



# City of Sunnyvale

## Notice and Agenda - Final Planning Commission

---

Monday, July 23, 2018

6:00 PM

Council Chambers and West Conference  
Room, City Hall, 456 W. Olive Ave.,  
Sunnyvale, CA 94086

---

**Special Meeting - Study Session - 6:00 PM | Special Meeting - Public Hearing 7 PM**

### **6 P.M. STUDY SESSION**

**Call to Order in the West Conference Room**

**Roll Call**

**Study Session**

**A.     [18-0664](#)**

**Proposed Project:**

**SPECIAL DEVELOPMENT PERMIT:** to develop five new single family homes on a 0.80-acre lot.

**TENTATIVE MAP:** to subdivide a 0.80-acre lot into five lots.

**Location:** 18771 E Homestead Road (APN: 313-41-070)

**File #:** 2017-7816

**Zoning:** R-0/PD

**Applicant / Owner:** Dutchints Development LLC/18771 Homestead Road LLC

**Project Planner:** Momoko Ishijima, (408) 730-7532,  
mishijima@sunnyvale.ca.gov

**B.     [18-0649](#)**

**Project Description:** Consideration of Usable Open Space in Required Front Yards (Study Issue)

**Locations:** Citywide

**File #:** 2018-7191

**Project Planner:** Kelly Cha, (408) 730-7408, kcha@sunnyvale.ca.gov

**Public Comment on Study Session Agenda Items**

**Adjourn Study Session**

**7 P.M. PLANNING COMMISSION MEETING****CALL TO ORDER**

*Call to Order in the Council Chambers*

**SALUTE TO THE FLAG****ROLL CALL****ORAL COMMUNICATIONS**

*This category provides an opportunity for members of the public to address the commission on items not listed on the agenda and is limited to 15 minutes (may be extended or continued after the public hearings/general business section of the agenda at the discretion of the Chair) with a maximum of up to three minutes per speaker. Please note the Brown Act (Open Meeting Law) does not allow commissioners to take action on an item not listed on the agenda. If you wish to address the commission, please complete a speaker card and give it to the Recording Secretary. Individuals are limited to one appearance during this section.*

**CONSENT CALENDAR**

- 1.A    [18-0666](#)    Approve Planning Commission Meeting Minutes of July 9, 2018

**Recommendation:** Approve Planning Commission Meeting Minutes of July 9, 2018 as submitted.

**PUBLIC HEARINGS/GENERAL BUSINESS**

2.    [18-0602](#)    **Proposed Project:**    **DESIGN REVIEW** to allow a new two-story, single-family home resulting in 5,480 square feet (3,957 square feet living area, 825 square feet garage, and a 698 square feet attached ADU) and (59%) floor area ratio. The FAR without the ADU is 51%. Existing home to be demolished.  
**Location:** 1441 Norman Drive (APN: 313-14-041)  
**File #:** 2018-7190  
**Zoning:** R-1 (Low Density Residential)  
**Applicant / Owner:** Team2 Architecture + Design, Shilpa Pathare (applicant) / Nirmal Sharma Trustee & et al (owner)  
**Environmental Review:** A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act (CEQA) provisions. Class 3(a) Categorical Exemptions includes construction of one-single

family residence in a residential zone.

**Project Planner:** Teresa Zarrin, (408) 730-7429,  
tzarrin@sunnyvale.ca.gov

**Recommendation:** Recommend Alternative 1 to approve the Design Review based on the Findings in Attachment 6 and the recommended Conditions of Approval in Attachment 7.

3. [18-0623](#)

**Proposed Project:** DESIGN REVIEW to allow a 498-square foot second-story addition to an existing 2,465-square foot two-story single-family home resulting in 2,963 square feet (2,603 square feet living area plus 360-square foot garage) and 58.6% FAR. Project includes removing a shed in the rear yard and in the side yard to meet the 40% lot coverage requirement.

**Location:** 863 San Pablo Ave. (APN: 205-04-040)

**File #:** 2017-7797

**Zoning:** R0

**Applicant / Owner:** Megan Miner Design (applicant) / Gursharanjit (Jit) Jagait

**Environmental Review:** A Class 1 (e) (1) Categorical Exemption relieves this project from the California Environmental Quality Act provisions. Class 1 (e) (1) Categorical Exemptions, Section 15301(e) include additions to existing structures resulting in no more than a 50% increase in floor area.

**Project Planner:** Teresa Zarrin, (408) 730-7429,  
tzarrin@sunnyvale.ca.gov

**Recommendation:** Recommend Alternative 1 in accordance with the Recommended Findings in Attachment 3 and Conditions of Approval in Attachment 4.

4. [18-0645](#)

**Proposed Project:**

**DESIGN REVIEW** to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence resulting in 3,849.3 square feet of floor area (3,443.5 square feet living area and 405.8 square feet garage) and 42.8% floor area ratio (FAR). The project also proposes to remove the existing pool and construct a 647-square foot basement and a 512-square foot attached Accessory Dwelling Unit on the first floor.

**Location:** 982 Yorktown Drive (APN: 202-24-002)

**File #:** 2018-7197

**Zoning:** R-1 (Low Density Residential)

**Applicant / Owner:** LELDesign / Spencer Shiou Pen Tsai and Chih Lan Kung Trustee

**Environmental Review:** Class 3 Categorical Exemption relieves this

project from the California Environmental Quality Act (CEQA) provisions that include construction of one-single family residence in a residential zoning district (CEQA Section 15303).

**Project Planner:** Momoko Ishijima, (408) 730-7532,  
mishijima@sunnyvale.ca.gov

**Recommendation:** Recommend Alternative 1 in accordance with the Findings in Attachment 3 and Conditions of Approval in Attachment 4.

5. [18-0488](#)

**Proposed Project:** Rezone - Change the zoning from R-1 (Low Density Residential) to R-0 (Low Density Residential) for two lots.

**File #:** 2018-7309

**Location:** 932 Eleanor Way and 1358 Hampton Drive (APNs: 313-01-033, 313-01-034)

**Zoning:** R-1

**Applicant / Owner:** Cyrus Fakhari (applicant and owner)

**Environmental Review:** The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3).

**Project Planner:** Shétal Divatia, (408) 730-7637,  
sdivatia@sunnyvale.ca.gov

**Recommendation:** Recommend to City Council, Alternative 2: Determine the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3) and Deny the Rezone for the two parcels from R-1 (Low Density Residential) to R-0 (Low Density Residential).

## **STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES**

### **NON-AGENDA ITEMS AND COMMENTS**

-Commissioner Comments

-Staff Comments

### **ADJOURNMENT**

*Notice to the Public:*

*Any agenda related writings or documents distributed to members of the Planning Commission regarding any open session item on this agenda will be made available for public inspection in the Planning Division office located at 456 W. Olive Ave., Sunnyvale CA 94086 during normal business hours, and in the Council*

*Chambers on the evening of the Planning Commission meeting pursuant to Government Code §54957.5.*

*Agenda information is available by contacting Katherine Hall at (408) 730-7440. Agendas and associated reports are also available at [sunnyvaleca.legistar.com](http://sunnyvaleca.legistar.com) or at the Sunnyvale Public Library, 665 W. Olive Ave., 72 hours before the meeting.*

*Planning a presentation for a Planning Commission meeting?*

*To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" document available on the City website.*

*PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the City at or before the public hearing.*

*PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.*

*Pursuant to the Americans with Disabilities Act, if you need special assistance in this meeting, please contact the Planning Division at (408) 730-7440. Notification of 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.160 (b) (1))*



# City of Sunnyvale

## Agenda Item A.

---

**18-0664**

**Agenda Date: 7/23/2018**

---

**SUBJECT**

**Proposed Project:**

**SPECIAL DEVELOPMENT PERMIT** : to develop five new single family homes on a 0.80-acre lot.

**TENTATIVE MAP** : to subdivide a 0.80-acre lot into five lots.

**Location:** 18771 E Homestead Road (APN: 313-41-070)

**File #:** 2017-7816

**Zoning:** R-0/PD

**Applicant / Owner:** Dutchints Development LLC/18771 Homestead Road LLC

**Project Planner:** Momoko Ishijima, (408) 730-7532, [mishijima@sunnyvale.ca.gov](mailto:mishijima@sunnyvale.ca.gov)



# City of Sunnyvale

## Agenda Item B.

---

**18-0649**

**Agenda Date:** 7/23/2018

---

**SUBJECT**

**Project Description:** Consideration of Usable Open Space in Required Front Yards (Study Issue)

**Locations:** Citywide

**File #:** 2018-7191

**Project Planner:** Kelly Cha, (408) 730-7408, [kcha@sunnyvale.ca.gov](mailto:kcha@sunnyvale.ca.gov)



# City of Sunnyvale

## Agenda Item 1.A

---

**18-0666**

**Agenda Date:** 7/23/2018

---

**SUBJECT**

Approve Planning Commission Meeting Minutes of July 9, 2018

**RECOMMENDATION**

Approve Planning Commission Meeting Minutes of July 9, 2018 as submitted.



# City of Sunnyvale

## Meeting Minutes - Draft Planning Commission

---

Monday, July 9, 2018

6:00 PM

Council Chambers and West Conference  
Room, City Hall, 456 W. Olive Ave.,  
Sunnyvale, CA 94086

---

**Special Meeting: Closed Session - 6 PM | Study Session - 6:30 PM | Special Meeting -  
Public Hearing 7 PM**

### **6 P.M. SPECIAL PLANNING COMMISSION MEETING (Closed Session)**

**Call to Order in the West Conference Room**

**Roll Call**

**Public Comment**

*The public may provide comments regarding the Closed Session item just prior to the Commission beginning the Closed Session. Closed Sessions are not open to the public.*

**Convene to Closed Session**

[18-0499](#)

CLOSED SESSION PURSUANT TO GOV. CODE SECTION 54957(a):  
Meeting with officers of the Department of Public Safety to discuss  
matters related to threats to the security of public buildings and facilities.

**Adjourn Closed Session**

### **6:30 P.M. STUDY SESSION**

**Call to Order in the West Conference Room**

**Roll Call**

**Study Session**

**A. [18-0621](#)**

**Proposed Project:**

**PEERY PARK PLAN REVIEW PERMIT:** to redevelop existing  
industrial site with 18 duets and 47 townhomes for a total of 65  
residential units.

**Location:** 370 San Aleso Avenue (APN: 204-01-005)

**File #:** 2018-7315

**Zoning:** PPSP/NT

**Applicant / Owner:** Toll Brothers Inc./ Eos At San Aleso LLC

**Project Planner:** Gerri Caruso, (408) 730-7591,  
gcaruso@sunnyvale.ca.gov

## **Public Comment on Study Session Agenda Items**

### **Adjourn Study Session**

## **7 P.M. PLANNING COMMISSION MEETING**

### **CALL TO ORDER**

Chair Rheume called the meeting to order at 7:05 PM in the Council Chambers.

### **SALUTE TO THE FLAG**

Chair Rheume led the salute to the flag.

### **ROLL CALL**

**Present:** 5 - Commissioner Daniel Howard  
Commissioner John Howe  
Commissioner Ken Olevson  
Commissioner David Simons  
Chair Ken Rheume

**Absent:** 2 - Vice Chair Carol Weiss  
Commissioner Sue Harrison

Status of absence; Vice Chair Weiss's absence is excused.

Status of absence; Commissioner Harrison's absence is excused.

### **ORAL COMMUNICATIONS**

### **CONSENT CALENDAR**

Commissioner Howard moved and Commissioner Olevson seconded the motion to approve the Consent Calendar.

The motion carried by the following vote:

**Yes:** 4 - Commissioner Howard  
Commissioner Olevson  
Commissioner Simons  
Chair Rheaume

**No:** 0

**Absent:** 2 - Vice Chair Weiss  
Commissioner Harrison

**Abstained:** 1 - Commissioner Howe

**1. A**     [18-0622](#)     Approve Planning Commission Meeting Minutes of June 25, 2018

**PUBLIC HEARINGS/GENERAL BUSINESS**

**2.**        [18-0559](#)        **Proposed Project:**    Related applications on a .34-acre site:  
                                 **SPECIAL DEVELOPMENT PERMIT** and **VESTING**  
                                 **TENTATIVE MAP** to allow a three-story six-unit townhouse  
                                 development.  
**Location:** **669 & 673 Old San Francisco Rd.** (APNs 209-17-050 &  
209-17-051)  
**File #:** 2018-7048  
**Zoning:** R-3/PD  
**Applicant / Owner:** Innovative Concepts / George Nejat  
**Environmental Review:** Mitigated Negative Declaration  
**Project Planner:** Ryan Kuchenig, (408) 730-7431,  
rkuchenig@sunnyvale.ca.gov

Assistant Director Andrew Miner advised that the applicant has requested a continuance to the Planning Commission meeting on August 13, 2018 to make site plan corrections and respond to public comments.

Chair Rheaume opened the Public Hearing.

Maria Hamilton, Sunnyvale resident, stated her opposition to the proposed project and discussed her concerns with the proposed project's impact on quality of life, neighborhood compatibility and parking.

Cecelia Morrison discussed her concerns with the height, density, parking, drainage and visibility impacts of the proposed project.

Chair Rheaume closed the Public Hearing.

MOTION: Commissioner Howe moved and Commissioner Howard seconded the motion to continue this item to the Planning Commission meeting on August 13, 2018.

The motion carried by the following vote:

**Yes: 5 -** Commissioner Howard  
Commissioner Howe  
Commissioner Olevson  
Commissioner Simons  
Chair Rheume

**No: 0**

**Absent: 2 -** Vice Chair Weiss  
Commissioner Harrison

3. [18-0532](#)

**Proposed Project:**

**DESIGN REVIEW:** To allow a one-story addition of 308-s.f. and a two-story addition of 898-s.f. to an existing one-story single-family home, resulting in 3,435 square feet (2,592 square feet of living space and an 843-square foot 3-car garage) and 49% floor area ratio (FAR).

**Location:** 348 Morse Avenue (APN: 204-40-028)

**File #:** 2018-7431

**Zoning:** R-2

**Applicant / Owner:** KDG (applicant) / Ravi K Purushotma and Olwen T Reina (owner)

**Environmental Review:** A Class 1 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions that include minor additions to an existing single-family residence (CEQA Section 15301).

**Project Planner:** Kelly Cha, (408) 730-7408, kcha@sunnyvale.ca.gov

Associate Planner Kelly Cha presented the staff report.

Chair Rheume opened the Public Hearing.

Kaneshka Salehi, representing Kaneshka Design Group, presented information about the proposed project.

Commissioner Simons confirmed with Mr. Salehi that they are amenable to extending the roof ridge.

Commissioner Olevson clarified with Mr. Salehi that the first-floor bedroom has a closet.

Mr. Salehi presented additional information about the proposed project.

Chair Rheaume closed the Public Hearing.

Chair Rheaume discussed the turnaround space for the garage with Associate Planner Cha.

Commissioner Simons confirmed with Associate Planner Cha that staff is agreeable to modifying the Conditions of Approval (COA) to extend the roof ridge.

MOTION: Commissioner Howe moved and Commissioner Simons seconded the motion for Alternative 2 – Approve the Design Review with modified conditions – extend the single-story roof ridge to the second story wall.

Commissioner Howe stated an opinion that the proposed project will fit reasonably well with the neighborhood and should be approved.

Commissioner Olevson stated that he will be supporting the motion. Commissioner Olevson noted his agreement with Commissioner Simons regarding the roof modification, to avoid potential structural issues and maintain continuous roof ridgelines in the neighborhood. Commissioner Olevson stated an opinion that this will be an attractive home and noted his appreciation for the front curtains.

The motion carried by the following vote:

**Yes:** 5 - Commissioner Howard  
Commissioner Howe  
Commissioner Olevson  
Commissioner Simons  
Chair Rheaume

**No:** 0

**Absent:** 2 - Vice Chair Weiss  
Commissioner Harrison

Assistant Director Miner stated that this decision is final unless appealed to the City

Council within 15 days or called up by the City Council within 15 days.

4. [18-0612](#)      **Proposed Project:**      Related applications on a 6,186-square foot residential lot:
- DESIGN REVIEW:** To allow demolition of an existing one-story single family residence and construction of a new two-story single-family home resulting in 3,223 square feet (2,790 square feet living area and 433 square feet garage) and 52% Floor Area Ratio (FAR).
- Location:** 1159 Norththumberland Drive (198-38-040)
- File #:** 2018-7065
- Zoning:** R-0
- Applicant / Owner:** Nilsene Builder Inc (applicant) / Jamie Young (property owner)
- Environmental Review:** Categorically exempt from CEQA pursuant to Section Class 3, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA).
- Project Planner:** Cindy Hom, (408) 730-7411, [chom@sunnyvale.ca.gov](mailto:chom@sunnyvale.ca.gov)

Associate Planner Cindy Hom presented the staff report.

Chair Rheume asked staff about mitigating privacy concerns related to the proposed back bedroom window. Associate Planner Hom provided information about the distance to the property line, the distance to the adjacent home and the rear setback. Assistant Director Miner stated that there are no specific design criteria for windows in relation to adjacent properties and that the proposed project exceeds the second story setback requirement.

Chair Rheume opened the Public Hearing.

Chunyang Xia, the applicant's husband, presented information about the proposed project.

Azadeh Masrour, representing AMS Design LLP, presented information about the proposed project.

Commissioner Simons confirmed with Mr. Xia that they would consider using a faster growing tree for screening.

Commissioner Simons confirmed with Ms. Masrour that the front door will be customized.

Chair Rheume confirmed with Ms. Masrour that the windows will be built with external dark brown grids as shown in the site plan.

Robert Pushor, Sunnyvale resident, discussed his concerns with the size of the back bedroom window and the privacy impacts on his backyard.

Commissioner Howe discussed the implementation of trees for screening with Mr. Pushor. Mr. Pushor asked for the window to be moved to the side elevation. Commissioner Howard confirmed with Mr. Pushor that a high sill window would be an improvement.

John Daly, Sunnyvale resident, discussed his concerns with the location of the back bedroom window and privacy impacts.

Ms. Masrour and Mr. Xia presented additional information about the proposed project.

Commissioner Simons confirmed with Ms. Masrour and Mr. Xia that slightly obscured glass could be used to protect the neighbor's privacy and retain light for the back bedroom.

Chair Rheume discussed the possibility of a side window facing Bernardo Avenue with Ms. Masrour. Chair Rheume confirmed with Mr. Xia that they would be amenable to a high sill window.

Chair Rheume closed the Public Hearing.

Commissioner Howe asked staff if the fire code requirements for egress can be met without the back window. Assistant Director Miner stated that the Building code outlines the requirements for egress windows. Assistant Director Miner and Associate Planner Hom provided wall and window dimensions.

Commissioner Simons asked staff if obscured glass could address the privacy concerns. Assistant Director Miner stated that the Planning Commission can direct staff to work with the applicant and Building staff to use obscured glass while maintaining egress requirements.

Commissioner Howard asked staff about privacy standards for backyards. Assistant

Director Miner stated that there is nothing to regulate window proximity to an adjacent home and commented that the goal is to not create an undue hardship for an adjoining property. Commissioner Howard confirmed with Assistant Director Miner that if the proposed project did not exceed the 45% Floor Area Ratio (FAR) limitation then this window would have been reviewed at staff level.

Commissioner Olevson asked staff about the use of vegetation as screening to mitigate privacy concerns. Assistant Director Miner stated that landscaping can be used as a tool to alleviate privacy concerns and noted that landscaping additions were made to past projects for this reason.

MOTION: Commissioner Howe moved and Commissioner Howard seconded the motion for Alternative 2 – Approve the Design Review with modified conditions – staff will consult with the City arborist and the homeowner to determine appropriate landscaping, with City staff to have the final authority.

Commissioner Howe commented that proposed project meets the setback requirements and that it is only before the Planning Commission because it exceeds the FAR. Commissioner Howe stated that staff can determine the appropriate number and type of trees prior to issuance of the building permit and that City staff will have the final authority.

Commissioner Howard complimented Commissioner Howe's comments. Commissioner Howard stated that the proposed project has generous setbacks which meet the requirements. Commissioner Howard noted that the window would have been reviewed at staff level if it did not exceed the FAR and stated an opinion that the staff recommendation will provide a balance for the neighbors.

Commissioner Olevson stated that he will be supporting the motion. Commissioner Olevson stated that the proposed project meets the City's zoning and setback requirements and will use vegetation to mitigate privacy concerns.

FRIENDLY AMENDMENT: Commissioner Simons offered a friendly amendment to specify that the divided windows will have external grids as depicted in the site plan. Commissioner Howe and Commissioner Howard accepted the friendly amendment.

Commissioner Simons stated that he will be supporting the motion. Commissioner Simons commented that staff will work with the applicant to ensure that the landscaping mitigates the privacy issues.

Chair Rheume stated that he will be supporting the motion and noted the sufficient setbacks for the proposed project. Chair Rheume commented that the applicant has followed City policy. Chair Rheume thanked the applicant for investing in the City and stated that the project has a quality design. Chair Rheume noted his agreement with the use of vegetation to mitigate privacy issues.

The motion carried by the following vote:

**Yes: 5 -** Commissioner Howard  
Commissioner Howe  
Commissioner Olevson  
Commissioner Simons  
Chair Rheume

**No: 0**

**Absent: 2 -** Vice Chair Weiss  
Commissioner Harrison

Assistant Director Miner stated that this decision is final unless appealed to the City Council within 15 days or called up by the City Council within 15 days.

5.      [18-0557](#)      **Proposed Project:** General Plan Amendment Initiation to consider amending the Lawrence Station Area Plan (LSAP) to expand the boundary of the plan area to include 932 and 950 Kifer Road (APNs 205-49-005 and 205-49-012).  
**File #:** 2018-7447  
**Locations:** 932 Kifer Road (APN 205-49-005); 950 Kifer Road (APN 205-49-012); 945 Kifer Road (APN 205-40-002); and 955 Kifer Road (APN 205-40-001).  
**Applicant/Owner:** Intuitive Surgical, Inc.  
**Environmental Review:** The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15378 (a).  
**Project Planner:** George Schroeder, (408) 730-7443, gschroeder@sunnyvale.ca.gov

Senior Planner George Schroeder presented the staff report.

Commissioner Simons confirmed with Assistant Director Andrew Miner that the proposed project, if approved, would be integrated in the Lawrence Station Area Plan (LSAP). Assistant Director Miner provided information about the parcels owned

by Intuitive Surgical and the potential LSAP expansion. Commissioner Simons confirmed with Assistant Director Miner that the Planning Commission can add the same recommendation as for the LSAP Preferred Housing Study to integrate the proposed project with the City's Bicycle and Pedestrian Master Plan.

Chair Rheume confirmed with Senior Planner Schroeder that the park owned by Intuitive Surgical is currently zoned Industrial and Service (MS). Assistant Director Miner provided a history of the park. Chair Rheume asked staff about preservation of the park. Assistant Director Miner stated that property specific policies can be built into the LSAP that incorporate the applicant's and the City's goals.

Commissioner Howard confirmed with Assistant Director Miner that Intuitive Surgical is headquartered in the City and is leasing space elsewhere.

Chair Rheume opened the Public Hearing.

Eric Morley, representing The Morley Brothers and Intuitive Surgical, presented images and information about the proposed project.

Mr. Morley presented additional information about the proposed project.

Commissioner Simons asked staff about preservation of the tree canopy in the park owned by Intuitive Surgical. Assistant Director Miner advised that the Planning Commission can provide direction to staff on options to consider in the amendment.

Chair Rheume closed the Public Hearing.

MOTION: Commissioner Howe moved and Commissioner Simons seconded the motion for Alternative 1 – Recommend to the City Council to initiate the General Plan Amendment to add the properties at 932, 950, 945-955 Kifer Road in the Lawrence Station Area plan boundaries and direct staff to include these amendments in the LSAP residential study currently underway.

FRIENDLY AMENDMENT: Commissioner Simons offered a friendly amendment that the proposed project be integrated into the City's Bicycle and Pedestrian Master Plan. Commissioner Howe accepted.

FRIENDLY AMENDMENT: Commissioner Simons offered a friendly amendment to request that the LSAP study analyze methods to maximize the existing tree canopy

within the 945-955 Kifer Road site.

Commissioner Howe asked to preserve all trees in the LSAP, as feasible, and analyze the use of the open space. Commissioner Simons requested an emphasis on the tree canopy. Chair Rheume clarified with Assistant Director Miner that the park is not currently available for public use but that open space should be maintained when the property redevelops.

**MODIFIED FRIENDLY AMENDMENT:** Commissioner Simons offered a friendly amendment to request that the LSAP study analyze methods to maximize the existing tree canopy, preserve the existing trees and maintain the open space within the 945-955 Kifer Road site. Commissioner Howe accepted the friendly amendment.

Commissioner Howe commented that it makes sense to integrate the residential and this non-residential area within the LSAP. Commissioner Howe commented on the subject site's proximity to the Caltrain station and complimented Senior Planner Schroeder for his presentation.

Commissioner Simons noted that certain sub-elements of area plans tend to get neglected over the long term and that his modifications were to ensure connectivity and pedestrian throughput for the LSAP. Commissioner Simons commented on the need for long term variation in the City's development in regards to trees, landscaping, variation in heights and open space surrounding buildings.

Commissioner Howard stated that he will be supporting the motion and that this is an intuitive amendment.

Commissioner Olevson stated that he will be supporting the motion and that the City will benefit from supporting a premier company headquartered in the City. Commissioner Olevson noted that Intuitive Surgical has a manufacturing operation and is looking to expand in the City. Commissioner Olevson commented that this study will provide the data required to make a final decision.

Chair Rheume stated that he will be supporting the motion. Chair Rheume thanked the applicant for providing a history of Intuitive Surgical. Chair Rheume stated that the City should support a growing company headquartered in the City. Chair Rheume noted his agreement with the need for variations in tree height and the important of retaining open space, especially as an anchor for the LSAP.

The motion carried by the following vote:

**Yes:** 5 - Commissioner Howard  
Commissioner Howe  
Commissioner Olevson  
Commissioner Simons  
Chair Rheaume

**No:** 0

**Absent:** 2 - Vice Chair Weiss  
Commissioner Harrison

Assistant Director Miner stated that this item goes to the City Council on August 14th, 2018.

**6.      [18-0618](#)      Selection of Chair**

Commissioner Howard was selected as the new Chair for the Planning Commission.

**7.      [18-0619](#)      Selection of Vice Chair**

Commissioner Simons was selected as the new Vice Chair for the Planning Commission.

**8.      [18-0620](#)      Selection of Seats**

Seats were selected by the Planning Commissioners in order of seniority.

**STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES**

Commissioner Simons asked staff about a study issue to analyze cost effective upgrades related to Americans with Disabilities Act (ADA) requirements to help the City build housing for the long term. Assistant Director Miner stated that staff will complete a write up for review and noted that this study issue would be not ranked by the Planning Commission.

**NON-AGENDA ITEMS AND COMMENTS**

**-Commissioner Comments**

**-Staff Comments**

Assistant Director Miner provided information about the approval of the LSAP Preferred Housing Study by the City Council on June 26, 2018.

**ADJOURNMENT**

Chair Rheaume adjourned the meeting at 8:44 PM.



# City of Sunnyvale

## Agenda Item 2

18-0602

Agenda Date: 7/23/2018

### REPORT TO PLANNING COMMISSION

#### SUBJECT

**Proposed Project: DESIGN REVIEW** to allow a new two-story, single-family home resulting in 5,480 square feet (3,957 square feet living area, 825 square feet garage, and a 698 square feet attached ADU) and (59%) floor area ratio. The FAR without the ADU is 51%. Existing home to be demolished.

**Location:** 1441 Norman Drive (APN: 313-14-041)

**File #:** 2018-7190

**Zoning:** R-1 (Low Density Residential)

**Applicant / Owner:** Team2 Architecture + Design, Shilpa Pathare (applicant) / Nirmal Sharma Trustee & et al (owner)

**Environmental Review:** A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act (CEQA) provisions. Class 3(a) Categorical Exemptions includes construction of one-single family residence in a residential zone.

**Project Planner:** Teresa Zarrin, (408) 730-7429, tzarrin@sunnyvale.ca.gov

#### REPORT IN BRIEF

**General Plan:** Low-Density Residential

**Existing Site Conditions:** One-Story Single Family Residence

##### **Surrounding Land Uses**

**North:** One-Story Single Family Residence

**South:** One-Story Single Family Residence

**East:** One-Story Single Family Residence

**West:** One-Story Single Family Residence

**Issues:** Neighborhood Compatibility, Floor Area Ratio, Compliance with Single-Family Home Design Techniques

**Staff Recommendation:** Approve the Design Review with the Conditions of Approval in Attachment 7.

#### BACKGROUND

##### Description of Proposed Project

The project site is .2135 acres (9,300 square feet) in size and is currently developed with a single-story, single family home. The applicant requests to demolish the existing home and construct a new two-story single-family home resulting in 5,480 square feet and 59% floor area ratio (FAR). The project includes an attached, two-story, 698-square foot accessory dwelling unit (ADU) and an 825-square foot garage (three-car with one tandem space).

A design review is required for construction of a new house to evaluate compliance with the City's

development standards and the Single Family Home Design Techniques. This project requires Planning Commission review because the proposed gross floor area exceeds 3,600 square feet and the FAR exceeds 45%.

See Attachment 1 for a vicinity map and 300 ft. mailing area for notices and Attachment 2 for the Project Data Table.

### **Previous Actions on the Site**

In 1996, the property was included in the Raynor Park area rezone from R-0 to R-1. There are no past or current Neighborhood Preservation complaints on the property.

### **DISCUSSION**

The subject property is located within the Raynor Park neighborhood with a mix of one and two-story single family residences. Because this is a neighborhood of large lots (generally 9,000 square feet or larger), the neighborhood has been in transition with the construction of larger scale, two-story single family homes replacing the existing smaller, Postwar Minimal one-story single-family homes.

### **Architecture**

The proposed project is a two-story, single-family home with an attached two-story accessory dwelling unit. The project includes an 825-square foot 3-car garage with one tandem space. The garage and front entry facing the street is the prevailing pattern in the neighborhood and, therefore, makes the proposed project compatible with the neighborhood.

The design has modern elements with geometric forms combined with traditional gabled-roof elements that blend well with the neighborhood. The second story of the accessory dwelling unit is on the right side of the house and setback from the main house with an open wooden trellis in the front. The applicant proposes to utilize a combination of high-quality materials such as horizontal red cedar siding, stacked-stone veneer accent columns, and a bronze-colored standing seam metal roof to add texture to the proposed white stucco house. The proposed architectural style, a well-articulated building façade, and a variety of high quality materials will enhance the streetscape and help in minimizing the visual impact of the proposed project.

Staff finds the proposed architecture and building materials to be aesthetic and harmonious with the surrounding neighborhood because it includes traditional as well as modern elements. See Site and Architectural Plans in Attachment 8.

### **Development Standards**

The proposed project complies with the applicable development standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, parking, height, and setbacks. The Project Data Table is in Attachment 2.

### **Floor Area and Floor Area Ratio**

A single-family residential project with a floor area greater than 3,600 square feet and/or a floor area ratio (FAR) greater than 45% requires Planning Commission review. The existing floor area in the R-1 zoned properties in the Raynor Park neighborhood ranges from 1,102 square feet to 5,986 square feet with an average of 2,215 square feet. The existing floor area ratio in the neighborhood ranges from 11% to 61% with an average of 24%. See Attachment 3 for the Raynor Park (R-1 only) FAR

Data Table. See Attachment 4 for Raynor Park (R-1 only) High FAR Properties which shows the properties with:

- greater than 3,600 square feet of floor area, and
- greater than 3,600 square feet floor area *and* 45% FAR.  
(based on County records).

The proposed project has a gross floor area of 5,480 square feet and 59% FAR, including the proposed 698 square foot accessory dwelling unit (ADU), and it would be the one of the largest homes in Raynor Park. The floor area without the ADU is 4,782 square feet and the FAR is 51%. On this block of Norman Drive, it will be the largest house; however, as Attachment 3 and 4 show, the Raynor Park area is a neighborhood in transition with the smaller, Postwar Minimal homes being replaced by larger homes with higher floor area and FAR.

### **Neighborhood Compatibility**

The design addresses scale and architectural compatibility with the neighborhood. Although the proposed gross floor area exceeds 3,600 square feet with a 59% FAR, the mass and bulk of the proposed new house is similar in scale, mass, and height with the existing recently approved two-story homes in the Raynor Park neighborhood.

The proposed height of the structure is 28', which is comparable to the newer homes in the R-1 area of Raynor Park. There are twelve newer homes in the project vicinity that range from 27 to 29 feet in height. See Attachment 5 - Raynor Park (R-1 only) Homes 27-29 Ft. in Height.

The 10-foot plate height for the first-story and 9-foot plate height for the second story are common for recently approved projects in the R-1 zone of Raynor Park.

The roof segment on the side elevations between the first and second story as well as the recess of the second story from the first story helps break up the two-story wall surfaces and reduces the visual bulk of the proposed house.

Since this neighborhood consist of several two-story homes and is not a predominately one-story neighborhood as defined by the Single-Family Home Design Techniques, the 35% second floor to first floor ratio guideline is not applicable.

### **Privacy Impacts**

The design addresses neighbor privacy concerns. The proposed home exceeds the minimum required combined second floor setbacks proposing 26'8" where 21 feet minimum is required. The second-story left side 12-foot setback is the closest setback but it does not face the living area of the left neighbor (faces a detached garage). All the second-floor windows facing both side yards will be high sill to insure the privacy of the neighboring properties. The second-story rear setback is 45'8" where 20 feet is required and provides a generous distance from the rear yard neighbor.

The 127-square foot rear balcony has a 6-foot privacy wall on the left side. The right side of the balcony is partially blocked from view of the right neighbor by a walk-in closet which extends further out than the balcony. The balcony is also set back 40 feet from the right property line providing sufficient privacy for the neighbor on the right.

The generous setbacks, high-sill second floor windows, and the privacy wall of the balcony will minimize the privacy impact on the neighboring properties.

### **Accessory Dwelling Unit**

The proposed two-story, 698-square foot accessory dwelling unit (ADU) is attached (internal to) the main house. City review of ADUs is ministerial. The City comments only on whether the ADU meets the development standards and is architecturally compatible with the main house. In this case, the proposed ADU meets the development standards and is architecturally compatible with the main house.

A deed restriction is required stating that the ADU or the main unit shall be owner-occupied from the date of recordation of the deed restriction (See COA PS-1 in Attachment 7). In addition, a Traffic Impact Fee is required (See COA PS-2 in Attachment 7).

### **Parking**

The code requirement for a single-family home is two covered spaces and two additional driveway spaces. The project exceeds the requirement. The plan proposes a three-car garage that includes one tandem space. There are two additional spaces provided on the driveway. No additional parking space is required for the ADU.

### **Solar Access**

SMC 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10 percent of the roof of any structure on a nearby property. The project plans demonstrate that the shading would comply with this requirement. The project shades the roof area of the adjacent one-story home on the right side 0% in the morning and 2.3% in the afternoon.

### **Landscaping**

Prior to submittal for a building permit, the applicant is required to apply for a Miscellaneous Plan Permit (MPP) for a landscape plan that conforms to the water- efficient landscaping requirements described in SMC 19.37. After landscaping has been installed, and prior to final building permit inspection, a Landscaping Certificate of Completion with a Maintenance Schedule must be submitted. (See COAs PS-3 and PS-4 in Attachment 7).

No protected trees are proposed to be removed as part of the application.

### **Applicable Design Guidelines**

The proposed home is consistent with the adopted Single-Family Design Techniques. Staff has included findings for the Single-Family Design Techniques in Attachment 6.

### **FISCAL IMPACT**

No fiscal impacts other than normal fees and taxes are expected.

### **PUBLIC CONTACT**

#### **Notice of Public Hearing**

- Published in the Sun newspaper
- Posted on the site
- 58 notices mailed to property owners and residents within 300 feet of the project site

**Staff Report**

- Posted on the City's Website
- Provided at the Reference Section of the City's Public Library

**Agenda**

- Posted on the City's official notice bulletin board
- Posted on the City's Website

**Public Comments:** As of the date of staff report preparation, staff has received no comments from the neighbors.

**ALTERNATIVES**

1. Approve the Design Review based on the Findings in Attachment 6 and the Conditions of Approval in Attachment 7.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

**STAFF RECOMMENDATION**

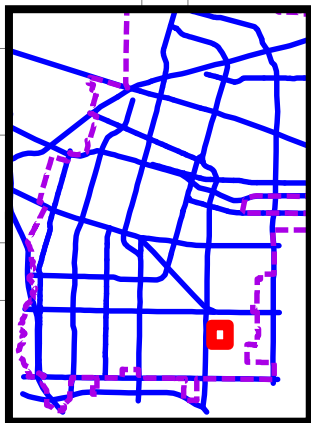
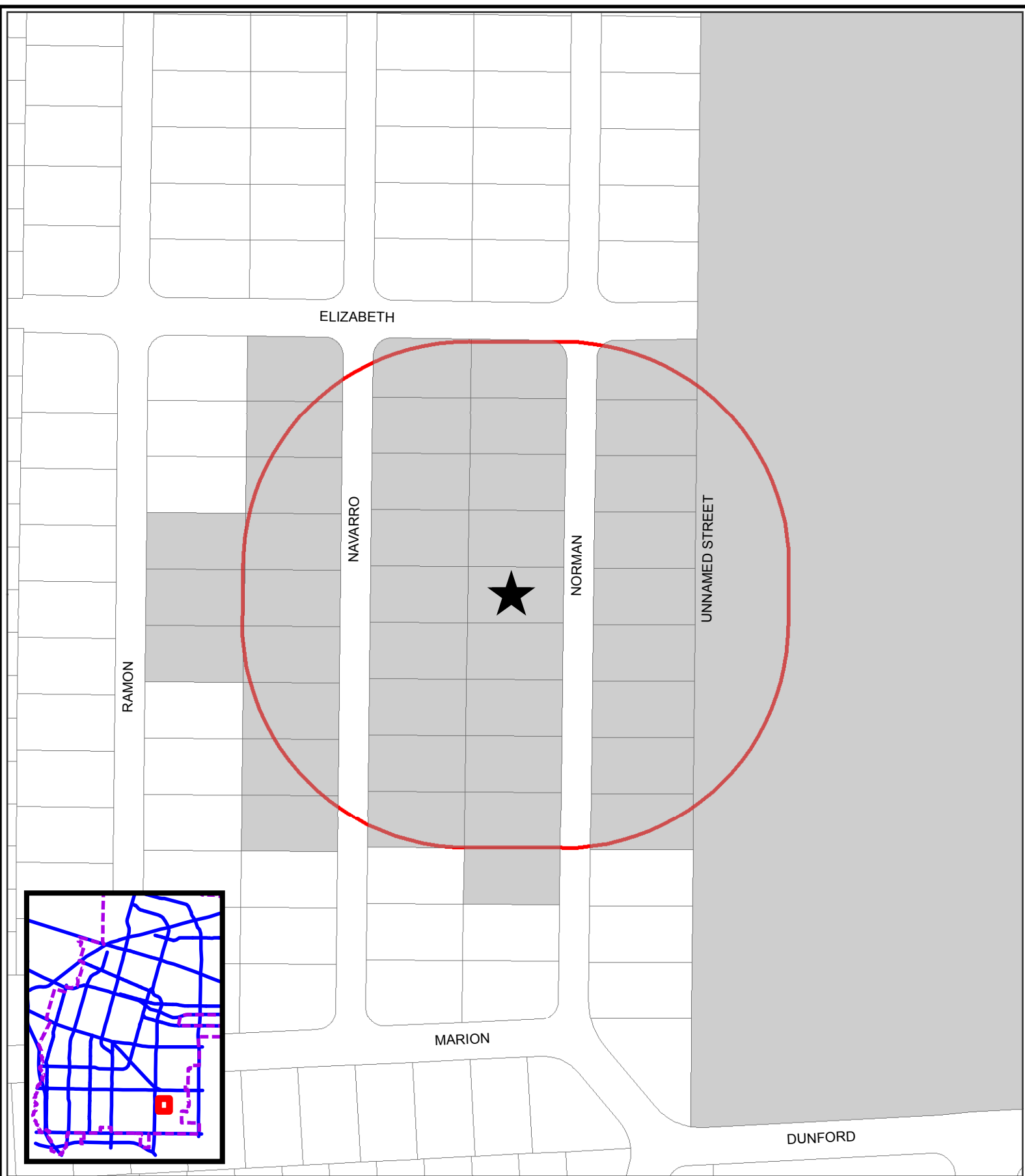
Recommend Alternative 1 to approve the Design Review based on the Findings in Attachment 6 and the recommended Conditions of Approval in Attachment 7.

Prepared by: Teresa Zarrin, Associate Planner

Approved by: Gerri Caruso, Principal Planner

**ATTACHMENTS**

1. Vicinity and Noticing Map
2. Project Data Table
3. Raynor Park (R-1 only) FAR Data Table
4. Raynor Park (R-1 only) High FAR Properties
5. Raynor Park (R-1 only) Homes 27-29 Ft. in Height
6. Recommended Findings
7. Recommended Conditions of Approval
8. Site and Architectural Plans



2018-7190  
 1441 Norman Dr. (APN: 313-14-041)  
 DESIGN REVIEW  
 300-ft Area Map

0 55 110 220 Feet



**PROJECT DATA TABLE**

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
<b>General Plan</b>	Residential Low Density	Same	-
<b>Zoning District</b>	R-1	Same	-
<b>Lot Size (s.f.)</b>	9,300	Same	8,000 min.
<b>Gross Floor Area (s.f.)</b>	2,476	5,480 with ADU 4,782 w/out ADU (698 – ADU)	3,600 <sup>1</sup>
<b>Lot Coverage (%)</b>	26.6 (2,530 s.f.)	39.6 (3,686 s.f.)	40% max.
<b>Floor Area Ratio (FAR)(%)</b>	26.6	58.9 with ADU 51.41 w/out ADU	45 <sup>1</sup>
<b>Building Height (ft.)</b>	Approx. 13'5"	28'0"	30' max.
<b>No. of Stories</b>	One	Two	Two max.
<b>Setbacks (Facing Property)</b>			
<b>Front (ft.)</b>			
1 <sup>st</sup> Floor	27'	20'	20' min.
2 <sup>nd</sup> Floor	N/A	27'6"	25' min.
<b>Left Side (ft.)</b>			
1 <sup>st</sup> Floor	13' (to house) 2'3" (to shed)	9'0"	9' min.
2 <sup>nd</sup> Floor	N/A	12'0"	12' min.
<b>Right Side (ft.)</b>			
1 <sup>st</sup> Floor	14.5' (to house) 2' (to det. garage)	6'0"	6' min.
2 <sup>nd</sup> Floor	N/A	14'8"	9' min.
<b>Side Total (ft.)</b>			
1 <sup>st</sup> Floor	32'	15'	15' min.
2 <sup>nd</sup> Floor	N/A	26'8"	21' min.
<b>Rear (ft.)</b>			
1 <sup>st</sup> Floor	15'3" (to det. garage)	37'7"	20' min.
2 <sup>nd</sup> Floor	2'6" (to shed)	45'8"	20' min.
	N/A		
<b>Parking</b>			
<b>Total Spaces</b>	4	5	4 min.
<b>Covered Spaces</b>	2	3 (one tandem)	2 min.

<sup>1</sup> Threshold for Planning Commission review.

2018-7190 1441 Norman Drive

APN	Address			Lot Size Sq. Ft.	County Building (Sq. Ft.)	Garage (Sq. Ft.)	House Size (Sq. Ft.)	FAR (%)
31301033	1358	Hampton	Dr	9375	1168	435	1,603	17
31301034	932	Eleanor	Wy	13600	1272	567	1,839	14
31301035	1359	Ramon	Dr	14000	2655	842	3,497	25
31301036	1363	Ramon	Dr	9920	1016	0	1,016	10
31301037	1367	Ramon	Dr	9920	3225	200	3,425	35
31301038	1373	Ramon	Dr	9920	2606	392	2,998	30
31301039	1379	Ramon	Dr	9920	1300	0	1,300	13
31301040	1385	Ramon	Dr	9920	2897	735	3,632	37
31301041	1391	Ramon	Dr	9920	3389	600	3,989	40
31301042	1397	Ramon	Dr	10416	967	252	1,219	12
31301048	1345	Eleanor	Wy	11700	1333	400	1,733	15
31301049	917	Eleanor	Wy	9432	1110	200	1,310	14
31302016	1315	Poplar	Av	7875	2168	0	2,168	28
31302017	995	Bryant	Wy	9125	1722	0	1,722	19
31302018	989	Bryant	Wy	9125	1034	251	1,285	14
31302019	985	Bryant	Wy	9125	1274	520	1,794	20
31302020	981	Bryant	Wy	9125	1554	0	1,554	17
31302021	977	Bryant	Wy	9125	1638	240	1,878	21
31302022	1320	Norman	Dr	15000	5626	360	5,986	40
31302023	1321	Norman	Dr	11250	2278	0	2,278	20
31302024	963	Bryant	Wy	10625	3419	234	3,653	34
31302025	961	Bryant	Wy	10625	3980	275	4,255	40
31302026	959	Bryant	Wy	10625	3459	0	3,459	33
31302027	957	Bryant	Wy	10625	2081	520	2,601	24
31303003	1340	Poplar	Av	9375	995	400	1,395	15
31303004	1003	Bryant	Wy	9375	2086	0	2,086	22
31303005	1336	Poplar	Av	9125	1300	440	1,740	19
31303006	1332	Poplar	Av	9072	840	264	1,104	12
31303014	1350	Poplar	Av	11250	1344	400	1,744	16
31311001	1384	Norman	Dr	9000	1530	400	1,930	21
31311002	1380	Norman	Dr	9525	1102	0	1,102	12
31311003	1376	Norman	Dr	9600	1066	234	1,300	14
31311004	1372	Norman	Dr	9525	2332	640	2,972	31
31311005	1368	Norman	Dr	9600	2044	294	2,338	24
31311006	1364	Norman	Dr	9525	2641	0	2,641	28
31311007	1360	Norman	Dr	9525	1897	0	1,897	20
31311008	1356	Norman	Dr	9525	3258	1222	4,480	47
31311009	1352	Norman	Dr	9525	4101	234	4,335	46
31311010	1348	Norman	Dr	9144	2981	400	3,381	37
31311011	1344	Norman	Dr	9525	1300	0	1,300	14
31311012	1340	Norman	Dr	9398	827	275	1,102	12
31311013	1336	Norman	Dr	9500	1300	425	1,725	18
31311014	982	Bryant	Wy	10625	1152	456	1,608	15
31311015	1339	Rosalia	Av	9375	1133	480	1,613	17
31311016	1343	Rosalia	Av	9375	2600	440	3,040	32
31311017	1347	Rosalia	Av	9375	906	880	1,786	19
31311018	1348	Rosalia	Av	9375	1336	532	1,868	20
31311019	1344	Rosalia	Av	9375	1104	396	1,500	16
31311020	1340	Rosalia	Av	9375	806	360	1,166	12
31311021	986	Bryant	Wy	9375	1304	352	1,656	18
31311022	988	Bryant	Wy	9375	1158	400	1,558	17
31311023	1339	Poplar	Av	9375	2114	400	2,514	27
31311024	1343	Poplar	Av	9375	1450	352	1,802	19
31311025	1345	Poplar	Av	8125	2233	420	2,653	33
31311026	1347	Poplar	Av	5625	1773	462	2,235	40
31312001	1335	Norman	Dr	9338	3258	242	3,718	40
31312002	1339	Norman	Dr	9300	1699	360	2,059	22
31312003	1343	Norman	Dr	9300	1383	675	2,058	22
31312004	1347	Norman	Dr	9300	1066	234	1,300	14
31312005	1351	Norman	Dr	9300	4478	540	5,018	54
31312006	1355	Norman	Dr	9300	2652	620	3,272	35
31312007	1359	Norman	Dr	9300	2009	400	2,409	26
31312008	1363	Norman	Dr	9300	3938	0	4,342	47
31312009	1367	Norman	Dr	9300	2836	0	2,836	30
31312010	1371	Norman	Dr	9300	1566	234	1,800	19
31312011	1375	Norman	Dr	9300	827	275	1,102	12

2018-7190 1441 Norman Drive

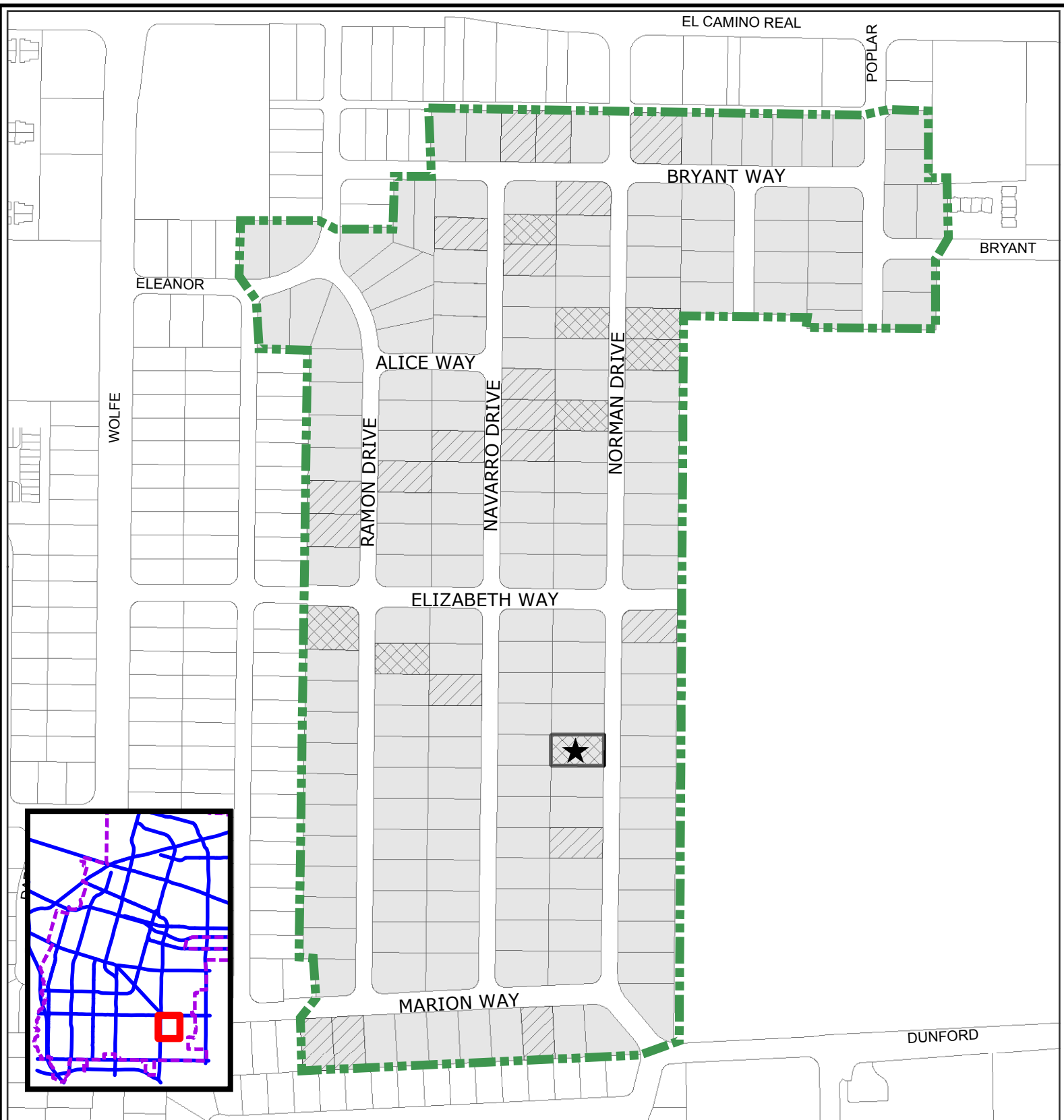
APN	Address			Lot Size Sq. Ft.	County Building (Sq. Ft.)	Garage (Sq. Ft.)	House Size (Sq. Ft.)	FAR (%)
31312012	1379	Norman	Dr	9300	1497	234	1,731	19
31312013	1383	Norman	Dr	9462	3311	0	3,311	35
31312014	1384	Navarro	Dr	9462	3061	480	3,541	37
31312015	1380	Navarro	Dr	9300	827	1305	2,132	23
31312016	1376	Navarro	Dr	9300	2500	0	2,500	27
31312017	1372	Navarro	Dr	9300	1016	0	1,016	11
31312018	1368	Navarro	Dr	9300	3024	598	3,622	39
31312019	1364	Navarro	Dr	9300	3515	252	3,767	41
31312020	1360	Navarro	Dr	9300	3490	686	4,176	45
31312021	1356	Navarro	Dr	9300	1682	600	2,282	25
31312022	1352	Navarro	Dr	9300	1300	0	1,300	14
31312023	1348	Navarro	Dr	9300	1016	400	1,416	15
31312024	1344	Navarro	Dr	9300	3321	430	3,751	40
31312025	1340	Navarro	Dr	9300	4514	0	4,514	49
31312026	1336	Navarro	Dr	9338	1742	0	1,742	19
31312027	1335	Navarro	Dr	10454	2128	275	2,403	23
31312028	1339	Navarro	Dr	9920	3700	275	3,975	40
31312029	1343	Navarro	Dr	9920	1102	234	1,336	13
31312030	1347	Navarro	Dr	9920	2416	0	2,416	24
31312031	1351	Navarro	Dr	10454	1816	400	2,216	21
31312032	1359	Navarro	Dr	9090	1460	0	1,460	16
31312033	1363	Navarro	Dr	9176	2524	538	3,062	33
31312034	1367	Navarro	Dr	9176	3633	0	3,633	40
31312035	1371	Navarro	Dr	9176	1219	0	1,219	13
31312036	1375	Navarro	Dr	9176	2553	333	2,886	31
31312037	1379	Navarro	Dr	9176	1312	440	1,752	19
31312038	1383	Navarro	Dr	9090	1133	0	1,133	12
31312039	1398	Ramon	Dr	9170	967	252	1,219	13
31312040	1392	Ramon	Dr	9176	1852	240	2,092	23
31312041	1386	Ramon	Dr	9176	967	252	1,219	13
31312042	1382	Ramon	Dr	9176	3647	0	3,647	40
31312043	1376	Ramon	Dr	9176	816	200	1,016	11
31312044	1370	Ramon	Dr	9176	1016	0	1,016	11
31312045	1366	Ramon	Dr	9090	1484	572	2,056	23
31312047	1354	Ramon	Dr	8100	1102	0	1,102	14
31312048	1350	Ramon	Dr	8910	2491	640	3,131	35
31312049	1348	Ramon	Dr	8140	1558	260	1,818	22
31312050	1346	Eleanor	Wy	8400	1969	600	2,569	31
31312053	954	Bryant	Wy	7900	1377	0	1,377	17
31312054	956	Bryant	Wy	8700	1354	352	1,706	20
31312055	1358	Ramon	Dr	7500	981	576	1,557	21
31313001	1411	Ramon	Dr	8208	4293	696	4,989	61
31313002	1417	Ramon	Dr	9300	1431	600	2,031	22
31313003	1425	Ramon	Dr	9300	3238	264	3,502	38
31313004	1433	Ramon	Dr	9300	1270	462	1,732	19
31313005	1441	Ramon	Dr	9300	3385	200	3,585	39
31313006	1447	Ramon	Dr	9300	1016	0	1,016	11
31313007	1455	Ramon	Dr	9300	1597	420	2,017	22
31313008	1465	Ramon	Dr	9300	1016	432	1,448	16
31313009	1473	Ramon	Dr	9300	1580	0	1,580	17
31313010	1483	Ramon	Dr	9300	1016	600	1,616	17
31313011	1489	Ramon	Dr	9300	3586	0	3,586	39
31313012	1491	Ramon	Dr	6545	1196	0	1,196	18
31314001	1494	Ramon	Dr	11307	1231	0	1,231	11
31314002	1490	Ramon	Dr	9300	1219	0	1,219	13
31314003	1480	Ramon	Dr	9300	1636	200	1,836	20
31314004	1474	Ramon	Dr	9300	1249	240	1,489	16
31314005	1464	Ramon	Dr	9300	1116	208	1,324	14
31314006	1454	Ramon	Dr	9300	1219	400	1,619	17
31314007	1448	Ramon	Dr	9300	816	200	1,016	11
31314008	1440	Ramon	Dr	9300	2309	0	2,309	25
31314009	1432	Ramon	Dr	9300	3489	0	3,489	38
31314010	1424	Ramon	Dr	9300	967	252	1,219	13
31314011	1416	Ramon	Dr	9300	3344	900	4,244	46
31314012	1410	Ramon	Dr	10160	1464	564	2,028	20
31314013	1411	Navarro	Dr	10168	2623	374	2,997	29
31314014	1417	Navarro	Dr	9300	1156	400	1,556	17

2018-7190 1441 Norman Drive

APN	Address			Lot Size Sq. Ft.	County Building (Sq. Ft.)	Garage (Sq. Ft.)	House Size (Sq. Ft.)	FAR (%)
31312012	1379	Norman	Dr	9300	1497	234	1,731	19
31312013	1383	Norman	Dr	9462	3311	0	3,311	35
31312014	1384	Navarro	Dr	9462	3061	480	3,541	37
31312015	1380	Navarro	Dr	9300	827	1305	2,132	23
31312016	1376	Navarro	Dr	9300	2500	0	2,500	27
31312017	1372	Navarro	Dr	9300	1016	0	1,016	11
31312018	1368	Navarro	Dr	9300	3024	598	3,622	39
31312019	1364	Navarro	Dr	9300	3515	252	3,767	41
31312020	1360	Navarro	Dr	9300	3490	686	4,176	45
31312021	1356	Navarro	Dr	9300	1682	600	2,282	25
31312022	1352	Navarro	Dr	9300	1300	0	1,300	14
31312023	1348	Navarro	Dr	9300	1016	400	1,416	15
31312024	1344	Navarro	Dr	9300	3321	430	3,751	40
31312025	1340	Navarro	Dr	9300	4514	0	4,514	49
31312026	1336	Navarro	Dr	9338	1742	0	1,742	19
31312027	1335	Navarro	Dr	10454	2128	275	2,403	23
31312028	1339	Navarro	Dr	9920	3700	275	3,975	40
31312029	1343	Navarro	Dr	9920	1102	234	1,336	13
31312030	1347	Navarro	Dr	9920	2416	0	2,416	24
31312031	1351	Navarro	Dr	10454	1816	400	2,216	21
31312032	1359	Navarro	Dr	9090	1460	0	1,460	16
31312033	1363	Navarro	Dr	9176	2524	538	3,062	33
31312034	1367	Navarro	Dr	9176	3633	0	3,633	40
31312035	1371	Navarro	Dr	9176	1219	0	1,219	13
31312036	1375	Navarro	Dr	9176	2553	333	2,886	31
31312037	1379	Navarro	Dr	9176	1312	440	1,752	19
31312038	1383	Navarro	Dr	9090	1133	0	1,133	12
31312039	1398	Ramon	Dr	9170	967	252	1,219	13
31312040	1392	Ramon	Dr	9176	1852	240	2,092	23
31312041	1386	Ramon	Dr	9176	967	252	1,219	13
31312042	1382	Ramon	Dr	9176	3647	0	3,647	40
31312043	1376	Ramon	Dr	9176	816	200	1,016	11
31312044	1370	Ramon	Dr	9176	1016	0	1,016	11
31312045	1366	Ramon	Dr	9090	1484	572	2,056	23
31312047	1354	Ramon	Dr	8100	1102	0	1,102	14
31312048	1350	Ramon	Dr	8910	2491	640	3,131	35
31312049	1348	Ramon	Dr	8140	1558	260	1,818	22
31312050	1346	Eleanor	Wy	8400	1969	600	2,569	31
31312053	954	Bryant	Wy	7900	1377	0	1,377	17
31312054	956	Bryant	Wy	8700	1354	352	1,706	20
31312055	1358	Ramon	Dr	7500	981	576	1,557	21
31313001	1411	Ramon	Dr	8208	4293	696	4,989	61
31313002	1417	Ramon	Dr	9300	1431	600	2,031	22
31313003	1425	Ramon	Dr	9300	3238	264	3,502	38
31313004	1433	Ramon	Dr	9300	1270	462	1,732	19
31313005	1441	Ramon	Dr	9300	3385	200	3,585	39
31313006	1447	Ramon	Dr	9300	1016	0	1,016	11
31313007	1455	Ramon	Dr	9300	1597	420	2,017	22
31313008	1465	Ramon	Dr	9300	1016	432	1,448	16
31313009	1473	Ramon	Dr	9300	1580	0	1,580	17
31313010	1483	Ramon	Dr	9300	1016	600	1,616	17
31313011	1489	Ramon	Dr	9300	3586	0	3,586	39
31313012	1491	Ramon	Dr	6545	1196	0	1,196	18
31314001	1494	Ramon	Dr	11307	1231	0	1,231	11
31314002	1490	Ramon	Dr	9300	1219	0	1,219	13
31314003	1480	Ramon	Dr	9300	1636	200	1,836	20
31314004	1474	Ramon	Dr	9300	1249	240	1,489	16
31314005	1464	Ramon	Dr	9300	1116	208	1,324	14
31314006	1454	Ramon	Dr	9300	1219	400	1,619	17
31314007	1448	Ramon	Dr	9300	816	200	1,016	11
31314008	1440	Ramon	Dr	9300	2309	0	2,309	25
31314009	1432	Ramon	Dr	9300	3489	0	3,489	38
31314010	1424	Ramon	Dr	9300	967	252	1,219	13
31314011	1416	Ramon	Dr	9300	3344	900	4,244	46
31314012	1410	Ramon	Dr	10160	1464	564	2,028	20
31314013	1411	Navarro	Dr	10168	2623	374	2,997	29

2018-7190 1441 Norman Drive

APN	Address			Lot Size Sq. Ft.	County Building (Sq. Ft.)	Garage (Sq. Ft.)	House Size (Sq. Ft.)	FAR (%)
31314014	1417	Navarro	Dr	9300	1156	400	1,556	17
31314015	1425	Navarro	Dr	9300	3368	254	3,622	39
31314016	1433	Navarro	Dr	9300	1176	0	1,176	13
31314017	1441	Navarro	Dr	9300	1687	0	1,687	18
31314018	1447	Navarro	Dr	9300	1016	240	1,256	14
31314019	1455	Navarro	Dr	9300	1571	231	1,802	19
31314020	1465	Navarro	Dr	9300	1016	0	1,016	11
31314021	1473	Navarro	Dr	9300	1512	254	1,766	19
31314022	1483	Navarro	Dr	9300	816	200	1,016	11
31314023	1489	Navarro	Dr	9300	1219	0	1,219	13
31314024	1491	Navarro	Dr	10540	1136	0	1,136	11
31314025	1490	Navarro	Dr	7210	967	252	1,219	17
31314026	1484	Navarro	Dr	9300	1016	0	1,016	11
31314027	1478	Navarro	Dr	9300	1219	0	1,219	13
31314028	1464	Navarro	Dr	9300	1016	228	1,244	13
31314029	1454	Navarro	Dr	9300	1769	252	2,021	22
31314030	1450	Navarro	Dr	9300	1016	200	1,216	13
31314031	1446	Navarro	Dr	9300	3493	0	3,493	38
31314032	1440	Navarro	Dr	9300	2557	264	2,821	30
31314033	1432	Navarro	Dr	9300	1219	240	1,459	16
31314034	1424	Navarro	Dr	9300	967	652	1,619	17
31314035	1416	Navarro	Dr	9300	1016	480	1,496	16
31314036	1410	Navarro	Dr	9150	2346	234	2,580	28
31314037	1411	Norman	Dr	9300	2098	620	2,718	29
31314038	1417	Norman	Dr	9300	1696	0	1,696	18
31314039	1425	Norman	Dr	9300	1102	0	1,102	12
31314040	1433	Norman	Dr	9300	1777	0	1,777	19
31314041	1441	Norman	Dr	9300	1219	0	1,219	13
31314042	1447	Norman	Dr	9300	1679	597	2,276	24
31314043	1455	Norman	Dr	9300	2095	0	2,095	23
31314044	1465	Norman	Dr	9300	3506	240	3,746	40
31314045	1473	Norman	Dr	9300	827	270	1,097	12
31314046	1481	Norman	Dr	9300	1267	252	1,519	16
31314047	1487	Norman	Dr	9300	3296	200	3,496	38
31314048	1491	Norman	Dr	7360	2329	700	3,029	41
31314049	1498	Norman	Dr	11000	1842	594	2,436	22
31314050	1494	Norman	Dr	9450	1102	440	1,542	16
31314051	1490	Norman	Dr	9600	2287	0	2,287	24
31314052	1484	Norman	Dr	9600	1329	0	1,329	14
31314053	1476	Norman	Dr	9600	3145	408	3,553	37
31314054	1464	Norman	Dr	9600	1954	200	2,154	22
31314055	1454	Norman	Dr	9300	985	254	1,239	13
31314056	1446	Norman	Dr	9600	965	254	1,219	13
31314057	1440	Norman	Dr	9600	816	200	1,016	11
31314058	1432	Norman	Dr	9600	1258	0	1,258	13
31314059	1424	Norman	Dr	9600	2376	858	3,234	34
31314060	1416	Norman	Dr	9600	965	254	1,219	13
31314061	1410	Norman	Dr	9520	2930	896	3,826	40
31326061	946	Marion	Wy	9424	3560	0	3,560	38
31326062	948	Marion	Wy	9424	3572	496	4,068	43
31326063	950	Marion	Wy	9424	1253	254	1,507	16
31326064	952	Marion	Wy	9424	3123	200	3,323	35
31326065	954	Marion	Wy	9424	1102	0	1,102	12
31326066	956	Marion	Wy	9424	2009	254	2,263	24
31326067	958	Marion	Wy	9424	1116	528	1,644	17
31326068	960	Marion	Wy	9224	4140	0	4,140	45
31326069	962	Marion	Wy	9576	1506	400	1,906	20
31326070	964	Marion	Wy	11780	2958	470	3,428	29
						<b>Average</b>	<b>2215</b>	<b>24</b>



## Raynor Park R-1 Properties

0 125 250 500 Feet



### Legend

- Raynor Park R-1 Properties
- Subject Site
- >3,600 sq.ft.
- >3,600 sq.ft. and >45% FAR

**Raynor Park R-1 Homes that  
Range from 27 to 29 Feet in Height**

- |     |                 |         |
|-----|-----------------|---------|
| 1.  | 1446 Navarro Dr | 28 feet |
| 2.  | 959 Bryant Way  | 28 feet |
| 3.  | 1351 Norman Dr. | 28 feet |
| 4.  | 1356 Norman Dr. | 27 feet |
| 5.  | 1363 Norman Dr. | 27 feet |
| 6.  | 948 Marion Dr.  | 29 feet |
| 7.  | 1441 Ramon Dr.  | 27 feet |
| 8.  | 1416 Ramon Dr.  | 28 feet |
| 9.  | 1411 Ramon Dr.  | 27 feet |
| 10. | 1385 Ramon Dr.  | 28 feet |
| 11. | 1382 Ramon Dr.  | 29 feet |
| 12. | 1367 Ramon Dr.  | 27 feet |

**RECOMMENDED FINDINGS****Design Review**

The proposed project is desirable in that the project's design and architecture complies with the policies and principles of the Single Family Home Design Techniques.

<b>Basic Design Principle</b>	<b>Comments</b>
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed house will maintain its home orientation toward the street and the entry will remain consistent with the existing residence and adjacent neighbors. The entrance to the Accessory Dwelling Unit will be behind a side yard gate and fence on the right side of the house and not visible from the street. <b>Finding Met</b>
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	While the proposed two-story house and attached Accessory Dwelling Unit increase the floor area, the well-articulated building façade, generous second-story setbacks, and a variety of high quality materials will enhance the streetscape and help in minimizing the visual impact of the proposed project. <b>Finding Met</b>
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed design respects the privacy of the adjacent neighbors as only high-sill windows are proposed on the second floor side elevations, the right side setback exceeds minimum requirement, and the left side second story setback does not face the living area of the left neighbor. The six foot privacy screen on the left side of the balcony provides privacy for the neighbor on the left. The moderate 4:12 slope roof matches the roof slopes of the side neighbors. <b>Finding Met</b>
<i>2.2.4 Minimize the visual impacts of parking.</i>	The project exceeds the required covered parking requirement and provides an additional covered space in the garage (tandem). <b>Finding Met</b>
<i>2.2.6 Use high quality materials and craftsmanship</i>	The proposed design includes high-quality materials such as red cedar siding, stacked-stone veneer accent columns, and a bronze-colored standing seam metal roof. The traditional white stucco exterior of the main body of the house blends well with the neighborhood. <b>Finding Met</b>
<i>2.2.7 Preserve mature landscaping</i>	No protected trees will be removed as part of this project. <b>Finding Met</b>

---

**RECOMMENDED  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
JULY 23, 2018**

**Planning Application 2018-7190**

1441 Norman Drive

**Design Review** to allow a new two-story, single-family home resulting in 5,480 square feet (3,957 square feet living area, 825 square feet garage, and a 698 square feet attached ADU) and (59%) floor area ratio. The FAR without the ADU is 51%. Existing home to be demolished.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

<p><b>GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.</b></p>
---

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:

- 
- The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to the expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]
- GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION:  
The entitlements shall expire if discontinued for a period of one year or more. [SDR] [PLANNING]
- GC-4. INDEMNITY:  
The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]
- GC-5. NOTICE OF FEES PROTEST:  
As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING/OCA]
- GC-6. ENCROACHMENT PERMIT:  
Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

<b>PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.</b>
--

- PS-1. OWNER-OCCUPANCY DEED RESTRICTION:

- 
- Prior to submittal of Building Permit, a Conformed Copy of a deed restriction stating that either the accessory dwelling unit or the primary dwelling shall be owner-occupied from the date of recordation. The dwelling unit not owner-occupied may be rented. [COA] [PLANNING]
- PS-2.   TRAFFIC IMPACT FEE:  
A Transportation Impact Fee will be required to be paid prior to building permit issuance. [COA] [PLANNING]
- PS-3     LANDSCAPING PLAN:  
Apply for a Miscellaneous Plan Permit (MPP) for a landscape plan that conforms to the landscaping requirements described in SMC 19.37.
- PS-4     LANDSCAPE CERTIFICATE OF COMPLETION AND MAINTENANCE SCHEDULE:  
After landscaping has been installed (and prior to final inspection for a building permit), a Landscaping Certificate of Completion, including a Maintenance Schedule and must be submitted.
- PS-5     EXTERIOR MATERIALS REVIEW:  
Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

**BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

- BP-1.    CONDITIONS OF APPROVAL:  
Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]
- BP-2.    RESPONSE TO CONDITIONS OF APPROVAL:  
A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]
- BP-3.    NOTICE OF CONDITIONS OF APPROVAL:

---

A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number, attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are the person(s) who have signed the Notice of Conditions of Approval.  
[COA] [PLANNING]

BP-4. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
  - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
  - ii) Dumpster drips from covered trash and food compactor enclosures.
  - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.

- 
- iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
  - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-5. DEMOLITION/CONSTRUCTION/RECYCLING WASTE REPORT FORM:  
To mitigate the impacts of large projects on local waste disposal and recycling levels, demolition, waste weights/volumes, construction weights/volumes, and recycling weights/volumes are to be reported to the City, per City's "waste & recycling reporting form" (electronic copy available) or a similar chart approved by the City. As part of the project's construction specifications, the developer shall track the type, quantity, and disposition of materials generated, and forward a complete report to the Department of Environmental Services, Solid Waste Division both periodically and at project completion. [COA] [ENVIRONMENTAL SERVICES]

BP-6. CONSTRUCTION MATERIAL AND STAGING:  
All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-way or public easements. [COA] [PUBLIC WORKS]

<b>EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.</b>
---

EP-1. UPGRADE OF EXISTING PUBLIC IMPROVEMENTS:  
As part of the encroachment permit review and approval, any existing public improvements to be re-used by the project, which are not in accordance with current City standards and are not specifically identified in the herein project conditions (such as water meters, cleanouts, etc.), shall be upgraded to current City standards and as required by the Department of Public Works. [COA] [PUBLIC WORKS]

EP-2. UTILITY CONNECTION:  
This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]

EP-3. DRY UTILITIES:  
Submit dry utility plans and/or joint trench plans (PG&E, telephone, cable TV, fiber optic, etc.) to the Public Works Department for review and approval prior to the issuance of any permits for utility work within any public right-of-way or public utility easements. Separate

---

encroachment permits shall be required for various dry utility construction. [SDR] [PUBLIC WORKS]

EP-4. WET UTILITIES:

All wet utilities (water, sanitary sewer) on private property shall be privately owned and maintained. The domestic water system shall be privately owned and maintained beyond the meter. [COA] [PUBLIC WORKS]

EP-5. SEWER CLEANOUT:

Install new sewer cleanout at the street right-of-way line for proposed sanitary sewer lateral used for the project. Sheet A-0 of Site Plan dated 03/01/18 is subject to change during plan check process. [SDR] [PUBLIC WORKS]

EP-6. UTILITY METER/VAULT:

No existing or new utility meters or vaults shall be located within the driveway approach. All existing or new utility vaults serving the project site shall be located on-site and not within the public utility easement. [COA] [PUBLIC WORKS]

EP-7. TRAFFIC CONTROL PLAN:

Submit a traffic control plan with the encroachment permit for review and approval. Per the City's Temporary Traffic Control Checklist, the traffic control plan shall include a summary of the traffic control types, dates, times and blocks affected. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris. [COA] [PUBLIC WORKS]

EP-8. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:

Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]

<p><b>PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.</b></p>
--

PF-1. COMPLETION OF PUBLIC IMPROVEMENTS:

Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy. [COA] [PUBLIC WORKS]

**DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.**

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.

d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]



RENDERING OF PROPOSED NEW HOUSE

PROJECT DESCRIPTION

THE PROJECT COMPRISES A NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED ACCESSORY DWELLING UNIT. THE PRIMARY DWELLING IS 3480 SF WITH 5 BEDROOMS AND 4 BATHS, WHILE THE ACCESSORY DWELLING IS 1 BEDROOM, 1-1/2 BATH, MEASURING 698 SF. A 3-CAR GARAGE OF 825 SF IS PROVIDED.

PROPOSED SITE IMPROVEMENTS (UNDER DEFERRED SUBMITTAL) WILL INCLUDE DROUGHT RESISTANT LANDSCAPING AND A WATER FEATURE IN THE FRONT YARD.

SHEET INDEX

- A0 TITLE SHEET & PROJECT INFO.
- A1 EXISTING & PROPOSED SITE PLANS
- A2 EXISTING FLOOR PLAN & ELEVATIONS
  - A2.1 PROPOSED FIRST FLOOR PLAN
  - A2.2 PROPOSED SECOND FLOOR PLAN
  - A2.3 ROOF PLAN
- A3 PROPOSED ELEVATIONS
  - A3.1 STREETSCAPE ELEVATIONS & PHOTOS
- A4.1 SHADOW ANALYSIS AM
- A4.2 SHADOW ANALYSIS PM

team2  
architecture + design

5 4 0 L E N N O N L A N E , S U I T E 5  
W A L N U T C R E E K , C A 9 4 5 9 7

T e l 9 2 5 . 6 7 6 . 9 8 7 9  
d e s i g n @ t 2 a r c h . c o m

NEW HOME  
1441 NORMAN DRIVE  
SUNNYVALE, CA

NIRMAL & NEHA SHARMA  
650-272-1709

PROJECT DATA

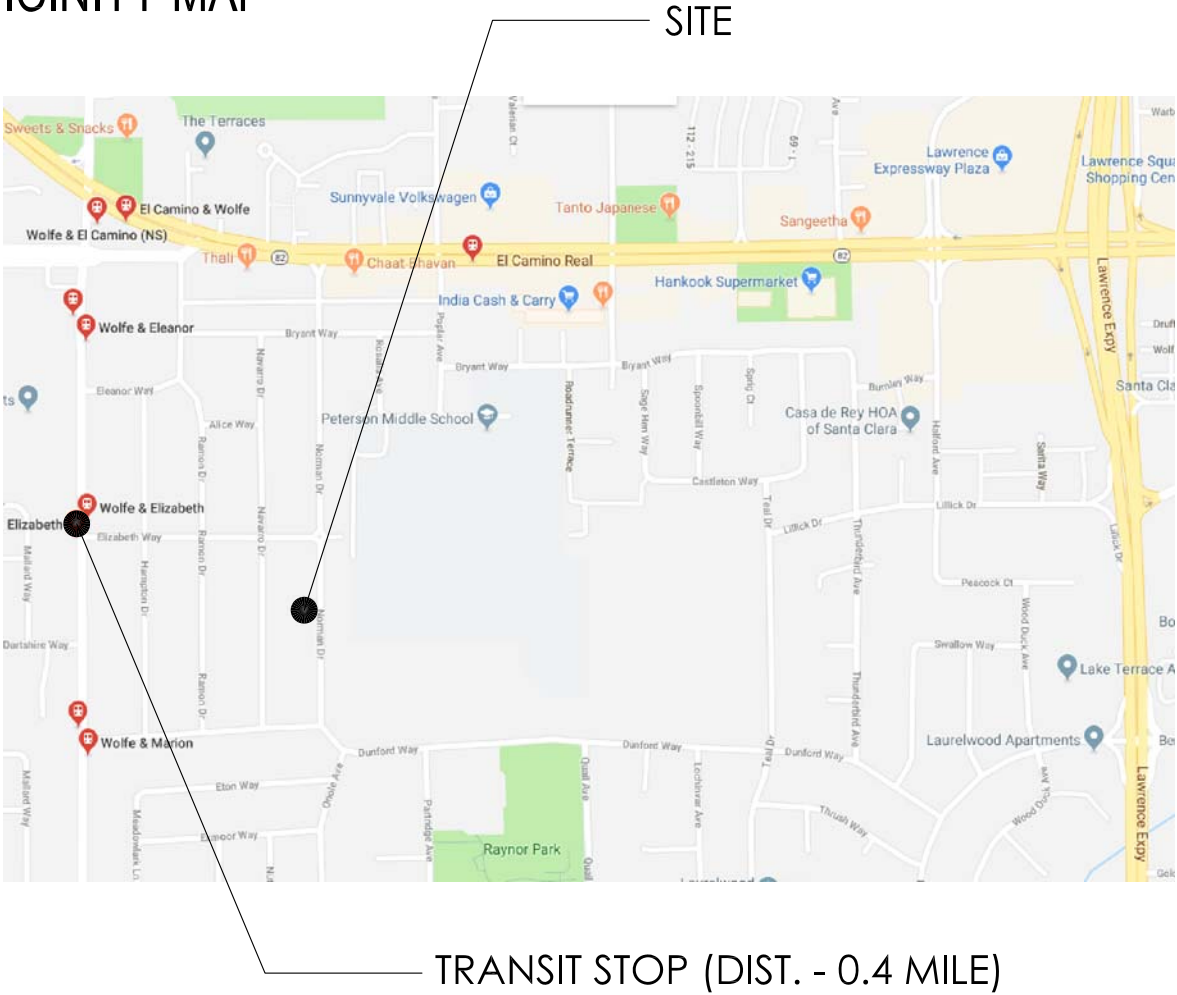
APN	313-14-041
ZONING	R1
TYPE OF CONSTRUCTION	VB
NO. OF STORIES	TWO
SPRINKLERED	YES

AREA CALCULATIONS

<b>EXISTING</b>	
LOT SIZE	9,300 SF
FIRST FLOOR AREA	1,265 SF
SUN ROOM	552 SF
DETACHED GARAGE	509 SF
SHED	150 SF
FRONT PORCH	54 SF
FLOOR AREA RATIO	27.20% (2530 SF)
LOT COVERAGE	27.20% (2530 SF)

<b>PROPOSED</b>	
LOT SIZE	9300 SF
FIRST FLOOR (A)	1911 SF
SECOND FLOOR (B)	1581 SF
GARAGE (C)	825 SF
REAR COVERED PATIO (D)	465 SF
FRONT COVERED PORCH (E)	84 SF
ADU FIRST FLOOR (F)	401 SF
ADU SECOND FLOOR (G)	297 SF
REAR PATIO (UNCOVERED)	132 SF
FLOOR AREA RATIO	51.41%
(A+B+C+D) = 4782 SF	
FLOOR AREA RATIO (INCL. ADU)	58.92%
(A+B+C+D+F+G) = 5480 SF	
LOT COVERAGE	39.63%
(A+F+C+D+E) = 3686 SF	
TOTAL ADU	698 SF
(F+G)	

VICINITY MAP



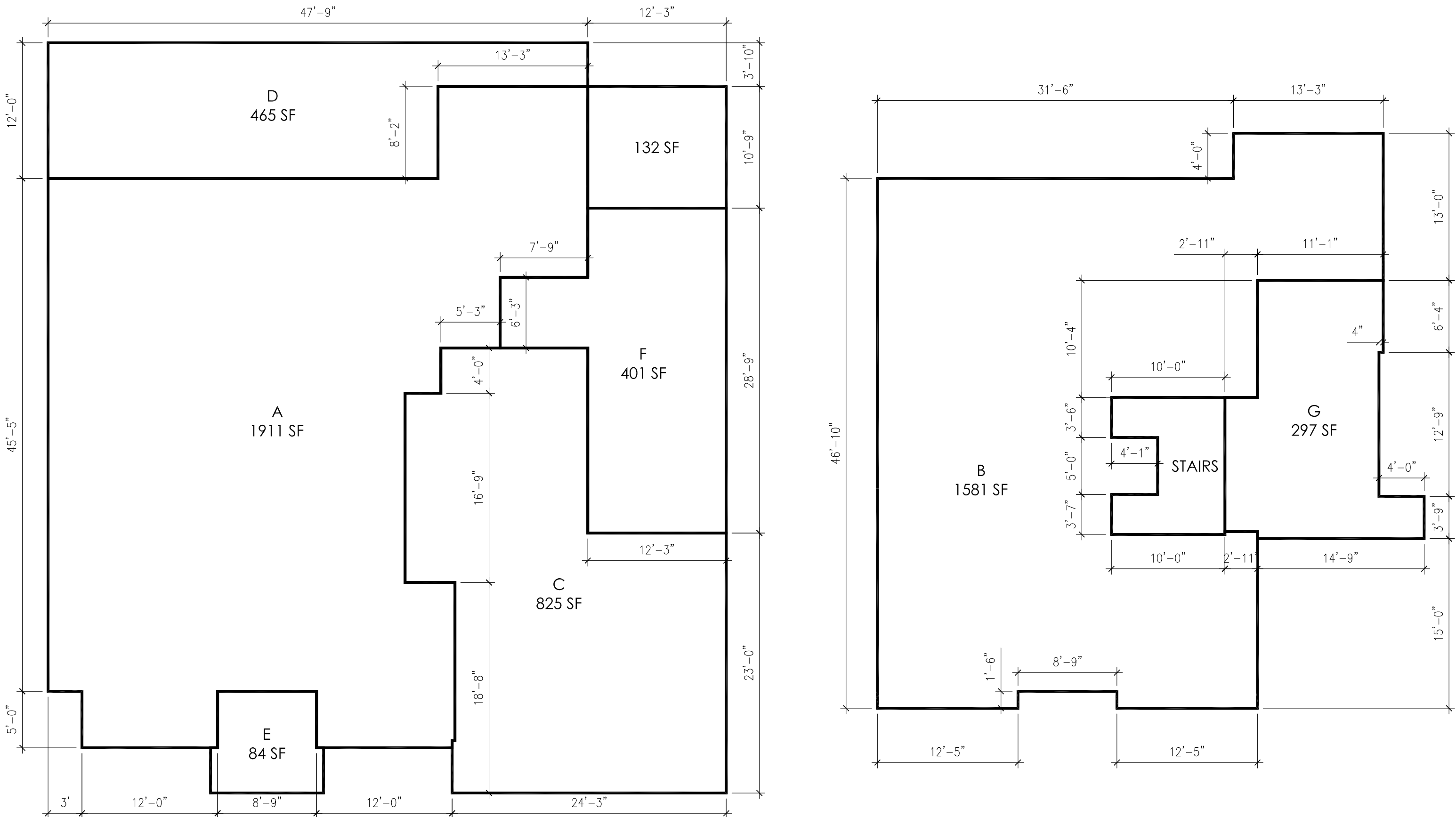
TITLE SHEET & PROJECT INFO.

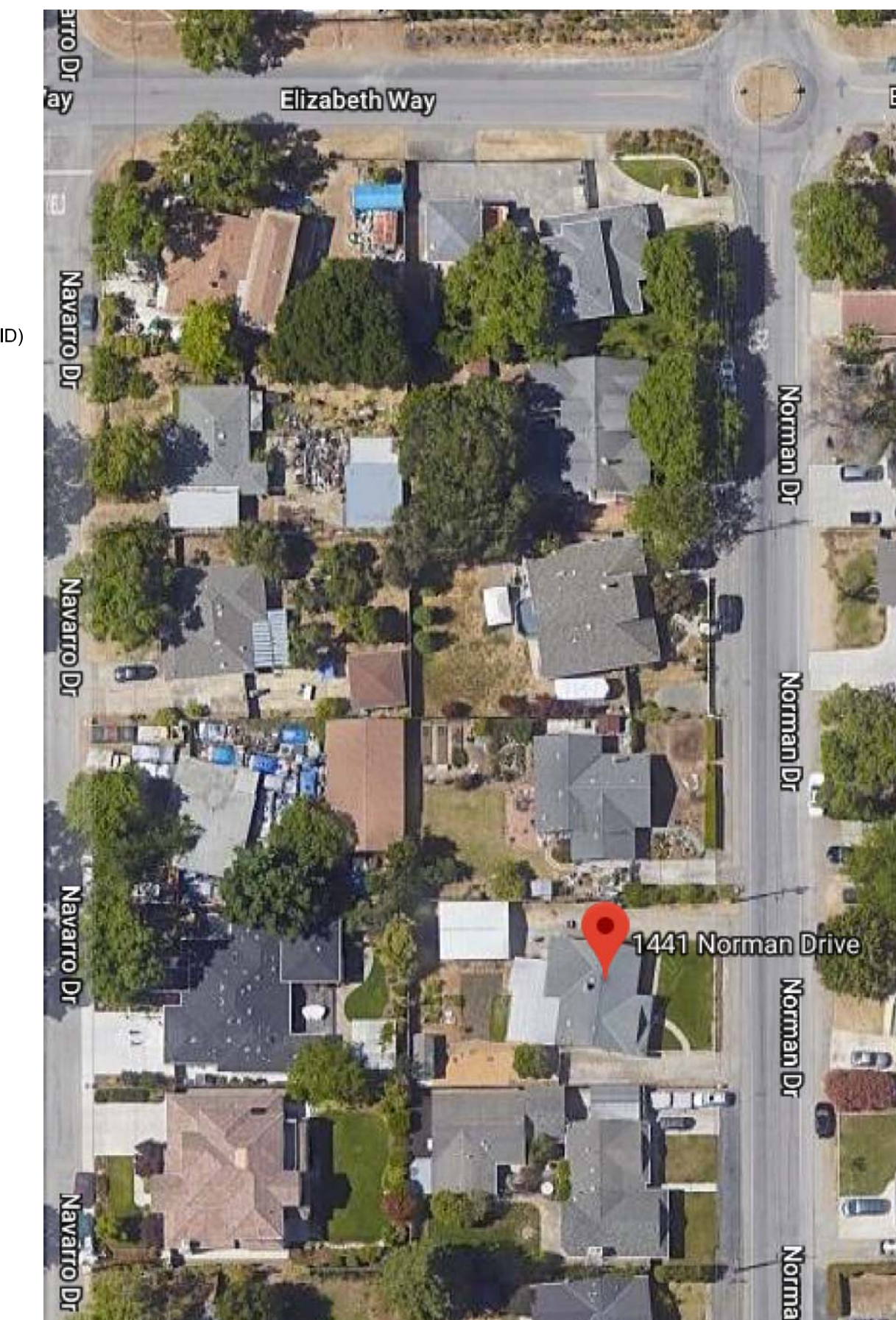
Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

Project No:	Date: 09/05/2017
Drawn:	Scale:

A0

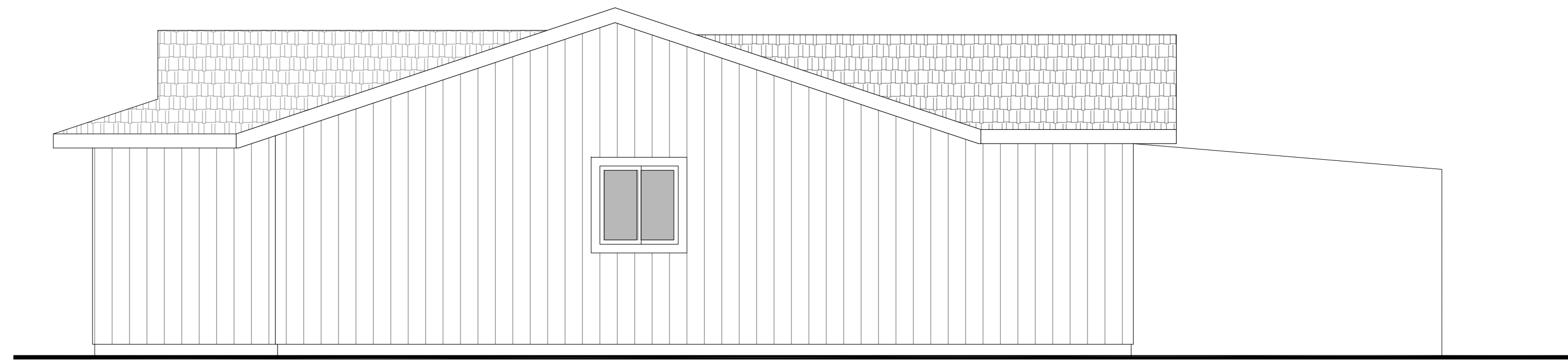
AREA DIAGRAMS SCALE 1/8"=1'-0"





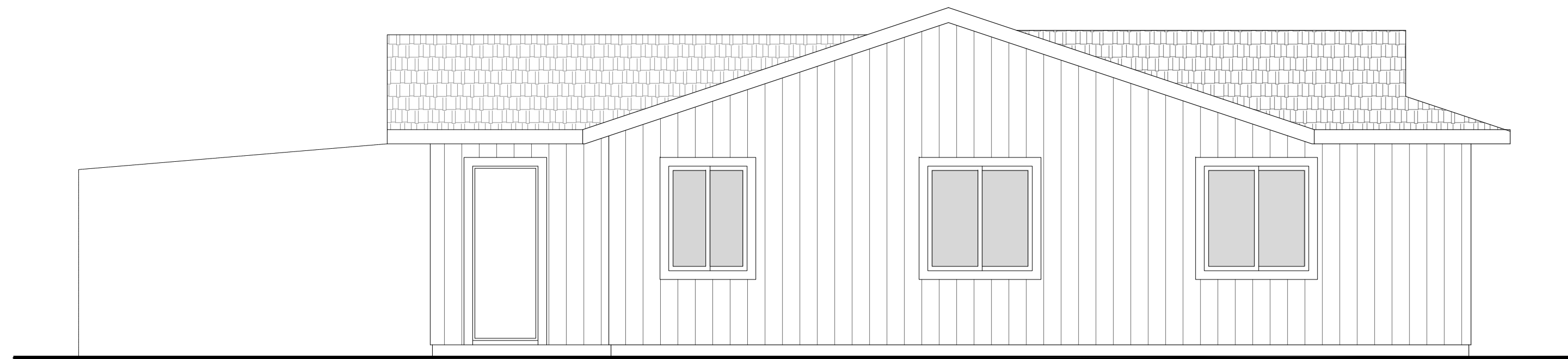
NOT TO SCALE

## PROPOSED SITE PLAN



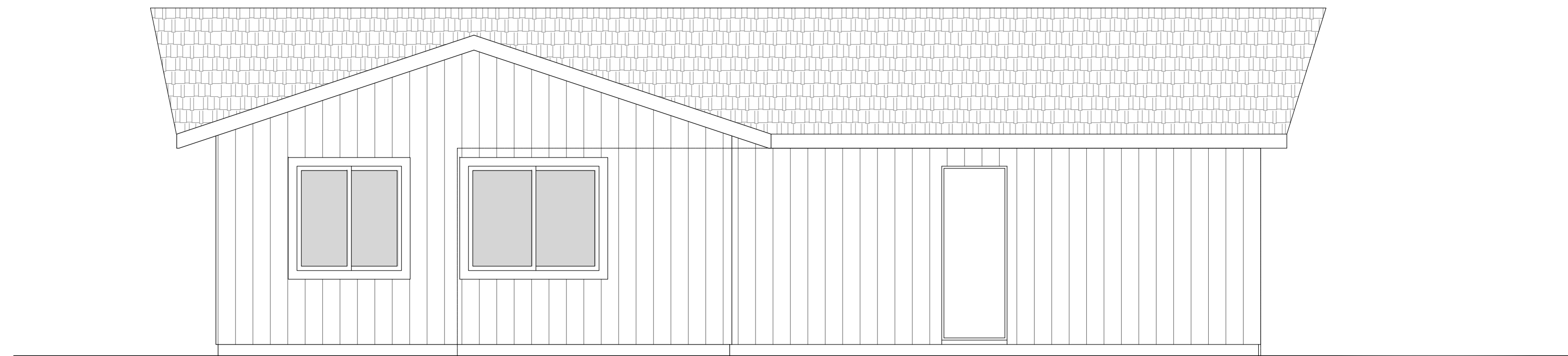
RIGHT (NORTH) ELEVATION

SCALE 1/4"=1'-0"



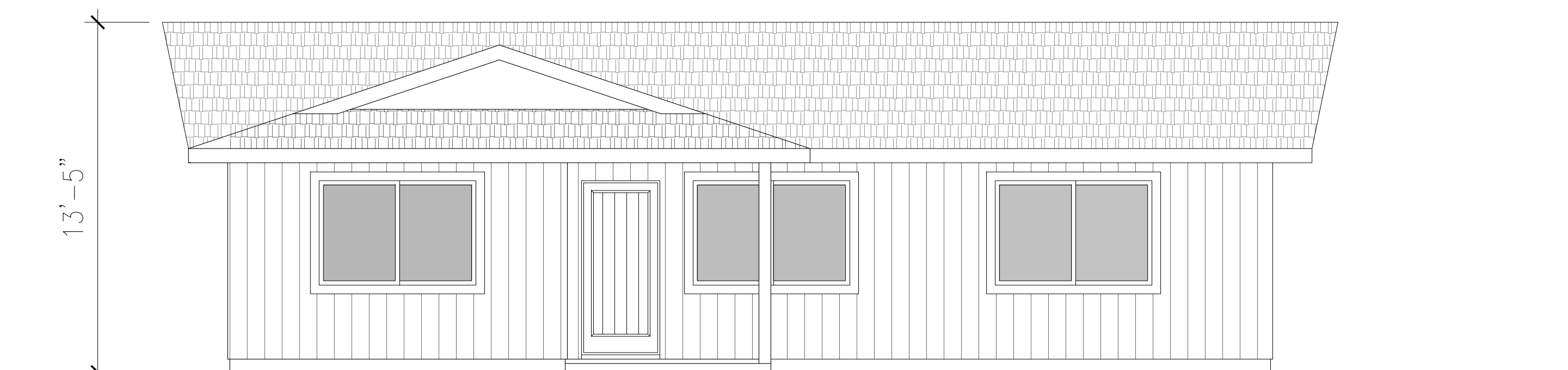
LEFT (SOUTH) ELEVATION

SCALE 1/4"=1'-0"



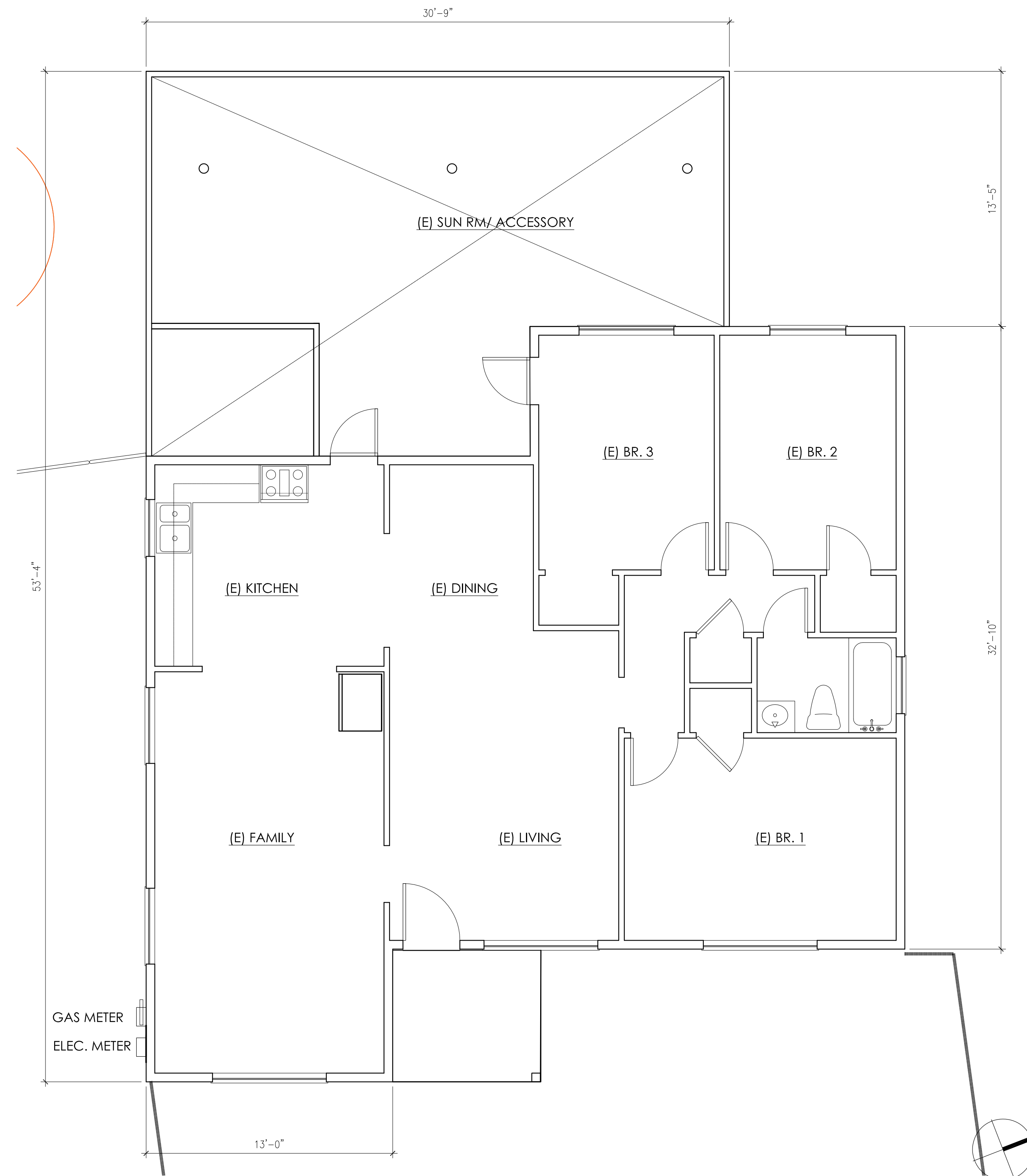
REAR (WEST) ELEVATION

SCALE 1/4"=1'-0"



FRONT (EAST) ELEVATION

SCALE 1/4"=1'-0"



### EXISTING FLOOR PLAN

SCALE 1/4"=1'-0"

**team2**  
architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597

Tel 925.676.9879  
design@t2arch.com

NEW HOME  
1441 NORMAN DRIVE  
SUNNYVALE, CA

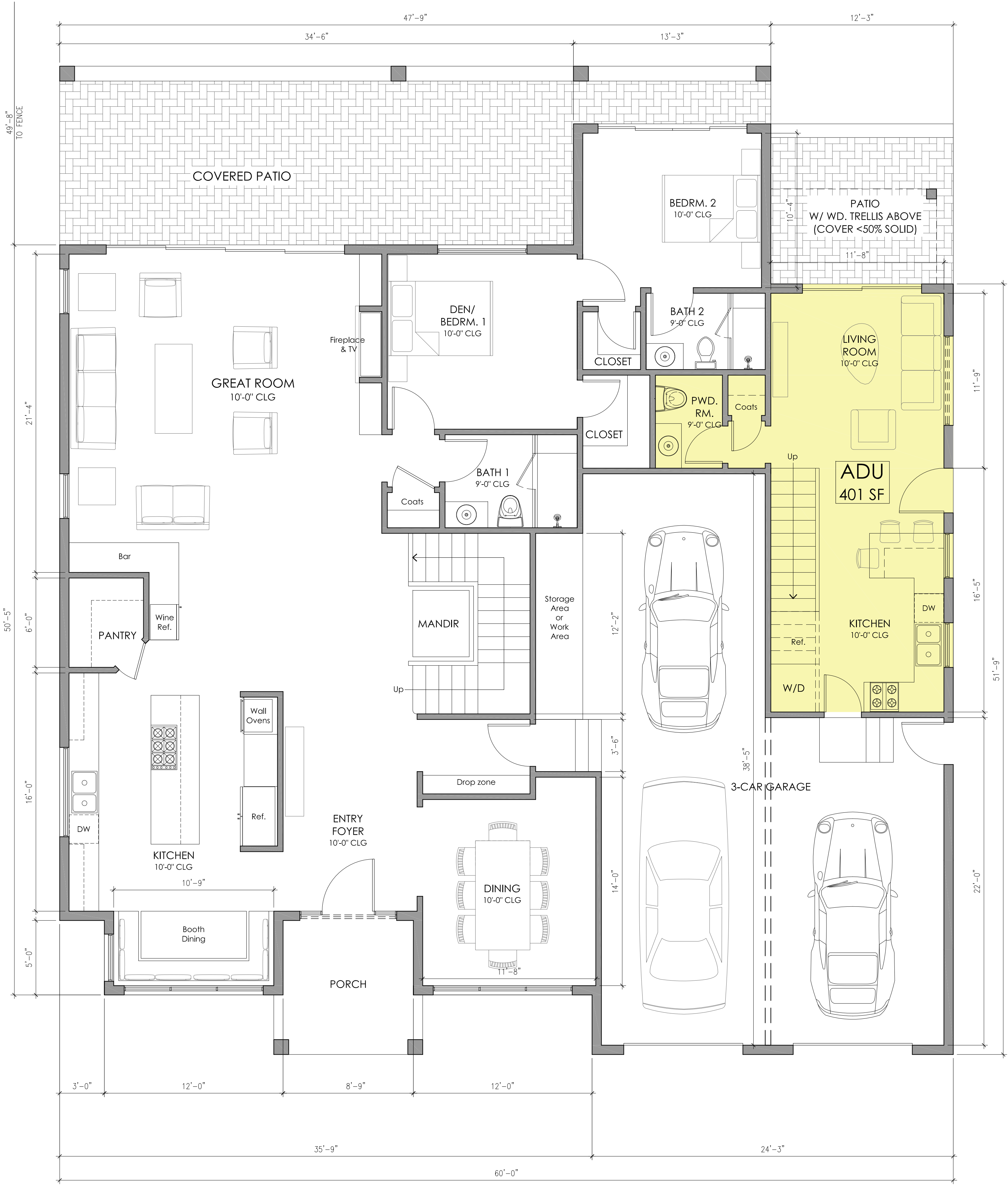
NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

## EXISTING FLOOR PLAN & ELEVATIONS

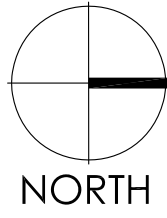
Project No:	Date: 09/05/2017
Drawn:	Scale:

A2



NOTE: SHADED AREA INDICATES AREA OF ACCESSORY DWELLING UNIT.

FIRST FLOOR PLAN



SCALE 1/4"=1'-0"

team2

architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597

Tel 925.676.9879  
design@t2arch.com

NEW HOME

1441 NORMAN DRIVE  
SUNNYVALE, CA

NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

PROPOSED  
FIRST FLOOR PLAN

Project No:

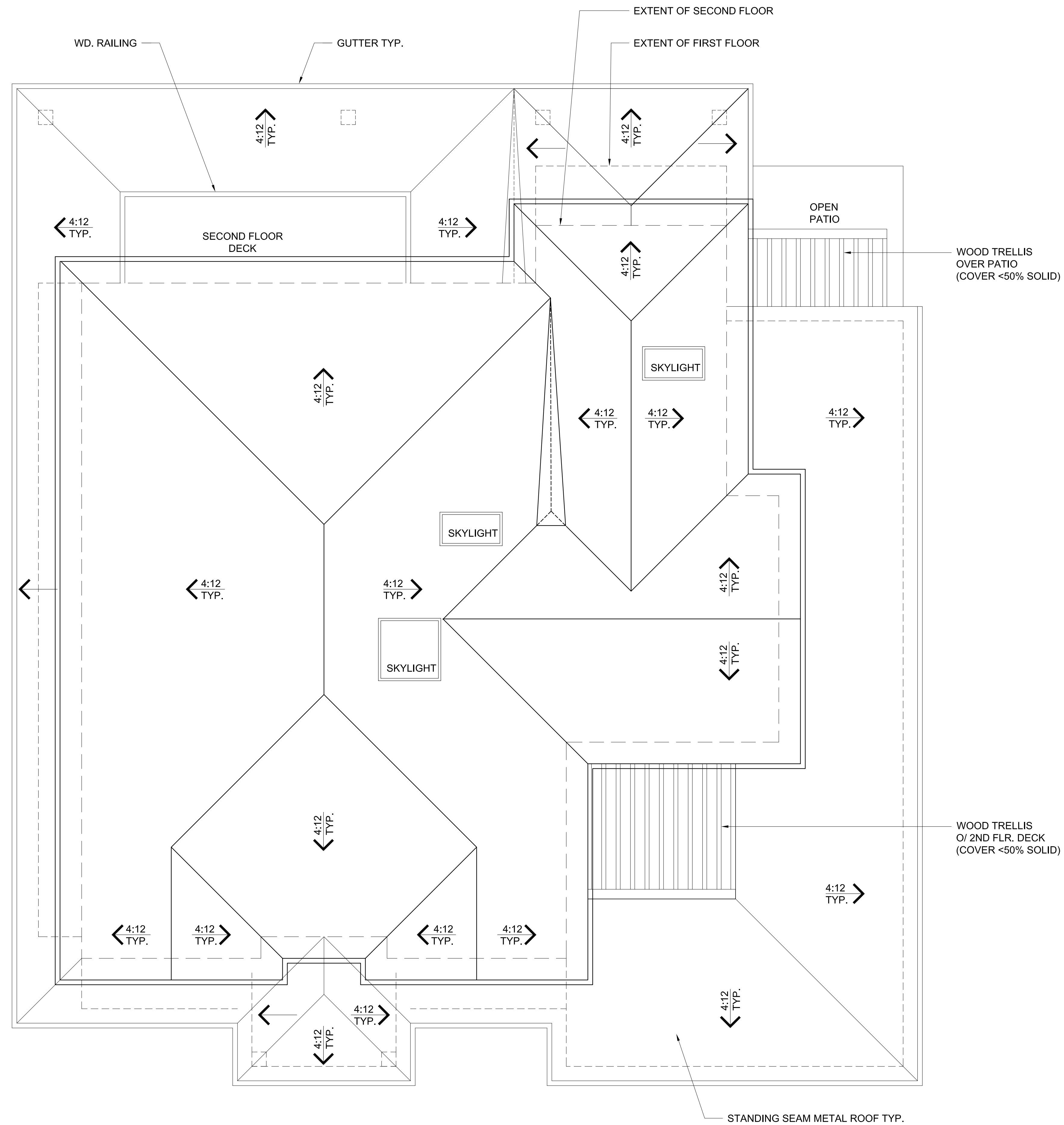
Date: 09/05/2017

Drawn:

Scale:

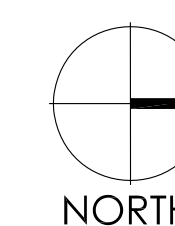
A2.1





NOTE: ALL SLOPED ROOFS ARE 4:12.  
SHADED AREA INDICATES SECOND STORY FOOTPRINT.

### PROPOSED ROOF PLAN



SCALE 1/4"=1'-0"

**team2**  
architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597

Tel 925.676.9879  
design@t2arch.com

NEW HOME  
1441 NORMAN DRIVE  
SUNNYVALE, CA

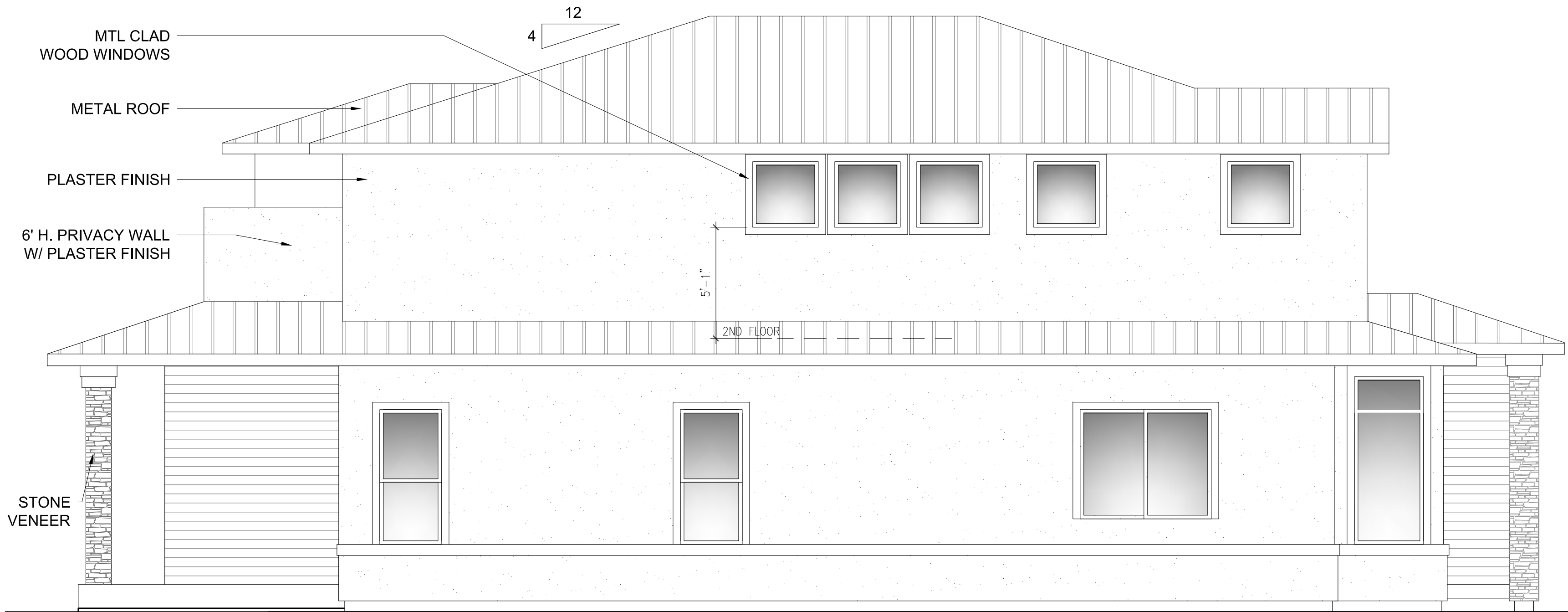
NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

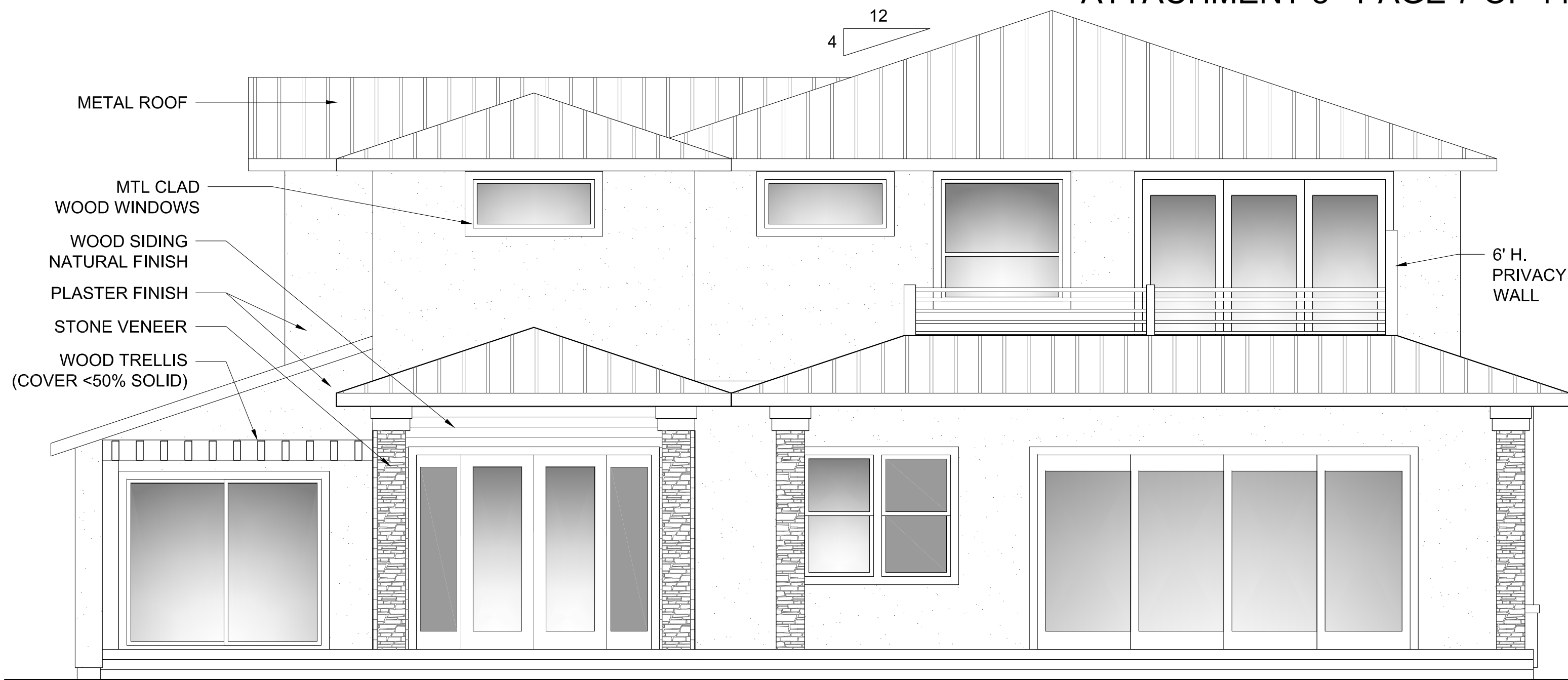
ROOF  
PLAN

Project No:	Date: 09/05/2017
Drawn:	Scale:

### A2.3

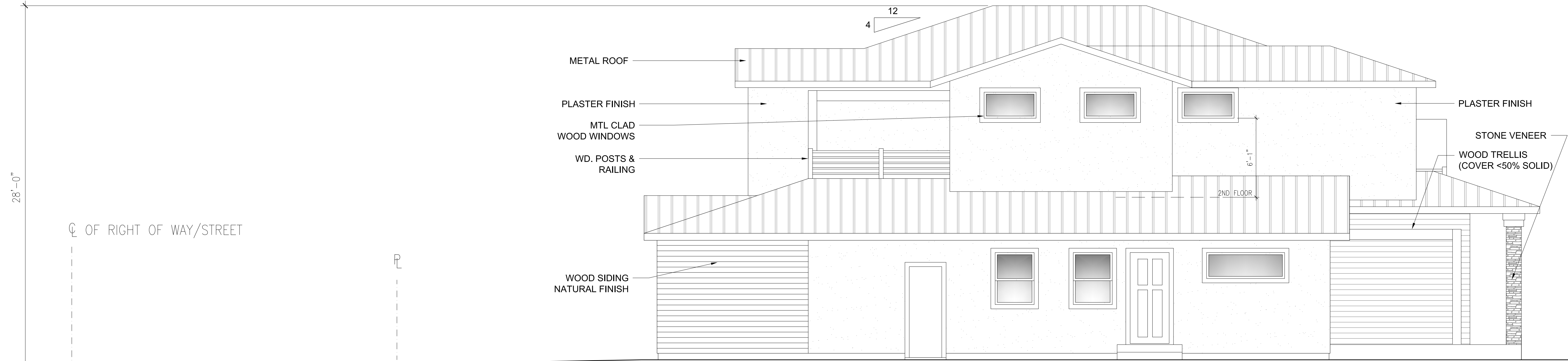


LEFT (SOUTH) ELEVATION



REAR (WEST) ELEVATION

SCALE 1/4"=1'-0"



RIGHT (NORTH) ELEVATION

**team2**  
architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597

Tel 925.676.9879  
design@t2arch.com

NEW HOME  
1441 NORMAN DRIVE  
SUNNYVALE, CA

NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

**PROPOSED  
ELEVATIONS**

Project No:	Date: 09/05/2017
Drawn:	Scale:

A3



FRONT (EAST) ELEVATION

SCALE 1/4"=1'-0"

**EXTERIOR FINISHES**

- ROOF:** STANDING SEAM METAL ROOF  
CUSTOM-BILT METALS  
COLOR: MIDNIGHT BRONZE
- PLASTER:** MERLEX STUCCO  
COLOR: ELDORADO  
FINISH: SEMI-SMOOTH
- SIDING:** WESTERN RED CEDAR  
TONGUE & GROOVE 6" PROFILE  
STAIN: CLEAR
- STONE VENEER:** EL DORADO STONE  
STACKED STONE  
COLOR: MOUNTAIN BLEND
- WINDOWS:** MARVIN  
ALUMINUM CLAD WOOD WINDOWS  
COLOR: LIBERTY BRONZE



1446



1440



1432

NORMAN DRIVE STREET PHOTOS (EAST FACING)



948 MARION WAY



1446 NAVARRO DRIVE



1447

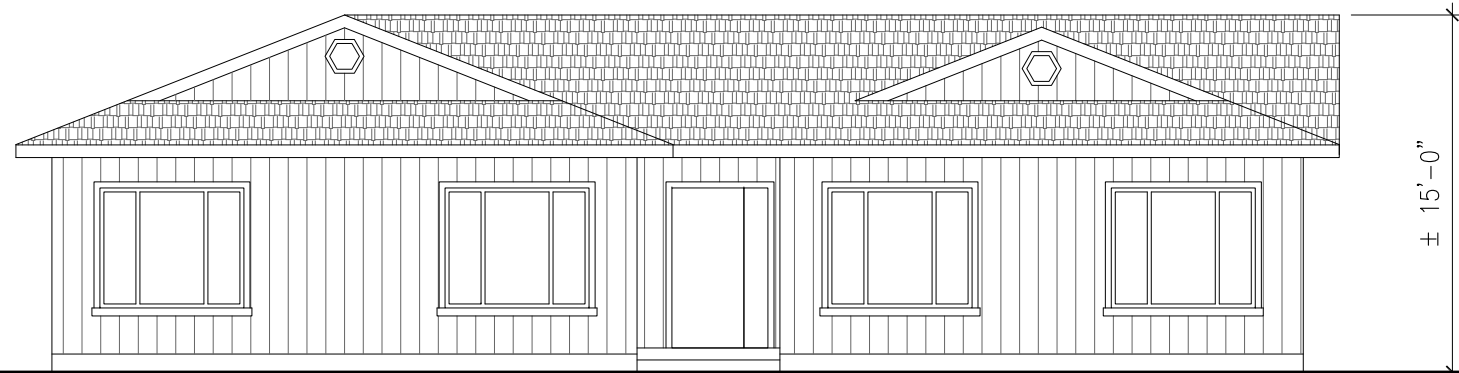


1441



1433

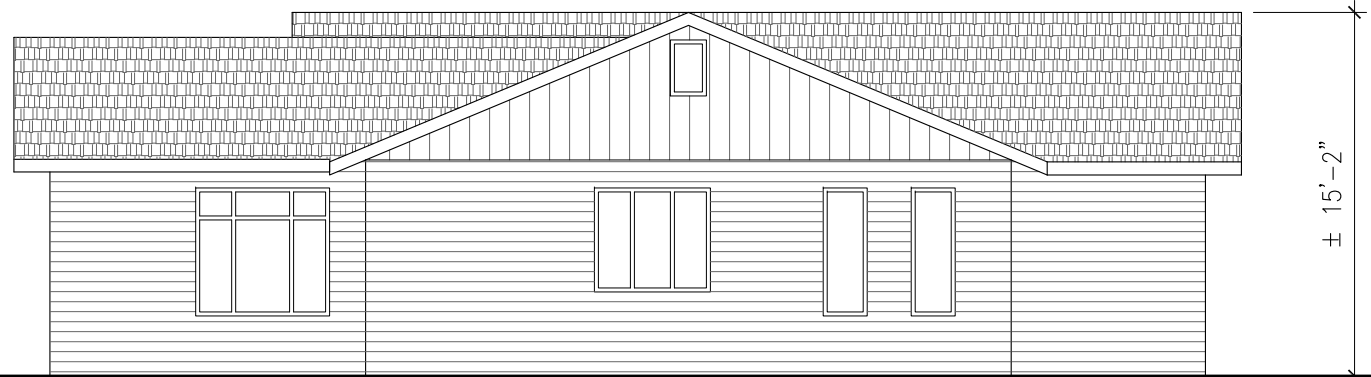
NORMAN DRIVE STREET PHOTOS (WEST FACING)



1447



1441  
(PROPOSED)



1433

NORMAN DRIVE STREET ELEVATION (WEST FACING)

SCALE 1/8"=1'-0"

**team2**  
architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597

Tel 925.676.9879  
design@t2arch.com

NEW HOME  
1441 NORMAN DRIVE  
SUNNYVALE, CA

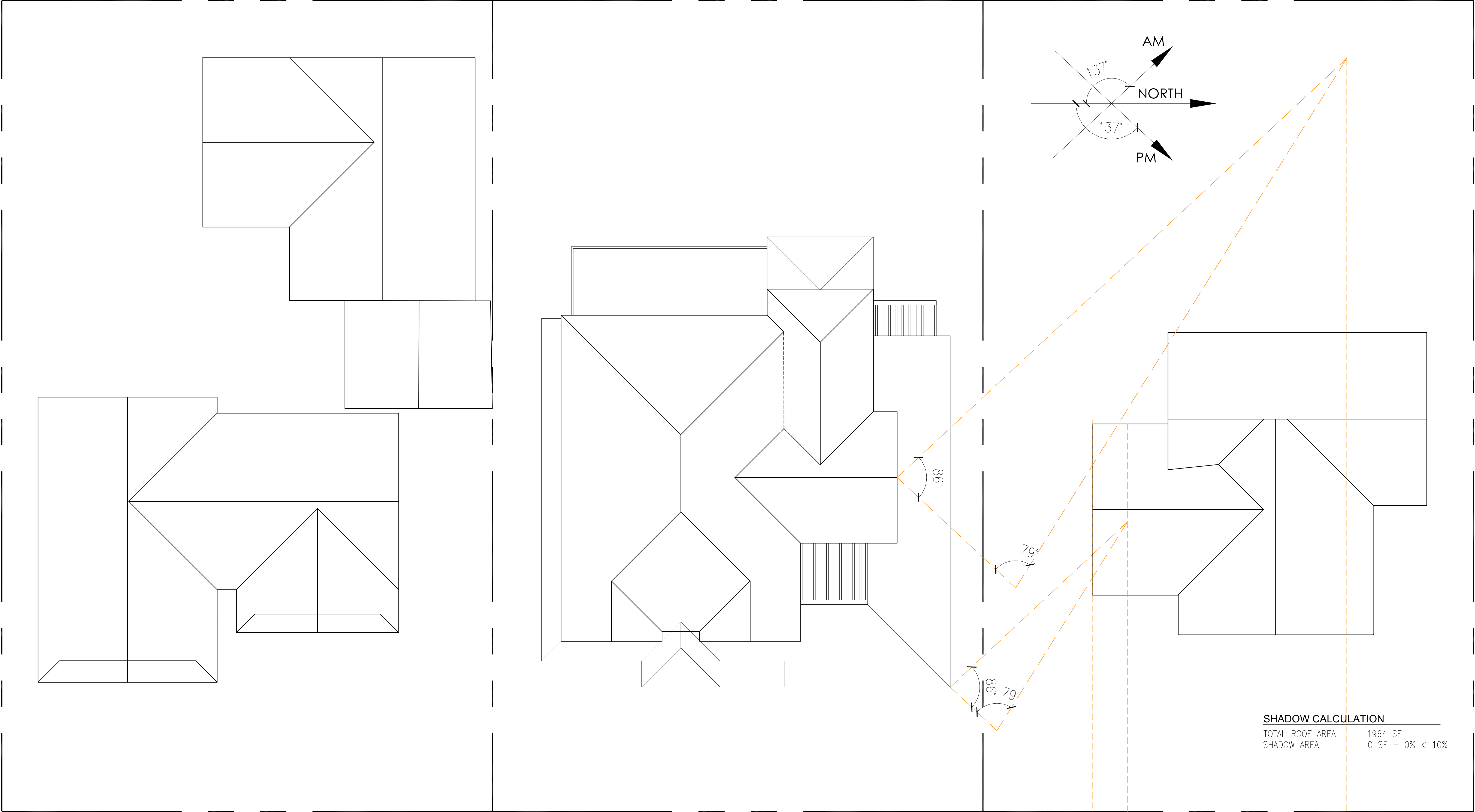
NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

**STREET ELEVATION  
& NEIGHBORHOOD  
CONTEXT**

Project No:	Date: 09/05/2017
Drawn:	Scale:

**A3.1**



SHADOW CALCULATION  
TOTAL ROOF AREA 1964 SF  
SHADOW AREA 0 SF = 0% < 10%



AM SHADOW ANALYSIS

SCALE 1/8"=1'-0"

**team2**  
architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597  
  
Tel 925.676.9879  
design@t2arch.com

NEW HOME

1441 NORMAN DRIVE  
SUNNYVALE, CA

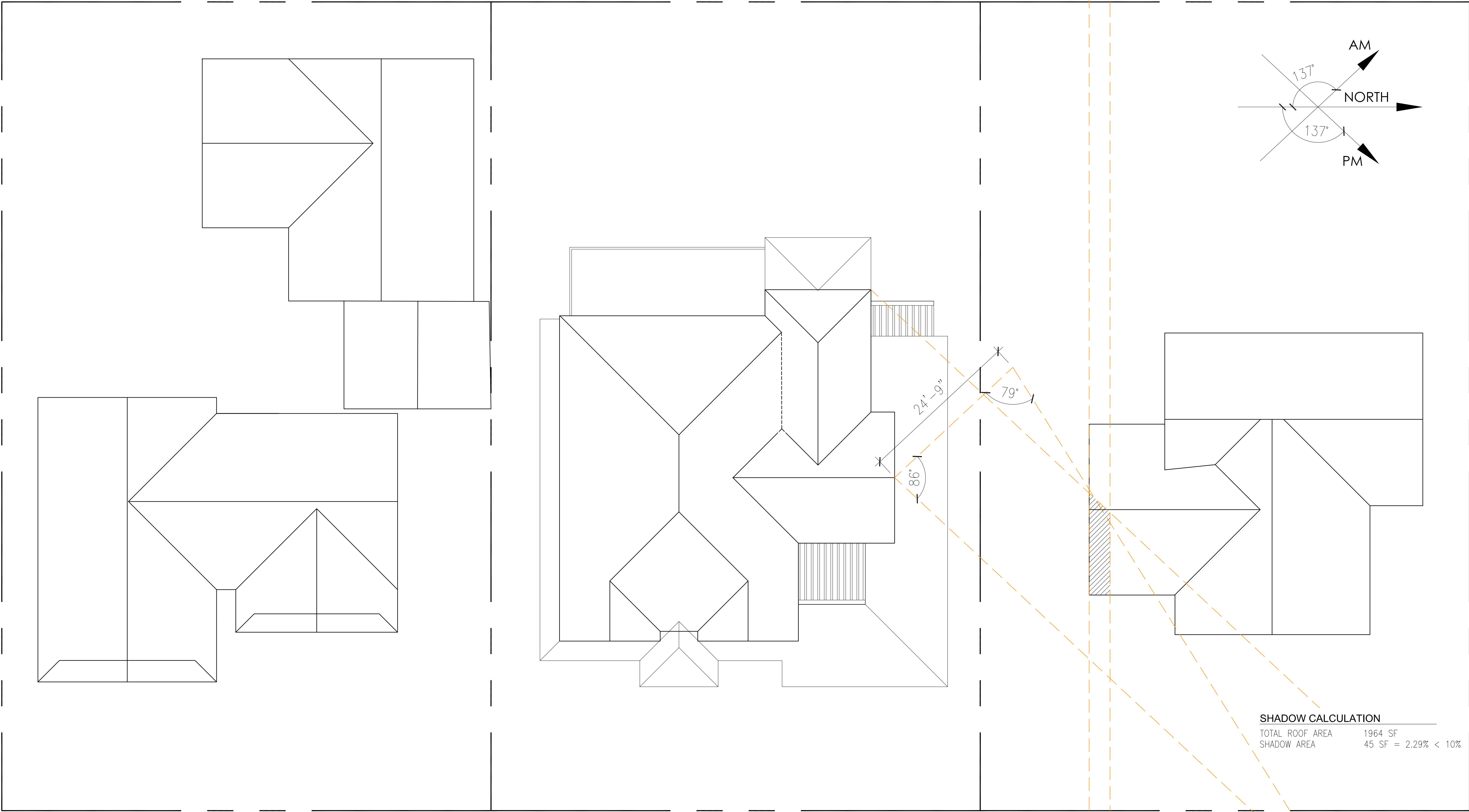
NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

SHADOW  
ANALYSIS  
AM

Project No:	Date: 09/05/2017
Drawn:	Scale:

A4.1



SHADOW CALCULATION  
TOTAL ROOF AREA 1964 SF  
SHADOW AREA 45 SF = 2.29% < 10%



PM SHADOW ANALYSIS

SCALE 1/8"=1'-0"

**team2**  
architecture + design

540 LENNON LANE, SUITE 5  
WALNUT CREEK, CA 94597  
  
Tel 925.676.9879  
design@t2arch.com

NEW HOME

1441 NORMAN DRIVE  
SUNNYVALE, CA

NIRMAL & NEHA SHARMA  
650-272-1709

Issue	Date
FINAL SCHEMATIC	01-17-2018
DESIGN REVIEW	03-01-2018
DESIGN REVIEW 2	04-30-2018
DESIGN REVIEW 3	06-13-2018

SHADOW  
ANALYSIS  
PM

Project No:

Date: 09/05/2017

Drawn:

Scale:

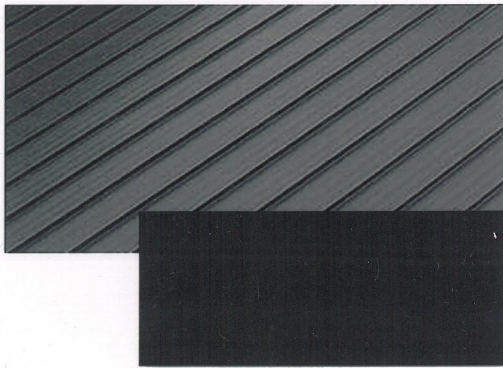
A4.2



1441 NORMAN DRIVE - SUNNYVALE

**ROOF**

STANDING SEAM METAL ROOF  
CUSTOM-BILT METALS  
COLOR: MIDNIGHT BRONZE

**WALL PLASTER FINISH**

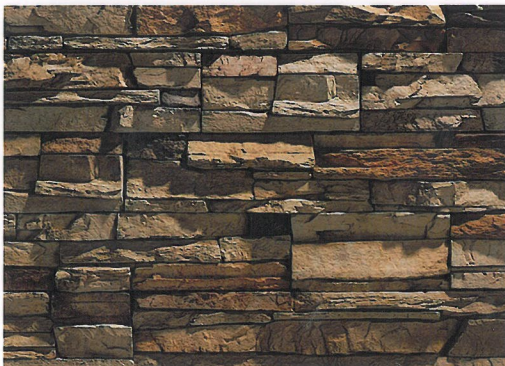
MERLEX STUCCO  
COLOR EL DORADO  
FINISH: SEMI-SMOOTH

**WALL SIDING FINISH**

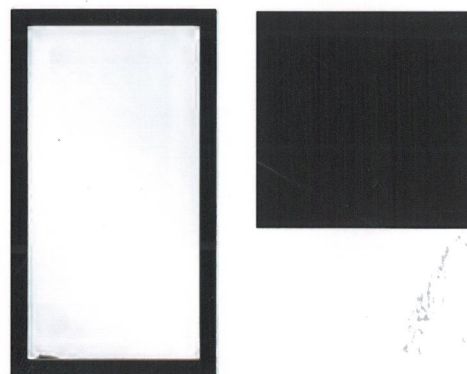
WESTERN RED CEDAR  
T & G, 6" PROFILE  
STAIN: CLEAR

**STONE VENEER**

EL DORADO STONE  
STACKED STONE  
COLOR: MOUNTAIN BLEND

**WINDOWS**

MARVIN - CONTEMPORARY  
ALUM. CLAD WOOD WINDOWS  
COLOR: LIBERTY BRONZE

**GARAGE DOOR**

CLOPAY- AVANTE  
ALUM. & GLASS DOOR  
FRAME COLOR: BRONZE





# City of Sunnyvale

## Agenda Item 3

---

18-0623

Agenda Date: 7/23/2018

---

### REPORT TO PLANNING COMMISSION

#### SUBJECT

**Proposed Project:** DESIGN REVIEW to allow a 498-square foot second-story addition to an existing 2,465-square foot two-story single-family home resulting in 2,963 square feet (2,603 square feet living area plus 360-square foot garage) and 58.6% FAR. Project includes removing a shed in the rear yard and in the side yard to meet the 40% lot coverage requirement.

**Location:** 863 San Pablo Ave. (APN: 205-04-040)

**File #:** 2017-7797

**Zoning:** R0

**Applicant / Owner:** Megan Miner Design (applicant) / Gursharanjit (Jit) Jagait

**Environmental Review:** A Class 1 (e) (1) Categorical Exemption relieves this project from the California Environmental Quality Act provisions. Class 1 (e) (1) Categorical Exemptions, Section 15301(e) include additions to existing structures resulting in no more than a 50% increase in floor area.

**Project Planner:** Teresa Zarrin, (408) 730-7429, tzarrin@sunnyvale.ca.gov

#### REPORT IN BRIEF

**General Plan:** Residential Low Density

**Existing Site Conditions:** Single-Family Residence

##### **Surrounding Land Uses**

**North:** Two-Story Single-Family Residence

**South:** One-Story Single-Family Residence

**East:** One and Two-Story Single-Family Residences

**West:** One-Story Single-Family Residence

**Issues:** Neighborhood Compatibility, Floor Area Ratio, Compliance with Single Family Home Design Techniques

**Staff Recommendation:** Approve the Design Review with the Conditions of Approval in Attachment 4.

#### BACKGROUND

##### Description of Proposed Project

The project site is 5,054 square feet in size and is currently occupied with a single-family, two-story home. The applicant proposes to add a two-story addition of 498 square feet to the existing 2,465-square foot two-story home. The original one-story home was built in 1956. A two-story addition was completed in 2017. This second addition to the second story is to provide additional space for a multi-generational extended family due to the rising cost of living in the Bay Area. The proposed two-story, single-family home would be a total of 2,963 square feet, including a 360-square foot garage and 58.6% floor area ratio (FAR). A Design Review permit is required for second-story additions to evaluate compliance with development standards and with the Single-Family Home Design

Techniques. Planning Commission review is required for homes that exceed 45% FAR.

See Attachment 1 - Vicinity and Noticing Maps and Attachment 2 - Project Data Table.

### **Previous Actions on the Site**

Design Review #2014-7236 approved a 497-square foot, two story addition resulting in 49% FAR. The building permit for that project was finalized on 12/9/2017.

### **DISCUSSION**

The project site is located on the west side of San Pablo Ave near East Ahwanee Ave. and US Hwy 101. The existing neighborhood is comprised of single-family residences, which were developed in the mid-1950s with Postwar Minimal homes. The overall neighborhood is mostly one-story homes; however, the house next door on the right and the house diagonally across the street are two-story homes. See Attachment 6 for a map of two-story homes in the vicinity. Most homes on San Pablo Avenue have two-car garages, some which are below the current 400-square foot requirement.

**Architecture** The second story addition is situated to the right and front of the existing second story. The addition balances the appearance of the second story with the proposed second story evenly distributed across the first story instead of the existing second story which is mostly on the left. The proposed second story addition matches the stucco exterior and existing roof of the existing first and second stories.

The staff finds the proposed architecture and building materials to be aesthetic and harmonious with the surrounding neighborhood because the new second story addition balances the appearance of the second story and has minimal impact on the adjoining neighbors. See Site and Architectural Plans in Attachment 8.

### **Development Standards**

The proposed project complies with the applicable development standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, parking, height, solar access and setbacks. The Project Data Table is in the Attachment 2.

**Floor Area Ratio** The current FAR of the home is 49%. The proposed 58.6% FAR requires Planning Commission review because it exceeds the 45% FAR threshold. The neighborhood contains mostly one-story homes with four, two-story residences on San Pablo Ave and five additional two-story homes nearby. See Attachment 6 - Two-Story Homes in the Vicinity.

The gross floor area of the homes on San Pablo Avenue ranges from 1,424 to 2,637 square feet, with the average of 1,726 square feet. The FARs on San Pablo Avenue range from 24% to 44% FAR with an average of 34%. The proposed gross floor area of 2,963 square feet and 58.6% FAR would make the home the largest on the block. The next largest home is the two-story home next door on the right with 2,637 square feet and 43% FAR. See Attachment 7 - Neighborhood FAR Data.

### **Neighborhood Compatibility**

The addition would make the house the largest house on the block; however, the design of the new second story addition minimizes the impact on the neighbors and streetscape because:

- The location of the addition is inside the L-shape of the existing second story;
- The second-story rear and left setbacks remain the same;
- The front extends only an additional 5 feet towards the street;

- The right side of the house extends an additional 9 feet to the right side.
- The front setback is a generous 34'9" when 25' is required

The new second story addition extends mostly to the right; however, the house on the right is also a two-story home with its second story portion on the left next to the new addition.

The proposed house is 23'2" in height, with 8-foot plate heights on both the first and second stories. The height is comparable to the height of the 21'10" two-story house next door on the right.

The exterior materials of composite shingle roof and stucco are compatible with the neighborhood. The 4:12 pitch hip roof matches the roof pitch of the existing home and other homes in the neighborhood.

### **Privacy Impacts**

There are no additional windows proposed on the left or right side elevations. There is one additional window on the rear elevation which has a 31-foot setback from the rear property line where 20 feet is allowed. This is an additional 11-foot setback compared to the existing second story. There are additional windows on the front elevation, but they do not affect the privacy of the neighbors.

**Second Floor Massing (proportion of first story to second story)** The City's Single Family Design Techniques suggest a second floor massing of up to 35% of the first floor when a neighborhood is predominantly single-story. Two of the immediate neighbors of the property are two-story homes and are located on the end of the block near Ahwanee Ave and Hwy 101. The adjacent neighbor on the right (869 San Pablo Ave.) has an approximate second story massing of 37% which was approved in 1975 prior to adoption of the City's current design guidelines. The addition on 869 San Pablo is a rectangle on the left side of the house which lacks integration with the first story. The second story massing on the diagonal neighbor at 868 San Pablo has 43% massing on an L-shaped second story that was built in 1992.

The second-story massing of the existing house is 25%. The proposed second story massing of the project home is 50%, however, the addition is placed to minimize the added mass by fitting it in to the L-shape of the existing second story and creating a more balanced appearance on the front elevation. The generous setbacks and location of the addition adjacent to the neighbor's second story also lessens the impact of the addition on the streetscape.

**Lot Coverage** The existing lot coverage shown on the plan is 44% which exceeds the maximum allowable lot coverage of 40%. The applicant has removed the 160-square foot side yard shed and will remove the 63-square foot rear yard shed prior to receiving a building permit final to achieve the maximum allowable lot coverage of 40%. See Condition of Approval PS-1 in Attachment 4.

**Solar** The Sunnyvale Municipal Code (SMC) Section 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The bulk of the addition is on the north side of the existing second story and is adjacent to the second story of the neighbor on the right so the addition has little additional solar impact on the neighbor. The shading of the neighbor on the right is 1.2% in the morning and 4.8% in the afternoon, which is less than the 10% maximum allowed.

**Garage** The legal non-conforming, 360-square foot garage does not meet the 400-square foot minimum currently required by code but has functioned as a two-car garage since it was built in the

mid-1950s. Of the 33 homes on San Pablo Avenue, 10 of the homes have garages with 360 square feet and two have no garages (converted with permits).

**Protected Trees** No protected trees are proposed to be removed as part of the application.

**Applicable Design Guidelines and Policy Documents** Staff considers the proposed home to be consistent with the adopted Single-Family Home Design Techniques regarding second story additions. It positively adds to the streetscape. The proposed second story massing of the home is 50%, however, the addition is placed to minimize the added mass by fitting it in to the L-shape of the existing second story and creating a more balanced appearance on the front elevation. The project is also located adjacent to two other two-story homes. The generous setbacks and location of the addition adjacent to the neighbor's second story also helps lessens the impact of the addition on the streetscape. The exterior materials of stucco and composition shingle roofing match the existing house and are compatible with the neighborhood.

Staff has included findings for the Single-Family Home Design Techniques in Attachment 3.

**FISCAL IMPACT**

No fiscal impacts other than normal fees and taxes are expected.

**PUBLIC CONTACT**

**Notice of Public Hearing**

- Published in the Sun newspaper
- Posted on the site
- 65 notices mailed to property owners and residents within 300 feet of the project site

**Staff Report**

- Posted on the City's website
- Provided at the Reference Section of the City's Public Library

**Agenda**

- Posted on the City's official notice bulletin board
- Posted on the City's website

**Public Comments:** As of the date of staff report preparation, staff has received no comments from the neighbors. See Attachment 5 - Letter from Applicant.

**ALTERNATIVES**

1. Approve the Design Review with the Conditions of Approval in Attachment 4.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

**STAFF RECOMMENDATION**

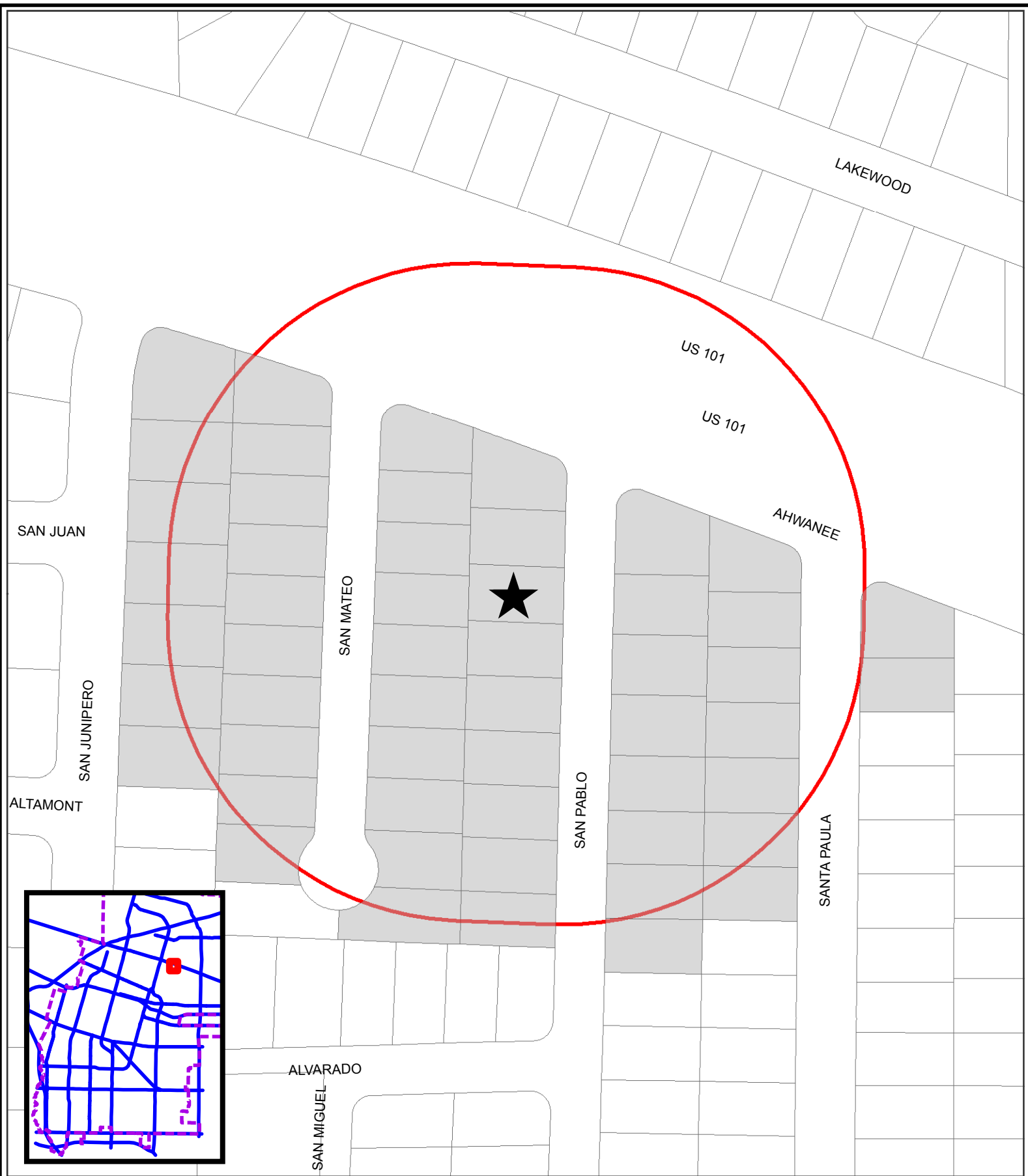
Recommend Alternative 1 in accordance with the Recommended Findings in Attachment 3 and Conditions of Approval in Attachment 4.

Prepared by: Teresa Zarrin, Associate Planner

Approved by: Gerri Caruso, Principal Planner

**ATTACHMENTS**

1. Vicinity and Noticing Map
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Letter from Applicant
6. Two-Story Homes in the Vicinity
7. Neighborhood FAR Data
8. Site and Architectural Plans



2018-7797  
 863 San Pablo Ave (APN: 205-04-040)  
 DESIGN REVIEW  
 300-ft Area Map

0 40 80 160 Feet



**PROJECT DATA TABLE**

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
<b>General Plan</b>	Residential Low Density	Same	-
<b>Zoning District</b>	R-0	Same	-
<b>Lot Size (s.f.)</b>	5,054	Same	6,000 min.
<b>Lot Width (linear ft.)</b>	55'	Same	57'
<b>Gross Floor Area (s.f.)</b>	2,465	2,963	3,600 <sup>1</sup>
<b>Lot Coverage (%)</b>	44 (2,211 s.f.)	39 (1,988 s.f.)	40 max.
<b>Floor Area Ratio (FAR) (%)</b>	53%	59%	45 <sup>1</sup>
<b>Building Height (ft.)</b>	20'2"	23'2"	30' max.
<b>No. of Stories</b>	Two	Two	Two max.
<b>Setbacks (Facing Property)</b>			
<b>Front (ft.)</b> 1 <sup>st</sup> Floor 2 <sup>nd</sup> Floor	20'2" 39'10"	20'2" 34'9"	20' min. 25' min.
<b>Left Side (ft.)</b> 1 <sup>st</sup> Floor 2 <sup>nd</sup> Floor	5'2" 8'2"	5'2" 8'2"	4' min. 7' min.
<b>Right Side (ft.)</b> 1 <sup>st</sup> Floor 2 <sup>nd</sup> Floor	9'10" 20'8"	9'10" 11'11"	7' min. 10' min.
<b>Side Total (ft.)</b> 1 <sup>st</sup> Floor 2 <sup>nd</sup> Floor	15' 28'10"	15' 20'1"	11' min. 17' min.
<b>Rear (ft.)</b> 1 <sup>st</sup> Floor 2 <sup>nd</sup> Floor	20'5" 20'5"	20'5" 20'5"	20' min. 20' min.
<b>Parking</b>			
<b>Total Spaces</b>	4	4	4 min.
<b>Covered Spaces</b>	2	2	2 min.

<sup>1</sup> Threshold for Planning Commission review.

**RECOMMENDED FINDINGS****Design Review**

The proposed project is desirable in that the project's design and architecture complies with the policies and principles of the Single Family Home Design Techniques.

<b>Basic Design Principle</b>	<b>Comments</b>
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed house will maintain its home orientation toward the street and the entry will remain consistent with the existing residence and adjacent neighbors. <b>Finding Met</b>
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	While the proposed two-story house increases the floor area, the placement of the addition, the generous setbacks, and the location of the addition next to adjacent two-story house on the right help minimize the visual impact of the proposed project on the streetscape. <b>Finding Met</b>
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed design respects the privacy of the adjacent neighbors. There are no new windows on the side elevations. The new window in the rear is 31' from the rear property line. The roof pitch and material is compatible with the immediate neighbors. The generous setbacks reduce the impact of the mass of the addition. <b>Finding Met</b>
<i>2.2.4 Minimize the visual impacts of parking.</i>	The project meets the parking requirement. <b>Finding Met</b>
<i>2.2.6 Use high quality materials and craftsmanship</i>	The traditional stucco exterior and composite roof of the proposed addition blends well with the neighborhood. <b>Finding Met</b>
<i>2.2.7 Preserve mature landscaping</i>	No protected trees will be removed as part of this project. <b>Finding Met</b>

---

**RECOMMENDED  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
JULY 23, 2018**

**Planning Application 2017-7797**

863 San Pablo Ave.

**Design Review** Allow a 498 sq. ft. second-story addition to an existing 2,465 sq. ft., two-story single-family home resulting in 2,963 sq. ft. (2,603 living area plus 360 garage) and 58.6% FAR. Project includes removing a shed in the rear yard and in the side yard to meet the 40% lot coverage requirement.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

<b>GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.</b>
--

**GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:**

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

**GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:**

- 
- The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to the expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]
- GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION:  
The entitlements shall expire if discontinued for a period of one year or more. [SDR] [PLANNING]
- GC-4. INDEMNITY:  
The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]
- GC-5. NOTICE OF FEES PROTEST:  
As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING/OCA]
- GC-6. ENCROACHMENT PERMIT:  
Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

<p><b>PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.</b></p>
---

- 
- PS-1      **SHEDS:**  
Any remaining sheds shall be removed achieve less than 40% lot coverage.
- PS-2      **FIRE SPRINKLERS:**  
The entire house will require fire sprinklers since the prior addition of 497 sq. ft., plus the new addition of 498 sq. ft., totals more than 50% of the existing 1,608 sq. ft. prior to the first addition. To waive the requirement, one year must pass after the current building permit (#2016-1650) was finalized on 12/9/2017 before obtaining the building permit for the current application (DR #2017-7797). [COA] [FIRE SAFETY]
- PS-3      **EXTERIOR MATERIALS REVIEW:**  
Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

**BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

- BP-1.      **CONDITIONS OF APPROVAL:**  
Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]
- BP-2.      **RESPONSE TO CONDITIONS OF APPROVAL:**  
A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]
- BP-3.      **NOTICE OF CONDITIONS OF APPROVAL:**  
A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number, attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

---

For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are the person(s) who have signed the Notice of Conditions of Approval. [COA] [PLANNING]

**BP-4. BEST MANAGEMENT PRACTICES - STORMWATER:**

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
  - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
  - ii) Dumpster drips from covered trash and food compactor enclosures.
  - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
  - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
  - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

**BP-5. DEMOLITION/CONSTRUCTION/RECYCLING WASTE REPORT FORM:**

To mitigate the impacts of large projects on local waste disposal and recycling levels, demolition, waste weights/volumes, construction weights/volumes, and recycling weights/volumes are to be reported to the City, per City's "waste & recycling reporting form" (electronic copy available) or a similar chart approved by the City. As part of the project's

- 
- construction specifications, the developer shall track the type, quantity, and disposition of materials generated, and forward a complete report to the Department of Environmental Services, Solid Waste Division both periodically and at project completion. [COA] [ENVIRONMENTAL SERVICES]
- BP-6. CONSTRUCTION MATERIAL AND STAGING:  
All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-way or public easements. [COA] [PUBLIC WORKS]

<b>EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.</b>
---

- EP-1. UPGRADE OF EXISTING PUBLIC IMPROVEMENTS:  
As part of the encroachment permit review and approval, any existing public improvements to be re-used by the project, which are not in accordance with current City standards and are not specifically identified in the herein project conditions (such as water meters, cleanouts, etc.), shall be upgraded to current City standards and as required by the Department of Public Works. [COA] [PUBLIC WORKS]
- EP-2. UTILITY CONNECTION:  
This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]
- EP-3. DRY UTILITIES:  
Submit dry utility plans and/or joint trench plans (PG&E, telephone, cable TV, fiber optic, etc.) to the Public Works Department for review and approval prior to the issuance of any permits for utility work within any public right-of-way or public utility easements. Separate encroachment permits shall be required for various dry utility construction. [SDR] [PUBLIC WORKS]
- EP-4. WET UTILITIES:  
All wet utilities (water, sanitary sewer) on private property shall be privately owned and maintained. The domestic water system shall be privately owned and maintained beyond the meter. [COA] [PUBLIC WORKS]
- EP-5. SEWER CLEANOUT:  
Install new sewer cleanout at the street right-of-way line for proposed sanitary sewer lateral used for the project. Sheet A-0 of Site Plan dated

---

03/01/18 is subject to change during plan check process. [SDR]  
[PUBLIC WORKS]

EP-6. UTILITY METER/VAULT:

No existing or new utility meters or vaults shall be located within the driveway approach. All existing or new utility vaults serving the project site shall be located on-site and not within the public utility easement. [COA] [PUBLIC WORKS]

EP-7. TRAFFIC CONTROL PLAN:

Submit a traffic control plan with the encroachment permit for review and approval. Per the City's Temporary Traffic Control Checklist, the traffic control plan shall include a summary of the traffic control types, dates, times and blocks affected. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris. [COA] [PUBLIC WORKS]

EP-8. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:

Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]

**PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.**

PF-1. COMPLETION OF PUBLIC IMPROVEMENTS:

Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy. [COA] [PUBLIC WORKS]

**DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.**

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

---

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.

d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

July 15, 2018  
Planning Department  
426 West Olive Avenue  
Sunnyvale, California 94088

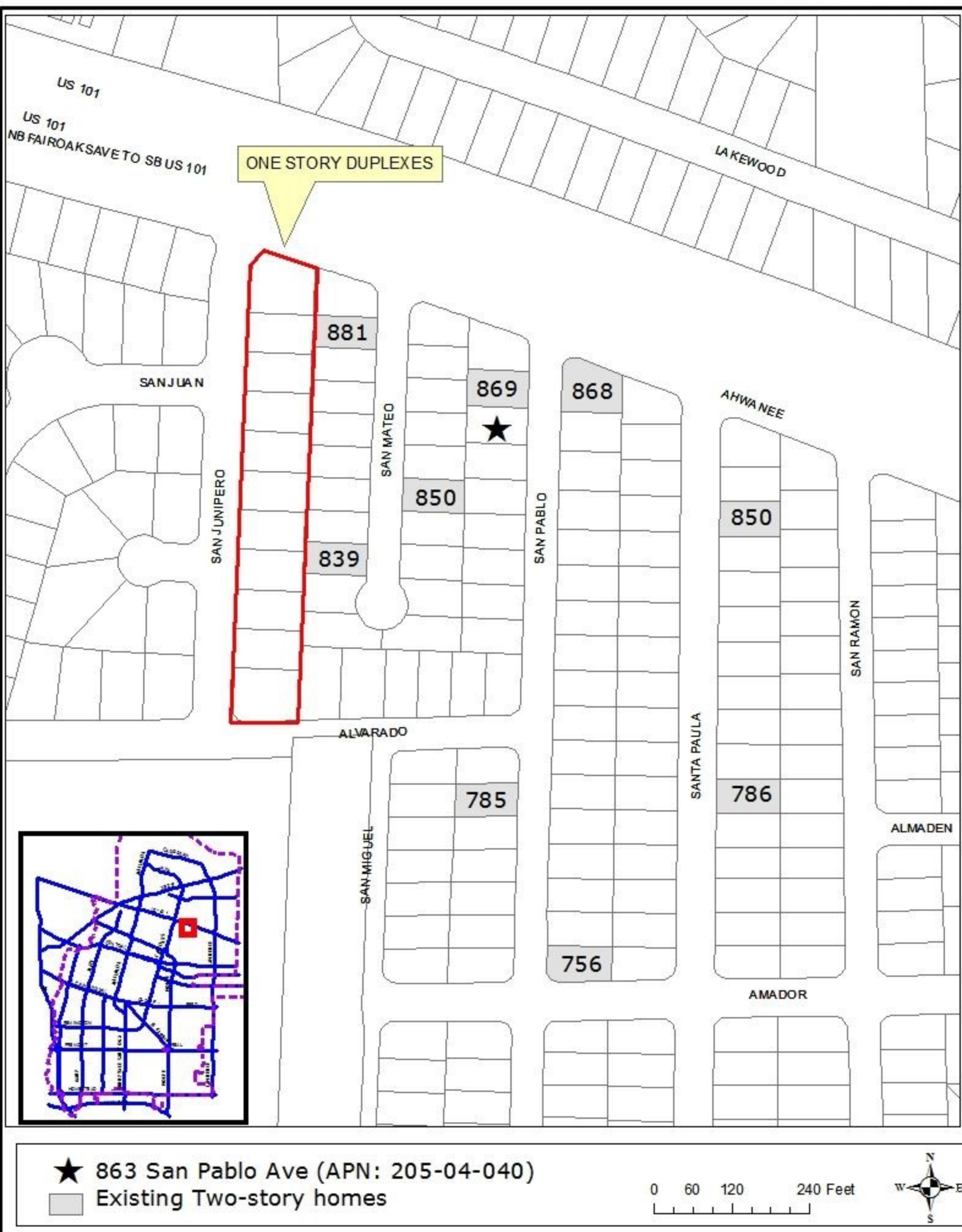
Re: Jagait Residence  
863 San Pablo Ave  
Sunnyvale, CA  
Project: 2017-7797

To whom it may concern,

The Home addition being proposed was designed keeping the neighbors and neighborhood in mind. The addition proposed in the north of the existing residence is designed to minimize the solar and visual impact on the neighbors and streetscape. Our primary reason for the addition is that my younger son is planning to marry soon. Being an Indian family that traditionally lives together and also due to the rising cost of living in the Bay Area, we decided as a family that it would be best for my both sons and daughters-in-law to continue living at this residence, rather than finding a place of their own. Total number of residents living here is now 6 (myself, my wife, my mother, my 2 sons, and my daughter-in-law). After my younger son gets married, we will be seven family members and the living space would become somewhat constricted. Therefore, we felt the proposed addition was necessary.

Best Regards.

Jit Jagait



## 863 San Pablo Dr – Neighborhood FAR

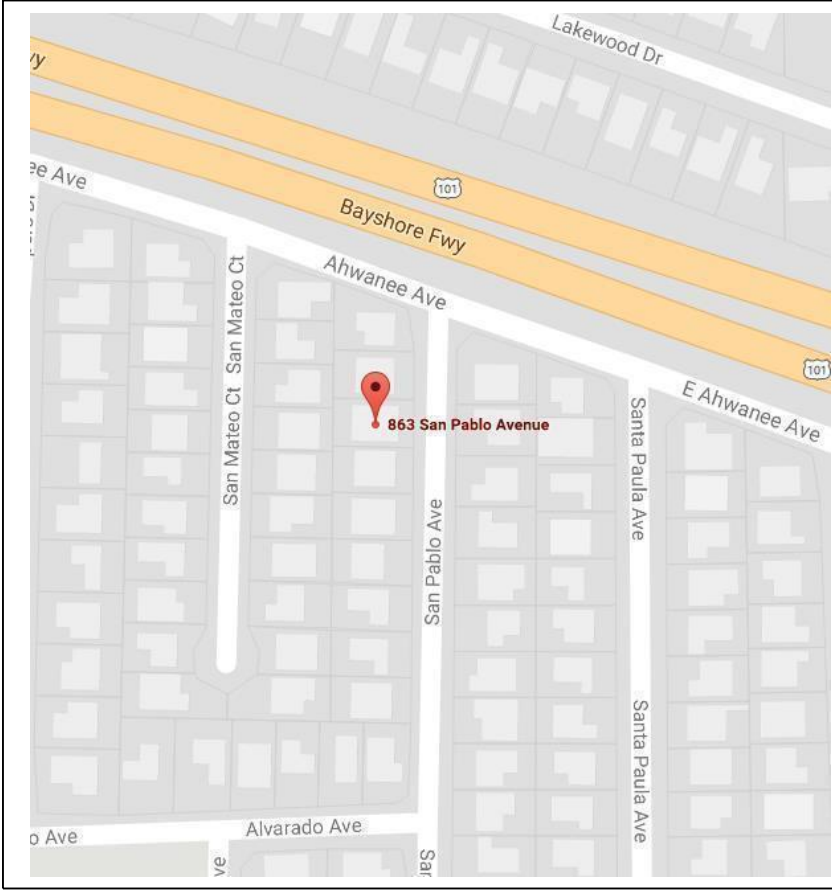
APN	Address			Zoning	Lot Size (s.f.)	House Size (s.f.)	FAR(%)
20504038	875	San Pablo	Av	R0	5,850	1,424	24
20504039	869	San Pablo	Av	R0	5,040	2,144	43
<b>20504040</b>	<b>863</b>	<b>San Pablo</b>	<b>Av</b>	<b>R0</b>	<b>5,005</b>	<b>2,963</b>	<b>59</b>
20504041	857	San Pablo	Av	R0	5,060	2,013	40
20504042	851	San Pablo	Av	R0	4,929	2,075	42
20504043	845	San Pablo	Av	R0	5,022	1,449	29
20504044	839	San Pablo	Av	R0	5,076	1,664	33
20504045	833	San Pablo	Av	R0	5,035	1,521	30
20504046	827	San Pablo	Av	R0	5,088	1,964	39
20504047	839	Alvarado	Av	R0	3,818	1,664	44
20504048	791	San Pablo	Av	R0	5,292	1,969	37
20504049	785	San Pablo	Av	R0	4,900	1,933	39
20504050	779	San Pablo	Av	R0	4,950	1,521	31
20504051	773	San Pablo	Av	R0	4,950	1,424	29
20504052	767	San Pablo	Av	R0	5,000	1,664	33
20504053	761	San Pablo	Av	R0	5,000	1,521	30
20504054	755	San Pablo	Av	R0	5,400	1,521	28
20505018	756	San Pablo	Av	R0	5,247	1,784	34
20505019	762	San Pablo	Av	R0	5,148	1,521	30
20505020	768	San Pablo	Av	R0	5,096	1,830	36
20505021	774	San Pablo	Av	R0	4,214	1,914	45
20505022	780	San Pablo	Av	R0	5,247	1,782	34
20505023	786	San Pablo	Av	R0	5,194	1,521	29
20505024	792	San Pablo	Av	R0	5,141	1,521	30
20505025	814	San Pablo	Av	R0	5,141	1,424	28
20505026	820	San Pablo	Av	R0	5,115	1,521	30
20505027	826	San Pablo	Av	R0	5,184	1,664	32
20505028	832	San Pablo	Av	R0	5,184	1,521	29
20505029	838	San Pablo	Av	R0	5,130	1,438	28
20505030	844	San Pablo	Av	R0	5,225	1,697	32
20505031	850	San Pablo	Av	R0	5,640	1,521	27
20505032	856	San Pablo	Av	R0	5,580	1,686	30
20505033	862	San Pablo	Av	R0	4,650	1,521	33
20505034	868	San Pablo	Av	R0	6,882	2,386	35
					<b>Average</b>	<b>1726</b>	<b>34</b>
Data sourced from County Assessor's Office - 6/2018							

APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

2016 CALIF. FIRE CODE  
2016 CALIF. BLDG CODE  
2016 CALIF. RESIDENTIAL CODE  
2016 CALIF. MECH. CODE  
2016 CALIF. PLUMB'G CODE  
2016 CALIF. ELEC. CODE  
2016 CALIF. ENERGY CODES  
2016 CALIF. GREEN BUILDING CODES  
ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

VICINITY MAP



A REMODEL FOR  
**JAGAIT RESIDENCE**  
MEGAN MINER

PERSONAE

**OWNER**  
JAGAIT RESIDENCE  
863 SAN PABLO AVE.  
SUNNYVALE, CA 94085

**STRUCTURAL ENGINEER**  
MHA CONSULTING ENGINEERS  
1629 WRIGHT AVE.  
SUNNYVALE, CA. 94087  
(408) 735-1524

**DESIGNER**  
MEGAN MINER DESIGN  
MEGAN MINER  
18488 PROSPECT RD. #15  
SARATOGA, CA 95070  
(408) 396-0951

**TITLE 24**  
JOSH MINER  
2288 INCARUS DR.  
HERDFORDSON NV. 89704  
(408) 394-6882

GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MEGAN MINER DESIGN PRIOR TO COMMENCING.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN: 5% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE & LANDSCAPED AREA & SLOPE GRADE 2% MIN. & PAVED AREAS.

ALL WORK, APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIFLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.

ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. MIN. 4" HIGH X 1" WIDE PER CRC R319.

DUCT OPENING COVERED AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION

VOC COMPLIANCE - CAULKS, SEALANTS, ADHESIVES, COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER COMPOUNDS (TABLE 4.504.1)

PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4.504.3)

AEROSOLS AND COATINGS COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS

VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS

VOC COMPLIANCE - CARPET & CARPET SYSTEMS

80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC-EMISSION LIMITS PER CHPS

PARTICLEBOARD, MDF, HARDWOOD, PLYWOOD COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (TABLE 4.504.5)

MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

BATHROOM EXHAUST FANS TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL

DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING:  
1. ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J  
2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ ACCA MANUAL D-2009  
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA MANUAL S-2004  
HVAC INSTALLERS TRAINED AND CERTIFIED

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MEGAN MINER DESIGN, AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MEGAN MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MEGAN MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MEGAN MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MEGAN MINER DESIGN.

ANALYSIS

ASSESSOR'S PARCEL # 205-040-40  
LOT AREA: 5,054 S.F.  
ZONING: V-B  
TYPE OF CONSTRUCTION: R-3, U  
OCCUPANCY RATING: SINGLE FAMILY RES.  
EXISTING USE: FLAT LOT  
SLOPE OF LOT

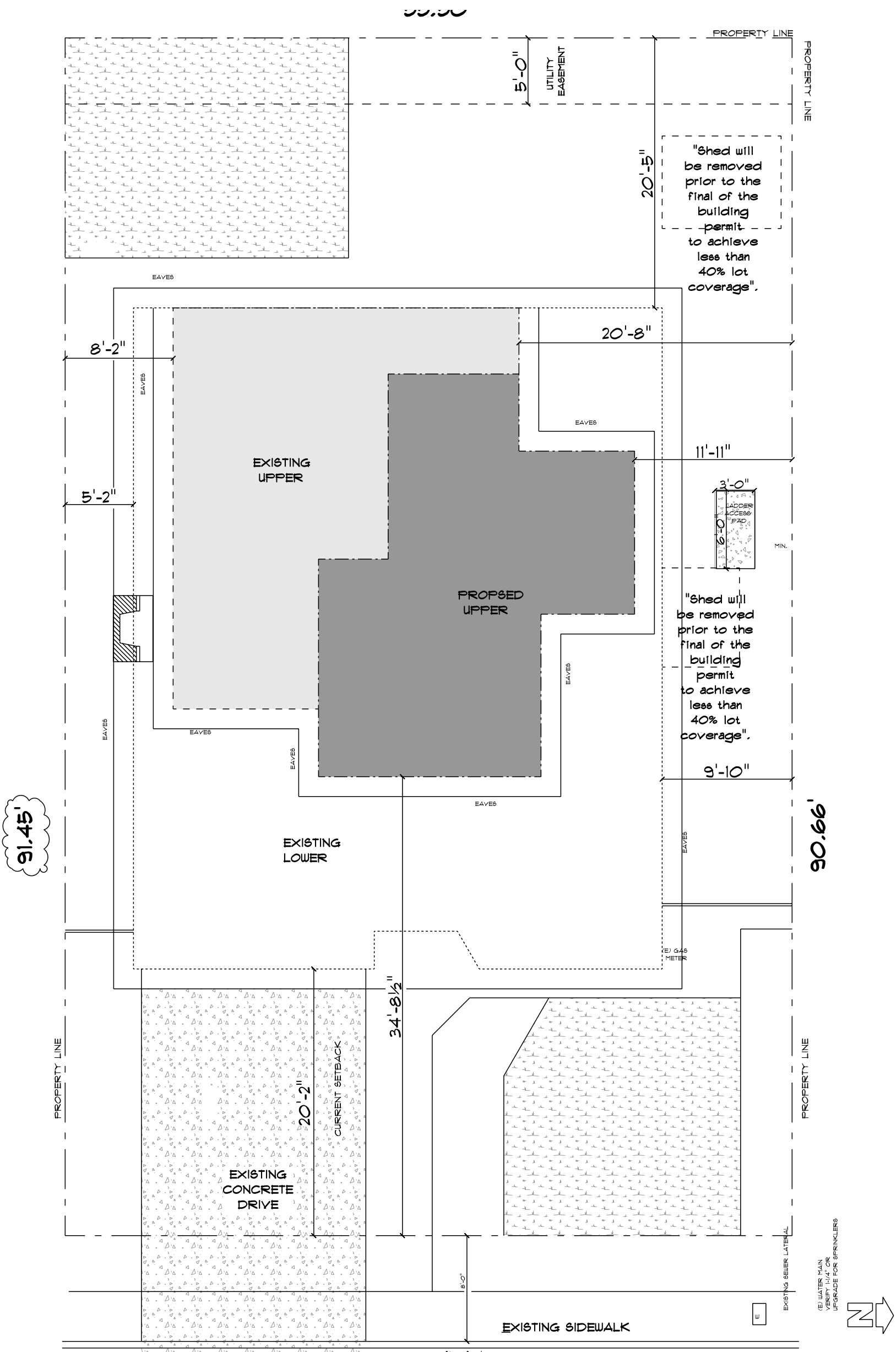
863 San Pablo Ave. - Project Data

Lot	5054
Existing	
Floor Area	
First Floor	1608
Second Floor	497
Garage	360
Side Yard Shed (to be removed)	160
Rear Yard Shed (to be removed)	63
Total Floor Area	2688
Floor Area Ratio	53%
Lot Coverage	
First Floor	1608
Garage	360
Front Porch	20
Side Yard Shed (to be removed)	160
Rear Yard Shed (to be removed)	63
Lot Coverage Area	2211
Lot Coverage Percent	44% (max 40%)

Proposed	
Floor Area	
First Floor	1608
Second Floor	497
Second Floor Addition	498
Garage	360
Side Yard Shed (Removed)	0
Rear Shed (Removed)	0
Total Floor Area	2963
Floor Area Ratio	59%
Lot Coverage	
First Floor	1608
Garage	360
Front Porch	20
Side Yard Shed (Removed)	0
Rear Shed (Removed)	0
Lot Coverage Area	1988
Lot Coverage Percent	39%

INDEX

INDEX - VICINITY MAP - ANALYSIS	1
EXISTING FLOOR PLAN	2
NEW FLOOR PLAN	3
EXISTING ELEVATIONS	4
NEW ELEVATIONS	5
MORNING SOLAR STUDY	6
AFTERNOON SOLAR STUDY	7
STREET SCAPE	8
SECTIONS & ROOF PLAN	9



CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. THAT ARE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID: CARS, BARS, AND/OR OPERATIONAL BARRIERS FOR THE PROTECTION OF PEDESTRIANS, CYCLISTS AND VEHICULAR TRAFFIC.

PRIOR TO ANY WORK IN THE PUBLIC RIGHT OF WAY, OBTAIN AN ENCROACHMENT PERMIT WITH ADVANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL TO IMPROVE TRAFFIC CONTROL, DESIGN (THROTT) STANDARDS TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.

NO DECORATIVE CONCRETE OR PAINTING SHALL BE USED. VERIFY (E) SANITARY SEWER CLEAR, O.D. OR INSTALL. NO CLEARLY PROPERTY LINE PER CITY DETAIL 8A.

SAN PABLO AVE.

PROPOSED SITEPLAN

SCALE: 1/8" = 1'-0"

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085


DRAWN	MM
CHECKED	MM
DATE	Monday, June 25, 2018
SCALE	AS SHOWN
JOB NO.	

PAGE:  
1 / 9  
INDEX - VICINITY MAP - ANALYSIS

	REVISIONS	BY
Monday, June 25, 2018		

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Mine

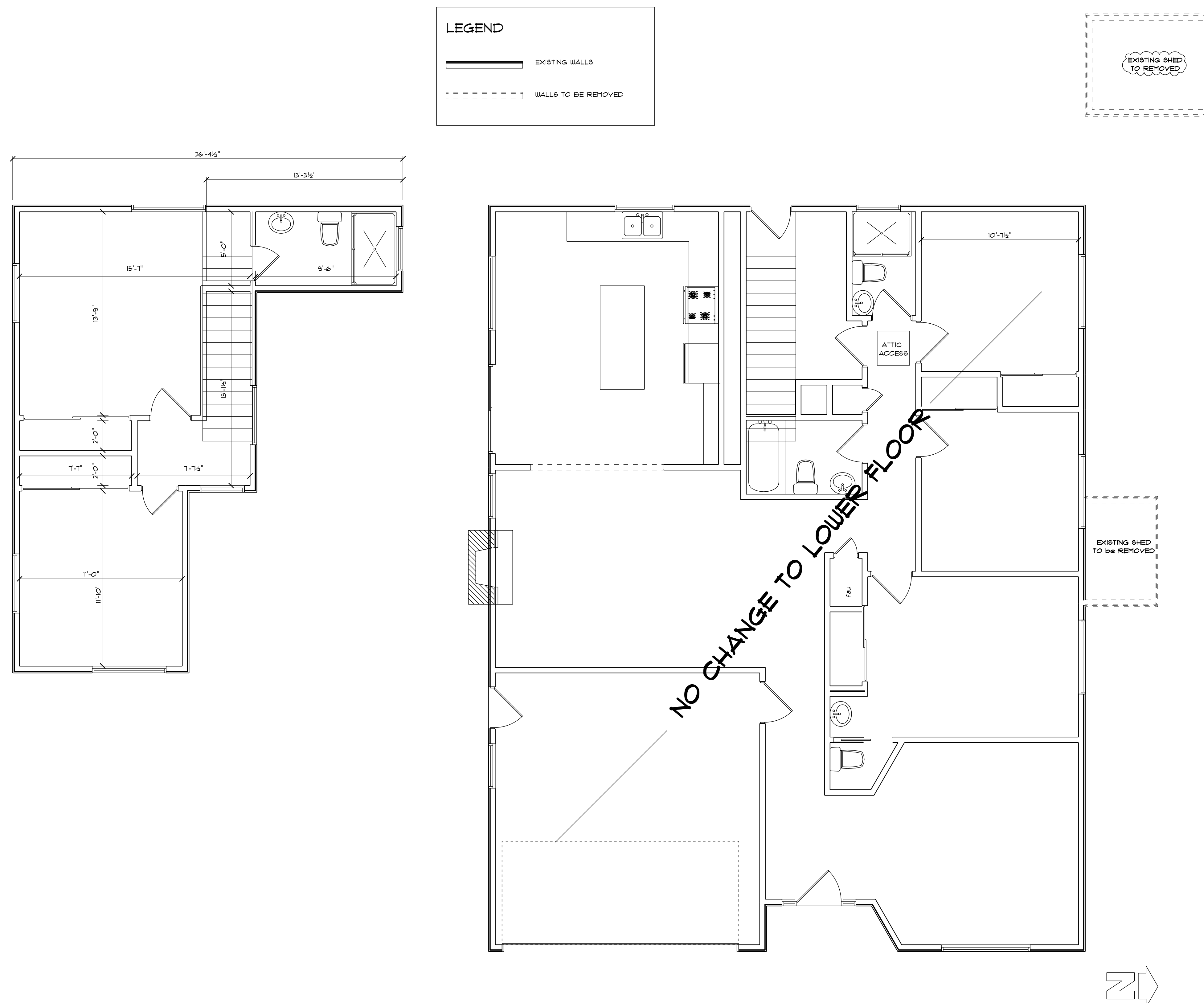


**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com 408.206.0051

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.

PAGE:  
2 / 9  
EXISTING FLOOR PLAN



FLOOR PLAN NOTES

INSTALL 1/2" GYP BRD ON GARAGE SIDE OF WALLS COMMON TO LIVING SPACE AND 5/8" TYPE "X" GYP ONE-HOUR FIRE-RESISTIVE CONSTRUCTION TO BE PROVIDED ON THE GARAGE CEILING WHEN LIVING SPACE IS ABOVE THE GARAGE. APPLY TO WALLS, POST AND BEAMS OF GARAGE ADJACENT TO AND SUPPORTING THE RESIDENCE. APPLIED VERT OR HORIZ. NAIL W/6" COOLER OR WALLBOARD NAILS @ 7" O.C. W/ END JOINTS O' NAILING MEMBERS. STAGGER JOINTS EA. SIDE.

ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM WALL BOARD EXCEPT OTHERWISE NOTED.

GYPSUM WALL BOARD SHALL BE INSTALLED PER CURRENT U.B.C.

INSTALL 5/8" TYPE "X" GYP. BD. ON WALLS AND CEILING @ USABLE UNDER STAIR CLOSET, WHERE APPLICABLE.

WALL COVERING SHALL BE CEMENT BACKER BOARD, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

PROVIDE WATER RESISTANT GYP. BD. ON ALL "WET" AREAS.

OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ EACH FLOOR SHALL BE FIRE STOPPED

ALL DUCTS IN GARAGE THAT PASS THRU LIVING/GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER

PROVIDE FIRE STOPS IN OPENINGS @ FLOOR CEILINGS OF ALL FIREPLACES

FIREPLACE INSTALLATION AND USE SHALL BE IN ACCORDANCE WITH THEIR LISTING & LOCAL CODES.

DRAFTSTOPPING SHALL BE INSTALLED IN ALL ATTIC SPACES AND CONCEALED ROOF SPACES SUCH THAT NO HORIZONTAL AREA EXCEEDS 3,000 S.F.

PROVIDE 1 3/8" THICK SOLID CORE DOOR W/ CLOSER FROM GARAGE TO RESIDENCE.

EXTERIOR DOORS SHALL BE 1-3/4" THICK SOLID CORE. EXCEPTIONS: EXTERIOR DOORS 1-3/4" THICK WITH SOLID WOOD PANELS NOT LESS THAN 9/16" THICK ARE A SATISFACTORY ALTERNATIVE TO A SOLID CORE DOORS.

VENTILATING OPENINGS SHALL BE COVERED WITH METAL MESH WITH MAX. 1/4" OPENINGS.

F.A.U. & WATER HEATER INSTALLED ON 18" HIGH WOOD PLATFORM W/ 1 1/8" PLYWOOD TOP SURFACE.

INSTALL SEISMIC STRAP ON ALL WATER HEATERS WATER HEATERS AND FURNACES TO BE CEC CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE STRAPS TO BE INSTALLED AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF IT'S VERTICAL DIMENSIONS. AT LOWER POINT, A 4" CLEARANCE SHALL BE MAINTAINED ABOVE CONTROLS, WHEN LOCATED IN GARAGE. SEE DETAIL SHEET EM

WINDOWS MARKED AS "EGRESS" MUST MEET U.B.C. MINIMUM REQUIREMENTS OF MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 SQ. FEET

CRAWL SPACE ACCESS TO BE 18" X 24" MIN.

ATTIC ACCESS TO BE 30" X 22" MIN.

INTERIOR HANDRAILS & GUARDRAILS TO BE WOOD. EXTERIOR HANDRAILS & GUARDRAILS TO BE W.I. UNLESS OTHERWISE NOTED.

ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOOR, GLASS SUBJECT TO HUMAN IMPACT, ETC SHALL BE SAFETY TEMPERED

PROVIDE 2 X SOLID BACKING FOR RAILINGS, CABINETS, SHELVING, ACCESSORIES, ETC. AS NEEDED.

EXTERIOR STUDIWALLS TO BE 2 X 4 STUDS 16" O.C. W/ BATT INSULATION. (UNLESS OTHER WISE NOTED - CHECK FLOORPLANS.)

WINDOWS AND DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (J.N.O.)

INSTALL ALL WINDOWS AND DOOR AS PER MANUF. SPECIFICATIONS ATTICS WITH A VERTICAL HEIGHT OF 30" OR MORE REQUIRES ACCESS.

ALL ATTICS ACCESS ARE A 1/2" PLYWOOD PANEL FINISHED WITH A GRADE SIDE TO THE OCCUPIED SPACE. PAINT TO MATCH THE CEILING TO THE PLY WOOD PANEL.

ATTIC FURNACE: MINIMUM OF 5' IN HEIGHT OF CLEAR SPACE. A CONTINUOUS ACCESSIBLE OPENING AND PASSAGEWAY WITH A MIN. OF 22" X 30" IN SIZE OR AS LARGER AS THE SMALLEST PIECE OF EQUIPMENT. MAX. 20 FEET TRAVEL PATH AND 24" WIDE W/ SOLID FLOOR PASSAGEWAY. MIN. 30" X 30" WORKING PLATFORM IN FRONT OF THE ENTIRE FIREBOX. A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE. SEE DETAIL SHEET EM

ACCESSIBLE UNDER-FLOOR AREA SHALL BE PROVIDED WITH A MIN. 18" X 24" OPENING. UNDER-FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS THAN 1/150 OF UNDER-FLOOR AREA. VENTILATED OPENINGS SHALL BE PROTECTED BY METAL MESH WITH A 1/4" MAX. OPENING.

CONTRACTOR SHALL PROVIDE GALVANIZED SHEET METAL PAN UNDER ALL CLOTHES WASHER. WHEN LOCATED ON AN UPPER FLOOR.

ALL DIMENSIONS ARE TO THE FACE OF STUDS.

FLASH ALL EXTERIOR OPENINGS WITH SHEET METAL TO EXTEND 6" UNDER BUILDING PAPER BEHIND WALL OPENING.

CABINET MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR CONTRACTOR, OWNER, OR HIS AGENT'S APPROVAL FOR ALL CABINET SIZES AND FINISHES, MATERIAL ETC.. SHOP DRAWING SUPERCEDE ALL INTERIOR ELEVATIONS.

MINIMUM 26 GAGE IN THICKNESS FOR ALL AIRDUCTS PASSING THRU THE WALL TO THE GARAGE.

LANDINGS SHALL HAVE A WIDTH NOT LESS THAN A WIDTH OF THE DOOR OR A STAIRWAY.

STAIRWAYS: 36" MINIMUM WIDTH, 7 3/4" MAX. RISE, 10" MIN. RUN AND 6'-8" MIN. HEAD ROOM

TOILETS TO HAVE MIN. 30" WIDE X 24" DEEP CLEARANCE.

PROVIDE WALL CLEAN-OUT FOR ALL SINKS

CEILING HEIGHT OF ALL ROOMS TO INCLUDE FLOOR FINISH.

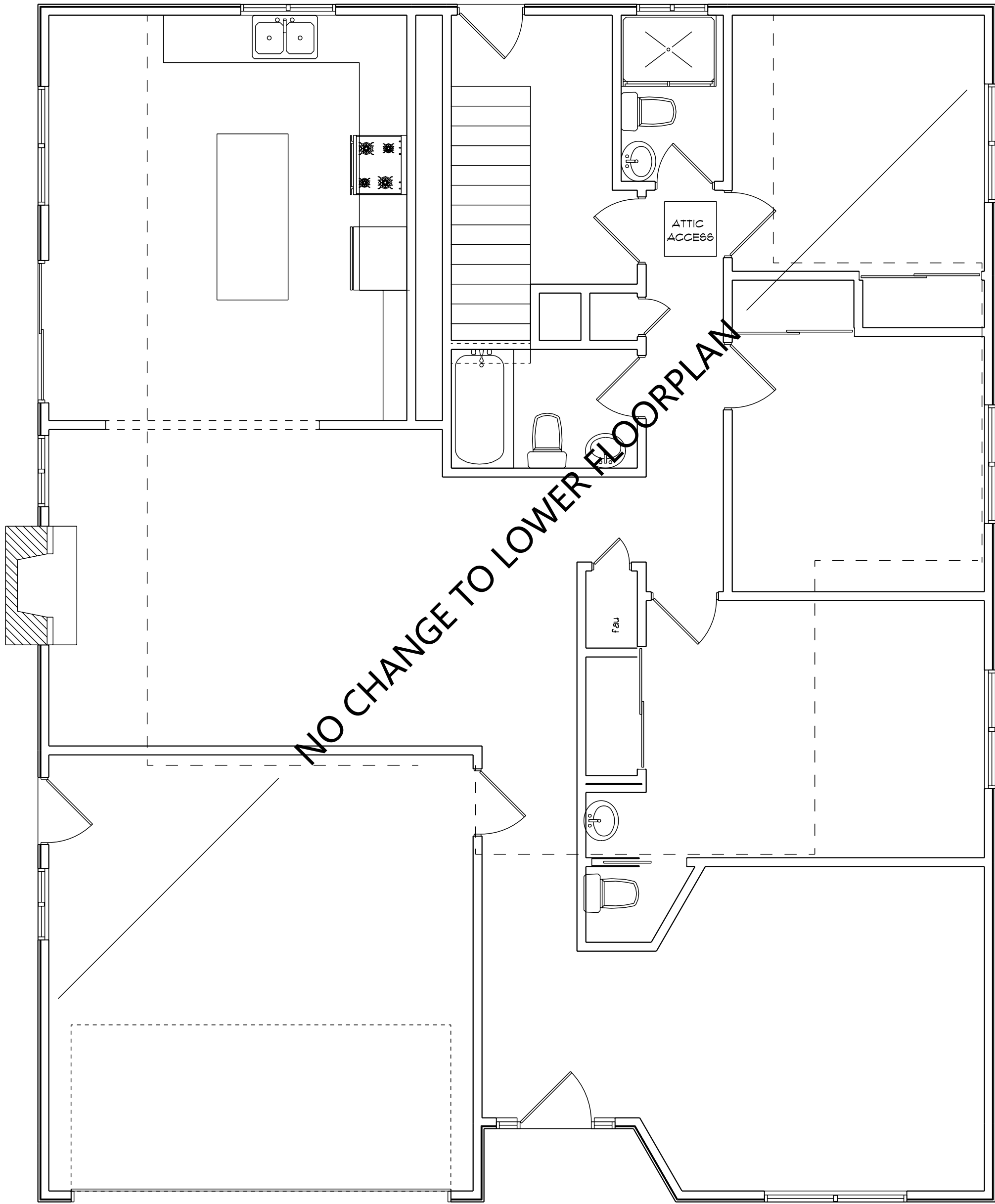
PROVIDE COMBUSTION AIR FOR SOLID FUEL BURNING APPLIANCES

REQUIRED EGRESS DOOR THRESHOLDS MAY BE 1.5" IN HEIGHT  
MAX.; OTHER DOORS MAY HAVE A THRESHOLD OF 1.75"  
REGARDLESS OF DOOR SWING. C.R.C. R311.31

1. Comply with all applicable requirements of the Sunnyvale Municipal Code (SMC), California Fire Code (CFC), Title 19 California Code of Regulations, and Sunnyvale Fire Prevention procedures/requirements.
2. Basements and sleeping rooms below the fourth story above grade plane shall have at least one exterior emergency escape and rescue opening (escape window) in accordance with CFC Section 1029. (CFC 1029)
3. Landscaping and location of sleeping rooms relative to property lines shall be located so as to provide approved ladder access to each sleeping room.
4. Approved ladder access consists of a maximum 70 degree climbing angle, at least 3 feet of clear space behind the base of the ladder to allow access and approved concrete or gravel ladder pads having a minimum dimension of 3' x 6' and positioned so that the 6' length is perpendicular to the structure.

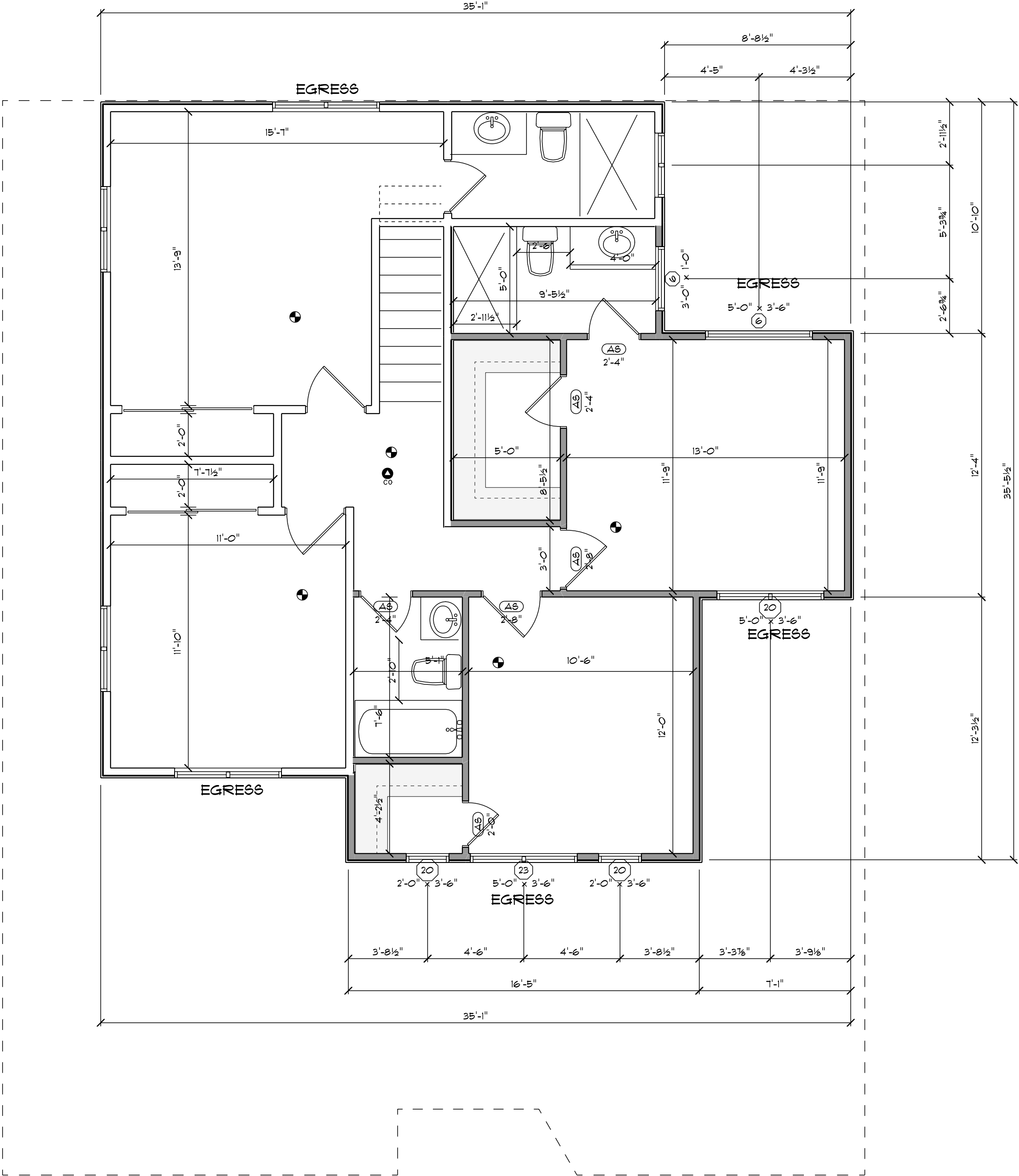
LEGEND

EXISTING WALLS  
NEW WALLS



NEW LOWER

SCALE: 1/4" = 1'-0"



NEW UPPER

SCALE: 1/4" = 1'-0"

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

Megan Miner Design  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
JAGAIT RESIDENCE  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.

PAGE:

3 / 9

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.



**EXISTING REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



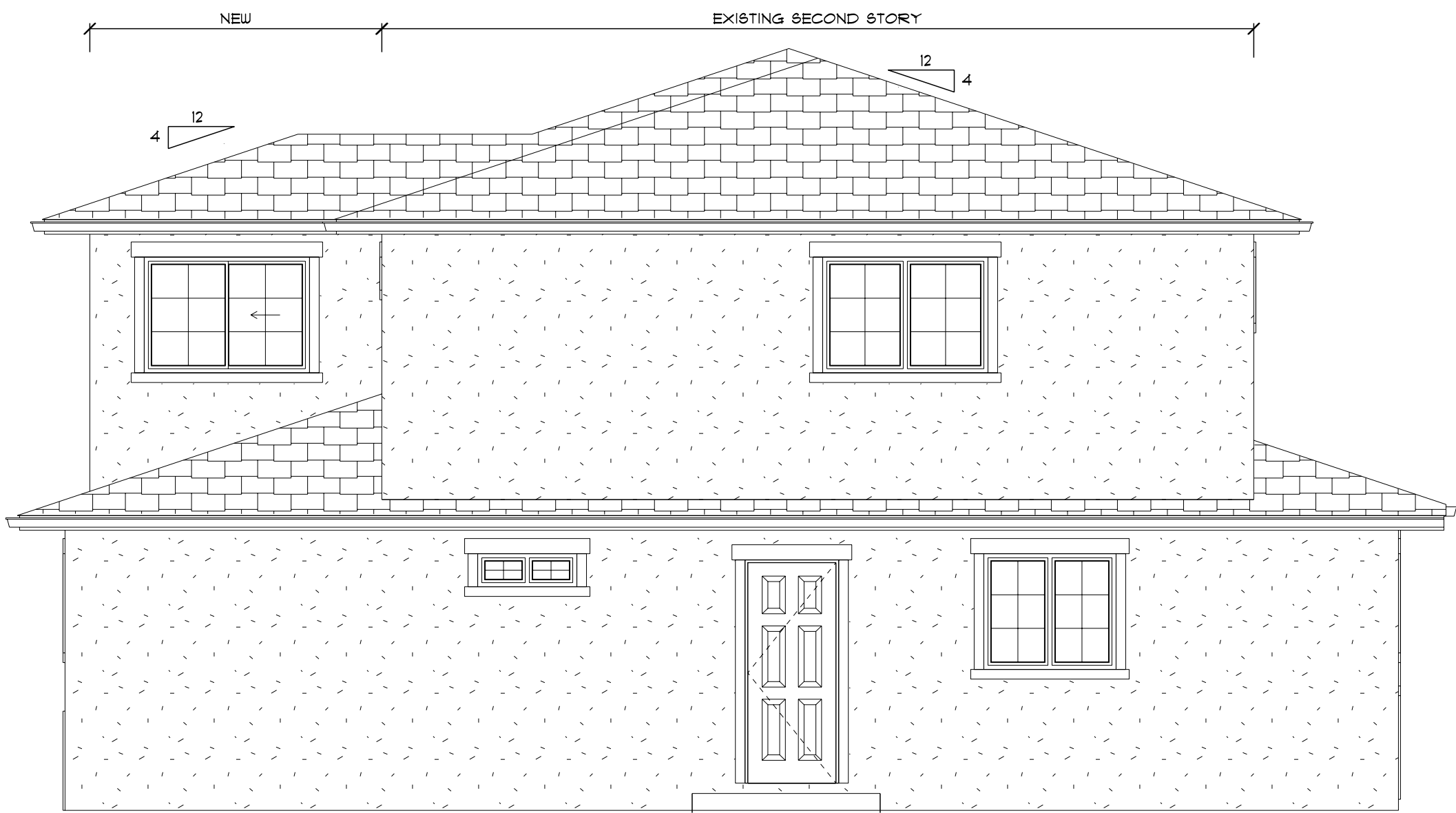
**EXISTING LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



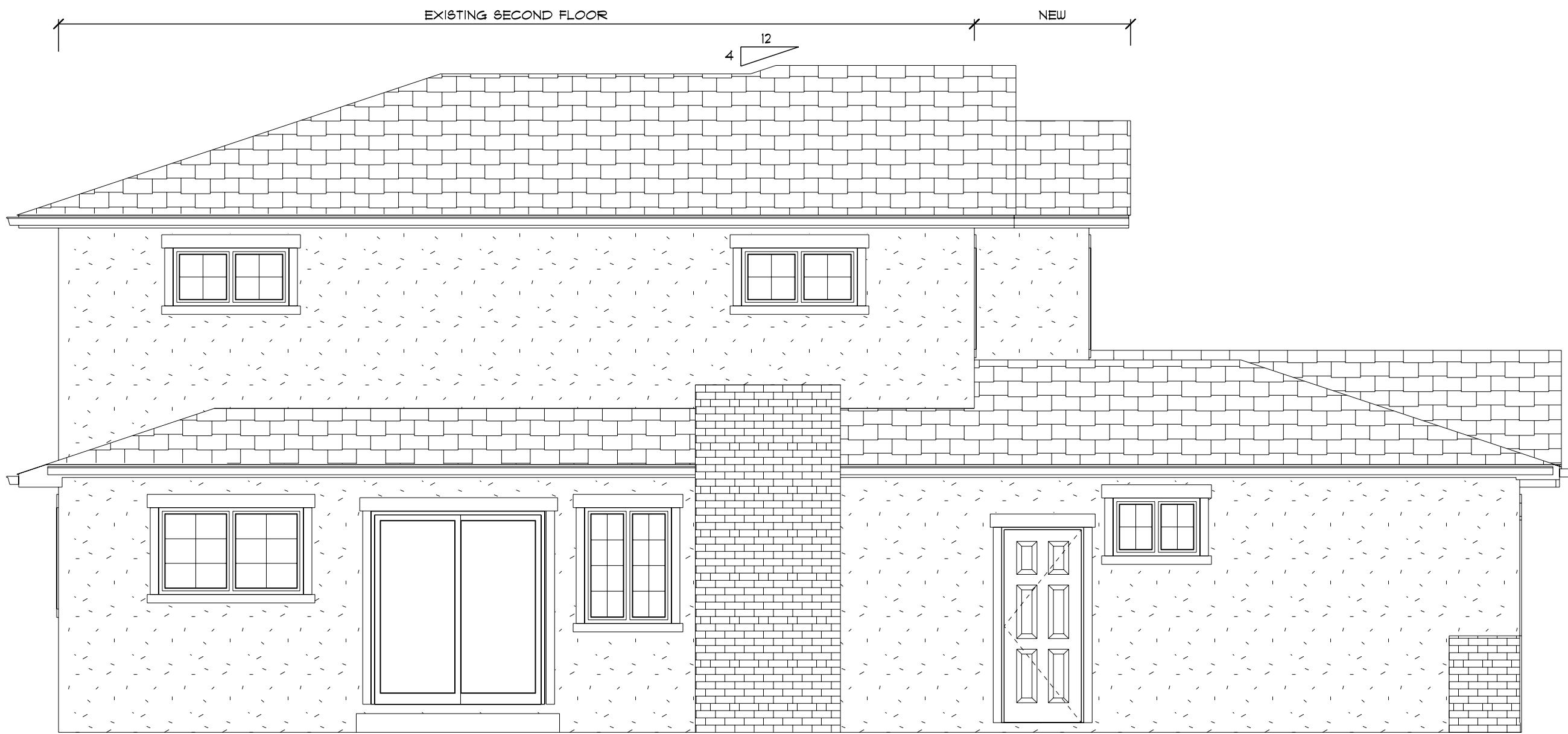
**EXISTING RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



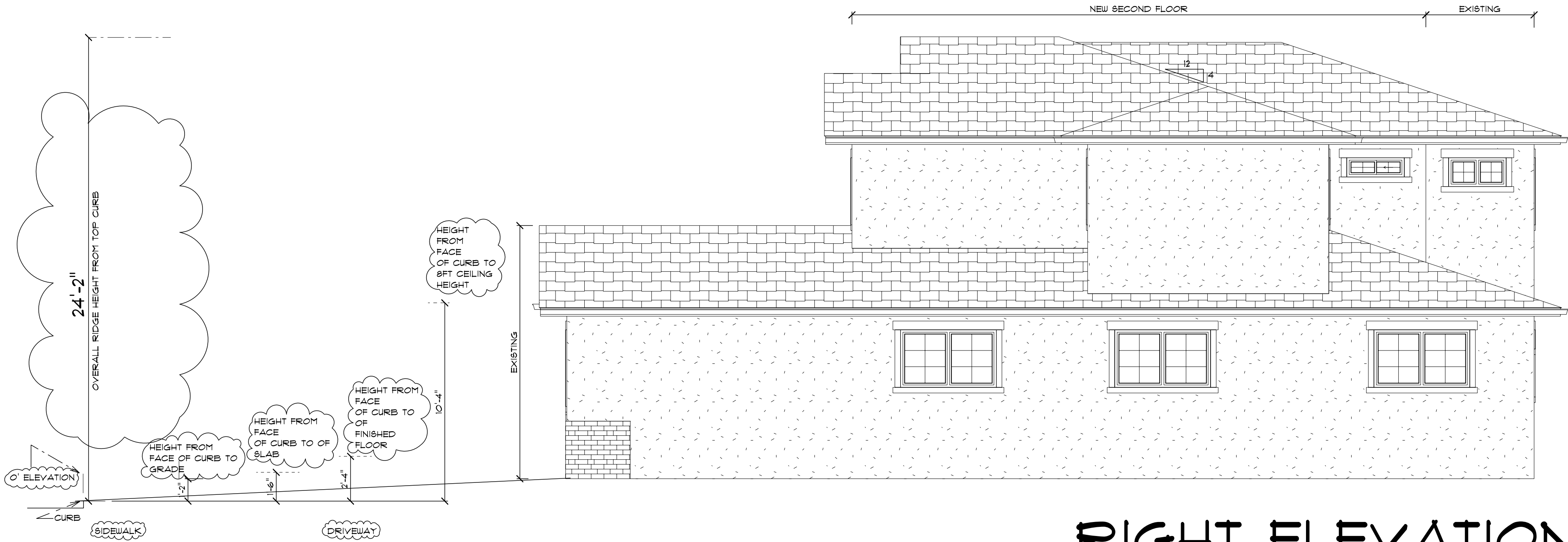
**EXISTING FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



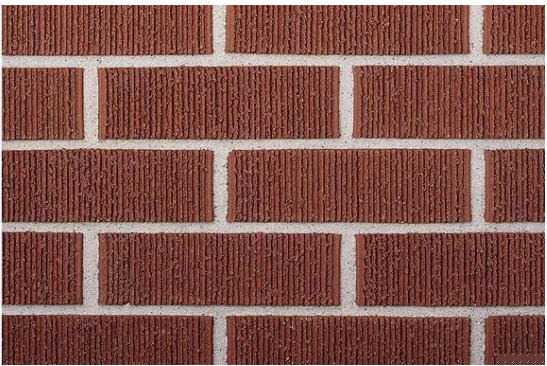
ELEVATION NOTES

- Stucco shall be 7/8" thick and three coat applied over approved wire lath and two layers of grade D building paper. Provide weep screed (CBC 2510.6/CRC R703.6)
- Siding shall be applied over one layer grade D building paper. ( CBC 1404.2/CRC R703.2)
- Provide a spark arrestor for any new or existing chimney. (CBC 2113.9.1/CRC 1003.9.1)
- Roof Slopes > 2:12 and < 4:12 with asphalt shingles shall have two layers of 15 lbs. felt applied shingle style. (CRC 1507.2.2/CRC 905.2.2)
- Provide all under-floor areas with cross ventilation at 1/150 for the entire area with one vent within 3' of each corner. Screens over the openings shall have 1/8" to 1/4" openings. (CBC 123/CRC R408)
- Attic areas shall have cross ventilation at 1/150 for the entire area with 50% of the required vent area to be ventilators located a minimum of 3' above eave or cornice vents. Screens over the openings shall have 1/8" to 1/4" openings. (CBC 1203/ CRC R806)
- Provide attic access (20"x30") and under-floor access (18"x24") for new areas. (CBC 1209/ CRC R408.4)
- Provide under floor clearance of 18" from joists to earth and 12" clearance from girders to earth. (CBC 2304.11.2.1/ CRC R317.1)

RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



GRAND SEQUOIA SHINGLES - CEDAR



BELDEN - RED BRICK 141-145



BENJAMIN MOORE - CONCORD IVORY



BENJAMIN MOORE - SIMPLY WHITE



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLEly FOR THIS PROJECT. PLANS SHALL NOT BE USED WHOLE OR IN PART, FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

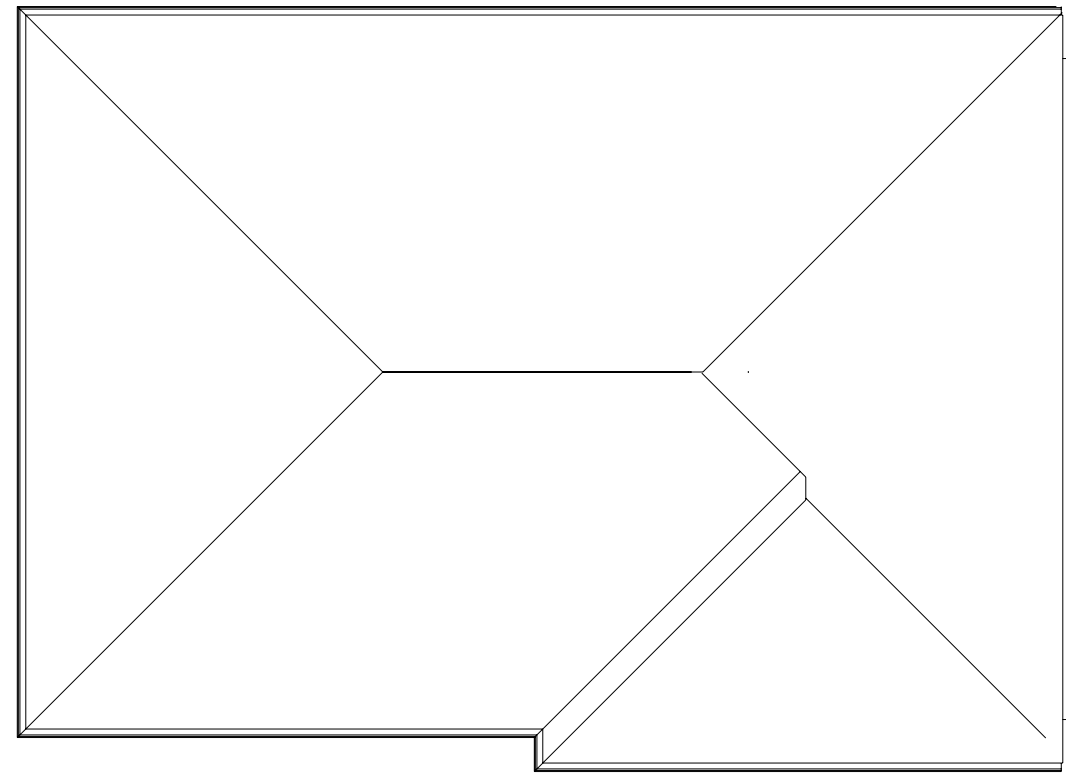
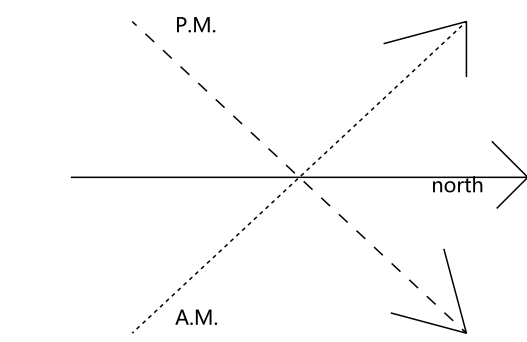
A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.

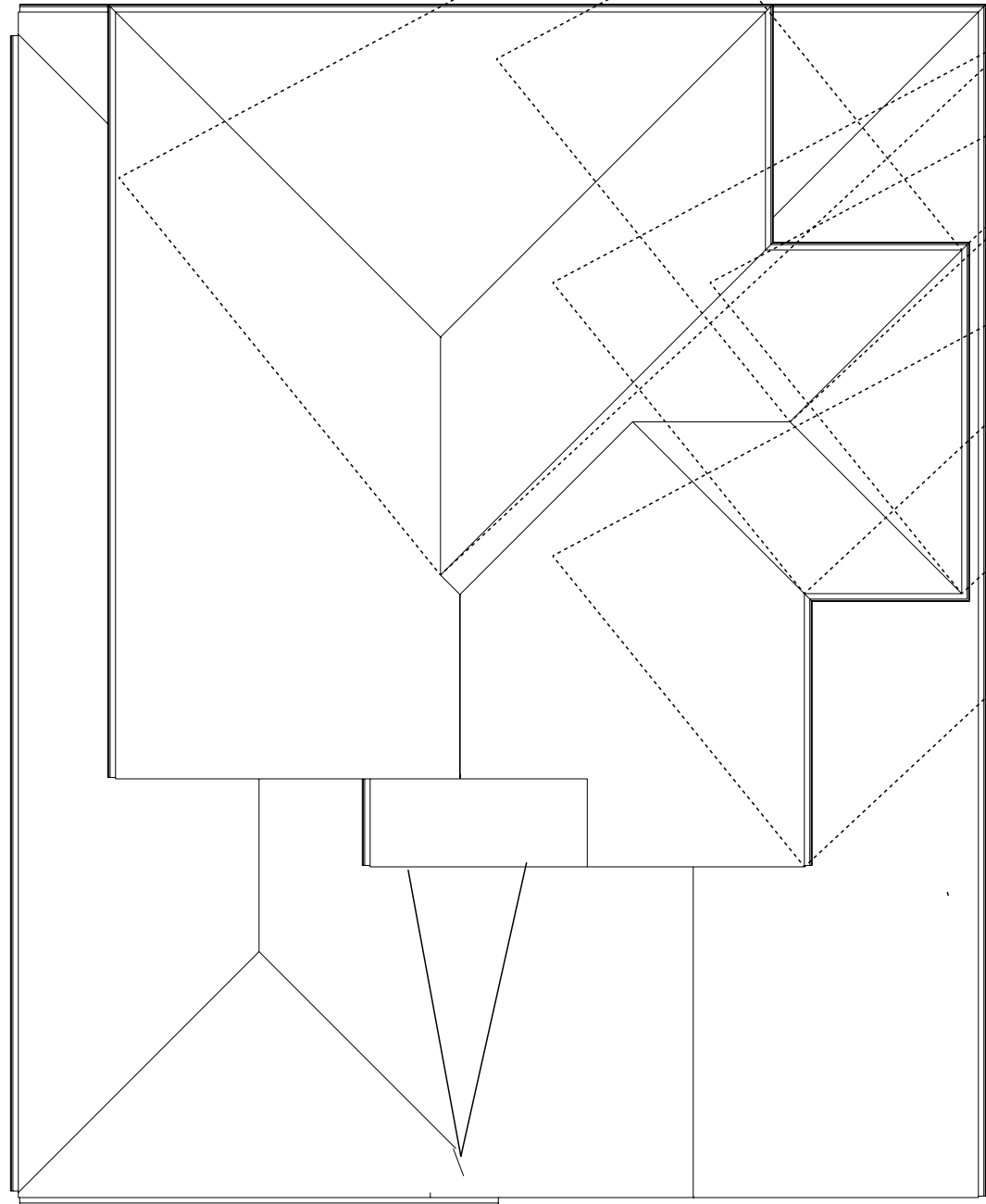
PAGE:

6 / 9

MORNING SOLAR STUDY

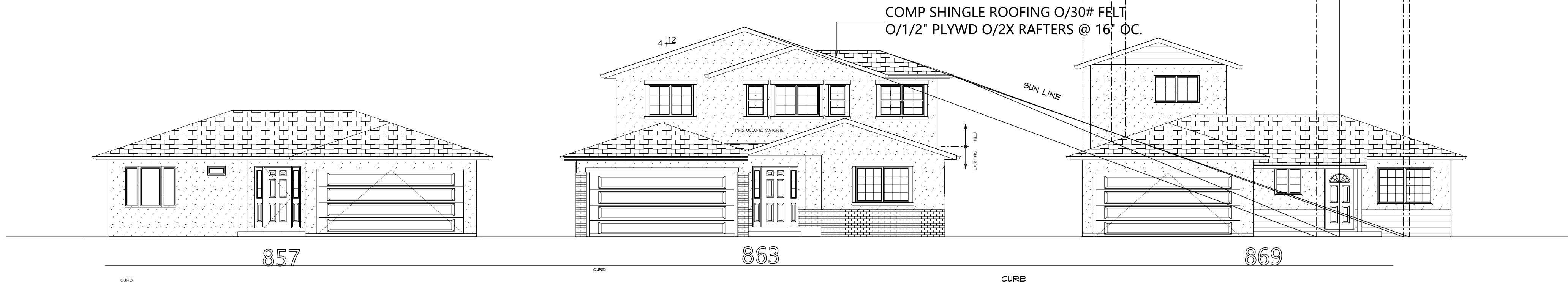


1/8" ROOF PLAN - 863 SAN PABLO AVE



1/8" ROOF PLAN - 869 SAN PABLO AVE

PERCENTAGE  
SHADING OF  
869 SAN  
PABLO AVE.  
ROOF  
RESULTING  
FROM  
SHADOW  
CAST BY  
ADDITION AT  
863 SAN  
PABLO AVE  
2T SQ.  
FT. / 2215 SQ.  
FT. = 1.2%



SAN PABLO AVE.

MORNING SOLAR STUDY

REVISIONS	BY
Monday, June 25, 2018	

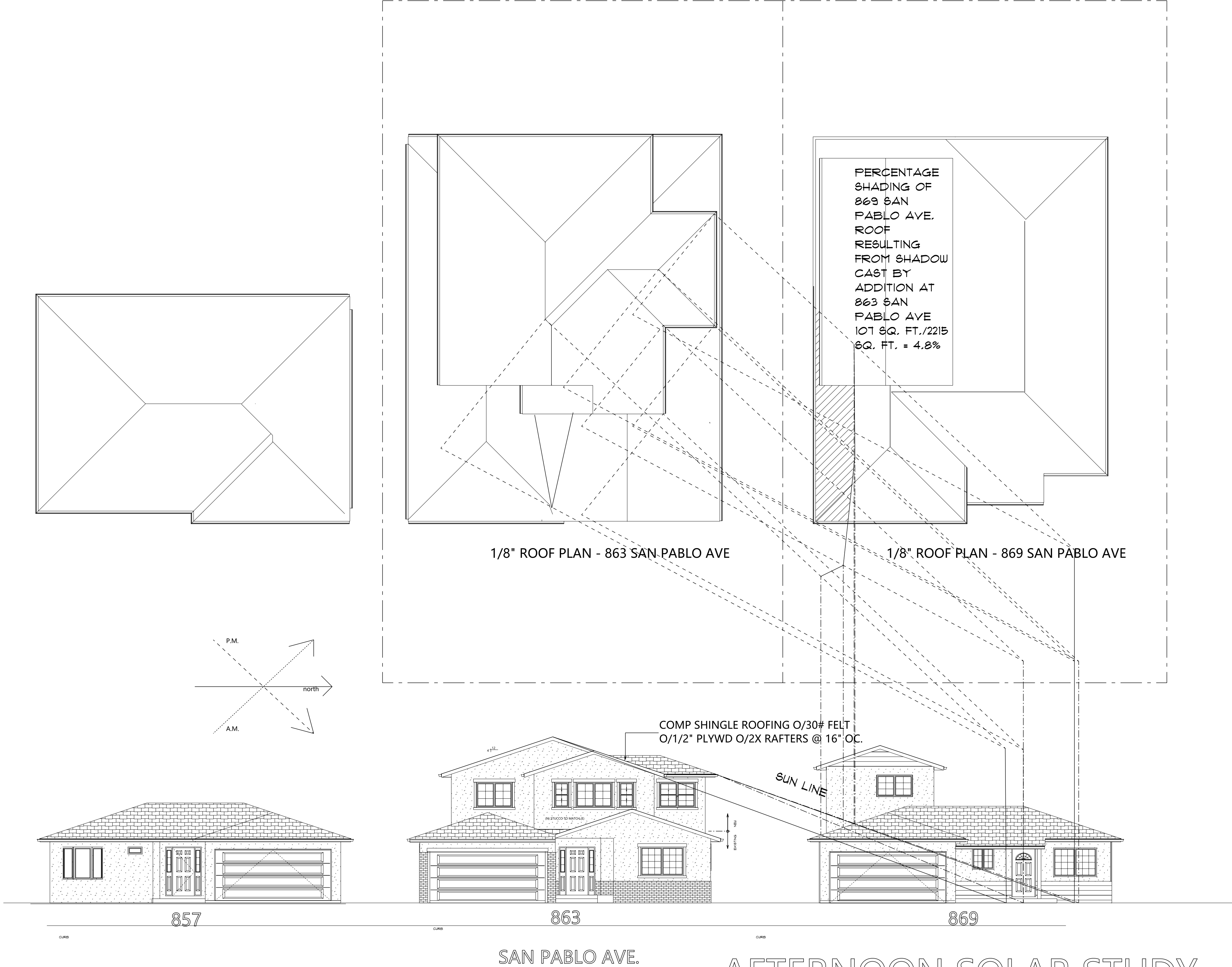
THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED WHOLE OR IN PART, FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.





SAN PABLO AVE.

STREET SCAPE

SCALE: 3/16" = 1'-0"

REVISIONS	BY
Monday, June 25, 2018	

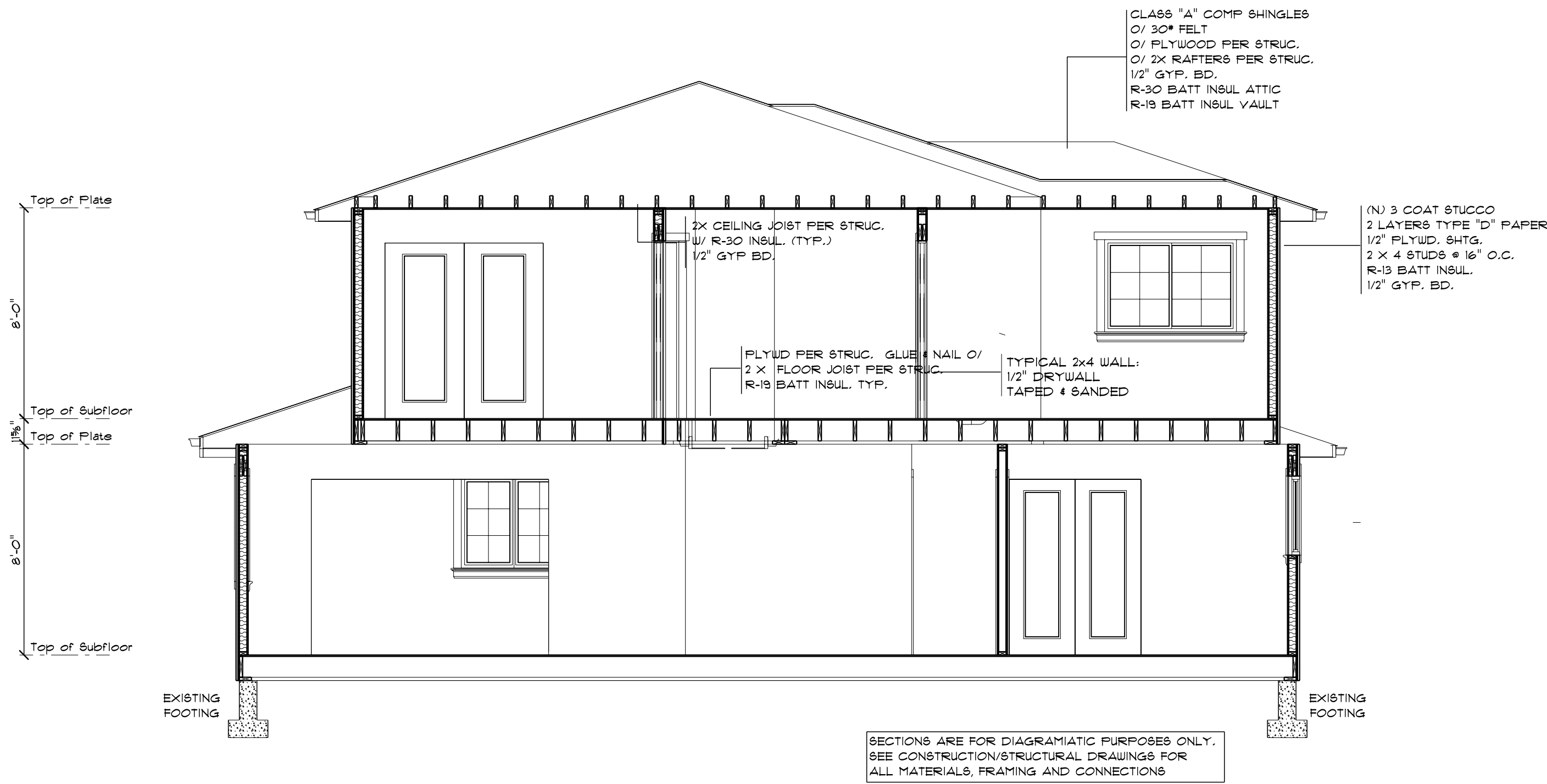
THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOley FOR THIS PROJECT. PLANS SHALL NOT BE USED WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.

Megan Miner

**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

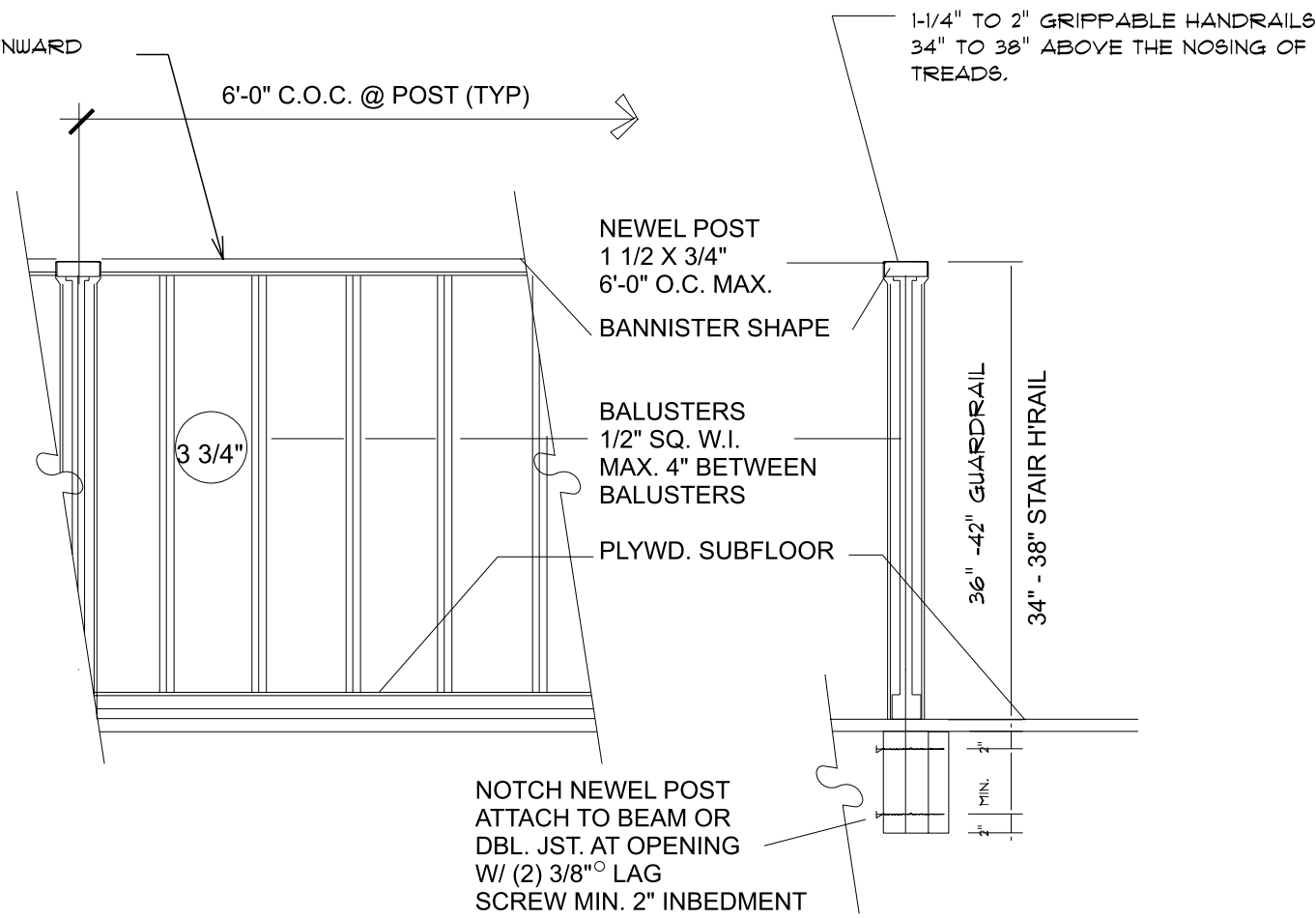
DRAWN
MM
CHECKED
MM
DATE
Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.



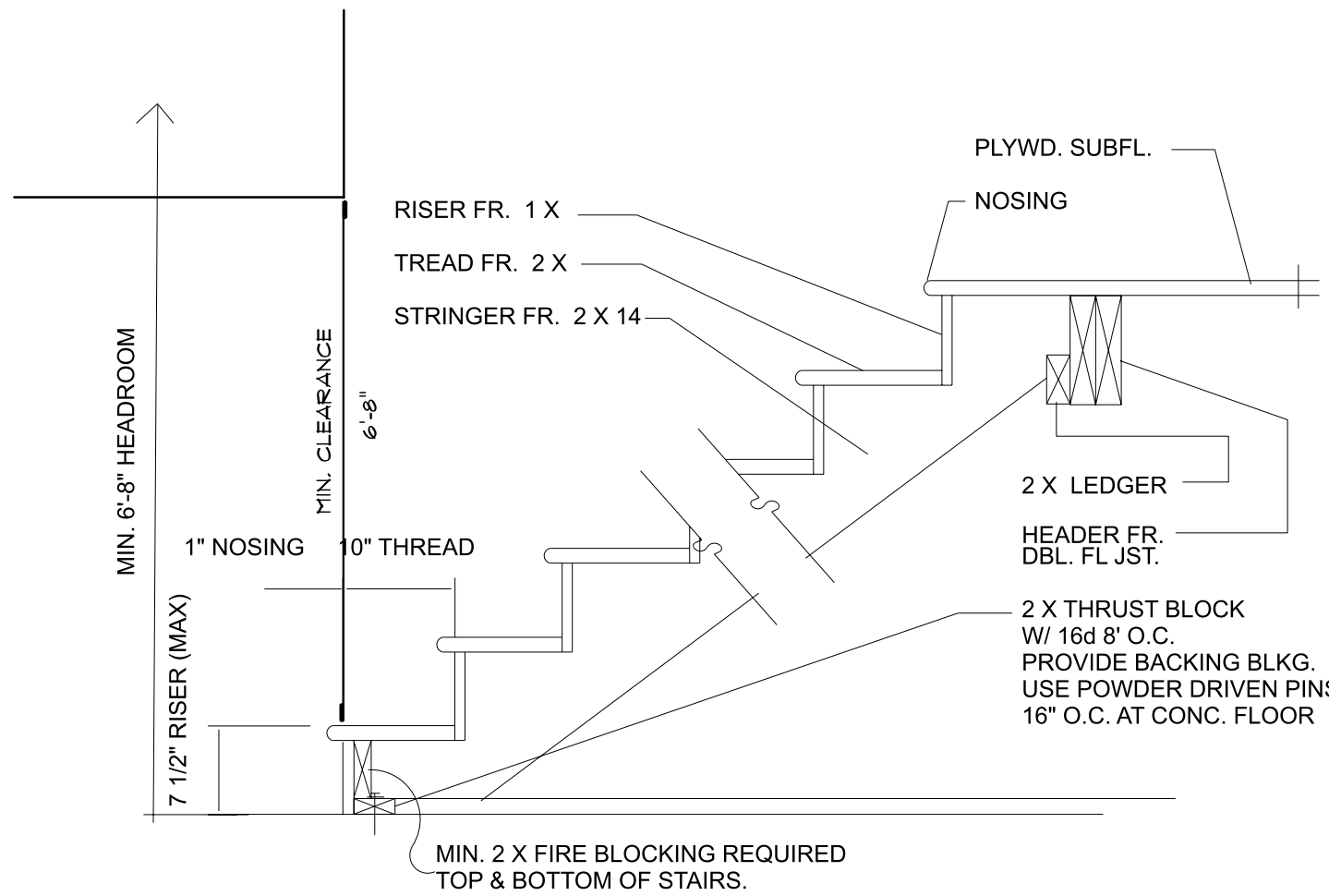
## CROSS SECTION A

SCALE: 1/4" = 1'-0"

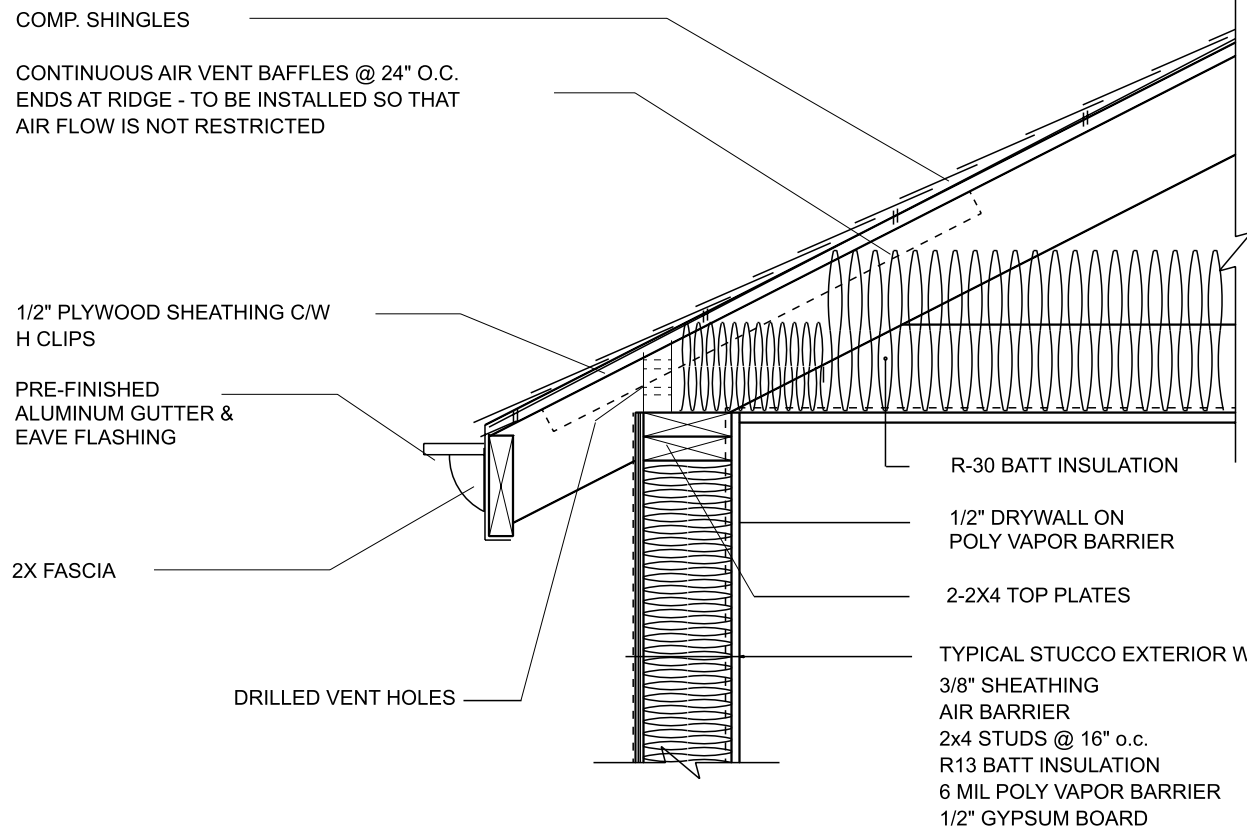
HANDRAIL & GUARDRAIL  
TO BE DESIGNED FOR A  
LIVE LOAD OF 30 POUNDS/  
LINEAR FOOT APPLIED  
EITHER HORIZ. OR VERT. DOWNWARD  
AT TOP RAIL



### GUARDRAIL BALUSTRADE



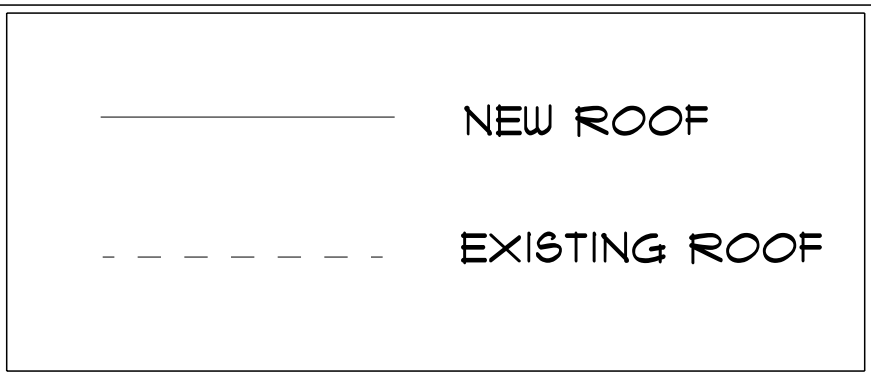
### STAIR DETAIL



MATCH EXISTING COMP. SHINGLES - CLASS A  
MATCH IN COLOR AND STYLE

## BUILT-UP ROOF, CLASS "A"

- 1) 28 LB BASE PLY, ATTACHED MECHANICALLY 9" OC EDGES, AND 18" OC FIELD.
  - 2) INNER PLIES, 11 LB. FELT W/ MIN. 25 LB. MOPPING, 18 LB. MINERAL SURFACE CAP SHEET.
- MIN. SLOPE AT BUILT-UP ROOF: 1/2" PER FOOT.  
(WATER TO DRAIN ONTO SLOPED ROOF.)



## ROOF PLAN NOTES

ROOFING:  
CLASS "A" COMPOSITION SHINGLES,  
COLOR TO BE SELECTED BY OWNER.  
OVER 30 LB. ROOFING  
FELT. INSTALL PER MANUF.  
SPECS.

BUILT-UP ROOF, CLASS "A"

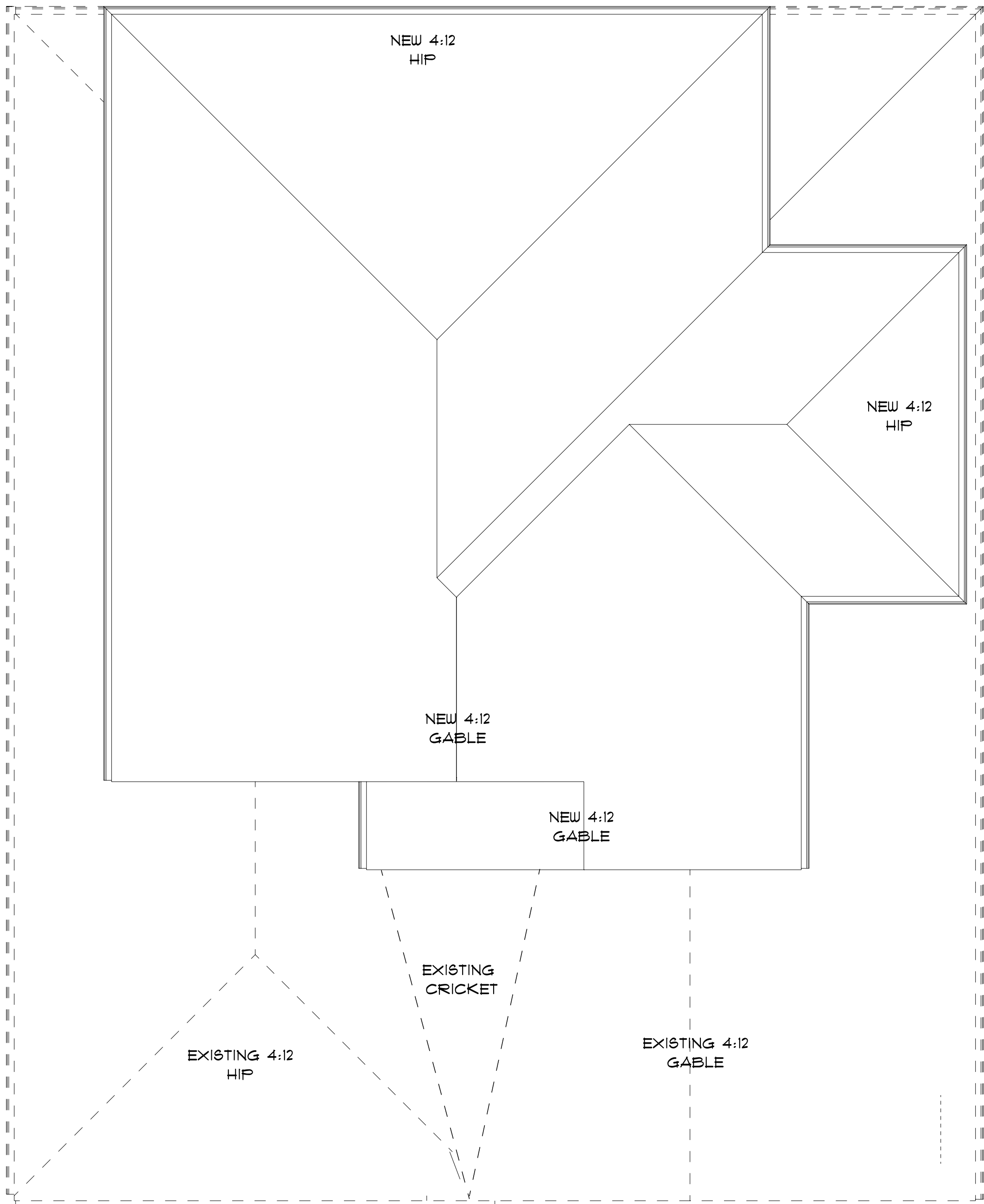
28 LB BASE PLY, ATTACHED  
MECHANICALLY 9" OC EDGES,  
AND 18" OC FIELD. INNER PLIES,  
11 LB. FELT W/ MIN. 25 LB. MOPPING.  
18 LB. MINERAL SURFACE CAP SHEET.

FLASHING & COUNTERFLASHING:  
26 GAUGE STEEL, U.O.N., AS  
REQUIRED AT JUNCTURE OF  
ROOF AND VERTICAL SURFACES.  
SEE SHEET METAL NOTES ON  
SHEET 8P.

VALLEY FLASHING:  
26 GAUGE GALV. STEEL OVER  
18 LB. FELT. CRICKETS SIMILAR.

DOWNSPOUTS:  
2 1/4" DIA ROUND GALV.  
STEEL DOWN SPOUTS. PROVIDE  
BASKET STRAINER ADN SPLASH-  
BLOCK AT EACH DOWNSPOUT.

GUTTERS:  
5" GALV. STEEL GUTTER



## ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN  
ON THESE DRAWINGS ARE THE PROPERTY  
OF THE DESIGNER. DESIGNED SOLEY FOR  
THIS PROJECT. PLANS SHALL NOT BE  
USED, WHOLE OR IN PART, FOR ANY  
OTHER PURPOSE WITHOUT THE WRITTEN  
PERMISSION MEGAN MINER DESIGN.

Megan Miner

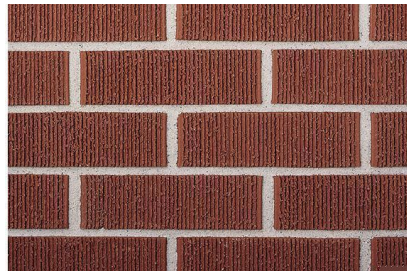
**Megan Miner Design**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
Megan@MeganMiner.com - 408.396.0951

A Project for:  
**JAGAIT RESIDENCE**  
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN	MM
CHECKED	MM
DATE	Monday, June 25, 2018
SCALE	AS SHOWN
JOB NO.	



GRAND  
SEQUOIA  
SHINGLES -  
CEDAR



BELDEN -  
RED  
BRICK  
141-145



BENJAMIN  
MOORE -  
CONCORD  
IVORY



BENJAMIN  
MOORE -  
SIMPLY  
WHITE

863 SAN PABLO AVE.



# City of Sunnyvale

## Agenda Item 4

18-0645

Agenda Date: 7/23/2018

### REPORT TO PLANNING COMMISSION

#### SUBJECT

##### **Proposed Project:**

**DESIGN REVIEW** to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence resulting in 3,849.3 square feet of floor area (3,443.5 square feet living area and 405.8 square feet garage) and 42.8% floor area ratio (FAR). The project also proposes to remove the existing pool and construct a 647-square foot basement and a 512-square foot attached Accessory Dwelling Unit on the first floor.

**Location:** 982 Yorktown Drive (APN: 202-24-002)

**File #:** 2018-7197

**Zoning:** R-1 (Low Density Residential)

**Applicant / Owner:** LELDesign / Spencer Shiou Pen Tsai and Chih Lan Kung Trustee

**Environmental Review:** Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions that include construction of one-single family residence in a residential zoning district (CEQA Section 15303).

**Project Planner:** Momoko Ishijima, (408) 730-7532, [mishijima@sunnyvale.ca.gov](mailto:mishijima@sunnyvale.ca.gov)

#### REPORT IN BRIEF

**General Plan:** Low Density Residential (0-7 du/ac)

**Existing Site Conditions:** Single-family residence

##### **Surrounding Land Uses**

**North:** Single-family residence

**South:** Single-family residences (across W. Fremont Ave.)

**East:** Commercial (Chevron Gasoline Station and Westmoor Village Shopping Center)

**West:** Single-family residence

**Issues:** Neighborhood compatibility, floor area

**Staff Recommendation:** Approve the Design Review with conditions of approval in Attachment 4.

#### BACKGROUND

##### Description of Proposed Project

The 8,986-square foot project site is located on the south side of Yorktown Drive where the street meets Mandarin Drive. The applicant proposes to demolish the existing single-story, single-family residence, constructed in 1962, and construct a new two-story, single-family residence. The project also includes the demolition of the existing pool and the construction of a basement and an attached Accessory Dwelling Unit (ADU). The project proposes small balconies on the left side and in the front on the second floor.

A design review is required for construction of a new house to evaluate compliance with the City's development standards and Single Family Home Design Techniques. The project requires Planning

Commission review because the total floor area on the site would exceed 3,600 square feet. The proposed total floor area is 4,361.3 square feet (3,849.3 square feet without the Accessory Dwelling Unit) and 48.5% FAR (42.8% FAR without the Accessory Dwelling Unit). See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Project Data Table of the project.

### **ENVIRONMENTAL REVIEW**

A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act (CEQA) provisions. Class 3(a) Categorical Exemptions includes construction of one-single family residence in a residential zoning district.

### **DISCUSSION**

The existing 2,380-square foot house is a one-story ranch style home with brick veneer on the front elevation, stucco walls on all other elevations, and a low-pitched roof form. The project site is a pie-shaped lot with a narrower frontage on Yorktown Drive and the lot is wider in the rear where it backs up to West Fremont Avenue.

**Architecture:** The proposed two-story, single-family house has a basement and an attached Accessory Dwelling Unit (ADU). The proposed design is a contemporary design incorporating some Ranch style elements with an emphasis on horizontal lines, low-pitched roof, deep roof overhangs, and a mix of exterior materials such as wood siding and stucco exterior materials. The roof will be standing seamed metal with a combination of gabled, hipped, and shed roof forms. The second story is proposed to be located toward the center of the property with setbacks from all property lines far exceeding the minimum requirement which help to address the vertical massing. The proposed architectural style with varying wall planes and roof forms with the application of high quality materials will enhance the streetscape while respecting the predominant style of the neighborhood. (See Attachment 5 for Site and Architectural Plans, and Attachment 6 for Material Board)

**Development Standards:** The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, setbacks, parking, and height.

**Floor Area Ratio:** The proposed total floor area is 4,361.3 square feet (3,849.3 square feet without the Accessory Dwelling Unit) and 48.5% FAR (42.8% FAR without the Accessory Dwelling Unit). An FAR greater than 45% or building size of 3,600 square feet or greater requires review by the Planning Commission.

The neighborhood is predominantly single story with the FAR range between 21% to 47% (average FAR 26%) and larger lot sizes between 7,700 to 11,858 square feet (Attachment 7). The proposed FAR at 48.5% is comparable to the other two-story residence on Yorktown Drive. In addition, the second story to first story ratio is approximately 27%, exceeding the City design guidelines of 35%. Due to the shape of the lot and mature trees located around the perimeter of the lot, the proposed two-story house would not be dominant from the street level.

**Accessory Dwelling Unit:** The proposed two-story, 698 sq. ft. accessory dwelling unit (ADU) is attached (internal to) the main house. City review of ADUs is ministerial. The City comments only on whether the ADU meets the development standards and is architecturally compatible with the main house. The proposed ADU meets the development standards and is architecturally compatible with

the main house.

A deed restriction is required stating that the ADU or the main unit shall be owner-occupied from the date of recordation of the deed restriction (See COA PS-1 in Attachment 4). In addition, a Traffic Impact Fee is required (See COA PS-2 in Attachment 4).

**Privacy:** The design addresses neighbor privacy concerns. The proposed home exceeds the minimum required combined second floor setbacks proposing 61'-4" where 21 feet minimum is required. The second-story left side setback is 21'-5" where a small balcony is proposed however, this side faces the side yard of the adjacent residential neighbor and the commercial property to the left (gasoline station and shopping center). There are no windows proposed on the second-floor on the right side and the window on the left side is a small window for the bathroom insure the privacy of the neighboring properties. The second-story rear setback meets the requirement of 20 feet. The rear faces West Fremont Avenue and there are tall mature trees (Eucalyptus and Pine) lining the rear property line.

The generous setbacks, minimal second floor windows, and the mature trees along the property lines will minimize the privacy impact on the neighboring properties.

#### **Solar Access**

SMC 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10 percent of the roof of any structure on a nearby property. The project plans demonstrate that the shading would comply with this requirement.

#### **Landscaping**

No protected trees are proposed to be removed as part of the application. Prior to submittal of a building permit, the applicant is required to apply for a Miscellaneous Plan Permit (MPP) for a landscape plan that conforms to the landscaping requirements described in SMC 19.37. After landscaping has been installed (and prior to final inspection for a building permit), a Landscaping Certificate of Completion, including a Maintenance Schedule and must be submitted. See COAs PS-3 and PS-4.

**Applicable Design Guidelines and Policy Documents:** The proposed home is consistent with the adopted Single-Family Design Techniques since the proposed design maintains the prevailing neighborhood home orientation; the second story to first story ratio is less than 35%; and applies high quality material and craftsmanship. It would have minimal visual impact to the neighborhood as the lot is pie-shaped and the second floor addition and accessory dwelling unit are located toward the rear of the lot and existing trees provide privacy and screening from West Fremont Avenue and the adjacent commercial property. Staff has included findings for the Single-Family Design Techniques in Attachment 3.

#### **FISCAL IMPACT**

No fiscal impacts other than normal fees and taxes are expected.

#### **PUBLIC CONTACT**

As of the date of staff report preparation, staff has received no comments on the item.

**Notice of Public Hearing, Staff Report and Agenda:**

- Published in the Sun newspaper
- Posted on the site
- 43 notices mailed to property owners and residents within 300 feet of the project site
- Posted on the City of Sunnyvale's website
- Provided at the Reference Section of the City of Sunnyvale's Public Library
- Agenda Posted on the City's official notice bulletin board

**ALTERNATIVES**

1. Approve the Design Review with the conditions in Attachment 4.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

**RECOMMENDATION**

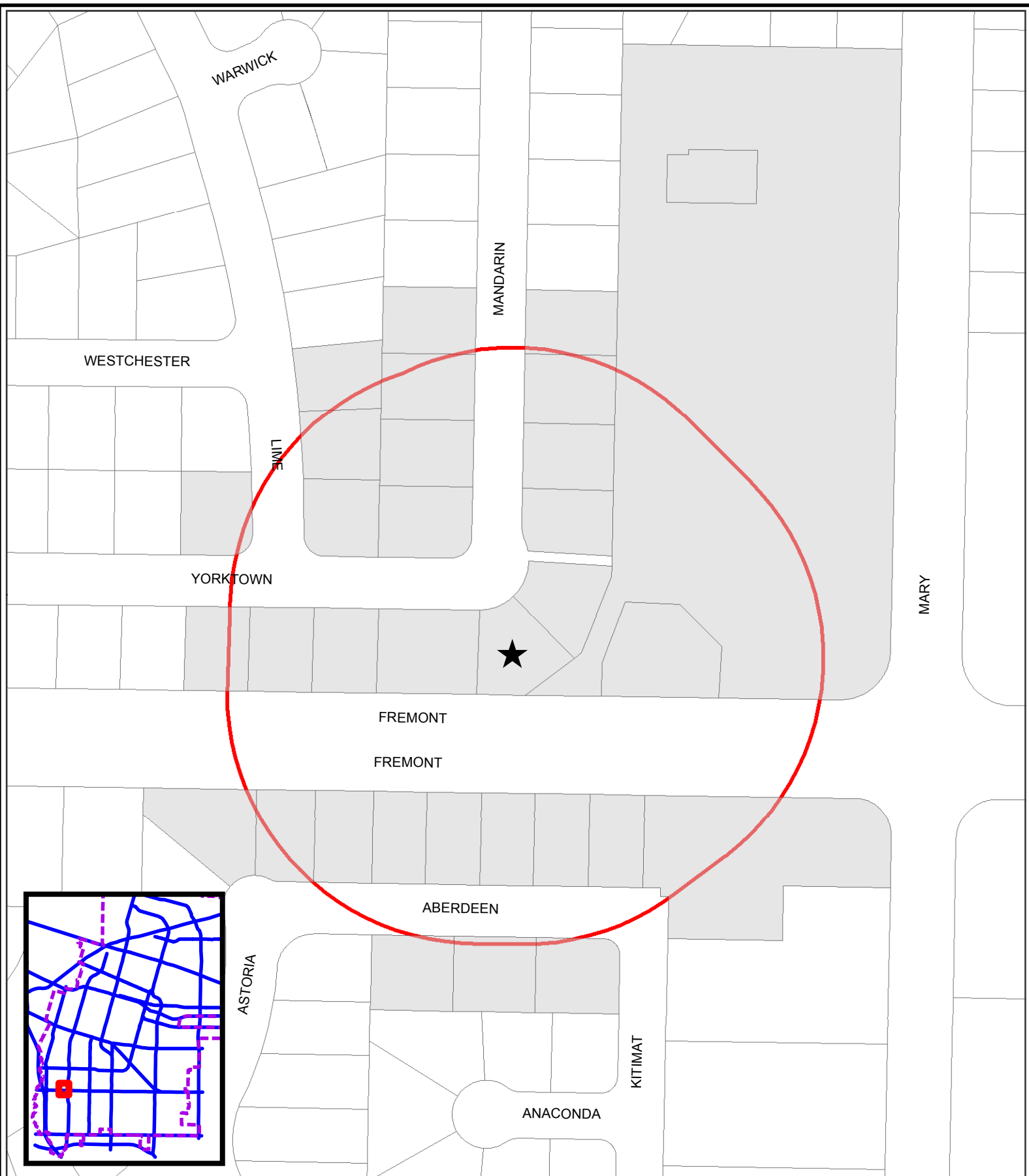
Recommend Alternative 1 in accordance with the Findings in Attachment 3 and Conditions of Approval in Attachment 4.

Prepared by: Momoko Ishijima, Associate Planner

Approved by: Gerri Caruso, Principal Planner

**ATTACHMENTS**

1. Site, Vicinity and Public Notice Mailing Map
2. Project Data Table
3. Recommended Findings
4. Recommended Conditions of Approval
5. Site and Architectural Plans
6. Material Board
7. FAR Analysis



2018-7197  
 982 Yorktown (APN: 202-24-002)  
 Design Review  
 300-ft Area Map

0 50 100 200 Feet



**PROJECT DATA TABLE**

	EXISTING	PROPOSED	REQUIRED/ AS PERMITTED
<b>General Plan</b>	Low Density Residential	Same	-
<b>Zoning District</b>	R-1	Same	-
<b>Lot Size</b>	8,986 s.f.	Same	8,000 s.f.
<b>Gross Floor Area</b>	2,380 s.f.	3,849.3 s.f. 4,361.3 s.f. (w/ ADU)	3,600 s.f. <sup>1</sup>
<b>Lot Coverage</b>	26.5%	39.9%	40% max.
<b>Floor Area Ratio (FAR)</b>	26.5%	42.8% 48.5% (w/ ADU)	45% <sup>1</sup>
<b>Building Height</b>	15'-0"	26'-5"	30' max.
<b>No. of Stories</b>	One	Two	Two max.
<b>Setbacks</b>			
<b>Front</b>			
<b>1<sup>st</sup> Floor</b>	20'-1"	Same	20' min.
<b>2<sup>nd</sup> Floor</b>	n/a	47'-6"	25' min.
<b>Left Side</b>			
<b>1<sup>st</sup> Floor</b>	12'	9'	9' min.
<b>2<sup>nd</sup> Floor</b>	n/a	21'-5"	12' min.
<b>Right Side</b>			
<b>1<sup>st</sup> Floor</b>	6'	Same	6' min.
<b>2<sup>nd</sup> Floor</b>	n/a	39'-11"	9' min.
<b>Combined Side</b>			
<b>1<sup>st</sup> Floor</b>	18'	Same	15' min.
<b>2<sup>nd</sup> Floor</b>	n/a	61'-4"	21' min.
<b>Rear</b>			
<b>1<sup>st</sup> Floor</b>	20'	10' <sup>2</sup>	20' min.
<b>2<sup>nd</sup> Floor</b>	29'-6"	20'	20' min.
<b>Parking</b>			
<b>Total Spaces</b>	4	Same	4 min.
<b>Covered Spaces</b>	2	Same	2 min.

<sup>1</sup> Threshold for Planning Commission Review.

<sup>2</sup> SMC 19.48.050 allows for extensions up to 10 feet in the required rear yard provided the structural coverage does not exceed 25%.

**RECOMMENDED FINDINGS****Design Review**

The proposed project is desirable in that the project's design and architecture complies with the policies and principles of the Single Family Home Design Techniques.

<b>Basic Design Principle</b>	<b>Comments</b>
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed house will maintain its home orientation toward the street and the entry will remain consistent with the existing residence and adjacent neighbors. The entrance to the Accessory Dwelling Unit will be behind a front yard fence and not visible from the street. <b>Finding Met</b>
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	While the proposed two-story house and attached Accessory Dwelling Unit increases the floor area, the lot is a pie-shaped lot with a narrower frontage, and most of the living area would be located toward the rear of the lot behind the garage. The new second story would be set in the center of the house, approximately 50 feet from the front property line, which provides relief for the scale and bulk of the new home. <b>Finding Met</b>
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed design respects the privacy of the adjacent neighbors as only small windows are proposed on the second floor on the sides and the side setbacks far exceed minimum requirements. <b>Finding Met</b>
<i>2.2.4 Minimize the visual impacts of parking.</i>	The project meets the required parking requirements. <b>Finding Met</b>
<i>2.2.6 Use high quality materials and craftsmanship</i>	The proposed design includes elements that are compatible with the residence and the neighborhood such as stucco and wood siding on the exterior walls and low pitched roof forms. Metal guardrails and standing seamed metal roof materials are proposed. <b>Finding Met</b>
<i>2.2.7 Preserve mature landscaping</i>	No protected trees will be removed as part of this project. Conditions will be included to provide tree protection during construction. <b>Finding Met</b>

---

**RECOMMENDED  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
JULY 23, 2018**

**Planning Application 2018-7197**

982 Yorktown Drive

**Design Review** to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence resulting in 3,849.3 square feet of floor area (3,443.5 square feet living area and 405.8 square feet garage) and 42.8% floor area ratio (FAR). The project also proposes to remove the existing pool and construct a 647-square foot basement and a 512-square foot attached Accessory Dwelling Unit (ADU) on the first floor. The proposed floor area would be 4,361 square feet and 48.5% FAR with the ADU.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

<p><b>GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.</b></p>
---

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

- GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:  
The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to the expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]
- GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION:  
The entitlements shall expire if discontinued for a period of one year or more. [SDR] [PLANNING]
- GC-4. INDEMNITY:  
The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]
- GC-5. NOTICE OF FEES PROTEST:  
As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING/OCA]
- GC-6. ENCROACHMENT PERMIT:  
Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

<b>PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.</b>
--

- PS-1. OWNER-OCCUPANCY DEED RESTRICTION:  
Prior to submittal of Building Permit, a Conformed Copy of a deed restriction stating that either the accessory dwelling unit or the primary dwelling shall be owner-occupied from the date of recordation. The dwelling unit not owner-occupied may be rented. [COA] [PLANNING]
- PS-2. TRAFFIC IMPACT FEE:  
A Transportation Impact Fee will be required to be paid prior to building permit issuance. [COA] [PLANNING]
- PS-3. LANDSCAPE PLAN  
Submit a Miscellaneous Plan Permit (MPP) for a landscape plan that conforms to the landscaping requirements described in SMC 19.37. [COA] [PLANNING]
- PS-4. LANDSCAPE CERTIFICATE OF COMPLETION AND MAINTENANCE SCHEDULE:  
After landscaping has been installed (and prior to final inspection for a building permit), a Landscaping Certificate of Completion, including a Maintenance Schedule and must be submitted. [COA] [PLANNING]

**BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

- BP-1. CONDITIONS OF APPROVAL:  
Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]
- BP-2. RESPONSE TO CONDITIONS OF APPROVAL:  
A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]
- BP-3. NOTICE OF CONDITIONS OF APPROVAL:  
A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number,

---

attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are the person(s) who have signed the Notice of Conditions of Approval. [COA] [PLANNING]

BP-4. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
  - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
  - ii) Dumpster drips from covered trash and food compactor enclosures.
  - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
  - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
  - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

- BP-5. **DEMOLITION/CONSTRUCTION/RECYCLING WASTE REPORT FORM:**  
To mitigate the impacts of large projects on local waste disposal and recycling levels, demolition, waste weights/volumes, construction weights/volumes, and recycling weights/volumes are to be reported to the City, per City's "waste & recycling reporting form" (electronic copy available) or a similar chart approved by the City. As part of the project's construction specifications, the developer shall track the type, quantity, and disposition of materials generated, and forward a complete report to the Department of Environmental Services, Solid Waste Division both periodically and at project completion. [COA] [ENVIRONMENTAL SERVICES]
- BP-6. **CONSTRUCTION MATERIAL AND STAGING:**  
All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-way or public easements. [COA] [PUBLIC WORKS]

<p><b>EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.</b></p>
--

- EP-1. **UPGRADE OF EXISTING PUBLIC IMPROVEMENTS:**  
As part of the encroachment permit review and approval, any existing public improvements to be re-used by the project, which are not in accordance with current City standards and are not specifically identified in the herein project conditions (such as water meters, cleanouts, etc.), shall be upgraded to current City standards and as required by the Department of Public Works. [COA] [PUBLIC WORKS]
- EP-2. **UTILITY CONNECTION:**  
This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]
- EP-3. **DRY UTILITIES:**  
Submit dry utility plans and/or joint trench plans (PG&E, telephone, cable TV, fiber optic, etc.) to the Public Works Department for review and approval prior to the issuance of any permits for utility work within any public right-of-way or public utility easements. Separate encroachment permits shall be required for various dry utility construction. [SDR] [PUBLIC WORKS]
- EP-4. **WET UTILITIES:**  
All wet utilities (water, sanitary sewer) on private property shall be privately owned and maintained. The domestic water system shall be

- 
- privately owned and maintained beyond the meter. [COA] [PUBLIC WORKS]
- EP-5. SEWER CLEANOUT:  
Install new sewer cleanout at the street right-of-way line for proposed sanitary sewer lateral used for the project. Sheet A-0 of Site Plan dated 03/01/18 is subject to change during plan check process. [SDR] [PUBLIC WORKS]
- EP-6. UTILITY METER/VAULT:  
No existing or new utility meters or vaults shall be located within the driveway approach. All existing or new utility vaults serving the project site shall be located on-site and not within the public utility easement. [COA] [PUBLIC WORKS]
- EP-7. TRAFFIC CONTROL PLAN:  
Submit a traffic control plan with the encroachment permit for review and approval. Per the City's Temporary Traffic Control Checklist, the traffic control plan shall include a summary of the traffic control types, dates, times and blocks affected. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris. [COA] [PUBLIC WORKS]
- EP-8. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:  
Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]

<b>DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.</b>
---

- DC-1. BLUEPRINT FOR A CLEAN BAY:  
The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]
- DC-2. TREE PROTECTION:  
All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

---

DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]



PUBLIC WORKS NOTES

- PROPERTY OWNER SHALL UPGRADE THE EXISTING WATER METER TO A NEW RADIO READ WATER METER. BEFORE INSTALLATION OF NEW RADIO READ WATER METER, PROPERTY OWNER IS RESPONSIBLE TO COORDINATE WITH CITY FIRE PROTECTION ENGINEER TO DETERMINE CORRECT WATER METER SIZE.
- PRIOR TO ANY WORK IN THE PUBLIC RIGHT-OF-WAY, OBTAIN AN ENCROACHMENT PERMIT ALONG WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. FOLLOW THE ATTACHED LINK FOR THE ENCROACHMENT PERMIT APPLICATION AND REQUIREMENTS. [HTTP://SUNNYVALE.CA.GOV/DEPARTMENTS/PUBLICWORKS/ENCROACHMENTPERMITS.ASPX](http://SUNNYVALE.CA.GOV/DEPARTMENTS/PUBLICWORKS/ENCROACHMENTPERMITS.ASPX)
- CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLISTS AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL BE RESPONSIBLE TO RECTIFY ANY DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS FRONTING AND ADJACENT TO THE PROJECT SITE AS A RESULT OF PROJECT CONSTRUCTION, TO CITY'S SATISFACTION BY THE PUBLIC WORKS DEPARTMENT.

ADVISORY COMMENTS

BUILDING SAFETY

ADVISORY COMMENTS - THE FOLLOWING COMMENTS ARE PROVIDED FOR YOUR INFORMATION

AND GENERALLY WILL NEED TO BE ADDRESSED EITHER ON YOUR BUILDING PERMIT OR PRIOR TO ISSUANCE OF A BUILDING PERMIT.

- BUILDING PERMITS ARE REQUIRED PRIOR TO START OF ANY CONSTRUCTION. SUBMIT FIVE COMPLETE SETS OF PLAN SIGNED AND STAMPED ALONG WITH TWO COPIES OF STRUCTURAL CALCULATIONS, TWO SET OF TITLE 24 ENERGY CALCULATIONS, AND THREE COPIES OF THE SOILS REPORT TO THE ONE-STOP PERMIT CENTER BETWEEN THE HOURS OF 8:00 AND 5:00 PM. THIS PROJECT WILL BE SUBMITTED FOR A 21-DAY PLAN REVIEW.
  - THE DEMOLITION OF THE EXISTING BUILDING WILL BE ISSUED AS A SEPARATE PERMIT. THE DEMOLITION PERMIT WILL REQUIRE 3 SETS OF PLANS INCLUDE A SITE PLAN, TREE PROTECTION PLAN, UTILITY RELEASE FROM PG&E, AND APPROVAL FROM THE BAAQMD (J-NUMBER).
  - SCHOOL IMPACT FEES WILL BE DUE TO THE SCHOOL DISTRICTS PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - BUILDING PERMIT PLANS SHALL COMPLY WITH THE 2016 VERSIONS OF THE CALIFORNIA RESIDENTIAL, ELECTRICAL, PLUMBING, MECHANICAL, GREEN BUILDING, AND ENERGY CODES (OR THE CODE VERSIONS IN EFFECT AT THE TIME OF BUILDING PERMIT SUBMITTAL).
  - PROVIDE COMPLETE STRUCTURAL, ELECTRICAL, PLUMBING, AND MECHANICAL, ARCHITECTURAL, CIVIL, LANDSCAPING, AND GRADING PLANS.
  - THE SUNNYVALE MUNICIPAL CODE REQUIRES THAT THE GARAGE IN ALL NEW SINGLE-FAMILY HOUSES BE PRE-WIRED TO ALLOW FOR A FUTURE LEVEL 2 ELECTRIC CAR CHARGER.
  - WALL AND FLOOR/CEILING SEPARATING THE ACCESSORY DWELLING UNIT FROM THE MAIN HOUSE SHALL BE 1-HOUR FIRE-RATED.
  - INCLUDE THE COMPLETED CALGREEN AND BIG CHECKLISTS ON THE PLANS SUBMITTED FOR BUILDING PERMITS. ADD A NOTE TO THE PLAN SHEET WHERE EACH ITEM IS REFERENCED. SAMPLE CALGREEN CHECKLIST IS AVAILABLE ON-LINE AT: [HTTPS://SUNNYVALE.CA.GOV/BUSINESS/ENVIRONMENTAL/BUILDING.HTM](https://SUNNYVALE.CA.GOV/BUSINESS/ENVIRONMENTAL/BUILDING.HTM)
- ENSURE THAT THE RELATED PLAN SHEETS REFLECT THE ALL REQUIREMENTS OF THE CALGREEN AND BIG AS NOTES OR ARE INCORPORATED INTO THE PLANS. PLEASE BE AWARE THAT A GREEN POINT RATER WILL BE REQUIRED TO VERIFY THE BIG ITEMS ARE INCORPORATED INTO THE PLANS AND ALSO VERIFY INSTALLATION IS COMPLETE PRIOR TO OCCUPANCY OF ANY UNIT/BUILDING.

CONTACT CAROL LAU IN THE BUILDING DIVISION AT [CLAU@SUNNYVALE.CA.GOV](mailto:CLAU@SUNNYVALE.CA.GOV) OR 408-730- 1103 FOR ANY FURTHER QUESTIONS REGARDING BUILDING CODE REQUIREMENTS OR REVIEW

FIRE PREVENTION

ADVISORY COMMENTS. THE FOLLOWING COMMENTS ARE BASED ON A PRELIMINARY REVIEW OF THE PLANS PROVIDED AND WILL NEED TO BE FULLY ADDRESSED PRIOR TO PLAN APPROVAL.

- COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.
- AN APPROVED AUTOMATIC FIRE SPRINKLER.
- SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13D IS REQUIRED THROUGHOUT EACH STRUCTURE.
- BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (ESCAPE WINDOW) IN ACCORDANCE WITH CFC SECTION 1030.1. (CFC 1030)
- LANDSCAPING AND LOCATION OF SLEEPING ROOMS RELATIVE TO PROPERTY LINES SHALL BE LOCATED 50 AS TO PROVIDE APPROVED LADDER ACCESS TO EACH SLEEPING ROOM.
- APPROVED LADDER ACCESS CONSISTS OF A MAXIMUM TO DEGREE CLIMBING ANGLE, AT LEAST 3 FEET OF CLEAR SPACE BEHIND THE BASE OF THE LADDER TO ALLOW ACCESS AND APPROVED CONCRETE OR GRAVEL LADDER PADS HAVING A MINIMUM DIMENSION OF 3' X 6' AND POSITIONED SO THAT THE 6' LENGTH IS PERPENDICULAR TO THE STRUCTURE.
- PROVIDE APPROVED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS THROUGHOUT EACH STRUCTURE.
- CONTACT RUSSELL CHUNG AT (408) 730-1148 FOR ADDITIONAL QUESTIONS
- REFER TO OUR WEBSITE, [FIREPREVENTION.SUNNYVALE.COM](http://FIREPREVENTION.SUNNYVALE.COM) FOR MORE INFORMATION REGARDING THE ITEMS LISTED ABOVE AND THE SPECIFIC REQUIREMENTS WITHIN THE CITY OF SUNNYVALE.

PLANNING ADVISORY COMMENTS

- NEW HOMES GREEN POINT RATED CHECKLIST - THIS PROJECT IS REQUIRED TO BE DESIGNED TO ACHIEVE A MINIMUM OF 80 POINTS ON BUILD IT GREEN'S GREEN POINT RATED CHECKLIST. PROVIDE CHECKLIST SHOWING THE POINTS ACHIEVED AND ENSURE THAT THE ITEMS ARE ALSO SHOW ON THE APPROPRIATE PLANS IN THE PLAN SET. USE THE FOLLOWING

LINK AS A RESOURCE FOR THE GREENPOINT RATED CHECKLIST: [HTTPS://WWW.BUILDITGREEN.ORG](https://WWW.BUILDITGREEN.ORG)

- LANDSCAPING - INDICATE THE NUMBER OF SQUARE FEET OF THE LANDSCAPING THAT IS BEING MODIFIED. IF MORE THAN 500 SQ. FT. OF LANDSCAPING IS MODIFIED AND YOUR HOUSE IS CONSIDERED A NEW HOUSE BY THE BUILDING DIVISION, THEN A LANDSCAPE PLAN IS REQUIRED (AT THE BUILDING PERMIT STAGE) THAT CONFORM TO THE WATER EFFICIENT LANDSCAPING REQUIREMENTS DESCRIBED IN THE LINK BELOW. COMPLETE THE WATER EFFICIENT CHECKLIST CHOOSING EITHER OPTION #1 OR OPTION #2.

[HTTPS://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=235942](https://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=235942)  
[HTTPS://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=235945](https://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=235945)

- DEED RESTRICTION FOR ADU - PRIOR TO ISSUANCE OF A BUILDING PERMIT, FILE A DEED RESTRICTION STATUTING THAT EITHER THE ACCESSORY DWELLING UNIT OR THE PRIMARY DWELLING SHALL BE OWNER OCCUPIED FROM THE DATE THE DEED RESTRICTION IS RECORDED. THE DWELLING UNIT NOT SO OCCUPIED MAY BE RENTED. DETAILED INSTRUCTIONS WILL BE SENT WHEN THE PROJECT IS APPROVED.

- NOTICING - ANY SINGLE-FAMILY ADDITION OR NEW CONSTRUCTION REQUIRING A PUBLIC HEARING ARE REQUIRED TO POST A NOTICE AT THE PROJECT SITE AND VISIBLE FROM A PASSING CAR, WHICH CONTAINS A STREETScape ELEVATION AND A NOTICING LANGUAGE. PLEASE PROVIDE AN ELECTRONIC VERSION OF THE STREETScape PLAN (PDF) TO STAFF. STAFF WILL PREPARE THE NOTICE FOR THE APPLICANT TO POST. FOR MORE INFORMATION ON THE PROCEDURE, PLEASE REFER TO THE FOLLOWING WEBSITE LINK: [HTTPS://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=23587](https://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=23587)

- PLANNING COMMISSION MEETINGS ARE SCHEDULED ON MONDAY EVENINGS AT 7:00PM. WHEN THE PLANNING COMMISSION PUBLIC HEARING DATE IS DETERMINED, THE HOMEOWNER AND/OR THE ARCHITECT WOULD BE REQUIRED TO ATTEND THE HEARING.

STAFF STRONGLY RECOMMENDS CONDUCTING AN OUTREACH WITH THE ADJACENT NEIGHBORS PRIOR TO SCHEDULING THE PROJECT FOR PUBLIC HEARING AND NOTICING. IF YOU ARE SUCCESSFUL IN HAVING THE NEIGHBORS DRAFT A LETTER SUPPORTING YOUR PROJECT, PLEASE SUBMIT THE LETTER(S) TO STAFF.

- ADU TRAFFIC IMPACT FEE. PAYMENT OF A TRAFFIC IMPACT FEE, ESTIMATED AT \$1,931.00, WILL BE DUE AT THE TIME OF BUILDING PERMIT ISSUANCE.

PLEASE SUBMIT 5 FULL SIZED SET OF PLANS WITH YOUR REVISIONS. PLEASE INCLUDE A LETTER DESCRIBING HOW EACH COMMENT WAS ADDRESSED

PROJECT DATA

OWNER:	SHIOU PENG TSAI	PHONE: (408) 823-4619
ADDRESS:	982 YORKTOWN DR. SUNNYVALE, CA	
APN #:	202-24-002	
OCCUPANCY:	R-3/U	
CONSTRUCTION TYPE::	VB	
ZONING:	R-1	
NET SITE AREA:	8,986 ± SQ.FT.	
FAR REQUIRED:	8,986 x 0.45 (45%) = 4,043.7 SQ.FT.	
MAX. LOT COVERAGE:	8,986 x 0.4 (40%) = 3,594.4 SQ.FT.	

	EXISTING	NEW	SUBTOTAL
1ST FLOOR	1,848 SQ. FT		2,329.6 SQ.FT.
2ND FLOOR	----		945.9 SQ.FT.
ATTACHED GARAGE	532 SQ. FT		405.8 SQ.FT.
FRONT COVERED PORCH	----		141.3 SQ.FT.
SIDE COVERED PORCH	----		36 SQ.FT.
REAR COVERED PORCH	----		168 SQ.FT.
FRONT BALCONY	----		168.5 SQ.FT.
SIDE BALCONY	----		50.8 SQ.FT.
TOTAL LIVING AREA	----	2,329.6 + 945.9 =	3,275.5 SQ.FT.
ATTACHED 2ND UNIT	----		512 SQ.FT.
	----		
BASEMENT	----		647 SQ.FT.
TOTAL GROSS FLOOR AREA	3,275.5 + 512 + 405.8 + 168 =		4,361.3 SQ.FT.
FAR	4,361.3 SQ.FT./ 8,986 SQ.FT.		48.5 %
LOT COVERAGE	2,329.6+405.9+141.3+36+168+512 = 3,592.8 SQ.FT./ 8,986 SQ.FT.		39.99 %

GENERAL NOTES:

- ALL CONSTRUCTION SHALL EXCEED THE LATEST EDITION OF CODES ADOPTED BY LOCAL BLDG OFFICIAL, AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES. IN THE EVENT OF A CONFLICT WITH CODE REQUIREMENTS AND ITEMS CALLED OUT ON THE DRAWINGS, THAT CODE OR CALL OUT WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE. NOTIFY THE ARCHITECT/DESIGNER/ ENGINEER ANY VIOLATION OF CODE IMMEDIATELY.
- CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK.
- PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND DRAIN TO STREET.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENTS.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOW OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. FIELD VERIFY ALL CABINET SPACE AND FIXED GLASS SIZES, APPLIANCE, FIXTURES, EQUIPMENT ETC. CLEARANCES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT. THE ARCHITECT/DESIGNER WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT.
- DURING CONSTRUCTION STAGE, IF ANY ADDITIONAL EQUIPMENT TO BE INSTALLED OF CHANGE ORDERS REQUESTED BY OWNER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER/ENGINEERS IMMEDIATELY.
- SUBCONTRACTORS SHALL COORDINATE THEIR WORKS WITH EACH OTHER PROFESSIONALLY. NOTIFY GENERAL CONTRACTOR ANY DISCREPANCY & DIFFICULTY.
- TRADE NAME AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY OWNER.
- CONTRACTOR'S PROPOSAL INCLUDES ON THE SITE PROJECT MANAGEMENT AND FIELD SUPERVISION AS REQUIRED TO MAINTAIN A SAFE AND EFFICIENT WORK PLACE.
- THE BUILDING AND THE GARAGE WILL BE REQUIRED TO HAVE NFPA 13D W/ SAN JOSE AMENDAMENT SPRINKLER SYSTEM. THE SPRINKLER SYSTEM PERMIT IS TREATED AS DEFERRED SUBMITTAL

SHEET INDEX

- T-0 COVER SHEET
- SURVEY
- 1 TOPOGRAPHIC SURVEY
- ARCHITECTURAL
- A-0 SITE PLAN , PROJECT DATA, VICINITY MAP
- A-1 EXISTING FLOOR PLAN, ELEVATIONS
- A-2 PROPOSED 1ST FLOOR PLAN
- A-2.1 PROPOSED 2ND FLOOR PLAN
- A-3 PROPOSED BUILDING ELEVATIONS
- A-3.1 PROPOSED BUILDING ELEVATIONS
- A-3.2 PROPOSED BUILDING ELEVATIONS
- A-4 BUILDING SECTIONS
- A-5 PROPOSED ROOF PLAN
- A-5.1 SOLAR ACCESS AND SHADOW ANALYSIS- STREETScape ELEVATIONS
- A-5.2 SOLAR ACCESS AND SHADOW ANALYSIS- STREETScape ELEVATIONS

ABBREVIATIONS

4	AND	G.I.	GALVANIZED IRON
∠	ANGLE	GYP.BD.	GYPSUM BOARD
@	AT	H.B.	HOSE BIBB
CL	CENTERLINE	INSUL	INSULATION
[	CHANNEL	INT	INTERIOR
Φ	DIAMETER OR ROUND	INV	INVERT
	PARALLEL	M.B.	MACHINE BOLT
⊥	PERPENDICULAR	M.C.	MEDICINE CHEST
PL	PLATE	MIN.	MINIMUM
#	POUND OR NUMBER	MTL.	METAL
A.B.	ANCHOR BOLT	N.I.C.	NOT IN CONTRACT
A/C	ASPHALTIC CONCRETE	NTS	NOT TO SCALE
ACC.	ACCOUSTIC	NOM	NOMINAL
A.F.F	ABOVE FINISH FLOOR	O/C	ON CENTER
ALUM	ALUMINUM	OP8.	OPENING
BLK	BLOCK	LAM	LAMINATED PLASTIC
C.J.	COLD JOINT	PL.	PLATE
CONC	CONCRETE	PL GL	PLATE GLASS
CONT	CONTINUOUS	PLY	PLYWOOD
C.I.	CAST IRON	RDWD	REDWOOD
DF	DOUGLAS FIR	RM.	ROOM
ELEV	ELEVATION	RWL	RAIN WATER LEADER
(E)	EXISTING	SIM	SIMILAR
EXIST	EXISTING	TEMP GL	TEMPERED GLASS
EXT	EXTERIOR	T48	TONGUE AND GROOVE
F.E.	FIRE EXTINGUISHER	T.O.C.	TOP OF CURB
F.F.	FINISH FLOOR	T.O.P.	TOP OF PLATE
FIN	FINISH	TYP	TYPICAL
FL.	FLOOR	UN	UNLESS OTHERWISE NOTED
F.O.C.	FACE OF CONC	VGDF	VERTICAL GRAIN DOUGLAS FIR
F.O.B.	FACE OF BLOCK	W	WITH
F.O.S.	FACE OF STUD	WC	WATER CLOSET
FDN	FUNDATION	WH	WATER HEATER
FUR	FURNACE	WKF	WELDED WIRE FABRIC
FTG	FOOTING	TH	THRESHOLD
GALV	GALVANIZED		

SCOPE OF WORK

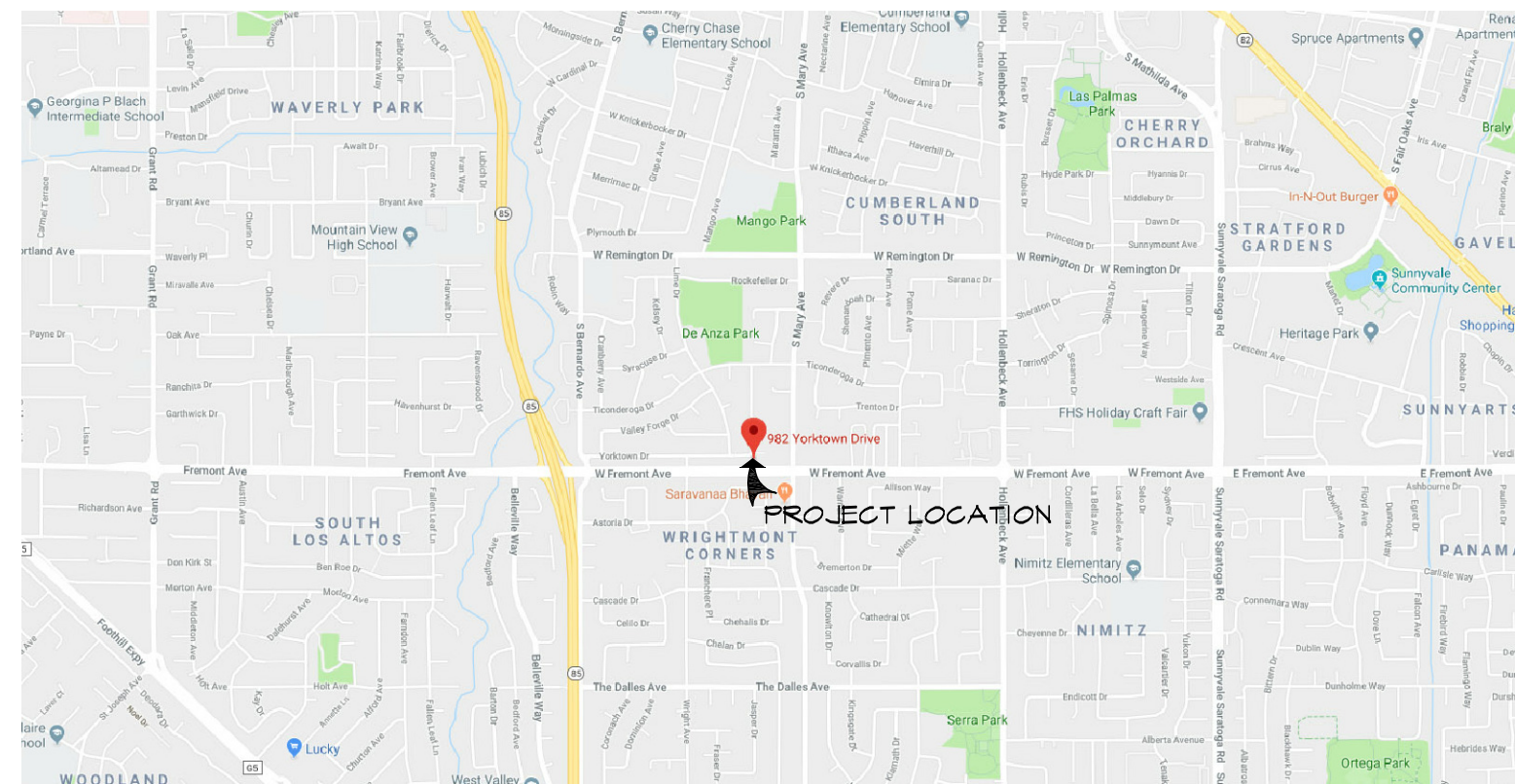
- PROPOSED NEW 2-STORY RESIDENCE WITH BASEMENTADD
- PROPOSED NEW ATTACHED 2ND UNIT
- DEMOLITION OF THE EXISTING POOL

APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

CALIFORNIA BUILDING CODE 2016 EDITION  
CALIFORNIA RESIDENTIAL CODE 2016 EDITION  
CALIFORNIA MECHANICAL CODE 2016 EDITION  
CALIFORNIA PLUMBING CODE 2016 EDITION  
CALIFORNIA ELECTRIC CODE 2016 EDITION  
CALIFORNIA RESIDENTIAL ENERGY CODE 2016 EDITION  
CALIFORNIA GREEN BUILDING CODE 2016 EDITION  
CITY OF SUNNYVALE MUNICIPAL CODE

VICINITY MAP



NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

SET NAIL  
ELEVATION=100.00' ASSUMED

BASIS OF BEARINGS:

THE BEARING N0°05'30"E OF CENTERLINE OF MANDARIN DRIVE  
AS SHOWN ON TRACT MAP NO. 2328 FILED IN BOOK 104 OF  
MAPS AT PAGE 13, SANTA CLARA COUNTY RECORDS.

REFERENCES:

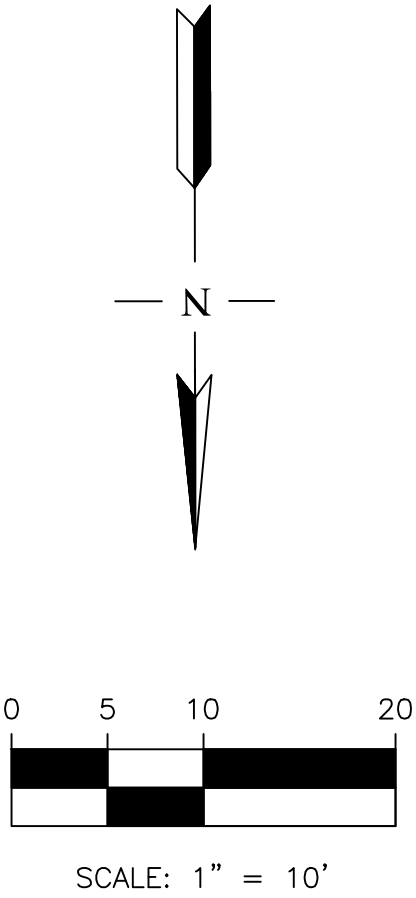
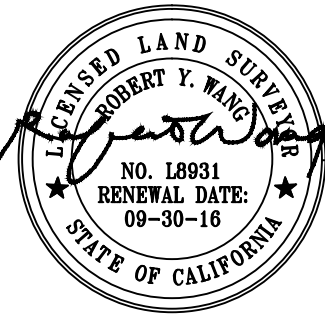
R1 TRACT 2328 (104 MAPS 13)

**RW** **RW ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
  
505 ALTAMONT DRIVE  
MILPITAS, CA 95035  
(P) (408) 262-1899  
(FAX) (408) 824-5556  
rwengineering@gmail.com

TOPOGRAPHIC MAP

JUNE 6, 2015  
CONSISTING OF ONE SHEET

SITE: 982 YORKTOWN DRIVE  
SUNNYVALE, CA  
APN: 202-24-002  
PARCEL: LOT 25 TRACT 2328  
AREA: 8,986 S.F.±

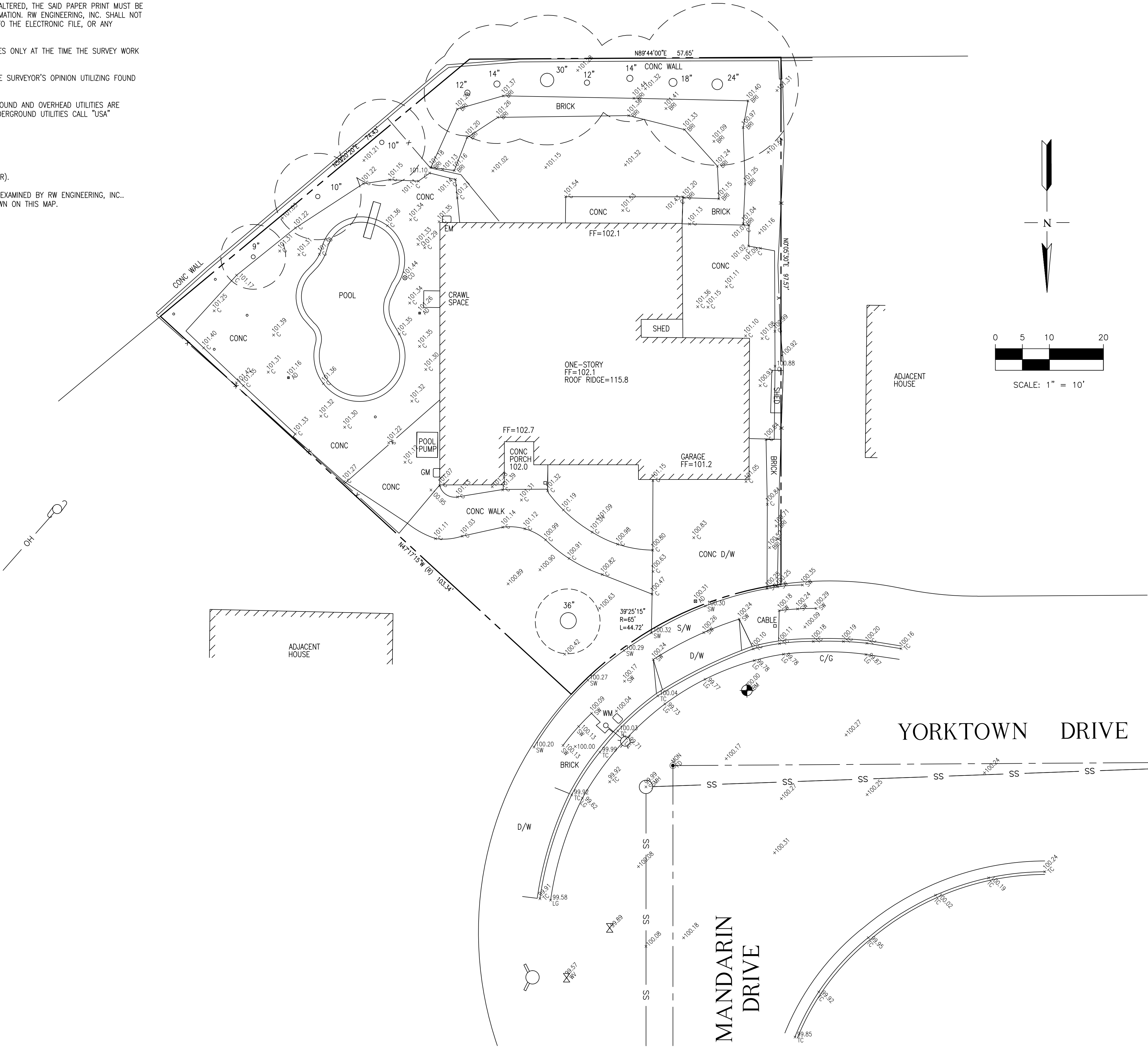


ABBREVIATION

AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BRI	BRICK
C/G	CURB & GUTTER
C	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIP OF GUTTER
MB	MAIL BOX
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
SSMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

LEGEND

---	PROPERTY LINE
- - -	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
⊙	STREET LIGHT
PG&E	UTILITY BOX-TYPE AS NOTED
WM/GM	WATER/GAS METER
WV	WATER VALVE
	CURB CATCH BASIN
+○+	FIRE HYDRANT
○ MH	MANHOLE-TYPE AS NOTED
○ CO	SANITARY SEWER CLEANOUT
PP○ OH	POWER POLE W/ OVERHEAD WIRE
⬢	BENCHMARK
200	CONTOUR LINE
⊙ MON	MONUMENT
○ 12"	TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
→	GUY WIRE





REVISIONS	BY

LEL DESIGN

DESIGN PLANNING & ILLUSTRATION

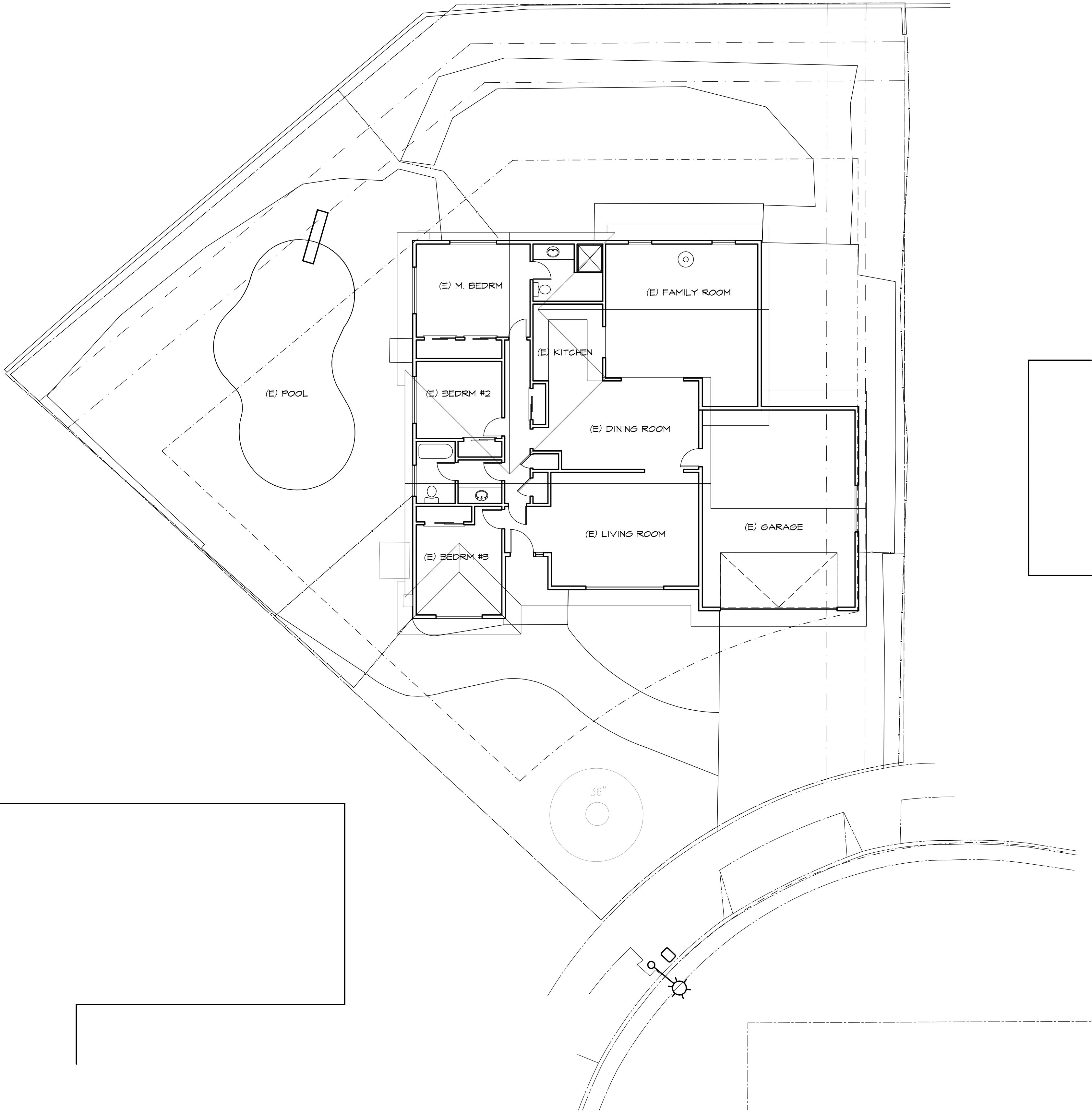
2701 STEVENS CREEK BLVD. # 252 CUPERTINO, CA 95015

TEL: (408) 657-8128 LELDESIGNGROUP@GMAIL.COM

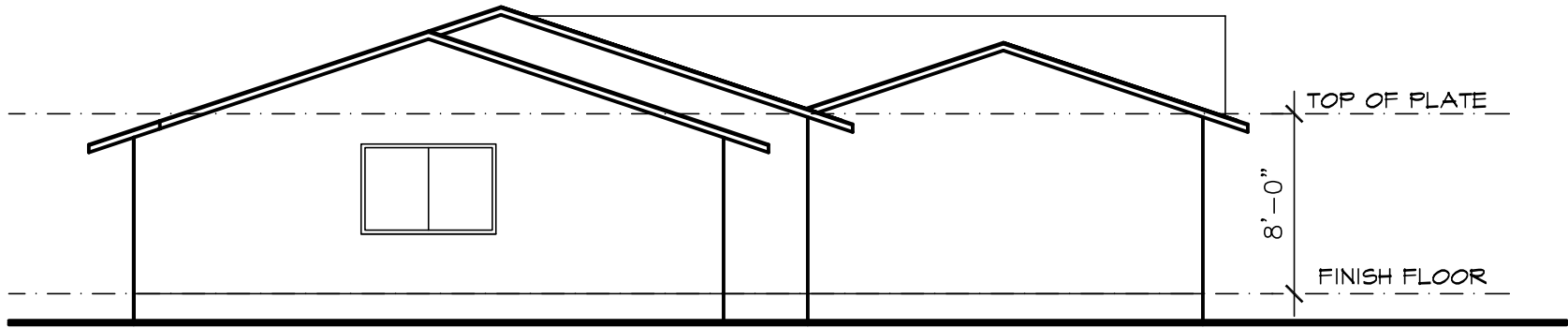
EXISTING FLOOR PLAN  
EXISTING ELEVATIONS

TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL: (408) 823-4619

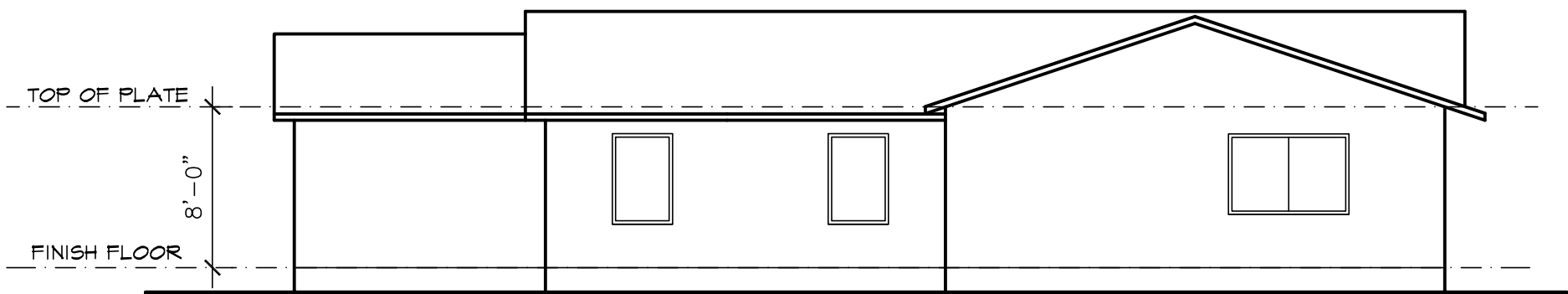
Date:	03/01/18
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-1
Of	Sheets



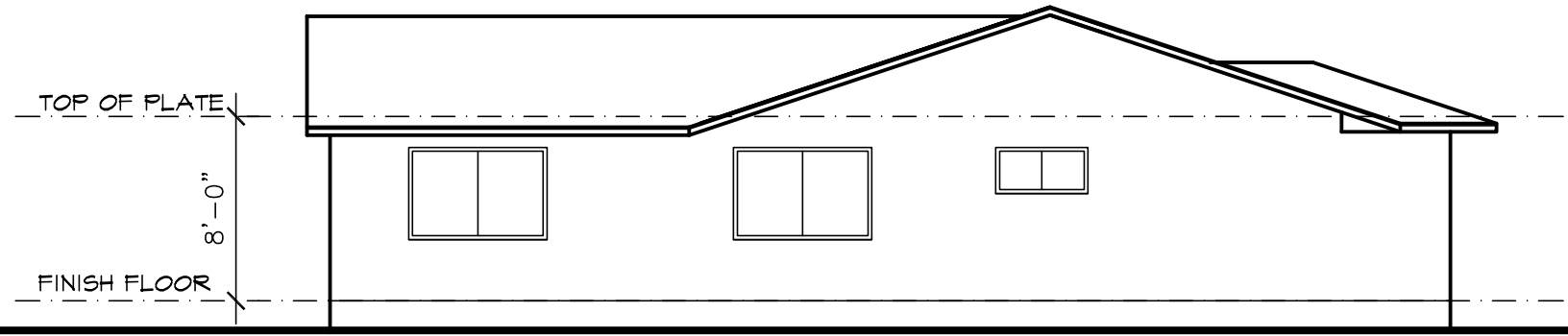
5 (E) FLOOR PLAN  
SCALE: 1/8"=1'-0"



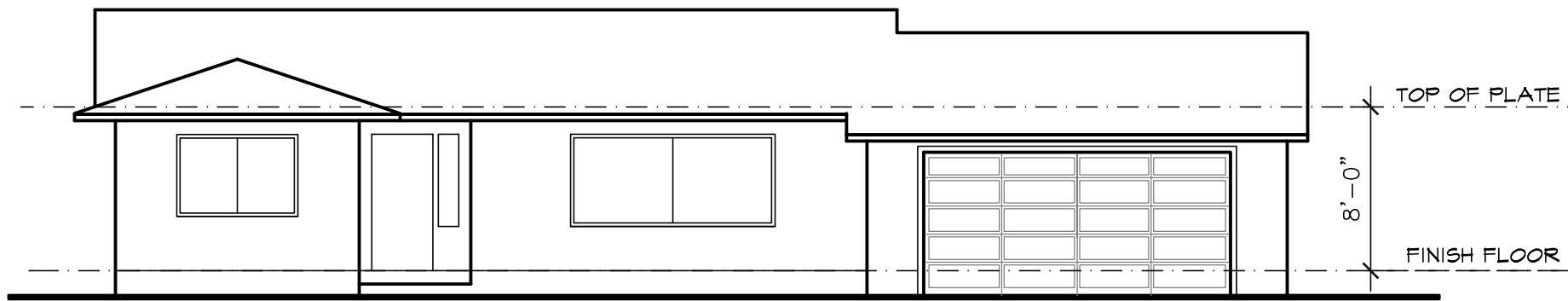
4 (E) RIGHT ELEVATION  
SCALE: 1/8"=1'-0" (WEST)



3 (E) REAR ELEVATION  
SCALE: 1/8"=1'-0" (EAST)



2 (E) LEFT ELEVATION  
SCALE: 1/8"=1'-0" (EAST)



1 (E) FRONT ELEVATION  
SCALE: 1/8"=1'-0" (NORTH)

REVISIONS	BY

LEL DESIGN

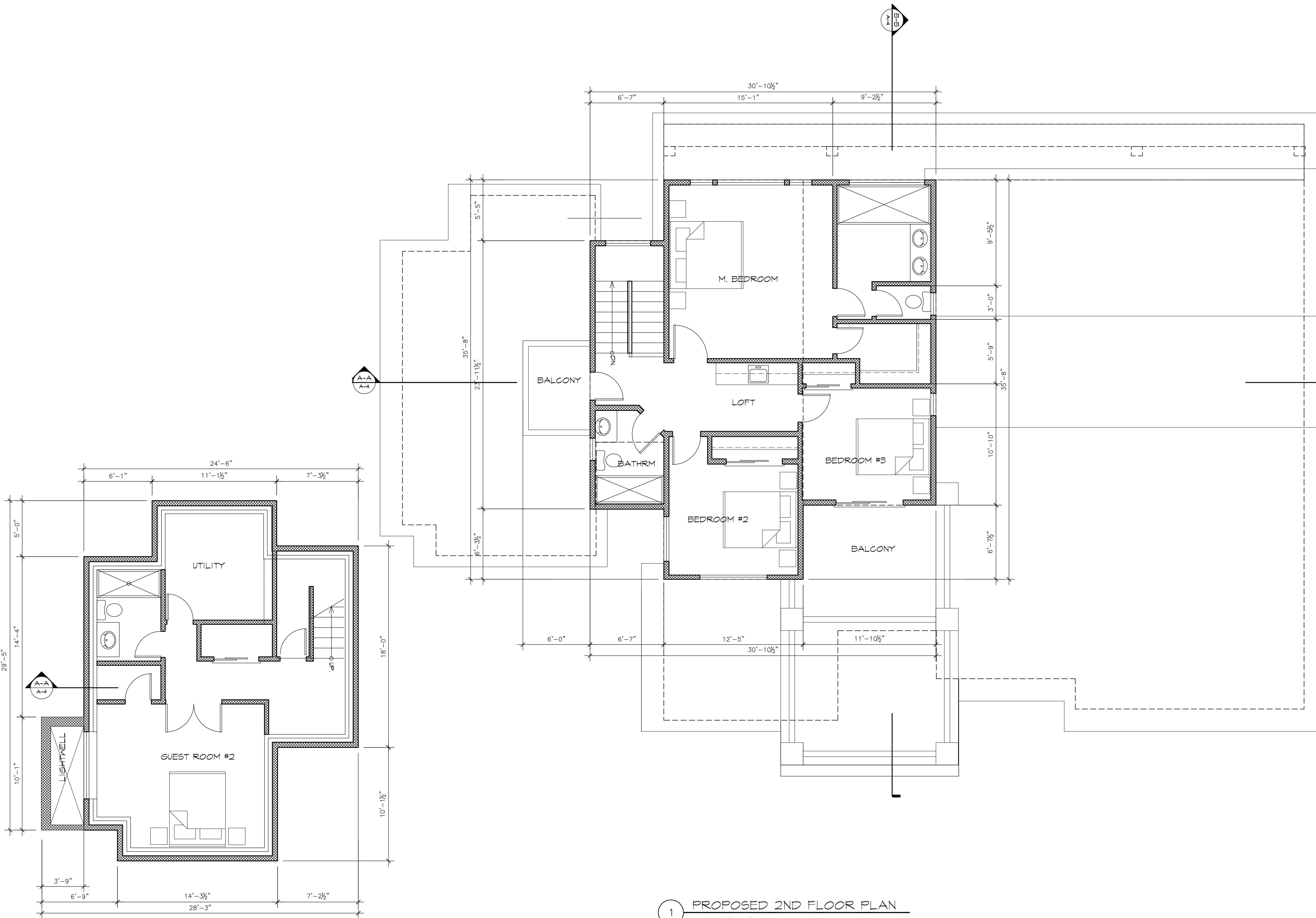
DESIGN PLANNING & ILLUSTRATION

2101 STEVENS CREEK BLVD. # 22, CUPERTINO, CA 95015  
TEL: (408) 681-9428    LELDESIGN@GMAIL.COM

PROPOSED FLOOR PLAN

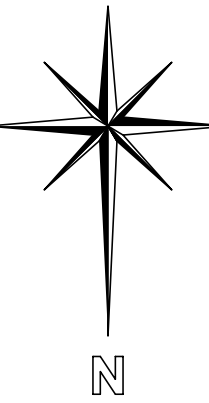
TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL: (408) 823-4619

Date:	03/01/18
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-2.1
Of	Sheets

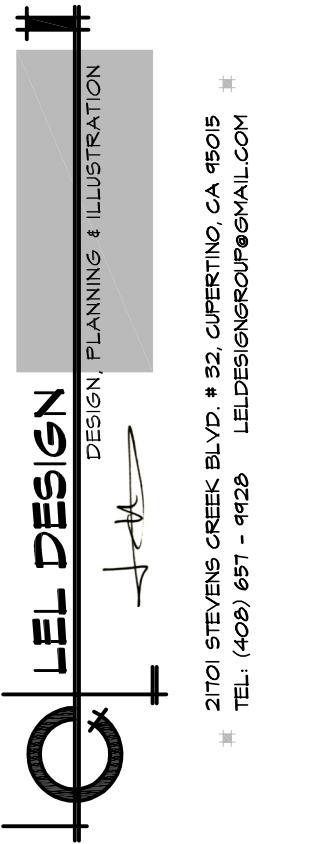


1 PROPOSED 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

1 PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/4"=1'-0"



REVISIONS	BY



# PROPOSED FLOOR PLAN

**TS&I RESIDENCE**  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL. (408) 823-4619

Date: 03/01/18

---

Scale: AS-SHOWN

---

Drawn: L

---

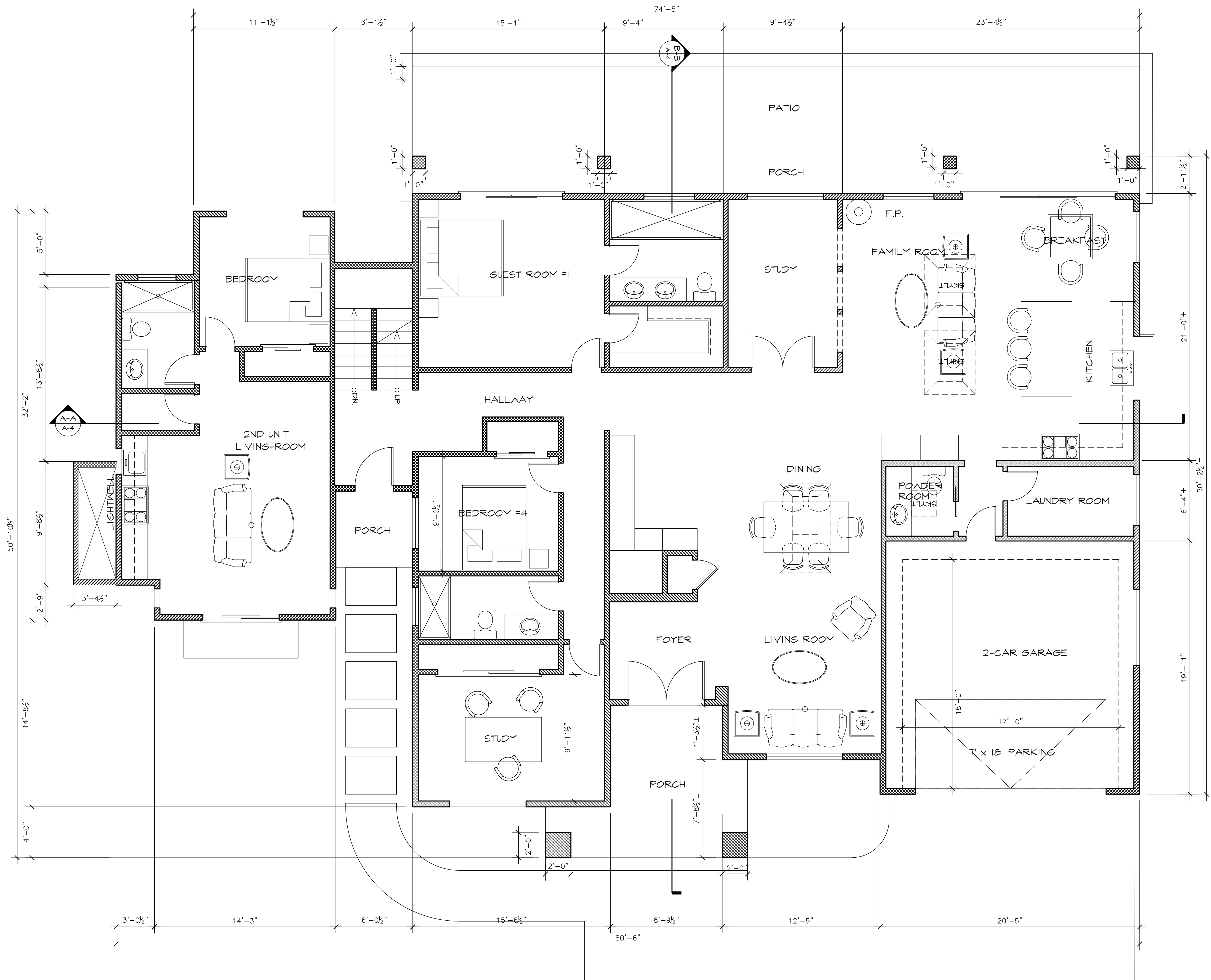
Job:

---

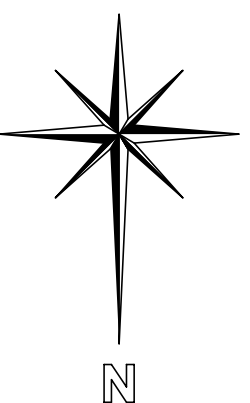
Sheet:

A-2

Of Sheets



1 PROPOSED 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"



REVISIONS	BY

LEL DESIGN

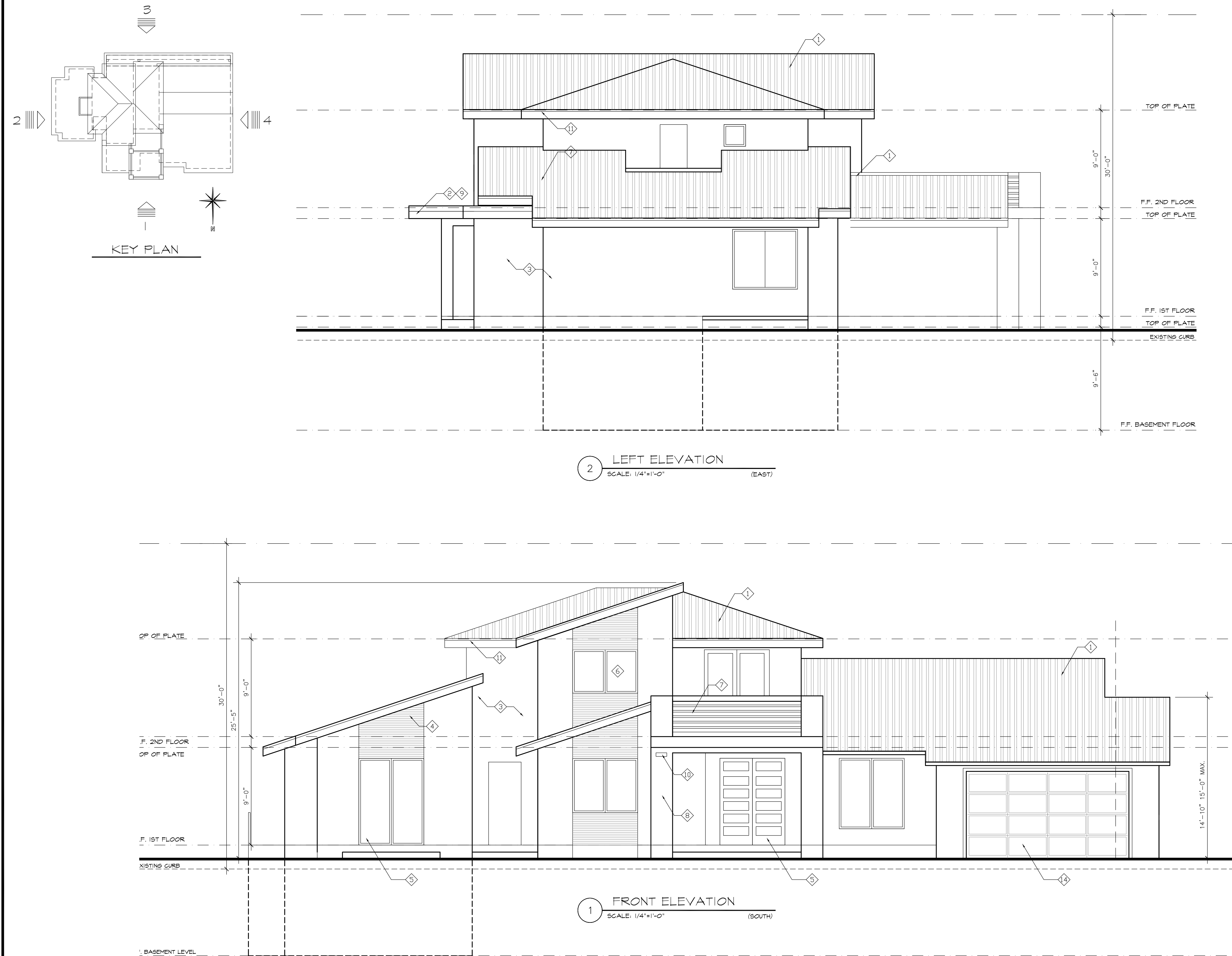
DESIGN PLANNING & ILLUSTRATION

21701 STEVENSON CREEK BLVD # 25, CUPERTINO, CA 95055  
TEL: (408) 681-9128 LELDESIGNGROUP@GMAIL.COM

PROPOSED BUILDING ELEVATIONS

TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL: (408) 823-4619

Date: 03/01/18  
Scale: AS-SHOWN  
Drawn: L  
Job:  
Sheet:  
A-3  
Of Sheets



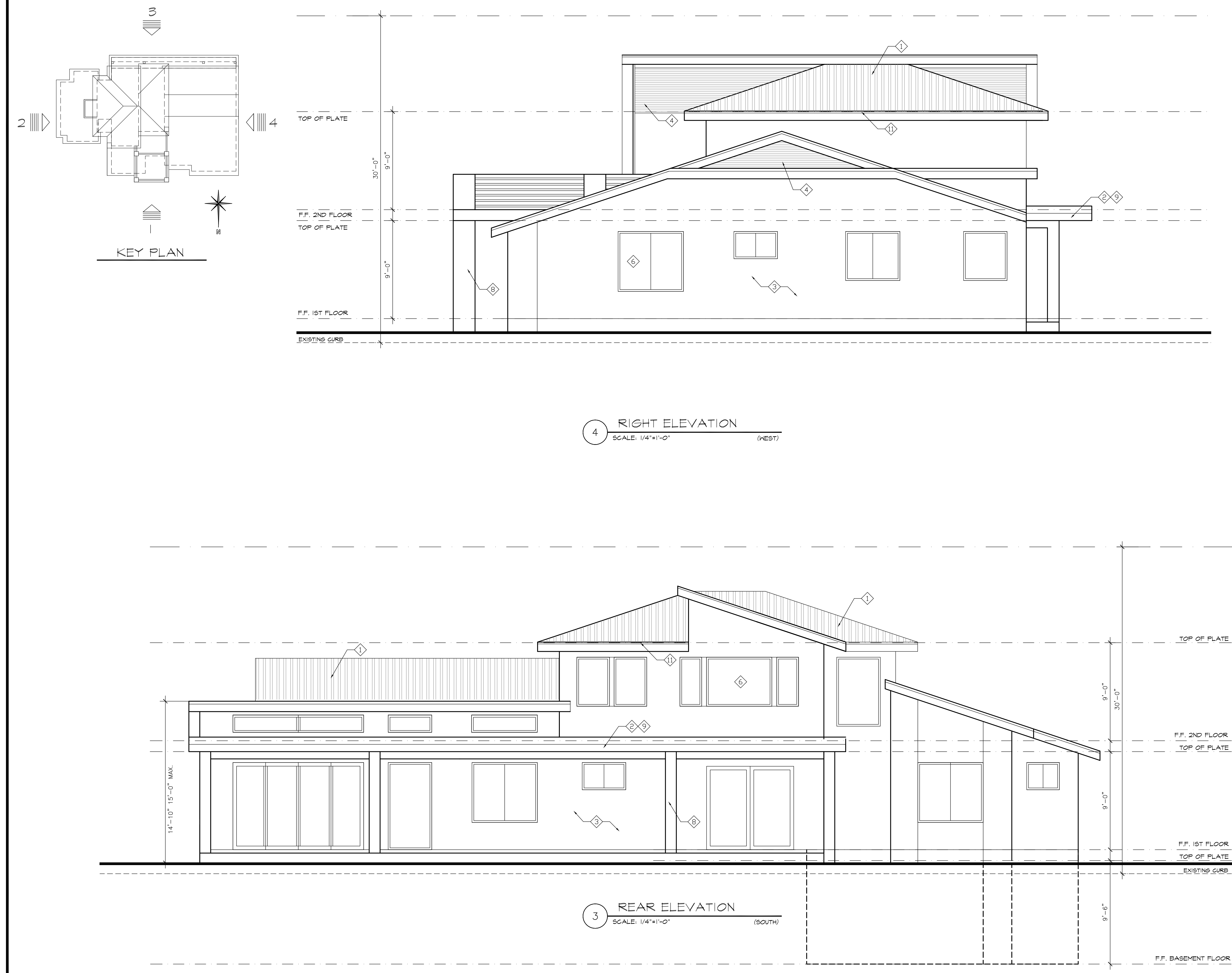
REVISIONS	BY

LEL DESIGN  
DESIGN PLANNING & ILLUSTRATION  
2101 STEVENS CREEK BLVD. # 350 CUPERTINO, CA 95055  
TEL: (408) 651-9028 LELDESIGN@GMAIL.COM

PROPOSED BUILDING ELEVATIONS

TSAI RESIDENCE  
982 YORKTOWN DR  
SUNNYVALE, CA 94087  
TEL: (408) 823-4619

Date:	03/01/18
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-3.1
Of	Sheets



- KEYNOTES:
- 1 ROOF: METAL ROOF OVER 2 LAYER #30 ROOFING FELT-INSTALL PER MFR INSTRUCTION, ICC #: ESR-2808
  - 2 ROOF: BUILT-UP ROOF
  - 3 EXTERIOR PLASTER/STUCCO (ACRYLIC SMOOTH FINISH): PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R311) OR GYPSUM BACKING (RT03.6.2).
  - 4 EXTERIOR WOOD SIDING FINISH: - MINIMUM OF ONE LAYER OF NO.15 ASPHALT FELT OR OTHER APPROVED MATERIAL, AND SHALL BE ATTACHED TO THE STUDS OR SHEETING WITH FLASHINGS AS REQUIRED PROVIDING A CONTINUOUS WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR WALL VENEER. ANY TEARS MUST BE REPAIRED AND ALL PENETRATIONS SEALED. COLOR FINISH
  - 5 CUSTOM SOLID CORE DOORS
  - 6 DOUBLE GLAZED WINDOWS (TYP.)
  - 7 COLUMNS STUCCO FINISH
  - 8 METAL CLADDING PLATE
  - 9 STREET ADDRESS PER CRC 319
  - 10 5" 26 GA. G.I. PROFILE GUTTER ON 2X8 S4S SURFACE FASCIA BOARD WITH DOWN SPOUT AT PROPER LOCATIONS (ALL ROOF DRAINS SHALL BE DRAINED TO STREET DIRECTLY)
  - 11 SCREEN VENT WITH 1/4" WIRED MESH (TYP.)
  - 12 KEEP SCREED (TYP.) MIN. 4" ABOVE GRADE OR 2" ABOVE PAVING
  - 13 GLASS GARAGE DOOR
  - 14

REVISIONS	BY

LEL DESIGN

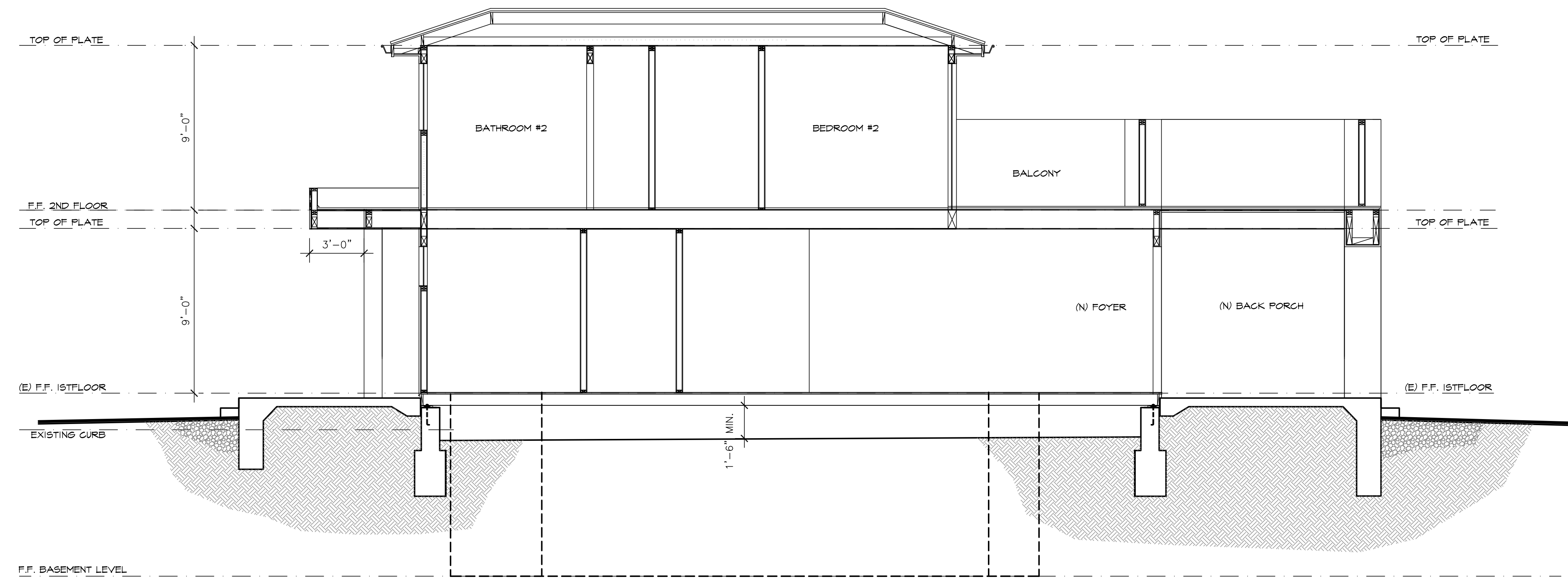
DESIGN PLANNING & ILLUSTRATION

2701 STEVENS CREEK BLVD. # 252 CUPERTINO, CA 95015  
TEL: (408) 651-8128 LELDESIGNGROUP@GMAIL.COM

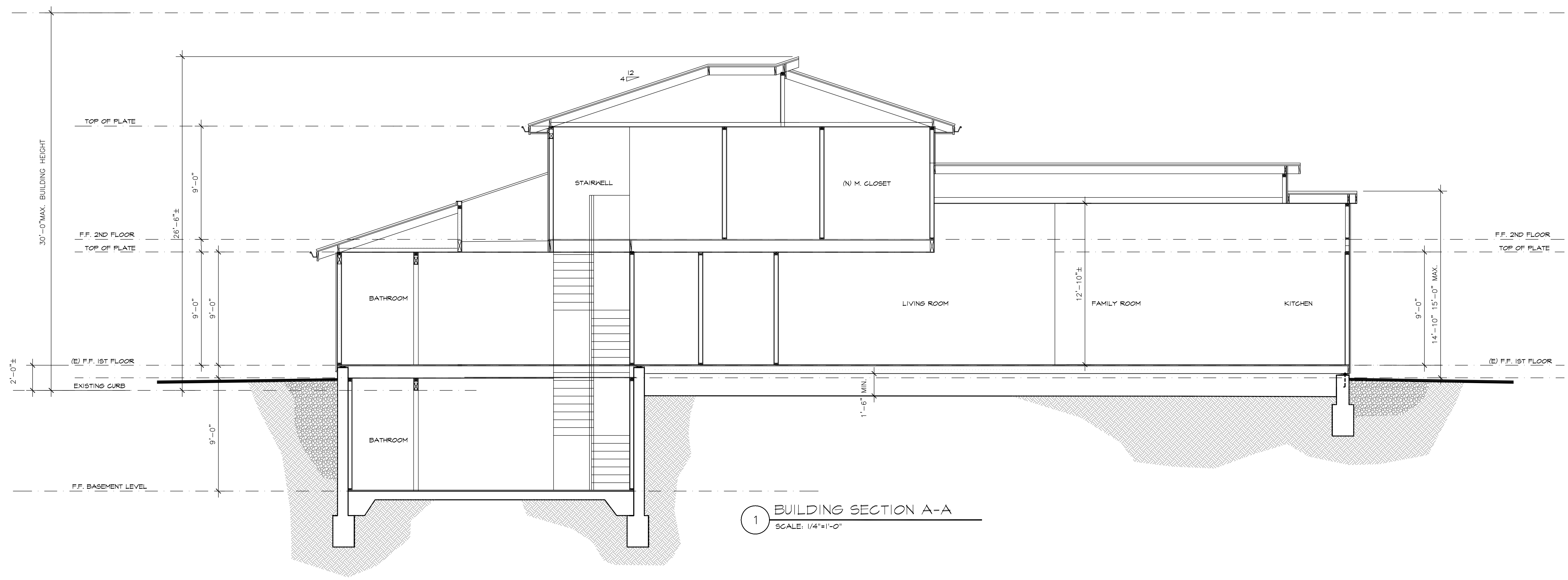
BUILDING SECTIONS

TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL: (408) 823-4619

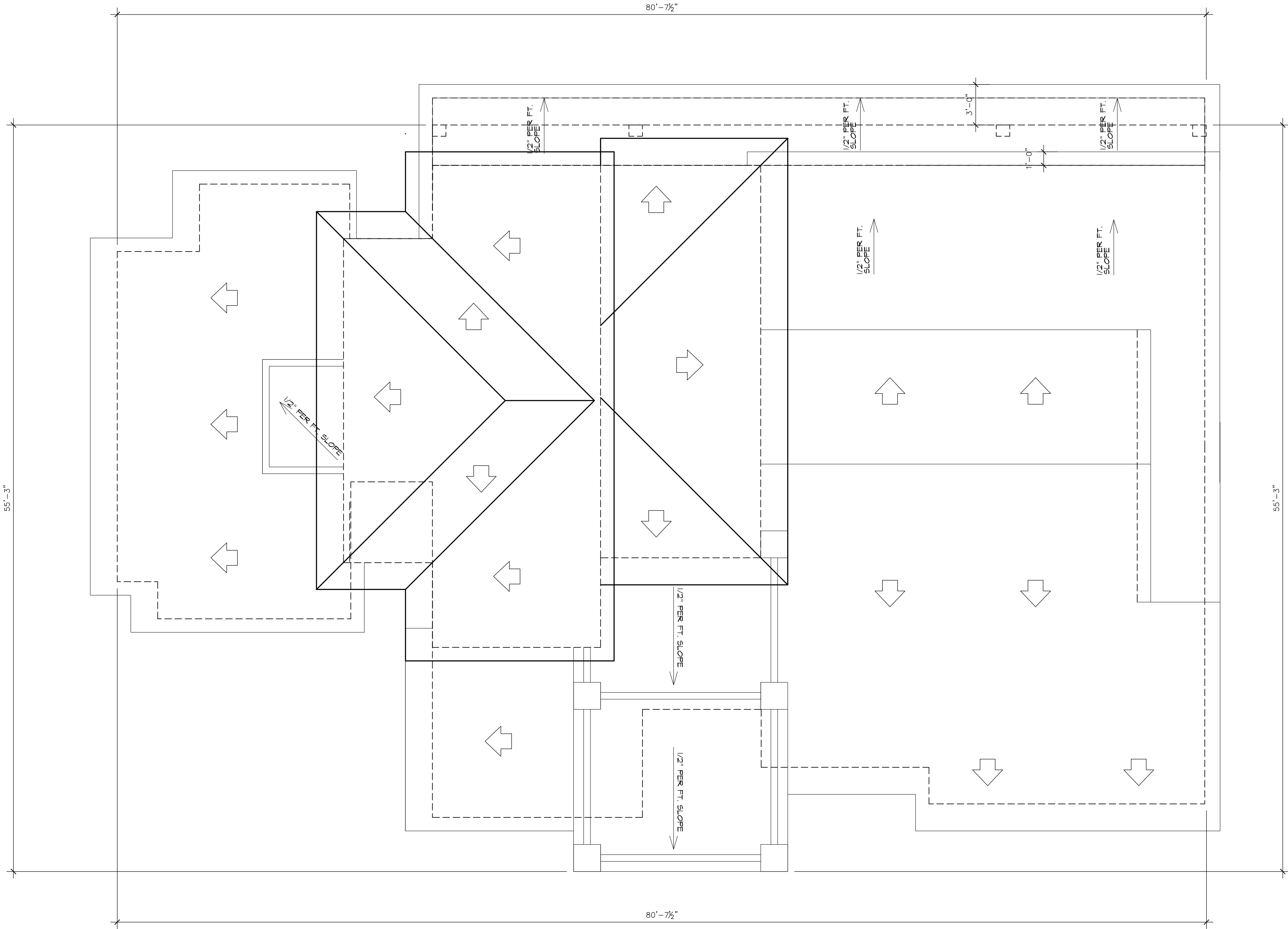
Date: 03/01/18  
Scale: AS-SHOWN  
Drawn: L  
Job:  
Sheet:  
A-4  
Of Sheets



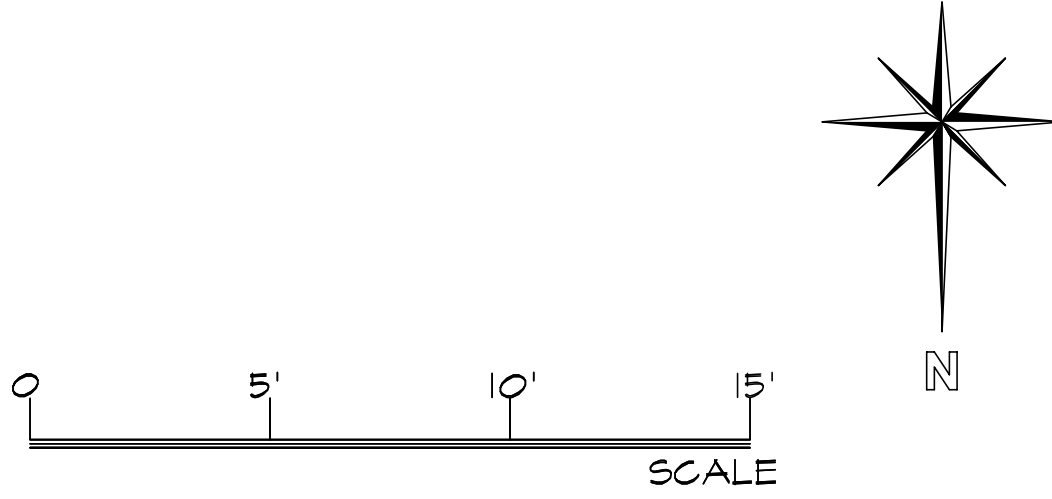
2 BUILDING SECTION B-B  
SCALE: 1/4"=1'-0"



1 BUILDING SECTION A-A  
SCALE: 1/4"=1'-0"



1  
PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"



REVISIONS	BY



LEL DESIGN  
DESIGN PLANNING & ILLUSTRATION  
2101 STEVENS CREEK BLVD. • 32 CUPERTINO, CA 95015  
TEL: (408) 657-8128    LELDESIGNGROUP@GMAIL.COM

PROPOSED ROOF PLANS

TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL. (408) 823-4619

Date:	03/01/18
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-5
Of Sheets	

REVISIONS	BY



LEL DESIGN

DESIGN PLANNING & ILLUSTRATION

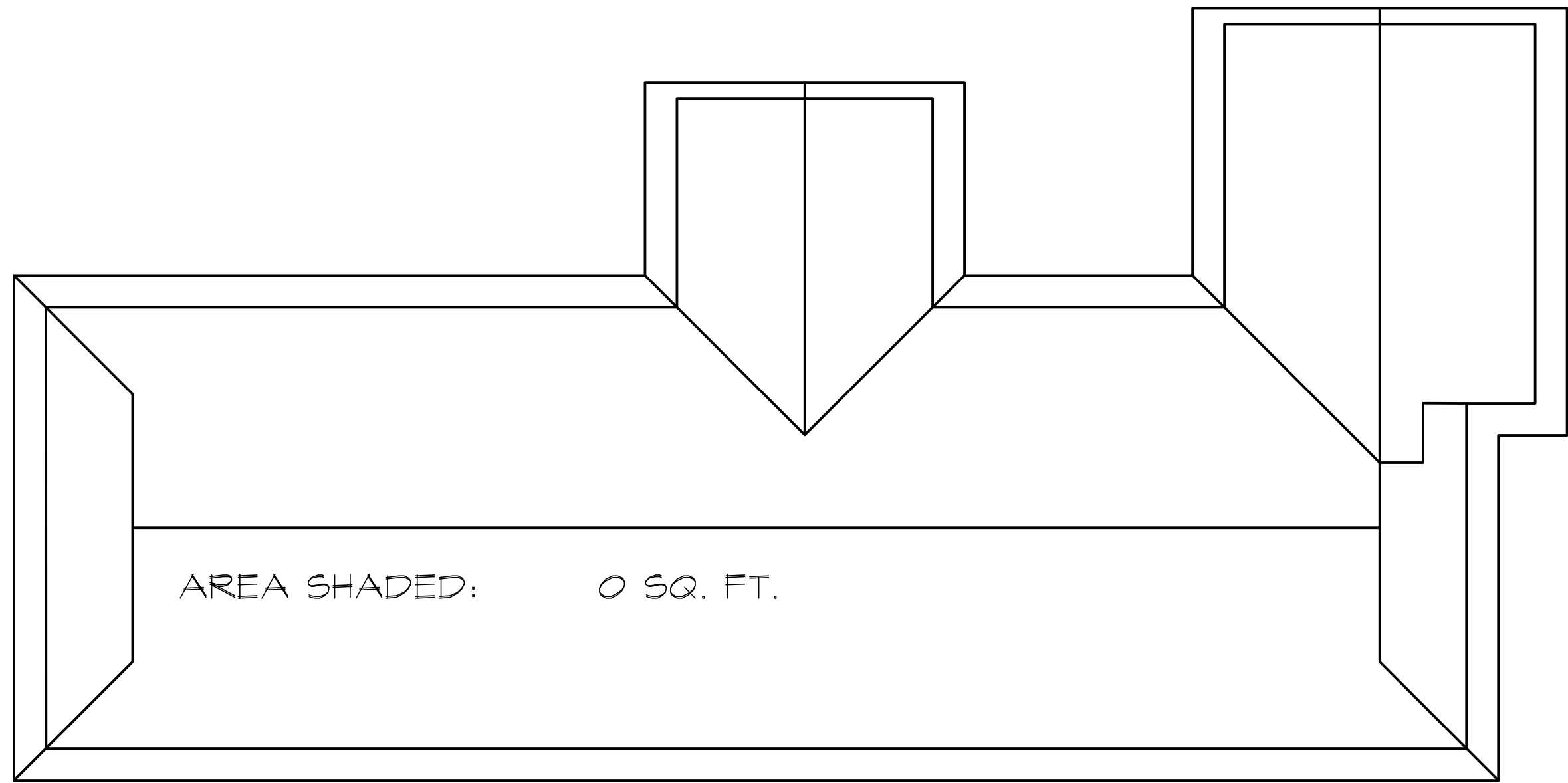
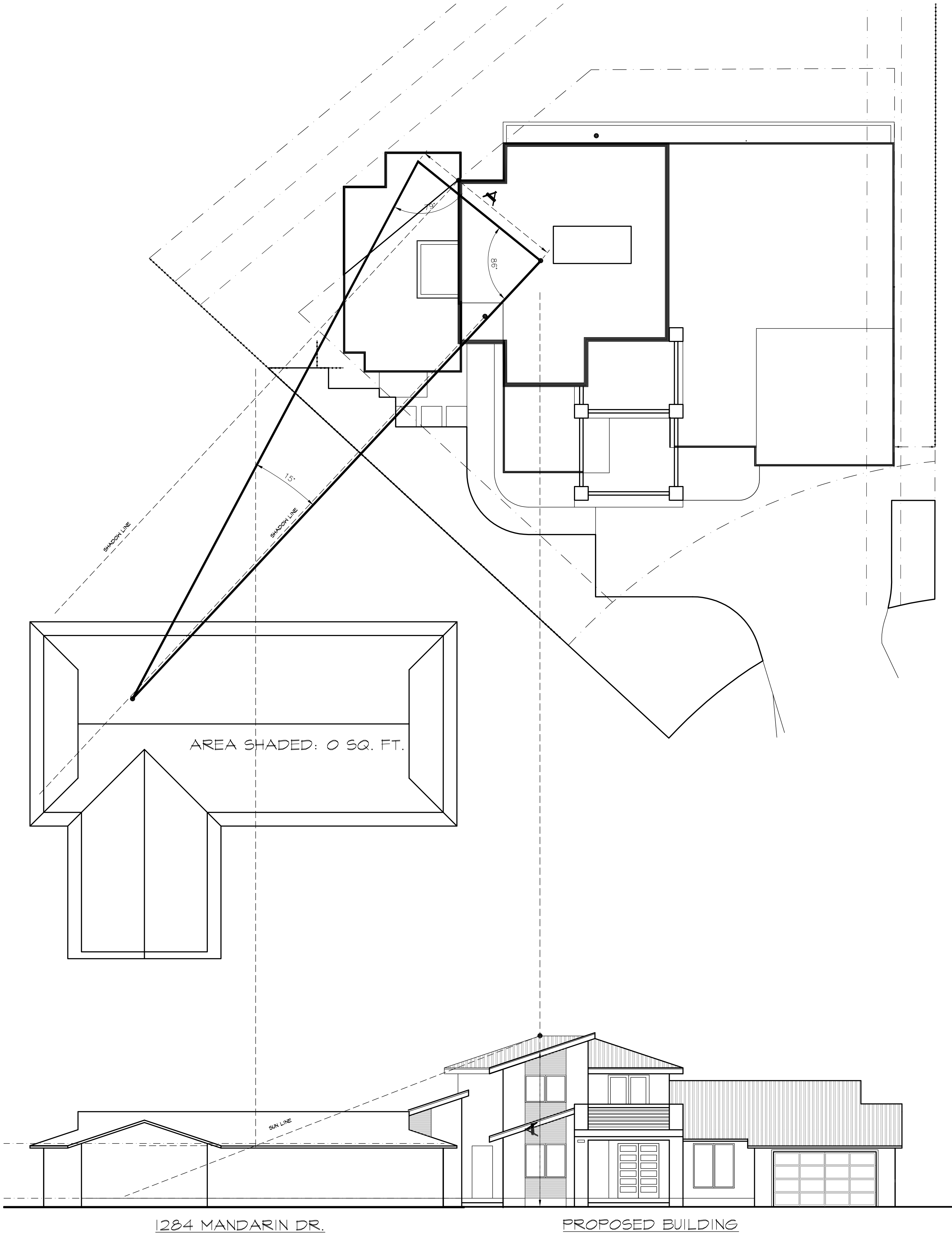
2101 STEVENS CREEK BLVD. # 32, CUPERTINO, CA 95019

TEL: (408) 681-4428    LELDESIGNGROUP@GMAIL.COM

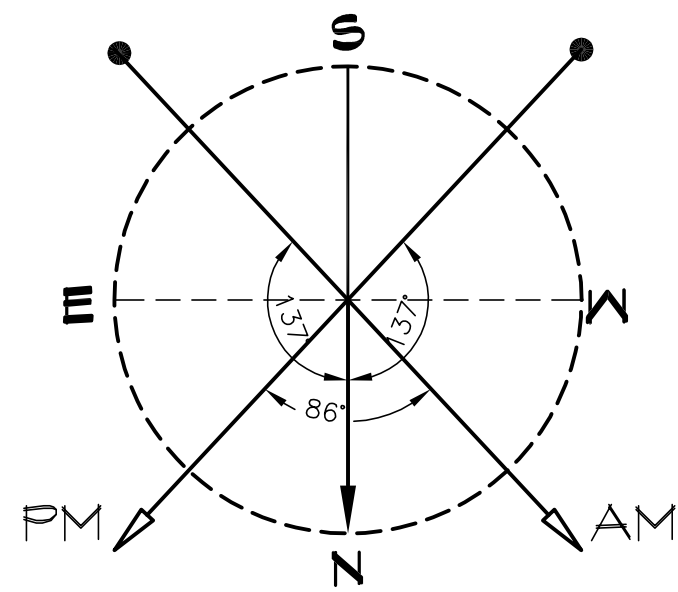
PROPOSED ROOF PLAN  
SOLAR ACCESS AND  
SHADOW ANALYSIS  
STREETSCAPE ELEVATIONS

TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL. (408) 803-4619

Date:	03/01/18
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-5.1
Of Sheets	



2 SOLAR ACCESS AND SHADOW ANALYSIS- STREETSCAPE ELEVATIONS  
SCALE: 1/8"=1'-0"



REVISIONS	BY

LEL DESIGN

DESIGN, PLANNING & ILLUSTRATION

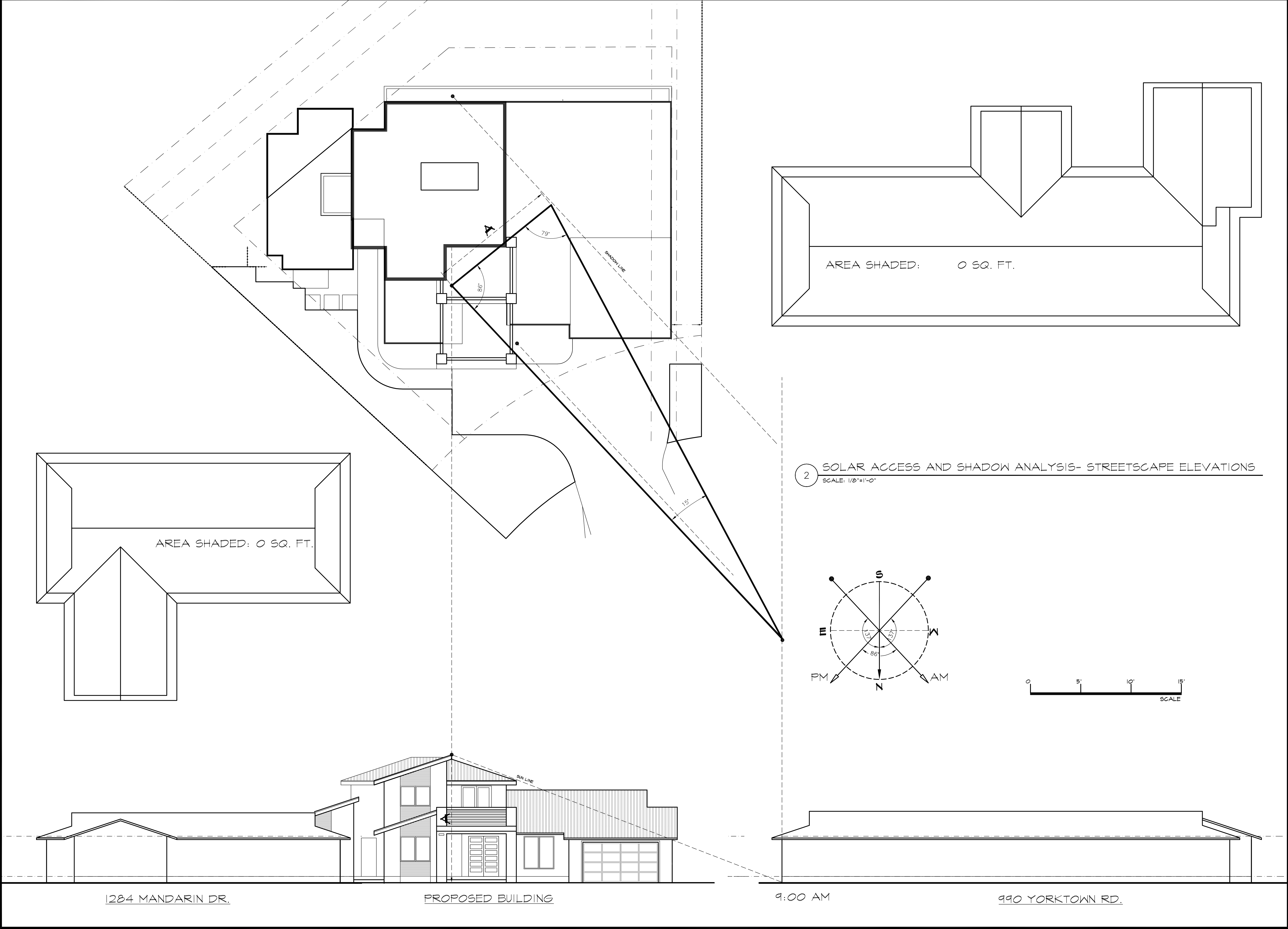
2100 STEVENS CREEK BLVD. # 52 CUPERTINO, CA 95015

TEL: (408) 681 - 4428 LELDESIGN@GMAIL.COM

PROPOSED ROOF PLAN  
SOLAR ACCESS AND  
SHADOW ANALYSIS  
STREETSCAPE ELEVATIONS

TSAI RESIDENCE  
982 YORKTOWN DR.  
SUNNYVALE, CA 94087  
TEL. (408) 823-4619

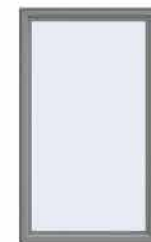
Date:	03/01/18
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-5.2
Of Sheets	



# 982 Yorktown Drive, Sunnyvale, CA



ROOF



WINDOW



SIDING



GARAGE DOOR



WALL

# FAR ANALYSIS

ATTACHMENT 7

	House SF	Garage SF	Total SF	Lot SF	FAR	Zoning	Proposed SF	Proposed FAR	Proposed ADU SF	Proposed FAR w ADU	Notes
<b>982 Yorktown Dr</b>	<b>1820</b>	<b>543</b>	<b>2363</b>	<b>8986</b>	<b>26%</b>	<b>R1</b>	<b>3849</b>	<b>48.4%</b>	<b>512</b>	<b>48.5%</b>	two-story home proposed w attached ADU
<i>990 Yorktown Dr</i>	1768	759	2527	11858	21%	R1					
994 Yorktown Dr	2030	483	2513	7700	33%	R1					
998 Yorktown Dr	1436	483	1919	7700	25%	R1					
1002 Yorktown Dr	1661	400	2061	7700	27%	R1					
1008 Yorktown Dr	1644	420	2064	7700	27%	R1					
1009 Yorktown Dr	1368	420	1788	8000	22%	R1					
1003 Yorktown Dr	1644	420	2064	8500	24%	R1					
995 Yorktown Dr	3637	420	4057	8556	<b>47%</b>	R1					two-story home
<i>1290 Mandarin Dr</i>	1652	484	2136	8364	26%	R1					
1280-1284 Mandarin Dr	1663	504	2167	8532	25%	R1					
1278 Mandarin Dr	1889	486	2375	8848	27%	R1					
1272 Mandarin Dr	1885	546	2431	8848	27%	R1					
1289 Mandarin Dr	1889	486	2375	9520	25%	R1					
1277 Mandarin Dr	1624	483	2107	8960	24%	R1					
1269 Mandarin Dr	1889	486	2375	8960	27%	R1					
1290 Lime Dr	1368	420	1788	8160	22%	R1					
1282 Lime Dr	1368	420	1788	8190	22%	R1					
1002 Westchester Dr	1685	420	2105	8300	25%	R1					
1010 Westchester Dr	1438	460	1898	8000	24%	R1					

Project site shown in **BOLD** and adjacent homes shown in *italics*



# City of Sunnyvale

## Agenda Item 5

18-0488

Agenda Date: 7/23/2018

---

### REPORT TO PLANNING COMMISSION

#### SUBJECT

**Proposed Project:** Rezone - Change the zoning from R-1 (Low Density Residential) to R-0 (Low Density Residential) for two lots.

**File #:** 2018-7309

**Location:** 932 Eleanor Way and 1358 Hampton Drive (APNs: 313-01-033, 313-01-034)

**Zoning:** R-1

**Applicant / Owner:** Cyrus Fakhari (applicant and owner)

**Environmental Review:** The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3).

**Project Planner:** Shétal Divatia, (408) 730-7637, sdivatia@sunnyvale.ca.gov

#### REPORT IN BRIEF

**General Plan:** Residential Low Density

**Existing Site Conditions:** Two single family lots with a single-family home on each lot.

#### **Surrounding Land Uses**

North: Single family homes (across Eleanor Way)

South: Single family home

East: Single family homes

West: Single family homes (across Hampton Drive)

**Issues:** Preservation of a large lot single-family neighborhood

**Staff Recommendation:** Planning Commission recommend to City Council: Determine the project is exempt from CEQA and deny the request to rezone the two parcels.

#### BACKGROUND

The project consists of two single family residential lots located in Sunnyvale's Raynor Park neighborhood. This neighborhood can generally be identified as the area bound by El Camino Real on the north, Wolfe Road on the west, Marion Drive on the south and Peterson Middle School on the east. Much of this neighborhood was created and developed in the 1940s as part of Santa Clara County and was annexed to Sunnyvale in 1970s. This neighborhood has a distinct character with larger lots zoned R-1 on the eastern side of the project sites and smaller R-0-zoned lots on the western side. There is an absence of sidewalks and a mix of single family home styles. The two subject lots are at the end of a block and abut an R-0 zoning district (on the south and west sides) and the R-1 district on north and east sides (see maps in Attachments 2, 4 and 5).

Although many Raynor Park lots are at least 9,000 s.f. in size, the Raynor area was originally zoned R-0 (Low Density Residential) upon annexation which required a minimum lot size of 6,000 square feet. In 1996, at the request of the neighborhood, a portion of this neighborhood was rezoned to R-1 (Low Density Residential) zoning district which has a minimum lot size requirement of 8,000 square feet. The rezoning addressed concerns of losing the large-lot character of this neighborhood

(Attachment 8 - 1996 Raynor Park Rezone Map). The lower lot size allowed by the original R-0 zoning district created opportunities for subdivision. For example, two adjacent 9,000 s.f. lots could be subdivided into three 6,000 s.f. lots. The concern at the time was that this type of subdivision pattern could change the character of the large-lot neighborhood.

The applicant has indicated that the rezoning request for the two lots is to allow a future subdivision into three lots that would meet the R-0 (Low Density Residential) zoning standards. If the rezoning is approved a subdivision that meets the Zoning and Subdivision standards/codes could be considered through the Zoning Administrator Hearing process.

The City Council is scheduled to consider this rezoning on August 23, 2018.

### **EXISTING POLICY**

The General Plan is the primary policy plan that guides the physical development of the City. When used together with a larger body of City Council policies, it provides direction for decision-making on City services and resources. The recently adopted Land Use and Transportation Chapter within the General Plan created an integrated set of policies to guide land use, development, and transportation choices with a horizon year of 2035.

### **GENERAL PLAN**

Both the R-0 and R-1 zoning districts zones are consistent with the General Plan land use designation of Low Density Residential; therefore, the proposed rezone does not require a General Plan Amendment (Attachment 4 - General Plan Map of Site and Vicinity).

### **LAND USE AND TRANSPORTATION CHAPTER**

**Goal LT-1: Coordinated Regional and Local Planning-** Protect the quality of life, the natural environment, and property investment, preserve home rule, secure fair share of funding, and provide leadership in the region.

*Policy LT-1.3:* Contribute to a healthy jobs-to-housing ratio in the region by considering jobs, housing, transportation, and quality of life as inseparable when making planning decisions that affect any of these components.

**GOAL LT-6: Protected, maintained, and enhanced residential neighborhoods** - Ensure that all residential areas of the city are maintained and that neighborhoods are protected and enhanced through urban design which strengthens and retains residential character.

*Policy LT-6.2:* Limit the intrusion of incompatible uses and inappropriate development in and near residential neighborhoods, but allow transition areas at the edges of neighborhoods

**Goal LT-7: Diverse Housing Opportunities-** Ensure the availability of ownership and rental housing options with a variety of dwelling types, sizes, and densities that contribute positively to the surrounding area and the health of the community

*Policy LT-7.2:* Determine the appropriate residential density for a site by evaluating the site planning opportunities and proximity of services (such as transportation, open space, jobs, and supporting commercial and public uses).

*Policy LT-7.3:* Encourage the development of housing options with the goal that the majority of housing is owner-occupied.

## **ENVIRONMENTAL REVIEW**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3), which states that *a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment; where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.*

The rezoning of the two lots could result in a three-lot subdivision thereby creating one additional single-family lot. It can be seen with certainty that one additional single-family home on the project site will not have a significant impact on the environment. In addition, a Class 2 Categorical Exemption (CEQA Guidelines, Section 15303(a)) applies to the construction of up to three single family residences in a residential zone in urbanized areas.

## **DISCUSSION**

The two lots proposed for rezoning abut both the R-0 and R-1 zoning districts. The request to move the zoning line for the R-0 district to include both lots may be considered reasonable by some as it allows for one additional home at a time when additional housing is desired by housing advocates. The R-0 zoning has a smaller minimum lot size requirement, which would allow the properties to be split from two to three lots. On the other hand, there may be the perspective that this rezoning could be a catalyst for similar rezoning requests which, if approved, undermine the purpose of the 1996 R-1 zoning.

Since 1996 the Raynor Park neighborhood has experienced intensification of individual lots as the original 800 square foot homes were expanded or rebuilt with larger homes. These larger homes have been built on both R-0 and R-1-zoned sites. The surrounding land uses and zoning types are visible on the zoning map in Attachment 4.

The following table summarizes the lot size requirements and project proposal.

<b>Lot size</b>	<b>Existing R-1 Zone Density - 7 du/ac. Min. lot size = 8,000 s.f.</b>	<b>Proposed R-0 Zone Density - 7 du/ac. Min. lot size = 6,000 s.f.</b>
Combined Lot Size - 21,826 s.f. (Lot 1 = 9,713 s.f.; Lot 2 size = 12,826 s.f.)	2 lots	3 lots

## **ANALYSIS**

The proposed rezoning to the R-0 (Low Density Residential) zoning district would allow a subdivision of the two lots into three lots. Consideration of the rezoning request requires examination of the existing zoning, lot size, street orientation of the homes and the effect of a possible subdivision at this end of block location as well as the possible change to the neighborhood character.

### **Option 1: Retain the existing R-1 (Low Density Residential) Zoning:**

Both the lots meet the R-1 (Low Density Residential) zoning district's minimum lot size requirement of

8,000 square feet, and the residential structures on these lots meet the development standards including setbacks, lot coverage and floor area ratio (FAR). These lots were rezoned from R-0 to R-1 as part of a larger rezoning study for the Raynor Park neighborhood in 1996 to preserve the large lot character of the neighborhood. The purpose of the rezoning study was to address the neighborhood's concern that subdivision of existing lots into smaller lots would affect the neighborhood. The study and rezoning occurred 22 years ago, and although change has occurred in the neighborhood, some of the issues regarding potential subdivisions may still be relevant.

Following are Sunnyvale's General Plan goals and policies that support maintaining the R-1 zoning:

**GOAL LT-6: Protected, maintained, and enhanced residential neighborhoods** - Ensure that all residential areas of the city are maintained and that neighborhoods are protected and enhanced through urban design which strengthens and retains residential character.

Denial of the rezoning request would prevent a subdivision that would reduce the number of large lots in this neighborhood and could set a precedence for similar rezoning requests and similar subdivisions in the future which would then change the urban design and residential character of this large-lot neighborhood.

**Option 2: As proposed, rezone the two lots from the R-1 to the R-0 Zoning District:**

The two subject lots are at the edge of the both R-1 and R-0 portions of the Raynor Park neighborhood and could relate to either zoning district. Lot 1 is adjacent to R-0 zoned lots on Hampton Drive. The requested rezone for the two lots, if approved, could potentially result in a three-lot subdivision as shown in the Survey Plan submitted by the applicant (Attachment 2 - Applicant's Rezone Request, Page 3). This three-lot subdivision would result in one lot on Eleanor Way, a second lot at the corner of Eleanor Way and Hampton Drive and a third lot on Hampton Drive.

Based on the applicant's preliminary plan, the corner lot and the new lot on Hampton Drive would be consistent with the existing R-0 lots facing the Hampton Drive streetscape. It would extend the R-0 streetscape to the end of the block. The third lot facing Eleanor Way would be located at a three-way intersection. The applicant notes that this end of street condition is similar with that found at the end of Hampton Drive and Marion Way at the southern edge of Raynor Park neighborhood where the R-0 and R-1 zones come together.

Following are Sunnyvale's General Plan goals and policies that address this option:

**Goal LT-7: Diverse Housing Opportunities** - Ensure the availability of ownership and rental housing options with a variety of dwelling types, sizes, and densities that contribute positively to the surrounding area and the health of the community.

**Policy LT 7.2:** Determine the appropriate residential density for a site by evaluating the site planning opportunities and proximity of services (such as transportation, open space, jobs, and supporting commercial and public uses).

**Policy LT 7.3:** Encourage the development of housing options with the goal that the majority of housing is owner-occupied.

If the rezoning is approved, the applicant's plan to subdivide is consistent with the General Plan by placing more housing nearer to services as the site is near El Camino Real which has a variety of services and serves as a major transportation corridor. A potential three-lot subdivision would also

provide an additional owner occupied housing opportunity.

### **FISCAL IMPACT**

No fiscal impact other than normal fees, impact fees and taxes are expected if, and when, the rezone results in a subdivision and construction of new home(s).

### **PUBLIC CONTACT**

#### **Notice of Public Hearing**

- Published in the Sun newspaper
- Posted on the site
- 64 notices mailed to property owners and residents within 300 feet of the project site

See Attachment 3 for a map of the vicinity and mailing area.

#### **Staff Report**

- Posted on the City's website
- Provided at the Reference Section of the City's Public Library

#### **Agenda**

- Posted on the City's official notice bulletin board
- Posted on the City's website

**Public Contact:** Staff has not received comment(s) from the public to date.

### **ALTERNATIVE**

Recommend to City Council:

1. Determine that the project is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) and make the Findings (Attachment 9) to Approve the Rezone for the two parcels from R-1 (Low Density Residential) to R-0 (Low Density Residential) as requested by the applicant
2. Determine the project is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) and deny the request to rezone the two parcels.

### **STAFF RECOMMENDATION**

Recommend to City Council, Alternative 2: Determine the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3) and Deny the Rezone for the two parcels from R-1 (Low Density Residential) to R-0 (Low Density Residential).

The two lots are in Raynor Park's R-1 zoning district that was specifically rezoned to R-1 zone by the City Council in 1996, to not allow further subdivision of the large lots in this neighborhood. The proposed rezoning could allow a future subdivision of the two lots to three lots. Although, this subdivision would result in a net increase of one lot thereby increasing ownership housing opportunity while maintaining the streetscape and character found of the R-0 zoned lots and homes on Hampton Drive, it would negate the intent of the R-1 rezoning and could also set a precedence for future requests for rezoning and subdivisions that would adversely impact the large-lot character of this neighborhood.

If the Planning Commission finds that the rezoning that would potentially allow an additional housing unit would not adversely affect the neighborhood character, it is appropriate to recommend rezoning

to R-0.

Prepared by: Shétal Divatia, Senior Planner  
Reviewed by: Gerri Caruso, Principal Planner  
Reviewed by: Andrew Miner, Planning Officer  
Reviewed by: Trudi Ryan, Director of Community Development  
Reviewed by: Teri Silva, Assistant City Manager  
Approved by: Kent Steffens, City Manager

#### **ATTACHMENTS**

1. *Not used, reserved for Report to City Council*
2. Applicant's Rezone Request
3. Vicinity and Noticing Map
4. General Plan Map of Site and Vicinity
5. Zoning Map of Site and Vicinity
6. Aerial View of Site and Neighborhood
7. Draft Rezone Ordinance
8. 1996 Raynor Park Rezone Boundary Map
9. Recommended Findings

## **ATTACHMENT 1**

This page intentionally left blank. Reserved for Report to Council.

## Project Description letter

1

From: Cyrus Fakhari Homeowner of  
Address: 932 Eleanor way & 1358 Hampton Drive

April 16, 2018

**Request:** Rezoning 932 Eleanor way and 1358 Hampton Drive from R-1 to R-0

As the owner of both properties who just had a preliminary review on March 21, 2018 about the LLA & R-0 rezoning, has come to a conclusion that rezoning must be done prior to the LLA of 932 Eleanor way and 1358 Hampton Drive.

### **Justification:**

#### *1. Turning 2 existing lots into 3 even rectangle shaped lots.*

(Please see: Survey Parcel Map) shown in the diagram the Red angled mark line is R-1 lots 2 & 3 line boundary in an angle, the line is not a desirable right angle. The proposed Green dash line is a better choice for lots 2 & 3 line that requires to be rezoned to R-0. Additionally, all three lots will be closer to 7000 sq. ft. This matches the neighborhood lot size and shape as well, which make more sense for the future new homes to be built.

#### *2. Continuous match of the neighborhood R-0 zoning*

(Please see: Track No. 360 RAY-NOR PARK map No. 1)

I mark all the R-0 lots in orange highlight on my street, as shown.

All homes on Hampton Drive are R-0 except for mine. (Block 7,8,9,10)

All homes on Eleanor way are R-0 and only few homes are R-1. (Block 4,5,6,7,8)

The 3 homes next to me on Eleanor way with larger lots are also R-0 as well.

All Homes on Wolfe road are R-0. (Block 8 &10)

(Please see: Sunnyvale Zoning Map)

I mark arrows of the 2 homes on the opposite corner of Hampton drive and Marion way are R-0 as well, I would be a mirror image of the other end of Hampton drive.

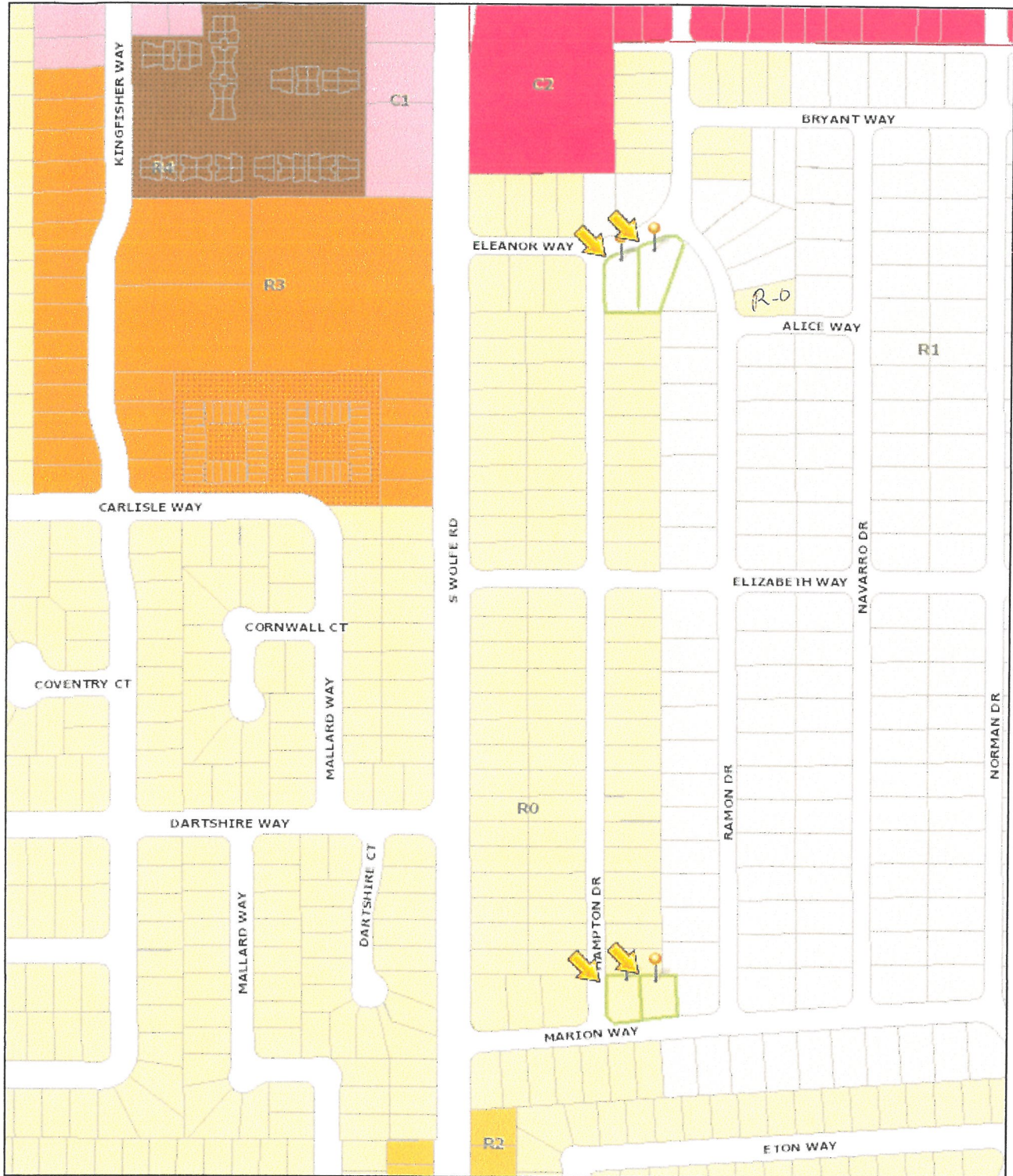
Rezoning is the best solution and sense in dividing up the three lots evenly; this will be a better use of space.

Thank you in advance for your understanding and assistance in rezoning both of my parcels to an R-0 zoning.

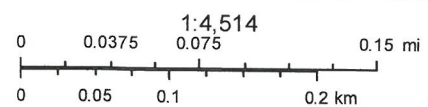
Cyrus Fakhari

650-218-5296  
lawntherapist@gmail.com

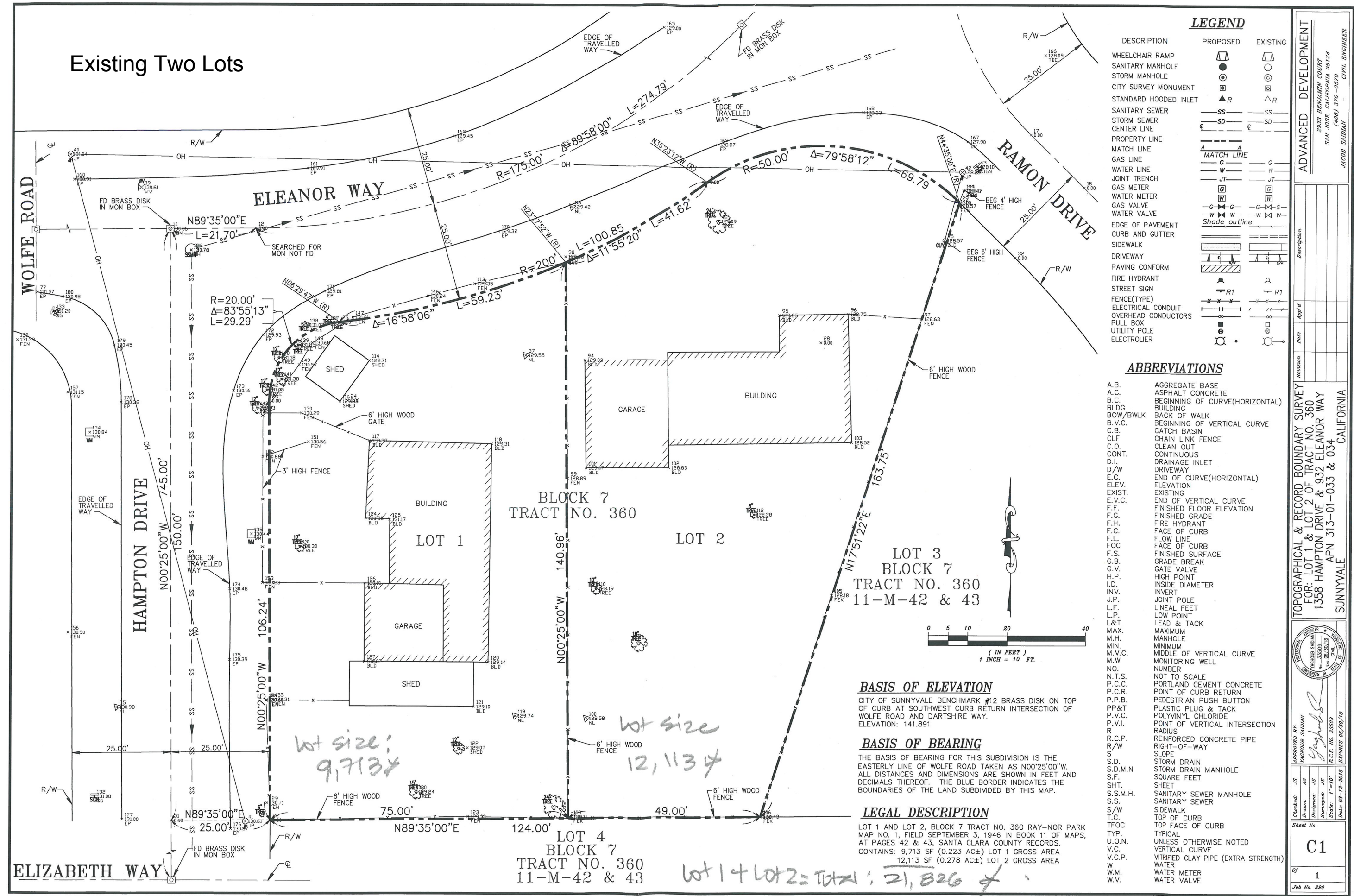
## Sunnyvale Zoning Map



April 11, 2018



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community



**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE (TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		

**ABBREVIATIONS**

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE (HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D.I.	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE (HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAL FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S.	SLOPE
S.D.	STORM DRAIN
S.D.M.N.	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
T.FOC	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W.	WATER
W.M.	WATER METER
W.V.	WATER VALVE

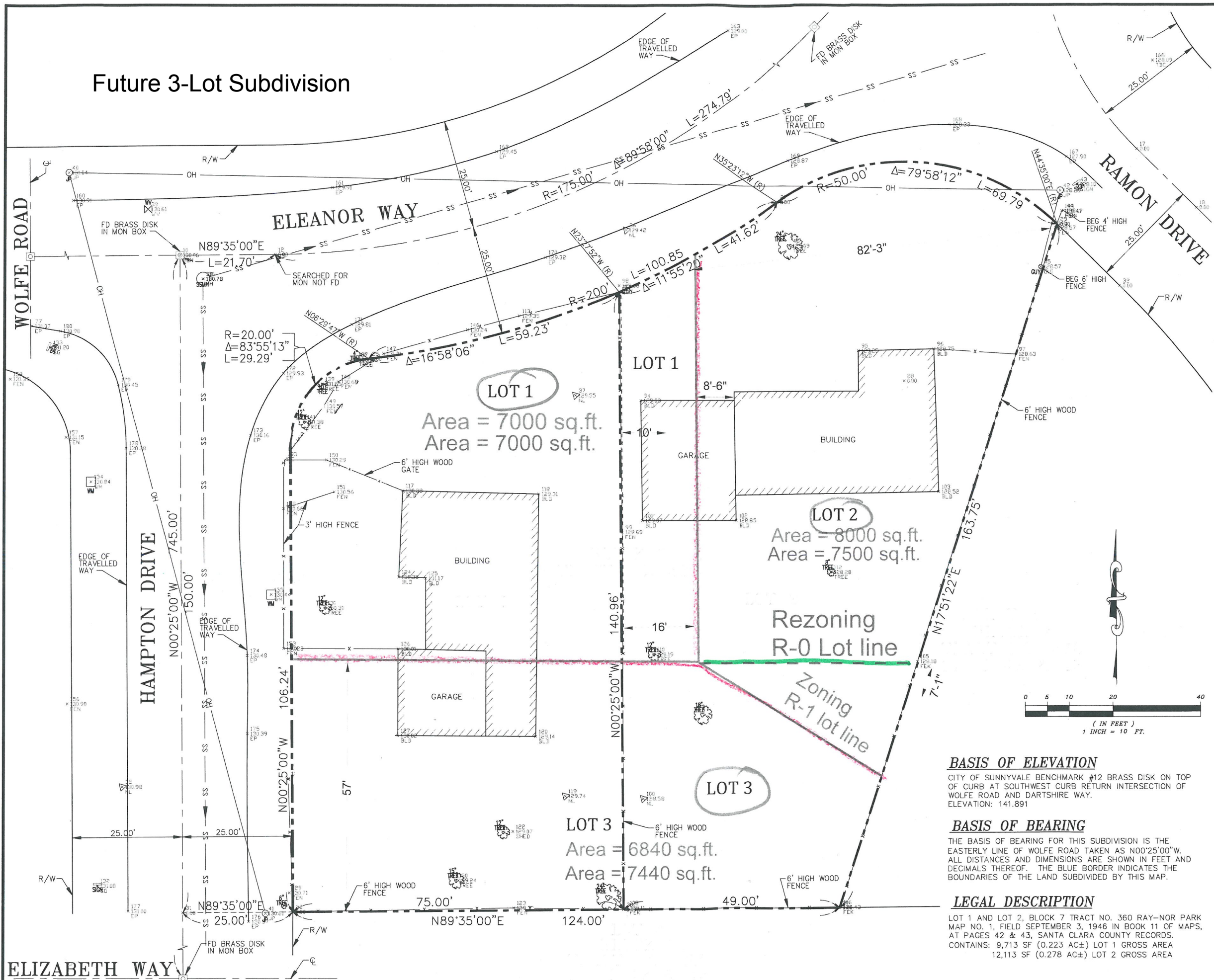
**ADVANCED DEVELOPMENT**

TOPOGRAPHICAL & RECORD BOUNDARY SURVEY  
FOR: LOT 1 & LOT 2 OF TRACT NO. 360  
1358 HAMPTON DRIVE & 932 ELEANOR WAY  
APN 313-01-033 & 034  
SUNNYVALE, CALIFORNIA

APPROVED BY: *Jacob Suidan*  
JACOB SUIDAN  
CIVIL ENGINEER  
No. 33503  
Exp. 06/30/18

Checked: JS  
Drawn: AG  
Inscribed: JS  
Surveyed: JS  
Scale: 1"=10'  
Date: 08-12-2018  
Sheet No. **C1**  
Job No. 390

# Future 3-Lot Subdivision



## LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		

## ABBREVIATIONS

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE(HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D.I.	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE(HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAL FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S.	SLOPE
S.D.	STORM DRAIN
S.D.M.N	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
TFOC	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W.	WATER
W.M.	WATER METER
W.V.	WATER VALVE

## BASIS OF ELEVATION

CITY OF SUNNYVALE BENCHMARK #12 BRASS DISK ON TOP OF CURB AT SOUTHWEST CURB RETURN INTERSECTION OF WOLFE ROAD AND DARTSHIRE WAY.  
ELEVATION: 141.891

## BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SUBDIVISION IS THE EASTERLY LINE OF WOLFE ROAD TAKEN AS N00°25'00"W. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF. THE BLUE BORDER INDICATES THE BOUNDARIES OF THE LAND SUBDIVIDED BY THIS MAP.

## LEGAL DESCRIPTION

LOT 1 AND LOT 2, BLOCK 7 TRACT NO. 360 RAY-NOR PARK MAP NO. 1, FIELD SEPTEMBER 3, 1946 IN BOOK 11 OF MAPS, AT PAGES 42 & 43, SANTA CLARA COUNTY RECORDS. CONTAINS: 9,713 SF (0.223 AC±) LOT 1 GROSS AREA 12,113 SF (0.278 AC±) LOT 2 GROSS AREA

ADVANCED DEVELOPMENT  
2933 BENJAMIN COURT  
SAN JOSE, CALIFORNIA 95124  
(408) 376-0570  
JACOB S. HADJIAN  
CIVIL ENGINEER

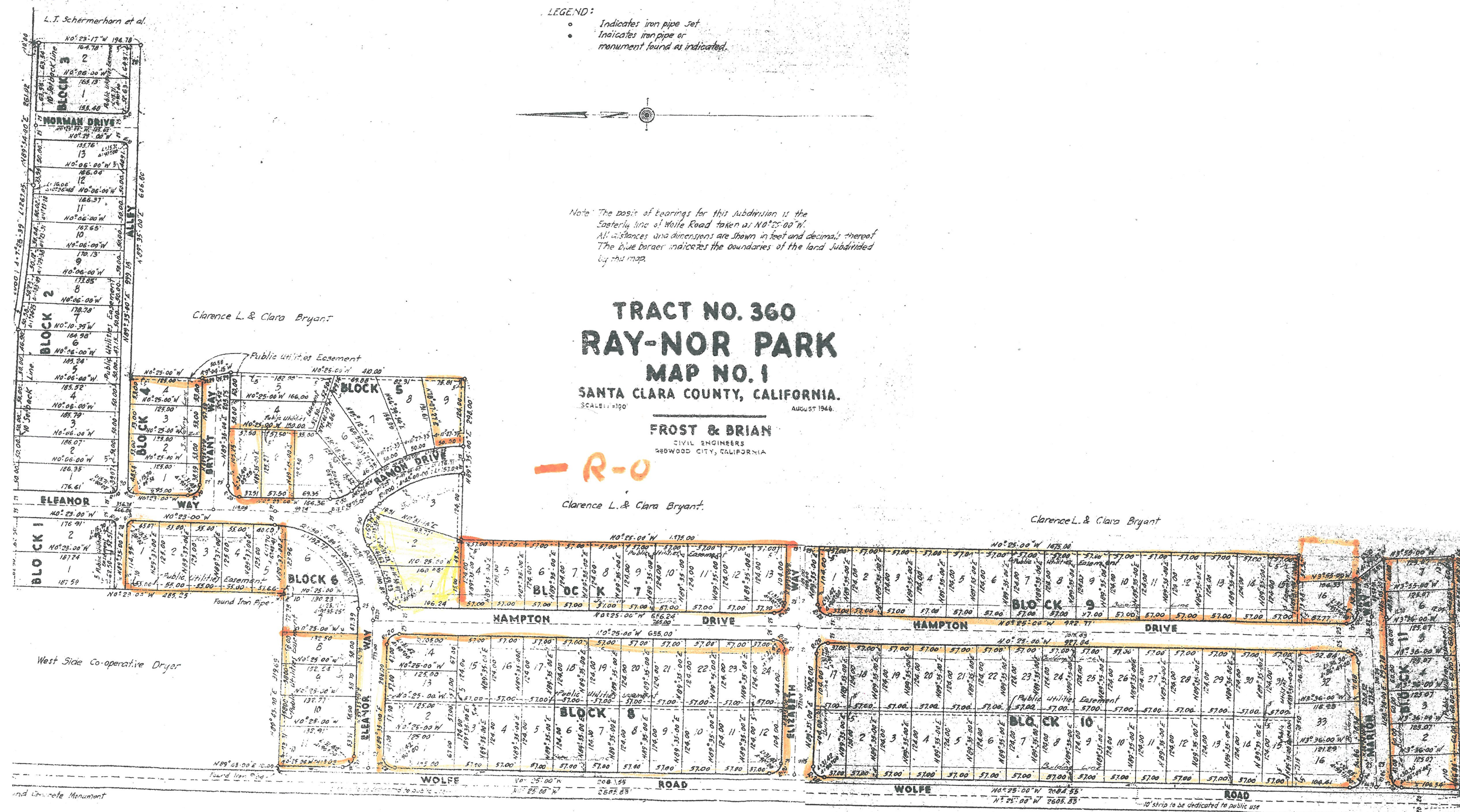
TOPOGRAPHICAL & RECORD BOUNDARY SURVEY  
FOR: LOT 1 & LOT 2 OF TRACT NO. 360  
1358 HAMPTON DRIVE & 932 ELEANOR WAY  
APN 313-01-033 & 034  
SUNNYVALE CALIFORNIA

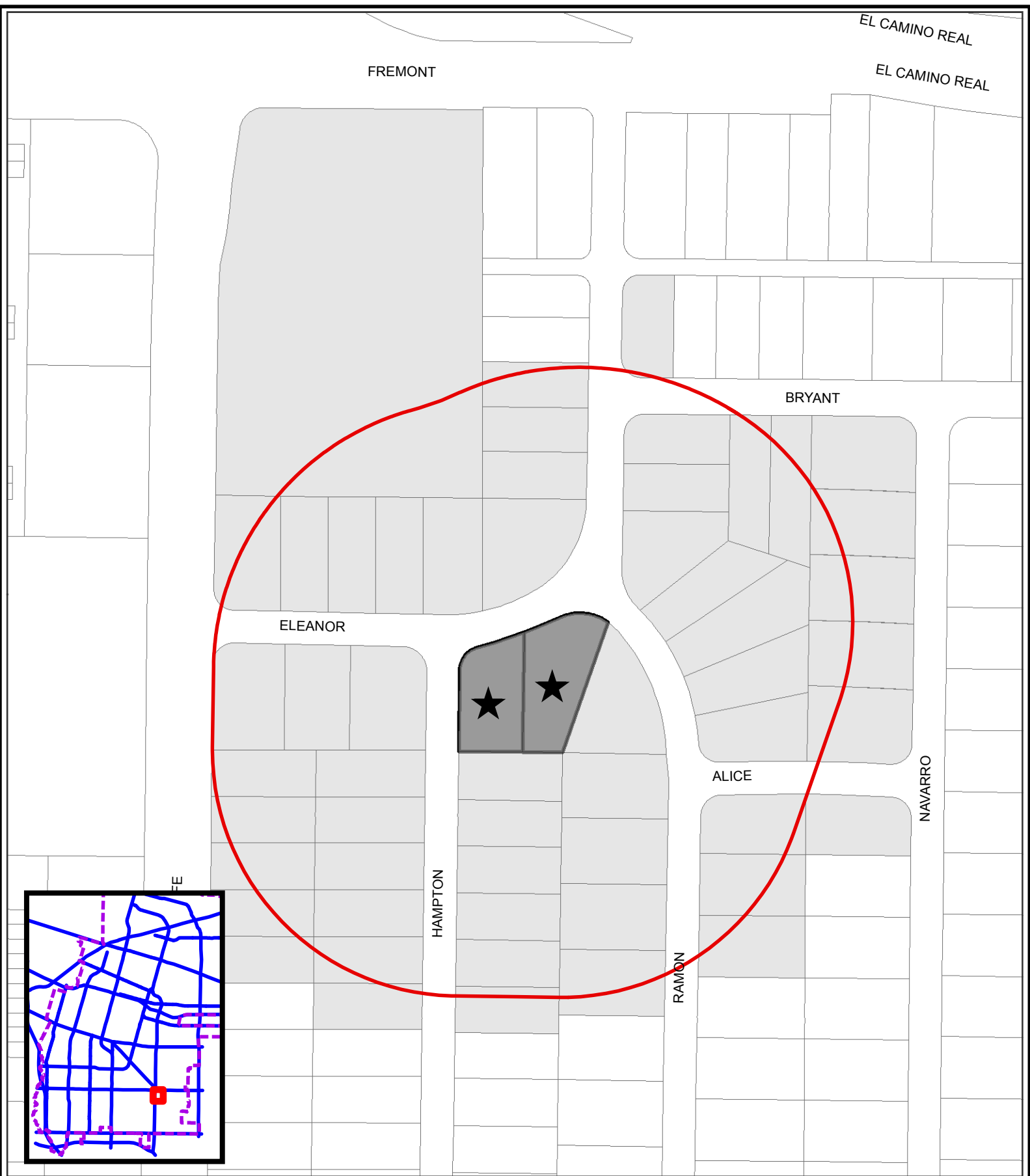


APPROVED BY:  
MICHAEL RADIAN  
DATE: 09-12-2018  
SHEET NO. 1  
JOB NO. 590

C1

Future subdivision Passivohki



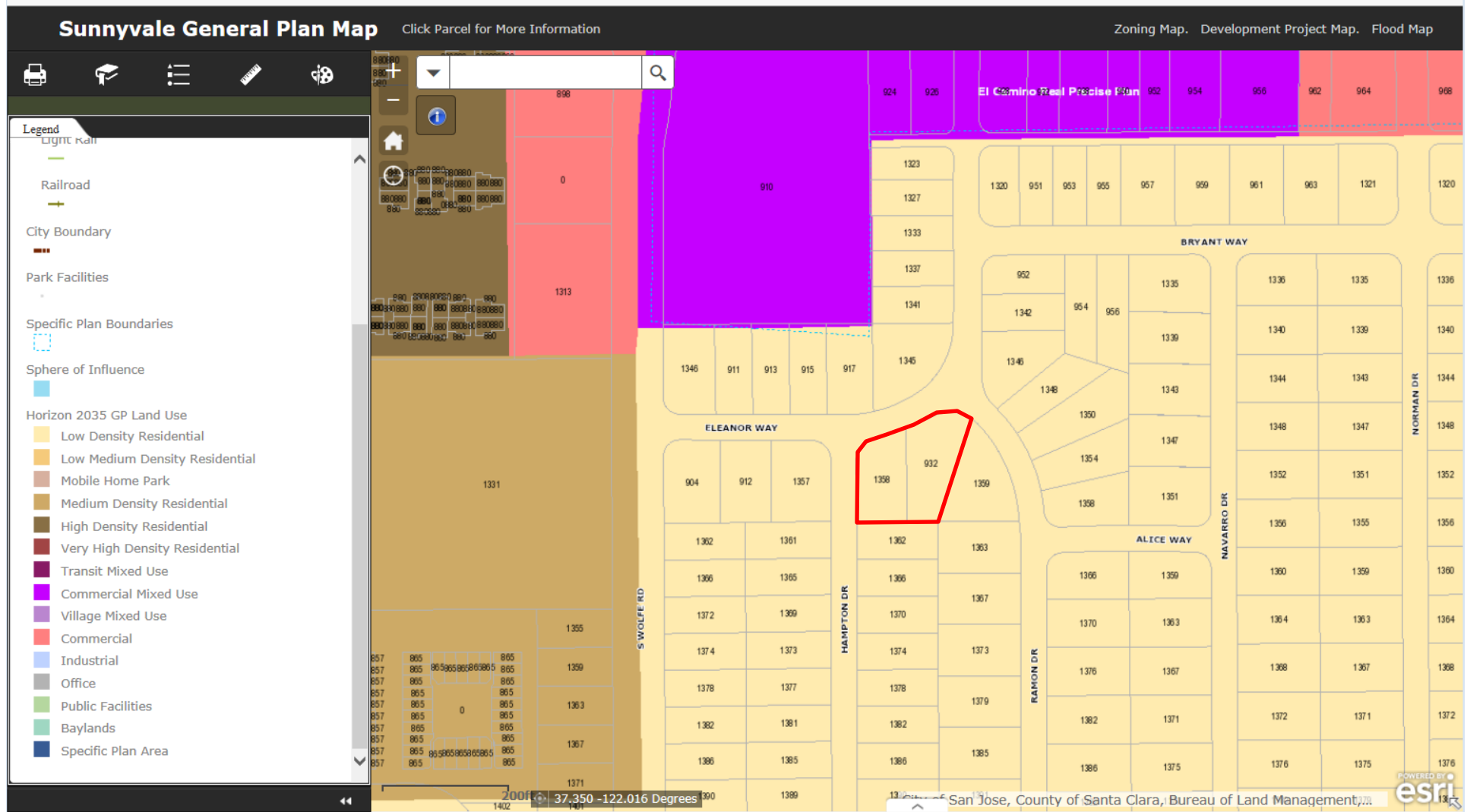


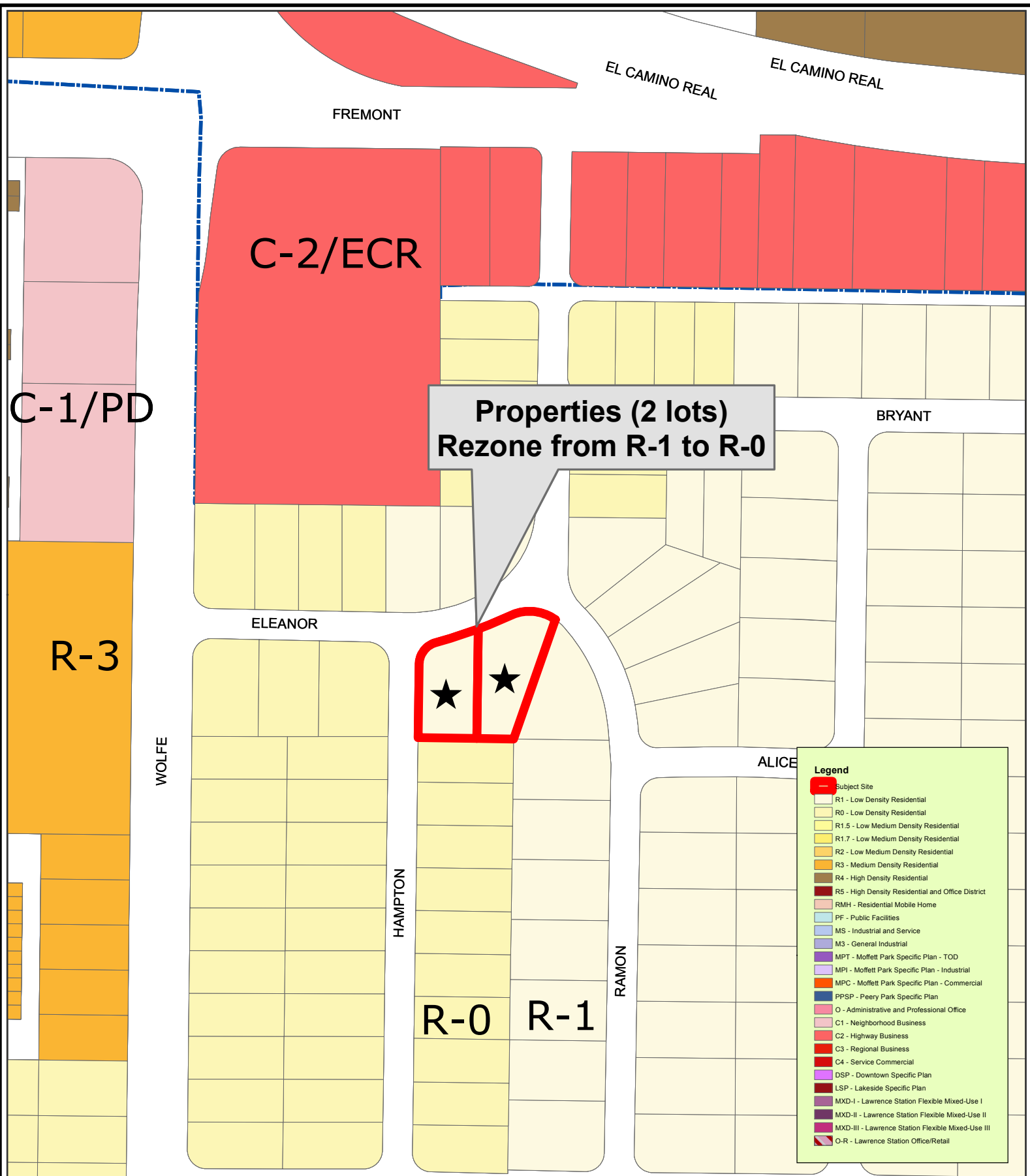
2018-7309  
932 Eleanor Way (APN: 313-01-033 and -034)  
Rezone  
300-ft Area Map

0 50 100 200 Feet



## General Plan Map of Site and Vicinity



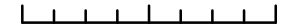


2018-7309

932 Eleanor Way (APN: 313-01-033 and -034)

Rezone from zoning from R-1 (Low Density Residential) to R-0 (Low Density Residential)

0 55 110 220 Feet



Aerial View of the subject lots and the Raynor Park neighborhood



DRAFT 7/16/2018 *rum*

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY  
OF SUNNYVALE AMENDING THE PRECISE ZONING  
PLAN, ZONING DISTRICTS MAP, TO REZONE CERTAIN  
PROPERTIES LOCATED AT 932 ELEANOR WAY AND  
1358 HAMPTON DRIVE FROM R-1 (LOW DENSITY  
RESIDENTIAL) TO R-0 (LOW DENSITY RESIDENTIAL)**

THE CITY COUNCIL OF THE CITY OF SUNNYVALE DOES ORDAIN AS  
FOLLOWS:

SECTION 1. AMENDMENT OF PRECISE ZONING PLAN. The Precise Zoning Plan, Zoning Districts Map, City of Sunnyvale (Section 19.16.050 of the Sunnyvale Municipal Code) hereby is amended to rezone certain properties located at 932 Eleanor Way and 1358 Hampton Drive (APNs: 313-01-033 & 313-01-034) from R-1 (Low Density Residential) to R-0 (Low Density Residential). The locations of the properties are set forth on the scale drawing attached as Exhibit A.

SECTION 2. CEQA - EXEMPTION. The City Council finds that this ordinance is exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to the general rule that CEQA only applies to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the action may have a significant effect on the environment, the activity is not subject to CEQA. (Section 15061(b)(3)). In addition, a Class 2 Categorical Exemption (CEQA Guidelines, Section 15303(a)) applies to the construction of up to three single family residences in a residential zone in urbanized areas. The Council therefore directs that the Planning Division may file a Notice of Exemption with the Santa Clara County Clerk in accordance with the Sunnyvale Guidelines for the implementation of CEQA adopted by Resolution No. 118-04.

SECTION 3. EFFECTIVE DATE. This ordinance shall be in full force and effect thirty (30) days from and after the date of its adoption.

SECTION 4. PUBLICATION. The City Clerk is directed to cause copies of this ordinance to be posted in three (3) prominent places in the City of Sunnyvale and to cause publication once in The Sun, the official newspaper for publication of legal notices of the City of Sunnyvale, of a notice setting forth the date of adoption, the title of this ordinance, and a list of places where copies of this ordinance are posted, within fifteen (15) days after adoption of this ordinance.

Introduced at a regular meeting of the City Council held on \_\_\_\_\_,  
and adopted as an ordinance of the City of Sunnyvale at a regular meeting of the City Council  
held on \_\_\_\_\_, by the following vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:  
RECUSAL:

ATTEST:

APPROVED:

\_\_\_\_\_  
City Clerk  
Date of Attestation: \_\_\_\_\_

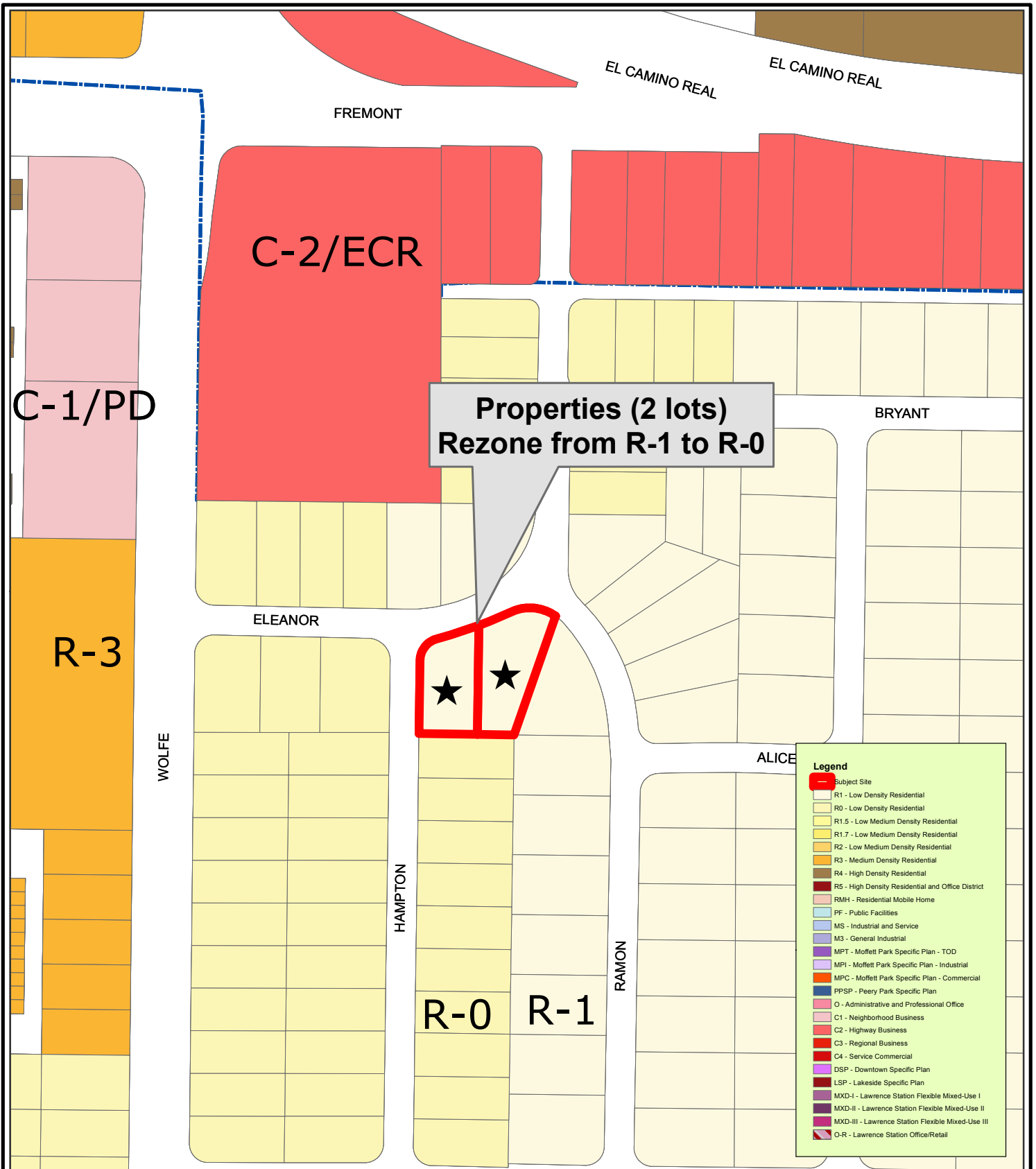
\_\_\_\_\_  
Mayor

(SEAL)

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

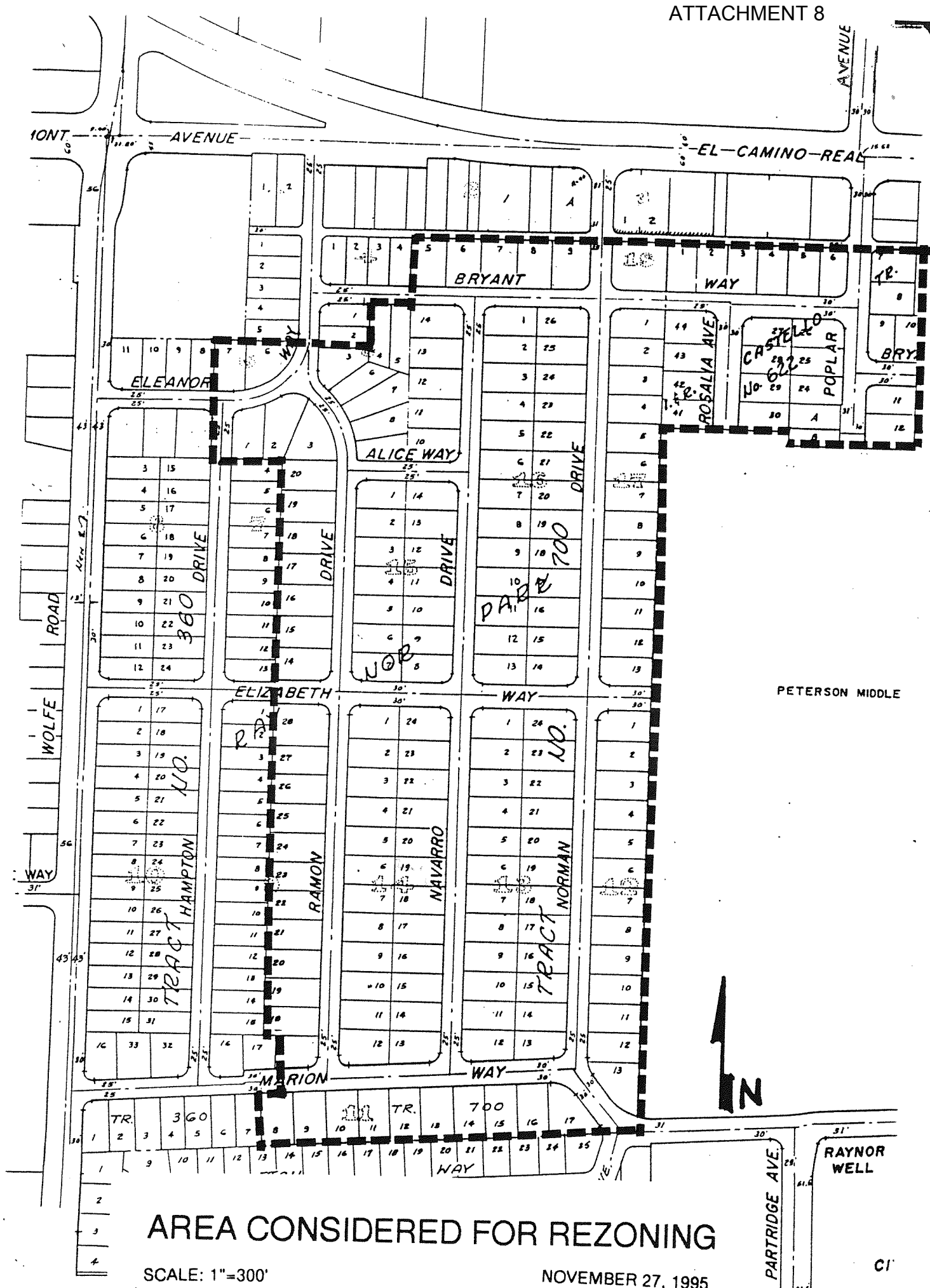
# REZONE MAP



2018-7309  
932 Eleanor Way (APN: 313-01-033 and -034)  
Rezone from zoning from R-1 (Low Density Residential) to R-0 (Low Density Residential)

0 55 110 220 Feet





## **RECOMMENDED FINDINGS**

### **CEQA Determination**

---

In order to adopt the CEQA Determination, the Planning Commission must make the following findings.

1. The rezone request is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3).

#### 15061: Review for Exemption

(b) A project is exempt from CEQA if:

(3) The activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment; where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

The rezoning of the two lots could result in a three-lot subdivision thereby creating one additional single-family lot. It can be seen with certainty that one additional single-family home on the project site will not have a significant impact on the environment. In addition, a Class 2 Categorical Exemption (CEQA Guidelines, Section 15303(a)) applies to the construction of up to three single family residences in a residential zone in urbanized areas

## **Rezone**

---

Goals and Policies that relate to this project are:

### **LAND USE AND TRANSPORTATION CHAPTER**

Goal LT-1: Coordinated Regional and Local Planning- Protect the quality of life, the natural environment, and property investment, preserve home rule, secure fair share of funding, and provide leadership in the region.

*Policy LT-1.3:* Contribute to a healthy jobs-to-housing ratio in the region by considering jobs, housing, transportation, and quality of life as inseparable when making planning decisions that affect any of these components.

GOAL LT-6: Protected, maintained, and enhanced residential neighborhoods - Ensure that all residential areas of the city are maintained and that neighborhoods are protected and enhanced through urban design which strengthens and retains residential character.

*Policy LT-6.2:* Limit the intrusion of incompatible uses and inappropriate development in and near residential neighborhoods, but allow transition areas at the edges of neighborhoods

Goal LT-7: Diverse Housing Opportunities- Ensure the availability of ownership and rental housing options with a variety of dwelling types, sizes, and densities that contribute positively to the surrounding area and the health of the community

*Policy LT-7.2:* Determine the appropriate residential density for a site by evaluating the site planning opportunities and proximity of services (such as transportation, open space, jobs, and supporting commercial and public uses).

*Policy LT-7.3:* Encourage the development of housing options with the goal that the majority of housing is owner-occupied.

### **Finding:**

1. The rezone, as proposed, changed or modified is deemed to be in the public interest. **Finding Not Met.**

The two lots are in Raynor Park's R-1 zoning district that were specifically rezoned to R-1 zone by the City Council in 1996, to not allow further subdivision of the large lots in this neighborhood. The proposed rezoning could allow a future subdivision of the two lots to three lots. Although, this subdivision would result in a net increase of one lot thereby increasing ownership housing opportunity while maintaining the streetscape and character found of the R-0 zoned lots and homes on Hampton Drive, it would negate the intent of the R-1 rezoning and would also set a precedence for future request for rezoning and subdivisions that would adversely impact the large-lot character of this neighborhood