

GENERAL NOTES: (SEE ALSO STRUCTURAL GENERAL NOTES)

1. ALL WORK SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING, 2013 CALIFORNIA RESIDENTIAL CODE, 2013 CALIFORNIA ELECTRICAL, 2013 CALIFORNIA MECHANICAL, 2013 CALIFORNIA PLUMBING AND 2014 CALIFORNIA ENERGY CONSERVATION CODES AND 2013 CITY OF SUNNYVALE MUNICIPAL CODE AND ANY OTHER REGULATORY LOCAL AND STATE AGENCIES WHICH HAVE ANY AUTHORITY OVER ANY PORTION OF THE WORK INCLUDING THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND THOSE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PLANS AND AT THE BUILDING SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.
3. THE CONTRACTOR SHALL INSURE THAT ALL WORK IS CARRIED OUT IN A SAFE ENVIRONMENT. IT SHALL BE HIS RESPONSIBILITY TO SEE THAT ALL CONSTRUCTION SAFETY REGULATIONS APPLICABLE ARE OBSERVED.
4. THE INSTALLATION OF ALL SPECIFIED MATERIALS INCLUDING THE PREPARATION OF SURFACES, SHALL CONFORM TO THE MATERIAL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. ALL WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THE APPLICATION MATERIALS SPECIFIED.
5. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING WHERE REQUIRED.
6. METHODS OF DEMOLITION SHALL BE DEvised BY THE CONTRACTOR BUT WITHIN THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL ORDINANCES.
7. DETAILS SHOWN ARE BASED ON DATA TAKEN FROM EXISTING FIELD OBSERVATIONS AND MAY NOT AGREE WITH EXISTING CONSTRUCTION. WHERE A DIFFERENCE OCCURS WORK SHALL BE STOPPED ON THAT AREA IMMEDIATELY AND THE ARCHITECT SHALL BE NOTIFIED.
8. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT EXISTING OR NEW STRUCTURES DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
9. CONTRACTOR SHALL VERIFY WITH THE OWNER LOCATIONS OF EXISTING UNDERGROUND CABLES, CONDUITS, UTILITY PIPES, ETC. AND SHALL NOT DAMAGE SAME DURING EXCAVATIONS. CONCRETE AND ASPHALT TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A CLEAN STRAIGHT EDGE.
10. THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT.
11. THE CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE BRACES AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE, UNTIL THE STRUCTURE ITSELF (INCLUDING THE ROOF AND FLOOR DIAPHRAGMS) IS COMPLETE ENOUGH TO ADEQUATELY SUPPORT ITSELF.
12. ALL CONCRETE OR MASONRY RETAINING WALLS SEPARATING EXTERIOR AND INTERIOR SPACES SHALL BE EQUIPPED WITH VAPOR BARRIERS AND PERFORATED DRAINS SURROUNDED BY GRAVEL.

CONSTRUCTION HOURS:

NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH PRIOR WRITTEN APPROVAL FROM THE BUILDING OFFICIAL, WHICH APPROVAL SHALL BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS. HOLIDAYS ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST MONDAY OF MAY, THE FOURTH DAY OF JULY, THE FIRST MONDAY OF SEPTEMBER, THE ELEVENTH DAY OF NOVEMBER, THE FOURTH THURSDAY IN NOVEMBER AND THE TWENTY-FIFTH DAY OF DECEMBER. IF THE FIRST DAY OF JANUARY, THE FOURTH DAY OF JULY, THE ELEVENTH DAY OF NOVEMBER, OR THE TWENTY-FIFTH DAY OF THE DECEMBER FALLS UPON A SUNDAY THE FOLLOWING MONDAY IS A HOLIDAY.

MONDAY THROUGH FRIDAY: 7 AM TO 7 PM  
SATURDAYS: 9 AM TO 6 PM  
SUNDAYS AND HOLIDAYS: 10 AM TO 6 PM

ANY/ALL PUBLIC IMPROVEMENTS THAT WILL BE DAMAGED AS RESULTING FROM THE CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED BY THE OWNER'S CONTRACTOR AT HIS/HER OWN COST. RESTORATION WORK SHOULD BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS & UTILITY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY.

ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

PROJECT DATA

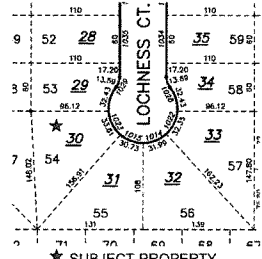
ZONING: R-1  
YEAR OF CONSTRUCTION: 1958  
TYPE OF CONSTRUCTION: V-B  
GROUP OF OCCUPANCY: R-3 & U  
NO. OF STORIES: EXISTING HOUSE - ONE  
PROPOSED HOUSE - ONE  
AUTOMATIC FIRE SPRINKLER SYSTEM: NO

AREA CALCULATIONS

	EXISTING	PROPOSED DEMO	NEW	TOTAL
LOT				9,377.0 SQ. FT.
MAIN STRUCTURE - LIVING AREA	1,757.0 SQ. FT.	0.0 SQ. FT.	0.0 SQ. FT.	1,757.0 SQ. FT.
GARAGE	402.0 SQ. FT.	0.0 SQ. FT.	0.0 SQ. FT.	402.0 SQ. FT.
REAR ARTIST STUDIO	465.0 SQ. FT.	0.0 SQ. FT.	73.0 SQ. FT.	538.0 SQ. FT.
PAINTING ROOM ADJACENT TO STUDIO	104.0 SQ. FT.	104.0 SQ. FT.	0.0 SQ. FT.	0.0 SQ. FT.
TOTAL	2,624.0 SQ. FT.	0.0 SQ. FT.	73.0 SQ. FT.	2,697.0 SQ. FT.
F.A.R.	0.2798	0.0000	0.0078	0.2876
FRONT PORCH	192.2 SQ. FT.	0.0 SQ. FT.	0.0 SQ. FT.	192.2 SQ. FT.
CHIMNEY	8.7 SQ. FT.	0.0 SQ. FT.	0.0 SQ. FT.	8.7 SQ. FT.
TOTAL	2,824.9 SQ. FT.	0.0 SQ. FT.	73.0 SQ. FT.	2,897.9 SQ. FT.
LOT COVERAGE	0.3013		0.0078	0.3090

SHEET INDEX

SHEET NO.	DESCRIPTION
A1.0	SITE INFO, GENERAL NOTES, SITE PLAN, DOOR AND WINDOW SCHEDULES
A2.0	EXISTING AND NEW FLOOR AND ROOF PLANS
A3.0	EXISTING AND NEW ELEVATIONS
E1.0	TITLE 24 CERTIFICATE OF COMPLIANCE
E1.1	TITLE 24 MANDATORY MEASURES
S1.0	STRUCTURAL NOTES & NAILING SCHEDULE
S2.0	ROOF, FLOOR FRAMING AND FOUNDATION PLANS
S3.0	TYPICAL DETAILS
S3.1	FRAMING & FOUNDATION DETAILS



VICINITY MAP

REVISIONS	DATE
PRELIMINARY SET	08-17-2015
PLANNING PERMIT SET	09-24-2015



**ANTHONY CHAU  
& PARTNERS LLC**  
ARCHITECTURAL &  
ENGINEERING SERVICES

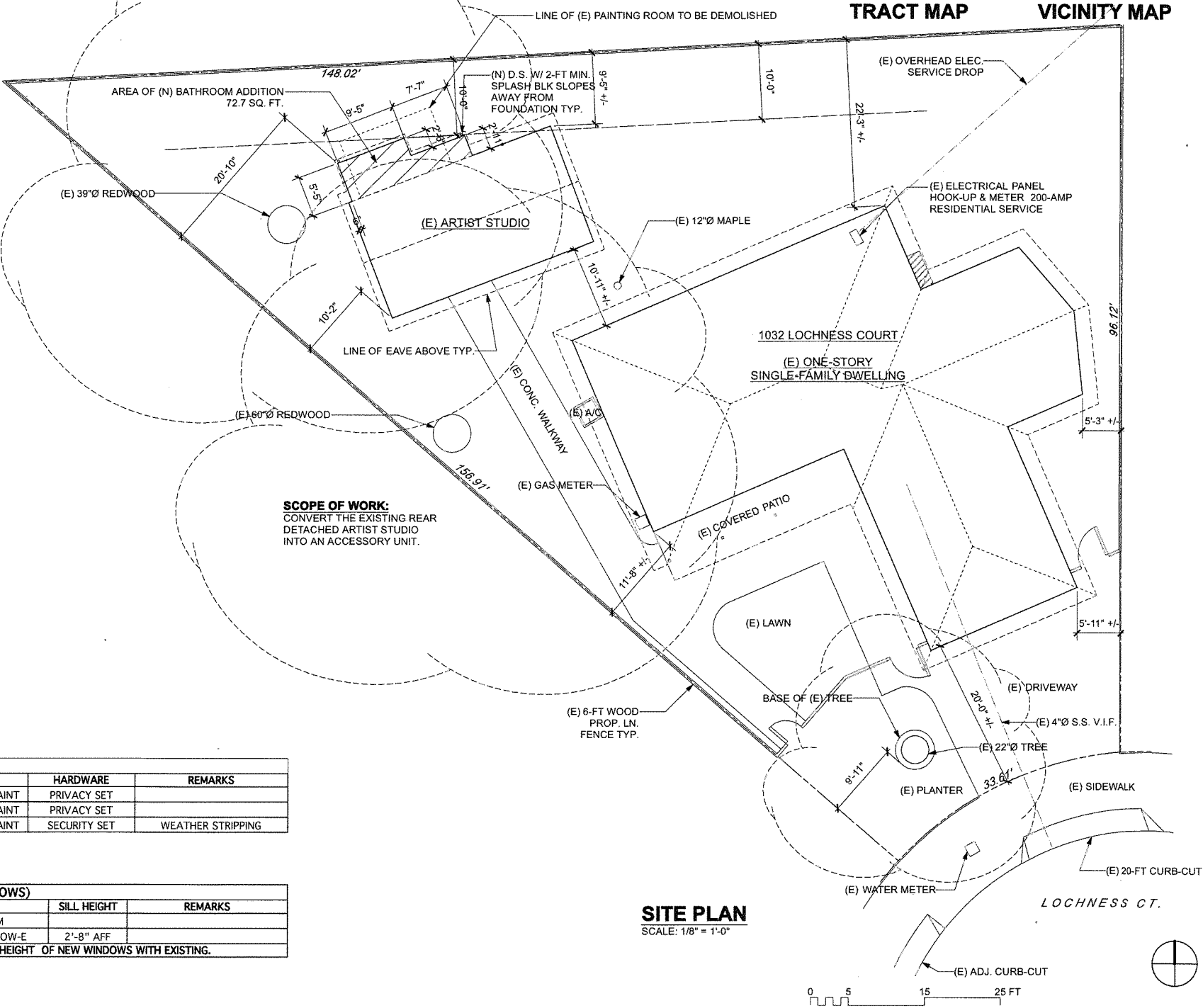
765 MORAGA RD.  
LAFAYETTE, CA 94549  
(415)-307-7538  
anthonychaudesigns@gmail.com

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GENERAL SITE  
INFORMATION &  
SITE PLAN

**PLAN OF BATHROOM ADDITION  
FOR REAR STUDIO  
KADABA RESIDENCE**  
**1023 LOCHNESS COURT  
SUNNYVALE, CA 94087  
A.P.N.: 313-35-030**

DATE	8-01-2015	SHEET N°	A1.0
JOB N°	1521		

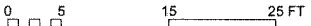


DOOR SCHEDULE (SHOWING NEW DOORS & DOORS NEEDS TO BE RELOCATED ONLY)							
NO.	SIZE	THK	TYPE	GLASS	FINISH	HARDWARE	REMARKS
1	2'-4" X 6'-8"	1 3/8	WOOD PANEL		PRIME & PAINT	PRIVACY SET	
2	2'-4" X 6'-8"	1 3/8	WOOD PANEL		PRIME & PAINT	PRIVACY SET	
3	2'-8" X 6'-8"	1 3/4	WOOD PANEL		PRIME & PAINT	SECURITY SET	WEATHER STRIPPING

WINDOW SCHEDULE ( CONTRACTOR TO VERIFY WINDOW SIZES BEFORE ORDERING WINDOWS)						
NO.	SIZE	TYPE	GLASS	SPEC	SILL HEIGHT	REMARKS
A	1'-10" X 2'-10"	SKYLIGHT	DUAL PANE	VELUX FCM		
B	2'-6" X 4'-0"	SINGLE HUNG	DUAL PANE	VINYL FRAME LOW-E	2'-8" AFF	

CONTRACTOR TO VERIFY SILL AND HEAD HEIGHT OF EXISTING WINDOWS AND MATCH SILL AND HEAD HEIGHT OF NEW WINDOWS WITH EXISTING.

SITE PLAN  
SCALE: 1/8" = 1'-0"





REVISIONS	DATE
PRELIMINARY SET	08-17-2015
PLANNING PERMIT SET	09-24-2015



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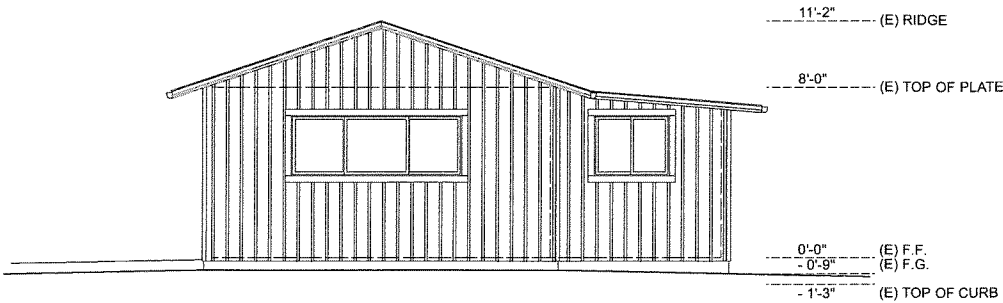
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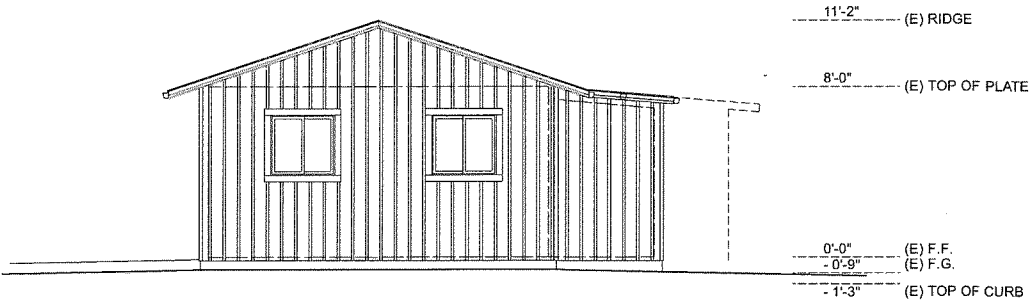
**(E) & (N)  
ELEVATIONS**

**PLAN OF BATHROOM ADDITION  
FOR REAR STUDIO  
KADABA RESIDENCE**  
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SUNNYVALE, CA 94087  
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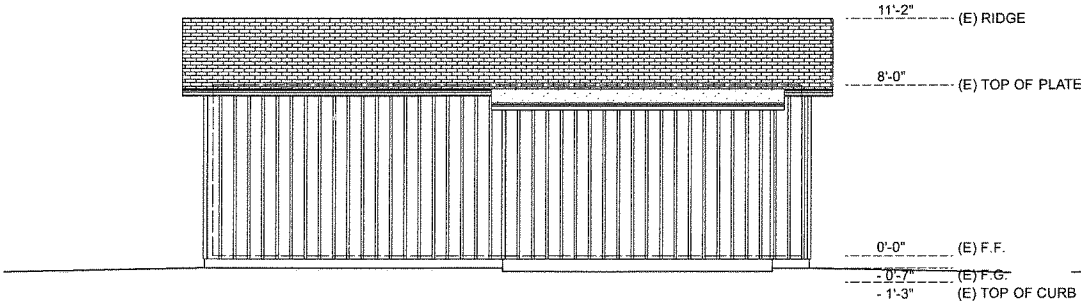
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JOB N°	1521	<b>A3.0</b>



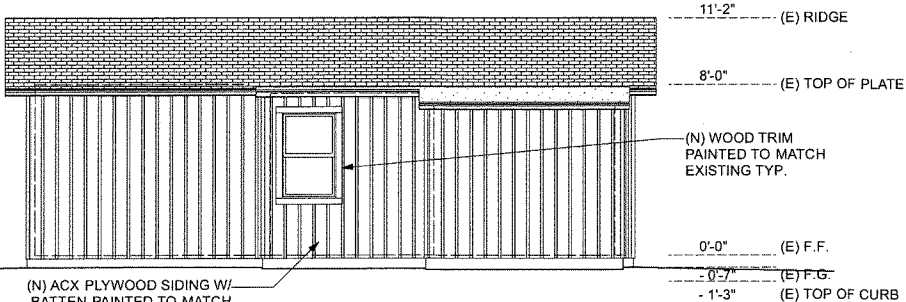
**(E) EAST ELEVATION**  
SCALE: 1/4"=1'-0"



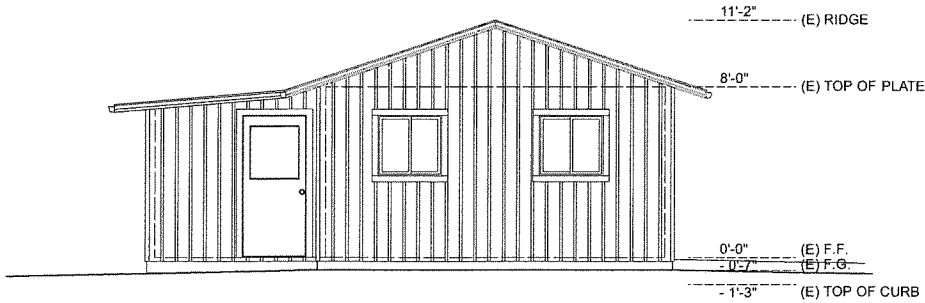
**(N) EAST ELEVATION**  
SCALE: 1/4"=1'-0"



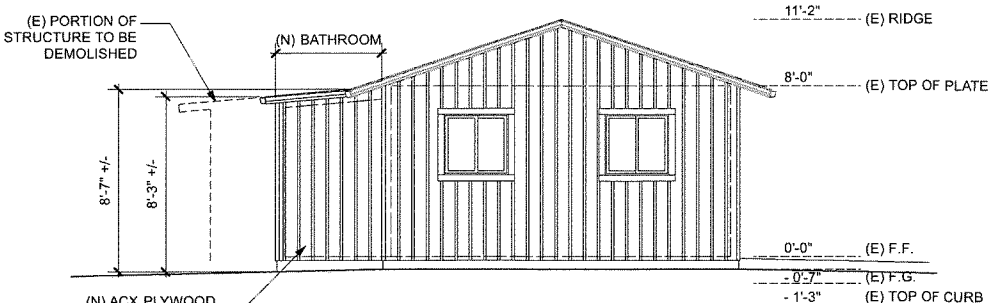
**(E) NORTH / REAR ELEVATION**  
SCALE: 1/4"=1'-0"



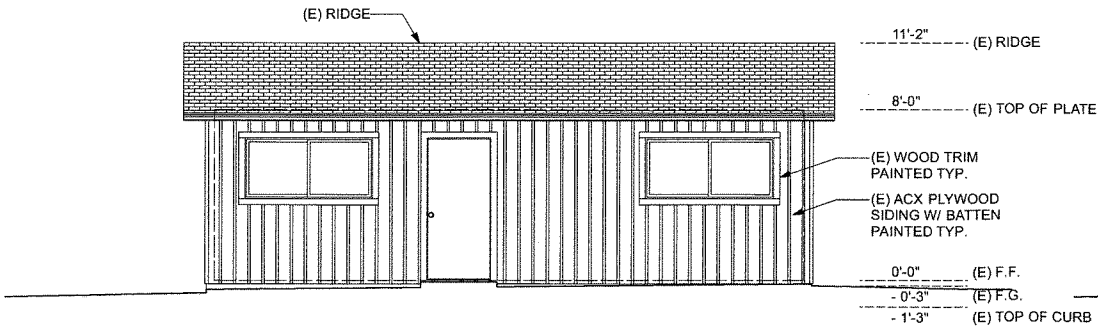
**(N) NORTH / REAR ELEVATION**  
SCALE: 1/4"=1'-0"



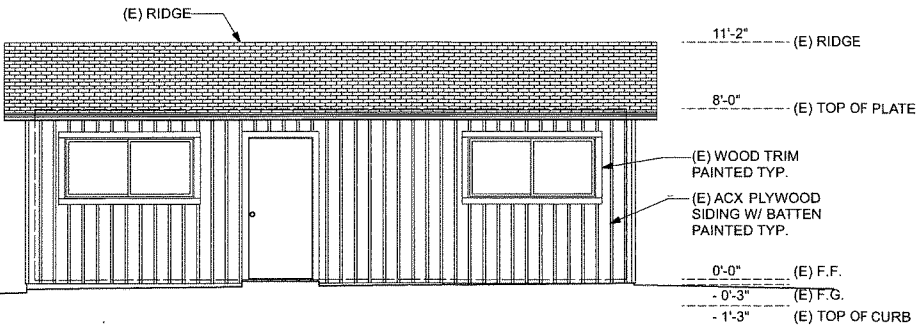
**(E) WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**(N) WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**(E) SOUTH / FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**(N) SOUTH / FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

NO CHANGE

ALL NEW BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLYWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED PER 2013 CEC SECTION 210.12(B).

ALL NEW 125-VOLT, 15- 20- AMPERE RECEPTABLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES PER 2013 CEC 406.11.

PROVIDE MINIMUM OF TWO (2) 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR ALL ELECTRICAL RECEPTACLES IN KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS PER CEC SECTION 210.11(C)(1).

PROVIDE AT LEAST ONE (1) 20 AMP CIRCUIT FOR EACH NEW OR REMODELED BATHROOM AND THE BATHROOM OUTLET SHALL BE A DEDICATED CIRCUIT PER 2013 CEC SECTION 210.11C.

ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINK (WITHIN 6-FT OF THE EDGE OF SINK), SHALL HAVE GOUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION PER CEC SECTION 210.8.

ALL NEW WALL SWITCHES SHALL BE MOUNTED AT MAX. OF 48" A.F.F. OR MATCH EXISTING U.O.N.

ALL NEW RECEPTACLE OUTLETS SHALL BE MOUNTED AT 18" A.F.F. OR MATCH EXISTING U.O.N.

ALL NEW EXTERIOR LIGHTS SHALL BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTOCONTROL AND SHIELDED OR POINTED DOWNWARD.

ALL NEW PLUMBING FIXTURES AND PIPING IS TO BE LISTED BY AN APPROVED LISTING AND TESTING AGENCY AND PROPERLY LABELED PER 2013 CPC SECTION 301.1.1

ALL LUMINARIES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE LISTED FOR SUCH USE BY AN APPROVED AND RECOGNIZED AGENCY. LUMINARIES SUBJECT TO SHOWER SPRAY MUST BE LIST "SUITED FOR WET LOCATIONS" LUMINARIES NOT SUBJECT TO SHOWER SPRAY CAN FE LISTED AS EITHER "SUITED FOR WET LOCATIONS" OR "SUITED FOR DAMP LOCATIONS".

PROVIDE PRESSURE ABSORBING DEVICES, EITHER AN AIR CHAMBER OR APPROVED MECHANICAL DEVICES THAT WILL ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF QUICK-ACTING VALVES PER 2013 CPC 609.10

ALL ENVIRONMENTAL AIR DUCTS (DRYERS, BATHS & UTILITY VENTS ETC.) SHALL BE TERMINATED MIN. 3-FEET FROM ANY OPENINGS (WINDOWS, DOORS, OPENABLE SKYLIGHTS & ATTIC VENTS ETC.) INTO THE BUILDING.

NOTE:  
INSTALL R13 BATT. INSULATION IN (N) EXTERIOR WALLS AND (E) EXTERIOR WALLS TO HAVE WALL FINISH MATERIAL BEEN REMOVED DURING CONSTRUCTION; INSTALL R30 RIGID FOAM INSULATION BETWEEN ROOF JOISTS ABOVE (N) BATHROOM.

INTERIOR FINISHES:  
FLOOR:  
BATHROOM & KITCHEN TO BE MASONRY TILE OR NATURAL STONE, COLOR & STYLE T.B.D. BY THE OWNER.  
ALL OTHER AREAS TO BE WOOD FLOORING OR CARPET, COLOR, PATTERN & MATERIAL T.B.D. BY THE OWNER.

WALL & CEILING:  
BASE & FINISH COAT OVER PRIMER ON 1/2" GYPSUM WALL BOARD TAPED & SANDED, COLOR & TEXTURE T.B.D. BY THE OWNER.

(N) WINDOWS & GLASS DOORS SHALL HAVE MAX. U VALUE OF 0.32 AND SHGC VALUE OF 0.25.  
TEMPORARY NFRC LABELS ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED UNTIL FINAL INSPECTION.

CONTRACTOR TO VERIFY WITH THE OWNER BRAND, STYLE, COLOR AND EXACT LOCATION OF ALL LIGHT FIXTURES AND HEAT REGISTERS.

(N) KITCHEN FAUCETS SHALL HAVE MAX. FLOW RATE NOT TO EXCEED 1.8 GPM AT 60 PSI. (CGBC 4.303.1.4.4)  
(N) TOILET SHALL BE ULTRA LOW FLUSH TOILET (MAX. 1.28 GALLONS/FLUSH) PER 2013 CPC 402.2.2.

(N) SHOWER-HEAD TO HAVE A MAX. FLOW OF 2.0 GPM AND VANITY FAUCETS TO HAVE A MAX. FLOW OF 1.5 GPM.

(N) SHOWER SHALL HAVE PRESSURE BALANCED ANTI-SCALD VALVE OR THERMOSTATIC MIXING VALVE.

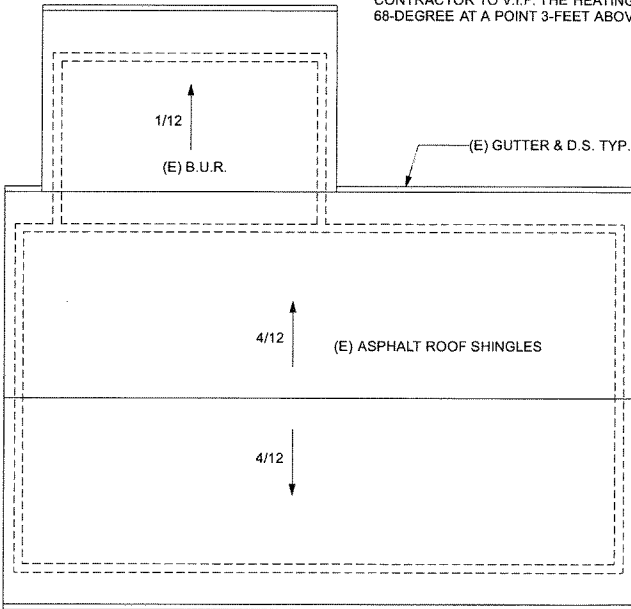
CONTRACTOR TO V.I.F. THE HEATING SYSTEM TO MAINTAIN A MINIMUM 68-DEGREE AT A POINT 3- FEET ABOVE THE FLOOR PER CBC SECTION 1204.1.

REFERENCE NOTES:

- APPROVED EXHAUST FAN, 50 CFM OR 5 AIR-CHANGES/HOUR MIN. DUCT TO EXTERIOR PER U.M.C.
- GLASS SHOWER ENCLOSURE SHALL BE SAFTY GLAZED
- ALL SURFACES SUBJECT TO WATERSPLASH SHALL HAVE WATER RESISTANT SURFACES, SUCH AS TILE. PROTECT FRAMING WITH BARRIER SUCH AS H.M. FELT OF EQUAL
- SHOWER/TUB WALLS TO BE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72-INCHES ABOVE THE DRAIN OUTLET PER CRC 307.2
- SHOWER DOOR TO BE 22" MIN. & COMPLY W/ SECTION 411.0 OF CPC.
- HARD-WIRED & INTERCONNECTED SMOKE DETECTOR W/ CARBON MONOXIDE SENSOR W/ BACKUP BATTERY TO BE INSTALLED PER CRC SECTION R314 & R315 & CBC SECTION 907.2.
- THRESHOLD TO HAVE MAXIMUM 7" DROP AT EXTERIOR LANDING & PER CRC SECTION R311.3.
- EXTERIOR LIGHTS TO BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTOCONTROL AND SHIELDED OR POINTED DOWNWARD.
- RINNAI- EX08C DIRECT VENT GAS WALL FURNACE W/ 82% AFUE
- RINNAI - R42E 120,000 BTU TANKLESS WATER HEATER

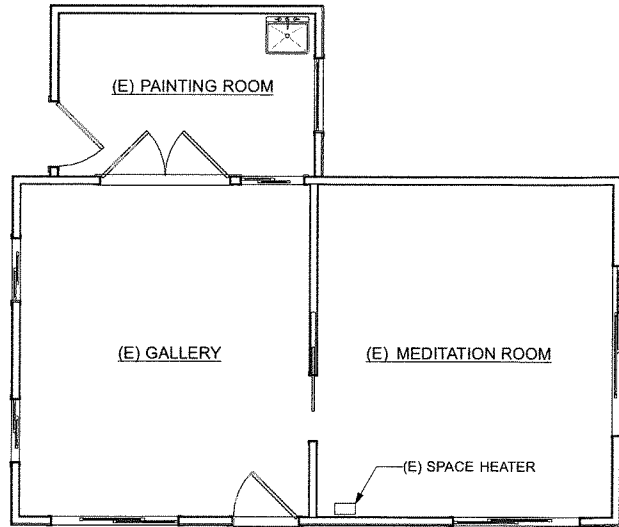
LEGEND:

- (E) WALLS
- (E) WALLS TO BE DEMOLISHED
- (N) WALLS
- DUPLEX OUTLET
- WALL SWITCH
- WAY WALL SWITCH W/ VACANCY SENSOR
- WAY WALL SWITCH W/ DIMMER CONTROL
- THREE - WAY WALL SWITCH
- GROUND FAULT CIRCUIT INTERRUPTED DUPLEX OUTLET
- SURFACE MOUNTED LIGHT FIXTURE
- LED CEILING LIGHT FIXTURE
- APPROVED EXHAUST FAN, 80 CFM, 5 AIR-CHANGES/HOUR MIN. DUCT TO EXTERIOR PER U.M.C.
- SMOKE DETECTOR
- GAS OUTLET W/ VALVE
- HOSE BIBB W/ NON-REMOVABLE BACKFLOW PREVENTION DEVICE



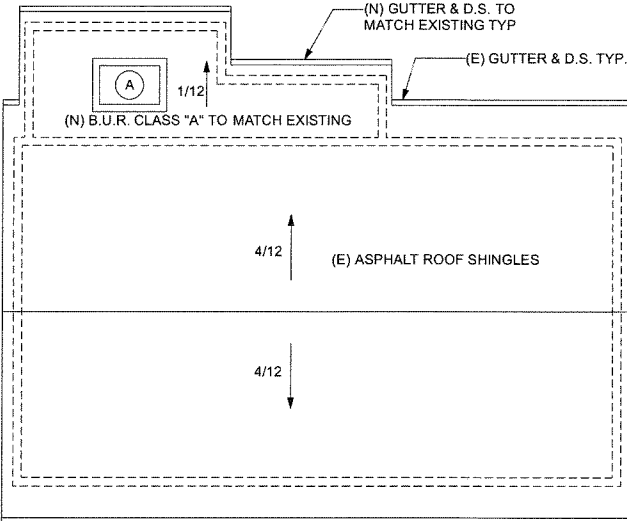
(E) ROOF PLAN

SCALE: 1/4"=1'-0"

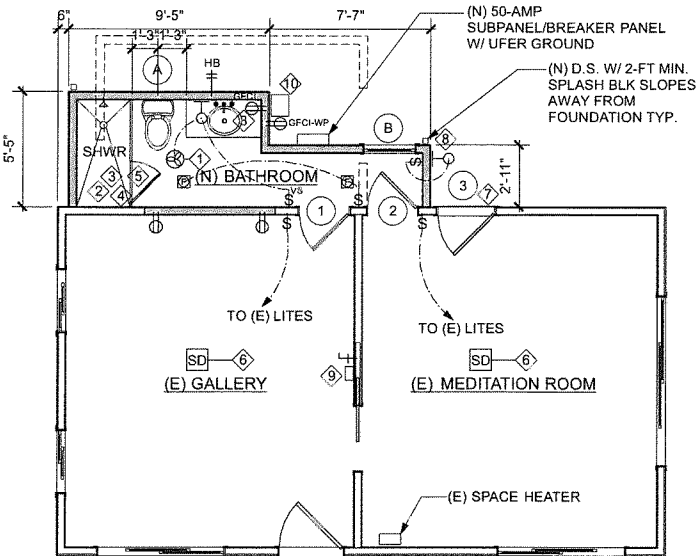


(E) FLOOR PLAN

SCALE: 1/4"=1'-0"



NOTE:  
CONTRACTOR TO VERIFY AND MATCH EXISTING ROOF SLOPE, EAVE OVERHANG, GUTTER & D.S., COLOR AND MATERIAL.



(N) FLOOR PLAN

SCALE: 1/4"=1'-0"

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY									
Project Name Kadaba Residence Addition					Date 8/27/2015				
System Name Space Heater - Gallery					Floor Area 303				
ENGINEERING CHECKS					SYSTEM LOAD				
Number of Systems					COIL COOLING PEAK				
Heating System					COIL HTG. PEAK				
Output per System					Total Room Loads				
Total Output (Btu/h)					Return Vented Lighting				
Output (Btu/h/ft²)					Return Air Ducts				
Cooling System					Return Fan				
Output per System					Ventilation				
Total Output (Btu/h)					Supply Fan				
Total Output (Tons)					Supply Air Ducts				
Total Output (Btu/h/ft²)					TOTAL SYSTEM LOAD				
Total Output (eqt/Ton)					HVAC EQUIPMENT SELECTION				
Air System					CFM per System				
CFM per System					Airflow (cfm)				
Airflow (cfm/ft²)					Airflow (cfm/ft²)				
Airflow (cfm/Ton)					Airflow (cfm/Ton)				
Outside Air (%)					Total Adjusted System Output				
Outside Air (cfm/ft²)					TIME OF SYSTEM PEAK				
Note: values above given at ARI conditions					Aug 3 PM				
HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)					Jan 1 AM				
26 °F					68 °F				
Outside Air					100 °F				
0 cfm					Heating Coil				
68 °F					ROOM				
68 °F					68 °F				
COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)					75 / 61 °F				
68 / 62 °F					55 / 54 °F				
Outside Air					Cooling Coil				
0 cfm					ROOM				
75 / 52 °F					46.8 %				
75 / 62 °F					75 / 62 °F				



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(E) & (N) FLOOR  
PLANS

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