

## Notice and Agenda - Final

## **Planning Commission**

Monday, August 12, 2019	6:30 PM	Council Chambers and West Conference Room, City Hall, 456 W. Olive Ave., Sunnyvale, CA 94086

Special Meeting - Study Session - 6:30 PM | Special Meeting - Public Hearing - 7:00 PM

#### 6:30 PM STUDY SESSION

- 1 Call to Order in the West Conference Room
- 2 Roll Call
- 3 Study Session
- A. <u>19-0847</u>
   Proposed Project: Redevelop a 48,352-square foot industrial property. Demolish one existing office building and construct one new 6-story hotel building totaling 105,553 square feet and 44.3% lot coverage, with 80 parking spaces.
   Location: 1296 Lawrence Station Road (APN: 104-33-012)
   File #: 2017-8060
   Zoning: MS (Industrial and Service)
   Applicant / Owner: Baywood Hotels (Applicant) / Doublas and Suejane Lau (Owner)
   Project Planner: Kelly Cha, 408-730-7408, kcha@sunnyvale.ca.gov

#### 4 Public Comment on Study Session Agenda Items

#### 5 Adjourn Study Session

#### 7:00 PM PLANNING COMMISSION MEETING

#### CALL TO ORDER

Call to Order in the Council Chambers

#### SALUTE TO THE FLAG

#### ROLL CALL

#### ORAL COMMUNICATIONS

This category provides an opportunity for members of the public to address the commission on items not listed on the agenda and is limited to 15 minutes (may be extended or continued after the public hearings/general business section of the agenda at the discretion of the Chair) with a maximum of up to three minutes per speaker. Please note the Brown Act (Open Meeting Law) does not allow commissioners to take action on an item not listed on the agenda. If you wish to address the commission, please complete a speaker card and give it to the Recording Secretary. Individuals are limited to one appearance during this section.

#### CONSENT CALENDAR

1.A	<u>19-0848</u>	Approve Planning Commission Meeting Minutes of July 8, 2019
1.B	<u>19-0849</u>	Approve Planning Commission Meeting Minutes of July 22, 2019
1.C	<u>19-0857</u>	REQUEST FOR CONTINUANCE TO AUGUST 26, 2019 Proposed Project:
		<b>MAJOR MOFFETT PARK DESIGN REVIEW PERMIT:</b> to construct a new four-story 123,595 s.f. office building and associated site improvements resulting in a 47% FAR
		Location: 1389 Moffett Park Drive (APN: 110-37-002)
		File #: 2018-8050
		Zoning: MP-I (Moffett Park Industrial)
		Applicant / Owner: RMW Architecture & Interiors (applicant) / WP
		Carey & Harvest Properties, Inc. (owner)
		Environmental Review: Mitigated Negative Declaration
		Project Planner: Ryan Kuchenig, 408-730-7431,
		rkuchenig@sunnyvale.ca.gov

#### PUBLIC HEARINGS/GENERAL BUSINESS

2.	<u>19-0727</u>	<ul> <li>Proposed Project: Related applications on a 12,060 square-foot site:</li> <li>USE PERMIT: to allow lot width and lot area less than the minimum required.</li> <li>DESIGN REVIEW: to allow construction of three new single-family homes (2,035 square feet, 2,067 square feet and 2,354 square feet) resulting in overall Floor Area Ratio (FAR) of 53.5%.</li> <li>TENTATIVE MAP: to subdivide one parcel into three lots.</li> <li>Location: 1268 Poplar Avenue (APN: 213-44-036)</li> <li>File #: 2019-7117</li> <li>Zoning: R-2</li> <li>Applicant / Owner: Silicon Valley WZSU Capital, LLC</li> <li>Environmental Review: Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions that include new construction of up to three single-family residences in urbanized area (CEQA Guidelines, Section 15303).</li> <li>Project Planner: Aastha Vashist, 408-730-7458, avashist@sunnyvale.ca.gov</li> </ul>
3.	<u>19-0717</u>	<ul> <li>Proposed Project:</li> <li>DESIGN REVIEW: To allow a 245 square feet first-floor addition and 448 square feet second-floor addition to an existing two-story single-family home, resulting in 3,178 square feet (2,698 square feet living area, 480 square feet garage and 75 square feet porch) and 51.4% Floor Area Ratio (FAR).</li> <li>Location: 808 Shetland Place (APN:316-27-085)</li> <li>File #: 2018-7876</li> <li>Zoning: R-0</li> <li>Applicant / Owner: Megan Miner Design (applicant) / Rajan Singh and Anila Godhania (owner)</li> <li>Environmental Review: A Class 1 Categorical Exemption relieves this project from the CEQA provisions.</li> <li>Project Planner: Aastha Vashist, (408) 730-7458, avashist@sunnyvale.ca.gov</li> </ul>

## STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

## **NON-AGENDA ITEMS AND COMMENTS**

#### -Commissioner Comments

#### -Staff Comments

#### **ADJOURNMENT**

Notice to the Public:

Any agenda related writings or documents distributed to members of the Planning Commission regarding any open session item on this agenda will be made available for public inspection in the Planning Division office located at 456 W. Olive Ave., Sunnyvale CA 94086 during normal business hours, and in the Council Chambers on the evening of the Planning Commission meeting pursuant to Government Code §54957.5.

Agenda information is available by contacting Bonnie Filipovic at (408) 730-7440. Agendas and associated reports are also available at sunnyvaleca.legistar.com or at the Sunnyvale Public Library, 665 W. Olive Ave., 72 hours before the meeting.

Planning a presentation for a Planning Commission meeting? To help you prepare and deliver your public comments, please review the "Making Public Comments During City Council or Planning Commission Meetings" document available on the City website.

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the public hearing or presented in writing to the City at or before the public hearing.

PLEASE TAKE FURTHER NOTICE that Code of Civil Procedure section 1094.6 imposes a 90-day deadline for the filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

Pursuant to the Americans with Disabilities Act, if you need special assistance in this meeting, please contact the Planning Division at (408) 730-7440. Notification of 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.160 (b) (1))



Study Session Agenda Item 3.A

### 19-0847

Agenda Date: 8/12/2019

## **REPORT TO PLANNING COMMISSION**

## <u>SUBJECT</u>

**Proposed Project:** Redevelop a 48,352-square foot industrial property. Demolish one existing office building and construct one new 6-story hotel building totaling 105,553 square feet and 44.3% lot coverage, with 80 parking spaces.

Location: 1296 Lawrence Station Road (APN: 104-33-012)

File #: 2017-8060

**Zoning:** MS (Industrial and Service)

**Applicant / Owner:** Baywood Hotels (Applicant) / Doublas and Suejane Lau (Owner) **Project Planner:** Kelly Cha, 408-730-7408, kcha@sunnyvale.ca.gov



## Agenda Item 1.A

## 19-0848

Agenda Date: 8/12/2019

## **SUBJECT**

Approve Planning Commission Meeting Minutes of July 8, 2019

## **RECOMMENDATION**

Approve Planning Commission Meeting Minutes of July 8, 2019 as submitted.



# **City of Sunnyvale**

# Meeting Minutes - Draft Planning Commission

Monday, July 8, 2019		Chambers and West Conference om, City Hall, 456 W. Olive Ave., Sunnyvale, CA 94086
Special Meetin	ng - Study Session - 6:30 PM   Special Meeting - Public	c Hearing - 7:00 PM
6:30 PM STUDY SES	SSION	
1 Call to Order in th	ne West Conference Room	
2 Roll Call		
3 Study Session		
A. <u>19-0726</u>	<ul> <li>Proposed Project: <ul> <li>USE PERMIT to demolish two existing church</li> <li>United Methodist Church and St Johns Evand</li> <li>Church) and construct a new 78,019 squared</li> <li>three-story assisted living facility for up to 12 one level of underground parking.</li> </ul> </li> <li>Location: 581-583 E Fremont Avenue (APNs: 211-2211-31-019)</li> <li>File #: 2019-7214</li> <li>Zoning: Public Facility (PF)</li> <li>Applicant / Owner: Sunrise Senior Living (applicand Evangelical Lutheran and Trinity United Methodist C Environmental Review: A Class 32 In-fill Development (CEQA) provisions.</li> <li>Project Planner: Shila Behzadiaria, 408-730-7456, sbehzadiaria@sunnyvale.ca.gov</li> </ul>	ngelical Lutheran 6 foot, two- and 20 residents, above 31-018 and t) / St Johns Church (owner) nent Exemption tal Quality Act
4 Public Comment	on Study Session Agenda Items	
5 Adjourn Study Se	ession	

## 7:00 PM PLANNING COMMISSION MEETING

#### CALL TO ORDER

Chair Howard called the meeting to order at 7:05 PM in the Council Chambers.

#### SALUTE TO THE FLAG

Chair Howard led the salute to the flag.

#### ROLL CALL

Present: 7 -Chair Daniel Howard<br/>Commissioner John Howe<br/>Commissioner Ken Olevson<br/>Commissioner Ken Rheaume<br/>Commissioner Sue Harrison<br/>Commissioner Carol Weiss<br/>Vice Chair David Simons

#### ORAL COMMUNICATIONS

#### CONSENT CALENDAR

Commissioner Howe moved and Commissioner Harrison seconded the motion to approve the Consent Calendar.

The motion carried by the following vote:

- Yes: 7 Chair Howard Commissioner Howe Commissioner Olevson Commissioner Rheaume Commissioner Harrison Commissioner Weiss Vice Chair Simons
- **No:** 0
- **1.A** 19-0731 Approve Planning Commission Meeting Minutes of June 24, 2019

#### PUBLIC HEARINGS/GENERAL BUSINESS

<u>19-0509</u>
 Proposed Project: To consider a Public Engagement Plan that allows for a preparation of a Village Center Precise Plan for four properties totaling 7.81 acres.
 Location: Street 102-166 E. Fremont Ave. (APNs: 309-01-002, 006, and 009) and 1300 Sunnyvale Saratoga Rd (APN: 309-01-007)
 File #: 2018-7632
 Zoning: Neighborhood Business with a Planned Development Combining District (C-1-PD)

Applicant / Owner: True Life Companies /Fremont Corners, Inc Et Al, Gahrahmat Family Lpii LP, Au Energy LLC (owner)
Environmental Review: Exempt from further environmental review pursuant to CEQA Guidelines Section 15262 (feasibility and planning studies) and Section 15061(b)(3) (common sense exemption).
Project Planner: Cindy Hom, (408) 730-7411, Chom@sunnyvale.ca.gov

Commissioner Howe recused himself due to the proximity of his property to 102-166 E. Fremont Avenue.

Assistant Director Andrew Miner stated that the Public Engagement Plan (PEP) is the City's effort to seek input from the community before developing a Village Center Precise Plan. He also stated that it will most likely take longer to achieve the Village Center Precise Plan partially because of the time to do expanded public outreach.

Associate Planner Cindy Hom presented the staff report.

Commissioner Harrison asked if the properties north of E. Fremont Avenue would be included in the PEP. Assistant Director Miner stated that the property owners were not prepared to move forward with the first phase of the PEP and Commissioner Harrison encouraged staff to incorporate the entire village center into every phase of the plan. Commissioner Harrison stated that she prefers that the village center be evaluated using objective measures to ensure compatibility with potential future legislation. Assistant Director Miner responded that staff would identify objective criteria that also meet the goal of neighborhood compatibility. She confirmed with Assistant Director Miner that the Commission is to review the method of the PEP as presented that fosters community input and transparency.

Commissioner Rheaume stated his preference for more objectivity for the PEP and more structure in its timeline. Assistant Director Miner outlined the PEP timeline and stated that staff can review the timeline for refinement and preciseness and overall objectivity. He added that if City Council approves the PEP, staff would ultimately determine if the applicant meets the goals of the PEP.

Commissioner Weiss stated that it would be helpful to have the PEP include target dates to ensure achieved deliverables and that the plan not repeat itself from the beginning with Phase 2. Assistant Director Miner stated that the plan's timeline also depends on the applicant, that staff expects the plan to evolve by Phase 2, and that the properties north of E. Fremont Avenue will be incorporated into the program if ready by Phase 1. Commissioner Weiss stressed the importance of working with

Santa Clara Valley Transportation Authority (VTA) to support the success of the plan.Assistant Director Miner agreed and added that a Traffic Impact Analysis (TIAs) would be done if needed and proposed projects in the area would be considered.

Vice Chair Simons asked if it would be possible to incorporate all four corners of the Fremont Corners Village Center into the PEP. Assistant Director Miner responded that it could be problematic to seek the community's feedback for parts of the center where redevelopment is not currently planned. Vice Chair Simons asked if it is typically market forces that impact the speed of a developer-driven community outreach process. Assistant Director Miner stated that, in addition to timing for the outreach meeting, time is also taken for staff review of projects, environmental review and other studies.

Commissioner Olevson stated that the entire village center should be included in the PEP since so much time and effort would be invested in it and encouraged staff to revise the PEP as such.

Chair Howard confirmed with Assistant Director Miner that it would take approximately 1.5 years for a proposed project to reach the planning entitlement phase.

Chair Howard asked if it is possible for the PEP to take less than six months. Assistant Director Miner stated that six-month timeframe for the PEP is an estimate and that it might be completed sooner and that it is possible that the environmental review timing could be shortened.

Chair Howard commented that he hopes for that future PEPs are not drawn out so that they discourage developers, that he agrees with staff that it is more practical for the PEP to address the properties that will actually be developed in the near future, and disclosed that he met with the applicant's representative regarding the PEP. Assistant Director Miner stated that the City supports the need for more housing but that staff is constrained by the volume and scale of projects that it balances. Chair Howard clarified that he is interested in striking the middle ground between gathering the community's input and encouraging development with an appropriate timeframe for the PEP. Assistant Director Miner stated that by limiting the PEP to the identified portion of the village center, it remains a mostly developer-led process that would inevitably move quicklier.

Chair Howard opened the Public Hearing.

Leah Beniston, applicant representing The True Life Companies, presented images and information about the proposed plan.

Milo Trauss, applicant representing The True LifeCompanies, presented images and information about the proposed plan.

Assistant Director Miner added that the PEP will proceed with the previously identified properties but will include the village center properties north of the subject site in the outreach portion of the PEP, but the Precise Plan for the area may not include those properties if they aren't prepared to join the effort at the time it is launched.

Mike Serrone, representing Livable Sunnyvale, spoke in support of the PEP and its early outreach efforts, the proposed development's housing provisions, and the importance of including the entire village center in the PEP.

Vice Chair Simons asked Mr. Serrone if he believes the amount of housing would change if the PEP were to include the properties on every corner. Mr. Serrone stated it is possible it would impact every aspect of development.

Kathleen Wortham, resident of Sunnyvale, spoke in the support of the PEP and the homebuying opportunity the resulting development would provide her and encouraged the Commission to approve the PEP.

Sam Liu spoke in support of the PEP and added suggestions for improving it and proposed that a California Environmental Quality Act review be conducted during the PEP process.

Joanne Lo, resident of Sunnyvale, spoke in support of the PEP and expressed her interest in the PEP's completion in one to two years.

David Pomeroy spoke about the benefits of village centers, encouraged Sunnyvale residents to patronize them, and encourage staff and the Commission to expedite the PEP process for the community's immediate benefit.

Glenn Hendricks, City Councilmember speaking on his own behalf, explained that the PEP is a product of his experience with community members expressing their interest in providing input on a proposed project at the outset. Vice Chair Simons asked Councilmember Hendricks to provide his feedback on expanding the PEP to include the entire village center. Councilmember Hendricks stated that he supports staff's suggestion to keep the focus on the previously identified properties but gather feedback on their entire village center. Councilmember Hendricks added that every property in Sunnyvale is unique and it is possible that if needed, the City Council may provide feedback to staff that modifies the PEP.

Ms. Beniston presented additional information about the proposed plan.

Commissioner Harrison confirmed with Ms. Beniston that she and her firm have experience performing community outreach with other government organizations and asking the community tradeoff analysis questions, for example.

Chair Howard closed the Public Hearing.

MOTION: Vice Chair Simons moved and Commission Olevson seconded the motion for Alternative 2 – Recommend that City Council Approve the Public Engagement Program with the following modifications and find that this action is exempt from CEQA pursuant to CEQA Guidelines Section 15262 (feasibility and planning studies) and Section 15061(b)(3) (common sense exemption).

1. Specify that the community input include all possible parts of the village center;

2. Specify that community input is sought on a shade plan related to the pedestrian plan; and

3. Specify that at least one of the community outreach meetings is Planning Commission facilitated.

Vice Chair Simons stated that a Planning Commission-led community outreach meeting was useful in developing the Downtown Specific Plan and that he wants community input on shade and pedestrian plans to ensure that they are not missed.

Chair Howard confirmed with Vice Chair Simons that he envisions the Planning Commission-led outreach meeting to involve just the neighborhood and be limited to comments only to just the Planning Commission.

Commissioner Olevson stated that he views the PEP as a process improvement for collecting input before a proposed project is formalized. He commented that he hopes staff incorporates the development ideas that have been proposed so far for

the identified properties to be included in the PEP and that the PEP is a method to collectively invest in the City long term, and encouraged the Commissioners to support the motion.

Chair Howard summarized the motion.

Commissioner Harrison stated that she will support the motion and stated that she believes that the community feedback gathered should not be used if it is outdated once a part of the village center not identified in the PEP is ready to proceed with re-development. She added that she is pleased to consider the first village center PEP.

Chair Howard asked staff asked shade and pedestrian plans fit within the scope of the PEP. Assistant Director Miner stated that staff would review it to determine how it can be incorporated. Vice Chair Simons clarified that he only seeks public input on shade and pedestrian plans.

Chair Howard stated that he will support the motion.

The motion carried by the following vote:

Yes: 6 - Chair Howard Commissioner Olevson Commissioner Rheaume Commissioner Harrison Commissioner Weiss Vice Chair Simons

**No:** 0

**Recused:** 1 - Commissioner Howe

Assistant Director Miner stated that this action is final unless appealed or called up for review by the City Council within 15 days.

3. <u>19-0650</u> Proposed Project: SPECIAL DEVELOPMENT PERMIT: To construct a second-story addition of 163 square feet to an existing two-story single-family home, resulting in 2,370 square feet (1,879 square feet living area and 491 square feet garage) and 49.5% floor area ratio (FAR). Location: 1381 Sydney Drive (APN: 323-09-001) File #: 2019-7133 Zoning: R-2/PD Applicant / Owner: Klopf Architecture (applicant) / Owen Emry & Jocelyn Su (owner) Environmental Review: A Class 1 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions Project Planner: Shila Behzadiaria, (408) 730-7456, sbehzadiaria@sunnyvale.ca.gov

Commissioner Howe recused himself due to the proximity of his property to the proposed project.

Associate Planner Shila Behzadiaria presented the staff report.

Commissioner Weiss asked if the sloped roof design over the garage is reasonable given that the home next to the proposed project has an angled roof over the garage. Assistant Director Andrew Miner stated that staff's goal is to maintain a continuity in design among all the nearby Bahl patio homes, of which all have flat roof garages.

Vice Chair Simons asked if staff considered requiring the second story to be more consistent with the other Bahl patio homes that have higher roof lines. Associate Planner Behzadiaria stated that the proposed design replicates other shed roofs within the Bahl patio development.

Commissioner Harrison confirmed with Assistant Director Miner that a proposed study issue that would limit changes to subdivision special development permits was not ranked and is not going forward now. She also confirmed with Associate Planner Behzadiaria that the applicant is not closing the open to below area to decrease the proposed Floor Area Ratio.

Commissioner Olevson confirmed with Associate Planner Behzadiaria that there have been no Neighborhood Preservation complaints for the property.

Commissioner Rheaume asked if the applicant is proposing vaulted ceilings above the bedrooms on the first floor. Associate Planner Behzadiaria responded that the first-floor work involves replacing walls for a kitchen remodel and to create the second story bedroom. Commissioner Rheaume commented that the proposed sloped roof over the garage as opposed to a flat roof would be a softer contrast to the second story and a better transition to the non-Bahl patio homes nearby. **Planning Commission** 

Assistant Director Miner suggested the commission provide direction why the sloped roof design over the garage is acceptable for the entire Bahl patio development. Commissioner Rheaume stated that this property is unique because of its location immediately adjacent to a non-Bahl patio home.

Chair Howard asked what the differences are between flat and sloped roofs. Assistant Director Miner stated that sloped roofs are better designed for runoff and that flat roofs can experience leakage. He added that many newer homes have flat roofs and that the Bahl patio design tends to contrast flat entryways with more vertical elements.

Chair Howard opened the Public Hearing.

Geoff Campen, representing Klopf Architecture, applicant, presented images and information about the proposed project.

Vice Chair Simons commented that the second story roof may become problematic for water collection and asked Mr. Campen if it is possible to continue the peak of the roof to the wall of the second story. Mr. Campen stated that the water would be diverted and that they are open to considering the modification. He added that an area at the back of the home would be sloped just like the roof over the garage.

Commissioner Harrison asked Mr. Campen if they are able to meet the setback requirement by reducing the setback by 7 inches. Mr. Campen responded that some of the homes in the Bahl patio development are right on the setback and that the proposed design is better architecturally and structurally and less expensive.

Geni Sundquist, resident of Sunnyvale, spoke in support of the proposed project and the practicality of a sloped roof design.

Frank Layden, resident of Sunnyvale, spoke in support of the proposed project and its sloped roof design that in his opinion would improve the neighborhood.

Chair Howard closed the Public Hearing.

MOTION: Commissioner Weiss moved and Commissioner Harrison seconded the motion for Alternative 2 - Approve the Special Development Permit subject to the following modified conditions of approval:

1. Specify that the sloped roof over the garage be approved as in the proposed design plans

Commissioner Weiss stated that the sloped roof over the garage fits in aesthetically with the neighborhood as it straddles the Bahl patio development and the non-Bahl patio homes nearby. She added that the two roof lines complement each other, the neighbors who spoke are in support of the proposed project, and the sloped roof is a structural improvement from the flat roof design. She encouraged the Commissioners to support the motion.

Commissioner Harrison stated that she agrees that the sloped roof design is appropriate given the transitional position of the proposed project between the flat roofs of the Bahl patio homes and the gabled roofs of the non-Bahl patio homes. She commented on her pleasure with hearing from neighbors who embrace change.

FRIENDLY AMENDMENT: Vice Chair Simons offered a friendly amendment to redesign the roof of the garage to be extended to meet the second story wall of the home. Commissioner Weiss and Commissioner Harrison accepted the friendly amendment.

Commissioner Rheaume stated that he will support the motion and agrees with Commissioner Weiss. He commented that sometimes it is appropriate to examine whether an existing neighborhood can be improved upon when considering a proposed project.

Vice Chair Simons stated that he appreciates Commissioner Rheaume's comment but supports the staff recommendation and therefore will not be supporting the motion.

Commissioner Olevson stated that he is comfortable supporting the motion because the applicant is amenable to the proposed changes and the design requirements have not drastically changed since the applicant purchased the home.

Chair Howard confirmed with Associate Planner Behzadiaria that the proposed second story meets the 7-foot side setback minimum because it is sloped but it would not meet the side setback requirement if walls were stacked on the first floor.

Chair Howard summarized the motion.

The motion carried by the following vote:

- Yes: 6 Chair Howard Commissioner Olevson Commissioner Rheaume Commissioner Harrison Commissioner Weiss Vice Chair Simons
- **No:** 0
- **Recused:** 1 Commissioner Howe

Assistant Director Miner stated that this action is final unless appealed or called up for review by the City Council within 15 days.

**19-0639** Proposed Project: Related applications on a 2.2-acre site: USE PERMIT: To allow a child care facility for up to 50 children within an existing church building.
 Location: 521 East Weddell Drive (APN: 110-14-196)
 File #: 2018-7797
 Zoning: Public Facilities (P-F)
 Applicant / Owner: Sunnyvale International Church
 Environmental Review: Negative Declaration
 Project Planner: Aastha Vashist, (408) 730-7458, avashist@sunnyvale.ca.gov

Assistant Director Andrew Miner presented the staff report.

Commissioner Harrison asked if the square footage and dimensions of the outdoor play area meet the state standards for fifty children. Assistant Director Miner stated that staff requires applicants ensure that they can meet the state requirements before applying.

Commissioner Olevson asked staff about the isolation room and if the number of child care employees mentioned in the staff report is appropriate for the number of children cared for at the facility. Assistant Director Miner stated that the applicant can provide more information about the isolation room and reiterated that applicants must meet the state requirements at the time of application.

Commissioner Rheaume asked if it is possible to add trees to the outdoor play area in place of the shade-creating structures. Assistant Director Miner stated that having only trees in the beginning would probably not meet the state's requirements for **Planning Commission** 

shade because of their relatively small size. Commissioner Rheaume confirmed with Assistant Director Miner that the Commission can add trees to the proposed outdoor play area with a motion.

Chair Howard asked staff if the parking lot near the proposed project is for public use. Assistant Director Miner stated that the parking lot is owned by the San Francisco Public Utilities Commission (SFPUC) and that public parking is allowed but that the lot is not counted toward the proposed project's required parking.

Chair Howard opened the Public Hearing.

Senior Pastor Jorge Marsal, representing applicant Sunnyvale International Church, presented information about the proposed project.

Commissioner Harrison confirmed with Senior Pastor Marsal that the proposed outdoor play area meets all the state licensing requirements in terms of square footage and dimensions.

Commissioner Weiss asked for an explanation of the isolation room. Senior Pastor Marsal described the isolation room as an area dedicated for children who are sick or need a place for comfort. Commissioner Weiss asked about the security of the facility's front entrance. Senior Pastor Marsal stated that the front entrance is always locked, only staff members have keys, and that a receptionist must unlock the front entrance doors for non-staff members. He added that the facility is monitored by security cameras and that the entire perimeter of the building is locked. Commissioner Weiss confirmed with Senior Pastor Marsal that the program is open to any family regardless of background and that the curriculum is non-religious.

Senior Assistant City Attorney Rebecca Moon stated that the intended curriculum is not a relevant land use consideration.

Chair Howard asked Senior Pastor Marsal how the parking lot owned by the SFPUC is used. He responded that the church next to Sunnyvale International Church has a lease with the SFPUC to use the area for parking and that his church has never used the lot.

Chair Howard closed the Public Hearing.

MOTION: Commissioner Harrison moved and Commissioner Howe seconded the motion for Alternative 1 - Adopt the Negative Declaration and approve the Use Permit with the Conditions of Approval in Attachment 4.

Commissioner Harrison stated that she can make the findings that a parking adjustment is justified given that the church and child care would operate at different times of day.

Commissioner Howe thanked the applicant for being a member of the community. He stated that he can make the findings and encouraged the Commissioners to support the motion.

Chair Howard stated that he has questions regarding the logistics of the child care and the outdoor play area that he relies on state requirements to address and that he will support the motion since the proposed project is acceptable from a land use perspective.

The motion carried by the following vote:

Yes: 7 - Chair Howard Commissioner Howe Commissioner Olevson Commissioner Rheaume Commissioner Harrison Commissioner Weiss Vice Chair Simons

**No:** 0

Assistant Director Miner stated that this action is final unless appealed or called up for review by the City Council within 15 days.

## STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

None.

## NON-AGENDA ITEMS AND COMMENTS

#### -Commissioner Comments

Commissioner Harrison stated that at the Study Session on June 10, 2019 she tried to describe "facadism" as it relates to the proposed project at 111 W. Evelyn

Avenue. Assistant Director Andrew Miner stated that staff understood her remarks from the Study Session and are working with the applicant based on her comments.

#### -Staff Comments

Assistant Director Andrew Miner stated that on July 16, 2019 the City Council will consider Updates to the Design Criteria for Wireless Telecommunication Facilities in the Public Right-of-Way that the Commission heard on June 24, 2019.

#### ADJOURNMENT

Chair Howard adjourned the meeting at 9:43 PM.



## Agenda Item 1.B

### 19-0849

Agenda Date: 8/12/2019

## **SUBJECT**

Approve Planning Commission Meeting Minutes of July 22, 2019

## RECOMMENDATION

Approve Planning Commission Meeting Minutes of July 22, 2019 as submitted.



# **City of Sunnyvale**

# Meeting Minutes - Draft Planning Commission

Monday, July 22, 2019	6:00 PM	Council Chambers and West Conference Room, City Hall, 456 W. Olive Ave., Sunnyvale, CA 94086
Special Meeting - Study Session -	6:00 PM   Special M	eeting - Public Hearing - 7:00 PM

#### 6:00 PM STUDY SESSION

- 1 Call to Order in the West Conference Room
- 2 Roll Call
- 3 Study Session
- A. <u>19-0724</u> City Hall Schematic Design Presentation for Comment and Input
- B. <u>19-0757</u>
   Proposed Project: Facade modifications to a previously-approved hotel, approved under 2016-7521. Location: 1120 Innovation Way (APN: 110-27-027)
   File #: 2019-7496
   Zoning: MPI (Moffett Park Industrial)
   Applicant / Owner: DES Architects + Engineers (Applicant) / Moffett Place LLC (Owner)
   Environmental Review: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (a)
   Project Planner: Margaret Netto, (408) 730-7628, mnetto@sunnyvale.ca.gov

#### 4 Public Comment on Study Session Agenda Items

5 Adjourn Study Session

#### 7:00 PM PLANNING COMMISSION MEETING

#### CALL TO ORDER

Chair Howard called the meeting to order at 7:00 PM in the Council Chambers.

#### SALUTE TO THE FLAG

Chair Howard led the salute to the flag.

### ROLL CALL

Present: 5 -	Chair Daniel Howard	
	Commissioner John Howe	
	Commissioner Sue Harrison	
	Commissioner Ken Rheaume	
	Commissioner Carol Weiss	
Absent: 2 -	Commissioner Ken Olevson	
	Vice Chair David Simons	

Status of absence; Commissioner Olevson's absence is excused.

Status of absence; Vice Chair Simons's absence is excused.

#### ORAL COMMUNICATIONS

#### CONSENT CALENDAR

#### PUBLIC HEARINGS/GENERAL BUSINESS

2. 19-0557 **Proposed Project:** General Plan Amendment Initiation request to study changing the General Plan designation from Commercial to Medium Density Residential on a 2.3 acre site (Sunnyvale Lumber) Location: 870 W. Evelyn Street (APN:165-16-004) File #: 2019-7298 **Zoning:** C4 (Service Commercial) General Plan: Service Commercial Applicant / Owner: Trumark Homes Environmental Review: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15378(a). Project Planner: Margaret Netto, (408) 730-7628, mnetto@sunnyvale.ca.gov

Project Planner Margaret Netto presented the staff report.

Commissioner Rheaume confirmed with Project Planner Netto that the prior General Plan Amendment Initiation (GPI) request for property located along Evelyn Avenue between Mary Avenue to Bernardo Avenue is currently zoned as M-S, Industrial and Service. Commissioner Rheame also confirmed with staff that the first four recommended alternatives for this proposal would take the same amount of time to study.

Commission Harrison confirmed with Project Planner Netto that it was the applicant who did not pursue the prior GPI for property located along Evelyn Avenue between Mary Avenue and Bernardo Avenue.

Commissioner Weiss asked if any other commercial projects have been proposed for the site. Assistant Director Andrew Miner stated that there are not, but that the current business is still in operation and the property may not be on the market.

Chair Howard asked what the different is between C-4 and C-3 zoning. Project Planner Netto stated that C-4 is light industrial that involves bulk sale operations such as building construction materials and custom fabrications. Chair Howard confirmed with Project Planner Netto that the 2014 GPI was to change the properties along Evelyn Avenue between Mary Avenue to Bernardo Avenue area from industrial to R-3 zoning and that this GPI application is just for 870 W. Evelyn Avenue. He asked if placing a C-4 zone next to single family housing would be done at this time. Assistant Director Miner stated that it is typical in the past to have industrial and commercial areas next to train tracks to provide buffers for nearby housing but that has changed. Chair Howard confirmed with Assistant Director Miner that C-4 has lower transportation demands and that the city has a need for the C-4 businesses that serve the community. Assistant Director Miner added that charter schools, private schools, and public facilities would not be allowed in a C-4 zone.

Chair Howard opened the Public Hearing.

Garrett Hinds, Director of Architecture representing applicant Trumark Homes, presented images and information about the proposed project.

Javier Carbajal, resident of Sunnyvale, stated his concerns with parking if the area were to be re-zoned to residential and stated his wish for the streets and sidewalks in his neighborhood to be improved.

Gail Maloof, resident of Sunnyvale, stated that she wants staff to understand the nearby residents' needs, communicate with the residents, and notify them of the hazardous materials at Sunnyvale Lumber.

Assistant Director Miner stated that residents can participate further as the GPI will be heard by the City Council on August 13, 2019, and if the City Council initiates the General Plan change, then the applicant will file an application for a General Plan amendment and then for a project.

Mari De Waal, resident of Sunnyvale, stated her concerns with noise, parking, traffic, and a lack of privacy that new residential development would create in her neighborhood.

Richard Mehlinger, Chair of the Bicycle and Pedestrian Advisory Commission speaking on his own behalf, spoke in support of the GPI request and encouraged the Commission to approve initiating the study as it would lead to much-needed housing next to transit.

Xiaoyan Li Yen, resident of Sunnyvale, spoke in opposition to the GPI request that would change her neighborhood to a higher density designation leading to traffic, parking, safety, and privacy concerns.

Yi-Liu Chao, resident of Sunnyvale, spoke in opposition to the GPI request and its re-zoning that would create parking and traffic issues in her neighborhood and stated her concern that the Caltrain route would not service the proposed residential development.

Jocelyn Garcia-Thome, resident of Sunnyvale, spoke in opposition to the GPI request, stating that she prefers the mixed, inclusive nature of her neighborhood and supports staff's decision to not initiate the GPI study.

Vani Mocharla, resident of Sunnyvale, spoke in opposition to the GPI request, citing concerns with traffic and her child's safety.

Judy Manuel, resident of Sunnyvale, spoke in opposition to the GPI request, noting possible issues with increases in traffic and crime that would impact her walk to transit and her family's child care business.

Anita Manuel, resident of Sunnyvale, spoke in opposition to the GPI request that would make it more difficult for her day care families to park and decrease the safety of the children when they are outside.

Mr. Hinds presented additional information about the proposed GPI request.

Chair Howard closed the Public Hearing.

Commissioner Harrison asked staff for the status of housing as outlined in the Housing Element of the Sunnyvale General Plan. Assistant Director Miner stated that staff is on target to meet the residential unit goals as specified in the General Plan with 5,000 residential units that are either approved or in the building plan check or construction phases and that staff is considering more housing than what the General Plan recommends in the areas of the El Camino Real Precise Plan, Lawrence Station Area Plan, and Moffett Park Specific Plan. Commissioner Harrison confirmed with Assistant Director Miner that this is the only C-4 zone in the city where only certain business types can operate.

Commissioner Rheaume asked staff to explain what each alternative entails. Assistant Director Miner stated that staff usually recommends studying different options and that a motion can specify other options, and added that adding options increases the time to complete the study. Assistant Director Miner reiterated the types of businesses that can operate in a C-4 zone that are a mix of commercial and industrial.

Commissioner Harrison asked staff when the Caltrain grade separation at Mary Avenue would take place. Assistant Director Miner stated that the Department of Public Works is studying the possible impacts including the effects on traffic and reviewing different options but none extend all the way to Sunset Avenue. Commissioner Harrison asked Assistant Director Miner how staff would prioritize the GPA if it were approved by the City Council. He responded that there are other efforts by staff to add residential opportunities at area plans near transit significantly larger than the proposal, so this request would be a lower priority.

Chair Howard asked staff if changing the zoning along Muender Avenue from C-4 to R-2 requires a GPI request or just a zoning change. Assistant Director Miner stated that the General Plan would need to be changed.

MOTION: Commissioner Harrison moved and Commissioner Weiss seconded the motion for Alternative 5 - Do not initiate the General Plan Amendment study. Commissioner Harrison supports the motion citing the amount of new housing occurring in the city, the need for the service commercial business to be available to the community, staff's workload, and concern that the Caltrain grade separation will

inevitably alter the neighborhood's character.

Commissioner Weiss stated that the motion is in line with the Land Use and Transportation Element of the General Plan and is supportive of economic development and a land use that creates a balanced and diverse community. She urged the Commissioners to support the motion, stating that the community appreciates the businesses there and that the nearby businesses may also disappear if the area were to be re-zoned.

Commissioner Rheaume stated that he usually prefers recommending studying issues if not jut for the information they provide but that he will support the motion because the area is the only C-4 zone left in the city and it may provide other land use opportunities in the future. He thanked staff for facilitating the large amount of new housing that that has been added to the community and encouraged the Commissioners to support the motion.

Chair Howard stated that he will support the motion in part because the Commission did not approve the a previous GPI request in Peery Park for adding housing due to staff time constraints. Chair Howard also stated he would have preferred a wider study area and avoid potential spot zoning, that the C-4 zoning is complementary to the neighborhood and the traffic pattern, and that people in the neighborhood chose to live near a lumber yard as opposed to a higher density residential development.

The motion carried by the following vote:

- Yes: 5 Chair Howard Commissioner Howe Commissioner Harrison Commissioner Rheaume Commissioner Weiss
- **No:** 0
- Absent: 2 Commissioner Olevson Vice Chair Simons

Assistant Director Miner stated that this recommendation will be forwarded to the City Council for consideration at the August 13, 2019 meeting.

**3.** <u>19-0529</u> **Proposed Project:** General Plan Amendment Initiation request to study changing the General Plan designation of the site from Low Medium Density Residential to High Density Residential.

Location: 828 Morse Avenue & 560 E. Ahwanee Avenue (APN: 204-08-027 & 204-08-029) File #: 2019-7301 Zoning: R-3/PD Applicant / Owner: FNZ Architects Inc. (applicant) / Sia Vassoughi (owner) Environmental Review: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15378(a). Project Planner: Ryan Kuchenig, (408) 730-7431, rkuchenig@sunnyvale.ca.gov

Assistant Director Andrew Miner presented the staff report.

Commissioner Weiss asked if all the current tenants would be transitioned to the new housing once it is available. Assistant Director Miner stated that if City Council approves initiating the General Plan Amendment,

Planning and Housing staff would work with the Office of the City Attorney at how to ensure that happens.

Commissioner Rheaume confirmed with Assistant Director Miner that there are 124 housing units at the current site and the proposed development would produce a total of 193 housing units after potential state density bonuses, a gain of 69 units. Commissioner Rheaume confirmed with Assistant Director Miner that the proposed development could provide up to 60 Below Market Rate (BMR) units.

Chair Howard asked about the small piece of land off Carolina Avenue and between the single-family homes and the GPI request area. Assistant Director Miner stated that he believes the land belongs to the nearby mobile home park and not the owner applying for the GPI request.

Chair Howard opened the Public Hearing.

Queen Mein Foo, architect representing applicant FNZ Architects, presented information about the GPI request.

Commissioner Howe confirmed with Ms. Foo that the development is proposed to be zoned as R-4 and being rebuilt to add more units. Commissioner Howe asked Ms. Foo if the relocated BMR tenants would need to move several times as the construction phases take place. Ms. Foo responded that the owner needs to establish a plan for the residents but that intends to keep as many of the existing tenants as possible.

Commissioner Howe asked staff how the construction phasing could accommodate as many BMR tenants as possible and minimize the number of times they would need to relocate. Assistant Director Miner stated that the development agreement would probably be necessary with the goal to maintain housing for as many of the existing tenants as possible, adding that all the affordable housing units cannot be in one building.

Commissioner Howe confirmed with Assistant Director Miner that a development agreement would address how the BMR tenants could be housed during the first phase of construction and then moved to the affordable housing units as they become available.

Commissioner Harrison confirmed with Ms. Foo that the conceptual development plan includes outdoor play areas.

Commissioner Harrison asked staff what percentage of affordable housing units a developer needs to provide in order to receive the state density bonus. Senior Assistant City Attorney Rebecca Moon responded that there is a sliding scale that determines the density bonus amount depending on how many moderate, low, and very low income affordable housing units are provided. Commissioner Harrison confirmed with

Assistant Director Miner that it is unlikely that more than half of the development would be dedicated to affordable housing. Senior Assistant City Attorney Moon stated that depending on a rental or for sale property, typically 5-20% of a development is dedicated to affordable housing in conjunction with a density bonus and anything greater normally requires public support to be financially viable.

Blanca Quiteno, resident of Sunnyvale, stated her interest in seeing an outdoor play area and better parking as part of the new development and expressed her desire to be kept informed throughout the process.

Commissioner Howe and Assistant Director Miner explained the process if the City Council approves the GPI. Assistant Director Miner stated that a series of outreach meetings would be held if the initiation moves forward where the community's questions would be addressed.

Yann-Herng Liu, resident of Sunnyvale, stated his concern with a potential increase in traffic on Ahwanee Avenue from the proposed development's additional housing units and the loss of privacy the nearby single family homes would experience with a multi-story development. Pedro Ortega, resident of Sunnyvale, stated that he would prefer to stay at the site and live in the new development or receive assistance to move and avoid living there during the construction.

Chair Howard confirmed with Mr. Ortega that the current residents have month-to-month leases. Assistant Director Miner stated that the City can connect residents to Project Sentinel, a non-profit organization that provides information and dispute resolution services regarding housing.

Richard Mehlinger, Chair of the Bicycle and Pedestrian Advisory Commission speaking on his own behalf, praised the owner for working towards keeping as many of his existing tenants as possible. He stated that any new development on the site should guarantee housing at the current rental rates for all existing tenants and that it is the City's responsibility to ensure that no residents are displaced.

Rick Hosey, a resident near the subject property, stated his interest in the new development providing adequate parking as cars are currently overflowing into the streets because of the current site's inadequate parking.

Behrooz Nemati, architect representing applicant FNZ Architects, presented additional information about the GPI request. Chair Howard closed the Public Hearing.

MOTION: Commissioner Howe moved and Commissioner Weiss second the motion for Alternative 1 with conditions - Recommend that the City Council: Initiate the GPI request to analyze changing the land use designation from Low Medium Density to Medium or High Density Residential for the subject properties located at 828 Morse Avenue and 560 E. Ahwanee Avenue, provided an application for a Development Agreement is filed at the same time as the General Plan Amendment application. Applicant to pay all application fees and for any studies.

 Direct staff to include a study for how to maximize the opportunities for current residents to move on site with the goal of reducing the number of times they would

relocate.

Commissioner Howe stated that he likes the GPI request and that it is great that the owner plans to modernize the housing for the existing tenants which will be a benefit

to the residents, city, and surrounding area.

Commissioner Weiss stated that studying the possible change in land use is reasonable given that the existing development is legal non-conforming. She also stated that if the GPA initiation is approved and the site is developed according to the applicant's plans, the site would set a precedence for other developers to recognize the importance of maintaining existing residents. She urged the Commissioners to support the motion.

Commissioner Rheaume stated that he will support the motion because of the usefulness of at least studying the possible re-zoning. He added that he is pleased that the owner has promised to accommodate the existing residents as much as possible but cautioned against promising them too much at this stage.

Chair Howard stated that he will support the motion and that he appreciates Commissioner Howe and staff's efforts to ensure that the developer agreement is as fair and equitable as possible for the existing tenants.

The motion carried by the following vote:

- Yes: 5 Chair Howard Commissioner Howe Commissioner Harrison Commissioner Rheaume Commissioner Weiss
- **No:** 0
- Absent: 2 Commissioner Olevson Vice Chair Simons

Assistant Director Miner stated that this recommendation will be forwarded to the City Council for consideration at the August 13, 2019 meeting.

4. <u>19-0703</u> Forward a recommendation to City Council to Adopt a Resolution to Adopt the Climate Action Playbook, including the greenhouse gas reduction targets, Make the Findings Required by CEQA and Accept the Addendum to the LUTE EIR.

Director Ramana Chinnakotla and Environmental Programs Manager Nupur Hiremath presented the staff report. Commissioner Harrison stated that the Climate Action Playbook (CAP) is like the Land Use and Transportation Element in terms of vision and guidance for the city. She asked for the recommendation a previous commission made to revise the title of Play 3.1 that would provide more specific, long-term guidance to the Commission in the areas of decarbonizing transportation and sustainable land use. Environmental Programs

Manager Hiremath stated that the revised language proposed by the CAP 2.0 Adivsory Commission and the Sustainability Commission for Play 3.1 is "enhance colocation of different land uses to reduce vehicle miles per person".

Commissioner Weiss noted that the Sustainability Commission and the Bicycle and Pedestrian Advisory Commission (BPAC) recommended a change to a 20% reduction in vehicle miles traveled (VMT) by 2030 and a 40% reduction in VMT by 2050 but that the guidance was not included in the staff report. Environmental Programs Manager Hiremath stated that the slide presentation included the other Commissions' recommendations because they could not be included in the staff report in time. Commissioner Weiss confirmed with Director Chinnakotla that the Commission can support Alternative 3 and then specify what Commissions' recommendations it endorses.

Commissioner Howe asked staff to explain Play 1.3. Environmental Programs Manager Hiremath stated that the storage refers to utility scaled storage and local storage taken off the grid or generated by solar power. She added that the goal for Play 1.3 is resilience.

Chair Howard asked staff to explain the meaning of sustainable land use. Environmental Programs Manager Hiremath stated that the CAP envisions it as mixing of different types of land uses with the ultimate goal of reducing VMT. Chair Howard asked if Move 3.B aims or should aim to review the minimum parking requirements. Environmental Programs Manager Hiremath and Director Chinnakotla stated that it could involve that strategy as long as the goal is to reduce VMT. He asked how Move 3.A would be implemented and Environmental Programs Manager Hiremath stated that the Housing Element would guide the development. Director Chinnakotla and Environmental Programs Manager Hiremath clarified that the moves are only inspired by the community's ideas and that the moves would be implemented. Chair Howard confirmed with Environmental Programs Manager Hiremath that language could be proposed so that Move 3.A reads more like Idea 45. Commissioner Weiss stated that she would like to significantly expand the city's urban tree canopy for Move 4.F because a recent study showed that tree planting is a major factor in combating climate change.

Director Chinnakotla stated that the CAP does not specify tree planting targets since the existing trees in the city have not been studied but that she can recommend a change to Move 4.F with a motion.

Chair Howard and Commissioner Weiss confirmed with Director Chinnakotla and Environmental Programs Manager Hiremath that the Department of Public Works oversees trees on public land, the Community Development Department oversees trees on private land, and that the Sunnyvale Urban Forest Advocates is active.

Chair Howard opened the Public Hearing.

Chair Richard Mehlinger, speaking on behalf of BPAC, stated that his Commission has recommended adopting the CAP with amendments to reduce VMT and prioritize Moves 3.A, 3.B, and 3.E for the overall purpose of fighting climate change. He urged the Commission to support a reduction in VMT.

Chair Howard closed the Public Hearing.

MOTION: Commissioner Harrison moved and Commissioner Weiss seconded the motion for Alternative 3 (Other recommendations provided by the Commission) - Adopt the Climate Action Playbook with the following conditions:

1. Endorse the modifications as recommended by the CAP 2.0 Advisory Committee, Sustainability Commission, and BPAC;

2. Enact policies to promote infill development by increasing density in residential neighborhoods for Play 3.1, Move 3.A;

3. Reform residential parking requirements to reduce VMT for Play 3.1, Move 3.B;

4. Develop a plan to significantly expand the urban tree canopy to maximize carbon sequestration for Play 4.3, Move 4.F; and

5. Revise Play 3.1 to include language similar to "enhance colocation of different land uses to reduce VMT".

Commissioner Weiss stated that it is everyone's responsibility to take bold action during this critical time in the planet's history.

Chair Howard stated that he will support the motion and that this is a grave point in

our history where human extinction is a possibility and it is important that we give the best future to those who will come after us. He expressed his appreciation for all the efforts the City is making to lead on the issue as it is very important to him.

Commissioner Rheaume thanked everyone involved in developing the CAP and added that he will support the motion.

The motion carried by the following vote:

- Yes: 5 Chair Howard Commissioner Howe Commissioner Harrison Commissioner Rheaume Commissioner Weiss
- **No:** 0

Absent: 2 - Commissioner Olevson Vice Chair Simons

Chair Howard stated that this recommendation will be forwarded to the City Council for consideration at the August 13, 2019 meeting.

#### 5. <u>19-0790</u> Selection of Chair

Chair Howard opened the Public Hearing.

Richard Mehlinger, Chair of the Bicycle and Pedestrian Advisory Commission (BPAC), stated that staff advised at the last BPAC meeting that members not present could be nominated but could not vote for themselves.

Chair Howard closed the Public Hearing.

Chair Howard was re-selected as Chair for the Commission.

#### 6. <u>19-0791</u> Selection of Vice Chair

Vice Chair Simons was re-selected as Vice Chair for the Commission.

#### 7. <u>19-0792</u> Selection of Seats

Seats were selected by the Commissioners to remain the same.

#### STANDING ITEM: CONSIDERATION OF POTENTIAL STUDY ISSUES

None.

#### NON-AGENDA ITEMS AND COMMENTS

#### -Commissioner Comments

None.

#### -Staff Comments

Assistant Director Andrew Miner stated that the City Council heard Updates to the Design Criteria for Wireless Telecommunication Facilities in the Public Right-of-Way on July 16, 2019 and approved the adoption of the resolution and on July 30, 2019 the City Council will consider the Public Engagement Plan for the Fremont Corners Village Center which includes the recommendation to incorporate the property north of Fremont Avenue.

#### ADJOURNMENT

Chair Howard adjourned the meeting at 10:03 PM.



Agenda Item 1.C

19-0857

Agenda Date: 8/12/2019

## REPORT TO PLANNING COMMISSION

### **SUBJECT**

REQUEST FOR CONTINUANCE TO AUGUST 26, 2019 Proposed Project: MAJOR MOFFETT PARK DESIGN REVIEW PERMIT: to construct a new four-story 123,595

s.f. office building and associated site improvements resulting in a 47% FAR Location: 1389 Moffett Park Drive (APN: 110-37-002) File #: 2018-8050 Zoning: MP-I (Moffett Park Industrial) Applicant / Owner: RMW Architecture & Interiors (applicant) / WP Carey & Harvest Properties, Inc. (owner) Environmental Review: Mitigated Negative Declaration Project Planner: Ryan Kuchenig, 408-730-7431, rkuchenig@sunnyvale.ca.gov

#### BACKGROUND

This item was scheduled and advertised for the Planning Commission Public Hearing of August 12, 2019. The applicant is requesting a continuance to the August 26, 2019 Planning Commission meeting to allow additional time to work with staff on architectural elements.

#### PUBLIC CONTACT

Public contact regarding this item was made through the following ways:

- 1. Posting the Agenda for Planning Commission on the City's official notice bulletin board outside City Hall and by making the agenda and report available at the Sunnyvale Public Library and on the City's website;
- 2. Publication in the Sun newspaper, at least 10 days prior to the hearing;
- 3. E-mail notification of the hearing dates sent to all interested parties and neighborhood associations; and,
- 4. Neighborhood outreach meeting was held on June 17, 2019 to discuss the project.

**Public Contact:** Staff has not received any comments from the public.

The Planning Commission continuance to August 26, 2019 will serve as legal notification of the continuance of this item.

## **ALTERNATIVES**

- 1. Open the Public Hearing and continue to the Planning Commission meeting of August 26, 2019.
- 2. Open the Public Hearing and continue to a Planning Commission meeting on a date determined by the Planning Commission.

# **STAFF RECOMMENDATION**

Continue to the Planning Commission Public Hearing of August 26, 2019.

Prepared by: Ryan Kuchenig, Senior Planner

Reviewed by: Noren Caliva-Lepe, Principal Planner

Approved by: Andrew Miner, Assistant Director, Community Development



Agenda Item 2

19-0727

Agenda Date: 8/12/2019

# REPORT TO PLANNING COMMISSION

# <u>SUBJECT</u>

**Proposed Project:** Related applications on a 12,060 square-foot site:

**USE PERMIT:** to allow lot width and lot area less than the minimum required.

**DESIGN REVIEW:** to allow construction of three new single-family homes (2,035 square feet,

2,067 square feet and 2,354 square feet) resulting in overall Floor Area Ratio (FAR) of 53.5%.

**TENTATIVE MAP:** to subdivide one parcel into three lots.

Location: 1268 Poplar Avenue (APN: 213-44-036)

File #: 2019-7117

### Zoning: R-2

Applicant / Owner: Silicon Valley WZSU Capital, LLC

**Environmental Review:** Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions that include new construction of up to three single-family residences in urbanized area (CEQA Guidelines, Section 15303).

Project Planner: Aastha Vashist, 408-730-7458, avashist@sunnyvale.ca.gov

# REPORT IN BRIEF

General Plan: Medium Density Residential Existing Site Conditions: One-story single-family residence Surrounding Land Uses North: Two-story single-family residences South: Two-story duplex East: Two-story condominiums West: Two-story fourplex

**Issues:** Neighborhood compatibility

**Staff Recommendation:** Alternative 1: Approve the Use Permit, Design Review and Tentative Parcel Map subject to recommended conditions of approval in Attachment 4.

### BACKGROUND

### Description of Proposed Project

The applicant proposes to subdivide the existing 12,121 square foot interior lot into three lots and construct three new single family homes with an overall FAR of 53.5%. The existing one-story single-family home is proposed to be demolished as part of this application.

This project requires a one-foot dedication in the form of an easement along the street frontage to widen the existing sidewalk, resulting in 12,060 square foot net lot area. The setbacks, lot coverage, floor areas and density are calculated based on the net lot area, which is the lot exclusive of the dedicated public right-of-way.

Following are the details for the three individual lots:

	Lot Size	Living Area	Garage	Floor Area	FAR
Lot 1 (Front)	3, <mark>875</mark> s.f.	1,635 s.f.	400 s.f.	2,035 s.f.	52.5%
Lot 2 (Middle)	3,874 s.f.	1,667 s.f.	400 s.f.	2,067 s.f.	53.3%
Lot 3 (Rear)	4,311 s.f.	1,954 s.f.	400 s.f.	2,354 s.f.	54.6%
Total	12,060 s.f.	5,256 s.f.	1,200 s.f.	6,456 s.f.	53.5%

A Tentative

Parcel Map is required for subdividing a parcel into four or fewer lots. Three separate lots with no common lot are proposed as part of this application.

A Use Permit is required per Sunnyvale Municipal Code (SMC) 19.30.020 as the lot areas and lot widths of the new individual lots are less than the minimum required for the R-2 zoning district.

A Design Review is required for construction of new houses to evaluate compliance with the City's development standards and Single Family Home Design Techniques. Planning Commission review is required for homes exceeding 45% FAR.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the Data Table of the project.

### Previous Actions on the Site

There are no previous planning applications or active Neighborhood Preservation complaints for this property.

# EXISTING POLICY

**General Plan Goals and Policies:** The following are key goals and policies from the Land Use and Transportation Chapter of the General Plan which pertain to the proposed project:

- Goal LT-7: Diverse Housing Opportunities Ensure the availability of ownership and rental housing options with a variety of dwelling types, sizes, and densities that contribute positively to the surrounding area and the health of the community.
- POLICY LT-7.3: Encourage the development of housing options with the goal that the majority of housing is owner-occupied.
- Goal LT-4: An Attractive Community for Residents and Businesses In combination with the City's Community Design Sub-Element, ensure that all areas of the city are attractive and that the city's image is enhanced by following policies and principles of good urban design while valued elements of the community fabric are preserved.
- POLICY LT-4.4: Avoid monotony and maintain visual interest in newly developing neighborhoods, and promote appropriate architectural diversity and variety. Encourage appropriate variations in lot sizes, setbacks, orientation of homes, and other site features.

# City Council Policy:

*City Council Policy 1.1.12: Maximum Standards for Small Lot Single Family Residential Developments* 

By providing three new single-family homes the proposed project provides ownership opportunities

consistent with the General Plan policies and established neighborhood.

**Applicable Design Guidelines:** The City's Design Guidelines as noted in the Single-Family Home Design Techniques provide recommendations for site layout, architecture, and design. These guidelines are referenced in the discussion and analysis below. Refer to Attachment 3 for the required findings regarding Design Review.

### ENVIRONMENTAL REVIEW

A Class 3 Categorical Exemption relieves this project from the California Environmental Quality Act (CEQA) provisions that include new construction of up to three single-family residences in urbanized area (CEQA Guidelines, Section 15303).

### DISCUSSION

### Site Layout and Architecture

The property is in the Ponderosa neighborhood which is located north of East El Camino Real between Wolfe Road and Lawrence Expressway. The immediate neighborhood is comprised of a mix of one and two-story residential structures with single-family homes, duplexes and multi-family units.

Like the properties in the immediate neighborhood, the 12,121-square foot interior lot is long and narrow (202 feet in depth and 60 feet in width) with an access driveway leading to the existing detached garage at the back of the property. The existing single-family home sits at the front of the property.

The proposed subdivision would result in three lots with Lot 1 directly facing the street, Lot 2 in the middle and Lot 3 at the rear. The homes will be accessed from the street by an 18-foot-wide driveway along the north side of the property at the same location as the existing driveway. The proposed subdivision is similar to the properties at 1274-78 Poplar Avenue (Project# 2004-0857) and 1232-38 Poplar Avenue (Project# 2006-0593), which were previously approved by the Planning Commission.

The proposed homes have similar designs including characteristics associated with Craftsman-style architecture with a mix of hip and gable roofs, deep overhanging eaves, combination of stucco, siding and river rock, vertical board and batten at the gable ends, and square columns over stone piers. Windows are a combination of double-hung and casement, with heavy wood trim as an accent. Front entry and garage doors are paneled wooden doors, which further add to the Craftsman-style architecture.

The proposed front house and middle house (Lot 1 and Lot 2) also includes large front porches with railing, belly bands and wood trellises over the garages. The proposed rear house (Lot 3) has an asymmetrical façade with an entry porch, wall offsets on the second floor, roof segment between first and second floor, and decorative chimney feature.

All exterior material and finishes work together as a palette of grey and beige colors with white trim accents, creating a harmony with the surroundings. Staff finds the proposed design to be aesthetically pleasing and will enhance the existing streetscape of the neighborhood.

Refer to Attachment 6 for architectural and site plans.

Floor Area Ratio: Single-family residential project that exceed 45% FAR requires review by the

### 19-0727

# Agenda Date: 8/12/2019

Planning Commission. The FAR of existing single-family homes in the neighborhood ranges from 8% to 75% with an average of 29%, and the floor areas within the neighborhood range from 996 square feet to 3,716 square feet. See Attachment 5 for a neighborhood comparison of Floor Area and FAR. The properties along the east side of Poplar have been undergoing changes as anticipated by the R-2 zoning and large lots.

The proposed 52.5% (Lot 1), 53.4% (Lot 2) and 54.6% (Lot 3) FAR, with an overall FAR of 53.5%, is well within the existing range in the neighborhood. The mass and bulk of the proposed new homes is consistent with the existing two-story homes in the neighborhood. The proposed design with well-articulated building façades and combination of high quality materials further helps in minimizing the visual impact of the project.

Since this neighborhood consists of several two-story homes and is not predominately one-story, the 35 percent second floor to first floor ratio design guideline is not applicable.

### **Development Standards**

The proposed project complies with all applicable development standards, as set forth in the Sunnyvale Municipal Code, such as overall setbacks, height, parking, landscaping and usable open space. In addition, staff has utilized Council Policy 1.1.12 (Maximum Standards for Small Lot Single Family Residential Developments), which helps to guide the design of small-lot, single-family subdivisions of 4,200 square feet or smaller.

**Setbacks:** The overall perimeter setbacks of the entire site meet the R-2 Zoning District requirements and are consistent with the setbacks that would be required if only one home were to be built on the site or if three homes were to be built on the site without the subdivision of the parcel. The second-floor side yard setbacks exceed the minimum required, in compliance with Council Policy 1.1.12. Refer to Attachment 2 for Project Data Table.

Staff also finds the separation between the homes to be adequate, with 17 to 23 feet between each of the three homes. Similar building separation has been approved for other small lot subdivisions, including 305 Beemer Avenue (2017-7219), 331 Beemer Avenue (2015-7886) and similar developments along Poplar Avenue. The proposed separation between units allows for adequate space for surface parking, yards and reduced privacy impacts to the homes within the development.

**Lot Area and Lot Width:** Through a Use Permit, SMC 19.30.020 allows for consideration of reduced lot areas and widths, provided the required density is met. The subject property meets the permitted density of 3,600 square feet lot area per dwelling unit, which allows for three units on a 12,060-square foot lot. The proposed project does not meet the per lot minimum area of 8,000 square feet and 76 feet lot width for R-2 zoned properties, which can be considered as part of a Use Permit.

Staff finds the proposed lot area and widths are reasonable as the lot area and widths are comparable to similar small-lot subdivisions along the street (see the table below). In addition, a triplex under one ownership would be a permitted use on this site. This proposed subdivision is consistent with the permitted density and creates three homeownership opportunities.

Address	Location	Lot Area (in square feet)	Lot Width	Project No.		
1232 Poplar	32 Poplar Front 3,707		60'-0"	2006-0593		
1236 Poplar	Middle	3,389	50'-0"	2006-0593		
1238 Poplar	Rear	3,707	60'-0"	2006-0593		
1266 Poplar	Front	6,360	60'-0"	2001-0053		
1262 Poplar	Middle	2,880	30'-0"	2001-0053		
1264 Poplar	Rear	2,880	30'-0"	2001-0053		
1274 Poplar	Front	3,465	60'-0"	2004-0857		
1276 Poplar	Middle	3,195	60'-0"	2004-0857		
1278 Poplar	Rear	3,120	60'-0"	2004-0857		
1280 Poplar	Front	3,465	60'-0"	2006-0752		
1282 Poplar			60'-0"	2006-0752		
1284 Poplar	Rear	3,120	60'-0"	2006-0752		
1268 Poplar (F	Proposed)		station of the second sec	262 203		
Lot 1	t 1 Front 3,875		60'-0"	ŝ		
Lot 2	Middle	3,874	60'-0"			
Lot 3	Rear	4,311	60'-0"	8		

**Usable Open Area:** A minimum of 500 square feet of usable open space is required per unit. The project complies by providing 500 to 618 square feet of usable open space per unit within private yards. Council Policy 1.1.12 also encourages usable open space dimensions to be 15 feet or greater in every direction. The dimension range from 12 feet to 24 feet. Although the open space areas are not 15 feet in every direction, the project is consistent with the intent of the policy by generally providing more open space than the minimum required.

**Parking and Circulation:** An 18-foot wide driveway along the north of the property serves the three homes and uncovered parking spaces. Access to the Lot 2 (middle) and Lot 3 (rear) homes is provided through a driveway easement. The site meets the parking standards by providing two covered and two uncovered parking spaces for each of the three homes.

Landscaping and Tree Preservation: An Arborist report was provided, which evaluated heath and disposition of all the trees onsite and the adjacent public right-of-way. The driveway has been designed to preserve the two mature Coast Live Oak trees (street trees) along the street frontage. The preservation of these trees is a positive element of the project, as they create an attractive entrance into the development and help to preserve the existing tree-lined streetscape. Refer to Attachment 7 for the Arborist Report provided by the applicant and Attachment 6 for the proposed landscaping plans.

Three trees on the property are considered "protected" per SMC 19.94.030 and proposed to be removed as part of this application. The trees proposed to be removed have either poor structure or located in the middle of proposed building footprint. The City Arborist has verified the acceptability of the proposed removal based on City criteria. The project includes seventeen 24-inch box Stricatra Italian Cypress trees, which will mitigate the loss of the existing protected trees per the City's Tree Replacement standards.

**Solar Access:** SMC 19.56.020 states that no permit shall be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby

### 19-0727

property. The project plans demonstrate that the shading would comply with this requirement (shades no roof area of the adjacent two-story structures).

**Neighborhood Compatibility and Impacts:** The surrounding neighborhood is eclectic with a mix of densities and house styles. It contains single-family homes, duplexes and multi-family apartments, includes one and two-story structures, lots with front, middle and rear units, and multi-unit developments. The proposed project is consistent with the common site layout, density and character of the neighborhood.

The immediate neighborhood has a mix of Ranch, Craftsman and Spanish style architecture. Staff finds the proposed Craftsman architecture to be compatible with the neighborhood and the existing streetscape. The proposed homes, with overall height of 25 feet, have compatible mass, scale and heights as the surrounding two-story structures. The use of roof segments, wall offsets and wall materials further helps in minimizing the visual bulk of the proposed house.

The proposed homes exceed the minimum required side yard setbacks from the neighboring properties. The second-floor windows facing the neighboring properties (except those required for egress) will have high sills to minimize the privacy impacts of the neighbors (Condition PS-1(a), Attachment 4). Based on the setback and location of the second-floor window, staff does not find privacy impacts to the neighbors.

### FISCAL IMPACT

Since the proposal results in two net new dwelling unit, the project is subject to Park In-Lieu fees, Transportation Impact Fees (TIF) and School impact fees. Other standard fees and taxes apply.

# PUBLIC CONTACT

### Neighborhood Outreach Meeting

A neighborhood outreach meeting was hosted by the applicant, and attended by the project planner, at the project site, on July 2, 2019. This meeting was attended by three neighbors. They were generally supportive of the proposed development.

One of the neighbor had concerns about the removal of Jacaranda and Silk tree on the site. The Silk tree, which is located adjacent to the existing driveway along the side yard, will be retained. However, the Jacaranda tree located in the front yard is proposed to be removed as the Arborist report identifies that the tree is surpassed by the existing Coast Oak live tree and unlikely to survive the construction process.

### Notice of Public Hearing

- Published in the Sun newspaper
- Posted on the site
- 430 notices mailed to property owners and residents within 300 feet of the project site

### Staff Report

- Posted on the City's website
- Provided at the Reference Section of the City's Public Library

# Agenda

- Posted on the City's official notice bulletin board
- Posted on the City's website

**Public Contact:** Staff received an email from a neighbor in Attachment 8, which primarily expressed concerns about the developer's outreach meeting notice not containing a return address and regarding density. The letter has been heavily redacted to omit expletives.

### **ALTERNATIVES**

- 1. Approve the Use Permit, Design Review and the Parcel Map subject to recommended conditions of approval in Attachment 4.
- 2. Approve the Use Permit, Design Review and the Parcel Map subject to modified conditions of approval.
- 3. Deny the Use Permit, Design Review and the Parcel Map and provide direction to staff and the applicant on where changes should be made.

### STAFF RECOMMENDATION

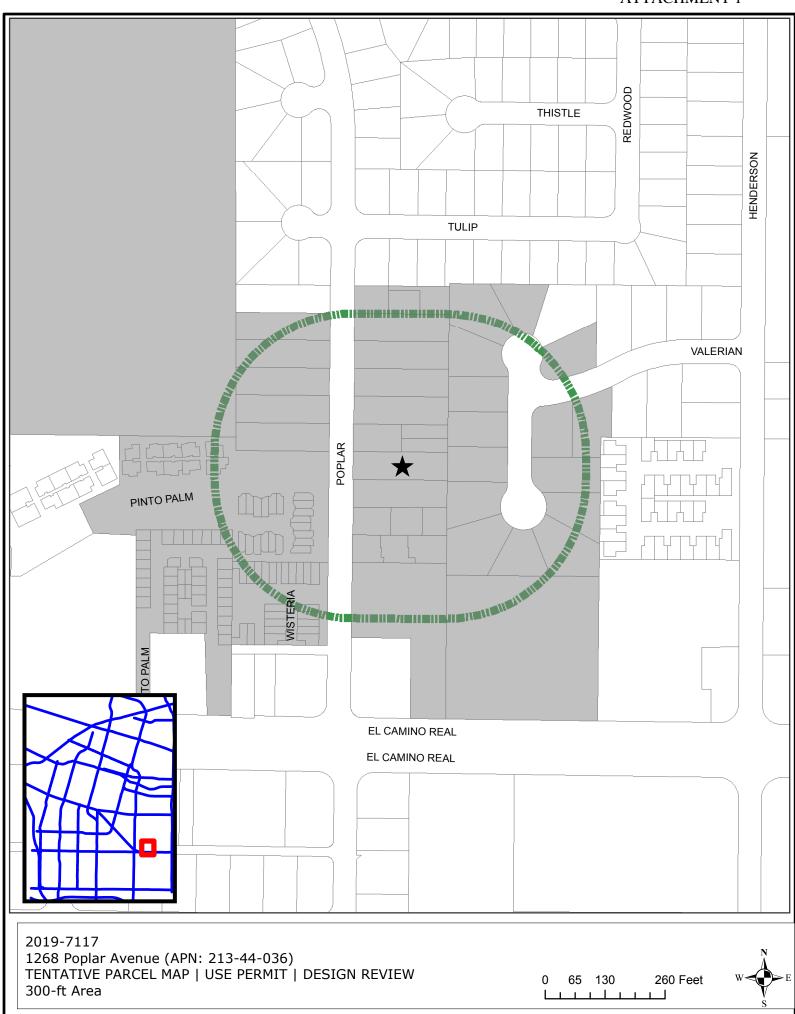
Alternative: Approve the Use Permit, Design Review and the Parcel Map subject to recommended conditions of approval in Attachment 4.

Prepared by: Aastha Vashist, Associate Planner Reviewed by: Noren Caliva-Lepe, Principal Planner Approved by: Andrew Miner, Assistant Director of Community Development Department

### ATTACHMENTS

- 1. Site, Vicinity and Noticing Map
- 2. Project Data Table
- 3. Recommended Findings
- 4. Recommended Conditions of Approval
- 5. Neighborhood Square Footage Comparison
- 6. Arborist Report
- 7. Proposed Architectural and Site Plans
- 8. Letter from the neighbor

### ATTACHMENT 1



# PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED						
	Medium Density	Same							
General Plan	Residential	Camo							
Zoning District	R-2	Same							
Lot Size (s.f.)	12,121 s.f.	12,060 s.f.	8,000 s.f.						
	3,249 s.f.	6,456 s.f.	5,427 s.f. without						
Gross Floor Area (s.f.)	,	,	Planning Commission						
			review						
Lot Coverage	14.7%	33.4%	40% max.						
Floor Area Ratio (FAR%)	26.8%	53.5%	45% without Planning Commission review						
Overall Setbacks	1								
FIRST FLOOR									
Front	41'-0"	20'-0"	20' min.						
Side	4'-0"	4'-0"	4' min.						
Combined/Total Side	13'-0"	17'-0"	12' min.						
Rear	37'-0"	10'-0"	10' min.						
SECOND FLOOR									
Front	n/a	25'-0"	25' min.						
Side	n/a	8'-0"	7' min.						
Combined/Total Side	n/a	22'-6"	18' min.						
Rear	n/a	20'-0"	20' min.						
		34.1%	20% min.						
Total Landscaping (s.f.)		1,374 s.f. per unit	850 s.f. min. per unit						
Usable Open Space (s.f.		552 s.f. per unit	500 s.f. min. per unit						
per unit)			-						
Parking									
Total Spaces	4	12	12 min.						
Covered	2	6	6 min.						
Uncovered	2	6	6 min.						
LOT 1 (Front Lot)									
<sup>1</sup> Lot Size (s.f.)	n/a	3,875 s.f.	8,000 s.f. min.						
	n/a	2,035 s.f.	1,744 s.f. without						
Gross Floor Area (s.f.)		,	Planning Commission						
			review						
Lot Coverage	n/a	34.2%	40% max.						
Floor Area Ratio (FAR%)	n/a	52.5%	45% without Planning						
	11/a 52.5%		Commission review						
SETBACKS									
FIRST FLOOR									
Front	n/a	20'-0"	20' min.						
Side	n/a	4'-0"	4' min.						
Combined/Total Side	n/a	27'-0"	12' min.						

# **ATTACHMENT 2** 2019-7117 1268 Poplar Avenue Page 2 of 3

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
<sup>2</sup> Rear	n/a	8'-6"	10' min.
SECOND FLOOR			
Front	n/a	25'-0"	25' min.
Side	n/a	9'-0"	7' min.
Combined/Total Side	n/a	35'-0"	18' min.
<sup>2</sup> Rear	n/a	8'-6"	20' min.
Total Landscaping (s.f.)	n/a	1,466 s.f.	825 s.f. min.
Usable Open Space(s.f.)	n/a	500 s.f.	500 s.f. min.
Parking			
Total Spaces	n/a	4	4 min.
Covered	n/a	2	2 min.
Uncovered	n/a	2	2 min.
LOT 2 (Middle Lot)			
<sup>1</sup> Lot Size (s.f.)	n/a	3,874 s.f.	8,000 s.f. min.
Gross Floor Area (s.f.)	n/a	2,067 s.f.	1,743 s.f. without Planning Commission review
Lot Coverage	n/a	31.9%	40% max.
Floor Area Ratio (FAR%)	n/a	53.3%	45% without Planning Commission review
SETBACKS			
FIRST FLOOR			
Front	n/a	36'-2"	20' min.
Side	n/a	4'-0"	4' min.
Combined/Total Side	n/a	27'-0"	12' min.
Rear	n/a	11'-6"	10' min.
SECOND FLOOR			
Front	n/a	36'-2"	25' min.
Side	n/a	9'-0"	7' min.
Combined/Total Side	n/a	36'-0"	18' min.
<sup>2</sup> Rear	n/a	16'-6"	20' min.
Total Landscaping (s.f.)	n/a	1,056 s.f.	825 s.f. min.
Usable Open Space(s.f.)	n/a	538 s.f.	500 s.f. min.
Parking			
Total Spaces	n/a	4	4 min.
Covered	n/a	2	2 min.
Uncovered	n/a	2	2 min.
LOT 3 (Rear Lot)			
<sup>1</sup> Lot Size (s.f.)	n/a	4,311 s.f.	8,000 s.f. min.
Gross Floor Área (s.f.)	n/a	2,354 s.f.	1,940 s.f. without Planning Commission review

### ATTACHMENT 2 2019-7117 1268 Poplar Avenue Page 3 of 3

	EXISTING	PROPOSED	REQUIRED/ PERMITTED				
Lot Coverage	n/a	34.3%	40% max.				
Floor Area Ratio (FAR%)	n/a	54.6%	45% without				
			Planning				
			Commission				
			review				
SETBACKS							
FIRST FLOOR							
Front	n/a	47'-11"	20' min.				
Side	n/a	8'-0"	4' min.				
Combined/Total Side	n/a	17'-0"	12' min.				
Rear	n/a	10'-0"	10' min.				
SECOND FLOOR							
Front	n/a	48'-11"	25' min.				
Side	n/a	8'-0"	7' min.				
Combined/Total Side	n/a	22'-6"	18' min.				
Rear	n/a	20'-0"	20' min.				
Total Landscaping (s.f.)	n/a	1,600 s.f.	825 s.f. min.				
Usable Open Space(s.f.)	n/a	618 s.f.	500 s.f. min.				
Parking							
Total Spaces	n/a	4	4 min.				
Covered	n/a	2	2 min.				
Uncovered	n/a	2	2 min.				

<sup>1</sup> Lot Size less than the minimum requested through Use Permit

### **RECOMMENDED FINDINGS**

### **Design Review**

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single-Family Home Design Techniques.

Basic Design Principle	Comments
2.2.1 Reinforce prevailing neighborhood	The proposed entry porches are
home orientation and entry patterns	consistent with the proposed architectural
	style and the surrounding neighborhood. <i>Finding met.</i>
2.2.2 Respect the scale, bulk and	The proposed scale, bulk and character
character of homes in the adjacent	of the proposed homes is similar to
neighborhood.	existing two-story homes in the
noighiodhioda.	neighborhood. The proposed design has
	modest 8 foot second floor plate heights,
	well-articulated building facades with roof
	segments, offsets and a combination of
	high quality building materials. <i>Finding</i>
	met.
2.2.3 Design homes to respect their	The proposed homes comply with the
immediate neighbors	requirements for height and setbacks
	from the neighboring properties. The
	design is respectful of the privacy of the
	surrounding neighbors by providing high
	sill windows on the second-floor level.
0.0 A Minimize the viewel impresses of	Finding met.
2.2.4 Minimize the visual impacts of	The project meets the minimum
parking.	requirement of two covered and two
	uncovered parking spaces for each home. The proposal includes one single
	driveway access for all the units
	consistent with the common pattern in the
	neighborhood. The parking garages are
	located away from the street frontage that
	helps in reducing the visual prominence
	of parking. <i>Finding met.</i>
2.2.5 Respect the predominant materials	The proposal includes landscaping
and character of front yard landscaping.	improvements within the front yard and
	preservation of the existing mature Coast
	Live Oak trees. <i>Finding met.</i>
2.2.6 Use high quality materials and	The applicant proposes to use a
craftsmanship	combination of stucco, siding and river
	rock, which is consistent with the
	proposed Craftsman style architecture

	and will further enhance the existing streetscape. <i>Finding met.</i>
2.2.7 Preserve mature landscaping	Two protected trees are proposed to be removed as part of the application. The project includes 17 new 24-inch box Italian Cypress trees that will mitigate the loss of the protected trees, per the City's Tree replacement standards. <i>Finding</i> <i>met.</i>

### **Use Permit**

Goals and Policies that relate to this project are:

### Land Use and Transportation Element

- Goal LT-7: Diverse Housing Opportunities Ensure the availability of ownership and rental housing options with a variety of dwelling types, sizes, and densities that contribute positively to the surrounding area and the health of the community.
- POLICY LT-7.3: Encourage the development of housing options with the goal that the majority of housing is owner-occupied.
- Goal LT-4: An Attractive Community for Residents and Businesses In combination with the City's Community Design Sub-Element, ensure that all areas of the city are attractive and that the city's image is enhanced by following policies and principles of good urban design while valued elements of the community fabric are preserved.
- POLICY LT-4.4: Avoid monotony and maintain visual interest in newly developing neighborhoods, and promote appropriate architectural diversity and variety. Encourage appropriate variations in lot sizes, setbacks, orientation of homes, and other site features.

### **City Council Policy**

City Council Policy 1.1.12: Maximum Standards for Small Lot Single Family Residential Developments

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale. *Finding met.* 

The proposed project meets the required development standards and is consistent with the City's Single Family Home Design Technique. The three new single family homes will further the General Plan objective by allowing additional ownership home opportunities and further enhancing the existing streetscape. The overall perimeter setbacks of the entire site meet the R-2 Zoning District requirements and are consistent with the setbacks that would be required if only one home were to be built on the site or if three homes were to be built on the site without the subdivision of the parcel, in compliance with Council Policy 1.1.12.

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties. *Finding met.* 

The scale, bulk and style of the proposed development is similar to the neighboring properties along Poplar Avenue. The proposed design utilizes high quality materials and design which will contribute to the character of the neighborhood. The design further respects the privacy of the neighboring properties and, as conditioned, the project will not have any adverse privacy or visual impact on the neighborhood.

### **Tentative Parcel Map**

In order to approve the Tentative Parcel Map, the proposed subdivision must be consistent with the general plan. Staff finds that the Tentative Parcel Map is in conformance with the General Plan. However, if any of the following findings can be made, the Tentative Parcel Map shall be denied. Staff was <u>not</u> able to make any of the following findings and recommends approval of the Tentative Map.

- 1. That the subdivision is not consistent with the General Plan.
- 2. That the design or improvement of the proposed subdivision is not consistent with the General Plan.
- 3. That the site is not physically suitable for the proposed type of development.
- 4. That the site is not physically suitable for the proposed density of development.
- 5. That the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- 6. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- 7. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
- 8. That the map fails to meet or perform one or more requirements or conditions imposed by the "Subdivision Map Act" or by the Municipal Code

Staff was not able to make any of the findings (B.1-8), and recommend approval of the Tentative Parcel Map.

ATTACHMENT 4 2019-7117 1268 Poplar Avenue Page 1 of 18

### RECOMMENDED CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS PLANNING COMMISSION HEARING ON AUGUST 12, 2019

### Planning Application 2019-7117 1268 Poplar Avenue

Design Review permit to allow construction of three new single family homes (2,035 square feet, 2,067 square feet and 2,354 square feet gross floor area) resulting in overall Floor Area Ratio (FAR) of 53.5%. Use Permit is required to allow lot width and lot area less than the minimum required and Tentative Parcel Map for subdivision of one parcels into three lots.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

### GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

### GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:

The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to the expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

### GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION:

The entitlements shall expire if discontinued for a period of one year or more. [SDR] (PLANNING)

### GC-4. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

# GC-5. NOTICE OF FEES PROTEST:

As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]

### GC-6. PUBLIC IMPROVEMENTS:

The developer is required to install, per Sunnyvale Municipal Code Sections 18.08, all public improvements, which may include but not be limited to, curb & gutter, sidewalks, driveway approaches, curb ramps, street pavements, utility extensions and connections, meters/vaults, trees and landscaping, traffic signal/signage, striping, street lights, etc.

All public improvements shall be designed and constructed in accordance with current City design standards, standard details and

specifications, and Americans with Disabilities Act (ADA) requirements where applicable, unless otherwise approved by the Department of Public Works.

The developer is required to complete the installation of all public improvements and other improvements deemed necessary by the Public Works Department, prior to occupancy of the first building, or to the satisfaction of the Department of Public Works. [COA] [PUBLIC WORKS]

### GC-7. OFF-SITE IMPROVEMENT PLANS:

Submit off-site improvement plans separate from the Building on-site improvement plans as the off-site improvement plans are approved through a Public Works Encroachment Permit process. Sheets C1 through C7 of the plan set dated 06/21/19 are subject to change during the plan check process. [SDR] [PUBLIC WORKS]

### GC-8. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

### GC-9. PARCEL MAP RECORDATION:

This project is subject to, and contingent upon the approval of a tentative map and recordation of a Parcel Map. The submittal, approval and recordation of the Parcel Map shall be in accordance with the provisions of the California Subdivision Map Act and Sunnyvale Municipal Code Title 18 Subdivision requirements. All existing and proposed property lines, easements, dedications shown on the tentative map are subject to City's technical review and approval during the parcel map process prior to any grading or building permit. Applicant shall provide 1' of street dedication in the form of an easement along the project frontage. Sheets TM1 and TM2 of Tentative Map submittal dated 06/21/19 is subject to change during plan check process. [COA] [PUBLIC WORKS]

### GC-10. MAP PHASING:

If multiple maps are filed, all public improvement plans shall be approved prior to first map recordation. All public improvements shall be completed prior to first building occupancy, unless otherwise approved by the Department of Public Works. [COA] [PUBLIC WORKS]

# PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

### PS-1. REQUIRED REVISIONS TO PROJECT PLANS:

The plans shall be revised to address comments from the Administrative Hearing Officer, Planning Commission or City Council including the following:

a) Provide high sill windows (at least 5 feet) on second floor level facing the neighboring properties. [COA] [PLANNING]

### PS-2. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Planning Commission/Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

### PS-3. SANITARY SEWER ANALYSIS:

Prior to first off-site plan check submittal, submit a focused sanitary sewer analysis, to be reviewed and approved by the City, identifying the overall project impact to the City's existing sanitary sewer main(s). This includes, but is not limited to, the following:

- a) A detailed estimate of water consumption in gallons per day or estimate of sanitary sewer discharge in gallons per day; and
- b) Any incremental impact that will result from the new project in comparison to the existing sewer capacity of the immediate downstream mainline as needed, and allocation of wastewater discharge from the project site to each of the proposed laterals. Any deficiencies in the existing system in the immediate vicinity of the project will need to be addressed and resolved at the expense of the developer as part of the off-site improvement plans. Sewer flow monitoring data may be required as needed. Any mitigation improvements needed shall be incorporated in the first plan check submittal. [COA] [PUBLIC WORKS]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

### BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

### BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

### BP-3. NOTICE OF CONDITIONS OF APPROVAL:

A Notice of Conditions of Approval shall be filed in the official records of the County of Santa Clara and provide proof of such recordation to the City prior to issuance of any City permit, allowed use of the property, or Final Map, as applicable. The Notice of Conditions of Approval shall be prepared by the Planning Division and shall include a description of the subject property, the Planning Application number, attached conditions of approval and any accompanying subdivision or parcel map, including book and page and recorded document number, if any, and be signed and notarized by each property owner of record.

For purposes of determining the record owner of the property, the applicant shall provide the City with evidence in the form of a report from a title insurance company indicating that the record owner(s) are the person(s) who have signed the Notice of Conditions of Approval. [COA] [PLANNING]

### BP-4. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

### BP-5. FEES AND BONDS:

The following fees and bonds shall be paid in full prior to issuance of building permit.

- a) TRANSPORTATION IMPACT FEE Pay Traffic Impact fee for the net new trips resulting from the proposed project, estimated at \$6,228, prior to issuance of a Building Permit. (SMC 3.50). [SDR] [PLANNING]
- b) PARK IN-LIEU Pay Park In-lieu fees estimated at \$141,570, prior to approval of the Final Map or Parcel Map. (SMC 18.10). [SDR] [PLANNING]

### BP-6. LANDSCAPE MAINTENANCE PLAN:

Prepare a landscape maintenance plan subject to review and approval by the Director of Community Development prior to issuance of building permit. [COA] [PLANNING]

### BP-7. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
- b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

# BP-8. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.

- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
  - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
  - ii) Dumpster drips from covered trash and food compactor enclosures.
  - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
  - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
  - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

### **BP-9. GREEN BUILDING:**

The plans submitted for building permits shall demonstrate the project achieves a minimum of 80 points on the Green Point Rated checklist, or the minimum points required effective at the time of building permit submittal. The project plans shall be accompanied with a letter from the project's Green Point Rater/LEED AP verifying the project is designed to achieve the required points. [COA] [PLANNING] [BUILDING]

# BP-10. CONSTRUCTION MANAGEMENT PLAN:

The project applicant shall implement a Construction Management Plan (CMP) to minimize impacts of construction on surrounding residential uses to the extent possible. The CMP shall be subject to review and approval by the Director of Community Development prior to issuance of a demolition permit, grading permit, or building permit. The CMP shall identify measures to minimize the impacts of construction including the following:

- a) Measures to control noise by limiting construction hours to those allowed by the SMC, avoiding sensitive early morning and evening hours, notifying residents prior to major construction activities, and appropriately scheduling use of noise-generating equipment.
- b) Use 'quiet' models of air compressors and other stationary noise sources where such technology exists.

- c) Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
- d) Locate all stationary noise-generating equipment, such as air compressors and portable power generators, as far away as possible from residences or other noise-sensitive land uses.
- e) Locate staging areas and construction material areas as far away as possible from residences or noise-sensitive land uses.
- f) Route all construction traffic to and from the project site via designated truck routes where possible. Prohibit constructionrelated heavy truck traffic in residential areas where feasible. Obtain approval of proposed construction vehicle truck routes from the Department of Public Works.
- g) Manage construction parking so that neighbors are not impacted by construction vehicles. When the site permits, all construction parking shall be on-site and not on the public streets.
- h) Prohibit unnecessary idling of internal combustion engine-driven equipment and vehicles.
- i) Notify all adjacent business, residents, and noise-sensitive land uses of the construction schedule in writing. Notify nearby residences of significant upcoming construction activities at appropriate stages in the project using mailing or door hangers.
- j) Designate a "disturbance coordinator" who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint and will require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule. [COA] [PLANNING]
- BP-12. DEMOLITION/CONSTRUCTION/RECYCLING WASTE REPORT FORM:

To mitigate the impacts of large projects on local waste disposal and recycling levels, demolition waste weights/volumes, construction weights/volumes, and recycling weights/volumes are to be reported to the City, per City's "waste & recycling reporting form" (electronic copy available) or a similar chart approved by the City. As part of the project's construction specifications, the developer shall track the type, quantity, and disposition of materials generated, and forward a complete report to the Department of Environmental Services, Solid Waste Division both periodically and at project completion. [COA] [ENVIRONMENTAL SERVICES]

- BP-13. SOLID WASTE DISPOSAL AND RECYCLING DESIGN PLAN: A detailed solid waste disposal and recycling design plan shall be submitted for review and approval by the Director of Community Development prior to issuance of building permit. The solid waste disposal plan and building permit plans shall demonstrate compliance with current City requirements and guidelines for residential/multifamily projects. [COA] [PLANNING/ENVIRONMENTAL SERVICES]
- BP- 14. CONSTRUCTION MATERIAL AND STAGING:
   All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements. [COA] [PUBLIC WORKS]
- BP- 15. UNDERGROUND UTILITIES: All utilities shall be undergrounded per Sunnyvale Municipal Code Chapter 19.38.095. [COA] [PLANNING/PUBLIC WORKS

# EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

# EP-1. COMPLETE OFF-SITE IMPROVEMENT PLAN SET:

A complete plan check set applicable to the project, which may include street improvement plans, streetscape plans, signing/striping plans, erosion control plans, and traffic control plans shall be submitted as part of the first off-site improvement plans, including on-site and offsite engineering cost estimate and the initial Engineering and Inspection plan review fee. Joint trench plans may be submitted at a later date. No partial sets are allowed unless otherwise approved by the Department of Public Works. Sheets C1 through C7 of the plan set dated 06/21/19 are subject to change during plan check process. See Improvement Plan Checklist and Improvement Plan Submittal Checklist at the following 2 links:

https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=2 4002

https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=2 3625 [COA] [PUBLIC WORKS]

# EP-2. UPGRADE OF EXISTING PUBLIC IMPROVEMENTS:

As part of the off-site improvement plan review and approval, any existing public improvements to be re-used by the project, which are not in accordance with current City standards and are not specifically identified in the herein project conditions (such as backflow preventers, sign posts, etc.), shall be upgraded to current City standards and as required by the Department of Public Works. [COA] [PUBLIC WORKS]

### EP-3. BENCHMARKS: The improvement plans shall be prepared by using City's latest benchmarks (NAVD88) available on City's website https://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?Bl obID=23803 Plans based on NGVD29 will not be accepted. [COA] [PUBLIC WORKS]

EP-4. UTILITY CONNECTION: This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]

# EP-5. UTILITY CONNECTION TO THE MAIN:

All sanitary sewer laterals connecting to the existing main line shall be at a new sanitary sewer manhole unless otherwise directed by the city. All storm drain laterals connecting to the main shall be at a new storm drain manhole, except where a pipe to pipe connection is permitted if the mainline is 36" or larger, or a junction structure is permitted where the point of connection is within close vicinity of an existing downstream manhole. Pursuant to City design standards, any new and retrofitted manholes require Sewpercoat, Mainstay or Sancon calcium aluminate cementitious mortar coating of the interior. [SDR] [PUBLIC WORKS]

# EP-6. POTHOLING OF EXISTING DRY UTILITIES:

Concurrent with the initial submittal of off-site improvement plans, obtain an encroachment permit for potholing purposes to locate existing dry utilities. Use pothole information to identify possible conflict between the proposed location of City trees and existing utilities, proposed joint trench, and proposed connection of gravity utilities. Potholing is to take place in a timely manner so that this does not hold up the review of the improvement plans. [COA] [PUBLIC WORKS]

# EP-7. EXISTING UTILITY ABANDONMENT/RELOCATION:

Developer is responsible for research on all existing utility lines to ensure that there are no conflicts with the project. All existing utility lines (public or private) and/or their appurtenances not serving the project and/or have conflicts with the project, shall be capped, abandoned, removed, relocated and/or disposed of to the satisfaction of the City. Existing public facilities within the street right-of-way shall be abandoned per City's Abandonment Notes and procedures, including abandonment by other utility owners. [COA] [PUBLIC WORKS]

# EP-8. MODIFICATIONS TO EXISTING PUBLIC UTILITIES:

Developer is required to pay for all changes or modifications to existing City utilities, streets and other public utilities within or adjacent to the project site, including but not limited to utility facilities/conduits/vaults relocation due to grade change in the sidewalk area, caused by the development. [COA] [PUBLIC WORKS]

EP-9. DRY UTILITIES:

Submit dry utility plans and/or joint trench plans (PG&E, telephone, cable TV, fiber optic, etc.) to the Public Works Department for review and approval prior to the issuance of any permits for utility work within any public right-of-way or public utility easements. Separate encroachment permits shall be required for various dry utility construction. [SDR] [PUBLIC WORKS]

- EP-10. WET UTILITIES: All wet utilities (water, sanitary sewer, storm drain) on private property shall be privately owned and maintained. The fire and domestic water systems shall be privately owned and maintained beyond the meter. [COA] [PUBLIC WORKS]
- EP-11. RE-USE OF EXISTING CITY UTILITY SERVICE LINES:

Re-use of existing City sanitary sewer and storm drain service lines and appurtenances is subject to City's review and approval. Developer's contractor shall expose the existing facilities during construction for City's evaluation or provide video footage of the existing pipe condition. Developer's contractor shall replace any deficient facilities as deemed necessary by the Department of Public Works. Sheets C1 through C7 of the plan set dated 06/21/19 are subject to change during plan check process. [COA] [PUBLIC WORKS]

- EP-12. PUBLIC FIRE HYDRANTS: Remove and replace the existing fire hydrant barrel(s) along the entire project frontage with current City standard Clow-Rich 75. New fire hydrant locations shall be per current City standard detail 2B and 2B-2. Public fire hydrant shall be maintained free and clear of all trees, vines, shrubs, bushes, ivy, etc. for a minimum of three feet. [COA] [PUBLIC WORKS/PUBLIC SAFETY-FIRE PROTECTION]
- EP-13. SEWER CLEANOUT: Install new sewer cleanout at the street right-of-way lines for all existing and proposed sanitary sewer laterals to be used for the project. [SDR] [PUBLIC WORKS]
- EP-14. SANITARY SEWER VIDEO:

The contractor shall provide a video copy of the interior of the new sanitary sewer lateral prior to putting the lateral into service. [COA] [PUBLIC WORKS]

### EP-15. SANITARY SEWER AND STORM DRAIN TRIBUTARY PATTERN:

This project is required to follow the existing sanitary sewer and storm drain tributary pattern. Any deviations would require additional analysis and subject to approval by the Public Works Department as part of the off-site improvement plan review process. This project shall not cause any negative impact on the drainage pattern for adjacent properties. [COA] [PUBLIC WORKS]

#### EP-16 CATCH BASIN TRASH CAPTURE DEVICES: Pursuant to SMC 12 60 130 install full trash car

Pursuant to SMC 12.60.130, install full trash capture devices on the project site, prior to connecting to the City's storm drain collection system, the developer shall be responsible for perpetual maintenance of those trash capture devices. All storm drain inlet facilities located in the public right-of-way shall be stenciled and/or have a badge that read "NO DUMPING" as supplied by the Environmental Services Department.[COA] [PLANNING/ENVIRONMENTAL SERVICES/PUBLIC WORKS]

### EP-17. UTILITY METER/VAULT: No existing or new utility meters or vaults shall be located within the new driveway approach. All existing or new utility vaults serving the project site shall be located on-site and not within the public utility easement, if any. [COA] [PUBLIC WORKS]

# EP-18. DRIVEWAY APPROACHES: Remove existing asphalt along project frontage and install new driveway approaches along the project frontage to comply with Americans with Disabilities Act (ADA) requirements and City standard details and specifications. All unused driveway approaches shall be replaced with new curbs, gutters, and sidewalks per current City standards. [SDR] [PUBLIC WORKS]

# EP-19. STREETSCAPE IMPROVEMENTS:

Along project frontage on Poplar Ave, remove existing asphalt concrete sidewalk and install new concrete curb and 2' gutter per current City standards. Install an attached 6' wide sidewalk (not including 6-inch curb), or as approved by Department of Public Works to protect existing mature trees. [SDR] [PUBLIC WORKS]

EP-20. ROOT BARRIER:

Install a continuous root barrier along new sidewalk adjacent to City trees per City standard details and specifications. [SDR] [PUBLIC WORKS]

- EP-21. DECORATIVE PAVEMENT: Any and all proposed decorative pavement and vertical curb pertaining to on-site development shall not be located within the City right-of-way. [COA] [PUBLIC WORKS]
- EP-22. TRAFFIC CONTROL PLAN:

Submit a traffic control plan with the off-site improvement plans for review and approval. Per the City's Temporary Traffic Control Checklist, the traffic control plan shall include a summary of the traffic control types, dates, times and blocks affected. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris. [COA] [PUBLIC WORKS]

EP-23. SLURRY SEAL:

Developer shall be responsible to install Type II slurry seal on Poplar Ave from lip of gutter to lip of gutter along project frontage. Sheets C1 through C7 of the plan set dated 06/21/19 are subject to change during the plan check process. [COA] [PUBLIC WORKS]

EP-24. PROTECTION OF EXISTING TREES:

No utility trench shall be allowed within 15' radius of an existing mature tree. Additionally, the proposed sidewalk must maintain a minimum separation of 1' from the existing tree trunk flares, and proposed driveway must maintain a minimum separation of 4' from the existing tree trunk flares. Boring, air spade or other excavation method as approved by the City Arborist shall be considered to protect existing mature tree. Consult with the City Arborist prior to adjusting locations of utility lines. [SDR] [PUBLIC WORKS]

- EP-25. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS: Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]
- EP-26. APPROVAL FROM OTHER AGENCIES: This project requires an approval letter from the California Water Service (Cal Water) for proposed water service to the development. [COA] [PUBLIC WORKS]
- EP-27. RECORD DRAWINGS:

Stamped and signed hard copy record drawings of the off-site improvements (including off-site street, sewer, water, storm drain and landscaping plans) shall be submitted to the City prior to encroachment permit sign-off. In addition, streetlight record drawings shall be in AutoCAD format & GIS format. Developer shall pay the record drawing fee. [COA] [PUBLIC WORKS] (SMC 13.08.160(a))

# TM: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO THE APPROVAL OF THE FINAL MAP OR PARCEL MAP.

- TM-1. PARCEL MAP COMPLIANCE WITH TENTATIVE PARCEL MAP: The parcel map shall be substantially the same as the tentative parcel map. Any alteration of the tentative parcel map after the tentative parcel map is approved is subject to additional approval by the City and may require a public hearing. Sheets TM1 and TM2 of Tentative Parcel Map submittal dated 06/21/19 are subject to change during plan check process. [COA] [PLANNING/PUBLIC WORKS]
- TM-2. TITLE 18 AND SUBDIVISION MAP ACT: The submittal, approval and recordation of the parcel map shall be in accordance with the provision of the California Subdivision Map Act and Sunnyvale Municipal Code Title 18 Subdivision requirements. [COA] [PUBLIC WORKS]
- TM-3. RESERVATION/ABANDONMENT OF EASEMENTS:

Reservation of new and/or abandonment of existing public/private utility easement(s), ingress/egress easement(s) necessary for the project shall be delineated on the map or recorded concurrently with the map with a separate instrument. (SMC 18.16.010 (c), Subdivision Map Act §66475 and §66499.20-1/2 for public easements) Quitclaim deed is required for abandonment of private easements prior to map recordation. All easements shall be kept open and free from buildings and structures of any kind except those appurtenances associated with the defined easements. [COA] [PUBLIC WORKS]

- TM-4. STREET EASEMENT DEDICATION: This project requires a minimum of 11' street right-of-way measured from the face of curb along project frontage on Poplar Avenue. Developer shall provide additional street dedication as needed. All easements shall be kept open and free from buildings and structures of any kind except those appurtenances associated with the defined easements. Developer shall execute the easement deeds prior to encroachment permit issuance.
- TM-5. UTILITY COMPANY APPROVAL:

Obtain map approval letters from the utility companies in regards to any existing or new easements associated with their facilities. [COA] [PUBLIC WORKS]

TM-6. PUBLIC WORKS DEVELOPMENT FEES: The developer shall pay all applicable Public Works development fees

associated with the project, including but not limited to, utility frontage and/or connection fees and off-site improvement plan check and inspection fees, prior to map recordation or any permit issuance, whichever occurs first. The exact fee amount shall be determined based upon the fee rate at the time of fee payment. [COA] [PUBLIC WORKS]

TM-7. SUBDIVISION IMPROVEMENT AGREEMENT AND IMPROVEMENT SECURITIES:

The developer shall execute a subdivision improvement agreement and provide improvement securities and/or cash deposit(s) for all proposed public improvements prior to map recordation or any permit issuance, whichever occurs first. Provide an itemized engineer's estimate for all off-site public improvements for the entire project for determination of security amount. [COA] [PUBLIC WORKS]

TM-8. COVENANTS, CONDITIONS AND RESTRICTIONS (CC&Rs):

Any proposed deeds, covenants, conditions, restrictions and by-laws relating to the subdivision are subject to review and approval by the City. The CC&R's shall include the following provisions:

- a) All public/private easements pertaining to the project shall be identified and/or defined and made aware to the homeowners in the CC&R's.
- b) The developer shall maintain all private utilities and landscaping for a period of three years following installation of such improvements or until the improvements are transferred to a Homeowners Association, following sale of at least 75% of the units, whichever comes first. (Subdivision Improvement Agreement)
- c) Homeowners are prohibited from modifying drainage facilities and/or flow patterns of their lots without first obtaining permission from the City.
- d) There shall be provisions of post construction Best Management Practices in the CC&R's in regards to the storm water management. (SMC 12.60.200) [COA] [PUBLIC WORKS/PLANNING/CITY ATTORNEY]
- TM-9. PUBLIC/PRIVATE STREETS: All streets, both public and private, shall be shown on the Parcel Map. Street names shall be approved by the Director of Community

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Development. Private streets shall be designated as "Terrace". [COA] [PUBLIC WORKS] (SMC 18.12.190)

# PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

### PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

### PF-2. PARKING LOT STRIPING:

All parking lot striping, carpool and compact spaces shall be striped as per the approved plans and Public Works standards. [COA] (PLANNING/ENGINEERING)

### PF-3. COMPLETION OF PUBLIC IMPROVEMENTS:

Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy. [COA] [PUBLIC WORKS]

### PF-4. BUILDING PERMIT ISSUANCE:

The existing guy anchor easement at the southwest corner of the project shall be quitclaimed prior to building occupancy for Lot 1. Provide documentation to Public Works once the easement has been quitclaimed. [COA] [BUILDING/PUBLIC WORKS]

# PF-3. CONDITIONS, COVENANTS AND RESTRICTIONS (CC&RS) (RECORDATION):

The Developer/Owner shall submit a copy of the recorded CC&Rs and a letter from the Developer/Owner either indicating that the recorded CC&Rs are in conformance with the approved draft CC&Rs or summary of changes shall be provided to the Director of Community Development prior to release if utilities or certificate of occupancy. [COA] [PUBLIC WORKS/PLANNING/CITY ATTORNEY]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

### DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

# DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

# DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

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### AT: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.

### AT-1. LANDSCAPE MAINTENANCE:

All landscaping shall be installed in accordance with the approved landscape plan and shall thereafter be maintained in a neat, clean, and healthful condition. Trees shall be allowed to grow to the full genetic height and habit (trees shall not be topped). Trees shall be maintained using standard arboriculture practices. [COA] [PLANNING]

### AT-2. SOLID WASTE RECYCLING MANAGEMENT:

Waste and recycling services for residential uses shall be maintained under a master account held by the applicant, owner or landlord. The account holder will be responsible for ensuring adequate services and that all locations, private sidewalks and streets are kept free of litter and stains. Requirements shall be specified in the approved documents and be submitted for approval by the City. [COA] [ENVIRONMENTAL SERVICES]

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		Zoning			Year		Lot	Living		Floor		
APN	Address	District	Use	Unit	Built	Stories	Size	Area	Garage	Area	FAR	Notes
	1268 Poplar		Single-Family									
21344036	Av	R2	Home	1	1936	1	12,120	2,793	456	3,249	26.8%	Subject Site
			Single-Family									Proposed
	Lot 1 (Front)	R2	Home	1	n/a	2	3,875	1,635	400	2,035	52.5%	Project
	Lot 2		Single-Family									Proposed
	(Middle)	R2	Home	1	n/a	2	3,874	1,667	400	2,067	53.4%	Project
			Single-Family									Proposed
	Lot 3 (Rear)	R2	Home	1	n/a	2	4,311	1,954	400	2,354	54.6%	Project
	1248 Poplar		Single-Family									
21344041	Av	R2	Home	1	1949	1	12,120	1,807	520	2,327	19.2%	
	1252 Poplar											
21344046	Av	R2	Triplex	3	1979	1	12,060	3,626	0	3,626	30.1%	
	1260 Poplar											No Information
21344047	Av	R2	Triplex	3	1949	3	12,060	N/A	N/A	N/A	N/A	available
	1272 Poplar											Project #1984-
21344048	Av	R2	Duplex	2	1985	2	12,060	3,832	0	3,832	31.8%	0407
	1256 Poplar											
21344049	Av	R2	Triplex	3	1985	2	12,258	1,864	0	1,864	15.2%	
	1266 Poplar		Single-Family									Project #2001-
21344052	Av	R2/PD	Home	1	2004	2	6,360	1,684	0	2,082	32.7%	0053
	1262 Poplar		Single-Family									Project #2001-
21344053	Av	R2/PD	Home	1	2004	2	2,880	1,746	0	1,987	69.0%	0053
	1264 Poplar		Single-Family									Project #2001-
21344054	Av	R2/PD	Home	1	2004	2	2,880	1,746	0	1,987	69.0%	0053
	1274 Poplar		Single-Family									Project #2006-
21344055	Av	R2/PD	Home	1	2006	2	3,465	2,176	393	2,569	74.1%	0752
	1276 Poplar		Single-Family									Project #2006-
21344056	Av	R2/PD	Home	1	2006	2	3,195	1,951	401	2,352	73.6%	0752
	1278 Poplar		Single-Family									Project #2006-
21344057	Av	R2/PD	Home	1	2006	2	3,120	1,929	398	2,327	74.6%	0752; High FAR
	1232 Poplar		Single-Family									Project #2006-
21344058	Av	R2	Home	1	2009	2	4,967	1,738	0	2,312	46.5%	0593

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		Zoning			Year		Lot	Living		Floor		
APN	Address	District	Use	Unit	Built	Stories	Size	Area	Garage	Area	FAR	Notes
	1236 Poplar		Single-Family									Project #2006-
21344059	Av	R2	Home	1	2009	2	3,389	1,550	0	2,133	62.9%	0593
	1238 Poplar		Single-Family									Project #2006-
21344060	Av	R2	Home	1	2009	2	3,707	1,557	0	2,183	58.9%	0593
	1280 Poplar		Single-Family									
21344061	Av	R2/PD	Home	1	1975	1	3,731	1,156	0	1,156	31.0%	
	1282 Poplar		Single-Family									
21344062	Av	R2/PD	Home	1	1975	1	3,600	1,156	0	1,156	32.1%	
	1284 Poplar		Single-Family									
21344063	Av	R2/PD	Home	1	1975	1	4,729	1,156	0	1,156	24.4%	
	1249 Poplar											
21345002	Av	R2	Duplex	2	1948	1	12,120	851	592	1,443	11.9%	
	1253 Poplar		Single-Family									
21345003	Av	R2	Home	1	1948	1	12,120	644	352	996	8.2%	
	1261 Poplar											
21345005	Av	R2	Duplex	2	1952	1	12,120	3,612	360	3,972	32.8%	
	1263 Poplar											
21345006	Av	R2	Duplex	2	1947	1	12,120	1,707	400	2,107	17.4%	
04045047	1257 Poplar	De			1000	0	10.100	F 400		F 400	45 00/	
21345047	Av	R2	Triplex	3	1990	2	12,120	5,480	0	5,480	45.2%	
04047005	1245 Poplar	DO	Single-Family		107/		10.0/0	0.747	_	0.74 (	00.000	
21347005	Av	R2	Home	1	1976	1	12,060	3,716	0	3,716	30.8%	
, in the second s	Average Existing						7,793	2,122	263	2,294	29.4%	
Average Pro	posed						7,358	2,078	185	2,369	32.2%	

#### ATTACHMENT 6 PAGE 1 OF 18

## Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

1268 Poplar Ave, Sunnyvale July 11, 2019

Jun Zhang 1268 Poplar Ave Sunnyvale, CA 94086

Site: 1268 Poplar Ave, Sunnyvale

Dear Jun,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. 3 New residences are planned for this property, prompting the need for this tree protection report.

#### Method:

Sunnyvale regulates trees of Significant size. "Significant size" means a tree thirty-eight inches or greater in circumference measured four and one-half feet above ground for single-trunk trees. For multi-trunk trees "significant size" means a tree which has at least one trunk with a circumference thirty-eight inches or greater measured four and one-half feet above ground level, or in which the measurements of the circumferences of each of the multi-trunks, when measured four and one-half feet above the ground level, added together equal an overall circumference one hundred thirteen inches or greater. The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely

Robert Weatherill Certified Arborist WE 1936A

### Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

#### 1268 Poplar Ave, Sunnyvale July 11, 2019

#### Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Coast live oak Quercus agrifolia	31.2"	50/60	70	Healthy tree, not maintained, slight lean, <b>Regulated</b>
2	Coast live oak Quercus agrifolia	45.1"	50/60	55	Fair health and condition, <i>phytophthora</i> on low trunk, thin canopy, <b>Regulated</b>
3	Jacaranda Jacaranda mimosifloia	14.3"	25/30	60	Fair health and condition, suppressed by #2, <b>Regulated</b>
4	Silk tree Albizia julibrissin	15.8"	20/20	55	Fair health and condition, poorly pruned, some decay, <b>Regulated</b>
5	Coast live oak Quercus agrifolia	28.6"	50/70	70	Good health and condition, joint owned tree, <b>Regulated</b>
6	Avocado Persea americana	18.1"	20/20	30	Poor health and condition, drought stress, <b>Regulated</b>
7	Southern magnolia Magnolia grandiflora	24.2"	40/25	50	Fair health and condition, some dead wood drought stress, <b>Regulated</b>
8	Coast live oak Quercus agrifolia	16.2"	40/30	40	Fair health, poor condition, decay in trunk, poor structure, <b>Regulated</b>
9	Avocado Persea americana	10.9/8.2"	20/20	30	Poor health and condition, decay in trunk poorly pruned, <b>Not Regulated</b>

#### **Summary:**

The trees on the site are a variety of natives and non-natives.

There are 8 Regulated trees on the property in varying health and condition and 1 Non Regulated trees.

Tree #s 1, 2, 4, 5 and 6 are all significant trees and should be protected during construction.

Tree # 3 is close to the proposed construction and may not survive the construction impacts. This tree will be removed.

Tree #s 7 and 8 are located in the middle of the proposed 3<sup>rd</sup> unit and will be removed.

Tree # 9 is not significant and in poor health and condition. This tree should be removed.

1268 Poplar Ave, Sunnyvale July 11, 2019

#### **Tree Protection Plan**

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 11/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree or diameter of trunk. The recommended TPZ's are listed below and marked on the drawing in red dotted line.

Tree # 1: TPZ should be at 25' radius from trunk of tree

Tree # 2: TPZ should be at 35' radius from trunk of tree

Tree # 4: TPZ should be at 25' radius from trunk of tree

Tree # 5: TPZ should be at 25' radius from trunk of tree

Tree # 6: TPZ should be at 15' radius from trunk of tree

Tree #s 1 and 2 are at the entrance to the construction site, it may be necessary to wrap the low overhanging limbs of the tree with 2 inches of orange plastic fencing and wooden slats similar to Type III tree protection to prevent any physical damage to the trees from delivery trucks or construction machinery. Illustrated in image 2.15-1 and  $2^{(6)}$ .

The tree protection fencing should be placed at its furthest radius from the tree where possible, but because this is such a narrow lot, the recommended location of the TPZ fencing would prevent the property from being developed. I have marked in a solid red line on the drawing the possible location of the TPZ fencing. The TPZ fencing should be Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 <sup>(6)</sup>. If work is required within the recommended TPZ fencing but outside the actual fencing (Area shaded in blue), the following recommendations should be followed.

Excavation for the foundation for the pavers within the recommended TPZs should be no more than 8 inches below existing grade, compaction should be kept to a minimum.

Demolition of the existing properties within the TPZs should be done by hand or by machine reaching into the TPZ. No machinery should track within the recommended TPZs

The foundation of the proposed construction within the TPZ of Tree #s 5 and 6 should be hand dug. If roots are encountered, any roots greater than 2" in diameter should be protected and worked around by enclosing in pvc pipe filled with expanding foam to allow for movement and further root growth.

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### Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

1268 Poplar Ave, Sunnyvale July 11, 2019



IMAGE 2.15-1 Tree Protection Fence at the Dripline



IMAGE 2.15-2 Tree Protection Fence at the Dripline

#### Type I Tree Protection

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see *Images* 2.15-1 and 2.15-2). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.



IMAGE 2.15-4 Trunk Wrap Protection

#### Type III Tree Protection

Trees situated in a small tree well or **sidewalk planter pit**, shall be wrapped with 2-inches of orange plastic fencing as padding from the ground to the first branch with 2-inch thick wooden slats bound securely on the outside. During installation of the wood slats, caution shall be used to avoid damaging any bark or branches. Major scaffold limbs may also require plastic fencing as directed by the *City Arborist*. (see Image 2.15-4)

- 2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel**. No limbs greater than 4" in diameter shall be removed.
- 3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.<sup>(2)</sup>
- 4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.<sup>(2)</sup>

#### 5. **Do Not**:.<sup>(4)</sup>

- a. Allow run off or spillage of damaging materials into the area below any tree canopy.
- b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- d. Allow fires under any adjacent trees.
- e. Discharge exhaust into foliage.
- f. Secure cable, chain or rope to trees or shrubs.
- g. Apply soil sterilants under pavement near existing trees.
- 6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.<sup>(4)</sup>

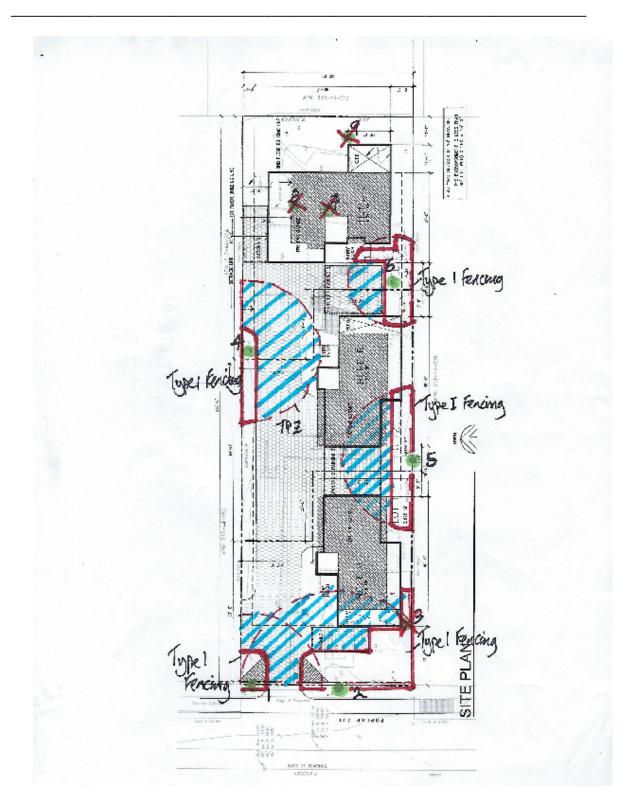
7. Route pipes into alternate locations to avoid conflict with roots.<sup>(4)</sup>

8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.<sup>(4)</sup>

9. Compaction of the soil within the dripline shall be kept to a minimum.<sup>(2)</sup> If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlayed with plywood.

- 10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
- 11. Ensure upon completion of the project that the original ground level is restored

1268 Poplar Ave, Sunnyvale July 11, 2019



Location of proposed new homes, protected trees and their Tree Protection Zones

#### ATTACHMENT 6 PAGE 7 OF 18

### Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

1268 Poplar Ave, Sunnyvale July 11, 2019

#### **Appraised Values of Trees on Site.**

See Addendum for calculations

Appraised Value of Tree #1 is \$15,200.00 Appraised Value of Tree #2 is \$21,500.00 Appraised Value of Tree #3 is \$1,150.00 Appraised Value of Tree #4 is \$1,280.00 Appraised Value of Tree #5 is \$13,100.00 Appraised Value of Tree #6 is \$540.00 Appraised Value of Tree #7 is \$4,800.00 Appraised Value of Tree #8 is \$1,760.00

#### Total appraised value of all trees \$59,330.00

### Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

1268 Poplar Ave, Sunnyvale July 11, 2019

#### **Glossary**

Canopy	The part of the crown composed of leaves and small twigs. <sup>(2)</sup>
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. <sup>(1)</sup>
Decay	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin <sup>(1)</sup>
Dripline	The width of the crown as measured by the lateral extent of the foliage. <sup>(1)</sup>
Genus	A classification of plants showing similar characteristics.
Root crown	The point at which the trunk flares out at the base of the tree to become the root system.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

#### **References**

(1) Matheny, N.P., and Clark, J.P. <u>Evaluation of Hazard Trees in Urban Areas</u>. International Society of Arboriculture,1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. <u>Arboriculture: Integrated</u> <u>Management of Landscape Trees, Shrubs and Vines.</u> Prentice Hall, 1999.

(3) Carlson, Russell E. <u>Paulownia on The Green: An Assessment of Tree Health</u> and <u>Structural Condition</u>. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

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### Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

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#### *Certification of Performance*<sup>(3)</sup>

I, Robert Weatherill certify:

\* That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;

\* That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

\* That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;

\* That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;

\* That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

\* That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

Signed



Robert Weatherill Certified Arborist WE 1936a Date: 7/11/19

1268 Poplar Ave, Sunnyvale July 11, 2019

#### Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.

2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.

3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.

4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.

5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.

6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.

7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.

8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.

9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

1268 Poplar Ave, Sunnyvale July 11, 2019

#### Addendum

#### **Appraised Values of Regulated Trees**

#### <u>Trunk Formula Appraisal For Tree #1, Coast live oak</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Coast live oak Quercus agrifolia	31.2"	50/60	70	Healthy tree, not maintained, slight lean, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA *Guide for Plant Appraisal, 9<sup>th</sup> Edition.*"

Coast live oak, Quercus agrifolia

#### Species rating 1 = 90%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA<sup>°</sup>) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>, Basic Price \$172.73 Installed cost \$600.00 for a 2.20" diameter, TA<sup>°</sup> 3.80 in<sup>2(1)</sup>

Single trunked Coast live oak DBH 31.2" TA = 764.54 = 765 sq inches, Adjusted Trunk Area ATA <sup>(3)</sup> 749 inches<sup>2</sup> TA = TA - TA , 749 – 3.80 = 745.26 Basic Tree Cost = TA , Unit Tree Cost = 745.26 x 45.46 = \$33,879.41 **Condition 70%, Species 90%, Location 70%,** 

#### I have chosen 70% as species location based on site rating, contribution and placement

(33,879+ 600) x 0.70 x 0.90 x 0.70 = \$15,205.42 = 15,200.00<sup>(2)</sup>

#### Appraised Value of Tree #1 is \$15,200.00

#### <u>Notes</u>

1) Since these values are based on 24" box trees I have used \$600 as my typical installed cost

2) Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.

#### <u>Trunk Formula Appraisal For Tree #2, Coast live oak</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
2	Coast live oak Quercus agrifolia	45.1"	50/60	55	Fair health and condition, <i>phytophthora</i> on low trunk, thin canopy, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition."

Coast live oak, Quercus agrifolia

#### Species rating 1 = 90%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA<sub>2</sub>) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>,

Basic Price \$172.73

Installed cost \$600.00 for a 2.20" diameter, TA 3.80 in  $^{^{2(1)}}$ 

Single trunked Coast live oak DBH 45.1"

TA = 1597.5 = 1598 sq inches, Adjusted Trunk Area ATA  $^{(3)}$  1353 inches<sup>2</sup> TA = TA - TA 1353 - 3.80 = 1349.2

Basic Tree Cost = TA \_\_\_ x Unit Tree Cost = 1349.2 x 45.46 = \$61,334.63

Condition 55%, Species 90%, Location 70%,

#### I have chosen 70% as species location based on site rating, contribution and placement

(61,334+ 600) x 0.55 x 0.90 x 0.70 = \$21,460.13 = 21,500.00<sup>(2)</sup>

#### Appraised Value of Tree #2 is \$21,500.00

#### <u>Notes</u>

1) Since these values are based on 24" box trees I have used \$600 as my typical installed cost

2) Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.

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#### <u>Trunk Formula Appraisal For Tree #3, Jacaranda</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup>Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
3	Jacaranda <i>Jacaranda mimosifloia</i>	14.3"	25/30	60	Fair health and condition, suppressed by #2, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA *Guide for Plant Appraisal, 9<sup>th</sup> Edition.*"

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Jacaranda, Jacaranda mimosifolia
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#### Species rating 4 = 30%, Nursery group 2. Northern California Subregion: Table 11

Replacement Trunk diameter 1.69", Replacement Trunk area (TA<sub>R</sub>) 2.24 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$77.04/in<sup>2</sup>, Basic Price \$172.73

Installed cost \$600.00 for a 1.69" diameter,  $TA_{R}^{2.24in^{211}}$ 

Single trunked jacaranda DBH 14.3" TA = 160 sq inches TA = TA - TA  $_{R}$  160 - 2.24 = 157.76 Basic Tree Cost = TA  $_{Incr}$  x Unit Tree Cost = 157.76 x 77.04 = \$12,153.83 **Condition 60%, Location 50%, Species 30%** 

I have chosen 50% as species location based on site rating, contribution and placement (12,153 + 600) x 0.60 x 0.50 x 0.30 = \$1,147.84 = \$1,150.00<sup>(2)</sup>

#### Appraised Value of Tree #3 is \$1,150.00

#### **Notes**

Since these values are based on 24" box trees I have used \$600 as my typical installed cost
 Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.
 TA changes to ATA at diameters of 31 inches and greater

1268 Poplar Ave, Sunnyvale July 11, 2019

#### <u>Trunk Formula Appraisal For Tree #4, Silk tree</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup>Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
4	Silk tree Albizia julibrissin	15.8"	20/20	55	Fair health and condition, poorly pruned, some decay, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA Guide for Plant Appraisal,  $9^{th}$  Edition."

#### Silk tree, Albizia julibrissin

#### Species rating 3 = 50%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>,

Basic Price \$172.73 Installed cost \$600.00 for a 2.20" diameter, TA  $_{_{\rm o}}$  3.80 in  $^{^{2(1)}}$ 

Single trunked silk tree DBH 15.8" TA = 196.06 = 196 sq inches TA = TA - TA  $_{_{R}}$  196 – 3.80 = 192.2 Basic Tree Cost = TA  $_{_{incr}}$  x Unit Tree Cost = 192.2 x 45.46 = \$8740.45 **Condition 55%, Location 50%, Species 50%** 

I have chosen 50% as species location based on site rating, contribution and placement  $(8740 + 600) \times 0.55 \times 0.50 \times 0.50 = $1,284.25 = $1,280.00^{(2)}$ 

#### Appraised Value of Tree #4 is \$1,280.00

#### **Notes**

Since these values are based on 24" box trees I have used \$600 as my typical installed cost
 Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.
 TA changes to ATA at diameters of 31 inches and greater

#### <u>Trunk Formula Appraisal For Tree #5, Coast live oak</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
5	Coast live oak Quercus agrifolia	28.6"	50/70	70	Good health and condition, joint owned tree, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition."

Coast live oak, Quercus agrifolia

#### Species rating 1 = 90%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA<sub>R</sub>) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>, Basic Price \$172.73 Installed cost \$600.00 for a 2.20" diameter, TA<sub>2</sub> 3.80 in<sup>2</sup>(1)

Single trunked oak DBH 28.6"

TA = 642.42 = 642 sq inches TA =  $7A - TA_{R} = 7A - TA_{R} = 642 - 3.80 = 638.2$ Basic Tree Cost =  $7A_{R} = x$  Unit Tree Cost =  $638.2 \times 45.46 = $29,012.57$ Condition 70%, Location 70%, Species 90%

I have chosen 70% as species location based on site rating, contribution and placement  $(29,012 + 600) \times 0.70 \times 0.70 \times 0.90 = $13,059.14 = $13,100.00^{(2)}$ 

#### Appraised Value of Tree #5 is \$13,100.00

#### **Notes**

Since these values are based on 24" box trees I have used \$600 as my typical installed cost
 Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.
 TA changes to ATA at diameters of 31 inches and greater

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#### <u>Trunk Formula Appraisal For Tree #6, Avocado</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup>Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
6	Avocado Persea americana	18.1"	20/20	30	Poor health and condition, drought stress, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition."

#### Avocado, Persea americana

#### Species rating 4 = 30%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>,

Basic Price \$172.73 Installed cost \$600.00 for a 2.20" diameter, TA  $_{\rm a}$  3.80 in  $^{^{\rm 2(1)}}$ 

Single trunked avocado DBH 18.1" TA = 257.30 = 257 sq inches TA = TA - TA  $_{R_{2}}$  257 - 3.80 = 253.2 Basic Tree Cost = TA  $_{Incr}$  x Unit Tree Cost = 253 x 45.46 = \$11,501.38 **Condition 30%, Location 50%, Species 30%** 

I have chosen 50% as species location based on site rating, contribution and placement  $(11,501 + 600) \times 0.30 \times 0.50 \times 0.30 = $544.55 = $540.00^{(2)}$ 

#### Appraised Value of Tree #6 is \$540.00

#### <u>Notes</u>

1) Since these values are based on 24" box trees I have used \$600 as my typical installed cost 2) Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.

#### <u>Trunk Formula Appraisal For Tree #7, Southern Magnolia</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
7	Southern magnolia Magnolia grandiflora	24.2"	40/25	50	Fair health and condition, some dead wood drought stress, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA *Guide for Plant Appraisal, 9<sup>th</sup> Edition.*"

#### Southern magnolia, Magnolia grandiflora

#### Species rating 1 = 90%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>,

Basic Price \$172.73 Installed cost \$600.00 for a 2.20" diameter, TA  $_{\rm a}$  3.80 in  $^{^{\rm 2(1)}}$ 

Single trunked magnolia DBH 24.2" TA = 459.96 = 460 sq inches TA = TA - TA  $_{R}$  460 - 3.80 = 456.2 Basic Tree Cost = TA  $_{Incr}$  x Unit Tree Cost = 456.2 x 45.46 = \$20,738.85 **Condition 50%, Location 50%, Species 90%** 

I have chosen 50% as species location based on site rating, contribution and placement  $(20,738+600) \times 0.50 \times 0.50 \times 0.90 = $4,801.05 = $4800.00^{(2)}$ 

#### Appraised Value of Tree #7 is \$4800.00

#### <u>Notes</u>

1) Since these values are based on 24" box trees I have used \$600 as my typical installed cost 2) Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.

1268 Poplar Ave, Sunnyvale July 11, 2019

#### <u>Trunk Formula Appraisal For Tree #8, Coast live oak</u> <u>Using CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition</u>

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
8	Coast live oak Quercus agrifolia	16.2"	40/30	40	Fair health, poor condition, decay in trunk, poor structure, <b>Regulated</b>

From WCISA Species Classification and Group Assignment

"A Regional Supplement to the CTLA Guide for Plant Appraisal, 9<sup>th</sup> Edition."

#### Coast live oak, Quercus agrifolia

#### Species rating 1 = 90%, Nursery group 3. Northern California Subregion: Table 11

Replacement Trunk diameter 2.20", Replacement Trunk area (TA) 3.80 in<sup>2</sup>; cost/trunk in<sup>2</sup>\$45.46/in<sup>2</sup>,

Basic Price \$172.73 Installed cost \$600.00 for a 2.20" diameter, TA  $_{_{\rm o}}$  3.80 in  $^{^{2(1)}}$ 

Single trunked coast live oak dbh 16.2" TA = 206.12 = 206 sq inches TA = TA - TA  $_{R_{2}}$  206 - 3.80 = 202.2 Basic Tree Cost = TA  $_{Incr}$  x Unit Tree Cost = 202.2 x 45.46 = \$9,192.00 Condition 40%, Location 50%, Species 90%

I have chosen 50% as species location based on site rating, contribution and placement  $(9,192 + 600) \times 0.40 \times 0.50 \times 0.90 = $1,760.00 = $1,760.00^{(2)}$ 

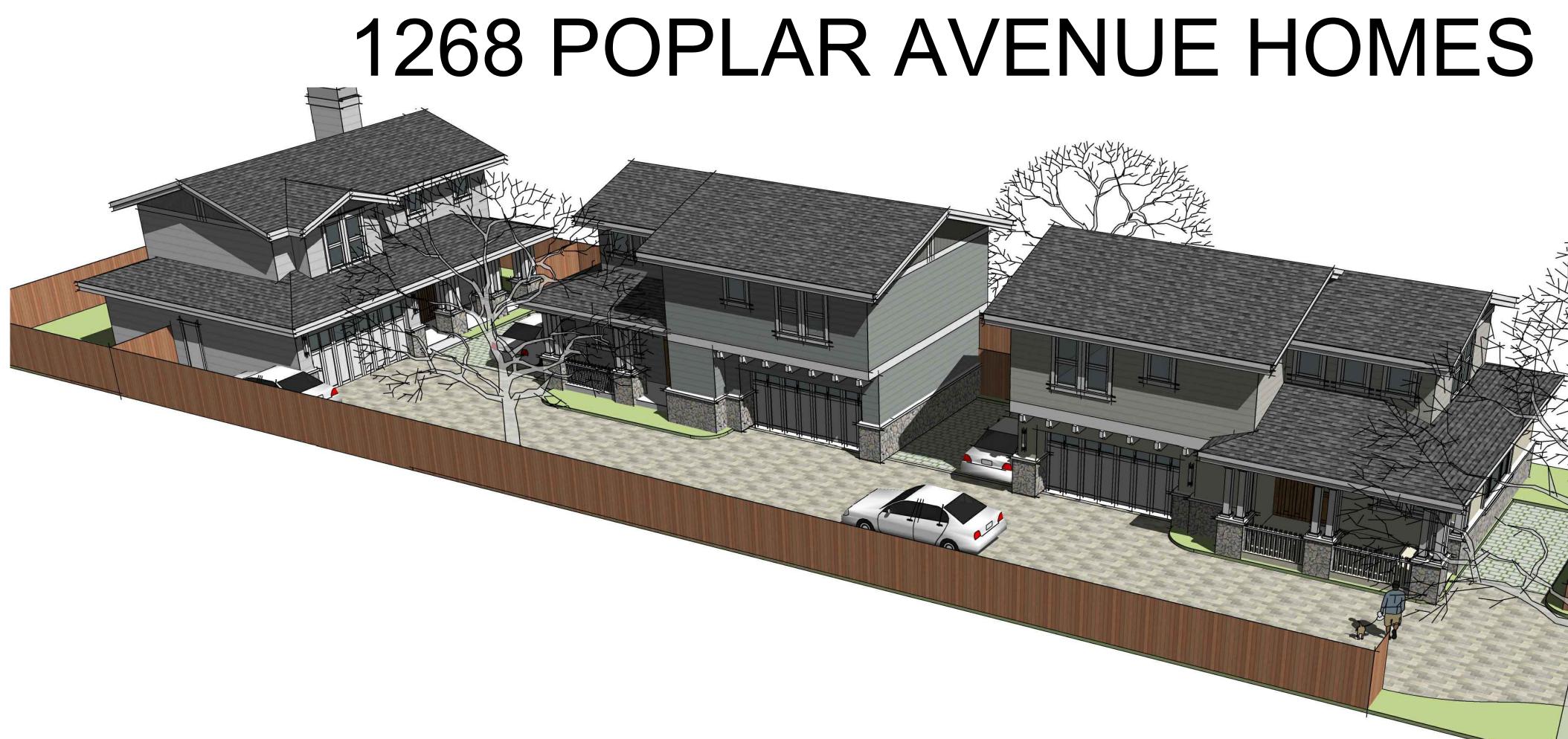
#### Appraised Value of Tree #8 is \$1760.00

#### <u>Notes</u>

1) Since these values are based on 24" box trees I have used \$600 as my typical installed cost

2) Values over \$5000 rounded to nearest \$100. Values below \$5000 rounded to nearest \$10.





## PROJECT DESCRIPTIONS

THIS PROJECT IS TO SUB-DIVIDE INTO THREE LOTS AND BUILD THREE TWO STORY SINGLE FAMILY HOMES

### DRAWING INDEX

ARCHITECTURAL				
A1.0	BIRD'S EYE VIEW & TITLE SHEET			
A1.1	SITE PLAN			
A1.2	OPEN SPACE AREA & ARBORIST REPORT			
A2.0	HOME A FLOOR PLANS			
A2.1	HOME B FLOOR PLANS			
42.2	HOME & ELOOD DLANC			

- A2.2 HOME C FLOOR PLANS A2.3 HOME A & B ROOF PLANS A2.4 HOME C ROOF PLANS A3.0 NORTH & STREET ELEVATIONS A3.1 HOME A ELEVATIONS
- A3.2 HOME B ELEVATIONS A3.3 HOME C ELEVATIONS

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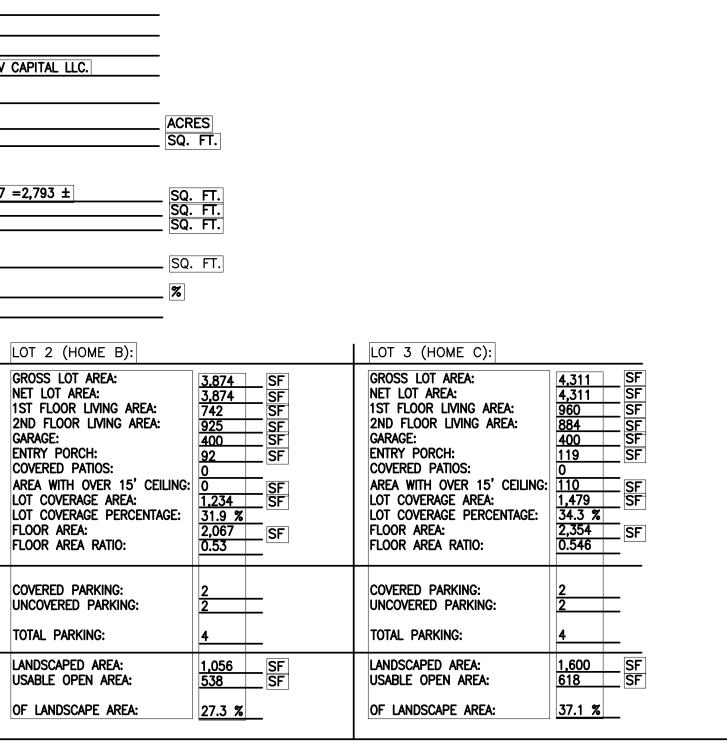
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C1 C2 C3 C4 C5 C6 C7 COVER SHEET STREET IMPROVEMENT PLAN GRADING PLAN STORM WATER CONTROL PLAN UTILITY PLAN GREEN BAY DETAILS TM 1 TENTATIVE MAP TM 2 TENTATIVE MAP

### PROJECT DATA

ADDRESS:	1268 POPLAR AVE.	]
	SUNNYVALE, CA	
APN #:	213-44-036	
NAME OF OWER:	SILICON VALLEY WZ	SV C
ZONE:	R2	
LOT SIZE:	0.278	
	60.0'X201'=12,060.	
EXISTING BUILDING AREA:		
1ST_FLO		-57 =
GARA		
AREA OF THIS IMPROVEME	NT:6,450	5
BUILDING COVERAGE:	33.7	]
F.A.R.:	0.538	8
		_
LOT 1 (HOME A):		L
GROSS LOT AREA:	3,935 SF	G
NET LOT AREA: 1ST FLOOR LIVING AREA:	3,875 SF 724 SF	N   1
2ND FLOOR LIVING AREA:	911 SF	2
GARAGE: ENTRY PORCH:	400 SF 202 SF	G
COVERED PATIOS:	202 SF	
AREA WITH OVER 15' CEILING:	0	A
LOT COVERAGE AREA: LOT COVERAGE PERCENTAGE:	1, <u>326</u> SF 34.2 %	
FLOOR AREA:	2,035 SF	
FLOOR AREA RATIO:	0.53	F
COVERED PARKING:	2	C
UNCOVERED PARKING:	2	
TOTAL PARKING:	4	T
LANDSCAPED AREA:	1,466 SF	
USABLE OPEN AREA:	500 SF	Ū
% OF LANDSCAPE AREA:	37.8 %	C



### APPLICABLE CODES

TYPE OF CONSTRUCTION: OCCUPANCY USE ZONE FIRE SPRINKLER SYSTEM

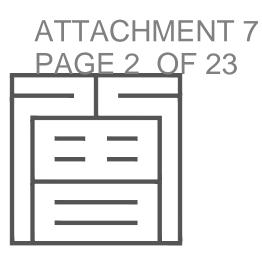


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TITLE 24 ENERGY STANDARD CA, 2016

CITY OF SUNNYVALE ZONING



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## VICINITY MAP



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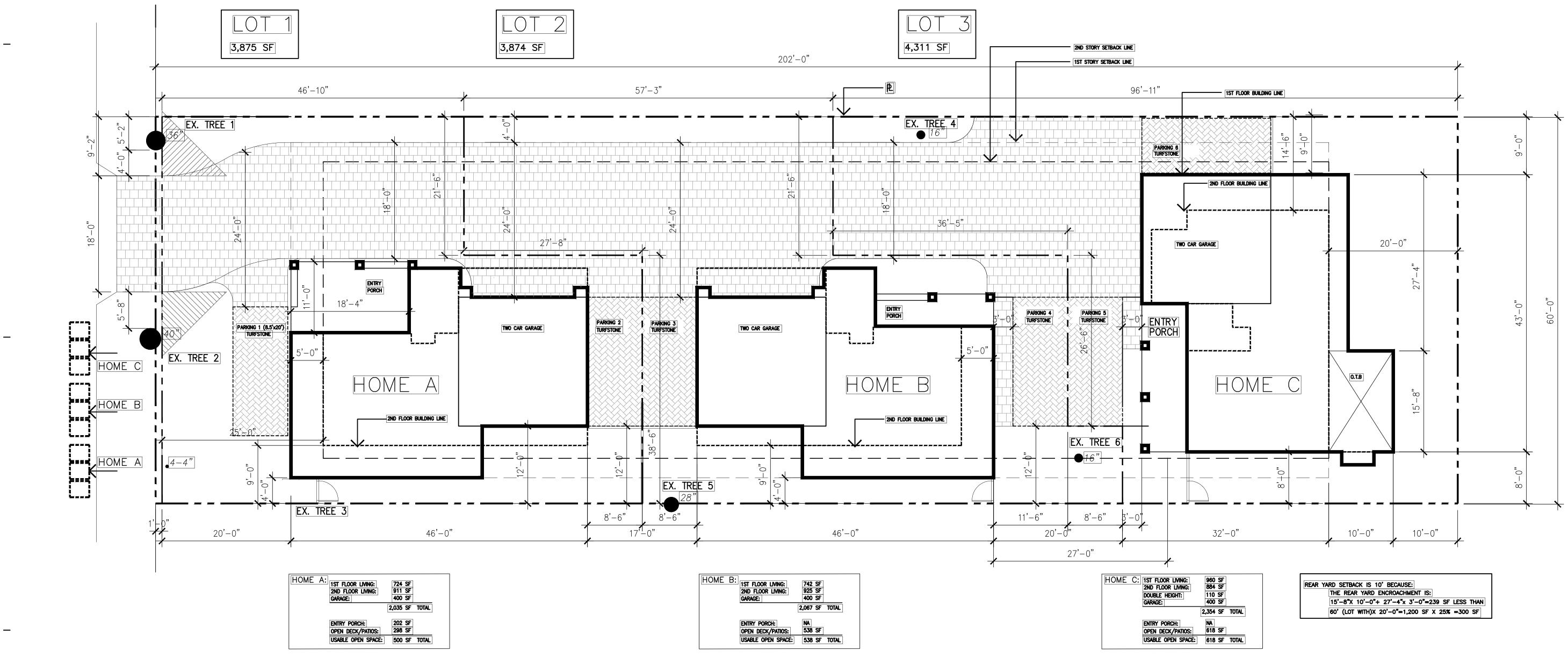
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BIRD'S EYE VIEW AND TITLE SHEET





# SITE PLAN

1/8"=1'-0"

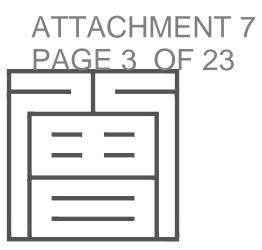
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NORTH



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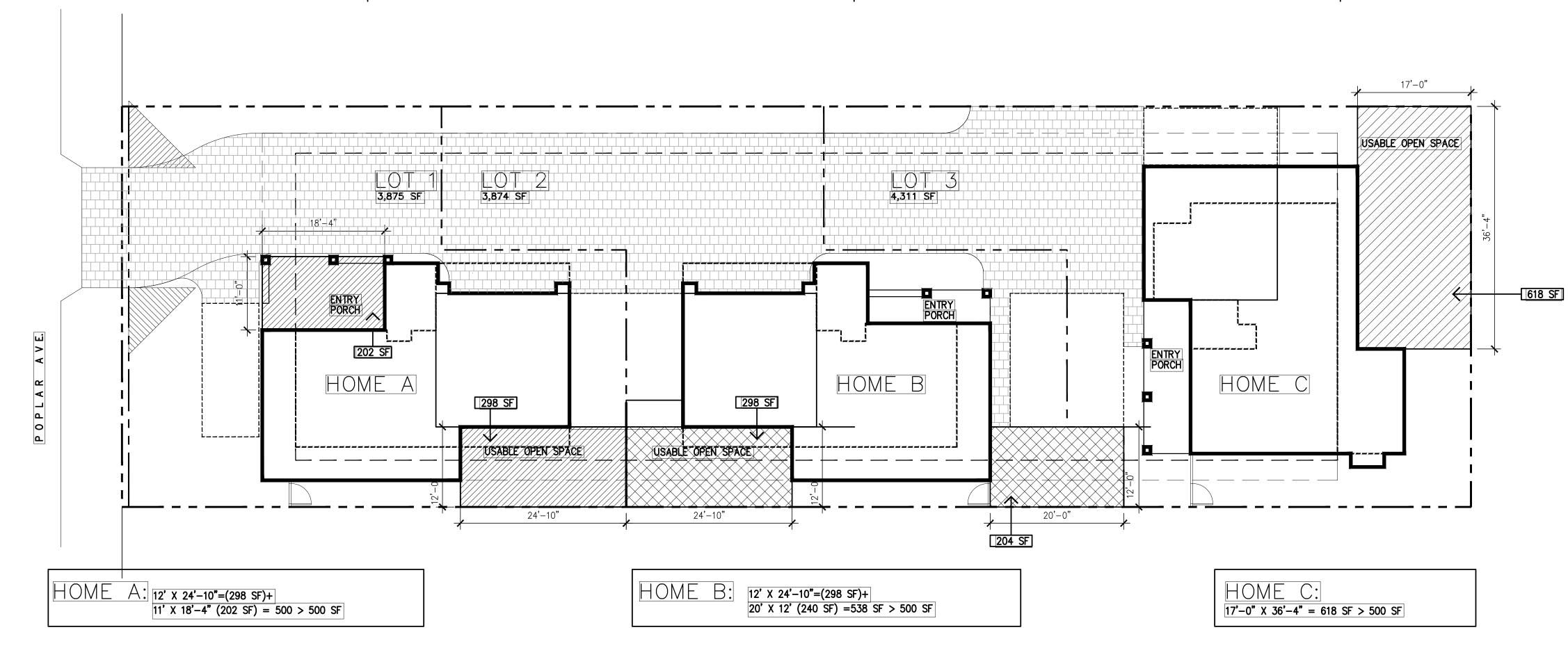
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		SITE PLAN

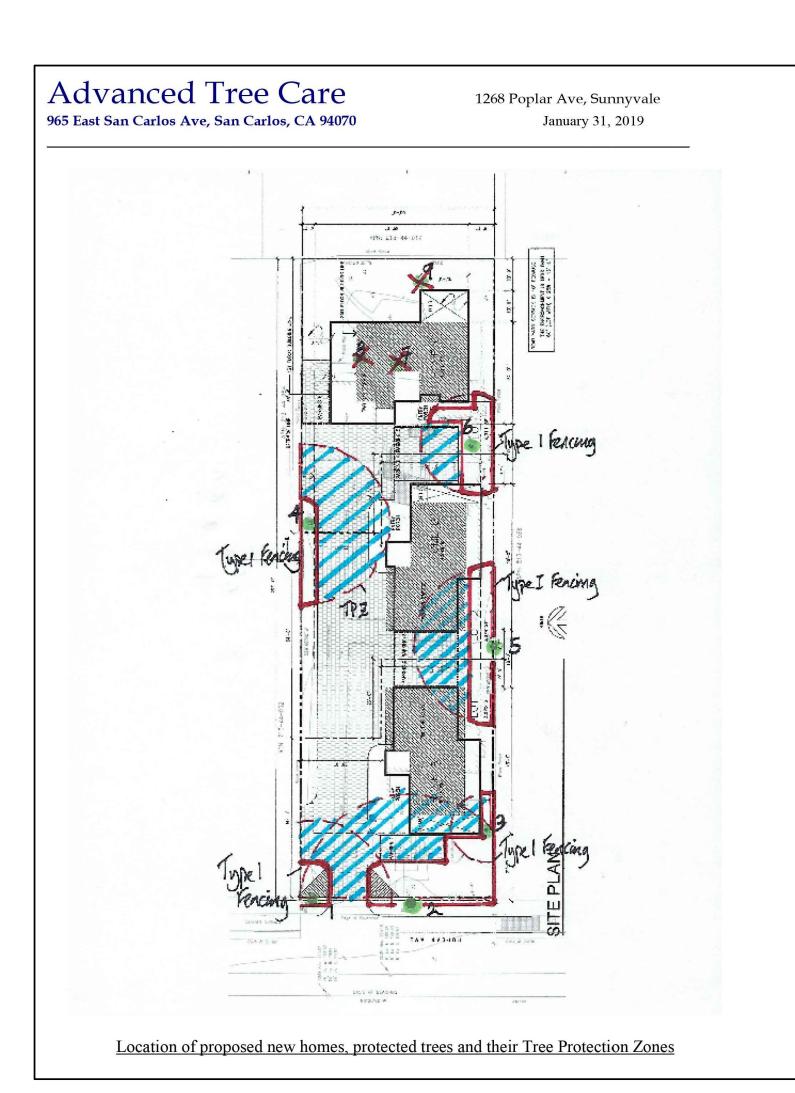




## SITE PLAN W/ USABLE OPEN SPACE CALCULATION 1"=10'-0"

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## Advanced Tree Care

965 East San Carlos Ave, San Carlos, CA 94070

1268 Poplar Ave, Sunnyvale January 31, 2019

Tree Survey					
Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Coast live oak Quercus agrifolia	31.2"	50/60	70	Healthy tree, not maintai lean, <b>Regulated</b>
2	Coast live oak <i>Quercus agrifolia</i>	45.1"	50/60	55	Fair health and condition, <i>phy</i> low trunk, thin canopy, <b>H</b>
3	Jacaranda Jacaranda mimosifloia	14.3"	25/30	60	Fair health and condition, sup #2, <b>Regulated</b>
4	Silk tree Albizia julibrissin	15.8"	20/20	55	Fair health and condition, po- some decay, <b>Regulated</b>
5	Coast live oak Quercus agrifolia	28.6"	50/70	70	Good health and condition tree, <b>Regulated</b>
6	Avocado Persea americana	18.1"	20/20	30	Poor health and condition stress, <b>Regulated</b>
7	Southern magnolia Magnolia grandiflora	24.2"	40/25	50	Fair health and condition, so drought stress, <b>Regulate</b>
8	Coast live oak Quercus agrifolia	16.2"	40/30	40	Fair health, poor condition trunk, poor structure, <b>Re</b>
9	Avocado Persea americana	10.9/8.2"	20/20	30	Poor health and condition, do poorly pruned, Not Regu

Summary:

The trees on the site are a variety of natives and non-natives.

There are 8 Regulated trees on the property in varying health and condition and 1 Non Regulated trees.

Tree #s 1, 2, 3, 4, 5 and 6 are all significant trees and should be protected during construction. Tree #s 7 and 8 are located in the middle of the proposed 3<sup>rd</sup> unit and will be removed. Tree # 9 is not significant and in poor health and condition. This tree should be removed.

## **EXISTING TREE LIST**



tained, slight

*hytophthora* on , **Regulated** 

suppressed by

oorly pruned,

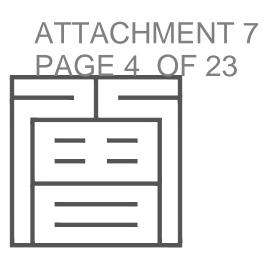
tion, joint owned

on, drought

some dead wood ted

lition, decay in **Regulated** 

, decay in trunk e**gulated** 



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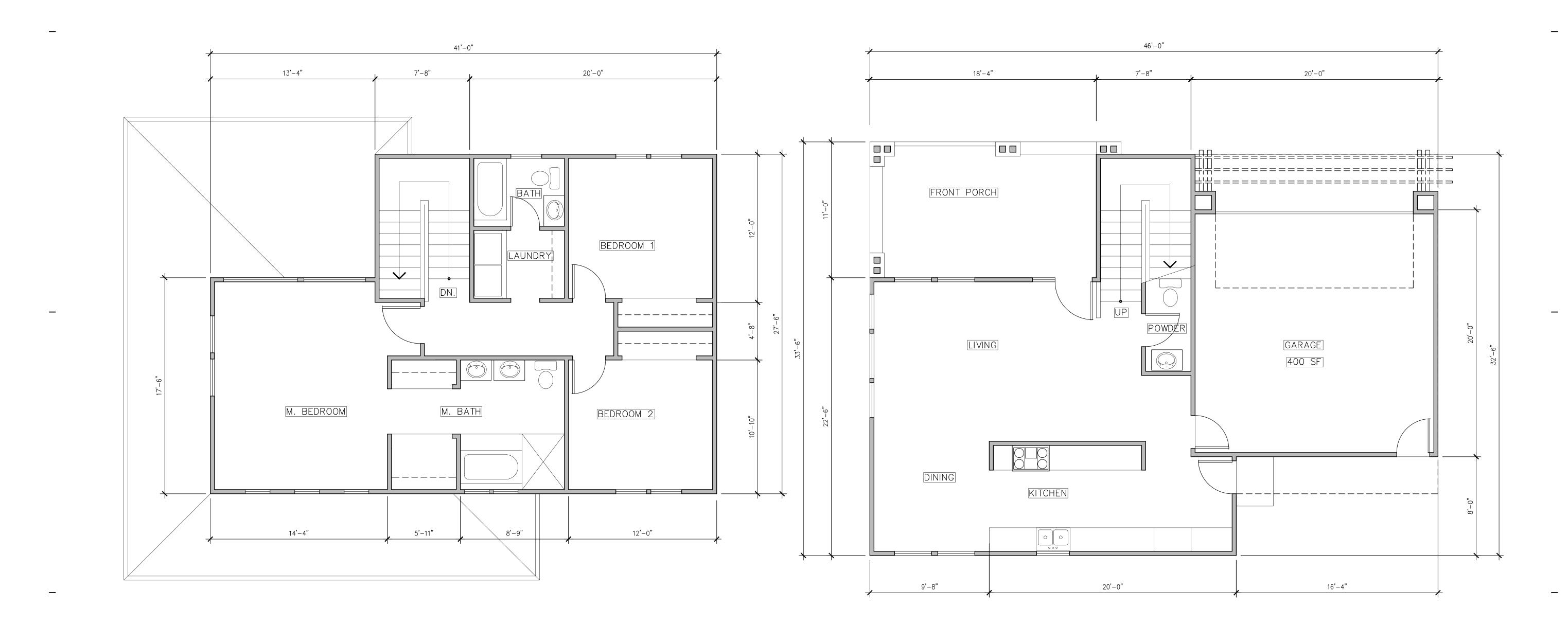
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open space area (





# HOME A 2ND FLOOR PLAN

1/ 4"= 1'-0"

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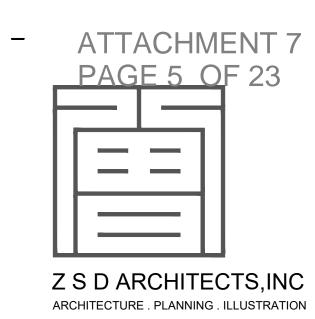
HOME A 1ST FLOOR PLAN

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1/ 4"= 1'-0"

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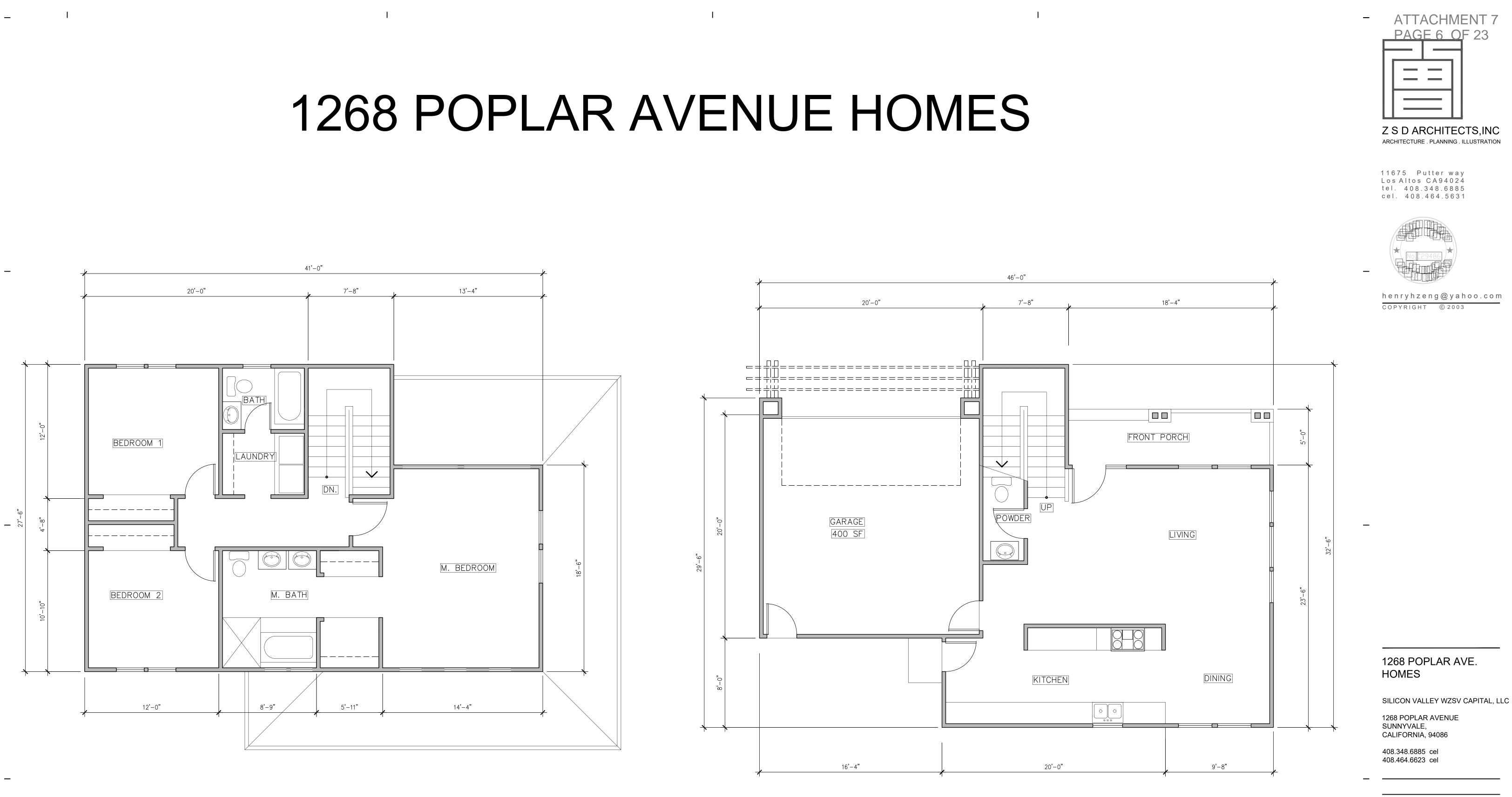
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## HOME B 2ND FLOOR PLAN

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# HOME B 1ST FLOOR PLAN

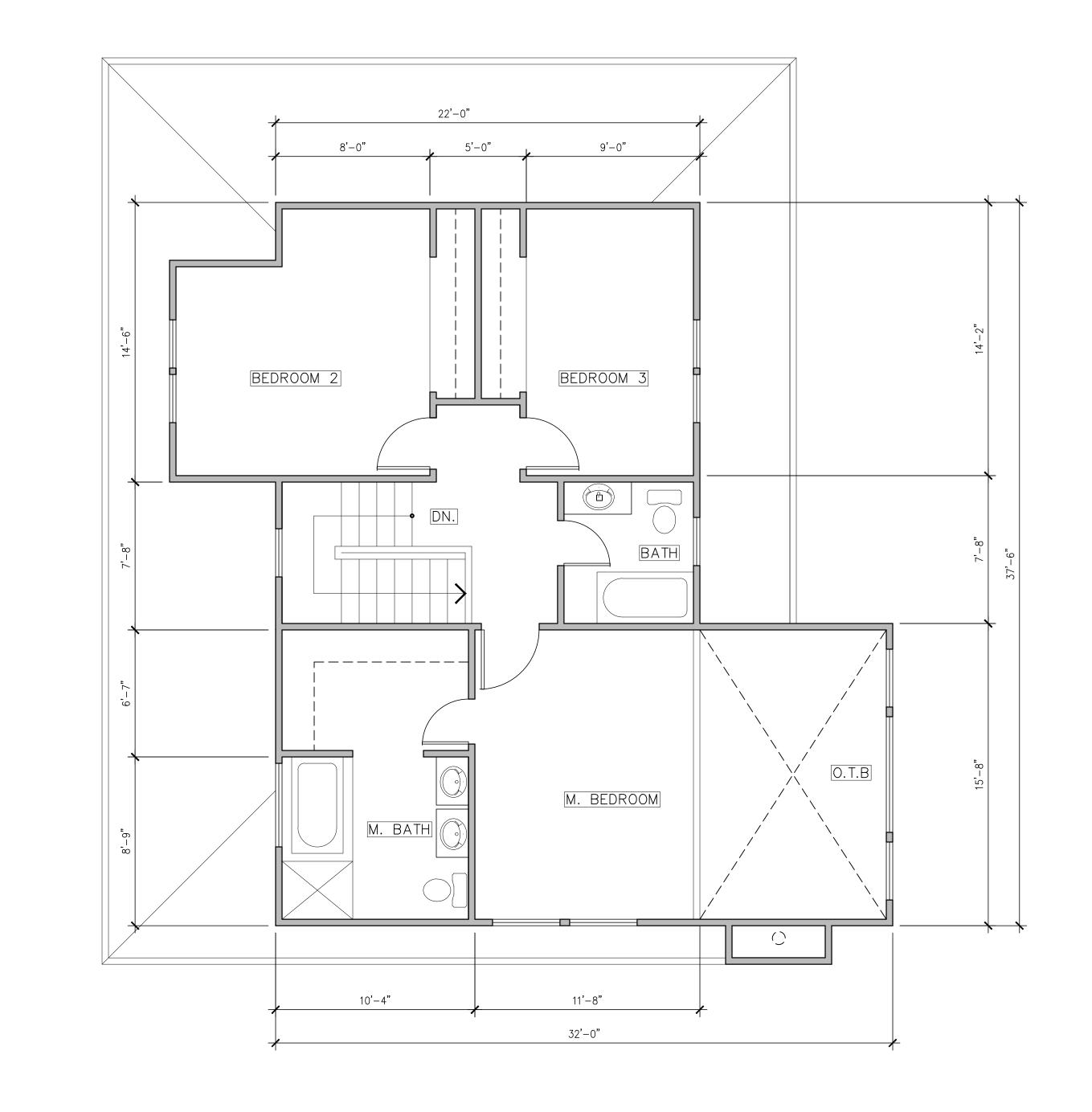
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# HOME C 2ND FLOOR PLAN

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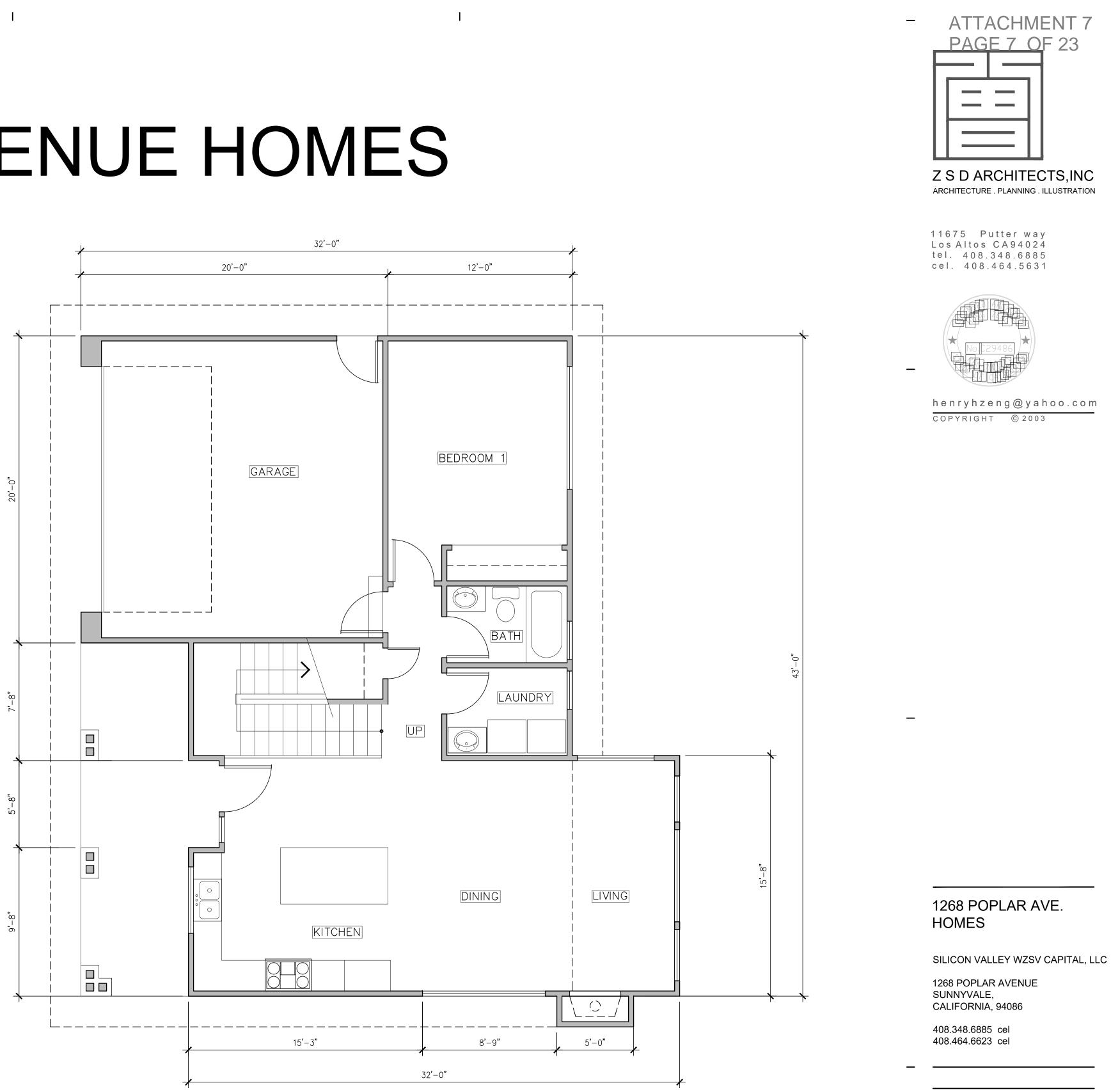
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HOME C 1ST FLOOR PLAN

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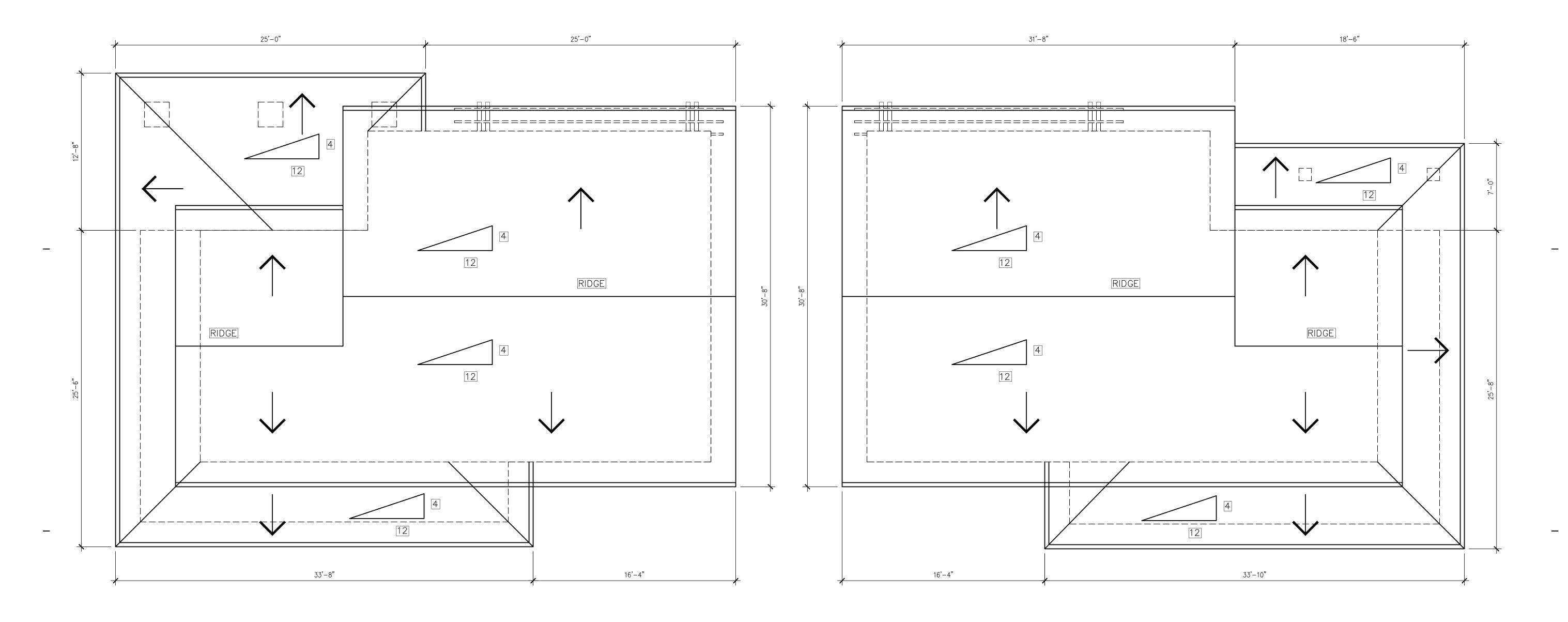


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HOME A ROOF PLAN

1/ 4"= 1'-0"

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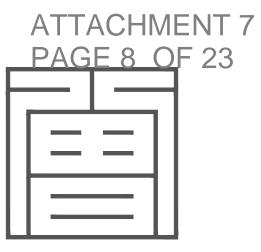
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HOME B ROOF PLAN

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1/ 4"= 1'-0"

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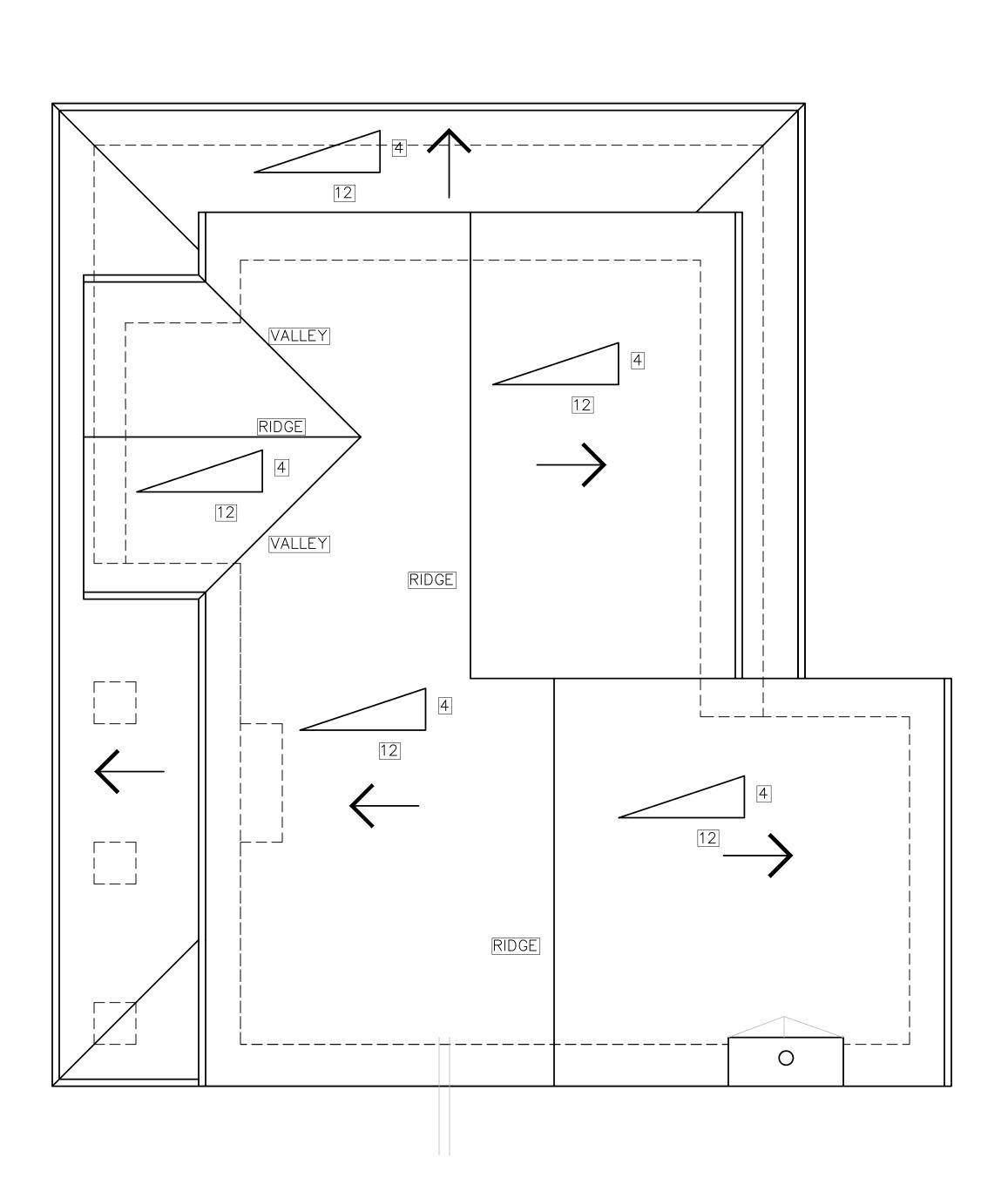
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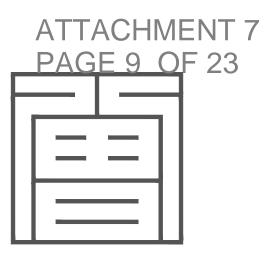
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## HOME C ROOF PLAN 1/ 4"= 1'-0"

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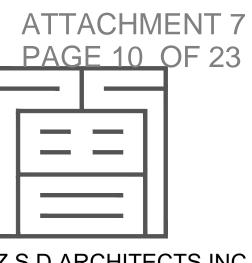
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1/ 8"= 1'-0"



# POPLAR AVE. STREET ELEVATION



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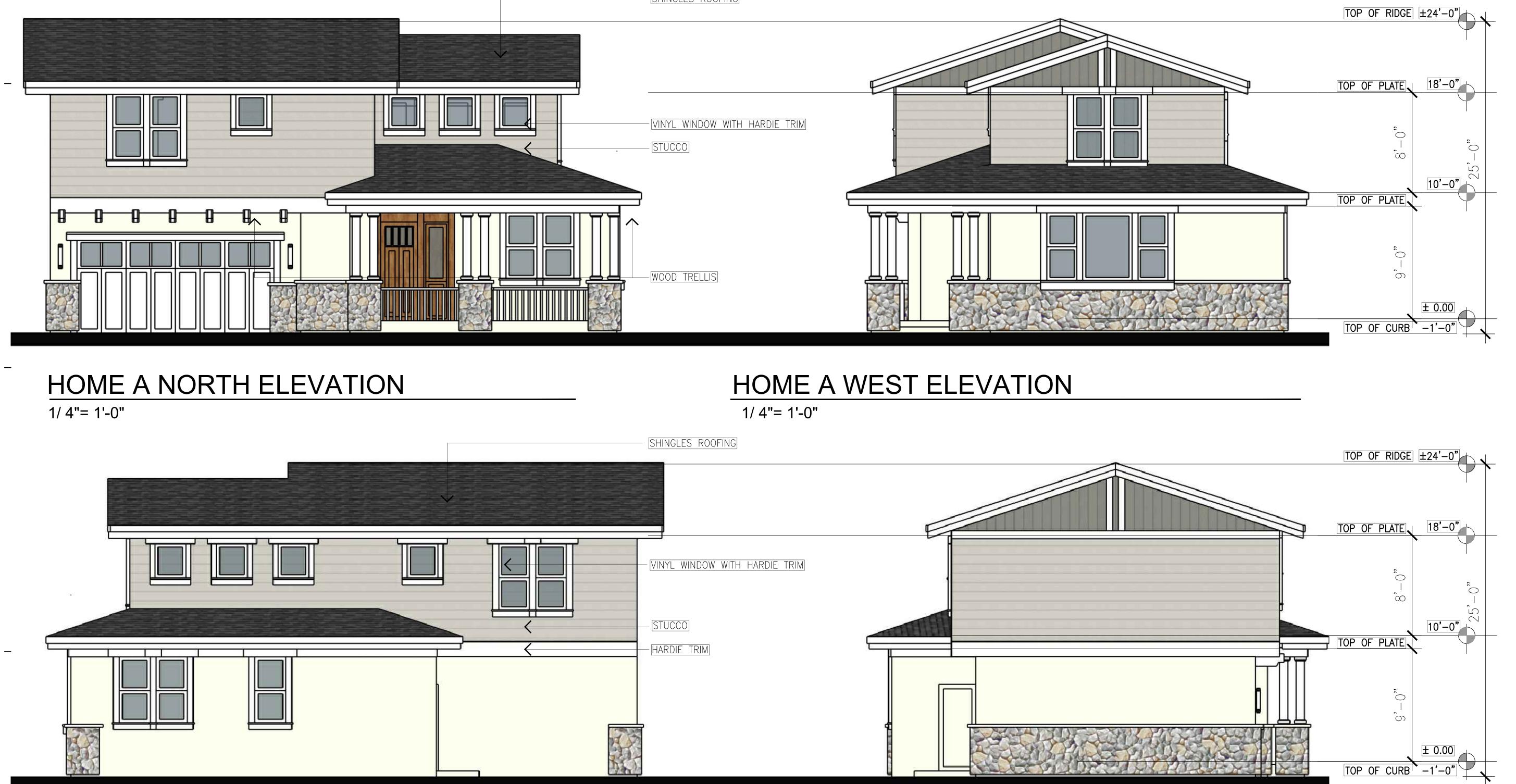
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NORTH ELEVATION & STREET ELEVATION





## HOME A SOUTH ELEVATION

1/ 4"= 1'-0"

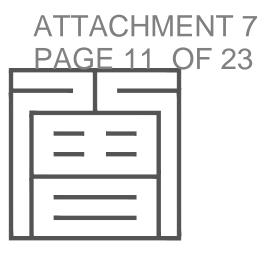
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SHINGLES ROOFING

# HOME A EAST ELEVATION

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1/ 4"= 1'-0"



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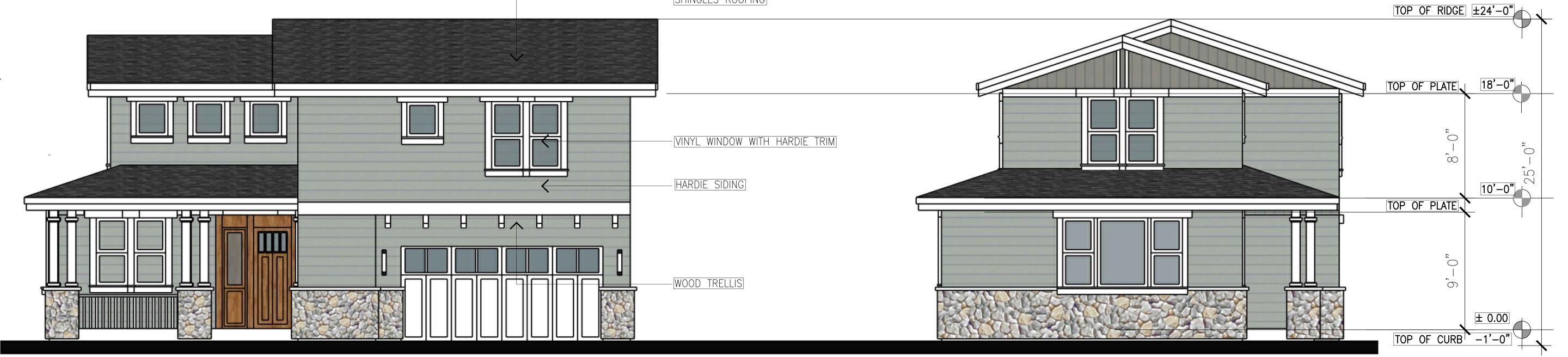
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	HOME	A ELEVATIONS





# HOME B NORTH ELEVATION

1/ 4"= 1'-0"

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## HOME B SOUTH ELEVATION

1/ 4"= 1'-0"

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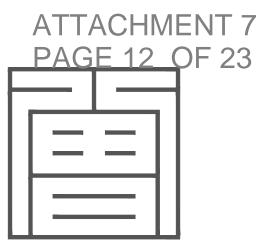
SHINGLES ROOFING

# HOME B EAST ELEVATION

SHINGLES ROOFING

# HOME B WEST ELEVATION

1/ 4"= 1'-0"



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	HOME	B ELEVATIONS





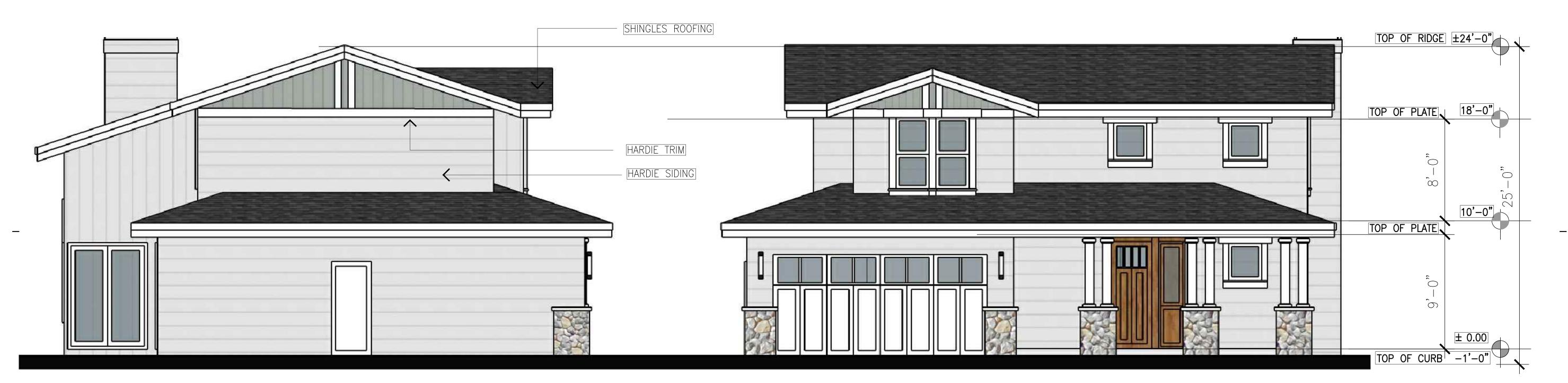
HOME C SOUTH ELEVATION

1/ 4"= 1'-0"

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# HOME C NORTH ELEVATION

# HOME C EAST ELEVATION

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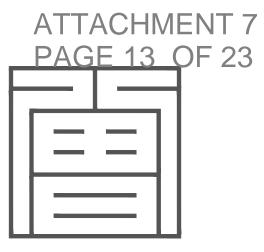
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# HOME C WEST ELEVATION

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### 1268 POPLAR AVE. HOMES

SILICON VALLEY WZSV CAPITAL, LLC

1268 POPLAR AVENUE SUNNYVALE, CALIFORNIA, 94086

408.348.6885 cel 408.464.6623 cel

06/22/2	019	PLANNING
05/18/2	019	PLANNING
05/01/2	019	PLANNING
03/25/2	019	PLANNING
03/18/2	019	PLANNING
02/12/2	019	PLANNING
Rev. D	ate	Issue
Copyright_2003_ZENG'S_Df Plans_and/or_Specifications ZD's client_and_may_not_be_us form_without_the_express	are intende	<del>copied, or reproduced in any</del>
Project No:		2018-06
Date:		03-10-2019
Scale:		1/4"=1'-0"
HO	ME C	ELEVATIONS

A3.3

#### CONSTRUCTION GENERAL NOTES:

- ENCROACHMENT PERMITS: Obtain an encroachment permit from Public Works Department for all off-site improvements shown on this plan. See web-site link herein for permit application details.
- http://sunnyvale.ca.gov/civicax/filebank/blobdload.aspx?BlobID=23558 STANDARD DETAILS AND CONSTRUCTION GUIDELINES: All work shall be performed in accordance with the City's latest Standard Details and Specifications, Design Standards and, Design and Construction Guidelines, unless otherwise approved by the City. See web-site link herein.
- http://sunnyvale.ca.gov/business/planning/permit/standards.htm NOTIFICATIONS: Notify City Public Works Inspector at (408) 730-7415 before 4 pm a minimum of 24 hours in advance of starting work and for each inspection request, including the final inspection. Street light & traffic signal inspection shall require a minimum of 72 hours.
- UTILITY LOCATION VERIFICATION: It is the contractor's responsibility to verify the location of all existing utilities with the appropriate agencies.
- UNDERGROUND SERVICE ALERT NOTIFICATION: Contractor shall contact Underground Service Alert (USA) at (800) 227-2600 or 811 at least 48 hours prior to starting work. Contractor shall retain documentation to verify USA contact. TRAFFIC CONTROL: Traffic control shall be per City-approved traffic control plan. Short term and/or long term traffic control plans are required to be submitted and approved by the Division of Transportation and Traffic prior to the start of any work impacting the public right-of-way. Traffic control plans shall be submitted at the same time as the encroachment permit application. Traffic control plans must be prepared and stamped by person trained/certified to prepare traffic control plans and to comply with California Manual on Uniform Traffic Control Devices (California MUTCD), latest edition A completed traffic control check list shall also be submitted with the encroachment
- permit application. ELEVATION DATUM: All elevations shown are based upon City of Sunnyvale datum,
- unless otherwise noted on the plans. SURVEY MONUMENT PRESERVATION and RESTORATION: All standard street monuments, lot corner pipes, and other permanent monuments disturbed during the process of construction shall be replaced and a record of survey or corner record per section 8771 of the professional land surveyor's act filed before acceptance of the improvements by the City. Copies of any record of survey or corner records shall be submitted to the City.
- 9. ERRORS and OMISSIONS: Approval of plans does not relieve the contractor/owner of the responsibility for the correction of mistakes, errors or omissions.
- 10. RECORD DRAWINGS: Contractor shall keep up-to-date a complete record set of prints of the contract drawings showing every change from the original drawings made during the course of construction including exact location, sizes, materials and equipment. A complete set of corrected and completed record drawing prints (as-builts) shall be submitted to the City Public Works Inspector prior to final acceptance for review and approval by the City.
- 11. UTILITY INSTALLATION COORDINATION: Contractor shall coordinate utility information shown on the plans with utility owners, including but not limited to PG&E, water, cable, telephone and/or joint trench facilities, for layout and details of installation, relocation, adjustment and abandonment.
- 12. WATER SERVICE INSTALLATION: Construction of water services shall be per section 306 and per City of Sunnyvale Standard Details. All wet (live) taps 12" and smaller shall be performed by the City and require a minimum 48 hours written advance notification to the City Public Works Inspector. All existing valve operations shall be operated only by the City.
- 13. WATER METERS and METER BOXES: Water meters and meter boxes shall be furnished and installed by the City upon acceptance of a water service lateral line, and the property owner has assumed responsibility for the connection on the discharge side of the meter.
- 14. BACKFLOW PREVENTION DEVICES: Backflow prevention devices shall be required on all non-single family residences for irrigation, domestic, and fire lines, per City standard detail drawings and as shown on City approved plans. A backflow prevention enclosure may be required for backflow devices from 3/4" to 2". No meter shall be turned on until there is full compliance with the cross-connection control program
- 15. WATER SERVICE SADDLES, VALVES, and PIPE: The contractor is responsible for furnishing the service saddle or tapping sleeve and tapping gate valve. A list of water valves and appurtenances can be found in the City standard specifications, section 208-7. Water main ductile iron pipe appurtenances can be found in section 207-9.2.1.2 of the City specifications.
- 16. WATER VALVE LOCATION MARKING: The location of all valves in the street shall be marked with an incised arrow on the top of the nearest curb pointing to the gate valve and the distance in feet to the valve marked with incised roman numerals on the face of the curb, all in 2" high characters.
- 17. WATER SYSTEM DISINFECTION: New water pipelines, valves, fittings, and appurtenances shall be disinfected, tested by the contractor, and shall pass all bacteriological and other water quality requirements before being put into service. Contractor shall supply all materials, labor and equipment required to disinfect and test the pipelines and appurtenances. Water main disinfecting and flushing shall be per section 306-1.4.7 of the City standard specifications, and shall be witnessed by the City inspector.
- 18. WATER PRESSURE: Water pressure test shall be performed per section 306 of the City standard specifications. 19. WATER SERVICE SHUTDOWNS: It is the contractor's responsibility to notify affected
- residents and businesses 48 hours in writing prior to the start of a water main shutdown. 32. TRENCH BACKFILL: Typical trench backfill shall be per applicable City standard A water main shutdown will be done by City crews only. 20. WET UTILITY INSTALLATION: Wet utilities (sanitary, storm, water) pipe materials and
- appurtenances shall be per section 207 of the City of Sunnyvale standard specifications and in accordance with the latest City Design Standards. All water mains north of the CALTRAIN railroad tracks shall be AWWA C-900 Class 200 PVC or be poly wrapped and taped ductile iron pipe
- All work for storm and sanitary sewer installation shall begin at the downstream connection point. This will allow for any necessary adjustments to be made prior to the installation of the entire line.
- If the contractor fails to begin at the downstream connection point and work upstream, contractor shall proceed at contractor's own risk and be responsible for any adjustments necessary. Contractor shall verify location of sanitary sewer lateral with owner prior to construction. The re-use of any existing City utility service lines and appurtenances is subject to City's review and approval. Contractor shall expose the existing facilities during construction for City's evaluation or provide video footage of the existing pipe condition. Contractor shall replace any deficient facilities as deemed necessary by City Public Works Inspector.
- 21. SEWER AND STORM DRAIN ELEVATION DATA: Contractor shall verify all existing invert elevations for storm drain and sanitary sewer construction prior to commencement of any work
- 22. UTILITY PROTECTION: Contractor to protect all existing utilities and service laterals from damage due to contractor's operations. Any and all utility service laterals that are damaged during construction shall be repaired or replaced to the satisfaction of the City Public Works Inspector
- 23. UTILITY LOCATION POTHOLING: It is the contractor's responsibility to pothole and/or uncover and expose existing utilities at crossing locations. Backfill, compaction, and pavement repair of potholed locations shall be done to the satisfaction of the City Public Works Inspector
- 24. UTILITY CROSSINGS: The existing utilities crossing the new pipeline are shown according to the best available information. The contractor shall verify the type, size, location and depth of all the utility crossings (both mains and laterals) are correct as shown. No guarantee is made that all existing utilities (both mains and laterals) are shown.
- 25. UTILITY CROSSING SEPARATION: Contractor shall maintain a minimum 12 inch vertical and 4 feet horizontal clearance to other existing utilities. Five feet horizontal clearance must be maintained when working near natural gas lines. Where 12 inch vertical minimum clearances cannot be maintained, use the following:
- a. Install concrete saddle either on the upper or lower pipe in accordance with applicable standard details and as approved by the City; and

- The two joints on either side of new pipeline are to be restrained. This method applies to the new pipeline crossing below an existing water line or above an existing <u>sewer: and/or</u> c. Place new pipeline joints at a minimum 9 feet from the centerline of the existing pipe.
- The two joints on either side of new pipeline are to be restrained. This method applies to the new pipeline crossing above an existing water line or below an existing <u>sewer.</u> d. Blanket protection for pipes or encasement for pipes may be required as directed
- and approved by the City Engineer.
- 26. UTILITY VAULTS and PULLBOXES: All existing utility vaults and/or pull boxes that are loose and/or broken shall be re-secured and/or replaced to the City Public Works Inspector's satisfaction. All existing and new utility structures shall be adjusted to finish grade.
- VEHICLE and PEDESTRIAN ACCESS: Vehicle and pedestrian access in accordance with Americans with Disabilities Act (ADA) standards must be provided at all times to all abutting properties, except as approved by the City Public Works Inspector. 48 hours written notice must be given to the affected property owner(s) when access is affected.
- 28. TEMPORARY TRENCH PAVING: Trenches deemed by the inspector to be correctly backfilled but not permanently paved may be temporarily paved with cutback asphalt until the next working day.
- Trenches deemed by the inspector to be correctly backfilled but not permanently paved may be temporarily paved with high-performance patching material until permanent <u>paving is installed</u>. Due to the instability of cutback asphalt, it is not allowed as interim paving while waiting for permanent paving unless permanent paving is done the following workday.
- 29. FINISH PAVING STANDARDS: All paving temporary or permanent must installed in a manner that provides an acceptable safe passageway for traffic and pedestrians (including ADA).
- Asphalt concrete shall conform to section 203 of the City standard details. Asphalt concrete shall not be placed when the atmospheric temperature is below 10°c (50°f) and falling or during unsuitable weather, as determined by the inspector.
- 30. CRACK SEALING: Contractor shall hot—apply crack seal emulsion to all cracks in pavement prior to any slurry seal application.
- **TRENCH PLATES:** Steel plates may be used per the City Public Works Inspector's approval and when in compliance with CALTRANS specification TR-0157, which addresses required plate thicknesses, edging design, placement, and anti-skid surfacing.
- numbers 16a-1, 16a-2, 16a-3, 16a-4, 16a-5, and 16a-6. For CDF or CLSM, the 28-day compressive strength shall be a minimum of 50 psi and a maximum of 100 psi Typical trench backfill for water shall be sand 6" below the pipe up to the spring line of the pipe for bedding. Class 2 AB shall used for the remainder. Class 2 AB to be dampened and compacted with a rammer or vibration plate to 95% compaction every 12" lift.
- 33. WARRANTY PERIOD: The contractor is responsible for maintenance and repairs to trenches and pavement for a one-year warranty period after acceptance of the work by the City. One year after acceptance, the City will make a final inspection. If repairs have to be made, the contractor or developer will be notified to make repairs.
- 34. GRADE BREAK DETAILS: Grade breaks on curbs and sidewalks to be rounded off (while concrete finishing work is in progress) in form work and finished surfacing.
- 35. TRAFFIC STRIPING: Contractor shall replace existing curb markings and paint (or thermoplastic) after installation of new curb and gutter. Contractor shall replace existing traffic striping/legends and detector loops that are disturbed by construction operations to the City inspector's satisfaction. All pavement

markings are to be thermoplastic material.

- 36. JOBSITE MANAGEMENT: Contractor is required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
- and the public right—of—way/street must be kept clear and free of debris. \$7. EMERGENCY CONTACT INFO: The contractor shall provide 24-hour/7-day contact
- information to the City inspector.
- 38. STORMWATER BEST MANAGEMENT PRACTICES: Contractor shall familiarize himself with the State of California best management practices handbook for applicable stormwater runoff control measures and employ its provisions throughout all construction.
- **39. STENCILS FOR CATCHBASINS and STORMWATER INLETS:** Contractor shall stencil all new or repaired catchbasins and stormdrain inlets with the non-point-source 'No Dumping" message as shown on the City-approved plans. The stencil is available from the City's Environmental Services Department at (408) 730-7260.
- 40. **REMOVAL OF USA MARKINGS**: All underground service alert (USA) markings on concrete and asphaltic pavement or other structures shall be removed when they are no longer required. Acceptable means of removal include sand blasting or high pressure water blasting.

# **DEVELOPMENT PLANS FOR** 1268 POPLAR AVE. HOMES 1268 POPLAR AVE. CITY OF SUNNYVALE, CALIFORNIA

b. Place new pipeline joints at a minimum 5 feet from the centerline of the existing pipe.

All construction materials, equipment, storage, stockpiling, and staging must be done on-site

#### STREET LIGHTING NOTES

- MATERIALS LIST SUBMISSION: A list of the materials proposed by the contractor to be used on this project for street lighting including, but not limited to, luminaires, poles, conduit, conductors, pull boxes and service equipment shall be submitted to the City's Traffic and Transportation Division for review prior to the start of work. The list shall include the manufacturer's specifications for all applicable products. ELECTRICAL SERVICES:
- a. Install a 240v service next to each PG&E secondary box used for streetlight service, unless specified otherwise.
- b. All electric service points shown on these plans were determined by PG&E and are tentative and shown for reference only. The actual service point(s) must be confirmed with PG&E prior to construction of electrical work. All additional costs incurred for work modifications required due to final service point locations/adjustment shall be borne by the permittee. If the final service point location(s) differ from the tentative service point location(s) as shown on the plans, the permittee shall revise the plans and notify the Public Works inspector of any changes and shall obtain City approval of changes prior to installation of electrical work.
- EQUIPMENT SALVAGE: All equipment to be salvaged shall be delivered to the City of Sunnyvale corporation yard at 221 Commercial Street in Sunnyvale. Contact City Public Works Inspector prior to delivery for further instructions.
- OVERHEAD LINE CLEARANCE: Permittee is responsible for providing clearance for electroliers and traffic signal standards from overhead utility lines. Clearance must be a minimum of 10 feet from high voltage lines, 3 feet from secondary lines, and 1 foot from communication lines. No electrolier or traffic signal standard shall be installed until proper clearance is obtained. All expenses associated with providing these clearances must be borne by the developer.
- 5. ELECTROLIER LOCATIONS: All electrolier locations shall be staked in the field by the permittee.
- ELECTROLIER SPECIFICATIONS: All new electroliers shall be City of Sunnyvale standard per City standard specifications (section 209) and details (numbers 1d through
- **PULLBOXES:** All new pull boxes shall be #3-1/2 unless noted otherwise.
- GROUNDING CONDUCTOR(S): A continuous #8 AWG grounding conductor shall be installed for each new luminaire on new or re-wired electroliers. The grounding conductor shall be terminated in the luminaire housing and connected to the grounding wire in base of the pole.
- 9. POLE REPLACEMENT SPECIFICATIONS: Any existing "San Jose Octoflutes" (metal poles) shall be replaced with City of Sunnyvale standard Marbelite poles.
- 10. TESTING: Contractor shall test all street lights before and after the project to ensure all work as expected

**RECYCLED WATER NOTES** 

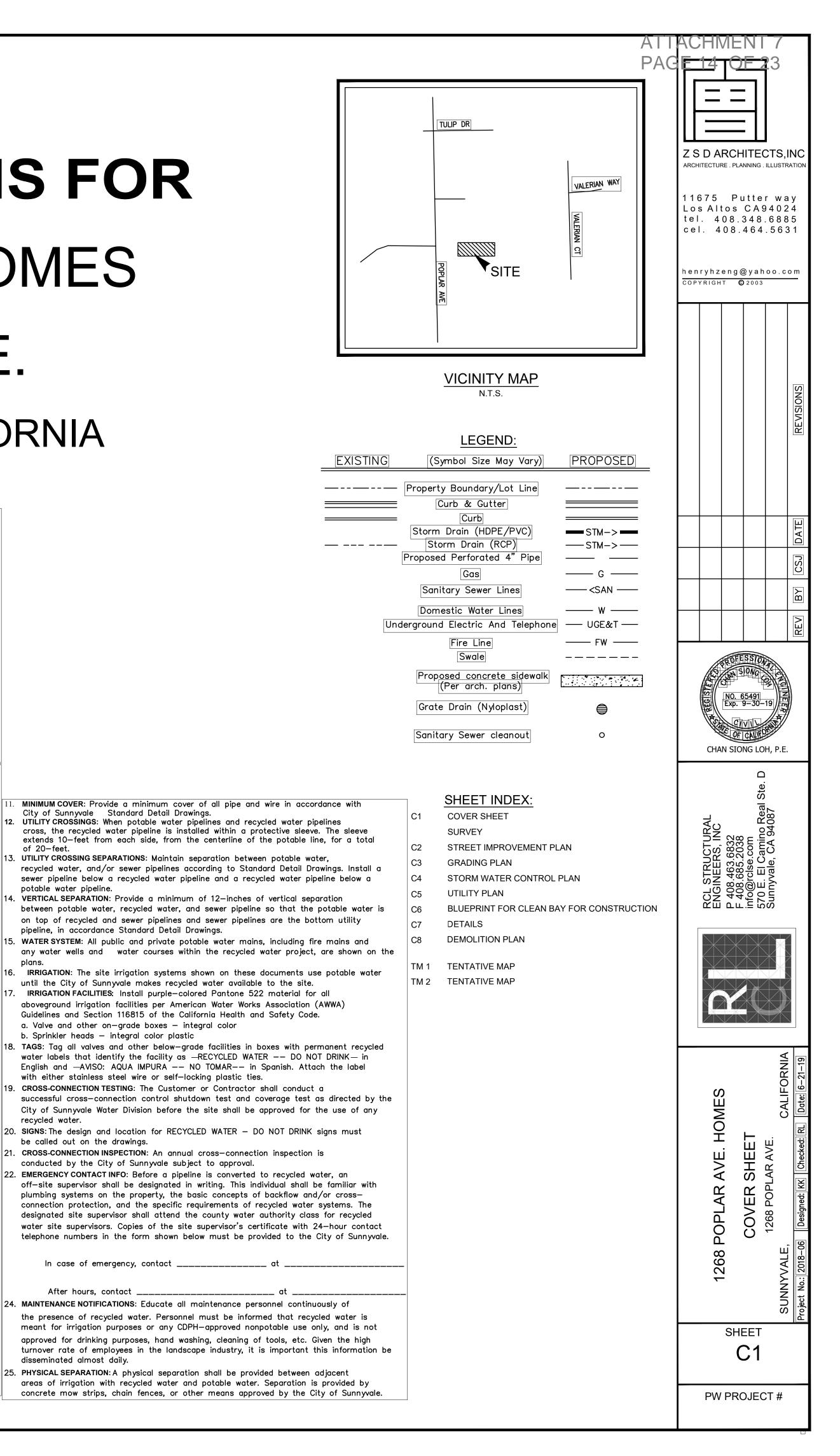
- NOTIFICATIONS: Forty-eight (48) hours before starting any excavation for off-site improvements, the CONTRACTOR must notify the City of Sunnyvale, Environmental Services Department, Reclaimed Water Use Section at telephone number (408) 730-7900
- **CONSTRUCTION GUIELINES:** All work is done in accordance with City of Sunnyvale Rules and Regulations for Reclaimed Water Use and Distribution within the City of Sunnyvale.
- SHIELDING: All public facilities such as comfort stations, drinking fountains, outdoor eating areas, etc., must be prevented or shielded from spray and/or misting by recycled water.
- **OVERSPRAY PREVENTION**: No ponding, runoff, misting or overspray is permitted. Relocate or adjust all irrigation heads to prevent overspraying onto sidewalks, streets, private lots, and nondesignated use areas.
- NON-DESIGNATED USE: Non-designated use areas shall be protected from contact with recycled water, whether by windblown spray or by direct application through irrigation or other use. Lack of prevention, whether by design, construction practice, or system operation, is strictly prohibited.
- 6. HOSE BIBS: Hose bibs are prohibited on recycled water systems.
- CROSS-CONNECTIONS: Off-site cross-connection between recycled water pipelines and potable water pipelines is strictly prohibited.
- QUICK COUPLING VALVES: Quick coupling valves used in recycled water systems conform to the following:
- a. Quick coupling valves can be 1-inch or 3/4-inch nominal size Nelson #7645 with brass construction and a normal working pressure of 150 psi or equal. b. The valve cover must be permanently attached to the quick coupling valves. The

valve cover is rubber or vinyl colored purple. c. Locking covers are required.

- **PIPE SUBSTITUTIONS:** No substitution of pipe materials from those specified is allowed without prior approval by the City of Sunnyvale Public Works Department.
- 10. STENCILS: Install approved, non-metallic backed and stenciled warning tape over all pressure recycled water pipelines. Stencil and color code (purple Pantone 522) all irrigation pipe. Orient the stenciling to the top of the trench.

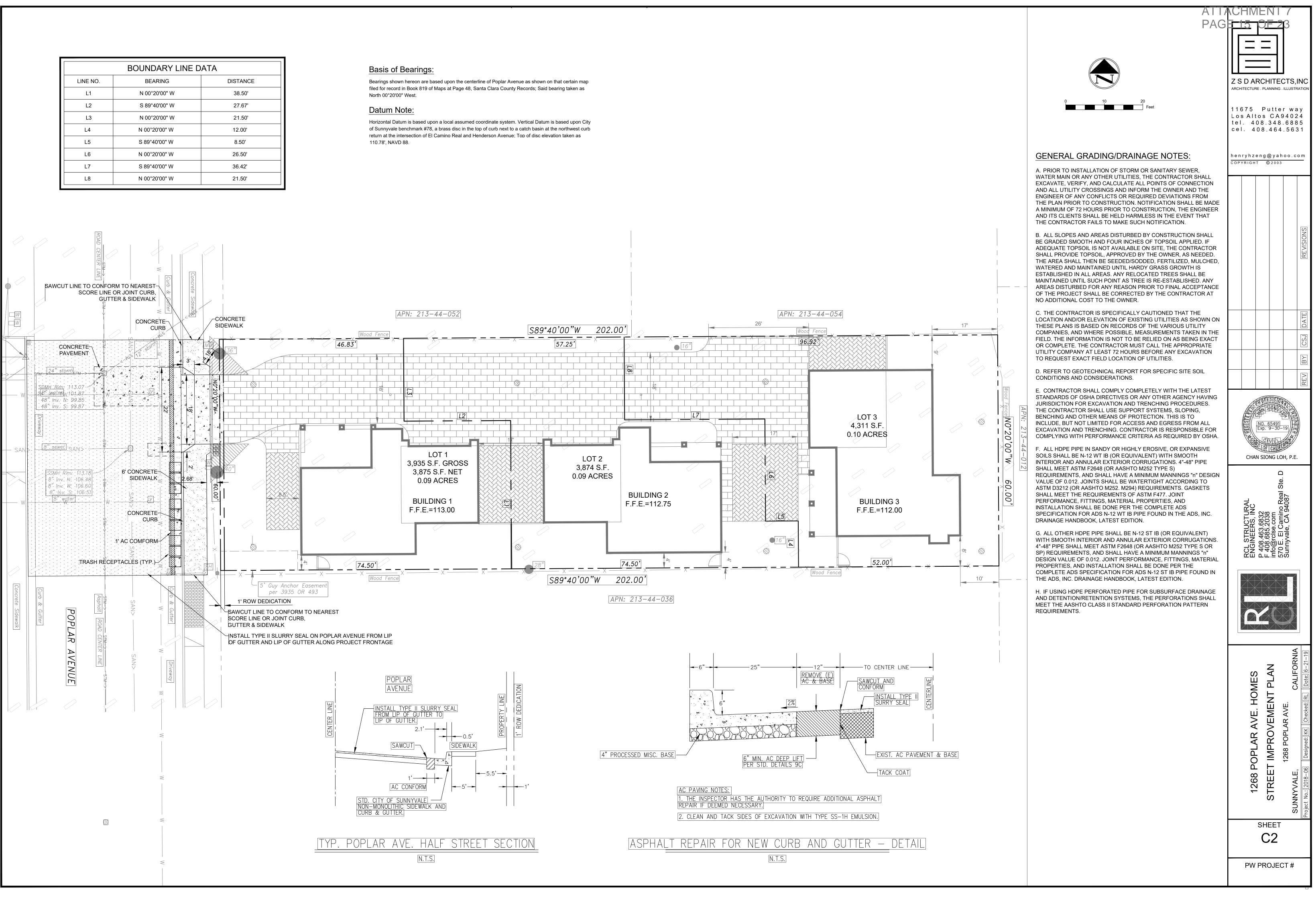
- City of Sunnyvale Standard Detail Drawings. of 20-feet.
- 13. UTILITY CROSSING SEPARATIONS: Maintain separation between potable water, potable water pipeline.
- pipeline, in accordance Standard Detail Drawings.
- plans
- 17. IRRIGATION FACILITIES: Install purple-colored Pantone 522 material for all Guidelines and Section 116815 of the California Health and Safety Code. a. Valve and other on-grade boxes - integral color b. Sprinkler heads — integral color plastic
- with either stainless steel wire or self-locking plastic ties. CROSS-CONNECTION TESTING: The Customer or Contractor shall conduct a recycled water.
- be called out on the drawings.
- conducted by the City of Sunnyvale subject to approval.

- disseminated almost daily.



BOUNDARY LINE DATA			
BEARING	DISTANCE		
N 00°20'00" W	38.50'		
S 89°40'00" W	27.67'		
N 00°20'00" W	21.50'		
N 00°20'00" W	12.00'		
S 89°40'00" W	8.50'		
N 00°20'00" W	26.50'		
S 89°40'00" W	36.42'		
N 00°20'00" W	21.50'		
	BEARING           N 00°20'00" W           S 89°40'00" W           N 00°20'00" W           N 00°20'00" W           S 89°40'00" W           S 89°40'00" W           S 89°40'00" W           S 89°40'00" W		

#### Datum Note:

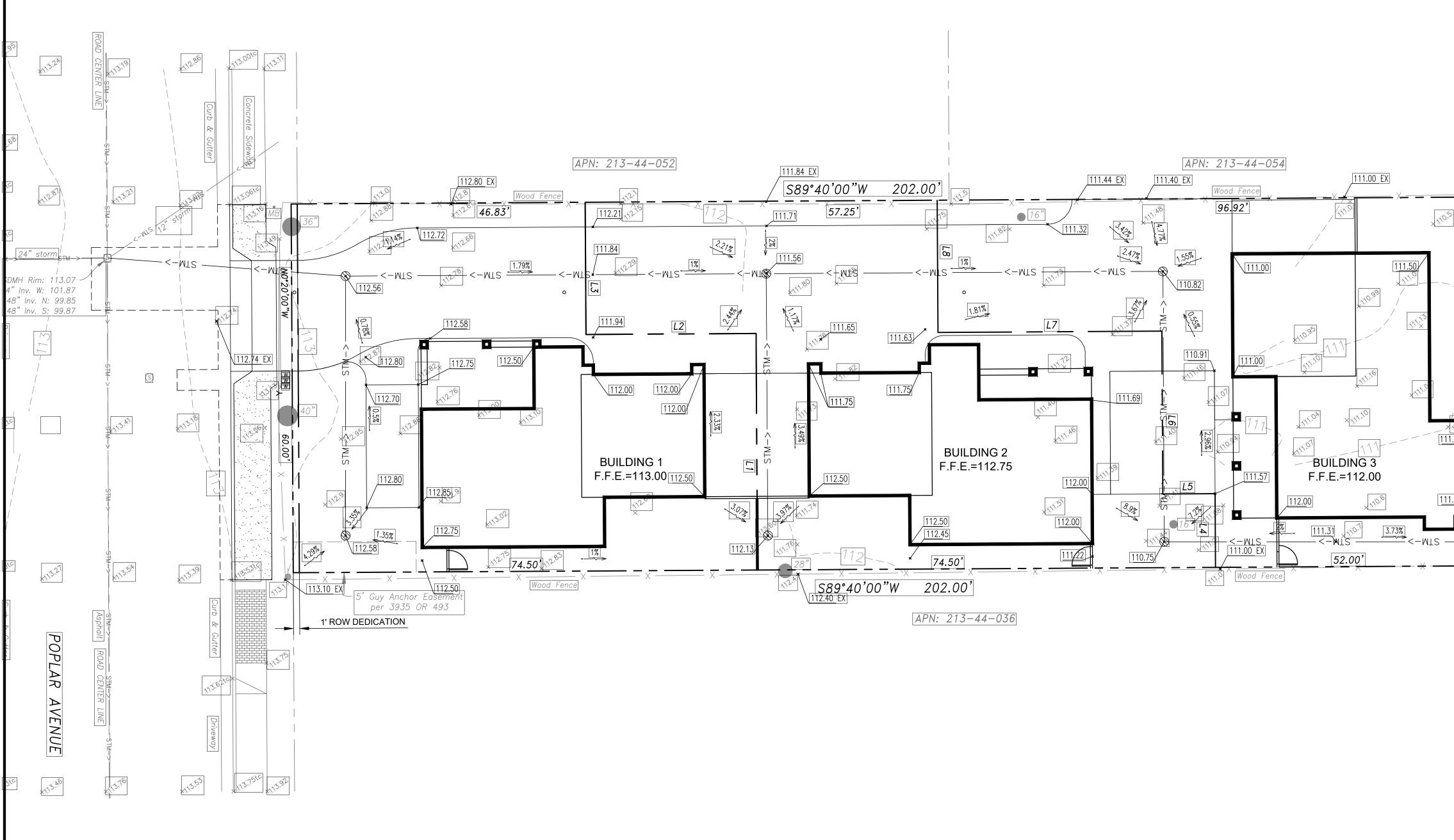


#### Basis of Bearings:

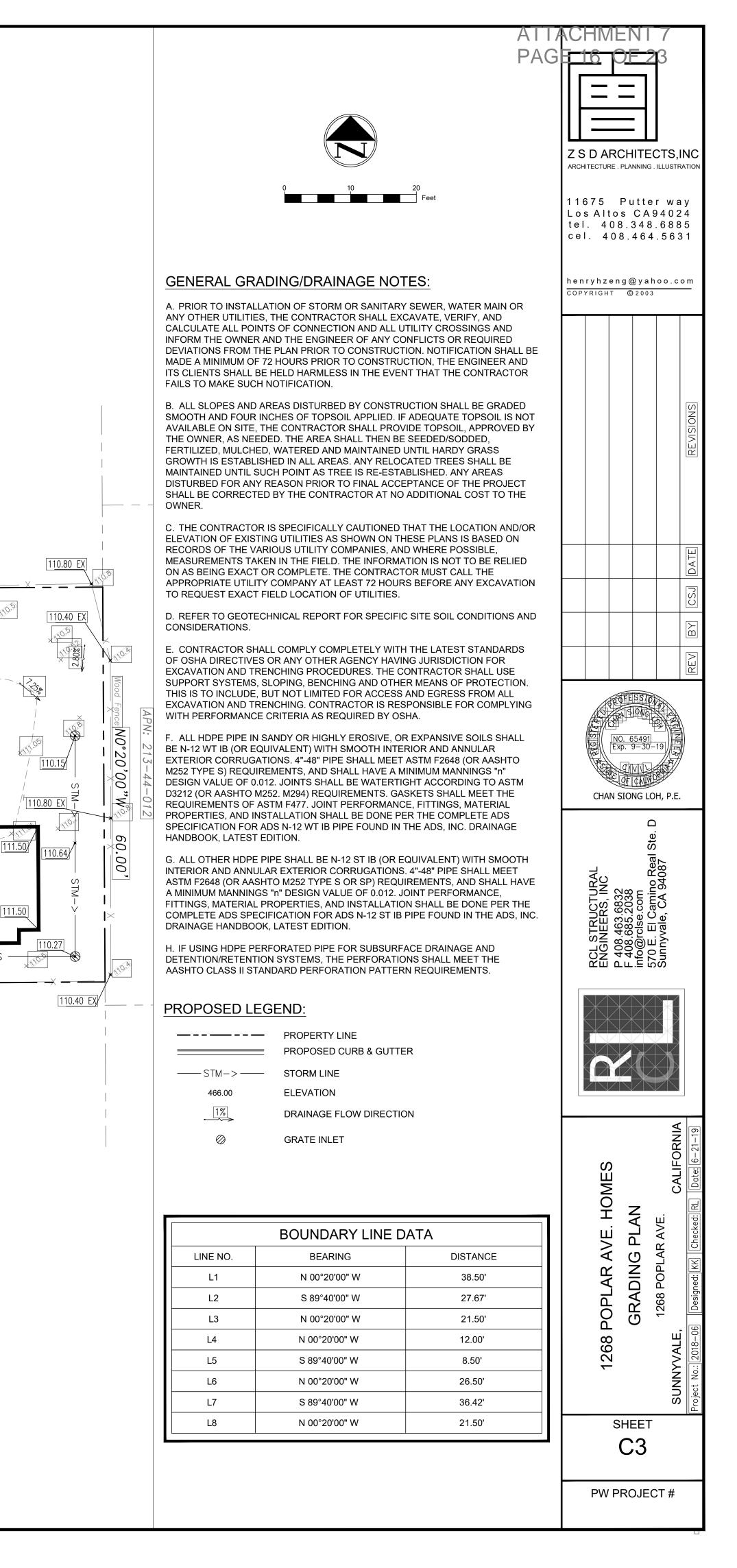
Bearings shown hereon are based upon the centerline of Poplar Avenue as shown on that certain map filed for record in Book 819 of Maps at Page 48, Santa Clara County Records; Said bearing taken as North 00°20'00" West.

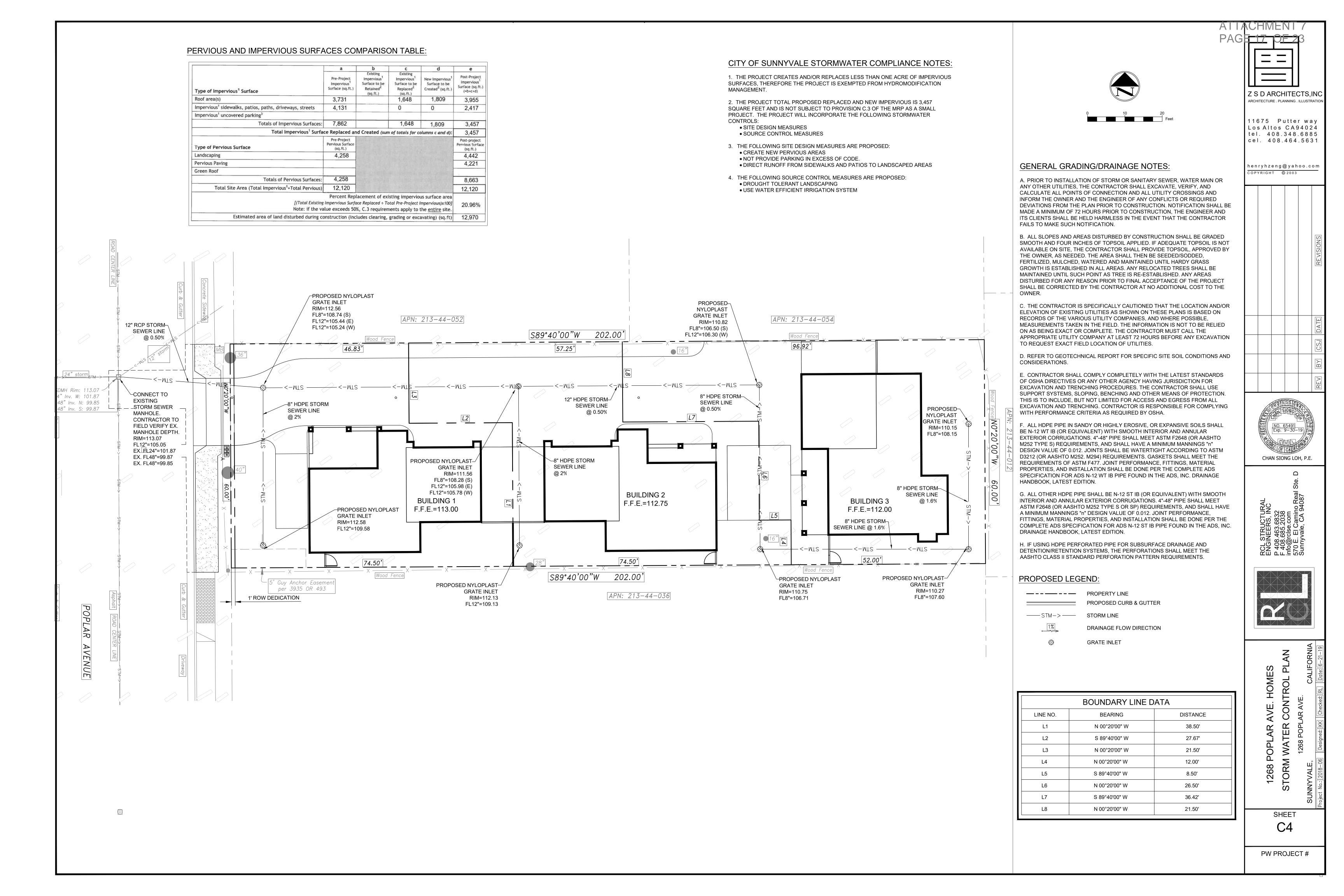
#### Datum Note:

Horizontal Datum is based upon a local assumed coordinate system. Vertical Datum is based upon City of Sunnyvale benchmark #78, a brass disc in the top of curb next to a catch basin at the northwest curb return at the intersection of El Camino Real and Henderson Avenue: Top of disc elevation taken as 110.78', NAVD 88.



D





#### Basis of Bearings:

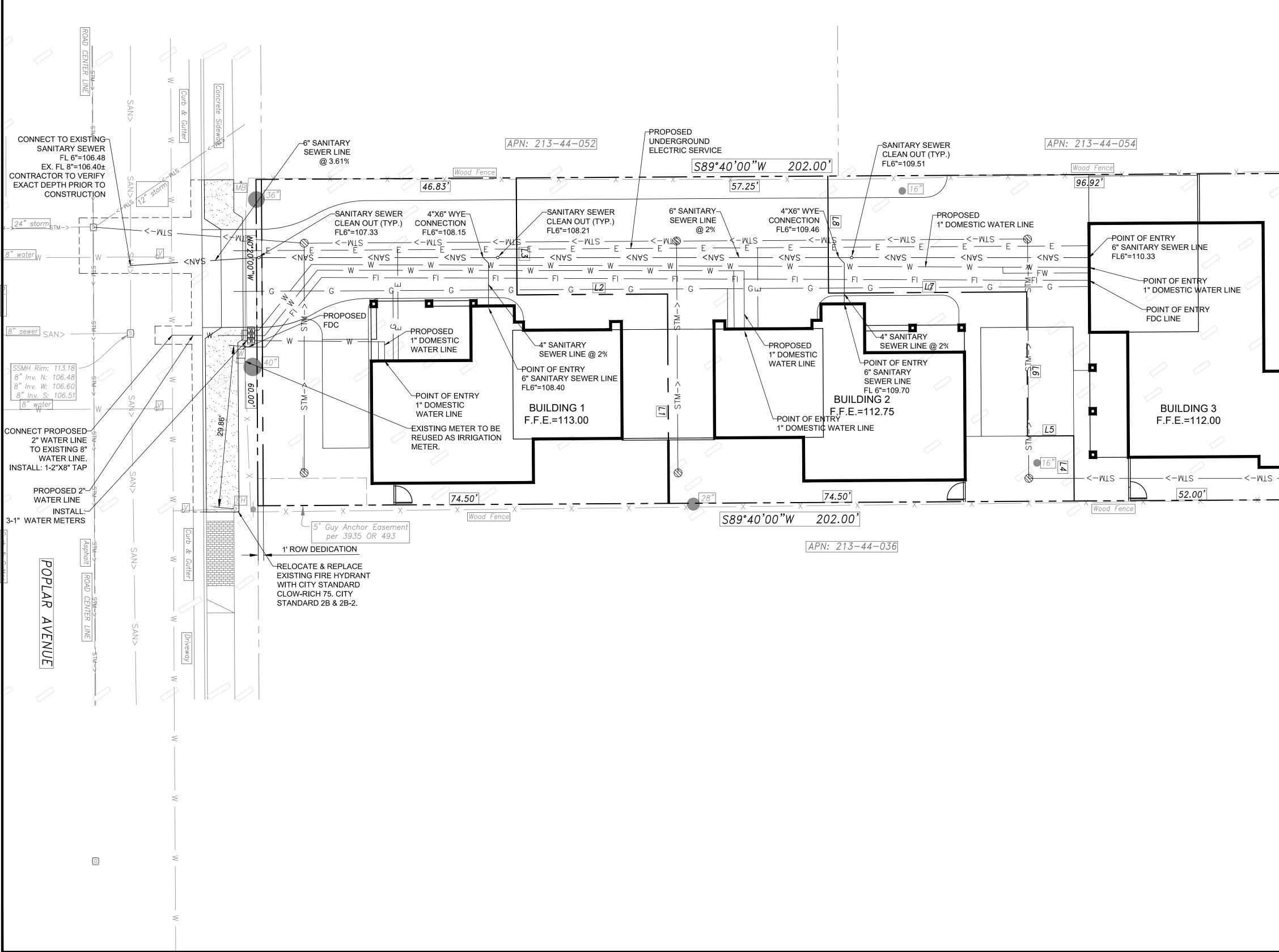
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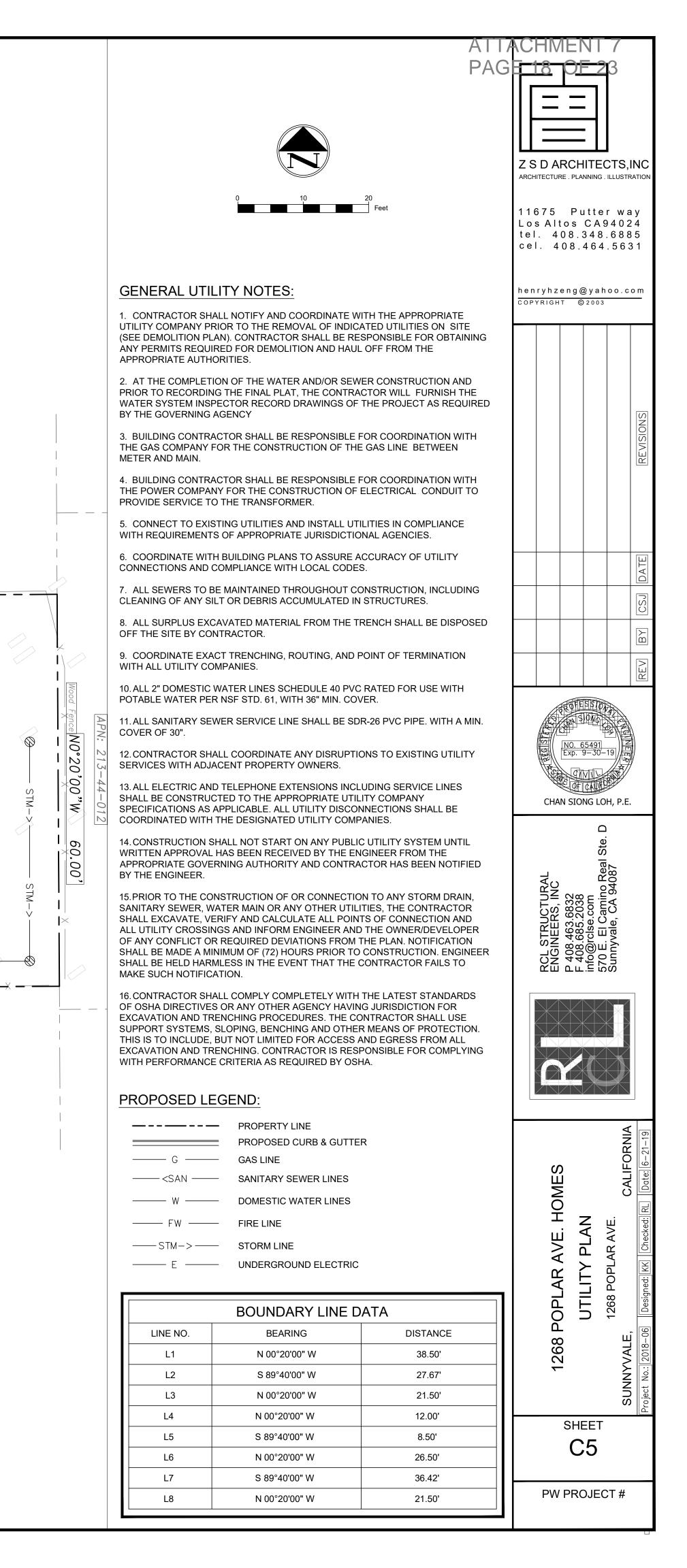
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TWO (2) EXISTING MATURE TREES ALONG THE PROJECT FRONTAGE ON POPLAR AVENUE ARE TO REMAIN. HAND EXCAVATION AROUND THE MENTIONED EXISTING TREES IS REQUIRED DURING CONSTRUCTION. NO UTILITY TRENCH SHALL BE ALLOWED WITHIN 15' RADIUS OF AN EXISTING MATURE TREE. BORING, AIR SPADE OR OTHER EXCAVATION METHOD AS APPROVED BY THE CITY ARBORIST SHALL BE CONSIDERED TO PROTECT EXISTING MATURE TREE. CONSULT WITH THE CITY ARBORIST PRIOR TO ADJUSTING LOCATIONS OF UTILITY LINES.

DEVELOPER SHALL MAINTAIN A MINIMUM CLEARANCE OF 1 FOOT BETWEEN PROPOSED SIDEWALK AND TRUNK FLARE OF EXISTING MATURE TREES, AND A MINIMUM CLEARANCE OF 4 FEET BETWEEN PROPOSED DRIVEWAY AND TRUNK FLARE OF EXISTING MATURE TREES. SIDEWALK AND DRIVEWAY DESIGN CLEARANCE SHOWN ON PLANS SHALL BE FIELD-VERIFIED PRIOR TO CONSTRUCTION.







Remember: The property owner and the contractor share ultimate responsibility for the Sunnvvale activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

#### Preventing Pollution: It's Up to Us

Storm Drain Pollution from

Construction Activities

Construction sites are common sources of storm water

pollution. Materials and wastes that blow or wash into a

storm drain, gutter, or street have a direct impact on local

As a contractor, or site supervisor, owner or operator of a

site, you may be responsible for any environmental

damage caused by your subcontractors or employees.

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Stormwater pollution is a serious problem for wildlife dependent on our creeks and bays and for the people who live near polluted streams or baylands. Common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Santa Clara Valley Urban Runoff

General

and Site

Construction

Supervision

Who should use

this information?

Site Supervisors

Home Builders

Inspectors

Developers

Homeowners

creeks and the Bay

General Contractors

**Pollution Prevention Program** 

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight stormwater pollution. This "blueprint" summarizes "Best Management Practices (BMPs) for stormwater pollution prevention.

#### Doing the Job Right General Principles

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly Cover materials when they are not in use.
- Keep materials away from streets, storm drains and
- drainage channels. Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Field Manual, available form the Regional Water Quality Control Board San Francisco Bay Region, as a reference.
- Control the amount of runoff crossing your site (especially during excavation!) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make sure everyone who works at the construction site is familiar with this information. Inform subcontractors about the stormwater requirements and their own responsibilities. Use BAASMA, Blueprint for a Clean Bay, a construction best

#### roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Clean up leaks, drips and other spills immediately so they

Keep materials out of the rain – prevent runoff

and California Storm Water Quality Association

Construction: (Jan 2003) as references.

Good Housekeeping Practices

repairs off site.

Stormwater Best Management Practice Handbook:

Designate one area of the site for auto parking, vehicle

refueling, and routine equipment maintenance. The

storm drain inlets, bermed if necessary. Make major

designated area should be well away from streams or

Spill Response Agencies:

In the City of Sunnyvale, DIAL 9-1-1.

State Office of Emergency Service

Santa Clara County Environmental

Small Business Hazardous

Waste Disposal Program

generate less than 27 gallons or 220

Business Hazardous Waste Disposal

pounds of hazardous waste per month are

eligible to use Santa Clara County's Small

Program. Call (408) 299-7300 for a quote,

more information or guidance on disposal.

Santa Clara County businesses that

.1-800-852-7550

.(408) 299-6930

Warning Center (24 hours)

Health Sevices

- do not contaminate soil or groundwater or leave residue on paved surfaces. Never hose down "dirty" pavement or surfaces where materials have spilled.
- Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site

#### Earth-Moving and Dewatering Activities

Who should use



- Machine Operators
- Dump Truck Drivers
- Site Supervisors General Contractors
- Home Builders
- Developers

#### Storm Drain Pollution from Doing the Job Right Earth-Moving Activities

Soil excavation and grading operations en large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or oughened ground surfaces.

Contaminated groundwater is a nmon problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from Bulldozer, Back Hoe, and Grading construction sites may be contaminated with toxics (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

#### General Business Practices

- Schedule excavation and grading work during dry weather.
- from the job site. When refueling or vehicle/equipment maintenance must be done on site.
- designate a location away from storm Do not use diesel oil to lubricate
- equipment parts, or clean equipment. Practices During Construction
- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control

### sediment control measures, and California Stormwater Quality

Field Manual for proper erosion and

with secured tarps or plastic sheeting.

#### Check for Toxic Pollutants

- aroundwater must be tested. □ If contamination is suspected, have the
- groundwater to the storm drain (if no sediments present) or sanitary sewer. haul pumped groundwater offsite for treatment and disposal at an appropriate treatment facility

#### Roadwork and Paving

#### Who should use this information?

- Road Crews
- Driveway/Sidewalk/Parking Lot Construction Crews Seal Coat Contractors
- Operators of Grading Equipment, Paving Machines, Dump Trucks,
- Concrete Mixers Construction Inspectors
- General Contractors
- Developers Home Builders

#### Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against collution of storm drains, creeks, and the Bay.

#### Doing the Job Right General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments. Schedule excavation and grading work during dry
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.

(408) 730-7262 for information.

- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly. Take broken up concrete to a local recycling facility. Call the Sunnyvale Recycling Program at
  - in use.
- dispose to dirt area Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary
- roofs or plastic sheets and berms. Park paving machines over drip pans or absorbent
- material (cloth, rags, etc.) to catch drips when not Clean up all spills and leaks using "dry" methods
  - (with absorbent materials and/or rags) Dig up, remove, and properly dispose of contaminated soil.

- Association Stormwater Bes Management Practice Handbook (construction, 2003) Cover stockpiles and excavated soil Dewatering Operations
- water tested by a certified laboratory.
- OR, you may be required to collect and

During Construction

materials.

Avoid paving and seal coating in wet weather, or

from contacting stormwater runoff.

when rain is forecast, to prevent fresh materials

Cover and seal catch basins and manholes when

applying seal coat, slurry seal, fog seal, or similar

bags, or other controls to divert or trap and filter

aggregate concrete or similar treatments into a

street or storm drain. Collect and recycle, or

Never wash excess material from exposed

- Check for odors, discoloration, or an oily sheen on groundwater Call your local wastewater treatment agency and ask whether the
- Depending on the test results, you may be allowed to discharge pumped



#### Local Pollution Control Agencies:

Santa Clara County Recycling Hotline

Regional Water Quality Control Board

Serving San Francisco Bay Region

Sunnyvale Water Pollution

Sunnyvale Recycling Program

Or visit www.ci.sunnyvale.ca.us/recycle

(GreenTeam/Zanker of Sunnyvale)

Recycling Drop-Off Center,

Control Plant

SMaRT Station®

Garbage Disposal

1-800-533-8414

. (510) 622-2300

(408) 730-7270

(408) 730-7262

. (408) 752-8530

#### County of Santa Clara Pollution Prevention Program

- . (408) 441-1195 . . . . . . . . . County of Santa Clara Integrated Waste Management Program . (408) 441-1198
- Santa Clara County Hazardous Waste Program . (408) 299-7300
- For information on the disposal of hazardous waste County of Santa Clara District Attorney Environmental Crimes Hotline . (408) 299-TIPS . . . . . . . . . .
- Santa Clara Valley Water District . (408) 265-2600 Santa Clara Valley Water
- District Pollution Hotline 1-888-510-5151

#### management practices guide available from the Santa Place portable toilets away from storm drains. Make sure Clara Valley Urban Runoff Pollution Prevention Program, portable toilets are in good working order. Check frequently for leaks Materials/Waste Handling

- Practice Source Reduction -- minimize waste when you order materials. Order only the amount you need to finish the Use recyclable materials whenever possible. Arrange for
- pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires. contamination at the source. Cover exposed piles of soil or Dispose of all wastes properly. Many construction materials construction materials with plastic sheeting or temporary and wastes, including solvents, water-based paints, vehicle
  - fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See Sunnyvale Recycling Program information listed above.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

#### Permits

- In addition to local grading and building permits, you will need to obtain coverage under the State's General Construction Activity Stormwater Permit if your construction site's disturbed area totals 1 acre or more. Information on the General Permit can be obtained from the Regional Water Quality Control Board.
- Check for Sediment Levels
- If the water is clear, the pumping time is less than 24 hours, and the flow rate is less than 20 gallons per minute, you may pump water to the street or storm drain.
- □ If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plant for
- If the water is not clear, solids must be filtered or settled out by pumping to a settling tank prior to discharge. Options for filtering
- Pumping through a perforate pipe sunk part way into a small pit filled with
- Pumping from a bucket placed below water level using a submersible pump Pumping through a filtering device such
- as a swimming pool filter or filter fabric wrapped around end of suction pipe. When discharging to a storm drain, protect
- the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate. OR pump water through a grassy swale prior to discharge.

- Detecting **Contaminated Soil** or Groundwater
- ontaminated groundwate is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved now what to look for in letecting contaminated soi or groundwater, and testing ponded groundwater before oumping. Watch for any of these conditions:
- Unusual soil conditions discoloration or odor
- Abandoned underground tanks. Abandoned wells.
- Buried barrels, debris or
- f any of these are found follow the procedures below.
- Collect and recycle or appropriately dispose of
- excess abrasive gravel or sand. Avoid over-application by water trucks for dust

#### Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete. Protect drainage ways by using earth dikes, sand After breaking up old pavement, be sure to
  - remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
  - When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
  - Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm drains

#### Painting and Application of Solvents and Adhesives

#### Who should use this information?

#### Painters Paperhangers

- Plasterers Graphic Artists Dry Wall Crews
- Floor Covering Installers
- General Contractors Home Builders
- Developers Homeowners



#### Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain hemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

#### Landscaping, Gardening And Pool Maintenance

#### Who should use this information?

- Landscapers
- Gardeners Swimming Pool/Spa
- Service and Repair Workers General Contractors
- Home Builders
- Developers Homeowners



#### Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

#### General Business Practices Protect stockpiles (e.g. asphalt, sand, or soil) and

Doing the Job Right

Doing the Job Right

Handling Paint Products

Program at (408) 299-7300.

Keep all liquid paint products and wastes away

from the gutter, street, and storm drains. Liquid

and cleaning fluids are hazardous wastes and

Wash water from painted buildings constructed

before 1978 can contain high amounts of lead

even if paint chips are not present. Before you

begin stripping paint or cleaning pre-1978

pressure, test paint for lead by taking paint

scrapings to a local laboratory. See Yellow

If there is loose paint on the building, or if the

paint tests positive for lead, block storm drains.

Check with the wastewater treatment plant to

determine whether you may discharge water to

the sanitary sewer, or if you must send it offsite

building exteriors with water under high

Pages for a state-certified laboratory.

for disposal as hazardous waste.

must be disposed of as hazardous. Contact

the Santa Clara County Hazardous Waste

residues from paints, thinners, solvents, glues,

- landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet. Schedule grading and excavation projects during dry
- weather Use temporary check dams or ditches to divert runoff
- away from storm drains. Protect storm drains with sandbags or other sediment controls.
- Revegetation is an excellent form of erosion control for any site. Replant as soon as possible with temporary vegetation such as grass seed.

#### Landscaping/Garden Maintenance

Consider using Integrated Pest Management Techniques. Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinsewater as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.

#### Fresh Concrete and Mortan Application

#### Who should use this information?

- Masons and Bricklayers
- Sidewalk Construction Crews Patio Construction Workers
- Construction Inspectors General Contractors
- Home Builders
- Developers Concrete Delivery/Pumping Workers

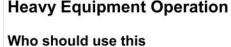


#### Storm Drain Pollution from Fresh Concrete And Mortar Applications

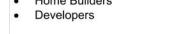
resh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

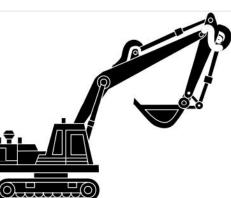
Doing the Job Right

- washout by pumping back into mixers for reuse. Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover.
- drains, rainfall, and runoff.
- or trailers.



- information?
- Vehicle and Equipment Operators
- Site Supervisors General Contractors
- Home Builders



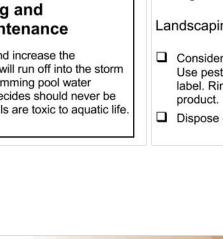


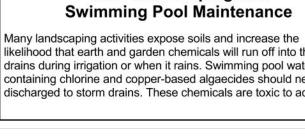
#### Stormwater Pollution from Heavy Equipment on Construction Sites

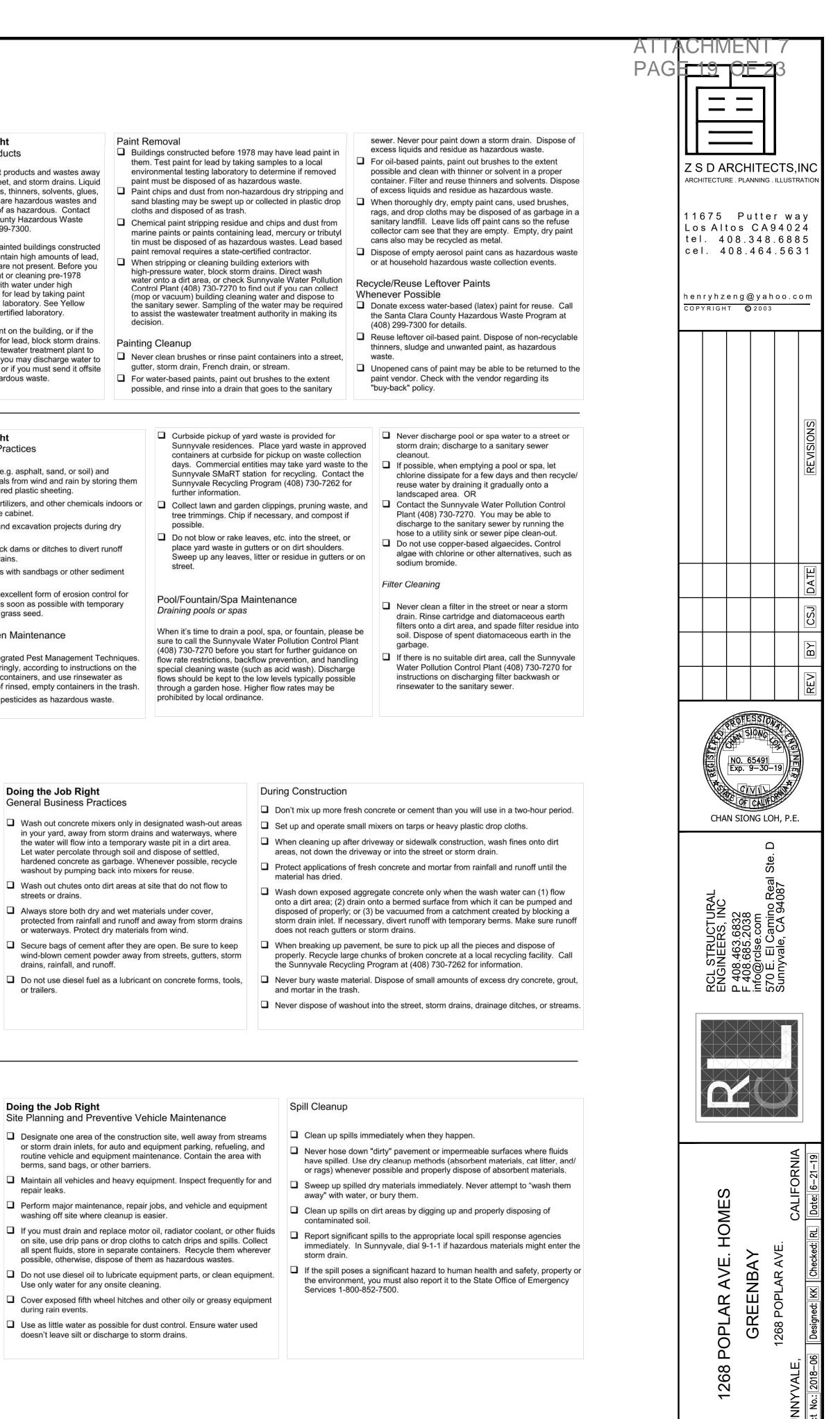
Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

- Doing the Job Right
- berms, sand bags, or other barriers.
- repair leaks.
- washing off site where cleanup is easier.
- Use only water for any onsite cleaning.
- during rain events.
- doesn't leave silt or discharge to storm drains.





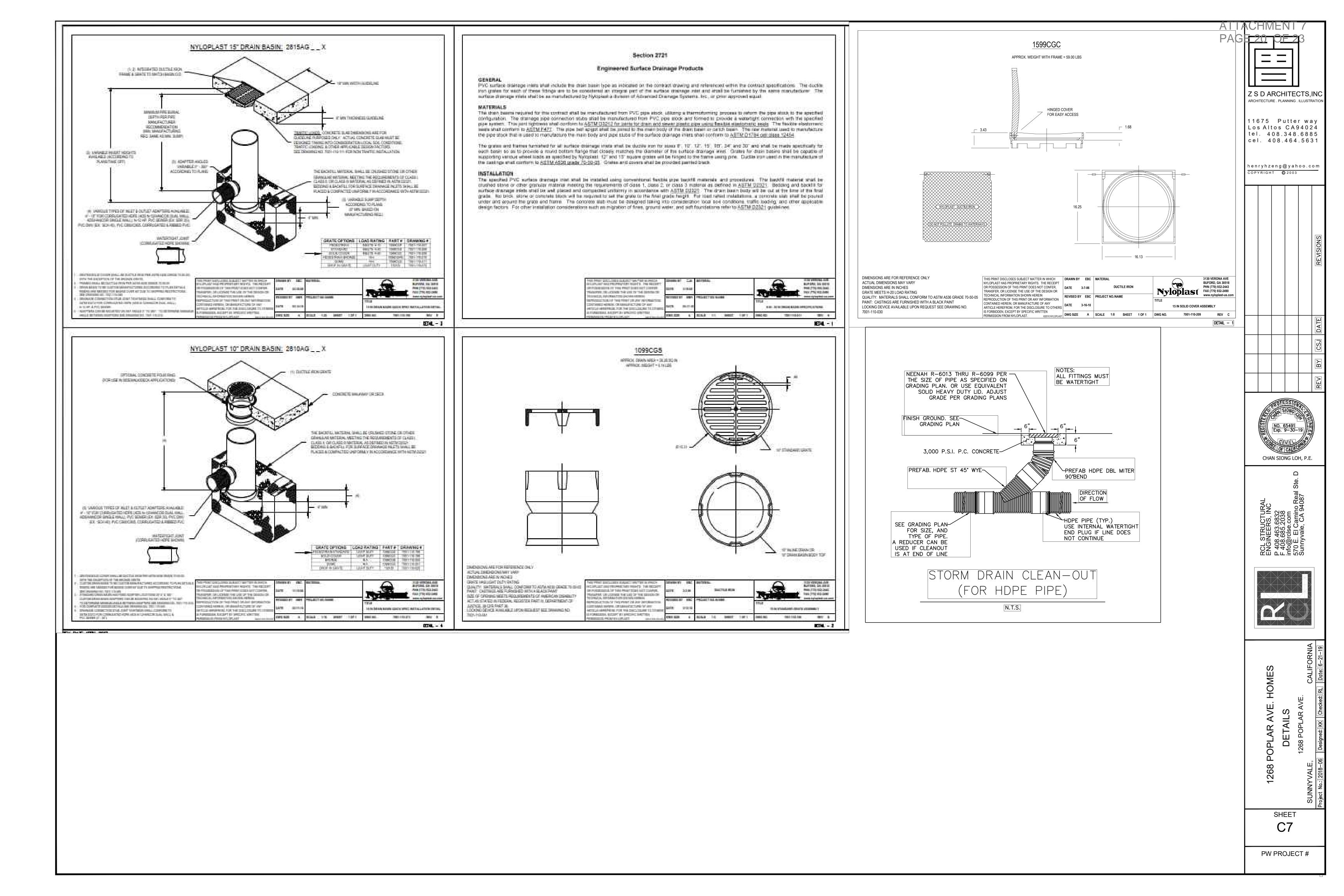


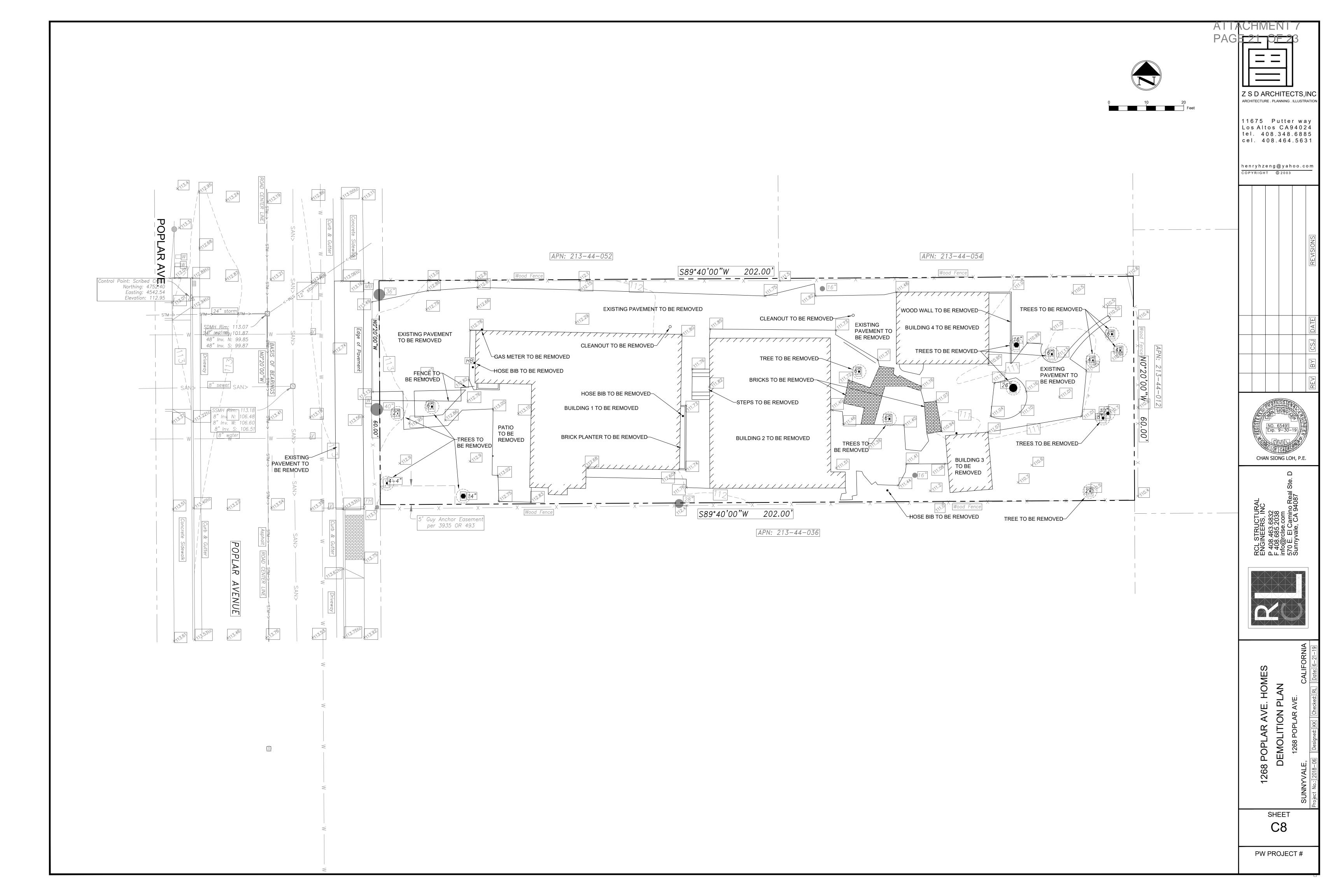


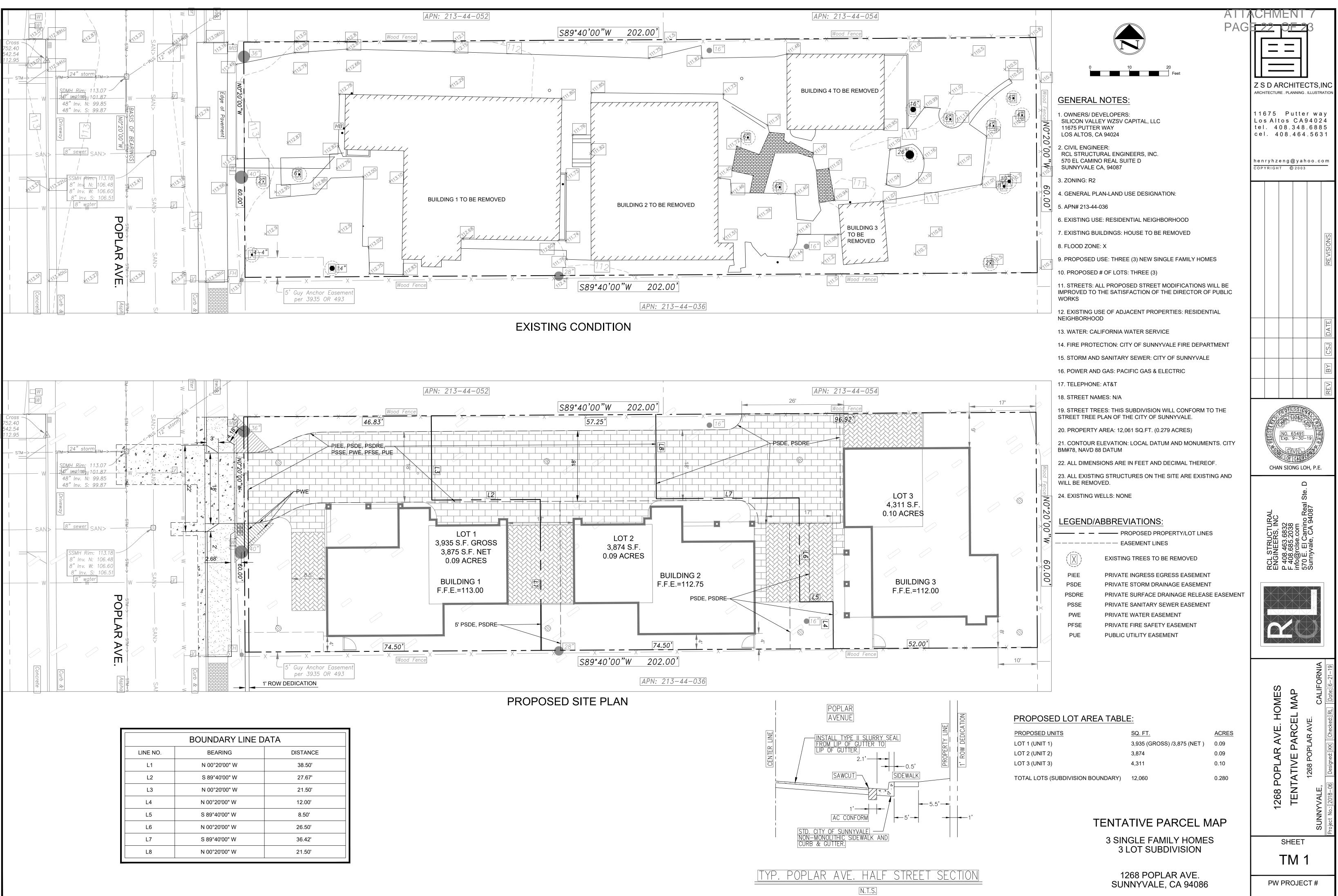
C6

SHEET

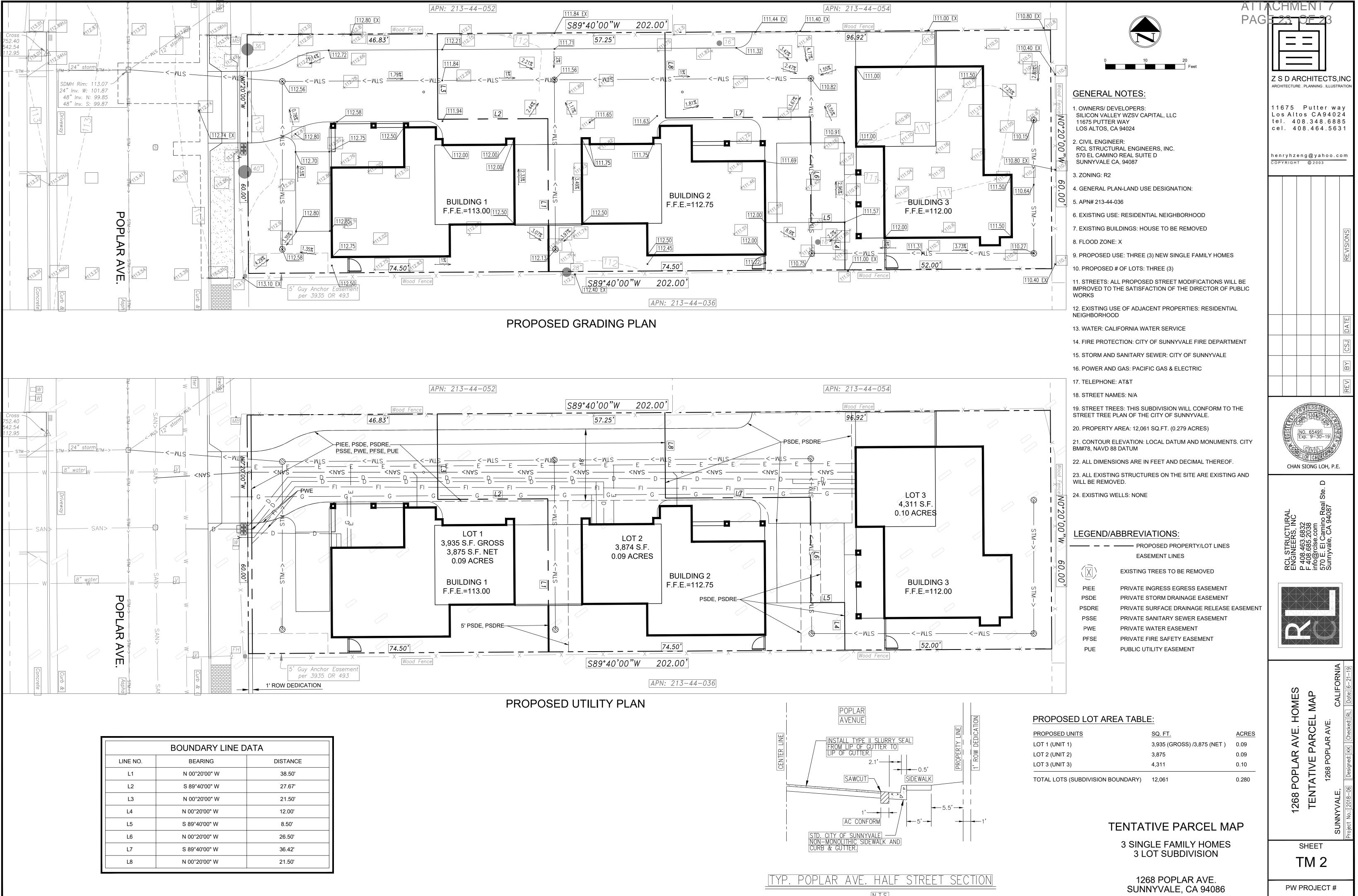
PW PROJECT #



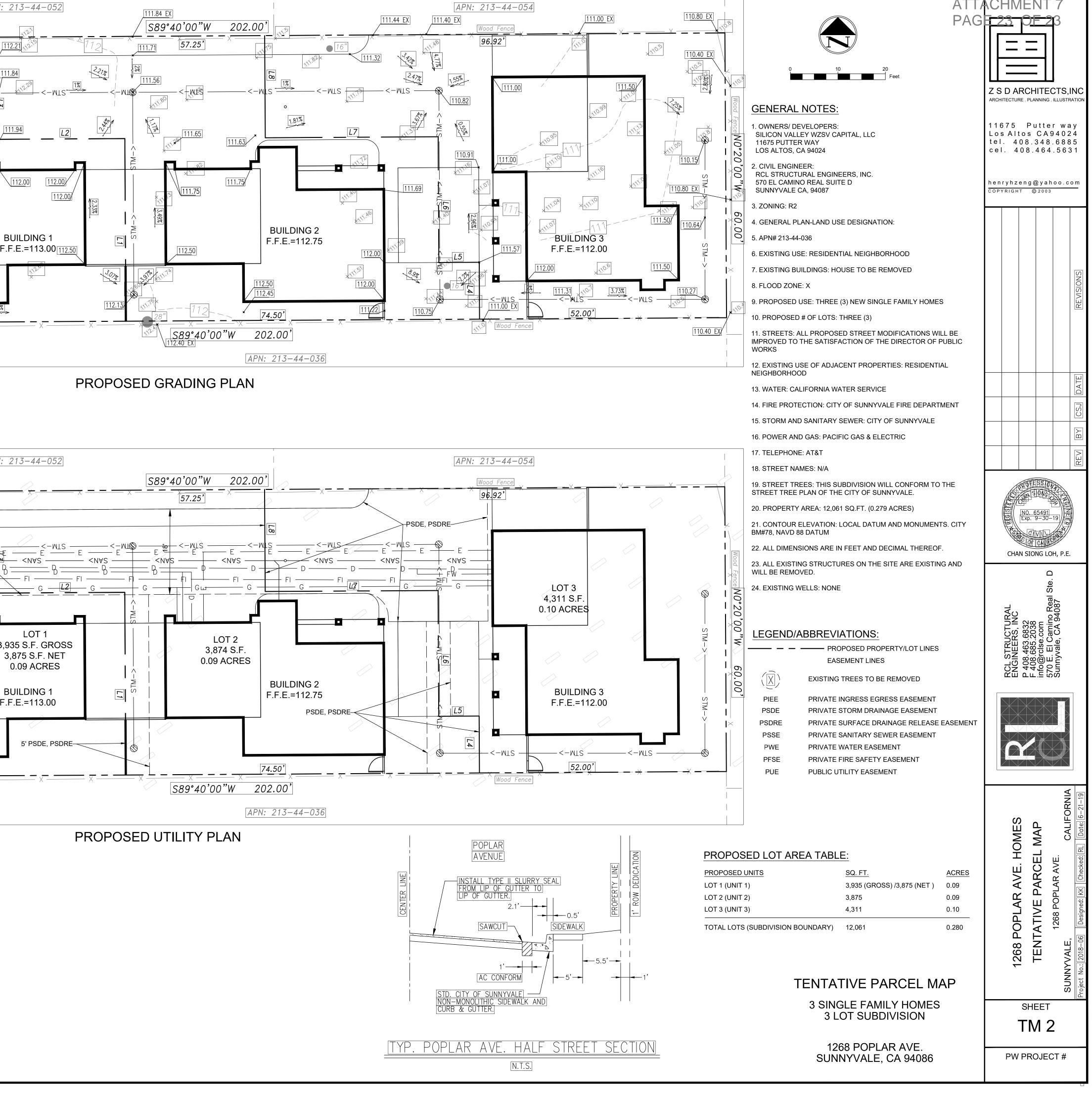




BOUNDARY LINE DATA			
LINE NO.	BEARING	DISTANCE	
L1	N 00°20'00" W	38.50'	
L2	S 89°40'00" W	27.67'	
L3	N 00°20'00" W	21.50'	
L4	N 00°20'00" W	12.00'	
L5	S 89°40'00" W	8.50'	
L6	N 00°20'00" W	26.50'	
L7	S 89°40'00" W	36.42'	
L8	N 00°20'00" W	21.50'	



BOUNDARY LINE DATA				
LINE NO.	BEARING	DISTANCE		
L1	N 00°20'00" W	38.50'		
L2	S 89°40'00" W	27.67'		
L3	N 00°20'00" W	21.50'		
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L5	S 89°40'00" W	8.50'		
L6	N 00°20'00" W	26.50'		
L7	S 89°40'00" W	36.42'		
L8	N 00°20'00" W	21.50'		



#### **Aastha Vashist**

From:	Aastha Vashist
Sent:	Thursday, August 08, 2019 8:57 AM
То:	Aastha Vashist
Subject:	1

#### Get Outlook for iOS

From: Vikas Kapur <vkapur@

**Sent:** Friday, June 21, 2019 7:28:58 PM

To: Aastha Vashist <AVashist@sunnyvale.ca.gov>; Council AnswerPoint <council@sunnyvale.ca.gov>

**Sibject:** YOU MOTHER

ATTN: Email is from an external source; Stop, Look, and Think before opening attachments or links.

YOU JUST SENT ME - ALL OF US - A LETTER WITH \*\*NO\*\* RETURN ADDRESS AND ILLEGIBLE NUMBERS -PROPOSING TO BUILD HIGH-DENSITY FOOTPRINT HOMES JUST ACROSS FROM US !! YOU HAVE ALREADY BROKEN THE LAW MOTHER\_ YOU ARE SO ----- AND WE WILL -----YOU FURTHER - ALL OF US HERE - THAT IS A PROMISE !!

---- YOU ! YOU'VE BROKEN FEDERAL LAW BY SENDING ME A LETTER WITH NO NAME , NO RETURN ADDRESS AND A BUNCH OF ILLEGIBLE NUMBERS - PROPOSING TO DRASTICALLY REBUILD MY NEIGHBORHOOD ??!! ---YOU TO HELL AND BEYOND !! IT IS PRETTY CLEAR YOU ARE TRYING TO PULL A FAST ONE - THE COURTS ARE GOING TO ----- YOU SO HARD !!

F------ YOU TO HELL !! YOU ------ MOTHER-----ERS !! YOU ARE ------ WITH US - NOW IT IS OUR TURN -THAT IS A PROMISE !! WHO THE ----- DO YOU THINK YOU ARE ?!!

YOU STARTED THIS MOTHER ------ WE'LL END THIS IN COURT. THAT IS A PROMISE - IF IT TAKES EVERY ---ING DROP OF BLOOD FROM OUR BODIES !! ----- YOU TO HELL AND BEYOND !!

c: 408 ----



Agenda Item 3

19-0717

Agenda Date: 8/12/2019

#### REPORT TO PLANNING COMMISSION

#### <u>SUBJECT</u>

#### Proposed Project:

**DESIGN REVIEW:** To allow a 245 square feet first-floor addition and 448 square feet secondfloor addition to an existing two-story single-family home, resulting in 3,178 square feet (2,698 square feet living area, 480 square feet garage and 75 square feet porch) and 51.4% Floor Area Ratio (FAR).

Location: 808 Shetland Place (APN:316-27-085)

File #: 2018-7876

Zoning: R-0

**Applicant / Owner:** Megan Miner Design (applicant) / Rajan Singh and Anila Godhania (owner) **Environmental Review:** A Class 1 Categorical Exemption relieves this project from the CEQA provisions.

Project Planner: Aastha Vashist, (408) 730-7458, avashist@sunnyvale.ca.gov

#### REPORT IN BRIEF

General Plan: Low Density Residential Existing Site Conditions: Two-story single family residence Surrounding Land Uses North: One and two-story single family residences South: Interstate 280 highway East: Two-story single family residence West: Two-story single family residence Issues: Neighborhood compatibility

Staff Recommendation: Approve the Design Review with recommended conditions in Attachment 4.

#### BACKGROUND

#### **Description of Proposed Project**

The applicant proposes a 673-square foot addition to an existing 2,560 square foot two-story residence resulting in 3,178 square feet gross floor area with 51.4% FAR. The subject property is located on a 6,180-square foot interior lot, which is similar to other surrounding properties.

A Design Review is required for the construction of an addition to evaluate compliance with the development standards and the City's Single-Family Home Design Techniques. Planning Commission review is required for homes exceeding 45% FAR.

See Attachment 1 for a map of the vicinity and mailing area for notices and Attachment 2 for the data table of the project.

#### Previous Actions on the Site

There are no previous planning applications or active neighborhood preservation complaints for this property.

#### EXISTING POLICY

#### Applicable Design Guidelines:

The proposed addition is consistent with the adopted Single-Family Design Techniques since the proposed design has compatible scale, mass and height as the surrounding new two-story homes in the neighborhood. Staff has included findings for the Single-Family Design Techniques in Attachment 3.

#### ENVIRONMENTAL REVIEW

A Class 1 Categorical Exemption (CEQA Guidelines, Section 15301) relieves this project from the requirements of the California Environmental Quality Act, which covers minor alteration or additions to an existing single-family home involving negligible or no expansion of the existing use.

#### DISCUSSION

#### Architecture and Site Design

The existing neighborhood is comprised of one and two-story single-family residences with simple rectilinear forms. The house is in a neighborhood of single-family homes built from the 1950s to 1960s with Ranch-style architecture.

The existing two-story house has Ranch-style characteristics with a rectilinear form and gable end roofs. The proposed first-floor addition would extend towards the street and contain 245 square feet gross floor area, including expansion of the existing living room and a new entry porch. The 448-square foot second-floor addition is proposed over the living area towards the east side of the property at 46-foot setback from the front property line and consists of one new bedroom with an attached bath. The roof pitch of the addition would match that of the existing home. No tree removals are proposed as part of this application.

Exterior modifications are also proposed to existing building facades that include the addition of stone veneer material and repainting of the building facades. All new windows will match the existing. The proposed overall color scheme includes grey tones for the walls (See Attachment 5, Site and Architectural Plans). Overall, the proposed modifications and building materials are compatible with the character of the existing and adjacent homes.

#### **Development Standards**

The proposed project complies with the applicable development standards as set forth in the Sunnyvale Municipal Code, such as lot coverage, parking, height, and setbacks. The Project Data Table is in the Attachment 2.

#### Floor Area and Floor Area Ratio

The proposed 51.4% Floor Area Ratio (FAR) requires Planning Commission review since it is more than the 45% FAR threshold. The proposed addition exceeds the threshold by 6.4%, which translates to 397 square feet of floor area above the 2,781 square feet at 45% FAR.

#### 19-0717

The existing FAR of the single-family homes in the neighborhood ranges from 20% to 57% with an average of 33%. Four of the homes in the neighborhood exceed 45% FAR or 3,600 square feet. See Attachment 6 for neighborhood area comparison.

The proposed project is consistent with the established precedent for the neighborhood. The resulting mass and bulk of the home is minimal, as the project exceeds minimum setback requirement. In fact, the second-floor addition is set back 46 feet from the front property line and maintains the large front yard pattern of the neighborhood.

Since this neighborhood consist of several two-story homes and is not predominately one-story, the 35% second floor to first floor ratio design guideline is not applicable.

#### Solar Access

SMC 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The project plans demonstrate that the shading would comply with this requirement (shades no roof area of the adjacent homes).

#### Neighborhood Impacts and Compatibility

The surrounding two-story homes are similar in scale and height as the proposed second floor addition. The proposed home addresses neighbor privacy, solar access requirements, scale and architectural design compatibility.

The proposed addition to the existing second floor significantly exceeds the minimum required setbacks from all four sides. The proposed design and location of the second floor further helps in minimizing the privacy impacts on the neighboring properties.

The new second floor window facing the side yard will be high sill to minimize privacy impact on the neighboring property (Condition PS-1(a), Attachment 4). The use of different wall material, wall offsets, and roof segment help in breaking up two story wall surfaces and reducing the visual bulk of the second-floor addition.

Based on the setbacks and location of windows, staff does not find any privacy impacts related to the proposed addition. The applicant also proposes to utilize high-quality material for the addition and exterior modification that will complement the architectural style found in the existing residence and within the neighborhood and will enhance the existing streetscape.

#### FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

#### PUBLIC CONTACT

#### Notice of Public Hearing

- Published in the Sun newspaper
- Posted on the site
- 29 notices mailed to property owners and residents within 300 feet of the project site

See Attachment 1 for a map of the vicinity and mailing area.

#### Staff Report

- Posted on the City's website
- Provided at the Reference Section of the City's Public Library

#### Agenda

- Posted on the City's official notice bulletin board
- Posted on the City's website

**Public Contact:** Staff has not received any correspondence or phone calls from neighbors at the time of writing of this report.

#### **ALTERNATIVES**

1. Approve the Design Review with the Conditions of Approval in Attachment 4.

2. Approve the Design Review with modified conditions.

3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

#### STAFF RECOMMENDATION

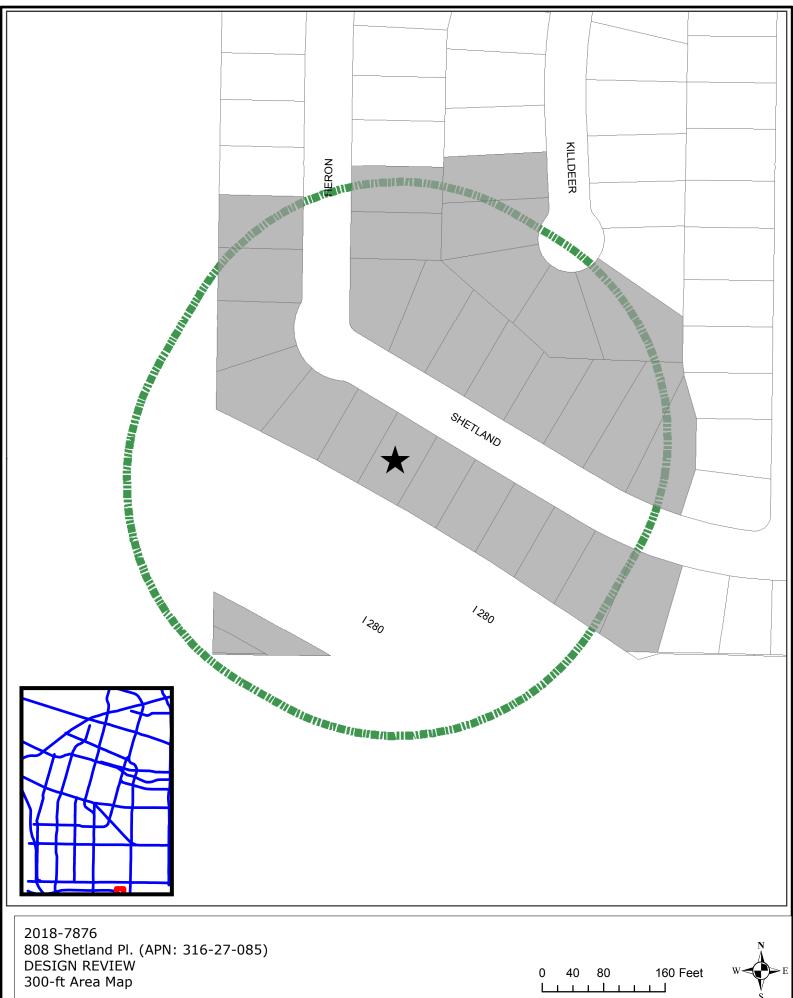
Alternative 1: Approve the Design Review with the Conditions of Approval in Attachment 4.

Prepared by: Aastha Vashist, Associate Planner Approved by: Noren Caliva-Lepe, Principal Planner

#### ATTACHMENTS

- 1. Vicinity and Noticing Map
- 2. Project Data Table
- 3. Recommended Findings
- 4. Recommended Conditions of Approval
- 5. Architectural and Site Plans
- 6. Neighborhood Square Footage Comparison

#### ATTACHMENT 1



#### **PROJECT DATA TABLE**

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Low density residential	Same	
Zoning District	R-0	Same	
Lot Size (s.f.)	6,180 s.f.	Same	6,000 s.f. min.
Gross Floor Area (s.f.)	2,560 s.f.	3,178 s.f.	2,781 s.f. without Planning Commission review
Lot Coverage	23.6%	35.2%	40% max.
Floor Area Ratio (FAR%)	41.4%	51.4%	45% without Planning Commission review
Building Height	23'-2"	Same	30' max.
No. of Stories	2	Same	2 max.
Setbacks			
FIRST FLOOR			
Front	24'-6"	Same	20' min.
Side	6'-3"	Same	4' min.
Combined/Total Side	12'-9"	Same	12' min.
Rear	19'-0"	Same	10' min.
SECOND FLOOR			-
Front	49'-0"	46'-0"	25' min.
★Side	6'-3"	Same	7' min.
Combined/Total Side	34'-3"	19'-5"	18' min.
Rear	31'-0"	29'-0"	20' min.
Parking			
Total Spaces	4	Same	4 min.
Covered	2	Same	2 min.
Uncovered	2	Same	2 min.

 $\star$  Starred items indicate legal non-conformity, which is unchanged.

#### **Design Review**

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single-Family Home Design Techniques.

Basic Design Principle	Comments
2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns	The project maintains the existing orientation of the home's front entry and garage. The proposed entry porch is well designed, and helps in defining the front entry and is consistent with the architectural style of the house and immediate neighborhood. <i>Finding met</i>
2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.	The design, scale and bulk of the proposed addition is similar to the existing and surrounding two-story homes. The proposed second floor addition maintains the existing plate height (8 foot), has a front yard setback that exceed the minimum and well-articulated building facade with offsets and high quality materials that help in minimizing the potential visual impact. The second-floor addition is set back 46 feet from the front property line, which helps to reduce the mass and bulk from the street. <i>Finding met</i>
2.2.3 Design homes to respect their immediate neighbors	The proposed addition complies with Code requirements related to height and setbacks and is respectful of the form of the existing home and the surrounding neighborhood. The second-floor side yard windows will have five-foot high sill. <i>Finding met</i>
2.2.4 Minimize the visual impacts of parking.	The project does not propose any modifications to the layout of the parking for the site. <i>Finding Met</i>
2.2.5 Respect the predominant materials and character of front yard landscaping.	No changes to the existing front yard landscaping is proposed. <i>Finding Met</i>
2.2.6 Use high quality materials and craftsmanship	The applicant proposes to utilize high- quality material for the addition and exterior modification that will complement the architectural style found within the neighborhood and will enhance the existing streetscape. <i>Finding Met</i>

2.2.7 Preserve mature landscaping	The proposed addition does not remove any mature trees/landscaping that need
	to be saved. <i>Finding Met</i>

ATTACHMENT 4 **2018-7876** 808 Shetland Place Page 1 of 7

#### RECOMMENDED CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS PLANNING COMMISSION HEARING ON AUGUST 12, 2019

#### Planning Application 2018-7876 808 Shetland Place

Design Review to allow 245 square feet first floor addition and 448 square feet second floor addition to an existing two-story single family home resulting in 3,178 square feet gross floor area (2,698 square feet living area, 480 square feet garage and 75 square feet porch) with 51.4% Floor Area Ratio (FAR).

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

#### GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

#### GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

#### GC-2. ENTITLEMENTS—EXERCISE AND EXPIRATION:

The approved entitlements shall be null and void two years from the date of approval by the final review authority if the approval is not exercised, unless a written request for an extension is received prior to the expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

#### GC-3. ENTITLEMENTS—DISCONTINUANCE AND EXPIRATION:

The entitlements shall expire if discontinued for a period of one year or more. [SDR] (PLANNING)

#### GC-4. INDEMNITY:

The applicant/developer shall defend, indemnify, and hold harmless the City, or any of its boards, commissions, agents, officers, and employees (collectively, "City") from any claim, action, or proceeding against the City to attack, set aside, void, or annul, the approval of the project when such claim, action, or proceeding is brought within the time period provided for in applicable state and/or local statutes. The City shall promptly notify the developer of any such claim, action or proceeding. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith. [COA] [OFFICE OF THE CITY ATTORNEY]

#### GC-5. NOTICE OF FEES PROTEST:

As required by California Government Code Section 66020, the project applicant is hereby notified that the 90-day period has begun as of the date of the approval of this application, in which the applicant may protest any fees, dedications, reservations, or other exactions imposed by the city as part of the approval or as a condition of approval of this development. The fees, dedications, reservations, or other exactions are described in the approved plans, conditions of approval, and/or adopted city impact fee schedule. [SDR] [PLANNING / OCA]

#### GC-6. ENCROACHMENT PERMIT:

Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works. [COA] [PUBLIC WORKS]

### PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

#### PS-1. REQUIRED REVISIONS TO PROJECT PLANS:

The plans shall be revised to address comments from the Planning Commission including the following:

a) Maintain a sill height of at least 5 feet for second floor windows facing the side yards, except for those needed for the purpose of egress. [COA] [PLANNING]

#### PS-2. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Planning Commission/Director of Community Development prior to submittal of a building permit. [COA] [PLANNING].

#### BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

#### **BP-1. CONDITIONS OF APPROVAL:**

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

#### BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

#### BP-4. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all 'protected trees' by a certified arborist, using the latest version of the "Guide for Plant Appraisal" published by the International Society of Arboriculture (ISA).
- b) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

#### BP-5. BEST MANAGEMENT PRACTICES - STORMWATER:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
  - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
  - ii) Dumpster drips from covered trash and food compactor enclosures.
  - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.

- iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
- v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

#### BP-6. CONSTRUCTION MATERIAL AND STAGING:

All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-ofways or public easements. [COA] [PUBLIC WORKS]

### EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. UTILITY CONNECTION:

This project requires connection to all City utilities or private utilities operating under a City or State franchise which provide adequate levels of service. [COA] [PUBLIC WORKS]

#### EP-2. SEWER CLEANOUT:

Install new sewer cleanout at the street right-of-way lines for all existing and proposed sanitary sewer laterals to be used for the project. [COA] [PUBLIC WORKS]

EP-3. PROTECTION OF EXISTING TREES:

No utility trench shall be allowed within 15' radius of an existing mature tree. Boring, air spade or other excavation method as approved by the City Arborist shall be considered to protect existing mature tree. Consult with the City Arborist prior to adjusting locations of utility lines. [COA] [PUBLIC WORKS]

#### EP-4. DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:

Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. [COA] [PUBLIC WORKS]

### DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

#### DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

#### DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

#### DC-3. CLIMATE ACTION PLAN – OFF ROAD EQUIPMENT REQUIREMENT:

OR 2.1: Idling times will be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]), or less. Clear signage will be provided at all access points to remind construction workers of idling restrictions.

OR 2.2: Construction equipment must be maintained per manufacturer's specifications.

OR 2.3: Planning and Building staff will work with project applicants to limit GHG emissions from construction equipment by selecting one of the following measures, at a minimum, as appropriate to the construction project:

- a) Substitute electrified or hybrid equipment for diesel- and gasoline-powered equipment where practical.
- b) Use alternatively fueled construction equipment on-site, where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane, or biodiesel.
- c) Avoid the use of on-site generators by connecting to grid electricity or utilizing solar-powered equipment.
- d) Limit heavy-duty equipment idling time to a period of 3 minutes or less, exceeding CARB regulation minimum requirements of 5 minutes. [COA] [PLANNING]

#### DC-4. DUST CONTROL:

At all times, the Bay Area Air Quality Management District's CEQA Guidelines and "Basic Construction Mitigation Measures Recommended for All Proposed Projects", shall be implemented. [COA] [PLANNING]

### PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

#### PF-1. COMPLETION OF PUBLIC IMPROVEMENTS:

Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy. [COA] [PUBLIC WORKS]

### APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

2016	CÁLIF, FIRE CODE
2016	CALIF, BLDG CODE
2016	CALIF, RESIDENTIAL CODE
2016	CÁLIF, MECH, CODE
2016	CALIF, PLUMB'G CODE
2016	CALIF, ELEC, CODE
2016	CALIF. ENERGY CODES
2016	CALIF, GREEN BUILDING CODES
	ANY OTHER APPLICABLE LOCAL
	# STATE LAWS # REGULATIONS.

4.304.1 Outdoor potable water use in landscape areas. After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options:

- 1. A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or
- 2. Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWELO's Appendix D Prescriptive
- Compliance Option. Notes:
- 1. The Model Water Efficient Landscape Ordinance (MWELO) and supporting documents are available at:
- www.water.ca.gov/wateruseefficiency/landscapeordinance/ 2. A water budget calculator is available at:

www.water.ca.gov/wateruseefficiency/landscapeordinance/ 4.406.1 Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition

- waste management ordinance; or
- 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.

4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or

4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, ass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

4.503.1 Fireplace. Any installed gas fireplace shall be a direct vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.

- 4.504.2 Finish material pollutant control.
- 4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits
- 4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits. 4.504.2.3 Aerosol paints and coatings. Aerosol paints and
- coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. 4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

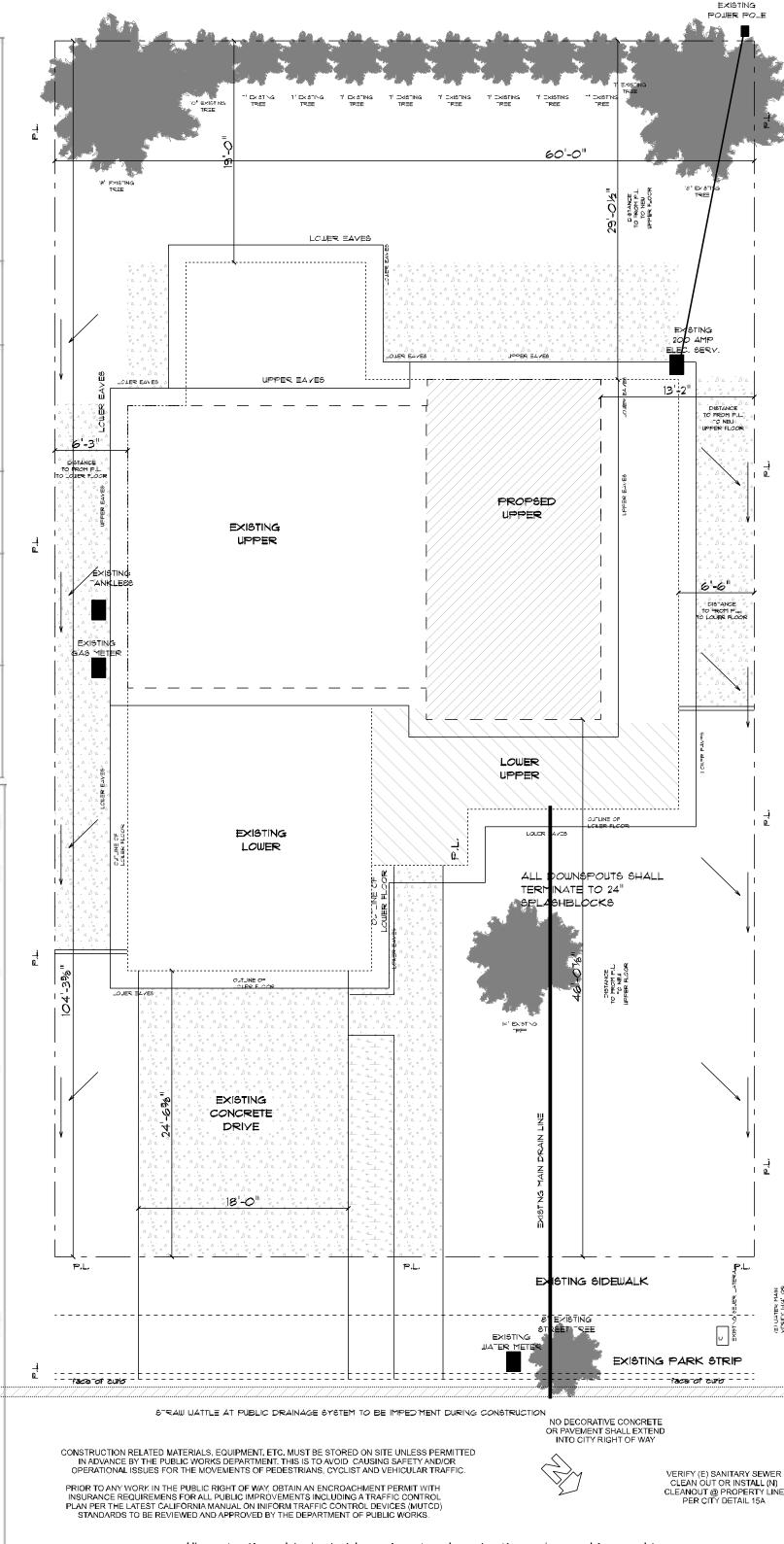
4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the

- following 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
- 3. NSFI ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage<sup>™</sup> Gold. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring

- shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High
- Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
- 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard
- Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350).

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

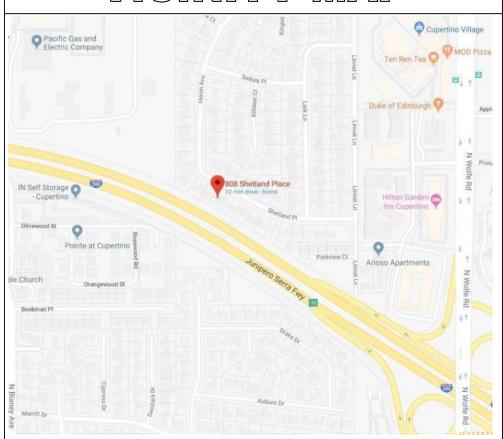


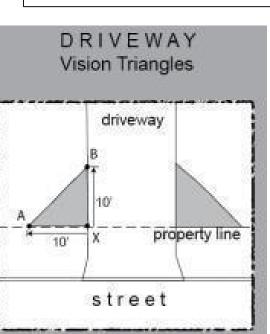
All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public right-of-ways or public easements.

> SITEPLAN SCALE: 1/8" = 1'-0"

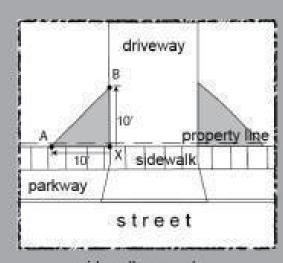


### VIGINITY MAP









#### sidewalk example

SITE GRADING AND PAVING WILL MANAGE SURFACE WATER ALIAY FROM BJ\_DINGS

EXISTING PUBLIC RIGHT OF WAY - ANY CONSTRUCTION WITHIN THE RIG-T-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRICE TO THE COMMENCEMENT OF THIS WORK . THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT SOUANCE BUT SHOUN ON "HE BUILDING PERMIT FOR NFORMATION ONLY.

WATER METER - CONTRACTOR TO COORDINATE (N.) METER UIT-LOCAL WATER COMPANY. IF REQUIRED BY INCREASED FIXTURE \_ÇAD

ELECTRICA\_ METER LOCATION - CONTRACTOR TO COORDINATE WITH PG4E FOR UPGRADE TO (E) ELECTRICAL SERVICE IF APP\_CAB\_E .

UFER GROUND CONNECTION PER CEC 250-52 F APPLICABLE. (E) TREE(S) TO REMAIN - PROTECTED AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF THE, SEE AIRPORTS REPORTS (IF PROVIDED) FOR ADDITIONAL INFORMATION.

-ARDSCAPE SLOPE ANAY FROM -OLSE AT 2% MIN.

(N) 36" MIN, DEEP LEVEL LANDING PER CRC 311.3 W STEPS ( MAX 1.15 RIGER ) - PROVIDE EQUAL RIGERS IF MORE THAN ONE

(N) A/C UNIT CONDENSER PAD(6) PROVIDE ELECTRICAL TO THIS \_OCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HYAC CONTRACTOR, A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE. IF APPLICABLE

CURB CUT PER LOCAL JUR SDICTION STANDARDS DETAIL, IF

NO CHANGES TO OVERALL GRADE VERIFY OR PROVIDE 5% SLOPE AWAY FROM THE BUILDING

APP\_CAB\_E

SLOPE AWAY FROM HOUSE AND AWAY FROM NEIGHBORS PROPERTY, ALL RUNOFF SHALL BE MAINTAINED ON SITE AND DRAING TO EXISTING LANDSCAPING



water is directed toward the side yard swales (along the common lot line) and out the front of the property toward the street.

### PERSONAE

OWNER SINGH RESIDENCE 808 SHETLAND PLACE SUNNYVALE, CA

#### DESIGNER

MEGAN MINER DESIGN MEGAN MINER 18488 PROSPECT RD. \*15 SARATOGA, CA 95070 (408) 396-0951

1623 WRIGHT AVE. (408) 735-1524

#### TITLE 24

JOSH MINER 2288 INCARUS DR. HERDERSON NY, 89704 (408) 394-6882

### GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MEGAN MINER DESIGN PRIOR TO COMMENCING,

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN, 5% 5'-O" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN, @ PAYED AREAS,

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIPLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.

ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY, MIN, 4" HIGH  $\times$  1" WIDE PER CRC R319. DUCT OPENING COVERED AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION

VOC COMPLIANCE - CAULKS, SEALANTS, ADHESIYES, COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER COMPOUNDS (TABLE 4.504,1)

PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4,504,3)

AEROSOLS AND COATINGS COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS VERIFICATION AND DOCUMENTATION OF YOC LIMITS AND FINISH MATERIALS

VOC COMPLIANCE - CARPET & CARPET SYSTEMS

STANDARDS, (TABLE 4.504.5)

80% FLOOR AREA RECEIVING REGILIENT FLOORING MEET VOC-EMISSION LIMITS PER CHP3 PARTICLEBOARD, MDF, HARDWOOD PLYWOOD COMPLY WITH LOW FORMALDEHYDE EMISSION

MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING: 1, ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J 2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ ACCA MANUAL D-2009

3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA MANUAL 5-2004 HVAC INSTALLERS TRAINED AND CERTIFIED

### NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES, IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MEGAN MINER DESIGN, AND REQUIRES ASSIGTANCE AS SOON AS POSSIBLE, IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MEGAN MINER DESIGN THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MEGAN MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MEGAN MINER DESIGN, APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MEGAN MINER DESIGN.

### ATTACHMENT 5

## A REMODEL FOR SINGH RESIDENCE

### ANAIVEIS

STRUCTURAL ENGINEER MHA CONSULTING ENGINEERS SUNNYVALE, CA. 94087

BATHROOM EXHAUST FANS TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL

ANALYSIS				
ASSESSOR'S PARCEL # LOT AREA:	205-040-40 6,180 S.F.			
ZONING:	, R-0			
TYPE OF CONSTRUCTION:	V-B			
	v-b R-3, U			
EXISTING USE: SINGLE	E FAMILY RES.			
SLOPE OF LOT	FLAT LOT			
EXISTING				
EXISTING LOWER FLOOR:	1450 S.F.			
EXISTING UPPER FLOOR:	630 S.F.			
TOTAL LIVING SQUARE FOOTAGE	2,080 S.F.			
EXISTING GARAGE:	480 S.F.			
NEW				
NEW LOWER LIVING	170 S.F.			
NEW UPPER LIVING	448 S.F.			
NEW COVERED PORCH:	75 S.F.			
TOTAL FLOOR AREA	3,253 S.F.			
MAX ALLOWABLE LOT COVERAGE = 40%	2,432 S.F.			
TOTAL LIVING 2,698 S.F. + GAI S.F. + (N) PORCH 75 S.F. =				
LOT COVERAGE FLOOR AREA	3,258 S.F. 51%			

### DRAWING SCHEDULE

INDEX - VICINITY MAP - ANALYSIS	1
CAL GREEN	2
EXISTING FLOOR PLAN	3
NEW FLOOR PLAN	4
EXISTING ELEVATIONS	5
NEW ELEVATIONS	6
STREET SCAPE	7
ROOF PLAN	8
P.M. SOLAR STUDY	9

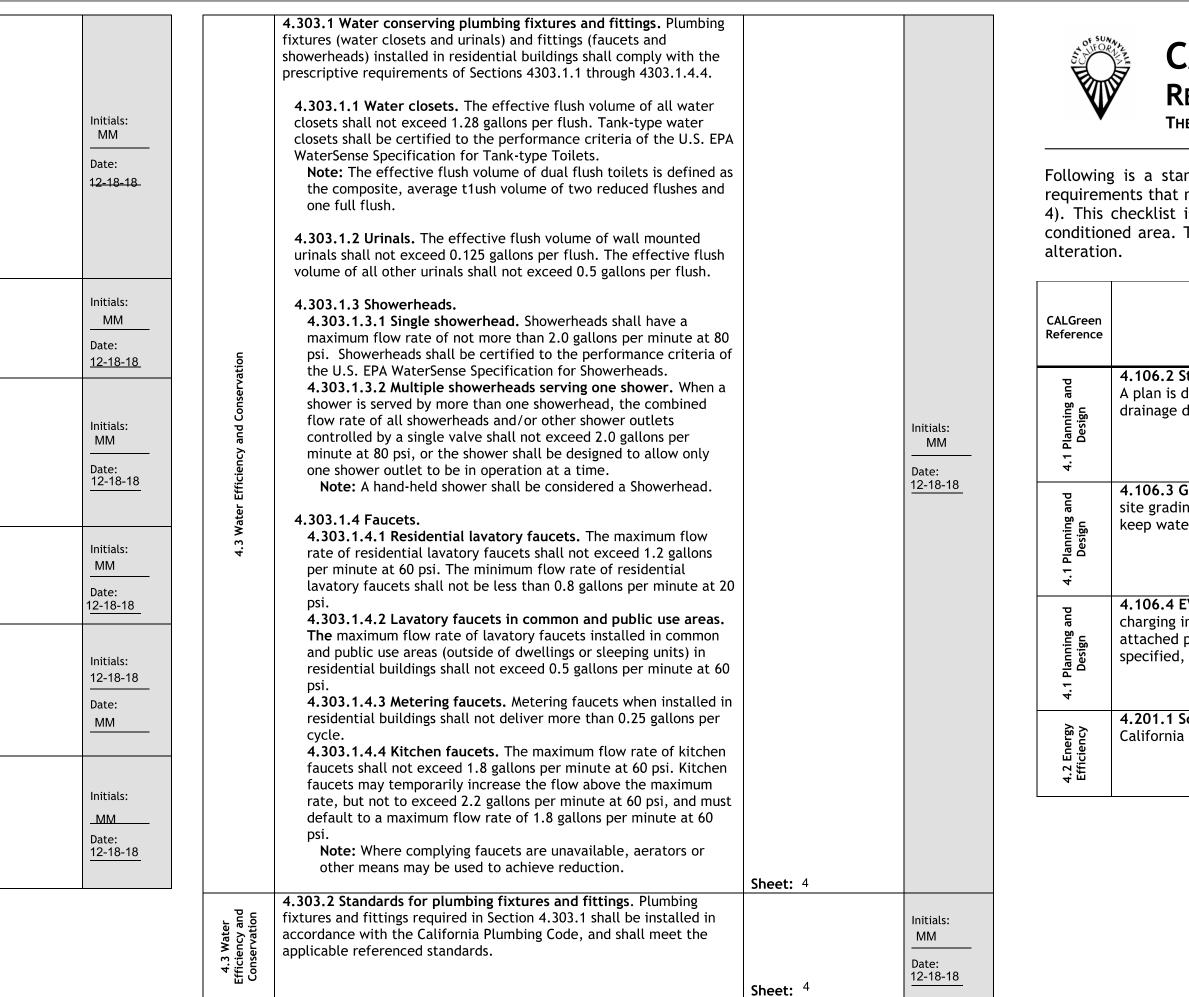
	ATTACHMENT 5 Page 1 of 9
]	REVI <b>SIONS BY</b>
	Tuesday, June 11, 2019
	THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN,
	Megan Mine
	18488 Prospect Rd. Suite 15, Saratoga, CA 95070 Megan@MeganMiner.com - 408.396.0951
	A Project for: SINGH RESIDENCE 808 SHETLAND PLACE SUNNYVALE, CA
	MM CHECKED MM
	DATE Tuesday, June 11, 2019 SCALE
	AS SHOWN JOB NO.
	PAGE:

DEX - VICINITY MAP - ANALYSIS

ttion	<b>4.304.1 Outdoor potable water use in landscape areas.</b> After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply	
4.3 Water Efficiency and Conservation	with one of the following options: 1. A local water efficient landscape ordinance or the current	
d Co	California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or	
y an	2. Projects with aggregate landscape areas less than 2,500 square	
cienc	feet may comply with the MWELO's Appendix D Prescriptive Compliance Option.	
Effic	Notes:	
/ater	<ol> <li>The Model Water Efficient Landscape Ordinance (MWELO) and supporting documents are available at:</li> </ol>	
4.3 ×	www.water.ca.gov/wateruseefficiency/landscapeordinance/	
	<ol> <li>A water budget calculator is available at: www.water.ca.gov/wateruseefficiency/landscapeordinance/</li> </ol>	Sheet: 1
	4.406.1 Rodent proofing. Annular spaces around pipes, electric	Sheet.
erial ation ource ncy	cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such	
4.4 Material Conservation and Resource Efficiency	openings with cement mortar, concrete masonry or a similar method	
4.4 Cor and Ef	acceptable to the enforcing agency.	Sheet: 1
	4.408.1 Construction waste management. Recycle and/or salvage	Sheet.
nd	for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following:	
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4.4 Material Conservation and Resource Efficiency	3. A waste management company, per Section 4.408.3; or	
<u> </u>	4. The waste stream reduction alternative, per Section 4.408.4.	Sheet: 1
e	4.410.1 Operation and maintenance manual. An operation and	
4.4 Material Conservation and Resource Efficiency	maintenance manual shall be provided to the building occupant or owner.	
4 Mat nserv d Res fficie		
an C 4		Sheet: 1
- <del>^</del>	4.410.2 Recycling by Occupants. Where 5 or more multifamily	
4.4 Material Conservation and Resource Efficiency	dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified	
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	<b>4.503.1 Fireplace</b> . Any installed gas fireplace shall be a direct vent	Sheet: 1
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4.5 Environmental Quality	pellet stoves and fireplaces shall also comply with applicable local ordinances.	
		Sheet: 1

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444 Building and Planning Division staff are available 8:00 a.m. - 12:30p.m. and 1:00pm - 5:00 p.m. www.SunnyvaleBuilding.com / www.SunnyvalePlanning.com

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Rev. 12/2016

Page 2 of 5

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444 Building and Planning Division staff are available 8:00 a.m. - 12:30p.m. and 1:00pm - 5:00 p.m.

www.SunnyvaleBuilding.com / www.SunnyvalePlanning.com

Rev. 12/2016

4.5 Environmental Quality	<ul> <li>4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.</li> <li>4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.</li> </ul>	Sheet: <sup>4</sup>	Initials: MM Date: 12-18-18
4.5 Environmental Quality	<ul> <li>4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods: <ol> <li>Establish heat loss and heat gain values according to ANSIIACCA 2 Manual J-2011 or equivalent.</li> <li>Size duct systems according to ANSI! ACCA 1 Manual D-2014 or equivalent.</li> <li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.</li> </ol> </li> </ul>	Sheet: 4	Initials: MM Date: 12-18-18
Chapter 7 Installer and Special Inspector Qualifications	<ul> <li>702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.</li> <li>702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.</li> <li>703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.</li> </ul>	Sheet: 4	Initials: MM Date: 12-18-18



#### One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444

Building and Planning Division staff are available 8:00 a.m. - 12:30p.m. and 1:00pm - 5:00 p.m. www.SunnyvaleBuilding.com / www.SunnyvalePlanning.com

Rev. 12/2016

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**ATTACHMENT 5** Page 2 of 9

REVISIONS BY

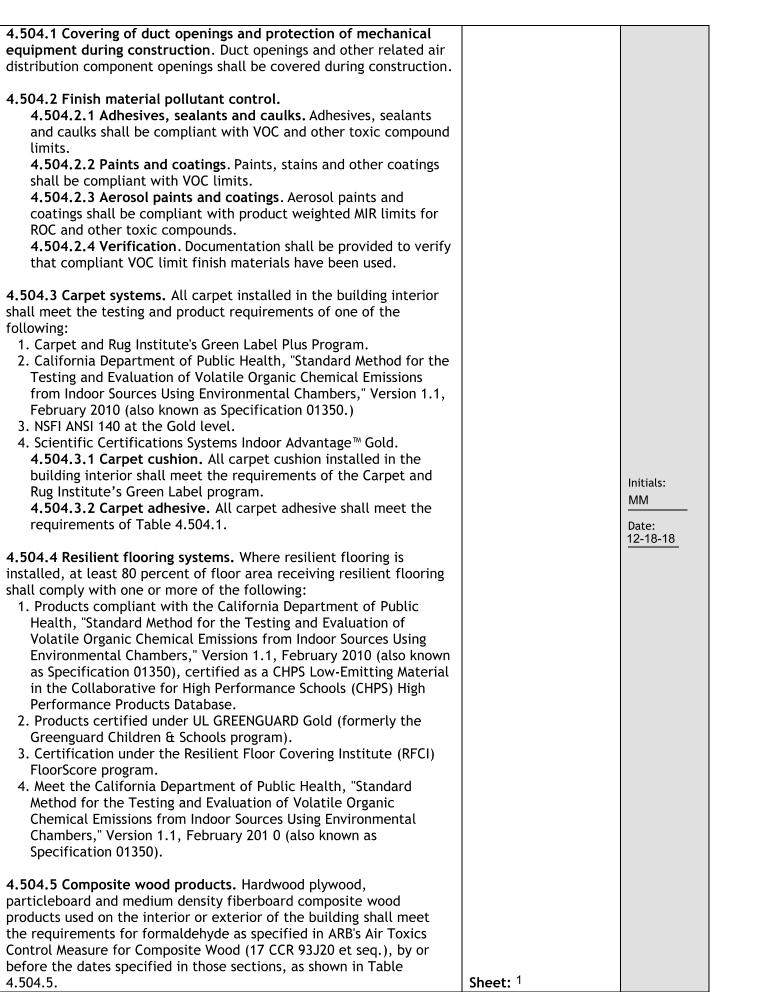
### CALGREEN MANDATORY CHECKLIST

#### **RESIDENTIAL PROJECTS**

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2017

Following is a standardized checklist of the 2016 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or

Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
Storm water drainage and retention during construction. developed and implemented to manage storm water during construction.	Sheet: <sup>1</sup>	Initials: <u>MM</u> Date: <u>12-18-18</u>
<b>Grading and paving</b> . Construction plans shall indicate how ing or a drainage system will manage all surface water flows er from entering buildings.	Sheet: 1	Initials: <u>MM</u> Date: <u>12-18-18</u>
<b>EV Charging.</b> Provide capability for electric vehicle in one- and two-family dwellings and in townhouses with private garages; and 12.5% of total parking spaces, as , for multi-family dwellings.	Sheet: <sup>4</sup>	Initials: <u>MM</u> Date: <u>12-18-18</u>
<b>Scope</b> Building meets or exceeds the requirements of the a Building Energy Efficiency Standards	Sheet: <sup>1</sup>	Initials: MM Date: 12-18-18



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uesday, June 11, 2019 THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN. ESIDENCE SUNNYVALE, CA for さ Ð ī  $\mathbf{K}$   $\sim$ Р Тш Ū ₽ **PLA**  $\circ$ AN A SHET 808 MM CHECKED MM Tuesday, June 11, 2019 SCALE

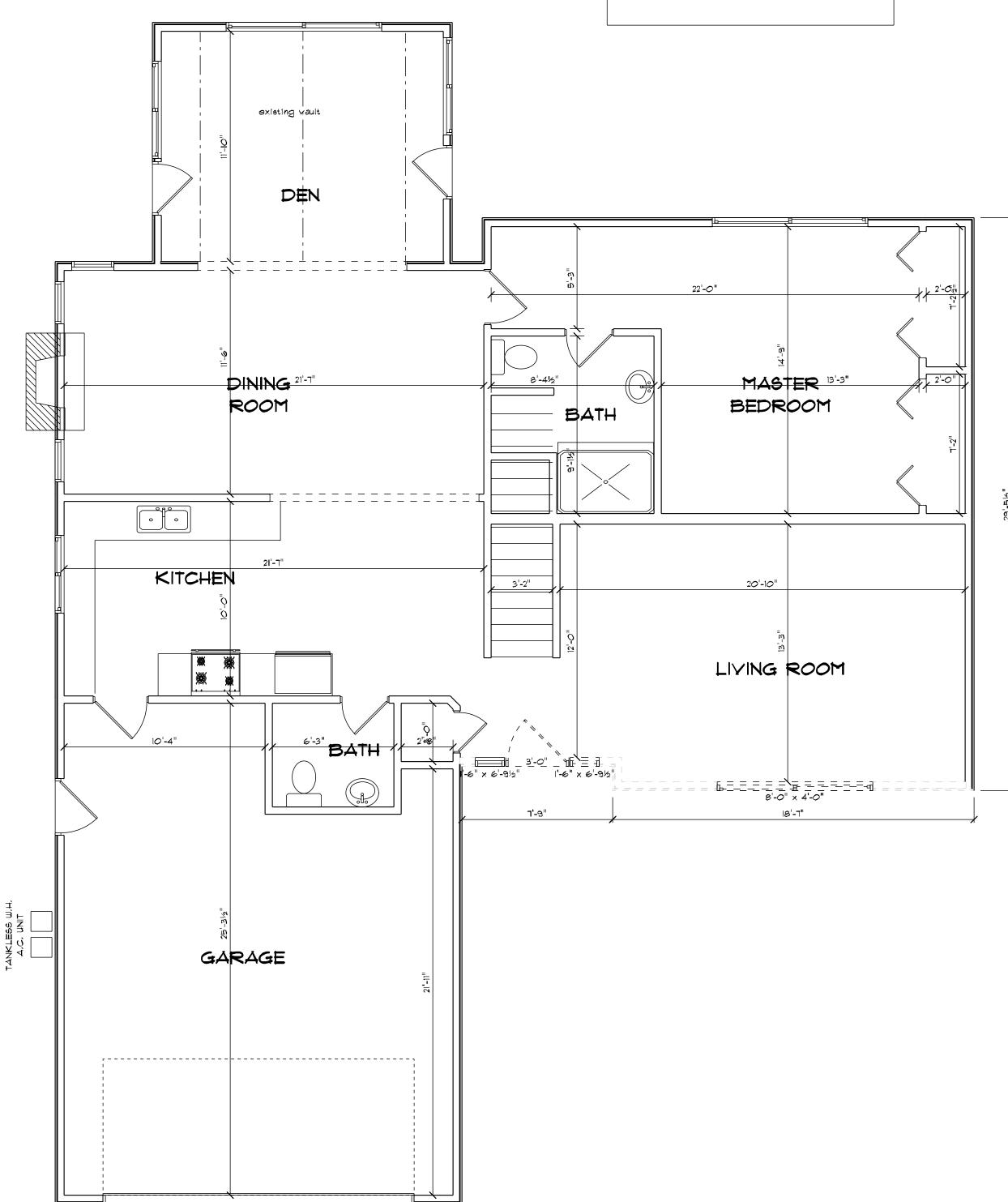
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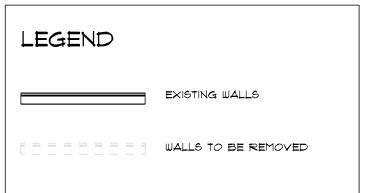
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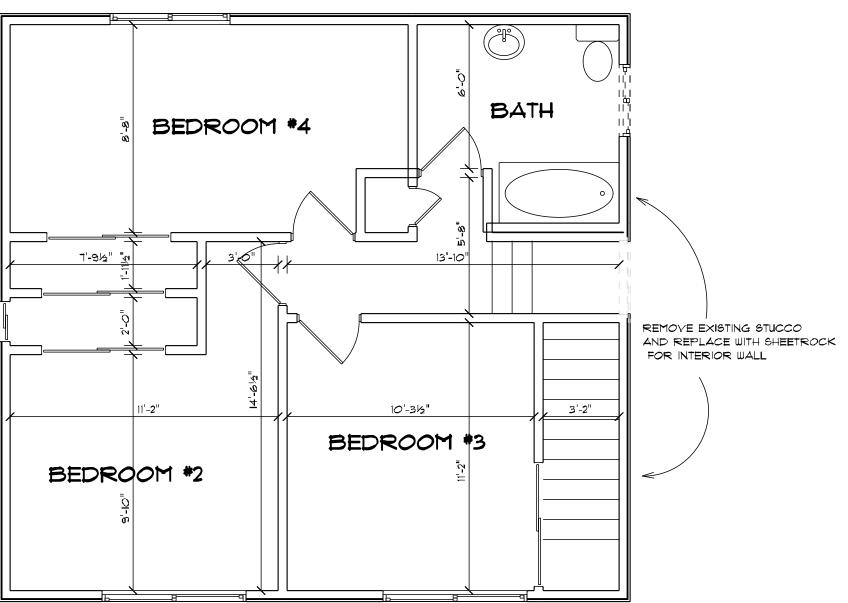
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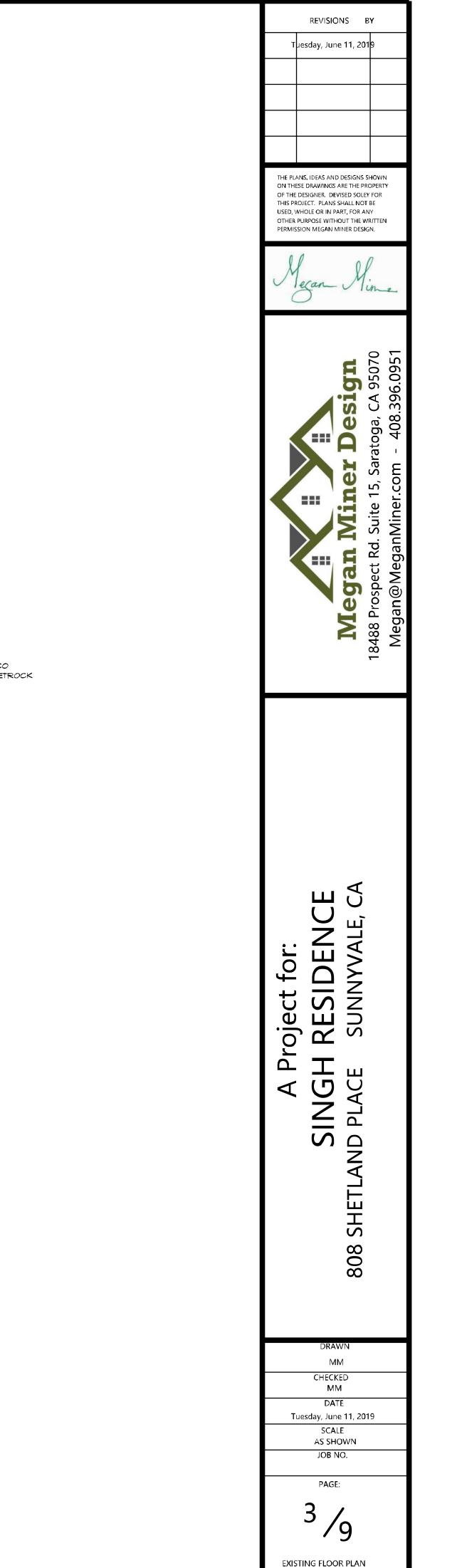
JOB NO.











ATTACHMENT 5

Page 3 of 9

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.

4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA

WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average t1ush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

#### 4.303.1.3 Showerheads.

4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a Showerhead.

#### 4.303.1.4 Faucets.

4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60

4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.

4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.

4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.

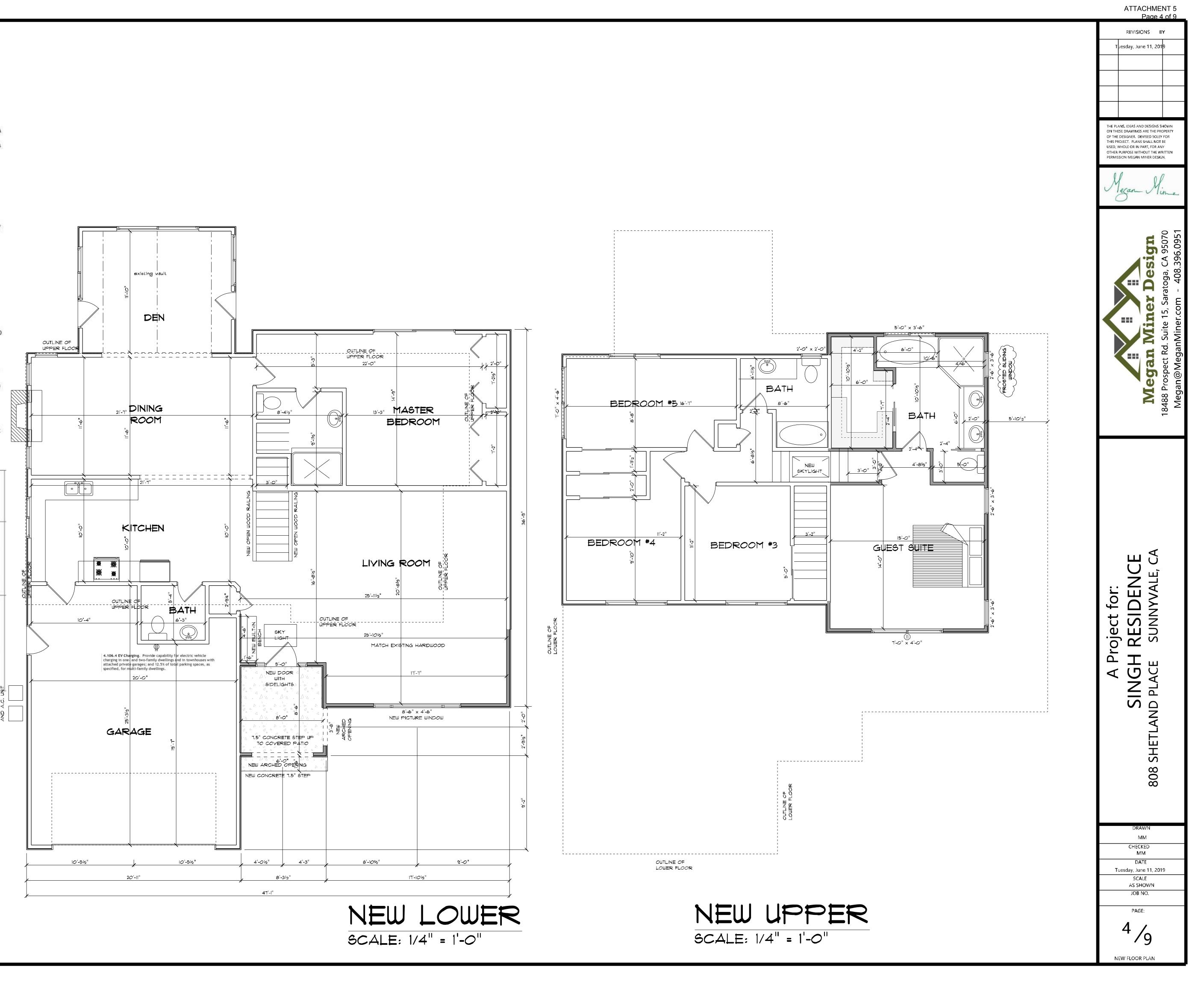
4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods:

- Establish heat loss and heat gain values according to ANSIIACCA 2 Manual J-2011 or equivalent.
- Size duct systems according to ANSI! ACCA 1 Manual D-2014 or equivalent.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.

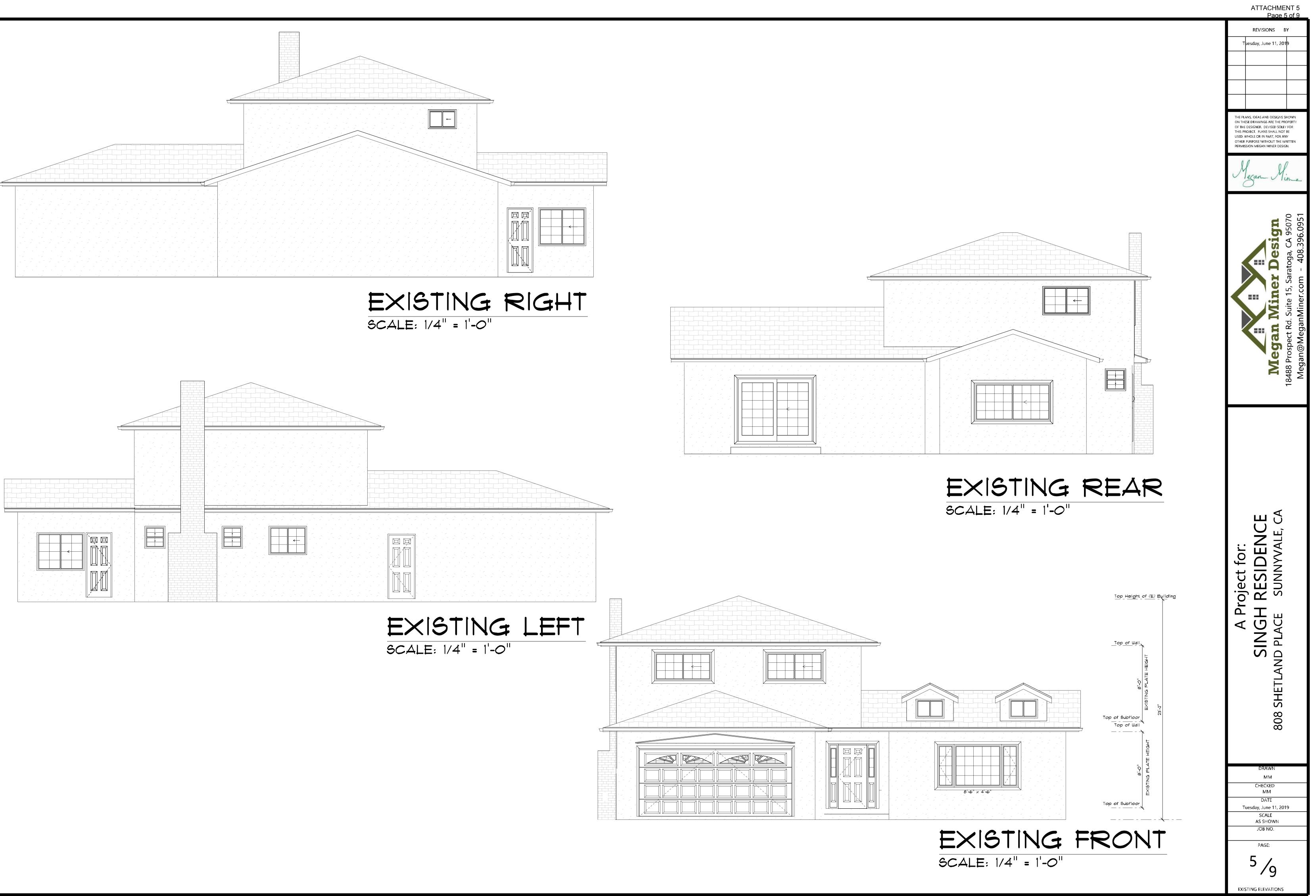
702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.

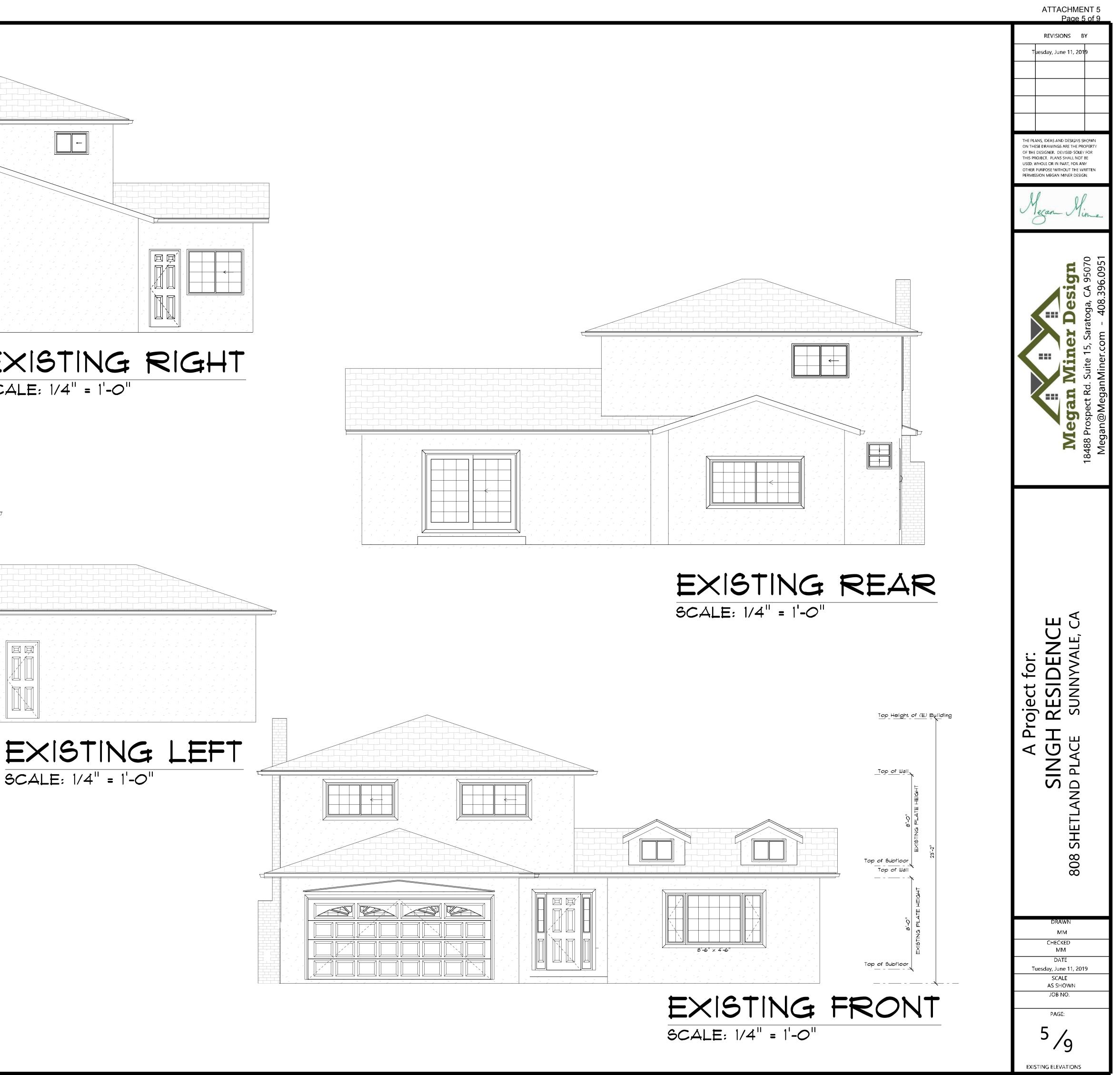
702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.

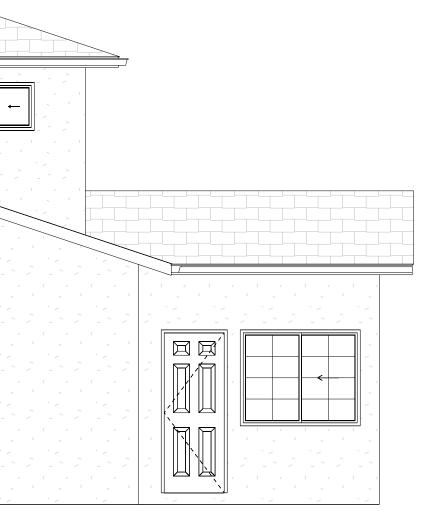
**703.1 Documentation**. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.

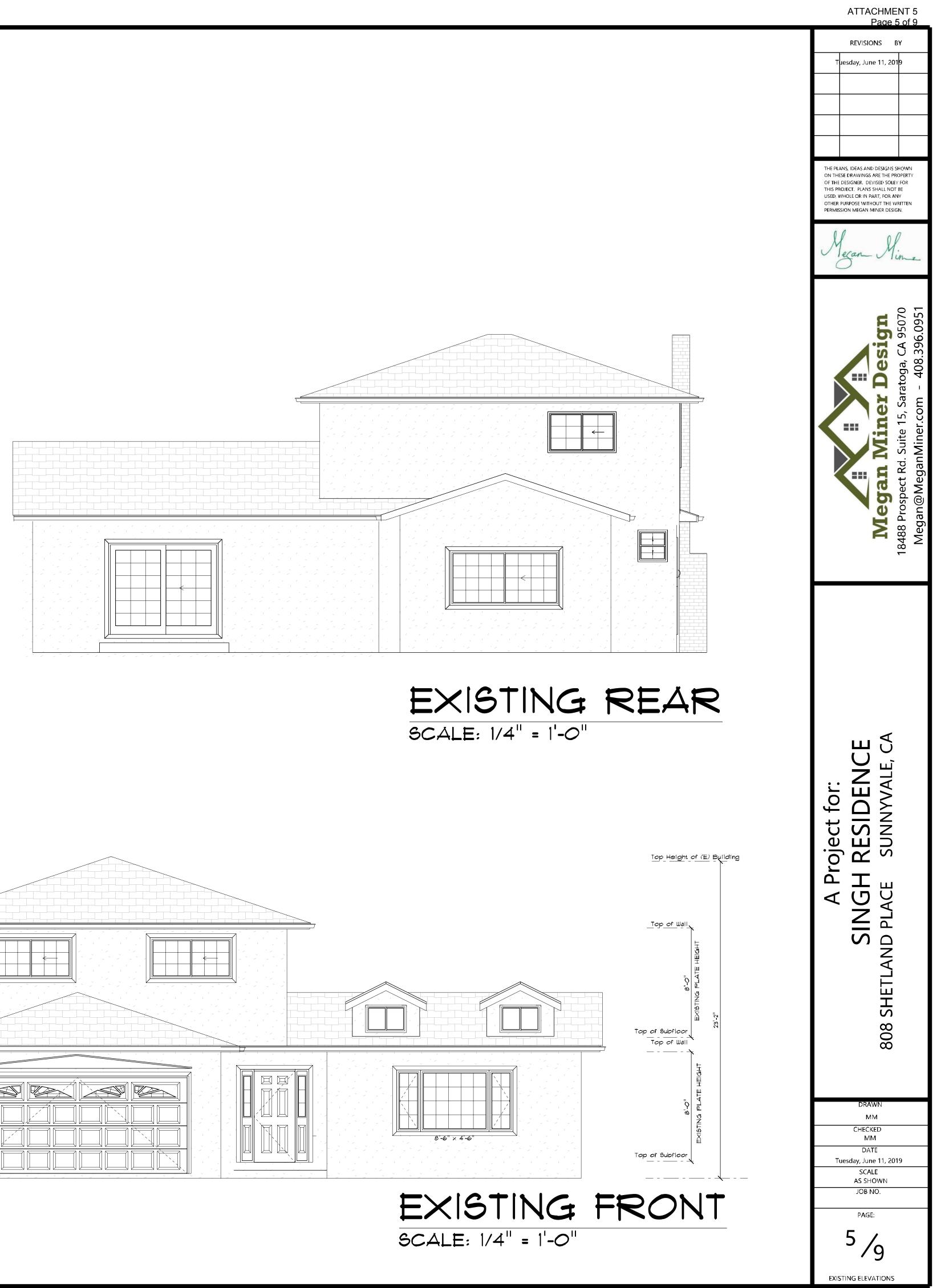


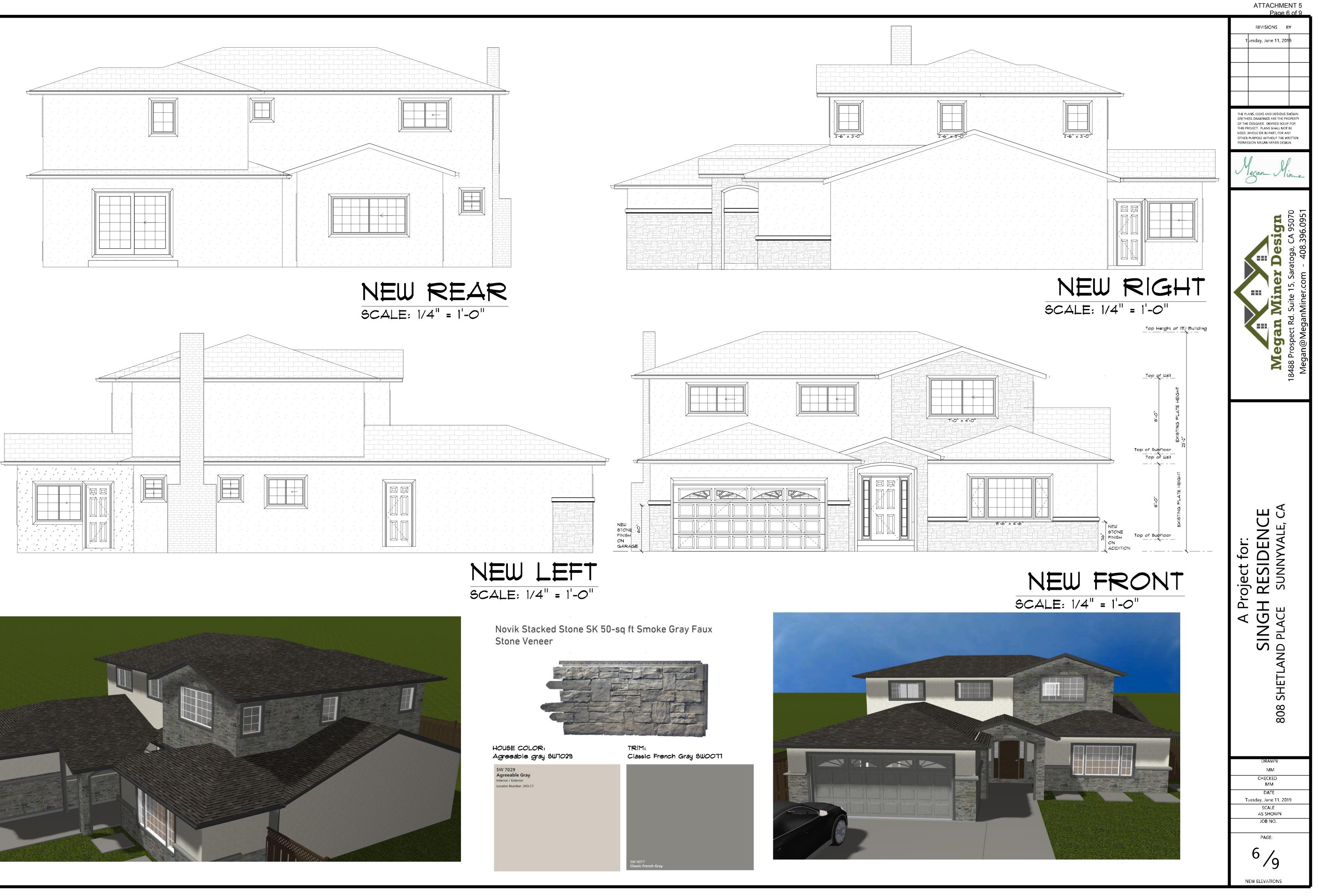


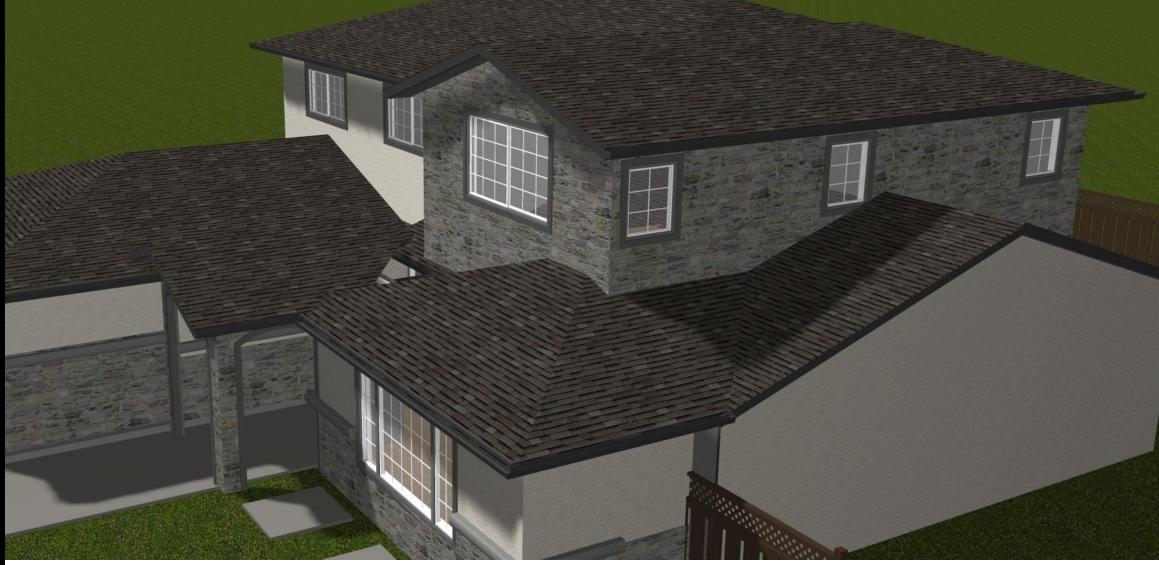




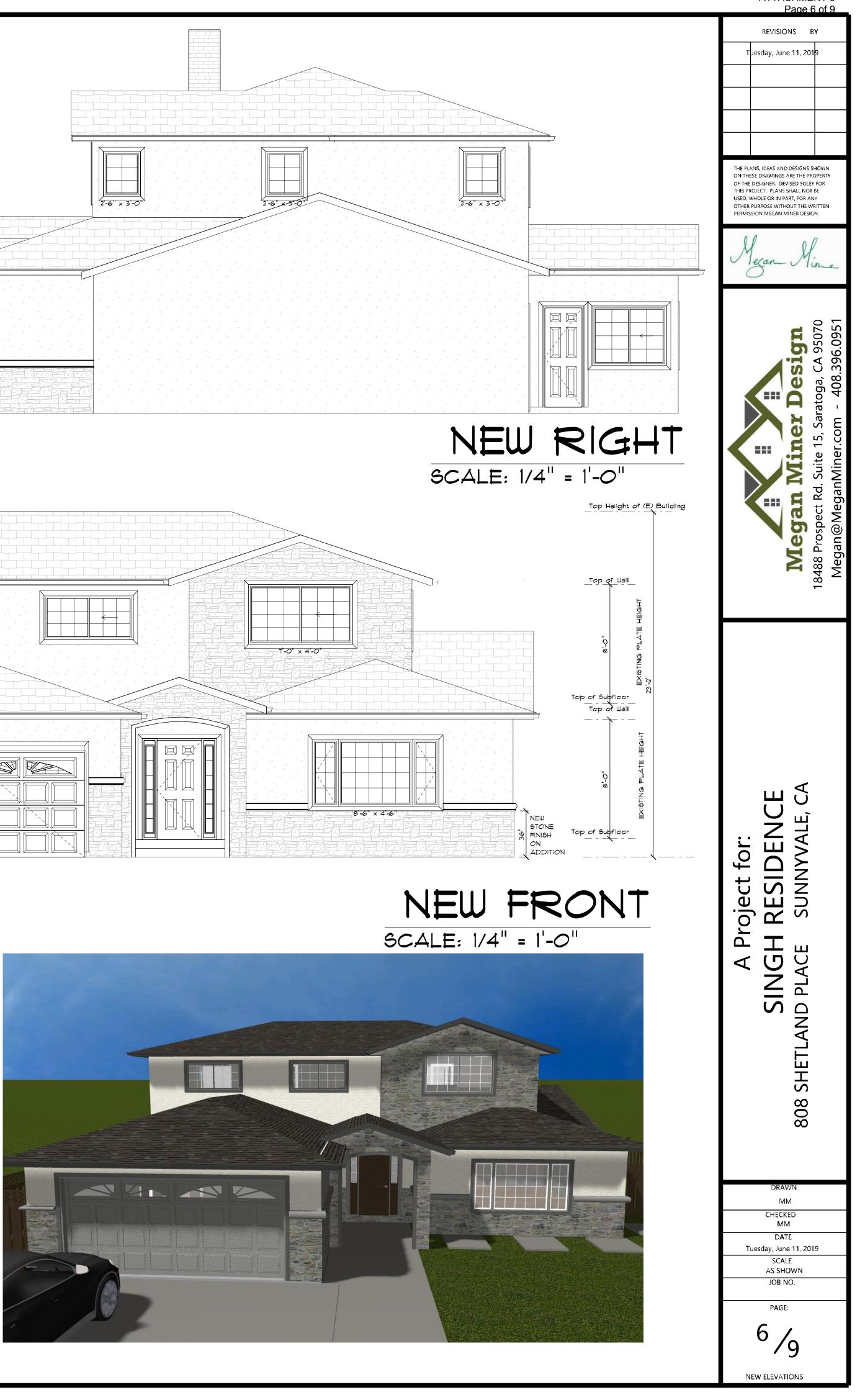


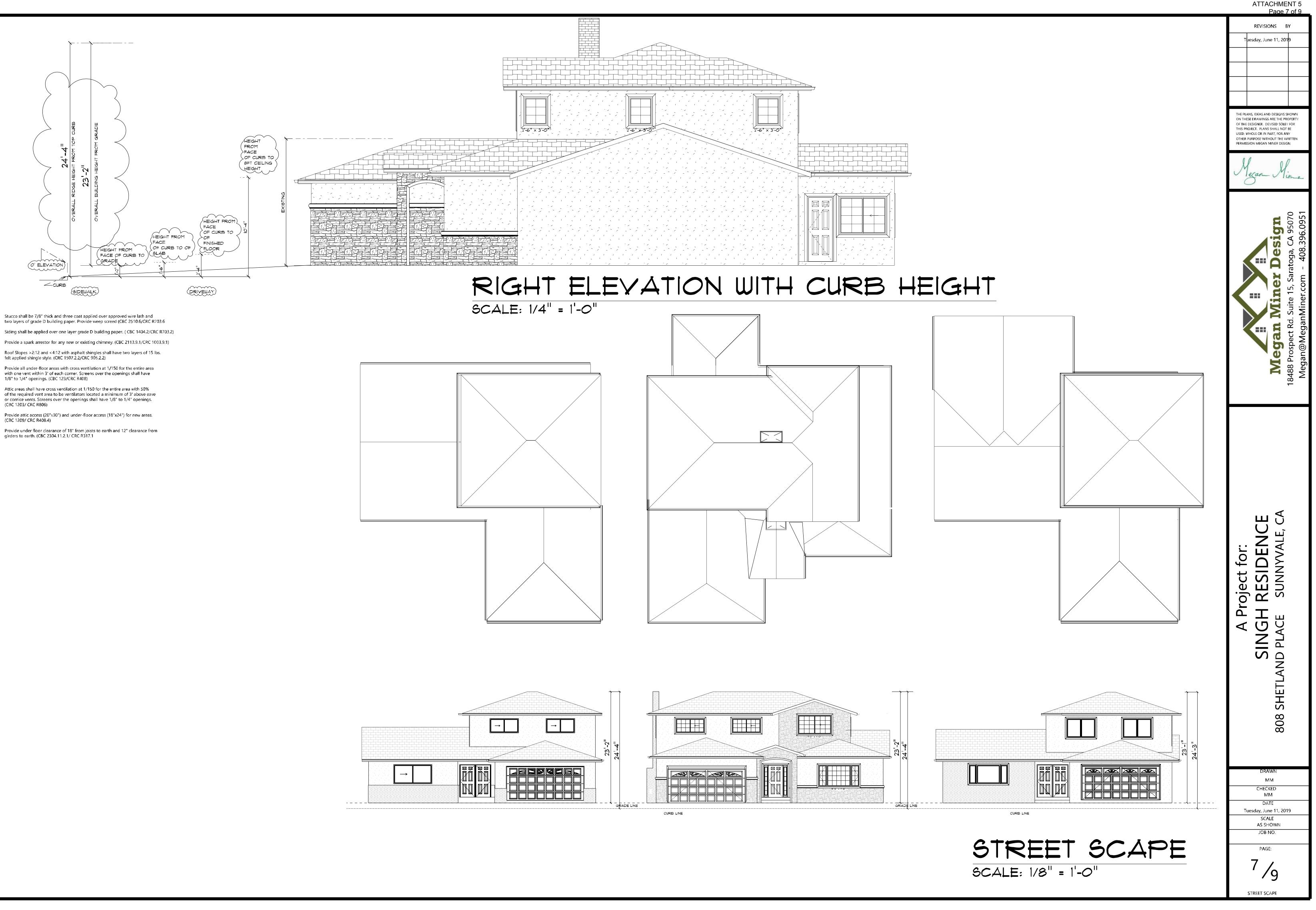












Stucco shall be 7/8" thick and three coat applied over approved wire lath and two layers of grade D building paper. Provide weep screed (CBC 2510.6/CRC R703.6

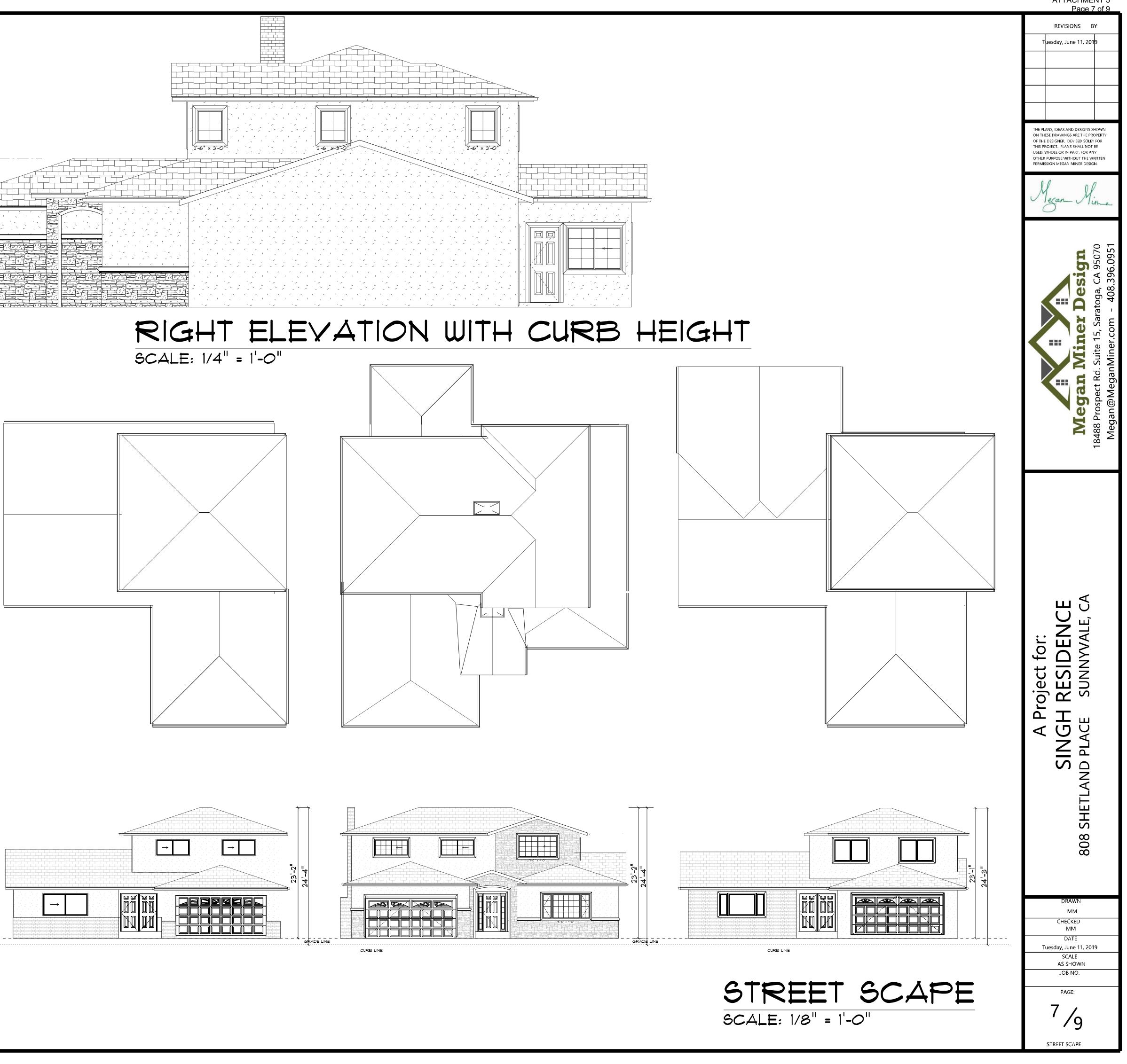
Provide a spark arrestor for any new or existing chimney. (CBC 2113.9.1/CRC 1003.9.1)

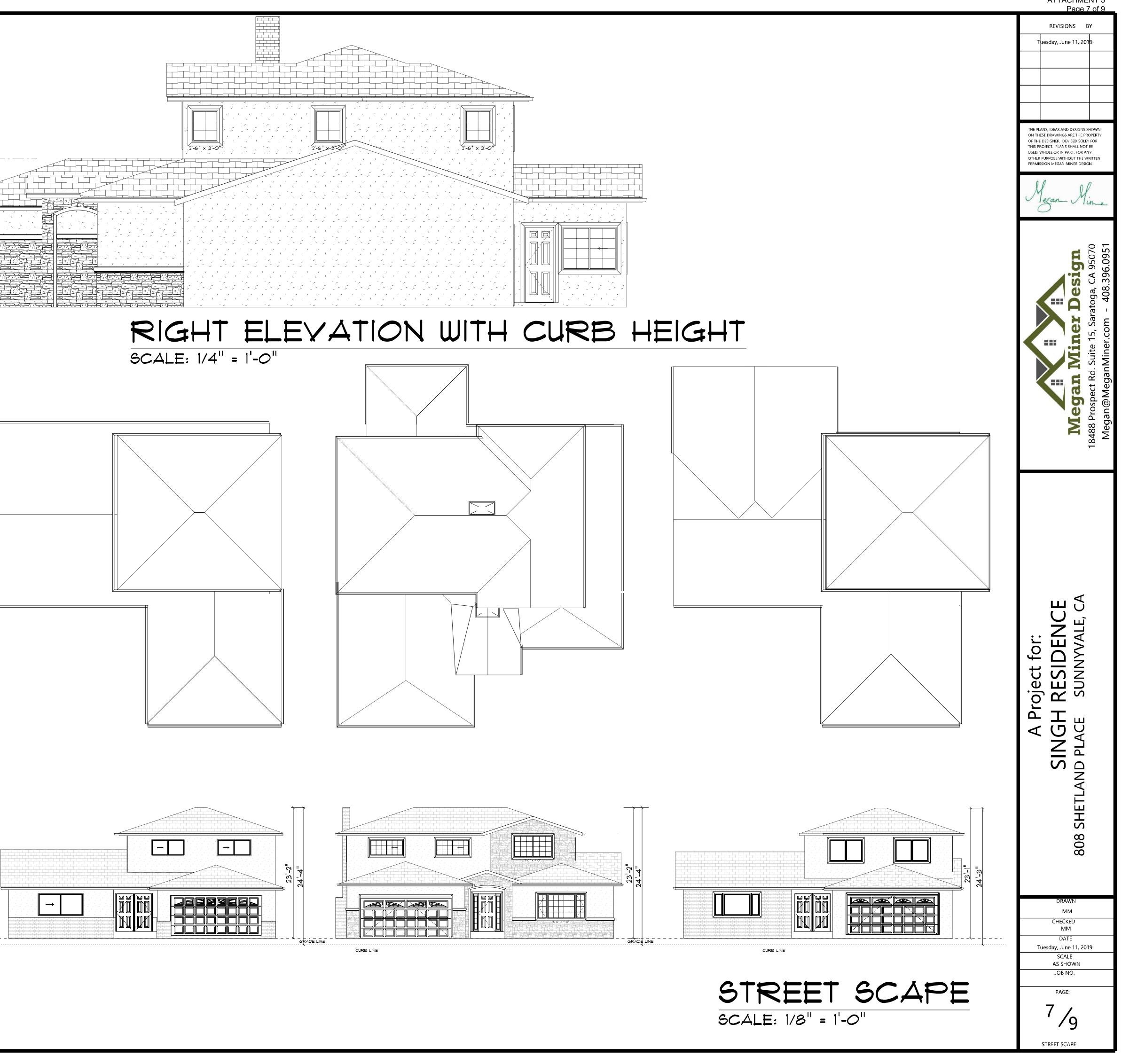
with one vent within 3' of each corner. Screens over the openings shall have 1/8" to 1/4" openings. (CBC 123/CRC R408)

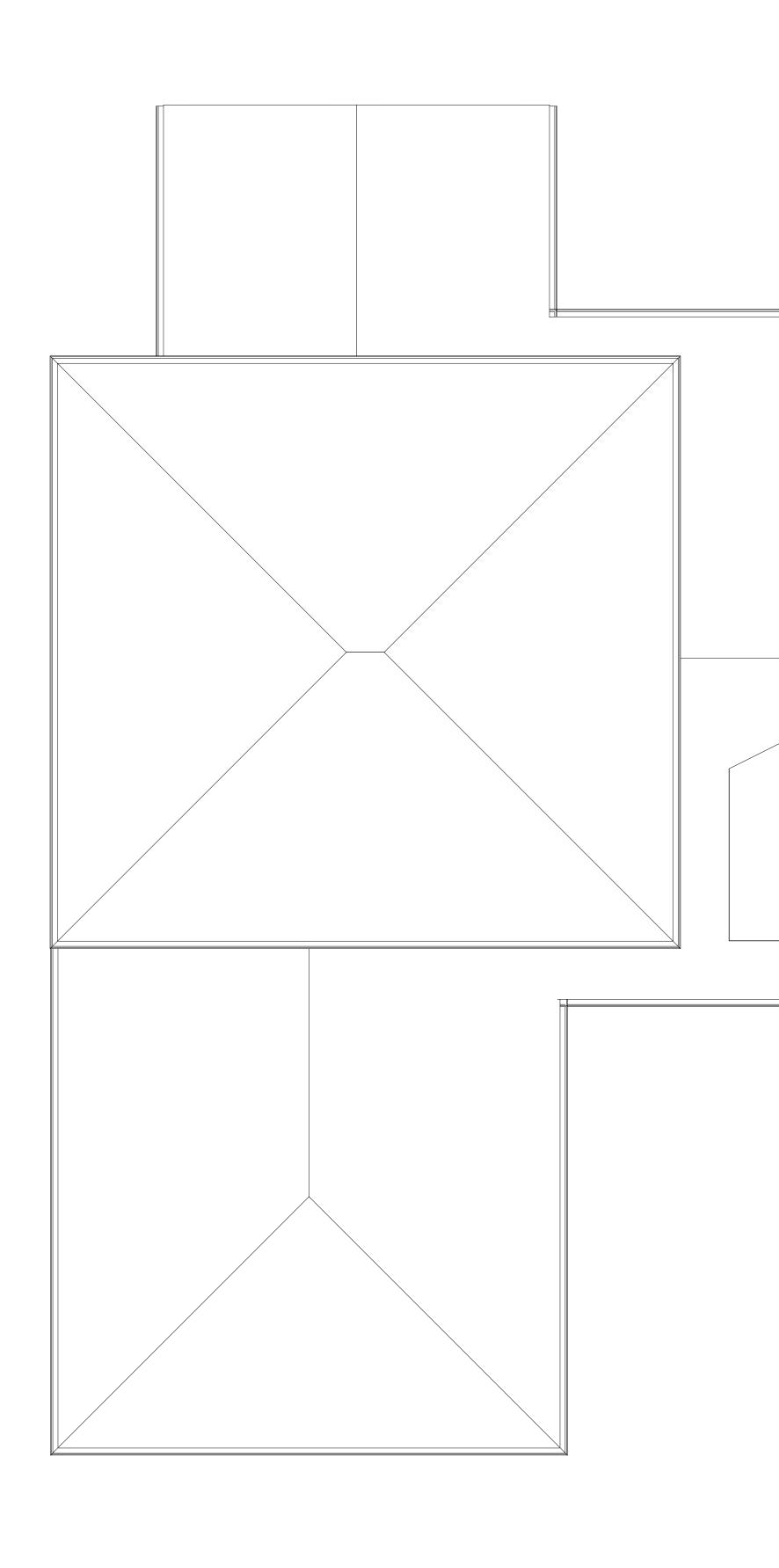
of the required vent area to be ventilators located a minimum of 3' above eave or cornice vents. Screens over the openings shall have 1/8" to 1/4" openings. (CBC 1203/ CRC R806)

(CBC 1209/ CRC R408.4)

girders to earth. (CBC 2304.11.2.1/ CRC R317.1

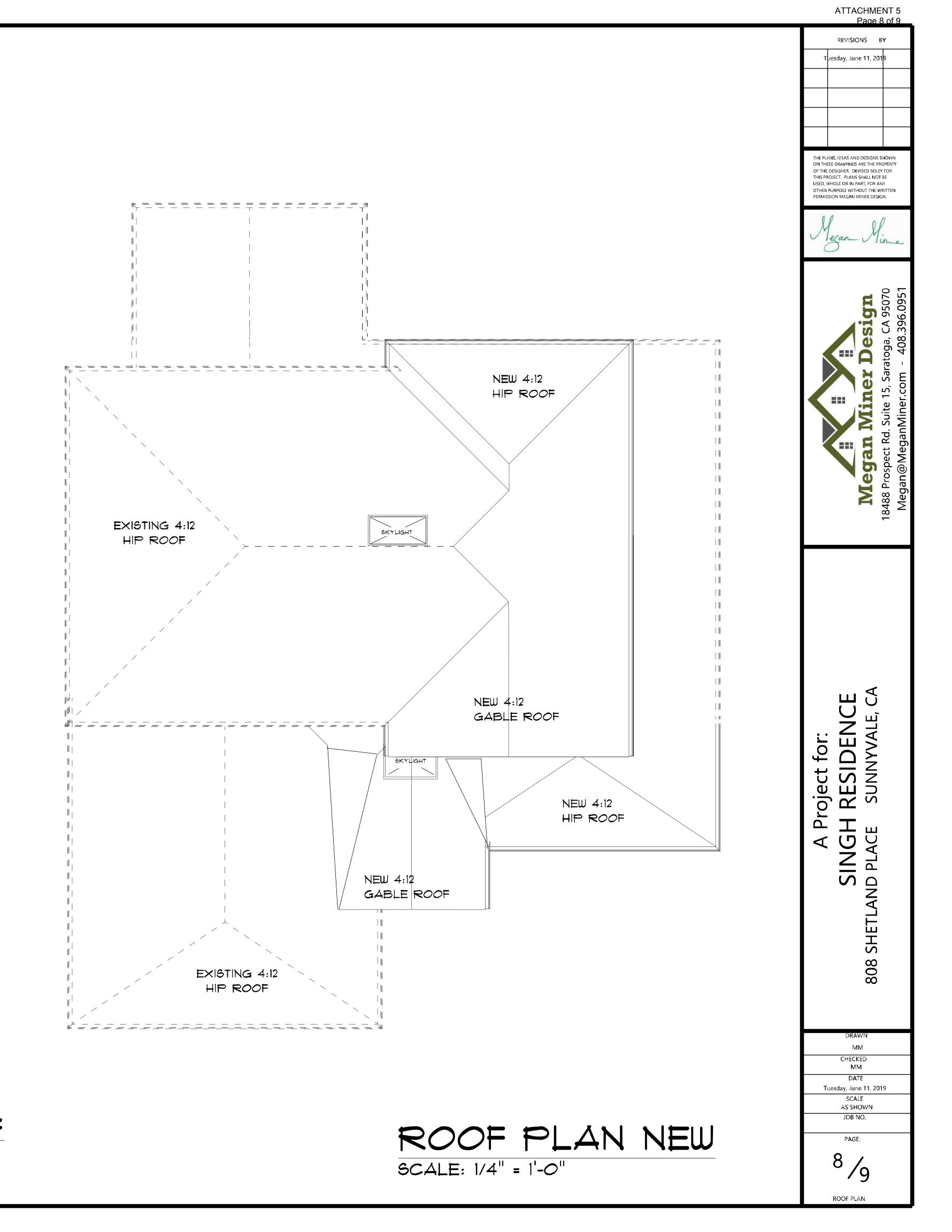




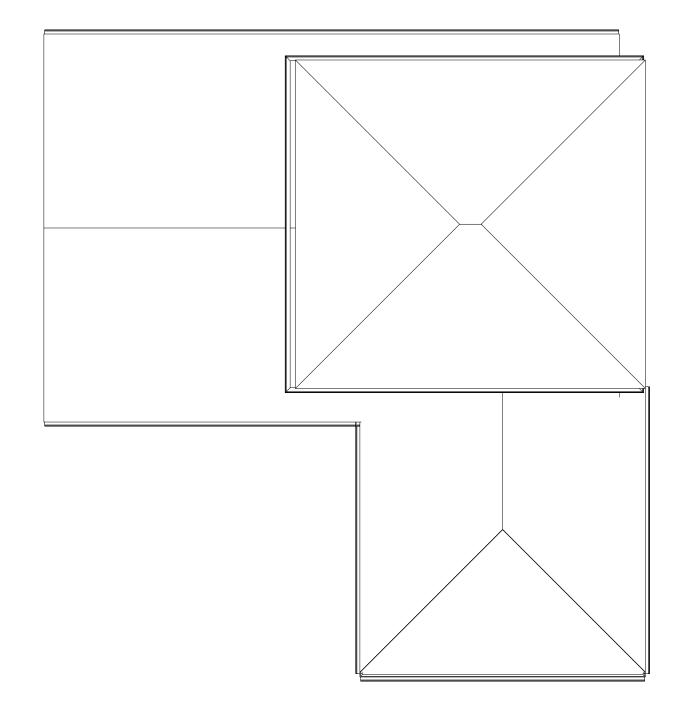




# ROOF PLAN EXISTING

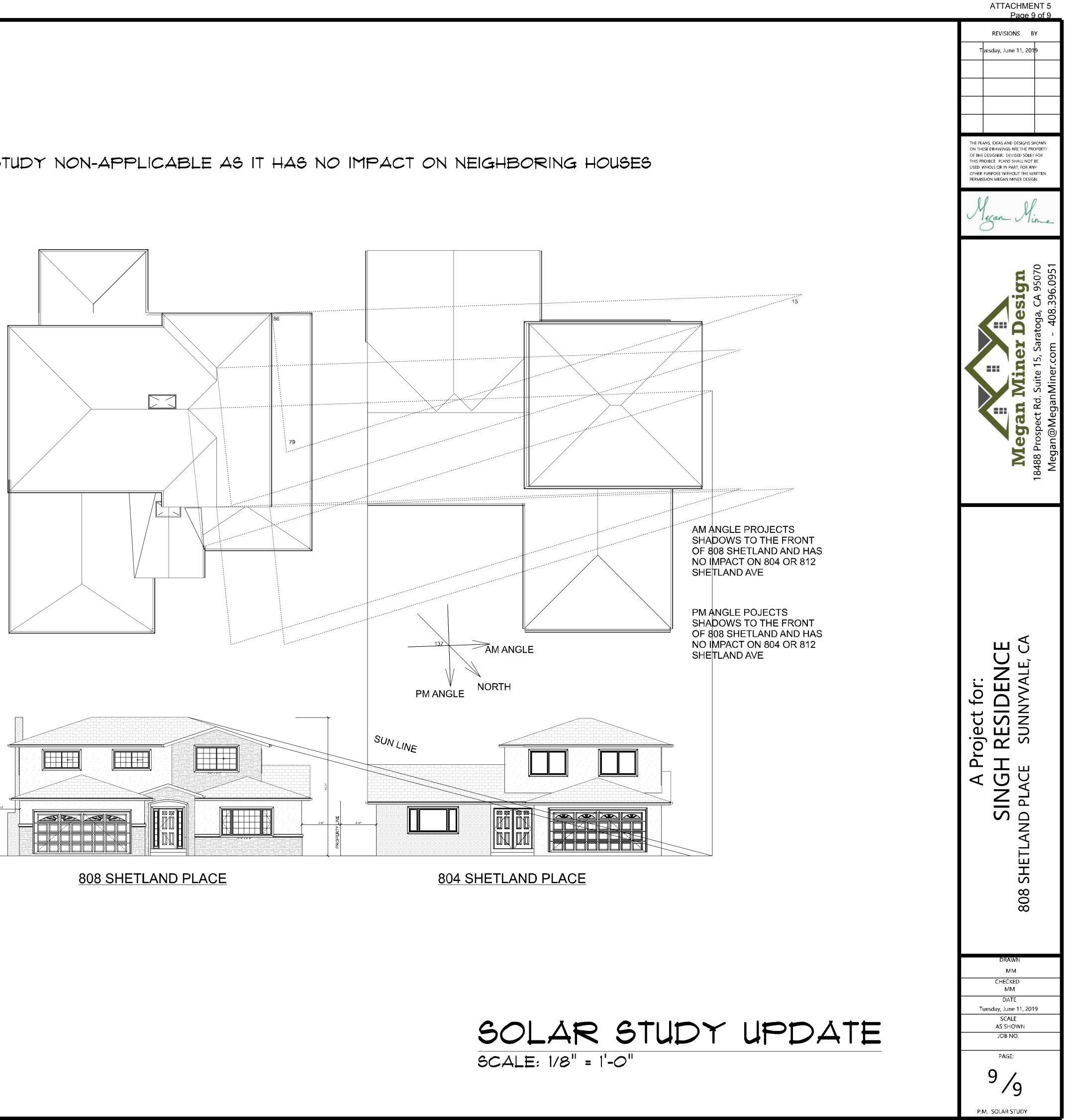


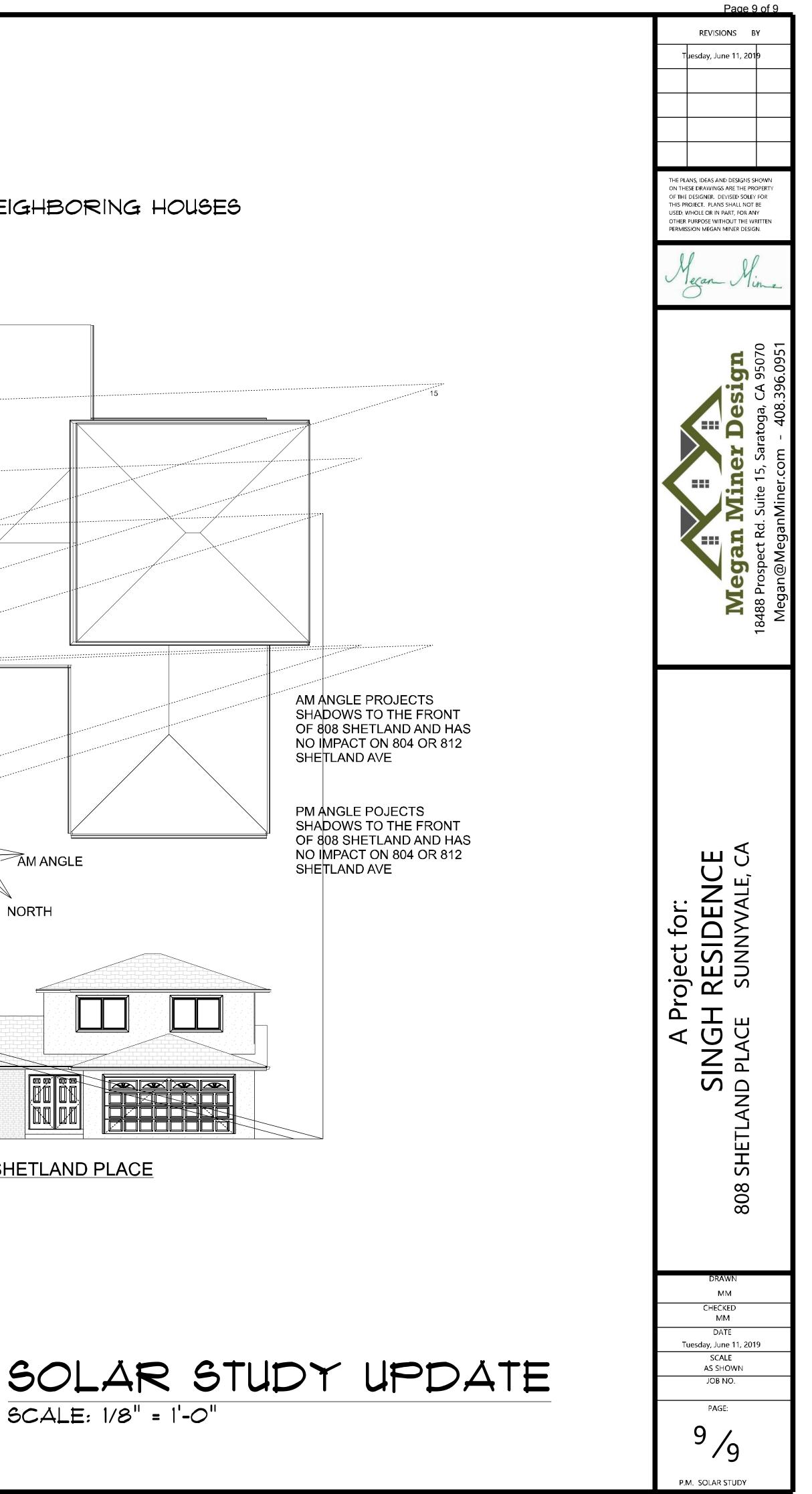
P.M. SOLAR STUDY NON-APPLICABLE AS IT HAS NO IMPACT ON NEIGHBORING HOUSES





812 SHETLAND PLACE





APN	Address	Zoning	Year Built	Stories	Lot Size	Living Area	Garage	Floor Area	FAR	Notes
31627004	1745 Heron Av	RO	1959	1	8,680	2,347	0	2,347	27.0%	
31627005	1749 Heron Av	RO	1959	1	6,498	1,644	420	2,064	31.8%	
31627006	1753 Heron Av	RO	1959	1	6,820	1,545	441	1,986	29.1%	
31627007	1757 Heron Av	RO	1959	2	5,500	2,629	420	3,049	55.4%	
31627008	1761 Heron Av	RO	1959	1	6,600	1,545	441	1,986	30.1%	
31627009	1762 Heron Av	RO	1959	1	7,320	1,644	420	2,064	28.2%	
31627010	1758 Heron Av	RO	1959	1	7,320	1,545	441	1,986	27.1%	
31627011	1754 Heron Av	RO	1959	1	7,320	1,644	420	2,064	28.2%	
31627012	1750 Heron Av	RO	1959	1	7,920	1,788	418	2,206	27.9%	
31627013	806 Selkirk Pl	RO	1959	1	8,840	2,024	480	2,504	28.3%	
31627014	1741 Killdeer Ct	RO	1959	1	7,503	2,026	0	2,026	27.0%	
31627015	1745 Killdeer Ct	RO	1959	1	8,125	2,044	420	2,464	30.3%	
31627016	1749 Killdeer Ct	RO	1959	1	9,017	2,490	418	2,908	32.3%	
31627017	1753 Killdeer Ct	RO	1959	1	7,040	1,644	420	2,064	29.3%	
31627018	1757 Killdeer Ct	RO	1959	2	7,920	2,796	420	3,216	40.6%	
31627019	1761 Killdeer Ct	RO	1959	1	8,320	2,162	420	2,582	31.0%	
31627020	1765 Killdeer Ct	RO	1959	1	7,198	1,760	418	2,178	30.3%	
31627021	1770 Killdeer Ct	RO	1960	1	8,395	1,545	504	2,049	24.4%	
31627022	1766 Killdeer Ct	RO	1960	1	12,000	1,969	441	2,410	20.1%	
31627023	1762 Killdeer Ct	RO	1960	1	7,705	1,606	418	2,024	26.3%	
31627024	1758 Killdeer Ct	RO	1960	2	7,198	2,397	420	2,817	39.1%	
31627025	1754 Killdeer Ct	RO	1960	1	7,380	1,545	504	2,049	27.8%	
31627026	1750 Killdeer Ct	RO	1960	2	8,316	2,799	399	3,198	38.5%	
31627027	1746 Killdeer Ct	RO	1959	1	8,190	1,644	420	2,064	25.2%	
31627028	814 Selkirk Pl	RO	1960	1	10,120	1,879	418	2,297	22.7%	
31627029	1751 Lark Ln	RO	1960	1	7,458	2,042	441	2,483	33.3%	
31627030	1755 Lark Ln	RO	1959	1	7,080	1,644	420	2,064	29.2%	
31627031	1759 Lark Ln	RO	1960	1	7,080	1,545	504	2,049	28.9%	
31627032	1763 Lark Ln	RO	1960	1	6,324	1,966	418	2,384	37.7%	

APN	Address	Zoning	Year Built	Stories	Lot Size	Living Area	Garage	Floor Area	FAR	Notes
31627033	1764 Lark Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31627034	1760 Lark Ln	RO	1962	1	6,820	1,586	476	2,062	30.2%	
31627035	1756 Lark Ln	RO	2001	2	6,895	3,451	507	3,958	57.4%	High FAR; #2000-0119
31627036	1752 Lark Ln	RO	1962	2	6,820	1,828	507	2,335	34.2%	
31627044	1757 Linnet Ln	RO	1962	1	6,820	1,586	476	2,062	30.2%	
31627045	1761 Linnet Ln	RO	1962	2	6,820	1,828	507	2,335	34.2%	
31627046	1765 Linnet Ln	RO	1962	2	6,600	2,435	507	2,942	44.6%	
31627061	1767 Lark Ln	RO	1962	1	7,080	1,586	476	2,062	29.1%	
31627062	1771 Lark Ln	RO	1962	2	8,142	1,828	507	2,335	28.7%	
31627063	1775 Lark Ln	RO	1962	2	7,080	2,919	507	3,426	48.4%	
31627064	1779 Lark Ln	RO	1962	2	6,960	2,048	507	2,555	36.7%	
31627065	1783 Lark Ln	RO	1962	2	6,600	1,922	507	2,429	36.8%	
31627066	1787 Lark Ln	RO	1962	2	7,100	1,828	507	3,111	43.8%	Project#2016-7840
31627067	1789 Lark Ln	RO	1962	2	6,510	1,828	507	2,335	35.9%	
31627068	835 Shetland Pl	RO	1962	1	8,680	2,016	476	2,492	28.7%	
31627069	831 Shetland Pl	RO	1962	1	10,019	1,964	476	2,440	24.4%	
31627070	829 Shetland Pl	RO	1962	2	8,700	3,329	507	3,836	44.1%	Project#2006-0649
31627071	823 Shetland Pl	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31627072	819 Shetland Pl	RO	1962	2	6,300	1,828	507	2,335	37.1%	
31627073	815 Shetland Pl	RO	1962	2	7,140	1,828	507	2,335	32.7%	
31627074	811 Shetland Pl	RO	1962	1	8,060	1,586	476	2,062	25.6%	
31627075	807 Shetland Pl	RO	1962	2	8,820	1,828	507	2,335	26.5%	
31627076	1770 Heron Av	RO	1962	1	7,320	1,958	507	2,465	33.7%	
31627077	1766 Heron Av	RO	1962	1	7,320	2,000	476	2,476	33.8%	
31627078	1765 Heron Av	RO	1987	2	7,150	3,208	855	4,063	56.8%	High Floor Area
31627079	1767 Heron Av	RO	1962	1	7,590	1,820	476	2,296	30.3%	
31627080	1773 Heron Av	RO	1962	2	7,452	2,268	507	2,775	37.2%	
31627081	1775 Heron Av	RO	1962	2	7,884	2,090	507	2,597	32.9%	
31627082	1779 Heron Av	RO	1962	1	8,640	1,586	476	2,062	23.9%	

APN	Address	Zoning	Year Built	Stories	Lot Size	Living Area	Garage	Floor Area	FAR	Notes
31627083	800 Shetland Pl	RO	1962	2	7,350	1,828	507	2,335	31.8%	
31627084	804 Shetland Pl	RO	1962	2	6,300	2,486	507	2,993	47.5%	
31627085	808 Shetland Pl	RO	1962	2	6,180	2,698	480	3,178	51.4%	Proposed Project
31627086	812 Shetland Pl	RO	1962	2	6,060	1,828	507	2,335	38.5%	
31627087	818 Shetland Pl	RO	1962	2	6,000	1,828	507	2,335	38.9%	
31627088	822 Shetland Pl	RO	1962	2	6,000	1,828	507	2,335	38.9%	
31645001	1795 Linnet Ln	RO	1962	1	7,150	1,586	476	2,062	28.8%	
31645002	1791 Linnet Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31645003	1789 Linnet Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31645004	1785 Linnet Ln	RO	1962	1	6,600	1,586	476	2,062	31.2%	
31645005	1781 Linnet Ln	RO	1971	2	6,600	2,224	507	2,731	41.4%	
31645006	1777 Linnet Ln	RO	1962	2	6,600	2,418	507	2,925	44.3%	
31645007	1773 Linnet Ln	RO	1962	1	6,600	1,586	476	2,062	31.2%	
31645008	1768 Lark Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31645009	1772 Lark Ln	RO	1962	2	6,820	1,828	507	2,335	34.2%	
31645010	1776 Lark Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31645011	1780 Lark Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31645012	1784 Lark Ln	RO	1962	2	6,600	1,828	507	2,335	35.4%	
31645013	1788 Lark Ln	RO	1962	2	6,600	2,231	507	2,738	41.5%	
31645014	1790 Lark Ln	RO	1962	2	7,150	1,828	507	2,335	32.7%	
31647001	826 Shetland Pl	RO	1962	2	6,060	1,828	507	2,335	38.5%	
31647002	828 Shetland Pl	RO	1962	2	6,634	1,828	507	2,335	35.2%	
31647003	832 Shetland Pl	RO	1962	1	7,552	1,586	476	2,062	27.3%	
31647004	836 Shetland Pl	RO	1962	1	8,400	1,586	476	2,062	24.5%	
31647005	840 Shetland Pl	RO	1962	2	6,405	1,828	507	2,335	36.5%	
31647006	846 Shetland Pl	RO	1962	2	6,969	1,828	507	2,335	33.5%	
31647007	848 Shetland Pl	RO	1962	2	6,969	1,828	507	2,335	33.5%	
	Average Proposed			7,298	1,960	471	2,439	33.4%		
	Average Existing				7,298	1,952	471	2,432	33.3%	