

# Existing Detached Habitable Space Moser Residence

424 Bryan Ave  
Sunnyvale, California



10510 S. Tantau Ave.  
Cupertino, CA 95014  
408.768.2068

Existing Detached  
Habitable Space  
Moser Residence

424 Bryan Ave  
Sunnyvale, 94086

APN#

Planning Submittal 1: 11/03/2022

Planning Submittal 2: 12/14/2022

Planning Submittal 3: 01/06/2023

Directory, Vicinity Map,  
Abbreviations,  
General Notes, Index

# A0.0

Project # XX of XX

## General Notes

These Drawings and their content are and shall remain the property of Studio Lin Architecture whether the project for which they were prepared is executed or not. They are not to be used by any person other than the Owner or for any other project or extension to this project except by agreement in writing with the Architect.

The Architect expressly reserves his common law copyright and other property rights relating to these Drawings and their content. These Drawings are not to be reproduced, altered or otherwise modified in any manner whatsoever except by the Architect. These Drawings and their content may not be assigned to a third party without written consent of the Architect. In the event of unauthorized use of these Drawings by a third party, the third party shall hold harmless and indemnify the Architect.

These Drawings are an instrument of services performed by the Architect for the benefit of the Owner. They are intended for use in a negotiated construction contract and, therefore, may not detail or specify all materials, manufacturers or assemblies. Details, assemblies and products commonly known to be industry standard for any given trade may not be fully detailed or specified. Where necessary, the Contractor shall provide samples, data, product literature as required to assist the Owner or the Owner's agent in making selections. For the purpose of estimating items not fully detailed the Contractor shall provide an allowance amount and so condition such estimates. The Owner and/or Contractor shall submit to the Architect, in writing, any requests for modifications to the plans or specifications by means of shop drawings, samples or other means as appropriate. Shop drawings that are submitted to the Architect for review do not constitute "in writing" unless it is brought to the attention of the Architect that specific changes are being suggested.

No guarantee for quality of construction is implied or intended by these Documents. The Contractor shall assume full responsibility for any construction deficiencies.

The Owner and Contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial Owner, or any subsequent owner, for construction deficiencies, modifications, substitutions, maintenance or any such condition which is beyond the control of the Architect.

All Contract Documents described in the Construction Contract shall be considered one document and are intended to be used as one document. Contractor and all sub-contractors shall review all documents prior to bidding. Sub-contractors are responsible for any information pertaining to their work no matter where it may occur in these Documents.

It is the intent of these Documents to provide for the construction of a moisture proof enclosure of interior space. If the Owner, Contractor or any Sub-contractors become aware of any assembly or condition, either shown in the Drawings or constructed on-site, which does not, in their opinion, satisfy this intent, it is their responsibility to notify the Architect within a reasonable amount of time so that the condition or assembly can be reviewed, and, if necessary, modifications can be made to the Documents or to the Work without impacting the progress of the Work.

All information pertaining to the site shall be, and shall remain, the Owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, location of existing improvements, soils report, and all related data.

**Code Compliance**  
All work shall comply with applicable codes and trade standards including but not limited to the latest adopted edition of the following:

2019 California Building Codes, 2019 Residential Building Code (where applicable), 2019 California Mechanical Code, 2019 California Electrical Code, 2019 California Plumbing Code, including all amendments as adopted in Ordinance 1988, 2019 California Energy Efficiency Standards (Title 24), including Cool Roof requirements, 2019 California Fire Code and 2019 California Green Building Standards.

Contractor shall submit recycling and waste reduction form, and it must be approved prior to issuance of building permit.

All applicable state and local codes, ordinances, legislation, as adopted by the City of Millbrae at time of permit application.

It is the Contractors responsibility to identify and familiarize himself with current codes and ordinances including local variations or national or regional codes. Requirements of adopted codes shall supersede any conflicting requirements defined in these Documents. When a conflict is suspected the Contractor shall so advise the Architect in writing within a reasonable time so that the conflict, if it exists, can be resolved without impacting the progress of the Work.

The Contractor shall include and implement all pertinent requirements of this project as set forth in any conditions of approval attached to the project by governing agencies. These conditions shall become a part of the Contract Documents.

**Site Examination**  
The Contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the Work is to be performed. The Contractor shall verify at the site all measurements and conditions affecting his work and shall be responsible for same unless brought to the attention of the Owner or his agent prior to proceeding with the Work.

**Dimension Control**  
It is the responsibility of the Contractor to check and verify all conditions, dimensions, lines and levels alignments indicated, proper fit and attachment of all parts is required. Should there be any differences between the Documents and the actual conditions, the Contractor shall notify the Owner or his agent in writing for clarification and/or adjustment. In the event of failure to do so, the Contractor shall be responsible for corrections required or subsequent changes occurring as a result of these differences.

**Note to Subcontractors:** Location of many items or assemblies is critical for alignment of other assemblies which may be installed by other trades and which may not be installed at the time of installation of your work. All Sub-contractors shall review the manner in which their work fits, aligns or comes into contact with work of other trades. The Contractor and each Sub-contractor shall review all Documents and will be responsible for information contained at any location within the Documents which pertains to their work. Deficiencies resulting from failure to do so will be removed and corrected at Contractors expense.

All dimensions and conditions shall be checked and verified, both in the Documents and on the job, by each Sub-contractor before they proceed with their work. Any errors, omissions, discrepancies or deficiencies shall be brought to the attention of the General Contractor prior to proceeding with the Work. The Contractor shall notify the Owner in writing for resolution.

Commencement of work by any Sub-contractor shall indicate a knowledge and acceptance of all conditions described in the Documents or existing on site which could affect their work.

All dimensions take precedent over scale. Where dimensions are not entirely clear the Contractor shall notify the Architect and request clarification.

**DRAWINGS SHALL NOT BE SCALED.**

**Moisture Protection During Construction**  
Should any special situations or climatic conditions occur during construction the Owner, Contractor and Sub-contractors shall so notice and implement any measures required to assure the protection of materials and assemblies.  
The Contractor shall take all necessary measures to protect new or existing construction and materials from damage due to weather or any other adverse conditions.

Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals

Per SB 407 (2009), all non-compliant plumbing fixtures shall be replaced with water conserving fixtures.

Any deviations from approved plans, including hidden conditions that require work to be performed beyond the scope of the building permit issued, or these plans, may require further city approvals including possible review by the planning commission. The building owner, project designer, and/or contractor must submit a revision to the city and receive approval for any work not graphically illustrated on the job copy of the plans prior to performing the work

Waste management plan - part 2 final summary statement shall be provided to the building inspector at final inspection. This form shall be completed with all receipts from the recycling/disposal center attached

Secondary dwelling unit shall be addressed with the same numerical address, as the existing building, followed by the letter "S". Coordinate with the building inspector for location of the address. The addressing shall be clearly visible from the street, illuminated at night, a minimum of 4 inches in height - 1/2" stroke and of contrasting color to their background

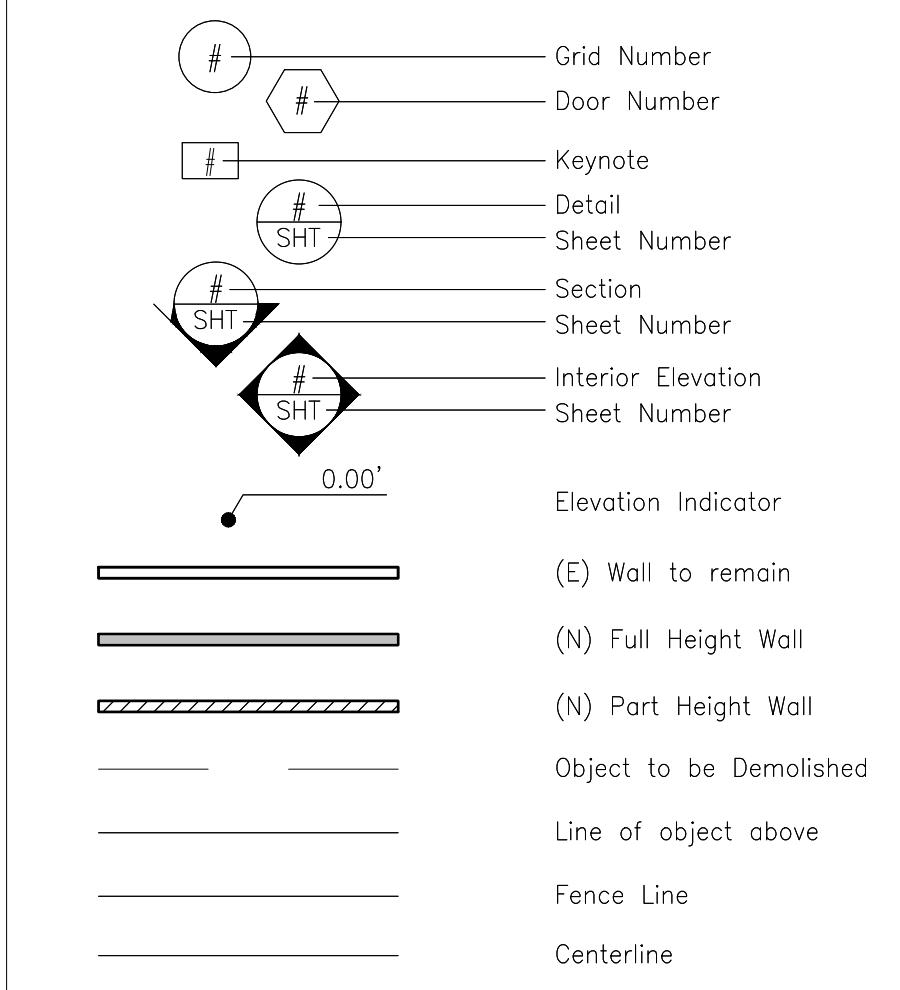
## Sheet Index

Architectural	
A0.0	Directory, Vicinity Map, Abbreviations General Notes, Index
A1.0	Site Plan
A2.0	Main Residence floor plan (FOR REFERENCE)
A2.1	Floor Plan: Demo and Existing Window / Door schedule
A3.1	Roof Plan
A4.1	Elevations

## Scope of Work

- Legalizing existing Detached Habitable Space

## Legend



## Construction Hours

No person shall erect (including excavation and grading), demolish, alter, or repair any building or structure other than between the following hours except in the case of urgent necessity in the interest of public health and safety, and then only with prior written approval from the Building Official, which approval shall be granted for a period not to exceed three days.

Construction hours per the City of Sunnyvale municipal code 16.08.030

Monday through Friday:	7AM to 6PM
Saturdays:	8AM to 5PM
Sundays and Holidays:	NO CONSTRUCTION

## Project Directory

**Owner**  
**Thomas and Stacey Moser**  
424 Bryan Ave  
Sunnyvale, CA 94086  
Voice: (972) 369-3423  
email: thomasmoser.777@gmail.com  
email: staceymoser@gmail.com

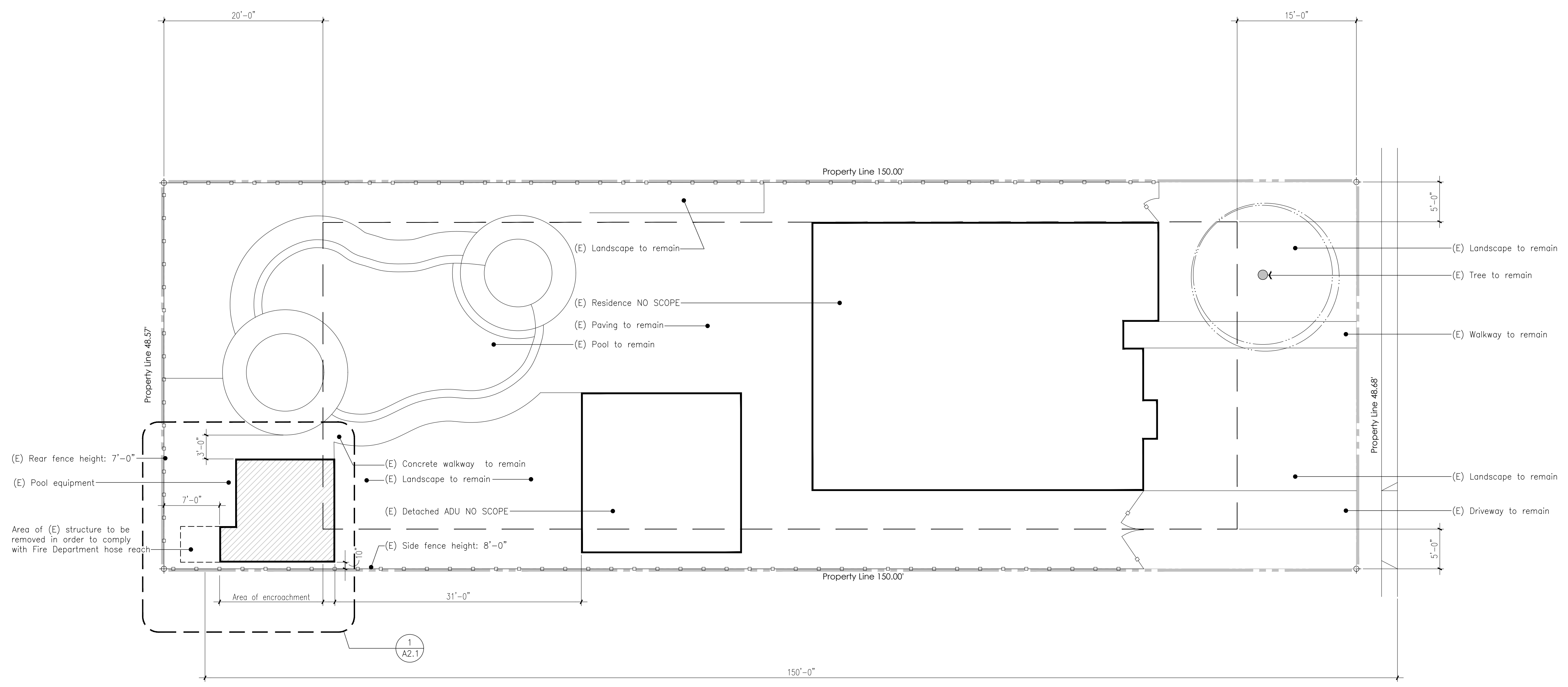
**Architect**  
**Wayne Lin**  
**Studio Lin Architecture Inc.**  
10510 S. Tantau Ave  
Cupertino, California  
Voice: (408) 768-2068  
email: win@linarch.com

### Project Data

Zoning	R2
Occupancy	R-3
Type of Construction	V-B
Automatic sprinklers	No
Building Code	2019 CBC
<b>Lot Coverage</b>	
(E) Lot area:	7,294 s.f.
<b>Allowable Lot Coverage: 45%</b>	3,282 s.f.
.45 x 7,294 sf	
<b>Existing House:</b>	1,422 s.f.
Existing Accessory Unit:	189 s.f.
Existing Detached Garage:	400 s.f.
<b>Existing Total Lot Coverage:</b>	2,011 s.f.
<b>Proposed House addition:</b>	0 s.f.
Proposed Accessory Unit addition:	0 s.f.
Proposed ADU conversion:	(400) s.f.
<b>Proposed Total Lot Coverage:</b>	1,611 s.f.
<b>Floor Area Ratio</b>	
Allowable Floor Area Ratio: 45%	3,282 s.f.
.45 x 7,294	
<b>Existing House:</b>	1,422 s.f.
Existing Accessory Unit:	189 s.f.
Existing Detached Garage:	400 s.f.
<b>Existing Total F.A.R.:</b>	2,011 s.f.
<b>Proposed House addition:</b>	0 s.f.
Proposed Accessory Unit addition:	0 s.f.
Proposed ADU conversion:	(400) s.f.
<b>Proposed Total F.A.R.:</b>	1,611 s.f.
<b>Rear Yard Coverage</b>	
Rear yard:	971.5 s.f.
20.00' x 48.57'	
Allowable rear yard coverage: 25%	243 s.f.
Area of Accessory Unit encroachment:	174.5 s.f.

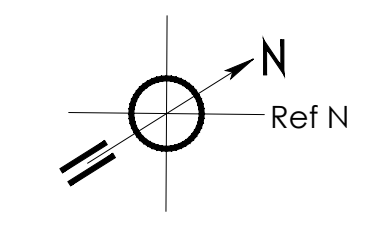


10510 S. Tantau Ave.  
Cupertino, CA 95014  
408.768.2068



1 Site Plan

1/8" = 1'-0"



### Existing Detached Habitable Space Moser Residence

424 Bryan Ave  
Sunnyvale, 94086

APN#

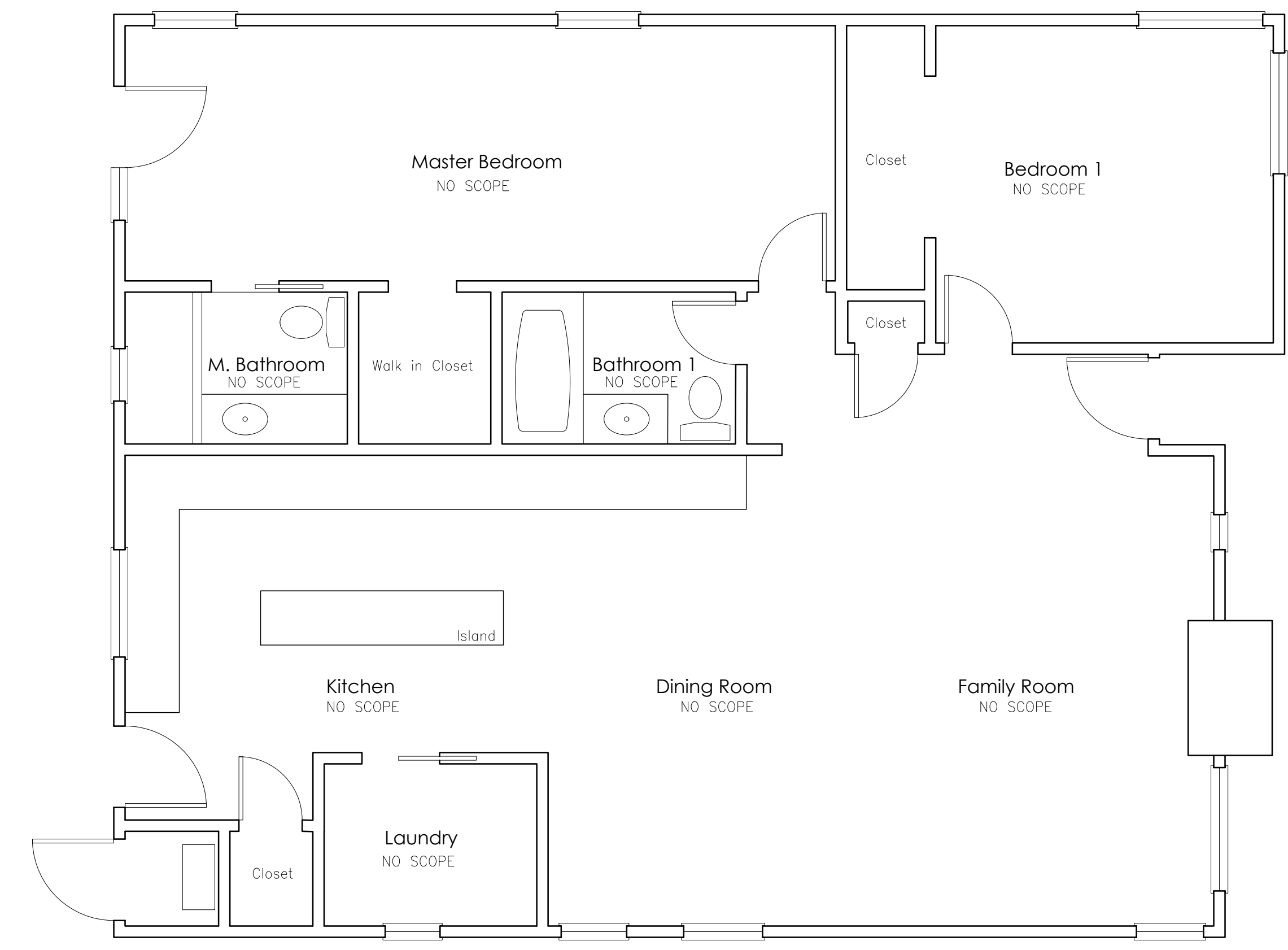
- Planning Submittal 1: 11/03/2022
- Planning Submittal 2: 12/14/2022
- Planning Submittal 3: 01/06/2023

Site Plan

# A1.0

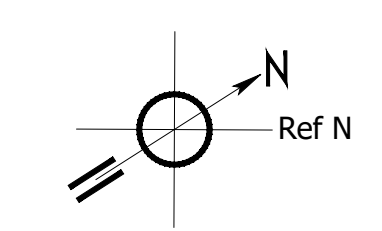


10510 S. Tantau Ave.  
Cupertino, CA 95014  
408.768.2068



1 Main Residence Floor Plan: Existing  
FOR REFERENCE ONLY

1/4" = 1'-0"



Existing Detached  
Habitable Space  
**Moser Residence**

424 Bryan Ave  
Sunnyvale, 94086

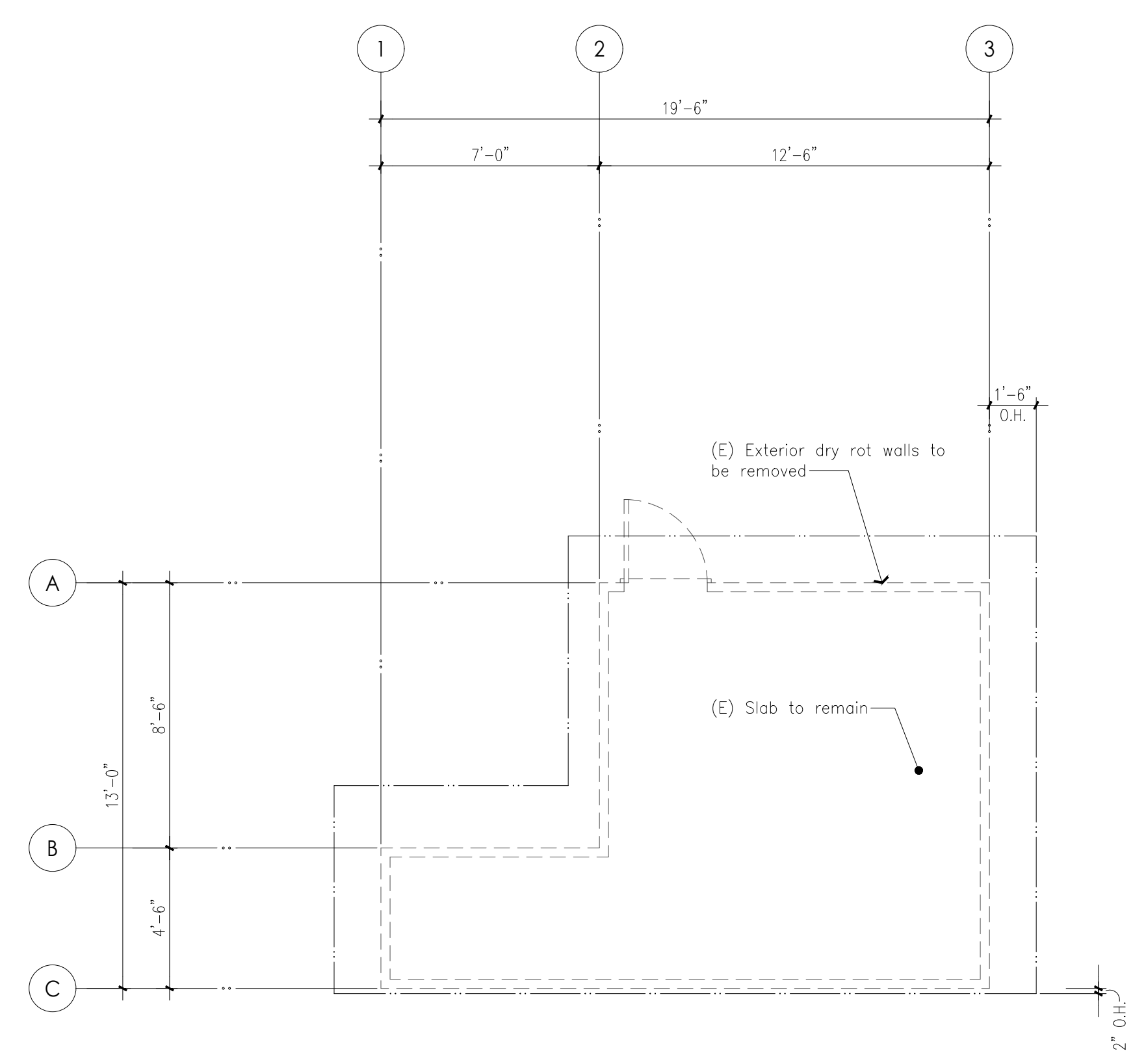
APN#

Planning Submittal 1: 11/03/2022

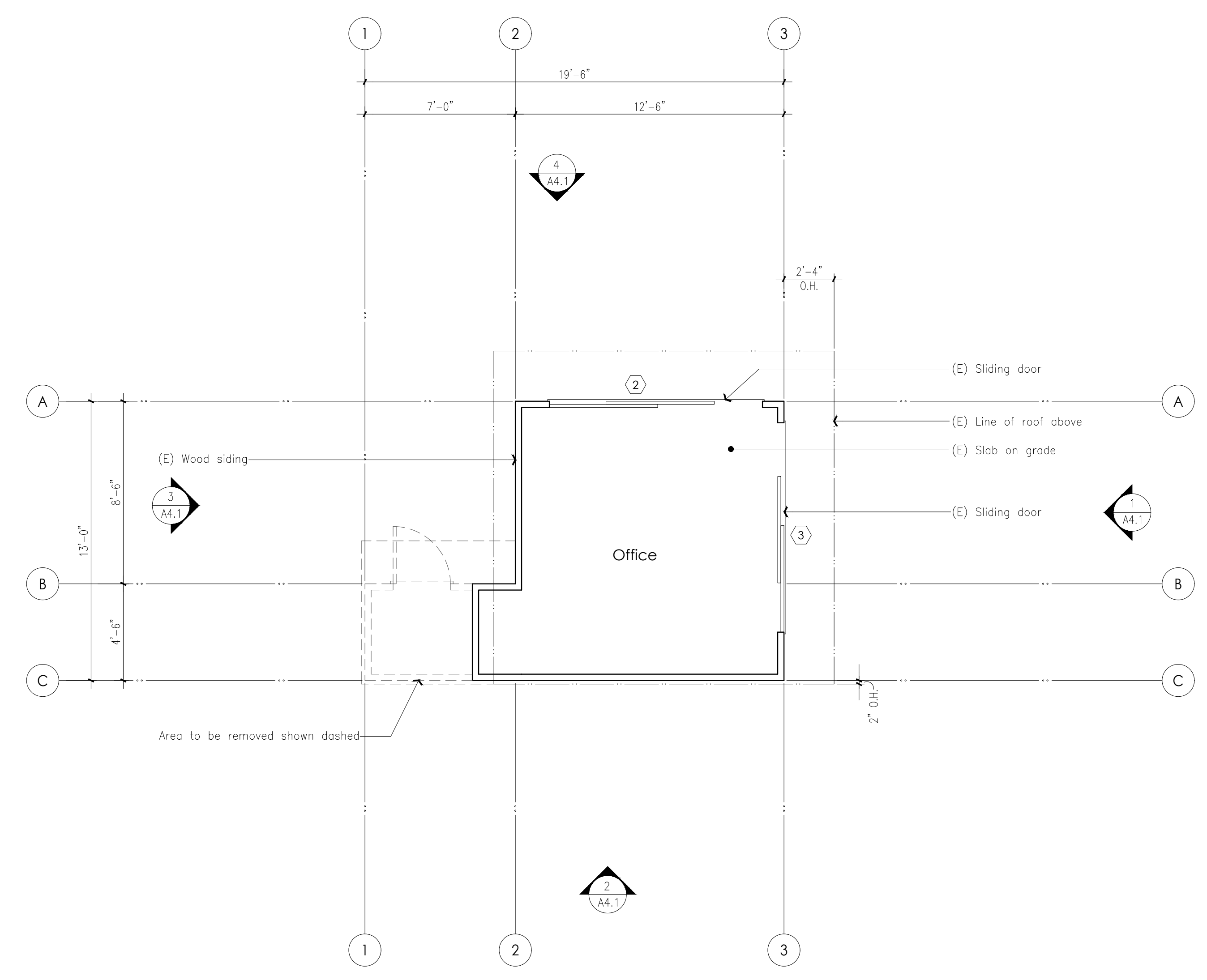
△ Planning Submittal 2: 12/14/2022

Existing Main Floor Plan  
FOR REFERENCE ONLY

△ **A2.0**



2 Floor Plan: Demo  
1/4" = 1'-0"  
N  
Ref N



1 Floor Plan: Existing  
1/4" = 1'-0"  
N  
Ref N

Doors		Frames		Loc'n	Remarks				
Mark	Type	Size	Thk.	Mat'l.	Finish	Mat'l.	Finish		
2	2					Alum.	O.Bronze	Entrance	Match main residence
3	2					Alum.	O.Bronze	Entrance	Match main residence



2

### Floor Plan Notes:

Refer Demolition Plan for all construction to remain.  
Coordinate in Field w/ Architect for all trims, fixtures & accessories not shown, and for critical alignments of openings, trims and millwork.  
All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.  
Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.  
Contractor shall review all dimensions for accuracy prior to construction.  
Dimensions given are to face of stud unless otherwise noted.  
Variations include:  
C : Centerline  
L  
Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.  
Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.  
Refer structural details for location of special floor and wall framing, special connections.



10510 S. Tantau Ave.  
Cupertino, CA 95014  
408.768.2068

Existing Detached  
Habitable Space  
**Moser Residence**

424 Bryan Ave  
Sunnyvale, 94086

APN#

Planning Submittal 1: 11/03/2022  
Planning Submittal 2: 12/14/2022  
Planning Submittal 3: 01/06/2023

### Door & Window Notes

- Pre-manufactured doors shown on schedule and in details shall be to match existing manfr. unless otherwise noted or discussed prior to installation
- Contractor shall submit complete door/window schedule prior to ordering for review by Owner/agent.
- Door/window sizes shown on schedule are nominal. Contractor shall coordinate all rough openings as required by manfr.
- Contractor responsible to coordinate framing as required to achieve all finished locations of sills/heads and alignments as shown.
- All doors/windows shall be set in continuous bead of sealant.
- Contractor to provide required window/door certification.
- All door glazing to be tempered glass.
- Tempered glass to be included at all locations where required by Section 2406 of CBC.
- All openings shall have double layer of building paper. Install per paper flashing detail on sheet A7.1
- Contractor to provide required window/door certification.
- Contractor shall review casing selection with Owner/Architect prior to installation. Match existing

Existing Floor Plan

# A2.1

### Roof Notes

All roof materials shall be part of a specified roofing system as defined by the system manufacturer specified. All materials shall be from a single source and shall be assembled and integrated as specified by the manufacturer. In no case may materials be substituted which are not listed in specified manufacturer information.

Provide positive drainage for all roof surfaces. Provision shall be tested by application of water at all areas.

Roof shall be installed per Roof Manufacturers standards such that all warranties are maintained. Contractor shall note any conflicts between Roof manufacturer's instructions and requirements of these drawings.

Roofing substrate, base sheets and any installed components shall be fully protected from subsequent construction activities until completion of project. Contractor shall provide temporary protection for all roof components where subsequent work may occur.

Contractor shall protect all roof components from exposure to sunlight where such exposure may damage materials. Installation of felts or base sheets shall be covered immediately by either subsequent roof layers or protective materials to avoid exposure to sun or general drying of materials.

Contractor shall fully seal all roof penetrations per roof manufacturer's specifications.

Provide flashing, counter flashing, coping and reglets as necessary to ensure positive drainage across all surfaces.

Provide gutters, rainwater leaders and downspouts to match existing. Integrated gutters shall be constructed in similar fashion to existing and shall provide identical visual results.

Gutters shall be fully soldered and shall be fabricated in continuous lengths to reduce number of joints.



10510 S. Tantau Ave.  
Cupertino, CA 95014  
408.768.2068

### Existing Detached Habitable Space Moser Residence

424 Bryan Ave  
Sunnyvale, 94086

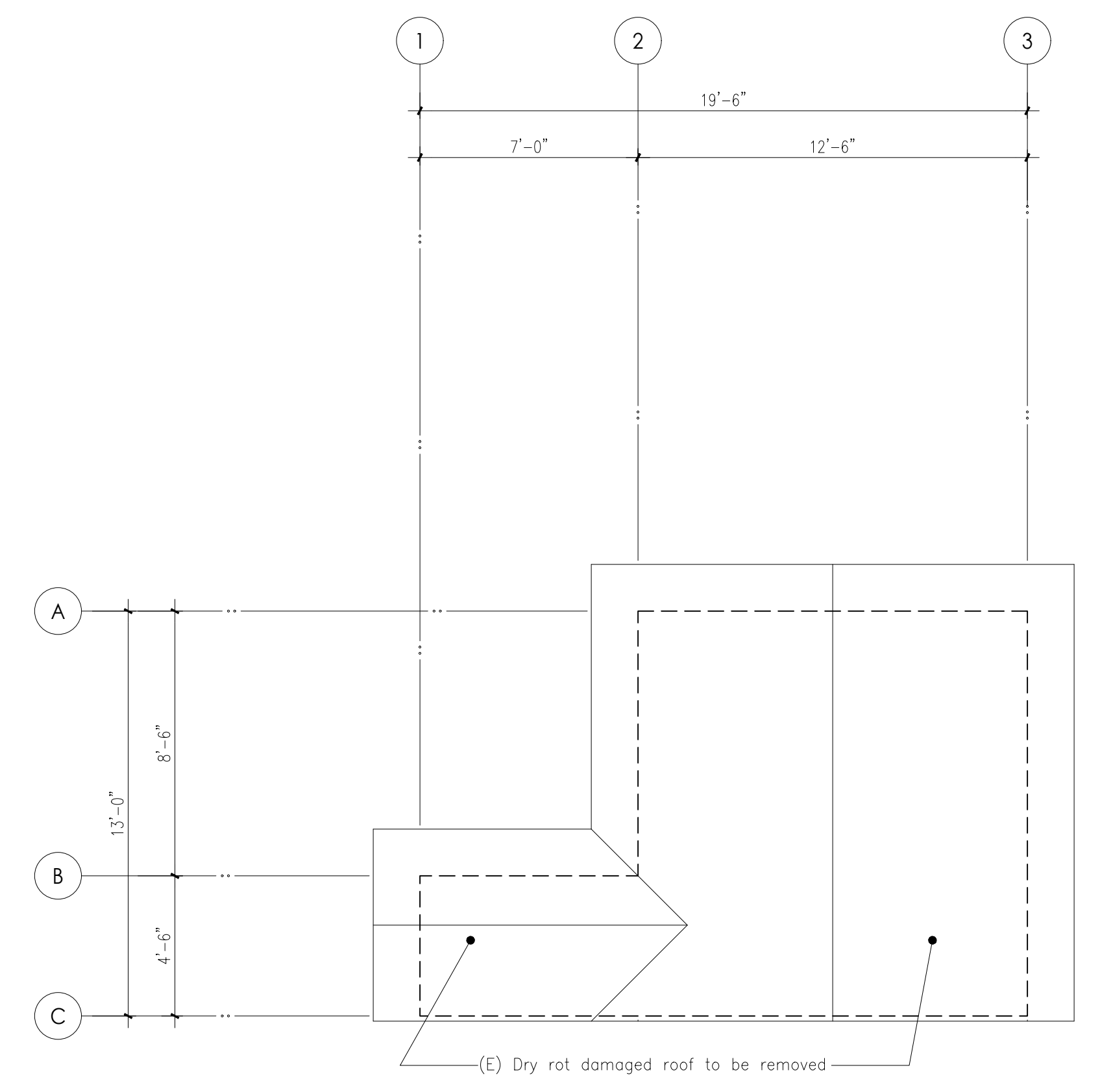
APN#

Planning Submittal 1: 11/03/2022  
Planning Submittal 2: 12/14/2022  
Planning Submittal 3: 01/06/2023

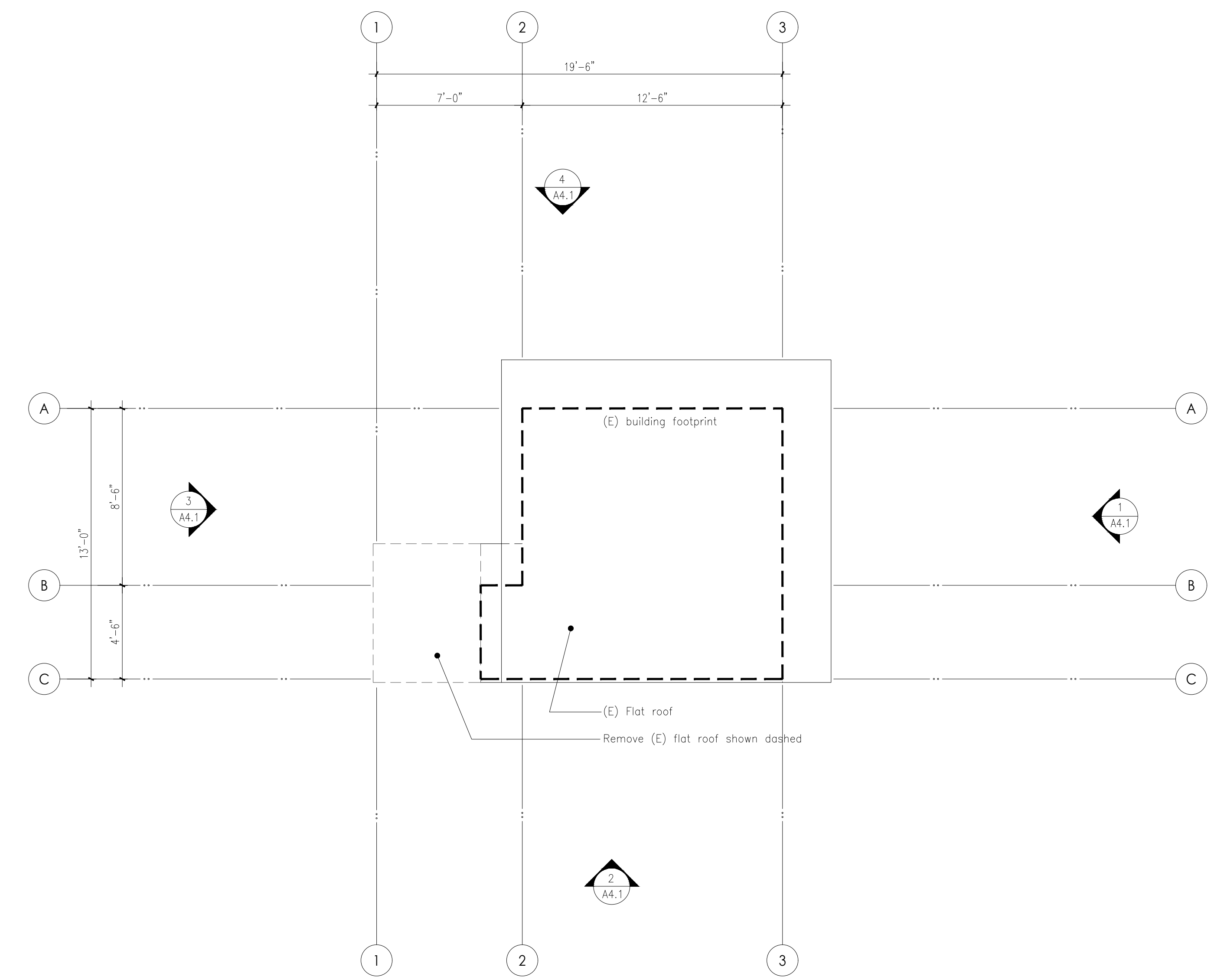
Roof Plan

# A3.1

Project # XX of XX



1 Roof Plan: Demo 1/4" = 1'-0"  Ref N



1 Roof Plan: Existing 1/4" = 1'-0"  Ref N



10510 S. Tantau Ave.  
Cupertino, CA 95014  
408.768.2068

Existing Detached  
Habitable Space  
**Moser Residence**

424 Bryan Ave  
Sunnyvale, 94086

APN#

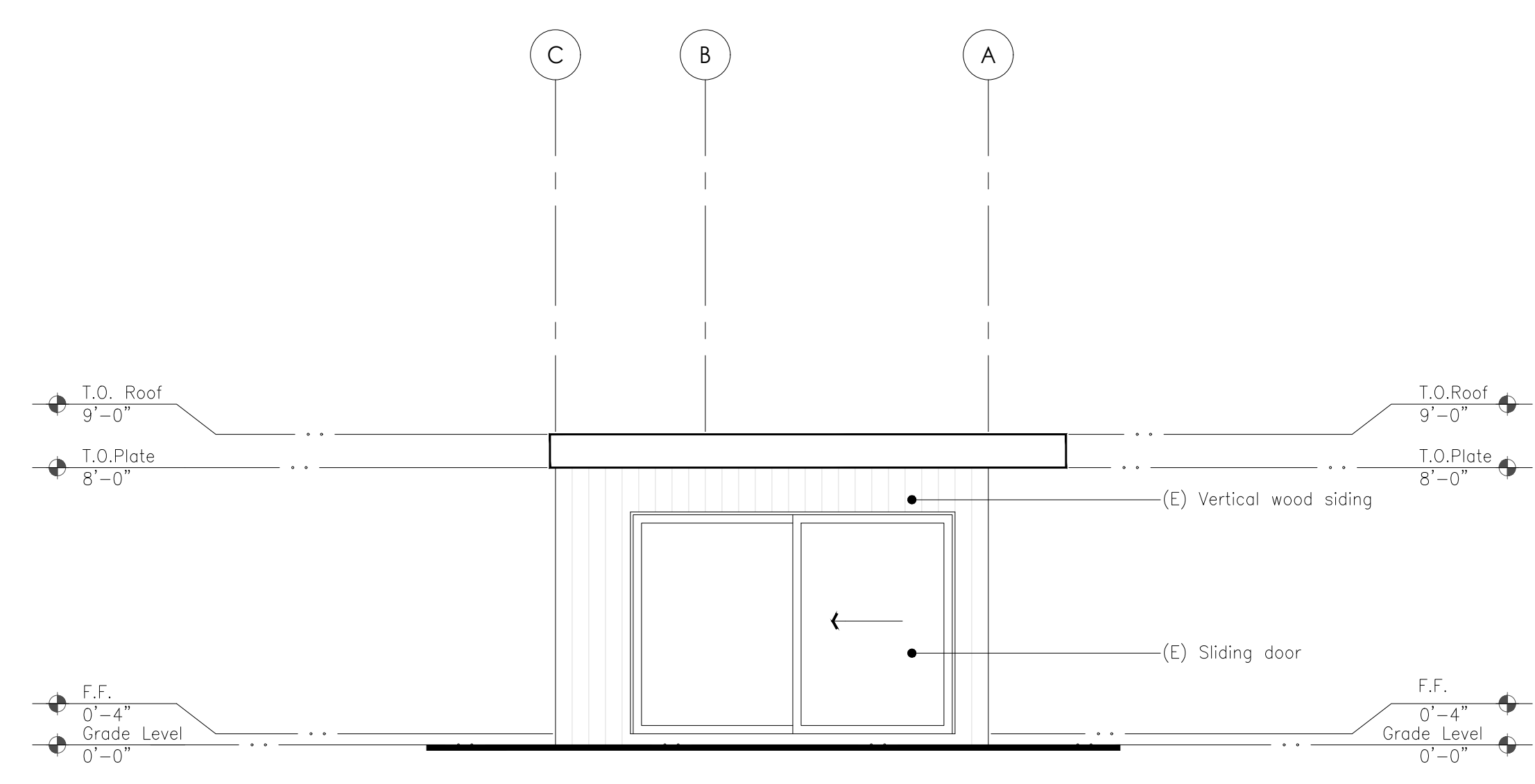
Planning Submittal 1: 11/03/2022

Planning Submittal 2: 12/14/2022

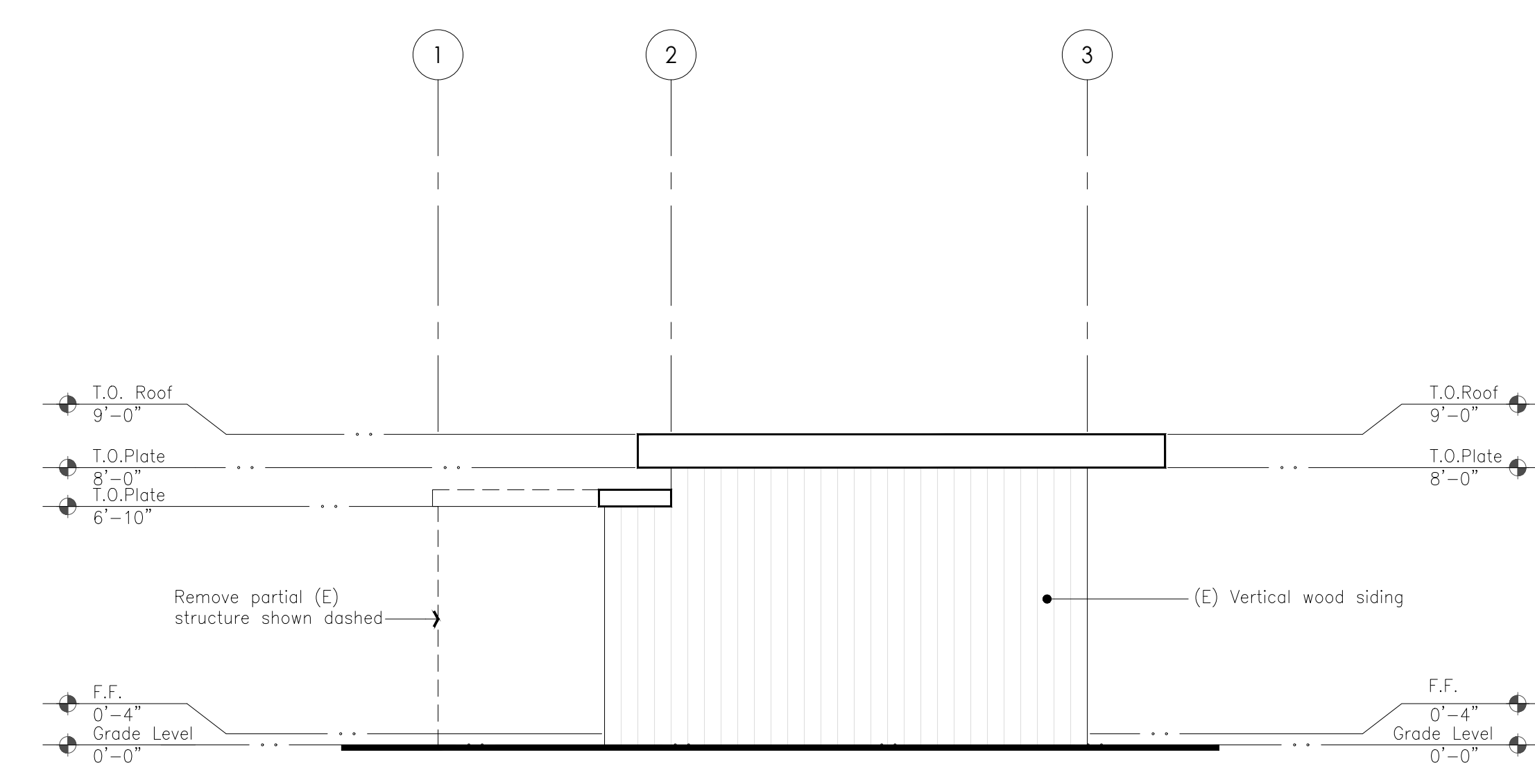
Planning Submittal 3: 01/06/2023

Existing Elevations

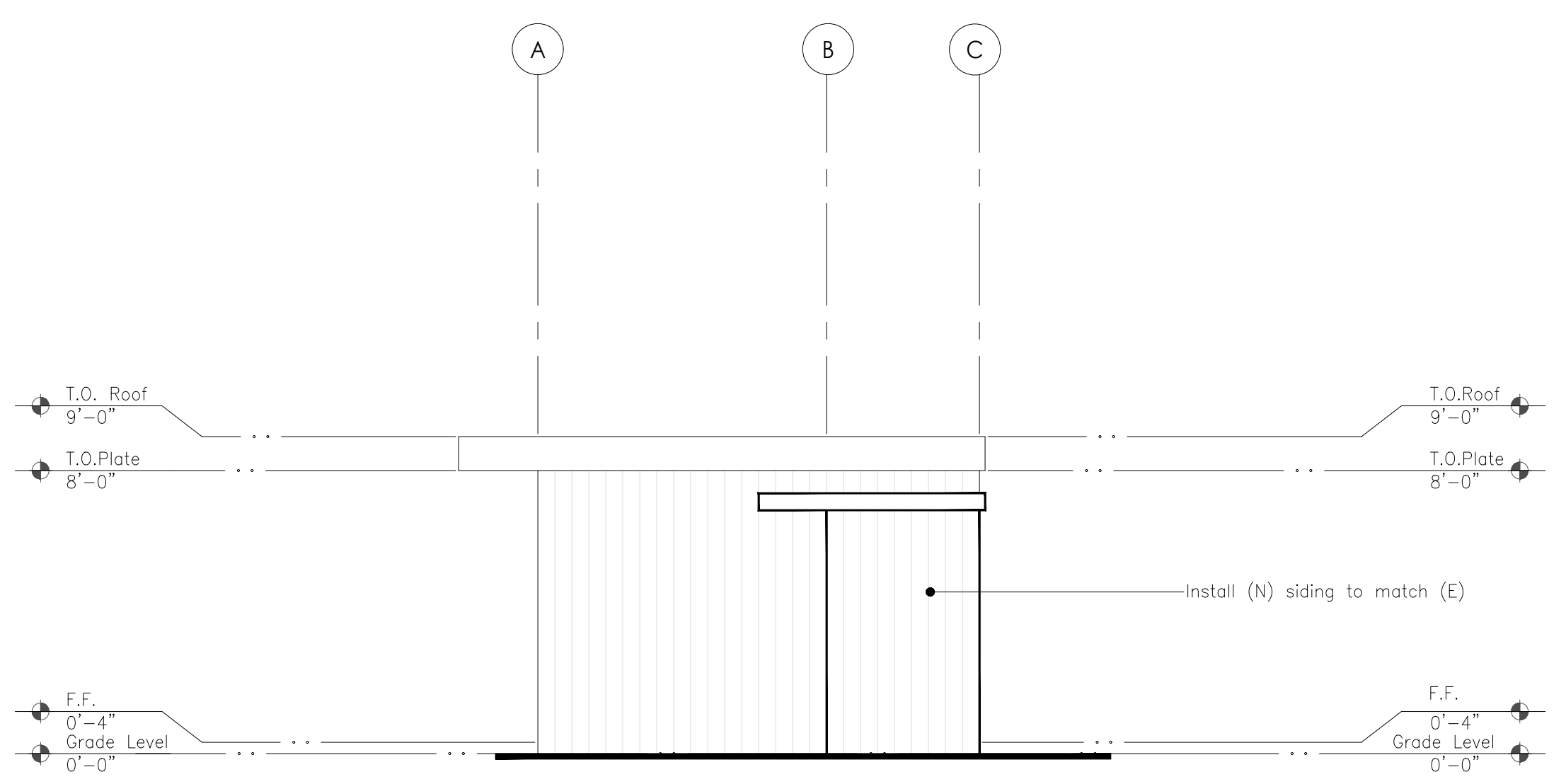
# A4.1



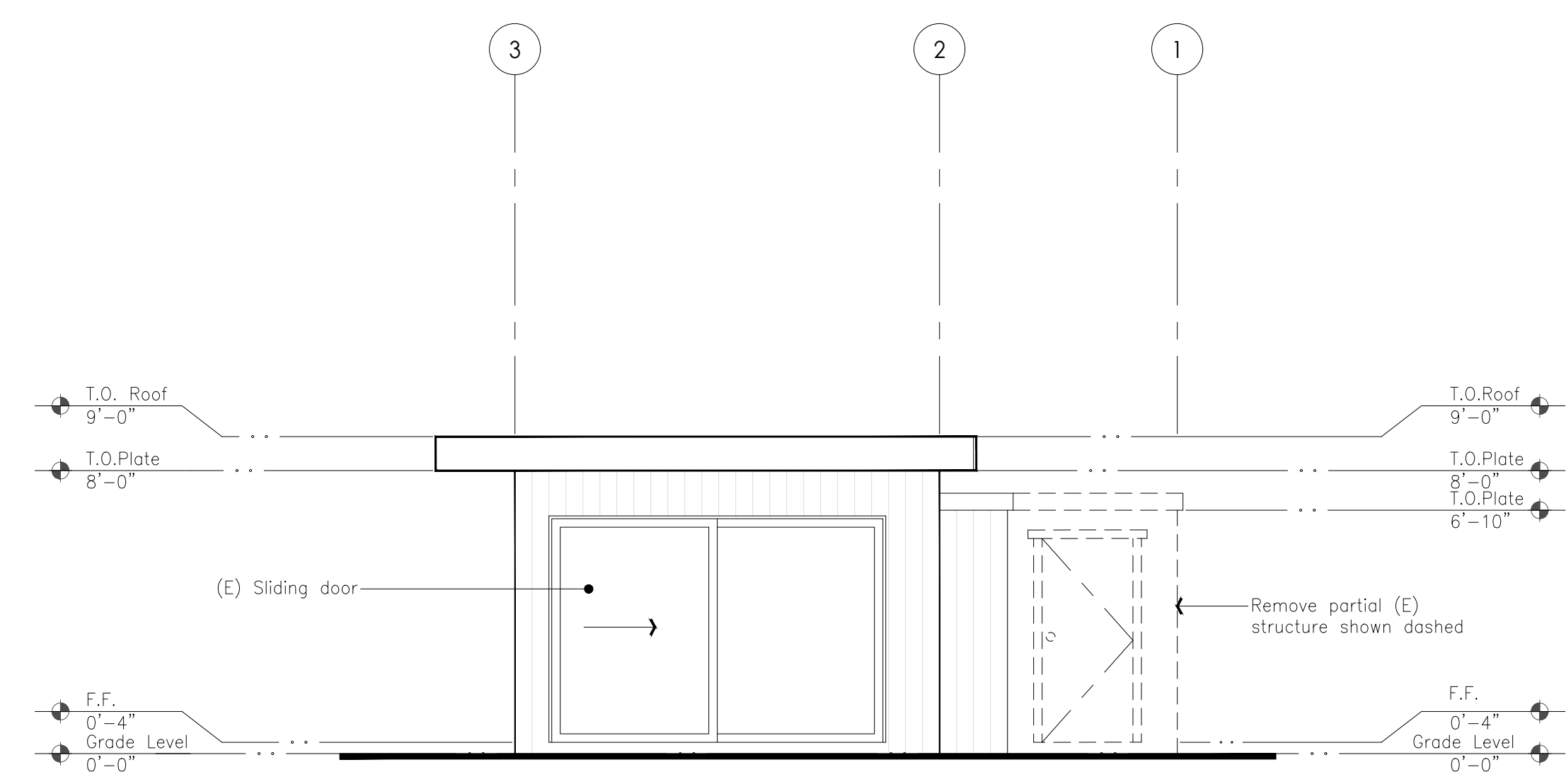
1 Exterior Elevation: North  
1/4" = 1'-0"



2 Exterior Elevation: East  
1/4" = 1'-0"



3 Exterior Elevation: South  
1/4" = 1'-0"



4 Exterior Elevation: West  
1/4" = 1'-0"