

GENERAL NOTES

GOVERNING CODES: All work shall comply with the 2019 California Building Code, 2019 California Residential Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, CCR Title 24, the 2019 California Existing Building Code, 2019 California Green Standards Code, 2019 California Referenced Standards Code, 2019 California Fire Code, 2019 California Energy Code, 2019 California building standards commission, chapter 12, local amendments and all applicable local ordinances.

FIRE NOTES

Fire blocking and draft stopping shall be installed to cut off all concealed draft openings (both vertical and horizontal) and shall form an effective barrier between floors, between top story and a roof or attic space.

Fire Block all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.

Fire Block at openings around vents, pipes, ducts, and similar openings which afford a passage for fire at ceiling and floor levels, with noncombustible materials.

Smoke Detectors shall be installed in each sleeping rooms and at a point centrally located in the hallway or area giving access to each sleeping room, and are to be audible in all sleeping areas. Smoke Detectors are to be supplied by a 110v circuit, and to have battery backup.

All Smoke Detectors to be interconnected in such a manner that the actuation of one alarm will actuate all of the alarms in the dwelling.

Provide minimum of one smoke detector per floor.

Fire Sprinklers and Fire Flow: Fire flow rate required is 1000 gallons per minute for 120 minutes. Sprinklers not Provided. Nearest fire hydrant located on Connemara approximately 230 ft from house.

Roof to be no less than Class "B" rated roof.

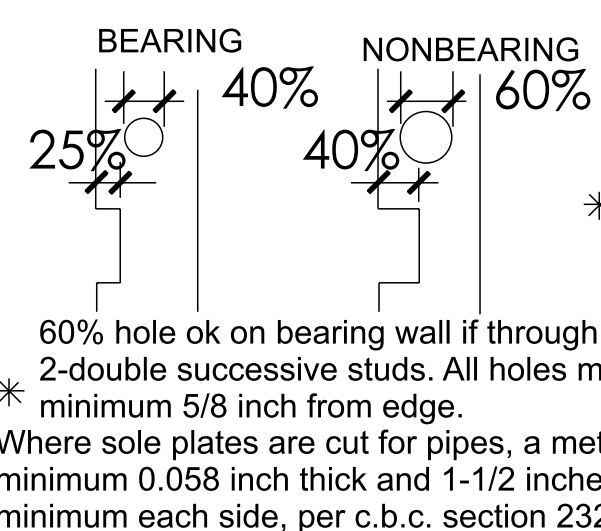
EMERGENCY ESCAPE WINDOWS

Every sleeping room to be provided with at least one operable window or exterior door approved for emergency escape or rescue, which opens directly to street, public alley, yard, or exit corridor.

The units shall be operable from the inside to provide a full clear opening without the use of separate tools. All escape/rescue windows from sleeping rooms shall have a minimum net clear openable area of 5.7 sq. ft. the minimum clear openable height dimension shall be 24 inches. The minimum net clear openable width dimension shall be 20 inches. Escape/rescue windows shall have a finished sill height not more than 44 inches above the floor.

SOUND INSULATION

NOTCHING AND BORING STUDS:



MECHANICAL

Service Disconnects to be located in a location readily accessible by the occupants. CEC 230.70

Duct Insulation: R-6 minimum insulation for ducts. See the energy compliance documents.

Wall mount gas furnaces to be ≥ 92 AFUE

Combustion air vents (with screen and back damper) to be provided for any appliance with open flame provide individual shut-off valve for at maximum 3 feet from every gas appliance

Appliances generating a glow, spark, or flame must be at least 18 in. above the floor in a garage.

Combustion air openings to be provided within 12 in. of floor and ceiling for gas burning equipment.

Dryer exhaust vent to be min. 4" dia. smooth sheet metal, vented thru wall or pipe extending up the wall and transitioning to a 5" dia. smooth sheet metal pipe in attic, and extending to the outside. All dryer vents to must have a backdraft damper.

ENERGY

HERS Certification Required per CA Administrative Code 10-103(b)3 and as specified on Title 24 report. Items that require QII are specified per provided reporting and energy calculations on EN sheets.

Solar Panels - Deferred permit

Insulation: Specify the insulation R-values per the energy calculations [SPECIFY] R21 at the 2x6 exterior walls / R-38 at the attic.

Radiant Barrier at the roof to be in accordance with energy calculations.

SOILS NOTE

Om Design build has not studied or expressed any opinion concerning stability of soils, or the risk of slides, flooding or earth movement, under or earth movement, under or in the vicinity of the building site. such studies and opinions can be given only by a qualified, licensed soils engineer.

PLUMBING FIXTURE SCHEDULE			
SYMBOL	COUNT	FIXTURE	NOTES
	1	FAUCET	CA 403.6 Residential Kitchen Faucets, 1.8 gpm @60psi, temporary max 2.2gpm @60psi w/auto return.
	4	LAVATORY	CA 403.7 Residential Lavatory Faucets, 1.2 gpm @60 psi, min .08 gpm@20 psi
	3	SHOWER HEAD	CA 408.2 Shower Heads, Max 1.8 gpm @80psi
	3	WATER CLOSET	CA 403.2 Water Closets, Maximum flush 1.28 gallons

SPECIAL NOTES:

4.406.1 Rodent Proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents.

4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner

4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.

4.504.2 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with voelimits.

Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification. Documentation shall be provided to verify that compliant voe limit finish materials have been used.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:
1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, ""Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,"" Version 1.1, February 2010 (also known as Specification 01350.)
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is in stalled, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:
1. Products compliant with the California Department of Public Health, ""Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,"" Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, ""Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,"" Version 1.1, February 2010 (also known as Specification 01350)."

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93.120 et seq.), by or before the dates specified in those section s, as shown in Table 4.504.5."

4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.

4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods:
1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent.
2. Size duct systems according to ANSI/ACCA 1 Manual D-2014 or equivalent.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual 5-2014 or equivalent."

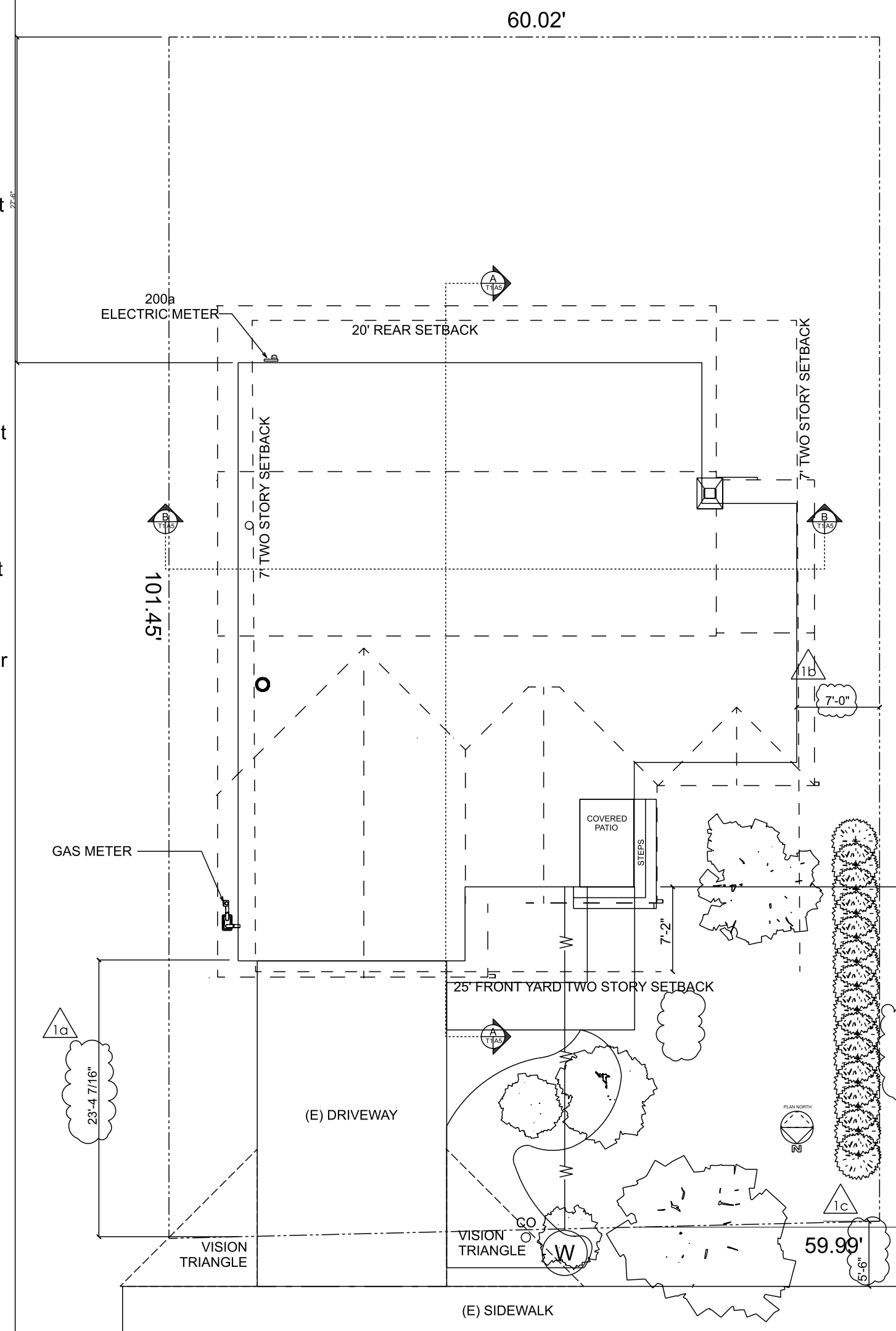
702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.

702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.

703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance."

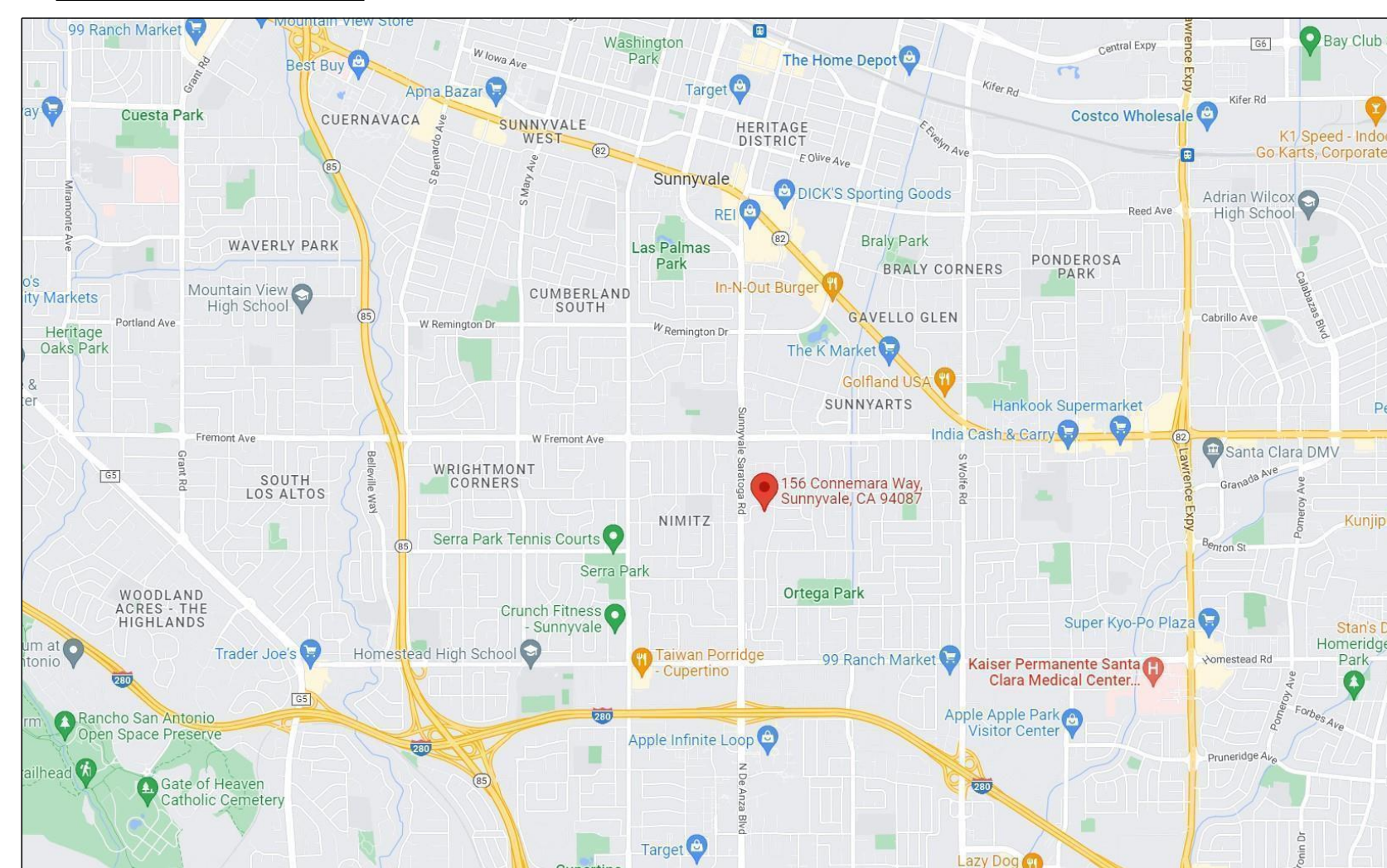
Naik Residence

156 Connemara Way, Sunnyvale, CA



156 CONNEMARA WAY
PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

VICINITY MAP



PROJECT DATA:

	Standard	Existing	Proposed
Lot Size		5,900	5,900
Height	30'-0"	21'-7"	21'-7"
Garage		448 sf	405 sf
1st Floor		1,183 sf	1,526 sf
2nd Floor		921 sf	921 sf
Porch		155 sf	35 sf
Lot Coverage	40%	1,786 / 30%	1,966 / 33%
Floor Area Ratio	45%	2,552 / 43%	2,852 / 48%
Remodel Area			164 sf
Addition Area			300 sf

APN: 30924003
ZONE: R0
OCCUPANCY GROUP: R3
CONSTRUCTION TYPE: V

SPECIAL NOTES:
1. Use is R-3 and total SF is less than 3,600 with an addition of less than 500sf therefore no sprinklers provided.

OWNER:

Ram Naik
156 Connemara Way
Sunnyvale, CA

DRAWING SCHEDULE

Project Data	
Cover Sheet	T1
Architectural	
(N) Floor Plan	A1
(E) Floor Plan	A2
Dimensions	A3
(N) Elevations	A4
Details	A5
Streetscape	A6
MEP	
Structural	
1st Floor Roof Plan	S1
Energy	
T24 Calculations	EN1
Mandatory Measures	EN2
Calgreen	EN3
Landscape - BMP	
Landscape-BMPs	L1
Survey Data	L2



Residential &
Light Commercial
Design

Om Design LLC
230 Chilverton Ste. A
Santa Cruz, CA
(831) 251-0198
om-design.io

Naik Residence

Addition
FOR
Ram Naik

156 Connemara Way
Sunnyvale, CA

Remodel with Addition
464

REMARKS DATE

VERSION DATE 4/4/2023

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.

REMARKS DATE



CADD FOLDER Naik
CADD FILE
DRAWN BY JW

Cover Sheet

T1

SCOPE OF WORK

The scope includes the renovation of the first story of an existing single family home and a 300 sf office and entry addition on the first story as well as enlargement of a bedroom by reducing the size of the garage.

ARCHITECTURAL

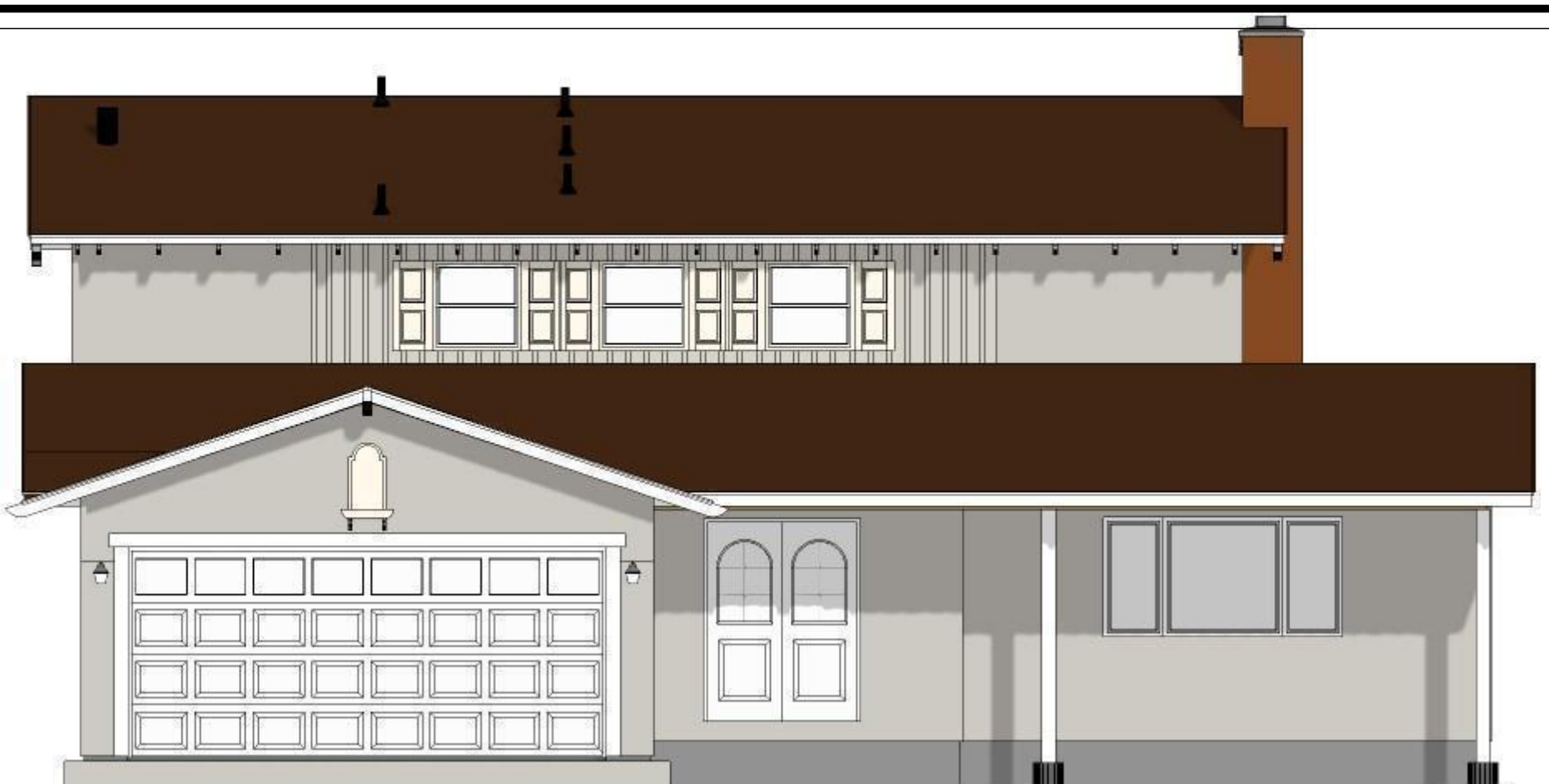
The scope is the renovation and addition to a single family residence, including the installation of a raised foundation, exterior walls, interior partitions, framing, drywall, flooring, cabinets, openings, roofing, plumbing and paint.

ELECTRICAL

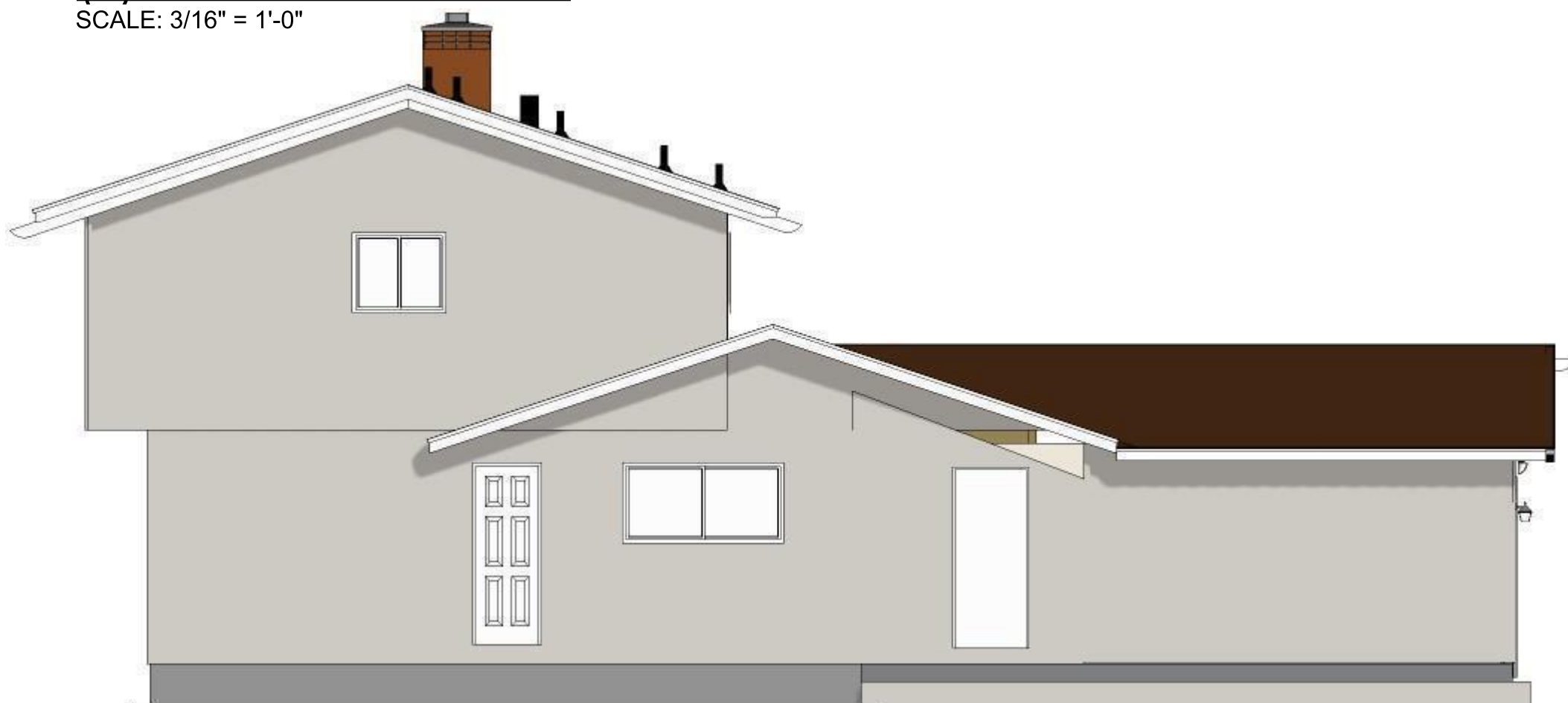
The scope is the installation of new electrical fixtures and wiring.

PLUMBING & MECHANICAL

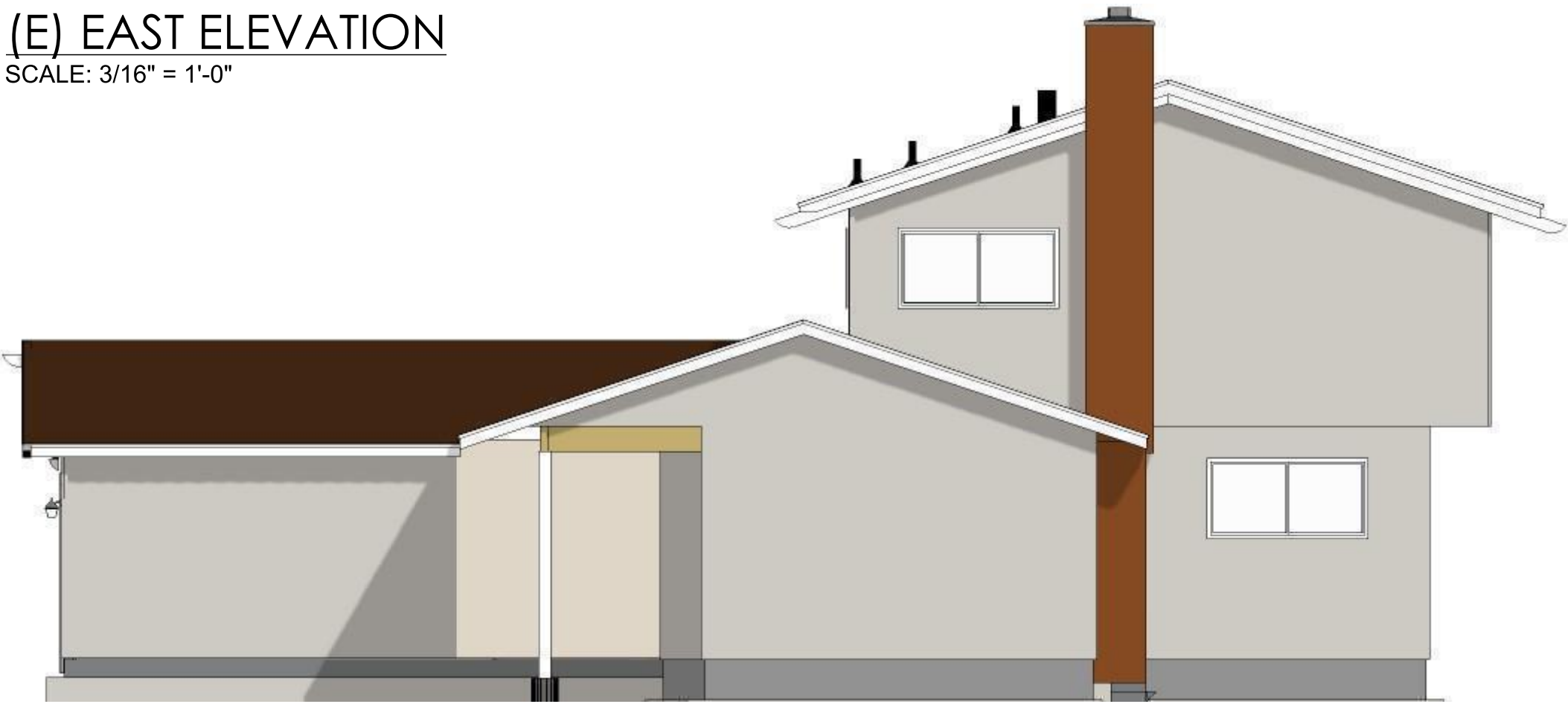
The scope is the installation of new plumbing fixtures, water lines and waste lines as need to accommodate new fixtures.



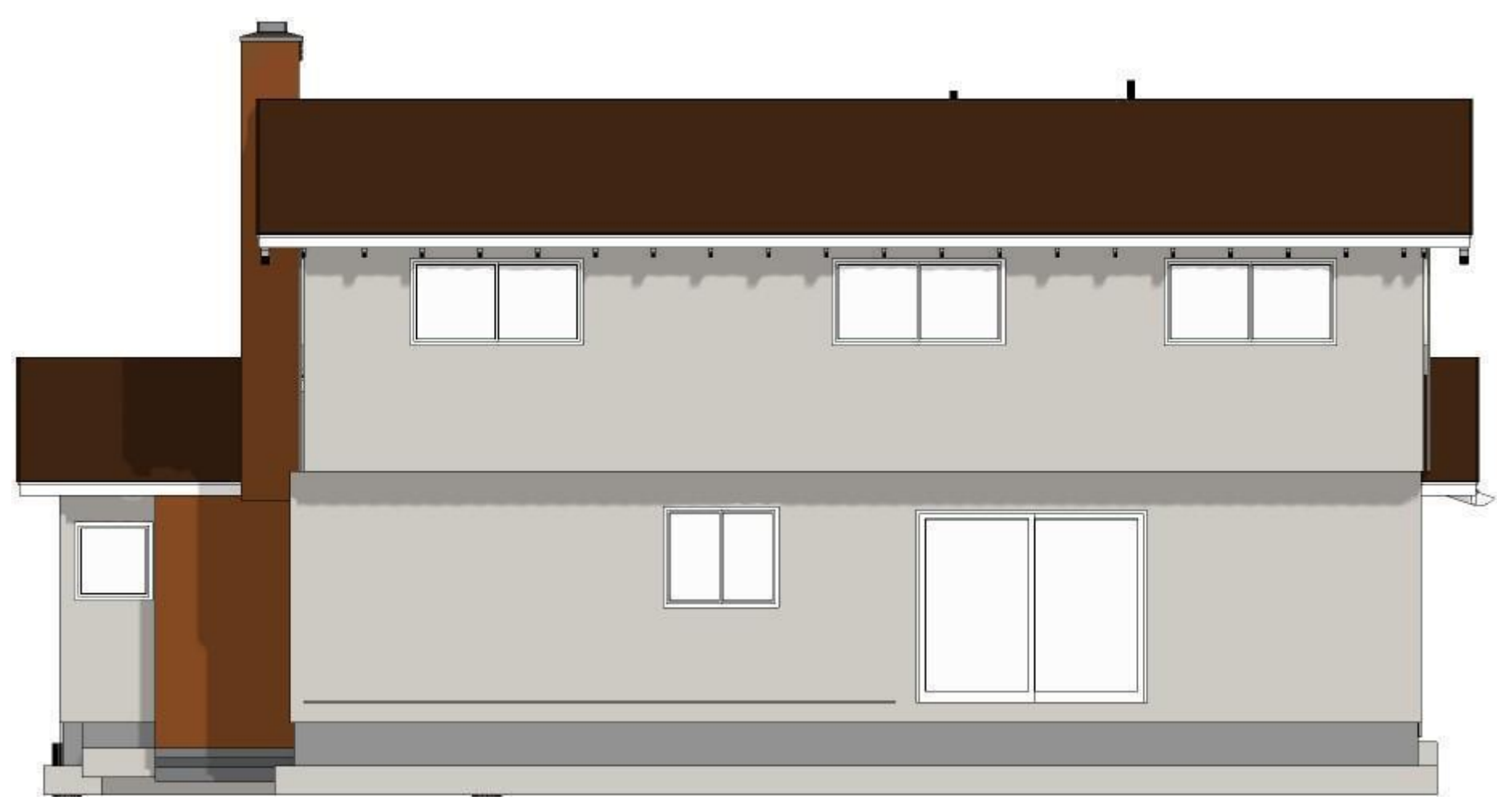
(E) NORTH ELEVATION
SCALE: 3/16" = 1'-0"



(E) EAST ELEVATION
SCALE: 3/16" = 1'-0"



(E) WEST ELEVATION
SCALE: 3/16" = 1'-0"



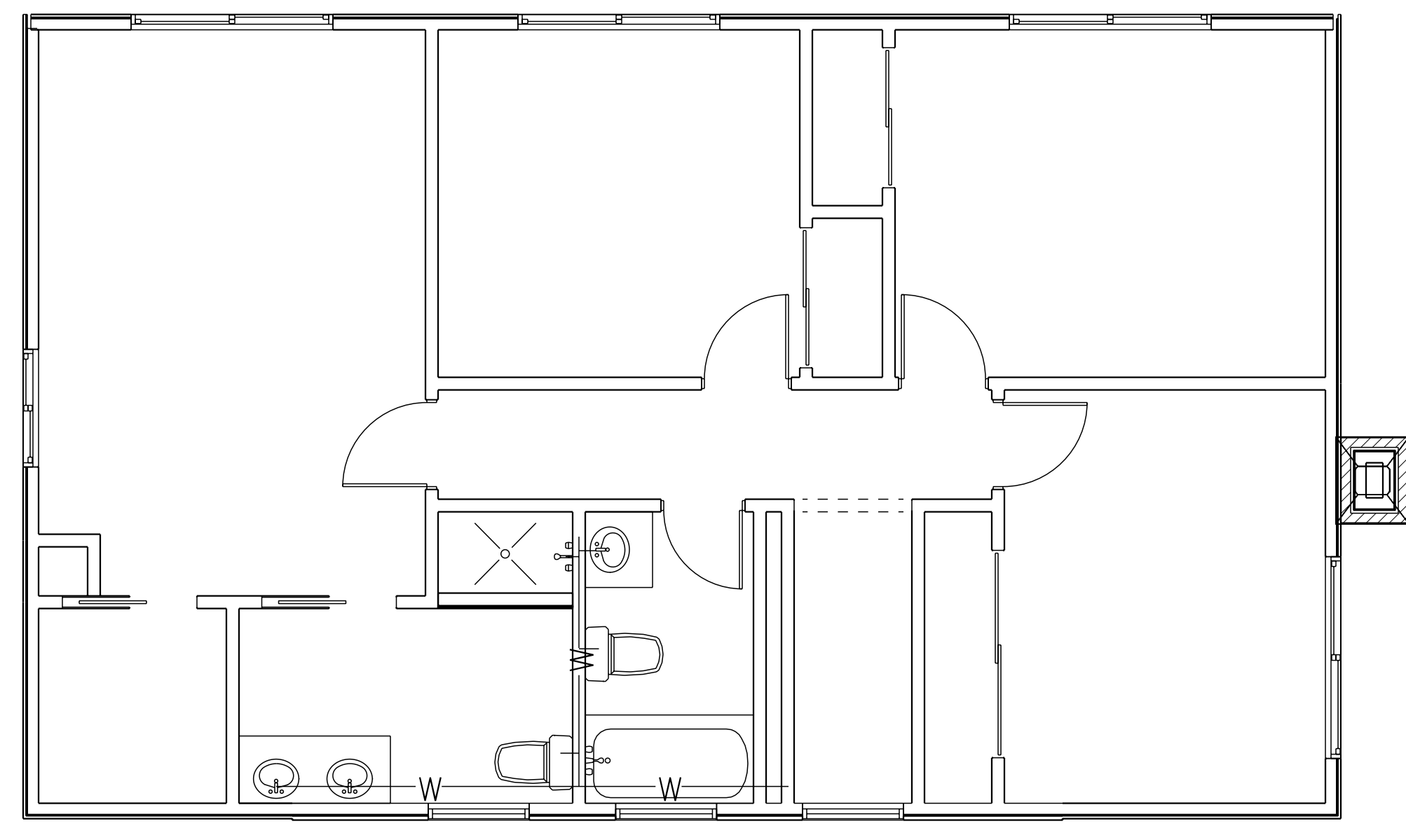
(E) SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

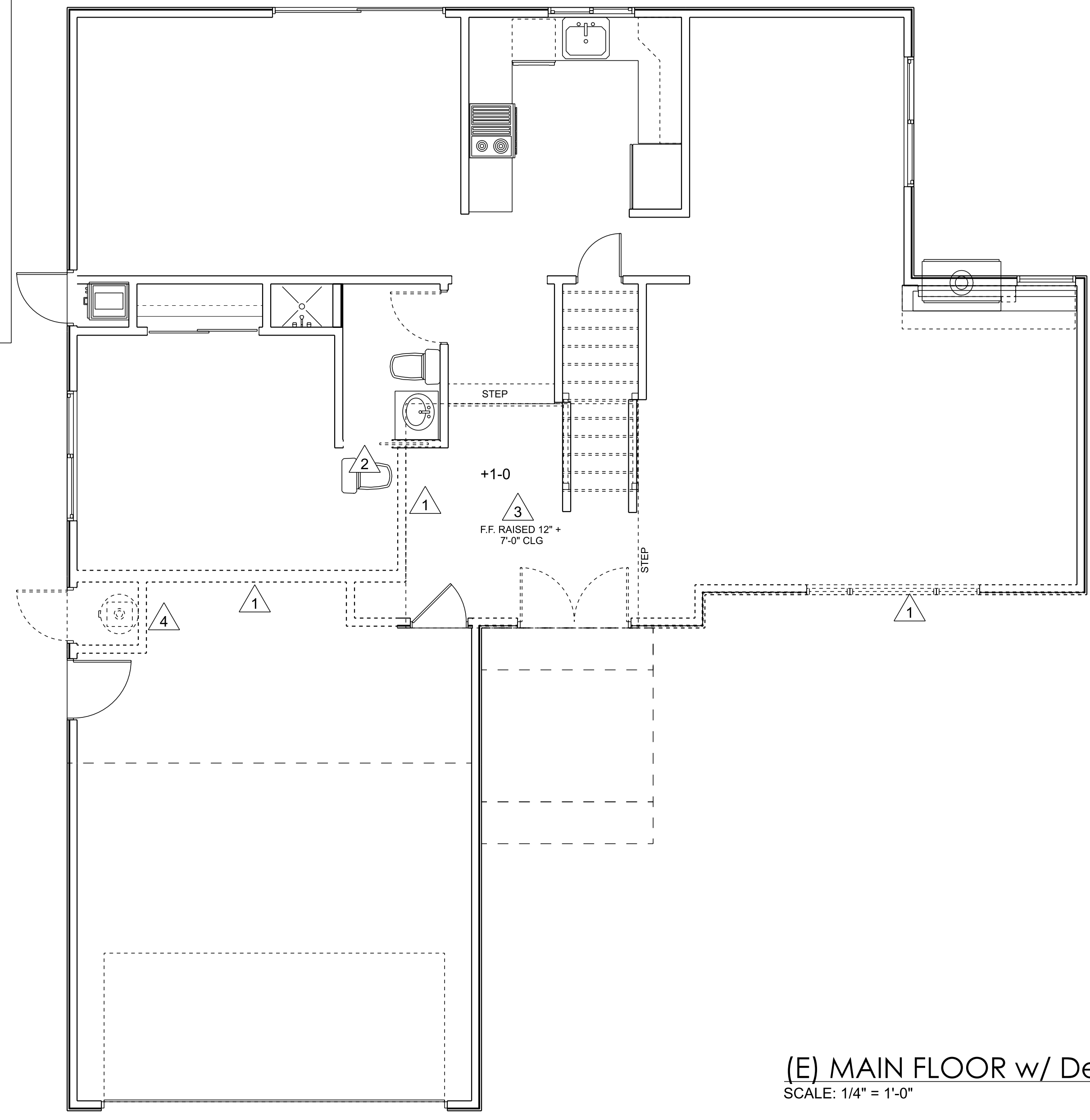
1. EQUIPMENT SHOWN IN DASHED LINE WEIGHT ON DEMOLITION PLANS SHALL BE REMOVED OR RELOCATED.
2. WHERE REMOVAL OF ELECTRICAL WORK SHOWN, OR OF ASSOCIATED WIRING INTERRUPTS SERVICE TO EXISTING ELECTRICAL EQUIPMENT TO REMAIN, THE CONTRACTOR SHALL EXTEND SERVICE TO REMAINING EQUIPMENT. ROUTING OF THIS EXTENDED SERVICE SHALL BE SUCH THAT IT DOES NOT INTERFERE WITH NEW WORK.
3. CONTRACTOR SHALL PROVIDE BLANK COVER PLATES ON ALL JUNCTION AND DEVICE BOXES WHICH ARE UNCOVERED AS A RESULT OF REMOVAL OF EQUIPMENT.
4. ALL ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE, UNLESS OWNER WISHES TO RETAIN OWNERSHIP, OR IF ITEM IS SPECIFICALLY NOTED TO BE RELOCATED OR SALVAGED. CONTRACTOR SHALL COORDINATE DEMOLITION WITH OWNER TO ASSURE THEIR FIRST REFUSAL FOR ALL ITEMS BEING REMOVED FROM THE PROJECT.
5. ALL EXISTING SURFACES DAMAGED OR EXPOSED BY DEMOLITION OR REMOVAL OF EQUIPMENT SHALL BE PATCHED AND REPAIRED WITH MATERIAL AND FINISHES TO MATCH EXISTING ADJACENT SURFACES.
6. CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH OWNER TO MINIMIZE DISRUPTIONS TO ONGOING OPERATIONS AND DOWN-TIME TO EXISTING SYSTEMS.
7. REMOVAL OF DEVICE SHALL INCLUDE REMOVAL OF ALL ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH ALL TRADES.

DEMOLITION KEYNOTES:

1. REMOVE EXISTING WALL
- SHORE AND BRACE EXISTING STRUCTURES AS REQUIRED
- PATCH AND REPAIR SURROUNDING SURFACES AS REQUIRED
2. NEW DOOR WITHIN EXISTING WALL
- REFRAME WALL AS REQUIRED FOR NEW HEADER / DOOR OPENING
- PATCH AND REPAIR SURROUNDING SURFACES AS REQ'D
3. REMOVE EXISTING RAISED FLOOR
- NEW FLOOR LEVEL TO MATCH EXISTING LR/KT FLOOR
- PATCH AND REPAIR SURROUNDING SURFACES AS REQUIRED
4. REMOVE EXISTING WATER HEATER AND CLOSET
- SHORE AND BRACE EXISTING STRUCTURES AS REQUIRED
- PATCH AND REPAIR SURROUNDING SURFACES AS REQUIRED



(E) SECOND FLOOR - No work proposed for this level
SCALE: 1/4" = 1'-0"



(E) MAIN FLOOR w/ Demolition
SCALE: 1/4" = 1'-0"



Residential &
Light Commercial
Design

Om Design LLC
230 Chilverton Ste. A
Santa Cruz, CA
(831) 251-0198
om-design.io

**Naik
Residence**

Addition
FOR
Ram
Naik
156 Connemara Way
Sunnyvale, CA

Remodel with Addition
464

REMARKS DATE

VERSION DATE 4/4/2023

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.

REMARKS DATE



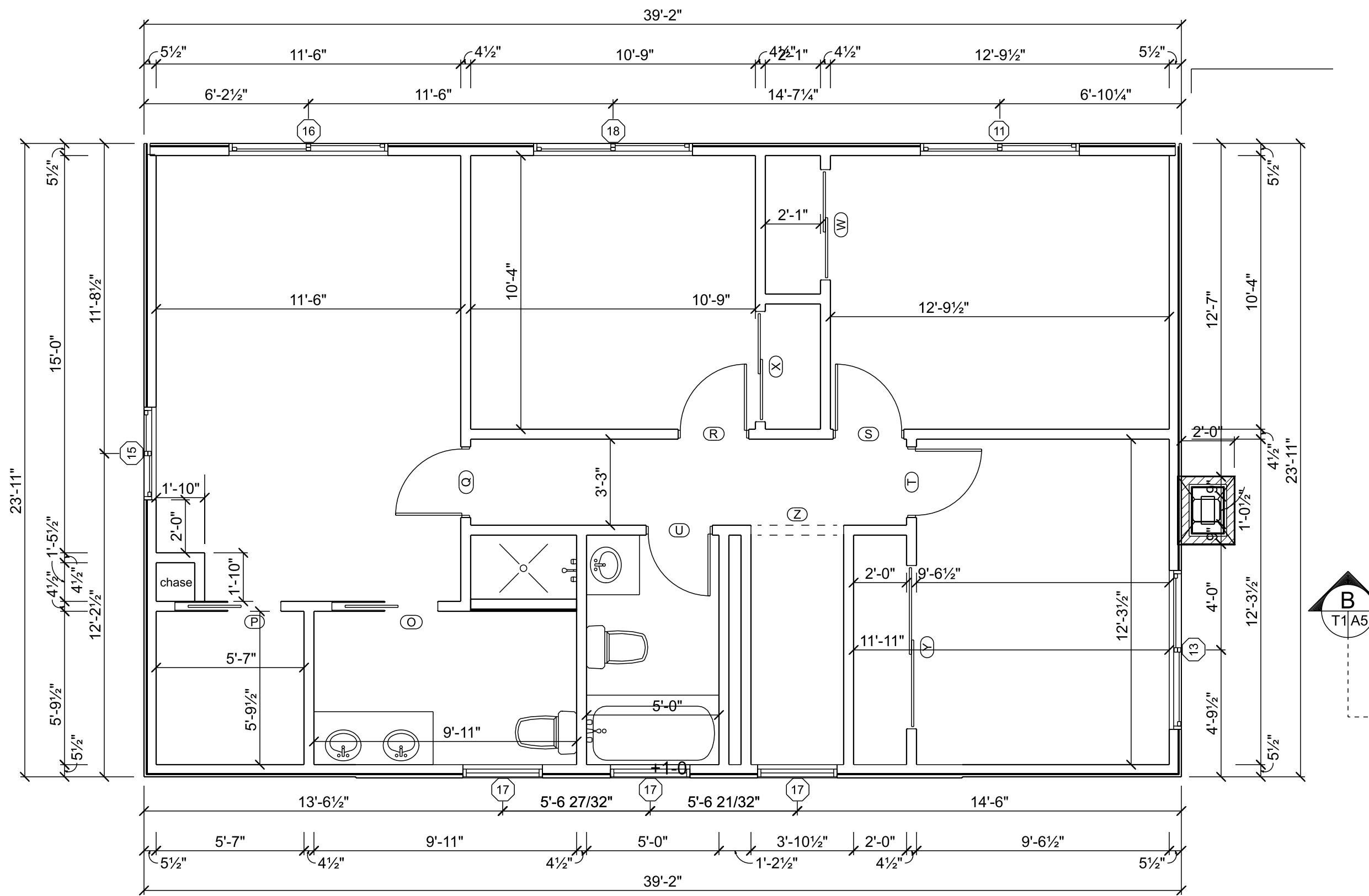
CADD FOLDER Naik
CADD FILE
DRAWN BY JW

(E) Floor Plan

A2

SECOND FLOOR DIMENSIONS

SCALE: 1/4" = 1'-0"



OPENING SCHEDULE									
OPENING ID	COUNT	TYPE	LIBRARY NAME	SIZE	HINGE	TEMPERED GLASS	GLAZING AREA	OPENING AREA	
5	1	SLIDING WINDOW	Window/Slider	4'-0" x 3'-6"	NL	Yes	10.4 sq. ft.	14.0 sq. ft.	
7	1	SLIDING WINDOW	Window/Slider	6'-0" x 3'-0"	NL	No	13.8 sq. ft.	18.0 sq. ft.	
10	1	SLIDING WINDOW	Window/Slider	6'-0" x 3'-0"	NL	No	13.8 sq. ft.	18.0 sq. ft.	
14	1	WINDOW	Window/Awning	2'-8 1/2" x 2'-8 1/2"	U	No	5.1 sq. ft.	7.3 sq. ft.	
B	1	DOOR	Interior Door/Colonial	2'-0"	R	No	0.0 sq. ft.	14.6 sq. ft.	
H	1	DOOR	Interior Door/Colonial	2'-6"	L	No	0.0 sq. ft.	18.0 sq. ft.	
I	1	DOOR	Interior Door/Colonial	2'-8"	L	No	0.0 sq. ft.	19.1 sq. ft.	
K	1	GARAGE	Om Custom Door/Symbols	15'-9"	U	No	15.8 sq. ft.	112.0 sq. ft.	
L	1	SLIDING DOOR	Exterior Door/Patio	8'-0"	NL	No	0.0 sq. ft.	53.3 sq. ft.	
N	1	SLIDING DOOR	Interior Door/Sliding	5'-0"	NN	No	13.6 sq. ft.	33.3 sq. ft.	
AD	1	DOOR	Exterior Door/Colonial	2'-4"	L	No	0.0 sq. ft.	17.5 sq. ft.	
11	1	SLIDING WINDOW	Window/Slider	6'-0" x 3'-0"	NL	No	13.8 sq. ft.	18.0 sq. ft.	
13	1	SLIDING WINDOW	Window/Slider	6'-0" x 3'-0"	NL	No	13.8 sq. ft.	18.0 sq. ft.	
15	1	SLIDING WINDOW	Window/Slider	3'-6" x 3'-0"	NL	No	7.4 sq. ft.	10.5 sq. ft.	
16	1	SLIDING WINDOW	Window/Slider	6'-0" x 3'-0"	NL	No	13.8 sq. ft.	18.0 sq. ft.	
17	3	WINDOW	Window/Single Hung	3'-0" x 3'-0"	U	No	6.1 sq. ft.	9.0 sq. ft.	
18	1	SLIDING WINDOW	Window/Slider	6'-0" x 3'-0"	NL	No	13.8 sq. ft.	18.0 sq. ft.	
O	1	POCKET	Interior Door/Pocket	2'-0"	N	No	0.0 sq. ft.	13.3 sq. ft.	
P	1	POCKET	Interior Door/Pocket	2'-0"	N	No	0.0 sq. ft.	13.3 sq. ft.	
Q	1	DOOR	Interior Door/Colonial	2'-6"	L	No	0.0 sq. ft.	18.0 sq. ft.	
R	1	DOOR	Interior Door/Colonial	2'-6"	R	No	0.0 sq. ft.	18.0 sq. ft.	
S	1	DOOR	Interior Door/Colonial	2'-6"	L	No	0.0 sq. ft.	18.0 sq. ft.	
T	1	DOOR	Interior Door/Colonial	2'-6"	L	No	0.0 sq. ft.	18.0 sq. ft.	
U	1	DOOR	Interior Door/Colonial	2'-4"	L	No	0.0 sq. ft.	16.9 sq. ft.	
W	1	SLIDING DOOR	Interior Door/Sliding	4'-0"	NN	No	10.8 sq. ft.	26.7 sq. ft.	
X	1	SLIDING DOOR	Interior Door/Sliding	4'-0"	NN	No	10.8 sq. ft.	26.7 sq. ft.	
Y	1	SLIDING DOOR	Interior Door/Sliding	6'-0"	NN	No	16.4 sq. ft.	40.0 sq. ft.	
6	1	COMBINED UNIT	Window/Picture	5'-6" x 4'-0"	LNR	No	14.6 sq. ft.	22.0 sq. ft.	
8	1	WINDOW	Window/Awning	6'-0" x 1'-4"	U	No	4.8 sq. ft.	6.0 sq. ft.	
12	1	COMBINED UNIT	Window/Picture	6'-10" x 4'-6"	LNR	No	22.1 sq. ft.	30.8 sq. ft.	
D	1	DOOR	Interior Door/Colonial	2'-8"	R	No	0.0 sq. ft.	19.1 sq. ft.	
J	1	DOOR	Interior Door/Colonial	2'-0"	R	No	0.0 sq. ft.	14.6 sq. ft.	
AF	1	DOOR	Interior Door/Colonial	2'-8"	L	No	0.0 sq. ft.	19.1 sq. ft.	
AF	1	DOOR	Interior Door/Colonial	2'-8"	R	No	0.0 sq. ft.	19.1 sq. ft.	
AG	1	DOOR	Exterior Door/Colonial	3'-0"	L	No	1.7 sq. ft.	22.1 sq. ft.	
AK	1	BIFOLD	Interior Door/Bifold	4'-6 1/16"	LR	No	0.0 sq. ft.	30.0 sq. ft.	
AT	1	DOOR	Interior Door/French	5'-0"	LR	No	14.3 sq. ft.	34.9 sq. ft.	

WALL LEGEND

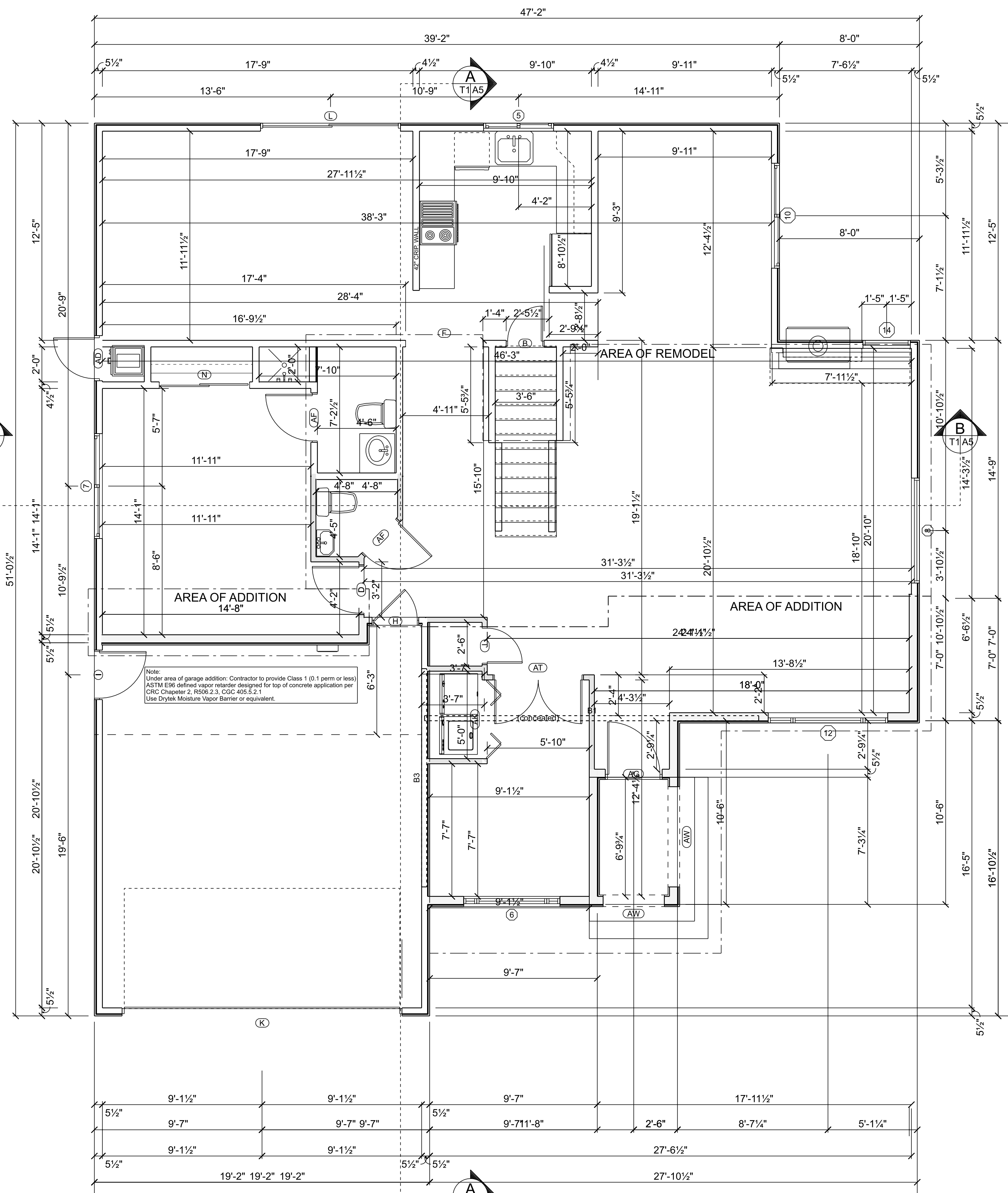
- New Walls
- Existing Walls to Remain

NATURAL LIGHT & VENTILATION CALCULATIONS

Room	Area	TTL Glazing	% Glazing	TTL Ventilation	% Ventilation
Bedroom 5	176	15	8.5	8	4.3
Living	400	32	8.0	22.1	5.5
Study	108	14.6	13.5	7.3	6.7

OPENING NOTES

- Contractor and owner to verify all openings prior to purchase.
- All opening U-factor to be min. 0.30
- New windows and doors on this project will fully comply with the following minimum code requirements:
Residential Windows and Door Code Requirements:
a. Tested and labeled to comply with the AAMA standards per CRC, Sec. 609.3.
b. Safety Glazing testing and labeling per CRC, Sections. 308.1 & 308.4
c. Energy testing and certification per CENc, Sec. 110.6
- Riser height at doors to be no greater than 7-3/4 in at threshold.
- Demonstrate existing skylight(s) have been tested by an approved independent laboratory, and shall bear a label identifying manufacturer, performance grade rating, and approved inspection agency to indicate compliance with the requirements of AAMA/WDMA/CSA 1011/S.2/A440. Otherwise replace with compliant unit. [CRC R308.6.9]



FIRST FLOOR DIMENSIONS

SCALE: 1/4" = 1'-0"



Residential &
Light Commercial
Design

Om Design LLC
230 Chilverton Ste. A
Santa Cruz, CA
(831) 251-0198
om-design.io

Naik
Residence

Addition
FOR
Ram
Naik

156 Connemara Way
Sunnyvale, CA

Remodel with Addition
464

REMARKS DATE

VERSION DATE 4/4/2023

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.

REMARKS DATE



CADD FOLDER Naik
CADD FILE
DRAWN BY JW

Dimensions

A3



Residential &
Light Commercial
Design
Om Design LLC
230 Chilverton Ste. A
Santa Cruz, CA
(831) 251-0198
om-design.io

**Naik
Residence**

Addition
FOR
Ram
Naik

156 Connemara Way
Sunnyvale, CA

Remodel with Addition
464

REMARKS	DATE
VERSION DATE	4/4/2023

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.

REMARKS	DATE



CADD FOLDER Naik
CADD FILE
DRAWN BY JW

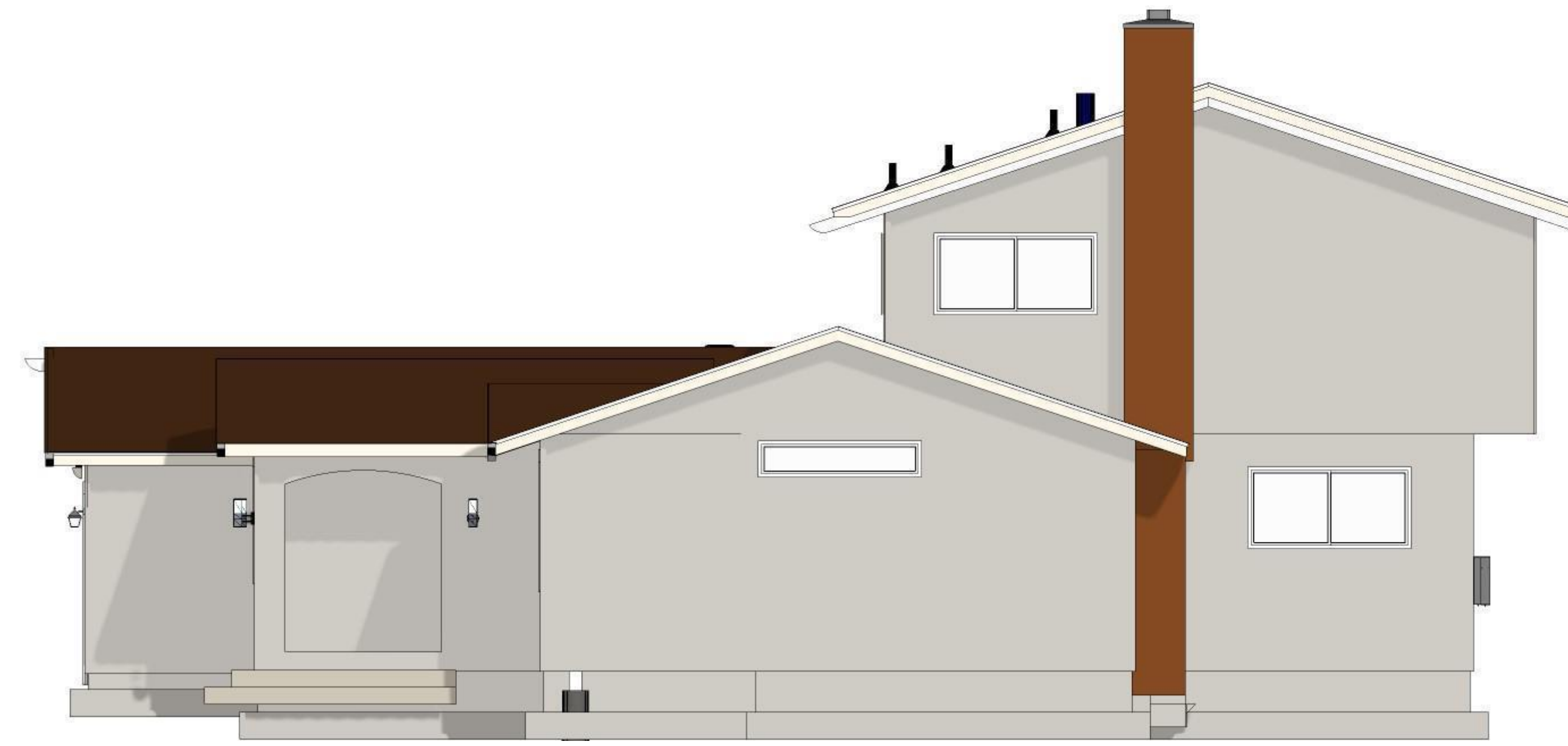
(N) Elevations
A4



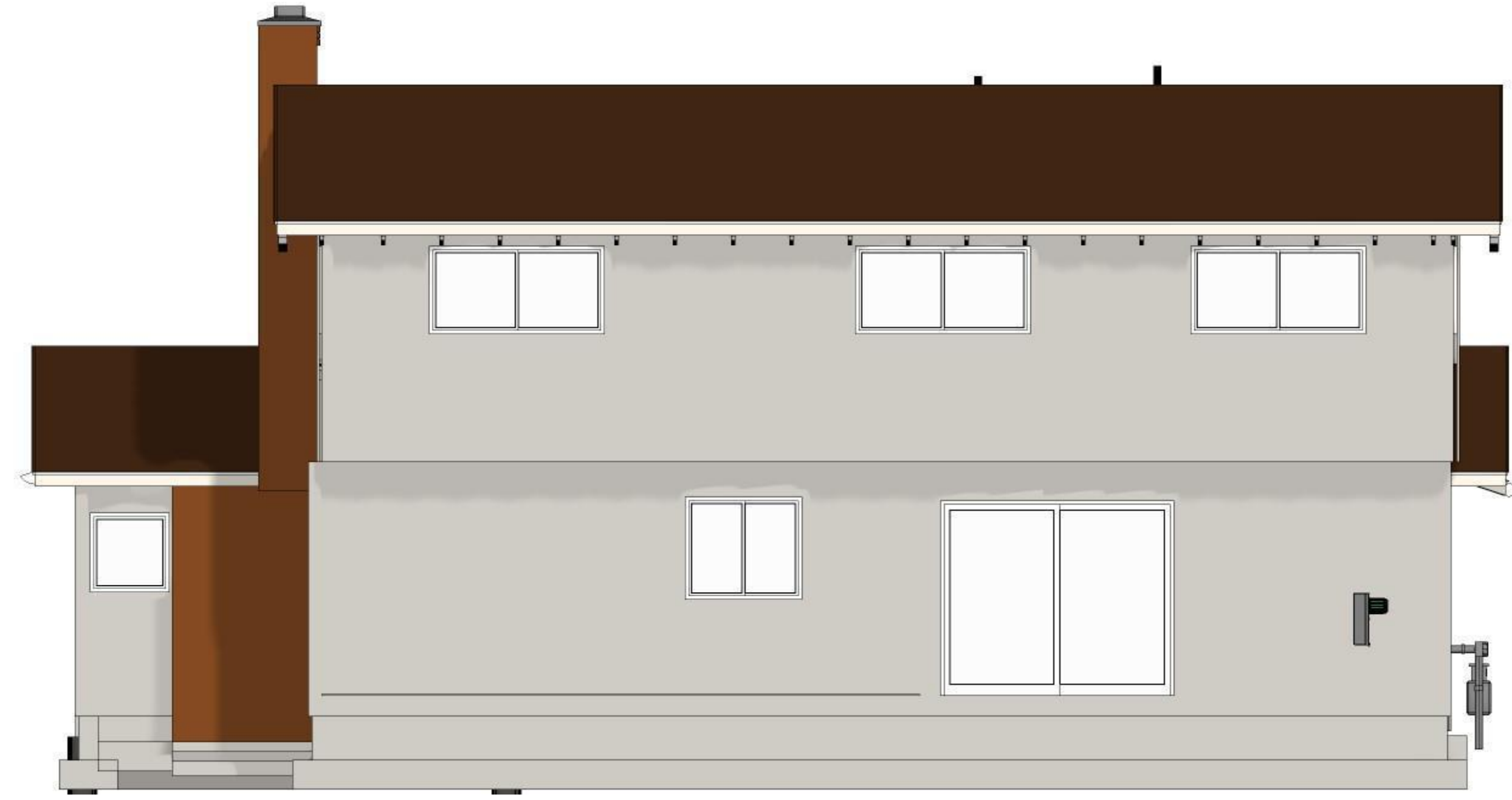
(N) EAST ELEVATION
SCALE: 1/4" = 1'-0"



(N) North Elevation
SCALE: 1/4" = 1'-0"



(N) WEST ELEVATION
SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

GENERAL ELEVATION NOTES:

- 1) FOUNDATION DRAINAGE: 6" fall for 10' away from foundation or 2% grade 3' away, if impervious surface crc r401.3' 7/a4
- 2) Protect annular spaces around opening in plates at exterior wall

ROOF

- Comp. shingles Class "B" or better
- Standard prefinished metal gutters and downspouts.

ROOF SHEATHING

SEE ENGINEERING SHEETS FOR STRUCTURAL DETAILS

WINDOWS AND DOORS

- WINDOWS: Jeld Wen with color and style to match existing
- DOOR HARDWARE: To be selected by owner to match existing

EXTERIOR FINISHES

- FASCIA: To match existing
- SHINGLE MOLD: To match existing
- SIDING: Stucco
- TRIMS: Fiber Cement Composite
- EXTERIOR WINDOW AND DOOR TRIMS: Choicetrim (or equal)
- EAVES: To match existing
- PRIME / PAINT All exterior materials w/ Kelly Moore 550 AC Acrylic (or equal)

MATERIALS

- 1) Aerosol Paints & Coatings Compliant with Product Weighted MIR Limits: 4.504.2.3
- 2) Finish Materials VOC Limit (Adhesives, Sealants, Caulks, Paints, Coatings): 4.504.2
- 3) Use Low VOC, Water-Based Wood Finishes: 4.504.2.2
- 4) Use Solvent-Free Adhesives: 4.504.2.1
- 5) Use Low-VOC, Formaldehyde-Free Composite Wood Materials, Particle Board & MDF: 4.504.5
- 6) Check Moisture Content Materials for Walls & Floors Before Enclosure: 4.505.3
- 7) Where Resilient Flooring Installed 80% Low VOC: Demonstrate flooring product compliance with 4.504.4

ADDRESS POSTING

- 1) Address shall be displayed on front wall of house and at street.
- 2) Address numbers shall be a minimum of four (4) inches in height and a color contrasting to their background.

VENTILATION CALCULATIONS

NEW ROOF: 288/150 = 2 SQ. FT./288 SQ. IN.

PROVIDE 288 SI ATTIC VENTILATION
6 - Eave Vents w min. 48.9 sq. in. net free area w/ Cobra Ridge Vent at Ridge

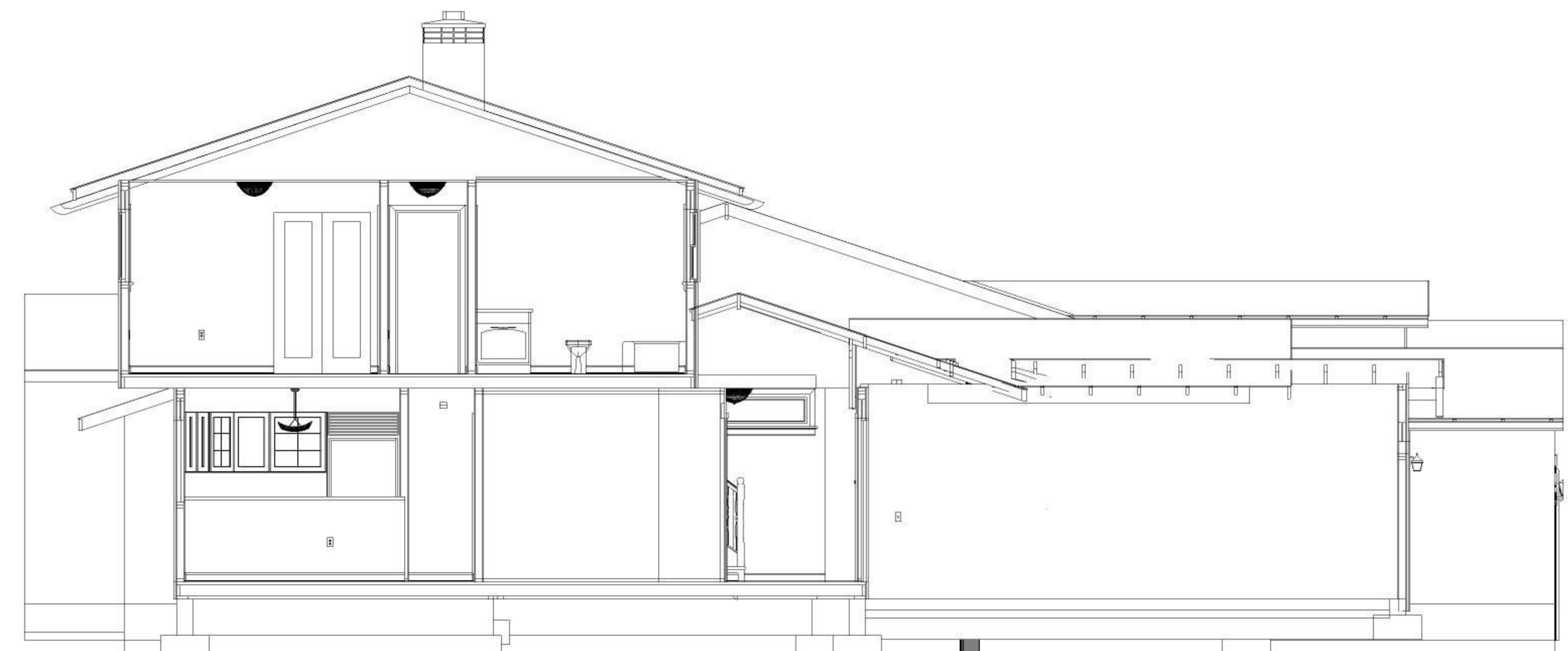
CRAWLSPACE: 298/150 = 2 SQ. FT./288 SQ. IN.

PROVIDE 288 SI CRAWLSPACE VENTILATION
5 - 8x16 Foundation Vents w min. 64 sq. in. net free area

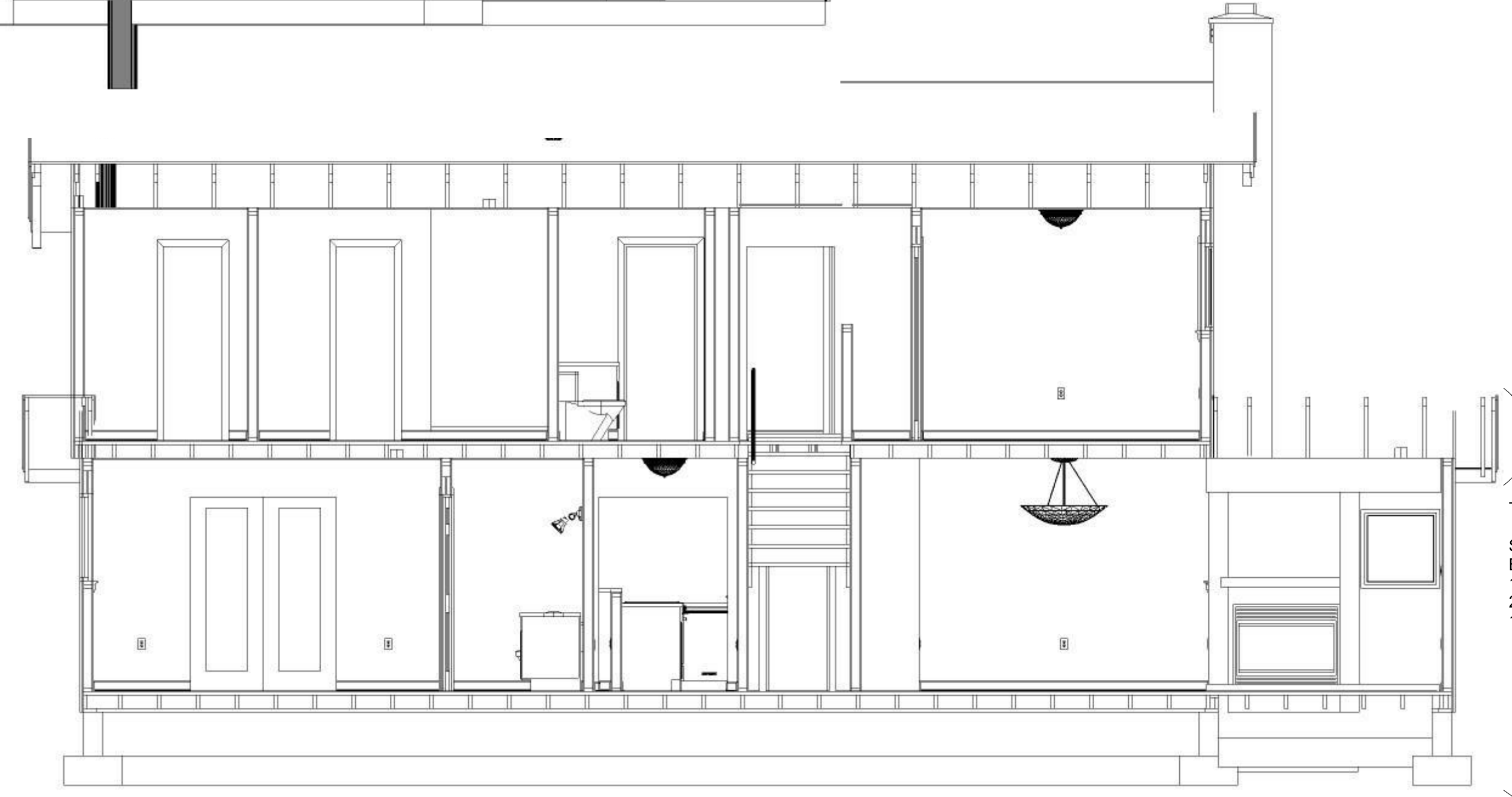
Architectural Details

NOTE: SEE ENGINEERS SHEETS FOR STRUCTURAL DETAILS

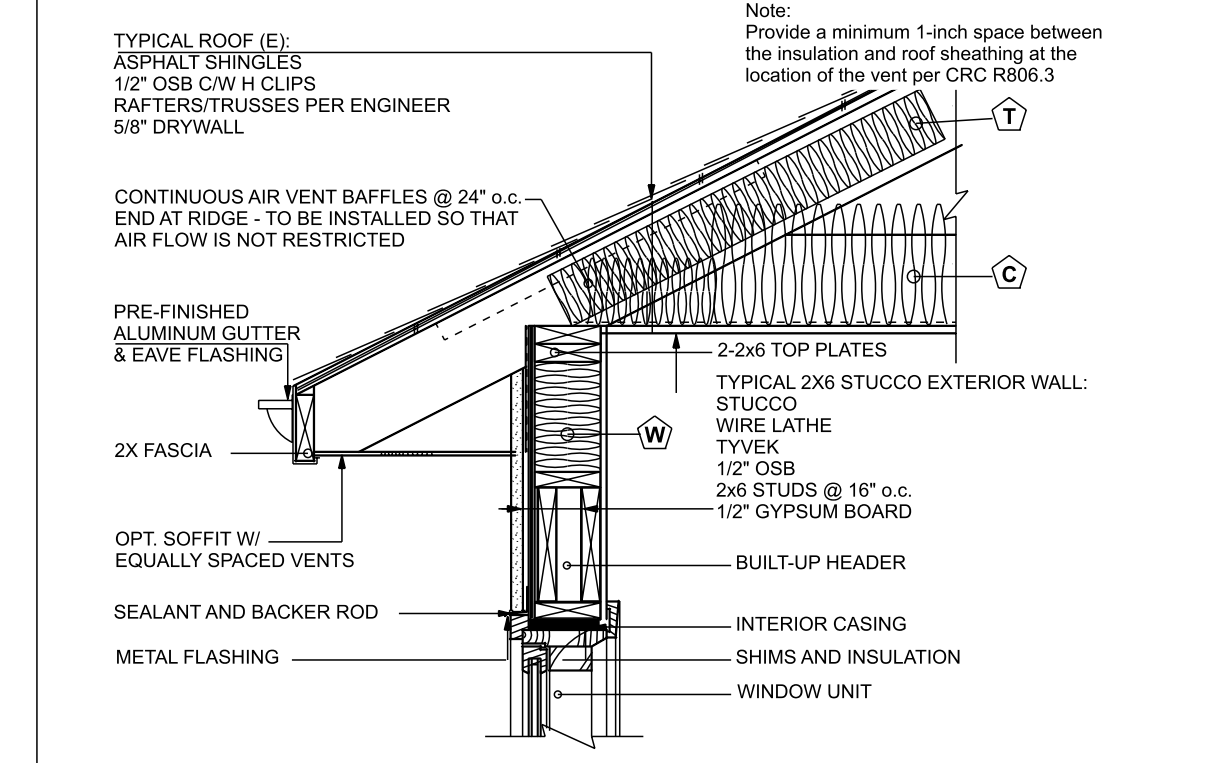
Insulation Keynotes			
Key	Location	Type	Value
F	Floor	Batt	T-24
W	Walls	Batt	T-24
C	Ceiling	Batt	T-24
T	Roof	Batt	T-24



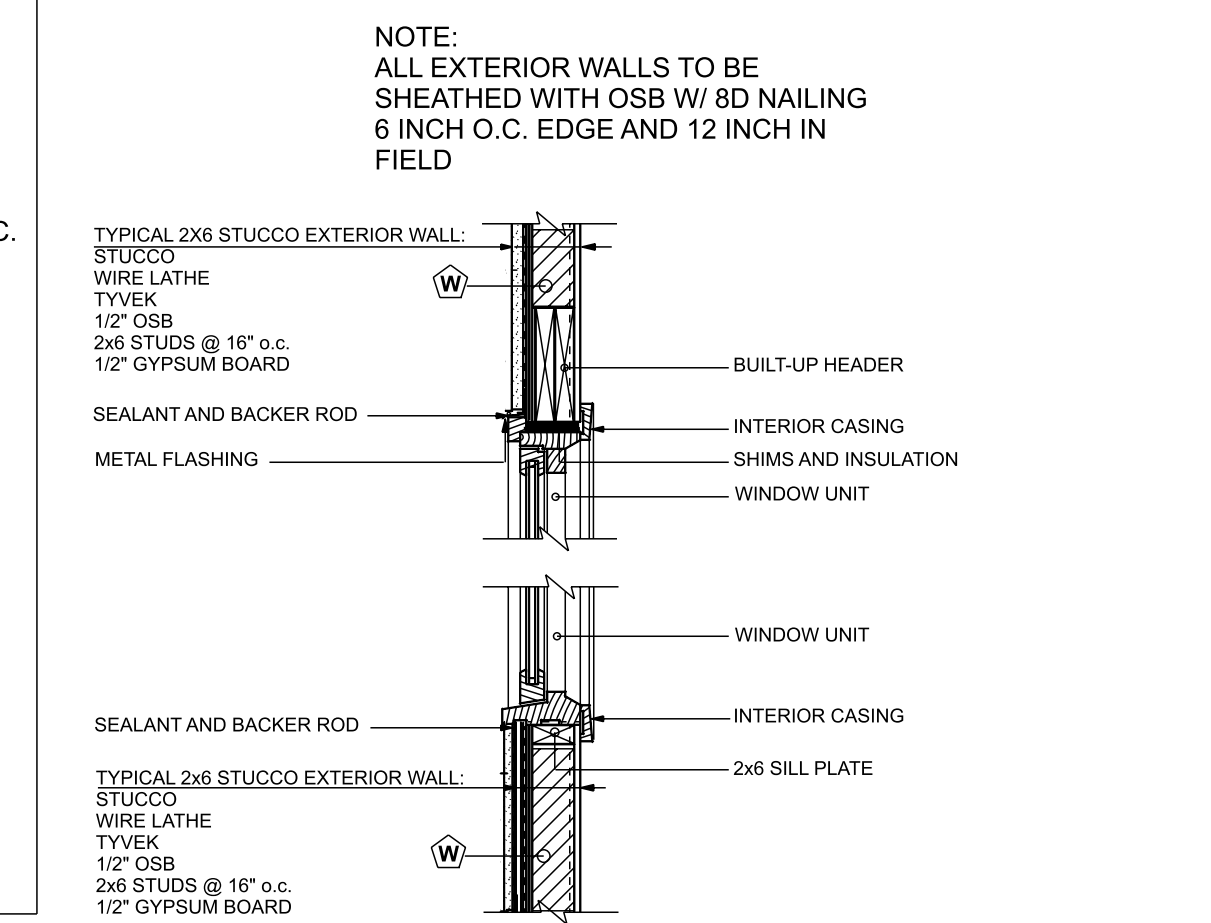
A
T1/A5
CROSS SECTION A
SCALE: 1/4" = 1'-0"



B
T1/A5
CROSS SECTION B
SCALE: 1/4" = 1'-0"

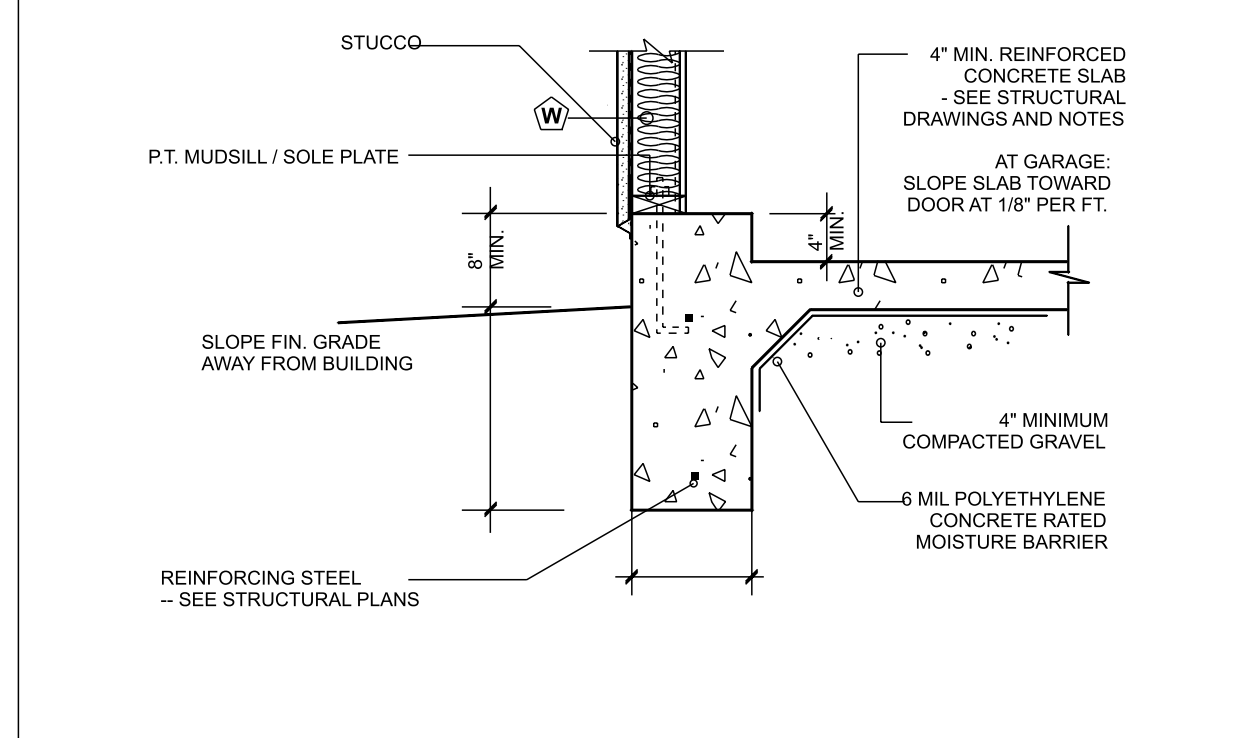
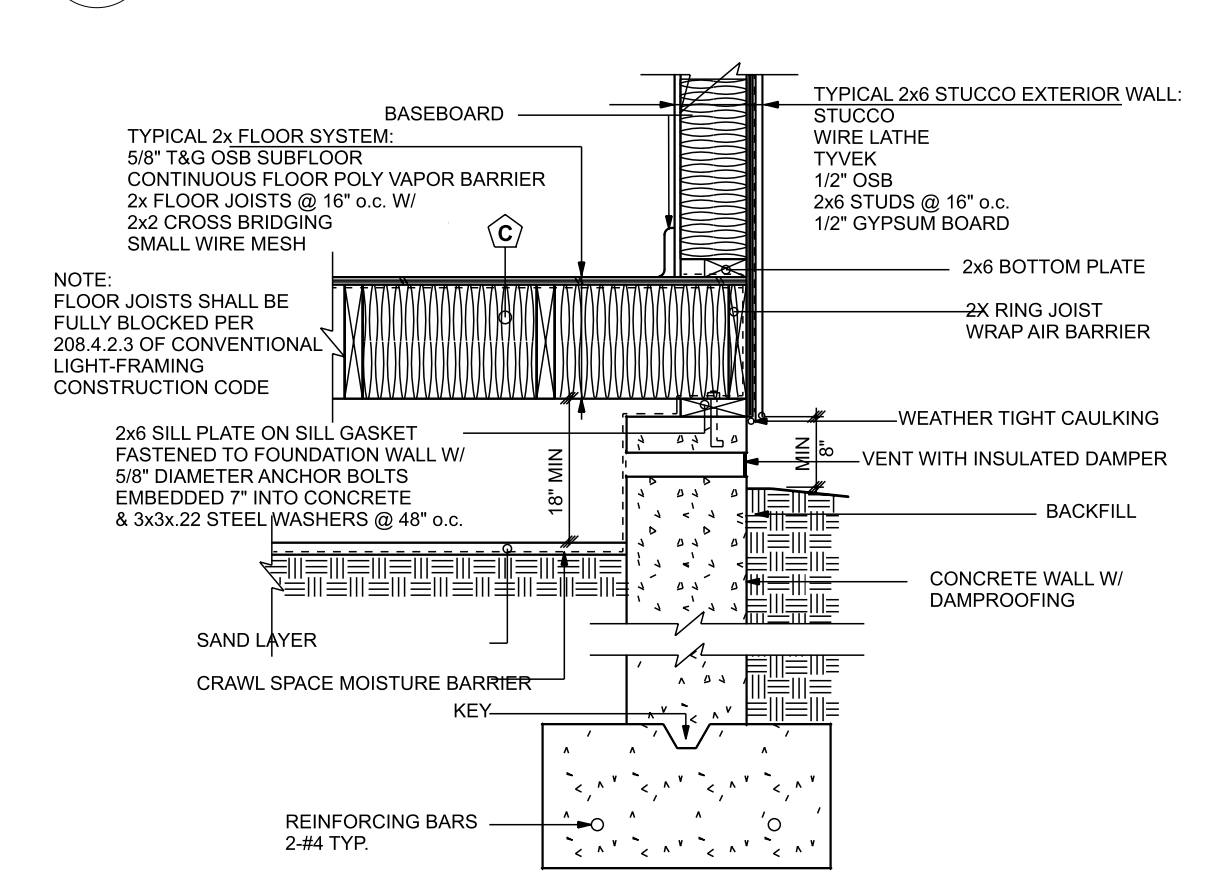


4
A3
Eave Roof
SCALE: 3/4" = 1'-0"



6A
A3
Wall at Foundation
SCALE: 3/4" = 1'-0"

5
A3
Openings
SCALE: 3/4" = 1'-0"



6B
A3
Garage Slab (E)

1
A3
SECTION VIEWS

GA FILE NO. WP 3242	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS			
Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space.			
OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 1 7/8" long, 0.0915" shank, #10a heads, 7" o.c. Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)			
Thickness: 5/8" Approx. Weight: 7 psf Fire Test: G94N05371, 2-15-05, UL Design U309		Sound Test: NRCC TL-93-098, IRC-IR-761, 3/98	

2
A3
(E) Garage Firewall Detail



Residential & Light Commercial Design

Om Design LLC
230 Chilverton Ste. A
Santa Cruz, CA
(831) 251-0198
om-design.io

Naik Residence

Addition FOR Ram Naik
156 Connemara Way
Sunnyvale, CA

Remodel with Addition 464

REMARKS	DATE
VERSION DATE	4/4/2023

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.

REMARKS	DATE



CADD FOLDER Naik
CADD FILE
DRAWN BY JW

Details

A5

NJM

CONSULTING
ENGINEERING, INC

NATHAN MIAO, PE
CELL: 415-676-9896
E-MAIL:
NATHAN@NJMENGINEERING.COM
18488 PROSPECT RD, SUITE 12,
SARATOGA, CA 95070



STAMP
PROJECT:
NAIK RESIDENCE

ADDRESS:
156 CONNEMARA WAY
SUNNYVALE, CA

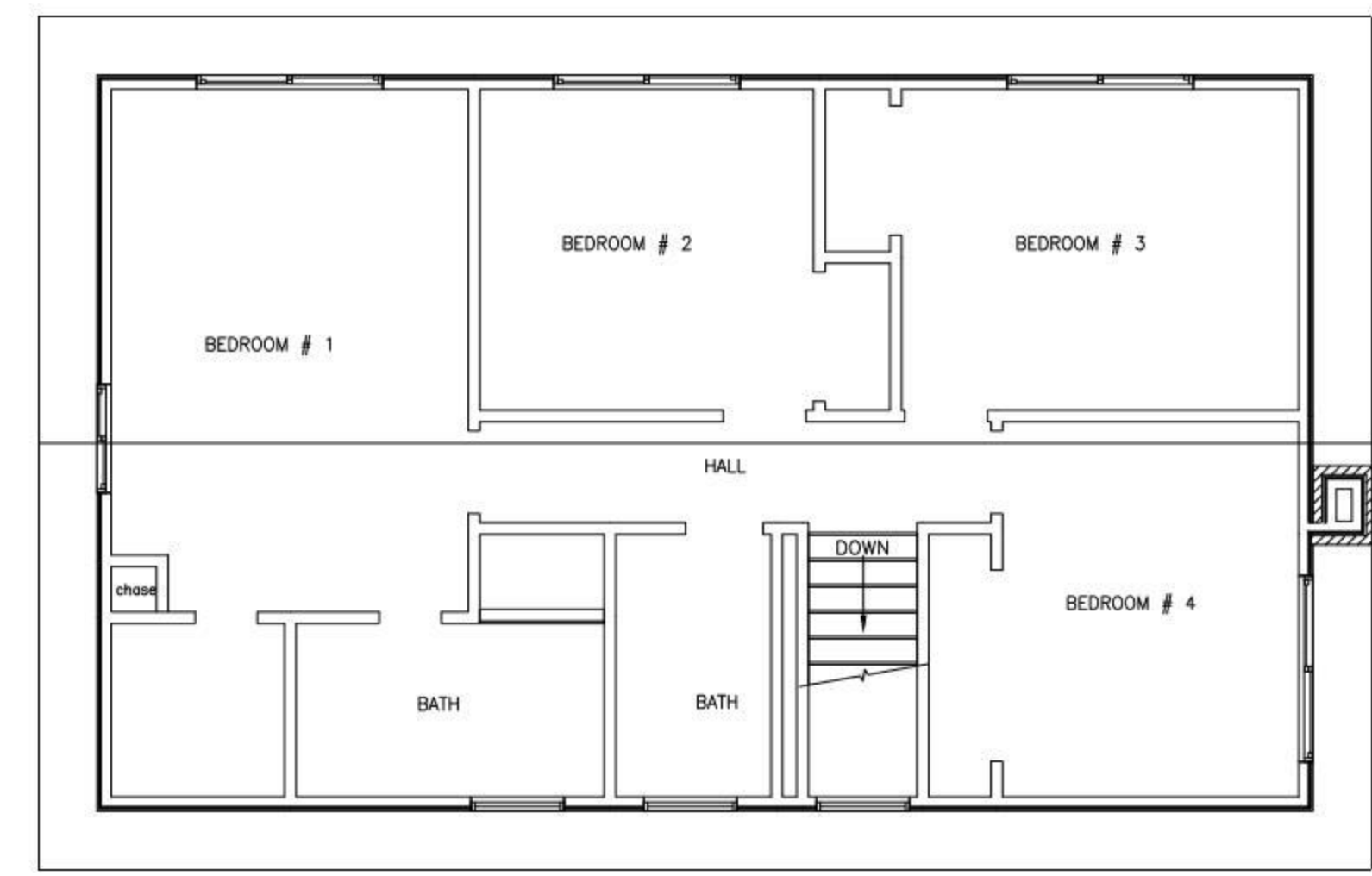
REVISION:
1
2
3
4

DATE: 8/25/2022

SCALE: AS SHOWN

CITY STAMPING AREA

SHEET:
S-3



UPPER ROOF PLAN (NO CHANGE)
SCALE: 3/16" = 1'

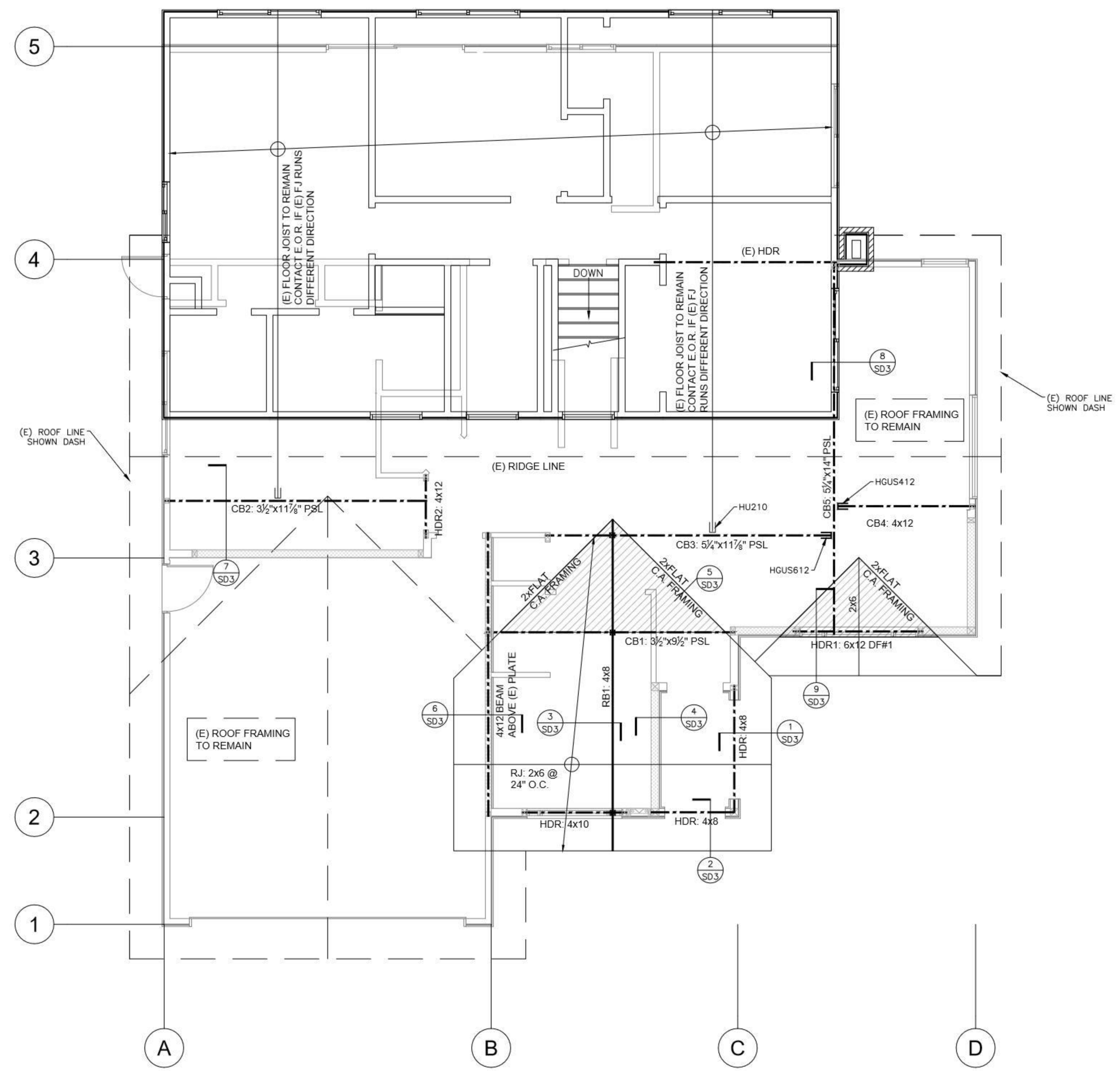
LEGENDS

- SHEAR WALL LOCATION
SEE SHEAR WALL SCHEDULE AND ANCHOR BOLT
SPACING AT SD1
- TOP: SHEAR WALL TYPE REF SW SCHEDULE
BOT: MINIMUM SHEAR WALL LENGTH
- COLLECTOR STRAPS
SIMPSON STRAP NAILED OVER PLYWOOD OVER 2xBLK'G
OR JOIST. SEE PLANS FOR LENGTH AND LOCATION.
USE CS14 CONT. U.O.N.
- COLLECTOR NAILING
B.N. ALONG THE JOIST

FLOOR SHEATH
23/32" T&G APA RATED SHEATHING,
STRUCTURAL I, 48/24, GLUE TO JOISTS
10d @ 4" O.C. E.N. & B.N.
10d @ 12" O.C. FIELD NAILING
PROVIDE BLOCKING FOR ALL EDGES

ROOF SHEATHING
15/32" OSB/PLYWOOD STRUCT. I
32/16 RATING EXTERIOR
10d @ 6" O.C. E.N. & B.N.
10d @ 12" O.C. FIELD NAILING

⊠ POST 1ST LEV TO ROOF
⊠ CEILING POST
ALL POSTS 4x BEAM WIDTH U.O.N.



LOWER ROOF & 2ND FLOOR PLAN
SCALE: 1/4" = 1'

ALL DIMENSIONS REFER TO ARCHITECTURAL DRAWINGS

ENERGY CONSULTANT
LINDA BUTLER, CEPE
124 OTIS STREET
SANTA CRUZ, CA 95060
PHONE: 831-345-1028
E-Mail: lbutler0853@gmail.com

NAIK RESIDENCE
156 CONNEMARA WAY
SUNNYVALE, CA 94087

ENERGY COMPLIANCE CALCULATIONS

8/7/22

EN2

STATE OF CALIFORNIA
Prescriptive Residential Additions That Do Not Require HERS Field Verification

CEC-CF1R-ADD-02-E (Revised 01/20)
CERTIFICATE OF COMPLIANCE
Prescriptive Residential Additions That Do Not Require HERS Field Verification

CALIFORNIA ENERGY COMMISSION
CF1R-ADD-02-E
Page 10 of 10

Table with 2 columns: Section Number and Description. Includes items like § 150.0(k)(2) Interior Switches and Controls, § 150.0(k)(3) Residential Outdoor Lighting, § 150.0(k)(4) Internally Illuminated Address Signs, and § 150.0(k)(6) Interior Common Areas of Low-rise Multifamily Residential Buildings.

CA Building Energy Efficiency Standards - 2019 Residential Compliance

January 2020



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply. (Original 08/2019)

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections: Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Heating, and Plumbing System Measures, and Water Heating Recirculation Loops.



2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections: Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, Lighting Measures, and various subsections like § 150.0(c)(1) through § 150.0(k)(2).



2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections: Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Solar Water-heating Systems, Ducts and Fans Measures, and various subsections like § 150.0(m)(1) through § 150.0(m)(13).



2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections: Interior Switches and Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, Interior Common Areas of Low-rise Multifamily Residential Buildings, Solar Ready Buildings, and various subsections like § 150.0(k)(2) through § 150.0(k)(6) and § 110.10(a) through § 110.10(e)(2).

Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
4.1 Planning and Design	4.106.2 Storm Water Drainage and Retention during construction. A plan is developed and implemented to manage storm water drainage during construction.	Sheet: L1 - Landscape BMP Plan	Initials and Date:
4.1 Planning and Design	4.106.3 Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings	Sheet: L1 - Landscape Landscape Plan	Initials and Date:
4.1 Planning and Design	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages shall install a listed raceway to accommodate a dedicated 208.240-volt branch circuit	Sheet: M1-Electrical Special Notes	Initials and Date:
4.1 Planning and Design	4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces capable of supporting future EVSE.	Sheet: N/A	Initials and Date:
4.1 Planning and Design	4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE.	Sheet: N/A	Initials and Date:
4.2 Energy Efficiency	4.201.1 Scope Compliance with the California Energy Commission mandatory standards.	Sheet: EN1 & 2 Title 24	Initials and Date:

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.
Sunnyvale.ca.gov - Search "Planning and Building"

4.3 Water Efficiency and Conservation	4.303.1.1 Water Closets. Effective flush volume of all water closets shall not exceed 1.28 gallons per flush.	Sheet: T1 Plumb. Fix. Sched	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.2 Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.	Sheet: T1 Plumb. Fix. Sched	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.3 Showerheads. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all shower heads shall not exceed 1.8 gallons per minute at 80 psi.	Sheet: T1 Plumb. Fix. Sched	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.4 Faucets. Residential lavatory faucets shall not exceed 1.2 gpm at 60 psi. Lavatory faucets in common and public use areas in residential buildings shall not exceed 0.5 gpm at 60 psi. Metering faucets installed in residential buildings shall not deliver more than 0.2 gallons per cycle. Kitchen faucets shall not exceed 1.8 gpm at 60 psi.	Sheet: T1 Plumb. Fix. Sched	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed per the California Plumbing Code.	Sheet: T1 Plumb. Fix. Sched	Initials and Date:
4.3 Water Efficiency and Conservation	4.304.1 Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO).	Sheet: N/A	Initials and Date:
4.3 Water Efficiency and Conservation	4.305.1 Recycled water supply systems. Newly constructed residential developments, where recycled water is available from a municipal source may be required to have recycled water supply systems installed.	Sheet: N/A	Initials and Date:

4.4 Material Conservation and Resource Efficiency	4.406.1 Rodent Proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste.	Sheet: L1 BMP Plan	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.2 Construction waste management plan. Submit a construction waste management plan.	Sheet: L1 BMP Plan	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner.	Sheet: T1 Cover Sheets Special Notes	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.2 Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, readily accessible areas shall be identified for the collection of recycling.	Sheet: N/A	Initials and Date:
4.5 Environmental Quality	4.503.1 Fireplaces. Any installed gas fireplace shall be a direct-vent sealed-combustion type.	Sheet: N/A	Initials and Date:

4.5 Environmental Quality	4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.5 Environmental Quality	4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.5 Environmental Quality	4.504.2 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with voelimits. Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification. Documentation shall be provided to verify that compliant voe limit finish materials have been used.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.5 Environmental Quality	4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:

4.5 Environmental Quality	4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.5 Environmental Quality	4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those section s, as shown in Table 4.504.5.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.5 Environmental Quality	4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.	Sheet: T1 Cover Sheet Special Notes	Initials and Date:
4.5 Environmental Quality	4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1	Sheet: T1 Cover Sheet Special Notes	Initials and Date:

	Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual 5-2014 or equivalent.		
Chapter 7: Installer and Special Inspector Qualifications	702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems. 702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting. 703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	Sheet: T1	Initials and Date:



Residential & Light Commercial Design

Om Design LLC
230 Chilverton Ste. A
Santa Cruz, CA
(831) 251-0198
om-design.io

Naik Residence

Addition

FOR

Ram Naik

156 Connemara Way
Sunnyvale, CA

Remodel with Addition
464

REMARKS DATE

VERSION DATE 4/4/2023

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.

REMARKS DATE



CADD FOLDER Naik
CADD FILE
DRAWN BY JW

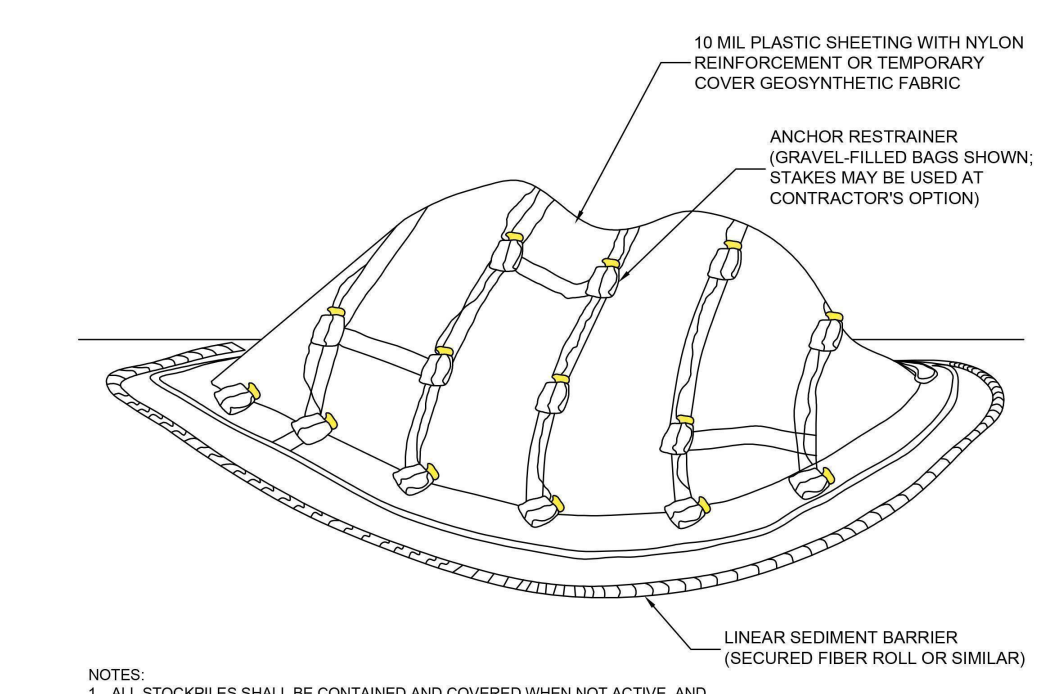
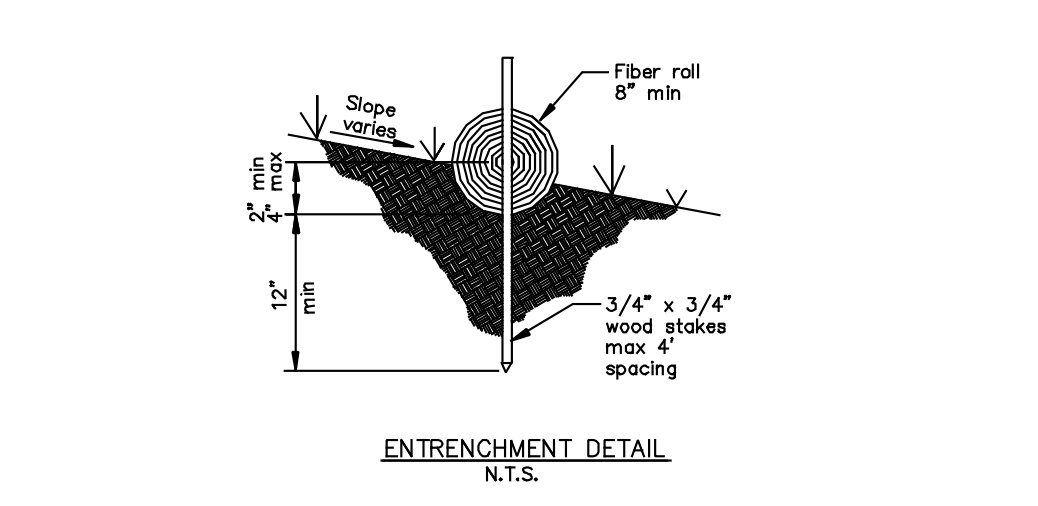
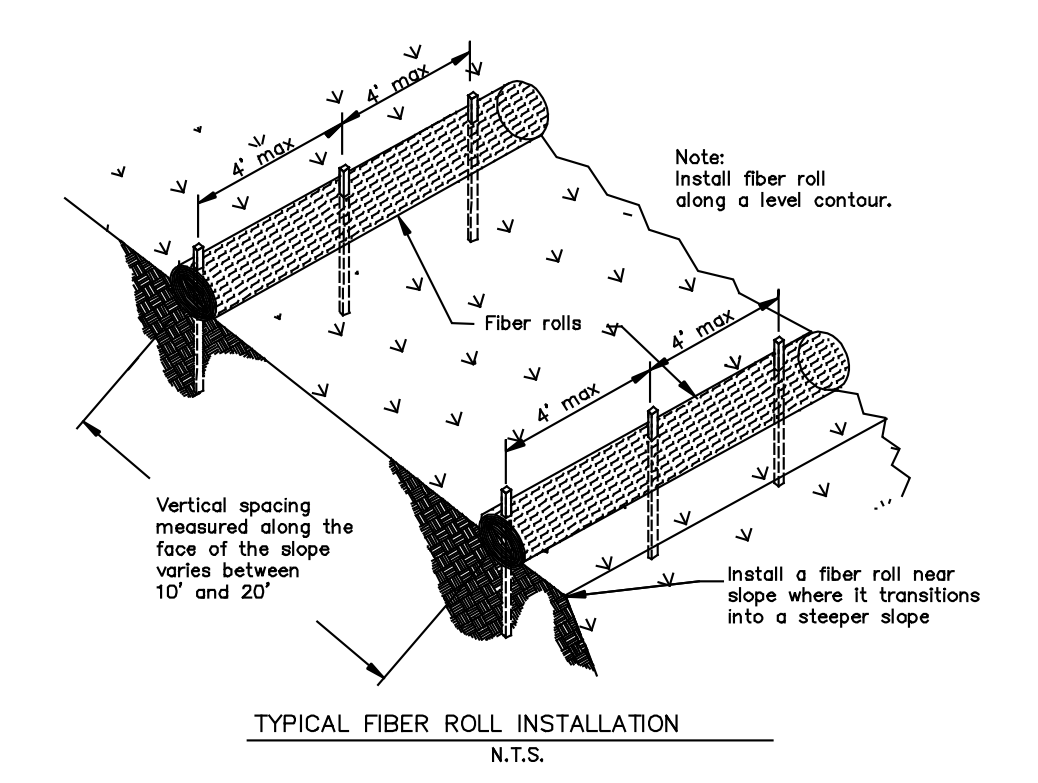
Calgreen

EN3

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE BUILDING DEPARTMENT WILL BE CAUSE FOR THE DEPARTMENT TO ISSUE A STOP WORK NOTICE.



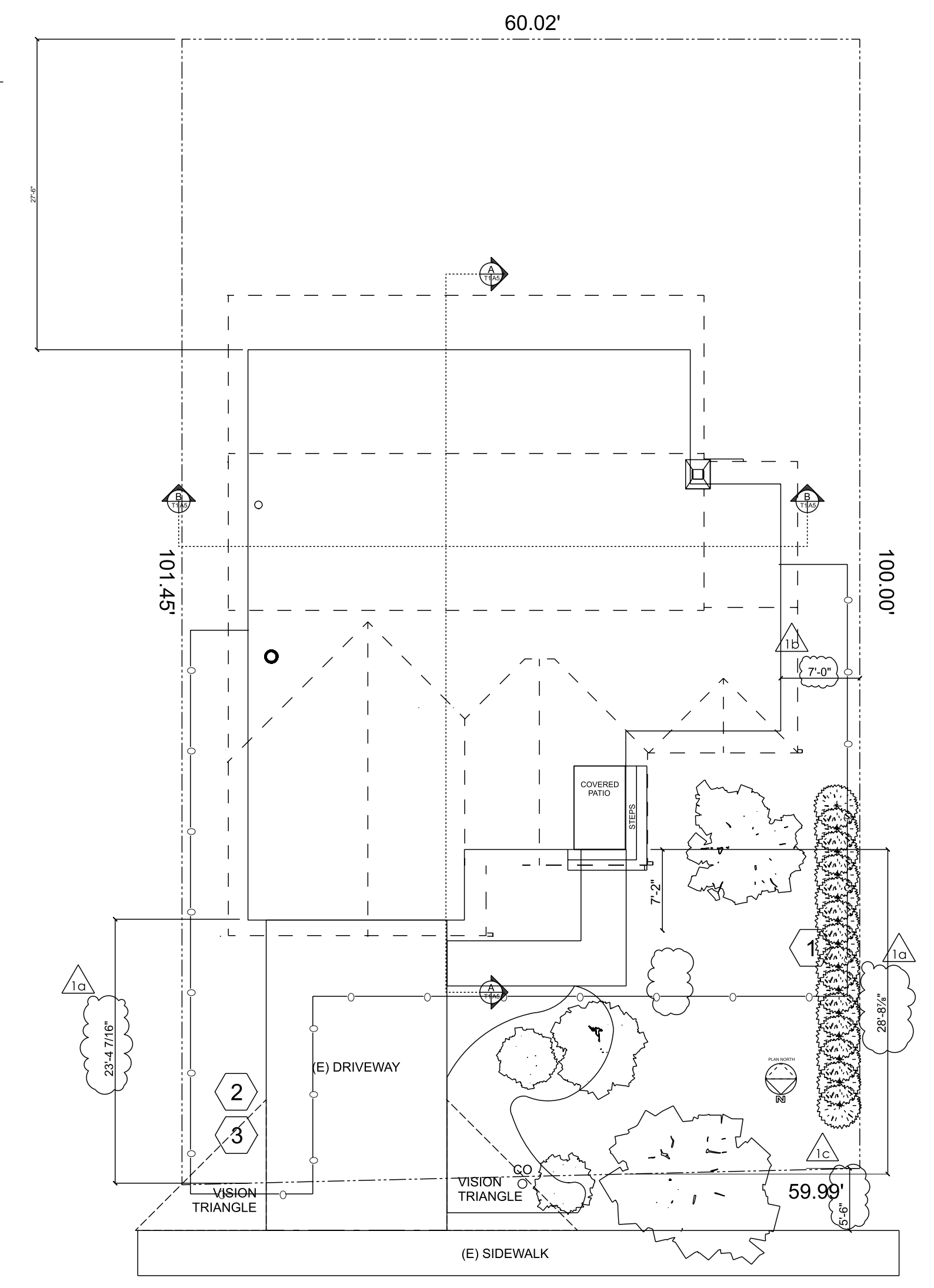
BMP Details



- NOTES:
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.



- ### BMP Notes
- 1) Construction Best Management Practices (BMPs): Project construction and demolition activities shall comply with the City's Storm Water Best Management Practices for Construction. See the City website at: <http://www.cityofsantacruz.com/home/showdocument?id=6031>
 - 2) Erosion & sediment control BMPs, such as fiber rolls or wattles, shall be inspected regularly during construction and after each significant rain event. Make needed repairs immediately.
 - 3) Check the sidewalk and street daily during demolition and construction for soil drag-out, and sweep if needed. Routinely maintain the construction entrance/exit to ensure it remains effective at preventing drag-out.
 - 4) Store open bags of particulate, granular or powder materials (such as plaster or concrete) indoors if possible. If stored outside, they must be kept covered or closed, and during the rainy season kept within secondary containment.
 - 5) Dumpster lids must be kept closed and secured when not in use.
 - 6) Soil & Material Stockpiles: Soil and materials stockpiles must be protected from runoff/run-on, when not in use, by BMPs such as surrounded by berms, fiber rolls or wattles and covered with sheeting or tarps. All soil stockpiles should be stored on a flat area. If stored on an area with a 10% slope or more, please add note that soil shall be hauled offsite at end of each day.
 - 7) During the rainy season, ensure that sediment control measures are in place and effective at preventing sediment from leaving the site.
 - 8) Pervious Pavers or Pavement: Protect pervious pavers or pavement, once installed, so that any remaining construction activities will not damage or clog the pavers/pavement.
 - 9) Porta-potties (if applicable): Do not locate Porta-potties adjacent to watercourses or storm drain inlets.
 - 10) Protect City Trees during construction.



BMPs
SCALE: 1" = 10'-0"

