317.39	
			22293	Services Maintain Land Improv	5,492.15	0.00	5,492.15	
			22296	Services Maintain Land Improv	2,619.41	0.00	2,619.41	
xxx299437	2/1/18	EL ANDAR TRANSLATION	3797	Graphics Services	100.00	0.00	100.00	\$100.00
xxx299438	2/1/18	ELAINE GONZALEZ	374621-971148	DED Services/Training - Books	34.57	0.00	34.57	\$34.57
xxx299439	2/1/18	ESPINOZA TREE SERVICE	490	Professional Services	700.00	0.00	700.00	\$700.00
xxx299440	2/1/18	F&M BANK	PRMRTYRTMT 2#04	Construction Project Contract Retainage	101,937.50	0.00	101,937.50	\$101,937.50
xxx299441	2/1/18	FEDEX	6-025-87174	Mailing & Delivery Services	0.40	0.00	0.40	\$0.40
xxx299442	2/1/18	FISHER SCIENTIFIC CO LLC	6010836	Chemicals	144.31	0.00	144.31	\$384.89
			7031077	General Supplies	240.58	0.00	240.58	
			3021008	Bldg Maint Matls & Supplies	297.03	0.00	297.03	\$1,095.21
xxx299443	2/1/18	FIX AIR	3021296	Bldg Maint Matls & Supplies	798.18	0.00	798.18	
			295562	Bldg Maint Matls & Supplies	479.60	0.00	479.60	\$742.72
xxx299444	2/1/18	FOSTER BROS SECURITY SYSTEMS INC						

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			295898	Bldg Maint Matls & Supplies	59.07	0.00	59.07	
			295901	Bldg Maint Matls & Supplies	204.05	0.00	204.05	
xxx299445	2/1/18	GRAINGER	9660650376	Inventory Purchase	139.09	0.00	139.09	\$408.15
			9662057679	Inventory Purchase	269.06	0.00	269.06	
xxx299446	2/1/18	H K AVERY CONSTRUCTION	2217	Facilities Maint & Repair - Labor	2,770.00	0.00	2,770.00	\$2,920.00
			2217	Facilities Maint & Repair - Materials	150.00	0.00	150.00	
xxx299447	2/1/18	IDEXX DISTRIBUTION GROUP	3025849028	General Supplies	441.02	0.00	441.02	\$441.02
xxx299448	2/1/18	INTERSTATE GRADING & PAVING INC	PVMTRHB2017	Construction Services	411,634.22	0.00	411,634.22	\$411,634.22
			#02					
xxx299449	2/1/18	KAESER COMPRESSORS INC	912243497	Facilities Maintenance & Repair Labor	471.75	0.00	471.75	\$1,063.60
			912260762	Facilities Maint & Repair - Labor	187.50	0.00	187.50	
			912260762	Facilities Maint & Repair - Materials	404.35	0.00	404.35	
xxx299450	2/1/18	KATHRYN KIM RAMOS	CK REQ 18-153	DED Services/Training - Books	18.48	0.00	18.48	\$18.48
xxx299451	2/1/18	KOHLWEISS AUTO PARTS INC	01PM3769	Parts, Vehicles & Motor Equip	130.69	0.00	130.69	\$361.26
			01PM6027	Parts, Vehicles & Motor Equip	68.93	0.00	68.93	
			01PM6154	Parts, Vehicles & Motor Equip	35.65	0.00	35.65	
			01PM6659	Parts, Vehicles & Motor Equip	13.95	0.00	13.95	
			01PM6783	Parts, Vehicles & Motor Equip	41.87	0.00	41.87	
			01PM8352	Parts, Vehicles & Motor Equip	50.57	0.00	50.57	
			01PN0635	Parts, Vehicles & Motor Equip	19.60	0.00	19.60	
xxx299452	2/1/18	LPS TACTICAL & PERSONAL SECURITY SUPPLY	7901A	Clothing, Uniforms & Access	528.05	0.00	528.05	\$3,827.14
			7907A	Clothing, Uniforms & Access	673.02	0.00	673.02	
			7908A	Clothing, Uniforms & Access	528.05	0.00	528.05	
			7910A	Clothing, Uniforms & Access	528.05	0.00	528.05	
			7916A	Clothing, Uniforms & Access	559.66	0.00	559.66	
			7919A	Clothing, Uniforms & Access	519.87	0.00	519.87	
			7922A	Clothing, Uniforms & Access	490.44	0.00	490.44	
xxx299453	2/1/18	LAWSON PRODUCTS INC	9305543528	Miscellaneous Equipment Parts & Supplies	390.30	0.00	390.30	\$390.30
xxx299454	2/1/18	LEAGUE OF CALIFORNIA CITIES	179109	Membership Fees	29,540.00	0.00	29,540.00	\$29,540.00
xxx299455	2/1/18	LEXISNEXIS RISK SOLUTIONS	C100217-171031	Software Licensing & Support	15,953.23	0.00	15,953.23	\$15,953.23
xxx299456	2/1/18	LOMBARDO DIAMOND CORE DRILLING CO INC	13119	Facilities Maintenance & Repair Labor	1,266.00	0.00	1,266.00	\$1,266.00

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xxx299457	2/1/18	MANSFIELD OIL CO	655021	Inventory Purchase	8,616.91	0.00	8,616.91	\$8,616.91
xxx299458	2/1/18	MCMASTER CARR SUPPLY CO	54727404	Hand Tools	207.97	0.00	207.97	\$1,531.34
			55148296	Miscellaneous Equipment Parts & Supplies	454.54	0.00	454.54	
			55148297	Miscellaneous Equipment Parts & Supplies	551.97	0.00	551.97	
			55169776	Hand Tools	72.26	0.00	72.26	
			55169777	Hand Tools	244.60	0.00	244.60	
xxx299459	2/1/18	MISSION VALLEY FORD TRUCK SALES INC	718588	Parts, Vehicles & Motor Equip	33.54	0.00	33.54	\$33.54
xxx299460	2/1/18	NORTHERN CALIFORNIA NURSING ACADEMY LLC	0010	DED Services/Training - Training	5,400.00	0.00	5,400.00	\$18,000.00
			0011	DED Services/Training - Training	5,400.00	0.00	5,400.00	
			0012	DED Services/Training - Training	5,400.00	0.00	5,400.00	
			0013	DED Services/Training - Training	600.00	0.00	600.00	
			0014	DED Services/Training - Training	600.00	0.00	600.00	
			0015	DED Services/Training - Training	600.00	0.00	600.00	
xxx299461	2/1/18	NORTHERN CALIFORNIA RECYCLING ASSN INC	BAYROC 2018-06	Membership Fees	500.00	0.00	500.00	\$500.00
xxx299462	2/1/18	READYREFRESH BY NESTLE	18A5727863010	General Supplies	6.81	0.00	6.81	\$6.81
xxx299463	2/1/18	SCS ENGINEERS	0316369	Engineering Services	2,000.00	0.00	2,000.00	\$2,000.00
xxx299464	2/1/18	SCS ENGINEERS	0316364	Engineering Services	190.00	0.00	190.00	\$190.00
xxx299465	2/1/18	SCS FIELD SERVICES INC	0316368	Services Maintain Land Improv	1,395.00	0.00	1,395.00	\$1,395.00
xxx299466	2/1/18	SSA LANDSCAPE ARCHITECTS INC	5939	Engineering Services	1,232.00	0.00	1,232.00	\$1,232.00
xxx299467	2/1/18	SAFEWAY INC	436755-012218	General Supplies	38.30	0.00	38.30	\$164.89
			802806-012218	General Supplies	15.95	0.00	15.95	
			805093-112517	Food Products	30.02	0.00	30.02	
			809236-120417	Food Products	70.24	0.00	70.24	
			809248-120417	Food Products	10.38	0.00	10.38	
xxx299468	2/1/18	SAN FRANCISCO STATE UNIVERSITY	758060	DED Services/Training - Training	1,500.00	0.00	1,500.00	\$1,550.00
			758061	DED Services/Training - Training	50.00	0.00	50.00	
xxx299469	2/1/18	SANTA CLARA VALLEY HEALTH & HOSPITAL SYS	H6346658400	Medical Services	1,494.00	0.00	1,494.00	\$2,988.00
			H6347214700	Medical Services	1,494.00	0.00	1,494.00	
xxx299470	2/1/18	SANTA CLARA VLY TRANSPORTATION AUTHORITY	0000018449	DED Services/Training - Transportation	320.00	0.00	320.00	\$320.00
xxx299471	2/1/18	SHRUTI BETTAPUR						\$59.62

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
xxx299472	2/1/18	UNIVERSITY OF CALIFORNIA SANTA CRUZ	342135-8296224	DED Services/Training - Books	14.14	0.00	14.14	\$74,169.50
			564458-8542652	DED Services/Training - Books	45.48	0.00	45.48	
			57283	DED Services/Training - Training	654.00	0.00	654.00	
			57317	DED Services/Training - Training	575.00	0.00	575.00	
			577962	DED Services/Training - Training	5,400.00	0.00	5,400.00	
			577965	DED Services/Training - Training	5,400.00	0.00	5,400.00	
			577968	DED Services/Training - Training	4,950.00	0.00	4,950.00	
			577970	DED Services/Training - Training	5,202.00	0.00	5,202.00	
			577975	DED Services/Training - Training	4,653.00	0.00	4,653.00	
			577977	DED Services/Training - Training	4,554.00	0.00	4,554.00	
			577979	DED Services/Training - Training	4,473.00	0.00	4,473.00	
			577981	DED Services/Training - Training	3,411.00	0.00	3,411.00	
			577983	DED Services/Training - Training	4,450.50	0.00	4,450.50	
			577985	DED Services/Training - Training	4,617.00	0.00	4,617.00	
			57945	DED Services/Training - Training	1,665.00	0.00	1,665.00	
			57950	DED Services/Training - Training	4,626.00	0.00	4,626.00	
			57955	DED Services/Training - Training	3,312.00	0.00	3,312.00	
			57958	DED Services/Training - Training	3,762.00	0.00	3,762.00	
			57960	DED Services/Training - Training	2,817.00	0.00	2,817.00	
			58024	DED Services/Training - Training	4,932.00	0.00	4,932.00	
xxx299474	2/1/18	WINSUPPLY OF SILICON VALLEY	58026	DED Services/Training - Training	4,716.00	0.00	4,716.00	\$329.79
			681270 00	Miscellaneous Equipment	305.90	0.00	305.90	
			681429 00	Miscellaneous Equipment	23.89	0.00	23.89	
xxx299475	2/1/18	BUCKLES-SMITH ELECTRIC CO	3071759-01	Miscellaneous Equipment Parts & Supplies	950.63	0.00	950.63	\$1,062.51
			3074061-00	Electrical Parts & Supplies	111.88	0.00	111.88	
xxx299476	2/1/18	KIRBY CANYON RECYCLING & DISPOSAL FAC	DEC2017	Landfill Fees to be Allocated	676,005.35	0.00	676,005.35	\$676,005.35
xxx299477	2/1/18	DOMAIN HOTEL	073637	Business License Tax	180.35	0.00	180.35	\$180.35
xxx299478	2/1/18	EDECO SOUTHWEST SERVICE	073792	Business License Tax	414.50	0.00	414.50	\$414.50
xxx100717	1/31/18	STATE BOARD OF EQUAL DIRECT DEPOSIT	2154571	Use Tax Payable	8,017.97	0.00	8,017.97	\$8,017.97

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Grand Total Payment Amount								\$5,774,353.55

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Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
xxx299480	2/6/18	ACCESS HARDWARE	5678909-IN	Bldg Maint Matls & Supplies	304.62	0.00	304.62	\$304.62
xxx299481	2/6/18	ADAMSON POLICE PRODUCTS	INV256730	Clothing, Uniforms & Access	961.09	0.00	961.09	\$961.09
xxx299482	2/6/18	ALEX HSIAO	111511829	DED Services/Training - Books	139.00	0.00	139.00	\$544.00
			5755739	DED Services/Training - Books	405.00	0.00	405.00	
xxx299483	2/6/18	AMFASOFT CORP	ARELY-02	DED Services/Training - Training	590.00	0.00	590.00	\$1,180.00
			ESTHER-02	DED Services/Training - Training	590.00	0.00	590.00	
xxx299484	2/6/18	APPLEONE EMPLOYMENT SERVICES	01-4683262	Contracts/Service Agreements	8,467.76	0.00	8,467.76	\$8,539.12
			01-4683262	Travel Expenses - Mileage	71.36	0.00	71.36	
xxx299486	2/6/18	APPLIED INDUSTRIAL TECHNOLOGIES	7012306427	Miscellaneous Equipment Parts & Supplies	296.32	0.00	296.32	\$296.32
xxx299487	2/6/18	BMI IMAGING SYSTEMS	307844	Library Technology Services	1,192.00	0.00	1,192.00	\$1,192.00
xxx299488	2/6/18	BABBITT BEARING CO	146933-REV	Miscellaneous Equipment Parts & Supplies	618.03	0.00	618.03	\$618.03
xxx299489	2/6/18	BAKER & TAYLOR	4012118323	Library Acquisitions, Books	233.67	0.00	233.67	\$241.40
			4012118323	Library Materials Preprocessing	7.73	0.00	7.73	
xxx299490	2/6/18	BAY-VALLEY PEST CONTROL INC	0234349	Services Maintain Land Improv	58.00	0.00	58.00	\$334.00
			0234934	Facilities Maintenance & Repair Labor	64.00	0.00	64.00	
			0234950	Facilities Maintenance & Repair Labor	86.00	0.00	86.00	
			0234975	Services Maintain Land Improv	58.00	0.00	58.00	
			0234985	Services Maintain Land Improv	68.00	0.00	68.00	
xxx299491	2/6/18	CAW ARCHITECTS INC	1117.14006	Consultants	12,210.90	0.00	12,210.90	\$12,210.90
xxx299492	2/6/18	CPS HR CONSULTING	SOP45731	Personnel Testing Services	935.00	0.00	935.00	\$1,873.30
			SOP45740	Personnel Testing Services	938.30	0.00	938.30	
xxx299493	2/6/18	CALCON SYSTEMS INC	41224	Contracts/Service Agreements	522.55	0.00	522.55	\$522.55
xxx299494	2/6/18	CALIFORNIA BUILDING STANDARDS COMMISSION	OCT-DEC2018	Permit - Building - State Special Revolving Fund(Green Bldg)	5,562.00	0.00	5,562.00	\$5,562.00
xxx299495	2/6/18	CALIFORNIA DEPT OF GENERAL SERVICES	1413316	Utilities - Gas	33,326.05	0.00	33,326.05	\$33,326.05
xxx299497	2/6/18	CARBONIC SERVICE INC	130877	Equipment Rental/Lease	233.52	0.00	233.52	\$233.52
xxx299498	2/6/18	CAROLLO ENGINEERS	0161525	Professional Services	45,535.09	0.00	45,535.09	\$45,535.09
xxx299499	2/6/18	CENTURY GRAPHICS	48208	Supplies, Safety	1,014.17	0.00	1,014.17	\$1,272.06
			48308	Supplies, Safety	257.89	0.00	257.89	

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xxx299500	2/6/18	CIMEXTEK INC	6208	Professional Services	175.00	0.00	175.00	\$175.00
xxx299501	2/6/18	CORIX WATER PRODUCTS US INC	17713040040	Construction Services	4,162.77	0.00	4,162.77	\$5,287.85
			17713040050	Construction Services	1,125.08	0.00	1,125.08	
xxx299502	2/6/18	D & M TRAFFIC SERVICES INC	56065	Inventory Purchase	333.54	0.00	333.54	\$333.54
xxx299503	2/6/18	DFM ASSOC	2018	Books & Publications	109.00	0.00	109.00	\$109.00
xxx299504	2/6/18	DEL GAVIO GROUP	8428	Furniture	654.25	0.00	654.25	\$1,045.50
			8429	Furniture	391.25	0.00	391.25	
xxx299505	2/6/18	DEPARTMENT OF CONSERVATION	OCT-DEC2018	Permit - Building - State Strong Motion Implementation Fee	35,279.99	0.00	35,279.99	\$35,279.99
xxx299506	2/6/18	DEPARTMENT OF JUSTICE	270344	Contracts/Service Agreements	388.00	0.00	388.00	\$1,028.00
			278552	Pre-Employment Testing	640.00	0.00	640.00	
xxx299507	2/6/18	DIVISION OF THE STATE ARCHITECT	0118-01	Training and Conferences	750.00	0.00	750.00	\$750.00
xxx299509	2/6/18	ELECTRO-MOTION INC	1223-6459	Facilities Maint & Repair - Labor	3,806.40	0.00	3,806.40	\$4,530.16
			1223-6459	Facilities Maint & Repair - Materials	723.76	0.00	723.76	
xxx299510	2/6/18	EMPIRE SAFETY & SUPPLY	0091718-IN	Inventory Purchase	48.15	0.00	48.15	\$48.15
xxx299511	2/6/18	ESLIDE	P016805	Consultants	4,970.00	0.00	4,970.00	\$4,970.00
xxx299512	2/6/18	FEDEX	6-054-31243	Mailing & Delivery Services	9.03	0.00	9.03	\$31.82
			6-061-66240	Mailing & Delivery Services	22.79	0.00	22.79	
xxx299513	2/6/18	FERGUSON ENTERPRISES INC 1423	1335155-1	Inventory Purchase	320.46	2.94	317.52	\$317.52
xxx299514	2/6/18	FRANK A OLSEN CO INC	239231	Miscellaneous Equipment Parts & Supplies	2,218.74	0.00	2,218.74	\$2,218.74
xxx299515	2/6/18	FREMONT UNION HIGH SCHOOL DISTRICT	V103117	DED Services/Training - Training	162.00	0.00	162.00	\$594.00
			V103217	DED Services/Training - Training	144.00	0.00	144.00	
			V103317	DED Services/Training - Training	144.00	0.00	144.00	
			V103417	DED Services/Training - Training	144.00	0.00	144.00	
xxx299516	2/6/18	GE APPLIANCES	180589	Facilities Maintenance & Repair Labor	118.95	0.00	118.95	\$118.95
xxx299517	2/6/18	HACH CO INC	10783632	General Supplies	259.73	0.00	259.73	\$259.73
xxx299519	2/6/18	ID WHOLESALER	1424467	Bldg Maint Matls & Supplies	113.50	0.00	113.50	\$113.50
xxx299521	2/6/18	INDUSTRIAL SAFETY SUPPLY CORP	1055374	Chemicals	267.05	0.00	267.05	\$3,782.98
			1055376	Safety Equipment Maintenance & Repair	1,520.55	0.00	1,520.55	
			1055611	Chemicals	1,995.38	0.00	1,995.38	
xxx299522	2/6/18	JACOBSEN WEST	90139532	Parts, Vehicles & Motor Equip	38.84	0.00	38.84	\$1,874.80

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			90140970	Parts, Vehicles & Motor Equip	162.03	0.00	162.03	
			90140986	Parts, Vehicles & Motor Equip	434.59	0.00	434.59	
			90141185	Parts, Vehicles & Motor Equip	855.37	0.00	855.37	
			90142904	Parts, Vehicles & Motor Equip	383.97	0.00	383.97	
xxx299523	2/6/18	JOBTRAIN	DEC2017	Contracts/Service Agreements	32,265.00	0.00	32,265.00	\$32,265.00
xxx299524	2/6/18	KELLY MOORE PAINT CO INC	820-345867	Miscellaneous Equipment Parts & Supplies	58.86	0.00	58.86	\$58.86
xxx299525	2/6/18	KOHLWEISS AUTO PARTS INC	01PO2475	Inventory Purchase	793.34	15.87	777.47	\$777.47
xxx299526	2/6/18	L N CURTIS & SONS INC	INV148861	Clothing, Uniforms & Access	370.60	0.00	370.60	\$1,133.60
			INV156333	Clothing, Uniforms & Access	381.50	0.00	381.50	
			INV158202	Clothing, Uniforms & Access	381.50	0.00	381.50	
xxx299527	2/6/18	LED TRAIL	20717	Bldg Maint Matls & Supplies	104.93	0.00	104.93	\$104.93
xxx299528	2/6/18	MP EIGHT TREES LLC	HMF DRAW#10	Customer Loans Disbursed	29,815.53	0.00	29,815.53	\$29,815.53
xxx299529	2/6/18	MACIAS GINI AND OCONNELL LLP	248248	Financial Services	7,600.00	0.00	7,600.00	\$7,600.00
xxx299530	2/6/18	MALLORY SAFETY & SUPPLY LLC	4390201	Inventory Purchase	1,979.88	0.00	1,979.88	\$3,234.47
			4390545	Inventory Purchase	1,254.59	0.00	1,254.59	
xxx299531	2/6/18	MIDWEST TAPE	95752926	Library Acquis, Audio/Visual	1,197.72	0.00	1,197.72	\$2,014.62
			95753040	Library Acquis, Audio/Visual	417.44	0.00	417.44	
			95753062	Library Acquis, Audio/Visual	399.46	0.00	399.46	
xxx299532	2/6/18	MOFFATT & NICHOL	731300	Consultants	4,494.50	0.00	4,494.50	\$4,494.50
xxx299533	2/6/18	MOST UNIQUE PARTIES AND PONIES	12092017	Special Events	275.00	0.00	275.00	\$275.00
xxx299534	2/6/18	MOUNTAIN VIEW GARDEN CENTER	92138REV	Materials - Land Improve	-90.20	0.00	-90.20	\$931.14
			92168	Materials - Land Improve	90.20	0.00	90.20	
			92494	Materials - Land Improve	310.38	0.00	310.38	
			92697	Materials - Land Improve	310.38	0.00	310.38	
			92728	Materials - Land Improve	310.38	0.00	310.38	
xxx299535	2/6/18	MUNICIPAL RESOURCE GROUP LLC	03-18-17	Consultants	5,555.62	0.00	5,555.62	\$5,555.62
xxx299536	2/6/18	NAPA AUTO PARTS	349780	Parts, Vehicles & Motor Equip	174.08	0.00	174.08	\$5,270.30
			352087	Parts, Vehicles & Motor Equip	2.18	0.00	2.18	
			5983-362433	Parts, Vehicles & Motor Equip	99.21	0.00	99.21	
			5983-362571	Parts, Vehicles & Motor Equip	39.60	0.00	39.60	
			5983-362578	Parts, Vehicles & Motor Equip	983.07	0.00	983.07	

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			5983-362584	Parts, Vehicles & Motor Equip	30.60	0.00	30.60	
			5983-363050	Parts, Vehicles & Motor Equip	113.11	0.00	113.11	
			5983-363052	Parts, Vehicles & Motor Equip	1,575.58	0.00	1,575.58	
			5983-363068	Parts, Vehicles & Motor Equip	26.00	0.00	26.00	
			5983-363070	Parts, Vehicles & Motor Equip	102.09	0.00	102.09	
			5983-363123	Parts, Vehicles & Motor Equip	8.28	0.00	8.28	
			5983-363189	Parts, Vehicles & Motor Equip	80.90	0.00	80.90	
			5983-363275	Parts, Vehicles & Motor Equip	34.85	0.00	34.85	
			5983-363427	Parts, Vehicles & Motor Equip	54.71	0.00	54.71	
			5983-363533	Parts, Vehicles & Motor Equip	4.25	0.00	4.25	
			5983-363741	Parts, Vehicles & Motor Equip	234.97	0.00	234.97	
			5983-363799	Parts, Vehicles & Motor Equip	61.59	0.00	61.59	
			5983-363805	Parts, Vehicles & Motor Equip	4.17	0.00	4.17	
			5983-363964	Parts, Vehicles & Motor Equip	47.58	0.00	47.58	
			5983-364025	Parts, Vehicles & Motor Equip	52.61	0.00	52.61	
			5983-364144	Parts, Vehicles & Motor Equip	6.80	0.00	6.80	
			5983-365055	Parts, Vehicles & Motor Equip	76.57	0.00	76.57	
			5983-365127	Parts, Vehicles & Motor Equip	15.46	0.00	15.46	
			5983-365413	Parts, Vehicles & Motor Equip	61.28	0.00	61.28	
			5983-365534	Parts, Vehicles & Motor Equip	15.43	0.00	15.43	
			5983-365978	Parts, Vehicles & Motor Equip	85.87	0.00	85.87	
			5983-366011	Parts, Vehicles & Motor Equip	80.53	0.00	80.53	
			5983-366028	Parts, Vehicles & Motor Equip	38.68	0.00	38.68	
			5983-366029	Parts, Vehicles & Motor Equip	33.66	0.00	33.66	
			5983-366049	Parts, Vehicles & Motor Equip	18.15	0.00	18.15	
			5983-366260	Parts, Vehicles & Motor Equip	57.34	0.00	57.34	
			5983-366457	Parts, Vehicles & Motor Equip	666.78	0.00	666.78	
			5983-366660	Parts, Vehicles & Motor Equip	113.11	0.00	113.11	
			5983-366707	Parts, Vehicles & Motor Equip	8.37	0.00	8.37	
			5983-366827	Parts, Vehicles & Motor Equip	28.24	0.00	28.24	
			5983-366863	Parts, Vehicles & Motor Equip	26.16	0.00	26.16	

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			5983-366914	Parts, Vehicles & Motor Equip	4.97	0.00	4.97	
			5983-366921	Parts, Vehicles & Motor Equip	9.61	0.00	9.61	
			5983-367150	Parts, Vehicles & Motor Equip	166.14	0.00	166.14	
			5983-367153	Parts, Vehicles & Motor Equip	27.72	0.00	27.72	
xxx299540	2/6/18	NORTHERN CALIFORNIA RECYCLING ASSN INC	SUNNYVALE-01	Membership Fees	600.00	0.00	600.00	\$900.00
			SUNNYVALE-02	Membership Fees	300.00	0.00	300.00	
xxx299541	2/6/18	OVERDRIVE INC	MR-0023492	Library Periodicals/Databases	477.00	0.00	477.00	\$477.00
xxx299542	2/6/18	OVERHEAD DOOR CO OF SANTA CLARA VALLEY	65121	Facilities Maint & Repair - Labor	125.00	0.00	125.00	\$125.00
xxx299544	2/6/18	PACIFIC JANITORIAL SUPPLY CO	30046289	Inventory Purchase	374.85	0.00	374.85	\$374.85
xxx299545	2/6/18	PACIFIC WEST SECURITY INC	1071828	Alarm Services	79.00	0.00	79.00	\$371.00
			1071942	Facilities Maintenance & Repair Labor	199.00	0.00	199.00	
			1072161	Alarm Services	93.00	0.00	93.00	
xxx299546	2/6/18	PAN ASIAN PUBLICATIONS INC	U-15472	Library Acquisitions, Books	399.51	0.00	399.51	\$399.51
xxx299547	2/6/18	PAPE MATERIAL HANDLING INC	7938508	Parts, Vehicles & Motor Equip	52.76	0.00	52.76	\$52.76
xxx299548	2/6/18	PEARSON BUICK GMC	308790	Parts, Vehicles & Motor Equip	43.96	0.00	43.96	\$1,385.41
			308846	Parts, Vehicles & Motor Equip	18.69	0.00	18.69	
			308898	Parts, Vehicles & Motor Equip	495.68	0.00	495.68	
			309773	Parts, Vehicles & Motor Equip	248.12	0.00	248.12	
			310049	Parts, Vehicles & Motor Equip	443.72	0.00	443.72	
			310300	Parts, Vehicles & Motor Equip	27.20	0.00	27.20	
			311367	Parts, Vehicles & Motor Equip	108.04	0.00	108.04	
xxx299549	2/6/18	R & R REFRIGERATION & AIR CONDITIONING	63677	Facilities Maintenance & Repair Labor	300.00	0.00	300.00	\$676.00
			63678	Facilities Maintenance & Repair Labor	376.00	0.00	376.00	
xxx299550	2/6/18	RAYVERN LIGHTING SUPPLY CO INC	55302-0	Inventory Purchase	572.90	0.00	572.90	\$636.99
			55302-1	Inventory Purchase	64.09	0.00	64.09	
xxx299551	2/6/18	READYREFRESH BY NESTLE	17G5727863010	General Supplies	56.38	0.00	56.38	\$159.74
			17L5727863010	General Supplies	46.69	0.00	46.69	
			18A5740142004	General Supplies	56.67	0.00	56.67	
xxx299552	2/6/18	REDWOOD ENGINEERING CONSTRUCTION	PLYGRNDEQRP #08	Construction Services	139,595.85	0.00	139,595.85	\$139,595.85
xxx299553	2/6/18	REED & GRAHAM INC	909619	Materials - Land Improve	2,390.93	0.00	2,390.93	\$9,545.35

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			909728	Materials - Land Improve	870.36	0.00	870.36	
			909921	Materials - Land Improve	2,552.03	0.00	2,552.03	
			910023	Materials - Land Improve	3,732.03	0.00	3,732.03	
xxx299554	2/6/18	RENNE SLOAN HOLTZMAN SAKAI LLP	37022	Legal Services	2,191.25	0.00	2,191.25	\$2,191.25
xxx299555	2/6/18	ROYAL BRASS INC	848701-001	Parts, Vehicles & Motor Equip	26.29	0.00	26.29	\$152.92
			850081-001	Parts, Vehicles & Motor Equip	126.63	0.00	126.63	
xxx299556	2/6/18	ROYAL COACH TOURS INC	12155	Excursions	1,130.16	0.00	1,130.16	\$1,130.16
xxx299557	2/6/18	SC FUELS	3491956	Inventory Purchase	20,058.99	0.00	20,058.99	\$20,058.99
xxx299558	2/6/18	SAFEWAY INC	434301-011718	Food Products	112.54	0.00	112.54	\$167.70
			726735-011718	Food Products	55.16	0.00	55.16	
xxx299559	2/6/18	SHANE M REYNOLDS	SMS-B3-2R	Rec Instructors/Officials	1,000.00	0.00	1,000.00	\$1,000.00
xxx299560	2/6/18	SIERRA PACIFIC TURF SUPPLY INC	0517634-IN	Materials - Land Improve	1,361.34	0.00	1,361.34	\$2,559.90
			0517635-IN	Materials - Land Improve	931.03	0.00	931.03	
			0518392-IN	Materials - Land Improve	267.53	0.00	267.53	
xxx299561	2/6/18	SIGLER WHOLESALE DISTRIBUTORS	INVSJ18001617	Bldg Maint Matls & Supplies	48.70	0.00	48.70	\$48.70
xxx299562	2/6/18	SMART & FINAL INC	059520-012418	Food Products	105.45	0.00	105.45	\$105.45
xxx299563	2/6/18	SPORTS TURF MANAGEMENT	12374	Professional Services	400.00	0.00	400.00	\$400.00
xxx299564	2/6/18	SRIXON GOLF	5236145 SO	Inventory Purchase	1,049.75	0.00	1,049.75	\$2,960.02
			5250463 NO	Inventory Purchase	-614.75	0.00	-614.75	
			5269830 SO	Inventory Purchase	2,496.73	0.00	2,496.73	
			5270656 SO	Inventory Purchase	28.29	0.00	28.29	
xxx299565	2/6/18	STEVENS CREEK CHRYSLER JEEP DODGE	350225	Parts, Vehicles & Motor Equip	645.15	0.00	645.15	\$667.79
			350399	Parts, Vehicles & Motor Equip	22.64	0.00	22.64	
xxx299566	2/6/18	SUNNYVALE FORD	110855	Parts, Vehicles & Motor Equip	48.35	0.00	48.35	\$10,230.44
			111265	Parts, Vehicles & Motor Equip	241.57	0.00	241.57	
			111533	Parts, Vehicles & Motor Equip	32.99	0.00	32.99	
			111557	Vehicles & Motorized Equip	73.47	0.00	73.47	
			111861	Parts, Vehicles & Motor Equip	222.15	0.00	222.15	
			111862	Parts, Vehicles & Motor Equip	61.64	0.00	61.64	
			111874	Parts, Vehicles & Motor Equip	186.28	0.00	186.28	
			111881	Parts, Vehicles & Motor Equip	407.19	0.00	407.19	

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			111914	Parts, Vehicles & Motor Equip	10.28	0.00	10.28	
			111915	Parts, Vehicles & Motor Equip	45.71	0.00	45.71	
			111937	Parts, Vehicles & Motor Equip	188.65	0.00	188.65	
			111944	Parts, Vehicles & Motor Equip	46.58	0.00	46.58	
			112075	Parts, Vehicles & Motor Equip	52.56	0.00	52.56	
			112097	Parts, Vehicles & Motor Equip	269.83	0.00	269.83	
			112164	Parts, Vehicles & Motor Equip	125.52	0.00	125.52	
			112165	Parts, Vehicles & Motor Equip	10.28	0.00	10.28	
			112230	Vehicles & Motorized Equip	221.34	0.00	221.34	
			112254	Parts, Vehicles & Motor Equip	11.84	0.00	11.84	
			112443	Parts, Vehicles & Motor Equip	130.60	0.00	130.60	
			112454	Parts, Vehicles & Motor Equip	8.04	0.00	8.04	
			112526	Parts, Vehicles & Motor Equip	32.99	0.00	32.99	
			112689	Parts, Vehicles & Motor Equip	110.16	0.00	110.16	
			112702	Parts, Vehicles & Motor Equip	213.55	0.00	213.55	
			112809	Parts, Vehicles & Motor Equip	270.55	0.00	270.55	
			112995	Parts, Vehicles & Motor Equip	55.62	0.00	55.62	
			113011	Parts, Vehicles & Motor Equip	484.55	0.00	484.55	
			113066	Parts, Vehicles & Motor Equip	71.90	0.00	71.90	
			113066-1	Parts, Vehicles & Motor Equip	44.90	0.00	44.90	
			113183	Parts, Vehicles & Motor Equip	32.99	0.00	32.99	
			113299	Parts, Vehicles & Motor Equip	45.41	0.00	45.41	
			113302	Parts, Vehicles & Motor Equip	112.96	0.00	112.96	
			113305	Parts, Vehicles & Motor Equip	124.65	0.00	124.65	
			113395	Parts, Vehicles & Motor Equip	46.97	0.00	46.97	
			113537	Parts, Vehicles & Motor Equip	749.63	0.00	749.63	
			113628	Parts, Vehicles & Motor Equip	148.76	0.00	148.76	
			114201	Parts, Vehicles & Motor Equip	28.54	0.00	28.54	
			114239	Parts, Vehicles & Motor Equip	221.34	0.00	221.34	
			114941	Parts, Vehicles & Motor Equip	4.50	0.00	4.50	
			114960	Parts, Vehicles & Motor Equip	127.77	0.00	127.77	

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			115220	Parts, Vehicles & Motor Equip	50.12	0.00	50.12	
			115227	Parts, Vehicles & Motor Equip	165.16	0.00	165.16	
			115308	Parts, Vehicles & Motor Equip	76.04	0.00	76.04	
			FOCS766342	Auto Maint & Repair - Labor	1,007.50	0.00	1,007.50	
			FOCS766342	Auto Maint & Repair - Materials	2,312.59	0.00	2,312.59	
			FOCS767106	Auto Maint & Repair - Labor	724.95	0.00	724.95	
			FOCS767106	Auto Maint & Repair - Materials	331.57	0.00	331.57	
			FOCS767135	Auto Maint & Repair - Labor	139.95	0.00	139.95	
			FOCS767206	Auto Maint & Repair - Labor	99.95	0.00	99.95	
xxx299571	2/6/18	SUPPLYWORKS	426606067	Inventory Purchase	53.37	0.00	53.37	\$1,387.21
			427108154	Inventory Purchase	821.16	7.53	813.63	
			427393111	Inventory Purchase	525.03	4.82	520.21	
xxx299572	2/6/18	SUZANNE LUFT	116	Rec Instructors/Officials	225.00	0.00	225.00	\$225.00
xxx299573	2/6/18	UCP INC	61385	Software Licensing & Support	1,368.00	0.00	1,368.00	\$1,368.00
xxx299574	2/6/18	UNITED RENTALS	137185550-024	Equipment Rental/Lease	2,857.41	0.00	2,857.41	\$7,403.93
			139838537-020	Equipment Rental/Lease	400.01	0.00	400.01	
			153624116-001	Equipment Rental/Lease	4,146.51	0.00	4,146.51	
xxx299576	2/6/18	V & W CULTURE CO	S01042018FB	Library Acquisitions, Books	314.42	0.00	314.42	\$2,914.70
			S11282017NFB	Library Acquisitions, Books	1,758.25	0.00	1,758.25	
			S121202017FB	Library Acquisitions, Books	842.03	0.00	842.03	
xxx299577	2/6/18	VERMEER PACIFIC	P71546	Parts, Vehicles & Motor Equip	58.21	0.00	58.21	\$843.12
			P73088	Parts, Vehicles & Motor Equip	784.91	0.00	784.91	
xxx299578	2/6/18	WHCI PLUMBING SUPPLY	S2277476.002	Bldg Maint Matls & Supplies	846.29	0.00	846.29	\$937.10
			S2281912.001	Bldg Maint Matls & Supplies	90.81	0.00	90.81	
xxx299579	2/6/18	WOWZY CREATION CORP	89748	General Supplies	46.87	0.00	46.87	\$46.87
xxx299580	2/6/18	WEST VALLEY STAFFING GROUP	221367	Professional Services	789.48	0.00	789.48	\$789.48
xxx299581	2/6/18	WINSUPPLY OF SILICON VALLEY	681882 00	Miscellaneous Equipment Parts & Supplies	262.72	0.00	262.72	\$262.72
xxx299582	2/6/18	YAMAHA MOTOR FINANCE CORP USA	626691	Equipment Rental/Lease	5,973.20	0.00	5,973.20	\$11,946.40
			628525	Equipment Rental/Lease	5,973.20	0.00	5,973.20	
xxx299583	2/6/18	YOGA @ CINDYS INC	103020171	City Wellness Program	1,200.00	0.00	1,200.00	\$1,200.00
xxx299584	2/6/18	WAITER.COM INC	I0201752504	Food Products	73.95	0.00	73.95	\$73.95

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xxx299585	2/6/18	GRAINGER	9631312759	Bldg Maint Matls & Supplies	333.80		0.00	333.80	\$9,103.09
			9631482305	Electrical Parts & Supplies	120.08		0.00	120.08	
			9631482313	Supplies, Safety	247.09		0.00	247.09	
			9631482321	Supplies, Safety	980.65		0.00	980.65	
			9633860706	Miscellaneous Equipment Parts & Supplies	55.80		0.00	55.80	
			9634044318	Parts, Vehicles & Motor Equip	151.92		0.00	151.92	
			9634165337	Bldg Maint Matls & Supplies	78.87		0.00	78.87	
			9635379028	Supplies, Safety	131.87		0.00	131.87	
			9636310741	Hand Tools	23.72		0.00	23.72	
			9636653371	Miscellaneous Equipment Parts & Supplies	23.59		0.00	23.59	
			9637271611	Hand Tools	17.37		0.00	17.37	
			9637271629	Hand Tools	437.62		0.00	437.62	
			9638449166	Parts, Vehicles & Motor Equip	28.55		0.00	28.55	
			9638571308	Hand Tools	24.27		0.00	24.27	
			9638571316	Electrical Parts & Supplies	149.76		0.00	149.76	
			9638700105	Chemicals	498.35		0.00	498.35	
			9639096289	Hand Tools	66.53		0.00	66.53	
			9640464500	Supplies, Safety	258.42		0.00	258.42	
			9641902599	Materials - Land Improve	146.92		0.00	146.92	
			9642979463	Bldg Maint Matls & Supplies	53.58		0.00	53.58	
			9643028443	Hand Tools	265.94		0.00	265.94	
			9643905889	Supplies, Safety	254.63		0.00	254.63	
			9644352693	Supplies, Safety	198.39		0.00	198.39	
			9644620347	Bldg Maint Matls & Supplies	38.58		0.00	38.58	
			9644643752	Bldg Maint Matls & Supplies	538.89		0.00	538.89	
			9644684160	Supplies, Safety	198.39		0.00	198.39	
			9645830481	Materials - Land Improve	334.28		0.00	334.28	
			9647709477	Electrical Parts & Supplies	97.47		0.00	97.47	
			9647731570	Miscellaneous Equipment	180.08		0.00	180.08	
			9647731588	Miscellaneous Equipment	352.08		0.00	352.08	
			9648305135	Parts, Vehicles & Motor Equip	32.27		0.00	32.27	

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			9648601913	Miscellaneous Equipment	1,010.28	0.00	1,010.28	
			9648601921	Clothing, Uniforms & Access	153.69	0.00	153.69	
			9648808211	Clothing, Uniforms & Access	614.76	0.00	614.76	
			9649538478	Clothing, Uniforms & Access	-80.92	0.00	-80.92	
			9650061907	Clothing, Uniforms & Access	80.92	0.00	80.92	
			9651571987	Hand Tools	366.24	0.00	366.24	
			9651722044	Bldg Maint Matls & Supplies	14.54	0.00	14.54	
			9653752684	Bldg Maint Matls & Supplies	147.92	0.00	147.92	
			9654391938	Miscellaneous Equipment Parts & Supplies	384.00	0.00	384.00	
			9654607184	Bldg Maint Matls & Supplies	57.88	0.00	57.88	
			9655421130	Bldg Maint Matls & Supplies	8.52	0.00	8.52	
			9655721950	Parts, Vehicles & Motor Equip	25.50	0.00	25.50	
xxx299589	2/6/18	HARRIS BASKARAN	CLAIM#1718-006	Liability Claims Paid	1,000.00	0.00	1,000.00	\$1,000.00
xxx299590	2/6/18	SHIRLEY FOSTER	GRANT#E17-18-2	Miscellaneous Services	2,500.00	0.00	2,500.00	\$2,500.00
xxx299591	2/6/18	SUNNYVALE CHAMBER OF COMMERCE	MELTON022418	Council Travel Expenses - Seat #5	85.00	0.00	85.00	\$85.00
xxx299593	2/6/18	CP CRESTVIEW LLC	174595-32854	Refund Utility Account Credit	4,432.17	0.00	4,432.17	\$4,432.17
xxx299594	2/6/18	CREATIVE CEILINGS & DRYWALL	073790	Business License Tax	30.05	0.00	30.05	\$30.05
xxx299595	2/6/18	ENCINAL PLACE	056187	Business License Tax	225.58	0.00	225.58	\$225.58
xxx299596	2/6/18	HAI FENG JIANG	709063	Lib - Lost & Damaged Circulation	5.99	0.00	5.99	\$5.99
xxx299597	2/6/18	JK MASONRY	057270	Business License Tax	125.74	0.00	125.74	\$125.74
xxx299598	2/6/18	SADEEP KUMAR GROVER	749896	Lib - Lost & Damaged Circulation	2.97	0.00	2.97	\$2.97
xxx299599	2/8/18	3T EQUIPMENT CO INC	67742	Misc Equip Maint & Repair - Materials	427.44	0.00	427.44	\$2,874.11
			67744	Misc Equip Maint & Repair - Materials	2,446.67	0.00	2,446.67	
xxx299600	2/8/18	AT&T	0602240611	Utilities - Telephone	374.44	0.00	374.44	\$748.99
			0602250704	Utilities - Telephone	374.55	0.00	374.55	
xxx299601	2/8/18	ACADEMY OF TRUCK DRIVING INC	1742	DED Services/Training - Training	600.00	0.00	600.00	\$600.00
xxx299602	2/8/18	ACUSHNET CO	905142177	Inventory Purchase	1,141.31	0.00	1,141.31	\$2,703.36
			905142349	Inventory Purchase	88.06	0.00	88.06	
			905142350	Inventory Purchase	258.11	0.00	258.11	

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			905142468	Inventory Purchase	1,304.08	88.20	1,215.88	
xxx299603	2/8/18	ALICE WALD	CK REQ 18-159	DED Services/Training - Books	200.00	0.00	200.00	\$200.00
xxx299604	2/8/18	ALISSA SHEININ	CK REQ 18-158	DED Services/Training - Books	118.76	0.00	118.76	\$118.76
xxx299605	2/8/18	APEX LIFE SCIENCES LLC	LAB550400049	Salaries - Contract Personnel	16.50	0.00	16.50	\$808.50
			LAB550400050	Salaries - Contract Personnel	792.00	0.00	792.00	
xxx299606	2/8/18	BAY AREA NEWS GROUP DIGITAL FIRST MEDIA	0005859390	Advertising Services	840.00	0.00	840.00	\$1,230.00
			0006072281	Advertising Services	93.00	0.00	93.00	
			0006072289	Advertising Services	93.00	0.00	93.00	
			0006080211	Advertising Services	204.00	0.00	204.00	
xxx299607	2/8/18	BAY AREA WATER SUPPLY & CONSERVATION ACY	6779	Membership Fees	231.75	0.00	231.75	\$231.75
xxx299608	2/8/18	BELKORP AG LLC	415263	Parts, Vehicles & Motor Equip	120.59	0.00	120.59	\$280.23
			415264	Parts, Vehicles & Motor Equip	59.80	0.00	59.80	
			415890	Parts, Vehicles & Motor Equip	99.84	0.00	99.84	
xxx299609	2/8/18	BERTRAND FOX ELLIOT OSMAN & WENZEL	28209	Legal Services	5,294.30	0.00	5,294.30	\$9,837.19
			28211	Legal Services	4,542.89	0.00	4,542.89	
xxx299610	2/8/18	BOOTSTRAP SOLUTIONS	JAN2018	Contracts/Service Agreements	17,250.00	0.00	17,250.00	\$17,250.00
xxx299611	2/8/18	CSAC EXCESS INSURANCE AUTHORITY	18401280	Insurances - Employee Assistance Program	13,757.76	0.00	13,757.76	\$13,757.76
xxx299612	2/8/18	CSAC EXCESS INSURANCE AUTHORITY	4079	Insurances - Life/AD&D Insurance	16,672.88	0.00	16,672.88	\$41,374.92
			4079	Insurances - Long Term Disability	24,702.04	0.00	24,702.04	
xxx299613	2/8/18	CSG CONSULTANTS INC	16208	Consultants	165.00	0.00	165.00	\$165.00
xxx299614	2/8/18	CWEA-SCVS	FEB/13/2018	Training and Conferences	390.00	0.00	390.00	\$390.00
xxx299615	2/8/18	CALIFA GROUP	10198	Library Periodicals/Databases	5,400.00	0.00	5,400.00	\$5,400.00
xxx299616	2/8/18	CALIFORNIA SPORTS CENTER	MICELI-1/15/18	Refund Recreation Fees	75.00	0.00	75.00	\$75.00
xxx299617	2/8/18	CALTRONICS BUSINESS SYSTEMS	2433535	Equipment Rental/Lease	12,817.64	0.00	12,817.64	\$12,817.64
xxx299618	2/8/18	CHARLES SRETHABHAKTI	CK REQ 18-157	DED Services/Training - Books	103.18	0.00	103.18	\$103.18
xxx299619	2/8/18	COMMAND STRATEGIES CONSULTING	88	Professional Services	900.00	0.00	900.00	\$900.00
xxx299620	2/8/18	CORE POWER SERVICES INC	13117	Facilities Maintenance & Repair Labor	3,337.00	0.00	3,337.00	\$3,337.00
xxx299621	2/8/18	CRAIG SHEROD PHOTOGRAPHY	171128	Professional Services	737.65	0.00	737.65	\$737.65
xxx299622	2/8/18	DEBORAH RIFFIN	CK REQ 18-156	DED Services/Training - Books	80.05	0.00	80.05	\$80.05
xxx299623	2/8/18	DELTA DENTAL INSURANCE CO	BE002627003	Insurances - Dental	1,421.11	0.00	1,421.11	\$1,421.11
xxx299624	2/8/18	DEPT OF FORESTRY & FIRE PROTECTION						\$488.00

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			146773	Training and Conferences	488.00	0.00	488.00	
xxx299625	2/8/18	ETHOSOFT INC	1510	Contracts/Service Agreements	9,680.00	0.00	9,680.00	\$9,680.00
xxx299626	2/8/18	FEDEX	5-945-92757	Mailing & Delivery Services	7.37	0.00	7.37	\$97.69
			5-989-17182	Mailing & Delivery Services	6.58	0.00	6.58	
			6-019-25866	Mailing & Delivery Services	9.82	0.00	9.82	
			6-047-59344	Mailing & Delivery Services	6.83	0.00	6.83	
			6-054-70457	Postage	17.99	0.00	17.99	
			6-061-43649	Mailing & Delivery Services	35.44	0.00	35.44	
			6-068-30389	Mailing & Delivery Services	13.66	0.00	13.66	
xxx299627	2/8/18	FERGUSON ENTERPRISES INC 1423	1343139	Construction Services	5,421.60	0.00	5,421.60	\$5,421.60
xxx299628	2/8/18	FREMONT UNION HIGH SCHOOL DISTRICT	V012018	DED Services/Training - Training	9.00	0.00	9.00	\$142.00
			V082917	DED Services/Training - Training	26.00	0.00	26.00	
			V083017	DED Services/Training - Training	26.00	0.00	26.00	
			V103017R	DED Services/Training - Training	81.00	0.00	81.00	
xxx299629	2/8/18	GRM INFORMATION MANAGEMENT SERVICES	0090212	Records Related Services	1,456.11	0.00	1,456.11	\$1,456.11
xxx299630	2/8/18	GALE/CENGAGE LEARNING	62864043	Library Acquisitions, Books	228.40	0.00	228.40	\$252.81
			62864046	Library Acquisitions, Books	24.41	0.00	24.41	
xxx299631	2/8/18	GOLDEN GATE TRUCK CENTER	R005079693:01	Auto Maint & Repair - Labor	5,592.40	0.00	5,592.40	\$14,585.43
			R005079693:01	Auto Maint & Repair - Materials	8,993.03	0.00	8,993.03	
xxx299632	2/8/18	GOODYEAR COMMERCIAL TIRE & SERVICE CTR	189-1097048	Inventory Purchase	411.82	0.00	411.82	\$6,582.69
			189-1097254	Inventory Purchase	2,646.52	0.00	2,646.52	
			189-1097341	Inventory Purchase	3,524.35	0.00	3,524.35	
xxx299633	2/8/18	GRANITEROCK CO	1084347	Materials - Land Improve	2,335.10	0.00	2,335.10	\$2,335.10
xxx299634	2/8/18	GURPREET KAUR	CK REQ 18-155	DED Services/Training - Books	56.45	0.00	56.45	\$56.45
xxx299635	2/8/18	HI-TECH OPTICAL INC	731654	Benefits and Incentives - Prescription Safety Glasses	120.00	0.00	120.00	\$1,500.00
			731659A	Benefits and Incentives - Prescription Safety Glasses	120.00	0.00	120.00	
			731663	Benefits and Incentives - Prescription Safety Glasses	120.00	0.00	120.00	

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			731664	Benefits and Incentives - Prescription Safety Glasses	120.00	0.00	120.00	
			734716	Benefits and Incentives - Prescription Safety Glasses	170.00	0.00	170.00	
			734717	Benefits and Incentives - Prescription Safety Glasses	170.00	0.00	170.00	
			734718	Benefits and Incentives - Prescription Safety Glasses	170.00	0.00	170.00	
			734719	Benefits and Incentives - Prescription Safety Glasses	120.00	0.00	120.00	
			734721	Benefits and Incentives - Prescription Safety Glasses	170.00	0.00	170.00	
			735338	Benefits and Incentives - Prescription Safety Glasses	120.00	0.00	120.00	
			736025	Benefits and Incentives - Prescription Safety Glasses	100.00	0.00	100.00	
xxx299636	2/8/18	HUMANE SOCIETY SILICON VALLEY	125387	Contracts/Service Agreements	40,000.00	0.00	40,000.00	\$119,134.51
			125392	Contracts/Service Agreements	32,175.57	0.00	32,175.57	
			125395	Contracts/Service Agreements	18,551.68	0.00	18,551.68	
			125396	Contracts/Service Agreements	12,754.28	0.00	12,754.28	
			125397	Contracts/Service Agreements	15,652.98	0.00	15,652.98	
xxx299637	2/8/18	INGRAM LIBRARY SERVICES INC	32588012	Library Acquisitions, Books	-25.92	0.00	-25.92	\$34,770.38
			32963849	Library Acquisitions, Books	23.06	0.00	23.06	
			32963849	Library Materials Preprocessing	1.47	0.00	1.47	
			32963850	Library Acquisitions, Books	244.98	0.00	244.98	
			32963850	Library Materials Preprocessing	16.86	0.00	16.86	
			32963854	Library Acquisitions, Books	53.83	0.00	53.83	
			32963854	Library Materials Preprocessing	50.23	0.00	50.23	
			32963855	Library Acquisitions, Books	217.69	0.00	217.69	
			32963855	Library Materials Preprocessing	95.40	0.00	95.40	
			32963856	Library Acquisitions, Books	17.98	0.00	17.98	
			32963857	Library Acquisitions, Books	1,431.13	0.00	1,431.13	
			32963857	Library Materials Preprocessing	93.94	0.00	93.94	

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			32963858	Library Acquisitions, Books	5,562.69	0.00	5,562.69	
			32963858	Library Materials Preprocessing	900.32	0.00	900.32	
			32963859	Library Acquisitions, Books	1,103.95	0.00	1,103.95	
			32963859	Library Materials Preprocessing	1,064.69	0.00	1,064.69	
			32963860	Library Acquisitions, Books	2,238.87	0.00	2,238.87	
			32963860	Library Materials Preprocessing	888.70	0.00	888.70	
			32963861	Library Acquisitions, Books	1,459.72	0.00	1,459.72	
			32963862	Library Acquisitions, Books	8,392.95	0.00	8,392.95	
			32963862	Library Materials Preprocessing	482.92	0.00	482.92	
			32963863	Library Acquisitions, Books	1,603.65	0.00	1,603.65	
			32963863	Library Materials Preprocessing	102.01	0.00	102.01	
			32963864	Library Acquisitions, Books	6,305.12	0.00	6,305.12	
			32963864	Library Materials Preprocessing	1,691.32	0.00	1,691.32	
			32963865	Library Acquisitions, Books	638.70	0.00	638.70	
			32963865	Library Materials Preprocessing	114.12	0.00	114.12	
xxx299640	2/8/18	INTERSTATE SALES	17199	Miscellaneous Equipment Parts & Supplies	209.28	0.00	209.28	\$209.28
xxx299641	2/8/18	JEFFERSON UNION HIGH SCHOOL DISTRICT	18-12	DED Services/Training - Support Services	15.00	0.00	15.00	\$15.00
xxx299642	2/8/18	KENNEDY JENKS CONSULTANTS	119068	HazMat Disposal - Hazardous Waste Disposal	812.50	0.00	812.50	\$812.50
xxx299643	2/8/18	KENT BEALL	242619-5549855	DED Services/Training - Books	46.87	0.00	46.87	\$79.61
			992925-1369807	DED Services/Training - Books	32.74	0.00	32.74	
xxx299644	2/8/18	L3 COMMUNICATIONS MOBILE VISION INC	0312172-IN	Comm Equip Maintain & Repair - Materials 2	155.52	0.00	155.52	\$1,086.04
			0312572-IN	Communication Equipment	30.52	0.00	30.52	
			0312572-IN	Comm Equip Maintain & Repair - Labor 1	125.00	0.00	125.00	
			0312665-IN	Communication Equipment	775.00	0.00	775.00	
xxx299645	2/8/18	LANGUAGE SELECT LLC	55483	Miscellaneous Services	809.83	0.00	809.83	\$809.83
xxx299646	2/8/18	LEVEL 3 COMMUNICATIONS LLC	66249545	Telecommunication Services	4,672.64	0.00	4,672.64	\$4,672.64
xxx299647	2/8/18	LIEBERT CASSIDY WHITMORE	1453166	Legal Services	4,490.00	0.00	4,490.00	\$4,490.00
xxx299648	2/8/18	LOMBARDO DIAMOND CORE DRILLING CO INC	13469	Facilities Maintenance & Repair Labor	611.00	0.00	611.00	\$611.00
xxx299649	2/8/18	MCMASTER CARR SUPPLY CO						\$239.87

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			55532562	Miscellaneous Equipment Parts & Supplies	224.87	0.00	224.87	
			65632440	Miscellaneous Equipment Parts & Supplies	15.00	0.00	15.00	
xxx299650	2/8/18	METROPOLITAN PLANNING GROUP	180027	Professional Services	3,878.75	0.00	3,878.75	\$3,878.75
xxx299651	2/8/18	MIDWEST TAPE	95661559	Library Acquis, Audio/Visual	16.34	0.00	16.34	\$2,716.17
			95786776	Library Periodicals/Databases	2,699.83	0.00	2,699.83	
xxx299652	2/8/18	MORPHOTRUST USA	113070A	Pre-Employment Testing	1,542.12	0.00	1,542.12	\$1,542.12
xxx299653	2/8/18	MUNICIPAL MAINTENANCE EQUIPMENT INC	0125106-IN	Misc Equip Maint & Repair - Materials	567.45	0.00	567.45	\$567.45
xxx299654	2/8/18	NETFILE	5378	Software As a Service	4,162.50	0.00	4,162.50	\$4,162.50
xxx299655	2/8/18	NORTH STATE ENVIRONMENTAL	049661	HazMat Disposal - Hazardous Waste Disposal	3,448.46	0.00	3,448.46	\$3,620.68
			049664	HazMat Disposal - Hazardous Waste Disposal	172.22	0.00	172.22	
xxx299656	2/8/18	OSC COMPUTER TRAINING	5101	DED Services/Training - Training	599.98	0.00	599.98	\$599.98
xxx299657	2/8/18	OPENACCESS LLC	001105818JAN18	Contracts/Service Agreements	6,600.00	0.00	6,600.00	\$64,350.00
			002105117JAN18	Contracts/Service Agreements	34,500.00	0.00	34,500.00	
			002105118JAN18	Contracts/Service Agreements	23,250.00	0.00	23,250.00	
xxx299658	2/8/18	OPENGOV INC	INV-001205	Software As a Service	4,841.10	0.00	4,841.10	\$4,841.10
xxx299659	2/8/18	PAYFLEX SYSTEMS USA INC	000406305	Miscellaneous Payment	1,028.50	0.00	1,028.50	\$1,028.50
xxx299660	2/8/18	PAYFLEX SYSTEMS USA INC	130534-1100684	Professional Services	400.00	0.00	400.00	\$440.00
			130536-1100686	Professional Services	40.00	0.00	40.00	
xxx299661	2/8/18	PINE CONE LUMBER CO INC	741929	Materials - Land Improve	516.86	0.00	516.86	\$516.86
xxx299662	2/8/18	POLYDYNE INC	1204007	Chemicals	30,659.20	0.00	30,659.20	\$30,659.20
xxx299663	2/8/18	RACY MING ASSOC LLC	DEC17-JAN18	Contracts/Service Agreements	6,348.59	0.00	6,348.59	\$6,348.59
xxx299664	2/8/18	REED & GRAHAM INC	909921	Materials - Land Improve	-20.00	0.00	-20.00	\$15,905.36
			910022	Materials - Land Improve	11,874.59	0.00	11,874.59	
			910143	Materials - Land Improve	4,050.77	0.00	4,050.77	
xxx299665	2/8/18	RENNE SLOAN HOLTZMAN SAKAI LLP	37023	Investigation Expense	4,214.34	0.00	4,214.34	\$4,214.34
xxx299666	2/8/18	SAFEWAY INC	431853-013118	Food Products	5.00	0.00	5.00	\$5.00
xxx299667	2/8/18	SAN FRANCISCO STATE UNIVERSITY	758143	DED Services/Training - Training	475.00	0.00	475.00	\$475.00
xxx299668	2/8/18	SAN MATEO COUNTY COMMUNITY COLLEGE	600067	Contracts/Service Agreements	9,750.00	0.00	9,750.00	\$13,701.90
			600070	Contracts/Service Agreements	3,951.90	0.00	3,951.90	

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xxx299669	2/8/18	SMITHGROUPJJR	0128371	Professional Services	22,340.53	0.00	22,340.53	\$22,340.53
xxx299670	2/8/18	SONJA ETIENNE	186235-7965803	DED Services/Training - Books	87.31	0.00	87.31	\$292.86
			198305-0737050	DED Services/Training - Books	92.86	0.00	92.86	
			355950-K7S6L9	DED Services/Training - Books	89.36	0.00	89.36	
			864560-1163414	DED Services/Training - Books	23.33	0.00	23.33	
xxx299671	2/8/18	SOUTH BAY REGIONAL PUBLIC SAFETY	218172	Training and Conferences	793.00	0.00	793.00	\$793.00
xxx299672	2/8/18	STEPHEN HEALLY	100591251037	DED Services/Training - Books	191.00	0.00	191.00	\$191.00
xxx299673	2/8/18	STUDIO EM GRAPHIC DESIGN	16951	Advertising Services	109.00	0.00	109.00	\$109.00
xxx299674	2/8/18	SUBURBAN PROPANE	18079	Fuel, Oil & Lubricants	1,516.11	0.00	1,516.11	\$1,516.11
xxx299676	2/8/18	SUNNYVALE PUBLIC SAFETY OFFICERS ASSN	DENTAL0218	Insurances - Dental	28,250.55	0.00	28,250.55	\$28,250.55
xxx299677	2/8/18	SUNNYVALE PUBLIC SAFETY OFFICERS ASSN	DISABILITY0218	Insurances - Long Term Disability	3,762.00	0.00	3,762.00	\$3,762.00
xxx299678	2/8/18	SUPERIOR HYDROSEEDING INC.	4911	Services Maintain Land Improv	2,261.00	0.00	2,261.00	\$2,261.00
xxx299679	2/8/18	TJKM	0046848	Engineering Services	1,225.00	0.00	1,225.00	\$1,225.00
xxx299680	2/8/18	THE STUART RENTAL CO	166633	Special Events	1,574.22	0.00	1,574.22	\$1,574.22
xxx299681	2/8/18	TRANSOFT SOLUTIONS INC	130598	Computer Software	2,180.00	0.00	2,180.00	\$2,180.00
xxx299682	2/8/18	US PIPE FABRICATION	INV075292	Miscellaneous Equipment Parts & Supplies	10,075.31	0.00	10,075.31	\$10,075.31
xxx299683	2/8/18	UNITED RENTALS	141691843-018	Equipment Rental/Lease	1,567.92	0.00	1,567.92	\$7,536.27
			153795414-001	Equipment Rental/Lease	5,968.35	0.00	5,968.35	
xxx299684	2/8/18	UNITED SITE SERVICES INC	114-6116751	Equipment Rental/Lease	137.74	0.00	137.74	\$275.48
			114-6223594	Equipment Rental/Lease	137.74	0.00	137.74	
xxx299685	2/8/18	UNIVAR USA INC	SJ860779	Chemicals	2,355.86	0.00	2,355.86	\$10,071.05
			SJ860856	Chemicals	4,405.83	0.00	4,405.83	
			SJ861451	Chemicals	3,309.36	0.00	3,309.36	
xxx299686	2/8/18	UNIVERSITY OF CALIFORNIA SANTA CRUZ	57054	DED Services/Training - Training	669.00	0.00	669.00	\$22,486.00
			57364	DED Services/Training - Training	600.00	0.00	600.00	
			57403	DED Services/Training - Training	492.00	0.00	492.00	
			57436	DED Services/Training - Training	606.50	0.00	606.50	
			57475	DED Services/Training - Training	622.00	0.00	622.00	
			57499	DED Services/Training - Training	743.00	0.00	743.00	
			57501	DED Services/Training - Training	811.00	0.00	811.00	

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			57507	DED Services/Training - Training	551.50	0.00	551.50	
			57509	DED Services/Training - Training	870.00	0.00	870.00	
			57533	DED Services/Training - Training	523.00	0.00	523.00	
			57537	DED Services/Training - Training	598.00	0.00	598.00	
			57594	DED Services/Training - Training	444.00	0.00	444.00	
			57651	DED Services/Training - Training	1,328.00	0.00	1,328.00	
			57670	DED Services/Training - Training	723.00	0.00	723.00	
			57698	DED Services/Training - Training	521.00	0.00	521.00	
			58037	DED Services/Training - Training	4,536.00	0.00	4,536.00	
			58040	DED Services/Training - Training	3,240.00	0.00	3,240.00	
			58043	DED Services/Training - Training	4,608.00	0.00	4,608.00	
xxx299688	2/8/18	VWR INTERNATIONAL LLC	8081081630	General Supplies	1,090.71	0.00	1,090.71	\$1,642.26
			8081109046	General Supplies	37.83	0.00	37.83	
			8081196822	General Supplies	130.40	0.00	130.40	
			8081206243	General Supplies	46.56	0.00	46.56	
			8081221660	General Supplies	66.49	0.00	66.49	
			8081230006	General Supplies	239.84	0.00	239.84	
			8081244174	General Supplies	30.43	0.00	30.43	
xxx299689	2/8/18	VERIZON WIRELESS	9800210057	Communication Equipment	2,261.79	0.00	2,261.79	\$15,780.42
			9800210057	Utilities - Mobile Phones - City Mobile Phones	13,518.63	0.00	13,518.63	
xxx299693	2/8/18	VISION CORPS MEDIA GROUP, LLC	JAN2018	Contracts/Service Agreements	21,150.00	0.00	21,150.00	\$21,150.00
xxx299694	2/8/18	WINSUPPLY OF SILICON VALLEY	676977 04	Miscellaneous Equipment Parts & Supplies	1,220.80	0.00	1,220.80	\$3,277.69
			681583 00	Miscellaneous Equipment Parts & Supplies	393.00	0.00	393.00	
			681810 00	Miscellaneous Equipment Parts & Supplies	97.05	0.00	97.05	
			684249 00	Miscellaneous Equipment Parts & Supplies	1,566.84	0.00	1,566.84	
xxx299695	2/8/18	YI-REN FANG	026615-8050642	DED Services/Training - Books	87.99	0.00	87.99	\$219.72
			1327002	DED Services/Training - Books	131.73	0.00	131.73	
xxx299696	2/8/18	OSCAR TERJOS-SLAZAR	17-2019	Return of Seized, Forfeiture or Found Funds	40.29	0.00	40.29	\$40.29
xxx299697	2/8/18	OFFICE DEPOT INC	100533567001	Supplies, Office 1	160.01	0.00	160.01	\$10,108.09
			100536087001	Supplies, Office 1	90.18	0.00	90.18	

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			100555495001	Supplies, Office 1	118.43	0.00	118.43	
			100606912001	Supplies, Office 1	54.49	0.00	54.49	
			100607805001	Supplies, Office 1	34.87	0.00	34.87	
			100625373001	Supplies, Office 1	29.26	0.00	29.26	
			100625712001	Supplies, Office 1	17.29	0.00	17.29	
			100775227001	Supplies, Office 1	68.66	0.00	68.66	
			100777720001	Supplies, Office 1	30.51	0.00	30.51	
			100778748001	Supplies, Office 1	7.50	0.00	7.50	
			100930289001	Supplies, Office 1	132.87	0.00	132.87	
			100950311001	Supplies, Office 1	199.90	0.00	199.90	
			100991502001	Supplies, Office 1	13.71	0.00	13.71	
			101002046001	Supplies, Office 1	98.03	0.00	98.03	
			101012007001	Supplies, Office 1	11.77	0.00	11.77	
			101013287001	Supplies, Office 1	26.56	0.00	26.56	
			101013288002	Supplies, Office 1	9.32	0.00	9.32	
			101013289001	Supplies, Office 1	4.58	0.00	4.58	
			101153020001	Supplies, Office 1	5.84	0.00	5.84	
			101288226001	Supplies, Office 1	66.57	0.00	66.57	
			101289937001	Supplies, Office 1	8.96	0.00	8.96	
			101317629001	Supplies, Office 1	236.25	0.00	236.25	
			101377657001	Supplies, Office 1	57.66	0.00	57.66	
			101517369001	Supplies, Office 1	43.58	0.00	43.58	
			101530524001	Supplies, Office 1	16.55	0.00	16.55	
			101578263001	Supplies, Office 1	171.66	0.00	171.66	
			101711242001	Supplies, Office 1	639.59	0.00	639.59	
			101819004001	Supplies, Office 1	41.82	0.00	41.82	
			101823278001	Supplies, Office 1	85.34	0.00	85.34	
			101832992001	Supplies, Office 1	43.55	0.00	43.55	
			101853575001	Supplies, Office 1	170.02	0.00	170.02	
			101949911001	Supplies, Office 1	419.93	0.00	419.93	
			101950889001	Supplies, Office 1	11.75	0.00	11.75	

List of All Claims and Bills Approved for Payment
For Payments Dated 2/4/2018 through 2/10/2018

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			102028662001	Supplies, Office 1	50.13	0.00	50.13	
			102260163001	Supplies, Office 1	36.34	0.00	36.34	
			102260719001	Supplies, Office 1	22.01	0.00	22.01	
			102302945001	Supplies, Office 1	9.35	0.00	9.35	
			102651688001	Supplies, Office 1	108.96	0.00	108.96	
			102704603001	Supplies, Office 1	228.58	0.00	228.58	
			102705305001	Supplies, Office 1	11.32	0.00	11.32	
			102904664001	Supplies, Office 1	21.79	0.00	21.79	
			102906071001	Supplies, Office 1	63.48	0.00	63.48	
			102906072001	Supplies, Office 1	131.74	0.00	131.74	
			103062689001	Supplies, Office 1	141.69	0.00	141.69	
			103065080001	Supplies, Office 1	72.08	0.00	72.08	
			103097517001	Supplies, Office 1	262.47	0.00	262.47	
			103105209001	Supplies, Office 1	77.97	0.00	77.97	
			103112968001	Supplies, Office 1	83.46	0.00	83.46	
			103125507001	Supplies, Office 1	106.06	0.00	106.06	
			103201855001	Supplies, Office 1	405.50	0.00	405.50	
			103202809001	Supplies, Office 1	15.73	0.00	15.73	
			103206995001	Supplies, Office 1	162.81	0.00	162.81	
			984740854001	Supplies, Office 1	405.45	0.00	405.45	
			996503989001	Supplies, Office 1	65.36	0.00	65.36	
			997196622001	Supplies, Office 1	14.99	0.00	14.99	
			997277123001	Supplies, Office 1	12.54	0.00	12.54	
			997373959001	Supplies, Office 1	4.57	0.00	4.57	
			997462182001	Supplies, Office 1	59.52	0.00	59.52	
			997540652001	Supplies, Office 1	153.26	0.00	153.26	
			997563397001	Supplies, Office 1	67.49	0.00	67.49	
			998189165001	Supplies, Office 1	13.37	0.00	13.37	
			998194923001	Supplies, Office 1	79.30	0.00	79.30	
			998212003001	Supplies, Office 1	82.62	0.00	82.62	
			998527245001	Supplies, Office 1	75.01	0.00	75.01	

List of All Claims and Bills Approved for Payment
For Payments Dated 2/4/2018 through 2/10/2018

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			998553948001	Supplies, Office 1	431.67	0.00	431.67	
			998554035001	Supplies, Office 1	110.79	0.00	110.79	
			998554036001	Supplies, Office 1	9.55	0.00	9.55	
			998557534001	Supplies, Office 1	57.40	0.00	57.40	
			998561006001	Supplies, Office 1	221.75	0.00	221.75	
			998565138001	Supplies, Office 1	502.84	0.00	502.84	
			998599481001	Supplies, Office 1	39.23	0.00	39.23	
			998599812001	Supplies, Office 1	37.02	0.00	37.02	
			998605331001	Supplies, Office 1	49.04	0.00	49.04	
			998644332001	Supplies, Office 1	99.68	0.00	99.68	
			998649406001	Supplies, Office 1	27.09	0.00	27.09	
			998649699001	Supplies, Office 1	5.22	0.00	5.22	
			998704696001	Supplies, Office 1	27.88	0.00	27.88	
			998750345001	Supplies, Office 1	116.83	0.00	116.83	
			998760863001	Supplies, Office 1	489.52	0.00	489.52	
			998762500001	Supplies, Office 1	12.10	0.00	12.10	
			998783180001	Supplies, Office 1	98.07	0.00	98.07	
			998794399001	Supplies, Office 1	211.20	0.00	211.20	
			998982875001	Supplies, Office 1	163.65	0.00	163.65	
			999138730001	Supplies, Office 1	21.46	0.00	21.46	
			999139372001	Supplies, Office 1	96.97	0.00	96.97	
			999139372002	Supplies, Office 1	226.46	0.00	226.46	
			999165692001	Supplies, Office 1	380.86	0.00	380.86	
			999175108001	Supplies, Office 1	95.26	0.00	95.26	
			999316191001	Supplies, Office 1	75.10	0.00	75.10	
			999359128001	Supplies, Office 1	11.99	0.00	11.99	
			999359179001	Supplies, Office 1	31.66	0.00	31.66	
			999360154001	Supplies, Office 1	48.04	0.00	48.04	
			999364320001	Supplies, Office 1	237.80	0.00	237.80	
xxx299705	2/8/18	PACIFIC GAS & ELECTRIC CO	03955461530118	Utilities - Electric	1,362.88	0.00	1,362.88	\$3,694.46
			03958470700118	Utilities - Electric	2,235.39	0.00	2,235.39	

List of All Claims and Bills Approved for Payment
For Payments Dated 2/4/2018 through 2/10/2018

Sorted by Payment Number

Payment No.	Payment Date	Vendor Name	Invoice No.	Description	Invoice Amount	Discount Taken	Amount Paid	Payment Total
			53350770050118	Fuel, Oil & Lubricants	10.57	0.00	10.57	
			89805160050118	Utilities - Electric	10.17	0.00	10.17	
			89846354520118	Utilities - Electric	0.83	0.00	0.83	
			91271084620118	Utilities - Electric	20.50	0.00	20.50	
			91290311060118	Utilities - Electric	54.12	0.00	54.12	
xxx299706	2/8/18	RANDY WONG	15-7741	Return of Seized, Forfeiture or Found Funds	419.00	0.00	419.00	\$419.00
xxx299707	2/8/18	ANDERSON PACIFIC	185561-21990	Refund Utility Account Credit	6,271.45	0.00	6,271.45	\$6,271.45
xxx299708	2/8/18	BAY CITIES PAVING & GRADING	189603-43748	Refund Utility Account Credit	3,844.44	0.00	3,844.44	\$3,844.44
xxx299709	2/8/18	ENERGY SALES INC	159717-1850	Refund Utility Account Credit	143.51	0.00	143.51	\$143.51
xxx299710	2/8/18	GRANITEROCK INC	18913-21992	Refund Utility Account Credit	2,747.54	0.00	2,747.54	\$2,747.54
xxx299711	2/8/18	HERITAGE ONE CARPENTRY INC	061631	Business License Tax	123.04	0.00	123.04	\$123.04
xxx299712	2/8/18	MIKE MA	BL051206-2017	Business License Tax	76.41	0.00	76.41	\$76.41
xxx299713	2/8/18	REDGWICK CONSTRUCTION CO	190841-48946	Refund Utility Account Credit	3,981.07	0.00	3,981.07	\$3,981.07
xxx299714	2/8/18	SCHAWK INC	189917-49656	Refund Utility Account Credit	1,145.66	0.00	1,145.66	\$1,145.66
xxx299715	2/8/18	SCOTT C ANDERSON	062198	Business License Tax	75.41	0.00	75.41	\$75.41
xxx299716	2/8/18	SPIRIT HALLOWEEN	176727-70248	Refund Utility Account Credit	1,430.05	0.00	1,430.05	\$1,430.05
xxx000533	2/7/18	CALIFORNIA PUBLIC EMP RETIREMENT SYSTEM		Insurances - Medical	1,161,092.03	0.00	1,161,092.03	\$1,597,984.61
				Insurances - Retiree Medical - PERS	436,892.58	0.00	436,892.58	
xxx906325	2/7/18	ACCLAMATION INSURANCE MANAGEMENT		Workers' Compensation - Claims	111,020.03	0.00	111,020.03	\$111,020.03

Grand Total Payment Amount

\$2,901,086.94



City of Sunnyvale

Agenda Item

18-0125

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Authorize the Issuance of Three Purchase Orders for Networking Equipment for Colocation Facility and Additional IT Security Tools (F18-203, F18-204, F18-205)

REPORT IN BRIEF

Approval is requested to authorize the issuance of three purchase orders to: 1) Integrated Archive Systems, Inc. (IAS) of Palo Alto in the amount of \$757,789.84 for Cisco networking equipment (connectivity/communications), 2) Palo Alto Networks in the amount of \$513,590.30 for networking equipment (firewalls/IT security subscription services), and 3) NetApp Networks in the amount of \$339,630.73 for networking equipment (enterprise storage), three years of maintenance and support, and implementation of required IT security subscription services. Approval is also requested to delegate authority to the City Manager to renew the maintenance and support up to two additional years, subject to available funding and acceptable pricing and services.

EXISTING POLICY

Pursuant to 2.08 of the Sunnyvale Municipal Code, City Council approval is required for contracts exceeding \$100,000.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" within the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15378(a) as it has no potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.

BACKGROUND AND DISCUSSION

On September 26, 2017, Council approved a contract with Zayo Group LLC (RTC No. 17-0880) to provide a colocation facility (Co-Lo) for city data centers (F17-104). As such, the City will be moving server and data storage equipment from two current data centers into the Co-Lo. In support of this, the City needed to upgrade the current network and storage infrastructure while at the same time increasing the IT security functions. The new network equipment will provide connectivity to the Co-Lo and redundancy between the City and the Co-Lo in addition to the disaster recovery site in Denver, Colorado. The new enterprise storage equipment will support the data and systems moving into the Co-Lo. The Next-Gen (next generation) firewalls and new IT security subscription services will provide new IT security functions such as: Intrusion Detection System (IDS) and Intrusion Prevention System (IPS), web filtering, malware analysis, advanced endpoint protection, mobile security and a more secure Virtual Private Network (VPN) solution.

Bid specifications were prepared by the Information Technology Department (ITD). Purchasing staff issued three Invitation for Bids (IFB) No. F18-203 (Cisco), F18-204 (Palo Alto Networks), F18-205

(NetApp), which were directly emailed to four vendors and advertised to potential suppliers through the City's DemandStar public procurement network. The NetApp bid specification included a trade-in for existing equipment scheduled for replacement. Four (4) sealed bids were received for Cisco, three (3) sealed bids were received for Palo Alto Networks, and one (1) sealed bid was received for NetApp. These bids were publicly opened on February 7, 2018.

The apparent low bidder for Cisco equipment was deemed non-responsive because the bidder (CenturyLink) did not submit their bid on the "revised" bid form. The "revised" bid form contained bid item specification changes that materially impact the bid. The second low bidder, IAS, was determined to be the next lowest responsive and responsible bidder. The bid tabulation (Attachment 1) for Cisco summarizes the bid specifications, irregularities and the total base bids.

The apparent low bidder for Palo Alto Networks equipment (Futurenet Group) bid contained a discrepancy in their bid form for bid item number 15. The total bid amount for bid item number 15 (product of the unit price and the quantity listed) was incorrect. As allowed under the terms of the Invitation to Bid, in such an incident the "unit price shall govern" and staff adjusted the total bid amount. The adjustment resulted in an increase to the total bid amount of \$816,944. This discrepancy was acknowledged by Futurenet Group and the adjustment resulted in Futurenet Group being determined not to be the low bidder. Because of this discrepancy, the apparent second low bidder, IAS, was determined to be the lowest responsive and responsible bidder. The bid tabulation (Attachment 2) for Palo Alto Networks summarizes the total base bids.

The sole bidder for NetApp, IAS, was determined to be responsive and responsible. The bid tabulation (Attachment 3) for NetApp summarizes the total base bid and trade-in value.

FISCAL IMPACT

The total cost for the three purchase orders will be \$1,611,010.87. This includes a one-time payment of \$1,106,146.96 for hardware purchases and a one-time payment of \$504,863.91 for three years of maintenance, support and new IT security subscription services. These costs will be paid for by the Information Processing Hardware allocation (Account 021600) where \$865,636 has already been allocated for the replacement of network equipment. The remainder will be paid by carryover funds related to the Police CAD project that is not scheduled to begin until FY2018/19 and has funds allocated within the FY2017/18 projects budget. Despite the shift in funds, the CAD project will retain over \$950,000 for FY 2017/18 Recommended Budget. A refinement of CAD project costs and the hardware costs recommended as part of this report will need to be programmed as part of the City's technology replacement cycle in the FY 2018/19 budget process.

Beginning in FY2020/21, the City will be responsible for ongoing annual costs totaling \$168,288. This includes \$106,918 for maintenance and support and \$61,370 for new IT security subscription services. These ongoing costs will be offset by \$106,718 in annual expenses currently allocated to the IT Operating Budget (Program 746). A total ongoing annual cost of \$168,288 will need to be added to the IT Operating Budget (Program 746) beginning in FY2020/21, of which \$61,570 is net new ongoing cost above the current budget allocation. Over the 20-Year Financial Plan, these additional costs are estimated at approximately \$1.35 million.

Funding Source

Funding for this project is from the General Services Fund/Technology and Communications Services Sub-Fund.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

RECOMMENDATION

1) Authorize the City Manager to issue three purchase orders, excluding sales tax, to: IAS, Inc. in the amount of \$757,789.84 for Cisco networking equipment (connectivity/communications), Palo Alto Networks in the amount of \$513,590.30 for networking equipment (firewalls/IT security subscription services), and NetApp Networks in the amount of \$339,630.73 for networking equipment (enterprise storage), in substantially the same form as the Attachment 4 and 2) Authorize the City Manager to renew the maintenance and support for up to two additional years subject to available funding and acceptable pricing and services

Prepared by: Gregory S. Card, Purchasing Officer

Reviewed by: Timothy J. Kirby, Director of Finance

Reviewed by: Kathleen Boutte Foster, Chief Information Officer

Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager

ATTACHMENTS

1. Bid Summary F18-203
2. Bid Summary F18-204
3. Bid Summary F18-205
4. Draft Purchase Orders

Invitation for Bids No . F18-203							CenturyLink		Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive		1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203		Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes		Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
1	CISCO	ASR1001-HX	ASR1001-HX	CISCO ASR1001-HX SYSTEM,8X10GE +8X1GE,2XP	4	ea	\$ 46,769.23	\$ 187,076.92	\$ 40,100.25	\$ 160,401.00	\$ 45,125.00	\$ 180,500.00	\$ 46,060.61	\$ 184,242.44
2	CISCO	FLSA1-HX-2X10GE	LICENSE	ASR1000-HX BUILT-IN 10GE 2-PORT LICENSE	8	ea	\$ 6,892.31	\$ 55,138.48	\$ 5,972.38	\$ 47,779.04	\$ 6,650.00	\$ 53,200.00	\$ 6,787.88	\$ 54,303.04
3	CISCO	CON-3SNTP-FLSA1LHX	SMARTNET	SNTC-24X7X4 ASR1000-HX BUILT-IN 10GE 2-P, MONTHS: 36	8	ea	\$ 2,137.29	\$ 17,098.32	\$ 2,713.09	\$ 21,704.72	\$ 689.77	\$ 5,518.16	\$ 2,115.58	\$ 16,924.64
4	CISCO	SLASR1-AES	LICENSE	CISCO ASR 1000 ADVANCED ENTERPRISE SERVI	4	ea	\$ 6,153.85	\$ 24,615.40	\$ 5,332.48	\$ 21,329.92	\$ 5,937.50	\$ 23,750.00	\$ 6,060.61	\$ 24,242.44
5	CISCO	CON-3SNTP-SLASR1A M	SMARTNET	SMARTNET 24X7X4 CISCO ASR 1000 ADVANCED, MONTHS: 36	4	ea	\$ 1,526.94	\$ 6,107.76	\$ 1,938.31	\$ 7,753.24	\$ 492.80	\$ 1,971.20	\$ 1,511.44	\$ 6,045.76
6	CISCO	ASR1K-INTERNET	INCLUDED	ASR1K-INT EDGE/PEERING INCL. BGP/NAT/ZBF	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
7	CISCO	M-ASR1001HX-8GB	INCLUDED	CISCO ASR1001-HX 8GB DRAM	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
8	CISCO	ASR1001HX-IPSECHW	HW MODULE	CISCO ASR1001-HX CRYPTO MODULE WITH NO D	4	ea	\$ 2,461.54	\$ 9,846.16	\$ 2,132.99	\$ 8,531.96	\$ 394.67	\$ 1,578.68	\$ 2,424.24	\$ 9,696.96
9	CISCO	CON-3SNTP-ASRIPSH W	SMARTNET	SNTC-24X7X4 CISCO ASR1001-HX CRYPTO MODU, MONTHS: 36	4	ea	\$ 1,222.88	\$ 4,891.52	\$ 1,552.32	\$ 6,209.28	\$ -	\$ -	\$ 1,210.47	\$ 4,841.88
10	CISCO	SASR1KHXK9-166	INCLUDED	UNIVERSAL	4	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
11	CISCO	ASR1KX-AC-750W-R	INCLUDED	CISCO ASR1000-X 750W AC POWER SUPPLY, RE	8	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -

Invitation for Bids No . F18-203							CenturyLink		Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive		1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203		Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes		Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
12	CISCO	CAB-AC	INCLUDED	AC POWER CORD (NORTH AMERICA), C13, NEMA	8	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
13	CISCO	FLSA1-1HXIPS8G	LICENSE	CRYPTO THROUGHPUT LICENSE FOR ASR1001-HX	4	ea	\$ 7,384.62	\$ 29,538.48	\$ 6,398.98	\$ 25,595.92	\$ 7,125.00	\$ 28,500.00	\$ 7,272.73	\$ 29,090.92
14	CISCO	CON-3SNTP-FLSA1H8G	SMARTNET	SNTC-24X7X4 CRYPTO THROUGHPUT LICENSE FO, MONTHS: 36	4	ea	\$ 2,291.52	\$ 9,166.08	\$ 2,908.87	\$ 11,635.48	\$ 739.55	\$ 2,958.20	\$ 2,268.25	\$ 9,073.00
15	CISCO	CON-3SNTP-ASR1XH11	SMARTNET	SNTC-24X7X4 CISCO ASR1001-HX SYS, MONTHS: 36	4	ea	\$ 23,210.45	\$ 92,841.80	\$ 23,508.12	\$ 94,032.48	\$ 7,490.73	\$ 89,888.76	\$ 22,974.81	\$ 91,899.24
16	CISCO	N3K-C3524P-10GX	NEXUS SWITCH	NEXUS 3524X, 24 10G PORTS	2	ea	\$ 4,923.08	\$ 9,846.16	\$ 4,265.99	\$ 8,531.98	\$ 4,750.00	\$ 9,500.00	\$ 4,848.48	\$ 9,696.96
17	CISCO	N2200-PAC-400W	POWER SUPPLY	N2K/N3K AC POWER SUPPLY, STD AIRFLOW (PO	4	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
18	CISCO	CAB-9K12A-NA	INCLUDED	POWER CORD, 125VAC 13A NEMA 5-15 PLUG, N	4	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
19	CISCO	N3KUK9-602A7.2	INCLUDED	NX-OS RELEASE 6.0(2)A7(2)	2	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
20	CISCO	N3548-BAS1K9	INCLUDED	NEXUS 3548 BASE LICENSE	2	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
21	CISCO	NXA-FAN-30CFM-F	INCLUDED	NEXUS 2K/3K SINGLE FAN, FORWARD AIRFLOW	8	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
22	CISCO	N3K-C3064-ACC-KIT	INCLUDED	NEXUS 3K/9K FIXED ACCESSORY KIT	2	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
23	CISCO	N3548-24P-LIC	INCLUDED	NEXUS 3524 FACTORY INSTALLED 24 PORT LIC	2	ea	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -

[illegible]

Invitation for Bids No . F18-203							CenturyLink			Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive			1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203			Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes			Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	
36	CISCO	CAB-9K12A-NA	INCLUDED	POWER CORD, 125VAC 13A NEMA 5-15 PLUG, N	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
37	CISCO	NXA-PAC-650W-PI	INCLUDED	NEXUS NEBS AC 650W PSU PORT SIDE INTAKE	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
38	CISCO	NXA-FAN-30CFM-B	INCLUDED	NEXUS 2K/3K/9K SINGLE FAN, PORT SIDE INT	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
39	CISCO	CAB-9K12A-NA	INCLUDED	POWER CORD, 125VAC 13A NEMA 5-15 PLUG, N	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
40	CISCO	NXA-PAC-650W-PI	INCLUDED	NEXUS NEBS AC 650W PSU PORT SIDE INTAKE	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
41	CISCO	NXA-FAN-30CFM-B	INCLUDED	NEXUS 2K/3K/9K SINGLE FAN, PORT SIDE INT	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
42	CISCO	CON-3SNTP-93180YB1	INCLUDED	SNTC-8X5XNBD 2 NEXUS 93180YC-EX W, MONTHS: 36	1	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
43	CISCO	N9K-C9504-B3-E	CHASSIS	NEXUS 9504 CHASSIS BUNDLE WITH 1SUP, 3PS	2	ea	\$ 36,923.08	\$ 73,846.16	\$ 31,994.88	\$ 63,989.76	\$ 35,625.00	\$ 71,250.00	\$ 36,363.64	\$ 72,727.28	
44	CISCO	N9K-C9504-FM-CV	INCLUDED	NEXUS 9508 FABRIC MODULE SLOT COVER	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
45	CISCO	N9K-C9504-FM-E	INCLUDED	FABRIC MODULE FOR N9504 WITH 100G SUPPOR	8	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
46	CISCO	N9K-C9500-LC-CV	INCLUDED	NEXUS 9500 LINECARD SLOT COVER	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

Invitation for Bids No . F18-203							CenturyLink		Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive		1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203		Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes		Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
47	CISCO	NXOS-703I5.2	INCLUDED	NEXUS 9K/3K NX-OS MAINTENANCE SOFTWARE R	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
48	CISCO	N9K-C9500-ACK	INCLUDED	NEXUS 9500 ACCESSORY KIT	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
49	CISCO	N9K-C9504-RMK	INCLUDED	NEXUS 9504 RACK MOUNT KIT	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
50	CISCO	N9K-C9504-FAN	INCLUDED	FAN TRAY FOR NEXUS 9504 CHASSIS	6	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
51	CISCO	N9K-SC-A	INCLUDED	SYSTEM CONTROLLER FOR NEXUS 9500	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
52	CISCO	N9K-SELECT-SUP-B	HW SUPERVISOR	PID TO SELECT SUPERVISOR : N9K-SUP-B	2	ea	\$ 4,923.08	\$ 9,846.16	\$ 4,265.99	\$ 8,531.98	\$ 4,750.00	\$ 9,500.00	\$ 4,848.48	\$ 9,696.96
53	CISCO	N9K-SUP-B	HW SUPERVISOR	SUPERVISOR B FOR NEXUS 9500	2	ea	\$ -	\$ -	\$ -	\$ -	\$ 9,500.00	\$ 19,000.00	\$ -	\$ -
54	CISCO	N95-LIC-PAK	INCLUDED	N9500 LICENSE PAK EXPANSION	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
55	CISCO	N95-LAN1K9	LICENSE	LAN ENTERPRISE LICENSE FOR NEXUS 9500 PL	2	ea	\$ 7,384.62	\$ 14,769.24	\$ 6,398.98	\$ 12,797.96	\$ 7,125.00	\$ 14,250.00	\$ 7,272.73	\$ 14,545.46
56	CISCO	N1K-VLCPU-96-ESSTL	INCLUDED	NEXUS 1000V ESSENTIAL EDITION PAPER DELI	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
57	CISCO	N9K-SUP-B	HW SUPERVISOR	SUPERVISOR B FOR NEXUS 9500	2	ea	\$ 9,846.15	\$ 19,692.30	\$ 8,531.97	\$ 17,063.94	\$ 9,500.00	\$ 19,000.00	\$ 9,696.97	\$ 19,393.94
58	CISCO	N9K-SELECT-C95PUV	POWER SUPPLY	PID TO UPGRADE UNIVERSAL POWER SUPPLY: N	6	ea	\$ 246.15	\$ 1,476.90	\$ 213.30	\$ 1,279.80	\$ 237.50	\$ 1,425.00	\$ 242.42	\$ 1,454.52
59	CISCO	N9K-PUV-3000W-B	INCLUDED	NEXUS 9500 3000W UNIVERSAL PS, PORT-SIDE	6	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

[illegible]

Invitation for Bids No . F18-203							CenturyLink		Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive		1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203		Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes		Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
72	CISCO	N9K-C93108TC-EX-B	INCLUDED	NEXUS 93108TC-EX BUNDLE PID	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
73	CISCO	CON-3SNT-93108TBN	SMARTNET	SNTC-8X5XNBD NEXUS 93108TC-EX BUN, MONTHS: 36	2	ea	\$ 2,916.83	\$ 5,833.66	\$ 3,325.63	\$ 6,651.26	\$ 845.50	\$ 1,691.00	\$ 4,148.29	\$ 8,296.58
74	CISCO	NXOS-703I4.3	SMARTNET	NEXUS 9K/3K NX-OS MAINTENANCE SOFTWARE R	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
75	CISCO	N3K-C3064-ACC-KIT	SMARTNET	NEXUS 3K/9K FIXED ACCESSORY KIT	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
76	CISCO	QSFP-40G-SR-BD	SMARTNET	QSFP40G BIDI SHORT-REACH TRANSCEIVER	8	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
77	CISCO	CAB-9K12A-NA	SMARTNET	POWER CORD, 125VAC 13A NEMA 5-15 PLUG, N	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
78	CISCO	NXA-PAC-650W-PE	SMARTNET	NEXUS NEBS AC 650W PSU PORT SIDE EXHAUST	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
79	CISCO	NXA-FAN-30CFM-F	SMARTNET	NEXUS 2K/3K SINGLE FAN, FORWARD AIRFLOW	8	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
80	CISCO	CAB-9K12A-NA	SMARTNET	POWER CORD, 125VAC 13A NEMA 5-15 PLUG, N	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
81	CISCO	NXA-PAC-650W-PE	SMARTNET	NEXUS NEBS AC 650W PSU PORT SIDE EXHAUST	4	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
82	CISCO	NXA-FAN-30CFM-F	SMARTNET	NEXUS 2K/3K SINGLE FAN, FORWARD AIRFLOW	8	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Invitation for Bids No . F18-203							CenturyLink		Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive		1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203		Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes		Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
83	CISCO	CON-3SNT-93108TB1	SMARTNET	SNTC-8X5XNBD 2 NEXUS 93108TC-EX W, MONTHS: 36	2	ea	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,148.29	\$ 8,296.58
84	CISCO	SFP-10G-SR-S=	HW TRANSCEIVER	10GBASE-SR SFP MODULE, ENTERPRISE-CLASS	54	ea	\$ 344.62	\$ 18,609.48	\$ 298.62	\$ 16,125.48	\$ 332.50	\$ 17,955.00	\$ 339.39	\$ 18,327.06
85	CISCO	QSFP-40G-SR-BD	HW TRANSCEIVER	QSFP40G BIDI SHORT-REACH TRANSCEIVER	10	ea	\$ 539.08	\$ 5,390.80	\$ 467.13	\$ 4,671.30	\$ 520.13	\$ 5,201.30	\$ 530.91	\$ 5,309.10
86	CISCO	SFP-10G-LR-S=	HW TRANSCEIVER	10GBASE-LR SFP MODULE, ENTERPRISE-CLASS	16	ea	\$ 984.62	\$ 15,753.92	\$ 853.20	\$ 13,651.20	\$ 950.00	\$ 15,200.00	\$ 969.70	\$ 15,515.20
87	CISCO	GLC-LH-SMD=	HW TRANSCEIVER	1000BASE-LX/LH SFP TRANSCEIVER MODULE, M	8	ea	\$ 489.85	\$ 3,918.80	\$ 424.47	\$ 3,395.76	\$ 472.63	\$ 3,781.04	\$ 482.42	\$ 3,859.36
88	CISCO	GLC-TE=	HW TRANSCEIVER	1000BASE-T SFP TRANSCEIVER MODULE FOR CA	24	ea	\$ 221.54	\$ 5,316.96	\$ 191.97	\$ 4,607.28	\$ 213.75	\$ 5,130.00	\$ 218.18	\$ 5,236.32
89	CISCO	GLC-SX-MMD=	HW TRANSCEIVER	1000BASE-SX SFP TRANSCEIVER MODULE, MMF,	10	ea	\$ 246.15	\$ 2,461.50	\$ 213.30	\$ 2,133.00	\$ 237.50	\$ 2,375.00	\$ 242.42	\$ 2,424.20
90	CISCO	C2951-VSEC/K9	Voice GW Router	2951-Voice Bundle-PVDM3-32 UC & SEC Lic-P	1	ea		\$ -		\$ -		\$ -		\$ -
91	CISCO	PVDM3-64	VOIP	CTO 64CH HIGH-DENSITY VOICE-VID DSP MOD	1	ea		\$ -		\$ -		\$ -		\$ -
92	CISCO	CON-3SNT-2951VSEC	SMARTNET	3YR SMARTNET-8x5xNBD Cisco-2951-Voice UC & SEC	1	ea				\$ -		\$ -		\$ -
90A	CISCO	ISR4331-VSEC/K9	Voice GW Router	ISR 4331 VSEC Bundle, PVDM4-32 w/UC, SEC Lic, CUBE-10	1	ea			\$ 2,772.89	\$ 2,772.89	\$ 3,087.50	\$ 3,087.50	\$ 3,151.52	\$ 3,151.52

Invitation for Bids No . F18-203							CenturyLink		Integrated Archive Systems		NetXperts		Softchoice Corporation	
Cisco Networking Equipment							100 Centurylink Drive		1121 N. San Antonio Rd Ste. D100		1777 Botelho Dr. #102		314 W. Superior St. Ste. 400	
							Monroe, LA 71203		Palo Alto , CA 94303		Walnut Creek, CA 94596		Chicago, IL 60654	
							Kendrick Dukes		Tim Nedom		Carol Ann Nordine		Bryan Rocco	
BID ITEMS	MAKE	PART#	MODEL	DESCRIPTION	QTY	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
91A	CISCO	CON-3SNT ISR4331V S	SMARTNE T	3YR SMARTNET 8x5xNBD Cisco 2951 Voice UC & SEC	1	ea			\$ 1,963.48	\$ 1,963.48	\$ 499.20	\$ 499.20	\$ 1,523.34	\$ 1,523.34
93	CISCO		Training	Cisco Learning Credits for Nexus Training - 150	150	Lump Sum			\$ -	\$ -	\$ -	\$ -		\$ -
94				Installation and Configuration	1	Lump Sum	\$ 46,153.85	\$ 46,153.85	\$ 30,000.00	\$ 30,000.00	\$ 54,000.00	\$ 54,000.00	\$ 50,000.00	\$ 50,000.00
BID TOTAL								\$ 847,196.85		\$ 757,789.84		\$ 764,525.50		\$ 859,090.94

Notes:

1. Bid submitted by CenturyLink is considered non-responsive because bid was not submitted on the "revised" bid form in accordance with Addendum #1 and did not acknowledge addenda.
2. Bid submitted by Netexperts containing errors resulting different bid amount of \$764,525.50, instead of \$826,626.18.
3. Bid submitted by Softchoice Corporation contains errors resulting in a different bid amounts: \$850,135.16 as the sum total of the bid line items, but the total adds up of the items is \$859,090.94.

Invitation for Bids No . F18-204
Palo Alto Networks Networking Equipment

FutureNet Group 12801 Auburn St Detroit, MI 48223 Jay Mehta	Integrated Archive Systems 1121 N. San Antonio Rd #D100 Palo Alto, CA 94303 Tim Nedom	CenturyLink Communications LLC 100 Centurylink Dr Monroe, LA 71203 Kendrick Dukes
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BID ITEMS	Make	Part #	Model Type	Description	Qty	UOM	Unit Price	Total	Unit Price	Total	Unit Price	Total
1	Palo Alto	PAN-PA-3060	FIREWALL	PAN-PA-3060	4	ea	\$ 33,372.00	\$ 133,488.00	\$ 21,600.00	\$ 86,400.00	\$ 33,230.77	\$ 132,923.08
2	Palo Alto	PAN-PA-3060-GP-3YR-HA2	SUBSCRIPTION	Global Protect subscription 3 year prepaid for device in an HA pair, PA-3060	4	ea	\$ 12,338.37	\$ 49,353.48	\$ 11,180.40	\$ 44,721.60	\$ 12,286.15	\$ 49,144.60
3	Palo Alto	PAN-PA-3060-TP-3YR-HA2	SUBSCRIPTION	Threat prevention subscription 3-year prepaid for device in an HA pair, PA-3060	4	ea	\$ 12,338.37	\$ 49,353.48	\$ 11,180.40	\$ 44,721.60	\$ 12,286.15	\$ 49,144.60
4	Palo Alto	PAN-PA-3060-URL4-3YR-HA2	SUBSCRIPTION	PANDB URL Filtering subscription 3-year prepaid for device in an HA pair, PA-3060	2	ea	\$ 12,338.37	\$ 24,676.74	\$ 11,180.40	\$ 22,360.80	\$ 12,286.15	\$ 24,572.30
5	Palo Alto	PAN-PA-3060-WF-3YR-HA2	SUBSCRIPTION	WildFire subscription 3-year prepaid for device in an HA pair, PA-3060	2	ea	\$ 12,338.37	\$ 24,676.74	\$ 11,180.40	\$ 22,360.80	\$ 12,286.15	\$ 24,572.30
6	Palo Alto	PAN-SVC-PREM 3060-3YR	EXTENDED COVERAGE	Premium support 3-year prepaid, PA-3060	4	ea	\$ 13,522.87	\$ 54,091.48	\$ 13,129.00	\$ 52,516.00	\$ 13,465.64	\$ 53,862.56
7	Palo Alto	PAN-SFP-LX	HW TRANSCEIVER	SFP form factor, LX 1Gb optical transceiver, 10Km reach, SMF, duplex LC, IEEE 802.3ab 1000BASE-LX compliant	6	ea	\$ 927.00	\$ 5,562.00	\$ 840.00	\$ 5,040.00	\$ 923.08	\$ 5,538.48
8	Palo Alto	PAN-SFP-PLUS-LR	HW TRANSCEIVER	SFP+ form factor, LR 10Gb optical transceiver, long reach 10Km, SMF, duplex LC, IEEE 802.3ae 10GBASE-LR compliant	4	ea	\$ 1,854.00	\$ 7,416.00	\$ 1,680.00	\$ 6,720.00	\$ 1,846.15	\$ 7,384.60

9	Palo Alto	PAN-SFP-PLUS-SR	HW TRANSCEIVER	SFP+ form factor, SR 10Gb optical transceiver, short reach 300m, OM3 MMF, duplex LC, IEEE 802.3ae 10GBASE-SR compliant	8	ea	\$ 1,390.50	\$ 11,124.00	\$ 1,260.00	\$ 10,080.00	\$ 1,384.62	\$ 11,076.96
10	Palo Alto	PAN-PA-3020	FIREWALL	PALO ALTO NETWORKS PA-3020 (DR)	1	ea	\$ 12,978.00	\$ 12,978.00	\$ 11,760.00	\$ 11,760.00	\$ 12,923.08	\$ 12,923.08
11	Palo Alto	PAN-SVC-PREM-3020-3YR	EXTENDED COVERAGE	Premium Support 3-year prepaid, PA-3020	1	ea	\$ 5,264.33	\$ 5,264.33	\$ 5,111.00	\$ 5,111.00	\$ 5,242.05	\$ 5,242.05
12	Palo Alto	PAN-M-500	CHASSIS	Palo Alto Networks M-500 chassis with 4TB storage (4x2TB RAID certified drives) and 4 post rack mount rails	1	ea	\$ 23,175.00	\$ 23,175.00	\$ 20,000.00	\$ 20,000.00	\$ 23,076.92	\$ 23,076.92
13	Palo Alto	PAN-M-500-P-25	LICENSE	Panorama central management software license, 25 devices or log collector for the M-500	1	ea	\$ 9,270.00	\$ 9,270.00	\$ 8,400.00	\$ 8,400.00	\$ 9,230.77	\$ 9,230.77
14	Palo Alto	PAN-SVC-PREM-M-500-P-25-3Y	EXTENDED COVERAGE	Premium support 3-year prepaid, Panorama M-500 25 devices, PAN-DB Private Cloud or log collector	1	ea	\$ 13,151.04	\$ 13,151.04	\$ 12,768.00	\$ 12,768.00	\$ 13,095.38	\$ 13,095.38
15	Palo Alto	PAN-TRAPS-B-3YR	SUBSCRIPTION	Traps Advanced Endpoint Protection for agents, tier B, 3-year prepaid, includes Premium Support	1200	ea	\$ 756.43	\$ 907,716.00	\$ 41.62	\$ 49,944.00	\$ 75.32	\$ 90,384.00
16	Palo Alto	CH-PAN-EDU-221-VIRTUAL	TRAINING	Virtual Training - PANW 221 - Panorama Essentials - 2 Day - Virtual	4	ea	\$ 1,995.00	\$ 7,980.00	\$ 1,800.00	\$ 7,200.00	\$ 1,743.59	\$ 6,974.36
17	Palo Alto	CH-PAN-EDU-311-VIRTUAL	TRAINING	Virtual Training - PANW 311 - Advanced Troubleshooting 3 Day - Virtual	4	ea	\$ 2,995.00	\$ 11,980.00	\$ 2,700.00	\$ 10,800.00	\$ 2,615.38	\$ 10,461.52

18	Palo Alto	CH-PAN-EDU-210-VIRTUAL	TRAINING	Virtual Training : Palo Alto Networks 210 :Core Five Day course, Virtual	2	ea	\$ 4,995.00	\$ 9,990.00	\$ 4,495.50	\$ 8,991.00	\$ 4,358.97	\$ 8,717.94
19	Palo Alto	CH-PAN-EDU-281-VIRTUAL	TRAINING	Virtual Training- TRAPS 3.4: INSTALL, CONFIGURE, AND MANAGE (EDU-281) - 2-Day Virtual	2	ea	\$ 1,995.00	\$ 3,990.00	\$ 1,347.75	\$ 2,695.50	\$ 1,743.59	\$ 3,487.18
20	Palo Alto			Professional services – Installation/configuration of all equipment and migration services.	1	Lump Sum	\$ 10,000.00	\$ 10,000.00	\$ 81,000.00	\$ 81,000.00	\$ 20,920.47	\$ 20,920.47
				Subtotal				\$ 1,375,236.29		\$ 513,590.30		\$ 562,733.15

Notes:

1. The bid submitted by Futurenet Group contained math error in bid item #15, resulting in a price discrepancy of \$816,944.40. In accordance with the City's bid requirements, the unit price prevails.

Invitation for Bids No . F18-205						Integrated Archive Systems	
NetApp Networks Networking Equipment						1121 N. San Antonio Road Ste. D	
						Palo Alto, CA 94303	
						Tim Nedom	
BID ITEMS	MAKE	PART#	DESCRIPTION	QTY	UOM	Unit Price	Total
1	NETAPP	SW-2-CL-BASE	SW-2,Base,CL,Node	1	EA	\$ -	\$ -
2	NETAPP	FAS2650A-002	FAS2650 HA System,Premium Bundle	2	EA	\$ 2,887.37	\$ 5,774.74
3	NETAPP	SW-2-2650A-TPM-C	SW,Trusted Platform Module Enabled,2650A,-C	2	EA	\$ -	\$ -
4	NETAPP	SW-2-2650A-NVE-C	SW,Data at Rest Encryption Enabled,2650A,-C	2	EA	\$ -	\$ -
5	NETAPP	FAS2650-104-C	FAS2650,24x1.2TB,10K,-C	1	EA	\$ 8,818.00	\$ 8,818.00
6	NETAPP	DOC-2650-C	Documents,FAS2650,-C	1	EA	\$ -	\$ -
7	NETAPP	DATA-AT-REST- ENCRYPTION	Data at Rest Encryption Capable Operating Sys	2	EA	\$ -	\$ -
8	NETAPP	OS-ONTAP1-CAP2-PREM- 1P-C	ONTAP,Per-0.1TB,PREMBNDL,Perf,1P,-C	288	EA	\$ 57.71	\$ 16,620.48
9	NETAPP	X6589-R6-C	SFP+ Optical 10Gb Shortwave,-C	4	EA	\$ 175.38	\$ 701.52
10	NETAPP	X6596-R6-C	SFP+ FC Optical 16Gb,-C	4	EA	\$ 366.71	\$ 1,466.84
11	NETAPP	X66250-2	Cable,LC-LC,OM4,2m	8	EA	\$ 100.81	\$ 806.48
12	NETAPP	X6566B-05-R6	Cable,Direct Attach CU SFP+ 10G,0.5M	2	EA	\$ 68.80	\$ 137.60
13	NETAPP	X-02659-00	Rail Kit,4-Post,Rnd/Sq-Hole,Adj,24-32	1	EA	\$ 118.39	\$ 118.39
14	NETAPP	X800-42U-R6	Power Cable,In-Cabinet,C13-C14	2	EA	\$ -	\$ -
15	NETAPP	CS-O2-NOINSTALL-4HR	SupportEdge Premium 4hr Onsite, w/o Install, Months: 36	1	EA	\$ 12,912.47	\$ 12,912.47
16	NETAPP	X66030A	Cable,12Gb,Mini SAS HD,0.5m	4	EA	\$ 65.55	\$ 262.20
17	NETAPP	X66032A	Cable,12Gb,Mini SAS HD,2m	4	EA	\$ 100.98	\$ 403.92
18	NETAPP	DS212C-07-4.0-12B-1P-SK	DSK SHLF,12G,12x4TB,7.2K,1P,-SK	2	EA	\$ 4,885.42	\$ 9,770.84
19	NETAPP	X800-42U-R6	Power Cable,In-Cabinet,C13-C14	6	EA	\$ -	\$ -
20	NETAPP	X-02657-00	Rackmount Kit,212C,4-post,Adj	2	EA	\$ 86.62	\$ 173.24
21	NETAPP	OS-ONTAP1-CAP1-PREM- 1P-P	ONTAP,Per-0.1TB,PREMBNDL,Capacity,1P,-P	960	EA	\$ 23.90	\$ 22,944.00

Invitation for Bids No . F18-205						Integrated Archive Systems	
NetApp Networks Networking Equipment						1121 N. San Antonio Road Ste. D	
						Palo Alto, CA 94303	
						Tim Nedom	
BID ITEMS	MAKE	PART#	DESCRIPTION	QTY	UOM	Unit Price	Total
22	NETAPP	DS224C-10-1.2-24S-1P-SK	DSK SHLF,12G,24x1.2TB,10K,1P,-SK	1	EA	\$ 8,818.00	\$ 8,818.00
23	NETAPP	X-02659-00	Rail Kit,4-Post,Rnd/Sq-Hole,Adj,24-32	1	EA	\$ 118.39	\$ 118.39
24	NETAPP	OS-ONTAP1-CAP2-PREM-1P-P	ONTAP,Per-0.1TB,PREMBNDL,Perf,1P,-P	288	EA	\$ 57.71	\$ 16,620.48
25	NETAPP	CS-O2-NOINSTALL-4HR	SupportEdge Premium 4hr Onsite, w/o Install, Months: 36	1	EA	\$ 5,552.97	\$ 5,552.97
26	NETAPP	X5720A	IOM12,SAS,12G	4	EA	\$ 1,623.16	\$ 6,492.64
27	NETAPP	SW-2-CL-BASE	SW-2,Base,CL,Node	1	EA	\$ -	\$ -
28	NETAPP	FAS2650A-002	FAS2650 HA System,Premium Bundle	2	EA	\$ 2,887.37	\$ 5,774.74
29	NETAPP	SW-2-2650A-TPM-C	SW,Trusted Platform Module Enabled,2650A,-C	2	EA	\$ -	\$ -
30	NETAPP	SW-2-2650A-NVE-C	SW,Data at Rest Encryption Enabled,2650A,-C	2	EA	\$ -	\$ -
31	NETAPP	FAS2650-104-C	FAS2650,24x1.2TB,10K,-C	1	EA	\$ 8,818.00	\$ 8,818.00
32	NETAPP	DOC-2650-C	Documents,FAS2650,-C	1	EA	\$ -	\$ -
33	NETAPP	DATA-AT-REST-ENCRYPTION	Data at Rest Encryption Capable Operating Sys	2	EA	\$ -	\$ -
34	NETAPP	OS-ONTAP1-CAP2-PREM-1P-C	ONTAP,Per-0.1TB,PREMBNDL,Perf,1P,-C	288	EA	\$ 57.71	\$ 16,620.48
35	NETAPP	X6589-R6-C	SFP+ Optical 10Gb Shortwave,-C	4	EA	\$ 175.38	\$ 701.52
36	NETAPP	X6596-R6-C	SFP+ FC Optical 16Gb,-C	4	EA	\$ 366.71	\$ 1,466.84
37	NETAPP	X66250-2	Cable,LC-LC,OM4,2m	8	EA	\$ 100.81	\$ 806.48
38	NETAPP	X6566B-05-R6	Cable,Direct Attach CU SFP+ 10G,0.5M	2	EA	\$ 68.80	\$ 137.60
39	NETAPP	X-02659-00	Rail Kit,4-Post,Rnd/Sq-Hole,Adj,24-32	1	EA	\$ 118.39	\$ 118.39
40	NETAPP	X800-42U-R6	Power Cable,In-Cabinet,C13-C14	2	EA	\$ -	\$ -
41	NETAPP	CS-O2-NOINSTALL-4HR	SupportEdge Premium 4hr Onsite, w/o Install, Months: 36	1	EA	\$ 10,384.64	\$ 10,384.64
42	NETAPP	X66030A	Cable,12Gb,Mini SAS HD,0.5m	2	EA	\$ 65.55	\$ 131.10

Invitation for Bids No . F18-205						Integrated Archive Systems	
NetApp Networks Networking Equipment						1121 N. San Antonio Road Ste. D	
						Palo Alto, CA 94303	
						Tim Nedom	
BID ITEMS	MAKE	PART#	DESCRIPTION	QTY	UOM	Unit Price	Total
43	NETAPP	X66032A	Cable,12Gb,Mini SAS HD,2m	4	EA	\$ 100.98	\$ 403.92
44	NETAPP	DS212C-07-4.0-12B-1P-SK	DSK SHLF,12G,12x4TB,7.2K,1P,-SK	2	EA	\$ 4,885.42	\$ 9,770.84
45	NETAPP	X800-42U-R6	Power Cable,In-Cabinet,C13-C14	4	EA	\$ -	\$ -
46	NETAPP	X-02657-00	Rackmount Kit,212C,4-post,Adj	2	EA	\$ 86.62	\$ 173.24
47	NETAPP	OS-ONTAP1-CAP1-PREM-1P-P	ONTAP,Per-0.1TB,PREMBNDL,Capacity,1P,-P	960	EA	\$ 23.90	\$ 22,944.00
48	NETAPP	CS-O2-NOINSTALL-4HR	SupportEdge Premium 4hr Onsite, w/o Install, Months: 36	1	EA	\$ 2,918.81	\$ 2,918.81
49	NETAPP	TI-K-SW	Trade-in Credit,K,Software Returns	1	EA	\$ (3,047.27)	\$ (3,047.27)
50	NETAPP	TI-D-BASE	Trade-in Credit,D,Platform Base	1	EA	\$ (288.74)	\$ (288.74)
51	NETAPP	SW-2-CL-BASE	SW-2,Base,CL,Node	1	EA	\$ -	\$ -
52	NETAPP	FAS2620A-002-SC	FAS2620A Premium Bundle	2	EA	\$ -	\$ -
53	NETAPP	SW-2-2620A-NVE-C	SW,Data at Rest Encryption Enabled,2620A,-C	2	EA	\$ -	\$ -
54	NETAPP	FAS2620A-EXP-101	FAS2620,HA,12X4TB,Premium Bundle,NVE	1	EA	\$ 10,951.77	\$ 10,951.77
55	NETAPP	OS-ONTAP1-CAP1-PREM-1P-P	ONTAP,Per-0.1TB,PREMBNDL,Capacity,1P,-P	480	EA	\$ 23.90	\$ 11,472.00
56	NETAPP	X800-42U-R6	Power Cable,In-Cabinet,C13-C14	2	EA	\$ -	\$ -
57	NETAPP	DATA-AT-REST-ENCRYPTION	Data at Rest Encryption Capable Operating Sys	2	EA	\$ -	\$ -
58	NETAPP	X-02657-00	Rackmount Kit,212C,4-post,Adj	1	EA	\$ 86.62	\$ 86.62
59	NETAPP	SW-2-2620A-TPM-C	SW,Trusted Platform Module Enabled,2620A,-C	2	EA	\$ -	\$ -
60	NETAPP	X6589-R6	SFP+Optical 10Gb Shortwave	4	EA	\$ 201.96	\$ 807.84
61	NETAPP	X6596-R6	SFP+ FC Optical 16Gb	4	EA	\$ 421.62	\$ 1,686.48
62	NETAPP	X66250-2	Cable,LC-LC,OM4,2m	8	EA	\$ 100.81	\$ 806.48
63	NETAPP	CS-O2-NOINSTALL-4HR	SupportEdge Premium 4hr Onsite, w/o Install, Months: 36	1	EA	\$ 2,812.71	\$ 2,812.71

Invitation for Bids No . F18-205						Integrated Archive Systems	
NetApp Networks Networking Equipment						1121 N. San Antonio Road Ste. D	
						Palo Alto, CA 94303	
						Tim Nedom	
BID ITEMS	MAKE	PART#	DESCRIPTION	QTY	UOM	Unit Price	Total
64	NETAPP	SW-2-CL-BASE	SW-2,Base,CL,Node	1	EA	\$ -	\$ -
65	NETAPP	FAS8200A-002	FAS8200 HA System,Premium Bundle	2	EA	\$ 12,993.16	\$ 25,986.32
66	NETAPP	SW-2-8200A-NVE-C	SW,Data at Rest Encryption Enabled,8200A,-C	2	EA	\$ -	\$ -
67	NETAPP	SW-2-8200A-TPM-C	SW,Trusted Platform Module Enabled,8200A,-C	2	EA	\$ -	\$ -
68	NETAPP	X6566B-05-R6-C	Cable,Direct Attach CU SFP+ 10G,0.5M,-C	2	EA	\$ 57.33	\$ 114.66
69	NETAPP	X66250-2-C	Cable,LC-LC,OM4,2m,-C	8	EA	\$ 51.43	\$ 411.44
70	NETAPP	X66032A-C	Cable,12Gb,Mini SAS HD,2m,-C	8	EA	\$ 100.98	\$ 807.84
71	NETAPP	X6235-C	Chassis,FAS8200,AFF-A300,AC PS,-C	1	EA	\$ -	\$ -
72	NETAPP	DOC-8200-C	Documents,8200,-C	1	EA	\$ -	\$ -
73	NETAPP	DATA-AT-REST- ENCRYPTION	Data at Rest Encryption Capable Operating Sys	2	EA	\$ -	\$ -
74	NETAPP	X800-42U-R6-C	Power Cable,In-Cabinet,C13-C14,-C	6	EA	\$ -	\$ -
75	NETAPP	X-02659-00-C	Rail Kit,4-Post,Rnd/Sq-Hole,Adj,24-32,-C	1	EA	\$ 66.41	\$ 66.41
76	NETAPP	X6596-R6-C	SFP+ FC Optical 16Gb,-C	4	EA	\$ 366.71	\$ 1,466.84
77	NETAPP	X6599A-R6-C	SFP+ Optical 10Gb Shortwave,-C	4	EA	\$ 281.68	\$ 1,126.72
78	NETAPP	X2069-R6-C	HBA,4-Port SAS 3/6/12Gbps QSFP PCIe,-C	2	EA	\$ 496.03	\$ 992.06
79	NETAPP	DS212C-07-4.0-12B-2P-C	DSK SHLF,12G,12x4TB,7.2K,2P,-C	2	EA	\$ 4,885.42	\$ 9,770.84
80	NETAPP	X-02657-00-C	Rail Kit,Thin,Rnd/Sq-Hole,4-Post,Adj,24-32,-C	2	EA	\$ 77.96	\$ 155.92
81	NETAPP	OS-ONTAP1-CAP1-PREM- 2P-C	ONTAP,Per-0.1TB,PREMBNDL,Capacity,2P,-C	960	EA	\$ 23.90	\$ 22,944.00
82	NETAPP	CS-A2-4R	SupportEdge Standard Part Replace 4hr, Months: 36	1	EA	\$ 7,332.27	\$ 7,332.27
83	NETAPP	TI-K-SW	Trade-in Credit,K,Software Returns	1	EA	\$ (3,229.82)	\$ (3,229.82)
84	NETAPP	TI-D-BASE	Trade-in Credit,D,Platform Base	1	EA	\$ (1,299.31)	\$ (1,299.31)

Invitation for Bids No . F18-205						Integrated Archive Systems	
NetApp Networks Networking Equipment						1121 N. San Antonio Road Ste. D	
						Palo Alto, CA 94303	
						Tim Nedom	
BID ITEMS	MAKE	PART#	DESCRIPTION	QTY	UOM	Unit Price	Total
85	NETAPP	X1960-R6	ClusterNet Interconnect Cluster,16Pt,10Gb	2	EA	\$ 4,848.97	\$ 9,697.94
86	NETAPP	X800E-R6	Power Cable North America,R6	4	EA	\$ -	\$ -
87	NETAPP	CS-O2-NOINSTALL-4HR	SupportEdge Premium 4hr Onsite, w/o Install, Months: 36	2	EA	\$ 875.47	\$ 1,750.94
88	NETAPP	X6566B-05-R6	Cable,Direct Attach CU SFP+ 10G,0.5M	4	EA	\$ 68.80	\$ 275.20
89	NETAPP	X6566B-3-R6	Cable,Direct Attach CU SFP+ 10G,3M	12	EA	\$ 102.24	\$ 1,226.88
90	NETAPP	X6566B-5-R6	Cable,Direct Attach CU SFP+ 10G,5M	12	EA	\$ 145.24	\$ 1,742.88
91	NETAPP		NetApp Training Units for Cluster Mode Training	1	Lump Sum	\$ 4,501.80	\$ 4,501.80
92			Installation and Configuration	1	Lump Sum		\$ -

Invitation for Bids No . F18-205						Integrated Archive Systems	
NetApp Networks Networking Equipment						1121 N. San Antonio Road Ste. D	
						Palo Alto, CA 94303	
						Tim Nedom	
BID ITEMS	MAKE	PART#	DESCRIPTION	QTY	UOM	Unit Price	Total
93			<p>IAS Fixed Project based Professional Services for City of Sunnyvale to deploy a NetApp 6-Node Cluster for Production, deploy a NetApp 2-Node Switchless Cluster for DR and migrate from Data ONTAP 7-Mode to Clustered Data ONTAP (CDOT). Services to include the following:</p> <ul style="list-style-type: none"> • Data ONTAP 7-Mode Upgrade preparation • Upgrade (1) FAS3240HA system (STAR / SAGE) from 8.1.4P2 (7- Mode) to 8.1.4P4 or later • Upgrade (1) FAS3250HA system (PALM / PINE) from 8.1.4P2 (7- Mode) to 8.1.4P4 or later • Deploy (1) NetApp FAS2650HA 2-Node Switched Storage Array (Prod 1) + (3) storage shelves for the Production environment • Add (1) NetApp FAS2650HA 2-Node Storage Array (Prod 2) + (2) storage shelves to the new 2-Node cluster becoming a 4-Node cluster • Add (1) NetApp FAS2650HA 2-Node Storage Array (Backup) to the new 4-Node cluster becoming a 6-Node cluster • Deploy (1) NetApp FAS8200HA 2-Node Switchless Storage Array + (2) storage shelves for DR • Prepare the FAS3240HA / FAS3250HA for the migration of CIFS data • Create 7MTT jobs between the FAS3250HA 	1	Lump Sum	\$ 28,817.21	\$ 28,817.21
			Subtotal				\$ 339,630.73



ORDERED FROM 15204 - 001 (650) 528-4694 Integrated Archive Systems Inc 1121 N San Antonio Rd Ste D100 Palo Alto CA 94303	ORDER DATE 02/14/2018	BILL TO: City of Sunnyvale Finance Department Accounts Payable PO Box 3707 Sunnyvale, CA 94088-3707
	DELIVERY DATE 02/14/2021	
	PAYMENT TERMS N/30	
	BID NO/RFQ NO	
DELIVER TO ITD/Information Technology Services 650 W Olive Ave Sunnyvale CA 94086 Phone: (408) 730-3040	FOB POINT DEST	FREIGHT CHARGES Destination, freight included in price
	REQ. NO RQ019274	REQUISITIONER: MWITT
	CHARGE/OBJ CODE(S): See Description	

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL
1	Purchase order for Cisco networking equipment, installation and implementation, subscription, and three years of maintenance and support in accordance with Invitation to Bids (IFB) F18-203 specifications, terms and conditions, and bidder's bid, which are attached and incorporated herein by this reference.	57789.59	DLR	\$1.0000	\$757,789.84

Amount does not reflect applicable taxes.

TOTAL \$757,789.84

CHARGE/OBJ CODE(S)	
021600 5050	\$727,789.84
021600 5300	\$30,000.00

Document Terms:

This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Goods, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCBPO-G).
This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Services, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCBPO-S).
Invoices must be sent directly to Accounts Payable by mail to the address above or by e-mail to



BUYER:

Vo, Lisa

PHONE (408) 730-7608

FAX (408) 730-7710



ORDERED FROM 15204 - 001 (650) 528-4694 Integrated Archive Systems Inc 1121 N San Antonio Rd Ste D100 Palo Alto CA 94303	ORDER DATE 02/14/2018	BILL TO: City of Sunnyvale Finance Department Accounts Payable PO Box 3707 Sunnyvale, CA 94088-3707			
	DELIVERY DATE 02/14/2021				
	PAYMENT TERMS N/30				
	BID NO/RFQ NO				
DELIVER TO ITD/Information Technology Services 650 W Olive Ave Sunnyvale CA 94086 Phone: (408) 730-3040	FOB POINT DEST	FREIGHT CHARGES Destination, freight included in price			
	REQ. NO RQ019275	REQUISITIONER: MWITT			
	CHARGE/OBJ CODE(S): See Description				

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL
1	Purchase order for Palo Alto Networks networking equipment installation and implementation, subscription, and three years of maintenance and support in accordance with Invitation fo Bids (IFB) F18-204 specifications, terms and conditions, and bidder's bid, which are attached and incorporated herein by this reference.	513590.30	DLR	\$1.0000	\$513,590.30

Amount does not reflect applicable taxes.	
TOTAL	\$513,590.30

CHARGE/OBJ CODE(S)	
021600 5050	\$402,903.80
021600 5300	\$110,686.50



Document Terms:

This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Goods, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCBPO-G).

This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Services, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCBPO-S).

Invoices must be sent directly to Accounts Payable by mail to the address above or by e-mail to

BUYER:

Vo, Lisa

PHONE (408) 730-7608

FAX (408) 730-7710



ORDERED FROM 15204 - 001 (650) 528-4694 Integrated Archive Systems Inc 1121 N San Antonio Rd Ste D100 Palo Alto CA 94303	ORDER DATE 02/14/2018	BILL TO: City of Sunnyvale Finance Department Accounts Payable PO Box 3707 Sunnyvale, CA 94088-3707
	DELIVERY DATE 02/14/2021	
	PAYMENT TERMS N/30	
	BID NO/RFQ NO	
DELIVER TO ITD/Information Technology Services 650 W Olive Ave Sunnyvale CA 94086 Phone: (408) 730-3040	FOB POINT DEST	FREIGHT CHARGES Destination, freight included in price
	REQ. NO RQ019322	REQUISITIONER: MWITT
	CHARGE/OBJ CODE(S): See Description	

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL
1	Purchase order for NetApp networking equipment installation and implementation, subscription, and three years of maintenance and support in accordance with Invitation to Bids (IFB) F18-205 specifications, terms and conditions, and bidder's bid, which are attached and incorporated herein by this reference.	39630.73	DLR	\$1.0000	\$339,630.73

Amount does not reflect applicable taxes.

TOTAL \$339,630.73

CHARGE/OBJ CODE(S)	
021600 5050	\$306,311.72
021600 5300	\$33,319.01

Document Terms:

This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Goods, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCBPO-G).
This purchase order is subject to the City of Sunnyvale Standard Terms and Conditions for the Purchase of Services, dated 10/8/2010, a copy of which is attached and incorporated by reference (Form #TCBPO-S).
Invoices must be sent directly to Accounts Payable by mail to the address above or by e-mail to



BUYER:

Vo, Lisa

PHONE (408) 730-7608

FAX (408) 730-7710



City of Sunnyvale

Agenda Item

18-0104

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Approve Budget Modification No. 41 to Appropriate \$50,000 from the Solid Waste Management Fund for Study Issue ESD18-02 Planning for Post-2021 Solid Waste & Recycling Collection Franchise

BACKGROUND

On February 16, 2018, the City Council prioritized Study Issue ESD18-02 Planning for Post-2021 Solid Waste & Recycling Collection Franchise for implementation in 2018.

Solid waste and recycling collection services are currently being provided to residents and businesses by Bay Counties Waste Services (BCWS), that has been granted an exclusive franchise by the City Council, as allowed by Article XVI of the City Charter and Sunnyvale Municipal Code Chapter 8.16. The term of the current solid waste collection franchise began on July 1, 1991 and will expire on June 30, 2021.

As described in the Study Issue, this study would present Council with a discussion of the costs, implications, and mechanics of the various options for addressing the expiration of the current franchise agreement.

Options would include:

- 1) Seeking voter approval of an amendment to the City Charter to remove or change the existing 30-year limit on franchises.
- 2) Implementing a competitive process to select a franchisee for collection services beyond 2021. The time required for such a process, including potential transition to a new franchisee is approximately 36 months.
- 3) Negotiating a new franchise agreement with the incumbent franchisee, including a work plan option that preserves the City's opportunity to implement a competitive process for the award of a new franchise if needed.

EXISTING POLICY

Sunnyvale Charter

Pursuant to Sunnyvale Charter Section 1305, at any meeting after the adoption of the budget, the City Council may amend or supplement the budget by motion adopted by affirmative votes of at least four members so as to authorize the transfer of unused balances appropriated for one purpose to another, or to appropriate available revenue not included in the budget.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" within the meaning of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15378 (b)(4) in that is a fiscal activity, funding of a study, that does not involve any commitment to any specific project which

may result in a potential significant impact on the environment and CEQA Guidelines section 15378 (b)(5) in that it is a governmental organizational or administrative activity that will not result in direct or indirect changes in the environment.

DISCUSSION

This funding request would pay for a study and recommendations to be prepared by a consulting firm with knowledge of solid waste franchising issues and experience conducting competitive and negotiation-based processes for franchise transitions.

Given the long lead times needed to implement some of the options that will be examined in the study, this funding recommendation is being presented to Council outside the typical Budget Supplement process for Study Issues. Staff will present the study issue results to Council in a study session.

FISCAL IMPACT

Funding for a budget modification would come from the Solid Waste Management Fund reserves.

Budget Modification No. 41 FY 2017/18

	Current	Increase/ (Decrease)	Revised
Solid Waste Management Fund			
<u>Reserves</u>			
Rate Stabilization Fund	\$3,027,022	(\$50,000)	\$2,977,022
<u>Expenditures</u>			
New Project - Solid Waste Franchise Study	\$0	\$50,000	\$50,000

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

RECOMMENDATION

Approve Budget Modification No. 41 to appropriate \$50,000 from the Solid Waste Management Fund to fund a study of options for establishing the next franchise for solid waste and recycling collection services.

Prepared by: Melody Tovar, Interim Director, Environmental Services

Reviewed by: Timothy J. Kirby, Director of Finance

Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager



City of Sunnyvale

Agenda Item

18-0154

Agenda Date: 2/27/2018

SUBJECT

Adopt Ordinance No. 3131-18 Amending Section 19.68.040 (Accessory Dwelling Units) of Title 19 (Zoning) of the Sunnyvale Municipal Code

RECOMMENDATION

Adopt Ordinance No. 3131-18.

ATTACHMENT

1. Ordinance No. 3131-18

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY
OF SUNNYVALE TO AMEND SECTION 19.68.040
(ACCESSORY DWELLING UNITS) OF TITLE 19 (ZONING)
OF THE SUNNYVALE MUNICIPAL CODE

THE CITY COUNCIL OF THE CITY OF SUNNYVALE DOES ORDAIN AS
FOLLOWS:

SECTION 1. SECTION 19.68.040 AMENDED. Section 19.68.040 of Chapter 19.68 (Mobile, Accessory, and Single Room Occupancy Living Units) of Title 19 (Zoning) of the Sunnyvale Municipal Code is hereby amended to read as follows:

19.68.040. Accessory dwelling units.

- (a) [Text unchanged]
- (b) [Text unchanged]
- (c) **Newly constructed or expanded structures.** The following requirements apply to all accessory dwelling units other than qualified conversions of existing interior space as provided in subsection (d), below.

(1) Location. Accessory dwelling units shall be allowed only in the following zoning districts in conjunction with a single-family dwelling or proposed single-family dwelling:

(A) – (C) [Text unchanged]

(2)–(3) [Text unchanged]

(4) Parking.

(A) In addition to the parking spaces required for the primary residence, at least one off-street parking space shall be provided for each accessory dwelling unit, which may be provided as tandem parking in a driveway.

(B) If a garage, carport, or covered parking structure is converted or demolished in conjunction with the construction of an accessory dwelling unit, those off-street parking spaces shall be replaced. The replacement spaces may be located in any configuration on the same lot as the accessory dwelling unit, including, but not limited to, covered spaces, uncovered spaces, or tandem spaces, or by the use of mechanical parking lifts. No setback is required for an existing garage that is converted to an accessory dwelling unit or portion of an accessory dwelling unit.

(C) Parking in setback areas or tandem parking may be denied if found to be infeasible due to specific site or fire and life safety conditions.

(D) Exceptions. Off-street parking spaces for the accessory dwelling unit are not required if any of the following circumstances apply.

(i)-(ii) [Text unchanged]

(iii) The accessory dwelling unit is part of the proposed or existing primary residence or an accessory structure.

(iv) [Text unchanged]

(5) [Text unchanged]

(d) Conversions of Existing Interior Space. An application for a building permit to create one accessory dwelling unit on a lot containing one single-family dwelling in the R-0, R-1, R-1.5, R-1.7/PD, R-2, or residential DSP zoning districts shall be ministerially approved subject to the following requirements:

(1) The unit is contained within the existing space of a legally permitted single family residence or accessory structure, including, but not limited to, a studio, pool house, or other similar structure.

(2)-(7) [Text unchanged]

SECTION 2. CEQA - EXEMPTION. The City Council finds that this ordinance is statutorily exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 21080.17 of the Public Resources Code, which provides that CEQA does not apply to the adoption of an Accessory Dwelling Unit ordinance to implement the provisions of Section 65852.2 of the Government Code. The Council therefore directs that the Planning Division may file a Notice of Exemption with the Santa Clara County Clerk in accordance with the Sunnyvale Guidelines for the implementation of CEQA adopted by Resolution No. 118-04.

SECTION 3. CONSTITUTIONALITY; SEVERABILITY. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such decision or decisions shall not affect the validity of the remaining portions of this ordinance. The City Council hereby declares that it would have passed this ordinance, and each section, subsection, sentence, clause and phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared invalid.

SECTION 4. EFFECTIVE DATE. This ordinance shall be in full force and effect thirty (30) days from and after the date of its adoption.

SECTION 5. POSTING AND PUBLICATION. The City Clerk is directed to cause copies of this ordinance to be posted in three (3) prominent places in the City of Sunnyvale and to cause publication once in The Sun, the official publication of legal notices of the City of Sunnyvale, of a notice setting forth the date of adoption, the title of this ordinance, and a list of places where copies of this ordinance are posted, within fifteen (15) days after adoption of this ordinance.

Introduced at a regular meeting of the City Council held on February 6, 2018, and adopted as an ordinance of the City of Sunnyvale at a regular meeting of the City Council held on _____, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSAL:

ATTEST:

APPROVED:

City Clerk
Date of Attestation: _____

Mayor

(SEAL)

APPROVED AS TO FORM:

City Attorney



City of Sunnyvale

Agenda Item

18-0060

Agenda Date: 2/27/2018

REPORT TO CITY COUNCIL

SUBJECT

Proposed Project: Call for Review by the City Council of a Decision by the Planning Commission Approving Related Applications on a 0.34-acre site:

SPECIAL DEVELOPMENT PERMIT: to develop four new single family homes. The existing single family home and accessory living unit are proposed to be demolished.

VESTING TENTATIVE MAP: to subdivide one lot into four lots

File #: 2017-7248

Location: 838 Azure Dr. (APN: 211-18-030)

Zoning: R-2/PD (Residential Low-Medium Density/Planned Development)

Applicant / Owner: Xin Lu

Environmental Review: Mitigated Negative Declaration

Project Planner: Ryan Kuchenig, (408) 730-7431, rkuchenig@sunnyvale.ca.gov

SUMMARY OF COMMISSION ACTION

The Planning Commission considered this item on December 11, 2017 and voted to approve the Special Development Permit and Vesting Tentative Map with the recommended findings in Attachment 3 and modified conditions of approval in Attachment 4. The vote was 4-2, with Commissioner Howe and Olevson dissenting. Commissioner Howard was absent. As captured in more detail in the Minutes of the Planning Commission of December 11, 2017 (Attachment 8), the following modified Conditions of Approval were approved:

- Add PS-1 b) regarding addition of backing to allow safety bars in bathtub area;
- Modify BP-5 regarding appropriate curb color painting for four sets of trash and recycling containers (each set is three carts) along the public street;
- Add BP-22 h) regarding the size and paving for the guest parking space between Azure Drive and Unit 2;
- Add BP-38 to specify that all garages be pre-wired for electric vehicles, as required by the Building Code;
- Add BP-19 g) regarding implementation of International Dark-Sky Association (IDA) approved exterior lighting hardware;
- Remove PS-1 a) regarding the minimum combined second-story side yard setback requirement; and,
- Add BP-9 g) to require that native large species trees as appropriate for the site be selected and to consult with the City Arborist to ensure no new trees would be vectors for Sudden Oak Death or fire volatility.

DISCUSSION

This application was called for review by Councilmembers Melton and Goldman in accordance with the provisions of Section 19.98.070 of the Sunnyvale Municipal Code. Unlike an appeal of a Planning Commission action, a call for review does not require any statement on the reason for the request.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

ALTERNATIVES

1. Make the findings required by CEQA in Attachment 3, affirm the adoption of the Mitigated Negative Declaration and affirm the decision of the Planning Commission to approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and conditions of approval in Attachment 4.
2. Make the findings required by CEQA in Attachment 3, affirm the adoption of the Mitigated Negative Declaration and modify the decision of the Planning Commission to approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and modified conditions of approval in Attachment 4.
3. Make the findings required by CEQA in Attachment 3, affirm the adoption of the Mitigated Negative Declaration and reverse the decision of the Planning Commission to approve the Special Development Permit and Tentative Map.
4. Do not adopt the Mitigated Negative Declaration and direct staff as to where additional environmental analysis is required.

STAFF RECOMMENDATION

Alternative 1: Make the findings required by CEQA in Attachment 3 to the report, affirm the adoption of the Mitigated Negative Declaration and affirm the decision of the Planning Commission to approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and conditions of approval in Attachment 4 to the report.

The project will improve the condition of the existing site and will provide additional home ownership opportunities. The development has been designed to complement the adjacent neighborhood through high quality architecture and building materials with an appropriate site design and landscaping. The requested first story combined side yard setback deviation, as allowed by the Planning Commission is reasonable and not anticipated to negatively affect adjacent properties. Potential environmental impacts can be mitigated to less than significant levels with the measures included in the conditions of approval.

Prepared by: Ryan Kuchenig, Senior Planner
Reviewed by: Andrew Miner, Planning Officer
Reviewed by: Trudi Ryan, Director of Community Development
Reviewed by: Teri Silva, Assistant City Manager
Approved by: Kent Steffens, City Manager

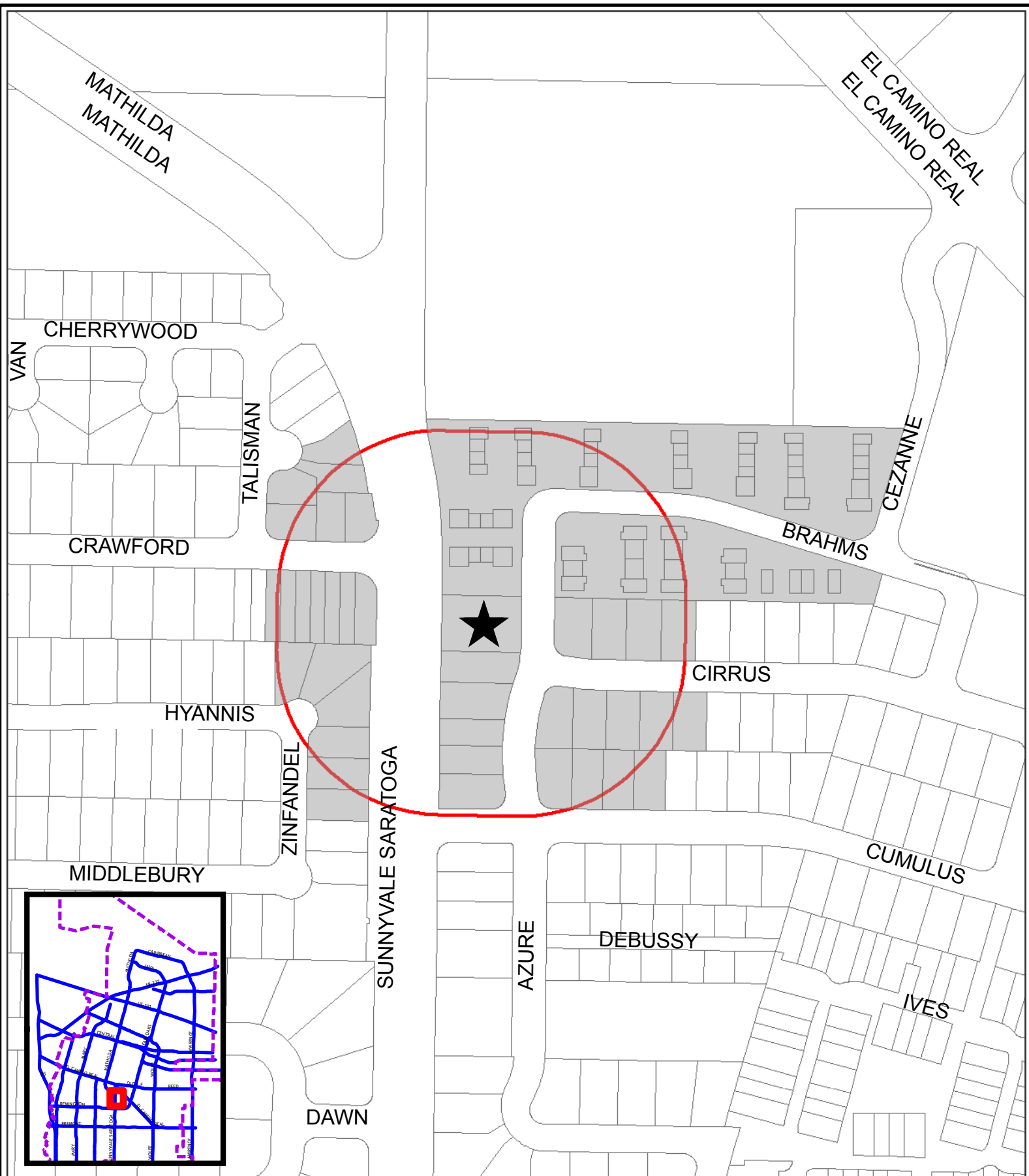
ATTACHMENTS

1. Noticing and Vicinity Map

2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval (*updated to reflect Planning Commission action*)
5. Initial Study - Mitigated Negative Declaration
6. Site and Architectural Plans

Additional Attachments for Report to Council

7. Report to Planning Commission 17-1151, December 11, 2017 (without attachments)
8. Excerpt of Minutes of the Planning Commission Meeting of December 11, 2017



2017-7248

842 Sunnyvale-Saratoga Rd. (APN: 211-18-030)

300-ft Area Map

0 75 150 300 Feet



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Medium Density	Same	Residential Low Medium Density
Zoning District	R-2/PD	Same	R-2/PD
Lot Size (s.f.)	14,659	Same	8,000 min.
Gross Floor Area (s.f.)	3,459	8,492	No Max
Floor Area Ratio (FAR)	24%	58%	No max (45% threshold for Planning Commission review)
Lot Coverage	24%	35%	40% max.
No. of Units	1 single-family home plus one accessory living unit	4	4 max.
Density (units/acre)	6	12	12 max
Meets 75% min?	N/A	Yes	8 min.
Bedrooms/Unit	N/A	4	---
Unit Sizes (s.f.)	N/A	2,014 – 2,232 (incl. garages)	N/A
Lockable Storage/Unit	N/A	Within 2-car garage	300 cu. ft. min. storage or 2-car garage
No. of Buildings On-Site	3	4	N/A
Building Height (ft.)	Approx. 16'	28'	30' max. (35' through green building incentive)
No. of Stories	1	2	2 max.
Setbacks (first story/second story)			
Front (ft.) (Azure Street)	8'	20'/25'	20'/25' min.
Side (ft.) (North)	4'	6' (12' combined)/10' (20' combined)	4' (20'6" combined)/ 7' (26'6" combined)
Side (ft.) (South)	11'	6' (12' combined)/10' (20' combined)	4' (20'6" combined)/ 7' (26'6" combined)
Rear (Sunnyvale- Saratoga Road)	28'	10'/20'	10' (w/25% encroachment)/20'
Landscaping			



	EXISTING	PROPOSED	REQUIRED/ PERMITTED
Total Landscaping (sq. ft.)	N/A	5,900	2,932 min.
Landscaping (sq. ft. per unit)	N/A	1,475	850
Usable Open Space (sq. ft. per unit)	N/A	542	500 min. per unit
Parking Lot Area Shading	N/A	51.5%	50% min. in 15 years
Water-Efficient Landscaping Compliance	N/A	80% min. water- conserving plants and limit 25% turf	Water Budget Or 80% min. water- conserving plants and limit 25% turf
Parking			
Total Spaces	4	17 (2 garage spaces per home, plus 9 uncovered spaces)	2 Covered/ 2 uncovered per home - 16 Total
Covered Spaces	N/A	2 per unit	2 per unit
Aisle Width (ft.)	N/A	18'-24'	18' min.
Impervious Surface Area (sq. ft.)	8,408	8,828	None per zoning code
Impervious Surface (%)	57%	60%	None per zoning code

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

RECOMMENDED FINDINGS
2017-7248
838 Azure Street

Adoption of Mitigated Negative Declaration

In order to adopt the Mitigated Negative Declaration, the City Council must make the following findings per CEQA Guidelines Section 15074:

1. The Mitigated Negative Declaration was prepared and circulated for public review in accordance with the requirements of the California Environmental Quality Act.
2. The City Council has read and considered the Mitigated Negative Declaration and finds on the basis of the whole record before it, including the Initial Study and any comments received, that there is no substantial evidence that the proposed Project will have a significant effect on the environment.
3. The Mitigated Negative Declaration reflects the City Council independent judgment and analysis.
4. The mitigation measures listed in the Mitigated Negative Declaration have been incorporated as conditions of approval of the Project, including a program for reporting and monitoring the measures required to mitigate or avoid significant environmental effects.
5. The Department of Community Development, Planning Division, is the custodian of the records of the proceedings on which this decision is based. The records are located at Sunnyvale City Hall, 456 West Olive Ave., Sunnyvale, CA 94086.

Special Development Permit

Goals and Policies that relate to this project are:

- **Policy LT-2.1** Recognize that the City is composed of residential, industrial and commercial neighborhoods, each with its own individual character; and allow change consistent with reinforcing positive neighborhood values.
- **Policy LT-3.2** Encourage the development of ownership housing to maintain a majority of housing in the city for ownership choice.
- **Policy LT-4.1** Protect the integrity of the City's neighborhoods; whether residential, industrial or commercial.
- **Policy LT-4.2** Require new development to be compatible with the neighborhood, adjacent land uses, and the transportation system.

- **Policy LT-4.4** Preserve and enhance the high quality character of residential neighborhoods.
- **Policy CC-1.3** Ensure that new development is compatible with the character of special districts and residential neighborhoods.
- **Policy HE-1.1** Encourage diversity in the type, size, price and tenure of residential development in Sunnyvale, including single-family homes, townhomes, apartments, mixed-use housing, transit-oriented development and live-work housing.
- **Policy HE-4.3** Require new development to build to at least 75 percent of the maximum zoning density, unless an exception is granted by the City Council.

In order to approve the Special Development Permit, the decision maker must be able to make at least one of the following findings:

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale. (*Finding met.*)

The proposed project attains the goals and policies of the General Plan, as listed above, by providing four ownership opportunities in compliance with the planned residential density for the area. The high quality architectural design and materials of proposed development will enhance the neighborhood aesthetics and contribute positively to the streetscape. The site is within proximity of transit (bus stops within ½ mile away along Sunnyvale-Saratoga Road and El Camino Real) and shopping (Safeway along El Camino Real is ¼ mile away).

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties. (*Finding met.*)

The project proposal complies with most development standards and is compatible in density and use to surrounding development. The architectural design and scale of the two-story homes are also similar to surrounding development. The requested deviation for first story combined side yard setbacks allows for adequate vehicular access and parking within a four-unit site layout configuration. Conditions of approval required increased setback for the second story to meet Code standards and reduced impact to the neighboring properties. Proposed landscaping and tree replacements will further improve the streetscape and buffer the site development to the neighboring development. The garages of each unit face the interior of the site, allowing the entrances of the front units to face the public street and better relate to the surrounding neighborhood.

Tentative Map

In order to approve the Tentative Map, the proposed subdivision must be consistent with the general plan. Staff finds that the Tentative Map is in conformance with the General Plan. However, if any of the following findings can be made, the Tentative Map shall be denied.

1. That the subdivision is not consistent with the General Plan.
2. That the design or improvement of the proposed subdivision is not consistent with the General Plan.
3. That the site is not physically suitable for the proposed type of development.
4. That the site is not physically suitable for the proposed density of development.
5. That the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
6. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
7. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
8. That the map fails to meet or perform one or more requirements or conditions imposed by the "Subdivision Map Act" or by the Municipal Code.

Staff was not able to make any of the following findings and recommends approval of the Tentative Map.

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
FEBRUARY 27, 2018**

Planning Application 2017-7248

838 Azure Street

(APN: 211-18-030)

Special Development Permit for the construction of 4 two-story
Single-Family Homes, and

Tentative Map to subdivide one lot into 4 lots.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

**GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD
DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED
PROJECT.**

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not

-
- exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]
- GC-3. INDEMNITY:
The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]
- GC-4. NOTICE OF FEES PROTEST:
As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]
- GC-5. ON-SITE AMENITIES:
Swimming pools, spas, pool equipment structures, play equipment and other accessory utility buildings, except as otherwise subject to Planning Commission review, may be allowed by the Director of Community Development subject to approval of design, location and colors per Sunnyvale Municipal Code standards for properties within the R-2 zoning district. [COA] [PLANNING]
- GC-6. STORMWATER MANAGEMENT PLAN:
Project is subject to Provision C3, of the Municipal Regional Stormwater Permit Order No. R2-2009-0074, as determined by a completed "Stormwater Management Plan Data Form", and therefore must submit a Stormwater Management Plan as per SMC 12.60.140 prior to issuance of the building permit. [SDR] [PLANNING]
- GC-7. PUBLIC IMPROVEMENTS:

The developer is required to install, per Sunnyvale Municipal Code Sections 18.08, all public improvements, which may include but not be limited to, curb & gutter, sidewalks, driveway approaches, street pavements, utility extensions and connections, meters/vaults, trees and landscaping, traffic signage, striping, street lights, etc.

All public improvements shall be designed and constructed in accordance with current City design standards, standard details and specifications, and Americans with Disabilities Act (ADA) requirements where applicable, unless otherwise approved by the Department of Public Works.

The developer is required to complete the installation of all public improvements and other improvements deemed necessary by the Public Works Department, prior to occupancy of the first building, or to the satisfaction of the Department of Public Works. [COA] [PUBLIC WORKS]

GC-8. OFF-SITE IMPROVEMENT PLANS:

Submit off-site improvement plans separate from the Building on-site improvement plans as the off-site improvement plans are approved through a Public Works Encroachment Permit process. Sheet C3.0 and C4.0 of Plans dated 12/06/17 is subject to change during the plan check process. [SDR] [PUBLIC WORKS]

GC-9. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

GC-10. PARCEL MAP RECORDATION:

This project is subject to, and contingent upon the approval of a tentative parcel map and recordation of a Parcel Map. The submittal, approval and recordation of the Parcel Map shall be in accordance with the provisions of the California Subdivision Map Act and Sunnyvale Municipal Code Title 18 Subdivision requirements. All existing and proposed property lines, easements, dedications shown on the tentative parcel map are subject to City's technical review and approval during the parcel map process prior to any grading or building permit. Sheet C1.0 of Tentative Parcel Map submittal dated 12/06/17 is subject to change during plan check process. [COA] [PUBLIC WORKS]

GC-11. BUILDING CODES AND PERMIT FEES:

Building permit fees and applicable building codes will be based on the fee resolution and building codes effective at the time of building permit submittal.

GC-12. FUTURE HOME ADDITIONS/MODIFICATIONS:

Future home modifications/additions will be subject to the Sunnyvale Municipal Code development standards for properties within the R-2 zoning district, such as setbacks, parking, lot coverage and floor area ratio. Home modifications/additions will be subject to the required permit procedures in place at that time, to ensure conformance with development standards, design guidelines, and compatibility with the subdivision and neighboring properties. [COA] [PLANNING]

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. REQUIRED REVISIONS TO PROJECT PLANS:

The plans shall be revised to address the following:

- a) ~~**The minimum combined second story side yard setback shall be increased from 20 feet to 26 feet and 6 inches. (This C.O.A. removed per Planning Commission approval on December 11, 2017).**~~
- b) **Install blocking in bathtub area walls to enable installation of safety bars (Per Planning Commission approval on December 11, 2017).**

PS-2. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

PS-3. HYDRAULIC MODELING:

Hydraulic Modeling Report shall be finalized prior to first off-site improvement plan check submittal. Developer shall pay City a fee, in an amount determined by the City, for a Water System Hydraulic Modeling Report analysis to ensure that water main servicing the proposed project would meet various City design guidelines and other statutory requirements for fire, domestic and irrigation flows in terms of pipe size, demands, pressure and velocity.

Upgrade of existing water main by the developer may be required as determined by the City and shall be incorporated into first off-site improvement plan check submittal. Developer shall receive fair-share credit as determined by the City if upgrades of water main are required. Contact Environmental Services Department/Water Operations at [408-730-2744](tel:408-730-2744) for more information. [COA] [ENVIRONMENTAL SERVICES/PUBLIC WORKS]

PS-4. SANITARY SEWER ANALYSIS:

Prior to first off-site plan check submittal, submit a focused sanitary sewer analysis, to be reviewed and approved by the City, identifying the overall project impact to the City's existing sanitary sewer main(s). This includes, but is not limited to, the following:

- a) A detailed estimate of water consumption in gallons per day or estimate of sanitary sewer discharge in gallons per day; and
- b) Any incremental impact that will result from the new project in comparison to the existing sewer capacity of the immediate downstream mainline as needed, and allocation of wastewater discharge from the project site to each of the proposed laterals. Any deficiencies in the existing system in the immediate vicinity of the project will need to be addressed and resolved at the expense of the developer as part of the off-site improvement plans. Sewer flow monitoring data may be required as needed. Any mitigation improvements needed shall be incorporated in the first plan check submittal. [COA] [PUBLIC WORKS]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. NOTICE OF CONDITIONS OF APPROVAL:

A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number, attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

- For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are the person(s) who have signed the Notice of Conditions of Approval. [COA] [PLANNING]
- BP-4. BLUEPRINT FOR A CLEAN BAY:
The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]
- BP-5. SOLID WASTE DISPOSAL PLAN:
A detailed solid waste disposal and recycling design plan shall be submitted for review and approval by the Director of Community Development prior to issuance of building permit. The solid waste disposal plan and building permit plans shall demonstrate compliance with current City requirements and guidelines for residential projects. ***Appropriate curb color shall be painted for four sets trash and recycling containers on the street (Per Planning Commission approval on December 11, 2017).*** [COA]
[PLANNING/ENVIRONMENTAL SERVICES]
- BP-6. ROOF EQUIPMENT:
Roof vents, pipes and flues shall be combined and/or collected together on slopes of roof or behind parapets out of public view as per Title 19 of the Sunnyvale Municipal Code and shall be painted to match the roof. [COA] [PLANNING]
- BP-7. FEES AND BONDS:
The following fees and bonds shall be paid in full prior to issuance of building permit.
- a. TRANSPORTATION IMPACT FEE - Pay Traffic Impact fee for the net new trips resulting from the proposed project, estimated at **\$7,411.00**, prior to issuance of a Building Permit. (SMC 3.50).
 - b. PARK IN-LIEU - Pay Park In-lieu fees estimated at **\$210,721.50**, prior to approval of the Final Map or Parcel Map. (SMC 18.10). [SDR]
[PLANNING]
- BP-8. MECHANICAL EQUIPMENT (EXTERIOR):
Detailed plans showing the locations of individual exterior mechanical equipment/air conditioning units shall be submitted and subject to review and approval by the Director of Community Development prior to issuance of building permits. Proposed locations shall have minimal visual and minimal noise impacts to neighbors and ensure adequate

usable open space. Individual exterior mechanical equipment/air conditioning units shall be screened with architecture or landscaping features. [PLANNING] [COA]

BP-9. LANDSCAPE PLAN:

Landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. Landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). The landscape plan shall include the following elements:

- a) All areas not required for parking, driveways or structures shall be landscaped.
- b) Ten percent (10%) shall be 24-inch box size or larger and no tree shall be less than 15-gallon size.
- c) Any “protected trees”, (as defined in SMC 19.94) approved for removal, shall be replaced, at a minimum, with a specimen tree as follows:
 - i) 12-inch to 18-inch diameter tree shall be replaced with one 24-inch box or three (3) 15-gallon trees;
 - ii) 18-inch to 24-inch diameter protected trees shall be replaced with one (1) 36-inch box tree or two (2) 24-inch box trees; and
 - iii) Over 24-inch diameter protected trees shall be replaced with one (1) 48-inch box tree, two (2) 36-inch box trees or four (4) 24-inch box trees.
- d) Ground cover shall be planted so as to ensure full coverage eighteen months after installation.
- e) Backflow device and other appurtenances are to include screening and covers as approved by the Director of Community Development. This includes all devices (irrigation, DCDA, etc.) located in the front yard landscape areas. Covers should be black, metal mesh with rounded top covers (e.g. “mailbox style”).
- f) Decorative pervious paving shall be installed within the first 15 feet of the driveway off Azure street, as well the pedestrian walkway leading from the private access gate to the center drive aisle. All uncovered parking spaces shall also utilize pervious decorative paving.
- g) ***Select native large species trees as appropriate for the site and consult with the City Arborist to ensure that no new trees would be vectors for Sudden Oak Death or fire volatility (Per Planning Commission approval on December 11, 2017). [COA] [PLANNING]***

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- BP-10. LANDSCAPE MAINTENANCE PLAN:
Prepare a landscape maintenance plan subject to review and approval by the Director of Community Development prior to issuance of building permit. [COA] [PLANNING]
- BP-11. TREE PROTECTION PLAN:
Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:
- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
 - b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
 - c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
 - d) The tree protection plan for any impacted off-site trees shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]
- BP-12. ON-SITE PRIVATE WATER METER(S)
The developer shall install individual private water meters for each residence, and for each ancillary building on-site. [COA] [BUILDING]
- BP-13. STORMWATER MANAGEMENT CALCULATIONS:
Submit two copies of the City of Sunnyvale Impervious Surface Calculation worksheet prior to issuance of a Building Permit. [COA] [PLANNING]
- BP-14. STORMWATER MANAGEMENT PLAN:
Submit two copies of a Stormwater Management Plan subject to review and approval by Director of Community Development, pursuant to SMC 12.60, prior to issuance of building permit. The Stormwater Management Plan shall include as updated Stormwater Management Data Form. [COA] [PLANNING/ENVIRONMENTAL SERVICES]

- BP-15. **STORMWATER MANAGEMENT PLAN THIRD-PARTY CERTIFICATION:**
Third-party certification of the Stormwater Management Plan is required per the following guidance: City of Sunnyvale – Stormwater Quality BMP Applicant Guidance Manual for New and Redevelopment Projects – Addendum: Section 3.1.2 Certification of Design Criteria Third-Party Certification of Stormwater Management Plan Requirements. The third-party certification shall be provided prior to building permit issuance. [SDR] [PLANNING/ENVIRONMENTAL SERVICES]
- BP-16. **CONSTRUCTION MATERIAL AND STAGING:**
All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements. [COA] [PUBLIC WORKS]
- BP-17. **BEST MANAGEMENT PRACTICES - STORMWATER:**
The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:
- c. Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
 - d. Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
 - e. Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
 - f. Covered trash, food waste, and compactor enclosures.
 - g. Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i. Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii. Dumpster drips from covered trash and food compactor enclosures.
 - iii. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv. Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.

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- v. Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-18 CITY STREET TREES (SUBDIVISION):

At the expense of the subdivider, City staff shall install required street trees of a species determined by the Public Works Department. Obtain approval of a detailed landscape and irrigation plan from the Director of Community Development (SMC 19.37) prior to issuance of a Building Permit. [SDR] [PLANNING/PUBLIC WORKS]

BP-19. EXTERIOR LIGHTING PLAN:

Prior to issuance of a Building Permit submit an exterior lighting plan, including fixture and pole designs, for review and approval by the Director of Community Development. Driveway and parking area lights shall include the following:

- a) Sodium vapor (or illumination with an equivalent energy savings).
- b) Pole heights to be uniform and compatible with the areas, and shall not exceed 8 feet.
- c) Provide photocells for on/off control of all security and area lights.
- d) All exterior security lights shall be equipped with vandal resistant covers.
- e) Wall packs shall not extend above the roof of the building.
- f) Lights shall have shields to prevent glare onto adjacent residential properties.
- g) ***In consultation with City staff, implement International Dark Sky Association (IDA) approved exterior lighting hardware (Per Planning Commission approval on December 11, 2017). [COA] [PLANNING]***

BP-20. PHOTOMETRIC PLAN:

Prior to issuance of a Building Permit submit a contour photometric plan for approval by the Director of Community Development. The plan shall meet the specifications noted in the Standard Development Requirements. [COA] [PLANNING]

BP-21. LIGHTING SPACING:

Installation of lights at a minimum of 50 feet intervals along all private streets. [COA] [PLANNING]

BP-22. PARKING MANAGEMENT PLAN:

A Parking Management Plan is subject to review and approval by the Director of Community Development prior to issuance of a building permit. The Parking Management Plan shall include the following:

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- a) A clear definition of “guest” as proposed by the property manager/homeowner’s association and subject to review and approval by the Director of Community Development.
 - b) The guest space located between Units #1 and #3, as noted on the approved site plan, shall be marked as “guest” and shall be noted in the approved maintenance agreement.
 - c) Clearly indicate that the property manager/homeowner’s association shall not rent unassigned spaces, except that a nominal fee may be charged for parking management.
 - d) Tenants shall use their assigned parking spaces prior to using unassigned parking spaces.
 - e) Prohibit tenants from parking RV’s, trailers, or boats in assigned spaces.
 - f) Notify potential residents that number of parking spaces provided for each unit on-site as per the approved plans.
 - g) Garage spaces shall be maintained at all times so as to allow for parking of two vehicles.
 - h) *The guest parking space between Unit #2 and Azure Drive shall not be expand and will retain decorative paved area in the front (Per Planning Commission approval on December 11, 2017).* [COA] [PLANNING]**
- BP-23. GREEN BUILDING:
The plans submitted for building permits shall demonstrate the project achieves a minimum of 80 points on the Green Point Rated checklist, or the minimum points required effective to achieve the incentive at the time of building permit submittal. The project plans shall be accompanied with a letter from the project’s Green Point Rater/LEED AP verifying the project is designed to achieve the required points. [COA] [PLANNING] [BUILDING]
- BP-24. CONSTRUCTION MANAGEMENT PLAN:
The project applicant shall implement a Construction Management Plan (CMP) to minimize impacts of construction on surrounding residential uses to the extent possible. The CMP shall be subject to review and approval by the Director of Community Development prior to issuance of a demolition permit, grading permit, or building permit. The CMP shall identify measures to minimize the impacts of construction including the following:
- a) Measures to control noise by limiting construction hours to those allowed by the SMC, avoiding sensitive early morning and evening hours, notifying residents prior to major construction activities, and appropriately scheduling use of noise-generating equipment.

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- b) Use 'quiet' models of air compressors and other stationary noise sources where such technology exists.
 - c) Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
 - d) Locate all stationary noise-generating equipment, such as air compressors and portable power generators, as far away as possible from residences or other noise-sensitive land uses.
 - e) All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements.
 - f) Locate staging areas and construction material areas as far away as possible from residences or noise-sensitive land uses.
 - g) Route all construction traffic to and from the project site via designated truck routes where possible. Prohibit construction-related heavy truck traffic in residential areas where feasible. Obtain approval of proposed construction vehicle truck routes from the Department of Public Works.
 - h) Manage construction parking so that neighbors are not impacted by construction vehicles. When the site permits, all construction parking shall be on-site and not on the public streets.
 - i) Prohibit unnecessary idling of internal combustion engine-driven equipment and vehicles.
 - j) Notify all adjacent business, residents, and noise-sensitive land uses of the construction schedule in writing. Notify nearby residences of significant upcoming construction activities at appropriate stages in the project using mailing or door hangers.
 - k) Designate a "disturbance coordinator" who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint and will require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule. [COA] [PLANNING]

BP-25. DEMOLITION/CONSTRUCTION/RECYCLING WASTE REPORT FORM:

To mitigate the impacts of large projects on local waste disposal and recycling levels, demolition waste weights/volumes, construction weights/volumes, and recycling weights/volumes are to be reported to the City, per City's "waste & recycling reporting form" (electronic copy available) or a similar chart approved by the City. As part of the project's construction specifications, the developer shall track the

type, quantity, and disposition of materials generated, and forward a complete report to the Department of Environmental Services, Solid Waste Division both periodically and at project completion. [COA] [ENVIRONMENTAL SERVICES]

BP -26. BUILDING PERMIT ISSUANCE:

The existing 10' Pacific Gas & Electric easement along the northern project limits shall be quitclaimed prior to building permit issuance for lots 1 and 3, unless otherwise approved by PG&E. [COA] [BUILDING/PUBLIC WORKS]

BP-27. UNDERGROUND UTILITIES:

All utilities shall be undergrounded per Sunnyvale Municipal Code Chapter 19.38.095. [COA] [PLANNING/PUBLIC WORKS]

BP-28. HISTORIC AND CULTURAL RESOURCES:

Final construction drawings shall incorporate all mitigation measures related to historic and cultural resources as set forth under "Mitigation Measures" in the approved environmental document and as noted below. [COA] [PLANNING]

MITIGATION MEASURE - HISTORIC AND CULTURAL RESOURCES
WHAT:

1. An archeological monitor or a Native American representative must monitor ground disturbing demolition, grubbing, scraping, grading, trenching and any other excavation within the project site. Archeological monitoring must be continued until the archeologist or Native American monitors are satisfied that no significant cultural deposits will be impacted by the project.
2. If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and the County Coroner as well as a qualified archeologist (if not already present) must be notified immediately so that an evaluation can be performed. Procedures at this point are prescribed by law. If the remains are deemed to be Native American and prehistoric, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated. Once the Most Likely Descendant has inspected the discovered remains, the remains can be reinterred with appropriate dignity.
3. Archeological monitoring must be conducted following the procedures specified below in the event that potentially significant cultural deposits or human burials are found during the development:
 - a. Monitoring will consist of directly watching the major excavation process. Monitoring will occur during the entire work day, and will continue on a daily basis until a depth of

excavation has been reach at which resources could not occur. This depth is estimated as usually about 5 feet below grade at the beginning of the project, but may require modifications in specific cases, and will be determined by the monitoring archeologist based on observed soil conditions.

- b. Spot checks will consist of partial monitoring of the progress of excavation over the course of the project. During spot checks all soils material, open excavations, recently grubbed areas, and other soil disturbances will be inspected. The frequency and duration of spot checks will be based on the relative sensitivity of the exposed soils and active work areas. The monitoring archeologist will determine the relative sensitivity of the parcel.
- c. If prehistoric human interments (human burials) are encountered within the project area, all work must be halted in the immediate vicinity of the find. The County Coroner, project superintendence, and the Agency Liaison should be contacted immediately. The procedures to be following at this point are prescribed by law.
- d. If significant cultural deposits other than human burials are encountered, the project should be modified to allow the artifacts or features to be left in place, or the archaeological consultant should undertake the recovery of the deposit or feature. Significant cultural deposits are defined as archaeological features or artifacts that associate with the prehistoric period, the historic era Mission and Pueblo Periods and the American era up to about 1900.
- e. Whenever the monitoring archaeologist suspects that potentially significant cultural remains or human burials have been encountered, the piece of equipment that encounters the suspected deposit will be stopped, and the excavation inspected by the monitoring archaeologist. If the suspected remains prove to be non-significant or non-cultural in origin, work will recommence immediately. If the suspected remains prove to be part of a significant deposit, all work should be halted in that location until removal has been accomplished. If human remains (burials) are found, the County Coroner must be contacted so that they (or a designated representative) can evaluate the discovered remains and implement proper contacts with pertinent Native American representatives.
- f. Equipment stoppages will only involve those pieces of equipment that have actually encountered significant or potentially significant deposits, and should not be construed to mean a stoppage of all equipment on the site unless the cultural deposit covers the entire building site.

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4. During temporary equipment stoppages brought about to examine suspected remains, the archaeologist should accomplish the necessary tasks with all due speed.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-29. AIR QUALITY:

Final construction drawings shall incorporate all mitigation measures related to air quality as set forth under “Mitigation Measures” in the approved environmental document and as noted below. [COA] [PLANNING]

MITIGATION MEASURE – AIR QUALITY

WHAT:

1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
4. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour (mph).
5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.

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8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
 9. All diesel-powered construction equipment larger than 50 horsepower and operating onsite for more than two days continuously shall meet US EPA particulate matter emission standards for Tier 2 engines or equivalent. Equipment retrofitted with CARB Level 3 Verified Diesel Emissions Control Strategy (VDECS) would exceed this standard.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-30. CONSTRUCTION RELATED NOISE:

Final construction drawings shall incorporate all mitigation measures related to air quality as set forth under "Mitigation Measures" in the approved environmental document and as noted below. [COA] [PLANNING]

MITIGATION MEASURE – CONSTRUCTION RELATED NOISE

WHAT:

1. All internal combustion engines used at the project site must be equipped with a type of muffler recommended by the vehicle manufacturer. All equipment must be in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.
2. Construction operations must comply with the limits of the City of Sunnyvale Municipal Code.
3. Place long-term stationary equipment as far away from the residential areas as possible.
4. Demolish the east and west portions of the existing buildings first leaving the north and south walls of the buildings closest to the neighboring residences up for as long as possible as these walls will act as sound barriers.
5. Keep mobile equipment (haul trucks, concrete trucks, etc.) off of local streets as much as possible.

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6. Orient the concrete crusher so that the hopper (noise end) faces away from noise sensitive receptors.
 7. Use scrapers as much as possible for earth removal, rather than the noisier loaders and hauling trucks.
 8. Use a motor grader rather than a bulldozer for final grading.
 9. Power saws should be shielded or enclosed where practical to decrease noise emissions. Nail guns should be used where possible as they are less noisy than manual hammering.
 10. Use generators and compressors that are housed in acoustical enclosures rather than weather enclosures or none at all.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-31. BIOLOGICAL RESOURCES - WILDLIFE:

Final construction drawings shall incorporate all mitigation measures related to air quality as set forth under "Mitigation Measures" in the approved environmental document and as noted below. [COA] [PLANNING]

MITIGATION MEASURE – BIOLOGICAL RESOURCES - WILDLIFE

WHAT:

1. If construction commences anytime during the nesting/breeding season of native bird species (typically February through August), a qualified biologist must conduct a preconstruction survey of the project vicinity for nesting/breeding birds at least 30 days prior to the start of construction activities. The intent of the survey is to determine if active raptor nests or other species protected by the Migratory Bird Treaty Act are present within the construction zone or within 250 feet of construction zone for raptors and 50 feet of the construction zone for other migratory birds. The survey area must include all trees and shrubs within zones that have the potential to support nesting birds.
2. If active nests are found in the area that could be directly affected or are within 250 feet of construction for raptors and 50 feet for other migratory birds, a no-disturbance buffer zone must be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. Once

the young have fledged, tree removal and other construction activities may commence.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project applicant or property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-32. BIOLOGICAL RESOURCES- TREES:

Final construction drawings shall incorporate all mitigation measures related to air quality as set forth under “Mitigation Measures” in the approved environmental document and as noted below. [COA] [PLANNING]

MITIGATION MEASURE – BIOLOGICAL RESOURCES -TREES

WHAT:

1. Provide tree replacements per the City’s tree replacement standards. A tree replacement plan shall be provided.
2. Provide a tree protection plan to ensure retention of existing offsite trees that may be affected by the project construction. The plan shall include the following:
 - (a) All tree locations on the site plans and civil drawings.
 - (b) All tree protection measures on all the plans for trees to be retained. Refer to the project arborist report for general protection guidelines and specifications.
 - (c) Protect adjacent trees to be retained by placing tree protection fence at the setback to enclose the entire group to be retained (Tree 709, 710, and 711).
 - (d) Protect street trees # 720 and 721 by placing a fence at the curb and sidewalk edges.
3. Provide a copy of the project arborist report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect.
4. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.
5. Arrange for the project arborist or landscape architect to monitor and document initial grading activity and no grading is to occur

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- within any tree protection zone and approval for drainage modifications under the trees is required.
6. Provide a monthly monitoring schedule when activity is planned within the tree protection zone.
 7. Place irrigation or soaker hoses on the existing grade within the dripline/tree protection zone or use automatic irrigation under trees # 709, 710, 711, 720, or 721.
 8. Place two to four inches of organic mulch, coarse woody debris, chips from tree care operations under the trees and over the soaker hoses within the tree protection zone or maintain current irrigation regime.
 9. If construction is to take place between June and October, the trees should be watered to help mitigate any root loss and reduce stress. Ten gallons per inch of trunk diameter of water should be used to irrigate the root zones once a week with a deep soaking.
 10. If roots are expected to be cut, the work shall be supervised and documented by the project arborist. If tree roots two inches or larger are encountered, they must be cleanly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band, or be coated with latex paint. All exposed root areas within the tree protection zone shall be backfilled or covered within one hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper three feet of trench walls. The materials must be kept wet until backfilled to reduce evaporation from the trench walls.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

BP-33. AIR QUALITY:

The following measures are not considered CEQA mitigation measures, but are recommended for compliance to General Plan policies regarding air quality:

1. To the greatest degree possible, plant vegetation along the site boundary with Sunnyvale-Saratoga Rd. This barrier would include trees and shrubs that provide a vegetative barrier.
2. Install air filtration at units within 60 feet of the western site boundary with Sunnyvale-Saratoga Rd. Air filtration devices shall

be rated MERV13 or higher. To ensure adequate health protection to sensitive receptors, a ventilation system should meet the following minimal design standards:

- a) A MERV13 filter or higher rating;
 - b) At least one air exchange(s) per hour of fresh outside filtered air; and
 - c) At least four air exchange(s) per hour recirculation.
3. As part of implementing this measure, an ongoing maintenance plan for the buildings' heating, ventilation, and air conditioning (HVAC) air filtration system should be developed. Recognizing that emissions from air pollution sources are decreasing, the maintenance period will last as long as significant annual fine particulate matter exposures are predicted. Subsequent studies could be conducted by an air quality expert approved by the City to identify the ongoing need for the filtered ventilation systems as future information becomes available.
 4. The lease agreement and other property documents should: (1) require cleaning, maintenance, and monitoring of the affected buildings for air flow leaks, (2) include assurance that new owners or tenants are provided information on the ventilation system, and (3) include provisions that fees associated with owning or leasing a unit(s) in the building include funds for cleaning, maintenance, monitoring, and replacements of the filters, as needed.

BP-34. INTERIOR NOISE REDUCTION:

Final construction plans shall incorporate the following noise measures to achieve compliance with the City's noise level standards:

1. Interior Noise: Windows providing high acoustic insulation should be used:
 - a) If windows are located on the west wall (facing Sunnyvale-Saratoga Rd.), the windows should achieve a minimum OITC 36 rating. Windows on the east-facing walls will not require sound-rated windows.
 - b) If windows are located on the north and south walls, the windows should achieve a minimum OITC 33 rating.
 - c) Windows may be operable, however it is recommended to include a fresh air intake, preferably on the east side of the building which is subjected to lower sound levels.
 - d) All exterior walls should have a minimum STC-50 rating.
2. Exterior Noise:
 - a) There should be no exposed recreational areas, backyards, patios, or balconies on the second story of the units.
 - b) The proposed pedestrian gate on the Sunnyvale-Saratoga Rd. sound wall should be constructed of any solid material with a density no less than two pounds per square foot. Materials

meeting this standard include 0.5-inch thick wood, 0.5-inch outdoor plywood, 16 gauge steel sheet, and any masonry units. All gaps on the barrier should be sealed.

- c) Following construction of the sound wall extension, sound reading should be taken to determine its efficacy.

BP-35. HAZARDOUS MATERIALS: The following measures are not considered CEQA mitigation measures, but are recommended for compliance to General Plan policies regarding hazardous materials:

1. Prior to redevelopment of the project site, the Santa Clara County Department (DEH) of Environmental Health or the Department of Toxic Substances Control (DTSC) should be contacted to evaluate potentially required soil mitigation measures. All required mitigation measure should be completed under the oversight of an appropriate regulatory agency. Additional soil sampling may be required to better characterize the contamination at the site.
2. In addition, it is recommended that the project implement the following measures to protect construction workers by establish management practices for handling contaminated soil, soil vapor, groundwater, or other materials.
3. Prior to issuance of grading and/or building permits, a Health and Safety Plan (HSP) should be developed to establish appropriate protocols for working in contaminated materials. The HSP should include protocols for air monitoring during all site work. Each contractor should be responsible for the health and safety of their employees as well as for compliance with all applicable federal, state, and local laws and guidelines.
4. Prior to issuance of grading and/or building permits, a Site Management Plan (SMP) should be developed to establish management practices for handling contaminated soil, soil vapor, ground water, or other materials. Prior to the start of any construction activity that involves below ground work (e.g., mass grading, foundation construction, excavating or utility trenching), information regarding site risk management procedures, including copies of the HSP and SMP, should be provided to the contractors for their review, and each contractor should provide such information to its subcontractors. The SMP measures should be incorporated into the project design documents. The SMP should include all measure noted in the following:

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- a. Site control procedures to control the flow of personnel, vehicles and materials in and out of the site.
 - b. Measures to minimize dust generation, storm water runoff and tracking of soil off-site.
 - c. Dewatering protocols, if dewatering is anticipated, including methods to evaluate water quality and discharge/disposal alternatives; the pumped water should not be used for on-site dust control or any other on-site use. If long-term dewatering is required, the means and methods to extract, treat and dispose ground water also should be presented and should include treating/discharging ground water to the sanitary sewer under a Publicly Owned Treatment Works permit or treating/discharging ground water to the storm drain system pursuant to a California Regional Water Quality Control Board – San Francisco Bay Region NPDES permit.
 - d. Protocols for conducting earthwork activities in areas where impacted soil, soil vapor and/or ground water are present or suspected. Worker training requirements, health and safety measures and soil handling procedures should be described.
 - e. Perimeter air monitoring for dust during any activity that significantly disturbs site soil (e.g., mass grading, foundation construction, excavating or utility trenching) to document the effectiveness of dust control measures.
 - f. Protocols to be implemented if buried structures, wells, debris, or unidentified areas of impacted soil are encountered during site development activities.
 - g. Protocols to characterize/profile soil suspected of being contaminated so that appropriate mitigation, disposal or reuse alternatives, if necessary, can be implemented. Soil in contact with ground water should be assumed contaminated. All soil excavated and transported from the site should be appropriately disposed at a permitted facility.
 - h. Stockpiling protocols for “clean” and “impacted” soil; the contractor may require temporary stockpiling adjacent to excavation areas.
 - i. Decontamination procedures to reduce the potential for construction equipment and vehicles to release contaminated soil onto public roadways or other off-site transfer.
 - j. Procedures to evaluate and document the quality of any soil imported to the site. Soil containing chemicals exceeding residential (unrestricted use) screening levels or typical background concentrations of metals should not be accepted.
 - k. Methods to monitor excavations and trenches for the potential presence of VOC impacted vapors. Protocols should be developed and implemented in the event elevated VOC vapors are released during excavation activities.

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1. Measures to reduce soil vapor and ground water migration through trench backfill and utility conduits. Such measures should include placement of low-permeability backfill “plugs” at specified intervals on-site and at all locations where the utility trenches extend off-site. In addition, utility conduits that are placed below ground water should be installed with water-tight fittings to reduce the potential for ground water to migrate into the conduits.
 - m. Because the site is known to have pollutants with the potential for mobilization, the civil engineer should design the bottom and sides of the vegetated swales and water features (if incorporated into building designs) to be lined with a minimum 10-mil heavy duty plastic to help prevent site infiltration.
 - n. Measures to help reduce the potential for downward migration of contaminated groundwater.

BP-36. HAZARDOUS MATERIALS – RISK MANAGEMENT PLAN

The following measures are not considered CEQA mitigation measures, but are recommended for compliance to General Plan policies regarding hazardous materials.

Per the approved Risk Management Plan (RMP) by the County of Santa Clara Department of Health (DEH) on September 28, 2017, in reference to the report prepared by AEI Consultants and dated June 27, 2017 the following conditions apply:

1. A copy of the RMP must be kept on-site and available to contractors and site workers at all times.
2. The DEH shall be notified 5 days prior to the start of earthwork activities.
3. Encountered Unknown Conditions (Section 4.0) – In addition to the notifications listed in this section, the DEH must be notified as soon as possible if unanticipated environmental conditions are discovered during construction. Unanticipated conditions include, but are not limited to, environmental conditions that are not currently known about the site. For example, contamination outside of the known area of contamination, contamination at levels higher than reasonably anticipated based on site assessment data, or unknown underground storage tanks.
4. Dust Control (Section 3.3.5) – Prior to construction, the DEH must be notified of the party responsible to verify that dust control recommendations are practiced in the field, while the project is under construction.
5. A completion report shall be submitted to DEH subsequent to completion of earthwork activities.
6. Deed Restriction – Prior to case closure, a Deed Restriction/Environmental Covenant will be filed with the Santa Clara County Clerk Recorder Recorder’s Office. A copy of the filing

receipt and the fully executed deed restriction must be provided to the DEH before the case can be closed. The deed restriction will:

- a. State that actions that are prohibited to prevent contact with the soil consolidation cell(s).
 - b. State that if the consolidation cell(s) are damaged, the DEH must be notified and the consolidation cell(s) must be repaired.
 - c. Include a fact sheet to describe the environmental site conditions and the location of the consolidation cell(s).
7. Please submit the following documents to DEH via GeoTracker according to the following schedule:
- a. Completion Report 60 days after the completion of grading and subsurface utility work
 - b. Soil Cap Maintenance Plan – December 27, 2017

BP-37. PRE-APPROVED WATER-EFFICIENT LANDSCAPE PLANS:

The developer must install all landscaping and irrigation within the common lots and the private usable open space areas per approved site water-efficient landscape plans, and must submit a Landscaping Certificate of Completion, Irrigation Audit Report and Irrigation Schedule, and Landscaping Maintenance Schedule. Any future changes to the approved landscaped areas or planting changes that may affect the approved landscaping water budget calculations are subject to approval by the Director of Community Development. [COA] [PLANNING]

BP-38. PRE-WIRED GARAGES

All garages shall be pre-wired for electric vehicles, as required by Building Code (Per Planning Commission approval on December 11, 2017).

EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. COMPLETE OFF-SITE IMPROVEMENT PLAN SET:

A complete plan check set applicable to the project, which may include street improvement plans, streetscape plans, signing/stripping plans, erosion control plans, and traffic control plans shall be submitted as part of the first off-site improvement plans, including off-site engineering cost estimate. Joint trench plans may be submitted at a later date. No partial sets are allowed unless otherwise approved by the Department of Public Works. Sheet C3.0 and C4.0 of Plans dated 12/06/17 is subject to change during plan check process. See Improvement Plans – Submittal Checklist link: <https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=23625>

<https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=24002> [COA] [PUBLIC WORKS]

EP-2. UPGRADE OF EXISTING PUBLIC IMPROVEMENTS:

As part of the off-site improvement plan review and approval, any existing public improvements to be re-used by the project, which are not in accordance with current City standards and are not specifically identified in the herein project conditions (such as backflow preventers, sign posts, etc.), shall be upgraded to current City standards and as required by the Department of Public Works. [COA] [PUBLIC WORKS]

EP-3. BENCHMARKS:

The improvement plans shall be prepared by using City's latest benchmarks (NAVD88) available on City's website

<https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=23803>.

Plans based on NAVD29 will not be accepted. [COA] [PUBLIC WORKS]

EP-4. UTILITY CONNECTION:

This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]

EP-5. UTILITY CONNECTION TO THE MAIN:

All sanitary sewer laterals connecting to the new main line shall be at a new sanitary sewer manhole. Pursuant to City design standards, any new and retrofitted manholes require Sewpercoat, Mainstay or Sancon calcium aluminate cementitious mortar coating of the interior. [SDR] [PUBLIC WORKS]

EP-6. EXISTING UTILITY ABANDONMENT/RELOCATION:

Developer is responsible for research on all existing utility lines to ensure that there are no conflicts with the project. All existing utility lines (public or private) and/or their appurtenances not serving the project and/or have conflicts with the project, shall be capped, abandoned, removed, relocated and/or disposed of to the satisfaction of the City. Existing public facilities within the street right-of-way shall be abandoned per City's Abandonment Notes and procedures, including abandonment by other utility owners. [COA] [PUBLIC WORKS]

EP-7. MODIFICATIONS TO EXISTING PUBLIC UTILITIES:

Developer is required to pay for all changes or modifications to existing City utilities, streets and other public utilities within or adjacent to the project site, including but not limited to utility facilities/conduits/vaults relocation due to grade change in the sidewalk area, caused by the development. [COA] [PUBLIC WORKS]

- EP-8. STREETLIGHTS:
Developer shall replace the existing streetlight pole and fixture along Azure Street with a City approved marblelite pole and LED fixture. [COA] [PUBLIC WORKS]
- EP-9. DRY UTILITIES:
Submit dry utility plans and/or joint trench plans (PG&E, telephone, cable TV, fiber optic, etc.) to the Public Works Department for review and approval prior to the issuance of any permits for utility work within any public right-of-way or public utility easements. Separate encroachment permits shall be required for various dry utility construction. [SDR] [PUBLIC WORKS]
- EP-10. WET UTILITIES:
All wet utilities (water, sanitary sewer, storm drain) on private property shall be privately owned and maintained. The fire and domestic water systems shall be privately owned and maintained beyond the meter. [COA] [PUBLIC WORKS]
- EP-11. RE-USE OF EXISTING CITY UTILITY SERVICE LINES:
The re-use of existing City water service lines is not allowed. Re-use of existing City sanitary sewer and storm drain service lines and appurtenances is subject to City's review and approval. Developer's contractor shall expose the existing facilities during construction for City's evaluation or provide video footage of the existing pipe condition. Developer's contractor shall replace any deficient facilities as deemed necessary by the Department of Public Works. Sheet C3.0 and C4.0 of Plans dated 12/06/17 is subject to change during plan check process. [COA] [PUBLIC WORKS]
- EP-12. WATER METER:
Install new separate radio-read domestic water meter for each lot. Sheet C3.0 and C4.0 of Plans dated 12/06/17 is subject to change during plan check process. [COA] [PUBLIC WORKS]
- EP-13. SEWER MANHOLE:
Install new sewer manhole at the street right-of-way lines for all existing and proposed sanitary sewer laterals to be used for the project. [SDR] [PUBLIC WORKS]
- EP-14. NEW SEWER MAIN:
The contractor shall excavate a trench that extends to the lip-of-gutter for the portion of the sewer main that is within the project frontage on Azure Street. The trench shall be restored to City Standards following installation of the new sewer main and the new sidewalk, curb, and gutter. [COA] [PUBLIC WORKS]

- EP-15. SANITARY SEWER VIDEO:
The contractor shall make a video copy of the interior of the new sanitary sewer lateral installed prior to it is put into service. [COA] [PUBLIC WORKS]
- EP-16. SANITARY SEWER AND STORM DRAIN TRIBUTARY PATTERN:
This project is required to follow the existing sanitary sewer and storm drain tributary pattern. Any deviations would require additional analysis and subject to approval by the Public Works Department as part of the off-site improvement plan review process. This project shall not cause any negative impact on the drainage pattern for adjacent properties. All stormwater shall be retained on-site and any excess stormwater shall be addressed by overland release onto Azure Street. [COA] [PUBLIC WORKS]
- EP-17. UTILITY METER/VAULT:
No existing or new utility meters or vaults shall be located within the new driveway approach. All existing or new utility vaults serving the project site shall be located on-site and not within the public utility easement, if any. [COA] [PUBLIC WORKS]
- EP-18. DRIVEWAY APPROACHES:
Remove existing driveway approaches and install new driveway approaches along the project frontage to comply with Americans with Disabilities Act (ADA) requirements and City standard details and specifications. All unused driveway approaches shall be replaced with new curbs, gutters, and sidewalks per current City standards. [SDR] [PUBLIC WORKS]
- EP-19. STREETSCAPE IMPROVEMENTS:
Along project frontage on Azure Street, remove existing concrete curb, gutter and sidewalk and install new 6" concrete curb and 2' gutter per current City standards. Install a detached 6' wide sidewalk with 4' wide park-strip (not including 6-inch curb).

Along project frontage on Sunnyvale-Saratoga Road, remove and replace in-kind existing concrete sidewalk, curb, and gutter. [SDR] [PUBLIC WORKS]
- EP-20. ROOT BARRIER:
Install a continuous root barrier along new sidewalk along Azure Street adjacent to City trees per City standard details and specifications. [SDR] [PUBLIC WORKS]
- EP-21. DECORATIVE PAVEMENT:

-
- Any and all proposed decorative pavement and vertical curb pertaining to on-site development shall not be located within the City right-of-way. [COA] [PUBLIC WORKS]
- EP-22. TRAFFIC CONTROL PLAN:
Submit a traffic control plan with the off-site improvement plans for review and approval. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris. [COA] [PUBLIC WORKS]
- EP-23. SLURRY SEAL:
Developer shall install Type II slurry seal from lip of gutter to street centerline along project frontage on Azure Street. Developer shall also install Type III slurry seal from lip of gutter to bike lane along project frontage on Sunnyvale-Saratoga Road. Sheet C3.0 and C4.0 of Plans dated 12/06/17 is subject to change during plan check process. [COA] [PUBLIC WORKS]
- EP-24. CITY STREET TREES:
The developer shall install required street trees in proposed park-strip within the public right-of-way along the project frontage as follows: Azure Street: *Quercus Shumardi* – *Shumards Oak*. Street trees and frontage landscaping shall be included in the detailed landscape and irrigation plan subject to review and approval by the Department of Public Works prior to issuance of encroachment permit. New street trees shall be 24-inch box size or 15 gallon size spaced approximately 35 feet apart. No street trees are to be planted within 10' of a sanitary sewer lateral. Sheet C3.0 and C4.0 of Plans dated 12/06/17 is subject to change during plan check process. [SDR] [PUBLIC WORKS]
- EP-25. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:
Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]
- EP-26. RECORD DRAWINGS:
Stamped and signed record drawings of the off-site improvements shall be submitted to the city prior to encroachment permit sign-off. Upon completion of the streetlight improvements, developer shall provide record drawings to the City in AutoCAD format [COA] [PUBLIC WORKS] (SMC 13.08.160(a))

TM: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO THE APPROVAL OF THE FINAL MAP OR PARCEL MAP.

- TM-1. PARCEL MAP COMPLIANCE WITH TENTATIVE PARCEL MAP: The parcel map shall be substantially the same as the tentative parcel map. Any alteration of the tentative parcel map after the tentative parcel map is approved is subject to additional approval by the City and may require a public hearing. Sheet C1.0 of Tentative Parcel Map submittal dated 12/06/17 is subject to change during plan check process. [COA] [PLANNING/PUBLIC WORKS]
- TM-2. TITLE 18 AND SUBDIVISION MAP ACT:
The submittal, approval and recordation of the parcel map shall be in accordance with the provision of the California Subdivision Map Act and Sunnyvale Municipal Code Title 18 Subdivision requirements. [COA] [PUBLIC WORKS]
- TM-3. RESERVATION/ABANDONMENT OF EASEMENTS:
Reservation of new and/or abandonment of existing public PG&E easement, private utility easement(s), ingress/egress easement(s) necessary for the project shall be delineated on the map or recorded concurrently with the map with a separate instrument. (SMC 18.16.010 (c), Subdivision Map Act §66475 and §66499.20-1/2 for public easements) Quitclaim deed is required for abandonment of private easements prior to map recordation. All easements shall be kept open and free from buildings and structures of any kind except those appurtenances associated with the defined easements. [COA] [PUBLIC WORKS]
- TM-4. UTILITY COMPANY APPROVAL:
Obtain map approval letters from the utility companies in regards to any existing or new easements associated with their facilities. [COA] [PUBLIC WORKS]
- TM-5. PUBLIC WORKS DEVELOPMENT FEES:
The developer shall pay all applicable Public Works development fees associated with the project, including but not limited to, utility frontage and/or connection fees and off-site improvement plan check and inspection fees, prior to map recordation or any permit issuance, whichever occurs first. The exact fee amount shall be determined based upon the fee rate at the time of fee payment. [COA] [PUBLIC WORKS]
- TM-6. SUBDIVISION AGREEMENT AND IMPROVEMENT SECURITIES:
The developer shall execute a subdivision agreement and provide improvement securities and/or cash deposit(s) for all proposed public improvements prior to map recordation or any permit issuance, whichever occurs first. Provide an itemized engineer's estimate for all

-
- off-site public improvements for the entire project for determination of security amount. [COA] [PUBLIC WORKS]
- TM-7. MAINTENANCE AGREEMENT:
Prior to encroachment permit issuance, developer shall execute separate Maintenance Agreements for all lots for perpetual maintenance of private improvements located within PIEE. The subject Maintenance Agreement shall be recorded prior to first building occupancy for any lot. [COA] [PLANNING]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- PF-1. LANDSCAPING AND IRRIGATION:
All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]
- PF-2. PARKING LOT STRIPING:
All parking lot striping shall be striped as per the approved plans and Public Works standards. [COA] (PLANNING/ENGINEERING)
- PF-3. COMPLETION OF PUBLIC IMPROVEMENTS:
Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy. [COA] [PUBLIC WORKS]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

- DC-1. BLUEPRINT FOR A CLEAN BAY:
The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]
- DC-2. TREE PROTECTION:
All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]
- DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:
OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13,

Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

AT: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.

AT-1. LANDSCAPE MAINTENANCE:

All landscaping shall be installed in accordance with the approved landscape plan and shall thereafter be maintained in a neat, clean, and healthful condition. Trees shall be allowed to grow to the full genetic height and habit (trees shall not be topped). Trees shall be maintained using standard arboriculture practices. [COA] [PLANNING]

AT-2. PARKING MANAGEMENT:

On-Site parking management shall conform with the approved parking management plan. [COA] [PLANNING]

AT-3. RECREATIONAL VEHICLE STORAGE PROHIBITED:

-
- Unenclosed storage of any vehicle intended for recreation purposes, including land conveyances, vessels and aircraft, but excluding attached camper bodies and motor homes not exceeding 18 feet in length, shall be prohibited on the premises. [COA] [PLANNING]
- AT-4. BMP MAINTENANCE:
The project applicant, owner, landlord, or HOA, must properly maintain any structural or treatment control best management practices to be implemented in the project, as described in the approved Stormwater Management Plan and indicated on the approved building permit plans. [SDR] [PLANNING]
- AT-5. BMP RIGHT OF ENTRY:
The project applicant, owner, landlord, or HOA, shall provide access to the extent allowable by law for representatives of city, the local vector control district, and the Regional Water Quality Control Board, strictly for the purposes of verification of proper operation and maintenance for the storm water treatment best management practices contained in the approved Storm Water Management Plan. [SDR] [PLANNING]
- AT-6. RECYCLING AND SOLID WASTE:
All exterior recycling and solid waste shall be confined to approved receptacles and shall be staged for pick-up per approved plans. [COA] [PLANNING]

County of Santa Clara
Office of the County Clerk-Recorder
Business Division

County Government Center
70 West Hedding Street, E. Wing, 1st Floor
San Jose, California 95110 (408) 299-5688



Santa Clara County - Clerk-Recorder Office
State of California

File Number: ENV21217

ENVIRONMENTAL FILING

No. of Pages: 45

Total Fees: \$0.00

File Date: 11/21/2017

Expires: 12/10/2017

REGINA ALCOMENDRAS, Clerk-Recorder
By: Nina Khamphilath, Deputy Clerk-Recorder

CEQA DOCUMENT DECLARATION

ENVIRONMENTAL FILING FEE RECEIPT

PLEASE COMPLETE THE FOLLOWING:

1. LEAD AGENCY: City of Sunnyvale
2. PROJECT TITLE: 838 Azure Street - Four Single Family Homes
3. APPLICANT NAME: Xin Lu PHONE: 408-799-1017
4. APPLICANT ADDRESS: PO Box 1507 Cupertino, CA 95015
5. PROJECT APPLICANT IS A: ☐ Local Public Agency ☐ School District ☐ Other Special District ☐ State Agency ☒ Private Entity
6. NOTICE TO BE POSTED FOR 20 DAYS.
7. **CLASSIFICATION OF ENVIRONMENTAL DOCUMENT**

a. PROJECTS THAT ARE SUBJECT TO DFG FEES

- | | | |
|--|-------------|----------------|
| <input type="checkbox"/> 1. <u>ENVIRONMENTAL IMPACT REPORT</u> (PUBLIC RESOURCES CODE §21152) | \$ 3,078.25 | \$ <u>0.00</u> |
| <input type="checkbox"/> 2. <u>NEGATIVE DECLARATION</u> (PUBLIC RESOURCES CODE §21080(C)) | \$ 2,216.25 | \$ <u>0.00</u> |
| <input type="checkbox"/> 3. <u>APPLICATION FEE WATER DIVERSION</u> (STATE WATER RESOURCES CONTROL BOARD ONLY) | \$ 850.00 | \$ <u>0.00</u> |
| <input type="checkbox"/> 4. <u>PROJECTS SUBJECT TO CERTIFIED REGULATORY PROGRAMS</u> | \$ 1,048.50 | \$ <u>0.00</u> |
| <input type="checkbox"/> 5. <u>COUNTY ADMINISTRATIVE FEE</u> (REQUIRED FOR a-1 THROUGH a-4 ABOVE)
Fish & Game Code §711.4(e) | \$ 50.00 | \$ <u>0.00</u> |

b. PROJECTS THAT ARE EXEMPT FROM DFG FEES

- | | | |
|--|----------|----------------|
| <input type="checkbox"/> 1. NOTICE OF EXEMPTION (\$50.00 COUNTY ADMINISTRATIVE FEE REQUIRED) | \$ 50.00 | \$ <u>0.00</u> |
| <input type="checkbox"/> 2. A COMPLETED "CEQA FILING FEE NO EFFECT DETERMINATION FORM" FROM THE DEPARTMENT OF FISH & GAME, DOCUMENTING THE DFG'S DETERMINATION THAT THE PROJECT WILL HAVE NO EFFECT ON FISH, WILDLIFE AND HABITAT, OR AN OFFICIAL, DATED RECEIPT / PROOF OF PAYMENT SHOWING PREVIOUS PAYMENT OF THE DFG FILING FEE FOR THE "SAME" PROJECT IS ATTACHED (\$50.00 COUNTY ADMINISTRATIVE FEE REQUIRED) | | |
| DOCUMENT TYPE: <input type="checkbox"/> ENVIRONMENTAL IMPACT REPORT <input type="checkbox"/> NEGATIVE DECLARATION | \$ 50.00 | \$ <u>0.00</u> |

c. NOTICES THAT ARE NOT SUBJECT TO DFG FEES OR COUNTY ADMINISTRATIVE FEES

- | | | | |
|--|--|--------|------------------|
| <input type="checkbox"/> NOTICE OF PREPARATION | <input checked="" type="checkbox"/> NOTICE OF INTENT | NO FEE | \$ <u>NO FEE</u> |
|--|--|--------|------------------|

8. OTHER: _____ FEE (IF APPLICABLE): \$ _____

9. TOTAL RECEIVED..... \$ 0.00

*NOTE: "SAME PROJECT" MEANS NO CHANGES. IF THE DOCUMENT SUBMITTED IS NOT THE SAME (OTHER THAN DATES), A "NO EFFECT DETERMINATION" LETTER FROM THE DEPARTMENT OF FISH AND GAME FOR THE SUBSEQUENT FILING OR THE APPROPRIATE FEES ARE REQUIRED.

THIS FORM MUST BE COMPLETED AND ATTACHED TO THE FRONT OF ALL CEQA DOCUMENTS LISTED ABOVE (INCLUDING COPIES) SUBMITTED FOR FILING. WE WILL NEED AN ORIGINAL (WET SIGNATURE) AND TWO (2) COPIES. (YOUR ORIGINAL WILL BE RETURNED TO YOU AT THE TIME OF FILING.)

CHECKS FOR ALL FEES SHOULD BE MADE PAYABLE TO: SANTA CLARA COUNTY CLERK-RECORDER

PLEASE NOTE: FEES ARE ANNUALLY ADJUSTED (Fish & Game Code §711.4(b); PLEASE CHECK WITH THIS OFFICE AND THE DEPARTMENT OF FISH AND GAME FOR THE LATEST FEE INFORMATION.

"... NO PROJECT SHALL BE OPERATIVE, VESTED, OR FINAL, NOR SHALL LOCAL GOVERNMENT PERMITS FOR THE PROJECT BE VALID, UNTIL THE FILING FEES REQUIRED PURSUANT TO THIS SECTION ARE PAID." Fish & Game Code §711.4(c)(3)

(Fees Effective 01-01-2017)



PLANNING DIVISION
CITY OF SUNNYVALE
P.O. BOX 3707
SUNNYVALE, CALIFORNIA 94088-3707

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

This form is provided as a notification of an intent to adopt a Mitigated Negative Declaration which has been prepared in compliance with the provisions of the California Environmental Quality Act of 1970, as amended, and Resolution #118-04.

PROJECT TITLE:

838 Azure Street - Four Single Family Homes

PROJECT DESCRIPTION AND LOCATION (APN):

FILE #:	2017-7248
Location:	838 Azure Street (APN: 211-18-030)
Proposed Project:	Applicant requests approval to develop four new single family homes. The existing single family home and accessory living unit are proposed to be demolished and to subdivide one lot into four lots.
Entitlements Requested	Special Development Permit and Tentative Map
Applicant / Owner:	Xin Lu
Environmental Review:	Mitigated Negative Declaration
Staff Contact	Ryan Kuchenig, (408) 730-7431, rkuchenig@sunnyvale.ca.gov

WHERE TO VIEW THIS DOCUMENT:

The **Mitigated Negative Declaration**, its supporting documentation and details relating to the project are on file and available for review and comment in the Office of the Secretary of the Planning Commission, City Hall, 456 West Olive Avenue, Sunnyvale.

This **Mitigated Negative Declaration** may be protested in writing by any person prior to 5:00 p.m. on December 11, 2017. Protest shall be filed in the Department of Community Development, 456 W. Olive Avenue, Sunnyvale and shall include a written statement specifying anticipated environmental effects which may be significant. A protest of a **Mitigated Negative Declaration** will be considered by the adopting authority, whose action on the protest may be appealed.

HEARING INFORMATION:

A Planning Commission public hearing on the project is scheduled for: Monday, December 11, 2017 at 7:00 p.m. in the Council Chambers, City Hall, 456 West Olive Avenue, Sunnyvale.

TOXIC SITE INFORMATION:

(No) listed toxic sites are present at the project location.

Circulated On November 21, 2017

Signed: _____

Gerri Caruso, Principal Planner

Project Title	838 Azure St. - Four-Unit Single Family Development
Lead Agency Name and Address	City of Sunnyvale P.O. Box 3707, Sunnyvale, CA 94088-3707
Contact Person	Ryan Kuchenig, Senior Planner
Phone Number	(408) 730-7431
Project Location	838 Azure St./842 Sunnyvale-Saratoga Rd. – referred to as 838 Azure St. (APN: 211-18-030)
Applicant's Name	Xin Lu (Applicant/Owner) – 838 Azure St.
Zoning	R2-PD – 838 Azure St.
General Plan	Residential Low-Medium Density
Other Public Agencies whose approval is required	None

BRIEF PROJECT DESCRIPTION

The project includes the following related applications on a project site:

Special Development Permit: Construct four single family residential units (ownership) on a .34-acre site. The existing restaurant building will be demolished as part of this application. The proposed development consists of four single-family homes positioned around a central driveway that is accessed off Azure Street. Each home maintains a private two-car garage. Guest parking is provided either in front of the units or adjacent to the homes. The project includes deviation to second story side yard setbacks.

Vesting Tentative Parcel Map: Subdivide one lot into 4 lots.

DETAILED PROJECT DESCRIPTION

Surrounding Uses and Setting:

838 Azure Street

The project site is a double frontage lot with Sunnyvale-Saratoga Road on the west side and Azure Street on the east side. The site is located just north of the terminus with Cirrus Street. There is an existing masonry sound wall and driveway gate along the Sunnyvale-Saratoga Rd. frontage and an existing wood fence along the Azure St. frontage. Vehicular access is from

Sunnyvale-Saratoga Rd and there is also a pedestrian access gate on Azure St. The site's General Plan land use designation is Residential Low Density. The site is zoned R-0 (Low-Density Residential). The project proposes to amend the project site's land use designation to Residential Low-Medium Density and rezone to R-2/PD (Residential Low-Medium Density with a Planned Development overlay).

Two one-story housing units are currently located onsite, consisting of a main single-family home and a detached accessory living unit. County records indicate that the buildings were developed around 1948. The units are designed in the Minimal Traditional style that was common at the time of construction. Prior to the existing development, the site was historically used as agricultural land. There are 18 trees onsite and two City street trees in the park strip along the Azure St. sidewalk. Ten of the onsite trees are considered protected trees per City code.

The surrounding uses are the Sunnyside HOA townhomes to the north [General Plan: Residential High Density (27-45 du/ac)/Zoning: R-2/PD]; detached single-family residential to the south and east [General Plan: Residential Low Density (0-7 du/ac)/Zoning: R-0]; and small-lot single-family residential to the west across Sunnyvale-Saratoga Rd [General Plan: Residential Low-Medium Density (7-14 du/ac)/Zoning: R-2/PD].

On-site Development:

The proposed project at 838 Azure St. consists of the demolition of the existing two units and construction of four, two-story single-family homes on individual ownership lots. There would be a common area shared in the middle portion of the development (through shared easements) with an open space area located towards Sunnyvale-Saratoga Rd. The project would be served by a common vehicular driveway off Azure St., with branching individual driveways onsite for each unit. The existing driveway gate on Sunnyvale-Saratoga Rd. would be removed and filled in with a continuation of the existing sound wall. A pedestrian access gate for the residents of the development is proposed on Saratoga-Sunnyvale Rd. Pedestrian walkways to the units would also be accessible from Azure St. Unit sizes ranging from approximately 2,000 – 2,200 square feet (including garage area) and include three to four bedrooms each. Each unit would include a City standard two-car garage and two uncovered parking spaces, either on a driveway directly in front of the unit or on a surface parking stall nearby. Solid waste and recycling storage would be stored within the garages and brought to a staging area along Azure for pick-up days. All 21 existing onsite trees are anticipated to be removed to accommodate the project.

A Special Development Permit (SDP) and Tentative Parcel Map (TPM) would be required for the project's site and architectural review. Deviations from the Sunnyvale Municipal Code (SMC) may be considered by the Planning Commission with the SDP. The project includes the following deviations:

- Combined first story side yard setbacks of 12 feet where 20.5 is required.
- Combined second-story side yard setbacks of 24 feet where 26.5 is required.

Construction Activities and Schedule:

Construction activities include full demolition of all existing structures and paving on the project site, grading, utility improvements and construction of four two-story buildings with surface parking, landscaping and off-site improvements. The project will be subject to the Sunnyvale

Municipal Code requirements for construction noise and hours of construction contained in Chapter 16.08.030.

Construction of the project is estimated to span 12 to 16 months. Demolition and grading is estimated to span approximately one to two months. The vertical construction of the buildings is anticipated to take 8 to 10 months, with the final phase including paving and landscaping of the common areas. Due to the demolition and excavation activities, jackhammering may be necessary. However, construction will not include deep pile foundations or pile driving or other extremely high noise generating activities or significant vibration.

Off-site Improvements:

Anticipated improvements preliminarily identified by the City's Department of Public Works includes closure of the existing driveway approach on Sunnyvale-Saratoga Rd. and replacement with new curb, gutter, and sidewalk; new curb, gutter, sidewalk, and park strip along the Azure St. project frontage; upgrading existing streetlight fixtures along the project frontages to LED fixtures; slurry seal on portions of Sunnyvale-Saratoga Rd. and Azure St. along the project frontages; and utility undergrounding, new domestic water, sewer, and fire service lateral lines as required by the Municipal Code.

IMPORTANT NOTE TO THE READER

The California Supreme Court in a December 2015 opinion [*California Building Industry Association v. Bay Area Air Quality Management District*, 62 Cal. 4th 369 (No. S 213478)] confirmed that CEQA, with several specific exceptions, is concerned with the impacts of a project on the environment, not the effects the existing environment may have on a project. Therefore, the evaluation of the significance of project impacts under CEQA in the following sections focuses on impacts of the project on the environment, including whether a project may exacerbate existing environmental hazards.

The City of Sunnyvale currently has policies that address existing conditions (e.g., air quality, noise, and hazards) affecting a proposed project, which are also addressed in this study. This is consistent with one of the primary objectives of CEQA and this document, which is to provide objective information to decision-makers and the public regarding a project as a whole. The CEQA Guidelines and the courts are clear that a CEQA document (e.g., EIR or Initial Study) can include information of interest even if such information is not an "environmental impact" as defined by CEQA.

Therefore, where applicable, in addition to describing the impacts of the project on the environment, this study will discuss "planning considerations" that relate to City policies pertaining to existing conditions. Such examples include, but are not limited to, locating a project near sources of air emissions that can pose a health risk, in a floodplain, in a geologic hazard zone, in a high noise environment, or on/adjacent to sites involving hazardous substances.

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Potentially Significant Unless Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 17, "Earlier Analysis," may be cross-referenced).
5. Earlier analysis may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c) (3) (d). In this case, a brief discussion should identify the following:
6. Earlier Analysis Used. Identify and state where they are available for review.
7. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
8. Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project
9. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Agricultural Resources | <input type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | |

MANDATORY FINDINGS OF SIGNIFICANCE (see checklist for further information):

Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

- ☐ Yes
☒ No

Mandatory Findings of Significance? Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of the past projects, the effects of other current projects, and the effects of probable future projects)?

- ☐ Yes
☒ No

Mandatory Findings of Significance? Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

- ☐ Yes
☒ No

DETERMINATION:

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared. ☐

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared. ☒

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required. ☐

I find that the proposed project MAY have a "potential significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed. ☐

I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required. ☐

Checklist Prepared By: Ryan Kuchenig

Date: 11/15/2017

Title: Associate Planner

City of Sunnyvale

Signature:

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
1. Aesthetics - Substantially damage scenic resources, including, but not limited to trees, historic buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map, Land Use and Transportation Chapter 3, and Community Character Chapter 4 of the Sunnyvale General Plan www.sunnyvaleplanning.com
2. Aesthetics - Substantially degrade the existing visual character or quality of the site and its surroundings including significant adverse visual changes to neighborhood character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sunnyvale General Plan Map, Land Use and Transportation Chapter 3, and Community Character Chapter 4 of the Sunnyvale General Plan www.sunnyvaleplanning.com
3. Aesthetics - Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map, Land Use and Transportation Chapter 3, and Community Character Chapter 4 of the Sunnyvale General Plan www.sunnyvaleplanning.com
4. Population and Housing - Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure) in a way that is inconsistent with the Sunnyvale General Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sunnyvale General Plan Map, and Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com
5. Population and Housing - Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3, and Housing Chapter 5 of the Sunnyvale General Plan and General Plan Map www.sunnyvaleplanning.com
6. Population and Housing - Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Housing Chapter 5 of the Sunnyvale General Plan and General Plan Map www.sunnyvaleplanning.com
7. Land Use Planning - Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale General Plan Map www.sunnyvaleplanning.com
8. Land Use Planning conflict - With the Sunnyvale General Plan, Zoning Ordinance, San Francisco Bay Conservation and Development Commission (BCDC) area or related specific plan adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan, Title 19 (Zoning) of the Sunnyvale Municipal Code http://qcode.us/codes/sunnyvale/view.php?topic=19&frames=off Project Description
9. Transportation and Traffic - Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking Requirements (Section 19.46) in the Sunnyvale Municipal Code http://qcode.us/codes/sunnyvale/view.php?topic=19-4-19_46&frames=off

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
10. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Moffett Field AICUZ , Sunnyvale Zoning Map, Sunnyvale General Plan Map www.sunnyvaleplanning.com
11. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	There are no private airstrips in or in the vicinity of Sunnyvale
12. For a project within the vicinity of Moffett Federal Airfield, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Moffett Field AICUZ
13. Agricultural Resources - Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale Zoning Map www.sunnyvaleplanning.com
14. Noise - Exposure of persons to or generation of noise levels in excess of standards established in the Noise Sub-Element, Noise limits in the Sunnyvale Municipal Code, or applicable standards of the California Building Code?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan, SMC www.sunnyvaleplanning.com 19.42 Noise Ordinance http://qcode.us/codes/sunnyvale/view.php?topic=19&frames=off Noise Studies by Mei Wu Acoustics, dated April 11 and July 8, 2016
15. Noise - Exposure of persons to or generation of excessive ground borne vibration?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com Noise Studies by Mei Wu Acoustics, dated April 11 and July 8, 2016
16. Noise - A substantial permanent or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com Noise Studies by Mei Wu Acoustics, dated April 11 and July 8, 2016
17. Biological Resources - Have a substantially adverse impact on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
18. Biological Resources - Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
19. Biological Resources - Interfere substantially with the movement of any resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
20. Biological Resources - Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SMC 19.90 Tree Preservation Ordinance Sunnyvale Inventory of Heritage Trees Arborist Report by Monarch Consulting Arborists LLC, dated April 24, 2016
21. Biological Resources - Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan and General Plan Map www.sunnyvaleplanning.com
22. Historic and Cultural Resources - Cause a substantial adverse change in the significance of a historical resource or a substantial adverse change in an archeological resource?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Community Character Chapter 4 of the Sunnyvale General Plan, Sunnyvale Inventory of Heritage Resources The United States Secretary of the Interior's "Guidelines for Rehabilitation" Criteria of the National Register of Historic Places Historic Evaluation by Strata Design Studio, dated June 10, 2016 California Historical Resources Information System (CHRIS) Letter, dated May 16, 2016
23. Historic and Cultural Resources - Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	California Health and Safety Code Section 7050.5(b), CEQA Guidelines Section 15064.5(e) Project description

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
					California Historical Resources Information System (CHRIS) Letter, dated May 16, 2016
24. Public Services - Would the project result in substantial adverse physical impacts associated with the provision of new or expanded public schools, the construction of which could cause significant environmental impacts, in order to maintain acceptable performance objectives?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The following public school districts are located in the City of Sunnyvale: Fremont Union High School District, Sunnyvale Elementary School District, Cupertino Union School District and Santa Clara Unified School District.
25. Air Quality - Conflict with or obstruct implementation of the BAAQMD air quality plan? How close is the use to a major road, hwy. or freeway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAAQMD CEQA Guidelines 2011 Thresholds Sunnyvale General Plan Map Sunnyvale Air Quality Sub-Element www.sunnyvaleplanning.com Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
26. Air Quality - Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	BAAQMD CEQA Guidelines 2011 Thresholds AB 32 Project Climate Action Plan CEQA Checklist Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
27. Air Quality - Would the project conflict with any applicable plan, policy or regulation of any agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	BAAQMD CEQA Guidelines 2011 Thresholds Sunnyvale Climate Action Plan 2014 AB 32 Project Climate Action Plan CEQA Checklist Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
28. Air Quality - Violate any air quality standard or contribute substantially to an existing or projected air quality violation.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	BAAQMD CEQA Guidelines 2011 Thresholds Sunnyvale General Plan Map Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
29. Air Quality - Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BAAQMD CEQA Guidelines 2011 Thresholds Sunnyvale General Plan Map Environmental Management Chapter 7 of the Sunnyvale General Plan

Planning	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?					www.sunnyvaleplanning.com Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
30. Air Quality - Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	BAAQMD CEQA Guidelines 2011 Thresholds Sunnyvale General Plan Map Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
31. Seismic Safety - Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
32. Seismic Safety - Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
33. Seismic Safety - Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
34. Seismic Safety - Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if "Less Than Significant" with or without mitigation:

2. Aesthetics – Visual Character (Less Than Significant) – Construction of the project will alter the visual character of the site and neighboring properties, which includes four new two-story single family homes that replace two existing residential units. The proposed project is subject to the Citywide Design Guidelines and Single-Family Design Techniques, and the design of the building and site layout will be in general conformance with the adopted design guidelines. The project would likely result in the removal of all the existing trees on-site. In accordance with Chapter 19.94 of the SMC, the project will provide replacement trees onsite as well as street trees along the Azure Street frontage. The replacement of trees and landscaping onsite and along the street frontages would improve the visual/aesthetic character of the area.

The proposed development and related landscaping improvements will be visually compatible with the surrounding neighborhood consisting of similar residential development. The proposed buildings would maintain similar scale but will be one story taller than adjacent buildings to the south and east. The City's implementation of the City-Wide Design Guidelines and review of development plans at a subsequent public hearing for the SDP and TPM process will ensure that the final design of the project is consistent with City codes and guidelines. The

project will not substantially degrade the existing visual character or quality of the site and its surroundings. Therefore, impacts would be less than significant.

4. Population and Housing (Less Than Significant) – The General Plan and Zoning designations for the project site allow for the redevelopment of the site to residential uses at a maximum density of 12 units per acre. The project meets the Council policy of meeting at least 75% of the maximum density allowed on a site. The project density is compatible with the densities of the residential developments in the vicinity. Therefore, the impact is less than significant.

14. Noise – Interior and Exterior Exposure (Less than Significant) – A noise study was prepared for the 838 Azure St. project by Mei Wu Acoustics, dated April 11, 2016 and July 8, 2016. The study is available for review at the City of Sunnyvale's Community Development Department, Monday through Friday between 8 a.m. and 5 p.m.

The study evaluated existing interior and exterior noise conditions and noise mitigations to be consistent with General Plan standards. The study noted that Sunnyvale-Saratoga Rd. is the major existing noise source at the project site. Noise measurements inside the existing main house closest to Sunnyvale-Saratoga Rd. ranged from 51 to 61 dBA with calculated Ldn's (day-night levels occurring over a 24-hour day) of 62 dBA. Exterior noise measurements on top of the main house's roof ranged from 58 to 84 dBA with calculated Ldn's of 78 dBA. Both interior and exterior Ldn's are higher than the levels specified in the General Plan, however it was concluded that the main contribution to the high noise levels are existing traffic noise from Sunnyvale-Saratoga Rd.

As previously discussed, in December 2015, the California Supreme Court issued an opinion in "CBIA vs. BAAQMD" holding that CEQA is primarily concerned with the impacts of a project on the environment and generally does not require agencies to analyze the impact of existing conditions on a project's future users or residents unless the project risks exacerbating those environmental hazards or risks that already exist. Nevertheless, the City has policies and regulations that address existing conditions affecting a proposed project, which are discussed below as planning considerations. Applicable General Plan policies include the following:

- Goal SN-8 which is to maintain or achieve a compatible noise environment for all land uses in the community. The goal further states that interior noise levels cannot exceed an Ldn of 45 dBA and a residential site with an exterior Ldn above 60 dBA needs a detailed noise study and mitigation plan. Residential areas are considered "normally acceptable" if the Ldn is below 60 dBA, while Ldn between 60 and 75 dBA is considered "conditionally acceptable," and above 75 dBA is "unacceptable."
- Policy SN-8.1 which is to enforce and supplement state laws regarding interior noise levels of residential units;
- Policy SN-8.5 which states to comply with state of California noise guidelines for land use planning for the compatibility of land uses with their noise environments, except where the City determines that there are prevailing circumstances of a unique or special nature; and
- Policy SN-8.7 which states for residential uses to attempt to achieve an outdoor L_{dn} of no greater than 60 dBA for common recreational areas, backyards, patios, and medium and large-size balconies.

The exterior and interior noise levels at the project site are not considered environmental impacts under CEQA and the recommendations below are provided as planning considerations for consistency with the General Plan:

- Interior Noise: Windows providing high acoustic insulation should be used:
 - If windows are located on the west wall (facing Sunnyvale-Saratoga Rd.), the windows should achieve a minimum OITC 36 rating. Windows on the east-facing walls will not require sound-rated windows.

- If windows are located on the north and south walls, the windows should achieve a minimum OITC 33 rating.
- Windows may be operable, however it is recommended to include a fresh air intake, preferably on the east side of the building which is subjected to lower sound levels.
- All exterior walls should have a minimum STC-50 rating.
- Exterior Noise:
 - There should be no exposed recreational areas, backyards, patios, or balconies on the second story of the units.
 - The proposed pedestrian gate on the Sunnyvale-Saratoga Rd. sound wall should be constructed of any solid material with a density no less than two pounds per square foot. Materials meeting this standard include 0.5-inch thick wood, 0.5-inch outdoor plywood, 16 gauge steel sheet, and any masonry units. All gaps on the barrier should be sealed.
 - Following construction of the sound wall extension, sound reading should be taken to determine its efficacy.

As the above are not considered required CEQA mitigation measures, the City has the discretion to require the above as conditions of approval when considering the project. **(Less than Significant)**

15. Ground Borne Vibration Exposure (Less than Significant with Mitigation) – The noise study did not address construction noise impacts since the construction details are not available at this time. In absence of project-specific recommendations, SMC Section 16.08.030 places restrictions on time of construction activity to minimize nuisance to neighboring properties but does not include noise limits generated by construction. However, these short-term noise levels have the potential to disturb residences living nearby during the course of demolition and construction. Per the applicant's preliminary project description, construction is not anticipated to include deep pile foundations or pile driving. Through the implementation of the current Sunnyvale Municipal Code construction noise regulations, standard conditions of approval, Climate Action Plan checklist provisions, and mitigation measures below, construction-related noise impacts will be mitigated to less than significant levels.

MITIGATIONS – Construction-Related Noise

WHAT:

- (1) All internal combustion engines used at the project site must be equipped with a type of muffler recommended by the vehicle manufacturer. All equipment must be in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.
- (2) Construction operations must comply with the limits of the City of Sunnyvale Municipal Code.
- (3) Place long-term stationary equipment as far away from the residential areas as possible.
- (4) Demolish the east and west portions of the existing buildings first leaving the north and south walls of the buildings closest to the neighboring residences up for as long as possible as these walls will act as sound barriers.
- (5) Keep mobile equipment (haul trucks, concrete trucks, etc.) off of local streets as much as possible.
- (6) Orient the concrete crusher so that the hopper (noise end) faces away from noise sensitive receptors.
- (7) Use scrapers as much as possible for earth removal, rather than the noisier loaders and hauling trucks.
- (8) Use a motor grader rather than a bulldozer for final grading.
- (9) Power saws should be shielded or enclosed where practical to decrease noise emissions. Nail guns should be used where possible as they are less noisy than manual hammering.
- (10) Use generators and compressors that are housed in acoustical enclosures rather than weather enclosures or none at all.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

19. Biological Resources – Wildlife (Less than Significant with Mitigation) – While the entire 838 Azure St. site is disturbed and developed, raptors (such as falcons, hawks, eagles, and owls) and other migratory birds may utilize the large trees on-site for foraging or nesting. Nesting raptors are among the species protected under provisions of the Migratory Bird Treaty Act and California Department of Fish and Wildlife (CDFW) Code Sections 3503, 3503.5, and 2800. The proposed project would remove all the existing trees at the 838 Azure St. site. Construction disturbance near raptor nests can also result in the incidental loss of fertile eggs or nestlings, or otherwise lead to nest abandonment in the trees on the project site. Disturbance that causes abandonment and/or loss of reproductive effort is considered a taking by the CDFW. Any loss of fertile eggs, nesting raptors, or any activities resulting in nest abandonment would constitute a significant impact. The following mitigation measures will be implemented to avoid abandonment of raptor and other protected migratory birds nests, and reduce impacts to a less than significant level. Therefore, the following mitigation measures are recommended to reduce potential impacts on biological resources:

MITIGATION – Biological Resources - Wildlife

WHAT:

- (1) If construction commences anytime during the nesting/breeding season of native bird species (typically February through August), a qualified biologist must conduct a preconstruction survey of the project vicinity for nesting/breeding birds at least 30 days prior to the start of construction activities. The intent of the survey is to determine if active raptor nests or other species protected by the Migratory Bird Treaty Act are present within the construction zone or within 250 feet of construction zone for raptors and 50 feet of the construction zone for other migratory birds. The survey area must include all trees and shrubs within zones that have the potential to support nesting birds.
- (2) If active nests are found in the area that could be directly affected or are within 250 feet of construction for raptors and 50 feet for other migratory birds, a no-disturbance buffer zone must be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. Once the young have fledged, tree removal and other construction activities may commence.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

20. Biological Resources - Trees (Less than Significant with Mitigation) – An arborist report was prepared for the 838 Azure St. project by Monarch Consulting Arborists LLC., dated April 24, 2016. The report is available for review at the City of Sunnyvale's Community Development Department, Monday through Friday between 8 a.m. and 5 p.m.

The report inventoried 23 trees – 18 of which are directly located onsite, two are in the public right of way park strip on Azure St., and three are on a neighboring property near the southeast corner of 838 Azure St. Of the 23 total trees, 14 are considered protected per City code (12" or greater in diameter or 38" or greater in circumference), 10 of which are located onsite. The report recommends removal of all 18 existing trees onsite (one Grapefruit tree, one Persimmon tree, one Stone Pine, two Avocado trees, two Orange trees, five Junipers, and six Privets) because of their condition and conflicts with the conceptual site development plan. The five other off-site trees can be retained as part of the project and will be required to be protected during construction.

The report notes that none of the trees have great structure or are in good health. Three trees are in fair condition with fair suitability for retention, eight trees are in fair condition with poor suitability for retention, and seven trees are in poor condition with poor suitability for retention. Trees in fair condition are characterized by minor problems, with at least one structural defect or health concern while trees in poor condition have major problems with multiple structural defects or declining health. Trees with fair suitability for retention are generally in fair health with structural defects that may be mitigated by treatment while trees with poor suitability for retention have significant structural defects that cannot be mitigated and will continue to decline regardless of treatment. The City's Tree Replacement Standards require a minimum of thirteen 24-inch box trees; seven 24-inch box trees and three 36-inch box trees; twenty-one 15-gallon trees and three 36-inch box trees; or a combination of 15-gallon, 24-inch, and/or 36-inch box trees to be planted to offset the loss of protected trees.

With required mitigation measures of protecting adjacent trees and planting trees per the City's Tree Replacement Standards, the project would have a less than significant impact to tree resources. The following mitigation measures are below:

MITIGATION – Biological Resources- Trees

WHAT:

- (1) Provide tree replacements per the City's tree replacement standards. A tree replacement plan shall be provided.
- (2) Provide a tree protection plan to ensure retention of existing offsite trees that may be affected by the project construction. The plan shall include the following:
 - (a) All tree locations on the site plans and civil drawings.
 - (b) All tree protection measures on all the plans for trees to be retained. Refer to the project arborist report for general protection guidelines and specifications.
 - (c) Protect adjacent trees to be retained by placing tree protection fence at the setback to enclose the entire group to be retained (Tree 709, 710, and 711).
 - (d) Protect street trees # 720 and 721 by placing a fence at the curb and sidewalk edges.
- (3) Provide a copy of the project arborist report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect.
- (4) Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.
- (5) Arrange for the project arborist or landscape architect to monitor and document initial grading activity and no grading is to occur within any tree protection zone and approval for drainage modifications under the trees is required.
- (6) Provide a monthly monitoring schedule when activity is planned within the tree protection zone.
- (7) Place irrigation or soaker hoses on the existing grade within the dripline/tree protection zone or use automatic irrigation under trees # 709, 710, 711, 720, or 721.
- (8) Place two to four inches of organic mulch, coarse woody debris, chips from tree care operations under the trees and over the soaker hoses within the tree protection zone or maintain current irrigation regime.
- (9) If construction is to take place between June and October, the trees should be watered to help mitigate any root loss and reduce stress. Ten gallons per inch of trunk diameter of water should be used to irrigate the root zones once a week with a deep soaking.

- (10) If roots are expected to be cut, the work shall be supervised and documented by the project arborist. If tree roots two inches or larger are encountered, they must be cleanly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band, or be coated with latex paint. All exposed root areas within the tree protection zone shall be backfilled or covered within one hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper three feet of trench walls. The materials must be kept wet until backfilled to reduce evaporation from the trench walls.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

22. Historic and Cultural Resources – Adverse Change in Significance (Less than Significant) – The existing structures on the 838 Azure St. project site are more than 50 years old. A California Historical Resources Information System (CHRIS) letter dated May 16, 2016 noted that the project area contains no recorded buildings or structures, but at least one unrecorded building, and recommended that this resource be assessed by a professional familiar with architecture and Santa Clara County history. A subsequent Historic Evaluation dated June 10, 2016 was prepared by Strata Design Studio – a firm with extensive experience in historic architecture and building condition assessments. The historic evaluation and CHRIS letter are available for review at the City of Sunnyvale's Community Development Department, Monday through Friday between 8 a.m. and 5 p.m.

The study evaluated the site according to the criteria of the California Register of Historic Resources and the CEQA guidelines. The study concluded the following:

- The buildings onsite are not representative of important patterns of development that occurred in California or Sunnyvale, and are not associated with events that have made a significant contribution to broad patterns of California's history and cultural heritage.
- At various times the buildings were occupied by local residents of notable accomplishments, but the buildings are not associated with the lives of persons of significant historical importance.
- The building types are of a vernacular style common to that period and do not embody the distinctive characteristics of a type, period, regions, or method of construction that represents an important creative architectural example.

Therefore, the buildings onsite are not eligible for the California or Sunnyvale register of historic resources, and demolition would result in a less than significant impact.

23. Historic and Cultural Resources – Disturbance of Cultural Remains (Less than Significant with Mitigation) – The eventual 838 Azure St. project construction will include grading and land disturbance. A CHRIS letter dated May 16, 2016 documents a records search that reviewed pertinent base maps, cultural resources records and reports, historic-period maps, and literature from Santa Clara County. The records search found no record of any cultural or archaeological resources or historic structures that formally covered the project site. As discussed in Item 22, the letter noted at least one unrecorded building, but a subsequent historic evaluation found no historical significance to the buildings onsite. There is also a low potential for unrecorded Native American resources on the project site. As required by CEQA, the City sent letters via certified mail to local Native American tribes on June 22, 2016. No requests for consultation were received within the State-specified

timelines. Since there is a low potential for discovery of cultural resources, and the following mitigations are recommended to reduce the potential impact to less than significant level:

MITIGATION – Historic and Cultural Resources

WHAT:

- (1) An archeological monitor or a Native American representative must monitor ground disturbing demolition, grubbing, scraping, grading, trenching and any other excavation within the project site. Archeological monitoring must be continued until the archeologist or Native American monitors are satisfied that no significant cultural deposits will be impacted by the project.
- (2) If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and the County Coroner as well as a qualified archeologist (if not already present) must be notified immediately so that an evaluation can be performed. Procedures at this point are prescribed by law. If the remains are deemed to be Native American and prehistoric, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated. Once the Most Likely Descendant has inspected the discovered remains, the remains can be reinterred with appropriate dignity.
- (3) Archeological monitoring must be conducted following the procedures specified below in the event that potentially significant cultural deposits or human burials are found during the development:
 - (a) Monitoring will consist of directly watching the major excavation process. Monitoring will occur during the entire work day, and will continue on a daily basis until a depth of excavation has been reached at which resources could not occur. This depth is estimated as usually about 5 feet below grade at the beginning of the project, but may require modifications in specific cases, and will be determined by the monitoring archeologist based on observed soil conditions.
 - (b) Spot checks will consist of partial monitoring of the progress of excavation over the course of the project. During spot checks all soils material, open excavations, recently grubbed areas, and other soil disturbances will be inspected. The frequency and duration of spot checks will be based on the relative sensitivity of the exposed soils and active work areas. The monitoring archeologist will determine the relative sensitivity of the parcel.
 - (c) If prehistoric human interments (human burials) are encountered within the project area, all work must be halted in the immediate vicinity of the find. The County Coroner, project superintendence, and the Agency Liaison should be contacted immediately. The procedures to be following at this point are prescribed by law.
 - (d) If significant cultural deposits other than human burials are encountered, the project should be modified to allow the artifacts or features to be left in place, or the archaeological consultant should undertake the recovery of the deposit or feature. Significant cultural deposits are defined as archaeological features or artifacts that associate with the prehistoric period, the historic era Mission and Pueblo Periods and the American era up to about 1900.
 - (e) Whenever the monitoring archaeologist suspects that potentially significant cultural remains or human burials have been encountered, the piece of equipment that encounters the suspected deposit will be stopped, and the excavation inspected by the monitoring archaeologist. If the suspected remains prove to be non-significant or non-cultural in origin, work will recommence immediately. If the suspected remains prove to be part of a significant deposit, all work should be halted in that location until removal has been accomplished. If human remains (burials) are found, the County Coroner must be contacted so that they (or a

designated representative) can evaluate the discovered remains and implement proper contacts with pertinent Native American representatives.

- (f) Equipment stoppages will only involve those pieces of equipment that have actually encountered significant or potentially significant deposits, and should not be construed to mean a stoppage of all equipment on the site unless the cultural deposit covers the entire building site.

- (4) During temporary equipment stoppages brought about to examine suspected remains, the archaeologist should accomplish the necessary tasks with all due speed.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

24. Public Services – Schools (Less than Significant) – The project site at 838 Azure St. is located within the Sunnyvale School District and Fremont Union High School District. In both districts, all new residential developments are required to fully offset their anticipated impact on demand for schools by paying a school impact fee as set by the Districts. The City requires evidence of school impact fee payment prior to issuance of building permits. Therefore, impacts on public schools will be less than significant.

25. Air Quality – Conflict with BAAQMD Air Quality Plan (No Impact) – An Air Quality and Greenhouse Gas Assessment for the 838 Azure St. site was prepared by Illingworth & Rodkin, Inc. dated April 19, 2016. The study is available for review at the City of Sunnyvale's Community Development Department, Monday through Friday between 8 a.m. and 5 p.m. The project at 838 Azure St. would not conflict with the Bay Area 2010 Clean Air Plan since the size of the project would have emissions below BAAQMD thresholds.

26 and 27. Air Quality – Greenhouse Gases (Less than Significant) - The air quality study notes that the 838 Azure St. project does not exceed the screening size for significant greenhouse gas emissions. Therefore, a refined greenhouse gas analysis is not necessary to conclude that the greenhouse gas emissions for the project would be less than significant. Moreover, the project is subject to the City's Climate Action Plan, and a checklist has been prepared to document consistency.

28. Air Quality – Violate any Air Quality Standard (Less than Significant) – The air quality study notes that the 838 Azure St. project would not contribute substantially to existing or projected violations of air quality standards since the size of the project would have emissions below BAAQMD thresholds.

29. Air Quality – Cumulatively Considerable Net Increase of Pollutants (Less than Significant with Mitigation) – The air quality study notes that construction exhaust and operational period emissions from the 838 Azure St. project would be less than significant due to the size of the project. However, construction activities, particularly during site preparation and grading, would temporarily generate dust, including disturbed soils at the construction site and trucks carrying uncovered loads of soils. Implementation of the below mitigation measures to control construction emissions would reduce this impact to a less than significant level:

MITIGATION – Air Quality – Cumulatively Considerable Net Increase of Pollutants

WHAT:

- 1) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- 2) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- 3) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- 4) All vehicle speeds on unpaved roads shall be limited to 15 miles per hour (mph).
- 5) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- 6) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- 7) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- 8) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- 9) All diesel-powered construction equipment larger than 50 horsepower and operating onsite for more than two days continuously shall meet US EPA particulate matter emission standards for Tier 2 engines or equivalent. Equipment retrofitted with CARB Level 3 Verified Diesel Emissions Control Strategy (VDECS) would exceed this standard.

WHEN: These mitigations shall be incorporated into conditions of approval for the Special Development Permit (SDP) prior to its final approval by the City's Planning Commission. The conditions will become valid when the SDP is approved and prior to building permit issuance.

WHO: The project property owner shall be solely responsible for implementation and maintenance of these mitigation measures.

HOW: The conditions of approval will require these mitigation measures to be incorporated into the construction plans.

30. Air Quality – Exposure to Sensitive Receptors (Less than Significant) –The air quality study notes that the 838 Azure St. project would place new residences in close proximity to Sunnyvale-Saratoga Rd., a high-volume roadway with over 10,000 average daily trips (ADT). Sunnyvale-Saratoga Rd. is also the only toxic air contaminant (TAC) affecting the project site. The study notes that the maximum increased cancer risk from traffic on Sunnyvale-Saratoga Rd. at the project site is 5.2 in 1,000,000, which is below BAAQMD's threshold of significance of 10 in 1,000,000. Therefore, it can be concluded that traffic on Sunnyvale-Saratoga Rd. does not pose a significant cancer risk.

The study also modeled fine particulate matter (PM_{2.5}) exposures from Sunnyvale-Saratoga Rd. at the project site, where exposures of 0.4 micrograms per cubic meter (µg/m³) would be considered significant, as they would exceed the PM_{2.5} threshold of greater than 0.3 µg/m³. The PM_{2.5} exposures above the threshold would affect any portion of the site developed with residential dwelling units that are within 60 feet of the site boundary with Sunnyvale-Saratoga Rd.

As previously discussed, in December 2015, the California Supreme Court issued an opinion in "CBIA vs. BAAQMD" holding that CEQA is primarily concerned with the impacts of a project on the environment and generally does not require agencies to analyze the impact of existing conditions on a project's future users or residents unless the project risks exacerbating those environmental hazards or risks that already exist. Nevertheless, the City has policies and regulations that address existing conditions affecting a proposed

project, which are discussed below as planning considerations. Applicable General Plan policies include the following:

- Goal EM-11 which is to improve Sunnyvale's air quality and reduce the exposure of its citizens to air pollutants.
- Policy EM-11.1 that states the City should actively participate in regional air quality planning.
- Policy EM-11.3 that requires all new development to utilize site planning to protect citizens from unnecessary exposure to air pollutants.

The fine particulate matter exposure at the project site is not considered an environmental impact under CEQA and the recommendations below are provided as planning considerations for consistency with the General Plan:

- To the greatest degree possible, plant vegetation along the site boundary with Sunnyvale-Saratoga Rd. This barrier would include trees and shrubs that provide a vegetative barrier.
- Install air filtration at units within 60 feet of the western site boundary with Sunnyvale-Saratoga Rd. Air filtration devices shall be rated MERV13 or higher. To ensure adequate health protection to sensitive receptors, a ventilation system should meet the following minimal design standards:
 - A MERV13 filter or higher rating;
 - At least one air exchange(s) per hour of fresh outside filtered air; and
 - At least four air exchange(s) per hour recirculation.
- As part of implementing this measure, an ongoing maintenance plan for the buildings' heating, ventilation, and air conditioning (HVAC) air filtration system should be developed. Recognizing that emissions from air pollution sources are decreasing, the maintenance period will last as long as significant annual fine particulate matter exposures are predicted. Subsequent studies could be conducted by an air quality expert approved by the City to identify the ongoing need for the filtered ventilation systems as future information becomes available.
- The lease agreement and other property documents should: (1) require cleaning, maintenance, and monitoring of the affected buildings for air flow leaks, (2) include assurance that new owners or tenants are provided information on the ventilation system, and (3) include provisions that fees associated with owning or leasing a unit(s) in the building include funds for cleaning, maintenance, monitoring, and replacements of the filters, as needed.

As the above are not considered required CEQA mitigation measures, the City has the discretion to require the above as conditions of approval when considering the project. **(Less than Significant)**

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 11/15/17

Transportation	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
35. Exceeds the capacity of the existing circulation system, based on an applicable measure of effectiveness (as designated in a general plan policy, ordinance, etc.), taking into account all modes of transportation including nonmotorized travel and all relevant components of the circulation system, including but not limited to intersections,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/

Transportation	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
streets, highways and freeways, pedestrian walkways, bicycle paths, and mass transit?					
36. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measurements, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
37. Results in a change in air traffic patterns, including either an increase in air traffic levels or a change in flight patterns or location that results in substantial safety risks to vehicles, bicycles, or pedestrians?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
38. Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Project Description
39. Conflict with adopted policies, plans, or programs regarding public transit or nonmotorized transportation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
40. Affect the multi-modal performance of the highway and/or street and/or rail and/or off road nonmotorized trail transportation facilities, in terms of structural, operational, or perception-based measures of effectiveness (e.g. quality of service for nonmotorized and transit modes)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/
41. Reduce, sever, or eliminate pedestrian or bicycle circulation or access, or preclude future planned and approved bicycle or pedestrian circulation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program

Transportation	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
42. Cause a degradation of the performance or availability of all transit including buses, light or heavy rail for people or goods movement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	http://www.vta.org/cmp/ Land Use and Transportation Chapter 3 of the Sunnyvale General Plan www.sunnyvaleplanning.com Santa Clara Valley Transportation Authority Congestion Management Program http://www.vta.org/cmp/

Further Discussion if “Less Than Significant” with or without mitigation:

35. Transportation – (No Impact) – Development proposals require preparation of a transportation impact analysis (TIA) if more than 100 new peak hour trips in either the AM (7:00AM – 9:00AM) or PM (4:00PM-6:00PM) peak hour are estimated. The Institute of Transportation Engineers (ITE) Manual is the standard reference document prescribed by the Santa Clara County Congestion Management Program TIA Guidelines for estimating trip generation from land development. These guidelines are used by all cities in Santa Clara County for determining the necessity for traffic analysis. Per the ITE Trip Generation Manual, 9th Edition (“ITE Manual”) the City’s Division of Transportation and Traffic estimates that the project will not result in 100 net new AM and PM peak hour trips. It is anticipated that the existing roadway system can accommodate the incremental increase in trips.

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 10/15/2017

Building	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
43. Hydrology and Water Quality - Place housing within a 100-year floodplain, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FEMA Flood Insurance Rate Map Effective 5/18/09 www.sunnyvaleplanning.com , California Building Code, Title 16 (Building) of the Sunnyvale Municipal Code
44. Hydrology and Water Quality - Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FEMA Flood Insurance Rate Map Effective 5/18/09 www.sunnyvaleplanning.com , California Building Code, Title 16 (Building) of the Sunnyvale Municipal Code
45. Hydrology and Water Quality - Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1995 ABAG Dam Inundation Map www.abag.ca.gov , California Building Code, Title 16 (Building) of the Sunnyvale Municipal Code
46. Geology and Soils - Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale Municipal Code 12.60, City of Sunnyvale Storm Water

					Quality Best Management Practices Guideline Manual
47. Geology and Soils - Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter of the Sunnyvale General Plan, www.sunnyvaleplanning.com California Plumbing, Mechanical, and Electrical Codes and Title 16 (Building) of the Sunnyvale Municipal Code
48. Geology and Soils - Be located on expansive soil, as defined by the current building code, creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	California Plumbing, Mechanical, and Electrical Codes and Title 16 (Building) of the Sunnyvale Municipal Code

Further Discussion if "Less Than Significant" with or without mitigation:

43-45. Hydrology and Water Quality (No Impact) – The project sites are located in the "X" flood zone (designated by the Federal Emergency Management Agency or FEMA) that is considered a moderate to low risk area with a 0.2% annual chance of flood; 1% annual chance of flood with average depths of less than one foot or with drainage areas less than one mile; and areas protected by levees with 1% annual chance of flood. Because of the project sites' location outside of a significant flood zone, the project's flooding impacts are expected to be less than significant.

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 11/15/17

Engineering	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
49. Utilities and Service Systems - Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
50. Utilities and Service Systems - Require or result in construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
51. Utilities and Service Systems - Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
52. Utilities and Service Systems - Have sufficient water supplies available to serve the project from existing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Engineering	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
entitlements and resources, or are new or expanded entitlements needed?					
53. Utilities and Service Systems - Result in a determination by the wastewater treatment provider which services or may serve the project determined that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
54. Utilities and Service Systems - Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
55. Hydrology and Water Quality - Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Regional Water Quality Control Board (RWQCB) Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/
56. Hydrology and Water Quality - Substantially degrade groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New and Redevelopment Projects www.sunnyvaleplanning.com
57. Hydrology and Water Quality - Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Santa Clara Valley Water District Groundwater Protection Ordinance www.valleywater.org
58. Hydrology and Water Quality - Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems in a manner which could create flooding or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New and Redevelopment Projects www.sunnyvaleplanning.com
59. Hydrology and Water Quality - Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RWQCB, Region 2 Municipal Regional Permit http://www.waterboards.ca.gov/ City of Sunnyvale Stormwater Quality Best Management Practices (BMP) Guidance Manual for New

Engineering	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
					and Redevelopment Projects www.sunnyvaleplanning.com
60. Utilities and Service Systems - Comply with federal, state, and local statues and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com
61. Public Services Infrastructure - Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Management Chapter 7 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 11/15/17

Public Safety	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
62. Public Services Police and Fire protection - Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com
63. Public Services Police and Fire protection - Would the project result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	California Building Code SMC Section 16.52 Fire Code

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 11/15/17

Public Safety – Hazardous Materials	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
64. Hazards and Hazardous Materials - Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan, www.sunnyvaleplanning.com
65. Hazards and Hazardous Materials - Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan, www.sunnyvaleplanning.com Title 20 of the City of Sunnyvale Municipal Code Phase I Environmental Site Assessment by AEI Consultants dated March 25, 2016 Shallow Soil Investigation/Phase II ESA by AEI Consultants dated July 19 and August 19, 2016 RMP approval letter from the County of Santa Clara Department of Environmental Health (DEH) dated September 28, 2017
66. Hazards and Hazardous Materials - Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sunnyvale Zoning Map www.sunnyvaleplanning.com
67. Hazards and Hazardous Materials - Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	State of California Hazardous Waste and Substances Site List (Cortese List), Department of Toxic Substance Control
68. Hazards and Hazardous Materials - Impair implementation of, or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Safety and Noise Chapter 6 of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if “Less Than Significant” with or without mitigation:

65. Hazards and Hazardous Materials (Less than Significant) – A Phase I Environmental Site Assessment, as well as a Shallow Soil Investigation/Phase II for the 838 Azure St. project was prepared by AEI Consultants, dated March 25, 2016, July 19, 2016, and August 19, 2016, respectively. The studies are available for review at the City of Sunnyvale’s Community Development Department, Monday through Friday between 8 a.m. and 5 p.m.

The Phase I identified that the site was historically used for agricultural purposes, including an orchard. Based on the agricultural use, agricultural chemicals including organochlorine pesticides (OCPs) can potentially be found in soils. Two subsequent soil investigations were performed to determine the extent of soil contamination. To assess whether the concentration of OCP's observed presented a potential unacceptable risk to human health, the results were compared to the environmental screening levels (ESLs) developed by the California Regional Water Quality Control Board, San Francisco Bay Region for residential direct contact. The results are summarized as follows:

- Dieldrin, Chlordane, and Arsenic were detected above the ESL.
- Other OCPs including, p,p-dichlorodiphenyldichloroethane (p,p-DDD), p,p-dichlorodiphenyldichloroethene (p,p-DDE), p,p-dichlorodiphenyldichloroethene (p,p-DDT), endrin, and heptachlor epoxide were detected, but at concentrations below their respective ESLs.

The shallow soil investigation recommended that dieldrin and pesticide-impacted soils be delineated to appropriate residential ESLs and removed from the site for proper off-site disposal. A soils management plan should be used to notify contractors of the presence of OCPs and arsenic and outline how the impacted soils should be characterized, removed and documented for proper disposal options.

As previously discussed in *Section 4.0*, in December 2015, the California Supreme Court issued an opinion in "CBIA vs. BAAQMD" holding that CEQA is primarily concerned with the impacts of a project on the environment and generally does not require agencies to analyze the impact of existing conditions on a project's future users or residents unless the project risks exacerbating those environmental hazards or risks that already exist. Nevertheless, the City has policies and regulations (including Policy SN-1.1 that states to make land use decisions based on an awareness of hazards and potential hazards for the specific parcel of land and Policy SN-1.5 that states to promote a living and working environment safe from exposure to hazardous materials) that address existing conditions affecting a proposed project, which are discussed below as planning considerations, not CEQA impacts. Note that existing hazardous materials conditions would not be exacerbated by the project (e.g., project construction or remediation) such that the existing conditions would impact (or worsen) hazardous materials conditions off-site. The recommendations below are provided as planning considerations for consistency with the General Plan:

- Prior to redevelopment of the project site, the Santa Clara County Department (DEH) of Environmental Health or the Department of Toxic Substances Control (DTSC) should be contacted to evaluate potentially required soil mitigation measures. All required mitigation measure should be completed under the oversight of an appropriate regulatory agency. Additional soil sampling may be required to better characterize the contamination at the site.

In addition, it is recommended that the project implement the following measures to protect construction workers by establish management practices for handling contaminated soil, soil vapor, groundwater, or other materials.

- Prior to issuance of grading and/or building permits, a Health and Safety Plan (HSP) should be developed to establish appropriate protocols for working in contaminated materials. The HSP should include protocols for air monitoring during all site work. Each contractor should be responsible for the health and safety of their employees as well as for compliance with all applicable federal, state, and local laws and guidelines.
- Prior to issuance of grading and/or building permits, a Site Management Plan (SMP) should be developed to establish management practices for handling contaminated soil, soil vapor, ground water, or other materials. Prior to the start of any construction activity that involves below ground work (e.g., mass grading, foundation construction, excavating or utility trenching), information regarding site risk management procedures, including copies of the HSP and SMP, should be provided to the contractors for their review, and each

contractor should provide such information to its subcontractors. The SMP measures should be incorporated into the project design documents. The SMP should include a discussion of the following:

- Site control procedures to control the flow of personnel, vehicles and materials in and out of the site.
- Measures to minimize dust generation, storm water runoff and tracking of soil off-site.
- Dewatering protocols, if dewatering is anticipated, including methods to evaluate water quality and discharge/disposal alternatives; the pumped water should not be used for on-site dust control or any other on-site use. If long-term dewatering is required, the means and methods to extract, treat and dispose ground water also should be presented and should include treating/discharging ground water to the sanitary sewer under a Publicly Owned Treatment Works permit or treating/discharging ground water to the storm drain system pursuant to a California Regional Water Quality Control Board – San Francisco Bay Region NPDES permit.
- Protocols for conducting earthwork activities in areas where impacted soil, soil vapor and/or ground water are present or suspected. Worker training requirements, health and safety measures and soil handling procedures should be described.
- Perimeter air monitoring for dust during any activity that significantly disturbs site soil (e.g., mass grading, foundation construction, excavating or utility trenching) to document the effectiveness of dust control measures.
- Protocols to be implemented if buried structures, wells, debris, or unidentified areas of impacted soil are encountered during site development activities.
- Protocols to characterize/profile soil suspected of being contaminated so that appropriate mitigation, disposal or reuse alternatives, if necessary, can be implemented. Soil in contact with ground water should be assumed contaminated. All soil excavated and transported from the site should be appropriately disposed at a permitted facility.
- Stockpiling protocols for “clean” and “impacted” soil; the contractor may require temporary stockpiling adjacent to excavation areas.
- Decontamination procedures to reduce the potential for construction equipment and vehicles to release contaminated soil onto public roadways or other off-site transfer.
- Procedures to evaluate and document the quality of any soil imported to the site. Soil containing chemicals exceeding residential (unrestricted use) screening levels or typical background concentrations of metals should not be accepted.
- Methods to monitor excavations and trenches for the potential presence of VOC impacted vapors. Protocols should be developed and implemented in the event elevated VOC vapors are released during excavation activities.
- Measures to reduce soil vapor and ground water migration through trench backfill and utility conduits. Such measures should include placement of low-permeability backfill “plugs” at specified intervals on-site and at all locations where the utility trenches extend off-site. In addition, utility conduits that are placed below ground water should be installed with water-tight fittings to reduce the potential for ground water to migrate into the conduits.
- Because the site is known to have pollutants with the potential for mobilization, the civil engineer should design the bottom and sides of the vegetated swales and water features (if incorporated into building designs) to be lined with a minimum 10-mil heavy duty plastic to help prevent site infiltration.
- Measures to help reduce the potential for downward migration of contaminated groundwater.

The Department of Environmental Health (DEH) has reviewed the *Risk Management Plan* (RMP) prepared by AEI Consultants and dated June 27, 2017. A copy of the letter, from the DEH, dated September 28, 2017, is available for review at the City of Sunnyvale's Community Development Department, Monday through Friday between 8 a.m. and 5 p.m. The RMP describes how contaminated soil will be excavated, managed, consolidated,

and capped on-site. Two feet of clean soil will be used to cap the contaminated soil. The DEH approves the scope of work described in the RMP with the following conditions.

RMP APPROVAL CONDITIONS

1. A copy of the RMP must be kept on-site and available to contractors and site workers at all times.
2. The DEH shall be notified 5 days prior to the start of earthwork activities.
3. Encountered Unknown Conditions (Section 4.0) – In addition to the notifications listed in this section, the DEH must be notified as soon as possible if unanticipated environmental conditions are discovered during construction. Unanticipated conditions include, but are not limited to, environmental conditions that are not currently known about the site. For example, contamination outside of the known area of contamination, contamination at levels higher than reasonably anticipated based on site assessment data, or unknown underground storage tanks.
4. Dust Control (Section 3.3.5) – Prior to construction, the DEH must be notified of the party responsible to verify that dust control recommendations are practiced in the field, while the project is under construction.
5. A completion report shall be submitted to DEH subsequent to completion of earthwork activities.
6. Deed Restriction – Prior to case closure, a Deed Restriction/Environmental Covenant will be filed with the Santa Clara County Clerk Recorder Recorder's Office. A copy of the filing receipt and the fully executed deed restriction must be provided to the DEH before the case can be closed.

The deed restriction will:

- State that actions that are prohibited to prevent contact with the soil consolidation cell(s).
- State that if the consolidation cell(s) are damaged, the DEH must be notified and the consolidation cell(s) must be repaired.
- Include a fact sheet to describe the environmental site conditions and the location of the consolidation cell(s).

Please submit the following documents to DEH via GeoTracker according to the following schedule:

- **Completion Report 60 days after the completion of grading and subsurface utility work**
- **Soil Cap Maintenance Plan – December 27, 2017**

As the above are not considered required CEQA mitigation measures, the City has the discretion to require the above when considering the project. **(Less than Significant)**

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 11/15/17

Community Services	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
69. Public Services Parks - Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter of the Sunnyvale General Plan, Community Character Chapter of the Sunnyvale General Plan

Community Services	Potentially Significant Impact	Less than Sig. With Mitigation	Less Than Significant	No Impact	Source Other Than Project Description and Plans
government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?					www.sunnyvaleplanning.com
70. Recreation - Would the project increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter of the Sunnyvale General Plan, Community Character Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com
71. Recreation - Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Use and Transportation Chapter of the Sunnyvale General Plan, Community Character Chapter of the Sunnyvale General Plan www.sunnyvaleplanning.com

Further Discussion if "Less Than Significant" with or without mitigation: None required.

Responsible Division: Planning Division

Completed by: Ryan Kuchenig

Date: 11/15/17

City of Sunnyvale General Plan:

Sunnyvale General Plan Consolidated in (2011)
generalplan.InSunnyvale.com

- Community Vision
- Land Use and Transportation
- Community Character
- Housing
- Safety and Noise
- Environmental Management
- Appendix A: Implementation Plans

City of Sunnyvale Climate Action Plan 2014**City of Sunnyvale Municipal Code:**

- Title 8 Health and Sanitation
- Title 9 Public Peace, Safety or Welfare
- Title 10 Vehicles and Traffic
- Title 12 Water and Sewers
- Chapter 12.60 Storm Water Management
- Title 13 Streets and Sidewalks
- Title 16 Buildings and Construction
 - Chapter 16.52 Fire Code
 - Chapter 16.54 Building Standards for Buildings Exceeding Seventy –Five Feet in Height
- Title 18 Subdivisions
- Title 19 Zoning
 - Chapter 19.28 Downtown Specific Plan District
 - Chapter 19.29 Moffett Park Specific plan District
 - Chapter 19.39 Green Building Regulations
 - Chapter 19.42 Operating Standards
 - Chapter 19.54 Wireless Telecommunication Facilities
 - Chapter 19.81 Streamside Development Review
 - Chapter 19.96 Heritage Preservation
- Title 20 Hazardous Materials

Specific Plans:

- Downtown Specific Plan
- El Camino Real Precise Plan
- Lockheed Site Master Use Permit
- Moffett Park Specific Plan
- 101 & Lawrence Site Specific Plan
- Southern Pacific Corridor Plan
- Lakeside Specific Plan
- Arques Campus Specific Plan

Environmental Impact Reports:

- Futures Study Environmental Impact Report
- Lockheed Site Master Use Permit Environmental Impact Report

- Tasman Corridor LRT Environmental Impact Study (supplemental)
- Kaiser Permanente Medical Center Replacement Center Environmental Impact Report (City of Santa Clara)
- Downtown Development Program Environmental Impact Report
- Caribbean-Moffett Park Environmental Impact Report
- Southern Pacific Corridor Plan Environmental Impact Report
- East Sunnyvale ITR General Plan Amendment EIR
- Palo Alto Medical Foundation Medical Clinic Project EIR
- Luminaire (Lawrence Station Road/Hwy 237 residential) EIR
- NASA Ames Development Plan Programmatic EIS
- Mary Avenue Overpass EIR
- Mathilda Avenue Bridge EIR

Maps:

- General Plan Map
- Zoning Map
- City of Sunnyvale Aerial Maps
- Flood Insurance Rate Maps (FEMA)
- Santa Clara County Assessor's Parcel
- Utility Maps
- Air Installations Compatible Use Zones (AICUZ) Study Map
- 2010 Noise Conditions Map

Legislation / Acts / Bills / Resource Agency Codes and Permits:

- Subdivision Map Act
- Municipal Regional Stormwater NPDES Permit
- Santa Clara County Valley Water District Groundwater Protection Ordinance
- Section 404 of Clean Water Act

Lists / Inventories:

- Sunnyvale Cultural Resources Inventory List
- Heritage Landmark Designation List
- Santa Clara County Heritage Resource Inventory
- Hazardous Waste & Substances Sites List (State of California)
- List of Known Contaminants in Sunnyvale
- USFWS / CA Dept. F&G Endangered and Threatened Animals of California
<http://www.dfg.ca.gov/biogeodata/cnddb/pdfs/TEAnimals.pdf>
- The Leaking Underground Petroleum Storage Tank List www.geotracker.waterboards.ca.gov

- The Federal EPA Superfund List
www.epa.gov/region9/cleanup/california.html
- The Hazardous Waste and Substance Site List
www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm

Guidelines and Best Management Practices

- Storm Water Quality Best Management Practices Guidelines Manual 2007
- Sunnyvale Citywide Design Guidelines
- Sunnyvale Industrial Guidelines
- Sunnyvale Single-Family Design Techniques
- Sunnyvale Eichler Guidelines
- Blueprint for a Clean Bay
- Santa Clara Valley Water District (SCVWD) Guidelines and Standards for Land Use Near Streams
- The United States Secretary of the Interior 's Guidelines for Rehabilitation
- Criteria of the National Register of Historic Places

Transportation:

- California Department of Transportation Highway Design Manual
- California Department of Transportation Traffic Manual
- California Department of Transportation Standard Plans & Standard Specifications
- Highway Capacity Manual
- Institute of Transportation Engineers - Trip Generation Manual & Trip Generation Handbook
- Institute of Transportation Engineers - Traffic Engineering Handbook
- Institute of Transportation Engineers - Manual of Traffic Engineering Studies
- Institute of Transportation Engineers - Transportation Planning Handbook
- Institute of Transportation Engineers - Manual of Traffic Signal Design
- Institute of Transportation Engineers - Transportation and Land Development
- U.S. Dept. of Transportation Federal Highway Administration Manual on Uniform Traffic Control Devices for Street and Highways & CA Supplements
- California Vehicle Code
- Santa Clara County Congestion Management Program and Technical Guidelines
- Santa Clara County Transportation Agency Short Range Transit Plan
- Santa Clara County Transportation Plan
- Traffic Volume Studies, City of Sunnyvale Public works Department of Traffic Engineering Division

- Statewide Integrated Traffic Records System
- Sunnyvale Zoning Ordinance – including Titles 10 & 13
- City of Sunnyvale General Plan – land Use and Transportation Element
- City of Sunnyvale Bicycle Plan
- City of Sunnyvale Neighborhood Traffic Calming Program
- Valley Transportation Authority Bicycle Technical Guidelines
- Valley Transportation Authority Community Design & Transportation – Manual of Best Practices for Integrating Transportation and Land Use
- Santa Clara County Sub-Regional Deficiency Plan
- City of Sunnyvale Deficiency Plan
- AASHTO: A Policy on Geometric Design of Highways and Streets

Public Works:

- Standard Specifications and Details of the Department of Public Works
- Storm Drain Master Plan
- Sanitary Sewer Master Plan
- Water Master Plan
- Solid Waste Management Plan of Santa Clara County
- Geotechnical Investigation Reports
- Engineering Division Project Files
- Subdivision and Parcel Map Files

Miscellaneous Agency Plans:

- ABAG Projections 2013
- Bay Area Clean Air Plan
- BAAQMD CEQA Guidelines 2011 Thresholds

Building Safety:

- California Building Code,
- California Energy Code
- California Plumbing Code,
- California Mechanical Code,
- California Electrical Code
- California Fire Code
- Title 16.52 Sunnyvale Municipal Code
- Title 16.53 Sunnyvale Municipal Code
- Title 16.54 Sunnyvale Municipal Code
- Title 19 California Code of Regulations
- National Fire Protection Association (NFPA) standards

OTHER:**Project Specific Information**

- Project Description
- Project Development Plans, dated October 2017
- Noise Studies by Mei Wu Acoustics, dated April 11 and July 8, 2016
- Arborist Report by Monarch Consulting Arborists LLC, dated April 24, 2016
- Historic Evaluation by Strata Design Studio, dated June 10, 2016
- California Historical Resources Information System (CHRIS) Letter, dated May 16, 2016
- Air Quality and Greenhouse Gas Assessment by Illingworth & Rodkin, Inc., dated April 19, 2016
- Phase I Environmental Site Assessment by AEI Consultants dated March 25, 2016
- Shallow Soil Investigation/Phase II ESA by AEI Consultants dated July 19 and August 19, 2016
- RMP approval letter from the County of Santa Clara Department of Environmental Health (DEH), dated September 28, 2017
- Project Climate Action Plan CEQA Checklist

Summary

This checklist identifies the minimum criteria a project must demonstrate to use the City's CAP for purposes of streamlining the analysis of greenhouse gas emissions under CEQA. Minimum criteria outlined below includes: 1) consistency with CAP forecasts, and 2) incorporation of applicable Near-Term (prior to 2016) strategies and measures from the CAP as binding and enforceable components of the project.

Section 1: Consistency with CAP Forecasts

The CAP's achievement of the 15% reduction below 2008 target is based on growth assumptions in the City's General Plan and regional growth forecasts. For eligibility to streamline from the CAP for purposes of an environmental analysis, projects must demonstrate consistency with CAP forecast assumptions using the criteria listed below. As appropriate, these criteria should be cited as evidence in any subsequent environmental document.

1A. Does the project include large stationary emissions sources that would be regulated by the Air District?

☐ Yes

☒ No

*If **no**, then the project may be eligible to claim consistency with growth assumptions that were used for CAP modeling. Skip to question **1C** to determine consistency with CAP forecasts.*

*If **yes**, the project may trigger additional changes to the physical environment that were not considered in the CAP and would otherwise be regulated by the Bay Area Air Quality Management District. Complete **1B**.*

1B. If this project is a stationary source emitter as outlined under 1A, does it also include any of the following emissions sources?

Residential uses	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Commercial uses	<input type="checkbox"/> Yes	<input type="checkbox"/> No

*If **no**, the project does not include any emissions sources that were assumed in CAP growth forecasts. Therefore, the project may trigger additional changes to the physical environment that were not considered in the CAP. CAP measures may be used to mitigate GHG emissions, but project-level analysis of GHG emissions using the California Emissions Estimator Model (CALEEMod) or another method must be prepared by a qualified air quality consultant.*

*If **yes**, the project may include emissions sources mitigated by the CAP. Therefore, any sources identified in 1B may be eligible to claim consistency with the CAP. All stationary sources regulated by the Bay Area Air Quality Management District shall be analyzed separately. Other sources that were analyzed in the CAP may still qualify for streamlining, should the project demonstrate consistency with the CAP as outlined in **1C** and following sections below.*

1C. Does the project trigger an amendment to or adoption of any of the following planning documents?

General Plan	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Specific Plan	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Precise Plan for El Camino Real	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Please describe any amendments or adoption of new specific plans or special planning areas, as applicable:

*If **no**, then the project is eligible to claim consistency with growth assumptions that were used for CAP forecasts.*

*If **yes**, the project would trigger an amendment to or adoption of one or more of the documents list above, complete **1D** below.*

1D. If the project triggers an amendment to the General Plan, specific plans, and/or special planning areas, complete the following table:

	Existing & Proposed Project			Proposed Project's Net Effect on Citywide Forecasts		
	Existing or Allowed Under Existing Zoning (A)	Proposed Project (B)	Net Change from Existing Zoning (C=B-A)	2020 CAP Forecast (D)	Proposed Project's Net Effect on Citywide 2020 Forecast (E = D+C)	Would Net Effect of Project Exceed the Citywide 2020 CAP Forecast?
Population				145,020		
Jobs				89,750		
Households / Dwelling Units				59,660	59,662	

Please describe any assumptions used to calculate existing, allowed, or proposed conditions:

*If **no for all indicators above**, then the project may be eligible to claim consistency with CAP growth assumptions. The project's assumed residents, employees, and households would not create a net increase on community-wide growth assumed in the CAP. The CAP uses these community-wide growth indicators to forecast community-wide emissions from residential energy use, nonresidential energy use, water-related emissions, and waste. Because the CAP uses these comparable indicators to forecast non-transportation related emissions, and the project would not exceed the CAP's assumed 2020 residents, employees, and dwelling units, the project's non-transportation emissions are therefore consistent with CAP growth assumptions and captured within the CAP's emissions forecast. Complete **1E** below.*

*If **yes to one or more indicators above**, the proposed project's net effect on citywide 2020 forecasts would exceed the 2020 CAP forecast assumptions. Therefore, the project may trigger additional emissions not assumed in CAP growth forecasts. Any projects that exceed the 2020 forecasts may still rely on the CAP for identification of measures and standards for mitigation. However, since such projects exceed the assumptions of the CAP forecast, it is recommended that the project demonstrate anticipated project-level GHG emissions estimates using CALEEMod or another tool. (estimates prepared by consultant).*

1E. If the project is consistent with CAP growth forecasts as identified in 1D above, provide the following information.

Would the project have a potentially significant impact after mitigation on any of the following standards of significance identified in the State CEQA Guidelines, Appendix G?

a) Conflict with an applicable plan, program, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
c) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

*If **yes to one or more standards above**, the proposed project's net effect on citywide 2020 forecasts is inconsistent with plans, programs, or policies that informed the assumptions for the 2020 transportation forecast. Therefore, the project is inconsistent with transportation emissions forecasts and is not eligible to claim consistency with the CAP for purposes of GHG emissions and impacts on climate change.*

*If **no for all standards above**, then the project is consistent with the plans, programs, policies, or ordinances that informed the travel demand model for the 2020 transportation forecast of the CAP. Therefore, the project is consistent with CAP growth assumptions for transportation emissions in the CAP and is eligible to claim consistency with CAP transportation forecasts.*

Section 2: Consistency with CAP Measures

The CAP provides measures that achieve a 15% reduction below 2008 emissions levels by 2020. Each of the measures contains a bulleted list of action items/project standards that help projects achieve that goal. Projects that wish to demonstrate consistency with the CAP must demonstrate consistency with all applicable measures and action items/project standards from the CAP. Consistency with all applicable measures should be cited as evidence to support tiering from the CAP.

2A. Using the action items/project standards identified on the following pages, identify all measures and action items/project standards that are applicable to the project. Identify applicability and project compliance with each action item/project standard.

If a project demonstrates all applicable mandatory standards, the project is eligible to claim consistency with CAP measures and is eligible for CAP streamlining.

If a project does not integrate all applicable mandatory standards, the project is ineligible to claim consistency with CAP measures and is not eligible for CAP streamlining.

Additional voluntary measures may also be recommended. Projects inconsistent with growth forecasts should consider integrating all feasible voluntary and mandatory CAP measures.

Standards for Climate Action Plan Consistency/Private Development

(Includes Near-Term Action Items and Action Items Already Implemented by the City)

Applicable? (Yes or No)	Measure	Action Item/Project Standard	Describe whether standards are applicable and how the project demonstrates consistency with applicable standards
Yes	OS-2	Provide availability and access to outdoor space for recreation or social purposes, including access to public open spaces on privately owned property such as retail shopping centers	The project is subject to useable open space and landscaping per unit requirements of the City's landscaping ordinance. The project plans demonstrate consistency with these standards.
Yes	OS-3.1	Continue to implement the City's Tree Preservation requirements.	The project arborist report recommends removal of all 18 existing trees onsite due to their condition and location within the proposed site improvements. The City's Tree Replacement Standards require a minimum of thirteen 24-inch box trees; seven 24-inch box trees and

			three 36-inch box trees; twenty-one 15-gallon trees and three 36-inch box trees; or a combination of 15-gallon, 24-inch, and/or 36-inch box trees to be planted to offset the loss of protected trees. The project is required to meet the City's Tree Replacement Standards, and the details will be finalized as part of the SDP process.
Yes	EC-2.2	Continue to require energy-efficient siting of buildings. Buildings should be oriented and landscape material should be selected to provide maximum energy efficiency for the buildings	A minimum of 80 points on the GreenPointRated checklist for each new home is required to comply with the Green Building requirement. The project plans indicate compliance.
Yes	WC-2.3	Require new open space and street trees to be drought-tolerant	The project has been designed to comply with the Water-Efficient Landscaping requirements.
Yes	LW-2.1	Require multi-family homes to participate in the City's Multi-family Recycling Program	N/A, conceptual plans show a detached single-family project.
Yes	LW-2.2	Select materials to be targeted for diversion methods, services or technologies based on the results of the Zero Waste Strategic Plan	The Zero Waste Strategic Plan is already being implemented.
No	CA-1.7	Actively promote the use of alternative modes of transportation as safe modes of travel. When applicable, promote viable programs sponsored by 511.org, the BAAQMD and other recognized agencies on the City's website and publications	The 838 Azure St. site is located approximately within 0.4 miles of a VTA bus stop at El Camino Real and Sunnyvale Ave and 0.3 miles at the Sunnyvale-Saratoga Rd. and Remington Dr. bus stop. A pedestrian access gate is proposed for residents to conveniently access the Sunnyvale-Saratoga Rd. sidewalk, which provides a direct route to nearby services and transit.
No	CTO-1.1	Incorporate the provisions of AB 1358, the California Complete Streets Act of 2008, into roadway design, construction and maintenance activities	The existing public street in front of the property is not being modified. There is an existing Class II bikeway along the Sunnyvale-Saratoga Rd. project frontage.
No	CTO-1.2	Implement the street space allocation policy (RTC 8-085, April 28, 2009) in coordination with road reconstruction or resurfacing projects to provide road configurations that accommodate all travel modes.	The existing public street in front of the property is not being modified. There is an existing Class II bikeway along the Sunnyvale-Saratoga Rd. project frontage.
No	CTO-1.3	Require new development to provide cross-parcel access and linkages from the	A pedestrian access gate is proposed for residents to conveniently access the Sunnyvale-Saratoga Rd. sidewalk, which

Climate Action Plan CEQA Checklist
 Project Name: 838 Azure St. – Four Single Family
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		development entrance to the public sidewalk system, transit stops, nearby employment and shopping centers, schools, parks and other parcels for ease of pedestrian and cyclist access	provides a direct route to nearby services and transit. Existing public sidewalks will be improved as part of the project,
Yes	CTO-1.4	Improve pedestrian safety and comfort through design elements such as landscaped medians, pedestrian-level amenities, sidewalk improvements and compliance with ADA design standards, particularly for areas serving high volumes of traffic.	The existing sidewalk, street trees, and street lights will be upgraded to comply with current City standards, including a wider sidewalk for a better pedestrian experience.
No	CTO-1.5	Improve bicycle facilities and perceptions of comfort through pavement marking/coloring, physical separation, specialized signs and markings and other design elements.	The existing public street in front of the property is not being modified. There is an existing Class II bikeway along the Sunnyvale-Saratoga Rd. project frontage.
Yes	CTO-1.6	Require sidewalks to be a minimum of 6 feet wide in order to allow side-by-side walking at identified locations that currently serve high pedestrian traffic volumes or locations planned to serve high volumes of pedestrian traffic.	The existing sidewalk will be upgraded to comply with current City standards.
Yes	CTO-2.1	Require public areas and new development to provide bicycle parking consistent with the VTA Bicycle Technical Guidelines, as amended.	Each home is required to have a City standard two-car garage, which has been found to have sufficient storage space for resident bicycle parking.
No	CTO-3.1	Continue sponsoring projects to provide transit rider amenities at bus stops and rail stations.	The project is located within close proximity to a bus stop and bike lanes along Sunnyvale-Saratoga Road.
No	CTO-4.1	Require existing and future major employers to utilize a variety of transportation demand management measures such as flexible work schedules, telecommuting, guaranteed rides home, low or no cost transit passes, parking "cash-out" incentives and other programs that provide employees with alternatives to single-occupant commutes.	The project is for residential use.
Yes	EP-2.3	Prevent buildings and additions from shading more than 10% of roofs of other structures.	A solar study was completed, demonstrating that existing adjacent roofs will not be shaded more than 10%

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 Project Name: 838 Azure St. – Four Single Family
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			by the project.
No	EP-2.3	Continue to allow and encourage solar facilities above paved parking areas.	N/A, conceptual plans show a single-family project
Yes	OR-1.3	In project review, encourage the replacement of high-maintenance landscapes (like grass turf) with native vegetation to reduce the need for gas-powered lawn and garden equipment.	The project has been designed to comply with the Water-Efficient Landscaping requirements and does not include any turf.
Yes	OR-2.1	Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]) or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.	This is a standard condition of approval that will be implemented during construction.
Yes	OR-2.2	Construction equipment must be maintained per manufacturer's specifications	This is a standard condition of approval that will be implemented during construction.
Yes	OR-2.3	Planning and Building staff will work with project applicants from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:	This is a standard condition of approval that will be implemented during construction.
		a. Substitute electrified or hybrid equipment for diesel and gasoline powered equipment where practical	
		b. Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane or biodiesel.	
		c. Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered	

		equipment.	
		d. Limit heavy-duty equipment idling time to a period of three minutes or less, exceeding CARB regulation minimum requirements of five minutes.	

Section 3: Minimum Recommended Content for Environmental Analysis

Projects demonstrating consistency with the CAP should use the following table as a guide for preparation of environmental analysis. As appropriate, information on the preceding pages should be used to support the analysis:

	Greenhouse gas analysis topic	Minimum recommended content
1	Existing Settings	General - GHG emissions and effects of global climate change
2	Existing Settings	State - statewide inventory and forecasts
3	Existing Settings	Local - Summary of CAP inventory and forecasts
4	Regulatory Framework	Federal - Brief overview of context
5	Regulatory Framework	State - CEQA Guidelines Section 15183.5 Tiering and Streamlining Analysis of GHGs - Summary of the streamlining provisions and whether they apply to the project, focusing on project components that aren't otherwise covered by streamlining
6	Regulatory Framework	State - regulations quantified and addressed in the CAP, including EO-S-3-05, AB 32, Climate Change Scoping Plan, Renewable Portfolios Standard (Senate Bill 1078, Governor's Order S-14-08, and California Renewable Portfolio Standards), Sustainable Communities Strategy, and California Building Energy Efficiency Standards
7	Regulatory Framework	Local – Bay Area Air Quality Management District
8	Regulatory Framework	Local - CAP, brief summary
9	Standards of Significance	CEQA Guidelines, Appendix G Standards
10	Standards of Significance	CEQA Guidelines Section 15183.5 Tiering and Streamlining Analysis of GHGs
11	Standards of Significance	CAP and supplemental EIR guidance
12	Impacts	Identify findings of CAP supplemental EIR
13	Impacts	Finding: Provide findings of significance, streamlining by focusing on findings of CAP supplemental EIR.

	Greenhouse gas analysis topic	Minimum recommended content
14	Impacts	<p>Projects that are consistent with CAP forecasts and measures should demonstrate the following:</p> <ul style="list-style-type: none"> -Consistency with assumptions of CAP forecast, using tables and information from this guide -Incorporation of all applicable CAP measures as mitigations or as part of the project description -CAP finding that all such measures, on a citywide basis, lead to a less than significant impact
15	Impacts	<p>Projects that are inconsistent with either CAP forecasts or CAP measures are not eligible for streamlining. While such projects may still incorporate elements identified above, they should also incorporate project-level GHG emissions modeling.</p>



Regina Alcomendras
Santa Clara County
Clerk-Recorder
(408) 299-5688
<https://www.clerkrecorder.org>

Receipt: 17-245048

Product	Name	Extended
CEQA	ENVIRONMENTAL FILING	\$0.00
	# Pages	45
	Document #	ENV21217
	Document Info:	CITY OF SUNNYVALE
	Filing Type	F
Total		\$0.00
Change (Cash)		\$0.00

PLEASE KEEP FOR REFERENCE

**2016 ENVIRONMENTAL FILING FEE CASH RECEIPT**

DFW 753.5a (Rev. 12/15/15) Previously DFG 753.5a

RECEIPT NUMBER:

ENV21217

STATE CLEARINGHOUSE NUMBER (If applicable)

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY.

LEAD AGENCY CITY OF SUNNYVALE	LEAD AGENCY EMAIL	DATE 11/21/2017
COUNTY/STATE AGENCY OF FILING SANTA CLARA	DOCUMENT NUMBER	
PROJECT TITLE 838 AZURE STREET-FOUR SINGLE FAMILY HOMES		
PROJECT APPLICANT NAME XIN LU	PROJECT APPLICANT EMAIL	PHONE NUMBER (408) 799-1017
PROJECT APPLICANT ADDRESS PO BOX 1507	CITY CUPERTINO	STATE CA
		ZIP CODE 95015

PROJECT APPLICANT (Check appropriate box)

☐ Local Public Agency ☐ School District ☐ Other Special District ☐ State Agency ☒ Private Entity

CHECK APPLICABLE FEES:

☐ Environmental Impact Report (EIR) \$3,070.00 \$ _____
☐ Mitigated/Negative Declaration (MND)(ND) \$2,210.25 \$ _____
☐ Certified Regulatory Program document (CRP) \$1,043.75 \$ _____

☐ Exempt from fee
 ☐ Notice of Exemption (attach)
 ☐ CDFW No Effect Determination (attach)
☐ Fee previously paid (attach previously issued cash receipt copy)

☐ Water Right Application or Petition Fee (State Water Resources Control Board only) \$850.00 \$ _____
☐ County documentary handling fee \$ _____
☐ Other \$ _____

PAYMENT METHOD:

☐ Cash ☐ Credit ☐ Check ☒ Other

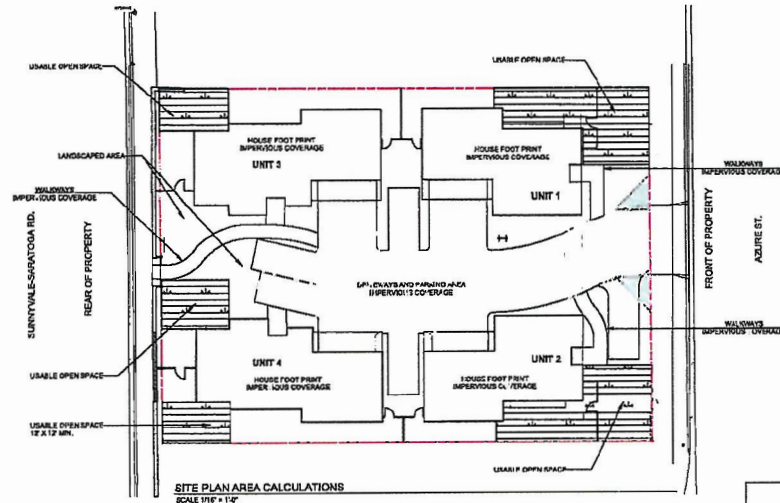
TOTAL RECEIVED \$ \$0.00

SIGNATURE

AGENCY OF FILING PRINTED NAME AND TITLE

Nina Khamphilath, Deputy County Clerk-Recorder

• AZURE STREET •
SPECIAL DEVELOPMENT PERMIT
SUNNYVALE, CALIFORNIA



AREA LEGEND

[Symbol]	USABLE OPEN SPACE	2,173 S.F.
[Symbol]	U.O.S. PER UNIT	543.23 S.F.
[Symbol]	TOTAL LANDSCAPE	5,900 S.F.
[Symbol]	U/S PER UNIT	1,475 S.F.
[Symbol]	PERVIOUS COVERAGE	6,317 S.F.
[Symbol]	IMPERVIOUS COVERAGE	8,342 S.F.
[Symbol]	HOUSES & WALKWAYS	
[Symbol]	DRIVEWAYS & PARKING	

CONSULTANTS

DESIGNER
Paragon Design Group, Inc.
Ranger W. Smith, P.E., P.L.S.
439 Alameda Way, Suite #A
Livermore, CA, 94551
408.358.3707

LANDSCAPE ARCHITECT
David Associates
Paul Reed
477 South Taft St.,
Sunnyvale, CA, 94086
408.461.9020

CIVIL ENGINEER
SPROCK CIVIL ENGINEERING
595 Bryant Street Suite 348
Palo Alto, CA 94301
650.349.4249

GENERAL DATA

SCOPE OF WORK:
4 NEW 2 STORY SINGLE FAMILY HOMES
WITH ATTACHED 2 CAR GARAGES

Project Info
Owner: WILLIAM LEE
Address: 842 SUNNYVALE-SARATOGA RD
SUNNYVALE, CA

APN: 211-16-030
Type of Const: V8
Site Area: 14,659.10 SF.

INDEX

ARCHITECTURAL PLANS

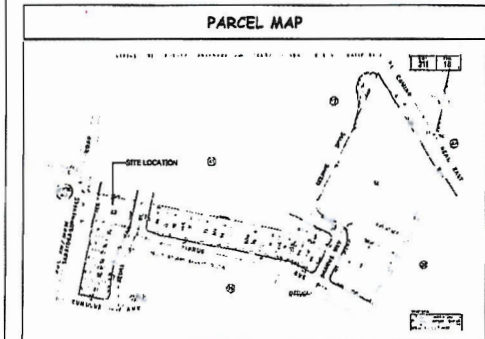
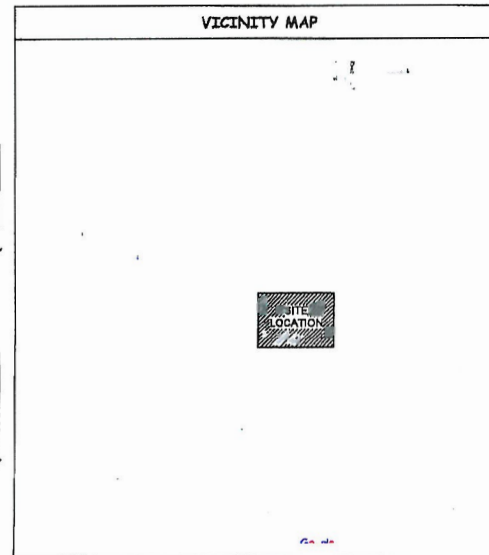
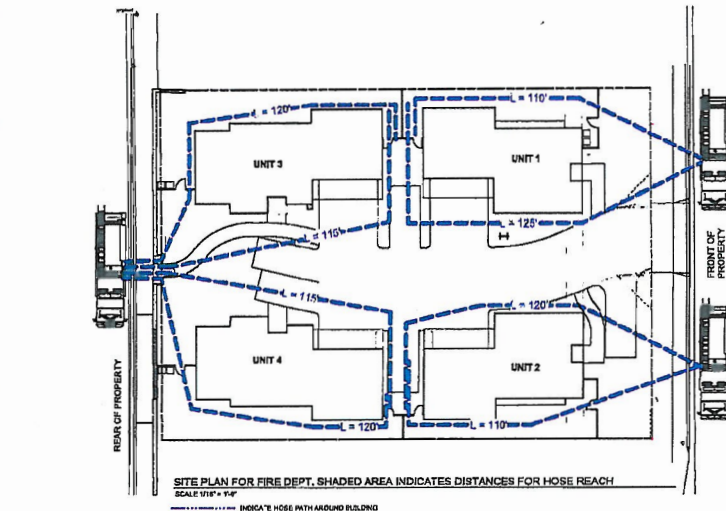
- CS COVER SHEET, AREA CALCULATIONS MAPS
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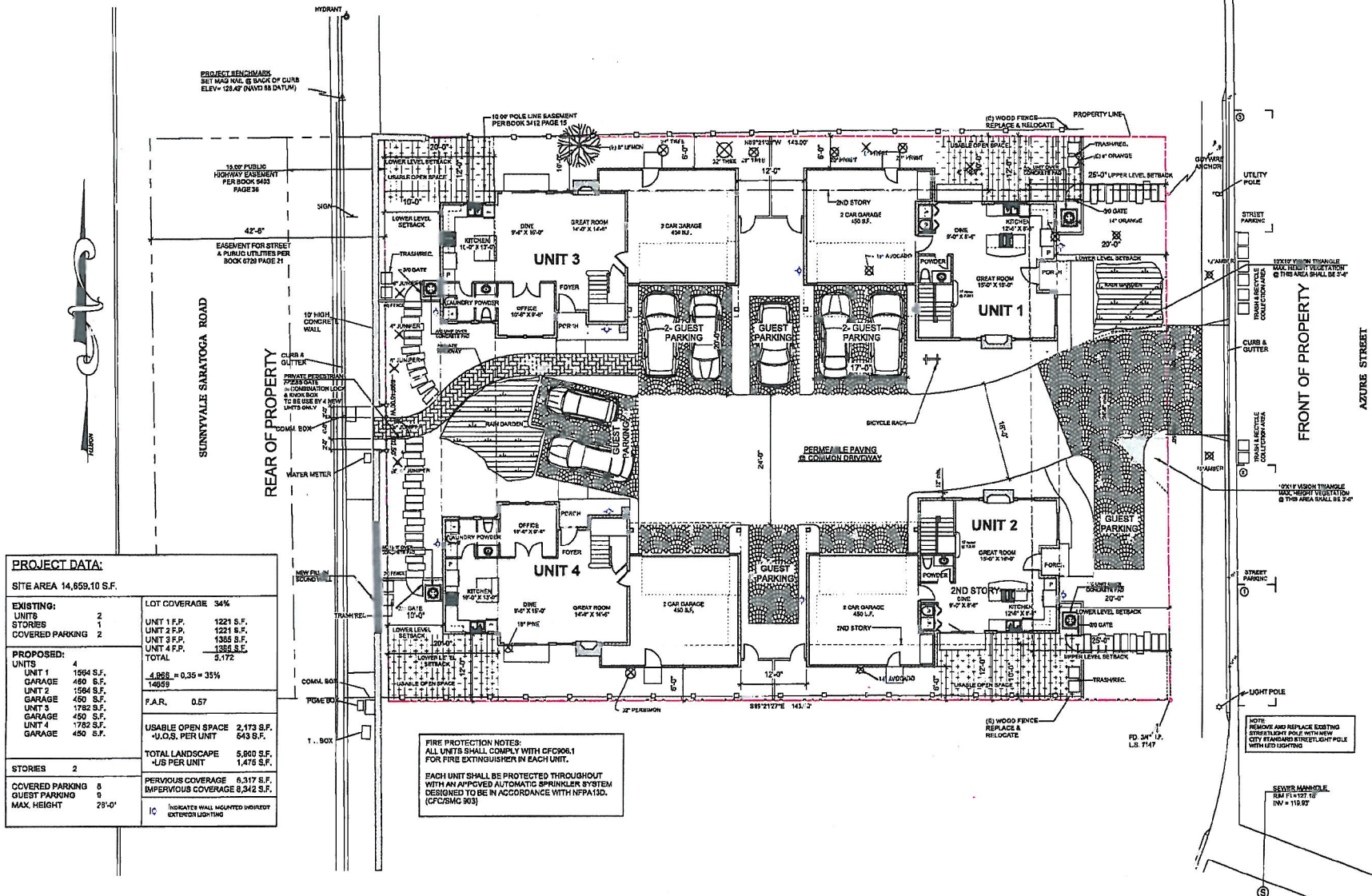


Azure Street
Special Development Permit
842 Sunnyvale-Saratoga Rd, Sunnyvale, CA
Project #12-017
REVISED 01-17-2017

• COVER SHEET •

DESIGN GROUP, INC.
URBAN DESIGN & PLANNING
408 Alameda Way, Suite B
Livermore, CA 94551
Tel: 408.358.3707
Office: 408.358.3707
www.paragondesign.com

CS

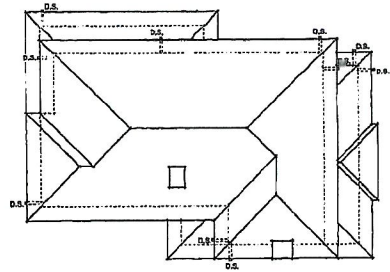


Azure Street
Special Development Permit
842 Sunnyvale Saratoga Rd. Sunnyvale, Ca.
Project #23017
Revised 10/11/2017

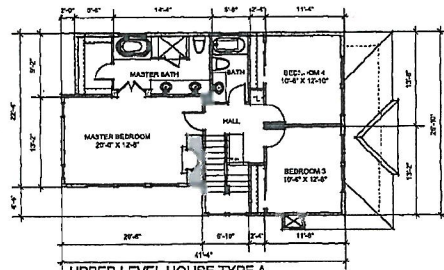
• PROPOSED SITE PLAN •
SCALE 1/8" = 1'-0"

DESIGN GROUP, INC.
URBAN DESIGN & PLANNING
1040 North First Street
P.O. Box 1000
Sunnyvale, CA 94089
Office: (415) 331-1111
www.designgroupinc.com

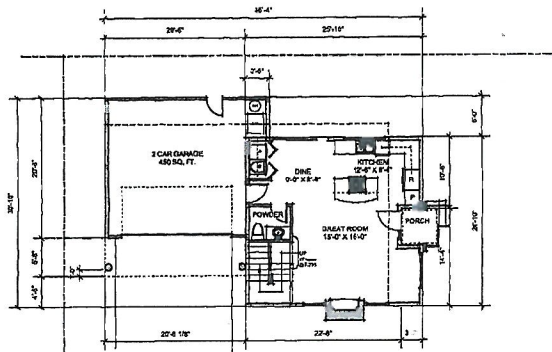
A-1



ROOF HOUSE TYPE A
SCALE 1/8" = 1'-0"



UPPER LEVEL HOUSE TYPE A
SCALE 1/8" = 1'-0"



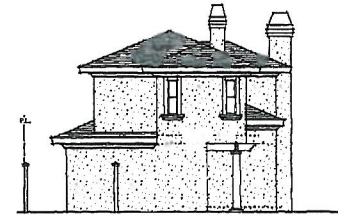
LOWER LEVEL HOUSE TYPE A
SCALE 1/8" = 1'-0"

LOWER LEVEL = 141.8
UPPER LEVEL = 94.2
TOTAL FLOOR SPACE = 1564 S.F.
GARAGE = 450 S.F.

Azure Street
Special Development Permit
7812 Sunnyvale-Santa Ana Rd. Sunnyvale, Ca.
Project #12-017
Revised 10/17-2017



ENTRY ELEVATION HOUSE TYPE A
SCALE 1/8" = 1'-0"



SIDE YARD ELEVATION HOUSE TYPE A
SCALE 1/8" = 1'-0"



PRIVATE STREET SIDE ELEVATION HOUSE TYPE A
SCALE 1/8" = 1'-0"

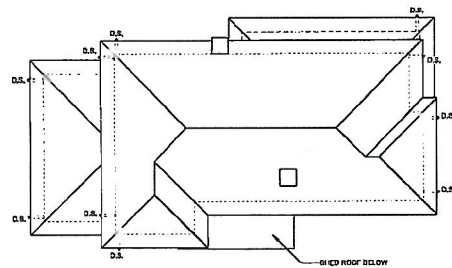


PATIO ELEVATION HOUSE TYPE A
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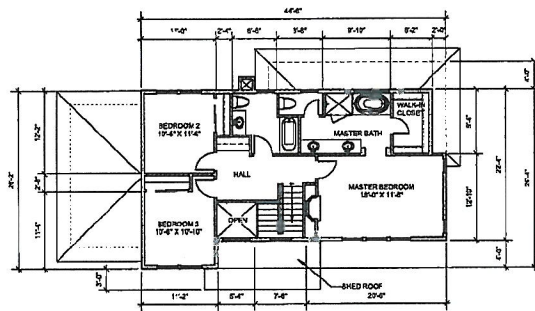
HOUSE TYPE A



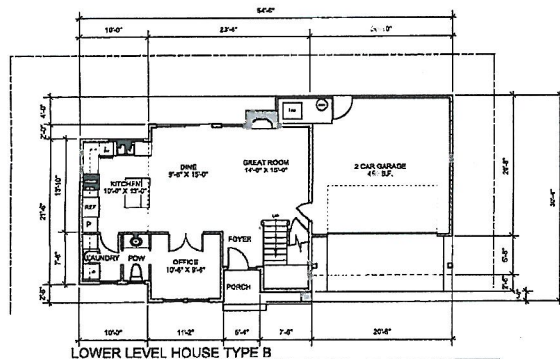
A-2



ROOF HOUSE TYPE B
SCALE 1/8" = 1'-0"



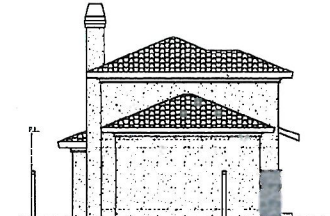
UPPER LEVEL HOUSE TYPE B
SCALE 1/8" = 1'-0"



LOWER LEVEL HOUSE TYPE B
SCALE 1/8" = 1'-0"
LOWER LEVEL - 450
UPPER LEVEL - 450
TOTAL LIVING SPACE - 1732 S.F.
GARAGE - 450 S.F.



ENTRY ELEVATION, HOUSE TYPE B
SCALE 1/8" = 1'-0"



REAR ELEVATION, HOUSE TYPE B
SCALE 1/8" = 1'-0"



PATIO ELEVATION, HOUSE TYPE B
SCALE 1/8" = 1'-0"



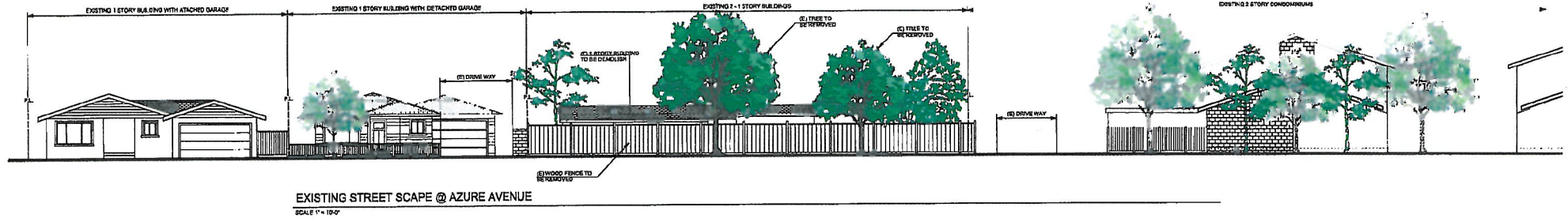
SIDE YARD ELEVATION, HOUSE TYPE B
SCALE 1/8" = 1'-0"

Azure Street
Special Development Permit
8-2 Sunnyvale-Santa Clara Co.
Project #123017
Revised 10/17/2017

• HOUSE TYPE B •

DESIGN GROUP, INC.
URBAN DESIGN & PLANNING
For Alameda County
1000 Alameda, Suite 100
Oakland, CA 94612
Tel: (415) 764-1000
office@designgroup.com
www.designgroup.com

A-3



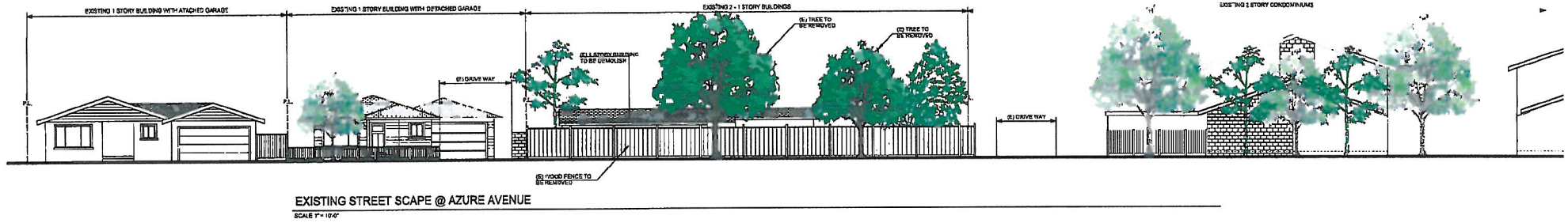
Azure Street
Special Development Permit
842 Sunnyvale-Santa Ana Rd Sunnyvale, CA
Project #23017
Revised 10/11/2017

• STREET SCAPE & SITE SECTION •



DESIGN GROUP, INC.
URBAN DESIGN & PLANNING
1000 Alameda Way, Suite 1
San Francisco, CA 94103
Phone: 415.398.1200
info@designgroup.com
www.designgroup.com

A-4

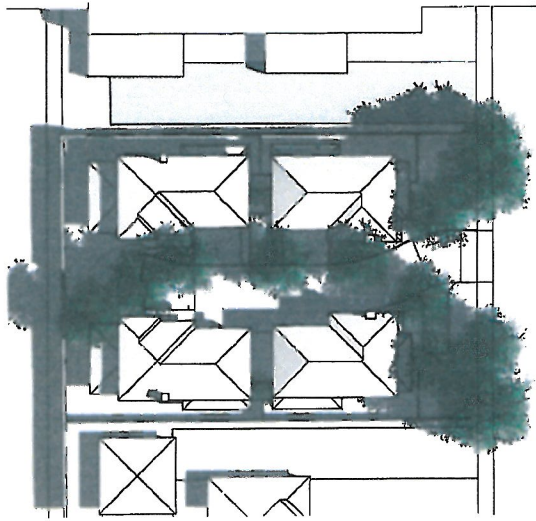


Azure Street
Special Development Permit
842 Sunnyvale-Sunnyvale Rd. Sunnyvale, CA
Project # 23067
Revised 10/1/2017

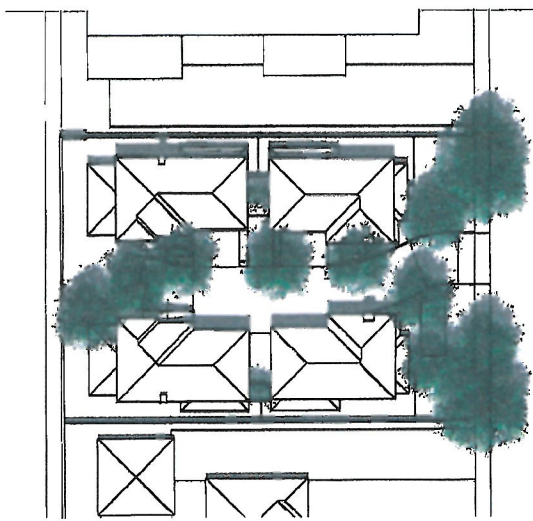
• STREET SCAPE & SITE SECTION •

DESIGN RECORDING
URBAN DESIGN & PLANNING
804 Alameda Way Suite 100
San Jose, CA 95126
Tel: 408-254-2707
office@designrecording.com
www.designrecording.com

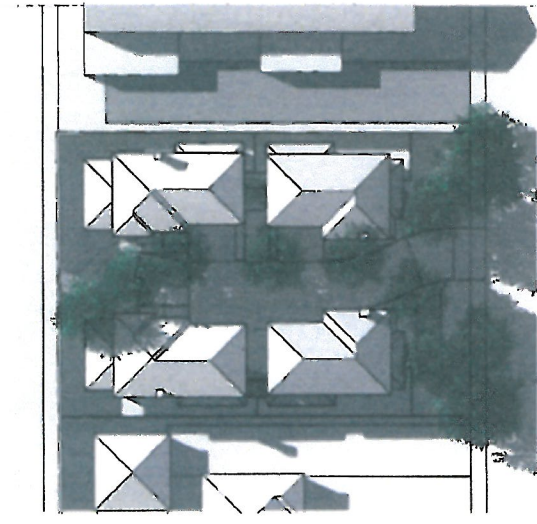
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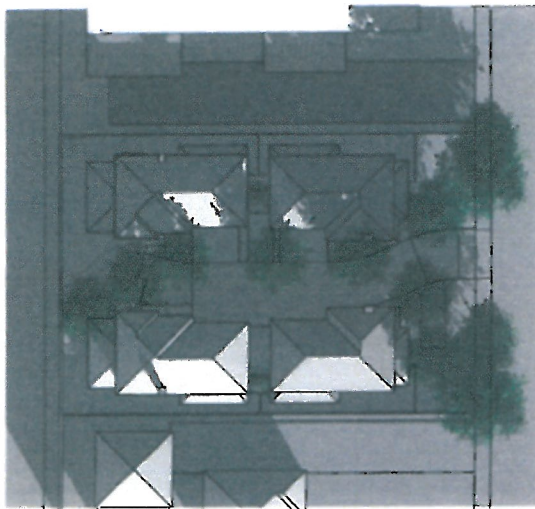
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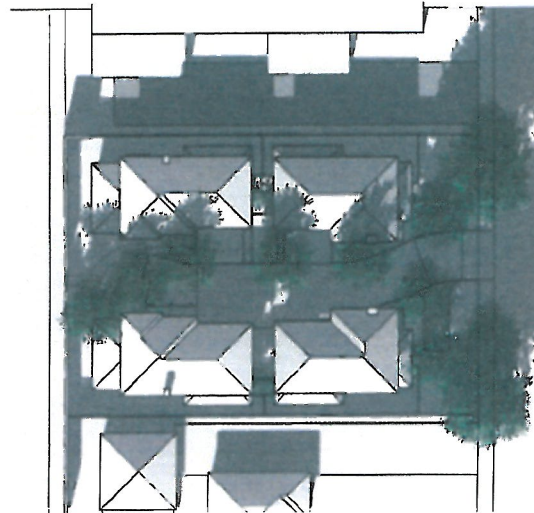
JUNE 21 - 12:00 P.M.



JUNE 21 - 5:00 P.M.



DECEMBER 22 - 9:00 A.M.



DECEMBER 22 - 12:00 P.M.



DECEMBER 22 - 5:00 P.M.

Azure Street
Special Development Permit
842 Sunnyvale-Sunnyvale Rd, Sunnyvale, CA
Project # 23017
Revised 10/17/2017

• SOLAR STUDY •



DESIGN GROUP, INC.
URBAN DESIGN & PLANNING
805 Alameda Way, Suite 10
Los Gatos, CA 95030
Tel: 408.354.1100
info@designgroupinc.com
www.designgroupinc.com

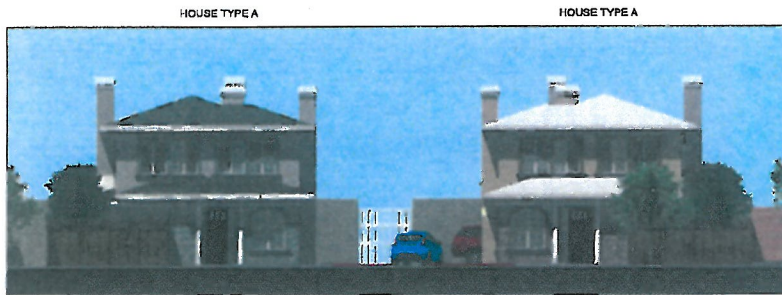
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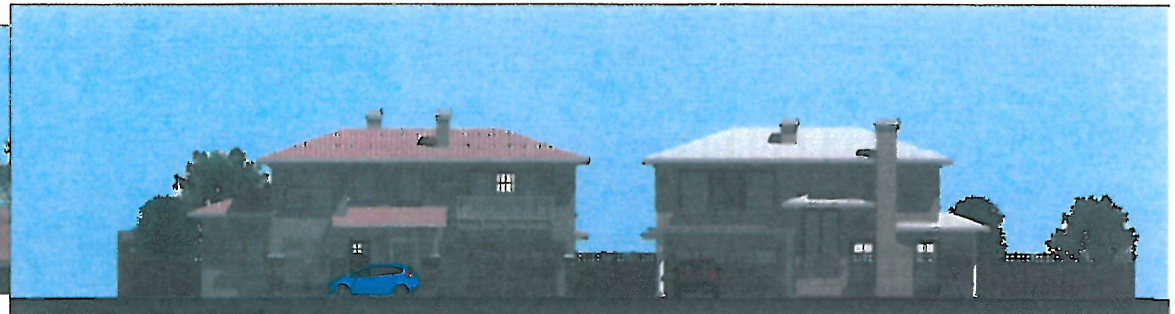
PERSPECTIVE FROM AZURE STREET



PERSPECTIVE FROM PRIVATE STREET



EXTERIOR VIEW FROM AZURE STREET



EXTERIOR VIEW FROM PRIVATE STREET

Azure Street
Special Development Permit
1842 Sunnyvale-Sunridge Rd., Sunnyvale, Ca.
Project # 23017
Revised 10/17/2017

• EXTERIOR RENDERINGS •

DESIGN GROUP INC.
URBAN DESIGN & PLANNING
1011 Alameda Way Suite II
San Jose, CA 95128
Phone 408.270.1701
info@designgroupinc.com
www.designgroupinc.com

A-6

BOOK CORNER



DESCRIPTION:	DATE:
TMAP SUBMITTAL	03/23/2017
TMAP SUBMITTAL	06/15/2017
TMAP SUBMITTAL	08/11/2017
TMAP SUBMITTAL	09/20/2017
TMAP SUBMITTAL	12/04/2017
TMAP SUBMITTAL	12/06/2017

**AZURE STREET
SUBDIVISION
838 AZURE STREET
SUNNYVALE, CA 94087**

1. OWNER: APPO INC.
2. C/E: ENGINEER: JAMES RIVANT ST 3568
P.O. BOX 404 DOWSON
CONTACT: WILLIAM T. KOPPEL
F 650 545 4343

3. PROPERTY:
RECORDING AT: 01/09/2005
155 S. LAMAR-SUNNYSIDE ROAD
1155.17 FEET FROM THE CENTER
OF CURVE, LATHA 30°11' LINE
R=120' 2 WEST, MID RAIL, BALD
NORTHWESTLY CORNER OF C
2 WEST, MID RAIL, BALD
LUTHERA PACTY, TELL SPRING,
LATHA 04/15, 1955, 1895
OPTICAL RECORD, PAGE 36
THENCE 7' FROM SOUT POINT OF BE
100' OF THE LINE OF SAG L
OF 100' OF FEET TO THE SOUT
GOLF ACRES, TRACT OF LAND
OF JAMES C. ROBERTS, A SING
N. 1/4, 1/4, 1/4, 1/4, 1/4, 1/4, 1/4
1124' OPTICAL RECORDS, PAGE 1
THENCE A SOUTH 69° 32' 30" E
100' ACRES TRACT FOR A CUSTAN
VICTORY LANE OF 1/4 ACRES
THAT: CERTAIN MAP INSTITUTE
WHICH MAP WAS FILED FOR REC
OF THE COUNTY OF SANTA CLARA
1/4 IN BLOCK OF 200 ACRES
19' ALONG ALONG THE SAID TRACT
1/4 IN BLOCK OF 200 ACRES
AS SAID LOT 8 SUTHERN UNION
REFUSED TO, THEREBY
NORTHERLY 1/4 OF SAID LOT 7
THENCE FOR A DISTANCE OF
RECORDING

4. ASSOCIATED PAGES: NUMBER: 2118-10-000

5. DEVELOPER: SENECA CAPITAL MANAGEMENT LLC

6. SUBDIVISION NAME: ALDINE STREET

7. EXISTING ZONING: R-2PD

8. PROPOSED ZONING: R-2PD

9. EXISTING USE: RESIDENTIAL

10. PROPOSED USE: RESIDENTIAL

11. GROSS AREA: 0.34 ACRES

12. NUMBER OF LOTS: 4 RESIDENTIAL LOTS

13. UTILITY SERVICES:

WATER: CITY OF SUNDYVALE

STORM DRAIN: CITY OF SUNDYVALE

SANITARY SEWER: CITY OF SUNDYVALE

CABLE TV: COMCAST

GAS & ELECTRICAL: PACIFIC GAS & ELECTRIC

TELEPHONE: AT&T

14. BOUNDARY SURVEY: CHIPPENWAS & FLOUFF LOT SURVEY

15. PLEASANT TO THE: THIS PROPERTY IS LOCATED WITHIN FLOOD PLAIN INSURANCE RATE MAP NUMBER MAY 18, 2009

16. LOT SIZE: 0.34 ACRES

LOT 1: 0.1656 ACRES

LOT 2: 0.0656 ACRES

LOT 3: 0.0633 ACRES

LOT 4: 0.0633 ACRES

<u>SHEET #</u>	<u>DESCRIPTION</u>
C1.0	TENTATIVE PARCEL MAP TITLE
C2.0	EXISTING CONDITIONS & TREE DISPOSITION
C3.0	GRADING PLAN
C4.0	DRAINAGE AND UTILITY PLAN

Underground Call
 before you Dig.
 1-800-227-2600

SCALE

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PROJECT No:	16-9812
DATE:	02/10/2017
SCALE:	AS SHOWN
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE

**TENTATIVE PARCEL
MAP TITLE**

C1.0



FOR PLAN REVIEW ONLY
NOT FOR CONSTRUCTION

Project Control:
Mikaila K. Konevsky | mk@kprox.com

DATE	DESCRIPTION
03/22/2017	TRAMP SUBMITTAL
04/12/2017	TRAMP SUBMITTAL
04/17/2017	TRAMP SUBMITTAL
05/20/2017	TRAMP SUBMITTAL
07/06/2017	TRAMP SUBMITTAL

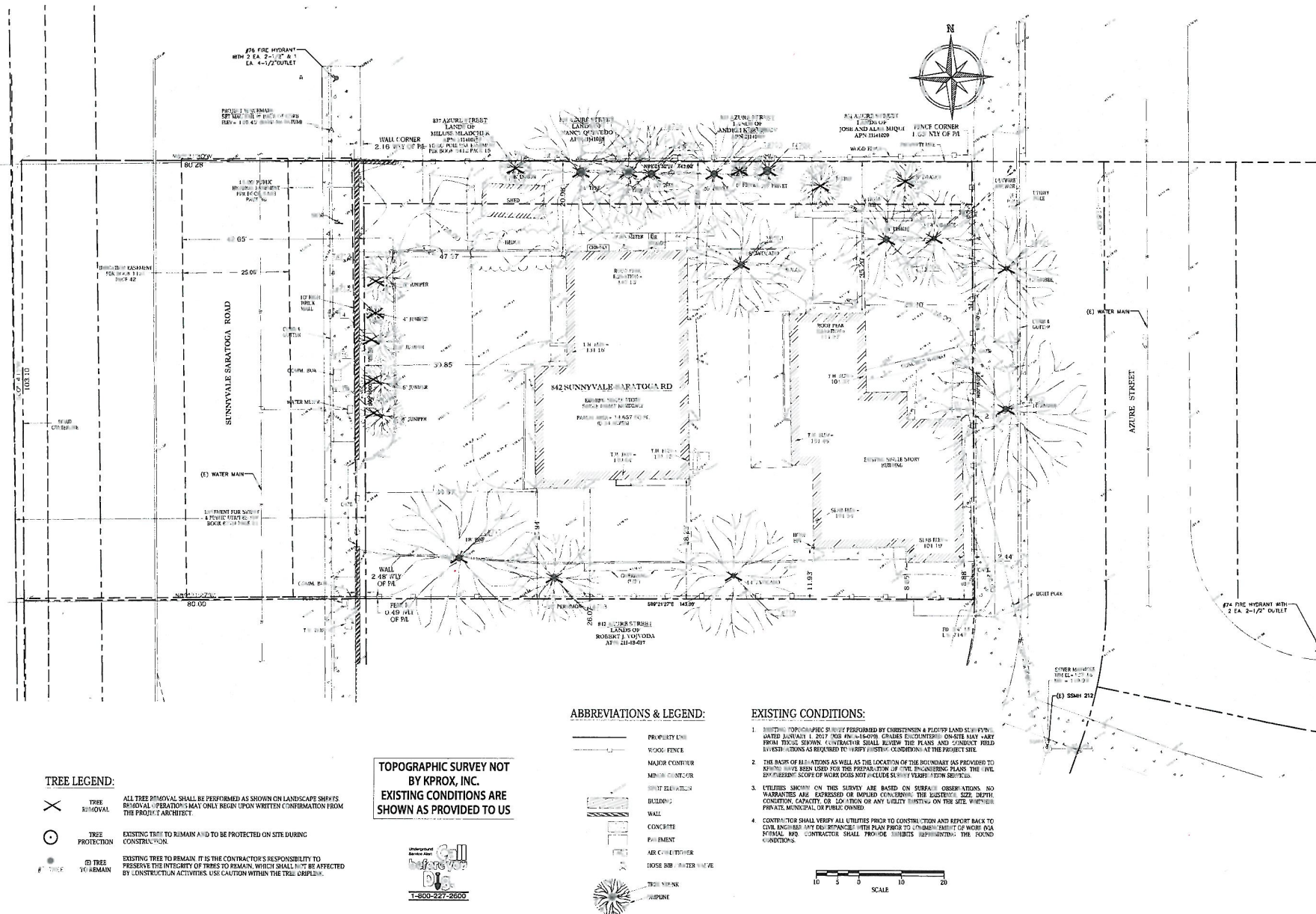
AZURE STREET
SUBDIVISION
838 AZURE STREET
SUNNYVALE, CA 94087

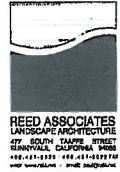
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PROJECT No: 16-9812
DATE: 02/10/2017
SCALE: 1" = 10'
DESIGN/DRAWN: MK
CHECKED: EK

SHEET TITLE
EXISTING CONDITIONS AND TREE DISPOSITION

C2.0





Azure Street Project
836 Azure St.
Sunnyvale, CA

DATE	DESCRIPTION
8.15.17	City Comments
8.15.17	City Comments
8.15.17	Site Update



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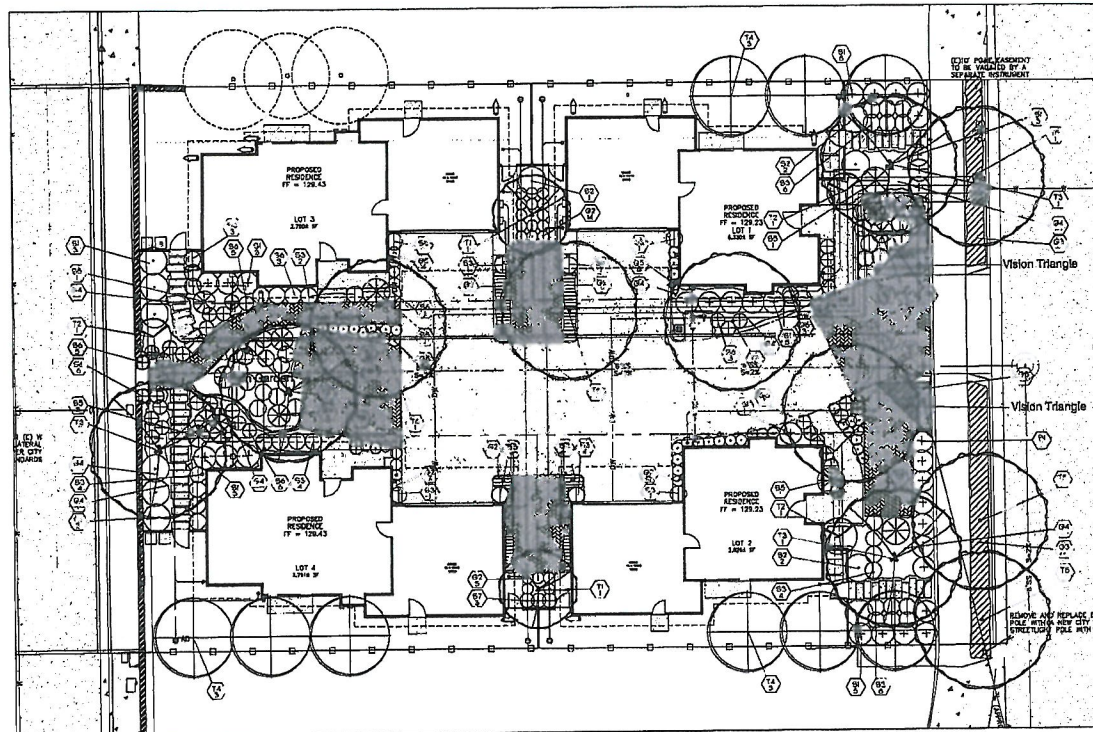
APPROVED	DATE	REVIEWED	DATE
Michael J. Reed	8.15.17		

Scale: 1" = 10'

Landscape Planting
Plan

L1.0

Sheet of



PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN QUANTITIES SHOWN IN THE LEGEND ARE FOR CONFORMANCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHADY AREAS AS NOTED. USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 4% SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2% SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (S.M.M.)
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT'S IS TO BE NOTED IMMEDIATELY.
- EXPOSE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 10% FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAINAGES AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND UTILITY ALERT: 1-800-277-6800
- PROTECT EXISTING STORM DRAIN INLETS DRAIN INLETS WITH FILTER FABRIC FOR THE DURATION OF THE PROJECT.

PLANT LIST:

KEY IDENTIFI- CATOR NAME	COMMON NAME	QTY	SIZE	WUCOLS
11 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
12 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
13 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
14 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
15 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
16 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
17 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
18 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
19 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
20 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
21 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
22 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
23 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
24 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
25 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
26 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
27 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
28 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
29 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
30 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
31 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
32 ARGENTUS LINDO	STY. BERRY TREE	2	24" GAL	LOW
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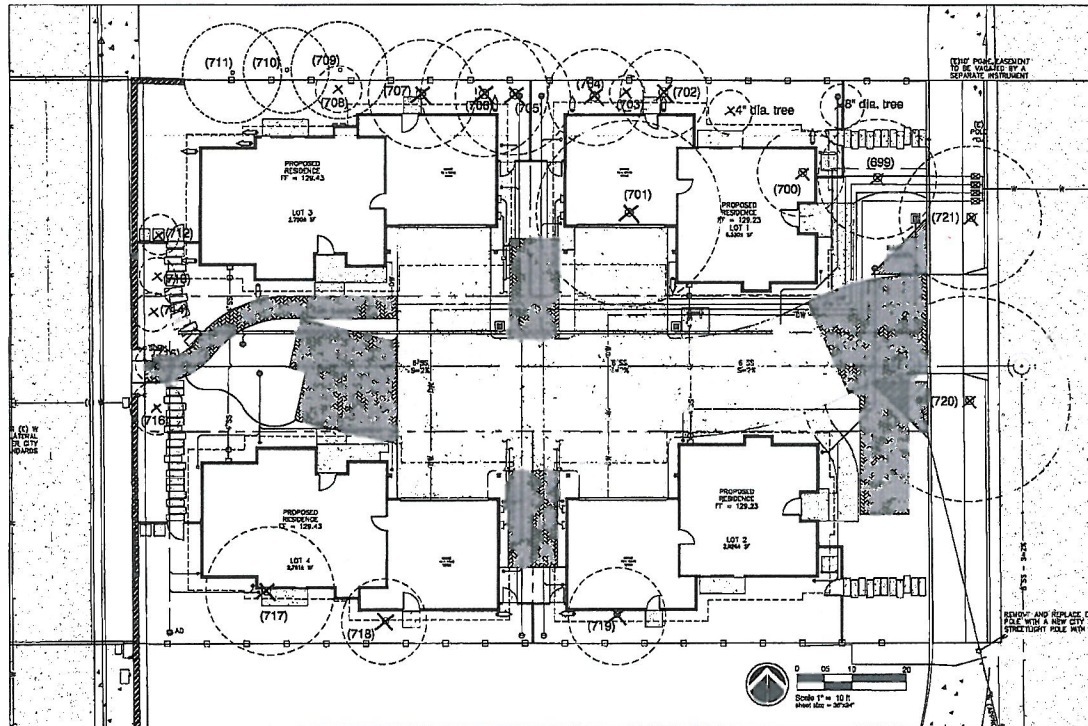
PLANT SYMBOLS

- INDICATES PLANT KEY
- INDICATES PLANT QUANTITY
- EXISTING TREE TO REMAIN
- 5'-6" HIGH POOL EQUIPMENT SCREENING FENCE



Scale 1" = 10'
Sheet size = 24" x 36"





PLANT SYMBOLS

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

TREE PROTECTION NOTES

PROTECT EXISTING TREES (IS-OWN ON PLAN) TO REMAIN BY FOLLOWING THESE INSTRUCTIONS:

1. THE GRADE BETWEEN THE DRINKLE AND ROOT CROWN OF THE TREES SHALL NOT BE CUT AND CAN BE FILLED BY ONLY 3" EXCEPT WITHIN 5' OF THE TRUNK WHERE THE GRADE SHALL NOT BE DISTURBED.
2. IRRIGATION AND DRAIN WATER SHALL BE ABLE TO DRAIN AWAY FROM THE ROOT CROWN OF THE TREE.
3. DO NOT DRIVE OR PARK VEHICLES WITHIN THE DRINKLE AREA OF THE TREES UNLESS NECESSARY TO DO PAVING CONSTRUCTION. IF THERE HAS BEEN ANY VEHICULAR TRAFFIC WITHIN THE DRINKLE, THE GROUND SHALL BE SCARIFIED BY HAND TO A DEPTH OF 12" TO DE-COMPACT.
4. DO NOT ALLOW CONTRACTORS TO DUMP WASTE, CONCRETE, PLASTER, ETC. UNDER DRINKLE OF TREES. DO NOT ALLOW PAINTING OR OTHER TO CLEAN EQUIPMENT UNDER DRINKLE WALL OF EXISTING TREES WASTE MATERIAL DRAINAGE WOULD CAUSE WASTE TO RUN WITH DRINKLE. DO NOT ALLOW ANY WASTE TO BE DUMPED IN SOIL ON SITE.
5. TREES SHALL NOT BE PRUNED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR ARBORIST.
6. IF IT IS NECESSARY TO PRUNE OR CUT ANY ROOTS LARGER THAN 4" IN DIAMETER, THE ROOTS SHALL BE CUT CLEANLY AND ROOT REPAIRED. WHERE EXCAVATION IS REQUIRED AROUND TREES FOR WALL, PAVING, ETC. THE REPLACED SOIL SHALL BE 10% ROCK, AMENDMENT AND 20% NATIVE SOIL.
7. NO IRRIGATION SHALL BE INSTALLED WITHIN 5' OF THE TRUNK. NO SPRAY SHALL HIT THE TRUNKS OF TREES. ALL TREES WITHIN THE DRINKLE WILL BE DONE BY HAND. ALL PAVING SHALL RUN PERPENDICULAR TO THE TRUNK WITHIN THE DRINKLE EXCEPT AT FACE OF CURB, PLANTER, OR PAVING.

TREE REPLACEMENT (see sheet L1.0 for replacement trees)

- 1 TREES REMOVED 12"-18" - 1 - 24" BOX REPLACEMENT TREES
- 2 TREES REMOVED 18"-24" - 3 - 36" BOX REPLACEMENT TREES
- 3 TREES REMOVED 25" OR GREATER

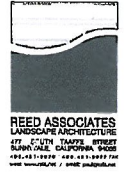
Appendix B: Tree Inventory and Disposition Tables

Table 1: Tree Inventory

Tree Number	Species	Trunk Diameter (in)	Height (ft)	Condition	Disposition	Notes
700	Redwood	12"	25'	Good	Remain	
701	Redwood	14"	28'	Good	Remain	
702	Redwood	16"	30'	Good	Remain	
703	Redwood	18"	32'	Good	Remain	
704	Redwood	20"	34'	Good	Remain	
705	Redwood	22"	36'	Good	Remain	
706	Redwood	24"	38'	Good	Remain	
707	Redwood	26"	40'	Good	Remain	
708	Redwood	28"	42'	Good	Remain	
709	Redwood	30"	44'	Good	Remain	
710	Redwood	32"	46'	Good	Remain	
711	Redwood	34"	48'	Good	Remain	
712	Redwood	36"	50'	Good	Remain	
713	Redwood	38"	52'	Good	Remain	
714	Redwood	40"	54'	Good	Remain	
715	Redwood	42"	56'	Good	Remain	
716	Redwood	44"	58'	Good	Remain	
717	Redwood	46"	60'	Good	Remain	
718	Redwood	48"	62'	Good	Remain	
719	Redwood	50"	64'	Good	Remain	
720	Redwood	52"	66'	Good	Remain	
721	Redwood	54"	68'	Good	Remain	

Table 2: Tree Disposition

Tree Number	Species	Trunk Diameter (in)	Height (ft)	Condition	Disposition	Notes
700	Redwood	12"	25'	Good	Remain	
701	Redwood	14"	28'	Good	Remain	
702	Redwood	16"	30'	Good	Remain	
703	Redwood	18"	32'	Good	Remain	
704	Redwood	20"	34'	Good	Remain	
705	Redwood	22"	36'	Good	Remain	
706	Redwood	24"	38'	Good	Remain	
707	Redwood	26"	40'	Good	Remain	
708	Redwood	28"	42'	Good	Remain	
709	Redwood	30"	44'	Good	Remain	
710	Redwood	32"	46'	Good	Remain	
711	Redwood	34"	48'	Good	Remain	
712	Redwood	36"	50'	Good	Remain	
713	Redwood	38"	52'	Good	Remain	
714	Redwood	40"	54'	Good	Remain	
715	Redwood	42"	56'	Good	Remain	
716	Redwood	44"	58'	Good	Remain	
717	Redwood	46"	60'	Good	Remain	
718	Redwood	48"	62'	Good	Remain	
719	Redwood	50"	64'	Good	Remain	
720	Redwood	52"	66'	Good	Remain	
721	Redwood	54"	68'	Good	Remain	



Azure Street Project
838 Azure St.
Sunnyvale, CA

DATE	BY
City Comments	8/14/17
City Comments	8/14/17
Site Updates	12/1/17



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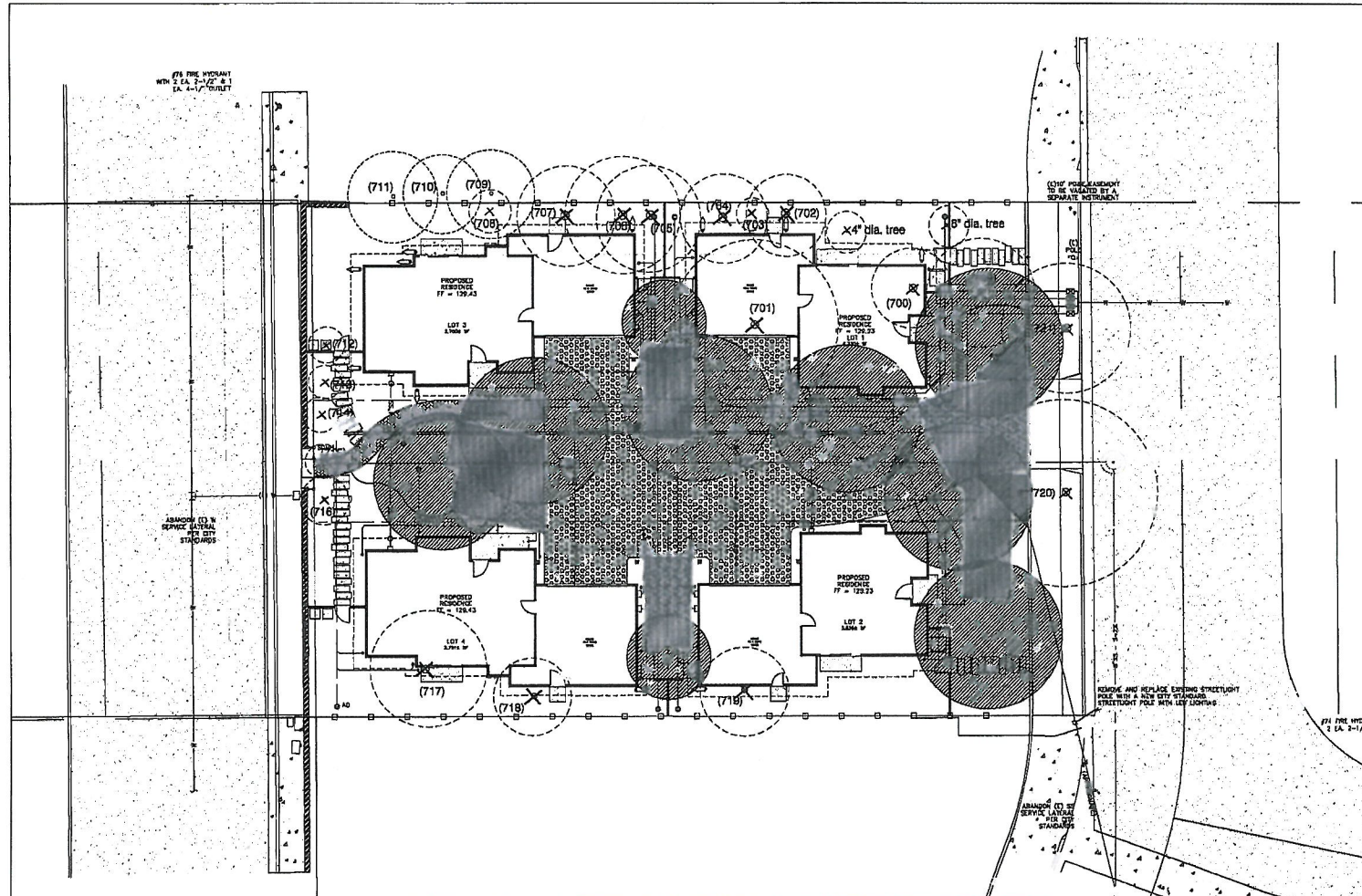
Existing Tree
Removal Plan

L1.1

RECALL: SEE SHEET L1.0 FOR ALL PLANNED TREE REMOVALS



Sheet 14 of 16

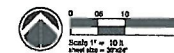


TREE SHADING LEGEND

- TREE CANOPY SHADING
- BUILDING SHADING AREA
- ENTRY DRIVE/IMPERVIOUS SURFACE AREA

TREE SHADING COVERAGE

Impervious Surface/Entry Drive square footage 3,578 s.f.
Tree shading square footage 1,631 s.f.
Percentage shading coverage in 10 years 51.5 %



BEFORE DELAYING CALL 811
ALWAYS DIG FOR
PLANNED WORK OPERATIONS



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
277 SOUTH TAMPE STREET
SUNNYVALE, CALIFORNIA 94086
TEL: 415-337-1270 FAX: 415-337-1272
WWW.REEDASSOCIATES.COM

Azure Street Project
538 Azure St.
Sunnyvale, CA

DATE	BY
5.14.17	City Comments
5.14.17	City Comments
5.14.17	Site Update



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APPROVED	DATE	REVISION	DATE
Paul J. Bied	5.14.17		
Project No.	17-0000	Sheet No.	5.14.17
Scale	1" = 10'	North Arrow	5.14.17

TREE SHADING PLAN

L1.2

Sheet of



Azure Street Project
838 Azure St.
Sunnyvale, CA

DATE	BY
01/17/17	CS
01/17/17	CS
01/17/17	CS

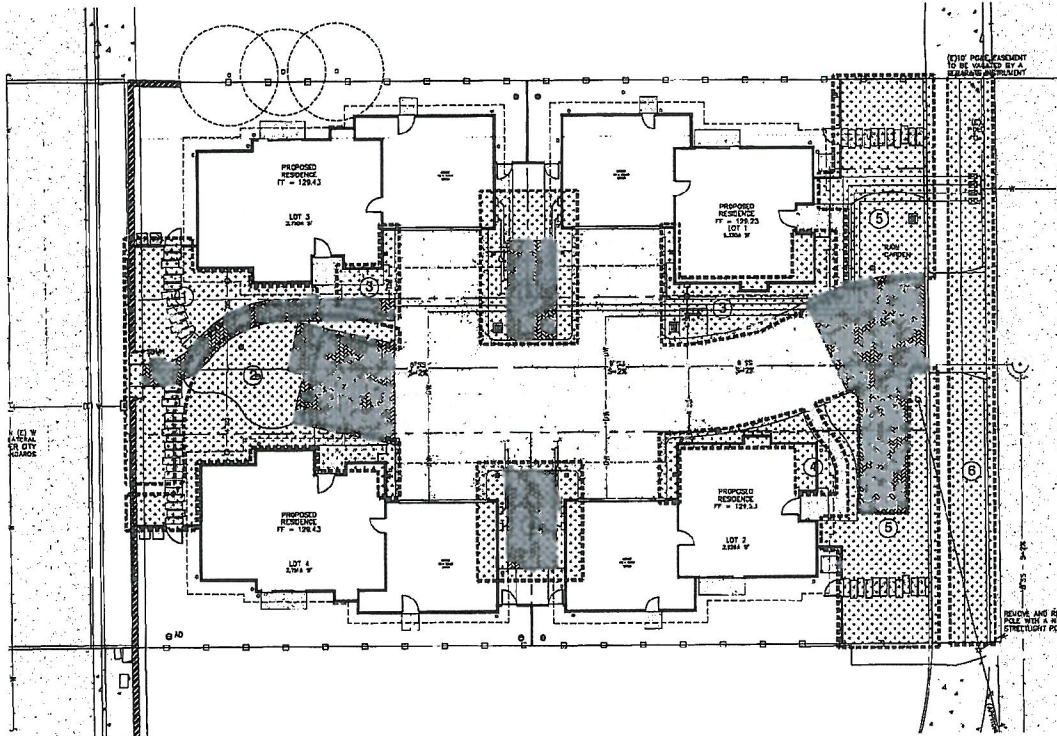


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Approved:	CS	Reviewed:	CS
Drawn:	CS	Project No.:	12345
Scale:	1"=10'	Issue Date:	01/17/17

Landscape
Hydrozone Plan

L2.0



IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

MEDIUM WATER REQUIREMENT

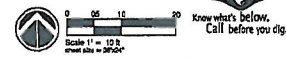
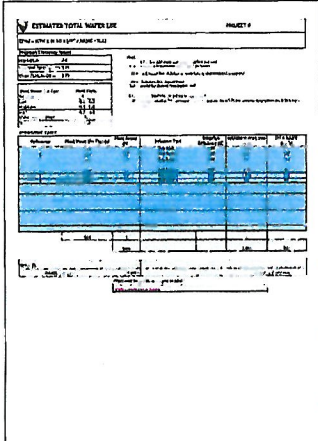
LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)

MAXIMUM APPLIED WATER ALLOWANCE PROJECT #

Water = (7.46 x 0.85) x 1.00 = 6.34 (1.00 x 0.85) = 0.85

ETc	0.85	ETc x K _u x K _p	0.85
Available water	1.00	Available water	1.00
Available water	1.00	Available water	1.00

1.00 (1.00 x 0.85) = 0.85





City of Sunnyvale

Agenda Item

17-1151

Agenda Date: 12/11/2017

REPORT TO PLANNING COMMISSION

SUBJECT

File #: 2017-7248

Location: 838 Azure Dr. (APN: 211-18-030)

Zoning: R-2/PD (Residential Low-Medium Density/Planned Development)

Proposed Project: Related applications on a .34-acre site:

SPECIAL DEVELOPMENT PERMIT: to develop four new single family homes. The existing single family home and accessory living unit are proposed to be demolished.

VESTING TENTATIVE MAP: to subdivide one lot into four lots

Applicant / Owner: Xin Lu

Environmental Review: Mitigated Negative Declaration

Project Planner: Ryan Kuchenig, (408) 730-7431, rkuchenig@sunnyvale.ca.gov

REPORT IN BRIEF

General Plan: Low-Medium Density Residential

Existing Site Conditions: One-Story Restaurant Building

Surrounding Land Uses

North: Low-Medium Density Residential - Condominiums

South: Single-Family Residential

East: Single-Family Residential

West: Small-lot single-family residential (across Sunnyvale-Saratoga Road)

Issues: Setbacks

Staff Recommendation: Alternative 1: Make the findings required by CEQA in Attachment 3, adopt the Mitigated Negative Declaration and approve the Special Development Permit and Tentative Parcel Map with the recommended findings in Attachment 3 and conditions of approval in Attachment 4.

BACKGROUND

Description of Proposed Project

The project site is .34 acres in size and is currently developed with one single-family home and an accessory living unit. The applicant is requesting a Special Development Permit to allow for the demolition of the existing structures and construction of four two-story single-family houses with associated on-site and off-site improvements. In addition, a Tentative Map is proposed for the subdivision of the one existing lot into four individual lots.

• Special Development Permit

A Special Development Permit (SDP) is required for site and architectural review on project sites with the PD designation. A SDP also allows for consideration of deviations from specified development standards in exchange for superior design, environmental preservation or public benefit. The

17-1151

Agenda Date: 12/11/2017

applicant is requesting a deviation from second-story combined side yard setbacks. The findings required to grant a SDP and deviations are discussed in Attachment 3.

- **Tentative Map**

The Tentative Map is required prior to a Final Map for the creation of four individual ownership lots. The Tentative Map shows the location of the proposed lot lines, public and private streets and other improvements (see Attachment 6). The Tentative Map conditions of approval are listed in Attachment 4. The Final Map is approved by the Director of Public Works and must be in substantial conformance to the Tentative Map.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Data Table of the project.

Previous Actions on the Site

On October 10, 2016, The City Council approved a General Plan Amendment to change the General Plan land use designation from Residential Low Density to Residential Low-Medium Density for the property. Council also rezoned the subject property and adjacent property at 838 Azure Street and 842 Sunnyvale Saratoga Road from Low Density Residential (R-0) to Low-Medium Density Residential with a Planned Development combining district (R-2/PD).

EXISTING POLICY

General Plan Goals and Policies: Key goals and policies from the Land Use and Transportation Chapter of the General Plan, Council Policy Manual and Single Family Home Design Techniques which pertain to the proposed project are provided in Attachment 3.

ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration has been prepared in compliance with California Environmental Quality Act (CEQA) provisions and City guidelines (see Attachment 5). An Initial Study has determined that the proposed project would not experience or create any significant environmental impacts with implementation of the recommended mitigation measures. Environmental issues that required mitigation include historical and cultural resources, noise, and air quality. The Mitigation Measures have been incorporated as Conditions of Approval (see Attachment 4).

DISCUSSION**Present Site Conditions**

The site is a double frontage lot with Sunnyvale-Saratoga Road on the west side and Azure Street on the east side. The site is located just north of the terminus with Cirrus Street. There is an existing masonry sound wall and driveway gate along the Sunnyvale-Saratoga Road frontage and an existing wood fence along the Azure Street frontage. Currently, the only vehicular access is from Sunnyvale-Saratoga Road. A pedestrian access gate is on the Azure Street frontage.

A single-family home and a detached accessory living unit is currently located on the site. As part of the previous General Plan Amendment and Rezoning application, a historic evaluation was provided by the applicant which indicated that the buildings have no historic significance. There are 18 trees onsite and two City street trees in the park strip along the Azure Street sidewalk. Ten of the onsite trees are considered protected trees per the Sunnyvale Municipal Code.

Development Standards: The project complies with most of the applicable development standards in the SMC, such as lot coverage, parking, landscaping, and usable open space. The applicant has requested a deviation from the required combined side yard setbacks for the first and second story. The "Project Data Table" in Attachment 2 summarizes the project's compliance.

Site Layout & Parking: The design includes four two-story single family houses located around a central vehicular driveway that enters off Azure Street. Vehicular access to Sunnyvale-Saratoga Road will be closed; however, private pedestrian access at this location would be provided to the new homeowners. Each home includes two three-bedroom and two four-bedrooms that range in size from approximately 2,014 to 2,232 square feet, including a two-car garage. The front doors of Units #1 and #2 face Azure street while the entrances to Units #3 & #4 face the interior of the site. Each home maintains a front porch and private rear yard areas.

New single family homes require two covered spaces and two uncovered spaces. Two uncovered parking spaces are each positioned in front of the garages of two units (Units #1 & #3). Two spaces are also located adjacent (at each side) to Unit 2 and two spaces are positioned near the front door of Unit #4 (angled off from the common driveway). An extra guest space is positioned between the driveways of Units 1 & 3. This extra space is required to be marked as "guest", per Conditions of Approval (COA BP-22b).

A 10-foot high wall runs along Sunnyvale Saratoga Road at the western boundary of the site, which will be removed and replaced with a similarly designed wall. This wall acts as a noise buffer for the proposed development from Sunnyvale-Saratoga Road. A new smaller private pedestrian access gate for residences only is planned near the middle of this western boundary line. Staff is recommending a Condition of Approval (BP-9f) to utilize a similar design with wrought-iron material as the existing gate that will be removed. (See "Site & Architectural Plans" are provided in Attachment 6). The existing wood fences along the north and south boundary lines will be replaced.

Trash and Recycling Access: The project will maintain individual carts for garbage and recycling service that will be stored in the garages. A trash staging area will be located along Azure Street near the main entrance to the development. Environmental Services and Public Works staff have determined that the preliminary plan satisfies established guidelines for trash and recycling for single-family residential developments. A final solid waste disposal plan is required, per Conditions of Approval.

Setbacks: The setbacks for the development site are based on the existing lot configuration in relationship to the surrounding development. The project meets front yard first and second story setbacks with 20' to the first story and 25' to the second story respectively. The project also meets the required minimum 10' first and 20' second story rear setbacks (west boundary adjacent to Sunnyvale-Saratoga Road). The minimum side yard setback is 4', while the combined requirement is 20% of the lot width at the front setback line, which results in 20' 6" in this case. The minimum second story setback requirement is 7' with a combined side yard setback of 26'6." The applicant is requesting a deviation for both combined setbacks.

Staff is supportive of the requested 12' combined first story setback (8.5 feet less than required), due to limited space provided for the individual unit configurations, which necessitates adequate garage area and vehicular access within the interior of the site. Staff is recommending that the project meet the second-story setback, per Conditions of Approval (COA PS-1a). Per the City's Small Lot Single-

17-1151

Agenda Date: 12/11/2017

Family Development Policy, the exterior boundaries of a proposed project adjacent to existing residential development should maintain a maximum required second story side yard setback along the side adjacent to existing homes. The applicant is proposing a minimum 10' and combined 20' second story setback where 26' 6" is required. An additional 6'6" setback can be accommodated through reconfiguration of the site layout and floor plans for the homes.

Architecture: The proposed architectural design is contemporary in style with a combination of painted stucco façade and stacked stone base as the predominant materials. Two layouts are proposed for the four homes, which mirror each other on the site. Each home incorporates adequate variation in the wall plane to break up the mass of each story. Two units utilize tile roofing material, while two utilize composition roof material. The stacked stone wraps around two sides of each home. Thick window sill treatment is proposed for each window for added interest. Each window also provides divided light framing. Staff has included a Condition of Approval that these windows be true divided light windows with multiple panes of glass rather than simulated divided light windows. Wooden trellis features are proposed above the garages of one style. A second-story balcony is positioned over the garage for the other style of the units. For second story windows that face existing neighboring development to the north and south, frosted glass is utilized for the bottom portion for improved privacy.

Landscaping: The site exceeds landscaping and open space requirements, as noted in the Project Data Table in Attachment 2. A total of 18 trees are located on the site. Of these trees, 10 are considered "protected," per City code. The arborist report recommends removal of all 18 existing trees onsite (one Grapefruit tree, one Persimmon tree, one Stone Pine, two Avocado trees, two Orange trees, five Junipers, and six Privets), because of their condition and conflicts with the site layout. Three nearby trees on the adjacent property to the north are required to be protected during construction, as well as two street trees along Azure Street. Twenty-four trees would be added to the site to comply with the City's replacement policy. Staff has worked with the applicant to ensure the new trees provide adequate shading to the interior of the site and improve privacy for the proposed development, as well as the adjacent existing development to the north and south.

Green Building Requirements: A minimum of 80 points on the GreenPoint Rated checklist are required for new single-family residential construction. A preliminary GreenPoint Rated checklist was prepared by the applicant with at least 115 points targeted. With 110 points or greater, the project may increase building height, lot coverage, or density. The applicant has not indicated any requested incentive as part of this proposal.

FISCAL IMPACT

The project is subject to payment of park in-lieu fees to the City and school impact fees to the Sunnyvale School District and Santa Clara Unified School District. Other standard fees and taxes apply.

PUBLIC CONTACT

Public contact was made through posting of the Planning Commission agenda on the City's official-notice bulletin board, on the City's website, and the availability of the agenda and report in the Office of the City Clerk.

Neighborhood Outreach Meeting

The applicant held a community outreach meeting at the Senior Center on October 12, 2017.

17-1151Agenda Date: 12/11/2017

Property owners and residents within 300 feet of the site were notified. Three community members attended the meeting. Concerns regarding traffic, parking, privacy were noted. Questions regarding construction length, noise and access were discussed.

Planning Commission Study Session

A study session was held with the Planning Commission on October 9, 2017. At the study session, Commissioners provided comments related to the site layout and specifically how parking would be managed between the new homes. Since the study session, the applicant has added an additional parking space. Due to the configuration of the lot, limited space is provided to design parking spaces directly in front of all the units. The applicant has since added an extra designated guest space. As a result, each unit provides two uncovered spaces per unit (plus an additional guest space). A parking management plan is required for the development, per Conditions of Approval. Additional comments related to project architecture, landscaping, and trees.

Notice of Public Hearings

- Published in the Sun newspaper.
- Posted at the site.
- 129 notices were mailed to property owners and tenants within 300 feet of the project as shown in Attachment 1.

Staff Report

- Posted on the City of Sunnyvale's web site.
- Provided at the Reference Section of the City of Sunnyvale's Public Library.
- Made available at the City's One-Stop Permit Center

Agenda

- Posted on the City's official notice bulletin board.
- Posted on the City of Sunnyvale's web site.

As of the date of staff report preparation, staff has not received any written comments from the public regarding this proposal.

ALTERNATIVES

1. Make the findings required by CEQA in Attachment 3 and adopt the Mitigated Negative Declaration and approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and conditions of approval in Attachment 4.
2. Make the findings required by CEQA in Attachment 3, adopt the Mitigated Negative Declaration and approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and modified conditions.
3. Make the findings required by CEQA in Attachment 3, adopt the Mitigated Negative Declaration and deny the Special Development Permit and Tentative Map.
4. Do not adopt the Mitigated Negative Declaration and direct staff as to where additional

17-1151Agenda Date: 12/11/2017

environmental analysis is required.

RECOMMENDATION

Alternative 1: Make the findings required by CEQA in Attachment 3 and adopt the Mitigated Negative Declaration and approve the Special Development Permit and Vesting Tentative Map with the recommended findings in Attachment 3 and conditions of approval in Attachment 4.

The project will improve the condition of the existing site and will provide additional home ownership opportunities. The development has been designed to complement the adjacent neighborhood through high quality architecture and building materials with an appropriate site design and landscaping. The project provides four ownership opportunities. The requested first story combined side yard setback deviation is reasonable and not anticipated to negatively affect adjacent properties. Potential environmental impacts can be mitigated to less than significant levels with the measures included in the conditions of approval.

Prepared by: Ryan Kuchenig, Senior Planner

Reviewed by: Gerri Caruso, Principal Planner

Approved by: Andrew Miner, Planning Officer

ATTACHMENTS

1. Noticing and Vicinity Map
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Initial Study - Mitigated Negative Declaration
6. Site & Architectural Plans

Recused: 1 - Vice Chair Weiss

Planning Officer Miner advised that this item goes to the City Council on January 23rd, 2018.

3. [17-1151](#) **File #:** 2017-7248
 Location: 838 Azure Dr. (APN: 211-18-030)
 Zoning: R-2/PD (Residential Low-Medium Density/Planned Development)
 Proposed Project: Related applications on a .34-acre site:
 SPECIAL DEVELOPMENT PERMIT: to develop four new single family homes. The existing single family home and accessory living unit are proposed to be demolished.
 VESTING TENTATIVE MAP: to subdivide one lot into four lots
 Applicant / Owner: Xin Lu
 Environmental Review: Mitigated Negative Declaration
 Project Planner: Ryan Kuchenig, (408) 730-7431, rkuchenig@sunnyvale.ca.gov

Senior Planner Ryan Kuchenig presented the staff report.

Commissioner Howe confirmed the location and designation of parking with Senior Planner Kuchenig. Planning Officer Miner explained the parking requirements and stated that the additional guest parking space exceeds the required parking. Planning Officer Miner noted that the additional space was added in response to Planning Commission comments during the study session. Commissioner Howe asked staff about street parking. Senior Planner Kuchenig stated that curbside parking along Azure Drive will accommodate an additional three cars.

Commissioner Simons confirmed with Senior Planner Kuchenig that staff is amenable to a review of the landscape selection by the City Arborist.

Commissioner Simons asked staff about configuring the bathrooms for future installation of safety bars. Senior Planner Kuchenig advised that the applicant can address this question.

Vice Chair Weiss confirmed with staff that the existing conditions incorrectly list a restaurant.

Vice Chair Weiss noted that two different owners are listed between the site plans

and staff report. Planning Officer Miner explained that the staff report lists the owner who filed the application.

Commissioner Harrison asked staff about the second-story combined side yard setback. Senior Planner Kuchenig advised that staff is proposing to eliminate 3 feet 3-inches from each side.

Commissioner Olevson confirmed with Senior Planner Kuchenig that each unit will receive three trash containers. Senior Planner Kuchenig provided details about the site design. Commissioner Olevson asked about the possibility of cars parked on the street during pickup days. Senior Planner Kuchenig advised that a no parking area could be considered. Planning Officer Miner confirmed this could be added as a COA.

Chair Rheume asked staff if the fence heights comply with City requirements. Senior Planner Kuchenig stated that the six-foot fences are not within any vision triangle and will allow for a more adequate yard. Planning Officer Miner noted the potential for the use of lattice to meet the total fence height.

Chair Rheume confirmed the removal and replacement of street trees with Senior Planner Kuchenig.

Chair Rheume confirmed the guest parking changes with Senior Planner Kuchenig. Chair Rheume noted his concern about the parking configuration and asked staff why the guest parking was not planned in front of Unit 2. Planning Officer Miner stated that there was not enough room on site for that design and that this parking space was added to mitigate parking concerns. Chair Rheume commented that the guest parking between Unit 2 and Azure Drive could be widened and used for two parking spots. Planning Officer Miner stated that the Planning Commission could require that change. Chair Rheume discussed alternate configurations with Planning Officer Miner.

Chair Rheume opened the Public Hearing.

Rodger Griffin, representing Paragon Design Group, Inc., presented images and information about the proposed project.

Commissioner Simons confirmed with Mr. Griffin that they are amenable to a review of the landscape selection by the City Arborist.

Commissioner Simons confirmed with Mr. Griffin that a COA can be added to specify that backing will be installed in bathrooms for future installation of safety bars.

Commissioner Simons confirmed with Mr. Griffin that space can be designated on the street for 12 trash and recycling containers.

Commissioner Simons confirmed with Mr. Griffin that a COA can be added to specify that the guest parking space between Azure Drive and Unit 2 cannot be expanded and will retain the decorative paving.

Commissioner Harrison asked the applicant about deviations for the solar shading study. Mr. Griffin stated that the only adjacent home is to the south and that no shadow will be cast to the south.

Commissioner Harrison discussed the removal of 3 feet 3-inches from each side to meet the second story side yard setback with Mr. Griffin.

Commissioner Olevson asked the applicant about their objection to COA PS-1. Mr. Griffin advised that they feel their proposed setback is adequate.

Joe Vojvoda, Sunnyvale resident, discussed his concerns with existing parking issues and the potential for garbage cans to take up street parking.

Commissioner Olevson asked Mr. Vojvoda about the source of the additional cars parking on the street. Mr. Vojvoda stated that they are from adjacent residential complexes that do not have enough parking.

Mr. Griffin presented additional information about the proposed project.

Vice Chair Weiss confirmed the trash and recycling location with Mr. Griffin.

Vice Chair Weiss confirmed with Mr. Griffin that they are amenable to specify in the COA that the garages be prewired for electric vehicles.

Vice Chair Weiss confirmed with Mr. Griffin that they are amenable to work with City staff to implement exterior lights that are on the approved International Dark-Sky Association (IDA) products list.

Chair Rheume closed the Public Hearing.

Commissioner Harrison asked staff about the purpose of the second-story combined side yard setback. Senior Planner Kuchenig provided details regarding privacy, aesthetics and limiting the impacts of small lot development. Commissioner Harrison confirmed the surrounding land uses with Senior Planner Kuchenig.

Vice Chair Weiss asked staff about the maintenance and monitoring of the ventilation systems. Senior Planner Kuchenig stated that the property owner for each unit will be responsible. Planning Officer Miner stated that if each unit has its own ventilation system then each owner will be accountable. Vice Chair Weiss asked staff to clarify that language and Planning Officer Miner confirmed.

MOTION: Commissioner Simons moved and Commissioner Harrison seconded the motion for Alternative 2 – Make the findings required by CEQA in Attachment 3, adopt the Mitigated Negative Declaration and approve the Special Development Permit and Tentative Map with the recommended findings in Attachment 3 and modified conditions –

- a. Add PS-1 b) to specify installation of blocking in bathtub area walls to enable installation of safety bars;
- b. Modify BP-5 to include language which requires that an appropriate curb color be painted for four sets of three trash and recycling containers along the street;
- c. Add BP-22 h) to specify that the new guest parking space between Azure Drive and Unit 2 will not be expanded and will retain the decorative paved area in the front;
- d. Add BP-38 to specify that all garages be pre-wired for electric vehicles, as required by the Building Code;
- e. Add BP-19 g) to direct staff to work with the applicant to implement International Dark-Sky Association (IDA) approved exterior lighting hardware;
- f. Modify PS-1 to remove the minimum combined second-story side yard setback requirement; and,
- g. Add BP-9 g) to require that native large species trees as appropriate for the site be selected and to consult with the City Arborist to ensure that no new trees would be vectors for Sudden Oak Death or fire volatility.

Senior Assistant City Attorney Rebecca Moon commented that the request to pre-wire the garages for electric vehicles should state “as required by the Building

Code.” Commissioner Simons modified the language.

Commissioner Harrison asked staff if there are Building Code regulations for blocking and IDA lights. Planning Officer Miner stated that staff will check with the Building Division and update the language for those modifications if warranted.

Commissioner Harrison stated that she will be supporting the motion. Commissioner Harrison noted that she would have accepted a deviation for the north side due to the lack of adjacent single-story homes. Commissioner Harrison stated an opinion that the need for housing and special characteristics of the site outweigh the need for a setback on the south side.

Commissioner Simons noted his concern about setbacks and landscaping but stated that an improved landscaping plan will be beneficial long term to the project. Commissioner Simons commented that the proposed unit size is desired in the City. Commissioner Simons commented on the potential for the expansion of the guest parking spot but that the additional COA will ensure correction of any future change. Commissioner Simons stated that he can make the findings.

Commissioner Howe stated that he will not be supporting the motion. Commissioner Howe stated that he can make the findings to approve the Mitigated Negative Declaration but not to approve the Special Development Permit. Commissioner Howe stated an opinion that this is a bad project due to the existing parking issues and the proposed workaround for trash and recycling pickup.

Vice Chair Weiss stated her appreciation for the home ownership opportunities in the City, the project’s adjacency to retail and public transportation and the compatible scale for the neighborhood. Vice Chair Weiss commented on the decrease in auto ownership with younger generations and stated that hopefully the parking will be adequate. Vice Chair Weiss stated that she can make the findings and will be supporting the motion.

Commissioner Olevson stated that he will not be supporting the motion. Commissioner Olevson noted his appreciation of the modified COA’s but stated that parking is a huge issue. Commissioner Olevson stated an opinion that this project does not fit the neighborhood and will not benefit the City. Commissioner Olevson stated that he could support the project at a lower residential density.

Chair Rheame stated that he will be supporting the motion and can make the

findings. Chair Rheume stated his appreciation of the home ownership opportunities. Chair Rheume commented on parking issues in conjunction with the project's design. Chair Rheume commented that younger generations are not as bound by cars and that the City should not plan to accommodate cars when they will be less utilized in the future.

The motion carried by the following vote:

Yes: 4 - Chair Rheume
Vice Chair Weiss
Commissioner Harrison
Commissioner Simons

No: 2 - Commissioner Howe
Commissioner Olevson

Absent: 1 - Commissioner Howard

Planning Officer Miner stated this decision is final unless appealed to the City Council within 15 days or called up by the City Council within 15 days.

4. [17-1100](#) **File #:** 2016-7962
Location: 740 San Aleso Avenue (APNs: 204-01-006, 007,016 and 204-02-005)
Proposed Project: PEERY PARK PLAN REVIEW PERMIT and VESTING TENTATIVE MAP: To redevelop five industrial sites into a residential development consisting of 118 units (96 townhome-style condominiums and 20 duets and 2 single-family dwellings).
Applicant/Owner: CalAtlantic
Environmental Review: The project is exempt from additional CEQA review per CEQA Guidelines section 15168(c) (2) and (4) and Public Resources Code Section 21094(c). The project is within the scope of the Peery Park Specific Plan Program EIR as no new environmental impacts are anticipated and no new mitigation measures are required.
Project Planner: Margaret Netto, (408) 730-7628, mnetto@sunnyvale.ca.gov

Project Planner Margaret Netto presented the staff report.

Commissioner Howe stated that he met with the applicant's representative to discuss the proposed project.

Vice Chair Weiss asked staff if 728 San Aleso Avenue is included in the proposed



City of Sunnyvale

Agenda Item

17-1180

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Authorize the City Manager to Execute a Contract Amendment for the Mary Avenue Overcrossing Environmental Impact Report (EIR) to Undertake Additional Work Required by CEQA, Approve Increase to Contract Contingency Amount and Approve Budget Modification No. 40 in the Amount of \$47,556

BACKGROUND

On October 4, 2016, Council awarded a contract to Kimley-Horn Associates to prepare the Environmental Impact Report (EIR) for the Mary Avenue Overcrossing Project (RTC No. 16-0862). The California Environmental Quality Act (CEQA) requires that an EIR evaluate the environmental impacts of a proposed "project" and then compare the project to a range of alternatives.

Due to the complexity of the issues surrounding the Mary Avenue Overcrossing Project, staff proposed to evaluate five different options each as a separate "project" within the EIR. Staff believed that this approach would benefit the public by providing the most comprehensive environmental analysis of each option before the Council is asked to choose an option. Although somewhat unusual, the guidelines to the California Environmental Quality Act (CEQA) did not appear to prohibit an agency from analyzing multiple "projects" in an EIR.

The five options are as follows:

1. Four motor vehicle lanes, plus protected bike facilities and sidewalks.
2. Two motor vehicle lanes, plus protected bike facilities and sidewalks.
3. Two high-occupancy vehicle (HOV)/bus/shuttle lanes, plus protected bike facilities and sidewalks.
4. A bicycle and pedestrian overcrossing.
5. Removal of the extension from the General Plan.

During a study session on February 28, 2017 (RTC No. 17-0335), staff updated City Council on the project timeline, outreach efforts, and the five designs under consideration. Council requested that in addition to the CEQA analysis, staff should develop a framework of criteria to help Council select the preferred option at a later date.

EXISTING POLICY

Pursuant to Sunnyvale Charter Section 1305, at any meeting after the adoption of the budget, the City Council may amend or supplement the budget by motion adopted by affirmative votes of at least four members to authorize the transfer of unused balances appropriated for one purpose to another, or to appropriate available revenue not included in the budget.

The 2017 Land Use and Transportation Element (LUTE) of the Sunnyvale General Plan does not include a specific policy on Mary Avenue Overcrossing or its configuration. However, the 2017 LUTE EIR included Mary Avenue Overcrossing in future travel demand models and the programmatic analysis of impacts and mitigations. The 2017 LUTE also outlines policies that shall be used to guide transportation decisions in Sunnyvale as paraphrased briefly below:

- Policy 24. Promote actions and modes that provide safe access and reduce single occupant vehicle trips; and consider users in the following order: pedestrians, bikes and non-automotive, mass transit, delivery vehicles, and single-occupant automobiles.
- Policy 25. Provide parking and lane priority to environmentally friendly motorized vehicles (e.g. carpools, low emission, zero emission).
- Policy 29. Use multimodal measures of effectiveness along with auto level of service (LOS) and vehicle miles traveled (VMT).
- Policy 33. Prioritize subsidies to the most environmentally friendly modes and services.
- Policy 40. Prioritize safety of all modes over capacity considerations of any one mode.
- Policy 42. Ensure effective and safe traffic flows for all modes of transport through physical and operational transportation improvements.
- Policy 69. Promote walking and bicycling through street design.

ENVIRONMENTAL REVIEW

The action to amend the consultant contract does not constitute a “project” within the meaning of CEQA pursuant to CEQA Guidelines section 15378(b)(5) in that it is a governmental organizational or administrative activity that will not result in direct or indirect changes in the environment. The purpose of the contract is to complete the required environmental review of the Mary Avenue Overcrossing Project.

DISCUSSION

On March 7, 2017, the City released a Notice of Preparation (NOP) for the Mary Avenue Overcrossing EIR outlining the five potential “projects” listed above, and Kimley-Horn Associates began preparation of the EIR.

On November 15, 2017, the California Court of Appeals, First Appellate District, issued a decision which specifically rejects the concept of a multi-project EIR. In that case, *Washoe Meadows Community v. Department of Parks and Recreation* (2017) 17 Cal.App.5th 277, the agency had prepared an EIR that identified five potential projects without defining the preferred or proposed project. The court held that this approach violated CEQA because the EIR failed to provide the public with an “accurate, stable and finite” project description.

Considering the *Washoe Meadows* case, staff believes that proceeding with the Mary Avenue EIR in the current format would create an unacceptable risk of a successful legal challenge to the EIR. Therefore, additional work is necessary to enable the City Council to designate one of the five options as the “project” for purposes of the EIR.

Staff will return to City Council at a later date for Council to designate the proposed “project” for the purposes of the EIR after conducting additional community outreach. The other four alternatives will be thoroughly evaluated in the EIR as project alternatives. At the conclusion of the environmental review process, the Council will be able to choose any of the five options. Designating one option as

the EIR “project” will not commit the City to ultimately approving that project, or preclude the selection of any of the alternatives.

The process of designating a proposed project for the purpose and completion of the EIR involves the following tasks:

- Approve contract amendment (this action);
- Compile findings to allow comparison of alternatives including vehicle, transit, bicycle and pedestrian flows and travel times; intersection levels of service; project cost; property implications, and consistency with other City policies such as the 2017 LUTE, TIF and other EIRs (covered under original contract);
- Undertake additional community engagement to obtain input from agencies, stakeholders, and community members;
- Return to Council to designate the option that will be defined as the project in the EIR, including criteria to assist the Council in making that decision;
- Reissue the Notice of Preparation (NOP) for the EIR;
- Reformat preliminary draft chapters of the Administrative Draft EIR;
- Prepare the Draft EIR and receive public comments (covered under original contract); and
- Respond to public comments, prepare and certify the Final EIR (covered under original contract).

FISCAL IMPACT

Staff worked with the consultant to prepare a scope of work for the proposed amendment associated with designation of a proposed project for purposes of the EIR. This effort includes additional community outreach, reissuance of the Notice of Preparation (NOP), and reformatting of the Administrative Draft Environmental Impact Report (ADEIR). Following the additional community outreach efforts, Council will be asked to select a proposed project which would be incorporated into the Draft EIR.

The consultant cost totals \$47,556, including change order task items of \$42,800, and associated \$4,756 contingency (Attachment 1 - Contract Amendment).

Budget Modification No. 40 has been prepared to appropriate Transportation Impact Fee (TIF) funds in the amount of \$47,556 for Mary Avenue Overcrossing EIR.

Budget Modification No. 40 FY 2017/18

	Current	Increase/ (Decrease)	Revised
Capital Projects Fund/Traffic Impacts Fees Sub-Fund			
<u>Reserves</u>			
Capital Reserve	\$19,381,370	(\$47,556)	\$19,333,814
<u>Expenditures</u>			

Project 832440 - Mary Avenue Overcrossing EIR	\$384,155	47,556	\$431,711
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PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

ALTERNATIVES

1. Authorize the City Manager to execute a contract amendment with Kimley-Horn Associates in the amount of \$42,800 for the Mary Avenue Overcrossing Environmental Impact Report (EIR) to undertake additional work required by CEQA to designate a proposed project for the EIR, approve an increase in the contract contingency of \$4,756 and approve Budget Modification No. 40 in the amount of \$47,556.
2. Do not authorize the City Manager to execute a contract amendment with Kimley-Horn Associates in the amount of \$42,800 for the Mary Avenue Overcrossing EIR to undertake additional work required by CEQA to designate a proposed project for the EIR, do not approve an increase in the contract contingency of \$4,756 and do not approve Budget Modification No. 40 in the amount of \$47,556.

STAFF RECOMMENDATION

Alternative 1: Authorize the City Manager to execute a contract amendment with Kimley-Horn Associates in the amount of \$42,800 for the Mary Avenue Overcrossing Environmental Impact Report (EIR) to undertake additional work required by CEQA to designate a proposed project for the EIR, approve an increase in the contract contingency of \$4,756 and approve Budget Modification No. 40 in the amount of \$47,556.

This work was not anticipated to be included in the EIR and was expected to occur after certification of a Final EIR. Project contingency funds may be needed for unanticipated work associated with the preparation and certification of the EIR. Any unused contingency funds remaining after project completion will be returned to the TIF fund. If Council decides not to authorize execution of the contract amendment, then Council will be asked to designate a project for the purposes of the EIR without the assistance of a consultant in soliciting additional community input. Staff would reissue the NOP, and reformat the preliminary draft chapters of the Administrative Draft EIR.

Prepared by: Ria Hutabarat Lo, Transportation and Traffic Manager
Reviewed by: Timothy J. Kirby, Director of Finance
Reviewed by: Jennifer Ng, Interim Assistant Director of Public Works
Reviewed by: Wayne Tanda, Interim Director of Public Works
Reviewed by: Teri Silva, Assistant City Manager
Approved by: Kent Steffens, City Manager

ATTACHMENT

1. Contract Amendment

**FIRST AMENDMENT TO CONSULTANT SERVICES AGREEMENT BETWEEN
CITY OF SUNNYVALE AND KIMLEY-HORN AND ASSOCIATES FOR
MARY AVENUE OVERCROSSING ENVIRONMENTAL IMPACT REPORT**

This First Amendment to Consultant Services Agreement, dated _____, is by and between the CITY OF SUNNYVALE, a municipal corporation ("CITY"), and KIMLEY-HORN AND ASSOCIATES, a California corporation. ("CONSULTANT").

WHEREAS, on October 5, 2016, CITY and CONSULTANT entered into a Consultant Services Agreement whereby CONSULTANT would provide professional services necessary for preliminary design, preparation of environmental review documents, and related services for a project known as Mary Avenue Overcrossing Environmental Impact Report; and

WHEREAS, the parties now agree that a First Amendment to said Agreement is advisable;

NOW, THEREFORE, THE PARTIES ENTER INTO THIS FIRST AMENDMENT TO CONSULTANT SERVICES AGREEMENT:

1. Services by CONSULTANT

[Replace the first sentence with the following]:

CONSULTANT shall provide services in accordance with Exhibit "A" entitled "Scope of Work" and Exhibit "A-1" entitled "Additional Scope of Work" attached and incorporated by reference.

2. Time for Performance

[Replace the second sentence with the following]:

CONSULTANT shall deliver the agreed upon services to CITY as specified in Exhibits "A" and "A-1".

4. Compensation

[Replace the first paragraph this section with the following]:

Payments shall be made to CONSULTANT on a monthly basis based on monthly billings for work outlined in Exhibit "B" entitled "Fee Schedule" and Exhibit "B-1" entitled "Additional Fee Schedule." Compensation will not be due until said detailed billing is submitted to CITY within a reasonable time before payment is expected to allow for normal CITY processing. An estimate of the percent of total completion associated with the various categories of the services shall be furnished by CONSULTANT with said billing. When applicable, copies of pertinent financial records will be included with the submission of billing(s) for all direct reimbursables. Compensation shall not exceed the amounts set forth in Exhibits "B" and "B-1" for each phase, and shall include base services as identified in Exhibit "A" in an amount not-to-exceed Twenty Three Thousand Seven Hundred Fifty Dollars (\$623,750), for the duration of the contract, and additional services as identified in Exhibit "A-1" in an amount not-to- exceed Forty Two Thousand Eight Hundred Dollars (\$42,800), for the duration of the contract. In no event shall the total amount of compensation payable under this agreement exceed the sum of Six Hundred Sixty Six Thousand Five Hundred Fifty Dollars (\$666,550), unless upon written modification of this Agreement. All invoices, including detailed backup, shall be sent to City of Sunnyvale, attention Accounts Payable, P.O. Box 3707, Sunnyvale, CA 94088-3707.

All other terms and conditions remain unchanged.

IN WITNESS WHEREOF, the parties have executed this Agreement.

ATTEST:

CITY OF SUNNYVALE ("CITY")

By _____
City Clerk

By _____
City Manager

APPROVED AS TO FORM:

KIMLEY-HORN AND ASSOCIATES
("CONSULTANT")

By _____
City Attorney

By _____

Name / Title

By _____

Name / Title

EXHIBIT "A-1"
Additional Scope of Work for
Mary Avenue Overcrossing Environmental Impact Report

Additional work is to increase the scope of the project to address City staff's request to reformat the EIR to address a single preferred project:

Task 9.1: EIR Reformat @ Time and Expenses, Not to Exceed \$8,780.

Kimley-Horn will reformat the Administrative Draft EIR to describe and evaluate a preferred option (selected by the City) in the body of the EIR. This includes removing the existing discussion of each of the proposed options from the individual discussion sections. Design options, other than the preferred option, will be discussed in the EIR Alternatives section. The design options in the Alternatives section will be discussed in a robust manner that exceeds CEQA requirement for an Alternatives discussion.

Task 9.2: Public Outreach @ Time and Expenses, Not to Exceed \$9,500.

Kimley-Horn will prepare for and attend public outreach meetings with stakeholder groups and community groups as identified for the City. This scope of work includes attendance at one stakeholder meeting, one community meeting, and one City Council Meeting. This scope of work includes attendance and meeting facilitation by Eileen Goodwin at the Community Outreach Meeting.

Task 9.3: Revised Notice of Preparation @ Time and Expenses, Not to Exceed \$4,520.

Kimley-Horn will prepare a revised notice of preparation to address the preferred design option identified by the City Council. This task includes preparing notices and attending a scoping meeting for the proposed project.

Task 9.4: Additional Meeting Time @ Time and Expenses, Not to Exceed \$20,000.

This task includes additional meeting time for the project as the proposed project is schedule is extended. This task includes regular biweekly conference calls, and other project meetings as needed with relevant Kimley-Horn and City staff to discuss project issues.

As a result of making this change in direction to the EIR analysis, it is anticipated the previously completed Public Outreach, Notice of Preparation, and EIR analysis will change and need to be redone.

Kimley-Horn's effort to redo this work will be \$42,800.

EXHIBIT "B-1"
Additional Fee Schedule for
Mary Avenue Overcrossing Environmental Impact Report

	Project Principal	Project Manager	Senior Design Engineer	Senior Engineer	Environ- mental Planner	Graphics	Total	Subs - Tech Reports	Total
ENVIRONMENTAL SCOPE OF WORK	\$ 285	\$ 225	\$ 240	\$ 220	\$ 115	\$ 110	Hours		Cost
Amendment #1 Scope of Work									\$ 42,800
Task 1: EIR Reformat		20		9	20		49		\$ 8,780
Task 2: Public Outreach		20					20	\$5,000	\$ 9,500
Task 3: Revised Notice of Preparation		12			12	4	28		\$ 4,520
Task 4: Additional Meeting Time	15	61	1	8			85		\$ 20,000
TOTAL HOURS	15	113	1	17	32	4	182		
*Percent of Total Labor (Hours)	8.2%	62.1%	0.5%	9.3%	17.6%	2.2%			
SUBTOTAL LABOR COSTS	\$4,275	\$25,425	\$240	\$3,740	\$3,680	\$440		\$5,000	\$ 42,800
TOTAL LABOR COSTS									\$ 42,800



City of Sunnyvale

Agenda Item

17-0778

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Public Hearing and Adopt a Resolution Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive and Reserving Public Utility Easements Therein

BACKGROUND

On January 23, 2018, Council approved the Resolution Declaring its Intention to Vacate a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein and set the Public Hearing date for February 27, 2018 (RTC No. 17-0774).

In August 2016, City Council adopted a Master Plan for the Sunnyvale Clean Water Program (SCWP) to guide improvements to the Water Pollution Control Plant (Plant) facilities and operations over the next 30 or more years. The Master Plan was developed to address several challenges facing the Plant today and into the future, as well as to support City policies. These challenges include: aging infrastructure; changes in regulatory requirements; and increases in population and flow to the plant. The Master Plan identifies capital improvement projects, estimates costs, and recommends implementation approaches to achieve the planning objectives. The City has adopted a final program environmental impact report (PEIR) for the Master Plan in compliance with the California Environmental Quality Act (CEQA) and the CEQA Guidelines.

One of the three proposed street vacations (Portion of Carl Road Westerly of Borregas Avenue) is associated with the Caribbean Drive Parking and Trail Access Enhancements Projects, which is one of the first projects in the implementation of the SCWP. At present, the public uses Carl Road, which fronts the Plant, to access the San Francisco Bay Trail (Bay Trail). The Bay Trail is over 400-miles in length linking 47 cities around the shoreline of the San Francisco Bay. A total of 3.45 miles of the Bay Trail lie within the City of Sunnyvale.

Since 2010, parking and a trailhead on the west side of the Plant along Carl Road have provided the public with access to a 2.4-mile segment of the Bay Trail (the "Moffett Connector") that connects the Sunnyvale Baylands to the Stevens Creek Trail. With the Caribbean Drive Parking and Trail Access Enhancements project, the City is looking to enhance the entrance of the Bay Trail by relocating it to Caribbean Drive for several reasons which include:

- Due to space constraints along Carl Road, there is no opportunity for expanding the public parking, that mostly falls within the right-of-way of Carl Road, to meet the demands of increased Bay Trail use.
- The current access point is in an area heavily trafficked with regular Plant deliveries which inconveniences both the public and Plant.

- The construction related to the SCWP as well as future changes with Plant site layout will increase the congestion in the area adding to current public and Plant inconveniences.

Vacating the Portion of Carl Road westerly of Borregas Avenue is one of the first steps in moving forward with the SCWP build out.

The additional two vacations (a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive) were added to the Caribbean Drive Parking and Trail Access Enhancements design contract as both are no longer used by the public and were not vacated previously. Notably, the portion of Borregas Avenue northerly of Carl Road is located within the Plant fence line and has not been accessed by the public for decades. Additionally, the portion of Crossman Avenue northerly of Caribbean Drive is no longer an active street and has since been covered by a closed landfill.

EXISTING POLICY

The vacation of streets, highways and public service easements is governed by Streets and Highways Code Section 8320 et seq.

ENVIRONMENTAL REVIEW

The action being considered is exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15061 (b) (3) as the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

DISCUSSION

In 1896 a subdivision map entitled Map of the J.T. Murphy Subdivision No. 3, created Lots 78, 79 and 80, with Carl Road and Borregas Avenue being dedicated thereon to provide access to the Lots. In 1969, the map entitled Map of the Crossman Subdivision No. 2, dedicated Crossman Avenue providing access to the adjacent lots. As these streets were dedicated on the above mentioned subdivision maps, it has been determined through a title report, with the City owning properties adjacent to both sides of the proposed vacated streets, the underlying owner is the City.

The California Streets and Highways Code section 8320 et seq., provides for a general vacation procedure that facilitates the process of vacating a public street or easement. Moreover, California Streets and Highways Code section 8316 authorizes multiple streets to be vacated in the same proceeding. To use these procedures, certain findings must be made by the legislative body. With the City owning all parcels adjacent to the streets proposed to be vacated, it has been determined that the streets are no longer needed for public use and will help facilitate the construction of the new Water Pollution Control Plant project. Should Council approve the road vacations, the vacations would then be recorded at the Santa Clara County Recorder's office to be formalized. In this instance, City staff will delay recordation of the Carl Road vacation until the Caribbean Drive improvements are completed. The improvements include expanded parking for the users of the Bay Trail and appropriate facilities to ensure the safety of bicyclists and pedestrians. By delaying the recordation, the public access to the Bay Trail will never be restricted.

City departments, utility companies and other government entities were notified of the proposal and

were given the opportunity to submit easement reservations for existing utilities in the proposed streets to be vacated and to report any comments or conflicts. The City received responses back from PG&E, AT&T, Frontier Communication, and XO Communications. Frontier and XO had no issues with the street vacations. AT&T submitted a request to reserve a utility easement for some existing facilities in Borregas Avenue and the eastern portion of Crossman Avenue measured 25 feet north from Caribbean Drive and this will be reserved in the Resolution as required by law. PG&E submitted a response regarding existing facilities in Borregas Avenue and Crossman Avenue; however, there are already existing easements in place that cover these facilities so no further action is required.

The attached Resolution Adopting Findings of Fact, Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein is submitted for adoption (Attachment 1).

Findings are made by the Public Works Director that the proposed vacation of this portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive are no longer needed for the public right-of-way and that the public convenience and necessity requires the reservation of the AT&T utility easement. The legal descriptions and maps depicting the general vicinity and showing the details of the proposed vacation are attached to the Resolution Ordering the Vacation as Exhibit "A". A map of the AT&T utility easement areas is attached to the Resolution Ordering the Vacation as Exhibit "B".

FISCAL IMPACT

No fiscal impact.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

City departments, utility companies and other government entities were notified of the proposed vacation and were given the opportunity to submit easement reservations and any comments or conflicts. Several responses were received and all were favorable of the vacation. There were requests to reserve a utility easement from AT&T, which will need to be reserved as required by law.

A public meeting was held on September 19, 2017 to share information about the Caribbean Drive Parking and Trail Access Enhancements project. City staff posted flyers and mailed postcards for notification of the meeting. Additionally, agencies with a special interest in the project and/or Bay Trail were called and emailed individually prior to the meeting. Approximately 20 people attended the meeting from the public and other various interested agencies in addition to City staff.

On October 18, 2017, City staff hosted pop-up trailside events from 7:00 to 9:00 am, 11:00 am to 1:00 pm, and 4:00 to 6:00 p.m. to further discuss the project with actual trail users and provide project factsheets. A total of 61 people visited the trailside event and the overall response was positive.

Emails were sent to all interested agencies and public, and the meeting attendees on October 20, 2017 to share the outcome of the public meetings and outreach and to provide a brief project update. On January 12, 2018, notification was provided to update the stakeholders on the upcoming Council Meeting for a Notice of Intent to Vacate Carl Road on January 23, 2018. Five people responded to this outreach. Three respondents requested additional updates to the Caribbean Drive project which City staff provided. The remaining two respondents expressed concern with future development in the region.

On January 23, 2018, Council approved the Resolution Declaring its Intention to Vacate of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein and set the Public Hearing date for February 27, 2018 (RTC No. 17-0774). In accordance with the Streets and Highway Code procedure for street vacations: City staff posted signs for the "Notice of Public Hearing" onsite at the three road vacation locations a minimum of two weeks prior to the hearing date and the Resolution of Intention was published in the Sun on February 16, 2018 and February 23, 2018.

ALTERNATIVES

1. Adopt the Resolution Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein; and authorize the City Clerk to record a certified copy of the Resolution to the Santa Clara County Recorder's office (Attachment 1 to the report).
2. Do not Adopt the Resolution Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserve Public Utility Easements Therein; and do not authorize the City Clerk to record a certified copy of the Resolution to the Santa Clara County Recorder's office.
3. Take other action as Council deems appropriate.

RECOMMENDATION

Alternative 1: Adopt the Resolution Ordering the Vacation of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein; and authorize the City Clerk to record a certified copy of the Resolution to the Santa Clara County Recorder's office.

Prepared by: Allie Hood, Senior Engineer

Reviewed by: Jennifer Ng, Interim Assistant Director, Public works

Reviewed by: Wayne Tanda, Interim Director of Public Works

Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager

ATTACHMENT

1. Resolution of Vacation

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF SUNNYVALE ADOPTING FINDINGS OF FACT,
ORDERING THE VACATION OF A PORTION OF CARL
ROAD WESTERLY OF BORREGAS AVENUE, A PORTION
OF BORREGAS AVENUE NORTHERLY OF CARL ROAD
AND A PORTION OF CROSSMAN AVENUE NORTHERLY
OF CARIBBEAN DRIVE, AND RESERVING PUBLIC
UTILITY EASEMENTS THEREIN**

WHEREAS, Section 8320 *et seq.* of the California Streets and Highways Code authorizes the City Council to vacate streets if it determines that the streets are unnecessary for present or prospective public use; and

WHEREAS, Section 8316 of the California Streets and Highways Code authorizes multiple streets, whether or not contiguous, to be vacated in the same proceeding; and

WHEREAS, the City Council shall vacate portions of the following streets: Carl Road westerly of Borregas Avenue ("Carl Road"), Borregas Avenue northerly of Carl Road ("Borregas Avenue") and Crossman Avenue northerly of Caribbean Drive ("Crossman Avenue"), as described in the legal descriptions and depicted in the plat maps, attached hereto as Exhibit A; and

WHEREAS, Carl Road has provided the public with access to the San Francisco Bay Trail since 2010, and vacating Carl Road is one of the first steps in moving forward with the Sunnyvale Clean Water Program build out; and

WHEREAS, the public's access to the San Francisco Bay Trail from Sunnyvale will be relocated to Caribbean Drive, where the Caribbean Drive Parking and Trail Access Enhancement project is underway to enhance the entrance of the Bay Trail; and

WHEREAS, the vacation of Borregas Avenue and Crossman Avenue was added to the Caribbean Drive Parking and Trail Access Enhancements design contract as both are no longer used by the public and were not previously vacated; and

WHEREAS, Pacific Gas and Electric, Frontier Communication, XO Communication and AT&T, have no objection to the vacation of the public streets; and

WHEREAS, pursuant to California Streets & Highways Code Section 8341, AT&T requested that the City reserve a utility easement over Borregas Avenue and the eastern portion of Crossman Avenue measured 25' north from the southerly end of Caribbean Drive as further described in Exhibit B for their existing facilities and the City Council determines that the public convenience and necessity requires the reservation of the utility easement; and

WHEREAS, the proposed vacation of the public streets shall not in any way affect or disturb any other existing easements for public utility purposes belonging to either the City of Sunnyvale or to any public utility; and

WHEREAS, on January 23, 2018, Council approved the Resolution Declaring its Intention to Vacate of a Portion of Carl Road Westerly of Borregas Avenue, a Portion of Borregas Avenue Northerly of Carl Road and a Portion of Crossman Avenue Northerly of Caribbean Drive, and Reserving Public Utility Easements Therein; and

WHEREAS, the City Council has heard all evidence submitted by City staff and all persons interested.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SUNNYVALE THAT:

1. The City Council finds and determines that:
 - (a) The portions of the streets vacated by this Resolution are unnecessary for present and prospective street purposes, and that the proposed vacation is of no further necessity to the general public, except for easements to be reserved as stated in this Resolution; and
 - (b) Proper notice has been given and all of the adjacent property owners, City departments and public utility companies were notified of the proposal and there were no objections; and
 - (c) City staff posted signs for the "Notice of Public Hearing" onsite at the three road vacation locations a minimum of two weeks prior to the hearing date and the Resolution of Intention was published in *The Sun* on February 16, 2018, and February 23, 2018.
2. The City Council hereby vacates portions of the following streets: Carl Road westerly of Borregas Avenue ("Carl Road"), Borregas Avenue northerly of Carl Road ("Borregas Avenue") and Crossman Avenue northerly of Caribbean Drive ("Crossman Avenue"), as described in the legal descriptions and depicted in the plat maps, attached hereto as Exhibit A; and
3. The City Council hereby determines that the public convenience and necessity requires the reservation of the utility easement and reserves to AT&T, its successors, and assigns a temporary easement over Borregas Avenue northerly of Carl Road and over the eastern portion of Crossman Avenue measured 25' north from Caribbean Drive as further described in Exhibit B, to operate, inspect, maintain, repair and replace only the existing underground and overhead structures consisting of wires, cables and necessary fixtures and appurtenances, but not any new utilities, including rights of ingress and egress thereto, and said

temporary easement shall terminate upon relocation or abandonment of the affected existing utilities; and

4. Nothing in this Resolution shall in any way affect or disturb any other existing easements for public utility purposes belonging either to the City of Sunnyvale or to any public utility that existed prior to these vacation proceedings; and
5. The City Clerk is hereby directed and authorized to record a certified copy of this Resolution, attested by the City Clerk under seal, with the Santa Clara County Recorder's Office.

Adopted by the City Council at a regular meeting held on _____, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:
RECUSAL:

ATTEST:

APPROVED:

City Clerk
(SEAL)

Mayor

APPROVED AS TO FORM:

City Attorney

EXHIBIT A

VACATION OF A PORTION OF CARL ROAD

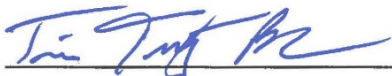
PUBLIC RIGHT OF WAY

All that property situated in the City of Sunnyvale, County of Santa Clara, State of California, being a portion of Carl Road (40 feet wide) as dedicated per that certain Map entitled, "Map of the J.T. Murphy Subdivision No. 3", recorded in the office of the County Recorder of the County of Santa Clara, on October 17, 1896, in Book "I" of Maps, Page 45, and further shown on that Record of Survey recorded in the office of said County on February 2, 2009, in Book 830 of Maps, Page 16, and more particularly described as follows:

Commencing at a point on the northwest corner of Lot 80 of said J.T. Murphy Subdivision No. 3; thence along the westerly line of said Lot 80, South 14°51'05" West, a distance of 481.30 feet, to the intersection of the northerly right of way line of Carl Road, said point also being the **Point of Beginning**; thence along said northerly right of way, South 75°08'20" East, a distance of 733.25 feet, to a point of intersection at the westerly right of way line of Borregas Avenue (50 feet wide); thence along said westerly right of way line, South 14°51'05" West, a distance of 40.00 feet, to a point of intersection at the southerly right of way line of said Carl Road; thence along said right of way line, North 75°08'20" West, a distance of 733.25 feet, to a point of intersection at the westerly parcel line of Lot 78 of said J.T. Murphy Subdivision No. 3; thence northerly along the westerly line of said Lot 78 and Lot 80, North 14°51'05" East, a distance of 40.00 feet, to the **Point of Beginning**.

Containing 0.67 acres or 29,330 square feet, more or less.

This real property description has been prepared at Mark Thomas & Company, Inc., by me, or under my direction, in conformance with the Professional Land Surveyors Act.



Travis Timothy Bohan, LS 8965

JUNE 9, 2017

Date

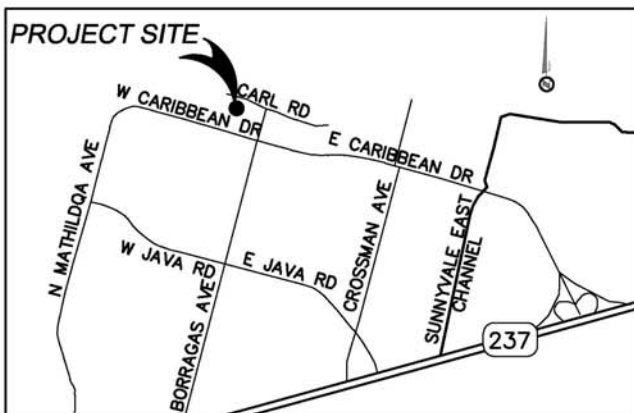
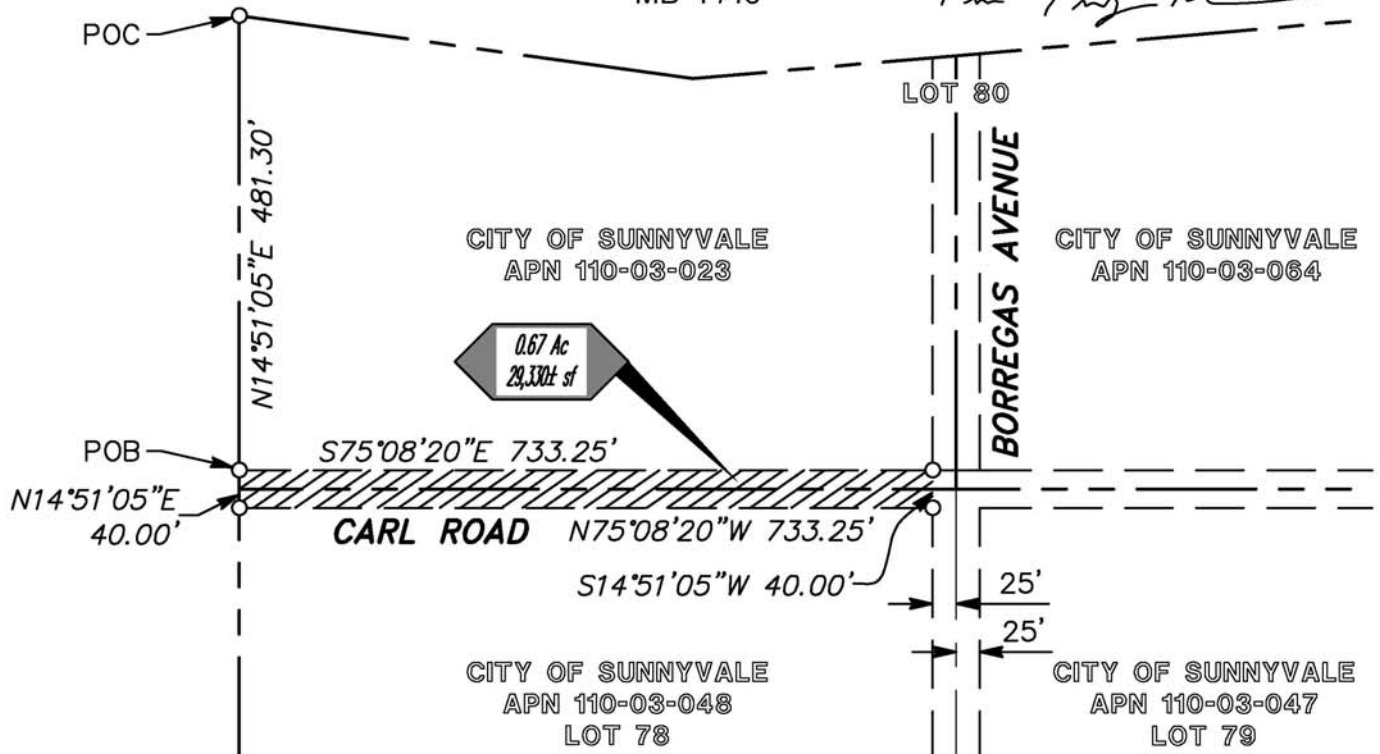
LEGEND

POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 ○ DIMENSION POINT
 ▨ AREA TO BE VACATED

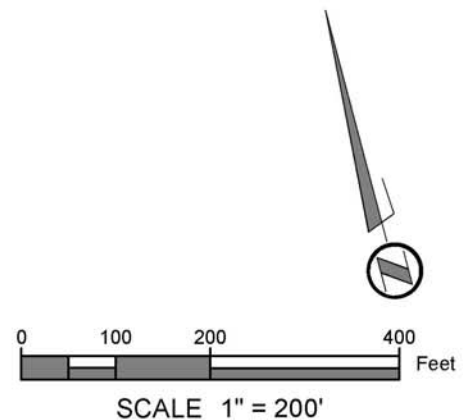


Travis Timothy Bohan

J.T. MURPHY SUBDIVISION
 NO. 3 OF LOT 3A
 MB "I"/45



VICINITY MAP



SHEET 1 OF 1



MARK THOMAS

Scale: 1" = 200'
 Date MAY 2017
 Drawn By AMM
 Checked By TTB

Portion of CARL ROAD to be Vacated
 Plat to Accompany Legal Description
 In the City of Sunnyvale
 Santa Clara County, California

**VACATION OF A PORTION OF CROSSMAN AVENUE
PUBLIC RIGHT OF WAY**

All that property situated in the City of Sunnyvale, County of Santa Clara, State of California, being a portion of Crossman Avenue (40 feet wide) as dedicated per that certain Map entitled, "Map of the Crossman Subdivision No. 2", recorded in the office of the County Recorder of the County of Santa Clara, in Book "F2" of Maps, at Pages 24, and further shown on that Record of Survey recorded in the office of said County on July 18, 1969, in Book 256 of Maps, at Pages 28 and 29, and more particularly described as follows:

All of that portion of Crossman Avenue (40 feet wide) North of the northerly right of way of Caribbean Drive (100 feet wide) as shown on said Record of Survey.

Containing 1.04 acres or 45,666 square feet, more or less.

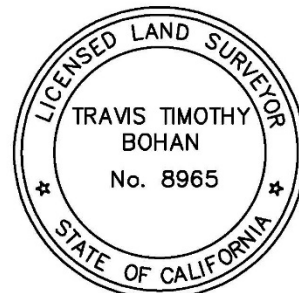
This real property description has been prepared at Mark Thomas & Company, Inc., by me, or under my direction, in conformance with the Professional Land Surveyors Act.


Travis Timothy Bohan, LS 8965

JUNE 9, 2017
Date

LEGEND

 AREA TO BE VACATED



Travis Timothy Bohan

1.04 Ac
45,366± sf

CITY OF SUNNYVALE
APN 110-04-069

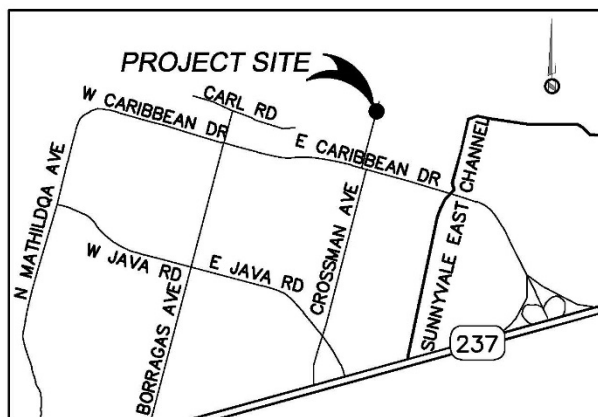
CITY OF SUNNYVALE
APN 110-03-001

CROSSMAN AVENUE

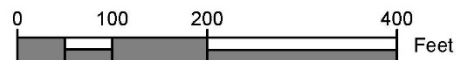
40'
20'

50'

CARIBBEAN DRIVE



VICINITY MAP



SCALE 1" = 200'

SHEET 1 OF 1



MARK THOMAS

Scale: 1" = 200'
Date MAY 2017
Drawn By TGH
Checked By TB

CROSSMAN AVENUE
Plat to Accompany Legal Description
In the City of Sunnyvale
Santa Clara County, California

VACATION OF A PORTION OF BORREGAS AVENUE

PUBLIC RIGHT OF WAY

All that property situated in the City of Sunnyvale, County of Santa Clara, State of California, being a portion of Borregas Avenue (50 feet wide) as dedicated per that certain Map entitled, "Map of the J.T. Murphy Subdivision No. 3", recorded in the office of the County Recorder of the County of Santa Clara, on October 17, 1896, in Book "I" of Maps, Page 45, and further shown on that Record of Survey recorded in the office of said County on February 2, 2009, in Book 830 of Maps, Page 16, and more particularly described as follows:

Commencing at a point on the northwest corner of Lot 80 of said J.T. Murphy Subdivision No. 3; thence along the westerly line of said Lot 80, South 14°51'05" West, a distance of 481.30 feet, to the intersection of the northerly right of way line of Carl Road (40 feet wide); thence along the said northerly right of way line, South 75°08'20" East, a distance of 733.25 feet, to a point of intersection at the westerly right of way line of Borregas Avenue (50 feet wide), said point also being the **Point of Beginning**; thence along said westerly right of way line, North 14°51'05" East, a distance of 436.82 feet, to a point of intersection at the northerly Parcel line of Lot 80; thence along said parcel line, South 80°07'43" East, a distance of 50.19 feet, to a point of intersection at the easterly right of way line of said Borregas Avenue; thence along said right of way line, South 14°51'05" West, a distance of 441.18, feet to a point of intersection at the northerly right of way line of Carl Road; thence along said right of way line, North 75°08'20" West, a distance of 50.00 feet, to the **Point of Beginning**.

Containing 0.50 acres or 21,950 square feet, more or less.

This real property description has been prepared at Mark Thomas & Company, Inc., by me, or under my direction, in conformance with the Professional Land Surveyors Act.



Travis Timothy Bohan, LS 8965

JUNE 9, 2017

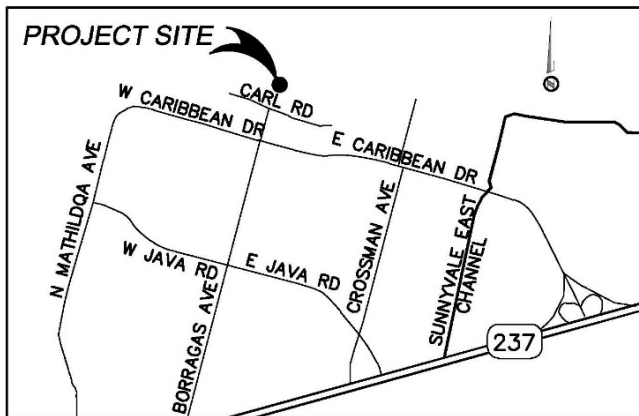
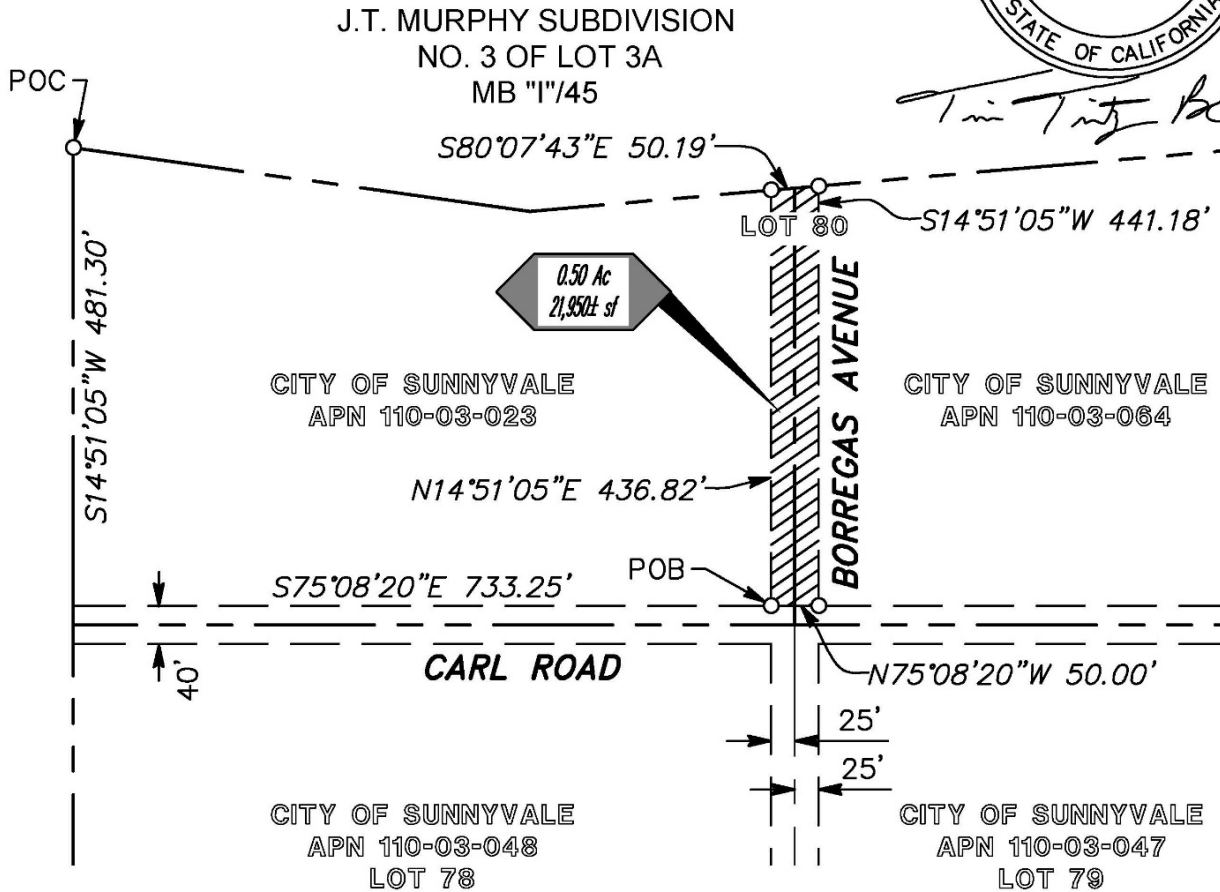
Date

LEGEND

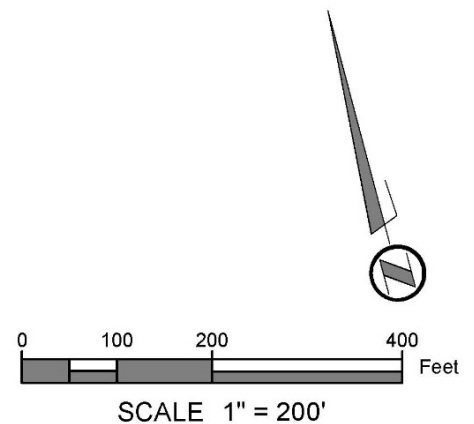
POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 ○ DIMENSION POINT
 ▨ AREA TO BE VACATED



Travis Timothy Bohan



VICINITY MAP



SHEET 1 OF 1



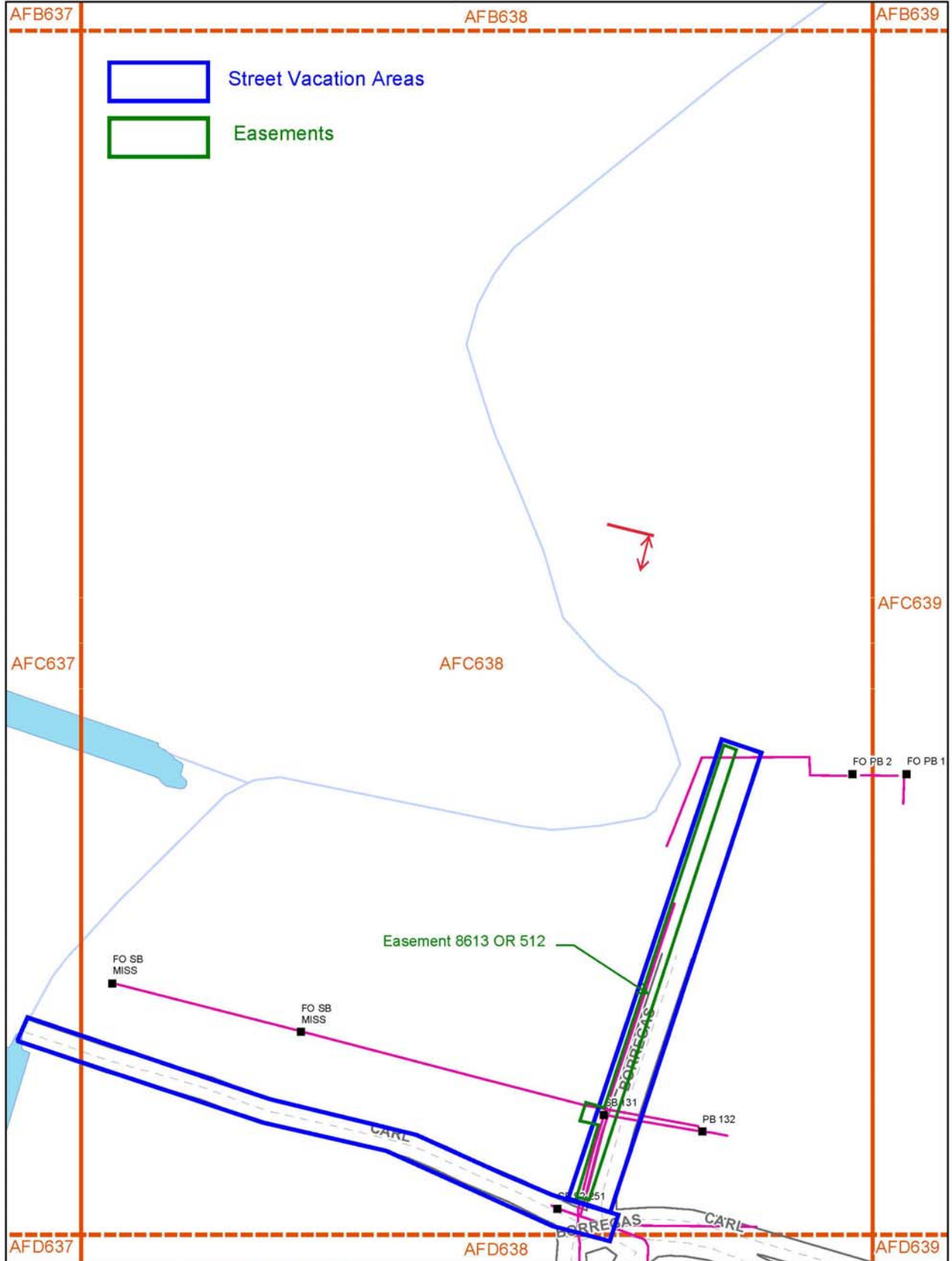
MARK THOMAS

Scale: 1" = 200'
 Date MAY 2017
 Drawn By AMM
 Checked By TTB

Portion of BORREGAS AVENUE to be Vacated
 Plat to Accompany Legal Description
 In the City of Sunnyvale
 Santa Clara County, California

EXHIBIT B

AT&T Utility Easement
Borregas Avenue

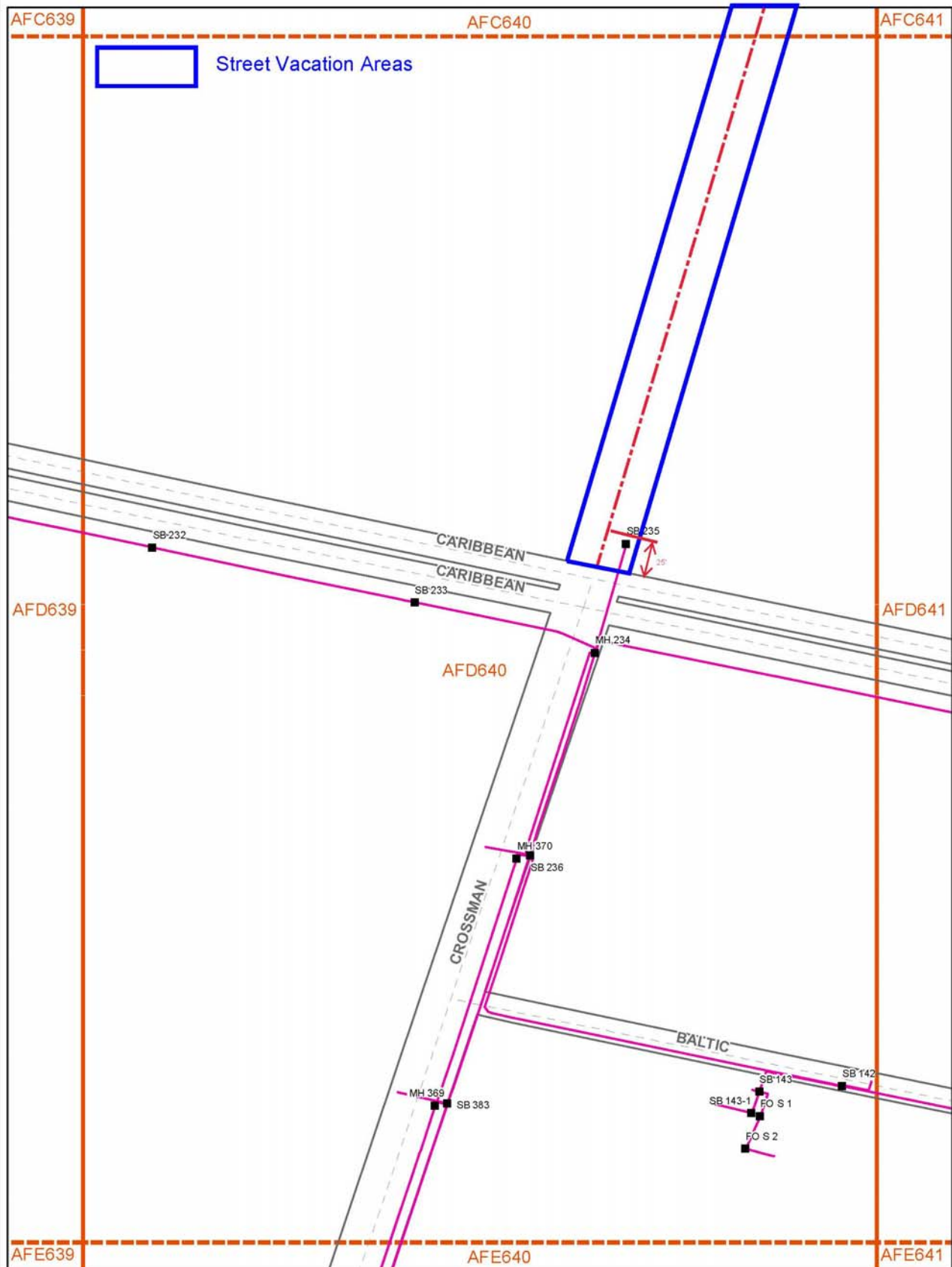


1:1,820



- Manholes
- Conduit
- Street Centerlines
- Street Edges
- Mapping Index

AT&T Utility Easement Crossman Avenue



1:1,820



- Manholes
- Conduit
- Street Centerlines
- Street Edges
- Mapping Index



City of Sunnyvale

Agenda Item

18-0182

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Amend the Classification Plan to Add the Newly Established Classification of Assistant Director of Community Development and Amend the City's Salary Resolution to Update the Schedule of Pay to Include the Classification

BACKGROUND

This report recommends amending the Classification Plan to add the newly established classification of Assistant Director of Community Development and amend the City's Salary Resolution to Update the Schedule of Pay to Include the Classification.

EXISTING POLICY

Section 1103, entitled Classification, of the City Charter states that additions or changes to the classification plan may be adopted from time to time by the City Council upon the recommendation of the City Manager.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" with the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15378 (b) (5) in that it is a governmental organizational or administrative activity that will not result in direct or indirect changes in the environment.

DISCUSSION

In January 2018, the Office of the City Manager requested that the Department of Human Resources study the creation of a new Assistant Director of Community Development classification. The Office of the City Manager approved the classification for study based on Community Development projects and studies that have increased in complexity and required high level management and guidance. Staff conducted a classification and compensation study of the Assistant Director of Community Development that included a review of internal management reporting relationships and associated salaries and a review of outside agencies classifications and compensation.

During 2015 an Assistant City Manager position was developed to provide high level strategic management and guidance on the former Sunnyvale Town Center site and the Peery Park Specific Plan. Implementation of those projects has significantly increased the demands on the Community Development Director's time. An Assistant Director of Community Development could serve in place of the Director for management and direction on high-profile projects and studies. The Assistant Director would also provide lead oversight for the permit system upgrade and the green building program update.

The proposed minimum qualifications for the classification were written to enable any of the CDD

Division Managers (Building, Housing or Planning) to potentially serve as the Assistant Director of Community Development. The requested reorganization would replace the Planning Officer position with the Assistant Director position, with this area having the most need. With the reorganization, the Director will be able to provide more support to the Housing Strategy, other housing related activities and major construction projects over the next few years.

Reorganization has several benefits. It will enable better management and focus on council priorities (e.g., Downtown, Sustainability). The Director will continue to have overall responsibility for all operations, functions, divisions and units of the Community Development Department. The Assistant Director will be assigned oversight and management of special projects as well as assist in the preparation of goals and objectives and the development or modification of policies and procedures. The Assistant Director would also act for the Director in his/her absence and represent the Department. This latter item will facilitate coverage of more interdepartmental projects and outside agency coordination. Additionally, customers will have more options to meet with higher level management.

The Assistant Director classification is used in both Finance and Public Works to enable the Directors to focus on the highest priority items. Creation of this classification also provides for more growth opportunities and allows for succession planning.

The Assistant Director of Community Development classification has been benchmarked to the Assistant Director of Public Works/City Engineer classification in the Department of Public Works and would be represented by the Sunnyvale Managers Association (SMA). SMA was provided notice and an opportunity to comment on the proposed classification, and had no questions or comments.

FISCAL IMPACT

The fully loaded cost of the proposed classification is approximately \$291,000 per year. The cost of the Planning Officer Position is approximately \$255,000 annually. The net impact of this action is approximately \$36,000 annually. The cost for this position will be split between the General Fund (25%) and the Development Enterprise Fund (75%). The cost for the current year will be absorbed by the department and built into the FY 2018/19 Recommended Budget.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

ALTERNATIVES

1. Adopt Resolution amending Resolution Nos. 143-77 and 190-05 to Add a New Classification of Assistant Director of Community Development to the Classification Plan of the Civil Service, and amending the City's Salary Resolution to Update the Schedule of Pay to Include the New Classification
2. Do not approve the recommendations included in this report.

STAFF RECOMMENDATION

Alternative 1: Adopt Resolution amending Resolution Nos. 143-77 and 190-05 to Add a New Classification of Assistant Director of Community Development to the Classification Plan of the Civil

Service, and amending the City's Salary Resolution to Update the Schedule of Pay to Include the New Classification.

Prepared by: Delanie LoFranco, Human Resources Manager

Reviewed by: Anthony Giles, Interim Director, Human Resources

Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager

ATTACHMENT

1. Resolution Amending the Classification Plan to Add New Classification and Salary Resolution to Add a New Classification of Assistant Director of Community Development and amending the City's Salary Resolution to Update the Schedule of Pay to Include the New Classification

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF SUNNYVALE AMENDING RESOLUTION NOS. 143-77
AND 190-05, TO ADD A NEW CLASSIFICATION OF
ASSISTANT DIRECTOR OF COMMUNITY
DEVELOPMENT TO THE CLASSIFICATION PLAN OF
THE CIVIL SERVICE, AND TO AMEND THE CITY'S
SALARY RESOLUTION TO UPDATE THE SCHEDULE OF
PAY TO INCLUDE THE NEW CLASSIFICATION**

WHEREAS, at the request of the Office of the City Manager, the Human Resources staff proposed an amendment to the Classification Plan of the Civil Service of the City of Sunnyvale to add the newly-established job classification of "Assistant Director of Community Development," which will facilitate coverage of more interdepartmental projects and outside agency coordination, and provide for more growth opportunities and allow for succession planning; and

WHEREAS, the City Council having considered such proposals and recommendations desire to approve the amendment to the Classification Plan of the Civil Service and make corresponding changes to the City's Salary Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SUNNYVALE THAT:

1. The City Council hereby approves an amendment to the Classification Plan of the Civil Service as follows:
 - a. Create the classification of Assistant Director of Community Development (400) with a pay range of \$152,455 (Min. range/ Step 1) to \$179,359 (Max. range/ Step 6) annually.
2. Except as herein modified, the Classification Plan, Resolution No. 143-77, as amended, shall remain in full force and effect.
3. Resolution No. 190-05 (the City's Salary Resolution) is hereby amended by adding the classification and pay rate set forth in Exhibit A, to the schedule of pay (salary table), attached and incorporated by reference, to implement the changes described in this resolution. Except as herein modified, Resolution No. 190-05, as amended, shall remain in full force and effect.
4. The Salary Resolution amendments and pay rates noted above shall be effective the pay period including March 11, 2018.

Adopted by the City Council at a regular meeting held on _____, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSAL:

ATTEST:

APPROVED:

City Clerk
(SEAL)

Mayor

APPROVED AS TO FORM:

City Attorney

EXHIBIT A

Section 1

City of Sunnyvale

Salary Table - Regular Full-Time and Part-Time Classifications

Draft Salary Table
New Classification/Classification Title Change

Job Code	Job Title	Unit	Pay Categories	Range / Scale	Min. range / Step 1	Step 2	Step 3	Step 4	Step 5	Max. range / Step 6	Effective Date
400	ASSISTANT DIRECTOR OF COMMUNITY DEVELOPMENT	Mgmt-SMA	E	21	152,455					179,359	3/11/2018



City of Sunnyvale

Agenda Item

18-0103

Agenda Date: 2/27/2018

Tentative Council Meeting Agenda Calendar



City of Sunnyvale

Tentative Council Meeting Agenda Calendar

Tuesday, March 6, 2018 - City Council

Study Session

- 18-0165** 6 P.M. SPECIAL COUNCIL MEETING (Study Session)
Board and Commission Interviews

Special Order of the Day

- 18-0168** SPECIAL ORDER OF THE DAY - Women's History Month

Public Hearings/General Business

- 18-0101** Approve the 2017 Annual Progress Report on Implementation of the General Plan Housing Element
- 18-0105** Authorize the City Manager to Negotiate a Formal Memorandum of Understanding with the Sunnyvale School District and Fremont Unified High School District for a Joint Use Lakewood Branch Library and Learning Center on the Lakewood Elementary School Site

Tuesday, March 27, 2018 - City Council

Special Order of the Day

- 18-0191** SPECIAL ORDER OF THE DAY - Youth Arts Month
- 18-0211** SPECIAL ORDER OF THE DAY - National Library Week

Public Hearings/General Business

- 18-0166** Appoint Applicants to City Boards and Commissions
- 18-0098** Approve a Pension Trust Fund and Delegate Authority to the City Manager to Negotiate and Execute an Agreement with PFM Asset Management, LLC, and U.S. Bank National Association for the Sunnyvale Post-Employment Pension and Retiree Healthcare Benefits Program
- 17-1148** Wage Theft (Study Issue)
- 18-0139** Approve Study Issue Presentation Dates for Studies Recommended for Study in 2018 and Approve the Recommended Actions as Identified in the Fiscal Impact of this Report

Tuesday, April 10, 2018 - City Council

Special Order of the Day

18-0095 6:30 P.M. SPECIAL COUNCIL MEETING
SPECIAL ORDER OF THE DAY - 2018 Earth Day Video and Poster Contest
Winners

18-0096 SPECIAL ORDER OF THE DAY - Recognition of Green Businesses

Public Hearings/General Business

18-0070 Recommendation to City Council on Naming New City Park at the Vale
Development

Tuesday, April 24, 2018 - City Council

Study Session

18-0164 6 P.M. SPECIAL COUNCIL MEETING (Study Session)
El Camino Real Corridor Specific Plan - Presentation of Preliminary
Development Standards/Design Guidelines

Public Hearings/General Business

18-0011 Agenda items pending- to be scheduled

Tuesday, May 1, 2018 - City Council

Study Session

18-0012 6 P.M. SPECIAL COUNCIL MEETING ONLY (Study Session)
Board and Commission Interviews

Tuesday, May 8, 2018 - City Council

Public Hearings/General Business

18-0184 File #: 2018-7034
Location: 528 and 510 S. Mathilda Ave. (APNs: 209-29-060 and 061)
Zoning: DSP (Block 20)
Proposed Project: Related applications on a 0.72-acre site:
GENERAL PLAN INITIATION: A request to initiate a General Plan
Amendment study to change the development standards for Block 20 of the
Downtown Specific Plan Area to allow the following additional 10,000 square
feet of office space; increase the height limit to allow 55-feet and five stories;
and increase the maximum residential units from 51 to 65 units.
Applicant / Owner: Siliconsage Builders, LLC (applicant and owner)
Environmental Review: The project is exempt from the California
Environmental Quality Act (CEQA) Guidelines Section 15378 (a).

18-0196 File #: 2018-7040
Location: 1050 West Remington Drive (APN: 202-26-007)
Zoning: P-F
Proposed Project: General Plan Amendment Initiation to allow rezoning from Public Facility (P-F) zoning to Medium Density Residential (R-3) zoning district.
Applicant / Owner: Catalyst Development Partners (applicant) / Church of Christ of Sunnyvale (owner)
Environmental Review: The project is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15378(a).

Tuesday, May 15, 2018 - City Council

Study Session

18-0014 6 P.M. SPECIAL COUNCIL MEETING ONLY (Study Session)
Board and Commission Interviews

Tuesday, May 22, 2018 - City Council

Study Session

18-0115 6:30 P.M. SPECIAL COUNCIL MEETING
SPECIAL ORDER OF THE DAY - Department of Public Safety Special Awards

Public Hearings/General Business

18-0015 Appoint Applicants to City Boards and Commissions

Friday, May 25, 2018 - City Council

Study Session

18-0016 8:30 A.M. SPECIAL COUNCIL MEETING
Budget Workshop

Tuesday, June 12, 2018 - City Council

Public Hearings/General Business

18-0064 Annual City Council Public Hearing on FY 2018/19 Budget and Resource Allocation Plan and Establishment of Appropriations Limit and Sunnyvale Financing Authority Public Hearing on FY 2018/19 Budget

Tuesday, June 26, 2018 - City Council

Public Hearings/General Business

18-0063 City Council Adoption of the FY 2018/19 Budget, Fee Schedule, and Appropriations Limit and Sunnyvale Financing Authority Adoption of the FY 2018/19 Budget

Tuesday, July 17, 2018 - City Council

Public Hearings/General Business

18-0019 Agenda items pending- to be scheduled

Tuesday, July 31, 2018 - City Council

Public Hearings/General Business

18-0020 Agenda items pending- to be scheduled

Tuesday, August 14, 2018 - City Council

Study Session

18-0009 6 P.M. SPECIAL COUNCIL MEETING (Study Session)
Board and Commission Interviews (as necessary)

Public Hearings/General Business

18-0185 2018 2nd Quarterly Consideration of General Plan Amendment Initiation Requests

Tuesday, August 28, 2018 - City Council

Public Hearings/General Business

18-0010 Appoint Applicants to Boards and Commissions

18-0022 Agenda items pending- to be scheduled

Tuesday, September 11, 2018 - City Council

Public Hearings/General Business

18-0023 Agenda items pending- to be scheduled

Tuesday, September 25, 2018 - City Council

Public Hearings/General Business

18-0024 Agenda items pending- to be scheduled

Tuesday, October 16, 2018 - City Council

Public Hearings/General Business

18-0025 Agenda items pending- to be scheduled

Tuesday, October 30, 2018 - City Council

Public Hearings/General Business

18-0026 Agenda items pending- to be scheduled

Tuesday, November 13, 2018 - City Council

Public Hearings/General Business

18-0186 2018 3rd Quarterly Consideration of General Plan Amendment Initiation
Requests

Tuesday, November 27, 2018 - City Council

Public Hearings/General Business

18-0028 Agenda items pending- to be scheduled

Tuesday, December 4, 2018 - City Council

Public Hearings/General Business

18-0029 Agenda items pending- to be scheduled

Tuesday, December 18, 2018 - City Council

Public Hearings/General Business

18-0030 Agenda items pending- to be scheduled

Tuesday, January 8, 2019 - City Council

Public Hearings/General Business

18-0031 Agenda items pending- to be scheduled

Tuesday, January 15, 2019 - City Council

Public Hearings/General Business

18-0032 Agenda items pending- to be scheduled

Tuesday, January 29, 2019 - City Council

Public Hearings/General Business

18-0033 Agenda items pending- to be scheduled

Tuesday, February 5, 2019 - City Council

Public Hearings/General Business

18-0187 2018 4th Quarterly Consideration of General Plan Amendment Initiation
Requests

Tuesday, February 26, 2019 - City Council

Public Hearings/General Business

18-0035 Agenda items pending- to be scheduled

Date to be Determined - City Council

Public Hearings/General Business

17-0471 Eco-district Feasibility and Incentives (Study Issue)

18-0118 Overview of the Consultant's Report for the Department of Public Safety:
Comprehensive Community Risk Assessment, Standards of Cover Study,
and Station Location and Deployment Study

18-0181 Recommend to City Council First Amendment KemperSports Agreement



City of Sunnyvale

Agenda Item

18-0057

Agenda Date: 2/27/2018

Information/Action Items

2018 INFORMATION/ACTION ITEMS COUNCIL DIRECTIONS TO STAFF

Date Assigned	Directive/Action Required	Dept	Due Date	Completed
7/11/17	Agendize Minimum Wage Update for Council discussion (study session)	OCM	2/27/18	2/22/18
10/3/17	Revise Administrative Policy for Below Market Rate Alternative Compliance Plan recommendations to be presented to the Housing and Human Services Commission for a recommendation to the City Council	CDD	1/31/18	1/30/18
11/7/17	Come back to Council in a reasonable period of time to discuss funding of the Civic Center for Phase II and beyond	OCM	Mar 2018	
2/6/18	Review Caribbean Drive Green Street Demonstration Project for additional safety improvements in the area to address bicycle and pedestrian safety. In addition to the area identified in the Report to Council, look at options to expand. Bring back to Council for action within time frame that will not jeopardize grant funds	DPW		
2/6/18	At the appropriate time, place Stevens Creek Fish Barrier Project donation opportunity on an agenda for Council action	ESD	Apr 2018	

**2018 NEW STUDY/BUDGET ISSUES
SPONSORED BY COUNCIL**

Date Requested	Study Issue Title	Sponsors	Dept	Approved by City Manager
1/23/18	Explore Proactive Solutions to Address Aviation Noise	Goldman/ Melton	OCM	1/31/18
1/23/18	Analysis of Sunnyvale Golf Program and Property Options	Melton/ Klein/ Smith	DPW	2/2/18



City of Sunnyvale

Agenda Item

18-0044

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Boards and Commissions Semi-Annual Attendance Report, July - December 2017 (Information Only)

DISCUSSION

The semi-annual report of all City boards and commissions shows the attendance of each member at both regular and special meetings. The report shows attendance for July to December 2017 and for the past 12 months as required by Council Policy 7.2.19, 2.H.(II).

The next attendance report will be provided to Council in July 2018, for the period of January - June 2018.

EXISTING POLICY

Council Policy 7.2.19, 2.H.(II): Council shall take into consideration board and commission member attendance records, including tardiness, when evaluating the overall performance of board and commission members. Unexcused absences from three consecutive regularly scheduled meetings, or from more than 25% of all regularly scheduled meetings over any twelve-consecutive month period, shall result in that member's seat being declared vacant by the City Clerk. The percent of regularly scheduled meetings attended shall only be shown for board and commission members having been in office at least six months.

City Charter Section 1005: If a member of a board or commission has three consecutive absences from regularly scheduled meetings, unless by permission of the board or commission expressed in its minutes, the Council will declare the member's seat vacant.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

Prepared by: Kathleen Franco Simmons, City Clerk
Reviewed by: Teri Silva, Assistant City Manager
Approved by: Kent Steffens, City Manager

ATTACHMENT

1. Board and Commission Semi-Annual Attendance Report (January - December 2017)

Board and Commission Meeting Attendance (Regular and Special Meetings)
January - December 2017

ATTACHMENT 1

			January - June 2017							July - December 2017							Total: January - December 2017				
Arts Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 3			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 1		July - December 2017 Regular Meetings: 5			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 0		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences	
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent					
Eskridge, Dawna	7/1/17	2021	-	-	-	-	-	-	-	5	0	0	0	5	0	0	5	100%	0	0%	
Kiphuth, Roberta	7/1/14	2018	3	0	0	0	3	0	1	5	0	0	0	5	0	0	8	100%	0	0%	
Koppel, David	7/1/15	2019	3	0	0	0	3	1	0	1	3	1	4	5	0	0	8	50%	1	13%	
Laird, Darien	7/1/17	2021	-	-	-	-	-	-	-	4	1	0	1	5	0	0	5	80%	0	0%	
Vaughn, Susannah	7/1/16	2020	2	1	0	1	3	1	0	3	2	0	2	5	0	0	8	63%	0	0%	
Bicycle and Pedestrian Advisory Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 6			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 0		July - December 2017 Regular Meetings: 6			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 0		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences	
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent					
Barry, Catherine	7/1/17	2020	-	-	-	-	-	-	-	6	0	0	0	6	-	-	6	100%	0	0%	
Bremond, Susan	7/1/17	2021	-	-	-	-	-	-	-	6	0	0	0	6	-	-	6	100%	0	0%	
Cordes, John	7/1/14	2018	5	1	0	1	6	-	-	6	0	0	0	6	-	-	12	92%	0	0%	
Oey, Timothy	7/1/16	2020	6	0	0	0	6	-	-	6	0	0	0	6	-	-	12	100%	0	0%	
Rausch, Angela	7/1/14	2018	6	0	0	0	6	-	-	5	1	0	1	6	-	-	12	92%	0	0%	
Swail, Scott	7/1/17	2021	-	-	-	-	-	-	-	6	0	0	0	6	-	-	6	100%	0	0%	
Welch, Kyle	7/1/15	2019	3	3	0	3	6	-	-	4	2	0	2	6	-	-	12	58%	0	0%	
Board of Building Code Appeals	Term Start	Terms Ends	January - June 2017 Meetings: 0			Total Absences (EA+UA)	Eligible Meetings	N/A		July - December 2017 Meetings: 0			Total Absences (EA+UA)	Eligible Meetings	N/A		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences	
			Pres.	EA	UA					Pres.	EA	UA									
Grossman, Joshua	7/1/16	2019	-	-	-	-	0			-	-	-	-	0			0	-	-	-	
Kisyova, Petya (Resigned 7/26/17)	7/1/15	2019	-	-	-	-	0			-	-	-	-	0			0	-	-	-	
McNutt, Gregory	7/1/16	2020	-	-	-	-	0			-	-	-	-	0			0	-	-	-	
Michitaka, Mike	7/1/16	2020	-	-	-	-	0			-	-	-	-	0			0	-	-	-	
Shen, Yonghong	7/1/16	2021	-	-	-	-	0			-	-	-	-	0			0	-	-	-	
Board of Library Trustees	Term Start	Term Ends	January - June 2017 Regular Meetings: 4			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 1		July - December 2017 Regular Meetings: 4			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 1		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences	
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent					
Bremond, Daniel	7/1/16	2020	4	0	0	0	4	1	0	4	0	0	0	4	1	0	8	100%	0	0%	
Fong, Mason*	8/23/17	2021	-	-	-	-	-	-	-	3	0	0	0	3	-	-	3	N/A*	0	0%	
Hwang, Tina	7/1/16	2020	3	1	0	1	4	1	0	3	1	0	1	4	0	1	8	75%	0	0%	
Isaak, Mark	11/18/15	2019	4	0	0	0	4	1	0	4	0	0	0	4	1	0	8	100%	0	0%	
Lai, Carey	7/1/14	2018	4	0	0	0	4	1	0	4	0	0	0	4	1	0	8	100%	0	0%	

*Member not in office at least six months, therefore percentage of attendance not shown. (Per Council Policy 7.2.19)
Pres.=Present
EA=Excused Absence
UA=Unexcused Absence

Board and Commission Meeting Attendance (Regular and Special Meetings)
January - December 2017

ATTACHMENT 1

			January - June 2017							July - December 2017							Total: January - December 2017			
Heritage Preservation Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 4			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 0		July - December 2017 Regular Meetings: 3			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 0		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent				
Dietrich, Hannalore	9/17/14	2018	3	1	0	1	4	-	-	3	0	0	0	3	-	-	7	86%	0	0%
Holthaus, Melanie	2/28/17	2020	2	1	0	1	3	-	-	3	0	0	0	3	-	-	6	83%	0	0%
Hopkins, Dawn	7/1/15	2019	4	0	0	0	4	-	-	3	0	0	0	3	-	-	7	100%	0	0%
Larsen, Dixie	2/12/14	2021	4	0	0	0	4	-	-	2	1	0	1	3	-	-	7	86%	0	0%
Michitaka, Mike	7/1/16	2020	4	0	0	0	4	-	-	2	1	0	1	3	-	-	7	86%	0	0%
Mouritsen, Dale	7/1/14	2018	3	1	0	1	4	-	-	2	1	0	1	3	-	-	7	71%	0	0%
Valenzuela, Kenneth	8/12/15	2019	1	3	0	3	4	-	-	3	0	0	0	3	-	-	7	57%	0	0%
Housing and Human Services Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 3			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 1		July - December 2017 Regular Meetings: 1			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 3		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent				
Evans, Patti	7/1/15	2019	2	1	0	1	3	1	0	1	0	0	0	1	3	0	4	75%	0	0%
Gilbert, Diana	7/1/17	2021	3	0	0	0	3	1	0	0	1	0	1	1	3	0	4	75%	0	0%
Grossman, Joshua	7/1/16	2020	2	1	0	1	3	1	0	1	0	0	0	1	2	1	4	75%	0	0%
Hiremath, Ken	7/1/17	2021	1	0	1	1	2	1	0	0	1	0	1	1	3	0	3	33%	1	33%
Kwok, Minjung	7/1/17	2021	3	0	0	0	3	1	0	1	0	0	0	1	3	0	4	100%	0	0%
Singh, Avanimdar	3/1/17	2018	2	0	0	0	2	1	0	1	0	0	0	1	2	1	3	100%	0	0%
Stetson, Elinor	6/15/16	2020	3	0	0	0	3	0	1	1	0	0	0	1	1	2	4	100%	0	0%
Parks and Recreation Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 4			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 1		July - December 2017 Regular Meetings: 3			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 1		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent				
Alexander III, Henry	7/1/16	2020	2	1	1	2	4	1	0	3	0	0	0	3	0	1	7	71%	1	14%
Gabashvili, Irene	10/26/16	2019	4	0	0	0	4	0	0	3	0	0	0	3	1	0	7	100%	0	0%
Kenton, Ralph	7/1/17	2021	3	1	0	1	4	1	0	3	0	0	0	3	1	0	7	86%	0	0%
McCune, Daniel	7/1/17	2021	-	-	-	-	-	-	-	3	0	0	0	3	1	0	3	100%	0	0%
Pasqua, Craig	7/1/15	2019	4	0	0	0	4	0	1	1	2	0	2	3	0	1	7	71%	0	0%
Personnel Board	Term Start	Term Ends	January - June 2017 Meetings: 0			Total Absences (EA+UA)	Eligible Meetings	N/A		July - December 2017 Meetings: 1			Total Absences (EA+UA)	Eligible Meetings	N/A		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences
			Pres.	EA	UA					Pres.	EA	UA								
Brown, Justin	7/1/17	2021	-	-	-	-	-	-	-	1	0	0	0	1			1	100%	0	0%
Oberman, Traci	7/1/14	2018	-	-	-	-	0			1	0	0	0	1			1	100%	0	0%
Reguerin, Ericka*	8/23/17	2019	-	-	-	-	-	-	-	1	0	0	0	1			1	N/A*	0	0%
Schmidt, Barbara	7/1/16	2019	-	-	-	-	0			1	0	0	0	1			1	100%	0	0%
Selan, Patti*	8/23/17	2020	-	-	-	-	0			1	0	0	0	1			1	N/A*	0	0%

*Member not in office at least six months, therefore percentage of attendance not shown. (Per Council Policy 7.2.19)
Pres.=Present
EA=Excused Absence
UA=Unexcused Absence

Board and Commission Meeting Attendance (Regular and Special Meetings)
January - December 2017

ATTACHMENT 1

			January - June 2017							July - December 2017							Total: January - December 2017			
Planning Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 11			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 1		July - December 2017 Regular Meetings: 10			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 1		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent				
Harrison, Sue	7/1/14	2018	10	1	0	1	11	1	0	7	3	0	3	10	1	0	21	81%	0	0%
Howard, Daniel	3/1/17	2020	8	0	0	8	8	1	0	8	2	0	2	10	1	0	18	89%	0	0%
Howe, John	10/26/16	2020	11	0	0	0	11	1	0	8	2	0	2	10	1	0	21	90%	0	0%
Olevson, Ken	7/1/17	2021	10	1	0	1	11	1	0	9	1	0	1	10	1	0	21	90%	0	0%
Rheaume, Ken	7/1/14	2018	10	1	0	1	11	1	0	9	1	0	1	10	0	1	21	90%	0	0%
Simons, David	7/1/15	2019	9	2	0	2	11	1	0	9	1	0	1	10	1	0	21	86%	0	0%
Weiss, Carol	11/18/15	2019	9	2	0	2	11	0	1	8	2	0	2	10	1	0	21	81%	0	0%
Sustainability Commission	Term Start	Term Ends	January - June 2017 Regular Meetings: 6			Total Absences (EA+UA)	Eligible Regular Meetings	January - June 2017 Special Meetings: 0		July - December 2017 Regular Meetings: 4			Total Absences (EA+UA)	Eligible Regular Meetings	July - December 2017 Special Meetings: 1		Total Eligible Meetings	Percentage of Attendance	Total Unexcused Absences	Percentage of Unexcused Absences
			Pres.	EA	UA			Pres.	Absent	Pres.	EA	UA			Pres.	Absent				
Hafeman, Dan	7/1/15	2019	5	1	0	1	6	-	-	4	0	0	0	4	1	0	10	90%	0	0%
Imbre, Adriana*	8/23/17	2018	-	-	-	-	-	-	-	2	1	0	1	3	-	-	3	N/A*	0	0%
Joesten, Stephen	7/1/17	2021	-	-	-	-	-	-	-	4	0	0	0	4	1	0	4	100%	0	0%
Kisyova, Petya (resigned 7/26/2017)	7/1/14	2018	5	1	0	1	6	-	-	-	-	-	-	-	1	0	6	83%	0	0%
Paton, Bruce	7/1/17	2021	6	0	0	0	6	-	-	4	0	0	0	4	1	0	10	100%	0	0%
Srivastava, Amit	7/1/14	2018	4	2	0	2	6	-	-	2	1	1	2	4	0	1	10	60%	1	10%
Wickham, Kristel	7/1/16	2020	5	1	0	0	6	-	-	3	1	0	1	4	1	0	10	80%	0	0%
Zornetzer, Steven	7/1/16	2020	5	1	0	1	6	-	-	4	0	0	0	4	1	0	10	90%	0	0%

*Member not in office at least six months, therefore percentage of attendance not shown. (Per Council Policy 7.2.19)
Pres.=Present
EA=Excused Absence
UA=Unexcused Absence



City of Sunnyvale

Agenda Item

18-0099

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Board/Commission Resignations (Information Only)

DISCUSSION

This report informs Council that David Koppel, who was appointed to the Arts Commission on July 1, 2015 and serving a term to expire June 30, 2019, resigned from the commission, effective January 19, 2018. In addition, Amit Srivastava, who was appointed to the Sustainability Commission on July 1, 2014 and serving a second term to expire June 30, 2018, resigned from the commission, effective February 7, 2018. Letters of resignation have been filed with the Office of the City Clerk.

The Arts Commission and Sustainability Commission vacancies will be included in the upcoming recruitment process for appointments.

EXISTING POLICY

Administrative Policy, Chapter 1, General Management, Article 15, Section 2, Subdivision 8 states that when a resignation letter is received, staff shall prepare an Information Only Report to Council that indicates the resignation(s) and specifies the process staff recommends to fill the new vacancy.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

Prepared by: Kathleen Franco Simmons, City Clerk

Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager



City of Sunnyvale

Agenda Item

18-0137

Agenda Date: 2/27/2018

REPORT TO COUNCIL

SUBJECT

Strategic Session Follow-Up: Responses to Council Inquiries (Information Only)

DISCUSSION

On January 19, 2018, the City Council held a Strategic Session on Policy Priorities. The City Council received a briefing on service delivery highlights, strategic areas of focus, operational priorities, and areas of opportunities and challenges. Council also received an update on recent progress and upcoming activity on the six Council Policy Priorities:

- Civic Center Campus and Main Library
- The Ability of Infrastructure to Support Development and Traffic
- Open Space Acquisition and Planning (Future of Golf Courses)
- Downtown Sunnyvale
- Improved Processes and Services through the use of Technology
- Accelerating Climate Action

The Strategic Session concluded with a discussion on community benefit funds, and fostering community participation. This informational report provides a comprehensive response to Council inquiries and follow-up items that were noted throughout the workshop.

Budgetary/Fiscal Report

Fiscal Presentation Slides- Councilmembers requested that more information be added to several of the graphs, such as percentages and subtotals. Those slides are presented as Attachment 1.

List of Grants and Donations- During the fiscal presentation, staff provided Council with a breakdown of General Fund revenues for FY 2016/17, including amounts in the Grants and Donations account. A request was made to list out the Grants and Donations category.

Private Grants and Donations is a broad category that includes Cash Donations, Contributions, Miscellaneous Private Grants, and Contributions from Property owners. Of the \$122,772. A contribution from Rural Metro (County EMS provider) in the amount of \$100,500 was to compensate the City for providing EMS services. The remaining amount is a grant from PG&E in support of the climate action plan and a grant from the Pacific Library Foundation for the mobile bike book mobile. Staff strives to apply for and obtain grants and donations for programs or purchases whenever possible and through many different channels.

Operational Priorities

Peery Park Master Plan Ride Program Schedule- Council requested information on the Peery Park Master Plan Ride Program Schedule. Santa Clara Valley Transportation Authority (VTA) anticipates

starting the service planning/design in Spring 2019; this means that operations could start by the end of 2019, and continue under the 2-year agreement of funding until the end of 2021.

Condition of Road Pavement- Councilmembers requested information on several aspects of the condition of the City's road pavement. The inquiries related to the methodology used to rate the condition of pavement, the reason for the drop off in the pavement condition index (PCI) and if this is a budget issue, a list of the streets in poorest condition, and the plan to achieve the City's PCI goal of 80. Attachment 2 provides the requested analysis and map of the identified streets requested.

Retirements by Classification- The Human Resources Department provided an update on opportunities and challenges surrounding employee engagement and succession planning. Councilmembers requested a breakdown of employee retirements by management versus non-management. In the last fiscal year, of the 35 retirements, 14% were management employees and 85% were non-management employees. Currently, of the 165 employees that are eligible to retire, 15% are management employees versus 85% non-management employees.

RHNA Update and Breakdown of For Sale/Rental Numbers- Attachment 3 shows the preliminary 2017 data on the Housing Element Regional Housing Needs Assessment (RHNA) cycle (2015-2023). Staff is currently preparing the Annual Progress Report for City Council review on March 6. The report will show a final housing count.

ADU Trends- Council requested an update on ADU construction trends, and were specifically interested in seeing the impact of recently adopted laws. A graph showing permitting and construction activity since 2010 can be found in Attachment 4.

Safe Routes to School- Staff presented information on efforts to improve safety and accessibility through the Vision Zero Plan, which aims to eliminate traffic injuries and fatalities. Council requested that staff expand on Safe Routes to School. Attachment 5 provides an update on the Vision Zero Plan as well as a summary of Safe Routes to School goals and initiatives found in other plans.

SB743 Environmental Quality Update and Staff Recommendation- Council requested that staff provide a report on the bill along with a staff recommendation. That information is included in Attachment 6.

Charge Ready- City Council commented on the increase in electric vehicle (EV) use and inquired whether the City has been successful in supporting infrastructure (charging stations) to keep up with demand. Attachment 7 lists current EV requirements on development.

CityLine Construction Communication to the Community- Councilmembers commented on community frustration with the lack of communication on construction updates and decision-making. Staff has since corresponded with the CityLine team and will assist them with better communication of upcoming activities and estimated duration.

Website Search Capability- Council expressed frustration with our City's website search feature and overall usability. Staff is currently reviewing the organization and layout of information on the website to make changes that will make it more user friendly. The City is also in the procurement phase of replacing its Search feature and is aiming to have the new search tool in place by the end of March.

Council Policy Priorities Update

Customer Satisfaction Performance Measures- Council requested information regarding customer satisfaction performance measures as it relates to Access Sunnyvale. On average, inquiries submitted through Access Sunnyvale receive a response within 3 days and the issue is resolved on average within 7 days.

The Utility Billing Division also measures customer satisfaction using written surveys sent to customers who have made a recent phone inquiry to the customer service call center or an in-person counter transaction. Two hundred surveys are distributed annually to new customers and random contacts with the customer service call center.

In Fiscal Year 2016/17, 96.5% of customers rated service as satisfactory or better.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall, at the Sunnyvale Senior Center, Community Center and Department of Public Safety; and by making the agenda and report available at the Sunnyvale Public Library, the Office of the City Clerk and on the City's website.

Prepared by: Lupita Alamos, Senior Management Analyst

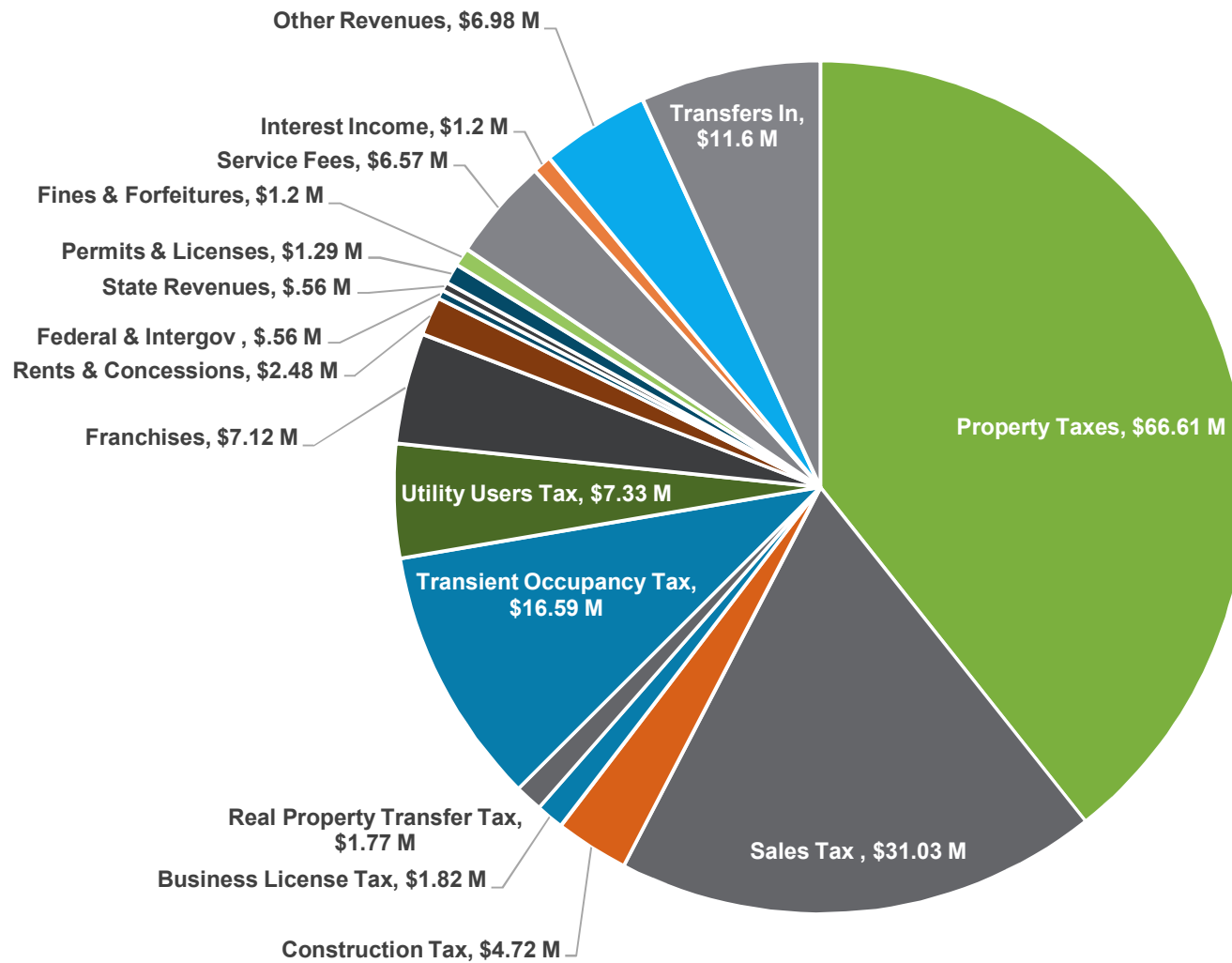
Reviewed by: Teri Silva, Assistant City Manager

Approved by: Kent Steffens, City Manager

ATTACHMENTS

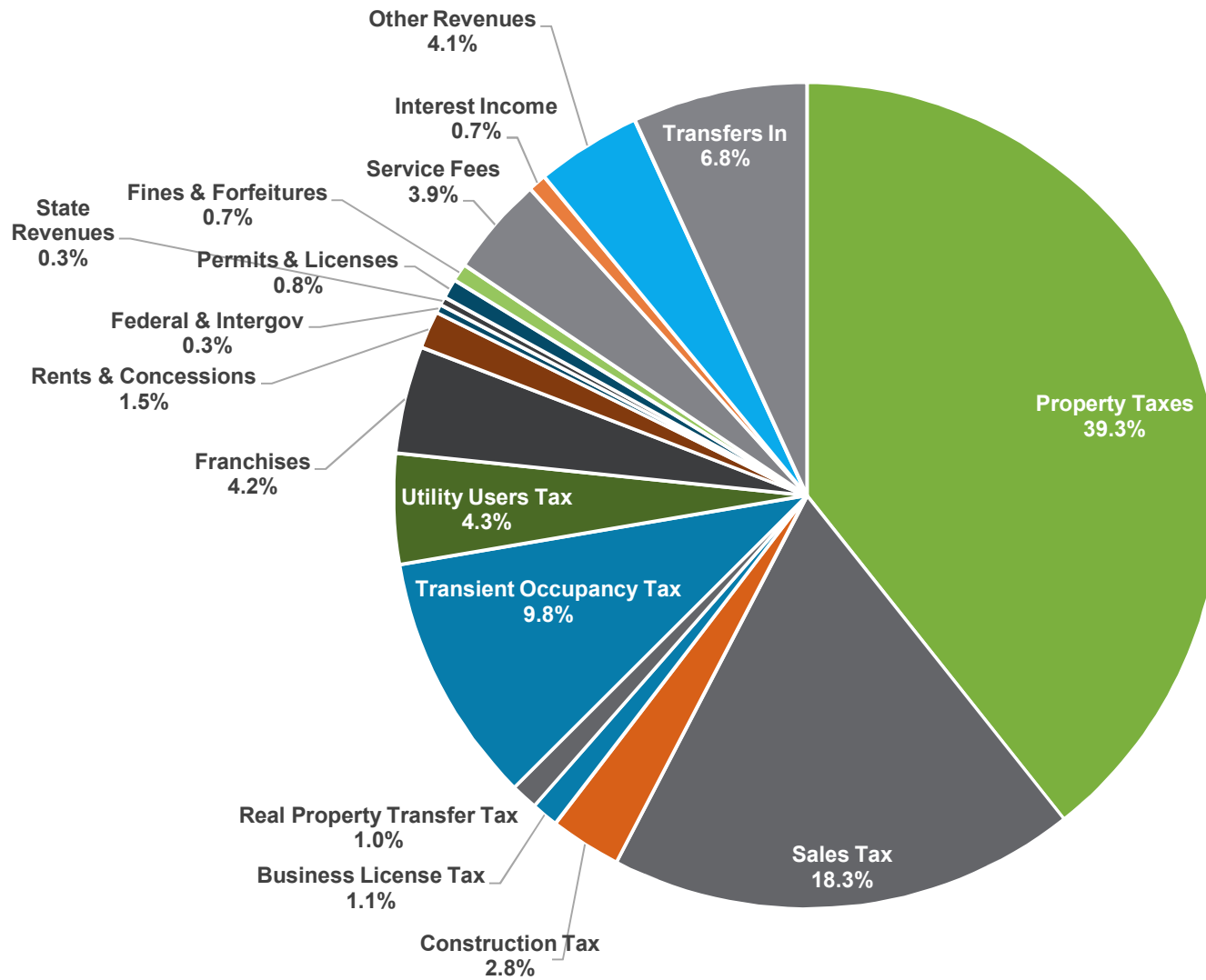
1. Revised Budget Presentation Slides
2. Condition of Road Pavement and Map
3. Sale/Rental data and RHNA Progress
4. ADU Trend
5. Safe Routes to School
6. SB 743 Environmental Quality and Staff Recommendation
7. Charge Ready: Requirements for EV Spaces and Charging Stations

Actual General Fund Revenues*
FY 2016/17



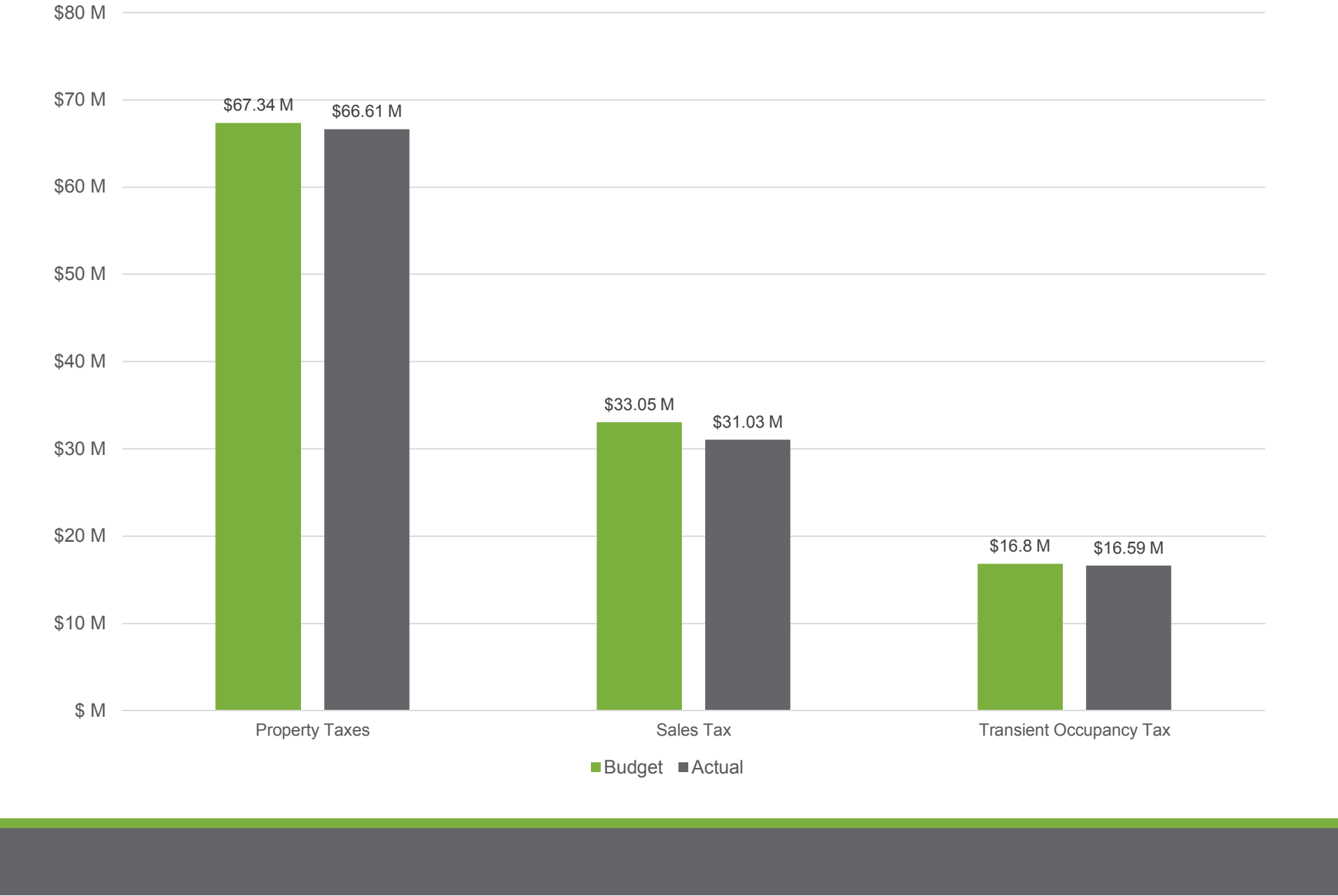
*Excludes the sale of property

Actual General Fund Revenues* as a Percent of Total
FY 2016/17

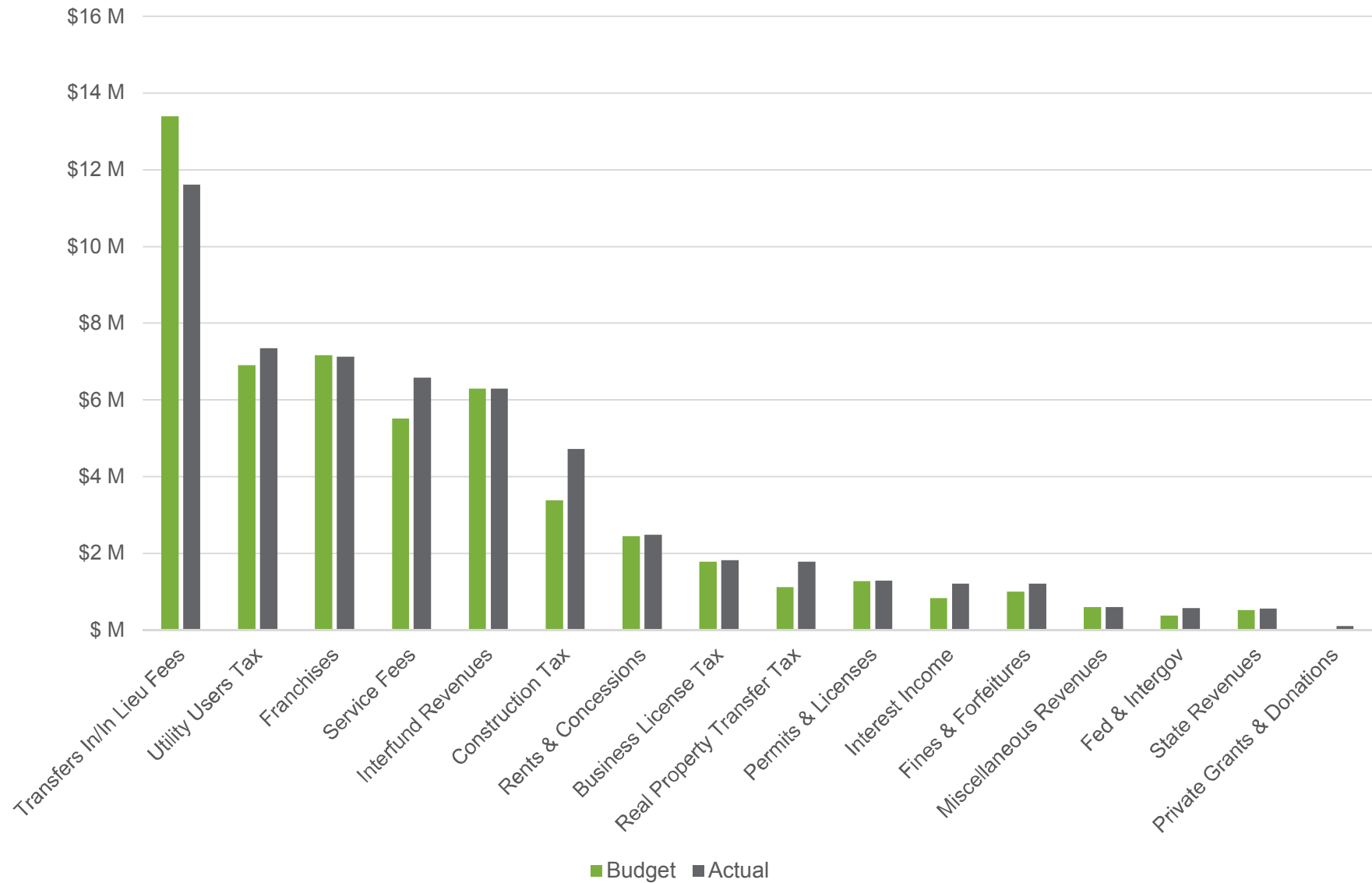


*Excludes the sale of property

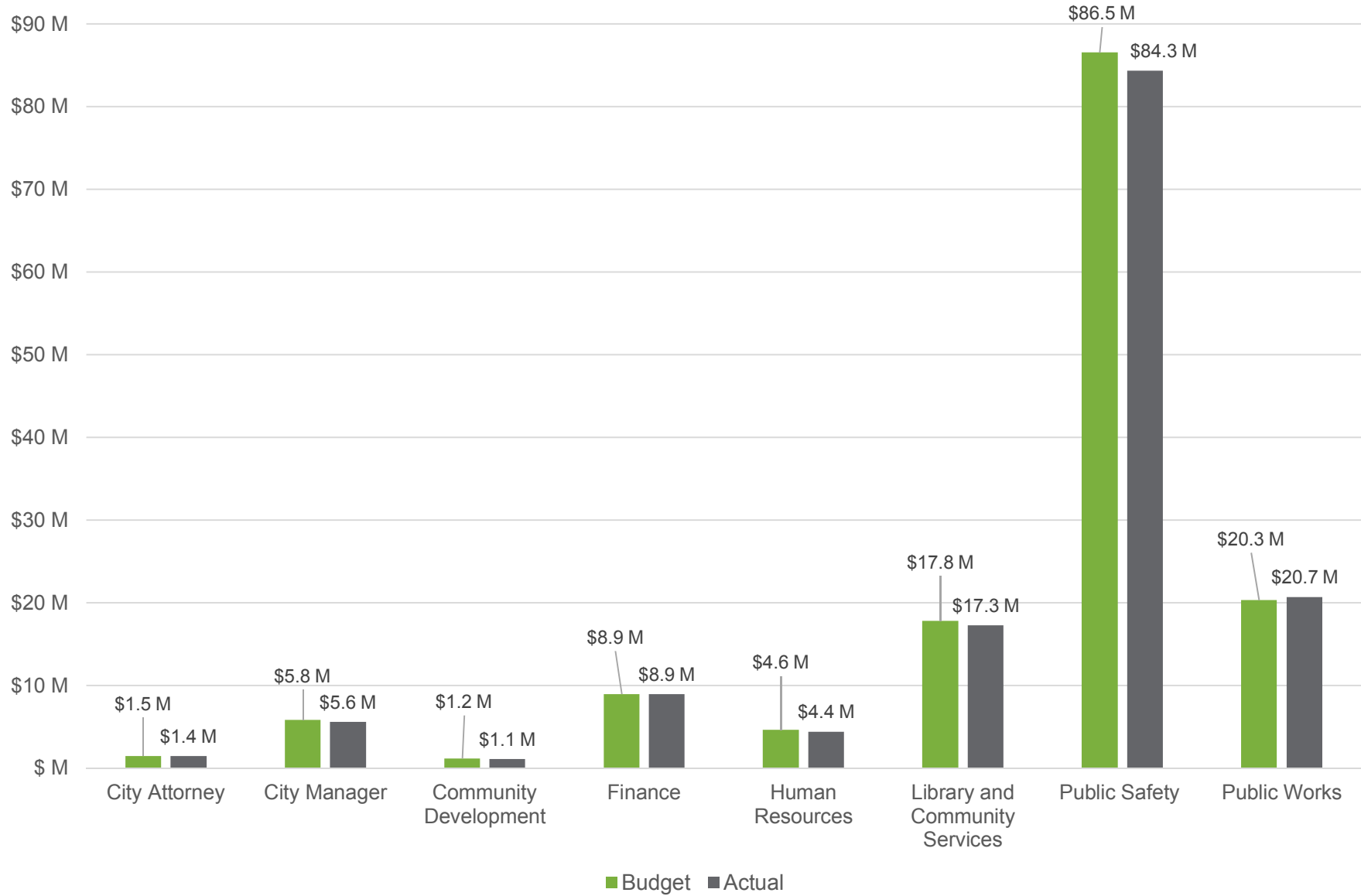
Major General Fund Revenues



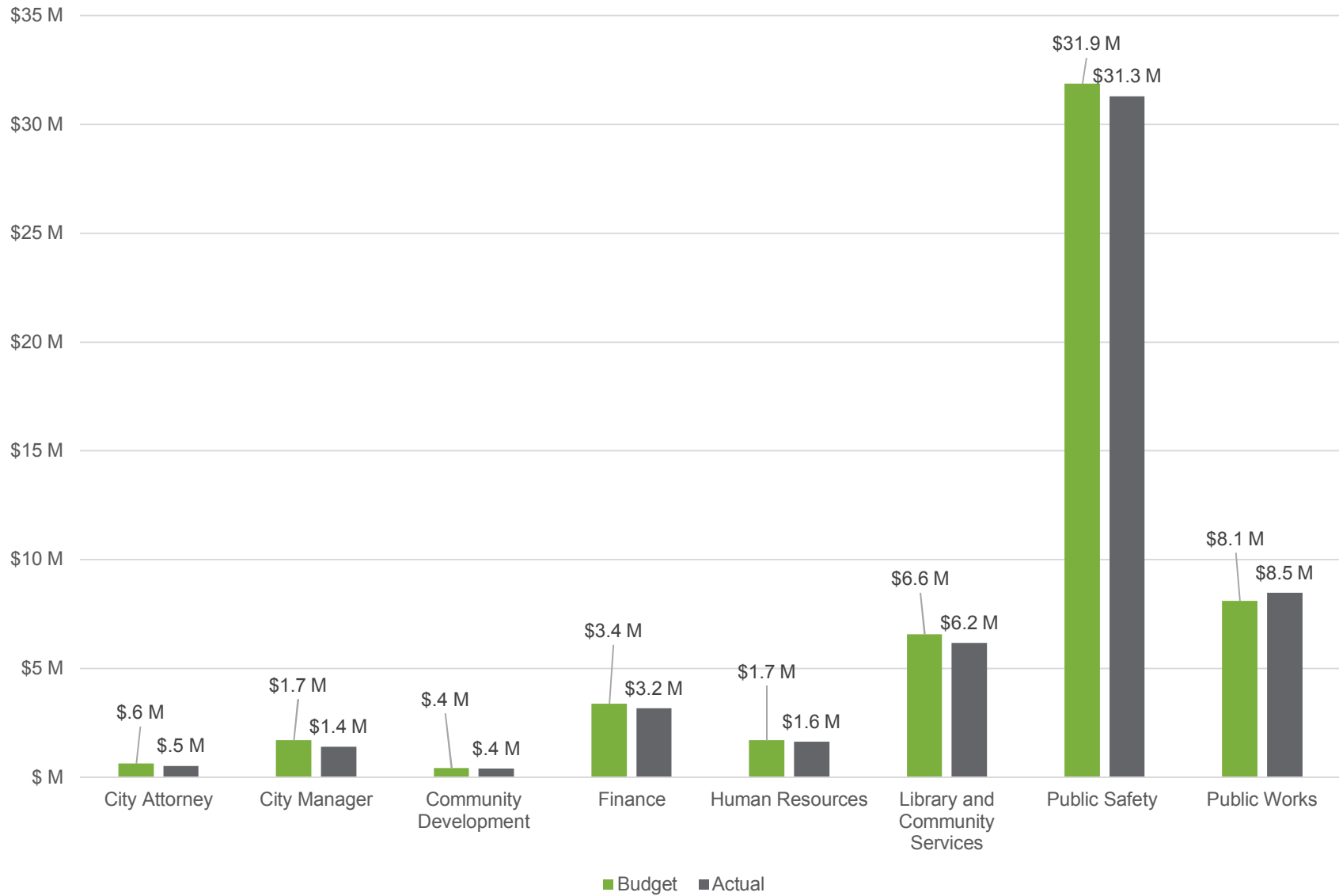
Other General Fund Revenues



General Fund Expenditures by Department



Operating Budget Year-to-Date



Condition of Road Pavement and Map

Background

At the January 19, 2018, Strategic Session Workshop, Vice-Mayor Klein and Council Members Griffith and Melton requested information on several aspects of the condition of the City's road pavement. The inquiries related to the methodology used to rate the condition of pavement, the reason for the drop off in the pavement condition index (PCI) and if this is a budget issue, the streets in the poorest condition, and the plan to achieve the City's PCI goal of 80.

Discussion

A. Pavement Condition Index

In the Bay Area the condition of asphalt concrete road pavement is measured by the Pavement Condition Index, or PCI. The PCI rating number is determined by the jurisdiction responsible for a roadway, and intermittently checked by the Metropolitan Transportation Commission (MTC).

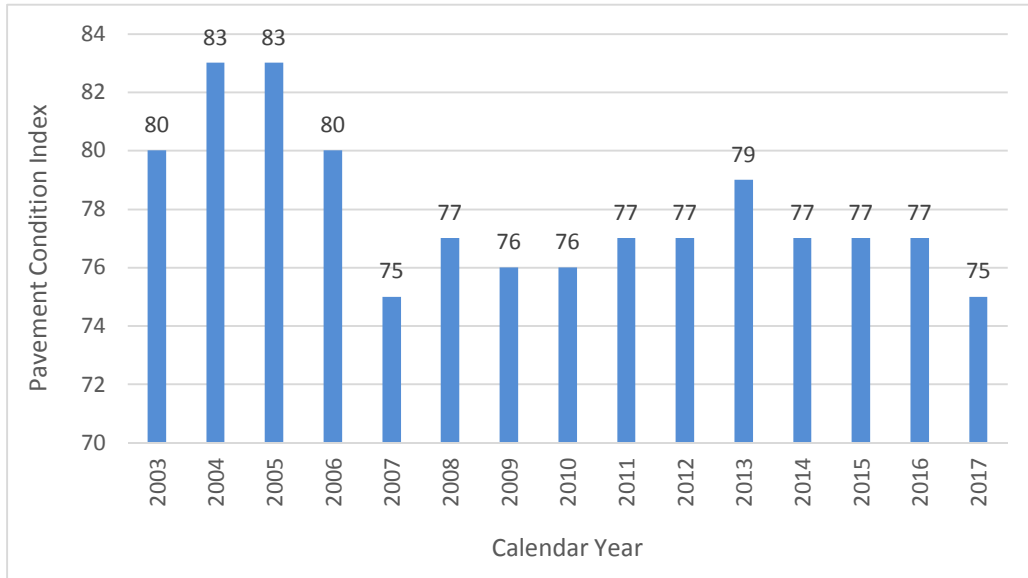
The rating scale of the PCI is from 0 to 100, with 100 equal to the condition of a newly constructed road. The rating of road segments is determined by experienced individuals who consider the signs of deterioration including alligator cracking, block cracking, pavement cuts (caused by utilities or roadway patching), rutting, depressions, weathering (discoloration) and raveling (exposure of aggregates). The assessment is analytically based, and competent raters will have very similar results. Approximately one-half of the City's roads are surveyed by City staff annually. MTC inspects City streets as resources and time permits.

The below chart shows the MTC qualitative definitions for various PCI thresholds. Some of the definitions and thresholds have changed since the Pavement System Maintenance Study Final Report was considered by the City Council in 2013.

MTC Definitions			
100			100
95			95
90			90
85	Good to Excellent	Very Good	85
80			80
75			75
70			70
65	Fair	Good	65
60			60
55			55
50			50
45	Poor	Poor	45
40			40
35			35
30			30
25	Very Poor / Failed	Very Poor	25
20			20
15			15
10			10
5			5
0			0
2013		Current	

B. Sunnyvale PCI

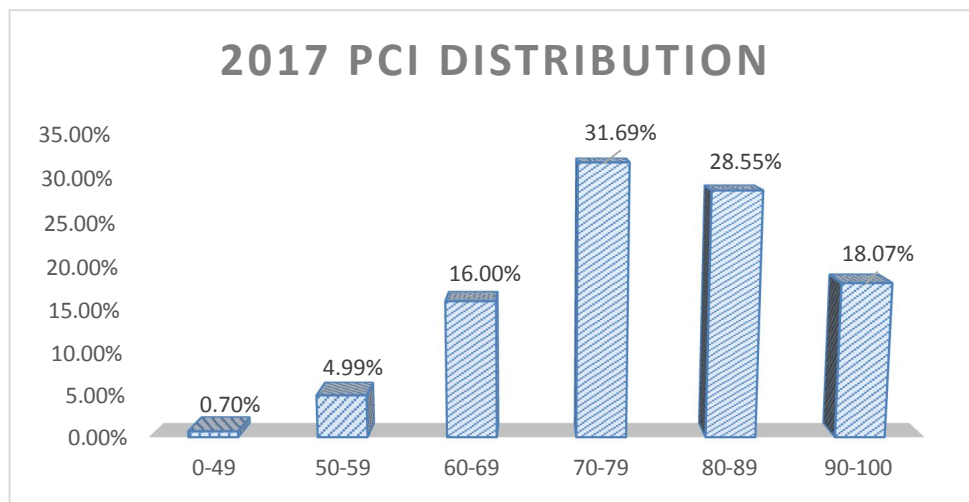
The City's goal is to achieve and maintain an average PCI rating of 80. To determine the average PCI, the 260 miles of City streets (center line miles) have been divided into nearly 1800 sections. Each section is rated and given a PCI number. Annually the current PCI ratings for the road sections are totaled and the average is calculated. The average PCI ratings for the past 15 years are shown in the following chart.



The dip in the PCI rating in 2017 reflected the suspension of the City's normal chip sealing program due to the need to upgrade a key piece of equipment. The new equipment, a self-propelled chip spreader, will be deployed beginning with the 2018 pavement maintenance season. Another factor that may have contributed to the dip in PCI rating was the anomaly that MTC, versus City staff, conducted the PCI ratings in 2017.

C. Existing Condition of Sunnyvale Streets

The current PCI ratings for the City's street sections ranges from 29 to 100. 47% of all street sections have a PCI equal to or higher than 80. The majority (53%) of the street sections are less than 80. The below chart shows the percentage of street sections by PCI.



There are 27 street sections in Sunnyvale with a PCI rating of less than 50. These streets fall into the category of “poor condition” and represent less than 1% of all City streets. These street sections are shown in the attached map. It is noteworthy that half of the streets are residential cul-de-sacs. These streets are particularly impacted by the stopping, starting and the turning movements of large trucks.

D. Plan to Move Forward

Over the next 3 years, the average PCI is projected to increase from 75 to 80, with the budget assumptions as shown in the following chart.

FUNDING (millions) No adjustment for cost-of-living					
Fiscal Year	Status	Operating Budget	Capital Budget	SB 1	Total
2017-18	Adopted	\$3.8	\$3.0	\$0.8	\$7.6
2018/19	Assumed	\$3.8	\$3.0	\$2.5	\$9.3
2019/20	Assumed	\$3.8	\$3.0	\$2.5	\$9.3
2020/21	Assumed	\$3.8	\$3.0	\$2.5	\$9.3

A key to the improvement in PCI is the application of a very cost/effective method of pavement treatment. The City uses an “enhanced” type of sealing the pavement surface that includes two applications of gravel (chips) and a follow-up placement of crushed granite and oil (slurry seal). This treatment is costlier than a single application of either chips or slurry, but much less costly than the placement of an asphalt concrete overlay, or the reconstruction of a street.

E. Pavement Condition Metric

The average PCI is a commonly used metric by Bay Area cities. It allows cities and MTC to easily compare the condition of pavements between jurisdictions and to monitor changes.

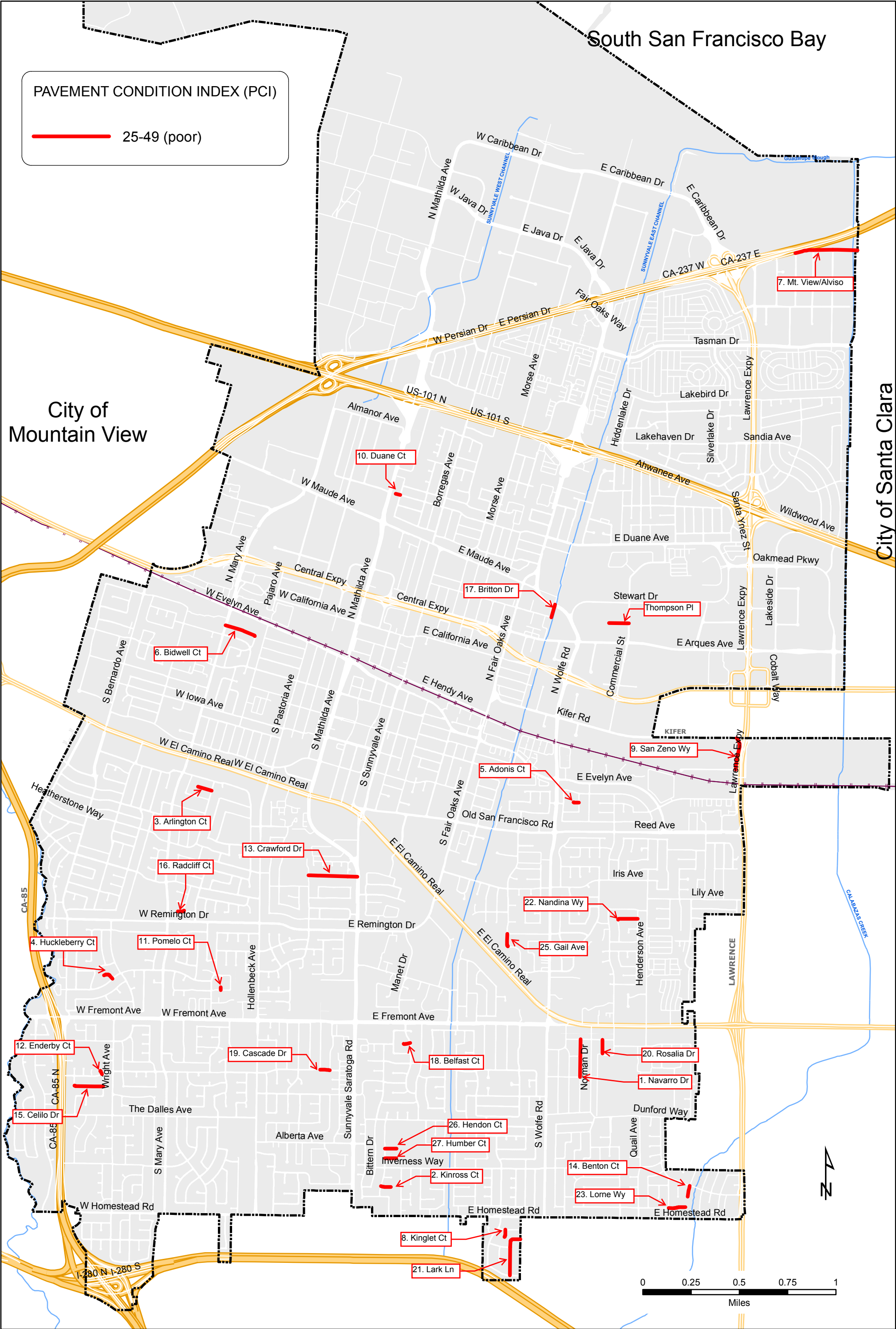
In addition to the average PCI, the City of Sunnyvale maintains another metric that is reported in its Adopted Budget. The metric is the percentage of street segments rated in good or better condition. The threshold for this rating is a PCI of 70 or higher, which is consistent with the MTC definition that existed at the time the metric was established. The performance data for this metric is shown in the following chart.

Type of Street	FY 2014/15 Actual	FY 2015/16 Actual	FY 2016/17 Actual	FY 2017/18 Target	FY 2018/19 Target
Local > PCI 70	76%	75%	74%	80%	86%
Arterial > PCI 70	84%	80%	85%	85%	85%

The above targets for fiscal years 2017/18 and 2018/19 reflect the budget assumptions shown in section D above.

Attachment - Map of Streets Rated in “Poor” Condition

CITY OF SUNNYVALE
STREETS IN POOR CONDITION



Sale/Rental Data and RHNA Progress

Below is preliminary 2017 data on the current Housing Element and RHNA cycle (2015-2023). Staff is preparing the Annual Progress Report for City Council review March 6 and the numbers will be finalized in that report. A final report is due to California Housing and Community Development (HCD) April 1. Note that this report covers only the first three years of the eight-year cycle.

The table below shows the building permits issued during the calendar years. The initial form of tenancy (ownership vs rental) is reflected in the first two lines. A line is added noting the projects/units where a final map for condominium purposes has been approved. Future condominiums are subject to the California Bureau of Real Estate approvals and procedures.

CYCLE TO DATE: 2015 -2017					
Intended for	2015	2016	2017	Total	% of total
Ownership	192	250	416	858	53.6%
Rental	671	2	70	743	46.4%
Total	863	252	486	1,601	100.0%
					% of total that is condo-mapped rentals (only)
Subset: Condo- mapped rentals	670	0	0	670	91%

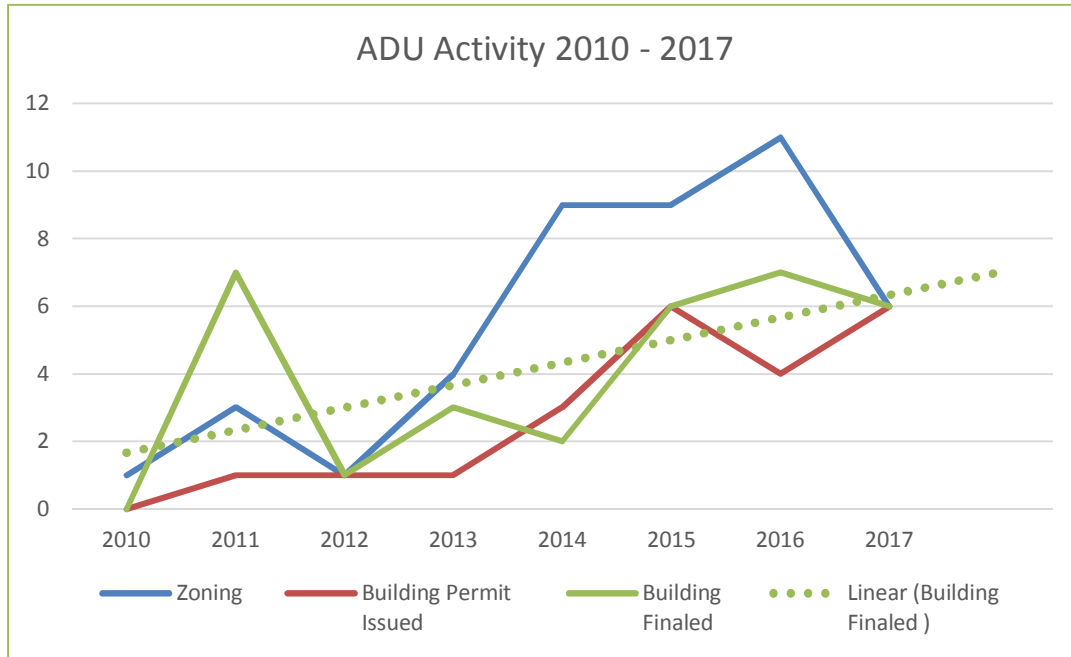
Affordability categories are reflected below

AFFORDABLE UNIT DETAILS			
2015-2017 cumulative totals:	Affordable Unit Types		
Income Level	Rental	Ownership	Total
Very Low Income	89	0	89
Low Income	19	1	20
Moderate Income	6	80	86
Total	114	81	195
Rental/Owner	58%	42%	100%

2015-2017 Total	# of Units	% by Income Level	% of RHNA to Date (3-Yr Goal)	Prorated Goal for 3/8 of Cycle Passed	Over/(Under) 3-yr Prorated Goal
Very Low Income	89	5.6%	14%	615	(526)
Low Income	20	1.2%	6%	340	(320)
Moderate Income	86	5.4%	25%	350	(264)
All Affordable (subtotal)	195	12.2%	15%	1,304	(1,109)
Above Moderate	1,406	87.8%	190%	740	666
Total	1,601	100.0%	78%	2,045	(444)

ADU Trends

As shown on the chart below, since 2010 there has been a general trend up (gray dotted line) in the number of Accessory Dwelling Units (ADUs) built (Building Finaled) in Sunnyvale. Although the number of ADUs reviewed by Planning (Zoning) declined from 11 in 2016 to six in 2017, the general trend is also increasing; as of February 7, 2018, there are already five ADU applications for 2018.



Safe Routes to School

Vision Zero Plan

The goal for the development of a Vision Zero Plan is to eliminate traffic injuries and fatalities. The Vision Zero Plan will summarize the City's current traffic safety data, and identify causes and possible mitigation measures for pedestrian, bike, and vehicular crashes. Vision Zero Plan was awarded in May 2017. Since then, the consultant has finished the existing conditions assessment summarizing the current safety conditions citywide. The City shared findings from the existing conditions assessment and sought feedback from the community and representatives from local schools on the preferred direction for the Plan at the first public workshop, a stakeholder focus group workshop, and a Bicycle and Pedestrian Advisory Commission (BPAC) meeting in Fall 2017. Public input was also provided in Fall 2017 via an online survey for the Vision Zero Plan. Based on the public input and the data obtained, the consultant has developed the collision profiles identifying Sunnyvale's key collision types, locations where key collision types occur, and the modes of travel involving in the collisions. The consultant has also identified a list of priority project locations based on the data.

In the upcoming months, the consultant will identify the implementation strategy by reviewing and selecting safety countermeasures to mitigate the various types key collision profiles. The consultant will also create a collision profile cut sheet and a tool box for each collision profile, where it would serve as a template to identify improvements for similar facilities based on roadway characteristics and collision profile types. In February 2018, the consultant will present the collision profiles and priority project locations to the BPAC. Subsequently, a second public workshop will be held in March 2018 to present the data and solicit input from the community. By May 2018, the consultant will document all the findings and recommendations in the Vision Zero Plan. It is anticipated the City Council will consider this item in the Summer of 2018.

Bicycle Master Plan Update, Safe Routes to School Plan, and Pedestrian Safety and Circulation Plan

The City is currently preparing a Request for Proposal (RFP) to solicit proposals from qualified consultant teams to prepare a single master plan which combines the following three plans: The Bicycle Master Plan, Safe Routes to School (SRTS) Plan, and Pedestrian Safety and Circulation Plan. These three plans would be studied as one plan, and each plan would be shown in a separate subsection of the report. The three plans would complement each other avoiding duplication of projects. New projects identified through this master plan would improve connectivity to the existing bicycle, pedestrian, and Safe Routes to School networks. The City expects to select a consultant team to prepare the master plan in Spring 2018, and the master plan would be completed in 2019.

The City has a SRTS Collaborative, which consists of representatives from local schools, parent groups, and SRTS coordinators from City of Sunnyvale as well as the neighboring cities. The SRTS Collaborative has collected data from parents and students from various public schools within the City. The data includes information such as the routes students

take to go to and from school, both by walking and by biking. The data will be compiled and given to the consultant for further analysis, prepare SRTS maps and identify safety and mobility improvements to and from each school. Identification of potential countermeasures to enhance pedestrian and bicycle safety around the school zones will also be considered.

Vehicle Emission Reductions Based at Schools (VERBS) Grant Funds

The City has recently secured grant funds from One Bay Area Grant Cycle 2 (OBAG 2) for Vehicle Emission Reductions Based at Schools (VERBS) through a competitive selection process. VERBS is focused on reducing greenhouse gases by promoting walking, biking, transit, and carpooling to school. The City submitted two projects requesting \$1,919,000 in VERBS grant funds with a local matching totaling \$509,000. The two projects selected for award are as follows:

1. *Homestead Road at Homestead High School – Pedestrian & Bicycle Improvements* - \$1,265,000 (\$1,000,000 grant/\$265,000 local match). The City of Cupertino has committed to contribute up to 10% of the total project cost (or \$126,500) towards the local match required, which will be reimbursed to the City pending the City of Cupertino Council action anticipated in April 2018. The proposed improvements include:
 - Traffic signal modification at the Homestead Road/Mary Avenue, and Homestead Road/Kennewick Drive intersections
 - Pedestrian access enhancements such as:
 - Installation of high visibility crosswalks
 - Installation of accessible pedestrian signals
 - Shortening crossing for pedestrians
 - Installation of green buffered bike lanes along Homestead Road between MacKenzie Drive and Mary Avenue
 - Improvements of the existing path for bicycles to the high school from eastbound Homestead Road to the Mary Avenue Bridge Trail
2. *Pedestrian and Bicyclist Infrastructure Improvements* – \$1,163,000 (\$919,000 grant/\$244,000 local match). This project will improve safety for students walking and biking to school in Sunnyvale by enhancing and/or modifying signing and striping and installing ADA compliant curb ramps at thirty-four (34) locations, and installing flashing beacon systems at five (5) locations.

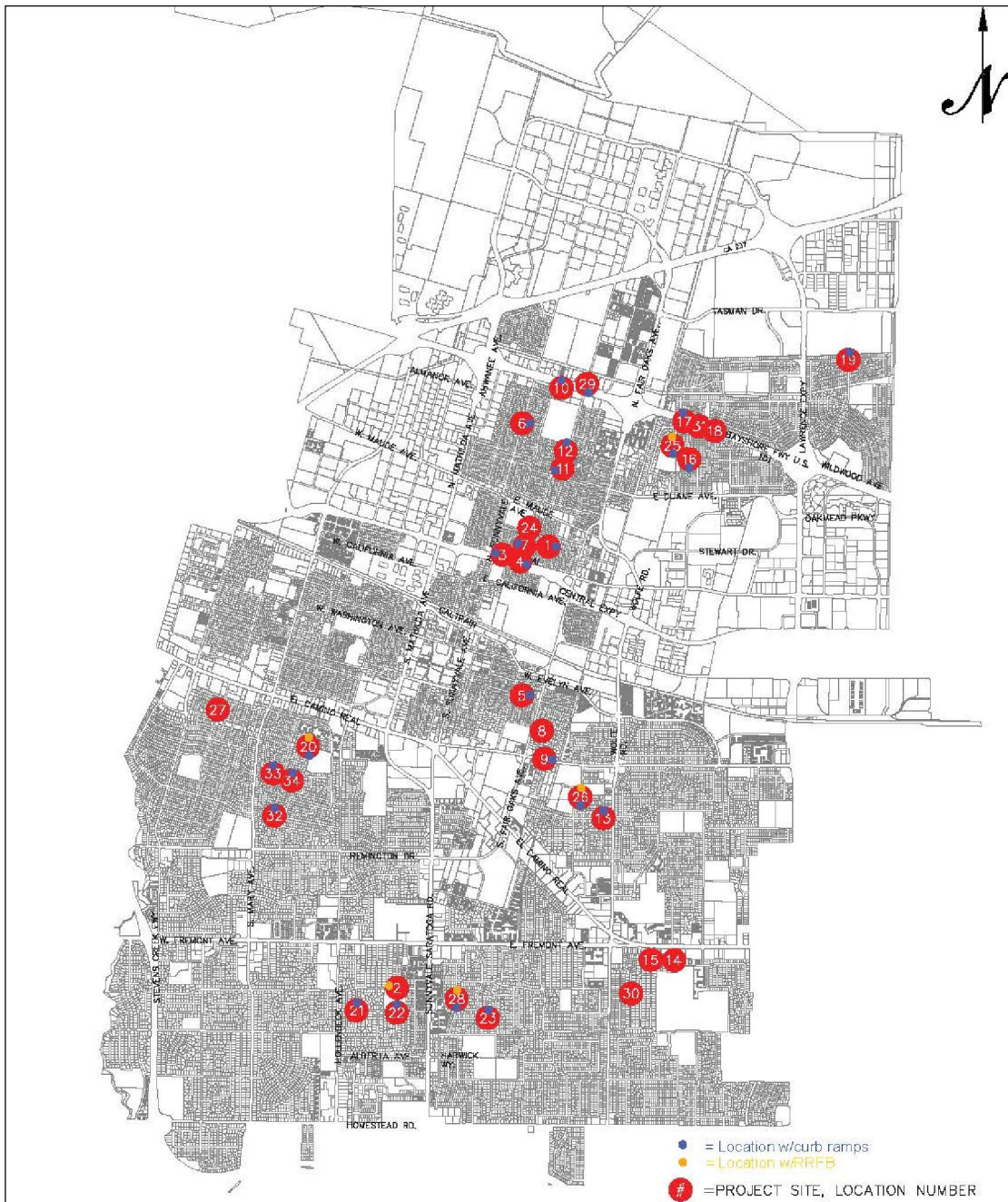
The locations where pedestrian and bicyclist infrastructure improvements would be implemented are presented in Table 1 and are shown graphically in Figure 1.

Both projects were presented to the City Council via Report to Council (RTC) 17-1164 on January 23, 2018.

Table 1: Pedestrian and Bicyclist Infrastructure Improvement Locations for the VERBS Grant

Location Number	Intersection	School	# of Curb Ramps	Flashing Beacon
1	Roosevelt Avenue / E Taylor Avenue	Bishop Elementary School	4	
2	Cascade Drive / Selo Drive	Nimitz Elementary School		1
3	Jackson Street / E Arques Avenue	Bishop Elementary School	4	
4	N Bayview Avenue / E Arques Avenue	Bishop Elementary School	1	
5	E McKinley Avenue / Kenmore Avenue	Ellis Elementary School	8	
6	Borregas Avenue / W Ferndale Avenue	Columbia Middle School	4	
7	N Bayview Avenue / E Taylor Avenue	Bishop Elementary School	2	
8	Firloch Avenue / E Olive Avenue	Ellis Elementary School		
9	Old San Francisco Road / Grand Fir Avenue	Ellis Elementary School	4	
10	E Ahwanee Avenue / Alturas Avenue	Columbia Middle School	2	
11	Morse Avenue / Waddington Avenue	Columbia Middle School	3	
12	Morse Avenue / S Fernwood Circle	Columbia Middle School	2	
13	Iris Avenue / Lusterleaf Drive	Brady Elementary School	4	
14	Bryant Way / Poplar Avenue	Peterson Middle School		
15	Bryant Way / Norman Avenue	Peterson Middle School		
16	Amador Avenue / San Pablo Avenue	San Miguel Elementary School	4	
17	E Ahwanee Avenue / San Pablo Avenue	San Miguel Elementary School	1	
18	E Ahwanee Avenue / San Ramon Avenue	San Miguel Elementary School		
19	Palamos Avenue / Fairwood Avenue	Fairwood Elementary School	3	
20	Cumberland Drive / Piper Avenue	Cumberland Elementary School	4	1
21	Owen Sound Drive / Cheyenne Drive	Nimitz Elementary School	2	
22	Cheyenne Drive / Saskatchewan Drive	Nimitz Elementary School	3	
23	Dublin Way / Floyd Avenue	Louis E. Stockmeir Elementary School	2	
24	N Bayview Avenue / Hazelton Avenue	Bishop Elementary School		
25	San Junipero Drive / Alvarado Avenue	San Miguel Elementary School	2	1
26	Gail Avenue / Gladiola Drive	Brady Elementary School	3	1
27	Grape Avenue / Andover Drive	Cherry Chase Elementary School		
28	Bittern Drive / Connemara Way	Louis E. Stockmeir Elementary School	4	1
29	Morse Avenue / E Weddell Drive	Summit Public School	1	
30	Elizabeth Way / Ramon Drive	Peterson Middle School		
31	E Ahwanee Avenue / Santa Paula Avenue	San Miguel Elementary School		
32	Pepper Avenue / W Knickerbocker Drive	Sunnyvale Middle School	2	
33	Peach Avenue / Hanover Avenue / Heatherstone Avenue	Cumberland Elementary School	3	
34	Hanover Avenue / Pippin Avenue	Cumberland Elementary School	2	

Figure 1: Pedestrian and Bicyclist Infrastructure Improvement Locations for the VERBS Grant



SB 743 Environmental Quality Update and Staff Recommendation

In response to the approval of Senate Bill (SB) 743 by the California Legislature in September 2013, the Governor's Office of Planning and Research (OPR) proposed to use vehicle miles traveled (VMT) as the metric to replace the use of vehicular "level of service" (LOS) for the evaluation of project related transportation impacts under the California Environmental Quality Act (CEQA). SB 743 does not preclude local agencies from applying LOS in General Plan policies or in transportation impact analysis studies, however, LOS cannot be applied to the CEQA analysis. OPR anticipates that the new VMT guideline will go into effect in Fall 2018. Between now and when the new guidelines go into effect, Lead Agencies may switch from LOS to VMT anytime. However, the use of the new Guidelines will be mandatory on January 1, 2020.

Santa Clara Valley Transportation Authority (VTA) is the Congestion Management Agency (CMA) for the Santa Clara County. Currently, VTA establishes the Transportation Impact Analysis (TIA) Guidelines which are used by the local agencies when analyzing transportation impacts of land development projects on the transportation system. The guidelines are also often used by local agencies as a reference for the Transportation analysis in environmental documents. In the current TIA guidelines, LOS is used to measure transportation performance based on delay and congestion. VTA is currently taking a lead role in developing a work plan for the LOS-to-VMT transition, as well as a guideline for implementing VMT, and the associated thresholds for CEQA analysis in Santa Clara County. The new thresholds will use VMT per capita to measure the total amount of vehicular traffic across the entire system.

VTA has formed a working group which consist of members from the local agencies. City of Sunnyvale is represented by the Transportation and Traffic Manager. VTA and the working group has started to evaluate and identify the methodology to model VMT. By Fall 2018, VTA aims to define a baseline for VMT analysis, as well as the thresholds for significant impacts. Throughout 2019, VTA plans to determine, evaluate and test the sketch tools to project VMT for the various types of projects. VTA aims to adopt a new VMT Analysis Guideline to specify how to analyze VMT by January 1, 2020. The new VMT per capita thresholds will only be applicable to CEQA analysis.

Moving forward, the City plans to follow VTA's lead in the LOS-to-VMT transition, and adopt VTA's methodology and thresholds in using VMT per capita as a metric to evaluate impacts for CEQA analysis. However, to evaluate project impacts on intersections and roadway facilities, the City will continue to use the VTA's TIA Guidelines and LOS as a metric in the traffic impact analysis. The LOS analysis would provide the information needed to evaluate project impacts at the operation level. For locations where the project degrades the facilities to an unacceptable level of service, the LOS analysis would be used as a tool to determine the mitigations needed to bring the facilities back to an acceptable operation level.

Charge Ready: Requirements for EV Spaces and Charging Stations

The City Building Code requires *pre-wiring* for electric vehicle (EV) charging for new construction (residential and non-residential). Construction documents need to demonstrate the project's capability and capacity for facilitating future EV charging; there is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. The City offers an expedited permit process for most EV charging stations, in compliance with state codes. Developers will often delay the installation of charging stations until it is known what type of vehicles/charging facilities are desired by the tenant. The requirements are:

Townhouse with attached private garages: 1 per dwelling unit.

Multifamily dwellings (apartments & condominiums): 12.5% of the total parking spaces rounded up to the next whole number – This Sunnyvale requirement is a more restrictive requirement (above the state Green Code minimum), including in the Sunnyvale Municipal Code.

Nonresidential Occupancies: Per Table below:

Total number of Parking Spaces	Number of required EV enabled spaces
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

Existing Buildings: There is no requirement in the State Building code or Sunnyvale Zoning code to provide EV spaces for existing buildings. If provided voluntarily then the number and design should comply with 2016 California Green Code requirements.



City of Sunnyvale

Agenda Item

18-0066

Agenda Date: 2/27/2018

Board/Commission Meeting Minutes



City of Sunnyvale

Meeting Minutes - Final

Sustainability Commission

Monday, December 18, 2017

7:00 PM

West Conference Room, City Hall, 456 W.
Olive Ave., Sunnyvale, CA 94086

CALL TO ORDER

Chair Paton called the meeting to order at 7:00 p.m. in the West Conference Room.

SALUTE TO THE FLAG

Chair Paton led the salute to the flag.

ROLL CALL

- Present:** 4 - Chair Bruce Paton
Commissioner Dan Hafeman
Commissioner Stephen Joesten
Commissioner Steven Zornetzer
- Absent:** 3 - Vice Chair Amit Srivastava
Commissioner Adriana Imbre
Commissioner Kristel Wickham

Vice Chair Srivastava's, and Commissioners Imbre's and Wickham's absences are excused.

Council Liaison – Jim Griffith (present)

PRESENTATION

- [17-1177](#) PRESENTATION - Review and Provide Feedback on Civic Center - Draft LEED Checklist

Kent Steffens, City Manager, and consultants (SmithGroup JJR and Atelier Ten) presented information on how the proposed Civic Center Master Plan ranked according to the Leadership in Energy and Environmental Design (LEED) and Sustainable Sites (SITES) standards. The proposed Civic Center aims to achieve a LEED-Platinum rating and a SITES Gold rating, and incorporates input provided by City Boards and Commissions as well as by the community. The current City Hall and surrounding buildings will continue to operate while the new City Hall is

constructed. The Commission acknowledged that its feedback on the design had been incorporated well and that the proposed design was truly pushing towards an ambitious sustainability target.

ORAL COMMUNICATIONS

None.

CONSENT CALENDAR

[17-1174](#) Approve the Sustainability Commission Meeting Minutes of November 20, 2017

Commissioner Hafeman moved, and Commissioner Joesten seconded, a motion to approve the consent calendar. The motion carried by the following vote:

Yes: 4 - Chair Paton
Commissioner Hafeman
Commissioner Joesten
Commissioner Zornetzer

No: 0

Absent: 3 - Vice Chair Srivastava
Commissioner Imbre
Commissioner Wickham

PUBLIC HEARINGS/GENERAL BUSINESS

[17-1175](#) Review and Rank Study Issues

Nupur Hiremath, Sustainability Coordinator, reviewed the five Study Issues to be ranked by the Commission. The Commission discussed and asked clarifying questions about the Study Issue papers.

Chair Paton opened the Public Hearing.

Tim Oey, resident of Sunnyvale and Bicycle and Pedestrian Advisory Commissioner, expressed his support for Study Issues CDD 18-06, ESD 17-01, and ESD 18-01. He noted Study Issue DPW 18-09 was redundant in part with the El Camino Real (ECR) Corridor Plan, which proposes a more holistic approach for bicycle and pedestrian safety improvements along this street, although the ECR Corridor Plan does not entail lowering the speed limit.

Mary Brunkhorst, a representative of the Sunnyvale Urban Forest Advocates

(SUFA), expressed SUFA's support of Study Issue DPW 16-10, noting that priorities identified in the City's Urban Forest Management Plan (UFMP) had not been incorporated into the City's codes and policies. She also observed that tree removal fines were not typically used for supporting tree replacements.

Chair Paton closed the Public Hearing.

Commissioner Zornetzer moved, and Commissioner Joesten seconded, a motion that the Commission drop Study Issue DPW 18-09 because bicycle and pedestrian safety was already being considered as a part of the ECR Corridor Plan (as noted by Mr. Oey). In addition, they cited that the City had limited purview over revising the speed limit on ECR, for which the speed limits were set by CalTrans, and that the City was limited in its ability to truly change the speed limit, as it can only be revised within 5 miles per hour above or below the median speed identified through speed surveys.

Commissioner Hafeman did not support the motion because he strongly believed that bicycle and pedestrian safety is affected by how fast cars drive along a shared roadway.

The motion failed by the following vote:

Yes: 2 - Commissioner Joesten
Commissioner Zornetzer

No: 2 - Chair Paton
Commissioner Hafeman

Absent: 3 - Vice Chair Srivastava
Commissioner Imbre
Commissioner Wickham

Commissioner Joesten moved, and Commissioner Zornetzer seconded, a motion that the Commission drop Study Issue CDD 18-06 as stormwater management is already being addressed through the City's current building codes. The motion carried by the following vote:

Yes: 4 - Chair Paton
Commissioner Hafeman
Commissioner Joesten
Commissioner Zornetzer

No: 0

Absent: 3 - Vice Chair Srivastava
Commissioner Imbre
Commissioner Wickham

The Commission did not defer or drop any of the remaining Study Issues.

The Commission discussed the remaining Study Issues. Commissioner Joesten requested a staff update on the net number of trees replaced, which is tracked as a part of Climate Action Plan (CAP 1.0). Each Commissioner ranked the Study Issues individually.

Commissioner Zornetzer moved, and Commissioner Joesten seconded, a motion to accept the following final consolidated ranking:

Rank 1 – ESD 18-01: Encouraging Heat Pump Water and Space Heating

Rank 2 – ESD 17-01: Eliminate the Use of Chemical Pesticides on City Owned or Leased Property

Rank 3 – DPW 16-10: Consider Sunnyvale Municipal Code Amendments to Clarify, Strengthen and Enforce Tree Preservation and Tree Planting Requirements within Right of Way and Public and Private Property

Rank 4 – DPW 18-09: Lower Speed Limits on City Streets Including El Camino Real to 30 Miles Per Hour or Less

The motion carried by the following vote:

Yes: 4 - Chair Paton
Commissioner Hafeman
Commissioner Joesten
Commissioner Zornetzer

No: 0

Absent: 3 - Vice Chair Srivastava
Commissioner Imbre
Commissioner Wickham

17-1173

Approve the 2018 Annual Master Work Plan

The Commission reviewed and discussed the draft 2018 Annual Master Work Plan prepared by staff in consultation with Chair Paton. The draft reflected topics prioritized by the Commission during its November meeting.

Chair Paton encouraged Commissioners to do a deeper dive into specific topics by preparing Commissioner Presentations, which were intended to educate the rest of the Commission on that topic.

Commissioner Hafeman inquired when staff anticipated giving the Green Building Code Update presentation (listed in the Work Plan but unscheduled) to the Commission. Staff clarified that the presentation would likely be later in 2018 as the City had just hired the needed staff to support the Green Building Code update. Chair Paton and staff stated that in the meantime, staff would share information on webinars, online trainings, or other resources on green building codes and state policies so that the Commission can build its knowledge in this area. Chair Paton also suggested that former Commissioner, Petya Kisyova, might be amenable to presenting on this topic as a guest presenter.

Commissioner Hafeman requested a staff update on leaf blowers, given the recent data on the greenhouse gas impact of leaf blowers made available by the California Air Resources Board. Commissioner Joesten noted that the electric or battery-operated leaf blower technology has evolved significantly in the last few years and many communities had banned them. Melody Tovar, Interim Director of Environmental Services, clarified that the City had conducted a Study Issue considering a ban on leaf blowers, the conclusion of which had not led to a ban but rather to Council direction to staff to increase awareness of leaf blower emissions and a trade-in program for gas leaf blowers. Any recommendations for staff to revisit this topic due to availability of new technologies, she noted, would be through the Study Issue process.

The Commission made revisions and requested staff to reschedule some topics; staff will reschedule the topics after confirming availability of staff or external presenters.

Commissioner Hafeman moved, and Commissioner Zornetzer seconded, a motion to approve the draft 2018 Annual Master Work Plan as amended. The motion carried by the following vote:

Yes: 4 - Chair Paton
Commissioner Hafeman
Commissioner Joesten
Commissioner Zornetzer

No: 0

Absent: 3 - Vice Chair Srivastava
Commissioner Imbre
Commissioner Wickham

STANDING ITEM: CLIMATE ACTION PLAN (CAP 2.0) UPDATE

Nupur Hiremath read an update on the CAP 2.0 Advisory Committee (CAC) meeting provided by Commissioner Wickham via email. She announced the next two meetings of the CAC would be held on January 25 and February 1, 2018, respectively.

NON-AGENDA ITEMS & COMMENTS

-Commissioner Comments

Commissioner Joesten shared that he and Commissioner Wickham attended a Zero Net Energy workshop, at which he learned that PG&E transformers were not designed to support moving the high electricity load generated from local rooftop solar back to the grid; the recommendation from the workshop, therefore, was to reduce energy use by improving the building envelope and to develop energy storage systems. He also observed that Beijing, China, had effectively promoted widespread adoption of community bicycles to reduce congestion and emissions.

Commissioner Hafeman shared an update from his participation in the ECR Corridor Plan meeting. The ECR Plan names four major nodes at which parcels are larger to promote mixed use developments. He noted that the City is making significant effort to preserve the auto dealerships along ECR as these are a source of revenue.

Chair Paton shared that he and Commissioner Wickham had attended a No Drop Left Behind conference on water conservation organized by Sustainable Silicon Valley.

-Staff Comments

Ms. Hiremath announced that a CAP 2.0 Ideas Workshop would be held on Saturday, March 3, 2018 at the Senior Center. Staff is working with the consultant to plan the details of the workshop, which is intended to be a large

community-oriented event to engage residents and business in brainstorming ideas for CAP 2.0. She also provided a reminder that the first Sustainability Speaker Series event, a talk by Chad Frischmann of Project Drawdown, would be held on January 31, 2018 in Council Chambers. Ms. Hiremath also shared that Kent Steffens had been selected by City Council as the City Manager, pending salary negotiation and a background check.

Ms. Tovar shared that she had attended an Urban Sustainability Director's Network (USDN) meeting in San Diego in October and had learned many new sustainability ideas from communities outside California that were similar to Sunnyvale and also some useful tips on marketing sustainability. She also noted that the Wolfe Road recycled water pipeline would become operational in December and that the eventual vision is to send recycled water to the percolation ponds in Los Gatos to support indirect potable reuse.

ADJOURNMENT

The meeting was adjourned at 10:00 p.m.



City of Sunnyvale

Meeting Minutes - Draft

Board of Library Trustees

Wednesday, January 17, 2018

6:45 PM

Library Program Room, Sunnyvale Public
Library, 665 W. Olive Ave., Sunnyvale, CA
94086

Special Meeting

CALL TO ORDER

The meeting was called to order at 6:45 p.m.

ROLL CALL

Present: 3 - Vice Chair Daniel Bremond
Board Member Mason Fong
Board Member Mark Isaak
Absent: 2 - Chair Carey Wingyin Lai
Board Member Tina Hwang

Chair Lai (excused)
Board Member Hwang (excused)
Council Liaison Klein (absent)

ORAL COMMUNICATIONS

None.

CONSENT CALENDAR

- 1 [17-1143](#) Approve the Board of Library Trustees Meeting Minutes of
November 6, 2017

Board Member Isaak moved, and Board Member Fong seconded, approval of the consent calendar as presented. The motion carried by the following vote:

Yes: 3 - Vice Chair Bremond
Board Member Fong
Board Member Isaak

No: 0

Absent: 2 - Chair Lai
Board Member Hwang

PUBLIC HEARINGS/GENERAL BUSINESS

2 [17-1145](#) Approve Amended 2018 Master Work Plan

Director Bojorquez provided the Board with an overview of the amended work plan calendar.

Board Member Isaak moved, and Board Member Fong seconded, approval of amended 2018 master work plan.

Vice Chair Bremond requested staff schedule Special Board Meetings for the months of June and November due to election days.

The motion carried by the following vote:

Yes: 3 - Vice Chair Bremond
Board Member Fong
Board Member Isaak

No: 0

Absent: 2 - Chair Lai
Board Member Hwang

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

None.

NON-AGENDA ITEMS & COMMENTS

-Board Member Comments

Vice Chair Bremond mentioned that Santa Clara Valley Transportation Authority bus route 54 continues to offer a stop at the corner of Olive Avenue and All America Way.

-Staff Comments

None.

INFORMATION ONLY ITEMS

None.

ADJOURNMENT

The meeting was adjourned at 6:51 p.m.



City of Sunnyvale

Meeting Minutes - Final

Board of Library Trustees

Wednesday, January 17, 2018

7:00 PM

Library Program Room, Sunnyvale Public
Library, 665 W. Olive Ave., Sunnyvale, CA
94086

Joint Meeting with the Parks and Recreation Commission

CALL TO ORDER

Chair Kenton of the Parks and Recreation Commission called the meeting to order at 7:00 p.m.

ROLL CALL

Present: 3 - Vice Chair Daniel Bremond
Board Member Mason Fong
Board Member Mark Isaak

Absent: 2 - Chair Carey Wingyin Lai
Board Member Tina Hwang

Parks and Recreation Commission:

Present: 5 - Chair Ralph Kenton
Vice Chair Henry Alexander III
Commissioner Irene Gabashvili
Commissioner Craig Pasqua
Commissioner Daniel McCune

Council Liaison Larsson (present)

Council Liaison Klein (present)

ORAL COMMUNICATIONS

None.

PUBLIC HEARINGS/GENERAL BUSINESS

- 1 [17-0992](#) Authorize the City Manager to Negotiate a Formal Memorandum of Understanding with the Sunnyvale School District for a Joint Use Lakewood Branch Library and Learning Center on the Lakewood Elementary School Site

Director Bojorquez announced that Fremont Unified High School District (FUHSD) notified City staff of their potential interest in becoming a third partner in the Lakewood Branch Library Project and introduced Graham Clark from FUHSD who reiterated the District's interest. Director Bojorquez provided a presentation on the Branch Library and Learning Center Project and Feasibility Study Findings. Director Bojorquez stated that the purpose of the feasibility study was to identify the terms and conditions of a potential partnership with Sunnyvale School District (SSD) including contributions of the parties, space and program needs, governance issues, the identification of site options and preliminary cost estimates. A total of four sites were identified. Director Bojorquez provided an overview of the two site options that were identified as mutually-acceptable, viable site options.

Board Members and Commissioners asked:

- 1) Would filtering of content be implemented due to partnership with school(s)?
- 2) Which hiring process would be used and would personnel be City staff or School staff?
- 3) How much open space will be lost with the site options identified?
- 4) Will the project include research in creating a green building?
- 5) What guarantee does the City have that SSD and FUHSD will provide the programs and/or services needed for the community?
- 6) Does the City have plans for where to relocate the softball/baseball field?
- 7) How will the operating cost be handled?

Director Bojorquez noted:

- 1) The policies and procedures currently utilized at the Main Library would be practiced at the Branch with respect to filtering of content.
- 2) The Branch Library is a City project; therefore, personnel would be City staff and hiring procedures would be administered by the City.
- 3) It is estimated that approximately 39,000 square feet of open space on School-District property would be impacted. However, this would be less impact than if the project were built on the original City-owned property in Lakewood Park and could be mitigated through the Lakewood Park Renovation Enhancement Project.
- 4) Director Bojorquez clarified that the feasibility study was focused on the viability

of a partnership and that design issues such as green building elements would be addressed later in the design process of the project. Director Bojorquez also state that the City is committed to green building sustainability and assured the Commissioners that the issues of green buildings would be addressed.

5) Director Bojorquez indicated that the MOU will outline the type of services to be provided in the facility and that by using the Columbia Neighborhood Center governance model there will be ongoing opportunities to make adjustments to ensure programs are responsive to community need.

6) As part of the Lakewood Park Renovation Enhancement Project, staff could study and identify potential sites for the softball/baseball field.

7) The MOU will include both a funding strategy to support the construction of a preferred site option as well as a budget that will address on-going operation and maintenance costs.

Director Bojorquez provided an overview of the project outline and next steps. Council will consider this item at their March 6, 2018 meeting.

Chair Kenton expressed concern of Park Dedication Fund monies being used for the Branch Library Project. Director Bojorquez indicated that any use of Park Dedication Fund (PDF) monies would be in alignment with PDF policies and only expended for eligible uses such as landscaping.

Chair Kenton opened the public hearing, and there being no public testimonies, closed the public hearing.

Board Member Fong moved, and Vice Chair Bremond seconded, to amend Alternative 1 to include a formal agreement with Fremont Unified High School District in addition to Sunnyvale School District. The motion carried by the following vote:

Yes: 3 - Vice Chair Bremond
Board Member Fong
Board Member Isaak

No: 0

Absent: 2 - Chair Lai
Board Member Hwang

Board Member Isaak moved, and Board Member Fong seconded, to recommend to Council Alternative 1: Authorize the City Manager to negotiate a formal Memorandum of Understanding with the Sunnyvale School District and Fremont Unified High School District for a Joint Use Branch Library and Learning Center project. The motion carried by the following vote:

Yes: 3 - Vice Chair Bremond
Board Member Fong
Board Member Isaak

No: 0

Absent: 2 - Chair Lai
Board Member Hwang

Commissioner McCune moved, and Vice Chair Alexander III seconded, to amend Alternative 1 to include a formal agreement with Fremont Unified High School District in addition to Sunnyvale School District. The motion carried by the following vote:

Yes: 4 - Chair Kenton
Vice Chair Alexander III
Commissioner Gabashvili
Commissioner McCune

No: 1 - Commissioner Pasqua

Commissioner Pasqua spoke towards his vote. He expressed concern that FUHSD did not have a track record in serving the needs of low income residents in North Sunnyvale.

Commissioner Gabashvili moved, and Commissioner McCune seconded, to recommend to Council Alternative 1: Authorize the City Manager to negotiate a formal Memorandum of Understanding with the Sunnyvale School District and Fremont Unified High School District for a Joint Use Branch Library and Learning Center project. The motion carried by the following vote:

Yes: 3 - Chair Kenton
Commissioner Gabashvili
Commissioner McCune

No: 2 - Vice Chair Alexander III
Commissioner Pasqua

Commissioner Pasqua reiterated his concern about FUHSD's ability to serve residents of North Sunnyvale.

Vice Chair Alexander spoke towards his vote. He expressed concern regarding park space and lack of consideration towards a green building.

STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

None.

NON-AGENDA ITEMS & COMMENTS

-Board Member Comments

None.

-Staff Comments

None.

INFORMATION ONLY ITEMS

None.

ADJOURNMENT

The meeting was adjourned at 8:21 p.m.